

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details)\**

**6:30 p.m.**

**June 01, 2022**

**AGENDA (revised on May 27, 2022)**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. APPROVAL OF MINUTES**

1. May 04, 2022
2. May 11, 2022

**II. ADMINISTRATIVE APPROVALS**

1. 60 Penhallow Street (LUHD-479)
2. 553 Islington Street (LUHD-476)
3. 118 Pleasant Street (LUHD-477)
4. 475 Marcy Street (LUHD-473)
5. 33 Deer Street (LUHD-474)

**III. CERTIFICATE OF APPROVAL- EXTENSION REQUESTS**

1. Petition of **Neal Pleasant Street Properties, LLC, owner**, for property located at **420 Pleasant Street**, wherein permission is requested for a one-year extension of the Certificate of Approval originally granted on July 07, 2021 to allow new construction to an existing structure (remove existing rear entryway, replace existing south east addition with added rooftop deck, construct 3-story stair enclosure, and construct new rear entry porch) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 56 and lies within the General Residence and Historic Districts. (LU-21-126)

**IV. PUBLIC HEARINGS (OLD BUSINESS)**

- A. **REQUEST TO POSTPONE-** Petition of **531 Islington Street Portsmouth, LLC**, owner, for property located at **531 Islington Street (Dunkin Donuts)** wherein permission is requested to allow renovations to an existing structure (new signage, siding, and other exterior improvements) as per plans on file in the Planning department. Said property is shown on Assessor Map 157 as Lot 5 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LU-22-38)

B. Petition of **Sheafe Street Condominium Association, owner and Smith Family Declaration of Trust, Todd C. Smith, Trustee, applicant**, for property located at **159 State Street, Unit #3A**, wherein permission is requested to allow the installation of mechanical equipment (HVAC condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 46-303A and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-68)

C. **REQUEST TO POSTPONE-** Petition of **Sandra L. Smith-Wiese, owner**, for property located at **138 Gates Street**, wherein permission is requested to allow new construction to an existing structure (add 1-story rear addition with steps and landing) and exterior renovations to an existing structure (replace windows, repair or replace siding and trim) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 54 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-55)

## V. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **DAGNY TAGGART, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow changes to a previously approved design (several minor design changes) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies with the Character District 4 (CD4), Downtown Overlay and Historic Districts. (LU-21-183)

2. Petition of **Sharmila Patel and Jacob Goldsmith, owners**, for property located at **67 Gates Street**, wherein permission is requested to allow exterior renovations to an existing structure (remove rear deck and replace with larger deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 91 and lies with the General Residence B (GRB) and Historic Districts. (LU-22-108)

3. Petition of **The Portsmouth Housing Authority, owner**, for property located at **160 Court Street**, wherein permission is requested to allow exterior renovations to an existing structure (add canopies over existing entry ways) as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 38 and lies with the Character District 4 (CD4) and Historic Districts. (LU-22-107)

4. Petition of **Helen Marks, owner**, for property located at **90 Fleet Street, Unit D**, wherein permission is requested to allow exterior renovations to an existing structure (replacement windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 41D and lies with the Character District 5 (CD5), Downtown Overlay and Historic Districts. (LU-22-106)

5. Petition of **Thirty Three Richmond Real Estate, LLC , owner**, for property located at **33 Richmond Street**, wherein permission is requested to allow exterior renovations to an existing structure (remove and replace all siding and windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 17 and lies with the Mixed Research Office (MRO) and Historic Districts. (LU-22-105)



**VI. ADJOURMENT**

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_nlRXYSKmQwq97RYB6Taqlg](https://us06web.zoom.us/webinar/register/WN_nlRXYSKmQwq97RYB6Taqlg)

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details)\**

**6:30 p.m.**

**June 08, 2022**

**AGENDA**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. ADMINISTRATIVE APPROVALS**

**II. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of **National Society of Colonial Dames, owner**, for property located at **0 Market Street/ 55 Ceres Street (The Oar House)**, wherein permission is requested to allow renovations to an existing structure (replace the existing fencing) as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 5 and lies within the Character District 4 (CD4), Downtown Overlay, Civic and Historic Districts.

**III. WORK SESSIONS (OLD BUSINESS)**

A. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-234)

B. Work Session requested by **One Market Square, LLC**, owner for property located at **1 Congress Street & 0 High Street**, wherein permission is requested to allow renovations to an existing structure (repair and upgrade building facades along Congress and High Streets) and new construction to an existing structure (replace rear shed additions with new 4-5 story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 14 & 15 and lies within the Character District 4 (CD4), Character District 5 (CD5), Downtown Overlay and Historic Districts. (LUHD-425)

C. Work Session requested by **445 Marcy Street, LLC**, owner for property located at **445 Marcy Street**, wherein permission is requested to allow the construction of a new single family residence with attached garage as per plans on file in the Planning Department. Said property is

shown on Assessor Map 101 as Lot 3 and lies within the General Residence B (GRB) and Historic Districts. (LUHD-424)

D. Work Session requested by **Mill Pond View, LLC, owner**, for property located at **179 Pleasant Street**, wherein permission is requested to allow new construction to an existing structure (minor demolition, new construction, restoration and renovation of the accessory structures and annex of the main home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 15 and lies within the Mixed Research Office (MRO) and Historic Districts. (LUHD-463)

E. Work Session requested by **EIGHTH KPH, LLC, owner**, for property located at **161 Deer Street**, wherein permission is requested to allow the demolition of the existing structure and the new construction of a new mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 17-3 and lies within the Character District 5 (CD5) and Historic Districts. (LUHD-462)

F. Work Session requested by **43 Holmes Court, LLC, owner**, for property located at **43 Holmes Court**, wherein permission is requested to allow the demolition of the existing home and the new construction of a single family home of similar design as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 14 and lies within the Waterfront Business (WB) and Historic Districts. (LUHD-465)

#### IV. WORK SESSIONS (NEW BUSINESS)

A. Work Session requested by **Coventry Realty, LLC, owner**, for property located at **111 State Street**, wherein permission is requested to allow renovations to an existing structure (replace doors and windows) and new construction to an existing structure (construct rear addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 50 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-478)

#### V. ADJOURNMENT

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_j8d3oHZsQwK2Pvcdkj7jow](https://us06web.zoom.us/webinar/register/WN_j8d3oHZsQwK2Pvcdkj7jow)

**MINUTES  
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

**6:30 p.m.**

**May 04, 2022**

**MEMBERS PRESENT:** Chairman Jon Wyckoff; Vice-Chair Reagan Ruedig; City Council Representative Rich Blalock; Members Margot Doering, Martin Ryan, David Adams, and Dan Brown; Alternates Heinz Sauk-Schubert and Karen Bouffard

**MEMBERS EXCUSED:** None.

**ALSO PRESENT:** Nick Cracknell, Principal Planner, Planning Department

.....  
Chairman Wyckoff called the meeting to order at 6:30 p.m.

**I. APPROVAL OF MINUTES**

1. April 06, 2022
2. April 13, 2022

The April 6 and April 13 minutes were **approved** as submitted by unanimous vote, 7-0.

**II. ADMINISTRATIVE APPROVALS**

**1. 60 Penhallow Street (LUHD-464)**

Mr. Adams and Vice-Chair Ruedig recused themselves, and Alternate Ms. Bouffard took a voting seat.

Architect Tracy Kozak was present on behalf of the applicant and said the two changes to the previously-approved project were the removal of solar panels and the addition of two boiler flues. Mr. Cracknell said most of the mechanical equipment would not be visible from the street.

**Note:** At this point, Mr. Brown arrived at the meeting.

*City Council Representative Blalock moved to **approve** the item as presented, seconded by Ms. Doering. The motion **passed** by unanimous vote, 7-0.*

**2. 303 Pleasant Street (LUHD-448)**

The request was to add 30 feet of fence and a gate at the southwest corner of the property.

**3. 333 Marcy Street (LUHD-466)**

The request was to install a natural gas furnace inside the structure and to put a condenser with a conduit on the side of the building.

**4. 29 Vaughan Street (LUHD-467)**

The request was to modify the storefront by removing a panelized section and a single pane of glass and installing one large pane of glass. Mr. Adams asked if the window would be the same size as the window on the other side of the door. The applicant was present and said she thought the windows would match.

**Stipulation:** The new window shall match the other window as closely as possible.

**5. 17 South Street (LUHD-468)**

The request was to replace a fence with one of a similar design. Mr. Cracknell noted that the existing fence had no post or caps and that the new one would.

**6. 414 State Street, Unit #4 (LUHD-449)**

Mr. Cracknell said the applicant wanted to add a mini split with a conduit and paint the conduit brown instead of a red color that would match the color of the siding.

The Commission discussed whether the location was appropriate to run the conduit up the building. Mr. Adams said the house was a contributing structure to the District and was a very public view. Chairman Wyckoff suggested placing the condenser around the corner and running the piping under the mudsill and then up the building by getting a longer conduit. City Council Representative Blalock said the space was narrow and putting a screen there might not be feasible, but he thought the applicant could be given the option of either screening the unit or placing it around the back of the building. It was further discussed.

**Stipulations:**

- The conduit shall be painted red to match the clapboards.
- The applicant shall return for an administrative approval for either a screen in the proposed location or approval to relocate the unit to the rear of the building and run the conduit along the mud board to the condenser.

*Mr. Adams moved to **approve** Items 2 through 6, with stipulations on Items 4 and 6. Mr. Brown seconded. The motion **passed** by a vote of 6-1, with Ms. Doering voting in opposition.*

Ms. Doering said she didn't feel that there was enough information presented to approve the stipulation on Item 6.

### III. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **Donald and Rasa Stone, owners**, for property located at **55 Gates Street**, wherein permission is requested to allow renovations to an existing structure (replace windows, repair or replace siding and trim, repair foundation, replace bulkhead, and remove chimney) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 90 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-43)

#### SPEAKING TO THE PETITION

Architect Anne Whitney was present on behalf of the applicant and said the two issues were the replacement windows and the removal of the chimney at the structure's rear. She proposed replacing the windows with Marvin Elevate windows but said she wanted to keep the chimney.

Vice-Chair Ruedig said the color of the awning window was different from all the rest, which were white, and the Elevate window jamb liner was normally a different color that popped out and wasn't attractive. Ms. Whitney said they would do white on white by doing the trim color the same as the window color. In response to Chairman Wyckoff's questions, Ms. Whitney said all the window trim would be replaced and the bands would be made up to match.

Chairman Wyckoff opened the public hearing.

#### SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chairman Wyckoff closed the public hearing.

#### DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the application as presented, with the following **stipulations**:*

- 1. Half screens shall be used; and*
- 2. The window bands shall match the window trim.*

*City Council Representative Blalock seconded.* Mr. Ryan said the project will preserve the integrity of the District and will be consistent with the special and defining characters of the surrounding properties.

*The motion **passed** by unanimous vote, 7-0.*

B. Petition of **531 Islington Street Portsmouth, LLC**, owner, for property located at **531 Islington Street (Dunkin Donuts)** wherein permission is requested to allow renovations to an existing structure (new signage, siding, and other exterior improvements) as per plans on file in the Planning department. Said property is shown on Assessor Map 157 as Lot 5 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LU-22-38)

#### SPEAKING TO THE PETITION



Attorney Sharon Summers and designer Erik Medeiros were present on behalf of the applicant. Mr. Medeiros said they proposed to replace the metal fascia material with fiber cement board paneling to meet the new Dunkin Donuts design standards. He said they wanted to remove the awning and existing signage, add a canopy, and replace the strip lights on the accent band with LED lighting. He said the signage would be refaced on the front of the building and the other signs would be replaced with the new brand signage.

Chairman Wyckoff asked if the signs would be internally lit. Mr. Medeiros agreed. Attorney Summers said the sign permit application was submitted to the City and that she would look into the illumination issue. Vice-Chair Ruedig asked about the color renderings. Mr. Medeiros said the fiber cement board panels were a Hardie product and would be white on the front of the building and gray at the rear. Mr. Ryan asked how the facelift related to the Historic District. Mr. Medeiros said it was based on the Dunkin Donuts corporate guidelines for a typical remodeling and that he hadn't been aware that the donut shop was in the Historic District until recently. Mr. Ryan said the building's architecture didn't suggest that it was in the District. Vice-Chair Ruedig said the Commission dealt with a similar situation with a downtown store that had its own branding and that the Commission ensured that all the changes would blend into the District. She said there could be a nod to that by using some natural materials that would make the building relate more to the buildings around it. City Council Representative Blalock agreed and said it was like the applicant ignored all the HDC guidelines. Ms. Doering said the bank next door had a new trim and crown molding that made it fit in better and she suggested that the applicant take some elements from that building and the ones surrounding it.

Chairman Wyckoff suggested that the applicant work more on the design and that the petition be continued to the June meeting. Attorney Summers said they had not ignored the guidelines and had only discovered that the building was in the District when they applied for the building permit. She said they would work with Mr. Cracknell to come up with a more suitable design.

Chairman Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chairman Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Adams moved to **continue** the petition to the June 1, 2022 meeting, seconded by Vice-Chair Ruedig. The motion **passed** by unanimous vote, 7-0.*

Mr. Adams recused himself from the following petition, and Alternate Bouffard took a voting seat.

C. Petition of **Nerbonne Family Revocable Trust, owner**, for property located at **189 Gates Street**, wherein permission is requested to allow new construction to an existing structure (construct new addition to existing garage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 6 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-30)

### **SPEAKING TO THE PETITION**

Architect Anne Whitney was present on behalf of the applicant and distributed letters of support to the Commission. She said they proposed to add a 10.5'x14.5' addition to the back of the garage, noting that they reduced the original proposed size and got rid of the deck in response to the neighbors' comments. She said the changes included that the garage doors would be replaced by a single door and a few small windows, and the rear elevation would have three 2/2 double hungs and a 3/1 center window. She said the back side would have a single skylight and no windows, and the addition would have Elevate windows.

In response to City Council Representative Blalock's question, Ms. Whitney said the 3/1 center window would give that living space a bigger opening. She said there would be also be a skylight in the attic and on the addition, as well as an egress window. Ms. Doering said her only aesthetic concern was the view from the Point of Graves Cemetery due to the large amount of plain and vertical skirting under the deck of the original house. Ms. Whitney said the skirting would be lower, and it was further discussed.

Chairman Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chairman Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Vice-Chair Ruedig moved to **grant** the Certificate of Approval for the petition as presented, seconded by Mr. Ryan.*

Vice-Chair Ruedig said the project will conserve and enhance property values and will have compatibility of design with the surrounding properties.

*The motion **passed** by unanimous vote, 7-0.*

## **IV. PUBLIC HEARINGS (NEW BUSINESS)**

Mr. Adams resumed his voting seat for the following petition, and Ms. Bouffard resumed her alternate status and also recused herself.

1. (Work Session/Public Hearing) requested by **85 Daniel Street, LLC, owner**, for property located at **85 Daniel Street**, wherein permission is requested to allow new construction to an existing structure (remove and replace rear addition and remove and replace roof with new dormers) and renovations to an existing structure (replace windows, siding, trim, and front stoop) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 8 and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-75)

### **WORK SESSION**

Architects Mark Gianniny and Richard Desjardins were present on behalf of the applicant. Mr. Gianniny said changes were made based on the Commission's feedback, including that the windows would be replaced on the north elevation and all materials would be replaced in kind; the clapboard siding on the south elevation would be repaired in kind; the west and east elevation windows would be removed, replaced, and relocated; existing windows would be replaced with Green Mountain instead of Marvin windows; and the dormer would stay in its existing location.

Mr. Brown asked if the break in the dormer would be the same, and Mr. Gianniny agreed. Mr. Adams asked what the material of the three shallow roofs on the front of the building was. Mr. Desjardins said it was some sort of rubber that would get repaired in kind and would not protrude over the edge or cover existing moldings. Ms. Doering suggested making the planter taller, but Mr. Gianniny said he thought the plants would provide enough screening.

Chairman Wyckoff closed the work session and went into the public hearing.

### **SPEAKING TO THE PETITION**

Mr. Gianniny reviewed the petition and referenced his previous comments. Mr. Desjardins confirmed that half screens were noted in the plan.

Vice-Chair Ruedig asked if the front wood windows and the garage doors would be field painted. Mr. Gianniny said the windows would be painted but the garage door was a fiberglass one with a factory finish. Vice-Chair Ruedig said it would be fine as long as the garage door didn't have a faux wood grain finish. Mr. Desjardins said he didn't believe that it did but would make sure. Chairman Wyckoff said he agreed with Mr. Adams that the low roofs should have a conventional drip edge and that the rubber should not go over the edge. City Council Representative Blalock said his only concern was the dormer on one side that could be seen from the street, but otherwise he thought everything else was in line with the historic character.

Chairman Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chairman Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Adams moved to **grant** the Certificate of Approval for the application, with the following stipulations:*

- 1. Half screens shall be used; and*
- 2. The applicant shall return for an administrative approval for the garage doors to ensure that they have a smooth texture and not a faux wood grain finish.*

Mr. Adams said the building would contribute to the economy of the neighborhood and the architectural continuum of Daniel Street. He said even though the dormers on the roof are a new addition, he didn't believe that they were overdone. He said he was a little transactional when it

came to these things and thought they were buying an awful lot of historic building being preserved in the District for a little bit of disruption on the roof. He said it was a tradeoff that he felt comfortable doing, and he applauded the applicants for their constraint in keeping inside of the footprint and making the commitment to preserve so much of the building.

*The motion **passed** by unanimous vote, 7-0.*

2. Petition of **David J. & Vasilia Tooley, owners**, for property located at **166 New Castle Avenue**, wherein permission is requested to allow exterior renovations to an existing structure (add (1) new window to existing garage second floor) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 24 and lies within the Single Residence B (SRB) and Historic Districts. (LU-22-83)

### **SPEAKING TO THE PETITION**

The applicants Vasilia Tooley said the new window would be placed in the room above the garage to allow more light into the room. Chairman Wyckoff asked if the window trim would match existing and have a historic sill. Ms. Tooley agreed. There were no other questions. Chairman Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chairman Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the application as presented, with the following **stipulation**:*

- 1. Half screens shall be used.*

*Vice-Chair Ruedig seconded the motion.*

Mr. Ryan said the project will preserve the integrity of the District and will be consistent with the special and defining characters of the Historic District.

*The motion **passed** by unanimous vote, 7-0.*

3. Petition of **404 Islington Street, owner**, for property located at **404 Islington Street**, wherein permission is requested to allow exterior renovations to an existing structure (removal and infill of (1) door, installation of mechanical equipment and installation of an ADA compliant ramp) as per plans on file in the Planning Department. Said property is shown on Assessor Map 145 as Lot 33 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LU-22-74)

### **SPEAKING TO THE PETITION**

Architect Rob Harbeson was present on behalf of the applicant. He reviewed the petition, noting that air conditioners and an ADA-compliant ramp were needed. He noted that the exterior staircase on the back of the first floor would be removed because the exterior door wasn't needed, and the siding material would match existing. He said the exterior deck would be kept because it worked with the deck on the adjacent building. He said the mechanical units would be mounted on the left side of the building that had the privacy fence, and a composite material was proposed for the deck on the right side of the building. He said the deck would have a simple metal handrail because a full guard rail wasn't needed in that location.

In response to Ms. Doering's questions, Mr. Harbeson said the ramp was wide enough for a wheelchair and the central staircase would not be removed. He noted that the ramp met the criteria for renovation because no more than 20 percent was needed to go to accessibility and that only a percentage of the units would be required to be accessible. He said the goal was to create at least one accessible room on the first floor and renovate the bathroom, and it was further discussed. Chairman Wyckoff asked how high the privacy fence was, and Mr. Harbeson said it was five feet high. Ms. Doering asked if the ramp started at the corner of the building. Mr. Harbeson agreed and said they would remove the existing curbing. Ms. Doering said the metal railing had an industrial look and the entire structure was wood. Mr. Harbeson said they could substitute the metal railing with a painted AZEK system. Chairman Wyckoff asked if it would need more horizontal pieces, and Mr. Harbeson said it wouldn't within 30 inches of grade.

Chairman Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chairman Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Vice-Chair Ruedig moved to **grant** the Certificate of Approval for the application as presented, and Mr. Ryan seconded.*

Vice-Chair Ruedig said the project will conserve and enhance property values and have compatibility of innovative technologies with surrounding properties. She added that the biggest impact from the project was the addition of the ramp, which was minimal and done fairly well. Chairman Wyckoff said there was quite a bit of leeway in the District for ramps.

*The motion **passed** by unanimous vote, 7-0.*

4. Petition of **Gideon Walker House Trust, James H. Somes Jr., Trustee, owner**, for property located at **154 Maplewood Avenue**, wherein permission is requested to allow exterior renovations to an existing structure (replacement of (9) windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 124 as Lot 7 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts. (LU-22-70)

### **SPEAKING TO THE PETITION**

Window design consultant Dennis LaFauci was present on behalf of the applicant. He said they wanted to replace nine awning windows in kind. In response to the Commission's questions, Mr. LaFauci said the existing windows were wood and there would be no changes to the exterior. He noted that the window screen was on the inside.

Chairman Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one spoke, and Chairman Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the application as presented, seconded by Mr. Adams.*

Mr. Ryan said the project will preserve the integrity of the District and will be consistent with the special and defining characters of the District.

*The motion **passed** by unanimous vote, 7-0.*

5. Petition of **Sheafe Street Condominium Association, owner and Smith Family Declaration of Trust, Todd C. Smith, Trustee, applicant**, for property located at **159 State Street, Unit #3A**, wherein permission is requested to allow the installation of mechanical equipment (HVAC condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 46-303A and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-68)

### **SPEAKING TO THE PETITION**

The applicant wasn't present.

### **DECISION OF THE COMMISSION**

*It was moved, seconded, and passed by unanimous vote (7-0) to move the petition to the end of the agenda, or **continue** it to the May 11 meeting if the applicant did now show.*

**NOTE:** the applicant did not show, so the petition was **continued** to the May 11, 2022 meeting.

6. **REQUEST TO POSTPONE-** Petition of **Sandra L. Smith-Wiese, owner**, for property located at **138 Gates Street**, wherein permission is requested to allow new construction to an existing structure (add 1-story rear addition with steps and landing) and exterior renovations to an existing structure (replace windows, repair or replace siding and trim) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 54 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-55)



## DECISION OF THE COMMISSION

*Mr. Adams moved to **postpone** the petition to the June 1 meeting, seconded by Vice-Chair Ruedig. The motion **passed** by unanimous vote, 7-0.*

7. (Work Session/Public Hearing) requested by **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow renovations and new construction to an existing structure (removal of shutters, addition of dormers, and roofing and siding changes) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts. (LU-22-78)

## WORK SESSION

Project Manager Shayne Forsley was present on behalf of the applicant and spoke to the changes made per the Commission's prior feedback. He said the oculus would follow the slope of the roof instead of protruding up from it, and the doghouse dormer on the rear side on Sheafe Street would be replaced with a skylight. He said the existing siding was similar to Hardie Board material and not vinyl like he previously thought, and it would be replaced with wood. He said the pediment on the pedestrian entry would be maintained.

Ms. Doering asked what the added dimension of the building was as it moved closer to Sheafe Street. Mr. Forsley said it was two feet. He said a surveyor checked the rear yard setbacks and that they wouldn't protrude on the Sheafe Street frontage, and the amount of setback from the sidewalk was seven feet. In response to Chairman Wyckoff's questions, Mr. Forsley said the sill would match and wouldn't have striations and that the existing pediment would be preserved as the main door. He said the building would be washed and pointed as needed.

Mr. Adams said the building had a historic material that wasn't an original feature to the building but was a historic treatment that had been replicated at some point. He said existing brick would be cut away and granite headers would be installed that were never there to begin with. He said he looked at a number of Federal-period buildings in the area that had pressed brick and stone lintels. He said most of the buildings on Sheafe Street and across were middle-to-early Federal rowhouses and didn't have granite headers. He said he wondered if the applicant was trying to move the building to an earlier time that never existed by putting in granite headers. Vice-Chair Ruedig said the Commission dealt with that issue before when a Bow Street building had all its brick redone and granite headers and sills were put in when the building was repointed to give it better structure and longevity. She said it now looked like new granite headers and sills but no one had heartburn over it because it was still consistent with a lot of the surrounding buildings. Mr. Cracknell asked if a wood sill would be more appropriate. Mr. Adams said it seemed that many of the modest brick buildings he looked at had punched windows with no ornamentation and no headers, and it was further discussed. Mr. Adams said he appreciated the diminished scale of the oculus and thought that changing the dormer back to a skylight would benefit the streetscape. He asked if the applicant would continue to support the deck of the next-door neighbor on the east side of the garage. Mr. Forsley said he would have to further investigate it and that they would meet all code requirements.

Chairman Wyckoff opened public comment.

### **Public Comment**

Marie Bodi of 121 State Street said the adjoining property she lived in was also a condo associated with 123 State Street, whose deck adjoined the applicant's property. She said it was a great concern to her because she had to fireproof the underneath of her deck to extend it out three feet. She said the applicant was proposing to relocate their garage to adjoin her condo, which she felt should raise a lot of concerns. She noted that the applicant's property was one rowhouse out of three. She reminded the Commission that Sheafe Street was the front door to many neighbors.

Jonathan Sobel of 49 Sheafe Street said he lived across the street from the applicant's property. He said the applicant's house was one of a few rowhouses built after the Great Fire of 1813 and had great historical importance. He said the proposal created a more massive building as a termination of the rowhouses and that it presently dominated the rowhouses' appearance. He said a decade ago, there was a lot of discussion as to what the building was at one point in time and the pediments above the windows were debated and approved by the Commission, but now the Commission was being asked to remove them. He said he also objected to the garage's expansion and extending it into the narrowest part of Sheafe Street, and he also opposed the first-story proposal. He said the project would visually choke off the viewscape of Sheafe Street.

No one else spoke, and Chairman Wyckoff closed the public comment.

Chairman Wyckoff said the applicant was changing the structure to a garage and the next-door neighbor's deck was attached to it, which was a problem that should be resolved. Mr. Cracknell said the Inspection Department would resolve it and that it was up to the two parties to co-mingle space if there weren't any easements. Mr. Ryan asked about the plan view showing existing vs. proposed. Mr. Forsley said there was a technical code analysis for that sort of situation that would be discussed with the Building Department.

Ms. Doering said she found Mr. Adams' comments interesting and worthy of consideration and also found the public's comments interesting with regard to the amount of research and work that was done on the added items. She said she was concerned about the addition's massing. She said the removal of the doghouse dormer helped, but looking at the comparison of the scale between the rowhouse and the addition and how the addition should be subservient to the main house made her think that the project was pushing the envelope. Mr. Ryan said the applicant wasn't asking for a variance and wasn't in the setbacks when it came to Sheafe Street. He felt that the lintels weren't original and that they were someone's whim to add them, but they could be removed. He said he didn't see how the viewscape of Sheafe Street would be choked off because the applicant was only expanding a bit and there was logic behind it. He said he could support the project. Mr. Brown agreed about the pediment and window treatments and thought bringing the structure back to that form would make it look like one continuous rowhouse, so he saw that as a good change rather than a big change.

Vice-Chair Ruedig said Mr. Adams' point about taking the pediments off but inserting the stone was valid. She said she had thought there was a wood lintel underneath that would be improved

by replacing the stone, but it was just brick and continuous with the rest. She said the building was set apart because it had the stone banding on it, and if the applied headers were going to be removed to bring the structure back to an earlier look, she thought the brick opening should be kept and the sills should be replaced. She said she was fine with the rest of the improvements. She said the structure was being bumped up more in the back but the setbacks would be dealt with, and she liked the oculus being less visible and more historically accurate. Chairman Wyckoff said he could go with either the stone lintels or the non-stone lintels. City Council Representative Blalock said he agreed with most of the points. He said he understood that Sheafe Street was visually choked off, but the street was lined with two brick sidewalks and was the same width from end to end. He agreed that if there were no other permits of variances, then he didn't see a problem with it, noting that a lot of those properties went right up to the property line. He said he disagreed about replacing the brick with granite lintels.

Chairman Wyckoff closed the work session and opened the public hearing.

### **SPEAKING TO THE PETITION**

Mr. Forsley said if the Commission had heartburn about the stone additions, the design team could consider having just a punched opening. He noted that there would be reviews with the Building Department and Life and Safety Departments to work out the details of the buildings that abutted right up to others. He reviewed the petition and presented items that were discussed during the work session. He noted that there were two options for the pedestrian entry but that the existing door, lights, and pediment were the applicant's preferred option. He said they proposed to replace the existing asphalt shingle roof with synthetic slate and to replace the existing siding on the wood-framed addition with clapboard or composite that would be fire rated. He said they would clean up the masonry to bring it back to its original form.

The Commission discussed the synthetic slate and said they were comfortable with it. Mr. Ryan said he was ready to go forward. Chairman Wyckoff said he couldn't see the addition as a massive one and that he was in full support of the limestone lintels instead of granite. He said the applicant's rowhouse was already different from the other rowhouses due to its horizontal banding. Ms. Bouffard said she could go either way on the windows. She said she wouldn't change the old brick but didn't care for the current pediments and thought there was no evidence that they were ever there. She said punched openings and limestone would be fine and she liked the oculus. City Council Representative Blalock said he didn't like the idea of removing original brick but could understand that if the structure could have been built like that, then it would have. He said it was a balance of quality craftsmanship and keeping the integrity of the history of it. Vice-Chair Ruedig said it made her nervous when the Commission could guess what would have happened in the past, and the pediments and lintels were further discussed.

Chairman Wyckoff opened the public hearing.

### **SPEAKING IN FAVOR OF THE PETITION**

No one spoke.

**SPEAKING IN OPPOSITION TO THE PETITION**

Marie Bodi of 121 State Street said she didn't recall seeing the proposed ridge skylight in the submitted materials and said the Commission approved the oculus window without knowing the material. She said she was concerned about how the roofing material transition would affect the abutter with a slate roof. She said there was no westerly view looking east down Sheafe Street regarding massing. She said she had a copy of the easement and it did not reference deck access to her property. Mr. Cracknell said the oculus should be detailed before it was approved, and he was curious as to how the faux slate would get weaved into the asphalt.

Jonathan Sobel of 49 Sheafe Street said he also wasn't sure that the Commission had all the materials. He said he was present when the HDC considered the last rendition of the building, with the pediments over the windows. He said the outline of the previous pediment and the drill holes in the brick and mortar could be seen and that one knew exactly when they showed up. He said the Commission's decision to allow the restoration of the pediments was appropriate then, but now they were being torn off 20 years later, which didn't make sense. He said the garage was growing another three feet and was no longer subordinate to the rowhouse, and the massing occurred over several decades and was approved by several boards, but now it was too big.

**SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one else spoke, and Chairman Wyckoff closed the public hearing.

**DECISION OF THE COMMISSION**

*Vice-Chair Ruedig moved to **grant** the Certificate of Approval for the application, with the following stipulations:*

1. There shall be no limestone addition to the window or door headers.
2. The details and cut sheets for the new doors, the garage doors, the slate roof seam with the abutter's roof, and the oculus shall come back to the Commission for review as an Administrative Approval.
3. If necessary due to zoning setback requirements, the rear yard setback shall be adjusted to be in compliance and resubmitted for an Administrative Approval.
4. Half-screens shall be used.
5. The co-mingling of the deck and roof between 121 and 129 State Sheafe Streets shall be addressed by the applicant and memorialized in a formal agreement, a copy of which shall be provided to the Planning Department.
6. The current decorative window headers shall be removed and the original brick openings shall remain as they are.

*City Council Representative Blalock seconded the motion.*

Vice-Chair Ruedig said she heard the public's concerns but that the Commission had reviewed the massing several times and she was comfortable with it. She said she was also comfortable with the oculus and the addition on the back, which she still saw as being subordinate to the main structure. She said the project would conserve and enhance property values and relate to the historic and architectural values of the existing structure.

Chairman Wyckoff said the applicant could return and try again if the limestone headers were a deal breaker. He said if the windows were left the way they were with the decorated wood removed, they would be in good standing, and if the Commission voted in the future to allow the limestone headers, there would be no damage done. He said he believed that the wooden pediments were put on in the 1860s or so when the building was turned into a hotel. He said the building's bricks were painted a tan color at one time and then the pediments were put on, which was firm evidence that they were added as a whim.

*The motion **passed** by unanimous vote, 7-0*

## **V. ADJOURNMENT**

The meeting was adjourned at 9:35 p.m.

Respectfully submitted,

Joann Breault  
HDC Recording Secretary

**MINUTES  
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE  
PORTSMOUTH, NEW HAMPSHIRE  
CONFERENCE ROOM “A”**

**6:30 p.m.**

**May 11, 2022**

**MEMBERS PRESENT:** Chairman Jon Wyckoff; Vice-Chair Reagan Ruedig; members Margot Doering, Martin Ryan, David Adams, and Dan Brown; Alternate Karen Bouffard

**MEMBERS EXCUSED:** City Council Representative Rich Blalock, Heinz Sauk-Schubert

**ALSO PRESENT:** Nick Cracknell, Principal Planner, Planning Department

.....  
Chairman Wyckoff called the meeting to order at 6:30 p.m.

*It was moved, seconded, and passed unanimously (7-0) to accept the request for withdrawal for Old Business Work Session E for 92 Pleasant Street.*

**Note:** the Commission addressed Item 3 first for a separate vote.

**I. ADMINISTRATIVE APPROVALS**

**1. 381 Middle Street (LUHD-470)**

The request was to repair the front concrete steps and do granite treads on top. Mr. Adams said repairing the steps wouldn't be as simple as it seemed and further discussed it. He suggested that the City Building Inspector look into it.

**2. 65 Rogers Street (LUHD-472)**

The request was for a pergola in the side yard.

**3. 160 Court Street (LUHD-469)**

Mr. Cracknell said there were three revisions to the previously-approved project: 1) revise the front door on the liner building to go from four glass panes to two; 2) use a simpler and different eave design; and 3) modify the cornice.

*Mr. Adams moved to **approve** the request, seconded by Ms. Bouffard. The motion **passed** by unanimous vote, 7-0.*

**4. 170 Court Street (LUHD-475)**



Mr. Cracknell said the request was one from the City and was to modify the firehouse's six doors on Court Street and make them shorter and narrower, noting that the existing doors were very heavy and had structural issues. He said the new doors would be lighter, vertical ones. City Project Manager Joe Almeida was present and said the doors had come off the tracks and fallen onto the firetrucks. He said the new doors were made by the same company and were a thinner composite material that would be painted to match existing. Mr. Adams said it appeared that the solid portions of the existing doors seemed to line up but the proposed doors did not. Mr. Almeida said the rendition was off and that the two bottom sections of both doors were the same.

*Vice-Chair Ruedig moved to **approve** Items 1, 2, and 4 as presented, seconded by Ms. Doering. The motion **passed** by unanimous vote, 7-0.*

## **II. WORK SESSIONS (OLD BUSINESS)**

Ms. Bouffard recused herself from the following work session.

A. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-234)

### **WORK SESSION**

Architect Carla Goodnight, Project Manager Ebon Tormey, and architect Jake Weider were present on behalf of the applicant. Ms. Goodnight reviewed the changes that were made since the previous work session, which included the following:

- The recessed and glazed massing at the entries were redesigned;
- The cornice was lowered on the Maplewood Avenue side;
- The fourth floor has a strong, detachable cornice;
- The third floor's brick was pulled up to balance it more;
- The recessed area with glazing was added instead of the brick form;
- The window pattern was modified to have a more traditional cottage style;
- A glazed entry canopy and tiebacks were added; and
- The penthouse was stepped back and the balconies and storefronts were recessed.

Mr. Adams said he wasn't comfortable with the balconies but saw the pattern in it. He said he was on board with breaking the building into smaller parts and having textural canopies, but was puzzled by how many entries there were on the Raynes Avenue side. He said Ms. Goodnight accomplished a lot of what she said she would try to do, but he didn't know if she would do better in reducing the impact of the building. Mr. Brown said the Commission's biggest concern was the mass on the pond and on Maplewood Avenue, and he thought a good job was done in bringing it down and that it fit in more with the houses across the street. Mr. Ryan said the

project was moving in the right direction but thought the canopies were timid. He suggested using something more sculptural that marked the entrance more and reflected that same language in the balconies. He said he liked the railings but thought it was a difficult detail for recessed canopies. He said it would help if something could be done at the floor level. He said the cornice should be bolder. Ms. Doering said the massing would end up in the City's model soon and it would be interesting to see what it looked like. Vice-Chair Ruedig said the design was simple but thought it could do more to bring in some more interest, like using better canopies and a better cornice. She said some of the images used as inspiration were nice buildings and she suggested using some of those quality materials. She said she was fine with the massing because it was broken up better. Chairman Wyckoff said it had improved but would like to see more detail on the Maplewood Avenue entryway because the glazing didn't seem to be enough. He said he'd like to see the canopies, especially the two entries to the apartments, have more style instead of being starkly modern. He asked if the recessed fourth floor and the penthouse would look better dark than white because the color made them stand out, and it was further discussed.

Ms. Goodnight reviewed the changes to the hotel and said there were two different options for the entry. She said the glazing was more prominent over the entry; the white vertical elements were kept but the drive-under area was minimized so that it wasn't so prominent; the driveway was anchored by two silver vertical pieces; and the stairwell corner was fixed. Mr. Adams said the hotel wasn't as flashy as before and that removing the heavy granite frame over the drive-thru area lightened the building a lot. He said he found the rhythm interesting and appreciated the window sizing. Mr. Brown said the hotel looked like one and fit well with the larger buildings across the street. Mr. Ryan suggested a different canopy at the entrance because it seemed sparse, and he also suggested that the stairwell base be given more friendly human scale elements.

Chairman Wyckoff said he had no problem with the massing. He asked for comments on the design. Vice-Chair Ruedig said there was a lot going on with the brick areas because of the different brick texture, more contemporary corners and vertical elements, and vertical strips on the back side. She said it didn't go well together as a design. She said the window sizing was much better but wasn't a fan of the T-bars because it gave the building an incongruent style like a 70s hotel, and she found it confusing to have all those different materials in one very large building. She thought the setback on the top floor should be set back farther. She said she didn't find the hotel design as strong as the mixed-use building's design. Chairman Wyckoff said he agreed with Mr. Ryan about the entryway. He said the street would be an urban one with a series of 4- and 5-story buildings and thought the building didn't play into that narrative. He found the back more successful because it had an older urban look. He said the T-bars were gotten rid of successfully on the entryway by having the idle muntin go all the way up. He suggested that the columns might work on the canopy by making the canopy larger and supporting it with columns instead of iron rods. Mr. Ryan suggested that the penthouse windows be bigger or smaller to differentiate the body of the building.

Ms. Goodnight showed a rendering of the two buildings together and said they were trying to pick up more of a rust-colored brick to make a transition as the buildings went around 3S Artspace. She said the hotel brought a lot of brick to the ground and that she wanted to make it look different so that it didn't seem like one big megacomplex. Chairman Wyckoff asked if similar streetlights like the office building across the street would be used and if so, some of

those elements could be used for the canopy. Mr. Adams said the sides were brought all the way down to grade and suggested putting some sort of a base element that wasn't more siding.

### **Public Comment**

Elizabeth Bratter of 159 McDonough Street said the garage doors looked very modern and the white area on the left side of the building looked like an elevator shaft. She suggested making it darker to match the top. She said she had concerns about the mass, especially by 3S Artspace, and noted that three other buildings in that area had to step down to 3S Artspace.

### **DECISION OF THE COMMISSION**

*The applicant said she would **continue** the work session at a future meeting.*

B. Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LUHD-366)

### **WORK SESSION**

Brooks Slocum of SGA and his project team were present on behalf of the applicant. He said they were breaking up the massing and turning it into four smaller buildings, making more of a main entry to Building 2, and considering a perforated screen for the garage. He discussed the different buildings and showed scenes of how they would look in context with the surroundings.

Mr. Adams said he didn't know if the development belonged in his town. Vice-Chair Ruedig said it was a very attractive design, with an interesting curved part and a grand and elegant entryway, but she felt the same as Mr. Adams as to how it fit into Portsmouth. She said it seemed more like Boston because it was very cosmopolitan, and it was further discussed. Mr. Ryan said it was a wonderful industrial-looking building. He said he loved the curves and the way one could walk through the columns and experience the pedestrian space at the street level. He said there was tension between the very classical base and the sort of early 1920s Deco modernism as the building went up. Ms. Bouffard said she liked the design much better than the previous one. Ms. Doering said she was much in favor of the building and that it needed to be a bridge between the traditional and modern in that particular location. Mr. Brown said he loved the curves and thought the architect did a good job of merging the historic and modern area. Chairman Wyckoff said he was very impressed with the design. Mr. Ryan said the relationship between Portwalk and the two buildings wasn't a nice transition because it was a little angled out. Mr. Slocum said the angled element was added because of the turn, and it was further discussed.

Mr. Slocum discussed Building 2. He said he found some old photos of the former train station and the river and thought those would be good to include that on their screen. Mr. Adams asked

about signage. Mr. Slocum said they hadn't discussed it much but wanted it to be as complimentary as everything else. He discussed several options for the building.

Mr. Martin suggested another option in addition to the three and said it was an opportunity to mark the significant entryway by integrating the roof with some spaces or decks, although he thought Option 3 was heading in the right direction. Mr. Slocum said the issue was variances. Chairman Wyckoff said if a variance was needed for a 2-ft cornice, then it could go up a bit farther. It was further discussed. Mr. Ryan said the screen reference to the north end would be a boon to the community. Ms. Doering said she liked Option 1 and thought it would help to see what it looked like from across the street using the City model. Vice-Chair Ruedig said she preferred Option 2 because of the brick colors and variations. She said she liked the artistic screening because it was actually a piece of art. Mr. Brown said he was very impressed. Chairman Wyckoff said it was a great concept and would like to see a representation of where it had already been used and what it was going to look like. He said he liked Option 2 because of the cornice and hoped there would be a design that would emphasize and break up the roofline, which he thought was the most important thing.

Mr. Slocum discussed Building 3, the Flatiron building. He said they split the ground floor level due to the slope and created the reverse of Building 2. He said the retail space would be opened up so that it would flow out to the sidewalk and park, and the building itself transitioned from Building 2 into the more narrow and curved portion and respected the train tracks.

Ms. Bouffard said she had liked the building from the beginning. Mr. Ryan said it had an intriguing element and thought there could be a spire on top of the roof because it was kind of flat. It was further discussed. Mr. Adams said the design was well thought out and the whole complex was stunning but didn't see how it belonged in Portsmouth. Mr. Slocum said the property leaned more toward the newer part of town and the building was a transitional piece that had to be flexible. Mr. Brown said Building 3 won him over. Chairman Wyckoff said it was fine and that he had no problems with it. He asked what the windows would look like with blinds and shades. Mr. Slocum said it would be a uniform feel throughout.

### **Public Comment**

Elizabeth Bratter of 159 McDonough Street said she liked the building. She said the north end had a lot of funky buildings and the railroad setting was interesting. She said the building looked like a 4-story one when it was really five stories but the massing still bothered her.

### **DECISION**

*The applicant indicated that they would **return** for a work session/public hearing.*

C. Work Session requested by **One Market Square, LLC**, owner for property located at **1 Congress Street & 0 High Street**, wherein permission is requested to allow renovations to an existing structure (repair and upgrade building facades along Congress and High Streets) and new construction to an existing structure (replace rear shed additions with new 4-5 story addition) as per plans on file in the Planning Department. Said property is shown on Assessor

Map 117 as Lot 14 & 15 and lies within the Character District 4 (CD4), Character District 5 (CD5), Downtown Overlay and Historic Districts. (LUHD-425)

## **WORK SESSION**

Architect Tracy Kozak, Landscape architect Terence Parker, and Marie Brodie of McNabb Properties were present on behalf of the applicant. Ms. Kozak reviewed the changes, which included pushing the street facades back, changing the dormers, simplifying the windows, lowering and sloping the roof, moving the elevator and stair towers back, redesigning the marquee awning and adding traditional awnings, and lowering the glass element on the corner. She said there would be solar panels and that they took cues from the existing building's design, like the medallions and shadow elements. She said granite piers with metal screening were added on High Street and there were several landscape improvements. Mr. Parker said his job was to pick up on the architectural theme of metal, glass, and illumination by designing metal arches, sculpting stone benches and a serpentine railing, and other landscape features.

Ms. Bouffard asked if the windows were operable. Ms. Kozak said they were and explained how they would open and close. Ms. Doering noted the coins on the corner of the old buildings on Congress Street and said it seemed to be an elaborate mismatch of modern windows and Victorian ornate coins. Ms. Kozak said the buildings were rebuilt in the 1890s and a fancy cast iron storefront was put in. Mr. Adams said the angled windows, glazed corner, and roof edge skylights were all awkward to him, but he appreciated the changes to the front of the small building on Congress Street and the eccentricities around the Opera House building. Ms. Kozak said the roof changes were a big change from where there were dormers, and the sky window wall was original to the building and experimental, as was the cast iron. She said they were capitalizing on those features and carrying them through. Chairman Wyckoff asked if the three skylights were molded together and what was between them. Ms. Kozak said it was a buttress that took its cue from the flanking copper edges of the sky window. Chairman Wyckoff asked why the building had a lot of new features and why the skylights had to be there. Ms. Kozak said the fins that flanked the building had a curve and three angles, so she thought it would be cleaner to do a shallow curve. It was further discussed.

Mr. Ryan said the building was very unique but he didn't like the drive-thru because it ruined the pedestrian experience at the sidewalk level. He recommended that it go to the far right of the vehicle opening and come out on Haven Court so that it would allow pedestrian access under the prism and into the building. Ms. Bouffard said there was a lot going on with the building, although she liked many of the elements. Chairman Wyckoff said it was like being transported to Montreal. He said the drive-thru was needed for the hotel. He said the combination of 'stuff' confused him and that he wanted to make sure it was right. Ms. Doering agreed that there were a lot of elements and said the challenge was to figure out how to harmonize them more. She said the old buildings on Congress Street had common elements but the addition wasn't working in combination with them. She said she liked the skylight concept but thought it needed more work, and she thought the drive-thru felt like a garage. She said she was still weighing in on the obelisk corner features. The garage and parking spaces were further discussed.

## **Public Comment**

Elizabeth Bratter of 159 McDonough Street said the addition was out of place in the middle of downtown and against the backdrop of North Church and should come down in height. She said the proposed glass seemed like a beacon to the restaurant and shouldn't be permitted in the District. She said the back of the Hanover Street Garage didn't need any wayfaring, and the drive-thru would impact traffic.

## DECISION OF THE COMMISSION

Chairman Wyckoff said the applicant was seeing a lot of push-back from the Commission, yet kept returning after only changing a detail or two.

*It was moved, seconded, and passed unanimously to **continue** the work session to the June 1 meeting.*

D. Work Session requested by **445 Marcy Street, LLC**, owner for property located at **445 Marcy Street**, wherein permission is requested to allow the construction of a new single family residence with attached garage as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 3 and lies within the General Residence B (GRB) and Historic Districts. (LUHD-424)

Vice-Chair Ruedig recused herself from the following work session.

## WORK SESSION

Architect Tracy Kozak and the owners Jim and Gail Sanders were present. Ms. Kozak reviewed the changes, which included lowering the top of the roof three feet and changing its pitch, removing six inches from each floor, holding the first-floor elevation at 13 feet for sea level rise, and lowering the porch and garage heights. She said they got an engineering grade plan due to the swale and that the water management design of the parcel would improve the flooding aspect. Other changes included window changes, changing the shingle exposure from six inches to four inches, adding a return jamb trim to the windows, removing a curb cut, and putting solar panels on the rear roof. She said they met with the Technical Advisory Committee (TAC), who said the street address had to be Partridge Street due the garage. She reviewed the elevations.

Mr. Adams noted that the metal roofing would eventually have a color and the round window at the gable end had no trim. Ms. Kozak said they were showing a smooth board that was supposed to be white that went around and they didn't have the 4" surface casing around it. Mr. Adams said the windows and sashes looked like they were recessed. Ms. Kozak said it was an 18" insulated wall and the bumpouts were shingles and had a different application of the trim and the plane of glass to the wall. Mr. Adams said the shingle appeared normal on the rendering but looked like a rusticated shingle on the drawing. Ms. Kozak said it was a function of the textures they had. Ms. Adams said the stately building would be better with a straight line shingle. He asked about the industrial-looking railing that went along the parapet. Ms. Kozak said it was meant to be glass with a metal cap to make it appear invisible but said it could be a simple cast iron instead. Mr. Adams said pulling the deck surface and the roof surface down was successful and thought the porch had a more human scale.



Ms. Doering said she appreciated the effort to bring the height down but thought it was still a very large mass, especially compared to the mass of several surrounding homes, but she realized that the owner had a bigger lot than the neighbors, so she was torn. She said breaking up the building helped with the mass. Mr. Ryan said a few more things could be done to break up the mass, like the intercepting gable being more of a dormer. He said the ridge could be brought down a few feet and the surface of that gable could be brought in, and the garage ridge could be cut to give the sense that the garage was a piece in and of itself. He said there was a lot of roof. He said the solar panels were inappropriate for the District and could set a precedent. Chairman Wyckoff said each application was considered separately. Mr. Brown said he appreciated the height being dropped three feet but thought the building still overwhelmed the neighborhood. He said he had no problem with the height of the dormer on Pray Street. Ms. Bouffard said she was concerned about the amount of roof and agreed with Mr. Ryan that the garage didn't have to be that high. She said she knew solar panels were evolving but didn't think they were there yet.

Chairman Wyckoff said he agreed that if the peak on Pray Street could be turned into a dormer, it would take care of 90 percent of the heartburn a lot of the Commissioners had. He asked if there was a staircase to the garage. Ms. Kozak said the garage was connected to the house and the garage door was three feet lower than the house door, whereas the second floor aligned with the garage attic. Chairman Wyckoff said it wasn't really appropriate to the nearby Colonial homes but there were other Victorian homes in that area. He said he felt that the house was a good fit due to the lot size and that the applicant did a lot of work.

Ms. Kozak briefly discussed the materials, which were wood clapboards or shingles, fiberglass-clad windows, composite trim, and roof options.

### **Public Comment**

John Eberlein of 454 Marcy Street said he appreciated the height being brought down but said the Pray Street residents were still concerned about the massing and thought the building would stick out compared to the Colonials. He said reducing the overall roof coverage would help.

Jean McCoy of 499 Marcy Street said she was in favor of the proposal. She said some people had concerns about a large home going on that piece of property but had known that there would be a large home placed there eventually. She said the owners would make sure the house would fit into the neighborhood, and she didn't think the house was that large compared to the lot.

### **DECISION OF THE COMMISSION**

*Mr. Adams moved to **continue** the work session to the June 1 meeting, seconded by Ms. Doering. The motion **passed** by unanimous vote, 6-0.*

E. **REQUEST TO WITHDRAW- Work Session** requested by **Working Stiff Properties, LLC**, owner for property located at **92 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (replace windows and storm windows, construct an iron balcony and replace two windows with balcony doors) as per plans on file in the Planning

Department. Said property is shown on Assessor Map 107 as Lot 76 and lies within the Character District 4 (CD4), Downtown Overlay and Historic Districts. (LUHD-422)

### **DECISION OF THE COMMISSION**

*It was moved, seconded, and **passed** unanimously (7-0) to allow the withdrawal.*

### **III. WORK SESSIONS (NEW BUSINESS)**

1. Work Session requested by **Mill Pond View, LLC, owner**, for property located at **179 Pleasant Street**, wherein permission is requested to allow new construction to an existing structure (minor demolition, new construction, restoration and renovation of the accessory structures and annex of the main home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 15 and lies within the Mixed Research Office (MRO) and Historic Districts. (LUHD-463)

#### **WORK SESSION**

Architect Carla Goodnight and consultant David Calkins were present. Ms. Goodnight said they documented the three primary structures and called out the more historic pieces of the interior and exterior, did massing studies and looked at historic precedents, and their structural engineer evaluated many of the structure's elements. She reviewed the elevations and said there was a significant amount of rot in the foundation and disrepair throughout. Mr. Calkins reviewed the materials and construction methods and the building's history. He said the carriage house was original but the connector building wasn't and that they were very sensitive to the original 1784 carriage house and prepared to do what was necessary for it. Ms. Goodnight said there wasn't much left in the connector piece worth doing other than gathering the pieces together and repurposing them. She said the carriage house needed to be lifted to rebuild the foundation. Chairman Wyckoff asked about the rock foundation against the other person's property. Mr. Calkins said he thought there was a foundation there.

Mr. Adams asked how much of the carriage house would be kept. Mr. Calkins said it was conceptual but he planned to run steel beams through the first floor and take the whole top of the house off. He said everything else in there had to go way. Ms. Doering said the massing was very similar and in some ways smaller than what was approved before, so she had no issues with it. Ms. Goodnight said they might do a T-shape that would be screened and not visible, and they wanted to look at historic precedent for the connector piece. She showed examples and said they might need architectural options for the massing.

Mr. Adams said there was an applied symmetry to the front of the carriage house that would be missed, but he didn't think there was any extraordinary historic fabric or precedent in the arched carriage house that would be missed. He said he liked the connector because it was a unique feature. Vice-Chair Ruedig asked if he liked the idea of adding arches to it. Mr. Adams said not so much and hoped the applicant didn't try to redefine it with a gable roof. Vice-Chair Ruedig said it was an old connector piece that she would stick with. Chairman Wyckoff said the Commission needed some plans to look at.

There was no public comment.

## DECISION

*The applicant said they would **continue** the work session to a future meeting.*

Mr. Adams was recused from the following work session.

2. Work Session requested by **James William Woods and Anna Roeline Meinardi, owners**, for property located at **1 Walton Alley**, wherein permission is requested to allow new construction to an existing structure (construct a 2-story addition and a detached single car garage) and renovations to an existing structure (replace roofing, remove skylights, and re-fence the property) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 27 and lies within the General Residence B (GRB) and Historic Districts. (LUHD-461)

## WORK SESSION

Architect Mark Gianniny was present on behalf of the applicant. He said they wanted to build a two-story addition and a small garage and update the interior of the house by replacing windows and siding, re-shingling the roof, and removing the skylights. He said the addition would provide a mudroom and two bathrooms and would match existing clapboards and have wood windows.

Vice-Chair Ruedig asked for details for the house and garage windows and doors. Mr. Gianniny said they would be provided at the next work session. Mr. Ryan said it was tasteful and nicely scaled. Vice-Chair Ruedig asked if a gable roof could be considered for the addition. Mr. Gianniny said the idea was to have a hip roof but that they could look into it. Vice-Chair Ruedig said a hip roof might look too flat. Mr. Brown asked if the driveway was original. Mr. Gianniny said it was a crushed stone driveway that connected to the bottom side of the garage. Chairman Wyckoff said he was in full support because historic materials were being used and the massing was fine. He said the garage might be too small to fit a large vehicle, though.

## Public Comment

David Adams of 210 Gates Street asked if the garage would be in grade with the driveway or if the driveway's level would be raised. Mr. Gianniny said it was to be determined. Mr. Adams asked what kind of foundation would be used for the house, and Mr. Gianniny said they'd like to match what was there.

## DECISION

*The applicant indicated that he would **return for a public hearing** after he got approval from the Board of Adjustment.*

3. Work Session requested by **EIGHTHKPH, LLC, owner**, for property located at **161 Deer Street**, wherein permission is requested to allow the demolition of the existing structure

and the new construction of a new mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 17-3 and lies within the Character District 5 (CD5) and Historic Districts. (LUHD-462)

### WORK SESSION

Architect Carla Goodnight and the owner Todd Allen were present. Mr. Allen said the design that was previously approved was about three feet below grade and couldn't be built. Ms. Goodnight said their inspiration was based on the actual train station that was located on the site and that a lot of images were found that informed the building's design. She said the north end's history and mission plan showed similar architecture for the area. She showed examples of the surrounding architecture. She said the penthouse was a big difference from the prior approval because it would be lowered, and the side modulation would have recessed balconies. She said some key pieces would be presented at the next work session.

Chairman Wyckoff asked for comments on the massing and corner treatments. Mr. Adams said the eroded radius corner provided exciting fenestration. He said one of the characteristics of that period was the rail station house, which was usually overly decorated with shakes and dormers and other accoutrements. Vice-Chair Ruedig said she didn't know how the form related to any of the historic buildings but thought it looked like a typical modern building. Ms. Bouffard said she liked that the mass was brought down. Chairman Wyckoff said he was in favor of the eroded corner, noting that it was something seen on the newly-constructed bank building in town. He said he had no problem with the size but had liked the corner tower-like element in the previous iteration. Mr. Brown said the massing was fine.

### Public Comment

Elizabeth Bratter of 159 McDonough Street said she was excited that the building was coming down one story but thought it should be more traditional instead of another modern building.

### DECISION OF THE COMMISSION

*It was moved, seconded, and **passed** unanimously (7-0) to **continue** the work session to a future meeting.*

Ms. Doering recused herself from the following work session.

4. Work Session requested by **43 Holmes Court, LLC, owner**, for property located at **43 Holmes Court**, wherein permission is requested to allow the demolition of the existing home and the new construction of a single family home of similar design as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 14 and lies within the Waterfront Business (WB) and Historic Districts. (LUHD-465)

### WORK SESSION

Designer Brendan McNamara and the owner were present. Mr. McNamara said the house was close to the flood zone and that the new house would be fully compliant with code.

Vice-Chair Ruedig asked if it was truly related to the 50% Rule regulation of the National Flood Insurance Program (NFIP) and why the value was so low. (**NOTE:** the 50% Rule prohibits improvements to a structure exceeding 50A% of its market value unless the entire structure is brought into full compliance with current flood regulations). Mr. McNamara said the structure's value took in the tax value, not the market value. Mr. Adams asked how much of an effect raising the house out of the flood level and building a new house would have on the neighborhood. Mr. Cracknell said it wasn't that simple. He said he didn't think it was fair that everyone in the flood zone or subject to an increasing flood line would spend 50 percent of the assessed value of the structure to bring it up to full code compliance. He said it was the goal and not a requirement, and the inspectors had the ability to waive the code if it wasn't a life safety one if someone lived in the Historic District, otherwise the whole south end would be lost at some point. He said it could cost millions to lift the structure and put in a new foundation, and he wanted to make sure there was flexibility in the building code in how it got applied. It was further discussed.

Chairman Wyckoff asked if the house had been flooded recently. Mr. McNamara said it had not, but the basement was damp. He said no flooding materials could occur below the 11-ft flood elevation and that the foundation could be a flow-through one but might need to be floor-and-dry. Mr. Cracknell asked how much exposure under the first floor would be expected if the house was lifted. Mr. McNamara said it was about an 8-inch exposure on the roadside and a 2-ft exposure on the water. He said it was the first step and was highly regulated and would require variances and lots of permitting. He said it was more of a feasibility study and that a functional enlargement of the structure was presented. Mr. Ryan said the house was very formal and had a quality that was identifiable and thought it would be nice to have some reference to what was there before. He said the roof was very prominent. Mr. Adams said the house had a 1-1/2 story look and kept the level of the roof down like the existing building. He said he was surprised that the dormers weren't kept and thought the glazing toward the river was a little heavy for the scale. Vice-Chair Ruedig said she found it depressing that an entire historic house had to be demolished but knew there wasn't a lot that could be done about it. She said she'd like to see a reference to what was there now, even though the dormers were later additions, because it was part of the house's history. She said the massing was very appropriate.

Chairman Wyckoff referred to Mr. Cracknell's comment about some kind of agreement being necessary with the building inspector or the whole south end would be lost. He said if all those 2-story Colonials were lifted, they wouldn't pass muster as far as the new codes went. Vice-Chair Ruedig said exemptions could be had in certain cases. Mr. Cracknell clarified that he did not think the Inspection Department or the building code would require any of the south end homes to be torn down in order to be brought up to code. He said it was more likely that any of those houses, including the applicant's, would be elevated and waivers would be granted. He said the code wasn't forcing the house to be demolished, it was what the applicant believed was a better solution than elevating it. Mr. McNamara said if the house wasn't in the flood zone, they wouldn't be having the discussion. Chairman Wyckoff suggested that the Commission do a site walk to look at the property.

### **Public Comment**

Jean McCoy of 491 Marcy Street said she shared Vice-Chair Ruedig's depression but thought the south end residents knew what they were getting into when they bought the houses. She said the applicant's proposed house had a very different appearance and thought something closer to the existing house would be more appropriate, especially in the District.

Deborah Black of 24 Holmes Court agreed and said she'd like to see something more similar to the surrounding homes. She asked if the new house would be moved over. Mr. McNamara said it would be in the same spot but would be taller, and it was further discussed.

Brenda Bouchard of 32 Holmes Court said she agreed with the other public comments and thought it was sad that the south end was losing historic homes.

#### **DECISION OF THE COMMISSION**

Mr. McNamara said they would probably put back the dormers.

*It was moved, seconded, and **passed** unanimously (6-0) to **continue** the work session to the June 1 meeting.*

#### **IV. ADJOURNMENT**

The meeting was adjourned at 11:24 p.m.

Respectfully submitted,

Joann Breault  
HDC Recording Secretary

# **HDC**

## **ADMINISTRATIVE APPROVALS**

<b>June 01, 2022</b>
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- |    |                                 |                       |
|----|---------------------------------|-----------------------|
| 1. | 60 Penhallow Street (LUHD-479)  | -Recommended Approval |
| 2. | 553 Islington Street (LUHD-476) | -TBD                  |
| 3. | 118 Pleasant Street (LUHD-477)  | -Recommended Approval |
| 4. | 475 Marcy Street (LUHD-473)     | -Recommended Approval |
| 5. | 33 Deer Street (LUHD-474)       | -TBD                  |

**1. 60 Penhallow Street**

**- Recommended Approval**

**Background:** The applicant is seeking approval for the addition of emergency egress lighting over doorways; change zinc takeout counters to granite.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



**LUHD-479**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** May 15, 2022**Applicant**

Tracy Kozak  
tracyskozak@gmail.com  
3 Congress Street, Suite 1  
Portsmouth, New Hampshire 03801  
603-731-5187

**Location**

60 PENHALLOW ST  
Portsmouth, NH 03801

**Owner:**

DAGNY TAGGART LLC  
3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Add emergency egress lights over doors; change take-out counters from zinc to granite.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

tracy kozak

**Business Name (if applicable)**

arcove architects

**Mailing Address (Street)**

3 Congress St, Ste 1

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

603.731.5187

**Email Address**

tracy.kozak@arcove.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

# 60 PENHALLOW STREET

## AT

# BRICK MARKET

### HDC REVISION 5 - MAY 13, 2022

HDC - APRIL 2022 SHEET LIST	
Sheet Number	Sheet Name
H1.1	COVER
H2.1	FIRST FLOOR PLAN
H2.2	NORTH ELEVATION (DANIEL ST) PROPOSED
H2.3	EAST ELEVATION (PENHALLOW ST) PROPOSED
H2.4	SOUTH ELEVATION (SOUTH ALLEY) PROPOSED
H3.1	DANIEL ST TAKE-OUT WINDOW
H3.2	PENHALLOW ST TAKE-OUT WINDOW
H3.3	ENTRY - DANIEL & PENHALLOW
H6.3	CUT SHEETS

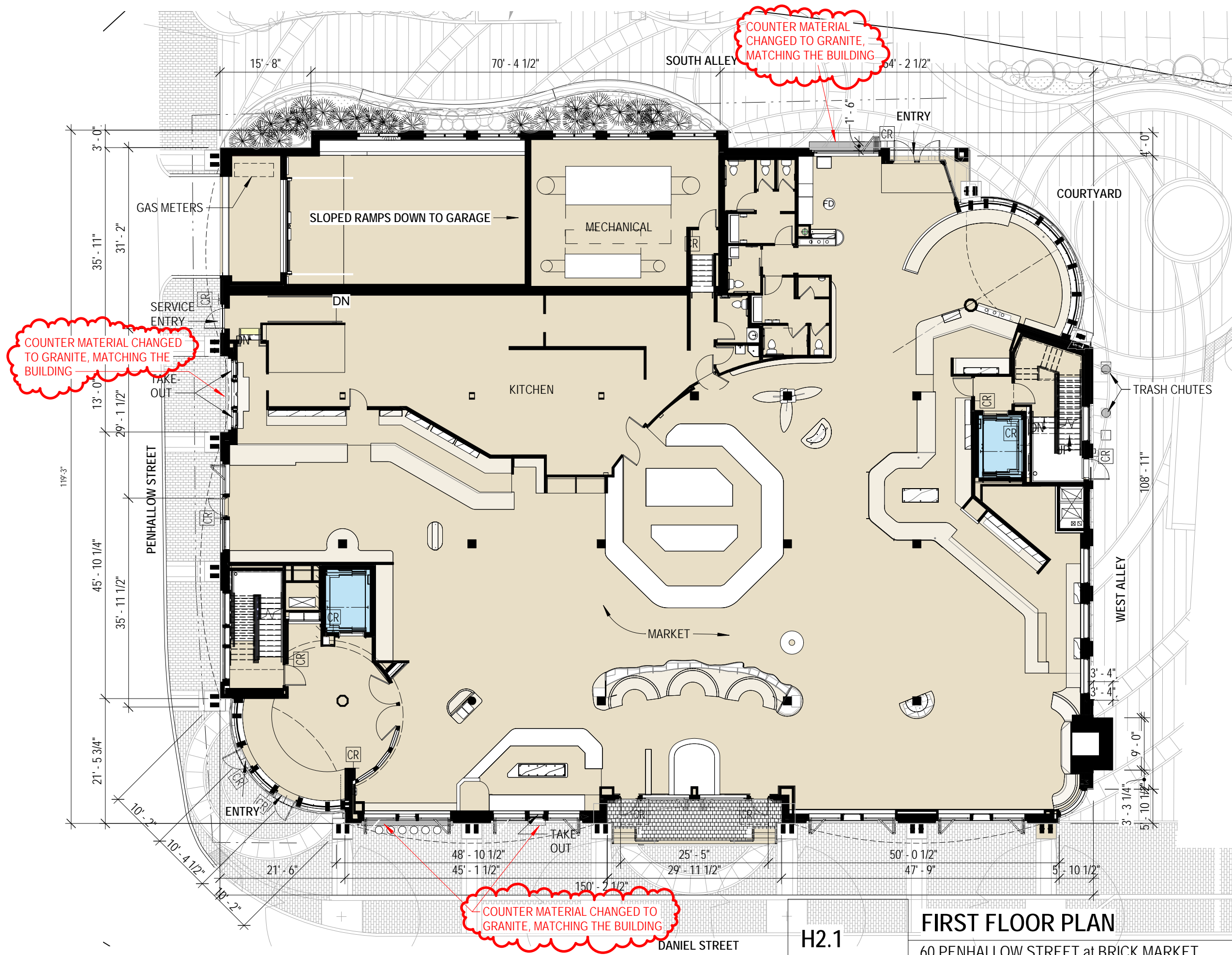


- SUMMARY OF REVISIONS
- 1. Exterior countertops changed to granite matching the building
  - 2.Added lights at takeout windows
  - 3.Revised light at entry door

H1.1

COVER

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 5, 05/13/2022



**1 FIRST FLOOR OVERALL PLAN**  
1/16" = 1'-0"

H2.1

## FIRST FLOOR PLAN

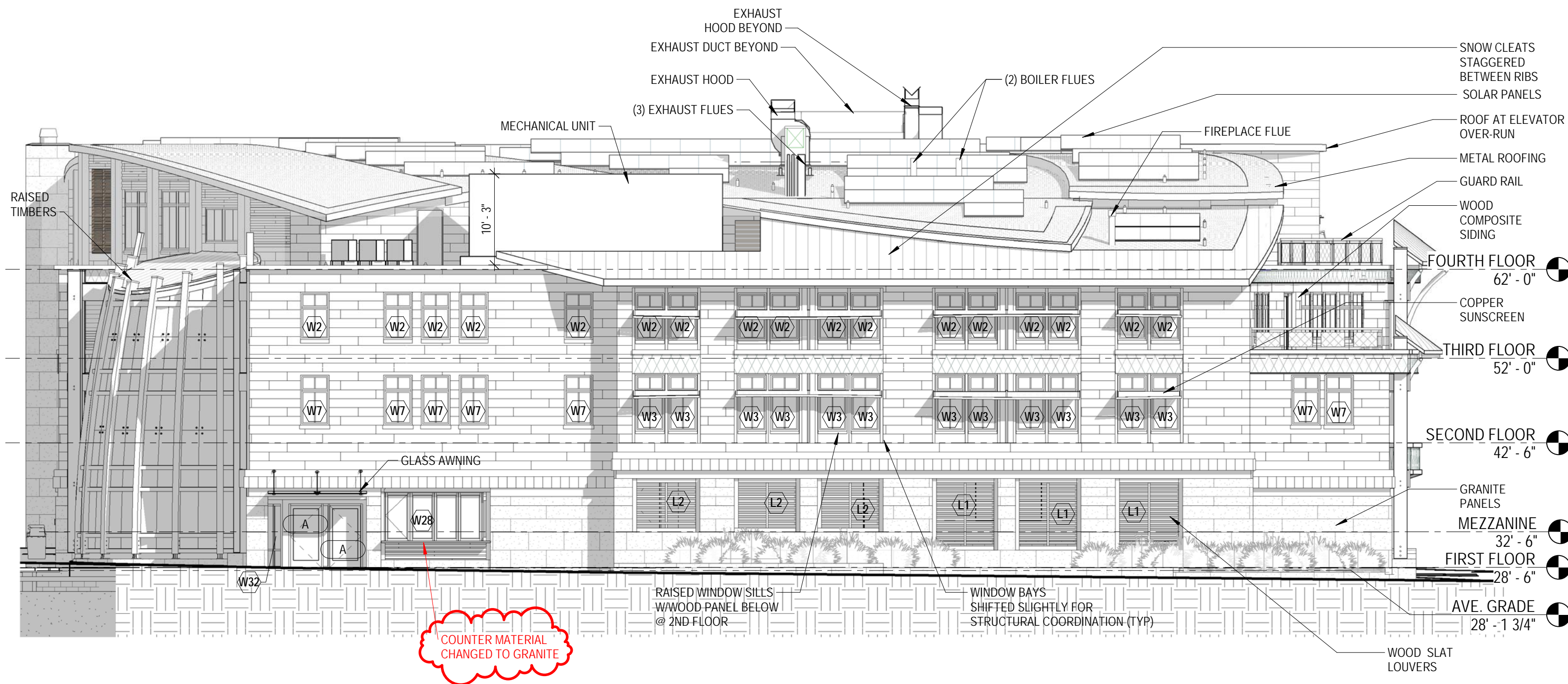
60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 5, 05/13/2022









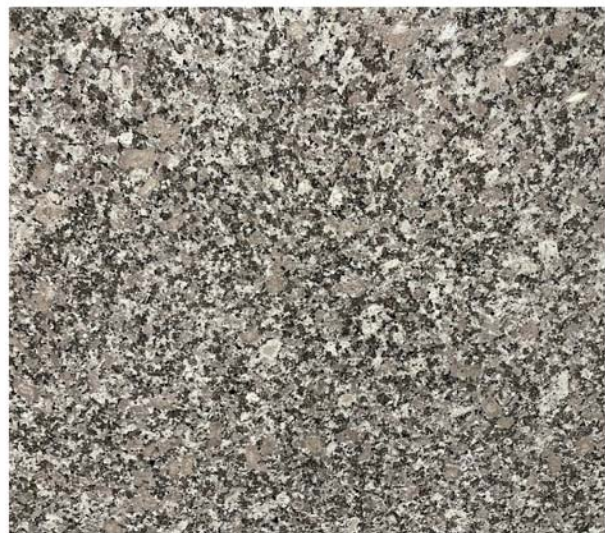


1 SOUTH ELEVATION - ALLEY  
3/32" = 1'-0"

H2.4

## SOUTH ELEVATION (SOUTH ALLEY) PROPOSED

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 5, 05/13/2022



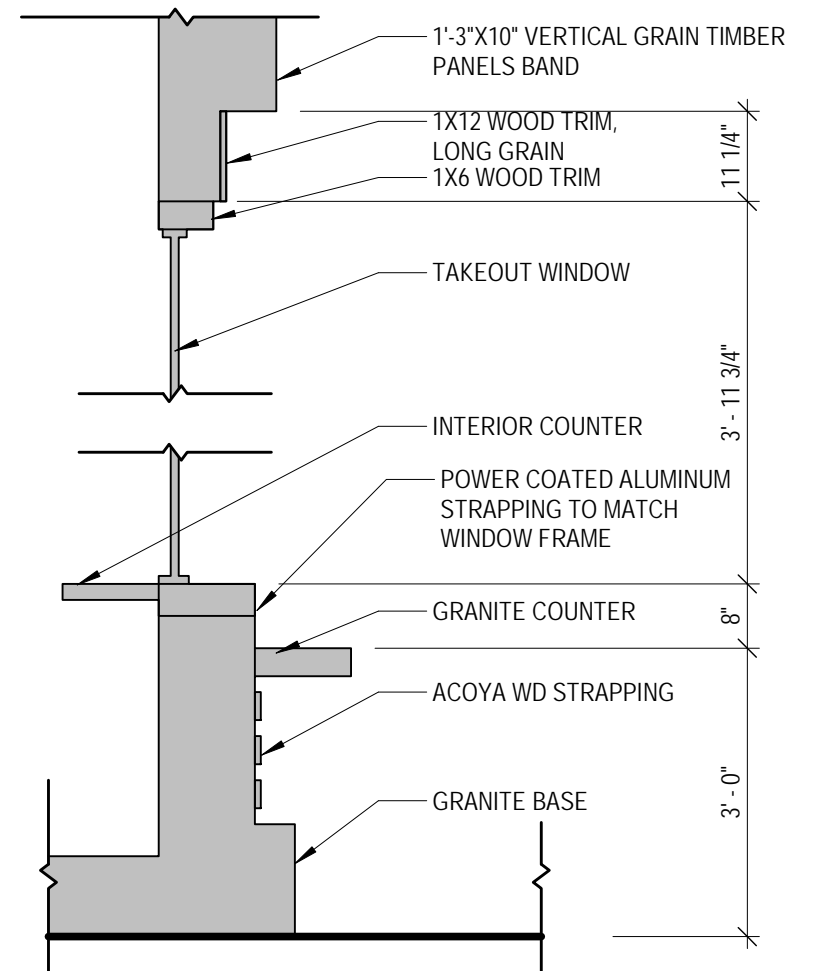
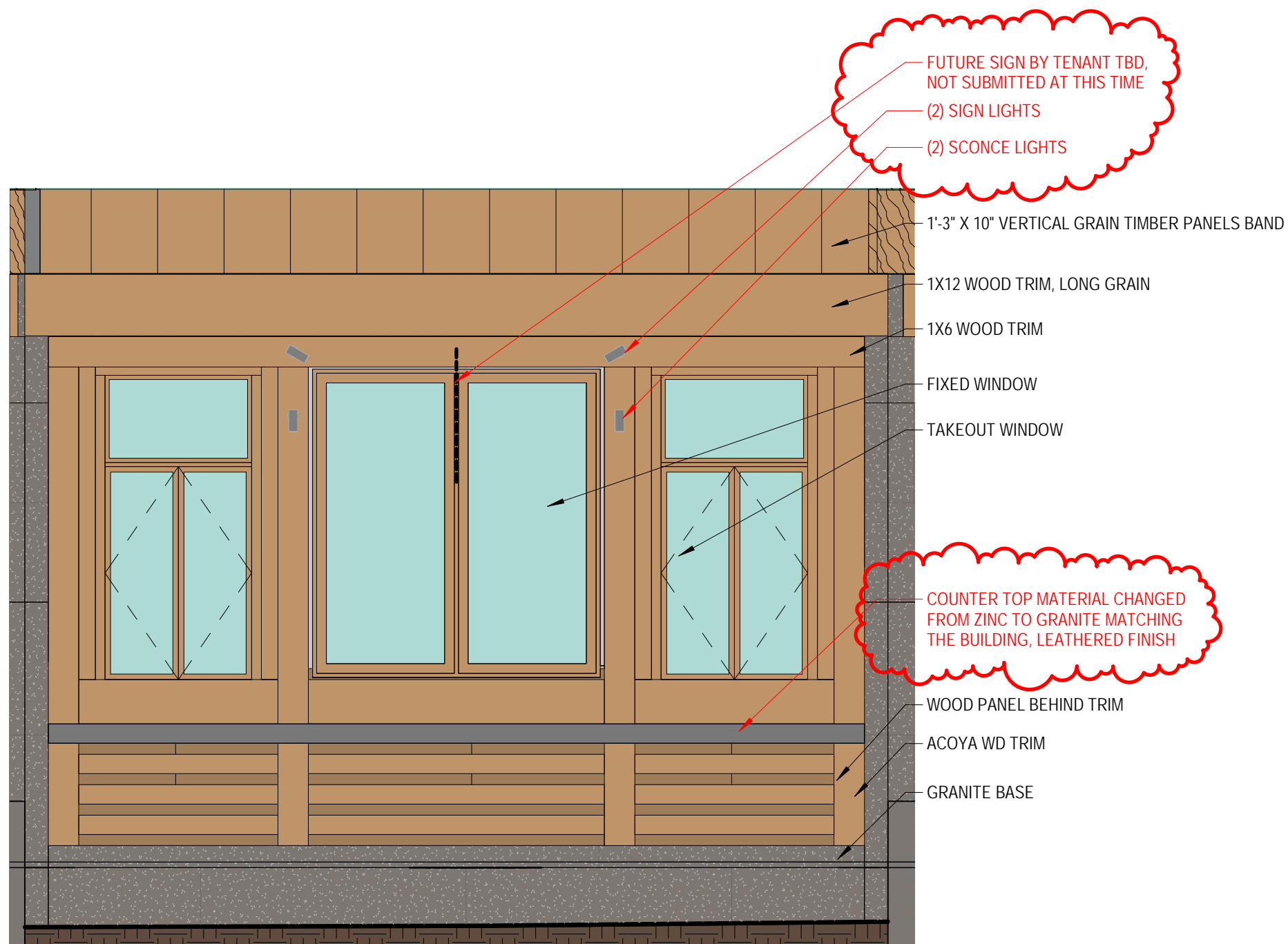
DEER ISLAND GRANITE

H3.1

### DANIEL ST TAKE-OUT WINDOW

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 5, 05/13/2022





1 HDC EAST TAKE OUT WINDOW ELEVATION  
1/2" = 1'-0"

2 HDC EAST TAKE OUT WINDOW ELEVATION  
1/2" = 1'-0"

H3.2

## PENHALLOW ST TAKE-OUT WINDOW

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 5, 05/13/2022



1 HDC ENTRY TOWER BASE ELEVATION  
1/2" = 1'-0"

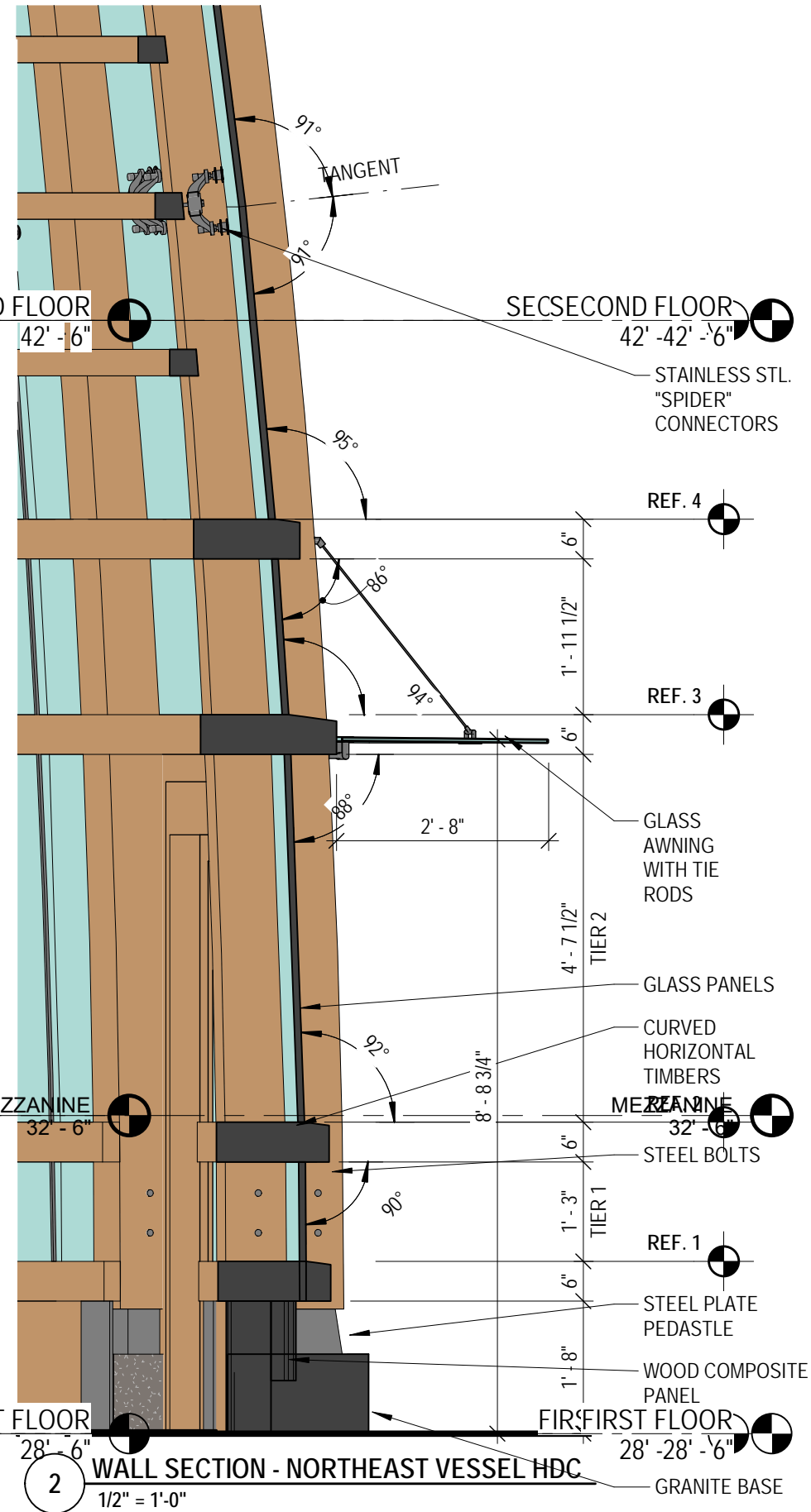
2  
BOLTS ON  
SIDES OF TIMBERS (TYP)

CONCEALED  
RECESSED LED  
STRIP LIGHT  
STEEL PLATE PEDASTLE  
GRANITE BASE

H3.3

## ENTRY - DANIEL & PENHALLOW

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 5, 05/13/2022



SECOND FLOOR  
42' - 6"

SECSECOND FLOOR  
42' - 42' - 6"  
STAINLESS STL.  
"SPIDER"  
CONNECTORS

REF. 4

REF. 3

GLASS AWNING  
WITH TIE  
RODS

GLASS PANELS

CURVED  
HORIZONTAL  
TIMBERS

MEZZANINE  
32' - 6"

STEEL BOLTS

TIER 2

4' - 7 1/2"

REF. 1

STEEL PLATE  
PEDASTLE

WOOD COMPOSITE  
PANEL

1' - 8"

FIRST FLOOR  
28' - 6"

GRANITE BASE

2 WALL SECTION - NORTHEAST VESSEL HDC  
1/2" = 1'-0"



ARCHITECTS  
INTERIORS  
PLANNERS



TYPE JLW - MUE-AC-10-X-W

# MOONLITE LED®

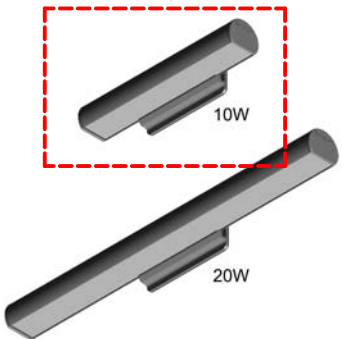
Series MUE  
REV #: MUE.11.20.17

## Mullion Mount Outdoor Emergency Egress Lighting

**OVERVIEW**  
Linear LED outdoor egress with both emergency lighting and night lighting function. The MUE series is designed to mount directly on mullion frames used in typical glass panel entrance structures, with vertical mounting surface as small as 2". High efficiency LEDs and full 90° cut-off provide uniform emergency and night lighting on the extended egress pathway. All models are outdoor rated, UL wet location, ADA compliant, and exceed requirements of UL Standard 924 and NFPA 101. Designed and manufactured in the USA, complies with ARRA (American Recovery and Reinvestment Act) and Buy American requirements.

- SPECIAL FEATURES**
- Very low profile extruded aluminum housing and mount bracket blend seamlessly with structural metal frames
  - Remote power supply for 10W and 20W BB and AC model single fixtures, or Central Battery System power for RE model multiple fixtures.
  - Option for 20 watt models to operate for 2 hours in emergency mode
  - Options for mount bracket height, from 2" to 5"
  - Standard finishes include Brushed Aluminum, Satin White, Bronze or Black. Custom colors available on request
  - Custom satin finishes for extended outdoor use are available to match any surface
  - IP66 housing seals against heavy water spray and fine dust
  - Universal side or top mount
  - Wide lighting distribution designed for entrance walkways
  - 10W or 20W emergency power models
  - Optional normal-on switch allows timed control of night lighting
  - Self-Test Diagnostics is standard for central battery models and optional for integral battery models.
  - Certified IP66 housing withstands multi direction water spray and fine dust ingress
  - Wall mount version available (see Series MAE)
  - Standard CRI 5000K, with optional color corrections filters for 2900K, 3200K and 3800K.
  - Code compliant emergency lighting layouts provided

PROJECT: PENHALLOW GARAGE/COMMON  
TYPE: JLW  
CATALOG #: MUE-AC-10-X-W

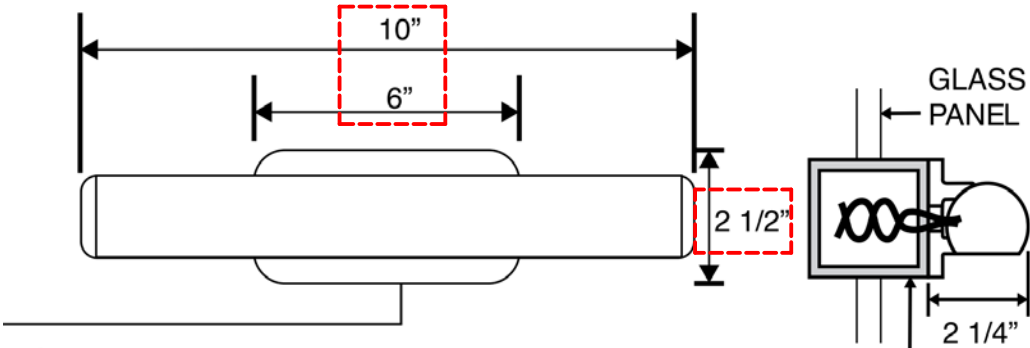


### FIXTURE ORDERING INFORMATION EXAMPLE: MUEBB10AW-DG

MUE	AC	10	W	—
MODEL SERIES	OPERATION	POWER	HOUSING COLOR	MOUNT
MUE	RE Central Battery	10 10 Watts emergency and normal on power	W Satin White	T Top
	BB Battery backup (includes RPS)	20 20 Watts emergency and normal on power	A Aluminum	W Wall
	AC No battery (includes RPS)		B Dark Bronze	X Custom

OPTIONS
DG Self-test diagnostics (BB models only)
SD Night Lighting Control Switch for models with DG option (120/277VAC)
SB120 Night Lighting Control Switch for standard BB models (120VAC)
SB277 Night Lighting Control Switch for standard BB models (277VAC)
REC 20W RPS panel recessed mount
2EM 2 hrs emergency operation for BB models
CW1 Color temp. - 3800K
CW2 Color temp. - 3200K
CW3 Color temp. - 2900K
DAC Dual AC input
2HT 2" Mount Bracket height
5HT 5" Mount Bracket height

ADVISE HOUSING FINISH



OVER DOOR EGRESS LIGHT (TYP AT EXTERIOR DOORS)



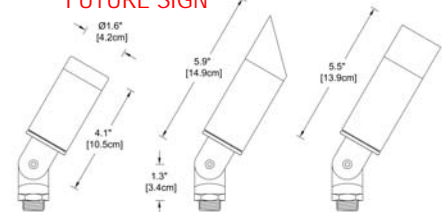
## E8

The E8 is an unobtrusive, low-voltage, directional fixture. Its minimalist design brings attention to the lamp's effect, not to the fixture itself. The E8 takes advantage of LED modules that can produce a range of beam spreads with just a simple change of our line of field-serviceable optics.

<b>Construction</b>	All brass components. 1/8" [3mm] thick brass housing.
<b>Lens</b>	Tempered glass, stepped to prevent pooling of water on lens
<b>Voltage</b>	12 Volts AC / DC with integral driver (9-15V input, dimmable below 9V). Remote transformer required.
<b>Lamps</b>	Triac dimmable: MLV >6% typ., ELV >16% typ.  One XPE2 LED 2 Watt AMBER (1541K) TURTLE FRIENDLY — 2W-A-SP 10° / 20° 1366 65 29 — 2W-A-NFL 14° / 31° 587 64 29 — 2W-A-FL 28° / 60° 108 40 16 — 2W-A-NO 48° / 114° 15 14 6  One XPE2 LED 2 Watt RED-ORANGE (1000K) TURTLE FRIENDLY — 2W-RO-SP 10° / 18° 2841 123 54 — 2W-RO-NFL 13° / 28° 1463 119 52 — 2W-RO-FL 32° / 56° 229 81 35 — 2W-RO-NO 49° / 114° 32 32 14  One XPG2 LED 3 Watt Warm White (3020K) — 3W-SP 13° / 24° 2689 202 69 — 3W-NFL 17° / 37° 1214 177 61 — 3W-FL 30° / 62° 391 143 49 — 3W-NO 47° / 86° 42 37 13  One XPG2 LED 4 Watt Warm White (3020K) — 4W-SP 13° / 24° 3399 249 64 — 4W-NFL 17° / 38° 1514 230 59 — 4W-FL 30° / 62° 492 194 50 — 4W-NO 71° / 121° 55 81 21

<b>Optical Accessories</b>	— BGS8 Brass glare shield, 45° cutoff — BGS8F Brass glare shield, full cutoff with weep hole — CTO-1/4-1.36 Color Temperature Orange filter 1/4 — CTO-1/2-1.36 Color Temperature Orange filter 1/2 — CTO-3/4-1.36 Color Temperature Orange filter 3/4 — FR8 Frosted lens, 1/8" [3mm] thick — HL8 Honeycomb louver, 1/8" [3mm] thick — KP Extended snoot (no weep hole) for DOWNLIGHTING only — PR8 Prismatic spread lens, 1/8" [3mm] thick — RT8 Rectilinear spread lens, 1/8" [3mm] thick — SL8 Solite (Soft Focus) lens, 1/8" [3mm] thick
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FINAL OPTICS AND ACCESSORY TBD WITH FUTURE SIGN



## SIGN LIGHT

## H4.1

## CUT SHEETS

60 PENHALLOW STREET at BRICK MARKET  
HDC Revision 5, 05/13/2022

## E1

The E1 is an unobtrusive, low-voltage, step/downlight. Its minimalist design brings attention to the lamp's effect, not to the fixture itself.

<b>Construction</b>	All brass components. 1/8" [3mm] thick brass housing.
<b>Lens</b>	Tempered soda lime glass
<b>Voltage</b>	12 Volts AC/DC with integral driver (9-15V input, dimmable below 9V). Remote transformer required.
<b>Mounting</b>	Two (2) hidden stainless steel sheet metal screws secure back plate to the mounting surface. Fixture housing is secured to the back plate by stainless steel set screws. Custom size canopies available using 0.125" thick brass plate. Consult factory regarding custom canopy size, shape, and thru hole positioning needed to mate with recessed j-box (by others).

<b>Lamps</b>	Triac dimmable: MLV >6% typ., ELV >16% typ.  One XPE2 LED 2 Watt AMBER (1541K) TURTLE FRIENDLY — 2W-A-SP 10° / 20° 1366 65 29 — 2W-A-NFL 14° / 31° 587 64 29 — 2W-A-FL 28° / 60° 108 40 16 — 2W-A-NO 48° / 114° 15 14 6  One XPE2 LED 2 Watt RED-ORANGE (1000K) TURTLE FRIENDLY — 2W-RO-SP 10° / 18° 2841 123 54 — 2W-RO-NFL 13° / 28° 1463 119 52 — 2W-RO-FL 32° / 56° 229 81 35 — 2W-RO-NO 49° / 114° 32 32 14  One XPG2 LED 3 Watt Warm White (3020K) — 3W-SP 13° / 24° 2689 202 69 — 3W-NFL 17° / 37° 1214 177 61 — 3W-FL 30° / 62° 391 143 49 — 3W-NO 47° / 86° 42 37 13  One XPG2 LED 4 Watt Warm White (3020K) — 4W-SP 13° / 24° 3399 249 64 — 4W-NFL 17° / 38° 1514 230 59 — 4W-FL 30° / 62° 492 194 50 — 4W-NO 71° / 121° 55 81 21
--------------	---

<b>Optical Accessories</b>	Fixture can accommodate up to two 1/8" thick optical accessories, or one accessory when used in conjunction with the 4W-NO lamp optic option. — CTO-1/4-1.36 Color Temperature Orange filter 1/4 — CTO-1/2-1.36 Color Temperature Orange filter 1/2 — CTO-3/4-1.36 Color Temperature Orange filter 3/4 — FR8 Frosted lens — HL8 Honeycomb louver, 1/8" [3mm] thick — KP Extended snoot — PR8 Prismatic spread lens — RT8 Rectilinear spread lens
----------------------------	--

**Finish:** Unfinished is standard; no specification required. The fixture will weather to a natural patina. The patina process is natural with brass and copper. Rate of patina and eventual color is dependent upon climate and proximity to the ocean. Thus, Beachside does not guarantee any specific appearance.  
**FINISH DARK BRONZE \*-FIN-DB\***

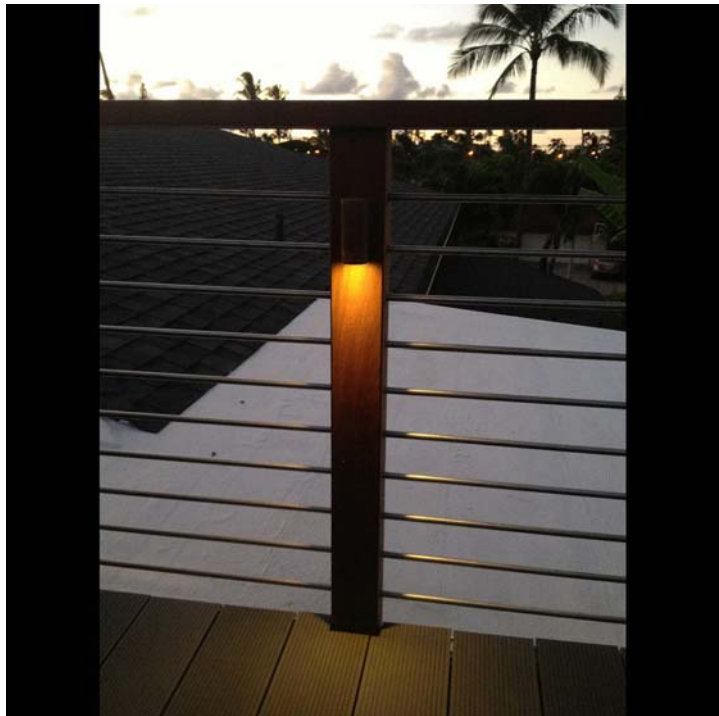
Weight: 1.3 lbs [0.6 kg]

IP 66  
CSA Listed, file #190030  
10 year future warranty  
5 year Cree LED module warranty

Project	By	Date
60 PENHALLOW	RICHARD MARTZ	5/6/2022
For ordering purposes, please specify (example: E1—2W-A-FL—FR8)		
E1	Lamp	Accessory(ies)
Fixture		

BEACHSIDE LIGHTING • 800-405-6732 • www.BeachsideLighting.com • Made in Hawaii, USA 01/2022

## SCONCE LIGHT



JSA

ARCHITECTS  
INTERIORS  
PLANNERS

**2. 553 Islington Street - TBD**

**Background:** The applicant is seeking approval for the removal of the iron fence as previously approved under LU-20-180 and LUHD-240.

**Staff Comment:** TBD

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-476****Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** May 11, 2022**Applicant**

Timothy Brochu  
tim@adraarchitecture.com  
6 School St.  
Kittery, ME 03904  
207-613-7036

**Location**

553 ISLINGTON ST  
Portsmouth, NH 03801

**Owner:**

553-559 ISLINGTON STREET LLC  
553 ISLINGTON ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Comprehensive interior alterations of the existing 6-unit apartment building and a small 2-1/2 story addition at the rear of the building, previously approved under LU-20-180 & LUHD-240 and now nearing completion of construction. HDC Administrative Approval is requested to remove the existing wrought iron fence along the sidewalk in front of the building.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Timothy Brochu

**Business Name (if applicable)**

Adra Architecture LLC

**Mailing Address (Street)**

6 School St

**City/Town**

Kittery

**State**

ME

**Zip Code**

03904

**Phone**

207-613-7036

**Email Address**

tim@adraarchitecture.com

**Relationship to Project**

Owner

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)****Business Name (if applicable)**

## Historic District Commission Administrative Approval Application

May 11, 2022

Nick Cracknell, Principal Planner  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

### **RE: Request for HDC Administrative Approval for 553-559 Islington Street, Tax Map 157 / Lot 3**

Dear Mr. Cracknell,

On behalf of 553 – 559 Islington Street, LLC we hereby submit the attached and enclosed documents for discussion at the June 1 Historic District Commission Hearing.

The project scope includes comprehensive interior alterations of the existing 6-unit apartment building and a small 2-1/2 story addition at the rear of the building, previously approved under LU-20-180 & LUHD-240 and now nearing completion of construction.

**HDC Administrative Approval is requested to remove the existing wrought iron fence along the sidewalk in front of the building.**

The Owner had intended to repair the existing fence in its current condition. However, a metalworker has reviewed it and advised the Owner that it cannot reasonably be repaired in its current condition (Big Hoss Welding & Repair, York Maine, bighosswelding.com). In general, too much of the metal has rusted away at connection points so there is not enough metal remaining to weld new connections to (see photos for more detail). In addition, the City needed to remove and reset the fence and granite curbing in order to complete the Islington St. sidewalk work and install a new sewer pipe to the building. Severino Trucking Co. Inc. removed the fence as part of this work for the City. The Owner looked at the fence with Vincent Hayes during a recent site visit.

The original granite curbing will remain, and approved landscape plantings will be installed as designed. The appearance of the streetscape will be similar to the building next door at 539 Islington, with a granite curb and planted beds between the building and sidewalk. Several other buildings along Islington Street have similar planted beds.

Photos and renderings are below. We look forward to the Historic District Commission's review of this submission. If there are any questions or comments please feel free to reach out to me.

Sincerely,



Tim Brochu, Principal and Manager  
Adra Architecture LLC  
NH Licensed Architect  
[tim@adraarchitecture.com](mailto:tim@adraarchitecture.com)



## Historic District Commission Administrative Approval Application

### PHOTOS



Original Streetscape (2020 photo)



Current Streetscape (under construction)



## Historic District Commission Administrative Approval Application



**Landscape plantings to be installed (Rendering)**



**Current Streetscape (under construction) – Similar planting bed at 539 Islington**



## Historic District Commission Administrative Approval Application



Original Fence (2020 photo)



Original Fence (2020 photo)



## Historic District Commission Administrative Approval Application





## Historic District Commission Administrative Approval Application



**Current conditions (under construction) – Railing removed, granite curb removed and reset by City (Severino) for sidewalk and sewer connection**



**Current conditions (under construction) – Railings removed**



## Historic District Commission Administrative Approval Application



**Current Fence – Rust / metal missing at connection points**



**Current Fence – Rust / metal missing at connection points**



**Current Fence – Post connections**

### 3. 118 Pleasant Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of an externally illuminated projecting sign.

Staff Comment: Recommended Approval

#### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



**LUHD-477**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** May 11, 2022**Applicant**

Susan Murphy  
sue@proulxrealestate.com  
118 Pleasant St  
Portsmouth, NH 03801  
6039184266

**Location**

118 PLEASANT ST  
Portsmouth, NH 03801

**Owner:**

118 PLEASANT STREET LLC  
99 MARNE AVE PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

This building is home to a real estate office. We would like to put our real estate office name on a projecting sign with external illumination.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Other

**If you selected "Other", please state relationship to project.**

authorized agent

**Full Name (First and Last)**

Susan Murphy

**Business Name (if applicable)**

Proulx Real Estate at KWCLM

**Mailing Address (Street)**

118 Pleasant St

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

603-918-4266

**Email Address**

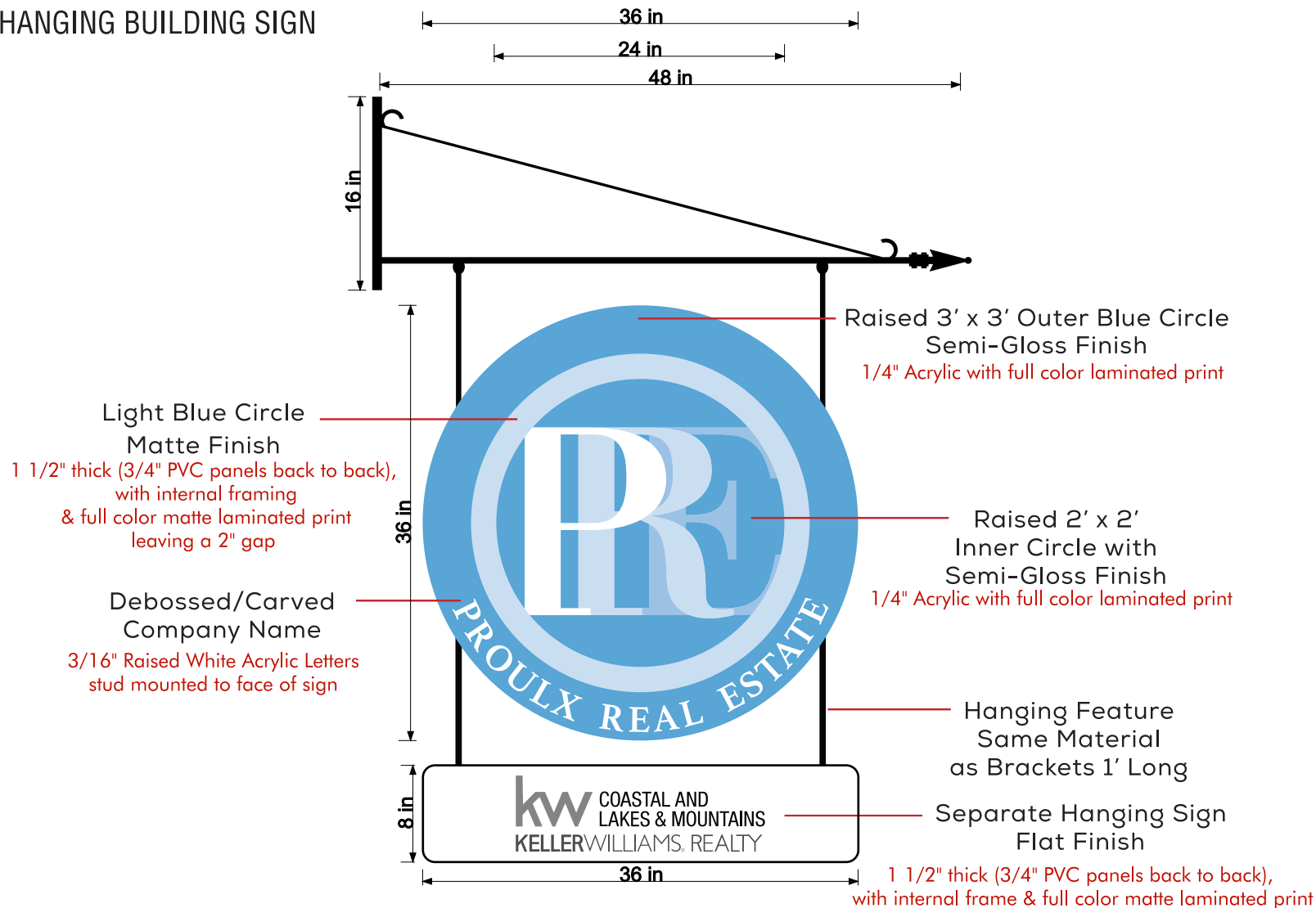
sue@proulxrealestate.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



## 2-SIDED HANGING BUILDING SIGN






 PortsmouthSign.com 603-436-0047	<b>REVISION:</b> All orders under \$250 include 1 revision only. All orders over \$250 include 2 revisions only. Additional revisions will be charged at \$25 per revision.	<b>4/20/2022</b> I understand this Order Form is the final production order and replaces all previous drawings, notes and verbal instructions to this job. Standard vinyl & paint colors will be used. Custom colors and specific matches to PMS colors will be an additional fee. I have carefully reviewed this form and verify that it contains all necessary specifications and represents my order. I authorize fabrication according to this approval.	<b>RETURN SIGNED TO: service@portsmouthsign.com</b>	Member of:  GREATER PORTSMOUTH CHAMBER OF COMMERCE 
	<b>PLEASE NOTE:</b> Designs are NOT actual size and color may vary depending on printer and/or monitor.	SIGNATURE: _____ Date: _____		

©COPYRIGHT 2019, BY PORTSMOUTH SIGN COMPANY. All designs and custom artwork remain the property of Portsmouth Sign Company until the order is complete and paid in full.

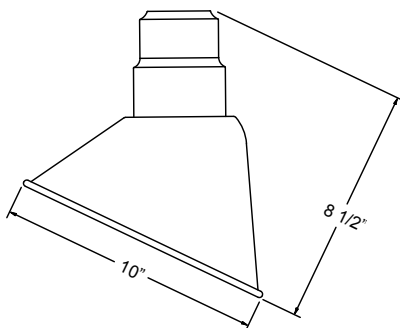
Shop Use Only	Qty:	Materials:	Background Color:	Vinyl Color:	Other:
	SS <input type="checkbox"/> DS <input type="checkbox"/>			HP <input type="checkbox"/> Int <input type="checkbox"/>	



 <p>PortsmouthSign.com 603-436-0047</p>	<p><b>REVISION:</b> All orders under \$250 include 1 revision only. All orders over \$250 include 2 revisions only. Additional revisions will be charged at \$25 per revision.</p> <p><b>PLEASE NOTE:</b> Designs are NOT actual size and color may vary depending on printer and/or monitor.</p>	<p><b>5/6/2022</b></p> <p><b>RETURN SIGNED TO: service@portsmouthsign.com</b></p> <p>I understand this Order Form is the final production order and replaces all previous drawings, notes and verbal instructions to this job. Standard vinyl &amp; paint colors will be used. Custom colors and specific matches to PMS colors will be an additional fee. I have carefully reviewed this form and verify that it contains all necessary specifications and represents my order. I authorize fabrication according to this approval.</p> <p>SIGNATURE: _____ Date: _____</p>	<p>Member of:</p>  <p>GREATER PORTSMOUTH CHAMBER OF COMMERCE</p> 
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<p>Shop Use Only</p>	<p>Qty: <input type="checkbox"/> SS <input type="checkbox"/> DS <input type="checkbox"/></p>	<p>Materials:</p>	<p>Background Color:</p>	<p>Vinyl Color: HP <input type="checkbox"/> Int <input type="checkbox"/></p>	<p>Other:</p>
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Weight: 1.0 lb

## A810 100w Max Medium Base

Catalog Number

A810

1

2

3

4

5

### Specifications

#### Material:

RLM shades are constructed of heavy duty spun aluminum. Wall back plate and ballast housing are cast aluminum. All fasteners are stainless steel. Inside of shade is reflective white finish for all colors except galvanized paint finish. Screw hardware may not match paint.

#### Glass:

Choice of clear, frosted or prismatic glass.

#### Electrical:

Medium Base Socket, 100w Maximum or GU24 Socket.  
Approximately 12" of pull wire extends from fixture. Additional pull wire provided for post mount arms and wall mounts.

#### Certifications:

Arm mount, stem mount and wall mount are UL Listed for wet locations.

Illuminating  
ENGINEERING SOCIETY

#### Finish:

A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.

Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

#### Modifications:

Consult factory for custom or modified designs.

#### Catalog Logic

**A810** - **MB** - **E6** - **100GLCL** - **PC** - **72**  
RLM Style    Light Source    Mounting Source    Glass & Guards    Accessories    Finish

1	LIGHT SOURCE & WATTAGES
<b>GU24</b>	(GU24 Socket)
<b>MB</b>	(Medium Base Socket, 100w Max)

2	MOUNTING SOURCES*
Arm Mounts (Cast base plate included)	
<b>E3 E4 E6 E7 E8 E10 E11 E12 E15 E18 E25 E36</b>	
Wall Mounts	
<b>WM55 WM318</b>	
Stem Mounts (includes STC Flat Canopy)	
1/2" (13/16" OD) Rigid Stems	3/4" (1" OD) Rigid Stems
<b>2ST6 2ST12 2ST18</b>	<b>3ST6 3ST12 3ST18</b>
<b>2ST24 2ST36 2ST48</b>	<b>3ST24 3ST36 3ST48</b>
<b>2ST60 2ST72 2ST96</b>	<b>3ST60 3ST72 3ST96</b>
*Arm mount, Wall mount or Stem finish will match fixture finish.	

3	GLASS & GUARD*
Up to 100w Options	
<b>100GLCL</b>	(Clear Glass)
<b>100GLFR</b>	(Frosted Glass)
<b>100GLPR</b>	(Prismatic Glass)
<b>100GLCLGUP</b>	(Clear Glass & Small Wire Guard)
<b>100GLFRGUP</b>	(Frosted Glass & Small Wire Guard)
<b>100GLPRGUP</b>	(Prismatic Glass & Small Wire Guard)
<b>100GLCLGUPC</b>	(Clear Glass & Cast Guard)
<b>100GLFRGUPC</b>	(Frosted Glass & Cast Guard)
<b>100GLPRGUPC</b>	(Prismatic Glass & Cast Guard)
<b>100GLGUP</b>	(Small Wire Guard with No Glass)
<b>100GLGUPC</b>	(Cast Guard with No Glass)
*Cast and Wire Guard Finish will match fixture finish.	

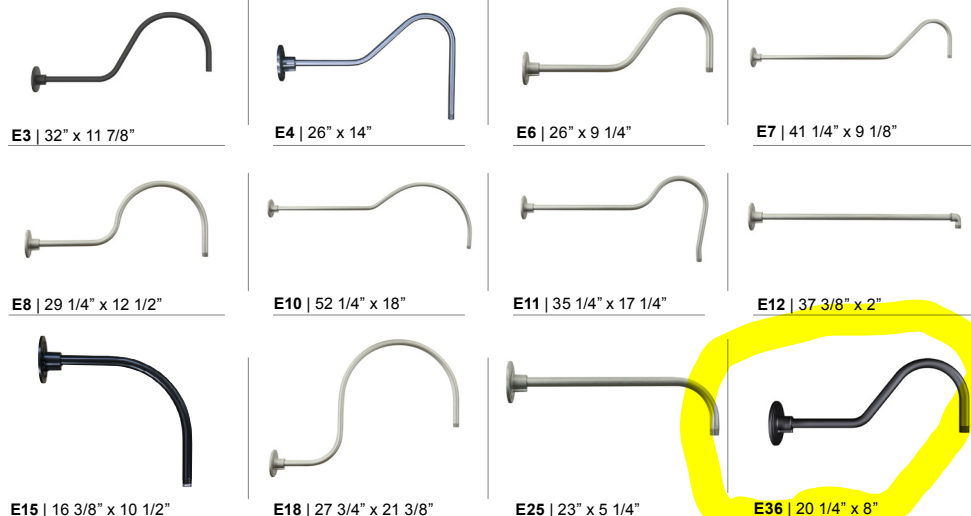
4	ACCESSORIES*
<b>CBC</b>	(Cast back plate Spun Alum Cover)*
<b>SBC</b>	(Smooth Cast back plate Spun Alum Cover)*
<b>GR10</b>	(10" Wire Grill)*
<b>PC</b>	(Button Photo Cell) Remote Only
<b>SC</b>	(Scroll for Arms)*
<b>SLC</b>	(Sloped Ceiling Mount Canopy, 20° Max)*
<b>SQ</b>	(Square Back Plate)*
<b>SWL</b>	(Adjustable Locking Swivel)*
<b>TBK</b>	(Turn Buckle Kit)*
*Accessory finish will match fixture finish.	

5	FINISHES				
*Marine Grade Finish has an additional charge					
Standard Colors	Standard Grade	Marine Grade*	Premium Colors	Premium Grade	Marine Grade*
Aspen Green	10	10M	High Gloss Black	01	01M
Cantaloupe	11	11M	Arctic Silver	14	14M
Lilac	12	12M	Candy Apple Red	64	64M
Putty	13	13M	Cobalt Blue	65	65M
Raw Unfinished	40	NA	Caramel	66	66M
Black	41	41M	Butterscotch	67	67M
Forest Green	42	42M	Black Silver	68	68M
Bright Red	43	43M	Gunmetal Gray	69	69M
White	44	44M	Mayan Gold	79	NA
Bright Blue	45	45M	Textured Desert Stone	80	80M
Sunny Yellow	46	46M	Extreme Chrome	81	81M
Aqua Green	47	47M	Graystone	82	82M
Galvanized	49	NA	Oil Rubbed Bronze	83	83M
Navy	50	50M	Carbon Graphite	96	96M
Architectural Bronze	51	51M			
Patina Verde	52	52M			
Copper Clay	53	53M			
Silver	56	56M			
Black Verde	61	61M			
Painted Chrome	70	70M			
Painted Copper	71	71M			
Textured Black	72	72M			
Matte Black	73	73M			
Textured Architectural	76	76M			
Textured White	77	77M			
Textured Silver	78	78M			
Consult Factory for additional paint charges and availability.					

### WARRANTY

See [www.ANPlighting.com](http://www.ANPlighting.com) for complete fixture warranty

Project: \_\_\_\_\_  
 Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_  
 Customer: \_\_\_\_\_

**ARM MOUNTS** | Dimensions are Projection x Height | CB included with all arms

**GLASS & GUARDS**  
**UP TO 100W MAX**

Glass Legend: **CL** = Clear **FR** = Frosted **PR** = Prismatic  
**100** = Small **200** = Large

**Glass Only (6 1/2" H X 4 1/8" W)**



**100GLCL**

**100GLFR**

**100GLPR**

**Glass with Cast Guard (7 1/2" H X 4 1/8" W)**



**100GLCLGUPC**

**100GLFRGUPC**

**100GLPRGUPC**

**Glass with Wire Guard (7 1/2" H X 4 1/8" W)**



**100GLCLGUP**

**100GLFRGUP**

**100GLPRGUP**

**Guards Only (7 1/2" H X 4 1/8" W)**



**100GLGUPC**  
(Cast Guard)



**100GLGUP**  
(Wire Guard)

**WALL MOUNTS** | Dimensions are Projection x Height

**ACCESSORIES**


#### 4. 475 Marcy Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of HVAC equipment (A/C condenser).

Staff Comment: Recommended Approval

#### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



**LUHD-473**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** May 9, 2022**Applicant**

John Markley  
j.tyler.markley@gmail.com  
475 Marcy St  
Portsmouth, New Hampshire 03801  
6032366117

**Location**

475 MARCY ST  
Portsmouth, NH 03801

**Owner:**

MARCY STREET REV TST & MARKLEY JOHN TYLER & CUDAHY  
KRISTINE TTEES  
475 Marcy St Portsmouth, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Seeking approval for the installation of an air conditioning unit with an exterior condenser located on the back side of the residence at 475 Marcy Street, Portsmouth, NH. Condenser is approx. 27 inches height, 33.75 inches in width, and 33.75 inches in depth.

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

--

**Planning Staff Comments**

--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

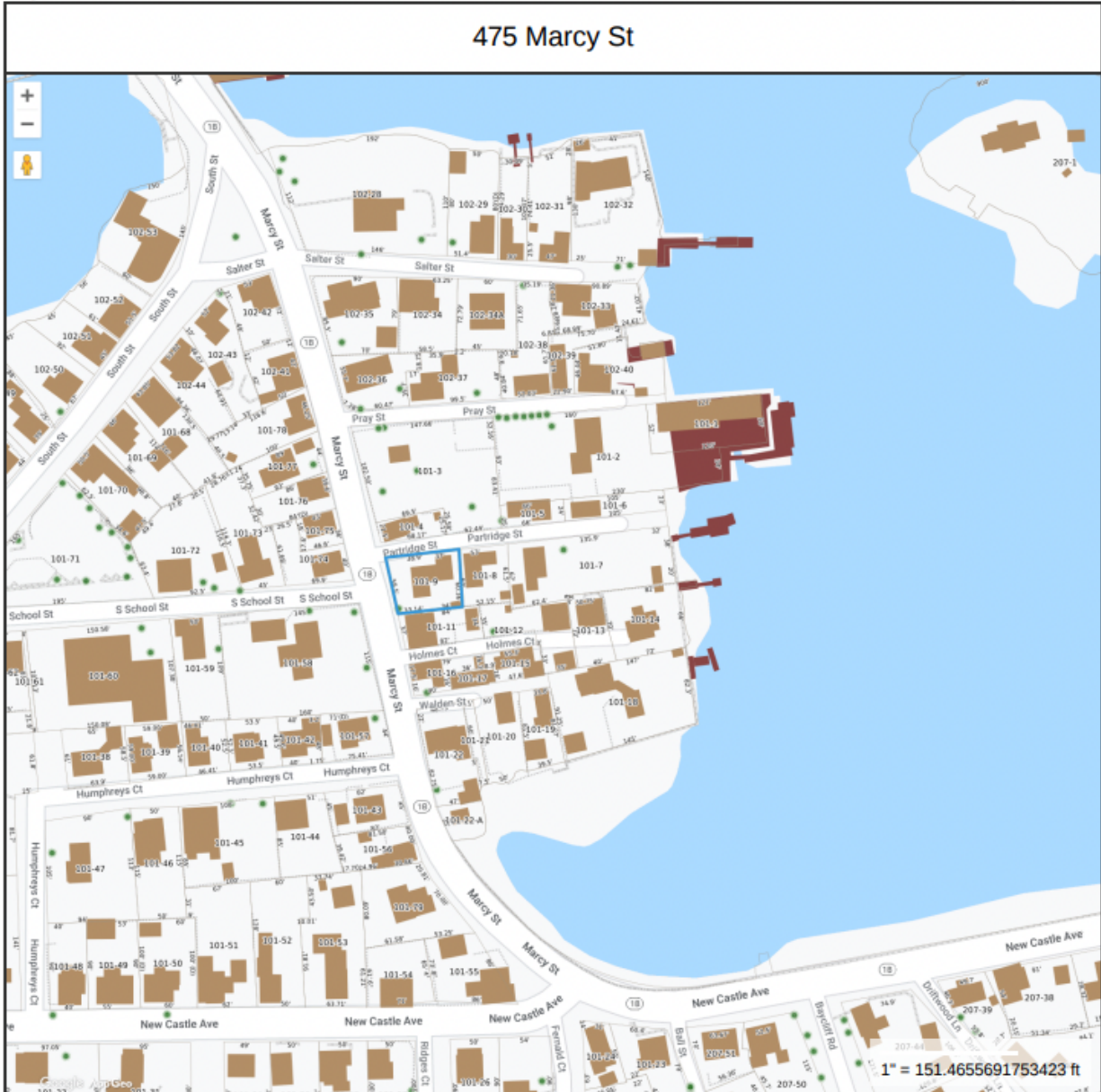
**Owner Addressee Prefix and Last Name**

--

# Property Location:

City of Portsmouth, NH

May 9, 2022



## Property Information

**Property ID** 0101-0009-0000  
**Location** 475 MARCY ST  
**Owner** MARCY STREET REV TST



## MAP FOR REFERENCE ONLY NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 3/9/2022  
Data updated 3/9/2022

Print map scale is approximate.  
Critical layout or measurement  
activities should not be done using  
this resource.



Seeking approval for the installation of an Air Conditioning Unit with an exterior condenser located on the back side of the residence at 475 Marcy Street, Portsmouth, NH. Condenser is approx. 27 inches height, 33.75 inches in width, and 33.75 inches in depth.

This is a detailed street map of a residential neighborhood in Chicago. The map shows several streets: Partridge St, S School St, Holmes Ct, Walden St, and Marcy St. Lots are numbered 101-75, 101-74, 101-9, 101-8, 101-11, 101-12, 101-16, 101-17, and 101-18. Lot 101-9 is highlighted with a blue border. Dimensions for lot boundaries are provided in feet. A circled '1B' is located near S School St.

**Streets:**

- Partridge St
- S School St
- Holmes Ct
- Walden St
- Marcy St

**Lots and Dimensions:**

- 101-75:** 101' x 36'
- 101-74:** 46.6' x 40' x 69.9'
- 101-9:** 38.9' x 37' x 34' x 33.14' x 58.5' x 60.36' x 60'
- 101-8:** 53' x 61.5' x 67' x 52.15'
- 101-11:** 37' x 82' x 84' x 34'
- 101-12:** 35' x 34'
- 101-16:** 79' x 36' x 16.3' x 10.5' x 16'
- 101-17:** 16' x 40' x 11' x 50'
- 101-18:** 53' x 61.5' x 67' x 52.15'

**Other Features:**

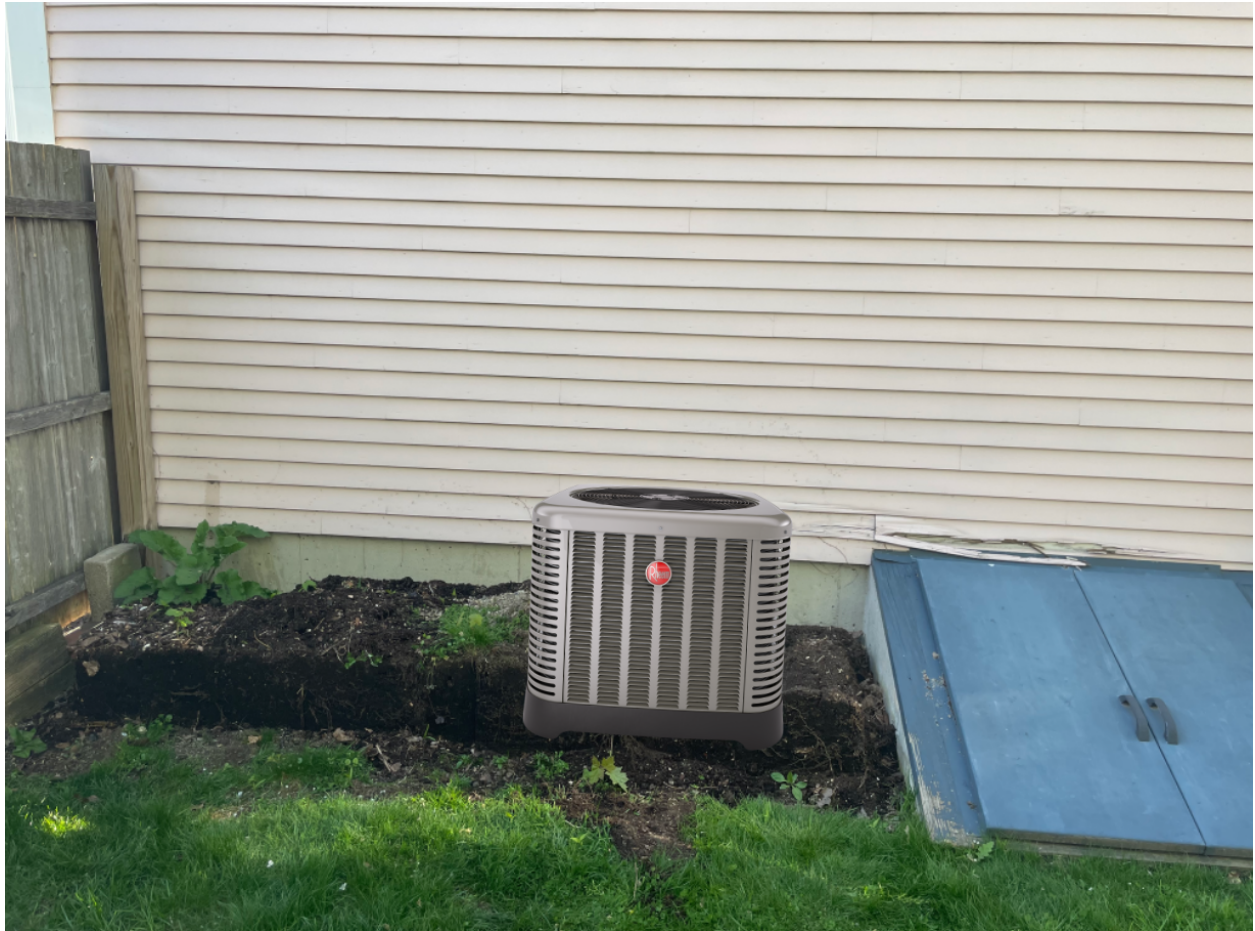
- A circled '1B' is located near S School St.
- Green tree symbols are scattered throughout the map.

The map shows a residential area with several streets: Partridge St at the top, S School St on the left, Holmes Ct and Marcy St at the bottom, and Walden St at the very bottom. A blue rectangle highlights lot 101-9, which is located between Partridge St and Holmes Ct, and between S School St and Marcy St. A red arrow points to the bottom center of lot 101-9. Other lots shown include 101-75, 101-74, 101-8, 101-11, 101-12, 101-16, and 101-17. Dimensions for various lots are provided, such as 38.9', 37', 58.5', 60.36', 33.14', 34', 84', 37', 82', 33', 52.15', 35', 34', 61.5', 67', 53', 68.17', 46.6', 36', 40', 69.9', 11.5', 79', 36', 16.3', 8.9', 55.3', 101, 47', 50', 11', 40', 16', 16', 17.5', 16', 37', 60', 34', 35', 32', 31', 30', 29', 28', 27', 26', 25', 24', 23', 22', 21', 20', 19', 18', 17', 16', 15', 14', 13', 12', 11', 10', 9', 8', 7', 6', 5', 4', 3', 2', 1', 0'. A circled '1B' is located near S School St.

View & location from Marcy St. Perspective, Red Arrow pointing on the other side of the wooden fence (i.e. the unit will be unviewable from any public way.)



Not to exact scale; Best approximation & mockup of condenser location and size, and model:



Intended Air conditioning solution: Rheem RA1348AJ1NA  
48,000 BTU 13 SEER Condenser installed by Pettigrew Plumbing  
and HVAC. (Brochure below)





The new degree of comfort.™



Air Conditioners  
**RA13**

# COMFORT

THAT KEEPS EVERYONE HAPPY

The Rheem *Classic*® Series Air Conditioner offers the solid technology and energy-saving performance you've come to expect from Rheem. It's also quiet, so you won't give your home comfort a second thought.

## **RA13 *Classic*® Series**

**Efficiencies: 13 to 15.5 SEER / up to 13 EER**



### **Quiet and Efficient**



Our new air conditioners are designed to perform both efficiently and quietly, delivering home comfort you can count on when you need it most.

### **Exceptional Quality and Reliability**

Our *Classic*® Series includes features that help fight corrosion, reduce leaks and enhance the overall strength of your air conditioner so you can be confident in the way it performs.



INTEGRATED HOME COMFORT

**Rheem.com**

# We Thought of Everything... And Then Some

The Rheem *Classic*® Series Air Conditioners were developed using our 360°+1 design philosophy, which means every detail of the product is meticulously evaluated from every angle. We consider the work that goes into installing and servicing our products, as well as how we can deliver the very best homeowner experience. And then we take it a step further. That's 360°+1. And that's why you can count on your Rheem Air Conditioning unit to bring you and your family years of comfort.



## Count on Staying Cool and Comfortable

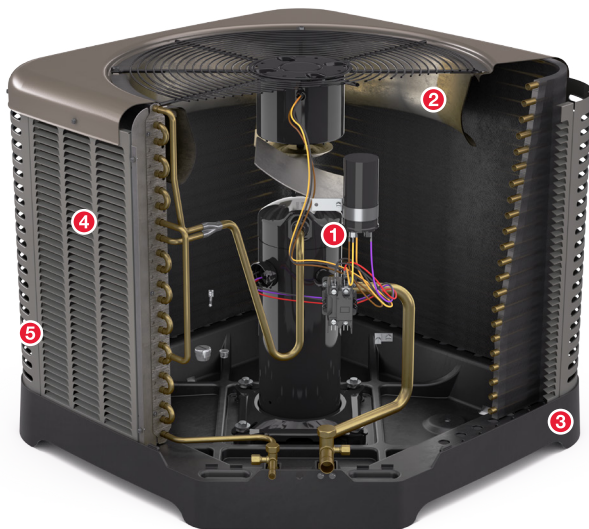
A smart, efficient design makes the Rheem *Classic*® Series Air Conditioner one of your best options for staying cool inside. Each new unit includes a generous list of features that work together to bring you quiet, efficient and reliable indoor comfort.

Reliable and legendary **1 scroll compressor** technology makes the *Classic*® Series as efficient as it is durable. The **2 optimized fan orifice** also contributes to quieter operation, optimal airflow and better overall performance. Simply put, you get efficient comfort that lasts a very long time.

A quieter and more durable unit starts with our smart new **3 composite base pan**. The design helps eliminate corrosion and adds to quieter performance. Extensive UV testing was done to ensure the base pan stays looking new for years to come. Our improved refrigerant tubing design also contributes to quieter, more reliable operation. For added strength, **4 curved louver panels** and **5 rugged corner posts** on the exterior do an excellent job protecting the inside.

Curb appeal is not lost on our new *Classic*® Series. Our air conditioners look as good as they operate. Modern cabinet aesthetics allow your unit to put its best face forward, and a powder coat paint system provides a lasting, professional finish.

Fast and accurate installation and maintenance means your savings start with the installation of your new unit. Our *Classic*® Series Air Conditioners are built to go in fast and easy. The control box is also easy to access, and a roomy diagnostic service window means maintenance calls go quickly, saving you time and money.



## Benefits At-A-Glance

**Cooling Efficiency:**  
13 to 15.5 SEER / up to 13 EER

**Sound Level:**  
Features like our smart new composite base pan contribute to quieter operation

**Available Sizes:**  
1.5, 2, 2.5, 3, 3.5, 4 and 5 ton

**Compressor:**  
Single-stage scroll compressor

**Warranty\*:**  
Conditional parts – 10 years

**YOUR LOCAL RHEEM CONTRACTOR**



Rheem Heating, Cooling  
& Water Heating

Founded in 1925, our mission is still simple: help your family enjoy a new degree of comfort with solutions that keep you cool in the summer, warm in the winter and enjoying hot water year-round. To learn more about our products, including our line of Integrated Home Comfort Solutions, visit us online at **Rheem.com**.



**Rheem USA**  
5600 Old Greenwood Road  
Fort Smith, Arkansas 72903



**Rheem Canada Ltd./Ltée**  
125 Edgeware Road, Unit 1  
Brampton, Ontario L6Y 0P5

In keeping with its policy of continuous progress & product improvement, Rheem reserves the right to make changes without notice.

\*For complete details of the limited and conditional warranties, including applicable terms and conditions, contact your local Contractor or go to Rheem.com for a copy of the product warranty certificate. Conditional warranties must be registered through registermyunit.com.

\*\*Proper sizing and installation of equipment is critical to achieve optimal performance. Split system air conditioners and heat pumps must be matched with appropriate coil components to meet ENERGY STAR criteria. Ask your contractor for details or visit [www.energystar.gov](http://www.energystar.gov).



## 5. 33 Deer Street - TBD

Background: The applicant is seeking approval for the installation of dark sky compliant lighting.

Staff Comment: TBD

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



City of Portsmouth, NH

05/27/2022

**LUHD-474**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** May 10, 2022**Applicant**

Joshua Butkus  
kscannell@destefanomaugel.com  
22 ladd st  
portsmouth, NH 03801  
6035707050

**Location**

33 DEER ST  
Portsmouth, NH 03801

**Owner:**

MARKET WHARF CONDOS MASTER CARD  
33 DEER ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Applying for approval of alternate lighting choices that are Dark Sky Compliant

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Joshua butkus

**Business Name (if applicable)**

Maugel DeStefano Architects

**Mailing Address (Street)**

22 Ladd St

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

6035707050

**Email Address**

jbutkus@maugel.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



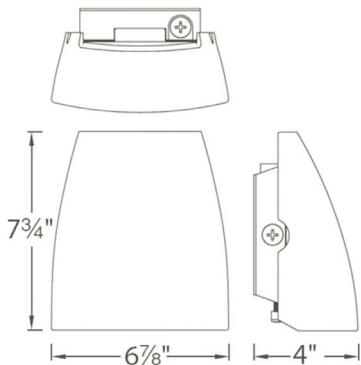
LIGHTING - Replace types at existing locations (All fixtures to be dark sky compliant)



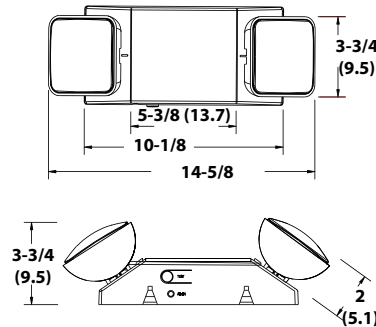
Kirchler - Estella 1 LED Outdoor Wall Mount  
Product # 49607AZTLED  
Finish: Architectural Bronze  
Dimensions 6"x12"



WAC Lighting - Endurance LED Outdoor Wall Light  
Product # WP-LED135-30-ABZ  
Finish: Architectural Bronze  
Dimensions 7 3/4"x6 7/8"x4"



Lithonia Lighting- Emergency Light Fixture  
Product # ELM 2 LED  
Finish: White

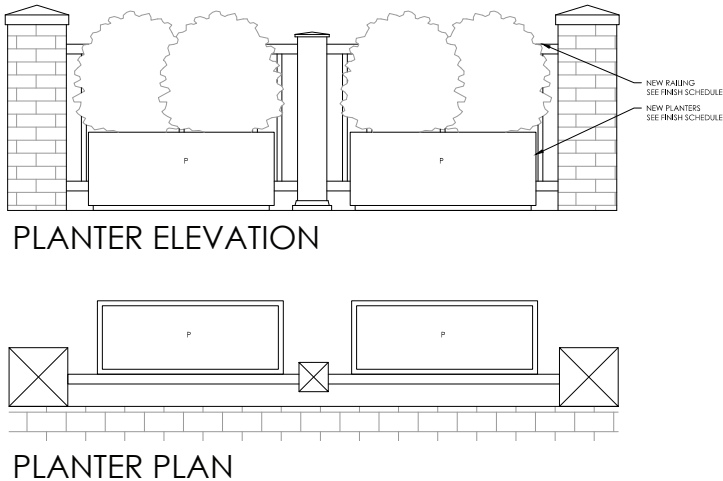


Weight (shipping): 1.7 lbs. (0.77 kgs.)  
All dimensions are inches (centimeters) unless otherwise indicated.

PLANTERS



Veradeck Metallic Series  
38" Planter  
Product # 859600VS  
Finish: Black



TIMBERTECH DRYSPACE



TimberTech DrySpace  
16" on-center spans in 12' and 16' lengths  
Finish: White

PROPOSD RENOVATIONS FOR

MARKET WHARF CONDOMINIUMS

33 & 59 DEER ST  
PORTSMOUTH, NH

SPECIFICATIONS

SHEET **7** OF 7  
1 June 2022

22002

D|M|A

DESTEFANO

MAUGEL

ARCHITECTS

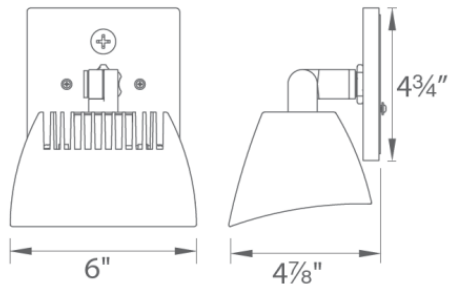
LIGHTING - Replace types at existing locations (All fixtures to be dark sky compliant)



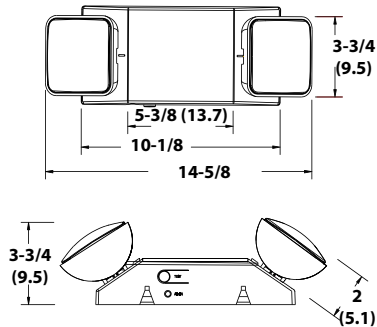
Kirchler - Stonebrook Wall Sconce  
Product # 49257AZ  
Finish: Architectural Bronze



WAC Lighting - Endurance Flood Light  
Product # WP-LED335-30aWT  
Finish: Architectural Bronze  
Dimensions 6x4x4.75



Lithonia Lighting- Emergency Light Fixture  
Product # ELM 2 LED  
Finish: White

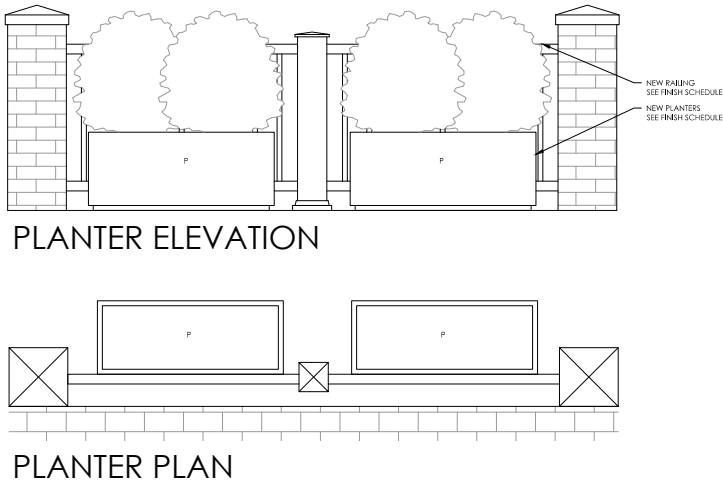


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SPECIFICATIONS

SHEET 7 OF 7

13 APRIL 2022

22002

D|M|A

DESTEFANO

MAUGEL

ARCHITECTS



# Historic District Commission

## Staff Report – June 1<sup>st</sup> & June 8<sup>th</sup>, 2022

### June 1<sup>st</sup> MEETING

#### **Administrative Approvals:**

- |                                 |                      |
|---------------------------------|----------------------|
| 1. 60 Penhallow St. (LUHD-464)  | - Recommend Approval |
| 2. 553 Islington St. (LUHD-476) | - Recommend Approval |
| 3. 118 Pleasant St. (LUHD-477)  | - Recommend Approval |
| 4. 475 Marcy St. (LUHD-473)     | - Recommend Approval |
| 5. 33 Deer St. (LUHD-474)       | - Recommend Approval |

#### **EXTENSION REQUEST:**

- A. 420 Pleasant Street. (LU-21-126) (rear addition)

#### **PUBLIC HEARINGS – OLD BUSINESS:**

- A. 531 Islington Street (LU-22-38) (signage and siding)  
 B. 159 State St. (LU-22-68) (HVAC)  
 C. 138 Gates Street. (LU-22-43) (windows, siding & trim)

#### **PUBLIC HEARINGS – NEW BUSINESS:**

1. 93 Pleasant St. (LU-21-183) (misc. changes)
2. 67 Gates Street (LU-22-108) (rear deck)
3. 160 Court Street (LU-22-107) (misc. changes)
4. 90 Fleet Street (LU-22-106) (windows)
5. 33 Richmond Street (LU-22-105) (siding & windows)

### June 8<sup>th</sup> MEETING

#### **PUBLIC HEARING – NEW BUSINESS:**

1. 55 Ceres St. (LU-22-62) (fence/ mechanical screen)

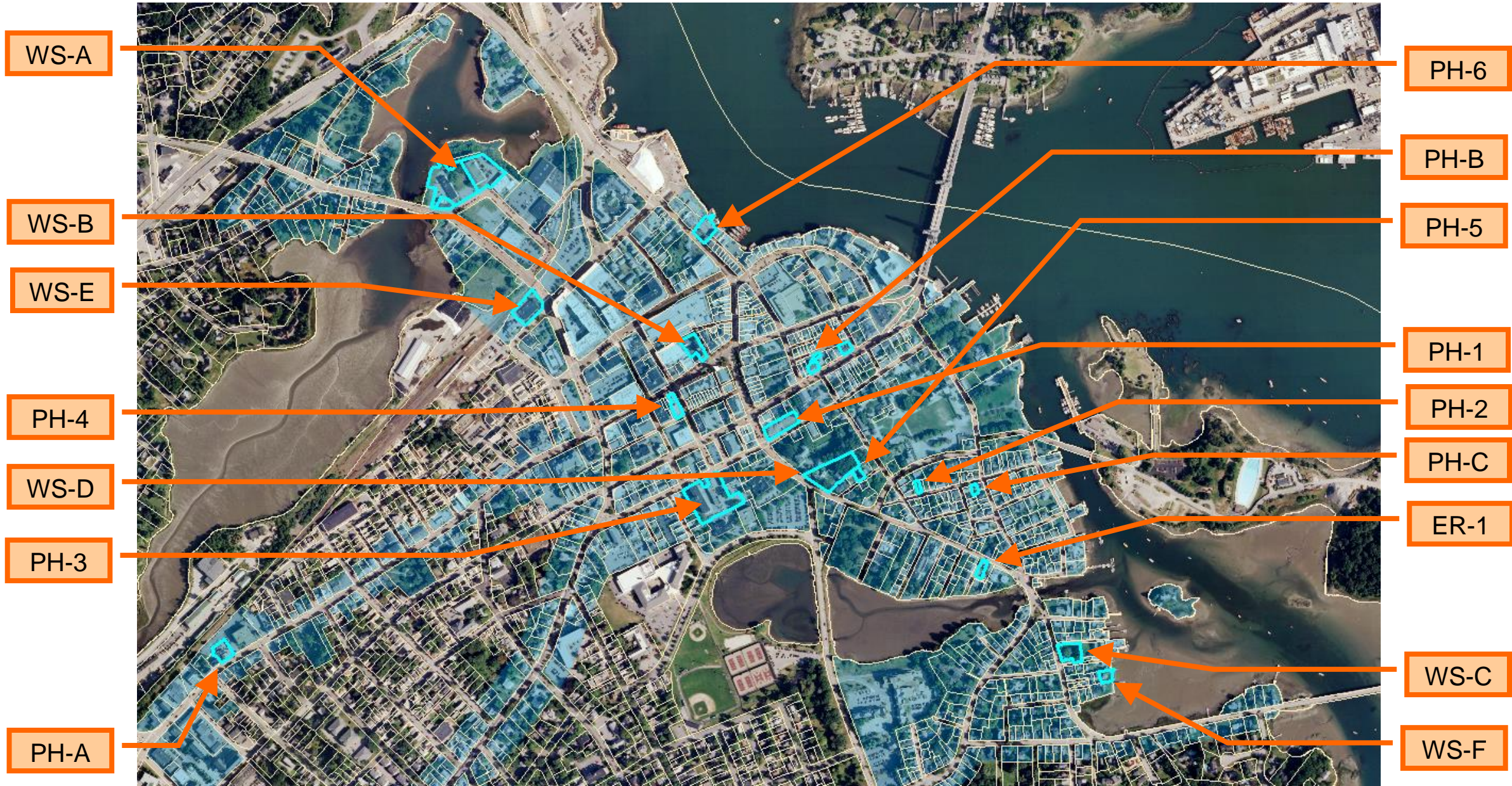
#### **WORK SESSIONS – OLD BUSINESS:**

- A. 1 Raynes Ave. (LUHD-234) (2 new buildings)  
 B. 1 Congress St. (LUHD-425) (infill building)  
 C. 445 Marcy St. (LUHD-424) (new single family)  
 D. 179 Pleasant St. (LUHD-463) (carriage house)  
 E. 161 Deer St. (LUHD-462) (4 story infill building)  
 F. 43 Holmes Court (LUHD-465) (demo & add a new single family)

#### **WORK SESSIONS – NEW BUSINESS:**

1. 111 State St. (LUHD-478) (repl. Doors & windows)





LOCATOR MAP

# HISTORIC DISTRICT COMMISSION

MEETING DATE: June 1<sup>st</sup> & June 8<sup>th</sup>  
APPLICATIONS: 23



# Historic District Commission

**Project Evaluation Form:**     **531 ISLINGTON STREET (LU-22-38)**  
**Permit Requested:**            **CERTIFICATE OF APPROVAL**  
**Meeting Type:**                 **PUBLIC HEARING #A**

**A. Property Information - General:**  
**Existing Conditions:**

- Zoning District: CD4-L2
- Land Use: Commercial
- Land Area: 11,325 SF +/-
- Estimated Age of Structure: c.1999
- Building Style: Commercial
- Number of Stories: 1
- Historical Significance: NA
- Public View of Proposed Work: View from Islington Street
- Unique Features: NA
- Neighborhood Association: Islington Creek

**B. Proposed Work:** To replace signage, siding and other misc. changes.

**C. Other Permits Required:**

☐ Board of Adjustment

☐ Planning Board

☐ City Council

**D. Lot Location:**

☐ Terminal Vista

☐ Gateway

☒ Mid-Block

☐ Intersection / Corner Lot

☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

☒ Principal

☐ Accessory

☐ Significant Demolition

**F. Sensitivity of Context:**

☐ Highly Sensitive

☐ Sensitive

☒ Low Sensitivity

☐ “Back-of-House”

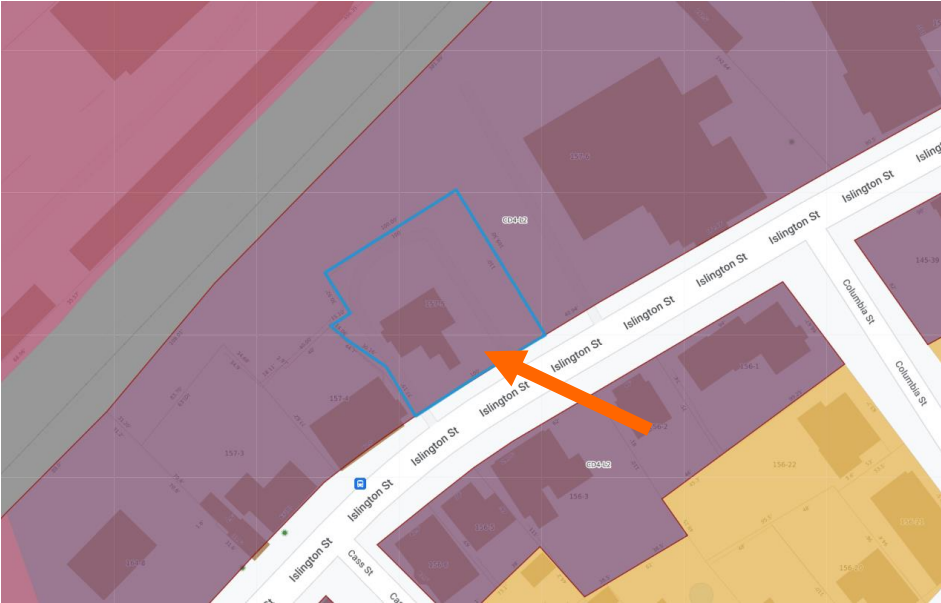
- I. Neighborhood Context:**
- This structure is located along Islington Street. The structure is surrounded with many wood-sided, 2.5-3 story contributing structures. Most buildings have a shallow front- and side-yard setbacks and deep rear yards.
- J. Staff Comments and Suggestions for Consideration:**
- The applicant proposes to revise the previous design as follows:
    - Use hardi-plank siding for the building.
    - Reduce the size of the signs.
    - Consider other alterations to the façade.

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING  
  
NC**

531 ISLINGTON STREET (LU-22-38) – PUBLIC HEARING #A (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT – NEW SIGNAGE, SIDING AND MISC. ALTERATIONS ONLY –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 531 ISLINGTON STREET Case No.: A Date: 6-1-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



- H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No

2. Assessment of the Historical Significance: ☐ Yes ☐ No

3. Conservation and enhancement of property values: ☐ Yes ☐ No

4. Maintain the special character of the District: ☐ Yes ☐ No

5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No
- I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No

2. Compatibility of design with surrounding properties: ☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No

Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

159 STATE ST. (LU-22-68)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #B

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4
  - Land Use: Multi-Family
  - Land Area: 3,920 SF +/-
  - Estimated Age of Structure: c.1850
  - Building Style: Italianate
  - Number of Stories: 3
  - Historical Significance: C
  - Public View of Proposed Work: View from Sheafe Street
  - Unique Features: NA
  - Neighborhood Association: Downtown

B. Proposed Work: To add wall-mounted HVAC to the second floor.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

J. Neighborhood Context:

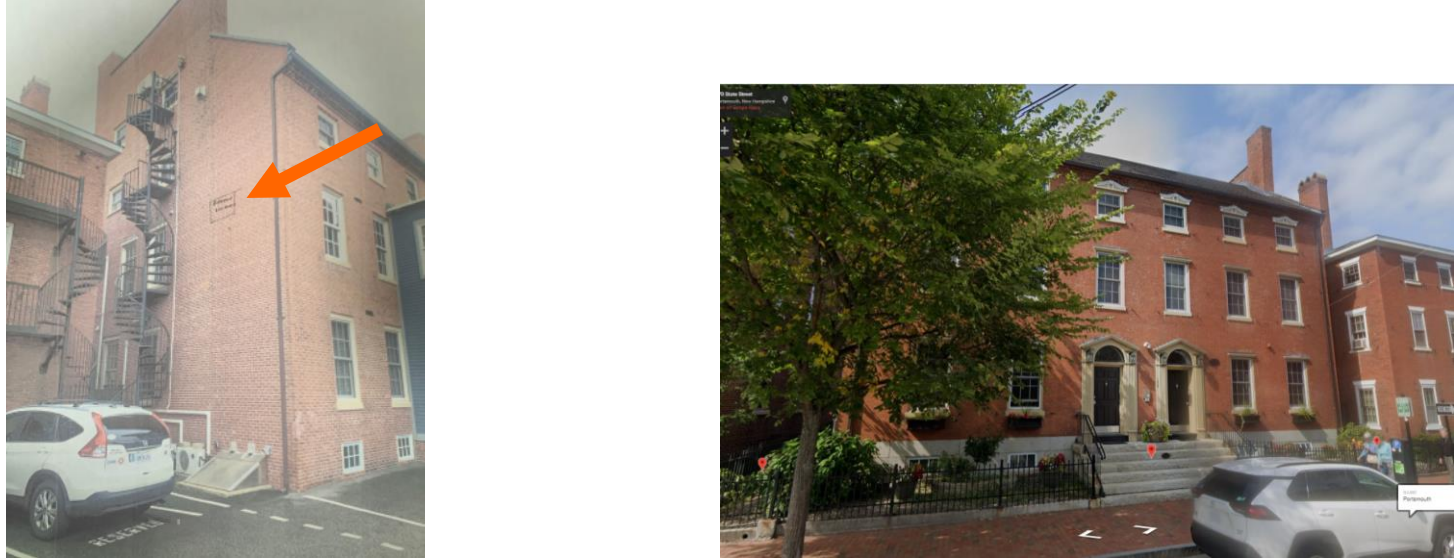
- This building is located along State and Sheafe Streets. The property is surrounded with many historically significant brick-sided structures. The structures in this neighborhood have little to no front yard setbacks along the street and narrow side yards.

K. Staff Comments and/ or Suggestions for Consideration:

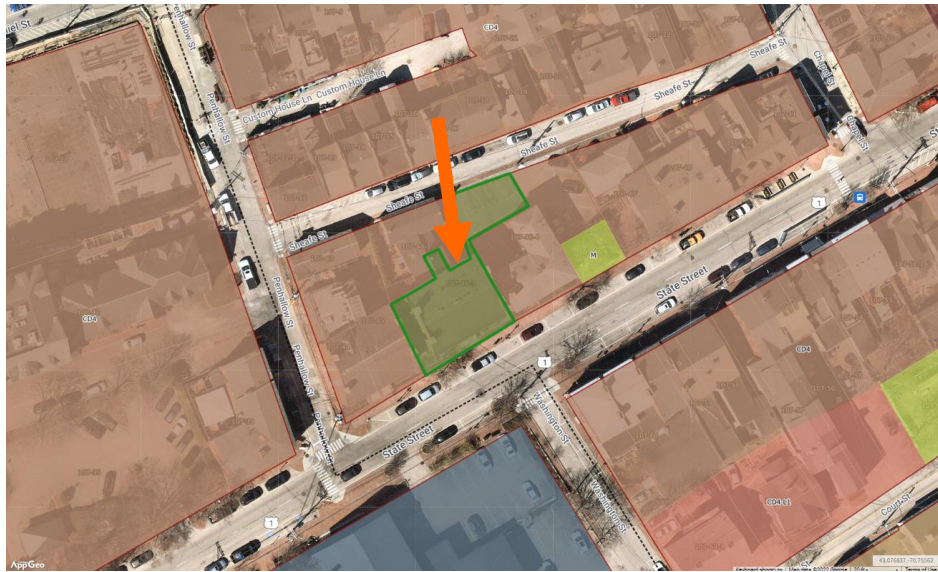
- The Applicant is proposing to:
- Add a wall-mounted HVAC unit on the 2<sup>nd</sup> floor of the exterior wall of the structure. Conduit will also be applied to the wall.

**Design Guideline Reference – Guidelines for Masonry and Stucco (07) and Site Elements and Streetscapes (09).**

I. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
C

159 STATE ST. (LU-22-68) – PUBLIC HEARING #B (MINOR)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY:159 STATE ST. Case No.: B Date: 6-1-22</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied</div> <div><input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div>	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)			
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)	MINOR PROJECT - WALL-MOUNTED HVAC CONDENSOR ONLY -						
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width (ROW) Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS		APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
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		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
39	Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
40	Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:


☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No





# Historic District Commission

Project Evaluation Form: **93 PLEASANT STREET (LU-21-183)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **PUBLIC HEARING #1**

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: CD4
  - Land Use: Commercial
  - Land Area: 11,325 SF +/-
  - Estimated Age of Structure: c.1818
  - Building Style: Federal
  - Historical Significance: Focal
  - Public View of Proposed Work: View from Pleasant and Court Streets
  - Unique Features: Focal Building and Historic Stone Wall along Court Street
  - Neighborhood Association: Downtown

**B. Proposed Work:** To modify basement windows, add recessed balconies, HVAC. etc.

**C. Other Permits Required:**

- ☐ Board of Adjustment    ☐ Planning Board    ☐ City Council

**D. Lot Location:**

- ☐ Terminal Vista    ☐ Gateway    ☐ Mid-Block  
☒ Intersection / Corner Lot    ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished / Constructed**

- ☒ Principal    ☐ Accessory    ☐ Demolition

**F. Sensitivity of Context:**

- ☒ Highly Sensitive    ☐ Sensitive    ☐ Low Sensitivity    ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)  
☒ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- This historically significant and focal building is located along the intersection of Pleasant and Court Streets. It is surrounded with many wood-frame 2 - 2.5 story contributing structures. The Langdon Mansion, another focal building and setting is located across the street.

**J. Background, Comments & Suggested Actions:**

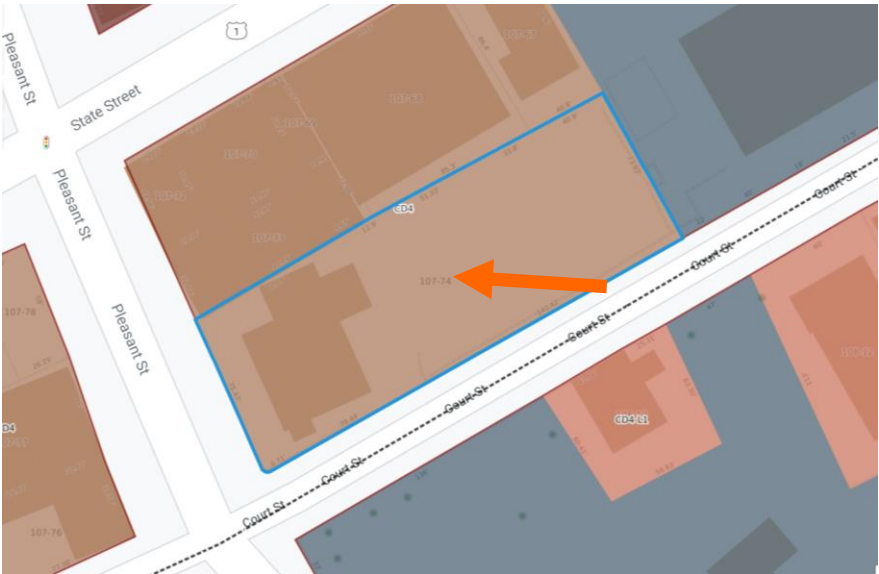
- The Applicant is seeking to:
- Add an ADA ramp
  - Adjust the window locations
  - Add recessed balconies
  - Modify the mechanical equipment locations, overruns and screens

• **Design Guideline Reference: Guidelines for Small-Scale New Construction and Additions (10)**

**Aerial Images and Maps:**




Renderings of the Proposed Addition and Connector Buildings



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**F**

93 PLEASANT STREET (LU-21-183) – PUBLIC HEARING #1 (MAJOR)										
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: <u>93 PLEASANT ST.</u> Case No.: <u>1</u> Date: <u>6-1-22</u></div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>		
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)		<div>MAJOR PROJECT</div> <div>– MISC. CHANGES TO PREVIOUSLY-APPROVED DESIGN –</div>						
	2	Floor Area Ratio (GFA/ Lot Area)								
	3	Building Height / Street-Width Ratio								
	4	Building Height – Zoning (Feet)								
	5	Building Height – Street Wall / Cornice (Feet)								
	6	Number of Stories								
7	Building Coverage (% Building on the Lot)									
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS				
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		25	Storm Windows / Screens / Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
37	Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
38	Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
39	Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No
- I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Evaluation Form: **67 GATES ST. (LU-22-108)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **PUBLIC HEARING #2**

☐ Major Project (i.e. very large alterations, additions or expansions)

I. **Neighborhood Context:**

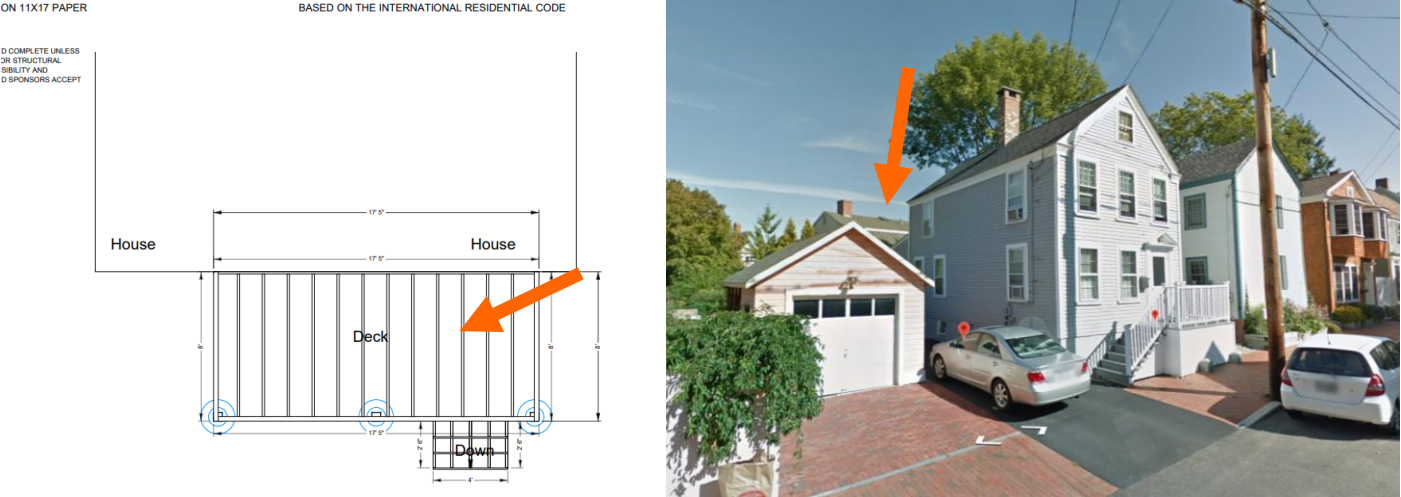
- This 2.5 story wood-sided structure is located on Gates Street and is surrounded with many contributing historic structures. Most buildings on Gate Street have little to no front-yard setbacks, shallow side-yards with deeper rear yards.

J. **Staff Comments and Suggestions for Consideration:**

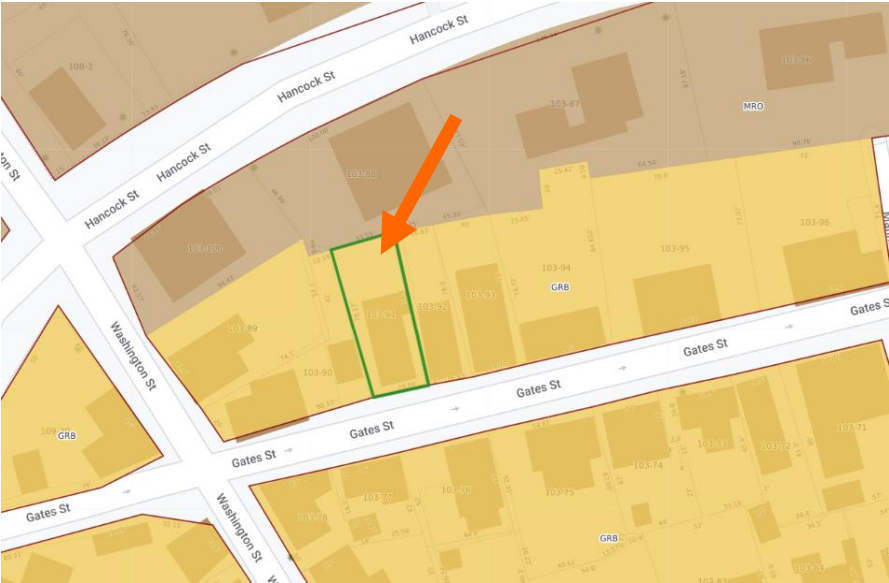
- The project includes:
- Repair and replacement of the rear deck.
  - Enlargement of the deck.

• **Design Guideline Reference: Guidelines for Exterior Woodwork (05), and Porches, Stoops and Decks (06).**

K. **Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**

A. **Property Information - General:**

- Existing Conditions:**
- Zoning District: GRB
  - Land Use: Single-Family
  - Land Area: 2,464 SF +/-
  - Estimated Age of Structure: c.1840
  - Building Style: Greek Revival
  - Number of Stories: 2.5
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Gates Street
  - Unique Features: NA
  - Neighborhood Association: South End

B. **Proposed Work:** To convert the garage into a garden cottage (ADU Unit).

C. **Other Permits Required:**

- ☐ Board of Adjustment    ☐ Planning Board    ☐ City Council

D. **Lot Location:**

- ☐ Terminal Vista    ☐ Gateway    ☒ Mid-Block  
☐ Intersection / Corner Lot    ☐ Rear Lot

E. **Existing Building to be Altered/ Demolished:**

- ☒ Principal    ☐ Accessory    ☐ Significant Demolition

F. **Sensitivity of Context:**

- ☐ Highly Sensitive    ☐ Sensitive    ☐ Low Sensitivity    ☒ “Back-of-House”

G. **Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. **Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☒ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)



67 GATES STREET (LU-22-108) – PUBLIC HEARING #2 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT – REPLACE REAR DECK ONLY –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM  
PORTSMOUTH HISTORIC DISTRICT COMMISSION  
PROPERTY: 67 GATES STREET Case No.: 2 Date: 6-1-22  
Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied  
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

160 COURT STREET  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #3

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4
  - Land Use: Multi-Family
  - Land Area: 68,850 SF +/-
  - Estimated Age of Structure: 2022
  - Building Style: Traditional Vernacular
  - Number of Stories: 2.5 / 6 / 5
  - Historical Significance: Contributing / Non-Contributing / Intrusive
  - Public View of Proposed Work: View from Court Streets
  - Unique Features: NA
  - Neighborhood Association: Downtown
- B. Proposed Work: To install new entrance canopies & change previously-approved materials
- C. Other Permits Required:
- ☐ Board of Adjustment

☐ Planning Board

☐ City Council
- D. Lot Location:
- ☐ Terminal Vista

☐ Gateway

☒ Mid-Block
- ☐ Intersection / Corner Lot

☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The property is located along Court Street. It is surrounded with many 2.5 - 6 story historic and non-historic structures with shallow front yard setbacks and small landscaped side yards.

J. Staff Comments and/ or Suggestions for Consideration:

- This application proposes to revise the previously-approved design by:
- Modifying the entrance canopies.
  - Changing the previously approved materials for the entrance canopies.
  - Modify the door designs, trim, soffit and roofing materials.

Design Guideline Reference – Guidelines for all Sections (01-12).

K. Aerial Image, Street View and Zoning Map:




Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
NA



160 COURT STREET – PUBLIC HEARING #3 (MINOR)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY:160 COURT STREET Case No.:3 Date: 6-1-22</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>	
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<div>MINOR PROJECT</div> <div>– CHANGES TO A PREVIOUSLY-APPROVED DESIGN –</div>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
6	Number of Stories								
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

90 FLEET ST. – UNIT D (LU-22-106)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #4

- Existing Conditions:
- Zoning District: CD5
  - Land Use: Mixed-Use
  - Land Area: 7,545 SF +/-
  - Estimated Age of Structure: c.1919
  - Building Style: Commercial vernacular
  - Historical Significance: C
  - Public View of Proposed Work: View from Fleet and Congress Streets
  - Unique Features: NA
  - Neighborhood Association: Downtown

**B. Proposed Work:** To replace the second floor commercial windows.

**C. Other Permits Required:**

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

**D. Lot Location:**

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

**F. Sensitivity of Context:**

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- a. This 6 story historic brick structure is located along the intersection of Fleet and Congress Streets. It is surrounded with many 3-5 story wood- and brick-sided historic structures with no front or side yards. Rear access to the buildings is available along Porter Street.

**J. Staff Comments and/ or Suggestions for Consideration:**

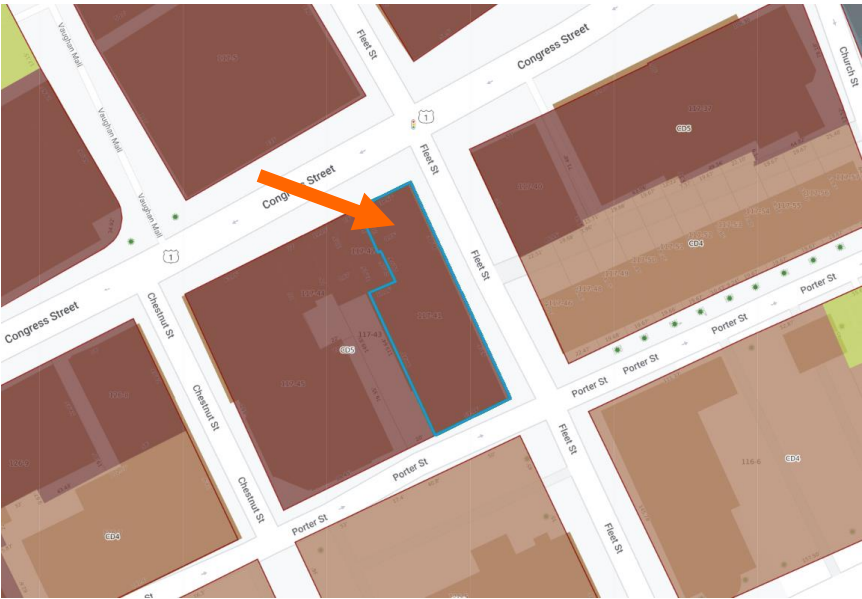
- The Application is proposing to:
- Replace the fixed windows with operable windows.

**Design Guideline Reference – Guidelines for Windows and Doors (08)**

**K. Aerial Image, Street View and Zoning Map:**



Proposed Alterations and Existing Conditions



Zoning Map

HISTORIC  
SURVEY  
RATING

C

90 FLEET ST. – UNIT D (LU-22-106) – PUBLIC HEARING #4 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT – REPLACE 2 <sup>nd</sup> FLOOR WINDOWS ONLY –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37 Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38 Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

**PROPERTY EVALUATION FORM**

**PORTSMOUTH HISTORIC DISTRICT COMMISSION**

**PROPERTY:90- FLEET ST. Case No.:4 Date: 6-1-22**

**Decision:** ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

33 RICHMOND ST. (LU-22-105)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #5

A. Property Information - General:

- Existing Conditions:
- Zoning District: MRO
  - Land Use: Two-Family
  - Land Area: 3,920 SF +/-
  - Estimated Age of Structure: c.1800
  - Building Style: Federal
  - Number of Stories: 2
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Richmond Street
  - Unique Features: NA
  - Neighborhood Association: South End

B. Proposed Work: To replace sunroom, windows and siding.

C. Other Permits Required:

- ☒ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

J. Neighborhood Context:

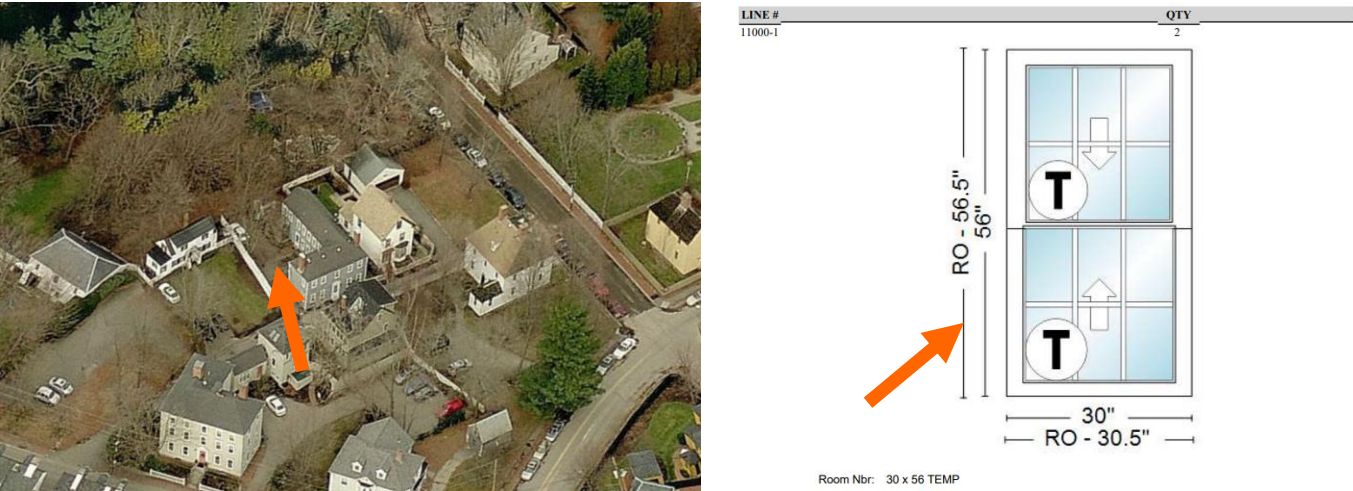
- The property is located along Richmond Street. It is surrounded with many wooden framed 2.5 story historic structures with shallow front yard setbacks with narrow side yards.

J. Staff Comments and/ or Suggestions for Consideration:

- This application proposes to:
- Replace the existing windows and siding.
  - **Note – the existing windows have not been fully characterized in the application and it appears that the Harvey window is a vinyl replacement window which may not be appropriate for this structure in this location.**

Design Guideline Reference – Guidelines for Windows and Doors (08) and Small Scale New Construction & Additions (10)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING

C



33 RICHMOND ST. (LU-22-105) – PUBLIC HEARING #5 (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT – REPLACE SIDING AND WINDOWS ONLY –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 33 RICHMOND STREET Case No.: 5 Date: 6-1-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:  
2. Assessment of the Historical Significance:  
3. Conservation and enhancement of property values:

☐ Yes ☐ No  
☐ Yes ☐ No  
☐ Yes ☐ No

4. Maintain the special character of the District:  
5. Complement and enhance the architectural and historic character:  
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No  
☐ Yes ☐ No  
☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:  
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No  
☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:  
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No  
☐ Yes ☐ No

# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

138 MARKET/55 CERES ST. (LU-22-62)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #6

A. Property Information:

- Existing Conditions:
- Zoning District: Civic
  - Land Use: Museum / Commercial Kitchen
  - Land Area: 2,236 SF +/-
  - Estimated Age of Structure: c.1820
  - Building Style: Federal
  - Number of Stories: 1
  - Historical Significance: C
  - Public View of Proposed Work: View from Market Street.
  - Unique Features: NA
  - Neighborhood Association: Downtown

B. Proposed Work: To replace the fence/ mechanical screen on Market Street.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The single-story building is located between Market and Ceres Streets and is directly across from the historic Moffat-Ladd House and Garden. It is surrounded with many contributing historic structures and provides views to the waterfront across the roof structure.

J. Staff Comments and/ or Suggestions for Consideration:

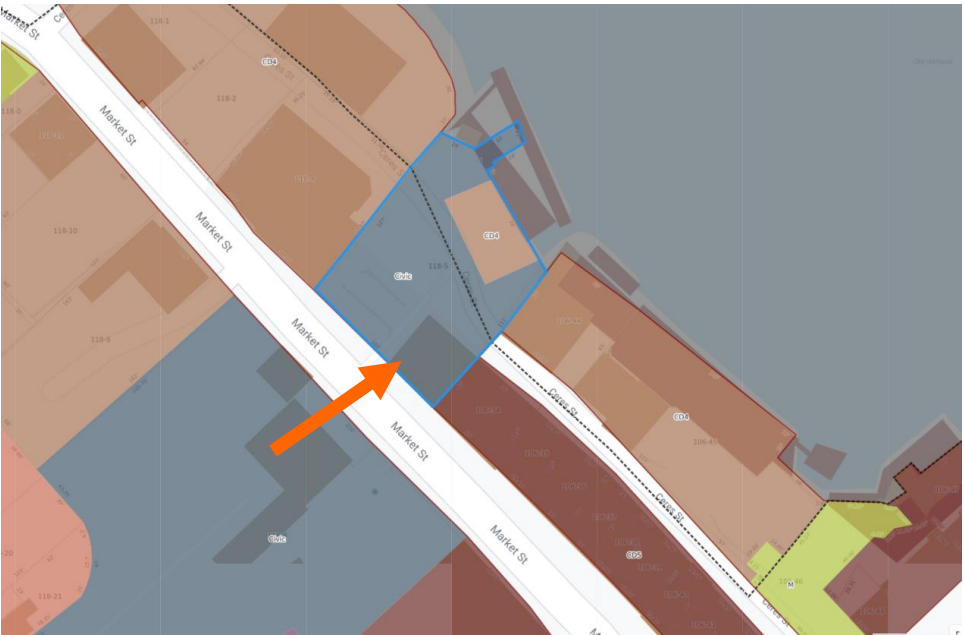
- The applicant is proposing to:
  - Replace the existing mechanical/ fence screen with a new fence design.
  - Extend the screen/ fence along the walkway connector from Market to Ceres Street.

• Design Guideline Reference – Guidelines for Roofing (04) and Site Elements and Streetscapes (09).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
C

138 MARKET / 55 CERES ST. (LU-22-62) – PUBLIC HEARING #6 (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT - REPLACE HVAC SCREEN / FENCE ONLY -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 53 CERES STREET Case No.: 6 Date: 6-8-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied

☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

L. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

1 & 31 RAYNES AVE. (LUHD-234)  
CERTIFICATE OF APPROVAL  
WORK SESSION #A

- Existing Conditions:
- Zoning District: CD4
  - Land Use: Vacant / Gym
  - Land Area: 2.4 Acres +/-
  - Estimated Age of Structure: c.1960s
  - Building Style: Contemporary
  - Historical Significance: NA
  - Public View of Proposed Work: View from Maplewood and Raynes Ave.
  - Unique Features: NA
  - Neighborhood Association: Downtown

B. Proposed Work: To construct a 4 story mixed-use building and 5 story hotel.

- C. Other Permits Required:
- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

- D. Lot Location:
- ☒ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

- E. Existing Building to be Altered/ Demolished:
- ☒ Principal
- ☐ Accessory
- ☐ Demolition

- F. Sensitivity of Context:
- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

- G. Design Approach (for Major Projects):
- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

- H. Project Type:
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

- I. Neighborhood Context:
- The building(s) is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.
- J. Staff Comments and/ or Suggestions for Consideration:
- The Application is proposing to:
- Demolish the existing buildings and replace them with two multi-story buildings including a hotel and a mixed-use building with ground floor commercial and upper story residential apartments.
  - The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
  - Note that the updated plan will be integrated into the city's 3D massing model an revised plans will be distributed and posted on the web-page by the 6-1-22 meeting.

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).



Zoning Map

HISTORIC  
SURVEY  
RATING

C

1 & 31 RAYNES AVE. (LUHD-234) – WORK SESSION #A (MAJOR PROJECT)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT – CONSTRUCT A 4 STORY MIXED-USE BUILDING AND 5 STORY HOTEL –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:1 & 31 Raynes Ave. Case No.:A Date: 6-8-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

1 CONGRESS ST. (LUHD-425)  
CERTIFICATE OF APPROVAL  
WORK SESSION #B

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4& CD5
  - Land Use: Commercial
  - Land Area: 13,940 SF +/-
  - Estimated Age of Structure: c1860 & 1892
  - Building Style: Italianate & Richardsonian Romanesque
  - Number of Stories: 3 & 3.5
  - Historical Significance: Contributing (1860) & Focal (1892)
  - Public View of Proposed Work: View from Congress and High Streets
  - Unique Features: NA
  - Neighborhood Association: Downtown

B. Proposed Work: To renovate the existing buildings and add a new 4-story building.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located market square and High Street with many contributing historic structures. The building front directly along the street with no front yard or side yard setbacks. The abutting parking lot previous had a three-story wood-frame hotel building.

J. Staff Comments and/ or Suggestions for Consideration:

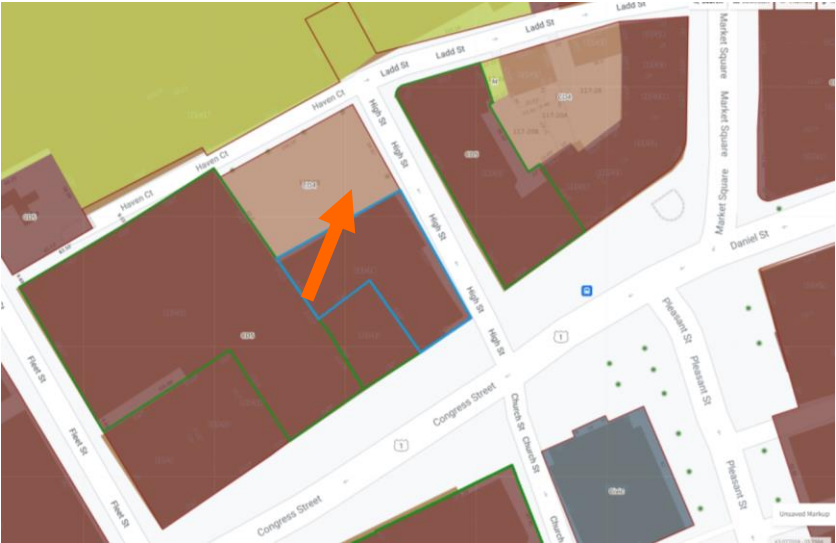
- The applicant is proposing to:
  - Make significant renovations to the existing historic structures and add a three-story addition to fill the existing surface parking lot.
  - The project also proposes improvements to Haven Court as a pedestrian alleyway connecting to Fleet Street.
- **Note that the updated plan will be integrated into the city’s 3D massing model and revised plans will be distributed and posted on the web-page by the 6-1-22 meeting.**

• Design Guideline Reference – Guidelines for Commercial Development and Storefronts (12)

K. Aerial Image, Street View and Zoning Map:



Elevation and Rendering of Proposed New Building



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
C



1 CONGRESS ST. (LUHD-425) – WORK SESSION #B (MAJOR PROJECT)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MAJOR PROJECT - ALTERATIONS TO EXISTING HISTORIC BUILDINGS & ADD A 4-STORY BUILDING -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 1 CONGRESS ST. Case No.: B Date: 6-8-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied  
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

# Historic District Commission

Project Evaluation Form: **445 MARCY STREET (LUHD-424)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **WORK SESSION #C**

- A. Property Information - General:**  
**Existing Conditions:**
- Zoning District: GRB
  - Land Use: Single-Family
  - Land Area: 14,810 SF +/-
  - Estimated Age of Structure: NA
  - Building Style: NA
  - Number of Stories: 2.5
  - Historical Significance: NA
  - Public View of Proposed Work: View from Pray and Marcy Street
  - Unique Features: NA
  - Neighborhood Association: South End

**B. Proposed Work:** To add a new single family residence.

- C. Other Permits Required:**
- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

- D. Lot Location:**
- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

- E. Existing Building to be Altered/ Demolished:**
- ☒ Principal
- ☐ Accessory
- ☐ Significant Demolition

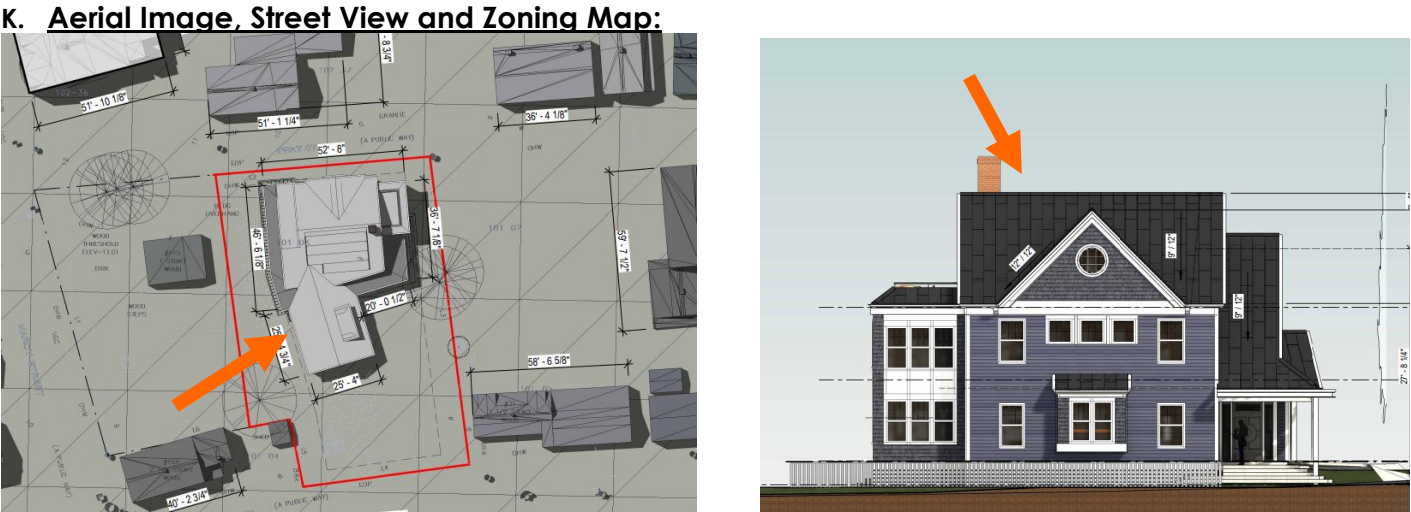
- F. Sensitivity of Context:**
- ☒ Highly Sensitive
- ☐ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

- G. Design Approach (for Major Projects):**
- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

- H. Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

- I. Neighborhood Context:**
- This proposed structure is located along Pray Street and will be surrounded with many wood-sided, 2.5- story contributing historic structures. Most buildings have a shallow front- and side-yard setbacks and deeper but still relatively compact rear yards.
- J. Staff Comments and Suggestions for Consideration:**
- The applicant proposes to revise the previous approval for:
  - Adding a new single family structure on the lot.
  - **Note that the updated plans will be distributed and posted on the web-page by the 6-1-22 meeting.**

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)**



Rear Elevation and Revised Site Plan



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**NA**

445 MARCY STREET (LUHD-424) – WORK SESSION #C (MODERATE)

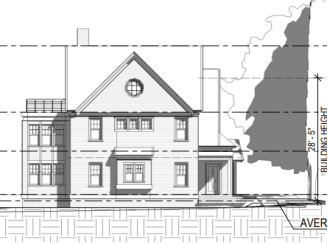
		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT – ADD A NEW SINGLE FAMILY STRUCTURE ONLY –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 445 MARCY STREET Case No.: C Date: 6-8-22

Decision: ☐ Approved ☐ Continued ☐ Approved with Stipulations ☐ Postponed ☐ Denied ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No

2. Assessment of the Historical Significance: ☐ Yes ☐ No

3. Conservation and enhancement of property values: ☐ Yes ☐ No

4. Maintain the special character of the District: ☐ Yes ☐ No

5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No

2. Compatibility of design with surrounding properties: ☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No

Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No



# Historic District Commission

Project Evaluation Form: **179 PLEASANT STREET (LUHD-463)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **WORK SESSION #D**

- A. Property Information - General:**  
**Existing Conditions:**
- Zoning District: MRO
  - Land Use: Single-Family
  - Land Area: 32,410 SF +/-
  - Estimated Age of Structure: c.1860
  - Building Style: Georgian
  - Number of Stories: 2.5
  - Historical Significance: Focal
  - Public View of Proposed Work: View from Pleasant Street
  - Unique Features: Thomas Thompson House
  - Neighborhood Association: South End

**B. Proposed Work:** To renovate the accessory buildings.

- C. Other Permits Required:**
- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

- D. Lot Location:**
- ☒ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

- E. Existing Building to be Altered/ Demolished:**
- ☒ Principal
- ☐ Accessory
- ☐ Significant Demolition

- F. Sensitivity of Context:**
- ☒ Highly Sensitive
- ☐ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

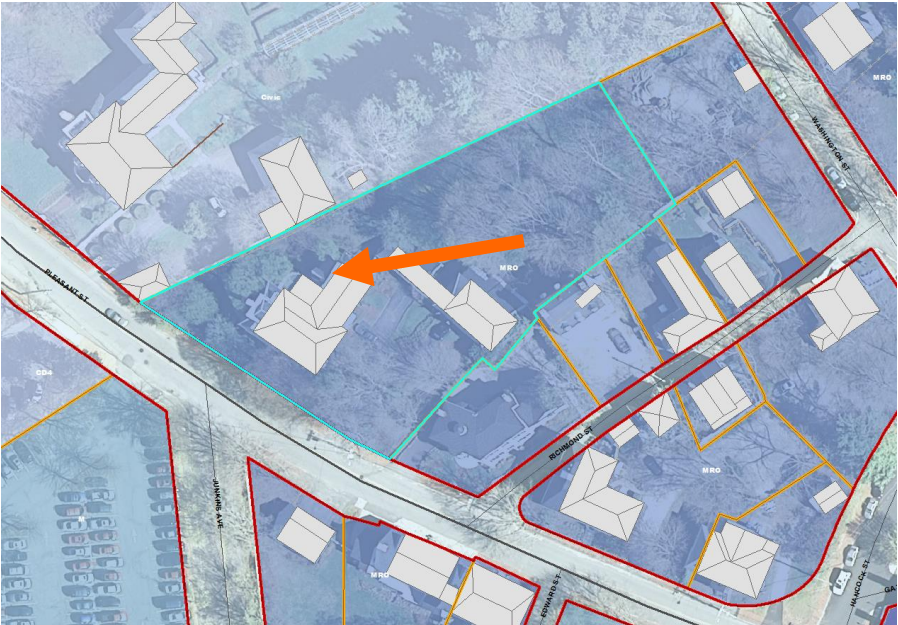
- G. Design Approach (for Major Projects):**
- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

- H. Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

- I. Neighborhood Context:**
- This focal historic structure is located along Pleasant Street and sits at the terminal vista of Junkins Ave. The structure is surrounded with many wood-sided, 2.5-3 story contributing structures. Most buildings have a shallow front- and side-yard setbacks and deep rear yards.
- J. Staff Comments and Suggestions for Consideration:**
- The applicant proposes to revise the previous approval for the following items:
    - Add a radius connector to the main house and T-Shaped addition that connects to the renovated carriage house.
  - Note that the updated plans will be distributed and posted on the web-page by the 6-1-22 meeting.

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)**

**K. Aerial Image, Street View and Zoning Map:**



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**F**

179 PLEASANT STREET (LUHD-463) – WORK SESSION #D (MODERATE)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT – SUBSTANTIAL RENOVATIONS TO THE OUTBUILDINGS –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:179 PLEASANT STREET Case No.:D Date: 6-8-22

Decision: ☐ Approved ☐ Continued ☐ Approved with Stipulations ☐ Postponed ☐ Denied ☐ Withdrawn



**H. Purpose and Intent:**

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:

☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

**I. Review Criteria / Findings of Fact:**

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

☐ Yes ☐ No

4



# Historic District Commission

Project Evaluation Form: **161 DEER STREET (LUHD-462)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **WORK SESSION #E**

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: CD5
  - Land Use: Commercial
  - Land Area: 22,650 SF +/-
  - Estimated Age of Structure: c.1970
  - Building Style: Contemporary
  - Number of Stories: 1
  - Historical Significance: Non-Contributing
  - Public View of Proposed Work: View from Maplewood Ave. and Deer Street
  - Unique Features: Former Rail Station
  - Neighborhood Association: North End

**B. Proposed Work:** To replace the existing building with a 4 ½ story mixed-use building.

**C. Other Permits Required:**

- ☒ Board of Adjustment      ☒ Planning Board      ☐ City Council

**D. Lot Location:**

- ☒ Terminal Vista      ☐ Gateway      ☒ Mid-Block  
☐ Intersection / Corner Lot      ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal      ☐ Accessory      ☐ Significant Demolition

**F. Sensitivity of Context:**

- ☐ Highly Sensitive      ☐ Sensitive      ☒ Low Sensitivity      ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)  
☒ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- This property is located within the Urban Renewal Area of the North End. The existing building was constructed in the 1970s and is non-contributing. . The structure is surrounded with many brick non-contributing structure constructed in the 1960s-1980s. Many building in the surrounding neighborhood are now being replaced with multi-story, mixed-use buildings.

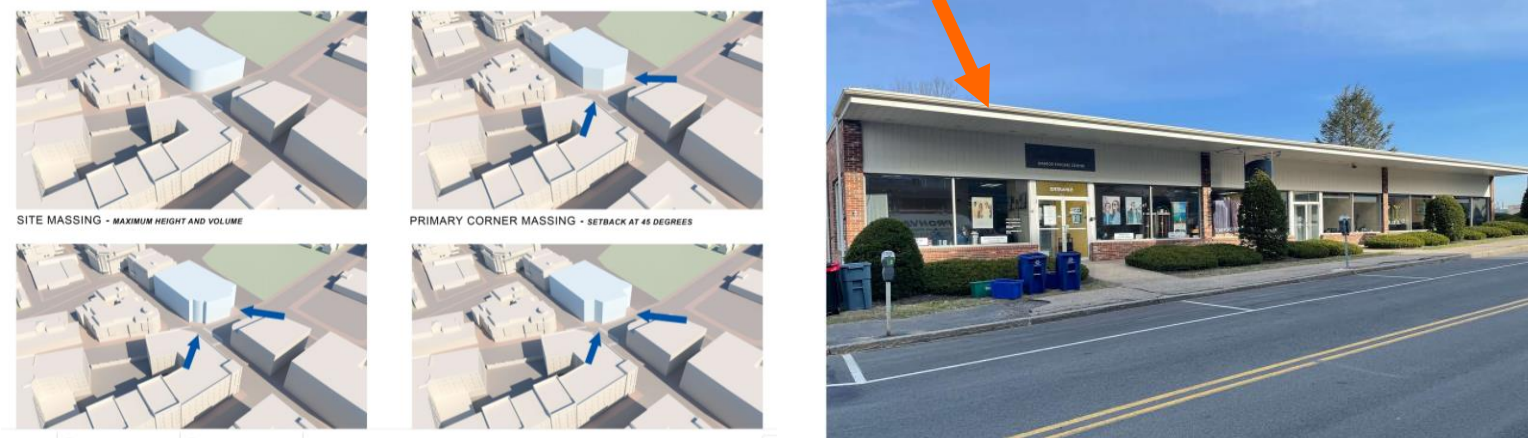
**J. Staff Comments and Suggestions for Consideration:**

- The applicant proposes to revise the previous approval for the following items:
  - Remove the existing building.
  - Construct a 4 story building with a penthouse on the 5<sup>th</sup> floor.
  - The parking level is on the lower level and is proposed to be elevated above the ground water table which will require this building to seek approval by the BOA for added height to the building. Note, unlike the previous proposal for this site, the applicant is not seeking to use the Incentive Overlay District to obtain the added height.

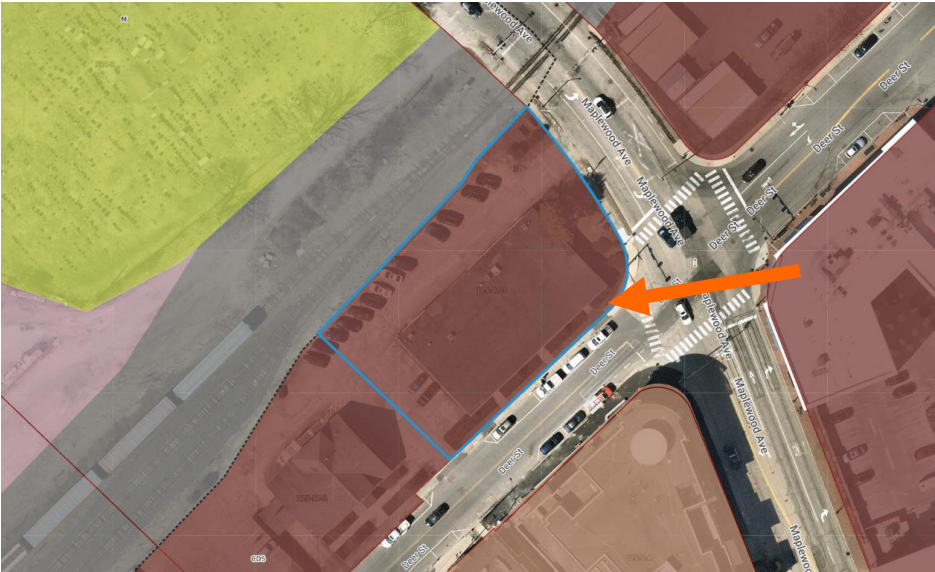
**Note that the updated plan will be integrated into the city’s 3D massing model and revised plans will be distributed and posted on the web-page by the 6-1-22 meeting.**

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**



161 DEER STREET (LUHD-462) – WORK SESSION #E (MAJOR)										
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY:161 DEER STREET Case No.:E Date: 6-8-22</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Continued <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Postponed <input type="checkbox"/> Denied <input type="checkbox"/> Withdrawn</div> <div></div>		
STAFF	No	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
	No	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)		<div>MAJOR PROJECT</div> <div>– NEW 4 STORY INFILL BUILDING WITH A PENTHOUSE LEVEL –</div>						
	2	Floor Area Ratio (GFA/ Lot Area)								
	3	Building Height / Street-Width Ratio								
	4	Building Height – Zoning (Feet)								
	5	Building Height – Street Wall / Cornice (Feet)								
	6	Number of Stories								
7	Building Coverage (% Building on the Lot)									
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS				
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

# Historic District Commission

**Project Evaluation Form:**     **43 HOLMES COURT (LUHD-465)**  
**Permit Requested:**            **CERTIFICATE OF APPROVAL**  
**Meeting Type:**                 **WORK SESSION #F**

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: WB
  - Land Use: Single-Family
  - Land Area: 5,662 SF +/-
  - Estimated Age of Structure: c.1903
  - Building Style: Late Gothic Revival
  - Number of Stories: 1.5
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Holmes Court
  - Unique Features: NA
  - Neighborhood Association: South End

**B. Proposed Work:** To replace the existing house with a 2 story traditionally-designed house.

**C. Other Permits Required:**

- ☒ Board of Adjustment     ☐ Planning Board     ☐ City Council

**D. Lot Location:**

- ☒ Terminal Vista     ☐ Gateway     ☐ Mid-Block  
☐ Intersection / Corner Lot     ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal     ☐ Accessory     ☐ Significant Demolition

**F. Sensitivity of Context:**

- ☒ Highly Sensitive     ☐ Sensitive     ☐ Low Sensitivity     ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☒ Moderate Project (i.e. significant additions, alterations or expansions)  
☐ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- This historic structure is located at the terminal vista of Holmes Court in the South End. It is the only house on the block that is zoned Waterfront Business. The structure is surrounded with many wood-sided, 2.5 story contributing structures. Most buildings have a shallow front- and side-yard setbacks with deeper rear yards.

**J. Staff Comments and Suggestions for Consideration:**

- The applicant proposes to revise the previous approval for the following items:
  - Remove and replace the existing structure with a traditionally-design small house that is fully code compliant and is elevated out of the floodplain.
- **Note that the updated plans will be distributed and posted on the web-page by the 6-1-22 meeting.**

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)**

**K. Aerial Image, Street View and Zoning Map:**



**HISTORIC  
SURVEY  
RATING**

**C**



43 HOLMES COURT (LUHD-465) – WORK SESSION #F (MODERATE)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT – REMOVAL & REPLACEMENT OF A SINGLE FAMILY HOUSE –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
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		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 43 HOLMES COURT Case No.: F Date: 6-8-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

L. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
- Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

111 STATE STREET (LUHD-478)  
CERTIFICATE OF APPROVAL  
WORK SESSION #1

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4
  - Land Use: Mixed-Use/ Commercial
  - Land Area: 2,875 SF +/-
  - Estimated Age of Structure: c.1825
  - Building Style: Federal
  - Number of Stories: 2.5
  - Historical Significance: C
  - Public View of Proposed Work: View from State and Sheafe Street.
  - Unique Features: NA
  - Neighborhood Association: Downtown

B. Proposed Work: To add a rear addition, replace windows & restore facade.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- This historic structure fronts along State Street with a rear yard along Sheafe Street. It is surrounded with many other historically-significant structures.

J. Staff Comments and/ or Suggestions for Consideration:

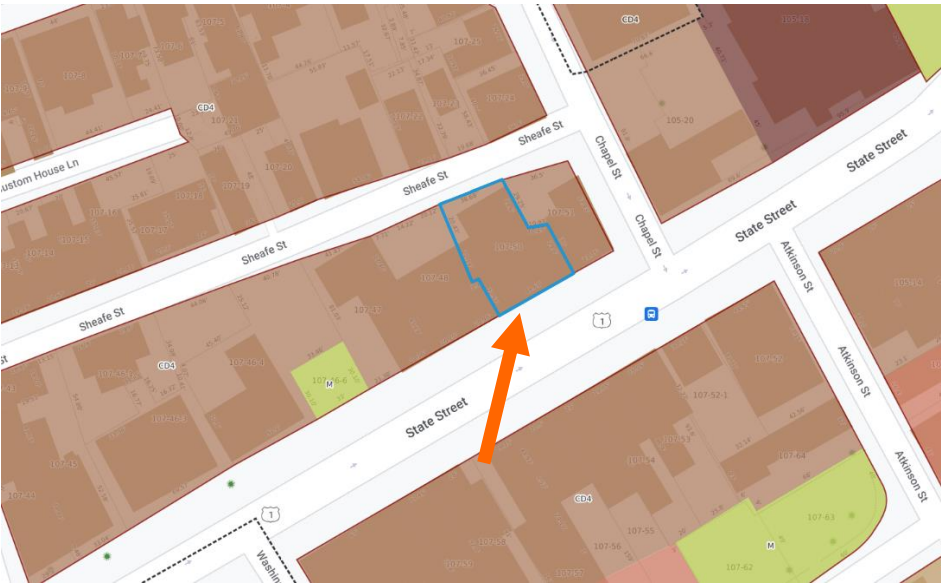
- The project proposal includes the following:
  - Adding a rear addition
  - Adding dormers
  - Adding a new elevator and stairwell for egress.
  - Façade restoration
  - Widow and door replacement on corner building.
- **Note that the updated plan will be integrated into the city's 3D massing model and revised plans will be distributed and posted on the web-page by the 6-1-22 meeting**

Design Guideline Reference – Guidelines for Roofing (04), Windows and Doors (08) & Commercial Developments and Storefronts (12).

L. Aerial Image, Street View and Zoning Map:



Front and Rear Axonometric Drawings




Zoning Map

HISTORIC  
SURVEY  
RATING  
  
C

111 STATE STREET (LUHD-478) – WORK SESSION #1 (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT - ADD REAR ADDITION & DORMERS, REPLACE WINDOWS & RESTORE FACADE -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM  
PORTSMOUTH HISTORIC DISTRICT COMMISSION  
PROPERTY: 111 STATE ST. Case No.: 1 Date: 6-8-22  
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☐ Yes ☐ No

**LU-22-68****Land Use Application****Status:** Active**Date Created:** Apr 6, 2022**Applicant**

Matthew Beebe  
matthewdbeebe@comcast.net  
81 Lincoln Ave  
Portsmouth, NH 03801  
603-234-7398

**Location**

159 STATE ST Unit 3A  
Unit 3A  
Portsmouth, NH 03801

**Owner:**

SMITH FAMILY DECLARATION OF TRUST & SMITH C TODD TRUSTEE  
3608 NE 25TH TERRACE FORT LAUDERDALE, FL 33308

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☒

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

☐

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

☐

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

☐

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

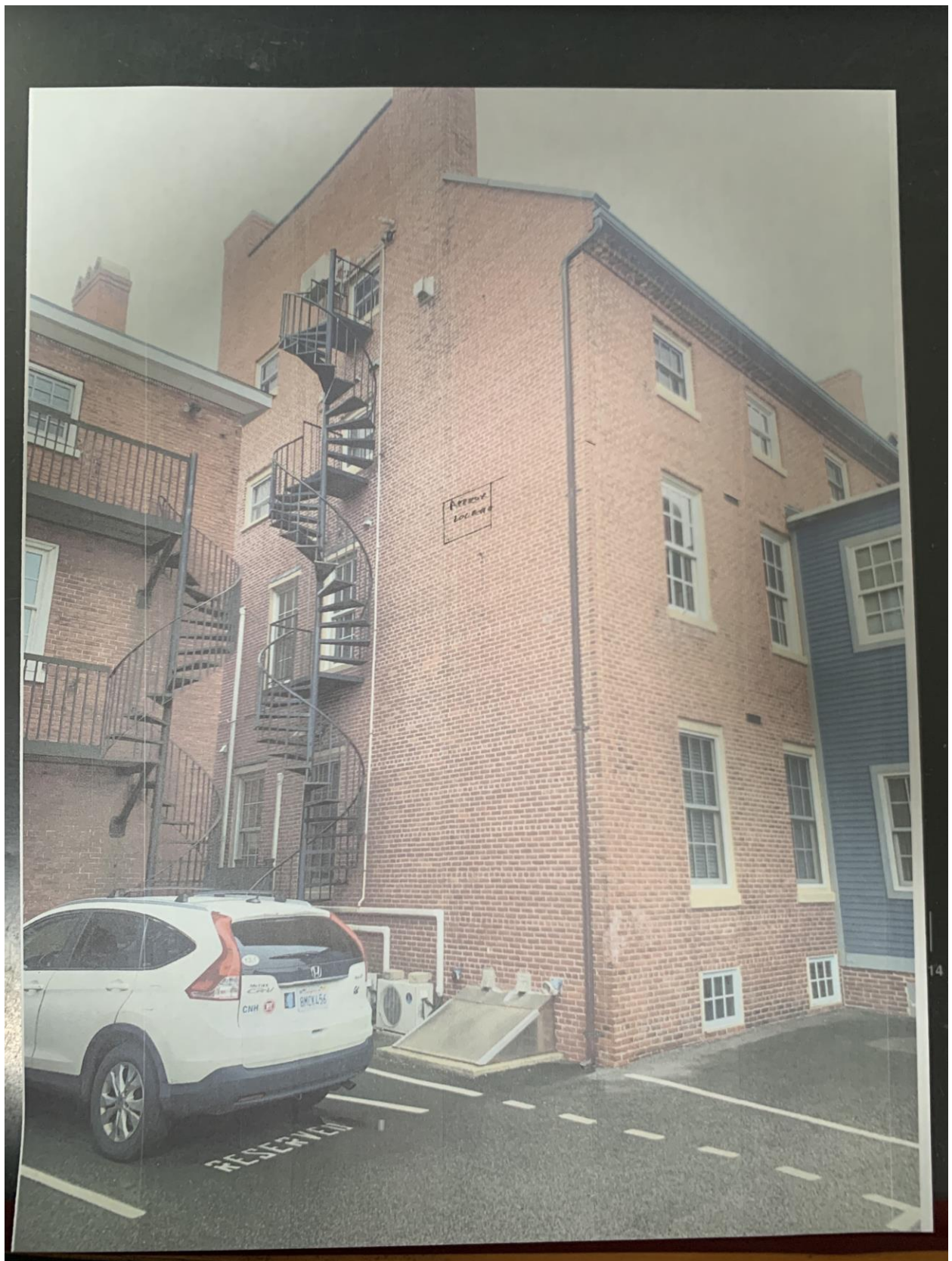
**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

☐

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☐







City of Portsmouth, NH

05/27/2022

**LU-21-183**

Land Use Application

**Status:** Active**Date Created:** Sep 17, 2021**Applicant**

Tracy Kozak  
tracyskozak@gmail.com  
3 Congress Street, Suite 1  
Portsmouth, New Hampshire 03801  
603-731-5187

**Location**

93 PLEASANT ST  
Portsmouth, NH 03801

**Owner:**

DAGNY TAGGART LLC  
3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

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**Request for Extension of Previously Granted Land Use Approval**



# 93 PLEASANT STREET



**PROJECT SUMMARY**

**NEW CONSTRUCTION ADDITION AND RENOVATIONS**

OFFICES USE, NEW STRUCTURE LOCATED AT PARKING LOT BEHIND TREADWELL-JENNESS HOUSE.  
2 STORIES + 3RD SHORT STORY; 1 LEVEL UNDERGROUND PARKING.

HDC DRAWING SHEET LIST	
P1.0	COVER SHEET
P1.0L	LANDSCAPE PLAN
P1.2	PROPOSED FIRST FLOOR PLAN
P1.3	PROPOSED ROOF PLAN
P1.7	PERSPECTIVE VIEW - NW
P1.8	PERSPECTIVE VIEW - SW
P1.9	PERSPECTIVE VIEW - SE
P1.10A	ELEVATION - FRONT, PLEASANT STREET
P1.10B	ELEVATION - FRONT, COURT STREET
P1.11	ELEVATION - SIDE
P1.12	ELEVATION - REAR
P1.13	PARTIAL EXTERIOR ELEVATIONS
P1.15	PARTIAL EXTERIOR ELEVATIONS
P1.18	WINDOW & DOOR TYPES
P1.19	MATERIALS
P1.19B	MATERIALS

**REVISIONS TO PREVIOUSLY APPROVED APPLICATION .**

- 1: PROVIDE ACCESSIBLE ENTRY RAMP AT EXISTING PLEASANT STREET SIDE PORCH.
- 2: REPLACE AND LOWER EXISTING BASEMENT WINDOWS WITH EXPANDED AND LOWERED WINDOW WELLS.
- 3: REPLACE COURT STREET WEST PORCH RAMP WITH STEPS AND SIDEWALK.
- 4. PROVIDE RECESSED BALCONIES ABOVE NEW PORCH ADDITIONS AT 2ND AND 3RD FLOORS.
- 5. MOVE NEW GABLE DORMERS SLIGHTLY CLOSER TO EAVE LINE.
- 6. SHIFTED LOCATION OF ELEVATOR OVER RUN, EXTEND REAR FIRE STAIR TO ROOF.
- 7. PROVIDE RAILING AT NEW ROOF DECK.
- 8. LOCATE ROOFTOP MECHANICAL EQUIPMENT AS SHOWN.
- 9. ADD BRICK CHIMNEY AT NEW ADDITION FOR EXHAUST VENTILATION
- 10. REPLACE EXISTING ROOF ACCESS SCUTTLE BEHIND WIDOW'S WALK RAILING WITH SKYLIGHT
- 11. AT REAR FACADE, SHIFT WINDOW LOCATIONS SLIGHTLY, REMOVE WEST PROTRUDING BAY BEHIND RETAINING WALLS (NOT VISIBLE FROM PUBLIC WAY).
- 12. WINDOWS ADDED AT SIDE FACADE
- 13. WINDOWS REMOVED AT REAR ELEVATION
- 14. REMOVE NEW PORCH GABLE
- 15. ADJUSTED OVERALL LENTH OF EAST WALLS
- 16. Raise 2nd & 3rd floors by 2" each. Lower roof ridge by 4" and lower average building height by 2-1/4".
- 17. Replace 3 windows with louvers to match shutters.



P1.0

**COVER SHEET**

93 PLEASANT STREET  
HDC REVISION 1 - APRIL 14, 2022

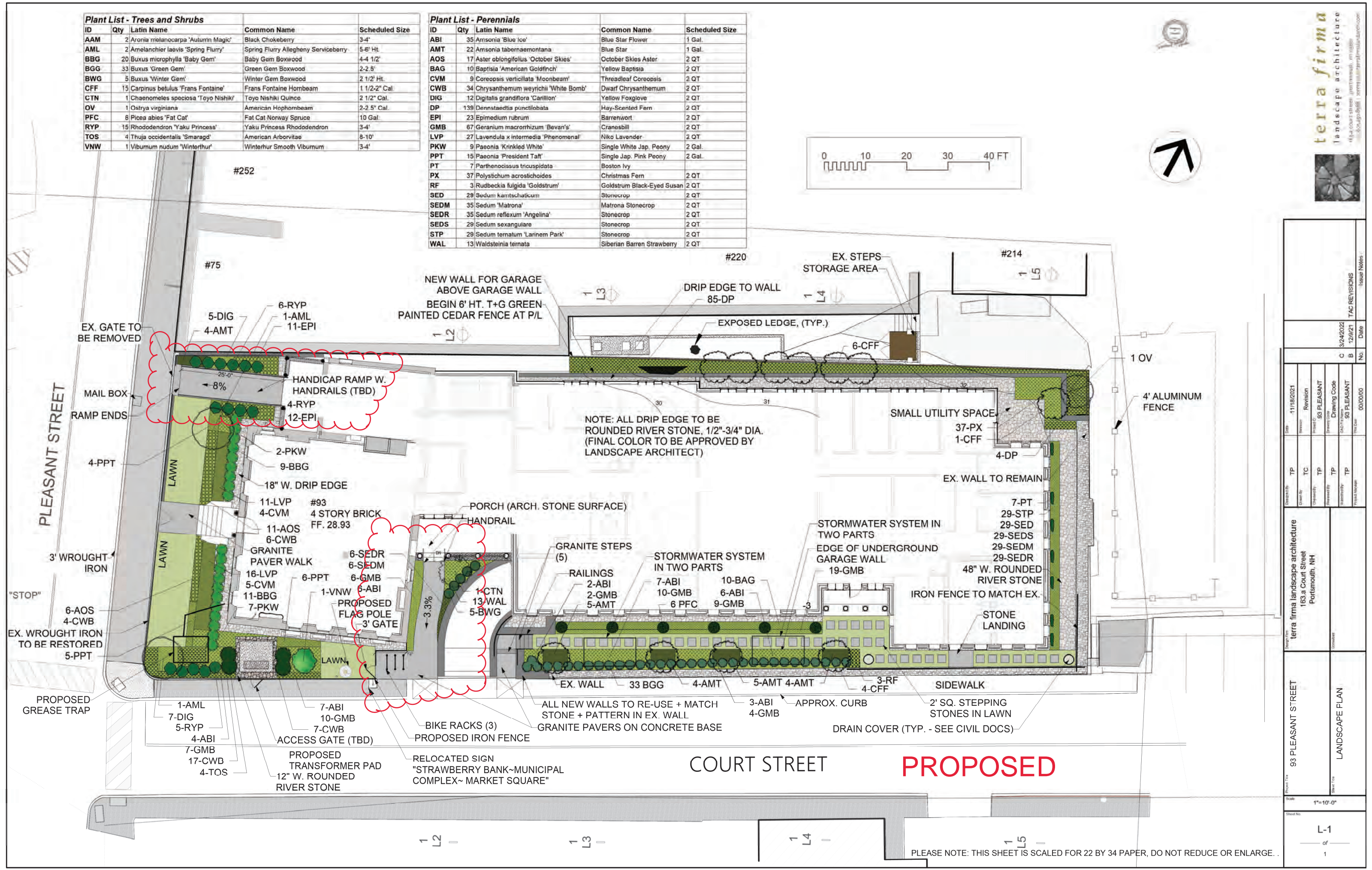






Plant List - Trees and Shrubs				
ID	Qty	Latin Name	Common Name	Scheduled Size
AAM	2	Aronia melanocarpa 'Autumn Magic'	Black Chokeberry	3-4'
AML	2	Amelanchier laevis 'Spring Flurry'	Spring Flurry Allegheny Serviceberry	5-8' Ht.
BBG	20	Buxus microphylla 'Baby Gem'	Baby Gem Boxwood	4-4 1/2'
BGG	33	Buxus 'Green Gem'	Green Gem Boxwood	2-2.5'
BWG	5	Buxus 'Winter Gem'	Winter Gem Boxwood	2 1/2' Ht.
CFF	15	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	1 1/2-2" Cal.
CTN	1	Chaenomeles speciosa 'Toyo Nishiki'	Toyo Nishiki Quince	2 1/2" Cal.
OV	1	Ostrya virginiana	American Hophornbeam	2-2.5" Cal.
PFC	6	Picea abies 'Fat Cat'	Fat Cat Norway Spruce	10 Gal.
RYP	15	Rhododendron 'Yaku Princess'	Yaku Princess Rhododendron	3-4'
TOS	4	Thuja occidentalis 'Smaragd'	American Arborvitae	8-10'
VNW	1	Viburnum nudum 'Winterthur'	Winterthur Smooth Viburnum	3-4'

Plant List - Perennials				
ID	Qty	Latin Name	Common Name	Scheduled Size
ABI	35	Amsonia 'Blue Ice'	Blue Star Flower	1 Gal.
AMT	22	Amsonia tabernaemontana	Blue Star	1 Gal.
AOS	17	Aster oblongifolius 'October Skies'	October Skies Aster	2 QT
BAG	10	Baptisia 'American Goldfinch'	Yellow Baptisia	2 QT
CVM	9	Coreopsis verticillata 'Moonbeam'	Threadleaf Coreopsis	2 QT
CWB	34	Chrysanthemum weyrichii 'White Bomb'	Dwarf Chrysanthemum	2 QT
DIG	12	Digitalis grandiflora 'Carillon'	Yellow Foxglove	2 QT
DP	139	Dennstaedtia punctilobata	Hay-Scented Fern	2 QT
EPI	23	Epimedium rubrum	Barrenwort	2 QT
GMB	67	Geranium macrorrhizum 'Bevan's'	Cranesbill	2 QT
LVP	27	Lavendula x intermedia 'Phenomenal'	Niko Lavender	2 QT
PKW	9	Paeonia 'Krinkled White'	Single White Jap. Peony	2 Gal.
PPT	15	Paeonia 'President Taft'	Single Jap. Pink Peony	2 Gal.
PT	7	Parthenocissus tricuspidata	Boston Ivy	2 QT
PX	37	Polystichum acrostichoides	Christmas Fern	2 QT
RF	3	Rudbeckia fulgida 'Goldstrum'	Goldstrum Black-Eyed Susan	2 QT
SED	29	Sedum kamtschaticum	Stonecrop	2 QT
SEDM	35	Sedum 'Matrona'	Matrona Stonecrop	2 QT
SEDR	35	Sedum reflexum 'Angelina'	Stonecrop	2 QT
SEDS	29	Sedum sexangulare	Stonecrop	2 QT
STP	29	Sedum ternatum 'Larinem Park'	Stonecrop	2 QT
WAL	13	Waldsteinia ternata	Siberian Barren Strawberry	2 QT

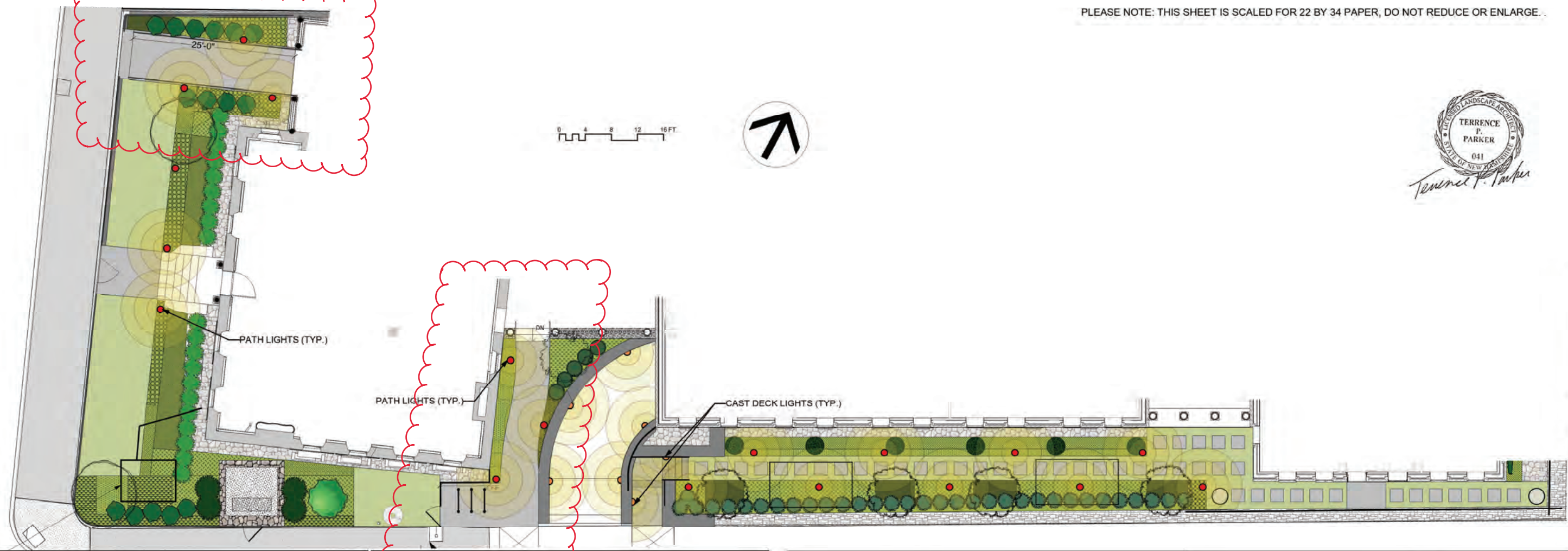


Project Title	terra firma landscape architecture			
	153.3 Court Street Portsmouth, NH			
	Scale: 1"=10'-0"			
	Sheet No. L-1			
Revision	1	11/18/2021	TP	TP
	2	11/18/2021	TC	TC
	3	11/18/2021	TP	TP
	4	11/18/2021	TP	TP
Drawing Code	93 PLEASANT			
	93 PLEASANT			
	93 PLEASANT			
	93 PLEASANT			
TAC REVISIONS	Issue Notes			
	Date			
	No.			
	Date			

**PROPOSED**

PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE.





CAST LANDSCAPE™

Old world craftsmanship...tomorrow's technology

CAST Classic Deck Light (CDL1CB, CDL1LED1, CDL1LED1A)

Product Information

CAST Solid Bronze Deck Light - Rugged, Ideal for Walls, Decks, and Docks

Description:  
This compact and attractive solid bronze deck light is a durable, reliable, and energy-efficient fixture for wall and post mounting.  
Features:  
• Solid bronze hood and base  
• Glare-free illumination  
• Pre-wired with 25' tin-coated No-Ox® marine grade wire  
• Spider Splice® ready  
Uses:  
Suitable for downlighting when mounted on retaining walls, structure surfaces, posts and pilings. Amber version complies with Florida Fish and Wildlife Conservation Commission guidelines for beachside marine turtle habitats.

Dimensions:  
3.75" diameter x 1.75" height  
Construction:  
Solid bronze hood and base; borosilicate lens; 25' tin-coated #18-2 No-Ox® marine-grade wire.

Specifications:  
CDL1CB: High Temp. T-5 socket, Lamp: Includes 2.5W, 9-15 volt operating range, T5 LED Lamp (SL921T5200L).  
Halogen Option: 12 Volt, 18W T5 xenogen - 18W max. (CW8921X).  
CDL1LED1: Power: 10-24V, 27 Amps, 2.82W, .88 pf, 3.20VA; L70 hrs 60,500, CRI 81, Color Temp. 2,739, Fixture Lumens: 49  
CDL1LED1A: Input Voltage: 8v-18v AC or DC; Input Power: 3.0 Watts; 0.8 pf; LED Light output: Amber; 70 lm Fixture output; Amber; 35 lm  
FWC Cert# 2015-013

www.cast-lighting.com 800.814.CAST  
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Revised December 2019

CAST LANDSCAPE™

Old world craftsmanship...tomorrow's technology

Lighting Specification Sheet

Classic Deck Light (CDL1CB, CDL1LED1, CDL1LED1A)

Project: \_\_\_\_\_ Date: \_\_\_\_\_

Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_

Specifier: \_\_\_\_\_

Drawing not to scale

CDL1CB: Must operate lamp between 9 to 20 volts. Check voltage with digital multi-meter.  
CDL1LED1: Operates between 10V to 24V AC or DC.

Surface mount using supplied hardware.

Extremely durable solid sand cast 88-6-3-2 bronze body.

Frosted glass lens.

CDL1CB: Includes 2.5W T5 LED Lamp (SL921T5200L)  
CDL1LED1: Input power: 3.0W  
Power Factor: 0.8W  
(Size wire and power supply for 3.75W)  
#18-2 @ 25' Tin coated

Two 8-32 302 stainless steel hex head set screws.

Notes

• CDL1CB Includes 2.5W T5 LED Lamp (SL921T5200L)  
• Typical spacing 5' to 10'  
• Downward and horizontal orientation allowed

Refer to product installation sheet prior to installation

Plan Symbol:

22-17-2018 873-423-2303 | www.cast-lighting.com | © Copyright 2020 CAST Lighting LLC. cdltcbpsca

CAST LANDSCAPE™

Old world craftsmanship...tomorrow's technology

CAST Large Mushroom Path Light (CMU2CB)

Product Information

CAST Classic Large Mushroom Area/Path Light - Beautiful, Glare Free Illumination

Description:  
This rugged solid bronze path/area light provides a soft glare free illumination. LED conversion is achieved with the CALED2 module.  
Features:  
• Solid bronze hat and vase  
• Large Talon Eurometal stake  
• Heavy-gauge copper stem  
• Pre-wired with 35' tin-coated No-Ox® marine grade wire  
• High-temp socket  
• Spider Splice® ready  
Uses:  
Suitable for lighting walkways, planting beds, and other areas.

Construction:  
Solid bronze hat and vase; Eurometal stake; heavy-gauge copper stem; 35' tin-coated #16-2 No-Ox® marine-grade wire.

Dimensions:  
25" tall x 9" wide  
Stake: 8.5"  
Lamp Specifications:  
CMU2CB: 12V Wedge Base Krypton (35w max.) (not included).  
LED Conversion: CALED2 LED Module  
Listing:  
UL 1838 Listed Low Voltage Luminaire for wet locations  
LED Versions: UL listed.  
All Versions: RoHS, FCC Class B Conducted and Radiated

Converts to LED with CALED2 Module

www.cast-lighting.com 800.814.CAST  
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Revised December 2018

CAST LANDSCAPE™

Old world craftsmanship...tomorrow's technology

Lighting Specification Sheet

Classic Large Mushroom Area/Path Light (CMU2CB)

Project: \_\_\_\_\_ Date: \_\_\_\_\_

Fixture Type: \_\_\_\_\_ Quantity: \_\_\_\_\_

Specifier: \_\_\_\_\_

Drawing not to scale

Must operate lamp between 10.5-12.0 volts. Optimal range is 10.8 to 11.3. Check voltage with digital multi-meter.

LED Retrofit:  
use CALED2 - replaces halogen lamp

CMU2CB: Wedge-base 25 watt Krypton lamp light source.

Highly reflective white underside surface paint.

Reflected "no glare" light source.

304 knurled & slotted easy grip thumb screws.

Extremely durable solid sand cast 88-6-3-2 bronze body and cap.

220°C high-temp self-on-jacketed socket.

Internal drain stem.

Soldered, crimped and heat shrunk electrical connection to lead wire.

Heavy duty 100% solid copper fixture stem - .115 wall thickness.

Large Talon Stake™

Soil

8.5"

Keep stake top flush w/grade.

#16-2 @ 35' tin coated marine grade No-Ox® wire. Bury wire at 6" depth.

Coil leftover lead wire at base of fixture. This allows for future field adjustment of fixture placement if required.

Plan Symbol:

Notes

• CMU2CB: Requires SB Wedge Base Lamp (incl. 25w) Max. lamp rating 35 watts  
• Typical spacing 10' to 15'  
• Refer to product installation sheet prior to installation

OPTIONS

☐ Mounting Canopy - Unthreaded (CFM1CBS)

☐ Standard Mounting Stake (CHS1EM)

☒ Large Talon Stake (CSTL)(incl.)

☐ Long Mounting Stake (CLMS1EM)

☐ Heavy Duty Mounting Stake (CHHS1CB)

NOTE: This is a threaded stake. To use with this fix-

☐ Sure, purchase adapter (XCBSPLTA).

Unthreaded Stems:  
☐ Replacement Stem (XCBSPEHS)

☐ Telescopic Stem (CWTRS)

www.cast-lighting.com 873-423-2303 | www.cast-lighting.com | © Copyright 2018 CAST Lighting LLC. cmu2cbpsca

12-11-18

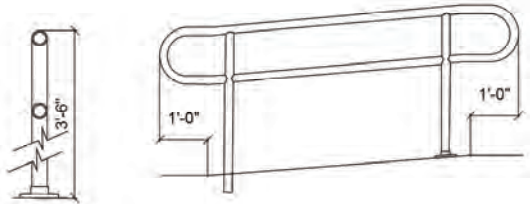
DECK LIGHT SPECIFICATION

PATH LIGHT SPECIFICATION **PROPOSED**

L-2  
of  
1



ITEM NO.	DESCRIPTION
1	1 1/2 SCH.40 ALUM. PIPE TOP RAIL
2	1 1/2 SCH.40 ALUM. PIPE POST
3	1 1/2 SCH.40 ALUM. PIPE INTERMEDIATE RAIL
4	5" CAST ALUM. POST SHOE, FASTENERS BY CONTRACTOR

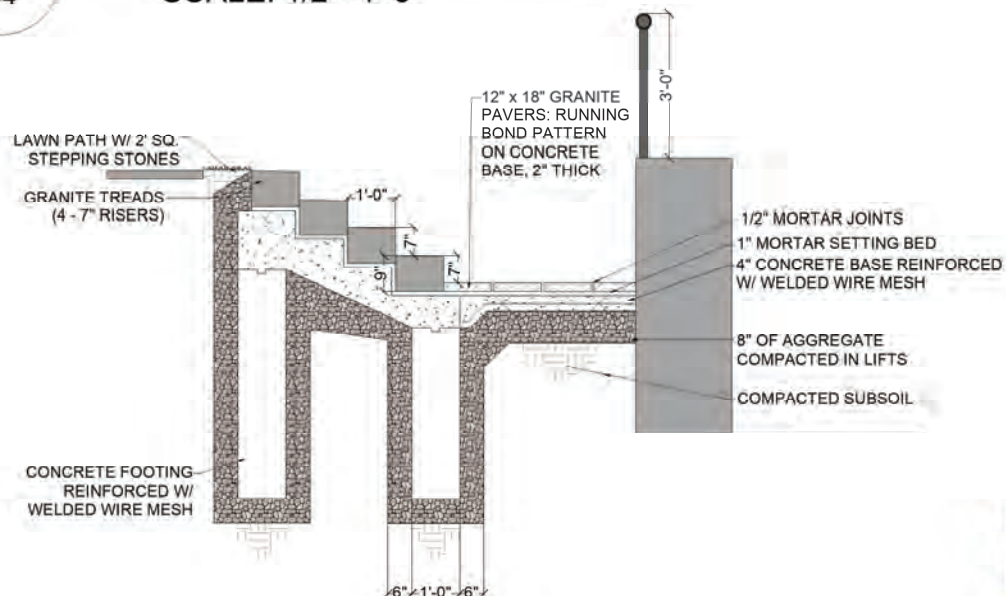


NOTES:  
PRE-ENGINEERED AND FABRICATED TO FIT LEVEL.  
ARCHITECTURAL SERIES WITH ALL WALLS GROUND SMOOTH.  
POWDER COAT FINISH

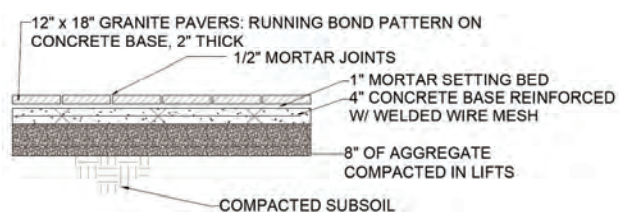
ADA WELDED TWO LINE PIPE RAIL BY AMERICAN RAILING SYSTEMS INC. OR EQUAL

AMERICAN RAILING SYSTEMS INC.  
1813 MCCLELLAND AVE. ERIE, PA 16150  
PHONE: 814-899-7677  
ARS@AMERICANRAIL.COM

## 1 HANDRAIL SCALE: 1/2"=1'-0"

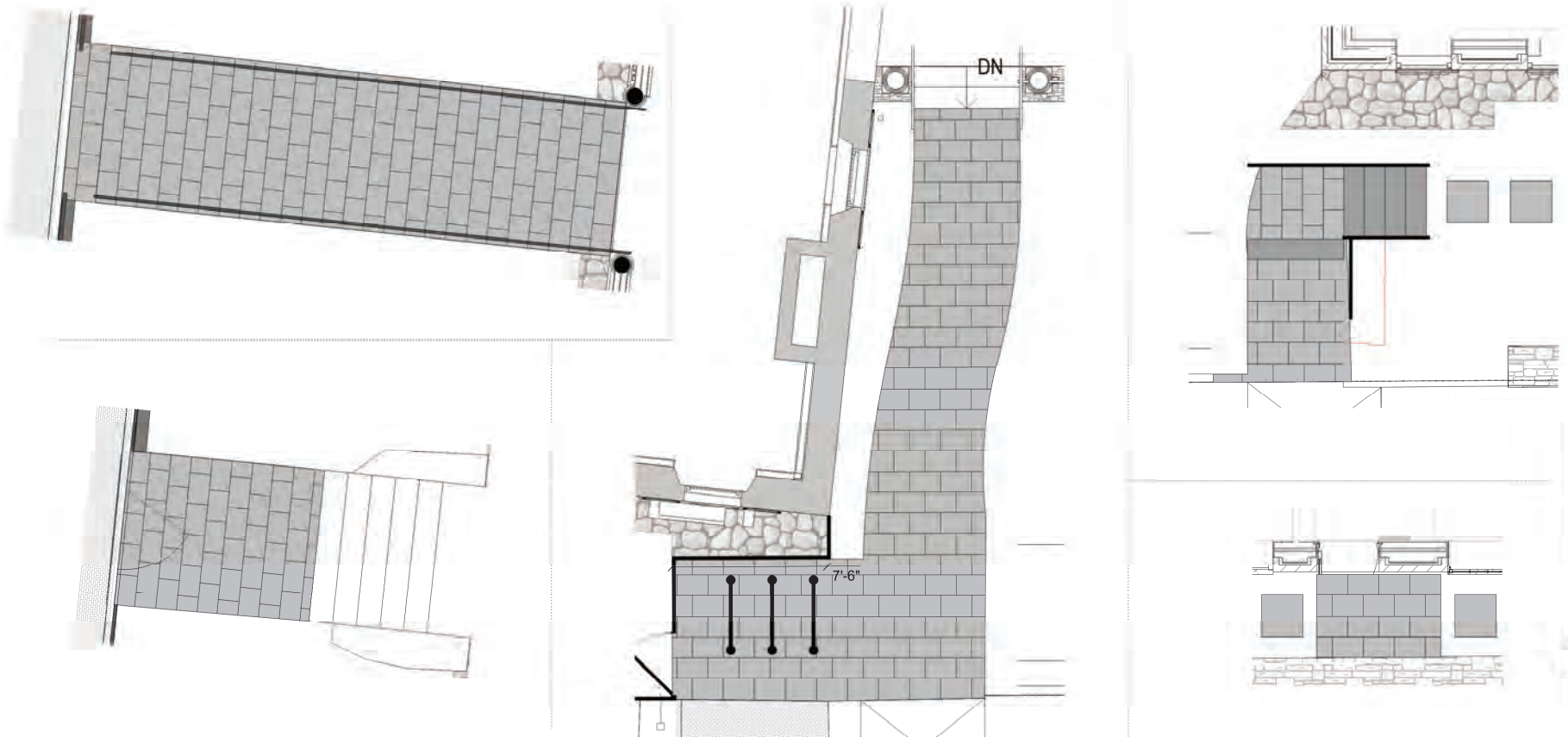


## 2 COURTYARD STEP DETAIL (TYP.) SCALE: 1/2"=1'-0"



NOTE: USE A FLEXIBLE ALUMINUM EDGE RESTRAINT ON ALL SIDES. INSTALL PER MFRG INSTRUCTIONS.  
MFRG: 'StructurEdge' BY PERMALOC OR EQUAL

## 3 GRANITE PAVER DETAIL SCALE: 1/2"=1'-0"

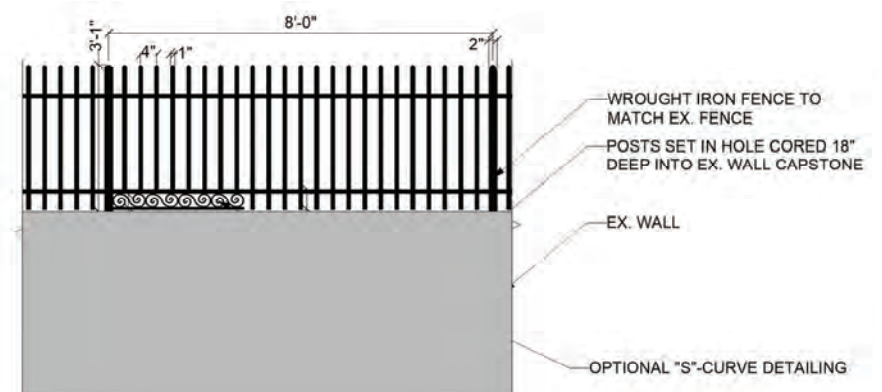


## 4 GRANITE PAVER LAYOUT SCALE: 1/4"=1'-0"



IRON FENCE (and GATE) TO MATCH EX. IRON FENCE

## 5 37" IRON FENCE (AND 4' GATE) DETAIL SCALE: NTS



IRON FENCE TO MATCH EX. IRON FENCE

## 5 37" IRON FENCE ON EX. WALL DETAIL SCALE: 1/2"=1'-0"



terra firma  
landscape architecture  
163 a court street portsmouth, nh 03801  
603-430-6988 terrence@terrafirmalandscape.com



Project Title	93 PLEASANT STREET	Sheet Title	LANDSCAPE DETAILS
Client	terra firma landscape architecture 163 a Court Street Portsmouth, NH	Scale	SEE DETAILS
Revision	11/21/2021	Revision	00/00/00
Drawn By	TP	Checked By	TP
Designed By	TP	Reviewed By	TP
Project No.	93 PLEASANT	Project Name	93 PLEASANT
Issue No.	00/00/00	Issue Date	03/24/2022
Issue Notes		Date	

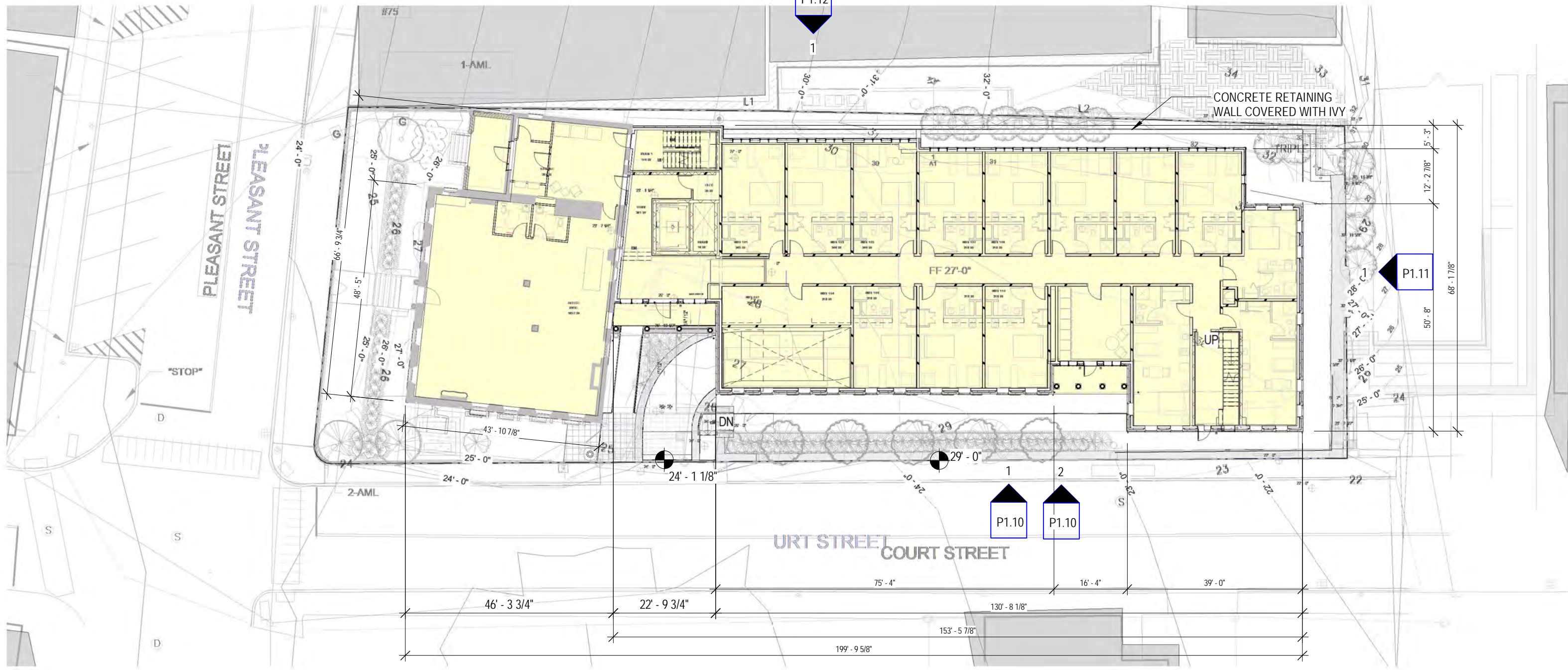
PLEASE NOTE: THIS SHEET IS SCALED FOR 22 BY 34 PAPER, DO NOT REDUCE OR ENLARGE

**PROPOSED**









1 FIRST FLOOR PLAN  
3/64" = 1'-0"

P1.2

AS PREVIOUSLY APPROVED

FIRST FLOOR PLAN

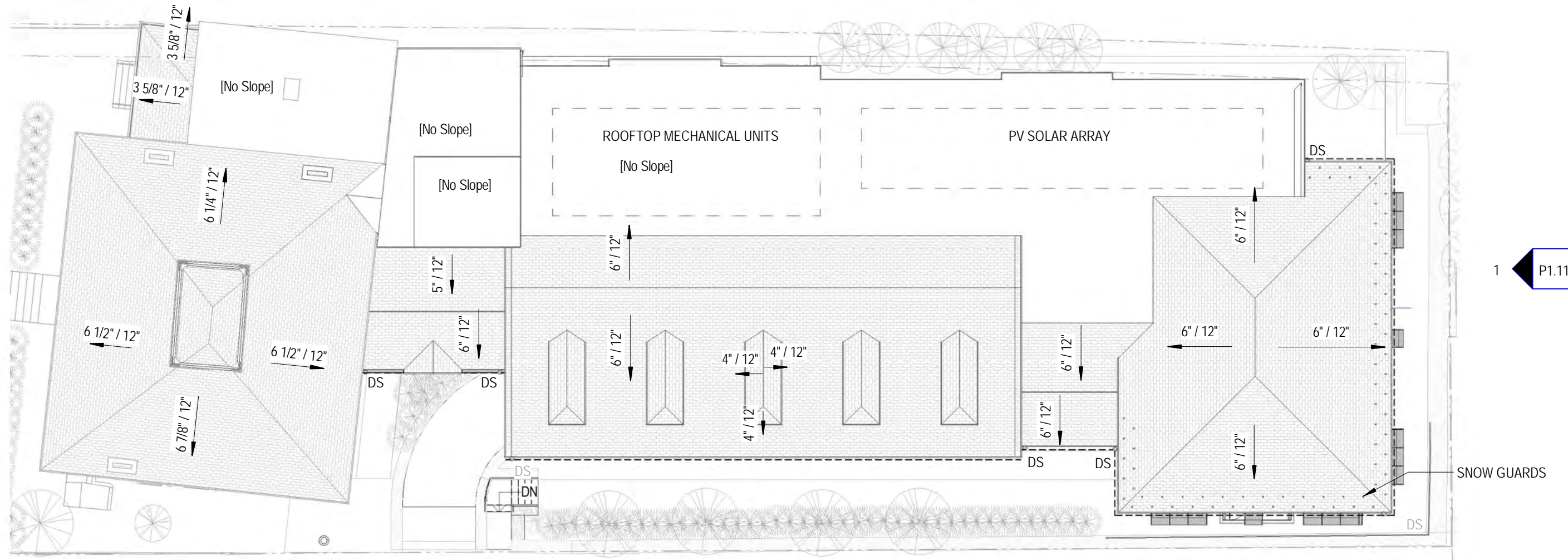
93 PLEASANT STREET  
HDC October 28, 2021





P1.12

1



1

# ROOF PLAN

1/16" = 1'-0"

## ROOF LEGEND

- DS DOWNSPOUT
- GUTTER

1

P1.10

GRAPHIC SCALE: 1/16" = 1'-0"



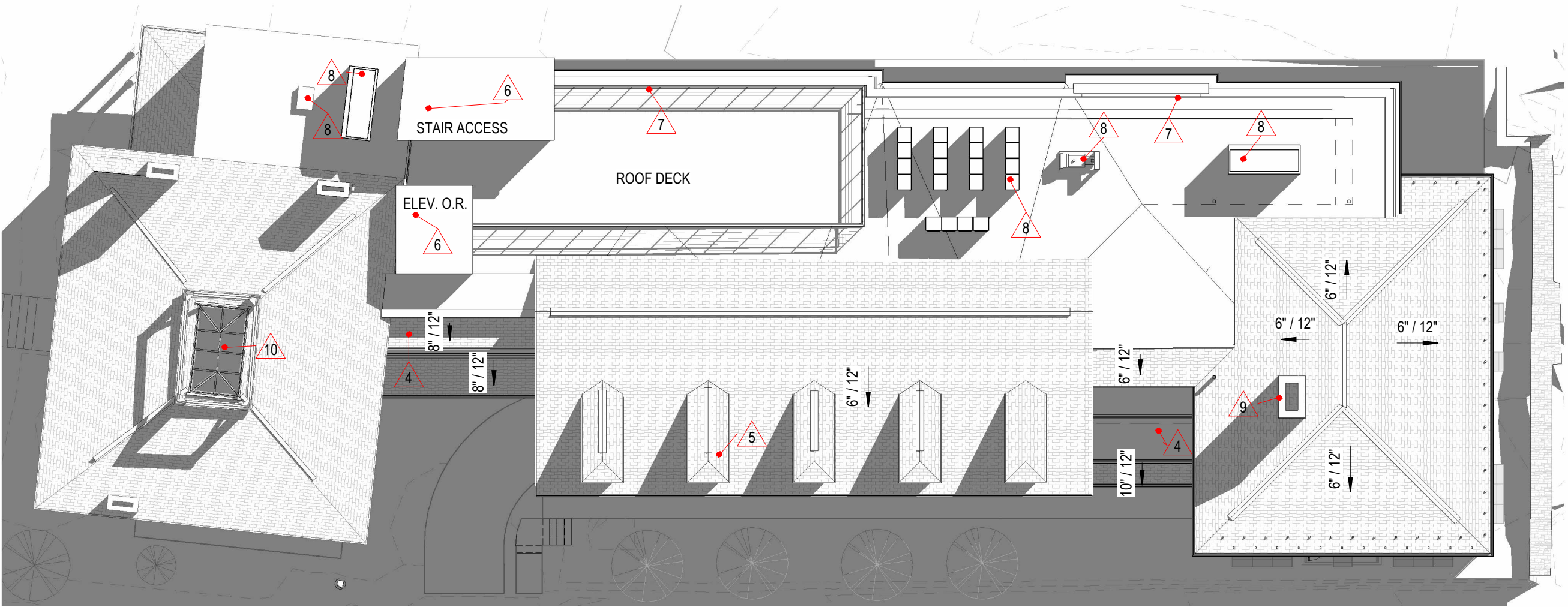
AS PREVIOUSLY APPROVED

P1.3

## ROOF PLAN

93 PLEASANT STREET  
HDC October 28, 2021





Revision Schedule		
Revision Number	Revision Description	Revision Date
4	Provide recessed balconies above new porch additions at 2nd and 3rd floors with revised windows and porch doors.	4.14.22
5	Move new gable dormers slightly closer and lower to eave line.	4.14.22
6	Shifted location of elevator over run, extend rear fire stair up to roof deck.	4.14.22
7	Provide railing at new roof deck and roof top equipment.	4.14.22
8	Locate rooftop mechanical equipment as shown.	4.14.22
9	Add brick chimney at new addition for exhaust ventilation.	4.14.22
10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22

ROOF LEGEND

- DS DOWNSPOUT
- GUTTER

PROPOSED

P1.3

ROOF PLAN  
93 PLEASANT STREET

HDC REVISION 1  
4/14/2022

GRAPHIC SCALE: 1/16" = 1'-0"





Revision Schedule			
Revision Sequence	Revision Number	Revision Description	Revision Date
1	1	Provide accessible entry ramp at existing Pleasant Street side porch. Lower porch floor and new entry door. Remove gate at sidewalk. PROVIDE ACCESSIBLE ENTRY RAMP AT EXISTING PLEASANT STREET SIDE PORCH. Ramp	4.14.22



1 3D VIEW SIDE PORCH FROM CLIPPER TAVERN - HDC

PROPOSED

P1.7

PERSPECTIVE VIEW - NW  
93 PLEASANT STREET

HDC REVISION 1  
04/14/2022





AS PREVIOUSLY APPROVED

P1.8

PERSPECTIVE VIEW - SW

93 PLEASANT STREET  
HDC - OCTOBER 28, 2021





PROPOSED

P1.8

PERSPECTIVE VIEW - SW  
93 PLEASANT STREET

4/14/2022







P1.9

**AS PREVIOUSLY APPROVED**  
**PERSPECTIVE VIEW - SE**

93 PLEASANT STREET  
HDC - OCTOBER 28, 2021



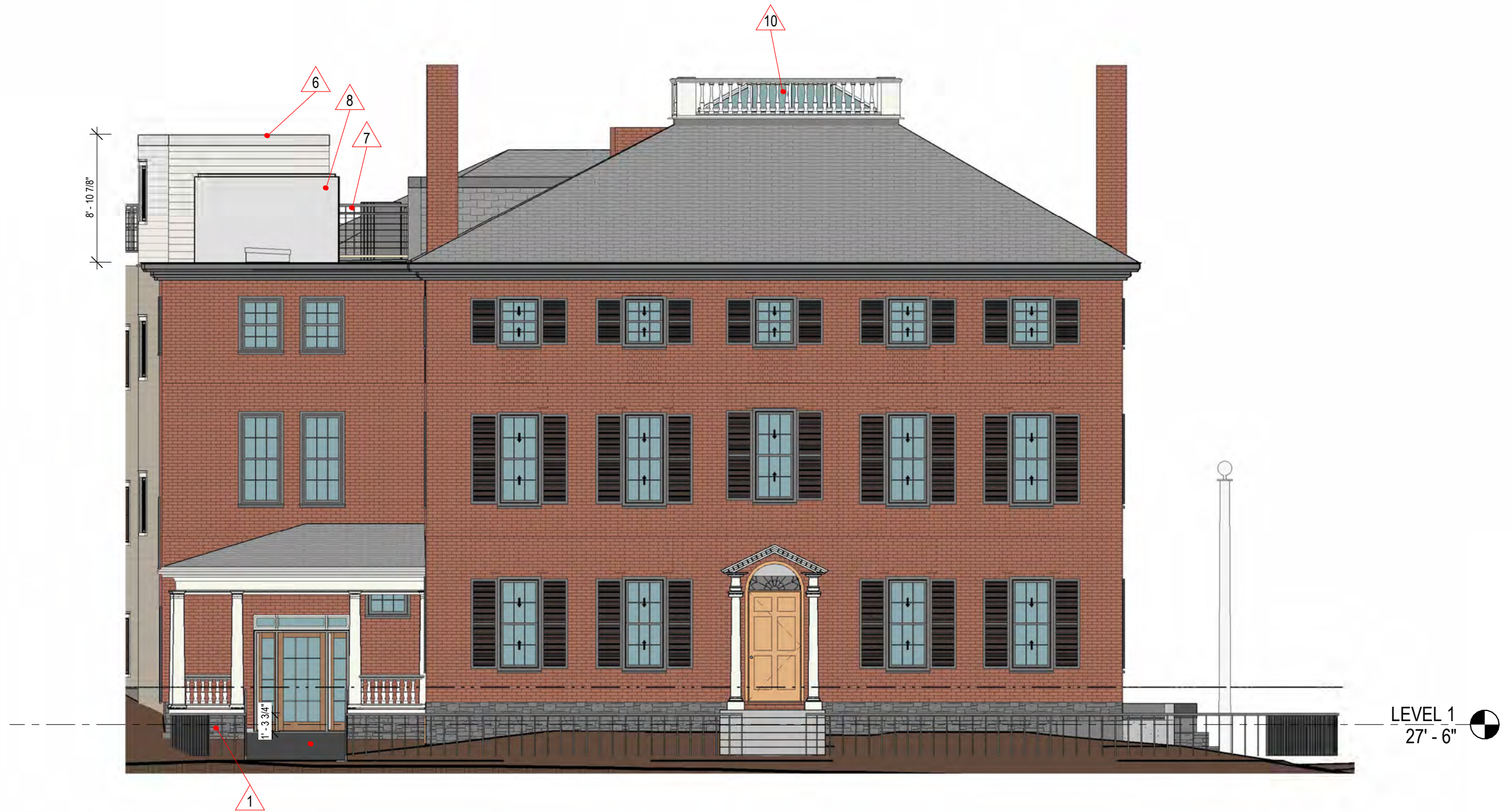


PROPOSED

P1.9 PERSPECTIVE VIEW - SE  
93 PLEASANT STREET

4/14/2022





Revision Schedule			
Revision Sequence	Revision Number	Revision Description	Revision Date
1	1	Provide accessible entry ramp at existing Pleasant Street side porch. Lower porch floor and new entry door. Remove gate at sidewalk. PROVIDE ACCESSIBLE ENTRY RAMP AT EXISTING PLEASANT STREET SIDE PORCH. Ramp	4.14.22
6	6	Shifted location of elevator over run, extend rear fire stair up to roof deck.	4.14.22
7	7	Provide railing at new roof deck and roof top equipment.	4.14.22
8	8	Locate rooftop mechanical requiment as shown.	4.14.22
10	10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22

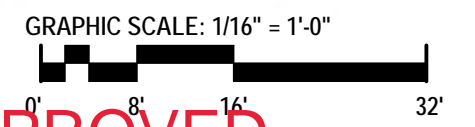
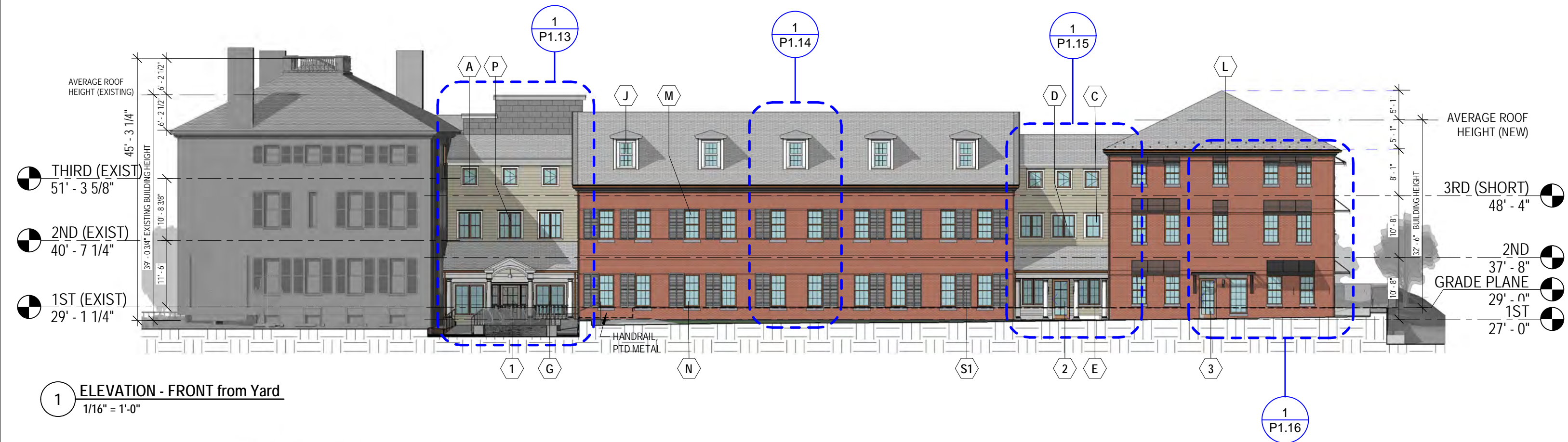
1 ELEVATION FRONT - PLEASANT ST - HDC  
1/8" = 1'-0"

**PROPOSED**

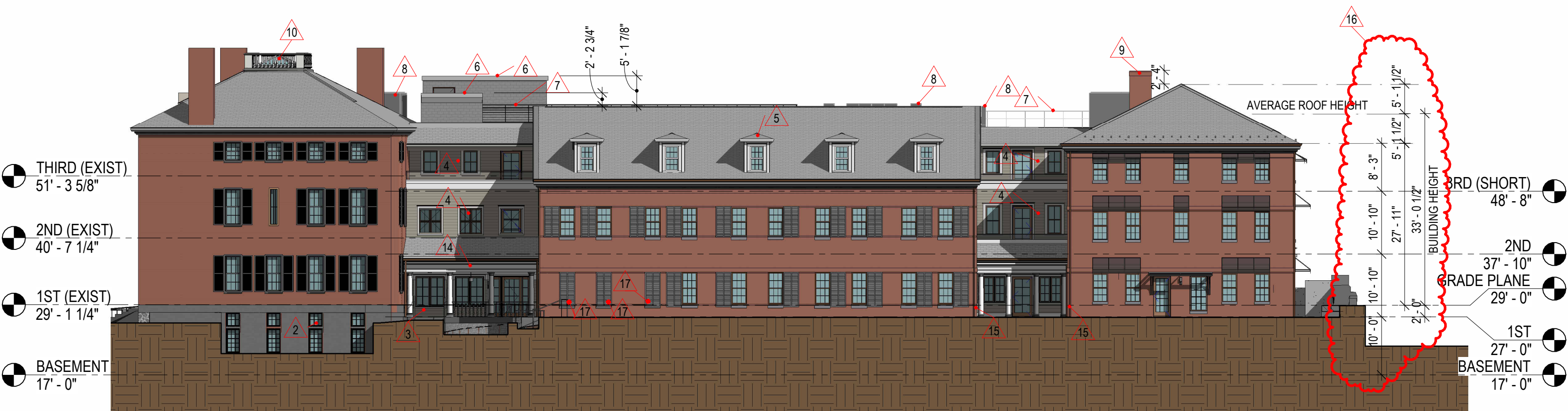
**P1.10A ELEVATION - FRONT, PLEASANT STREET**  
**93 PLEASANT STREET**

HDC REVISION 1  
04/14/2022









Revision Schedule		
Revision Number	Revision Description	Revision Date
2	Replace & lower existing basement windows, with expanded and lowered window well..	4.14.22
3	Replace Court Street new porch entry ramp with steps and walkway.	4.14.22
4	Provide recessed balconies above new porch additions at 2nd and 3rd floors with revised windows and porch doors.	4.14.22
5	Move new gable dormers slightly closer and lower to eave line.	4.14.22
6	Shifted location of elevator over run, extend rear fire stair up to roof deck.	4.14.22
7	Provide railing at new roof deck and roof top equipment.	4.14.22
8	Locate rooftop mechanical equipment as shown.	4.14.22
9	Add brick chimney at new addition for exhaust ventilation.	4.14.22
10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22
14	Porch Arched Pediment removed	4.14.22
15	Revise intermediate wall dimensions	4.14.22
16	Raise 2nd & 3rd floor levels by 2" each. Lowered east ridge by 4" and average roof height by 2-1/4".	4.14.22
17	Replace windows with louvers to match closed shutters	4.14.22

P1.10

PROPOSED

ELEVATION - FRONT  
93 PLEASANT STREET

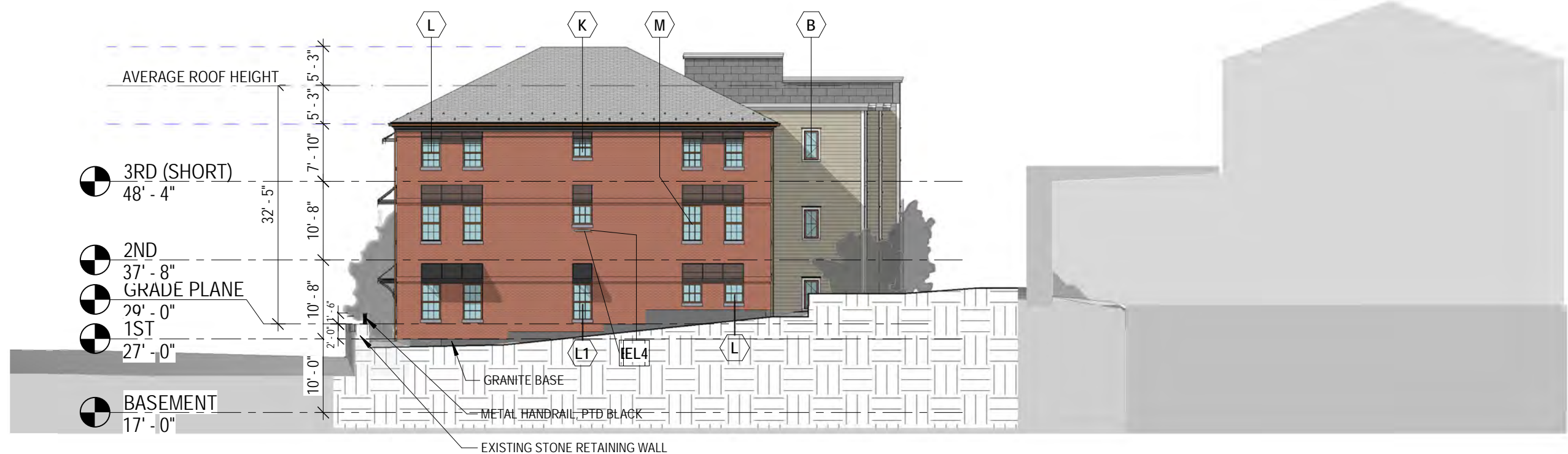
HDC REVISION 1  
4/14/2022

GRAPHIC SCALE: 1/16" = 1'-0"



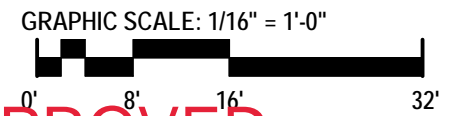
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1 **HDC ELEVATION - SIDE**  
1/16" = 1'-0"

EXTERIOR LIGHTING LEGEND	
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT



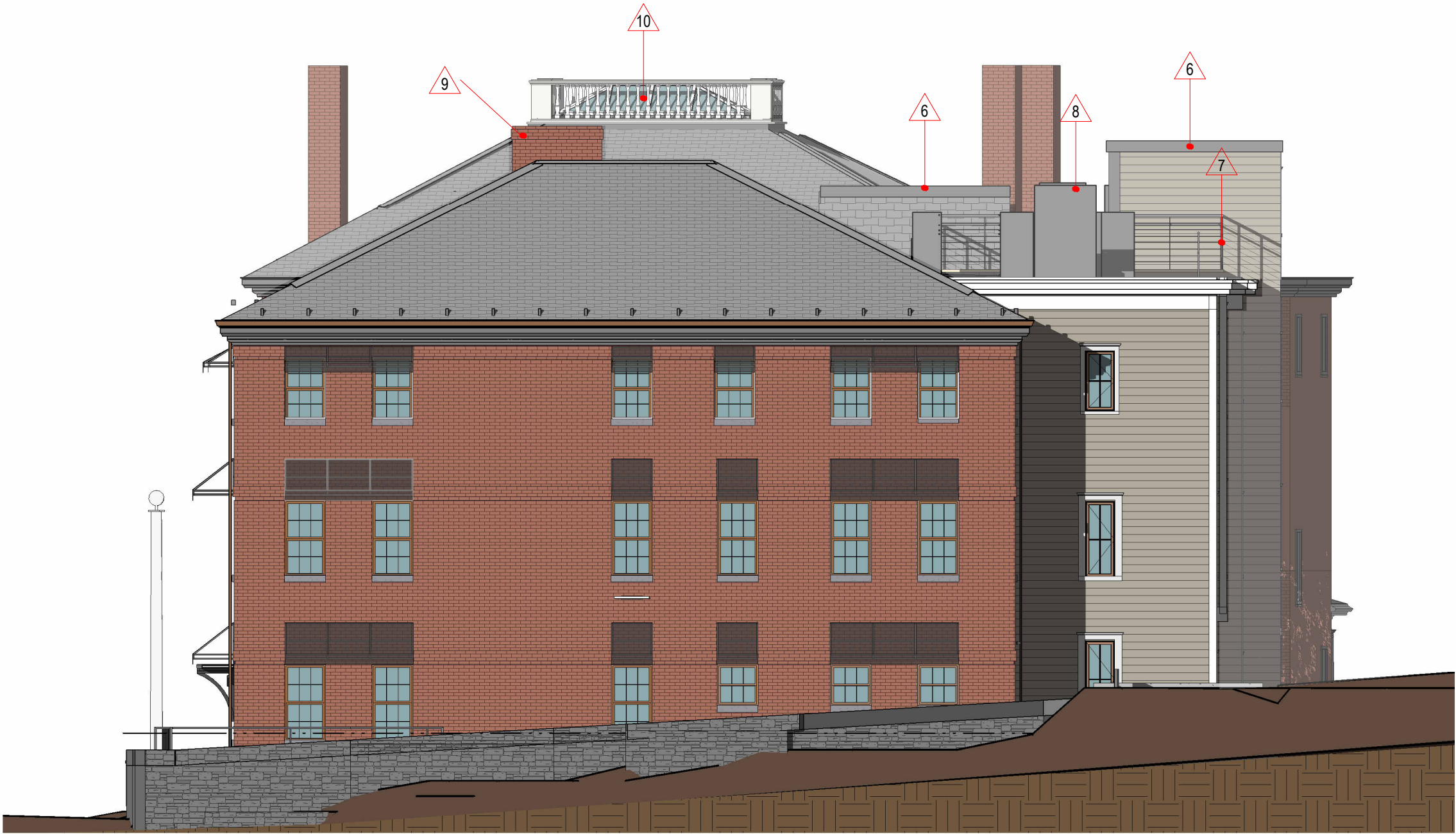
P1.11

**AS PREVIOUSLY APPROVED**  
**ELEVATION - SIDE**  
93 PLEASANT STREET  
HDC October 28, 2021



EXTERIOR LIGHTING LEGEND	
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT

Revision Schedule		
Revision Number	Revision Description	Revision Date
6	Shifted location of elevator over run, extend rear fire stair up to roof deck.	4.14.22
7	Provide railing at new roof deck and roof top equipment.	4.14.22
8	Locate rooftop mechanical equipment as shown.	4.14.22
9	Add brick chimney at new addition for exhaust ventilation.	4.14.22
10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22

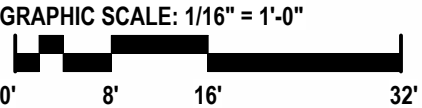


PROPOSED

P1.11

ELEVATION - SIDE  
93 PLEASANT STREET

HDC REVISION 1  
4/14/2022



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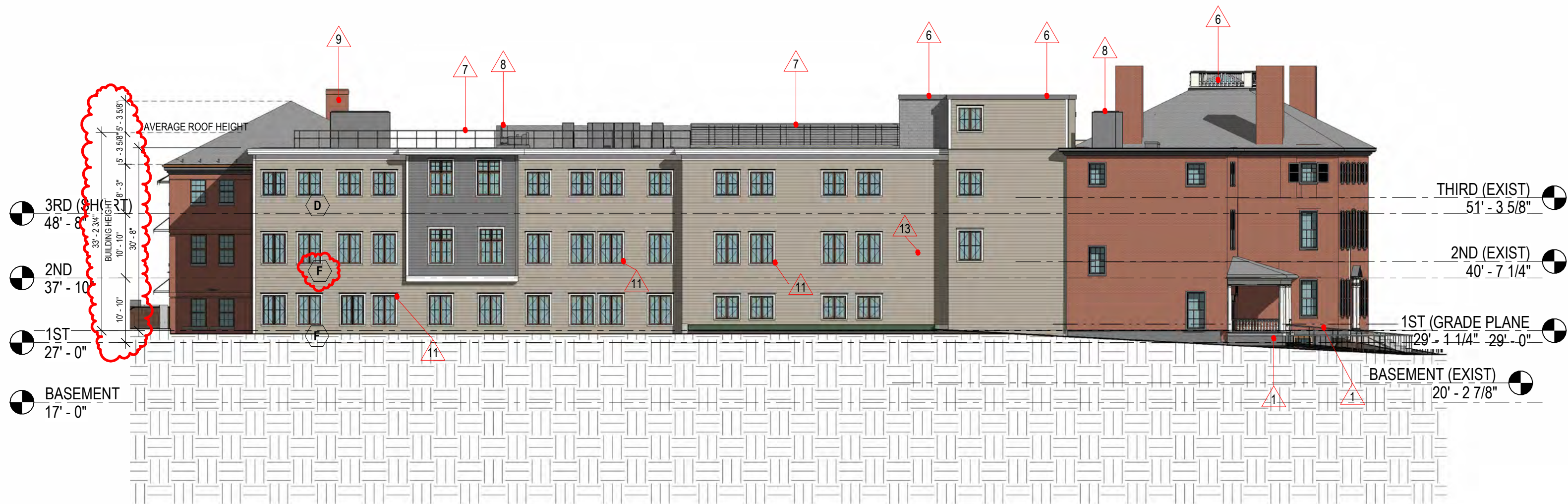
1 HDC ELEVATION - REAR  
1/16" = 1'-0"

EXTERIOR LIGHTING LEGEND	
EL1	EXTERIOR LIGHTING - WALL SCONCE
EL2	EXTERIOR LIGHTING - HANGING LIGHT
EL3	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
EL4	EXTERIOR LIGHTING - EMERGENCY LIGHT

P1.12

AS PREVIOUSLY APPROVED  
ELEVATION - REAR

93 PLEASANT STREET  
HDC October 28, 2021



Revision Schedule			
Revision Sequence	Revision Number	Revision Description	Revision Date
1	1	Provide accessible entry ramp at existing Pleasant Street side porch. Lower porch floor and new entry door. Remove gate at sidewalk. PROVIDE ACCESSIBLE ENTRY RAMP AT EXISTING PLEASANT STREET SIDE PORCH. Ramp	4.14.22
6	6	Shifted location of elevator over run, extend rear fire stair up to roof deck.	4.14.22
7	7	Provide railing at new roof deck and roof top equipment.	4.14.22
8	8	Locate rooftop mechanical requiment as shown.	4.14.22
9	9	Add brick chimney at new addition for exhaust ventilation.	4.14.22
11	11	At rear facade, shift window locations slightly, remove west protruding bay behind retaining wall.	4.14.22
13	13	Windows removed at rear elevations	4.14.22
16	16	Raise 2nd & 3rd floor levels by 2" each, and eastern portion of roof eave by 2.5" (total adjustment = 6.5")	Date 16

P1.12

PROPOSED

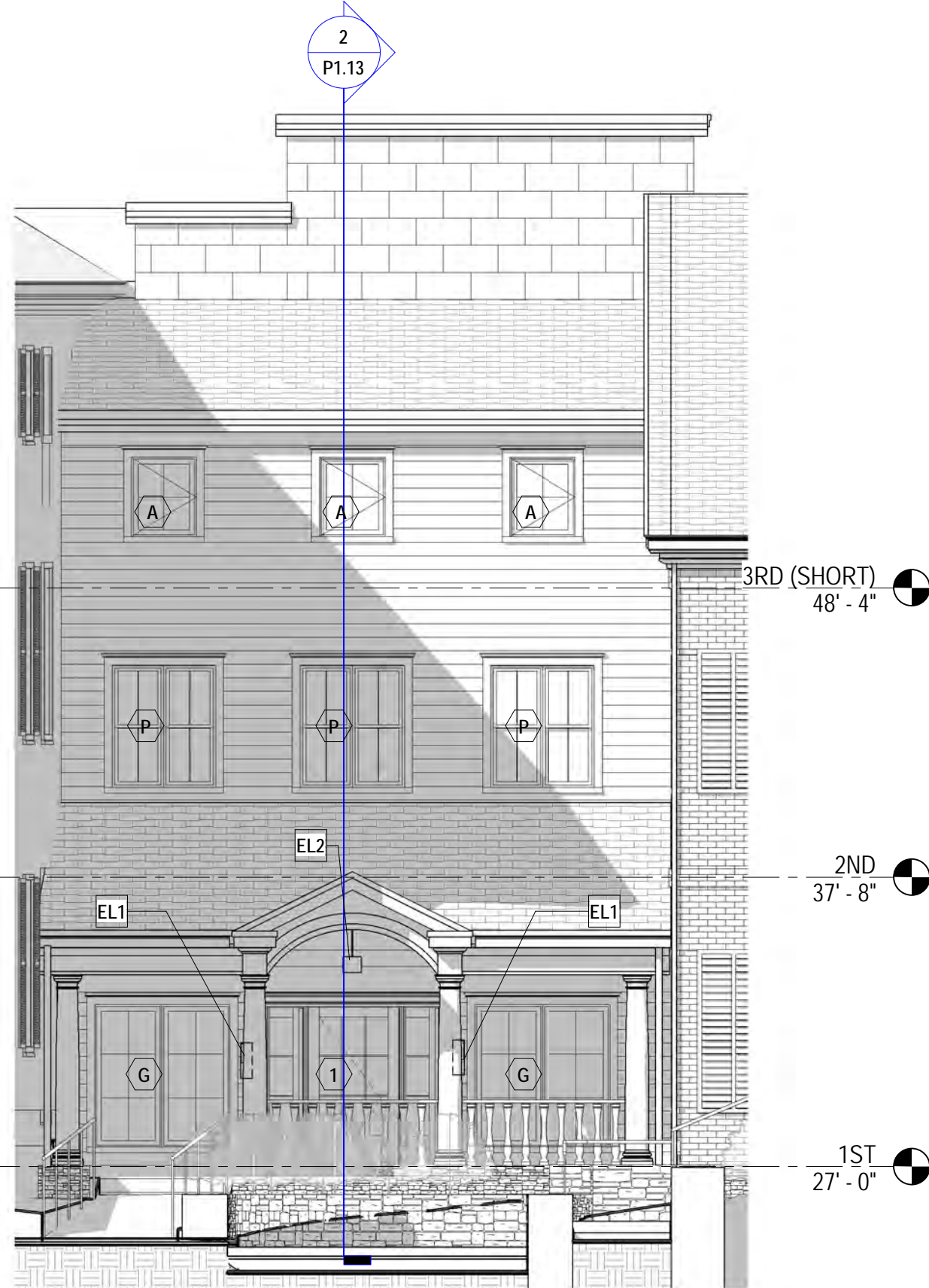
ELEVATION - REAR  
93 PLEASANT STREET

HDC REVISION 1  
04/14/2022

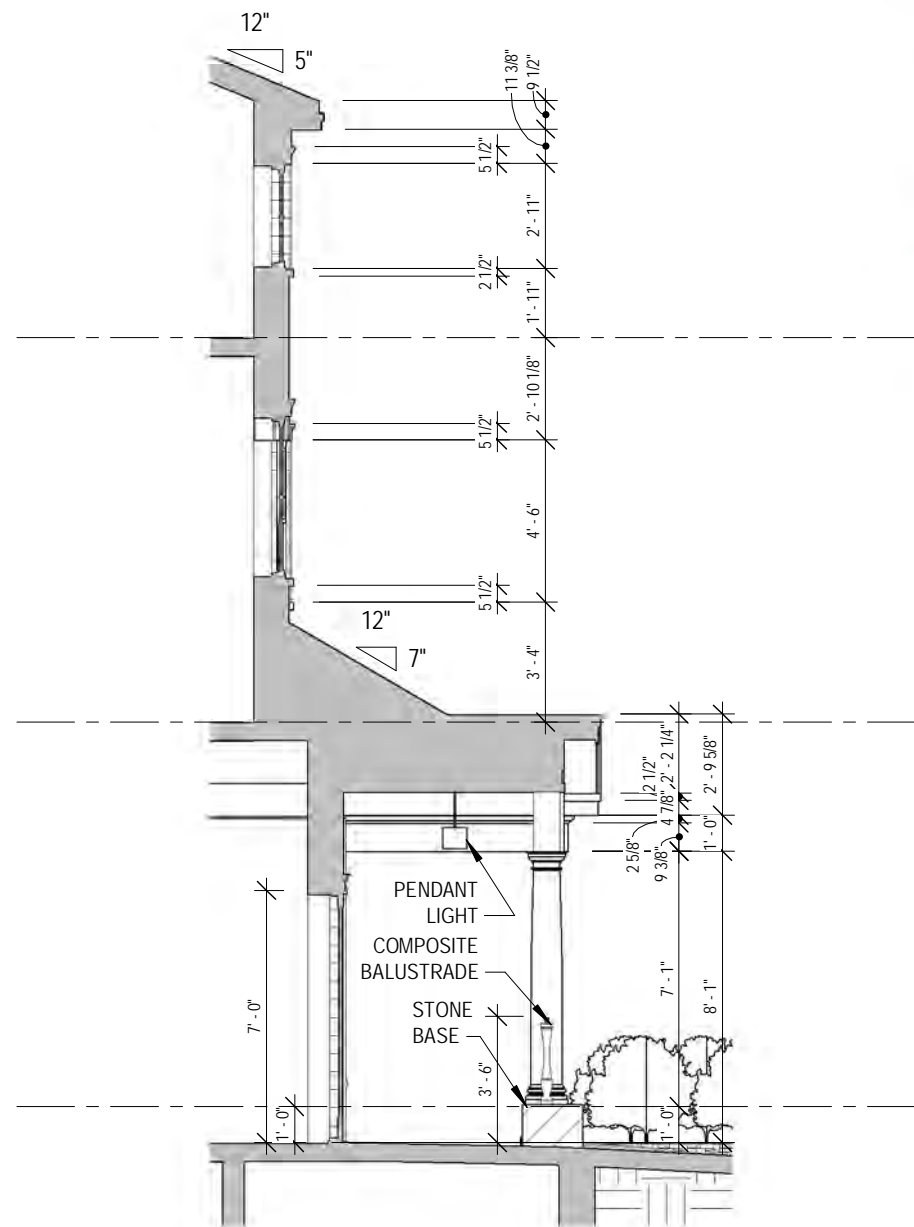
GRAPHIC SCALE: 1/16" = 1'-0"







1 HDC ELEVATION - FRONT - WEST PORCH  
3/16" = 1'-0"

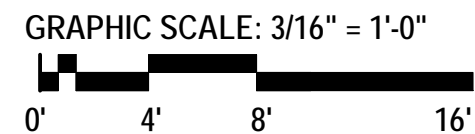


2 HDC SECTION - THROUGH WEST PORCH  
3/16" = 1'-0"



ELEVATION LEGEND	
	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

EXTERIOR LIGHTING LEGEND	
	EL1 EXTERIOR LIGHTING - WALL SCONCE
	EL2 EXTERIOR LIGHTING - HANGING LIGHT
	EL3 EXTERIOR LIGHTING - SOFFIT COVE LIGHT
	EL4 EXTERIOR LIGHTING - EMERGENCY LIGHT

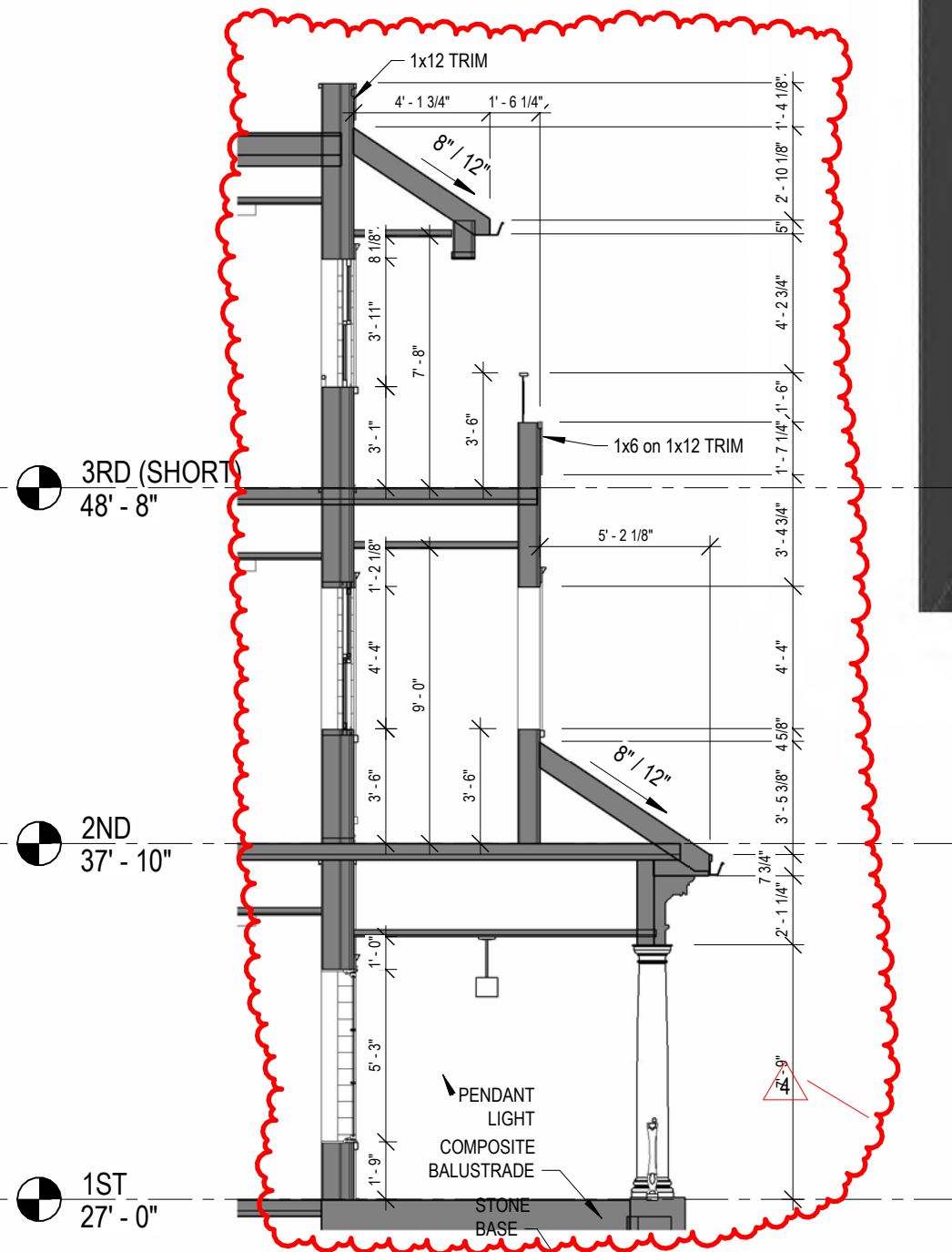
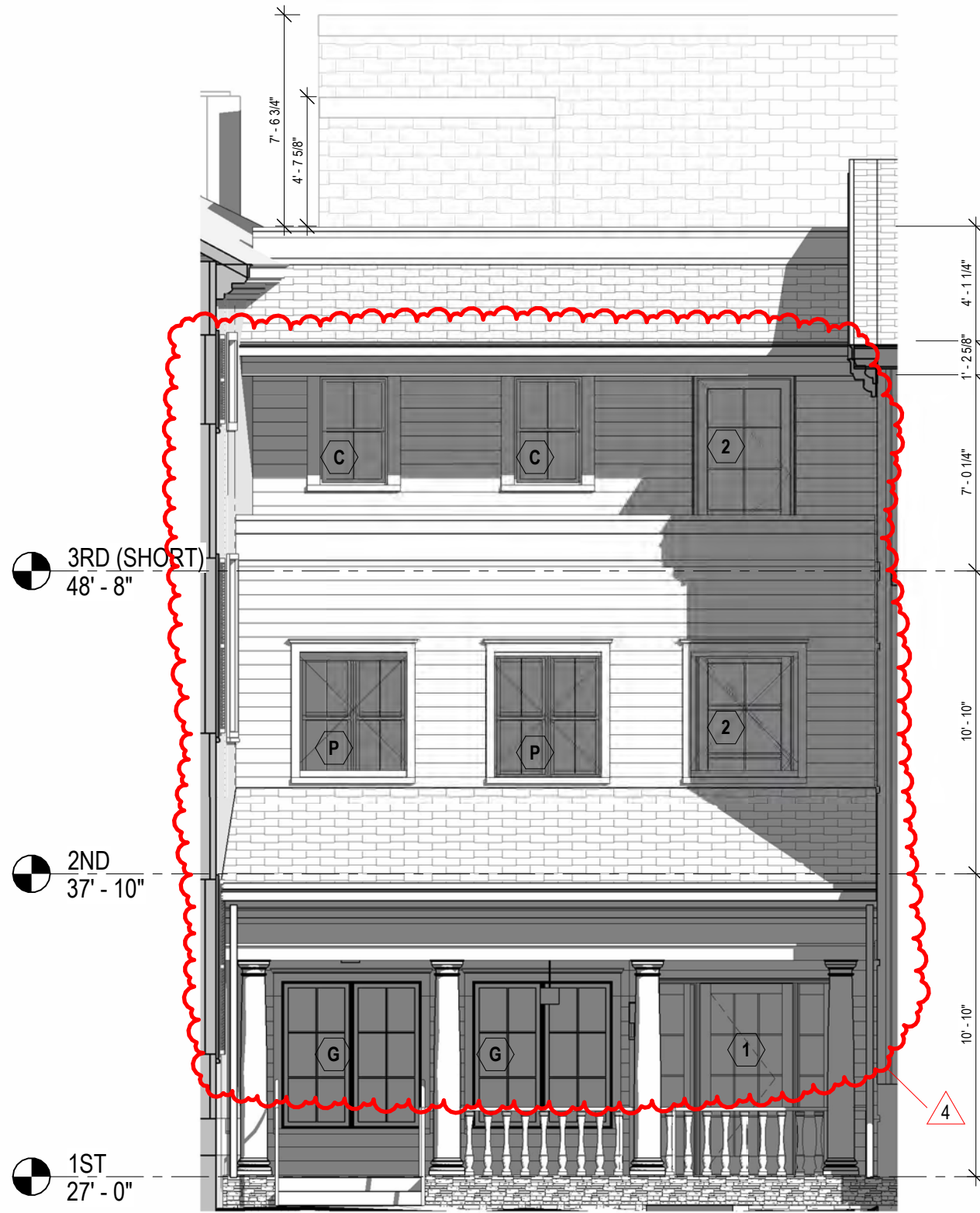


P1.13

**AS PREVIOUSLY APPROVED**  
**PARTIAL EXTERIOR ELEVATIONS**

93 PLEASANT STREET  
HDC October 28, 2021

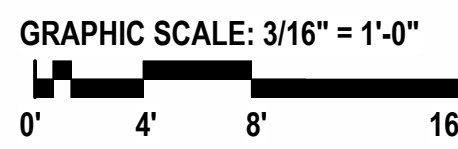




ELEVATION LEGEND	
	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

EXTERIOR LIGHTING LEGEND	
	EXTERIOR LIGHTING - WALL SCENCE
	EXTERIOR LIGHTING - HANGING LIGHT
	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
	EXTERIOR LIGHTING - EMERGENCY LIGHT

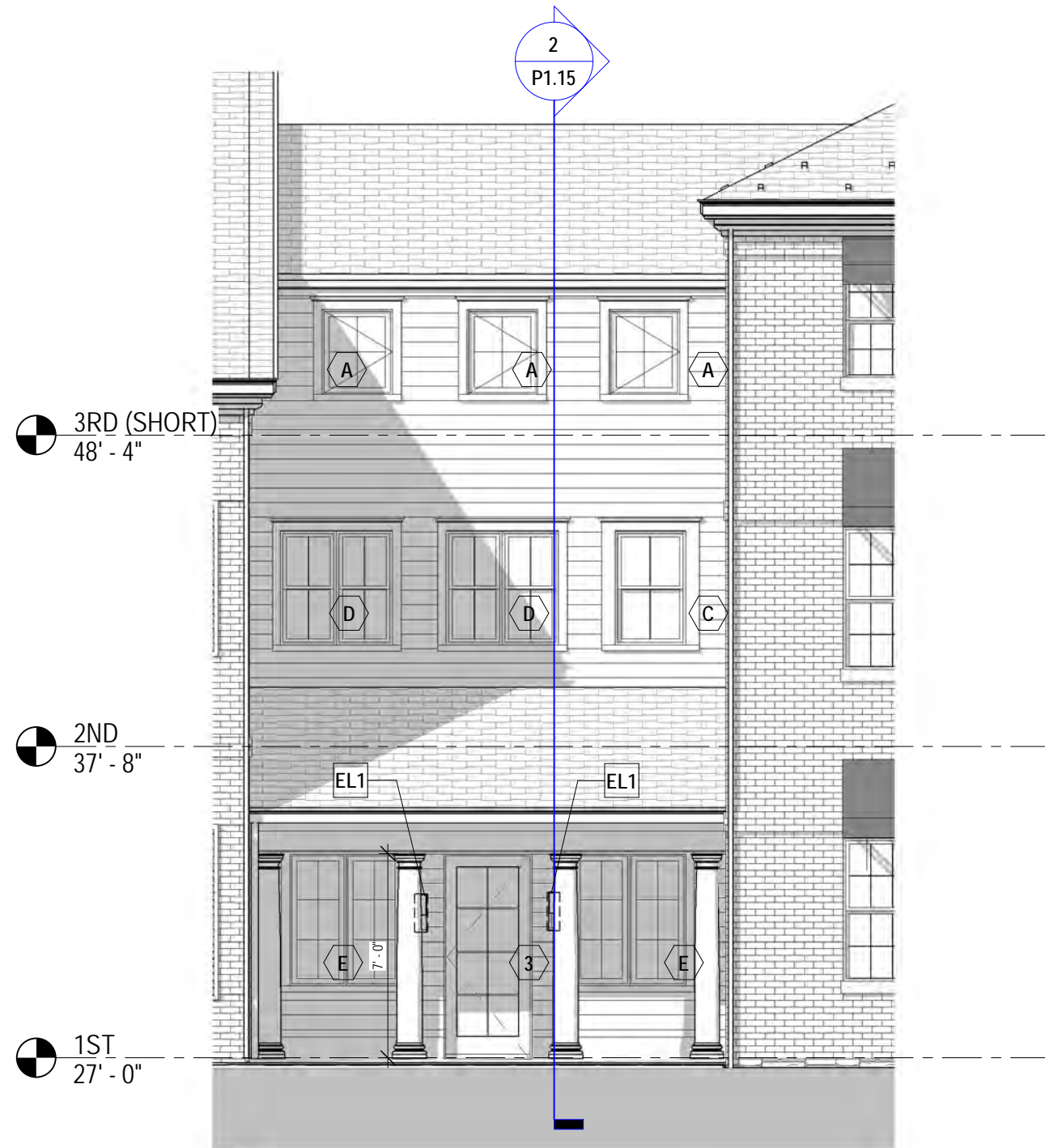
Revision Schedule		
Revision Number	Revision Description	Revision Date
4	Provide recessed balconies above new porch additions at 2nd and 3rd floors with revised windows and porch doors.	4.14.22



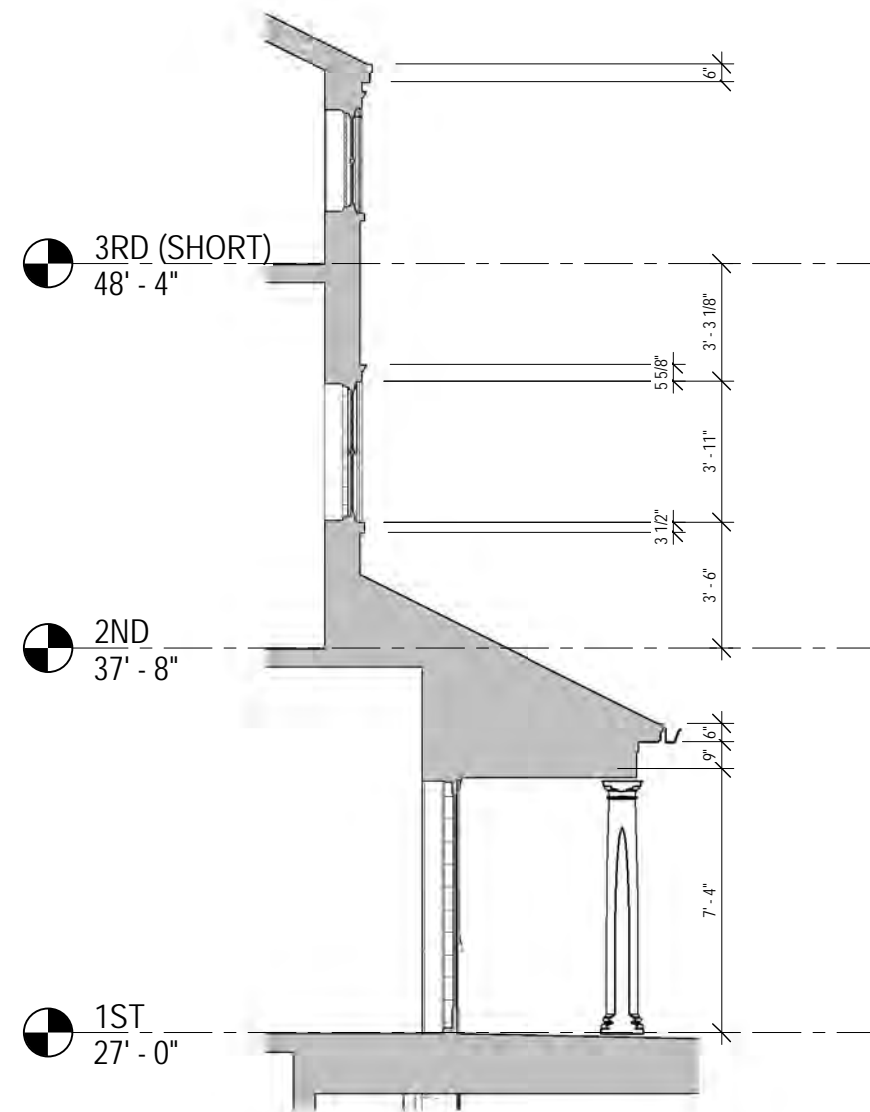
**P1.13** **PROPOSED**  
**PARTIAL EXTERIOR ELEVATIONS**  
**93 PLEASANT STREET**  
 HDC REVISION 1  
 4/14/2022







1 HDC ELEVATION - FRONT - NEW SIDE ENTRY  
3/16" = 1'-0"



2 HDC SECTION - THROUGH SIDE ENTRY  
3/16" = 1'-0"



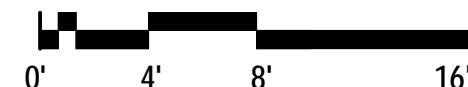
#### ELEVATION LEGEND

	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

#### EXTERIOR LIGHTING LEGEND

	EXTERIOR LIGHTING - WALL SCONCE
	EXTERIOR LIGHTING - HANGING LIGHT
	EXTERIOR LIGHTING - SOFFIT COVE LIGHT
	EXTERIOR LIGHTING - EMERGENCY LIGHT

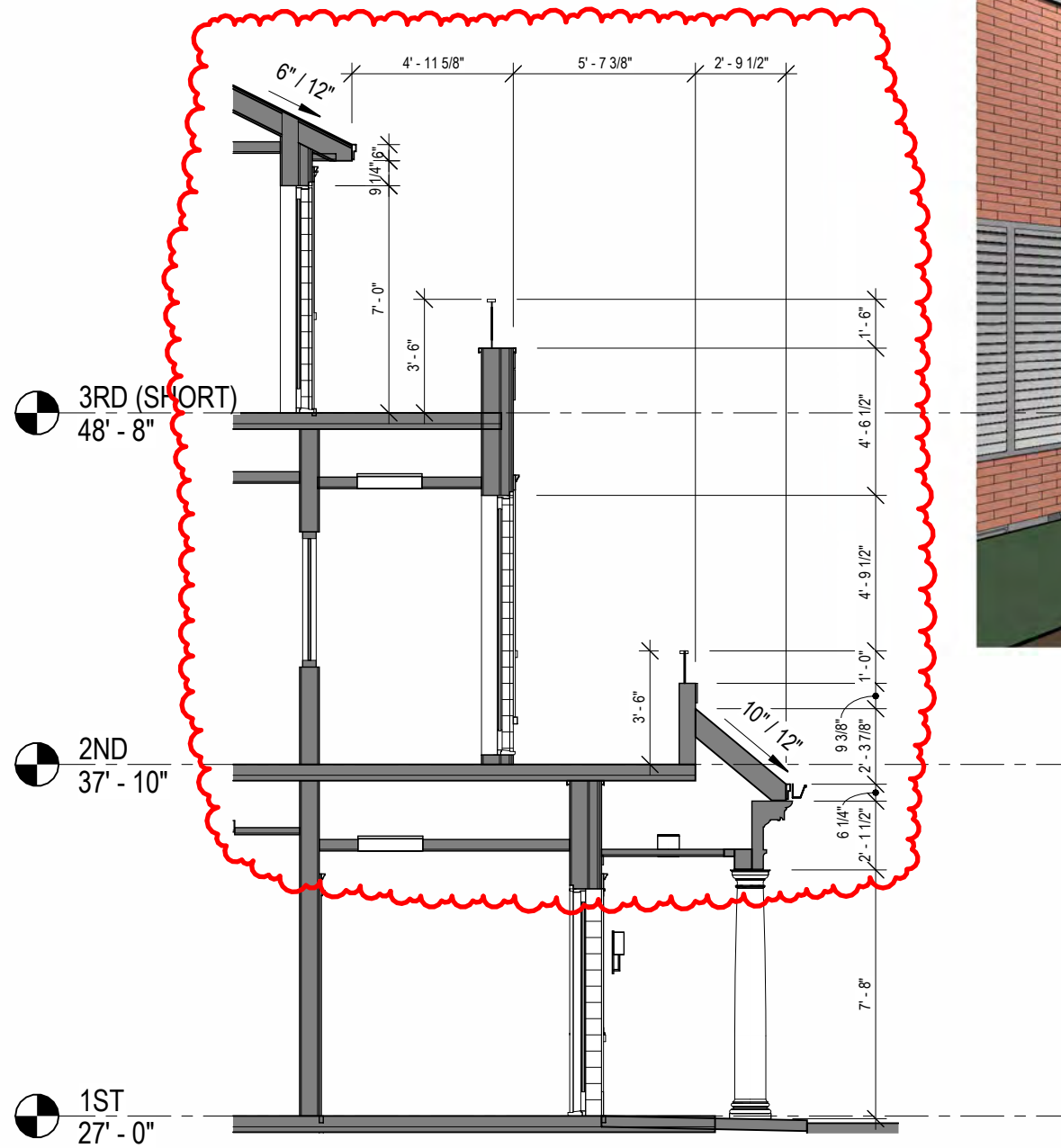
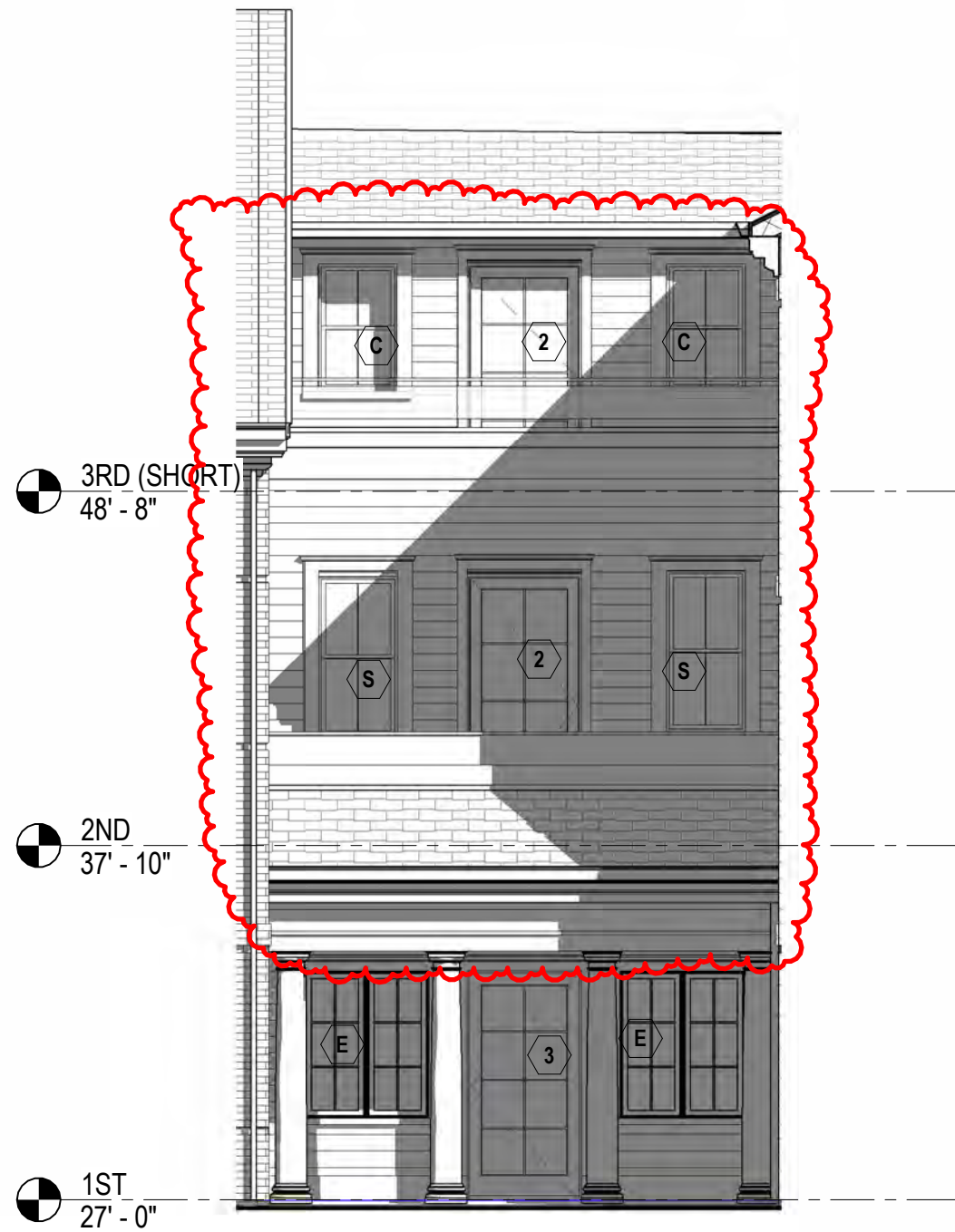
GRAPHIC SCALE: 3/16" = 1'-0"



P1.15

**AS PREVIOUSLY APPROVED**  
**PARTIAL EXTERIOR ELEVATIONS**

93 PLEASANT STREET  
HDC October 28, 2021



ELEVATION LEGEND	
	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

EXTERIOR LIGHTING LEGEND	
	EL1 EXTERIOR LIGHTING - WALL SCONCE
	EL2 EXTERIOR LIGHTING - HANGING LIGHT
	EL3 EXTERIOR LIGHTING - SOFFIT COVE LIGHT
	EL4 EXTERIOR LIGHTING - EMERGENCY LIGHT

**1 PARTIAL ELEVATION - COURT ST PORCH EAST HDC**  
3/16" = 1'-0"

**2 SECTION THROUGH COURT ST PORCH EAST HDC**  
3/16" = 1'-0"

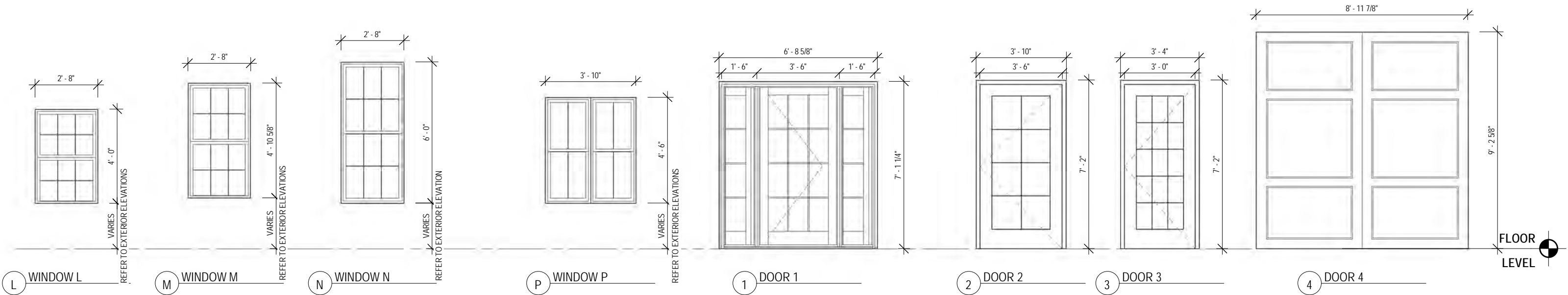
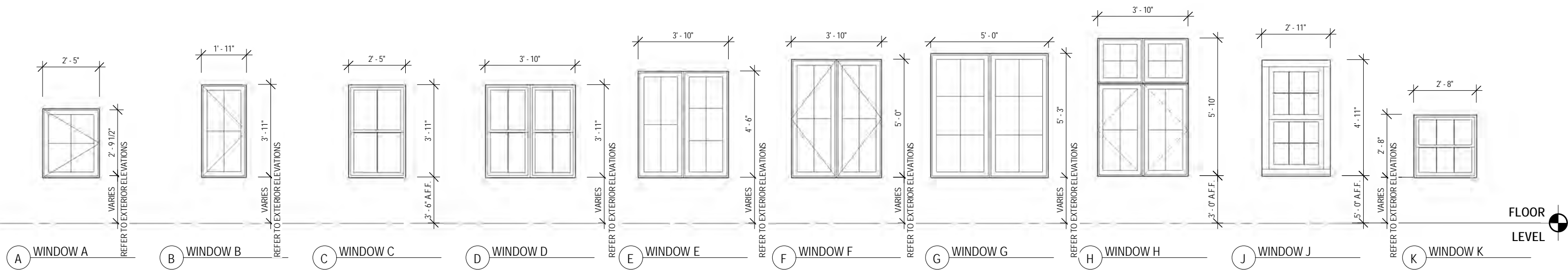
Revision Schedule		
Revision Number	Revision Description	Revision Date
4	Provide recessed balconies above new porch additions at 2nd and 3rd floors with revised windows and porch doors.	4.14.22



**P1.15** **PROPOSED**  
**PARTIAL EXTERIOR ELEVATIONS**  
**93 PLEASANT STREET**  
HDC REVISION 1  
4/14/2022





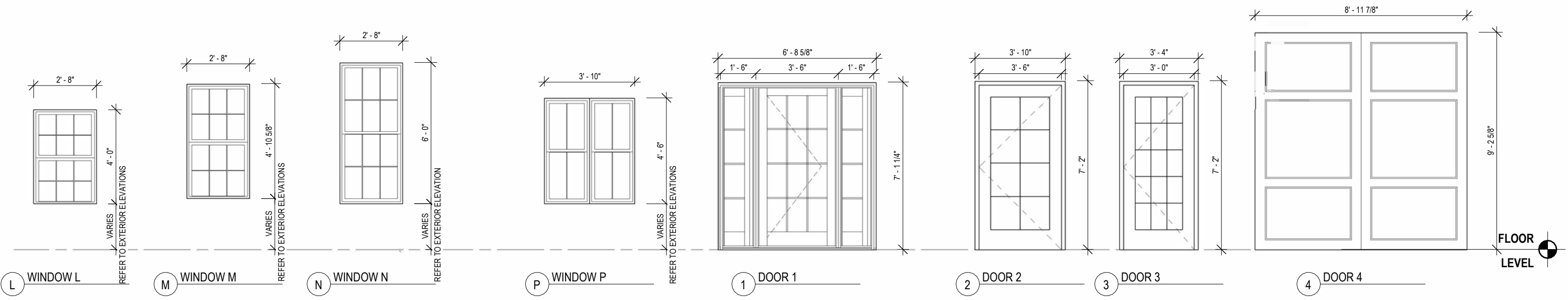
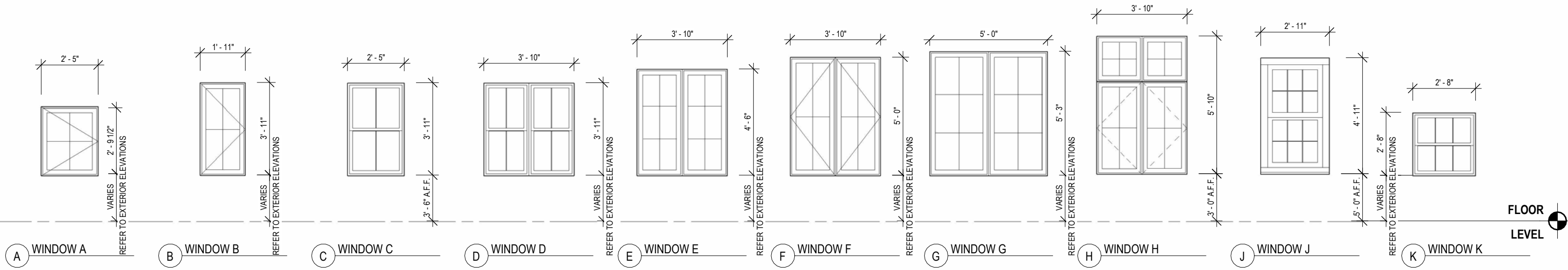


**AS PREVIOUSLY APPROVED**

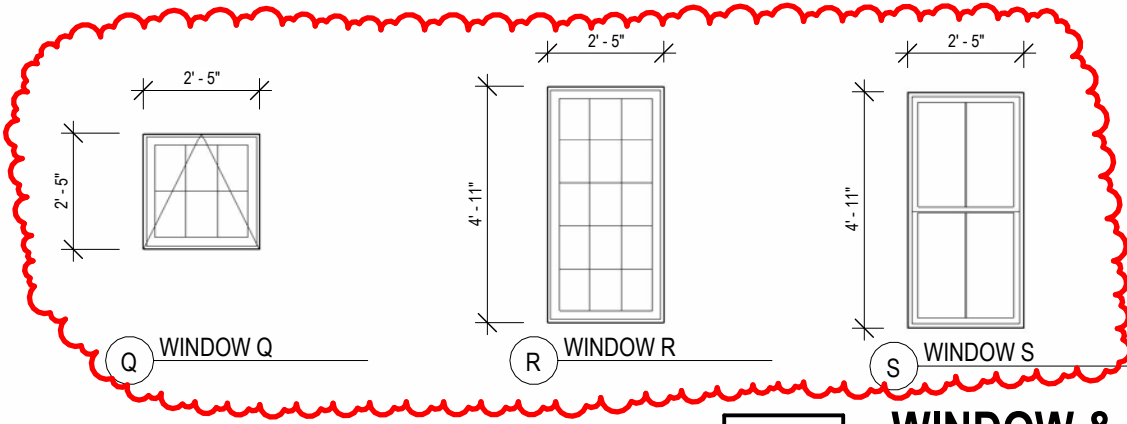
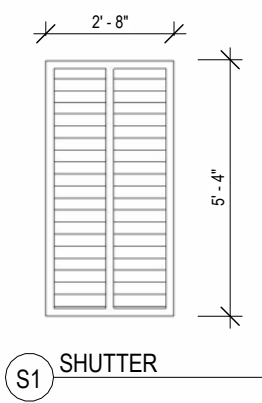
**P1.18**

## WINDOW & DOOR TYPES

93 PLEASANT STREET  
HDC October 28, 2021



Revision Schedule		
Revision Number	Revision Description	Revision Date
4	Provide recessed balconies above new porch additions at 2nd and 3rd floors with revised windows and porch doors.	4.14.22



**PROPOSED**



element	material	manufacturer/model	finish/color
brick	water struck	Morin Brick	royalriver narrow flash range, nb
masonry sills & trim	granite		to match existing building (concord gray?)
siding	composite polyash    clapboards	Boral TruExterior	
trim	composite polyash	Boral TruExterior	
roofing	synthetic slate	Eco-star, Empire slate	smoke
	alum clad wood: pella or lepage; or fiberglass clad wood:		
windows	kolbe. Doulbe hung & casement		
doors	kawneer		
shutters	aluminum sliding plantation shutters	Two-USA, Weatherwell Aluminum Shutters	painted black
		Frame: Gobal Industrian; Awnteck H23-6K ; perf metal -	
		McNichols, 16890016 McNICHOLS® Perforated Metal	
		Designer Perforated, Slotted, AIRLINE 1468, Aluminum, Alloy	
		3003-H14, .0630" Thick (14 Gauge), 1-1/2" x 1/4" Square-End	
		Slot, Straight Centers, 68% Open Area	painted black
awnings	perforated aluminum panel on steel frame		
	corrugated metal decking on steel frame with curved steel		
canopy& brackets (@ garage door & entry)	brackets	General Awnings, Imperial Marquee; W-shaped panels	painted black
snow guards	brass cleats		
gutters & downspouts	copper		
Hipped pyramid skylight	insulated glass; painted alumimum frame	Wasco by Velux, custom	frame - slate gray
MECHANICAL GUARD RAIL AT ROOF EQUIPMENT	steel pipe rail, painted	custom	slate gray
GUARDRAIL AT ROOF DECK	steel posts & rails, painted; stainless steel cables	Trex Commercial Tensiline	frame - black

10

7

Revision Schedule			
Revision Sequence	Revision Number	Revision Description	Revision Date
7	7	Provide railing at new roof deck and roof top equipment.	4.14.22
10	10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22

PROPOSED

P1.19

MATERIALS  
93 PLEASANT STREET

HDC REVISION 1  
04/14/2022





7

Tensiline™ Cable Railing

Mounting Options

Top Mount (Custom Options Available)



Fascia Mount (Custom Options Available)



7008 Northland Drive, Suite 150 Minneapolis, Minnesota 55428 p: 1-877-215-7245 w: trexcommercial.com  
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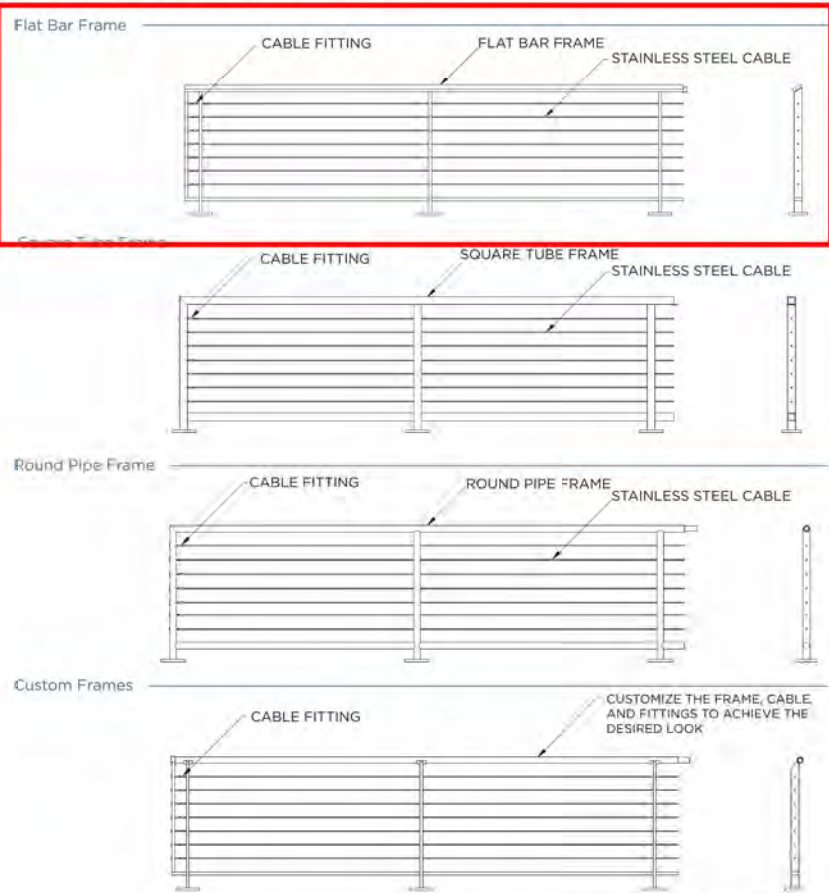


Revision Schedule			
Revision Sequence	Revision Number	Revision Description	Revision Date
7	7	Provide railing at new roof deck and roof top equipment.	4.14.22
10	10	Replace existing roof access scuttle behind widow's walk railing with skylight.	4.14.22

10

Tensiline™ Cable Railing

Frame Configurations (Custom Available)



7008 Northland Drive, Suite 150 Minneapolis, Minnesota 55428 p: 1-877-215-7245 w: trexcommercial.com  
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10

SEMI-CUSTOM STRUCTURAL CLASSIC SERIES

Quality Structural Skylights for Commercial Daylighting

VELUX®

Commercial



Classic meets modern in this semi-custom structural skylight system. The Classic Series Skylight is pre-engineered with a lightweight metal-frame to provide enduring strength and durability. Offered in multiple pyramid configurations and three standard pitches, these unique skylights provide easy installation and long-lasting beauty.

Features and Benefits:

- Double-pitch, extended, octagonal and square pyramid configurations
- Available in unlimited finishes, including anodized and paint coatings
- Energy-efficient with fully thermally broken frame
- Pre-welded frames for faster, easier installation
- Capable of spanning up to eight feet wide and available in three standard pitches: 5:12, 7:12, and 12:12
- Shipping options available for pre-assembled and pre-glazed skylights
- Condensation control with integral gutters to expel water to the exterior
- Beautiful inside and out with hidden fasteners for a sleek, clean design
- Includes glass or polycarbonate glazing options for lightweight, durable and energy-efficient design
- Five-year warranty on workmanship and glazing and up to 20-year coverage on finish

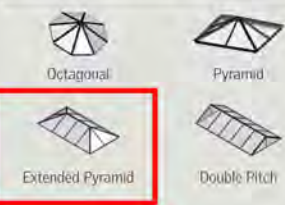
Code Compliance:

- Meets IECC/IBC/IRC/FBC/Title 24 requirements for energy and building code compliance
- Florida Product Approved (pyramid configuration)

Ideal Applications:



Configurations:



commercial.veluxusa.com

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VELUX®, VELUX logo are registered trademarks

PROPOSED

P1.19B

MATERIALS  
93 PLEASANT STREET

HDC REVISION 1  
04/14/2022





**LU-22-108**

## Land Use Application

**Status:** Active**Date Created:** May 14, 2022**Applicant**

Sharmila Patel  
sendittosharmila@gmail.com  
67 Gates Street  
Portsmouth, NH 03801  
603-817-0450

**Location**

67 GATES ST  
Portsmouth, NH 03801

**Owner:**

PATEL SHARMILA & GOLDSMITH JACOB  
67 GATES ST PORTSMOUTH, NH 03801

**Applicant Information****Please indicate your relationship to this project**

A. Property Owner

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☒

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

☐

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

☐

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

☐

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

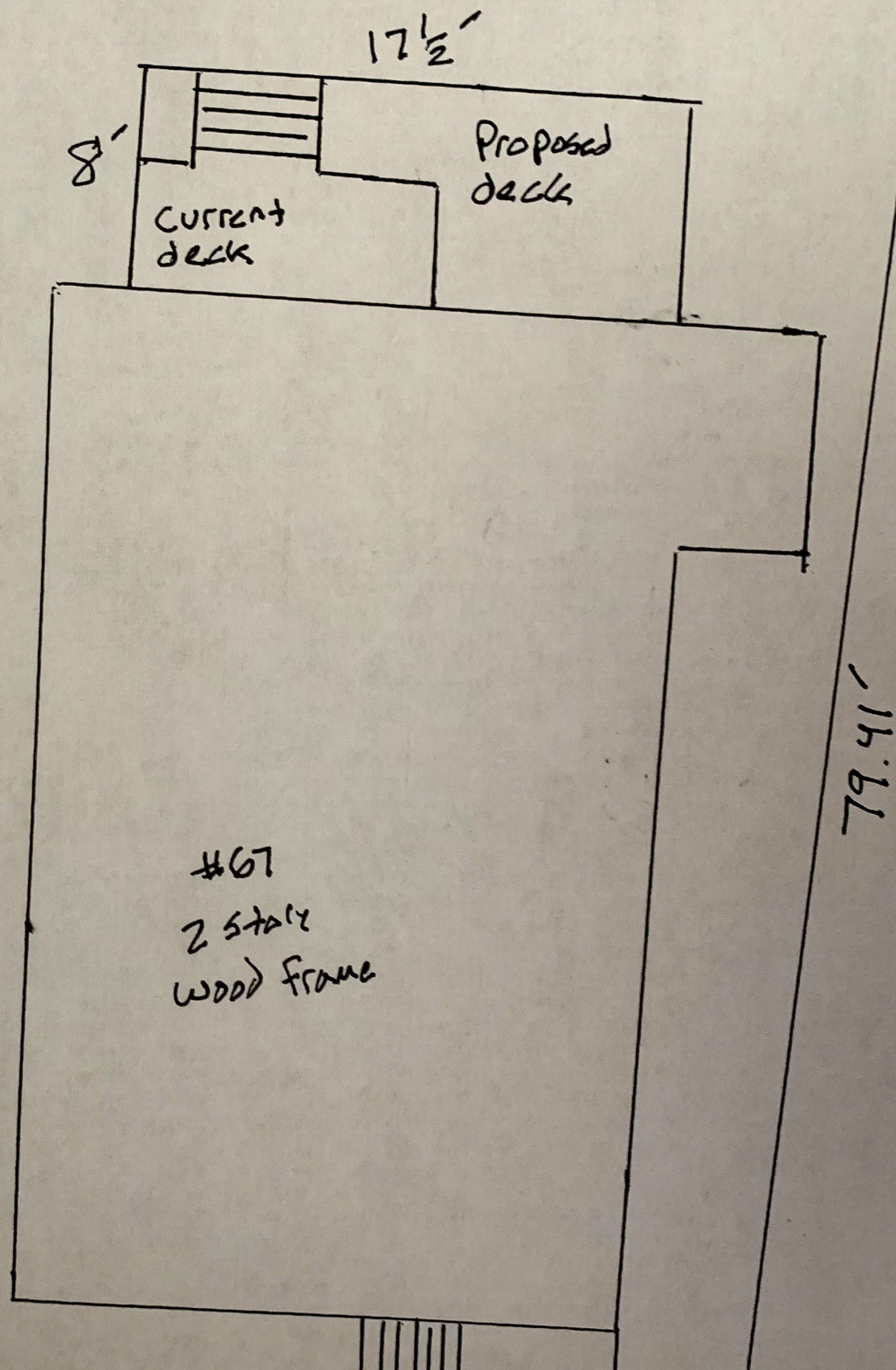
☐

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☐

**Request for Extension of Previously Granted Land Use Approval**

78.17'



17 1/2'

8'

current  
deck

Proposed  
deck

#67  
2 story  
wood frame

79.41'

























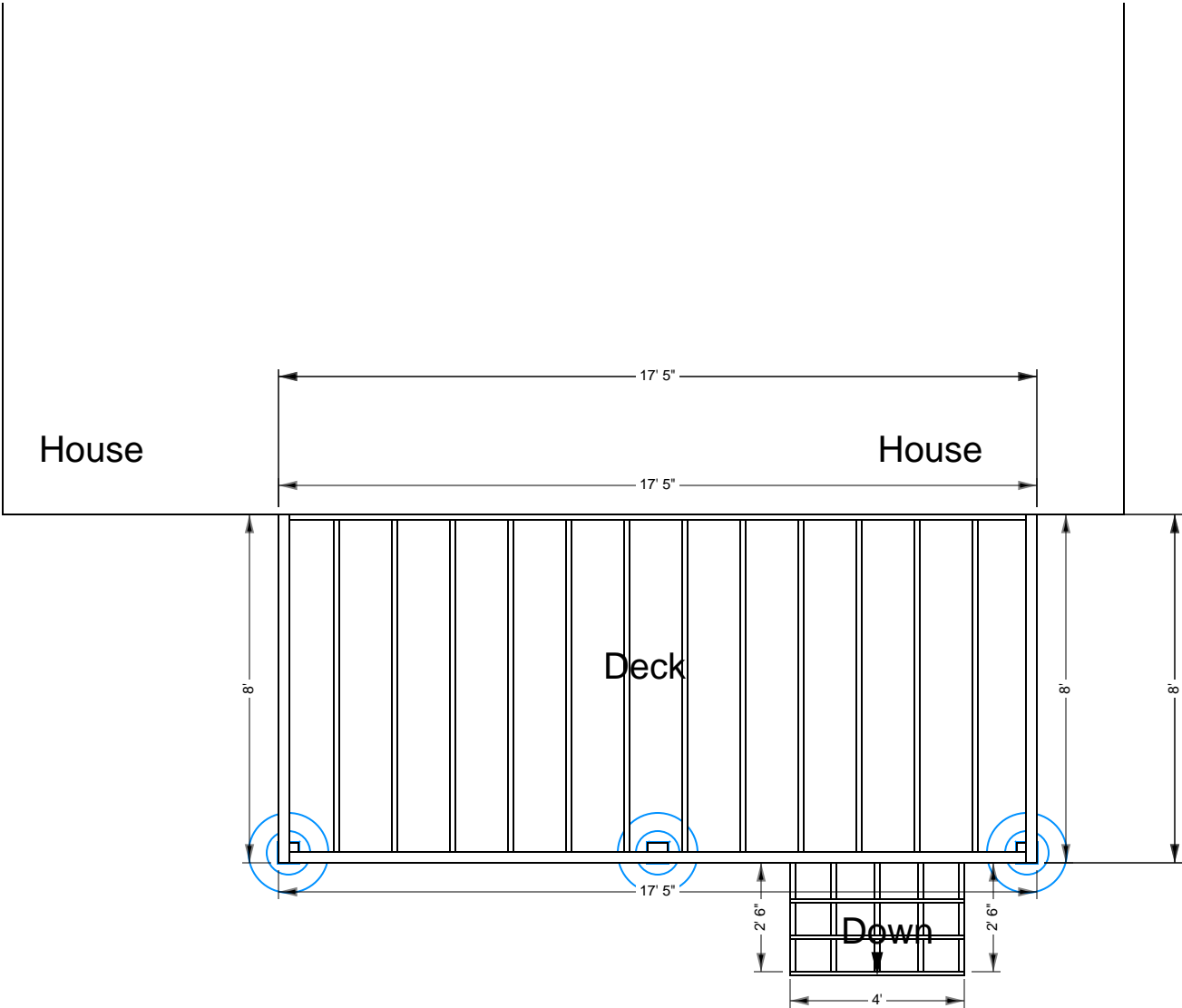


SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

BASED ON THE INTERNATIONAL RESIDENTIAL CODE

STAIRWAY ILLUMINATION: ALL EXTERIOR STAIRWAYS SHALL BE ILLUMINATED AT THE TOP LANDING TO THE STAIRWAY. ILLUMINATION SHALL BE CONTROLLED FROM INSIDE THE DWELLING OR AUTOMATICALLY ACTIVATED.

DISCLAIMER: THIS PLAN IS NOT CONSIDERED COMPLETE UNLESS APPROVED BY YOUR BUILDING INSPECTOR OR STRUCTURAL ENGINEER. BUILDER ACCEPTS ALL RESPONSIBILITY AND LIABILITY. DECKS.COM LLC AND ASSOCIATED SPONSORS ACCEPT NO LIABILITY FOR THE USE OF THIS PLAN.



Total Depth: 48  
Base Diameter: 22  
Pier Diameter: 12

Footings to be installed to 48" depth as is required by your local building ordinance. Frost footing sizes based on 55 lbs per square foot tributary loads applied to 1500 psi soil compression capacity (assumed clay soil). See footing detail in deck construction guide.

DISCLAIMER: ONLY USE #2 OR BETTER PRESSURE TREATED SOUTHERN PINE 2X10 FOR FRAMING MATERIALS. NEVER SUBSTITUTE SOFTWOODS OR COMPOSITE FOR FRAMING MATERIALS.



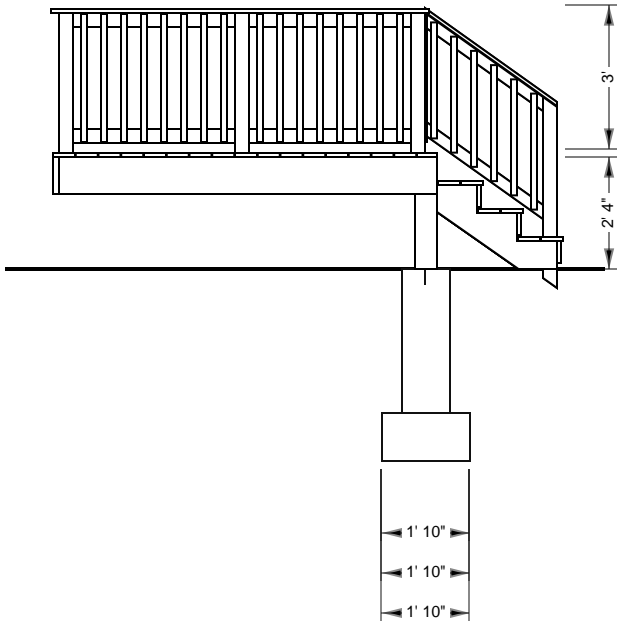
2x10 Ledger Board to be flashed and bolted (2) 1/2" bolts with washers or equivalent every 16" on center. (See ledger detail in deck construction guide)  
Joists to be 2x10 pressure treated southern yellow pine installed 16" on center.  
Beams to be 2-2x10 pressure treated southern yellow pine nailed.  
Guard Rails to be 36" high with less than 4" openings per IRC code. (See rail detail in deck construction guide)  
Stairs to be built max rise 7-3/4" min rise 4" in run 10" per IRC code. (See stair detail in deck construction guide)  
Decking to be 5/4x6 Pressure Treated Pine. (Follow manufacturers' installation instructions)  
All hardware to be corrosion resistant and installed per manufacturers' instructions.

SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

BASED ON THE INTERNATIONAL RESIDENTIAL CODE

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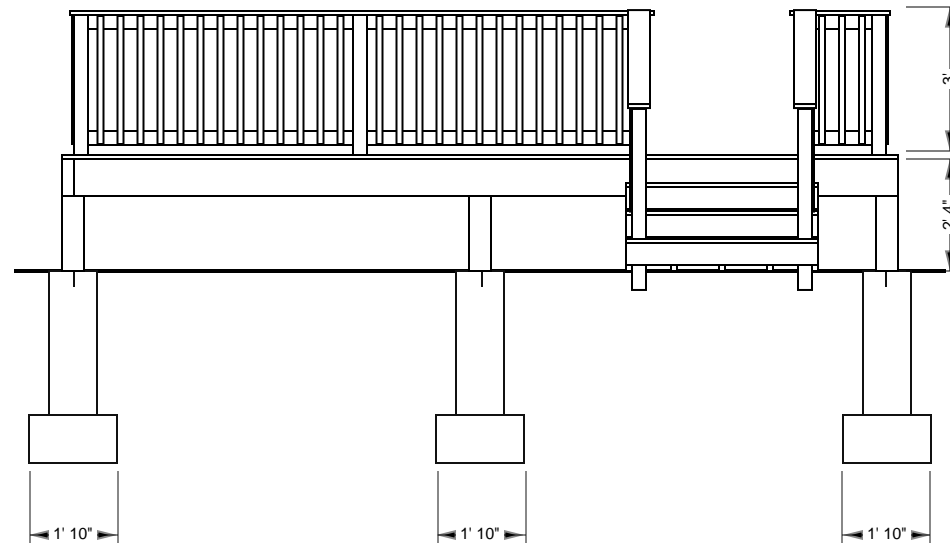


SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

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STAIRWAY ILLUMINATION: ALL EXTERIOR STAIRWAYS SHALL BE ILLUMINATED AT THE TOP LANDING TO THE STAIRWAY. ILLUMINATION SHALL BE CONTROLLED FROM INSIDE THE DWELLING OR AUTOMATICALLY ACTIVATED.



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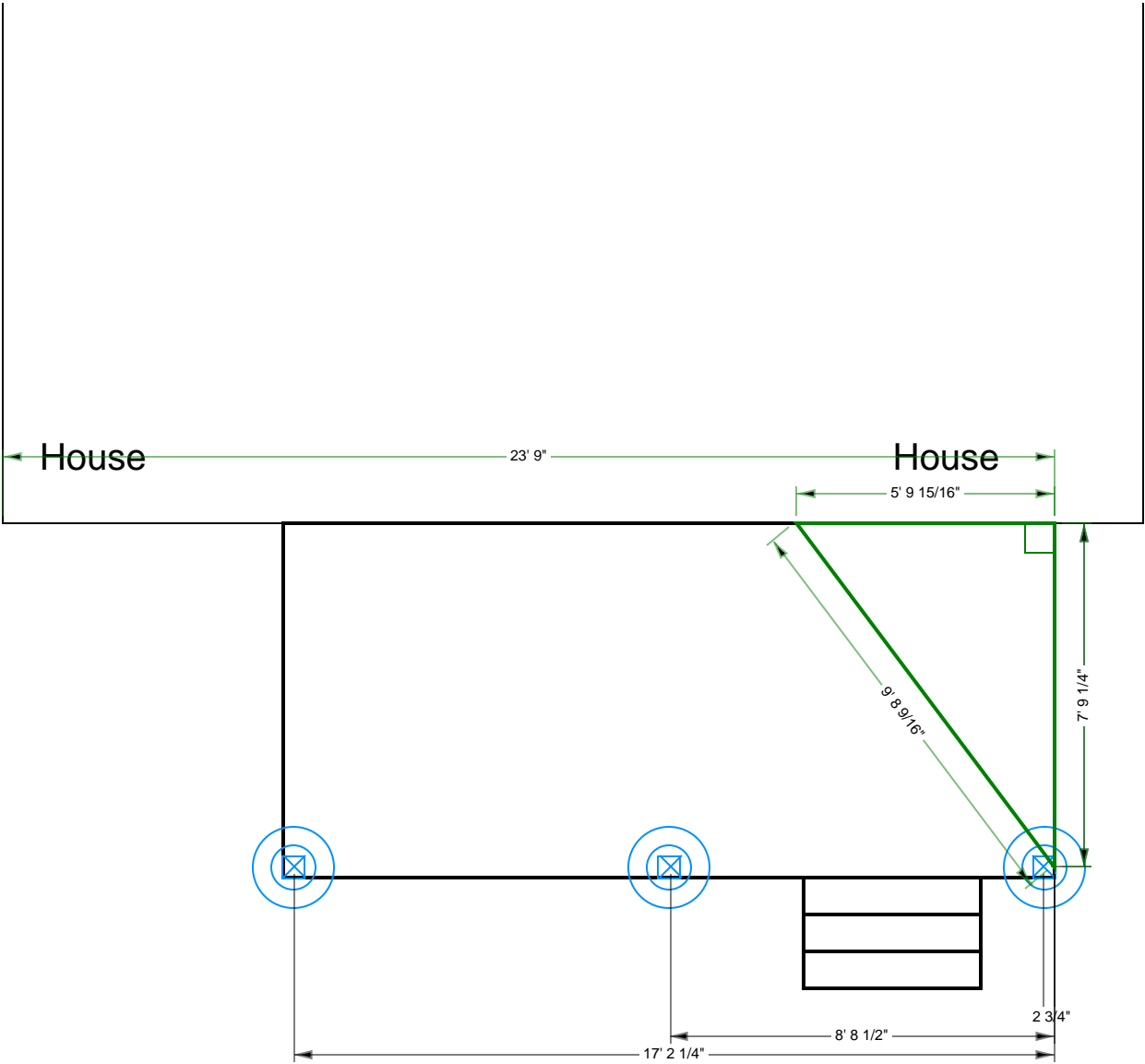


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SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

BASED ON THE INTERNATIONAL RESIDENTIAL CODE

STAIR FOOTING REQUIREMENTS  
WHERE THE STAIRWAY MEETS GRADE, ATTACH THE STAIR  
STRINGERS TO THE STAIR GUARD RAIL POSTS. POSTS SHALL  
BEAR ON FOOTINGS



Total Depth: 48  
Base Diameter: 22  
Pier Diameter: 12

Footings to be installed to 48" depth as is required by your local building ordinance. Frost footing sizes based on 55 lbs per square foot tributary loads applied to 1500 psi soil compression capacity (assumed clay soil). See footing detail in deck construction guide.

DISCLAIMER: USE ONLY 2,500 PSI CONCRETE FOR FROST FOOTING FOUNDATIONS.

Footings to be installed to 48" depth as is required by your local building ordinance. Frost footing sizes based on 55 lbs per square foot tributary loads applied to 1500 psi soil compression capacity (assumed clay soil). See footing detail in deck construction guide.





**LU-22-107**

## Land Use Application

**Status:** Active**Date Created:** May 13, 2022**Applicant**

Carla Goodknight  
carla@cjarchitects.net  
233 Vaughan Street  
Suite 101  
Portsmouth, NH 03801  
6034312808

**Location**

160 COURT ST  
Portsmouth, NH 03801

**Owner:**

PORTSMOUTH HOUSING AUTHORITY  
245 MIDDLE ST PORTSMOUTH, NH 03801

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

140 Court Street

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

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☐

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☐

**Request for Extension of Previously Granted Land Use Approval**



LETTER OF AGENDA

We respectfully submit this Application for Approval for the project located at 140 Court Street:

- Install new canopies over existing entries.
- Previously approved materials from the 160 Court Street project are being used to construct the new canopies to instill design constituency across the Portsmouth Housing Authority properties.

Please refer to the attached drawings for information on this proposed approval for the Feaster Apartments.

Thank you for your consideration.  
Sincerely,

Carla Goodknight, AIA, NCARB  
Principal, CJ Architects



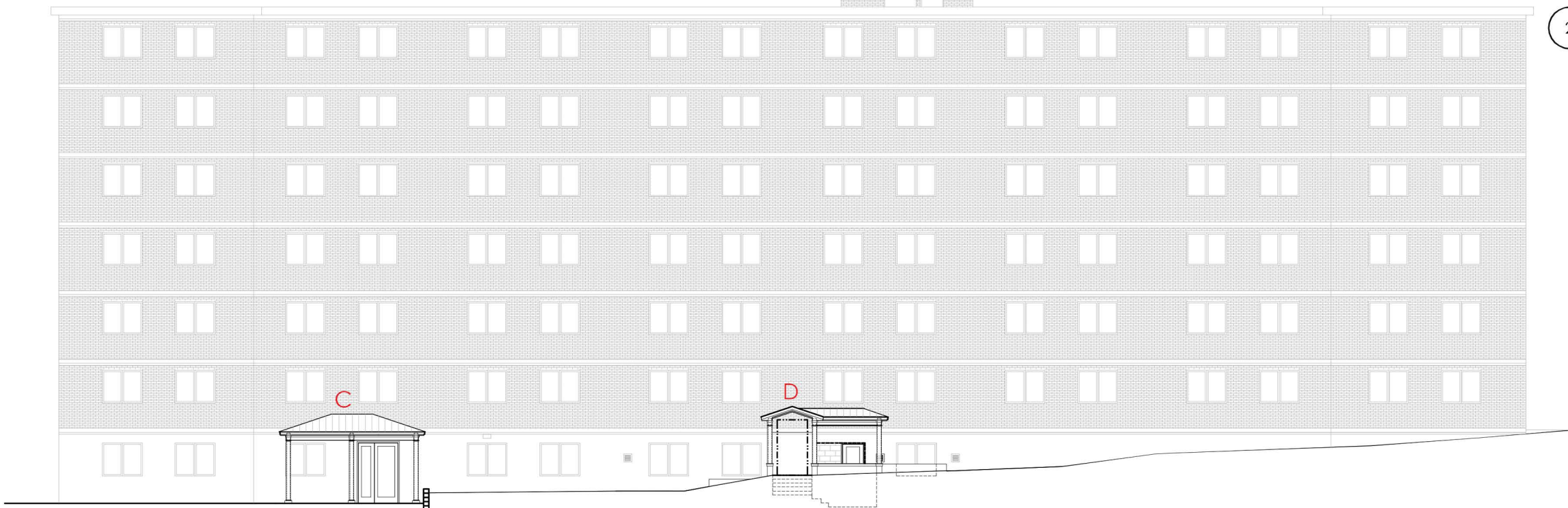




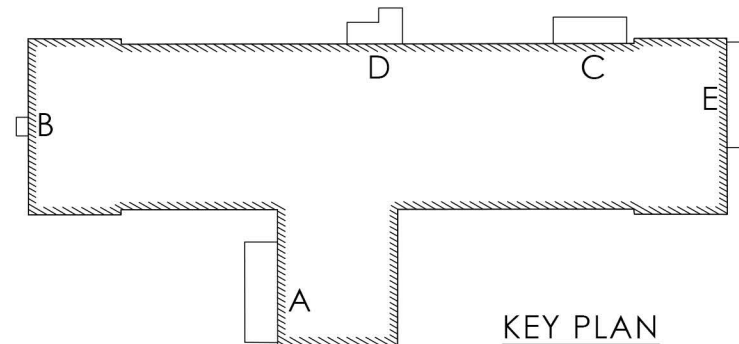
1 NORTH ELEVATION - PROPOSED  
1/16" = 1'-0"



2 SOUTH ELEVATION - PROPOSED  
1/16" = 1'-0"



3 EAST ELEVATION - PROPOSED  
1/16" = 1'-0"



KEY PLAN

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

## PROPOSED ELEVATIONS

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 1, 2022



PORTSMOUTH  
HOUSING



CJ ARCHITECTS

2.0





A. PROPOSED CANOPY AT NORTH ELEVATION



B. PROPOSED CANOPY AT NORTH ELEVATION



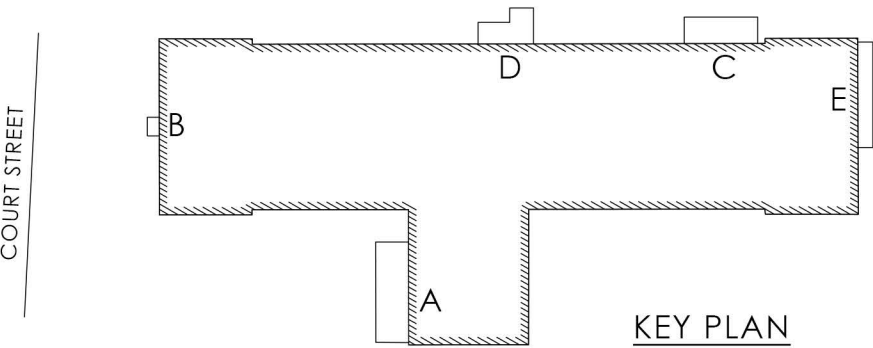
C. PROPOSED CANOPY AT EAST ELEVATION



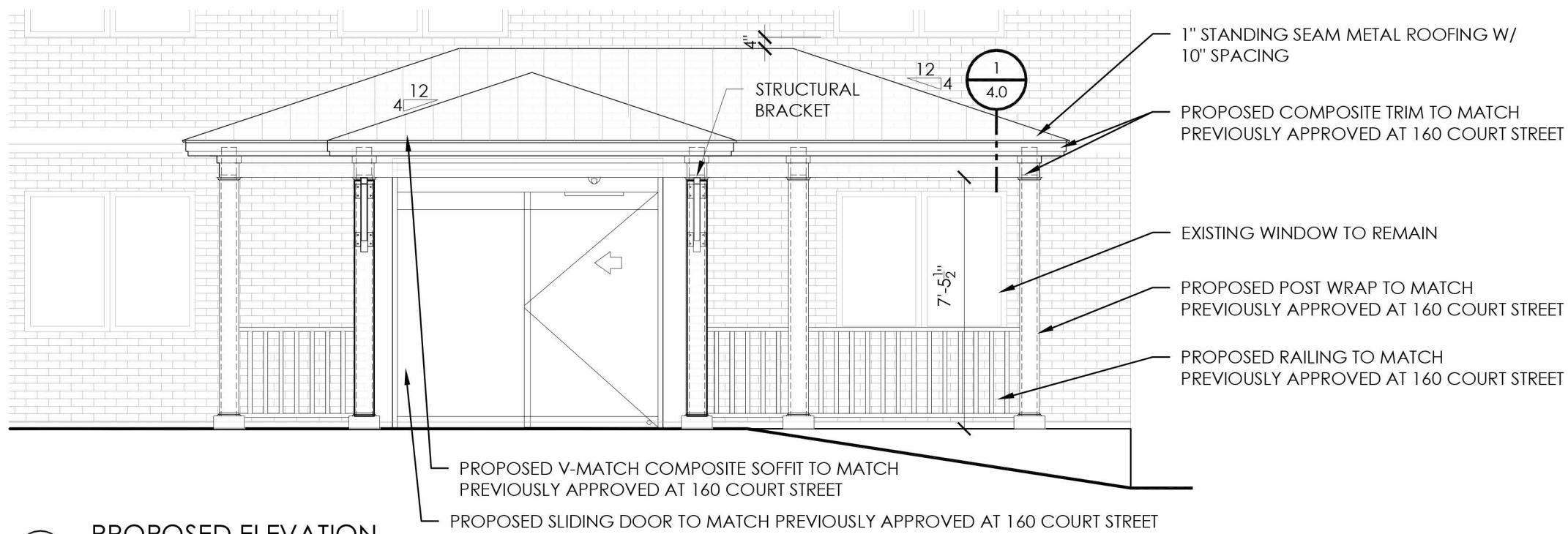
D. PROPOSED CANOPY AT EAST ELEVATION



E. PROPOSED CANOPY AT SOUTH ELEVATION



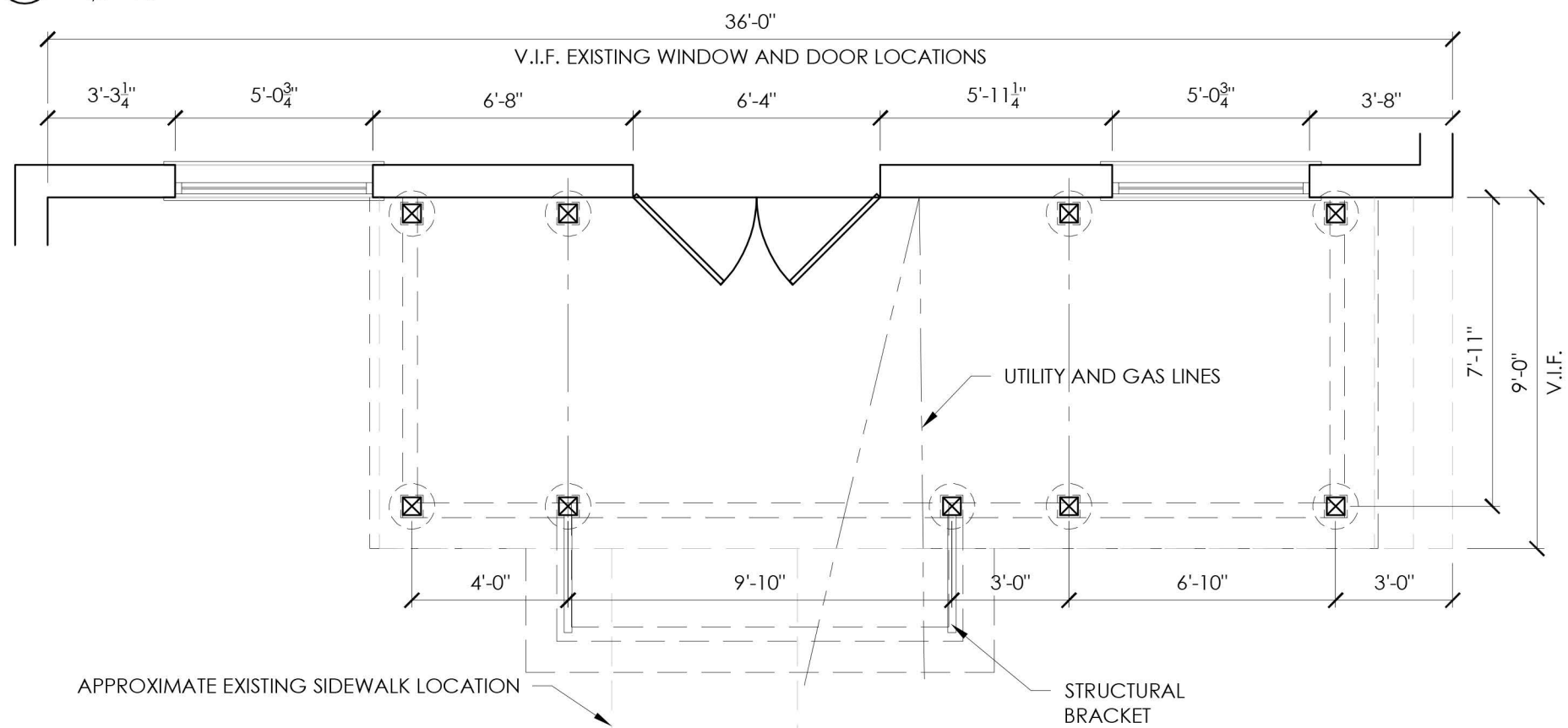




1

## PROPOSED ELEVATION

1/4" = 1'-0"



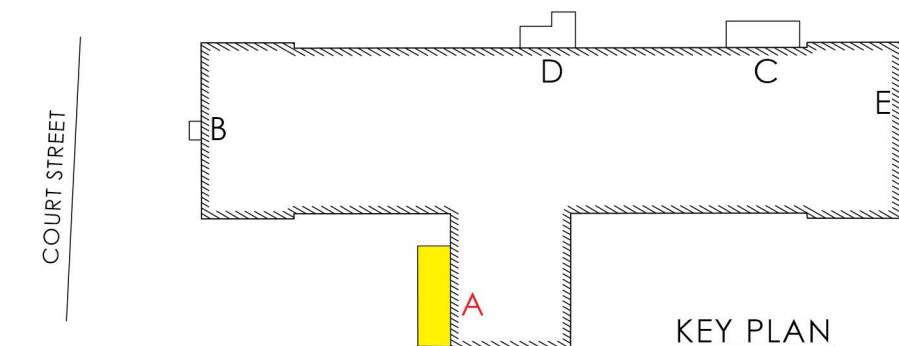
2

## PROPOSED PLAN

1/4" = 1'-0"



PROPOSED 3D VIEW



KEY PLAN

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

## PROPOSED CANOPY: A

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 1, 2022

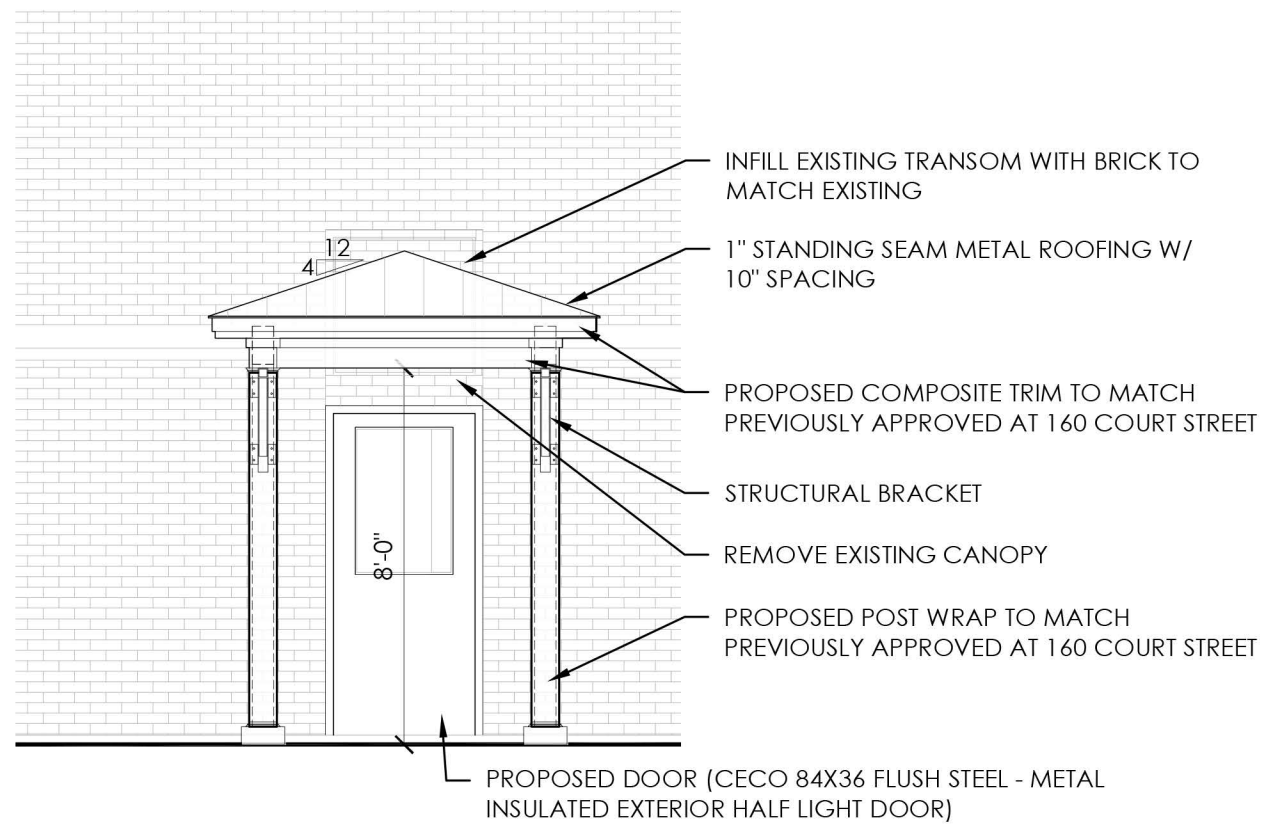


PORTSMOUTH  
HOUSING



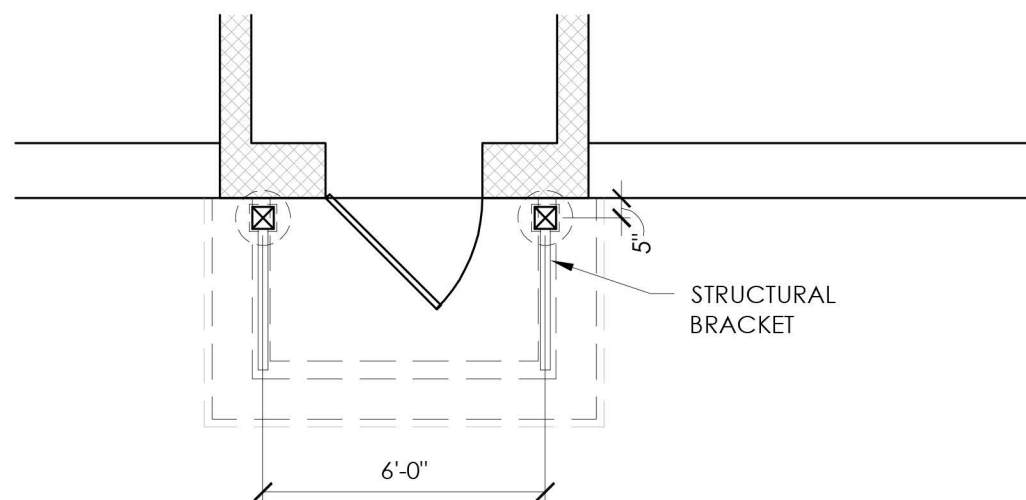
CJ ARCHITECTS

3.0



PROPOSED 3D VIEW

1 PROPOSED ELEVATION  
1/4" = 1'-0"

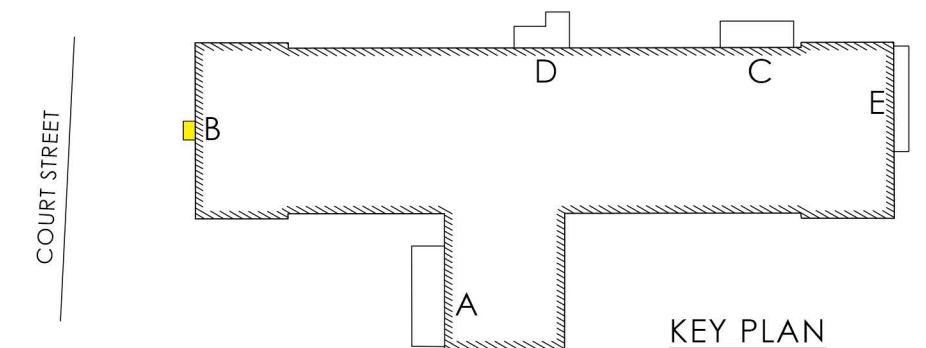


2 PROPOSED PLAN  
1/4" = 1'-0"

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CANOPY: B

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 1, 2022

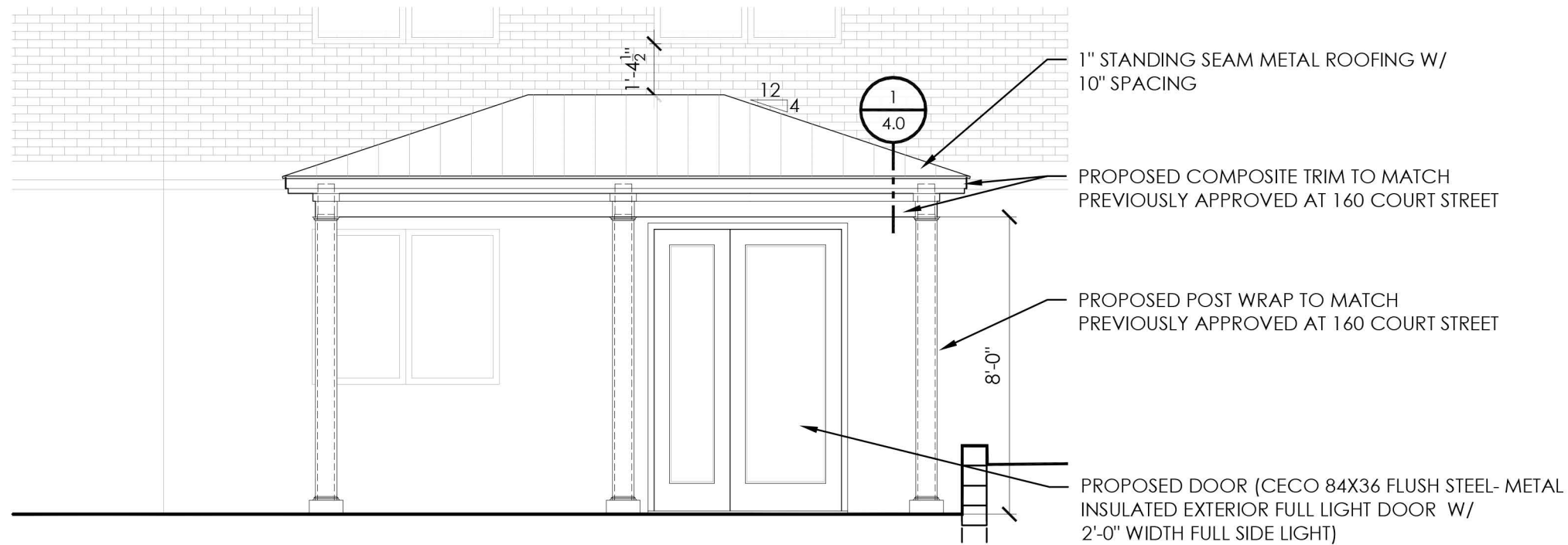


PORTSMOUTH  
HOUSING

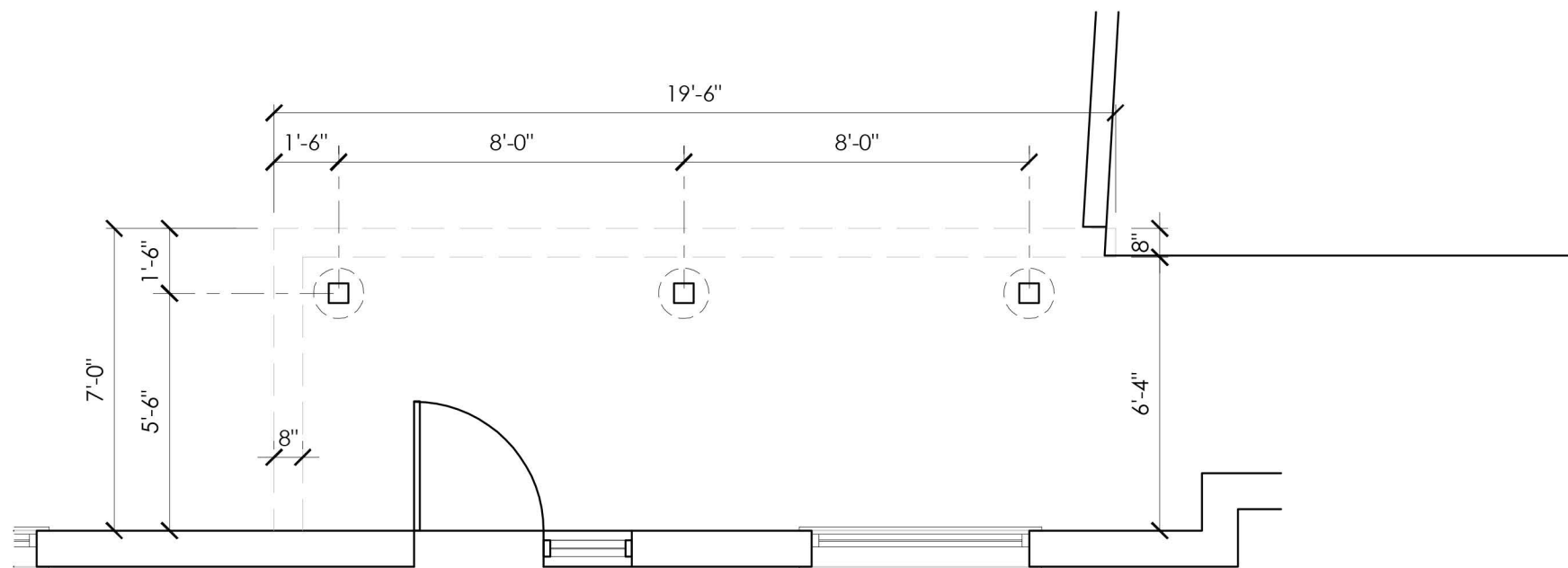


3.1





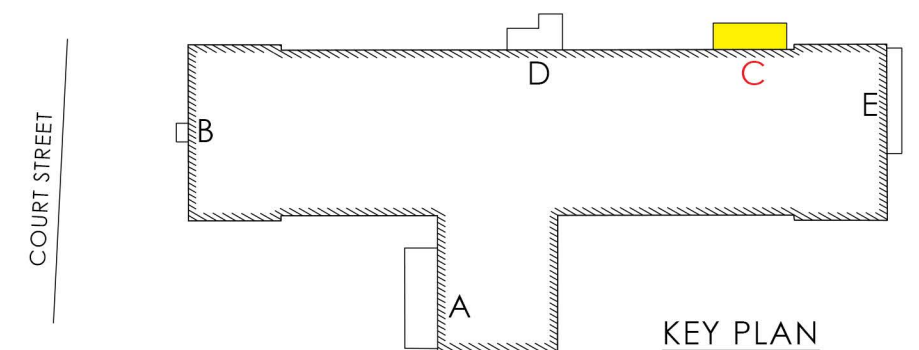
1 PROPOSED ELEVATION  
1/4" = 1'-0"



2 PROPOSED PLAN  
1/4" = 1'-0"



PROPOSED 3D VIEW



KEY PLAN

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CANOPY: C

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 1, 2022

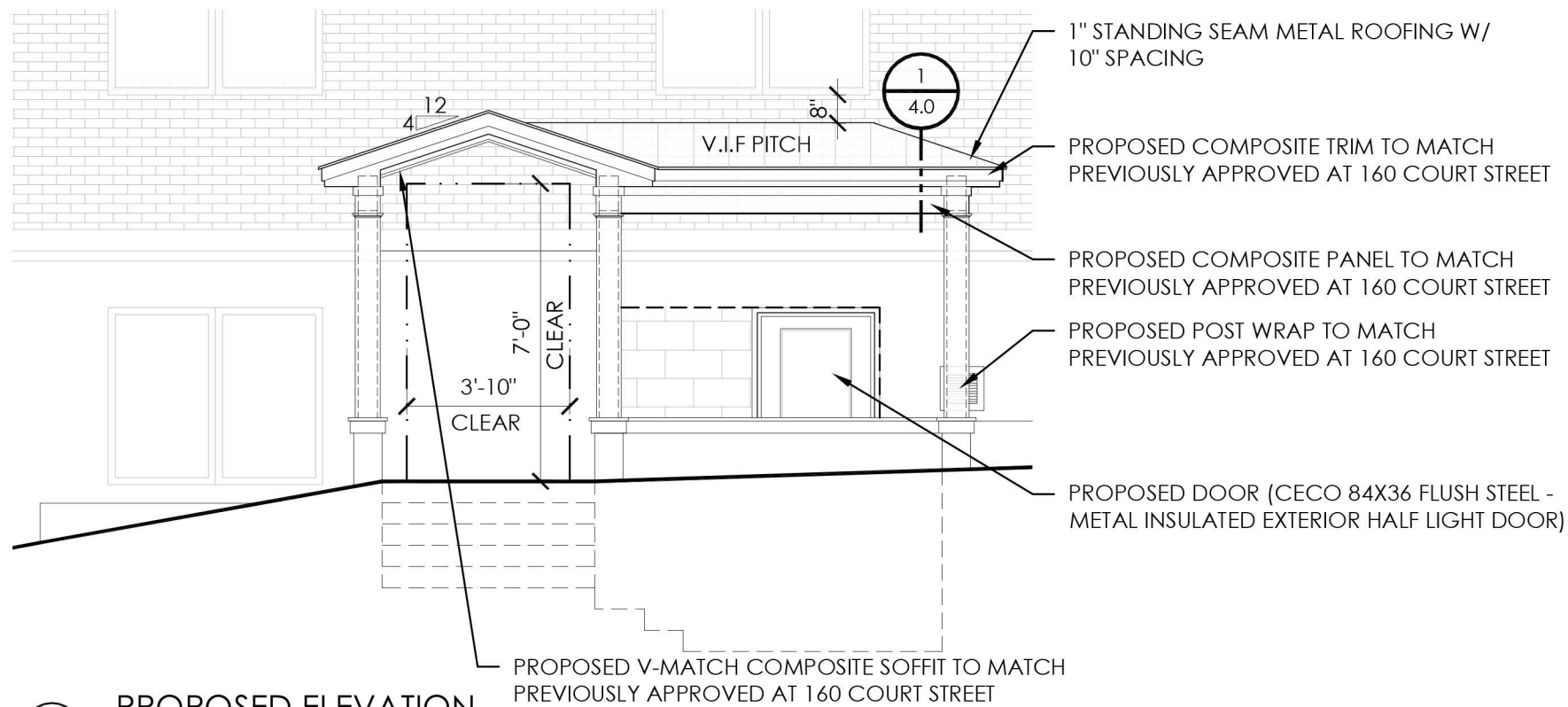


PORTSMOUTH  
HOUSING



CJ ARCHITECTS

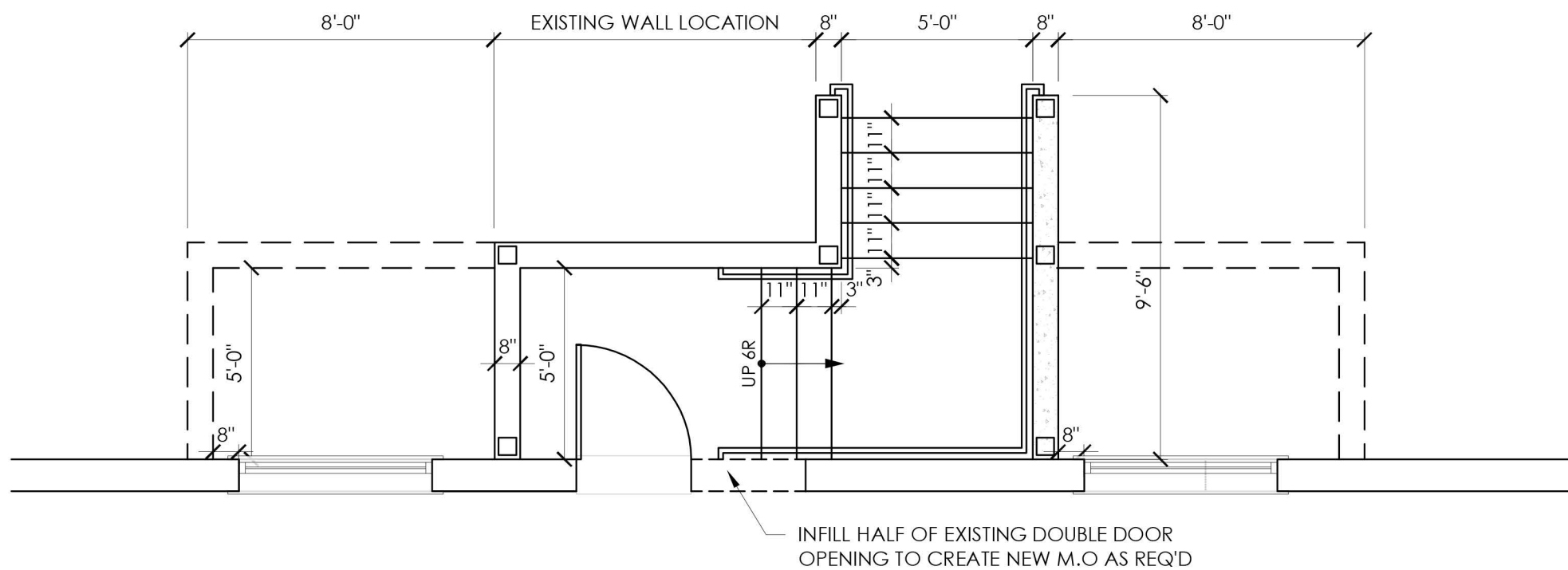
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1

## PROPOSED ELEVATION

1/4" = 1'-0"



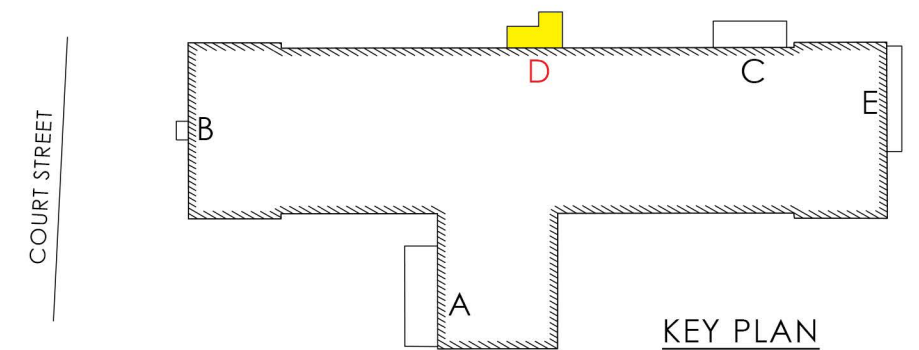
2

## PROPOSED PLAN

1/4" = 1'-0"



PROPOSED 3D VIEW



KEY PLAN

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CANOPY: D

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 1, 2022



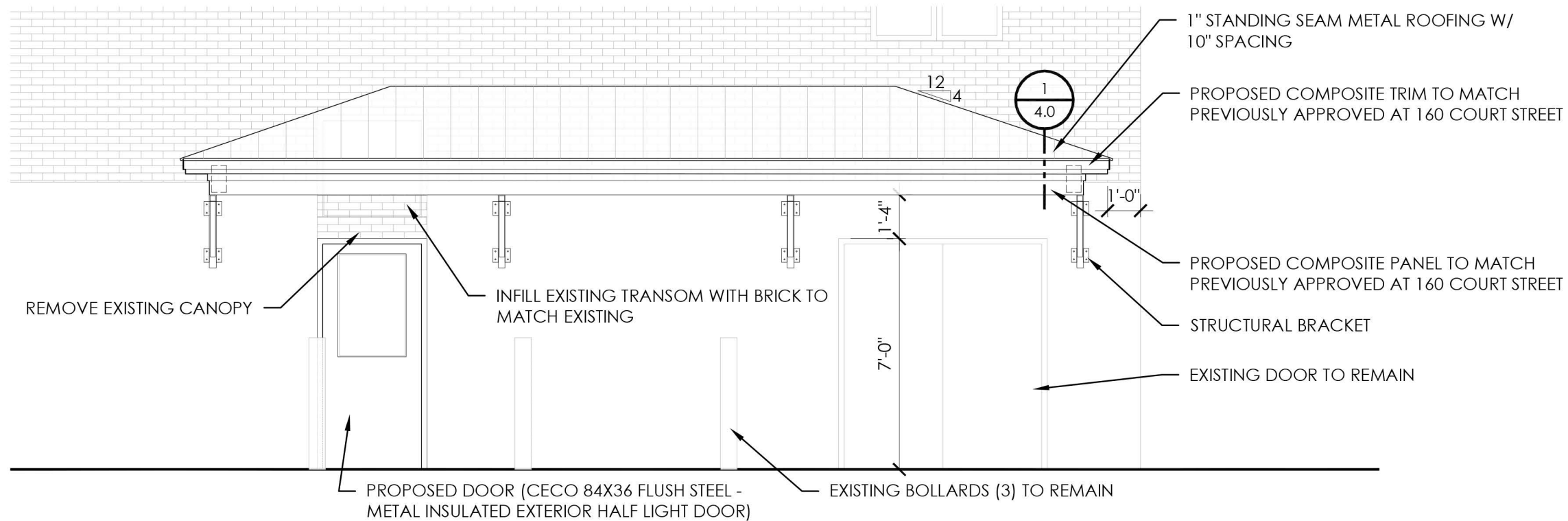
PORTSMOUTH  
HOUSING



CJ ARCHITECTS

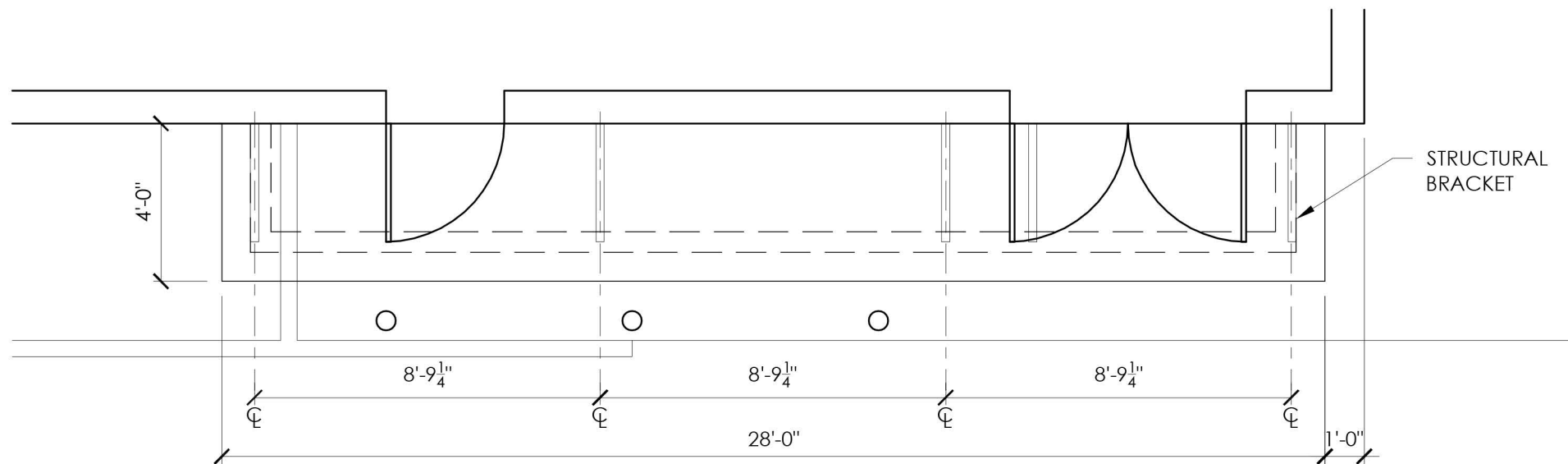
3.3





1 PROPOSED ELEVATION

1/4" = 1'-0"

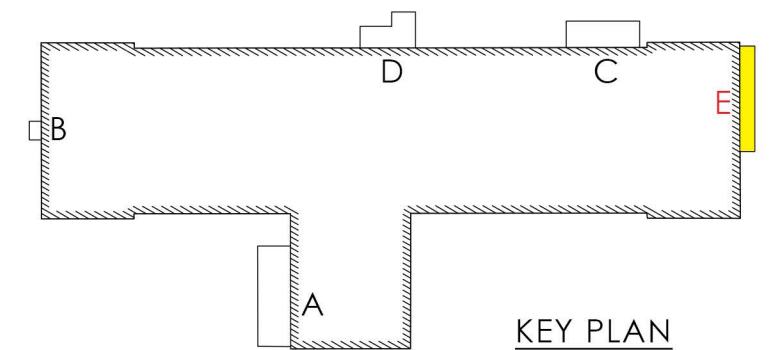


2 PROPOSED PLAN

1/4" = 1'-0"



PROPOSED 3D VIEW



FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED CANOPY: E

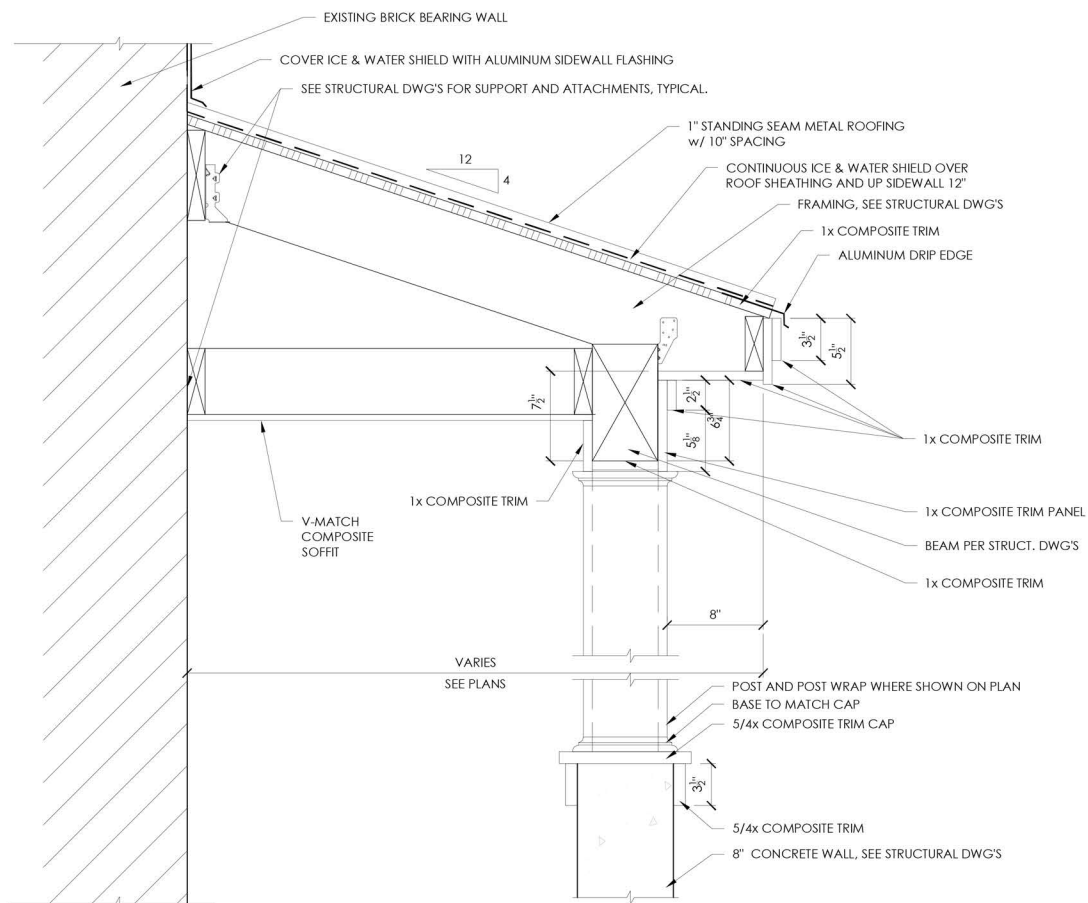
HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 1, 2022



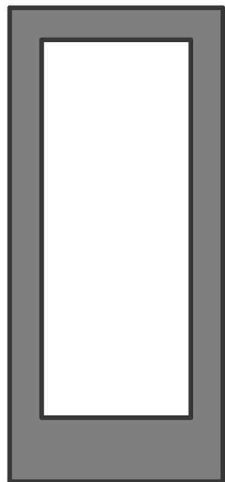
PORTSMOUTH  
HOUSING



3.4

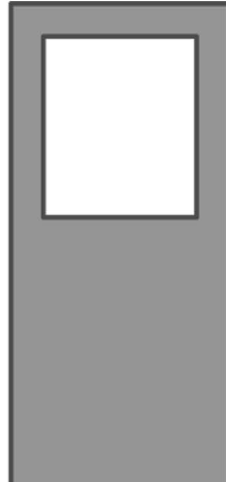


1 CANOPY  
3" = 1'-0"



FULL LIGHT DOOR

**Manufacturer:** CECO 84x36 FLUSH STEEL METAL INSULATED EXTERIOR FULL LIGHT DOOR  
**Color:** BLACK



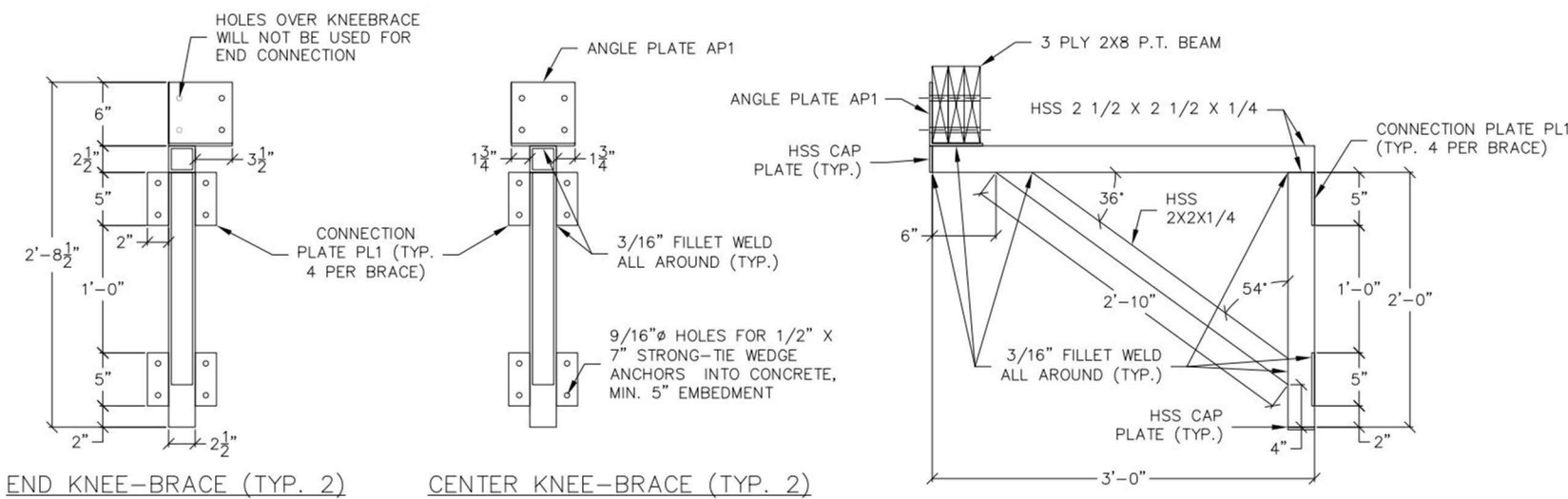
HALF LIGHT DOOR

**Manufacturer:** CECO 84x36 FLUSH STEEL METAL INSULATED EXTERIOR HALF LIGHT DOOR  
**Color:** BLACK



GLASS DOOR

(TO MATCH PREVIOUS APPROVAL AT 160 COURT STREET)  
**Manufacturer:** NABCO GT1175 AUTOMATIC SLIDING DOOR  
**Color:** BLACK



END KNEE-BRACE (TYP. 2)

CENTER KNEE-BRACE (TYP. 2)

KNEE-BRACE CONNECTION DETAIL  
1 1/2" = 1'-0"

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED MATERIALS

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 1, 2022



PORTSMOUTH  
HOUSING



4.0

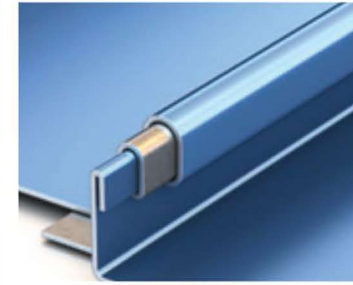




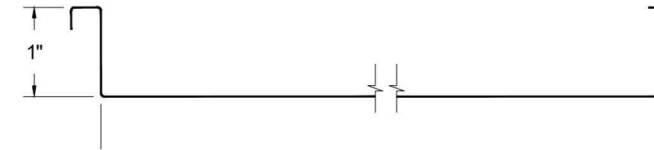
### COMPOSITE TRIM

(TO MATCH PREVIOUSLY APPROVED AT 160 COURT STREET)

Manufacturer: HARDIETRIM SMOOTH  
Color: TBD



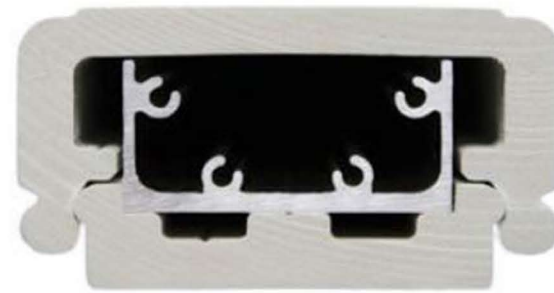
Double lock panel



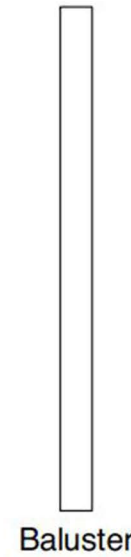
### STANDING SEAM METAL ROOFING

Manufacturer: DREXEL DMC 100SS STANDING SEAM  
Color: BRONZE

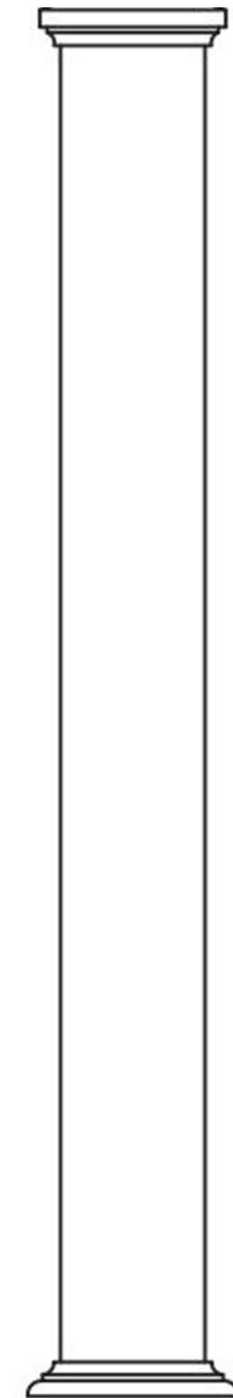
### BEADED PORCH PANEL



RS35350 Flat



Baluster



### COMPOSITE SOFFIT

(TO MATCH PREVIOUS APPROVAL AT 160 COURT STREET)

Manufacturer: HARDIESOFFIT  
Color: TBD

### RAILINING

(TO MATCH PREVIOUS APPROVAL AT 160 COURT STREET)

Manufacturer: BROSCO INTEX - DARTMOUTH  
Color: TBD

### COLUMN

(TO MATCH PREVIOUS APPROVAL AT 160 COURT STREET)

Manufacturer: BROSCO - INTEX - DARTMOUTH  
Color: PAINT TO MATCH ADJACENT STOREFRONT TRIM

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

### PROPOSED MATERIALS

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 1, 2022



PORTSMOUTH  
HOUSING



4.1

**LU-22-106**

## Land Use Application

**Status:** Active**Date Created:** May 13, 2022**Applicant**

Helen Marks  
duchess5288@yahoo.com  
728 Lafayette rd  
Hampton, NH 03842  
6034309720

**Location**

90 FLEET ST  
Portsmouth, NH 03801

**Owner:**

Helen Marks  
90 Fleet Portsmouth , NH 03842

**Applicant Information****Please indicate your relationship to this project**

A. Property Owner

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

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**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☒

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

☐

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

☐

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

☐

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

☐

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☐

**Request for Extension of Previously Granted Land Use Approval**





















**LU-22-105**

## Land Use Application

**Status:** Active**Date Created:** May 13, 2022**Applicant**

Heather Watson  
hwatson@unifiedbuilding.com  
688 Calef Highway  
Unified Builders Inc  
Barrington, NH 03825  
603-905-9004

**Location**

33 RICHMOND ST  
Portsmouth, NH 03801

**Owner:**

THIRTY THREE RICHMOND REAL ESTATE LLC  
186 DEERFIELD RD CANDIA, NH 03034

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☒

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☐

**Request for Extension of Previously Granted Land Use Approval**

























































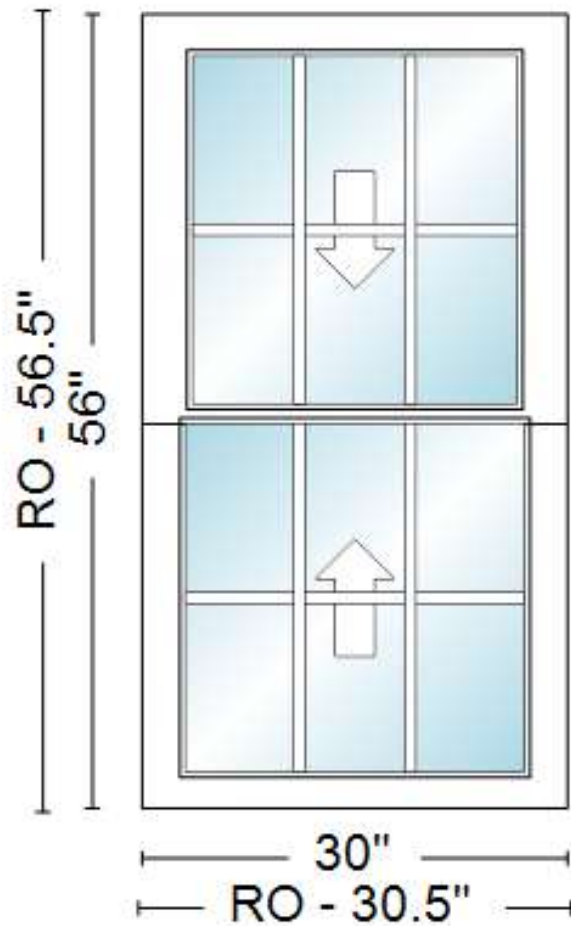
Example of siding in Cobblestone and trim in White





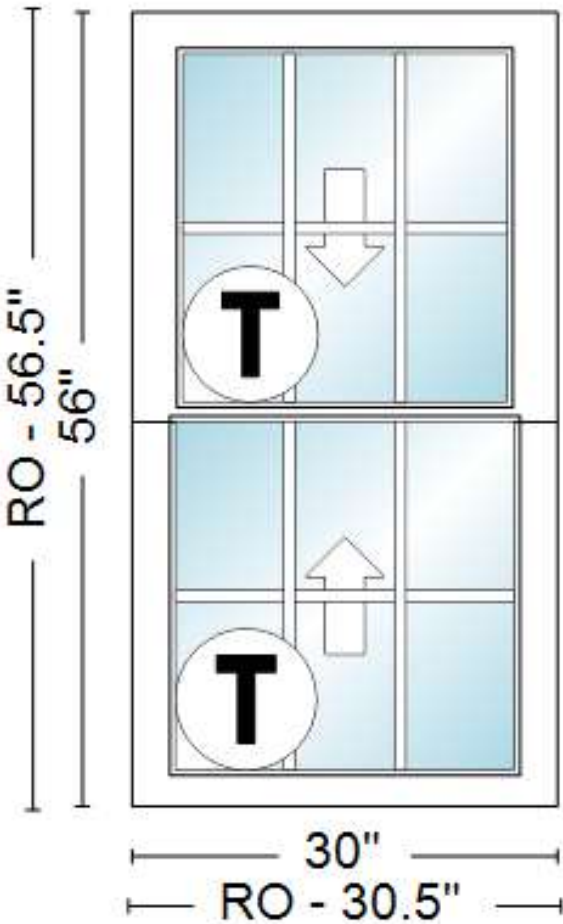
## "Estimated" Window Sizes for 33 Richmond St., Portsmouth, NH

LINE #	QTY
10000-1	19



Room Nbr: 30 x 56

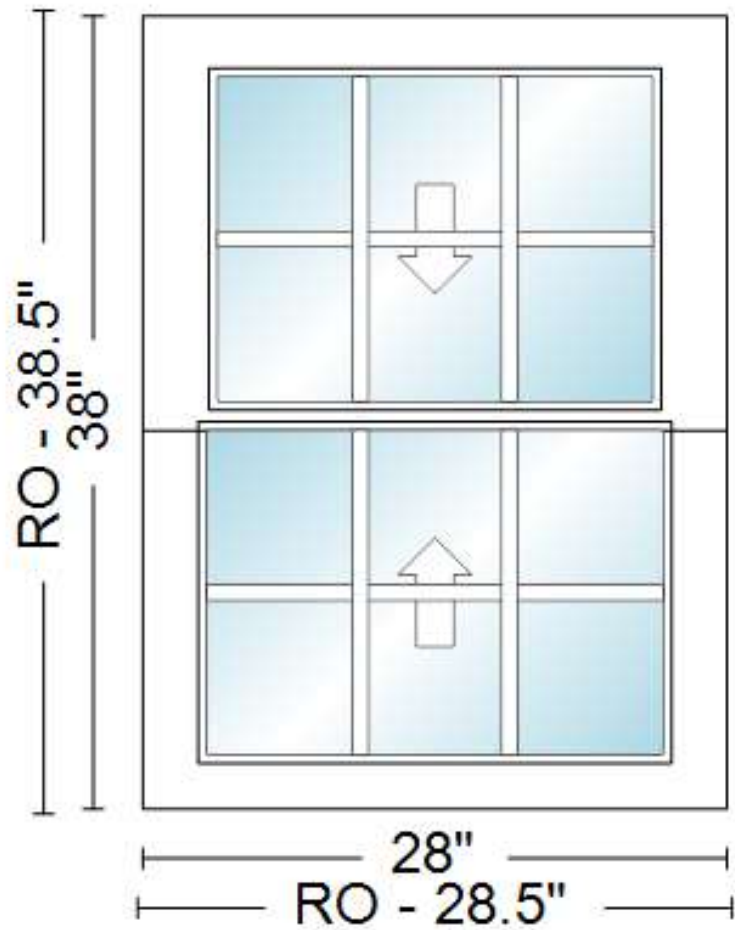
LINE #	QTY
11000-1	2



Room Nbr: 30 x 56 TEMP

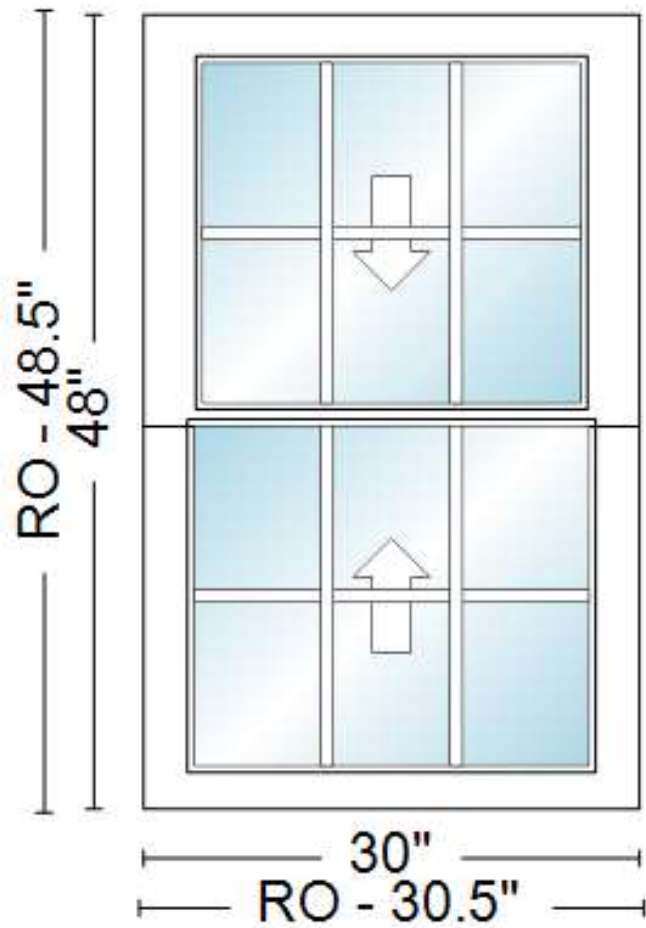


LINE #	QTY
12000-1	1



Room Nbr: 28 x 38 Dormer (33)

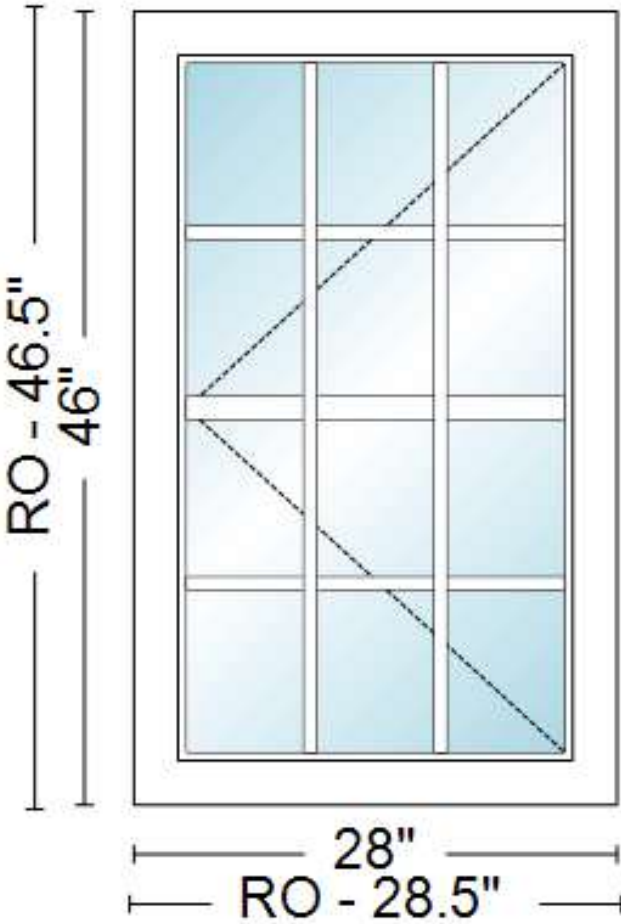
LINE #	QTY
13000-1	7



Room Nbr: 30 x 48

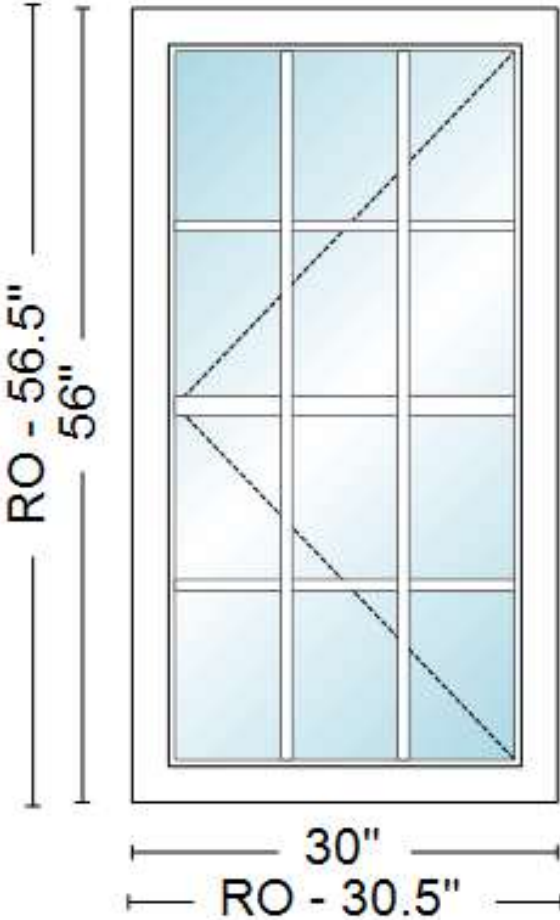


LINE #	QTY
14000-1	2



Room Nbr: Egress Unit 35

LINE #	QTY
15000-1	2



Room Nbr: Egress Unit 33





Example of siding in Deep Ocean and trim in Arctic White

