

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details)\**

**6:30 p.m.**

**July 13, 2022**

**AGENDA (revised on July 08, 2022)**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. CERTIFICATE OF APPROVAL- EXTENSION REQUESTS**

1. Petition of **Donna P. Pantelakos Revocable Trust, G.T. & D.P. Pantelakos Trustees, owners**, for property located at **138 Maplewood Avenue**, wherein permission is requested for a second one- year extension of the Certificate of Approval originally granted on July 01, 2022, to allow new construction to an existing structure (add 2nd story addition over existing garage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 124 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts. (LU-20-71)
2. Petition of **Warner House Association, owner**, for property located at **150 Daniel Street**, wherein permission is requested for a one-year extension of the Certificate of Approval originally granted on July 07, 2021, to allow the construction of a new freestanding structure (2-story carriage house) and the installation of mechanical equipment (A/C condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 58 and lies within the Downtown Overlay, Civic and Historic Districts. (LU-21-78)

**II. PUBLIC HEARINGS (OLD BUSINESS)**

- A. Petition of **531 Islington Street Portsmouth, LLC**, owner, for property located at **531 Islington Street (Dunkin Donuts)** wherein permission is requested to allow renovations to an existing structure (new signage, siding, and other exterior improvements) as per plans on file in the Planning department. Said property is shown on Assessor Map 157 as Lot 5 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LU-22-38)

**III. WORK SESSIONS (OLD BUSINESS)**

- A. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and

Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-234)

B. Work Session requested by **Mill Pond View, LLC, owner**, for property located at **179 Pleasant Street**, wherein permission is requested to allow new construction to an existing structure (minor demolition, new construction, restoration and renovation of the accessory structures and annex of the main home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 15 and lies within the Mixed Research Office (MRO) and Historic Districts. (LUHD-463)

C. Work Session requested by **EIGHTHKPH, LLC, owner**, for property located at **161 Deer Street**, wherein permission is requested to allow the demolition of the existing structure and the new construction of a new mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 17-3 and lies within the Character District 5 (CD5) and Historic Districts. (LUHD-462)

#### IV. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **SEVENKPH, LLC, owner**, for property located at **324 Maplewood Avenue**, wherein permission is requested to allow renovations to an existing structure (replace and add windows and doors, new siding and trim details on the single story accessory structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 1 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LUHD-481)

2. Work Session requested by **Charles R. and Caitlyn R. Khoury, owners**, for property located at **9 Sheafe Street**, wherein permission is requested to allow renovations to an existing structure (replace 12 windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 13 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-489)

3. **REQUEST TO POSTPONE-** Work Session requested by, **Thirty Three Richmond Real Estate, LLC, owner**, for property located at **33 Richmond Street**, wherein permission is requested to allow exterior renovations to an existing structure (remove and replace all siding, trim and windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 17 and lies with the Mixed Research Office (MRO) and Historic Districts. (LUHD-491)

#### V. ADJOURNMENT

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_0IJiGbWcQK663-AeGMthCA](https://us06web.zoom.us/webinar/register/WN_0IJiGbWcQK663-AeGMthCA)



# Historic District Commission

## Staff Report – July 6<sup>th</sup>, 2022

### July 6<sup>th</sup> MEETING

#### Administrative Approvals:

- |                                   |                      |
|-----------------------------------|----------------------|
| 1. 10 Prospect St. (LUHD-483)     | - Recommend Approval |
| 2. 50 South School St. (LUHD-485) | - Recommend Approval |
| 3. 82 Congress St. (LUHD-486)     | - Recommend Approval |
| 4. 238 Deer St. (LUHD-487)        | - Recommend Approval |
| 5. 145 High St. (LUHD-488)        | - Recommend Approval |
| 6. 114 Maplewood Ave. (LUHD-490)  | - Recommend Approval |
| 7. 454 Marcy High St. (LUHD-492)  | - Recommend Approval |
| 8. 10 Comm. Alley #2 (LUHD-494)   | - Recommend Approval |

#### Extension Requests:

1. 125 Bow Street (LU-20-84) (roof replacement & wall cladding)

#### Requests for Rehearing:

1. 129 State Street (LU-22-78) (dormers, roofing and rear addition)
2. 189 Gates Street (LU-22-30) (ADU)

#### PUBLIC HEARINGS – OLD BUSINESS:

- A. 531 Islington Street (LU-22-38) (signage and siding)
- B. 159 State St. (LU-22-68) (HVAC)
- C. 138 Gates St. (LU-22-55) (windows, siding and trim)
- D. 33 Richmond St. (LU-22-105) (windows, siding & trim)

#### PUBLIC HEARINGS – NEW BUSINESS:

1. 3 Walton Alley (LU-22-100) (window, storm windows and HVAC)
2. 250 Market Street (LU-22-113) (doors and patio)
3. 111 State (LU-22-125) (stair tower, door and windows)
4. 1 Congress St. (LU-22-12) (3 ½ story infill building)
5. 43 Holmes Court (LU-22-72) (demo and new single family)

### July 13<sup>th</sup> MEETING

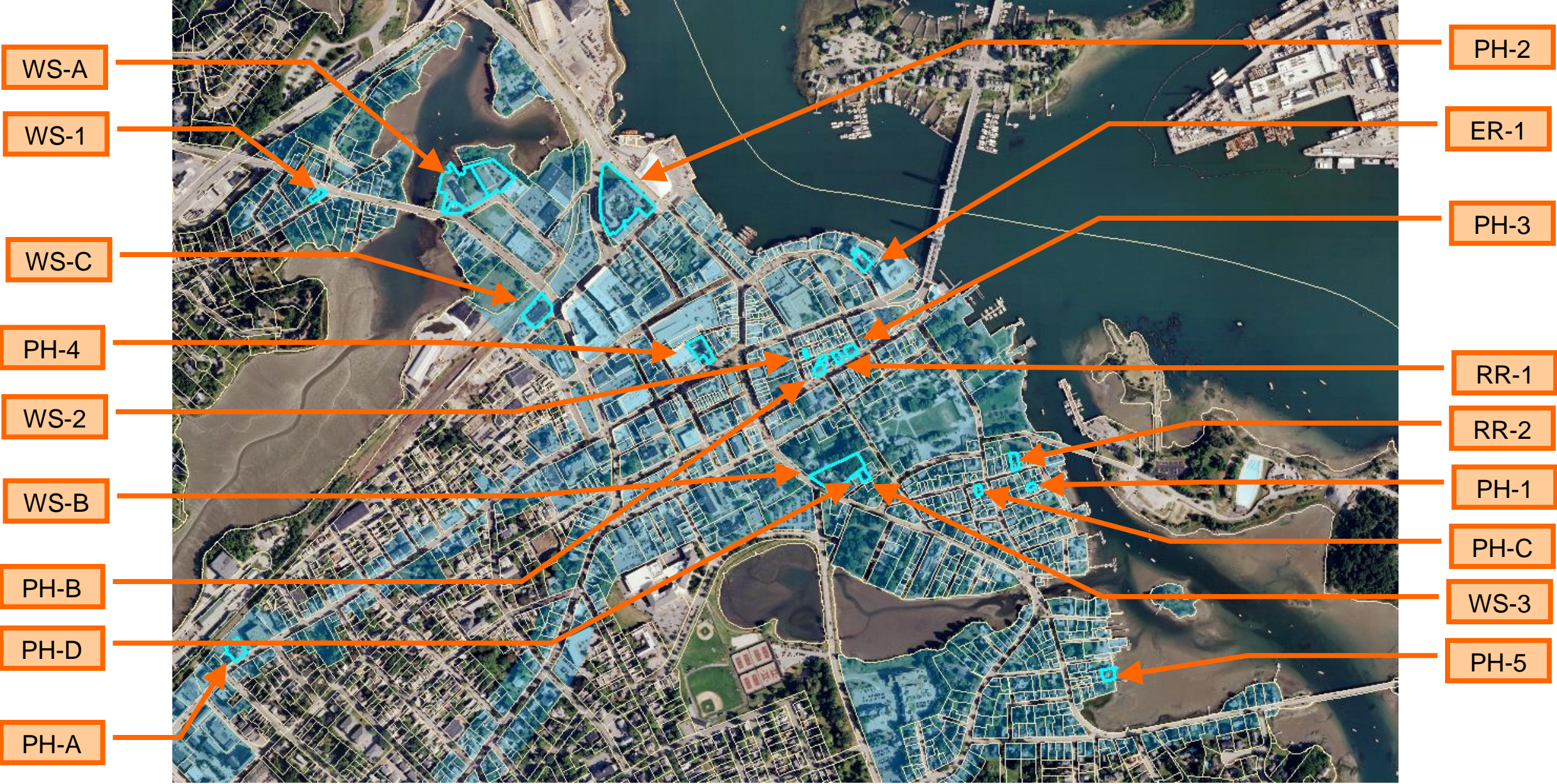
#### WORK SESSIONS – OLD BUSINESS:

- A. 1 Raynes Ave. (LUHD-234) (2 new buildings)
- B. 179 Pleasant St. (LUHD-463) (outbuildings)
- C. 161 Deer St. (LUHD-462) (4 story infill building)

#### WORK SESSIONS – NEW BUSINESS:

1. 324 Maplewood Ave. (LUHD-481) (renovations)
2. 9 Sheafe St. (LUHD-489) (window replacement)
3. 33 Richmond St. (LUHD-491) (window repl., siding & trim)





LOCATOR MAP

# HISTORIC DISTRICT COMMISSION

MEETING DATE: July 6<sup>th</sup> and 13<sup>th</sup>  
APPLICATIONS: 26



# Historic District Commission

**Project Evaluation Form:** 531 ISLINGTON STREET (LU-22-38)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** PUBLIC HEARING #A

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4-L2
- Land Use: Commercial
- Land Area: 11,325 SF +/-
- Estimated Age of Structure: c.1999
- Building Style: Commercial
- Number of Stories: 1
- Historical Significance: NA
- Public View of Proposed Work: View from Islington Street
- Unique Features: NA
- Neighborhood Association: Islington Creek

**B. Proposed Work:** To replace signage, siding and other misc. changes.

**C. Other Permits Required:**

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

**D. Lot Location:**

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block  
☐ Intersection / Corner Lot ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal ☐ Accessory ☐ Significant Demolition

**F. Sensitivity of Context:**

- ☐ Highly Sensitive ☐ Sensitive ☒ Low Sensitivity ☐ "Back-of-House"

**G. Design Approach (for Major Projects):**

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☒ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)  
☐ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- This structure is located along Islington Street. The structure is surrounded with many wood-sided, 2.5-3 story contributing structures. Most buildings have a shallow front- and side-yard setbacks and deep rear yards.

**J. Staff Comments and Suggestions for Consideration:**

- The applicant proposes to revise the previous approval for the following items:
  - Replace and add signage to the drive through; and
  - Reside the existing structure

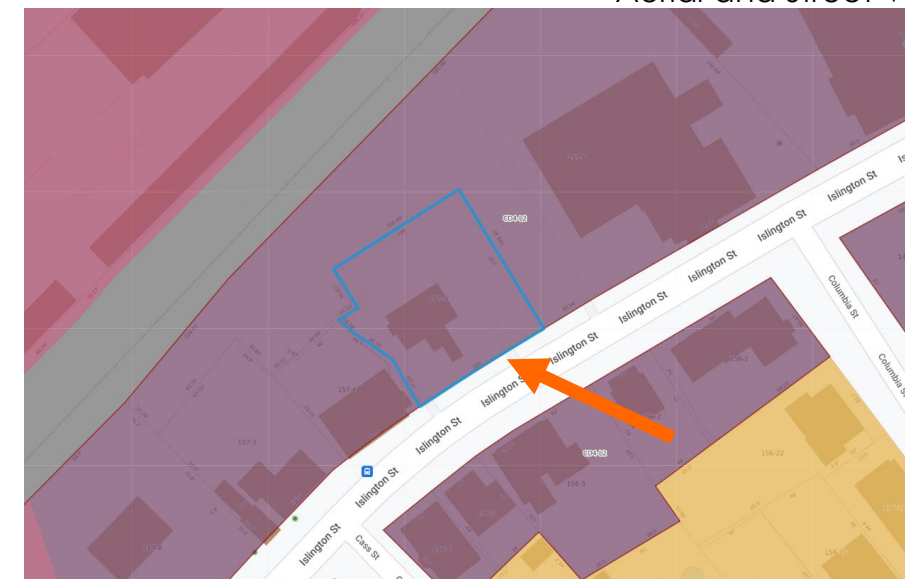
**THE APPLICANT CONTINUES TO MAKE SOME DESIGN CHANGES AND HAS REQUESTED TO POSTPONE THIS APPLICATION TO THE AUGUST MEETING IN ORDER TO OBTAIN APPROVAL FROM THE BOA.**

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING  
  
NA**

531 ISLINGTON STREET (LU-22-38) – PUBLIC HEARING #A (MINOR)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT – NEW SIGNAGE, SIDING AND MISC. ALTERATIONS ONLY –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 531 ISLINGTON STREET Case No.: A Date: 7-6-22

Decision: ☐ Approved ☐ Continued ☐ Approved with Stipulations ☐ Postponed ☐ Denied ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

L. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
- Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

159 STATE ST. (LU-22-68)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #B

A. Property Information - General:

- Existing Conditions:**
- Zoning District: CD4
  - Land Use: Multi-Family
  - Land Area: 3,920 SF +/-
  - Estimated Age of Structure: c.1850
  - Building Style: Italianate
  - Number of Stories: 3
  - Historical Significance: C
  - Public View of Proposed Work: View from Sheafe Street
  - Unique Features: NA
  - Neighborhood Association: Downtown

B. Proposed Work: To add wall-mounted HVAC to the second floor.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

J. Neighborhood Context:

- This building is located along State and Sheafe Streets. The property is surrounded with many historically significant brick-sided structures. The structures in this neighborhood have little to no front yard setbacks along the street and narrow side yards.

K. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

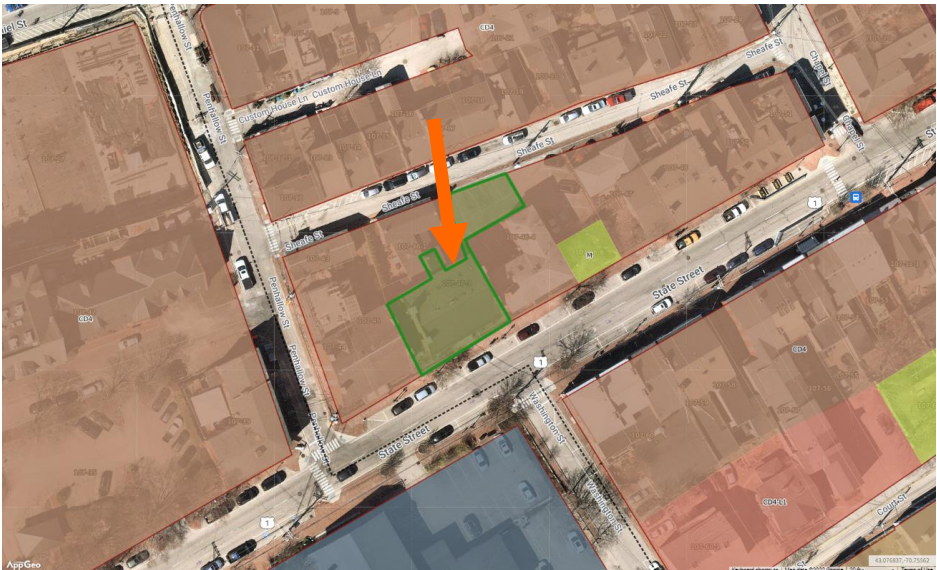
- Add a wall-mounted HVAC unit on the 2<sup>nd</sup> floor of the exterior wall of the structure. Conduit will also be applied to the wall.
- **NOTE WE NEED TO CONFIRM THAT THE CONDO ASSOCIATION SUPPORTS THE APPLICATION.**

**Design Guideline Reference – Guidelines for Masonry and Stucco (07) and Site Elements and Streetscapes (09).**

I. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING

C

159 STATE ST. (LU-22-68) – PUBLIC HEARING #B (MINOR)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY:159 STATE ST. Case No.: B Date: 7-6-22</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied</div> <div><input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div>	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)			
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>- WALL-MOUNTED HVAC CONDENSOR ONLY -</div>						
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width (ROW) Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS		APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
39	Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
40	Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:


☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No





# Historic District Commission

Project Evaluation Form: **138 GATES ST. (LU-22-55)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **PUBLIC HEARING #C**

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: GRB
  - Land Use: Single-Family
  - Land Area: 2,240 SF +/-
  - Estimated Age of Structure: c.1775
  - Building Style: Federal
  - Number of Stories: 2.5
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Gates Street
  - Unique Features: NA
  - Neighborhood Association: South End

**B. Proposed Work:** To add one-story rear addition with steps & landing.

**C. Other Permits Required:**

- ☒ Board of Adjustment    ☐ Planning Board    ☐ City Council

**D. Lot Location:**

- ☐ Terminal Vista    ☐ Gateway    ☒ Mid-Block  
☐ Intersection / Corner Lot    ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal    ☐ Accessory    ☐ Significant Demolition

**F. Sensitivity of Context:**

- ☒ Highly Sensitive    ☐ Sensitive    ☐ Low Sensitivity    ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☒ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)  
☐ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- This 2.5 story wood-sided structure is located on Gates Street and is surrounded with many contributing historic structures. Most buildings on Gate Street have little to no front-yard setbacks, shallow side-yards with deeper rear yards.

**J. Staff Comments and Suggestions for Consideration:**

The project includes:

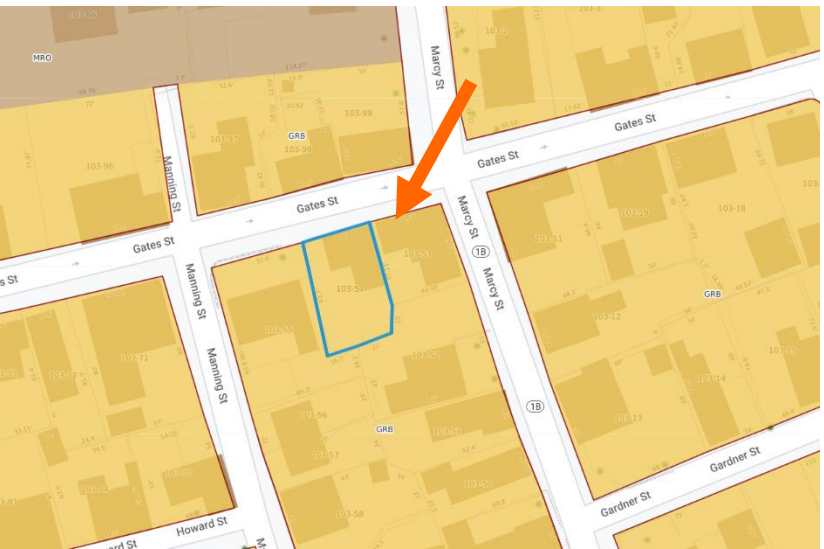
- Adding a rear mudroom and ½ bath
- Note that this project requires a dimensional variance prior to approval by the HDC
- **THE APPLIANT HAS REQUESTED TO POSTPONE THIS APPLICATION UNTIL THE AUGUST MEETING IN ORDER TO OBTAIN THE VARIANCE FROM THE BOA.**

- **Design Guideline Reference: Guidelines for Exterior Woodwork (05), Porches, Stoops and Decks (06), and Windows and Doors (08)**

**K. Aerial Image, Street View and Zoning Map:**



Elevations and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**

138 GATES STREET (LU-22-55) – PUBLIC HEARING #C (MODERATE)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>– ADD 1 STORY REAR ADDITION WITH STEPS AND LANDING –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:138 GATES STREET Case No.:C Date: 7-6-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

33 RICHMOND ST. (LU-22-105)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #D

A. Property Information - General:

- Existing Conditions:
- Zoning District: MRO
  - Land Use: Two-Family
  - Land Area: 3,920 SF +/-
  - Estimated Age of Structure: c.1800
  - Building Style: Federal
  - Number of Stories: 2
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Richmond Street
  - Unique Features: NA
  - Neighborhood Association: South End

B. Proposed Work: To replace sunroom, windows and siding.

C. Other Permits Required:

- ☒ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

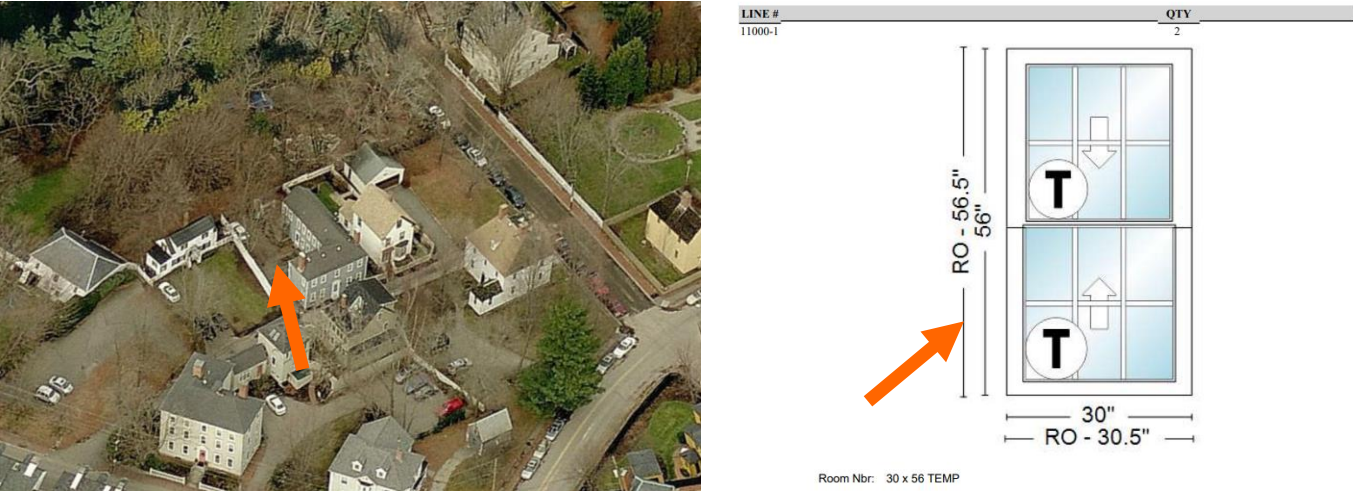
- The property is located along Richmond Street. It is surrounded with many wooden framed 2.5 story historic structures with shallow front yard setbacks with narrow side yards.

J. Staff Comments and/ or Suggestions for Consideration:

- This application proposes to:
- Replace the existing windows and siding.
  - **NOTE THAT THE APPLICANT HAS REQUESTED TO POSTPONE THIS PUBLIC HEARING AND REQUESTED A WORK SESSION ON JULY 13<sup>TH</sup> INSTEAD.**

Design Guideline Reference – Guidelines for Windows and Doors (08) and Small Scale New Construction & Additions (10)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING

C

33 RICHMOND ST. (LU-22-105) – PUBLIC HEARING #5 (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT – REPLACE SIDING AND WINDOWS ONLY –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	Garages/ Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37		Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 33 RICHMOND STREET Case No.: D Date: 7-6-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

3 WALTON ALLEY. (LU-22-100)

CERTIFICATE OF APPROVAL

PUBLIC HEARING #1

Existing Conditions:

- Zoning District: GRB
- Land Use: Single-Family
- Land Area: 1,680 SF +/-
- Estimated Age of Structure: c.1750-1800
- Building Style: Georgian/ Federal
- Historical Significance: C
- Public View of Proposed Work: Limited view from Walton Alley
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To add a picture window and replace bulkhead & storm windows.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☒ Highly Sensitive
- ☐ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- This 2 story historic structure is located along Walton Alley. It is surrounded with many 2 1/2 -3 story wood-sided structures with shallow front and side yards. This property also has a shallow rear yard with two of the abutting structures located near the lot lines.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Replace the storm windows and doors.
- Replace bulkhead.
- Add a picture window on the rear wall

NOTE THAT THE APPLICANT HAS REQUESTED TO POSTPONE UNTIL JULY 13<sup>TH</sup> AS ADDITIONAL DOCUMENTATION. ADDITIONALLY, BOA APPROVAL IS LIKELY REQUIRED FOR THE SUNROOM ADDITION SO THE APPLICANT WILL BE FILING FOR A WORK SESSION AT THE AUGUST HDC MEETING.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows and Doors (08).

K. Aerial Image, Street View and Zoning Map:




Rear Elevation and Streetscape View



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
C

3 WALTON ALLEY (LU-22-100) – PUBLIC HEARING #1 (MODERATE)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: <u>3 WALTON ALLEY</u> Case No.: <u>1</u> Date: <u>7-6-22</u></div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied</div> <div><input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>	
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<div>MODERATE PROJECT</div> <div>– Add HVAC, picture window, &amp; replace storm windows –</div>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
39	Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
40	Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Evaluation Form: **250 MARKET STREET (LU-22-113)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **PUBLIC HEARING #2**

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD5
- Land Use: Mixed-Use
- Land Area: 16,850 SF +/-
- Estimated Age of Structure: c.1985
- Building Style: Contemporary
- Number of Stories: 2.5
- Historical Significance: NA
- Public View of Proposed Work: View from Russell and Market Streets
- Unique Features: NA
- Neighborhood Association: Downtown

**B. Proposed Work:** To add egress doors and patio.

**C. Other Permits Required:**

- ☐ Board of Adjustment    ☐ Planning Board    ☐ City Council

**D. Lot Location:**

- ☐ Terminal Vista    ☐ Gateway    ☐ Mid-Block  
☒ Intersection / Corner Lot    ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal    ☐ Accessory    ☐ Significant Demolition

**F. Sensitivity of Context:**

- ☐ Highly Sensitive    ☐ Sensitive    ☒ Low Sensitivity    ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☒ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)  
☐ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

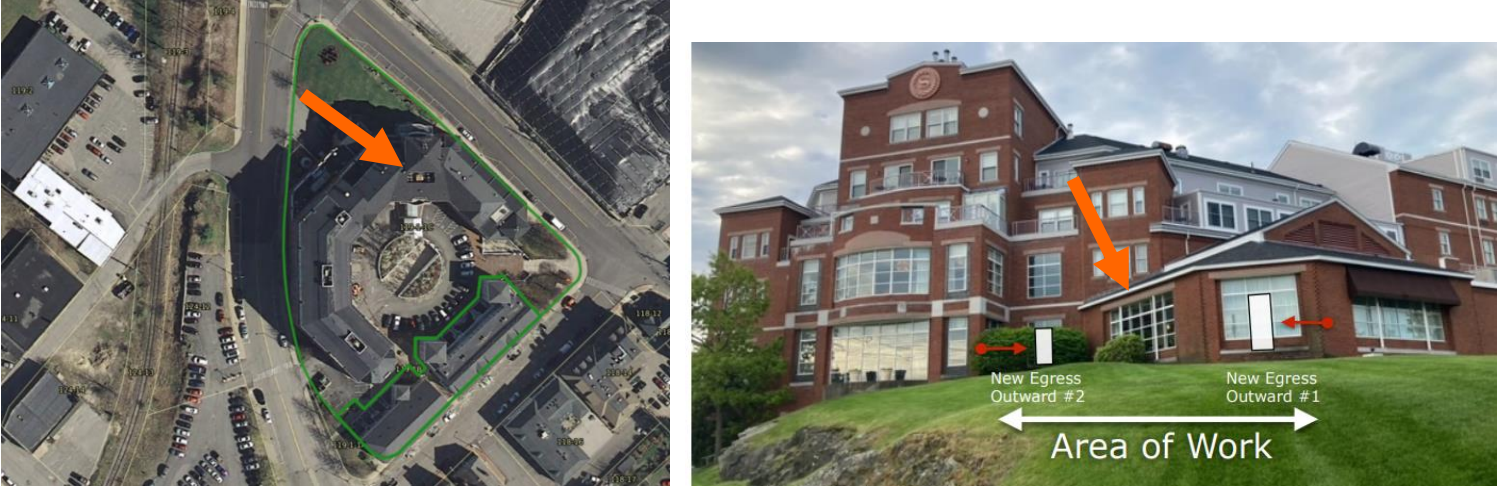
- This newer non-contributing structure is located along Deer and Market Streets. It is surrounded with many newer infill buildings and is also adjacent to the historic structures on “the Hill”.

**J. Staff Comments and Suggestions for Consideration:**

- The applicant proposes to:
  - Install new egress doors and a patio.

**Design Guideline Reference – See Guidelines for Windows and Doors (08) and Site elements and Streetscapes (09).**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING  
  
C**

250 MARKET STREET (LU-22-113) – PUBLIC HEARING #2 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT - ADD EGRESS DOORS AND PATIO -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 250 MARKET STREET Case No.: 2 Date: 7-6-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

111 STATE STREET (LU-22-125)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #3

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4
  - Land Use: Mixed-Use/ Commercial
  - Land Area: 2,875 SF +/-
  - Estimated Age of Structure: c.1825
  - Building Style: Federal
  - Number of Stories: 2.5
  - Historical Significance: C
  - Public View of Proposed Work: View from State and Sheafe Street.
  - Unique Features: NA
  - Neighborhood Association: Downtown

B. Proposed Work: To add a rear addition, replace windows & restore facade.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- This historic structure fronts along State Street with a rear yard along Sheafe Street. It is surrounded with many other historically-significant structures.

J. Staff Comments and/ or Suggestions for Consideration:

- The project proposal includes the following:
  - Adding a rear addition
  - Adding dormers
  - Adding a new elevator and stairwell for egress.
  - Façade restoration
  - Widow and door replacement on corner building.

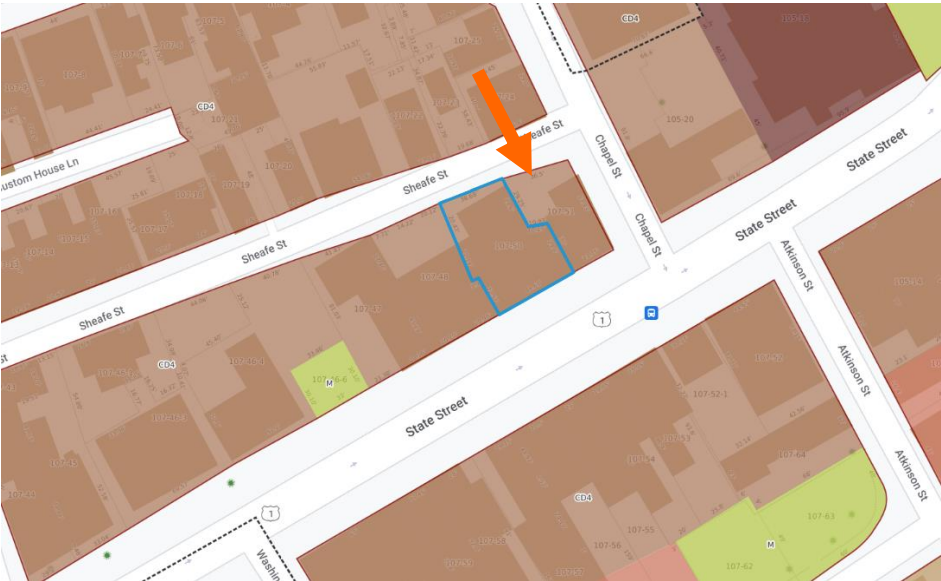
NOTE THAT A CUP MAY BE REQUIRED FROM THE PLANNING BOARD TO SUPPORT THE CHANGE OF USE.

Design Guideline Reference – Guidelines for Roofing (04), Windows and Doors (08) & Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Front and Rear Axonometric Drawings



Zoning Map

HISTORIC  
SURVEY  
RATING

C

111 STATE STREET (LU-22-125) – PUBLIC HEARING #3 (MODERATE PROJECT)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>- ADD REAR ADDITION &amp; DORMERS, REPLACE WINDOWS &amp; RESTORE FACADE -</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:111 STATE ST. Case No.: 3 Date: 7-6-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

**Project Address:** 1 CONGRESS ST. (LU-22-12)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** PUBLIC HEARING #4

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: CD4& CD5
  - Land Use: Commercial
  - Land Area: 13,940 SF +/-
  - Estimated Age of Structure: c1860 & 1892
  - Building Style: Italianate & Richardsonian Romanesque
  - Number of Stories: 3 & 3.5
  - Historical Significance: Contributing (1860) & Focal (1892)
  - Public View of Proposed Work: View from Congress and High Streets
  - Unique Features: NA
  - Neighborhood Association: Downtown

**B. Proposed Work:** To renovate the existing buildings and add a new 4-story building.

**C. Other Permits Required:**

- ☐ Board of Adjustment    ☐ Planning Board    ☐ City Council

**D. Lot Location:**

- ☐ Terminal Vista    ☐ Gateway    ☐ Mid-Block  
☒ Intersection / Corner Lot    ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished / Constructed:**

- ☒ Principal    ☐ Accessory    ☐ Demolition

**F. Sensitivity of Context:**

- ☐ Highly Sensitive    ☒ Sensitive    ☐ Low Sensitivity    ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)  
☒ Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- The new building is located market square and High Street with many contributing historic structures. The building front directly along the street with no front yard or side yard setbacks. The abutting parking lot previous had a three-story wood-frame hotel building.

**J. Staff Comments and/ or Suggestions for Consideration:**

- The applicant is proposing to:
  - Make significant renovations to the existing historic structures and add a three-story addition to fill the existing surface parking lot.
  - The project also proposes improvements to Haven Court as a pedestrian alleyway connecting to Fleet Street.

• **Design Guideline Reference – Guidelines for Commercial Development and Storefronts (12)**

**K. Aerial Image, Street View and Zoning Map:**



Elevation and Rendering of Proposed New Building



Zoning Map

**HISTORIC  
SURVEY  
RATING  
  
C**

1 CONGRESS ST. (LU-22-12) – PUBLIC HEARING #4 (MAJOR PROJECT)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<div>MAJOR PROJECT</div> <div>-ALTERATIONS TO EXISTING HISTORIC BUILDINGS &amp; ADD A 3.5-STORY BUILDING -</div>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
39	Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:1 CONGRESS ST. Case No.: 4 Date: 7-6-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Evaluation Form: **43 HOLMES COURT (LU-22-72)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **PUBLIC HEARING #5**

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: WB
  - Land Use: Single-Family
  - Land Area: 5,662 SF +/-
  - Estimated Age of Structure: c.1903
  - Building Style: Late Gothic Revival
  - Number of Stories: 1.5
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Holmes Court
  - Unique Features: NA
  - Neighborhood Association: South End

**B. Proposed Work:** To replace the existing house with a 2 story traditionally-designed house.

**C. Other Permits Required:**

- ☒ Board of Adjustment    ☐ Planning Board    ☐ City Council

**D. Lot Location:**

- ☒ Terminal Vista    ☐ Gateway    ☐ Mid-Block  
☐ Intersection / Corner Lot    ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal    ☐ Accessory    ☐ Significant Demolition

**F. Sensitivity of Context:**

- ☒ Highly Sensitive    ☐ Sensitive    ☐ Low Sensitivity    ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☒ Moderate Project (i.e. significant additions, alterations or expansions)  
☐ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- This historic structure is located at the terminal vista of Holmes Court in the South End. It is the only house on the block that is zoned Waterfront Business. The structure is surrounded with many wood-sided, 2.5 story contributing structures. Most buildings have a shallow front- and side-yard setbacks with deeper rear yards.

**J. Staff Comments and Suggestions for Consideration:**

- The applicant proposes to revise the previous approval for the following items:
  - Remove and replace the existing structure with a traditionally-design small house that is fully code compliant and is elevated out of the floodplain.

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)**

**K. Aerial Image, Street View and Zoning Map:**



Zoning Map

HISTORIC  
SURVEY  
RATING

C

43 HOLMES COURT (LU-22-72) – PUBLIC HEARING #5 (MODERATE)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT – REMOVAL & REPLACEMENT OF A SINGLE FAMILY HOUSE –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:43 HOLMES COURT Case No.:5 Date: 7-6-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

1 & 31 RAYNES AVE. (LUHD-234)  
CERTIFICATE OF APPROVAL  
WORK SESSION #A

- Existing Conditions:
- Zoning District: CD4
  - Land Use: Vacant / Gym
  - Land Area: 2.4 Acres +/-
  - Estimated Age of Structure: c.1960s
  - Building Style: Contemporary
  - Historical Significance: NA
  - Public View of Proposed Work: View from Maplewood and Raynes Ave.
  - Unique Features: NA
  - Neighborhood Association: Downtown

B. Proposed Work: To construct a 4 story mixed-use building and 5 story hotel.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

D. Lot Location:

- ☒ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building(s) is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

J. Staff Comments and/ or Suggestions for Consideration:

- The Application is proposing to:
- Demolish the existing buildings and replace them with two multi-story buildings including a hotel and a mixed-use building with ground floor commercial and upper story residential apartments.
  - The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Mixed-Use and Hotel Building Renderings



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
C

1 & 31 RAYNES AVE. (LUHD-234) – WORK SESSION #A (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT – CONSTRUCT A 4 STORY MIXED-USE BUILDING AND 5 STORY HOTEL –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:1 & 31 Raynes Ave. Case No.:A Date: 7-13-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Evaluation Form: 179 PLEASANT STREET (LUHD-463)  
Permit Requested: CERTIFICATE OF APPROVAL  
Meeting Type: WORK SESSION #B

- A. Property Information - General:**  
**Existing Conditions:**
- Zoning District: MRO
  - Land Use: Single- Family
  - Land Area: 32,410 SF +/-
  - Estimated Age of Structure: c.1860
  - Building Style: Georgian
  - Number of Stories: 2.5
  - Historical Significance: Focal
  - Public View of Proposed Work: View from Pleasant Street
  - Unique Features: Thomas Thompson House
  - Neighborhood Association: South End

**B. Proposed Work:** To renovate the accessory buildings.

- C. Other Permits Required:**
- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

- D. Lot Location:**
- ☒ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

- E. Existing Building to be Altered/ Demolished:**
- ☒ Principal
- ☐ Accessory
- ☐ Significant Demolition

- F. Sensitivity of Context:**
- ☒ Highly Sensitive
- ☐ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

- G. Design Approach (for Major Projects):**
- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

- H. Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

- I. Neighborhood Context:**
- This focal historic structure is located along Pleasant Street and sits at the terminal vista of Junkins Ave. The structure is surrounded with many wood-sided, 2.5-3 story contributing structures. Most buildings have a shallow front- and side-yard setbacks and deep rear yards.

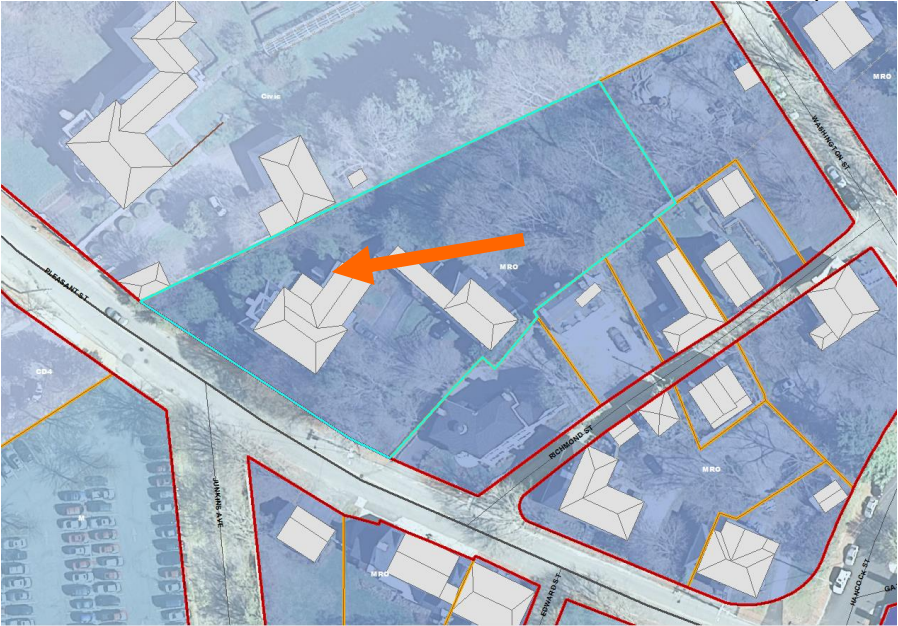
- J. Staff Comments and Suggestions for Consideration:**
- The applicant proposes to revise the previous approval for the following items:
    - Add a radius connector to the main house and T-Shaped addition that connects to the renovated carriage house.

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)**

**K. Aerial Image, Street View and Zoning Map:**



Bird's Eye View



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**F**



179 PLEASANT STREET (LUHD-463) – WORK SESSION #D (MODERATE)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT – SUBSTANTIAL RENOVATIONS TO THE OUTBUILDINGS –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:179 PLEASANT STREET Case No.:b Date: 7-13-22

Decision: ☐ Approved ☐ Continued ☐ Approved with Stipulations ☐ Postponed ☐ Denied ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
- Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Evaluation Form: **161 DEER STREET (LUHD-462)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **WORK SESSION #C**

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: CD5
  - Land Use: Commercial
  - Land Area: 22,650 SF +/-
  - Estimated Age of Structure: c.1970
  - Building Style: Contemporary
  - Number of Stories: 1
  - Historical Significance: Non-Contributing
  - Public View of Proposed Work: View from Maplewood Ave. and Deer Street
  - Unique Features: Former Rail Station
  - Neighborhood Association: North End

**B. Proposed Work:** To replace the existing building with a 4 ½ story mixed-use building.

**C. Other Permits Required:**

- ☒ Board of Adjustment      ☒ Planning Board      ☐ City Council

**D. Lot Location:**

- ☒ Terminal Vista      ☐ Gateway      ☒ Mid-Block  
☐ Intersection / Corner Lot      ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal      ☐ Accessory      ☐ Significant Demolition

**F. Sensitivity of Context:**

- ☐ Highly Sensitive      ☐ Sensitive      ☒ Low Sensitivity      ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)  
☒ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

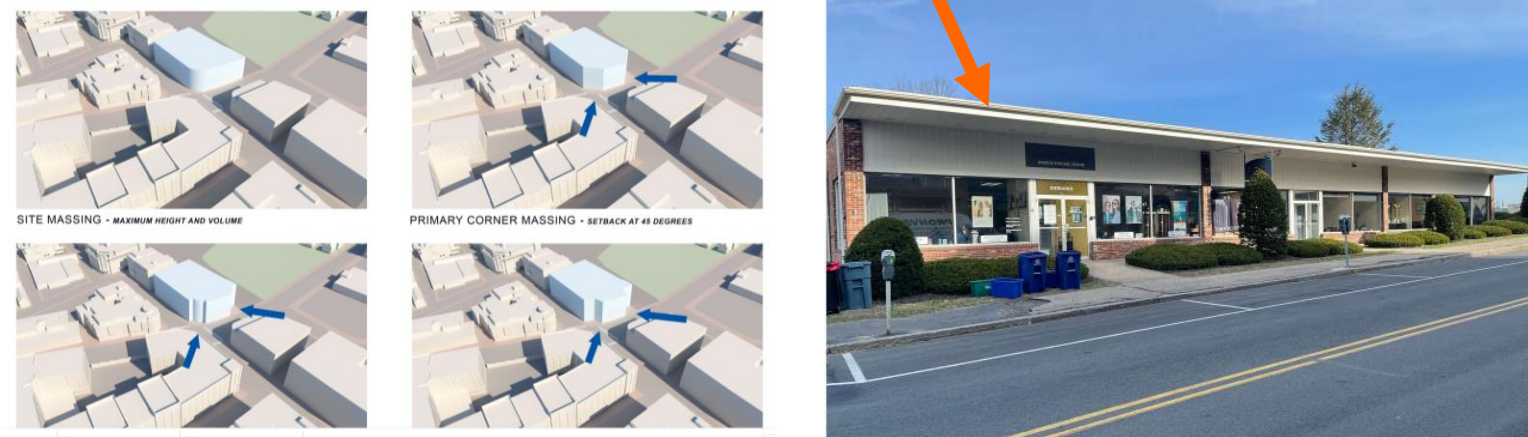
- This property is located within the Urban Renewal Area of the North End. The existing building was constructed in the 1970s and is non-contributing. . The structure is surrounded with many brick non-contributing structure constructed in the 1960s-1980s. Many building in the surrounding neighborhood are now being replaced with multi-story, mixed-use buildings.

**J. Staff Comments and Suggestions for Consideration:**

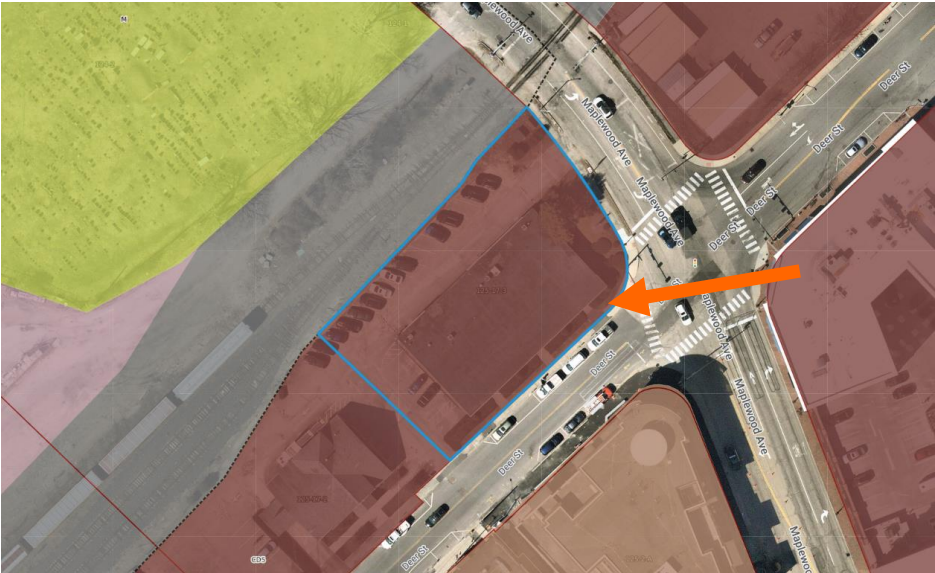
- The applicant proposes to revise the previous approval for the following items:
  - Remove the existing building.
  - Construct a 4 story building with a penthouse on the 5<sup>th</sup> floor.
- **NOTE THAT NEW PLANS WILL BE AVAILABLE PRIOR TO THE 6/13/22.**

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING  
  
C**

161 DEER STREET (LUHD-462) – WORK SESSION #C (MAJOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MAJOR PROJECT – NEW 4 STORY INFILL BUILDING WITH A PENTHOUSE LEVEL –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:161 DEER STREET Case No.:C Date: 7-13-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied

☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

L. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
- Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

324 MAPLEWOOD AVE. (LUHD-481)  
CERTIFICATE OF APPROVAL  
WORK SESSION #1

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4-L2
  - Land Use: Mixed-Use
  - Land Area: 3,050 SF +/-
  - Estimated Age of Structure: c.1948
  - Building Style: Commercial
  - Number of Stories: 1.0
  - Historical Significance: NC
  - Public View of Proposed Work: View from Dennett Street and Maplewood Ave.
  - Unique Features: NA
  - Neighborhood Association: Christian Shore

B. Proposed Work: To renovate the existing building for a single family use.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☐ Sensitive
- ☒ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

L. Neighborhood Context:

- This building is located along Maplewood Ave. The property is surrounded with many modern and historically significant structures. The structures in this neighborhood have shallow setbacks along the street and narrow side yards and deeper rear yards.

M. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

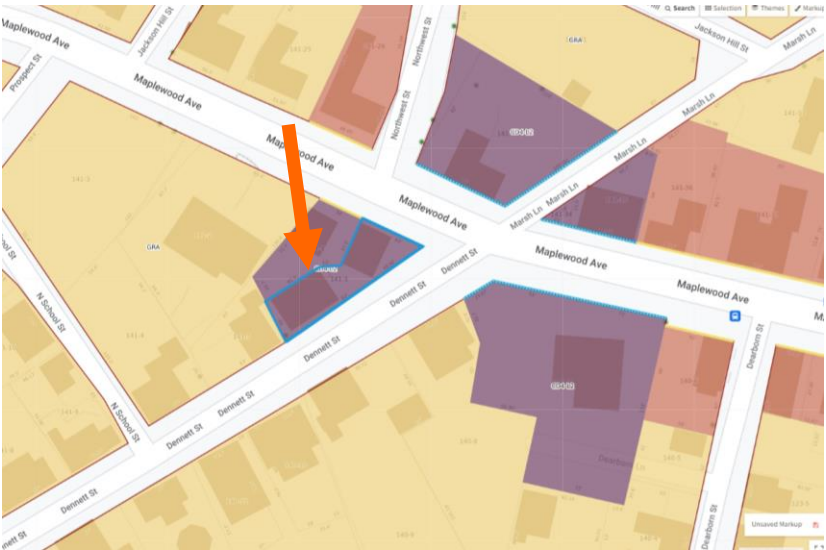
- Clad the exterior walls with clapboards
- Add windows and doors.
- Convert the accessory structure for a residential use.

Design Guideline Reference – Guidelines for Windows and Doors (08).

J. Aerial Image, Street View and Zoning Map:



Street View Image & Proposed Elevation



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
C

324 MAPLEWOOD AVE. (LUHD-481) – WORK SESSION #1 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT - EXTERIOR CLADDING, WINDOWS AND DOORS -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 324 MAPLEWOOD AVE Case No.: 1 Date: 7-13-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

9 SHEAFE ST. (LUHD-489)  
CERTIFICATE OF APPROVAL  
WORK SESSION #2

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4
  - Land Use: Mixed-Use
  - Land Area: 1,290 SF +/-
  - Estimated Age of Structure: c.1820
  - Building Style: Federal
  - Number of Stories: 3
  - Historical Significance: C
  - Public View of Proposed Work: View from Sheafe St. and Custom House Way
  - Unique Features: NA
  - Neighborhood Association: Downtown

B. Proposed Work: To replace 16 windows.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This building is located along Sheafe Street and Custom House Way. The property is surrounded with many historically significant brick-sided structures. The structures in this neighborhood have little to no front yard setbacks along the street and narrow side and rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

- The Applicant is proposing to:
- Replace 16 existing double hung wood windows with 6/6 Marvin Integrity windows.
  - Proposed to fit in the existing openings.
  - Note that a half screen should be required.
  - Additional windows specifications will be provided at the meeting.

Design Guideline Reference – Guidelines for Windows and Doors (08).

K. Aerial Image, Street View and Zoning Map:

Proposed Window Replacement

- Marvin Ultimate Double Hung G2
  - Double Hung Window
  - 6 over 6
  - Simulated Divided Lite
  - Wood frame and Grille
  - All windows same width
  - First & second floor same height
  - Third floor shorter height
  - Windows will be custom built to remain same size as present sizes

MARVIN

Simulated Divided Lite with Spacer Bar (SDSL)

Based on 100 years on the streets of the globe, a window line is considered between the glass, creating an ever closer look to the Authentic Divided Lite look.








Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING

C

9 SHEAFE ST. (LUHD-489) – WORK SESSION #2 (MINOR)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: <u>9 SHEAFE ST.</u> Case No.: <u>2</u> Date: <u>7-13-22</u></div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied</div> <div><input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)			
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)	MINOR PROJECT - REPLACE 16 WINDOWS -						
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width (ROW) Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

33 RICHMOND ST. (LUHD-491)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #3

A. Property Information - General:

- Existing Conditions:
- Zoning District: MRO
  - Land Use: Two-Family
  - Land Area: 3,920 SF +/-
  - Estimated Age of Structure: c.1800
  - Building Style: Federal
  - Number of Stories: 2
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Richmond Street
  - Unique Features: NA
  - Neighborhood Association: South End

B. Proposed Work: To replace sunroom, windows and siding.

C. Other Permits Required:

- ☒ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

J. Neighborhood Context:

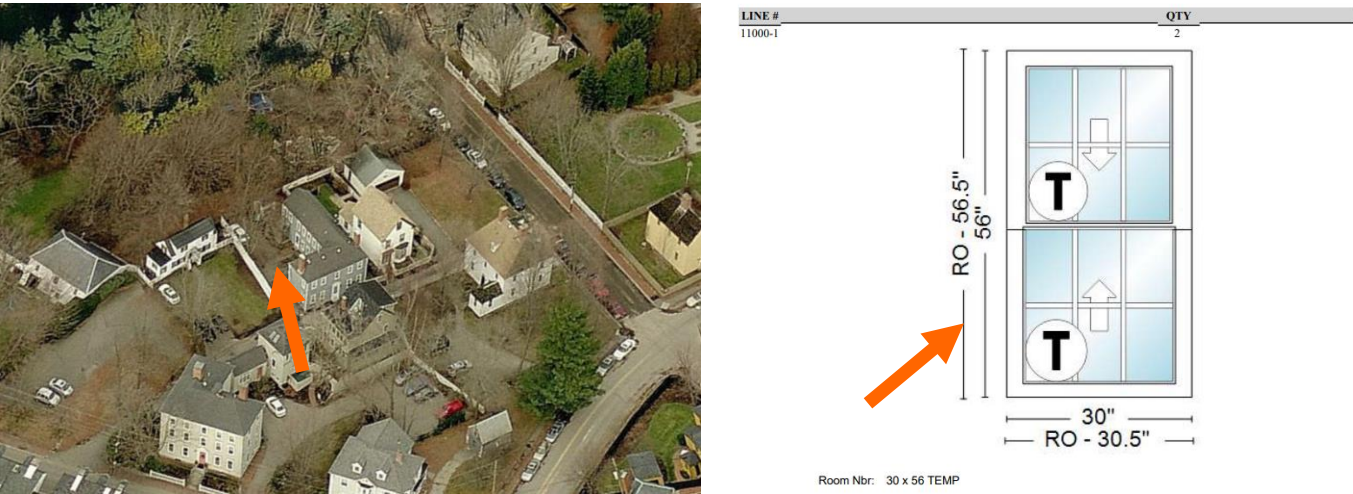
- The property is located along Richmond Street. It is surrounded with many wooden framed 2.5 story historic structures with shallow front yard setbacks with narrow side yards.

L. Staff Comments and/ or Suggestions for Consideration:

- This application proposes to:
- Replace the existing windows and siding.
  - Note that Hardi-Plank is requested for the siding material as well as Harvey vinyl-clad windows.

Design Guideline Reference – Guidelines for Windows and Doors (08) and Small Scale New Construction & Additions (10)

M. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING

C

33 RICHMOND ST. (LUHD-491) – WORK SESSION #3 (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No.	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT – REPLACE SIDING AND WINDOWS ONLY –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 33 RICHMOND STREET Case No.: 3 Date: 7-13-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



**LU-20-71****Land Use Application****Status:** Active**Date Created:** Apr 28, 2020**Applicant**

Anne Whitney  
archwhit@aol.com  
801 Islington St, Suite 32  
Portsmouth, NH 03801  
603-502-4387

**Location**

138 MAPLEWOOD AVE  
Portsmouth, NH 03801

**Owner:**

PANTELAKOS DONNA P REV TRUST & PANTELAKOS G T & D P  
TRUSTEES  
138 MAPLEWOOD AVE PORTSMOUTH, NH 03801

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above



**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications



**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)



**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work



**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line



**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**



**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



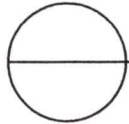


VIEW FROM DRIVEWAY ENTRY

10" DIA. TAPERED  
FIBERGLASS COLUMNS



EXISTING GARAGE SOUTH VIEW

 SOUTH ELEVATION  
SCALE : 3/16" = 1'-0"

<p>SCHEMATIC DESIGN</p> <p>GARAGE 2ND FLOOR ADDITION &amp; RENOVATIONS</p> <p>PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH</p>	<p>9 Sheafe Street Portsmouth NH 03801 603-427-2832</p> <p><b>ANNE WHITNEY ARCHITECT</b></p>	<p>Project: <b>2004</b></p> <p>Revisions: 4 / 24 / 20 6 / 8 / 20</p>	<p>Date: 3 / 13 / 20</p> <p>1 OF 5</p>
---	--	--	--





WEST ELEVATION  
SCALE : 3/16" = 1'-0"



VIEW FROM ACROSS NORTH MILL POND



VIEW FROM WEST YARD

SCHEMATIC DESIGN

GARAGE 2ND FLOOR ADDITION & RENOVATIONS

PANTELAKOS 133 MAPLEWOOD AVE PORTSMOUTH, NH

9 Sheafe Street  
Portsmouth  
NH 03801  
603-427-2832

ANNE WHITNEY ARCHITECT

Project: # 2004 Date: 3/13/20

Revisions:  
4/24/20  
6/8/20 2 OF 5

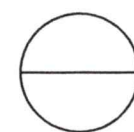
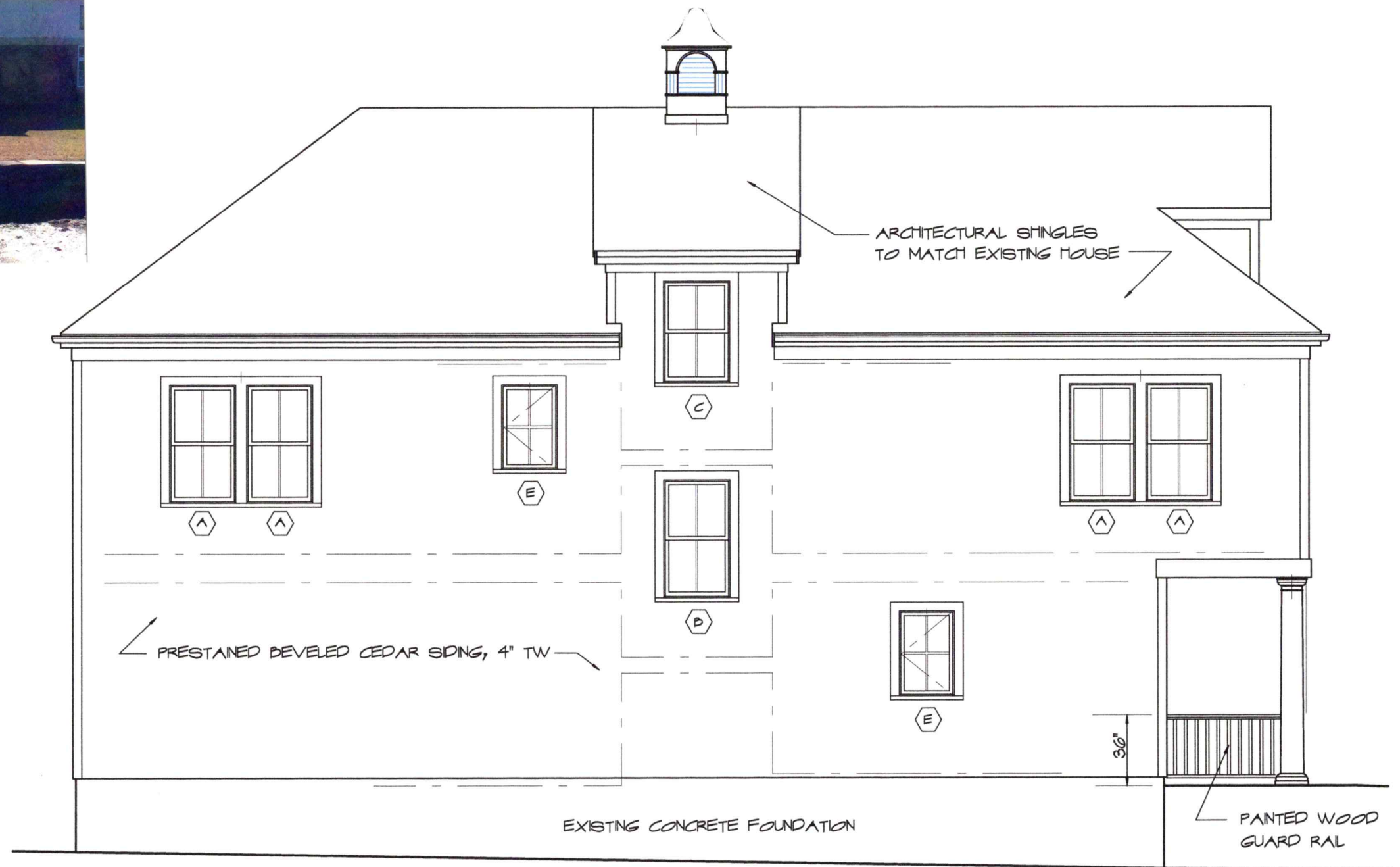




VIEW FROM NORTH MILL POND BRIDGE



VIEW FROM MAPLEWOOD AVE



NORTH ELEVATION  
SCALE : 3/16" = 1'-0"

SCHEMATIC DESIGN

GARAGE 2ND FLOOR ADDITION & RENOVATIONS

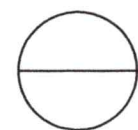
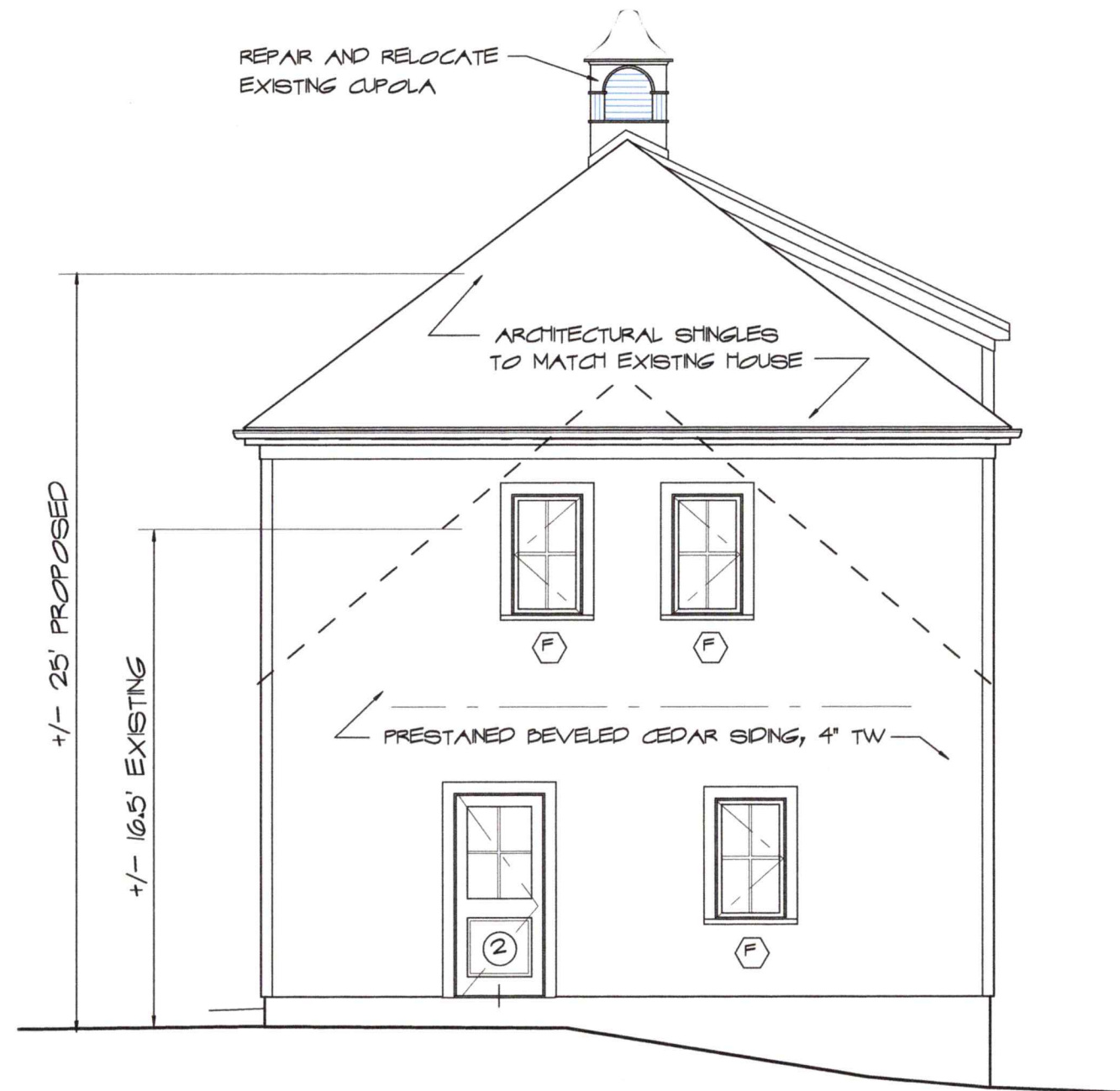
PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH

9 Sheafe Street  
Portsmouth  
NH 03801  
603-427-2832

ANNE WHITNEY ARCHITECT

Project: #2004	Date: 3/13/20
Revisions: 4/24/20 6/8/20	3 OF 5





EAST ELEVATION

SCALE : 3/16" = 1'-0"



EXISTING CUPOLA



EXISTING EAST ELEVATION

SCHEMATIC DESIGN

GARAGE 2ND FLOOR ADDITION & RENOVATIONS

PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH

9 Sheafe Street  
Portsmouth  
NH 03801  
603-427-2832

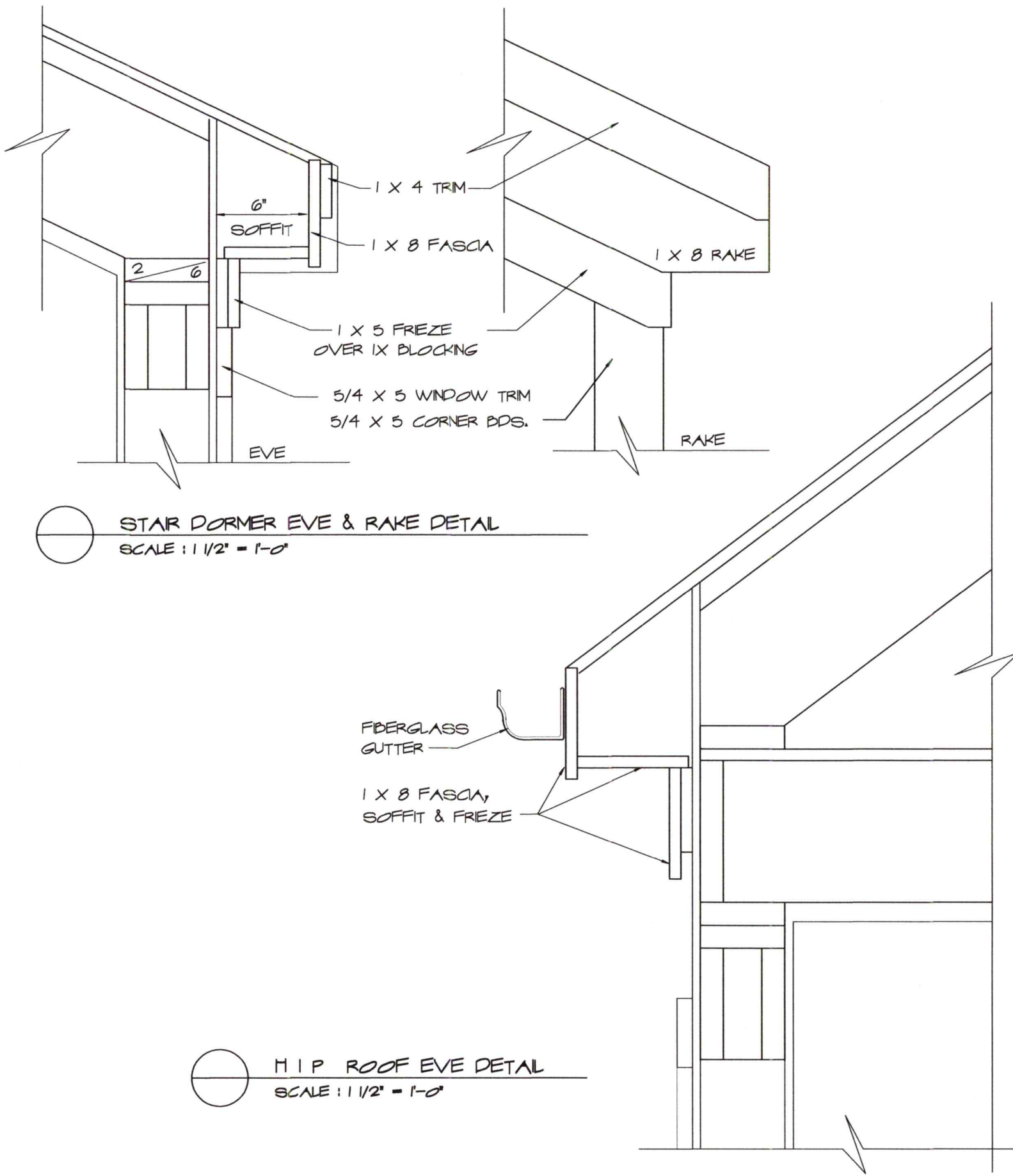
ANNE WHITNEY ARCHITECT

Project: 2004

Date: 3/13/20

Revisions:  
4/24/20  
6/8/20

4 OF 5



STAR DORMER EVE & RAKE DETAIL  
SCALE : 1 1/2" = 1'-0"

HIP ROOF EVE DETAIL  
SCALE : 1 1/2" = 1'-0"

W I N D O W S C H E D U L E

SYMBOL	UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
A	ELDH 3260	2/2	2'-8 1/2" X 5'-0 1/4"	MARVIN INC., ELEVATE, DOUBLE-HUNG, 7/8" SDL, Low E Glazing, Stone White Cladding Hardware to be chosen by owner, in 2x6 wall.	14
B	ELDH 3260	2/2	2'-8 1/2" X 5'-0 1/4"	DITTO, Tempered	1
C	ELDH 3252	2/2	2'-8 1/2" X 4'-4 1/4"	DITTO, Tempered	1
D	ELAWN 2943	4	2'-5" X 3'-7 1/4"	MARVIN INC., ELEVATE, AWNING, 7/8" SDL, Low E Glazing, Stone White Cladding Hardware to be chosen by owner, in 2x6 wall.	2
E	ELCA 2943	4	2'-5" X 3'-7 1/4"	MARVIN INC., ELEVATE, CASEMENT, 7/8" SDL, Low E Glazing, Stone White Cladding Hardware to be chosen by owner, in 2x6 wall.	2 L 2 R 1 Fix
F	ELCA 2947 E	4	2'-5" X 3'-11 1/4"	DITTO, Egress	1 L 2 R
G	ELCA 3347 E	4	2'-9" X 3'-11 1/4"	DITTO, Egress	1 R
H	ELCA 2135	2	1'-9" X 2'-11 5/8"	DITTO	1 L 1 R

E X T E R I O R D O O R S C H E D U L E

SYMBOL	UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
1	CCV930 SDL	3	38 1/2" x 82 1/2"	THERMA-TRU, CLASSIC-CRAFT CANVAS FIBERGLASS ENTRY DOOR with 7/8" SDL, 3 Lite, see Elevation Low-E Glazing, Hardware to be chosen by owner.	1
2	S6021	4	38 1/2" x 82 1/2"	THERMA-TRU, SMOOTH STAR FIBERGLASS ENTRY DOOR, Flush Glazed with 7/8" SDL, 4 Lite, see Elevation Low-E Glazing, Hardware to be chosen by owner.	1
3	ELIFD 6068 OX / 3068	6	9' 0 5/16" x 6' 10 1/2"	MARVIN INC., ELEVATE, INSWING FRENCH DOOR, 7/8" SDL, Low E Glazing, Stone White Cladding Hardware to be chosen by owner, in 2x6 wall.	1
4	9' 0" x 7' 6" Model # 444	0		OVERHEAD DOOR CO., Traditional Wood Collection, Flush Panel, Painted Wood,	2
4*				Ditto, Panels Fixed in place	1

WINDOW & EXTERIOR DOOR NOTES :

- SUBMIT FINAL WINDOW/EXT. DOOR ORDER & SHOP DRAWINGS TO ARCHITECT FOR APPROVAL BEFORE ORDERING
- BUILDER TO VERIFY ROUGH OPENINGS.

SCHEMATIC DESIGN

ANNE WHITNEY ARCHITECT

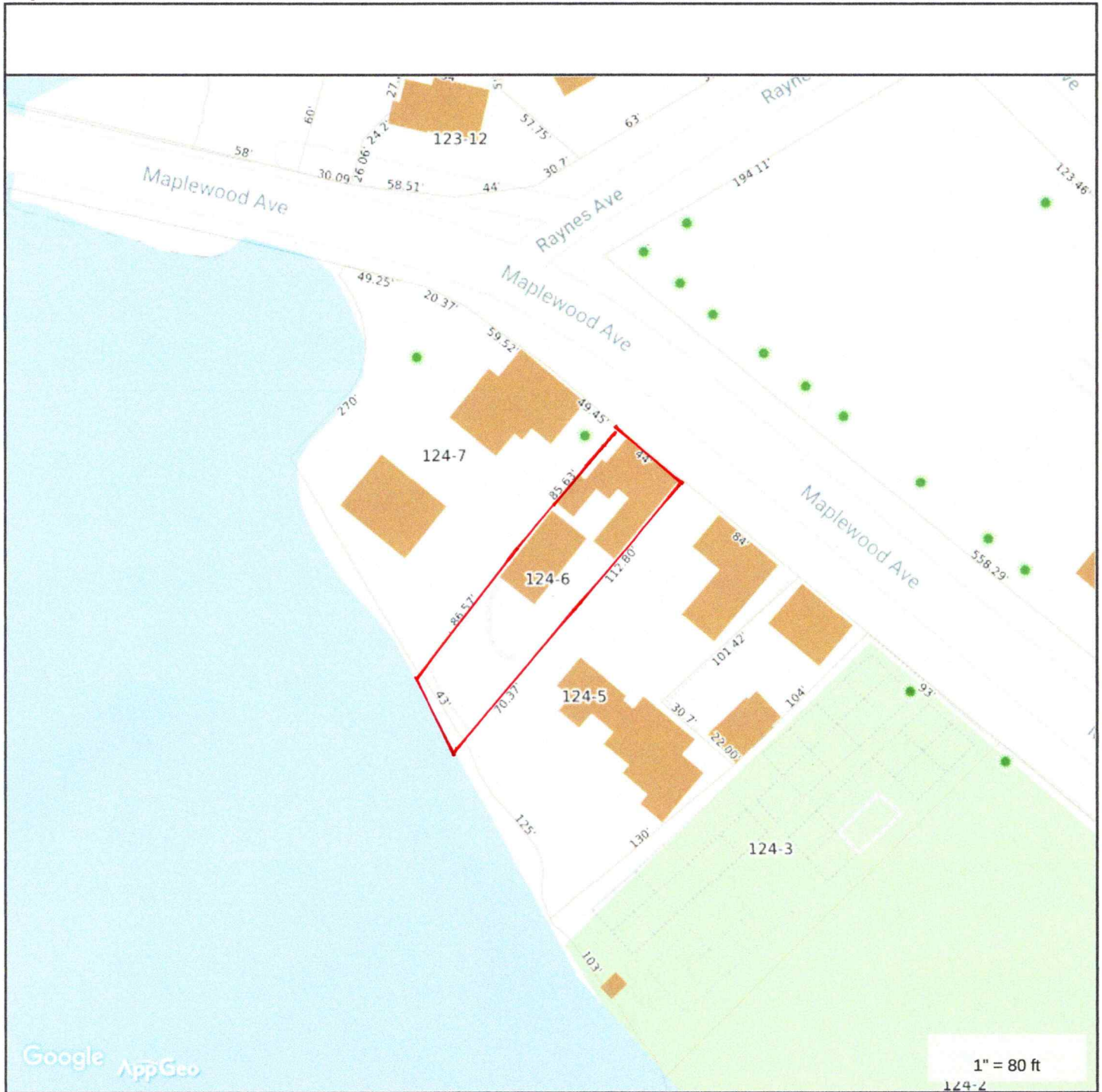
GARAGE 2ND FLOOR ADDITION & RENOVATIONS

PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH

9 Sheafe Street  
Portsmouth  
NH 03801  
603-427-2832

Project: 2004  
Date: 6/8/20  
Revisions:  
5 OF 5





**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019  
Data updated 7/17/2019

*138 Maplewood Ave*

# MARVIN ELEVATE™ COLLECTION

## DOUBLE HUNG

MO (mm)	1-10 (559)	2-2 (660)	2-6 (762)	2-8 (813)	2-10 (864)
RO (mm)	1-10 1/2 (572)	2-2 1/2 (673)	2-6 1/2 (775)	2-8 1/2 (826)	2-10 1/2 (876)
FS (mm)	1-9 1/2 (546)	2-1 1/2 (648)	2-5 1/2 (749)	2-7 1/2 (800)	2-9 1/2 (851)
DLO (mm)	1-3 11/16 (398)	1-7 11/16 (500)	1-11 11/16 (602)	2-1 11/16 (652)	2-3 11/16 (703)

4-0 (1219) 4-0 1/4 (1226) 3-11 3/4 (1213) 1-7 11/16 (500)	(S.O. 1-8 x 3-10) ELDH2248	(S.O. 2-0 x 3-10) ELDH2648	(S.O. 2-4 x 3-10) ELDH3048	(S.O. 2-6 x 3-10) ELDH3248	(S.O. 2-8 x 3-10) ELDH3448
4-4 (1321) 4-4 1/4 (1327) 4-3 3/4 (1314) 1-9 11/16 (551)	(S.O. 1-8 x 4-2) ELDH2252	(S.O. 2-0 x 4-2) ELDH2652	(S.O. 2-4 x 4-2) ELDH3052	(S.O. 2-6 x 4-2) ELDH3252	(S.O. 2-8 x 4-2) ELDH3452
4-8 (1422) 4-8 1/4 (1429) 4-7 3/4 (1416) 1-11 11/16 (602)	(S.O. 1-8 x 4-6) ELDH2256	(S.O. 2-0 x 4-6) ELDH2656	(S.O. 2-4 x 4-6) ELDH3056	(S.O. 2-6 x 4-6) ELDH3256	(S.O. 2-8 x 4-6) ELDH3456
5-0 (1524) 5-0 1/4 (1530) 4-11 3/4 (1518) 2-1 11/16 (652)	(S.O. 1-8 x 4-10) ELDH2260	(S.O. 2-0 x 4-10) ELDH2660	(S.O. 2-4 x 4-10) ELDH3060	(S.O. 2-6 x 4-10) ELDH3260	(S.O. 2-8 x 4-10) ELDH3460

# MARVIN ELEVATE™ COLLECTION

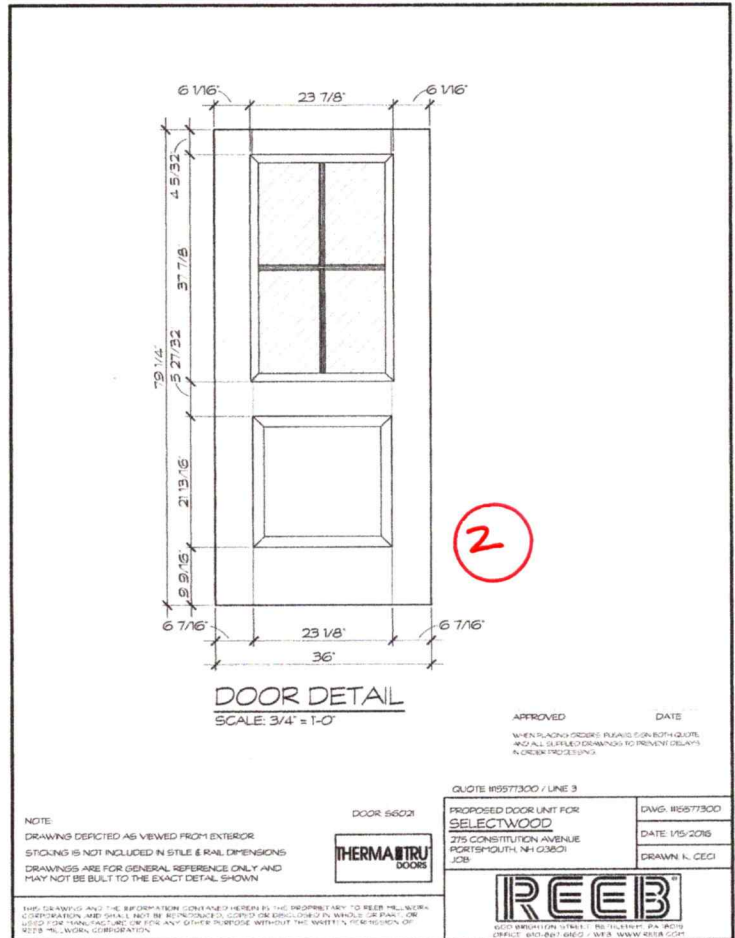
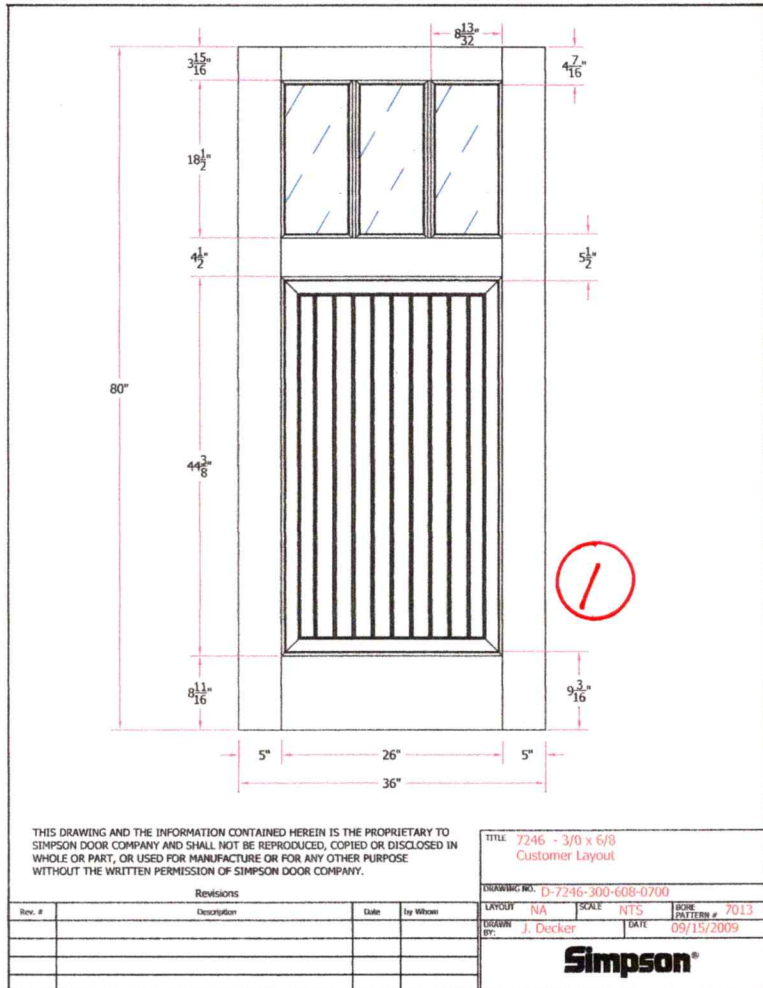
## CASEMENT

MO (mm)	1-4 1/2 (419)	1-8 1/2 (521)	2-0 1/2 (622)	2-4 1/2 (724)	2-8 1/2 (826)	3-0 1/2 (927)
RO (mm)	1-5 (432)	1-9 (533)	2-1 (635)	2-5 (737)	2-9 (838)	3-1 (940)
FS (mm)	1-4 (406)	1-8 (508)	2-0 (610)	2-4 (711)	2-8 (813)	3-0 (914)
DLO (mm)	0-10 25/32 (274)	1-2 25/32 (376)	1-6 25/32 (477)	1-10 25/32 (579)	2-2 25/32 (680)	2-6 25/32 (782)

2-7 3/8 (797) 2-7 5/8 (803) 2-7 1/8 (791) 2-1 29/32 (658)	ELCA1731	ELCA2131	ELCA2531	ELCA2931	ELCA3331	ELCA3731
2-11 3/8 (898) 2-11 5/8 (905) 2-11 1/8 (892) 2-5 29/32 (760)	ELCA1735	ELCA2135	ELCA2535	ELCA2935	ELCA3335	ELCA3735 E*
3-3 3/8 (1000) 3-3 5/8 (1006) 3-3 1/8 (994) 2-9 29/32 (861)	ELCA1739	ELCA2139	ELCA2539	ELCA2939	ELCA3339	ELCA3739 E*
3-7 1/2 (1105) 3-7 3/4 (1111) 3-7 1/4 (1099) 3-2 1/32 (966)	ELCA1743	ELCA2143	ELCA2543	ELCA2943 E	ELCA3343 E	ELCA3743 E
3-11 3/8 (1203) 3-11 5/8 (1210) 3-11 1/8 (1197) 3-5 29/32 (1065)	ELCA1747	ELCA2147	ELCA2547	ELCA2947 E	ELCA3347 E	ELCA3747 E
4-7 3/8 (1406) 4-7 5/8 (1413) 4-7 1/8 (1400) 4-1 29/32 (1266)	ELCA1755	ELCA2155	ELCA2555	ELCA2955 E	ELCA3355 E	ELCA3755 E





The Genuine. The Original.



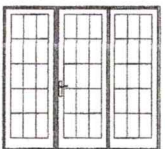
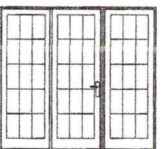
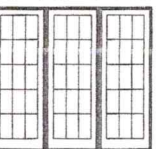
## Traditional Wood Collection

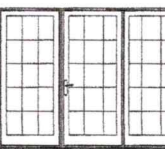
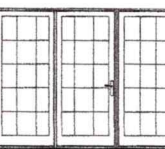
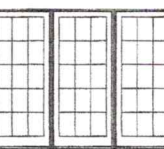
Flush panel wood garage doors

Traditional Wood flush panel garage doors offer modern simplicity. The smoothness of the flush panel design suits a variety of architectural styles, from traditional to modern. For a contemporary or minimalist look, the flush panel garage doors are an ideal fit.

## INSWING FRENCH DOOR

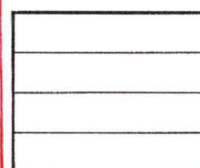
Multiple Assemblies – 3 Panel

MO (mm)	7-5 13/16 (2281)	7-5 13/16 (2281)	7-7 7/16 (2323)
RO (mm)	7-6 5/16 (2294)	7-6 5/16 (2294)	7-7 15/16 (2335)
FS (mm)	7-5 5/16 (2269)	7-5 5/16 (2269)	7-6 15/16 (2310)
6-10 1/4 (2089)			
6-10 1/2 (2096)	ELIFD2668 / ELIFD5068 XO	ELIFD5068 OX / ELIFD2668	ELIFD2668 / ELIFD2668 / ELIFD2668
6-10 (2083)			

MO (mm)	8-11 13/16 (2738)	8-11 13/16 (2738)	9-1 7/16 (2780)
RO (mm)	9-0 5/16 (2751)	9-0 5/16 (2751)	9-1 15/16 (2792)
FS (mm)	8-11 5/16 (2726)	8-11 5/16 (2726)	9-0 15/16 (2767)
6-10 1/4 (2089)			
6-10 1/2 (2096)	ELIFD3068 / ELIFD6068 XO	ELIFD6068 OX / ELIFD3068	ELIFD3068 / ELIFD3068 / ELIFD3068
6-10 (2083)			

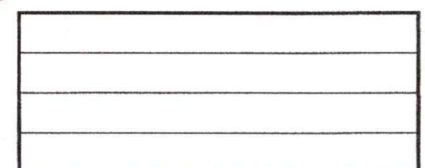
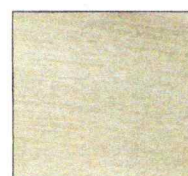
### Panel styles

Model 444



Solid arched top is optional.

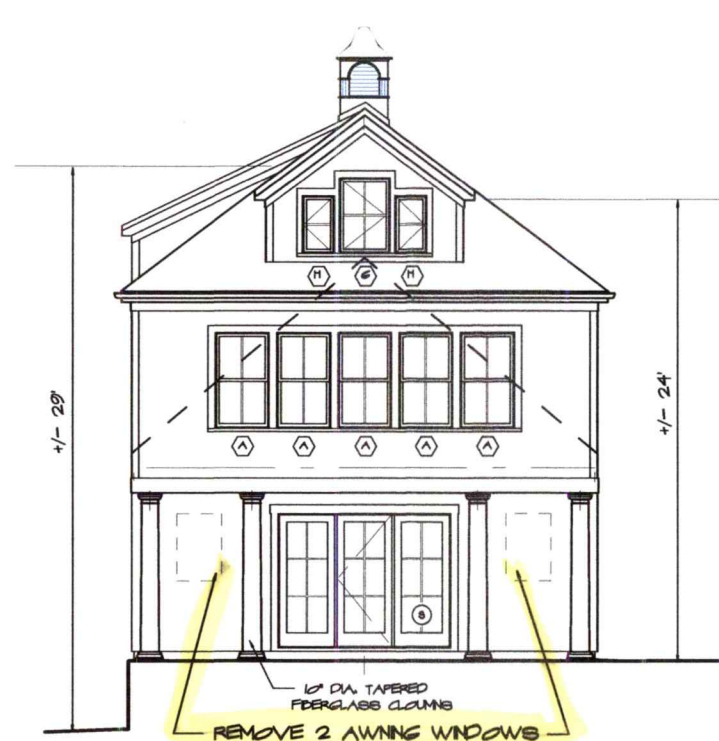
Natural wood



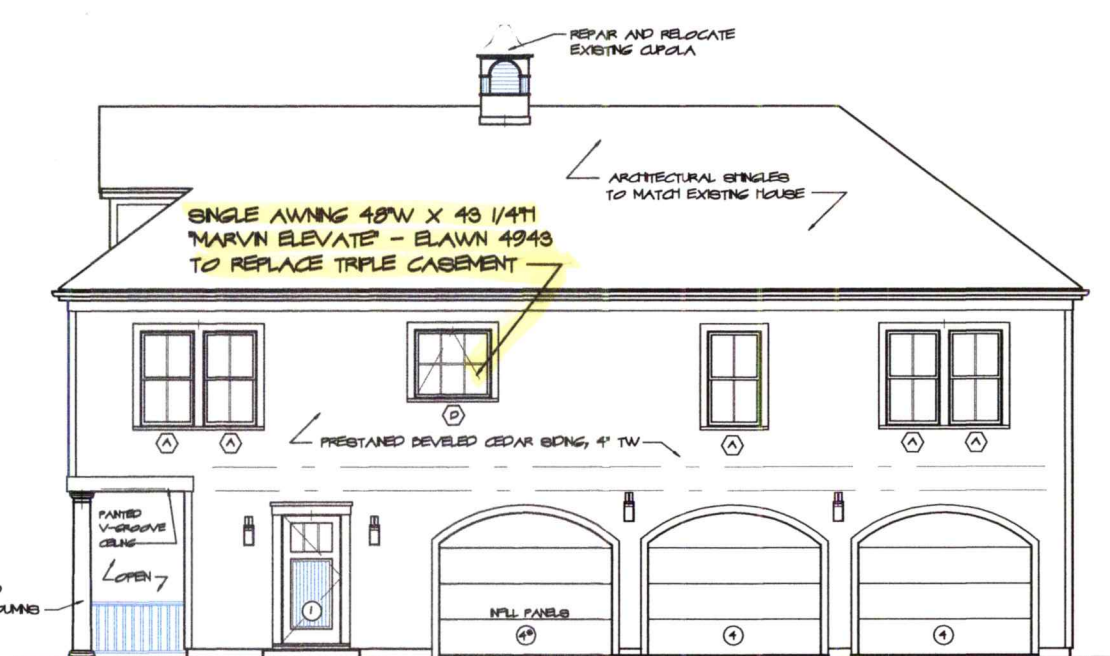
Primed wood



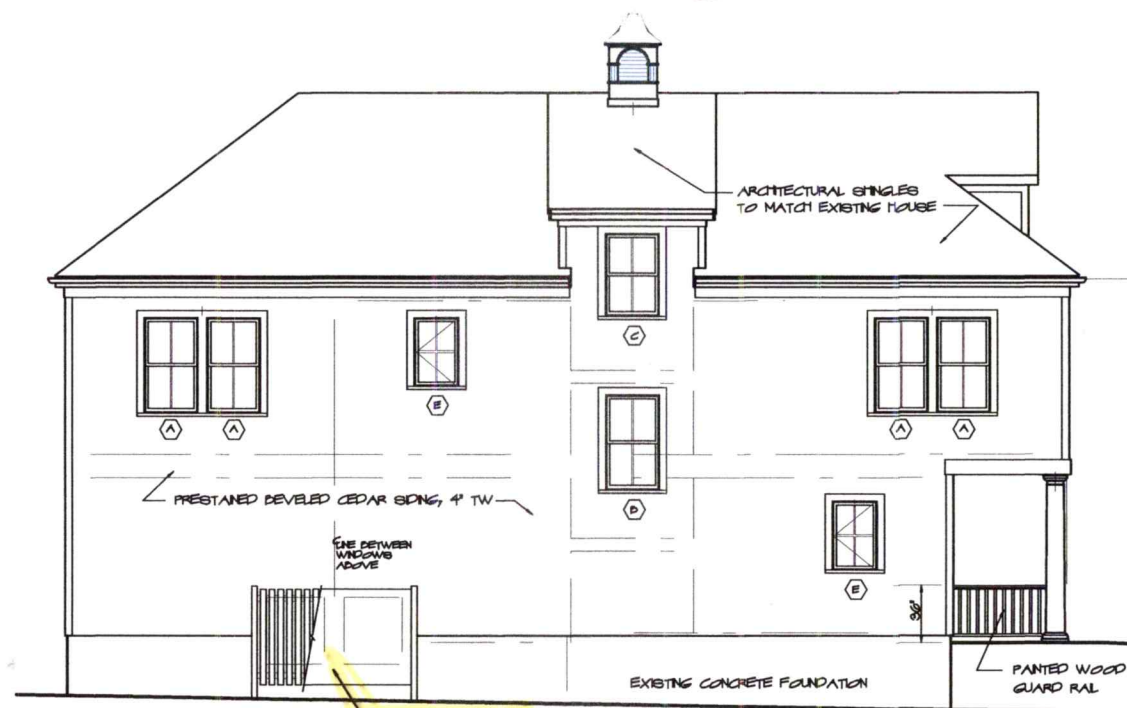
All model panels have a total thickness of 1-3/8". Doors over 10' wide will have a vertical center seam.



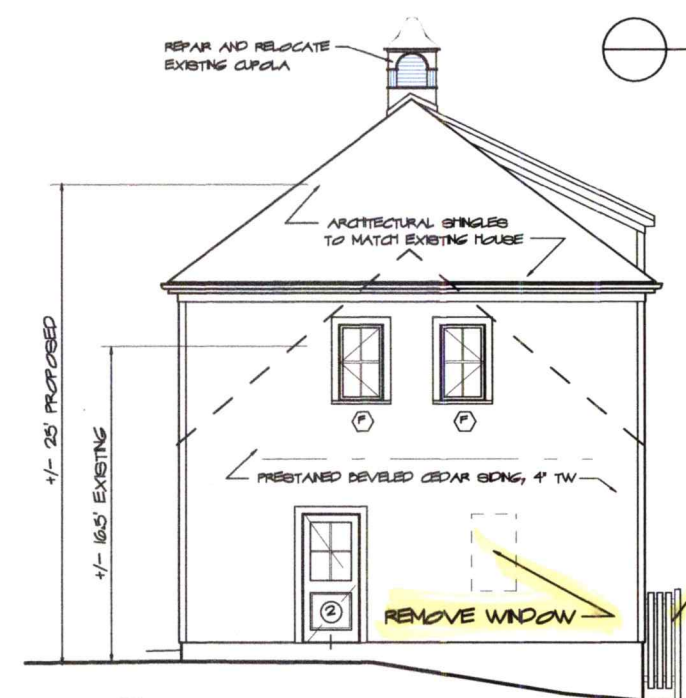
WEST ELEVATION  
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"



NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



EAST ELEVATION  
SCALE: 3/16" = 1'-0"

CHANGES TO JULY 2020 HDC APPROVAL SCALE = 1" = 10'

1. REMOVE 2 AWNING WINDOWS FROM WEST ELEVATION
2. CHANGE TRIPLE CASEMENT TO SINGLE AWNING AT SOUTH ELEVATION
3. REMOVE CASEMENT AT EAST ELEVATION
4. ADD HEAT PUMPS & ENCLOSURE AT NORTH ELEVATION PENDING APPROVAL FROM BOARD OF ADJUSTMENT

HEAT PUMP LOCATION  
WITH 3 SIDED WOOD  
SLATTED ENCLOSURE  
PAINTED WHITE  
FIELD DET. SIZE

HEAT PUMP LOCATION  
WITH 3 SIDED WOOD  
SLATTED ENCLOSURE  
PAINTED WHITE  
FIELD DET. SIZE

ELEVATION NOTE:  
DO NOT SCALE ELEVATIONS. FOR DIMENSIONS, DETAILS & MATERIALS,  
SEE FLOOR PLAN & SECTION DRAWINGS

<b>EXTERIOR ELEVATIONS</b> GARAGE 2ND FLOOR ADDITION & RENOVATIONS PANTALAKOS RESIDENCE 188 MAPLEWOOD AVE. PORTSMOUTH, NH		9 Shesha Street Portsmouth NH 02870 603-427-2892	<b>ANNE WHITNEY ARCHITECT</b> Project: 2002 Date: 10/14/20 Revisions: 1/18/21 <b>A-6</b>
---	--	---	--



9 Sheafe Street  
Portsmouth  
NH 03801  
603-427-2832

**ANNE WHITNEY ARCHITECT**

138 MAPLEWOOD AVE.  
EXISTING & PROPOSED LOT PLAN  
SCALE 1" = 10'-0" 4/22/2020

NOTE: EXISTING AND PROPOSED ARE OVERLAYED  
ON EXISTING SURVEY PLAN JULY 29, 1997  
BY MILLETTE, SPRAGUE & COLWELL, INC.,  
ANNE WHITNEY ARCHITECT, FIELD MEASURED  
AND DRAFTED CURRENT EXISTING CONDITIONS.

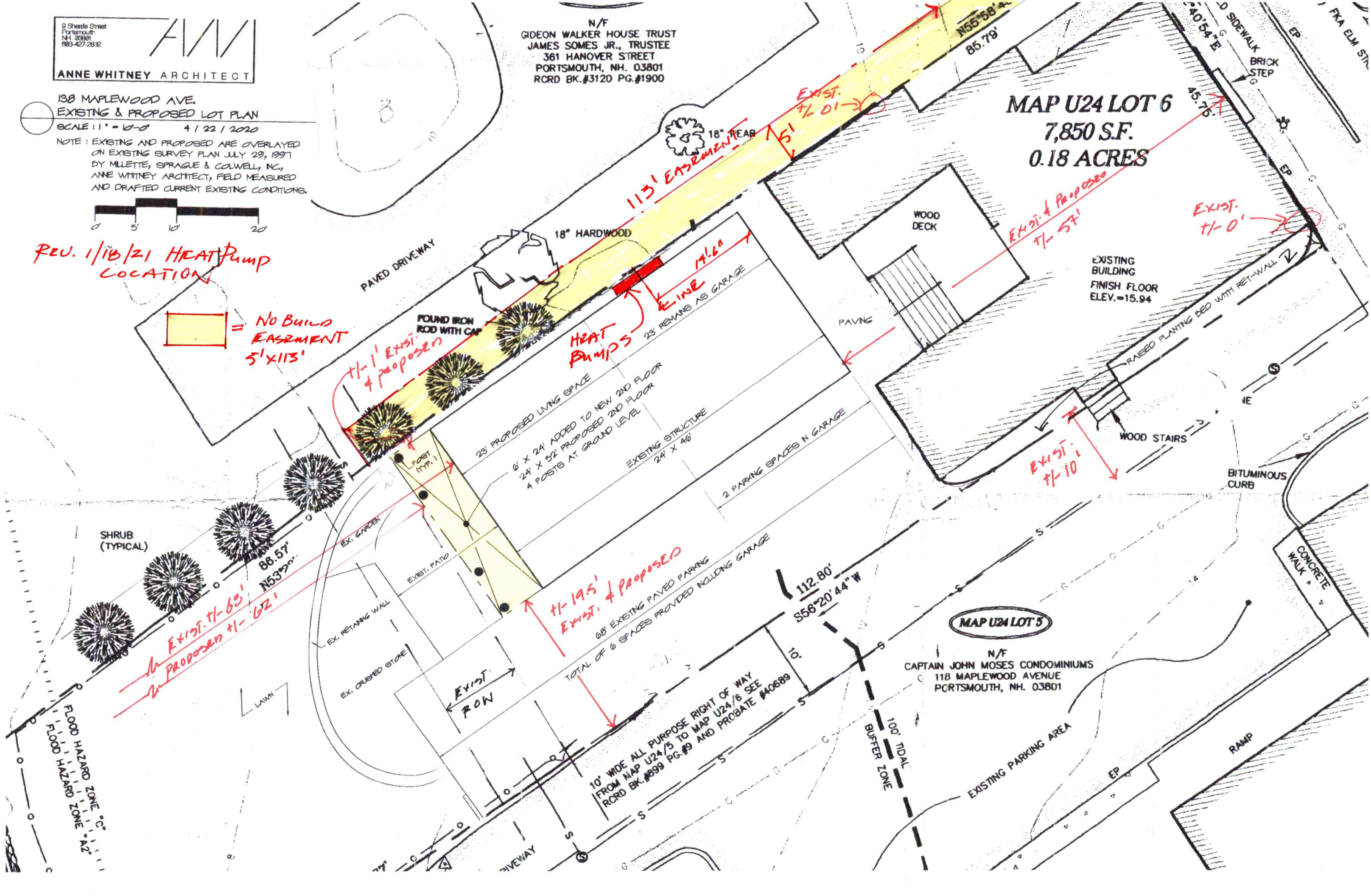


N/F  
GIDEON WALKER HOUSE TRUST  
JAMES SOMES JR., TRUSTEE  
361 HANOVER STREET  
PORTSMOUTH, NH. 03801  
RCRD BK.#3120 PG.#1900

**MAP U24 LOT 6**  
**7,850 S.F.**  
**0.18 ACRES**

REV. 1/16/21 HEAT PUMP  
LOCATION

= NO BUILD  
EASEMENT  
5'x113'



EXISTING BUILDING  
FINISH FLOOR  
ELEV.=15.94

**MAP U24 LOT 5**

N/F  
CAPTAIN JOHN MOSES CONDOMINIUMS  
118 MAPLEWOOD AVENUE  
PORTSMOUTH, NH. 03801

10' WIDE ALL PURPOSE RIGHT OF WAY  
FROM MAP U24/5 TO MAP U24/6 SEE  
RCRD BK.#899 PG.#9 AND PROBATE #40689

100' TIDAL  
BUFFER ZONE

EXISTING PARKING AREA

RAMP

CONCRETE  
WALK

BITUMINOUS  
CURB

WOOD STAIRS

PAVING

WOOD  
DECK

18" HARDWOOD

18" REAR

113' EASEMENT

HEAT  
PUMPS

23' REMAINS AS GARAGE

FOUND IRON  
ROD WITH CAP

23' PROPOSED LIVING SPACE

6' X 24' ADDED TO NEW 2ND FLOOR  
24' X 52' PROPOSED 2ND FLOOR  
4 POSTS AT GROUND LEVEL

EXISTING STRUCTURE  
24' X 46'

2 PARKING SPACES N GARAGE

EX. PATIO

EX. RETAINING WALL

EX. CRUSHED STONE

LAWN

SHRUB  
(TYPICAL)

EX. 195' TL-63'  
PROPOSED TL-62'

88.57'  
N53°20'

FLOOD HAZARD ZONE  
COOLE HAZARD ZONE



**LU-22-38**

## Land Use Application

**Status:** Active**Date Created:** Mar 2, 2022**Applicant**

Brian Ribeiro  
brian@eribeirocorp.com  
3 New Industrial Way  
Warren, RI 02885  
4016266465

**Location**

531 ISLINGTON ST  
Portsmouth, NH 03801

**Owner:**

Joe Salema & Dorothy Salema Normand  
780 Portsmouth Avenue Greenland, NH 03840

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☒

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

☐

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

☐

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

☐

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

☐

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☒

**Request for Extension of Previously Granted Land Use Approval**





**AHARONIAN**  
& ASSOCIATES, INC.  
A r c h i t e c t s

July 6, 2022

City of Portsmouth  
Historic District Commission  
1 Junkins Ave, 3<sup>rd</sup> Floor  
Portsmouth NH, 03801

RE: Dunkin Remodel  
531 Islington St  
Portsmouth, NH 03801

To Whom it May Concern,

The intent of the proposed Dunkin remodel at 531 Islington Street in Portsmouth is to enhance the exterior appearance of the existing building to better relate to the adjacent Historic District, while improving operations to achieve a more efficient and beneficial guest experience. Modifications have been made to the proposed design to better align with the Historic District Commission Guidelines. This letter is meant to outline the general scope of work as it pertains to the exterior of the existing building.

The existing masonry, flat roof structure shall remain in its entirety. All existing storefront is to remain. The existing EIFS finish on the lower half of the building shall be removed and replaced with new James Hardie clapboard siding and trim, in an effort to add texture and improve the scale of the building. Aged Pewter has been selected as the color for this siding, which will better relate to the adjacent streetscape. Clapboard siding has been selected to enhance the building's relationship to the adjacent historic district buildings.

The existing parapet of the building is clad in a corrugated metal panel, which is approaching or exceeds 20 years of age. The existing metal fascia panels shall be replaced with new fiber cement board clapboard siding, in a natural wood tone finish. At the top of the parapet, a new fiber cement board cornice is being constructed, inspired by typical wood cornice detailing, to reflect the character of the new siding.

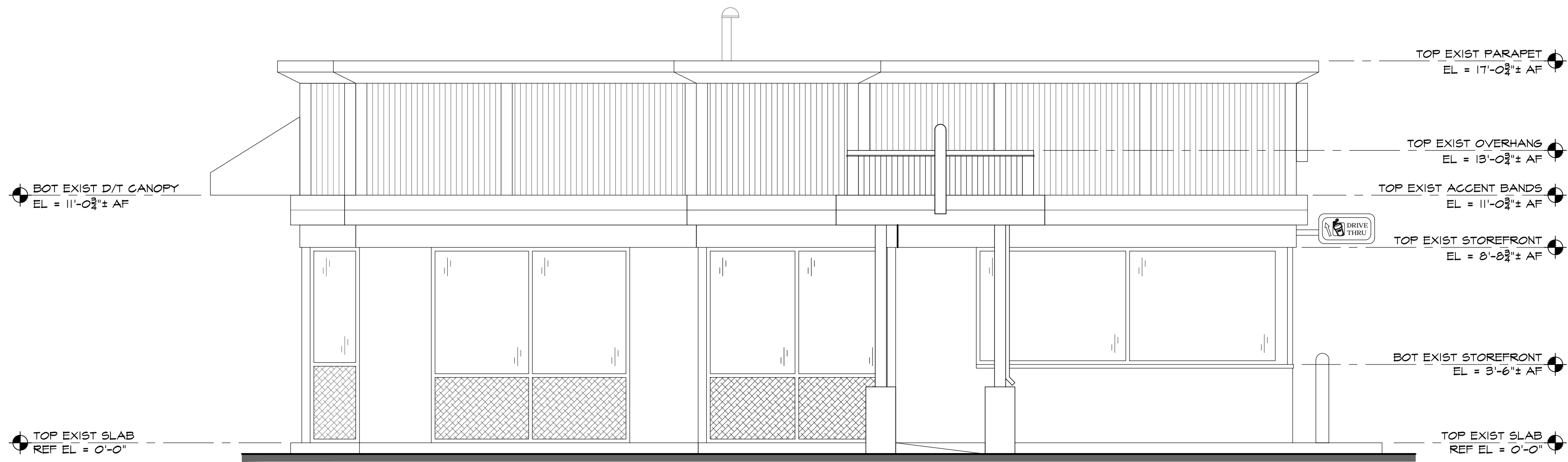
The existing mid-height accent bands are to remain & receive a fresh coat of paint. A new fabric awning shall be provided above the drive-thru window, to replace the existing awning which is in need of repair. A white vinyl fence has been proposed to screen utilities along the east facade, as well as the walk-in cooler box behind the building.

There are two existing building signs, each shall receive a new sign face. The existing directional sign fixed to the side of the building shall remain and receive a new face. Lighting shall not be adjusted, except that in need of replacement.

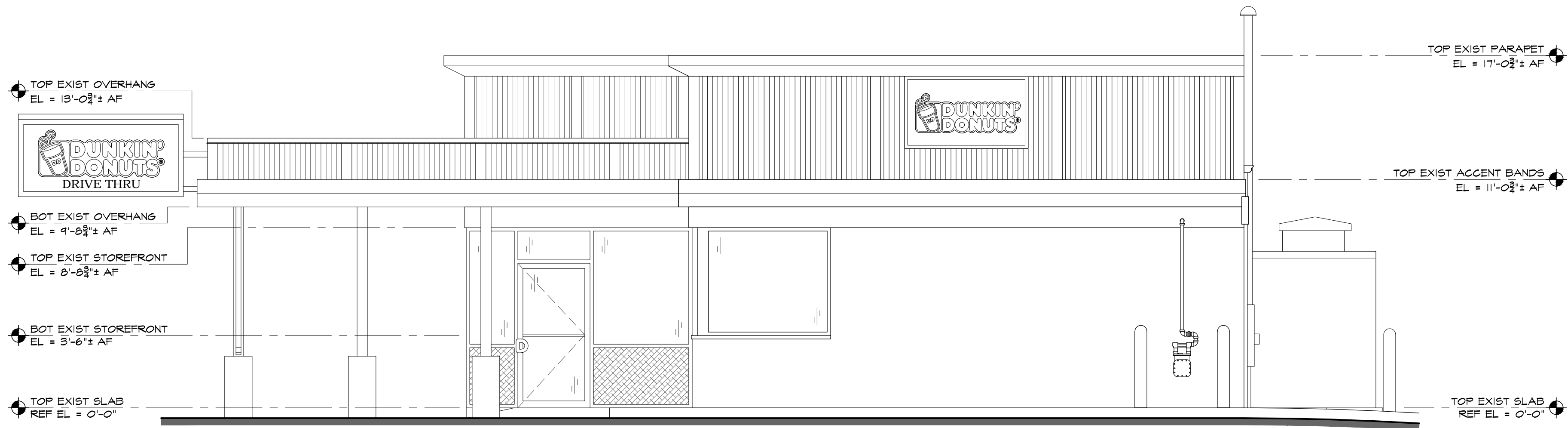
Please call with any questions you may have or if there is any additional information you may need.

Thank You,  
Aharonian & Associates, Inc. - Architects

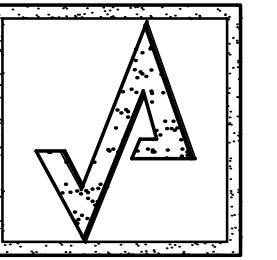
Erik Medeiros



2 EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"



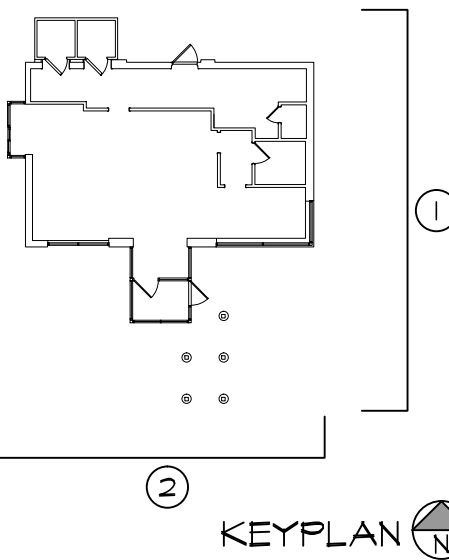
AHARONIAN  
& ASSOCIATES INC.,  
ARCHITECTS

310 George Washington Highway  
Suite 100  
Smithfield, Rhode Island  
0 2 9 1 7

T 4 0 1 - 2 3 2 - 5 0 1 0  
F 4 0 1 - 2 3 2 - 5 0 8 0  
WWW.ARCH-ENG.COM

DISCLAIMER

OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.



REVISIONS

NUMBER	REMARKS	DATE

FOR REVIEW

PROJECT TITLE  
**DUNKIN' BRANDS**  
[eatdrinkthink]  
PC# 307396

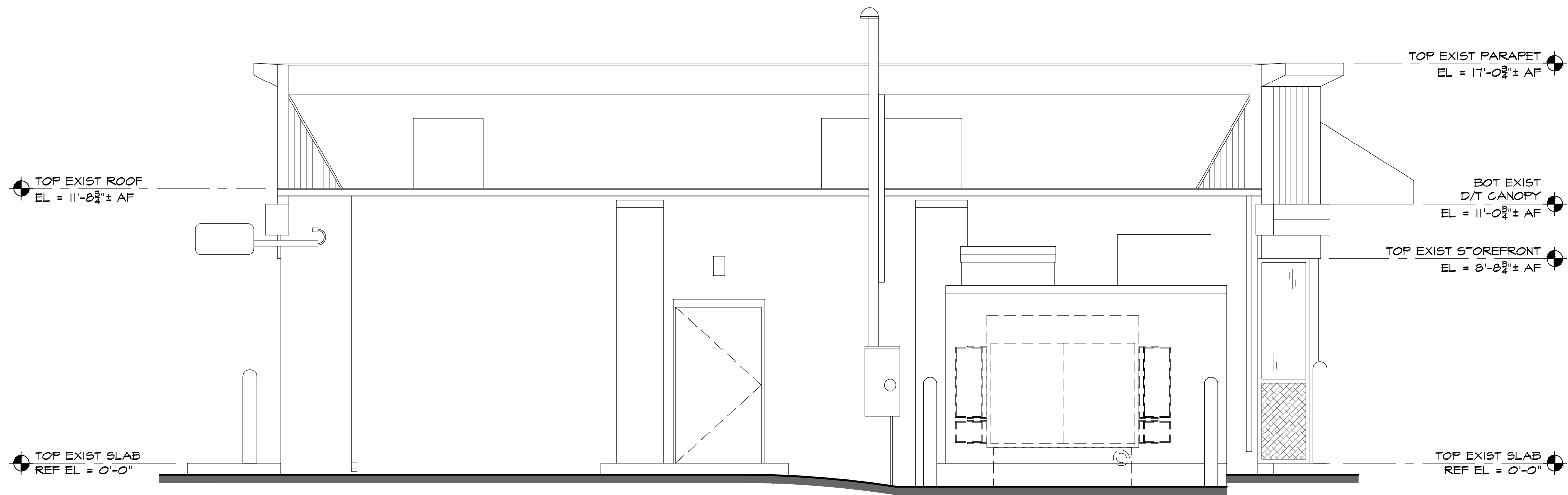
531 ISLINGTON STREET  
PORTSMOUTH,  
NH 03801  
Rockingham County

DRAWING TITLE  
**EXISTING EXTERIOR  
ELEVATIONS**

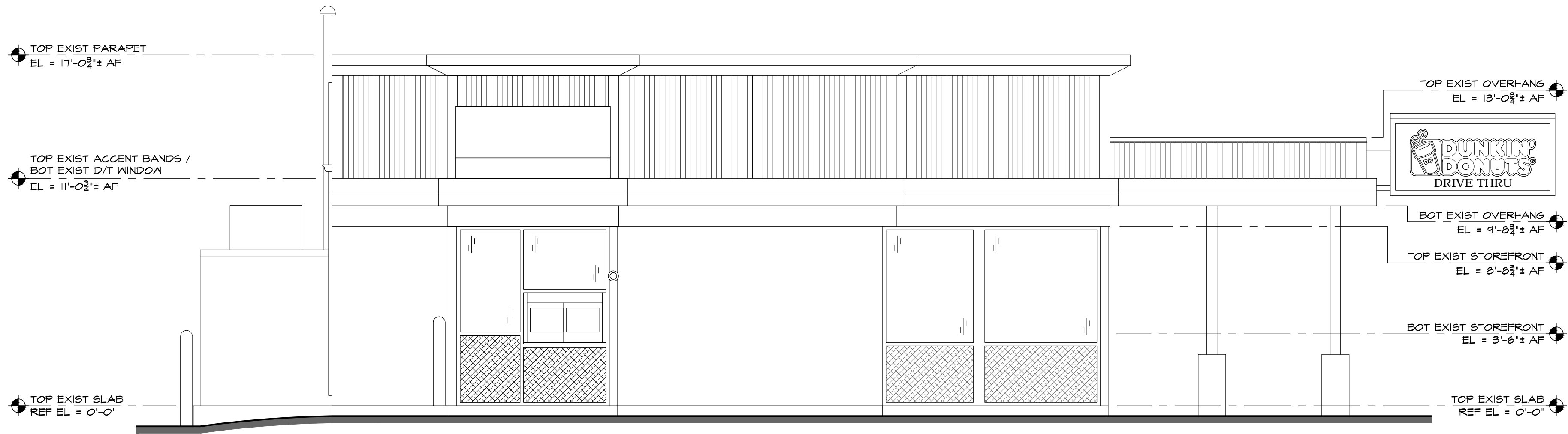
DATE MAY 11, 2021	PROJ NO 21057
DRAWN BY ZRA	CHECKED BY JAA

DRAWING NUMBER  
**X3.1**

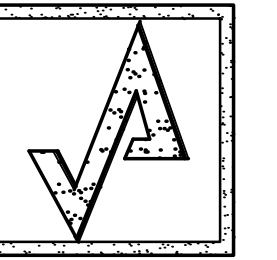




2 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 EXISTING WEST ELEVATION  
SCALE: 1/4" = 1'-0"



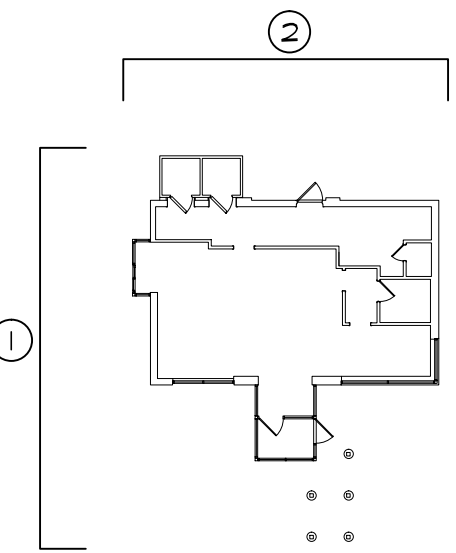
AHARONIAN  
& ASSOCIATES INC.  
ARCHITECTS

310 George Washington Highway  
Suite 100  
Smithfield, Rhode Island  
0 2 9 1 7

T 401-232-5010  
F 401-232-5080  
WWW.ARCH-ENG.COM

DISCLAIMER

OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.



KEYPLAN

REVISIONS

△ NUMBER	REMARKS	DATE

FOR REVIEW

PROJECT TITLE

DUNKIN' BRANDS  
[eatdrinkthink]  
PC# 307396

531 ISLINGTON STREET  
PORTSMOUTH,  
NH 03801  
Rockingham County

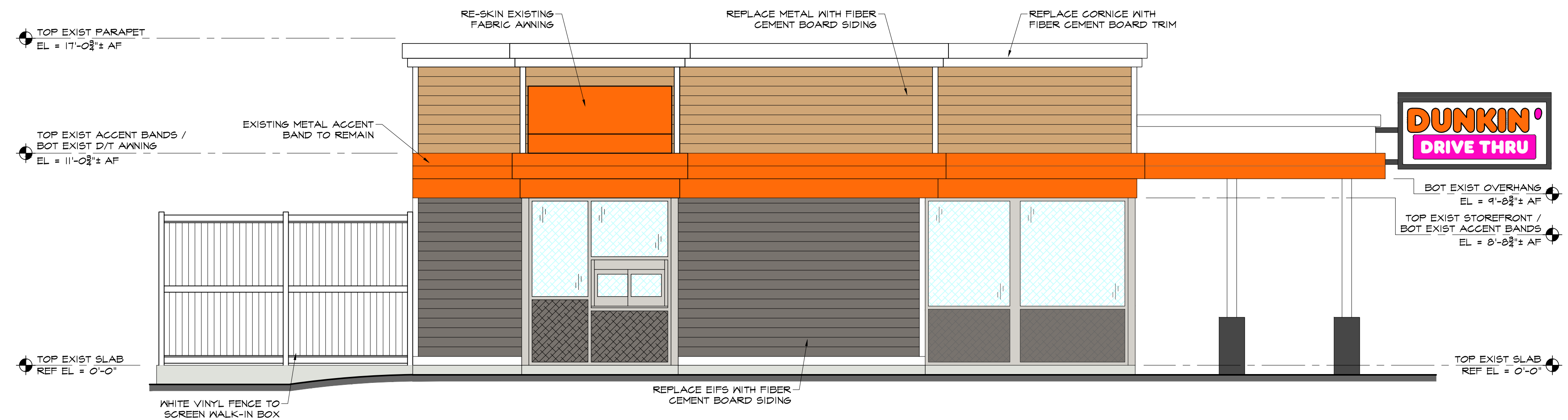
DRAWING TITLE

EXISTING EXTERIOR  
ELEVATIONS

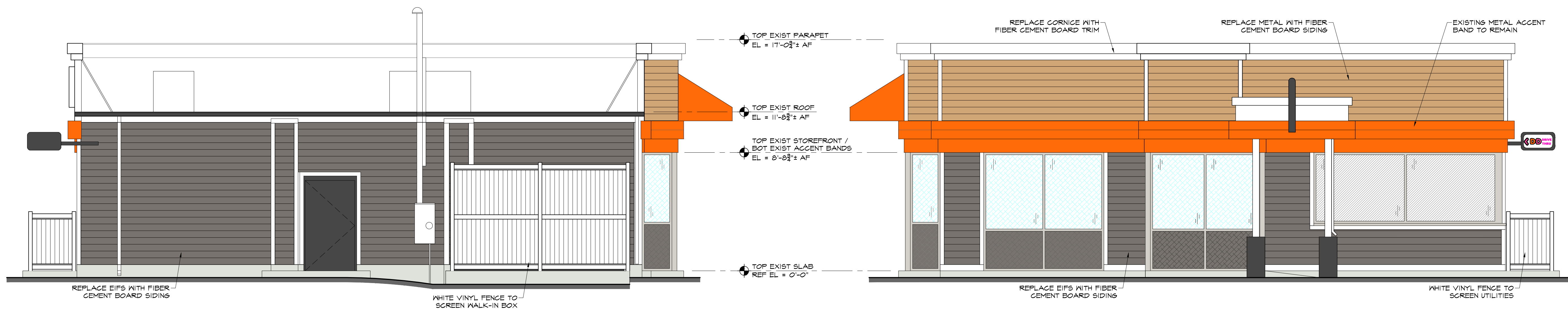
DATE MAY 11, 2021	PROJ NO 21057
DRAWN BY ZRA	CHECKED BY JAA

DRAWING NUMBER

X3.2



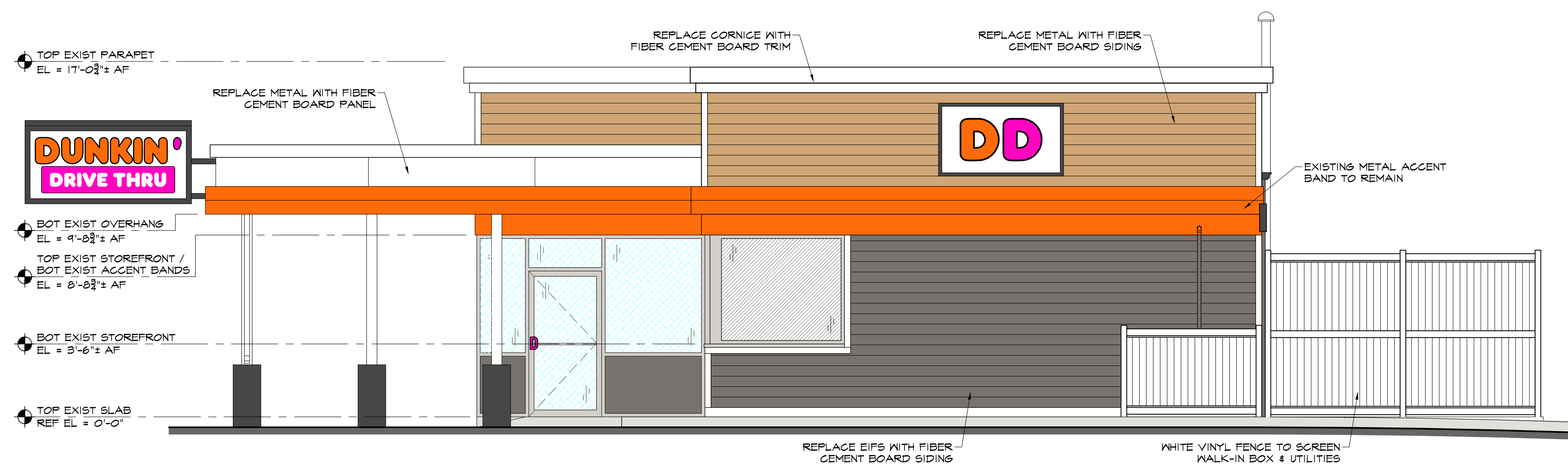
4 WEST ELEVATION  
A.I. SCALE: 1/4" = 1'-0"



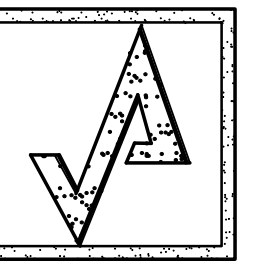
3 NORTH ELEVATION  
A.I. SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION  
A.I. SCALE: 1/4" = 1'-0"

COLOR LEGEND	
-01	'GAUNTLET GRAY'
-02	'CHARCOAL'
-03	'WOOD'
-04	'OFF WHITE'
-12	'DUNKIN' PINK'
-13	'DUNKIN' ORANGE'



1 EAST ELEVATION  
A.I. SCALE: 1/4" = 1'-0"

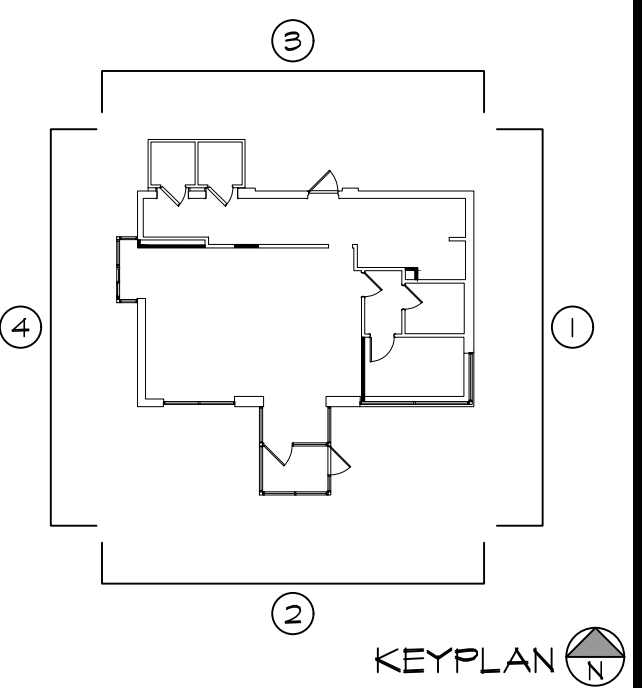


AHARONIAN  
& ASSOCIATES INC.  
ARCHITECTS

310 George Washington Highway  
Suite 100  
Smithfield, Rhode Island  
02917  
T 401-232-5010  
F 401-232-5080  
WWW.ARCH-ENG.COM

DISCLAIMER

OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.



KEYPLAN

REVISIONS

NUMBER	REMARKS	DATE

FOR REVIEW

PROJECT TITLE

**DUNKIN'**  
PC# 307396

531 ISLINGTON STREET  
PORTSMOUTH, NH 03801  
Rockingham County

DRAWING TITLE

PROPOSED  
EXTERIOR  
ELEVATIONS

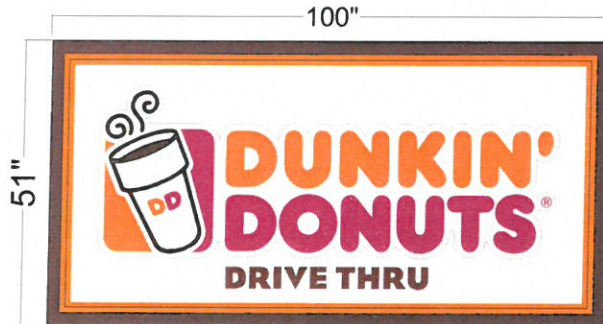
DATE MAY 21, 2022	PROJ NO 21057
DRAWN BY ECM	CHECKED BY -

DRAWING NUMBER

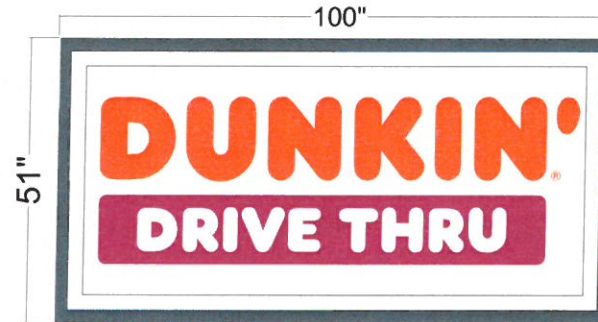
A3.1



Existing Projecting Sign (35.4 sq ft)



Proposed Projecting Sign (35.4 sq ft)



Keep existing cabinet  
update logo on faces  
paint cabinet dark gray



654 County Road  
Acton, ME 04001  
207-477-2956

Existing vs Proposed  
Signage  
Front Projecting Wall Sign

Location: 531 Islington St  
Portsmouth, NH  
Layout by: MS  
Layout: front sign  
Date: 4/26/22

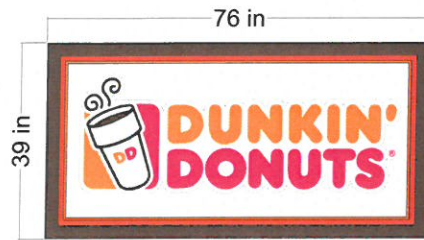
Notes:  
These drawings are the exclusive property of Dasco Signs and are the result of the original work of its employees. All rights to its use, or duplication in any manner without express written permission of Dasco Signs is prohibited.

This is a sketch only-field measurements may or may not need to be verified.

The accuracy of this color rendering is limited by media and output devices and is intended for representational use only. Actual manufacturing/graphic colors also vary depending on processes and materials used. 100% color matches of submitted specifications cannot be guaranteed.

If an electric sign, compliance with the National Electric Code, Underwriters Laboratory, and/or local codes will be adhered to, including proper grounding and bonding of the sign.

## Existing Wall Sign (20.6 sq ft)



## Proposed Wall Sign Options



Keep existing cabinet  
update logo on faces  
paint cabinet dark gray



654 County Road  
Acton, ME 04001  
207-477-2956

Existing vs Proposed  
Signage  
East Elevation  
REFACE

Location: 531 Islington St  
Portsmouth, NH

Layout by: MS  
Layout: DD sign  
Date: 5/5/22

Notes:  
These drawings are the exclusive property of  
Dasco Signs and are the result of the original work  
of its employees. All rights to its use, or duplication in any  
manner without express written permission  
of Dasco Signs is prohibited.

This is a sketch only-field measurements may  
or may not need to be verified.

The accuracy of this color rendering is limited by media  
and output devices and is intended for representational use  
only. Actual manufacturing/graphic colors also vary depending  
on processes and materials used. 100% color matches  
of submitted specifications cannot be guaranteed.

If an electric sign, compliance with the National Electric Code,  
Underwriters Laboratory, and/or local codes will be  
adhered to, including proper grounding and bonding of  
the sign.



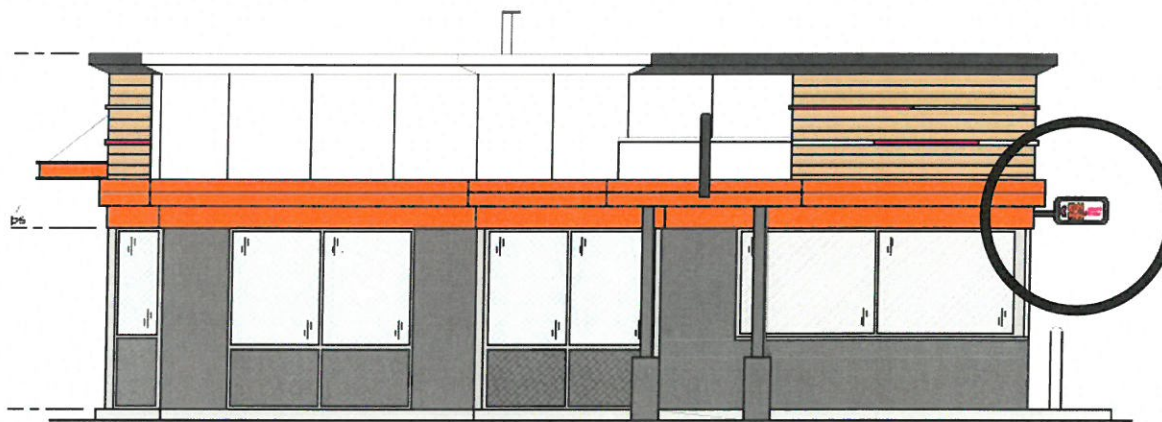
## Existing Projecting Sign (4.5 sq ft)



## Proposed Projecting Sign (4.5 sq ft)



Keep existing cabinet  
update logo on faces  
paint cabinet dark gray



654 County Road  
Acton, ME 04001  
207-477-2956

Existing vs Proposed  
small projecting  
"directional" sign

Location: 531 Islington St  
Portsmouth, NH

Layout by: MS  
Layout: small sign  
Date: 4/26/22

Notes:  
These drawings are the exclusive property of  
Dasco Signs and are the result of the original work  
of its employees. All rights to its use, or duplication in any  
manner without express written permission  
of Dasco Signs is prohibited.

This is a sketch only-field measurements may  
or may not need to be verified.

The accuracy of this color rendering is limited by media  
and output devices and is intended for representational use  
only. Actual manufacturing/graphic colors also vary depending  
on processes and materials used. 100% color matches  
of submitted specifications cannot be guaranteed.

If an electric sign, compliance with the National Electric Code,  
Underwriters Laboratory, and/or local codes will be  
adhered to, including proper grounding and bonding of  
the sign.

Existing Photos:























Material Precedence:









**LUHD-234**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Nov 13, 2020**Applicant**

Eben Tormey  
etormey@xsshotels.com  
1359 Hooksett Road  
Hooksett, NH 03106  
603-518-2132

**Location**

1 RAYNES AVE  
Portsmouth, NH 03801

**Owner:**

ONE RAYNES AVE LLC  
1359 HOOKSETT RD HOOKSETT, NH 03106

**Application Type****Please select application type from the drop down menu below**

Work Session

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Redevelopment of 1 Raynes Ave, 31 Raynes Ave, and 203 Maplewood Ave. Two buildings proposed on merged lot. A 4- to 5-story mixed use building with ground floor retail/office/restaurant and residential above on what is now 203 Maplewood Ave and 31 Raynes Ave and a 5-story hotel on what is now 1 Raynes Ave. Redevelopment will include waterfront mixed-use path (part of the North Mill Pond Greenway) connecting Maplewood Avenue to the proposed North Mill Pond Community Park and Market Street beyond.

**Description of Proposed Work (Planning Staff)**

the construction of a 4-5 story mixed-use building and a 5-story hotel

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Chris Lizotte, AIA

**Business Name (if applicable)**

PROCON

**Mailing Address (Street)**

PO Box 4430

**City/Town**

Manchester

**State**

NH

**Zip Code**

03108

**Phone**

(603) 518-2279

**Email Address**

clizotte@proconinc.com

**Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--



**RAYNES AVENUE  
LETTER OF AGENDA**

We respectfully submit this Application for Work Session 9.

**1.0 Views of Mixed Use and Hotel Buildings**

- Mixed-Use Updated Design Details
- Hotel Updated Design Details

**2.0 Mixed-Use Elevations and Details**

**3.0 Hotel Elevations and Details**

**4.0 Proposed Materials**

**5.0 Reference Pages**

- Site Plans
- Project Data Reference
- Parking System
- 30"x42" (Duplicate) Scale Drawings for Record

Thank you for your consideration.  
Sincerely,



Carla Goodknight, AIA, NCARB  
Principal, CJ Architects

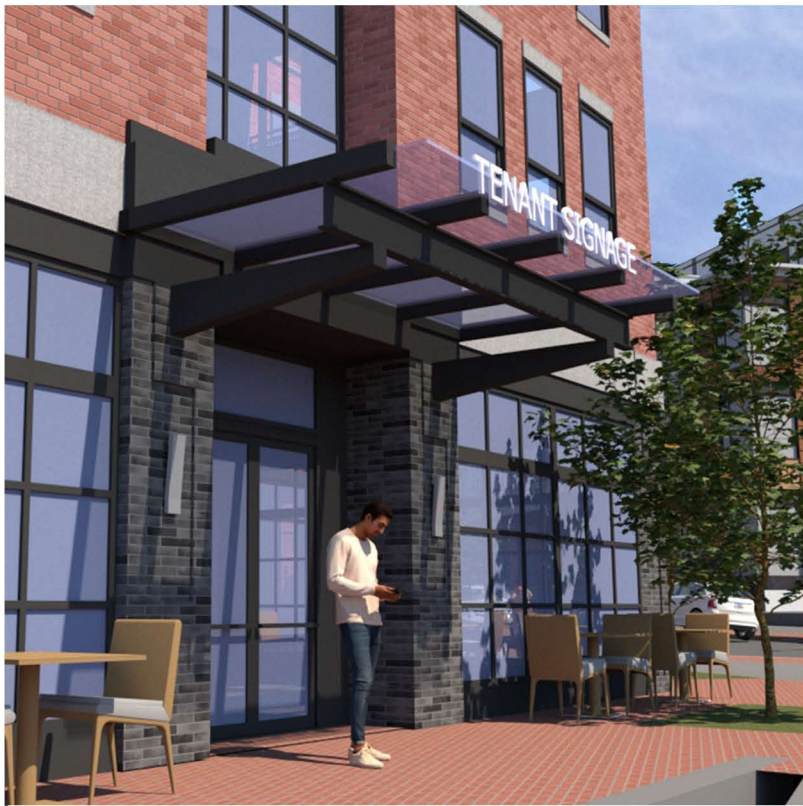


RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

SITE AERIAL & LOCATION PLAN  
HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022







MAPLEWOOD AVE CANOPY



RAYNES AVE CANOPY



HOTEL CANOPY



RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE



GLASS CANOPY DETAILS  
HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022







RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

MAPLEWOOD BRIDGE VIEW  
HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022



1.1





RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVENUE ENTRY VIEW  
HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022



1.2





RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

VAUGHAN STREET VIEW  
HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022



1.3





RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVE ENTRY VIEW  
HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022



1.4





RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND  
FROM MARKET STREET  
HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022



1.5





RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND  
HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022



1.6





RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND  
HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022



**PROCON**  
CONNECT • CREATE • CONSTRUCT



1.7



RESIDENTIAL  
RESTAURANT/OFFICE/RETAIL





LEGEND

RESIDENTIAL



1 LEVEL 2 - OVERALL  
SCALE: 1/8" = 1'-0"

REF SHEET: 1 / A3.01





LEGEND  
 RESIDENTIAL



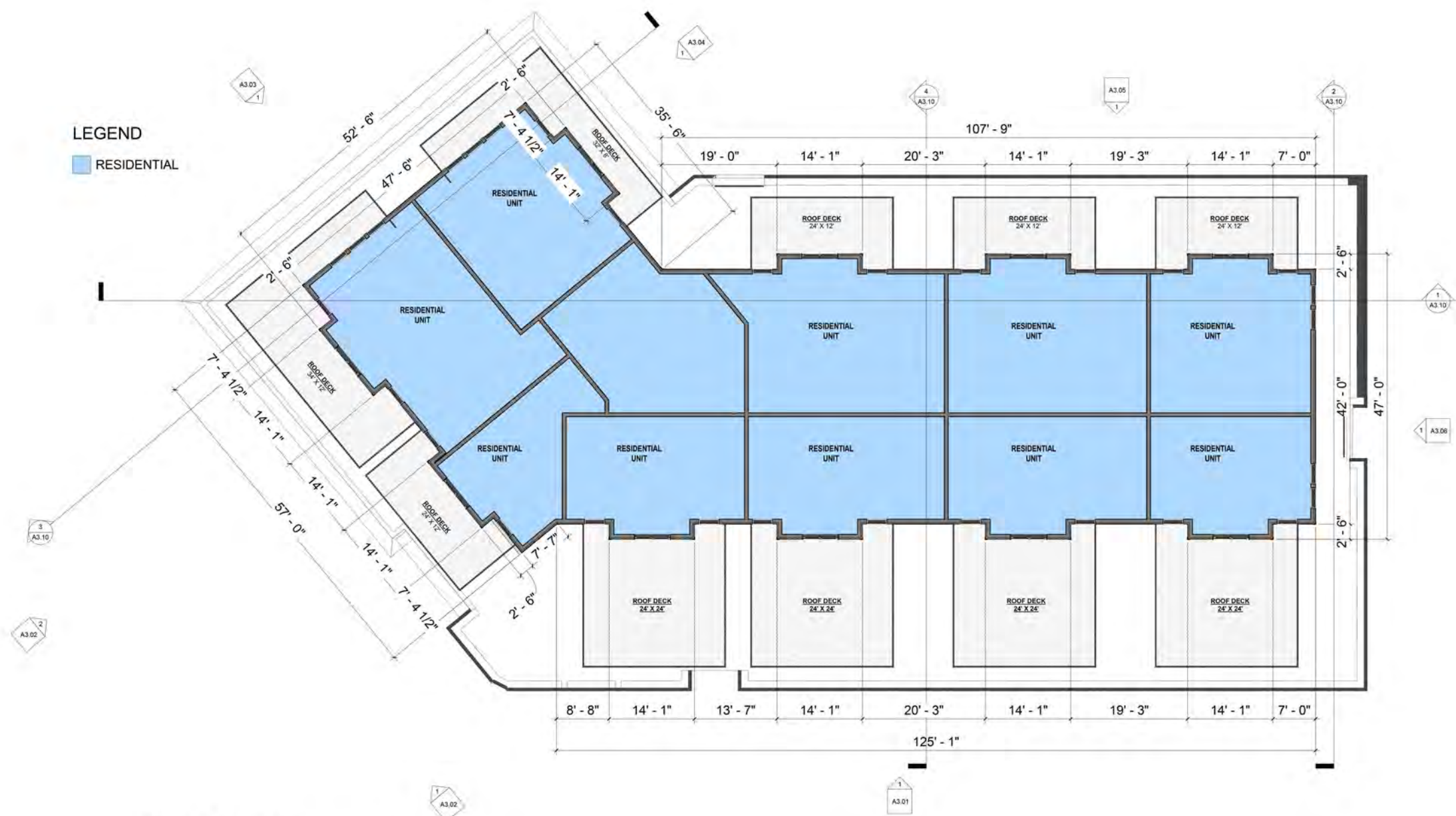
1 LEVEL 4 - OVERALL  
 SCALE: 1/8" = 1'-0" REF SHEET: 1 / A3.01



## FOURTH FLOOR PLAN

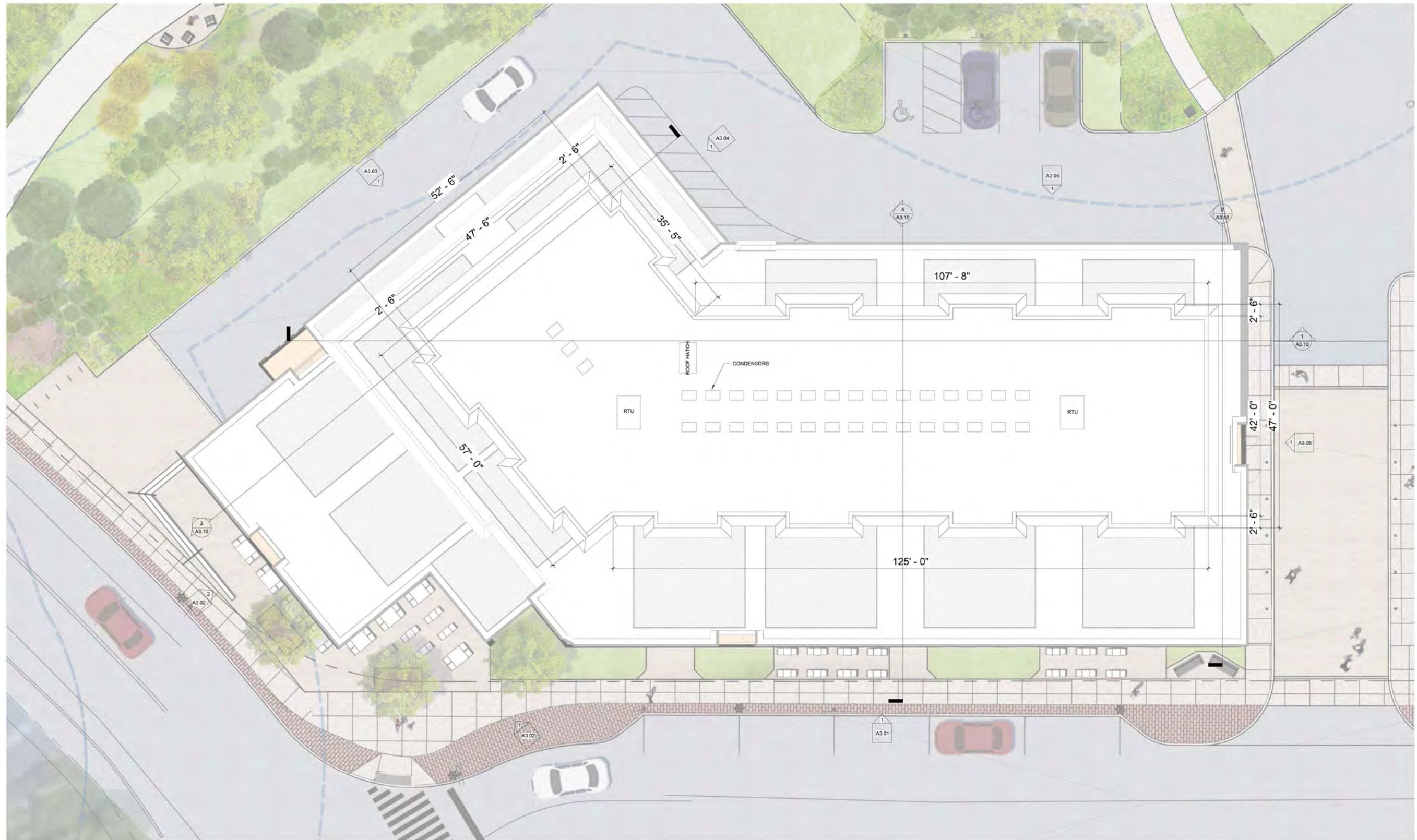
RAYNES AVE.  
 MIXED USE

Project	Date 28 JUNE 2022	Dwg. No. A1.04
---------	-------------------	----------------



1 LEVEL 5 - OVERALL  
 SCALE: 1/8" = 1'-0"  
 REF SHEET: 1 / A3.01





1 ROOF PLAN  
SCALE: 1/8" = 1'-0"  
REF SHEET: 1 / A3.01





North  
Scale

## ELEVATIONS

RAYNES AVE.  
MIXED USE

Project Date 28 JUNE 2022  
Dirg. No. A3.01

HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022

2.6  
NOT TO SCALE





2 EXTERIOR ELEVATION - SOUTH  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.01



1 EXTERIOR ELEVATION - EAST  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.01





1 EXTERIOR ELEVATION - WEST  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.01





1 EXTERIOR ELEVATION - NORTH  
 SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.01





1 EXTERIOR ELEVATION - NORTH WEST  
 SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.01

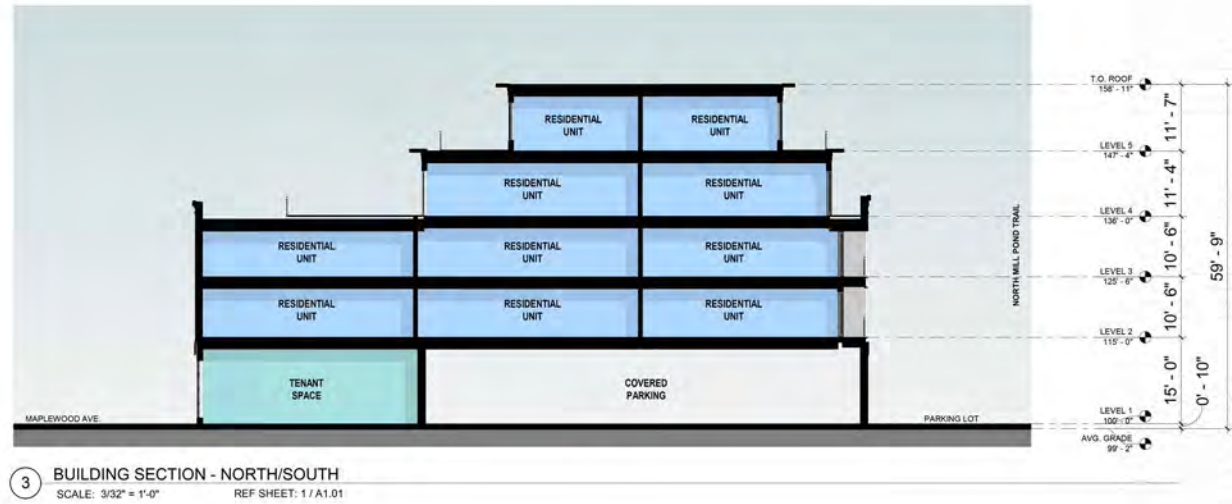




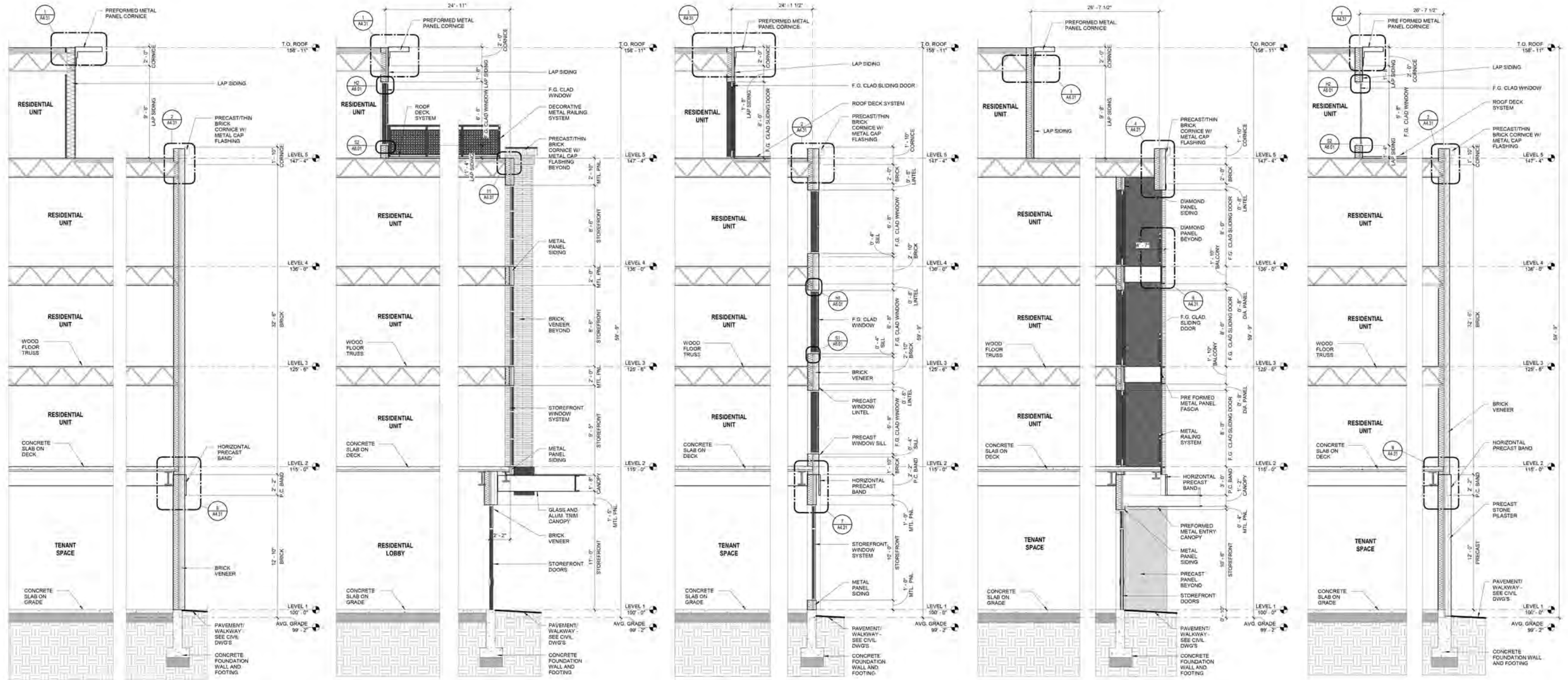
1 EXTERIOR ELEVATION - NORTH EAST  
 SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.01



- LEGEND
- RESIDENTIAL
  - RESTAURANT/OFFICE/RETAIL







5 WALL SECTION - AT LEVEL 2 PRECAST BAND  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01

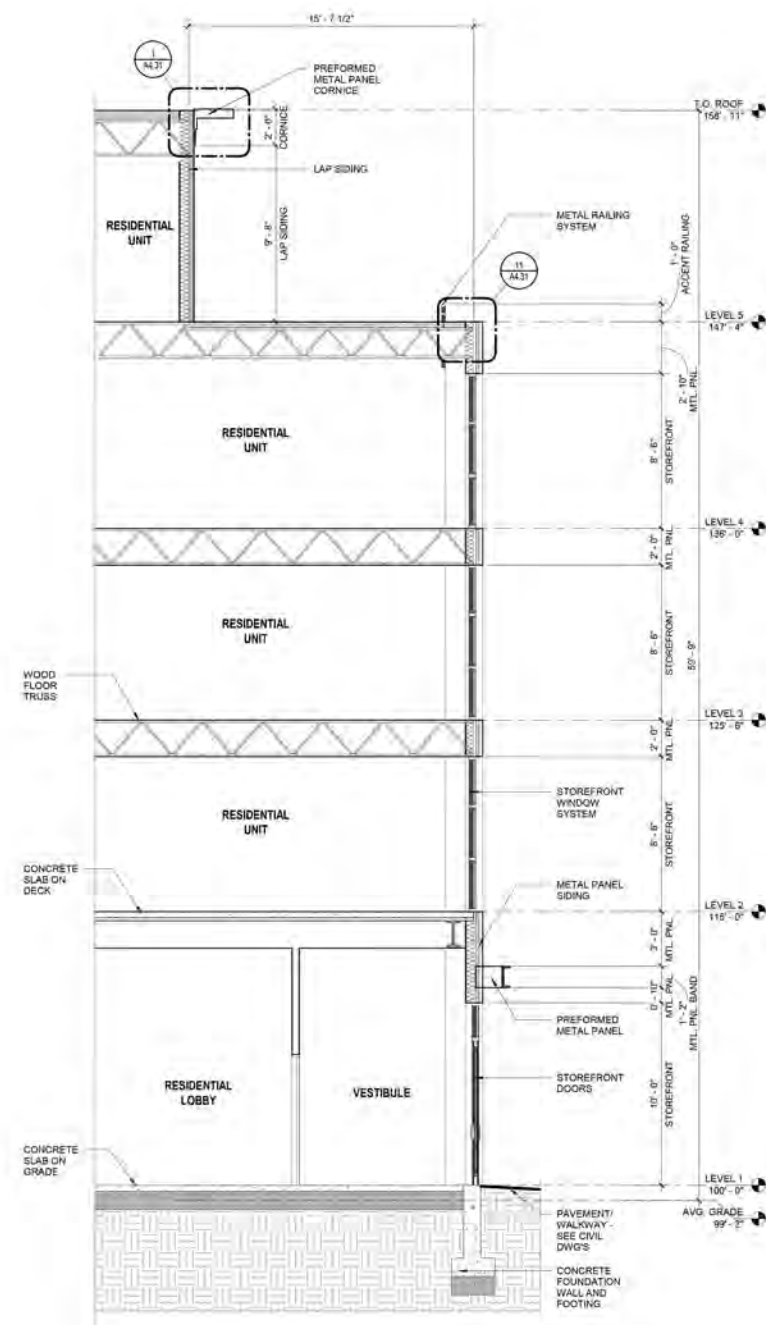
4 WALL SECTION - 3 STORY STOREFRONT  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01

3 WALL SECTION - TYPICAL WINDOWS  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01

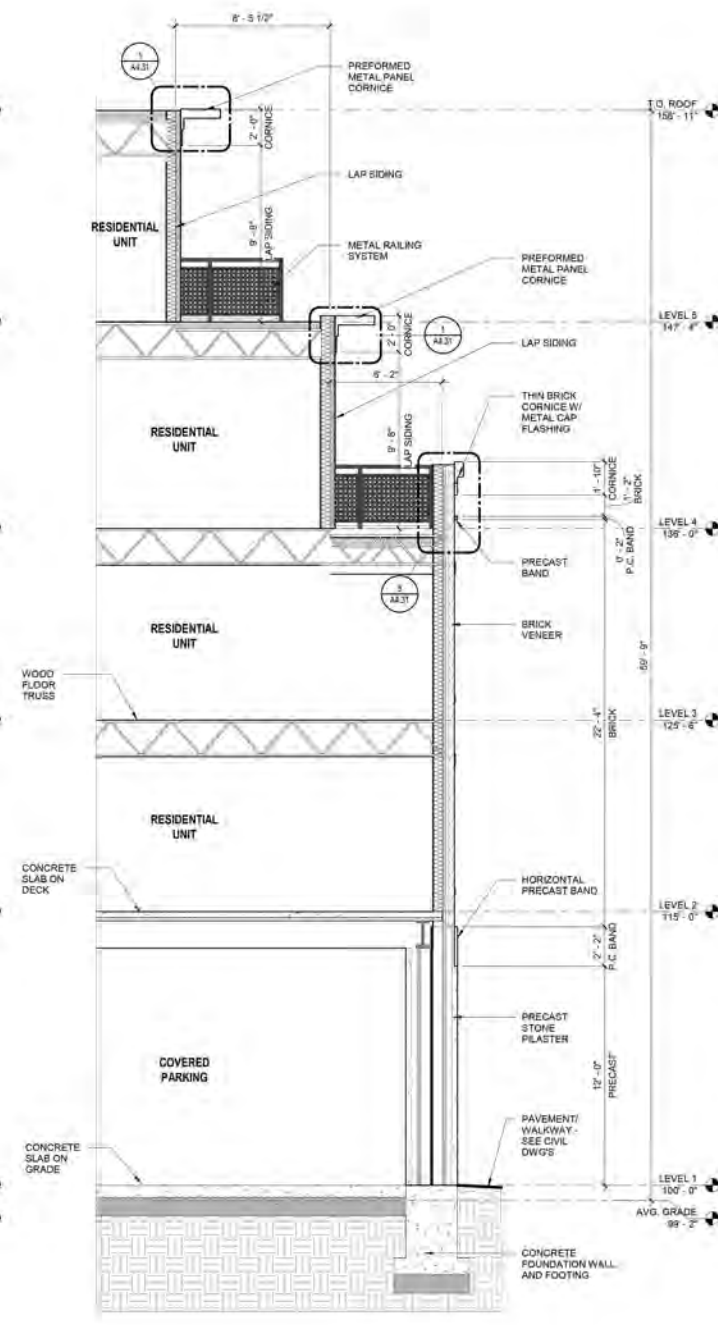
2 WALL SECTION - BALCONY  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01

1 WALL SECTION - AT LEVEL 1 PILASTER  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01

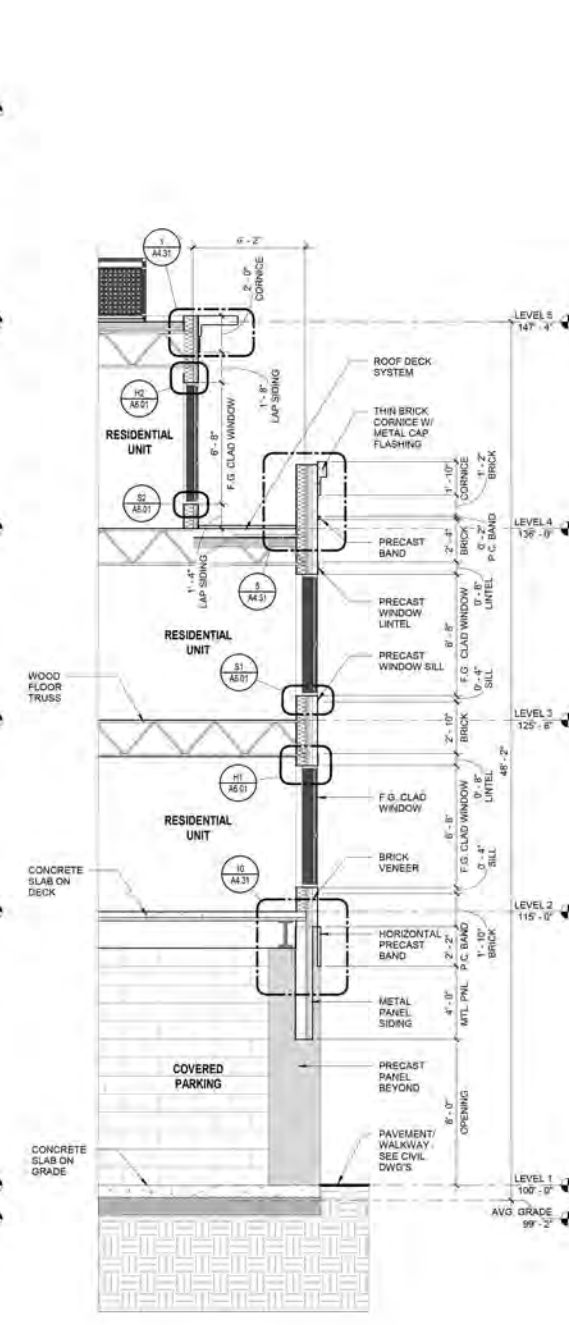




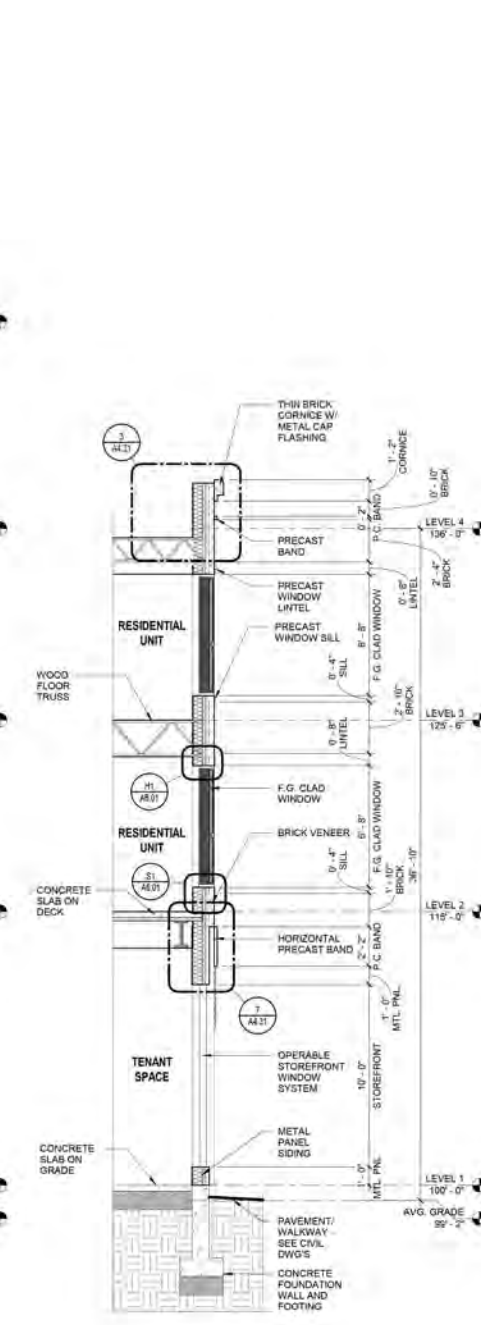
5 WALL SECTION - REAR PARKING ENTRY  
SCALE: 1/4" = 1'-0"  
REF SHEET: 1 / A3.05



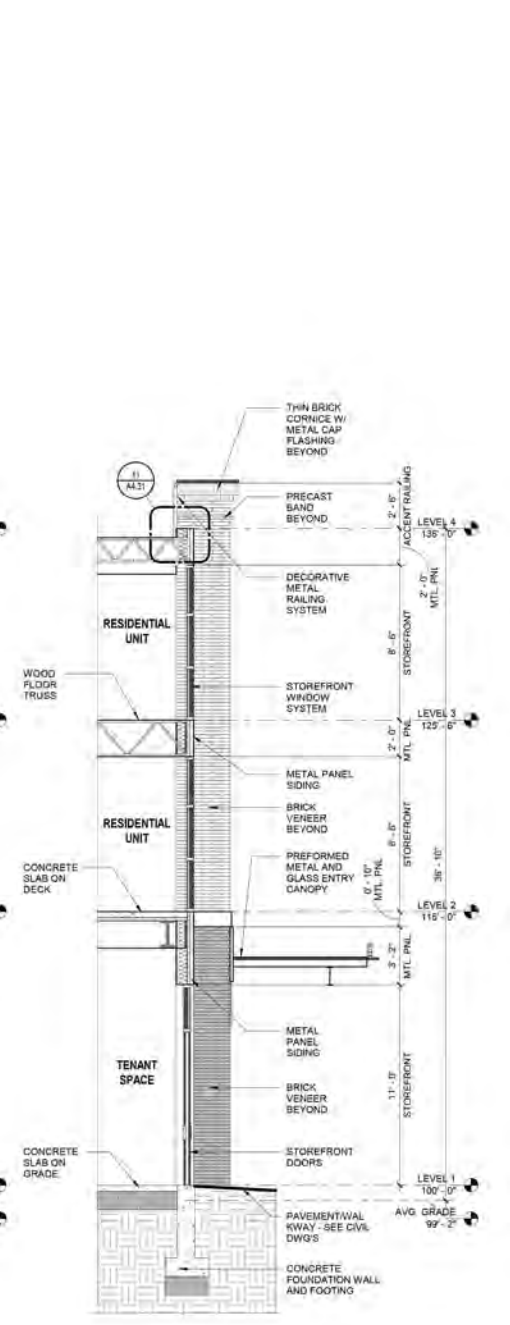
4 WALL SECTION - ROOF EDGE/PILASTER AT BUILDING STEP  
SCALE: 1/4" = 1'-0"  
REF SHEET: 1 / A3.03



3 WALL SECTION - COVERED PARKING  
SCALE: 1/4" = 1'-0"  
REF SHEET: 1 / A3.03

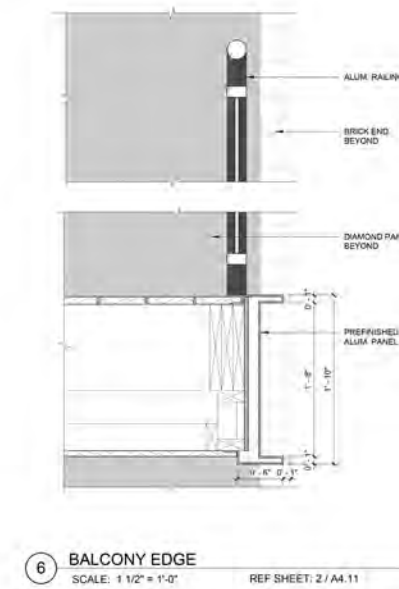
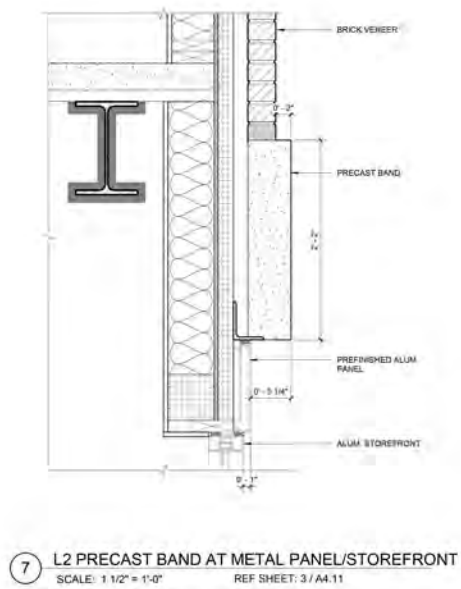
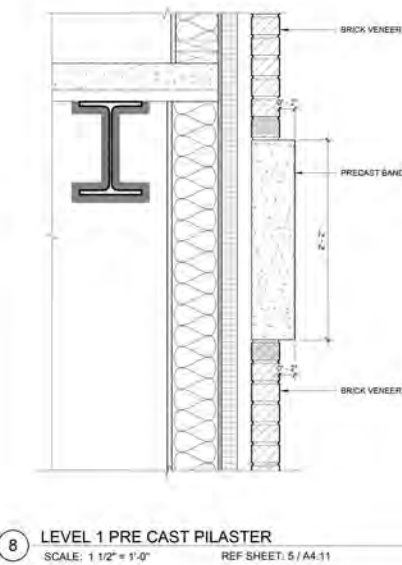
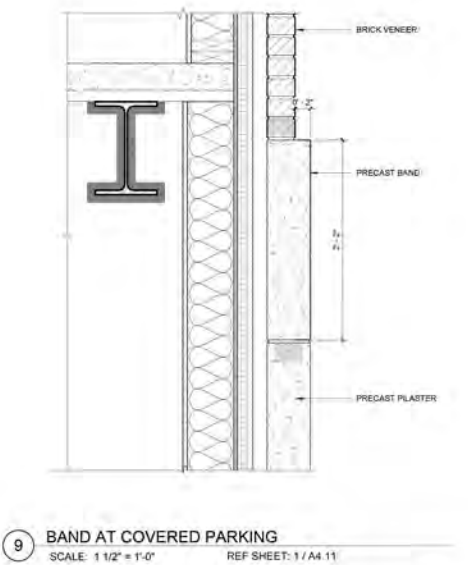
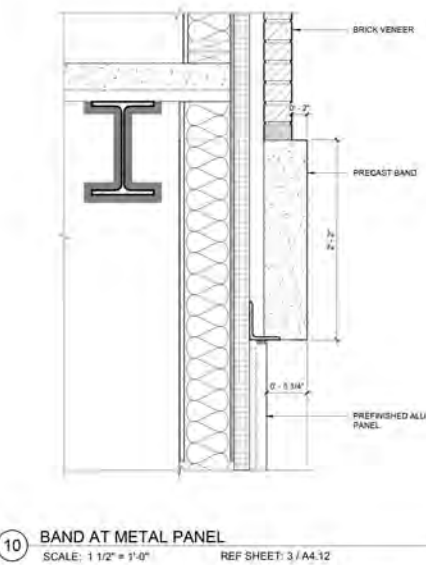
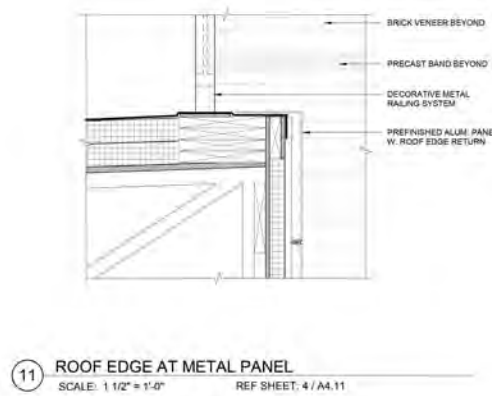
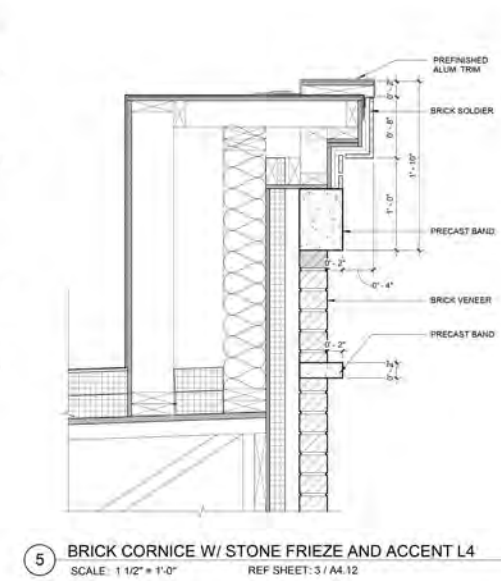
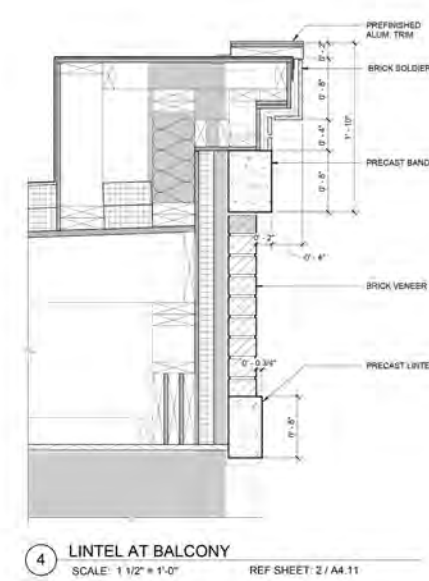
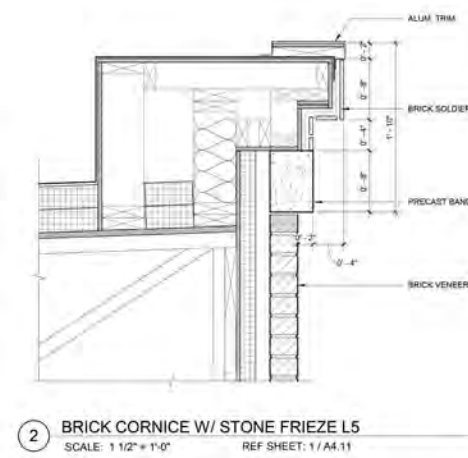
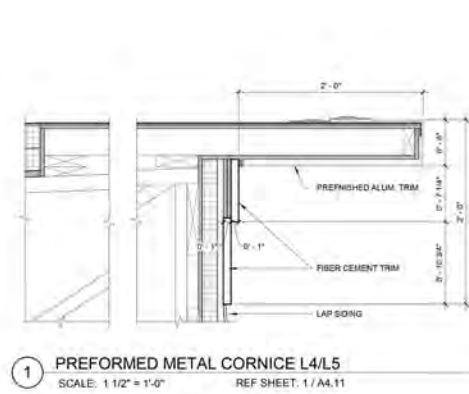


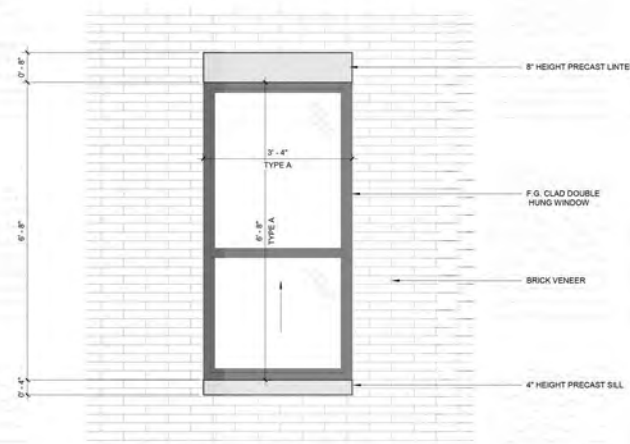
2 WALL SECTION - UPWARD ACTING DOOR  
SCALE: 1/4" = 1'-0"  
REF SHEET: 1 / A3.03



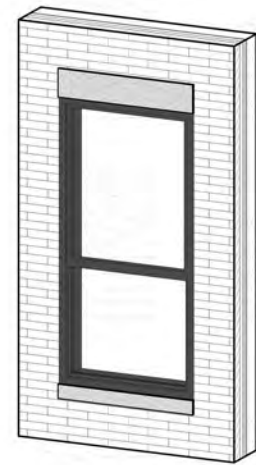
1 WALL SECTION - 2 STORY STOREFRONT  
SCALE: 1/4" = 1'-0"  
REF SHEET: 2 / A3.02



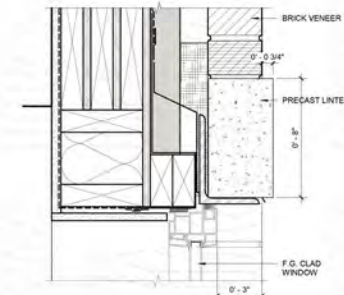




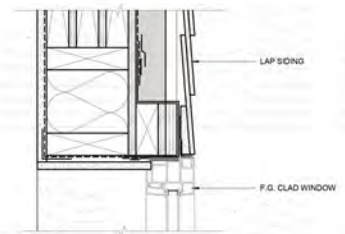
1 TYPICAL DOUBLE HUNG WINDOW IN BRICK  
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



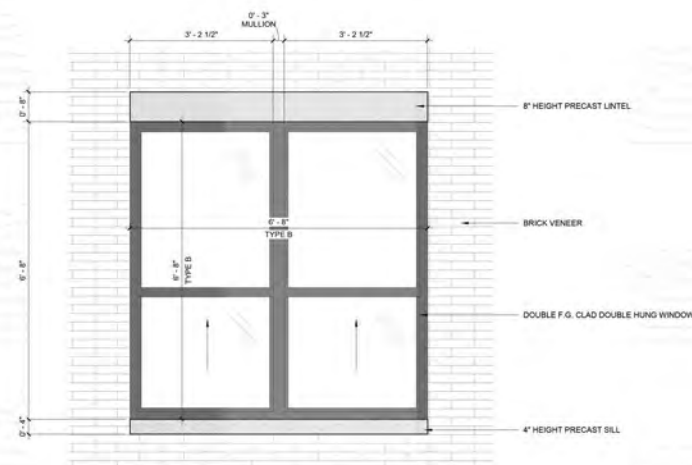
1A TYPICAL DOUBLE HUNG WINDOW IN BRICK 3D  
SCALE:



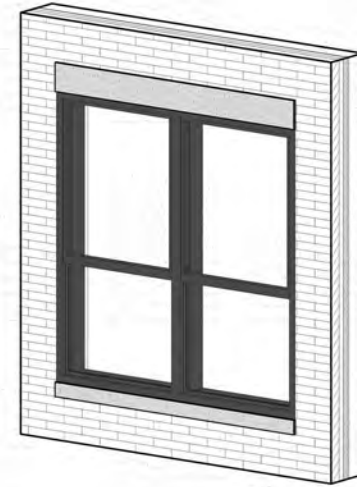
H1 FIBERGLASS CLAD WINDOW HEAD BRICK  
SCALE: 3" = 1'-0" REF SHEET: 3 / A4.11



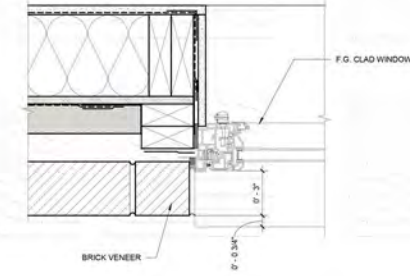
H2 FIBERGLASS CLAD WINDOW HEAD FIBER CEMENT LAP SIDING  
SCALE: 3" = 1'-0" REF SHEET: 1 / A4.11



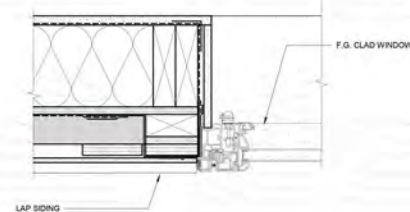
2 TYPICAL DOUBLE DOUBLE HUNG WINDOW IN BRICK  
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



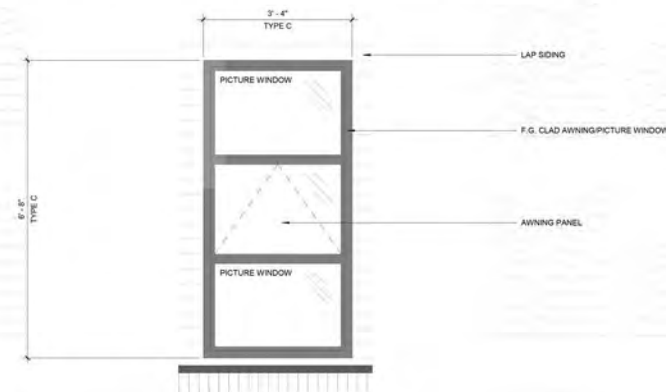
2A TYPICAL DOUBLE DOUBLE HUNG WINDOW IN BRICK 3D  
SCALE:



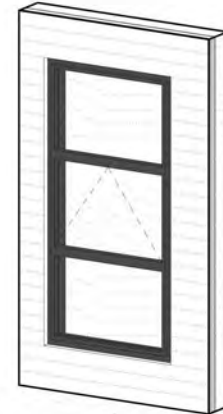
J1 FIBERGLASS CLAD WINDOW JAMB BRICK  
SCALE: 3" = 1'-0"



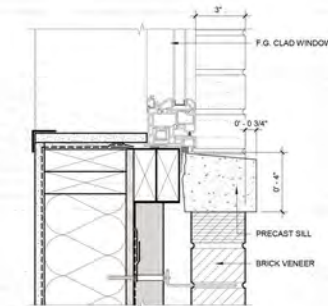
J2 FIBERGLASS CLAD WINDOW JAMB FIBER CEMENT LAP SIDING  
SCALE: 3" = 1'-0"



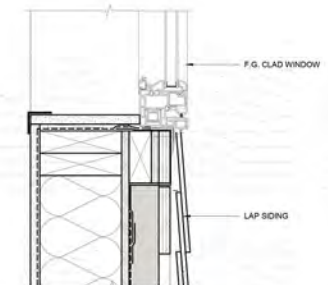
3 AWNING WINDOW IN FIBER CEMENT LAP SIDING  
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.06



3A AWNING WINDOW IN FIBER CEMENT LAP SIDING 3D  
SCALE:

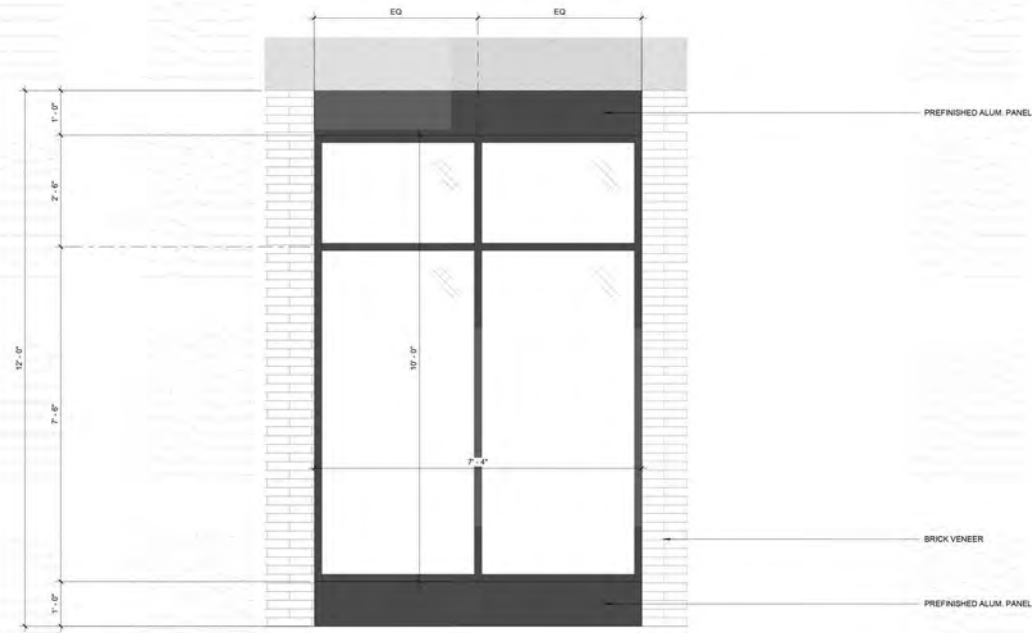


S1 FIBERGLASS CLAD WINDOW SILL BRICK  
SCALE: 3" = 1'-0" REF SHEET: 3 / A4.11

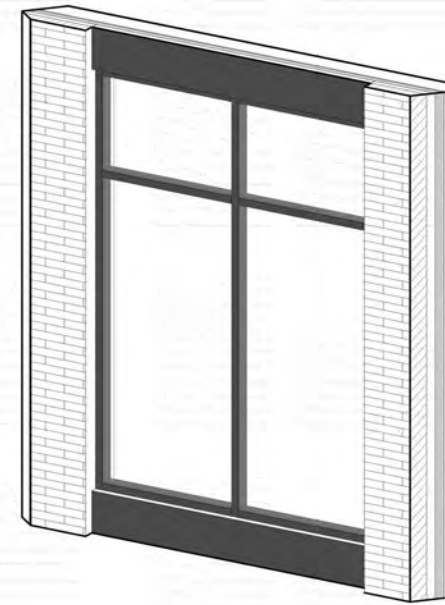


S2 FIBERGLASS CLAD WINDOW SILL FIBER CEMENT LAP SIDING  
SCALE: 3" = 1'-0" REF SHEET: 1 / A4.11

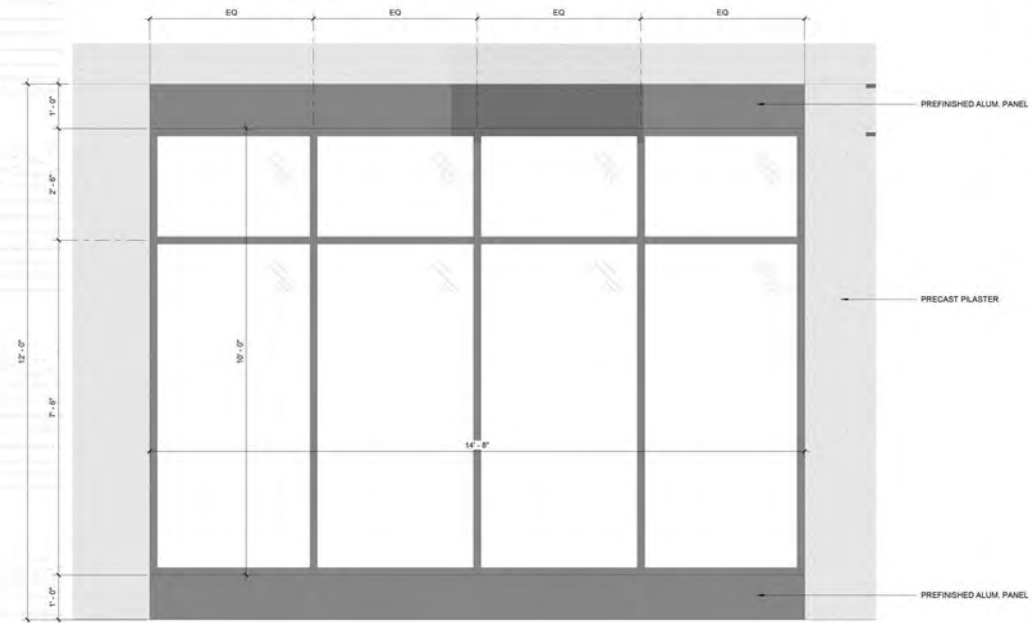




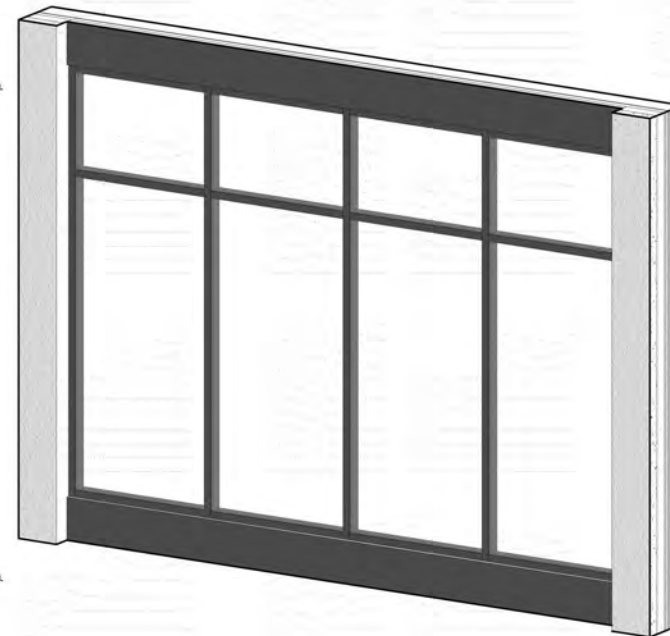
1 STOREFRONT WINDOW IN BRICK/METAL PANEL  
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.02



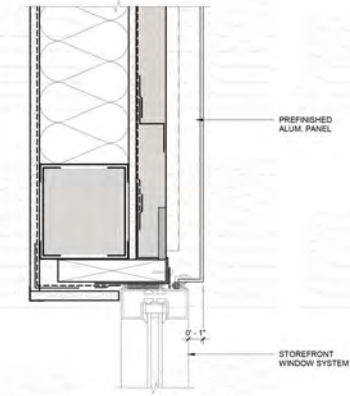
1A STOREFRONT WINDOW IN BRICK/METAL PANEL 3D  
SCALE:



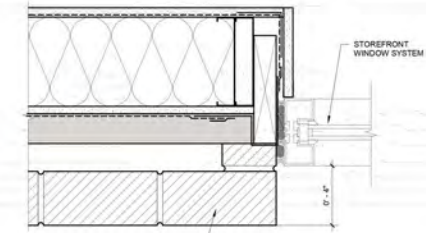
2 STOREFRONT WINDOW IN PRECAST/METAL PANEL  
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



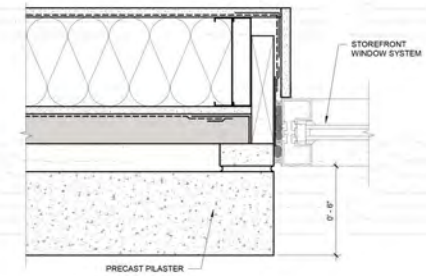
2A STOREFRONT WINDOW IN PRECAST/METAL PANEL 3D  
SCALE:



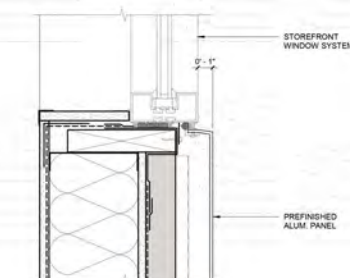
H1 STOREFRONT HEAD METAL PANEL  
SCALE: 3" = 1'-0"



J1 STOREFRONT JAMB BRICK  
SCALE: 3" = 1'-0"



J1A STOREFRONT JAMB PRECAST PILASTER  
SCALE: 3" = 1'-0"



S1 STOREFRONT SILL METAL PANEL  
SCALE: 3" = 1'-0"







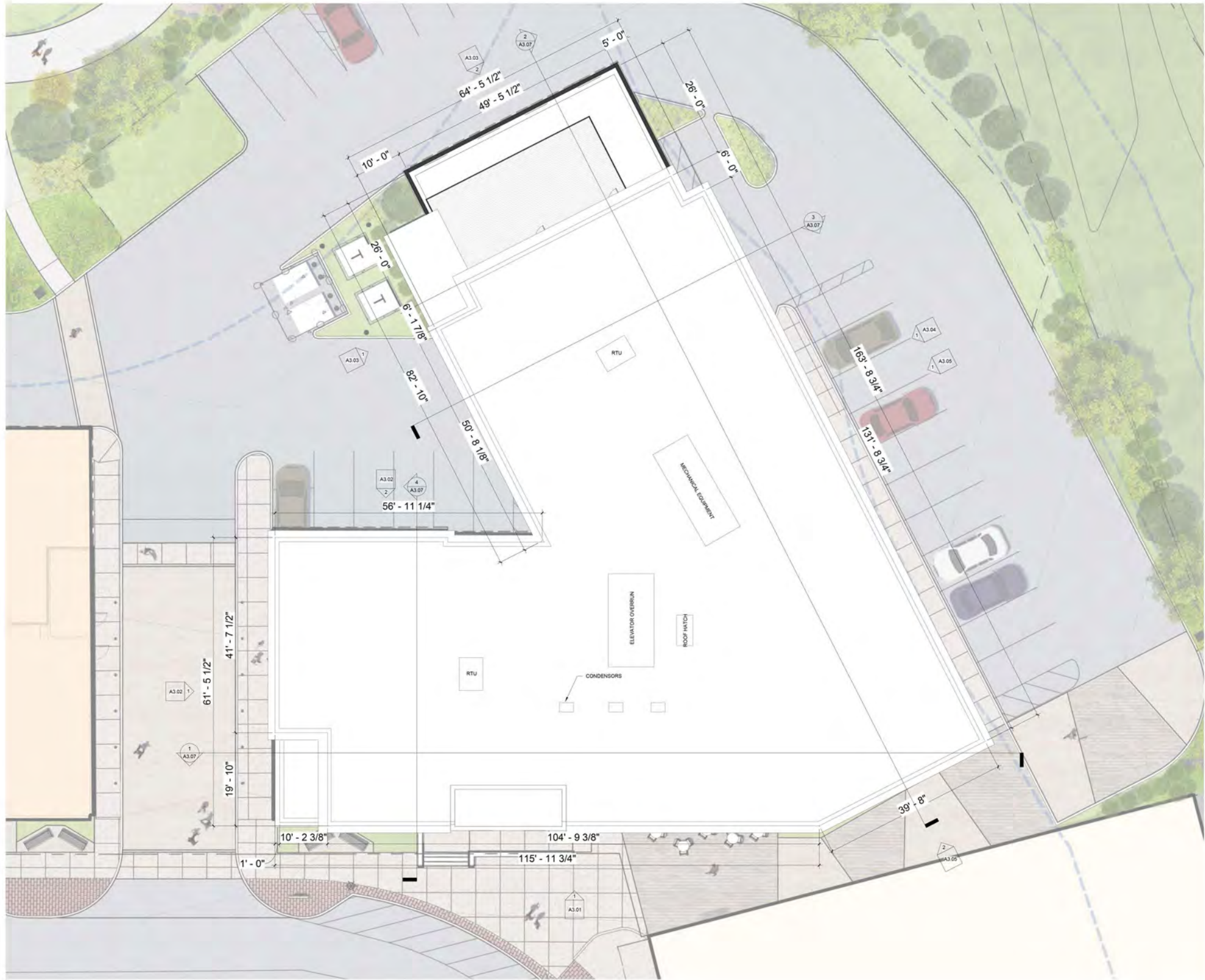












1 ROOF PLAN  
SCALE: 1/8" = 1'-0"  
REF SHEET: 1 / A3.01





1 SOUTH EAST ELEVATION  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02





2 NORTH WEST ELEVATION A  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02

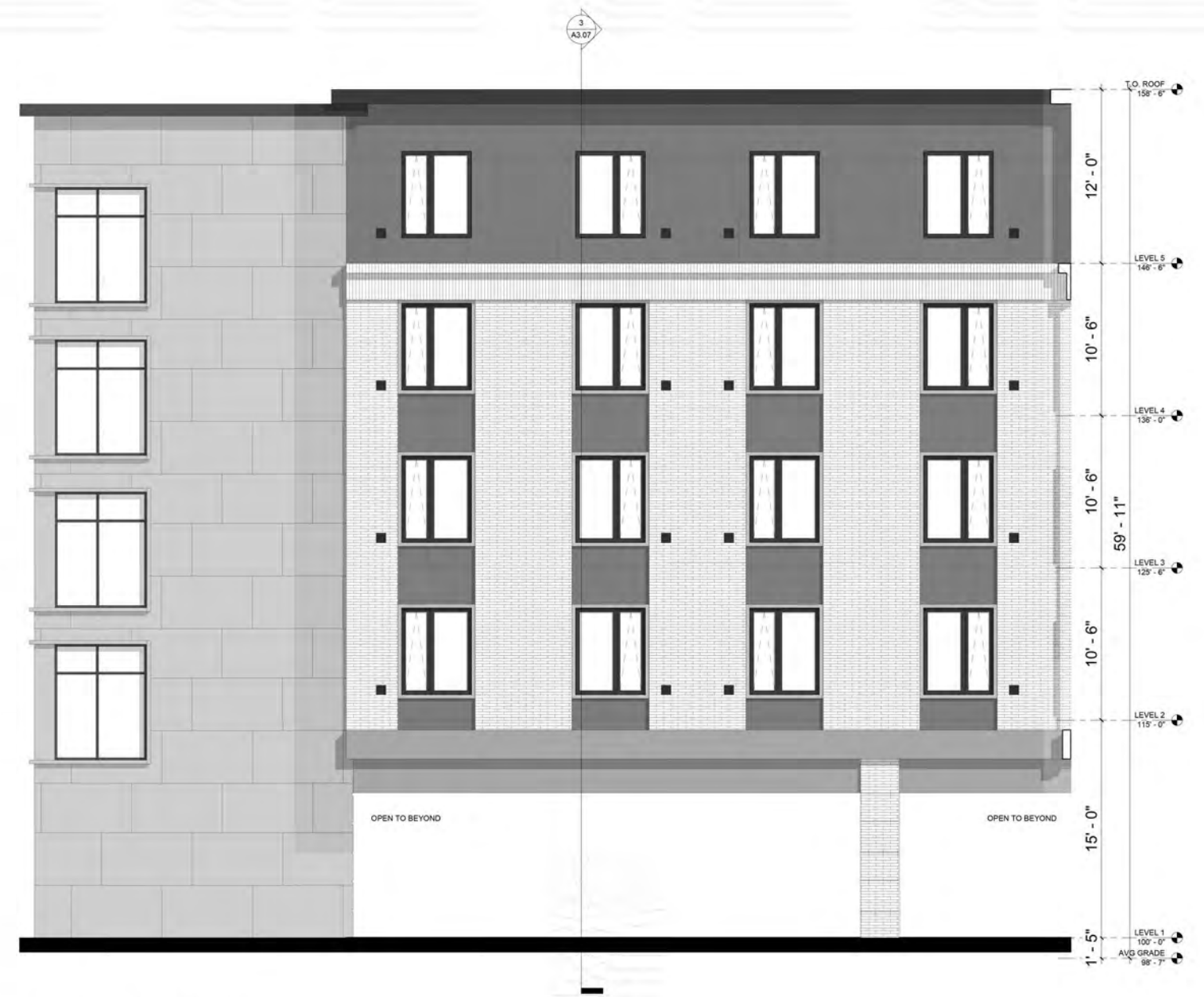


1 SOUTH WEST ELEVATION A  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02





2 NORTH WEST ELEVATION B  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02



1 SOUTH WEST ELEVATION B  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02









2 EAST ELEVATION  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02



1 NORTH EAST ELEVATION B  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A1.02



North Scale

## ELEVATIONS

RAYNES AVE.  
HOTEL

Project

Date

28

JUNE

2022

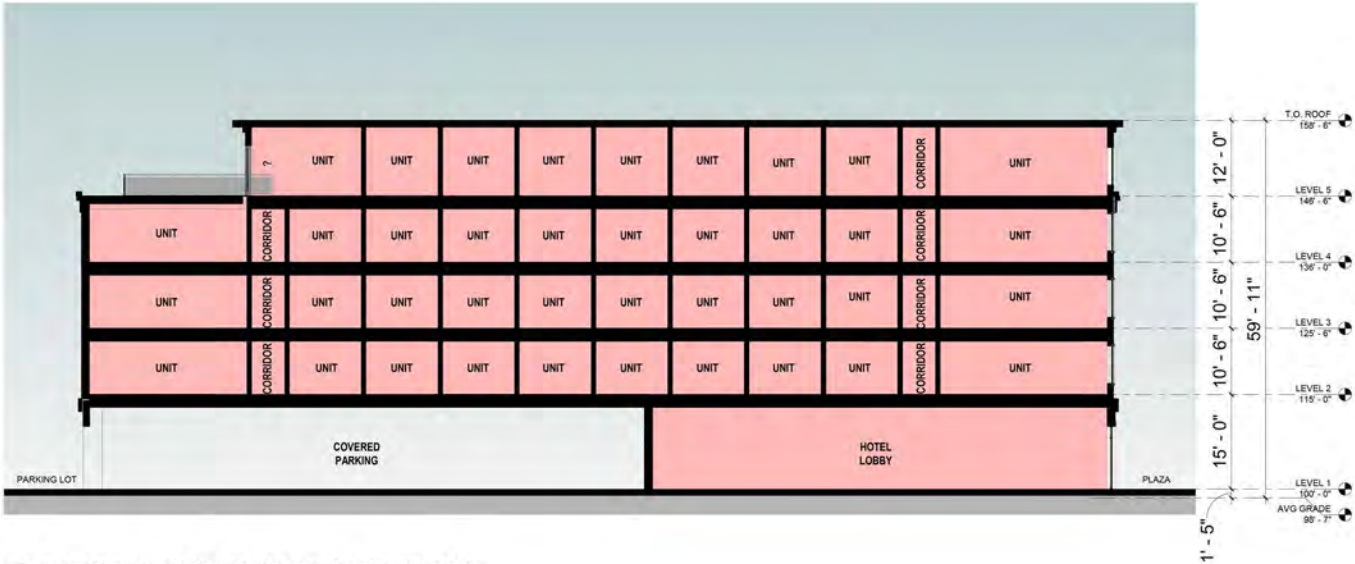
Dwg. No.

A3.05



LEGEND

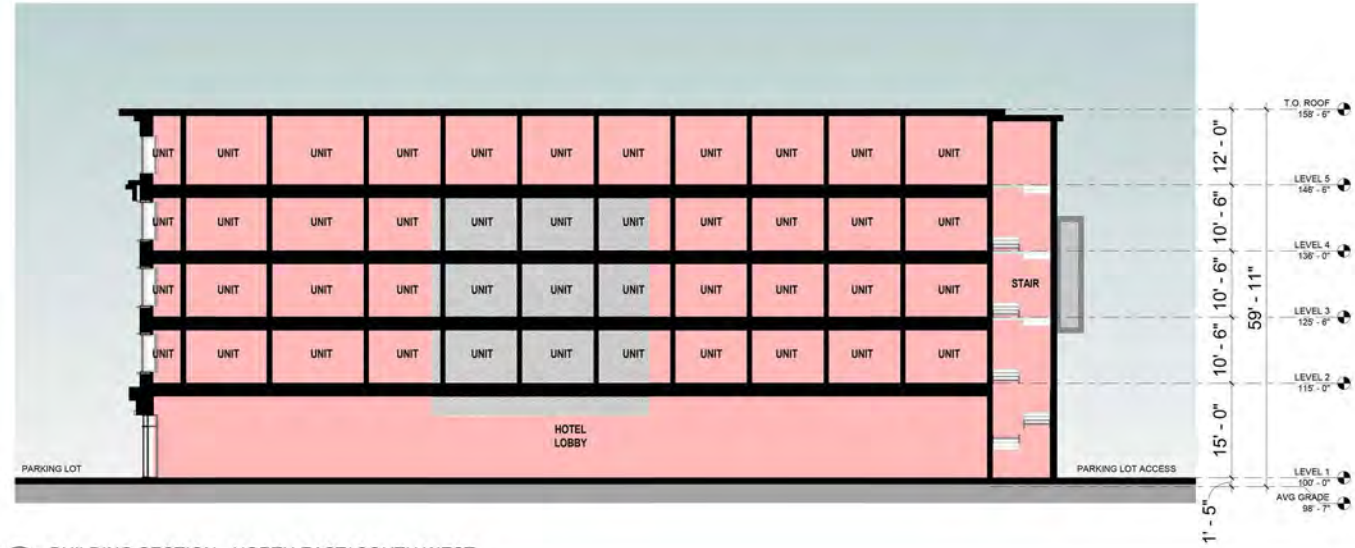
HOTEL



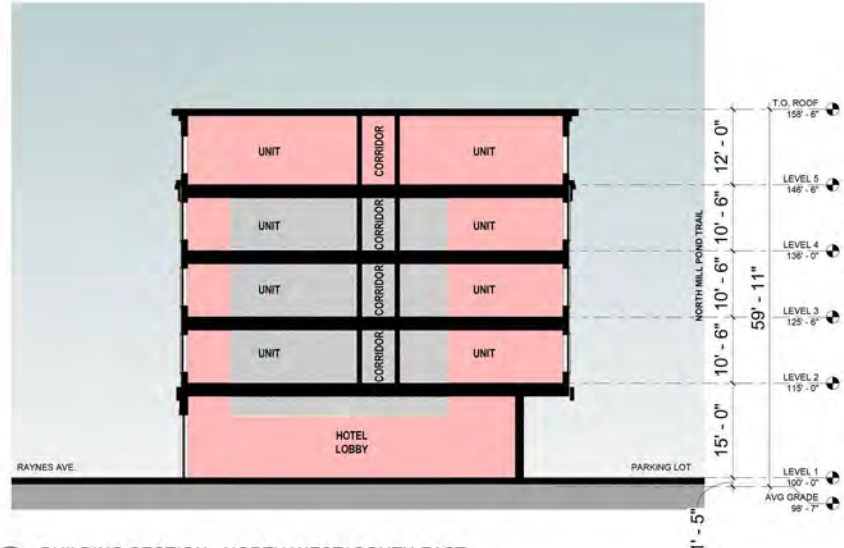
2 BUILDING SECTION - NORTH WEST / SOUTH EAST  
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.02



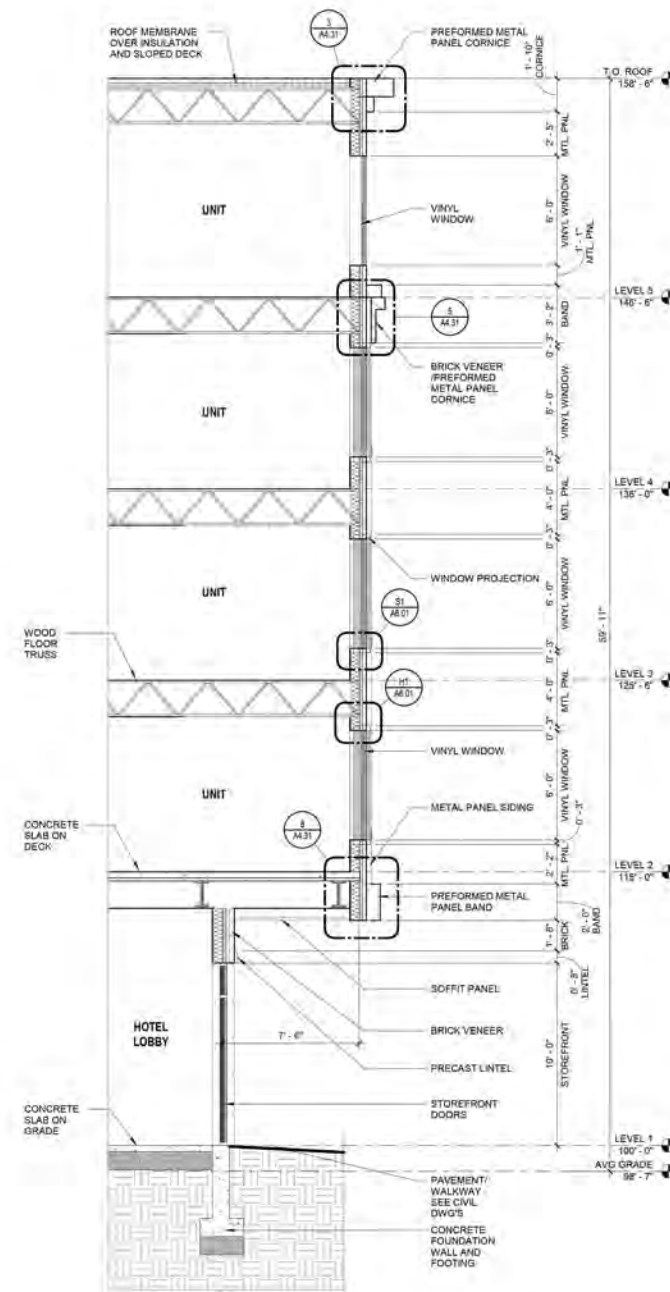
3 BUILDING SECTION - NORTH EAST / SOUTH WEST  
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.02



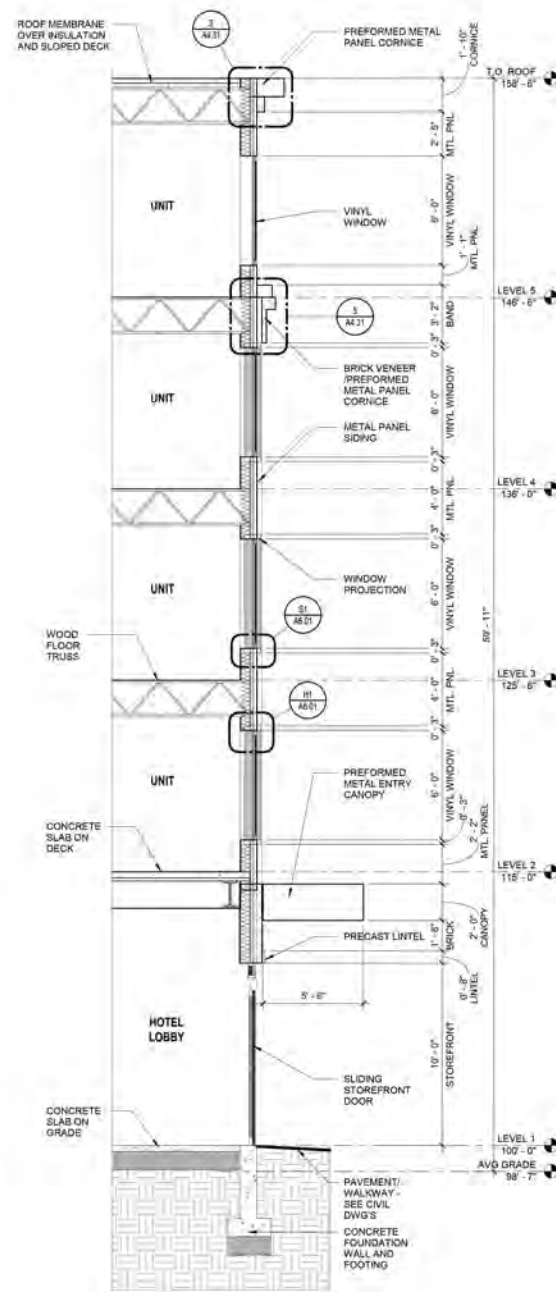
1 BUILDING SECTION - NORTH EAST / SOUTH WEST  
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.02



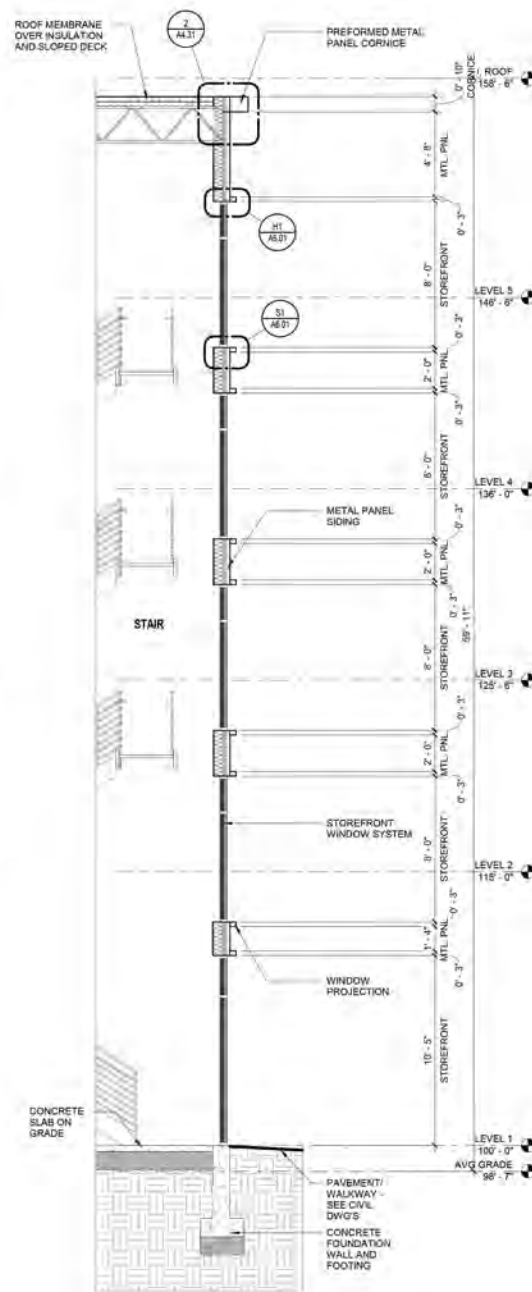
4 BUILDING SECTION - NORTH WEST / SOUTH EAST  
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A1.02



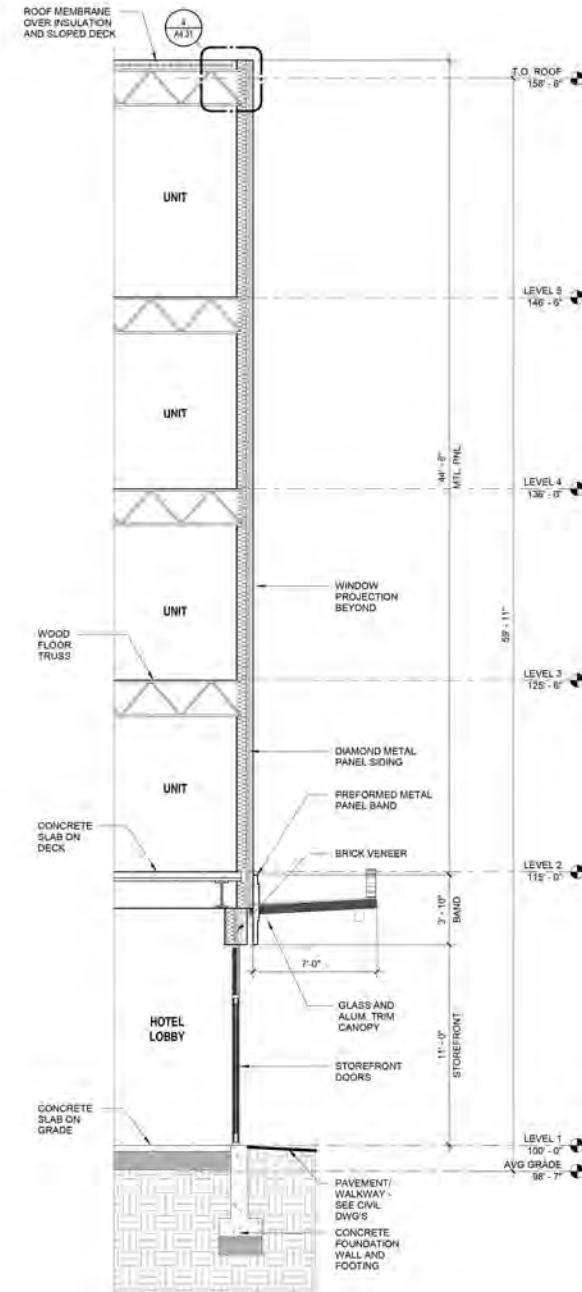
5 WALL SECTION - OVERHANG  
SCALE: 1/4" = 1'-0" REF SHEET: 2 / A3.02



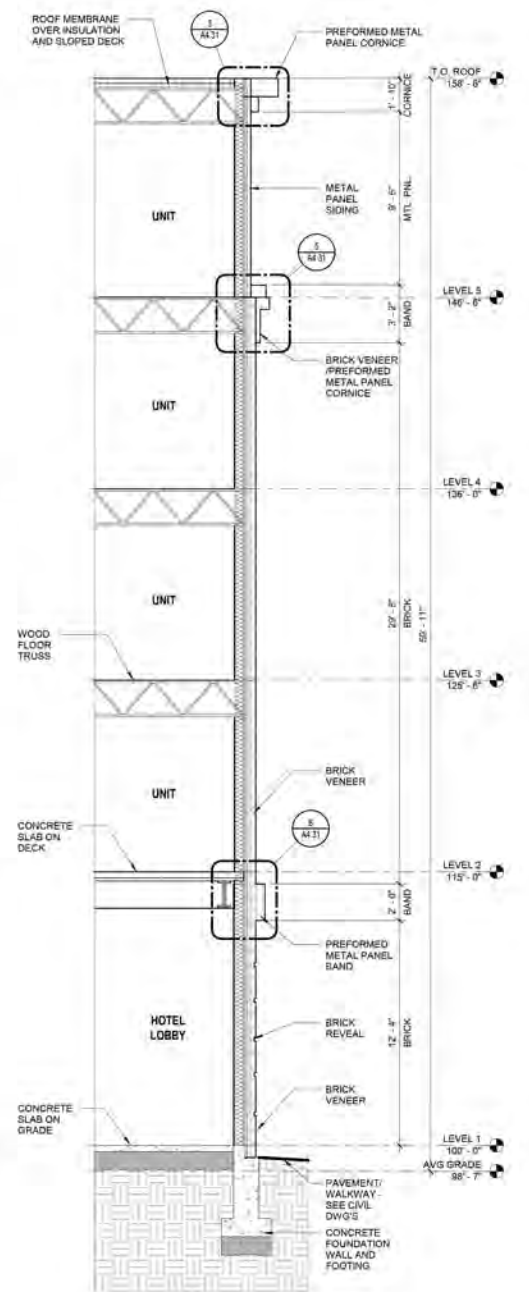
4 WALL SECTION - SOUTH WEST ENTRY  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.02



3 WALL SECTION - STAIR  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01

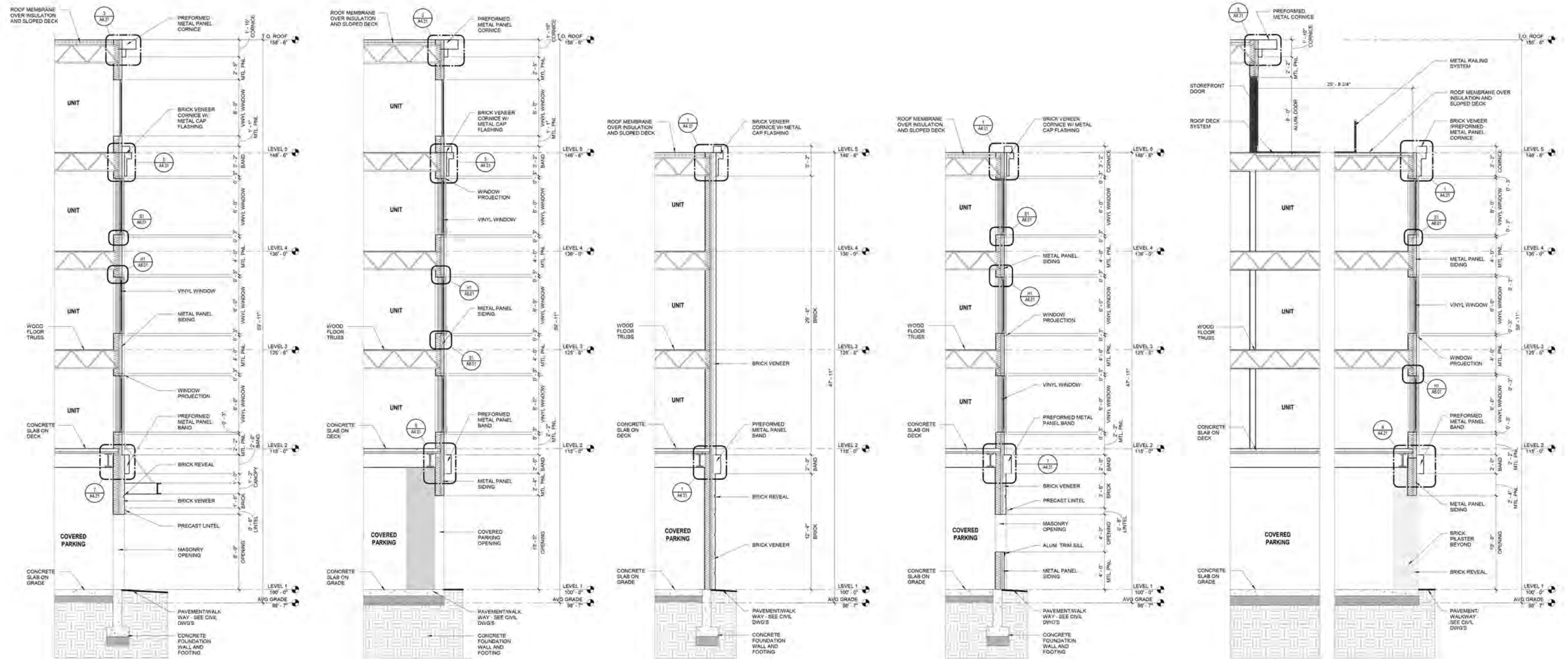


2 WALL SECTION - RAYNES AVE ENTRY CANOPY  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01



1 WALL SECTION - TYPICAL  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.01





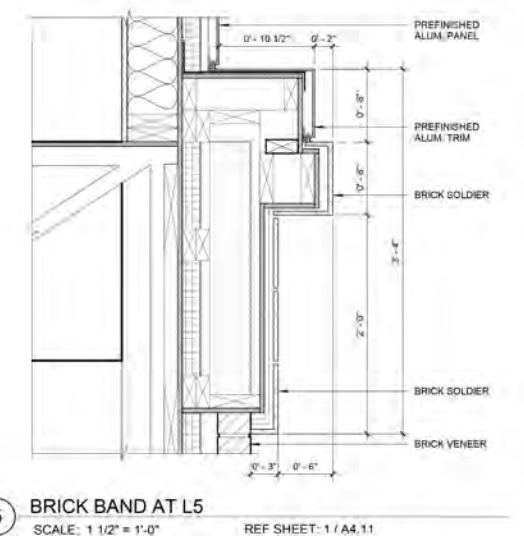
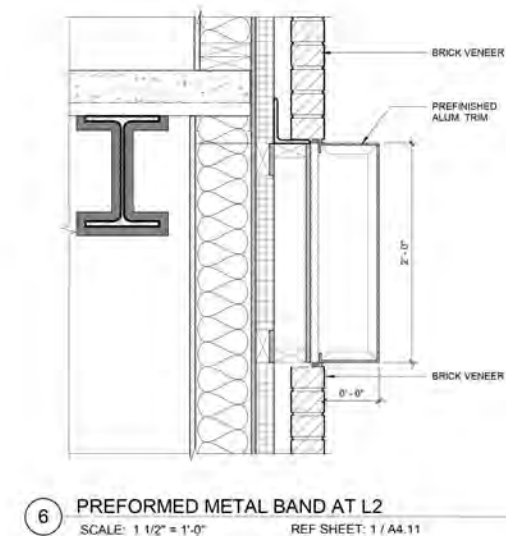
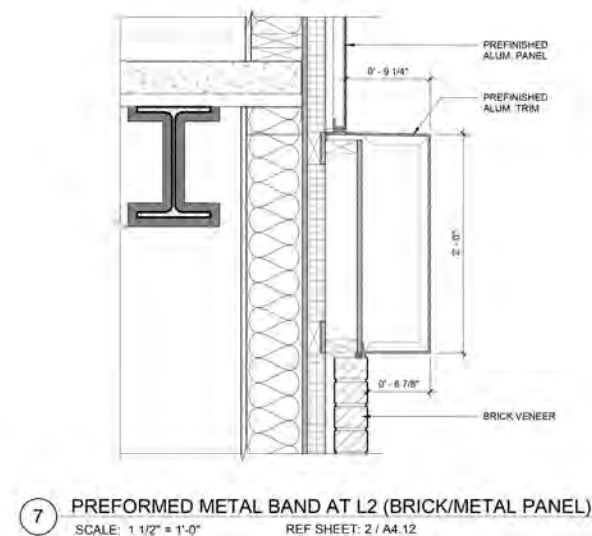
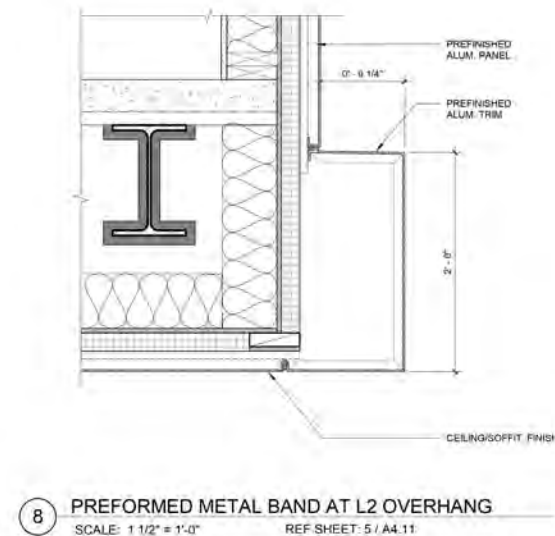
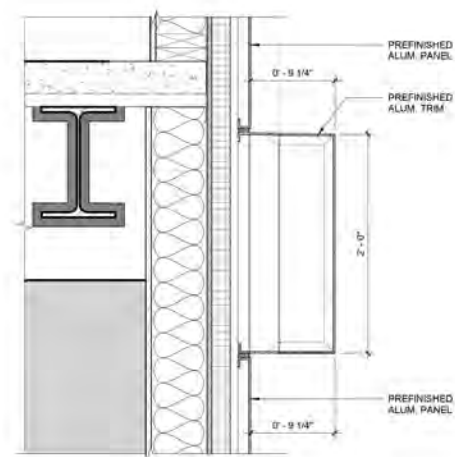
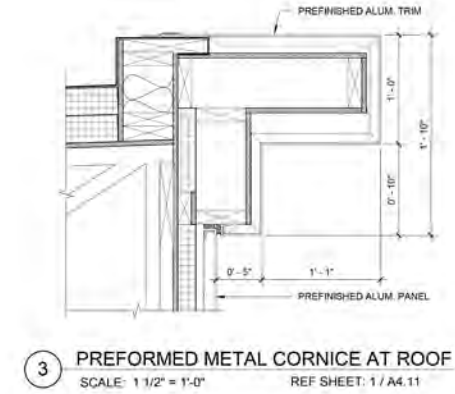
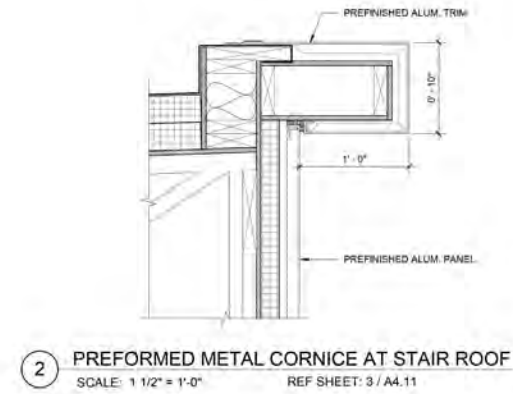
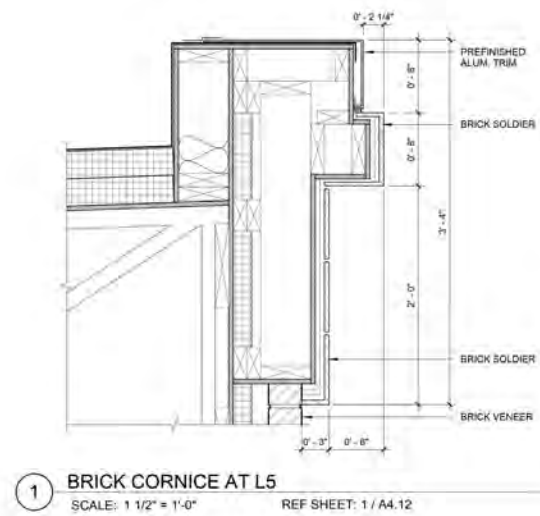
5 WALL SECTION - PARKING OPENING B  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.05

4 WALL SECTION - PARKING OPENING A  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.04

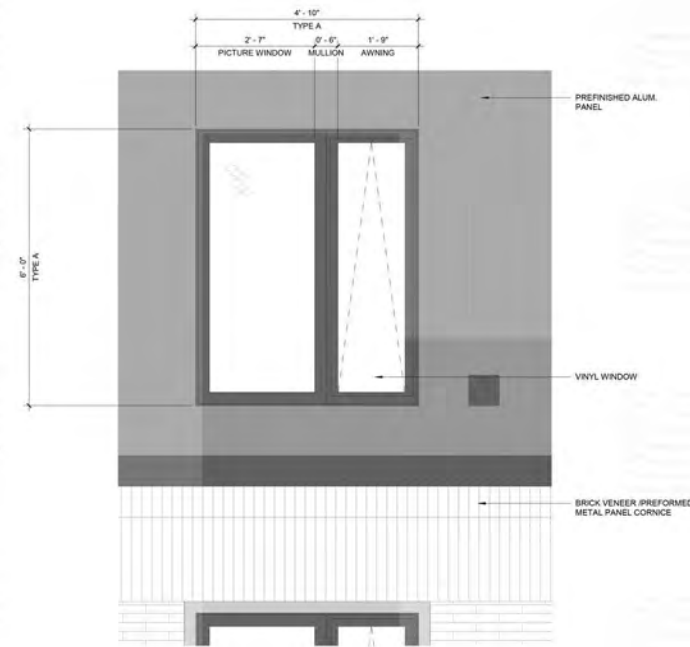
3 WALL SECTION - PILASTER  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.04

2 WALL SECTION - PARKING WINDOW OPENING A  
SCALE: 1/4" = 1'-0" REF SHEET: 1 / A3.04

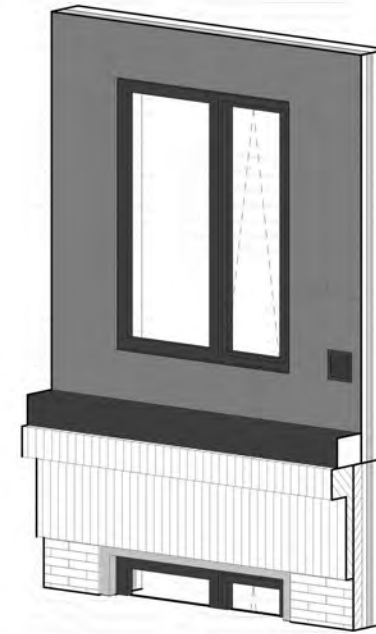
1 WALL SECTION - ROOF DECK  
SCALE: 1/4" = 1'-0" REF SHEET: 2 / A3.03



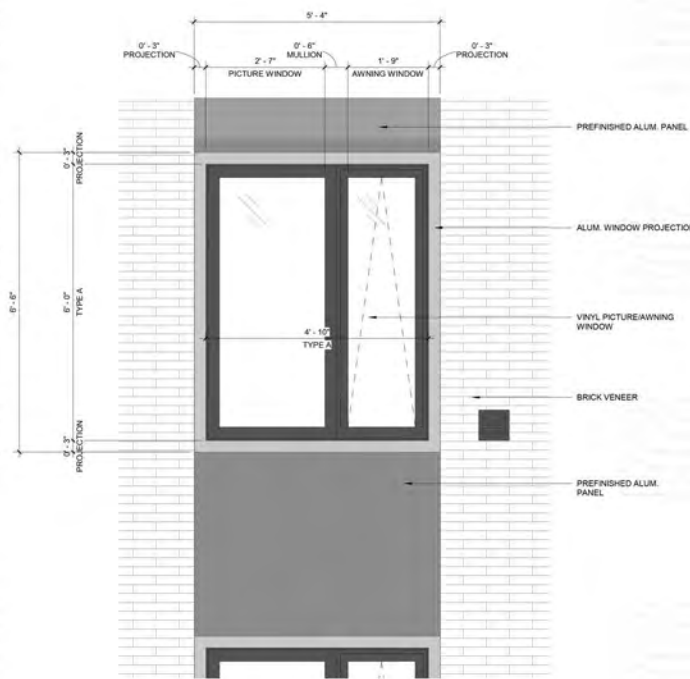




1 ENLARGED VINYL WINDOW IN METAL PANEL LEVEL 5  
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



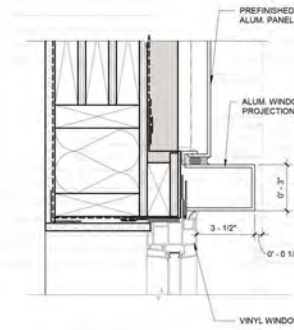
1A ENLARGED VINYL WINDOW IN METAL PANEL L5 3D  
SCALE:



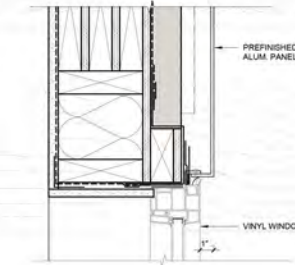
2 ENLARGED VINYL WINDOW IN METAL PANEL/BRICK VENEER LEVEL 2-4  
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



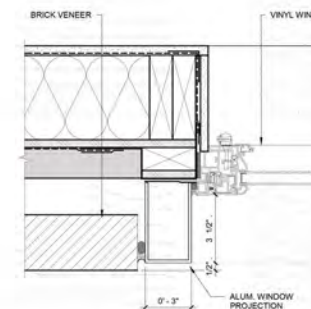
2A ENLARGED VINYL WINDOW IN METAL PANEL/BRICK VENEER L2-4 3D  
SCALE:



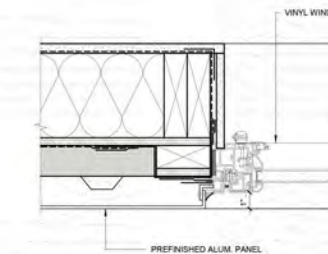
H1 VINYL WINDOW HEAD W/ PROJECTION  
SCALE: 3" = 1'-0" REF SHEET: 3 / A4.11



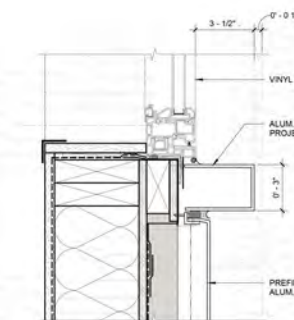
H2 VINYL WINDOW HEAD METAL PANEL  
SCALE: 3" = 1'-0"



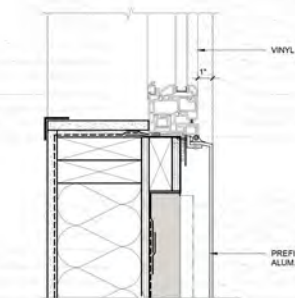
J1 VINYL WINDOW JAMB W/ PROJECTION  
SCALE: 3" = 1'-0"



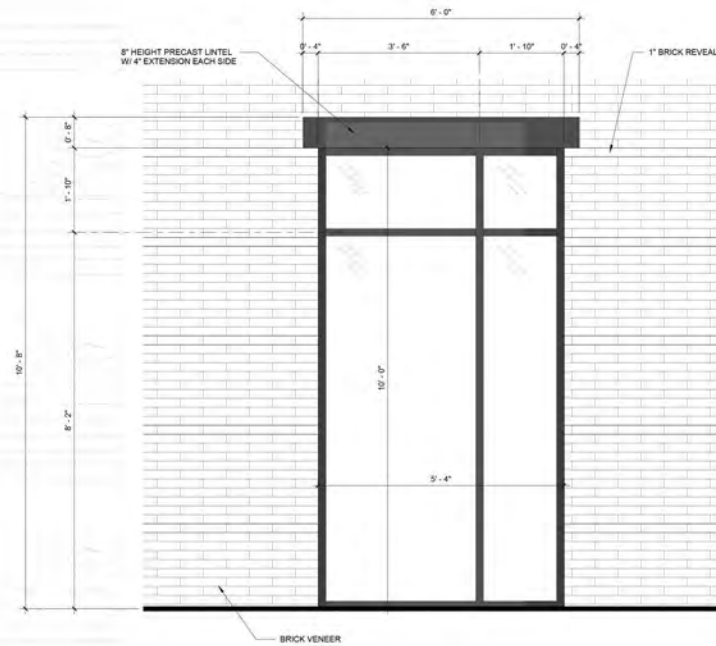
J2 VINYL WINDOW JAMB METAL PANEL  
SCALE: 3" = 1'-0"



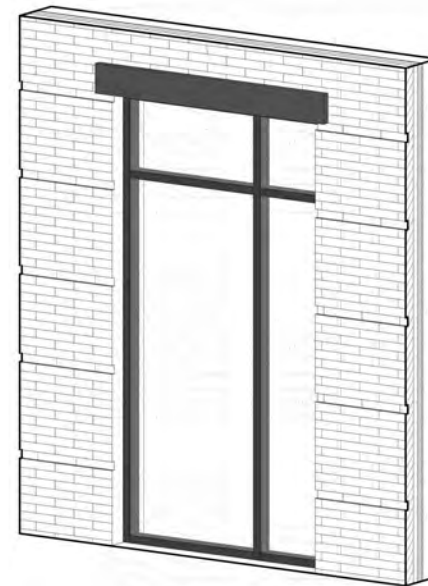
S1 VINYL WINDOW SILL W/ PROJECTION  
SCALE: 3" = 1'-0" REF SHEET: 3 / A4.11



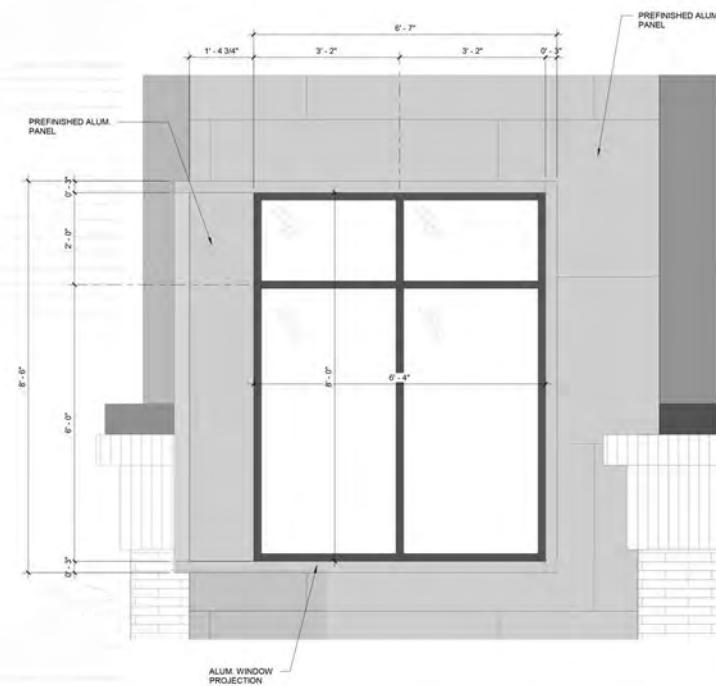
S2 VINYL WINDOW SILL METAL PANEL  
SCALE: 3" = 1'-0"



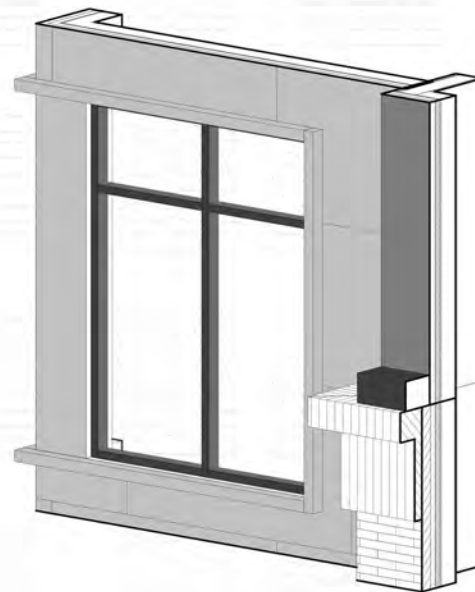
1 ENLARGED STOREFRONT WINDOW ELEVATION IN BRICK VENEER  
LEVEL 1  
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



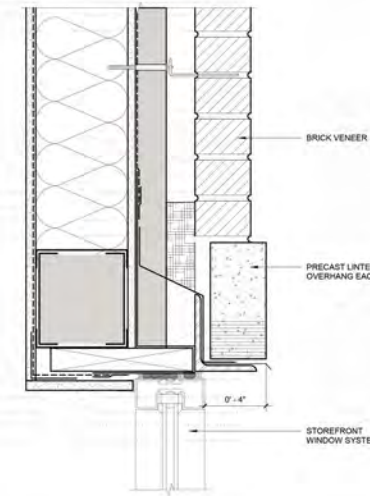
1A ENLARGED STOREFRONT WINDOW ELEVATION IN BRICK VENEER  
LEVEL 1 3D  
SCALE:



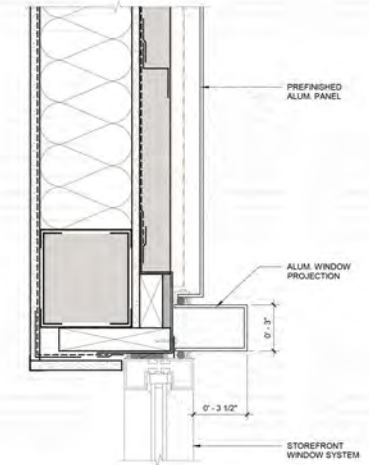
2 ENLARGED STOREFRONT WINDOW IN METAL PANEL AT STAIR  
SCALE: 3/4" = 1'-0" REF SHEET: 1 / A3.01



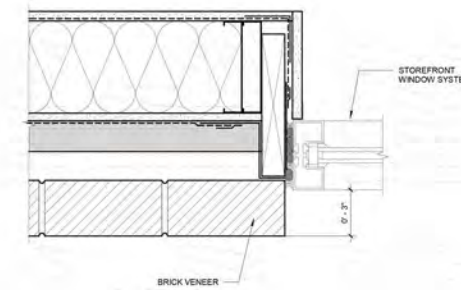
2A ENLARGED STOREFRONT WINDOW IN METAL PANEL AT STAIR 3D  
SCALE:



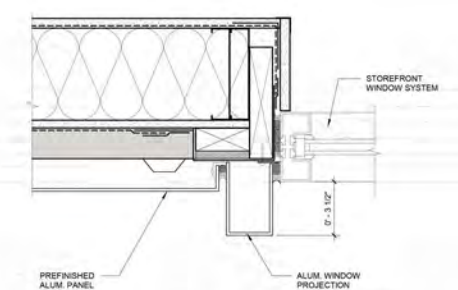
H1 STOREFRONT HEAD BRICK  
SCALE: 3" = 1'-0"



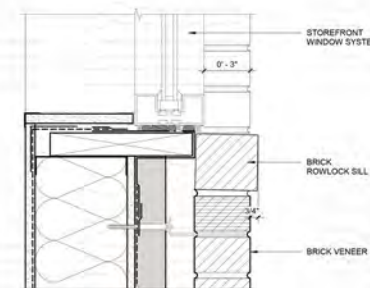
H2 STOREFRONT HEAD METAL PANEL  
SCALE: 3" = 1'-0"



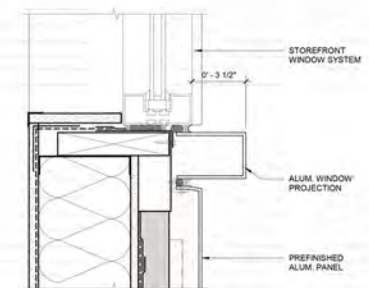
J1 STOREFRONT JAMB BRICK  
SCALE: 3" = 1'-0"



J2 STOREFRONT JAMB METAL PANEL  
SCALE: 3" = 1'-0"



S1 STOREFRONT SILL BRICK  
SCALE: 3" = 1'-0"



S2 STOREFRONT SILL METAL PANEL  
SCALE: 3" = 1'-0"

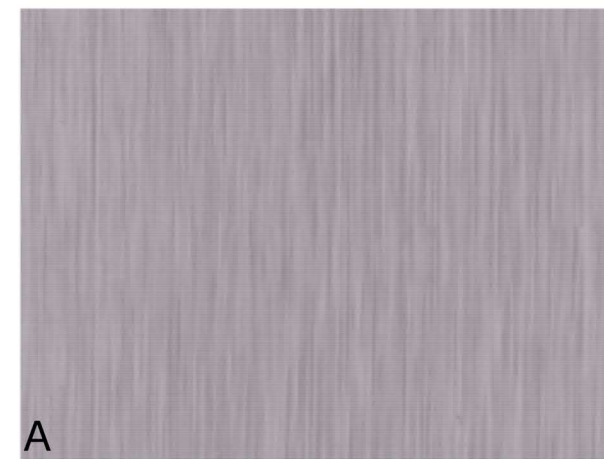




MAIN BRICK  
MANUFACTURER: BELDEN  
COLOR: CLARET FULL RANGE VELOUR  
MORTAR: SGS 85X DARK CHOCOLATE  
SPECIAL INSTRUCTIONS: RUNNING BOND



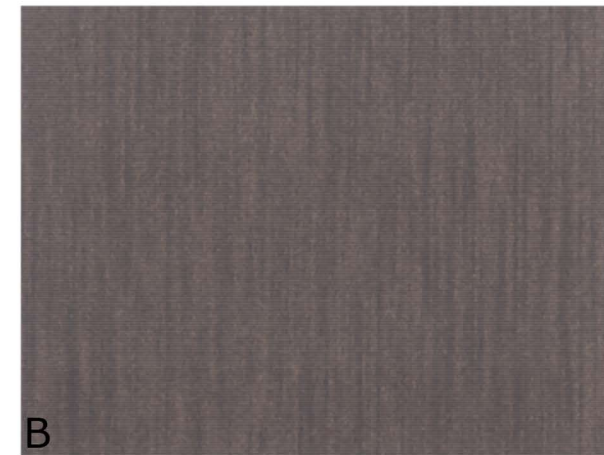
ACCENT BRICK  
MANUFACTURER: ENDICOTT  
COLOR: MANGANESE IRONSPOT - SMOOTH  
MORTAR: SGS 94X IRON BLACK  
SPECIAL INSTRUCTIONS: RUNNING BOND



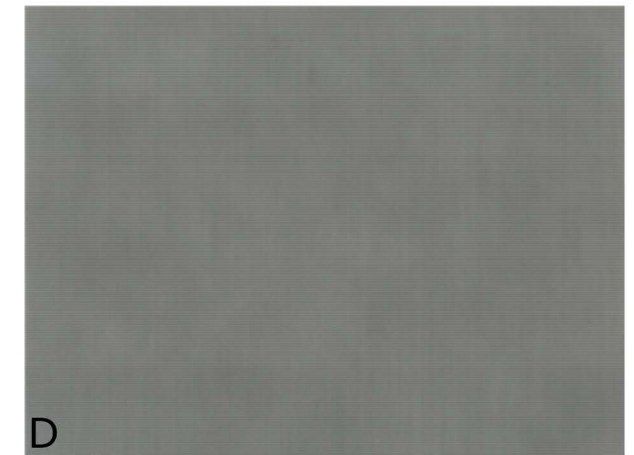
A



C



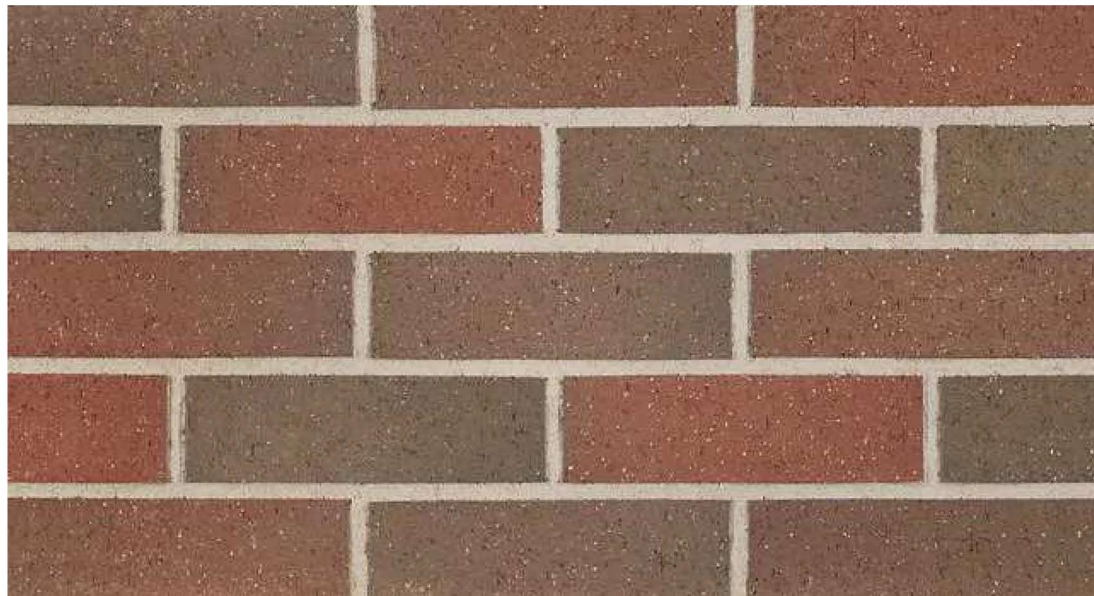
B



D

PREFORMED ALUMINUM PANEL  
MANUFACTURER: VITRABOND  
COLOR: A = FAUX ZINC LIGHT  
B = FAUX ZINC DARK  
C = FAUX ZINC CHARCOAL  
D = BLUE ZINC (IN DIAMOND PATTERN)





MAIN BRICK  
 MANUFACTURER: BELDEN  
 COLOR: ADMIRAL FULL RANGE VELOUR  
 MORTAR: NATURAL PORTLAND CEMENT  
 SPECIAL INSTRUCTIONS: RUNNING BOND



ACCENT BRICK  
 MANUFACTURER: ENDICOTT  
 COLOR: MANGANESE IRONSPOT - SMOOTH  
 MORTAR: SGS 94X IRON BLACK  
 SPECIAL INSTRUCTIONS: RUNNING BOND



CAST STONE	
MANUFACTURER:	NORTHERN DESIGN ARCHITECTURAL
FINISH:	LIGHT ETCH
COLOR:	SLATE

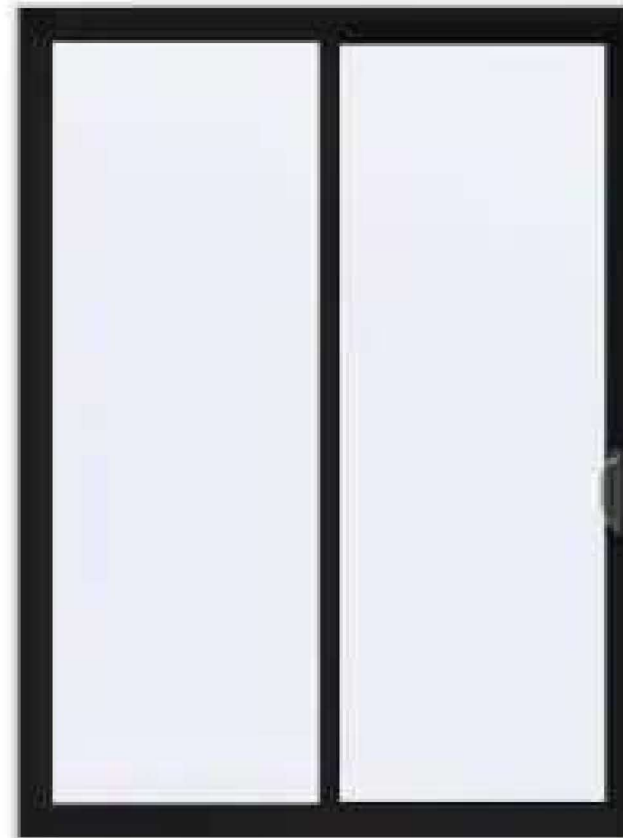


LAP SIDING	
MANUFACTURER:	JAMES HARDIE
STYLE:	PLANK SIDING - LAP
FINISH:	SMOOTH
COLOR:	PEARL GREY
	MIXED USE



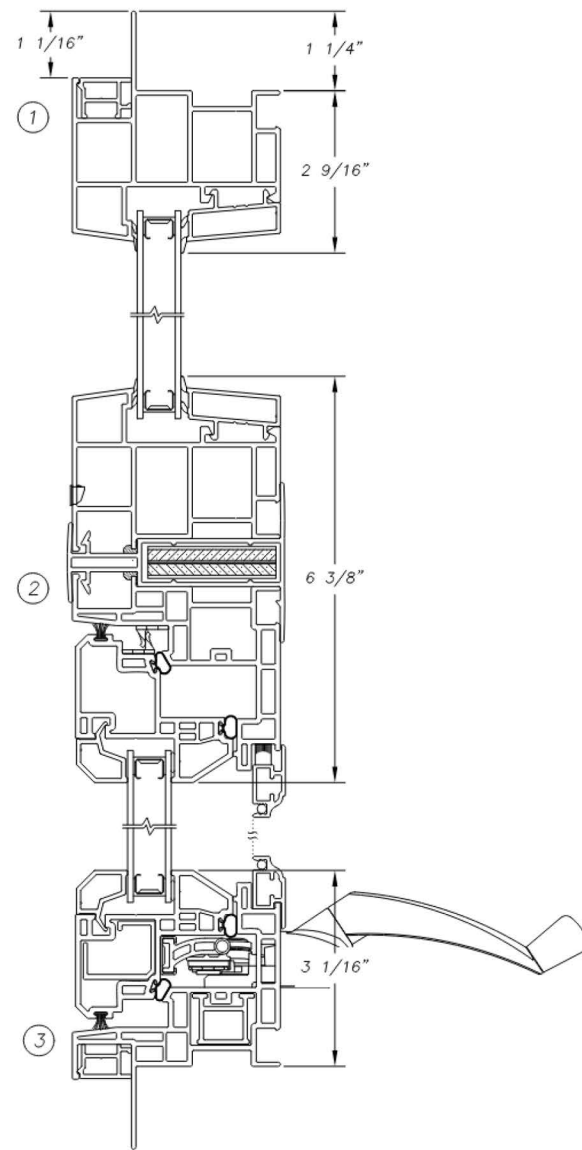


DOUBLE-HUNG WINDOWS  
MANUFACTURER: MARVIN  
SERIES: ESSENTIAL  
COLOR: EBONY

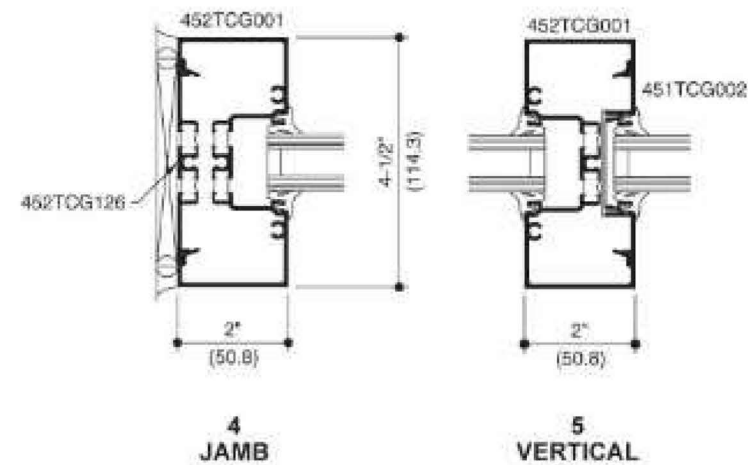


PATIO DOORS  
MANUFACTURER: MARVIN  
SERIES: ESSENTIAL  
COLOR: EBONY

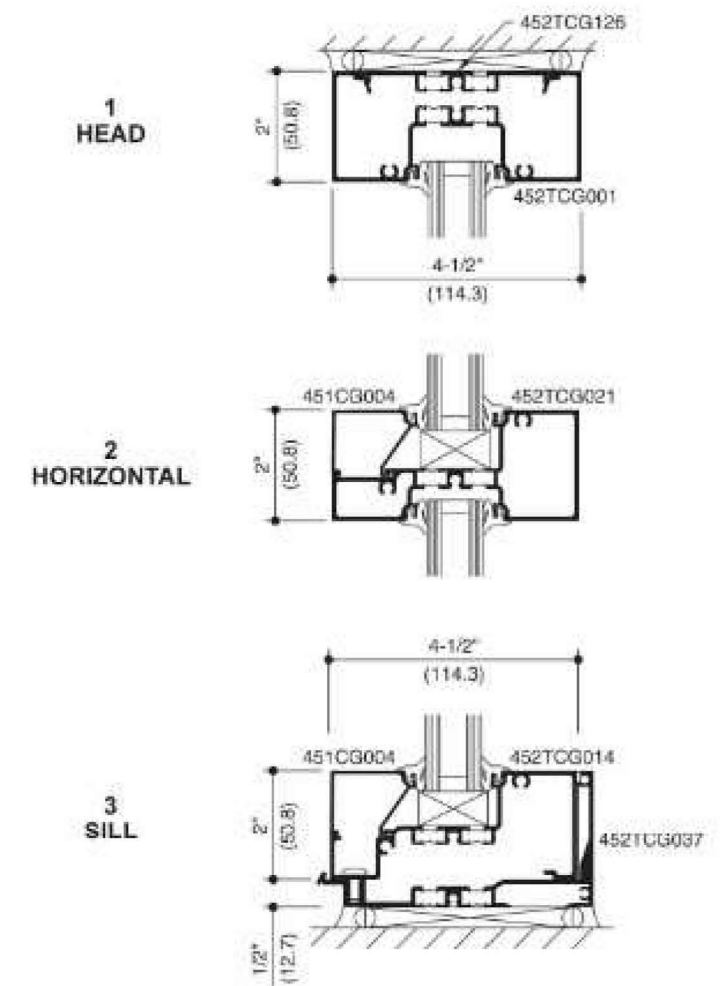
MIXED USE



VINYL WINDOW  
 MANUFACTURER: HARVEY COMMERCIAL SOLUTIONS  
 SERIES: PICTURE & AWNING WINDOWS  
 COLOR: BLACK



STOREFRONT  
 MANUFACTURER: KAWNEER  
 SERIES: TRIFAB 451 UT  
 COLOR: BLACK



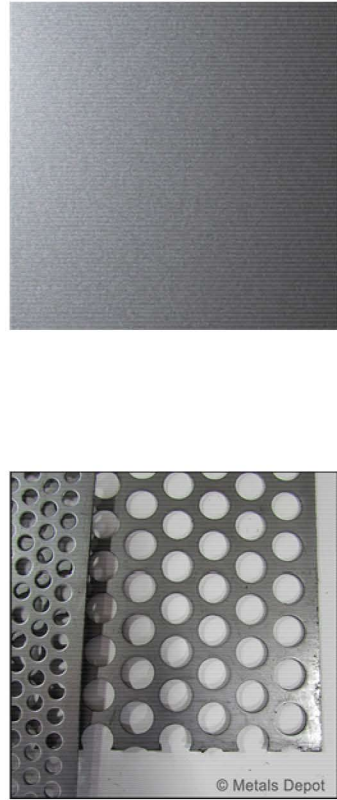
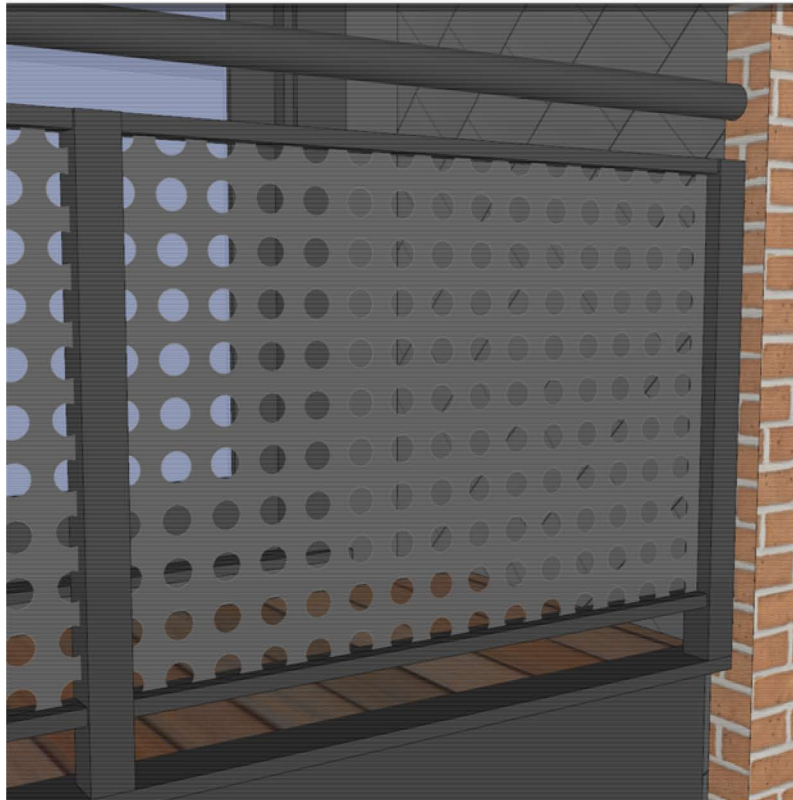
RAYNES AVENUE  
 PORTSMOUTH, NEW HAMPSHIRE

PROPOSED MATERIALS  
 HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022



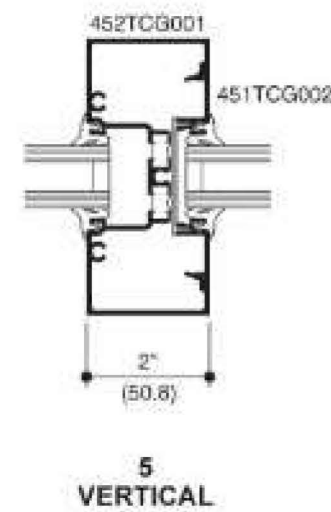
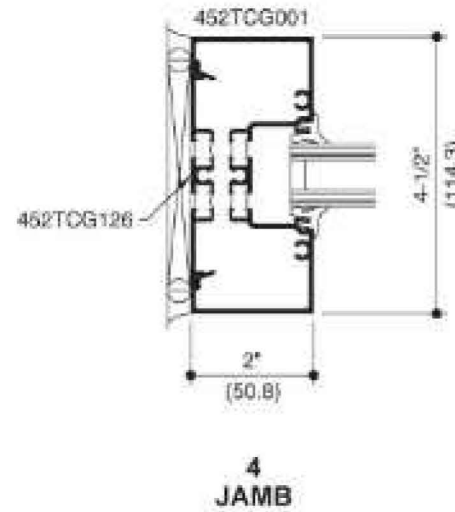
HOTEL



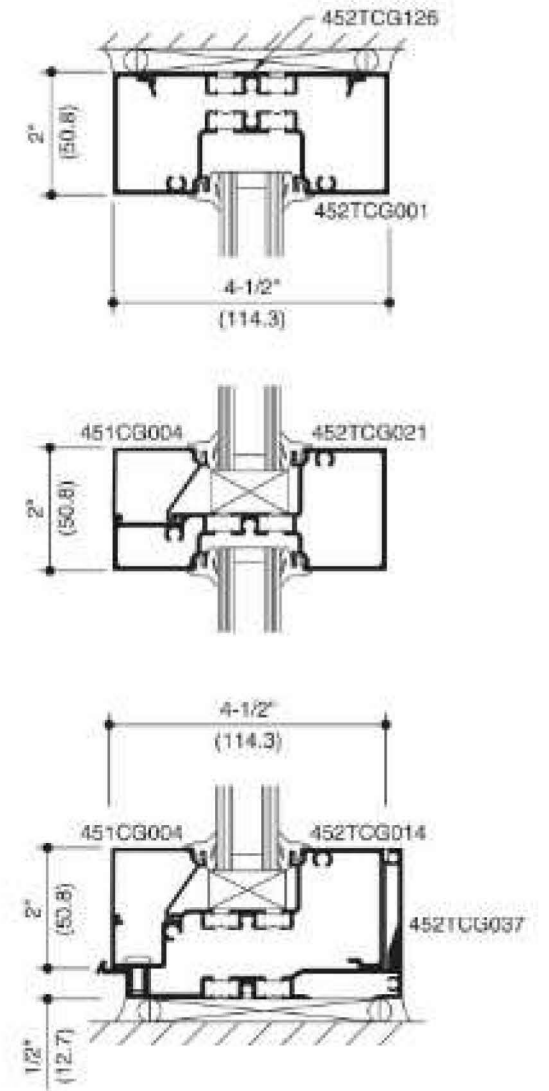


## BALCONY RAILING

MANUFACTURER: METALS DEPOT  
 STYLE: 1" HOLE - PS111  
 COLOR: KYNAR - PEWTER SILVER



1 HEAD  
 2 HORIZONTAL



## STOREFRONT

MANUFACTURER: KAWNEER  
 SERIES: TRIFAB 451 UT  
 COLOR: BLACK

MIXED USE

RAYNES AVENUE  
 PORTSMOUTH, NEW HAMPSHIRE

PROPOSED MATERIALS  
 HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022





MANUFACTURER: MODERN FORMS  
 MODEL: SUSPENSE  
 COLOR: BLACK



MANUFACTURER: MODERN FORMS  
 MODEL: MIDNIGHT  
 COLOR: BLACK



MANUFACTURER: MODERN FORMS  
 MODEL: BLADE  
 COLOR: BLACK

MIXED USE



## **APPENDIX:**

- SITE PLANS
- PROJECT DATA
- PUZZLE PARKING SYSTEM
- 30"x42" (DUPLICATE) SCALE DRAWINGS FOR RECORD





0 20 40 80 SCALE: 1" = 20'-0"

RAYNES AVE - PORTSMOUTH, NH  
11/15/2021

SITE LANDSCAPE PLAN

**Tighe&Bond**

RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

SITE LANDSCAPE PLAN  
REFERENCE

HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022



5.1



- LEGEND
- HOTEL
  - RESIDENTIAL
  - RESTARAUNT/OFFICE/RETAIL



1 LEVEL 1 - OVERALL  
SCALE: 3/32" = 1'-0" REF SHEET: 1 / A3.01



CONNECT • CREATE • CONSTRUCT

North



Scale



FIRST FLOOR PLAN AND SITE

RAYNES AVE.  
HOTEL

Project Date 27 JUNE 2022 Dwg. No. A1.01

RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

FIRSR FLOOR PLAN AND SITE  
HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022





CONNECT • CREATE • CONSTRUCT







**RAYNES AVENUE**  
PLAN PORTSMOUTH 3D MODEL: AREA 7  
CHARACTER DISTRICT: CD-4

**BUILDING TOTALS:**  
RESIDENTIAL: 65,150SF - 32 UNITS  
HOTEL: 68,000SF - 124 UNITS

ZONING DISTRICT: CHARACTER DISTRICT 4 (CD4)  
DOWNTOWN OVERLAY DISTRICT  
NORTH END INCENTIVE OVERLAY DISTRICT  
HISTORIC DISTRICT

PROPOSED USE: MULTI FAMILY DWELLING  
HOTEL  
RETAIL/RESTAURANT

PROPOSED LOT SIZE: ±2.53 ACRES (±110,415 SF)

DEVELOPMENT STANDARDS			
BUILDING PLACEMENT (PRINCIPAL BUILDING):			
	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
MAXIMUM PRINCIPAL FRONT YARD:	15 FT	±16 FT <sup>(1)</sup>	7.4 FT
MAXIMUM SECONDARY FRONT YARD:	12 FT	±5 FT	N/A
SIDE YARD:	NR	NR	NR
MINIMUM REAR YARD:	5 FT	N/A	N/A
MINIMUM FRONT LOT LINE BUILDOUT:	50%	78.4%	78.4%

(1) - INCREASE ABOVE THE MAXIMUM ALLOWED PER 10.5A42.12

BUILDING AND LOT OCCUPATION:			
	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
MAXIMUM BUILDING BLOCK LENGTH:	200 FT	191 FT	116 FT
MAXIMUM FACADE MODULATION LENGTH:	80 FT	<80 FT	<80 FT
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT	<50 FT
MAXIMUM BUILDING COVERAGE:	90%	±47.0%	±47.0%
MAXIMUM BUILDING FOOTPRINT:	30,000 SF <sup>(2)</sup>	16,629 SF	14,622 SF
MINIMUM LOT AREA:	NR		
MINIMUM LOT AREA PER DWELLING UNIT:	NR		
MINIMUM OPEN SPACE:	10%	35.4%	
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF	7,720 SF	8,911 SF

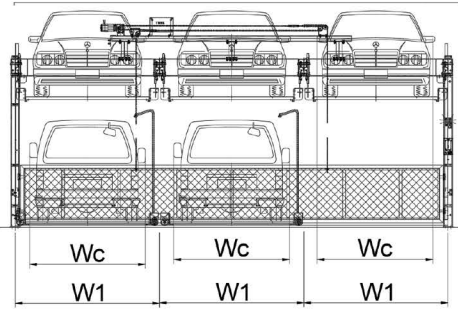
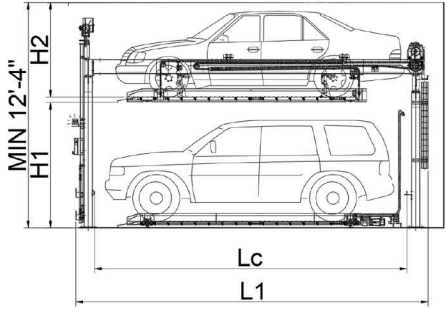
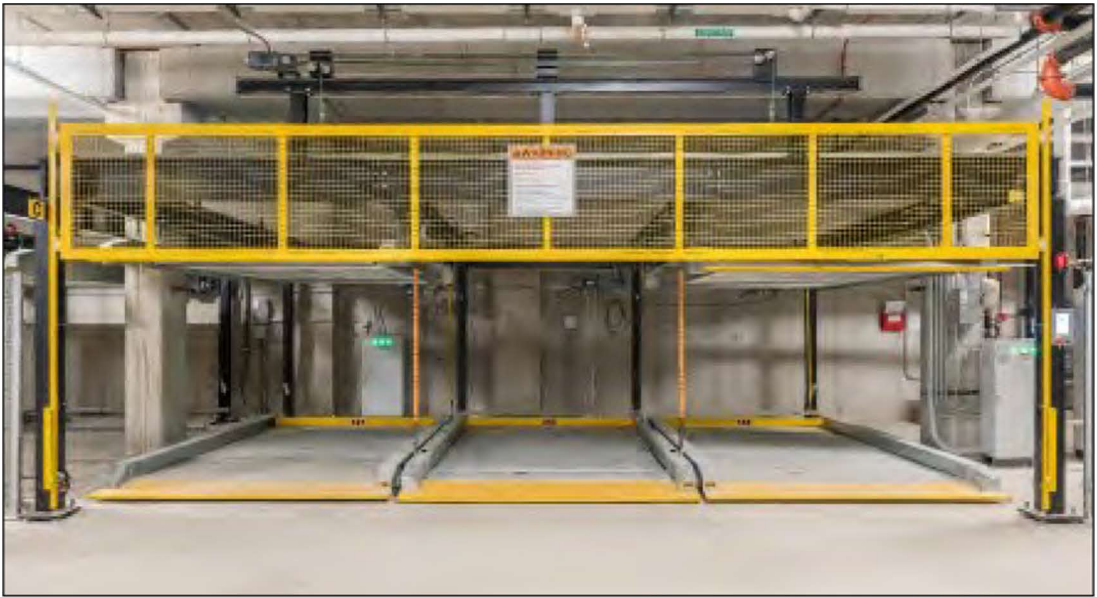
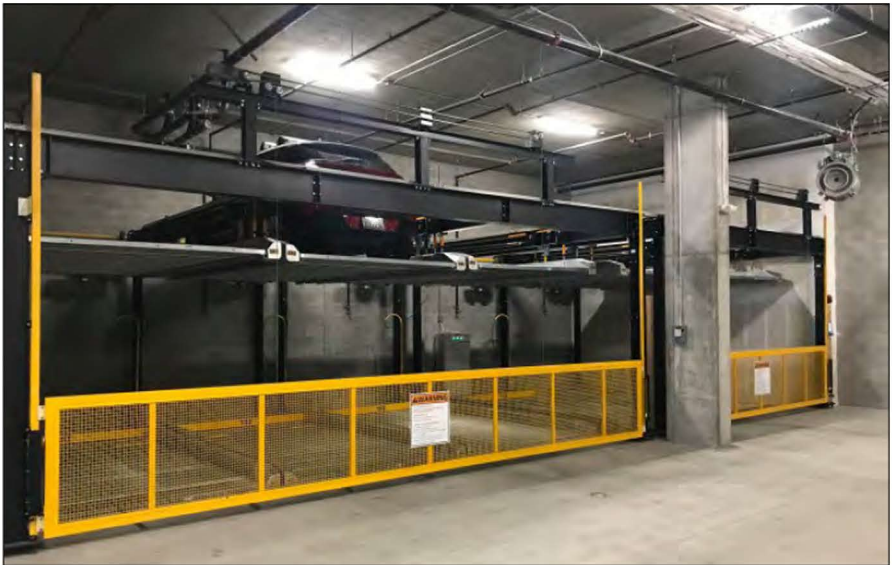
(2) - INCREASE ABOVE 15,000 SF ALLOWED PER 10.5A46.10

BUILDING FORM (PRINCIPAL BUILDING):			
	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
BUILDING HEIGHT:	5 STORY <sup>(3)</sup> 60 FT	5 STORY 59.77 FT	5 STORY 57.90 FT
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36"	<36"
MINIMUM GROUND STORY HEIGHT:	12 FT	15 FT	15 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10.5 FT	10.5 FT
FACADE GLAZING:			
SHOP FRONT FACADE TYPE	70%	70%	70%
ALLOWED ROOF TYPES			
FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT	





PROPOSED VIEW



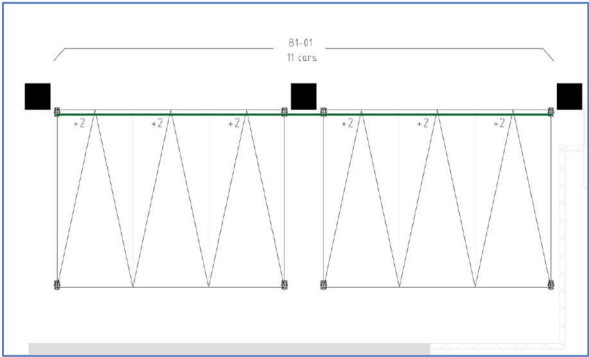
(B) Elevation Section View

Figure 6. 2-Level Puzzle (Typical)

Table 1. Typical 2-level Puzzle Dimensions  
Equipment Dimension and Car Size

Equipment Dimension and Car Size	
Equipment Length (L1)	Equipment Width (W1)
20'-0"	8' - 6"
Car Length (Lc)	Car Width (Wc)
17' - 0"	6' - 10"

TWO-LEVEL PUZZLE (+2)



(A) Design Plan View

RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

CIYTLIFT - PUZZLE PARKING SYSTEM  
REFERENCE  
HISTORIC DISTRICT COMMISSION WORK SESSION 9: JULY 6, 2022







07/07/2022

**LUHD-463**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Apr 14, 2022**Applicant**

Carla Goodknight  
carla@cjarchitects.net  
233 Vaughan Street  
Suite 101  
Portsmouth, NH 03801  
6034312808

**Location**

179 PLEASANT ST  
Portsmouth, NH 03801

**Owner:**

MILL POND VIEW LLC  
PO BOX 399 NOTTINGHAM, NH 03290

**Application Type****Please select application type from the drop down menu below**

Work Session

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Application to Amend Previous Approval - restoration, renovation, new construction and selective demolition of various structures setback behind historic mansion and annex.

**Description of Proposed Work (Planning Staff)**

(minor demolition, new construction, restoration and renovation of the accessory structures and annex of the main home)

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Carla

**Business Name (if applicable)**

CJ Architects

**Mailing Address (Street)**

233 Vaughan

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

6034312808

**Email Address**

carla@cjarchitects.net

**Relationship to Project**

Other

**If you selected "Other", please state relationship to project.**

General Contractor &amp; Construction Manager

**Full Name (First and Last)**

David Calkins

**Business Name (if applicable)**

--



LETTER OF AGENDA

We respectfully submit this Application for Amended Approval.

At this time, the team is focusing on the remaining structures located behind the Annex.

We have included the following items for your consideration:

CJ Architects – Proposed Design

- Existing Elevations Scope of Work
- Proposed Renderings
- Proposed Elevations

Appendix-

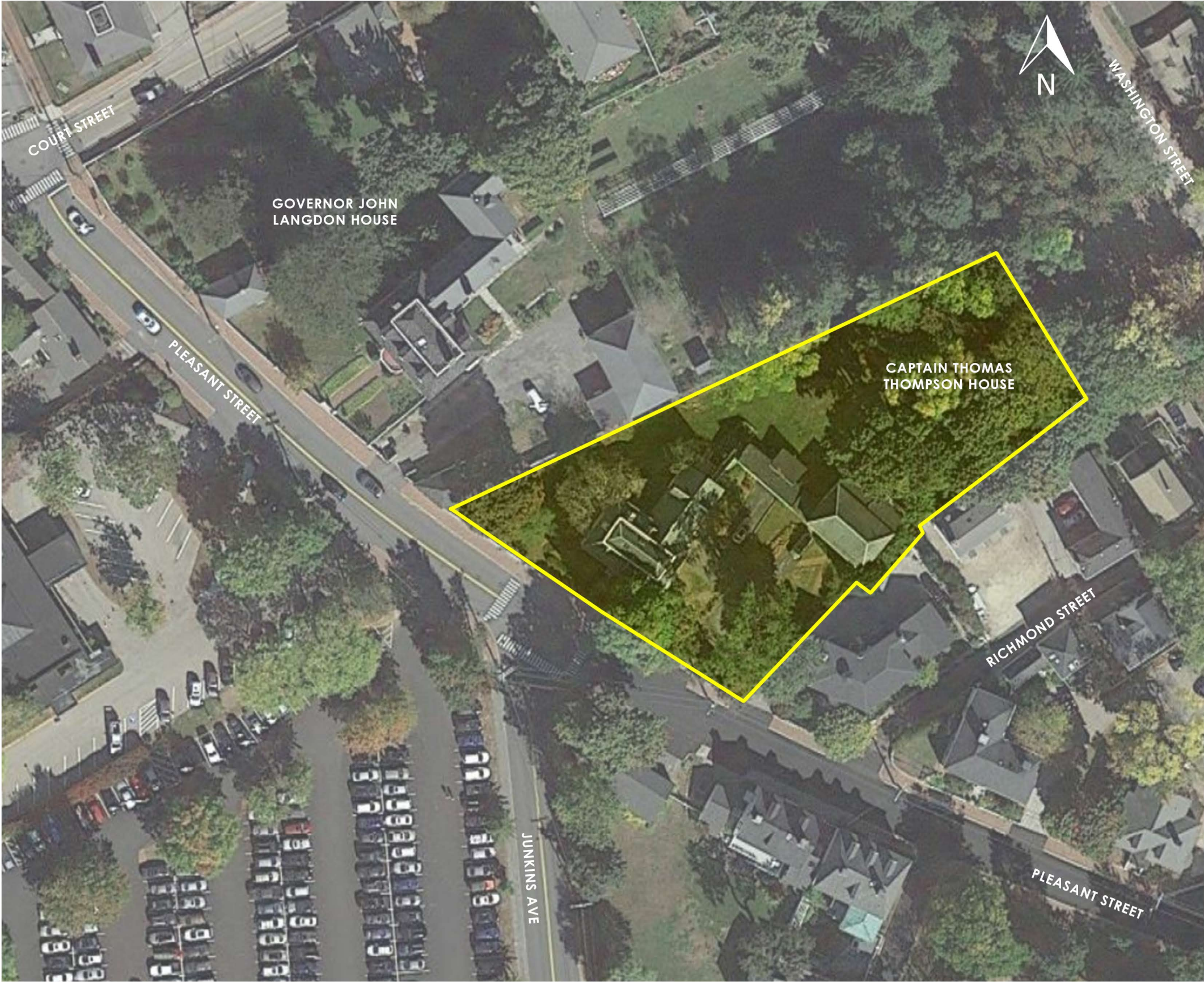
1. Historic Precedents
2. Gorham Structural Engineering – Existing Structural Report
3. David Calkins GC & GM – Existing Conditions Evaluation
4. Existing Conditions Documentation of the Three Primary Structures
5. Property Timeline
6. Historic Consultants

*The current HDC Approval was granted to the prior owner and amended to include a revised scope for the Mansion and Annex.*

Thank you for your consideration.  
Sincerely,



Carla Goodknight, AIA, NCARB  
Principal, CJ Architects



179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

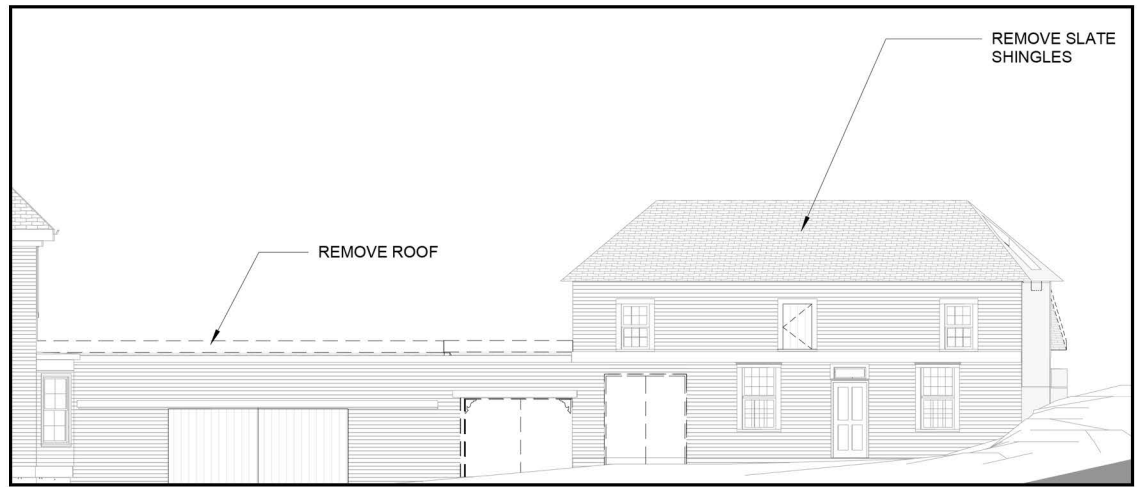
AERIAL VIEW

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



1.0





PREVIOUSLY APPROVED FRONT ELEVATION (FOR REFERENCE)



VIEW OF EXISTING FRONT ELEVATION

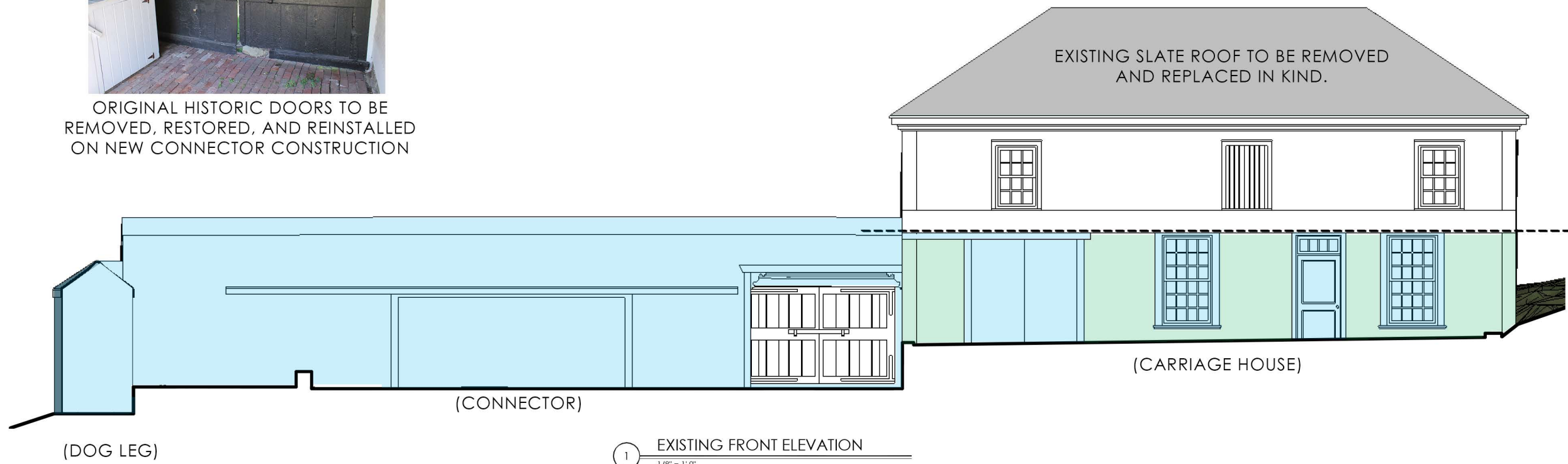


KEY:

	TO BE REMOVED, RESTORED, & RE-INSTALLED
	TO BE REPLACED IN KIND
	TO BE DEMOLISHED

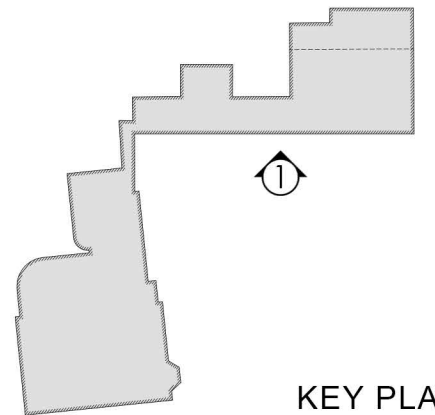


ORIGINAL HISTORIC DOORS TO BE REMOVED, RESTORED, AND REINSTALLED ON NEW CONNECTOR CONSTRUCTION



SECOND FLOOR STRUCTURE, WALLS, AND ROOF ABOVE TO BE PRESERVED AND RAISED IN ORDER TO CONSTRUCT NEW STABLE FIRST FLOOR FRAMING BELOW.

FIRST FLOOR FOUNDATION WILL BE INSTALLED 18" ABOVE ADJACENT GRADE AROUND PERIMETER TO MAINTAIN WATER TIGHT CONDITIONS.



KEY PLAN

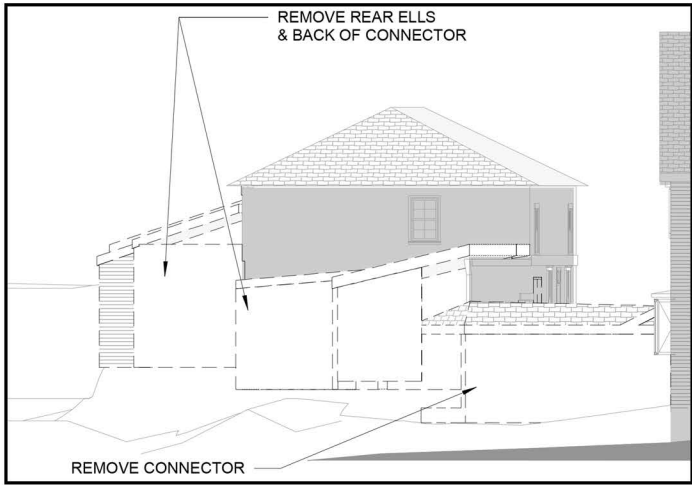
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

SELECTIVE DEMOLITION, PRESERVATION, AND RESTORATION  
FRONT ELEVATION  
HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



2.0





PREVIOUSLY APPROVED SIDE ELEVATION  
(FOR REFERENCE)

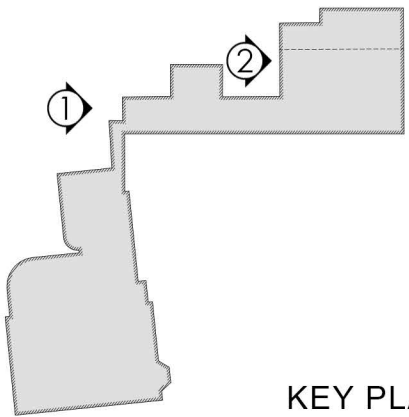
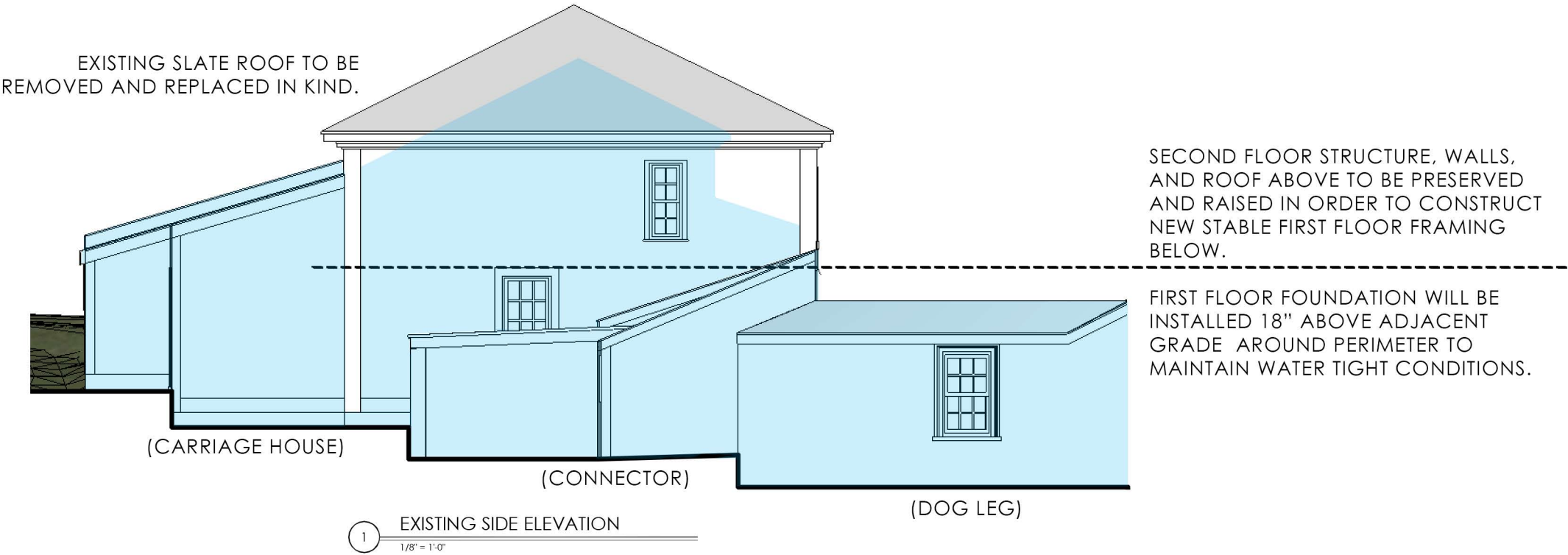


VIEW OF EXISTING SIDE ELEVATION



KEY:

	TO BE REMOVED, RESTORED, & RE-INSTALLED
	TO BE REPLACED IN KIND
	TO BE DEMOLISHED

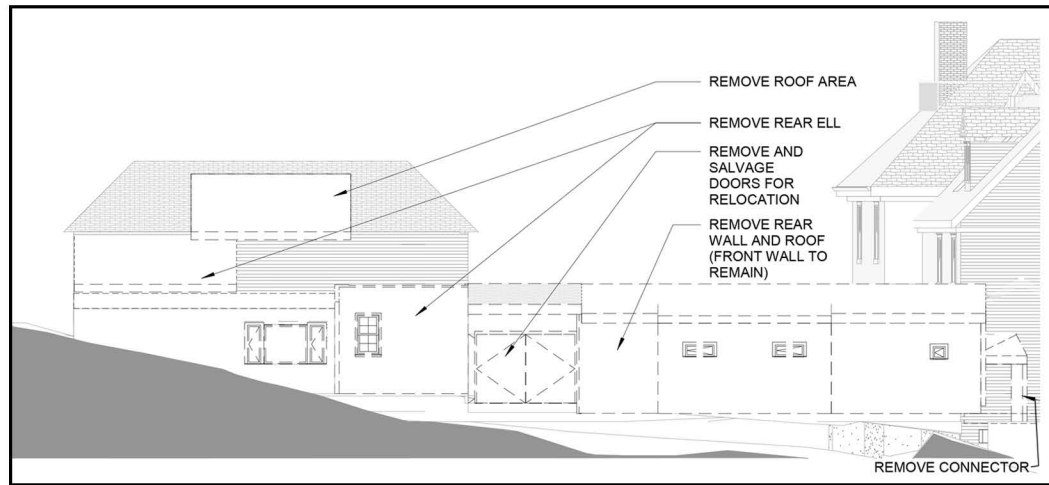


KEY PLAN

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

SELECTIVE DEMOLITION, PRESERVATION, AND RESTORATION  
SIDE ELEVATION  
HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022





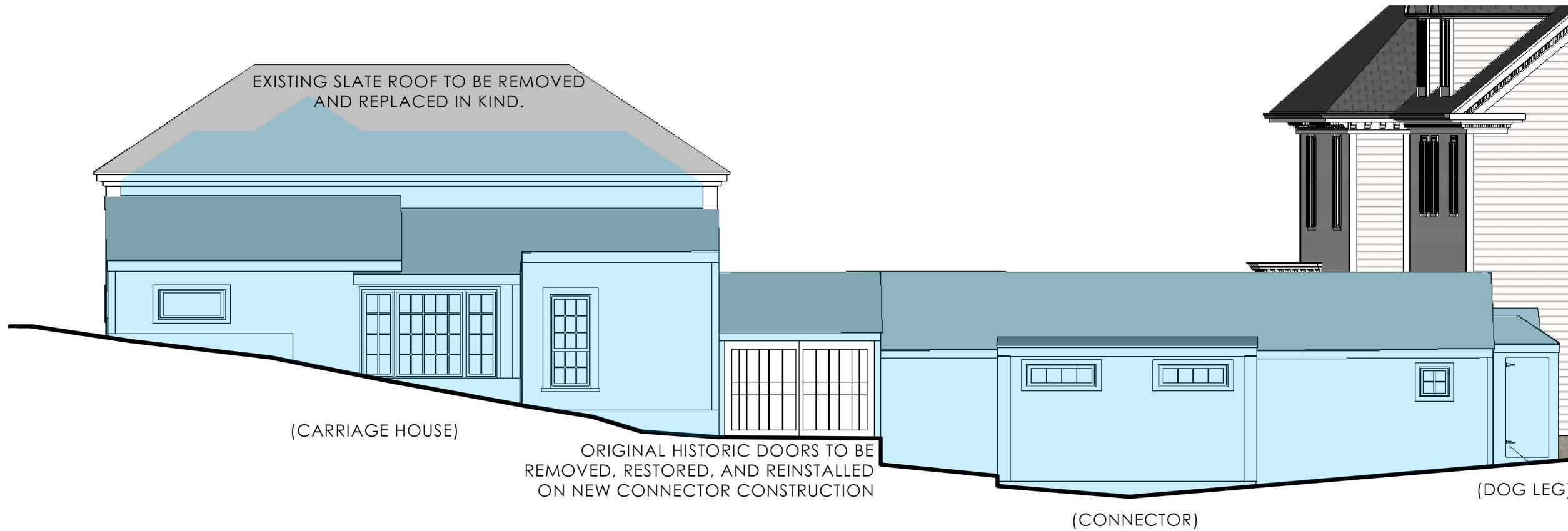
PREVIOUSLY APPROVED REAR ELEVATION (FOR REFERENCE)



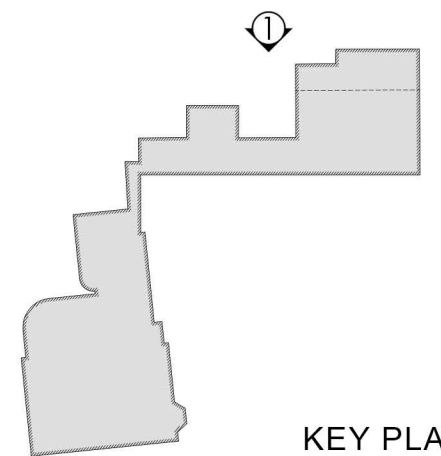
VIEW OF EXISTING REAR ELEVATION



- KEY:
- TO BE REMOVED, RESTORED, & RE-INSTALLED
  - TO BE REPLACED IN KIND
  - TO BE DEMOLISHED



1 EXISTING REAR ELEVATION  
1/8" = 1'-0"



KEY PLAN

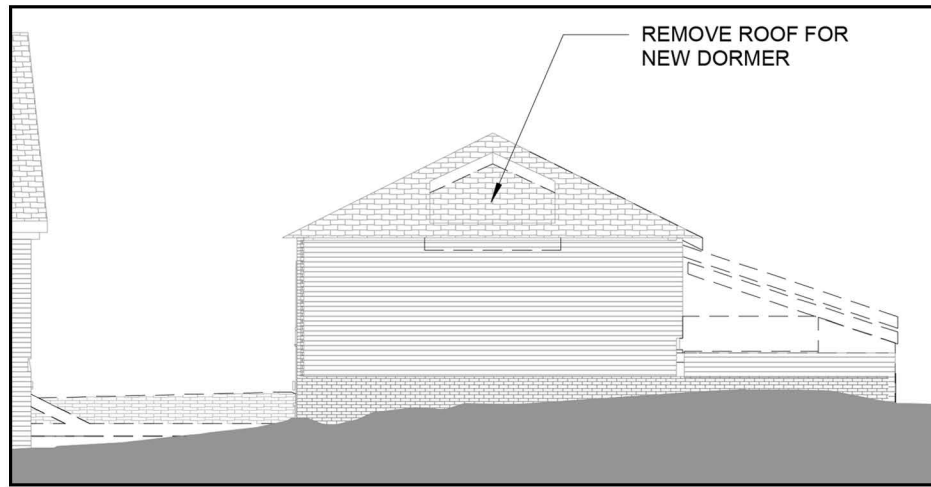
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

SELECTIVE DEMOLITION, PRESERVATION, AND RESTORATION  
REAR ELEVATION  
HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



2.2





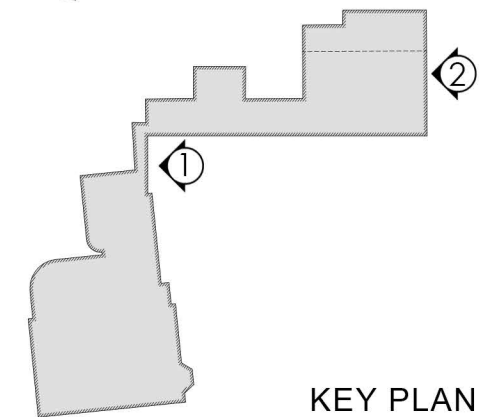
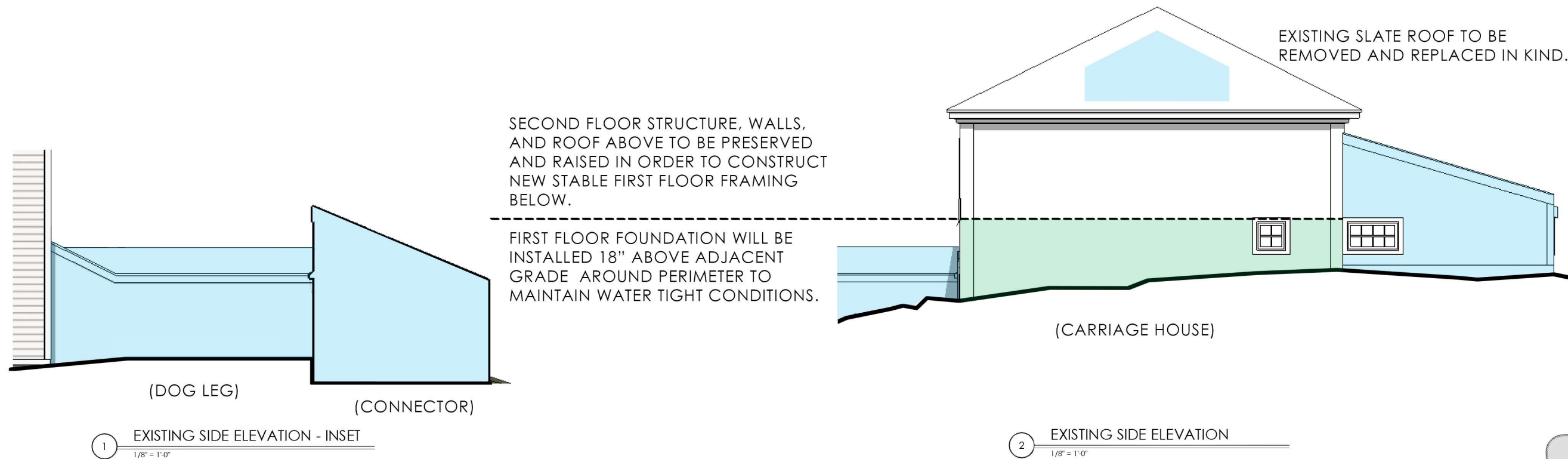
PREVIOUSLY APPROVED SIDE ELEVATION (FOR REFERENCE)



VIEW OF EXISTING SIDE ELEVATION

KEY:

	TO BE REMOVED, RESTORED, & RE-INSTALLED
	TO BE REPLACED IN KIND
	TO BE DEMOLISHED



KEY PLAN

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

SELECTIVE DEMOLITION, PRESERVATION, AND RESTORATION  
SIDE ELEVATION  
HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



2.3





179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM PLEASANT STREET

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



3.0





179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

VIEW OF BACKYARD

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



3.1





179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

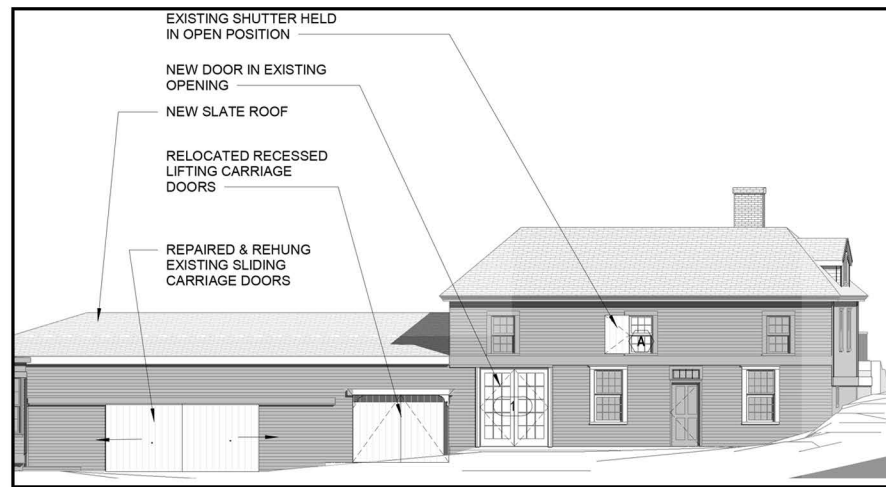
## VIEW OF CARRIAGE HOUSE FROM BACKYARD

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



3.2

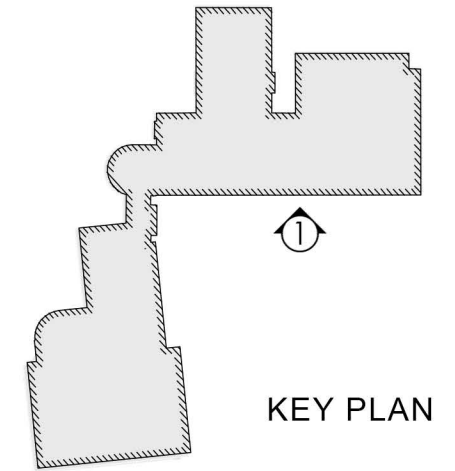




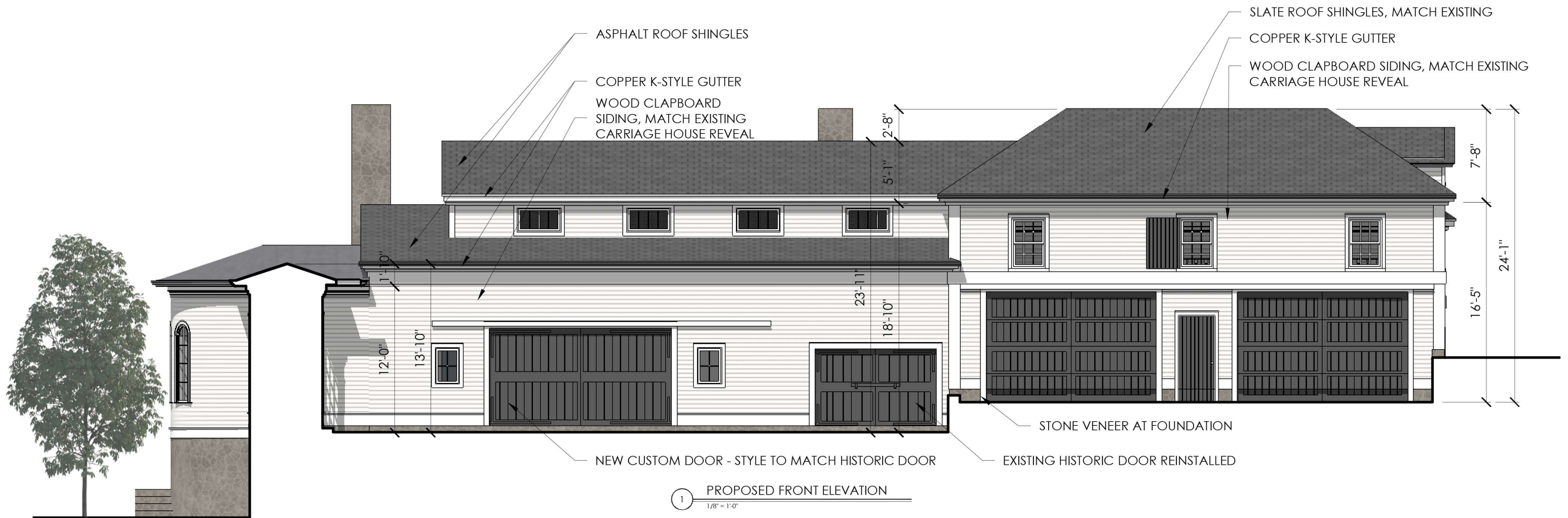
PREVIOUSLY APPROVED FRONT ELEVATION (FOR REFERENCE)



VIEW OF EXISTING FRONT ELEVATION



KEY PLAN



1 PROPOSED FRONT ELEVATION  
1/8" = 1'-0"

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

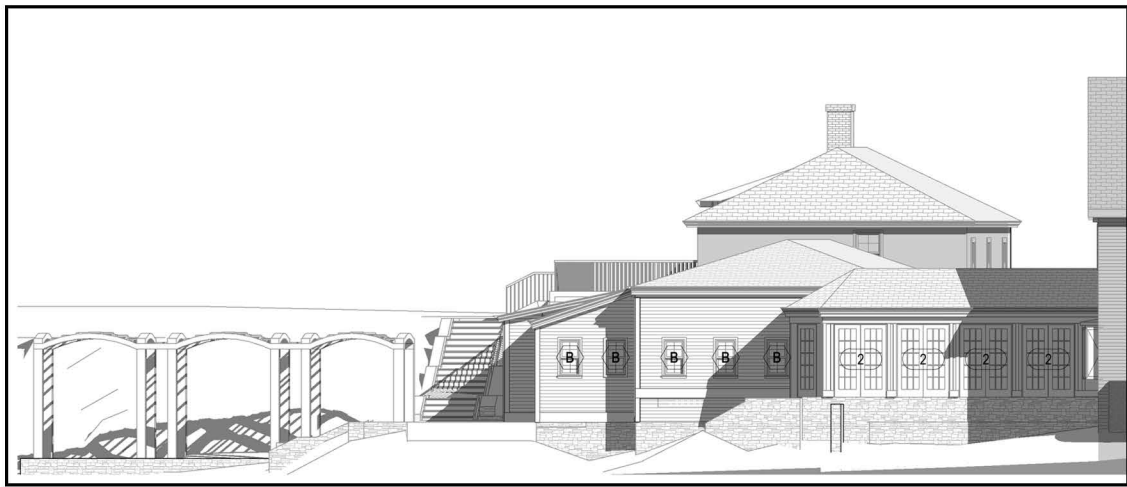
PROPOSED FRONT ELEVATION

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



4.0

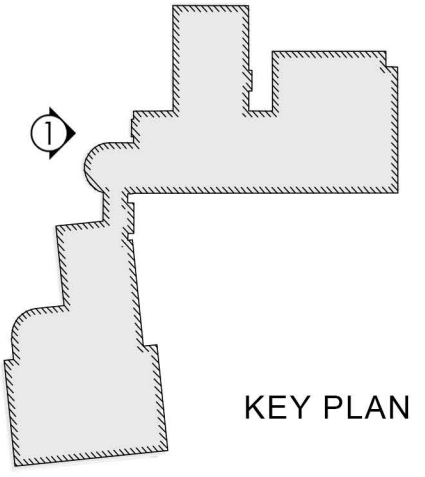




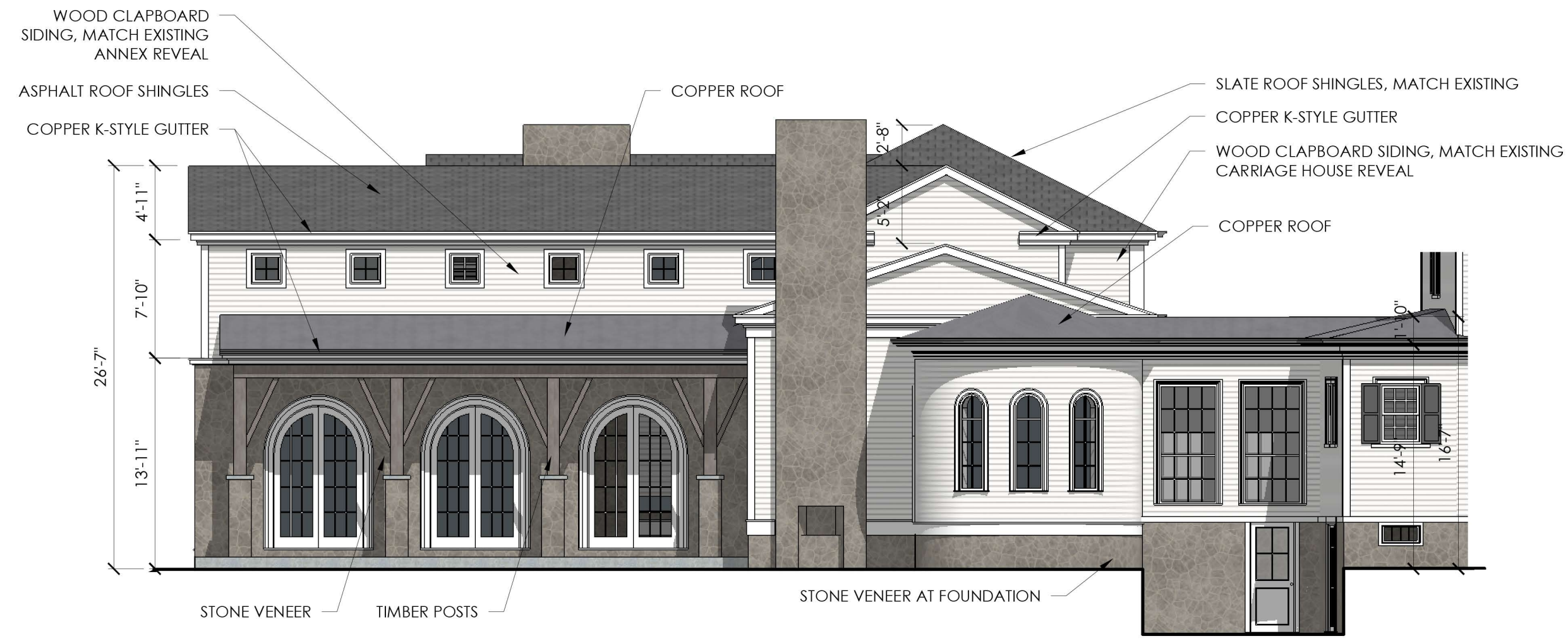
PREVIOUSLY APPROVED SIDE ELEVATION (FOR REFERENCE)



VIEW OF EXISTING SIDE ELEVATION



KEY PLAN



1 PROPOSED SIDE ELEVATION  
1/8" = 1'-0"

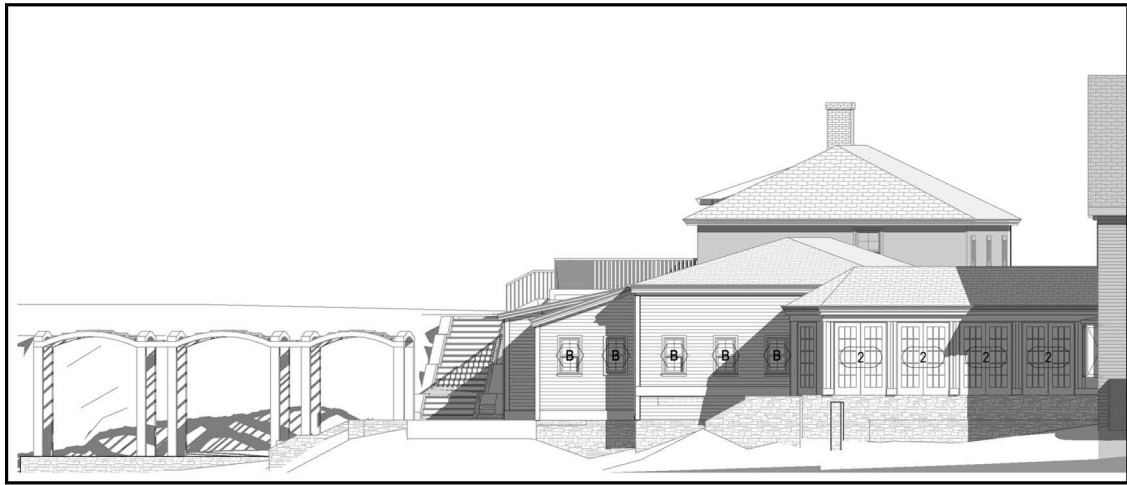
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED SIDE ELEVATION

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



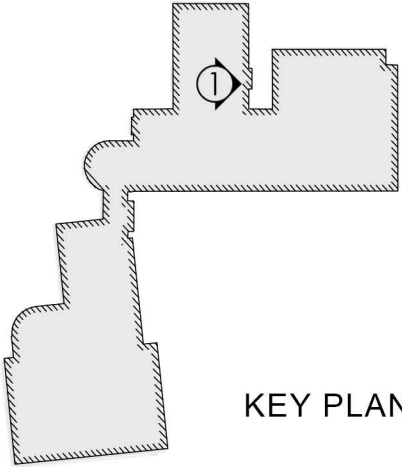




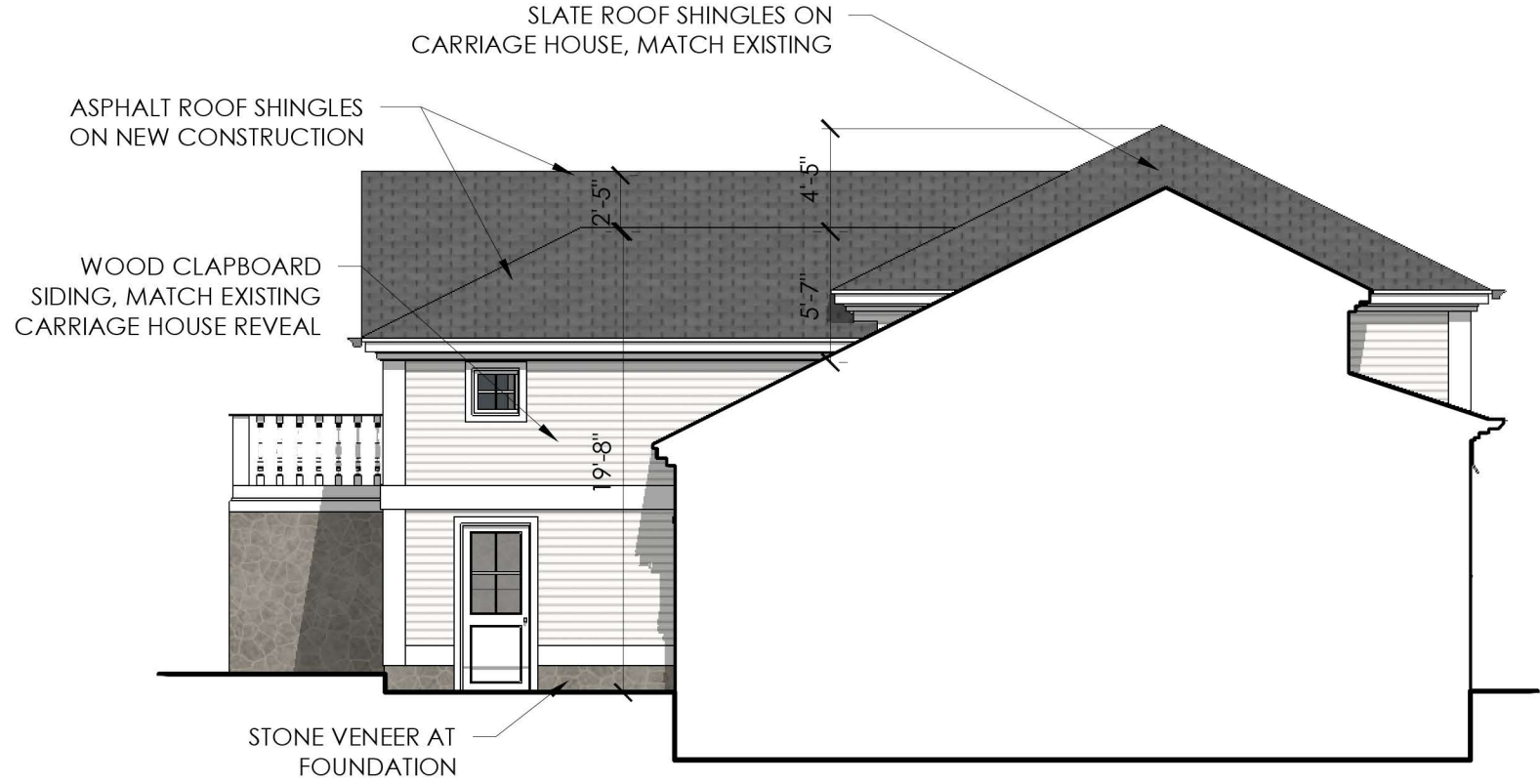
PREVIOUSLY APPROVED SIDE ELEVATION (FOR REFERENCE)



VIEW OF EXISTING SIDE ELEVATION



KEY PLAN



1 EXISTING SIDE ELEVATION - INSET  
1/8" = 1'-0"

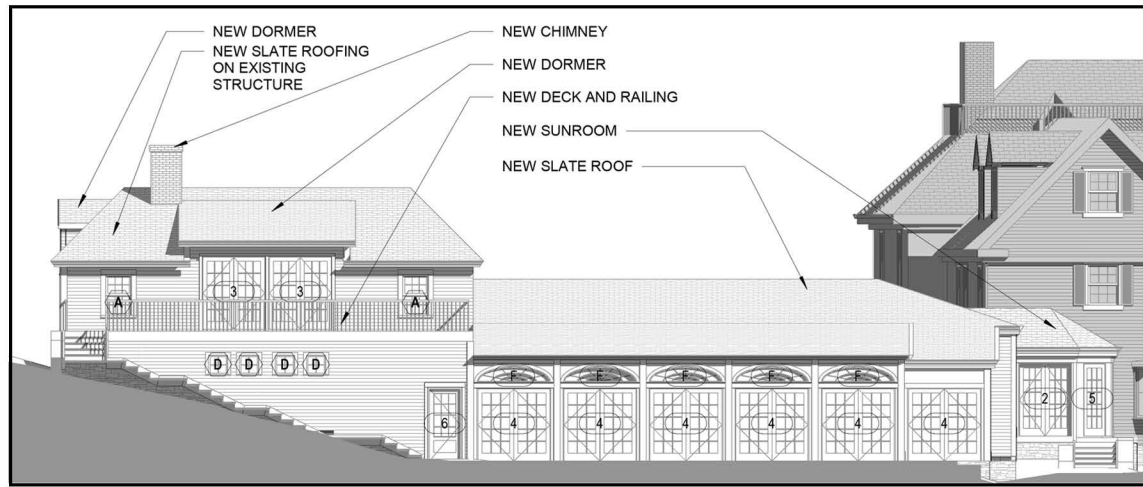
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED SIDE ELEVATION

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



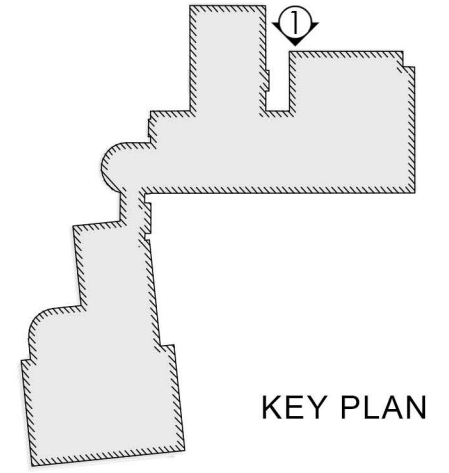




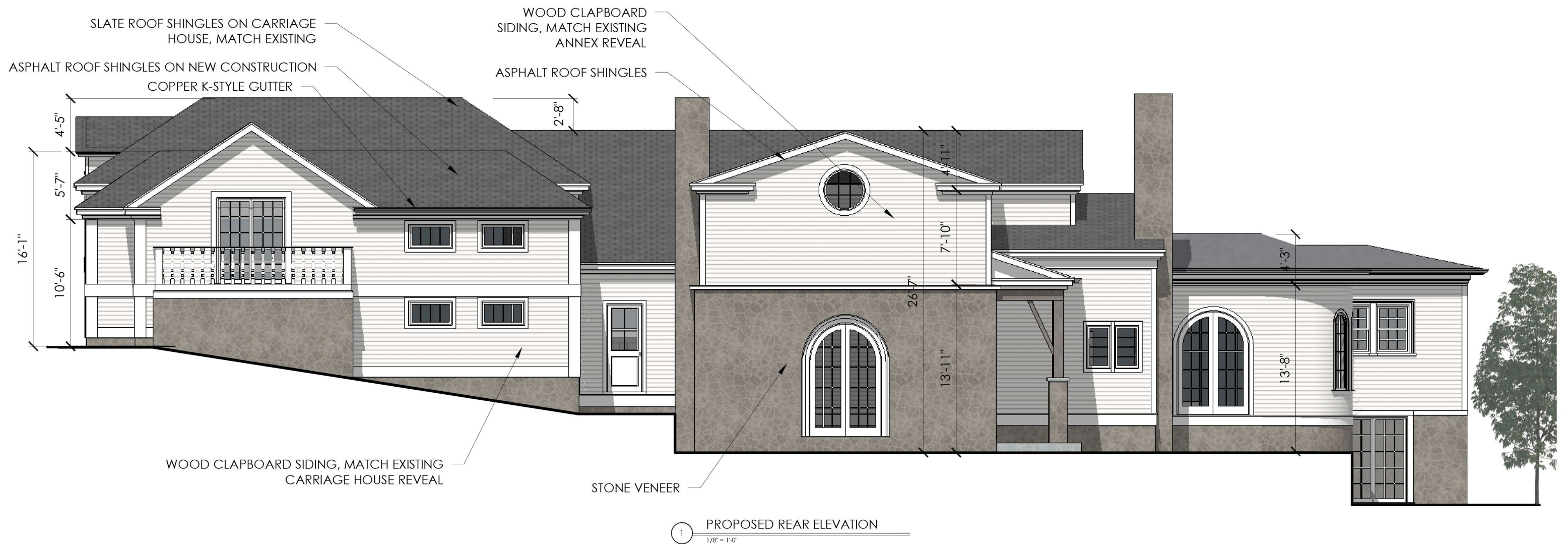
PREVIOUSLY APPROVED REAR ELEVATION (FOR REFERENCE)



VIEW OF EXISTING REAR ELEVATION



KEY PLAN



1 PROPOSED REAR ELEVATION  
1/8" = 1'-0"

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

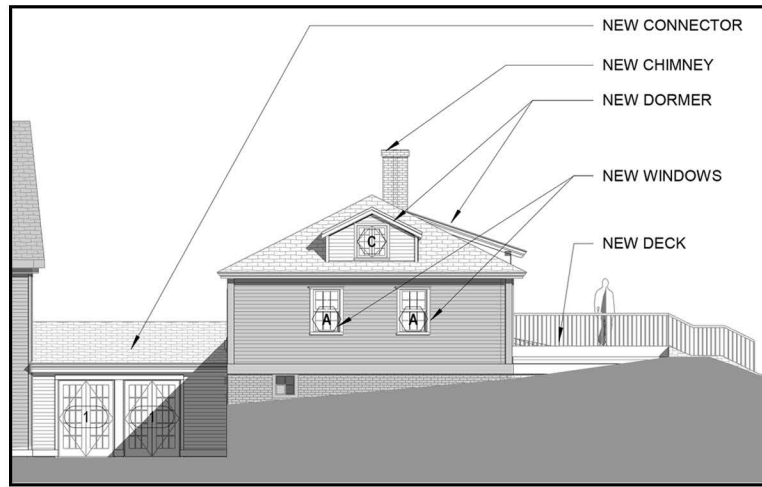
## PROPOSED REAR ELEVATION

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



4.3

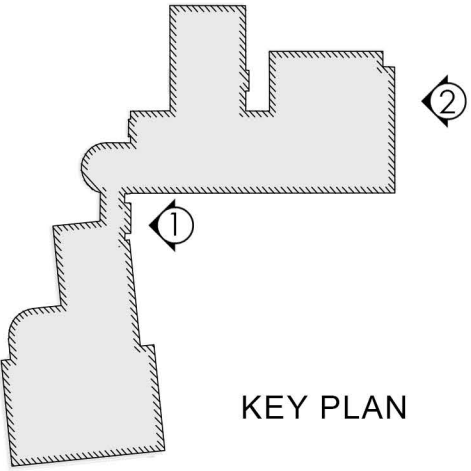




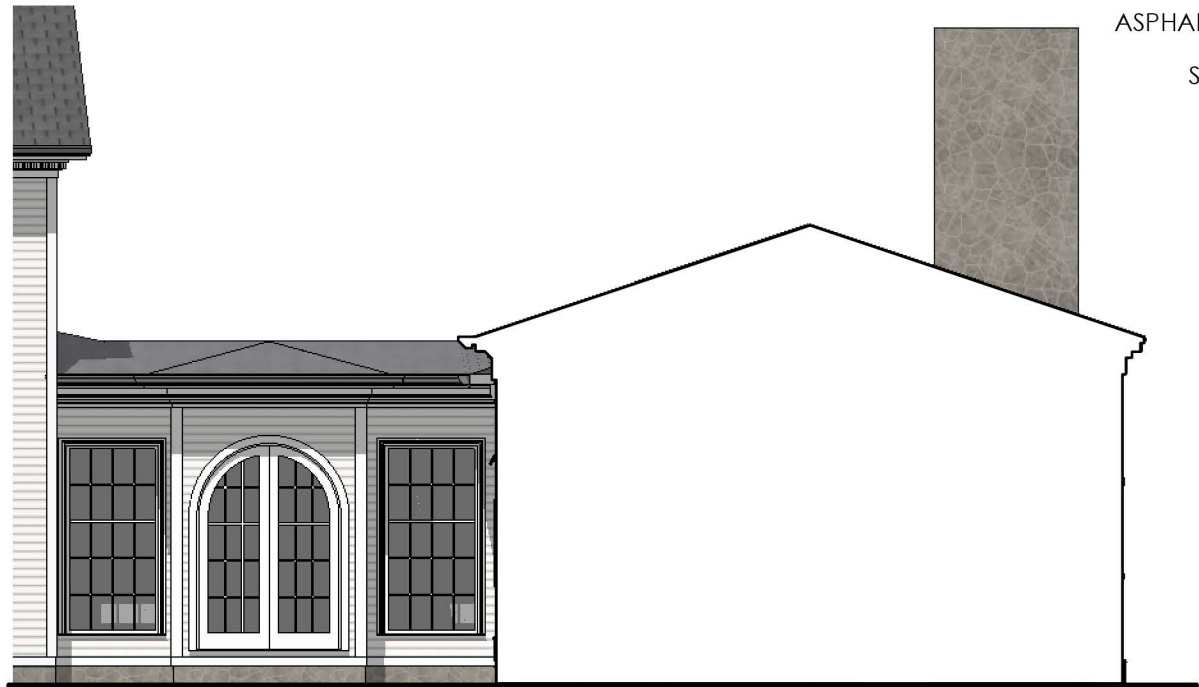
PREVIOUSLY APPROVED SIDE ELEVATION  
(FOR REFERENCE)



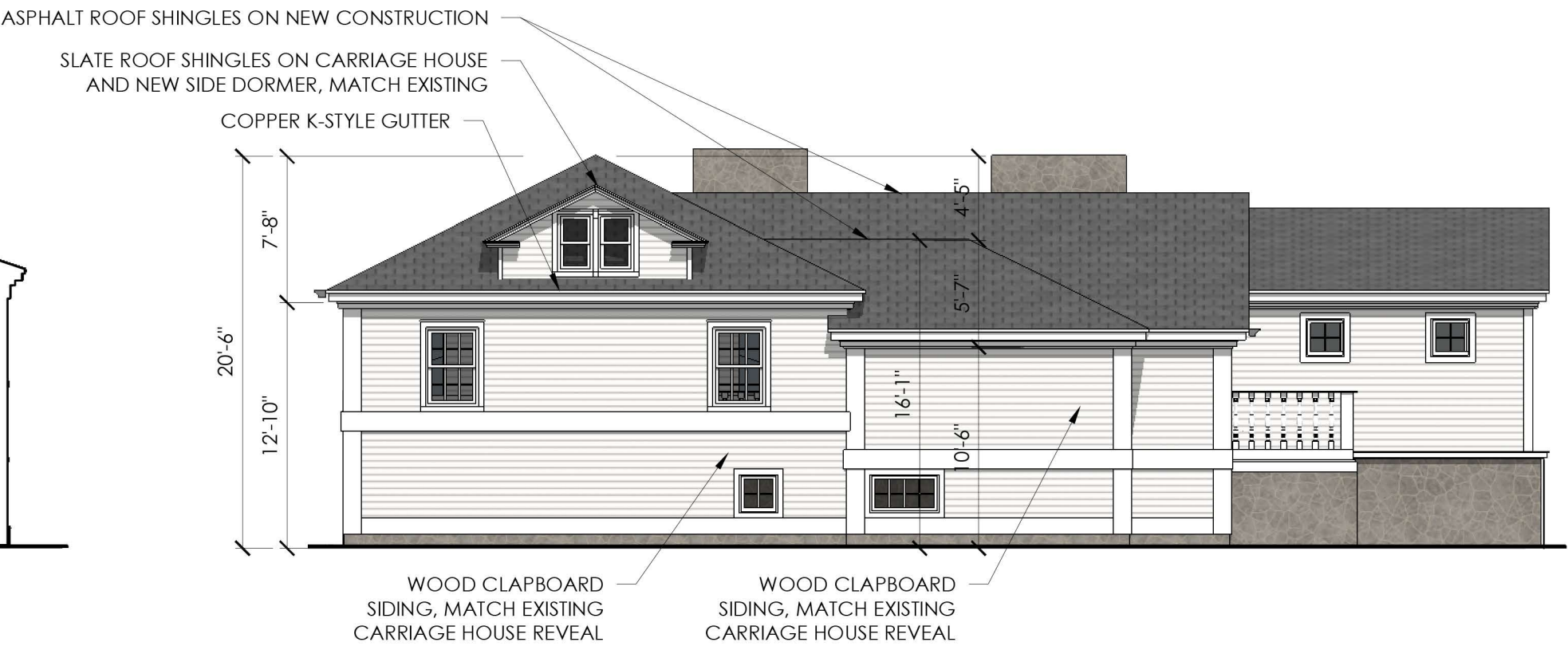
VIEW OF EXISTING SIDE ELEVATION



KEY PLAN



1 PROPOSED SIDE ELEVATION - INSET  
1/8" = 1'-0"



2 PROPOSED SIDE ELEVATION  
1/8" = 1'-0"

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

# PROPOSED SIDE ELEVATION

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022







### ASPHALT ROOF SHINGLES

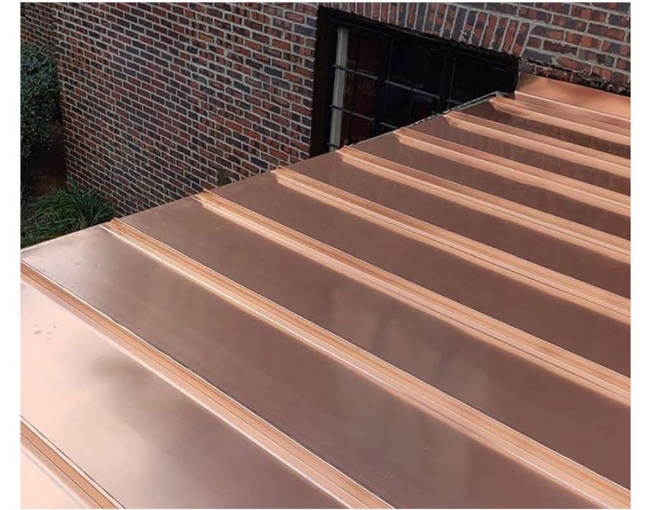
MANUFACTURER: IKO  
STYLE: CAMBRIDGE  
COLOR: HARVARD SLATE



PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

### FLAT SEAM COPPER ROOF

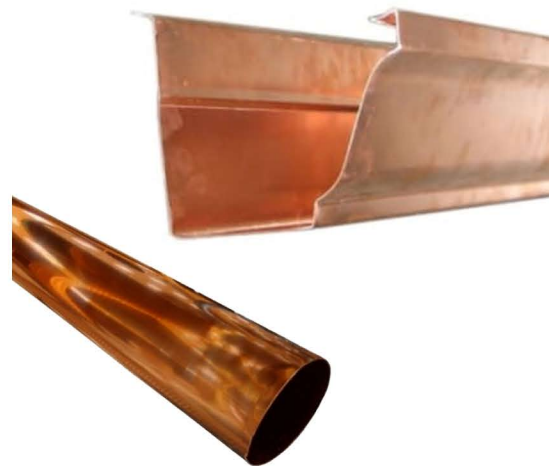
MANUFACTURER: CUSTOM FABRICATED  
STYLE: FLAT SEAM  
MATERIAL: COPPER



PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

### STANDING SEAM COPPER ROOF

MANUFACTURER: CUSTOM FABRICATED  
STYLE: STANDING SEAM  
MATERIAL: COPPER



PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

### GUTTER & DOWNSPOUT

MANUFACTURER: CUSTOM FABRICATED  
STYLE: K-STYLE GUTTER W/ 3" SMOOTH DOWNSPOUT  
MATERIAL: COPPER



### STONE VENEER

MANUFACTURER: CUSTOM  
STYLE: CUT GRANITE; THERMAL FINISH  
COLOR: GRAY

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

### PROPOSED MATERIALS

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



5.0





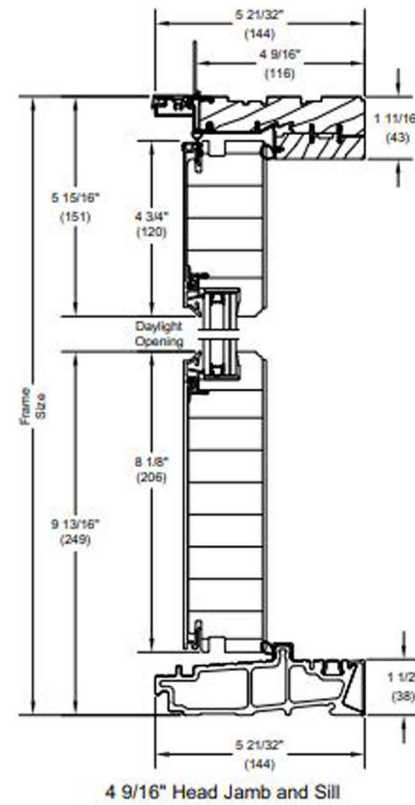
PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

## WINDOW SHUTTERS

MANUFACTURER: BEECH RIVER MILL

STYLE: THE BEACON HILL STYLE

COLOR: MATCH EXISTING

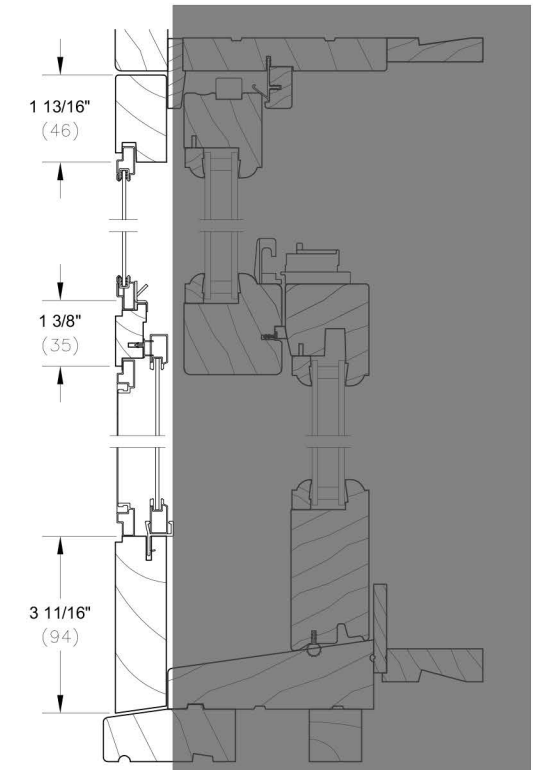


PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

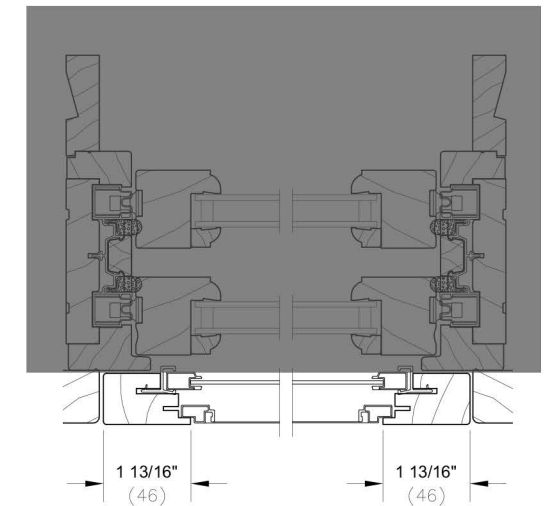
## DOOR

MANUFACTURER: MARVIN

STYLE: CLAD ULTIMATE



Head Jamb and Sill



Jambs

PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

## STORM WINDOWS

MANUFACTURER: MARVIN

STYLE: WOOD



PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

## MASONRY BRICK

MANUFACTURER: MORIN BRICK

COLOR: COLONY RED WATERSTRUCK

179 PLEASANT STREET

PORTSMOUTH, NEW HAMPSHIRE

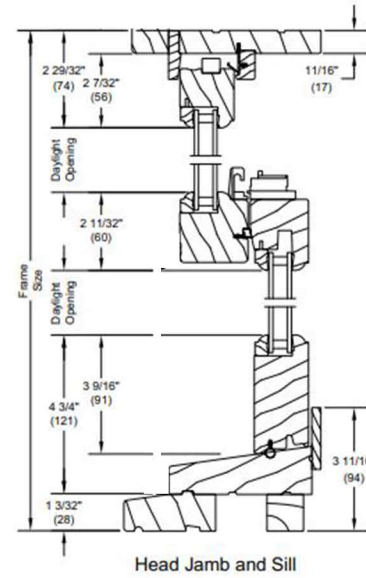
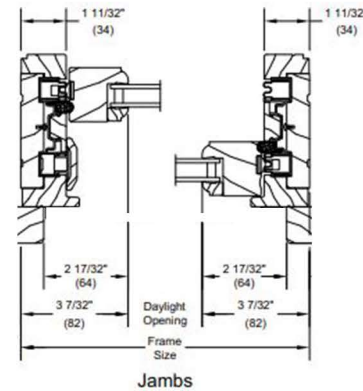
## PROPOSED MATERIALS

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



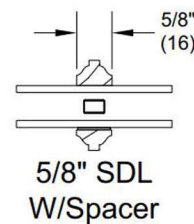
5.1





## Features of the Ultimate Wood Double Hung Window

- Available in heights up to 8 feet or widths up to 4 feet
- Multiple design options and woods available to match historical aesthetics and design requirements

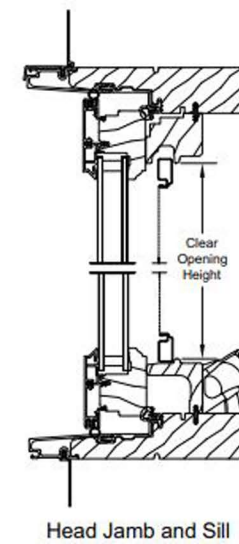


PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

DOUBLE HUNG WINDOWS

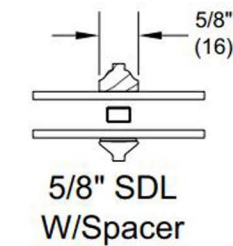
MANUFACTURER: MARVIN

STYLE: WOOD ULTIMATE



## Features of the Clad Ultimate Casement and Awning Window

- Available in heights up to 8.5 feet or widths up to 3.5 feet
- Industry-leading range of size options
- Multi-point locking system ensures a tight seal and security from top to bottom



PREVIOUSLY APPROVED ON MAIN HOUSE 3/2/22

CASEMENT WINDOWS

MANUFACTURER: MARVIN

STYLE: CLAD ULTIMATE

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

## PROPOSED MATERIALS

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



5.2



## **APPENDIX:**

1. Historic Precedents
2. Gorham Structural Engineering – Existing Structural Report
3. David Calkins GC & GM – Existing Conditions Evaluation
4. Existing Conditions Documentation of the Three Primary Structures
5. Property Timeline
6. Historian Consultants



ARCHITECTURAL 1-1/2 STORY CARRIAGE HOUSE IS HISTORICALLY APPROPRIATE FOR THE PROPERTY AND TIME PERIOD. EXISTING CONNECTOR CONSTRUCTION IS SIGNIFICANTLY COMPROMISED AND MOST REMAINING ORIGINAL STRUCTURE HAS BEEN REMOVED, MODIFIED, AND RECONSTRUCTED.



1. NATHAN PARKER HOUSE (1810) - 46 LIVERMORE STREET, PORTSMOUTH NH



2. NATHAN PARKER HOUSE (1810) - 46 LIVERMORE STREET, PORTSMOUTH NH



3. RUNDLETT MAY HOUSE (1807) - 364 MIDDLE STREET, PORTSMOUTH NH



4. NATHAN PARKER HOUSE (1810) - 46 LIVERMORE STREET, PORTSMOUTH NH

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

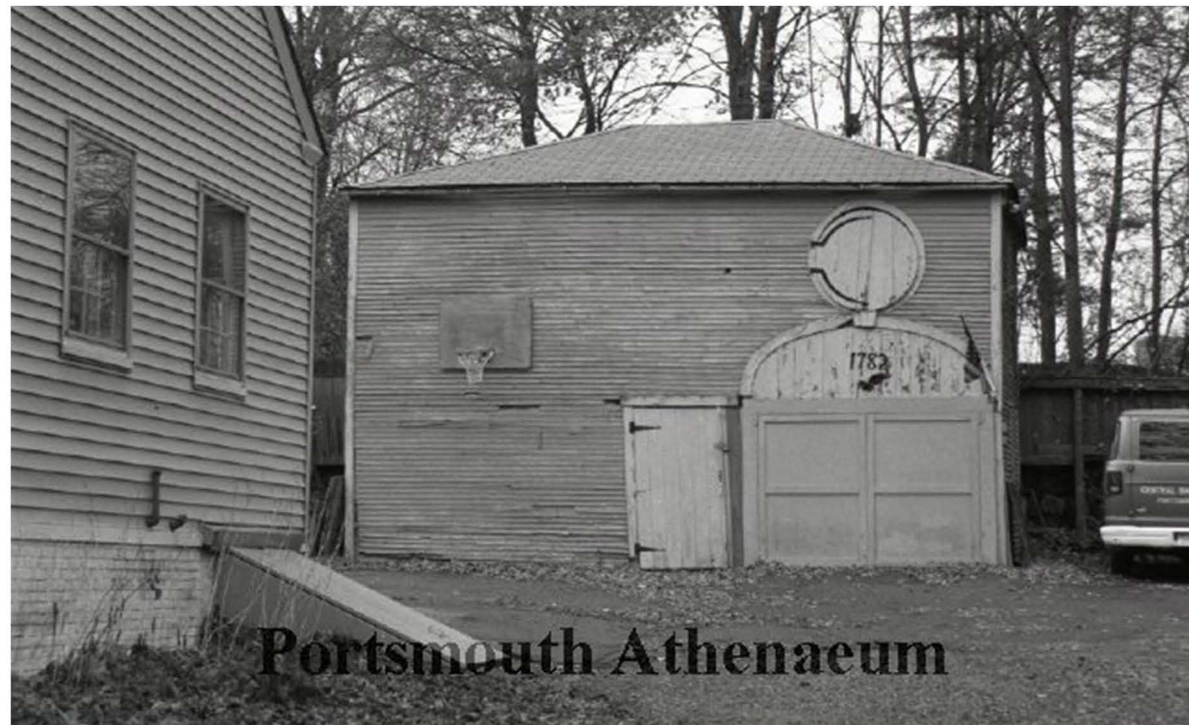
## HISTORIC PRECEDENTS - CARRIAGE HOUSES

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022

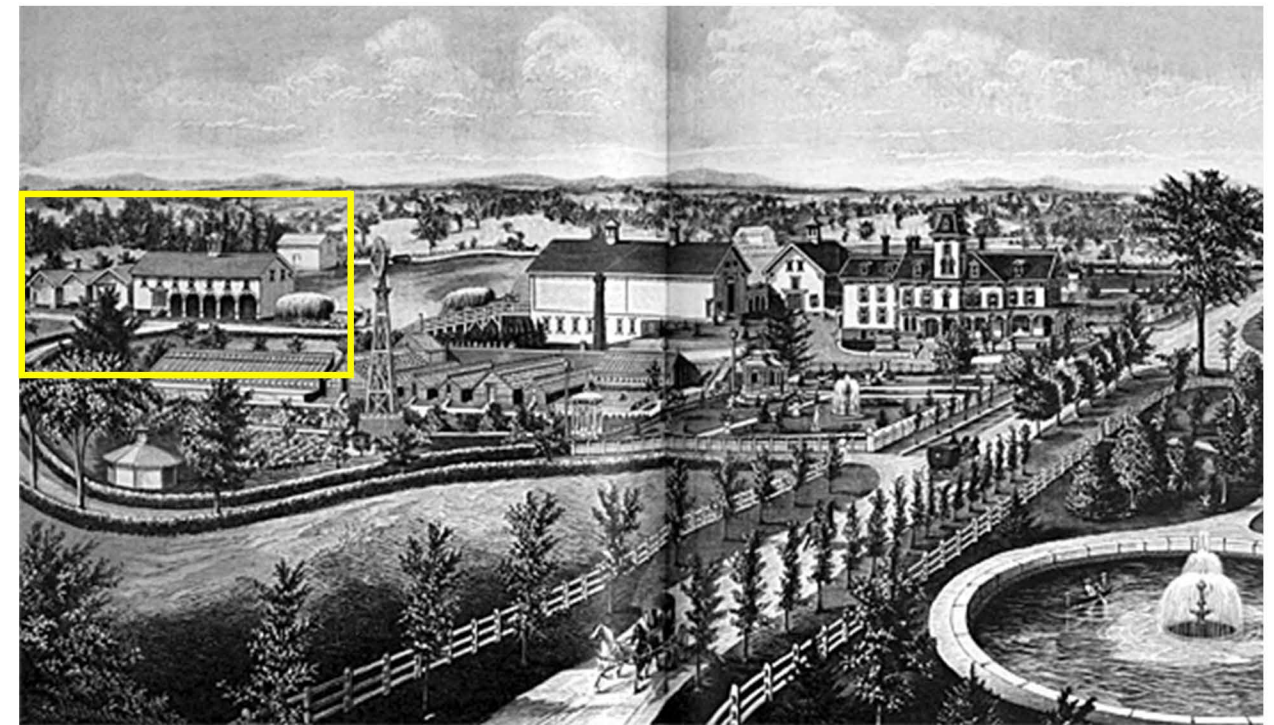


6.0





1. 27 AUSTIN STREET, PORTSMOUTH NH



2. FRANK JONES MAPLEWOOD FARM, PORTSMOUTH NH



3. 217 CABOT STREET, PORTSMOUTH NH



4. JACOB WENDELL HOUSE (1789) - 214 PLEASANT STREET, PORTSMOUTH NH

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

## HISTORIC PRECEDENTS - CARRIAGE HOUSES

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



6.1





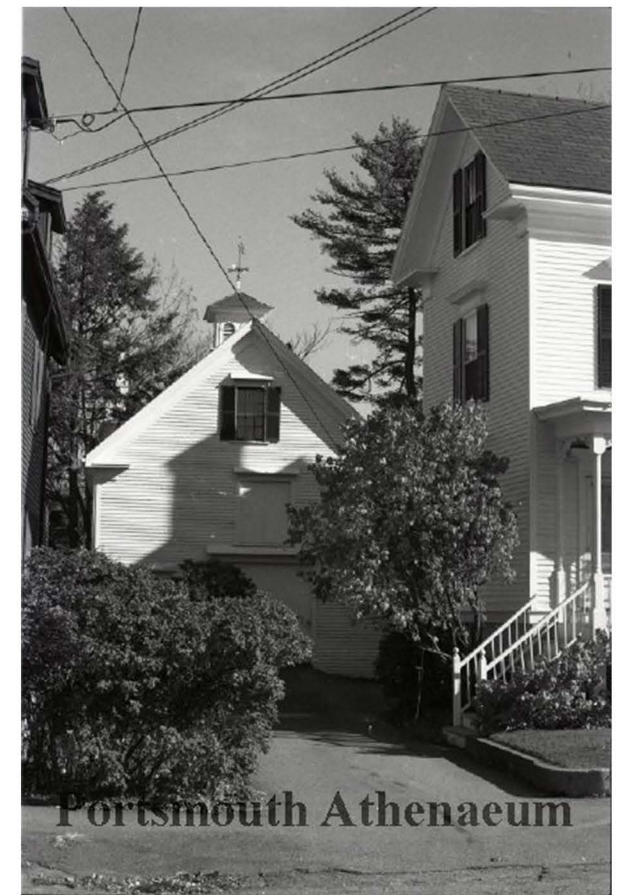
1. MOFFAT-LADD HOUSE (1763)  
154 MARKET STREET, PORTSMOUTH NH



2. 686 MIDDLE STREET, PORTSMOUTH NH



3. 83 MERRIMACK STREET, PORTSMOUTH NH



3. 404 MIDDLE STREET, PORTSMOUTH NH

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

## HISTORIC PRECEDENTS - CARRIAGE HOUSES

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



6.2





A.



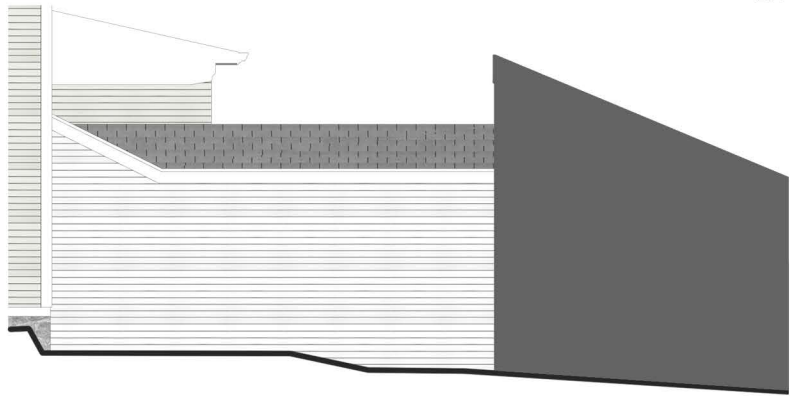
B.



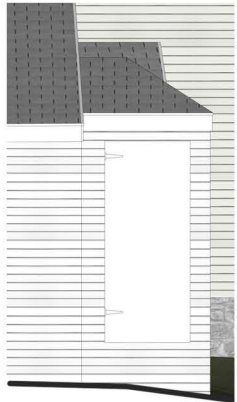
C.



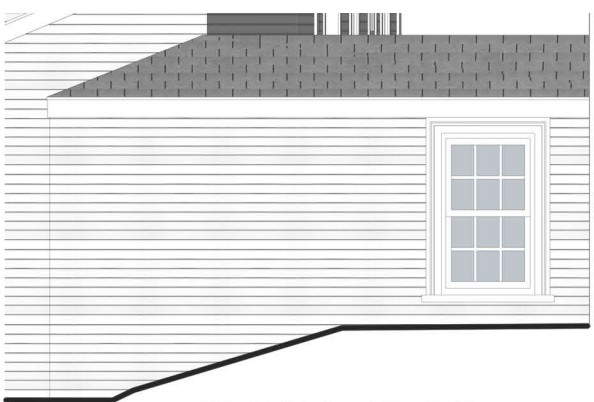
D.



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



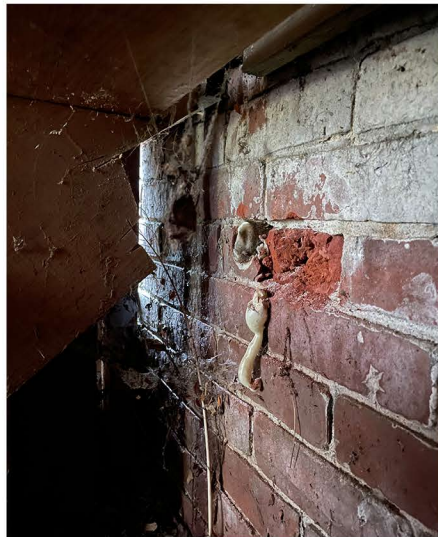
INTERIOR STUDS / PLYWOOD



PRESSURE TREATED SILL  
REPAIR



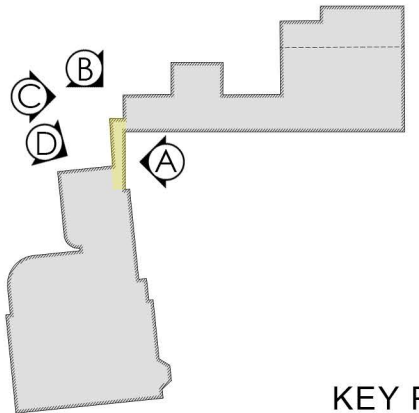
BRICK FOUNDATION



BRICK FOUNDATION



FOUNDATION SLAB



KEY PLAN

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

# DOG LEG CONNECTOR - EXISTING CONDITIONS

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022







TYPICAL SIDING NAIL



TYPICAL SIDING ROT



TYPICAL SIDING BUTT JOINT



CORNER BOARD NOTCHED AGAINST ANNEX SIDING



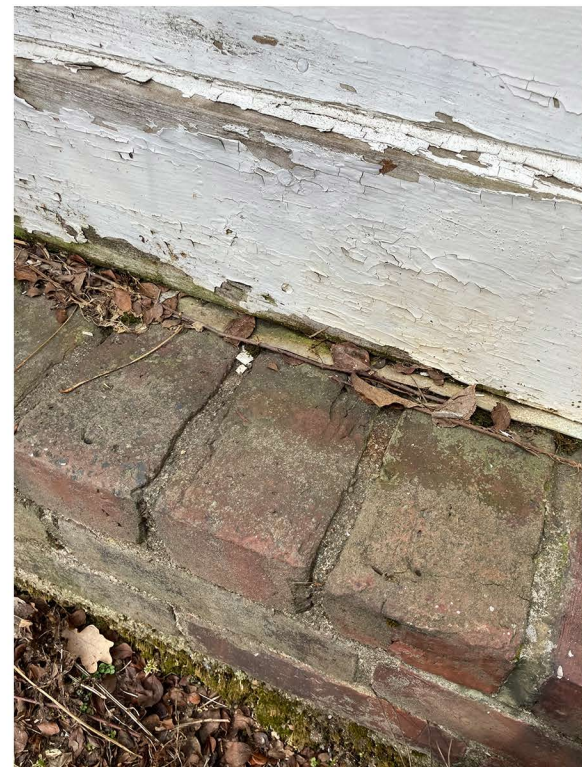
INTERSECTION WITH CONNECTOR AT ROOF



FOUNDATION SHELF AND ROT FROM STANDING WATER



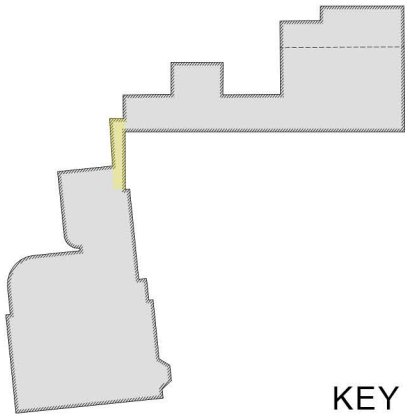
INTERSECTION WITH CONNECTOR AT FOUNDATION



INSUFFICIENT FLASHING



STONE RUBBLE FOUNDATION



KEY PLAN





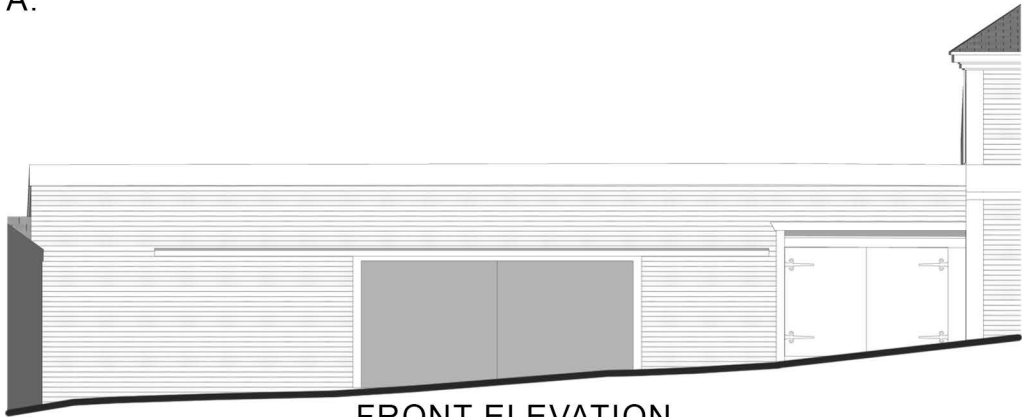
A.



B.



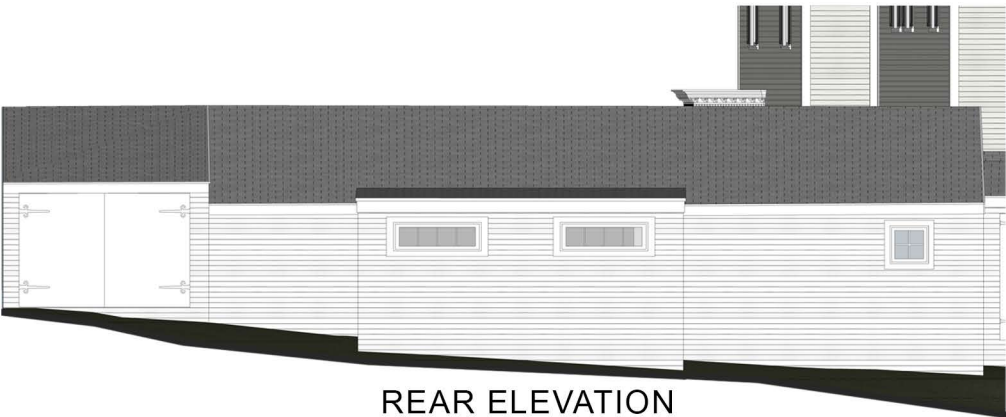
C.



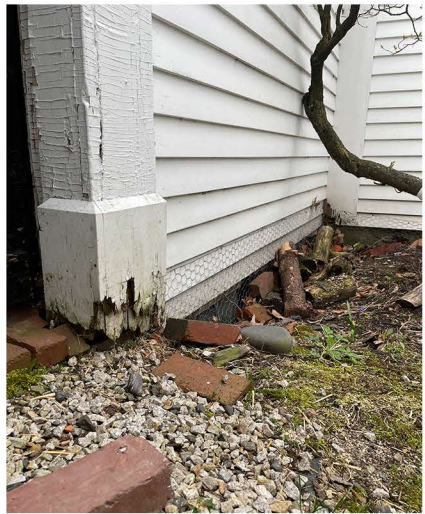
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



POST BASE ROT



SIDING ROT



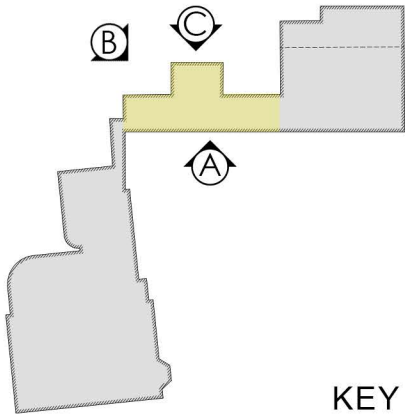
CORNER BOARD ROT



SIDING / CORNER BOARD ROT



SIDING ROT



KEY PLAN

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

# CONNECTOR - EXTERIOR EXISTING CONDITIONS

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022







NEW SIDING



NEW BARN DOOR TRIM COVER



BARN DOOR MORTISE AND TENON



NEW BARN DOOR FRAMING



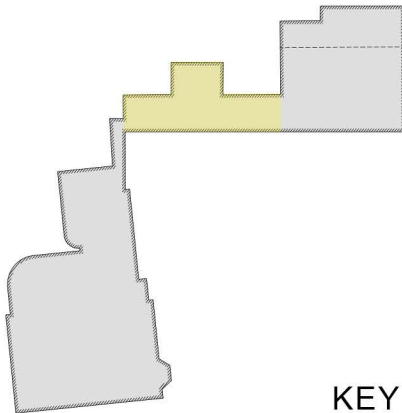
SIDING ROT AND INSUFFICIENT FLASHING



POSSIBLE HISTORIC CORBEL



POSSIBLE HISTORIC DOOR WITH HISTORIC HINGES



KEY PLAN

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

CONNECTOR - EXISTING EXTERIOR DETAILS

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022







ORIGINAL HINGE (1) ON SMALL DOOR OF CONNECTOR



COMPROMISED STRUCTURE AT BASE



REPAIRS AT COMPROMISED STRUCTURE AT BASE



TYPICAL FLOOR FRAMING MADE UP OF REPURPOSED BEAMS



TYPICAL FLOOR FRAMING MADE UP OF REPURPOSED BEAMS



NEW FRAMING AT 1979 CARPORT



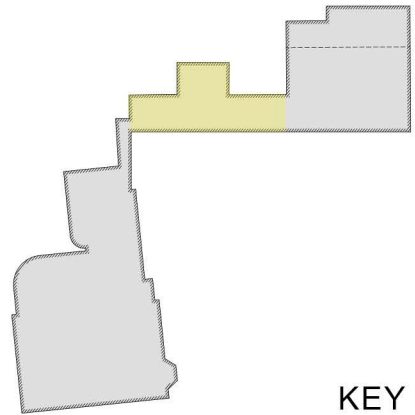
NEW FRAMING AT REAR WALL



TYPICAL FRAMING AT FRONT WALL



TYPICAL HALF LAP POST ROT REPAIR SEEN THROUGHOUT CONNECTOR



KEY PLAN





A.



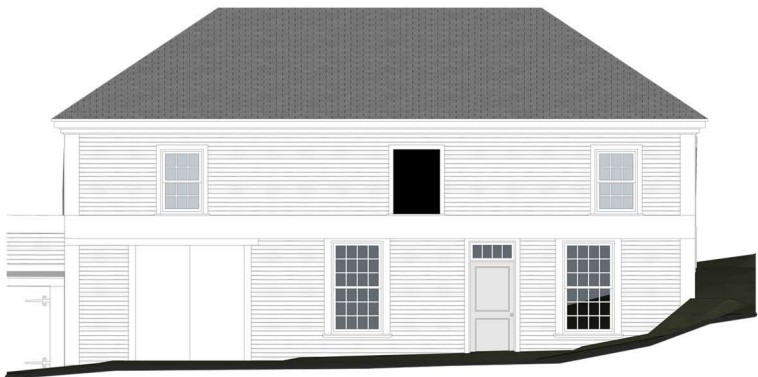
B.



C.



D.



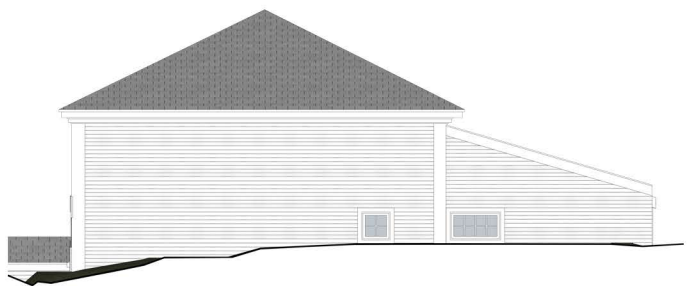
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



SIDE ELEVATION



SLATE, ASPHALT AND, METAL ROOFING



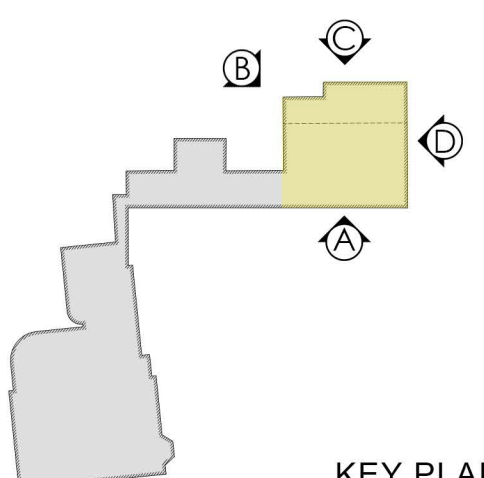
SILL ROT



WINDOW ROT



WINDOW SILL NEAR/ON GRADE



KEY PLAN

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

# CARRIAGE HOUSE - EXTERIOR EXISTING CONDITIONS

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022







CRUMBLING FOUNDATION LACKING POSITIVE DRAINAGE



ROT FROM STANDING WATER



NEW WINDOW REPAIR



STONE RUBBLE FOUNDATION AND NEW SIDING REPAIR



NEW SIDING REPAIR



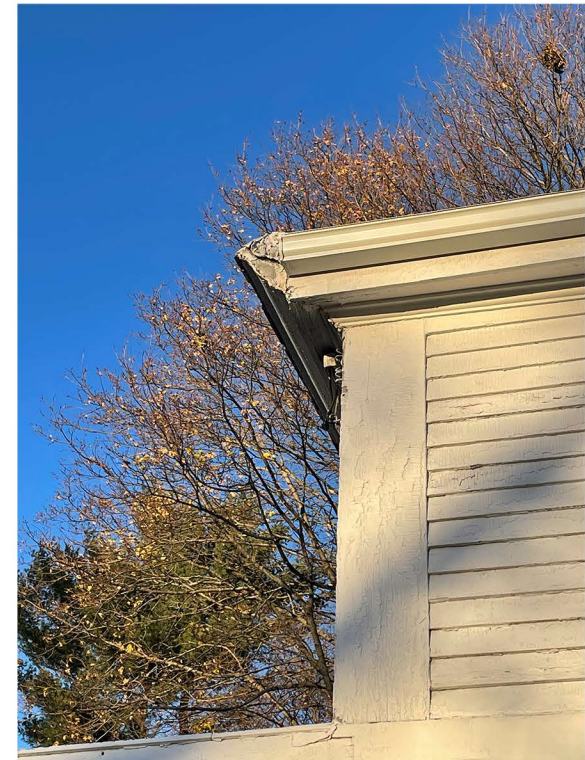
TYPICAL SIDING ROT



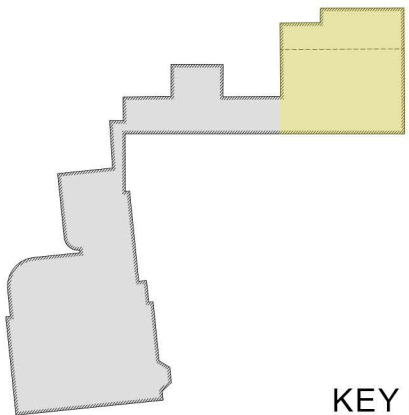
INSUFFICIENT ROOF FLASHING



TYPICAL SIDING ROT AND FOUNDATION DAMAGE



MODIFICATION OF ORIGINAL CORNICE TO INCLUDE GUTTER



KEY PLAN

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

# CARRIAGE HOUSE - EXISTING EXTERIOR DETAILS

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022







TYPICAL BEAMS IN DIRECT CONTACT WITH GROUND



TYPICAL BEAMS IN DIRECT CONTACT WITH GROUND



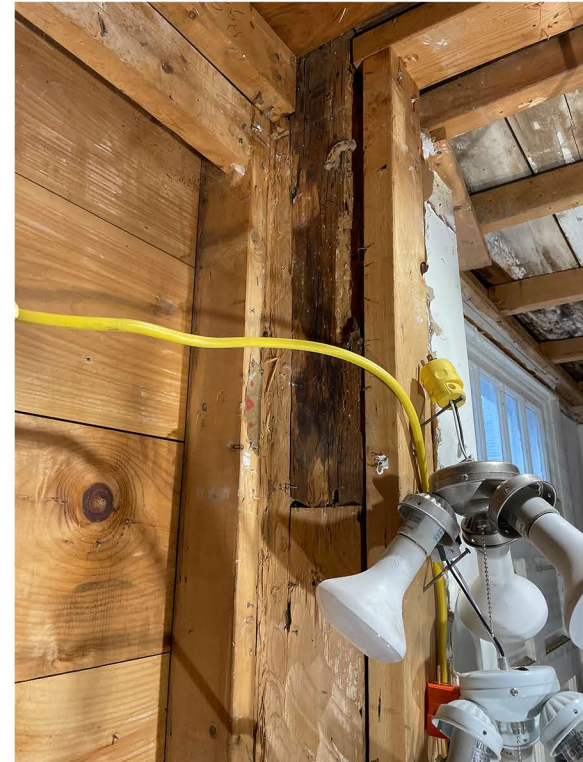
TYPICAL NEW FRAMING



TYPICAL HISTORIC FRAMING



EXISTING WINDOW LOCATED AT REAR OF ORIGINAL CARRIAGE HOUSE BLOCK



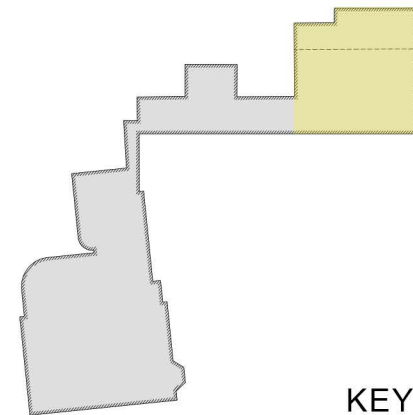
TYPICAL NEW FRAMING COMBINED WITH OLDER MODIFIED FRAMING



OLDER FRAMING MEMBERS HAVE BEEN MODIFIED, REMOVED, OR RELOCATED. (SECOND FLOOR OF CARRIAGE HOUSE)



OLDER FRAMING MEMBERS HAVE BEEN MODIFIED, REMOVED, OR RELOCATED. (SECOND FLOOR OF CARRIAGE HOUSE)



KEY PLAN

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

# CARRIAGE HOUSE - EXISTING INTERIOR DETAILS

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL: JULY 6, 2022



6.10



**PROPERTY TIMELINE: Sources:** Portsmouth Athenaeum - Portsmouth Permitting Archives

- 1780's:** Captain Thomas Thompson House is Constructed (same time period John Langdon built his house next door)
- 1859:** Mark H. Wentworth purchased the house from the Thompson Family and made several Victorian improvements
- 1903:** Mark H. Wentworth passed away and leaves the house to his daughter Susan J. Wentworth
- 1940:** Susan J. Wentworth passed away and the house is owned by several people
- 1962:** Doctors office is approved and built in carriage house
- 1978:** Kitchen added to the apartment in main house, apartment was used as housekeeper quarters.
- 1979:** 10 x 16 addition added as "carport" to rear of connector building
- 1979:** Single family house was approved as "duplex"
- 1980:** Remodel 2nd floor bathroom
- 1981:** Remodel kitchen and add kitchen powder room, remodel 2 other bathrooms in house
- 1982:** Sun porch was added as 3 season structure, was a garden terrace prior
- 1983:** Widows walk was reproduced,only on the front of the building
- 1983:** Apartment was remodeled in main house
- 1984:** Widows walk was expanded to all four sides of the house
- 1986:** The lot was sub-divided into 2 lots 179 & 181 (This is not clear)
- 1986:** Carriage house was remodeled and expanded upon
- 1988:** Sun porch was reroofed, and door added from main house to access roof top
- 1988:** 3rd floor of main house was extensively renovated and finished with new living space, skylights added
- 2003:** Lot line adjustment on right side of 181
- 2005:** Lots 179 &181 are voluntarily merged
- 2014:** Widows walk completely reproduced on all 4 sides
- 2018:** Larger garage door was installed in carriage house and misc. in-fill framing
- 2018:** Section of wooden fence was replaced on the front only
- 2019:** HDC Certificate of Approval granted for renovations and expansions
- 2020:** 1-year extension granted for HDC Certificate of Approval granted for renovations and expansions
- 2020:** Flooring in carriage house was removed and stored
- 2021:** [New Ownership](#)
- 2021:** [Permit Issued for nonstructural demolition](#)

HISTORIAN CONSULTANTS

<b>John Schnitzler</b> - Attended 2021-12-21 Walkthrough Master Carpenter -Strawbery Banke	<b>Bruce Blanchard</b> - Attended 2022-01-12 Langdon & Thompson House Walkthroughs Preservation Manager for the Piscataqua Area - Historic New England
<b>Elizabeth Farish</b> - Attended 2021-12-21 Walkthrough Chief Curator – Strawberry Banke	<b>Melissa Kershaw</b> - Attended 2022-01-12 Langdon & Thompson House Walkthroughs Regional Site Administrator, Northern New England - Historic New England
<b>Tom Hardiman</b> - Assistance in Historic Research Keeper – Portsmouth Athenaeum	<b>Dylan Peacock</b> - Attended 2022-01-12 Langdon & Thompson House Walkthroughs Senior Preservation Services Manager - Historic New England
<b>Steven Mallory</b> - Attended 2022-01-10 Walkthrough Preservation Historian	<b>Tim Barry</b> – Attended 2022-02-08 Walkthrough Historic Painter



13 April, 2022

Structural Condition Assessment  
Connector, Barn and Carriage House  
Captain Thomas Thompson House  
179 Pleasant Street  
Portsmouth, New Hampshire

Gorham Structural Engineering, PLLC is a consultant to the property owner and has been retained to work with project architect, CJ Architects, to provide a condition assessment of the connector, barn and carriage house structures at 179 Pleasant Street. The following is a summary of the findings.

Please see attached sketch SK-A for a plan drawing.

### **1.0 Connector**

The connector is a 4'-3"x23'-9" one story, wood framed structure which extends from the back of the annex to the barn.

The connector foundation is made of loosely spaced stone supporting a timber plate. The exterior grade along the north side is about 1-foot below the top of the foundation wall. The exterior grade along the south side is approximately at the same elevation as the interior wood floor. Brick masonry cladding has been added along the outside face of the south wall in an attempt to provide some decay protection to the wall and timber sill. The top of this brick cladding is about 1-foot above the exterior grade and interior floor and covers decaying wall sheathing. (Images 1 – 5)

The first floor is framed with 2x4 joists spaced at 16" on center. The joists are supported on a 2x2 ledger fastened to 6x6 timber plates. The north exterior wall is constructed using board sheathing over 2x3 studs spaced at 39" on center. The south wall is constructed using plywood sheathing over 2x3 studs spaced at 16" on center with 4x4 post spaced at 4-feet on center. The majority of the roof is framed with boards spanning from the exterior walls to a 2x2 ridge. (Image 6)

The connector construction is haphazard, with a sloping floor, walls out of plumb, and techniques that would be considered unconventional for any time period. The brick masonry cladding wall does not provide sufficient or appropriate decay protection for the wood framing materials.





1-Connector north elevation



2-Connector south elevation



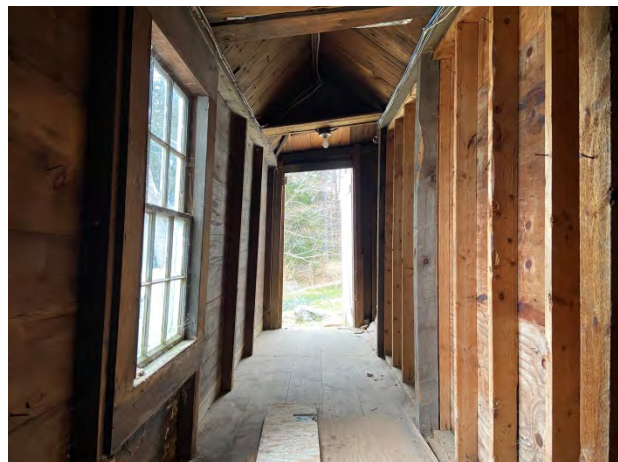
3-Connector brick cladding on south side



4-Connector inside face of brick cladding



5-Connector foundation on north side



6-Connector interior looking east



## **2.0 Barn**

The barn was originally constructed as a 12'-3"x40'-0" one story, wood framed structure with a mono-sloped roof. A renovation added the 10'-6"x16'-9" one story shed extension to the back of the building and created a 15'-5" wide door opening at the front elevation.



7-Barn southwest elevation



8-Barn north elevation



9-Siding extending below grade



10-Stone foundation along back of barn





11-Inside looking north



12-Inside looking south



13-5x5 timber supported on screw jack



14-Connector roof sheathing and purlins



15-Barn decay damage



16-Barn decay damage



The barn foundation along the front of the building is not accessible or visible. It is most likely constructed similar to the connector south wall, with brick cladding covering the base of the wood wall and the dry stacked stone foundation. At some locations along the front of the building, the soil is in contact with the wood clapboard siding and is above the interior floor elevation (Image 9). Along the back of the original building, the foundation is constructed of dry stacked stone (Image 10). At the addition, the foundation is constructed of concrete block and brick masonry.

The first floor is partially concrete slab, just within the sliding doors. (See SK-A) I believe the slab is cast directly on wood decking. The floor is wood decking on each side of the concrete slab. The exterior walls are framed with timber studs clad with pine board sheathing. The roof is framed with wood purlins supported by timber rafters.

The original barn timber frame was constructed using reasonably sized members and techniques. The renovation that added the shed extension, and the wide sliding doors along the front of the building, damaged and structurally degraded the original framing system. Much of the original front wall framing, including a frame supporting post on line-3, was removed to create the current door opening. (SK-A and SK-D) The original front wall frame posts on lines 2 and 4 have also been removed and replaced. Where the back wall of the original barn was removed, the existing and added framing has been supported by a heavily notched 5x5 timber and a screw jack. (Image 13) The purlins spanning from the barn to the carriage house are grossly undersized. (Image 14)



**Barn Structural Analysis Summary**

This analysis assumes members to be full dimension with the following design loads:

Roof framing analyzed for a 42 psf snow load plus a 20 psf dead load.

Floor framing analyzed for a 40 psf live load plus a 15 psf dead load.

Note: Structural components noted below are keyed on sketch SK-B

<b>Purlin P1</b>	Assuming 3"x4" Hem-Fir, Select Structural, spaced at 2'-0" on center Bending stress, fb = 1740 psi (exceeds allowable by 152%) Total load deflection = 1.07" (exceeds allowable by 180%)
<b>Purlin P2</b>	Assuming 4"x4" Hem-Fir, Select Structural, spaced at 3'-0" on center Bending stress, fb = 1955 psi (exceeds allowable by 171%) Total load deflection = 1.20" (exceeds allowable by 203%)
<b>Purlin P3</b>	Assuming 2¾"x4" Hem-Fir, Select Structural, spaced at 3'-0" on center Bending stress, fb = 5400 psi (exceeds allowable by 473%) Total load deflection = 4.95" (exceeds allowable by 675%)
<b>Rafter R1</b>	Assuming 8"x7" Eastern White Pine, Select Structural Bending stress, fb = 1485 psi (exceeds allowable by 132%) Total load deflection = 1.03" (exceeds allowable by 166%)
<b>Rafter R2</b>	Assuming 6"x7" Eastern White Pine, Select Structural Bending stress, fb = 2210 psi (exceeds allowable by 197%) Total load deflection = 1.55" (exceeds allowable by 248%)
<b>Rafter R3</b>	Assuming 7"x6" Eastern White Pine, Select Structural Bending stress, fb = 2284 psi (exceeds allowable by 204%) Total load deflection = 1.86" (exceeds allowable by 298%)
<b>Rafter R4</b>	Assuming 7"x6" Eastern White Pine, Select Structural Bending stress, fb = 2077 psi (exceeds allowable by 185%) Total load deflection = 1.37" (exceeds allowable by 244%)

Please note that these calculations have ignored the effects of notches and other significant defects and damage in the wood framing. Including these issues in the analysis would significantly increase the member stresses resulting in even lower load capacities.



### 3.0 Carriage House

The carriage house was originally constructed as a 26'-3"x40'-6" story and a half timber frame hip-roofed structure. A subsequent renovation added a one story shed extension along the entire back of the building. (See image 17 and 18)



17-Carriage house east elevation



18-Carriage house northeast elevation

The carriage house is supported along the south wall, and most of the east wall, on a brick masonry foundation. The foundation wall along the south elevation retains approximately 5-feet of earth. At times during rain events water can be observed leaking through this wall onto the concrete floor slab. The balance of the foundation appears to be dry stacked stone piers.

The majority of the first floor is a concrete slab. About one-third of the floor area is wood decking supported on wood timbers on stone piers over soil. The second floor and roof of the carriage house is framed with wood timbers using deep cross-lap joints for connections. The roof is slate shingles on board sheathing. The clear headroom at the second floor level is about 5'-3". (1/SK-E)

The first floor exterior walls along the front and right sides are framed with conventional 2x stud framing, similar to what we might see today, with pine board sheathing. My opinion is that these walls may have been constructed in the 1960s to 70s timeframe. The original posts along the front wall have been cut down to fit within the newer stud walls, and it was observed that the bases of some of the posts have been repaired. (Images 19 and 20)





19-Brick foundation and front wall framing



20-Brick foundation and side wall framing

The structure has two major frames along lines 7 and 8 with steel hanger rods that extend from the second floor 8x8 carrying timber to the rafter peak. (See SK-B and SK-C) This system provides support to the second floor and relies on diagonal bracing at the second floor level and balloon posts that are continuous from the foundation to the roof truss. (See 1/SK-E) At the frame on line 7.5, the timber bottom chord was cut and removed. In an effort to compensate, 2x8 diagonal chords were installed in an attempt to create a scissor truss. (See images 21 & 22, and 2/SK-E)



21-Cut bottom chord on line 7.5



22-Modified roof framing at line 7.5





23-Modified framing to bridge over the removed post and wall at lower level



24-Vertical split at corner post

At the intersection of grid lines 8 and C, (SK-A) the balloon post was cut and removed at the first floor level. In an effort to compensate, truss-like diagonal framing was installed at the second floor wall along line C, to bridge over the removed post. (See image 23 and 3/SK-E)

Looking at the building from outside, it can be observed that there is significant distortion, or deflection, along the ridge, the hips and in the plane of the roof itself. Looking inside the building at the top of the corner post, we can observe the vertical split in the post where the hip rafter is being pushed outward. (See image 24)

### **Carriage House Structural Analysis Summary**

This analysis assumes members to be full dimension with the following design loads:

Roof framing analyzed for a 42 psf snow load plus a 20 psf dead load.

Floor framing analyzed for a 40 psf live load plus a 15 psf dead load.

Note: Structural components noted below are keyed on sketch SK-B

**Rafter R5** Assuming 3"x5" Hem-Fir, Select Structural, 2'-0" on center  
Bending stress,  $f_b = 3525$  psi (exceeds allowable by 330%)  
Total load deflection = 5.05" (exceeds allowable by 496%)

**Joist J1** Assuming 7"x6" Hem-Fir, Select Structural, spaced at 3'-9" on center  
Bending stress,  $f_b = 1730$  psi (exceeds allowable by 144%)  
Total load deflection = 1.77" (exceeds allowable by 232%)



## Carriage House Structural Analysis Summary - Continued

- Joist J2** Assuming 6"x6" Hem-Fir, Select Structural, spaced at 3'-9" on center  
Bending stress, fb = 1200 psi (matches allowable stress of 1200 psi)  
Total load deflection = 0.73" (exceeds allowable by 124%)
- Beam B1** Assuming 8"x8" Hem-Fir, Select Structural  
Bending stress, fb = 2310 psi (exceeds allowable by 192%)  
Total load deflection = 0.54" (within allowable)

Note: Structural components noted below are keyed on sketch SK-C

- Decking D1** Assuming 3/4" thick Hem Fir board sheathing  
Bending stress, fb = 2070 psi (exceeds allowable by 160%)  
Total load deflection = 1.73" (exceeds allowable by 525%)
- Purlin P4** Assuming 4"x2½" Red Oak, Grade #2  
Bending stress, fb = 5920 psi (exceeds allowable by 430%)  
Total load deflection = 4.6" (exceeds allowable by 525%)
- Rafter R6** Assuming 5"x7½" Hem Fir, Select Structural  
Bending stress, fb = 2825 psi (exceeds allowable by 235%)  
Total load deflection = 2.8" (exceeds allowable by 365%)
- Rafter R7** Assuming 5½"x5½" Hem Fir, Select Structural  
Bending stress, fb = 2950 psi (exceeds allowable by 245%)  
Total load deflection = 4.3" (exceeds allowable by 500%)
- Beam B2** Assuming 10"x8" Hem Fir, Select Structural  
Bending stress, fb = 3002 psi (exceeds allowable by 250%)  
Total load deflection = 5.6" (exceeds allowable by 440%)

Please note that these calculations have ignored the effects of notches and other significant defects and damage in the wood framing. Including these issues in the analysis would significantly increase the member stresses resulting in even lower load capacities.

Visual observations, along with the results of the engineering analysis, indicate that the carriage house structure is in very poor condition.



From outside the building, looking at the carriage house, one can observe significant distortion, which could be describe as a swayback condition, along the ridge, the hips, and roof planes. These distortions indicate that the building structure is significantly overstressed to levels that should be considered unacceptable. The results of basic engineering calculations, that should not be considered conservative, confirm that the buildings' member stresses and deflections are excessive.

In conclusion; any effort to renovate this existing building structure, for any type of occupancy, would be a difficult and expensive undertaking. In my opinion, every original structural member, including roof sheathing and all member connections, would need to be reinforced, repaired or replaced.

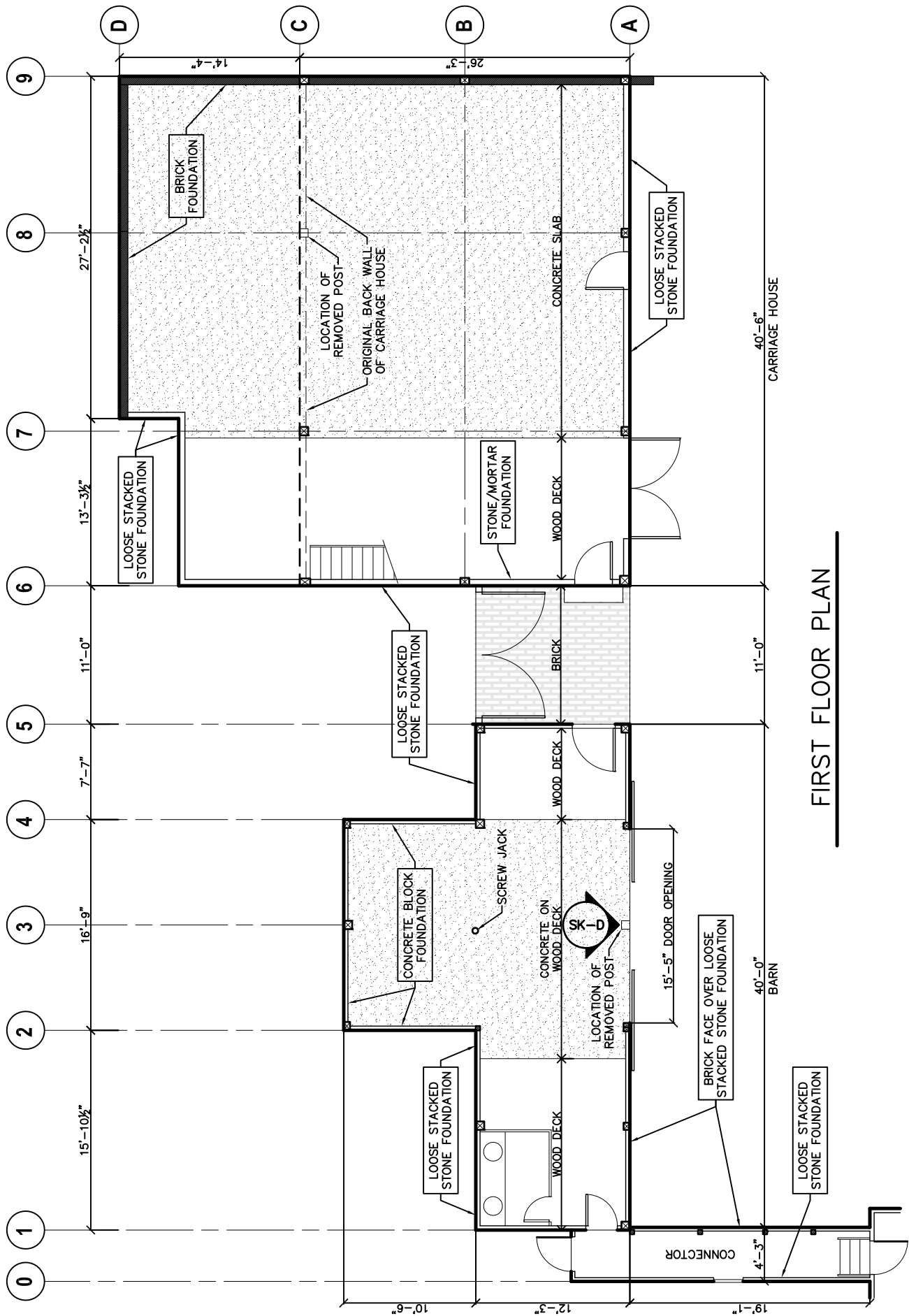
Thank you for this opportunity to be of service. Please feel free to contact me if there are any questions or if I may be of further service.

Respectfully submitted,  
Martin Gorham, PE, LEED-AP, SECB

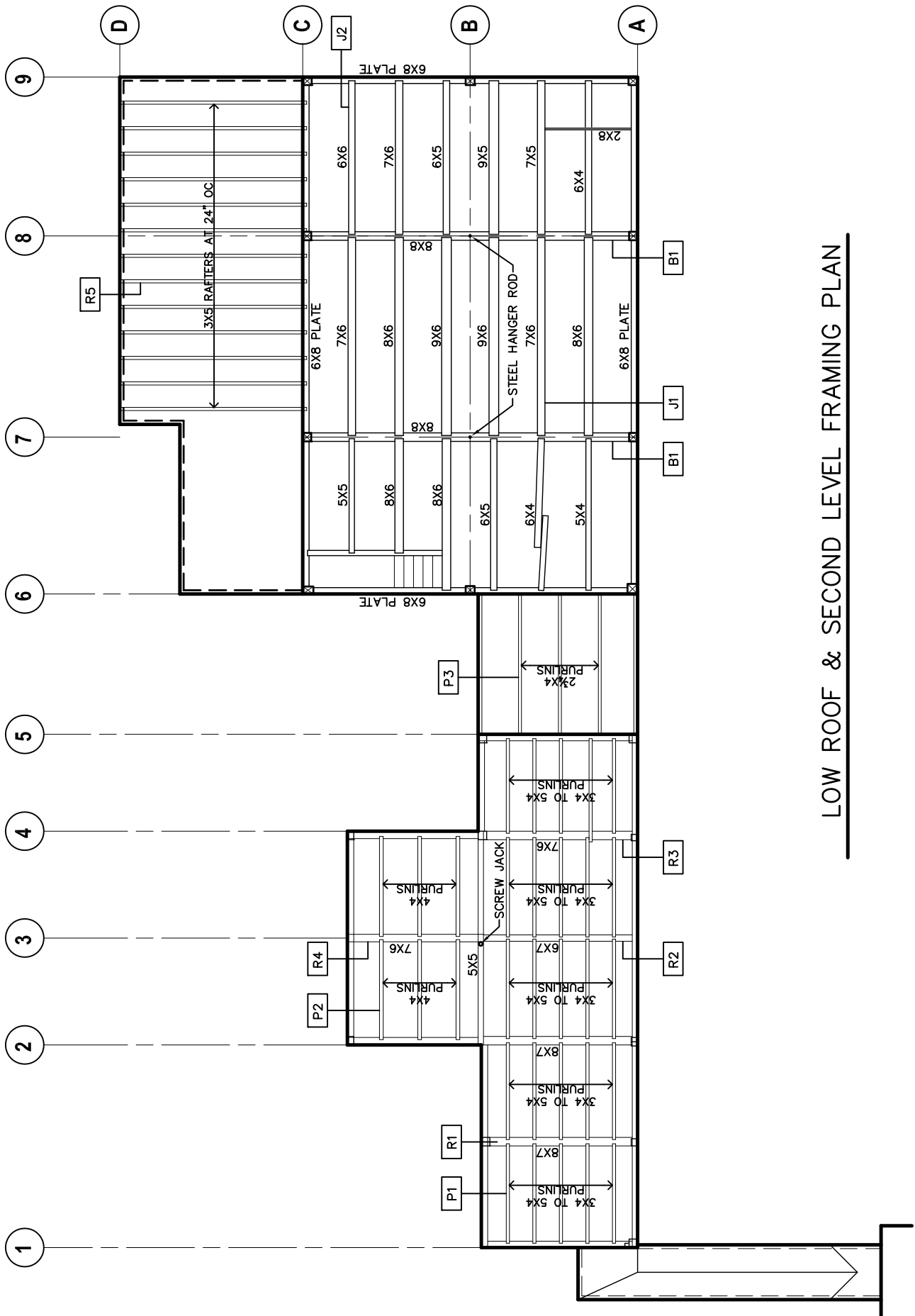


Attachments: SK-A, B, C, D & E



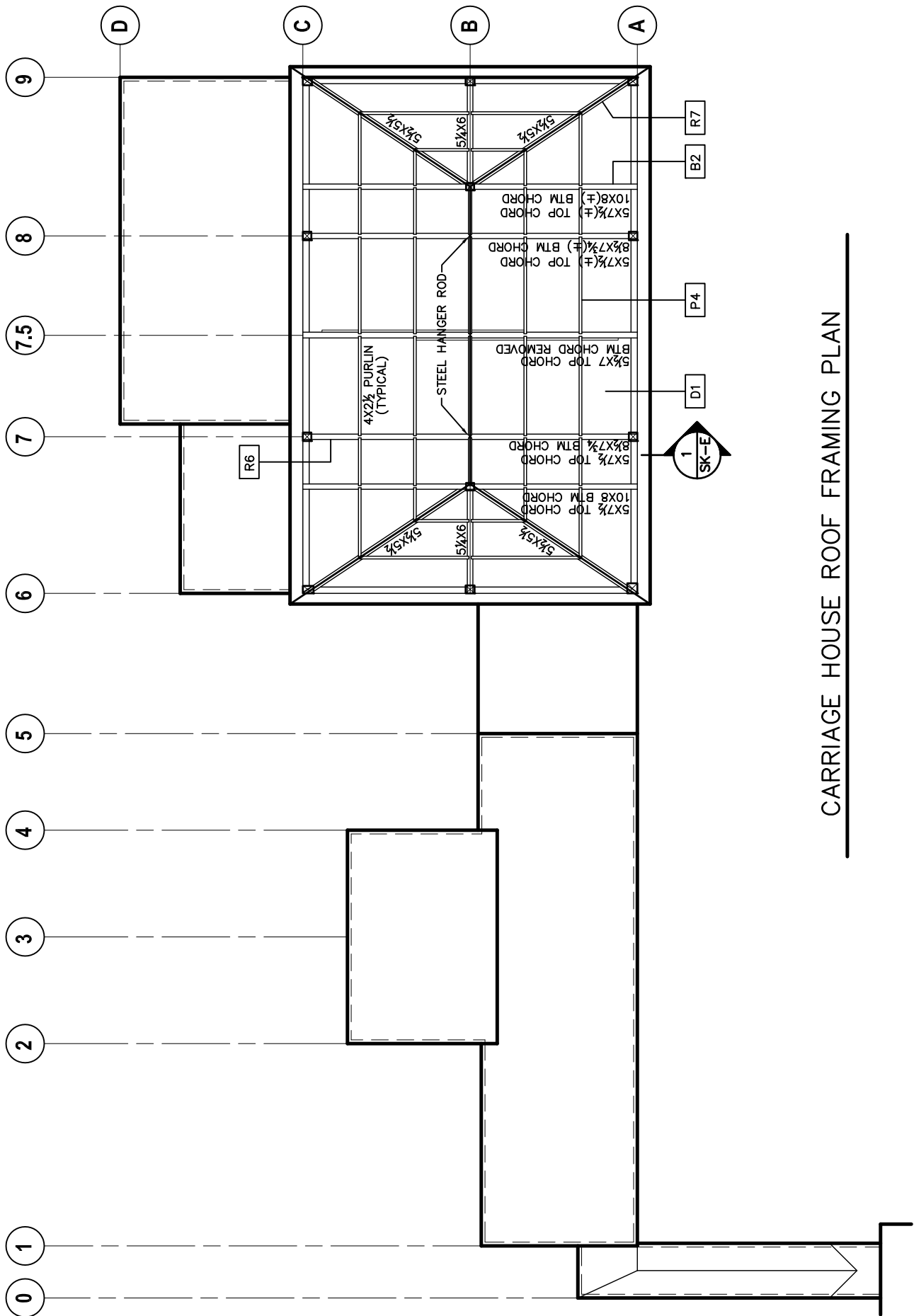






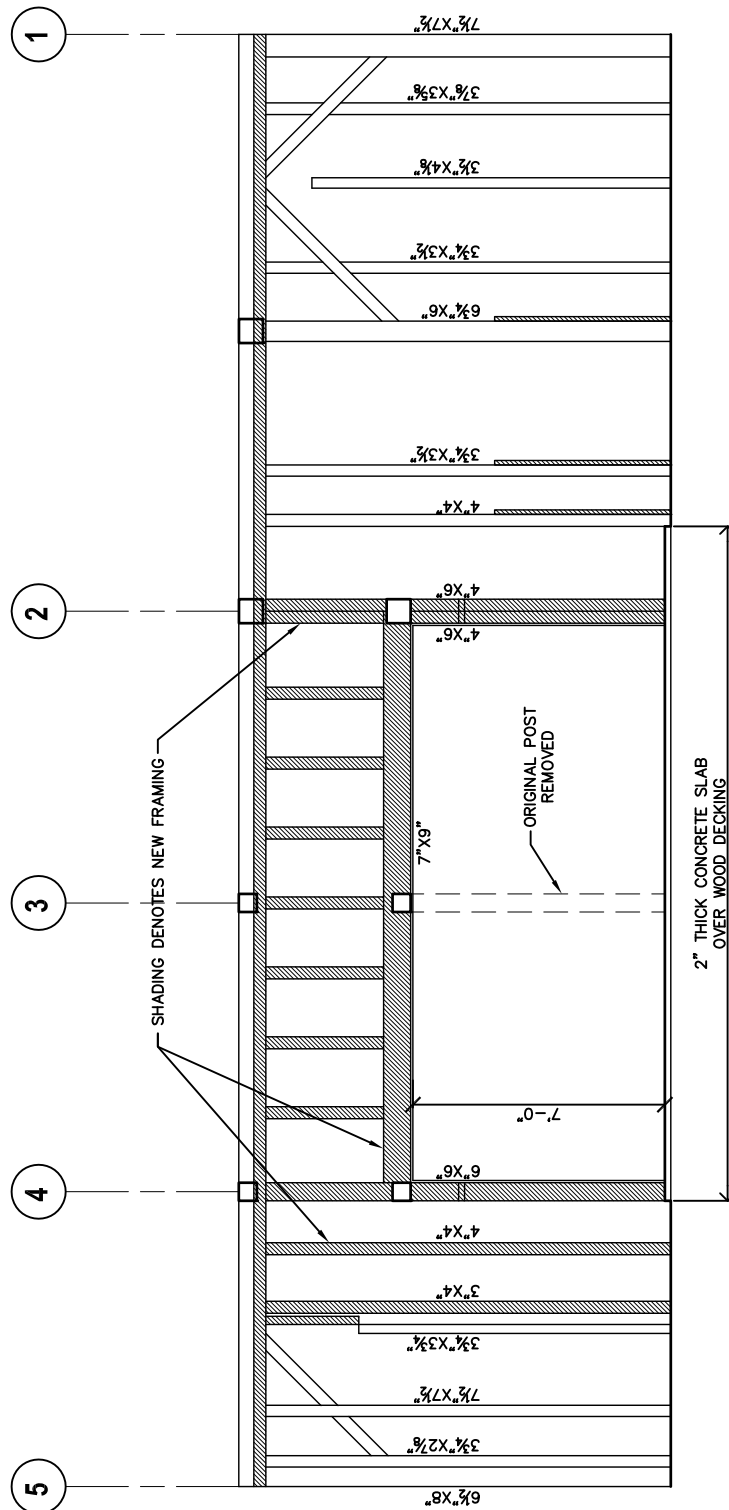
LOW ROOF & SECOND LEVEL FRAMING PLAN





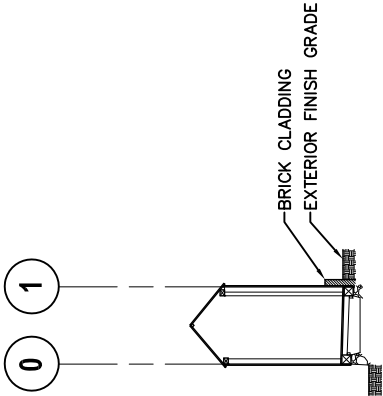
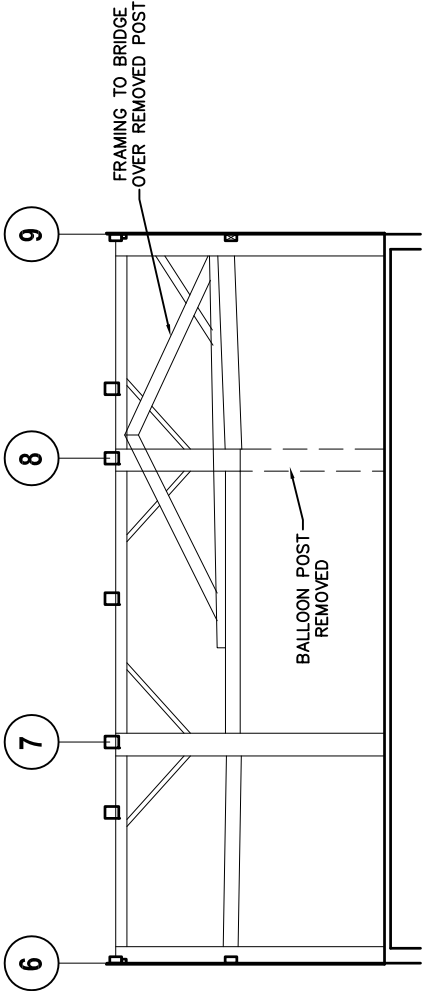
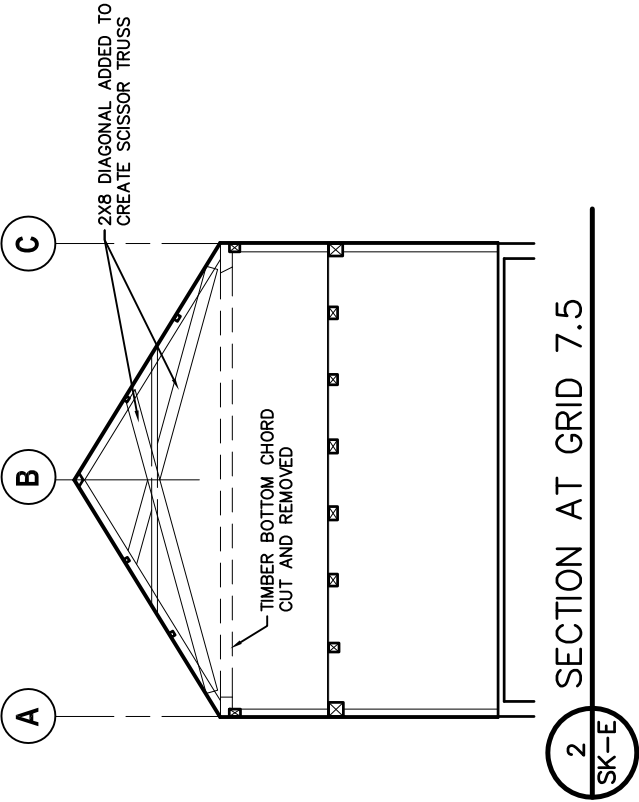
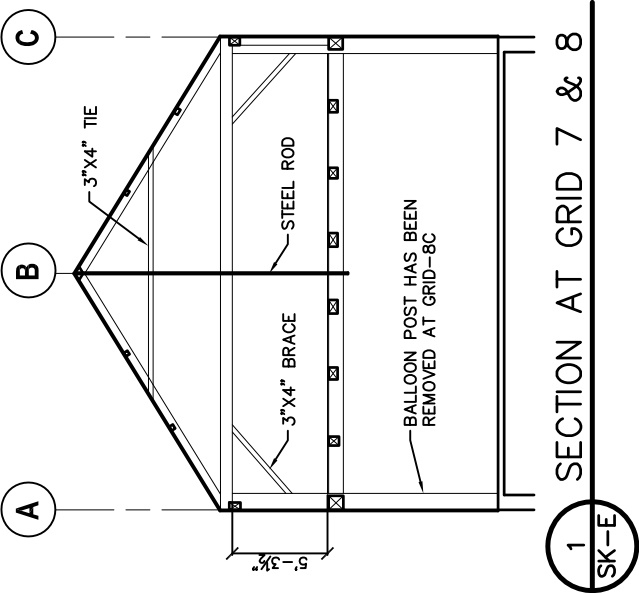
CARRIAGE HOUSE ROOF FRAMING PLAN





BARN FRONT WALL FRAMING ELEVATION – INSIDE VIEW







# **Carriage House & Connector Buildings**

## **Evaluation of Construction & Building Origin**



The intent of this report is to provide background and clarity to the origin and dating of the carriage house and connecting structures at 179 Pleasant St. By reviewing construction methods, existing materials, historic maps, and consulting with industry professionals. We have generated this report for your review.



## **Dog Leg Connector:**



### **Dog Leg Connector:**

**(Est Early 1900's)**

The dog leg connector, much like the rest of the property has been subjected to a series or renovations over the years. Most of the framing members in the wall, floor, and roof systems have modern materials and certainly do not predate the early 1900's. The roofing material is slate; however, the flashing details are all modern materials and practices. The edge of the roof lines have metal drip edge installed, and the ridge cap detail is lead bent over the slate and does not match the hip or ridge detail of the mansion.

The front elevation exterior trim and clapboards have all been replaced and have no signs of original materials. The back elevation has older clapboards installed on a portion of the wall system. The clapboards have a very steep lap joint that overlaps by roughly 2". This indicates older siding practice and thus older material. The nails used to secure the siding and the steep lap joints however, do not match the siding details on the mansion. This suggests a different period for the installation of the siding on the dog leg connector.

Another key detail is how the dog leg connector butts into the annex and barn/connector. The corner boards and fascia are cut into the other structures and in some points scribed around the other structures. Again, this suggests that this building postdates the annex and even the barn/connector.



## **Barn/Connector:**



### **Barn/Connector:**

**(Est 1890 – Early 1900's)**

The barn/main connecting structure also exhibits signs of significant renovation work over the years. Through our research we know that the front wall was reframed to accommodate a larger sliding door in 2018. A 10' x 16' "carport" was added to the back side of the structure in 1979. In reviewing the framing most of the front wall has been removed and replaced with rough sawn material to accommodate the door renovation in 2018. Additionally, most of the roof framing was cut and altered to accommodate the carport addition in 1979.

We noticed a unique difference between the roof framing in the barn/connector and the carriage house and mansion. The barn/connector roof system is a timber frame just like the mansion and carriage house. It has main rafters, purlins, and wind or corner bracing into the king posts. The joinery of the wind or corner bracing was mortised into the side of the king post and rafter, and then secured with a large steel nail. The mansion and carriage house all have mortise pockets and tenon joints with a wooden peg. This could be a result of the roof being altered and repurposed to accommodate the various renovations, or the different framing style may suggest a different period for the structure.

There is little to extract from the exterior details on this structure. Most of the siding and exterior trim has been replaced or is rotted beyond any repair. The exterior wall facing the carriage house located under the open roof system is however intact. The siding on this wall has a but joints and no noticeable nail heads like the mansion.



## **Carriage House:**



---

### **Carriage House:**

**(Est 1784)**

The carriage house is the only structure (outside of the mansion) that still has elements of its 1784 origin. Unfortunately, the carriage house has suffered the greatest impact from haphazard renovations and poor construction practices out of all the structures on the property.

In 1962 the carriage house underwent an extensive renovation to accommodate a dentist office. The renovation basically removed the entire first floor walls and floor systems. There are almost no original materials left on the first floor of the carriage house to include, wall studs, sheathing, windows, doors, siding, trim, foundation. I believe they systematically removed sections of the walls while they reframed and eventually poured a concrete slab throughout most of the carriage house.

The second floor and roof system however have remained mostly intact and original to the 1784 period. The massing of the beams, the joinery methods, and the framing layouts all match the mansion framing. Some of the beams have been cut or notched over the years but for the most part the framing is intact.

There are (2) single story additions off the back of the carriage house. These two structures are not original to the carriage house, and we believe were most likely added in the late 1800's or early 1900's with the barn/connector. The framing members used are machined and the framing practice mimics that of the annex and a balloon frame style. The roof rafters of these additions are also notched into the second-floor sheathing of the carriage house.





## **Conclusion:**

After reviewing the connecting structures and carriage house as well as consulting with other professionals, it is our opinion the mansion and carriage house are the only structures original to the 1784 period. We believe the original property encompassed the mansion, a small kitchen “L” off the back of the mansion and the carriage house.

We also believe the barn/connector was added sometime after 1860 when Mark Wentworth purchased the property. We have found news papers in the mansion used as insulation and vapor barrier which suggest the renovation occurred closer to 1889 -1890. It is my opinion that Mark Wentworth renovated the mansion and added the barn/connector onto the carriage house at this time.

The dog leg connector and single story additions on the back of the carriage house we believe occurred sometime after the barn/connector and mansion renovation. Mark Wentworth passed away leaving the property to his daughter Susan Wentworth in 1903. We believe Susan added the back additions and the dog leg connector sometime during her ownership of 1903-1940. New Additions, Renovations, and Repurposing of materials has been ongoing to present day.





07/07/2022

**LUHD-462**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Apr 14, 2022**Applicant**

Carla Goodknight  
carla@cjarchitects.net  
233 Vaughan Street  
Suite 101  
Portsmouth, NH 03801  
6034312808

**Location**

161 DEER ST  
Portsmouth, NH 03801

**Owner:**

EIGHTKPH LLC  
233 VAUGHN ST UNIT 301 PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Work Session

**Alternative Project Address**

88 Maplewood

**Project Information****Brief Description of Proposed Work**

Application to Amend Previous Approval - Demolition of existing commerical building and construction of a new mixed-use building.

**Description of Proposed Work (Planning Staff)**

the demolition of the existing structure and the new construction of a new mixed-use building

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Carla Goodknight

**Business Name (if applicable)**

CJ Architects

**Mailing Address (Street)**

233 Vaughan Street

**City/Town**

Portsmouth

**State**

New Hampshire

**Zip Code**

03801

**Phone**

6034312808

**Email Address**

carla@cjarchitects.net

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



LETTER OF AGENDA

This property located at the corner of Deer Street and Maplewood Avenue has a rich history that is greatly influenced by the Portsmouth Rail Corridor.

The previous approval contained an elevated sidewalk and ramp along Deer Street to gain access the first floor. Ground water elevations on site create conditions that require raising the first floor. However, we have eliminated tandem parking spaces below the building along the perimeter, therefore allowing space adjacent to the public sidewalks to be constructed at sidewalk grade.

Please review the following items submitted for consideration:

1.0 – Site Aerial & Agenda

2.0 – Proposed Renderings

3.0 – Proposed Elevations

Appendix A

- Site and surroundings
- Zoning and Vision Plan

Appendix B

- Historic Research

Appendix C

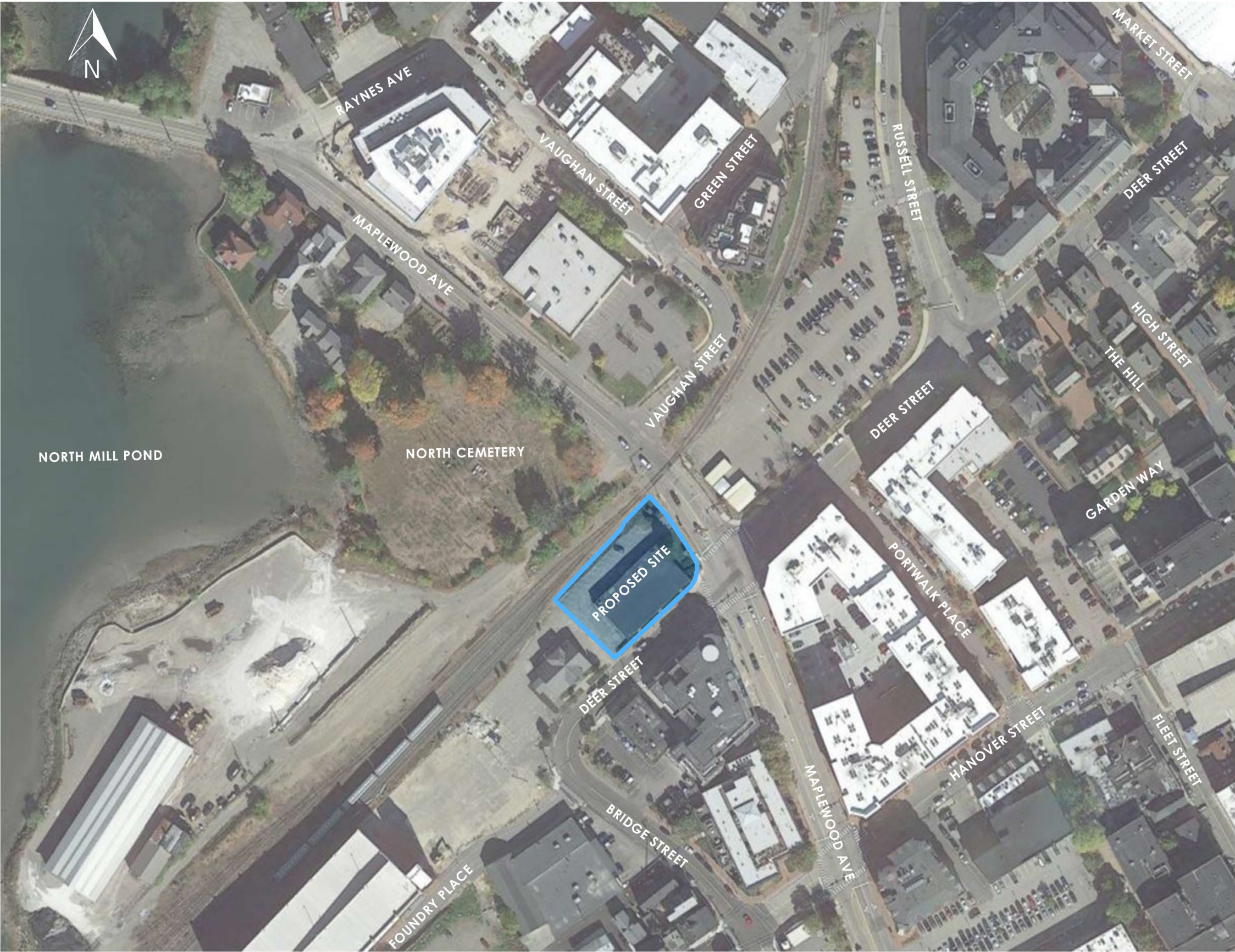
- North Mill Pond Coastal Resiliency

*We respectfully submit this Application for Amended Approval. The current HDC Approval was granted to the prior owner.*

Thank you for your consideration.  
Sincerely,



Carla Goodknight, AIA, NCARB  
Principal, CJ Architects



88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

AERIAL VIEW

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022







88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

AERIAL VIEW

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



2.0





88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM RUSSELL STREET

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



2.1





88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM VAUGHAN STREET

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



2.2





88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

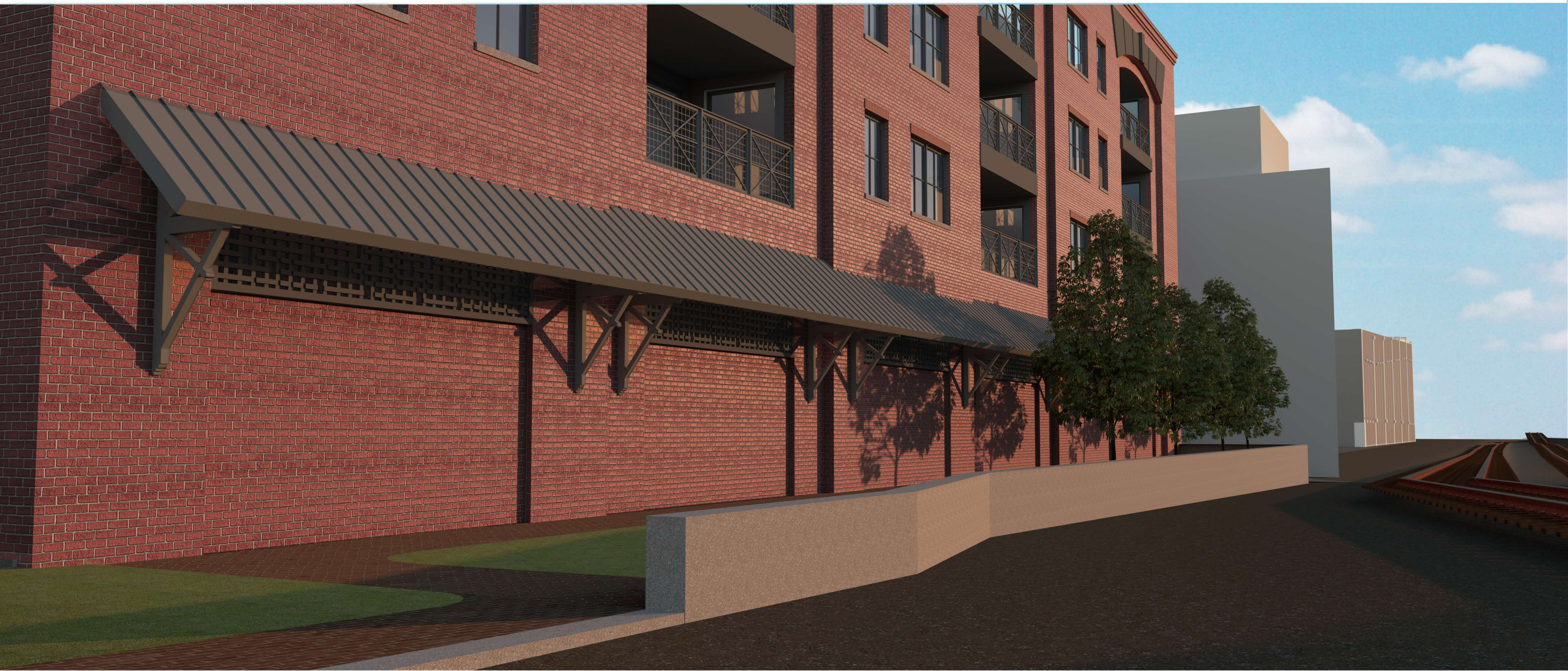
VIEW FROM BRIDGE STREET

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



2.3





88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

## VIEW OF RAIL SIDE CANOPY DETAIL

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



2.4





DEER STREET ELEVATION



MAPLEWOOD AVENUE ELEVATION



RAILROAD ELEVATION



SIDE ELEVATION

88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

## PROPOSED ELEVATIONS

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



3.0



**APPENDIX A:**

ZONING AND VISION PLAN

SITE AND SURROUNDINGS

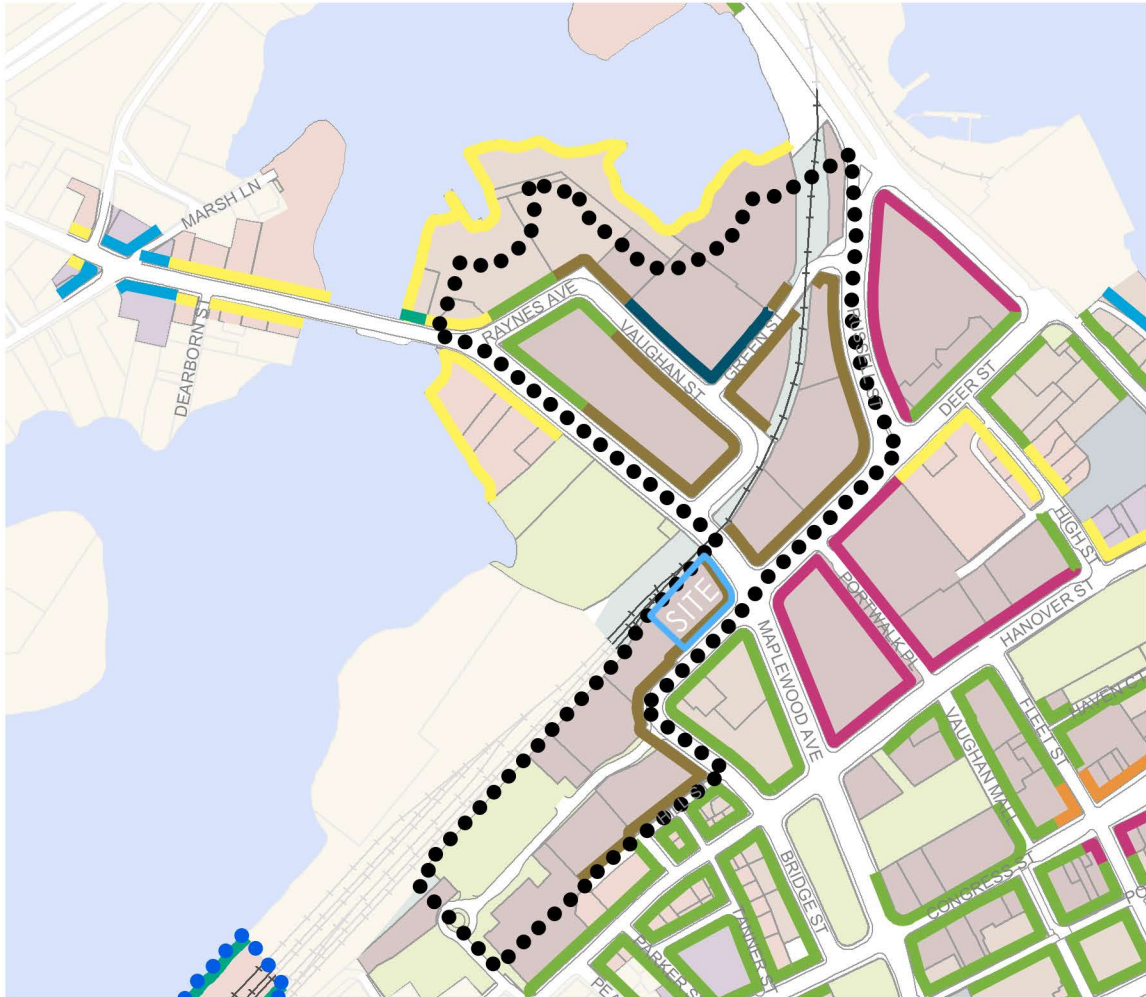
88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



A





BUILDING HEIGHT

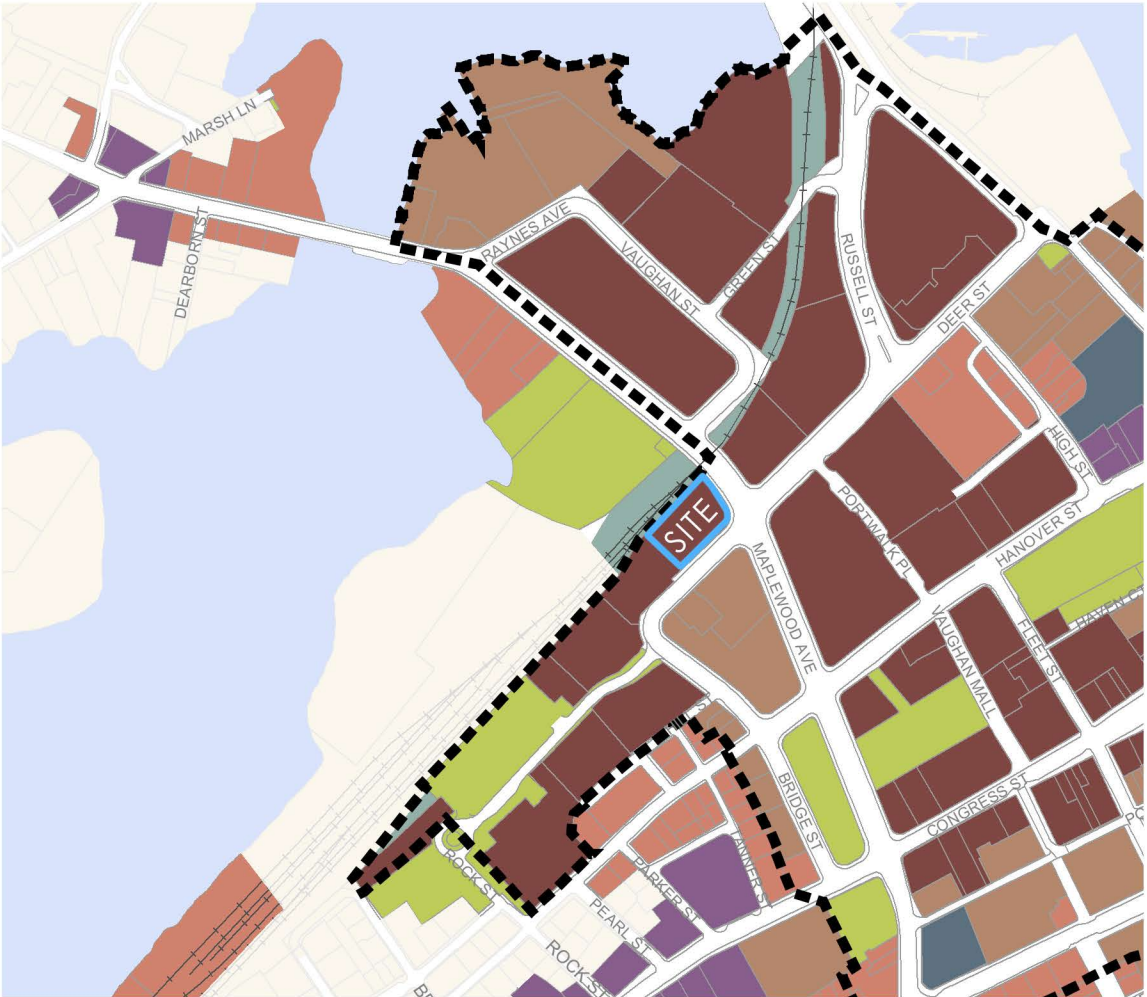
\*Penthouse Levels may exceed the building height by 2 feet.

1. A short story includes either: 1) use of a top story below the cornice line of a sloped roof that is at least 20% shorter in height than the story below; or 2) a story within a mansard roof with a pitch no greater than 30:12.
2. When a lot is assigned to more than one height requirement standard refer to the requirements listed in Section 10.5A21.22.
3. Attic space within either a gable, gambrel, hip or hip-top mansard roof or a penthouse level on a flat roof is not considered a story. Attic space is permitted above the top story provided the proposed building is no greater than the maximum building height.

**Incentive Overlay Districts**  
Within the Incentive Overlay Districts, certain specified development standards, including height, density and parking, may be modified pursuant to Section 10.5A47.

- • • • North End Incentive Overlay District  
Between Maplewood Avenue and Russell Street, the boundary of the North End Incentive Overlay District is established at 100 feet from the mean high water line.
- • • • West End Incentive Overlay District  
The boundary of the West End Incentive Overlay District is established at 200 feet from the rear lot lines of the abutting Aldrich Road lots and/or 100 feet from the rear lot lines of lots that abut the public or private portions of Chevrolet Avenue, whichever is greater.

Height requirement area	Maximum building height*
1 Story	20'
2 Stories	35'
2 Stories (short 3rd*)	35'
2-3 Stories	40'
2-3 Stories (short 4th*)	45'
2-4 Stories	50'
2-4 Stories (short 5th*)	60'
2-5 Stories	60'



ZONING PLAN

**Legend**

	DOD	Downtown Overlay District
	HD	Historic District

**Character Districts**

	CD5	Character District 5
	CD4	Character District 4
	CD4-W	Character District 4-B
	CD4-L1	Character District 4-L1
	CD4-L2	Character District 4-L2

**Civic District**

	CIVIC	Civic District
--	-------	----------------

**Other Districts**

	M	Municipal District
	TC	Transportation Corridor

88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

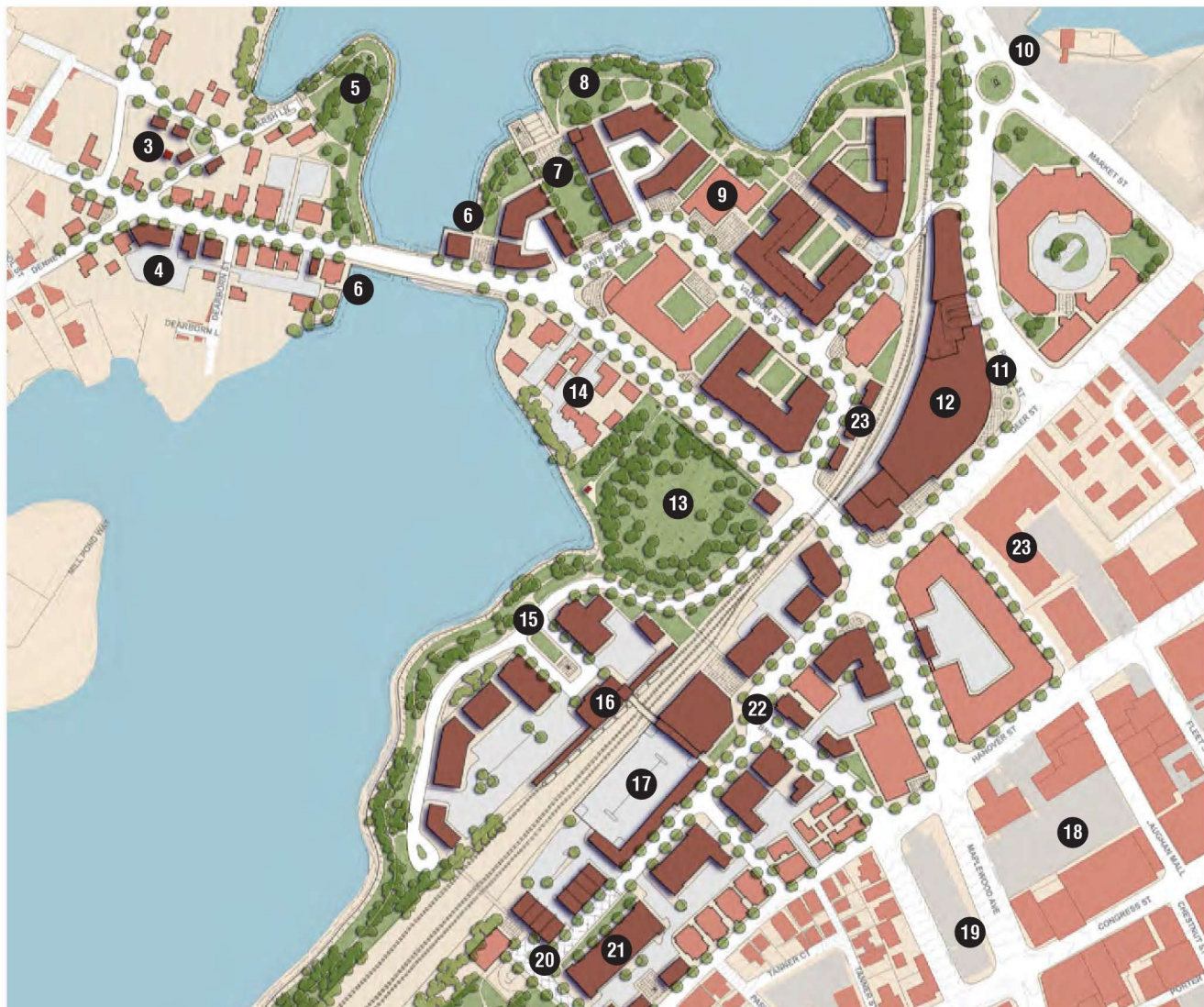
## ZONING

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



4.0





**NORTH END VISION PLAN**  
PROPOSED PROJECT SITE

### BUILDING DESIGN

The massing strategy of the vision plan is to respond to the surrounding context and viewsheds by stepping down building heights and densities towards the waterfront and existing historic structures. While Portsmouth's downtown is rich in historical architectural styles, public opinion during the charrette expressed a desire for a mixture of contemporary building design, styles types, materials and a wide variety of building height, volumes and massing techniques in the North End. This purposeful distinction will help to define the North End as a unique entity while complementing and contrasting with the historic character of the larger downtown.

- 1 NOBLE'S ISLAND
- 2 ALBACORE MUSEUM
- 3 PSNH SUBSTATION
- 4 MAPLEWOOD/DENNETT GATEWAY REDEVELOPMENT
- 5 MARSH LANE PARK
- 6 WATERFRONT DINING
- 7 MILL POND CIVIC PLAZA & GREEN
- 8 MILL POND WATERFRONT PARK & GREENWAY
- 9 3S ARTSPACE
- 10 MARKET STREET ROUNDABOUT & PARKS
- 11 NORTH END PLAZA
- 12 FUTURE HARBORCORP/WHOLE FOODS CONVENTION CENTER
- 13 UNION CEMETERY/NORTH CEMETERY

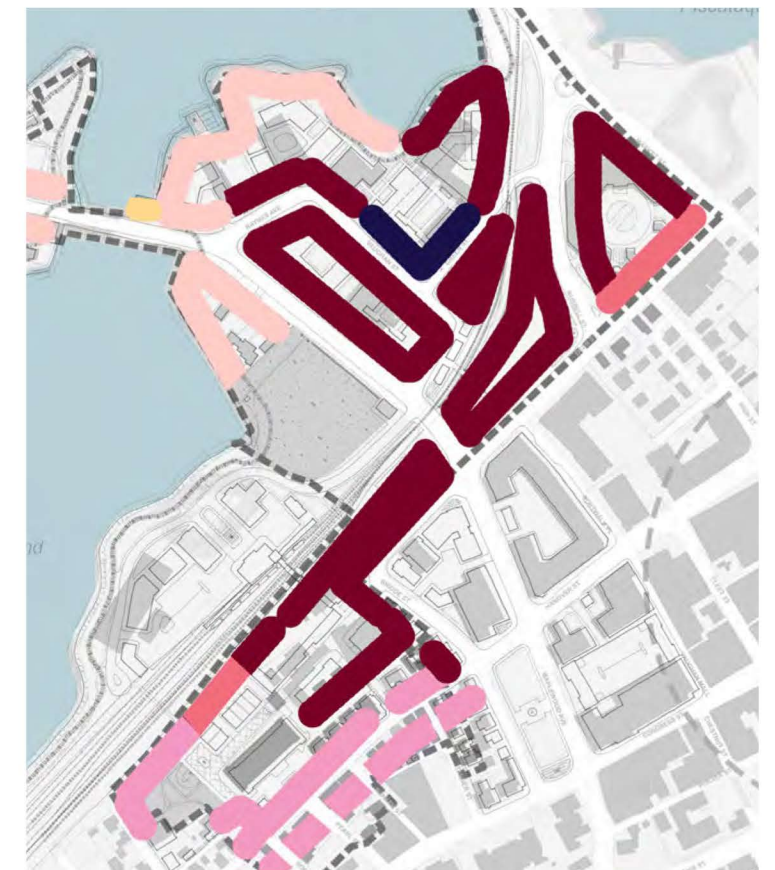
- 14 MAPLEWOOD HISTORIC HOMES
- 15 TRANSIT ORIENTED DEVELOPMENT
- 16 FUTURE PASSENGER RAIL STATION
- 17 FUTURE NORTH END PARKING GARAGE W/ MIXED-USE LINER BUILDING
- 18 FUTURE MAPLEWOOD PARKING GARAGE W/ MIXED-USE LINER BUILDING
- 19 FUTURE MAPLEWOOD AVENUE SQUARE/PARK
- 20 FUTURE ARTISAN/WORKFORCE HOUSING DISTRICT
- 21 FUTURE UPWARD EXTENSION OF HEINEMANN BUILDING
- 22 FUTURE MIXED-USE DISTRICT
- 23 FUTURE INFILL & LINER BUILDINGS

**LEGEND**

6 Stories (70')
4-5 Stories (60')
3-4 Stories (50')
2-3 Stories (45')
* 2 Stories (35')
1 Story (20')

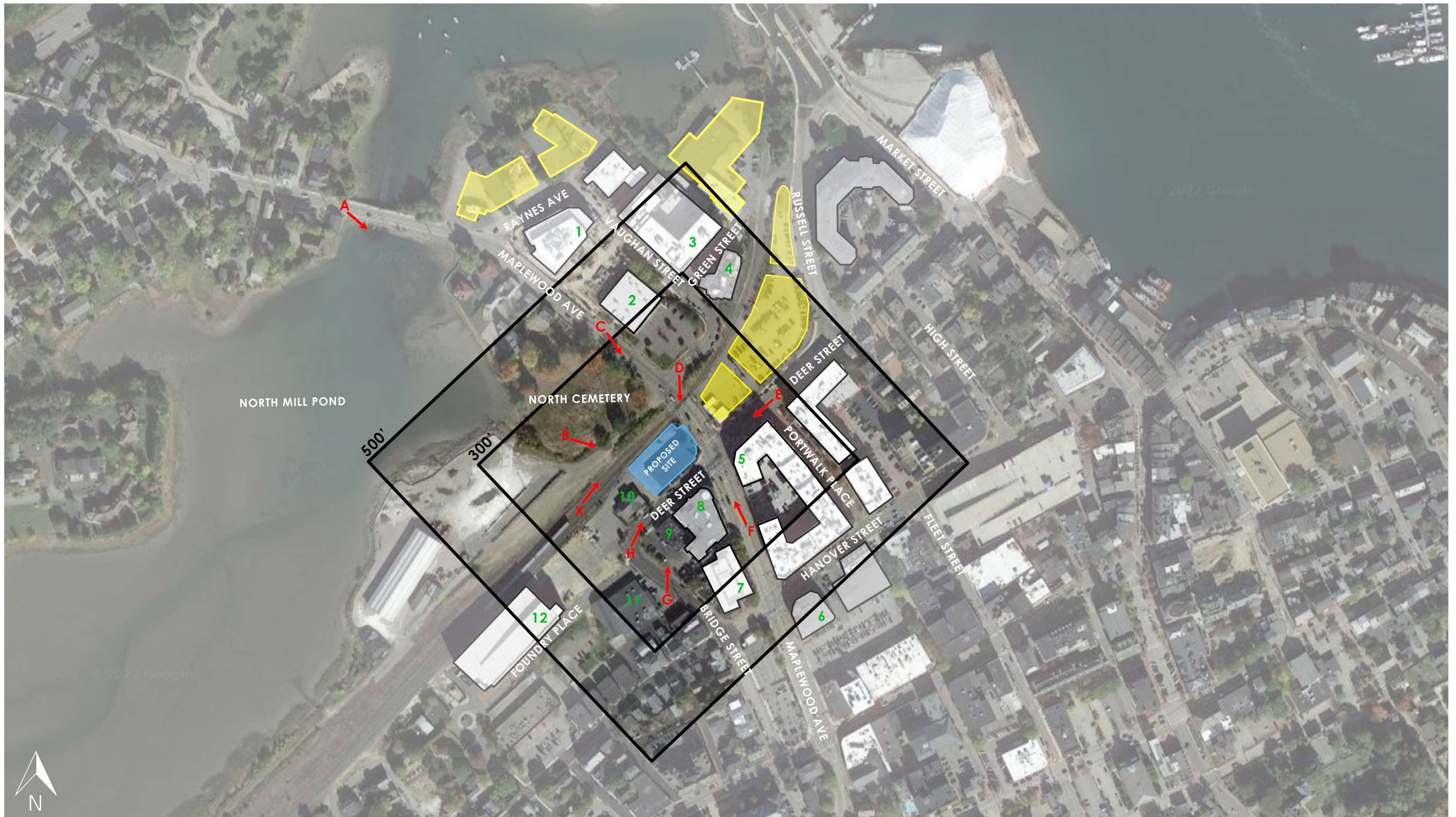


NORTH END ARCHITECTURAL STYLE



PRELIMINARY BUILDING HEIGHT MAP





88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

300' & 500' SITE SURROUNDINGS

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022

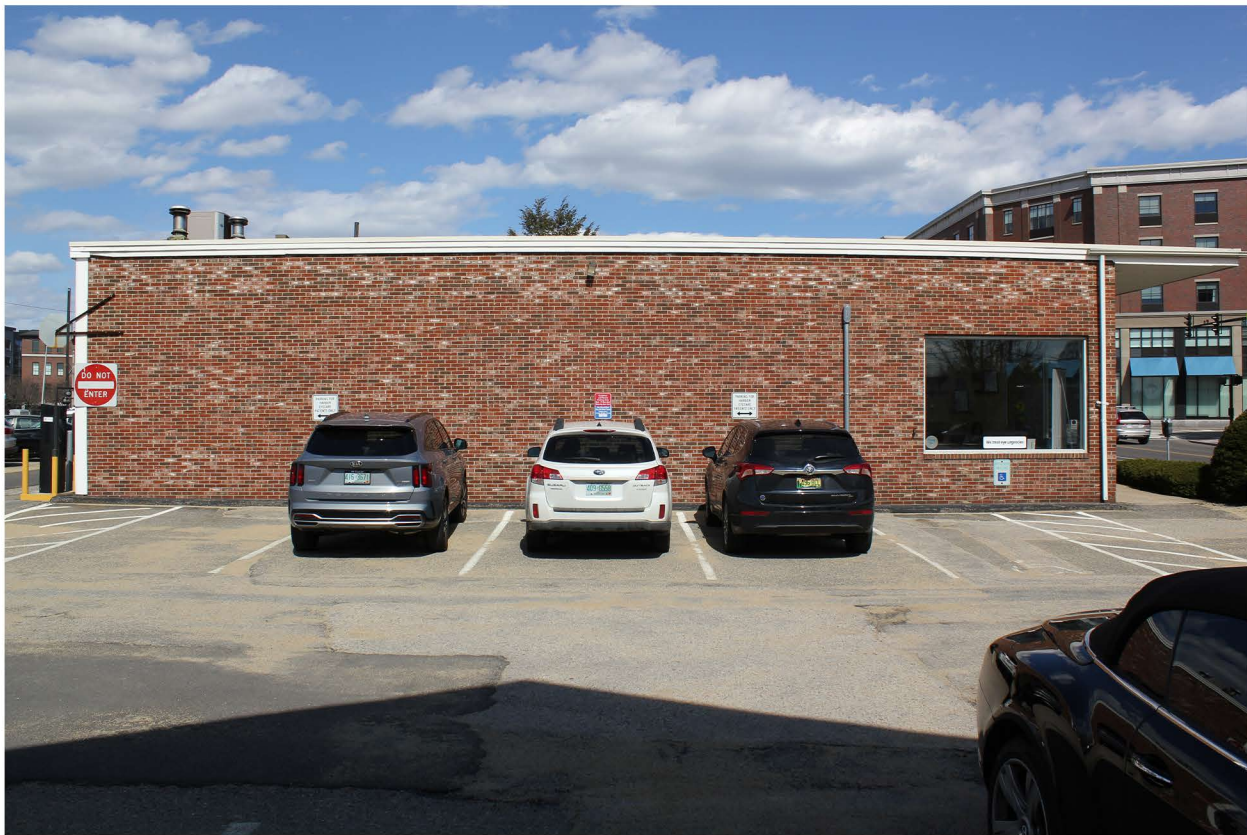


5.0





DEER STREET ELEVATION



ELEVATION FACING LOT 4



ELEVATION FACING RAILROAD TRACKS



MAPLEWOOD AVE ELEVATION

88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

SITE AND SURROUNDINGS  
EXISTING BUILDING

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022







A. VIEW ACROSS NORTH MILL POND TO NORTH CEMETARY



B. VIEW OF THE SITE FROM NORTH CEMETARY



C. VIEW OF THE SITE FROM MAPLEWOOD AVENUE



D. VIEW OF THE SITE FROM VAUGHAN STREET

88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

## SITE AND SURROUNDINGS PRIMARY VIEWS OF THE SITE

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



5.2





E. VIEW FROM DEER STREET TO FOUNDRY GARAGE



F. VIEW FROM MAPLEWOOD TOWARD VAUGHAN STREET



G. VIEW OF THE SITE FROM BRIDGE STREET



H. VIEW OF SITE FROM THE CORNER OF BRIDGE STREET



X. VIEW OF RAILROAD TRACKS ABUTTING SITE

88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

## SITE AND SURROUNDINGS PRIMARY VIEWS OF THE SITE

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



5.3





1 145 MAPLEWOOD



2 111 MAPLEWOOD



3 299 VAUGHAN STREET



4 233 VAUGHAN STREET



5 PORTWALK



6 25 MAPLEWOOD



7 30 MAPLEWOOD



8 46 MAPLEWOOD



9 238 DEER STREET



10 163 DEER STREET



11 126 BRIDGE STREET



12 FOUNDRY PARKING GARAGE

88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

## SITE AND SURROUNDINGS PROPERTIES WITHIN 300'-500' OF SITE

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



5.4



# **APPENDIX B:**

## HISTORIC RESEARCH

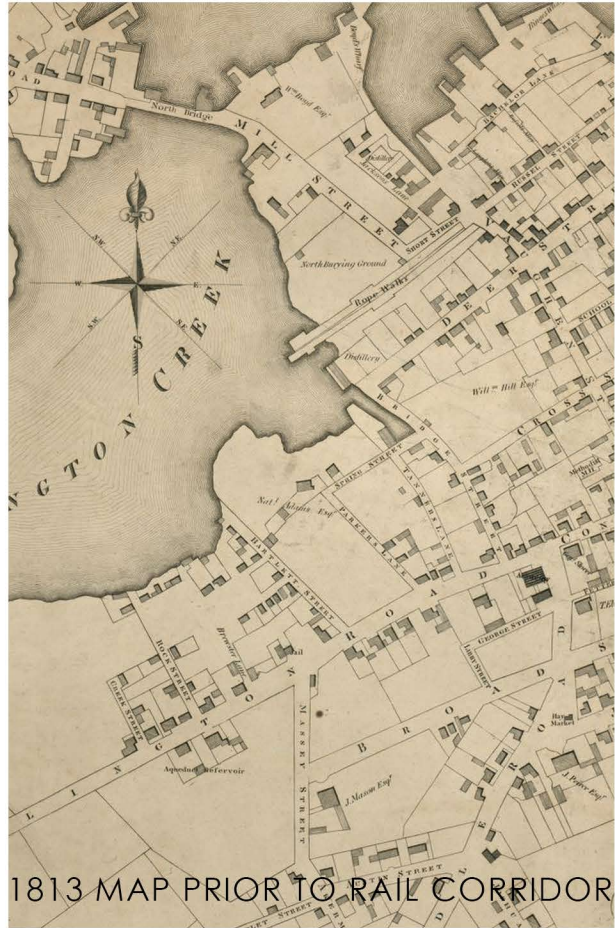
88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



B





1813 MAP PRIOR TO RAIL CORRIDOR



- #1 TRAIN STATION
- #2 KEARSARGE MILL
- #3 ROUNDHOUSE
- #4 FRANK JONES BREWERY
- #5 ELDREDGE BREWERY

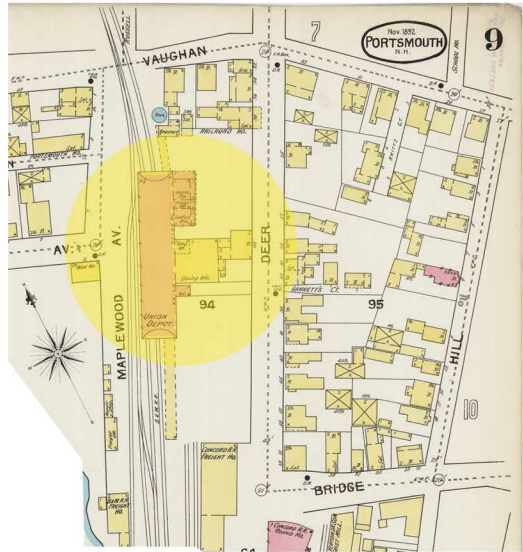
88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

# HISTORIC RAIL CORRIDOR AND RELATED STRUCTURES

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



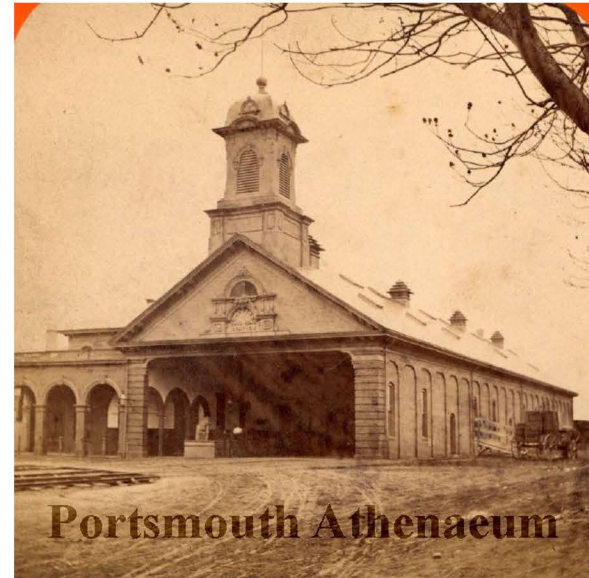




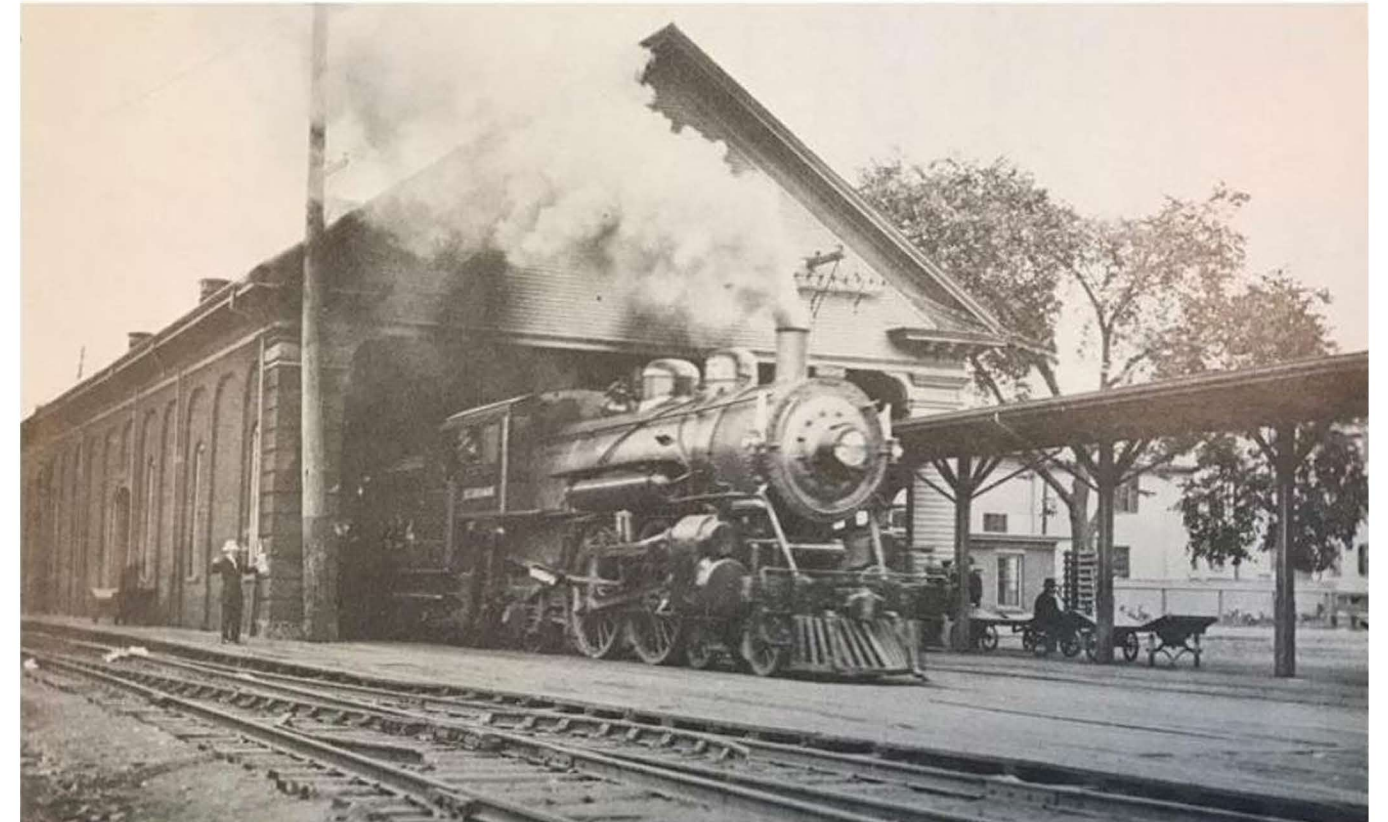
#1 TRAIN STATION



Portsmouth Athenaeum



Portsmouth Athenaeum



Boston & Maine Station, Portsmouth, N. H.



88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

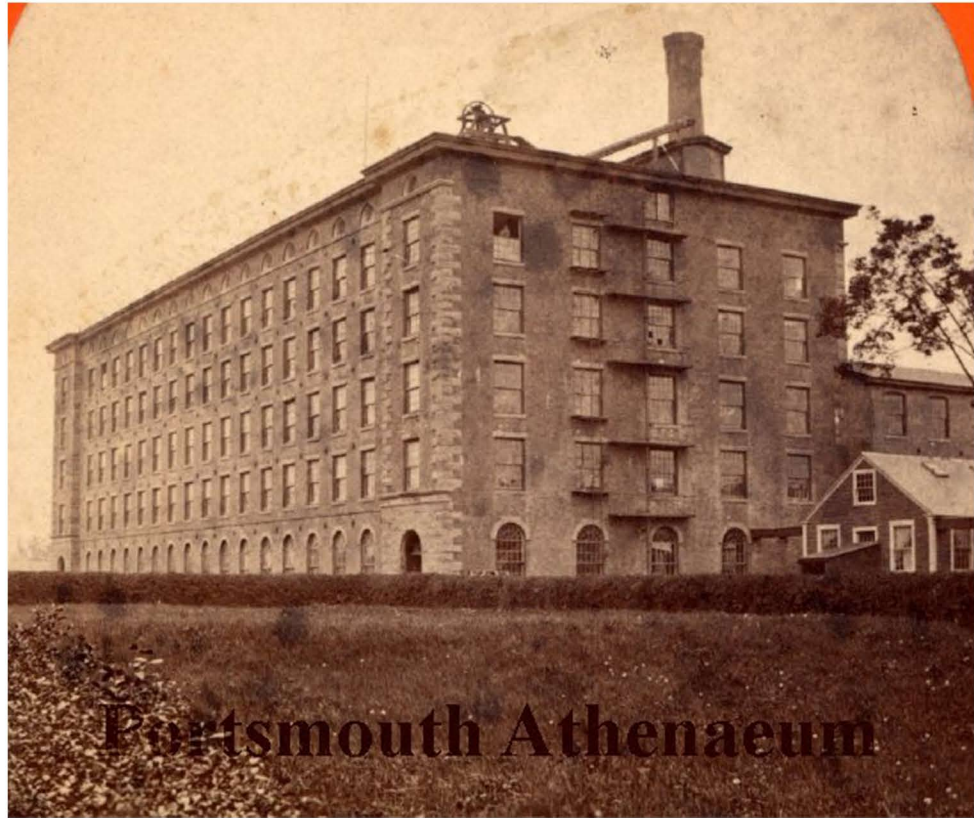
## RELATED STRUCTURES

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022

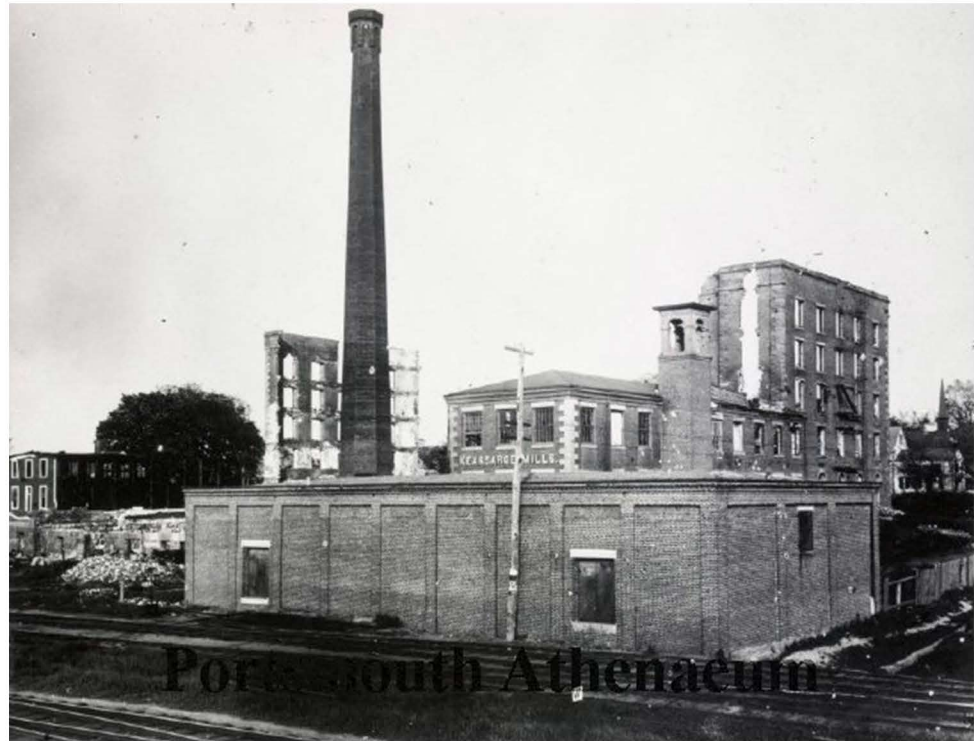


6.1





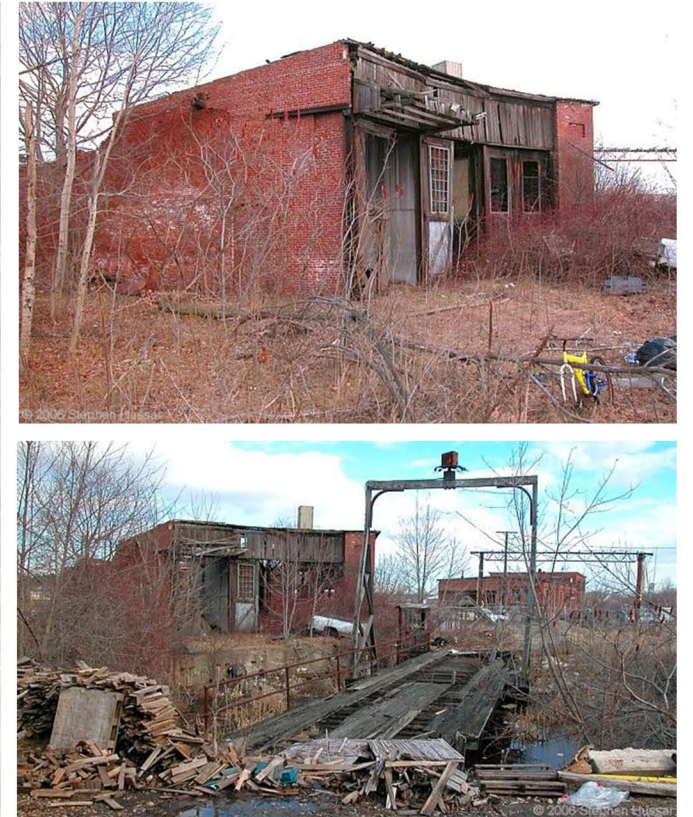
**#2 KEARSARGE MILL**



88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE



**#3 ROUNDHOUSE**



## RELATED STRUCTURES

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



6.2

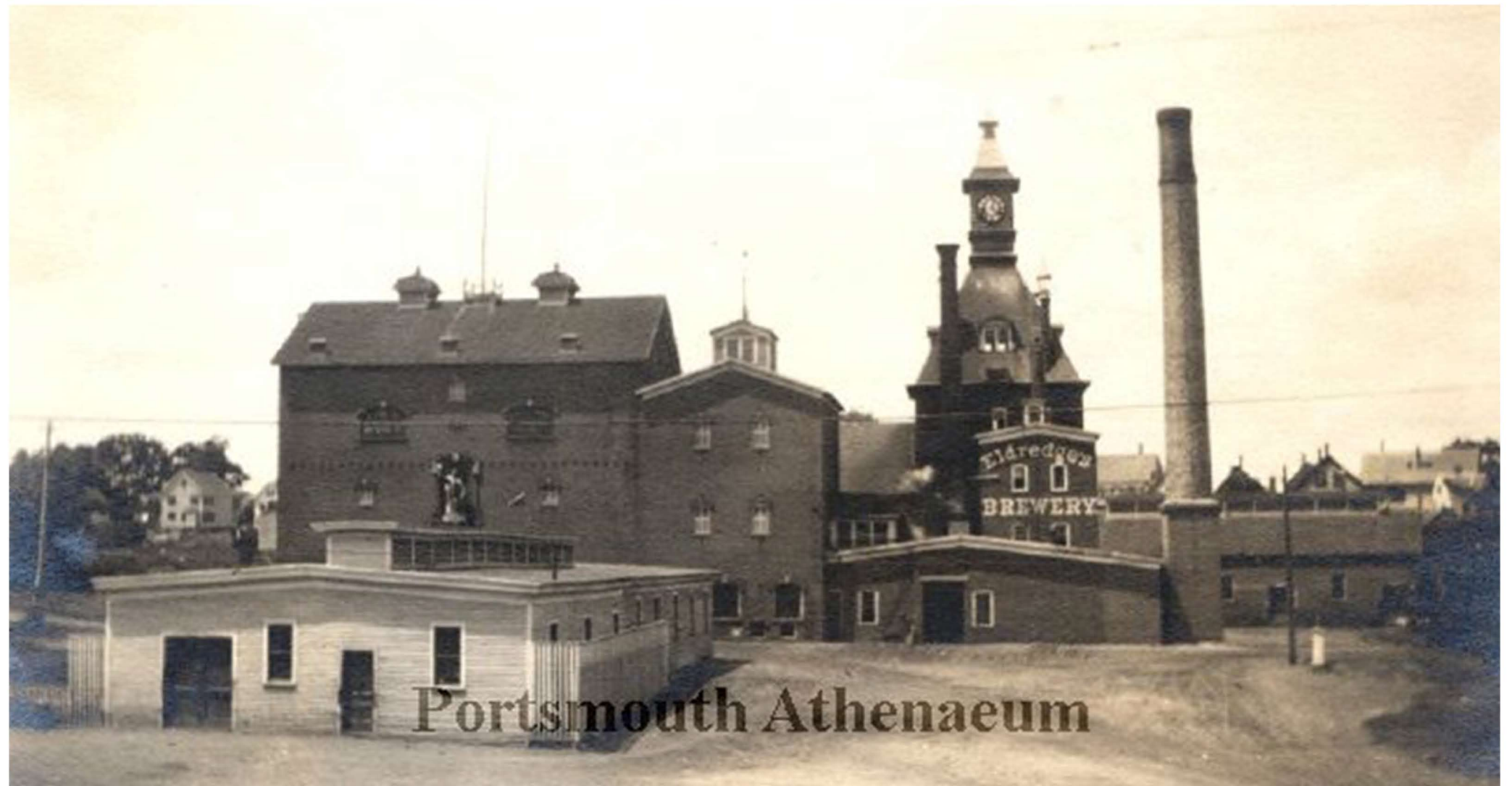




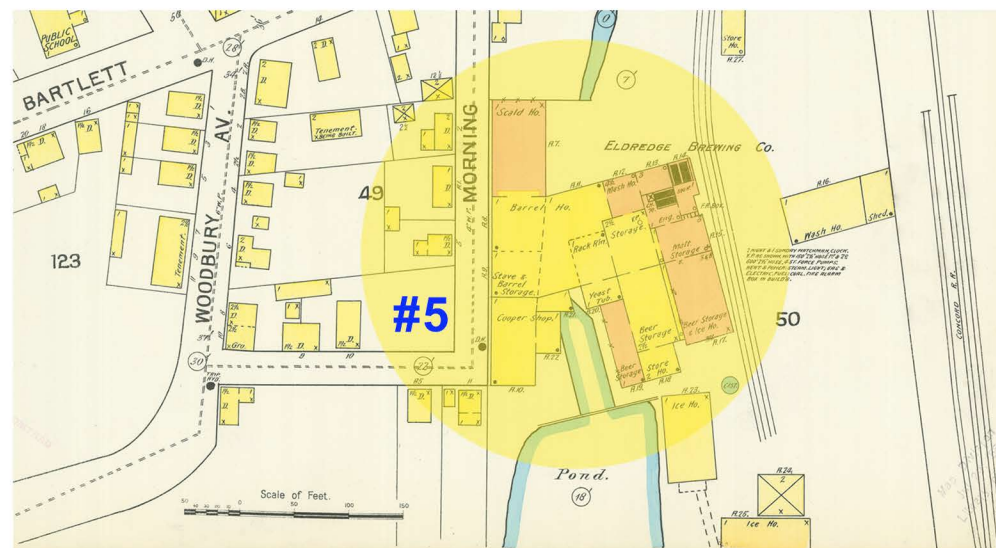
**#4 FRANK JONES BREWERY**



88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE



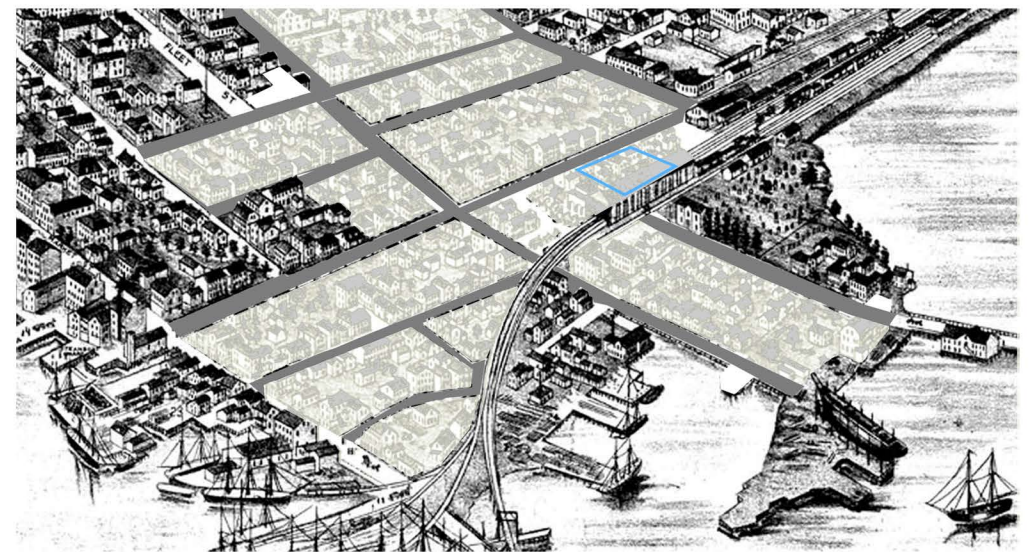
**#5 ELDREDGE BREWERY**



## RELATED STRUCTURES

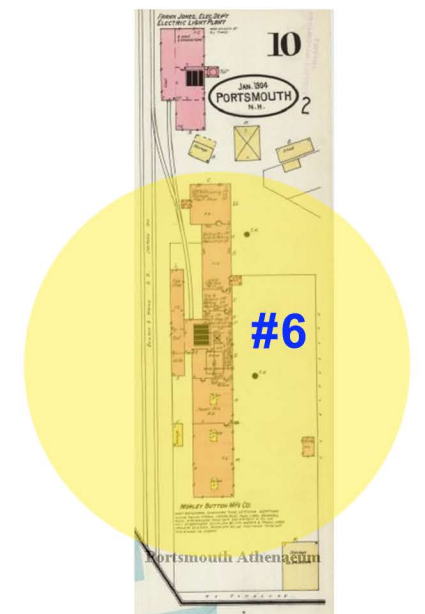
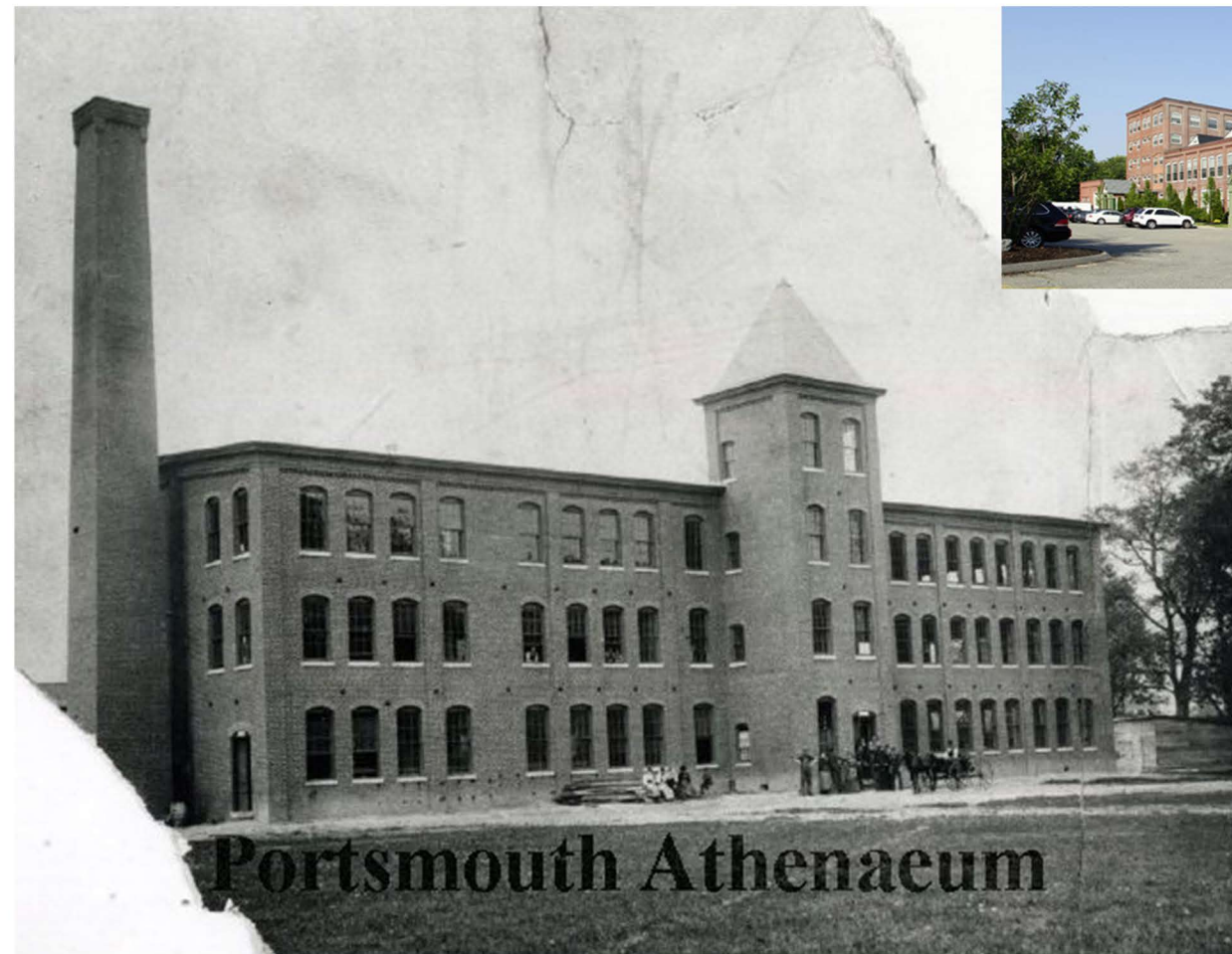
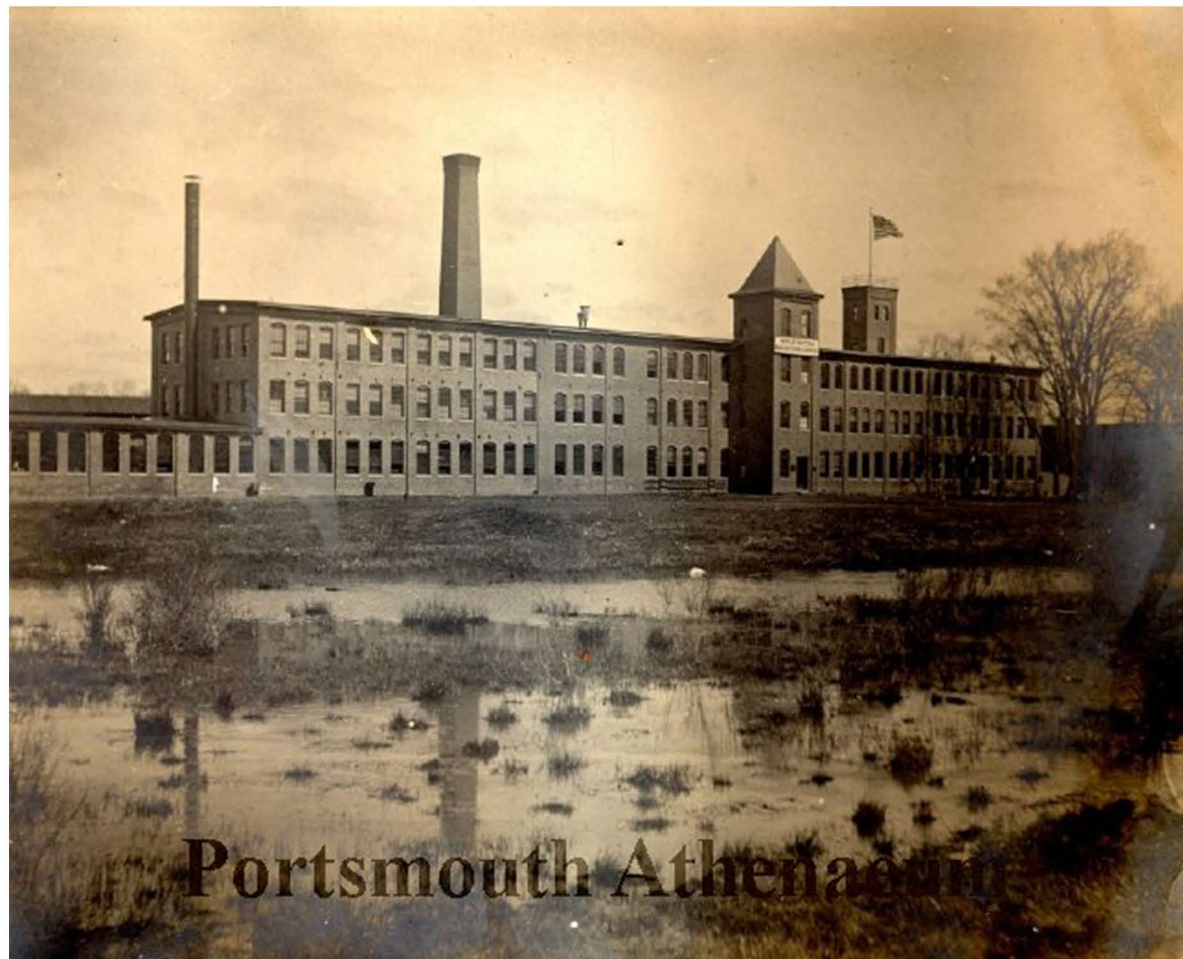
HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022





EXTENT OF URBAN RENEWAL IN THE 1960'S  
PROPOSED PROJECT SITE

## #6 BUTTON FACTORY



88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

## RELATED STRUCTURES

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



6.4



**APPENDIX C:**

**BUILDING ELEVATIONS BASED ON COASTAL RESILIENCY NORTH MILL POND**

88 MAPLEWOOD (LOT 5)  
PORTSMOUTH, NEW HAMPSHIRE

HDC WORK SESSION #3 APPLICATION TO AMEND PREVIOUS APPROVAL:  
JULY 6, 2022



C



# Building Elevations Based on Coastal Resiliency North Mill Pond

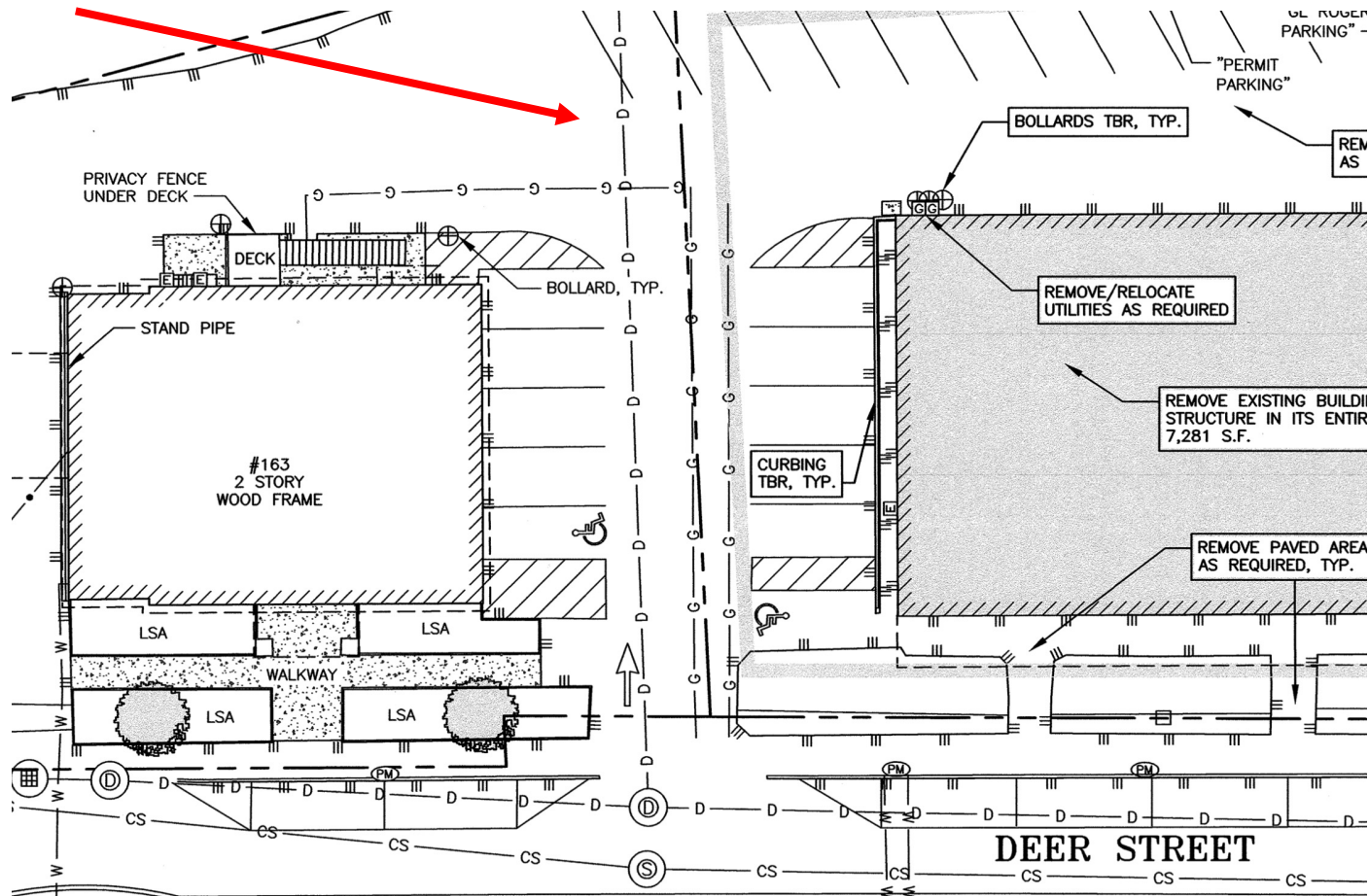
PB Meeting May 19, 2022

Site: 161 Deer Street, Portsmouth NH 03801  
(88 Maplewood Design Review)



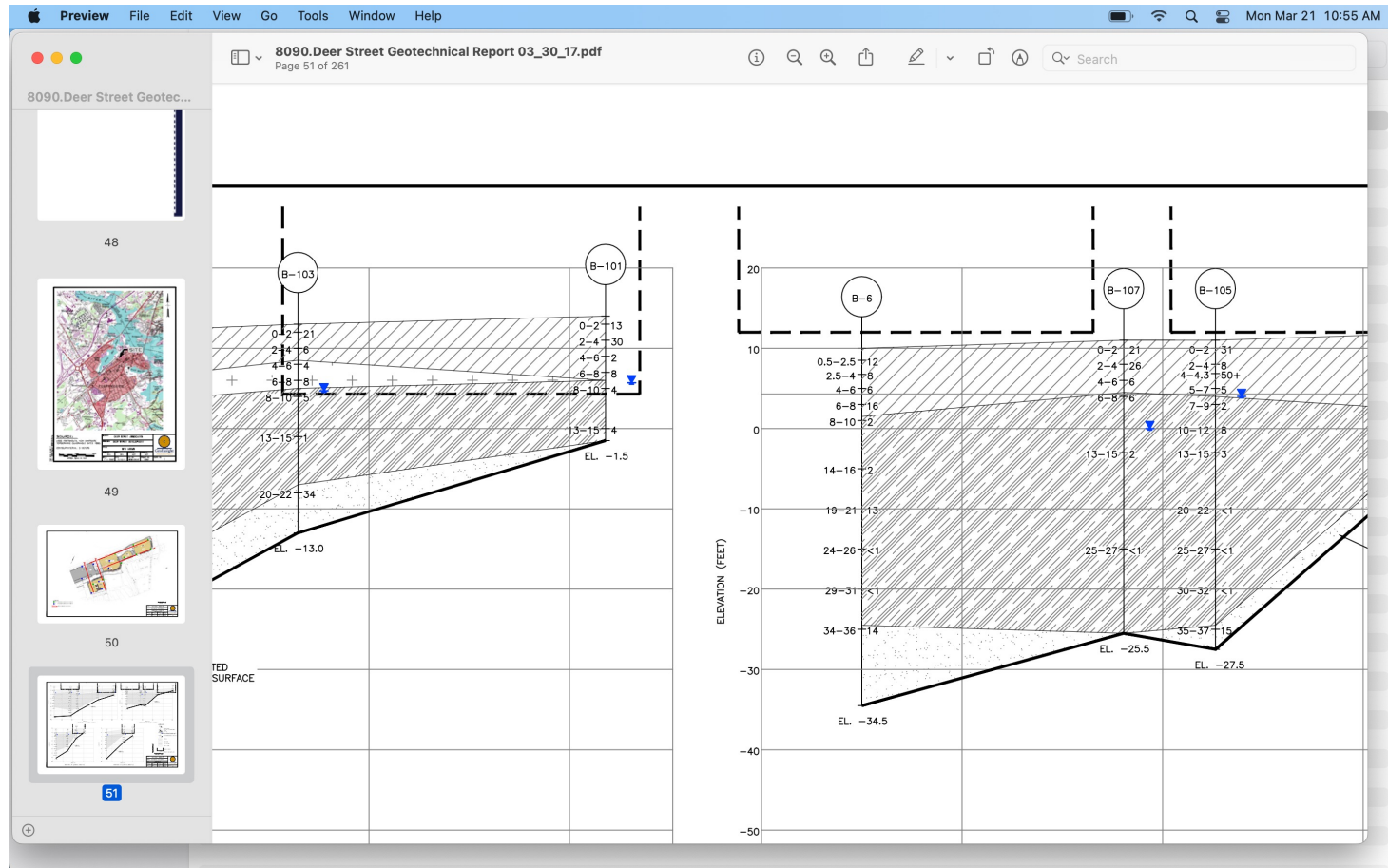
# 163 Deer Street Drainage Easement

## Stormwater Drain





# Groundwater already at ~6'





# Low Tide, North Mill Pond





# Avg. High Tide, North Mill Pond





# High tide, North Mill Pond

May 17, 12:24 AM (pipe submerged)





# High Tide Maplewood, North Mill Pond May 17, 12:24 AM (~5' - 5.5' elevation?)







## Portsmouth, NH - May 2022

Date		High				Low				☀		☾
		AM	ft	PM	ft	AM	ft	PM	ft	Rise	Set	Moon
1	Sun	12:24	8.8	12:56	8.0	6:38	-0.3	6:44	0.6	5:31	7:44	☀
2	Mon	1:01	8.7	1:36	7.8	7:17	-0.3	7:21	0.8	5:29	7:45	☀
3	Tue	1:36	8.6	2:15	7.6	7:55	-0.1	7:58	1.1	5:28	7:47	☀
4	Wed	2:13	8.3	2:55	7.3	8:34	0.2	8:36	1.3	5:27	7:48	☀
5	Thu	2:51	8.1	3:38	7.1	9:14	0.4	9:18	1.6	5:25	7:49	☀
6	Fri	3:34	7.8	4:25	6.9	9:59	0.7	10:04	1.8	5:24	7:50	☀
7	Sat	4:22	7.6	5:15	6.7	10:47	0.9	10:55	1.9	5:23	7:51	☀
8	Sun	5:14	7.4	6:07	6.7	11:37	1.1	11:49	1.9	5:22	7:52	☀
9	Mon	6:09	7.3	6:59	6.9			12:29	1.1	5:20	7:54	☀
10	Tue	7:05	7.3	7:51	7.2	12:46	1.8	1:22	1.0	5:19	7:55	☀
11	Wed	8:03	7.5	8:40	7.6	1:45	1.5	2:13	0.8	5:18	7:56	☀
12	Thu	8:57	7.7	9:25	8.1	2:41	1.1	3:02	0.6	5:17	7:57	☀
13	Fri	9:48	8.0	10:09	8.7	3:32	0.5	3:48	0.3	5:16	7:58	☀
14	Sat	10:37	8.2	10:52	9.2	4:20	-0.1	4:33	0.1	5:14	7:59	☀
15	Sun	11:26	8.4	11:37	9.6	5:08	-0.7	5:18	-0.1	5:13	8:00	☀
16	Mon			12:16	8.6	5:56	-1.1	6:06	-0.2	5:12	8:01	☀
17	Tue	12:24	9.8	1:07	8.6	6:46	-1.3	6:55	-0.1	5:11	8:02	☀
18	Wed	1:13	9.9	1:59	8.5	7:37	-1.3	7:46	0.0	5:10	8:04	☀
19	Thu	2:05	9.8	2:54	8.3	8:30	-1.2	8:41	0.2	5:09	8:05	☀
20	Fri	3:01	9.5	3:53	8.1	9:27	-0.9	9:40	0.5	5:08	8:06	☀
21	Sat	4:02	9.1	4:57	7.9	10:28	-0.5	10:45	0.7	5:08	8:07	☀
22	Sun	5:07	8.7	6:01	7.9	11:31	-0.2	11:53	0.9	5:07	8:08	☀
23	Mon	6:15	8.4	7:04	7.9			12:34	0.1	5:06	8:09	☀
24	Tue	7:22	8.1	8:05	8.1	1:03	0.9	1:37	0.3	5:05	8:10	☀
25	Wed	8:27	7.9	9:01	8.3	2:11	0.8	2:36	0.4	5:04	8:11	☀
26	Thu	9:27	7.8	9:51	8.5	3:12	0.5	3:29	0.5	5:04	8:12	☀
27	Fri	10:20	7.8	10:36	8.6	4:06	0.2	4:16	0.6	5:03	8:12	☀
28	Sat	11:09	7.7	11:18	8.7	4:54	0.1	4:59	0.8	5:02	8:13	☀
29	Sun	11:54	7.7	11:57	8.6	5:38	0.0	5:40	0.9	5:02	8:14	☀
30	Mon			12:36	7.6	6:19	-0.1	6:18	1.1	5:01	8:15	☀
31	Tue	12:35	8.6	1:16	7.5	6:57	0.0	6:56	1.2	5:00	8:16	☀

# Portsmouth Tide Chart May 2022



## Portsmouth, NH - Jun 2022

Date		High				Low						
		AM	ft	PM	ft	AM	ft	PM	ft	Rise	Set	Moon
1	Wed	1:12	8.5	1:55	7.3	7:34	0.1	7:33	1.4	5:00	8:17	●
2	Thu	1:49	8.3	2:33	7.2	8:12	0.3	8:11	1.5	4:59	8:18	●
3	Fri	2:27	8.2	3:13	7.1	8:50	0.4	8:51	1.6	4:59	8:18	●
4	Sat	3:07	8.0	3:56	7.0	9:31	0.6	9:35	1.7	4:59	8:19	●
5	Sun	3:51	7.8	4:40	7.0	10:14	0.7	10:22	1.7	4:58	8:20	●
6	Mon	4:38	7.7	5:26	7.1	10:58	0.7	11:13	1.7	4:58	8:21	●
7	Tue	5:28	7.6	6:12	7.3	11:44	0.8			4:58	8:21	●
8	Wed	6:20	7.5	7:00	7.6	12:06	1.5	12:32	0.8	4:57	8:22	●
9	Thu	7:16	7.5	7:49	8.0	1:01	1.2	1:22	0.7	4:57	8:22	●
10	Fri	8:14	7.6	8:39	8.5	1:59	0.8	2:14	0.6	4:57	8:23	●
11	Sat	9:11	7.8	9:29	9.0	2:55	0.3	3:06	0.4	4:57	8:24	●
12	Sun	10:06	8.0	10:19	9.5	3:50	-0.3	3:58	0.2	4:57	8:24	●
13	Mon	11:00	8.2	11:10	9.8	4:42	-0.8	4:49	0.1	4:57	8:25	●
14	Tue	11:55	8.3			5:35	-1.1	5:42	-0.1	4:57	8:25	●
15	Wed	12:03	10.0	12:50	8.4	6:29	-1.3	6:36	-0.1	4:57	8:26	●
16	Thu	12:57	10.1	1:45	8.5	7:23	-1.4	7:32	0.0	4:57	8:26	●
17	Fri	1:53	9.9	2:41	8.4	8:18	-1.2	8:28	0.1	4:57	8:26	●
18	Sat	2:50	9.6	3:39	8.3	9:14	-1.0	9:28	0.3	4:57	8:27	●
19	Sun	3:50	9.2	4:39	8.3	10:12	-0.7	10:32	0.5	4:57	8:27	●
20	Mon	4:52	8.8	5:39	8.3	11:10	-0.3	11:37	0.6	4:57	8:27	●
21	Tue	5:55	8.3	6:37	8.3			12:08	0.1	4:57	8:27	●
22	Wed	6:58	7.9	7:34	8.3	12:42	0.7	1:05	0.4	4:58	8:28	●
23	Thu	8:01	7.6	8:29	8.3	1:46	0.7	2:02	0.7	4:58	8:28	●
24	Fri	9:01	7.4	9:20	8.4	2:48	0.6	2:57	1.0	4:58	8:28	●
25	Sat	9:56	7.3	10:07	8.4	3:43	0.4	3:47	1.1	4:58	8:28	●
26	Sun	10:46	7.3	10:51	8.4	4:32	0.3	4:32	1.2	4:59	8:28	●
27	Mon	11:32	7.3	11:33	8.4	5:16	0.3	5:14	1.3	4:59	8:28	●
28	Tue			12:15	7.3	5:58	0.2	5:54	1.3	5:00	8:28	●
29	Wed	12:13	8.4	12:55	7.3	6:37	0.2	6:33	1.3	5:00	8:28	●
30	Thu	12:51	8.4	1:33	7.2	7:14	0.2	7:10	1.4	5:01	8:28	●

# Portsmouth Tide Chart June 2022



# Garage 8' FFE proposed

- Whereas existing groundwater is reported at 6' (during unknown tidal conditions, Geosight report)
- Whereas [King] High Tides are nearly 6' now
- Whereas FEMA base flood elevation is 8' (revised 2021) and sea levels are expected to rise
- Whereas the Storm Drain directly connects water levels in North Mill Pond to Deer Street (15' from foundation)
  - Said Pipe is substantially full and under pressure during high tide events – DPW preference is no pumping
  - Site proximity to North Mill Pond (~300') would recirculate flow if dewatered regularly
- Applicant has proposed 8' Garage FFE w/ 15' Entry FFE
- Applicant has also proposed First floor @18' FFE to allow for ADA Van height clearance 8'2" in garage



# FEMA Flood Map (8' BFE)



- PIN
- Approximate location based on user input and does not represent an authoritative property location
  - Selected FloodMap Boundary
  - Digital Data Available
  - No Digital Data Available

- SPECIAL FLOOD HAZARD AREAS**
- Without Base Flood Elevation (BFE)  
Zone A, V, A99
  - With BFE or Depth
  - Regulatory Floodway Zone AE, AO, AH, VE, AR
  - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X

- Cross Sections with 1% Annual Chance Water Surface Elevation**
- 20.2
  - 17.5
  - Coastal Transect
  - Base Flood Elevation Line (BFE)
  - Limit of Study
  - Jurisdiction Boundary
  - Coastal Transect Baseline
  - Profile Baseline
- OTHER FEATURES**



**LUHD-481**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 3, 2022**Applicant**

Brendan McNamara  
brenmcnamara@comcast.net  
19 Doe Drive  
Eliot, Maine 03903  
6036821105

**Location**

324 MAPLEWOOD AVE  
Portsmouth, NH 03801

**Owner:**

SEVENKPH LLC  
233 VAUGHAN ST UNIT 301 PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Work Session

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Change the exterior appearance of an existing building as part of use change to Residential Unit

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Owner

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Nicole Abshier

**Business Name (if applicable)**

--

**Mailing Address (Street)**

31 Dennett St.

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

6035667722

**Email Address**

nlabshier@gmail.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



**CONTENTS, HDC WORK SESSION APPLICATION FOR PROPOSED REMODEL OF  
EXISTING GARAGE BUILDING AT #324 MAPLEWOOD AVE., PORTSMOUTH, NH.**

**\*2-Narrative**

**\*3-Existing Conditions, Site Plan.**

**\*4- Photographs, Existing Conditions and from 1980's.**

**\*5-Proposed View**



**PROPOSED REMODEL TO GARAGE AT #324 MAPLEWOOD AVE., PORTSMOUTH,  
NH. 6.6.2022.**

**NARRATIVE**

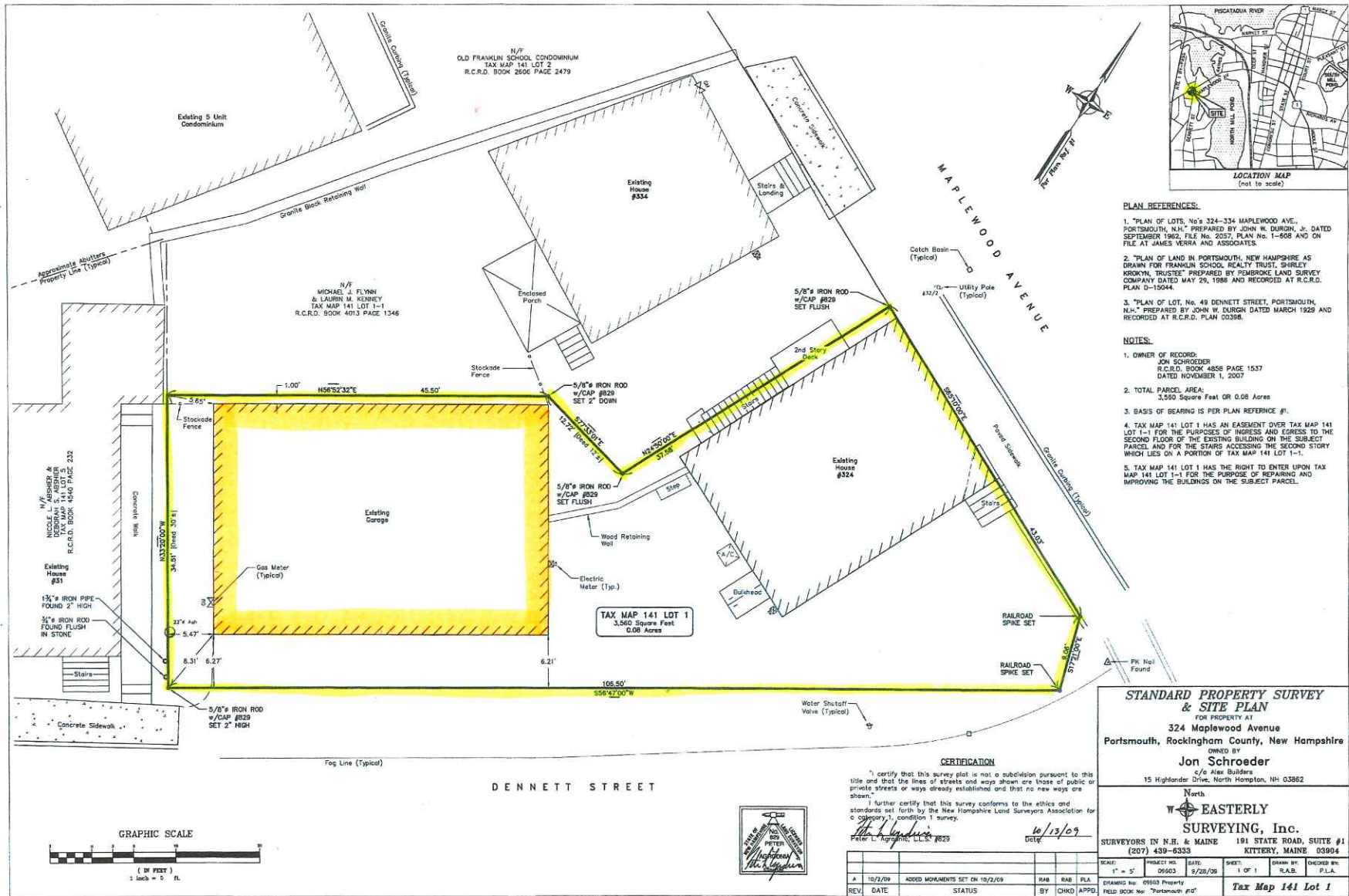
This property has (2) structures on it. A house, used for commercial purposes, and a large Garage. The Tax card information suggests the date of the structures is 1948. This would seem to be correct in regard to the Garage, certainly by its appearance shown in a 1980's photograph. However a house of similar size and orientation occurs on the 1850 map of Portsmouth. There is a building shown on the 1813 map, but it appears different to the existing.

Nicole Abshier, who lives at the neighboring property at 31 Dennett St., has purchased this property to have some control over the effects of development of the Garage to her primary property. However, as an adjoining neighbor she seeks to improve the appearance of the existing structure.

Substantial work has already been done to the structure. New support to the roof, and an exterior stud frame to the original concrete block walls, to carry the existing clapboards.

It is proposed to convert the existing Garage to a One Bedroom Residential Unit, with a one car Garage, altering and enhancing its original utility as a shed roofed, secondary, commercial structure, while embracing the appearance of an inter-war, Carriage (Horseless) House.









EXISTING CONDITIONS VIEW (FROM DENNETT ST.)

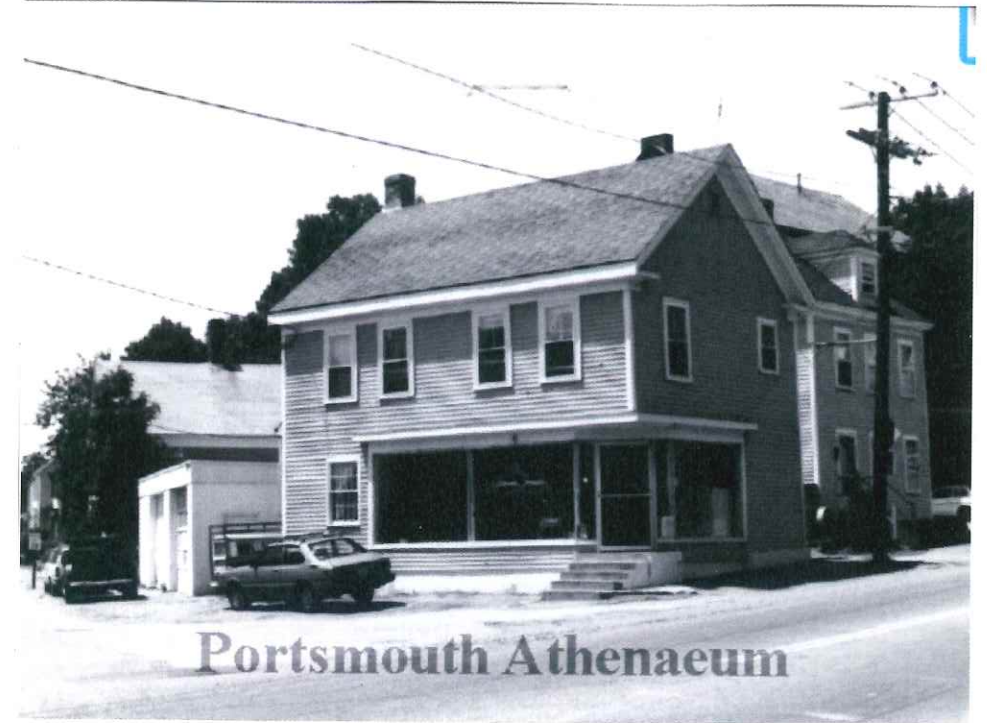


PHOTO FROM 1980'S (FROM  
PORTSMOUTH HISTORICAL SURVEY)





PROPOSED VIEW  
324 MAPLEWOOD AVE



**LUHD-489**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 16, 2022**Applicant**

stephanie febonio  
sfebonio@gmail.com  
57 Lowell Road  
hudson, NH - New Hampshire 03051  
6039218987

**Location**

9 SHEAFE ST  
Portsmouth, NH 03801

**Owner:**

Michael and Stephanie Febonio  
57 lowell Rd hudson, NH - New Hampshire 03051

**Application Type****Please select application type from the drop down menu below**

Work Session

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

replace 12 victorian era windows with high quality, period wood windows

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Owner

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

michael febonio

**Business Name (if applicable)**

--

**Mailing Address (Street)**

57 Lowell Rd

**City/Town**

hudson

**State**

NH

**Zip Code**

03051

**Phone**

603 -930-8987

**Email Address**

mdfebonio@gmail.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property



# Historic District Committee Work Session

---

Topic: Window replacement

Address: 9 Sheafe Street

Owners: Michael & Stephanie Febonio

Date of Submission: 6/17/2022

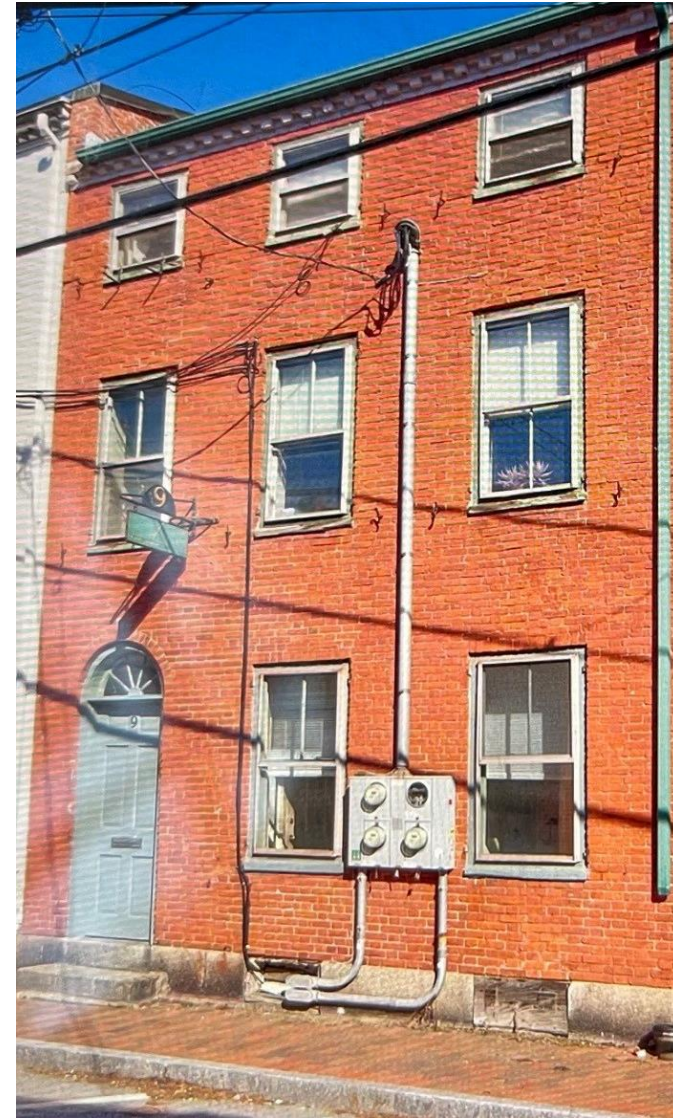




# 9 Sheafe Street

---

- History of building
  - Row House
  - Built in 1817
  - 3 stories
  - 18 Windows





# Current Windows

---

- Victorian Period 1837 - 1901
- Window Characteristics
  - Double hung sash window
  - Two over two design
  - Single vertical glazing bar
  - Wood frame





# Original Windows

---

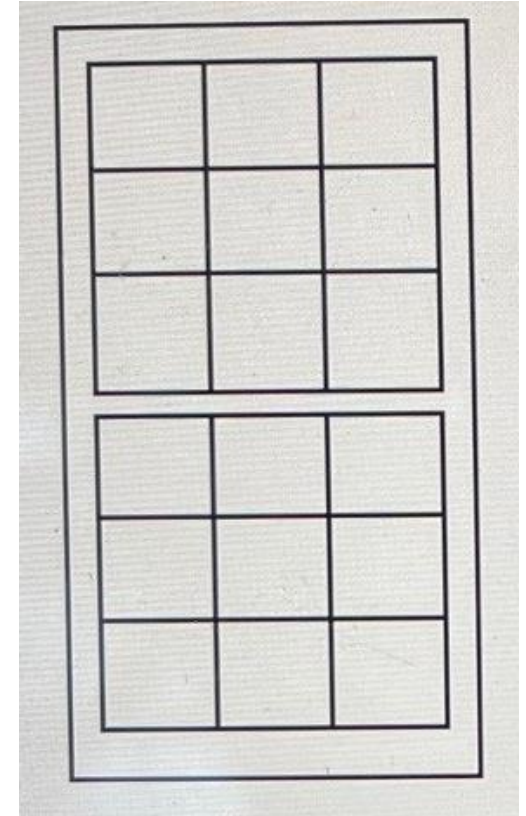
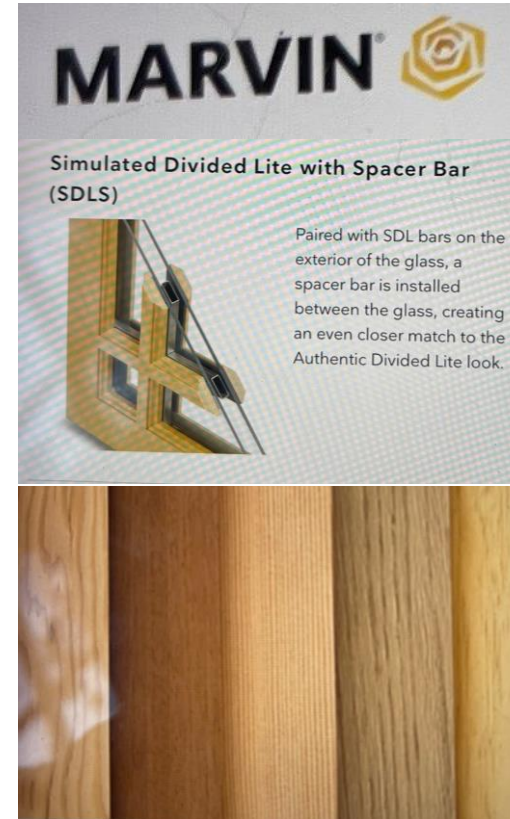
- The Federal Period
- The original windows were
  - Assumed Single hung sash windows (*double hung were an option towards end of period*)
  - Smaller panes- 6 on 6
  - Multiple vertical glazing bars
  - Wood frame
  - All windows same width
  - First and second floor same height
  - Third floor windows shorter height





# Proposed Window Replacement

- Marvin Ultimate Double Hung G2
  - Double Hung Window
  - 6 over 6
  - Simulated Divided Lite
  - Wood frame and Grille
  - All windows same width
  - First & second floor same height
  - Third floor shorter height
  - Windows will be custom built to remain same size as present sizes





# Current Window Summary

---

- Total of 16 Windows
  - Double hung sash windows
  - 8 windows in the front
  - 8 windows in the back
  - All window widths in front are the same
  - 1<sup>st</sup>/2<sup>nd</sup> floor windows in front are the same size
  - 3 windows on front third floor are a shorter height but same width as 1<sup>st</sup> and 2<sup>nd</sup> floor windows





# Third Floor Front Windows

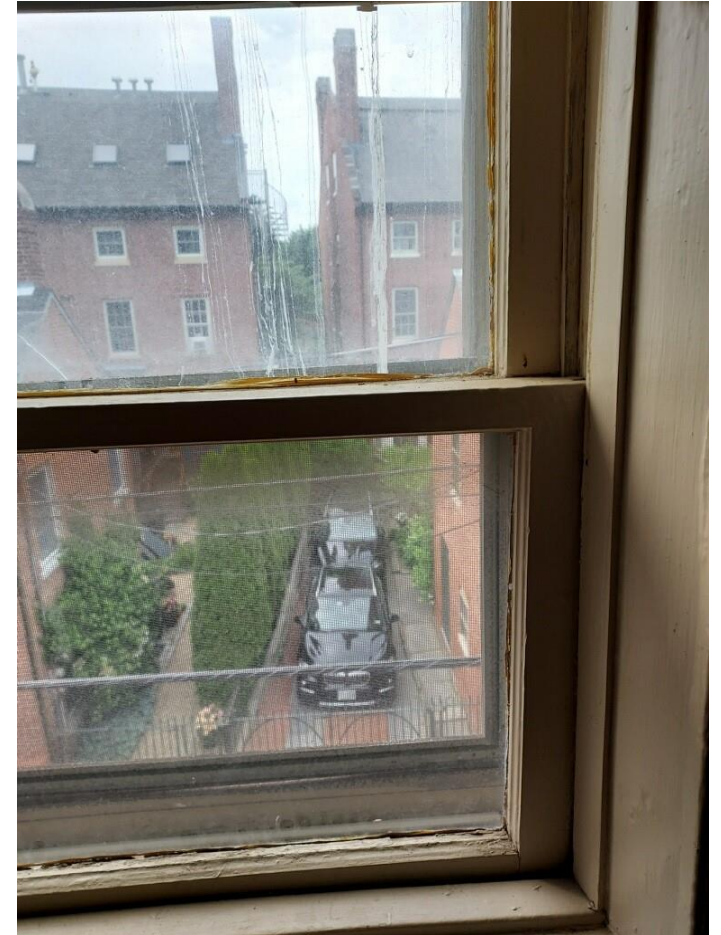
Window 1



Window 2



Window 3





# Third Floor Back Windows

Window 9



Window 10



Window 11



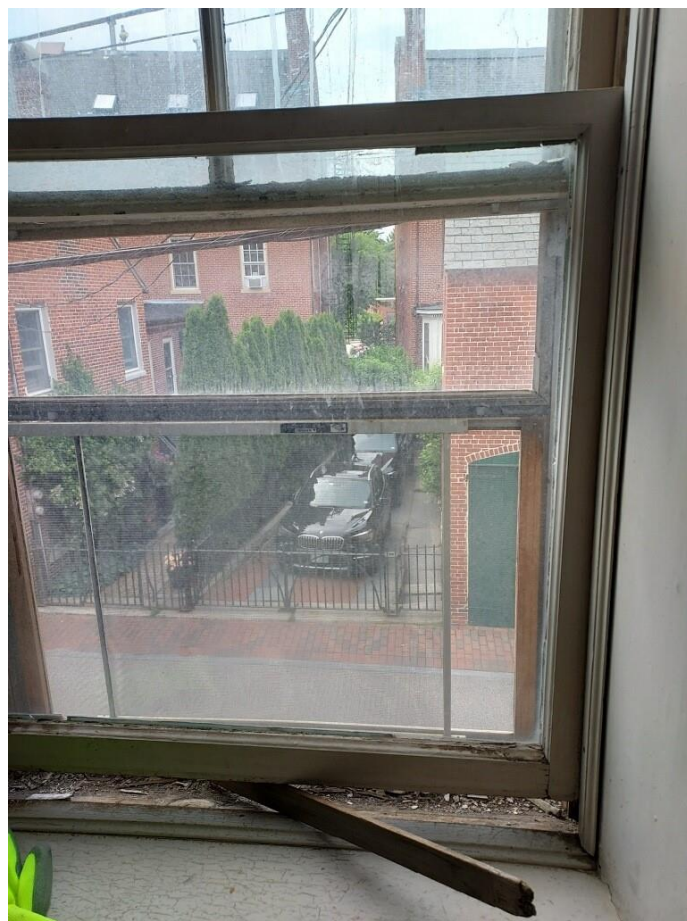


# Second Floor Front Windows

Window 4



Window 5



Window 6





# \*Second Floor Back Windows

Window 12



Window 13



\*Window 14 Not being replaced



# First Floor Front Windows

Window 7



Window 8





# First Floor Back Windows

Window 15



Window 16

