

DRAWING INDEX
A.0.0 - COVER
A.0.1 - CONTEXT MAP
A.0.2 - SITE PHOTOS
A.0.3 - CONTEXT PHOTOS
A.0.4 - CONTEXT - HISTORIC
A.0.5 - SUBDIVISION SITE PLAN
A.1 - SITE PLAN
A.2 - FLOOR PLANS
A.3 - ELEVATIONS - STREET
A.4 - ELEVATIONS - BUILDING
A.5 - 3D VIGNETTES
A.6 - AERIAL VIEWS

Zoning & Code Review

GRB General Residence B
Flood Plain overlay

Portsmouth Zoning
dimensional standards
10.521

	GRB
Minimum Lot Dimensions	
Lot area	5,000 sf
Lot area per dwelling unit	5,000 sf
Continuous street frontage	80'
Depth	60'
Minimum Yard Dimensions	
front	5'
side	10'
rear	25'
Maximum Structure Dimensions	
sloped roof	35'
flat roof	30'
Roof appurtenance height	8'
Building coverage	30%
Minimum open space	25%

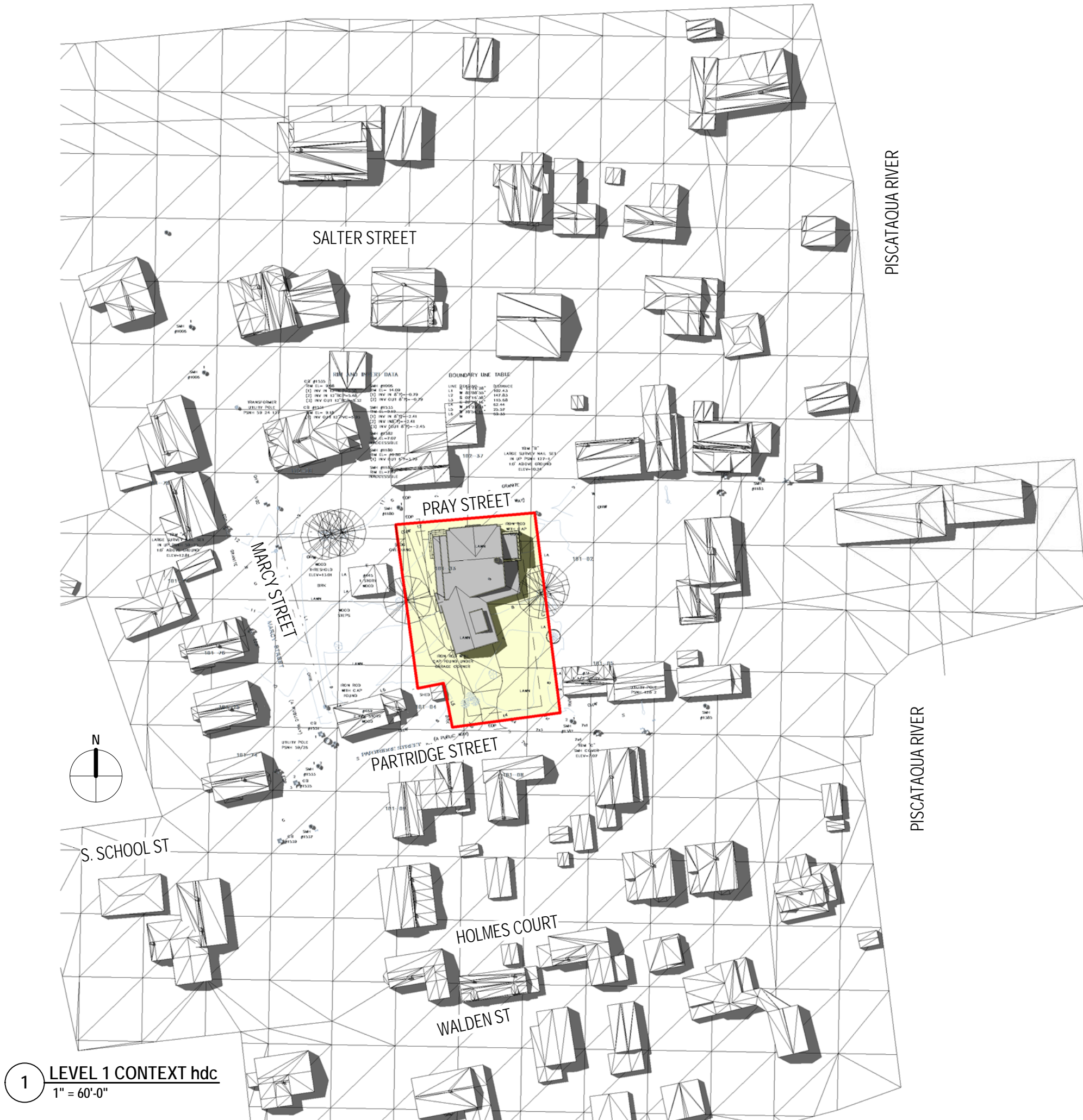
PROJECT NARRATIVE

NEW CONSTRUCTION ON AN EMPTY UNDEVELOPED LOT, LOT SUBDIVISION IS BEING PURSUED CONCURRENT TO HDC REVIEW PROCESS. BUILDING USE IS SINGLE FAMILY RESIDENTIAL. BUILDING IS IN FLOOD ZONE AE AND EXTENDED FLOOD ZONE. CURRENT ZONING AND BUILDING CODES REQUIRE THE BUILDING TO BE ELEVATED ABOVE FLOOD PLAIN AND TO HAVE A FLOW-THROUGH OR BREAK-AWAY FOUNDATION (NO BASEMENT). BUILDING WILL BE DESIGNED TO HIGH ENERGY STANDARDS, IN PURSUIT OF PASSIVE HOUSE AND/OR NET ZERO READY CERTIFICATION.



445 MARCY STREET NEW RESIDENCE

HISTORIC DISTRICT COMMISSION WORK SESSION 1





1 FROM MARCY ST



3 FROM MARCY ST @ PRAY



2 FROM MARCY ST @ PARTRIDGE LOOKING NORTHEAST



4 FROM BACK OF CANDY SHOP LOOKING EAST



5 FROM PARTRIDGE LOOKING SOUTHEAST



6 FROM PARTRIDGE LOOKING SOUTH



7 FROM PARTRIDGE LOOKING NORTH



8 FROM PARTRIDGE LOOKING NORTHWEST



1 MARCY @ SALTER



2 MARCY @ PRAY



3 MARCY @ PRAY



4 PRAY, NORTH



5 PRAY, NORTH



6 PARTRIDGE, SOUTH



7 PRAY @ RIVER



8 PARTRIDGE, LOOKING WEST



9 PRIVATE WAY, ACROSS FROM LOBSTER POUND



10 MARCY ST



11 MARCY @ HUMPHREY'S COURT



12 MARCY, WEST



13 MARCY, WEST

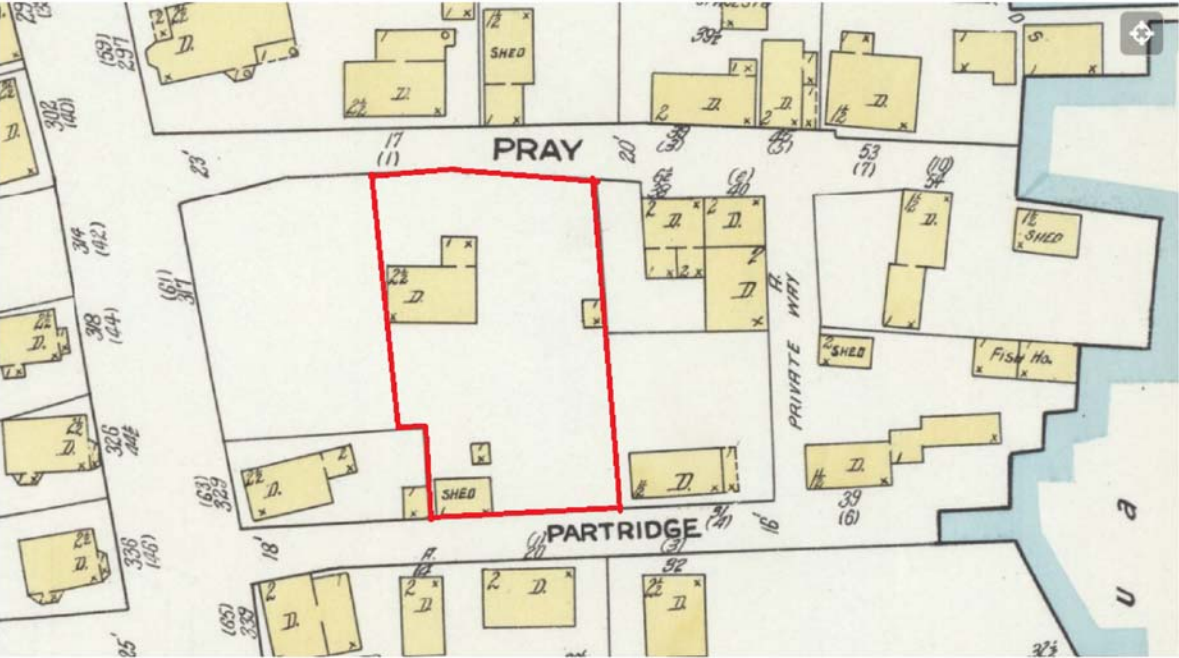
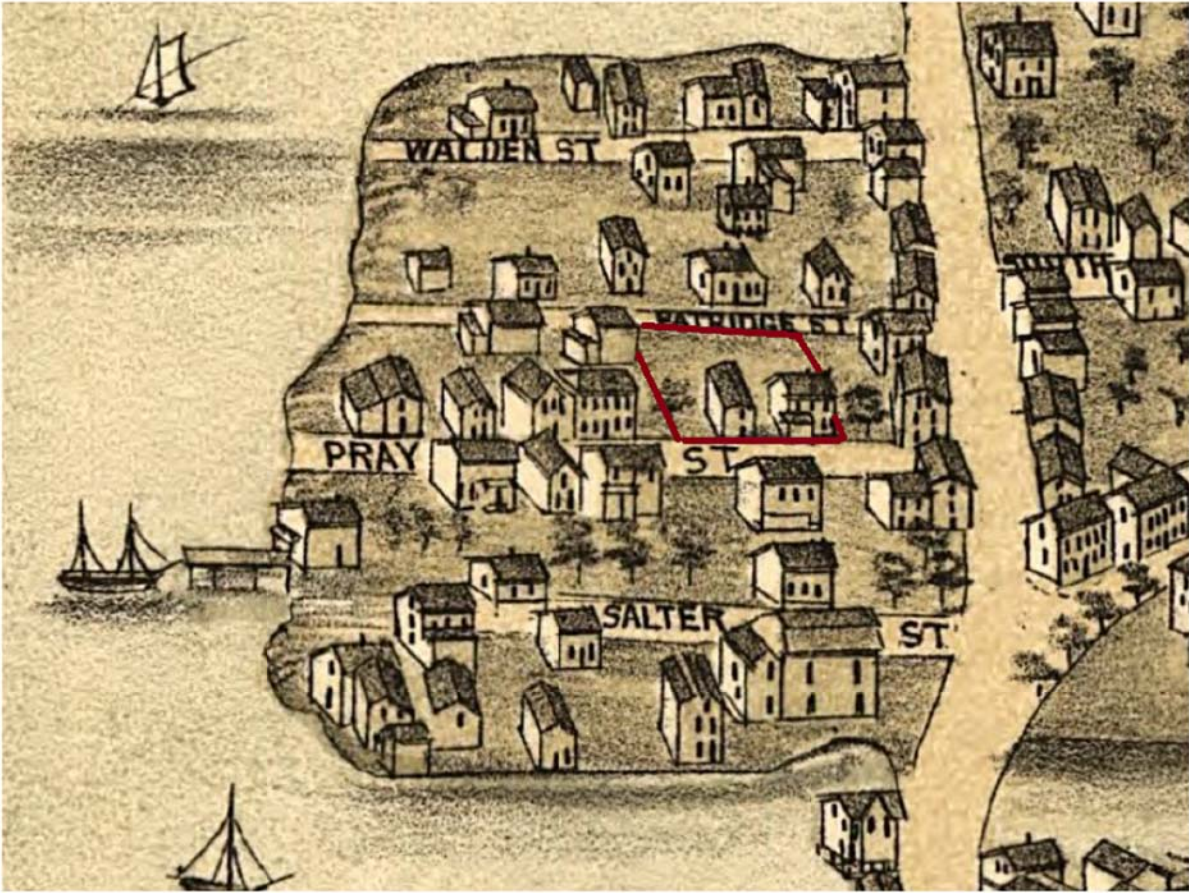
A.0.3

CONTEXT PHOTOS 445 MARCY ST

SCALE:
1/14/2022

Bird's eye view of Portsmouth, Rock 1877.

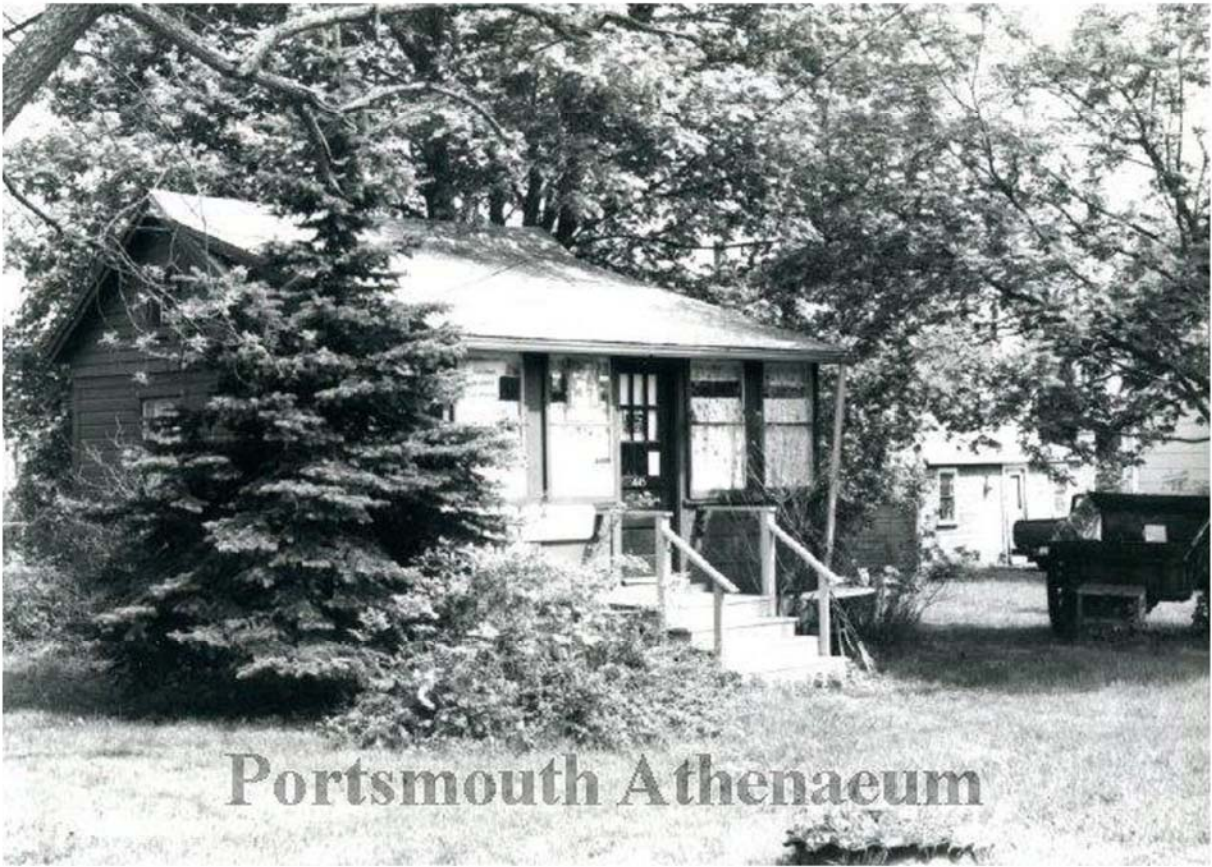
[« About this Item](#)



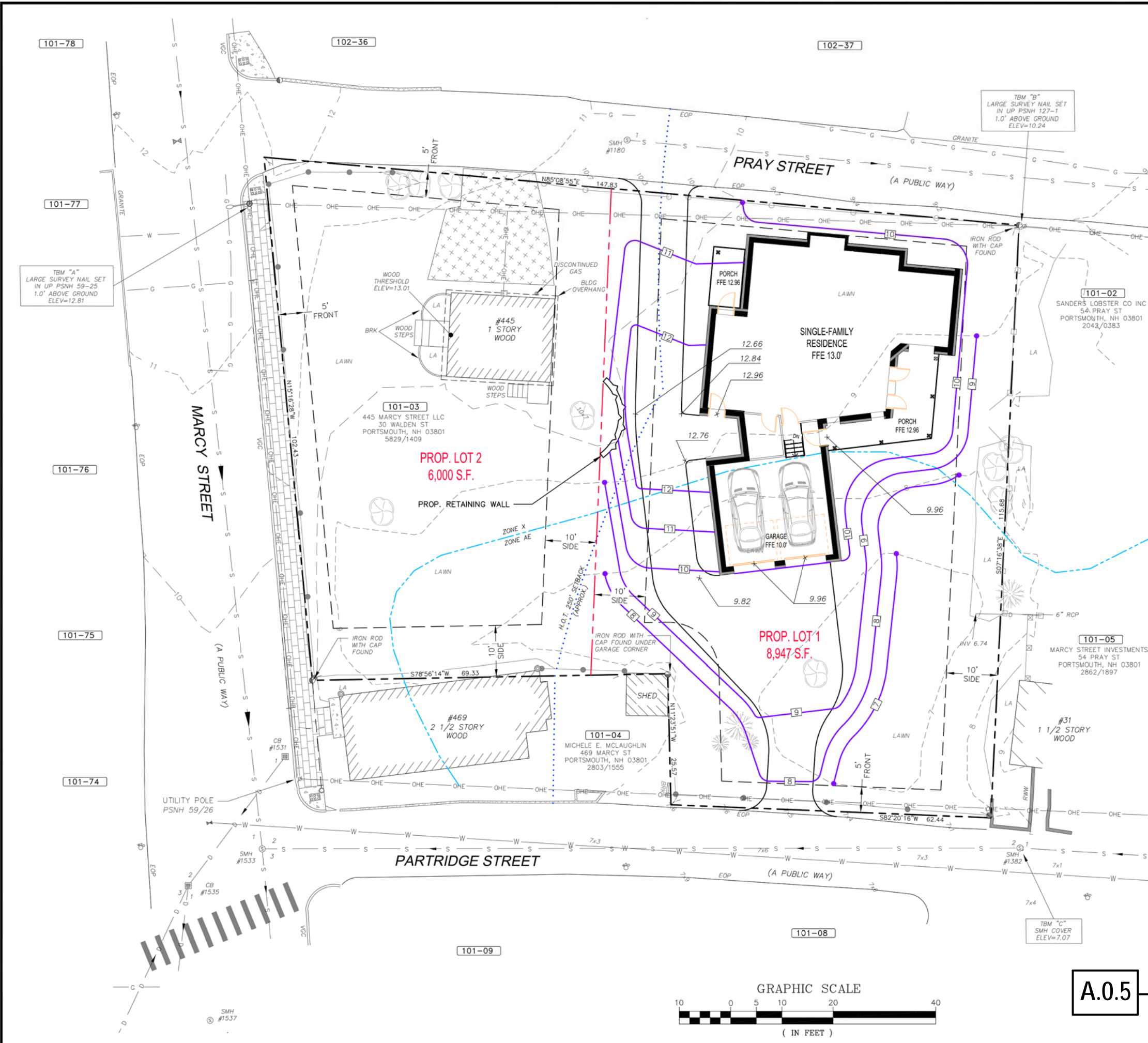
SANBORN MAP - 1910



PARTRIDGE STREET, 1944



CANDY SHOP, 1982



SITE NOTES

- DESIGN INTENT - THIS PLAN IS INTENDED TO DEPICT A SUBDIVISION AND SITE PLAN FOR PROPOSED NEW SINGLE-FAMILY RESIDENCE.
- APPROXIMATE LOT AREA: 14,947 S.F.± (0.34 AC.±)
- ZONE: GENERAL RESIDENCE B (GRB)
- DIMENSIONAL REQUIREMENTS:

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	5,000 SF	14,947 SF	-- SF
MIN. STREET FRONTAGE:	80'	102.43'	--'
MIN. LOT DEPTH:	60'	134.20'	--'
FRONT SETBACK:	5'	23.0'±	--'
SIDE SETBACK:	10'	89.8'±	--'
REAR SETBACK:	25'	N/A	N/A
MAX. BLDG. HEIGHT:	35' (SLOPE)	--'	--'
MAX. BLDG. COVERAGE:	30%	--%	--%
MIN. OPEN SPACE:	25%	--%	--%
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- THE EXISTING SITE CONDITION DETAILS SHOWN ARE THE RESULTS OF AN ON THE GROUND INSTRUMENT FIELD SURVEY PERFORMED BY JAMES VERRA & ASSOCIATES, INC. OCTOBER 2021. THE CLOSED TRAVERSE ROUGH CLOSURE PRECISION WAS 1/15,000.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 2010.0000, US SURVEY FOOT. VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ROBE"
- A PORTION OF THE PARCEL SHOWN HEREON LIES WITHIN ZONE AE (ELEVATION 8) & ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS IDENTIFIED ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, MAP NUMBER 33015C0259F, EFFECTIVE DATE 1/29/2021 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- APPROXIMATE 250' SETBACK TO THE HIGHEST OBSERVABLE TIDE LINE PER THE CITY OF PORTSMOUTH TAX MAPS.

PLAN REFERENCE

- "EXISTING CONDITIONS PLAN, 445 MARCY STREET, PORTSMOUTH, NEW HAMPSHIRE", REVISED DATED OCTOBER 6, 2021, PREPARED BY JAMES VERRA & ASSOCIATES, INC.



LOCUS
(N.T.S.)

NOT FOR CONSTRUCTION

ISSUED FOR: REVIEW

ISSUE DATE: DECEMBER 1, 2021

REVISIONS	NO.	DESCRIPTION	BY	DATE
0	XXXX		XXX	XX/XX/XX

DRAWN BY: RMB

APPROVED BY: EDW

DRAWING FILE: 5217SUB.DWG

SCALE:
(22"x34") 1" = 10'
(11"x17") 1" = 20'

APPLICANT:
445 MARCY STREET, LLC.
30 WALDEN STREET
PORTSMOUTH, NH 03801

OWNER:
445 MARCY STREET, LLC.
30 WALDEN STREET
PORTSMOUTH, NH 03801

PROJECT:
445 MARCY STREET
RESIDENCE
TAX MAP 101,
LOT 03

445 MARCY STREET
PORTSMOUTH, NH

TITLE:

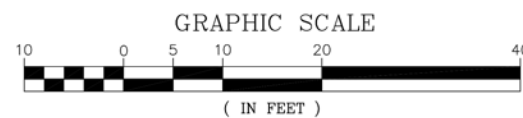
SUBDIVISION AND
SITE PLAN

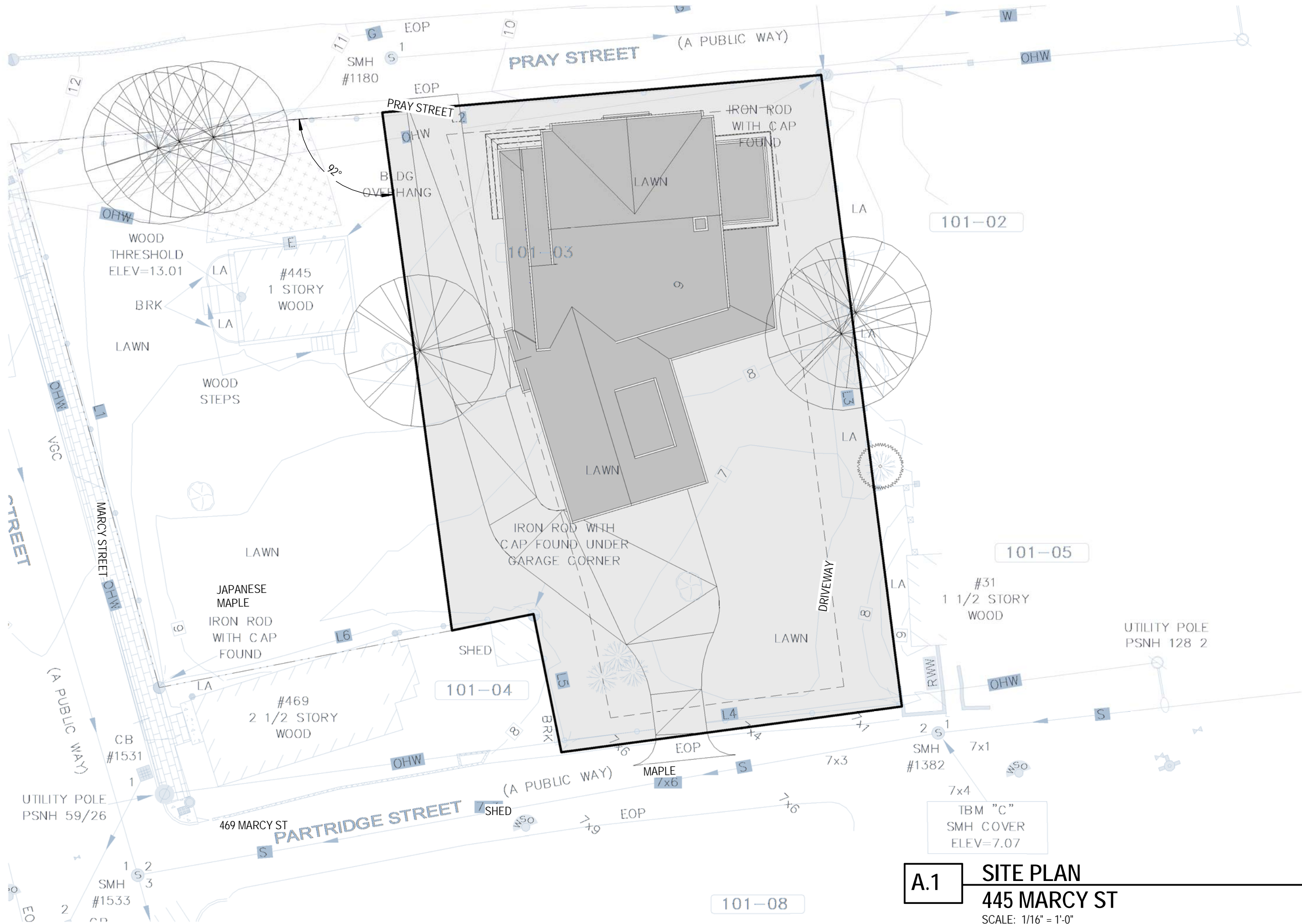
SHEET NUMBER:

A.0.5

SUBDIVISION SITE PLAN 445 MARCY ST

SCALE:
1/14/2022



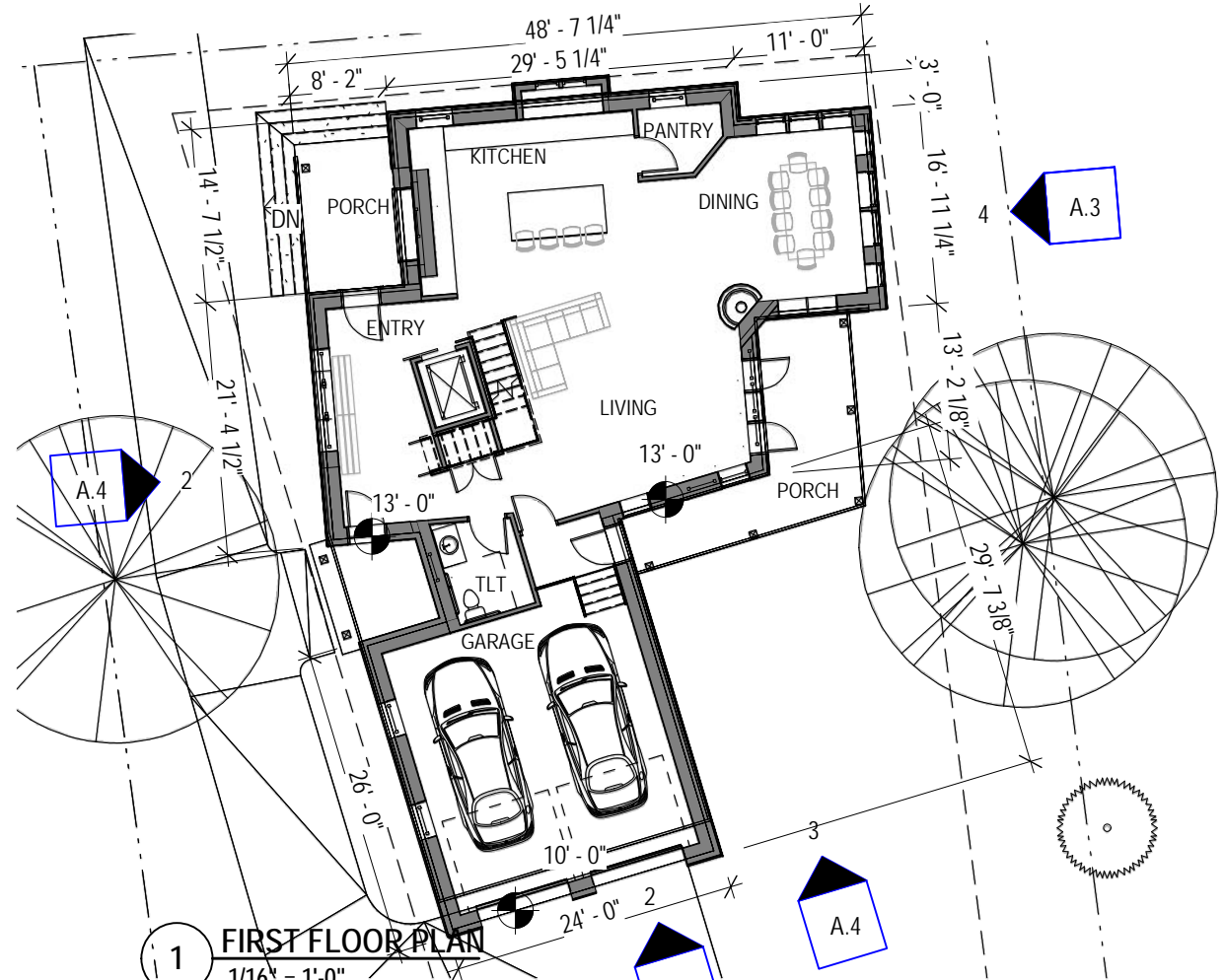


A.1

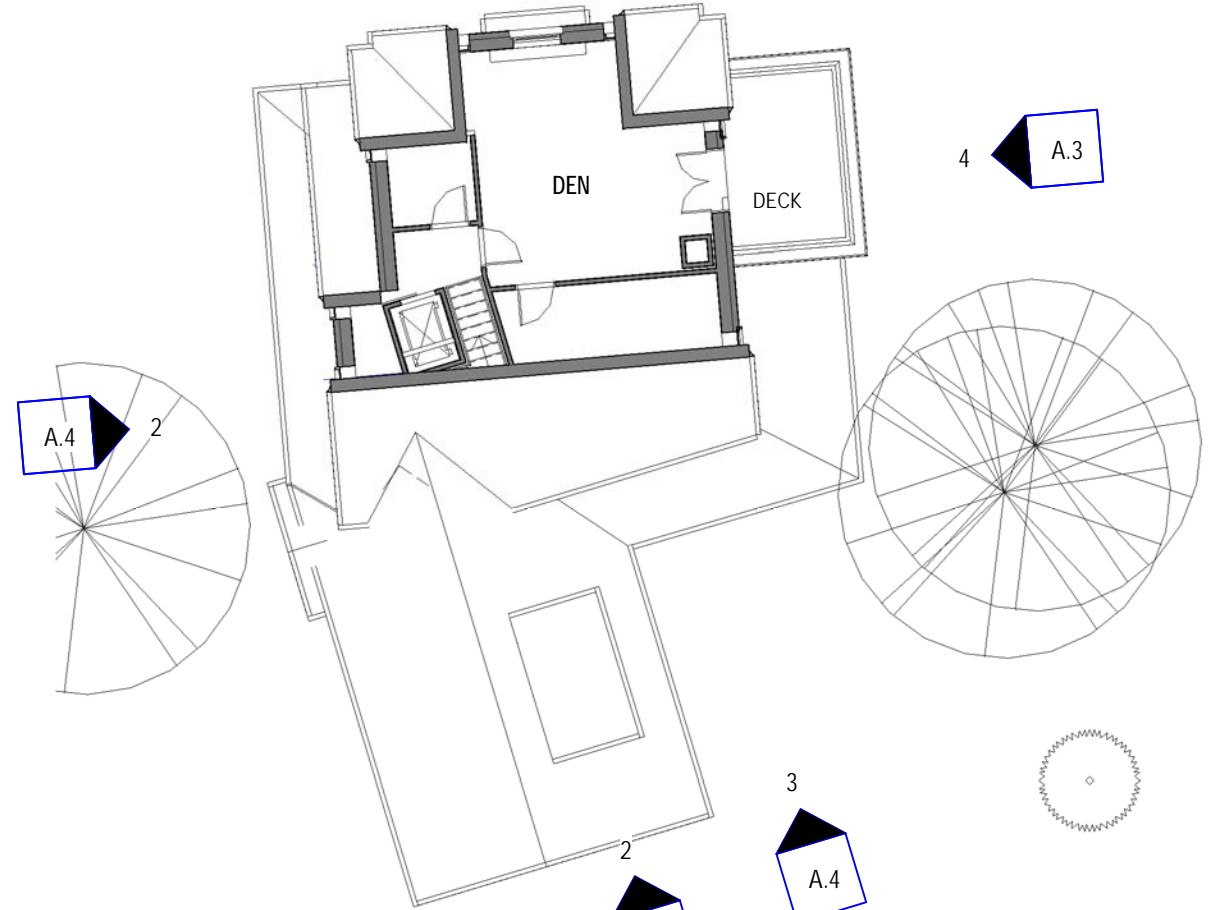
SITE PLAN
445 MARCY ST

SCALE: 1/16" = 1'-0"
1/14/2022

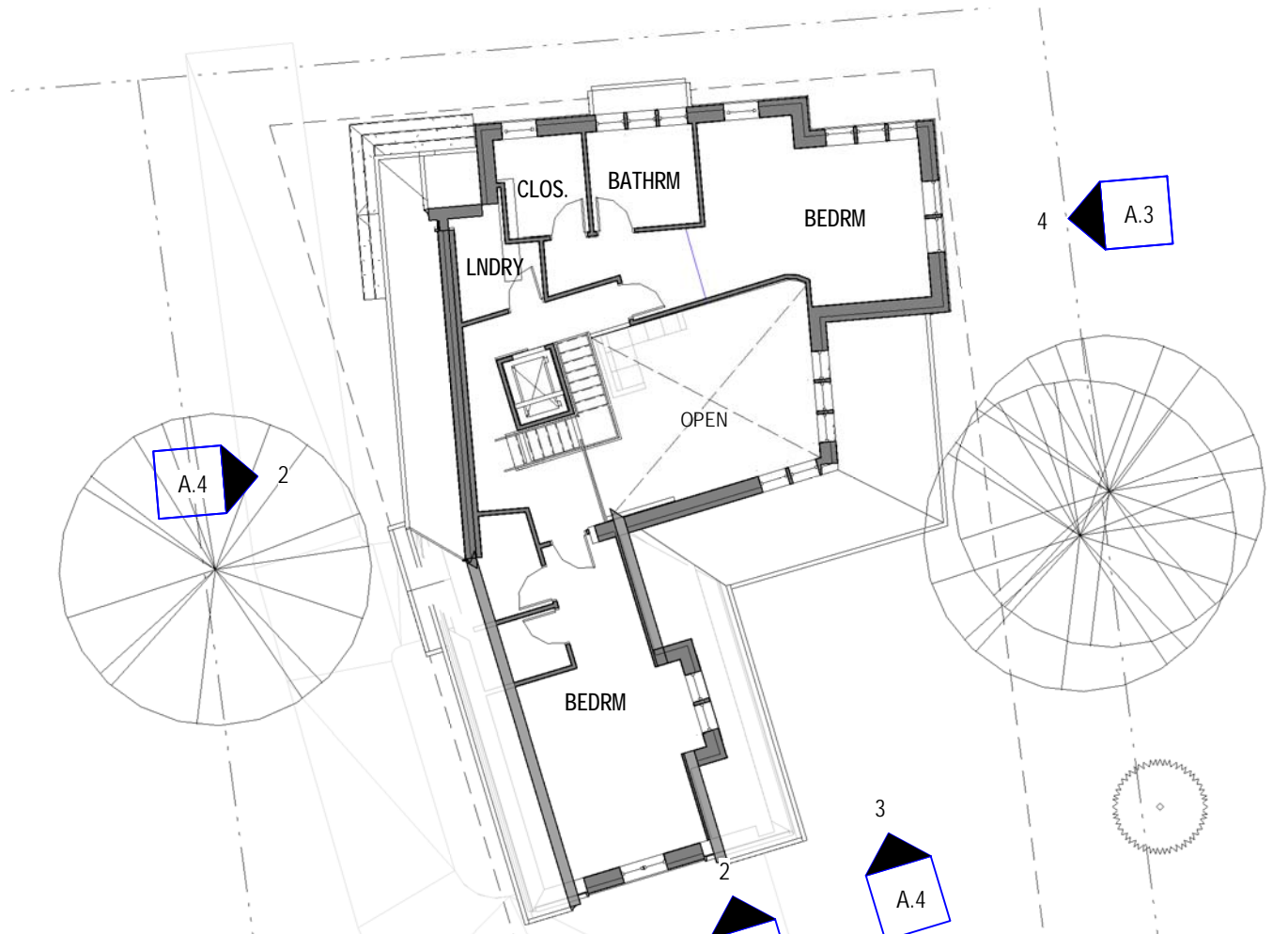




1 **FIRST FLOOR PLAN**
1/16" = 1'-0"



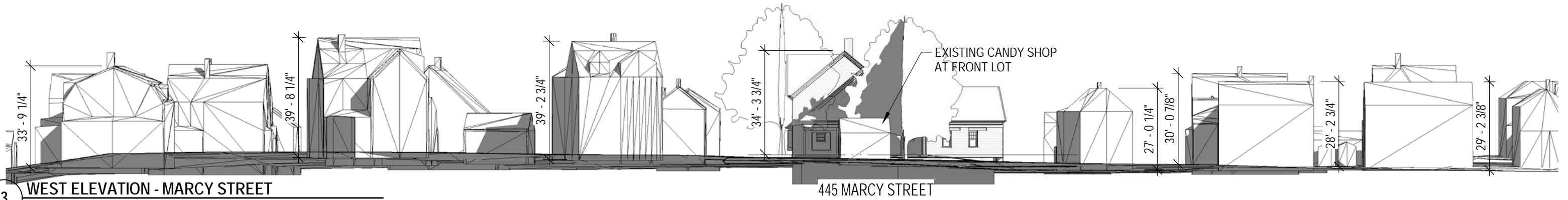
3 **ATTIC PLAN**
1/16" = 1'-0"



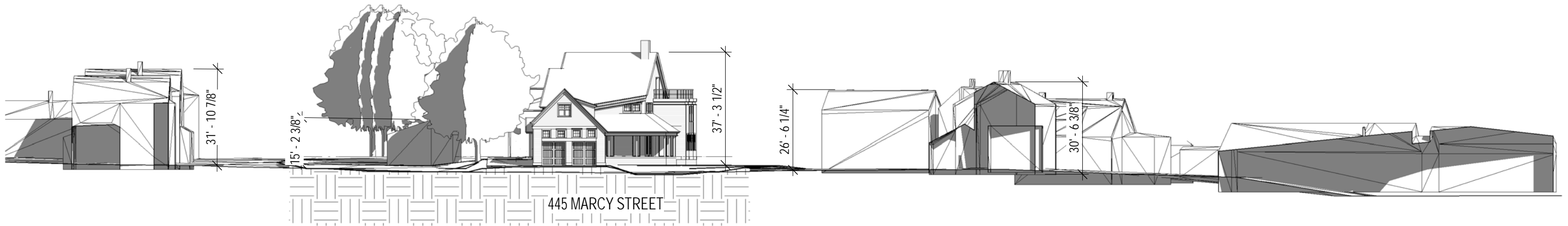
2 **SECOND FLOOR PLAN**
1/16" = 1'-0"



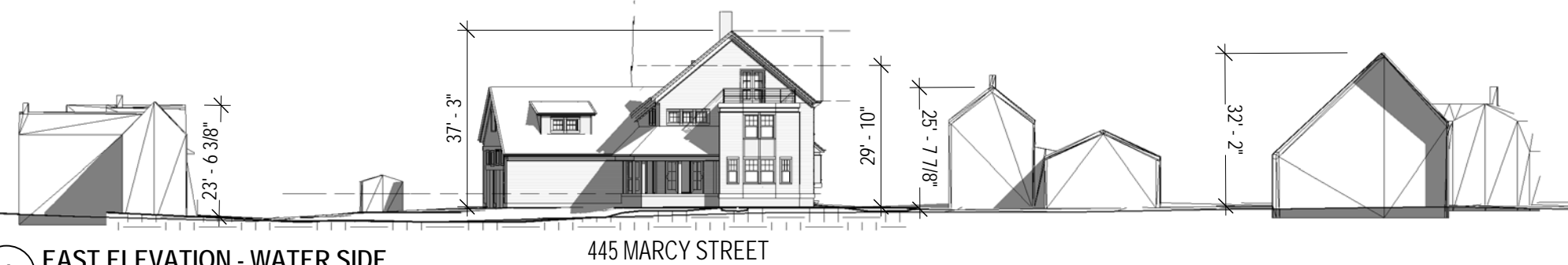
1 NORTH ELEVATION - PRAY STREET
1/32" = 1'-0"



3 WEST ELEVATION - MARCY STREET
1/32" = 1'-0"



2 SOUTH ELEVATION - PARTRIDGE STREET
1/32" = 1'-0"



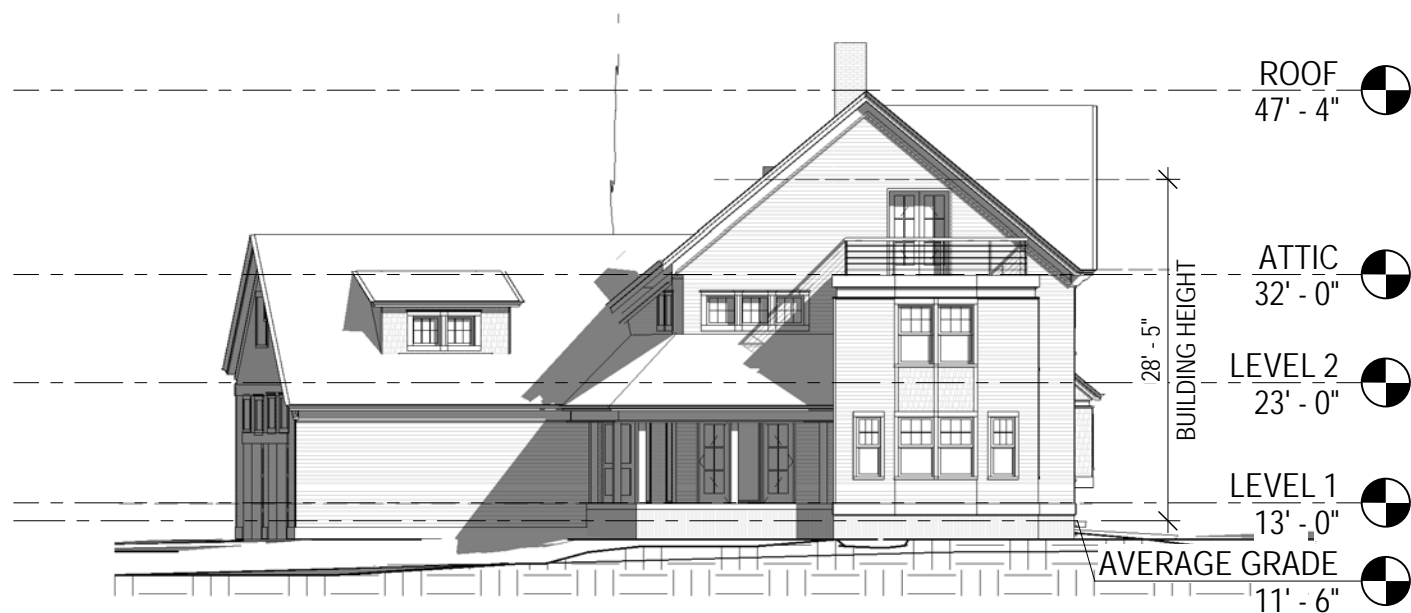
4 EAST ELEVATION - WATER SIDE
1/32" = 1'-0"



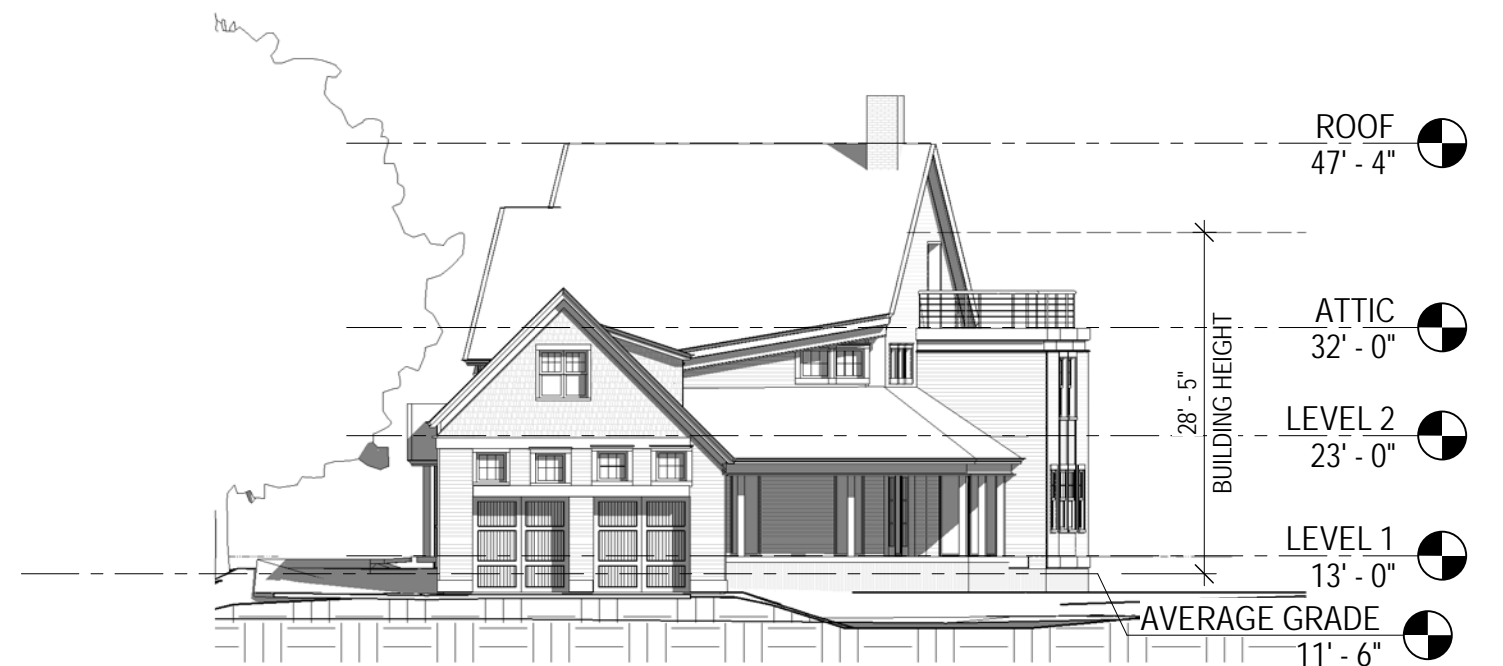
1 NORTH ELEVATION - PRIMARY FRONT, PRAY STREET
1/16" = 1'-0"



2 WEST ELEVATION - SIDE, MARCY STREET
1/16" = 1'-0"



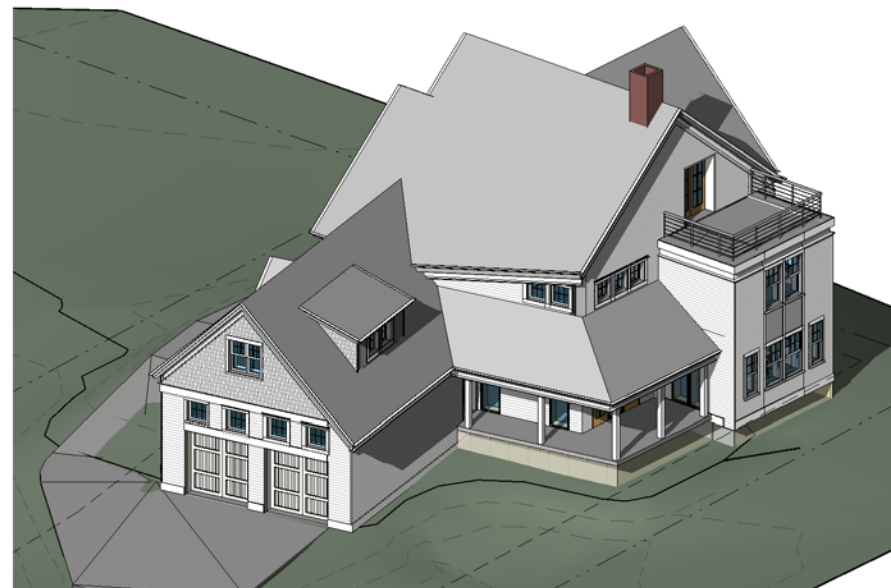
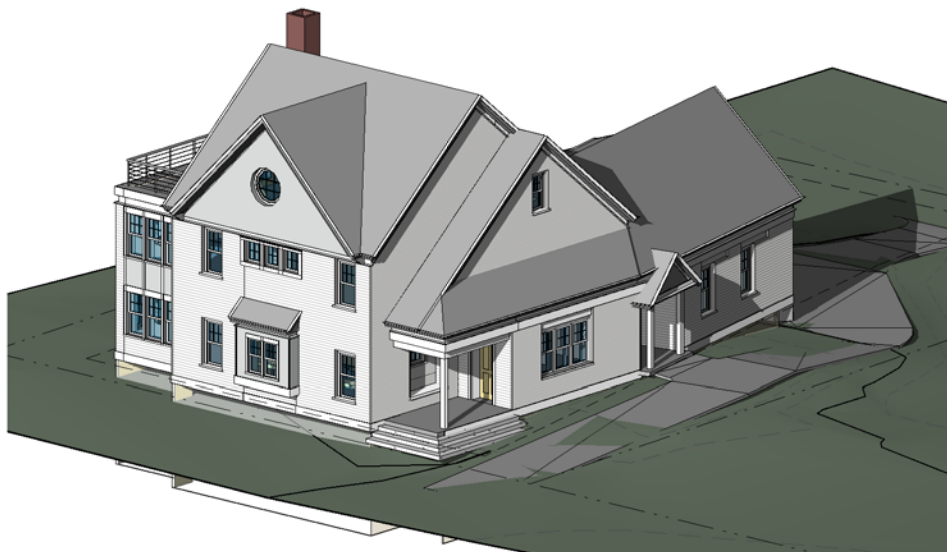
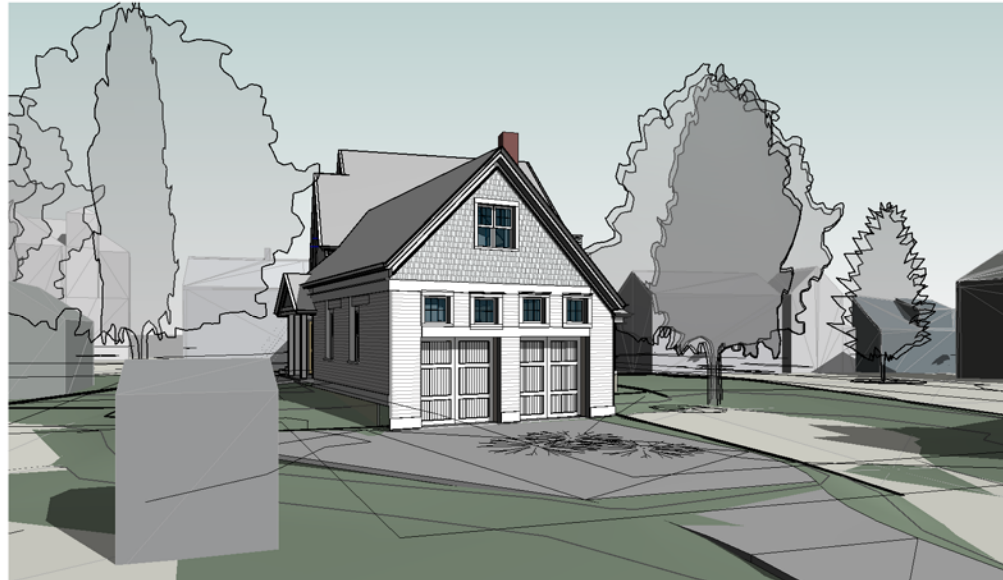
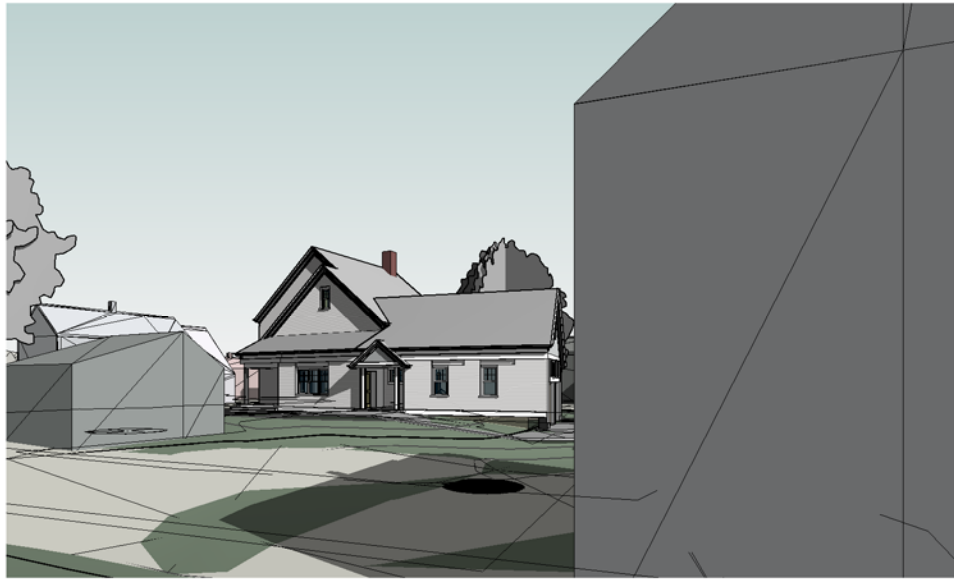
4 EAST ELEVATION - SIDE, WATERFRONT
1/16" = 1'-0"



3 SOUTH ELEVATION - SECONDARY FRONT, PARTRIDGE STREET
1/16" = 1'-0"

A.4 ELEVATIONS - BUILDING 445 MARCY ST

SCALE: 1/16" = 1'-0"
1/14/2022

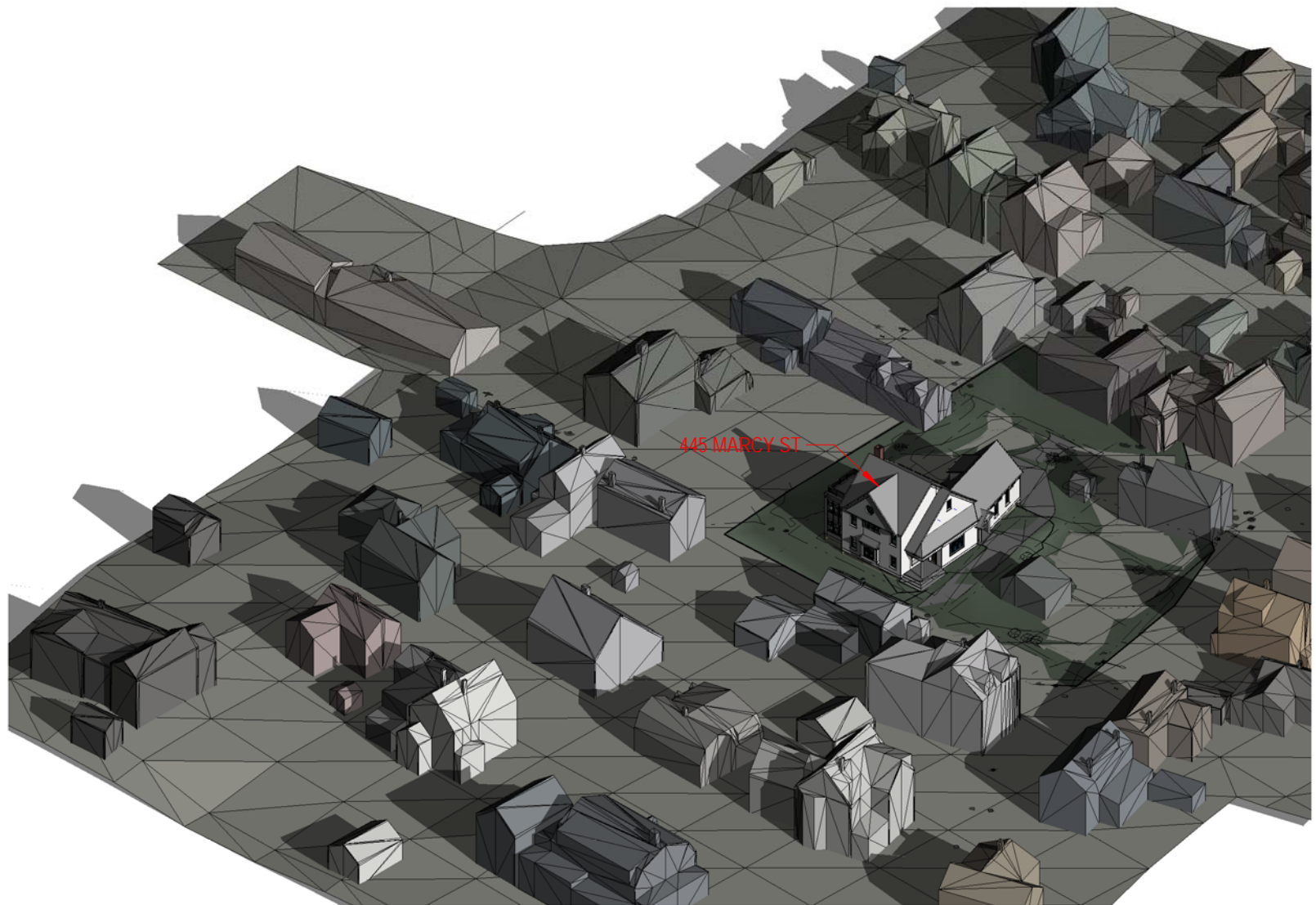


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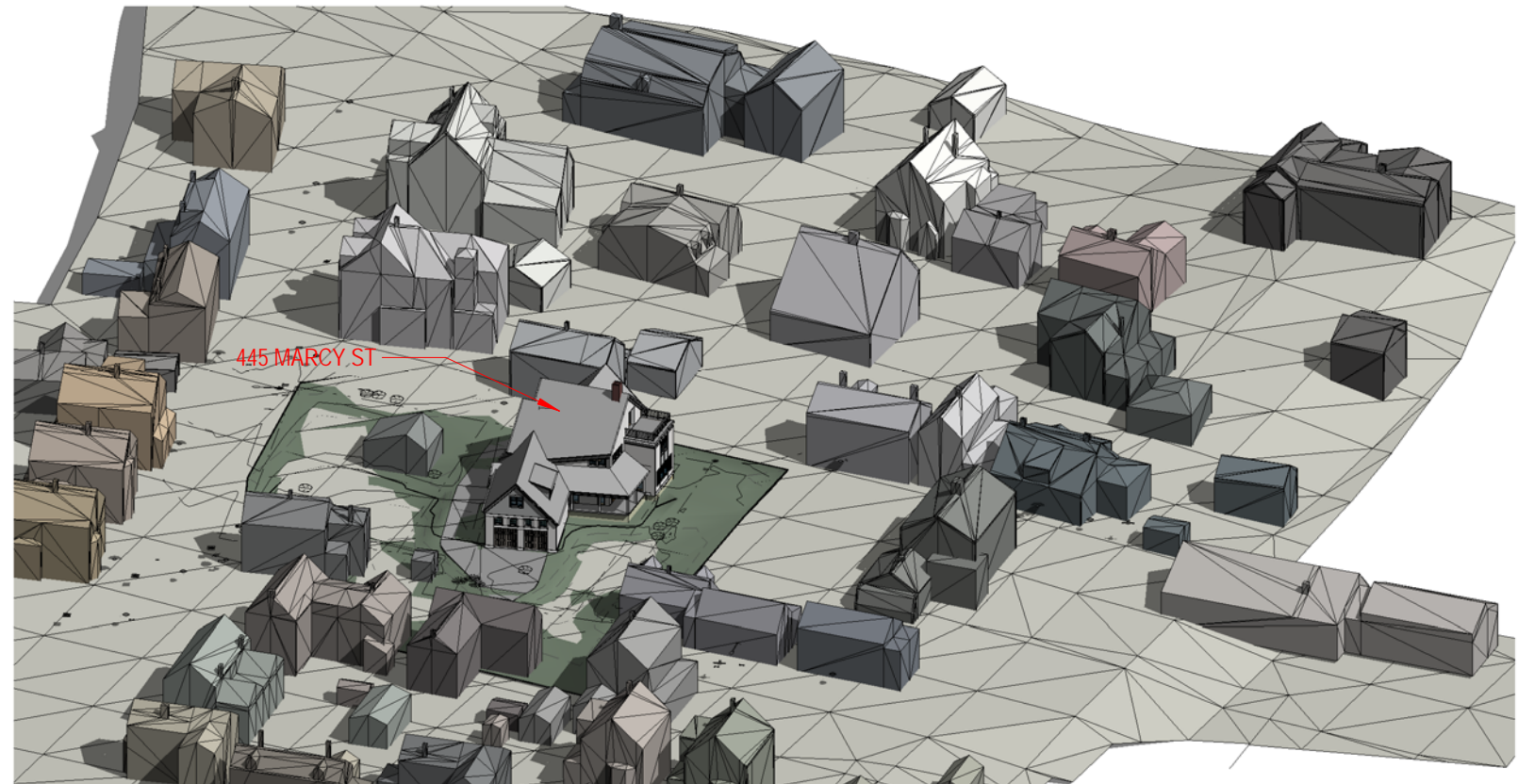
3D VIGNETTES 445 MARCY ST

SCALE:
1/14/2022

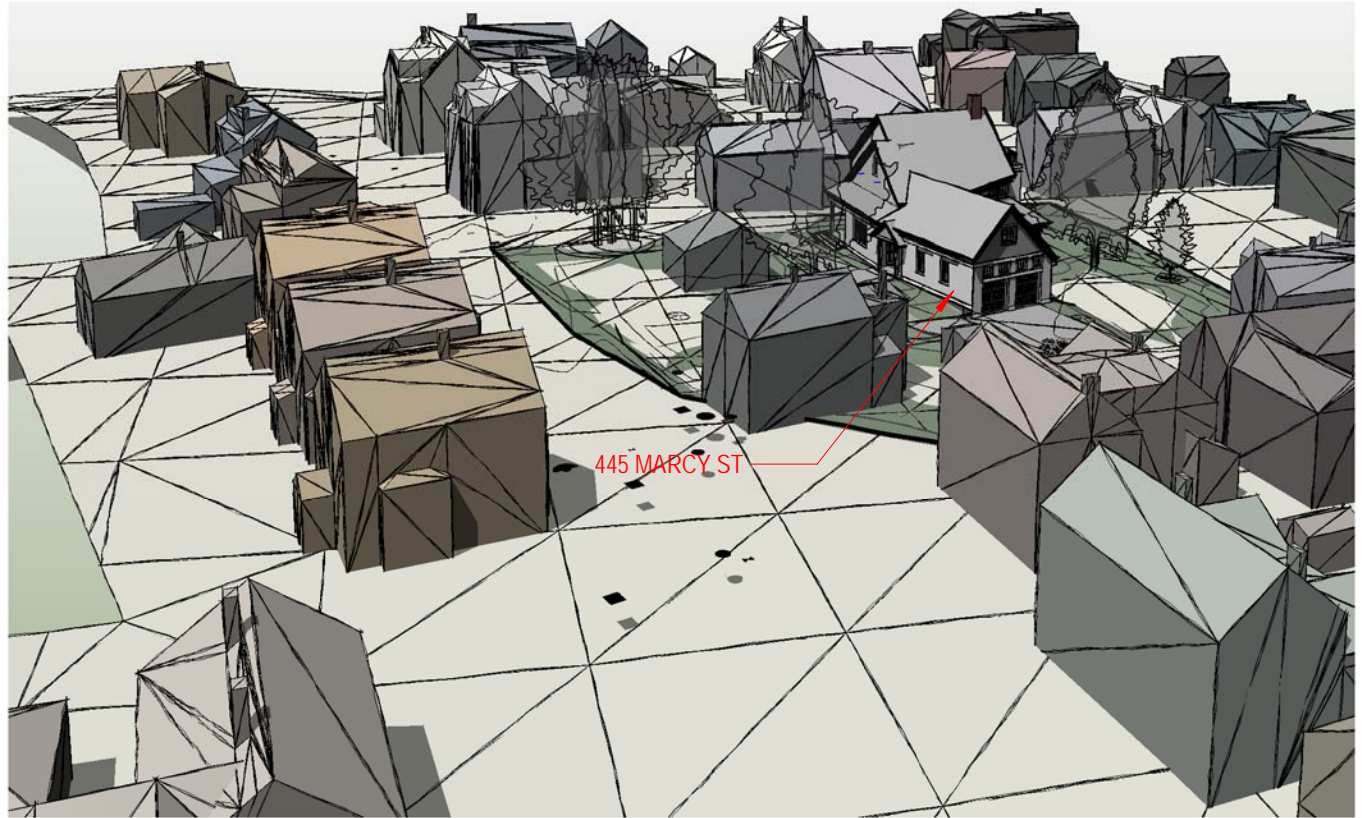




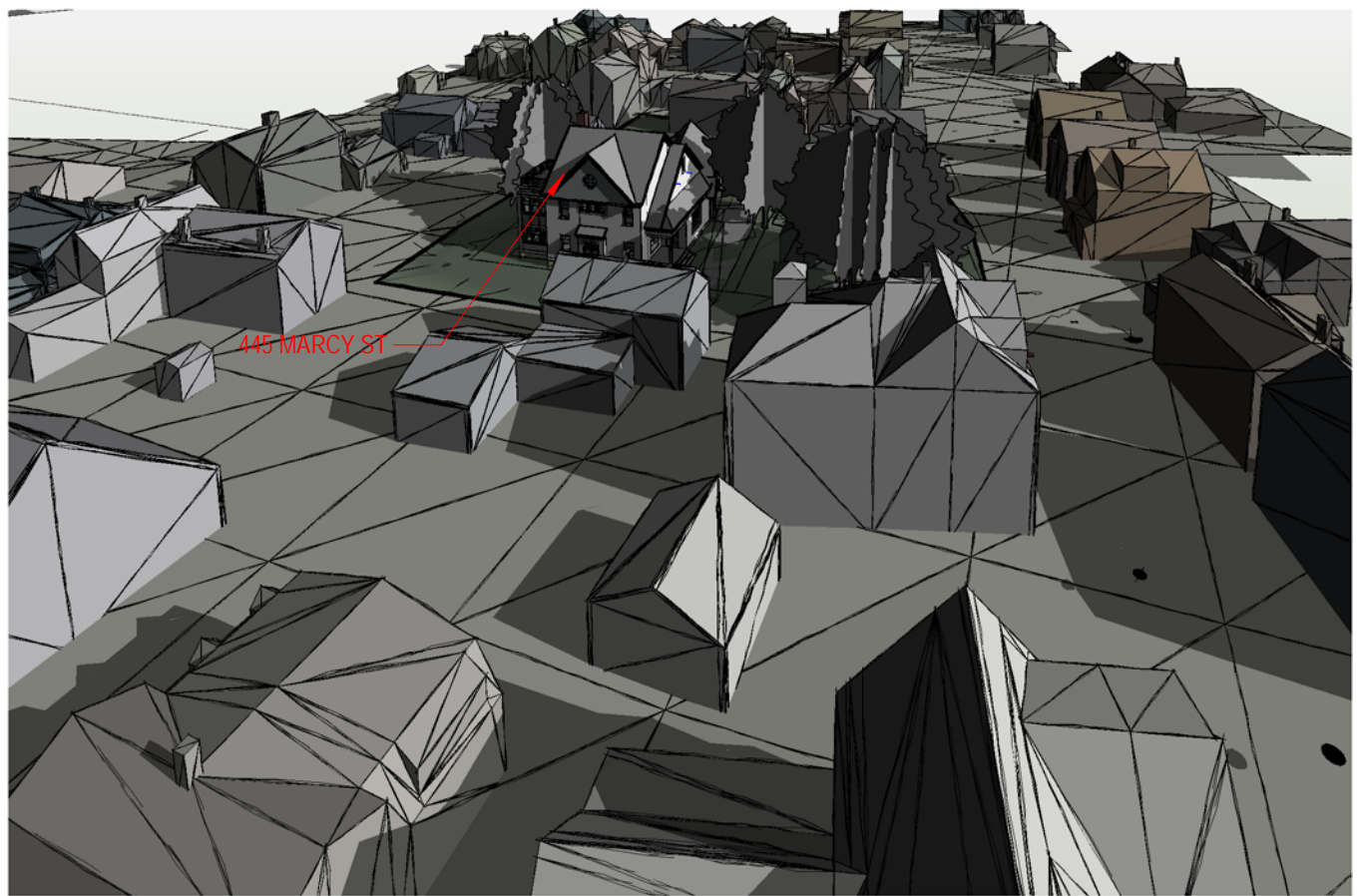
2 SITE AXON SE



1 SITE AXON NW



4 BIRDSEYE PERSPECTIVE FROM SE



3 BIRDSEYE PERSPECTIVE FROM NW

A.6

AERIAL VIEWS 445 MARCY ST

SCALE:
1/14/2022

