MEETING OF THE HISTORIC DISTRICT COMMISSION

1 JUNKINS AVENUE PORTSMOUTH, NEW HAMPSHIRE EILEEN DONDERO FOLEY COUNCIL CHAMBERS

Members of the public also have the option to join the meeting over Zoom (See below for more details)*

6:30 p.m. April 13, 2022

AGENDA (revised on April 08, 2022)

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

I. ADMINISTRATIVE APPROVALS

- 1. 687 Middle Street (LUHD453)
- 2. 123 Congress Street (LUHD-454)
- 3. 333 State Street (LUHD-455)
- 4. 130 Gates Street (LUHD-457)
- 5. 99 Bow Street (IUHD-458)

II. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Market Wharf Condominium Association, owner,** for property located at **33 Deer Street,** wherein permission is requested to allow renovations to an existing property (extend 3rd floor decks, replace balcony railings, lighting and other miscellaneous improvements) as per plan on file in the Planning Department. Said property is shown on Assessor Map 119 as Lot 1B and lies within Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-22-64)

III. WORK SESSIONS (OLD BUSINESS)

- A. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners,** for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue,** wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-234)
- B. **REQUEST TO POSTPONE-** Work Session requested by **Port Harbor Land, LLC, owner,** for property located at **2 Russell Street and 0 Deer Street (2 lots),** wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use

building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LUHD-366)

- C. Work Session requested by **One Market Square, LLC,** owner for property located at **1 Congress Street & 0 High Street,** wherein permission is requested to allow renovations to an existing structure (repair and upgrade building facades along Congress and High Streets) and new construction to an existing structure (replace rear shed additions with new 4-5 story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 14 & 15 and lies within the Character District 4 (CD4), Character District 5 (CD5), Downtown Overlay and Historic Districts. (LUHD-425)
- D. **REQUEST TO POSTPONE-** Work Session requested by **445 Marcy Street, LLC,** owner for property located at **445 Marcy Street,** wherein permission is requested to allow the construction of a new single family residence with attached garage as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 3 and lies within the General Residence B (GRB) and Historic Districts. (LUHD-424)
- E. Work Session requested by **129 State Street, LLC, owner,** for property located at **129 State Street,** wherein permission is requested to allow renovations and new construction to an existing structure (removal of shutters, addition of dormers, and roof and siding changes) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-414)
- F. **REQUEST TO POSTPONE-** Work Session requested by Working Stiff Properties, LLC, owner for property located at 92 Pleasant Street, wherein permission is requested to allow renovations to an existing structure (replace windows and storm windows, construct an iron balcony and replace two windows with balcony doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 76 and lies within the Character District 4 (CD4), Downtown Overlay and Historic Districts. (LUHD-422)

IV. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **ELG**, **LLC**, **owner**, for property located at **85 Daniel Street**, wherein permission is requested to allow new construction to an existing structure (remove and replace rear addition and remove and replace roof with new dormers) and renovations to an existing structure (replace windows, siding, trim, and front stoop) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 8 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-445)

V. ADJOURMENT

*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:

https://us06web.zoom.us/webinar/register/WN OOuIaiwkQcOLLYTYyct6yQ

HDC

ADMINISTRATIVE APPROVALS

April 13, 2022

1.	687 Middle Street (LUHD-453)	-Recommended Approval
2.	123 Congress Street (LUHD-454)	-Recommended Approval
3.	333 State Street (LUHD-455)	-Recommended Approval
4.	130 Gates Street (LUHD-457)	-Recommended Approval
5	99 Row Street (LIJHD-458)	-Recommended Approval

1. 687 Middle Street - Recommended Approval

Background: The applicant is seeking approval for the installation of an HVAC condens	sei
Staff Comment: Recommended Approval	
Stipulations:	
1	
2	
3	

4/8/22, 11:25 AM OpenGov



04/08/2022

LUHD-453

Historic District Commission Work Session or Administrative Approval Application

Status: Active Date Created: Apr 1, 2022

Applicant

Generator Supercenter of NH gscnewhampshire@generatorsupercenter.com 28 Portsmouth Avenue Stratham, NH 03885 603-731-4003

Location

687 MIDDLE ST Portsmouth, NH 03801

Owner:

ELLISON WILLIAM T & ELLISON ANNELISE 687 MIDDLE ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

Project Information

Brief Description of Proposed Work

Install and wire electrical and natural gas piping for a 14 kW Generac Generator and 200 AMP ATS.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Master Electrician

Full Name (First and Last)

John Fearon

Mailing Address (Street) 28 Portsmouth Avenue

State

NΗ

Phone

603-731-4003

Business Name (if applicable)

Generator Supercenter

City/Town

Stratham

Zip Code

03885

Email Address

jfearon@generatorsupercenter.com

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Licensed Gas Fitter

Full Name (First and Last)

Chris Carbonneau

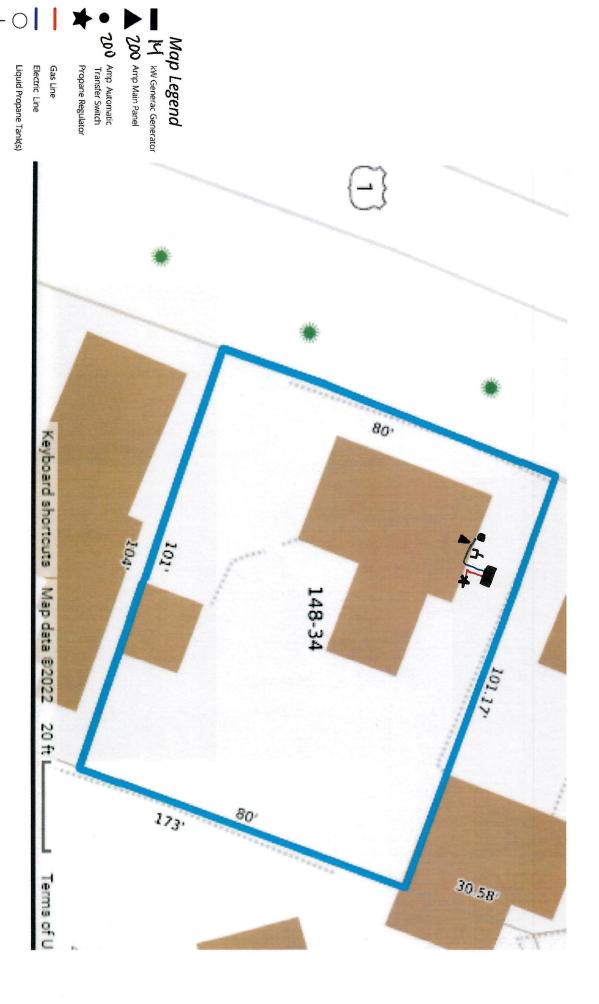
Business Name (if applicable)

Generator Supercenter

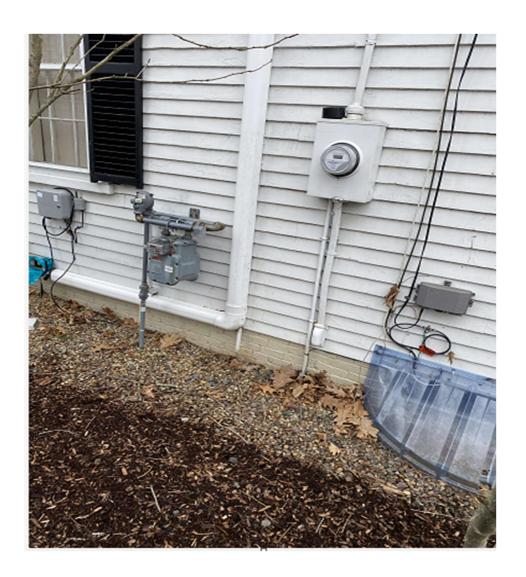


Site Plan

Address: 607 Middle St., Portsmouth, NH

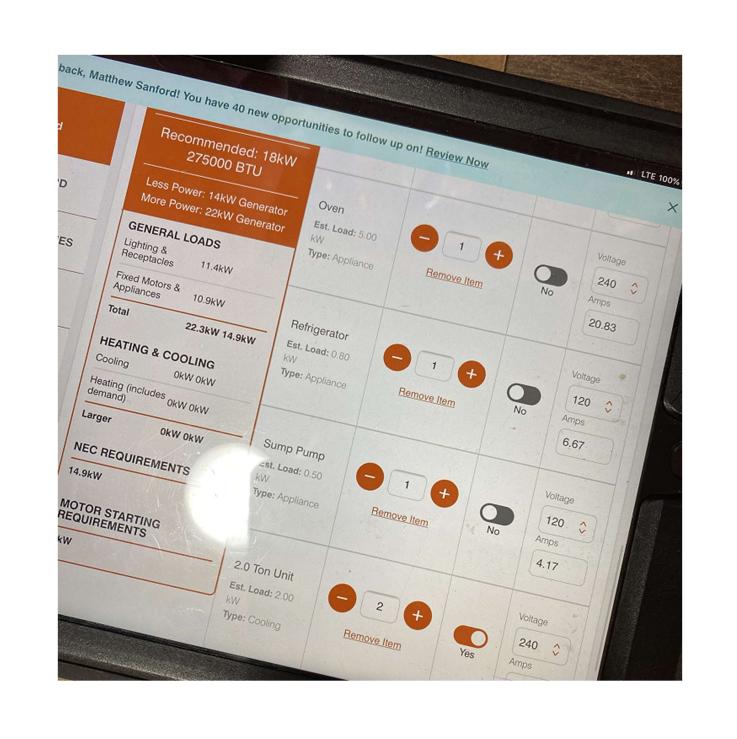


Utility Meter











2. 123 Congress Street - Recommended Approval

<u>Background</u> : The applicant is seeking approval for the addition of new exterior lighting.
Staff Comment: Recommended Approval
Stipulations:
1
2
2

OpenGov 4/8/22, 11:22 AM



04/08/2022

LUHD-454

Historic District Commission Work Session or Administrative Approval Application

Date Created: Apr 4, 2022 Status: Active

Applicant

Laura Keith lkeith@diversionsgames.com 123 Congress St Diversions Puzzles & Games Portsmouth, NH 03801 6037666220

Location

123 CONGRESS ST Portsmouth, NH 03801

Owner:

AHADI REALTY LLC 23 HUBBARD RD DOVER, NH 03820

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

Project Information

Brief Description of Proposed Work

We are looking to add gooseneck exterior lights above the storefront, similar in design and feel to our neighbors The Loft and Maison Navarre.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Store Manager

Full Name (First and Last)

Laura Keith

Mailing Address (Street)

123 Congress St

State NΗ

Phone

6037666220

Business Name (if applicable)

Diversions Puzzles & Games

City/Town

Portsmouth

Zip Code

03801

Email Address

lkeith@diversionsgames.com

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Electrician

Full Name (First and Last)

Nick Berube

Business Name (if applicable)

Berube Electric



2 SERIES

14"WAREHOUSE SHADES

Finishes:

Architectural Bronze - ABR

Galvanized - GA

Gray - GY

Navy Blue - NB

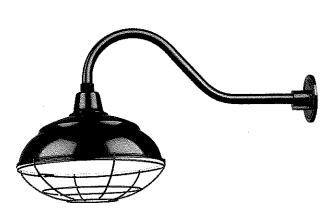
Satin Black - SB

Satin Green - SG

Satin Red - SR

White - WH

 UL Listed for wet locations



RWHS14-NB

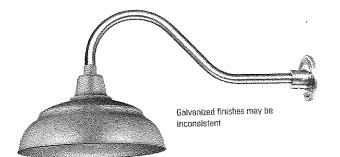
Shade Only.

Shown with optional RGN22-NB Goose Neck and RWG14-NB Wire Buard



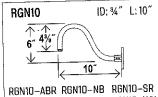


RWHS14-GY Shade Only. Shown with optional RGN10-6Y Goose Neck

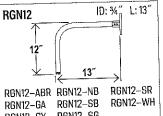


RWHS14-GA Shade Only. Shown with optional RGN22-GA Goose Neck

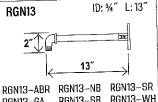
GOOSE NECKS



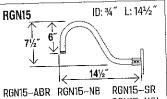
RGN10-GA RGN10-SB RGN10-WH RGN10-SG RGN10-GY



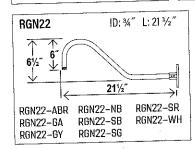
RGN12-SG RGN12-GY

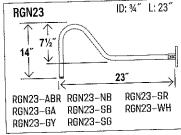


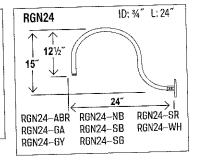
RGN13-SB RGN13-WH RGN13-GA RGN13-GY RGN13-SG



RGN15-GA RGN15-SB RGN15-WH RGN15-SG RGN15-GY











CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 02/03/2022

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

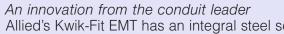
lf	SUBROGATION IS WAIVED, subject to is certificate does not confer rights to	the	terms	and conditions of the po	licy, ce	rtain policies					
<u> </u>	DUCER	the	,citiii	cate florder in fled of Such	CONTA		nkev				
	e Insurance				PHONE (A/C, N		,		FAX	(603)	740-5000
	State Street				(A/C, N E-MAIL ADDRE	amma@k	aneins.com		(A/C, No):	(003)	7-10-3000
						INS	SURER(S) AFFOR	RDING COVERAGE			NAIC#
Port	smouth			NH 03801	INSURE	RA: Maine M	utual Group In	s Co			15997
INSU	RED				INSURE	RB: Travelers	Indemnity Co	(A/R)			
	NICK BERUBE LLC				INSURE	RC:					
	12 CAILEY ANNA				INSURE	RD:					
	DOVER			NH 03820-4489	INSURE						
CO	/ERAGES CER	TIFIC	ATE	NUMBER: CL222336198				REVISION NUM	IBER:		
IN CE EX INSR	IIS IS TO CERTIFY THAT THE POLICIES OF DICATED. NOTWITHSTANDING ANY REQUIRENTIFICATE MAY BE ISSUED OR MAY PERTACULUSIONS AND CONDITIONS OF SUCH PO	REME AIN, TI LICIE ADDL	NT, TE HE INS S. LIM	ERM OR CONDITION OF ANY (SURANCE AFFORDED BY THE ITS SHOWN MAY HAVE BEEN	CONTR. E POLIC	ACT OR OTHER IES DESCRIBEI CED BY PAID CL POLICY EFF	DOCUMENT \ D HEREIN IS S AIMS. POLICY EXP	WITH RESPECT TO	O WHICH T HE TERMS	HIS ,	
LTR	TYPE OF INSURANCE COMMERCIAL GENERAL LIABILITY	INSD	WVD	POLICY NUMBER		(MM/DD/YYYY)	(MM/DD/YYYY)		LIMIT	4.00	0,000
	CLAIMS-MADE OCCUR							DAMAGE TO RENT PREMISES (Ea occ	ED	\$ 250,	
	CEANNO-NIADE 24 CCCOR							MED EXP (Any one		\$ 10,0	000
Α				SC13769424		11/15/2021	11/15/2022	PERSONAL & ADV	INJURY	\$ 1,00	0,000
	GEN'L AGGREGATE LIMIT APPLIES PER:							GENERAL AGGREC	GATE	Ψ	00,000
	POLICY PRO- JECT LOC							PRODUCTS - COM		Ψ	0,000
	OTHER:							Hired Auto Liabi	•	\$ 1,00	00,000
	AUTOMOBILE LIABILITY							(Ea accident)		\$	
	ANY AUTO OWNED SCHEDULED							BODILY INJURY (Pe		\$	
	AUTOS ONLY AUTOS NON-OWNED							PROPERTY DAMAG	-	\$	
	AUTOS ONLY AUTOS ONLY							(Per accident)		\$	
	➤ UMBRELLA LIAB ➤ OCCUR							EACH OCCURREN	CF.	\$ 2,00	0,000
Α	EXCESS LIAB CLAIMS-MADE			KU13769433		11/15/2021	11/15/2022	AGGREGATE	OL	\$ 2,00	0,000
	DED RETENTION \$ 10,000									\$	
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY							➤ PER STATUTE	OTH- ER		
В	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?	N/A		6JUB-4N45181-2-21		06/21/2021	06/21/2022	E.L. EACH ACCIDE	NT	_{\$} 500,	,000
	(Mandatory in NH) If yes, describe under							E.L. DISEASE - EA	EMPLOYEE	\$ 500,	
	DESCRIPTION OF OPERATIONS below							E.L. DISEASE - POI	LICY LIMIT	_{\$} 500,	,000
DESC	CRIPTION OF OPERATIONS / LOCATIONS / VEHICL	ES (AC	ORD 1	01, Additional Remarks Schedule,	may be a	ttached if more sp	pace is required)	•			
Acti	vities usual and customary to a electrician.										
CEE	RTIFICATE HOLDER				CANC	ELLATION					
	CHI GALE HOLDER				SAIN						
	Worth Development Condo Asso 1 New Hampshire Ave. #125	ociatio	on C/C) JPK Properties	ACC	EXPIRATION D	ATE THEREO	SCRIBED POLICI F, NOTICE WILL B Y PROVISIONS.			D BEFORE
					AUTHO	RIZED REPRESEN	TIATIVE				
l	Portsmouth			NH 03801			1/2/				

Allied E-Z PULL® EMT

Quality Electrical Metallic Tubing



KWIK-FIT® EMT



Allied's Kwik-Fit EMT has an integral steel set-screw coupling formed on one end of each length of EMT. Specifying U.L. listed Kwik-Fit EMT ensures an all steel system — both conduit and coupling for excellent strength and ground return, as well as economy. Contact Allied for detailed specifications on Kwik-Fit EMT. Available in trade sizes 2-4.



Allied E-Z PULL® EMT Specifications

MANUFACTURED FOR LONG LIFE

Allied EMT is precision manufactured from high grade mild strip steel for exceptional durability and long-lasting life.

Allied EMT is hot galvanized using Allied's patented in-line Flo-Coat® process. This process combines zinc, a conversion coating, and a clear organic polymer top-coat to form a triple layer of protection against corrosion and abrasion.

EMI SHIELDING

Allied EMT greatly reduces electromagnetic fields, effectively shielding computers and sensitive electronic equipment from the electromagnetic interference caused by power distribution systems. For further information, visit our website for a free download of the **GEMI** (Grounding and **E**lectro**M**agnetic **I**nterference) analysis software and related research papers.

FULL CODES AND STANDARDS COMPLIANCE

Allied EMT is listed to Underwriters
Laboratories Safety Standard UL 797
and meets ANSI C80.3, which have been
adopted as federal specifications in lieu of
WWC 563. EMT is recognized as an
equipment grounding conductor by NEC
Section 250-118. Documentation for
compliance with NEC Article 250 is also
available in the **GEMI** (Grounding and ElectroMagnetic Interference) analysis software and
related research studies found at the
www.alliedeg.com website.

Installation of EMT shall be in accordance with the National Electrical Code and the UL listing information. Allied EMT is listed in category FJMX.

Master bundles conform to NEMA Standard RN2.

SPECIFICATION DATA

To specify Allied EMT, include the following: Electrical Metallic Tubing shall be equal to that manufactured by Allied Tube & Conduit Corporation. EMT shall be hot galvanized steel O.D. with an organic corrosion resistant I.D. coating and shall be produced in accordance with U.L. Safety Standard #797 and ANSI C80.3 and shall be listed by a nationally recognized testing laboratory with follow-up service. Where **Kwik-Fit EMT** is used it shall also meet U.L. Safety Standard #514-B. It is noted that these U.L. and ANSI standards have been adopted by the federal government and separate military specifications no longer exist.

Weights and Dimensions for Electrical Metallic Tubing

	Trade Size Approx. Wt. Per 100 Ft. (30.5M)		Nominal Outside Diameter¹		Nominal Wall Thickness		Quantity In Master Bundle		
U.S.	Metric	lb.	kg.	in.	mm	in.	mm	ft.	m
1/2	16	30	13.6	0.706	17.9	0.042	1.07	7000	2135.0
3/4	21	46	20.9	0.922	23.4	0.049	1.25	5000	1525.0
1	27	67	30.4	1.163	29.5	0.057	1.45	3000	915.0
1-1/4	35	101	45.8	1.510	38.4	0.065	1.65	2000	610.0
1-1/2	41	116	52.6	1.740	44.2	0.065	1.65	1500	457.5
2	53	148	67.1	2.197	55.8	0.065	1.65	1200	366.0
2-1/2	63	216	98.0	2.875	73.0	0.072	1.83	610	186.1
3	78	263	119.3	3.500	88.9	0.072	1.83	510	155.6
3-1/2	91	249	158.3	4.000	101.6	0.083	2.11	370	112.9
4	103	393	178.2	4.500	114.3	0.083	2.11	300	91.5

¹Outside diameter tolerances:

+/- .005 in. (.13mm) for trade sizes 1/2 (16mm) through 2 (53mm);

+/- .010 in. (.25mm) for trade sizes 2-1/2 (63mm);

+/- .015 in. (.38mm) for trade size 3 (78mm);

+/- .020 in. (.51mm) for trade sizes 3-1/2 (91mm) and 4 (103mm).

NOTE: Length = 10 ft. (3.05m) with a tolerance of \pm .25 in. (6.35 mm)

Weights and Dimensions for Kwik-Fit EMT

	e Size Inator	Approx. Wt. Per 100 Ft. (30.5M)				Nominal Wall Thickness		Quantity In Master Bundle	
U.S.	Metric	lb.	kg.	in.	mm	in.	mm	ft.	m
2	53	148	67.1	2.197	55.8	0.065	1.65	500	152.4
2-1/2	63	216	98.0	2.875	73.0	0.072	1.83	350	106.8
3	78	263	119.3	3.500	88.9	0.072	1.83	300	91.5
3-1/2	91	349	158.3	4.000	101.6	0.083	2.11	250	76.3
4	103	393	178.2	4.500	114.3	0.083	2.11	250	76.3

¹Outside diameter tolerances:

+/- .005 in. (.13mm) for trade size 2 (53mm);

+/- .010 in. (.25mm) for trade size 2-1/2 (63mm);

+/- .015 in. (.38mm) for trade size 3 (78mm);

+/- .020 in. (.51mm) for trade sizes 3-1/2 (91mm) and 4 (103mm).

NOTE: Length = 10 ft. (3.05m) with a tolerance of \pm .25 in. (6.35 mm)

For more information, contact Allied at (800) 882-5543, or visit our website at www.alliedeg.com



ALLIED ELECTRICAL GROUP www.alliedeg.com

· Allied Tube & Conduit · AFC Cable Systems* · Cope* Cable Tray · Power-Strut* Metal & Fiberglass Framing

3. 333 State Street - Recommended Approval

Background: The applicant is seeking approval for	or minor renovations to the exterior of	f the
structure.		

Staff Comment: Recommended Approval

St	air	υl	ati	0	n	s:
•		•	•	•		••

1.	
2.	
3	

4/8/22, 11:20 AM OpenGov



04/08/2022

LUHD-455

Historic District Commission Work Session or Administrative Approval Application

Date Created: Apr 4, 2022 Status: Active

Applicant

Christopher Barrett cbarrett@groomco.com 96 Swampscott Road Salem, Massachusetts 01970 856-649-3415

Location

333 STATE ST Portsmouth, NH 03801

Owner:

TD Bank

4140 Church St Mount Laurel, NJ 08054

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

Project Information

Brief Description of Proposed Work

Renovation of finishes in kind for the TD Bank Drive Thru building. Drive Thru overhead lights are added.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

Full Name (First and Last)

Dan L'Esperance

Mailing Address (Street)

51 Sleeper St

State

Massachusetts

Phone

617-542-1025

Business Name (if applicable)

Bergmeyer Architects

City/Town Boston

Zip Code 02210

Email Address

dlesperance.bergmeyer.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

 \mathbf{Z}

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

 \mathbf{V}

I hereby certify that as the applicant for permit, I am

Other





TD BANK - PORTSMOUTH, NH

340 STATE STREET PORTSMOUTH, NH 03801

PROJECT DIRECTORY

OWNER: TD BANK 9000 ATRIUM WAY MT. LAUREL, NJ 08054 CONTACT: THOMAS MICHAEL PH: 518.225.4153 EMAIL: THOMAS.MICHAEL@TD.COM

SENIOR PROJECT MANAGER

PROJECT MANAGER: DAN L'ESPERANCE, AIA PH: 617.542.1025

51 SLEEPER STREET

BOSTON, MA 02210

SENIOR PROJECT MANAGER

ARCHITECT:
BERGMEYER ASSOCIATES, INC.

PRINCIPAL IN CHARGE: MATTHEW HYATT, AIA

MEP ENGINEER TBD

CODES LEGEND

APPLICABLE CODES

BUILDING CODE

PLUMBING CODE MECHANICAL CODE **ELECTRICAL CODE** FIRE PROTECTION CODE **ENERGY CODE** ACCESSIBILITY CODE LIFE SAFETY CODE

: INTERNATIONAL BUILDING CODE (2015) WITH NEW HAMPSHIRE AMENDMENTS : INTERNATIONAL EXISTING BUILDING CODE (2015) WITH NEW HAMPSHIRE AMENDMENTS : INTERNATIONAL PLUMBING CODE (2015) WITH NEW HAMPSHIRE AMENDMENTS : INTERNATIONAL MECHANICAL CODE (2015) WITH NEW HAMPSHIRE AMENDMENTS : NATIONAL ELECTRICAL CODE (2017) WITH NEW HAMPSHIRE AMENDMENTS : INTERNATIONAL FIRE CODE (2015) WITH NEW HAMPSHIRE AMENDMENTS : INTERNATIONAL ENERGY CONSERVATION (2006) : THE AMERICAN'S WITH DISABILITIES ACT (ADAAG) WITH NEW HAMPSHIRE AMENDMENTS

REQUIRED / ALLOWED

DESCRIPTION

<u>GENERAL</u> USE GROUP

CODE REFERENCE

: TABLE 602.1

: TABLE 503

: SECTION 304.1

: LIFE SAFETY CODE - NFPA 101 (2009NT)

: BUSINESS GROUP B : N/A : N/A

: BUSINESS GROUP B

PROPOSED

: TYPE ETR

PROJECT SUMMARY

CONSTRUCTION TYPE

NUMBER OF STORIES

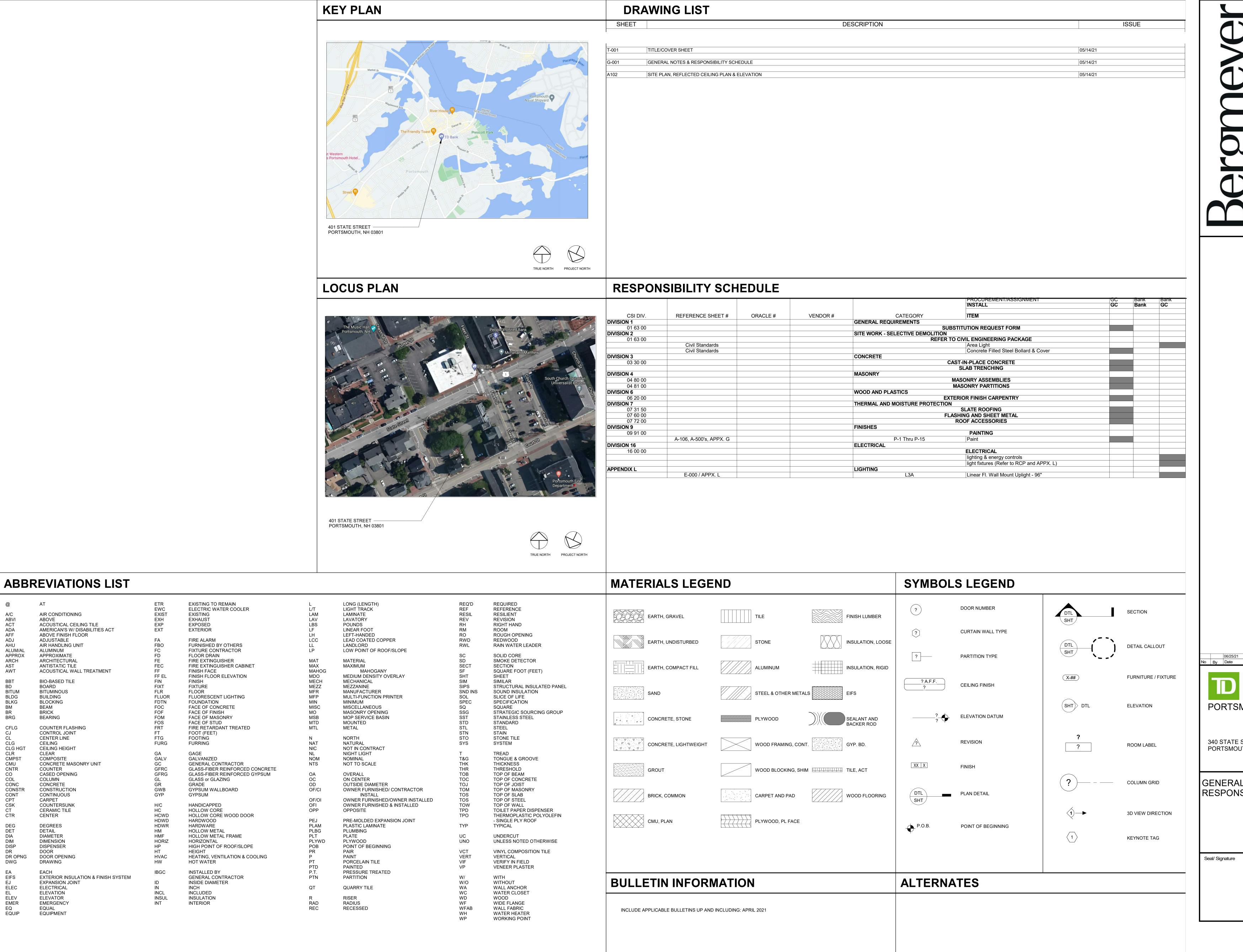
MAINTENANCE OF AN EXISTING DRIVE THRU INTENDED FOR BUSINESS USE. NO CHANGE TO USE GROUP, CONSTRUCTION TYPE, NUMBER OF STORIES, GSF, EGRESS, OR PLUMBING FACILITIES.



340 STATE STREET PORTSMOUTH, NH 03801

TITLE/COVER SHEET

T-001



| Sold Hoor | Sold Higher St. | Sold High Sociates, Inc. | Sold Hoor | Boston, MA 02210 | Los Angeles, CA 90017 | G17.542.1025 | 212.337.1090 | © Copyright 2020 Bergmeyer Associates, Inc. |

Bank
PORTSMOUTH

340 STATE STREET
PORTSMOUTH, NH 03801

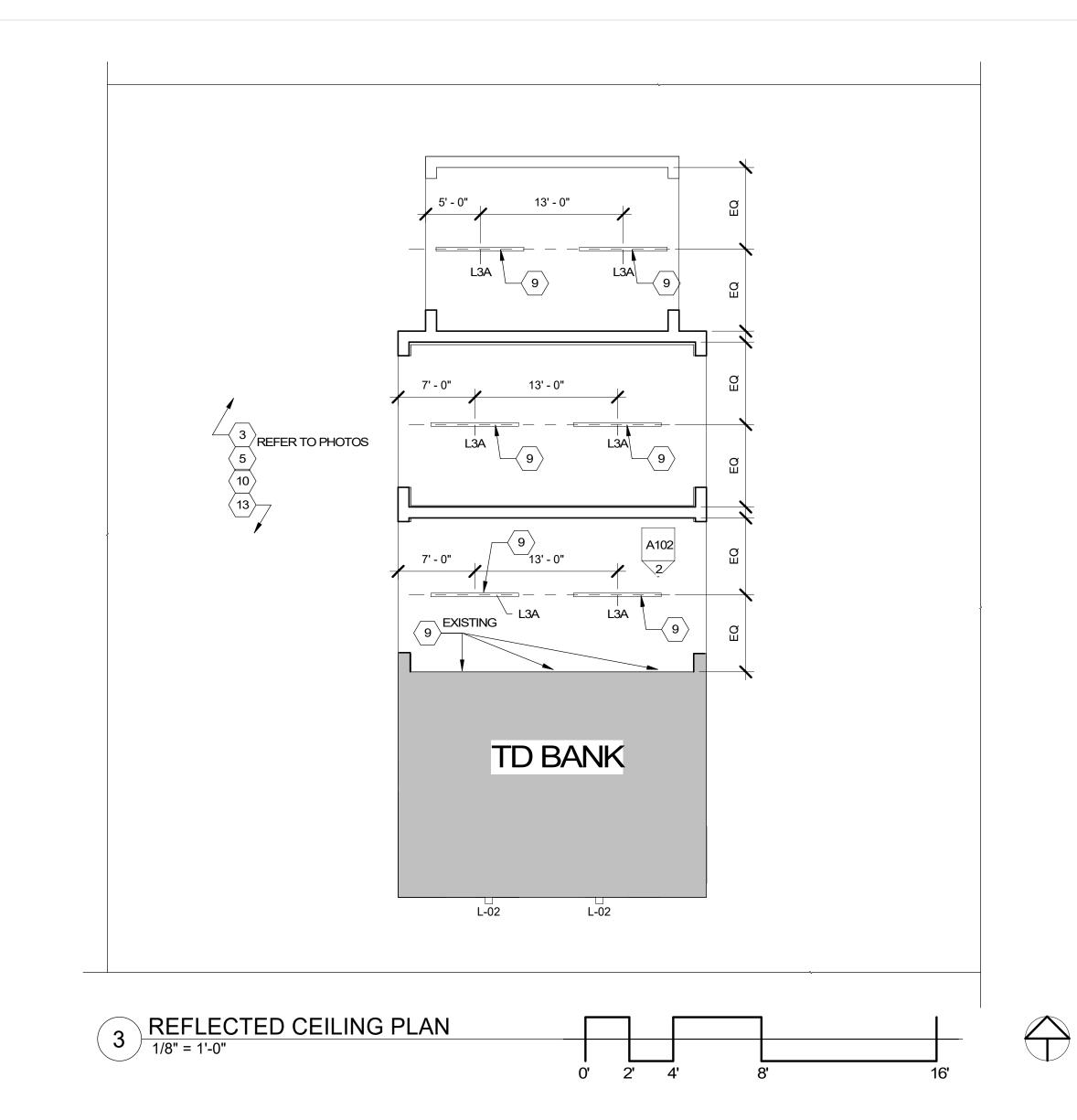
GENERAL NOTES & RESPONSIBILITY SCHEDULE

gnature Checked By:

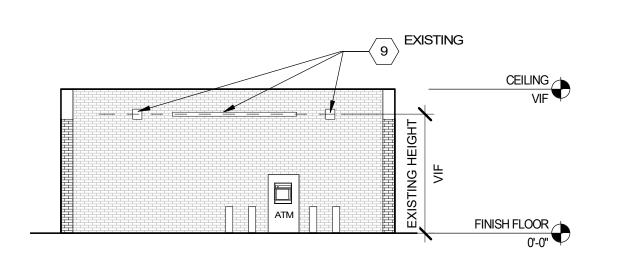
Job No:

G-001

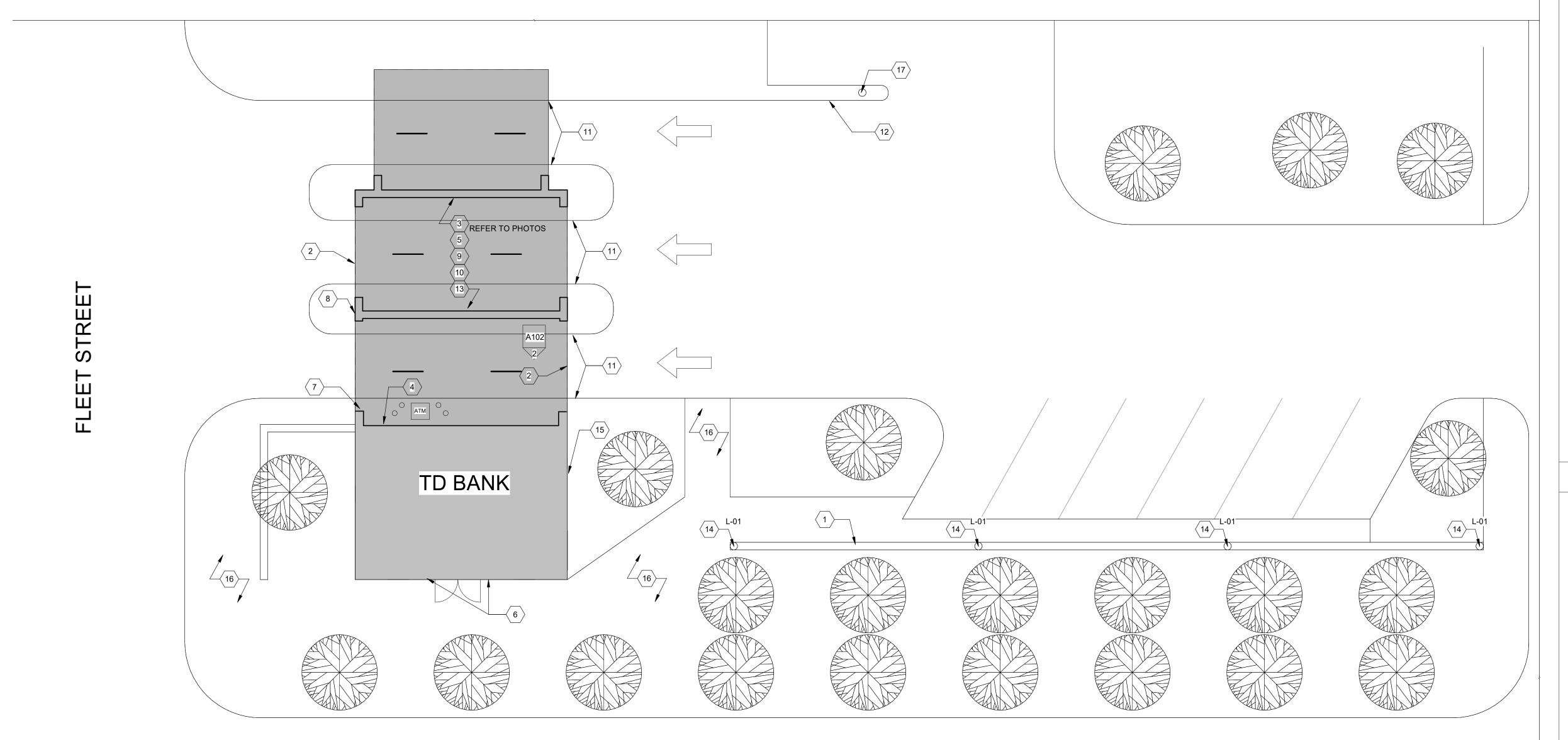
21046.00



	LIGHT FIXTURE SCHE	DULE	
TAG	TYPE	COUNT	COMMENTS
L3A	96" SURFACE MOUNTED LINEAR LED STRIP LIGHT	6	SEE RESPONSIBILITY SCHEDULE
L-01	NEWSTAMP LIGHTING CO. PORTSMOUTH LAMP	5	CONTACT: PETER BEANE (DISTRIBUTOR) PETER@SPECLINES.NET
L-02	GENIE HOUSE - ITEM # 53841	2	CONTACT: CRAIG BERISH SUBURBAN WHOLESALE CBARISH@SUBURBANWH OLESALE.COM

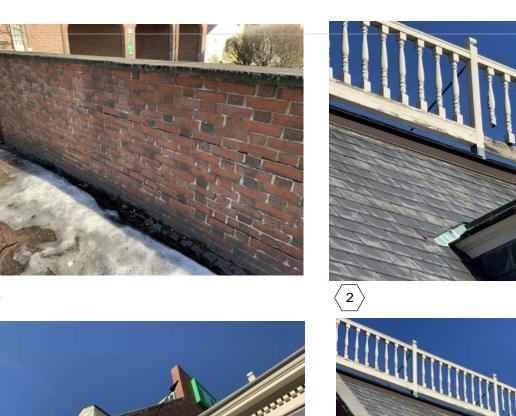


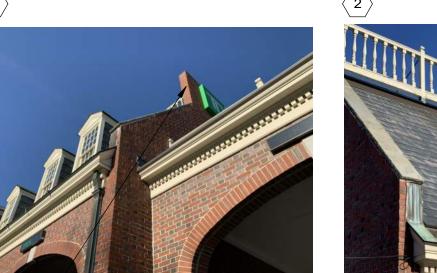
2 ELEVATION 1/8" = 1'-0"

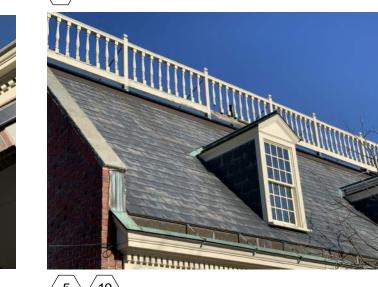


STATE STREET

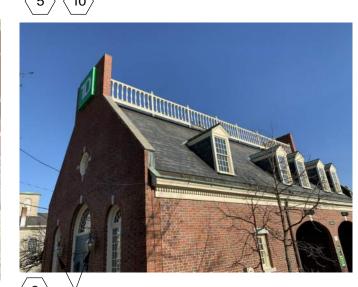
1 SITE PLAN
1/8" = 1'-0"

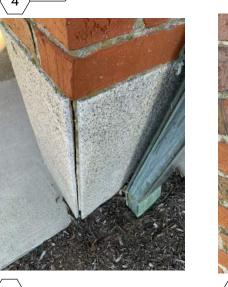


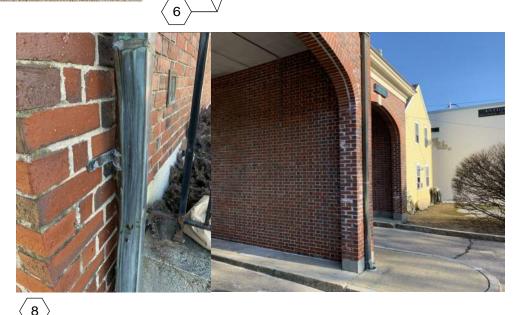


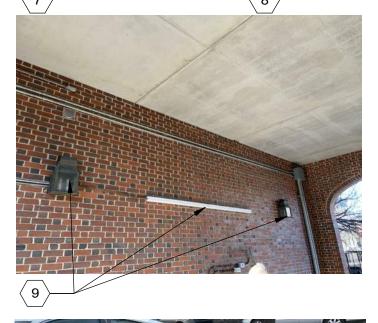




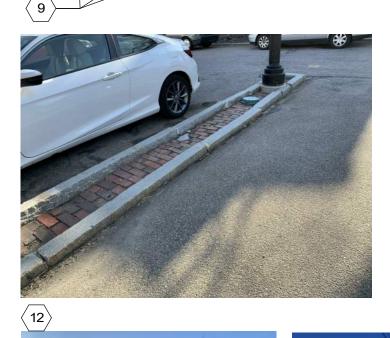






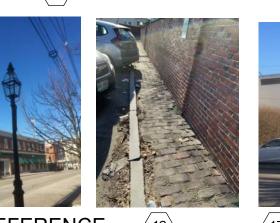














KEY NOTES

1 RE-POINT BRICK WALL AT PARKING LOT

REPLACE WIDOW'S WALK HANDRAIL AT TOP OF ROOF WITH NEW COMPOSITE RAILING TO MATCH EXISTING LOOK AND FINISH. REFER TO SPECIFICATIONS.

REPLACE PARAPET COPPER ROOF CAP WITH NEW
RE-POINT BRICK AT DRIVE THRU WALL

REPAIR/REPLACE AS NEEDED SLATE ROOF SHINGLES AT DRIVE THRU

WALL SCONCE LIGHTING AT ENTRY DOOR TO BE REFURBISHED/REPLACED WITH NEW TO MATCH EXISTING. REPLACE ALL WITH LED LAMPING. SEE "L-02" IN LIGHTING SCHEDULE.

REPAIR GRANITE BASE AND RE-POINT BRICK IN DRIVE THRU LANE 1

8 REPAIR/REPLACE COPPER DOWNSPOUT AT DRIVE THRU LANE 1

9 REMOVE ALL EXISTING DRIVE-THRU SCONCE AND STRIP LIGHTS. ADD NEW LED STRIP LIGHTS MOUNTED AT DRIVE THRU CEILING

REPLACE ALL GUTTER SUPPORTS WITH NEW AT DRIVE THRU ENTRANCE AND EXIT

RESET CURBS WITHIN ALL DRIVE THRU LANES

RESET CURBS BEFORE LANE 3 AT PARKING LOT

SCRAPE ALL EXISTING PAINT FROM WOODWORK TRIM AT DRIVE THRU LANES. REPLACE ANY

ROTTED WOOD WITH NEW AND RE-PAINT ALL TRIM WITH NEW PAINT. COLOR TO MATCH EXISTING.

REFURBISH OR REPLACE LAMPS AT PARKING LOT RETAINING WALL TO MATCH ADJACENT EXISTING CITY HISTORIC LAMPS. PROVIDE NEW LED LAMPING FOR ALL WITH PHOTOCELL. SEE "L-01" IN

LIGHTING SCHEDULE.

15 PAINT METER BOX AT DRIVE THRU (GRAY)

REMOVE BRICK AT SIDEWALK AND REPLACE WITH NEW TO CREATE LEVEL AND SMOOTH SURFACE. NEW BRICK TO MATCH EXISTING LOOK/FINISH.

GC TO CONFIRM DAMAGE OF LIGHT FIXTURE. RESET OR REPLACE IF NECESSARY. SEE "L-01" IN LIGHTING SHEDULE.

Bank
PORTSMOUTH

340 STATE STREET PORTSMOUTH, NH 03801

SITE PLAN, REFLECTED CEILING PLAN & ELEVATION

Seal/ Signature

Checked By: DL

Job No: 21046.00

A102



PAOLI, PENNSYLVANIA 19301-1653 (610) 993-0470 FAX (610) 993-0473

TD BANK PORTSMOUTH RENO 333 STATE STREET PORTSMOUTH NH 03801

JANTITY	DEVICE TYPE	MANUFACTURER	CATALOG #	NOTES
6	L3A	DAYBRITE	FSS860L-835-UNV-DIM	
2	L-02	GENIE HOUSE	53841 AB C	WITH LED LAMPS
		✓ No Exception Taken	☐ Make Correction Noted	
		Rejected	Revise and Resubmit	
		☐ Submit Specified	Reviewed	
		this review do not relieve the co the plans and specifications an- regulations. Review of a specific of an assembly of which the iter contractor is responsible for: di correlated at the jobsite; inform fabrication process and technic means, methods, techniques, s construction; coordination of the trades and performing all Work manner.	d applicable laws, codes and citem shall not include a review mis a component. The imensions to be confirmed and lation that pertains solely to ques of construction or to the equences and procedures of le Work with that of all other in a safe and satisfactory	
			By: DL	
		Bergmeyer Architecture and Interiors	Date: 12/14/2021	
		Bergmeyer Associates, Inc. 51 Sleeper Street	Job # 21046.00	
		Boston, MA 02210-1208 617-542-1025	Ref # 100	

617-542-1025







Project:	PORTS	MOUTH N	NH
Location:			
Cat.No:	FSS860	L835-UN\	/-DIM
Туре:	L3A		
Lumens:		Qty:	6
Notes:			

Philips Day-Brite / Philips CFI FluxStream LED strip is a high performing luminaire delivering smooth diffuse light ideal for light industrial, commercial and residential applications with the unparalleled energy efficiency of Philips LED lighting.

Ordering guide

Series	Length (nominal)	Lumens ² (nominal)	Color temp. (K)	Voltage	Driver	Options
FSS	8	60L	835 –	UNV -	DIM –	
FSS FluxStream strip	2 2' length	20L 2000 lumens 30L 3000 lumens	830 80 CRI, 3000K	UNV Universal voltage	O-10V 1% dimming	Factory wired Philips Bodine BSL310LP integral emergency pack. Nominal 1100lm
	3 3' length	30L 3000 lumens	835 80 CRI, 3500K	120-277V 1204 120V	SDIM ^{6,7} Step dimming to 40% input power	LSXR10 120-347V motion sensor, factory installed on end cap LSXR10ADC 120-347V motion sensor with photocell and hi/lo trim
	4 4' length	30L 3000 lumens 40L 4000 lumens 55L 5500 lumens 70L 7000 lumens	840 80 CRI, 4000K 850 ³ 80 CRI, 5000K	277 ⁴ 277V 347 ⁵ 347V	XDIM ^{4,6,7} MarkX phase dimming DALI ⁸ DALI	dimming, factory installed on end cap Integral sensor, daylighting and occupancy, Philips EasySense SNS102 PAF Paint after fabrication (white) BK Matte black paint color
	8 ¹ 8' length	60L 6000 lumens 80L 8000 lumens 110L 11000 lumens 140L 14000 lumens				ST Satin aluminum paint color

- 1. 8' is tandem (2) 4' lenses with single piece 8' body.
- 2. Nominal delivered lumens at 25°C ambient.
- 3. Not available in 3' model.
- 4. XDIM option must be specified with 120V or 277V option only
- 5. 347V with EMLED only available in 8' models.
- 6. Not available in 2' or 3' model.
- 7. Not available in 4' 70L model or 8' 140L model.
- 8. DALI available up to 80L models only, consult factory for other options.
- 9. EMLED on 8' models illuminates 4' section in emergency mode.
- 10. Specify DIM driver with DAYOCC option.
- 11. Not available in 8' 110L or 140L models.

Accessories (order separately)

- FSSD2L 2' Diffuse replacement lens
- FSSD3L 3' Diffuse replacement lens
- FSSD4L 4' Diffuse replacement lens (order two for 8' models)
- FSSWG4 4' wire guard (order two for 8' models)
- FSTH Sliding hanger bracket (set of two)
- LSXR10 Low bay PIR motion sensor, 120-277V
- LSXR10ADC Low bay PIR motion sensor with photocell and hi/lo trim dimming, 120-277V
- (See last page for details and more options)

General notes

Many luminaire components, such as reflectors, refractors, lenses, sockets, lampholders, and LEDs are made from various types of plastics which can be adversely affected by airborne contaminants. If sulfur based chemicals, petroleum based products, cleaning solutions, or other contaminants are expected in the intended area of use, consult factory for compatibility.





2', 3', 4' and 8'

Features

- Compact design for installation in tight spaces
- Frosted acrylic diffuser provides wide light distribution and superior glare control
- Diffuser and LED plate snap into place allowing tool-free access to LED boards and driver
- 2', 3', 4' and 8' tandem lengths available to accommodate many field applications
- Up to 100,000 hour predicted L70 LED lumen maintenance provides long service life to reduce maintenance costs
- Can be surface mounted on ceilings or walls, or suspended via chain, pendants or cables
- · Wall mountable ADA compliant
- · Ideal for cold applications (-20°C)
- Continuous row mounting using standard end caps. No extra parts needed
- 7/8" knock out provided at each end and on base of luminaire
- •Multiple driver options available with 0-10v as standard
- Enclosed lens minimizes penetration of dust, insects, and other debris into the LED compartment.
- 8' tandem unit is two 4' optical assemblies with a center mullion on a single full length chassis.
- Integral controls options include sensor mounted in control module extension mounted on fixture end (see dimension drawing). Controls are commissioned via intuitive Philips app on a Droid smartphone either through NFC or an IR blaster.
- Fluxstream luminaires are Designlights Consortium® qualifed. Please see the DLC QPL list for exact catalog numbers (http://www.designlights.org/QPL).
- 5 year manufacturer's limited warranty Visit www.philips.com/warranties for complete warranty information.

Finish

 Baked white acrylic matte high reflectance paint finish

Shielding

· Contoured frosted acrylic lens

Electrical

 LED boards and drivers are RoHS (Restriction of Hazardous Substances) compliant. Total system life rated at 50,000 hours. Predicted L70 lifetime based on LED manufacturer's supplied LM-80 data and in-situ laboratory testing.

Materials

Heavy gauge cold rolled steel housing, LED plate, and end caps

DAYOCC

- Integrated fixture mount Philips EasySense sensor featuring daylight and PIR occupancy sensing
- Compatibility with Philips Advance Xitanium SR Sensor Ready LED drivers
- Features automatic or manual on/off scenarios for code compliance and to realize full energy savings potential
- Basic grouping to a wireless switch via an IR interface with the Philips Field App
- Self-powered single rocker switch Illumra #ZBT-S1AWH (sourced by others), up to 40 luminaires may be grouped to a single switch
- Recommended maximum spacing of 25ft between luminaires, and closest luminaire to wall switch

Labels

- · cETLus listed
- · Suitable for damp locations

2', 3', 4' and 8'

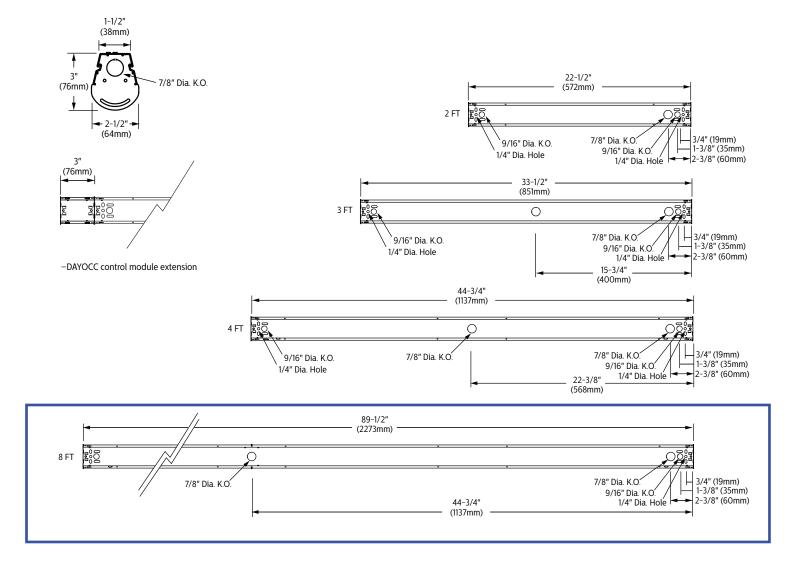
Performance data

Fixture	Lumens	Wattage	Efficacy
FSS220L	2000lm	17W	123lm/w
FSS330L	3000lm	26W	119lm/w
FSS440L	4000lm	31W	133lm/w
FSS455L	5500lm	45W	129lm/w
FSS470L	7000lm	58W	126lm/w

Ambient temperature data

Configuration	Ambient
FSS470L	-20°C to 30°C
FSS8110L	-20°C to 35°C
FSS8140L	-20°C to 25°C
EMLED option	Minimum 0°C
All others	-20°C to 40°C

Dimensions



2', 3', 4' and 8'

Photometry

2' FluxStream LED strip, 2000 nominal delivered lumens

LER - 123

Catalog No. FSS220L840-UNV-DIM

 Test No.
 37164

 S/MH
 1.2

 Lamp Type
 LED

 Lumens
 2034

 Input Watts
 17

Comparative yearly lighting energy cost per 1000 lumens – \$1.95 based on 3000 hrs. and \$.08 pwr KWH

The photometric results were obtained in the Philips Day-Brite laboratory which is NVLAP accredited by the National Institute of Standards and Technology.

Photometric values based on test performed in compliance with LM-79.

Candlepower

Angle	End	45	Cross	Back-45
0	644	644	644	644
5	635	641	646	641
15	610	618	626	618
25	520	567	585	567
35	451	474	495	474
45	371	403	432	403
55	284	324	362	324
65	191	243	288	243
75	96	167	218	167
85	18	105	155	105

Light Distribution Mean % Luminaire 0-30 493 24.2 0-40 790 38.9 0-60 1391 68.4 0-90 1910 93.9 90-180 124 6.1 0-180 2034 100

Average Luminance						
Zone	End	45°	Cross			
45	15155	12916	12955			
55	14048	11583	11859			
65	12449	10173	10781			
75	9646	8758	9839			
85	4206	7611	9181			

Coefficients of Utilization

pfc =	20							
Ceil		80			70			50
Wall	70	50	30	70	50	30	50	30
RCR								
0	118	118	118	114	114	114	108	108
1	106	100	94	102	96	93	92	88
2	95	86	79	92	83	77	80	73
3	86	76	67	83	73	66	69	63
4	79	67	57	77	65	56	61	55
5	72	59	50	69	57	50	55	47
6	67	54	45	65	52	44	50	41
7	61	48	40	59	47	39	45	38
8	57	44	35	56	42	34	41	34
9	54	40	32	53	40	32	38	30
10	51	38	30	49	37	29	35	29

3' FluxStream LED strip, 3000 nominal delivered lumens

Catalog No. FSS330L840-UNV-DIM

 Test No.
 37132

 S/MH
 1.3

 Lamp Type
 LED

 Lumens
 3045

 Input Watts
 26

Comparative yearly lighting energy cost per 1000 lumens – **\$2.02** based on 3000 hrs. and \$.08 pwr KWH

The photometric results were obtained in the Philips Day-Brite laboratory which is NVLAP accredited by the National Institute of Standards and Technology.

Photometric values based on test performed in compliance with LM-79.

Candlepower

Angle	End	45	Cross	Back-45
0	982	982	982	982
5	966	978	980	978
15	927	943	948	943
25	849	869	884	869
35	738	772	795	772
45	609	655	690	655
55	435	505	554	505
65	293	356	414	356
75	148	232	301	232
85	28	129	201	129

Light Distribution

Degrees	Lumens	% Luminaire
0-30	759	24.9
0-40	1241	40.8
0-60	2187	71.8
0-90	2918	95.8
90-180	127	4.2
0-180	3045	100

Average Luminance

LER - 119

Zone	End	45°	Cross
45	16859	14162	13823
55	14686	12197	12138
65	13174	10098	10376
75	10412	8269	9110
85	4882	6455	7980

Coefficients of Utilization

EFFECT	EFFECTIVE FLOOR CAVITY REFLECTANCE 20 PER (pfc=0.20)							
pfc =	20							
Ceil		80			70			50
Wall	70	50	30	70	50	30	50	30
RCR								
0	118	118	118	115	115	115	109	109
1	107	101	96	103	98	93	93	90
2	96	88	81	93	85	79	81	76
3	88	77	68	84	75	67	70	65
4	80	68	58	78	66	57	63	56
5	73	60	51	70	58	51	56	48
6	68	55	45	66	53	45	51	44
7	63	48	40	60	47	40	46	39
8	58	45	36	56	44	35	42	34
9	55	40	33	53	40	33	39	32
10	51	38	30	50	38	30	36	29

FluxStream_LED_Strip 06/17 page 4 of 6

2', 3', 4' and 8'

Photometry

4' FluxStream LED strip, 4000 nominal delivered lumens

LER - 133

Catalog No.	FSS440L840-UNV-DIM

37259 Test No. S/MH 1.3 Lamp Type LED 4130 Lumens **Input Watts** 31

Comparative yearly lighting energy cost per 1000 lumens - \$1.80 based on 3000 hrs. and \$.08 pwr KWH.

The photometric results were obtained in the Philips Day-Brite laboratory which is NVLAP accredited by the National Institute of Standards and Technology.

Photometric values based on test performed in compliance with LM-79.

Candlepower

End	45	Cross	Back-45
1272	1272	1272	1272
1250	1265	1277	1265
1199	1221	1237	1221
1098	1130	1157	1130
957	1005	1044	1005
791	860	910	860
606	690	758	690
382	481	598	481
194	326	416	326
36	196	289	196
	1272 1250 1199 1098 957 791 606 382 194	1272 1272 1250 1265 1199 1221 1098 1130 957 1005 791 860 606 690 382 481 194 326	1272 1272 1272 1250 1265 1277 1199 1221 1237 1098 1130 1157 957 1005 1044 791 860 910 606 690 758 382 481 598 194 326 416

Light Distribution Degrees 0-30 0-40 0-60 0-90 986 1614 2886 3905 % Luminaire 23.9 39.1 69.9 94.6 90-180 0-180 5.4 100

Average Luminance End 45° Cross 16754 14171 13847 15678 12712 12618 13207 10415 11375 10615 8873 9550 5052 7511 8720 Zone End

Coefficients of Utilization

EFFEC	TIVE FLO	OR CAVI	TY REFLE	CTANCE	20 PER (pfc=0.20))	
pfc =	20							
Ceil		80			70			50
Wall	70	50	30	70	50	30	50	30
RCR								
0	118	118	118	114	114	114	108	108
1	106	101	95	103	97	93	92	89
2	95	86	80	93	84	78	80	75
3	86	76	67	83	73	66	69	64
4	80	67	57	77	65	56	61	55
5	72	59	51	70	57	50	56	47
6	68	54	45	65	53	44	50	42
7	63	48	40	59	47	39	46	38
8	57	44	35	56	44	34	41	34
9	54	40	32	53	40	32	38	30
10	51	38	30	49	37	29	35	28

4' FluxStream LED strip, 5500 nominal delivered lumens

FSS455L840-UNV-DIM Catalog No.

Test No. 37262 S/MH 1.3 Lamp Type LED 5759 Lumens **Input Watts** 45

Comparative yearly lighting energy cost per 1000 lumens - \$1.86 based on 3000 hrs. and \$.08 pwr

The photometric results were obtained in the Philips Day-Brite laboratory which is NVLAP accredited by the National Institute of Standards and Technology.

Photometric values based on test performed in compliance with LM-79.

Candlepower

Angle	End	45	Cross	Back-45
0	1788	1788	1788	1788
5	1757	1777	1792	1777
15	1685	1715	1736	1715
25	1544	1585	1623	1585
35	1346	1408	1462	1408
45	1113	1202	1271	1202
55	852	960	1055	960
65	575	712	828	712
75	272	443	610	443
85	50	259	389	259

Light Distribution

Lumens	% Luminaire
1384	24
2264	39.3
4043	70.2
5478	95.1
281	4.9
5759	100
	1384 2264 4043 5478 281

Average Luminance

LER - 129

Zone	End	45°	Cross
45	23558	19796	19347
55	22047	17697	17574
65	19887	15425	15749
75	14898	12084	14023
85	7023	9926	11749

Coefficients of Utilization

EFFEC	TIVE FLC	OR CAVI	TY REFLE	CTANCE	20 PER ()	ofc=0.20))	
pfc =	20							
Ceil		80			70			50
Wall	70	50	30	70	50	30	50	30
RCR								
0	118	118	118	115	115	115	108	108
1	106	101	95	103	97	93	93	89
2	95	86	80	93	84	78	80	75
3	86	76	68	83	73	66	69	64
4	80	67	57	77	66	56	61	55
5	72	59	51	70	58	50	56	47
6	68	54	45	65	53	44	50	42
7	63	48	40	60	47	39	46	38
8	57	44	35	56	44	34	41	34
9	54	40	32	53	40	32	38	30
10	51	38	30	49	37	29	36	29

2', 3', 4' and 8'

Photometry

4' FluxStream LED strip, 7000 nominal delivered lumens

LER - 126

Catalog No.	FSS470L840-UNV-DIM
Tost No	37265

S/MH 1.3
Lamp Type LED
Lumens 7275
Input Watts 58

Comparative yearly lighting energy cost per 1000 lumens – **\$1.90** based on 3000 hrs. and \$.08 pwr KWH.

The photometric results were obtained in the Philips Day-Brite laboratory which is NVLAP accredited by the National Institute of Standards and Technology.

Photometric values based on test performed in compliance with LM-79.

Candlepower

Angle	End	45	Cross	Back-45
0	2211	2211	2211	2211
5	2176	2199	2217	2199
15	2088	2124	2148	2124
25	1914	1966	2010	1966
35	1672	1750	1813	1750
45	1379	1502	1580	1502
55	1058	1204	1317	1204
65	714	898	1041	898
75	339	592	776	592
85	63	344	524	344

Light Distribution

Degrees	Lumens	% Luminaire
0-30	1714	23.6
0-40	2809	38.6
0-60	5028	69.1
0-90	6879	94.6
90-180	396	5.4
0-180	7275	100

Average Luminance

	_		
Zone	End	45°	Cross
45	29203	24745	24050
55	27371	22192	21938
65	24688	19451	19793
75	18540	16135	17825
85	8824	13174	15831

Coefficients of Utilization

EFFEC	TIVE FLO	OR CAVI	TY REFLE	CTANCE	20 PER (j	ofc=0.20)	
pfc =	20							
Ceil		80			70			50
Wall	70	50	30	70	50	30	50	30
RCR								
0	118	118	118	114	114	114	108	108
1	106	100	95	103	97	93	92	89
2	95	86	79	92	83	78	80	73
3	86	76	67	83	73	66	69	63
4	79	67	57	77	65	56	61	55
5	72	59	50	69	57	48	55	47
6	67	54	44	65	52	44	50	41
7	61	47	40	59	46	39	45	38
8	57	44	35	56	42	34	40	34
9	54	40	32	52	40	32	38	30
10	51	37	29	49	37	29	35	28

Accessories















Accessory Catalog Code	Description	
FSTH	Sliding hanger bracket (pair)	
SV5F12	12" Stem and canopy kit	
SV5F18	18" Stem and canopy kit	White stem and canony bit 1/4" trade size (1/3" O.D.) le skryts inslyded Werks
SV5F24	24" Stem and canopy kit	 White stem and canopy kit, 1/4" trade size (1/2" O.D.) locknuts included. Works with 9/16" k.O. on base of housing.
SV5F36	36" Stem and canopy kit	with 9/10 k.O. on base of flousing.
SV5F48	48" Stem and canopy kit	
FKR-126	Chain hanger set (pair)	Includes two 5' heavy duty link chains with "V" hooks. Attaches to base of housing.
DACHxx	Adjustable cable hanger kit (single)	
DACHxx-1-SC	Adjustable cable hanger kit with white straight 18/3 cord (single)	
DACHxx-1-CC	Adjustable cable hanger kit with white coiled 18/3 cord (single)	Works with 1/4" hole on base of housing or FSTH hanger bracket.
DACHxx-2-SC	Adjustable cable hanger kit with white straight 18/4 cord (single)	
DACHxx-2-CC	Adjustable cable hanger kit with white coiled 18/4 cord (single)	xx =cable length in inches, enter 48" to 180" lengths in 12" increments
	Adjustable cable hanger kit with white straight 18/5 cord with	
DACHxx-1D-SC	dimming leads (single)	
LSXR10	Low bay pir motion sensor (120-277v)	
LSXR10ADC	Low bay pir motion sensor with photocell and hi/lo trim dimming	(120-277v)
FSSWG4	4' Wire guard (order two for 8' models)	
FSSD2L	2' Diffuse replacement lens	
FSSD3L	3' Diffuse replacement lens	
FSSD4L	4' Diffuse replacement lens (order two for 8' models)	

© 2017 Philips Lighting Holding B.V. All rights reserved. Philips reserves the right to make changes in specifications and/or to discontinue any product at any time without notice or obligation and will not be liable for any consequences resulting from the use of this publication. philips.com/luminaires



Philips Lighting North America Corporation 200 Franklin Square Drive, Somerset, NJ 08873 Tel. 855-486-2216

Philips Lighting Canada Ltd. 281 Hillmount Rd, Markham, ON, Canada L6C 2S3 Tel. 800-668-9008

TYPE L-02 PORTSMOUTH NH

#53841 - 11.5w x 25.25h x 11.5e w/4ltc





LIGHTING SUBMITTAL FOR APPROVAL

PROJECT: TD BANK SITE LTG, PORTSMOUTH

CONTRACTOR: GTI ELECTRICAL

DATE: 1/24/2022

DISTRIBUTOR: NORTHEAST ELECTRICAL DIST.

560 OAK STREET

BROCKTON, MA 02301



Page: 1 of 1

For Approval: 🔀	For Record:	
-----------------	-------------	--

Submittal

To:

GTI ELECTRICAL 2302 COLUMBIA CIRCLE MERRIMACK, NH 03054 Project: TD BANK SITE LTG

Job #: 151992

Quoter: KERRI SNELL

Project Mgr:

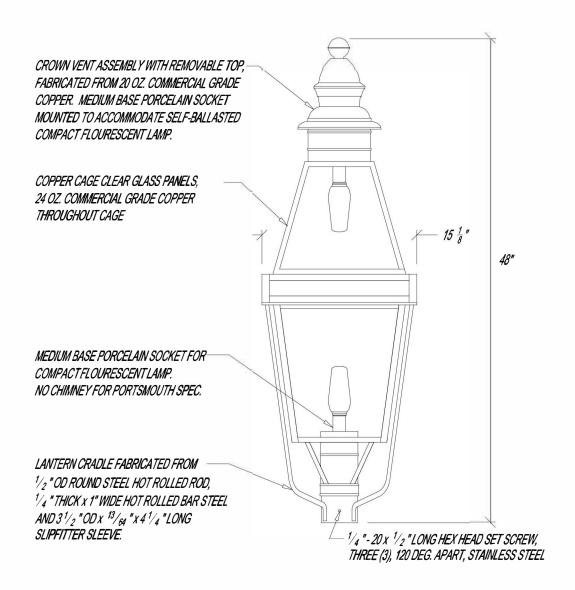
Printed By: BETH WHITNEY

Project Manager C - 603-573-0594

Туре	Quantity	Description	Manufacturer
FIXT	5	RS-TUR-177 style lantern, per City of Portsmouth specification with use of 2 compact fluorescent lamps, glass panels in lower, sign and upper sections.	
Pier base with 2 7/8 black		APMPRC-08-03.00-TN2.88-3.50-CU Pier base with 2 7/8 OD x 3 tall tenon, finish painted black LESS MTG HARDWARE	d

From:

NORTHEAST ELECTRICAL SALES 603-224-2323 22 BRIDGE STREET CONCORD, NH 03301-4987



A - FINISH OPTIONS - SATIN BLACK

B - UPPER, LOWER AND SIGN SECTION PANELS 0.125" CLEAR GLASS

C - ALL JOINTS FULL SOLDERED WITH 50% TIN, 50% LEAD ALLOY

D - COMPACT FLOURESCENT UPPER AND LOWER

Hawsteep

American Mantle Company 1299 Leah Road, Suite C Morris, IL 60450

Qty. 5

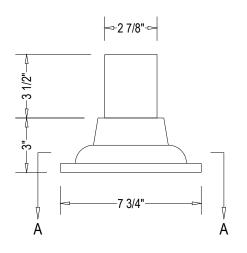
DESCRIPTION: **TD Bank**Portsmouth, NH

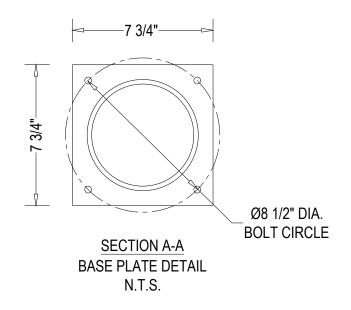
CUSTOMER:

DATE: **03-14-2014**

PDF

This drawing is property of Spring City Electrical Mfg. Co. and is issued to the recipient with the understanding that it shall not be copied, duplicated, passed on to unauthorized parties, nor used for any purpose other than that for which it is specifically furnished except with Spring City's written permission.





PIER MOUNT SPECIFICATIONS:

STYLE: AC400 HEIGHT: 3"

WIDTH: 7 3/4" SQUARE

MATERIAL: CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95
FINISH: POWDER COAT - RIVER TEXTURE GLOSS BLACK
ANCHORS: 1/2" DIA. ANCHORS (SUPPLIED BY OTHERS)
TENON: 2 7/8" DIA. X 3 1/2" HIGH (TO ACCEPT LUMINAIRE)

CATALOG NO.: APMPRC-08-03.00-TN2.88-3.50-CU

Qty. 5



Spring City Electrical Mfg. Co.

HALL AND MAIN STREETS - P.O. BOX 19 - SPRING CITY, PA. 19475 PHONE (610) 948-4000 - FAX (610) 948-5577 - WWW.SPRINGCITY.COM

DESCRIPTION				
OPPORTUNITY				
SCALE	DRAWN BY:	DATE	DRAWING NO.	
N.T.S.	N.S.B.	07-26-2021	S106083	

4. 130 Gates Street - Recommended Approval

<u>Background</u>: The applicant is seeking approval for (2) replacement Brosco windows, to be replaced with Marvin Elevate windows and replace (1) door.

Staff Comment: Recommended Approval

St	air	υl	ati	O	n	s:
•		•	•	•		••

1			
2			
3.			

4/8/22, 11:16 AM OpenGov



04/08/2022

LUHD-457

Historic District Commission Work Session or Administrative Approval Application

Status: Active Date Created: Apr 7, 2022

Applicant

Mark H Johnson mhj.blder@hotmail.com 12A Walnut Ave. North Hampton, NH 03862 6039186571

Location

130 GATES ST Portsmouth, NH 03801

Owner:

HANSSMANN MARTIN 130 130 GATES ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

remove and replace two Brosco replacement doublehung windows from the 1970s that have rotted with same size and grilling as exists. Windows would be Marvin Elevate series ELDH2240. Authentic divided lites, bronze exterior with black spacer bar and with half screen. As well, to replace exterior entry 15 lite door with Simpson wood door F370 with authentic divided lites. To be clear, new millwork will replace old millwork which dates back to the 1970s at best.

Description of Proposed Work (Planning Staff)

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

lacksquare

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

 \mathbf{Z}

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

contractor/agent for the owners- Martin and Nancy Hanssman

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

HDC Approval Date

Planning Staff Comments

--







5. 99 Bow Street - Recommended Approval

Background : The applicant is seeking approval for changes to a previously approved desi	ign
(changes to deck size).	

Staff Comment: Recommended Approval

St	air	υl	ati	O	n	s:
•		•	•	•		••

1.	
2.	
3.	

4/8/22, 11:14 AM OpenGov



04/08/2022

LUHD-458

Historic District Commission Work Session or Administrative Approval Application

Status: Active Date Created: Apr 8, 2022

Applicant

Richard Desjardins richard@mchenryarchitecture.com 4 Market Street Portsmouth, NH 03801 603-430-0274

Location

99 BOW ST Portsmouth, NH 03801

Owner:

MARTINGALE LLC 3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

Project Information

Brief Description of Proposed Work

Proposed Work:

- Increase the size of the Martingale Wharf deck.
- Provide a separate deck at the west end of the Martingale Wharf for the use of the public.
- · Install various planter boxes to soften the space and act as "green" PARTITIONS between the public deck and the Martingale.

HISTORIC DISTRICT COMMISSION CHANGES:

tHE FOLLOWING CHANGES HAVE BEEN MADE BETWEEN THE ORIGINAL HISTORIC DISTRICT COMMISION APPROVAL ON OCTOBER 6TH, 2021. REFER TO THE APPENDIX FOR THE OCTOBER 6TH APPROVAL PACKAGE.

- THE Martingale Wharf deck (EAST DECK EXPANSION) HAS BEEN REDUCED BY 543 SF
- THE MARTINGALE WHARF PUBLIC OVERLOOK DECK (WEST DECK EXPANSION) HAS BEEN ENLARGED TO 492 SF.
- ALL BRONZE MURALS, SCREENING, AND DECORATIVE RAIL HAVE BEEN REMOVED FROM THE SCOPE OF WORK. RAILING TO MATCH EXISTING HAS REPLACED THE DECORATIVE RAIL REFER TO SHEET A9.
- · MINOR ALTERATIONS TO PLATER LOCATION, SIZES, AND QUANTITIES REFER TO PLANS AND SHEET L1

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

Full Name (First and Last)

Richard Desjardins

Mailing Address (Street)

4 market Street

State

NH

Business Name (if applicable)

McHenry Architecture

City/Town

Portsmouth

Zip Code

03801

MARTINGALE WHARF DECK EXPANSION

HISTORIC DISTRICT COMMISSION - APPROVED OCTOBER 6TH, 2021 PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

PROPOSED WORK:

- INCREASE THE SIZE OF THE MARTINGALE WHARF DECK.
- · PROVIDE A SEPARATE DECK AT THE WEST END OF THE MARTINGALE WHARF FOR THE USE OF THE PUBLIC.
- INSTALL VARIOUS PLANTER BOXES TO SOFTEN THE SPACE AND ACT AS "GREEN" PARTITIONS BETWEEN THE PUBLIC DECK AND THE MARTINGALE.

HISTORIC DISTRICT COMMISSION CHANGES:

THE FOLLOWING CHANGES HAVE BEEN MADE BETWEEN THE ORIGINAL HISTORIC DISTRICT COMMISION APPROVAL ON OCTOBER 6TH, 2021. REFER TO THE APPENDIX FOR THE OCTOBER 6TH APPROVAL PACKAGE.

• THE MARTINGALE WHARF DECK (EAST DECK EXPANSION) HAS BEEN REDUCED BY

- THE MARTINGALE WHARF PUBLIC OVERLOOK DECK (WEST DECK EXPANSION)
 HAS BEEN ENLARGED TO 492 SF.
 ALL BRONZE MURALS, SCREENING, AND DECORATIVE RAIL HAVE BEEN REMOVED
 FROM THE SCOPE OF WORK. RAILING TO MATCH EXISTING HAS REPLACED THE DECORATIVE RAIL REFER TO SHEET A9.

 MINOR ALTERATIONS TO PLATER LOCATION, SIZES, AND QUANTITIES REFER TO
- PLANS AND SHEET L1

SHEET LIST		
Sheet Number	Sheet Name	
С	HISTORIC DISTRICT COMMISSION	
C1	EXISTING CONDITIONS PLAN	
C2	NHDES PERMIT PLAN	
A1	EXISTING PHOTOGRAPHS OF DECK	
A2	EXISTING DECK PLAN	
A3	EXISTING NORTH ELEVATION	
A4	PERSPECTIVE VIEW OF DECK EXPANSION	
A5	PERSPECTIVE VIEW OF DECK EXPANSION	
A6	PERSPECTIVE VIEW OF EAST DECK EXPANSION	
A7	PERSPECTIVE VIEW OF WEST DECK EXPANSION	
A8	DECK EXPANSION PLAN	
A9	ENLARGED PLANS, ELEVATIONS, AND DETAILS	
A10	DECK EXPANSION NORTH ELEVATION	
A11	SOUTH ELEVATION AT BOW STREET	
A12	CUT SHEETS AND MATERIAL SELECTIONS	
L1	PROPOSED LANDSCAPE DETAILS	
APPENDIX	HISTORIC DISTRICT COMMISSION APPROVAL PACKAGE - OCTOBER 06, 2021	



LOCUS: 99 BOW ST SUITE W, PORTSMOUTH, NH 03801



PERSPECTIVE OF PROPOSED DECK EXPANSION



PERSPECTIVE OF EXISTING DECK

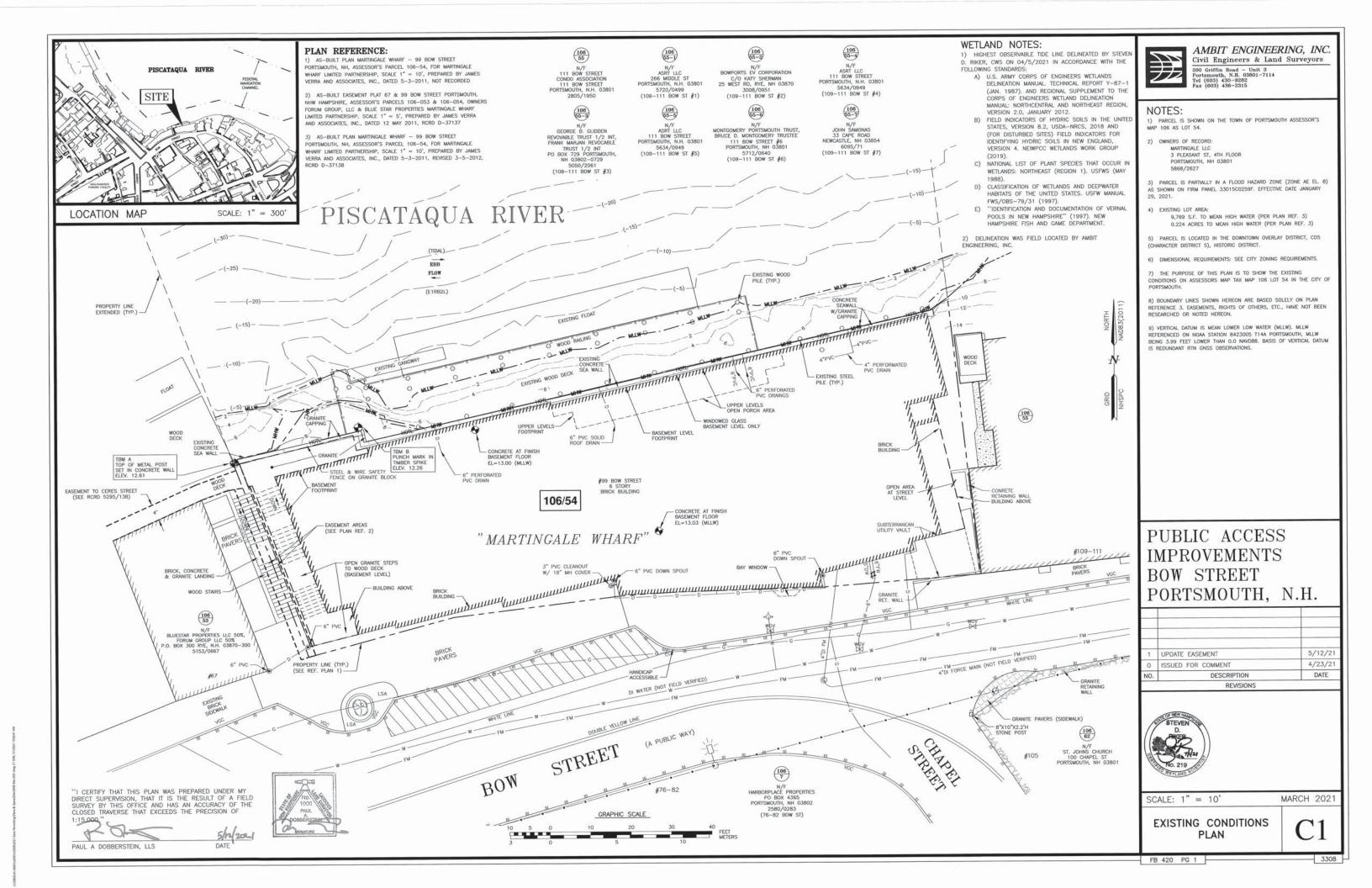
McHENRY ARCHITECTURE

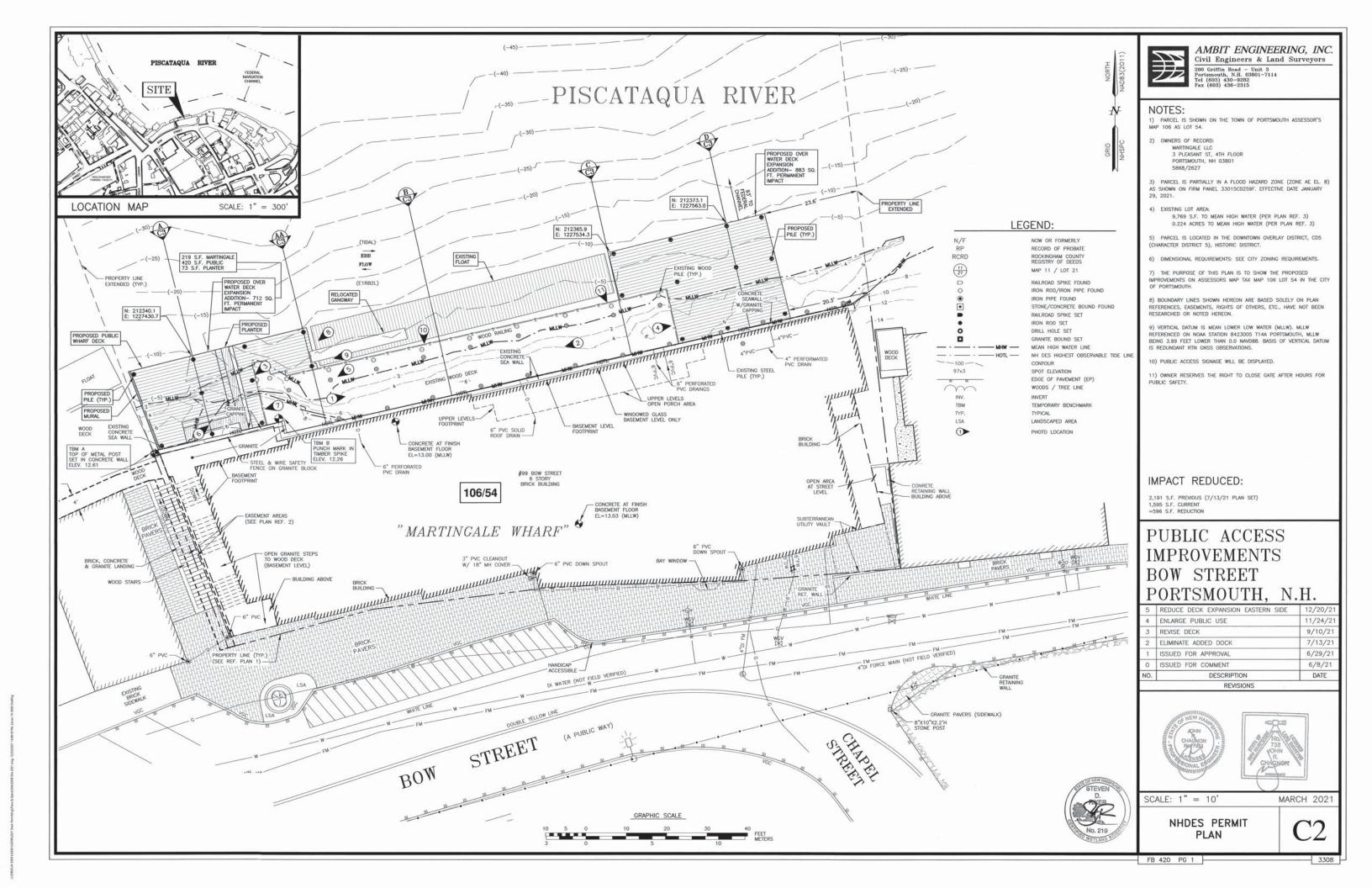
PRINTED AT 1/2 SCALE ON 11X17 PAPER 04/07/2022

NOT TO SCALE

RD / MG

PORTSMOUTH, NH 03801









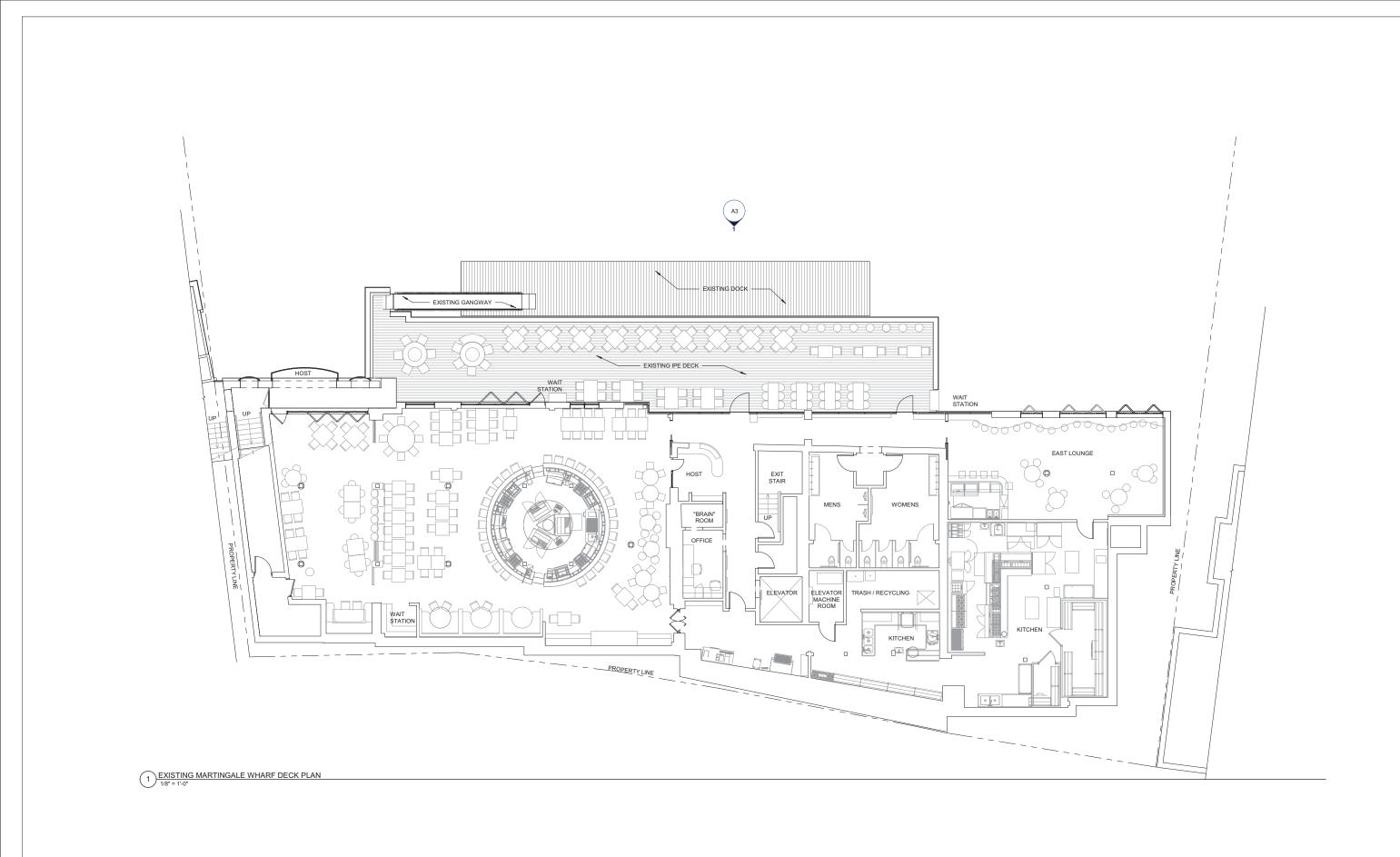








04/07/2022 NOT TO SCALE RD / MG



PRINTED AT 1/2 SCALE ON 11X17 PAPER 04/07/2022 1/8" = 1'-0" RD / MG

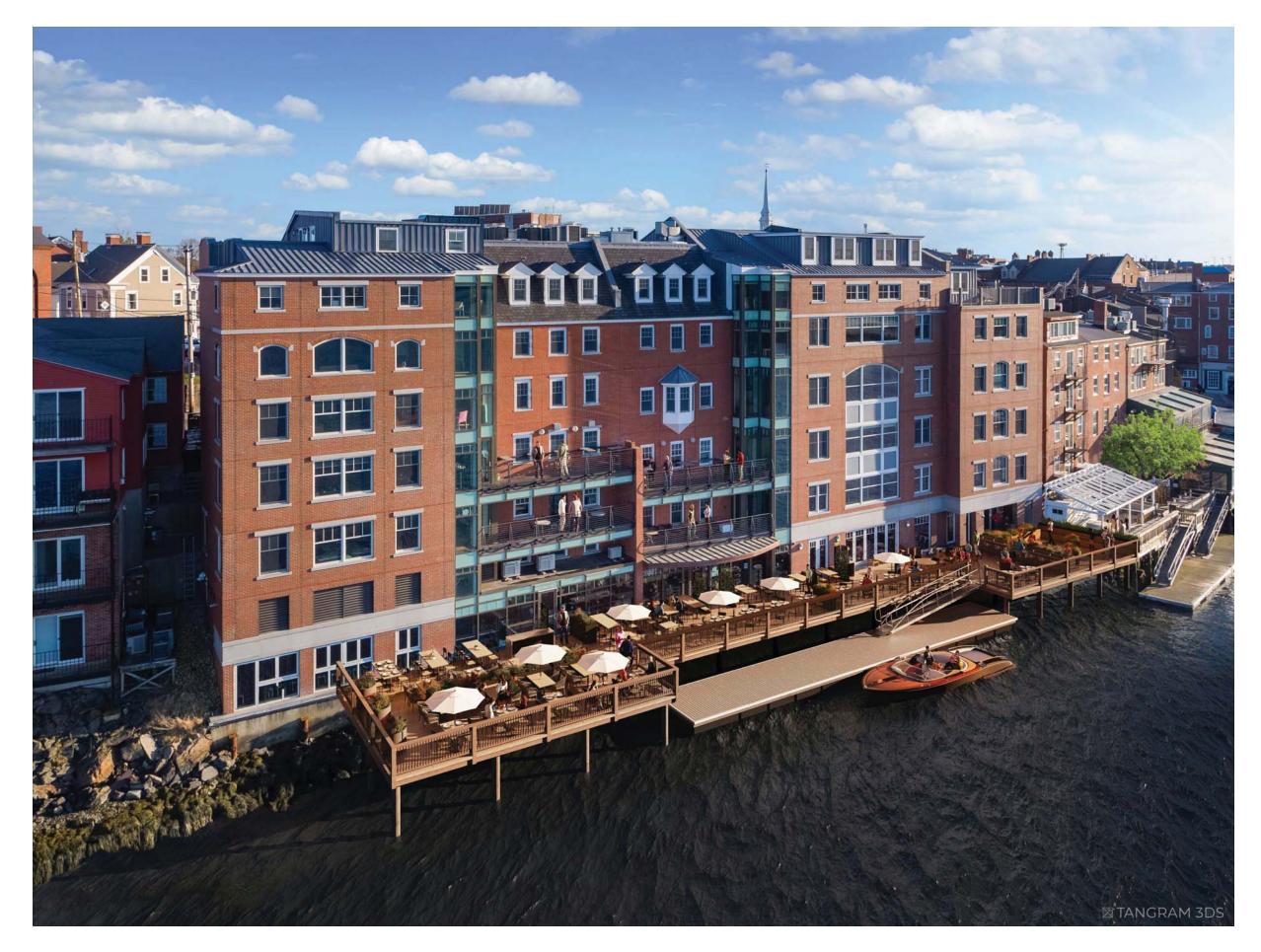


PRINTED AT 1/2 SCALE ON 11X17 PAPER



04/07/2022 NOT TO SCALE

RD / MG



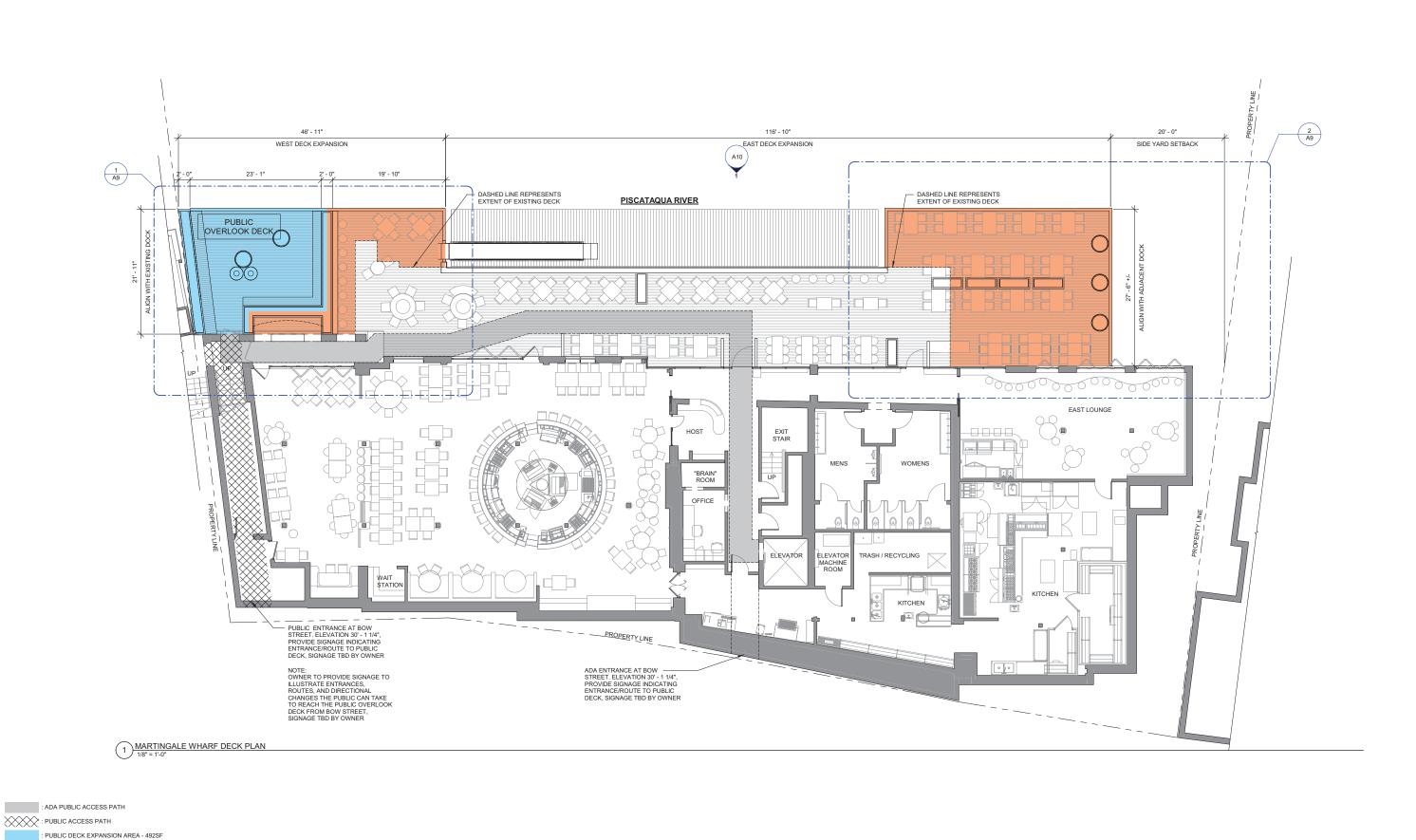
PERSPECTIVE VIEW OF DECK EXPANSION
PORTSMOUTH HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL - 05/04/2022

04/07/2022 NOT TO SCALE

RD / MG







PRINTED AT 1/2 SCALE ON 11X17 PAPER

MARTINGALE WHARF DECK EXPANSION 99 BOW ST. SUITE W PORTSMOUTH, NH 03801

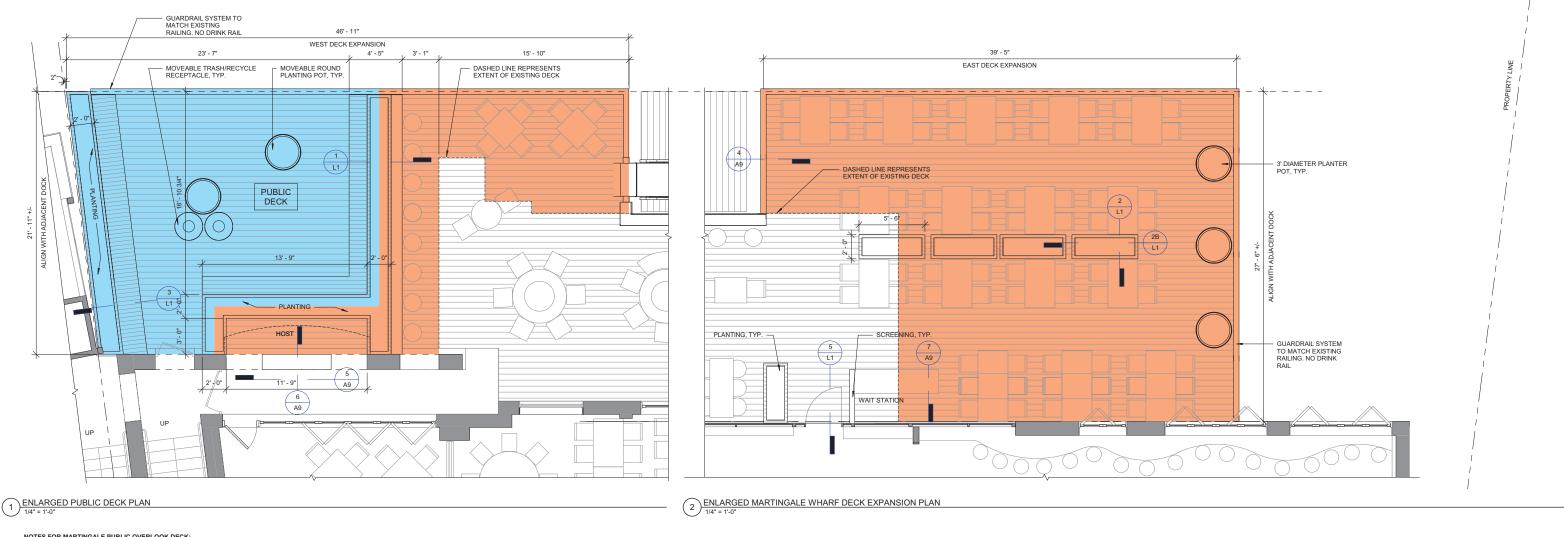
: MARTINGALE WHARF DECK EXPANSION AREA - 1,215 SF

GRAPHIC KEY

DECK EXPANSION PLAN PORTSMOUTH HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - 05/04/2022







NOTES FOR MARTINGALE PUBLIC OVERLOOK DECKS

- OCCUPANCY LIMITED TO 50 PERSONS.
- 2. SUBJECT TO RULES AND REGULATIONS, WHICH MAY CHANGE OVER TIME, AS DEEMED NECESSARY BY THE PROPERTY OWNER, MARTINGALE, LLC.
 - THE FOLLOWING ARE INITIAL RULES & REGULATIONS:
 A. NO SMOKING.
 B. NO DRINKING ALCOHOLIC BEVERAGES.
 C. NO AUDIBLE MUSIC.

 - NO FISHING. NO DOCKING BOATS, KAYAKS OR ANYTHING FLOATING TO THE
 - DECK. NO COOLERS, TENTS, CHAIRS, BIKES, OR OTHER SIMILAR
 - FURNITURE. NO PETS.

 - NO PETS.

 NO OPERATION OF DRONES OR KITES.

 OCCUPANCY LIMITED TO 50 PERSONS.

 CLOSED DURING THE HOURS OF 9 PM TO 9 AM.

 CLOSED DURING THE HOURS OF 9 PM TO 9 AM.

 CLOSED DURING INCLEMENT WEATHER OR FOR REASONABLE

 SAFETY AND MAINTENANCE CONSIDERATIONS.

 THE RIGHT TO REQUEST PERSON(S) HAVING UNDESIRABLE

 BEHAVIOR TO LEAVE AND IF NECESSARILY HAVE POLICE

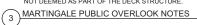
 REMOVE SAID PERSON(S) AS TRESPASSING.

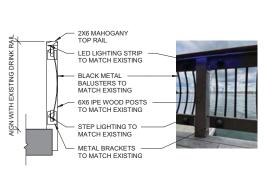
 THE INTENT OF THIS PUBLIC OVERLOOK IS TO PROVIDE THE

 PUBLIC A PLACE TO ENJOY THE VIEWS AND REST AND NOT A

 PLACE FOR GATHERINGS, PARTIES, DOCKING, FISHING, OR

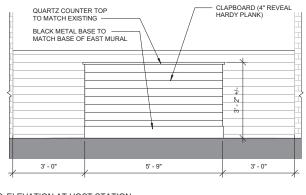
 PROLONGED USE.
- 3. MARTINGALE, LLC WILL PROVIDE INSURANCE, MAINTENANCE, REPAIRS, AND MANAGEMENT OF THE PUBLIC OVERLOOK DECK AT ITS SOLE COST. THIS INCLUDES BUT IS NOT LUMITED TO PROVIDING INSURANCE, MAINTAINING PLANTS AND LANDSCAPE FEATURES, EMPTYING TRASH, CLEANING, AND SHOVELING SNOW.
- 4. SIGNAGE WILL BE PROVIDED, INSTALLED, AND MAINTAINED AT THE WEST ENTRANCE STAIRS AND MAIN ENTRANCE DOOR LOCATED ON BOW STREET. THE SIGNAGE WILL ALLOW THE PUBLIC ACCESS TO THE WATERFRONT FOR ACCESSING THE PUBLIC OVERLOOK DECK. MARTINGALE, LLC, RESERVES THE RIGHT TO CHANGE THE LOCATION OF SIGNAGE AND WORDING TO PROVIDE THE PUBLIC WITH EFFECTIVE SIGNAGE.
- 5. MARTINGALE, LLC., RESERVES THE RIGHT TO ALTER THE LOCATION AND SIZE OF PLANTERS, BENCHES, TRASH RECEPTACLES, RECYCLING RECEPTACLES, SIGNAGE, SECURITY GATE AND ANY OTHER IMPROVEMENT(S) NOT DEEMED AS PART OF THE DECK STRUCTURE.



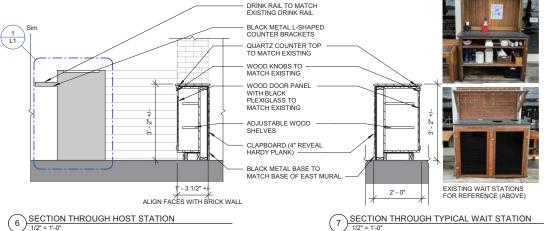


PROPOSED GUARDRAIL SECTION DETAIL

1/2" = 1'-0"



5 ELEVATION AT HOST STATION 1/2" = 1'-0"



7 SECTION THROUGH TYPICAL WAIT STATION
1/2" = 1'-0"

ENLARGED PLANS, ELEVATIONS, AND DETAILS PORTSMOUTH HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - 05/04/2022





McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire

PRINTED AT 1/2 SCALE ON 11X17 PAPER 04/07/2022 AS INDICATED RD / MG



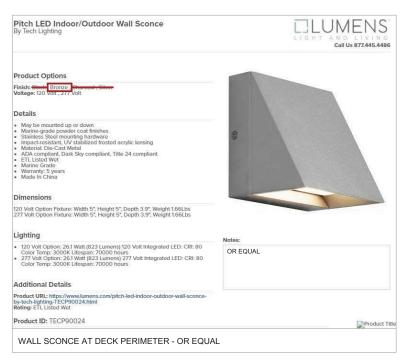
PRINTED AT 1/2 SCALE ON 11X17 PAPER



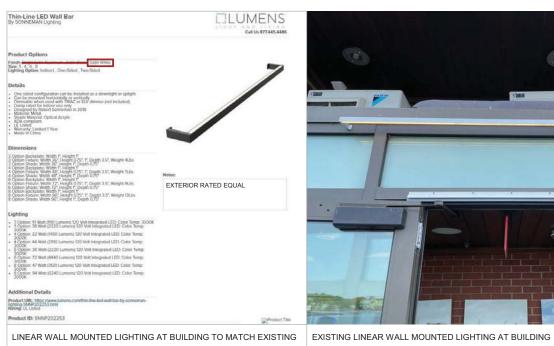
1) SOUTH ELEVATION - BOW STREET

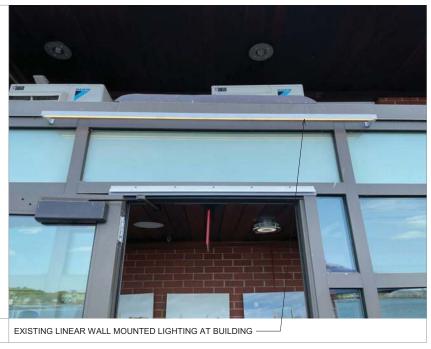




















GATE AT MARTINGALE PUBLICK OVERLOOK DECK TO MATCH EXISTING GATE TO THE MARTINGALE DECK. SIGNAGE REGARDING USE, RULES, AND REGULATIONS TO BE ATTACHED

PROPOSED GATE AT PUBLIC OVERLOOK DECK



AT MARTINGALE PUBLIC OVERLOOK TO BE SIMILAR TO CITY OF PORTSMOUTH RECEPTACLES

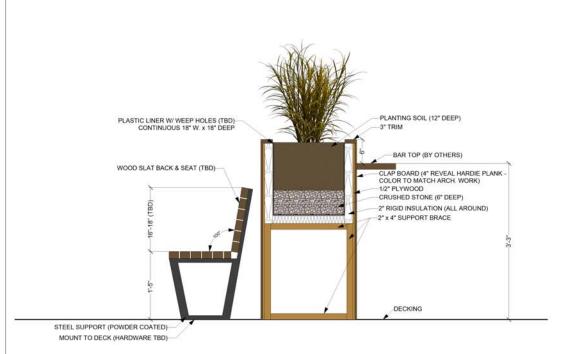


2 TRASH AND RECYCLE RECEPTACLES

MARTINGALE WHARF DECK EXPANSION 99 BOW ST. SUITE W

PORTSMOUTH, NH 03801



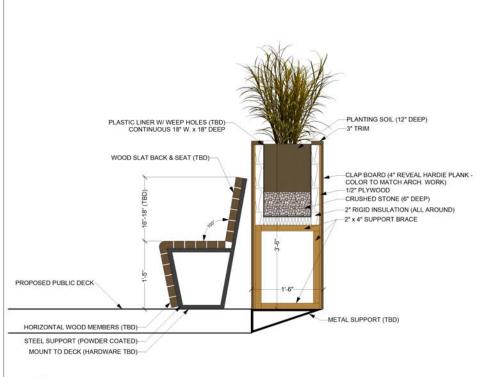


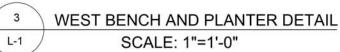
PLANTING BOX AND BAR DETAIL SCALE: 1"=1'-0"

PLANTING SOIL (12" DEEP) PLANTING SOIL (12" DEEP) 3" TRIM PLASTIC LINER W/ WEEP HOLES (TBD)-CONTINUOUS 18" W. x 18" DEEP -CLAP BOARD (4" REVEAL HARDIE PLANK - COLOR TO MATCH ARCH, WORK) -1/2" PLYWOOD CLAP BOARD (4" REVEAL HARDIE PLANK COLOR TO MATCH ARCH. WORK) -1/2" PLYWOOD CRUSHED STONE (6" DEEP) CRUSHED STONE (6" DEEP) 2" RIGID INSULATION (ALL AROUND) 2" RIGID INSULATION (ALL AROUND) 2" x 4" SUPPORT BRACE -2" x 4" SUPPORT BRACE DECKING DECKING

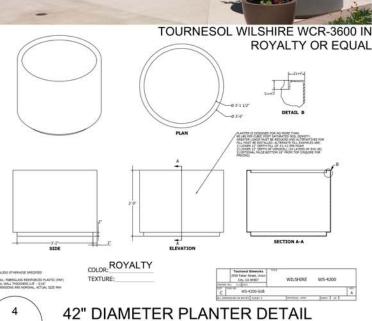
> SOLITARY PLANTER (18" W. x 48" L. x 35" HT.) SCALE: 1"=1'-0"

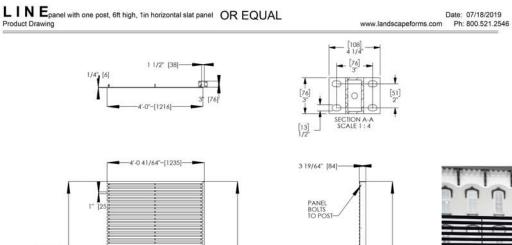












Drawing: BX0603 Dimensions are in inches [mm]

METAL SCREEN PARTITION AT WAITRESS STAND 5 L-1 SCALE: 1"=1'-0"

PROPOSED LANDSCAPE DETAILS

SCALE: 1"=1'-0"

L-1





APPENDIX

THE FOLLOWING PAGES ENCOMPASS THE NOTICE OF APPROVAL AND THE DRAWING PACKAGE THAT WAS APPROVED AT THE HISTORIC DISTRICT COMMISSION MEETING ON OCTOBER 6^{TH} , 2021



CITY OF PORTSMOUTH

Planning Department 1 Junkins Avenue Portsmouth, New Hampshire 03801 (603) 610-7216

HISTORIC DISTRICT COMMISSION

October 20, 2021

Martingale LLC 30 Penhallow Street, Suite 300 East Portsmouth, NH 03801

RE: Certificate of Approval for property located at 99 Bow Street (LU-21-181)

Dear Owner:

The Historic District Commission, at its regularly scheduled meeting of **Wednesday**, **October 06**, **2021**, considered your application for new construction to an existing structure (expand waterfront deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106, Lot 54 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Diistricts. As a result of said consideration, the Commission voted to **grant** the Certificate of Approval as presented using Alternate Option B (squared-off front of the deck) and with the removal of the artwork. The applicant shall return for Administrative Approval with a revised artwork plan (to consider shipbuilding versus whaling).

Findings of Fact

A. Purpose and Intent

The proposed application meets the following objective(s) of the Historic District (as provided in Section 10.631.20 of the Zoning Ordinance):

-Conservation and enhancement of property values.

B. Review Criteria

The proposed application also meets the following review criteria of the Historic District (as provided in Section 10.635.70 of the Zoning Ordinance):

-Compatibility of design with surrounding properties.

The Commission's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Commission's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

Approvals may also be required from other City Committees or Boards. Once all required approvals have been received, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

This approval shall expire unless a building permit is issued within a period of one (1) year from the date granted by the Historic District Commission unless an extension is granted by the Commission in accordance with Section 10.636.70 of the Zoning Ordinance.

Please note that any changes or modifications to this application require review and approval from the Commission prior to implementation and additional fees may apply.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

Nicholas J. Cracknell, AICP, Principal Planner

for Jonathan Wyckoff, Chairman of the Historic District Commission

cc: Paul Garand, Interim Chief Building Inspector

Rosann Maurice-Lentz, City Assessor

Richard Desjardins, AIA, McHenry Architecture

MARTINGALE WHARF DECK EXPANSION

HISTORIC DISTRICT COMMISSION - OCTOBER 2021, PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

PROPOSED WORK:

- INCREASE THE SIZE OF THE MARTINGALE WHARF DECK AND DOCK.
 PROVIDE A SEPARATE DECK AT THE WEST END OF THE MARTINGALE WHARF FOR THE USE OF THE PUBLIC.
 FRAME THE NEW DECKS WITH TWO MURALS THAT RELATE TO PORTSMOUTH'S MARITIME HISTORY. ONE MURAL WILL BE LOCATED AT THE EAST END OF THE EXPANDED MARTINGALE WHARF RESTAURANT DECK, AND ONE MURAL WILL BE LOCATED AT THE WEST END OF THE NEW PUBLIC DECK.
- INSTALL VARIOUS PLANTER BOXES TO SOFTEN THE SPACE AND ACT AS "GREEN" PARTITIONS BETWEEN THE PUBLIC DECK AND THE MARTINGALE.

SHEET LIST				
Sheet Number	Sheet Name			
С	HISTORIC DISTRICT COMMISSION PUBLIC HEARING			
C1	EXISTING CONDITIONS PLAN			
C2	NHDES PERMIT PLAN			
A1	EXISTING PHOTOGRAPHS OF DECK			
A2	EXISTING DECK PLAN			
A3	EXISTING NORTH ELEVATION			
A4	PERSPECTIVE VIEW OF DECK EXPANSION			

	SHEET LIST CONT.
Sheet Number	Sheet Name
A5	PERSPECTIVE VIEW OF DECK EXPANSION
A6	PERSPECTIVE VIEW OF EAST MURAL
A7	PERSPECTIVE VIEW OF WEST MURAL
A8	PERSPECTIVES OF EAST AND WEST MURAL
A9	DECK EXPANSION PLAN
A10	DECK EXPANSION NORTH ELEVATION
A11	ELEVATIONS AT EAST AND WEST MURALS
A12	ENLARGED PLANS, ELEVATIONS, AND DETAILS
A13	CUT SHEETS AND MATERIAL SELECTIONS
L1	PROPOSED LANDSCAPE DETAILS
C2-A	ALTERNATE - NHDES PERMIT PLAN
A14	ALTERNATE - DECK EXPANSION PLAN
A15	ALTERNATE - DECK EXPANSION NORTH ELEVATION
A16	ALTERNATE - ELEVATIONS AT EAST AND WEST MURALS
A17	ALTERNATE - ENLARGED PLANS, ELEVATIONS, AND DETAILS
HDC - 2015	PREVIOUSLY APPROVED HISTORIC DISTRICT COMMISSION SUBMISSION PACKET - JUNE 3, 2015
COA	HISTORIC DISTRICT COMMISSION CERTIFICATE OF APPROVAL - JUNE 8, 2015



99 BOW ST SUITE W, PORTSMOUTH, NH 03801





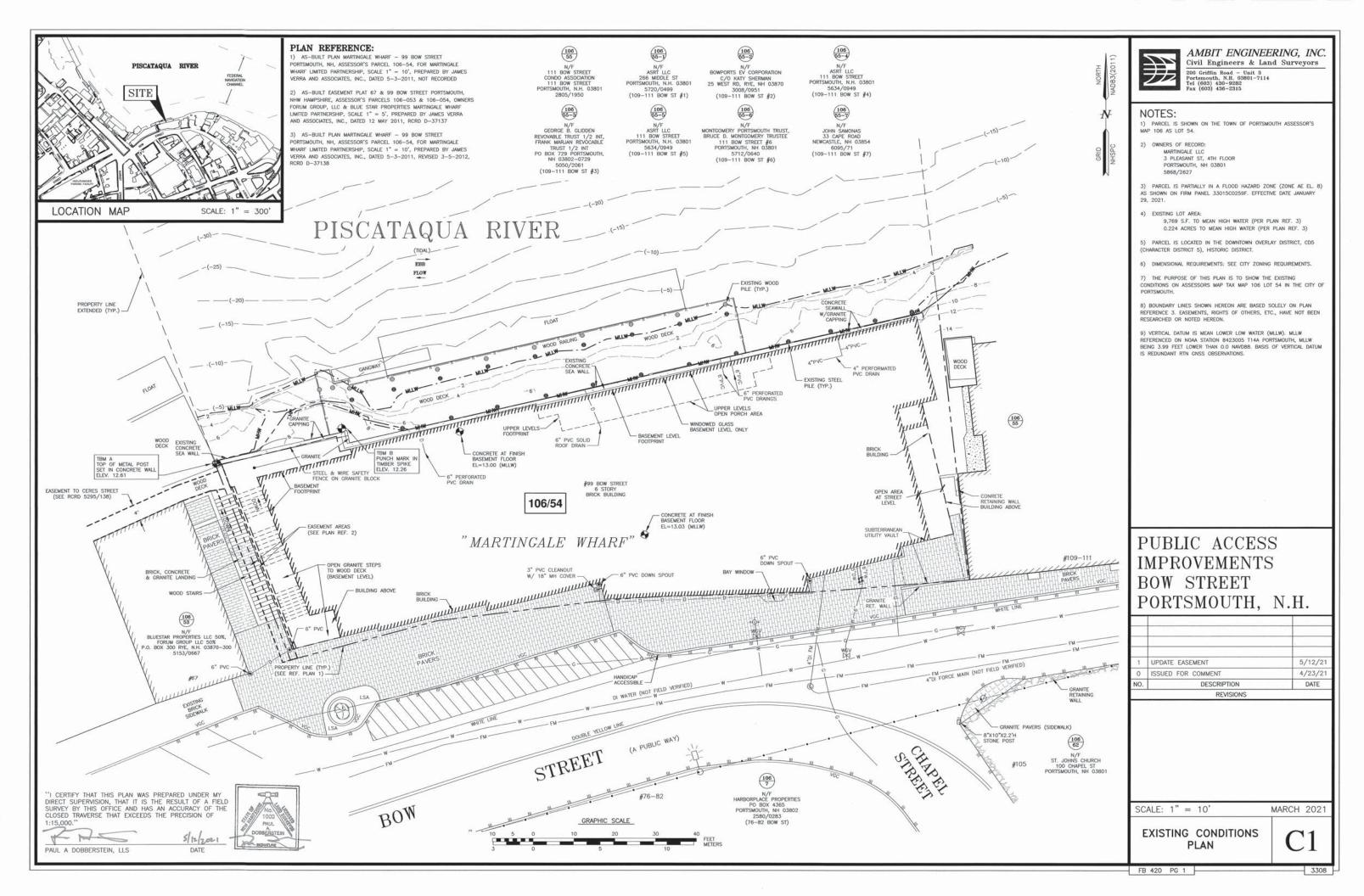


PERSPECTIVE OF EXISTING DECK

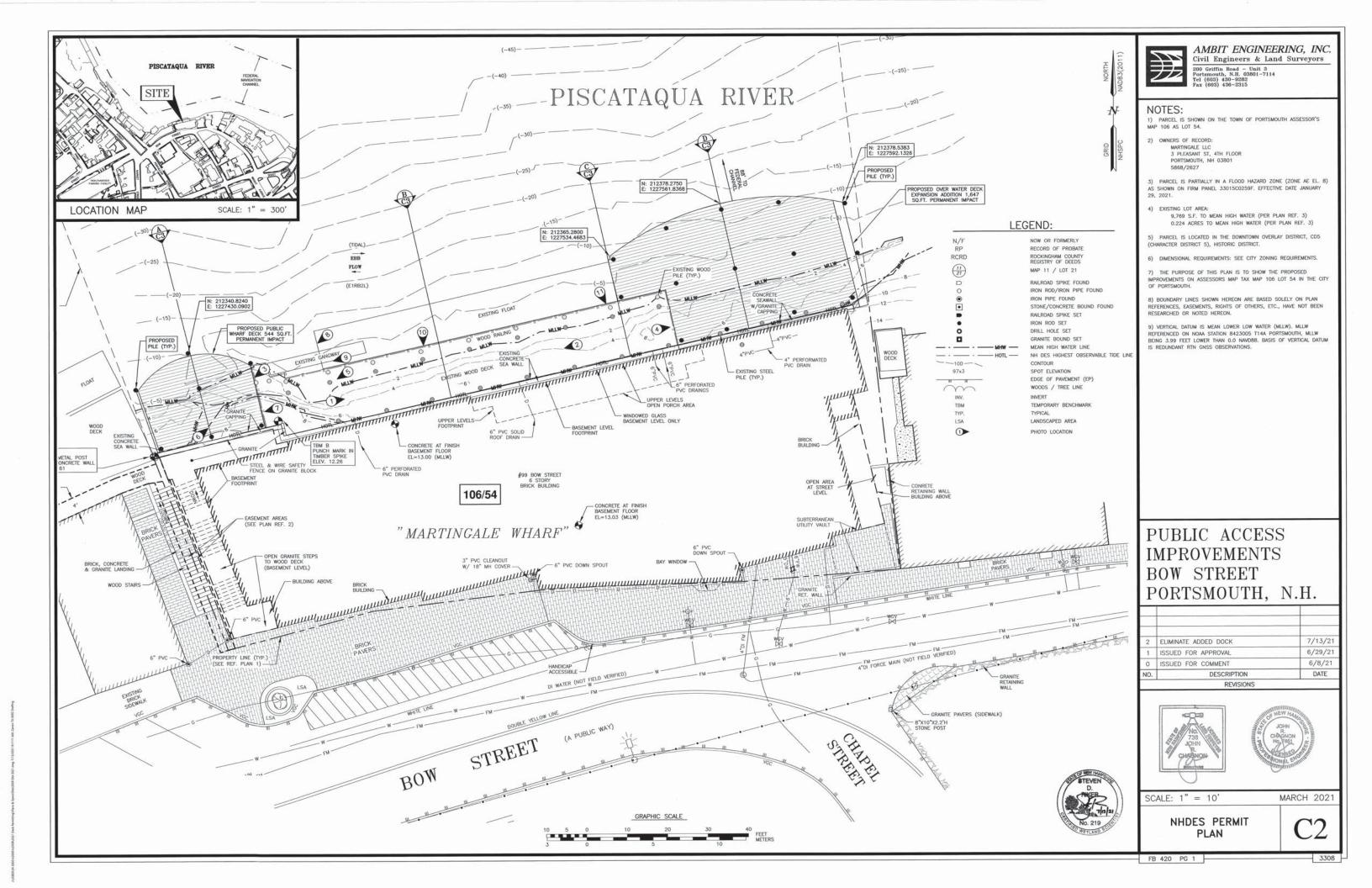
McHENRY ARCHITECTURE

PRINTED AT 1/2 SCALE ON 11X17 PAPER

09/20/2021



JACKSTAN 3300 (J350 v.) 300 v.] 300 v.







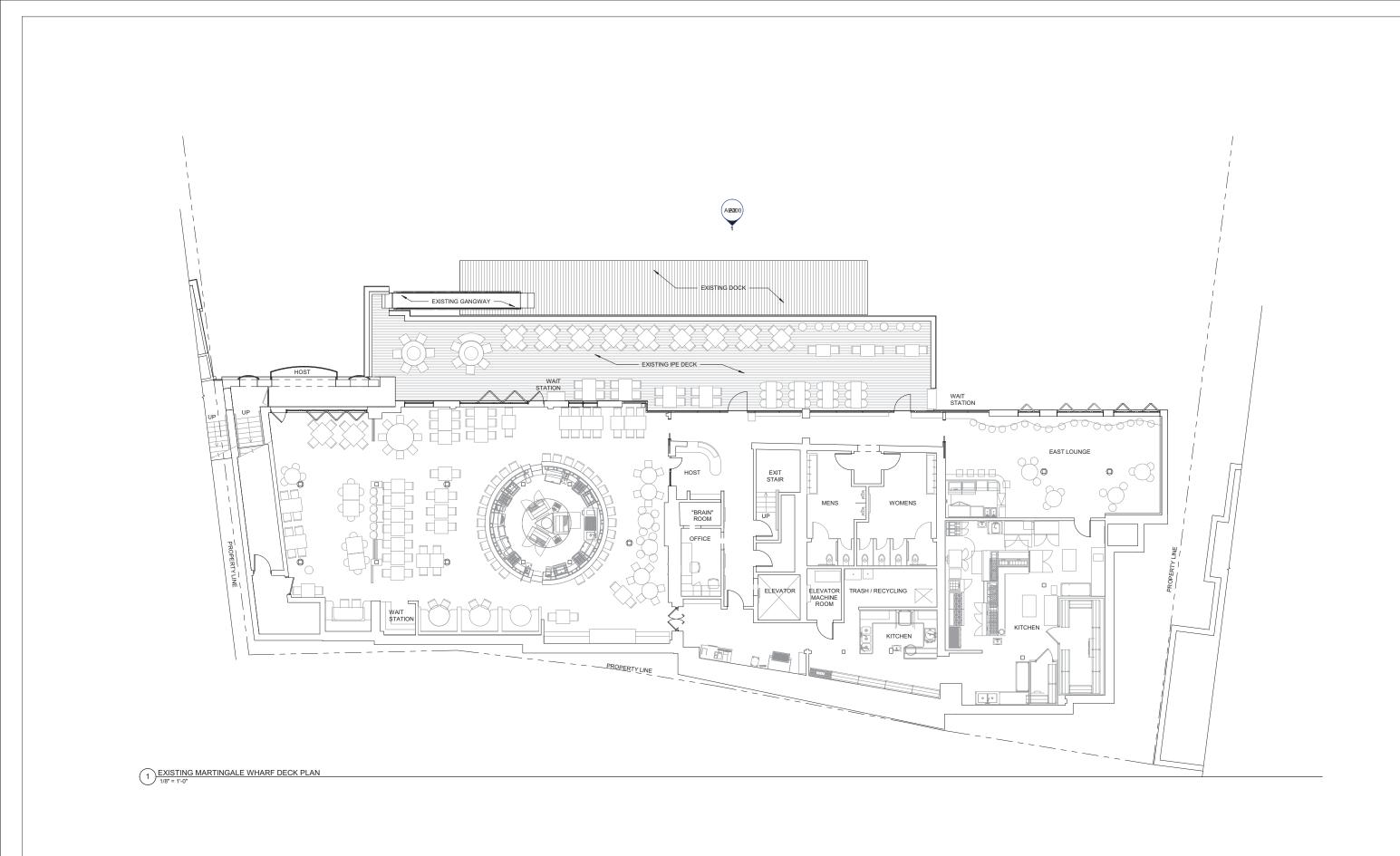








08/06/2021 NOT TO SCALE



PRINTED AT 1/2 SCALE ON 11X17 PAPER 08/06/2021 1/8" = 1'-0" RD / JJ

WARTINGALE W H A R F RESTAURANT & BAR



1) EXISTING NORTH ELEVATION 1/8" = 1'-0"

PRINTED AT 1/2 SCALE ON 11X17 PAPER 08/06/2021

1/8" = 1'-0"



08/06/2021 NOT TO SCALE





08/06/2021 NOT TO SCALE



PRINTED AT 1/2 SCALE ON 11X17 PAPER

08/06/2021

terra firm a

MARTINGALE WHARF DECK EXPANSION
99 BOW ST. SUITE W
PORTSMOUTH, NH 03801



PRINTED AT 1/2 SCALE ON 11X17 PAPER

08/06/2021



EAST MURAL AT MARTINGALE WHARF DECK

MARTINGALE RESTAURANT: NARRATIVE FOR THE EAST END BAS RELIEF SCULPTURAL MURAL

THE CITY OF PORTSMOUTH AND THE PISCATAQUA RIVER HAS A 400-YEAR HISTORY AS AN ACTIVE HARBOR AND PORT OF CALL, AND AS A VITAL SHIP BUILDING COMMUNITY.

THE PROPOSED EAST AND WEST IMAGES ON EITHER END OF THIS DOCK EXTENSION HAVE BEEN CONCEIVED AS 'BAS RELIEF' SCULPTURES. THE DESIGN IS BASED, IN PART, ON INFORMATION ABOUT THE HISTORY OF SAILORS, BOTH WHITE AND BLACK, THAT I CULLED FROM A BOOK CALLED, **BLACK JACKS** BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER.

THIS BAS RELIEF SCULPTURE HAS NUMEROUS SYMBOLIC ELEMENTS:

- BLACK SAILORS WERE CALLED 'BLACK JACKS', AND THEY WERE ABOUT 20% OF ALL AMERICAN SAILORS. BLACK JACKS SOUGHT SAILING AND WHALING AS A MEANS TO ACHIEVE FREEDOM FROM SLAVERY AND TO MAKE A LIVING.
- THE SAILOR CLOTHING IS A MIX OF THE VARIOUS STYLES OF HATS AND DRESS OF THE SAILORS THROUGH THE DECADES, INCLUDING CIVIL WAR SAILORS AND THOSE ON WHALING SHIPS.
- THE WHALE REPRESENTS THE SAILOR'S PURSUIT OF FREEDOM AND THE ECONOMY OF OIL
- THE ROPE REPRESENTS THE SAILOR'S STRUGGLE AND THE COOPERATION AMONG SAILORS OF ALL WALKS OF LIFE IN COMBINED PURSUIT OF THEIR INDIVIDUAL INDEPENDENCE. THE FOCUS OF THAT STRUGGLE, THE WHALE, SEEMINGLY SWIMS AWAY SUGGESTING AN OUTCOME THAT IS NOT KNOWN.
- THE TURBULENCE OF THE WATER REPRESENTS THE INSTABILITY AND DANGERS INHERENT IN THE LIVELIHOOD OF SAILING. THE SAILORS IN THIS IMAGE ARE SEEN STANDING ON THE WATER, AND THE HINT OF A DECK, SUGGESTING THEIR FATE AND SAFETY WERE ALWAYS IN QUESTION.
- THE SHIP IS A TYPICAL AMERICAN COMMERCIAL SCHOONER OF THE 1800'S WITH NUMEROUS SAILS AND RIGGING.
 THE TOWER OF THE BRIDGE IN THE BACKGROUND IS THE CURRENT SAILORS MEMORIAL BRIDGE. INSERTING THE CONCEPT OF 'HISTORIC DISSONANCE' WITH THE IMAGE OF THE CONTEMPORARY BRIDGE SUGGESTS THAT HISTORY IS NOT STATIC, THE STRUGGLES OF SAILORS REMAIN, AND PORTSMOUTH IS STILL A VITAL SEAPORT. THE BRIDGE WILL ALSO BE SEEN FROM THIS VIEW

PORTSMOUTH, NH 03801

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT

PUBLIC DECK: NARRATIVE FOR THE WEST END BAS RELIEF SCULPTURAL MURAL

JUST AS WITH THE PROPOSED EAST IMAGE, THE IMAGE ON THE WEST END OF THE DOCK EXTENSION HAS BEEN CONCEIVED AS A 'BAS RELIEF' SCULPTURE. THIS DESIGN IS ALSO BASED, IN PART, ON INFORMATION ABOUT THE HISTORY SAILORS, BOTH WHITE AND BLACK, CULLED FROM A BOOK CALLED, BLACK JACKS BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER

THE WEST SCULPTURE WILL HAVE DIRECT ACCESS BY THE PUBLIC FROM A STAIR SYSTEM THAT EXTENDS FROM BOW STREET ONTO A PUBLIC DECK THAT LOOKS NORTH UP THE PISCATAQUA RIVER. THERE WILL OVER 32 LINEAR FEET OF BUILT-IN BENCHES ON THIS DECK. IN THIS IMAGE, A PROPOSED BENCH IS IN THE FOREGROUND AND RUNS THE LENGTH OF THE DOCK ABOUT 16'. THE SAILOR FIGURES ARE LIFE-SIZE AND STAND BEHIND THE BENCH AS THE TOURISTS SIT ON THE BENCH. A PERFECT 'SELFIE' OPPORTUNITY.

THE THEME OF THIS BAS RELIEF IS THAT OF SAILORS AT REST AND PLAY, THE OPPOSITE THEME OF THE EAST SCULPTURE.

AS HARD AS SAILORS WORKED IN THIS DANGEROUS OCCUPATION, THERE WERE TIMES OF SLACK WIND OR EXTENDED PORT STAYS THAT ALLOWED SAILORS TIME TO RELAX. MUSIC WAS IMPORTANT TO SAILORS AND CONSEQUENTLY THEY INVENTED THE SHANTI WORK SONGS, SUNG TO AID IN COOPERATIVE TASKS SUCH AS LOADING AND UNLOADED THE VESSELS.

THE HISTORIC BOAT IN THE BACKGROUND IS ONE OF THE QUINTESSENTIAL VESSELS OF THE SHIPYARD, THE KEARSARGE, ORIGINALLY BUILT DURING THE CIVIL WAR HAS HAD NUMEROUS NAMESAKES BUILT SINCE THEN.

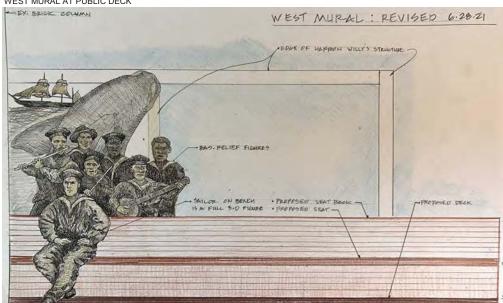
AND FINALLY, EVEN THE WHALE, UNLIKE THE ONE BEING PURSUED IN THE EAST IMAGE, CAN BE SEEN FREE OF ENCUMBRANCES AS IT LEAPS OUT OF THE WATER HEADING OUT TO SEA.

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT





WEST MURAL AT PUBLIC DECK

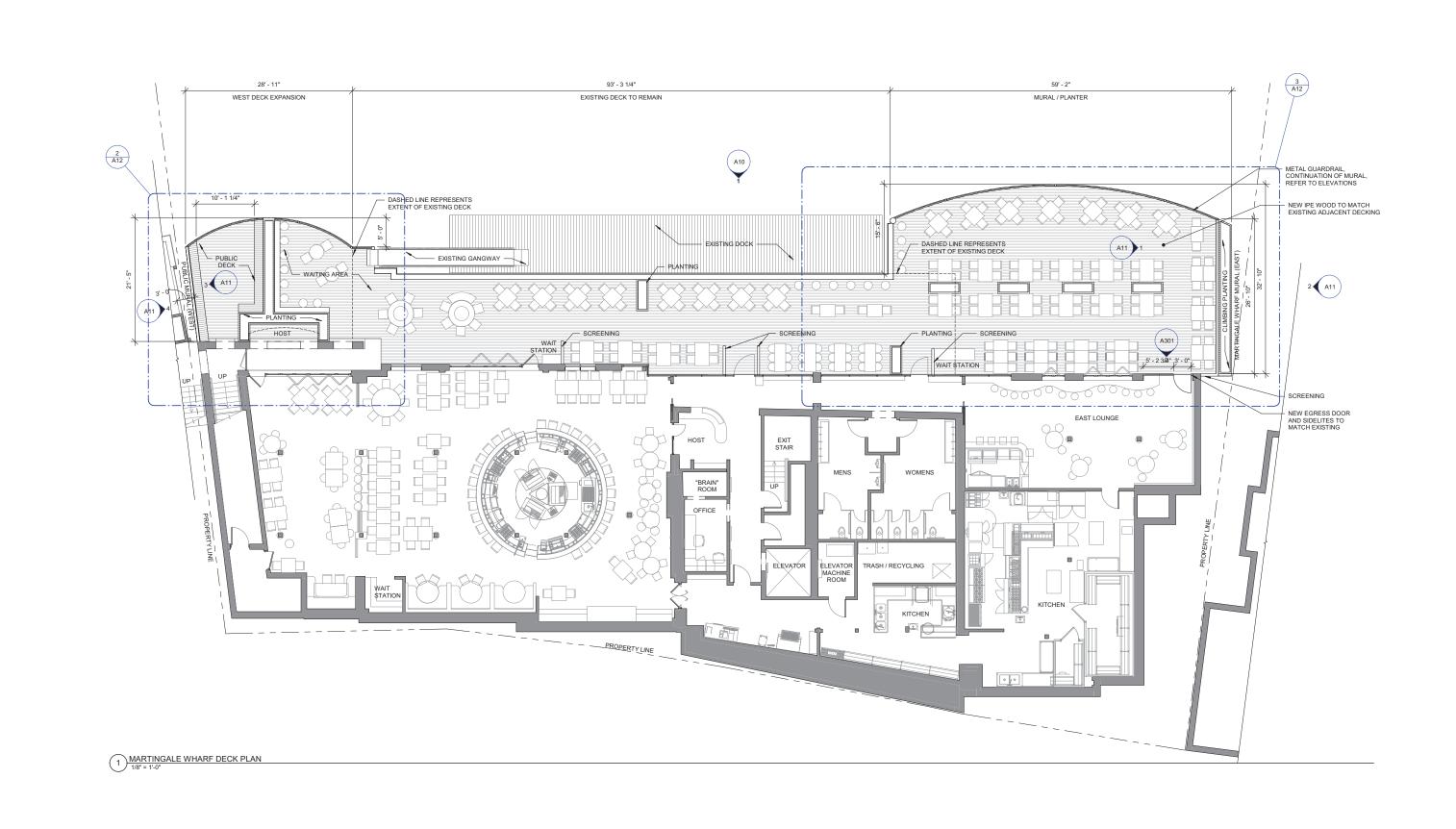


WEST MURAL AT PUBLIC DECK - SKETCH



EAST MURAL AT MARTINGALE WHARF DECK - SKETCH



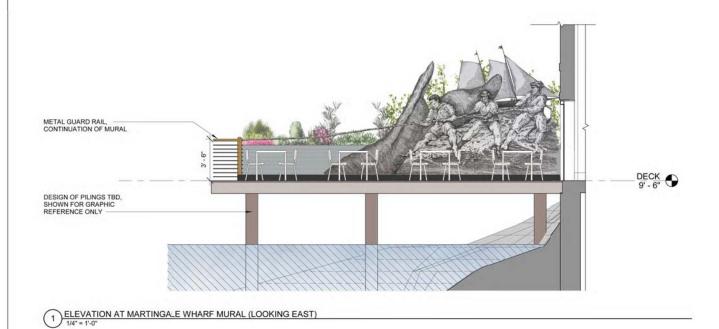


PRINTED AT 1/2 SCALE ON 11X17 PAPER



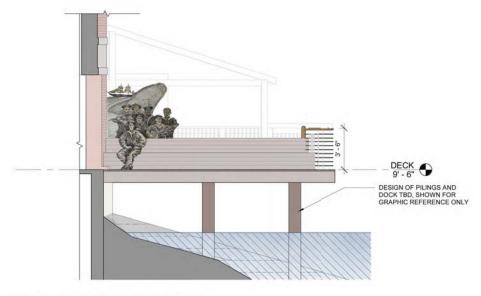
PRINTED AT 1/2 SCALE ON 11X17 PAPER

A10

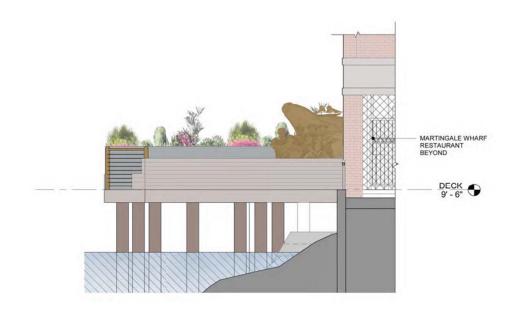




2 EAST ELEVATION (BACKSIDE OF MARTINGALE WHARF MURAL)
1/4" = 1"-0"

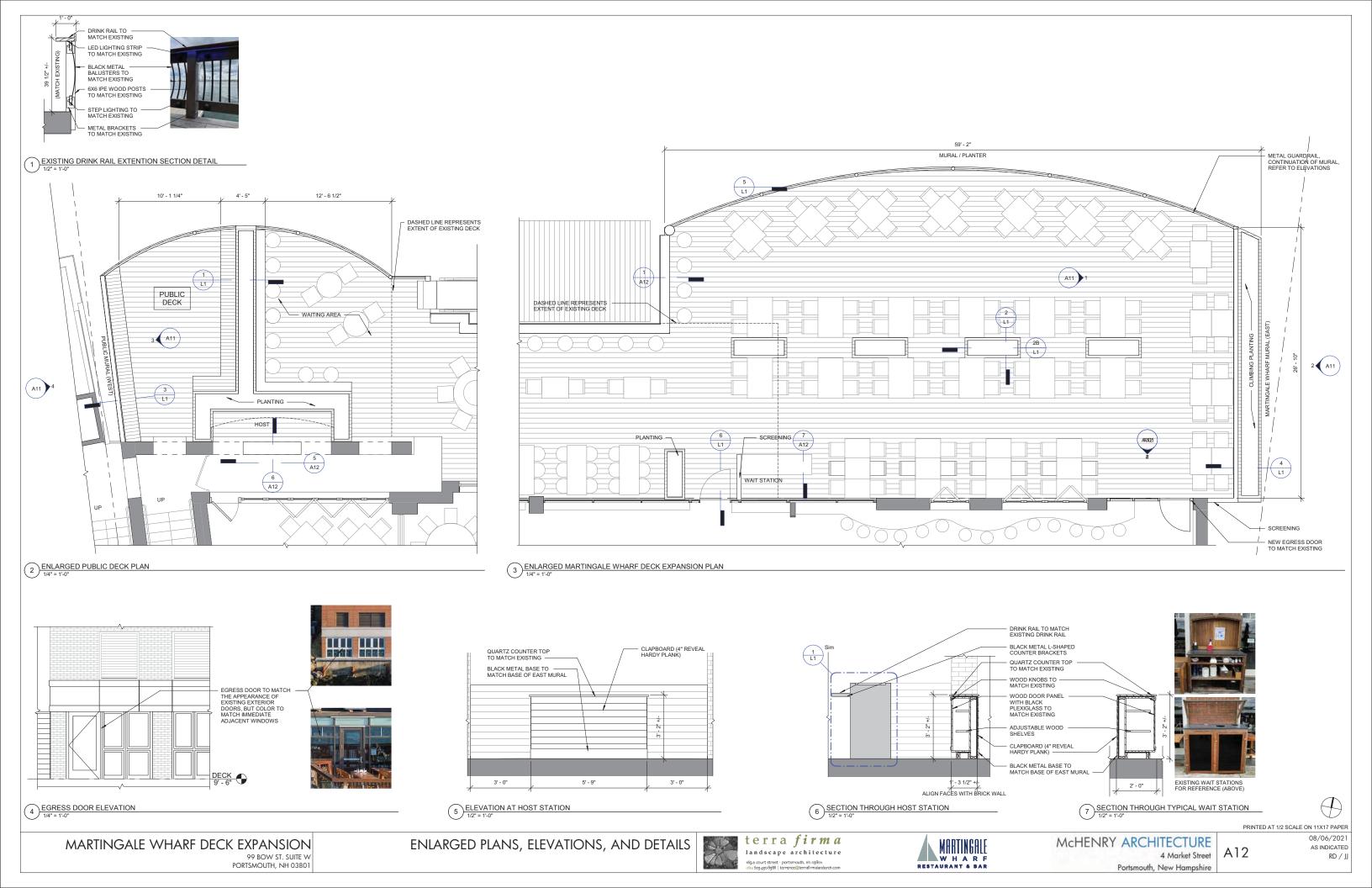


3 ELEVATION AT PUBLIC MURAL (LOOKING WEST)
1/4" = 1'.0"



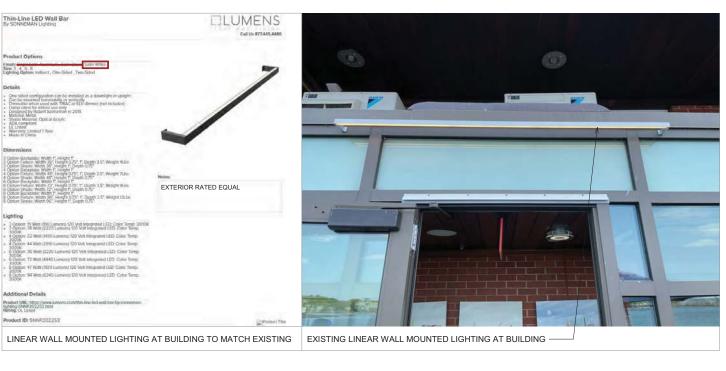
4 WEST ELEVATION (BACKSIDE OF PUBLIC DECK MURAL)

PRINTED AT 1/2 SCALE ON 11X17 PAPER





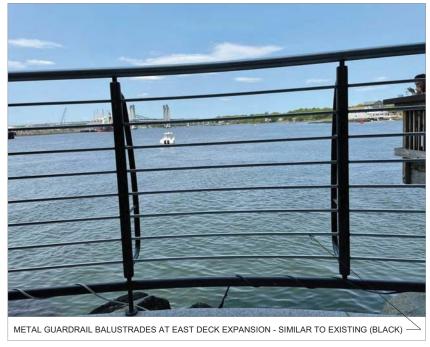




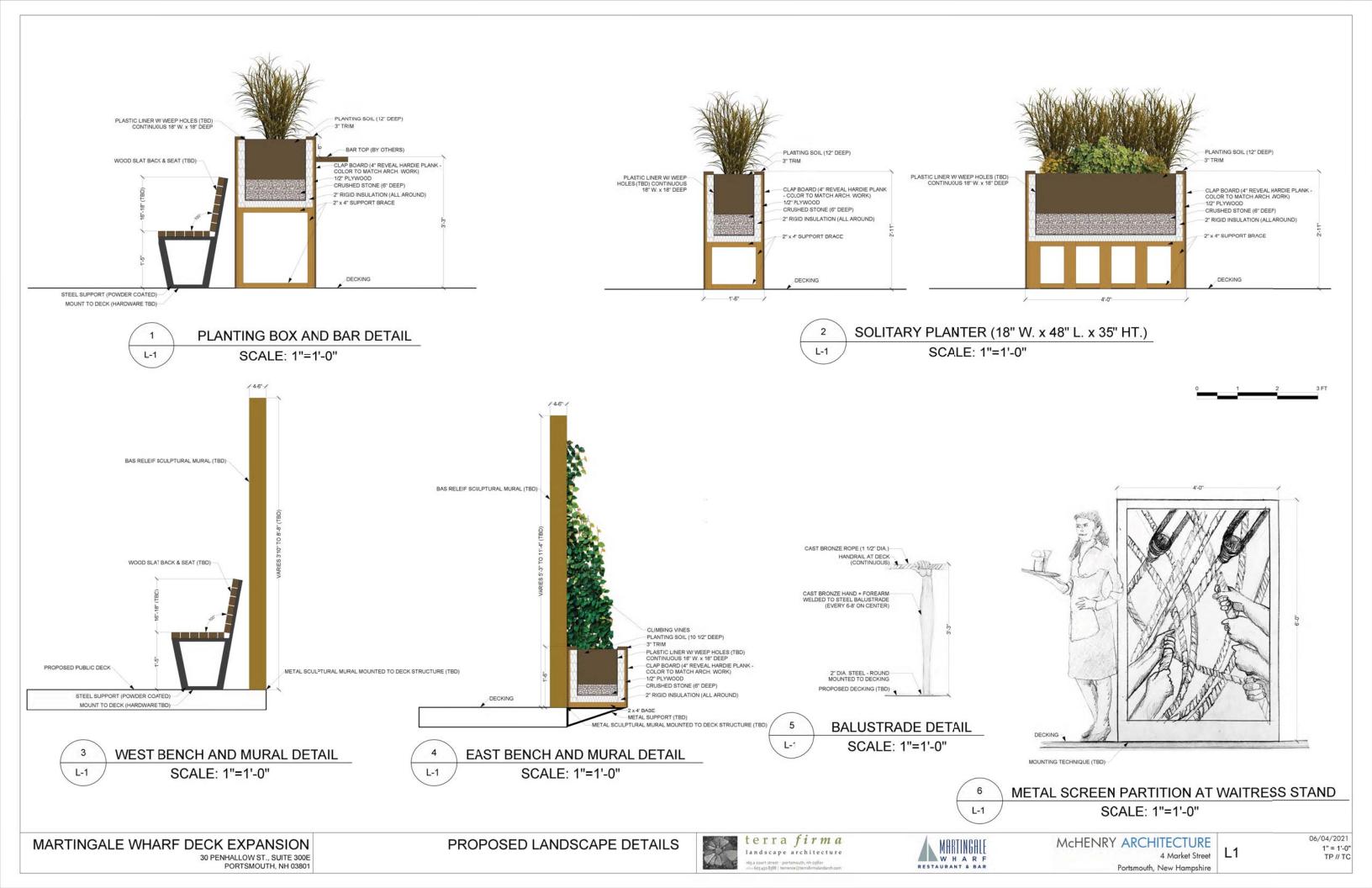




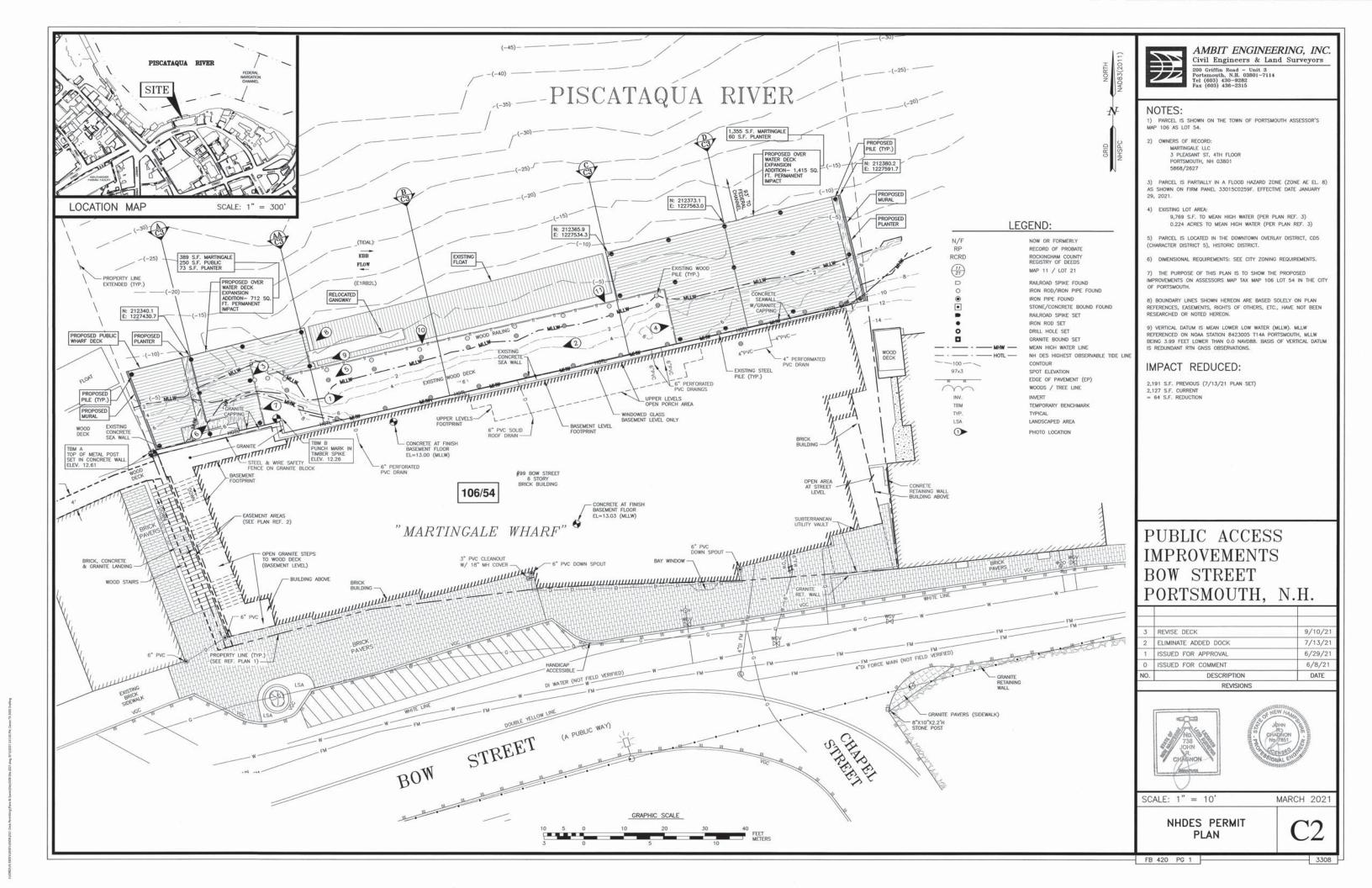


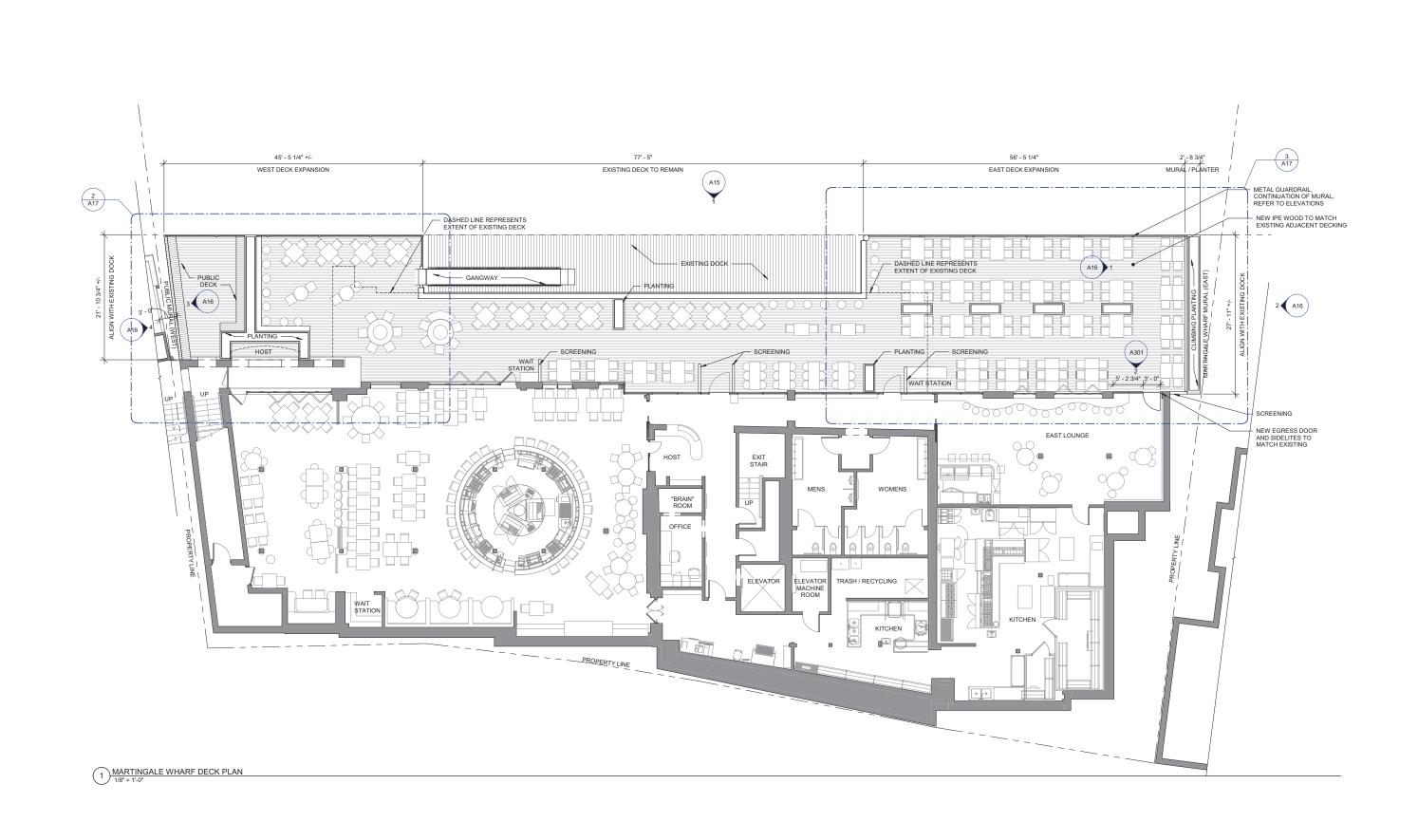






ALTERNATE DECK OPTION SHEETS C2-A – A17





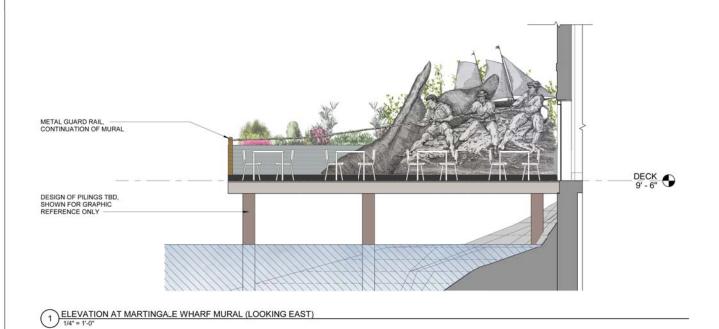
PRINTED AT 1/2 SCALE ON 11X17 PAPER 09/20/2021 1/8" = 1'-0" RD / JJ

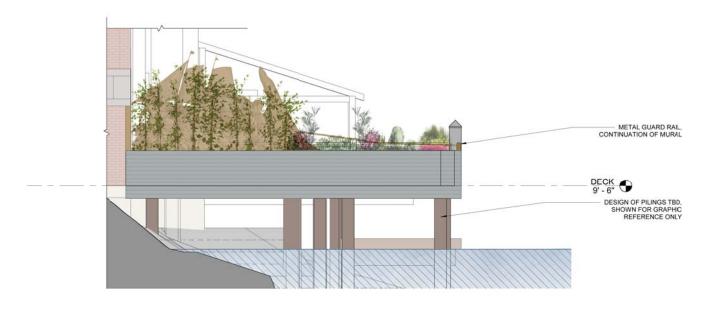


PRINTED AT 1/2 SCALE ON 11X17 PAPER

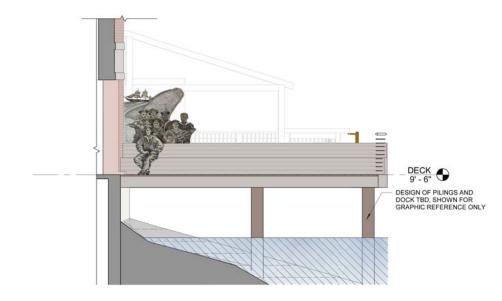
terra firma

landscape architecture

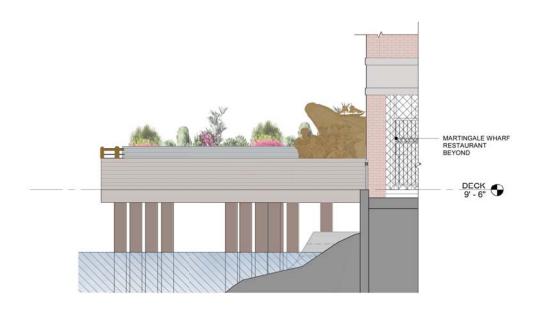




2 EAST ELEVATION (BACKSIDE OF MARTINGALE WHARF MURAL)
1/4" = 1'.0"



3 ELEVATION AT PUBLIC MURAL (LOOKING WEST)



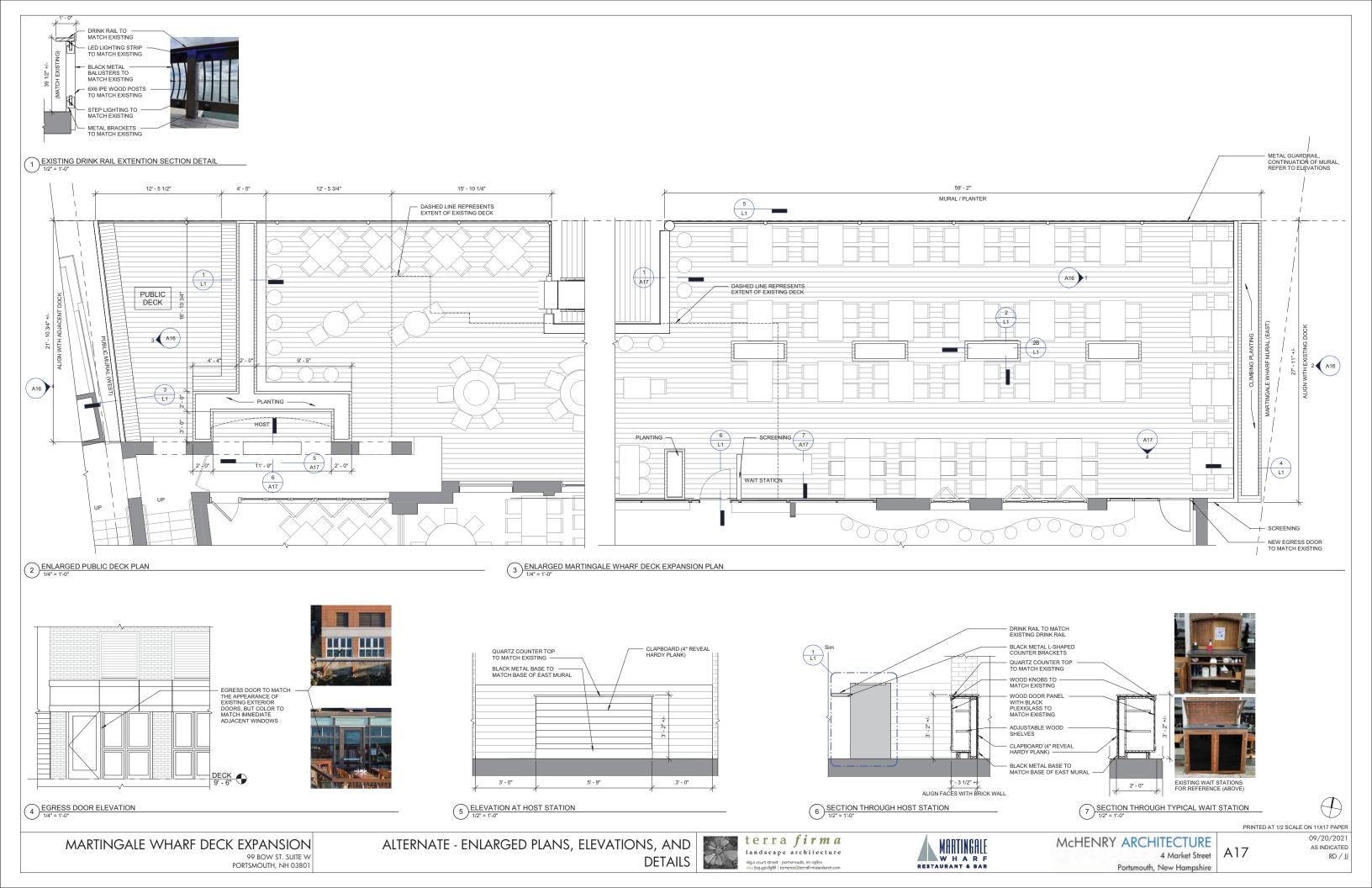
4 WEST ELEVATION (BACKSIDE OF PUBLIC DECK MURAL)

PRINTED AT 1/2 SCALE ON 11X17 PAPER

09/20/2021

1/4" = 1'-0" RD / JJ





PREVIOUSLY APPROVED DECK EXPANSION APPLICATION FOR REFERENCE

JUNE 8, 2015



CITY OF PORTSMOUTH

Community Development Department (603) 610-7232

Planning Department (603) 610-7216

PLANNING DEPARTMENT

HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROVAL

Date: June 8, 2015

To: Martingale, LLC P.O. Box 930

Portsmouth, NH 03802

99 Bow Street

Re:

The Historic District Commission considered your proposal at its meeting of June 3, 2015 wherein permission was requested to allow new construction to an existing structure (expand existing fixed pier) as per plans on file in the Planning Department.

After due deliberation, the Commission voted that the request be **approved** as presented with the following stipulation:

1) That this approval is contingent on the granting of a State wetland permit.

Findings of Fact: The proposed application meets the following purposes of the Historic District Ordinance (as applicable):

A. Purpose and Intent:

П	Yes	No - Preserve the integrity of the District
V	Yes	No - Maintain the special character of the District
		No - Assessment of the Historical Significance

✓ Yes □ No - Complement and enhance the architectural and historic character

☐ Yes ☐ No - Conservation and enhancement of property values

✓ Yes □ No - Promote the education, pleasure & welfare of the District to the city residents and visitors

Page 2

Re: 99 Bow Street

June 8, 2015

The proposed application also meets the following review criteria of the Historic District Ordinance (as applicable):

B	. Revie	ew Criteria:
	Yes 🗆	No - Consistent with special and defining character of surrounding properties
		No - Relation to historic and architectural value of existing structures
V	Yes 🗆	No - Compatibility of design with surrounding properties
		No - Compatibility of imposative technologies with surrounding proporties

PLEASE NOTE: Prior to the issuance of a building permit, the Building Inspector will need to review and approve construction drawings/sketches so work shall not commence until the review process is complete. Applicants should note that approvals may also be required from other Committees and/or Boards prior to the issuance of a Building Permit.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Respectfully submitted,

Joseph Almeida, Chairman Historic District Commission

cc: Robert Marsilia, Chief Building Inspector Rosann Maurice-Lentz, Assessor Steve McHenry, McHenry Architecture

MARTINGALE WHARF

JUNE 3, 2015 - Historic District Commission, Public Hearing, Portsmouth, New Hampshire

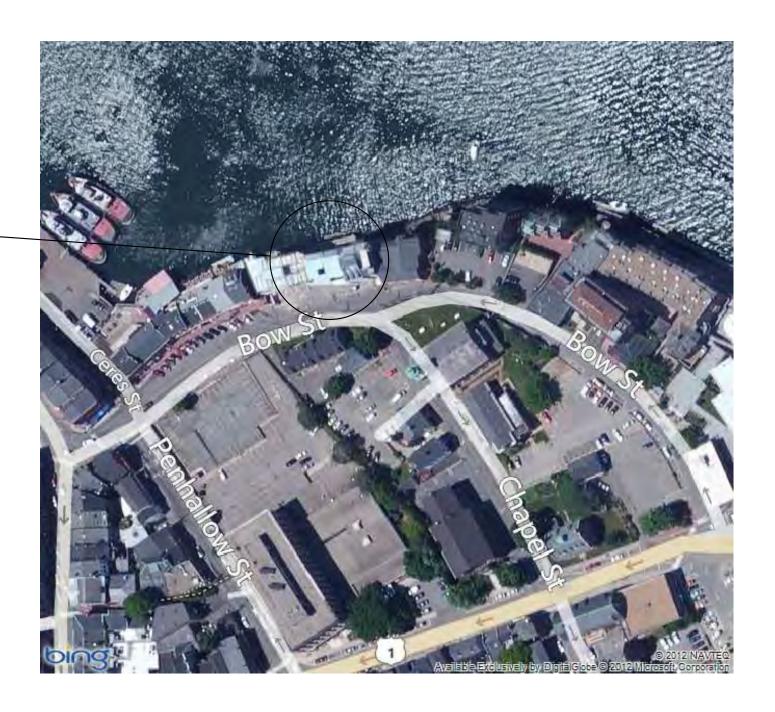
General Project Description:

Waterfront Deck -

- Expand existing Wharf Restaurant deck
- Create a public wharf deck



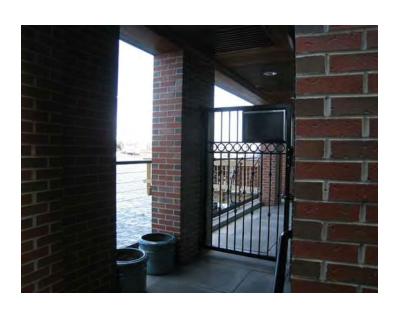






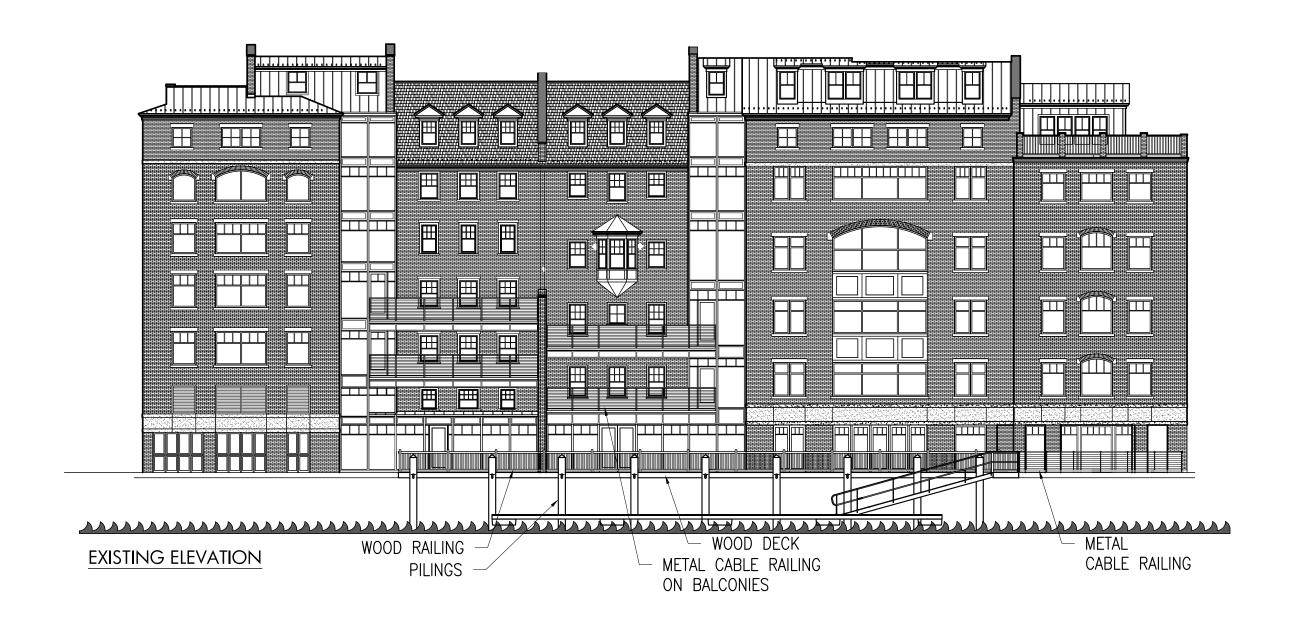


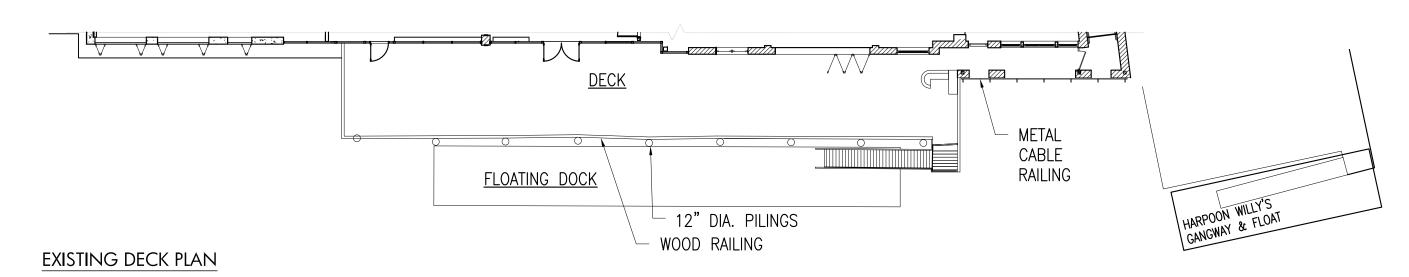
EXISTING DECK VIEW

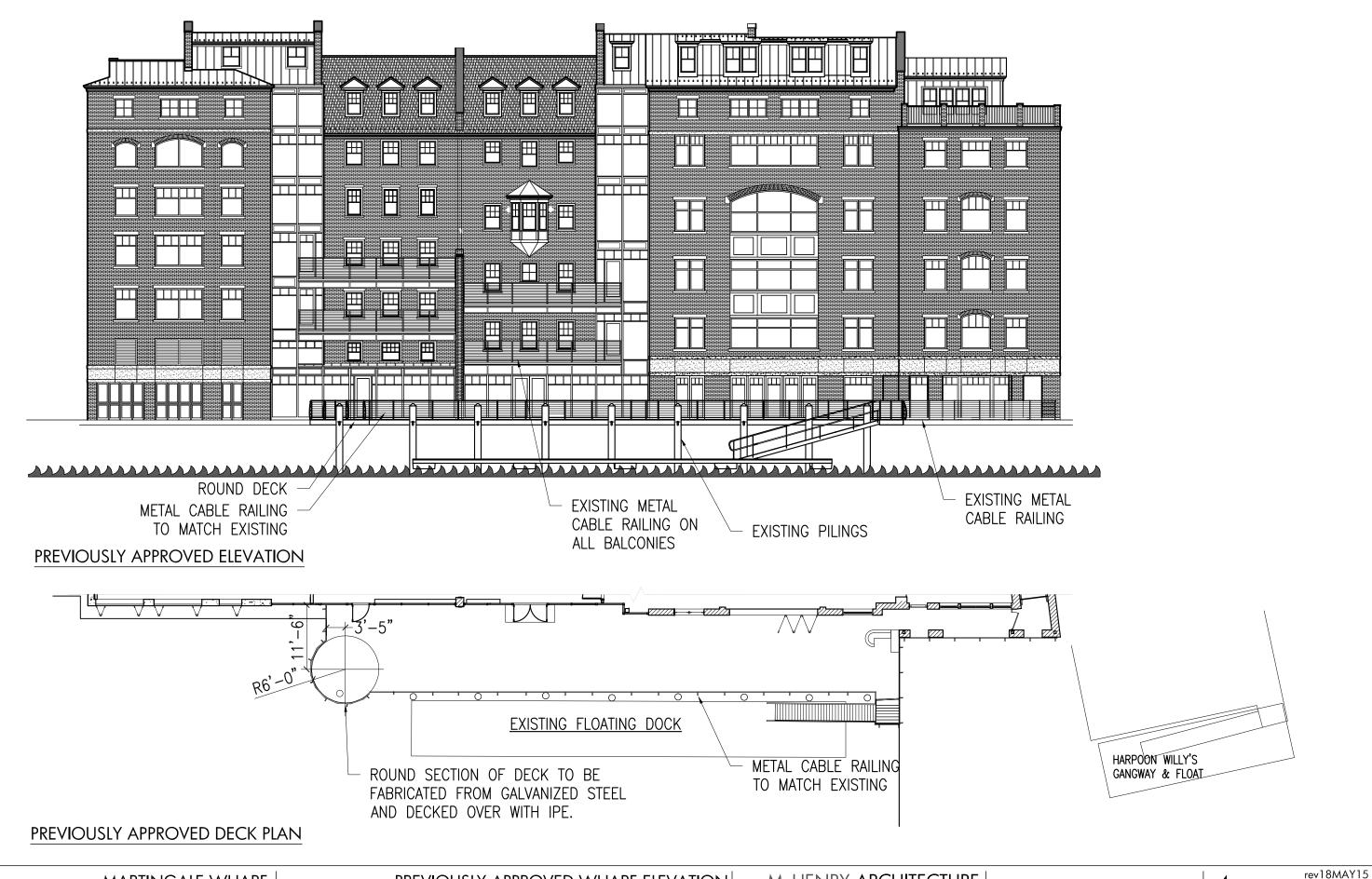




Portsmouth, New Hampshire







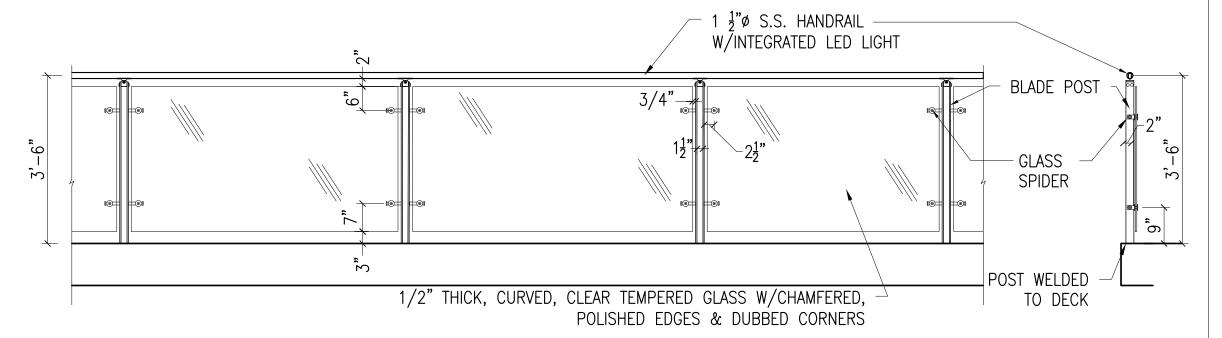
MARTINGALE WHARF

PREVIOUSLY APPROVED WHARF ELEVATION

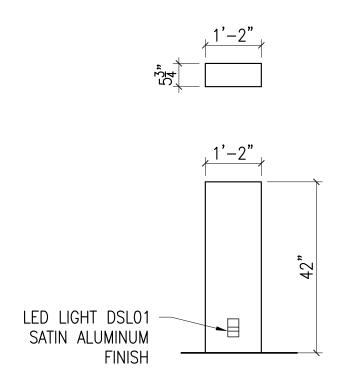
McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire



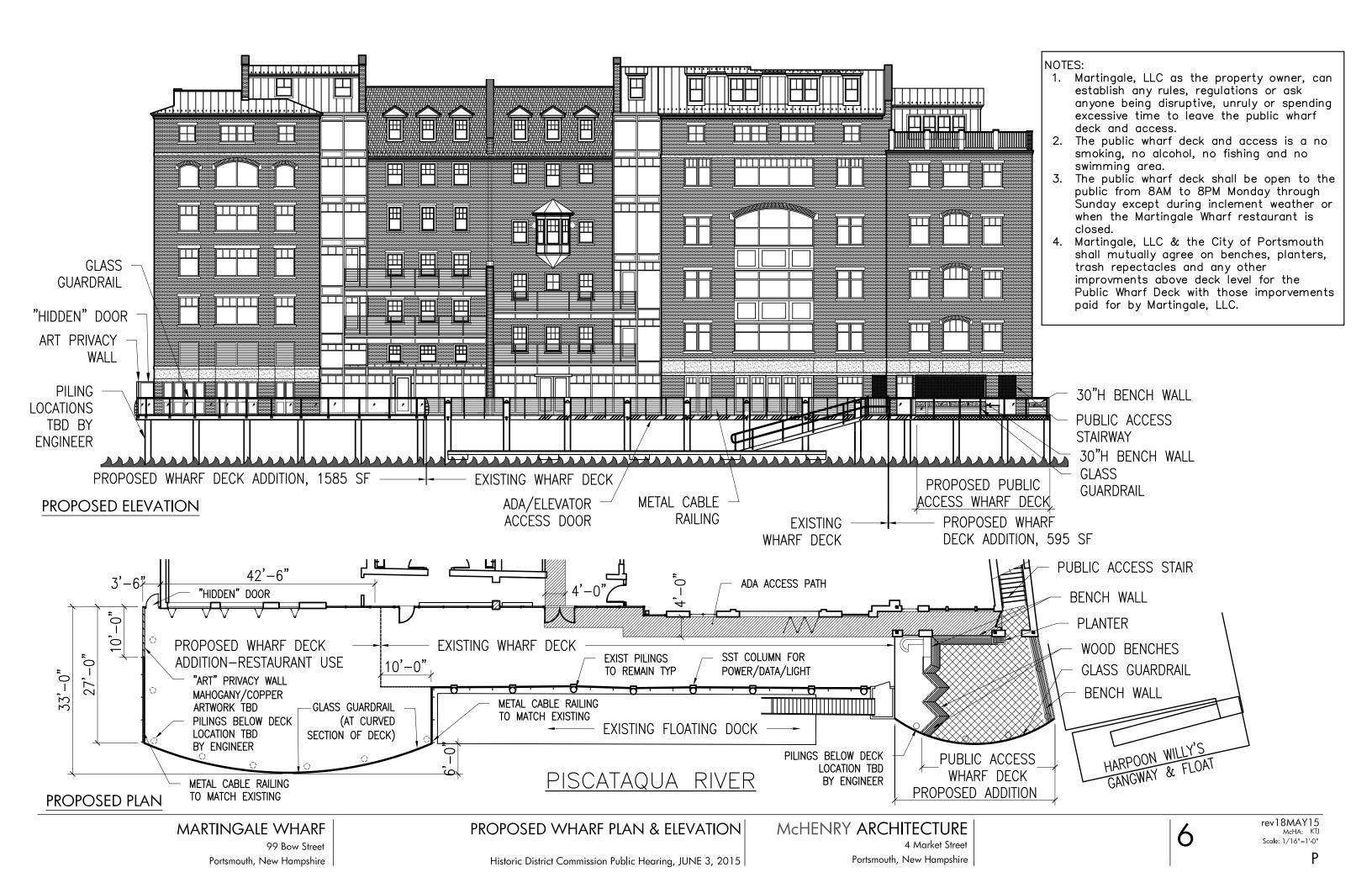
PREVIOUSLY APPROVED GLASS GUARDRAIL PLAN DETAIL 3/4"=1'-0"

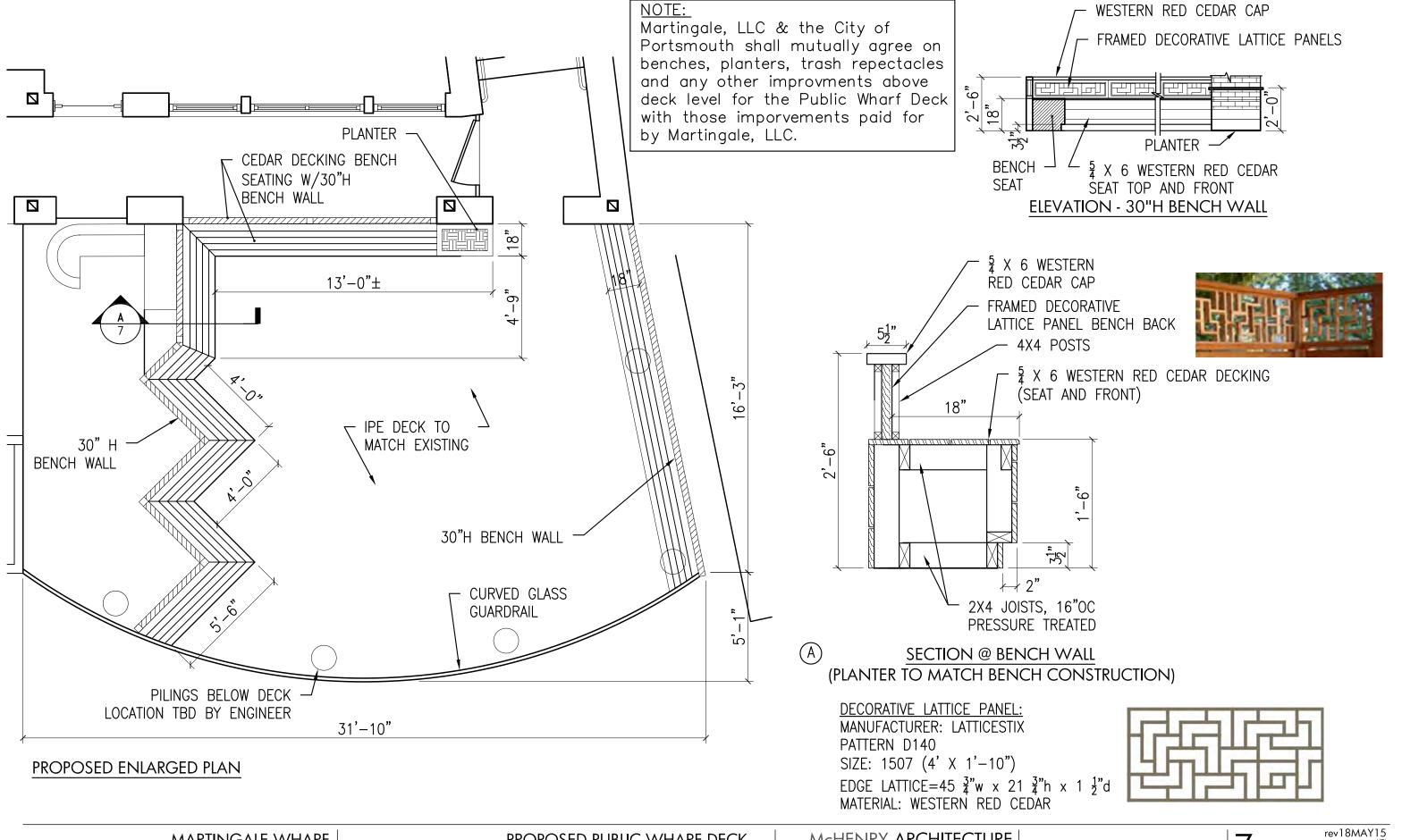


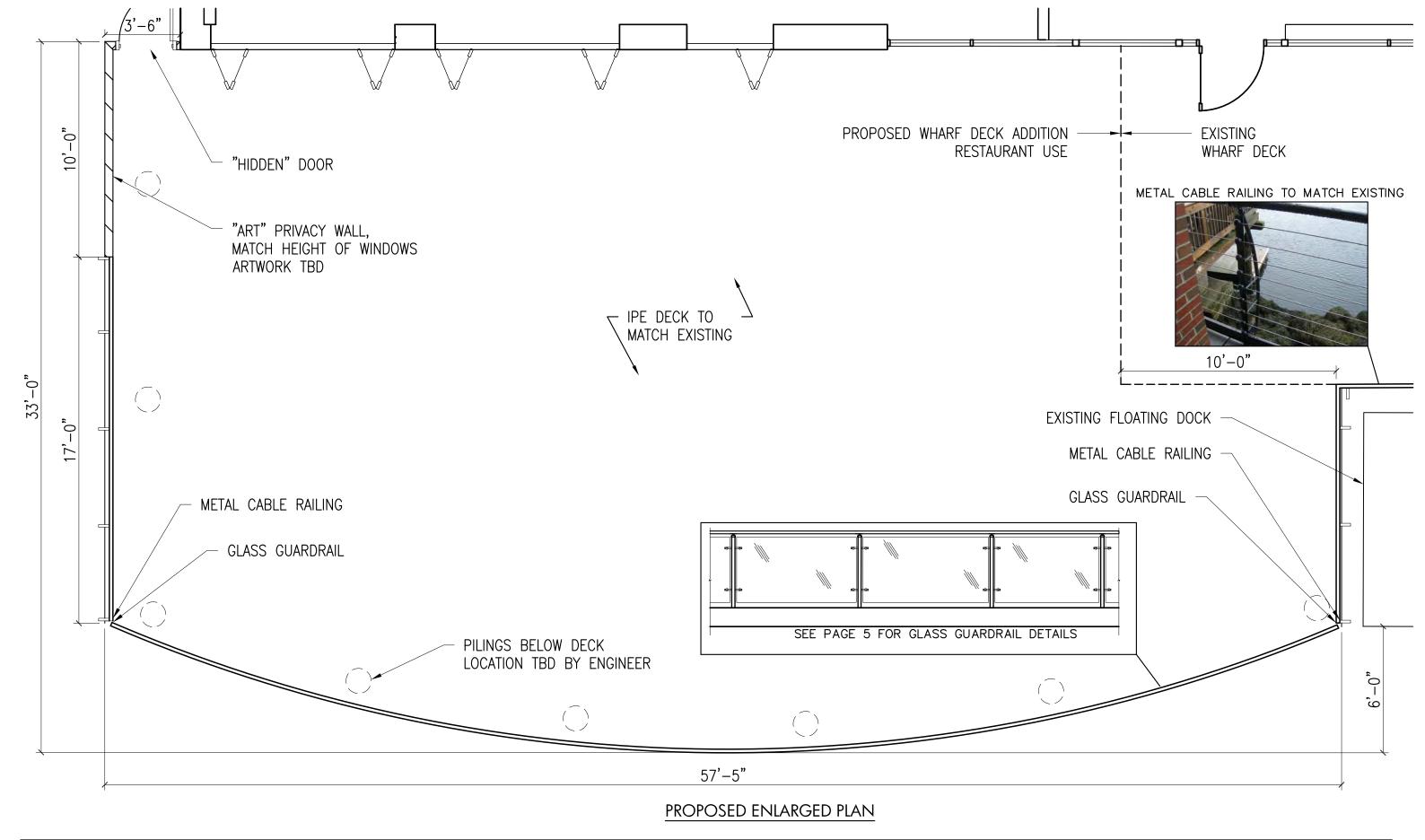
PREVIOUSLY APPROVED GLASS GUARDRAIL ELEVATION AND SECTION 1/2"=1'-0"



SS COLUMN ELEVATION
1/2"=1'-0"

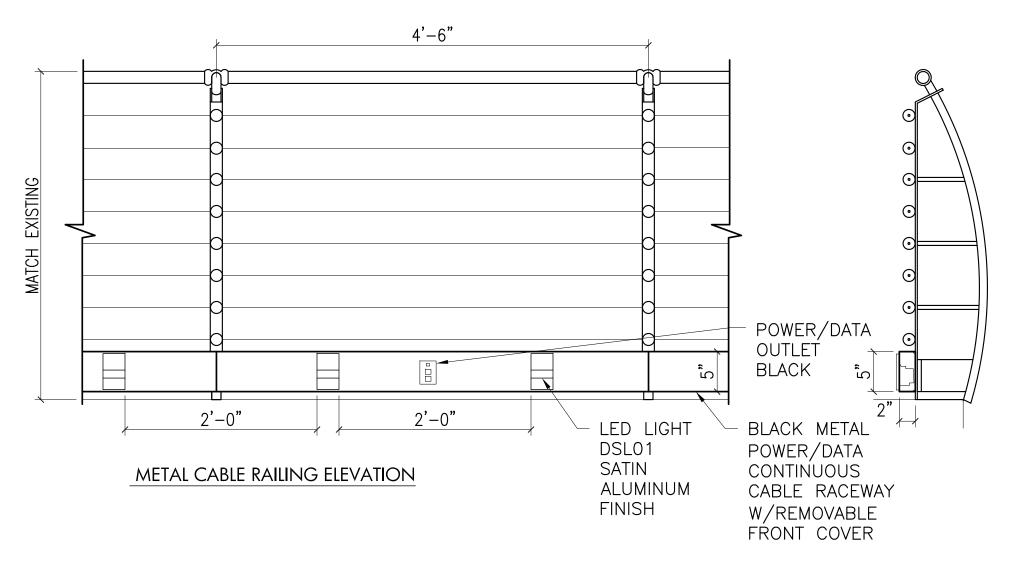


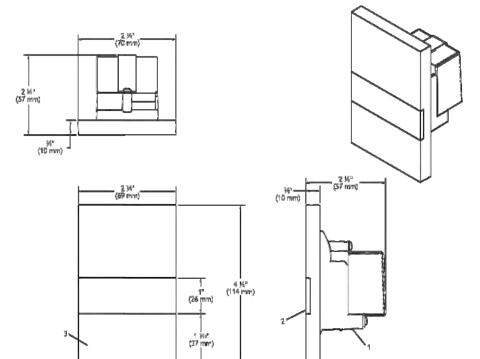




MARTINGALE WHARF 99 Bow Street

PROPOSED RESTAURANT WHARF DECK ENLARGED PLAN & DETAILS
Historic District Commission Public Hearing, JUNE 3, 2015 McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire rev18MAY15





Features

- 1. Heat Sink/Driver Housing: Die-cast aluminum.
- 2. Lens: Injection molded polycarbonate clear, developed for optimum optical output.
- 3. Face Plate: Die-cast aluminum.
- 4. Switch Box Mounting Plate: 18ga. C.R.S. zinc plated, for mounting to a 3 1/2" deep switch box. (Not shown)

Electrical

LED: (1) 4W 3000K white LED. Average expected life, under normal operating conditions is 50,000 hours with lumen maintenance of 70% of original light output.

Driver: Class 2 power supply.

Voltage:

Electrical (continued)

Output Wattage: 5 W Input Current (max.): 100 mA 50/60 Hz Frequency: Output Voltage (VDC): 12 V Constant Current: 500 mA

Finish

Satin aluminum with protective clearcoat. Matte white powder cost.

Labels

cULus Listed, Suitable for wet locations. Wall mount only.



- Philips Lightolier
 e: iol.webrnasser@philips.com
 a: (508) 679-8131
 w: www.lightolies.com

DSL01 May 31, 2011

Specifications are subject to change without notice.

© Koninkiljke Philips Electronics N.V., 2011. All rights reserved.

Job Information Type:

Staff Report – April 6th, 2022

Arpil 6th MEETING

Administrative Approvals:

- 1. 28 Chapel St. (LUHD-437)
- 2. 64 Mt. Vernon St. (LUHD-441)
- 3. 92 Pleasant St. (LUHD-443)
- 4. 284 New Castle Ave. (LUHD-442) Recommend Approval
- 5. 137 Daniel St. (LUHD-439)
- 6. 35 Bow St. (LUHD-446)
- 7. 414 State St. (LUHD-449)
- 8. 77 Wentworth St. (LUHD-450)
- 9. 100 Deer St. (LUHD-451)
- 10. 52 Prospect St. (LUHD-452)

- Recommend Approval

April 13th MEETING

PUBLIC HEARINGS - NEW BUSINESS:

7. 33 Deer Street. (LU-22-64) (decks and balconies)

WORK SESSIONS – OLD BUSINESS:

- A. 1 Raynes Ave. (LUHD-234) (2 new buildings)
- B. 2 Russell / O Deer St. (LUHD-366) (3 new buildings)
- C. 1 Congress St. (LUHD-425) (infill building)
- D. 445 Marcy St. (LUHD-424) (new single family)
- E. 129 State St. (LUHD-414) (rear addition)
- F. 92 Pleasant St. (LUHD-422) (windows & balconies)

WORK SESSIONS - NEW BUSINESS:

1. 85 Daniel St. (LUHD-445) (rear addition & dormers)

PUBLIC HEARINGS - NEW BUSINESS:

- 1. 55 Gates Street. (LU-22-43) (siding & trim)
- 531 Islington Street (LU-22-38) (signage and siding)
- 75 Gates Street (LU-22-29) (siding)
- 189 Gates Street (LU-22-30) (garden cottage)
- 45 Richmond Street (LU-20-249) (rear addition)
- 50 Daniel Street (LU-22-40) (ext. modifications)



Project Address: 55 GATES ST. (LU-22-43) **CERTIFICATE OF APPROVAL Permit Requested: Meeting Type: PUBLIC HEARING #1**

A. Property Information - General:

Existing Conditions:

- Zoning District: GRB
- Land Use: Single Family
- Land Area: 2,854 SF +/-
- Estimated Age of Structure: c.1850-70
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: <u>C</u>
 Public View of Proposed Work: <u>View from Gates and Washington St.</u>
- Unique Features: NA
- Neighborhood Association: South End

Proposed Work:	To replace siding	and trim, 8	<u>k remove chimne</u>	у.

b. Floposed Wolk. To replace siding	<u>j ana inin, a temov</u>	e criiiriiley.
C. Other Permits Required:		
\square Board of Adjustment	☐ Planning Board	☐ City Council
D. Lot Location:		
☐ Terminal Vista	☐ Gateway	☐ Mid-Block
✓ Intersection / Corner Lot	☐ Rear Lot	
E. Existing Building to be Altered/ Demo	olished / Constructed	<u>I:</u>
✓ Principal	Accessory	Demolition

F.	Sensitivity	of Context:
	-	

\checkmark	Highly Sensitive	Sensitive		Low Sensitivity		"Back-of-House"
--------------	------------------	-----------	--	-----------------	--	-----------------

☐ Accessory

G. Design Approach (for Major Projects):

√	Literal Replication	(i.e. 6-16 Congress,	Jardinière Building,	10 Pleasant Street

- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

	•	,	•	,		•		•	,
$\overline{\mathbf{V}}$	Minor Proje	ect (i.e.	small c	alterations	, additi	ions or ex	xpansion	ns)	
	Moderate	Projec	t (i.e. si	gnificant c	addition	ns, altera	tions or (expansio	ns)

Consent Agenda (i.e. very small alterations, additions or expansions)

☐ Major Project (i.e. very large alternations, additions or expansions)

Neighborhood Context:

• The existing contributing structure is located along the intersection of Washington and Gates Streets in the heart of the South End. It is surrounded with many contributing historic structures with buildings, all located along the street with no front- and shallow side-yard setbacks, and deeper rear yards.

J. <u>Staff Comments and/ or Suggestions for Consideration:</u>

- The applicant is proposing to:
 - Replace bulkhead and existing cedar siding in-kind;
 - Make trim and foundation repairs; and
 - Remove the existing chimney (2nd chimney to remain).

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Masonry and Stucco (07) and Windows & Doors (08).

K. Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



HISTORIC SURVEY RATING

Page 4 of 30 55 GATES ST. (LU-22-43) - PUBLIC HEARING #1 (MINOR PROJECT) INFO/ EVALUATION CRITERIA SUBJECT PROPERTY **NEIGHBORHOOD CONTEXT Existing Building** Surrounding Structures (Average) **Project Information** Proposed Building (+/-) **Abutting Structures** FORM No. **GENERAL BUILDING INFORMATION** (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) **DISTRICT COMMISSION** Gross Floor Area (SF) Floor Area Ratio (GFA/ Lot Area) MODERATE PROJECT Building Height / Street-Width (ROW) Ratio Building Height – Zoning (Feet) Withdrawn - NEW SIDING, REPAIR FOUNDATION & REMOVE CHIMNEY ONLY -Date: Stipulations Building Height – Street Wall / Cornice (Feet) Number of Stories ATION Building Coverage (% Building on the Lot) **PROJECT REVIEW ELEMENT APPROPRIATENESS APPLICANT'S COMMENTS HDC SUGGESTIONS Scale** (i.e. height, volume, coverage...) □ Appropriate □ Inappropriate 9 Placement (i.e. setbacks, alignment...) □ Appropriate □ Inappropriate Approved with 10 Massing (i.e. modules, banding, stepbacks... Appropriate | Inappropriate 11 **Architectural Style** (i.e. traditional – modern) Postponed □ Appropriate □ Inappropriate 12 Roofs Appropriate □ Inappropriate Ö **MEMBERS** 13 Style and Slope □ Appropriate □ Inappropriate 14 Roof Projections (i.e. chimneys, vents, dormers...) □ Appropriate □ Inappropriate HISTORIC 4 15 **Roof Materials** □ Appropriate □ Inappropriate 16 **Cornice Line** □ Appropriate □ Inappropriate Eaves, Gutters and Downspouts 17 □ Appropriate □ Inappropriate ш COMMISSION 18 Walls □ Appropriate □ Inappropriate 19 Number and Material □ Appropriate □ Inappropriate **ERTY PORTSMOUTH** Projections (i.e. bays, balconies...) □ Appropriate □ Inappropriate PROPERTY:55 21 **Doors and windows** □ Appropriate □ Inappropriate Window Openings and Proportions □ Appropriate □ Inappropriate 23 Window Casing/ Trim □ Appropriate □ Inappropriate 24 Window Shutters / Hardware □ Appropriate □ Inappropriate **_** 25 Storm Windows / Screens □ Appropriate □ Inappropriate cision: DISTRICT □ Appropriate □ Inappropriate 27 **Porches and Balconies** □ Appropriate □ Inappropriate 2 Projections (i.e. porch, portico, canopy... □ Appropriate □ Inappropriate **A** Landings/ Steps / Stoop / Railings □ Appropriate □ Inappropriate ISTORIC **Lighting** (i.e. wall, post...) □ Appropriate □ Inappropriate Signs (i.e. projecting, wall...) □ Appropriate □ Inappropriate **Mechanicals** (i.e. HVAC, generators) □ Appropriate □ Inappropriate 33 Decks □ Appropriate □ Inappropriate Garages / Barns / Sheds (i.e. doors, placement...) □ Appropriate □ Inappropriate 35 Fence / Walls / Screenwalls (i.e. materials, type...) □ Appropriate □ Inappropriate **Grading** (i.e. ground floor height, street edge...) 36 □ Appropriate □ Inappropriate 37 **Landscaping** (i.e. gardens, planters, street trees...) □ Appropriate □ Inappropriate **Driveways** (i.e. location, material, screening...) □ Appropriate □ Inappropriate **Parking** (i.e. location, access, visibility...) □ Appropriate □ Inappropriate Accessory Buildings (i.e. sheds, greenhouses...) ☐ Appropriate ☐ Inappropriate

H. Purpose and Intent:

1. Preserve the integrity of the District:

3. Conservation and enhancement of property values:

☐ Yes ☐ No 2. Assessment of the Historical Significance: □ Yes □ No

- 4. Maintain the special character of the District:
- 5. Complement and enhance the architectural and historic character:
- 6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

I. Review Criteria / Findings of Fact:

- 1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No 3. Relation to historic and architectural value of existing structure: 2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

☐ Yes ☐ No 4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

- ☐ Yes ☐ No
- ☐ Yes ☐ No □ Yes □ No

□ Yes □ No

A. Property Information - General:

Project Evaluation Form: 531 ISLINGTON STREET (LU-22-38)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #2

L.	 Zoning District: <u>CD4-L2</u> Land Use: <u>Commercial</u> Land Area: <u>11,325 SF +/-</u> Estimated Age of Structure: <u>c.1999</u> Building Style: <u>Commercial</u> Number of Stories: <u>1</u> Historical Significance: <u>NA</u> Public View of Proposed Work: <u>View from Islington Street</u> Unique Features: <u>NA</u> Neighborhood Association: <u>Islington Creek</u> 							
<u>B.</u>	Proposed Work: To replace signage	ge, siding and othe	er misc. changes <u>.</u>					
<u>C.</u>	Other Permits Required:							
	\sqcup Board of Adjustment	□ Planning Board	☐ City Council					
<u>D.</u>	Lot Location:							
	☐ Terminal Vista	☐ Gateway	☑ Mid-Block					
	☐ Intersection / Corner Lot	☐ Rear Lot						
<u>E.</u>	Existing Building to be Altered/ Demo	olished:						
	Principal	Accessory	$\ \square$ Significant Demolition					
<u>F.</u>	Sensitivity of Context:							
	\square Highly Sensitive \square Sensitive	ve 🗹 Low Sensitivi	ty \square "Back-of-House"					
<u>G.</u>	Design Approach (for Major Projects	<u>s):</u>						
	☑ Literal Replication (i.e. 6-16 (Congress, Jardinière Build	ding, 10 Pleasant Street)					
	\square Invention within a Style (i.e.	, Porter Street Townhous	es, 100 Market Street)					
	\square Abstract Reference (i.e. Por	twalk, 51 Islington, 55 Co	ongress Street)					
	\square Intentional Opposition (i.e. t	McIntyre Building, Citizei	n's Bank, Coldwell Banker)					
<u>H.</u>	<u>Project Type:</u>							
	\square Consent Agenda (i.e. very	small alterations, ac	dditions or expansions)					
	☑ Minor Project (i.e. small alte	erations, additions c	or expansions)					
	☐ Moderate Project (i.e. sign	nificant additions, alt	terations or expansions)					
	☐ Major Project (i.e. very larg	ge alterations, addit	ions or expansions)					

I. Neighborhood Context:

• This structure is located along Islington Street. The structure is surrounded with many wood-sided, 2.5-3 story contributing structures. Most buildings have a shallow front- and side-yard setbacks and deep rear yards.

J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to revise the previous approval for the following items:
 - Replace and add signage to the drive through; and
 - Reside the existing structure

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

K. Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map



		53	I ISLINGTON	N STREET (LU-22-38	B) – PUBLIC HEA	RING #2 (MI	NOR)	
		INFO/ EVALUATION CRITERIA	SUBJE	CT PROPERTY		NEIGHBORHO	OD CONTEXT	
	Al -	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)		Surrounding Structures (Average)	✓
_	N/O	GENERAL BUILDING INFORMATION	(ESTIMA	TED FROM THE TAX MAPS & ASS	SESSOR'S INFO)			
<u>-</u>	1	ross Floor Area (SF)						
	2	Floor Area Ratio (GFA/ Lot Area)						SSION Sate: 4
	3	Building Height / Street-Width Ratio			MINOR PRO) IFCT		
	4	Building Height – Zoning (Feet)			Will Con I ke	75 L C I		
	5	Building Height – Street Wall / Cornice (Feet)		- NEW SIGNAGE	SIDING AND M	ISC. ALTERA	TIONS ONLY -	→ ₹ ?!
	6	Number of Stories			, 0.2			∠ ≲ o
1	/	Building Coverage (% Building on the Lot)					12222214	
	_	PROJECT REVIEW ELEMENT	HDC	COMMENTS	HDC SUGGI	ESTIONS	APPROPRIATENESS	<u>၂</u> ၂ မ
ONITEX	8	Scale (i.e. height, volume, coverage)					☐ Appropriate ☐ Inappropriate	
	10	Placement (i.e. setbacks, alignment)					☐ Appropriate ☐ Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks)					☐ Appropriate ☐ Inappropriate	
F	11	Architectural Style (i.e. traditional – modern)					□ Appropriate □ Inappropriate	OS DIS EET
	12	Roofs Style and Slane					☐ Appropriate ☐ Inappropriate	
	13	Style and Slope Roof Projections (i.e. chimneys, vents, dormers)					□ Appropriate □ Inappropriate	AI SYC STR
		Roof Materials					□ Appropriate □ Inappropriate	
	15 16	Cornice Line					□ Appropriate □ Inappropriate	→ O Z
	17	Eaves, Gutters and Downspouts					 □ Appropriate □ Inappropriate □ Appropriate □ Inappropriate 	_ Б 27.0
SISING WATERIALS	17	Walls					□ Appropriate □ Inappropriate	
\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	19	Siding / Material					□ Appropriate □ Inappropriate	
1	20	Projections (i.e. bays, balconies)					□ Appropriate □ Inappropriate	
3	21	Doors and windows					□ Appropriate □ Inappropriate	
•	22	Window Openings and Proportions					□ Appropriate □ Inappropriate	 ~ ~ ~ <u>~</u>
2	23	Window Casing/ Trim					□ Appropriate □ Inappropriate	ଲ ହୁ ଥେ
	24	Window Shutters / Hardware					□ Appropriate □ Inappropriate	OP CORTS, RITY:5
	ງ∣ 25	Awnings					□ Appropriate □ Inappropriate	_ ~ ~ ~
	26	Doors					□ Appropriate □ Inappropriate	
	27	Porches and Balconies					□ Appropriate □ Inappropriate	
		Projections (i.e. porch, portico, canopy)					□ Appropriate □ Inappropriate	⊣ ⊤ ō
	29	Landings/ Steps / Stoop / Railings					□ Appropriate □ Inappropriate	⊣ – ĕ
)	30	Lighting (i.e. wall, post)					□ Appropriate □ Inappropriate	
	31	Signs (i.e. projecting, wall)					☐ Appropriate ☐ Inappropriate	
'	32	Mechanicals (i.e. HVAC, generators)					☐ Appropriate ☐ Inappropriate	
	33	Decks					□ Appropriate □ Inappropriate	
:	34	Garages (i.e. doors, placement)					□ Appropriate □ Inappropriate	DUNING
2	35	Fence / Walls (i.e. materials, type)					☐ Appropriate ☐ Inappropriate	
	36	Grading (i.e. ground floor height, street edge)					☐ Appropriate ☐ Inappropriate	
200	37	Landscaping (i.e. gardens, planters, street trees)					☐ Appropriate ☐ Inappropriate	
E	38	Driveways (i.e. location, material, screening)					☐ Appropriate ☐ Inappropriate	
'		Parking (i.e. location, access, visibility)					☐ Appropriate ☐ Inappropriate	
	A0	Accessory Buildings (i.e. sheds, greenhouses)					☐ Appropriate ☐ Inappropriate	
Д.	-	se and Intent: eserve the integrity of the District:	□ Yes □	No 4 Main	tain the special characte	er of the District		□ Yes
		ssessment of the Historical Significance:			plement and enhance th		l historic character	
		onservation and enhancement of property value			•		the District to the city residents and visi	
			C3. 1 T5	0. 110111	iore me education, pieds	ore aria wellale al	THE DISTRICT TO THE CITY TESTUETHS WHA VISI	ıı∪ıs. ⊔ 1€S
<u>l.</u>		Criteria / Findings of Fact:						
		onsistent with special and defining character of	• • •				_	
	2. Co	empatibility of design with surrounding properties	:	☐ Yes ☐ No Com	patibility of innovative ted	chnologies with surr	ounding properties: 🗆 Yes 🗆 No	
				4				

Project Evaluation Form: 75 GATES ST. (LU-22-29)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #3

<u>A.</u>	Property Information - General:						
	 Existing Conditions: Zoning District: GRB Land Use: Single-Family Land Area: 2,178 SF +/- Estimated Age of Structure: c.1910 Building Style: Queen Anne Vernacular Number of Stories: 2.5 Historical Significance: Non-Contributing Public View of Proposed Work: View from Gates Street Unique Features: NA Neighborhood Association: South End 						
<u>B.</u>	Proposed Work: To replace the cedar shakes with clapboards.						
<u>C</u>	Other Permits Required:						
	\square Board of Adjustment \square Planning Board \square City Council						
<u>D.</u>	Lot Location:						
	\square Terminal Vista \square Gateway $oxedow{\!$						
	\square Intersection / Corner Lot \square Rear Lot						
<u>E.</u>	Existing Building to be Altered/ Demolished:						
	lacktriangledown Principal $lacktriangledown$ Accessory $lacktriangledown$ Significant Demolition						
<u>F.</u>	Sensitivity of Context:						
	$lacktriangle$ Highly Sensitive \square Sensitive \square Low Sensitivity \square "Back-of-House"						
G	. Design Approach (for Major Projects):						
	Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)						
	☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)						
	Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)						
	☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)						
<u>H.</u>	Project Type:						
	Minor Project (i.e. small alterations, additions or expansions)						
	Moderate Project (i.e. significant additions, alterations or expansions)						
	☐ Major Project (i.e. very large alterations, additions or expansions)						

I. Neighborhood Context:

• This 2.5 story wood-sided structure is located on Gates Street and is surrounded with many contributing and focal historic structures. The building was originally designated in the 1984 Historic survey as a Non-Contributing infill building along Gates St.

J. Staff Comments and Suggestions for Consideration:

The project includes:

• The replacement of the existing cedar shingle with clapboards.

• <u>Design Guideline Reference</u>: Guidelines for Exterior Woodwork (05)

K. Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING NC

	75 GATES STREET (LU-22-29) – PUBLIC HEARING #3 (MINOR)									
			INFO/ EVALUATION CRITERIA	SUBJE	CT PROPERTY		NEIGHBORHO	OD CONTEXT		
			Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)		Surrounding Structures (Average)		-22 enied
			GENERAL BUILDING INFORMATION							
STAFF	Ī	1	Gross Floor Area (SF)	•		•				
		2	Floor Area Ratio (GFA/ Lot Area)							∪ 6 4 □
		3	Building Height / Street-Width Ratio		MINOR PROJECT					
	ļ	4 Boliding Holgin Zoning (Feet)						OJLCI		
	•	5	Building Height – Street Wall / Cornice (Feet)			- REPLACE SIDIN	G ONLY -			M M D D D D D D D D D D D D D D D D D D
	-	<u>6</u>	Number of Stories			KEI LACE SIDII	OUTLI			
		7	Building Coverage (% Building on the Lot)					T		ON Frommis No.:3 Date Stipulations
			PROJECT REVIEW ELEMENT	HDC C	COMMENTS	HDC SUGGE	STIONS	APPROPRI		
	ONTEXT	8	Scale (i.e. height, volume, coverage)					☐ Appropriate ☐		
	Ä	9	Placement (i.e. setbacks, alignment)					☐ Appropriate ☐		⊢ ∪ ₀ ≦
COMMISSION MEMBERS	CO	10	Massing (i.e. modules, banding, stepbacks)					☐ Appropriate ☐		
	\vdash	11	Architectural Style (i.e. traditional – modern)					☐ Appropriate ☐		
		12	Roofs					☐ Appropriate ☐		
		13	Style and Slope					☐ Appropriate ☐		ALU/ RIC DISTI REET Cas Approved A
		14	Roof Projections (i.e. chimneys, vents, dormers)					☐ Appropriate ☐		
		15	Roof Materials					☐ Appropriate ☐		STRI
		16	Cornice Line					☐ Appropriate ☐		> 5 ≥ □ □
	S	17	Eaves, Gutters and Downspouts					☐ Appropriate ☐		Ш S S
	TERIALS	18	Walls					☐ Appropriate ☐		HIS HIS GO
	ER	19	Siding / Material					☐ Appropriate ☐		
SII	MA	20	Projections (i.e. bays, balconies) Doors and windows					☐ Appropriate ☐		
≥	∞ఠ	21						☐ Appropriate ☐		ERTY AOUTH H 75 GAT Approved
≥	N U	22	Window Openings and Proportions Window Casing/ Trim					☐ Appropriate ☐	mappiophate	™ \$ 5.5 < 5
Ö	DESIG	24	Window Casing/ IIIII Window Shutters / Hardware					☐ Appropriate ☐		™ ∑ ∑ □ ☐
		25	Awnings					☐ Appropriate ☐		RTS RTS ERT n: [
\Box	×	26	Doors					☐ Appropriate ☐		ORTSA ORTSA PERTY ion:
2	BUILDING	27	Porches and Balconies					□ Appropriate□ Appropriate		
DISTRICT	BU	28	Projections (i.e. porch, portico, canopy)					□ Appropriate □		
П		29	Landings/ Steps / Stoop / Railings					□ Appropriate □		
U	ŀ	30	Lighting (i.e. wall, post)					☐ Appropriate ☐		
Ž	ŀ	31	Signs (i.e. projecting, wall)					☐ Appropriate ☐		
0		32	Mechanicals (i.e. HVAC, generators)					☐ Appropriate ☐		
HISTORIC	İ	33	Decks					☐ Appropriate ☐		The state of the s
Ŧ	İ	34	Garages (i.e. doors, placement)					□ Appropriate □		
		35	Fence / Walls (i.e. materials, type)					☐ Appropriate ☐		
	5	36	Grading (i.e. ground floor height, street edge)					☐ Appropriate ☐		
	DESIGN	37	Landscaping (i.e. gardens, planters, street trees)					□ Appropriate □		
		38	Driveways (i.e. location, material, screening)					□ Appropriate □	Inappropriate	
	SITE	39	Parking (i.e. location, access, visibility)					□ Appropriate □		7 7
		40	Accessory Buildings (i.e. sheds, greenhouses)					☐ Appropriate ☐	Inappropriate	
		1. Pre	se and Intent: eserve the integrity of the District: sessment of the Historical Significance:	□ Yes □ 1□ Yes □ 1		Maintain the special character Complement and enhance the		d historic character:		□ Yes □ No □ Yes □ No
	<u>I. R</u>	<u>eview</u>	onservation and enhancement of property value of Criteria / Findings of Fact:			Promote the education, pleasu		·		□ Yes □ No
			onsistent with special and defining character o Impatibility of design with surrounding properties	.		Relation to historic and archite Compatibility of innovative tec		_	☐ Yes ☐ No ☐ Yes ☐ No	

A. Property Information - General:

Project Evaluation Form: 189 GATES ST. (LU-22-30)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #4

 Existing Conditions: Zoning District: GRB Land Use: Single-Family Land Area: 5,175 SF +/- Estimated Age of Structure: c.1850 Building Style: Greek Revival – Temple Form Number of Stories: 2.5 Historical Significance: Contributing Public View of Proposed Work: View from Gates Street Unique Features: NA Neighborhood Association: South End 										
B. Proposed Work: To convert the garage into a garden cottage (ADU Unit).										
C. Other Permits Required:										
Board of Adjustment	$lacktriangledown$ Planning Board $\ \square$ City Council									
D. Lot Location:										
Terminal Vista	☐ Gateway ☑ Mid-Block									
\square Intersection / Corner Lot	☐ Rear Lot									
E. Existing Building to be Altered/ Demolished:										
Principal	$lacktriangledown$ Accessory \Box Significant Demolition									
F. Sensitivity of Context:										
$lacktriangle$ Highly Sensitive \Box Sensitive \Box Low Sensitivity \Box "Back-of-House"										
G. Design Approach (for Major Project	<u>ts):</u>									
☑ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)										
\square Invention within a Style (i.e	Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)									
Abstract Reference (i.e. Pa	Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)									
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)										
H. Project Type:										
Consent Agenda (i.e. very small alterations, additions or expansions)										
\Box Minor Project (i.e. small alt	☐ Minor Project (i.e. small alterations, additions or expansions)									
✓ Moderate Project (i.e. sig	✓ Moderate Project (i.e. significant additions, alterations or expansions)									
\square Major Project (i.e. very lar	\square Major Project (i.e. very large alterations, additions or expansions)									

I. Neighborhood Context:

• This 2.5 story wood-sided structure is located on Gates Street and is surrounded with many contributing historic structures. Most buildings on Gate Street have little to no front-yard setbacks, shallow side-yards with deeper rear yards.

J. Staff Comments and Suggestions for Consideration:

The project includes:

- The repurposing of the detached garage to a 546 SF garden cottage to be used as an accessory dwelling unit.
- <u>Design Guideline Reference</u>: Guidelines for Exterior Woodwork (05), Porches, Stoops and Decks (06), and Windows and Doors (08)

K. Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

		18	9 GATES STREE	T (LU-22-	-30) – PUBI	LIC HEARING	5 #4 (MOD	ERATE)		
		INFO/ EVALUATION CRITERIA	SUBJECT	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT				
		Project Information	Existing Building	Propose Building (+		Abutting Structures (Average)		Surrounding Structures (Average)		8 -22
STAFF		GENERAL BUILDING INFORMATION			APS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)								S 0 8 4 9 6 9 6 9 6 9 6 9 6 9 6 9 6 9 6 9 6 9
	2	Floor Area Ratio (GFA/ Lot Area)	ding Height / Street-Width Ratio MINOR PROJECT ding Height - Zoning (Feet) Ling Height - Street Wall / Cornice (Feet) DEPURPOSE CARACE AS ACCESSOTYDWELLING UNIT —							0 4
	3	Building Height / Street-Width Ratio								
	4									FC MISSI
	5									 _ ≥ ŏ
	6	Number of Stories		KEI OKI	OUL OAK	JE OARAGE AG AGGEGGGTT BWELLING GIVIT				Z ₹ 4
	/	Building Coverage (% Building on the Lot)	1100 001	AAAFNITC		-	FCTIONIC	4.0000001	ATENIECO	→ 0 ⅓
		PROJECT REVIEW ELEMENT	HDC COI	MWENI2		HDC SUGG	F211ON2	APPROPRIA		⊣
7	8	Scale (i.e. height, volume, coverage) Placement (i.e. setbacks, alignment)						☐ Appropriate ☐		
Z	10							☐ Appropriate ☐		AT
5	10	Massing (i.e. modules, banding, stepbacks) Architectural Style (i.e. traditional – modern)						☐ Appropriate ☐		
<u> </u>	12	Roofs						☐ Appropriate ☐		
2		Style and Slope						☐ Appropriate ☐		
בַ	13	Roof Projections (i.e. chimneys, vents, dormers)		☐ Appropriate ☐ Inapprop						
 	15	Roof Materials						□ Appropriate □□ Appropriate □		ALU, RIC DIST REET CO
MEMBERS	16	Cornice Line						□ Appropriate □		
	17	Eaves, Gutters and Downspouts						□ Appropriate □		- 5 5 %
Z / 2	18	Walls						□ Appropriate □		— S S
2 ₹	19	Siding / Material						□ Appropriate □		┤、 エカ
DISTRICT COMMISSION BUILDING DESIGN & MATERIALS	20	Projections (i.e. bays, balconies)						□ Appropriate □		ן ד ב ל ⊢
	21	Doors and windows						☐ Appropriate ☐		⊣ ⊢ 5
	22	Window Openings and Proportions						☐ Appropriate ☐		RTY OUTH H 89 GAT
	23	Window Casing/ Trim						□ Appropriate □		☐ ш Ѯ Ё г
	24	Window Shutters / Hardware						☐ Appropriate ☐		
	25							□ Appropriate □		
	26	Doors						☐ Appropriate ☐		
∮ │ ┋	27	Porches and Balconies						□ Appropriate □		
<u>S</u> S	28	Projections (i.e. porch, portico, canopy)						□ Appropriate □	Inappropriate	~
-	29	Landings/ Steps / Stoop / Railings						□ Appropriate □	Inappropriate	
HISTORIC	30	Lighting (i.e. wall, post)						□ Appropriate □	Inappropriate	
	31	Signs (i.e. projecting, wall)						☐ Appropriate ☐	Inappropriate	
_	32	Mechanicals (i.e. HVAC, generators)						☐ Appropriate ☐		
2	33	Decks						☐ Appropriate ☐		
	34	Garages (i.e. doors, placement)						☐ Appropriate ☐		
	35	Fence / Walls (i.e. materials, type)						☐ Appropriate ☐		
DESIGN	36	Grading (i.e. ground floor height, street edge)						☐ Appropriate ☐		
	37	. •						☐ Appropriate ☐		
SITE	38	Driveways (i.e. location, material, screening) Parking (i.e. location, access, visibility)						☐ Appropriate ☐		
	39 40	Accessory Buildings (i.e. sheds, greenhouses)						☐ Appropriate ☐		
		ose and Intent:			1			□ Appropriate □	парргорпате	
<u>11.</u>		reserve the integrity of the District:	□ Yes □ No		4 Maintain th	e special characte	er of the District			□ Yes □
		ssessment of the Historical Significance:	□ Yes □ No					nd historic character:		
		conservation and enhancement of property value			•			of the District to the city re	esidents and visita	
<u>l.</u>		w Criteria / Findings of Fact:	L 163 L 1NO		o. Homole III	o odocanon, pieds	Solo dila Wellale (Sacins and visit	J.J. 163 L
	1. C	consistent with special and defining character of s	surrounding properties:	□ Yes □ No	3. Relation to	historic and archite	ectural value of e	kisting structure:	□ Yes □ No	
	2. Co	ompatibility of design with surrounding properties	:	□ Yes □ No	4. Compatibil	ity of innovative te	chnologies with su	urrounding properties:	□ Yes □ No	

Project Address:

Meeting Type:

Permit Requested:

 The building is located near the intersection of Richmond and Washington Streets in the heart of the South End. It is surrounded with many 2-3 story wood-sided historic structures with small rear vards and aarden areas. 45 RICHMOND ST. (LU-20-249)

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish and replace the existing single-story rear addition and garage with a 2 story addition and new garage with an attached greenhouse;
- Relocate a faux chimney, and
- Add a new front landing and steps.

Note that previous approval from March 2021 has expired & this application is the same project.

Design Guideline Reference - Guidelines for Exterior Woodwork (05), Porches, Steps and Decks (06), Windows and Doors (08,) and Small Scale New Construction and Additions (10).

Existing Conditions: Zoning District: MRO Land Use: Single Family Land Area: 5,660 SF +/-Estimated Age of Structure: c.1890 Building Style: Vernacular Historical Significance: C Public View of Proposed Work: View from Richmond and Washington Streets. Unique Features: NA Neighborhood Association: South End B. Proposed Work: To replace rear addition and garage and add an attic dormer. C. Other Permits Required: ☑ Board of Adjustment ☐ Planning Board ☐ City Council D. Lot Location: ✓ Mid-Block Terminal Vista Gateway ☐ Intersection / Corner Lot Rear Lot E. Existing Building to be Altered/ Demolished: ✓ Principal Accessory Demolition F. Sensitivity of Context: ☐ Highly Sensitive ☐ Sensitive ☐ Low Sensitivity ☐ "Back-of-House" G. Design Approach (for Major Projects): Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street) Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street) Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street) ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker) H. Project Type: Consent Agenda (i.e. very small alterations, additions or expansions) ☐ Minor Project (i.e. small alterations, additions or expansions)

CERTIFICATE OF APPROVAL

PUBLIC HEARING #5

K. Aerial Image, Street View and Zoning Map:



HISTORIC

SURVEY

RATING

Proposed Alterations and Existing Conditions



Zoning Map

Moderate Project (i.e. significant additions, alterations or expansions)

☐ Major Project (i.e. very large alternations, additions or expansions)

45 RICHMOND ST. (LU-20-249) - PUBLIC HEARING #5 (MODERATE) INFO/ EVALUATION CRITERIA **NEIGHBORHOOD CONTEXT** SUBJECT PROPERTY **Project Information Existing Abutting Structures Proposed Surrounding Structures** (Average) (Average) Building Building (+/-) (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) **GENERAL BUILDING INFORMATION** COMMISSION Gross Floor Area (SF) Floor Area Ratio (GFA/ Lot Area) Date: Building Height / Street-Width Ratio MODERATE PROJECT Withdrawn Building Height – Zoning (Feet) Approved with Stipulations Building Height – Street Wall / Cornice (Feet) - Construct Two Story Rear Addition, Garage and Attic Dormer -Number of Stories Building Coverage (% Building on the Lot) :: 8 **PROJECT REVIEW ELEMENT APPLICANT'S COMMENTS HDC SUGGESTIONS APPROPRIATENESS** Scale (i.e. height, volume, coverage...) □ Appropriate □ Inappropriate 8 DISTRICT 9 Placement (i.e. setbacks, alignment...) Appropriate □ Inappropriate dS 10 Massing (i.e. modules, banding, stepbacks...) □ Appropriate □ Inappropriate Postponed Architectural Style (i.e. traditional – modern) □ Appropriate □ Inappropriate Roofs Appropriate □ Inappropriate **MEMBERS** 13 Style and Slope □ Appropriate □ Inappropriate **HISTORIC** 14 ⋖ Roof Projections (i.e. chimneys, vents, dormers... □ Appropriate □ Inappropriate **RICHMOND** 15 **Roof Materials** □ Appropriate □ Inappropriate **Cornice Line** 16 ☐ Appropriate ☐ Inappropriate Eaves, Gutters and Downspouts ÍШ 17 ☐ Appropriate ☐ Inappropriate COMMISSION proved 18 Walls ☐ Appropriate ☐ Inappropriate Continued Siding / Material 19 □ Appropriate □ Inappropriate **PORTSMOUTH** Projections (i.e. bays, balconies... □ Appropriate □ Inappropriate 21 **Doors and Windows** □ Appropriate □ Inappropriate 2 Ap 22 Window Openings and Proportions □ Appropriate □ Inappropriate Ш PROPERTY:4 Window Casing/ Trim 23 ☐ Appropriate ☐ Inappropriate **_** Window Shutters / Hardware ☐ Appropriate ☐ Inappropriate 25 **Awnings** ☐ Appropriate ☐ Inappropriate DISTRICT 26 Doors □ Appropriate □ Inappropriate 2 27 **Porches and Balconies** □ Appropriate □ Inappropriate Projections (i.e. porch, portico, canopy...) □ Appropriate □ Inappropriate Landings/Steps/Stoop/Railings ☐ Appropriate ☐ Inappropriate HISTORIC **Lighting** (i.e. wall, post...) □ Appropriate □ Inappropriate Signs (i.e. projecting, wall...) 31 ☐ Appropriate ☐ Inappropriate 32 Mechanicals (i.e. HVAC, generators) □ Appropriate □ Inappropriate 33 □ Appropriate □ Inappropriate Garages/Barns / Sheds (i.e. doors, placement...) ☐ Appropriate ☐ Inappropriate Fence / Walls (i.e. materials, type...) □ Appropriate □ Inappropriate 36 Grading (i.e. ground floor height, street edge...) ☐ Appropriate ☐ Inappropriate 37 **Landscaping** (i.e. gardens, planters, street trees...) ☐ Appropriate ☐ Inappropriate **Driveways** (i.e. location, material, screening...) □ Appropriate □ Inappropriate **Parking** (i.e. location, access, visibility...) ☐ Appropriate ☐ Inappropriate Accessory Buildings (i.e. sheds, greenhouses...) ☐ Appropriate ☐ Inappropriate H. Purpose and Intent: 1. Preserve the integrity of the District: ☐ Yes ☐ No 4. Maintain the special character of the District: ☐ Yes ☐ No 2. Assessment of the Historical Significance: ☐ Yes ☐ No 5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No 3. Conservation and enhancement of property values: ☐ Yes ☐ No 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: □ Yes □ No I. Review Criteria / Findings of Fact: 1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No 3. Relation to historic and architectural value of existing structure: □ Yes □ No 2. Compatibility of design with surrounding properties: ☐ Yes ☐ No 4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Project Evaluation Form: 50 DANIEL ST. (LU-22-40)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #6

<u>A.</u>	A. Property Information - General:						
ı	 Existing Conditions: Zoning District: <u>CD4</u> Land Use: <u>Mixed-Use</u> Land Area: <u>2,665 SF +/-</u> Estimated Age of Structure: <u>c.1810</u> Building Style: <u>Federal</u> Number of Stories: <u>3.0</u> Historical Significance: <u>Contributing</u> Public View of Proposed Work: <u>View from Daniel Street</u> Unique Features: <u>NA</u> Neighborhood Association: <u>Downtown</u> 						
<u>B.</u>	B. Proposed Work: To replace soffit, downspouts, trim, siding, roof &	add lighting.					
<u>C.</u>	C. Other Permits Required:						
	\square Board of Adjustment \square Planning Board \square City Cou	ıncil					
<u>D.</u>	D. Lot Location:						
	□ Terminal Vista □ Gateway ☑ Mid-Block	ck					
	\square Intersection / Corner Lot \square Rear Lot						
<u>E.</u>	E. Existing Building to be Altered/ Demolished:						
	lacktriangleq Principal $lacktriangle$ Accessory $lacktriangle$ Signification	nt Demolition					
<u>F.</u>	F. Sensitivity of Context:						
	\square Highly Sensitive $oxedsymbol{oxed}$ Sensitive \square Low Sensitivity \square "Back-of-House"						
<u>G</u> .	G. Design Approach (for Major Projects):						
	Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)						
	☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)						
	Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)						
	☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)						
<u>H.</u>	H. Project Type:						
	\square Consent Agenda (i.e. very small alterations, additions or expe	Consent Agenda (i.e. very small alterations, additions or expansions)					
	☑ Minor Project (i.e. small alterations, additions or expansions)						
	\square Moderate Project (i.e. significant additions, alterations or exp	oansions)					
	Major Project (i.e. very large alterations, additions or expans	ions)					

I. Neighborhood Context:

• This 3 story wood-sided structure is located on Daniel Street and is surrounded with many contributing and focal historic structures. It is surrounded with many 3-4 story wood- and brick sided historic structures with no front yard setback along the street and narrow side yards.

J. Staff Comments and Suggestions for Consideration:

The project includes:

- The replacement of the existing trim, standing seam metal roof, corner boards, siding, downspouts, and the roof soffit.
- <u>Design Guideline Reference</u>: Guidelines for Exterior Woodwork (05), Roofing (05), Masonry & Stucco (07), and Windows and Doors (08).

K. Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

C

	50 DANIEL STREET (LU-22-40) – PUBLIC HEARING #6 (MINOR)											
			INFO/ EVALUATION CRITERIA	SUBJE	CT PROPERTY			NEIGHBORH(OOD CONTEXT			
			Project Information	Existing Building	Proposed Building (+/-	Abutting Struct (Average)	ures		Surrounding Structures (Average)		\S \S	4 p
			GENERAL BUILDING INFORMATION			PS & ASSESSOR'S INFO)						enied
STAFF		1	Gross Floor Area (SF)	•		•					TA \$ 9	임 🎽
⊻		2	Floor Area Ratio (GFA/ Lot Area)								O 9 4	rl
S		3	Building Height / Street-Width Ratio			MINOR F	PRO	IFCT				
	L	4	Building Height – Zoning (Feet)				NO	JLCI			AIS at a	'
	-	5	Building Height – Street Wall / Cornice (Feet)	_	REPLACE SC	OFFIT, DOWNSPO	ITS F	OOF TRIA	A & SIDING FTO	` _		
		6	Number of Stories		KLI LACE 3C	orini, bownsi o	J13, 1		n & Sibilito Ele	.	Z	, ¥ b
		7	Building Coverage (% Building on the Lot)				<u>-</u>					pulations Withdrawn
			PROJECT REVIEW ELEMENT	HDC (COMMENTS	HDC	SUGGES	TIONS		RIATENESS	$\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ $	Stipulations Withdraw
	ONTEXT	8	Scale (i.e. height, volume, coverage)							□ Inappropriate	_ <u> </u>	∵
	빌	9	Placement (i.e. setbacks, alignment)							□ Inappropriate		_
	S	10	Massing (i.e. modules, banding, stepbacks)							□ Inappropriate		?
		11	Architectural Style (i.e. traditional – modern)						1	□ Inappropriate		
S		12	Roofs							□ Inappropriate		, × 6
MEMBERS		13	Style and Slope							□ Inappropriate	╡ ╌ ┇	Approved Postponed
B		14	Roof Projections (i.e. chimneys, vents, dormers)							□ Inappropriate	╛┙┪	i d
$\stackrel{\mathbf{>}}{\mathbf{=}}$	-	15	Roof Materials							□ Inappropriate	V CRI	
₹	-	16	Cornice Line							□ Inappropriate	⊣ > ഉ ∞) \Box \Box
	S	17	Eaves, Gutters and Downspouts							□ Inappropriate	⊢₩Ы	심
ō	TERIALS	18	Walls							□ Inappropriate		
S	띪	19	Siding / Material							□ Inappropriate	→ → →	
<u>S</u>	WA	20	Projections (i.e. bays, balconies)							□ Inappropriate	⊢⊨E>	1
COMMISSION	∞ ~	21	Doors and windows							□ Inappropriate	⊣ દે ~ ટેડે	Approved Continued
\geq	Z U	22	Window Openings and Proportions							□ Inappropriate	_ _	3
Ö	DESIG	23 24	Window Casing/ Trim Window Shutters / Hardware							□ Inappropriate	⊢ Ж 💆 💆	• 🗀
		25	Awnings							□ Inappropriate	ORTS/	•
\Box	N N	26	Doors							□ Inappropriate	\dashv \bigcap $\stackrel{\kappa}{\sim}$ $\stackrel{\pi}{\sim}$; 5
~	BUILDING	27	Porches and Balconies							□ Inappropriate □ Inappropriate		
DISTRICT	BU	28	Projections (i.e. porch, portico, canopy)							□ Inappropriate □ Inappropriate	⊣ ଦ ୁ ଦୁ	
	-	29	Landings/ Steps / Stoop / Railings							□ Inappropriate	⊣ 🗖 🖀	. e
U		30	Lighting (i.e. wall, post)							□ Inappropriate □ Inappropriate		_
Ž	-	31	Signs (i.e. projecting, wall)							□ Inappropriate		
0		32	Mechanicals (i.e. HVAC, generators)							□ Inappropriate		
HISTORIC		33	Decks							□ Inappropriate		
王		34	Garages (i.e. doors, placement)							□ Inappropriate		
		35	Fence / Walls (i.e. materials, type)							□ Inappropriate		
	DESIGN	36	Grading (i.e. ground floor height, street edge)							□ Inappropriate		
	ESI	37	Landscaping (i.e. gardens, planters, street trees)							□ Inappropriate		
		38	Driveways (i.e. location, material, screening)							□ Inappropriate		
	SITE	39	Parking (i.e. location, access, visibility)						□ Appropriate	□ Inappropriate	1	
		40	Accessory Buildings (i.e. sheds, greenhouses)						□ Appropriate	□ Inappropriate		
	<u>H. I</u>	1. Pre	se and Intent: esserve the integrity of the District:	□ Yes □		4. Maintain the special ch			ad historia abaraatari			es 🗆 No
			sessment of the Historical Significance: onservation and enhancement of property valu	☐ Yes ☐ Yes ☐ Yes ☐		Complement and enhaPromote the education,				recidents and visit		es 🗆 No es 🗆 No
	<u>I. R</u>	eview	Criteria / Findings of Fact:								ois. u te	3 □ INO
			onsistent with special and defining character of mpatibility of design with surrounding propertie	<u> </u>		 Relation to historic and the compatibility of innovations. 				□ Yes □ No □ Yes □ No		

Project Address: 33 DEER STREET (LU-22-64) Permit Requested: CERTIFCATE OF APPROVAL Meeting Type: PUBLIC HEARING #7

A. Property Information - General:

Existing Conditions:

- Zoning District: CD5
- Land Use: Mixed-Use
- Land Area: <u>17,800 SF +/-</u>
- Estimated Age of Structure: c.1985 Building Style: Contemporary
- Number of Stories: 2.5
- Historical Significance: <u>NA</u>
 Public View of Proposed Work: <u>No public view</u>
- Unique Features: NA
- Neighborhood Association: South End

	_					
<u>B.</u>	Proposed Work: To replace decks	and balconies and	d HVAC screens.			
<u>C.</u>	Other Permits Required:					
	\square Board of Adjustment	☐ Planning Board	☐ City Council			
<u>D.</u>	Lot Location:					
	☐ Terminal Vista	Gateway	☑ Mid-Block			
	$\ \square$ Intersection / Corner Lot	Rear Lot				
<u>E.</u>	Existing Building to be Altered/ Demo	olished / Constructed	<u>:</u>			
	✓ Principal	Accessory	Demolition			
<u>F.</u>	Sensitivity of Context:					
	\square Highly Sensitive \square Sensitiv	ve 🗹 Low Sensitivity	"Back-of-House			
<u>G.</u>	. Design Approach (for Major Projects	s <u>):</u>				
	☑ Literal Replication (i.e. 6-16 (Congress, Jardinière Buildi	ng, 10 Pleasant Street)			
	☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)					
	Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)					
	☐ Intentional Opposition (i.e. I	McIntyre Building, Citizen'	s Bank, Coldwell Banker)			
<u>H.</u>	Project Type:					
	\square Consent Agenda (i.e. very	small alterations, add	ditions or expansions)			
	☑ Minor Project (i.e. small alt	erations, additions or	expansions)			
	☐ Moderate Project (i.e. sign	ificant additions, alte	rations or expansions)			

☐ Major Project (i.e. very large alterations, additions or expansions)

J. Neighborhood Context:

• This building is located along Deer Street. The property is surrounded with many modern and historically significant structures (located across the street on "the Hill"). The structures in this neighborhood have shallow setbacks along the street and narrow side yards.

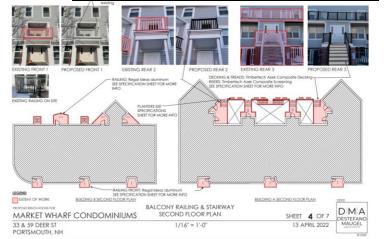
K. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

• Replace decks, balconies, and HVAC screens.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Porches, Stoops and Decks (06) and Site Elements and Streetscapes (09).

Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING NA

33 DEER STREET (LU-22-64) - PUBLIC HEARING #7 (MINOR) INFO/ EVALUATION CRITERIA **SUBJECT PROPERTY NEIGHBORHOOD CONTEXT** Surrounding Structures (Average) **Existing Building Project Information** Proposed Building (+/-) **Abutting Structures** FORM No. **GENERAL BUILDING INFORMATION** (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) COMMISSION Gross Floor Area (SF) Floor Area Ratio (GFA/ Lot Area) MINOR PROJECT Building Height / Street-Width (ROW) Ratio Building Height – Zoning (Feet) Withdrawn - REPLACE DECKS AND BALCONIES, & ADD LIGHTING ONLY -Appoved with Stipulations Building Height - Street Wall / Cornice (Feet) Number of Stories Building Coverage (% Building on the Lot) **PROJECT REVIEW ELEMENT APPROPRIATENESS APPLICANT'S COMMENTS HDC SUGGESTIONS** .: 8 **Scale** (i.e. height, volume, coverage...) □ Appropriate □ Inappropriate DISTRICT 9 Placement (i.e. setbacks, alignment...) □ Appropriate □ Inappropriate 10 Massing (i.e. modules, banding, stepbacks... Appropriate | Inappropriate 4 Postponed 11 **Architectural Style** (i.e. traditional – modern) □ Appropriate □ Inappropriate 12 Roofs Appropriate □ Inappropriate **MEMBERS** 13 Style and Slope □ Appropriate □ Inappropriate 14 Roof Projections (i.e. chimneys, vents, dormers...) □ Appropriate □ Inappropriate HISTORIC 4 15 **Roof Materials** □ Appropriate □ Inappropriate 16 **Cornice Line** □ Appropriate □ Inappropriate STRI Eaves, Gutters and Downspouts 17 □ Appropriate □ Inappropriate ш COMMISSION 18 Walls □ Appropriate □ Inappropriate Continued 19 Number and Material □ Appropriate □ Inappropriate **ERTY PORTSMOUTH** PROPERTY:33 DE Projections (i.e. bays, balconies...) □ Appropriate □ Inappropriate 21 **Doors and windows** □ Appropriate □ Inappropriate Window Openings and Proportions □ Appropriate □ Inappropriate 23 Window Casing/ Trim □ Appropriate □ Inappropriate 24 Window Shutters / Hardware □ Appropriate □ Inappropriate **_** 25 Storm Windows / Screens □ Appropriate □ Inappropriate DISTRICT □ Appropriate □ Inappropriate 27 **Porches and Balconies** □ Appropriate □ Inappropriate 2 Projections (i.e. porch, portico, canopy... □ Appropriate □ Inappropriate Landings/Steps/Stoop/Railings □ Appropriate □ Inappropriate ISTORIC **Lighting** (i.e. wall, post...) □ Appropriate □ Inappropriate Signs (i.e. projecting, wall...) □ Appropriate □ Inappropriate **Mechanicals** (i.e. HVAC, generators) □ Appropriate □ Inappropriate 33 Decks □ Appropriate □ Inappropriate Garages / Barns / Sheds (i.e. doors, placement...) □ Appropriate □ Inappropriate 35 Fence / Walls / Screenwalls (i.e. materials, type...) □ Appropriate □ Inappropriate **Grading** (i.e. ground floor height, street edge...) 36 □ Appropriate □ Inappropriate 37 **Landscaping** (i.e. gardens, planters, street trees...) □ Appropriate □ Inappropriate **Driveways** (i.e. location, material, screening...) □ Appropriate □ Inappropriate **Parking** (i.e. location, access, visibility...) □ Appropriate □ Inappropriate Accessory Buildings (i.e. sheds, greenhouses...) ☐ Appropriate ☐ Inappropriate **H. Purpose and Intent:** 1. Preserve the integrity of the District: ☐ Yes ☐ No 4. Maintain the special character of the District: ☐ Yes ☐ No 2. Assessment of the Historical Significance: 5. Complement and enhance the architectural and historic character: □ Yes □ No ☐ Yes ☐ No 3. Conservation and enhancement of property values: 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No □ Yes □ No I. Review Criteria / Findings of Fact: 1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No 3. Relation to historic and architectural value of existing structure: □ Yes □ No

☐ Yes ☐ No 4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

Project Address: 1 & 31 RAYNES AVE. (LUHD-234) **Permit Requested: CERTIFICATE OF APPROVAL Meeting Type: WORK SESSION #A**

Existing	Con	iditions:
-/		

- Zoning District: CD4
- Land Use: Vacant / Gvm
- Land Area: 2.4 Acres +/-
- Estimated Age of Structure: c.1960s
- Building Style: <u>Contemporary</u> Historical Significance: <u>NA</u>
- Public View of Proposed Work: View from Maplewood and Raynes Ave.
- Unique Features: <u>NA</u>
- Neighborhood Association: Downtown

. Proposed Work:	To construct a 4 & 5 story	y mixed-use building

b. Floposed Work. 10 Construct a 4 & 3 story triked-use boliding.						
C. Other Permits Required:						
☐ Board of Adjustment	✓ Planning Board	☐ City Council				
D. Lot Location:						
Terminal Vista	☐ Gateway	☑ Mid-Block				
✓ Intersection / Corner Lot	☐ Rear Lot					
E. Existing Building to be Altered/ Demo	olished:					
✓ Principal	Accessory	Demolition				
F. Sensitivity of Context:						
☐ Highly Sensitive ☑ Sensit	tive \square Low Sensitivity	"Back-of-House				
G. Design Approach (for Major Project	<u>s):</u>					
Literal Replication (i.e. 6-16 C	Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)					
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)						
Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)						
Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)						
H. Project Type:						
\square Consent Agenda (i.e. very small alterations, additions or expansions)						
\square Minor Project (i.e. small alte	erations, additions or e	expansions)				
☐ Moderate Project (i.e. sign	nificant additions, alte	rations or expansions)				

✓ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

• The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish the existing buildings.
- Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
- The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
- An appeal was filed with the Board of Adjustment for the Planning Board approval of this project.
- NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH AND WE WILL GET THE REVISED BUILDING DESIGN INTO THE CITY'S 3D MASSING MODEL.

Design Guideline Reference - Guidelines for Commercial Developments and Storefronts (12).

Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

		1 & 31	KAYNES AVE.	(LUHD-23	<u> 4) – WORK SESSIO</u>	N #A (MAJC	DR PROJECT)		
		INFO/ EVALUATION CRITERIA	SUBJECT	PROPERTY		NEIGHBO	RHOOD CONTEXT		
		Project Information	Existing Building	Proposed Building (+		ures	Surrounding Structures (Average)	3	KM V 13-22
<u> </u>		GENERAL BUILDING INFORMATION	(ESTIMATED I	ROM THE TAX M	APS & ASSESSOR'S INFO)				13
ב ב	1	Gross Floor Area (SF)			-				
A I	2	Floor Area Ratio (GFA/ Lot Area)							0 5 4
? 	3	Building Height / Street-Width Ratio			MAJOR I	PROJECT)
-	4	Building Height – Zoning (Feet)							F(1155 ate
	5	Building Height – Street Wall / Cornice (Feet)		- Cons	struct 4 & 5-Story	Mixed-Use B	Suildinas Only –		≥ △
}	7	Number of Stories Building Coverage (% Building on the Lot)		0011	on oci 4 a o olory i	MIXCU 030 B	onamy om,		
$\overline{}$		PROJECT REVIEW ELEMENT	APPLICANT'S	COMMENTS	нос	SUGGESTIONS	A PPR OP	RIATENESS	O
	8	Scale (i.e. height, volume, coverage)	ATTECANTS	COMMENTS	TIDE :	300013110143		□ Inappropriate	
i i	9	Placement (i.e. setbacks, alignment)						□ Inappropriate	
INO	10	Massing (i.e. modules, banding, stepbacks)					· · · · ·	□ Inappropriate	AT TRIC
8	11	Architectural Style (i.e. traditional – modern)						□ Inappropriate	A TR
	12	Roofs						□ Inappropriate	
	13	Style and Slope						□ Inappropriate	[D
	14	Roof Projections (i.e. chimneys, vents, dormers)						□ Inappropriate	A
	15	Roof Materials						 □ Inappropriate 	7
	16	Cornice Line						□ Inappropriate	EV HISTO
	17	Eaves, Gutters and Downspouts						□ Inappropriate	E ST
SIGN & MATERIALS	18	Walls						□ Inappropriate	–
IR/	19	Siding / Material						□ Inappropriate	<u> </u>
ATE	20	Projections (i.e. bays, balconies)						□ Inappropriate	RT OUTH
 	21	Doors and Windows						□ Inappropriate	R 000
∞ Z	22	Window Openings and Proportions					☐ Appropriate	□ Inappropriate	
8	23	Window Casing/ Trim					□ Appropriate	□ Inappropriate	Щ <u>×</u> щ
DE	24	Window Shutters / Hardware					☐ Appropriate	□ Inappropriate	P 75, 7: <u>1</u>
β	25	Awnings					☐ Appropriate	□ Inappropriate	
	26	Doors						□ Inappropriate	O S S E E E
BUILDING	27	Porches and Balconies						□ Inappropriate	7
-	28	Projections (i.e. porch, portico, canopy)						□ Inappropriate	
	29	Landings/ Steps / Stoop / Railings						□ Inappropriate	–
	30	Lighting (i.e. wall, post)						□ Inappropriate	_
	31	Signs (i.e. projecting, wall)						☐ Inappropriate	
-	32	Mechanicals (i.e. HVAC, generators)						□ Inappropriate	
-	33	Decks Carages / Barns / Shods /i.e. deers placement /							
	34 35	Garages/Barns / Sheds (i.e. doors, placement) Fence / Walls (i.e. materials, type)						☐ Inappropriate	
Z,	36	Grading (i.e. ground floor height, street edge)						☐ Inappropriate	
ESIGN	37	Landscaping (i.e. gardens, planters, street trees)						☐ Inappropriate☐ Inappropriate	
EDE	38	Driveways (i.e. location, material, screening)						□ Inappropriate	See See See See See See See See See See
SIE	39	Parking (i.e. location, access, visibility)						□ Inappropriate	9
	40	Accessory Buildings (i.e. sheds, greenhouses)						□ Inappropriate	
H. I		se and Intent:							
<u> </u>		eserve the integrity of the District:	□ Yes □ No		4. Maintain the special cha	aracter of the Distric	+•		□ Yes □
		sessment of the Historical Significance:	□ Yes □ No		5. Complement and enhance				□ Yes □
		onservation and enhancement of property val			6. Promote the education,			residents and visitor	
		, , ,			o. Tromoto ino odocation,	piodolo di la Wolle		TOSIGOTIIS GITG VISITOI	J. 103 L
<u>I. R</u>		Criteria / Findings of Fact:	r		0. D. L. P				
		onsistent with special and defining character o	. .				_	□ Yes □ No	
:	2. Co	mpatibility of design with surrounding propertie	es:	\square Yes \square No	4. Compatibility of innovat	ve technologies wit	th surrounding properties:	□ Yes □ No	

2 RUSSELL & O DEER ST (LUHD-366) **Project Address: Permit Requested: CERTIFICATE OF APPROVAL Meeting Type: WORK SESSION #B**

A. Property Information - General:

Existing Conditions:

- Zoning District: <u>CD</u>5
- Land Use: Vacant / Parking
- Land Area: <u>85,746 SF +/-</u>
- Estimated Age of Structure: NA
- Building Style: NA
- Number of Stories: NA
- Historical Significance: NA
- Public View of Proposed Work: <u>View from Deer & Russell Streets & Maplewood Ave.</u>
- Unique Features: Surface Parking Lot
- Neighborhood Association: North End

	B. I	Proposed Work:	10	cons	<u>truct</u>	4-5	story,	mixec	l-use	build	<u>sgnit</u>	,
--	------	----------------	----	------	--------------	-----	--------	-------	-------	-------	--------------	---

B. Proposed Work: 10 Construct 4-5	<u>story, mixea-use bui</u>	<u>iaings.</u>						
C. Other Permits Required:								
☐ Board of Adjustment	☑ Planning Board	\square City Council						
D. Lot Location:								
☐ Terminal Vista	☑ Gateway	☐ Mid-Block						
✓ Intersection / Corner Lot	☐ Rear Lot							
E. Existing Building to be Altered/ Demo	E. Existing Building to be Altered/ Demolished / Constructed:							
✓ Principal	Accessory	Demolition						
F. Sensitivity of Context:								
\square Highly Sensitive $oxedsymbol{arDelta}$ Sensitive \square Low Sensitivity \square "Back-of-Hous								
G. Design Approach (for Major Projects):								
Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)								
\square Invention within a Style (i.e	., Porter Street Townhouses	s, 100 Market Street)						

Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)

H. Project Type:

Consent Agendo	ı (i.e. very small c	ılterations, ad	dditions or ex	kpansions
Minor Project (i.e.	. small alterations	s, additions o	or expansions	s)

☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

Neighborhood Context:

• The new building is located along Maplewood Ave., Russell and Deer Streets. It is surrounded with many new and proposed infill buildings ranging from 2.5 to 5 stories in height. The neighborhood is predominantly made up of newer, 4-5 story brick structures on large lots with little to no setback from the sidewalk.

J. Staff Comments and/ or Suggestions for Consideration:

- THE APPLICANT HS SUBMITTED BUILDING ELEVATIONS SHOWING A VARIETY OF ARCHITECTURAL ELEMENTS TO BREAK UP THE MASS OF THE LARGER BUILDING INTO SMALL, MORE TRADITIONALLY SPACED BUILDINGS.
- IN ADHERENCE TO THE 4-STEP DESIGN PROCESS, THE COMMISSION SHOULD ASSESS AND PROVIDE FEEDBACK ON THE PORPOSED FAÇADE TREATMENTS, MASSING, AND THE REALATIONSHIP OF THE TRANSITIONARY SPACES ALONG THE SIDEWALK AND PROPOSED COMMUNITY SPACES WITH THE BUILDINGS.
 - NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH AND WE WILL GET THE REVISED BUILDING DESIGN INTO THE CITY'S 3D MASSING MODEL.

Design Guideline Reference - Guidelines for Commercial Developments and Storefronts (12).

Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING NA

2 RUSSELL & 0 DEER STREET (LUHD-366) - WORK SESSION #B (MAJOR PROJECT) INFO/ EVALUATION CRITERIA **SUBJECT PROPERTY NEIGHBORHOOD CONTEXT** 4-13-22 **Existing Building** Surrounding Structures (Average) **Project Information** Proposed Building (+/-) **Abutting Structures** FORM No. **GENERAL BUILDING INFORMATION** (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) COMMISSION Gross Floor Area (SF) Floor Area Ratio (GFA/ Lot Area) **MAJOR PROJECT** Date: Building Height / Street-Width (ROW) Ratio Building Height – Zoning (Feet) Withdrawn - CONSTRUCT THREE, 4-5 STORY BUILDINGS ONLY -Stipulations Building Height – Street Wall / Cornice (Feet) Number of Stories Building Coverage (% Building on the Lot) .: <mark>0</mark> **PROJECT REVIEW ELEMENT APPROPRIATENESS APPLICANT'S COMMENTS HDC SUGGESTIONS Scale** (i.e. height, volume, coverage...) □ Appropriate □ Inappropriate DISTRICT Φ 9 Placement (i.e. setbacks, alignment...) □ Appropriate □ Inappropriate Approved with Cas 10 Massing (i.e. modules, banding, stepbacks... Appropriate □ Inappropriate 4 11 **Architectural Style** (i.e. traditional – modern) Postponed □ Appropriate □ Inappropriate 12 Roofs Appropriate □ Inappropriate **MEMBERS** 13 Style and Slope □ Appropriate □ Inappropriate 14 Roof Projections (i.e. chimneys, vents, dormers...) □ Appropriate □ Inappropriate HISTORIC 4 15 **Roof Materials** □ Appropriate □ Inappropriate 16 **Cornice Line** □ Appropriate □ Inappropriate Eaves, Gutters and Downspouts 17 □ Appropriate □ Inappropriate ш 0 COMMISSION 18 Walls □ Appropriate □ Inappropriate Approved 19 Number and Material □ Appropriate □ Inappropriate **PORTSMOUTH** RUSELL Projections (i.e. bays, balconies...) □ Appropriate □ Inappropriate 21 Doors and windows □ Appropriate □ Inappropriate Window Openings and Proportions □ Appropriate □ Inappropriate ш 23 Window Casing/ Trim □ Appropriate □ Inappropriate 24 Window Shutters / Hardware ERTY:2 □ Appropriate □ Inappropriate **_** 25 Storm Windows / Screens □ Appropriate □ Inappropriate DISTRICT □ Appropriate □ Inappropriate 27 **Porches and Balconies** □ Appropriate □ Inappropriate 2 Projections (i.e. porch, portico, canopy... ROP □ Appropriate □ Inappropriate Landings/ Steps / Stoop / Railings □ Appropriate □ Inappropriate ISTORIC **Lighting** (i.e. wall, post...) □ Appropriate □ Inappropriate Signs (i.e. projecting, wall...) □ Appropriate □ Inappropriate **Mechanicals** (i.e. HVAC, generators) □ Appropriate □ Inappropriate 33 Decks □ Appropriate □ Inappropriate Garages / Barns / Sheds (i.e. doors, placement...) □ Appropriate □ Inappropriate 35 Fence / Walls / Screenwalls (i.e. materials, type...) □ Appropriate □ Inappropriate **Grading** (i.e. ground floor height, street edge...) 36 □ Appropriate □ Inappropriate 37 **Landscaping** (i.e. gardens, planters, street trees...) □ Appropriate □ Inappropriate **Driveways** (i.e. location, material, screening...) □ Appropriate □ Inappropriate **Parking** (i.e. location, access, visibility...) □ Appropriate □ Inappropriate Accessory Buildings (i.e. sheds, greenhouses...) ☐ Appropriate ☐ Inappropriate H. Purpose and Intent: 1. Preserve the integrity of the District: ☐ Yes ☐ No 4. Maintain the special character of the District: ☐ Yes ☐ No 2. Assessment of the Historical Significance: 5. Complement and enhance the architectural and historic character: □ Yes □ No ☐ Yes ☐ No 3. Conservation and enhancement of property values: 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No □ Yes □ No I. Review Criteria / Findings of Fact: 1. Consistent with special and defining character of surrounding properties: \Box Yes \Box No 3. Relation to historic and architectural value of existing structure: □ Yes □ No

☐ Yes ☐ No 4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

Project Address: 1 CONGRESS ST. (LUHD-425) **Permit Requested: CERTIFICATE OF APPROVAL Meeting Type: WORK SESSION #C**

A. Property Information - General:

Existing Conditions:

- Zoning District: <u>CD4& CD5</u>
 Land Use: <u>Commercial</u>
- Land Area: 13,940 SF +/-

- Estimated Age of Structure: c<u>1860 & 1892</u>
 Building Style: <u>Italianate & Richardsonian Romanesque</u>
 Number of Stories: <u>3 & 3.5</u>
 Historical Significance: <u>Contributing (1860) & Focal (1892)</u>
 Public View of Proposed Work: <u>View from Congress and High Streets</u>
- Unique Features: NA
- Neighborhood Association: Downtown

В.	B. Proposed Work: To renovate the existing b	buildings and add a new 4-story building.					
<u>C.</u>	C. Other Permits Required:						
	\square Board of Adjustment \square Plant	ning Board 🗌 City Council					
<u>D.</u>	D. Lot Location:						
	☐ Terminal Vista ☐ Gate	eway 🗌 Mid-Block					
	$lacktriangle$ Intersection / Corner Lot $\ \square$ Rear	Lot					
<u>E.</u>	E. Existing Building to be Altered/ Demolished / 0	Constructed:					
	✓ Principal □ Accompany	essory Demolition					
F.	F. Sensitivity of Context:						
	\square Highly Sensitive $oldsymbol{arDelta}$ Sensitive \square Lo	ow Sensitivity \square "Back-of-House"					
<u>G.</u>	G. Design Approach (for Major Projects):						
	Literal Replication (i.e. 6-16 Congress, Jan	dinière Building, 10 Pleasant Street)					
	☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)						
	Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)						
	Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)						
<u>H.</u>	H. Project Type:						
	\square Consent Agenda (i.e. very small alte	rations, additions or expansions)					
	\square Minor Project (i.e. small alterations, c	additions or expansions)					
	☐ Moderate Project (i.e. significant ac	dditions, alterations or expansions)					
	☑ Major Project (i.e. very large altern	ations, additions or expansions)					

Neighborhood Context:

• The new building is located market square and High Street with many contributing historic structures. The building front directly along the street with no front yard or side yard setbacks. The abutting parking lot previous had a three-story wood-frame hotel building.

Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
 - Make significant renovations to the existing historic structures and add a three-story addition to fill the existing surface parking lot.
 - The project also proposes improvements to Haven Court as a pedestrian alleyway connecting to Fleet Street.
 - Note that an administrative appeal has been filed with the Board of Adjustment seeking to provide relief for the added building height along High Street.
 - NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH AND WE WILL GET THE REVISED BUILDING DESIGN INTO THE CITY'S 3D MASSING MODEL.
 - Design Guideline Reference Guidelines for Commercial Development and Storefronts (12)

K. Aerial Image, Street View and Zoning Map:





Zoning Map

HISTORIC SURVEY RATING

1 CONGRESS ST. (LUHD-425) – WORK SESSION #C (MAJOR PROJECT) INFO/ EVALUATION CRITERIA SUBJECT PROPERTY **NEIGHBORHOOD CONTEXT** Surrounding Structures (Average) **Project Information Existing Building** Proposed Building (+/-) **Abutting Structures** FORM No. **GENERAL BUILDING INFORMATION** (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) **DISTRICT COMMISSION** Gross Floor Area (SF) Floor Area Ratio (GFA/ Lot Area) **MAJOR PROJECT** Building Height / Street-Width (ROW) Ratio Building Height – Zoning (Feet) Withdrawn ALTERATIONS TO EXISTING HISTORIC BUILDINGS & ADD A 4-STORY BUILDING Approved with Stipulations Dat Building Height – Street Wall / Cornice (Feet) Number of Stories Building Coverage (% Building on the Lot) **PROJECT REVIEW ELEMENT APPROPRIATENESS APPLICANT'S COMMENTS HDC SUGGESTIONS Scale** (i.e. height, volume, coverage...) □ Appropriate □ Inappropriate 9 Placement (i.e. setbacks, alignment...) □ Appropriate □ Inappropriate 10 Massing (i.e. modules, banding, stepbacks... Appropriate | Inappropriate ase | 4 11 **Architectural Style** (i.e. traditional – modern) Postponed □ Appropriate □ Inappropriate 12 Roofs Appropriate □ Inappropriate **MEMBERS** 13 Style and Slope □ Appropriate □ Inappropriate 14 Roof Projections (i.e. chimneys, vents, dormers...) □ Appropriate □ Inappropriate **HISTORIC** 4 15 **Roof Materials** □ Appropriate □ Inappropriate 16 **Cornice Line** □ Appropriate □ Inappropriate Eaves, Gutters and Downspouts 17 □ Appropriate □ Inappropriate ш 18 Walls COMMISSION □ Appropriate □ Inappropriate Approved Continued 19 Number and Material □ Appropriate □ Inappropriate RTY CON **PORTSMOUTH** Projections (i.e. bays, balconies...) □ Appropriate □ Inappropriate 21 **Doors and windows** □ Appropriate □ Inappropriate Window Openings and Proportions □ Appropriate □ Inappropriate ш 23 Window Casing/ Trim □ Appropriate □ Inappropriate ٔ چُ 24 Window Shutters / Hardware □ Appropriate □ Inappropriate **PROPERTY** 25 Storm Windows / Screens □ Appropriate □ Inappropriate DISTRICT Doors □ Appropriate □ Inappropriate 27 **Porches and Balconies** □ Appropriate □ Inappropriate 2 28 Projections (i.e. porch, portico, canopy... □ Appropriate □ Inappropriate Landings/Steps/Stoop/Railings □ Appropriate □ Inappropriate ISTORIC **Lighting** (i.e. wall, post...) □ Appropriate □ Inappropriate Signs (i.e. projecting, wall...) □ Appropriate □ Inappropriate **Mechanicals** (i.e. HVAC, generators) □ Appropriate □ Inappropriate 33 Decks □ Appropriate □ Inappropriate Garages / Barns / Sheds (i.e. doors, placement...) □ Appropriate □ Inappropriate 35 Fence / Walls / Screenwalls (i.e. materials, type...) □ Appropriate □ Inappropriate **Grading** (i.e. ground floor height, street edge...) 36 □ Appropriate □ Inappropriate 37 **Landscaping** (i.e. gardens, planters, street trees...) □ Appropriate □ Inappropriate 38 **Driveways** (i.e. location, material, screening...) □ Appropriate □ Inappropriate **Parking** (i.e. location, access, visibility...) □ Appropriate □ Inappropriate Accessory Buildings (i.e. sheds, greenhouses...) ☐ Appropriate ☐ Inappropriate H. Purpose and Intent: 1. Preserve the integrity of the District: ☐ Yes ☐ No 4. Maintain the special character of the District: ☐ Yes ☐ No 2. Assessment of the Historical Significance: 5. Complement and enhance the architectural and historic character: □ Yes □ No ☐ Yes ☐ No 3. Conservation and enhancement of property values: 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No □ Yes □ No I. Review Criteria / Findings of Fact: 1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No 3. Relation to historic and architectural value of existing structure: □ Yes □ No

☐ Yes ☐ No 4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

Project Evaluation Form: 445 MARCY STREET (LUHD-424)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #D

A. Property Information - General:						
Existing Conditions:Zoning District: GRB						
 Land Use: Single-Family 						
 Land Area: <u>14,810 SF +/-</u> Estimated Age of Structure: 	NA					
 Building Style: NA 						
 Number of Stories: 2.5 Historical Significance: NA 						
 Public View of Proposed Wo 	ork: <u>View from Pray an</u>	<u>id Marcy Street</u>				
Unique Features: <u>NA</u>Neighborhood Association:	South End					
B. Proposed Work: To add a single	e family residence.					
C. Other Permits Required:						
\square Board of Adjustment	Planning Board	☐ City Council				
D. Lot Location:						
\square Terminal Vista	Gateway	☑ Mid-Block				
\Box Intersection / Corner Lo	t 🗌 Rear Lot					
E. Existing Building to be Altered/ De	molished:					
✓ Principal	Accessory	$\ \square$ Significant Demolition				
F. Sensitivity of Context:						
$lacktriangle$ Highly Sensitive \Box Sensitive \Box Low Sensitivity \Box "Back-of-House"						
G. Design Approach (for Major Projects):						
Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)						
☑ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)						
Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)						
Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)						
H. Project Type:						
Consent Agenda (i.e. very small alterations, additions or expansions)						
\square Minor Project (i.e. small α	alterations, additions or e	expansions)				
☑ Moderate Project (i.e.	significant additions, alte	erations or expansions)				
\square Major Project (i.e. very I	arge alterations, additio	ns or expansions)				

I. Neighborhood Context:

• This proposed structure is located along Pray Street and will be surrounded with many wood-sided, 2.5- story contributing historic structures. Most buildings have a shallow front- and side-yard setbacks and deeper but still relatively compact rear yards.

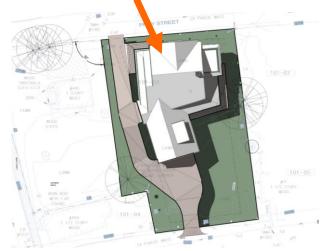
J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to revise the previous approval for:
 - Adding a new single family structure on the lot where previous a historic structure was located.
- NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH AND WE WILL GET THE REVISED BUILDING DESIGN INTO THE CITY'S 3D MASSING MODEL.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

K. Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

NA

		44.		REET (LUHD-424)	<u>– WORK SESSION</u>	N #D (MODE	RATE)	T
		INFO/ EVALUATION CRITERIA	SUBJE	CT PROPERTY		NEIGHBORHO	OOD CONTEXT	
	N.a	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)		Surrounding Structures (Average)	5
		GENERAL BUILDING INFORMATION	(ESTIMA	TED FROM THE TAX MAPS & ASS	SESSOR'S INFO)			
	1	Gross Floor Area (SF)						
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio		N	NODERATE PR	ROIFCT		
	4	Building Height – Zoning (Feet)		14	ODLICATE	NOJECI		-
	5	Building Height – Street Wall / Cornice (Feet)		- ADD A NE	W SINGLE FAMIL	Y STRIICTIII	RE ONLY -	_
	6	Number of Stories		ADDAIN	W SINGLE I AMII	LI SINGCIO	KL OILLI	4
	7	Building Coverage (% Building on the Lot)						
		PROJECT REVIEW ELEMENT	HDC	COMMENTS	HDC SUGGE	ESTIONS	APPROPRIATENESS	\
NTEXT	8	Scale (i.e. height, volume, coverage)					□ Appropriate □ Inappropriate	;
┇┖	9	Placement (i.e. setbacks, alignment)					□ Appropriate □ Inappropriate	, "
<u>5</u> _	10	Massing (i.e. modules, banding, stepbacks)					□ Appropriate □ Inappropriate	
\perp	11	Architectural Style (i.e. traditional – modern)					□ Appropriate □ Inappropriate	•
L	12	Roofs					□ Appropriate □ Inappropriate	
	13	Style and Slope					□ Appropriate □ Inappropriate	•
	14	Roof Projections (i.e. chimneys, vents, dormers)					□ Appropriate □ Inappropriate	
	15	Roof Materials					□ Appropriate □ Inappropriate	•
	16	Cornice Line					□ Appropriate □ Inappropriate	!
	17	Eaves, Gutters and Downspouts					☐ Appropriate ☐ Inappropriate	
	18 19	Walls Siding / Material		<u> </u>			□ Appropriate □ Inappropriate	\dashv ,
	20	Projections (i.e. bays, balconies)					□ Appropriate □ Inappropriate	\dashv
-	21	Doors and windows					□ Appropriate □ Inappropriate	─┤ ┌
_	22	Window Openings and Proportions					□ Appropriate □ Inappropriate	
_	23	Window Casing/ Trim					□ Appropriate □ Inappropriate	
-	24	Window Shutters / Hardware					□ Appropriate □ Inappropriate	
-	25	Awnings					□ Appropriate □ Inappropriate	─┤ ╵
-	26	Doors					□ Appropriate □ Inappropriate	\dashv (
-	27	Porches and Balconies					□ Appropriate □ Inappropriate	
-	28	Projections (i.e. porch, portico, canopy)					☐ Appropriate ☐ Inappropriate	
_	29	Landings/ Steps / Stoop / Railings					□ Appropriate □ Inappropriate	\dashv \prime
	30	Lighting (i.e. wall, post)					□ Appropriate □ Inappropriate	\neg
	31	Signs (i.e. projecting, wall)					□ Appropriate □ Inappropriate	
_	32	Mechanicals (i.e. HVAC, generators)					☐ Appropriate ☐ Inappropriate	
\vdash	33	Decks					□ Appropriate □ Inappropriate	
_	34	Garages (i.e. doors, placement)					□ Appropriate □ Inappropriate	
\vdash	35	Fence / Walls (i.e. materials, type)					□ Appropriate □ Inappropriate	
	36	Grading (i.e. ground floor height, street edge)					☐ Appropriate ☐ Inappropriate	
-	37	Landscaping (i.e. gardens, planters, street trees)					☐ Appropriate ☐ Inappropriate	
	38	Driveways (i.e. location, material, screening)					□ Appropriate □ Inappropriate	
	39	Parking (i.e. location, access, visibility)					☐ Appropriate ☐ Inappropriate	F
	40	Accessory Buildings (i.e. sheds, greenhouses)					☐ Appropriate ☐ Inappropriate	
Pı		se and Intent:						
	-	eserve the integrity of the District:		No 4. Mair	Itain the special character	er of the District:		
		sessment of the Historical Significance:			plement and enhance th		d historic character:	
		onservation and enhancement of property value			•		the District to the city residents and vis	itors.
		• • •	J. 103 L	0. 11011	ioto ino odocanon, pieda	SIS GITA WORLD OF	ind bisiner to the eny residents and vis	
		Criteria / Findings of Fact:						
		nsistent with special and defining character of	<u> </u>				-	
Com	m	patibility of design with surrounding properties	:	☐ Yes ☐ No Com	patibility of innovative tec	chnologies with sur	rounding properties: 🗆 Yes 🗆 No	

Project Address: 129 STATE ST. (LUHD-414) CERTIFICATE OF APPROVAL Permit Requested: WORK SESSION #E Meeting Type:

Existing Conditions:

- Zoning District: CD4
- Land Use: Single Family
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c1815
- Building Style: <u>Federal</u> Number of Stories: <u>3.0</u>

 Historical significance: NA Public View of Proposed Work Unique Features: NA 	c: View from State a	nd Sheafe Streets				
 Neighborhood Association: <u>C</u> 	<u>Downtown</u>					
B. Proposed Work: To add dormers,	modify rear addition	ns and rooflines.				
C. Other Permits Required:						
\square Board of Adjustment	☐ Planning Board	☐ City Council				
D. Lot Location:						
☐ Terminal Vista	☐ Gateway	☑ Mid-Block				
☐ Intersection / Corner Lot	☐ Rear Lot					
E. Existing Building to be Altered/ Dem	olished / Constructed	<u>l:</u>				
✓ Principal	Accessory	Demolition				
F. Sensitivity of Context:						
\square Highly Sensitive $oldsymbol{arDelta}$ Sensi	tive \square Low Sensitivity	/ 🗌 "Back-of-House'				
G. Design Approach (for Major Project	<u>'s):</u>					
\Box Literal Replication (i.e. 6-16 C	Congress, Jardinière Buildin	g, 10 Pleasant Street)				
☑ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)						
Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)						
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)						
H. Project Type:						
\square Consent Agenda (i.e. very	small alterations, add	ditions or expansions)				
Minor Project (i.e. small alt	erations additions or	expansions)				

Moderate Project (i.e. significant additions, alterations or expansions)

☐ Major Project (i.e. very large alternations, additions or expansions)

Neighborhood Context:

• The new building is located along lower State Street and is surrounded with many contributing historic structures with uniform cornice heights and federal architectural design. The buildings are fronting directly along the street with no front yard setbacks and, where available, have shallow side or rear yards.

J. <u>Staff Comments and/ or Suggestions for Consideration:</u>

- The applicant is proposing to:
 - Removal of decorative window dressings
 - Adding skylights and oculus.
 - Rear additions to existing wood-framed sections.
 - Roof replacement.
 - Addition of lighting.
 - NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH.

Design Guideline Reference - Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

Page 25 of 30

129 STATE ST. (LUHD-414) – WORK SESSION #E (MODERATE PROJECT)

			INFO/ EVALUATION CRITERIA	SORTECT	PROPERTY		NEIGHBORHOOD CONTEXT	
		No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	22
١	-	NO.	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				~ ~ ~ ~
분		1	Gross Floor Area (SF)					
STA		2	Floor Area Ratio (GFA/ Lot Area)		884	ODED ATE DI		O S :: □
S		3	Building Height / Street-Width (ROW) Ratio		////	ODERATE PI	KOJECI	○ S : □
		4	Building Height – Zoning (Feet)		ADD CKANCHI		ID MODIEV DEAD ADDITION	
	_	5	Building Height – Street Wall / Cornice (Feet)		- ADD 3KTLIGHI	is, Oculus, Ar	ND MODIFY REAR ADDITION -	MMI Dat Hions
	_	6	Number of Stories					7 5 0 € 5
		7	Building Coverage (% Building on the Lot)					ON F COMMIS : E Date pulations
			PROJECT REVIEW ELEMENT	APPLICANT'S	S COMMENTS	HDC SUGGES		
	×	8	Scale (i.e. height, volume, coverage)				☐ Appropriate ☐ Inapproprio	
	NTEXT	9	Placement (i.e. setbacks, alignment)				☐ Appropriate ☐ Inapproprio	
	8	10	Massing (i.e. modules, banding, stepbacks)				☐ Appropriate ☐ Inapproprio	DISTRIC Case I
		11	Architectural Style (i.e. traditional – modern)				☐ Appropriate ☐ Inapproprio	TC DISTI TC DISTI TC DISTI TE Cas Peroved to
		12	Roofs				☐ Appropriate ☐ Inapproprio	
SS S	_	13	Style and Slope				☐ Appropriate ☐ Inapproprio	ate 9 0 0
黑	_	14	Roof Projections (i.e. chimneys, vents, dormers)				☐ Appropriate ☐ Inappropria	ate Uml do tso
MEMBERS	_	15	Roof Materials				☐ Appropriate ☐ Inappropri	
Ē	_	16	Cornice Line				☐ Appropriate ☐ Inapproprio	
>		17	Eaves, Gutters and Downspouts				☐ Appropriate ☐ Inappropria	EV A Pure STREET A PURE STREET
Z	ALS	18	Walls				☐ Appropriate ☐ Inappropri	ate W
<u>O</u>	띪	19	Number and Material				☐ Appropriate ☐ Inappropri	
SS	₩.	20	Projections (i.e. bays, balconies)				☐ Appropriate ☐ Inappropri	ate TES of Till
∣≅	~ ~	21	Doors and windows				☐ Appropriate ☐ Inapproprio	ate S & Idd
OMMISSION	Z	22	Window Openings and Proportions				☐ Appropriate ☐ Inapproprio	
	SS	23	Window Casing/ Trim				☐ Appropriate ☐ Inappropric	
ŭ	0	24	Window Shutters / Hardware				☐ Appropriate ☐ Inapproprio	nte la la la
—	2	25	Storm Windows / Screens				☐ Appropriate ☐ Inappropria	
DISTRIC		26	Porches and Balconies				□ Appropriate □ Inappropria	PORTS PORTS OPERTY Cision:
1 2 3 3	BU	27 28	Projections (i.e. porch, portico, canopy)				□ Appropriate □ Inappropria	
<u>S</u>	-	29	Landings/ Steps / Stoop / Railings				□ Appropriate □ Inappropria	ate ate
	-	30	Lighting (i.e. wall, post)				□ Appropriate □ Inappropria	
	-	31	Signs (i.e. projecting, wall)				□ Appropriate □ Inappropria	
N N		32	Mechanicals (i.e. HVAC, generators)				□ Appropriate □ Inapproprio □ Appropriate □ Inapproprio	
HISTO		33	Decks				□ Appropriate □ Inappropria	Marine Profession Contract Con
<u>S</u>	-	34	Garages / Barns / Sheds (i.e. doors, placement)				□ Appropriate □ Inappropria	** は、 ない、 ない、 ない、 ない、 ない、 ない、 ない、 ない、 ない、 ない
I		35	Fence / Walls / Screenwalls (i.e. materials, type)				□ Appropriate □ Inappropria	为
	z	36	Grading (i.e. ground floor height, street edge)				□ Appropriate □ Inappropria	
	ESIGN	37	Landscaping (i.e. gardens, planters, street trees)				□ Appropriate □ Inappropria	
		38	Driveways (i.e. location, material, screening)				□ Appropriate □ Inappropria	
	SIE	39	Parking (i.e. location, access, visibility)				□ Appropriate □ Inappropria	A STATE OF THE PARTY OF THE PAR
	S	40	Accessory Buildings (i.e. sheds, greenhouses)				□ Appropriate □ Inapproprio	
	H. I	Purpos	se and Intent:				I	
			eserve the integrity of the District:	□ Yes □ No	4 Mainta	in the special characte	er of the District:	□ Yes □ No
			sessment of the Historical Significance:	□ Yes □ No		•	ne architectural and historic character:	□ Yes □ No
			onservation and enhancement of property val		· · · · · · · · · · · · · · · · · · ·		ure and welfare of the District to the city residents ar	
	ı P		Criteria / Findings of Fact:	555. E 105 E 140	0, 11011101	a ina adadahan, pidas	and the mand of the planter to the environments di	
	1. Consistent with special and defining character of surrounding properties: Yes No 3. Relation to historic and architectural value of existing structure: Yes Yes No							
			mpatibility of design with surrounding propertic				chnologies with surrounding properties: Yes No	
	•	Z. CUI	impanishing of design with sollootiding properties		1 163 11 110 4. COMPC		crimologies with somounding properties. — 1 1 es 🗆 100	

Project Address: 92 PLEASANT ST. (LUHD-422) **CERTIFICATE OF APPROVAL Permit Requested: Meeting Type: WORK SESSION #F**

1	Α.	Pro	perty	Info	rmatic	on -	Gen	eral	:
---	----	-----	-------	------	--------	------	-----	------	---

Existing Conditions:

- Zoning District: CD4
- Land Use: Mixed-Use Land Area: 3,050 SF +/-
- Estimated Age of Structure: c. 1880
- Building Style: <u>Colonial Revival</u> Number of Stories: <u>2.5</u>

- Historical Significance: <u>C</u>
 Public View of Proposed Work: <u>View from Court and Pleasant St.</u>
- Unique Features: NA
- Neighborhood Association: <u>Downtown</u>

C. Other Permits Required:						
\square Board of Adjustment	☐ Planning Board	☐ City Council				
D. Lot Location:						
Terminal Vista	Gateway	☐ Mid-Block				
✓ Intersection / Corner Lot	☐ Rear Lot					
E. Existing Building to be Altered/ Demo	olished / Constructed	<u>l:</u>				
✓ Principal	Accessory	Demolition				
F. Sensitivity of Context:						
\square Highly Sensitive $oldsymbol{arDelta}$ Sensit	tive \square Low Sensitivity	y 🗌 "Back-of-Hou				
G. Design Approach (for Major Projects):						
Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)						
✓ Invention within a Style (i.e	e., Porter Street Townhouse	es, 100 Market Street)				

H. Project Type:

Consent Agenda (i.e. very small alterations, additions or expansions)

Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

Minor Project (i.e. small alterations, additions or expansions)

Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)

- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

K. **Neighborhood Context:**

• The new building is located along Court and Pleasant Streets in the Downtown neighborhood. It is surrounded with many multi-storied, contributing historic structures on a narrow street with buildings located directly along the street with no front or side yard setbacks.

Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
 - Replace the existing windows and aluminum storm windows.
 - Add a balcony on the second floor of the rear elevation.
 - Add doors to access the balcony.
 - NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH.
 - Design Guideline Reference Guidelines for Exterior Windows & Doors (08), and Porches, Steps and Decks (06)

Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

92 PLEASANT ST. (LUHD-422) – WORK SESSION #F (MINOR PROJECT) A SUBJECT PROPERTY NEIGHBORHOOD CON

		INFO/ EVALUATION CRITERIA	20R1F	CIPROPERIY		NEIGHBORHOOD CONTEXT				
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	_			
	INO.	GENERAL BUILDING INFORMATION	L BUILDING INFORMATION (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)							
出	1	Gross Floor Area (SF)								
STA	2	Floor Area Ratio (GFA/ Lot Area)			MAINIOD DDC) IECT	N FOR MMISSION Date: 4-13			
S	3	Building Height / Street-Width (ROW) Ratio			MINOR PRO	JECI	O 2 4			
	4	Building Height – Zoning (Feet)		EDI A CE WINDOW	IS ADD A BALC	ONLY AND DOODS ONLY	1 S 8 "			
	5	Building Height – Street Wall / Cornice (Feet)	- 1	REPLACE WINDOW	13, ADD A BALC	ONY AND DOORS ONLY -				
	6	Number of Stories					Z			
ı	7	Building Coverage (% Building on the Lot)								
		PROJECT REVIEW ELEMENT	APPLICA	NT'S COMMENTS	HDC SUGGES		O 5 ::			
5	8	Scale (i.e. height, volume, coverage)				☐ Appropriate ☐ Inappropriate				
	;	Placement (i.e. setbacks, alignment)				☐ Appropriate ☐ Inappropriate	ATRIC:			
5		Massing (i.e. modules, banding, stepbacks)				☐ Appropriate ☐ Inappropriate	— ፈ ջ մ 🦻			
	11	Architectural Style (i.e. traditional – modern)				□ Appropriate □ Inappropriate				
	12	Roofs				☐ Appropriate ☐ Inappropriate				
MEMBERS	13	Style and Slope				☐ Appropriate ☐ Inappropriate				
B L	14	Roof Projections (i.e. chimneys, vents, dormers)				☐ Appropriate ☐ Inappropriate	AL RIC D			
≨	15	Roof Materials				☐ Appropriate ☐ Inappropriate	~ ~ ~ ~ ~ ~ ~ ~			
Ę	16	Cornice Line				☐ Appropriate ☐ Inappropriate	HISTOL			
U	17	Eaves, Gutters and Downspouts				☐ Appropriate ☐ Inappropriate	— ш қ Қ			
MMISSION	18	Walls				☐ Appropriate ☐ Inappropriate				
2 ₽		Number and Material				☐ Appropriate ☐ Inappropriate				
2	20	Projections (i.e. bays, balconies)				□ Appropriate □ Inappropriate				
∮ ∣ੋ	21	Doors and windows				□ Appropriate □ Inappropriate	PTY OUTH			
	22	Window Openings and Proportions Window Casing/Trim				□ Appropriate □ Inappropriate				
5 3	23	Window Casing/ IIIII Window Shutters / Hardware		+		□ Appropriate □ Inappropriate				
; ا ز	24	Storm Windows / Screens		+		□ Appropriate □ Inappropriate	ROP PORTS/OPERTY			
<u>- }</u>	:	Doors				□ Appropriate □ Inappropriate				
<u>ַ</u>	-	Porches and Balconies		+		□ Appropriate □ Inappropriate				
	28	Projections (i.e. porch, portico, canopy)				□ Appropriate □ Inappropriate				
אוצום פון פון	29	Landings/ Steps / Stoop / Railings				☐ Appropriate ☐ Inappropriate ☐ Appropriate ☐ Inappropriate				
	30	Lighting (i.e. wall, post)				□ Appropriate □ Inappropriate				
ב ב	31	Signs (i.e. projecting, wall)				□ Appropriate □ Inappropriate				
\	32	Mechanicals (i.e. HVAC, generators)				□ Appropriate □ Inappropriate				
그	33	Decks				□ Appropriate □ Inappropriate				
	34	Garages / Barns / Sheds (i.e. doors, placement)				□ Appropriate □ Inappropriate				
┺┝	35	Fence / Walls / Screenwalls (i.e. materials, type)				□ Appropriate □ Inappropriate				
2		Grading (i.e. ground floor height, street edge)				□ Appropriate □ Inappropriate				
2	37	Landscaping (i.e. gardens, planters, street trees)				□ Appropriate □ Inappropriate				
1	38	Driveways (i.e. location, material, screening)				□ Appropriate □ Inappropriate				
F	39	Parking (i.e. location, access, visibility)				□ Appropriate □ Inappropriate				
	40	Accessory Buildings (i.e. sheds, greenhouses)				□ Appropriate □ Inappropriate				
<u>Н</u> .	Purpo	se and Intent:		L		1				
		eserve the integrity of the District:	□ Yes □	No 4. Maint	ain the special characte	r of the District:	□ Yes □ 1			
		ssessment of the Historical Significance:	□ Yes □			e architectural and historic character:				
		onservation and enhancement of property val				ure and welfare of the District to the city residents and vis				
I.		v Criteria / Findinas of Fact:				•				
		onsistent with special and defining character o	f surrounding proper	ies: □Yes□No 3. Relati	on to historic and archite	ectural value of existing structure:				
		empatibility of design with surrounding propertie				chnologies with surrounding properties: Yes No				
	2. Co	empatibility of design with surrounding properfic	es:	⊔ res ⊔ No 4. Comp	patibility of innovative fed	cnnologies with surrounding properties: Yes No				

Project Address: 85 DANIEL ST. (LUHD-445) Permit Requested: CERTIFICATE OF APPROVAL Meeting Type: WORK SESSION #1

Existing	Con	diti	ons	5:

- Zoning District: CD4
- Land Use: Mixed-Use
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c.1860
 Building Style: Greek Revival
 Historical Significance: C

- Public View of Proposed Work: View from Daniel St. and Custom house Way
- Unique Features: <u>NA</u>
- Neighborhood Association: Downtown

<u>B.</u>	Proposed Work:	<u>To replace</u>	rear	<u>addition,</u>	<u>windows</u>	<u>and</u>	<u>stoop</u>	<u>and</u>	<u>add</u>	<u>dorm</u>	<u>ners</u>
<u>C.</u>	Other Permits Rec	quired:									
	□ Board o	of Adjustment	-	Plan	nina Board	4	City	^oun	cil		

☐ Board of Adjustment	☐ Planning Board	☐ City Counc					
D. Lot Location:							
☐ Terminal Vista	☐ Gateway	☑ Mid-Block					
\square Intersection / Corner Lot	Rear Lot						
E. Existing Building to be Altered/ Demolished:							

\Box Intersection / Corner Lot	☐ Rear Lot	
E. Existing Building to be Altered/ Dem	olished:	
✓ Principal	Accessory	Demolition
F. Sensitivity of Context:		
\square Highly Sensitive $oldsymbol{arDelta}$ Sens	itive \square Low Sensitivi	ity \square "Back-of-House
G. Design Approach (for Major Projec	<u>ts):</u>	
☑ Literal Replication (i.e. 6-16	Congress, Jardinière Buil	ding, 10 Pleasant Street)
\square Invention within a Style (i.e	e., Porter Street Townhous	es, 100 Market Street)
Abstract Reference (i.e. Po	ortwalk, 51 Islington, 55 Co	ongress Street)
\square Intentional Opposition (i.e	. McIntyre Building, Citize	n's Bank, Coldwell Banker)

H. Project Type:

Consent Agenda	(i.e.	very small	alterations,	additions	or	expansions)	

- ☐ Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

a. This 2.5 story historic structure is located along Daniel Street. It is surrounded with many 2 1/2 -3 story wood-sided and brick historic structures with no front yards and shallow side and rear yards. Rear access to the buildings is available along Custom House Way.

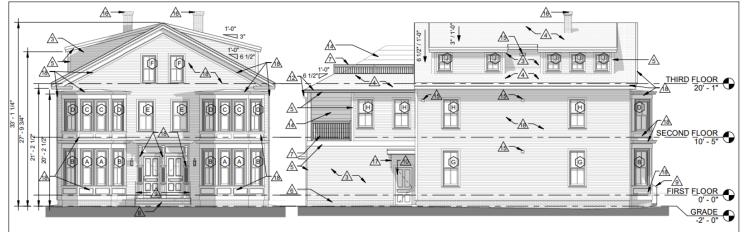
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Remove and redevelop the rear addition to the structure in order to support a two-car garage with an upper floor deck.
- Add wide shed dormers to the roof to support reuse of the attic level.

Design Guideline Reference - Guidelines for Exterior Woodwork (05), Porches, Steps and Decks (06), Windows and Doors (08,) and Small Scale New Construction and Additions (10).

Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions



Zoning Map



			65 DANIEL 31. (LUND-44	5) – WORK SESSION #	I (MODERATE)			
INFO/ EVALUATION CRITERIA			SUBJECT PROPERTY			NEIGHBORHOOD CONTEXT			
		Project Information	Existing Building	Proposed Building (+,		Surrounding Structure (Average)	s		
		GENERAL BUILDING INFORMATION	(ESTIMATED F	ROM THE TAX M	AAPS & ASSESSOR'S INFO)		~		
	1	1 Gross Floor Area (SF)							
N A	2	Floor Area Ratio (GFA/ Lot Area)					FOR MISSION e: 4-13-2		
^	3	Building Height / Street-Width Ratio			MODERATE PI	RO IFCT	S 5 4		
-	4	Building Height – Zoning (Feet)			MODERAILII	NOJECI	H 118		
-	5	Building Height – Street Wall / Cornice (Feet)	 Remove R 	ear Addi	ition Add Dormers &	Replace Windows Siding	g & Stoop - Z 🗧 💆		
-	6 Number of Stories7 Building Coverage (% Building on the Lot)	 Remove Rear Addition, Add Dormers & Replace Windows, Siding & Stoop - 							
		PROJECT REVIEW ELEMENT	APPLICANT'S	COMMENTS	HDC SUGGI	A DDDO	PRIATENESS		
_	•		AFFLICANI 3	COMMENTS	HDC 30GGI				
	8	Scale (i.e. height, volume, coverage) Placement (i.e. setbacks, alignment)				• • • • • • • • • • • • • • • • • • • •	□ Inappropriate		
Ä	10	Massing (i.e. modules, banding, stepbacks)							
ပ္ပ	11	Architectural Style (i.e. traditional – modern)					e □ Inappropriate A □ Inappropriate		
\Box	12	Roofs					e □ Inappropriate e □ Inappropriate		
2	13	Style and Slope					e □ Inappropriate		
MEMBERS	14	Roof Projections (i.e. chimneys, vents, dormers)							
	15	Roof Materials					e □ Inappropriate e □ Inappropriate		
	16	Cornice Line					Na □ Inappropriate > 0 →		
	17	Eaves, Gutters and Downspouts					e □ Inappropriate		
SIGN & MATERIALS	18	Walls					e □ Inappropriate e □ Inappropriate □ Inappropriate		
2 ₹	19	Siding / Material					Inappropriate		
3 🗒	20	Projections (i.e. bays, balconies)					□ Inappropriate □ Inappropriate □ Inappropriate		
É Š	21	Doors and Windows					□ Inappropriate		
É %	22	Window Openings and Proportions					e □ Inappropriate e □ Inappropriate		
5 5	23	Window Casing/ Trim					inappropriate Inappropriate		
ا کا ا	24	Window Shutters / Hardware					□ Inappropriate		
1 _ 1	25	Awnings					□ Inappropriate		
2 종	26	Doors					e □ Inappropriate		
BUILDING	27	Porches and Balconies					e □ Inappropriate		
2 ~	28	Projections (i.e. porch, portico, canopy)				□ Appropriate	e □ Inappropriate		
	29	Landings/ Steps / Stoop / Railings				□ Appropriate	e □ Inappropriate		
2	30	Lighting (i.e. wall, post)					: □ Inappropriate		
५	31	Signs (i.e. projecting, wall)				☐ Appropriate	□ Inappropriate		
ן ב	32	Mechanicals (i.e. HVAC, generators)					: □ Inappropriate		
JISIORIC PISIORIC	33	Decks					e □ Inappropriate		
┗╟	34	Garages/ Barns / Sheds (i.e. doors, placement)					e □ Inappropriate		
Z	35	Fence / Walls (i.e. materials, type)					e 🗆 Inappropriate		
ESIGN	36	Grading (i.e. ground floor height, street edge)				• • • • • • • • • • • • • • • • • • • •	e □ Inappropriate		
	37	Landscaping (i.e. gardens, planters, street trees)					e □ Inappropriate		
SITE	38	Driveways (i.e. location, material, screening)					e □ Inappropriate		
8	39	Parking (i.e. location, access, visibility)					e □ Inappropriate		
	40	Accessory Buildings (i.e. sheds, greenhouses)				Appropriate	e □ Inappropriate		
н.		se and Intent:	□ V □ \ \ '		A Administration the entered of the terror of	work the or Districts			
		eserve the integrity of the District:	☐ Yes ☐ No		4. Maintain the special characte		□ Ye:		
		sessment of the Historical Significance:	☐ Yes ☐ No		•	ne architectural and historic character:			
	3. Co	enservation and enhancement of property val	ues:		6. Promote the education, pleasi	ure and welfare of the District to the cit	y residents and visitors:		
<u>I.</u> R	<u>eview</u>	Criteria / Findings of Fact:							
		onsistent with special and defining character o	f surrounding properties:	□ Yes □ No	3. Relation to historic and archite	ectural value of existing structure:	□ Yes □ No		
		mpatibility of design with surrounding propertie	<u> </u>			chnologies with surrounding properties:	□ Yes □ No		

4/6/22, 11:40 AM OpenGov



04/06/2022

LU-22-64

Land Use Application

Status: Active	Date Created: Mar 30, 2022
Applicant	Location
Joshua Butkus kscannell@destefanomaugel.com 22 ladd st	33 DEER ST Portsmouth, NH 03801
portsmouth, NH 03801 2034000802	Owner: MARKET WHARF CONDOS MASTER CARD 33 DEER ST PORTSMOUTH, NH 03801
Applicant Information	
Please indicate your relationship to this project B. Property Owner's Representative	
Alternative Project Address	
Alternative Project Address 	
Project Type	
Addition or Renovation: any project (commercial or residential) that includes an already has structure(s) on it ☑	ADDITION to an existing structure or a NEW structure on a property that
New Construction: any project (commercial or residential) that involves adding a structures on the property (even if you are planning to remove them), you should	
Minor Renovation: for projects in the Historic District only that involve a minor econstruction of a new structure	exterior renovation or alteration that does not include a building addition or
Home Occupation: residential home occupation established in an existing residence are not allowed in the following Zoning Districts: Waterfront Business, Office Re	
New Use/Change in Use: for a change of land use or an expansion to an existing modifications	use (e.g. addition of dwelling units) that includes no exterior work or site
Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events	
Demolition Only: only applicable for demolition projects that do not involve any	other construction, renovation, or site work
Subdivision or Lot Line Revision: for projects which involved a subdivision of lan	d or an adjustment to an existing lot line
Other Site Alteration requiring Site Plan Review Approval and/or Wetland Condi	itional Use Permit Approval
Sign: Only applies to signs requiring approval from a land use hoard (e.g. Histori	ic Commission, Zoning Board of Adjustment)

Request for Extension of Previously Granted Land Use Approval



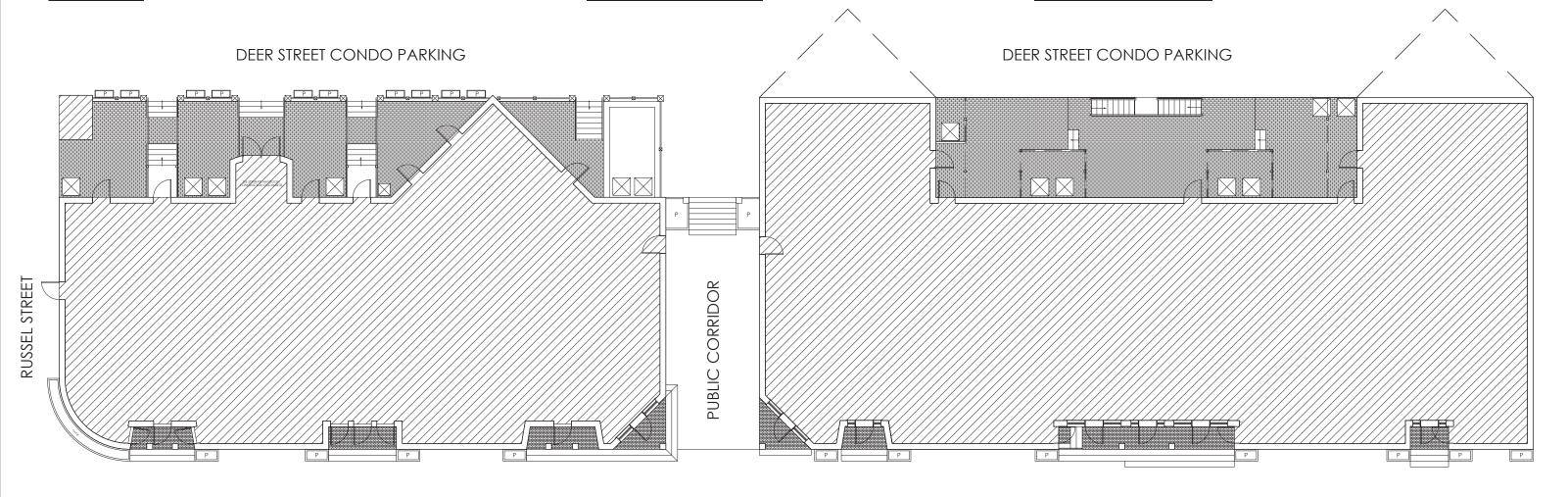
LOCUS MAP



59 DEER ST BUILDING B



33 DEER ST BUILDING A



FIRST FLOOR PLAN BUILDING B

DEER STREET

FIRST FLOOR PLAN BUILDING A

PROPOSD RENOVATIONS FOR

MARKET WHARF CONDOMINIUMS

33 & 59 DEER ST PORTSMOUTH, NH

LOCUS MAP, SITE PLAN & FIRST FLOOR PLAN

1/16" = 1'-0"

SHEET 1 OF 7

13 APRIL 2022





PLANTERS SEE SPECIFICATIONS SHEET FOR MORE INFO-





EXISTING REAR 1 PROPOSED REAR 1

COMPOSITE SCREENING:

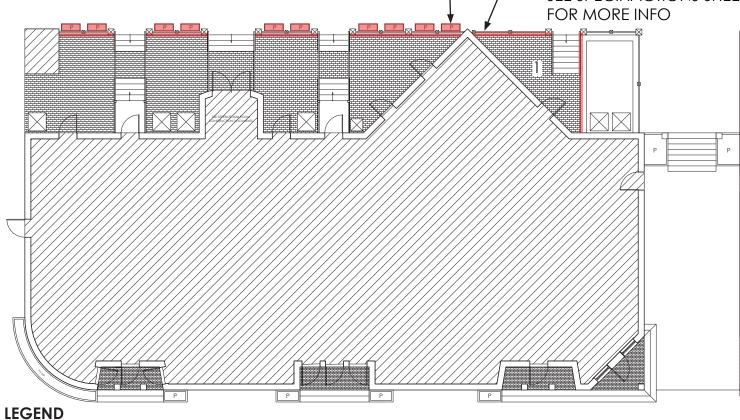
Timbertech Azek 1x6
SEE SPECIFIACTIONS SHEET

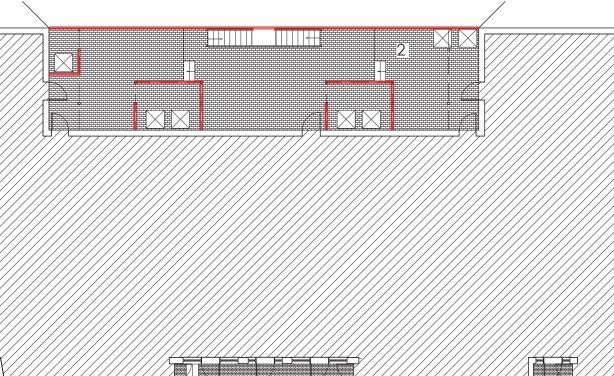
OLUMN WRAP: White Azek to match e

EXISTING REAR 2

COLUMN WRAP: White Azek to match existing—

TRIM: White Azek with concealed plugs and fasteners to match existing





EXTENT OF WORK

BUILDING B FIRST FLOOR PLAN

PROPOSD RENOVATIONS FOR

MARKET WHARF CONDOMINIUMS

SCREEN & WALL COVERING FIRST FLOOR PLAN

BUILDING A FIRST FLOOR PLAN

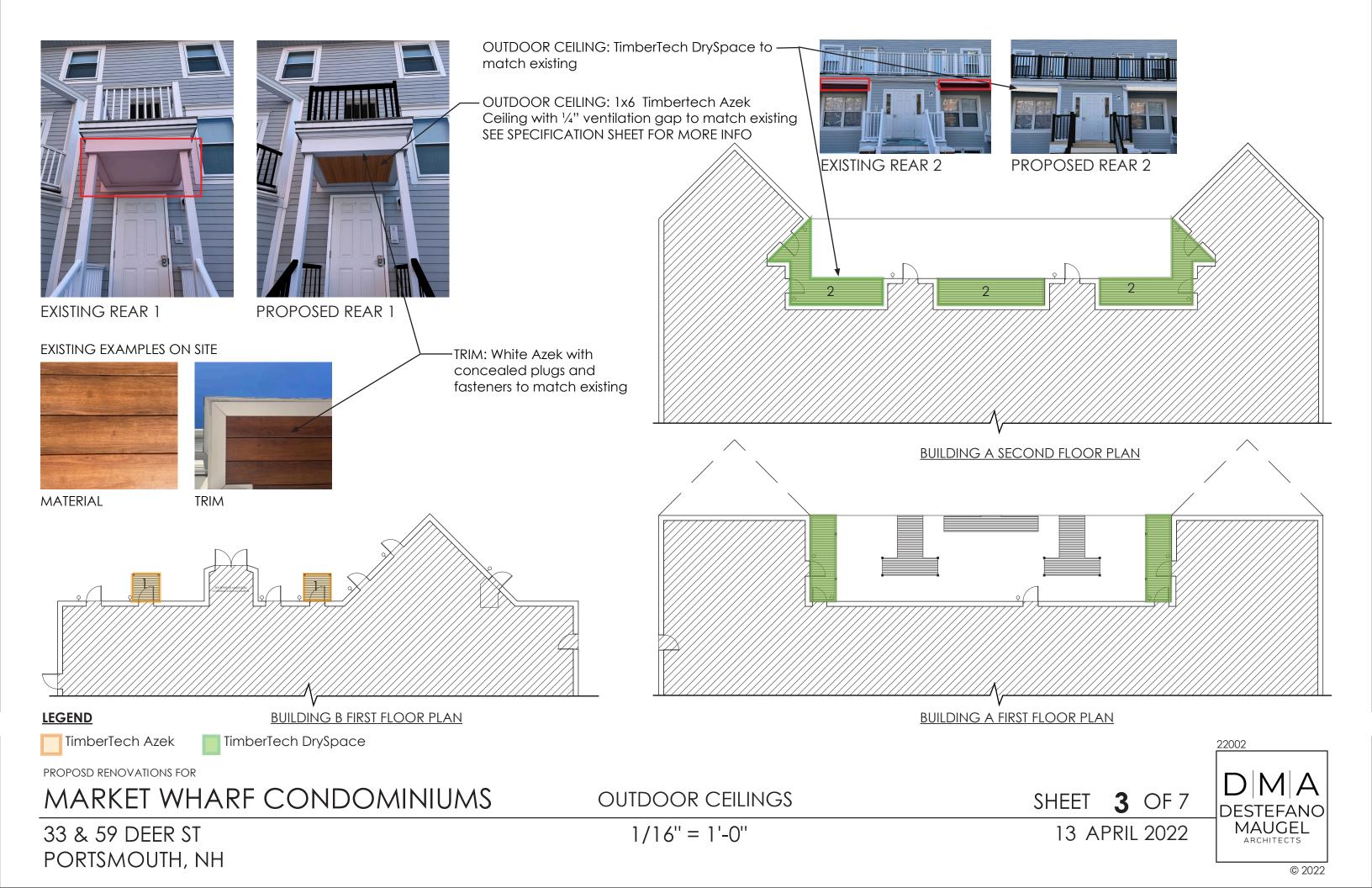
SHEET 2 OF 7

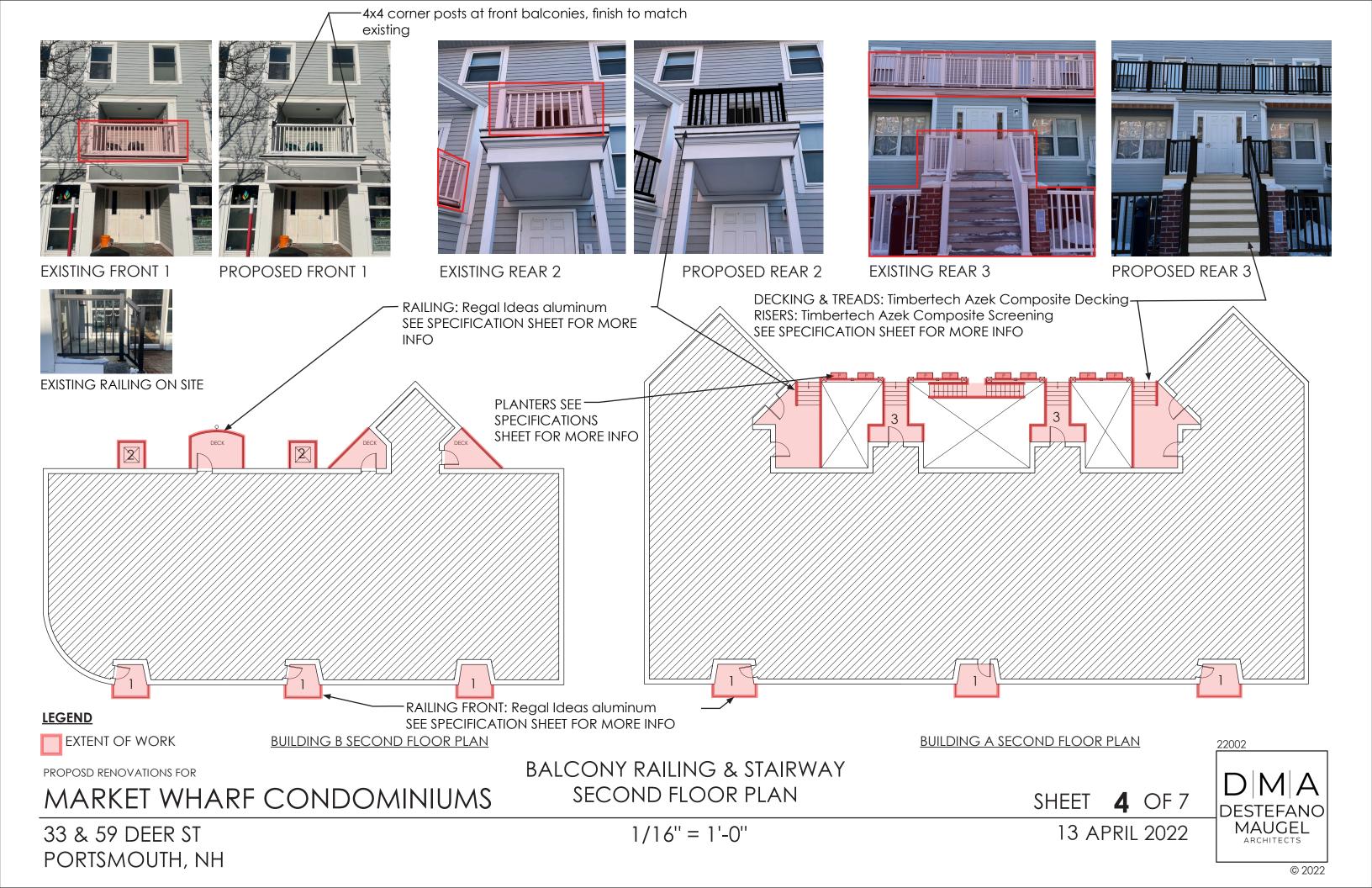
13 APRIL 2022



33 & 59 DEER ST 1/16" = 1'-0" PORTSMOUTH, NH

© 2022



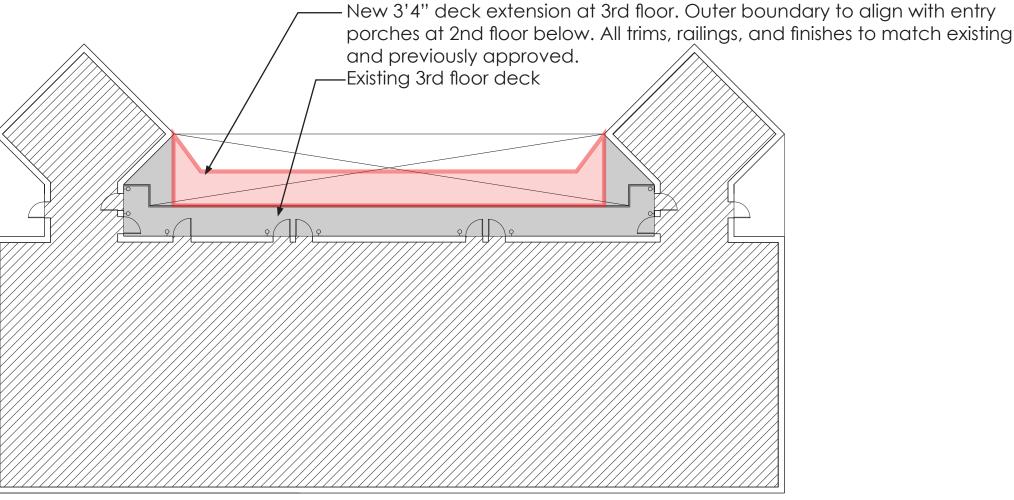


BUILDING A REAR EXISTING



BUILDING A REAR PROPOSED





LEGEND

EXTENT OF WORK

BUILDING A THIRD FLOOR PLAN

PROPOSD RENOVATIONS FOR

MARKET WHARF CONDOMINIUMS

3RD FLOOR DECK ADDITION

SHEET 5 OF 7

13 APRIL 2022

D M A

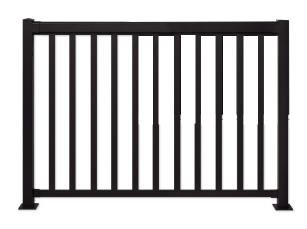
DESTEFANC

MAUGEL

ARCHITECTS

33 & 59 DEER ST PORTSMOUTH, NH

RAILING



Picket System Options: Wide, Narrow, Decorative

42 inch Picket Details:

SP6: Straight Pickets for 6' o/c

SP8: Straight Pickets for 8' o/c

SP10: Straight Pickets for 10' o/c

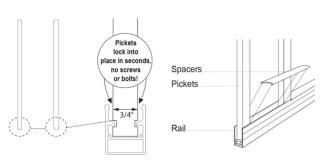
SPS6: Stair Straight Pickets for 6' o/c

WP3: Wide Pickets (covers 3ft with spacers)

1 package covers 3 linear feet.

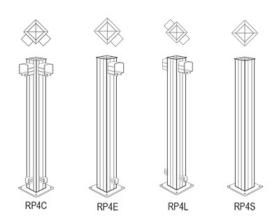
WPS3: Stair Wide Pickets (covers 3ft with spacers) 1 9/16" pickets (6/pkg), Includes 14 aluminum 5" spacers

• 1 package covers 3 linear feet



Regal Ideas Aluminum 42" 4" X 4" Aluminum Posts Finish: (BL) and (OW)

CORNER POSTS



RP4C: Corner Post (4" x 4" x 42"H)

4x4 inch Post Description:

· Welded brackets at 90° to connect rails to posts

RP4E: End Post (4" x 4" x 42"H)

· Welded brackets to connect rails to posts

RP4L: Line Post (4" x 4" x 42"H)

· Welded brackets to connect rails to posts

RP4S: Stair Post (4" x 4" x 42"H)

· For use with angle bracket or post bracket in stair, angle or custom

Note: Fasteners sold separately



Decorative Post Caps

Ball Post Cap (DPC-B)





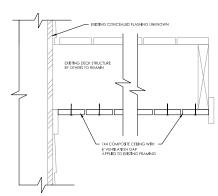


EXTERIOR CEILING

Regal Ideas Aluminum

Finish: (BL) and (OW)





CEILING INSTALL DETAIL TYP.

Timbertech Edge Prime + Collection Azek Ceiling 1x6 with 1/4" ventilation gap Finish: Coconut Husk

Deck Boards: Actual dimensions: 5.36" x 0.94" Lengths available: Square-Shoulder 16' and 20' or

Grooved 12', 16', and 20'

SCREENING & RISERS



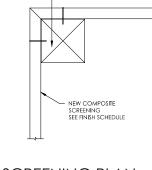


Timbertech Azek Landmark Collection Deck Boards: Actual dimensions: 5.5" x 1" Fascia Boards: Actual dimensions: .5" x 11.75" (For Risers) Finish: French White Oak

DECKING & TREADS







EXISTING POST

Timbertech Azek Landmark Collection Actual dimensions: 5.5" x 1"

Finish: Castle Gate

SCREENING PLAN DETAIL

PROPOSD RENOVATIONS FOR

MARKET WHARF CONDOMINIUMS

SPECIFICATIONS

SHEET

MAUGEL

13 APRIL 2022

33 & 59 DEER ST PORTSMOUTH, NH

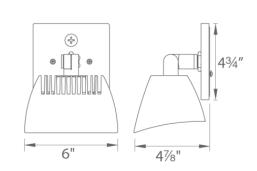
© 2022

LIGHTING - Replace types at existing locations

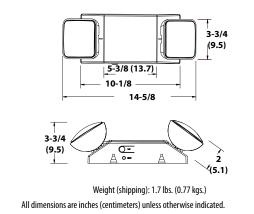


Kirchler - Stonebrook Walll Sconce Product # 49257AZ Finish: Architectural Bronze









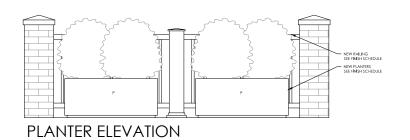
WAC Lighting - Endurance Flood Light Pruduct # WP-LED335-30aWT Finish: Architecturual Bronze Dimensions 6x4x4.75

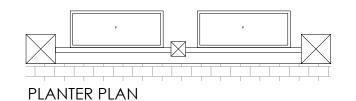
Lithonia Lighting- Emergency Light Fixture Pruduct # ELM 2 LED Finish: White

PLANTERS



Veradeck Metallic Series 38" Planter Product # 859600VS Finish: Black





TIMBERTECH DRYSPACE



TimberTech DrySpace 16" on-center spans in 12' and 16' lengths Finish: White

PROPOSD RENOVATIONS FOR

MARKET WHARF CONDOMINIUMS

SPECIFICATIONS

OPTION A SHEET **7** OF 7

13 APRIL 2022



33 & 59 DEER ST PORTSMOUTH, NH

© 2022

4/6/22, 11:42 AM OpenGov



04/06/2022

LUHD-234

Historic District Commission Work Session or Administrative Approval Application

Date Created: Nov 13, 2020 Status: Active

Applicant

Eben Tormey etormey@xsshotels.com 1359 Hooksett Road Hooksett, NH 03106 603-518-2132

Location

1 RAYNES AVE Portsmouth, NH 03801

Owner:

ONE RAYNES AVE LLC 1359 HOOKSETT RD HOOKSETT, NH 03106

Application Type

Please select application type from the drop down menu below

Work Session

Alternative Project Address

Project Information

Brief Description of Proposed Work

Redevelopment of 1 Raynes Ave, 31 Raynes Ave, and 203 Maplewood Ave. Two buildings proposed on merged lot. A 4- to 5-story mixed use building with ground floor retail/office/restaurant and residential above on what is now 203 Maplewood Ave and 31 Raynes Ave and a 5-story hotel on what is now 1 Raynes Ave. Redevelopment will include waterfront mixed-use path (part of the North Mill Pond Greenway) connecting Maplewood Avenue to the proposed North Mill Pond Community Park and Market Street beyond.

Description of Proposed Work (Planning Staff)

the construction of a 4-5 story mixed-use building and a 5-story hotel

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

Full Name (First and Last)

Chris Lizotte, AIA

Mailing Address (Street)

PO Box 4430

State NΗ

Phone

(603) 518-2279

Business Name (if applicable)

PROCON

City/Town Manchester

Zip Code 03108

Email Address

clizotte@proconinc.com

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

RAYNES AVENUE LETTER OF AGENDA

We respectfully submit this Application for Work Session 6.

The following submission is formatted to review

Step 2: Massing Revisions Step 3: Architectural Styles.

1.0 New Massing Updates

- Mixed-Use fourth floor step back from North Mill Pond
- Mixed-Use unified building form along Maplewood Ave
- Mixed-Use dramatic entry massing
- Hotel set back at top floor
- Hotel dramatic entry massing

2.0 Mixed-Use Building in Traditional Design Style

- Double hung windows with masonry sills and lintels
- Horizontal masonry banding
- Clapboard Siding
- Masonry Framed Storefront
- Recessed Storefront Entries

3.0 Hotel Design

- Traditional Brick Façade
- Textured Brick first on first floor
- Traditional masonry banding
- Lighter top floor with substantial overhang

4.0 Reference Pages

Thank you for your consideration. Sincerely,

Carla Goodknight, AIA, NCARB Principal, CJ Architects













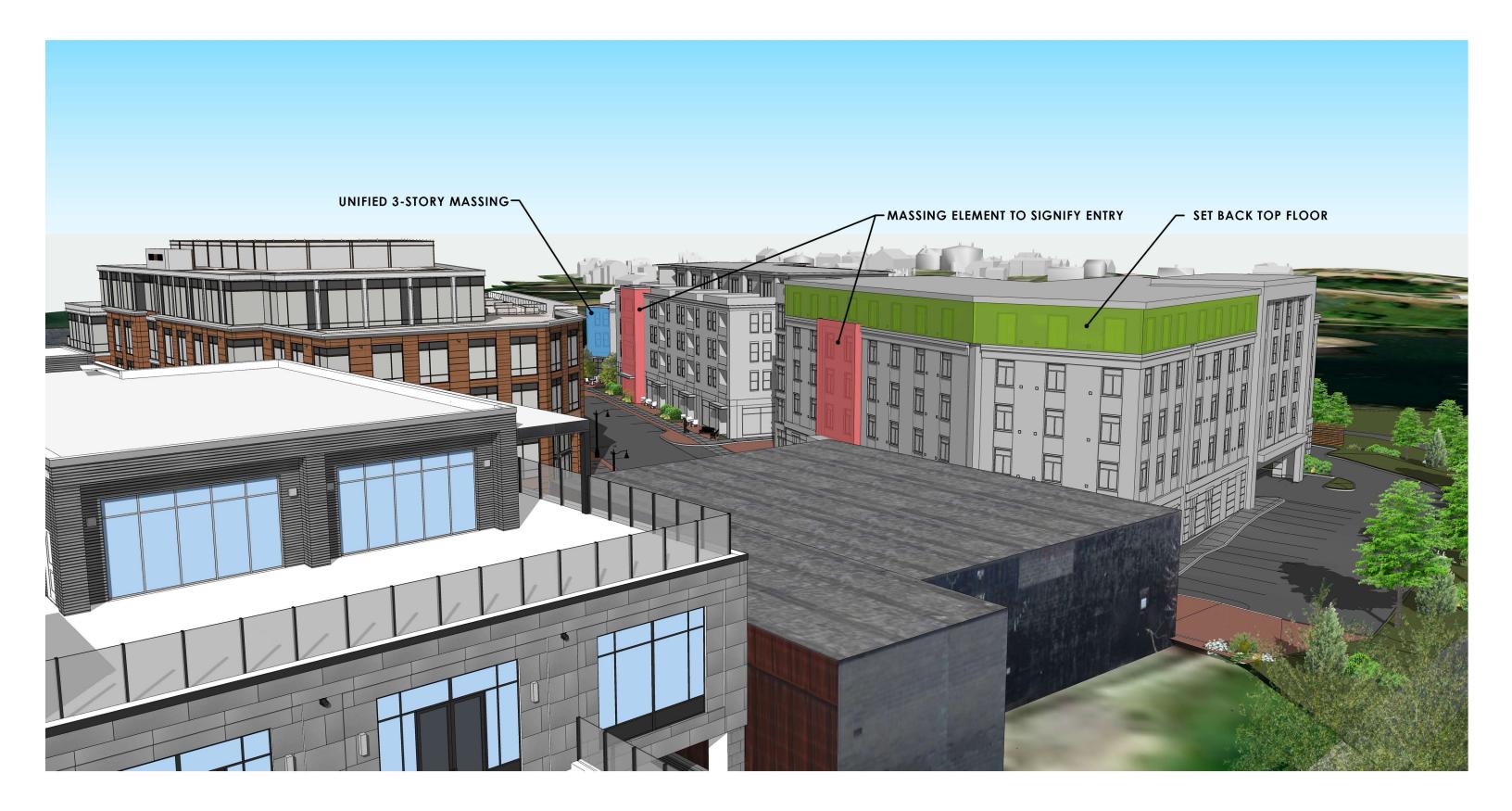
PORTSMOUTH, NEW HAMPSHIRE

NEW MASSING UPDATES









PORTSMOUTH, NEW HAMPSHIRE

NEW MASSING UPDATES







PORTSMOUTH, NEW HAMPSHIRE

NEW MASSING UPDATES











RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

DESIGN INSPIRATION

MIXED-USE BUILDING

HISTORIC DISTRICT COMMISSION WORK SESSION 6: APRIL 6, 2022







PORTSMOUTH, NEW HAMPSHIRE

MAPLEWOOD BRIDGE VIEW









PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVENUE ENTRY VIEW









PORTSMOUTH, NEW HAMPSHIRE

VAUGHAN STREET VIEW









PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND







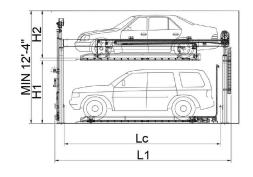


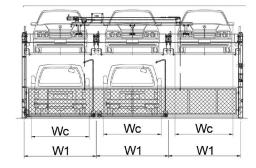


PROPOSED VIEW









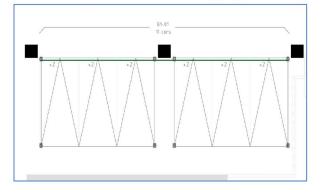
(B) Elevation Section View

Figure 6. 2-Level Puzzle (Typical)

Table 1. Typical 2-level Puzzle Dimensions

Equipment Dimension and Car Size			
Equipment Length (L1)	Equipment Width (W1)		
20'-0"	8' - 6"		
Car Length (Lc)	Car Width (Wc)		
17' – 0"	6'- 10"		

TWO-LEVEL PUZZLE (+2)



(A) Design Plan View



RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

CIYTLIFT - PUZZLE PARKING

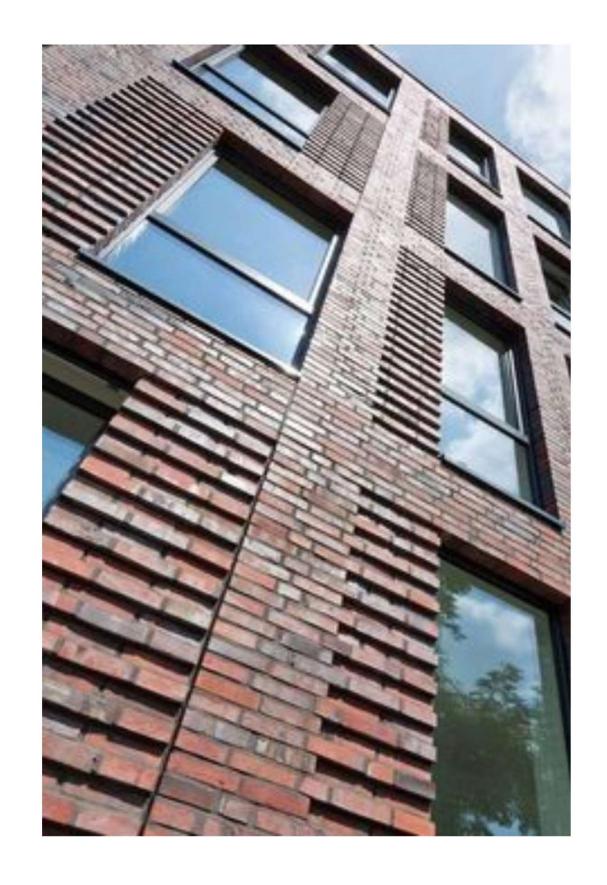
SYSTEM HISTORIC DISTRICT COMMISSION WORK SESSION 6: APRIL 6, 2022











PORTSMOUTH, NEW HAMPSHIRE

DESIGN INSPIRATION HOTEL









PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVE ENTRY VIEW







PORTSMOUTH, NEW HAMPSHIRE

VAUGHAN STREET VIEW FROM 3S









PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM GREENWAY









RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND FROM MARKET STREET

HISTORIC DISTRICT COMMISSION WORK SESSION 6: APRIL 6, 2022







PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND









RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VIEW ACROSS NORTH MILL POND







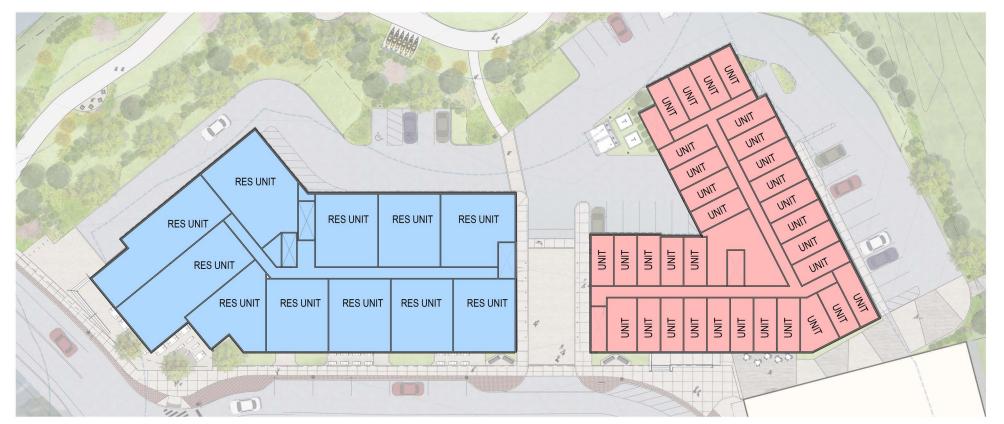




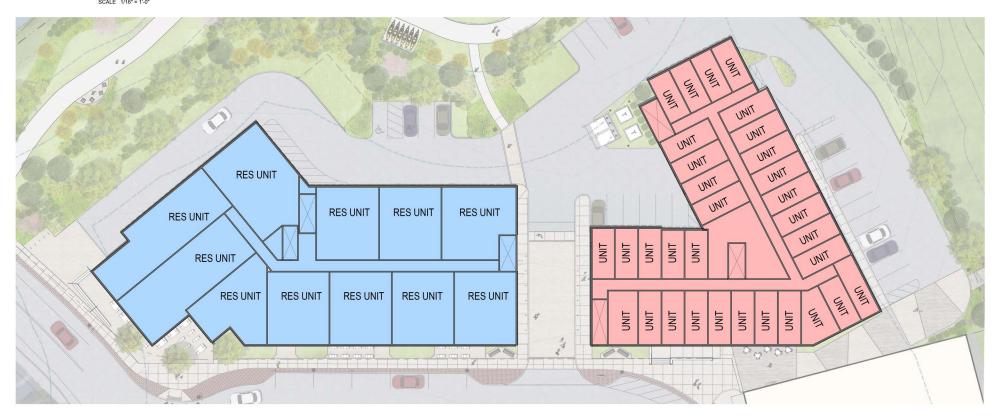








OVERALL THIRD FLOOR PLAN SCALE 1/16" = 1'-0"

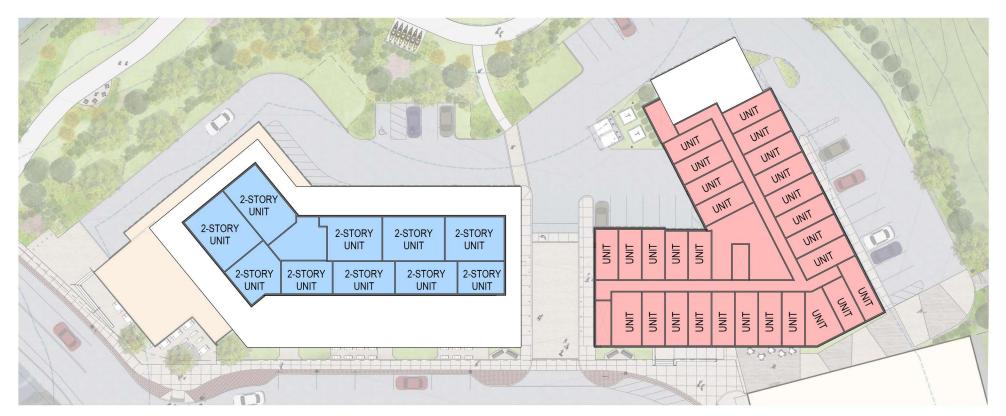


OVERALL SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"

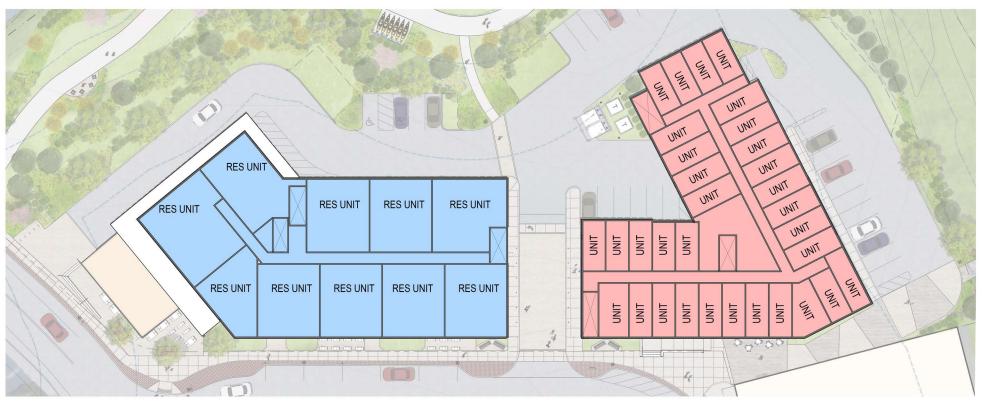








OVERALL FIFTH FLOOR PLAN
SCALE 1/16" = 1'-0"



OVERALL FOURTH FLOOR PLAN SCALE 1/16" = 1'-0"







RAYNES AVE - PORTSMOUTH, NH

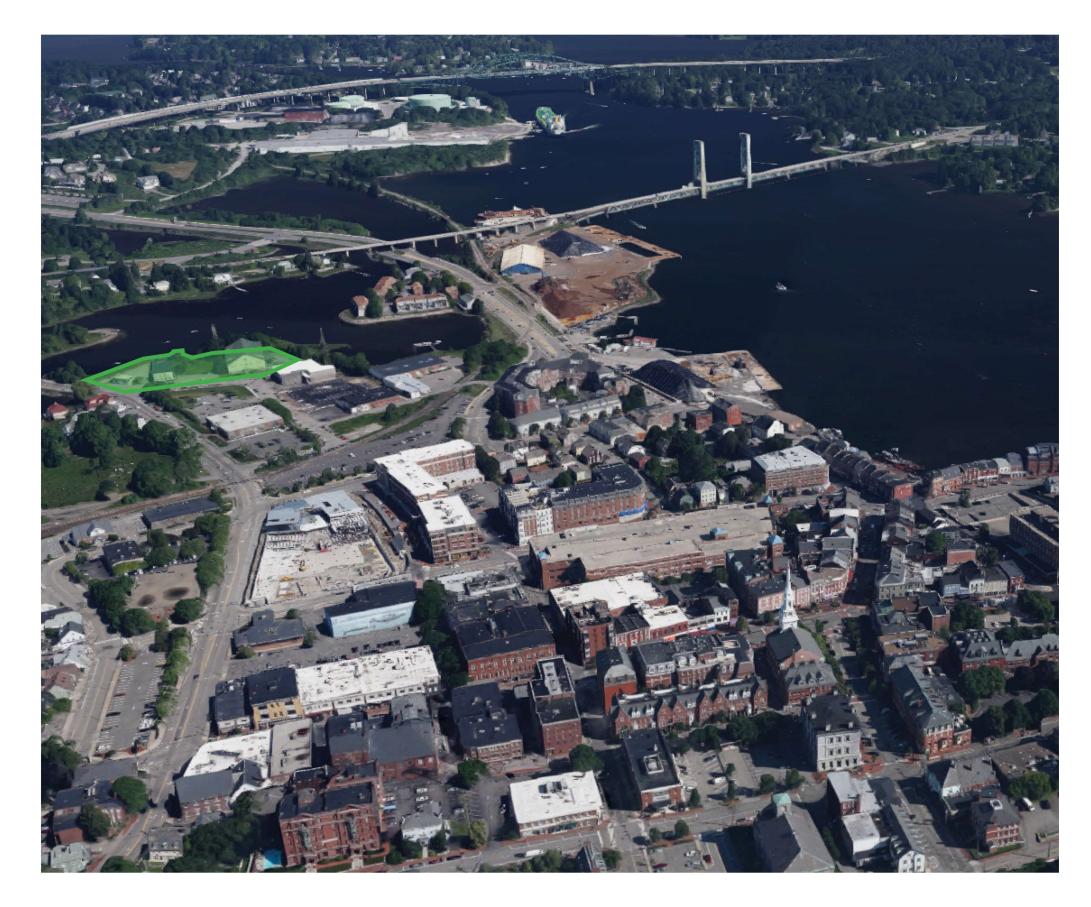
Tighe&Bond

RAYNES AVENUE

SITE LANDSCAPE PLAN REFERENCE

PROCON CONNECT - CREATE - CONSTRUCT





PLAN PORTSMOUTH 3D MODEL: AREA 7 **CHARACTER DISTRICT: CD-4**

BUILDING TOTALS:

RESIDENTIAL: 65,150SF - 32 UNITS HOTEL: 68,000SF - 124 UNITS

ZONING DISTRICT: CHARACTER DISTRICT 4 (CD4)

DOWNTOWN OVERLAY DISTRICT NORTH END INCENTIVE OVERLAY DISTRICT HISTORIC DISTRICT

PROPOSED USE: MULTI FAMILY DWELLING

RETAIL/RESTAURANT

PROPOSED LOT SIZE: ±2.53 ACRES (±110,415 SF)

DEVELOPMENT STANDARDS

PROPOSED PROPOSED BUILDING B 7.4 FT REQUIRED 15 FT BUILDING A ±16 FT (1) MAXIMUM PRINCIPAL FRONT YARD: MAXIMUM SECONDARY FRONT YARD: 12 FT ±5 FT SIDE YARD: MINIMUM REAR YARD: 5 FT MINIMUM FRONT LOT LINE BUILDOUT: 50% 78.4% 78.4%

(1) - INCREASE ABOVE THE MAXIMUM ALLOWED PER 10.5A42.12

BUILDING AND LOT OCCUPATION:

PROPOSED PROPOSED REQUIRED 200 FT BUILDING B 116 FT **BUILDING A** MAXIMUM BUILDING BLOCK LENGTH: MAXIMUM FACADE MODULATION LENGTH: 80 FT <80 FT <80 FT MAXIMUM ENTRANCE SPACING: MAXIMUM BUILDING COVERAGE: MAXIMUM BUILDING FOOTPRINT: 50 FT <50 FT <50 FT 90% ±47.0% ±47.0% 30,000 SF (2) 16,629 SF 14,622 SF MINIMUM LOT AREA:

MINIMUM LOT AREA PER DWELLING UNIT: MINIMUM OPEN SPACE:

35.4% 15,000 SF 7,720 SF

PROPOSED

(2) - INCREASE ABOVE 15,000 SF ALLOWED PER 10.5A46.10

BUILDING FORM (PRINCIPAL BUILDING):

MAXIMUM GROUND FLOOR GFA PER USE:

	REQUIRED	BUILDING A	BUILDING B
BUILDING HEIGHT:	5 STORY (3)	5 STORY	5 STORY
	60 FT	59.77 FT	57.90 FT
MAXIMUM FINISHED FLOOR SURFACE OF			
GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36"	<36"
MINIMUM GROUND STORY HEIGHT:	12 FT	15 FT	15 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10.5 FT	10.5 FT
FACADE GLAZING:			
SHOP FRONT FACADE TYPE	70%	70%	70%

ALLOWED ROOF TYPES

FLAT, GABLE, HIP, GAMBREL, MANSARD

FLAT, GABLE, HIP, FLAT GAMBREL, MANSARD

RAYNES AVENUE

PORTSMOUTH, NEW HAMPSHIRE

PROJECT DATA REFERENCE







8,911 SF

PROPOSED

4/6/22, 11:44 AM OpenGov



04/06/2022

LUHD-425

Historic District Commission Work Session or Administrative Approval Application

Date Created: Jan 14, 2022 Status: Active

Applicant

Tracy Kozak tracyskozak@gmail.com 3 Congress Street, Suite 1 Portsmouth, New Hampshire 03801 603-731-5187

Location

1 CONGRESS ST Portsmouth, NH 03801

Owner:

ONE MARKET SQUARE, LLC 3 PLEASANT ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Alternative Project Address

Project Information

Brief Description of Proposed Work

RENOVATIONS & ADDITIONS

Description of Proposed Work (Planning Staff)

renovations to an existing structure (repair and upgrade building facades along Congress and High Streets) and new construction to an existing structure (replace rear shed additions with new 4-5 story addition)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

Full Name (First and Last)

Tracy Kozak

Mailing Address (Street)

3 Congress St, Ste 1

State

NΗ

Phone

603.731.5187

Business Name (if applicable)

Arcove Architects, LLC

City/Town

Portsmouth

Zip Code 03801

Email Address

tracy.kozak@arcove.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

 \mathbf{V}

I hereby certify that as the applicant for permit, I am

DRAWING INDEX

H3.01 COVER

H3.02 EXISTING & HISTORIC CONTEXT

H3.11 SITE PLAN

H3.12 DEMOLITION PLAN

H3.13 PROPOSED ROOF PLAN

H3.14 PROPOSED FIRST FLOOR PLAN

H3.15 PROPOSED BASEMENT PLAN

H3.16 SHADOW STUDIES

H3.20 DEMOLITION ELEVATIONS

H3.21 ELEVATION - CONGRESS STREET

H3.22 ELEVATION - HIGH STREET

H3.23 ELEVATION - HAVEN COURT

H3.24 ELEVATION - REAR (WEST) ALLEY

H3.31 AXONOMETRIC

H3.32 VINGNETTE - CONGRESS STREET

H3.33 VINGNETTE - LADD STREET

H3.34 VINGNETTE - HIGH STREET SOUTH

H3.35 VINGNETTE - HIGH STREET NORTH

H3.36 VINGNETTES - HIGH STREET

H3.41 MATERIALS

H3.42 MATERIALS

PROJECT NARRATIVE

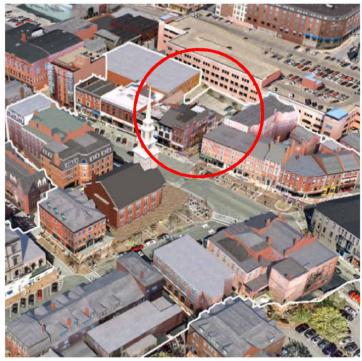
REHABILITATION AND ADAPTIVE REUSE OF EXISTING HISTORIC STRUCTURES WITH A NEW ADJACENT STRUCTURE ON REAR SURFACE PARKING LOT.

USES INCLUDE RETAIL/RESTAURANT AT FIRST FLOOR, OFFICES ABOVE AND ONE LEVEL OF UNDERGROUND PARKING. OFFSITE IMPROVEMENTS WILL BE A FUTURE AND SEPARATE APPLICATION IN COLLABORATION WITH THE CITY OF PORTSMOUTH.

PROJECT UPDATES SINCE LAST HDC WORKSESSION:

- 1. PUSHED BUILDING FACADES BACK FROM EDGE OF HIGH STREET AND HAVEN COURT BY 18 INCHES.
- 2. REDUCED ROOF SOFFIT OVERHANGS.
- 3. LOWERED DORMER ROOFS BY 1 FOOT
- 4. LOWERED AND CHANGED ROOF OVER HIGH STREET STAIRWAY TO A LOWER EAVE HEIGHT WITH PITCHED ROOF, TO HIDE ROOF FROM VIEW ALONG HIGH STREET.
- 5. REDESIGNED MARQUIS AWNING AT 18 HIGH STREET BUILDING, MAIN ENTRANCE TO DEVELOPMENT.
- CANVAS AWNINGS ADDED TO CONGRESS STREET REHABILITATED STOREFRONTS.
- 7. REDUCED MASS AND ORNAMENT AT PROPOSED DORMER FOR 3 CONGRESS STREET.
- 8. DETAIL DEVELOPMENT FOR FENESTRATION AT ADDITION.
- 9. ADDED STEPS AND RAILING AT HIGH STREET ENTRY ALCOVE ON ADDITION; REMOVED LIFTING WINDOW AT ENTRY ALCOVES ON HIGH ST AND HAVEN CT.
- 10. LOWERED HEIGHT OF PRISM BY 18 INCHES, PUSHED IT BACK FROM CORNER 12 INCHES.
- 11. FURTHER DEVELOPMENT OF BACK WALL BEHIND PRISM.
- 12. ELEVATION FOR REAR (WEST) ALLEY SHOWN
- 13. EXTERIOR MATERIALS PALLET & PRODUCTS -







ONE CONGRESS STREET

RENOVATION & ADDITION

ONE MARKET SQUARE, LLC

HISTORIC DISTRICT COMMISSION WORK SESSION 3 MARCH 25, 2022



03/25/2022



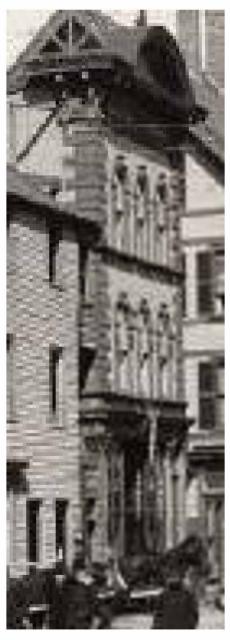








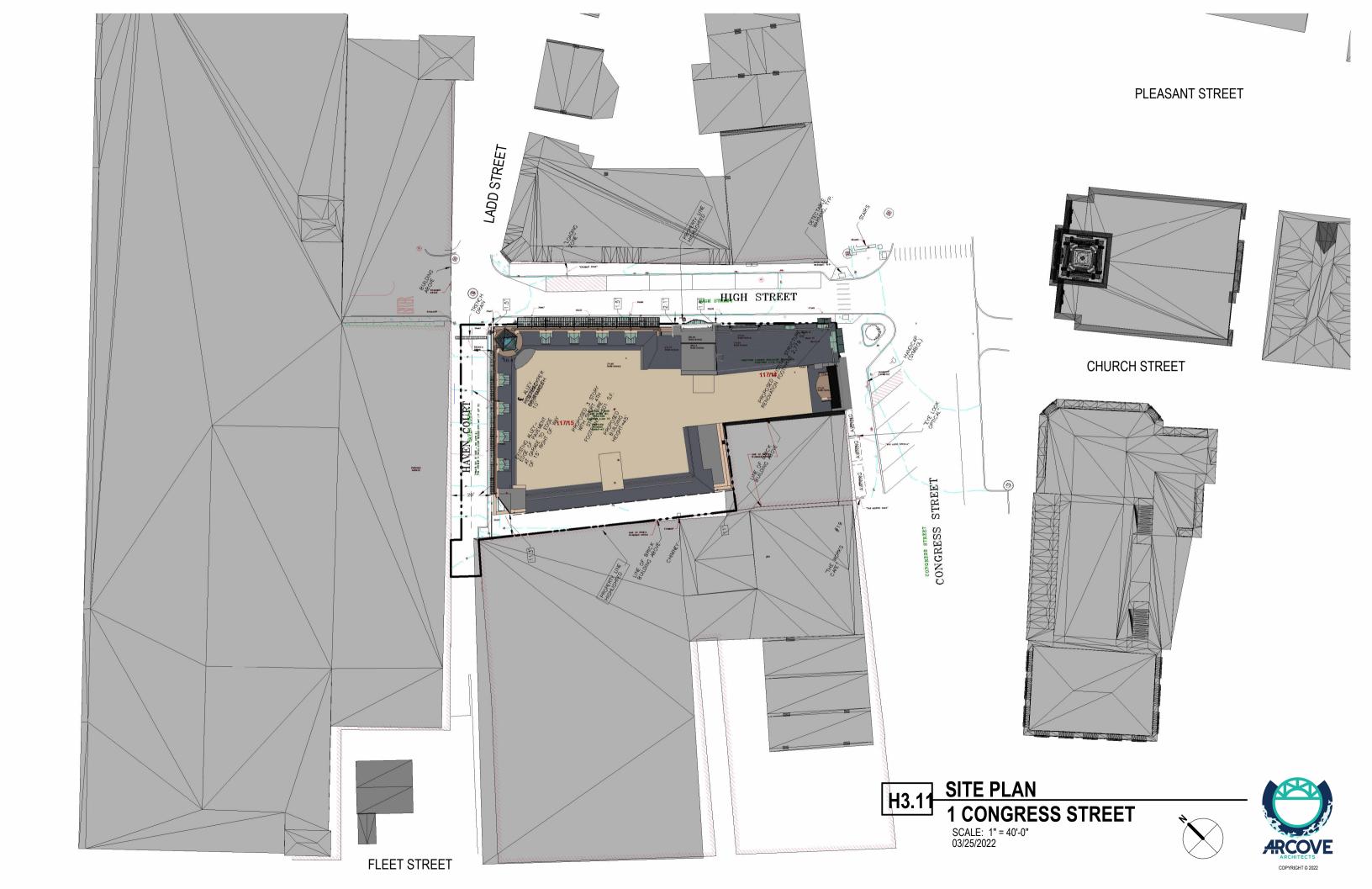






CONTEXT - EXISTING & HISTORIC 1 CONGRESS STREET SCALE: 03/25/2022 H3.02

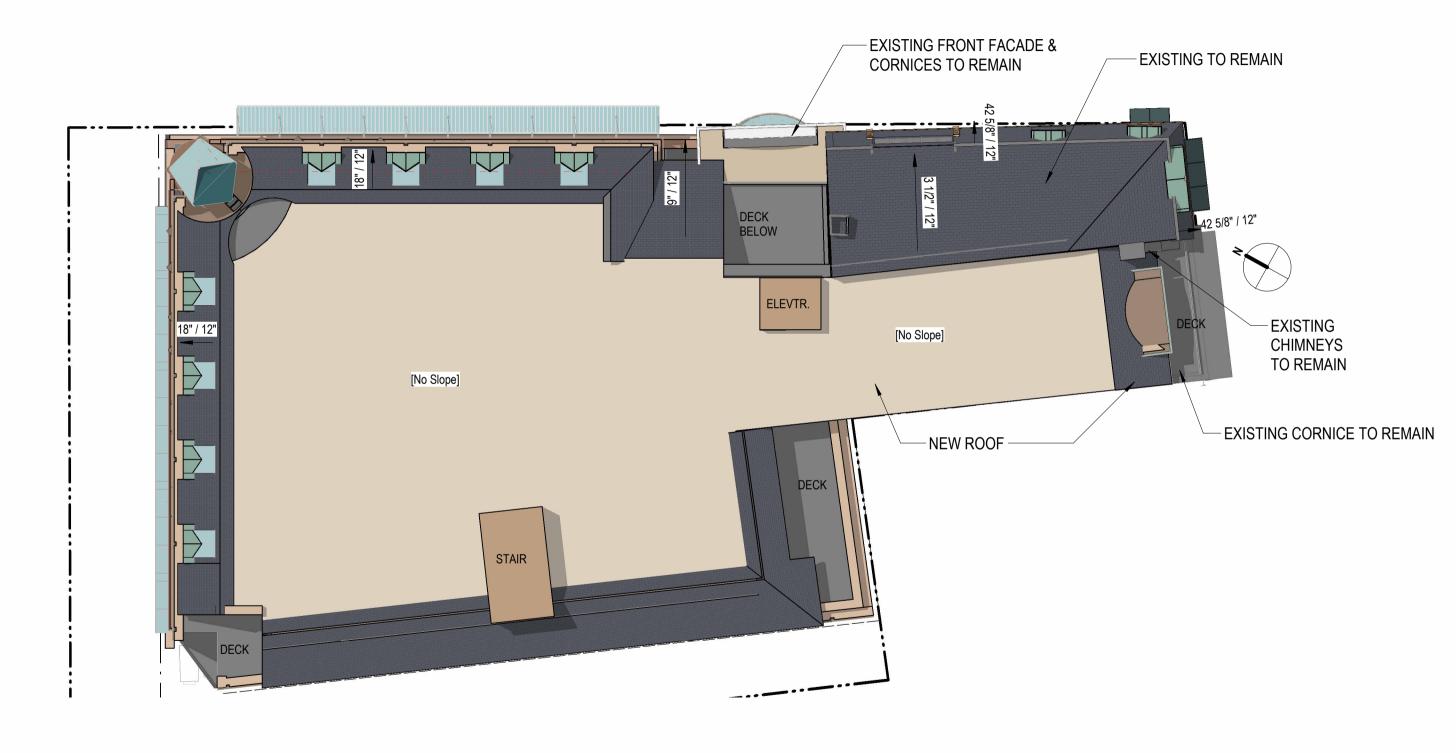






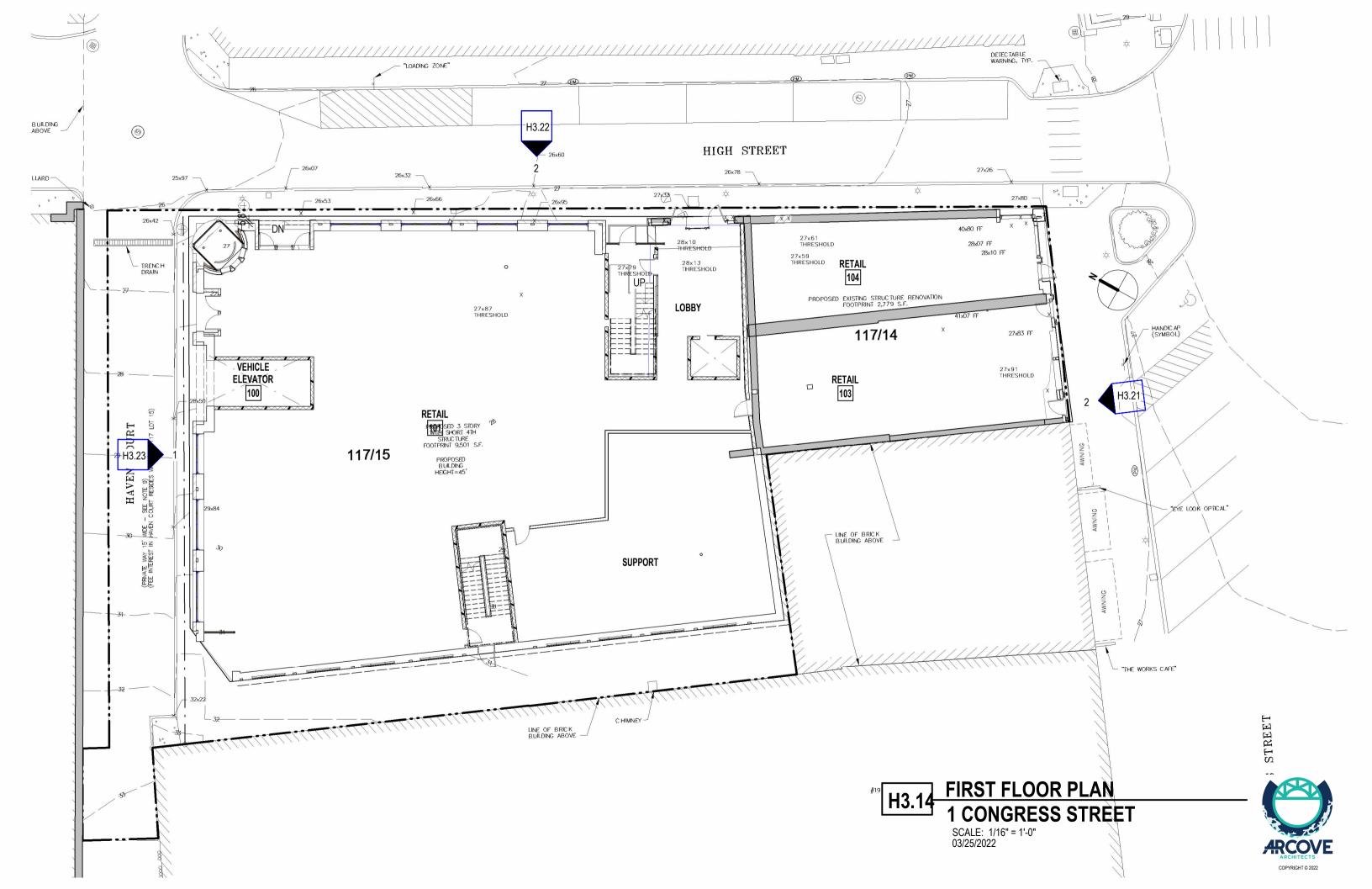
H3.12 DEMOLITION PLAN 1 CONGRESS STREET SCALE: 1/16" = 1'-0" 03/25/2022

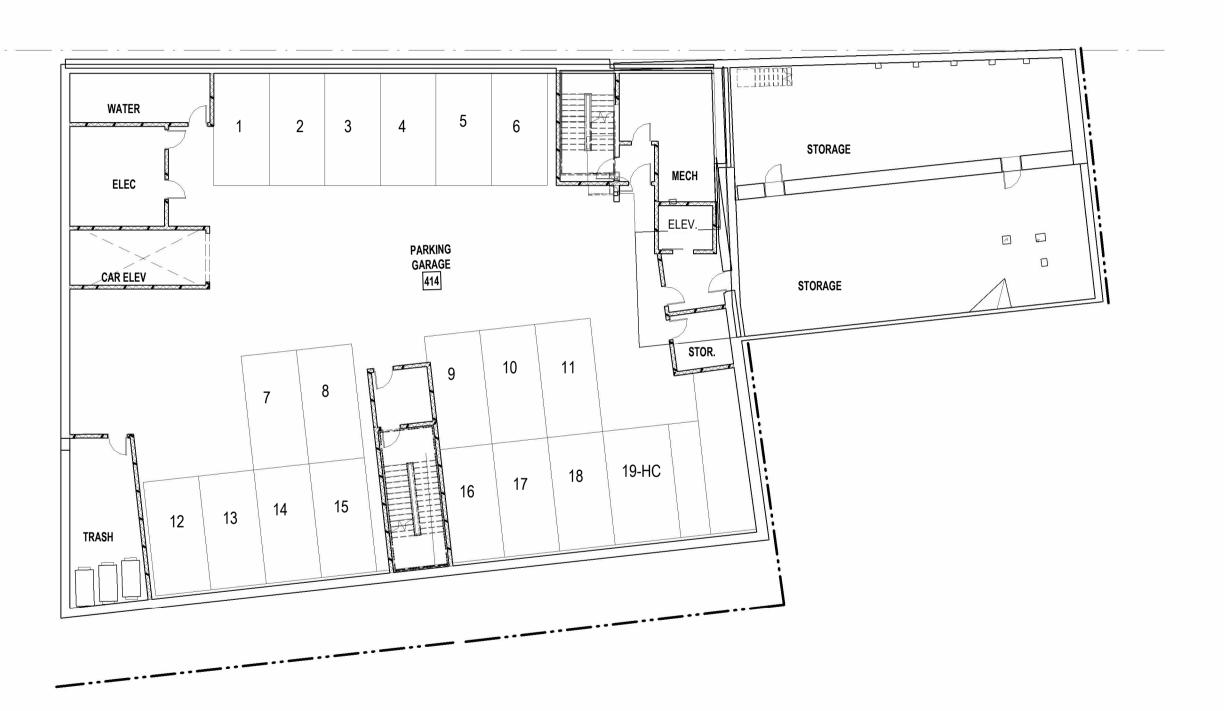




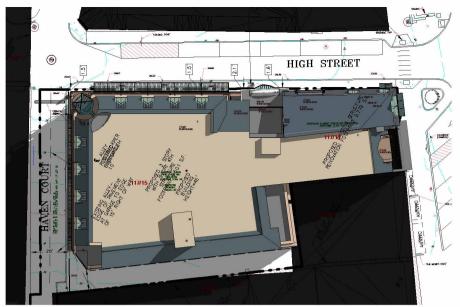
H3.13 ROOF PLAN 1 CONGRESS STREET SCALE: 1/16" = 1'-0" 03/25/2022



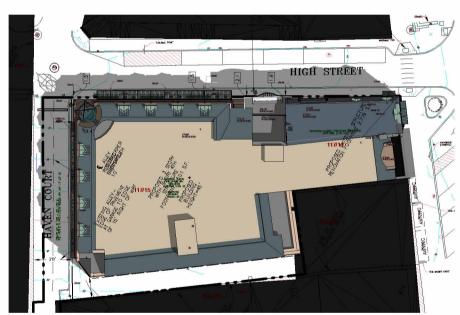




H3.15 BASEMENT PLAN 1 CONGRESS STREET SCALE: 1/16" = 1'-0" 03/25/2022

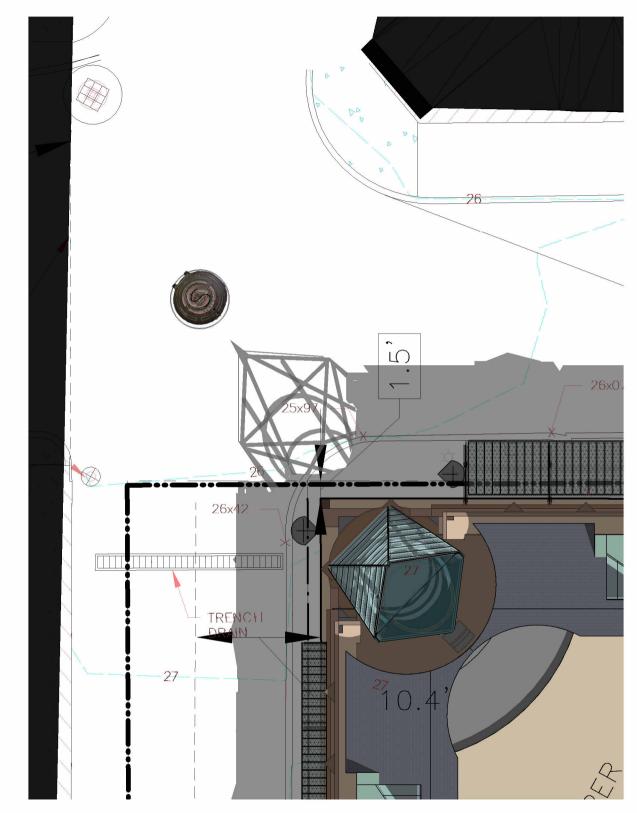


1 SHADOW STUDY - EQUINOX 9AM



SHADOW STUDY - EQUINOX 12 NOON





SHADOW STUDY DETAIL - SUMMER SOLSTICE - 12:25 PM ON JUNE 21

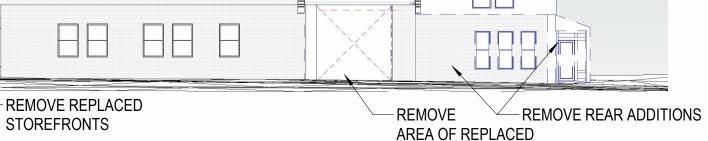




SCALE: As indicated 03/25/2022







STOREFRONT

.20 DEMOLITION ELEVATIONS
1 CONGRESS STREET

SCALE: As indicated 03/25/2022







H3.21 ELEVATION - CONGRESS STREET
1 CONGRESS STREET

SCALE: As indicated 03/25/2022





PROPOSED ELEVATION - NE - HIGH STREET



REPAIR & RESTORE
WOOD TRIM ELEMENTS AND SIDING

NEW METAL FRAMED MARQUIS
WITH GLASS INSERTS & CANOPY

RECREATE ORIGINAL WOOD BRACKETS

RESTORE/RECREATE
ORIGINAL GRANITE BASE



03/25/2022

RESS STREET



AVG ROOF 73' - 1 1/4"

LEVEL 4 62' - 1 1/4"

-<u>LEVEL 3</u> 52' - 3 5/8"

LEVEL 2 41' - 0 5/8" **H3.23**

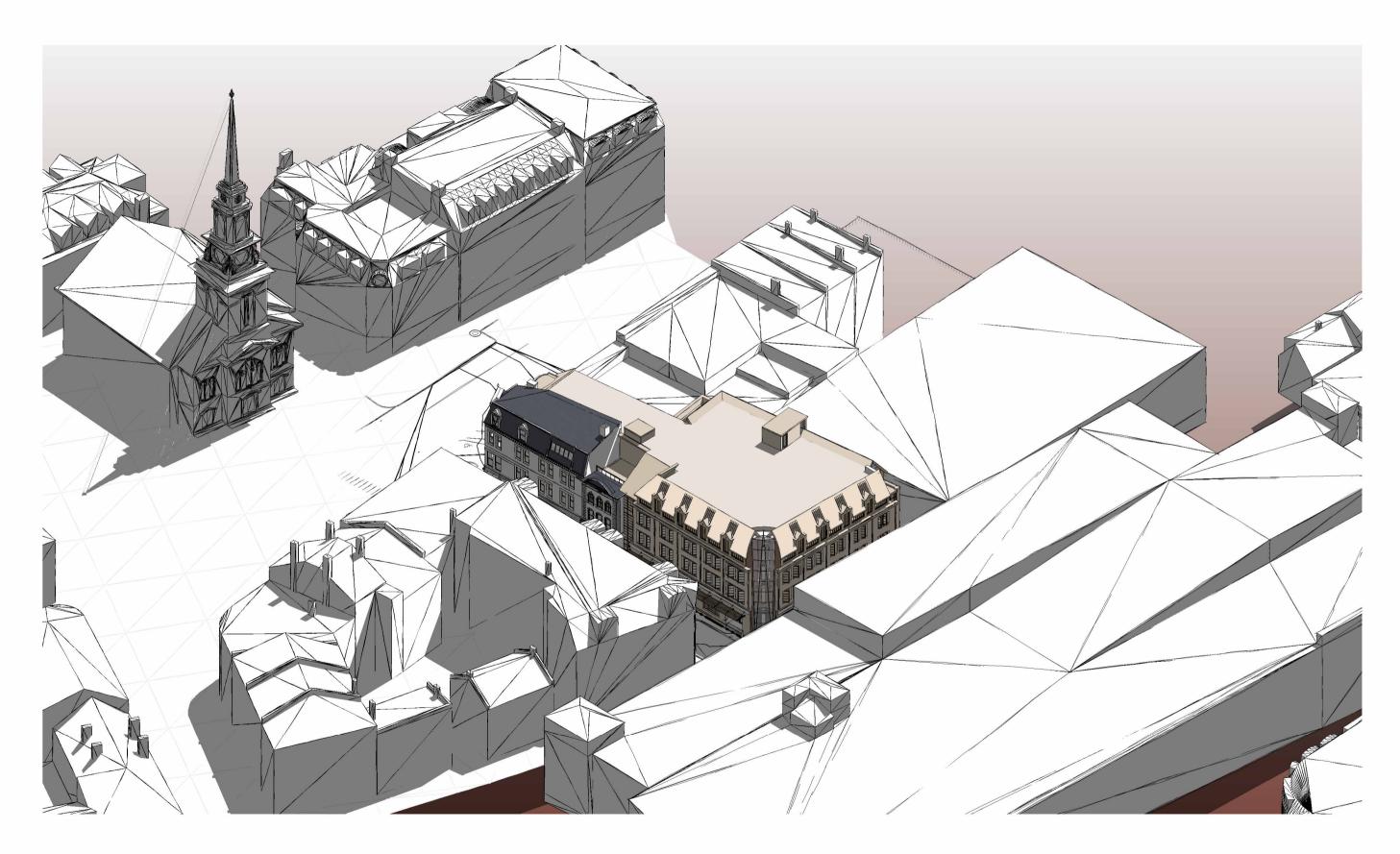
PLANE 28' - 9"

ELEVATION - HAVEN COURT

1 CONGRESS STREET

SCALE: 1/16" = 1'-0" 03/25/2022







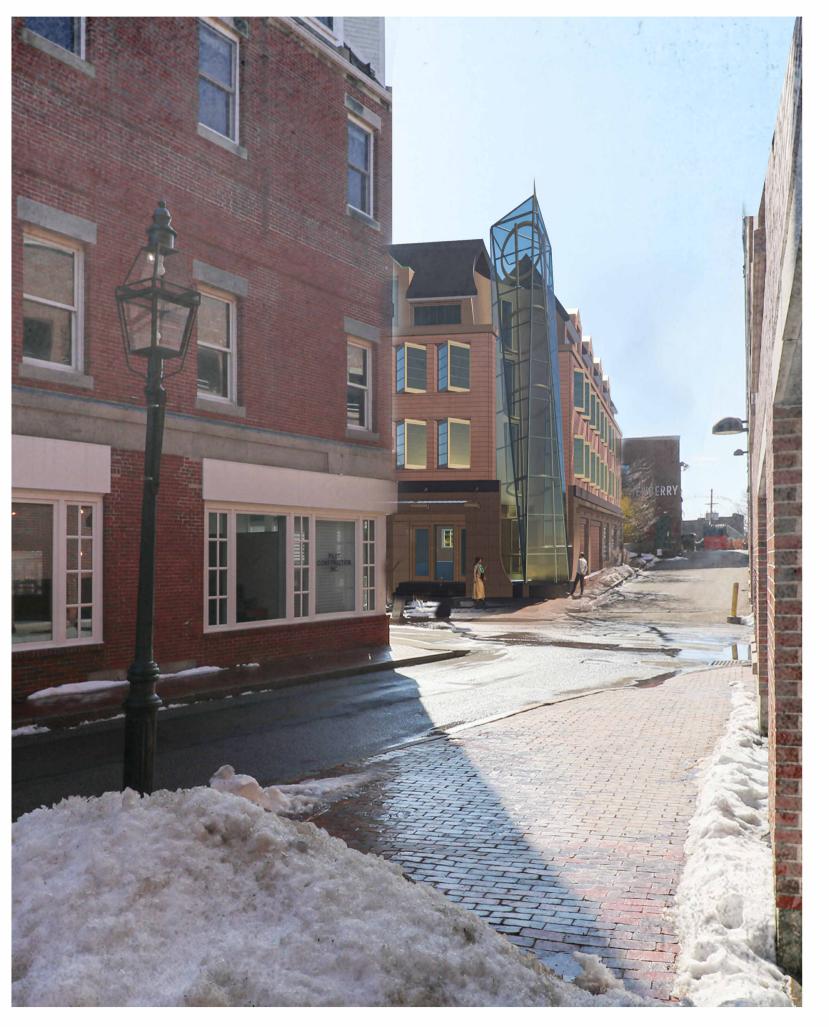




VIGNETTE - CONGRESS STREET H3.33 1 CONGRESS STREET SCALE: 03/25/2022

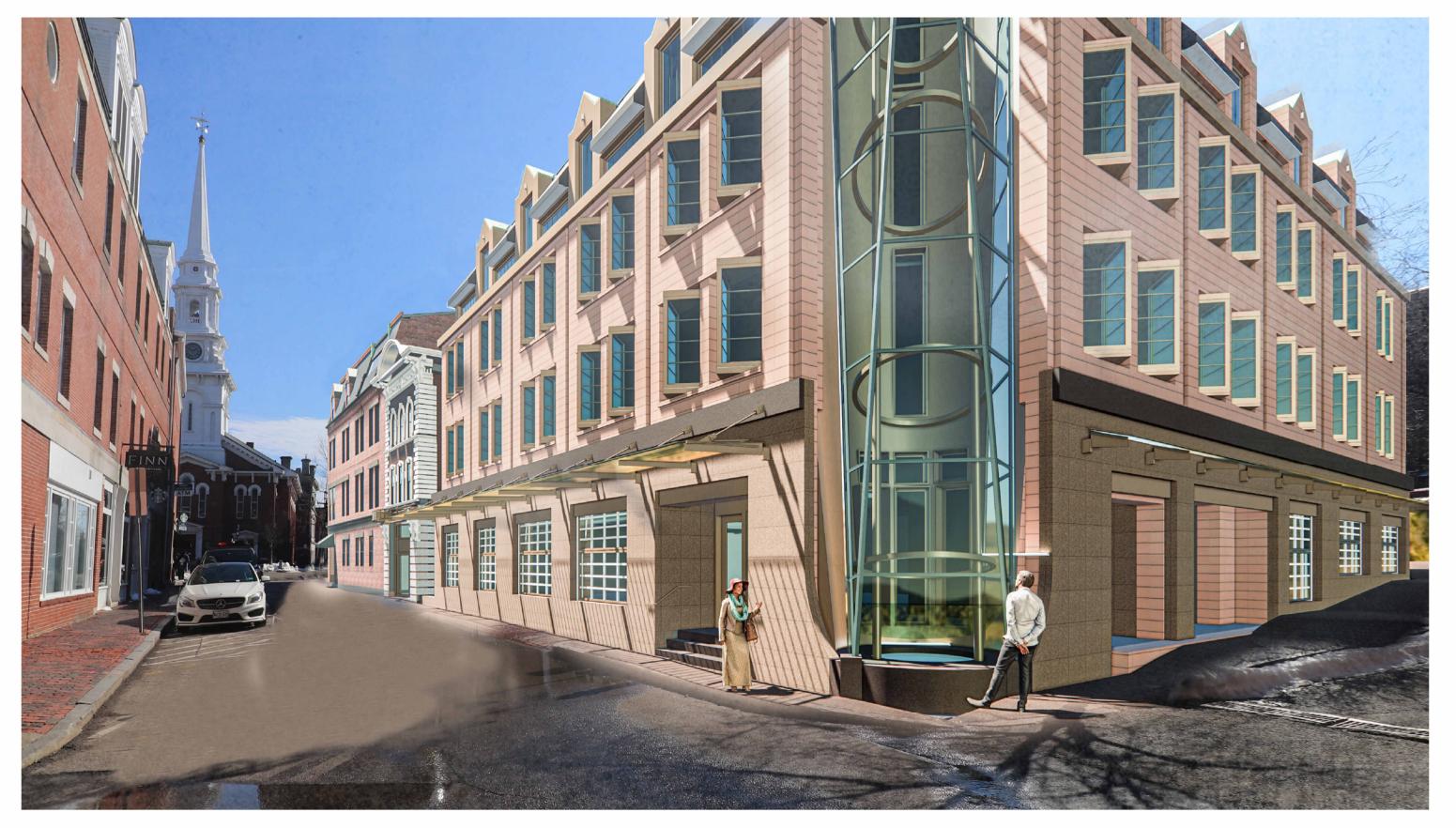






H3.34 VIGNETTE - LADD STREET 1 CONGRESS STREET SCALE: 03/25/2022





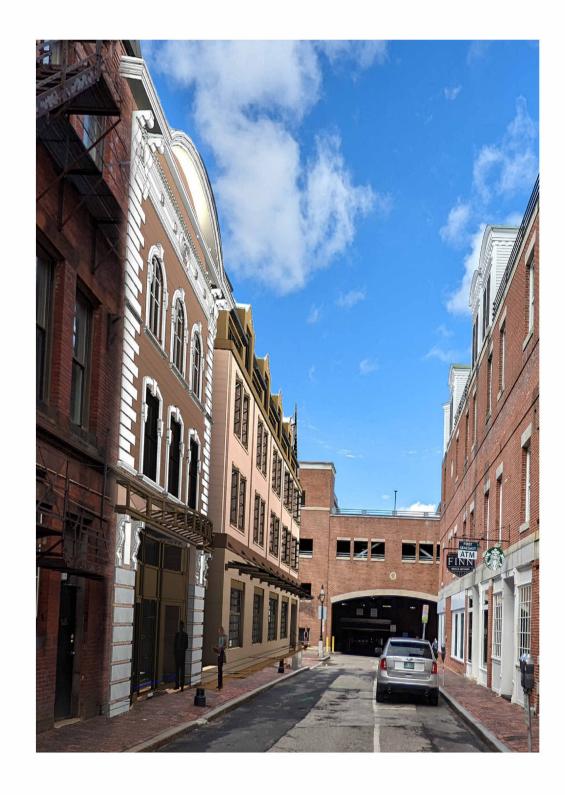
VIGNETTE - HIGH STREET - SOUTH 1 CONGRESS STREET SCALE: 03/25/2022 H3.35





VIGNETTE - HIGHT STREET NORTH H3.36 1 CONGRESS STREET SCALE: 03/25/2022





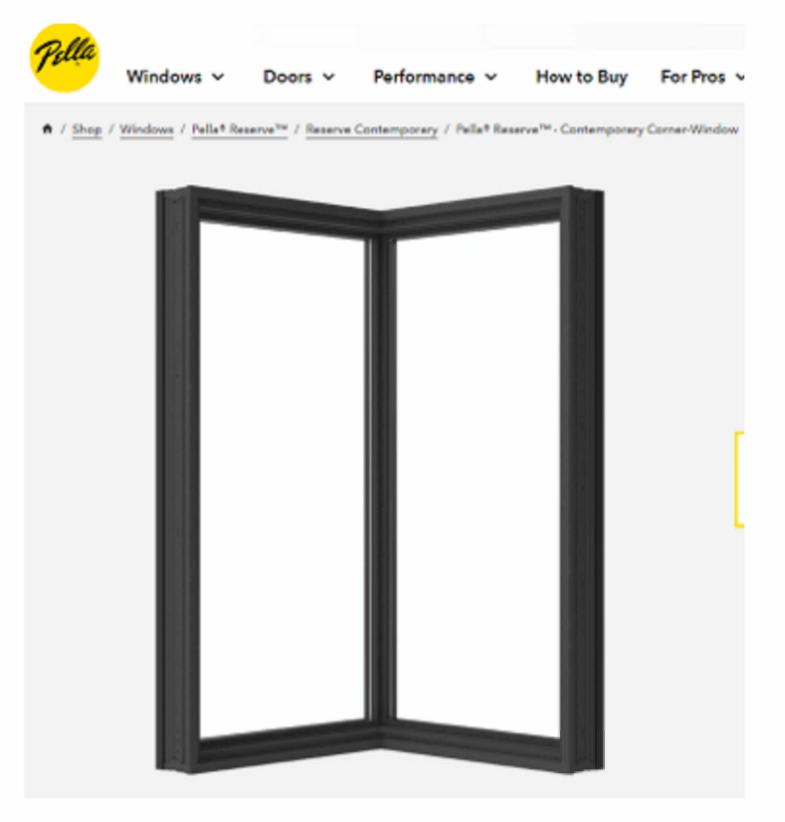














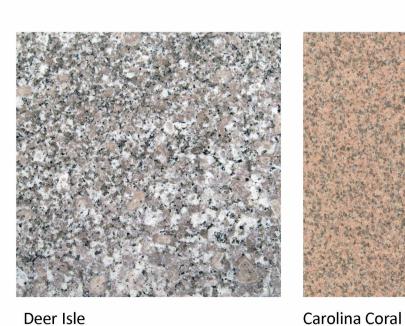




BRONZE FINISH - METAL ACCENTS -WINDOW & DOOR FRAMES, AWNINGS, DORMER LEVEL CLADDING.

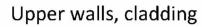
Lower walls, cladding

Granite



Deer Isle

At restored Facades First floor addition, field color



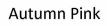
Terra Cotta, glazed tile











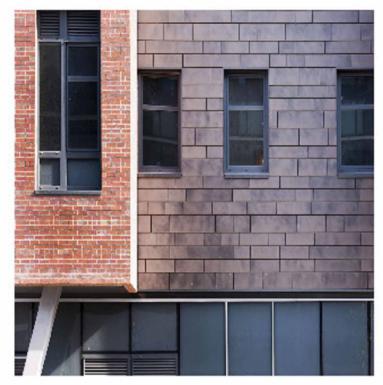
First floor addition - accent color





Terra cotta glazed tile Nexclad/Piterak, by Terreal/Ludowici















Lifting folding doors Crown, Hydraulic Bi-fold

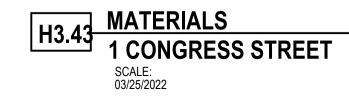














4/6/22, 11:46 AM OpenGov



04/06/2022

LUHD-414

Historic District Commission Work Session or Administrative Approval Application

Date Created: Dec 16, 2021 Status: Active

Applicant

Shayne Forsley shayne.forsley@hdcgc.net 41 Industrial Dr STE 20 Exeter, NH 03833 603-997-2519

Location

129 STATE ST Portsmouth, NH 03801

Owner:

129 STATE STREET LLC 129 STATE ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Alternative Project Address

Project Information

Brief Description of Proposed Work

Facade modifications to include removal of shutters and modern ornamental trim, addition of dormers, roof and siding material changes, and reorganization of entry points for persons and vehicles.

Description of Proposed Work (Planning Staff)

renovations and new construction to an existing structure (removal of shutters, addition of dormers, and roof and siding changes) as per plans on file in the Planning Department.

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

Full Name (First and Last)

Chip Webster

Mailing Address (Street) 11 South Shore Road

State MA

Phone

508-228-3600

Business Name (if applicable)

Chip Webster Architects

City/Town Nantucket

Zip Code 02554

Email Address

info@chipwebster.com

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

Full Name (First and Last)

Business Name (if applicable)

ATTN: Historic District Commission

RE: April 6, 2022 Meeting 129 State Street Portsmouth, NH 03801

129 State Street Doyle Residence – Bill Doyle & Stephanie Nam

CONTACT:
Shayne Forsley
Hampshire Development Corp.
Shayne.forsley@hdcgc.net
603.997.2519

HAMPSHIRE DEVELOPMENT CORPORATION

General Contractor

March 17, 2022

City of Portsmouth Planning Department 1 Junkins Avenue Portsmouth, NH 03801

Attention: Historic District Commission

RE: 129 State Street (LUHD-414)

The applicant and homeowners of 129 State Street, Bill & Stephanie Doyle requests to modify the façade to their property and add dormers for their use. The proposed design includes:

- Removal of the decorative window dressings
- Replacement of the non-historic windows & addition/reconfiguration of windows facing Sheafe Street
- Addition of limestone sills & headers on original masonry structure
- Addition of (2) skylights on State Street & shed dormer facing Sheafe Street
- Addition of oculus on main ridge of roof, and skylight on addition hip roof
- Addition of hip roof to rear portion of the modern structure
- New pediment option at main entry
- Replacement of asphalt shingle roof with synthetic slate
- Reconfiguration of garage entry & civilian entry at the rear of the modern addition on Sheafe Street
- Replacement of existing siding to modern addition with period appropriate clapboard or composite siding
- Addition of exterior lights above the garage doors and balcony facades
- General clean up of masonry & exterior trim to restore the structure back to its original form

The proposed architectural design is included in the package for your review and comment. We look forward to meeting with you for a work session for this project.

Sincerely,

Shayne Forsley General Manager

Cc: Bill Doyle & Stephanie Nam - Owners 129 State Street Portsmouth, NH 03801





(4) Courtyard View 1	③ Sheafe St View 3

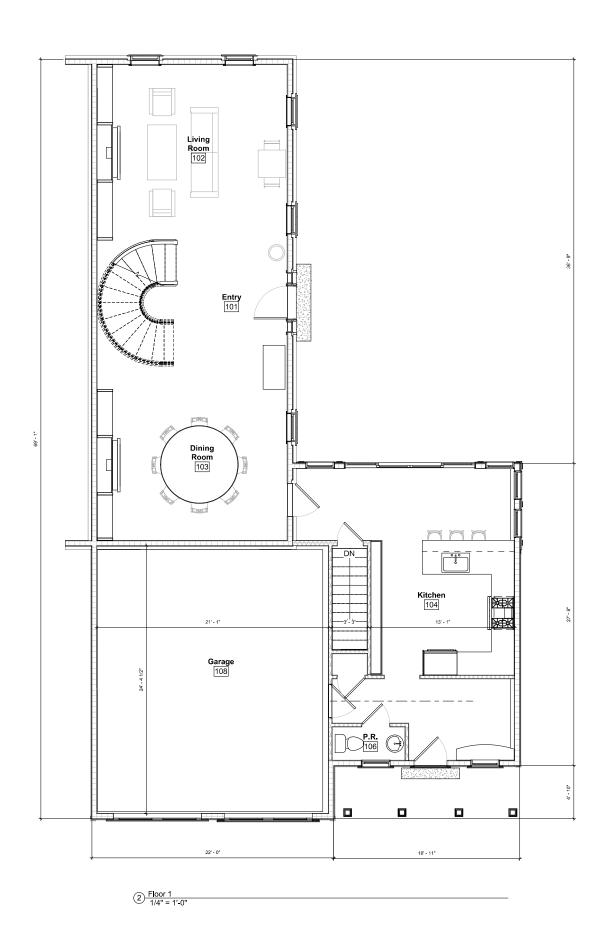
-THIS DESIGN AND DRAWINGS ARE COPYRIGHTED BY CHIP WEBSTER ARCHITECTURE AND ARE NOT TO BE REPRODUCED OR USED IN ANY WAY WITHOUT-EXPRESS WRITTEN CONSENT FROM CHIP WEBSTER ARCHITECTURE-

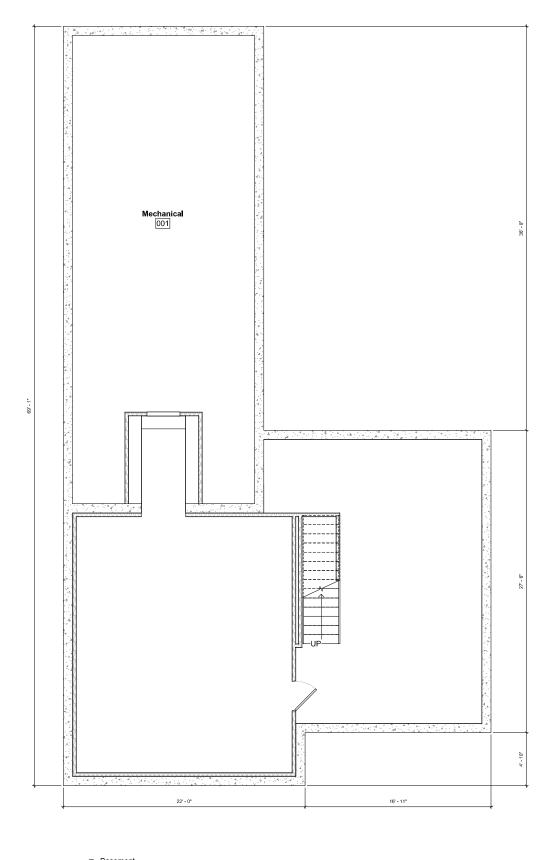
2 Sheafe St View 2

outh, NH yle wnhouse State St - Ports

1 Sheafe St View 1

Poyle	Townhouse	ize State St Fortsmouth, NH	SD - Not For Construction
# 3 4 5	Date 2022.01.14 2022.02.18 2022.03.16	Note HDC Work Sessi HDC Work Sessi HDC	on on 2



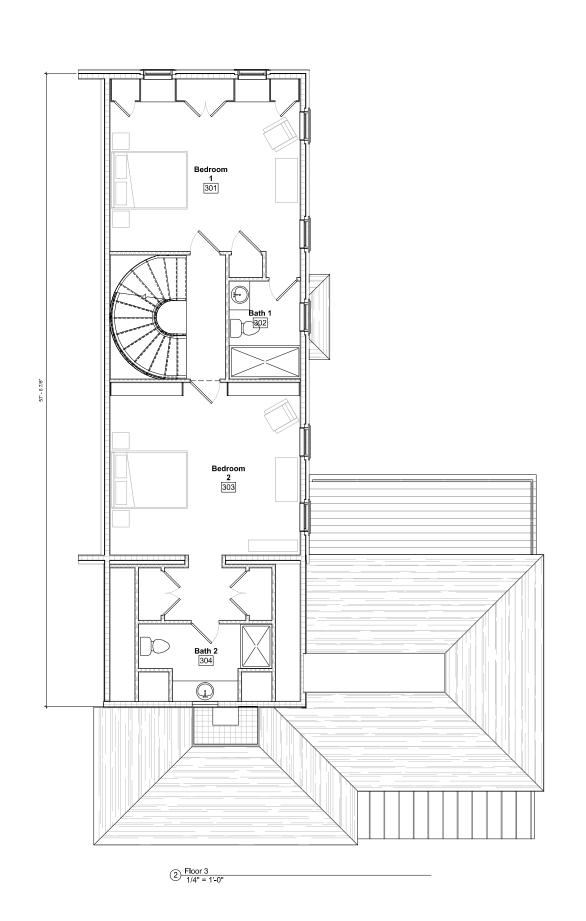


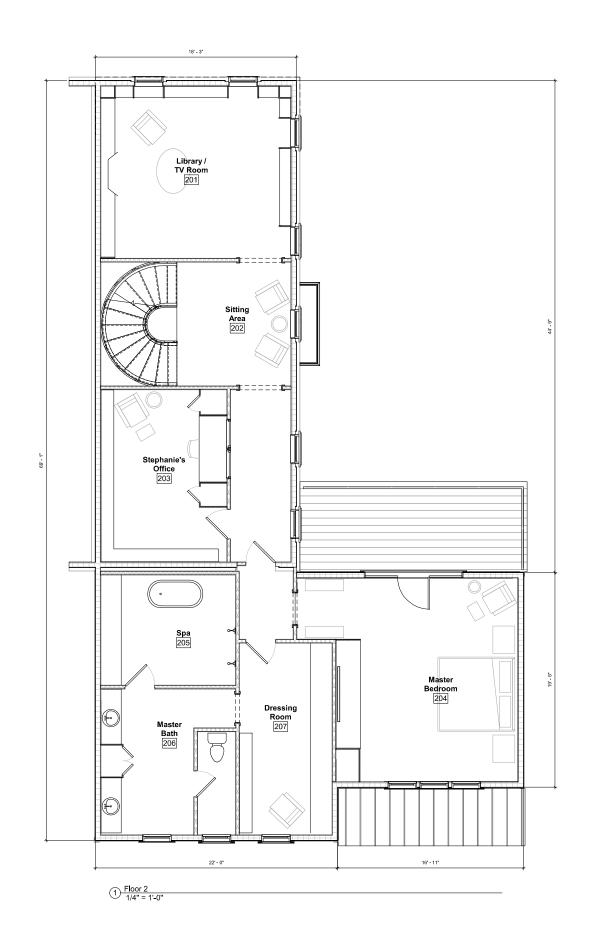
Doyle
Townhouse
129 State St - Portsmouth, NH

#	Date	Note
3	2022.01.14	HDC Work Session
4 5	2022.02.18	HDC Work Session 2
5	2022,03,16	HDC
_		
	-	
	-	-

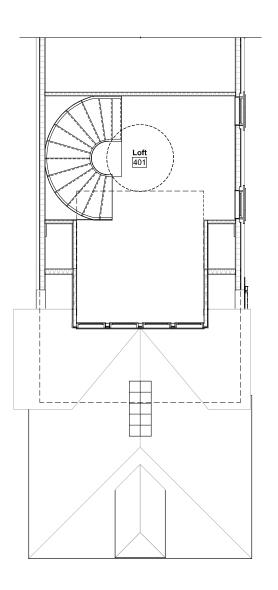
1/4" = 1'-0"

-THIS DESIGN AND DRAWINGS ARE COPYRIGHTED BY CHIP WEBSTER ARCHITECTURE AND ARE NOT TO BE REPRODUCED OR USED IN ANY WAY WITHOUT-EXPRESS WRITTEN CONSENT FROM CHIP WEBSTER ARCHITECTURE-





Dovle	Townhouse	IZS State St - POISSHOUTH, IND	SD - Not For Construction
#	Date	No	
	2022.01.14	HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
	2022.01.14	HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission
3 4	2022.01.14	HDC Work Se HDC Work Se	ission

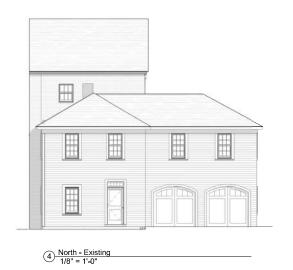


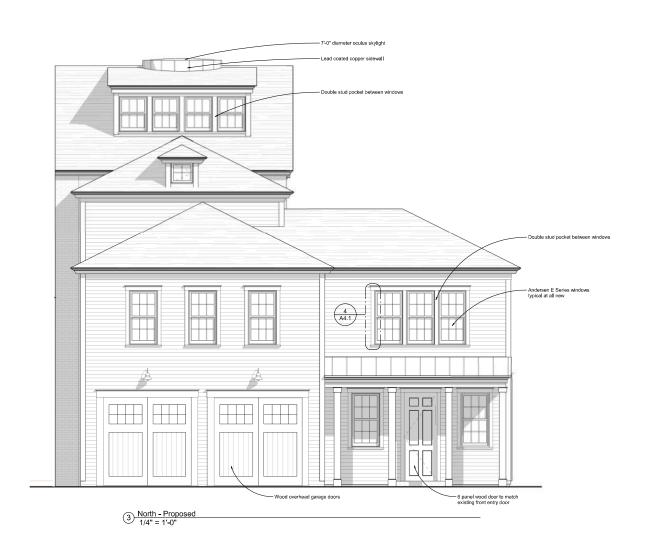
2 Proposed Floor 4
1/4" = 1'-0"

#	Date	Note
3	2022.01.14	HDC Work Session
3 4 5	2022.02.18	HDC Work Session
5	2022.03.16	HDC
	_	
	_	
	_	
	_	
	_	
	_	

1/4" = 1'-0"







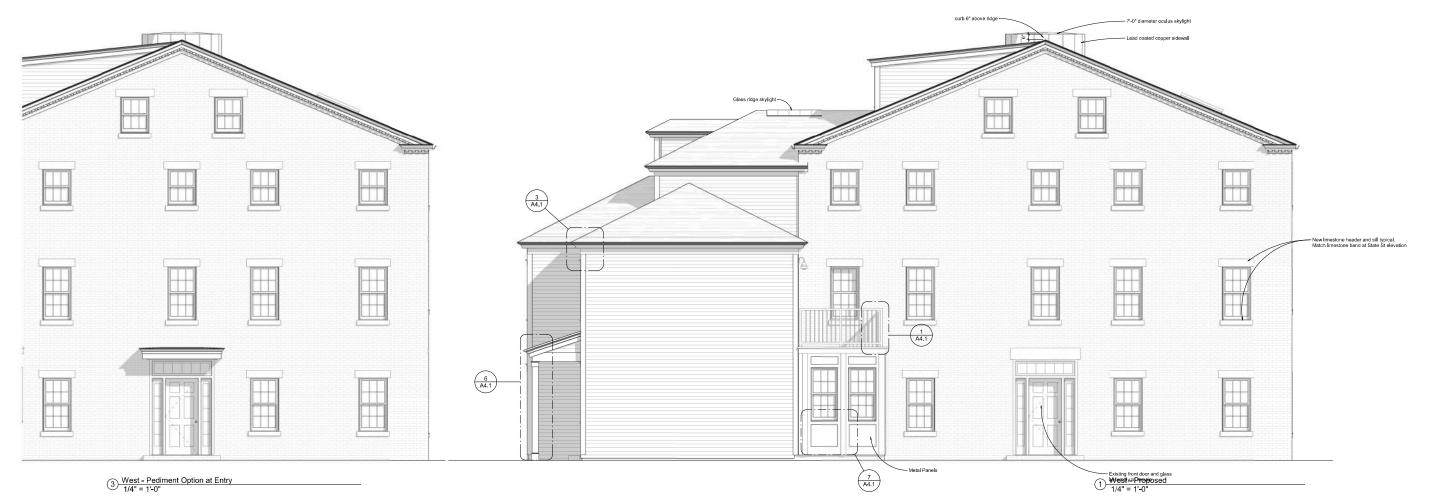




SD - Not For Construction



2 West - Existing 1/4" = 1'-0"



Doyle Townhouse

SD - Not For Construction

A2.2

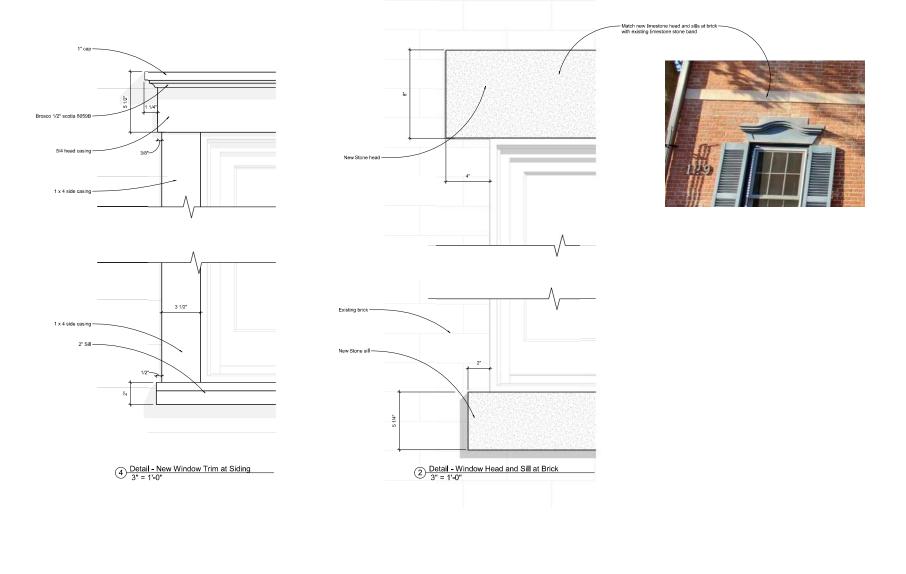
-THIS DESIGN AND DRAWINGS ARE COPYRIGHTED BY CHIP WEBSTER ARCHITECTURE AND ARE NOT TO BE REPRODUCED OR USED IN ANY WAY WITHOUT-EXPRESS WRITTEN CONSENT FROM CHIP WEBSTER ARCHITECTURE-

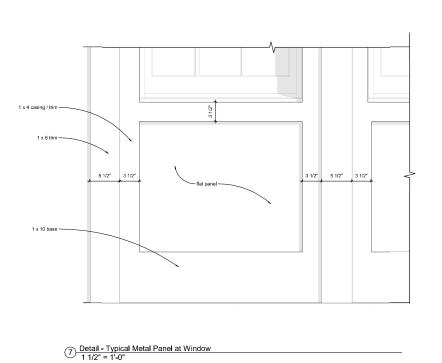


Doyle Townhouse

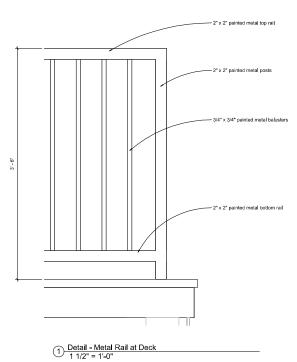


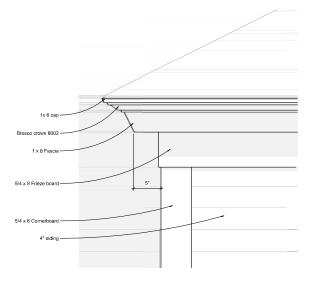
A4.1





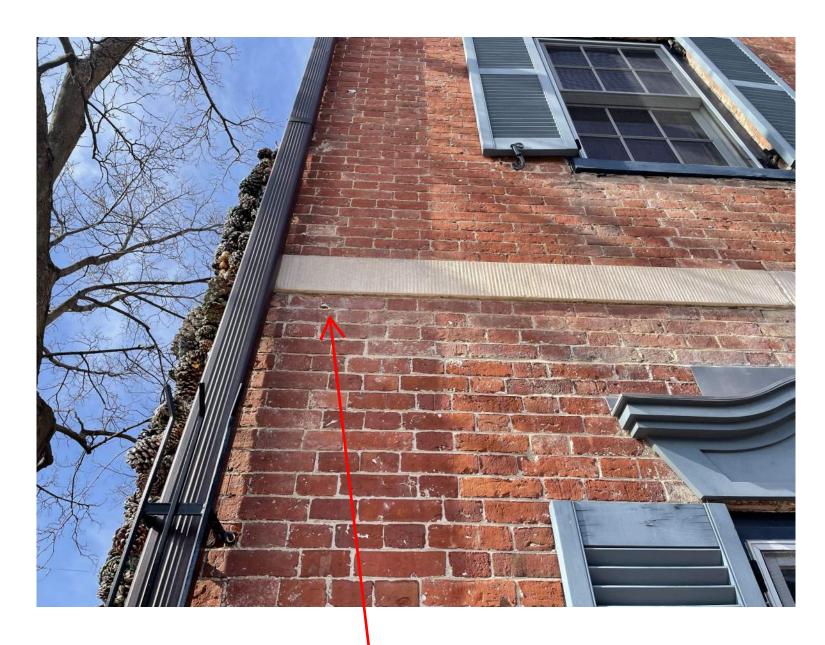
6 Detail - Porch Column and Eave 1 1/2" = 1'-0"

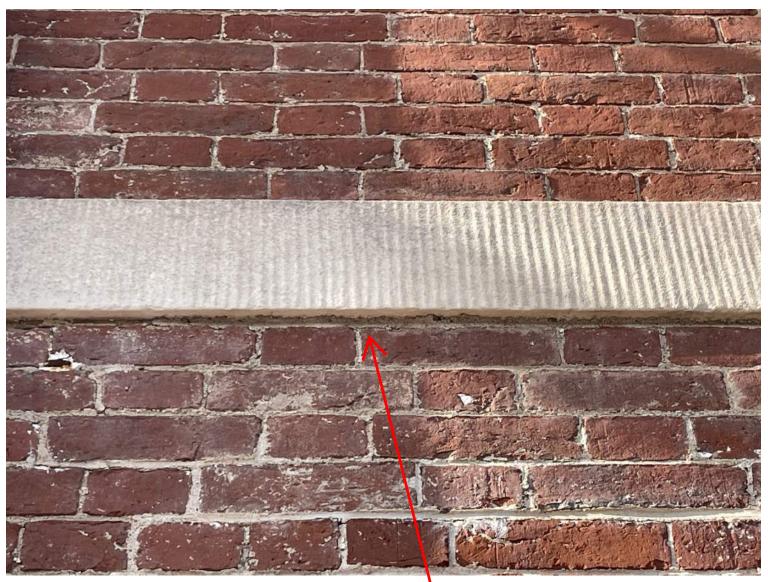




Material Specifications & Cut Sheets

Stone banding reference for proposed sills & heads





Limestone banding on State Street facade (EXISTING)

Limestone banding close-up (EXISTING)

Classic | Color Slate Shingles **Boral Inspire Synthetic**



- Specifications —

CLASSIC SLATE | Single Width

Class A: Item #4IFZE**** Class C: Item #4IFUE****	Exposure	Width	Height		Piece	Bundle	Square	Pallet	Truck
	Max: 7-1/2" Can be installed at 6" to 7-1/2"	12"	18"	Weight	1.5 lbs.	38 lbs.	240 lbs.	2,400 lbs.	42,500 lbs.
				Pieces	1	25	160	1,600	28,000
				Bundles	_	_	6.4	64	1,120
				Squares	-			10	175
				Pallets	-	-		_	18

CLASSIC SLATE	- ST	ARTEI	R			CLASSIC SLATE - HIP AND RIDGE						
Class A - Item #4IKZE****A Class C - Item #4IKUE****A	Width	Height	Weight / Piece	Weight / Bundle	Pieces / Bundle	Class A - Item #4INZE****A Class C - Item #4INUE****A	Width	Length	Exposure	Preform	ned Pitch	
E	12"	13-1/2"	3-1/2" 1 lbs. 25 lbs 25		25		12"	18"	6"-7.5"	3/12 - 18/12		
	Pieces	Pieces / Liner Foot Liner Feet / Bundle			Bundle		Weight / Piece	Weight / Bundle	Pieces / Bundle	Pieces / Liner Foot	Liner Feet / Bundle	
		1		25			1.5 lbs.	38 lbs.	25	1.6	15.6	

TEST	TESTING PERFORMED	RESULTS FOR
Fire Rating	In accordance with UL790 / ASTM E108	Class A* or Class C Fire Rated System. (Depending on system)
Hail Rating	In accordance with UL2218	Class 4
Accelerated Ultra Violet Exposure	In accordance with ASTM G154 Xenon Arc Chamber 9,500+ hours	Tile exhibited virtually no fade and with no trace of cracking, spalling or deformation.
Wind Driven Rain / Wind Uplift	In accordance TAS 100-95; UL 580	Up to 110 mph. No water infiltration through sheathing. No tiles blew off, tore or blew upward.
Freeze-Thaw Cycle	In accordance with ASTM C666/C666M	No signs of damage or cracking after 300+ cycles.
Water Absorption	In accordance with ASTM C272	No appreciable weight gain.
Water Permeation	In accordance with ASTM E96/E96M	Tile shown to be impermeable per ASTM test methods.

Please refer to our website for installation guides.

^{*}Contact Inspire Roofing Products for specific application requirements for UL Class A Fire rated systems.

^{****} Indicates color number.







SKU: 41FUE5235

Classic Slate - Mist Grey







SKU: 41FUE1150

Classic Slate - Steel Grey

Lead Coated Copper - Dark Patina Finish





DOUBLE-HUNG WINDOW

FEATURES

DOUBLE-HUNG WINDOWS

FRAME & SASH

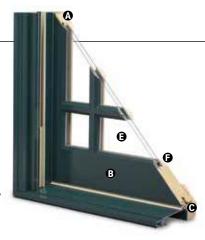
A Select wood components are kiln dried and treated with water/insect repellent and preservative. Interior wood surfaces are available in pine, mixed grain Douglas fir, cherry, hickory, mahogany, maple, oak, walnut, alder or vertical grain Douglas fir. Interior surfaces are available unfinished or factory primed. Factory-applied finishes are available in a variety of stain and paint options.

Wood components are fitted with aluminum extrusions on the exterior 50 exterior colors that meet AAMA 2604 and 2605 specifications are available, as well as custom colors. Also available is a selection of seven exterior anodized options.

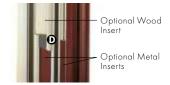
Optional vinyl installation flanges are pre-applied into a kerf on the frame exterior to facilitate installation. Optional aluminum flanges or metal installation clips are available.

© Compression bulb weatherstrip is applied on the bottom sash, head jamb, at the meeting rail and on side iambs for a maximum weather seal.

Jamb liners encase balancer assemblies that allow each sash to be tilted 90° inward from a bottom pivot and stay securely in place for washing.



• Double-hung jamb liners incorporate synthetic interior and exterior inserts or optional painted aluminum exterior and wood-veneered interior inserts.



GLASS

• High-Performance Low-E4® glass with a low-conductivity spacer. Triple-pane glass, tinted, clear dualpane, high-altitude glass and other special glazing options are available.

• Glass is fixed in place from the interior with wood stops that can be removed for easy reglazing if necessary. Glass stops available in ovolo (colonial) and contemporary profiles.

HARDWARE

Sash lock/tilt mechanisms and keepers give a slim, more traditional design and allow opening and tilting of the window in one operation. Tilting the sash from the inside for cleaning is effortless.

Optional surface mount sash lifts allow for easy operation. Units less than 3' wide use one lift. Units 3' wide and greater use two lifts.

HARDWARE OPTIONS





Antique Brass | Black | Bright Chrome | Bronze | Gold Oil Rubbed Bronze | Pewter | Polished Brass | Satin Chrome | White

Windows with VeriLock® sensors use a different sash lock. See the next page for details.

HARDWARE FINISHES



Oil rubbed bronze is a "living" finish that will change with time and use

EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS 50 exterior colors, 7 anodized finishes and custom colors. See exterior colors on page 11.

INTERIOR WOOD SPECIES



Pine









Maple











Douglas Fir

All factory-finished options are shown on pine.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind.

Painted options available on pine. Dark bronze and black painted options available on pine or maple.

Anodized silver painted option available on maple only.

Interior custom stains, paints and color

FACTORY-FINISHED INTERIORS











Hickory





Cinnamon



Russet



Mocha



Espresso

matching available.

INTERIOR PAINTED OPTIONS





ACCESSORIES Sold Separately

DOUBLE-HUNG WINDOWS

HARDWARE

Window Opening Control Device Kit

An optional Window Opening Control Device Kit is available, which limits opening the sash to less than 4" when the window is first opened. Available in stone and white.

SENSORS

VeriLock® Security Sensors



VeriLock sensors are unique as they detect whether the windows are locked or unlocked* — a feature no other sensors can provide. See page 27 for Smart Home options.

Open/Closed Sensors

Wireless open/closed sensors are available in four colors. See page 27 for details.

INSECT SCREENS

Conventional Insect Screens



Charcoal fiberglass screen mesh fits into an aluminum frame in all 50 exterior colors and seven anodized finishes. Available in half or full insect screens. Aluminum screen mesh is available as an option.

TruScene® Insect Screens

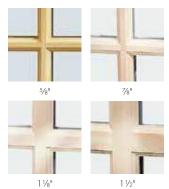
TruScene insect screens available in all 50 exterior colors and seven anodized finishes.

See page 24 for more information on our insect screen options.

GRILLES

Full Divided Light

Permanent interior and exterior grilles with grille spacer bars between two panes of glass. Available in 5/8", 7/8", 1 1/8", 1 1/2", or 2 1/4" widths. Interior grilles are available with ovolo or contemporary profile (ovolo profile shown below). Not all widths are shown.



Simulated Divided Light

Permanent exterior and interior grilles without grille spacer bars. Available in $\frac{5}{8}$, $\frac{7}{8}$, $\frac{1}{8}$, $\frac{1}{8}$, $\frac{1}{2}$, or $\frac{2}{4}$ widths. Interior grilles are available with ovolo or contemporary profile (ovolo profile shown below). Not all widths are shown.



Finelight™ Grilles-Between-the-Glass

Available in 5/8" flat or 1" contoured aluminum profiles. Two-tone colors of pebble tan/colony white, sierra bronze/colony white or forest green/colony white are available on the 1" profile.



Removable Interior Wood Grilles

Removable interior wood grilles are available in a 7/8" width and ovolo or contemporary profiles. Optional surround for removable grille and permanent exterior grilles also available.



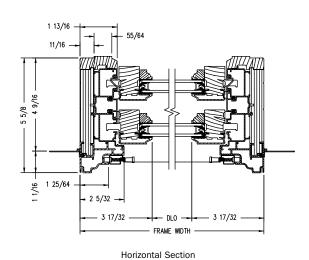
See page 22 for more information on grilles.

^{*}When properly configured and maintained with a professionally installed security system and/or self monitoring system compatible with Honeywell® 5800 controls. See your Andersen supplier for more information.

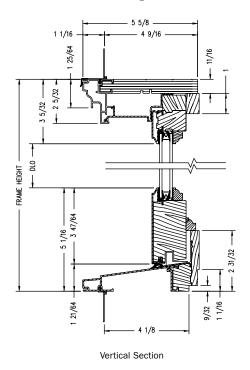
Double-Hung Windows

Donple-Hand 123/64 9/32 9/32 11/16 11/16 11/16 11/16

Vertical Section



Double-Hung Picture



2 1/8 11/16 11

Shown with ovolo (colonial) glass stops.



Fixed Skylights

Deck-Mounted, Curb-Mounted



Deck-Mounted - FS Mounts directly to the roof deck



Curb-Mounted - FCM Mounts directly to a site-built curb



Benefits

- Pre-finished white wood frame and protective aluminum or copper cladding.
- Streamlined exterior profile does not obstruct your roofline.
- Streamlined exterior profile does not obstruct your roofline.
- Pre-mounted Pick&Click!™ system brackets make the installation of sunscreen blinds a snap.

FS Model	<u> </u>														
Size	14° - 85° 3:12 - 137:12	A06	C01	C04	C06	C08	C12	D26	D06	M02	M04	M06	M08	S01	S06
Rough Opening	(W-in. x H-in.)	14 ½x 45 ¾	21 x 26 ⁷ / ₈	21 x 37 ⁷ /8	21 x 45 ³/ ₄	21 x 54 ⁷ / ₁₆	21 x 70 ½	22 ½ x 22 ½ /16	22 ½ x 45 ¾	30 ¹ / ₁₆ x 30	30 ¹ / ₁₆ x 37 ⁷ / ₈	30 ½16 x 45³/4	30 ½1/16 x 54 ⁷ /16	44 ½ x 26 ½	44 ½ x 45 ¾

Model FS sizes D26 and D06 fit perfectly between roof trusses.

FCM Model Size	0° - 60° 0:12 - 20:12	1430	1446	2222	2230	2234	2246	2270	3030	3046	3055	3434	3446	4646	4672
Outside Curb	(W-in. x H-in.)	17 ½ x 33 ½	17 ½ x 49 ½	25 ½ x 25 ½	25 ½ x 33 ½	25 ½ x 37 ½	25 ½ x 49 ½	25 ½ x 73 ½	33 ½ x 33 ½	33 ½ x 49 ½	33 ½ x 58 ½	37 ½ x 37 ½	37 ½ x 49 ½	49 ½ x 49 ½	49 ½ x 75 ½
Max. Skylight Clearance	(W-in. x H-in.	18 5/8 x 34 5/8	185/8x 505/8	26 ⁵ /8x 26 ⁵ /8	26 ⁵ /8x 34 ⁵ /8	26 5/8 X 38 5/8	26 5/8 x 50 5/8	26 ⁵ / ₈ x 74 ⁵ / ₈	34 ⁵ / ₈ x 34 ⁵ / ₈	34 5/8 x 50 5/8	34 ⁵ / ₈ x 59 ⁵ / ₈	38 ⁵ / ₈ x 38 ⁵ / ₈	38 5/8 x 50 5/8	50 5/8 X 50 5/8	50 5/8 X 76 5/8

FCM custom sizes available



Safest Glass to Live Under

Clean, Quiet & Safe

When selecting a VELUX Fixed Skylight rest assured your skylight comes with our most-recommended, top-rated glass: Clean, Quiet & Safe. Named for its three biggest benefits, this glass comes with state-of-the-art, energy-conserving LowE glass, designed to keep your home warmer in the winter and cooler in the summer.

Clean: Skylights stay cleaner longer with Neat® glass coating.

Quiet: Reduces unwanted outside noise by up to 25% compared to a standard double pane glass and up to 50% compared to a plastic skylight.

Safe: Unlike tempered, this glass does not shatter into pieces when cracked.

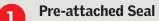


ENERGY STAR certified products are the most straightforward way to help meet energy codes.

Most VELUX residential products are **ENERGY STAR** certified in all 50 states. By specifying or using ENERGY STAR certified products, architects and builders can use windows and skylights to bring much needed daylight and fresh air inside, creating more attractive buildings and livable spaces while still meeting the local energy codes.

3 Layers of Protection

The No Leak Skylight*
• No Leak Promise • No Worries



Pre-attached deck seal (deck-mounted) or gasket (curb-mounted) provides a tight seal for leak-proof installation.

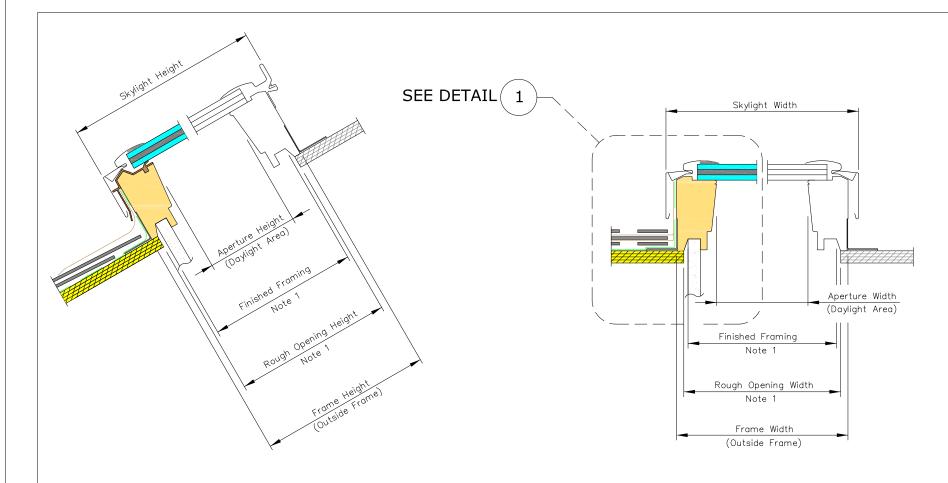
Adhesive Underlayment Adhesive underlayment for secondary water protection against the harshest weather conditions.

Engineered Flashing Engineered flashing for easy installation and primary water protection.









22ga. Roll Formed Aluminum -Frame Cover with Neutral Grey Insulated Glazing Kynar 500 Finish (See STANDARD GLAZING OPTIONS:, below) VELUX Adhesive Underlayment 9" Width VELUX EDL Flashing -Gasket (See COMPATIBLE FLASHINGS:, below) Ponderosa Pine Shingles — By Others Frame and Sash with White Finish Drywall Trim Groove Decking— By Others ½" or %" Drywall Factory Installed 21ga. Steel Deck Seal By Others Mounting Bracket with Corrosion Resistant Finish 11/4" x11/4"

VERTICAL CROSS SECTION

HORIZONTAL CROSS SECTION



PRODUCT DIMENSIONS

METRIC UNITS (MILLIMETERS)

Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Daylight Area (Sq. Meters)
A06	368	387	303	409	1162	1175	1091	1200	.333
C01	533	546	462	568	682	695	611	720	.282
C04	533	546	462	568	962	975	891	1000	.412
C06	533	546	462	568	1162	1175	1091	1200	.504
C08	533	546	462	568	1382	1395	1311	1420	.606
C12	533	546	462	568	1784	1797	1713	1822	.792
D26*	572	590	506	612	582	599	511	620	.259
D06*	572	590	506	612	1162	1175	1091	1200	.552
M02	763	776	692	798	762	775	691	800	.486
M04	763	776	692	798	962	975	891	1000	.617
M06	763	776	692	798	1162	1175	1091	1200	.754
M08	763	776	692	798	1382	1395	1311	1420	.909
S01	1123	1136	1052	1158	682	695	611	720	.644
S06	1123	11.36	1052	1158	1162	1175	1091	1200	1 148

IMPERIAL UNITS (INCHES)

Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture	Skylight Height	Daylight Area (Sq. Feet)
A06	14 1/2	15 1/4	11 15/16	16 1/8	45 3/4	46 1/4	42 15/16	47 1/4	3.56
C01	21	21 1/2	18 3/16	22 3/8	26 7/8	27 3/8	24 1/16	28 3/8	3.04
C04	21	21 1/2	18 3/16	22 3/8	37 7/8	38 3/8	35 1/16	39 3/8	4.43
C06	21	21 1/2	18 3/16	22 3/8	45 3/4	46 1/4	42 15/16	47 1/4	5.43
C08	21	21 1/2	18 3/16	22 3/8	54 7/16	54 15/16	51 5/8	55 15/16	6.52
C12	21	21 1/2	18 3/16	22 3/8	70 1/4	70 3/4	67 7/16	71 3/4	8.52
D26*	22 1/2	23 1/4	19 15/16	24 1/16	22 15/16	23 7/16	20 1/8	24 7/16	2.78
D06*	22 1/2	23 1/4	19 15/16	24 1/16	45 3/4	46 1/4	42 15/16	47 1/4	5.94
M02	30 1/16	30 9/16	27 1/4	31 7/16	30	30 1/2	27 3/16	31 1/2	5.15
M04	30 1/16	30 9/16	27 1/4	31 7/16	37 7/8	38 3/8	35 1/16	39 3/8	6.64
M06	30 1/16	30 9/16	27 1/4	31 7/16	45 3/4	46 1/4	42 15/16	47 1/4	8.13
M08	30 1/16	30 9/16	27 1/4	31 7/16	54 7/16	54 15/16	51 5/8	55 15/16	9.77
S01	44 1/4	44 3/4	41 7/16	45 9/16	26 7/8	27 3/8	24 1/16	28 3/8	6.92
S06	44 1/4	44 3/4	41 7/16	45 9/16	45 3/4	46 1/4	42 15/16	47 1/4	12.36

STANDARD GLAZING OPTIONS:

- Laminated LowE3 (04)
- Tempered LowE3 (05)
- Impact (06)
- Snowload (10)

*Tempered Exterior Pane used with all options

COMPATIBLE FLASHINGS:

- EDL Step flashing
- EKL/EKX Combi flashing
- EDW Tile flashing
- EKW/EKX Combi tile flashing
- EDM Metal roof flashing
- ECB Counter flashing for curbs

BUILDER SERIES SKYLIGHT

NOTES:

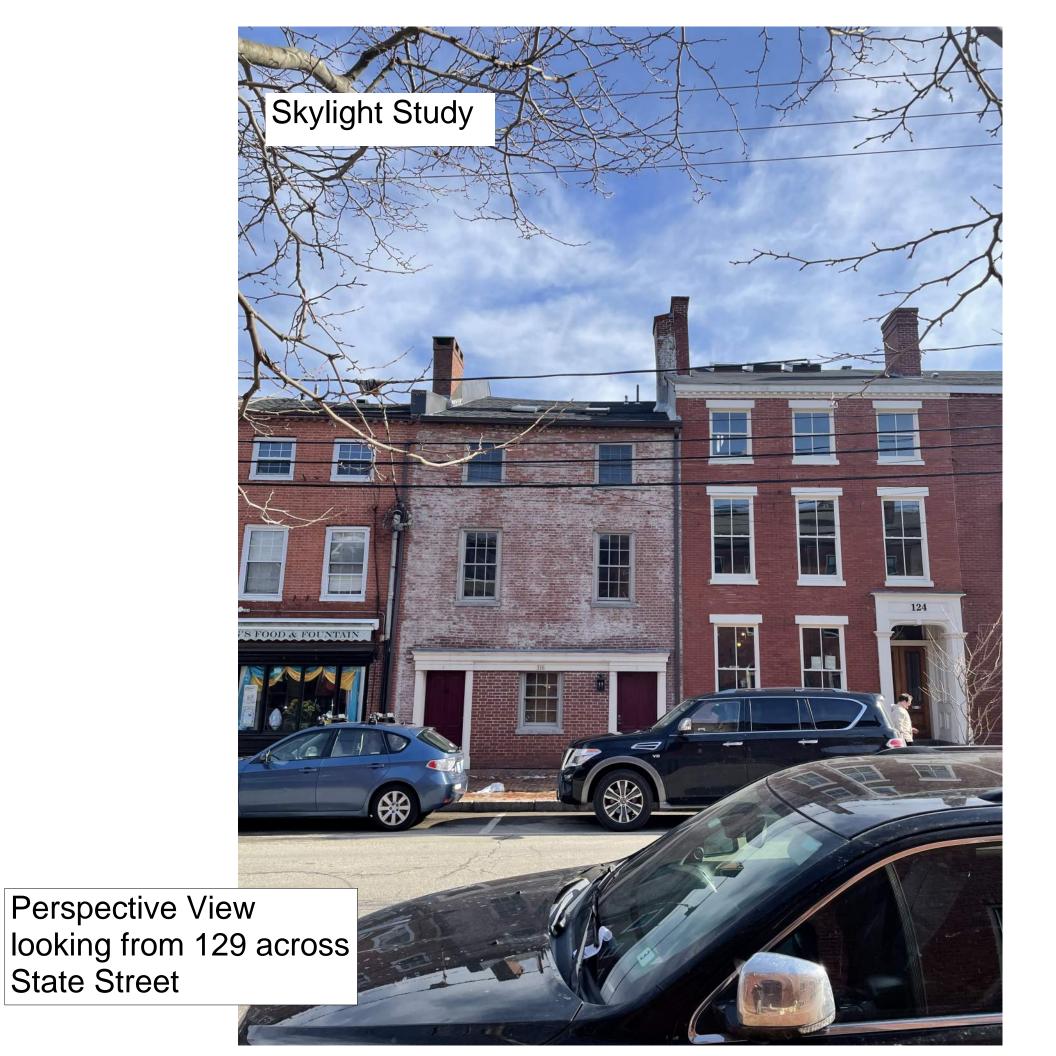


VELUX 1418 Evans Pond Road Greenwood, SC 29649 1-800-88-VELUX www.VELUXUSA.com

FS - Fixed Skylight

^{1.} The ROUGH OPENING and FINISHED FRAMING dimensions are based on perpendicular interior finish material on all four sides and these dimensions will vary depending on the roof construction, the thickness and the design of the interior finish material.





4/6/22, 11:47 AM OpenGov



04/06/2022

LUHD-445

Historic District Commission Work Session or Administrative Approval Application

Date Created: Mar 15, 2022 Status: Active

Applicant

Richard Desjardins richard@mchenryarchitecture.com 4 Market Street Portsmouth, NH 03801 603-430-0274

Location

85 DANIEL ST Portsmouth, NH 03801

Owner:

Andrew Rutter 85 Daniel Street PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Alternative Project Address

Project Information

Brief Description of Proposed Work

- Repairing and replacing all existing siding and trim work in kind.
- Removal of front stoop. To be replaced with a brick stoop with granite treads of similar size.
- Replacement of all existing windows at Daniel Street elevation, replacement windows to match existing style and configuration. Selections, TBD.
- The existing rear addition to be removed and replaced with a proposed two car garage at the ground level, bedroom and corresponding deck at the second floor, and roof top deck at the third floor.
- · The roof is to be rebuilt with two shed dormers, stepped back on all sides to decrease their visual appearance.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

Full Name (First and Last)

Richard Desjardins

Mailing Address (Street)

4 Market Street

State

NΗ

Phone

603-430-0274

Business Name (if applicable)

McHenry Architecture

City/Town

Portsmouth

Zip Code

03801

Email Address

richard@mchenryarchitecture.com

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

85 DANIEL STREET RENOVATIONS AND ADDITION

HISTORIC DISTRICT COMMISSION WORK SESSION - PORTSMOUTH, NH - APRIL 6, 2022

GENERAL PROJECT DESCRIPTION:

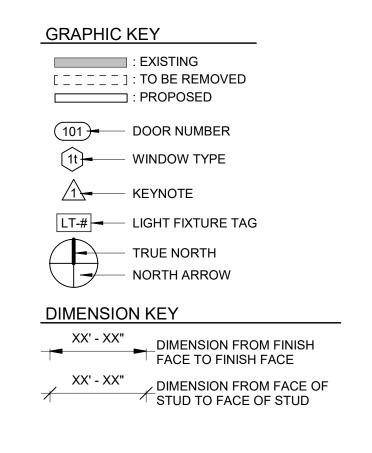
BUILDING HISTORY:

THE LAND WAS ORIGINALLY OWNED BY CAPTAIN WILLIAM STAVERS AND WAS LEASED TO REVEREND LEAVITT OF THE METHODIST CHURCH WHERE THE CHURCH BUILT A SMALL CHAPEL FOR THEIR SUNDAY SCHOOL. THE CHAPEL THAT WAS ORIGINALLY CONSTRUCTED ON THE LAND WAS COMPLETED IN 1859. THE BUILDING AND LAND WAS LATER SOLD TO GEORGE FRENCH IN ABOUT 1890 WHO TURNED THE CHAPEL INTO A TENEMENT HOUSE. THE EXTENT OF RENOVATIONS FROM A CHAPEL TO TENEMENT HOUSE ARE UNCLEAR HOWEVER, THE BUILDING THAT EXISTS TODAY RESEMBLES THESE RENOVATIONS. LATER IN THE 1900'S THE BUILDING WAS SOLD AGAIN WHERE THE FIRST FLOOR OF THE LEFT UNIT SERVED AT EMILIO'S LUNCH RESTAURANT AND GROCERY STORE FROM 1975 TO 2007. THE BUILDING HAS SERVED PORTSMOUTH RESIDENCES WITH MANY COMMERCIAL USES FROM A DOG GROOMER TO A JEWELRY SHOP WITH RESIDENTIAL UNITS ABOVE SINCE THE SALE IN THE LATE 1900'S.

PROPOSED WORK:

- REPAIRING AND REPLACING ALL EXISTING SIDING AND TRIM WORK IN KIND.
- REMOVAL OF FRONT STOOP. TO BE REPLACED WITH A BRICK STOOP WITH GRANITE TREADS OF SIMILAR SIZE.
- REPLACEMENT OF ALL EXISTING WINDOWS AT DANIEL STREET ELEVATION, REPLACEMENT WINDOWS TO MATCH EXISTING STYLE AND CONFIGURATION. SELECTIONS, TBD.
- THE EXISTING REAR ADDITION TO BE REMOVED AND REPLACED WITH A PROPOSED TWO CAR GARAGE AT THE GROUND LEVEL, BEDROOM AND CORRESPONDING DECK AT THE SECOND FLOOR, AND ROOF TOP DECK AT THE THIRD FLOOR.
- THE ROOF IS TO BE REBUILT WITH TWO SHED DORMERS, STEPPED BACK ON ALL SIDES TO DECREASE THEIR VISUAL APPEARANCE.

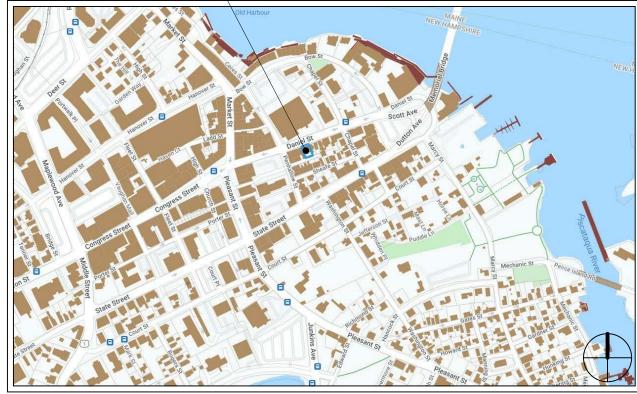
SHEET LIST							
Sheet Number	Sheet Name						
С	COVER						
A1	EXISTING PHOTOGRAPHS						
A2	CONTEXT PHOTOGRAPHS						
A3	CONTEXT PHOTOGRAPHS						
A4	SANBORN FIRE MAP - 1949						
A5	EXISTING FLOOR PLANS						
A6	EXISTING ELEVATIONS						
A7	EXISTING ELEVATIONS						
A8	FLOOR PLANS						
A9	ELEVATIONS						
A10	ELEVATIONS						
A11	VIEW FROM DANIEL STREET						
A12	VIEW FROM DANIEL STREET						
A13	VIEW FROM REAR ALLEY						
A14	VIEW FROM REAR ALLEY						
A15	WINDOW SCHEDULE						
A16	DOOR SCHEDULE						
A17	LIGHTING CUT SHEETS						
A18	MATERIALS & SELECTIONS						





85 DANIEL STREET
PORTSMOUTH, NH 03801

PROPOSED PERSPECTIVE 85 DANIEL STREET (ABOVE)



© 2022 McHenry Architecture

Locus

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

04/06/2022

McHA: RD / MG

NOT TO SCALE



EXISTING PHOTOGRAPH FROM DANIEL STREET



EXISTING PHOTOGRAPH FROM DANIEL STREET



EXISTING PHOTOGRAPH FROM CUSTOM HOUSE LANE



EXISTING PHOTOGRAPH FROM CUSTOM HOUSE LANE



IMAGE OF ASPHALT SIDING



IMAGE OF EXISTING ENTRY AND BAY WINDOW TRIM/MOULDING DETAILS

© 2022 McHenry Architecture

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

EXISTING PHOTOGRAPHS

HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

≥ 2022 Michertry Architecture

04/06/2022 McHA: RD / MG NOT TO SCALE



1. APPROACH ON DANIEL STREET FROM MARKET SQUARE



2. APPROACH ON DANIEL STREET FROM MARKET SQUARE



3. APPROACH ON DANIEL STREET FROM MARKET SQUARE



1. APPROACH ON DANIEL STREET TO MARKET SQUARE



2. APPROACH ON DANIEL STREET TO MARKET SQUARE



3. APPROACH ON DANIEL STREET TO MARKET SQUARE

© 2022 McHenry Architecture

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

CONTEXT PHOTOGRAPHS

HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

04/06/2022

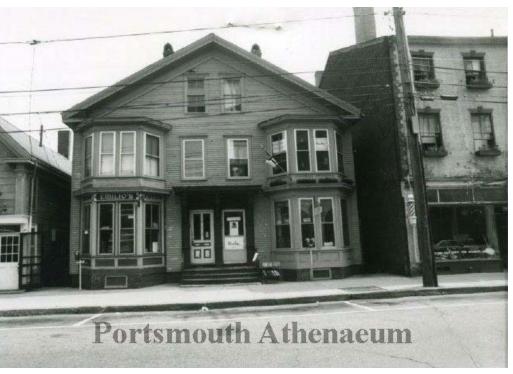
McHA: RD / MG



1. APPROACH ON DANIEL STREET TO MARKET SQUARE



1. APPROACH ON DANIEL STREET FROM MARKET SQUARE



1. HISTORIC PHOTOGRAPH - 1982



1. APPROACH ON CUSTOM HOUSE LANE FROM PENHALLOW STREET



2. APPROACH ON CUSTOM HOUSE LANE



2. HISTORIC PHOTOGRAPH - DATE UNKNOWN

© 2022 McHenry Architecture

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

CONTEXT PHOTOGRAPHS

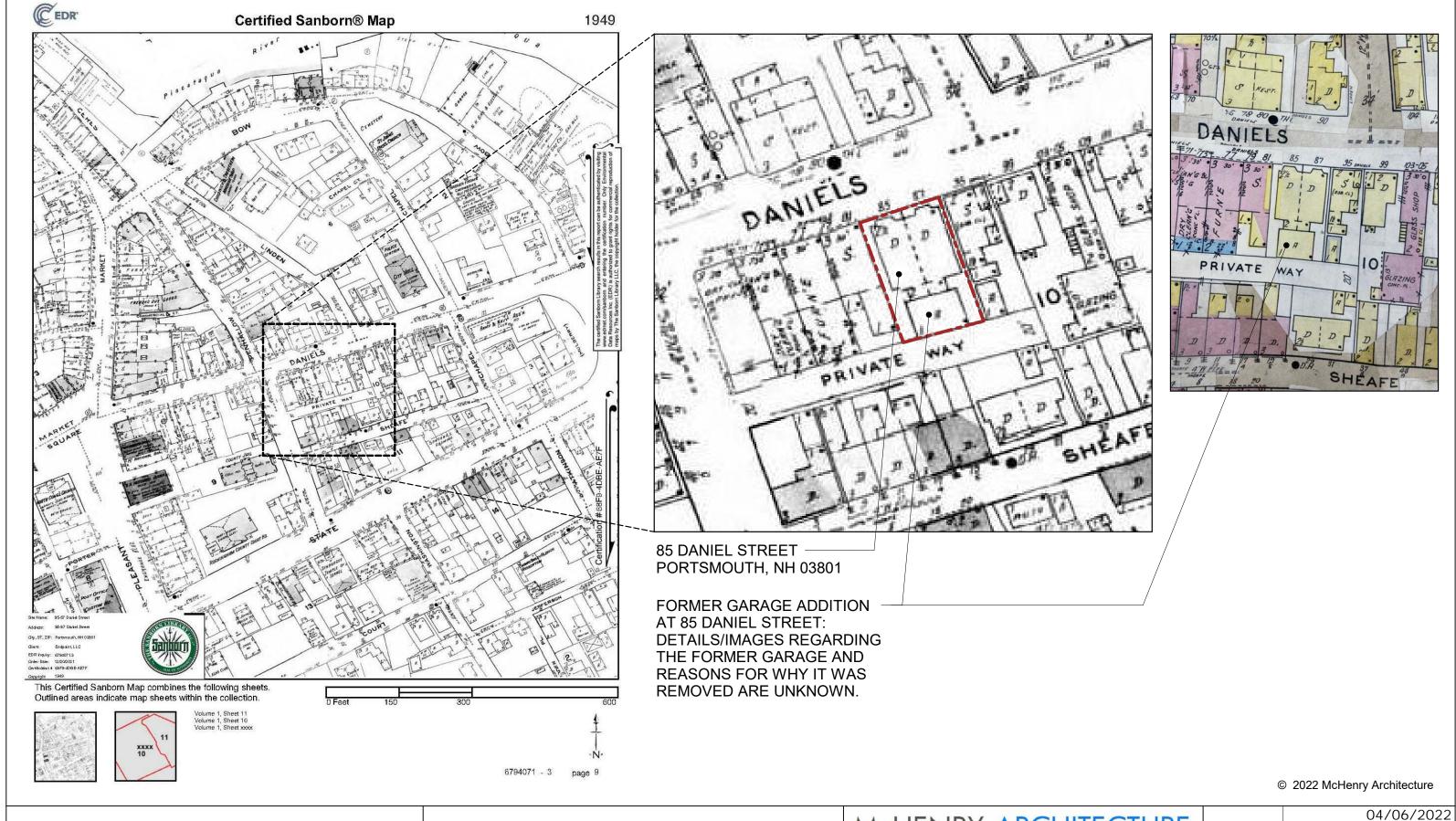
HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022

McHENRY ARCHITECTURE

4 Market Street A3

Portsmouth, New Hampshire

04/06/2022 McHA: RD / MG NOT TO SCALE



RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

SANBORN FIRE MAP - 1949

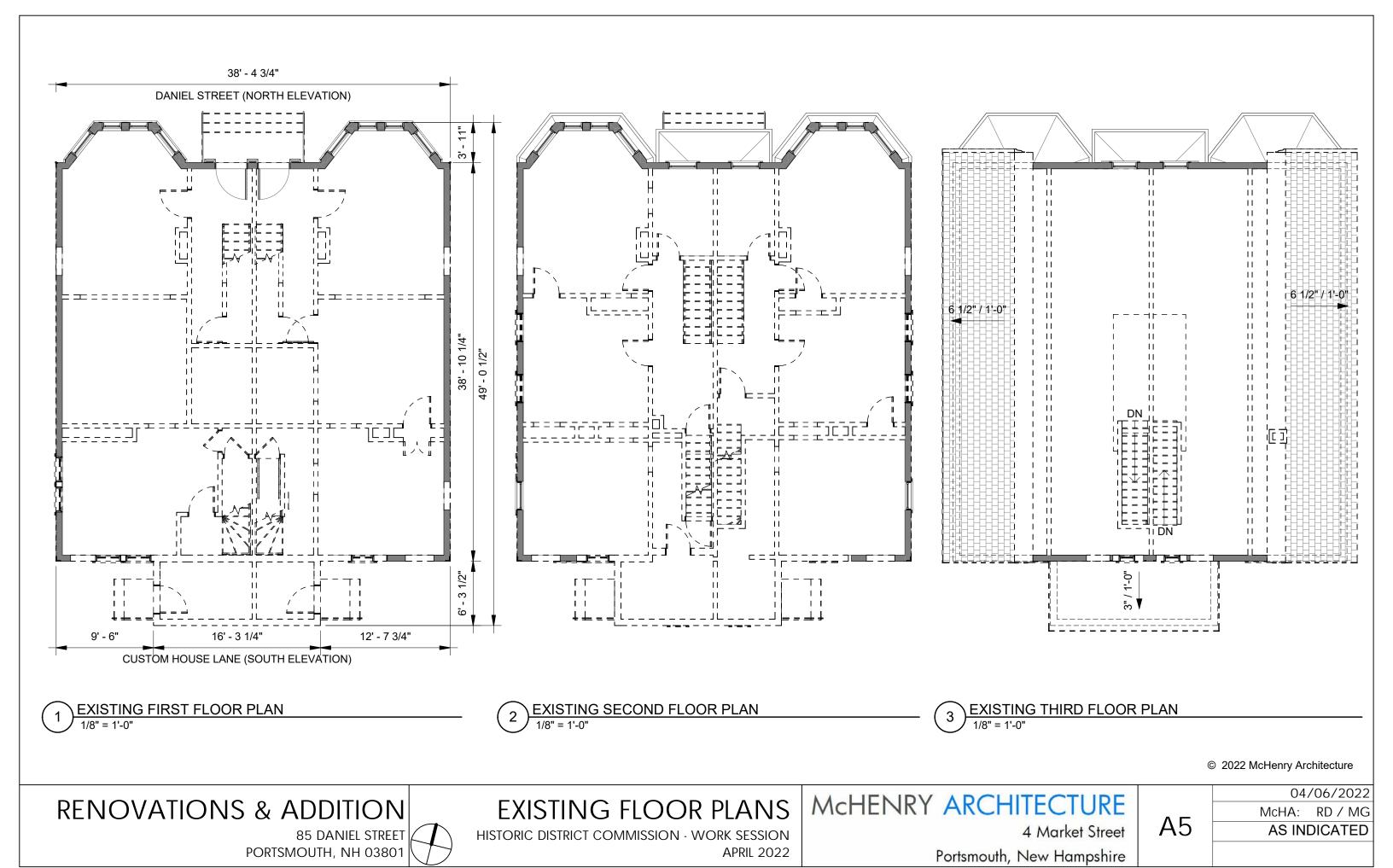
HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022 McHENRY ARCHITECTURE

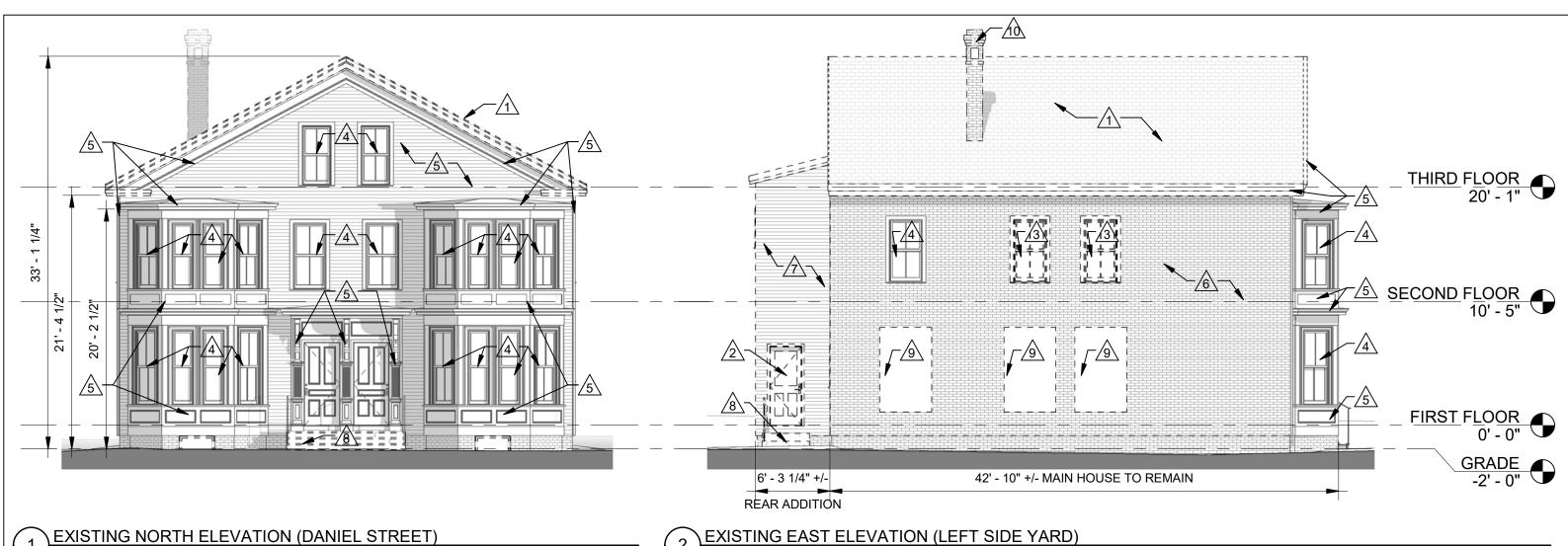
4 Market Street

Portsmouth, New Hampshire

A4

McHA: RD / MG
NOT TO SCALE





1/8" = 1'-0"

REMOVAL KEYNOTES

MAIN ROOF TO BE REMOVED AND REBUILT IN

DOOR TO BE REMOVED

WINDOW TO BE REMOVED

WINDOW TO BE REMOVED AND REPLACED TO MATCH

PATCH, REPAIR, AND REPLACE EXISTING WOOD TRIM, PANELING, AND SIDING IN KIND

FAUX BRICK ASPHALT SIDING TO BE REMOVED, WOOD SIDING BEHIND TO BE REPAIRED AND REPLACED IN KIND

REAR ADDITION TO BE REMOVED, FOUNDATION TO ROOF.

8.

REMOVE STAIR AND ASSOCIATED COMPONENTS



ASPHALT SIDING AT FORMER WINDOW OPENING TO BE REMOVED



REMOVE REPLACEMENT CHIMNEY

11. ALL EXISTING EXTERIOR LIGHTING TO BE **REMOVED**

© 2022 McHenry Architecture

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

EXISTING ELEVATIONS

HISTORIC DISTRICT COMMISSION - WORK SESSION **APRIL 2022**

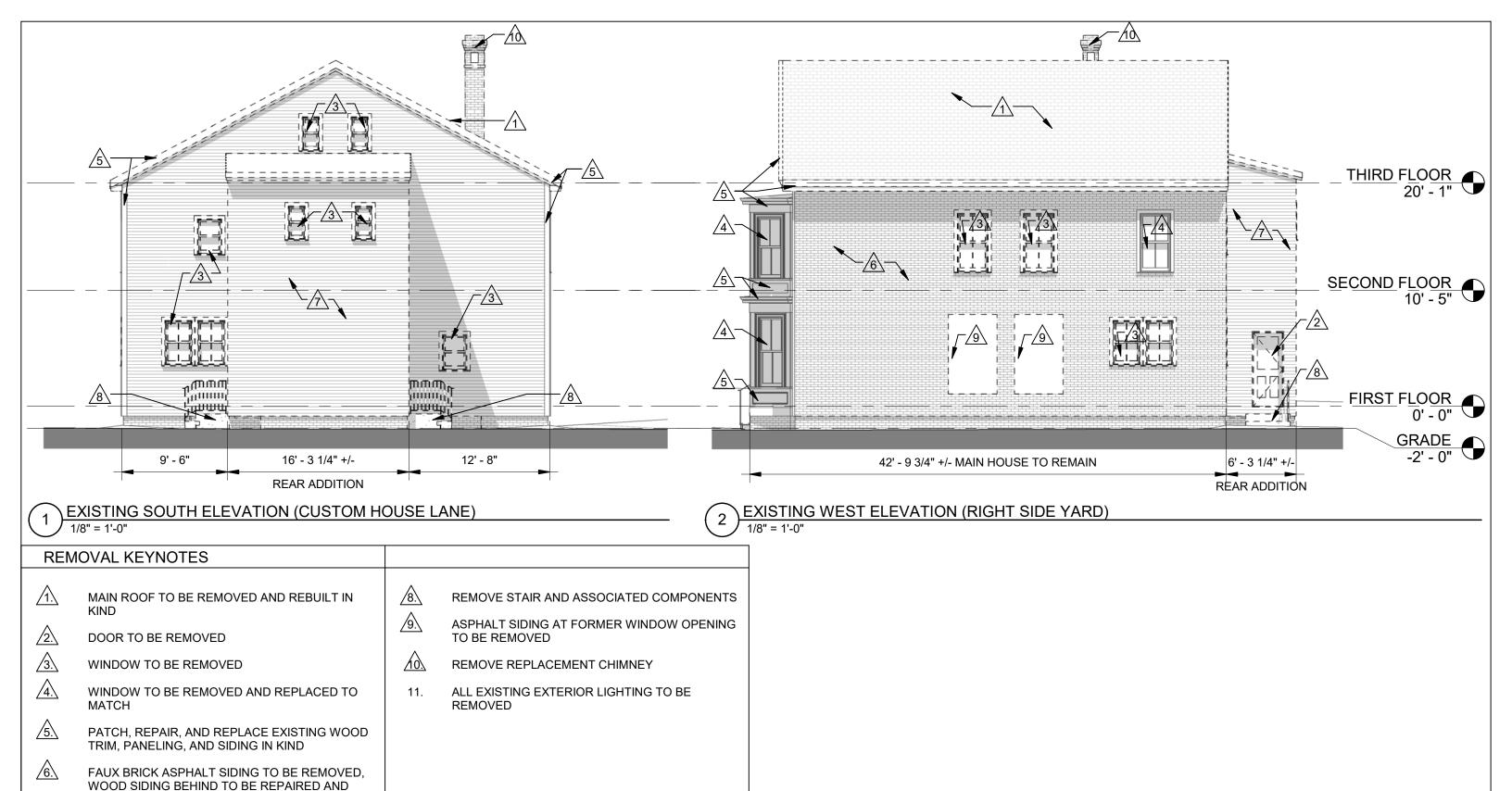
McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

A6

04/06/2022 McHA: RD / MG AS INDICATED



RENOVATIONS & ADDITION

REAR ADDITION TO BE REMOVED, FOUNDATION

REPLACED IN KIND

TO ROOF.

85 DANIEL STREET PORTSMOUTH, NH 03801

EXISTING ELEVATIONS

HISTORIC DISTRICT COMMISSION - WORK SESSION **APRIL 2022**

McHENRY ARCHITECTURE

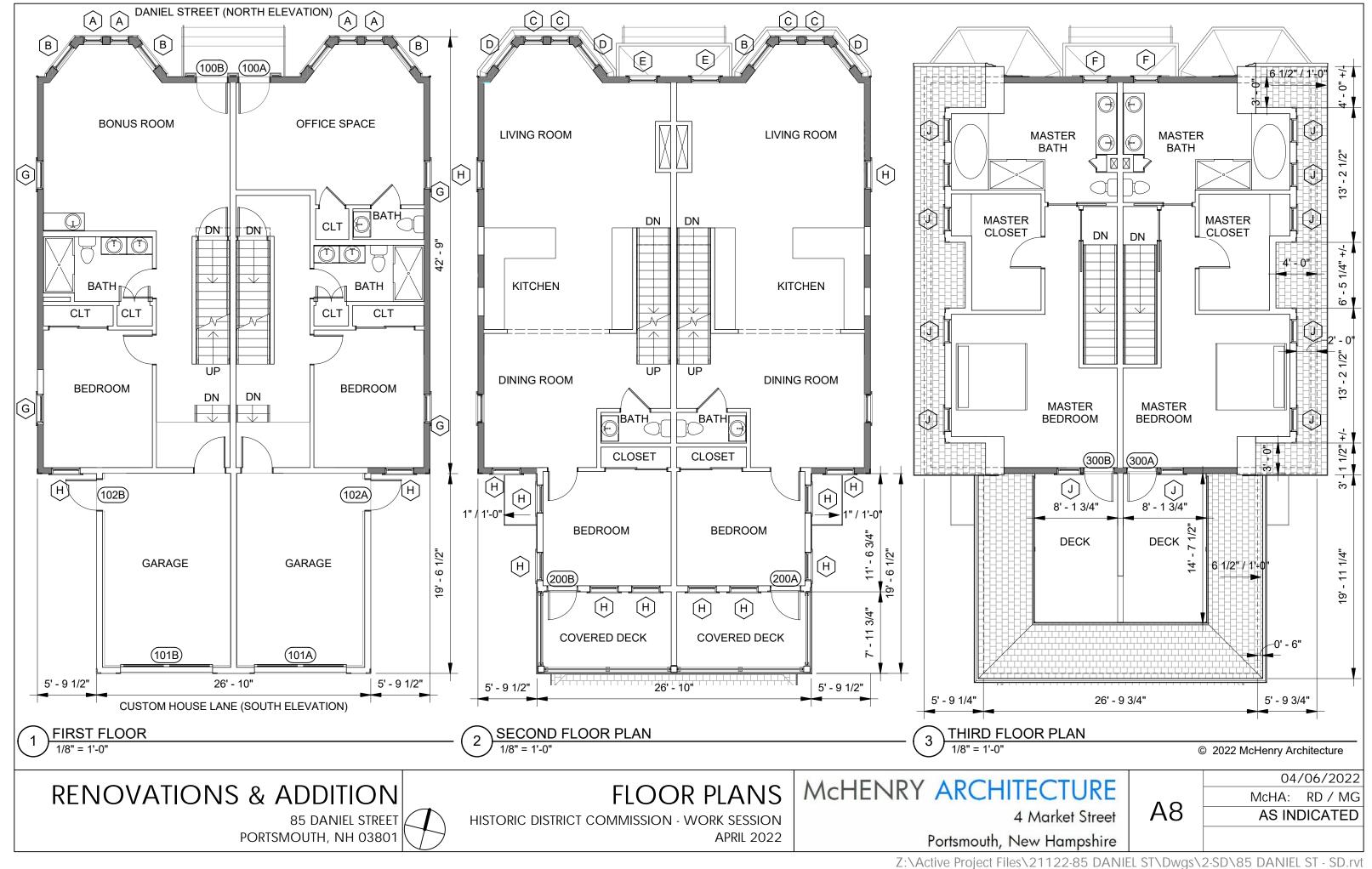
4 Market Street

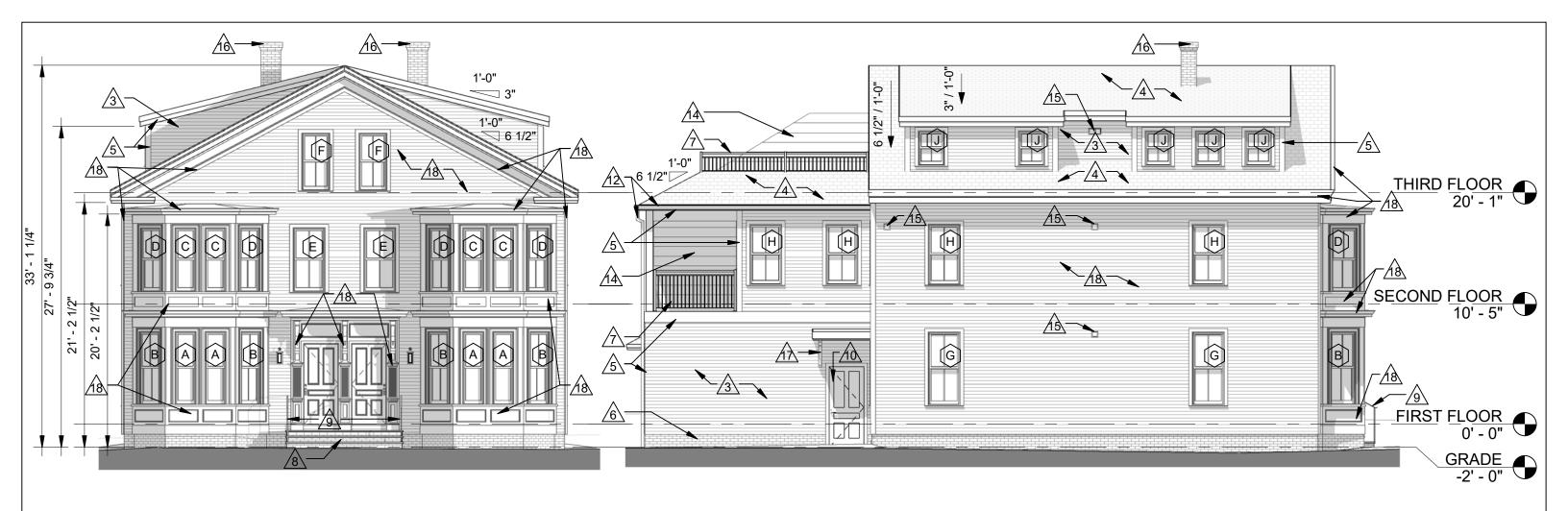
Portsmouth, New Hampshire

04/06/2022 McHA: RD / MG

© 2022 McHenry Architecture

A7 AS INDICATED





NORTH ELEVATION (DANIEL STREET)

1/8" = 1'-0"

2 EAST ELEVATION (LEFT SIDE YARD)

KEYNOTES

- 1. EXISTING WINDOW TO BE REPLACED WITH MARVIN ELEVATE SERIES WINDOW TO MATCH EXISTING, TRIM TO MATCH EXISTING WINDOW TAGS A THROUGH F, REFER TO WINDOW SCHEDULE
- 2. MARVIN ELEVATE SERIES WINDOW WINDOW TAGS G THROUGH J, REFER TO WINDOW SCHEDULE
- 3. WOOD SIDING TO MATCH EXISTING HOUSE
- ARCHITECTURAL SHINGLES
- <u>5.</u> COMPOSITE TRIM
- 6. BRICK VENEER TO MATCH EXISTING BRICK
 - TIMBER TECH IMPRESSION RAIL EXPRESS, REFER TO A18

FRONT

FRONT STOOP: BRICK RISERS AND BASE TO MATCH EXISTING BRICK WITH GRANITE TREADS

9.

EXISTING IRON RAILING TO BE REUSED

10.

ENTRY DOOR, REFER TO DOOR SCHEDULE

11.

OVERHEAD DOOR BY OVERHEAD DOOR COMPANY, REFER TO DOOR SCHEDULE

12

ALUMINUM GUTTER AND DOWNSPOUT AT ADDITION ROOF

13.

DECK DEMISING WALL, REFER TO A18 FOR DESIGN INTENT

MECHANICAL UNIT, LOCATION AND SIZE TBD

15.

EXHAUST VENT, COLOR TO MATCH SIDING

16.

PROPOSED FAUX CHIMNEY TO REPLICATE ORIGINAL CHIMNEY'S ALONG DANIEL STREET. LOCATIONS SHOWN ARE APPROXIMATELY ACCURATE TO ORIGINAL LOCATIONS. TO SERVE AS EXHAUST FOR GAS FIREPLACES WITHIN THE UNITS.

17.

COMPOSITE BRACKET

18.

PATCH, REPAIR, AND REPLACE EXISTING WOOD TRIM, PANELING, AND SIDING IN KIND

© 2022 McHenry Architecture

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

ELEVATIONS

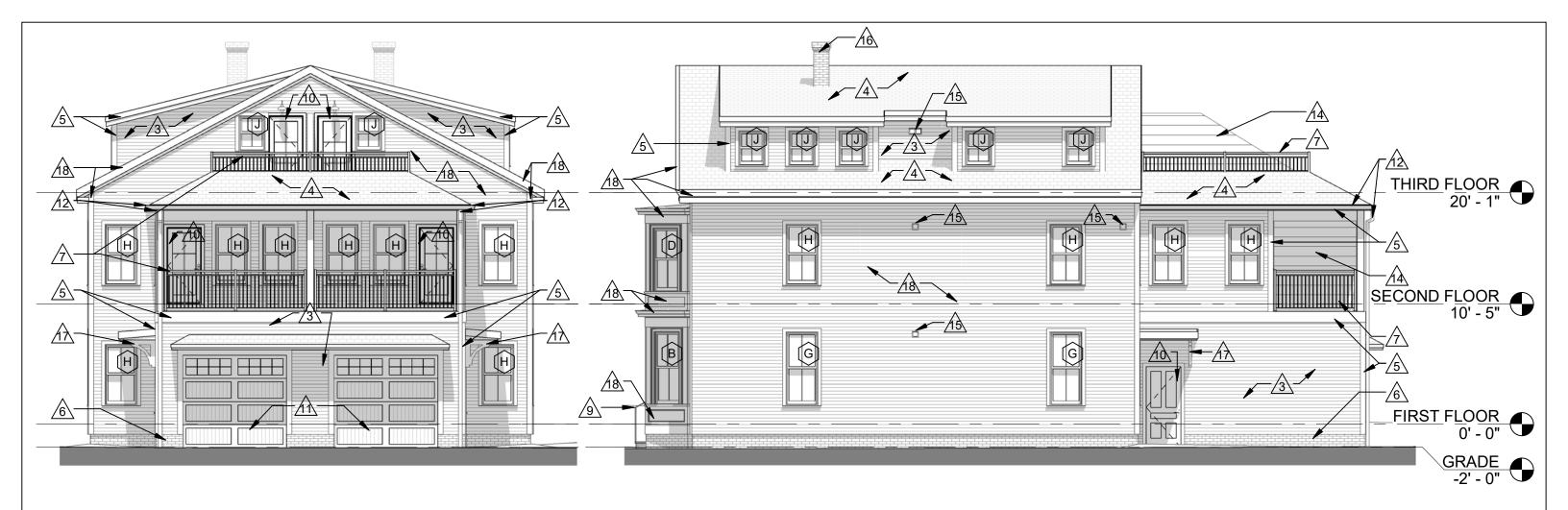
HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

Α9



SOUTH ELEVATION (CUSTOM HOUSE LANE)

WEST ELEVATION (RIGHT SIDE YARD)

KEYNOTES

- 1. EXISTING WINDOW TO BE REPLACED WITH MARVIN ELEVATE SERIES WINDOW TO MATCH EXISTING, TRIM TO MATCH EXISTING WINDOW TAGS A THROUGH F, REFER TO WINDOW SCHEDULE
- 2. MARVIN ELEVATE SERIES WINDOW WINDOW TAGS G THROUGH J, REFER TO WINDOW SCHEDULE
- 3.\ WOOD SIDING TO MATCH EXISTING HOUSE
- ARCHITECTURAL SHINGLES
- 5. COMPOSITE TRIM
- 6. BRICK VENEER TO MATCH EXISTING BRICK
 - TIMBER TECH IMPRESSION RAIL EXPRESS, REFER TO A18

FRONT STOOP: BRICK RISERS AND BASE TO
MATCH EXISTING BRICK WITH GRANITE TREADS

/9.\

- EXISTING IRON RAILING TO BE REUSED
- ENTRY DOOR, REFER TO DOOR SCHEDULE
 - OVERHEAD DOOR BY OVERHEAD DOOR COMPANY, REFER TO DOOR SCHEDULE
- ALUMINUM GUTTER AND DOWNSPOUT AT ADDITION ROOF
- 13. MECHANICAL UNIT, LOCATION AND SIZE TBD
- DECK DEMISING WALL, REFER TO A18 FOR DESIGN INTENT

15.

EXHAUST VENT, COLOR TO MATCH SIDING

PROPOSED FAUX CHIMNEY TO REPLICATE ORIGINAL CHIMNEY'S ALONG DANIEL STREET. LOCATIONS SHOWN ARE APPROXIMATELY ACCURATE TO ORIGINAL LOCATIONS. TO SERVE AS EXHAUST FOR GAS FIREPLACES WITHIN THE

17.

COMPOSITE BRACKET

18.

PATCH, REPAIR, AND REPLACE EXISTING WOOD TRIM, PANELING, AND SIDING IN KIND

© 2022 McHenry Architecture

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

ELEVATIONS

HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

A10



© 2022 McHenry Architecture

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801 VIEW FROM DANIEL STREET

HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022 McHENRY ARCHITECTURE

4 Market Street

A11 Portsmouth, New Hampshire

04/06/2022 McHA: RD / MG NOT TO SCALE



© 2022 McHenry Architecture

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

VIEW FROM DANIEL STREET

HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022 McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

A12

04/06/2022 McHA: RD / MG NOT TO SCALE



RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801 VIEW FROM REAR ALLEY

HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022 McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

04/06/2022 McHA: RD / MG A13 NOT TO SCALE



© 2022 McHenry Architecture

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

VIEW FROM REAR ALLEY

HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022

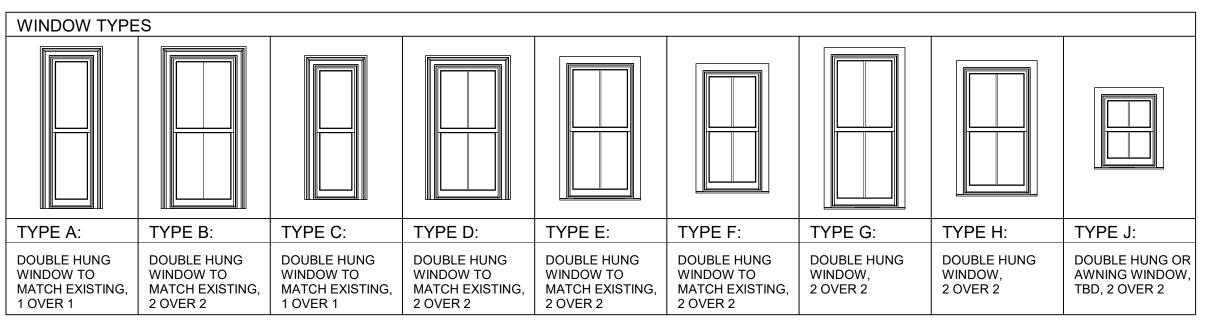
McHENRY ARCHITECTURE

4 Market Street

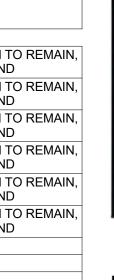
Portsmouth, New Hampshire

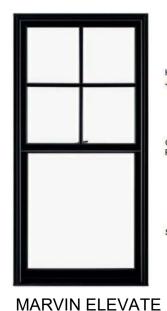
A14

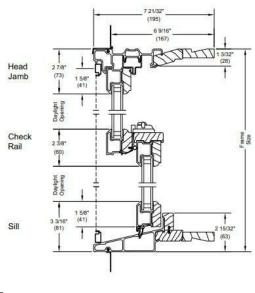
04/06/2022 McHA: RD / MG NOT TO SCALE

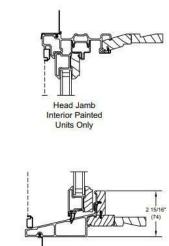


WINDOW SCHEDULE					
Type Mark	Nominal Width	Nominal Height	Sill Height	Comments	
Α	1' - 10 3/4"	6' - 4"	1' - 8 1/2"	VIF - MATCH EXISTING, TRIM TO REMAIN, REPAIR AND REPLACE IN KIND	
В	2' - 10"	6' - 4"	1' - 8 1/2"	VIF - MATCH EXISTING, TRIM TO REMAIN, REPAIR AND REPLACE IN KIND	
С	1' - 10 3/4"	5' - 7"	1' - 0 1/2"	VIF - MATCH EXISTING, TRIM TO REMAIN, REPAIR AND REPLACE IN KIND	
D	2' - 10"	5' - 7"	1' - 0 1/2"	VIF - MATCH EXISTING, TRIM TO REMAIN, REPAIR AND REPLACE IN KIND	
E	2' - 10"	5' - 7"	1' - 0 1/2"	VIF - MATCH EXISTING, TRIM TO REMAIN, REPAIR AND REPLACE IN KIND	
F	2' - 6"	5' - 0"	0' - 2"	VIF - MATCH EXISTING, TRIM TO REMAIN, REPAIR AND REPLACE IN KIND	
G	2' - 10"	6' - 4"	1' - 8"		
Н	2' - 10"	5' - 3"	1' - 8"		
J	2' - 4"	3' - 0"			









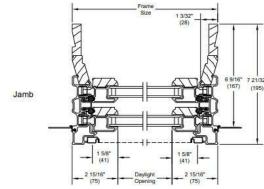


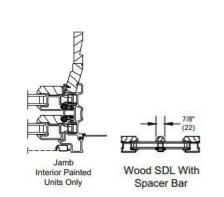
MARVIN ELEVATE APPLIED WINDOW TRIM, COLOR TO MATCH WINDOW (EAST, SOUTH, WEST ELEVATIONS ONLY)

WINDOW NOTES

- ALL REPLACEMENT WINDOWS AND PROPOSED WINDOWS TO BE MARVIN ELEVATE SERIES.
- FRAME AND SASH EXTERIOR: EBONY FINISH (BLACK), PULTRUDED REINFORCED FIBERGLASS (ULTREX®), 0.075" (2MM) THICK
- ALL MUNTINS TO BE SIMULATED DIVIDED LITES WITH SPACER BAR (SDLS). REFER TO WINDOW TYPES AND ELEVATIONS FOR PATTERNS.
- ALL WINDOWS TO BE LOW-E ARGON FILLED.
- PROVIDE HALF INSECT SCREENS AT ALL WINDOWS.
- ALL WINDOWS ON EAST, SOUTH, AND WEST ELEVATIONS TO HAVE MANUFACTURER APPLIED FLAT CASING AND SILL NOSE, COLOR AND MATERIAL TO MATCH WINDOW.







MARVIN ELEVATE WINDOW DETAILS

© 2022 McHenry Architecture

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

WINDOW SCHEDULE

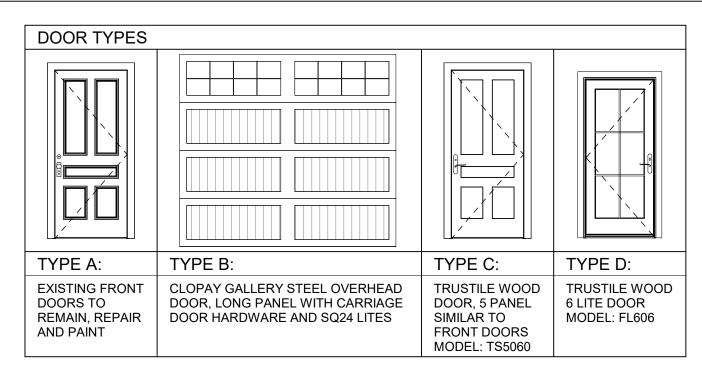
HISTORIC DISTRICT COMMISSION - WORK SESSION **APRIL 2022**

McHENRY ARCHITECTURE

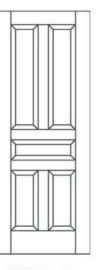
4 Market Street

Portsmouth, New Hampshire

A15



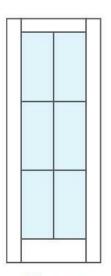
	HISTORIC DISTRICT DOOR SCHEDULE							
	Size		Door					
Mark	Height	Width	Type Mark	Material	Finish	Comments		
100A	7' - 0"	3' - 0"	Α	WOOD	REPAIR & PAINT	EXISTING FRONT DOOR TO REMAIN		
100B	7' - 0"	3' - 0"	Α	WOOD	REPAIR & PAINT	EXISTING FRONT DOOR TO REMAIN		
101A	8' - 0"	9' - 0"	В	STEEL	PAINT			
101B	8' - 0"	9' - 0"	В	STEEL	PAINT			
102A	7' - 0"	3' - 0"	С	WOOD	PAINT			
102B	7' - 0"	3' - 0"	С	WOOD	PAINT			
200A	6' - 8"	3' - 0"	D	WOOD	PAINT			
200B	6' - 8"	3' - 0"	D	WOOD	PAINT			
300A	6' - 8"	3' - 0"	D	WOOD	PAINT			
300B	6' - 8"	3' - 0"	D	WOOD	PAINT			







TYPE C - TS5060: 5 PANEL WOOD DOOR ROMAN OGEE STICKING WITH FLAT PANEL



FL606



Roman Ogee (OG) SDL Glass

TYPE D - FL606: 6 LITE WOOD DOOR ROMAN OGEE STICKING WITH ROMAN OGEE SIMULATED DIVIDED LITE

MARVIN TRUSTILE ENTRY DOORS





LONG PANEL

TYPE B - GALLERY STEEL LONG PANEL WITH CARRIAGE DOOR HARDWARE AND SQ24 LITES

CLOPAY OVERHEAD DOOR

© 2022 McHenry Architecture

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

DOOR SCHEDULE

HISTORIC DISTRICT COMMISSION - WORK SESSION APRIL 2022

McHENRY ARCHITECTURE

Portsmouth, New Hampshire

4 Market Street | A

A16

Bromley Outdo By Hinkley	oor Lantern Wall Sconce	Call Us 877.445.4486	
Bromley Outdoor Lantern Wa By Hinkley	II Sconce		
Product Options			
Finish: Museum Black	k,		
Size: Small,			
Light Option: LED			<u>U</u>
Details			
(triac) incandescent dimm UL Listed Wet Warranty: Limited 2 Year Made In China Dimensions Small Option Backpla	th a Electronic low voltage dimmable or standard nable Dimmer (Not Included) ate: Width 4.75", Height 8.5"		
9.75", Weight 5Lbs	. Madi o , neight zo , pepai	Notes:	
Lighting		Prepared by:	20000387
Small Lamp Type	LED	ricparca by.	Prepared for: Project:
Lamp Type	LED		Room: Placement:
Total Lumens	700.0		Approval:
# of Bulbs	2 (Included)		
# Of Balbs	2 (included)		
Bulb Type	5W CA10 Flame E12		
Volts	120		
Color Temp	2700 (Warm)		
Average Lifespan	15000.00		
CRI	90		

Franklin Iron Works Arnett 10 1/2" High Black Outdoor Wall Light





Product Details

Illuminate a dark outdoor space with this urban barn light from

Additional Info:

A careful balance of rusticity and elegance, this outdoor wall light is the perfect addition to your patio or balcony. In a classic urban barn style with a curving neck, it invokes a charmingly old-fashioned feel. A smooth black finish gives this fixture a clean, almost contemporary touch. Vertical installation only.

FRANKLIN

Shop all Franklin Iron Works

- 12" wide x 10 1/2" high. Extends 14 1/2" from the wall. Backplate is 6 1/4" wide x 3/4" deep. Weighs 2.42 lbs.
- Uses one maximum 100 watt standard-medium base bulb (not included).
- · Barn-style outdoor wall light from the Franklin Iron Works™ brand.
- · Black finish over aluminum construction, Gooseneck arm.
- · Vertical installation only. Distance from mounting point to top of fixture

LT-2: ARNETT 10 1/2" HIGH BLACK OUTDOOR WALL LIGHT - THIRD FLOOR PORCH OR EQUAL

Pop-in 4in LED Round Remodel Recessed **Downlight Multi-Pack** By WAC Lighting

Pop-in 4in LED Round Remodel Recessed Downlight Multi-Pack By WAC Lighting

Product Options Quantity: 12-Pack

Details

Designed in 2019 Finish: Electrostatically Powder Coated White Material: Aluminum Housing Type: IC Remodel Housing Trim Type: Deep Reflector Title 24 compliant **Energy Star Qualified** ETL Listed Wet Warranty: 5 Years Functional, 2 Years Finish



Cut-out: Diameter 4" Fixture: Height 4.6", Diameter 5"

Lighting

99	
Lamp Type	LED Built-in
Total Lumens	1035
Total Watts	12.00
Volts	120 /277 Volt
Color Temp	3000 (Soft White)
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Notes:

Prepared by:

Prepared for Project: Room: Placement: Approval:

LT-3:POP-IN 4IN LED ROUND REMODEL/NEW CONSTRUCTION **RECESSED DOWNLIGHT - OVERHANGS AND CANOPIES** OR EQUAL

© 2022 McHenry Architecture

RENOVATIONS & ADDITION

LT-1: BROMLEY OUTDOOR LANTERN WALL SCONCE - FIRST FLOOR

OR EQUAL

85 DANIEL STREET PORTSMOUTH, NH 03801 LIGHTING CUT SHEETS

HISTORIC DISTRICT COMMISSION - WORK SESSION **APRIL 2022** McHENRY ARCHITECTURE

Portsmouth, New Hampshire

4 Market Street

A17



ASPHALT SHINGLES
CERTAINTEED LANDMARK SERIES OR EQUAL, COLOR TBD





MODERN TOP RAIL ALUMINUM BALUSTERS WITH OPEN MID RAIL 2.25"Wx18"T 3"X3" POST 3"X3" CAP AND SKIRT

REAR RAILING TIMBERTECH IMPRESSIONS RAIL EXPRESS, MODERN TOP RAIL, ALUMINUM BALUSTERS WITH OPEN MID RAIL, 3"X3" POSTS WITH CAP AND SKIRT, BLACK





<u>DECKING MATERIAL</u>
TIMBERTECH AZEK VINTAGE COLLECTION - DARK HICKORY

<u>DECK DEMISING WALL INSPIRATION</u> STAINED WOOD TO MATCH TIMBERTECH DECKING

RENOVATIONS & ADDITION

85 DANIEL STREET PORTSMOUTH, NH 03801

MATERIALS & SELECTIONS

McHENRY ARCHITECTURE HISTORIC DISTRICT COMMISSION - WORK SESSION

APRIL 2022

4 Market Street

Portsmouth, New Hampshire

04/06/2022 McHA: RD / MG

© 2022 McHenry Architecture

NOT TO SCALE

A18