

**MEETING OF
THE HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details)**

6:30 p.m.

April 06, 2022

AGENDA

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. February 02, 2022
2. February 09, 2022
3. March 02, 2022
4. March 09, 2022

II. ADMINISTRATIVE APPROVALS

1. 28 Chapel Street (LUHD-437)
2. 64 Mt. Vernon Street (LUHD-441)
3. 92 Pleasant Street (LUHD-443)
4. 284 New Castle Avenue (LUHD-442)
5. 137 Daniel Street, Unit # D301 (LUHD-439)
6. 35 Bow Street (LUHD-446)
7. 414 State Street, Unit #4 (LUHD-449)
8. 77 Wentworth Street (LUHD-450)
9. 100 Deer Street (LUHD-451)
10. 52 Prospect Street (LUHD-452)

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Donald and Rasa Stone, owners**, for property located at **55 Gates Street**, wherein permission is requested to allow renovations to an existing structure (replace windows, repair or replace siding and trim, repair foundation, replace bulkhead, and remove chimney) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 90 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-43)
2. Petition of **531 Islington Street Portsmouth, LLC**, owner, for property located at **531 Islington Street (Dunkin Donuts)** wherein permission is requested to allow renovations to an existing structure (new signage, siding, and other exterior improvements) as per plans on file in

the Planning department. Said property is shown on Assessor Map 157 as Lot 5 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts. (LU-22-38)

3. Petition of **David and Ellen Kozel, owners**, for property located at **75 Gates Street**, wherein permission is requested to allow renovations to an existing structure (remove cedar shake siding and replace with cedar clapboards and repair or replace the existing trim) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 93 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-29)

4. **REQUEST TO POSTPONE-** Petition of **Nerbonne Family Revocable Trust, owner**, for property located at **189 Gates Street**, wherein permission is requested to allow new construction to an existing structure (construct new addition to existing garage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 6 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-30)

5. Petition of **Cherie A. Holmes and Yvonne P. Goldsberry, owners**, for property located at **45 Richmond Street**, wherein permission is requested to allow the demolition of the existing garage and rear 1-story addition on the existing home, new construction to an existing structure (construct 2-story rear addition, 1-story side addition, and dormer addition), and the construction of a new detached garage and screen-house as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 18 and lies within the Mixed Research Office (MRO) and Historic Districts. (LU-20-249)

6. Petition of **Courtyard Condominium Association, owner**, for property located at **50 Daniel Street**, wherein permission is requested to allow renovations to an existing structure (several exterior modifications) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 17 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts. (LU-22-40)

VI. ADJOURMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_8b1wL5B-Sg6GPr75nmfadQ

**MEETING OF
THE HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details)**

6:30 p.m.

April 13, 2022

AGENDA

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. ADMINISTRATIVE APPROVALS

II. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Market Wharf Condominium Association, owner**, for property located at **33 Deer Street**, wherein permission is requested to allow renovations to an existing property (extend 3rd floor decks, replace balcony railings, lighting and other miscellaneous improvements) as per plan on file in the Planning Department. Said property is shown on Assessor Map 119 as Lot 1B and lies within Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-22-64)

III. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-234)

B. Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LUHD-366)

C. Work Session requested by **One Market Square, LLC, owner** for property located at **1 Congress Street & 0 High Street**, wherein permission is requested to allow renovations to an

existing structure (repair and upgrade building facades along Congress and High Streets) and new construction to an existing structure (replace rear shed additions with new 4-5 story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 14 & 15 and lies within the Character District 4 (CD4), Character District 5 (CD5), Downtown Overlay and Historic Districts. (LUHD-425)

D. **REQUEST TO POSTPONE-** Work Session requested by **445 Marcy Street, LLC**, owner for property located at **445 Marcy Street**, wherein permission is requested to allow the construction of a new single family residence with attached garage as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 3 and lies within the General Residence B (GRB) and Historic Districts. (LUHD-424)

E. Work Session requested by **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow renovations and new construction to an existing structure (removal of shutters, addition of dormers, and roof and siding changes) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-414)

F. **REQUEST TO POSTPONE-** Work Session requested by **Working Stiff Properties, LLC**, owner for property located at **92 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (replace windows and storm windows, construct an iron balcony and replace two windows with balcony doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 76 and lies within the Character District 4 (CD4), Downtown Overlay and Historic Districts. (LUHD-422)

IV. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **ELG, LLC, owner**, for property located at **85 Daniel Street**, wherein permission is requested to allow new construction to an existing structure (remove and replace rear addition and remove and replace roof with new dormers) and renovations to an existing structure (replace windows, siding, trim, and front stoop) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 8 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-445)

V. ADJOURNMENT

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https://us06web.zoom.us/webinar/register/WN_OOuIaiwkQcOLLYTYyct6yQ

**MINUTES
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

February 02, 2022

MEMBERS PRESENT: Chairman Jon Wyckoff; Vice-Chair Reagan Ruedig; City Council Representative Rich Blalock; Members Margot Doering, Martin Ryan, David Adams, and Dan Brown; Alternates Heinz Sauk-Schubert and Karen Bouffard

MEMBERS EXCUSED: None

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

.....
Chairman Wyckoff and Vice-Chair Ruedig attended the meeting via Zoom, and Ms. Doering was made Interim Chair.

I. APPROVAL OF MINUTES

1. January 05, 2022

The minutes were approved as amended.

Vice-Chair Ruedig recused her from Administrative Approval Item 2, 160 Court Street, so it was removed from the list for separate review and vote.

*It was moved, seconded, and **passed** unanimously (7-0) to postpone Old Business Work Session A, 1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue.*

II. ADMINISTRATIVE APPROVALS

Note: Administrative Item #2 was pulled from the rest of the items and reviewed separately.

1. 500 Market Street, Unit 7 (LUHD-420)

The request was to remove an exhaust vent and add two louvers in a different location, with the louvers painted to match the siding.

2. 160 Court Street (LUHD-421)

Vice-Chair Ruedig was recused. The request was to omit the previously-approved PVC lattice from the staircase and replace it with landscaping.

*Mr. Ryan moved to approve the item, and Chairman Wyckoff seconded. The motion **passed** unanimously, 7-0.*

3. 475 Marcy Street (LUHD-430)

The request was to add another vent on the side wall of the building.

***Stipulation:** the vent shall be painted the color of the siding.*

4. 40 Bridge Street, Unit 101 (LUHD-429)

The request was to relocate the back louvers and install lighting associated with the future business sign.

5. 145 Maplewood Avenue (LUHD-431)

Mr. Cracknell said the applicant wanted to shrink the roof deck that was previously approved in half and install a firepit and some bollard lighting.

***Stipulation:** All lighting shall be dark-sky compliant.*

*Mr. Ryan moved to approve Items 1, 3, 4, and 5, with stipulations on Items 3 and 5. Mr. Adams seconded. The motion **passed** unanimously, 7-0.*

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Steven P. & Cathy Ann Henson**, owners for property located at **0 Maplewood Avenue**, wherein permission was requested to allow the construction of a new single-family home with attached garage on a vacant lot as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 3 and lies within the General Residence A (GRA) and Historic Districts. (LU-22-4)

SPEAKING TO THE PETITION

Project architect Michael Keane was present, along with the owner Steven Henson and the developer Mike Brown. Mr. Keane reviewed several changes, including realigning the front elevation windows, sliding the entrance to the left, and using an alternate hip roof design over the front door. Mr. Cracknell noted that the alternate design would meet code.

Ms. Bouffard verified that the material for the front steps would be granite. Chairman Wyckoff said he appreciated the gutters, brick veneer, and the hip roof over the front door. Mr. Ryan said the front steps looked like a concrete block and asked if the landing was one large slab. Mr. Keane said it would be granite walls with a granite slab across the top. Mr. Ryan said there was no rendering for a rail, and Mr. Keane said there was a photo of a similar railing. Mr. Ryan said painting the downspout as it transitioned down to the brick looked odd. Vice-Chair Ruedig commented that the downspouts on her house were painted different colors and looked fine. City

Council Representative Blalock said he had painted several houses in the District and had matched the vent or downspout to the different material colors. Mr. Adams said the massing and fenestration were great but wished the Commission had steered the applicant into doing a Federal building instead of a Greek Revival one to better match the surroundings.

Interim Chair Doering asked that the applicant return with more detail on the wrought-iron railing and also suggested that the front door be solid wood. Vice-Chair Ruedig agreed that the front door should be wood. She asked what the material was for the sidelights and transom. Mr. Keane said it was fiberglass to match the door. Vice-Chair Ruedig said it was all right up against the street and would be very visible, so she'd prefer to see it all done in wood.

Interim Chair Doering opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Interim Chair closed the public hearing.

DECISION OF THE COMMISSION

*Chairman Wyckoff moved to **grant** the Certificate of Approval for the petition as presented, with the following stipulation:*

- 1. The railing system for the front door shall return for approval as an administrative approval item.*

Mr. Adams seconded.

Mr. Adams said the building design maintained the special character of the District and complimented and enhanced the architectural value of the neighborhood.

2. Petition of **National Society of Colonial Dames, owner**, for property located at **0 Market Street (The Oar House)**, wherein permission is requested to allow the replacement of roof top mechanical equipment (restaurant kitchen vents) and renovations to an existing structure (replace the existing rubber roof membrane) as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 5 and lies within the Character District 4 (CD4), Downtown Overlay, Civic and Historic Districts. (LU-22-3)

SPEAKING TO THE PETITION

Project architect Carla Goodnight and project contractor David Calkins were present to speak to the petition. Ms. Goodnight said they wanted to replace the outdated kitchen equipment on the roof of the Oar House Restaurant with more state-of-the-art equipment. She said the rubber roof membrane, current roof equipment, and a side vent would be removed and she showed a diagram of the two proposed replacement pieces of equipment.

Vice-Chair Ruedig said the fence didn't seem adequate enough to screen the equipment. Chairman Wyckoff noted that the fence appeared to be bowing and that it wouldn't be high

enough to prevent people walking by from seeing the units. He also noted that the Colonial Dames didn't want any screening above 45 inches. Ms. Goodnight said her client stipulated that there be no authorization to proceed with replacing or renovating the existing fence on Market Street; she said the roof repairs could be done without impacting the fenced area. Mr. Ryan said the existing fence was an eyesore and was across from one of the most historic pieces of architecture in the city and thought the client's stipulation was mind-boggling.

In response to Ms. Bouffard's questions, Ms. Goodnight said the locations of the two new vents would be in the same location and similar in size, but different shapes. Chairman Wyckoff said the structural element that elevated the roof fans was on a curb. He agreed with Mr. Ryan that the fence needed to be replaced, noting that it would have to be taken off anyway because the roof rafters might be larger and might interfere with the curb. Vice-Chair Ruedig suggested stipulating that the fence be replaced in kind or in an appropriate design that could come back for approval. Interim Chair Doering said the screening should be on two sides, seeing that the building was very prominent, public, and large. Mr. Adams asked how the brickwork would be affected when removing the vent on the side. Ms. Goodnight said it would be replaced with waterstruck brick and coursed in. She said the other appliances on the rear corner would stay other than the pieces that were called out, which would be re-installed. She said the new roof would allow the new units to be at the height of the fence.

Mr. Ryan said he couldn't support the application as presented because it didn't address the main concerns of screening, and he suggested that it be continued.

Interim Chair Doering opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Chris Hawkins said he was the person who wrote the letter from the attorneys and that it was important for the Colonial Dames to maintain the view from the Moffett House to the water. He said he would speak to the applicant about the screening issue.

No one else was present to speak, and Interim Chair Doering closed the public hearing.

Chairman Wyckoff agreed with Interim Chair Doering that running the fence or railing down the side of the building was important and that the Commission could request that the fence not be any higher in the front.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed unanimously (7-0) to **continue** the petition to the February 9 meeting.*

IV. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow modifications to a previously approved plan (revisions

to the storefront design) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LU-20-214)

SPEAKING TO THE PETITION

Project contractor and former owner Steve Wilson representing the new owner was present and reviewed the changes, which included the installation of two 42" doors, enlarging the door space by a foot, and having 7-ft wide panels instead of 8-ft wide ones to keep the muntins and window frames the same.

Vice-Chair Ruedig said she couldn't support it because it further changed the feel and design of the original storefront. Chairman Wyckoff said he thought it looked much better because it was more evenly balanced.

Interim Chair Doering opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Interim Chair Doering closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, and Mr. Adams seconded.*

Mr. Ryan said the project would maintain the special character of the District and would be consistent with the special and defining character of surrounding properties.

*The motion **passed** by a vote of 6-1, with Vice-Chair Ruedig voting in opposition.*

V. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE-** Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-234)

DECISION OF THE COMMISSION

*It was moved, seconded, and **passed** unanimously (7-0) to **postpone** the petition.*

B. Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the

construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LUHD-366)

WORK SESSION

Project architect Brooks Slocum and his project team were present on behalf of the applicant. Mr. Slocum said they tried to break up the massing of the building and tie in the historic and modern surroundings. He pointed out that the Maplewood Avenue façade would have the strongest feel because it created the corner of Maplewood Avenue and Deer Street. He said the residential building was unique because it reached out to the train tracks and the park. He said all the drive areas would be pedestrian friendly and the garage screening could have plantings. He said one end of the development looked like New York City's Flatiron Building and was modern but would feel like it was part of an older building by the way it was cladded.

Ms. Bouffard said she liked the direction the project was going in and thought it was great how the Flatiron section shared the same elements with the Maplewood Avenue side. Chairman Wyckoff agreed and said he liked the modern, industrial iron look to it. He said the lot was a difficult one and that the Commission had seen many development iterations in that location. He said he liked the feeling of the use of the bays within the building's columns. He suggested that the applicant not use the two-story base all the time on the condominium building but instead have four stories of bay, and that the angled portion of the building be given an A, B, or C rhythm because of its central location. He said the cornice on it could be exaggerated to give the building more importance and that the end of the roof of the Flatiron building could use a proud flagpole. Mr. Sauk-Schubert commended the architect's design strategy of presenting the massing first. Mr. Ryan agreed. He said he liked the fact that the applicant did a study of Market Square and got the richness and scale of the environment, but he didn't like the inauthentic quality of what was proposed. He said it was shown as a little village of buildings when it was really only three buildings and that it had the quality of separate buildings built over time when it really wasn't. It was further discussed. Chairman Wyckoff said he didn't agree. City Council Representative Blalock said he understood Mr. Ryan's point but thought the proposed design was better than one long building of the same design. He said the Commission wanted to preserve the history they had but didn't need to make new buildings look like ones from the 1800s. Mr. Adams said he didn't mind breaking up the pieces because it provided a comfortable setting for the historic buildings, but he wanted it done with a sensitivity to the materials around it. He said he was pleased with the facets of the buildings but thought the glazing was overdone, especially on the Russell Street elevation and the oval end, and that there wasn't another building in town that had that kind of articulation. It was further discussed.

Vice-Chair Ruedig said she agreed that the whole process had been wonderful and thought there was a happy medium to be reached. She said she was very concerned about phony facades but thought the applicant was working on changing each section of the building. She said she also shared Mr. Adams' concerns about the glazing and the fact that there wasn't as much glazing on the other historic buildings in town. She said she liked the stacked bay windows and suggested that they be continued but also tempered with a bit more brick to match other historic buildings.

She said the side of the building that faced the railroad tracks was well done and had less of a back-of-the-building look. She thought the office building was the most successful one because it was its own building and had a contemporary flair to it but appropriate massing.

Mr. Brown said he liked the way the two buildings were booked in but thought the problem was the middle building because it faced most of the old town. He said it could be done up nicely to reflect Portsmouth's history. Mr. Sauk-Schubert said he wished the cornice was more pronounced and detailed and thought everything was flat. He suggested introducing a mansard roof in some sections, and it was further discussed.

Interim Chair Doering said she thought the center set of buildings was the biggest challenge and was concerned about the flat top roofs. She said it kept the buildings from being faux modern but didn't fit well with the historic small buildings across the street. She said she'd be interested in seeing more play with the textures on the roof. She thought the end buildings were more successful in terms of having their own voice. She said she was also concerned with the amount of glazing on the office building but liked the twisted top. She thought the Flatiron building read locomotive out of the 1920s and was appropriately right next door to a railroad track. She said the biggest risk the center building ran was that it would be viewed as another box made of brick with white trim windows, and she encouraged the applicant to work on it more. Chairman Wyckoff said he liked the bays on the condo building and thought the bays could give the applicant the chance to change the middle building, noting that it had the largest presence on the sidewalk. He said it could possibly be made into two buildings, which would help with the curb.

Interim Chair Doering opened the public comment session.

Public Comment

Elizabeth Bratter of 159 McDonough Street said she submitted a letter with suggestions. She said the Flatiron portion was overwhelming and could be toned down, and the middle building could be tied in better by placing the bays randomly on different areas and using light balconies as accents to break it up a bit. She said if the buildings were moved forward, a small greenspace could be created to allow some color. She said sash windows could be placed on the office building to break up the glazing and thought the pedestrian walkway needed more greenery.

No one else rose to speak, and Interim Chair Doering closed the public comment.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed unanimously (7-0) to **continue** to work session to the March 2 meeting.*

C. Work Session requested by **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow renovations and new construction to an existing structure (removal of shutters, addition of dormers, and roof and siding changes) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-414)

WORK SESSION

Developer Shayne Forsley, owner Bill Doyle, and contractor Steve Wilson were present on behalf of the applicant. Mr. Forsley reviewed the petition and said they wanted to remove the shutters and decorative moldings to bring the building back to its original form. He said they proposed new windows and dormers, a shed dormer on the rear, and two gabled dormers facing State Street. He said they wanted to replace the existing asphalt singles with synthetic slate and reconfigure the State Street façade entry points and the pedestrian entry points. He proposed replacing the siding on the rear building with clapboard or composite siding. He said lights were added above the second-floor balcony as well. He said the goal was to utilize the upper floor space for a loft, which would be a work area for the owner.

Mr. Brown asked if there were any older photos before 1998. Mr. Forsley said the few that they found were very spotty. Chairman Wyckoff said it was proven to the Commission previously that the window heads were original elements on the building and that he preferred that they or their replication remain. He also said he was shocked by the overall number of changes presented, and it was further discussed. Mr. Adams said there didn't appear to be any stone sills or headers to the windows, which was uncommon. He said the existing elements could be placeholders for an artifact and suggested that they be tightened up a bit because it would affect the window size. Vice-Chair Ruedig said she didn't think the proposed door surround would be appropriate and was concerned about the major changes being done on the back. She said she wasn't clear about what exactly was being added because she didn't see any drawings or plans showing before and after. It was further discussed.

Mr. Ryan said there were a lot of major changes and asked if there was evidence that there were dormers in the brick section. Mr. Doyle said the intent was to turn the house into a modern one so that his family could live in it. He said he did some research at the Athenaeum and found no great references to the front and back of the building. He said the reason for switching the garage was to install a kitchen overlooking the pocket garden and that he wanted to turn the large attic into an office. Mr. Ryan said the owner was proposing that a lot of elements be stripped off. Mr. Adams noted that the garage portion on the back of the building was being expanded to make it wider, and it was further discussed. Vice-Chair Ruedig said the portion that stuck out perpendicular with the balcony was built ten years ago, so that was new construction, and if it was all new construction, the applicant would have more leverage to fix or change things as long as the outside was still appropriate and the historic fabric was kept.

Interim Chair Doering said she could support the modern back section and the shed dormer on the brick building but couldn't support the two dormers on the front. She said the roofs were still intact and that she hoped the applicant could accomplish what he wanted with what was between the shed dormer in the back and some of the small windows at the peak. Vice-Chair Ruedig said it would be helpful to have more historic information on the windows. She said she wasn't sure about the addition of the granite because she saw no evidence that granite was taken out at some point. Mr. Wilson said it was likely that there was just brick around those windows and wondered if the granite was an essential component. Mr. Doyle said he would try to find another source of information as to what the house used to look like.

Mr. Adams suggested having a site walk before the next work session and asked that the applicant do more exploratory work before then so that the Commission could see more. Mr. Doyle asked whether skylights or some other lighting system could replace the front dormers if they didn't work out, and it was further discussed.

There was no public comment.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed unanimously (7-0) to **continue** the work session to the March 2 meeting.*

D. Work Session requested by **Mill Pond View, LLC, owner**, for property located at **179 Pleasant Street**, wherein permission is requested to allow changes to a previously approved design (changes to the sunroom and roof design) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 15 and lies within the Mixed Research Office (MRO) and Historic Districts. (LUHD-416)

WORK SESSION

Architects Carla Goodnight and Jake Weider were present, as well as the project contractor David Calkins. Ms. Goodnight said she wanted the Commission's feedback on the plans for the mansion, annex, and porch enclosure. She said their structural engineer uncovered that the brick and stone foundation was in poor condition and some wall areas were leaning out, and the crawlspace foundations would need repair. She said there were problems with the framing and floor loads and that the roof needed significant work or replacement. She noted that the annex was added in the mid-19th century as part of the renovation of the 1780s mansion, and that the biggest design concern was how to tie in the cornice of the main house with the Greek revival cornice of the annex.

Mr. Calkins said the intent for the exterior of the mansion was to strip the paint off the chimneys, restore them back to natural brick, and repoint and replace the mortar in kind. He said they were in discussions with a company called Sponge-Jet that did sandblasting with foam and that they were able to sandblast delicate surfaces, which would get the paint off the chimney and perhaps all the siding and trim on the main house. He said the roof had numerous leaks and that they wanted to remove all the slate as well as the gutters. He proposed half-round copper gutters with 3" downspouts. He said the owner wanted to keep the shutters, so they would all be removed and repaired in kind or with Spanish cedar. He said all the windows would be restored. He said they wanted to remove the bottom 18 inches of siding and sheathing around the mansion to access the beam because it showed signs of rot and that it would be flashed and put back in kind. He said the bay window would be removed and replaced with something more stable, and the basement windows would be replaced with wooden ones. He said the three dormers on the front façade of the house would remain, but the siding and trim would be stripped and replaced in kind where needed. He said the mansion windows could be replicated and that they wanted to strip the main portico down and replace it with a new copper roof. He said the pilasters and columns had ionic capitals and that the columns had a square base, which he wanted to remove and replace with a synthetic ionic base. He said the north elevation had a lot of leaks, so he wanted to remove all the

siding. He said the biggest concern was the chimney mass and the bow in the wall, so he wanted to expose that side to framing and replace it in kind.

Ms. Bouffard asked whether the roof slate could be reused. Mr. Calkins said it depended on how thick the slate was. He said they looked at some synthetic products but didn't like the samples they had. Mr. Ryan said the slates would probably not be salvageable and he asked if an inch of insulation would be put in. Mr. Calkins said they would have a 6.9 performance value but would run the risk of a weird detail. Mr. Ryan said it would end up wider at the eave, and it was further discussed. Mr. Ryan said he had seen the effect of the Sponge-Jet and that it tore up the wood. Mr. Calkins said the prime place to do a sample was the north side, and if the wood was ripped apart, they would stop. Mr. Adams said the PVC column base would last longer than the previous material and wouldn't be noticeable with a few coats of paint. Interim Chair Doering said she would support it because it was so far back from the road.

Ms. Goodnight said they intended to follow the recommendations of their engineer and historian as well as the other people who had walked through the property by preserving historically-significant details. She said the trim would be removed and restored and the original window and door would be treated with the same process as described previously. She said the framing and bulkhead would be removed and the chimney would be demolished. She said the new frame would have historic trim, windows, shutters, window casing, and all the details, and the siding would be replaced in kind. She said the back bay window wasn't contributing so it would be removed and restored, and the two dormers on the mansion would be replaced in kind. Other proposals included restoring the bay window on the back and replacing the two dormers on the mansion in kind, aligning eaves, keeping the mansion's porch, and adding a single-story addition in place of an angled bay on the east elevation.

Mr. Calkins said they'd like to take the back annex down but would salvage historic aspects and reincorporate them into the new annex, which would be the same footprint as the original annex. They would keep the rear ell foundation and remove some of the crawlspace and replace it with a new foundation wall. He said the portico would be left in place while construction was done. He said the height of the annex would be 32 inches higher so that the soffits aligned.

Interim Chair Doering asked if the Commission felt that taking down the annex structure would destroy a contributing historic structure. Chairman Wyckoff said rebuilding it would be difficult but could be done, depending on whether there was a level floor that continued into the mansion. He said the roof on the other side of the annex interfered with an important window at the top of the stairs but didn't know if that was reason enough to tear the annex down. He said aligning the soffits on the southwest elevation would be awkward, and he thought the chimney should be put back in. Mr. Ryan said he fully supported the annex. Mr. Adams said tearing it down and rebuilding it made sense, but he couldn't accept the eave lines of the dependency lining up with the eave line of the mansion and the loss of the chimney. Vice-Chair Ruedig said the new annex would look new and the patina of age would be lost, but she was impressed with the effort put into the reconstruction. She said she understood the concerns about losing what was now the misalignment of the eaves because it looked like a dependency and less subservient to the original house, but she didn't know how noticeable or important it would be. She said she could support it because of the effort to save and reuse all the important pieces and building it exactly

the way it was now, but she was concerned about the chimney due to the important cookstove in the interior and the language of what was going on in that ell.

Ms. Goodnight said the first floor was built on the dirt and would have to come out, and a new foundation would have to be installed and the floor reframed. She said the same would be done to the second floor. She said the walls and roof were also not compliant and the roof would have to be reframed from the inside. She said the people who put up the annex and slammed the roofline to the top sash of the window were not the best craftsmen, and she asked whether the poorly-constructed design should be preserved just because it was badly done a long time ago instead of badly done recently. Interim Chair Doering said the Commission understood that but there were concerns about what was proposed to be rebuilt as well as the loss of the chimney. She said the lining up of the cornice and the ridge was creating a building that was no longer an annex or addition or subservient to the mansion and now read as something just as big and important as the mansion. She said the size of the dormers also made the new annex look like it was much bigger than the mansion. She asked if there was another way to align the cornice and make the annex look like one by bringing the ridge down. She suggested more development of different angles and drawings. Ms. Goodnight said they were careful to keep the more diminutive window sizes that were smaller than the mansion. She said the dental molding was different and subservient to the main house, so the windows and trim were less predominant and the ridge was lower. She said it was also set back on the sides coming in, so the only change was the 30-inch rise. She said it was unacceptable to have that eave just ramming into the window sash. Chairman Wyckoff said the eaves of the annex could be extended a bit so that the soffit and fascia board were dropped down. Mr. Ryan said the smaller windows and less formal quality were what made the annex subservient to the mansion, and it was further discussed.

There was no public comment. Interim Chair Doering closed the work session. She summarized that there was full support from the Commission for the direction the mansion was heading in, as well as the need to build a new annex but to keep the historic details. She said other concerns were the chimney due to the historic value of what was under it internally and how it fit into the history of the annex itself, and whether the annex could be seen from the street.

DECISION OF THE COMMISSION

Ms. Goodnight said they would return for a public hearing.

VI. ADJOURNMENT

The meeting was adjourned at 10:40 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MINUTES
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

February 09, 2022

MEMBERS PRESENT: Chairman Jon Wyckoff; Vice-Chair Reagan Ruedig; City Council Representative Rich Blalock; Members Margot Doering, Martin Ryan, David Adams, and Dan Brown; Alternates Heinz Sauk-Schubert and Karen Bouffard

MEMBERS EXCUSED: None

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

.....
Chairman Wyckoff and Vice-Chair Ruedig attended the meeting via Zoom, and Ms. Doering was named Interim Chair.

I. ADMINISTRATIVE APPROVALS

- 1. 500 Market Street, Unit 12L (LUHD-426)**
- 2. 500 Market Street, Unit 6L (LUHD-427)**
- 3. 500 Market Street, Unit 7 (LUHD-428)**

The items above were grouped. The request was to replace five windows and a door on Item 1, Unit 12L; replace five windows on Item 2, Unit 6L; and to replace the patio doors on Item 3, Unit 7. Mr. Cracknell noted that the windows being replaced were fairly new.

***Stipulation:** the windows on Items 1 and 2 shall have half screens.*

- 4. 75 Gates Street (LUHD-432)**

The request was to replace the existing fiberglass side door with a wooden Craftsman door.

*Mr. Ryan moved to **approve** all four items, along with the stipulation on Items 1 and 2. Mr. Brown seconded. The motion **passed** by unanimous vote, 7-0.*

II. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **National Society of Colonial Dames**, owner for property located at **0 Market Street (The Oar House)**, wherein permission was requested to allow the replacement of roof top mechanical equipment (restaurant kitchen vents) and renovations to an existing structure (replace the existing rubber roof membrane) as per plans on file in the Planning Department. Said

property is shown on Assessor Map 118 as Lot 5 and lies within the Character District 4 (CD4), Downtown Overlay, Civic and Historic Districts. (LU-22-3)

SPEAKING TO THE PETITION

Project architect David Calkins was present on behalf of the applicant to review the petition. He said there were revisions made from the previous work session because six vents that were no longer in service were discovered in addition to the two original roof-mounted hoods they wanted to remove and replace. He said all eight vents would be removed and the two hoods would be replaced. He reviewed the dimensions of the new vents and said they would be screened and that the views of the Colonial Dames would be preserved.

In response to questions from the Commission, Mr. Calkins said one of the mechanicals running along the wall would be replaced with waterstruck brick and the side vent would be removed. Chairman Wyckoff said he had no problem with the application. Vice-Chair Ruedig said she preferred a more appropriate fence style but thought it was fine. City Council Representative Blalock verified that the new unit would be 10 feet from the Ceres Street side and the fence would be 18 feet going from Market Street down. Mr. Calkins agreed and said it was important to protect the water views as well as the view of the Moffett Ladd House from the water. Mr. Ryan said the fence configuration was inappropriate for the District because it looked more like a pressure-treated deck found in a typical suburban neighborhood. He suggested that the applicant return for an administrative approval with a more traditional fence. He said the 18-ft side screening would be fine with an appropriate fence. He suggested using a finished coping when replacing the membrane roofing. Mr. Calkins said the fence on that particular side would plain with the roof to prevent it from impacting views.

Interim Chair Doering said the unit was moving much closer to Ceres Street and she was concerned that the fence wouldn't hide the unit to someone walking past the garden. She said she couldn't see how a fence going toward the water would block a view. She noted that other applicants were encouraged to screen their mechanicals very well, and those mechanicals were much smaller condensers. She said that looking across the garden and seeing a huge fan as a result of not bringing the fence down any further than 18 feet didn't make sense to her. Mr. Adams said the modern nature of the proposed replacement fence seemed separated from Portsmouth's historic past and thought it was inappropriate for disguising the roof vents. He asked whether the solid fence on the Moffett Ladd House's side lot would be more appropriate.

Interim Chair Doering asked whether the applicant was required to change the style of something they were replacing that currently existed if the Commission asked them to, or if they were allowed to keep it if replacing in kind. Mr. Cracknell said it wasn't a replacement in kind because the fence would be longer and would turn. He said he would have a hard time signing off on replacing in kind, given the nature of the application. He said the Commission had to decide what type of screen worked best with how tall it was. Mr. Calkins said the 18-ft piece was very deliberate. He said the other vantage point would be coming down Ceres Street and having a solid fence out to the roof edge of the Oar House visually protruding out, so they thought it would be appropriate to step that back.

Interim Chair Doering said the fencing designs could be presented in more detail and with better sketches and return as an administrative approval item. She asked the applicant to bring back renderings showing different views of the 18-ft fence brought far enough down but no more than 10 feet from the edge. Chairman Wyckoff said that someone in the garden might see lots of things on the roof, including the compressors on the side of the toy store. He said he was fine with the 18-ft fence and that he disagreed with Mr. Cracknell because the applicant was replacing in kind a wooden fence with wood.

Interim Chair Doering opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

A Colonial Dames representative (name not given) said he felt there had been a level of miscommunication with the applicant that created issues for the Colonial Dames. He said the Dames previously met to discuss the 55 Ceres Street fence and noted some issues with the drawing but didn't know that there would be another presentation that day. He said the Dames had not authorized the addition of any new fencing, yet now there were new drawings and they would have to review them. He said it would be helpful if they could get notice of the public hearing within a few days instead of a few hours. He said the Dames would work with 55 Ceres Street to come to a reasonable resolution but thought it was distressing to hear decisions being made about the Colonial Dames' views and what they thought of it.

No one else was present to speak, and Interim Chair Doering closed the public hearing.

Mr. Ryan said the fence wasn't a replacement in kind because the units were larger and had to be properly screened, and just replacing the fence the way it was now wasn't a proper screening and wasn't appropriate for the District. He said the applicant would have to return with another proposal for the screening. Mr. Calkins said he would redesign the fence and would work with the Colonial Dames and return with a new proposal for the fencing within 90 days.

DECISION OF THE COMMISSION

*Chairman Wyckoff moved to **approve** the replacement of the mechanicals and the work on the membrane roof including the coping along the side of the roof, with the following **stipulation**:*

- 1. That another public hearing be held for the design of the fence and that it have an appropriate historic style.*

The motion was seconded by Mr. Brown. Chairman Wyckoff said the project would fit in with the District and would be conducive with surrounding buildings.

*The motion **passed** by unanimous vote, 7-0.*

III. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **City of Portsmouth, owner**, for property located at **Marcy Street (Prescott Park)** wherein permission is requested to allow exterior construction to an

existing structure (elevate, remove additions, and re-locate the Shaw warehouse on-site) as per plans on file in the Planning Department. Said property is shown on Assessor Map 104 as Lot 5 and lies within the Municipal (M) and Historic Districts. (LUHD-423)

City of Portsmouth Facility Manager Joe Almeida was present on behalf of the applicant, along with Cheri Ruane of Weston and Sampson and architect Ted Touloukian. Mr. Almeida said the project was Phase One of the Master Plan and involved some alterations to the Shaw Warehouse. Ms. Ruane reviewed some of the history of the Master Plan and some stormwater issues. She said the Shaw Warehouse was at the lowest point in the park and was most vulnerable to flooding, so raising it was appropriate but moving it to higher ground toward Marcy Street was even better from a resiliency perspective. She reviewed the site plan and the progress update. Mr. Almeida said the grade would come up with the lifting of the Shaw Warehouse and would not impact its architecture, and the surrounding grades would rise with it. Mr. Touloukian said the goal was to preserve the Shaw Warehouse and protect it from climate resiliency interventions. He said a lot of time was spent with City Staff in figuring out how to build a new addition to minimize the performing arts pieces, like the trailers. Mr. Almeida said the addition would take on the amount of space that the existing mechanicals took. Mr. Touloukian reviewed the preservation techniques and choices they considered and said the addition was an opportunity to clean up the site during art festivals but provide appropriate egress. Mr. Almeida said they wanted to reinforce the historic line of the wharf with the location of the stage itself and get it back in line with the structures along Water Street.

Mr. Brown said one of the goals was to open both sides of the park, which would need an open stage. Ms. Ruane said it would be a movable stage for many reasons and would have components that would better serve the City. Mr. Ryan said the park was bifurcated and thought the asphalt street was part of that problem. He said he'd like to see the Shaw Warehouse pulled closer to the Players Ring and see the space between it and the Shaw building defined. He said the stage could come around and address the bridge, and the utilitarian buildings that served the stage would be confined to an area to allow more flow. He said the placement of the stage was poor and something more creative could be done by moving the Shaw Warehouse further down and making a bigger addition. In response to City Council Representative Blalock's question, Ms. Ruane said the grade would be raised around the Shaw Warehouse and would be flush, and there would be a gentle slope toward the center of the performance lawn.

Mr. Adams asked about the wharf idea. Mr. Touloukian said it came from their study of the site's history and the series of linear buildings near a wharf. Ms. Ruane said the grade would be raised up to three feet and the building would go up more than that, and the parking area would also be raised. Mr. Adams asked if the street and parking would be maintained. Mr. Almeida said the parking in other places within the park would be eliminated, so the parking numbers would be reduced. Ms. Ruane said Water Street currently ran right up to the Sheafe Warehouse and would be pulled back, and the parking would be pulled closer and nearer to the landscaping.

Chairman Wyckoff asked why Water Street had to be paved instead of graveled or having crushed-up oyster shells to be more of a nautical street. He agreed that a large addition was needed and that taking cues from the Shaw and Sheafe Warehouses was the way to go. He said if the stage wasn't up against Water Street and was more in front of the new addition, then Water

Street would have the look of a line of buildings on one side on a long dock. He said the design should be taken in that direction with the shingles and so on and have a healthy space between the buildings. Vice-Chair Ruedig said lifting and moving the Shaw Warehouse to higher ground was a wonderful way to preserve it. She thought it was a great idea to utilize the dead space between it and the vacant grass lot and thought opening it up to create a larger bowl was a much better way of utilizing the park. She said the project was going in a positive direction.

Public Comment

Elizabeth Bratter of 159 McDonough Street said the stage should be backed up toward the addition. Ms. Ruane said it would face the same direction it was facing now. Ms. Bratter said a building could be created that would surround half the stage and reduce the sound.

Tom Watson of 200 New Castle Avenue said he was the Chair of the Prescott Park Master Plan Implementation Committee. He said the Master Plan acknowledged that the arts was an important component of the park and that the Plan was a series of compromises that allowed all those things to interact while still maintaining the park first. He said a key component of that balance was the audience area, which was designed to identify that portion of the park devoted to the arts. He said the path surrounding it was important because it defined the boundaries that the audience had to stay in and also prevented crowd spread. He said raising Water Street would permit an easy transfer from one part of the park to the other.

No one else was present to speak, and Interim Chair Doering closed the public comment session.

Mr. Brown asked how much bigger the seating area was. Ms. Ruane said it wasn't quite doubled but had greatly increased a contiguous seating area and maintained the promenade through the park and would be much more efficient. Mr. Ryan said the addition was there to support the stage and asked why the stage couldn't be made part of the addition's design. Mr. Almeida said they weren't allowed to do a permanent stage but would consider all aspects when the addition and stage were fully designed. Mr. Adams said the idea of putting a barely above-grade, square, and heavily-lit modern deck stage as part of the grouping of mercantile buildings seemed too anachronistic. He said it seemed a better use of the theme to disengage the idea of a performance platform from the linear mercantile row. It was further discussed.

The applicant said they would continue the work session at a future date.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed by unanimous vote (7-0) to **continue** the work session.*

IV. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Working Stiff Properties, LLC**, owner for property located at **92 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (replace windows and storm windows, construct an iron balcony and replace two windows with balcony doors) as per plans on file in the Planning Department. Said property is

shown on Assessor Map 107 as Lot 76 and lies within the Character District 4 (CD4), Downtown Overlay and Historic Districts. (LUHD-422)

The applicants Matthew Beebe and Barbara Jenny were present to review the petition. Mr. Beebe said the building was the former Clip Joint and that the goal was to restore the building's exterior and preserve as many architectural features as possible. He said they wanted to replace or repair the windows and move the service entry to a more discreet location. He said the major request was to convert a few upper windows to balcony doors and have a small Victorian-like wood and wrought-iron balcony. He said the six dormer windows were replacement ones and would be replaced with Green Mountain windows with a sash and balance. He said the other option was to restore the windows and replace the storms but that he and his wife thought the replacement windows would be better aesthetically and functionally. He said they would remove the aluminum and restore the pine cladding if it was in good shape but preferred to replace it with a cedar clapboard, which he showed a sample of to the Commission. Ms. Jenny said they looked at a lot of balcony designs in town and used the Frank Jones wrought-iron one as an inspiration.

Chairman Wyckoff said people didn't want to see Romeo and Juliet-type balconies anymore and that he preferred 6/6 windows. He urged the applicant to change the old Clip Joint storefront in conjunction with what the owner of the other half of the building was doing. He said the plans were otherwise good and well thought out. Mr. Adams asked what would happen to the other half of the building. Mr. Beebe said he reviewed the plans for it and that it didn't have a lot of detail on that particular façade, just new painted wood clapboards to matching the existing exposure. He said if he did his portion of the building traditionally so that the clapboards lined up with the sills and window tops, he'd come to that point. He said he preferred to break up the clapboards with small pieces but didn't know what color the other portion of the building would be painted. Mr. Adams said the Commission didn't have purview over colors. Mr. Brown asked about the solar panels. Ms. Jenny said the panels were hers and that they could move all the mechanicals by the ell and screen them with plantings.

Mr. Ryan said there were some great things proposed for the building but that he couldn't support the balcony because it wasn't an appropriate style for the house. He also suggested that the applicant do what was appropriate for his part of the building and not wait for the other owner. Vice-Chair Ruedig agreed with Mr. Ryan and also thought retaining the historic windows would be better than replacing them. She said the Green Mountain ones wouldn't last as long as properly-restored historic windows. She said she understood the energy efficiency issue but said there were much better-looking storms available than what the applicant had. She said she also had trouble with the balcony because it was highly visible on Court Street. She said the applicant could bring in examples of similar balconies in the District that might sway her, but she couldn't think of any and couldn't accept the ornate wrought-iron balcony on that type of a building. Mr. Brown agreed and noted that there were two wonderfully-restored buildings directly across the street that the balcony didn't fit in with.

There was no public comment. Interim Chair Doering summarized that the applicant was welcome to submit a different design for the balcony or demonstrate something that already existed in the District that was appropriate for the building. She said the Commission gave kudos for the plans to restore and bring back old features. She said the applicant should consider

restoring the old windows if possible and that the Commission would be interested in seeing what was found under the aluminum siding.

Ms. Jenny said she would research restoring the windows but thought replacing them would look better and would be maintained better without storms. Mr. Beebe noted that the ‘Pumpkin House’ across the street had restored windows with storms and the house next to it had Green Mountain replacement windows, and he asked if it would be that great of a difference if they had replacement windows. Ms. Jenny said they would continue the work session to see if she could convince the Commission to accept the balcony.

DECISION OF THE COMMISSION

*Chairman Wyckoff moved to **continue** the work session to the March 2 meeting, and Ms. Bouffard seconded. The motion **passed** by unanimous vote, 7-0.*

2. Work Session requested by **One Market Square, LLC**, owner for property located at **1 Congress Street**, wherein permission is requested to allow renovations to an existing structure (repair and upgrade building facades along Congress and High Streets) and new construction to an existing structure (replace rear shed additions with new 4-5 story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 14 and lies within the Character District 5 (CD5), Downtown Overlay and Historic Districts. (LUHD-425)

Project architect Tracy Kozak and the owner Mark McNabb were present. Ms. Kozak reviewed the context and massing. She said the property was formerly two parcels and was recently merged into one lot. She said they wanted to improve Haven Court so that it could have public access and link Commercial Alley with Fleet Street. She said the property was actually two buildings, a brick Gothic one at the corner of One Congress Street and a white painted building at 3 Congress Street, and there was a parking lot in the back. She reviewed the contextual buildings down the street and some of their history. She said they wanted to restore the original storefront and details of the main building and put another structure on the parking lot that used to house a hotel. She said the existing height of the front buildings would be continued to the addition and that the addition would be more of a wayfinding building than a freestanding one and had several cues from the Market Square and High Street facades.

Mr. Adams said it seemed like the new addition would be cramped by the small Italianate theater building if the applicant tried to connect to it. Ms. Kozak said there was a small alley back there before the hotel was built and the corner was a freestanding one, so whatever connected to it would need to be pushed back far enough to perceive that break. Mr. Adams said the building next to it around the side was a one-story that looked like a two-story, and he asked what would be done with its roof. Ms. Kozak said there was an imbalance to that streetfront where there was an elaborate roof on One Congress Street and a flat one on 3 Congress Street as well as a giant firewall, and they wanted to balance it with a dormer or some roof feature on 3 Congress Street to help tie it together. City Council Representative Blalock said he was concerned about putting up a big building next to the parking garage and creating a dark alleyway in the middle of town. Ms. Kozak said it would be landscaped and hardscaped with plantings, sculptures, and overhead

lighting and that they would hold back from the face of the garage by about 20 feet. Mr. McNabb said uniform string lighting would be used that was more effective than street lighting.

The massing was discussed. Chairman Wyckoff said the height didn't bother him because of the existing One Market Street building but he wanted to see it pulled back a bit from High Street and not have the height go four stories right on the street. He said the massing was appropriate for the lot in general, but he had trouble with whether or not a story would be added to 3 Congress Street due to the addition's footprint and the renovation footprint. He said he hoped the addition would be away from Congress Street. He said whatever Mr. McNabb did with Haven Court would be an improvement. Mr. Brown said he felt the same way about the massing and thought it really stood out when looking at it from the east side of High Street. Ms. Kozak showed an abstract diagram indicating that the addition would be far back from the front buildings and would be blocked by them. Mr. Ryan said the massing worked and thought it was a good opportunity to restore some urban spaces that were currently languishing. He said Ladd Street was turning out to be a beautiful little street and hopefully Haven Court would be similar. He asked how much the applicant intended to get into the renovated footprint areas and if the buildings would be gutted. He noted that the applicant was building on top of the old opera house. Mr. McNabb said the little building carved out the non-historic add-on garage behind to get a new core, and the old buildings needed an elevator and stair towers. He said the addition would solve those problems for the front buildings and get rid of the fire escapes. He said the new building would step back and would be given breathing room. He said they had to make it one building in order to have two means of egress and that the opera house would be the branding of the main entrance for the whole neighborhood.

Vice-Chair Ruedig said she assumed the back buildings would be demolished. Mr. McNabb said the buildings would come down in favor of the addition. Vice-Chair Ruedig said she wanted to know the history of those buildings when they were added on, for due diligence in understanding the site and having it added to the overall history at some point. She also asked that the property be documented before the demolition. Mr. McNabb agreed. Ms. Bouffard said she had no problem with the massing, especially given its location up against the parking garage.

There was no public comment. Interim Chair Doering summarized that the Commission had support for the massing but some concern for the height on High Street, and they wanted the applicant to find detail on the street level for all those buildings to bring back to the Commission.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed by unanimous vote (7-0) to **continue** the work session to the March 2 meeting.*

3. Work Session requested by **445 Marcy Street, LLC**, owner for property located at **445 Marcy Street**, wherein permission is requested to allow the construction of a new single family residence with attached garage as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 3 and lies within the General Residence B (GRB) and Historic Districts. (LUHD-424)

Project architect Tracy Kozak was present on behalf of the applicants, along with the owners Jim and Gail Sanders. Ms. Kozak said the property would be subdivided and had been vacant except for the candy shop for about 50 years or so. Mr. Sanders reviewed the history of the property and said he bought it in 1994, at which time there were five buildings on the property. Ms. Kozak said there used to be various houses on the property and that it had the same density as the rest of the neighborhood, but the buildings deteriorated. She said the property was in the severe flood zone and Partridge Street was one of the lowest points in the city and was underwater by a foot during king tides, along with the southeast corner of the applicant's property. She said the northwest corner was six feet higher due to the slope and they had to locate the new structure on the high ground. She said they wanted to make an energy-efficient building that would withstand the high tides. She said they would subdivide the 1/3 acre lot parallel to Marcy Street so that the candy shop would be on its own lot and the new structure would be on the parcel behind it. She said the surrounding homes had lots of variety and some of them had porches and roof decks and the gabled end structures had side entries. She reviewed the footprint and roof plan and said the structure was designed to have a drive-through passage from Pray Street to Partridge Street and was oriented to take advantage of the sun. She said a parking garage would be set back from Partridge Street. She reviewed the structure's design.

Chairman Wyckoff asked how the foundation with water running through it would work and whether the front lot with the candy shop would be developed with another building. He thought the Marcy Street side of the structure was the weakest side and really needed a house in front of it. Ms. Kozak said the front parcel with the candy shop would be sold and was developable by right, so a house could be built there. She said it was the side of the house that wasn't meant to be the front of the house and was meant to look like the side of the house. She said it would be behind the fence and another house and that the front of the house would face Pray Street.

Chairman Wyckoff asked why the driveway had to go from one street to the other. Ms. Kozak said it allowed a small asphalt footprint. She said the owners intended to age in the house and when they couldn't handle stairs and steps, it would have to be handicap accessible. She said the central entrance on the side facing Marcy Street would be level with the grade, and because they had to keep the floor above the flood plain, it would be 3-4 feet higher than the street. She said they didn't want a giant railing in front of the house, so the accessible entrance was on the side, which mandated having access through the side of the property.

Vice-Chair Ruedig said she appreciated a lot of things, like putting the garage in the back and the way the building was sited on the lot. She said the massing was big but that she was willing to see it through with the development of the design. She said her concern was that the façade on Pray Street didn't have a front door and what was missing was a nice formal front entrance, especially since it was fronting the street. She asked why the front entrance was hidden. Ms. Kozak said the cue was taken from a house that had a gabled end facing Marcy Street and the front door was off the porch to the side of the gable. She said they would do wraparound steps to accentuate it and that there was also a recessed window seat to draw the eye to the porch. She said it was a welcoming feature that signified that it was an entrance. Ms. Kozak showed examples of side porches as entrances, and Vice-Chair Ruedig said those houses were turned perpendicular to the street. She said if the applicant was determined to hide the entrance on the corner, she'd like to see it celebrated more and made into an obvious front entrance.

Mr. Adams said he realized that dodging the offset in the lot drove the angle of the garage but that most of the buildings in the neighborhood were rectangular in their forms. He said the property kicked the garage to the right due to the need for a drive-through. He said the contortions that happened to the rest of the back of the house were avoidable, and it seemed that the whole orientation of the back of the building was lost because it was following the garage. He asked if tipping the garage was a good idea. He said he'd also like to see a front door. Ms. Kozak said the entrance could be made more prominent. She said the crank of the roof did a lot for the building because it opened up the building toward the back and let more light in and had more of a relationship to the water. Mr. Sauk-Schubert said the north elevation looked asymmetrical, and Ms. Kozak agreed and said she would fix it.

Mr. Ryan said the structure was a new house and he liked that it had its own set of rules and angles and challenged some of the surrounding architecture. He said the entrance didn't bother him because Marcy Street had a strong façade and the entrance would support that. He said it was a modern house of 2022 and would be acceptable for the District. City Council Representative Blalock agreed and said it fit in well with the neighborhood.

Interim Chair Doering asked Ms. Kozak if she was sure she wanted 445 Macy Street to be the address. Ms. Kozak said it would change when the property was subdivided. Ms. Doering said the problem with the gabled end of Pray Street and the relation to the entrance was the protruding bay window, and if the façade were flat, the doorway on the porch side would read more prominently. She said it looked like a side façade instead of a front façade. She said the rectangular appurtenance on the captain's walk section was awkward because there was something about the square 'cereal box' stuck on the end of what was otherwise a building with lots of non-rectangular forms.

Public Comment

Susan MacDougall of 39 Pray Street said she looked out over the property and knew that it could be two lots, but the address was clearly a Pray Street address. She said all the renderings and comparisons had been with the Cotton house on Salter Street and the two big Victorians on Salter and Marcy Streets, and that none of the height and relational architectural comparisons had been done with any of the 18th century houses that lined Pray and Partridge Streets, so she had concerns about the property's scale and the fact that it would be directly across from an 18th century house with a center chimney and diagonally across from her home. She said her major concern was that the renderings seemed to take details from the Victorian on the corner of Marcy and Pray Streets and used them for an entrance detail that was really a side entrance for the Victorian. She said the structure would be a very big building in an area where there weren't really big buildings and she was concerned what would happen in front of it. She said she was told that she couldn't have two frontages on her lot that went from Pray Street to Salter Street and couldn't have two front entrances, so she wondered why it was possible to have a drive-through entrance from Pray Street to Partridge Street. She said the cereal box design didn't fit and the structure's height would overshadow the houses on Pray Street.

Mark Mininberg of 437 Marcy Street said his house was used as some of the inspiration for the design. He asked what the building's square footage was, noting that his home was only 2800

square feet and was a narrow and graceful 1890s Queen Anne. He said the applicant's building seemed twice as big, and he felt that the Commission's concern seemed to be more about the front door than the mass. He said the mass alarmed him and his neighbors and they viewed it as a shock and as something completely out of scale. Ms. Kozak said it was a shock to go from a 3-acre vacancy to a building, and she felt that the structure fit, especially due to its distance from the houses around it. She said it was shown in three dimensions but that it might be easier to compare the context. Mr. Mininberg said it still looked twice as big as his house.

No one else was present to speak, and Interim Chair Doering closed the public comment.

DECISION OF THE COMMISSION

*It was moved, seconded, and **passed** by unanimous vote (7-0) to **continue** the work session to the March 2 meeting.*

V. ADJOURNMENT

The meeting was adjourned at 10:15 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MINUTES
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

March 02, 2022

MEMBERS PRESENT: Chairman Jon Wyckoff; Vice-Chair Reagan Ruedig; City Council Representative Rick Blalock; Members Margot Doering, Martin Ryan, and David Adams; Alternates Heinz Sauk-Schubert and Karen Bouffard

MEMBERS EXCUSED: Dan Brown

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

.....
I. APPROVAL OF MINUTES

1. February 02, 2022
2. February 09, 2022

*It was moved, seconded, and passed unanimously (7-0) to **postpone** the approval of the February minutes to the March 9 meeting.*

II. ADMINISTRATIVE APPROVALS

1. 239 Northwest Street (LUHD-433)

Mr. Ryan recused himself. The request was to add an exterior light beside the front door and replace two fixed windows on the side of the door with siding.

There were no questions. *Mr. Adams moved to **approve** the item as presented, and Vice-Chair Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Theodore M. Stiles & Joan Boyd, owners**, for property located at **28 South Street**, wherein permission was requested to allow new construction to an existing structure (add (2) rear additions) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 43 and lies within the General Residence B (GRB) and Historic Districts. (LU-22-8)

SPEAKING TO THE PETITION

Project architect Anne Whitney was present on behalf of the applicant. She said they wanted to add two small additions at the rear of the building to add more space to the kitchen. She discussed the windows, noting that the three windows on the back elevation were 9/6 and all the others were 6/6, and she wanted to change those to 6/1 cottage style windows to allow better views to the garden. She said the one-story addition would allow better access to the rear yard and direct access from the kitchen to the dining room. She said she wanted to replace the existing older window because it was too close to the addition and had no function on the interior. She said the bay windows would go to 4/1 windows and that all the new windows would be Marvin aluminum clad. She said vertical board skirting would be done.

In response to the Commission's questions, Ms. Whitney said the material for the vertical skirting would be Lifespan wood that would be treated, primed, and painted; the 9/6 window would be replaced to get a better view of the backyard from the kitchen and to give more balance to the elevation; and the trim would be matched in profile and dimension and would have a heavier sill and trim with a band mold. She said the vent louver for the attic would remain.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one spoke, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Adams moved to **grant** the Certificate of Approval for the application, with the following stipulation:*

- 1. The trim and siding features of the additions shall match existing structure..*

Vice-Chair Ruedig seconded.

Mr. Adams said the project would be compatible with the surrounding architecture and would fit in nicely with the neighborhood.

*The motion **passed** by unanimous vote, 7-0.*

Mr. Ryan resumed his voting seat.

2. Petition of **Mill Pond View, LLC, owner**, for property located at **179 Pleasant Street**, wherein permission was requested to allow changes to a previously approved design (changes to the sunroom and roof design) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 15 and lies within the Mixed Research Office (MRO) and Historic Districts. (LU-22-19)

SPEAKING TO THE PETITION

Project architect Carla Goodknight was present on behalf of the applicant, along with contractor and owner representative David Calkins and Jake Weider of CJ Architects. Ms. Goodknight said they developed a timeline, an annex scope of work, a proposed design and restoration, and existing and proposed details and materials. She said a few site walks were done and historic consultants were brought in. Mr. Calkins reviewed the house's history and said newspapers dated 1888 and 1889 were found that indicated when the building was transformed. He said the house was then renovated in 1980 and the third floor and annex were made into living space.

Ms. Goodknight said they wanted to rebuild the original windows that still remained in the annex and that anything else would be replaced in kind with Marvin wood windows. She said the mansion's dormer would be rebuilt, the angled bay would be removed because it was a non-contributing element, and the original trim, shutters and windows would be repaired and reinstalled. She said the annex was constructed on an unstable foundation and its roofline bisected the historic window at the central stairway, and two of the main roof timbers were also compromised. She said they would remove and restore all remaining exterior elements and reinstall them on new framing, siding and roofing. Chairman Wyckoff said the obstructed window had unusual sized-panes and asked if it could be researched whether it was a 9/9 window or similar one. Mr. Calkins said a 9/9 window was consistent with Georgian architecture and was a way of showing opulence at that time. He said the chimney had no proper foundation and would likely not survive excavation and that it was safer to remove it and replace it in kind.

Mr. Calkins said the front elevation's siding and trim would be sanded and painted. He said the north elevation's water issues would be addressed and the windows, siding and trim would be restored. He said the cornice on the west elevation would be brought all the way around, the cornice would be preserved, and as much siding and trim as possible would be preserved.

Ms. Goodknight reviewed the windows. She said the mansion's dormer would be relocated three feet to the right and Marvin clad windows would be added due to mansion due to moisture and rot issues. She said they would address a significant bow on a side wall. Mr. Calkins reviewed the north wall's water issues, and the annex cornice and gutters were discussed. Chairman Wyckoff said the rafter tails on the annex looked awkward.

Ms. Goodknight showed 3D images of the completed round room, restored side wall, and annex construction. She said the roof would be removed to install insulation and do structural work below it and that she would return with roof samples. Mr. Calkins said they decided to use a Brava composite roof that had a pressure mold instead of an injection mold. Ms. Goodknight said skylights would replace existing ones, a case style gutter and round copper downspouts would be used, and the brick on the chimney would be Morin waterstruck brick. Chairman Wyckoff said the proposed roofing's 12-inch exposure was huge. Mr. Calkins said there was a recommended overlap that could be adjusted, and it was further discussed.

Ms. Goodknight said the proposed Beech River Mill shutters would match the existing shutters that weren't salvageable. Mr. Calkins said they proposed Marvin custom storms because they worked well with the thicker window trim. In response to the Commission's questions, he said they hadn't cleaned off any of the mansion's chimneys yet but intended to waterproof the brick.

He said the shutter material would likely be painted Spanish cedar. Ms. Goodknight further discussed the windows, timbers, moisture problems, and the structural report.

Ms. Doering asked how the connector would be stabilized. Ms. Goodknight said it was previously approved for demolition. Chairman Wyckoff said it was previously approved but not enacted. Mr. Cracknell said the project's totality had changed so that it may not be appropriate any longer to initiate a part of the project that was started. Ms. Goodknight said the demolition uncovered new problems. Mr. Cracknell concluded that the previously-approved application was being amended, and it was further discussed. Ms. Goodknight suggested postponing the connector issue to Phase 2.

Mr. Adams said the scale in the drawing was unclear, noting that the center dormer on the back plane of the main building's roof was being moved. Ms. Goodknight said it couldn't go any farther than the rafter. Mr. Adams said he noticed subtle differences in the roof's balustrade. Ms. Goodknight said the widow's walk would be removed and reinstalled. Ms. Doering said the back side of the widow walk's rail looked different than what was on the front. Mr. Calkins said it was originally on the front of the building but was extended to all four sides. He said he believed it was all the same balustrade top rail and that they intended to just paint it and put it back up. In response to further questions from the Commission, Mr. Calkins said the copper hips on the existing building would be replaced, the slate was thick but varied, and the annex chimney would be replaced in kind. City Council Representative Blalock said the house was a very prominent one in Portsmouth, and he asked if the dental work could be matched now that the cornices from the annex to the mansion were met. Ms. Goodknight said the profiles would be kept but would match the eaves. Mr. Ryan said he was disappointed that the original slate wouldn't be retained, at least on the mansion, and he asked if plastic slate was being used to add the inch of insulation. Ms. Goodknight said the weight was an engineering consideration and the continuous ridge was necessary due to all the timbers in that area. Chairman Wyckoff said the building was designed in 1793 for the slate roof and held the weight of it up until now, so he didn't think Ms. Goodknight's argument rang true. Vice-Chair Reagan said she preferred to see real slate used. Mr. Blalock and Ms. Doering agreed. Mr. Adams said the slate was unnaturally thick and that he was also bothered about the whitewash being stripped from the chimneys. He said he couldn't support the application because of the roof. Mr. Calkins said they would source new slate and present it as an administrative approval.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Dick Bagley of 213 Pleasant Street said the project wasn't a preservation or restoration one but was a new home. He said the house's idiosyncratic history was what made it interesting and that the Commission's purview was the exterior, not the interior. He said the intent was great but thought the building should be lifted to put a new foundation under it and that the jog should be kept. He said the original slate was previously fixed but was a huge job, and he didn't think new slate should be used on the annex. He said the original vision of a historic home was what the Commission should be capturing. He asked what happened to the previous owner's proposal for a carriage house and asked what happened to it. Chairman Wyckoff said that proposal expired.

No one else spoke, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the application, with the following stipulations:*

- 1. The roof shall have natural slate and samples shall be submitted to the Commission as an Administrative Approval prior to installation.*
- 2. The Color of the Morin Brick shall match the existing and be submitted and approved prior to installation.*
- 3. There shall be an on-site mockup of the brick work prior to installation.*

City Council Representative Blalock seconded.

Mr. Ryan said he appreciated that the applicant was willing to accommodate the slate request because it would make the terrific project even better. He said the project would preserve the integrity of the District and would be consistent with its special and defining characteristics.

Vice-Chair Ruedig said the project was a big and difficult one that was hard for the Commission to go through because it was such a focal property. She said the building was a very important house in the District and that she would support the motion, noting that the applicant had been very open in their process, tried to get the best experts, and allowed the Commission to go inside the house to better understand the vast amount of problems the building had. She said the applicant's solution seemed to be the best path forward for making the structure a livable and usable house, even though it was a different tactic than what the Commission usually saw.

City Council Representative Blalock said it was a difficult project and appreciated that the house would be properly restored and a real slate roof would be done. He said the real slate would make for a better project, especially on such a historic house. Ms. Doering said she was torn because she had concerns about the annex no longer looking like one and being more prominent than before. She said the proportions for the house when it was built were chosen for a reason. She said the new perspectives shown by the applicant eased some of her concerns but that she still wasn't sure that raising the building up as much as suggested was the right thing to do. Chairman Wyckoff said he had never seen a mansion of such proportions, beauty, and in such a location be in such terrible condition. He said the house really needed a lot of work and the applicant was devoted to do the work, so he would support it.

*The motion **passed** by a vote of 5-2, with Mr. Adams and Ms. Doering voting in opposition.*

3. Petition of **202 Court Street Property Group LLC, owner**, for property located at **202 Court Street**, wherein permission was requested to allow the demolition of the remaining structure to allow for the reconstruction of the fire house as originally approved, as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 35 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts. (LU-19-175)

SPEAKING TO THE PETITION

The contractor Matt Silva was present on behalf of the applicant and noted that the petition went through several work sessions. He said they found many defects when they did the demolition work and thought they had done everything they could to save it. He said they spoke to the City's Building Department officials about compliance and safety concerns and that the applicant felt that they had to dismantle what remained and salvage what they could to use inside the building. He said they proposed adding brick to the foundation of the new structure.

Mr. Cracknell said he was one of the officials who saw the site a few weeks and that he and the other officials were in total support of approving the demolition of what remained because the frame and foundation were structurally inefficient and there was so much rot that the building wasn't usable. He said a monolithic pour for the foundation would be better for the building's durability, given that it would be 99 percent new construction above it, and that there were public safety concerns as well. He noted that the City had assumed before that things wouldn't nearly be as bad as they were after the demolition and exploratory work was done.

Chairman Wyckoff said the best thing to do would be to take the building down immediately. He said he had the applicant's guarantees that all the proposed materials, corner boards, window trim, soffits, fascia and so on were being replicated. He suggested stipulating that a brick veneer would be used. Mr. Adams asked for an on-site mockup for the brick and the mortar. Ms. Doering asked if the original plan failed because what the applicant was trying to turn the building into was too much for the building to manage. Mr. Silva said his goal was always to save the building and that there wasn't any demolition done inside the building when he first met with the Commission. Mr. Cracknell said the situation was unusual, noting that the applicant was asked by the Planning Department to submit his application. Ms. Doering said the situation illustrated the fact that people who bought buildings like that had to really know the old building first before deciding that it could be turned into a modern condominium. Mr. Cracknell said it was a lesson learned that a project that got approved by the HDC actually preserved nothing of the building and that the HDC had to be careful of what they were looking at and whether they understood it. It was further discussed. Mr. Ryan said the Commission had only so much control of what came before them and that it wasn't their role to say that a building couldn't be turned into condos or multiple units. He said the building was in bad shape and would only get worse. Vice-Chair Ruedig said the plan was the one the Commission already approved and that it still looked the same and would be the same.

Chairman Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Matt Beebe of 92-94 Pleasant Street said he was a builder and designer and said it wasn't necessarily the fault of the designer or builder but was more of a process problem. He said the various land boards had their own sets of criteria yet didn't connect in a meaningful way to help the designer and builder save a historic building by making it safe and comply. Mr. Sauk-Schubert said the petitioner should do his homework. Mr. Cracknell said the first line of defense was the City through the HDC, and the second line was the marketplace. He agreed that the system could be better but that the City was trying to be proactive in this situation.

Barbara Jenny of 92-94 Pleasant Street said the situation shouldn't have gotten to the point that it did. She hoped for future guidance on buildings that required engineering and thought the City inspectors should talk among themselves and avoid that type of thing going forward.

Matt Healy said he was one of the buyers and that the buyers weren't yet in agreement of how much there was left to salvage. He said they were negotiating with Mr. Silva and the project's financier and hadn't worked through the demolition yet.

Matt Silva said they were still working through the situation. He said they had site reviews and discussions with engineers and building officials and understood that the City wanted to save the building. He said they could continue the discussion with the owners and that it didn't mean that they had to take the building down, even if they were approved to do so.

No one else spoke, and Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Mr. Ryan moved to allow for the full demolition of the building's framing and foundation, with the following stipulations:

- 1. The previously approved plans and any prior stipulations shall apply and govern the new building design.*
- 2. A brick shelf shall be used with a mockup required for the foundation prior to installation.*
- 3. The applicant shall submit a formal agreement of this application from all owners prior to the commencement of the demolition.*

Ms. Bouffard seconded the motion.

Mr. Ryan said the project would conserve and enhance surrounding property values and would relate to the historic and architectural value of the existing structure.

*The motion **passed** by unanimous vote, 7-0.*

IV. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow renovations and new construction to an existing structure (removal of shutters, addition of dormers, and roof and siding changes) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-414)

The project manager Shayne Forsley was present on behalf of the applicant. He said the Commission's prior feedback was incorporated into the project, including some of the following: the dormers facing State Street were removed from the application and two skylights were proposed instead, with an oculus at the ridge of the main structure; and the stone sills and headers would be used as proposed and would match the stone banding on the State Street

façade, with another stone used for the headers and sills around the windows. He said Mr. Cracknell found evidence of mill work and shutters on the original structure and that they would remove the molding and shutters on one of the ground floor windows to see what would be appropriate. He said other modifications included a pediment option on the main entry door on the side of the building, an ocular skylight and a ridge skylight to bring light into the attic office space. He said the footprint of the existing structure on Sheafe Street was the same as proposed and the garage entry and civilian entry were flipped. He said the two false windows on the blank wall would be removed and a small dormer with a roof addition would be added above the garage doors. He said the big and small sheds and the elevated portion of the addition were new. He discussed the roof plan and said some windows would also be moved. Chairman Wyckoff asked if there would be spacing between the set of three windows, and a 3-1/2" space separation was discussed. Mr. Forsley discussed the proposed south elevation, noting that the oculus on the main ridge of the masonry building had two low-profile skylights and the roof was faux slate. He said two small windows on the clapboard building would be removed, the patio door would be expanded to a triple door, and the patio would be enclosed. Vice-Chair Ruedig asked how the three doors on the second floor would work, noting that it looked very busy due to all the glass. Mr. Forsley said two doors would be fixed and the middle door would be operable, and the intent was to look out to the garden from the kitchen and to have natural light.

Mr. Adams asked why the mid-century trim was being removed from the building to make it look more Federal. Vice-Chair Ruedig said she discovered that the structure was built around 1835 and seemed to have been built as an expansion of a shop and then turned into a boarding house. Chairman Wyckoff asked if they wanted to maintain something that was added in 1850 or so. Mr. Ryan said he had hoped for stronger evidence of the window headers and didn't think the skylights were appropriate. He suggested that the oculus have historic qualities to it and be more classical in nature. Vice-Chair Ruedig said its design was interesting and made it clear that it wasn't a historical piece. She asked if there was evidence of a prior oculus. Mr. Adams said he saw pieces during a site visit that he was certain were part of a 6-ft oculus and a way to get light into a hallway. Vice-Chair Ruedig said it was worth looking at some examples but thought the simple nature of it made it low profile, and it was further discussed. Mr. Cracknell asked Mr. Forsley to provide a detail of that feature at the next work session. Chairman Wyckoff said removing one of the decorative headers to see the Greek Revival hood over the door was a good way of judging the age of everything. Mr. Forsley said they would do a site walk and talk to the owner about whether the headers should be kept. Chairman Wyckoff suggested continuing the horizontal line between the stories. Mr. Forsley said they had discussed matching the stone material on the State Street façade and using it for headers and sills. It was further discussed.

Ms. Doering said she wasn't a fan of skylights. Mr. Adams said he was excited about the oculus because it was almost extinct in town. He said the skylights at the ridge line at the back didn't look offensive in that location, but he thought the ones on the front façade were unnecessary. Mr. Forsley said the two skylights on the State Street façade would provide light to a third-floor bedroom instead of lifting the loft. Mr. Sauk-Schubert said the existing trim seemed inappropriate for the gable's shape. City Council Representative Blalock said the State Street skylights might be a bit much because it was the prominent side of the house. Mr. Forsley said the skylights were low profile and that other nearby homes had them. Ms. Doering said the higher they sat, the more disruptive they were. Mr. Forsley said he would bring a sample to the

next work session and would also show context photos of them. Chairman Wyckoff said the skylights would be fine because of their slight pitch, and it was further discussed. Mr. Cracknell said he would coordinate a site walk.

There was no public comment.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed unanimously (7-0) to **continue** the work session to the April 6, 2022 meeting.*

B. Work Session requested by **Working Stiff Properties, LLC**, owner for property located at **92 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (replace windows and storm windows, construct an iron balcony and replace two windows with balcony doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 76 and lies within the Character District 4 (CD4), Downtown Overlay and Historic Districts. (LUHD-422)

The applicants Matt Beebe and Barbara Jenny were present. Mr. Jenny referred to the previous work session when they discussed changing out the windows and having a back balcony. Chairman Wyckoff said there wasn't a plan for the storefront and asked if the building could be placed back. Ms. Jenny said they couldn't have residential on the first floor. Mr. Beebe said the siding would most likely be in bad shape and that they wanted to replace it with wood. He said they had no control on the other part of the building and would perhaps place a vertical board until that section of the building was completed. The windows were discussed. Chairman Wyckoff said the Commission had no problem with removing the aluminum or the third-story windows but had concerns about replacing all the windows versus restoring and putting new storms on, as well as replacing two windows with patio doors for the second-floor balcony. Mr. Beebe said the existing six dormer windows were cheap and would be replaced with Green Mountain windows. He said they wanted to eliminate the storm windows due to aesthetics. Chairman Wyckoff said Mr. Adams had volunteered to go inside the building to look at the windows and try to determine their ages, after which the Commission would further consider them. Mr. Beebe said they wanted more energy efficiency rather than savings. Mr. Adams said he had seen new modern high-efficiency windows that turned out to be none of those things and had seen people throw out sashes that were serving their original purposes. He said it was a loss to the District's architectural heritage. Chairman Wyckoff agreed. He said the applicant's building seemed to have all the original windows, so it made sense to restore them. He said the weight pocket was a good reason to have replacement windows but that there were other alternatives, and it was further discussed.

Ms. Jenny showed images of balconies in the District that were 36 and 42 inches tall. Mr. Ryan said he could live with an applied garden rail but not with cutting open two new doors where there were windows and structurally tying that back in because it was too major of an alteration to the structure. Mr. Adams agreed and said it would be difficult to make it work, and it was further discussed. Mr. Cracknell suggested an 18-inch extension. Vice-Chair Ruedig said all the examples shown of similar balconies in the District didn't really support the applicant's argument for putting one on their building. She said there really wasn't a good historic example

of that type of balcony on a wood clapboarded building and that it was more appropriate for a brick building. She said she could be amenable to a short Juliet-type balcony but not a big one to sit out on. Ms. Doering said the structure was a simple one that had unfortunate things happen to it. She said painting and cosmetically improving the situation would do much more for the enjoyment of the building than any balcony would and would make it go from looking like a mishmash of mistaken happenings to something nice. Ms. Bouffard agreed. She said it was a busy corner and couldn't imagine the functionality of the balcony. Ms. Jenny said the goal was function -- to have an outdoor space on the second floor -- and not to make the building look better. Chairman Wyckoff said not every building was suited for every task and that perhaps the applicant's building wasn't suited for an outdoor space on the second floor. Ms. Jenny then showed a backup plan of a glass Juliet balcony with two windows that opened in instead of a door. An egress window for the third floor was also discussed. Mr. Cracknell suggested that the applicant consider a Juliet balcony.

There was no public comment.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed unanimously (7-0) to **continue** the work session to the April 6, 2022 meeting.*

At this point, Vice-Chair Ruedig left the meeting.

V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Market Wharf Condominium Association, owner**, for property located at **33 Deer Street**, wherein permission is requested to allow renovations to an existing property (extend 3rd floor decks, replace balcony railings, lighting and other miscellaneous improvements) as per plan on file in the Planning Department. Said property is shown on Assessor Map 119 as Lot 1B and lies within Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LUHD-435)

Project designer Joshua Butkus was present on behalf of the applicant. He said they wanted to replace some trellis work that enclosed HVAC spaces on Building A, apply horizontal boards to the retaining wall at the garden level to create a nicer looking space, and use vertical boards for the mechanical spaces to hide them. He said a similar strategy would be used on Building B and would have Azek boards with a permanent color. He discussed the ceiling treatments for the balconies and said the trim would match existing. He said they proposed reducing the balcony decking footprint on the front of the building and upgrading the railings on that façade and the rear façade. He said the rear third-floor balcony that ran all the way across on Building A would be extended three feet to give more outdoor living space and coverage to the second-floor entry. He said the balconies were a communal public space that they just wanted to beautify and allow additional space. In response to the Commission's questions, he said he wasn't sure whether screws or clips would be used but thought it would be screws, and the railings would be black. He said he wanted to replace all the lighting with floods and perhaps repair some concrete pavers. Concrete pavers instead of plastic ones were discussed.

Mr. Doering explained why the black railing at the back of the building was a feature but was a mistake on the front of the building. Mr. Adams said there were small roof sections over the entry porticos and the porticos had substantial posts, so he thought whoever designed the railings considered those posts and carried them up the corner, which he thought was an architectural mistake. It was further discussed. He said the black railing with the brick and the two-tone at the back looked good and suggested a white railing for the front. Chairman Wyckoff agreed.

There was no public comment.

DECISION OF THE COMMISSION

*The applicant said he would **return for a public hearing** at the April 6, 2022 meeting.*

VI. ADJOURNMENT

The meeting was adjourned at 10:30 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MINUTES
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

March 09, 2022

MEMBERS PRESENT: Chairman Jon Wyckoff; Vice-Chair Reagan Ruedig; members Margot Doering, Martin Ryan, David Adams, and Dan Brown; Alternate Karen Bouffard

MEMBERS EXCUSED: Heinz Sauk-Schubert, City Council Representative Rick Blalock

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

.....
I. ADMINISTRATIVE APPROVALS

1. 53 Market Street (LUHD-438)

The request was to replace a rolled asphalt roof on the flat roof portion of the building with a rubber membrane roof.

2. 28 Chapel Street (LUHD-437)

The item was not addressed and was postponed to the April 06, 2022 meeting.

3. 131 Congress Street (LUHD-436)

The request was to put a one-step landing and handrail system on the Music Hall's loft portion.

*It was moved, seconded, and passed by unanimous vote (7-0) to **approve** Items 1 and 3.*

II. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts. (LUHD-234)

Ms. Bouffard recused herself from the work session because she was an abutter.

WORK SESSION

Project architect Carla Goodknight, Jake Weider of CJ Architects, and project manager Eben Tormey were present on behalf of the applicant. Ms. Goodknight said there were three different style options for each building, the mixed-use building and the hotel. Ms. Goodknight addressed Option 1 for the mixed-use building, which included a box bay balcony composition separated by punched openings in brick elements; recessed commercial entries around the glazed corner; bringing the center volume above the single-story piece forward to separate the end pieces; and added upper trellis features on the penthouse level as well as a larger trellis across the building.

Mr. Ryan said he liked a lot of the elements but thought it was heavy in the middle and sat on a very translucent base. He said the base should be a little heavier scale-wise and thought some masonry elements could be thicker to give the building more authenticity. He said the way the building was rendered made it look very thin. Ms. Doering said she appreciated all the added design elements but still thought the building was too big. Mr. Adams said he still struggled with the building's composition and the fact that it was rendered in so many discrete parts. He said the massing problems were trying to be solved by breaking the building up into separate parts so they could be viewed differently, and one of them was always lighter than the other so that the Commission could ignore what was there. He said he couldn't warm up to the design at all. Mr. Brown said he liked the way it was broken up into different bands and colors and the way the corner and restaurant area was highlighted, but he thought it was still very big compared to the other buildings on Maplewood Avenue. Vice-Chair Ruedig agreed and noted that there were concerns about the massing at the previous work session but there was still no change in it. She said she wasn't excited about the design because it was very busy and trying to mask what was just a large building that needed to be diminished somewhat and cut back in scale. She said the hotel was even larger and she hadn't seen any reduction in that either. She said the building across the street worked well for where it was. Chairman Wyckoff agreed. He said the building was too wide and too long. He said he liked the effort of bringing the mass on the front forward but the building didn't have a real front. He said he wanted to see an actual and more formal front on Maplewood Avenue that could be set back but made more important and perhaps a set of bays cut off the length of the building. Vice-Chair Ruedig said the formality of an entrance would help with the pedestrian scale, which she thought was missing from the design.

Ms. Goodknight said the Commission was unsure at the previous work session about the way the building didn't project or step down toward the water. She said the reason it didn't was because they wanted to stay out of the 100-ft buffer, so they pulled the building back out of the water and created a greater empty space. She said Option 3 was the closest to their original design and was also causing issues related to the buffer. She said it was hard to manage modulation without some language. She said Option 1 was transitional because it had traditional elements but was offset by modern forms of box bays and so on. Chairman Wyckoff asked what the purpose of the front white corner was. Ms. Goodknight said it was an accent piece.

Ms. Goodknight said she'd like to get a little closer to either Option 1 or 3, whether it was the style or massing, and if she could get closer to the style, she could use it to work with the massing. She asked the Commissioners what they preferred for an appropriate style expression. Chairman Wyckoff said he'd like to see it much more traditional, like a Dartmouth building, especially in that location coming across from Portsmouth's Colonial section, and that he'd like the front of it to be more formal. He said the hotel was a whole other thing. Ms. Doering said

that, given the length along Raynes Avenue, she'd find it difficult to make a center of the really long piece and thought the most logical place was where the white corner accent was because someone didn't have to walk all along Raynes Avenue to get there. She said some of the attempts to make the one-story piece that stuck out not to be something that looked like a tall cliff and a long shelf made it sit out like a port cochere. She suggested playing off the projecting terrace elements more. She said the building would benefit from a bit of sacrifice on the rooftop by having a step down to the road and respecting the buildings across the way. Mr. Adams said he was a big proponent of front doors and thought that two front doors could be done. He said he saw Option 3 as more of a full composition and not a thing made out of parts that were dependent on each other. He said the piece along Maplewood Avenue was a little dependency of that but the main piece had a composition. He said he was also a fan of windows with headers and sills and thought a buyer would want the feeling that they bought into a specific place in town rather than something that was nearby.

Ms. Goodknight reviewed Option 2 and said it was cleaner and more modern and industrial, with a lighter shade of brick, a diminished penthouse level, and stronger elements on Maplewood Avenue. Mr. Ryan said the low element on Maplewood Avenue seemed stepped down and he couldn't see the doorway that got to the roof deck. He suggested making the roof deck the whole expanse of it. He said he didn't like the base as much as the one on Option 1 and he thought Option 2 needed more focal points and hierarchy, like an element at the roof or the street. Vice-Chair Rueding agreed. She said working the traditional into a modern building was difficult but there were references of it in the window proportions, headers, bricks, and so on. She said the building could be simplified by having a few more contemporary details here and there. She said she wasn't a fan of the buff black brick and that it didn't reference much of Portsmouth. She said she was leaning in the direction of Option 1. Mr. Brown said he liked Option 1. He said he knew the applicant was trying to bring the building down to the neighborhood but thought it looked like some garage that was added on at the last minute.

Chairman Wyckoff said there was something about Option 1 that seemed to lessen the mass, but he agreed with Vice-Chair Ruedig about the buff brick. He said he'd like to see a stronger base and a large formal entryway, like a lobby. He suggested replacing the white corner with bricks. Ms. Goodknight said the base could be strengthened and some vertical elements could be retained to make the building more traditional. Chairman Wyckoff said there would be more space between that and the hotel if the building was shortened a bay. Mr. Ryan said the Miami Beach-style balconies with glass rails were foreign to the rest of the language on Option 1 and that he also didn't like the buff brick. He suggested voiding out the bay quality of the dark vertical elements to turn them into traditional balconies.

Ms. Goodknight said Option 3 was just an update of what was previously presented and that it had more going on than the other two options. Chairman Wyckoff said Option 3 was okay but that Option 2 had balconies that went away a bit better and Option 1 had the worst balconies. Mr. Ryan said the first-floor element of Option 3 was stronger than the other two options and more architectural, with more appealing elements. The awnings were discussed. Mr. Adams said they had no bracket or support. Mr. Ryan said they seemed plopped on in one view but were more integrated into the building in another view. Chairman Wyckoff said Option 3 looked like it was 50 feet shorter than Option 1, and it was further discussed.

Ms. Goodknight reviewed the three options for the hotel. Mr. Ryan said he liked the brickwork on Option 1 but was bothered by the fact that the vertical elements that reached a horizontal element had the same width. He said there should be more articulation. He said he liked the upper right-hand inspiration because there was some hierarchy of elements. Mr. Adams said there was a balanced composition to it. He agreed that the back of the hotel had a lot of heavy vertical but nothing seemed to happen at the top, so the parts didn't relate to each other. Ms. Doering said Option 2 was the most successful except for the mass. Vice-Chair Ruedig said she wasn't excited by any of the three options because the hotel was too big and read too much like a hotel. She said all the little windows had a disinteresting quality because they were so regular. Mr. Brown said he liked Option 2 and that his concerns about mass were less because it was away from Maplewood Avenue, but he felt there could be some reduction of the mass on the condo part. He said Option 2 had a pleasing balance to it. Vice-Chair Ruedig said the left side of it that was more brick screamed 1970s and she thought it was due to the panels in between. Mr. Ryan said he liked Option 1 because it had more masonry and punched openings and looked more traditional. He suggested changing the windows slightly at the top to break up the cookie cutter effect. Vice-Chair Ruedig said Option 3 had elements that were helpful in terms of the massing but not the colors, and she thought the brick part should be actual red brick. She said there was enough of a framework around the central part over the opening that made it look like a separate section and broke up the monotonous rhythm of the windows. She thought the black top story could be set back a bit but felt that the design elements tricked the eye enough to break up the massing. Mr. Adams said it could be turned into a composition of two flanking pieces to the center drive-through and then come up with a mechanism to handle the excess on the left-hand side. He said it might be a place to set back or rearrange the fifth floor so that there was a bit less of the wall. Chairman Wyckoff said it looked better from the water. He agreed that Option 1 would be better with the bricks continuous all the way over to the center portion. He said something could be done with the fifth floor because the building read like a traditional brick building through four floors. It was further discussed.

Chairman Wyckoff opened the public comment session.

Public Comment

Elizabeth Bratter of 159 McDonough Street said the massing was wild. She said the buffer was like a sidewalk, where the building could go straight up 3, 4 or 5 stories instead of just one step and that its ability to step wasn't changed by the buffer. She said the project was moving in the right direction and noted that she submitted a letter with more detail to the Commission.

Karen Bouffard of 114 Maplewood Avenue said elements and colors were changing but that she still had a problem with the mass, especially on Maplewood Avenue. She said the back of the building that looked out to the pond should look more important. She asked how much open parking would be on the lot. Ms. Goodknight said there was a significant reduction in parking since the beginning of the project.

No one else spoke, and Chairman Wyckoff closed the public comment session.

DECISION OF THE COMMISSION

*Mr. Adams moved to **continue** the work session to a future meeting, and Vice-Chair Ruedig seconded. The motion **passed** unanimously, 6-0.*

Ms. Bouffard returned to her voting seat.

B. Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts. (LUHD-366)

WORK SESSION

The project team was present on behalf of the applicant. No names were given. The applicant reviewed the petition. He said they were limited on how much they could do with the entrances for the building without putting in stairs or ramps and that they wanted to try a roof screen for the mechanical equipment. He said they tried to break up the mass by putting rounded elements on both ends that drew into the center. He said an oval inner lobby was created at the corner of Maplewood Avenue and Deer Street as an entrance and the banding was filtered through the brick and set back. He said the office building and Building C were more metallic and the center building had more brick. He noted the Commission's previous concern about the buildings looking false and said he wanted to make them feel like they were one cohesive site and not feel so massive. Chairman Wyckoff said he was happy with the back of Building 1 because the bricks looked structural. Mr. Adams agreed.

The applicant said Building 2 had a division to hide the roof screening elements but pay homage to it. He said the windows had a more rhythmic pattern and the colors were fixed to balance the building better on the two ends. Vice-Chair Ruedig said the roof screen looked weird. The applicant said it wasn't resolved. He said they now had recessed buildings and other things to create more value for the tenants, like Juliet balconies and bay windows, and they were trying to create some modularity. He said they wanted to have a 2-story condo entrance and were working on a mix of apartments. He showed a rendering of a typical bay and said the new version had a recessed 6-ft deep balcony but the façade hadn't changed.

The applicant said Building 3, the Flat Iron building, was almost the same as Building 1 but was very narrow and was an opportunity for a nice retail space with apartments above. He said the lobby was moved further up Deer Street. Mr. Ryan said he liked the curved quality on Building 3 and asked if it had segments of glass. The applicant agreed. Mr. Ryan said a lot of detail would go into making the glass work. The applicant said they were 5-ft panes of flat glass and the banding would make the difference by wrapping around. It was further discussed. Mr. Brown asked if the buildings would be fenced in. Mr. Cracknell said the railroad company could fence it in if they wanted to. Ms. Bouffard said she liked the way the Flat Iron building was incorporated into Maplewood Avenue and also liked the mansard roof.

Vice-Chair Ruedig said the project was going in a good direction. She said she appreciated the Maplewood Avenue side and wondered if the back side should also have a bit of a curve because it looked almost too uniform and like a large warehouse. She said she liked that there was lots of glass but wondered if Building 3 could have less glass and more masonry to give the three buildings more variation, otherwise there might be a lot of curtain seen. Ms. Doering said the office building was turning out to be very successful. She asked about the metal part in the Flat Iron building. The applicant said the metal weaved through the building but didn't go to the lobby. He said the glass part was really just the oval and then there was brick, iron, and brick. Ms. Doering said it looked really long and disproportionate and was a very blunt and very tall mass, even though it was skinny. She asked if the applicant thought of pulling it back. The applicant said they tried it. He said it was a powerful piece that had a great effect from the street and a much sharper angle from the brim. Ms. Doering said the back of Building 2 looked like a hodgepodge, and she suggested making the lower section that screened the garage into public art or carved concrete cast pieces. The applicant said it was a metal screen that would look like a green trellis. Ms. Doering said the mansard roof didn't work for her. She said there was something about the thinness of the brick and the very large windows that brought a modern element to the building but it didn't look like it had the right proportions for a brick building.

Mr. Adams said he liked the simplicity at the prow end and the way it was mirrored on the other side of the building. He said he appreciated the way the curved glazed end was engaged with the building in a rectangular manner instead of the previously skewed one. He said he was excited by the centerpiece on Building 2. He said he wasn't sure the roof structure would work but thought it would create an opportunity for its own cornice and give a great sense of mass to that piece of the building. He said the multiple unit glazing openings were not a traditional form in Portsmouth and were reminiscent of the post-and-lintel factory buildings from the previous century. He said he wasn't comfortable with the windows having such long compositions and suggested that they be brought down so that a few weren't that way. He said Building 2 was made of five pieces and asked if the centerpiece could be moved to allow for normal-sized windows. It was further discussed.

Chairman Wyckoff said he agreed with Mr. Adams about the Maplewood Avenue façade's curved glass on both ends and suggested that it go around Maplewood Avenue on the side of the railroad tracks. He also agreed that it had too much glazing. As for Building 2, he said he liked what was done with the centerpiece entry but thought the roof looked fake. He said a two-story entryway would really make a difference. He said he liked the back of the building. He suggested taking one of the buildings going down to the left and making it brick with more conventional windows to break it up a bit. He said he had no problem with Building 3's height or mass and thought it was successful. Mr. Ryan said the project was coming into harmony but asked that visual tricks not be done with Building 2's roof. He asked about the color mixture of bricks. The applicant said it would go from darker bricks on the ends and slowly fade in for each of the buildings. Mr. Ryan said that seemed like a visual trick to make it seem like it wasn't one building. He said he liked the bookend features of the two ends and preferred to see some of that in Building 2 to tie it all in. He said he liked the Chicago-style windows but thought the punched openings was another element in the complex to make it look like the building portions were built at different times. He said the base was great.

Chairman Wyckoff opened the public comment session.

Public Comment

Elizabeth Bratter of 159 McDonough Street said the rendering of the massive six-story front of Building B was directly across from the Hill and made the Hill look tiny and the building itself ten times bigger. She suggested that something be done to make it tie into the Hill and bring it down in mass. She said the alleyway for the public space could be bigger if Building B was shorter. She referred to her detailed letter that she previously submitted to the Commission.

No one else spoke, and Chairman Wyckoff closed the public comment session.

The applicant then showed the Commission representations of working models for the project.

DECISION OF THE COMMISSION

*Ms. Doering moved to **continue** the work session to the April 6 meeting, and Mr. Brown seconded. The motion **passed** by unanimous vote, 7-0.*

C. Work Session requested by **One Market Square, LLC**, owner for property located at **1 Congress Street & 0 High Street**, wherein permission is requested to allow renovations to an existing structure (repair and upgrade building facades along Congress and High Streets) and new construction to an existing structure (replace rear shed additions with new 4-5 story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 117 as Lot 14 & 15 and lies within the Character District 4 (CD4), Character District 5 (CD5), Downtown Overlay and Historic Districts. (LUHD-425)

WORK SESSION

Project architect Tracy Kozak was present on behalf of the applicant, as well as developer Mark McNabb and landscape architect Terence Parker. Ms. Kozak said the project was to restore the buildings on Congress and High Streets and add 4-story addition on the back. She said the project team was working with the City to develop greater alleyways and that a skyway bridge to the city garage would be built but reviewed at a later time. Mr. Parker briefly presented the landscape plan and said it could potentially connect the east and west portions of Portsmouth.

Chairman Wyckoff said the new building seemed to project out further than the other buildings. Ms. Kozak said the front wall was aligned with One Congress Street and they were proposing an awning that projected over the sidewalk. Mr. McNabb said they stepped the building back to respect the opera house. Ms. Kozak said One Congress Street wasn't parallel to the property line and the opera house was a few degrees off. She said the proposed building would be three stories with a short fourth and underground parking. She said the skylights and dormers would be on the same floor to bring in light, and the windows were larger as they got away from Market Square.

Mr. Ryan said he appreciated the restoration of the two original buildings and bringing back some of the elements. He said the massing worked and that it referenced the historic district. He

asked what the intention was for some of the unconventional elements. Ms. Kozak said it was to get light to emerge from darkness. She said the windows were bay windows but without the flat part in the middle to get some shadow lines across the façade. She said they called corner windows. Mr. Ryan asked about the series of different windows on the street level. Ms. Kozak said they would open horizontally but were shown on different levels as they opened and would lift up off the sidewalk. She said the corner element was a wayfinding element that recalled the church steeple and alluded to the clock tower mechanisms and also represented light. Chairman Wyckoff suggested that it be made more representative of the North Church by making it a steeple or having a clock rather than look like something from a Kansas farmland. Ms. Kozak said it was a truncated square prism and was a play on the clock tower steeple.

Vice-Chair Ruedig said it was all very clever and that Ms. Kozak's explanation helped her understand and appreciate it more. She said the new building and design were cleverly done. She said she liked the gradation of the window openings and thought the use of the corner windows was interesting. She thought the shape of the roof might be a bit too much of a projection of the eave line. She said it was a big addition to the block but thought it was done in a way that wasn't necessarily bigger in height and respected the historic buildings. Ms. Doering said she was concerned that the arch at the top of the opera house would be obstructed. Ms. Kozak said she would take some perspective views of it. Ms. Doering said she appreciated that part of the building was set back to create a shadow but thought it would be more effective to move the rest of the new building back so that it didn't line up 100 percent. She asked what would be done to the Congress Street side. Ms. Kozak said they wanted to put a dormer because of the giant firewall that didn't line up and that the dormer would balance it more. Ms. Doering said she thought it was too fancy for the building under it, and Ms. Kozak agreed.

Mr. Adams said the balcony arrangement was too overdone on Congress Street. He said the windows broke all precedent for him and that he didn't care for the angled windows sticking out from the front of the building. He said he couldn't imagine the erector set-looking thing on the corner. He said the combination skylights and dormers nestled the way they were was awkward. He was puzzled by the need to do the roof portico over the entryway to the opera house, and he thought the building's semi-classical mansard type roof was out of scale and didn't relate to the building. Mr. Brown said the awning over the opera house didn't make sense and detracted from it. Mr. McNabb agreed that the awning needed some work. Chairman Wyckoff said the awning didn't belong on the opera house. He asked what the building's material would be. Ms. Kozak said they wanted a stone masonry base and an upper granite or terra cotta. Chairman Wyckoff said the roof was too convoluted, with the dormers, skylights, overhangs and so on. He said the first-floor windows didn't work for that particular site, and it was further discussed. Ms. Bouffard said she was concerned about the awning over the opera house because it added to the other superfluous things. She agreed that the roofs and dormers were busy and detracted from the uniqueness of the front buildings. She also thought the balcony wasn't necessary. Mr. Ryan said he liked the creativity that was being brought to the building.

Chairman Wyckoff said the Commission seemed comfortable with the size of the building. He opened the public comment session.

Public Comment

Elizabeth Bratter of 159 McDonough Street said it was great that the building was being restored but had concerns about removing the parking lot. She said the goal in larger cities was to remove parking lots by putting them underground and replacing them with greenspace to address pollution concerns. She said filling in the parking lot would also change the feel of that area and remove a lot of the light and safety.

No one else spoke, and Chairman Wyckoff closed the public comment.

DECISION OF THE COMMISSION

*Vice-Chair Ruedig moved to **continue** the work session to the April 6 meeting, which was seconded. The motion **passed** by unanimous vote, 7-0.*

D. Work Session requested by **445 Marcy Street, LLC**, owner for property located at **445 Marcy Street**, wherein permission is requested to allow the construction of a new single family residence with attached garage as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 3 and lies within the General Residence B (GRB) and Historic Districts. (LUHD-424)

WORK SESSION

Project architect Tracy Kozak was present on behalf of the applicants and the owners Jim and Gail Sanders were also present. Ms. Kozak reviewed the petition, noting that the house would be lifted 13 feet above the flood zone, and that it would sit on piers and be wrapped in a skirt of trim and lattice. She said the front of the house faced toward Pray Street and the garage was set back from Partridge Street and would probably be fenced. She addressed the Commission's previous comments about the entrance not being prominent enough and said they made it wider and brought it forward a few feet. She said it was still a porch on the corner and that they wrapped around the stairs and railings, brought the front door forward, and extended a trellis along the trim of the porch to cast some shadow. She said the roof was adjusted down and forward a few feet so that all the roofs connected.

In response to Chairman Wyckoff's comment that the building height wasn't reduced, Ms. Kozak said they just changed the fascia height over the porch and added a bit of a hip roof skirt where the roof deck was. Ms. Doering said it was the same building the Commission saw the previous time. She said she visited the lot again and wondered what might happen to the small building next to it. She said she was concerned that two large buildings might end up next to each other in the middle of an area with really small buildings, with the exception of the salt box and the Victorian on the corner. She said the building didn't seem to fit the mass of the neighborhood. She said she could see putting a modern building in if its lines were simpler and more reflective of the neighborhood's simple buildings, or even a larger building if it had simpler lines and didn't look like such a complex building surrounding by uncomplex buildings. Ms. Kozak said there were a lot of different houses in the neighborhood and that she wasn't trying to replicate the Federal style but was looking at the Queen Anne building on the corner in a simpler term. She said the building would be located across the street from an open space, so they were sensitive to the small Colonials across the street and were playing on the variety of the

neighborhood. Chairman Wyckoff said a foot could be gained by having a conventional 8-ft ceiling on the first floor and another foot could be gained by reducing the roof pitch a bit.

Mr. Adams said he was struck by how large the building looked compared to some of the other buildings near the site. He said it was a modern building and that a common tactic was to pick out the two largest buildings that satisfied the requirements and then say the house wasn't bigger than those, yet there were 1-1/2 story buildings right next door. He said the Commission tried to make things seem like they fit in better and that he didn't get that feeling with the proposed building. He noted that the window head-to-sill height was larger than what was normally seen and wasn't sure that changing it by six or eight inches would change the scale of the house. He said the proposed house was big, chunky, and plain and had none of the trim or accoutrement of a Queen Anne house but had all of the scale. Mr. Brown said it was a unique house but worried that the scale was too big for the neighborhood. He said the front lot would have another big house eventually and would dwarf all the historic houses around it. Ms. Bouffard said she agreed with everything the Commission said. She said the roofs bothered her because there were so many of them, and she didn't see how the house related to the majority of the houses in the neighborhood. Mr. Ryan said he didn't think the house was grossly bigger than some of the large houses in the area. He said it had a very large lot and was a brand new house. He said dropping it down a bit would help but that he would support the house as proposed. He agreed that another large house could be built on the next lot that would work in favor of the proposed house by making it even more tied to its context. He said the current tiny Monopoly house next to it didn't help. Vice-Chair Ruedig said she agreed with a lot of the comments. She said dropping it down would help, but it was a new construction house and she had no problem with its style or design. She said it could be squeezed in a bit to fit in with surrounding properties but the lot had been a big, open one for so long and that anything put on it would take some getting used to.

Chairman Wyckoff said he still had a problem with the massing and liked the idea of dropping it a foot between the first and second floors and reducing the roof pitch, which would get rid of three feet. He said he didn't understand the big round window but liked what was done with the door and the monumental stairs as long as the rails were appropriate. He said he had no problem with the garage in the back. He said in general the house could be very nice but just had the impression of massiveness, which was something that would have to be cured one way or another. He opened the public comment session.

Public Comment

John Eberlein of 454 Marcy Street said he had hoped the lot would be developed as a single lot but knew the applicant could subdivide it if they got the approval. He said the neighbors were concerned about the massing because it was too big, and much bigger than the Queen Anne on the corner. He said the mélange of styles was another issue, noting that if it was a simple and cohesive structure, it wouldn't seem so large. He said it was jarring that there were so many different pieces to it, especially given the size of the house. He said the building had to be considered in relation to the smaller houses on Pray Street and the small candy shop.

Mrs. Eberlein (no first name given) of 454 Marcy Street said she and her husband would be looking straight over the little candy store into a wall. She said the garage was taller than a lot of

the primary structures around it. She said she was also concerned that her water views would be blocked. She said Pray Street was very narrow and the bigger homes that the structure was being compared to were on wider streets. She said there must be a relationship between the width of the street and the height of the building. She said that she outlined her concerns further in a letter she submitted to the Commission.

Susan MacDougall of 39 Pray Street referenced the detailed letter she sent to the Commission and the owners. She referred to the Commission's guidelines and said the building should relate to the buildings on adjacent sites in scale, height, and width. She said a new building that's larger than adjacent ones should be broken up in mass to conform to the adjacent buildings, but the proposed structure was one big mass and wasn't broken up. She said the tallest part of the building was right up to the front setback line, and she was concerned with how it would impact the other building across from it in terms of light, environmental impact, and solar impact. She said the building wasn't similar in form to the ones on adjacent sites and took its elements from the Queen Anne house, elements that weren't consistent with the rest of the neighborhood.

Mark Minenberg of 437 Marcy Street said he was the owner of the Queen Anne house. He reviewed graphic images of houses in the neighborhood and how big the proposed house was in comparison to them.

Bruce Addison of 17 Pray Street said he would be in the shade when the sun set and was concerned about the water runoff.

Sally Elshout of 17 Pray Street said she and her husband were very concerned about the mass and size of the house compared to the ones around it and that it wasn't in keeping with the neighborhood and the HDC guidelines. She said they were also concerned about their house being flooded. She noted that the street was narrow and difficult for construction vehicles also.

No one else spoke, and Chairman Wyckoff closed the public comment session. He said the problem would get worse and eventually everyone in the neighborhood might have to raise their houses. He said the Commission had a document available to the public in how to raise a house.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **continue** the work session to the April 6 meeting, seconded by Vice-Chair Ruedig. The motion **passed** by unanimous vote, 7-0.*

III. ADJOURNMENT

The meeting was adjourned at 10:40 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

April 06, 2022

- | | | |
|-----|---|------------------------|
| 1. | 28 Chapel Street (LUHD-437) | -Recommended Approval |
| 2. | 64 Mt. Vernon Street (LUHD-441) | -Recommended Approval |
| 3. | 92 Pleasant Street (LUHD-443) | -Recommended Approval |
| 4. | 284 New Castle Avenue (LUHD-442) | -Recommended Approval |
| 5. | 137 Daniel Street, Unit # D301 (LUHD-439) | - Recommended Approval |
| 6. | 35 Bow Street (LUHD-446) | -Recommended Approval |
| 7. | 414 State Street (LUHD-449) | -TBD |
| 8. | 77 Wentworth Street (LUHD-450) | -Recommended Approval |
| 9. | 100 Deer Street (LUHD-451) | -Recommended Approval |
| 10. | 52 Prospect Street (LUHD-452) | -TBD |

1. 28 Chapel Street - Recommended Approval

Background: The applicant is seeking approval for several repairs and replacement items (clapboard siding, frieze boards, window trim, etc.)

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-437****Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** Feb 24, 2022**Applicant**

Tom Irwin
tfirwin2013@gmail.com
28 Chapel Street
Portsmouth, NH 03801
(603) 219-6746

Location

28 CHAPEL ST
Portsmouth, NH 03801

Owner:

IRWIN LAUREN S & IRWIN THOMAS F
28 CHAPEL ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

The work will involve ordinary repairs where water damage, wood rot or other similar/related damage is found. It will include: in-kind replacement of damaged clapboards on the lower front of the house;
in-kind replacement of the frieze boards on the front of the house (on both sides of the front door);
in-kind replacement of portions of window trim on the front of the house where water damage is found;
in-kind replacement of corner trim (likely some or all of the corner trim on the front, southeasterly corner);
in-kind replacement of any other building parts discovered to be water-damaged when damaged clapboards are removed for replacement;
possibly repair or in-kind replacement of clapboards behind the electric / meter box located on the northerly side of the house.

The work also will include ordinary repairs to prevent water damage, including:

in-kind replacement of the aluminum gutter downspout on the front of the house (southeasterly corner), which is currently leaking;
repair or possible in-kind replacement of trim on a window located on the first floor, front of the house, near southeasterly corner;
possibly the replacement of flashing where needed to avoid water damage (possibly on the front and southerly sides).

In addition to this work, we will be working with a window restoration contractor tod remove existing windows and restore them off-site (all nine windows on the front of the house; the only window on the southerly side of the house (second floor); one window on the back of the house (first floor); and three windows on the back of the house (second floor). We also will replace existing, poorly functioning aluminum storm windows with custom-made wood storm windows.

Description of Proposed Work (Planning Staff)

several in-kind repairs and replacement items as well as approval to have (9) windows restored with new wood storm-windows

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

To: Historic District Commission, City of Portsmouth
Cc: Nick Cracknell, Principal Planner, City of Portsmouth
From: Tom Irwin, 28 Chapel Street, Portsmouth, NH
Re: In-Kind Repairs, Replacements, Renovations

As stated in our application, we seek administrative approval to enable needed repairs of our single-family residence, located at 28 Chapel Street. Built in 1850, the house is in need of ordinary repairs and in-kind replacements largely as a result of water damage (in some instances potentially just from age). It also requires painting, the renovation of existing windows, and the replacement of existing, poorly functioning aluminum storm windows.

As depicted in photos provided with our application:

The work will involve ordinary repairs where water damage, wood rot or other similar/related damage is found. It will include: in-kind replacement of damaged clapboards on the lower front of the house and a clapboard on the northern side of the house; in-kind replacement of the frieze boards on the front of the house (on both sides of the front door); in-kind replacement of portions of window trim on the front of the house where water damage is found; in-kind replacement of corner trim (likely some or all of the corner trim on the front, southeasterly corner); in-kind replacement of any other building parts discovered to be water-damaged when damaged clapboards are removed for replacement; in-kind replacement of a small, water-damaged component of the right-side of the portico; and possibly repair or in-kind replacement of clapboards behind the electric / meter box located on the northerly side of the house.

The work also will include ordinary repairs to prevent water damage, including: in-kind replacement of the aluminum gutter downspout on the front of the house (southeasterly corner),¹ which is currently leaking; repair or possible in-kind replacement of trim on a window located on the first floor, front of the house, near southeasterly corner; possibly the replacement of flashing where needed to avoid water damage (possibly on the front and southerly sides); and the installation of a small missing piece on the lower left side of the portico.

In addition to this work, we will be working with a window restoration contractor to remove existing windows and restore them off-site (all nine windows on the front of the house; the only window on the southerly side of the house (second floor); one window on the back of the house (first floor); and three windows on the back of the house (second floor). We also will replace existing, poorly functioning aluminum storm windows with custom-made wood storm windows.

¹ Depending on cost, we may consider replacing the existing aluminum downspout with a wooden one.

















2. 64 Mt. Vernon Street - Recommended Approval

Background: The applicant is seeking approval for the installation of an A/C condenser.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-441**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 8, 2022**Applicant**

Erika Beer
erika_beer@hotmail.com
64 Mount Vernon Street
Portsmouth, NH 03801
6178215938

Location

64 MT VERNON ST
Portsmouth, NH 03801

Owner:

BEER CYRUS LAWRENCE GARDNER & BEER ERIKA CARON
64 MT VERNON ST PORTSMOUTH , NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Installation of Central Air

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information**Owner Addressee Full Name and Title**

--

Owner Addressee Prefix and Last Name

--


Owner Organization / Business Name**Owner Contact Street Address**

E
J
TAX
R.C.R.D. B

88.3/4 / 85/4

Drain Manometer

NO3°55'30"E



Existing
House
#54

Five Cages

92° 7' 25" 40"

TAX MAP 111
LOT 30

77.89' [Over 77'a]

5/8" x IRON ROD
w/CAP #931
SET 5" HIGH



CONDENSER

Rheem, Rheem Classic Series Condenser 13 SEER, 3.00 Ton, Air Conditioner

Description:

Count on Staying Cool and Comfortable- A smart, efficient design makes the Rheem Classic® Series Air Conditioner one of your best options for staying cool inside. Each new unit includes a generous list of features that work together to bring you quiet, efficient and reliable indoor comfort.

Reliable and legendary- Scroll compressor technology makes the Classic® Series as efficient as it is durable. The optimized fan orifice also contributes to quieter operation, optimal airflow and better overall performance. Simply put, you get efficient comfort that lasts a very long time.

A quieter and more durable unit- Starts with our smart new composite base pan. The design helps eliminate corrosion and adds to quieter performance. Extensive UV testing was done to ensure the base pan stays looking new for years to come. Our improved refrigerant tubing design also contributes to quieter, more reliable operation. For added strength, louver panels and rugged corner posts on the exterior do an excellent job protecting the inside.

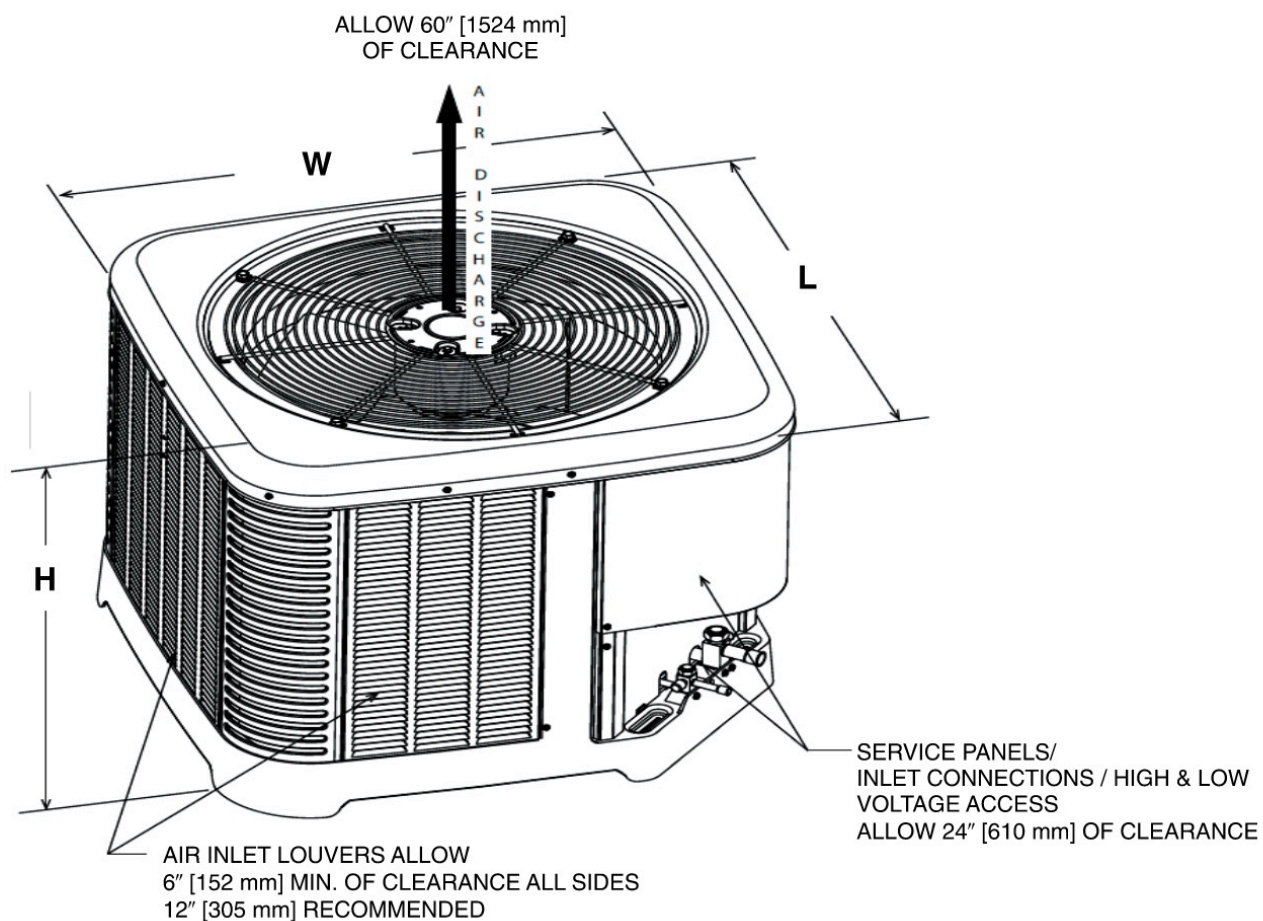
Curb appeal- Aesthetics is not lost on our new Classic® Series. Our air conditioners look as good as they operate. Modern cabinet aesthetics allow your unit to put its best face forward, and a powder coat paint system provides a lasting, professional finish.

Fast and accurate installation and maintenance- means your savings start with the installation of your new unit. Our Classic® Series Air Conditioners are built to go in fast and easy. The control box is also easy to access, and a roomy diagnostic service window means maintenance calls go quickly, saving you time and money.

WARRANTY INFO!

Unit Dimensions

MODEL NO.	OPERATING						SHIPPING					
	H (Height)		L (Length)		W (Width)		H (Height)		L (Length)		W (Width)	
	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm	INCHES	mm
RA1318	27	685	29.75	755	29.75	755	28.75	730	32.38	822	32.38	822
RA1324	25	635	29.75	755	29.75	755	26.75	679	32.38	822	32.38	822
RA1330	25	635	29.75	755	29.75	755	26.75	679	32.38	822	32.38	822
RA1336	27	685	29.75	755	29.75	755	28.75	730	32.38	822	32.38	822
RA1342	31	787	29.75	755	29.75	755	32.75	831	32.38	822	32.38	822
RA1348	27	685	33.75	857	33.75	857	28.75	730	36.38	924	36.38	924
RA1360	31	787	35.75	908	35.75	908	32.75	831	38.38	974	38.38	974









3. 92 Pleasant Street - Recommended Approval

Background: The applicant is seeking approval for replacement windows on the third floor and to remove the aluminum siding from Pleasant and Court Streets.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-443**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 9, 2022**Applicant**

Barbara Jenny
workingstiff@comcast.net
94 Pleasant St
Portsmouth, NH 03801-4505
6032347402

Location

92 PLEASANT ST
Portsmouth, NH 03801

Owner:

WORKING STIFF PROPERTIES LLC
94 PLEASANT ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Replace failing third floor RIVCO replacement windows (8) and remove aluminum siding from Pleasant and Court façades

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

Professional Builder

Full Name (First and Last)

Matthew Beebe

Business Name (if applicable)

MDBdesign LLC

Mailing Address (Street)

81 Lincoln Ave

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

603-234-7398

Email Address

matthewdbeebe@comcast.net

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

92-94 PLEASANT ST

admin approval application



↖ 92-94 PLEASANT ST





1. Built in 1807; burned March 28, 1890. Had a Revere

Remove aluminum siding
and
Replace old failing third
floor RIVCO 1-over-1
replacement windows
with
Green Mountain* 6-over-6
windows

*oft recommended by the HDC





< Existing conditions ^

- 3 of 8 3rd floor windows currently must be permanently locked so sashes don't fall out
- 3 storms have fallen off and hit the sidewalk

3RD FLR WINDOWS

Replace with Green Mountain Historic Remodel Replacement Windows—all 3rd floor windows.

Sash and jamb liner track applications:

“With this system we make new energy efficient sash that mimic the sightlines of the original sash. And we supply a vinyl jamb liner/sash balance system that gets applied to the existing window frame.”



No storms
No screens

*(no detail-
obstructing
reflections or
shading)*

pictured: South End historic district examples



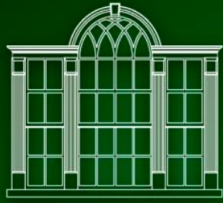
HDC REPLACEMENT WINDOW CRITERIA

windows encouraged, with greatest possibility for flexibility for alternate materials that include a profiled exterior frame and/or muntin system, preferably with a painted exterior finish

When is HDC Review Not Required?

A Certificate of Approval is not required for:

- A replacement exterior door, window or storm window, provided that it matches the historic design and materials — or if the materials used restore the original architectural features, including but not limited to the number and arrangement of window lights, use true and non-removable divided lights, and ensure that the size of window openings does not change



GREEN MOUNTAIN
WINDOW & DOOR™
COMPANY

News

HISTORIC REMODEL, HISTORIC REGISTRY & LANDMARK PROPERTY WINDOW REPLACEMENT



GREEN MOUNTAIN WINDOW SPECIALIZES IN WINDOW REPLACEMENT SOLUTIONS FOR THE NORTHEAST'S HISTORIC BUILDINGS. OUR WINDOWS ARE DESIGNED TO BLEND THE DETAILS AND PATTERNS ONCE USED BY LOCAL CRAFTSMAN IN NEW ENGLAND'S SASH MILLS WITH THE LATEST ENERGY PERFORMANCE TECHNOLOGY.



FOUR DIFFERENT REPLACEMENT SYSTEMS:

- FULL FRAME WINDOW
- INSERT "BOX" WINDOW
- SASH & TRACK BALANCE KIT
- SASH & CONCEALED BALANCE KIT



MDB DESIGN LLC

Construction Consulting
Residential Design
Residential Builds

81 Lincoln Ave. Portsmouth, N.H. 03801

603-234-7398 Mobile

CONSULTANTS

92-94 PLEASANT STREET
APT #2

RENOVATIONS TO
92-94 PLEASANT STREET
PORTSMOUTH, NH 03801

MARK	DATE	DESCRIPTION
	1/14/22	PRELIMINARY DESIGN

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHKD BY:
COPYRIGHT

SHEET TITLE

ELEVATIONS

A4



GABLE END ELEVATION

3/16" = 1'-0"



REAR ELEVATION

3/16" = 1'-0"



FRONT ELEVATION

3/16" = 1'-0"

REMOVAL OF ALUMINUM SIDING

- **Non-Contributing Properties** — Restoration of historic woodwork encouraged, with greater possibility for flexibility for alternate materials, particularly if appropriate for building type and construction period
- **Addition** — Exterior woodwork encouraged, particularly where highly visible from the public way, with greatest possibility for flexibility for alternate materials at areas with limited publicly visibility
- **New Construction** (Single- and double-family residences) — Exterior woodwork encouraged, particularly where highly visible from the public way, with greatest possibility for flexibility for alternate materials at areas with limited public visibility
- **New Construction** (Large-scale commercial and residential) — Exterior woodwork encouraged, particularly where highly visible from the public way, aluminum trim possible at masonry clad buildings with appropriate detailing

When is HDC Review Not Required?

A Certificate of Approval is not required for:

- The maintenance, repair or replacement of exterior wood siding, shingles, trim or ornament, provided that the same design and materials are used — or if the materials used **restore the original architectural features**, including but not limited to the dimensions, profiles, joints and **painted finish**
- The painting or repainting of exterior woodwork at buildings or structures

The HDC encourages:

- **Retaining and maintaining existing exterior woodwork including siding**, shingles, trim and ornament
- Repairing or replacing wood siding, shingles, trim and ornament in-kind using wood material of the same size, dimensions and profiles as the existing
- Following guidelines for maintenance and repair of historic wood trim and ornament as outlined in the *Exterior Wood Checklist*, page 05-3
- Applying a painted finish to all exterior woodwork and composite materials, with appropriate type of paint for material and color appropriate to the building style (Refer to *Exterior Paint, Guidelines for Exterior Maintenance*, page 03-14)

If replacement of exterior woodwork is warranted, the HDC may allow:

- Using modern fiber-cement and PVC composite materials as an alternative to wood only in locations where rot is a severe problem, and there is minimal visibility from the public way

The HDC discourages:

- Removing or replacing wood siding, shingles, trim, ornament and decorative elements such as brackets, spindles, cornices, columns, posts, etc.
- Installing fiber-cement siding or PVC trim at areas visible from the public way
- Installing vinyl siding or capping in lieu of wood as a building material
- Installing aluminum siding or capping over exterior woodwork

SIDING EXISTING CONDITIONS



4. 284 New Castle Avenue - Recommended Approval

Background: The applicant is seeking approval for the installation of an outdoor shower area, surrounded by a cedar enclosure.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-442**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 9, 2022**Applicant**

Michael Millikan
michael.millikan@icloud.com
284 New Castle Ave
Portsmouth, NH 03801
6092739388

Location

284 NEW CASTLE AVE
Portsmouth, NH 03801

Owner:

LEON KAREN B
1218 RIVER RD TITUSVILLE, NJ 08560

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Installation of outside shower with Cedar Enclosure

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

Domestic Partner

Full Name (First and Last)

Michael Millikan

Business Name (if applicable)

--

Mailing Address (Street)

284 New Castle Ave

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

6092739388

Email Address

michael.millikan@icloud.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

HDC Administrative Approval Request
Outside Shower with Natural Cedar Enclosure
For
284 New Castle Ave

Property Owner: Karen Leon
Submitted By: Mike Millikan

We are requesting approval for the installation of an outside shower with a natural unfinished cedar enclosure that will match the materials and style of current fencing on our property at 284 New Castle Ave.

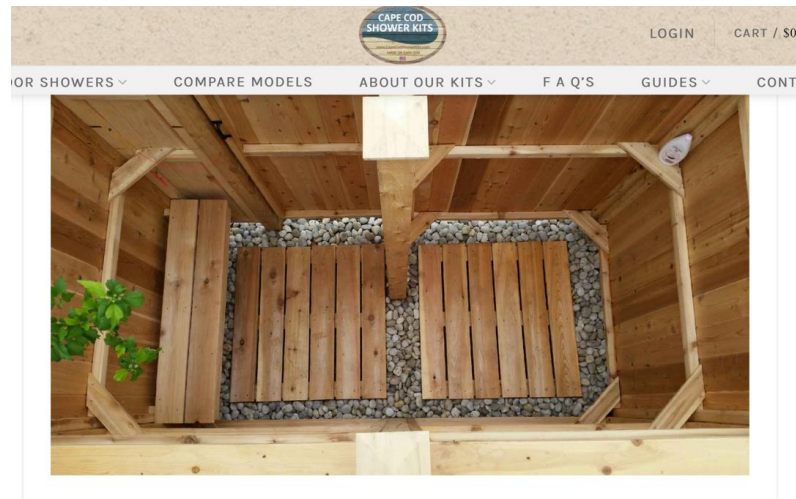
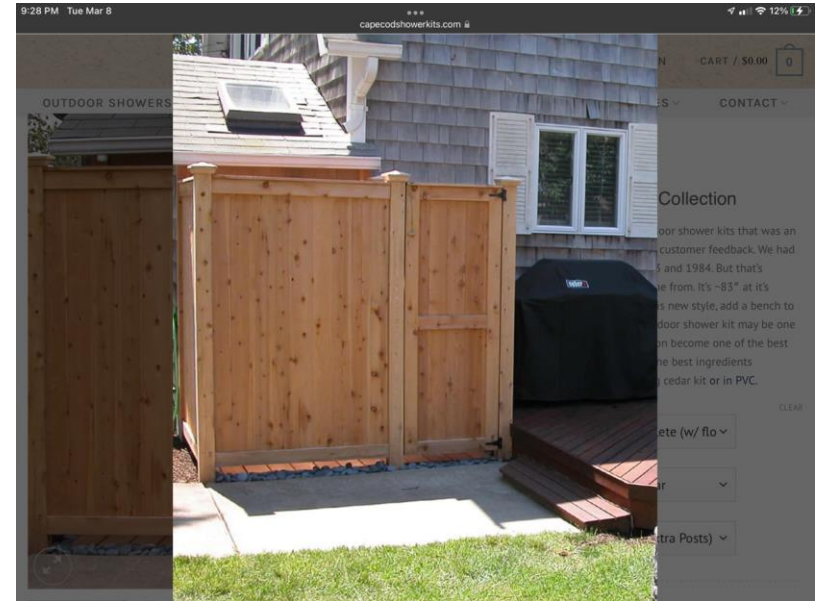
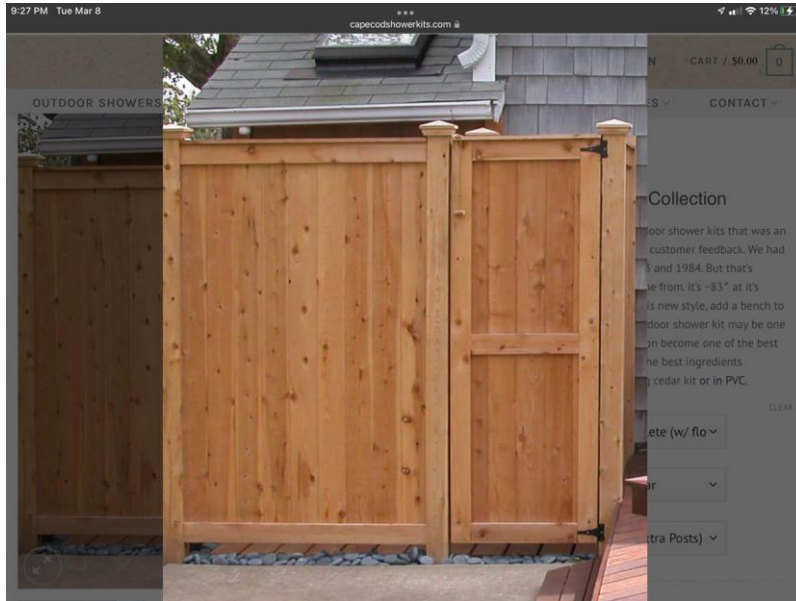
We have selected a manufacturer in MA for the enclosure, Cape Cod Shower Kits. <https://capecodshowerkits.com/pc/outdoor-shower-enclosures/outdoor-showers-83-styles/> The kits are delivered with the cedar tongue and groove panels pre-assembled and is well suited for a homeowner DIY project. All plumbing will be completed by Perry Plumbing and in compliance with all local codes and permitting requirements.

The link above is for the basic style we have selected “the 83” but we will be ordering a custom size 36” x 72” as the standard is much bigger and would expose a much larger profile to the street, which we want to avoid. The appearance will be that of a simple cedar storage area, very similar to that already installed on the right side of the house that shields our HVAC equipment from the street view.

The location we have selected, along the right side of the garage is the only viable location. It is close to previously installed sewer and water lines. The back and left side of the garage have already received significant BOA setback exceptions. The back of the house offers no options because of the positioning of the basement bulkhead, back entrance and windows.

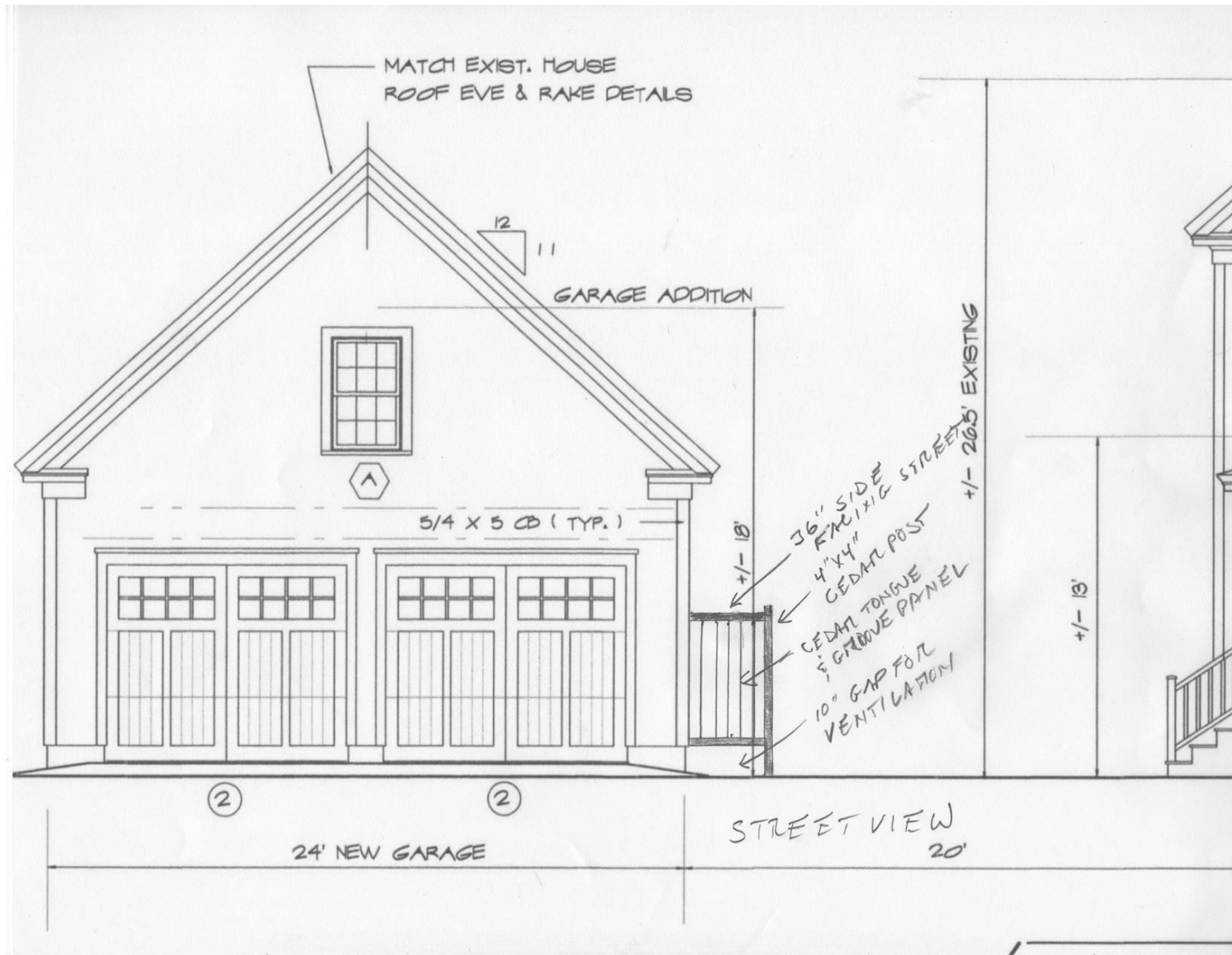
We are avid boaters and beachgoers, and the addition of an outside shower offers great utility and is very appropriate for a seashore home. Our previous project, approved by the HDC, for the addition of a front porch and detached garage have generated overwhelming compliments from the community. We are very sensitive to creating and preserving an inviting and historically appropriate streetscape and we believe that our approach to this project is consistent with that objective. Thank you for your consideration.

Manufacturer Photos

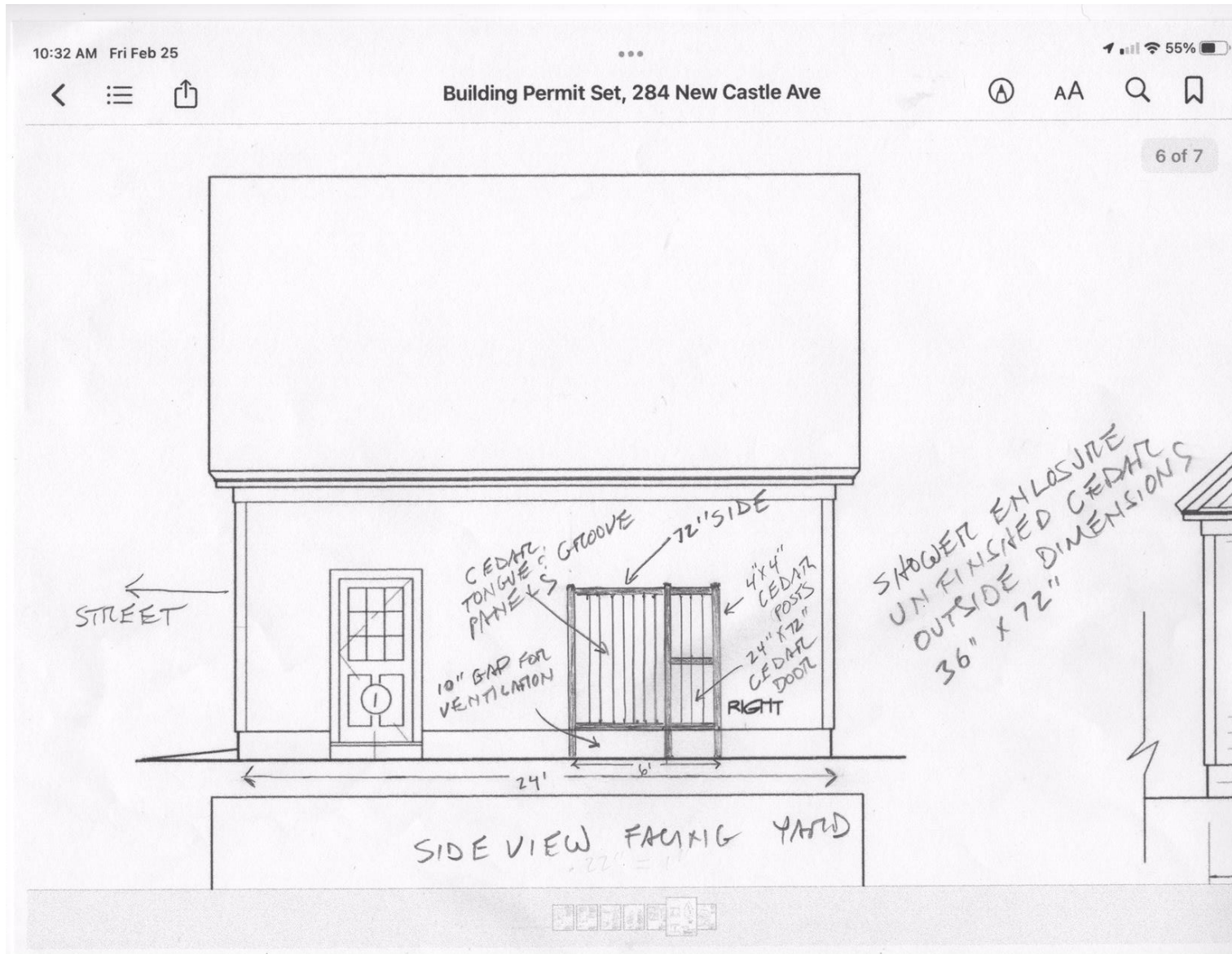


This is very close to the appearance and configuration of the shower we propose to install. There will be a drain pan tied to the previously installed sewer line to the garage. The pan will be topped with cedar as shown, surrounded by $\frac{3}{4}$ blue stone consistent with and incorporated into the existing drip line.

Design Drawing – Street View



Design Drawing – Side View



Current Streetscape



The natural cedar shower enclosure will be behind and partially obscured by the cedar picket fence and will blend in with the cedar stockade fence at the back.



The natural cedar shower enclosure will be consistent in appearance with the previously approved cedar fence installed on the right side of the house.

5. 137 Daniel Street, Unit #D301 - Recommended Approval

Background: The applicant is seeking approval for the replacement of a wood door, with a slightly different wood replacement.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-439**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 1, 2022**Applicant**

Kevin McCann
kevin.j.mccann@morganstanley.com
137 Daniel St.
Unit 301
Portsmouth, NH 03801
603-860-4037

Location

137 DANIEL ST Unit D301
Unit D301
Portsmouth, NH 03801

Owner:

MCCANN JANET M & MCCANN KEVIN J
137 DANIEL ST UNIT D301 PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

137 Daniel Street

Project Information**Brief Description of Proposed Work**

Replace front door of our condo building (Piscataqua Landing Condo) at 137 Daniel Street. The seal on the glass was broken and we are replacing it with the same door.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

member of Board of Directors

Full Name (First and Last)

Kevin McCann

Business Name (if applicable)

--

Mailing Address (Street)

137 Daniel St

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

603-860-4037

Email Address

kevin.j.mccann@morganstanley.com

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Sales Rep Ricci Lumber

Full Name (First and Last)**Business Name (if applicable)**

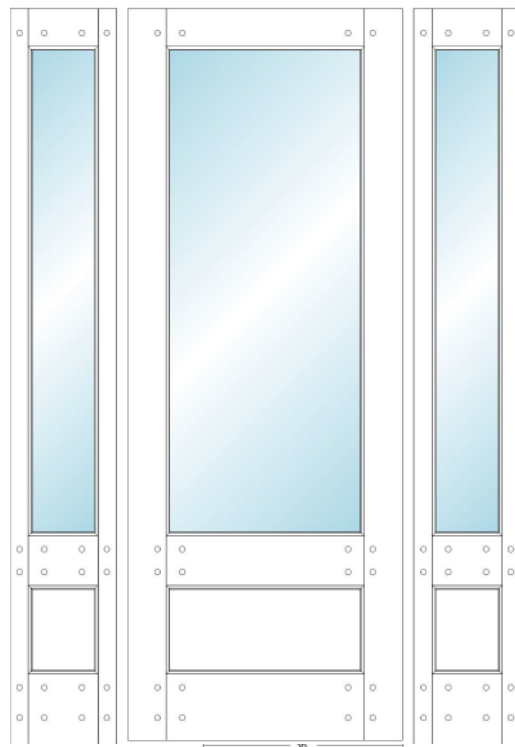
QUOTE #: 1374645-100
DATE: 10/28/2021
QUOTE VALID FOR 30 DAYS

77501 Nantucket

SERIES: Nantucket® Collection
DOOR DESIGN: 77501
QUANTITY: 1
*Door subject to additional lead time.

DOOR SPECIFICATIONS

SPECIES: Mahogany (Sapele)
WOOD GRADE: Select
WIDTH: 3'-0"
HEIGHT: 8'-0"
THICKNESS: 1 3/4"
PROFILE: Ovolo Sticking
GLASS: Clear / Low-E with Argon w/ Film
PANEL: 3/4" Flat
ADDITIONAL OPTIONS:
Cartoned



Proposed replacement door



Existing Door

6. 35 Bow Street

- Recommended Approval

Background: The applicant is seeking approval for the removal and replacement of mechanical equipment to a different location.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



03/31/2022

LUHD-446

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 16, 2022**Applicant**

Peter Labrie
peterlabrie@yahoo.com
PO Box 300
Rye, New Hampshire 03870
603-661-9090

Location

35 BOW ST
Portsmouth, NH 03801

Owner:

33-47 BOW STREET LLC
549 ROUTE 1 BYPASS PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

35 Bow Street

Project Information**Brief Description of Proposed Work**

We would like to remove a condenser currently installed in the hallway outside of the kitchen and add it to the existing screened area off the back of the building. This will allow us to operate the walk-in cooler without the additional heat generated in its current location.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

Consultant

Full Name (First and Last)

Louis Hamel

Business Name (if applicable)

--

Mailing Address (Street)

11 Sunny Crest Rd

City/Town

York

State

Maine

Zip Code

03909

Phone

207-451-7253

Email Address

louis@louishameldesign.com

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Contractor

Full Name (First and Last)

Tim Mills

Business Name (if applicable)

Joe Warren and Sons

Existing Ice
Machine
Condenser

Existing Wood
Blocking



Rio
Proposed addition

New walk-in
Condenser

Existing Ice
Machine
Remains in
place



7. 414 State Street - TBD

Background: The applicant is seeking approval for the installation of HVAC equipment on the second floor.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

**LUHD-449**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 22, 2022**Applicant**

Jeremiah Comeford
jeremiah@prohvac1.com
PO Box 1173
Dover, NH 03821
603-743-4822

Location

414 STATE ST Unit 4
Unit 4
Portsmouth, NH 03801

Owner:

PIEL CARL-HENRY & KENDALL-PIEL COLLEEN
414 STATE ST UNIT 4 PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Install a ductless heat pump in the 2nd floor front living room on the inside back wall of the room. Install Fortress pipe chase down the outside wall to the condenser on a heat pump stand on the right side of the building. Enclose the condenser and stand. Paint the Fortress the same color as the building.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

installation contractor

Full Name (First and Last)

Mike Meserve

Business Name (if applicable)

Prohvac LLC

Mailing Address (Street)

PO Box 1173

City/Town

Dover

State

NH

Zip Code

03821

Phone

603-507-0908

Email Address

jeremiah@prohvac1.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction**

414 State
2nd floor Apt 4

Back
30' x 4'6"

Mike Lawrence
603-507-0908
PMGL-21-308

570 sq ft



Front door

2nd floor

State St

has a central baseboard
heating system in this
condo.

APR 07 75 FANUCU
APR 07 75 FANUCU

driveway
414 State St Unit 4
Portsmouth NH

2nd floor

Pier

Manual S+J for 2nd floor condo
only heat pump for living room
- no central system
- this has 16" blow in
- walls very poor insulation

Untitled Map

Write a description for your map.

Legend

414 State Street



PM 6-21-308

1 December 2021

Portsmouth Historic District Commission

To Whom it may concern,

I have asked Michael Reserve of PRO HVAC to contact you directly regarding the permits required to install a heating/cooling system on my property located at:

414 State Street, Suite 4 Portsmouth, NH 03801

If you have any questions or concerns, please feel free to contact me directly at:
603-767-6513

Or to contact Micheal Meserve at:
603-507-0908

with kind regards,



Colleen Kendall-Piel
414 State Street, Suite 4
Portsmouth, NH 03801
603-767-6513
colleenpiel@masiello.com, ckp13@comcast.net

3 1/2" brown Fortress
pipe chase



fire escape



Front

stand flange foot 27" from stone



Fortress 3 1/2" wide
brown plastic pipe

Brown on red bubble



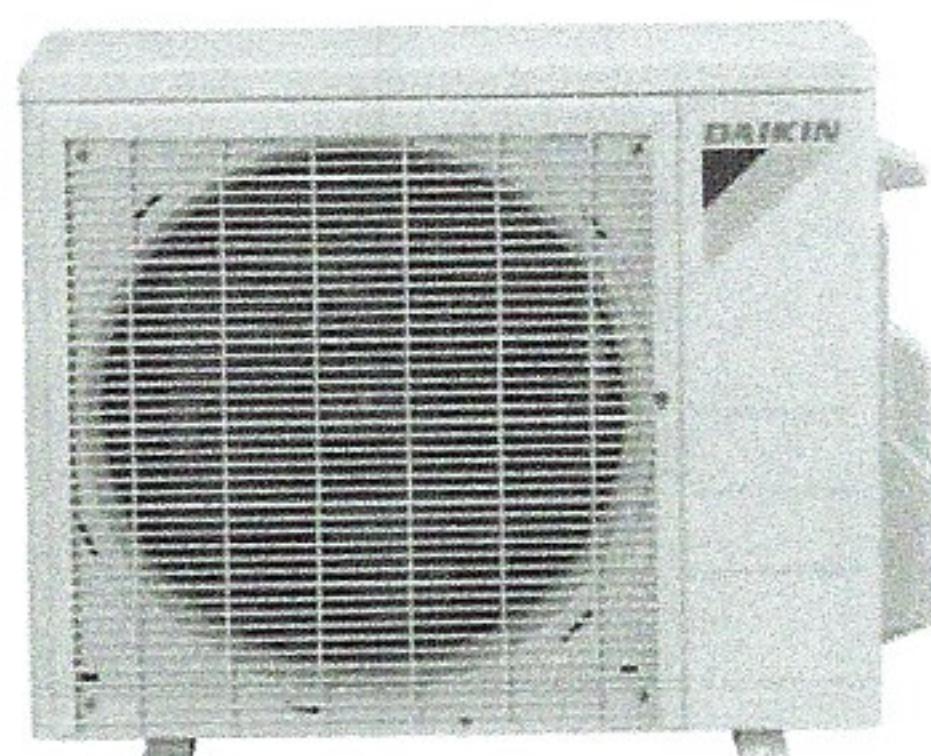
unit $21\frac{9}{16}$ high
stand 12" high

Total - $33\frac{9}{16}$ high
from ground

Job Name:	
Tag#	



Submittal Data Sheet	FTX09NMVJU / RX09NMVJU
0.75-Ton Wall Mounted Heat Pump System	



Complete warranty details available from your local dealer or at www.daikincomfort.com. To receive the 12-Year Parts Limited Warranty, online registration must be completed within 60 days of installation. Online registration is not required in California or Quebec. If product is installed in a commercial application, limited warranty period is 5 years.

Indoor Specifications

Airflow Rate (cfm)	Cooling		Heating	
	H	M	H	M
	417	297	403	328
	L	SL	L	SL
	244	141	251	215
Sound (dBA) H / M / L / SL	43 / 36 / 30 / 19		43 / 36 / 29 / 25	
Dimensions (H x W x D) (in)		11-1/4 x 30-5/16 x 8-3/4		
Weight (Lbs)		18		

Outdoor Specifications

Compressor	Hermetically Sealed Swing Type			
Refrigerant	R-410A			
Refrigerant Oil	PVE (FVC50K)			
Airflow Rate (cfm)	Cooling		Heating	
	H		H	
	1,102		1,006	
	SL	1,035	SL	918
Sound Power Level (dBA)	46 / 48			
Dimensions (H x W x D) (in)	21-5/8 x 26-9/16 x 11-3/16			
Weight (Lbs)	55			

Efficiency

Cooling		Heating	
SEER	19	HSPF	9.0
EER	12.5	COP	4.06

Performance

Cooling (Btu/hr)	
Rated (Min/Max)	9,000 (4,400 / 10,200)
Sensible @ AHRI	8,170
Moisture Removal gal/h	.32
Standard Operating Range	50°F – 115°F
Extended Operating Range*	-4°F – 115°F

Rated Cooling Conditions: Indoor: 80°F DB/67°F WB
Outdoor: 95°F DB/75°F WB

*With field settings and wind baffle

Heating (Btu/hr)	
1: @ 47° Rated (Min/Max)	10,000 (4,400 / 13,000)
2: @ 17° Rated	6,000
3: @ 5° Max	4,470
Operating Range	5°F – 65°F

1: Rated Heating Conditions: Indoor: 70°F DB/60°F WB
Outdoor: 47°F DB/43°F WB
2: Rated Heating Conditions: Indoor: 70°F DB/60°F WB
Outdoor: 17°F DB/15°F WB
3: Rated Heating Conditions: Indoor: 70°F DB/60°F WB
Outdoor: 5°F DB/5°F WB

Electrical

	208/60/1	230/60/1
System MCA	12.1	12.1
System MFA	15	15
Compressor RLA	8.5	8.5
Outdoor fan motor FLA	.13	.13
Outdoor fan motor W	14	14
Indoor fan motor FLA	.20	.20
Indoor fan motor W	21	21

MFA: Max. fuse amps MCA: Min. circuit amps (A) FLA: Full load amps (A)
RLA: Rated load amps (A) W: Fan motor rated output (W)

Piping

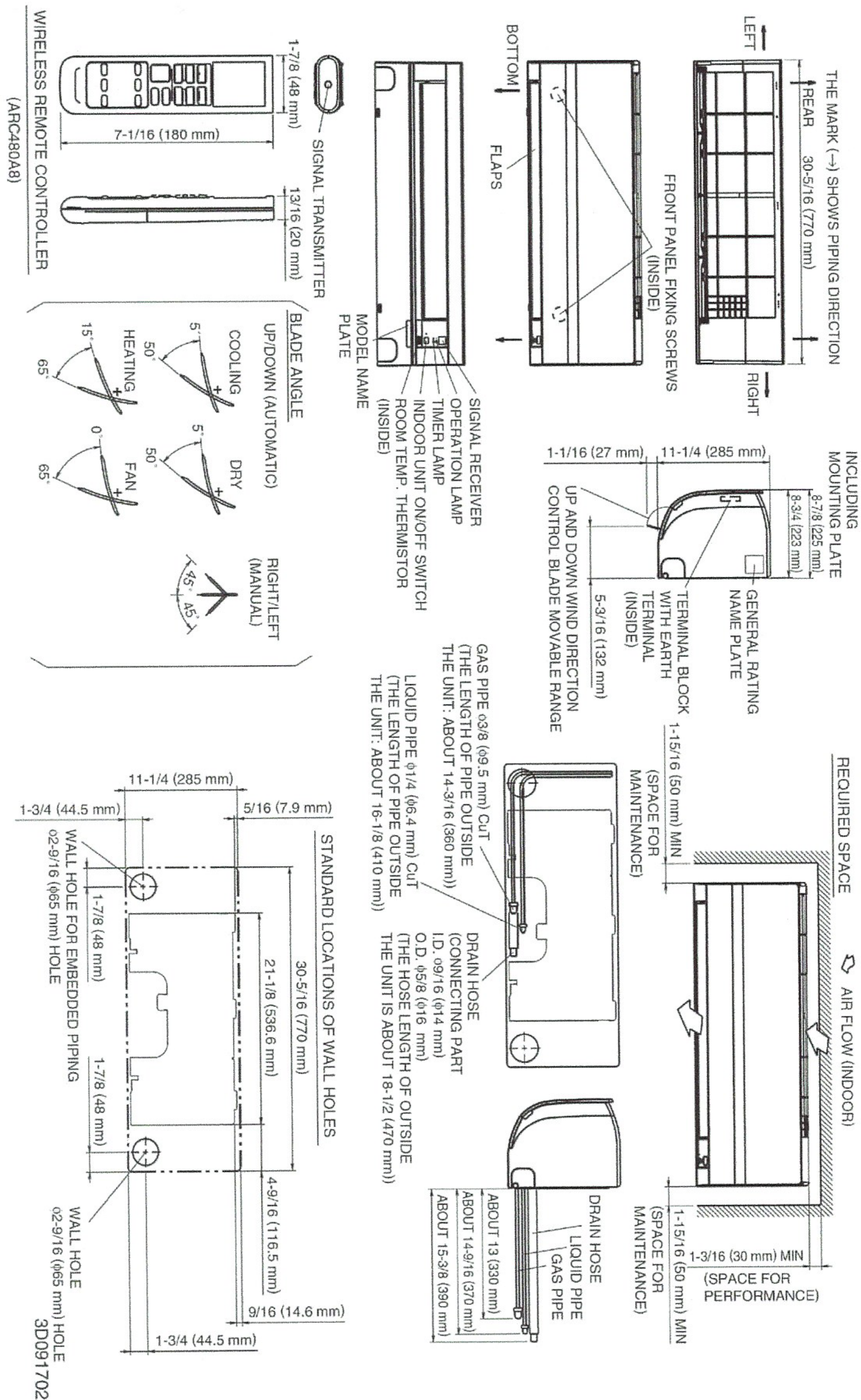
Liquid (in)	1/4
Gas (in)	3/8
Drain (in)	5/8
Max. Interunit Piping Length (ft)	65.625
Max. Interunit Height Difference (ft)	49.25
Chargeless (ft)	32.8
Additional Charge of Refrigerant (oz/ft)	.21

Daikin North America LLC 5151 San Felipe, Suite 500 Houston, TX 77056

(Daikin's products are subject to continuous improvements. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations)

Submittal Creation Date: July 2017

FTX09NMVJU Dimensional Data



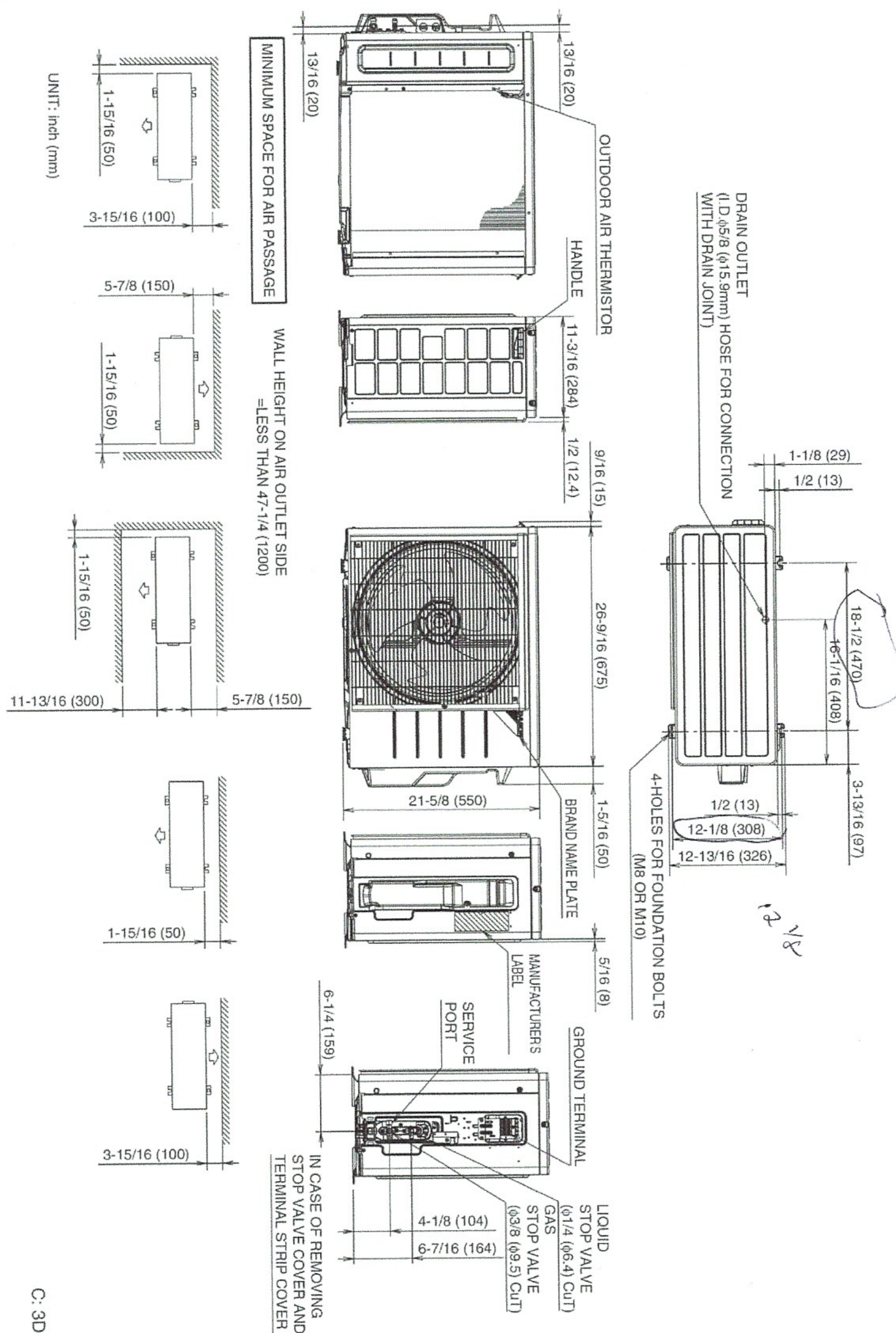
Daikin North America LLC 5151 San Felipe, Suite 500 Houston, TX 77056

(Daikin's products are subject to continuous improvements. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations)

Submittal Creation Date: July 2017

RX09NMVJU Dimensional Data

DAIKIN

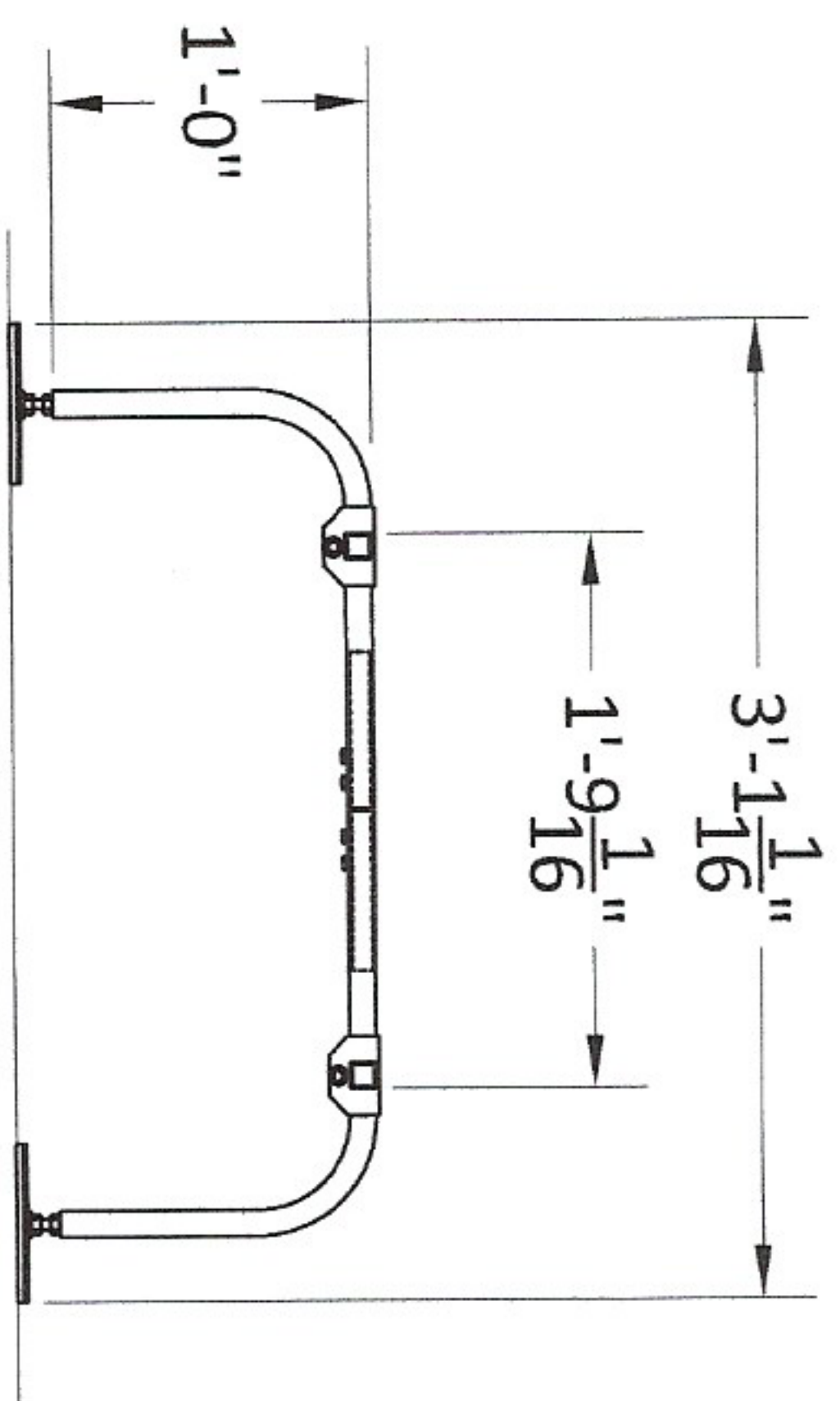


C: 3D092206

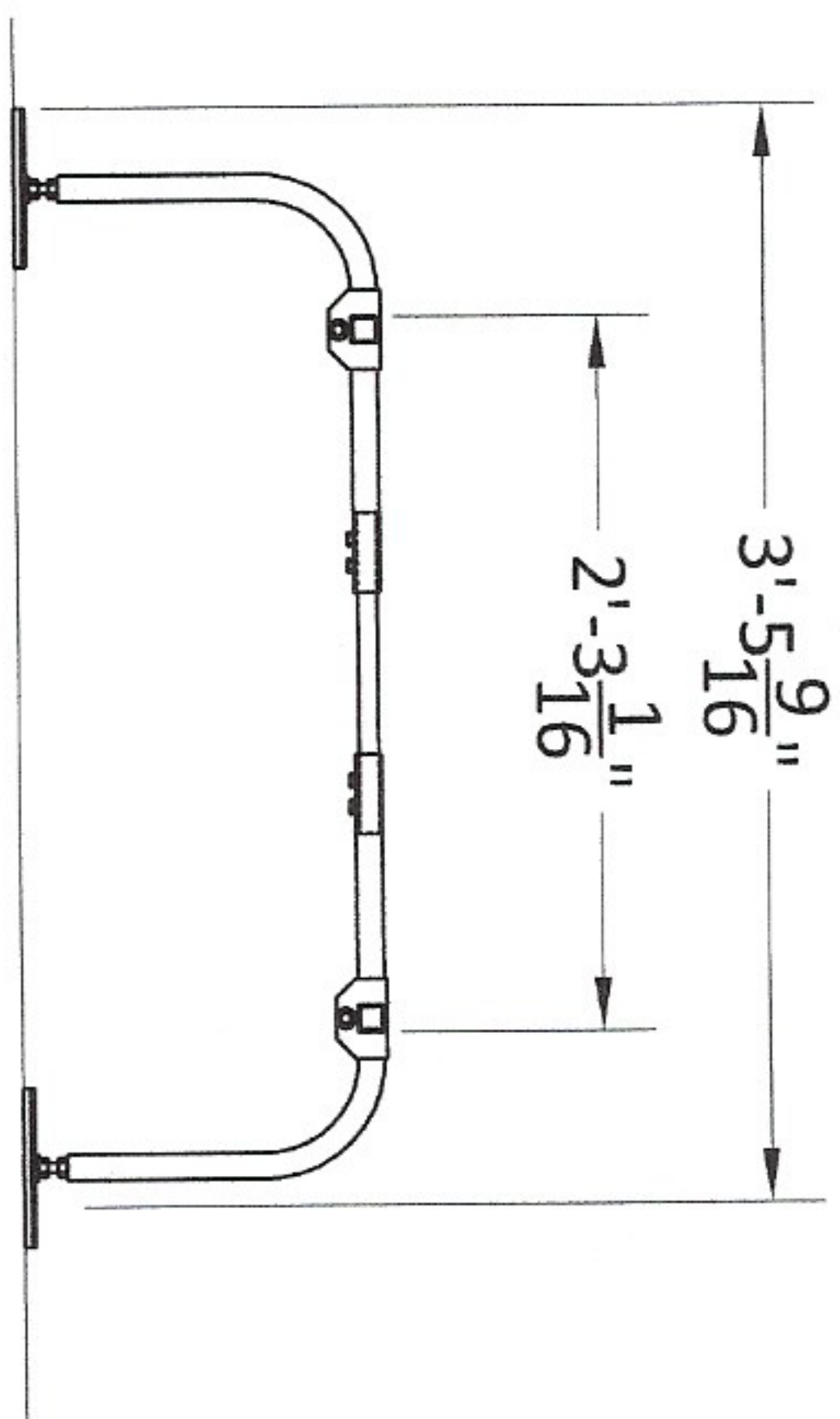
Daikin North America LLC 5151 San Felipe, Suite 500 Houston, TX 77056

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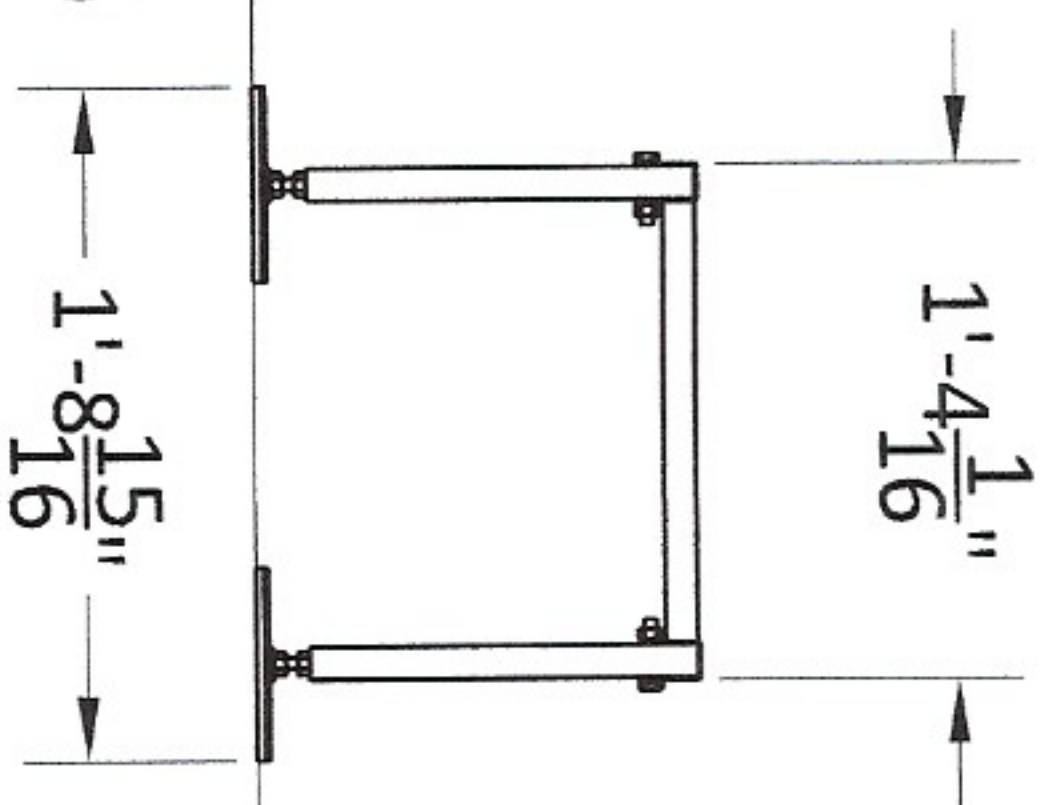
Submittal Creation Date: July 2017



Side View - Retracted



Side View - Expanded

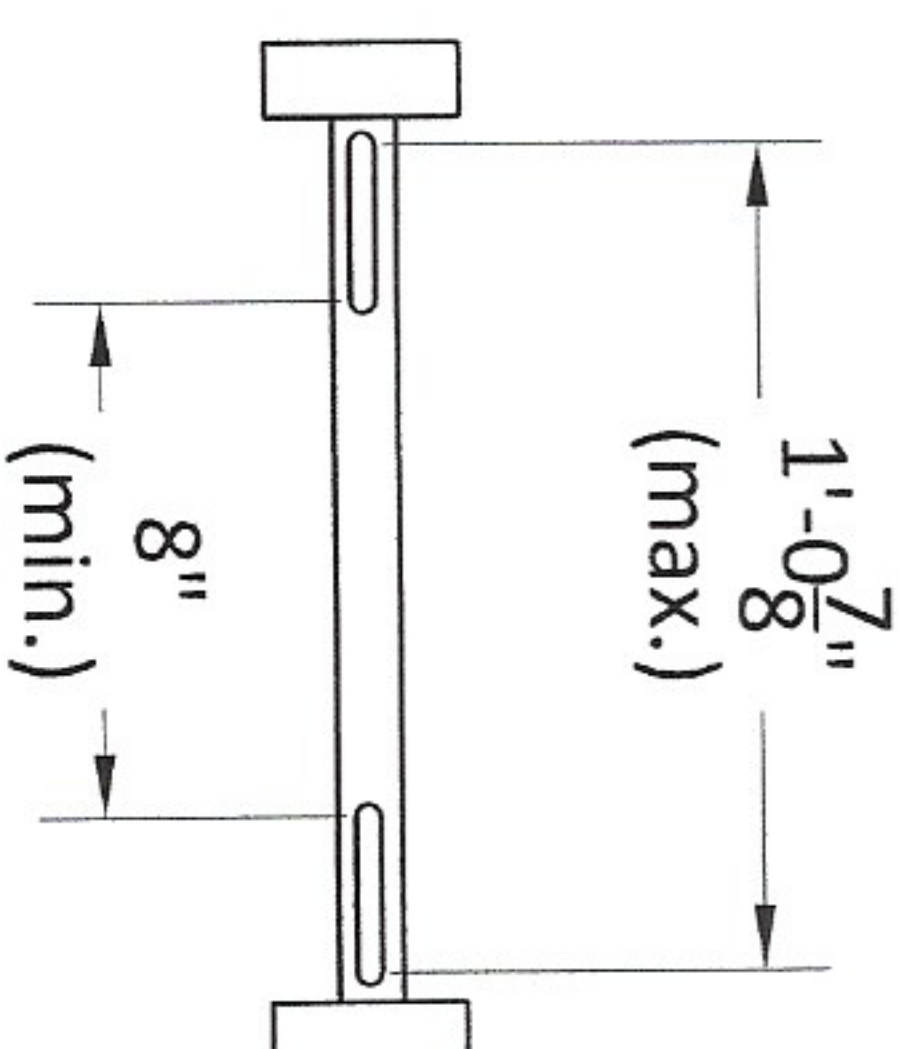


*pieces per unit
from line 34*

1' 3 1/2" building

34' 37" building to outer flange

End View - Fixed



Spacer Bar Detail
(Showing Range of Bolt Spacing)

QUICK-SLING

ASSEMBLY DRAWING
"MINI-SPLIT 12"
ADJUSTABLE STAND - THIN
MODEL NO. QSMS1200

www.quick-sling.com
email: info@quick-sling.com
fax: 1-(800)-699-0423

Quick Sling, LLC
391 W. Water Street
Taunton, MA 02780
1-(800)-699-0543



Certificate of Product Ratings

AHRI Certified Reference Number : 205132630

Date : 12-29-2021

Model Status : Active

AHRI Type : HRCU-A-CB-O (Mini-Split Heat Pump, with Remote Outdoor Unit Air-Source, Free Delivery)

Series Name : Wind-Free™ 2.0

Outdoor Unit Brand Name : SAMSUNG

Outdoor Unit Model Number : AR09TSFABWKX

Indoor Type : Mini-Splits (Non-Ducted)

Indoor Model Number(s) : AR09TSFABWKN

Rated as follows in accordance with the latest edition of AHRI 210/240 - 2017 with Addendum 1, Performance Rating of Unitary

Air-Conditioning & Air-Source Heat Pump Equipment and subject to rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (A2) - Single or High Stage (95F), btuh : 9000

SEER : 24.50

EER (A2) - Single or High Stage (95F) : 15.50

Heating Capacity (H12) - Single or High Stage (47F) : 11000

HSPF (Region IV) : 12.50

Sold in? : USA, Canada



†"Active" Model Status are those that an AHRI Certification Program Participant is currently producing AND selling or offering for sale; OR new models that are being marketed but are not yet being produced. "Production Stopped" Model Status are those that an AHRI Certification Program Participant is no longer producing BUT is still selling or offering for sale. Ratings that are accompanied by WAS indicate an involuntary re-rate. The new published rating is shown along with the previous (i.e. WAS) rating.

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CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at www.ahridirectory.org, click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed at bottom right.

©2021 Air-Conditioning, Heating, and Refrigeration Institute



CERTIFICATE NO.:

132852879816090613

Sales Consultant:

Job#: 122921-Pro HVAC

Date: 12/29/2021

Heat Pump (Average Load Procedure)

Design Conditions

Location:	Portsmouth Pease International Tradeport,		Elevation:	102 ft	Daily Range:	Medium
Input Data:	Outdoor Dry Bulb	Indoor Dry Bulb	Latitude:	43° N	Design Grains:	26
Summer:	95	72	Heated Area	345 Sq.Ft.		
Winter:	5	72	Cooled Area	345 Sq.Ft.		

Heat/Loss Summary (July Heat Load Calculations)

	Gross Area	Loss	Sensible Gain	Latent Gain
Walls	304	1708	870	0
Windows	41.25	1575	1565	0
Doors	0	0	0	0
Ceilings	184	752	673	0
Skylights	0	0	0	0
Floors	0	0	0	0
Room Internal Loads		0	1024	0
Blower Load			0	0
Hot Water Piping Load		0	0	0
Winter Humidification Load		725	0	0
Infiltration		2456	442	309
Ventilation		0	0	0
Duct Loss/Gain EHLF=0 ESGF=0		0	0	0
AED Excursion		n/a	262	n/a
Subtotal		7216	4836	309



Approved ACCA
MJ8 Calculations

Total Heating	7216	Btuh	
Total Cooling	5145	Btuh	14 Linear ft. of Hydronic Baseboard

*Calculations are based on the ACCA Manual J 8th Edition and are approved by ACCA. All computed calculations are estimates based on building use, weather data, and inputted values such as R-Values, window types, duct loss, etc. Equipment selection should meet both the latent and sensible gain as well as building heat loss.

This application has glass areas that produce relatively large cooling loads for part of the day. Variable air volume devices may be required to overcome spikes in solar load for one or more rooms. A zoned system may be required, or some rooms may require zone control (provided by individual, motorized, thermostatically controlled dampers).

FW Webb Company
 218 Knox Marsh Road - Dover, New Hampshire 03820
 603-749-3100 - lyman@fwwebb.com

Residence at 414 State Street Unit 4
 414 State Street Unit 4
 Portsmouth, NH 03801

Sales Consultant:

Job#: 122921-Pro HVAC

Date: 12/29/2021

Living Room (Average Load Procedure)

Design Conditions

Location: Portsmouth Pease International Tradeport,	Elevation: 102 ft	Daily Range: Medium
Input Data: Outdoor Dry Bulb	Indoor Dry Bulb	Latitude: 43° N
Summer: 95	72	Heated Area 345 Sq.Ft.
Winter: 5	72	Cooled Area 345 Sq.Ft.

Heat/Loss Summary (July Heat Load Calculations)

	Gross Area	Loss	Sensible Gain	Latent Gain
Walls	304	1708	870	0
Windows	41.25	1575	1565	0
Doors	0	0	0	0
Ceilings	184	752	673	0
Skylights	0	0	0	0
Floors	0	0	0	0
Room Internal Loads		0	1024	0
Blower Load		725	0	0
Hot Water Piping Load			0	0
Winter Humidification Load			0	0
Infiltration		2456	442	309
Ventilation		0	0	0
Duct Loss/Gain		0	0	0
AED Excursion		n/a	262	n/a
Subtotal		7216	4836	309



**Approved ACCA
MJ8 Calculations**

Total Heating	7216	Btuh	
Total Cooling	5145	Btuh	14 Linear ft. of Hydronic Baseboard

*Calculations are based on the ACCA Manual J 8th Edition and are approved by ACCA. All computed calculations are estimates based on building use, weather data, and inputted values such as R-Values, window types, duct loss, etc. Equipment selection should meet both the latent and sensible gain as well as building heat loss.

FW Webb Company

218 Knox Marsh Road - Dover, New Hampshire 03820
603-749-3100 - lyman@fwwebb.com

Residence at 414 State Street Unit 4
414 State Street Unit 4
Portsmouth, NH 03801

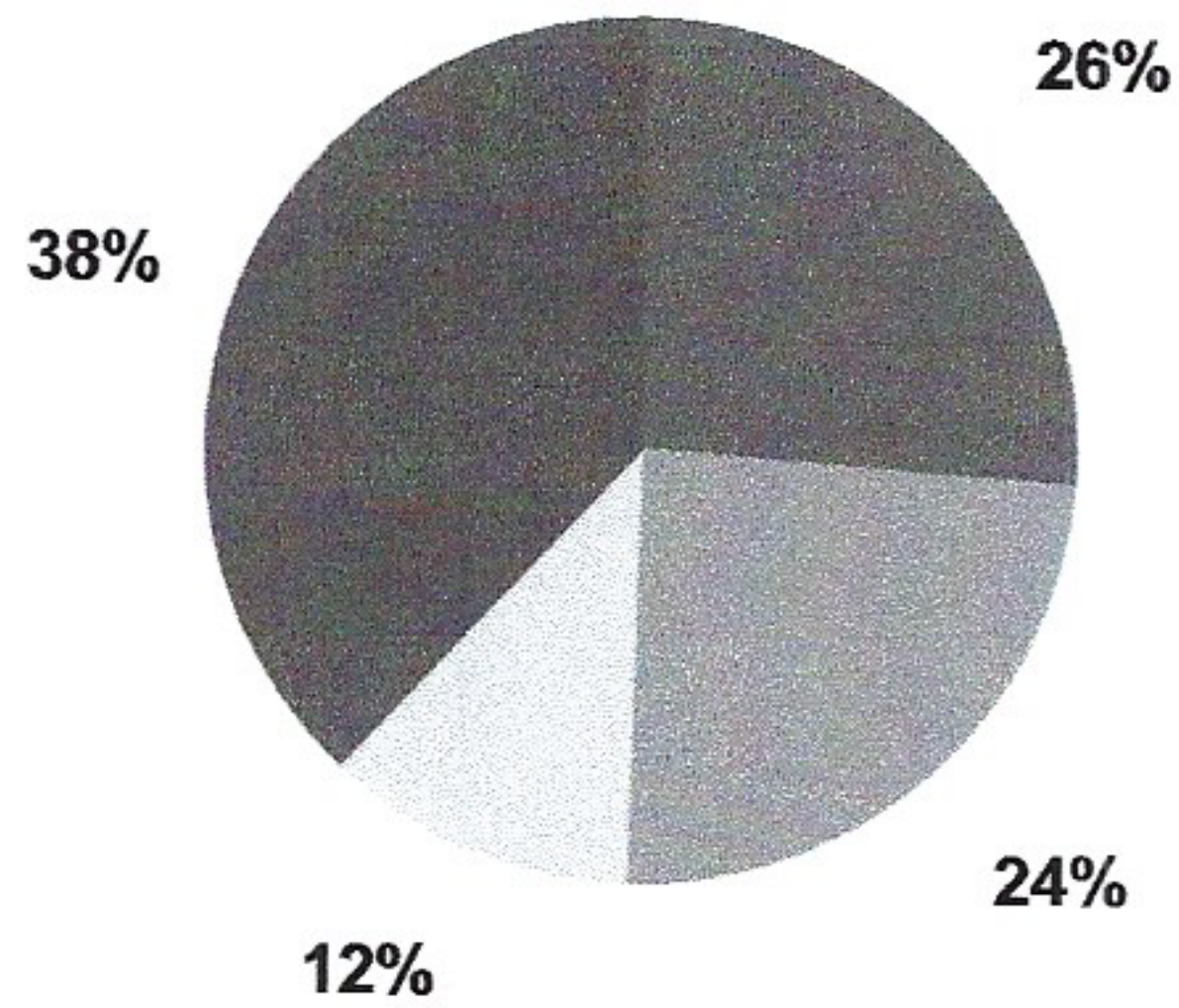
Sales Consultant:

Job#: 122921-Pro HVAC

Date: 12/29/2021

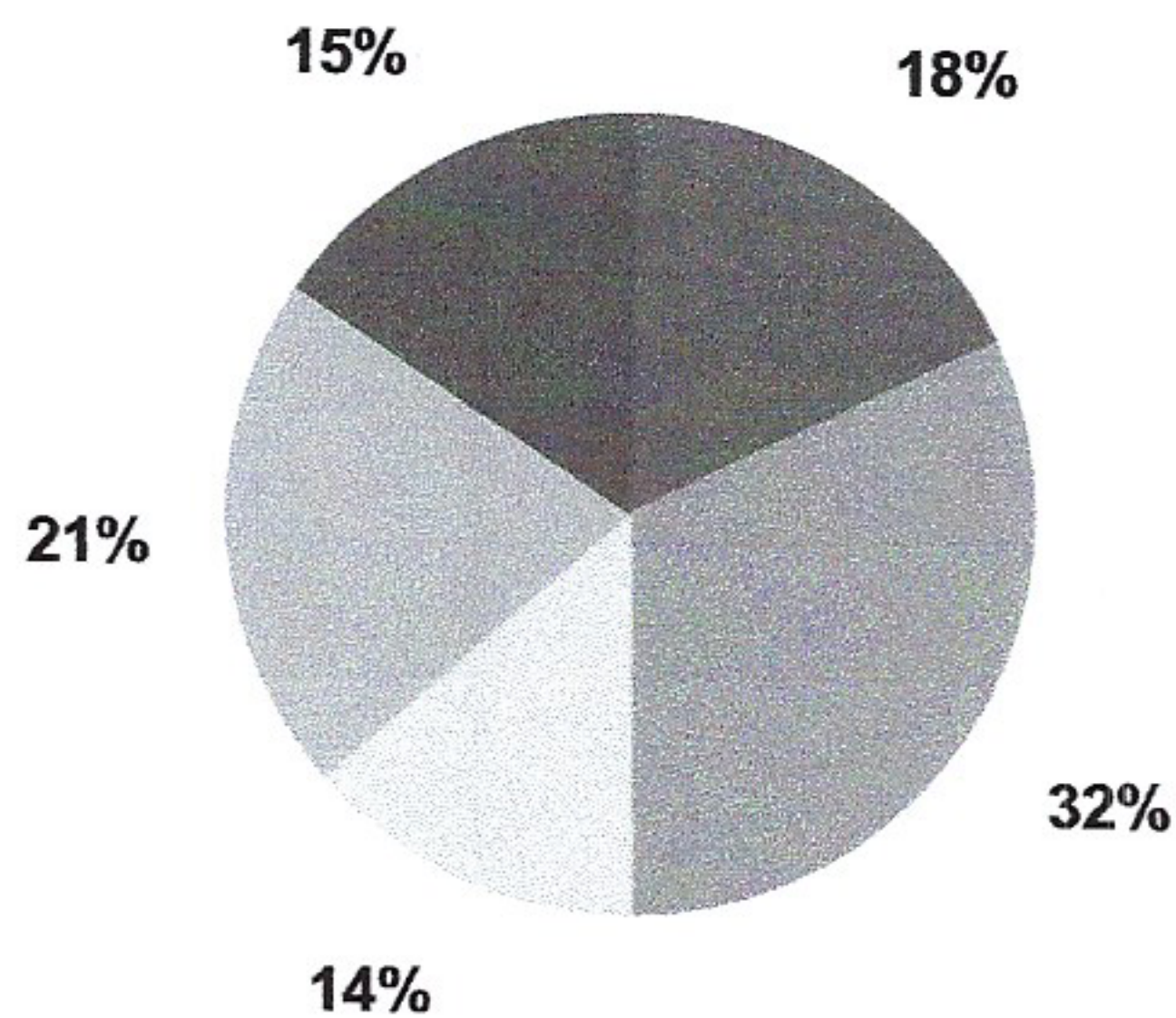
Living Room Load Chart

Heat Loss Percentages



- Walls
- Windows & Skylights
- Doors
- Ceilings
- Floors
- Misc System Loss
- Infiltration
- Ventilation
- Duct Loss

Heat Gain Percentages



- Walls
- Windows & Skylights
- Doors
- Ceilings
- Floors
- Internal Gains
- Infiltration
- Ventilation
- Duct Loss

FW Webb Company
 218 Knox Marsh Road - Dover, New Hampshire 03820
 603-749-3100 - lyman@fwwebb.com

Residence at 414 State Street Unit 4
 414 State Street Unit 4
 Portsmouth , NH 03801

Sales Consultant:

Job#: 122921-Pro HVAC

Date: 12/29/2021

Heat Pump Breakdown

Item Name	U-Value /SHGC	Net Area	Htg. HTM.	Clg. HTM	Sens. Htg.	Sens. Clg.	Lat. Clg.	Total Clg.
Construction Type								
Heat Pump					725	0	0	0
Living Room					0	1024	0	1024
Ceiling	0.061	184	4.087	3.66	752	673	0	673
	Ceiling under Unvented Attic or Attic Knee Wall, With Radiant Barrier Any Any R-15 insulation							
West Wall	0.097	100.25	6.499	3.31	652	332	0	332
	Frame Wall/Partition NA NA Wood R-11 None NA Siding or Stucco NA							
Window-2.5x5.5	0.57/0.56	13.75	38.19	65.96	525	907	0	907
	Operable Normal Window Clear 2 Pane Wood, Wood with Metal Clad, or Vinyl							
North Wall	0.097	162.5	6.499	3.31	1056	538	0	538
	Frame Wall/Partition NA NA Wood R-11 None NA Siding or Stucco NA							
Window-2.5x5.5	0.57/0.56	13.75	38.19	23.93	525	329	0	329
	Operable Normal Window Clear 2 Pane Wood, Wood with Metal Clad, or Vinyl							
Window-2.5x5.5	0.57/0.56	13.75	38.19	23.93	525	329	0	329
	Operable Normal Window Clear 2 Pane Wood, Wood with Metal Clad, or Vinyl							

FW Webb Company
 218 Knox Marsh Road - Dover, New Hampshire 03820
 603-749-3100 - lyman@fwwebb.com

Residence at 414 State Street Unit 4
 414 State Street Unit 4
 Portsmouth, NH 03801

Sales Consultant:

Job#: 122921-Pro HVAC

Date: 12/29/2021

Heat Pump (Average Load Procedure)

Design Conditions

Location: Portsmouth Pease International Tradeport,	Elevation: 102 ft	Daily Range: Medium
Input Data: Outdoor Dry Bulb	Indoor Dry Bulb	Latitude: 43° N
Summer: 95	72	Design Grains: 26
Winter: 5	72	Heated Area 345 Sq.Ft.
		Cooled Area 345 Sq.Ft.

Heat/Loss Summary (July Heat Load Calculations)

	Gross Area	Loss	Sensible Gain	Latent Gain
Walls	304	1708	870	0
Windows	41.25	1575	1565	0
Doors	0	0	0	0
Ceilings	184	752	673	0
Skylights	0	0	0	0
Floors	0	0	0	0
Room Internal Loads		0	1024	0
Blower Load			0	0
Hot Water Piping Load		0	0	0
Winter Humidification Load		725	0	0
Infiltration		2456	442	309
Ventilation		0	0	0
Duct Loss/Gain EHLF=0 ESGF=0		0	0	0
AED Excursion		n/a	262	n/a
Subtotal		7216	4836	309



**Approved ACCA
MJ8 Calculations**

Total Heating	7216	Btuh	
Total Cooling	5145	Btuh	14 Linear ft. of Hydronic Baseboard

*Calculations are based on the ACCA Manual J 8th Edition and are approved by ACCA. All computed calculations are estimates based on building use, weather data, and inputted values such as R-Values, window types, duct loss, etc. Equipment selection should meet both the latent and sensible gain as well as building heat loss.

This application has glass areas that produce relatively large cooling loads for part of the day. Variable air volume devices may be required to overcome spikes in solar load for one or more rooms. A zoned system may be required, or some rooms may require zone control (provided by individual, motorized, thermostatically controlled dampers).

FW Webb Company

218 Knox Marsh Road - Dover, New Hampshire 03820
603-749-3100 - lyman@fwwebb.com

Residence at 414 State Street Unit 4
414 State Street Unit 4
Portsmouth , NH 03801

Sales Consultant:

Job#: 122921-Pro HVAC

Date: 12/29/2021

Equipment Selection

Design Conditions

Design Location: Portsmouth Pease

Elevation: 102 ft

Latitude: 43° N

Daily Range: Medium

Design Grains 26

Relative Humidity: 50%

Summer Outdoor Design: 95

Winter Outdoor Design: 5

Summer Indoor Design: 72

Winter Indoor Design: 72

Heating Equipment

Mfg: SAMSUNG

Model: AR09TSFABWKN

AHRI Ref #: 205132630

Efficiency (AFUE):

Altitude Correction Factor: 0

Heating Input (btuh):

Heating Output (btuh): 11000

Calculated HeatPump
Output @ Design (btuh): 9200

Cooling Equipment

Mfg: SAMSUNG

Outdoor Unit Model: AR09TSFABWKX

Coil:

Furnace:

AHRI Ref #: 205132630

Altitude Correction Factor: 0

Rated Total Cooling (btuh): 9000

Sensible Cooling (btuh): 8100

Latent Cooling (btuh): 900

SEER - EER@95:

Heat Pump HSPF:

Summary

<u>MJ8 Calculations</u>	<u>Status</u>	<u>Equipment Capacities</u>
Sensible Gain (btuh): 4836	Sufficient	Sensible Capacity (btuh): 8100
Latent Gain (btuh): 309	Sufficient	Latent Capacity (btuh): 900
Total Heat Gain (btuh): 5145	Sufficient	Total Capacity (btuh): 9000
Heat Loss (btuh): 7216	Sufficient	Heating Capacity (btuh): 11000

8. 77 Wentworth Street - Recommended Approval

Background: The applicant is seeking approval for the installation of an A/C condenser.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-450**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 23, 2022**Applicant**

Jackie Ceurvels
install@keyhvac.com
8E Continental Drive
Exeter, NH 03833
603-436-8811

Location

77 WENTWORTH ST
Portsmouth, NH 03801

Owner:

PALINO EDWARD JOSEPH & PALINO NANCY ANN
77 WENTWORTH ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Installation of Condenser and Furnace

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Edward Palino

Business Name (if applicable)

--

Mailing Address (Street)

77 Wentworth St

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

6176469687

Email Address

edny98@aol.com

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Contractor

Full Name (First and Last)

Alex Sherrill

Business Name (if applicable)

Key Heating & Air



Proposed
condenser location

9. 100 Deer Street - Recommended Approval

Background: The applicant is seeking approval for the existing awning and install a new pergola.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-451**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 23, 2022**Applicant**

Eben Tormey
etormey@xsshotels.com
1359 Hooksett Road
Hooksett, NH 03106
603-518-2132

Location

100 DEER ST
Portsmouth, NH 03801

Owner:

PARADE RESIDENCE HOTEL LLC & C/O CATHARTES PRIVATE INVMTS
100 SUMMER ST SUITE 1600 BOSTON, MA 02110

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

22 Portwalk Place

Project Information**Brief Description of Proposed Work**

Remove existing awning at patio next to Venue @ Portwalk Place entrance and install "Level Pergola" sunshade awning

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Adam Morrill

Business Name (if applicable)

PROCON

Mailing Address (Street)

1359 Hooksett Road

City/Town

Hooksett

State

NH

Zip Code

03106

Phone

603-518-2268

Email Address

amorrell@proconinc.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property



VENUE @ PORTWALK PLACE

PLAN PORTSMOUTH 3D MODEL: AREA 6
CHARACTER DISTRICT: CD-5

TABLE OF CONTENTS

1	COVER
2	LOCAL CONTEXT
3	EXISTING CONDITIONS
4	PROPOSED PLANS
5	EXTERIOR ELEVATIONS
6	PERGOLA DETAILS
7	PERGOLA DETAILS
8	PROPOSED RENDERING
9	PROPOSED RENDERING
10	PROPOSED RENDERING

PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF THE ADDITION OF A 'LEVEL PERGOLA' ABOVE AN EXISTING OUTDOOR PATIO AT THE VENUE EVENT CENTER ATTACHED TO THE RESIDENCE INN ALONG PORTWALK PLACE. THE PERGOLA AND EXISTING PATIO ARE ADJACENT TO THE EXISTING EVENT CENTER ENTRANCE.

PERGOLA @ VENUE

PORTSMOUTH, NEW HAMPSHIRE

COVER

HDC SUBMISSION: APRIL 06, 2022



THE VENUE

AT PORTWALK PLACE



PROCON

CONNECT • CREATE • CONSTRUCT

EXHIBIT

1



A



B



C



D



A



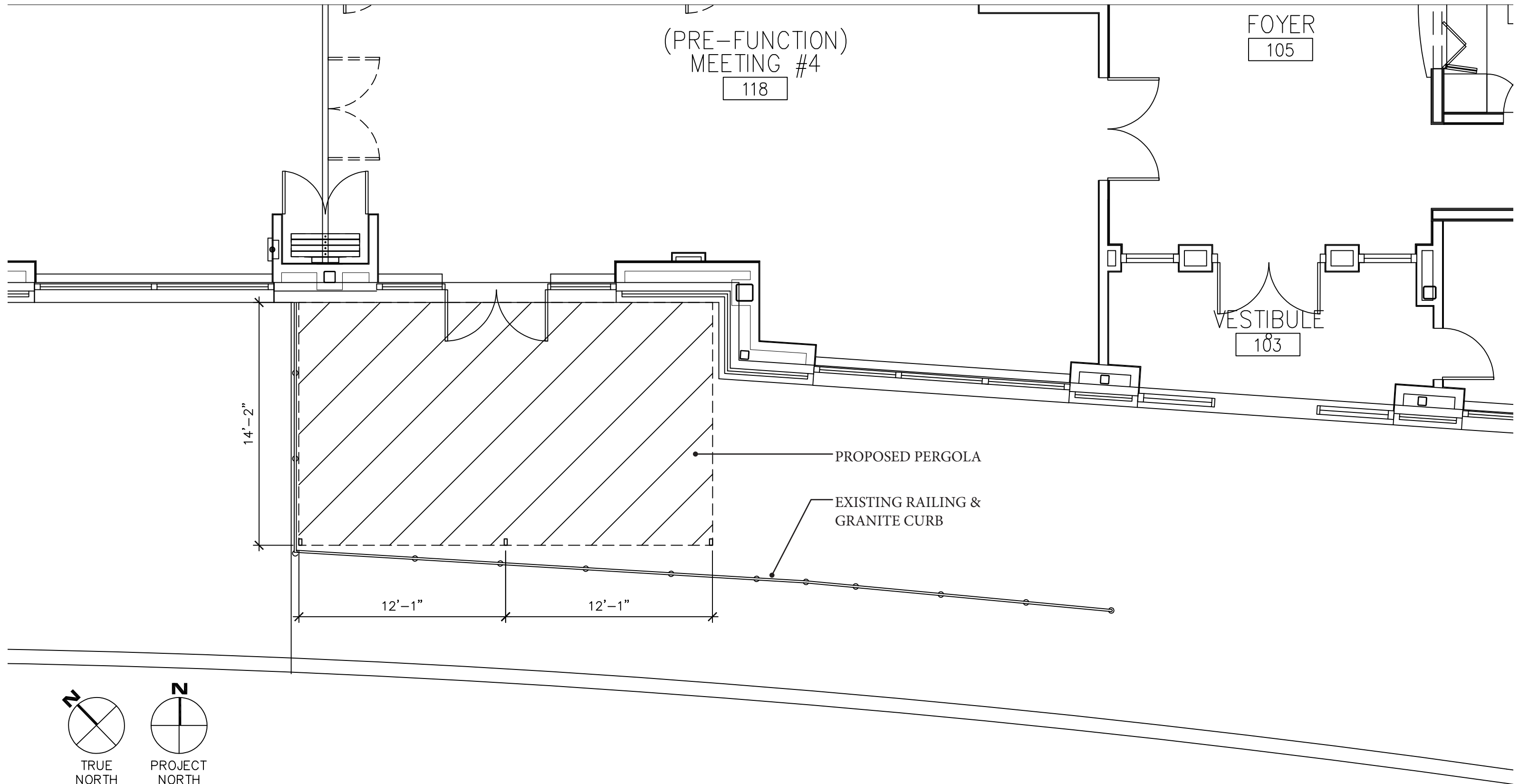
B



C



D

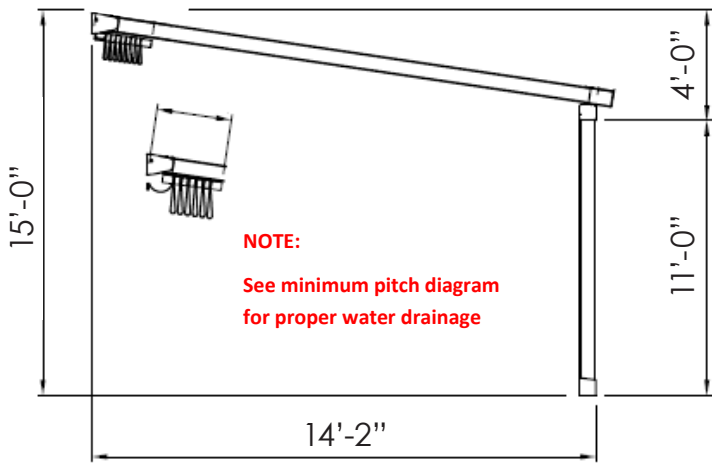


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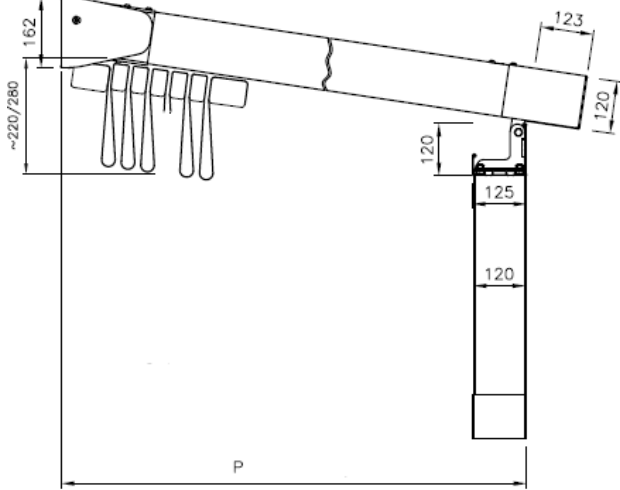


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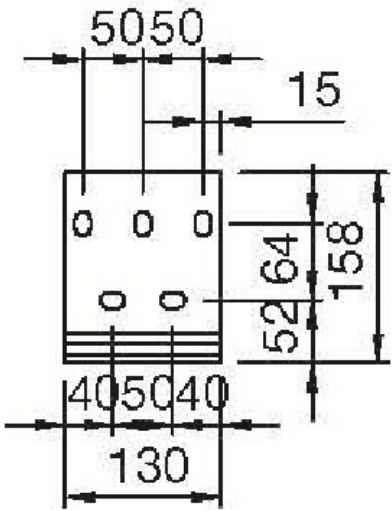
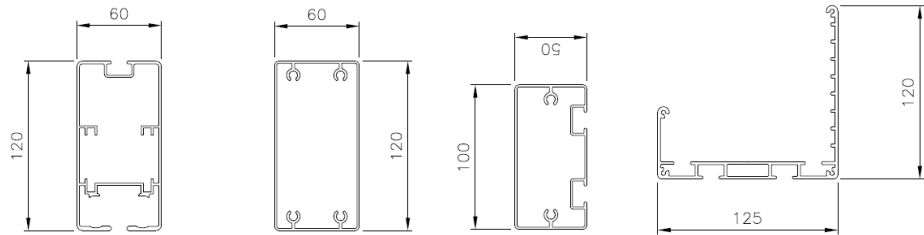
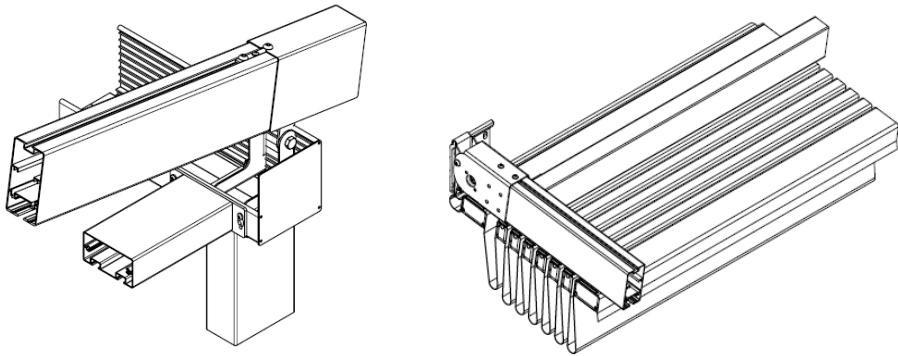
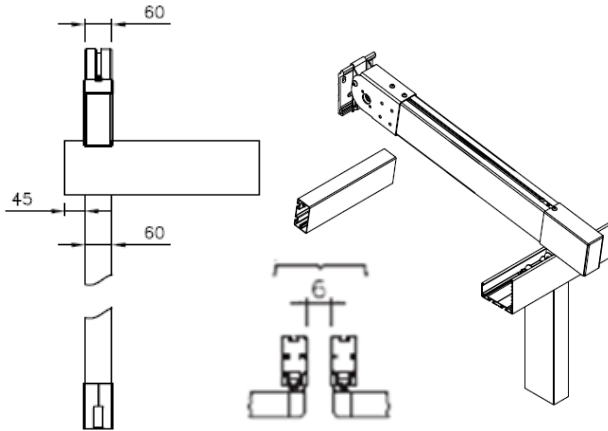
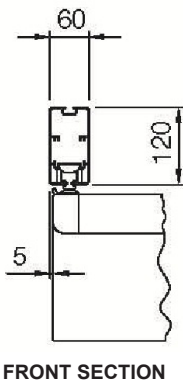
LEVEL Pergola® Technical information



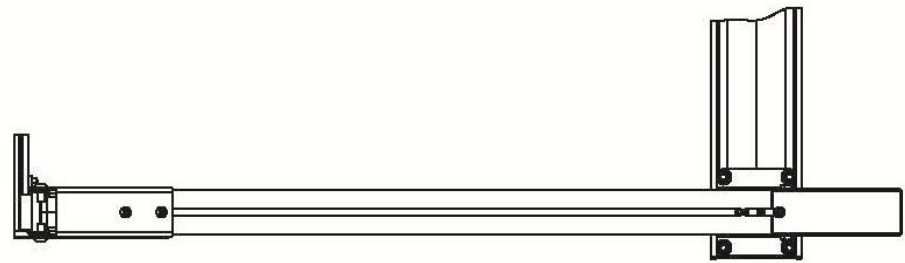
NOTE:
See minimum pitch diagram
for proper water drainage



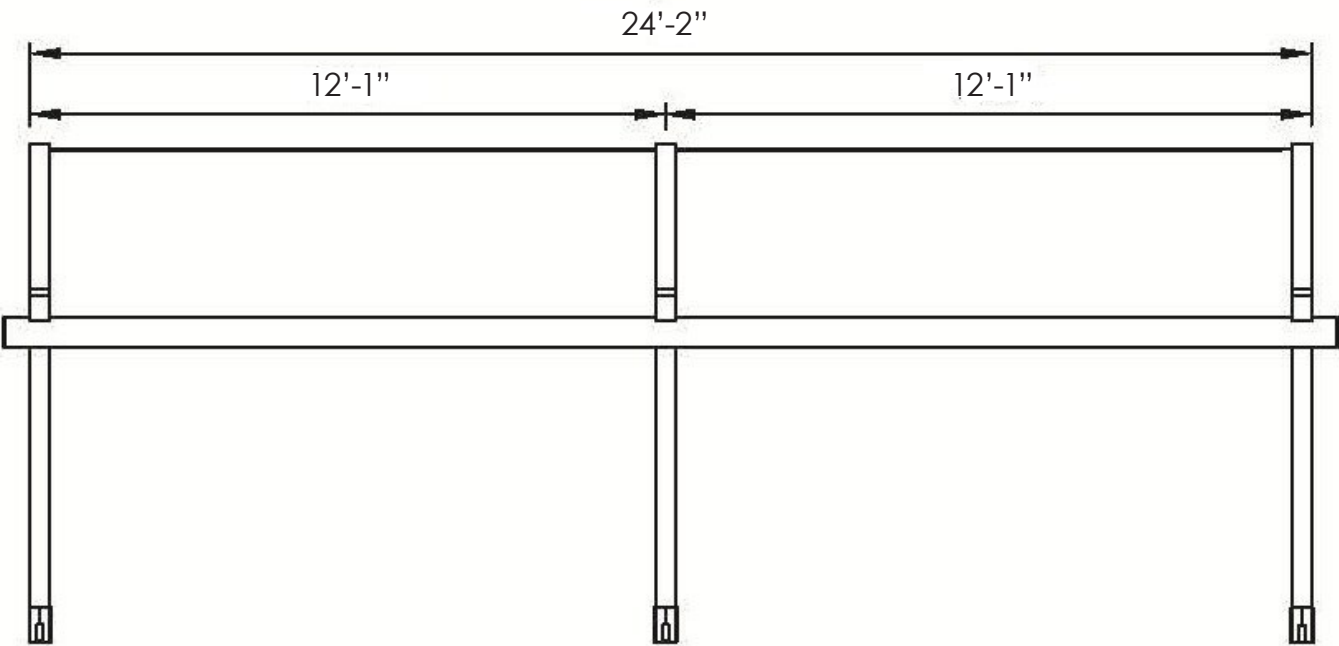
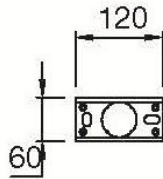
- Dimensions:**
- A = Height of Slope
 - B = Height at top back
 - C = Post Height / Under gutter height
 - P = Actual Projection from wall



BRACKET PLATE FOR STD.
WALL INSTALLATION



FOOT PLATE



PERGOLA ELEVATION

PERGOLA @ VENUE
PORTSMOUTH, NEW HAMPSHIRE

PERGOLA DETAILS
HDC SUBMISSION: APRIL 06, 2022



THE VENUE
AT PORTWALK PLACE



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EXHIBIT
6

OPTIONAL PERGOLA & SCREEN FABRIC COLORS

502 PROOF SOLTIS / OPAQUE SATIN FINISH COLORS

The Preconstraint 502 fabric from Ferrari also offers excellent dimensional stability with minimal stretching and exceptional dirt resistance thanks to a PVDF topcoat on both sides. The fabric is therefore perfect for use on retractable Pergola® roof awnings. The fabric is 16.8 oz/sq. yard with a satin finish. Fabrics are fire retardant and certificate is available.



satin finish



OPTIONAL FRAME COLORS FOR THESE PERGOLA MODELS:

Level, Mito, Tecnic & Tecnic One



NOTE: All these colors except Green Ral 6005 and Desert Sand / Ivory are “super durables” which offer better durability compared with standard polyesters powders.

NOTE: ACTUAL FRAME COLOR MAY VARY FROM DIGITAL IMAGES



PERGOLA @ VENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED RENDERINGS
HDC SUBMISSION: APRIL 06, 2022



THE VENUE
AT PORTWALK PLACE



PROCON
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EXHIBIT
8



PERGOLA @ VENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED RENDERINGS
HDC SUBMISSION: APRIL 06, 2022



THE VENUE
AT PORTWALK PLACE



PROCON
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EXHIBIT
9



PERGOLA @ VENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED RENDERINGS
HDC SUBMISSION: APRIL 06, 2022



THE VENUE
AT PORTWALK PLACE



PROCON
CONNECT • CREATE • CONSTRUCT

EXHIBIT
10

10. 52 Prospect Street - TBD

Background: The applicant is seeking approval for changes to an already approved plan.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

**LUHD-452**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Mar 29, 2022**Applicant**

Tim Malloy
tmalloy131@gmail.com
52 Prospect Street
Portsmouth, NH 03801
603.583.3897

Location

52 PROSPECT ST
Portsmouth, NH 03801

Owner:

MALLOY REVOCABLE TRUST OF 2017 & MALLOY TIMOTHY R & SUSAN
P TTEES
52 PROSPECT ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

New construction and renovations to an existing structure

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Timothy Malloy

Business Name (if applicable)

--

Mailing Address (Street)

52 Prospect St.

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

603.583.3897

Email Address

Tmalloy131@gmail.com

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Susan Malloy

Business Name (if applicable)

--

March 29, 2022

Attn: City of Portsmouth, NH Historic District Commission

Subject: Administrative Approval Application, 52 Prospect Street

Ref: Certificate of Approval (LU-21-188), dated 11/15/2021

Dear Members of the Historic District Commission,

The purpose of this letter is to provide context and rationale for our request to (1) change from the approved wood clapboard siding on our home renovation project to fiber cement clapboard siding, and (2) change the windows that are noted as replacement to new construction.

1. Siding

Given the significant increase in construction costs, we have had to evaluate the scope in order to keep the project viable from a budget perspective.

As discussed during our HDC approval meeting, we did investigate repairing the existing wood siding (underneath the aluminum siding) with our builder. We found that the condition of the wood is in disrepair, and removal of the aluminum siding would cause further damage to the wood underneath. Unfortunately, this option is not only costly, it does not provide for a viable long-term siding solution.

In order to incorporate new siding to our home, our builder has quoted the following options:

1. Fiber cement siding for the entire home (existing and addition) with Azek trim: \$46,080
2. Wood siding on the front, fiber cement siding on the sides and rear: \$52,065
3. Wood siding on the entire home: \$76,005

We are requesting the HDC to approve # 1 (fiber cement siding for the entire home), as this is our preferred option. #2 represents our second preference and #3 represents what is currently approved.

As the HDC is well aware, the cost of construction has increased significantly as of late due partly to labor shortages, increased material cost, and an overall increase in home construction/renovation projects. We've had to increase our renovation budget in order to proceed with this project. We're excited about improving its functionality as well as its appearance. The fiber cement siding will be a substantial improvement over the current aluminum siding, it will conserve or enhance property value and will maintain consistency with the defining character of the neighborhood. So we kindly request your consideration to enable us to do that in the most cost-effective way possible.

2. Windows

When we proposed our plans for HDC approval, we hadn't had a complete evaluation of the windows from our builder. Now that the evaluation is complete, our desire is to use new construction windows rather than replacement windows on the front elevation and the rear family room window. New construction windows are preferred due to the likely state of disrepair of the window frames. The new construction windows will be the same Marvin Elevate 6 over 6 pane that is currently approved. The

pane size is the same as currently approved. The new sashes will be almost identical to the original size. The currently approved plan already allows for removal of the window casing as well.

One of the front windows:



Existing window jamb from an attic window:



Thank you very much for your consideration.

Tim & Sue Malloy

Historic District Commission

Staff Report – April 6th, 2022

April 6th MEETING

Administrative Approvals:

- | | |
|-----------------------------------|----------------------|
| 1. 28 Chapel St. (LUHD-437) | - Recommend Approval |
| 2. 64 Mt. Vernon St. (LUHD-441) | - Recommend Approval |
| 3. 92 Pleasant St. (LUHD-443) | - Recommend Approval |
| 4. 284 New Castle Ave. (LUHD-442) | - Recommend Approval |
| 5. 137 Daniel St. (LUHD-439) | - Recommend Approval |
| 6. 35 Bow St. (LUHD-446) | - Recommend Approval |
| 7. 414 State St. (LUHD-449) | - Recommend Approval |
| 8. 77 Wentworth St. (LUHD-450) | - Recommend Approval |
| 9. 100 Deer St. (LUHD-451) | - Recommend Approval |
| 10. 52 Prospect St. (LUHD-452) | - Recommend Approval |

PUBLIC HEARINGS – NEW BUSINESS:

1. 55 Gates Street. (LU-22-43) (siding & trim)
2. 531 Islington Street (LU-22-38) (signage and siding)
3. 75 Gates Street (LU-22-29) (siding)
4. 189 Gates Street (LU-22-30) (garden cottage)
5. 45 Richmond Street (LU-20-249) (rear addition)
6. 50 Daniel Street (LU-22-40) (ext. modifications)

April 13th MEETING

PUBLIC HEARINGS – NEW BUSINESS:

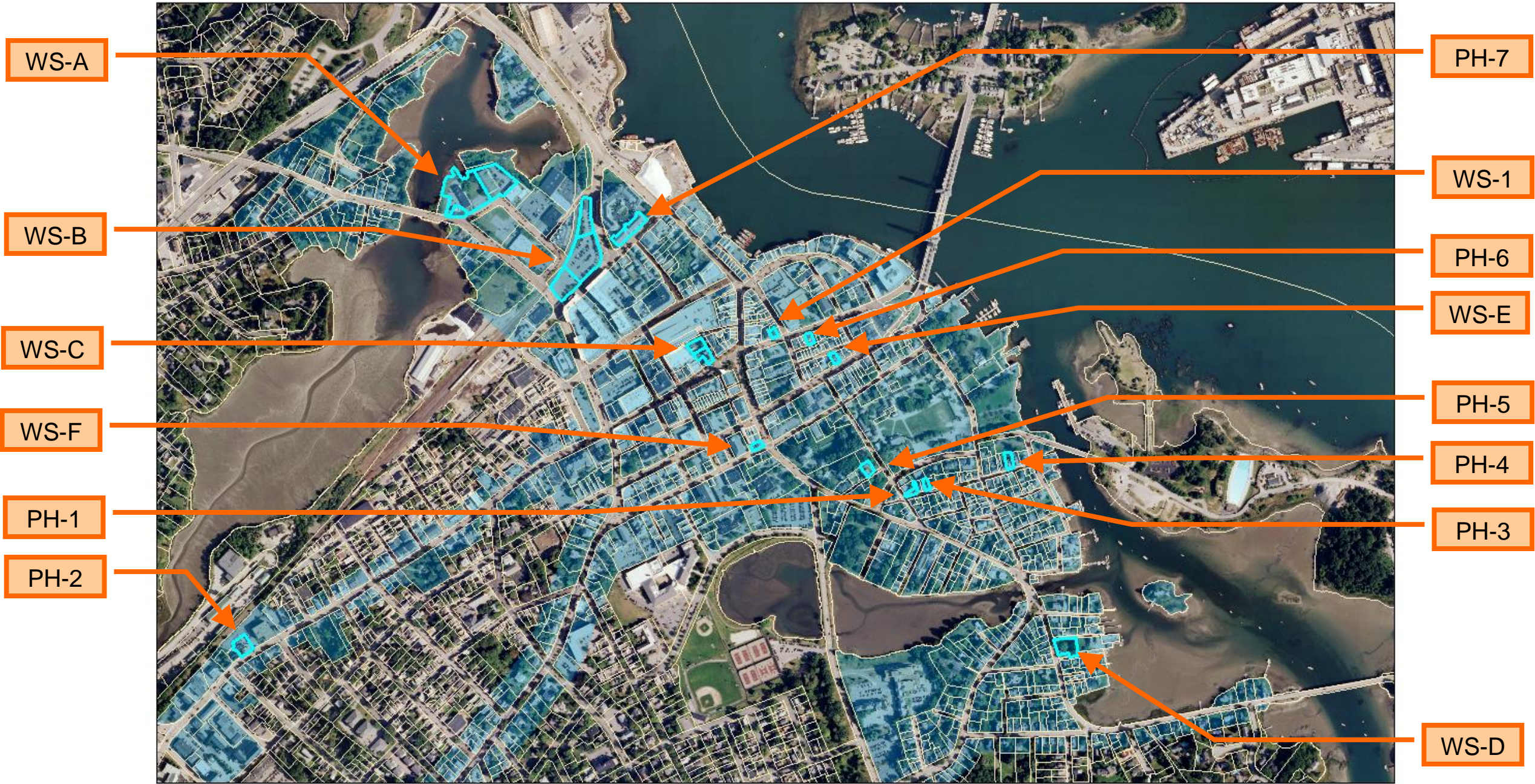
7. 33 Deer Street. (LU-22-64) (decks and balconies)

WORK SESSIONS – OLD BUSINESS:

- A. 1 Raynes Ave. (LUHD-234) (2 new buildings)
- B. 2 Russell / 0 Deer St. (LUHD-366) (3 new buildings)
- C. 1 Congress St. (LUHD-425) (infill building)
- D. 445 Marcy St. (LUHD-424) (new single family)
- E. 129 State St. (LUHD-414) (rear addition)
- F. 92 Pleasant St. (LUHD-422) (windows & balconies)

WORK SESSIONS – NEW BUSINESS:

1. 85 Daniel St. (LUHD-445) (rear addition & dormers)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: April 6th & 13th
APPLICATIONS: 24

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

55 GATES ST. (LU-22-43)
CERTIFICATE OF APPROVAL
PUBLIC HEARING #1

A. Property Information - General:

- Existing Conditions:
- Zoning District: GRB
 - Land Use: Single Family
 - Land Area: 2,854 SF +/-
 - Estimated Age of Structure: c.1850-70
 - Building Style: Greek Revival
 - Number of Stories: 2.5
 - Historical Significance: C
 - Public View of Proposed Work: View from Gates and Washington St.
 - Unique Features: NA
 - Neighborhood Association: South End

B. Proposed Work: To replace siding and trim, & remove chimney.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☒ Highly Sensitive
- ☐ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The existing contributing structure is located along the intersection of Washington and Gates Streets in the heart of the South End. It is surrounded with many contributing historic structures with buildings, all located along the street with no front- and shallow side-yard setbacks, and deeper rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

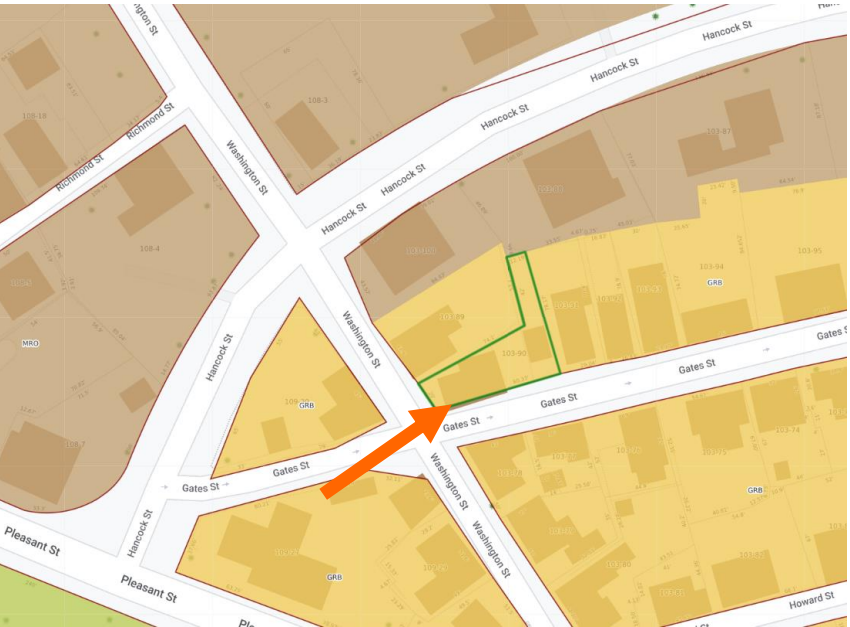
- The applicant is proposing to:
 - Replace bulkhead and existing cedar siding in-kind;
 - Make trim and foundation repairs; and
 - Remove the existing chimney (2nd chimney to remain).

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Masonry and Stucco (07) and Windows & Doors (08).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

55 GATES ST. (LU-22-43) – PUBLIC HEARING #1 (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT - NEW SIDING, REPAIR FOUNDATION & REMOVE CHIMNEY ONLY -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
39	Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:55 GATESST.. Case No.: 1 Date: 4-6-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **531 ISLINGTON STREET (LU-22-38)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #2**

- A. Property Information - General:**
Existing Conditions:
- Zoning District: CD4-L2
 - Land Use: Commercial
 - Land Area: 11,325 SF +/-
 - Estimated Age of Structure: c.1999
 - Building Style: Commercial
 - Number of Stories: 1
 - Historical Significance: NA
 - Public View of Proposed Work: View from Islington Street
 - Unique Features: NA
 - Neighborhood Association: Islington Creek

B. Proposed Work: To replace signage, siding and other misc. changes.

- C. Other Permits Required:**
- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

- D. Lot Location:**
- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

- E. Existing Building to be Altered/ Demolished:**
- ☒ Principal
- ☐ Accessory
- ☐ Significant Demolition

- F. Sensitivity of Context:**
- ☐ Highly Sensitive
- ☐ Sensitive
- ☒ Low Sensitivity
- ☐ “Back-of-House”

- G. Design Approach (for Major Projects):**
- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

- H. Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

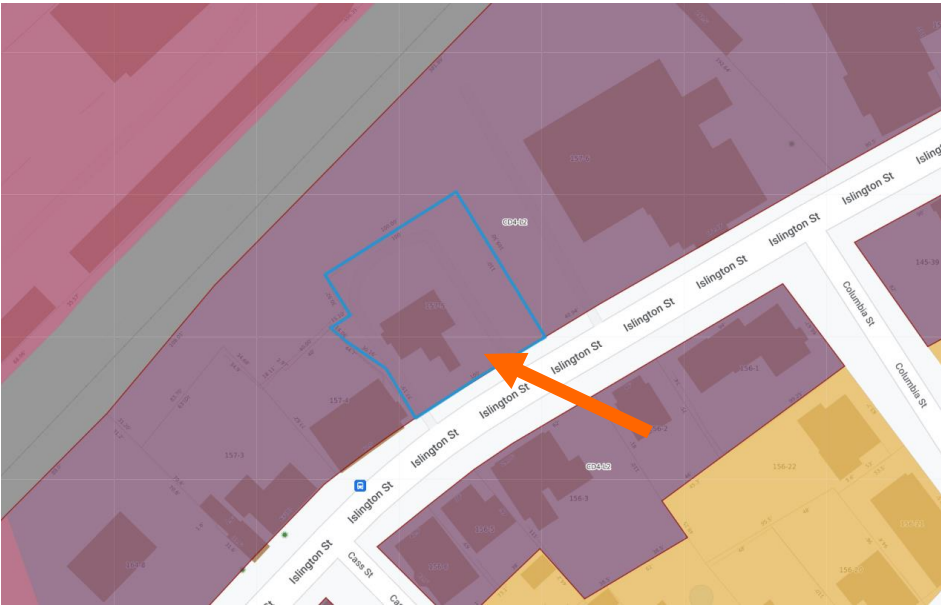
- I. Neighborhood Context:**
- This structure is located along Islington Street. The structure is surrounded with many wood-sided, 2.5-3 story contributing structures. Most buildings have a shallow front- and side-yard setbacks and deep rear yards.
- J. Staff Comments and Suggestions for Consideration:**
- The applicant proposes to revise the previous approval for the following items:
 - Replace and add signage to the drive through; and
 - Reside the existing structure

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

NA

531 ISLINGTON STREET (LU-22-38) – PUBLIC HEARING #2 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT – NEW SIGNAGE, SIDING AND MISC. ALTERATIONS ONLY –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 531 ISLINGTON STREET Case No.: 2 Date: 4-6-22

Decision: ☐ Approved ☐ Continued ☐ Postponed ☐ Withdrawn ☐ Approved with Stipulations ☐ Denied



H. Purpose and Intent:

1. Preserve the integrity of the District:
2. Assessment of the Historical Significance:
3. Conservation and enhancement of property values:

☐ Yes ☐ No
☐ Yes ☐ No
☐ Yes ☐ No

4. Maintain the special character of the District:
5. Complement and enhance the architectural and historic character:
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No
☐ Yes ☐ No
☐ Yes ☐ No

L. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:
Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No
☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **75 GATES ST. (LU-22-29)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #3**

A. Property Information - General:

- Existing Conditions:**
- Zoning District: GRB
 - Land Use: Single-Family
 - Land Area: 2,178 SF +/-
 - Estimated Age of Structure: c.1910
 - Building Style: Queen Anne Vernacular
 - Number of Stories: 2.5
 - Historical Significance: Non-Contributing
 - Public View of Proposed Work: View from Gates Street
 - Unique Features: NA
 - Neighborhood Association: South End

B. Proposed Work: To replace the cedar shakes with clapboards.

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

- ☒ Highly Sensitive ☐ Sensitive ☐ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☒ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

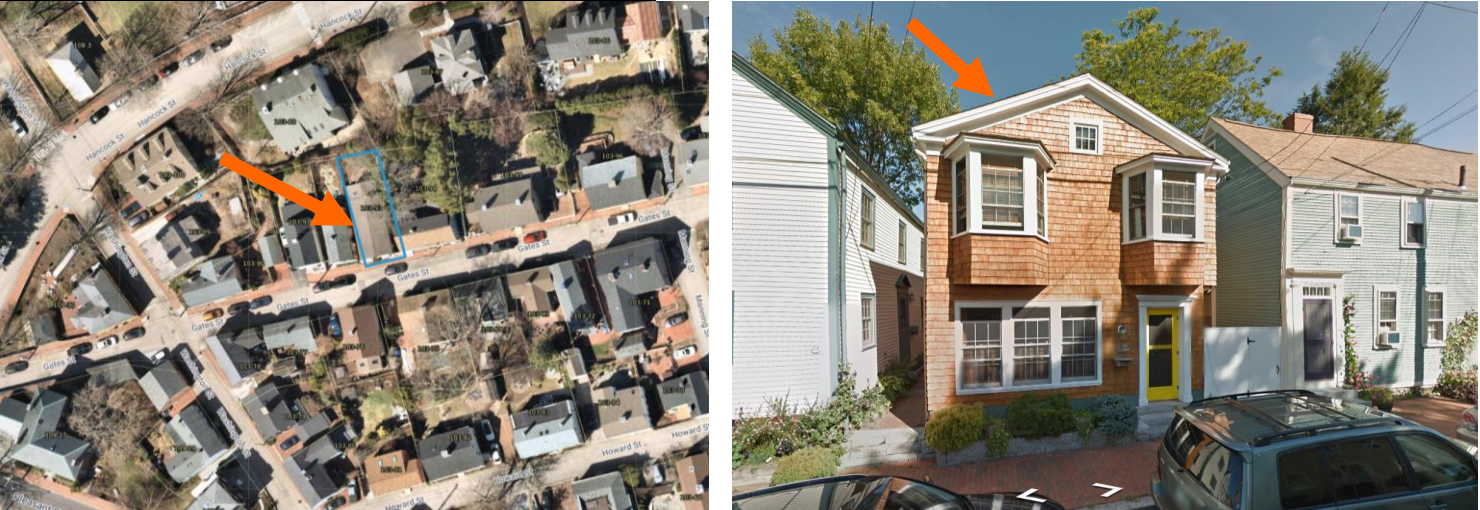
- This 2.5 story wood-sided structure is located on Gates Street and is surrounded with many contributing and focal historic structures. The building was originally designated in the 1984 Historic survey as a Non-Contributing infill building along Gates St.

J. Staff Comments and Suggestions for Consideration:

- The project includes:
- The replacement of the existing cedar shingle with clapboards.

• **Design Guideline Reference: Guidelines for Exterior Woodwork (05)**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING

NC**

75 GATES STREET (LU-22-29) – PUBLIC HEARING #3 (MINOR)

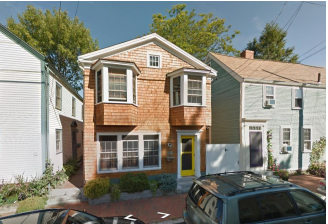
		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT – REPLACE SIDING ONLY –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 75 GATES STREET Case No.: 3 Date: 4-6-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **189 GATES ST. (LU-22-30)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #4**

A. Property Information - General:

- Existing Conditions:**
- Zoning District: GRB
 - Land Use: Single-Family
 - Land Area: 5,175 SF +/-
 - Estimated Age of Structure: c.1850
 - Building Style: Greek Revival – Temple Form
 - Number of Stories: 2.5
 - Historical Significance: Contributing
 - Public View of Proposed Work: View from Gates Street
 - Unique Features: NA
 - Neighborhood Association: South End

B. Proposed Work: To convert the garage into a garden cottage (ADU Unit).

C. Other Permits Required:

- ☒ Board of Adjustment ☒ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☐ Principal ☒ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

- ☒ Highly Sensitive ☐ Sensitive ☐ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☒ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

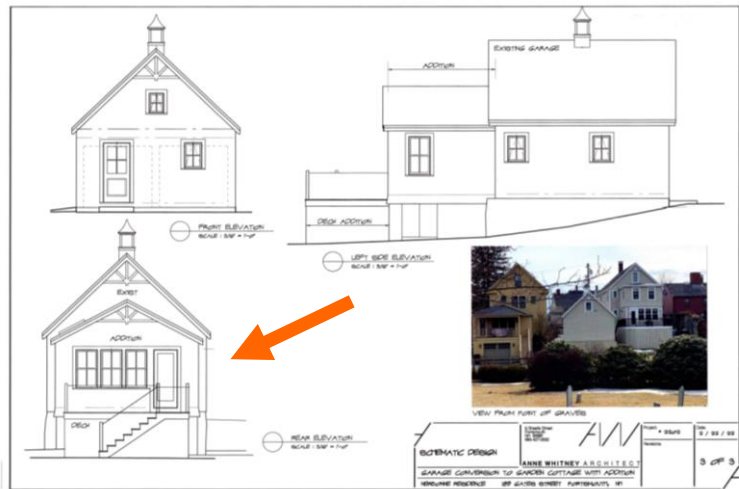
- This 2.5 story wood-sided structure is located on Gates Street and is surrounded with many contributing historic structures. Most buildings on Gate Street have little to no front-yard setbacks, shallow side-yards with deeper rear yards.

J. Staff Comments and Suggestions for Consideration:

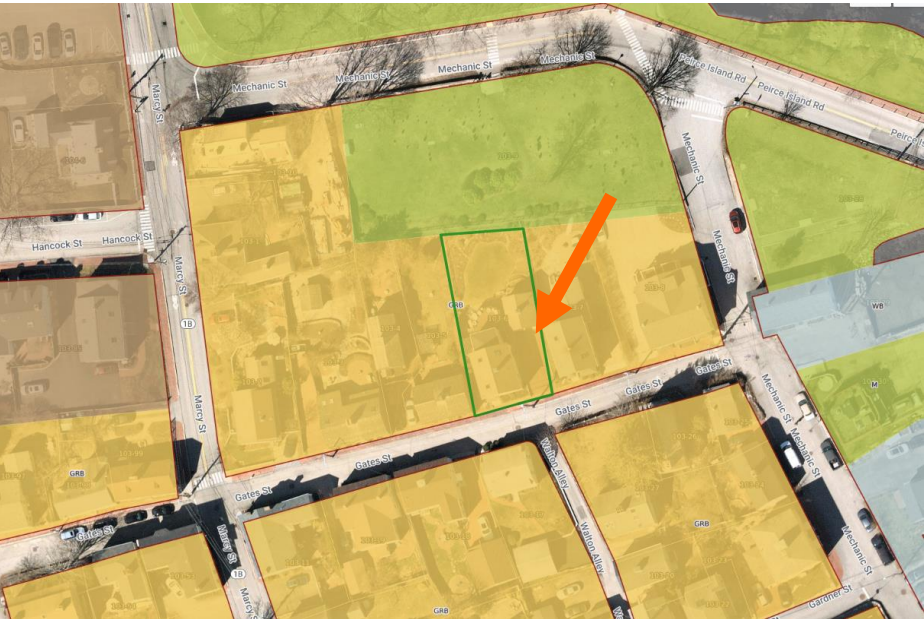
- The project includes:
- The repurposing of the detached garage to a 546 SF garden cottage to be used as an accessory dwelling unit.

- **Design Guideline Reference: Guidelines for Exterior Woodwork (05), Porches, Stoops and Decks (06), and Windows and Doors (08)**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

189 GATES STREET (LU-22-30) – PUBLIC HEARING #4 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>– REPURPOSE GARAGE AS ACCESSORY DWELLING UNIT –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 189 GATES STREET Case No.: 4 Date: 4-6-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

45 RICHMOND ST. (LU-20-249)
CERTIFICATE OF APPROVAL
PUBLIC HEARING #5

- Existing Conditions:
- Zoning District: MRO
 - Land Use: Single Family
 - Land Area: 5,660 SF +/-
 - Estimated Age of Structure: c.1890
 - Building Style: Vernacular
 - Historical Significance: C
 - Public View of Proposed Work: View from Richmond and Washington Streets.
 - Unique Features: NA
 - Neighborhood Association: South End

B. Proposed Work: To replace rear addition and garage and add an attic dormer.

C. Other Permits Required:

- ☒ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located near the intersection of Richmond and Washington Streets in the heart of the South End. It is surrounded with many 2-3 story wood-sided historic structures with small rear yards and garden areas.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish and replace the existing single-story rear addition and garage with a 2 story addition and new garage with an attached greenhouse;
- Relocate a faux chimney, and
- Add a new front landing and steps.

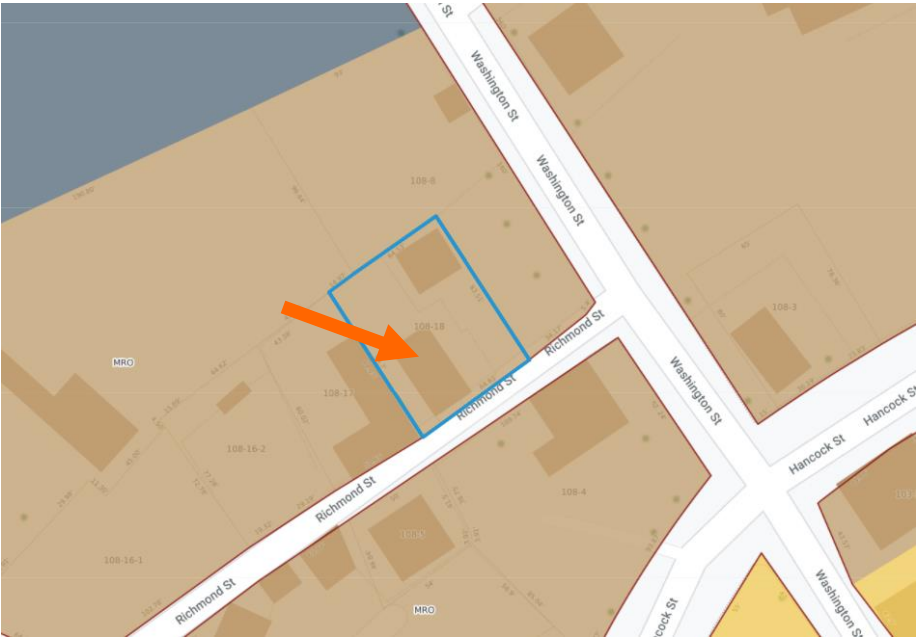
Note that previous approval from March 2021 has expired & this application is the same project.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Porches, Steps and Decks (06), Windows and Doors (08,) and Small Scale New Construction and Additions (10).

K. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions



Zoning Map

HISTORIC
SURVEY
RATING

C

45 RICHMOND ST. (LU-20-249) – PUBLIC HEARING #5 (MODERATE)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>– Construct Two Story Rear Addition, Garage and Attic Dormer –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 45 RICHMOND ST. Case No.: 5 Date: 4-6-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **50 DANIEL ST. (LU-22-40)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #6**

A. Property Information - General:

- Existing Conditions:**
- Zoning District: CD4
 - Land Use: Mixed-Use
 - Land Area: 2,665 SF +/-
 - Estimated Age of Structure: c.1810
 - Building Style: Federal
 - Number of Stories: 3.0
 - Historical Significance: Contributing
 - Public View of Proposed Work: View from Daniel Street
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To replace soffit, downspouts, trim, siding, roof & add lighting.

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive ☒ Sensitive ☐ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☒ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This 3 story wood-sided structure is located on Daniel Street and is surrounded with many contributing and focal historic structures. It is surrounded with many 3-4 story wood- and brick sided historic structures with no front yard setback along the street and narrow side yards.

J. Staff Comments and Suggestions for Consideration:

The project includes:

- The replacement of the existing trim, standing seam metal roof, corner boards, siding, downspouts, and the roof soffit.

- **Design Guideline Reference: Guidelines for Exterior Woodwork (05), Roofing (05), Masonry & Stucco (07), and Windows and Doors (08).**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

50 DANIEL STREET (LU-22-40) – PUBLIC HEARING #6 (MINOR)										
INFO/ EVALUATION CRITERIA			SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: 50 DANIEL STREET Case No.: 6 Date: 4-6-22</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied</div>		
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)				
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)							
	1	Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>– REPLACE SOFFIT, DOWNSPOUTS, ROOF, TRIM & SIDING ETC. –</div>							
	2	Floor Area Ratio (GFA/ Lot Area)								
	3	Building Height / Street-Width Ratio								
	4	Building Height – Zoning (Feet)								
	5	Building Height – Street Wall / Cornice (Feet)								
6	Number of Stories									
7	Building Coverage (% Building on the Lot)									
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS				
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:


☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

33 DEER STREET (LU-22-64)
CERTIFICATE OF APPROVAL
PUBLIC HEARING #7

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD5
 - Land Use: Mixed-Use
 - Land Area: 17,800 SF +/-
 - Estimated Age of Structure: c.1985
 - Building Style: Contemporary
 - Number of Stories: 2.5
 - Historical Significance: NA
 - Public View of Proposed Work: No public view
 - Unique Features: NA
 - Neighborhood Association: South End

B. Proposed Work: To replace decks and balconies and HVAC screens.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☐ Sensitive
- ☒ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

J. Neighborhood Context:

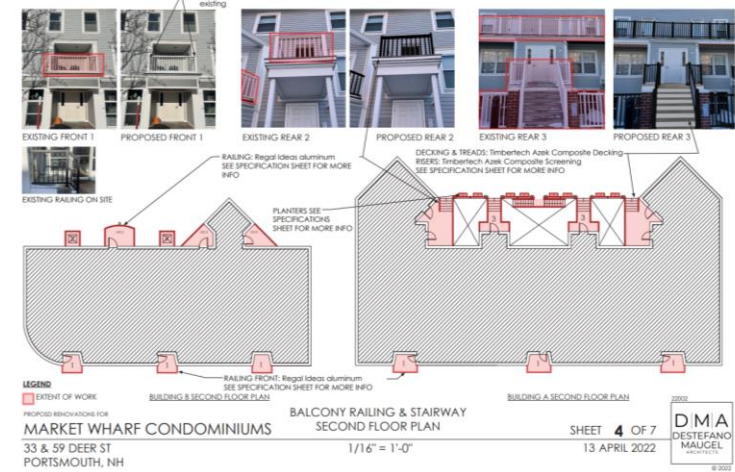
- This building is located along Deer Street. The property is surrounded with many modern and historically significant structures (located across the street on “the Hill”). The structures in this neighborhood have shallow setbacks along the street and narrow side yards.

K. Staff Comments and/ or Suggestions for Consideration:

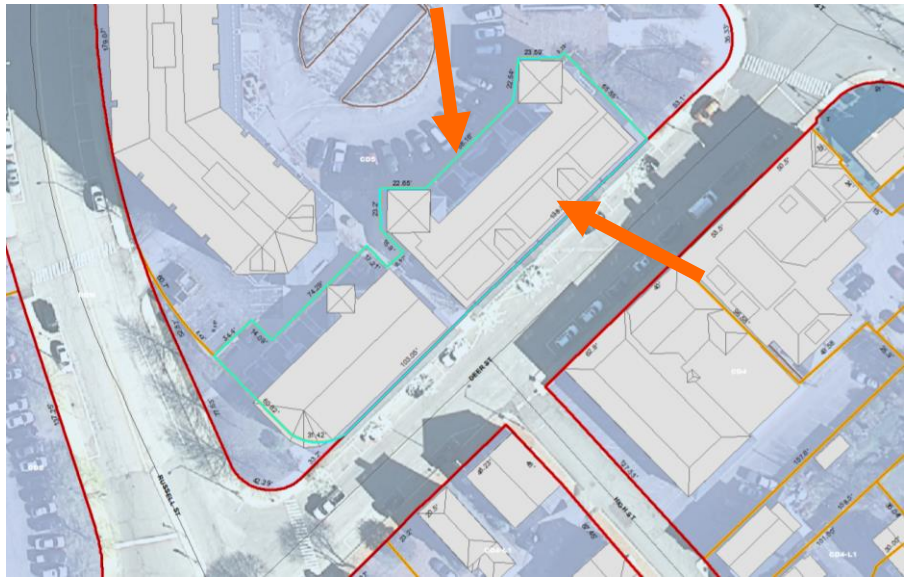
- The Applicant is proposing to:
- Replace decks, balconies, and HVAC screens.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Porches, Stoops and Decks (06) and Site Elements and Streetscapes (09).

I. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

NA

33 DEER STREET (LU-22-64) – PUBLIC HEARING #7 (MINOR)

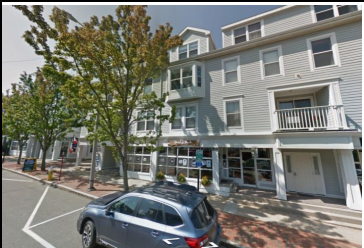
		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT - REPLACE DECKS AND BALCONIES, & ADD LIGHTING ONLY -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 33 DEER STREET Case No.: 7 Date: 4-13-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

1 & 31 RAYNES AVE. (LUHD-234)
CERTIFICATE OF APPROVAL
WORK SESSION #A

- Existing Conditions:
- Zoning District: CD4
 - Land Use: Vacant / Gym
 - Land Area: 2.4 Acres +/-
 - Estimated Age of Structure: c.1960s
 - Building Style: Contemporary
 - Historical Significance: NA
 - Public View of Proposed Work: View from Maplewood and Raynes Ave.
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To construct a 4 & 5 story mixed-use building.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

D. Lot Location:

- ☒ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish the existing buildings.
- Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
- The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
- An appeal was filed with the Board of Adjustment for the Planning Board approval of this project.
- **NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH AND WE WILL GET THE REVISED BUILDING DESIGN INTO THE CITY'S 3D MASSING MODEL.**

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

1 & 31 RAYNES AVE. (LUHD-234) – WORK SESSION #A (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT – Construct 4 & 5-Story Mixed-Use Buildings Only –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:1 & 31 Raynes Ave. Case No.:A Date: 4-13-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

2 RUSSELL & 0 DEER ST (LUHD-366)
CERTIFICATE OF APPROVAL
WORK SESSION #B

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD5
 - Land Use: Vacant /Parking
 - Land Area: 85,746 SF +/-
 - Estimated Age of Structure: NA
 - Building Style: NA
 - Number of Stories: NA
 - Historical Significance: NA
 - Public View of Proposed Work: View from Deer & Russell Streets & Maplewood Ave.
 - Unique Features: Surface Parking Lot
 - Neighborhood Association: North End

B. Proposed Work: To construct 4-5 story, mixed-use buildings.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☒ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located along Maplewood Ave., Russell and Deer Streets. It is surrounded with many new and proposed infill buildings ranging from 2.5 to 5 stories in height. The neighborhood is predominantly made up of newer, 4-5 story brick structures on large lots with little to no setback from the sidewalk.

J. Staff Comments and/ or Suggestions for Consideration:

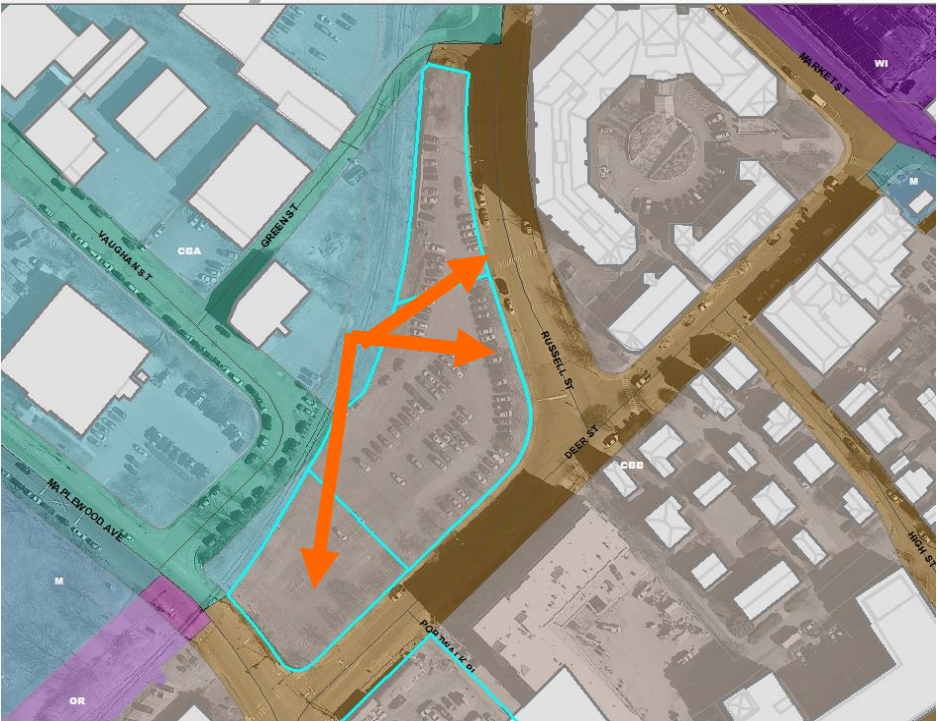
- THE APPLICANT HS SUBMITTED BUILDING ELEVATIONS SHOWING A VARIETY OF ARCHITECTURAL ELEMENTS TO BREAK UP THE MASS OF THE LARGER BUILDING INTO SMALL, MORE TRADITIONALLY SPACED BUILDINGS.
- IN ADHERENCE TO THE 4-STEP DESIGN PROCESS, THE COMMISSION SHOULD ASSESS AND PROVIDE FEEDBACK ON THE PORPOSED FAÇADE TREATMENTS, MASSING, AND THE REALATIONSHIP OF THE TRANSITIONARY SPACES ALONG THE SIDEWALK AND PROPOSED COMMUNITY SPACES WITH THE BUILDINGS.
- NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH AND WE WILL GET THE REVISED BUILDING DESIGN INTO THE CITY’S 3D MASSING MODEL.

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:




Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

NA

2 RUSSELL & 0 DEER STREET (LUHD-366) – WORK SESSION #B (MAJOR PROJECT)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: 2 RUSSELL & 0 DEER ST. Case No.: B Date: 4-13-22</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied</div> <div><input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)			
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)	<div>MAJOR PROJECT</div> <div>- CONSTRUCT THREE, 4-5 STORY BUILDINGS ONLY -</div>						
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width (ROW) Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

1 CONGRESS ST. (LUHD-425)
CERTIFICATE OF APPROVAL
WORK SESSION #C

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4& CD5
 - Land Use: Commercial
 - Land Area: 13,940 SF +/-
 - Estimated Age of Structure: c1860 & 1892
 - Building Style: Italianate & Richardsonian Romanesque
 - Number of Stories: 3 & 3.5
 - Historical Significance: Contributing (1860) & Focal (1892)
 - Public View of Proposed Work: View from Congress and High Streets
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To renovate the existing buildings and add a new 4-story building.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located market square and High Street with many contributing historic structures. The building front directly along the street with no front yard or side yard setbacks. The abutting parking lot previous had a three-story wood-frame hotel building.
- J. Staff Comments and/ or Suggestions for Consideration:
- The applicant is proposing to:
 - Make significant renovations to the existing historic structures and add a three-story addition to fill the existing surface parking lot.
 - The project also proposes improvements to Haven Court as a pedestrian alleyway connecting to Fleet Street.
 - Note that an administrative appeal has been filed with the Board of Adjustment seeking to provide relief for the added building height along High Street.
 - **NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH AND WE WILL GET THE REVISED BUILDING DESIGN INTO THE CITY'S 3D MASSING MODEL.**

• **Design Guideline Reference – Guidelines for Commercial Development and Storefronts (12)**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

1 CONGRESS ST. (LUHD-425) – WORK SESSION #C (MAJOR PROJECT)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MAJOR PROJECT ALTERATIONS TO EXISTING HISTORIC BUILDINGS & ADD A 4-STORY BUILDING				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:1 CONGRESS ST. Case No.: C Date: 4-13-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **445 MARCY STREET (LUHD-424)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION #D**

- A. Property Information - General:**
Existing Conditions:
- Zoning District: GRB
 - Land Use: Single-Family
 - Land Area: 14,810 SF +/-
 - Estimated Age of Structure: NA
 - Building Style: NA
 - Number of Stories: 2.5
 - Historical Significance: NA
 - Public View of Proposed Work: View from Pray and Marcy Street
 - Unique Features: NA
 - Neighborhood Association: South End

B. Proposed Work: To add a single family residence.

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

- ☒ Highly Sensitive ☐ Sensitive ☐ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☒ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

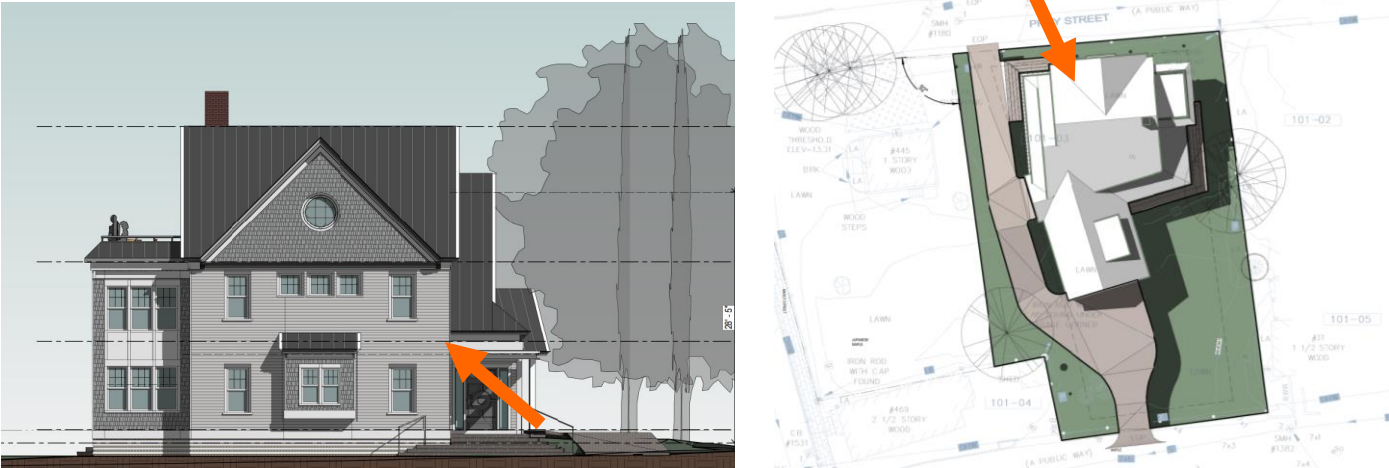
- This proposed structure is located along Pray Street and will be surrounded with many wood-sided, 2.5- story contributing historic structures. Most buildings have a shallow front- and side-yard setbacks and deeper but still relatively compact rear yards.

J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to revise the previous approval for:
 - Adding a new single family structure on the lot where previous a historic structure was located.
- **NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH AND WE WILL GET THE REVISED BUILDING DESIGN INTO THE CITY’S 3D MASSING MODEL.**

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING

NA**

445 MARCY STREET (LUHD-424) – WORK SESSION #D (MODERATE)

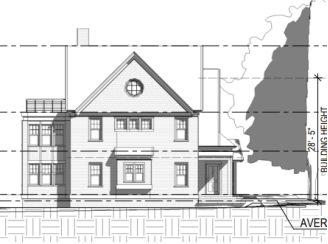
		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT – ADD A NEW SINGLE FAMILY STRUCTURE ONLY –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 445 MARCY STREET Case No.: D Date: 4-13-22

Decision: ☐ Approved ☐ Continued ☐ Postponed ☐ Withdrawn ☐ Approved with Stipulations ☐ Denied



H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No

2. Assessment of the Historical Significance: ☐ Yes ☐ No

3. Conservation and enhancement of property values: ☐ Yes ☐ No

4. Maintain the special character of the District: ☐ Yes ☐ No

5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No

2. Compatibility of design with surrounding properties: ☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No

Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

129 STATE ST. (LUHD-414)
CERTIFICATE OF APPROVAL
WORK SESSION #E

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4
 - Land Use: Single Family
 - Land Area: 3,050 SF +/-
 - Estimated Age of Structure: c1815
 - Building Style: Federal
 - Number of Stories: 3.0
 - Historical Significance: NA
 - Public View of Proposed Work: View from State and Sheafe Streets
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To add dormers, modify rear additions and rooflines.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located along lower State Street and is surrounded with many contributing historic structures with uniform cornice heights and federal architectural design. The buildings are fronting directly along the street with no front yard setbacks and, where available, have shallow side or rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
 - Removal of decorative window dressings
 - Adding skylights and oculus.
 - Rear additions to existing wood-framed sections.
 - Roof replacement.
 - Addition of lighting.
- NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)

L. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

129 STATE ST. (LUHD-414) – WORK SESSION #E (MODERATE PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>- ADD SKYLIGHTS, OCULUS, AND MODIFY REAR ADDITION -</div>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
39	Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:129 STATE STREET Case No.: E Date: 4-13-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied

☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

92 PLEASANT ST. (LUHD-422)
CERTIFICATE OF APPROVAL
WORK SESSION #F

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4
 - Land Use: Mixed-Use
 - Land Area: 3,050 SF +/-
 - Estimated Age of Structure: c. 1880
 - Building Style: Colonial Revival
 - Number of Stories: 2.5
 - Historical Significance: C
 - Public View of Proposed Work: View from Court and Pleasant St.
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To replace windows, add a balcony and doors.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

K. Neighborhood Context:

- The new building is located along Court and Pleasant Streets in the Downtown neighborhood. It is surrounded with many multi-storied, contributing historic structures on a narrow street with buildings located directly along the street with no front or side yard setbacks.

L. Staff Comments and/ or Suggestions for Consideration:

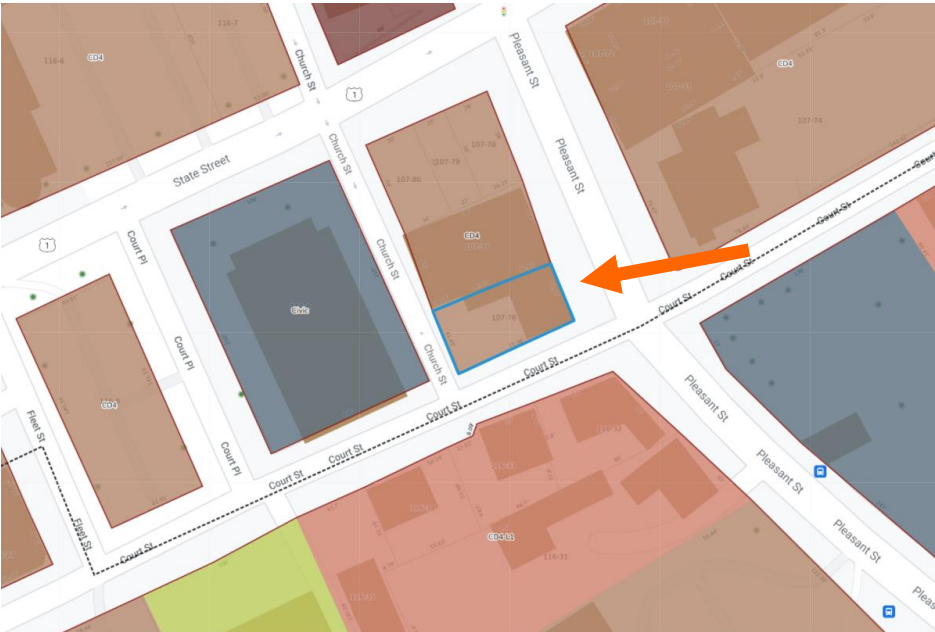
- The applicant is proposing to:
 - Replace the existing windows and aluminum storm windows.
 - Add a balcony on the second floor of the rear elevation.
 - Add doors to access the balcony.
- **NOTE THAT THE REVISED APPLICATION MATERIAL WILL BE AVAILABLE ON APRIL 6TH.**

• Design Guideline Reference – Guidelines for Exterior Windows & Doors (08),
and Porches, Steps and Decks (06)

M. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

92 PLEASANT ST. (LUHD-422) – WORK SESSION #F (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT - REPLACE WINDOWS, ADD A BALCONY AND DOORS ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37 Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38 Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 92 PLEASANT ST. Case No.: F Date: 4-13-22

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied

☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

85 DANIEL ST. (LUHD-445)
CERTIFICATE OF APPROVAL
WORK SESSION #1

- Existing Conditions:
- Zoning District: CD4
 - Land Use: Mixed-Use
 - Land Area: 3,050 SF +/-
 - Estimated Age of Structure: c.1860
 - Building Style: Greek Revival
 - Historical Significance: C
 - Public View of Proposed Work: View from Daniel St. and Custom house Way
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To replace rear addition, windows and stoop and add dormers.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

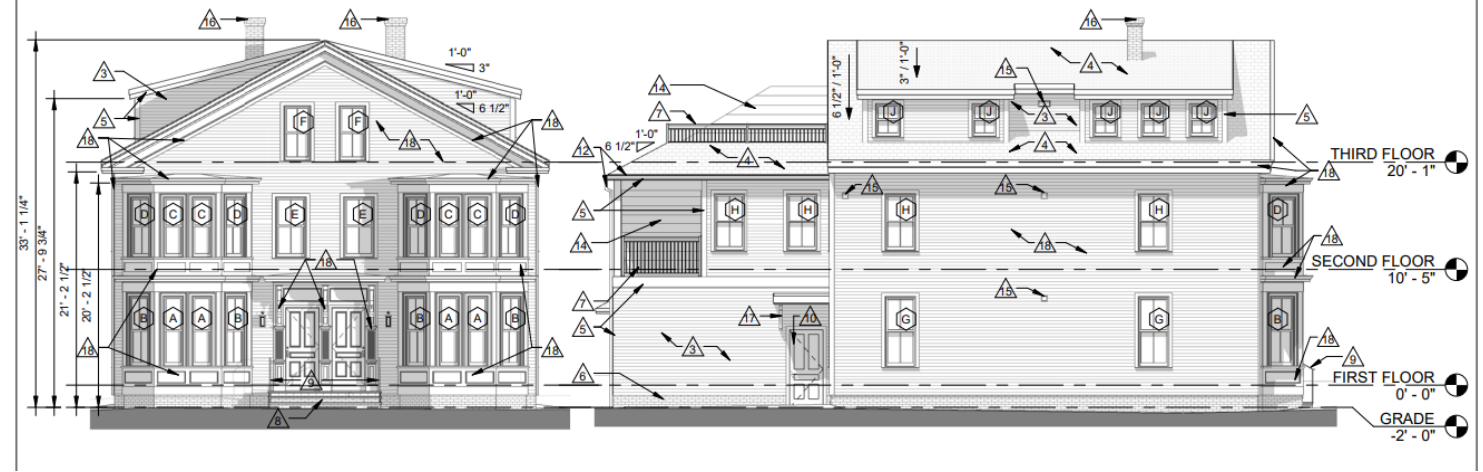
a. This 2.5 story historic structure is located along Daniel Street. It is surrounded with many 2 1/2 -3 story wood-sided and brick historic structures with no front yards and shallow side and rear yards. Rear access to the buildings is available along Custom House Way.

J. Staff Comments and/ or Suggestions for Consideration:

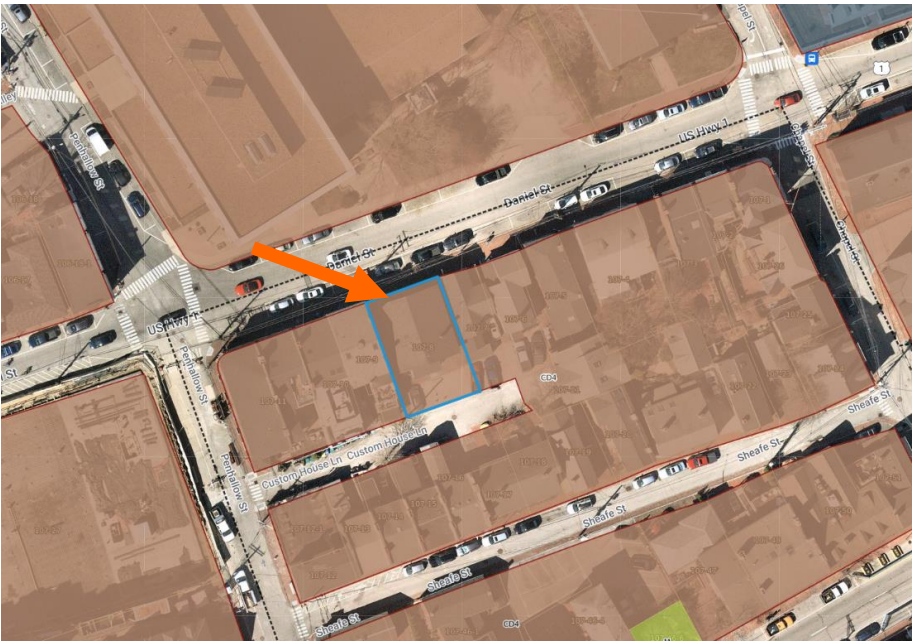
- The Application is proposing to:
- Remove and redevelop the rear addition to the structure in order to support a two-car garage with an upper floor deck.
 - Add wide shed dormers to the roof to support reuse of the attic level.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Porches, Steps and Decks (06), Windows and Doors (08,) and Small Scale New Construction and Additions (10).

K. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions



Zoning Map

HISTORIC
SURVEY
RATING

C

85 DANIEL ST. (LUHD-445) – WORK SESSION #1 (MODERATE)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: 85 DANIEL ST. Case No.: 1 Date: 4-13-22</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div>	
STAFF	No.	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
	No.	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<div>MODERATE PROJECT</div> <div>– Remove Rear Addition, Add Dormers & Replace Windows, Siding & Stoop –</div>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

H. Purpose and Intent:

1. Preserve the integrity of the District:
2. Assessment of the Historical Significance:
3. Conservation and enhancement of property values:

☐ Yes ☐ No
☐ Yes ☐ No
☐ Yes ☐ No

4. Maintain the special character of the District:
5. Complement and enhance the architectural and historic character:
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No
☐ Yes ☐ No
☐ Yes ☐ No


I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No
☐ Yes ☐ No



**LU-22-43**

Land Use Application

Status: Active**Date Created:** Mar 17, 2022**Applicant**

Anne Whitney
archwhit@aol.com
9 Sheafe St
Portsmouth, NH 03801
603-427-2832

Location

55 GATES ST
Portsmouth, NH 03801

Owner:

STONE DONALD & RASA REV TST & STONE RASA K & DONALD A TTEES
110 SUNRISE CT KALISPELL, MT 59901

Applicant Information**Please indicate your relationship to this project**

B. Property Owner's Representative

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

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☐

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☐

Request for Extension of Previously Granted Land Use Approval

EXTERIOR RENOVATION NOTES:

- REPLACE EXISTING BEVELED SIDING WITH PREPRIMED CEDAR. MATCH EXISTING TO WEATHER SPACING.
- REPAIR OR REPLACE EXISTING TRIM DETAILS AT ROOF, HOUSE, WINDOWS.
- REPAIR FOUNDATION AT BOX BAY & RESUPPORT FLOOR AT 1-STORY ELL AT REAR, SEEN FROM WASHINGTON STREET.
- REMOVE EXISTING CHIMNEY AS SHOWN ON DRAWINGS. 2ND CHIMNEY TO REMAIN.
- REPLACE EXISTING BULKHEAD COVER AT RIGHT SIDE WITH PAINTED METAL "BILCO" COVER.

WINDOW & EXTERIOR DOOR SCHEDULES

SYM.	UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
WINDOWS					
A	ELDH 2260	2/2	1' 10 1/4" X 5' 1/4"	MARVIN INC., ELEVATE, Doublehung, 7/8" SDL w/ Low E Glazing, Cladding "Stone White" Hardware to be chosen by Owner. In existing wall	2
B	ELDH 3260	2/2	2' 8 1/4" X 5' 1/4"	DITTO	7
C	ELDH 2252	2/2	1' 10 1/4" X 4' 4 1/4"	DITTO	1
D	ELDH 3260	2/2	2' 8 1/4" X 4' 4 1/4"	DITTO	3
					Units Tempered
D	ELDH 3260	2/2	2' 8 1/4" X 4' 4 1/4"	DITTO	9
					Units Tempered
E	ELAWN 2923	2	2' 5" X 2' 3 5/8"	MARVIN INC., ELEVATE, Awning, 7/8" SDL w/ Low E Glazing, Cladding "Ebony" Hardware to be chosen by Owner. In existing wall	1
EXTERIOR DOOR					
I	ELSFD 9068 ØXØ-RH	8	8' 11 1/2" x 6' 10 1/2"	MARVIN INC., ELEVATE, Sliding French Door, 7/8" SDL w/ Low E Glazing, Cladding "Stone White" Hardware to be chosen by Owner. in existing wall.	1

WINDOW - EXT. DOOR NOTES

1. VERIFY WINDOW SIZING IN EXISTING OPENINGS, ADJUST AS REQUIRED.
2. SUBMIT FINAL WINDOW/DOOR ORDER & SHOP DRAWINGS TO ARCHITECT FOR APPROVAL BEFORE ORDERING



VIEW AT THE CORNER OF WASHINGTON & GATES STREET



EXISTING FRONT ELEVATION GATES STREET

D 5 AT
2ND FLOOR

B 4 AT
1ST FLOOR

9 Sheafe Street
Portsmouth
NH 03801
603-427-2632

ANNE WHITNEY ARCHITECT

RENOVATIONS, STONE RESIDENCE

55 GATES STREET PORTSMOUTH, NH

Project: 2110

Revisions:

Date: 3/16/22

1 OF 4



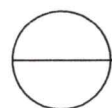
VIEW ALONG REAR PROPERTY LINE
FROM WASHINGTON STREET



NEW CONCRETE POST
FOOTING AT 1-STORY ELL

VERTICAL BD.
SKIRTING

REPAIR BAY
BRICK FOUNDATION



WASHINGTON STREET ELEVATION
SCALE : 1/4" = 1'-0"



WASHINGTON STREET ELEVATION

SCHEMATIC DESIGN

RENOVATIONS, STONE RESIDENCE

55 GATES STREET

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

ANNE WHITNEY ARCHITECT

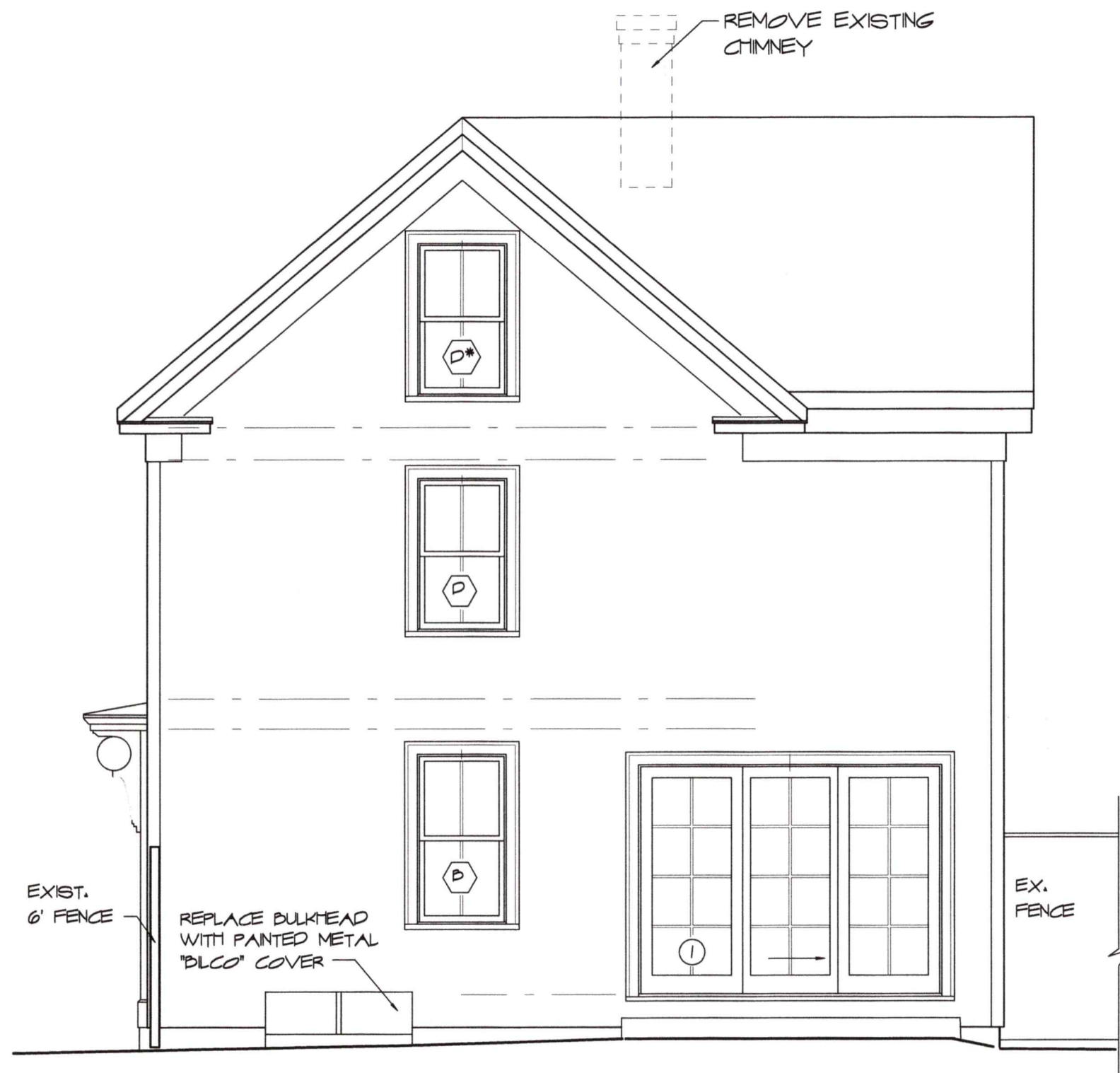
PORTSMOUTH, NH

Project: # 2110

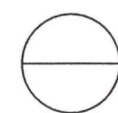
Revisions:

Date: 3/16/22

2 OF 4



VIEW ON RIGHT SIDE ELEVATION



RIGHT SIDE ELEVATION
SCALE : 1/4" = 1'-0"

SCHEMATIC DESIGN

RENOVATIONS, STONE RESIDENCE

55 GATES STREET

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

ANNE WHITNEY ARCHITECT

PORTSMOUTH, NH

Project: * 2110

Revisions:

Date: 3/16/22

3 OF 4



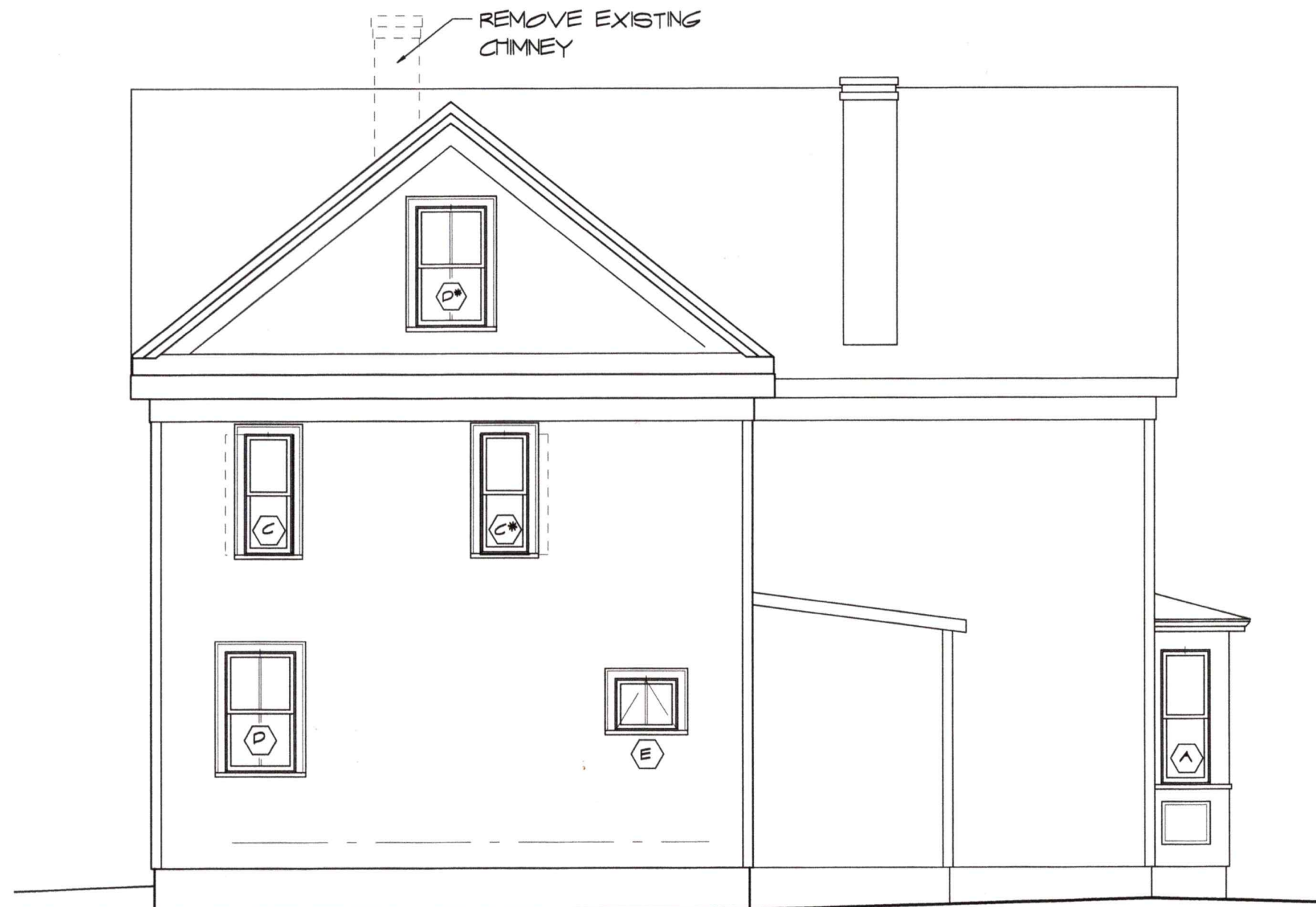
VIEW FROM HANCOCK STREET



CONDITION OF EXISTING WINDOW TRIM & SILLS



MARVIN, ELEVATED PROFILE WITH WOOD TRIM



REAR ELEVATION
SCALE: 3/16" = 1'-0"

SCHEMATIC DESIGN

RENOVATIONS, STONE RESIDENCE

55 GATES STREET

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

ANNE WHITNEY ARCHITECT

PORTSMOUTH, NH

Project: # 2110

Revisions:

Date: 3/16/22

4 OF 4

MARVIN ELEVATE™ COLLECTION
DOUBLE HUNG

55 GATKS STREET

AWNING

MO (mm)	1-10 (559)	2-2 (660)	2-6 (762)	2-8 (813)	2-10 (864)
RO (mm)	1-10 1/2 (572)	2-2 1/2 (673)	2-6 1/2 (775)	2-8 1/2 (826)	2-10 1/2 (876)
FS (mm)	1-9 1/2 (546)	2-1 1/2 (648)	2-5 1/2 (749)	2-7 1/2 (800)	2-9 1/2 (851)
DLO (mm)	1-3 11/16 (398)	1-7 11/16 (500)	1-11 11/16 (602)	2-1 11/16 (652)	2-3 11/16 (703)
3-0 (914)	(S.O. 1-8 x 2-10)	(S.O. 2-0 x 2-10)	(S.O. 2-4 x 2-10)	(S.O. 2-6 x 2-10)	(S.O. 2-8 x 2-10)
3-0 1/4 (921)	ELDH2236	ELDH2636	ELDH3036	ELDH3236	ELDH3436
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3-1 1/2 (935)					
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10-0 1/2 (2867)					

**LU-22-38**

Land Use Application

Status: Active**Date Created:** Mar 2, 2022**Applicant**

Brian Ribeiro
brian@eribeirocorp.com
3 New Industrial Way
Warren, RI 02885
4016266465

Location

531 ISLINGTON ST
Portsmouth, NH 03801

Owner:

Joe Salema & Dorothy Salema Normand
780 Portsmouth Avenue Greenland, NH 03840

Applicant Information**Please indicate your relationship to this project**

B. Property Owner's Representative

Alternative Project Address**Alternative Project Address**

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Request for Extension of Previously Granted Land Use Approval

DUNKIN'

531 ISLINGTON STREET
PORTSMOUTH,
NEW HAMPSHIRE
03801

ROCKINGHAM COUNTY

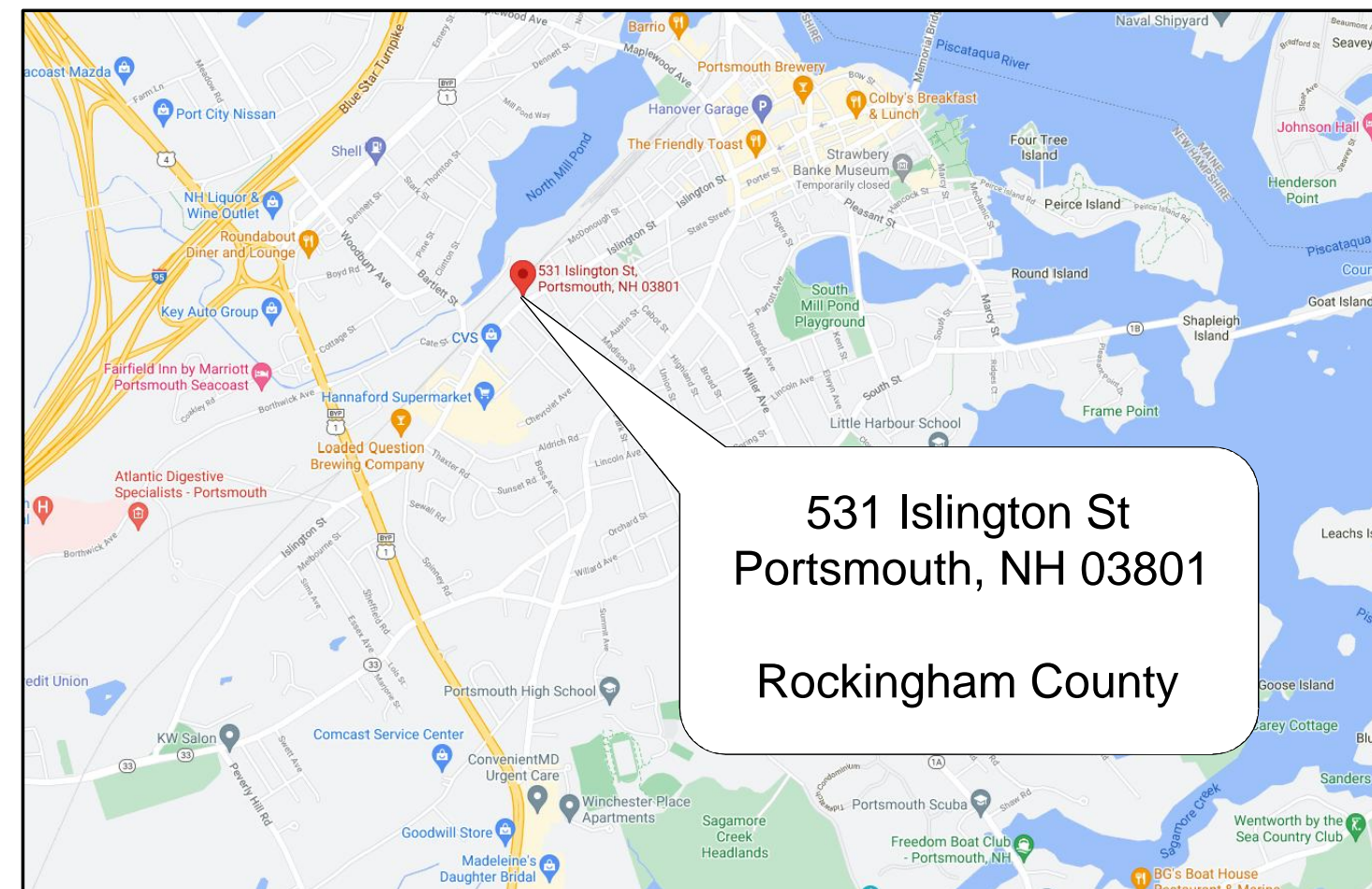
NOVEMBER 19, 2021
FOR CONSTRUCTION

Project
Design by:



**AHARONIAN
& ASSOCIATES INC.**
ARCHITECTS

310 George Washington Highway
Suite 100
Smithfield, Rhode Island
0 2 9 1 7
T 401-232-5010
F 401-232-5080
WWW.ARCH-ENG.COM



INDEX OF DRAWINGS

DWG NO	DESCRIPTION
D1.1	DEMOLITION FLOOR PLAN
D1.2	DEMOLITION CEILING PLAN
D3.1	DEMOLITION ELEVATIONS
A0.1	ADMINISTRATIVE REQUIREMENTS, SCHEDULE OF RESPON., EGRESS & OCCUPANCY DIAGRAMS
A0.2	SCHEMATIC SITE PLAN, SCHEDULE & DETAILS
A1.0	SLAB PENETRATION PLAN & DETAIL
A1.1	FLOOR PLAN, DOOR SCHEDULE & DETAILS
A1.2	FLOOR FINISH PLAN & DETAILS
A1.3	REFLECTED CEILING PLAN, SCHEDULE & DETAILS
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR DETAILS
A3.3	COLORLED EXTERIOR ELEVATIONS
A4.1	WALL SECTIONS & DETAILS
A6.1	INTERIOR ELEVATIONS & DETAIL
A7.0	MASTER FINISH SCHEDULES
A7.1	MASTER FINISH SCHEDULES
A7.2	MASTER FINISH SCHEDULES
A7.3	MASTER FINISH SCHEDULES
A7.4	NATIONAL ACCOUNTS
K1.1	EQUIPMENT PLAN
K1.2	EQUIPMENT SCHEDULE
P1.1	WASTE & VENT LINE PLUMBING PLAN & SCHEDULE
P1.2	WATER LINE PLUMBING PLAN & DETAILS
P2.1	OPTION #4 WATER FILTRATION SYSTEM DETAIL
E0.1	GENERAL ELECTRICAL NOTES
E1.1	POWER PLAN, SCHEDULES & DETAILS
E1.2	POS COMMUNICATIONS PLAN, SCHEDULE & DETAILS

ABBREVIATION INDEX

#	AND	EXIST	EXISTING	NTS	NOT TO SCALE	SQ	SQUARE
@	AT	EXT	EXTERIOR	OA	OVERALL	SS	STAINLESS STEEL
A/C	AIR CONDITIONING	FCB	FIBER CEMENT BD	OC	ON CENTER	STD	STANDARD
AF	ABOVE FLOOR	FD	FLOOR DRAIN	OGH	ON CENTER	STL	STEEL
ALUM	ALUMINUM	FIN	FINISH	OCV	ON CENTER	STRUCT	STRUCTURAL
ALT	ALTERNATE	FL	FLOOR		VERTICALLY	SUSP	SUSPENDED
APPROX	APPROXIMATE	FO	FACE OF	OD	OUTSIDE DIAMETER	TBD	TO BE DETERMINED
BD	BOARD	FR	FIRE RETARDANT	OPT	OPTIONAL	TEL	TELEPHONE
BS	BELOW GRADE	FT	FOOT	PL	PLATE	THK	THICK
BLDG	BUILDING	FURN	FURNITURE	FLM	PLASTIC LAMINATE	THRU	THROUGH
BM	BASEMENT	GA	GAUGE	PLYM	PLYWOOD	TOP	TOP OF PLATE
BSMT	BETWEEN	GALV	GALVANIZED	PLUMB	PLUMBING	TOS	TOP OF STEEL
BTWN	BOTTOM	GYF BD	GYPSUM BOARD	FLYWD	FLYWOOD	TOSL	TOP OF SLAB
BOT	BOTTOM	HDWD	HARDWOOD	PR	PAIR	TRT	TREATED
C/L	CENTER LINE	HDR	HEADER	PROP	PROPERTY	TYP	TYPICAL
CT	CERAMIC TILE	HM	HOLLOW METAL	PSF	PER SQUARE FOOT	UNO	UNLESS NOTED OTHERWISE
CLG	CEILING	HORIZ	HORIZONTAL	PSI	PER SQUARE INCH	VB	VINYL BASE
CLO	CLOSET	HST	HEIGHT	PT	PRESSURE TREATED	VGT	VINYL COMPOSITION TILE
CM	CONSTRUCTION M&R	ID	INSIDE DIAMETER	PTD	PAINTED	VERT	VERTICAL
CMU	CONC MASONRY UNIT	INSUL	INSULATION	PVC	POLY VINYL CHLORIDE	VIF	VERIFY IN FIELD
COL	COLUMN	INT	INTERIOR	QT	QUARRY TILE	VAC	VINYL WALL COVERING
CONC	CONCRETE	JT	JOINT	QTY	QUANTITY	W/	WITH
CONT	CONTINUOUS	LAM	LAMINATE	RAD	RADIUS	WC	WATER CLOSET
CONST	CONSTRUCTION	LAV	LAVATORY	REF	REFRIGERATOR	WD	WOOD
DEPT	DEPARTMENT	LT	LIGHT	REIN	REINFORCING	WO	WITHOUT
DTL	DETAIL	MAS	MASONRY	REV	REVISION	WP	WATERPROOFING
DIA/Ø	DIAMETER	MAX	MAXIMUM	REQD	REQUIRED	WT	WEIGHT
DIM	DIMENSION	MECH	MECHANICAL	RES	RESILIENT	WAF	WELDED WIRE FABRIC
DISP	DISPENSER	MTL	METAL	RM	ROOM		
DN	DOWN	MANUF	MANUFACTURER	RO	ROUGH OPENING		
DR	DOOR	MIN	MINIMUM	SCHED	SCHEDULE		
DS	DOWNSPOUT	MISC	MISCELLANEOUS	SEC	SECTION		
DWG	DRAWING	MO	MASONRY OPENING	SF	SQUARE FOOT		
EA	EACH	MTD	MOUNTED	SHT	SHEET		
EL	ELEVATION	NIC	NOT IN CONTRACT	SIM	SIMILAR		
ELEC	ELECTRICAL	NO	NUMBER	SPEC	SPECIFICATION		
EQ	EQUAL	NOM	NOMINAL				
EQUIP	EQUIPMENT						
ETR	EXIST TO REMAIN						

DUNKIN' BRANDS REVIEW FOR DESIGN CONFORMANCE ONLY

APPROVAL FOR THESE PLANS BY DUNKIN' DONUTS DOES NOT IMPLY THAT DUNKIN' BRANDS HAS REVIEWED THEM FOR CONFORMITY TO APPLICABLE CODES OR REGULATIONS.

- ☐ APPROVED
- ☐ APPROVED AS NOTED:
Submit Record Copy for Archives
- ☐ DISAPPROVED AS NOTED:
Revise and Resubmit
- ☐ INCOMPLETE INFORMATION:
Add requested information and resubmit

DUNKIN' BRANDS Construction Manager

DATE

PC #
307346

FRANCHISEE

DOROTHY NORMAND
OFFICE: (603) 770-8229
MOBILE: (781) 731-4541
EMAIL: ddsalemanormand@gmail.com

CONSTRUCTION MANAGER

CHRIS JESSON
OFFICE: (938) 222-6471
FAX: (781) 731-4541
EMAIL: C.Jesson@inspirebrands.com

DUNKIN' BRANDS DATA

IMAGE TYPE:
NEXTGEN IMAGE: WARM PALETTE

STORE DIMENSIONS:

SERVICE AREA: 366 NET SF ±
DINING/SALES AREAS: 183 NET SF ±
BACK ROOM: 304 NET SF ±
OFFICE: 41 NET SF ±
RESTROOM(S): 47 NET SF ±
WALK-IN BOX: 54 NET SF ±

TOTAL: 1,050 NET SF ±

RESTROOMS:

OF RESTROOMS: 1
PUBLIC ACCESS: N
HANDICAP ACCESSIBLE: Y

SEATING:

N/A

DRIVE-THRU:

APPLICABLE: Y
OF D/T WINDOWS: 1
MENU BOARD TYPE: 2 PANEL w/
SEP. SPEAKER

ESCAPE LANE: N
WDN TO MENU BD CAR STACKING: 4 CARS

PROJECT DATA

CODES, RULES, REGULATIONS

FEDERAL, STATE AND MUNICIPAL LAWS

PORTSMOUTH, NEW HAMPSHIRE RULES AND/OR REGULATIONS

INTERNATIONAL EXISTING BUILDING CODE 2015 w/ AMENDMENTS

ALTERATION LEVEL: 3

INTERNATIONAL ENERGY CONSERVATION CODE 2015; w/ AMENDMENTS

INTERNATIONAL MECHANICAL CODE 2015 w/ AMENDMENTS

INTERNATIONAL PLUMBING CODE 2015 w/ AMENDMENTS

NATIONAL ELECTRICAL CODE 2017 w/ AMENDMENTS

INTERNATIONAL FIRE CODE, 2018

LIFE SAFETY CODE 2015 NFPA 101

NEW HAMPSHIRE STATE FIRE CODE; SAF-C 6000 w/ NFPA 1, UNIFORM FIRE CODE 2015

ANSI A117.1 2009 ACCESSIBILITY CODE

NEW HAMPSHIRE CODE FOR BARRIER-FREE DESIGN

ANY PREVAILING RULES, REGULATIONS PERTAINING TO ADEQUATE PROTECTION AND/OR GUARDING OF ANY MOVING PARTS OR OTHERWISE HAZARDOUS LOCATIONS.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 OR REVISIONS THERETO, WHICH ARE APPLICABLE DURING THE TERM OF THIS CONTRACT AND HOLD THE OWNER AND/OR HIS/HER AGENTS HARMLESS FROM ANY CLAIM OR LOSS THAT MAY RESULT FROM VIOLATIONS OF OR CLAIMS UNDER THIS ACT.

IFC 2015 w/ AMENDMENTS

403.9 EXCEPTION #2:
PUBLIC TOILET FACILITIES SHALL NOT BE REQUIRED IN STRUCTURES AND TENANT SPACES INTENDED FOR QUICK TRANSACTIONS, INCLUDING TAKEOUT, PICKUP & DROP-OFF, HAVING A PUBLIC ACCESS AREA LESS THAN OR EQUAL TO 300 SQUARE FEET.

BUILDING CODE DESIGN CRITERIA

DD USE GROUP:
(EXISTING) BUSINESS (B)
PROPOSED: NO CHANGE

DD CONSTRUCTION TYPE:
(EXISTING) ASSUMED TYPE BB
PROPOSED: NO CHANGE

DD AREA:
EXISTING: 1,235 ± GROSS SF
PROPOSED: NO CHANGE

DD OCCUPANT LOAD:
(SEE A0.1 FOR OCCUPANCY DIAGRAM)

STANDING AREA (PUBLIC)
43 ± / 5 N = 4 OCCUPANTS

KITCHEN AREA (NON PUBLIC)
41 ± / 200 G = 3 OCCUPANTS

UTILITY/STORAGE (NON PUBLIC)
461 ± / 300 G = 2 OCCUPANTS

OFFICE (NON PUBLIC)
121 ± / 100 G = 2 OCCUPANTS

TOTAL OCCUPANT LOAD = 16

LENGTH OF EXIT ACCESS TRAVEL:
200' MAXIMUM w/o SPRINKLER SYSTEM

SPRINKLER SYSTEM:
NONE

FIRE ALARM SYSTEM:
EXISTING TO REMAIN

DD HEATING/COOLING:
EXISTING TO REMAIN

DD ELECTRICAL SYSTEM:
EXISTING TO REMAIN - 120/208V, 3ph

GRAPHIC SYMBOLS

	INTERIOR ELEVATION NUMBER/SHEET		KEYED PLAN NOTES
	ROOM NAME		ROOM NUMBER
	SECTION OR DETAIL KEY NUMBER/SHEET		FINISH NUMBER
	DETAIL KEY		DOOR TYPE
	EQUIPMENT TAG		PARTITION TYPE
	ETR CONSTRUCTION		AREAS NOT IN SCOPE
	EXIST CONSTRUCTION TO BE REMOVED		SLAB DEMO/INFILL
	NEW PARTITION		

ADA STATEMENT

I HEREBY CERTIFY THAT THE PLANS AND DRAWINGS FOR THIS PROJECT WERE DRAWN IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL LAWS, INCLUDING, BUT NOT LIMITED TO, THE AMERICANS WITH DISABILITIES ACT (THE "ADA"), THE ADA ACCESSIBILITY GUIDELINES AND ANY STATE OR LOCAL ACCESSIBILITY CODES, REGULATIONS, OR STANDARDS

ARCHITECT'S SIGNATURE HERE

DATE

GENERAL DEMOLITION NOTES

PROTECTION

- 1) ALL RULES AND REGULATIONS GOVERNING THE RESPECTIVE UTILITIES SHALL BE OBSERVED IN EXECUTING ALL WORK UNDER THIS SECTION. ALL WORK SHALL BE EXECUTED IN SUCH A MANNER AS TO PREVENT ANY DAMAGE TO THE EXISTING BUILDING, SERVICE UTILITY LINES AND STRUCTURES.
- 2) THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGES TO THE EXISTING BUILDING AS WELL AS ADJOINING PRIVATE SPACES AND PROPERTY CAUSED BY HIS SUBCONTRACTOR'S EQUIPMENT AND PERSONNEL.
- 3) PERFORM THE WORK IN SUCH A MANNER AS TO CAUSE NO INTERFERENCE WITH ACCESS BY THIS SUBCONTRACTOR OR OTHER CONTRACTORS TO ALL PORTIONS OF THE BUILDING AS NECESSARY FOR THE NORMAL CONDUCT OF THEIR WORK.
- 4) THE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL ITEMS SCHEDULED TO REMAIN HAVE BEEN ADEQUATELY PROTECTED. TAKE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGING THOSE ITEMS WHICH HAVE BEEN SPECIFIED BY THE OWNER TO BE SALVAGED AND/OR STOCKPILED.
- 5) WALK-IN BOXES TO REMAIN FULLY OPERATIONAL THROUGHOUT DURATION OF PROJECT.

PREPARATION

- 1) NOTIFY ALL CORPORATIONS, COMPANIES, INDIVIDUALS OR LOCAL AUTHORITIES OWNING, OR HAVING JURISDICTION OVER UTILITIES, RUNNINGS TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION OPERATIONS.
- 2) HAVE ALL UTILITY SERVICES NOT OTHERWISE DESIGNATED TO BE DISCONNECTED BY THE CONTRACTOR, DISCONNECTED AT SERVICE MAINS BY THE GOVERNING UTILITY INVOLVED, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR DIRECTED BY THE ARCHITECT.

DEMOLITION

- 1) DEMOLISH DESIGNATED EXISTING FEATURES ABOVE AND BELOW FLOOR LEVELS WITHIN THE CONTRACT LIMIT LINES, AS NOTED TO PREPARE THE BUILDING FOR ALL OTHER WORK AS SPECIFIED OR AS SHOWN ON THE DRAWINGS AND AS ORDERED BY THE ARCHITECT.
- 2) COMPLY WITH ALL STATE OF NEW HAMPSHIRE DEPARTMENT OF HEALTH STANDARDS DURING DEMOLITION OPERATIONS.
- 3) REMOVE AND SALVAGE MATERIAL REQUIRED FOR LATER REUSE AS SHOWN ON THE DRAWINGS AND AS DIRECTED BY THE ARCHITECT.
- 4) REMOVE AND DISPOSE OF ALL UNSUITABLE MATERIAL OFF SITE. THE OWNER SHALL HAVE RIGHT OF FIRST REFUSAL FOR ALL MATERIALS. REMOVE ANY STOCKPILED MATERIAL DEEMED SURPLUS BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- 5) REFER TO KEYED DEMOLITION NOTES AND THE DEMOLITION FLOOR PLAN FOR FURTHER CLARIFICATION OF ITEMS SCHEDULED FOR DEMOLITION.

DISPOSAL AND CLEAN UP

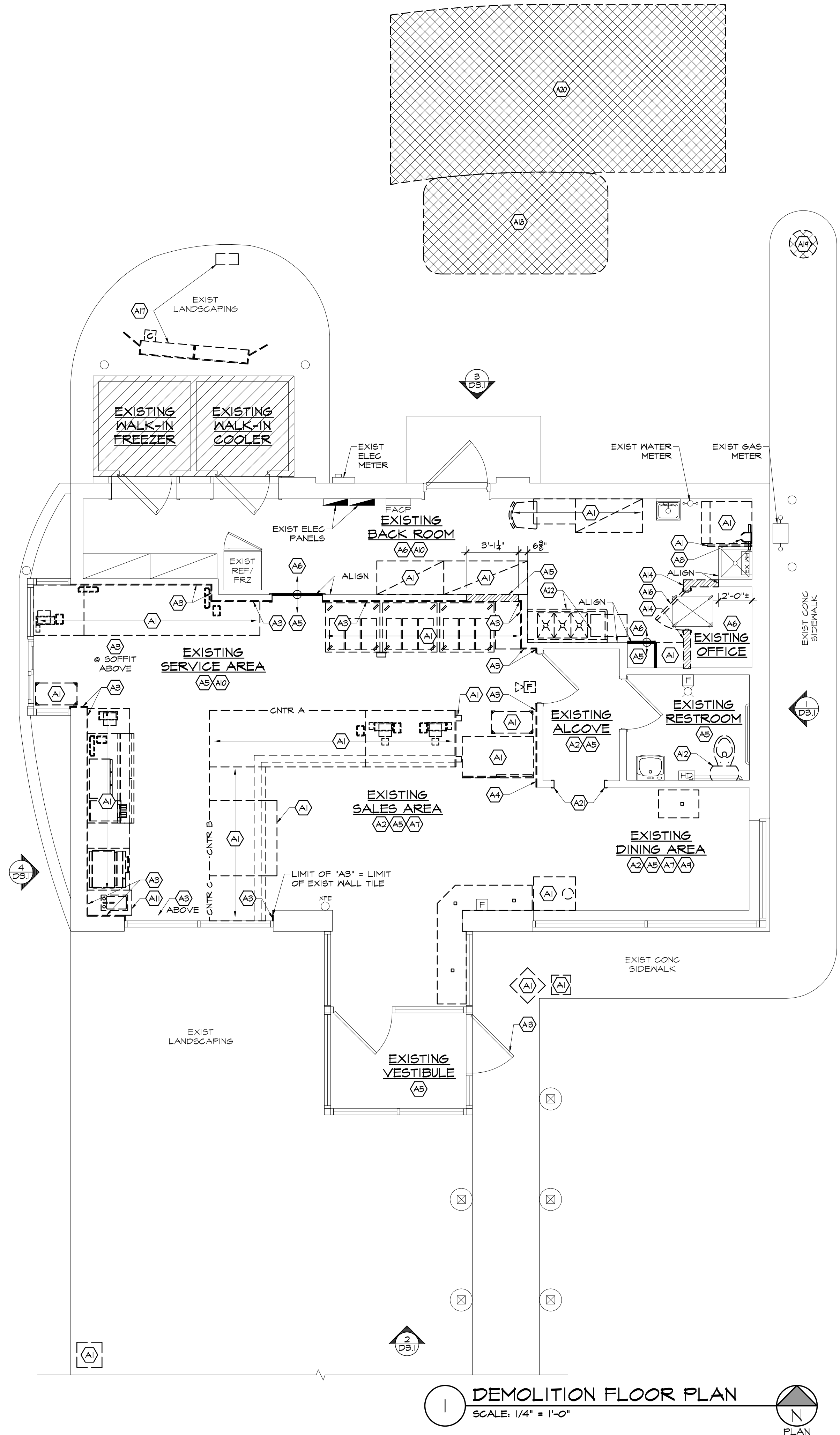
- 1) PROMPTLY REMOVE ANY DEMOLITION DEBRIS OR SIMILAR MATERIAL, KEEPING THE AREA CLEAN AT ALL TIMES.
- 2) DEMOLISHED MATERIAL.
 - A) ALL DEMOLISHED MATERIAL DECLARED UNSUITABLE BY THE ARCHITECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LEGALLY DISPOSED OF OFF THE PREMISES, UNLESS OTHERWISE INDICATED OR SPECIFIED.
 - B) KEEP ALL EXITS, PUBLIC WAYS AND EGRESS PASSAGEWAYS CLEAR OF ALL DEBRIS AT ALL TIMES.
- 3) PREMISES: LEAVE THE PREMISES IN A SAFE, CLEAN AND RELATIVELY ORDERLY CONDITION UPON COMPLETION OF WORK.

LEGEND

ALL ITEMS SHOWN DASHED - - - - ARE TO BE REMOVED

FLOOR DEMO NOTES

- A1) REMOVE MILLWORK, COUNTERTOPS, EQUIPMENT & ALL RELATED ACCESSORIES AS SHOWN. SOME EQUIPMENT MAY BE SALVAGED & REUSED IN NEW LAYOUT AT FRANCHISEE'S DISCRETION. CUT & CAP ELECTRICAL, WASTE AND/OR WATER LINES AS REQ'D TO RECEIVE NEW WORK.
- A2) REMOVE ALL WALL FINISHES, WALL PAPER, WOOD CHAIR RAIL & WALL MOUNTED EQUIPMENT. SALVAGE WALL MOUNTED EQUIPMENT FOR REINSTALLATION IN NEW LAYOUT. WOOD WINDOW SILLS TO REMAIN. REMOVE ANY DAMAGED WOOD SILLS / TRIM AS REQ'D.
- A3) REMOVE TILE WALL FINISH, TILE WALL BASE & SUBSTRATE BACK TO ETR STUDS. SALVAGE ANY WALL MOUNTED EQUIPMENT FOR REINSTALLATION IN NEW LAYOUT.
- A4) REMOVE WALL FINISH, TILE WALL BASE & GYP BOARD BACK TO ETR STUDS AS REQ'D FOR NEW SUBSTRATE @ NEW TILE ACCENT WALL. SALVAGE ANY WALL MOUNTED EQUIPMENT FOR REINSTALLATION / RELOCATION.
- A5) REMOVE TILE WALL BASE & FLOOR TILE IN THIS AREA.
- A6) FLOOR TILE TO REMAIN IN THIS AREA.
- A7) REMOVE ALL SEATING, TABLE TOPS & TABLE BASES.
- A8) REMOVE EXISTING ICE MACHINE WATER FILTRATION SYSTEM & ALL RELATED ACCESSORIES. MAINTAIN WATER PIPING FOR REUSE - COORD W/ PLUMBING DWGS.
- A9) CUT EXISTING WALLS FOR POS/POWER CONDUIT AS REQ'D. SEE ELEC DWGS.
- A10) CUT EXIST CONG SLAB AS REQ'D IN ALL AREAS OF REQUIRED WASTE PIPING & ELEC CONDUIT INSTALLATION. COORD EXTENT OF WORK / SLAB CUTTING IN FIELD W/ EXISTING WASTE CONDITIONS. SEE A10, PLUMB DWGS & ELEC DWGS.
- A11) REMOVE HAND SINK, ALL RELATED ACCESSORIES & SALVAGE FOR REINSTALLATION. MAINTAIN WATER & WASTE LINES FOR REUSE.
- A12) REMOVE TOILET, ALL RELATED ATTACHMENTS AS REQ'D FOR NEW FLOOR FINISH. MAINTAIN PLUMBING CONNECTIONS FOR REUSE. SALVAGE TOILET FOR REINSTALLATION.
- A13) REMOVE "D" DOOR FULL & ALL RELATED ACCESSORIES.
- A14) REMOVE PARTITION AS INDICATED BY [Hatched Box] REMOVE ALL MECHANICAL, PLUMBING & ELECTRICAL ITEMS WITHIN (IF EXISTS) & CAP OR ABANDON AS REQ'D.
- A15) REMOVE PORTION OF PARTITION AS INDICATED BY [Hatched Box] FOR DOOR INSTALLATION AS REQ'D. REMOVE ALL MECHANICAL, PLUMBING & ELECTRICAL ITEMS WITHIN (IF EXISTS) & CAP OR ABANDON AS REQ'D. COORD W/ A11.
- A16) REMOVE DOOR, FRAME & ALL RELATED ACCESSORIES.
- A17) REMOVE EXISTING D/T MENU BOARD, SPEAKER TOWER, CONCRETE FOUNDATION, ELEC & POS CONDUITS & ALL RELATED ACCESSORIES. SEE AO.2.
- A18) REMOVE PORTION OF SITE WORK AS REQ'D FOR NEW CURBING, D/T MENU BOARD & SPEAKER TOWER INSTALLATION. COORD W/ MANUFACTURER FOR D/T MENU BOARD ELEC, POS & ALL OTHER INSTALLATION REQUIREMENTS. SEE AO.2.
- A19) REMOVE PORTION OF PAVEMENT & CONCRETE CURBING AS REQ'D FOR D/T HEIGHT LIMIT BAR FOUNDATION & ELEC CONDUIT INSTALLATION. SEE AO.2. GC TO COORD FINAL LOCATION IN FIELD W/ FRANCHISEE & CM.
- A20) REMOVE PORTION OF PAVEMENT & CONCRETE CURBING AS REQ'D FOR 20'x10'x6" THICK CONCRETE PAD. SEE AO.2. GC TO COORD FINAL LOCATION IN FIELD W/ FRANCHISEE & CM. SEE AO.2.
- A21) REMOVE FRAME & ALL RELATED ACCESSORIES.
- A22) REMOVE 3-BAY SINK, ABOVE-GROUND GREASE TRAP & ALL RELATED ACCESSORIES. MAINTAIN WATER LINES FOR REUSE. CUT & CAP WASTE LINES BACK TO FLOOR AS REQ'D. CHEM SYSTEM TO REMAIN.



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REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396

IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

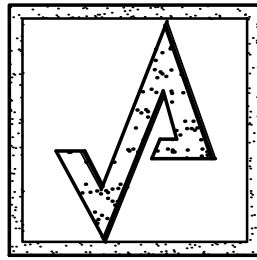
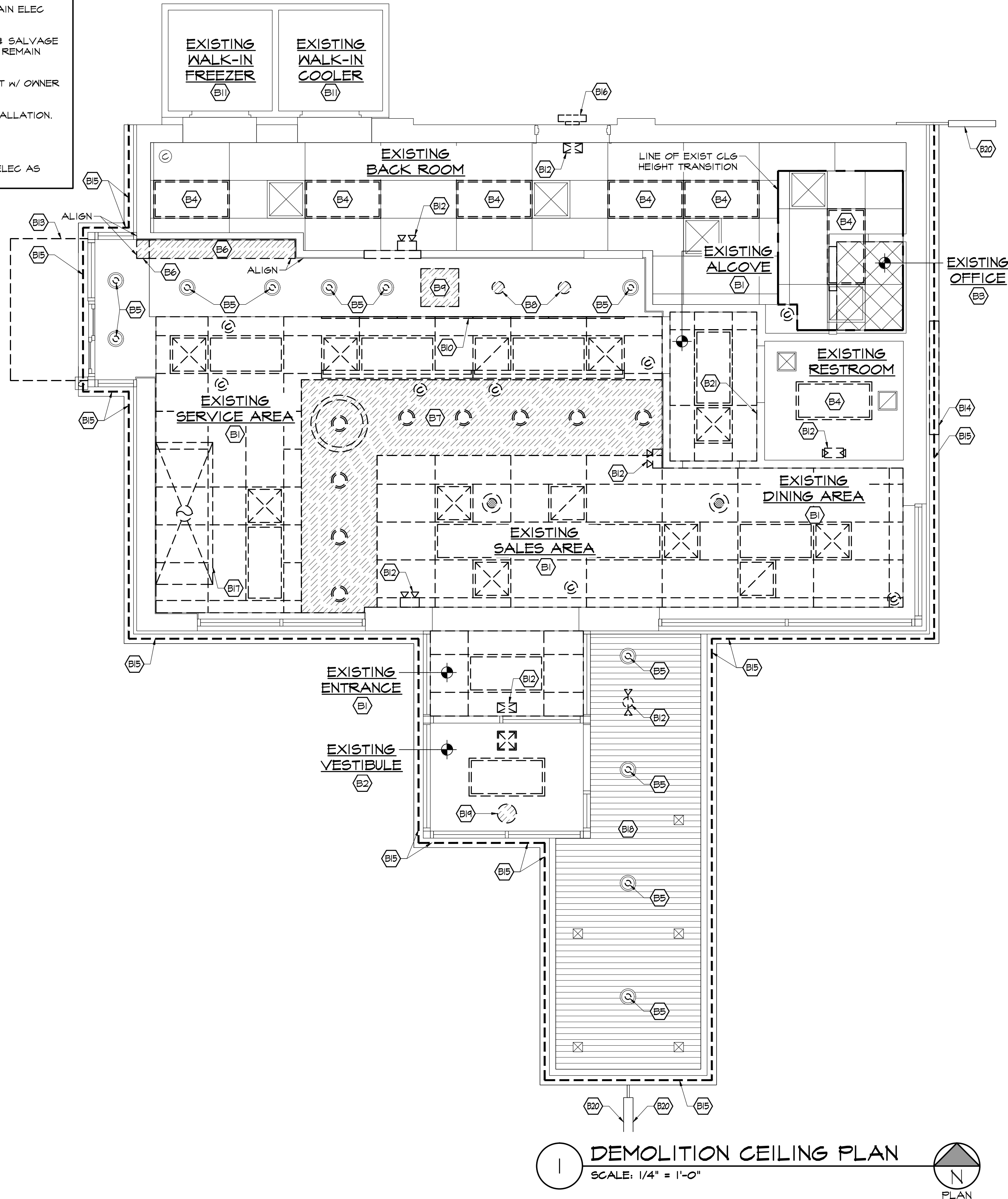
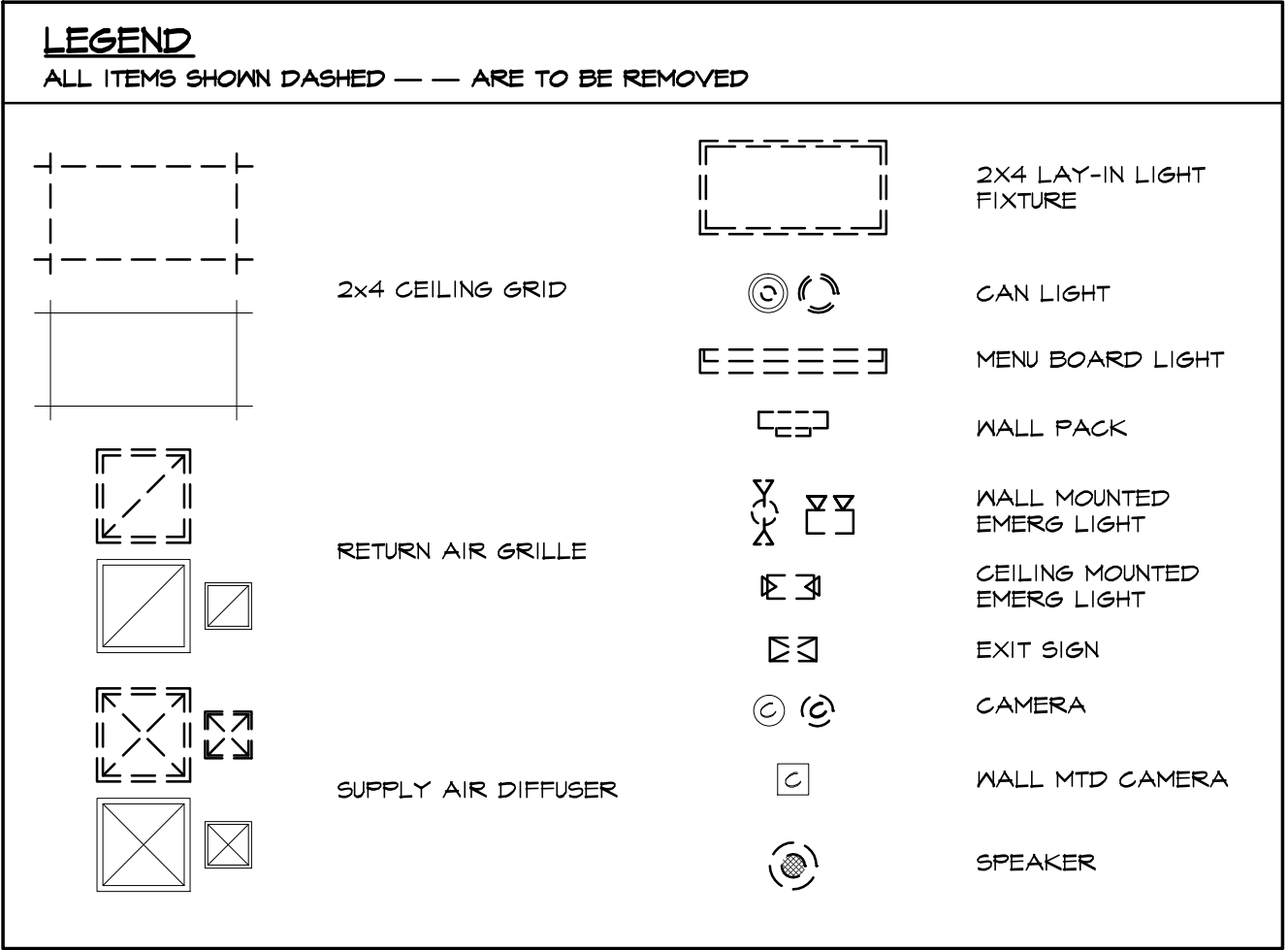
**DEMOLITION
FLOOR PLAN**

DATE NOV 19, 2021	PROJ NO 21057
DRAWN BY ZRA	CHECKED BY AH

DRAWING NUMBER

D1.1

- B1# CEILING DEMO NOTES**
- (B1)** REMOVE ENTIRE SUSPENDED CEILING SYSTEM, ALL LIGHT FIXTURES, CEILING MOUNTED DEVICES, SUPPLY DIFFUSERS & RETURN GRILLES. SALVAGE CEILING MOUNTED DEVICES FOR REUSE IN NEW LAYOUT. DUCTWORK ABOVE CEILING SYSTEM TO REMAIN.
- (B2)** REMOVE LIGHT FIXTURE & SUPPLY DIFFUSER & FROM ETR GYP BOARD CEILING. DUCTWORK ABOVE CEILING SYSTEM TO REMAIN. ELEG TO REMAIN FOR REUSE.
- (B3)** REMOVE ENTIRE CEILING CONSTRUCTION.
- (B4)** REMOVE RECESSED LIGHT FIXTURE. ELEG TO REMAIN FOR REUSE.
- (B5)** REMOVE LAMP FROM ETR CAN LIGHT.
- (B6)** REMOVE PORTION OF SOFFIT CONSTRUCTION & ALL RELATED ACCESSORIES.
- (B7)** REMOVE ENTIRE SOFFIT CONSTRUCTION & ALL RELATED ACCESSORIES.
- (B8)** REMOVE PORTION OF SOFFIT AS REQ'D FOR LIGHT FIXTURE INSTALLATION. SEE A1.3.
- (B9)** REMOVE PORTION OF SOFFIT AS REQ'D FOR HATCH INSTALLATION. SEE A1.3.
- (B10)** REMOVE STATIC MENU BOARDS, BRACKETS & ALL RELATED ACCESSORIES.
- (B11)** VERIFY IN FIELD IF EXISTING WALK-IN BOX LIGHT FIXTURE(S) ARE LED AND/OR CONNECTED TO OCCUPANCY SENSOR. IF NOT, COORD W/ FRANCHISEE & WALK-IN BOX MANUFACTURER FOR REPLACEMENT.
- (B12)** REMOVE EMERGENCY LIGHT FIXTURES & ALL RELATED ACCESSORIES. ELEG TO REMAIN FOR REUSE WHERE NEW FIXTURES ARE PROVIDED - SEE A1.3.
- (B13)** REMOVE AVINING, AVINING FRAME, LIGHT FIXTURE & ALL RELATED ACCESSORIES. ELEG TO REMAIN FOR REUSE IN NEW PRE-FAB CANOPY.
- (B14)** REMOVE BUILDING SIGN & ALL RELATED ACCESSORIES. ELEG TO REMAIN FOR REUSE.
- (B15)** GC TO VERIFY IF EXTERIOR LIGHT FIXTURE IS LED. IF NOT, REMOVE LAMP & RETROFIT ETR LIGHT FIXTURE TO RECEIVE LED LAMP. IF FIXTURE CANNOT UTILIZE LED LAMPS OR NOT BE RETROFITTED, GC TO REMOVE FIXTURE & ALL RELATED ACCESSORIES. MAINTAIN ELEG FOR REUSE.
- (B16)** REMOVE EXTERIOR LIGHT FIXTURE & ALL RELATED ACCESSORIES. MAINTAIN ELEG FOR REUSE.
- (B17)** ETR EXHAUST HOOD - REMOVE HOOD AS REQ'D FOR WALL FINISH WORK & SALVAGE FOR REINSTALLATION IN SAME LOCATION. DUCTWORK & EXHAUST FAN TO REMAIN FOR REUSE.
- (B18)** GC TO VERIFY CONDITION OF EXTERIOR VINYL SOFFIT PANELS & CONSULT W/ OWNER FOR REPAIR / REPLACEMENT OF ANY DAMAGED SOFFIT PANELS.
- (B19)** REMOVE PORTION OF GYP BOARD CEILING AS REQ'D FOR SPEAKER INSTALLATION. SEE A1.3.
- (B20)** REMOVE FACE(S) FROM ETR BLADE SIGN. SEE A0.2.
- (B21)** REMOVE LIGHT SWITCH & ALL RELATED ACCESSORIES. CUT & ABANDON ELEG AS REQ'D.



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REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396
IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

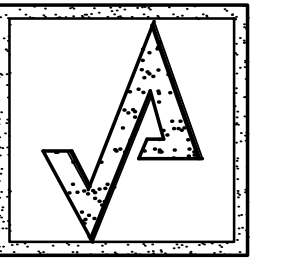
**DEMOLITION
CEILING PLAN**

DATE NOV 19, 2021	PROJ NO 21057
DRAWN BY ZRA	CHECKED BY AH

DRAWING NUMBER

D1.2

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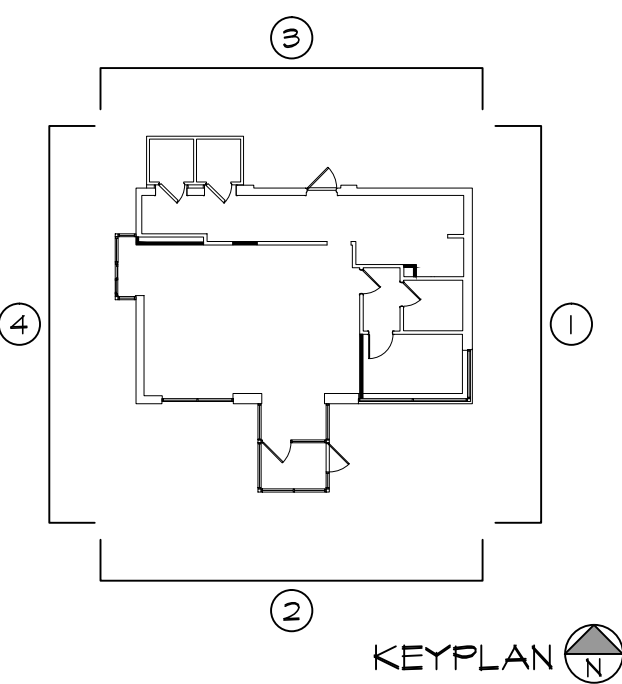
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KEYPLAN

REVISIONS

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FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396

IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
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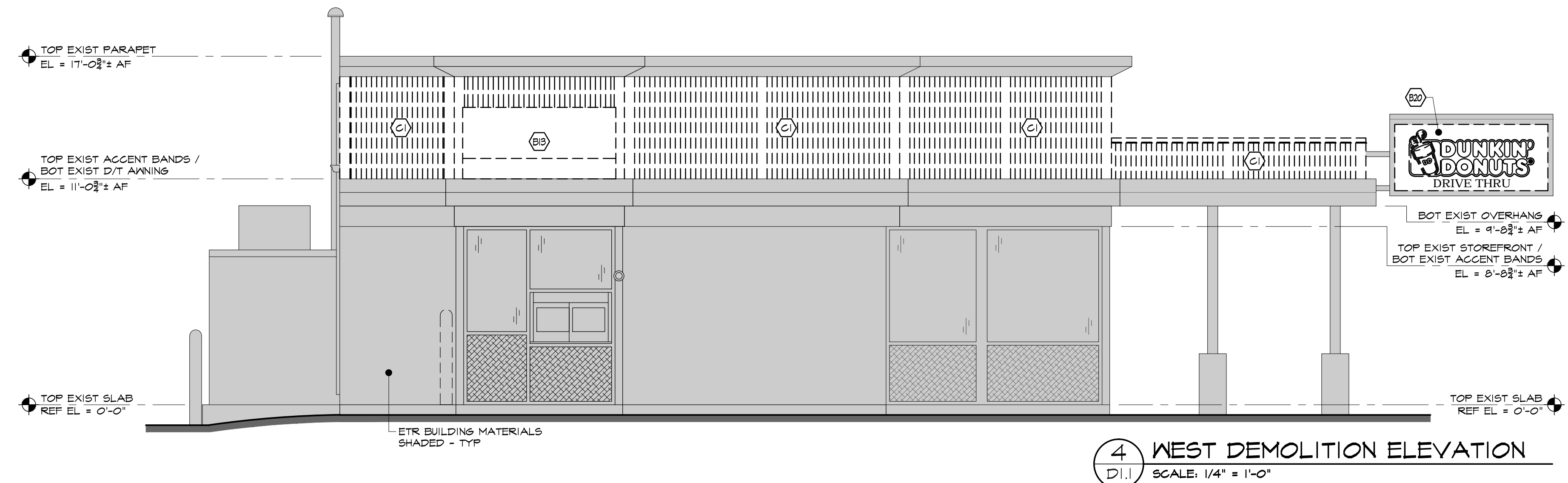
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DEMOLITION
ELEVATIONS

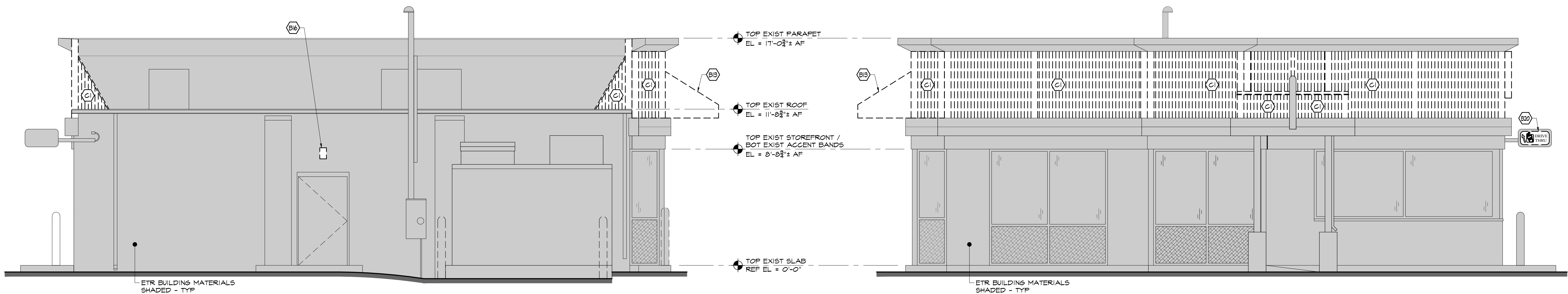
DATE NOV 19, 2021	PROJ NO 21057
DRAWN BY ZRA	CHECKED BY AH

DRAWING NUMBER

D3.1



4 WEST DEMOLITION ELEVATION
DI.1 SCALE: 1/4" = 1'-0"

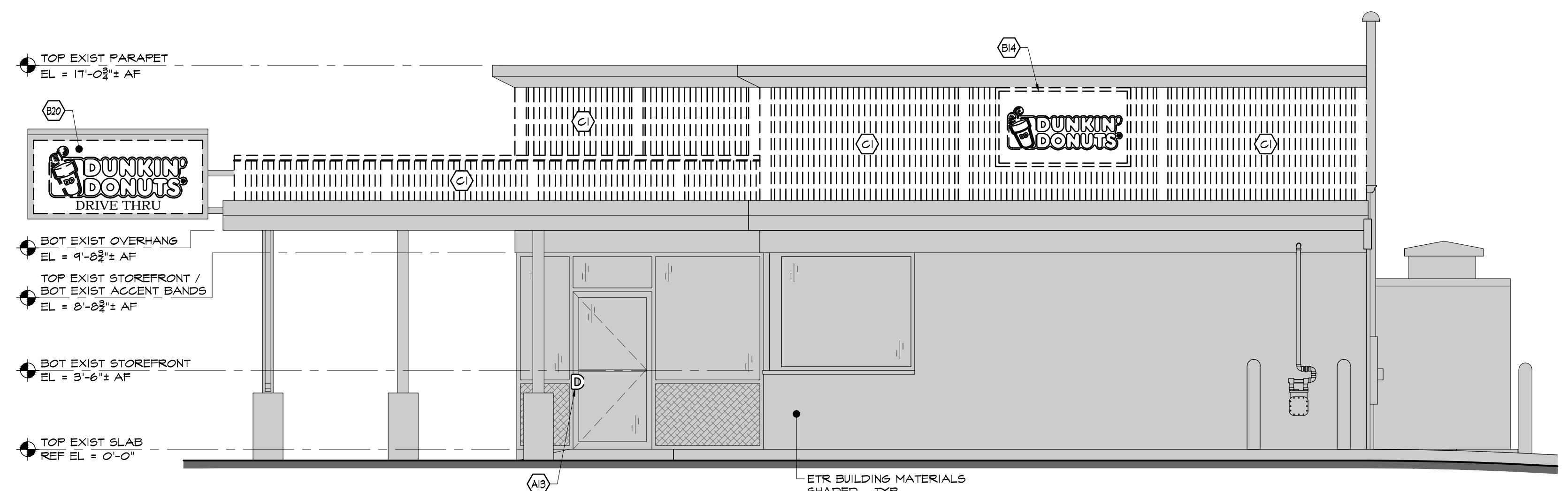


3 NORTH DEMOLITION ELEVATION
DI.1 SCALE: 1/4" = 1'-0"

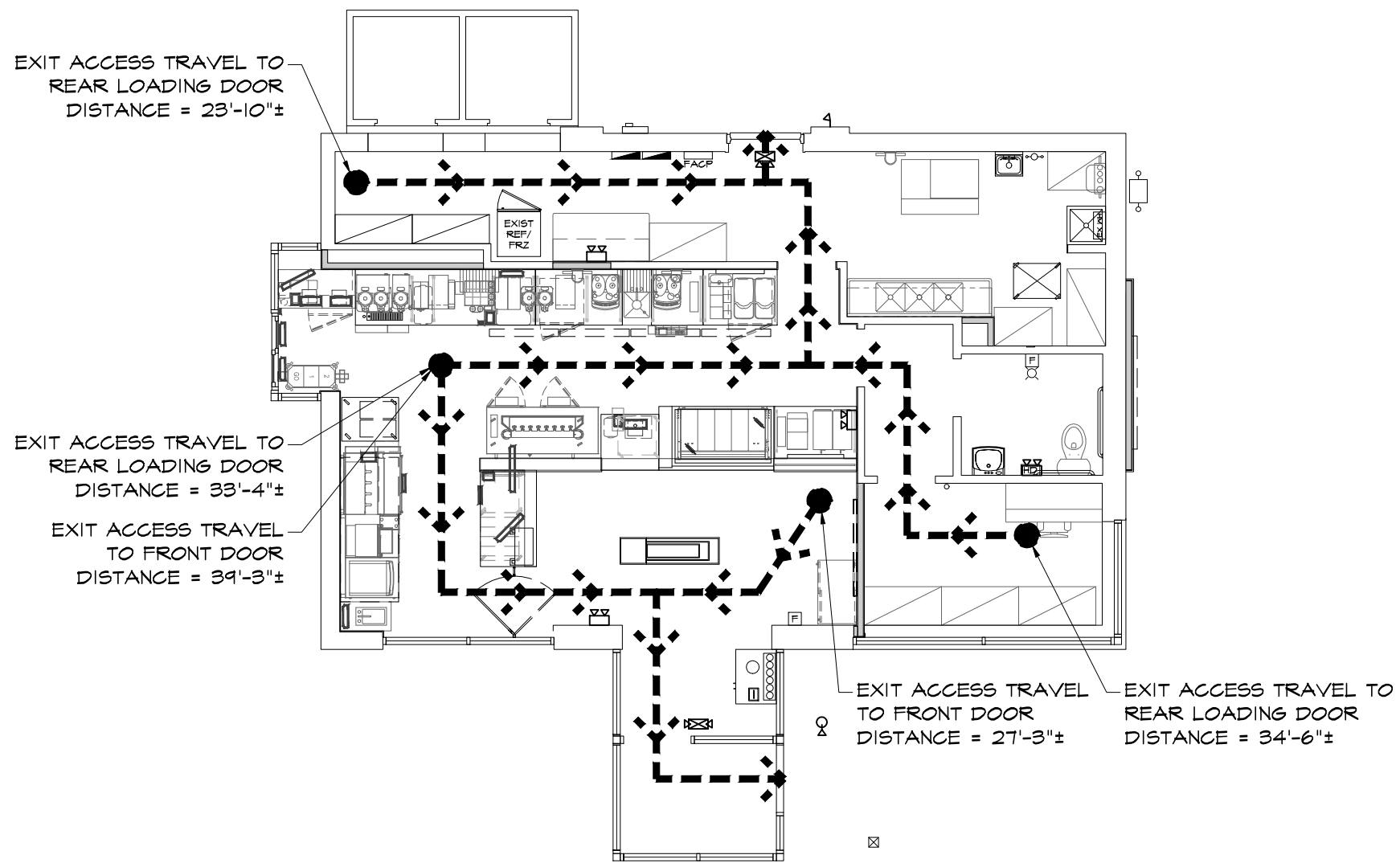
2 SOUTH DEMOLITION ELEVATION
DI.1 SCALE: 1/4" = 1'-0"

EXTERIOR DEMO NOTES
REMOVE METAL FASCIA, METAL COPING & ALL WALL MTD ACCESSORIES BACK TO ETR PLYWOOD SHEATHING AS REQ'D. METAL CORNICE TO REMAIN. SEE A3.1, A3.2 & A4.1.

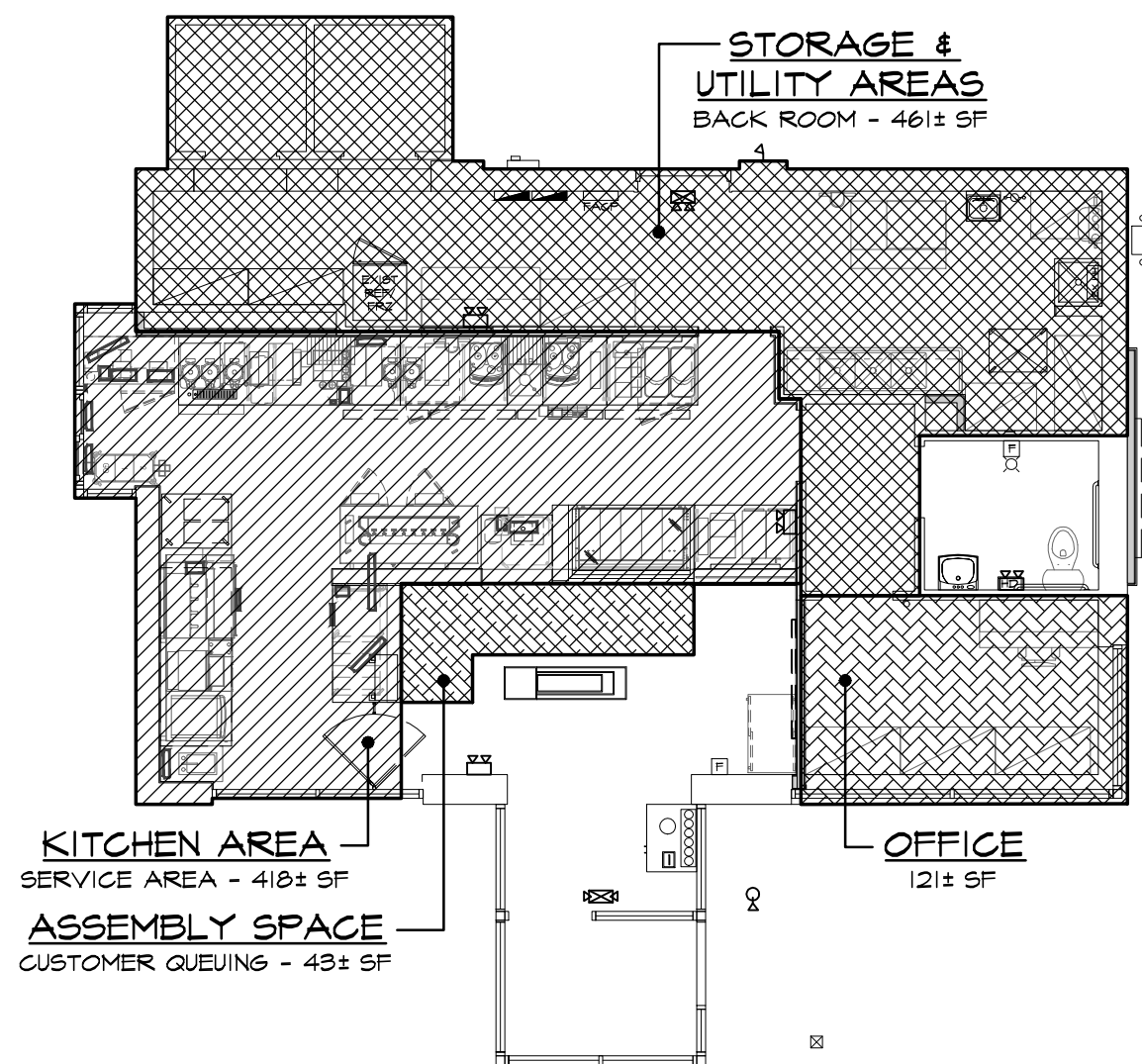
NOTE
SEE DI.1 FOR KEYED FLOOR DEMO NOTES
SEE DI.2 FOR KEYED CEILING DEMO NOTES



1 EAST DEMOLITION ELEVATION
DI.1 SCALE: 1/4" = 1'-0"



2 EGRESS DIAGRAM
SCALE: 1/8" = 1'-0"
PLAN



1 OCCUPANCY DIAGRAM
SCALE: 1/8" = 1'-0"
PLAN

SCHEDULE OF RESPONSIBILITY

ALL WORK SHALL BE PROVIDED (SUPPLIED & INSTALLED) BY THE DUNKIN' DONUTS GC UNLESS OTHERWISE NOTED IN THIS SCHEDULE OR ELSEWHERE IN THE DRAWINGS.

ALL MENTION THROUGHOUT THIS SET OF "OWNER" SHALL BE IN REFERENCE TO THE DUNKIN' DONUTS FRANCHISEE.

ALL MENTION THROUGHOUT THIS SET OF "OTHERS" SHALL BE IN REFERENCE TO A VENDOR UNDER SEPARATE CONTRACT WITH THE DUNKIN' DONUTS FRANCHISEE.

GC SHALL BE RESPONSIBLE FOR COORDINATION OF INSTALLATION OF ALL ITEMS RELATED TO THE DUNKIN' DONUTS ON THE JOB SITE.

DIVISION ITEM	SUPPLIED BY	INSTALLED BY	M-E-P ROUGH-INS	FINAL M-E-P CONNECTIONS
DIV 10 - SPECIALTIES				
BUILDING SIGNS	OTHERS	OTHERS	GC	OTHERS
SITE SIGNS, INCLUDING EXTERIOR MENU BOARD	OTHERS	OTHERS	GC	OTHERS
SITE SIGNS STRUCTURAL SUPPORT (FOOTINGS & BOLTS)	OTHERS	GC	GC	N/A
INTERIOR DIGITAL MENU BOARD	OTHERS	OTHERS	GC*	OTHERS
PRE-FAB METAL CANOPY	GC	GC**	GC	GC
DIV 11 - EQUIPMENT				
KITCHEN EQUIPMENT	OTHERS	OTHERS	GC	GC
DIV 12 - FURNISHINGS				
WALL ART	OTHERS	OTHERS	N/A	N/A
MILLWORK	OTHERS	**	GC	GC
FURNITURE	OTHERS	OTHERS	GC	GC
DIV 22 - PLUMBING				
PLUMBING FIXTURES (EXCEPT 3-BAY AND HAND SINKS)	GC	GC	GC	GC
PLUMBING FIXTURES: 3-BAY & HAND SINKS	OTHERS	OTHERS	GC	GC
DIV 26 - ELECTRICAL				
POS POWER & DATA	OTHERS	OTHERS	OTHERS	OTHERS
ELECTRICAL WIRING & CONDUITS FOR SITE SIGNS, GROUND LOOPS & EXTERIOR MENU BOARD	OTHERS	GC	GC	GC
DIV 27 - COMMUNICATIONS				
CEILING MOUNTED SPEAKERS & RECEIVER	OTHERS	GC	GC	GC
CCTV SYSTEM	OTHERS	OTHERS	OTHERS	OTHERS
POS SYSTEM	OTHERS	OTHERS	OTHERS	OTHERS

* CONFIRM DMB WIRING CONNECTION RESPONSIBILITIES w/ OWNER - SEE THE ELECTRICAL DRAWINGS
** GC TO COORDINATE INSTALLATION OPTIONS

01005 - ADMINISTRATIVE REQUIREMENTS

01005-1: REFERENCE

- THESE SPECIFICATIONS ARE TO SERVE AS A SUPPLEMENT TO ALL OTHER DRAWINGS. WHERE THERE IS A CONFLICT IN REQUIREMENTS OF THOSE DRAWINGS, THE MOST STRINGENT OR PROHIBITIVE SHALL APPLY.
- AIA GENERAL CONDITIONS (A201) ARE HEREBY INCORPORATED INTO THE CONTRACT DOCUMENTS BY REFERENCE.

01005-2: SECTION INCLUDES

- CODES, RULES AND REGULATIONS
- CONTRACTOR USE OF PREMISES
- TEMPORARY FACILITIES
- COORDINATION
- FIELD ENGINEERING
- EXISTING UTILITIES AND STRUCTURES
- CONTRACTOR QUALITY CONTROL
- DELIVERY, HANDLING AND STORAGE OF MATERIALS
- PROTECTION OF INSTALLED WORK
- SUBMITTALS
- SUBSTITUTIONS
- PROJECT CLOSEOUT

01005-3: CODES, RULES, REGULATIONS

- SEE COVER SHEET

01005-4: CONTRACTOR USE OF PREMISES

- WORK BEING PERFORMED UNDER SEPARATE CONTRACTS WITH THE OWNER COULD BE CONCURRENT WITH WORK UNDER THIS CONTRACT. COORDINATE WORK UNDER THIS CONTRACT, SUCH AS SEQUENCE AND ACCESS WITH OTHER SEPARATE CONTRACTORS AS DIRECTED BY THE OWNER.
- LIMIT USE OF PREMISES FOR WORK AND FOR CONSTRUCTION OPERATIONS AND TO ALLOW FOR WORK BY OTHER CONTRACTORS.

01005-5: TEMPORARY FACILITIES

- CONTRACTOR IS TO LIMIT ITS ENTIRE WORK FORCE TO THE BUILDING AND IMMEDIATE SITE.
 - CONTRACTOR SHALL PROVIDE TEMPORARY FACILITIES FOR ITS USE ON THE SITE, INCLUDING TEMPORARY OFFICE AND SANITARY FACILITIES.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR PERFORMANCE OF THE WORK.

01005-6: COORDINATION

- COORDINATE THE WORK TO ASSURE EFFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF CONSTRUCTION ELEMENTS, WITH PROVISIONS FOR ACCOMMODATING ITEMS INSTALLED LATER.
- VERIFY CHARACTERISTICS OF ELEMENTS OF INTERRELATED OPERATING EQUIPMENT ARE COMPATIBLE; COORDINATE WORK HAVING INTERDEPENDENT RESPONSIBILITIES FOR INSTALLING, CONNECTING TO AND PLACING IN SERVICE SUCH EQUIPMENT.
- COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF MECHANICAL AND ELECTRICAL WORK WHICH ARE INDICATED DIAGRAMMATICALLY ON DRAWINGS. FOLLOW ROUTING SHOWN FOR PIPES, DUCTS AND CONDUITS AS CLOSELY AS PRACTICABLE; MAKE RUNS PARALLEL WITH LINES OF BUILDING. UTILIZE SPACES EFFICIENTLY TO MAXIMIZE ACCESSIBILITY FOR OTHER INSTALLATIONS, FOR MAINTENANCE AND FOR REPAIRS.
- IN FINISHED AREAS, CONCEAL PIPES, DUCTS AND WIRING IN THE CONSTRUCTION. COORDINATE LOCATIONS OF FIXTURES AND OUTLETS WITH FINISH ELEMENTS.
- EXECUTE CUTTING AND PATCHING TO INTEGRATE ELEMENTS OF WORK, UNCOVER ALL-TIMED, DEFECTIVE AND NON-CONFORMING WORK, PROVIDE OPENINGS FOR PENETRATIONS OF EXISTING SURFACES AND PROVIDE SAMPLES FOR TESTING, SEAL PENETRATIONS THROUGH FLOORS, WALLS AND CEILINGSS.

01005-7: FIELD ENGINEERING

- CONTRACTOR SHALL PROVIDE FIELD ENGINEERING SERVICES REQUIRED TO ESTABLISH GRADES, LINES AND LEVELS BY USE OF RECOGNIZED ENGINEERING SURVEY PRACTICES.
- CONTRACTOR SHALL ESTABLISH AND VERIFY ALL REQUIRED BENCH MARKS, GRADES, LINES AND LEVELS AND DIMENSIONS SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT OF WORK. INCONSISTENCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO START OF WORK.
- CONTRACTOR SHALL NOT DEVIATE FROM ESTABLISHED GRADES AND LINES, EXCEPT BY WRITTEN APPROVAL OF THE ARCHITECT OR IF OBVIOUS ERROR EXISTS IN DESIGNATED GRADES AND LINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING OUT THE BUILDING ADDITION ON THE SITE, AS WELL AS THE ENTIRE LAYOUT OF ALL SITE IMPROVEMENTS: UTILITIES, GRADING, LANDSCAPING AND SIMILAR ITEMS AS REQUIRED TO COMPLETE THE WORK.

01005-8: EXISTING UTILITIES

- CONTRACTOR SHALL BE RESPONSIBLE FOR INJURY TO ANY UTILITY PIPING, ELECTRICAL WIRING AND CONDUITS, BUILDINGS AND OTHER STRUCTURES THAT MAY BE MET WITHIN THE PROSECUTION OF THE WORK. CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGES TO ITEMS RESULTING FROM WORK OF THIS CONTRACTOR.

01005-9: CONTRACTOR QUALITY ASSURANCE/CONTROL OF INSTALLATION

- MONITOR QUALITY CONTROL OVER SUPPLIERS, MANUFACTURERS, PRODUCTS, SERVICES, SITE CONDITIONS AND WORKMANSHIP.
- COMPLY FULLY WITH MANUFACTURERS' INSTRUCTIONS INCLUDING EACH STEP IN SEQUENCE.
- SHOULD MANUFACTURERS' INSTRUCTIONS CONFLICT WITH CONTRACT DOCUMENTS, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.
- COMPLY WITH SPECIFIED STANDARDS AS A MINIMUM QUALITY FOR THE WORK EXCEPT WHEN MORE STRINGENT TOLERANCES, CODES OR SPECIFIED REQUIREMENTS INDICATE HIGHER STANDARDS OR MORE PRECISE WORKMANSHIP.
- PERFORM WORK BY PERSONS QUALIFIED TO PRODUCE WORKMANSHIP OF SPECIFIED QUALITY.
- SECURE PRODUCTS IN PLACE WITH POSITIVE ANCHORAGE DEVICES DESIGNED AND SIZED TO WITHSTAND STRESSES, VIBRATION, PHYSICAL DISTORTION OR DISFIGUREMENT.

01005-10: DELIVERY, HANDLING AND STORAGE OF MATERIALS

- PRODUCTS: MEANS NEW MATERIAL, MACHINERY, COMPONENTS, EQUIPMENT, FIXTURES AND SYSTEMS FORMING THE WORK; DOES NOT INCLUDE MACHINERY AND EQUIPMENT USED FOR PREPARATION, FABRICATION, CONVEYING AND ERECTION OF THE WORK; PRODUCTS MAY ALSO INCLUDE EXISTING MATERIALS OR COMPONENTS REQUIRED FOR REUSE.
- TRANSPORTATION AND HANDLING
 - TRANSPORT AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS.
 - PROMPTLY INSPECT SHIPMENTS TO ASSURE THAT PRODUCTS COMPLY WITH REQUIREMENTS, QUANTITIES ARE CORRECT AND PRODUCTS ARE UNDAMAGED.
 - PROVIDE EQUIPMENT AND PERSONNEL TO HANDLE PRODUCTS BY METHODS TO PREVENT SOILING, DISFIGUREMENT OR DAMAGE.
- STORAGE AND PROTECTION
 - STORE AND PROTECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, WITH SEALS AND LABELS INTACT AND LEGIBLE. STORE SENSITIVE PRODUCTS IN WEATHER-TIGHT, CLIMATE CONTROLLED ENCLOSURES.
 - ARRANGE STORAGE OF PRODUCTS TO PERMIT ACCESS FOR INSPECTION. PERIODICALLY INSPECT TO ASSURE PRODUCTS ARE UNDAMAGED AND ARE MAINTAINED UNDER SPECIFIED CONDITIONS.

01005-11: PROTECTION OF INSTALLED WORK

- PROTECT INSTALLED WORK AND PROVIDE SPECIAL PROTECTION AS REQUIRED.
- PROVIDE TEMPORARY AND REMOVABLE PROTECTION FOR INSTALLED PRODUCTS. CONTROL ACTIVITY IN IMMEDIATE WORK AREA TO MINIMIZE DAMAGE.
- PROVIDE PROTECTIVE COVERINGS AT WALLS, PROJECTIONS, JAMBS, SILLS AND SOFFITS OF OPENINGS.
- PROTECT FINISHED FLOORS AND OTHER SURFACES FROM TRAFFIC, DIRT, WEAR, DAMAGE OR MOVEMENT OF HEAVY OBJECTS BY PROTECTING WITH DURABLE SHEET MATERIALS.

01005-12: SUBMITTALS - GENERAL

- THE CONTRACTOR MUST SUBMIT TO THE ARCHITECT FOR REVIEW AND APPROVAL, SHOP DRAWINGS, PRODUCT DATA AND SAMPLES REQUIRED BY THE SUBMITTAL LIST OR AS DIRECTED BY THE ARCHITECT.
- SUBMIT TO THE ARCHITECT AS REQUIRED TO MAINTAIN PROJECT. ARCHITECT WILL RETAIN ONE COPY.

01005-13: SHOP DRAWING SUBMITTALS

- PRESENT IN A CLEAR AND THOROUGH MANNER. TITLE EACH DRAWING WITH PROJECT NAME AND NUMBER.
- IDENTIFY FIELD DIMENSIONS, SHOW RELATION TO ADJACENT OR CRITICAL FEATURES OR WORK OR PRODUCTS.
- NUMBER AND TYPE OF COPIES AS FOLLOWS:
 - SUBMIT THE NUMBER OF COPIES WHICH THE CONTRACTOR REQUIRES, PLUS ONE COPY WHICH WILL BE RETAINED BY ARCHITECT.
- CONTRACTOR REVIEW
 - REVIEW SUBMITTALS PRIOR TO TRANSMITTAL DETERMINE AND VERIFY FIELD MEASUREMENTS, FIELD CONSTRUCTION CRITERIA, MANUFACTURER'S CATALOG NUMBERS AND CONFORMANCE WITH REQUIREMENTS OF CONTRACT DOCUMENTS.
 - SIGN OR INITIAL EACH SHEET OF SHOP DRAWINGS AND PRODUCT DATA, AND EACH SAMPLE LABEL TO CERTIFY COMPLIANCE WITH REQUIREMENTS OF CONTRACT DOCUMENTS. NOTIFY ARCHITECT, IN WRITING, AT TIME OF SUBMITTAL, OF ANY DEVIATIONS FROM REQUIREMENTS OF CONTRACT DOCUMENTS. FAILURE TO DO SO WILL BE REASON FOR REJECTION FOR SUBMITTAL OR WORK IN PLACE.
 - DO NOT FABRICATE PRODUCTS TO BEGIN WORK WHICH REQUIRE SUBMITTALS WITH ARCHITECT APPROVAL.
 - REVISE AND RESUBMIT SUBMITTAL AS REQUIRED; IDENTIFY ALL CHANGES MADE SINCE PREVIOUS SUBMITTAL. FAILURE TO DO SO WILL BE REASON TO REJECT SUBMITTAL.

01005-14: PRODUCT DATA SUBMITTALS

- SUBMIT THE NUMBER OF COPIES WHICH THE CONTRACTOR REQUIRES PLUS ONE COPY WHICH WILL BE RETAINED BY THE ARCHITECT AND ONE COPY TO THE BUILDING DEPT.
- MARK EACH COPY OF DATA TO IDENTIFY PERTINENT PRODUCTS. SHOW REFERENCE STANDARDS, PERFORMANCE CHARACTERISTICS AND CAPACITIES, WIRING AND PIPING DIAGRAMS AND CONTROLS; COMPONENT PARTS; FINISHES, DIMENSIONS AND REQUIRED CLEARANCES.
- MODIFY MANUFACTURER'S STANDARD SCHEMATIC DRAWINGS AND DIAGRAMS TO SUPPLEMENT STANDARD INFORMATION AND TO PROVIDE INFORMATION SPECIFICALLY APPLICABLE TO THE WORK. DELETE INFORMATION NOT APPLICABLE.
- SUPPLEMENT MANUFACTURER'S STANDARD DATA TO PROVIDE INFORMATION UNIQUE TO THIS PROJECT.

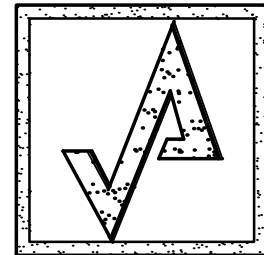
01005-15: SUBSTITUTIONS

- SUBSTITUTIONS ARE NOT ALLOWED, EXCEPT AS FOLLOWS:
 - SUBSTITUTE PRODUCTS SHALL NOT BE ORDERED OR INSTALLED WITHOUT PRIOR WRITTEN ACCEPTANCE.
 - ARCHITECT AND/OR OWNER HAS SOLE RIGHT OF DETERMINATION OF ACCEPTABILITY OF SUBSTITUTIONS.
 - A CONTRACTOR OR SUBCONTRACTOR WHO CARRIES THE COST OF A SUBSTITUTE IN ITS BID WITHOUT PRIOR REVIEW BY THE ARCHITECT, DOES SO AT ITS OWN RISK. THE OWNER IS NO MAY OBLIGATED TO REVIEW NOR ALLOW THAT A SPECULATIVE SUBSTITUTION BE FURNISHED.
- REQUESTS FOR SUBSTITUTIONS: SUBMIT SEPARATE REQUEST FOR EACH SUBSTITUTION. DOCUMENT EACH REQUEST WITH COMPLETE DATA SUBSTANTIATING COMPLIANCE OF PROPOSED SUBSTITUTION WITH REQUIREMENTS OF CONTRACT DOCUMENTS.
- CONTRACTOR REPRESENTATION
 - REQUEST FOR SUBSTITUTION CONSTITUTES A REPRESENTATION THAT CONTRACTOR HAS INVESTIGATED PROPOSED PRODUCT AND HAS DETERMINED THAT IT IS EQUAL TO OR SUPERIOR IN ALL RESPECTS TO SPECIFIED PRODUCT OR THAT THE COST REDUCTION OFFERED IS AMPLE JUSTIFICATION FOR ACCEPTING THE OFFERED SUBSTITUTION.
 - CONTRACTOR WAIVES CLAIMS FOR ADDITIONAL COSTS RELATED TO SUBSTITUTION WHICH MAY LATER BECOME APPARENT.

01005-16: PROJECT CLOSEOUT

- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT WHEN THE WORK IS SUBSTANTIALLY COMPLETE.
- WITHIN A REASONABLE TIME AFTER RECEIPT OF SUCH NOTICE, THE ARCHITECT WILL MAKE AN INSPECTION TO DETERMINE THE STATUS OF COMPLETION.
- SHOULD THE ARCHITECT DETERMINE THAT THE WORK IS NOT SUBSTANTIALLY COMPLETE, ARCHITECT WILL PROMPTLY NOTIFY THE CONTRACTOR, GIVING THE REASONS THEREFORE. CONTRACTOR SHALL REMEDY THE DEFICIENCIES IN THE WORK AND NOTIFY THE ARCHITECT AND REQUEST REINSPECTION OF THE WORK.
- WHEN THE ARCHITECT CONCURS THAT THE WORK IS SUBSTANTIALLY COMPLETE, HE/SHE WILL PREPARE A CERTIFICATE OF SUBSTANTIAL COMPLETION, ACCOMPANIED BY A LIST OF ITEMS TO BE COMPLETED OR CORRECTED.
- SUBMITTALS REQUIRED FOR PROJECT CLOSEOUT SHALL INCLUDE:
 - CERTIFICATE OF OCCUPANCY.
 - IN ADDITION TO THE WARRANTY AND GUARANTEE REQUIREMENTS OF THE GENERAL CONDITIONS, PROVIDE ALL OTHER GUARANTEES, BONDS, AFFIDAVITS AND CERTIFICATES REQUIRED THROUGHOUT THE SPECIFICATIONS.
 - CONTRACTOR'S AFFIDAVIT OF PAYMENT OF DEBTS AND CLAIMS.
 - CONTRACTOR'S AFFIDAVIT OF RELEASE OF LIENS.

END OF SECTION



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REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396
IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

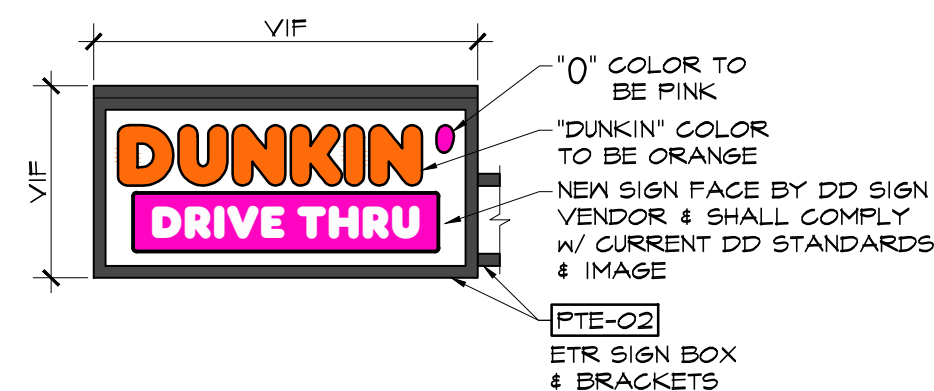
ADMINISTRATIVE REQUIREMENTS,
SCHEDULE OF RESPONSIBILITY,
EGRESS & OCCUPANCY DIAGRAMS

DATE	NOV 19, 2021	PROJ NO	21057
DRAWN BY	ZRA	CHECKED BY	AH

DRAWING NUMBER

A0.1

- 1) FACE TO BE FORMED CLEAR POLYCARBONATE, DECORATED SECOND SURFACE VINYL.
- 2) VINYL COLORS TO BE: DD ORANGE 3M #3630-3123; DD MAGENTA 3M #3630-1374.
- 3) ILLUMINATION: EXISTING INTERNALLY ILLUMINATED. SIGN VENDOR TO VERIFY IF LIGHTING IS LED & REPLACE N/ LED_s AS REQUIRED.
- 4) SEE NATIONAL REQUIREMENTS FOR ORDERING INFORMATION
- 5) SEE A7.2 & A7.3 FOR FINISH INFORMATION.



AO.2 SCALE: 1/4" = 1'-0"

DIRECTIONAL SIGN FACES

REPLACE EXISTING SIGN FACES AS
REQUIRED TO COMPLY WITH NEW DD IMAGE

SIDE VIEW

FRONT VIEW

DM KN SEE YOU SOON

DM KN WELCOME BACK

PTE-02

EXIST SIGN BOX

PTE-02

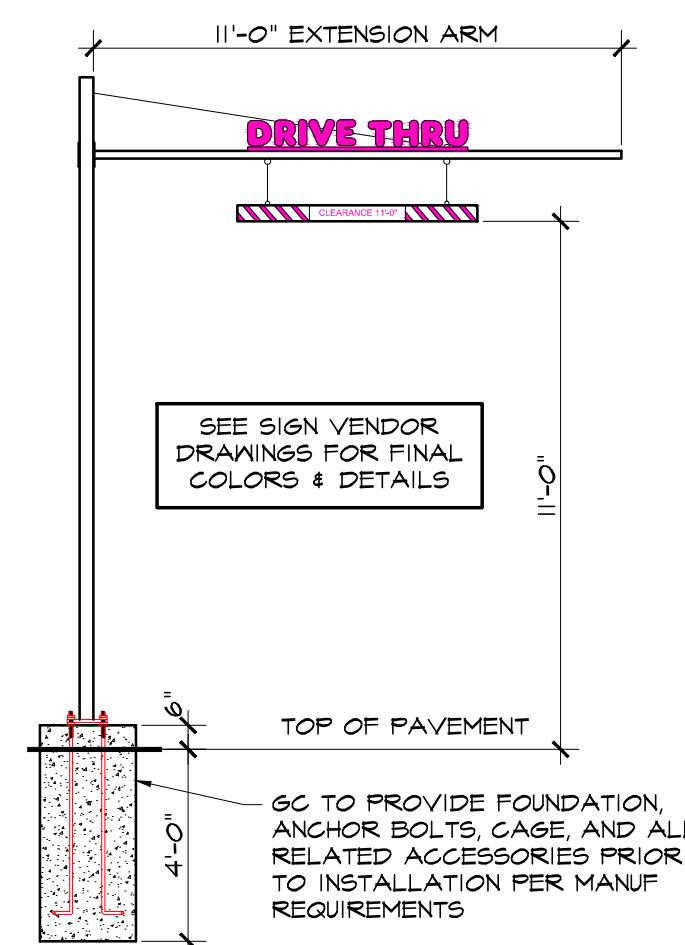
EXISTING POLE

- 1) SEE DUNKIN' BRANDS WEBSITE FOR COMPLETE INFORMATION AND DETAILS.
- 2) AREA OF SIGN = EXISTING TO REMAIN.
- 3) LIGHTING = EXISTING INTERNALLY ILLUMINATED. SIGN VENDOR TO VERIFY IF LIGHTING IS LED & REPLACE W/ LEDS AS REQUIRED.
- 4) REFACE & PAINT ALL EXISTING DIRECTIONAL SIGNS ON SITE UNO.

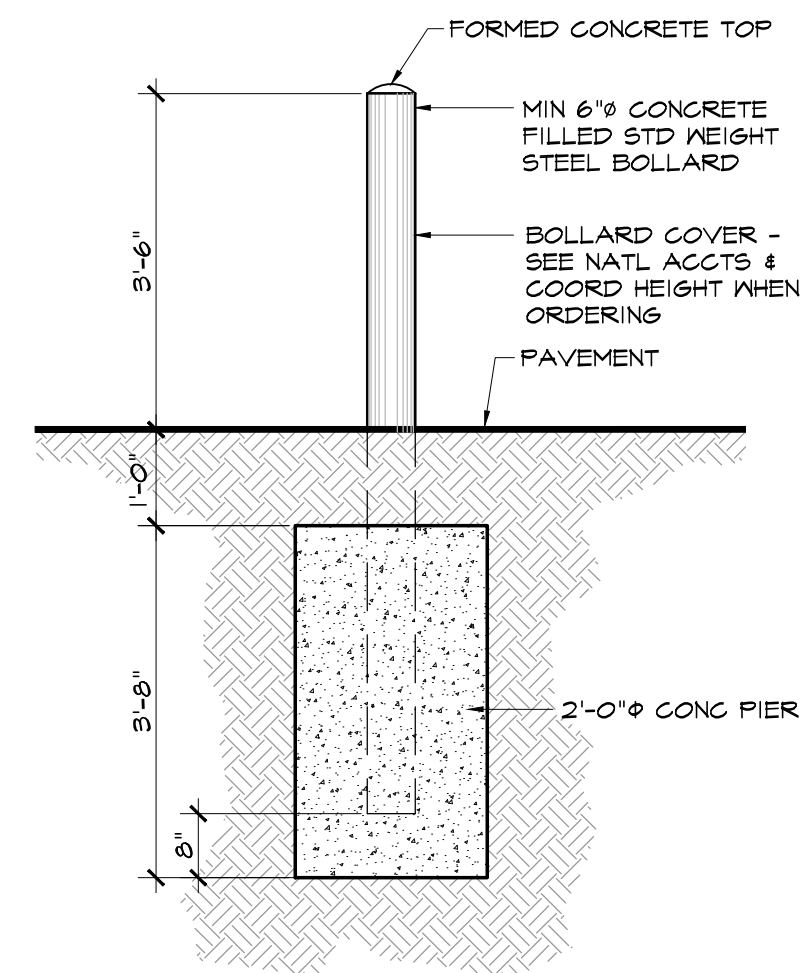
AO.2 SCALE: 1/2" = 1'-0"

- 1) PROPERLY PREP THE ASPHALT BEING PAINTED VIA PRESSURE WASH BEFORE PAINTING ALL DIRECTIONAL GRAPHICS.
- 2) COORDINATE WITH FRANCHISEE ON FINAL LOCATIONS OF ALL GRAPHICS & DIRECTIONALS.
- 3) SEE FINISH SCHEDULES FOR TRAFFIC STRIPING INFORMATION.
- 4) PAINT TEMPLATE FOR SITE GRAPHIC AVAILABLE THROUGH PAVEMENT STENCIL COMPANY - SEE NATL. ACCOUNTS.

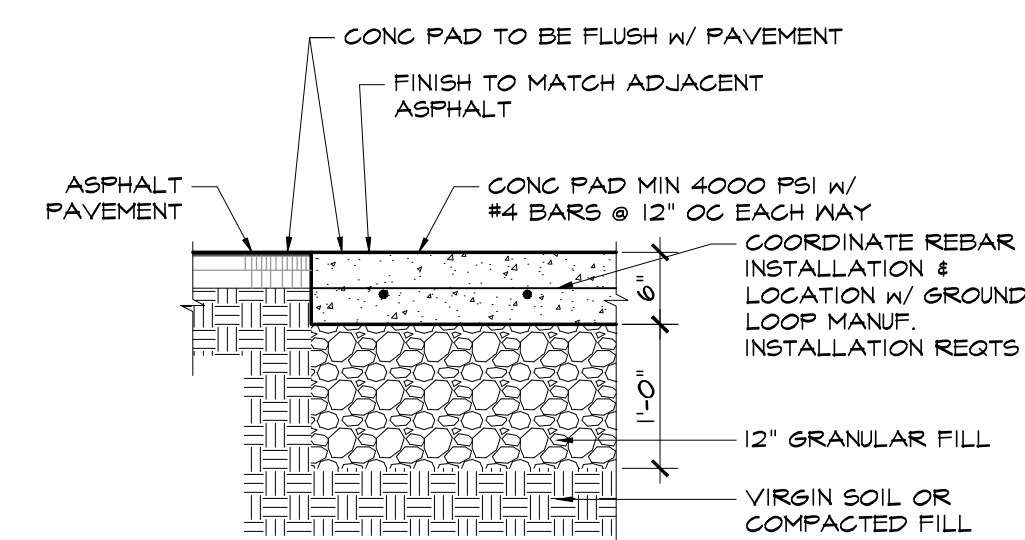
GC & FRANCHISEE TO FIELD VERIFY FINAL
HEIGHT OF D/T HEIGHT LIMIT BAR W/
PRE-FAB CANOPY & SPEAKER TOWER
CANOPY PRIOR TO START OF CONSTR.
MAINTAIN 6" FROM BOT PRE-FAB CANOPY
SPEAKER TOWER CANOPY TO HEIGHT LIMIT
BAR "CRASH TUBE" FROM HIGHEST POINT OF
PAVEMENT AT D/T WINDOW.



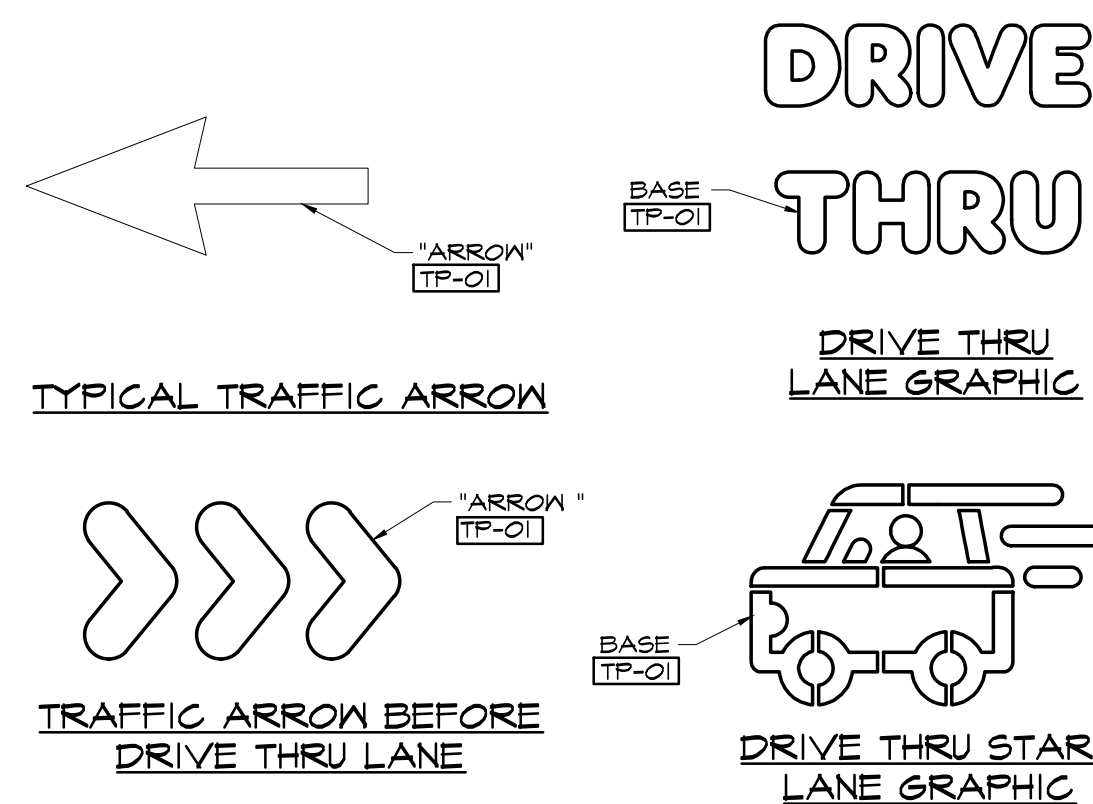
(AO.2) SCALE: 1/4" = 1'-0"



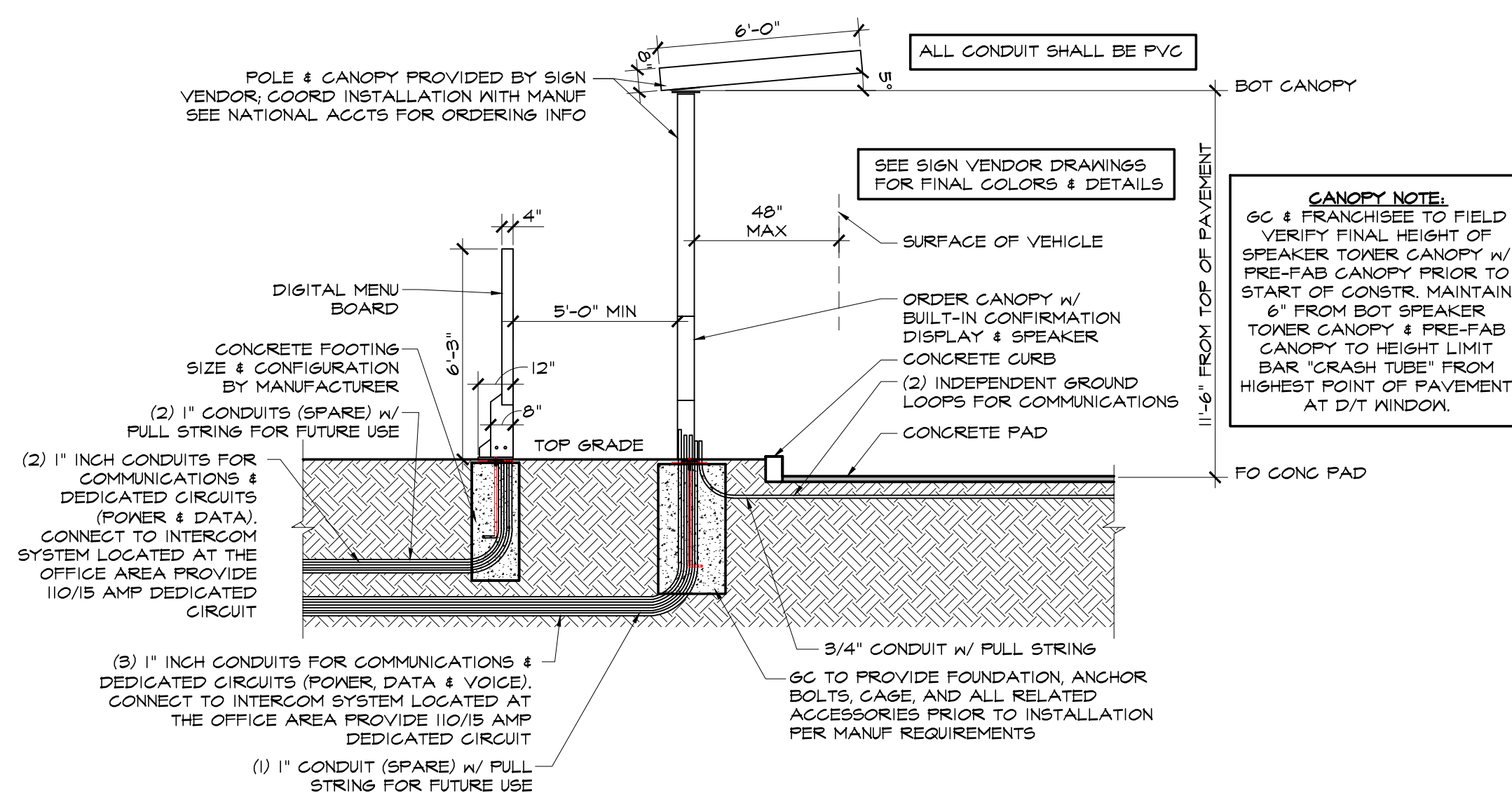
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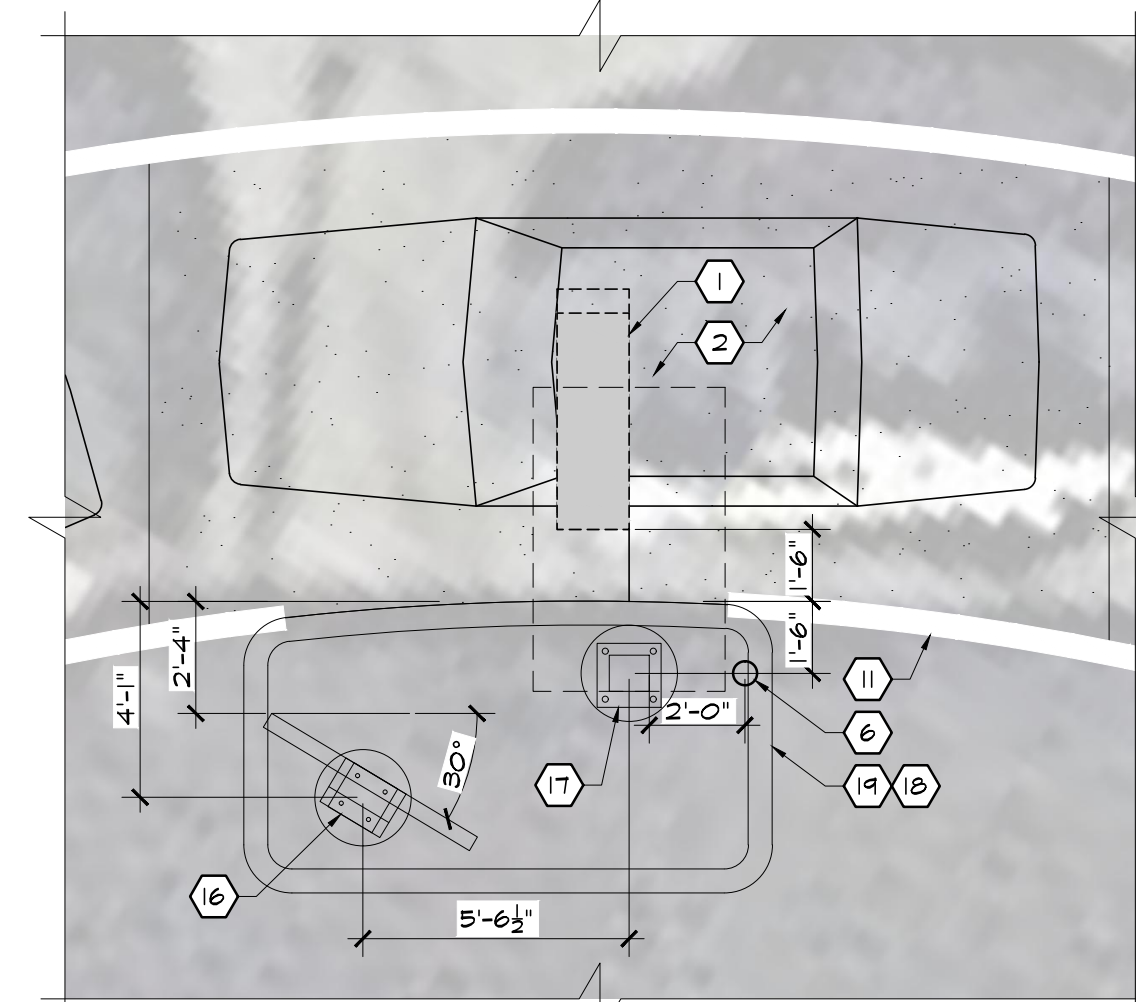
4 SECTION



(AO.2) SCALE: 1/4" = 1'-0"



5 MENU D

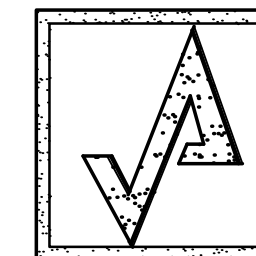
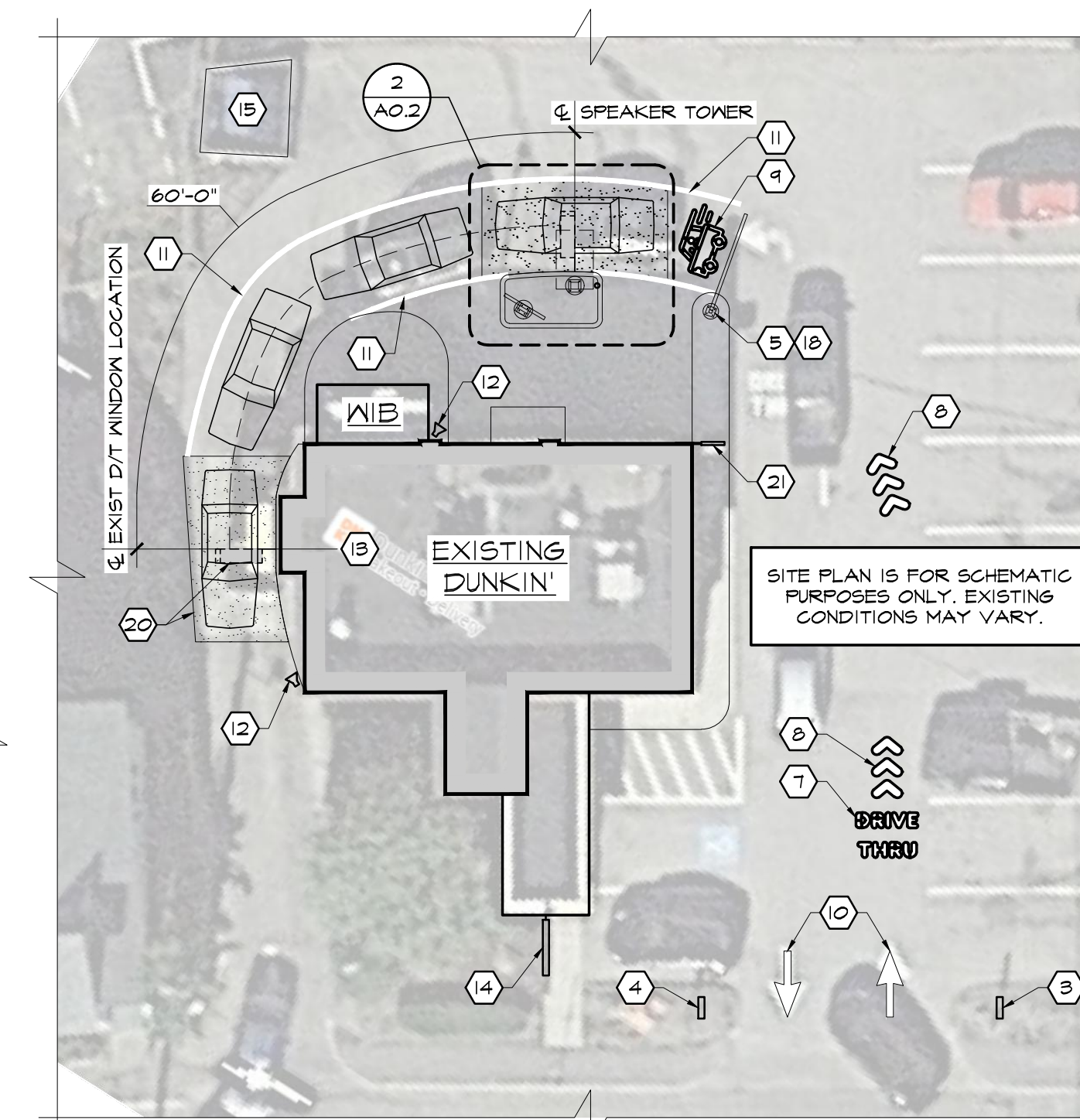


2 MENU DOA

- 1) CLEAN & PREP ALL SURFACES AS REQD PER PAINT MANUF SPECIFICATIONS PRIOR TO PAINTING. VERIFY CONDITION OF EXISTING MATERIALS - REPAIR / REPLACE MATERIALS TO MATCH EXISTING AS REQD. APPLY PAINT IN STRICT ACCORDANCE WITH PAINT MANUF SPECIFICATIONS.
- 2) SITE & SIGN DETAILS SHOWN ARE SCHEMATIC ONLY. COORDINATE LOCATIONS IN FIELD WITH FRANCHISEE.
- 3) CUT/PATCH/REPAIR EXISTING PAVEMENT AS REQUIRED. COORDINATE WITH FRANCHISEE FOR EXTENT OF WORK.
- 4) SEAL/COAT & RESTRIPE EXISTING PARKING LOT. SEE T/AO.2 FOR STRIPING DETAILS.
- 5) POWERWASH EXISTING SIDEWALKS, CURBS & CONC PADS. CLEAN, WEED & REMULCH ANY EXISTING LANDSCAPING.
- 6) PROVIDE NEXTGEN BOLLARD COVERS ON ALL ETR BOLLARDS ON SITE. PROVIDE IN NATIONAL ACCORDANCE FOR ORDERING & TO ENSURE ALL ETR BOLLARDS ARE PROPERLY SET & CONSULT WITH FRANCHISEE IF ADDITIONAL WORK IS REQUIRED.

QTY	LOCATION	OVERALL DIMENSIONS	LETTERS	AREA
1	X BLADE SIGN	VERIFY IN FIELD	VIF	VIF
2	SITE (DIRECTIONAL)	VERIFY IN FIELD	VIF	VIF
1	X BUILDING (DIRECTIONAL)	VERIFY IN FIELD	VIF	VIF

- (1) 10"x34" GROUND LOOP W/ 1" P.V.C. UNDOUT, HOME RUN CONDUIT TO DRIVE THRU TIMER MONITOR ADJACENT TO DRIVE THRU WINDOW. REFER TO SITE PLAN, DETAILS & ELEC. DRAWINGS FOR CONDUIT SIZE REQUIREMENTS. MULTIPLE GROUND LOOP WIRING MUST BE IN SEPARATE CONDUITS TO AVOID INTERFERENCE.
- (2) 20"x10"x6" THICK CONC PAD W/ REINFORCING.
TOP OF SLAB SHALL BE FLUSH WITH ADJACENT PAVEMENT.
CONTOUR CONC PAD TO MATCH THE ADJACENT CONC CURBING AS REQ'D SEE 4/AO.2.
- (3) SIGN VENDOR TO PROVIDE "WELCOME BACK" FACE ON ETR DIRECTIONAL SIGN. SEE 8/AO.2.
- (4) SIGN VENDOR TO PROVIDE "SEE YOU SOON" FACE ON ETR DIRECTIONAL SIGN. SEE 8/AO.2.
- (5) DRIVE THRU HEIGHT LIMIT BAR. SEE 6/AO.2.
- (6) CONCRETE FILLED STEEL BOLLARD. SEE 5/AO.2.
- (7) "DRIVE THRU LANE GRAPHIC". SEE 1/AO.2.
- (8) "TRAFFIC ARROW BEFORE D/T LANE" [TP-01]. SEE 1/AO.2.
- (9) "DRIVE THRU START LANE GRAPHIC". SEE 1/AO.2.
- (10) "TYPICAL TRAFFIC ARROW" [TP-01]. SEE 1/AO.2.
- (11) LINE STRIPING - [TP-01].
- (12) D/T STACK & MENU BOARD CAMERA MTD TO BUILDING. COORD FINAL LOCATION W/ OWNER.
- (13) ETR DRIVE THRU WINDOW LOCATION.
- (14) SIGN VENDOR TO PROVIDE NEW FACE ON ETR BLADE SIGN SIGN. SEE 9/AO.2.
- (15) PROVIDE NEW VINYL SLATS FOR ETR CHAIN LINK FENCE AROUND ETR DUMPSTER. COLOR TO BE GRAY.
- (16) DIGITAL MENU BOARD - SEE 3/AO.2.
- (17) ORDER CANOPY W/ BUILT-IN INFORMATION DISPLAY & SPEAKER. SEE 3/AO.2.
- (18) PATCH / REPAIR ALL SITE AS REQ'D TO MATCH EXIST IN ALL AREAS OF DEMOLITION. COORD W/ D.I.I.
- (19) NEW CURBING TO ACCOMMODATE NEW DT MENU BOARD LOCATION.
- (20) ETR CONCRETE PAD & GROUND LOOP.
- (21) SIGN VENDOR TO PROVIDE "DRIVE THRU" FACE ON ETR DIRECTIONAL SIGN. SEE 8/AO.2.



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[illegible]

PROJECT TITLE

DUNKIN'

PC# 307396
IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

SCHEMATIC SITE
PLAN, SCHEDULE &
DETAILS

DATE NOV 19, 2021	PROJ NO 2105
DRAWN BY ZRA	CHECKED BY A

DRAWING NUMBER

A0.2

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- NOTES
- 1) LAYOUT DIMENSIONS INDICATED ON THIS DRAWING ARE INTENDED TO BE UTILIZED FOR GUIDELINE PURPOSES ONLY. REFER TO MANUFACTURER'S INSTALLATION GUIDELINES FOR INSTALLATION TOLERANCES REQUIRED FOR SPECIFIC PLUMBING FIXTURES AND ACCESSORIES.


2) PLUMBER'S WORK TO END 10' FROM THE BUILDING. ALL CONNECTIONS TO SITE UTILITY PIPING SHALL BE PROVIDED BY THE PLUMBING CONTRACTOR.

3) SEE PLUMBING DWGS FOR PLUMBING PRODUCT SPECIFICATIONS.

4) ALL DIMENSIONS ARE FROM FACE OF INTERIOR SUBSTRATE TO CENTERLINE OF PENETRATION UNLESS NOTED OTHERWISE.

LEGEND

 SLAB PENETRATION

 DEMOSD SLAB / SLAB INFILL

PLUMBING FIXTURE KEY

SEE PLUMB DWGS FOR PLUMBING SPECIFICATIONS

P-1

FLOOR SINK

P-S

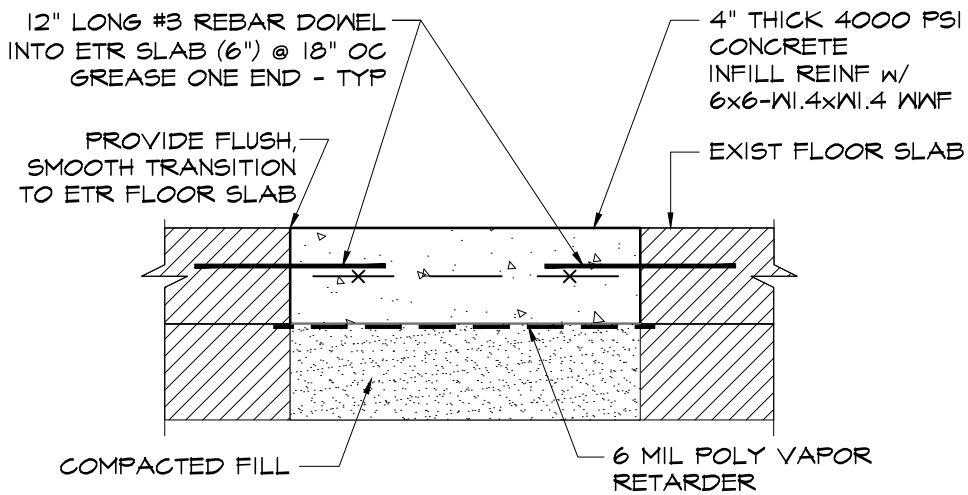
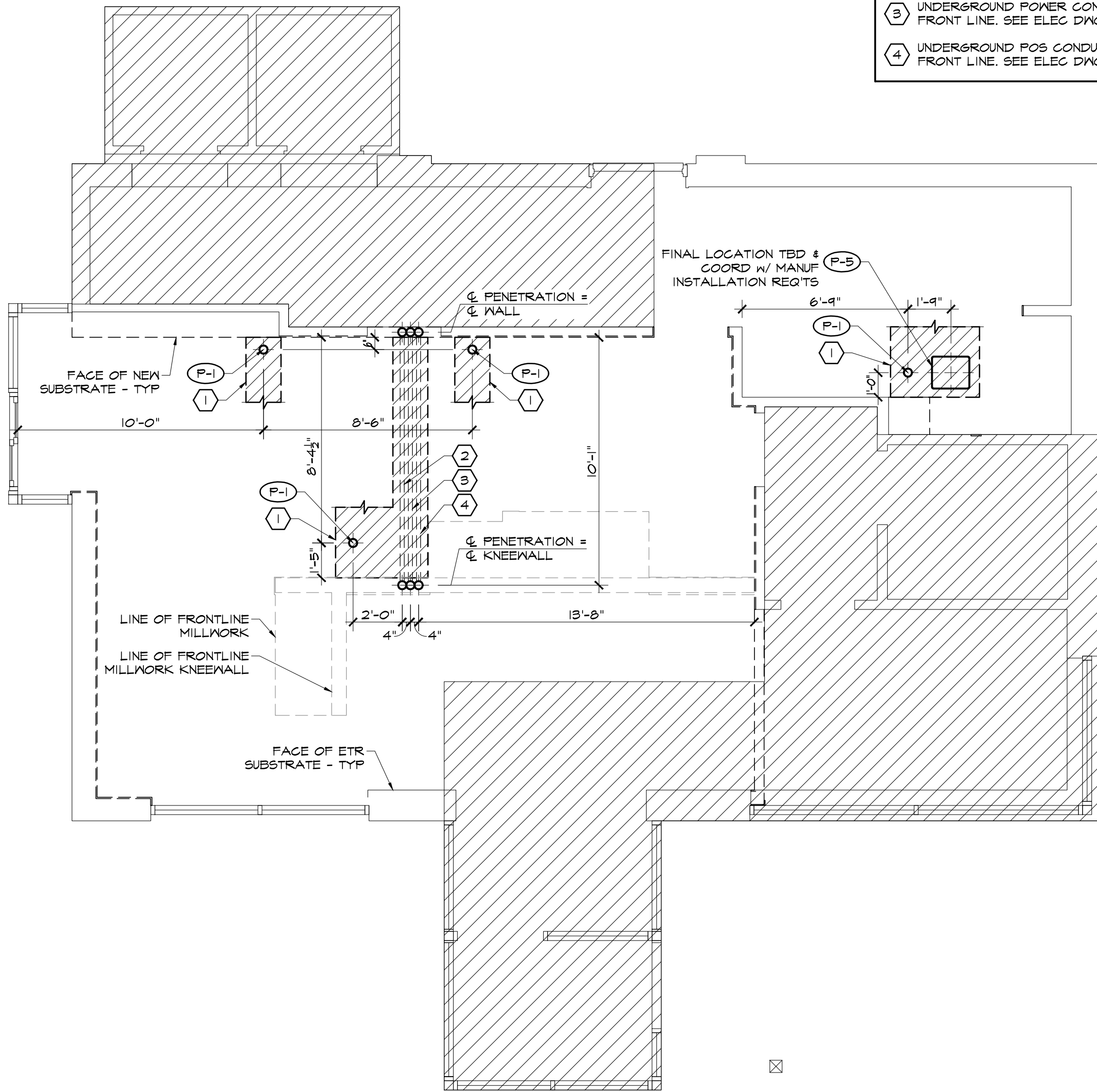
GREASE REMOVAL SYSTEM

- KEYED PLAN NOTES
- 1

CUT EXIST CONC SLAB AS REQUIRED IN ALL AREAS OF REQUIRED WASTE PIPING & ELEC CONDUIT INSTALLATION. COORD EXTENT OF CUT WORK IN FIELD w/ EXISTING WASTE PIPING. SEE PLUMBING DWGS, ELECTRICAL DWGS & 2/A.I.O.
- 2
- UNDERGROUND WATER CONDUIT TO FRONT LINE. SEE PLUMB DWGS.

3

4



2 TYP SLAB INFILL DETAIL
SCALE: 1 1/2" = 1'-0"

1 SLAB PENETRATION PLAN
SCALE: 1/4" = 1'-0"



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REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396

IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

SLAB PENETRATION
PLAN & DETAIL

DATE NOV 19, 2021	PROJ NO 21057
DRAWN BY ZRA	CHECKED BY AH

DRAWING NUMBER

A1.0



10 George Washington Highway
Suite 100
Smithfield, Rhode Island
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REVISIONS

[illegible]

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396

IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

FLOOR FINISH PLAN & DETAILS

DATE NOV 19, 2021	PROJ NO 21057
DRAWN BY ZRA	CHECKED BY AH







DRAWING NUMBER

A1.2

FLOOR FINISH NOTES

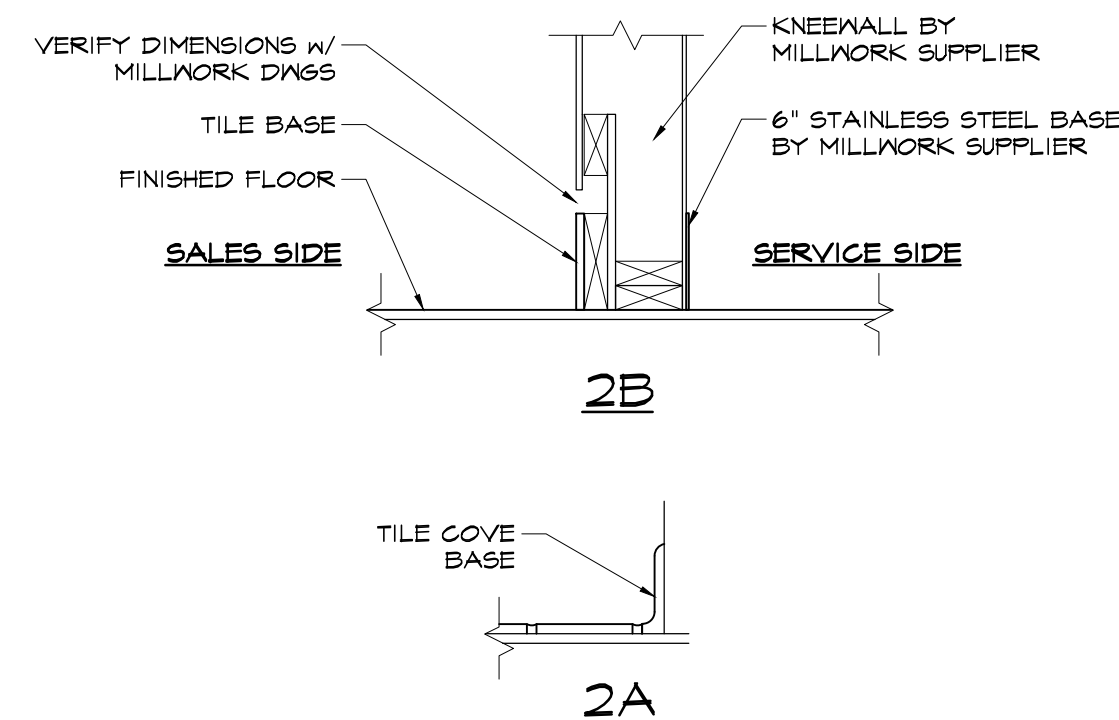
- 1) SEE A7.0 - A7.3 FOR MASTER FINISH SCHEDULES FOR ALL FINISHES.
- 2) THIS INSTALLATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEXTGEN IMAGE - WARM PALETTE.
- 3) CONSULT FRANCHISEE FOR FINISHES WITH ALTERNATES.
- 4) SCHLUTER TRIM @ CUT TILE BASE IS DEPENDENT ON WALL TILE SPECIFIED ABOVE. SEE INTERIOR ELEVATIONS & COORD W/ A7.0-A7.3
- 5) FOR THE WARM PALETTE IMAGE, ALL FINISHES LISTED ON A7.0-A7.1 SHALL DEFAULT TO (N) WHEN APPLICABLE.

LEGEND

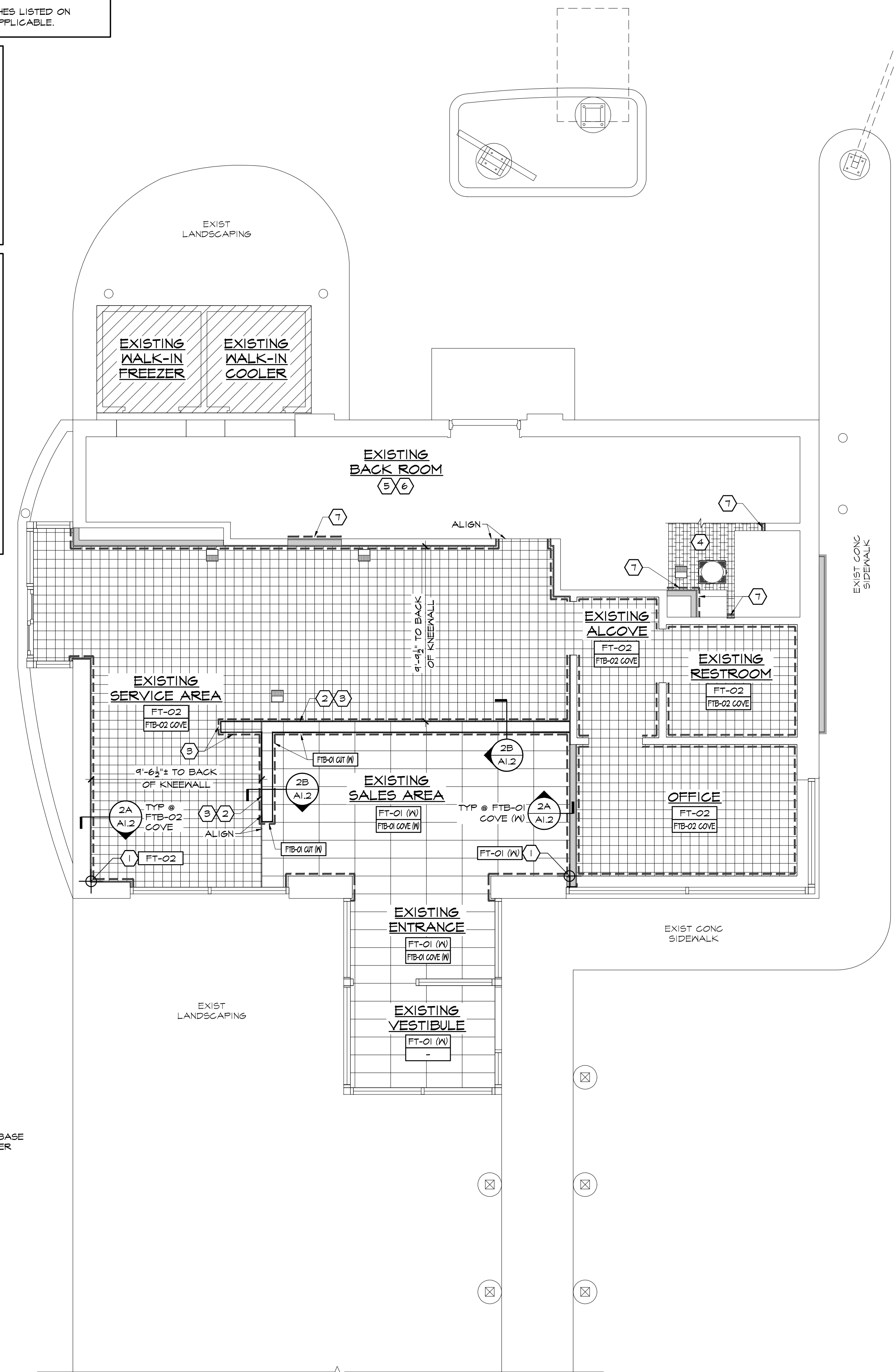
	FLOOR FINISH MATERIAL
	WALL BASE MATERIAL
	WALL BASE
	PATCH FLOOR TILE
	FLOOR SINK
	GREASE REMOVAL SYSTEM

KEYED PLAN NOTES

1. TILE WORK POINT.
2. TILE TRANSITION TO OCCUR AT THE BACK OF THE MILLWORK KNEE WALL WHERE POSSIBLE - TYP.
3. 6" STAINLESS STEEL BASE PROVIDED BY MILLWORK SUPPLIER @ SERVICE AREA SIDE OF MILLWORK KNEEWALLS ONLY.
4. PATCH FLOOR TILE AS REQUIRED TO MATCH EXISTING @ ALL AREAS OF DEMOLITION. USE DII & FLUMING DRAININGS.
5. ETR FLOOR TILE. REPAIR/ REPLACE ANY DAMAGED OR BROKEN TILES IN THIS AREA TO MATCH EXISTING ADJACENT.
6. REGROUT EXISTING FLOOR TILE. COORD COLOR & EXTENT OF WORK W/ OWNER.
7. PROVIDE TILE WALL BASE TO MATCH EXIST ADJACENT.



2 TILE BASE DETAILS



FLOOR FINISH PLAN
SCALE: 1/4" = 1'-0"



REFLECTED CEILING PLAN LEGEND

	2x4 CEILING GRID		LED RECESSED LIGHT FIXTURE PROVIDED BY CANOPY MANUF
	ETR 2x4 CEILING GRID		LED DOWNLIGHT LIGHT FIXTURE
	2x2 CEILING GRID		ACCENT BAND LED LIGHT FIXTURE
	GYF BD		LED-14 LIGHT FIXTURE
	SUPPLY AIR DIFFUSER		LED LINEAR BAR
	RETURN AIR GRILLE		ORDER STATUS BOARD
	ETR SUPPLY AIR DIFFUSER		WALL PACK
	ETR RETURN AIR GRILLE		WALL SPOT LIGHT FIXTURE
	ETR EXHAUST HOOD DUCT		WALL MTD EMERG LIGHT
	2x4 LAY-IN LIGHT FIXTURE		WALL MTD EMERG LIGHT / EXIT SIGN COMBO
	2x2 LAY-IN LIGHT FIXTURE		CL6 MTD EMERG LIGHT / EXIT SIGN COMBO
	HOOD LIGHT		EMERGENCY LIGHT REMOTE HEAD
	LED RECESSED LIGHT FIXTURE		SPEAKER
			RELOCATED / REINSTALLED EXIST CAMERA
			ETR CAMERA
			ETR WALL MTD CAMERA
			CEILING MATERIAL
			CEILING FINISH
			CEILING ELEVATION
			ACCESS HATCH

LIGHTING NOTES

- THE ELECTRICAL CONTRACTOR SHALL BE FAMILIAR WITH ALL OTHER DIVISIONS AND SECTIONS OF THIS CONTRACT.
- WORK UNDER THIS CONTRACT SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, OSHA, NFPA, STATE AND LOCAL CODES.
- ALL WIRING SHALL BE CONCEALED WITHIN THE WALL AND CEILING SPACES. ALL WIRING AND HOME RUNS BACK TO PANEL SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
- ALL LIGHTING FIXTURES SHALL BE PROPERLY SECURED TO THE BUILDING STRUCTURE.
- PROVIDE ALL FIXTURES COMPLETE WITH LAMPS. REFER TO NATIONAL ACCOUNT SOURCE FOR LAMP SPECIFICATIONS.
- ALL INCANDESCENT LAMPS SHALL BE RATED 130 VOLTS.
- ALL BALLASTS SHALL BE HIGH POWER FACTOR.
- PROVIDE HOLD DOWN CLIPS FOR EACH CORNER OF LAY-IN LIGHT FIXTURES.
- PROVIDE ALL REQUIRED MOUNTING OR HANGING HARDWARE.
- MAINTAIN EXISTING SWITCHING PATTERN FOR LIGHT FIXTURES IN EXISTING SPACES. ANY NEW SWITCHES TO BE MOUNTED AT 48" AF UNLESS NOTED OTHERWISE.
- COORDINATE INSTALLATION IN FIELD WITH ARCHITECT AND ENGINEER. COORDINATE AIMING OF ADJUSTABLE FIXTURES IN FIELD WITH LIGHTING CONSULTANT.
- ALL CEILING-MOUNTED EQUIPMENT SHALL BE CONNECTED BACK TO EXISTING SYSTEMS. THESE ITEMS SHOWN ON PLAN ARE FOR REFERENCE ONLY.
- LED LAMPS SHALL BE 3500K COLOR TEMP, RATED 120V TYP. LAMPS SHALL BE MANUFACTURED BY SYLVANIA, WESTINGHOUSE, GENERAL ELECTRIC OR APPROVED EQUAL & SHALL BE PURCHASED THROUGH NATIONAL ACCOUNT REP.
- SEE EOI FOR GENERAL ELECTRICAL NOTES.
- RE-USE EXISTING CIRCUITS WHEREVER POSSIBLE FOR ALL NEW LIGHTING AT EXISTING BUILDING.

KEYED PLAN NOTES

- CEILING HEIGHT TRANSITION INDICATED BY
- CEILING GRID WORK POINT.
- MENU BOARDS HORIZONTALLY MOUNTED ON FACE OF SOFFIT. SEE A6.1, K1.1 & K1.2.
- WALL ART / GRAPHIC PANELS - SEE A6.1, K1.1 & K1.2.
- PROVIDE 24"x24" ACCESS HATCH IN SOFFIT CENTERED ON DIGITAL MENU BOARDS. PAINT TO MATCH ADJACENT SOFFIT.
- ETR CAN LIGHT - INSTALL LED LAMP - TYP. IF FIXTURE CAN'T RETROFIT TO LED, REPLACE W/ 'R1' FIXTURE.
- ETR CAN LIGHT - INSTALL LED LAMP - TYP. IF FIXTURE CAN'T RETROFIT TO LED, REPLACE IN KIND W/ EXISTING LED FIXTURE.
- PATCH GYPSUM BOARD CEILING TO MATCH EXISTING ADJACENT.
- INSTALL FIXTURE IN SAME LOCATION AS EXIST & CONNECT BACK TO EXIST ELEC AS REQ'D.
- INSTALL SUSPENDED CEILING SYSTEM @ SAME HEIGHT AS REMOVED.
- INSTALL SUSPENDED CEILING SYSTEM IN CENTER OF ROOM AS SHOWN.
- GC TO SUPPLY & INSTALL CEILING HUNG MOUNT FOR ORDER STATUS BOARD. COORD W/ MANUF REQ'TS.
- SUPPLY DIFFUSERS & RETURN GRILLES BY OWNER. COORD ALL HVAC WORK W/ OWNER'S HVAC TECHNICIAN. COLOR: "BLACK" IN ALL AREAS RECEIVING CT-02 OR PT-02(W); "WHITE" IN ALL AREAS RECEIVING CT-03, PT-03(W) OR ETR.
- REPAIR / REPLACE ALL DAMAGED CEILING TILES & CEILING GRID AS REQ'D. PAINT CEILING GRID "WHITE". CONSULT W/ FRANCHISEE FOR EXTENT OF WORK PRIOR TO START OF CONSTRUCTION.
- VERIFY IN FIELD IF LIGHT FIXTURE(S) ARE LED AND/OR CONNECTED TO OCCUPANCY SENSOR. IF NOT COORD W/ FRANCHISEE & WALK-IN BOX MANUF. FOR REPLACEMENT IN SAME LOCATIONS. RE-CIRCUIT WIRING TO OCCUPANCY SENSOR AS REQ'D.
- PROVIDE SPEAKER (TO BE COMPATIBLE W/ EXIST SYSTEM) & CONNECT BACK TO EXIST MUSIC SYSTEM RECEIVER. COLOR: BLACK IN ALL AREAS RECEIVING CT-02 OR PT-02(W).
- GC TO VERIFY FINAL SIZE AND LOCATION OF ACCENT WALL GRAPHIC BELOW, AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO LIGHT FIXTURE INSTALLATION.
- MODIFY EXHAUST HOOD AS REQ'D FOR HOOD LIGHT INSTALLATION.
- GC TO VERIFY CONDITION OF EXTERIOR VINYL SOFFIT PANELS & CONSULT W/ OWNER REGARDING REPAIR / REPLACEMENT OF ANY DAMAGED PANELS.
- GC TO VERIFY IF EXTERIOR LIGHT FIXTURE IS LED. IF NOT, RETROFIT ETR LIGHT FIXTURE TO RECEIVE LED LAMP. IF FIXTURE CANNOT UTILIZE LED LAMPS OR NOT BE RETROFITTED, FIXTURE TO BE REPLACED W/ "LED-15" FIXTURE.
- PAINT ETR SUPPLY DIFFUSER/RETURN GRILLE "WHITE" TO MATCH PT-03 (W).
- LIGHT FIXTURE(S) TO BE WIRED TO NEW OCCUPANCY SENSOR.

MUSIC SYSTEM NOTES

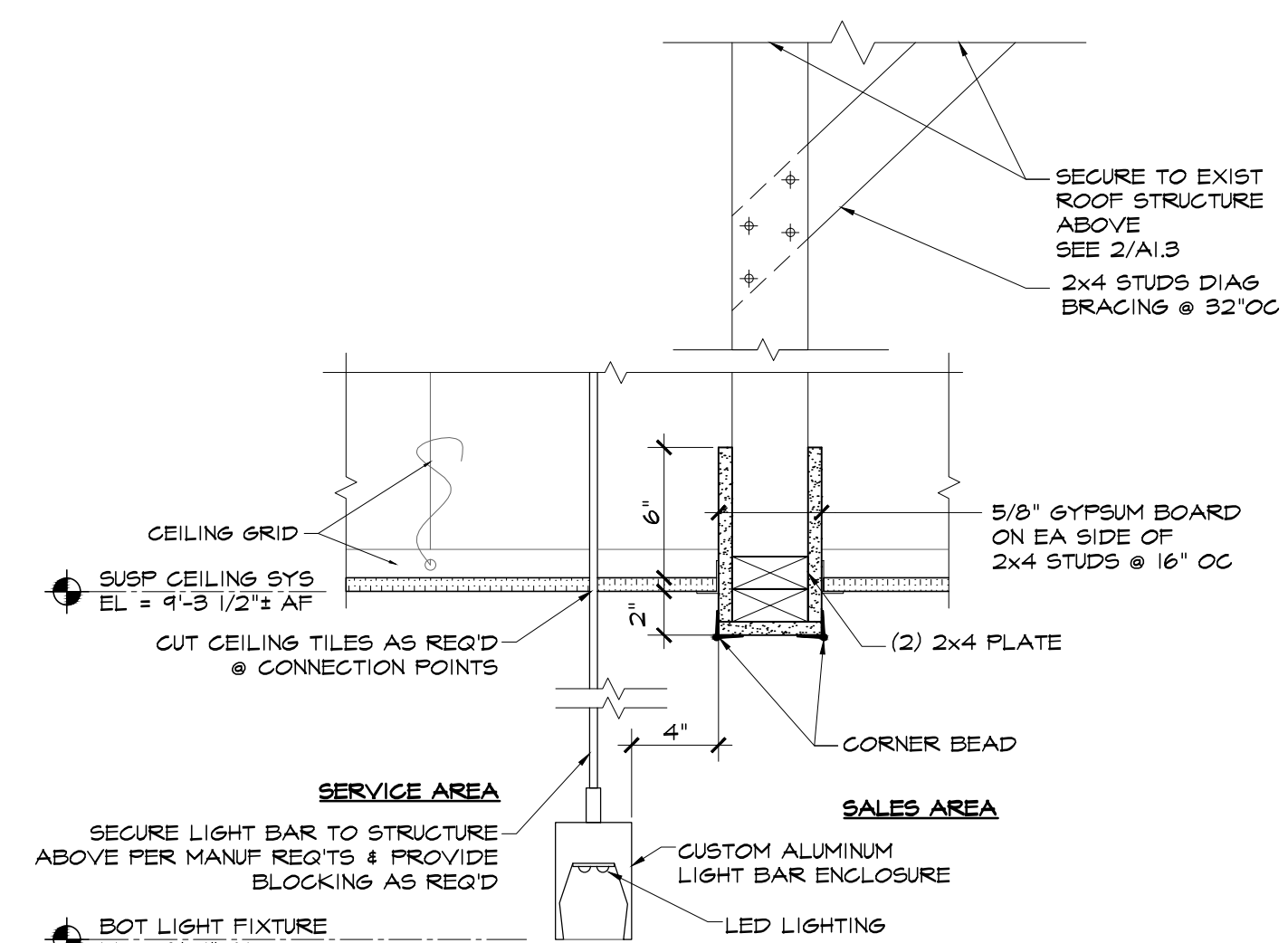
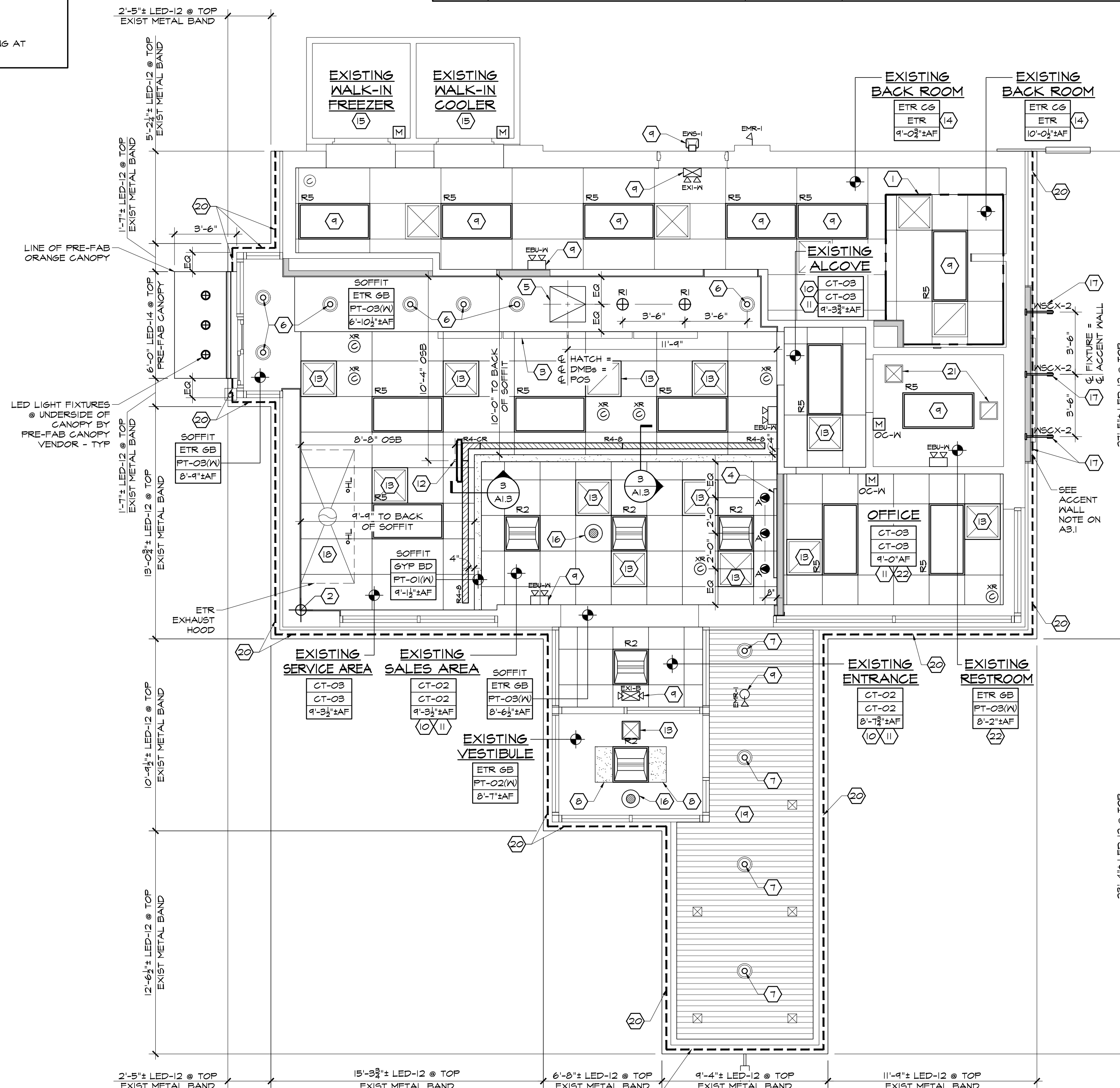
- MUSIC SYSTEM IS REQUIRED IN ALL STORES. MODIFY EXIST SYSTEM AS REQ'D TO ADD SPEAKERS WHERE NEEDED. CEILING SPEAKERS TO BE FLUSH MOUNTED @ GYP BOARD CEILING & ACT CEILING. PROVIDE SPEAKERS FINISHED TO MATCH MOUNTING SURFACE. ALL EXTERIOR SPEAKERS TO BE BLACK, WATERPROOF.
- PROVIDE A MINIMUM OF ONE SPEAKER IN THE SALES AREA & ONE IN THE VESTIBULE.
- PROVIDE SPEAKER AT EXTERIOR OF BUILDING ADJACENT TO ENTRY.
- IF POSSIBLE, MODIFY EXIST SYSTEM TO PROVIDE SEPARATE VOLUME CONTROLS FOR EACH AREA (VESTIBULE, SALES AREA).
- EXIST HARDWARE LOCATED IN OFFICE - VIF.

CEILING FINISH NOTES

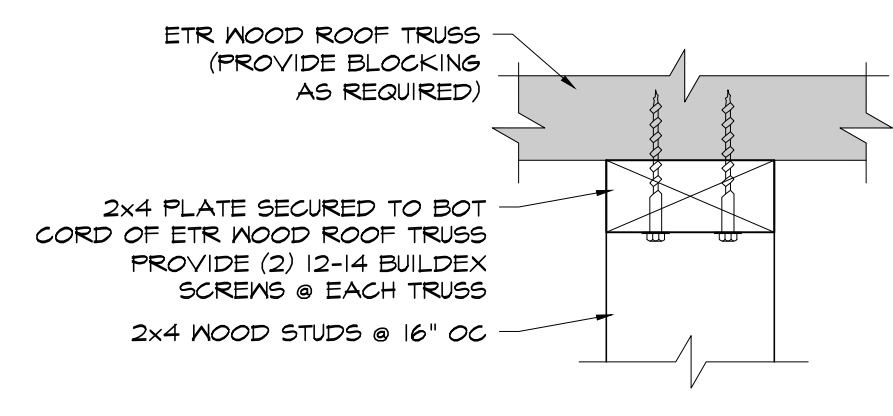
- ANY EXISTING SMOKE DETECTORS, SECURITY CAMERAS & ALL RELATED EQUIPMENT THAT ARE REMOVED DURING CONSTRUCTION SHALL BE RE-INSTALLED IN SAME/SIMILAR LOCATIONS TO COMPLY WITH APPLICABLE CODES. IF A FIXTURE IS DEEMED UNACCEPTABLE FOR REUSE, A NEW FIXTURE SHALL BE PROVIDED TO MATCH EXISTING.
- CONSULT FRANCHISEE FOR FINISHES WITH ALTERNATES.
- SEE A7.0-A7.3 FOR MASTER FINISH SCHEDULES.

LIGHT FIXTURE SCHEDULE ALL LED LIGHT FIXTURES ARE SUPPLIED BY GC UNLESS NOTED OTHERWISE

CODE	DESCRIPTION	MANUF	PRODUCT #
A	WALL-WASH FIXTURE	CONTECH	RL20SA3-35K-12-D/ CTR2002CLR-P
EBU-W	ULTRA COMPACT LED EMERGENCY UNIT, WHITE	EXITRONIX	EBU-W-LED-51/52 (WHITE)
EMR-1	EXTERIOR LED REMOTE LIGHT HEAD, GRAY	EXITRONIX	TYP. EMR EXITRONIX MLED-1-6-WP (GRAY) USED ABOVE OR ADJACENT TO EXIT DOORS
ENS-1	WALL PACK, GRAY	MAC	WP-LED227-30-ASH-GRAY
EXI-W	COMBO LED EXIT SIGN W/ LIGHT HEADS, WHITE	EXITRONIX	VLED-U-WH-EL-90 (WHITE)
EXI-B	COMBO LED EXIT SIGN W/ LIGHT HEADS, BLACK	EXITRONIX	VLED-U-BL-EL-90 (BLACK)
HL	SURFACE JELLY JAR W/ LED SCREEN 9W LED LAMP	GREE	E-MTIA101-6/TCP LED9A19D40K
LED-12	EXTERIOR LIGHT FIXTURE	SOLID STATE LUMINAIRES SOLUTIONS OF LIGHTING	SBL-L55L-5165-400 LUMENS
LED-14	EXTERIOR LIGHT FIXTURE	LED POWER	HB308-48"-41K-15D-AC
LED-T5	EXTERIOR LIGHT FIXTURE (IF REQ'D)	SPECIALTY LIGHTING GROUP	AT-T5-XX-XX-35K
R1	RECESSED LED LIGHT FIXTURE	GREE	RC6-CR6T-1600L-35K (WHITE)
R2	2X2 RECESSED LIGHT FIXTURE	GREE	CR22-32L-35K-SHD
R4-B	LED LINEAR BAR	PINNACLE ARCHITECTURAL LIGHTING	EX3D-A-N-835VHO-8-S/AC120ST MOUNTED ABOVE FRONT LINE PROVIDE BLANK ENDS & CORNER PIECES AS REQ'D
R4-CR	12" x 12" CORNER	PINNACLE ARCHITECTURAL LIGHTING	EX3D-CH-835VHO-AC/5-U-OLI-1-O-CG-FMS165 ORANGE ILLUMINATED CORNER
R5	2X4 LED RECESSED LIGHT FIXTURE	LSI	SFP24-LED-50-UE-DIM-35-V (2X4), USED IN BACK OF HOUSE
WSCX-2	EXTERIOR SPOT LIGHT FIXTURE	HI-LITE MFG INC.	H-HDMR-16/18-11/19/ MR16ADI/C29301OT-10-SI USED @ EXTERIOR ACCENT WALL

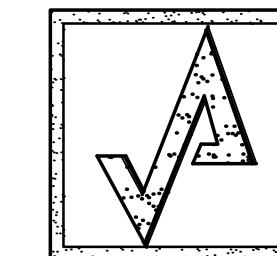


1 LINEAR LIGHT BAR DETAIL
SCALE: 1 1/2" = 1'-0"



2 CONNECTION DETAIL
SCALE: 3" = 1'-0"

1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



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REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396
IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

**REFLECTED CEILING
PLAN, SCHEDULE &
DETAILS**

DATE NOV 19, 2021	PROJ NO 21057
DRAWN BY ZRA	CHECKED BY AH

DRAWING NUMBER

A1.3

PRODUCT SPECS			
SEALANT ALL EXTERIOR CONDITIONS; TREMCO SPECTREM I; GENERAL PURPOSE, HIGH-PERFORMANCE, ULTRA-LOW MODULUS, ONE-PART, MOISTURE CURING, NON-STAINING, CONSTRUCTION GRADE. +100%/-50% JOINT MOVEMENT CAPABILITY IN EXTENSION AND COMPRESSION. ALL INTERIOR CONDITIONS EXCEPT "WET" AREAS; TREMCO TREMPLEX 834 SILICONIZED ACRYLIC LATEX SEALANT; GENERAL PURPOSE, INTERIOR, ONE-PART, PAINTABLE, PURE ACRYLIC LATEX SEALANT. +/- 12 1/8 JOINT MOVEMENT CAPABILITY. ALL INTERIOR "WET" LOCATIONS (TOILET ROOMS, KITCHEN, JANITOR'S CLOSET, ETC.); TREMCO TREMSIL 200; ONE-PART, ACETOXY SILICONE SEALANT. WHITE & CLEAR COLOR AVAIL, CONTAINING FUNGICIDE.			
PAINT ALL PAINT MATERIALS SHALL BE THE FIRST LINE PRODUCTS OF SHERWIN WILLIAMS OR BENJAMIN MOORE; SEE PAINT SPECS. SECONDARY PRODUCTS NOT SPECIFIED BY NAME AND REQUIRED FOR THE JOB, SUCH AS SHELLAC, THINNERS, PUTTY, ETC, SHALL BE THE "BEST GRADE" OR "FIRST LINE" PRODUCTS OF A REPUTABLE MANUFACTURER.			
PAINT - CONT			
INTERIOR SURFACES:			
STEEL - PRIMED:	PRIME COAT:	ACRYLIC LATEX	
	1ST FINISH COAT:	ACRYLIC LATEX	
	2ND FINISH COAT:	ACRYLIC LATEX	
GYP BD WALLS & CLGS:	PRIME COAT:	ACRYLIC LATEX	
	1ST FINISH COAT:	ACRYLIC LATEX	
	2ND FINISH COAT:	ACRYLIC LATEX	
EXTERIOR SURFACES:			
STEEL - SHOP PRIMED:	PRIME COAT:	ACRYLIC LATEX	
	1ST FINISH COAT:	ALKYD ENAMEL	
	2ND FINISH COAT:	ALKYD ENAMEL	
STEEL - GALVANIZED:	PRIME COAT:	ZINC RICH PRIMER	
	1ST FINISH COAT:	ALKYD ENAMEL	
	2ND FINISH COAT:	ALKYD ENAMEL	
ALUMINUM TRIM:	PRIME COAT:	ACRYLIC LATEX	
	1ST FINISH COAT:	ALKYD ENAMEL	
	2ND FINISH COAT:	ALKYD ENAMEL	
FCB SIDING & TRIM:	PRIME COAT:	ACRYLIC LATEX	
	1ST FINISH COAT:	ACRYLIC LATEX	
	2ND FINISH COAT:	ACRYLIC LATEX	

- FCB PANEL NOTE:**
- JAMES HARDIE FCB PANEL SYSTEMS ARE VENTILATED FACADES (RAIN SCREENS) & SHALL BE INSTALLED PER THE MANUFACTURERS REQUIREMENTS.
 - GC TO ENSURE THE FCB PANEL SYSTEMS ARE INSTALLED AS REQUIRED TO GUARANTEE THE MANUFACTURERS WARRANTY & EXPECTED PERFORMANCE.
 - ALL CUT EDGES OF FIBER CEMENT BOARD PANELS AND SIDING THAT ARE NOT CONCEALED WITHIN A TRIM SHALL BE SEALED PER MANUFACTURERS REQUIREMENTS & PAINTED TO MATCH THE FCB PANEL/SIDING.

COLOR LEGEND

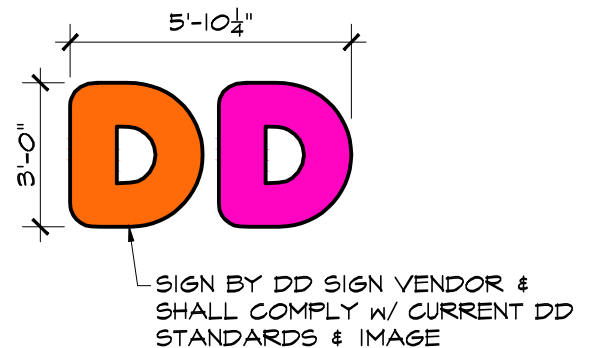
	-01 "GAUNTLET GRAY"
	-02 "CHARCOAL"
	-03 "WOOD"
	-04 "OFF WHITE"
	-12 "DUNKIN' PINK"
	-13 "DUNKIN' ORANGE"

- EXTERIOR ELEVATION NOTES**
- CLEAN & PREP ALL SURFACES AS REQ'D PER PAINT MANUF SPECIFICATIONS PRIOR TO PAINTING. VERIFY CONDITION OF EXISTING MATERIALS - REPAIR / REPLACE MATERIALS TO MATCH EXISTING AS REQ'D. APPLY PAINT IN STRICT ACCORDANCE WITH PAINT MANUF SPECIFICATIONS.
 - REMOVE ALL SURFACE MTD ITEMS @ EXIST EXTERIOR WALL AS REQ'D TO APPLY SCHEDULED FINISHES. SALVAGE ALL ITEMS FOR REINSTALLATION IN SAME LOCATIONS UNO.

- BUILDING SIGN NOTES**
- FACE TO BE FORMED CLEAR POLYCARBONATE, DECORATED SECOND SURFACE VINYL.
 - VINYL COLORS TO BE: DD ORANGE 3M #3630-3123, DD MAGENTA 3M #3630-1314.
 - ILLUMINATION: INTERNAL ILLUMINATION - WHITE NICHIA LEDs.
 - SEE NATIONAL ACCOUNTS FOR ORDERING INFORMATION.

BUILDING SIGN SCHEDULE				
QTY	LOCATION	OVERALL DIMENSIONS	LETTERS	AREA
1	BUILDING, EAST	5'-10 1/4" L X 3'-0" H X 5" D	36" H	17.6 SF

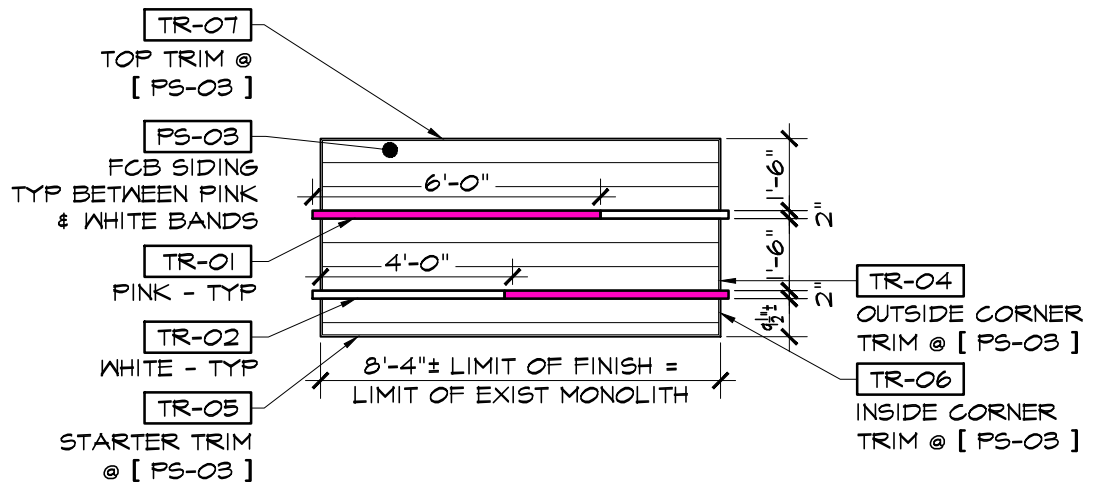
GC NOTE
GC TO INVESTIGATE IF ACCESS HATCH CAN BE INSTALLED BEHIND PARAPET. IF SO, PROVIDE ACCESS HATCH; NYSTROM 16 GAUGE STEEL ARCHITECTURAL ACCESS DOOR W/ 1" EXPOSED FLANGE, CONCEALED SPRING BUTTON HINGE, KEY OPERATED CAM LATCH, GALVANNEALED FINISH REF NTL24x24BGL. IF ACCESS HATCH CAN NOT BE INSTALLED, COORD W/ SIGN VENDOR ON ALTERNATE ACCESS OPTIONS.



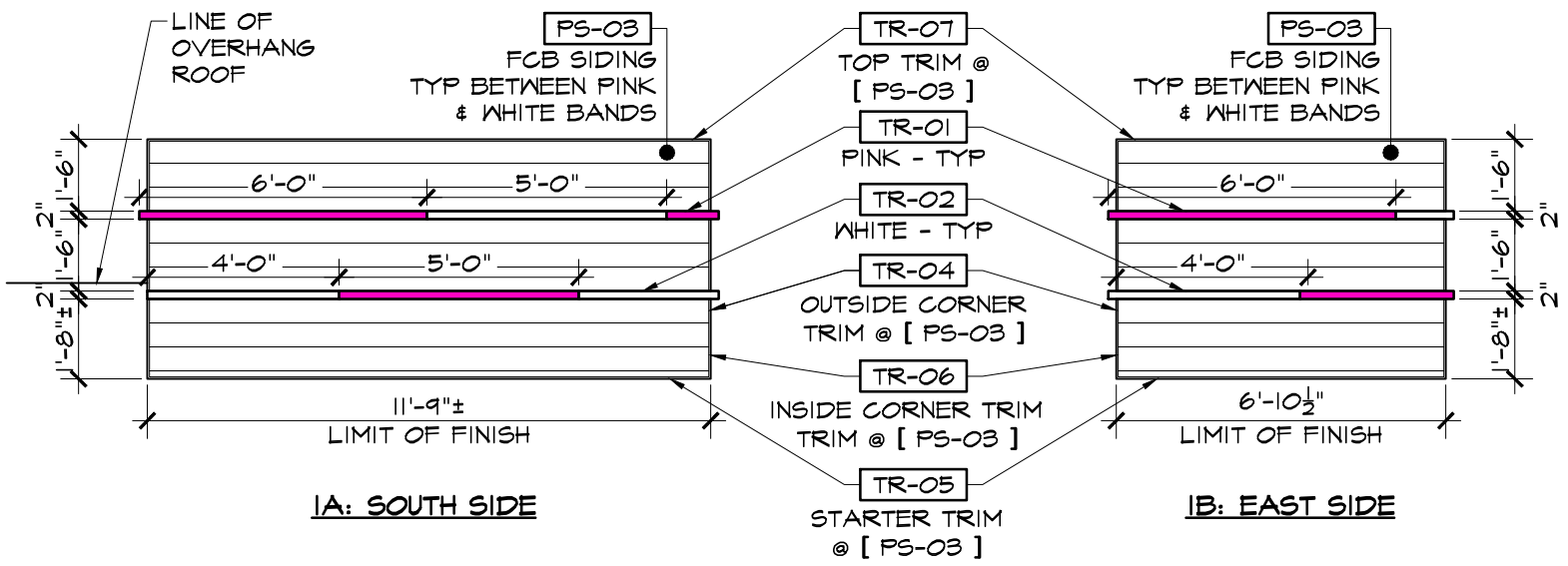
3 SIGN ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

LEGEND	
	CONT 2"x2" EXTRUDED METAL CHANNEL [TR-01]
	CONT 2"x2" EXTRUDED METAL CHANNEL [TR-02]
	D/T MONOLITH & SWITCH FIBER CEMENT BOARD SIDING [PS-03]

PINK & WHITE COLOR BANDS PROVIDED BY GC - ORDER THRU TAMLYN OR HORACIOS - SEE NATIONAL ACCOUNTS.



2 D/T MONOLITH DETAIL
A3.1 SCALE: 1/4" = 1'-0"



1 FRONT MONOLITH DETAIL
A3.1 SCALE: 1/4" = 1'-0"



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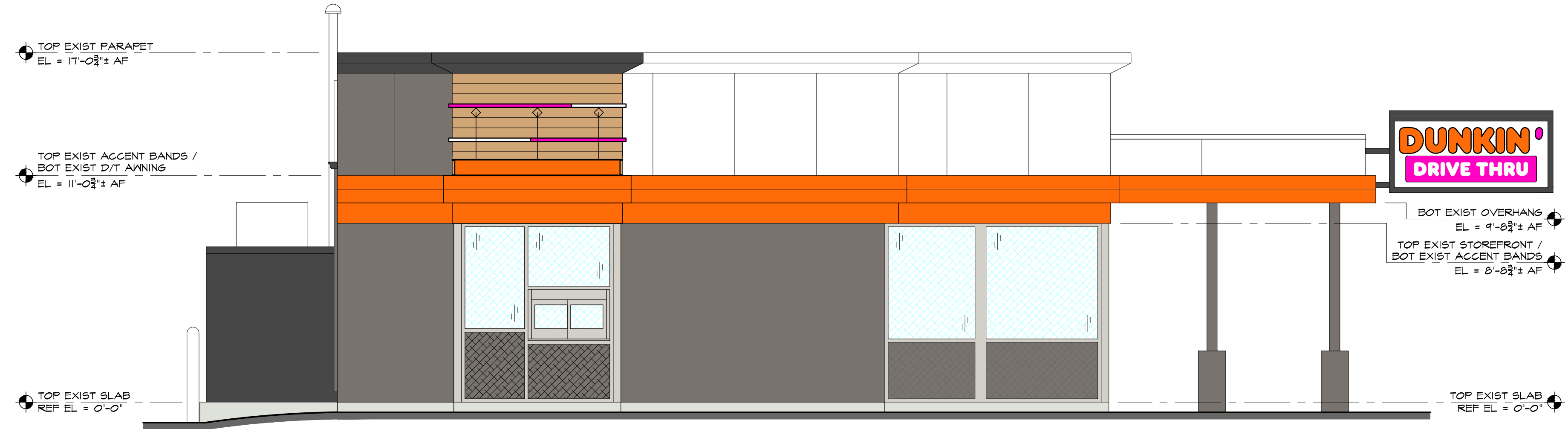
PROJECT TITLE
DUNKIN'
PC# 307396
IMAGE: NEXTGEN WARM
PALETTE

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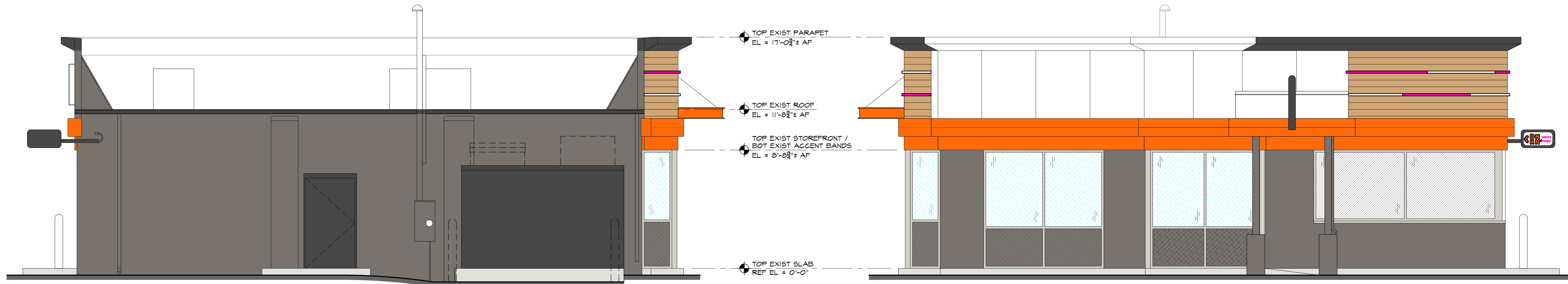
DRAWING TITLE
EXTERIOR DETAILS

DATE NOV 19, 2021	PROJ NO 21057
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DRAWING NUMBER
A3.2



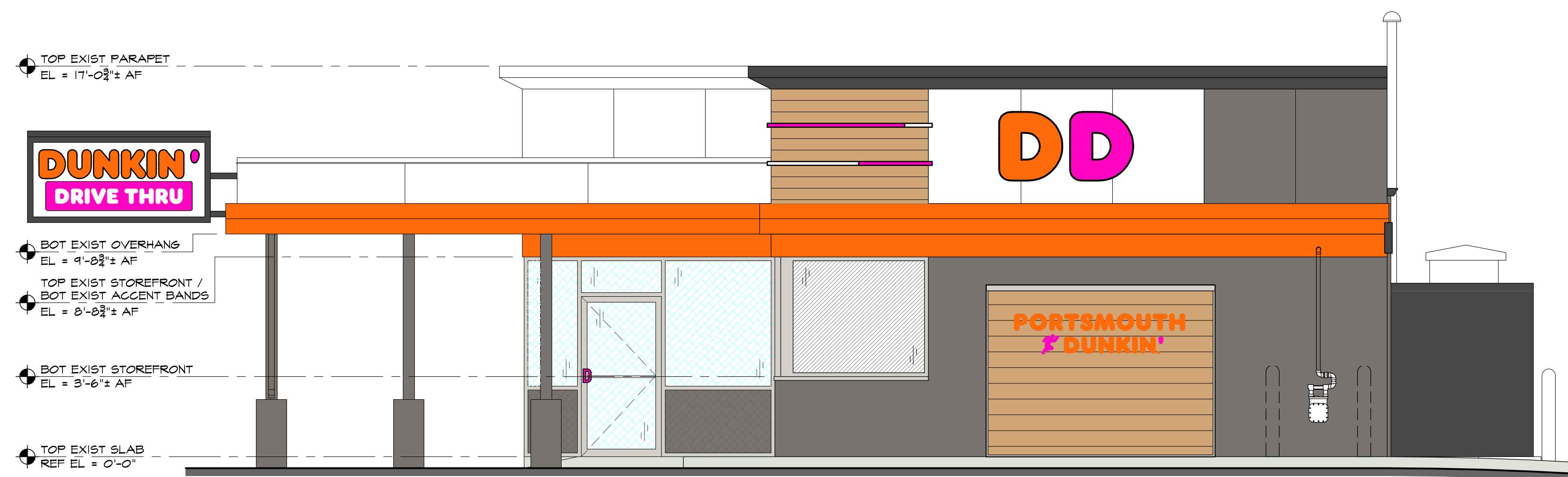
4 WEST ELEVATION
A.I.I. SCALE: 1/4" = 1'-0"



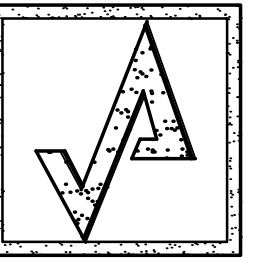
3 NORTH ELEVATION
A.I.I. SCALE: 1/4" = 1'-0"

2 SOUTH ELEVATION
A.I.I. SCALE: 1/4" = 1'-0"

COLOR LEGEND	
01	"GAUNTLET GRAY"
02	"CHARCOAL"
03	"WOOD"
04	"OFF WHITE"
12	"DUNKIN' PINK"
19	"DUNKIN' ORANGE"



1 EAST ELEVATION
A.I.I. SCALE: 1/4" = 1'-0"



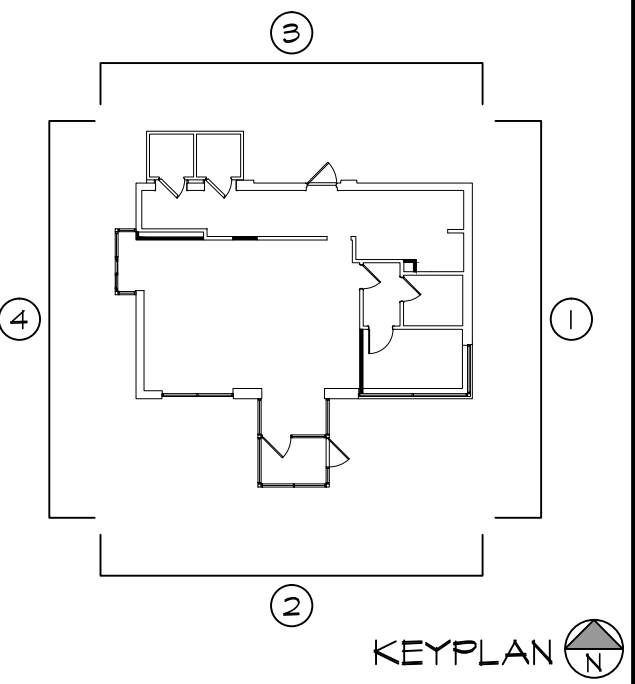
AHARONIAN
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KEYPLAN

REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396

IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

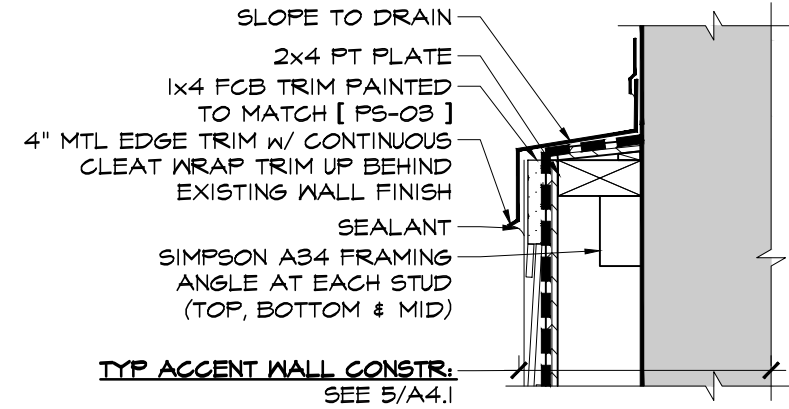
DRAWING TITLE

COLORED EXTERIOR
ELEVATIONS

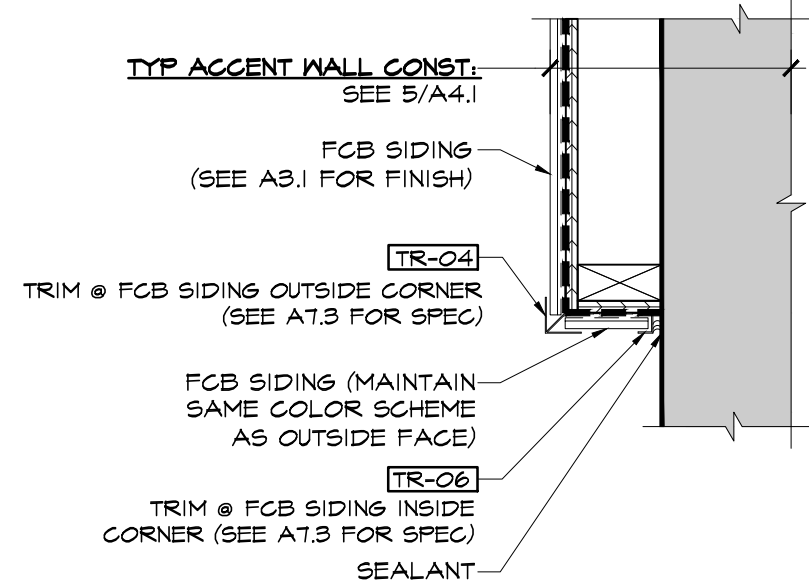
DATE	NOV 19, 2021	PROJ NO	21057
DRAWN BY	ZRA	CHECKED BY	AH

DRAWING NUMBER

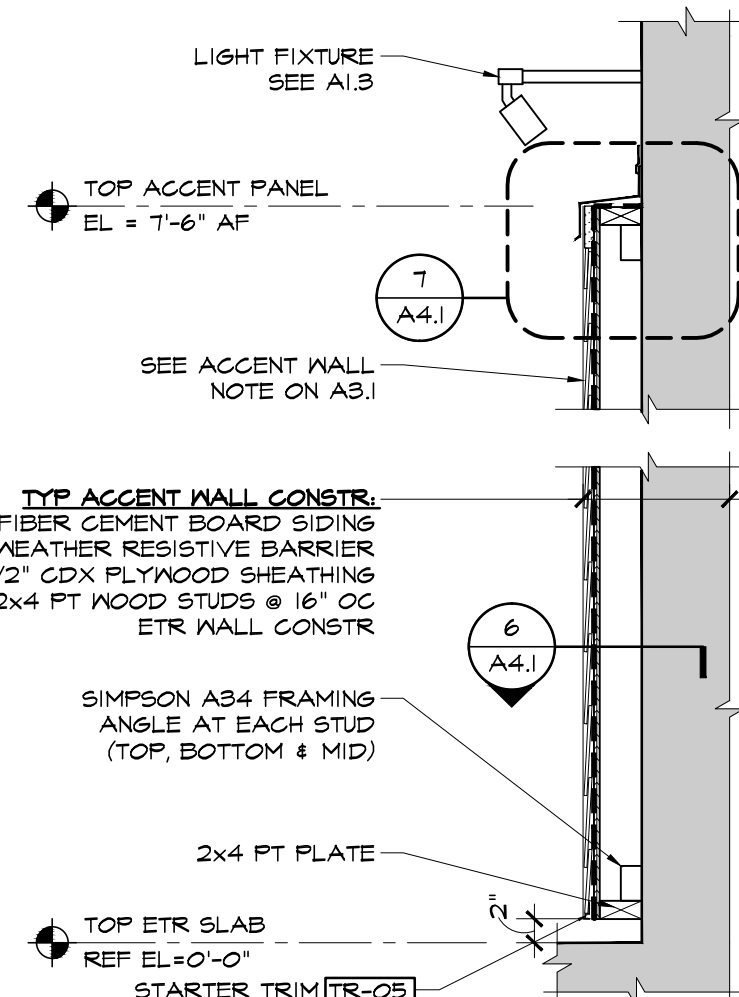
A3.3



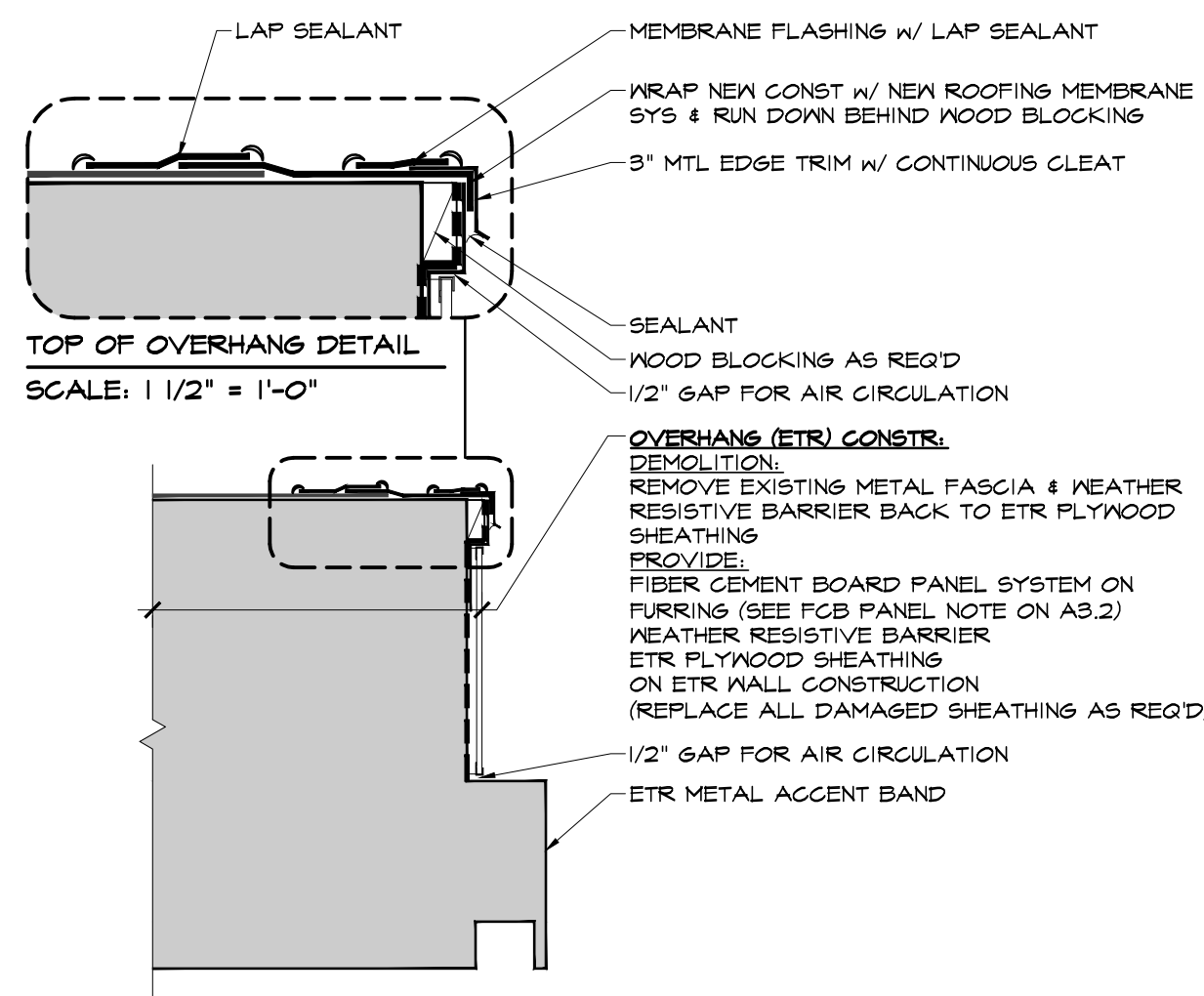
7 TOP OF ACCENT WALL DETAIL
A4.1 SCALE: 3/4" = 1'-0"



6 JAMB/SIDE OF ACCENT WALL DETAIL
A4.1 SCALE: 3/4" = 1'-0"



5 ACCENT WALL SECTION
A1.1 SCALE: 3/4" = 1'-0"



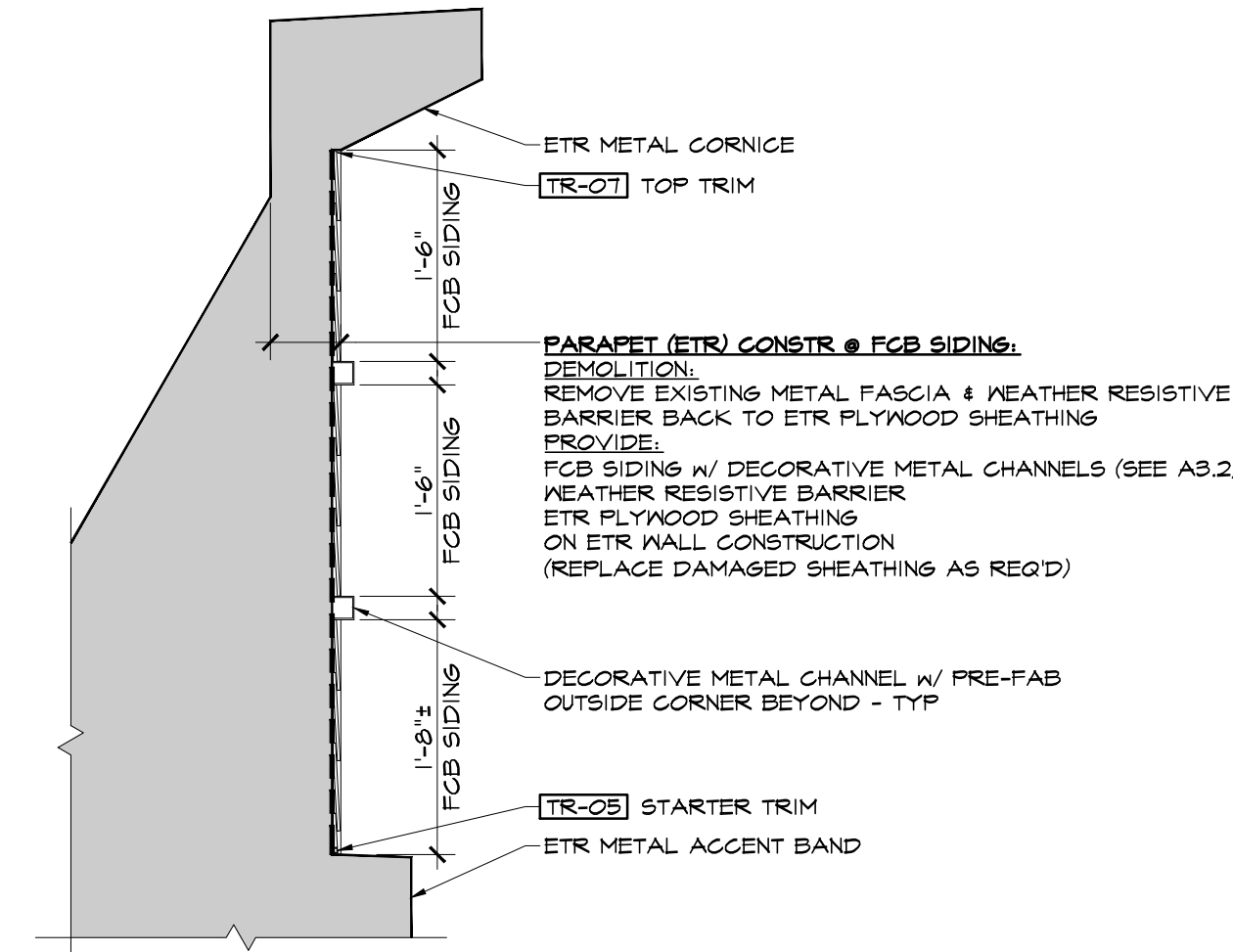
4 WALL SECTION @ OVERHANG
A3.1 SCALE: 3/4" = 1'-0"

NOTE
ALL EXTERIOR WOOD FRAMING @ ACCENT WALL TO BE PRESSURE TREATED.

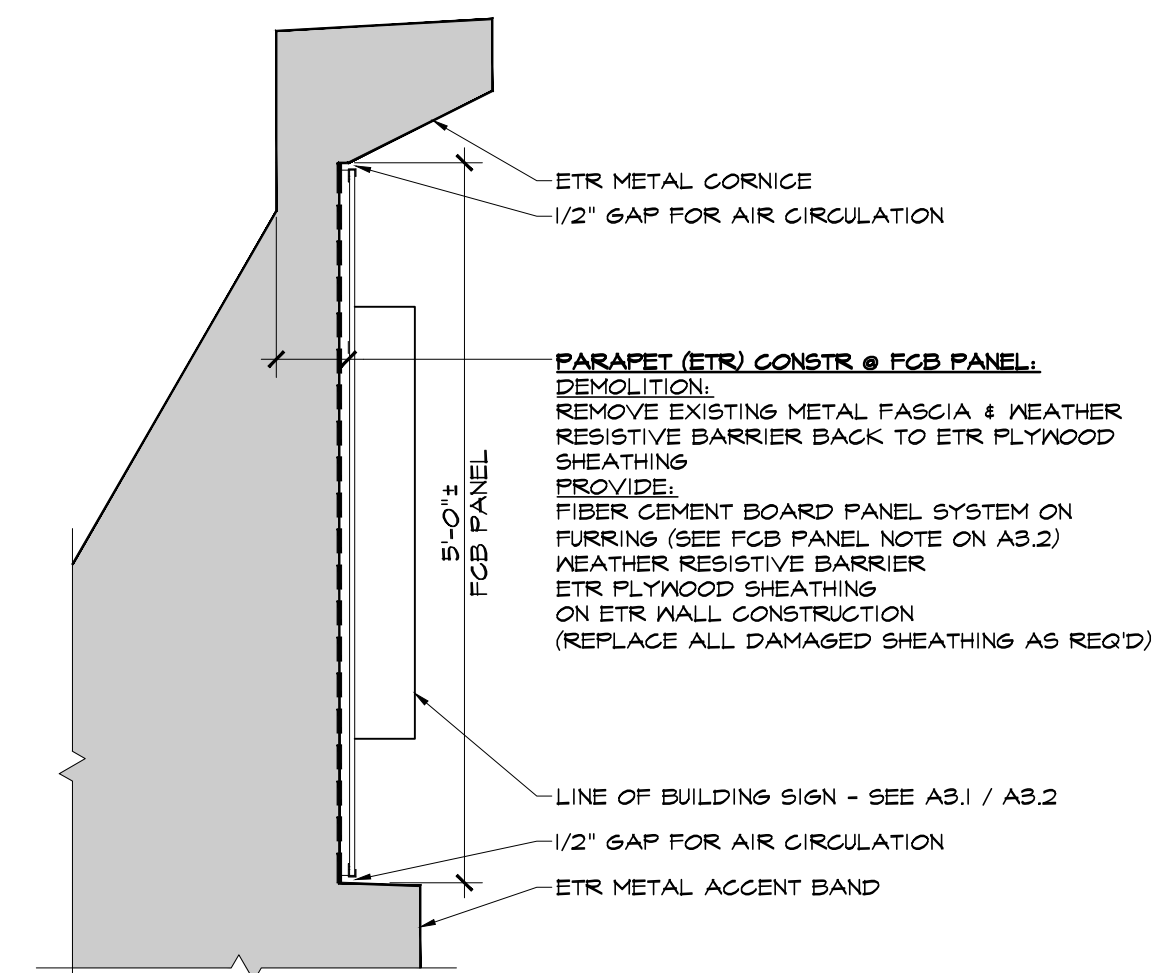
GC NOTE
GC TO INVESTIGATE IF ACCESS HATCH CAN BE INSTALLED BEHIND PARAPET. IF SO, PROVIDE ACCESS HATCH: NYSTROM 16 GAUGE STEEL ARCHITECTURAL ACCESS DOOR W/ 1" EXPOSED FLANGE, CONCEALED SPRING BUTTON HINGE, KEY OPERATED CAM LATCH, GALVANNEALED FINISH. REF NTL24x24BSL. IF ACCESS HATCH CAN NOT BE INSTALLED, COORD W/ SIGN VENDOR ON ALTERNATE ACCESS OPTIONS.

GC NOTE
GC SHALL VERIFY EXISTING CONDITIONS IN FIELD PRIOR TO START OF CONSTRUCTION. IF EXISTING CONDITION/STRUCTURE IS DIFFERENT THAN SHOWN & NOTED ON DWGS, GC SHALL CONSULT W/ ARCHITECT PRIOR TO START OF WORK WITH FINDINGS.

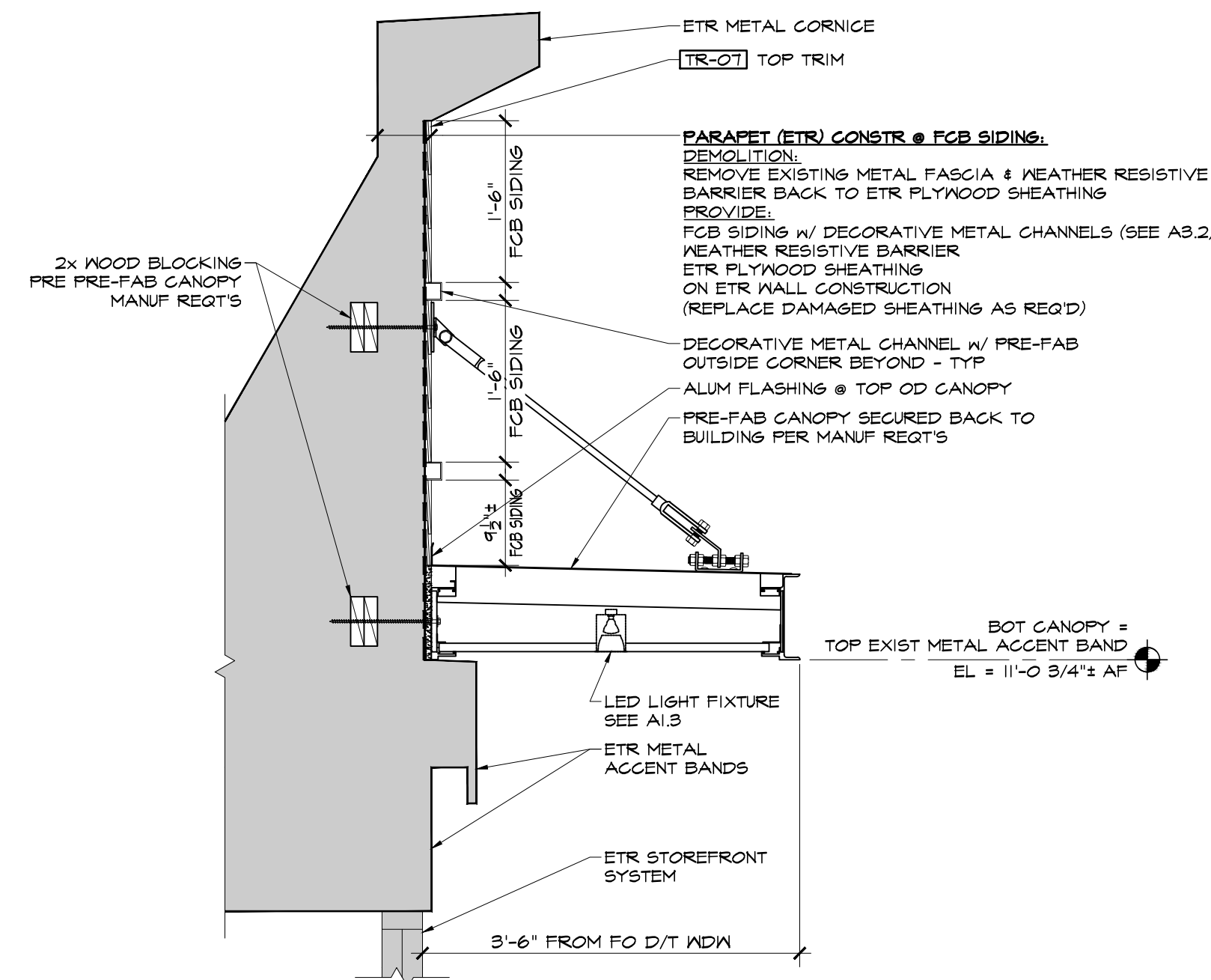
FCB PANEL NOTE:
SEE A3.1 FOR GUIDANCE FOR INSTALLATION & NOTES.



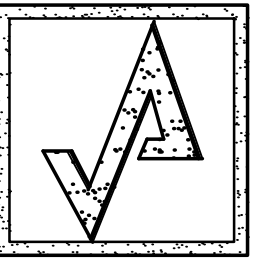
3 PARAPET SECTION @ FCB SIDING
A3.1 SCALE: 3/4" = 1'-0"



2 PARAPET SECTION @ FCB PANEL
A3.1 SCALE: 3/4" = 1'-0"



1 WALL SECTION @ D/T MONOLITH
A3.1 SCALE: 3/4" = 1'-0"

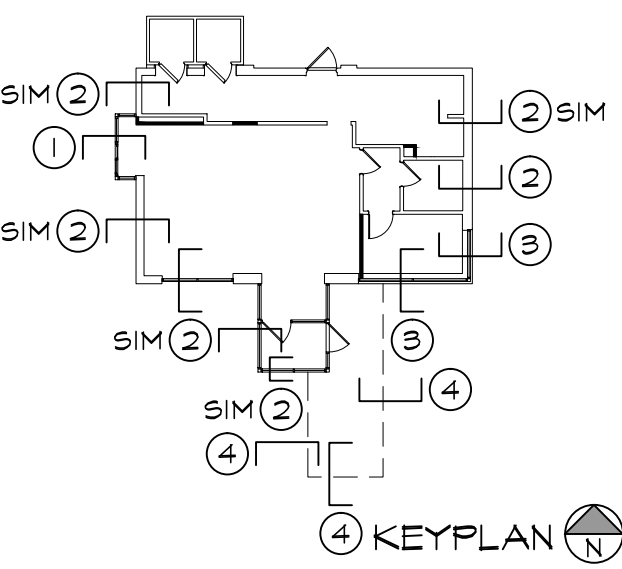


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REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396

IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

**WALL SECTIONS &
DETAILS**

DATE	NOV 19, 2021	PROJ NO	21057
DRAWN BY	ZRA	CHECKED BY	AH

DRAWING NUMBER

A4.1

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

	4/27/2020	DAL TILE PALETTE				
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
TILE - DAL TILE	G-01 (C)	GROUT	MAPEI	ULTRSCOLOR PLUS FA #27 - SILVER	CUSTOMER AREA GROUT - SEE FINISH SCHEDULE FLOOR TILE (FT) COMMENTS FOR LOCATION	ALL INQUIRIES MUST MENTION THE NATIONAL ACCOUNT WITH DUNKIN BRANDS PHONE: 877-556-5728 EMAIL: NATIONALACCOUNTS@DAL.TILE.COM DB REP: PAULA TOSTI 978.835.7793 EMAIL: PAULA.TOSTI@DAL.TILE.COM
	G-01 (W)	GROUT	LATRICRETE	#35 - MOCHA	CUSTOMER AREA GROUT - SEE FINISH SCHEDULE FLOOR TILE (FT) COMMENTS FOR LOCATION	
	G-02	GROUT	MAPEI	ULTRSCOLOR PLUS FA #47 - CHARCOAL	BACK OF HOUSE GROUT - SEE FINISH SCHEDULE FLOOR TILE (FT) COMMENTS FOR LOCATION	
	G-03	GROUT	MAPEI	ULTRSCOLOR PLUS FA #38 - AVALANCHE	BACKLINE GROUT - SEE FINISH SCHEDULE WALL TILE (WT) COMMENTS FOR LOCATION	
	G-04	GROUT	MAPEI	ULTRSCOLOR PLUS FA #10 - BLACK	BRICK TILE GROUT - SEE FINISH SCHEDULE FLOOR TILE (FT) OR WALL TILE (WT) COMMENTS FOR LOCATION	
	G-05	GROUT	MAPEI	ULTRSCOLOR PLUS FA #09 - GRAY	RESTROOM GROUT - SEE FINISH SCHEDULE WALL TILE (WT) COMMENTS FOR LOCATION	
	G-06	NOT USED				
	FT-01 (C)	PORCELAIN TILE	DAL TILE	DB PORTFOLIO POR - 12X24 FLOOR PF05 "ASH GREY STD" #PF0512241PK	COOL PALETTE - 12"X24" FRONT OF HOUSE (PUBLIC AREAS) AND RESTROOM AREA TILE - USE W/ GROUT G-01 (C)	
	FT-01 (W)	PORCELAIN TILE	DAL TILE	AFFINITY TILE - BEIGE #AF02 12" X 24" / MATTE FINISH	WARM PALETTE - 12"X24" FRONT OF HOUSE (PUBLIC AREAS) AND RESTROOM AREA TILE - USE W/ GROUT G-04	
	FT-01 (E)	PORCELAIN TILE	DAL TILE	REMODEL KEEPING EXISTING FLOOR TILE	2015 IMAGE TILE (TAN COLOR) MAYBE AVAILABLE (COLOR MATCH REQUIRED) FROM DAL TILE N500 "PUNKIN LATTI"	
	FT-01-ALT (C)	NOT USED				
	FT-01-ALT (W)	NOT USED				
	FT-02	QUARRY TILE	DAL TILE	DB TEXTURES - 6X6X12 FLOOR CE 0703 "ASHEN GRAY STD" #0703661P	COOL AND WARM PALETTE - 6"X6" BACKLINE/SERVICE AREA & B.O.H. AREAS - USE W/ GROUT G-02	
	FT-02 (E)	QUARRY TILE	DAL TILE	REMODEL KEEPING EXISTING FLOOR TILE		
	FT-03 (C)	NOT USED				
	FT-03 (W)	PORCELAIN TILE	DAL TILE	SADDLE BROOK TILE - FARMHOUSE SD14 6" X 46" MATTE FINISH	WARM PALETTE - 6" X 36" TILE SEATING AREA ACCENT FLOOR TILE. USE W/ GROUT G-04	
	FTB-01 CUT (C)	PORCELAIN TILE	DAL TILE	DB PORTFOLIO POR - 12X24 FLOOR PF05 "ASH GREY STD" #PF0512241PK	COOL PALETTE - CUT 12"X24" FLOOR TILE W/ BRUSHED NICKEL SCHLUTER STRIP CAP JOLLY - ANIGB COLOR MATCH WALL TILE ALUMINUM TRIM MATTE WHITE TSDA DARK ANTHRACITE TSSG STONE GREY	
	FTB-01 CUT (W)	PORCELAIN TILE	DAL TILE	PORTFOLIO 12X24 FLOOR PF-03 "FANGO"	WARM PALETTE - CUT 12"X24" FLOOR TILE W/ BRUSHED NICKEL SCHLUTER STRIP CAP JOLLY - ANIGB COLOR MATCH WALL TILE ALUMINUM TRIM MATTE WHITE TSDA DARK ANTHRACITE TSSG STONE GREY	
	FTB-01-ALT CUT (C)	NOT USED				
	FTB-01-ALT CUT (W)	NOT USED				
	FTB-01 COVE (C)	PORCELAIN TILE	DAL TILE	DB PORTFOLIO POR - 6X12 COVE BASE HM05 "ASH GREY STD" #PF05P36C07B1P2	COOL PALETTE - 6"X12" COVED BASE TILE (OPTIONAL UPGRADE FOR FRONT OF HOUSE PUBLIC AREAS AND RESTROOMS)	
	FTB-01 COVE (W)	PORCELAIN TILE	DAL TILE	PORTFOLIO COVE BASE PF-03 "FANGO"	WARM PALETTE - USE W/ GROUT G-04	
	FTB-02 COVE	QUARRY TILE WALL BASE	DAL TILE	DB TEXTURES Q3565U 0703 "ASHEN GRAY STD" #0703Q3565U1P	COOL AND WARM PALETTE - 5" X 6" COVE BASE - SEE NATIONAL ACCOUNTS FOR INSIDE/OUTSIDE CORNER PRODUCT NUMBERS # 0703Q3565U1P - COVE BASE # 0703Q3565U1P - LEFT CORNER # 0703Q3565U1P - RIGHT CORNER # 0703Q3565U1P - INSIDER CORNER USE W/ GROUT	
	FTB-03 CUT (C)	NOT USED				
	FTB-03 CUT (W)	PORCELAIN TILE	DAL TILE	SADDLE BROOK TILE - FARMHOUSE SD14 6" X 36" MATTE FINISH	WARM PALETTE - USE W/ 6" X 36" TILE WALL BASE @ SEATING AREA ACCENT FLOOR TILE. USE W/ GROUT G-04	
	FTB-03-ALT CUT (C)	NOT USED				
FTB-03-ALT CUT (W)	NOT USED					
FTB-03 COVE (C)	NOT USED					
TILE - DAL TILE	FTB-03 COVE (W)	PORCELAIN TILE	DAL TILE	SADDLE BROOK TILE - FARMHOUSE SD14 6" X 36" MATTE FINISH	WARM PALETTE - USE W/ 6" X 36" COVE TILE WALL BASE @ SEATING AREA ACCENT FLOOR TILE. USE W/ GROUT G-04	
	FTB-03 COVE (C)	PORCELAIN TILE	DAL TILE	SADDLE BROOK TILE - FARMHOUSE SD14 6" X 36" MATTE FINISH	COOL PALETTE - INSTALL PER PATTERN SHOWN IN DETAIL # 5/A0 BACKLINE WALL TILE - 12X24 BACKLINE WALL TILE - USE W/ GROUT G-03 ALUMINUM PROFILE: SCHLUTER, JOLLY. NEW MATTE WHITE HEIGHT 10 mm (3/8") A100MBW	
	WT-01 (C)	PORCELAIN TILE	DAL TILE	DB DUNKIN SWITCH ACCENT 12" x 24" (backline wall) #N512DD12241P2	WARM PALETTE OR REMODEL USE ONLY - WHEN KEEPING EXISTING 2015 IMAGE FLOOR TILE (TAN COLOR) INSTALL PER PATTERN SHOWN IN DETAIL # 5/A0 BACKLINE WALL TILE - USE W/ GROUT G-03 ALUMINUM PROFILE: SCHLUTER, JOLLY. NEW MATTE WHITE HEIGHT 10 mm (3/8") A100MBW	
	WT-01 (W)	PORCELAIN TILE	DAL TILE	DB DUNKIN SWITCH WARM ACCENT 12" x 24" (backline wall) #N515SA0212224P2	COOL AND WARM PALETTE - BRICK STYLE 6" X 24" OR 4" X 12" SP ORDER CUT TO SIZE (WT-2) - USE W/ GROUT G-04 ALUMINUM PROFILE: SCHLUTER, JOLLY. TSDA DARK ANTHRACITE HEIGHT 8 mm (5/16") A80TSDA	
	WT-02	PORCELAIN TILE	DAL TILE	DB PORTFOLIO POR - 6X24 FLOOR PF09 "CHARCOAL" #PF096241PK	COOL AND WARM PALETTE - RESTROOMS INSTALL IN A STACK BOND PATTERN 6"X18" - USE W/ GROUT G-5 ALUMINUM PROFILE: SCHLUTER, JOLLY. NEW MATTE WHITE HEIGHT 8 mm (5/16") A80MBW	
	WT-03	PORCELAIN TILE	DAL TILE	DB FIELD - 6"X18" WHITE (RESTROOMS) #N516B181P2	COOL PALETTE - INSTALL PER PATTERN SHOWN IN DETAIL # 3/A0 RESTROOM ACCENT 6" X6" - USE W/ GROUT G-5 ALUMINUM PROFILE: SCHLUTER, JOLLY. TSSG STONE GREY 8 mm (5/16") A80TSSG	
	WT-04 (C)	PORCELAIN TILE	DAL TILE	DB BLOCK PARTY 6" X 6" - 27 TILE ACCENT (RESTROOMS) #N515BP01661P4	WARM PALETTE OR REMODEL USE ONLY WHEN KEEPING EXISTING 2015 IMAGE FLOOR TILE (TAN COLOR) INSTALL PER PATTERN SHOWN IN DETAIL # 3/A0 - BACKLINE WALL TILE - RESTROOM ACCENT INSTALL IN A RANDOM PATTERN 6" X6" - USE W/ GROUT G-5 ALUMINUM PROFILE: SCHLUTER, JOLLY. TSSG STONE GREY 8 mm (5/16") A80TSSG	
	WT-04 (W)	PORCELAIN TILE	DAL TILE	DB BLOCK PARTY 6" X 6" - 27 TILE ACCENT (RESTROOMS) #N515BP02661P4	WARM PALETTE OR REMODEL USE ONLY WHEN KEEPING EXISTING 2015 IMAGE FLOOR TILE (TAN COLOR) INSTALL PER PATTERN SHOWN IN DETAIL # 3/A0 - BACKLINE WALL TILE - RESTROOM ACCENT INSTALL IN A RANDOM PATTERN 6" X6" - USE W/ GROUT G-5 ALUMINUM PROFILE: SCHLUTER, JOLLY. TSSG STONE GREY 8 mm (5/16") A80TSSG	

GENERAL NOTES					
1) NEW & REMODEL STORES HAVE THE OPTION OF A COOL OR WARM PALETTE FOR INTERIOR FINISHES					
2) CODE SUFFIX (C) = COOL PALETTE FINISHES					
3) CODE SUFFIX (W) = WARM PALETTE OR REMODEL FINISHES WHEN KEEPING 2015 IMAGE FLOOR TILE					
4) CODE SUFFIX (E) = EXISTING					
5) FINISHES WITHOUT SUFFIX ARE UNIVERSAL TO THE COOL & WARM PALETTE					
6) REMODEL STORES KEEPING EXISTING 2015 IMAGE FLOOR TILE (TAN COLOR) SHALL ONLY USE THE WARM PALETTE					

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

CEILING FINISH	CEILING FINISH					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
	CT-01	ACOUSTIC CEILING TILE	ARMSTRONG	WHITE FACTORY FINISH #1732 WH (2' X 2')	WHITE, FINE FISSURED TILE WITH WHITE GRID [ARMSTRONG#7300 WH/ SIZE: 5/16"]	PLEASE CONTACT ARMSTRONG @ 1-800-442-4212.
	CT-02	CEILING TILE AND GRID SYSTEM	ARMSTRONG	BLACK FACTORY FINISH 1728 BL (2' X 2')	BLACK, FINE FISSURED-TILE AND BLACK GRID	
	CT-03	VINYL FACED CLG TILE	ARMSTRONG	#870 (2' X 4') / #868 (2' X2')	WHITE TILE AND GRID	CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING.
	VP-01	VINYL SOFFIT PANELS	MASTIC	VENTURA, FULLY VENTED COLOR: WHITE (HIDDEN VENT)		
	GYP-BD	GYPSUM BOARD	ARMSTRONG			
	SUSP-GB	SUSPENDED GYPSUM BOARD	ARMSTRONG			
	CG-X	CEILING GRID MATCH EXISTING	MATCH EXISTING	MATCH EXISTING		
	CT-X	CEILING TILE MATCH EXISTING	MATCH EXISTING	MATCH EXISTING		
	VP-X	VINYL SOFFIT PANELS MATCH EXISTING	MATCH EXISTING	MATCH EXISTING		
	ETR-CG	EXISTING TO REMAIN CEILING GRID				
	ETR-CT	EXISTING TO REMAIN CEILING TILE				
	ETR-GB	EXISTING TO REMAIN GYPSUM BOARD				
	ETR-VP	EXISTING TO REMAIN VINYL SOFFIT PANELS			WHITE TILE AND GRID	

SCHEDULE UPDATED 2020/10/06 PER FINISH UPDATES DATED 2020/08/30

MILLWORK INTERIOR SOLID SURFACE	MILLWORK INTERIOR SOLID SURFACE					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
	SS-01 (C)	SOLID SURFACE	LG HI-MACS	CUSTOM COLOR: CANTON FINISH: POLISHED	COOL PALETTE (HANDOFF BAKERY AND TAPS)	PROVIDED BY MILLWORK VENDOR
	SS-01 (W)	SOLID SURFACE	LG HI-MACS	CUSTOM COLOR: #122 BAMBOO LEAF FINISH: POLISHED	WARM PALETTE (HANDOFF BAKERY AND TAPS)	
	SS-02	QUARTZ SURFACES	CAESAR STONE	COLOR: 4120 (PCM) RAVEN FINISH: POLISHED EDGE PROFILE: REFERENCE MILLWORK DETAILS		
	SS-03 (C)	NOT USED				
	SS-04 (W)	NOT USED				

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

MILLWORK LAMINATES	MILLWORK LAMINATES					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
	PL-01 (C)	LAMINATE	FORMICA	5887-58 "MILLENNIUM OAK" MATTE FINISH		
	PL-01 (W)	NOT USED				
	PL-02	LAMINATE	FORMICA	837-58 GRAPHITE MATTE FINISH		
	PL-03	LAMINATE	WILSONART	4830K-18 SATIN STAINLESS		
			FORMICA	ALTERNATE: M2022-99 BRUSHED ALUMINUM DECO METAL FINISH		
	PL-04 (C)	LAMINATE	WILSONART	1500 "GRAY" MATTE FINISH		
	PL-04 (W)	LAMINATE	WILSONART	0427-60 "LINEN" MATTE FINISH	WARM PALETTE OR REMODEL USE ONLY - WHEN KEEPING EXISTING 2015 IMAGE FLOOR TILE (TAN COLOR)	
	PL-05	LAMINATE	FORMICA	459-58 BRITE WHITE MATTE FINISH		
	PL-06 (C)	LAMINATE	WILSONART	4783 "WHITE TIGRIS"	MILLWORK TABLE TOPS	
	PL-06 (W)	LAMINATE	WILSONART	4841 "DESERT ZEPHYR"	WARM PALETTE OR REMODEL USE ONLY - WHEN KEEPING EXISTING 2015 IMAGE FLOOR TILE (TAN COLOR) MILLWORK TABLE TOPS	
	PL-07	LAMINATE	FORMICA	BLACK LAMINATE		
	PL-08	NOT USED				
	PL-09	LAMINATE	FORMICA	NJ103-3959-48 "COOL WHITE"	MILLWORK CABINETS & INTERIOR SHELF FINISHES	
	PL-10 (C)	LAMINATE	WILSONART	4857-60 "SHADOW ZEPHYR"	WAINSCOT	
	PL-10 (W)	LAMINATE	FORMICA	5884 "CHESTNUT WOODLINE" MATTE FINISH (SAME AS WP-PL2(W))	KNEE WALL WARM PALETTE OR REMODEL USE ONLY - WHEN KEEPING EXISTING 2015 IMAGE FLOOR	
	PL-11	NOT USED				

SCHEDULE UPDATED 2021/07/06

VINYL WALL COVERING	VINYL WALL COVERING					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
	WC-01 (C)	TYPE II VINYL WALL COVERING	DL COUCH	DLC-122 "MINERAL" VERSA ARIES PATTERN 20 02 TYPE II w/ AQUASAFE	ARCHITECT/ G. C. TO CONFIRM FRANCHISEE PREFERENCE ON MANUFACTURER	CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. KAITLYN FEASTER - ACCOUNT MANAGER 800.366.6839 X326 CUSTOMERSERVICE@MOMTEX.COM
			WOLF GORDON	DUNKIN RIVULET 54" WIDE GSH 31818546 COLOR: NEXTGEN NEUTRAL COOL PALETTE		CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. FAX ORDER FORM TO 718.706.5912 OR ALFREDO.ORTIZ@WOLFGORDON.COM
	WC-01 (W)	TYPE II VINYL WALL COVERING	DL COUCH	SKETCH TEX - TEA WASH (T2-TX-20)	ARCHITECT/ G. C. TO CONFIRM FRANCHISEE PREFERENCE ON MANUFACTURER	CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. KAITLYN FEASTER - ACCOUNT MANAGER 800.366.6839 X326 CUSTOMERSERVICE@MOMTEX.COM
			WOLF GORDON	DUNKIN RIVULET 54" WIDE GSH 31802393		CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. FAX ORDER FORM TO 718.706.5912 OR ALFREDO.ORTIZ@WOLFGORDON.COM
	WC-02 (C)	TYPE III (VINYL WALL PROTECTION)	DL COUCH	VERSA GAURD HALCYN TYP3 127680 "WINDWARD"	ARCHITECT/ G. C. TO CONFIRM FRANCHISEE PREFERENCE ON MANUFACTURER	CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. KAITLYN FEASTER - ACCOUNT MANAGER 800.366.6839 X326 CUSTOMERSERVICE@MOMTEX.COM
			WOLF GORDON	RAMPART 52" WIDE WG 12691266		CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. FAX ORDER FORM TO 718.706.5912 OR ALFREDO.ORTIZ@WOLFGORDON.COM
	WC-02 (W)	TYPE III (VINYL WALL PROTECTION)	DL COUCH	VERSA GAURD PANAMA LINEN - SUGAR CANE (TYPE III)	ARCHITECT/ G. C. TO CONFIRM FRANCHISEE PREFERENCE ON MANUFACTURER	CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. KAITLYN FEASTER - ACCOUNT MANAGER 800.366.6839 X326 CUSTOMERSERVICE@MOMTEX.COM
			WOLF GORDON	RAMPART 52" WIDE GSH 31802395		CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. FAX ORDER FORM TO 718.706.5912 OR ALFREDO.ORTIZ@WOLFGORDON.COM
	WC-03 (C)	ADVANCED WALL PROTECTION	DL COUCH	DLC-26519C WOOD WALL 1312EC (BATURELLE) 48" WIDE 15 YARD BOLT)	WOOD WALL MUST BE INSTALLED RAILROADED. ALTERNATE FOR WD-01	CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. KAITLYN FEASTER - ACCOUNT MANAGER 800.366.6839 X326 CUSTOMERSERVICE@MOMTEX.COM
		NOT USED	WOLF GORDON	SEE DL COUCH WC-03 (C)		CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. FAX ORDER FORM TO 718.706.5912 OR ALFREDO.ORTIZ@WOLFGORDON.COM
	WC-03 (W)	NOT USED	DL COUCH			CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. KAITLYN FEASTER - ACCOUNT MANAGER 800.366.6839 X326 CUSTOMERSERVICE@MOMTEX.COM
		NOT USED	WOLF GORDON			CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. FAX ORDER FORM TO 718.706.5912 OR ALFREDO.ORTIZ@WOLFGORDON.COM
	WC-04	TYPE III WALL COVERING	DL COUCH	ASTORIA A197-582 "CHAINMAIL" TYPE III WALL PROTECTION	CHARCOAL WALL ALTERNATE FOR WT-02	CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. KAITLYN FEASTER - ACCOUNT MANAGER 800.366.6839 X326 CUSTOMERSERVICE@MOMTEX.COM
		TYPE III (WALL PROTECTION)	WOLF GORDON	RAMPART 52" WIDE CHARCOAL GSH 31818583 TYPE III WALL PROTECTION.		CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. FAX ORDER FORM TO 718.706.5912 OR ALFREDO.ORTIZ@WOLFGORDON.COM

SCHEDULE UPDATED 2020/10/06 PER FINISH UPDATES DATED 2020/08/30

WALL PROTECTION	WALL PROTECTION					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
	WP-PL1 (C)	NOT USED				
	WP-PL1 (W)	NOT USED				
	WP-PL2 (C)	LAMINATE	WILSONART	4857-60 "SHADOW ZEPHYR" MATTE FINISH (SAME AS PL-10)	PLAM WALL PANELS 48" x 96" (MILLWORK FABRICATED ITEM)	
	WP-PL2 (W)	LAMINATE	FORMICA	5884 "CHESTNUT WOODLINE" MATTE FINISH (SAME AS PL-10(W))	WARM PALETTE OR REMODEL USE ONLY - PLAM WALL PANELS 48" x 96" (MILLWORK FABRICATED ITEM)	
	WP-CR1		IMPACT SPECIALTIES	COLOR: "BRUSHED NICKEL"	SARATOGA CHAIR RAIL 3" H x 11.4" L x 1/2" THK. VA200 "BRUSHED NICKEL" CORNER GUARD	CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. FOR ASSISTANCE, PLEASE CONTACT CUSTOMER SERVICE AT PHONE: 888-424-6287
	WP-CR2 (C)	SOLID SURFACE	LG HI-MACS	CUSTOM COLOR: CANTON (SEE AS SS-01(C)) FINISH: POLISHED EDGE PROFILE: REFERENCE MILLWORK DETAIL ALUMINUM PROFILE: SCHLUTER JOLLY	SOLID SURFACE CHAIR RAIL	
	WP-CR2 (W)	SOLID SURFACES	LG HI-MACS	CUSTOM COLOR: CANTON (SEE AS SS-01(W)) FINISH: POLISHED EDGE PROFILE: REFERENCE MILLWORK DETAIL ALUMINUM PROFILE: SCHLUTER JOLLY	SOLID SURFACE CHAIR RAIL	
	WP-C1		IMPACT SPECIALTIES	COLOR: "BRUSHED NICKEL" VA-200 CORNER 72" X 11/2" X 1 1/2"	CHAIR RAIL CORNER PIECE	CLEARLY STATE THAT YOUR ARE A MEMBER OF DUNKIN' BRANDS, INC. STRATEGIC ACCOUNT UPON PURCHASING MATERIAL TO RECEIVE NATIONAL PRICING. FOR ASSISTANCE, PLEASE CONTACT CUSTOMER SERVICE AT PHONE: 888-424-6287
	NOT USED					
	NOT USED					



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REVISIONS

△	NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396
IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

MASTER FINISH
SCHEDULES

DATE	NOV 19, 2021	PROJ NO	21057
DRAWN BY	ZRA	CHECKED BY	AH

DRAWING NUMBER

A7.1

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

EXTERIOR EIFS	EXTERIOR EIFS					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
	EIFS-01	EIFS	DRYVIT	MAIN GRAY COLOR	DRYVIT #DUDD 29 2745 ST. MATCH SW 7019 "GAUNTLET GRAY"; LIMESTONE FINISH	ROBERT DAZEL C. 734-276-0404 BOB.DAZEL@DRYVIT.COM
	EIFS-02	EIFS	DRYVIT	CHARCOAL PATTERN	"CHARCOAL" EIFS, DRYVIT #DUDD 312736S. MATCH SW 7069 IRON ORE, SANDPEBBLE FINE	
	EIFS-02 BR	EIFS	DRYVIT	CHARCOAL BRICK PATTERN	"BRICK" EIFS, DRYVIT NEWBRICK, MODULAR WIRE CUT, GATE HOUSE, IRON SPOT AND FLASHED	
	EIFS-03	NOT USED		WOOD PATTERN	SEE WOODTONE'S PS-03	
	EIFS-04	EIFS	DRYVIT	OFF WHITE PATTERN	"WHITE" EIFS, DRYVIT #DUDD 23 2736S ST. MATCH SW 7063 NEBULOUS WHITE, SANDPEBBLE FINE	
	EIFS-05	NOT USED				
	EIFS-06	NOT USED				
	EIFS-07	NOT USED				
	EIFS-08	NOT USED				
	EIFS-09	NOT USED		WALK-IN BOX	SEE EXTERIOR PAINT PTE-09	
	EIFS-10	NOT USED		SECONDARY MID-TONE FINISH		
	EIFS-11	NOT USED		LINEN WHITE	SEE SPEC FOR METAL PAINT PC-10	
	EIFS-12	EIFS	DRYVIT	PINK BAND	COLOR: PINK - DUDD 33 1413 S. NOTE: STRATOTONE COLORANT	
	EIFS-13	EIFS	DRYVIT	ORANGE BAND	ORANGE - DUDD 34 1413 S. NOTE: STRATOTONE COLORANT	
	EIFS-14	NOT USED				

SCHEDULE UPDATED 2020/08/06 PER FINISH UPDATES DATED 2020/08/30

EXTERIOR FIBER CEMENT SIDING AND PANELS	EXTERIOR FIBER-CEMENT EXTERIOR SIDING AND PANELS					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
	PS-01	FIBER CEMENT PANEL	JAMES HARDIE	MAIN GRAY COLOR	COLOR: "AGED PEWTER" SURFACE: HARDIE SIDING DIMENSION: 81/4" X 12" X 5/16" THK WITH 7" SIDING EXPOSURE. FINISH: SMOOTH	JEFF HARVEY 774-297-4278 JEFFERY.HARVEY@JAMESHARDIE.COM
	PS-01 LP	FIBER CEMENT PANEL	JAMES HARDIE	MAIN GRAY COLOR	COLOR: "AGED PEWTER" SURFACE: REVEAL PANEL DIMENSION: (48" X 96" PANEL)	
	PS-02	FIBER CEMENT SIDING	JAMES HARDIE	CHARCOAL FINISH	COLOR: "IRON GRAY - VOLCANO GRAY" SURFACE: HARDIE SIDING DIMENSION: 71/4" X 12" X 5/16" THK WITH 8" SIDING EXPOSURE	
	PS-02 LP	FIBER CEMENT PANEL	JAMES HARDIE	CHARCOAL FINISH	COLOR: "IRON GRAY - VOLCANO GRAY" SURFACE: REVEAL PANEL DIMENSION: (48" X 96" PANEL)	
	PS-03	FIBER CEMENT SIDING	WOODTONE	WOOD FINISH	COLOR: "HONEY GLAZE" WOOD PATTERN SURFACE: WOOD PATTERN PLANK DIMENSION: 7 1/4" X 12" X 5/16" THK WITH 8" SIDING EXPOSURE. NOTE: NAILS TO MATCH WOOD FINISH	FOR WOODTONE PRODUCTS: PAUL ADOLPHE P. 800.663.3844 X1124 PAUL@WOODTONE.COM TIM FOLSTER MANAGER STRATEGIC ACCOUNTS P. 800.663.3844 X1122 TIM@WOODTONE.COM
	PS-04	SEE BELOW				
	PS-04 LP	FIBER CEMENT PANEL	JAMES HARDIE	OFF WHITE FINISH LARGE FORMAT PANEL	COLOR: "ARCTIC WHITE" SURFACE: REVEAL PANEL DIMENSION: (48" X 96" PANEL)	
	PS-05	NOT USED				
	PS-05 LP	NOT USED				
	PS-06	NOT USED				
	PS-07	NOT USED				
	PS-08	NOT USED				

PS-04	FIBER CEMENT SIDING & TRIM	JAMES HARDIE	OFF WHITE CEDARMILL FINISH	COLOR: "ARCTIC WHITE" SURFACE: HARDIE SIDING DIMENSIONS: 7 1/4" X 12" X 5/16" THK WITH 6" SIDING EXPOSURE	
			OFF WHITE SMOOTH FINISH	COLOR: "ARCTIC WHITE" SURFACE: HARDIE TRIM DIMENSIONS: 3 1/2" X 12" X 3/4" THK WITH 3 1/2" EXPOSURE	

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

EXTERIOR FIBER-CEMENT CLADDING SYSTEMS	EXTERIOR FIBER-CEMENT CLADDING SYSTEMS					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
	PP-01	FIBER-CEMENT CLADDING	NICHIHA	MAIN GRAY COLOR TUFFBLOCK "PEWTER"	COLOR: "PEWTER" FINISH: STANDARD DIMENSION: 17 7/8" H x 71 9/16" L x 5/8" TH TRIM: NICHIHA MTC0-01 METAL TRIM CORNER KEY 1 1/2" X 1/2" COLOR: CLEAR ANNOXIDIZED	Scott Landi Account Order Manager: P. 618-296-8537 Email: dunktinkdout@nichiha.com Matt Stephenson Project Manager C. 770-789-8228 Email: matstephenson@nichiha.com
	PP-02	FIBER-CEMENT CLADDING	NICHIHA	CHARCOAL FINISH TUFFBLOCK "STEEL" EPF644F	COLOR: "STEEL" SURFACE: STANDARD DIMENSION: 17 7/8" H x 19 5/16" L x 5/8" TH TRIM: NICHIHA REP#244FM COLOR: TUFF BLOCK "STEEL" DIMENSION: 1'-6" F83X 3'-1/2" RETURNS	
	PP-03	NOT USED		WOOD FINISH	SEE FIBER CEMENT LAP SIDING FINISH PS-03	
	PP-04	FIBER-CEMENT CLADDING	NICHIHA	OFF WHITE FINISH ILLUMINATION SERIES: ED680-G09 AWP 1918 SMOOTH	COLOR: "ELDER WHITE" TEXTURE / SURFACE: DIMENSION: 17 7/8" H x 71 9/16" L x 5/8" TH TRIM: NICHIHA RED420-G09	
	PP-05	NOT USED				
	PP-06	NOT USED				
	PP-07	NOT USED				
	PP-08	NOT USED				

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

EXTERIOR METAL PAINTED COATINGS	EXTERIOR METAL PAINTED COATINGS					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
	PC-01	PAINTED COATING	SHERWIN WILLIAMS	MAIN GRAY COLOR	SW 7019 "GAUNTLET GRAY"	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794
		PAINTED COATING	POWDER COAT	MAIN GRAY COLOR	SW 7019 "GAUNTLET GRAY"	
	PC-02	PAINTED COATING	MATTHEWS PAINT	CHARCOAL FINISH	COLOR: MP10269 DARK SLATE FINISH LVS SATIN V2.0	MARK T. WIENER NATIONAL ACCOUNT EXECUTIVE 93 CHURCH ST BARRINGTON RI 02806 M: 617-438-1408 O: 401-245-5176 EMAIL: MARK.T.WIENER@SHERWIN.COM
		PAINTED COATING	SHERWIN WILLIAMS	CHARCOAL FINISH	SW 7069 "IRON ORE"	
		PAINTED COATING	POWDER COAT	CHARCOAL FINISH	SW 7069 "IRON ORE"	
	PC-03	NOT USED				
		NOT USED				
	PC-04	PAINTED COATING	MATTHEWS PAINT	OFF WHITE FINISH	COLOR MATCH PMS COOL GREY 1C MAP ULTRA LOW V.O.C.	
		PAINTED COATING	SHERWIN WILLIAMS	OFF WHITE FINISH	SW 7063 "NEBULOUS WHITE"	
		PAINTED COATING	POWDER COAT	OFF WHITE FINISH	SW 7063 "NEBULOUS WHITE"	
	PC-05	NOT USED				
		NOT USED				
	PC-06	NOT USED	N/A			
		NOT USED	N/A			
	PC-07	PAINTED COATING	SHERWIN WILLIAMS	OFF WHITE FINISH	SW 7063 "NEBULOUS WHITE"	
		PAINTED COATING	POWDER COAT	OFF WHITE FINISH	SW 7063 "NEBULOUS WHITE"	
	PC-08	PAINTED COATING	SHERWIN WILLIAMS	CHARCOAL FINISH	SW 7069 "IRON ORE"	
		PAINTED COATING	POWDER COAT	CHARCOAL FINISH	SW 7069 "IRON ORE"	
	PC-09	PAINTED COATING	SHERWIN WILLIAMS	WALK-IN	SW 7064 "PASSIVE"	
		PAINTED COATING	POWDER COAT	WALK-IN	SW 7064 "PASSIVE"	
EXTERIOR METAL PAINTED COATINGS	PC-10	PAINTED COATING	SHERWIN WILLIAMS	MID-TONE FINISH #2	SW 8255 "MORNING FOG"	
		PAINTED COATING	POWDER COAT	MID-TONE FINISH #2	SW 8255 "MORNING FOG"	
		PAINTED COATING		LINEN WHITE	COLOR MATCH WILSONART PLAM "LINEN" MAP ULTRA LOW V.O.C.	
		PAINTED COATING	POWDER COAT	LINEN WHITE	COLOR MATCH WILSONART PLAM "LINEN" MAP ULTRA LOW V.O.C.	
	PC-12	PAINTED COATING	MATTHEWS PAINT	DO PINK FINISH	COLOR MATCH PMS 219 C COLOR: MP79206 R161426 FINISH: LVS SATIN V1.0 OVER MP55898 WHITE BASE COAT	
		PAINTED COATING	SHERWIN WILLIAMS	DO PINK FINISH	COLOR MATCH PMS 219 C	
		PAINTED COATING	POWDER COAT	DO PINK FINISH	COLOR MATCH PMS 219 C	
	PC-13	PAINTED COATING	MATTHEWS PAINT	DO ORANGE FINISH	COLOR MATCH PMS 165C COLOR: MP79700 R161426 FINISH: LVS SATIN V1.0 OVER MP55898 WHITE BASE COAT	
		PAINTED COATING	SHERWIN WILLIAMS	DO ORANGE FINISH COLOR # 5059990	Blended At Sherwin Williams Product Finishes, Lowell MA Product LVS - Genesis Low VOC Satin GT 1039 Orange Toner 785.97g / 19gal GT 1511 Low VOC Gloss Clear 526.21g / 12gal GT 1043 Autumn Orange 194.04g / .05gal GT 1011 Artic White 137.20g / .02gal GR1088	
		PAINTED COATING	POWDER COAT	DO ORANGE FINISH	COLOR MATCH PMS 165C	



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REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396
IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

MASTER FINISH
SCHEDULES

DATE NOV 19, 2021	PROJ NO 21057
DRAWN BY ZRA	CHECKED BY AH

DRAWING NUMBER

A7.2

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

	WOOD LAMINATE					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
WOOD LAMINATE	WD-01	WOOD LAMINATE		SEE MILLWORK FINISHES PL-01 (C)	OPTIONAL UPGRADE FOR COOL PALETTE ONLY	
	WD-02	NOT USED				
	WD-03	NOT USED				

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

	INTERIOR WALL PAINT					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
INTERIOR PAINT	PT-01 (C)	PAINT	SHERWIN WILLIAMS	LIGHT GREY SW 7071 "ON THE ROCKS"	SHEEN: SATIN / SMOOTHSHELL WALL / SOFFIT PAINT WHERE INDICATED	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794
	PT-01 (W)	PAINT	SHERWIN WILLIAMS	SW 9088 "UTAUIPEIA"	SHEEN: FLAT / SOFFIT PAINT WHERE INDICATED	
	PT-02 (C)	PAINT	SHERWIN WILLIAMS	CHARCOAL SW 7069 "IRON ORE"	SHEEN: FLAT FOR CEILING / SOFFIT; SEMI-GLOSS FOR DOORS AND FRAMES	
	PT-02 (W)	PAINT	SHERWIN WILLIAMS	SW 6005 "FOLKSTONE"	SHEEN: FLAT FOR CEILING / SOFFIT; SEMI-GLOSS FOR DOORS AND FRAMES	
	PT-03 (C)	PAINT	SHERWIN WILLIAMS	OFF WHITE SW 6252 "ICE CUBE"	SHEEN: FLAT FOR CEILING; SEMI-GLOSS FOR DOORS AND FRAMES	MARK T. WEINER NATIONAL ACCOUNT EXECUTIVE 83 CHURCH ST BARRINGTON RI 02806 M: 617-438-1408 O: 401-245-5176 EMAIL: MARK.T.WEINER@SHERWIN.COM
	PT-03 (W)	PAINT	SHERWIN WILLIAMS	SW 9109 "NATURAL LINEN"	SHEEN: FLAT FOR CEILING; SEMI-GLOSS FOR DOORS AND FRAMES	
	PT-04	NOT USED				
	PT-05	NOT USED				

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

	TRAFFIC STRIPING PAINT					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION	VENDOR CONTACTS
TRAFFIC STRIPING PAINT	TP-01	PAINT	SHERWIN WILLIAMS	PRO PARK	"WHITE": B97WD2434	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794
	TP-02	PAINT	SHERWIN WILLIAMS	PRO PARK	"BLUE": B97LD2022	
	TP-03	PAINT	SHERWIN WILLIAMS	PRO PARK	"YELLOW": B97YD2467	
	TP-04	PAINT	SHERWIN WILLIAMS	PRO PARK	"ORANGE": CUSTOM MIX B97YD2467 CCE* COLORANT 02 32 64 128 W1-WHITE - 6 1 - - R4-NEW RED 4 53 1 - - Y3-DEEP GOLD - 06 - 1	MARK T. WEINER NATIONAL ACCOUNT EXECUTIVE 83 CHURCH ST BARRINGTON RI 02806 M: 617-438-1408 O: 401-245-5176 EMAIL: MARK.T.WEINER@SHERWIN.COM
	TP-05	PAINT	SHERWIN WILLIAMS	PRO PARK	"PINK": CUSTOM MIX B97RD2012 CCE* COLORANT 02 32 64 128 W1-WHITE 6 - - - - L1-BLUE - 6 - - -	
	TP-06	NOT USED				

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

	INTERIOR FIBERGLASS REINFORCED PANEL					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
FRP FIBERGLASS PANEL	FRP-01	FIBERGLASS REINFORCED PANELS	CRANE COMPOSITES	GLASBOARD COLOR: 48- PEARL GRAY TEXTURE: EMBOSSED (PEBBLE FINISH)	BOHNITCHEN AREAS NOT IN PUBLIC VIEW	CRANE - KEMLITE COMPOSITES VENDOR CONTACT: JEFF TOLLE P: 1-800-435-0080 OR 1-815-467-8600 OR 1-815-274-9125 (DIRECT) C: 330-260-7527 SALES@CRANECOMPOSITES.COM
	FRP-01 ALT	FIBERGLASS REINFORCED PANELS	MARLITE	COLOR: P151 "LIGHT GRAY" TEXTURE: EMBOSSED (PEBBLE FINISH)	BOHNITCHEN AREAS NOT IN PUBLIC VIEW	
	FRP-01 ALT	NOT USED				
	FRP-03 (C)	FIBERGLASS REINFORCED PANELS	CRANE COMPOSITES	COLOR: 113DCP 4" X 8" PART # 113 DCP8 OR 4" X 10" PART # 113 DCP10	COOL PALETTE - APPROVED FOR BACK LINE WALL IN NEW AND REMODEL RESTAURANTS	CRANE - KEMLITE COMPOSITES VENDOR CONTACT: JEFF TOLLE P: 1-800-435-0080 OR 1-815-467-8600 OR 1-815-274-9125 (DIRECT) C: 330-260-7527 SALES@CRANECOMPOSITES.COM
	FRP-03 (W)	FIBERGLASS REINFORCED PANELS	CRANE COMPOSITES	COLOR: 113DWP 4" X 8" PART # 113 DWP8 OR 4" X 10" PART # 113 DWP10	WARM PALETTE - APPROVED FOR BACK LINE WALL IN NEW AND REMODEL RESTAURANTS	
	FRP-03 ALT	NOT USED				

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

	THIN BRICK					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
THIN BRICK	BR-01	NOT USED				
	BR-02	THIN BRICK	ENDICOTT BRICK		ENDICOTT BRICK (CREATIVE MATERIALS PRODUCT) "MANHATTAN" IRON SPOT" 2.25X7.685 SMOOTH MAPEI ULTRAFLEX LFT #10 "BLACK" OR DF'S-88 GROUT: TYPE S MORTAR BLACK PIGMENT	CONTACT INFORMATION PHONE: 800.207.2907 EXT. 3865 (DUNK) FAX: 518-452-9153 EMAIL: TIM@DUNKINTL.COM DUNKINTL@CREATIVEMATERIALSCORP.COM
	BR-03	NOT USED				

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

	METAL					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
METAL	MT-01	METAL		STAINLESS STEEL - #4 FINISH	FABRICATED ITEMS	
	MT-02	NOT USED				

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

	ALTERNATE INTERIOR FLOOR FINISH					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
ACOUSTICAL PANELS	AP-01	REVERB TILE	NEW ENGLAND SOUND PROOFING	TRADITIONAL SERIES	ACOUSTICAL CEILING TILE TO BE USED @ OPEN CEILING APPLICATION	NEW ENGLAND SOUND PROOFING 40 NORFOLK AVENUE, EASTON, MA, 02375 PHONE: 781-710-1281

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

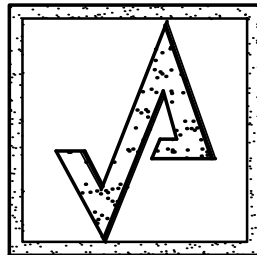
	ALTERNATE INTERIOR FLOOR FINISH					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
EPOXY FLOOR	EXP-01	EPOXY FLOOR	STONHARD EPOXY	STONSHIELD HRI MEDIUM TEXTURE COLOR: GLACIER	APPROVED FOR BEHIND POS FRONT LINE AND KITCHEN AREAS ONLY.	STONHARD EPOXY SCOTT GARSTKA 413-237-9267, sgarstka@stonhard.com

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

	EXTERIOR WALL PAINT					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
EXTERIOR PAINT	PT-01	PAINT	SHERWIN WILLIAMS	MAIN GRAY COLOR	SW 7019 "GAUNTLET GRAY"	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794
	PT-02	PAINT	SHERWIN WILLIAMS	CHARCOAL FINISH	SW 7069 "IRON ORE"	
	PT-03	PAINT	SHERWIN WILLIAMS	WOOD COLOR	SW 6121 "WHOLE WHEAT"	
	PT-04	PAINT	SHERWIN WILLIAMS	OFF WHITE FINISH	SW 7063 "NEBULOUS WHITE"	
	PT-05	NOT USED				MARK T. WEINER NATIONAL ACCOUNT EXECUTIVE 83 CHURCH ST BARRINGTON RI 02806 M: 617-438-1408 O: 401-245-5176 EMAIL: MARK.T.WEINER@SHERWIN.COM
	PT-06	NOT USED				
	PT-07	NOT USED				
	PT-08	NOT USED				
	PT-09	PAINT	SHERWIN WILLIAMS	OR FACTORY FINISH TO MATCH SW COLOR	WALK-IN BOX	SW 7064 "PASSIVE"
	PT-10	PAINT	SHERWIN WILLIAMS	SECONDARY MID-TONE FINISH	SW 6255 "MORNING FOG"	
	PT-11	NOT USED			LINEN WHITE	
	PT-12	PAINT			DD PINK	
	PT-13	PAINT			DD ORANGE	COLOR MATCH PMS 191 C MAP ULTRA LOW V.O.C. COLOR MATCH PMS 165C MAP ULTRA LOW V.O.C.
	PT-14	NOT USED				

SCHEDULE UPDATED 2020/05/06 PER "PROTOTYPE UPDATES" DATED 2020/04/21

	EXTERIOR METAL TRIM					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
EXTERIOR METAL TRIM	TR-01	METAL	TAMLYN	EXTRUDED METAL CHANNEL USED AT TOWER ELEMENT	PINK ACCENT BAND SEE SF03 (PINK)	TAMLYN - XTREME TRIM IAN DANIELS 713-446-3075, idaniels@tamlyn.com OR HORACIO'S SHEET METAL MICHAEL TAVARES P: 508-985-9940, mtave@horacios.com OR AGI RANDY KERR 800-977-3810 EXT. 3248, rkerr@agi.net
	TR-02	METAL	HORACIO			
	TR-03	METAL	AGI			
	TR-04	METAL	TAMLYN	EXTRUDED METAL CHANNEL USED AT TOWER ELEMENT	OFF WHITE ACCENT BAND SEE SF04 (WHITE)	TAMLYN - XTREME TRIM IAN DANIELS 713-446-3075, idaniels@tamlyn.com
	TR-04	METAL	TAMLYN	(XOCLP34) OUTSIDE CORNER TRIM. USED AT TOWER ELEMENT		
	TR-05	METAL	TAMLYN	(XSS18) BOTTOM "STARTER" TRIM. USED AT TOWER ELEMENT		
	TR-06	METAL	TAMLYN	(JMH34) VERTICAL TERMINATION TRIM-TYP. USED AT TOWER ELEMENT	FACTORY FINISH TO MATCH FIBER CEMENT LAP SIDING PS-03	TAMLYN - XTREME TRIM IAN DANIELS 713-446-3075, idaniels@tamlyn.com
	TR-07	METAL	TAMLYN	(JMH716) TOP TRIM USED AT TOWER ELEMENT		
	TR-08	METAL	JAMES HARDIE	JH SURROUND VERTICAL TRIM	FINISH: FACTORY CLEAR ANODIZED 16 GA TRIM AVAILABLE IN 8'-0" LENGTHS, USED WITH JAMES HARDIE REVEAL PANELS.	JEFF HARVEY 774-287-8278 JEFFERY.HARVEY@JAMESHARDIE.COM
	TR-09	METAL	JAMES HARDIE	JH SURROUND HORIZONTAL TRIM	FINISH: FACTORY CLEAR ANODIZED 16 GA TRIM AVAILABLE IN 8'-0" LENGTHS, USED WITH JAMES HARDIE REVEAL PANELS.	
	TR-10	METAL	JAMES HARDIE	JH SURROUND OUTSIDE CORNER TRIM	FINISH: FACTORY CLEAR ANODIZED 16 GA TRIM AVAILABLE IN 8'-0" LENGTHS, USED WITH JAMES HARDIE REVEAL PANELS.	
	TR-11	METAL	JAMES HARDIE	JH SURROUND J-CHANNEL TRIM	FINISH: FACTORY CLEAR ANODIZED 16 GA TRIM AVAILABLE IN 8'-0" LENGTHS, USED WITH JAMES HARDIE REVEAL PANELS. NOTE: CAN BE USED VERTICALLY & HORIZONTALLY @ PENETRATION OR TRANSITION W/ OTHER MATERIALS	
	TR-12	NOT USED				



AHARONIAN
& ASSOCIATES INC.
ARCHITECTS

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REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396
IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

MASTER FINISH
SCHEDULES

DATE NOV 19, 2021	PROJ NO 21057
DRAWN BY ZRA	CHECKED BY AH

DRAWING NUMBER

A7.3

NATIONAL ACCOUNT INFORMATION

FOR COMPLETE NATIONAL ACCOUNTS SOURCE INFORMATION, REFER TO THE DUNKIN' BRANDS NATIONAL ACCOUNT WEB SITE (<http://extranet.dunkinbrands.com/>), TO OBTAIN A USER NAME AND PASSWORD PLEASE CONSULT YOUR LOCAL CONSTRUCTION MANAGER.

CONTRACTOR TO IDENTIFY ONESELF AS WORKING WITH DUNKIN' BRANDS WHEN ORDERING FROM NATIONAL ACCOUNTS.

ACOUSTICAL CEILING TILES & GRIDS

ALL REGIONS
ARMSTRONG WORLD INDUSTRIES
VENDOR CONTACT: MAUREEN CONE
P: 703-384-2101
E: MMCONE@ARMSTRONGCEILINGSS.COM
WWW.ARMSTRONGCEILINGSS.COM

ACOUSTICAL PANELS
NEW ENGLAND SOUND PROOFING
P: 781-710-1261
WWW.NEWENGLANDSOUNDPROOFING.COM

ALLEN INDUSTRIES
VENDOR CONTACT: KEITH WHITLEY
P: 919-410-1234
E: KEITH.WHITLEY@ALLENINDUSTRIES.COM
WWW.ALLENINDUSTRIES.COM

ATM SERVICES
CARDTRONICS
VENDOR CONTACT: TOM SPOONER
P: 888-840-0600 X 14240
E: TSPOONER@CARDTRONICS.COM
WWW.CARDTRONICS.COM

JARRETT SERVICES
VENDOR CONTACT: ERIC JOHNSTONE
P: 1-800-485-0101 X 204
E: SALES@JARRETTFORCASH.COM
WWW.JARRETTFORCASH.COM

AWNING FABRICS AND VINYL

ARLON
VENDOR CONTACT: KEN HUGGINS
P: 714-985-6310
E: KHUGGINS@ARLON.COM
WWW.ARLON.COM

BOLLARD COVERS

IDEAL SHIELD
VENDOR CONTACT:
1-800-731-1722

DENNIS KNITTEL
PHONE: (913)551-2275
DKNITTEL@IDEALSHIELD.COM

BINDU ABRAHAM
PHONE: (913)551-2283
BABRAHAM@IDEALSHIELD.COM
WWW.IDEALSHIELD.COM

COKE COOLERS

COKE
VENDOR CONTACT: CARISSA BRUCE
P: (800) 531-3238 EXT. 3716
E: GABRUCES@COCA-COLA.COM

COMING SOON BANNERS

LSM NOV
P: 1-855-576-6669
E: LSMNOV@WELDMEDIA.COM
WWW.LSMNOV.NET/LOGOINASFAX

DRIVE THRU HEADSETS

3M
VENDOR CONTACT: BILL MUENKEL
P: 782-484-4875
E: MEMUENKEL@MMM.COM
WWW.3M.COM/FOODSERVICE

HME
VENDOR CONTACT: PATRICK KELLY
C: 858-535-6042
E: PKELLY@HME.COM
WWW.HME.COM
DRIVE THRU TIMERS

ACRELEC
SCOTT MARENTAY
P: 412-680-3909

HME
VENDOR CONTACT: PATRICK KELLY
C: 858-535-6042
E: PKELLY@HME.COM
WWW.HME.COM

DRIVE THRU MENU BOARDS

EVERBRITE
VENDOR CONTACT: ANA DOMINGUEZ
P: 414-524-7107
E: ADOMINGUEZ@EVERBRITE.COM
WWW.EVERBRITE.COM

V65
VENDOR CONTACT: ELIOT COHEN
C: 201-528-2122
E: ECOHEN@V65-INC.COM
WWW.V65-INC.COM

HILTON DISPLAYS
VENDOR CONTACT: PRESTON SMITH
P: 865-320-6663
E: PRESTONSMITH@HILTONDISPLAYS.COM
WWW.HILTONDISPLAYS.COM

PERSONA SIGNS
VENDOR CONTACT: SUSAN KOELZER
P: 605-882-2244 X 390
E: SKOELZER@PERSONASIGNS.COM
WWW.PERSONASIGNS.COM

DRIVE THRU WINDOWS

SALES: READY@READY-ACCESS.COM
READY ACCESS
VENDOR CONTACT: KELLY MCSOLDRICK
P: 630-876-7766 EXT. 113
E: KELLY@READY-ACCESS.COM
WWW.READY-ACCESS.COM

QUIKSERV
INSIDE SALES DEPT./ORDER ENTRY
SALES@QUIKSERV.COM
BRANDI LAIRD
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OR
BRANDI LAIRD
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TECHNICAL & PARTS SUPPORT
BRIAN COBLE

NATIONAL ACCOUNTS MANAGER
MADE ARNOLD
1441 BRITTMORE PARK DRIVE
HOUSTON, TX 77041
PHONE: 713-844-5882
FAX: 713-844-5708

DRIVE THRU STENCIL

D65 RETAIL
VENDOR CONTACT: KAREN MCCUE
P: 904-271-1126
E: LUKE.BABEY@RHEEM.COM
WWW.D65RETAIL.COM

PAVEMENT STENCIL COMPANY
P: 800-250-3547
E: STENCILS@PAVEMENTSTENCIL.COM
WWW.PAVEMENTSTENCIL.COM

ELECTRICAL CONTROLS & SWITCHGEAR

VILLA LIGHTING
VENDOR CONTACT: DEANNA MCCLANAHAN
P: 1-800-825-0163
E: DEANNA.MCCLANAHAN@VILLALIGHTING.COM
WWW.VILLALIGHTING.COM

SPECIALTY LIGHTING GROUP
VENDOR CONTACT: ANUSH KAZARIAN & LORRAINE GARIGLIANO
P: 508-422-0786
P: 860-767-0110 X 252
E: ANUSH.KAZARIAN@SSLIGHTING.COM
OR DUNKIN@SSLIGHTING.COM
WWW.SSLIGHTING.COM

EPOXY FLOORING

STONHARD
VENDOR CONTACT: SCOTT GARSTKA
C: 413-237-4267
P: 800-854-0210 OFFICE X-5158
F: 856-321-7512
E: SGARSTKA@STONHARD.COM
WWW.STONHARD.COM

EXTERIOR INSULATED FIBERGLASS SYSTEMS (EIFS)

DRYVIT SYSTEMS
ROBERT DAZAL
C: 734-276-0404
EMAIL: BOB.DAZAL@DRYVIT.COM
WWW.DRYVIT.COM

EXTRUDED METAL CHANNEL & EXTERIOR

ASI
VENDOR CONTACT: RANDY KERR
P: 800-877-3810 EXT.3248
E: RKERR@ASINET.NET

HORACIO'S SHEET METAL
VENDOR CONTACT: MICHAEL TAVARES
P: 508-985-4440
F: 508-985-4465
E: MIKE@HORACIOS.COM
WWW.HORACIOS.COM

TAMLYN - XTREME TRIM
VENDOR CONTACT: IAN DANIELS
P: 713-446-3075
E: IDANIELS@TAMLYN.COM
WWW.TAMLYN.COM

FCB PANELS

NICHIHA
SCOTT LANDI
ACCOUNT ORDER MANAGER
P: 678.246.9537
E: DUNKINDONUTS@NICHIHA.COM

MATT STEPHENSON
NATIONAL COMMERCIAL ACCOUNTS MANAGER
P: 770.805.4466
E: MSTEPHENSON@NICHIHA.COM

FCB SIDING

JAMES HARDIE
JEFF HARVEY
P: 774-287-6278
EMAIL: JEFFERY.HARVEY@JAMESHARDIE.COM

WOODTONE
PAUL ADOLPHE
P: 800.669.9844 X124
EMAIL: PAUL@WOODTONE.COM

FIBERGLASS REINFORCED PANELS (FRP)

MARLITE
VENDOR CONTACT: JAMIE MCEWARD
P: 800-377-1221 OR 603-924-9128
P: 330-343-4668
C: 330-260-7627
E: JMCEWARD@MARLITE.COM
WWW.MARLITE.COM

CRANE - KEMLite COMPOSITES
VENDOR CONTACT: JEFF TOLLE
P: 1-800-485-0080 OR 1-815-467-8600 OR 1-815-274-9125 (DIRECT)
C: 330-260-7627
E: SALES@CRANECOMPOSITES.COM
WWW.CRANECOMPOSITES.COM

HYAC ROOFTOP UNITS

TRANE
VENDOR CONTACT: JONATHAN RALYS
P: 781-305-1335
F: 781-438-8412
E: JONATHAN.RALYS@TRANE.COM
WWW.TRANE.COM

CARRIER CORPORATION
WWW.CARRIER.COM
ORDER MANAGER: CAROL VAVONESE
OFFICE PHONE: 315-432-3254
EMAIL: 'CAROL.J.VAVONESE@CARRIERUTC.COM
EMAIL: 'STRATEGICACCOUNTS2@CARRIERUTC.COM
ACCOUNT GENERAL MANAGER: PAUL NITZ
CELL PHONE: 315-317-2481
EMAIL: 'PAUL.NITZ@CARRIERUTC.COM

SERVICE CONTACT: DEREK BIRDSALL
CELL PHONE: 315-728-2255
EMAIL: 'DEREK.BIRDSALL@CARRIERUTC.COM

BUSINESS MANAGER: ROB ROHDE
OFFICE PHONE: 315-432-3377
EMAIL: 'SCOTT.GILLISPIE@CARRIERUTC.COM

RHEEM MANUFACTURING COMP.

WWW.RHEEM.COM
VENDOR CONTACT: LUKE BABEY
P: 904-271-1126
E: LUKE.BABEY@RHEEM.COM

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FRANCHISEES TO SOURCE LOCALLY

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VENDOR CONTACT: ELIOT COHEN
C: 201-528-2122
E: ECOHEN@V65-INC.COM
WWW.V65-INC.COM

(DIGITAL)

HJC (RAILING)
VENDOR CONTACT: DAVID LIGHTFOOT
P: 877.504.4887 OPTION 2
E: DAVID.LIGHTFOOT@HJCINC.COM

KITCHEN HOODS/EXHAUST SYSTEMS

CAPTIVE-AIRE SYSTEMS
DAVID CRITTENDEN
P: 813-435-3388
E: RE662@CAPTIVEAIRE.COM
WWW.CAPTIVEAIRE.COM

KITCHEN SWINE POOR

ELIASON CORPORATION
VENDOR CONTACT: JOE DUSENBERRY
P: (800) 828-3655
F: (800) 828-3755
E: DOORS@ELIASONCORP.COM

LAMINATES

FORMICA
FOR LOCAL DISTRIBUTOR CALL
KAREN KENNEY
866-573-3512
E: K.KENNEY@FORMICA.COM
REP. JEAN MARIE REMICK
C: (781) 235-4165
C: (617) 217-8146
JEANMARIE.BISSON@FORMICA.COM WWW.FORMICA.COM

WILSONART

FOR ORDERS CALL
800-433-3222 FOR A LOCAL DISTRIBUTOR.
REPRESENTATIVE: AMY MORSENECK
P: 917.951.6524
E: MORSENA@WILSONART.COM

LIGHTING FIXTURES: INTERIOR & EXTERIOR

VILLA LIGHTING
VENDOR CONTACT: DEANNA MCCLANAHAN
P: 1-800-325-0463
E: DEANNA.MCCLANAHAN@VILLALIGHTING.COM
WWW.VILLALIGHTING.COM

SPECIALTY LIGHTING GROUP
VENDOR CONTACT: ANUSH KAZARIAN & LORRAINE GARIGLIANO
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P: 860-767-0110 X 252
E: ANUSH.KAZARIAN@SSLIGHTING.COM
OR DUNKIN@SSLIGHTING.COM
WWW.SSLIGHTING.COM

MILLWORK/EQUIPMENT CONSOLIDATOR

QUALSERV
VENDOR CONTACT: HEATH HAYDON
P: 474-420-0249
E: HHAYDON@QUALSERV.CORP.COM
WWW.QUALSERV.CORP.COM

HOCKENBERGS
VENDOR CONTACT: TOM NEMMERS
P: 413-526-4816
E: TOMN@HOCKENBERGS.COM
WWW.HOCKENBERGS.COM

CONCEPT SERVICES

VENDOR CONTACT: CHRIS PARNELL
P: 512-343-3100
E: CPARNELL@CONCEPTSERV.COM

MILLWORK FABRICATOR

HOMELAND BUILDERS
VENDOR CONTACT: BRIAN RIBEIRO
P: 508-677-0401 X 221
E: BRIANR@HOMELANDBUILDERS.COM
WWW.HOMELANDBUILDERS.COM

HORACIO'S SHEET METAL

VENDOR CONTACT: MICHAEL TAVARES
P: 508-985-4440
F: 508-985-4465
E: MIKE@HORACIOS.COM
WWW.HORACIOS.COM

NEXTGEN "D" DOOR HANDLES:

TRIMCO
VENDOR CONTACT:
P: 323.262.4191 X 2
E: CSR@TRIMCOHARDWARE.COM

OLD STYLE "D" DOOR HANDLES:

MICHAEL HEALY DESIGNS
VENDOR CONTACT: NATASHA DURAND
P: 1-800-995-0988
E: CUSTOMERSERVICE@MICHAELHEALY.COM

OUTSIDE FURNITURE (LIGHT WEIGHT)

KEY OFFICE INTERIORS
ACCOUNT MANAGER: DOUGLAS BUMSTEAD
P: 251-491-1516
P: 617-439-0322
E: DUNKINORDERS@KEYOFFICEINTERIORS.COM

UMBRELLAS:

EAST COAST UBERLLAS

VENDOR CONTACT: NICOLE MASON
P: 910-462-2500 X 1223
E: UMBRELLAS@EASTCOASTUMBRELLA.COM

TUCCI

VENDOR CONTACT: TAMMY LENHAM
P: 305-314-6881
E: TLENHAM@TUCCI.COM

PATIO

FLORIDA SEATING
VENDOR CONTACT: ERROL ROSARIO
P: 727-540-9802
E: ERROL@FLORIDASEATING.COM

HJC (RAILING)

VENDOR CONTACT: DAVID LIGHTFOOT
P: 877.504.4887
E: DAVID.LIGHTFOOT@HJCINC.COM

PAINT

SHERWIN WILLIAMS
MARK T. WEINER
NATIONAL ACCOUNT EXECUTIVE
43 CHURCH STREET
BARRINGTON, RI 02806
P: 800-474-3794
O: 781-245-5176
M: 617-438-1408
EMAIL: JAMES.COOLEY@SHERWIN.COM

P&G CLEANING AND SANITATION PROGRAM

PROCTOR & GAMBLE
VENDOR CONTACT: CARLA EVANS
P: 513-483-4599
E: EGCINGINNATI.M@PG.COM
WWW.PG.COM

PIVOTING CANOPY AT DRIVE-THRU

SPEAKER & CLEARANCE BAR
UNI-STRUCTURES, INC.
VENDOR CONTACT: DANA MCDUGAL
C: 678.974.1773
E: D.MCDUGAL@UNISTRUCTURES.COM
WWW.UNISTRUCTURES.COM

DT/ENTRANCE CANOPY & ORANGE BAND

HORACIO'S SHEET METAL
VENDOR CONTACT: MICHAEL TAVARES
P: 508-985-4440
F: 508-985-4465
E: MIKE@HORACIOS.COM
WWW.HORACIOS.COM

ALTERNATE:

UNI-STRUCTURES, INC.
VENDOR CONTACT: DANA MCDUGAL
C: 678.974.1773
E: D.MCDUGAL@UNISTRUCTURES.COM
WWW.UNISTRUCTURES.COM

POS (BR)

PAR
VENDOR CONTACT: JAMES GILLETTE
P: 1-800-448-6505 X 6479
E: AMY.GILLETTE@PARTECH.COM
WWW.PARTECH.COM

POS (DP AND DP/BR)

RADIANT
VENDOR CONTACT: NANCY COOPER
P: 770-294-6881
E: NANCY.COOPER@NCR.COM
SALES@RESTROOMREMODELS.COM

PRICE CONFIRMATION DISPLAY/SCANNERS

RADIANT
VENDOR CONTACT: NANCY COOPER
P: 770-294-6881
E: NANCY.COOPER@NCR.COM
RADIANTORDERS@NCR.COM

RESTROOM FIXTURES AND ACCESSORIES

NEWTON DISTRIBUTORS
VENDOR CONTACT: PEDRO GRULLON
P: 877-897-7745
E: PEDRO@NEWTONDISTRIBUTING.COM
WWW.NEWTONDISTRIBUTING.COM

TOILET ROOM FIXTURES

RESTROOM REMODELS
15 HAMMATT ST.
PO BOX 34
IPSWICH, MA 01938
PHONE: 617-500-2554
FAX: 617-845-0350

WWW.RESTROOMREMODELS.COM
SALES@RESTROOMREMODELS.COM

ROOFING:

DURO-LAST ROOFING
VENDOR CONTACT: JIM SCHRIEBER
P: 800-248-0280 X 2257
E: JSCHRIEBER@DURO-LAST.COM OR
CORPORATEACCOUNTS@DURO-LAST.COM

SALES AREA SERVICE/PREP, AREA FLOOR & WALL

TILES
DAL TILE
VENDOR CONTACT: PAULA TOSTI
P: 978-835-7743
E: PAULA.TOSTI@DALTILE.COM
WWW.DALTILEPRODUCTS.COM
ALL INQUIRIES MUST MENTION THE NATIONAL ACCOUNT
WITH DUNKIN BRANDS
PHONE: 877-556-5728
EMAIL: NATIONALACCOUNTS@DALTILE.COM
DBI REP : PAULA TOSTI

CREATIVE MATERIALS
CONTACT INFORMATION
P: 800.207.2967 EXT. 3865 (DUNK)
F: 518-452-4153
EMAIL: DUNKINTILE@CREATIVEMATERIALSCORP.COM
WWW.CREATIVEMATERIALSCORP.COM

SECURITY PGI COMPLIANCE/ WIFI

COMCAST
DBL_COMCAST_ORDERING@COMCAST.NET
OR
ROSE VAZQUEZ
P: 508-314-7545
ROSE_VAZQUEZ@COMCAST.COM

SIGN MANUFACTURER

ALLEN INDUSTRIES
VENDOR CONTACT: KEITH WHITLEY
P: 919-410-1234
E: KEITH.WHITLEY@ALLENINDUSTRIES.COM
WWW.ALLENINDUSTRIES.COM

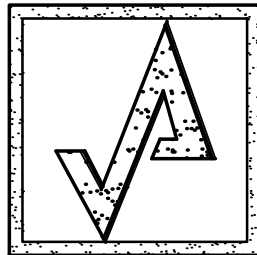
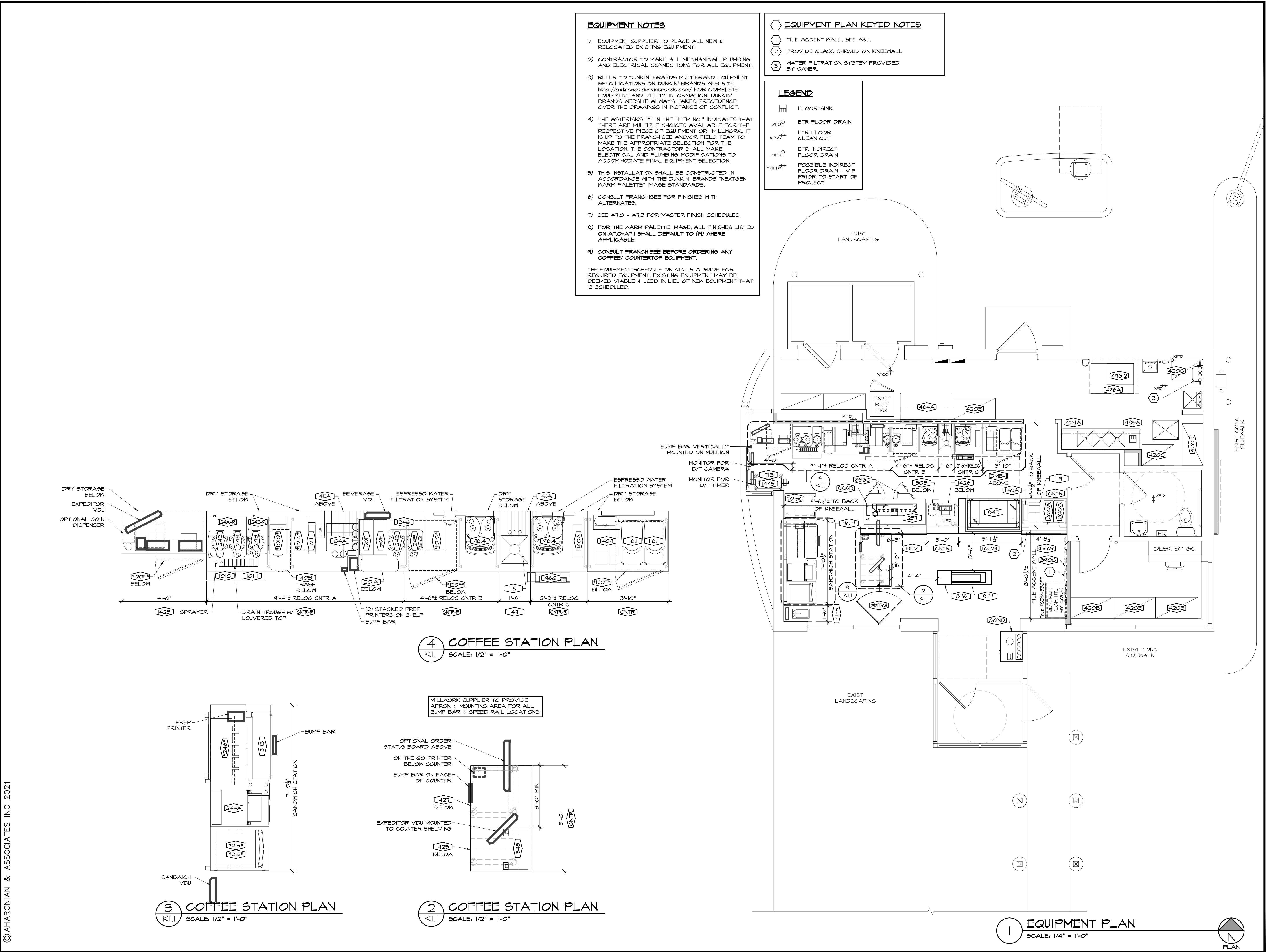
DASCO

VENDOR CONTACT: SCOTT STANTON
P: 207-477-2456
E: SCOTT@DASCOSIGNS.COM
WWW.DASCO-SIGNS.COM

EVERBRITE

VENDOR CONTACT: ANA DOMINGUEZ
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HILTON DISPLAY



AHARONIAN
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REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396

IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

**EQUIPMENT
PLAN**

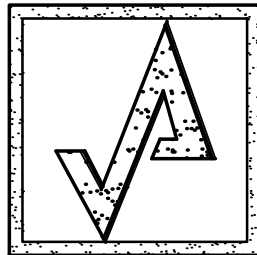
DATE NOV 19, 2021 PROJ NO 21057

DRAWN BY JAA CHECKED BY AH

DRAWING NUMBER

K1.1

EQUIPMENT SCHEDULE						ELECTRICAL					
ITEM NO	QTY	DESCRIPTION	MANUFACTURER	MODEL NO	REMARKS	LOAD		CORD	RECEPT	REMARKS	
						VOLTS	AMPS	CB			
BEV	1	TAPS STATION MILLWORK	MILLWORK SUPPLIER								
BEV CST	1	BEVERAGE STATION MILLWORK	MILLWORK SUPPLIER		SEE PLAN FOR DIMENSIONS - FINISH TO MATCH IMAGE						
CNTR	4	CUSTOM STAINLESS STEEL COUNTERS - SEE PLAN FOR DIMS	MILLWORK SUPPLIER								
CNTR-R	3	RELOCATED EXISTING STAINLESS STEEL COUNTERS - SEE PLAN FOR DIMS			RELOCATED EXISTING						
COND	1	NEXTGEN CONDIMENT / TRASH UNIT	MILLWORK SUPPLIER	DWS #COND	39" CONDIMENT STATION - FINISH TO MATCH IMAGE						
DMB-I	4	DIGITAL MENU BOARDS	SAMSUNG	PM49H	49" LED MENU BOARD	**	**	**		**VERIFY ALL ELECT REQTS W/ MANUF	
FCB CST	1	FRONT CASE BAKERY	MILLWORK SUPPLIER		TO ACCOMMODATE (1) 4 TIER x 5 WIDE FRONT LINE BAKERY CASE						
40B	1	TRASH RECEPTACLE	RUBBERMAID	3541							
41-R	1	EXISTING HAND SINK w/ SPLASH GUARDS			REINSTALLED / RELOCATED EXISTING HAND SINK						
45A	2	WALL MOUNT DRAIN SHELF	METRO	1424NK3							
49	1	18"W X 34"D DUMP SINK w/ 12" SPLASH GUARDS	UNIVERSAL	DD-18CBT34-001							
50B	1	TRASH RECEPTACLE	RUBBERMAID	TBD							
50F	2	FOUR SECTION VERTICAL WIRE RACK CUP ORGANIZER	DISPENSE-RITE	WR-GT-4							
705C	1	BAKERY DISPLAY RACK (12 BASKETS)	VULCAN	1018021-0001064		120V		20A/1P	YES	5-15R	
70.7	1	REMOVABLE TISSUE BAG AND BOX HOLDER	VULCAN	1014178							
84B	1	4TIER x 5WIDE FRONT LINE BAKERY CASE	MIDDLEBY FABRICATION	DD4T5WTRLY		**	**	**	**	**VERIFY ALL ELECT REQTS W/ MANUF	
96.4	2	COFFEE ART TOUCH ESPRESSO MACHINE	SCHAEFER	040381-00022EU5		208V	30A	30A/2P	YES	L6-30R	
96Q	1	ESPRESSO SPEED RAIL	WIREFAB	WF 33801							
101C	0	DAIRY DISPENSER	AC DISPENSING	320-FF-7		120V	3.0	15A/1P	YES	5-15R	
	0	DAIRY DISPENSER	TAYLOR	CO05		115V	2.2	15A/1P	YES	5-15R	
	2	DAIRY DISPENSER	SILVER KING	5KEGD12-V3-I-KE1		120V	1.8	15A/1P	YES	5-15R	
101G	1	20" SPEED RAIL FOR LIDS	MICROWIRE	AD-HLDR-2							
101H	1	18" SUGAR/TEA BAG/ STIRRER HOLDER	MICROWIRE	AD-SH-1							
101L	1	MULTI-SWEETENER DISPENSER	AC DISPENSING	AC2-6P-5		120V	.5A	15A/1P	YES	5-15R	
101Q	0	DUAL HOPPER COFFEE GRINDER	GURTS	DHG-10-Q20		V1F	V1F	V1F	V1F	VERIFY ELEC REQTS W/ MANUF	
	1	MULTI HOPPER COFFEE GRINDER	BUNN-O-MATIC	35600.0041		120V	11.0	15A/1P	YES	5-15R	
104A	1	PUMP / SWIRL STATION	WIREFAB	WF35522							
116.1	2	MAGNABLEND BLENDER / ISLAND OASIS	TAYLOR	5B2412-MDD		115V	10	15A	YES	5-15R	
118	1	SINK MOUNT RINSE-O-MATIC	VITA-MIX	1442							
119	1	HOT CHOCOLATE MACHINE	BUNN	38600.0051		120/208	20	20A/1P	YES	L14-20P	
120F	3	27 1/4"W X 21 3/4"D UNDERCOUNTER REFRIGERATOR W/ CASTERS	DELFIELD	406-CA-DHR	RIGHT HAND HINGE	115V	7.0	20A/1P	YES	5-15R	
	0	27 1/4"W X 21 3/4"D UNDERCOUNTER REFRIGERATOR W/ CASTERS	DELFIELD	406-CA-DHL	LEFT HAND HINGE	115V	7.0	20A/1P	YES	5-15R	
	0	27"W X 30 1/2"D UNDERCOUNTER REFRIGERATOR W/ CASTERS	VICTORY	UR-27-SST-AD	DOOR CAN BE RE-HINGED IN FIELD	115V	5.6	20A/1P	YES	5-15R	
124A-R	1	RELOC EXISTING TWIN SH BREWER			RELOCATED EXISTING	V1F	V1F	V1F	V1F	VERIFY ELEC REQTS W/ MANUF	
124B	5	1.5 GAL SH SERVER	BUNN-O-MATIC	21850.0209							
124E-R	1	RELOC EXISTING SINGLE SH BREWER			RELOCATED EXISTING	V1F	V1F	V1F	V1F	VERIFY ELEC REQTS W/ MANUF	
124G	1	TWIN SH STAND w/ W/FI	BUNN-O-MATIC	21875.0201		120V	1.8	15A/1P	YES	5-15R	
140A	2	DOME LID DISPENSER	DISPENSE RITE	WR-4							
171B	1	DRIVE-THRU STAGING MAT	TRYAD	21							
200A	2	ICED COFFEE BREWER IC3-DD	BUNN-O-MATIC	IC3-DBC 45100.0000		120/208	19.5	30A/2P	YES	L14-30R	
201A	1	ICE CADDY	CAMBRO	IC5100L151							
215	2	CONVECTION OVEN	TURBOCHEF BULLET OVEN	ENC-4600-640-30EM		208/240	30.0	30A/2P	YES	6-30R	
	261	CONVECTION OVEN	ACP XPRESSCHEF OVEN	MXP22TLT		208/240	21.4	30A/2P	YES	6-30R	
244A	1	DOUBLE LANE TOASTER	HATCO	1TG-1T50-2G-DD		208/240		30A/2P	YES	6-30R	
246A	1	SINGLE SIDED HOT HOLDING UNIT	CARTER-HOFFMAN	MZ3435-DD		120V	15.0	20A/1P	YES	5-20R	
	1	SINGLE SIDED HOT HOLDING UNIT	PRINCE CASTLE	DHB3PT-33DD		208/240		15A/1P	YES	6-15R	
251	1	8-TAP BEVERAGE DISPENSING SYSTEM	MICROMATIC	MMDD8TAPV1		115V	6.5	15A/1P	YES	5-15R	
242EESGH	1	HAND OFF SWING GATE	SENNEGA / ELIASON	SCPCF-(LH/RH)38DD6						VERIFY ALL ELEC REQTS W/ MANUF.	
345	1	OMO 25" SHELVEING UNIT	WIREFAB INC.	WF31038							
375	1	DD AFOD 44" STATION HYBRID	DUKE		STATION A - PURCHASE ALL PANS & ACCESSORIES AS REQ'D STATION B - PURCHASE ALL PANS & ACCESSORIES AS REQ'D	115	10.4		5-15R	VERIFY ALL ELEC REQTS W/ MANUF	
420B	5	24" X 48" SHELVEING	METRO	2448BR	ORDER 5 SHELVES PER UNIT	120	3.1		5-15R	VERIFY ALL ELEC REQTS W/ MANUF	
420C	2	24" X 36" SHELVEING	METRO	2436BR	ORDER 5 SHELVES PER UNIT						
424A	1	THREE COMPARTMENT SINK	UNIVERSAL	DD-3N1818142D185/TSB-133-B/TSB-156	SEE PLUMBING DWGS FOR ACCESSORIES						
435A	1	90" SINK TRAX SHELVEING WORKSTATION	ISS	MST1435E							
464A	1	60"x30" SS WORKTABLE w/ BACKSPLASH & OVERSHELF	UNIVERSAL	DD-55LSB30-05G12		**	**	**	**	**VERIFY ALL ELECT REQTS W/ MANUF	
466.2	1	ICE MACHINE 1248LB/24HR CAPACITY	HOSHIZAKI AMERICA	KM1301SAH3		208/230	9.5	20A/1P		MUST BE HARD WIRED IN FIELD	
496A	1	ICE BIN 550 LB CAPACITY	HOSHIZAKI AMERICA	B-7005F							
876	1	SQUARE MERCHANDISER	SPECTAS	1912-369							
877	1	WATERFALL MERCHANDISER	SPECTAS	2002-043							
886B	1	MIXER CUP STATION	WIREFAB	WF3589T							
886C	2	LARGE LID RACK	WIREFAB	WF358T3							
890C	1	"LOCATION RUNS ON DUNKIN" 60"W	D&S RETAIL	DD-N6-TN	FOR WALL SIZES 68"W OR LARGER						
917	1	ALL IMAGE KIT #1 - D/T (17 PIECES)	LANE PRINTING	DD-0170							
1409	1	PUMP & POWDER RACK	WIREFAB	WF36260							
1423	1	48" D/T CASH CART	METRO	DD2448CS							
1425	1	30" UNDERCOUNTER CART	METRO	DD2430CLC							
1426	1	24" UNDERCOUNTER POS CART	METRO	DD2424POS							
1427	1	24" UNDERCOUNTER HOS CART	METRO	DD2424OT6							
1445	1	DT STAGING CART W/ OMO SHELVEING	METRO	DD-DT300MO							



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REVISIONS

△ NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396

IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

EQUIPMENT
SCHEDULE

DATE NOV 19, 2021	PROJ NO 21057
DRAWN BY JAA	CHECKED BY AH

DRAWING NUMBER

K1.2

EQUIPMENT PIPING SCHEDULE									
ITEM NO	FIXTURE	DESCRIPTION	WATER		WASTE		REMARKS		
			HA	GA	FOA	DIR			
CNTR-R		COFFEE STATION			*	*	* RELOCATED EXIST - VERIFY SIZES IN FIELD		
41-R	P-2	HAND SINK	*	*	*	*	* RELOCATED EXIST - VERIFY SIZES IN FIELD		
44	P-3	DUMP SINK	1/2"	1/2"		2"			
96.4		ESPRESSO MACHINE			3/8"	1"	PROVIDE PRESSURE REDUCING VALVE & WATER SHUT-OFF VALVE w/ 3/8" COMPRESSION FITTING		
116.1		ISLAND OASIS BLENDER			3/8"	1"	(1) WATER CONNECTIONS REQUIRED		
119		HOT CHOCOLATE MACHINE			1/4"		20-100 PSI, MACHINE SUPPLIED WITH A 1/4" MALE FLARE FITTING		
124A-R		TWIN SH BREWER			*		* RELOCATED EXIST - VERIFY SIZES IN FIELD		
124E-R		SINGLE SH BREWER			*		* RELOCATED EXIST - VERIFY SIZES IN FIELD		
200A		ICED COFFEE BREWER			1/2"		20-40 PSI, MACHINE SUPPLIED WITH 1/4" OD MALE FLARE FITTING		
257		8 TAP SYSTEM			*	*	*COORDINATE w/ MANUFACTURER SPECIFICATIONS - SEE 2/PI.2		
424A	P-6	3-BAY SINK	3/4"	3/4"	3"	2"			
496.2		ICE MACHINE	**1/2"			3/4"			
	P-1	FLOOR SINK			3"	2"			
	P-4	REINSTALLED EXIST TOILET	*	*	*	*	* RELOCATED EXIST - VERIFY SIZES IN FIELD		
	P-5	GREASE TRAP			3"	2"			

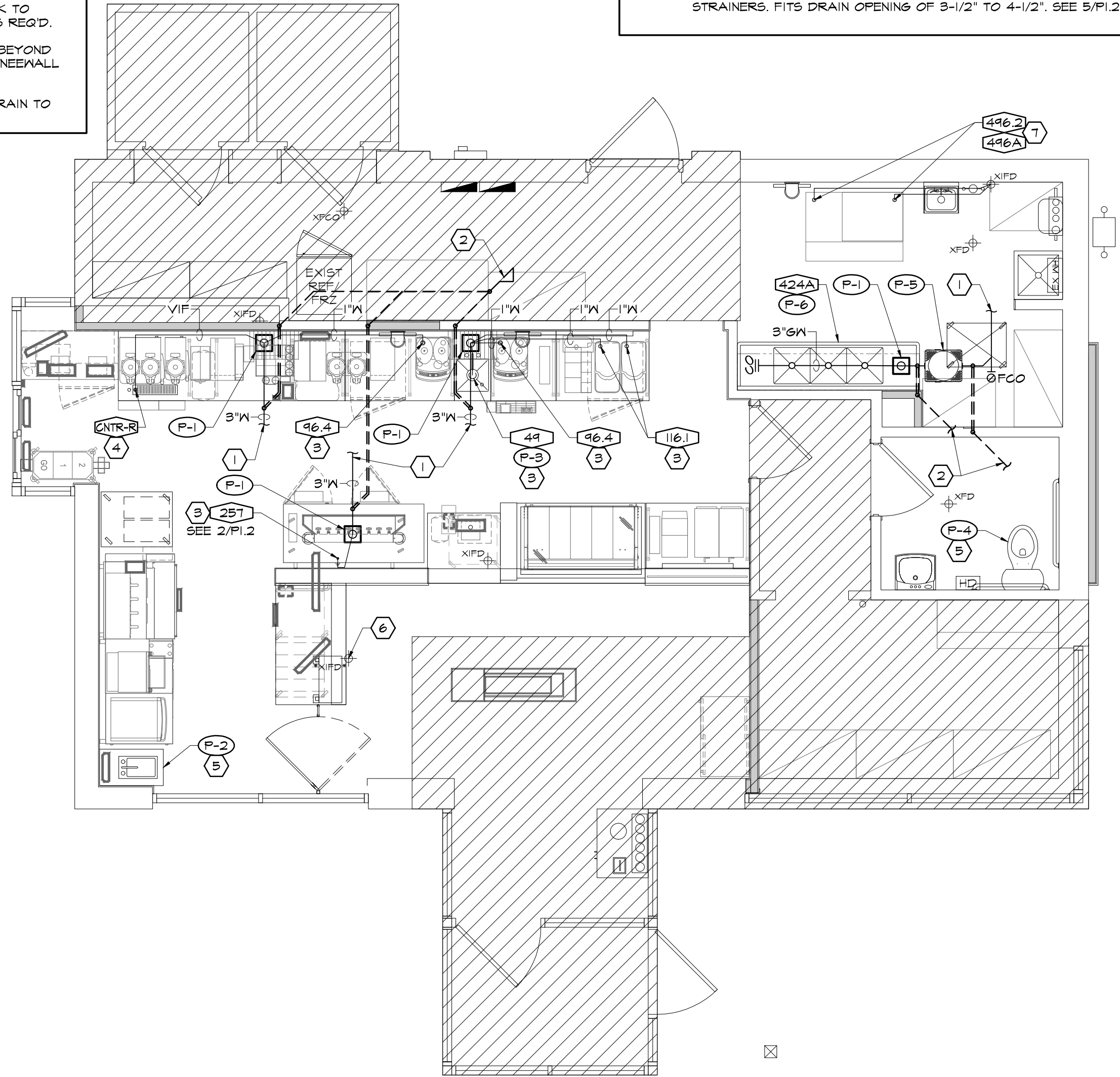
** COLD WATER PIPING CONNECTED TO SEPARATE ICE MACHINE WATER FILTRATION SYSTEM.

LEGEND			
C	ELBOW DOWN	— GN —	GREASE WASTE PIPING
O	ELBOW UP	—	WASTE PIPING
◻	REQUIRED WASTE IN FLOOR SLAB. CONTRACTOR TO VERIFY LOCATIONS OF EXIST DRAINS & USE EXIST WHERE POSSIBLE	- - - -	VENT PIPING
		= = = =	UNDERSLAB VENT PIPING
			XIFD ETR INDIRECT FLOOR DRAIN
			XFD ETR FLOOR DRAIN
			XFCO ETR FLOOR CLEANOUT
			FCO FLOOR CLEANOUT
			CO CLEANOUT
			GN GREASE WASTE LINE
			W WASTE LINE
			XIFD POSSIBLE EXISTING INDIRECT FLOOR DRAIN - VIF IF EXISTS PRIOR TO START OF PROJECT.

- PLUMBING NOTES**
- ALL PIPING SHOWN DETERMINED BY CAREFUL COORDINATION WITH OTHER TRADES. ROUTING SHALL BE SUBJECT TO THE ARCHITECT'S APPROVAL. ANY WORK PERFORMED BY THIS CONTRACTOR THAT INTERFERES WITH WORK BY OTHERS AND WAS NOT FIRST COORDINATED SHALL BE REMOVED AND RELOCATED AT THE PLUMBING CONTRACTOR'S EXPENSE.
 - REFER TO EQUIPMENT SCHEDULE AND EQUIPMENT SPECIFICATIONS FOR EXACT LOCATIONS & REQUIREMENTS OF PLUMBING CONNECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES AND THE PLACEMENT OF ALL PLUMBING EQUIPMENT PRIOR TO THE START OF HIS WORK. NO EXTRAS WILL BE ALLOWED DUE TO EQUIPMENT LOCATION CHANGES FROM THAT SHOWN ON THE DRAWINGS.
 - PLUMBING CONTRACTOR SHALL SECURE AND PAY FOR ALL REQUIRED PERMITS AND ARRANGE ALL REQUIRED INSPECTIONS. ALL UTILITY WORK, INCLUDING TEMPORARY SHUT DOWN OF SERVICES SHALL BE COORDINATED WITH THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
 - IT IS THE INTENT THAT THE WORK SHALL BE COMPLETE IN EVERY ASPECT AND THAT ANY MATERIAL OR WORK NOT SPECIFICALLY MENTIONED OR SHOWN ON THE DRAWINGS BUT NECESSARY TO FULLY COMPLETE THE WORK SHALL BE PROVIDED.
 - ALL WORK SHALL COMPLY AND BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND AUTHORITIES HAVING JURISDICTION AND DUNKIN' DONUTS MINIMUM REQUIREMENTS. IN ALL CASES, THE MOST STRINGENT SHALL APPLY.
 - PROVIDE ALL NECESSARY VALVES, TRAPS AND ANY CONTROL DEVICES REQUIRED FOR PROPER COMPLETION OF UTILITY PIPING.
 - ALL WASTE & VENT PIPING SHALL BE STD WEIGHT HUB & SPIGOT CAST IRON PIPE w/ NEOPRENE GASKET FITTINGS. ALL PIPING SHALL BE PROPERLY PITCHED IN THE DIRECTION OF FLOW. P.V.C. PIPING & FITTINGS MAY BE SUBSTITUTED IN PLACE OF CAST IRON WHENEVER PERMITTED BY CODE, THE LOCAL AUTHORITY HAVING JURISDICTION & THE OWNER.
 - ALL PIPING AND EQUIPMENT SHALL BE PROPERLY SUPPORTED FROM THE STRUCTURE.
 - PROVIDE SHUT-OFF VALVES AT ALL FIXTURES AND ON HOT AND COLD WATER PIPING AT WATER HEATER.
 - PROVIDE BACKFLOW PREVENTERS IN WATER LINES AS REQUIRED BY LOCAL REGULATORY AUTHORITIES.
 - DOMESTIC WATER PIPING SHALL BE INSULATED WITH A MINIMUM OF 1/2" FIBERGLASS INSULATION HAVING A VAPOR BARRIER JACKET WITH SEALED JOINTS.
 - ALL WATER PIPING SHALL BE CONCEALED WITHIN A WALL OR PIPE CHASE EXCEPT FOR THOSE CHROME PLATED PORTIONS THAT ARE REQUIRED TO MAKE FINAL CONNECTIONS TO PLUMBING FIXTURES.
 - ALL WATER SUPPLY PIPING TO FIXTURES OR GROUPS OF FIXTURES MUST INCLUDE WATER HAMMER ARRESTOR'S, SIZED IN ACCORDANCE WITH P.D.I. STANDARDS. AIR CHAMBERS WILL BE ALLOWED AS AN ACCEPTABLE ALTERNATE.
 - PROVIDE CHROME PLATED ESCUTCHEONS WHERE PIPES PENETRATE FLOORS, WALLS OR CEILINGS.
 - CONDENSATE DRAINS SHALL BE HUB DRAINS, FLOOR DRAIN WITH OPEN FUNNEL TYPE OR FLOOR SINK WITH INTEGRAL TRAP.
 - ALL CONDENSATE DRAIN LINES FROM EQUIPMENT TO DRAIN LOCATIONS SHALL BE P.V.C.
 - ALL EQUIPMENT WILL BE FURNISHED WITH TRIM, FAUCETS, ESCUTCHEONS, ETC. PLUMBING CONTRACTOR SHALL PROVIDE ALL ROUGH-IN TRAPS AND MAKE ALL FINAL CONNECTIONS. SEE EQUIPMENT SCHEDULE.
 - PLUMBING CONTRACTOR SHALL PROVIDE ALL PIPE HANGERS, AND SUPPORTS IN ACCORDANCE WITH THE LOCAL APPLICABLE CODES.
 - PLUMBING CONTRACTOR TO PROVIDE TRAP PRIMERS OR TRAP SEAL ON ALL FLOOR DRAINS AS PER APPLICABLE CODE.
 - PLUMBING CONTRACTOR SHALL REPAIR ALL CONSTRUCTION AND FINISHES DAMAGED DURING INSTALLATION OF PLUMBING SUPPLY/ WASTE LINES AND ALL PLUMBING FIXTURES TO LIKE NEW CONDITION.
 - ENTIRE INSTALLATION SHALL BE GUARANTEED FREE OF DEFECTS AND CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DEFECTIVE MATERIALS OR EQUIPMENT AT NO COST TO THE OWNER FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY ARCHITECT.
 - ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT / OWNER.
 - PLUMBING CONTRACTOR SHALL PROVIDE AERATORS ON ALL HAND SINKS AND LAVATORIES THROUGHOUT THE FACILITY.
 - CONTRACTOR SHALL REFER TO ALL DEMO, ARCHITECTURAL & ENGINEERING DRAWINGS FOR FULL EXTENT OF SCOPE OF WORK.

- PLUMBING SPECIFICATIONS**
- INTERIOR DOMESTIC WATER PIPING**
- PIPE: COPPER TUBE, ASTM B88, TYPE K OR L, DRAIN, FOR PIPE 6 INCHES AND LARGER, STAINLESS STEEL ASTM A312, SCHEDULE 10 MAY BE USED.
 - FITTINGS FOR COPPER TUBE:
 - WROUGHT COPPER OR BRONZE CASTINGS CONFORMING TO ANSI B16.18 AND B16.2
 - UNIONS SHALL BE BRONZE, FED SPEC MM-U- 516, SOLDER OR BRAZE JOINTS.
 - ADAPTERS, PROVIDE ADAPTERS FOR JOINING SCHEDULED PIPE TO COPPER TUBING.
 - SOLDER: ASTM B32 COMPOSITION SB5 HA OR HB. PROVIDE NONCORROSIVE FLUX.
- TRAPS**
- PROVIDE ON ALL SANITARY BRANCH WASTE CONNECTIONS FROM FIXTURES OR EQUIPMENT NOT PROVIDED WITH TRAPS.
 - EXPOSED BRASS SHALL BE POLISHED BRASS CHROMIUM PLATED WITH NIPPLE AND SET SCREW ESCUTCHEONS.
 - CONCEALED TRAPS MAY BE ROUGHCAST BRASS OR SAME MATERIAL AS PIPE CONNECTED TO IT.
 - SLIP JOINTS NOT PERMITTED ON SEWER SIDE OF TRAP.
 - TRAPS SHALL CORRESPOND TO FITTINGS, AND SIZE SHALL BE AS REQUIRED BY CONNECTED SERVICE OR FIXTURE.

- KEYED PLAN NOTES**
- SANITARY WASTE LINE TIED TO EXISTING.
 - VENT PIPING TIED TO EXISTING.
 - CONNECT EQUIPMENT DRAIN TO FLOOR SINK.
 - CONNECT COFFEE STATION DRAIN TROUGH TO FLOOR SINK.
 - CONNECT FIXTURE BACK TO EXIST WASTE PIPING AS REQ'D.
 - CAP *XIFD* IF EXISTS BEYOND FRONT OF MILLWORK KNEEWALL @ SALES AREA SIDE.
 - CONNECT EQUIPMENT DRAIN TO XIFD.



- PLUMBING FIXTURE SPECIFICATIONS**
- P-1 FLOOR SINK**
JOSAM MANUFACTURING CO., SERIES No. 44900 W/ HALF GRATE, NICKALLOY TOP AND SEDIMENT BUCKET (3" PIPE). SEE 6/PI.2
- P-2 HAND SINK**
REINSTALLED EXISTING HAND SINK
- P-3 DUMP SINK**
STAINLESS STEEL DUMP SINK SUPPLIED BY MILLWORK SUPPLIER W/ DROP-IN INK BOWL & BULLET FEET. PROVIDE ENCORE KN41-4006 4" DECK FAUCET W/ SINKS SROUT, 3/8" CHROME SUPPLIES W/ ANGLE STOPS, ADJUSTABLE 1" BRASS TRAP TO SUIT DRAIN, TUBING DRAIN TO WALL, 1 1/4" IN INLET, 1 1/2" OUTLET, ESCUTCHEON - CHROME FINISH.
- P-4 TOILET**
REINSTALLED EXISTING TOILET
- P-5 GREASE REMOVAL SYSTEM**
JOSAM, MODEL NO. 60106-SA-RT SEMI-AUTOMATIC RECESSED POINT SOURCE GREASE TRAP REMOVAL SYSTEM W/ FLOW CONTROL VALVE 25 GPM, FLUSH FLOOR COVER, REMOVABLE BUCKET & TWIST LOCK HANDLE. 50+ POUNDS GREASE RETENTION CAPACITY. TOP OF COVER SHALL BE FLUSH W/ FLOOR FINISH, EPOXY COATED STEEL.
- P-6 3 BAY SINK**
THREE COMPARTMENT SINK SUPPLIED BY MILLWORK SUPPLIER. BOWLS 18"X18"X14"D, (2) 18" DRAIN BOARDS, (3) TWIST HANDLE LEVER DRAINS, T45 PRE-RINSE WALL MOUNT UNIT (INCLUDES BRACKET) WITH ADD-A-FAUCET 12" SPIGOT TO SHIP WITH 3 BAY SINK. EACH COMPARTMENT TO HAVE KOHLER No. 8801 BRASS WASTE OUTLET, CHROME PLATED, SATIN FINISH, WITH A 3-1/2" DIAMETER STAINLESS STEEL, PERFORATED, FLUSH STRAINER PLATE, THREADED FOR CONNECTION TO A 2" DRAIN LINE.
- FITTINGS SHALL BE T45 No. B-133 PRE-RINSE SPRAY WITH No. B-107C SPRAY HEAD, No. B-104 WALL BRACKET, No. B-156 ADP. ADD-A-FAUCET WITH 12" NOZZLE AND SPECIAL 4" CHROME NIPPLE, No. B-231 SINK MIXING FAUCET FOR THREE COMPARTMENT SINK.
- DRAIN SHALL INCLUDE ROTARY WASTE VALVE SIMILAR TO T45 No. B3901 WITH EXTENDED HANDLE AND SNAP-IN STAINLESS STEEL STRAINERS, FITS DRAIN OPENING OF 3-1/2" TO 4-1/2", SEE 5/PI.2



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REVISIONS

△	NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396

IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

**WASTE & VENT LINE
PLUMBING PLAN &
SCHEDULE**

DATE	NOV 19, 2021	PROJ NO	21057
DRAWN BY	ZRA	CHECKED BY	AH

DRAWING NUMBER

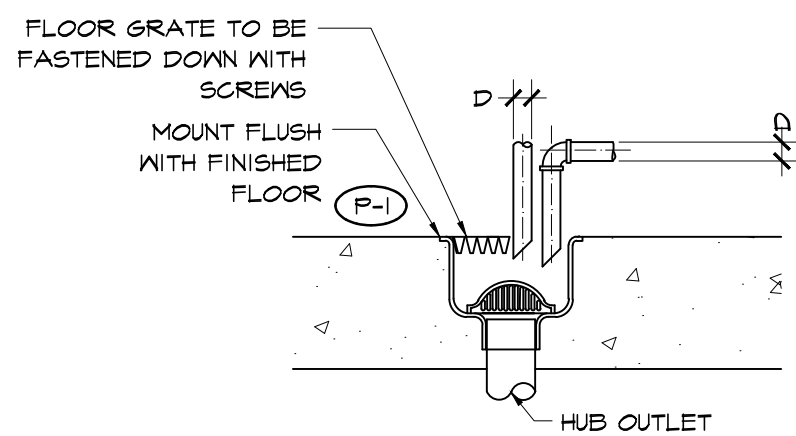
P1.1

WASTE & VENT LINE PLUMBING PLAN

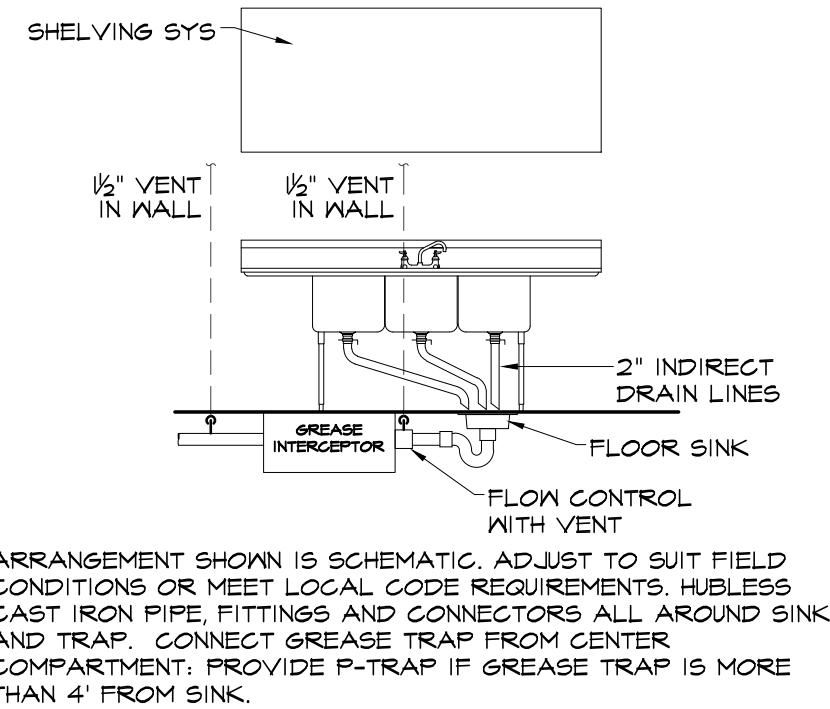
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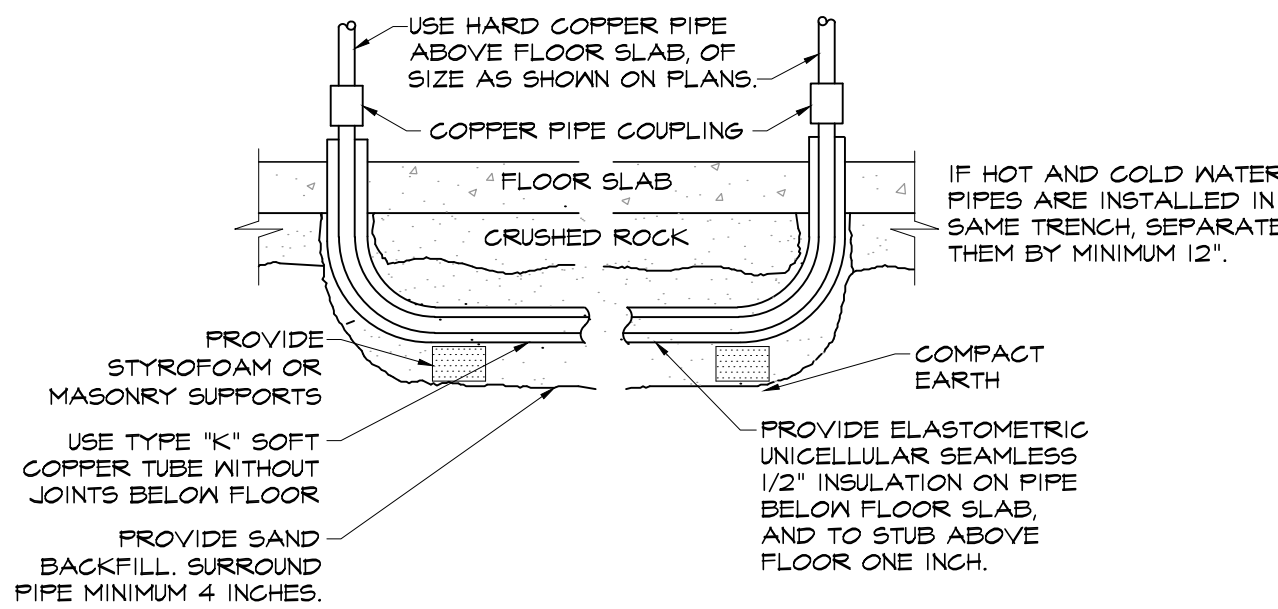
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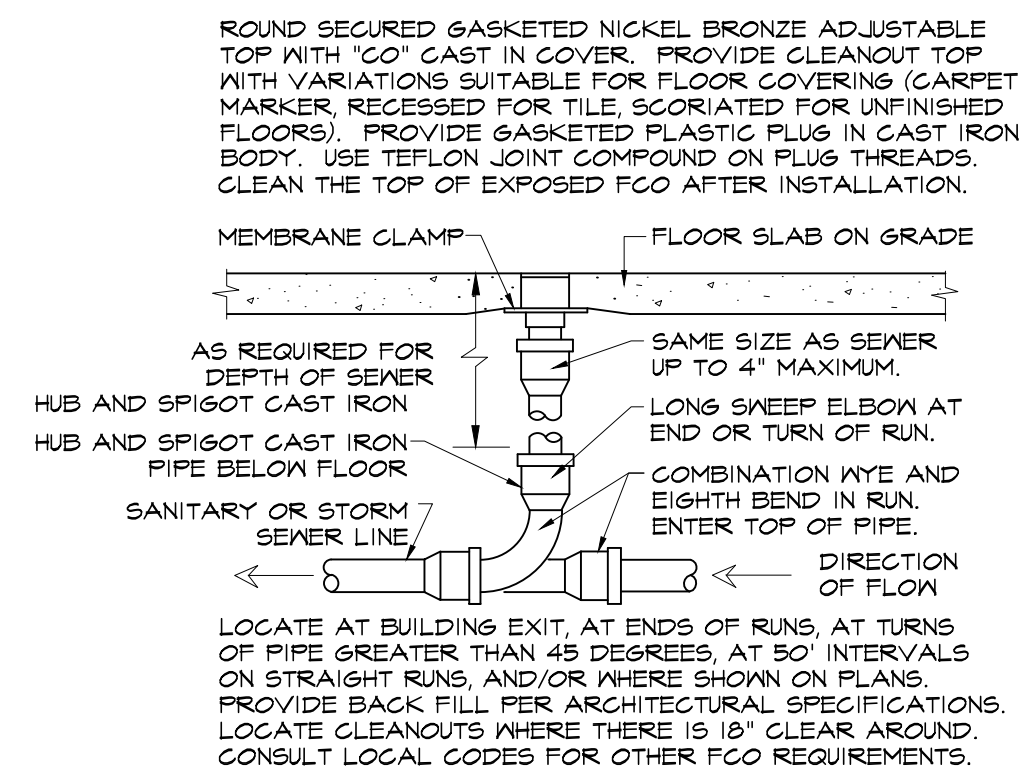
6 FLOOR SINK DETAIL
P1.1 NOT TO SCALE



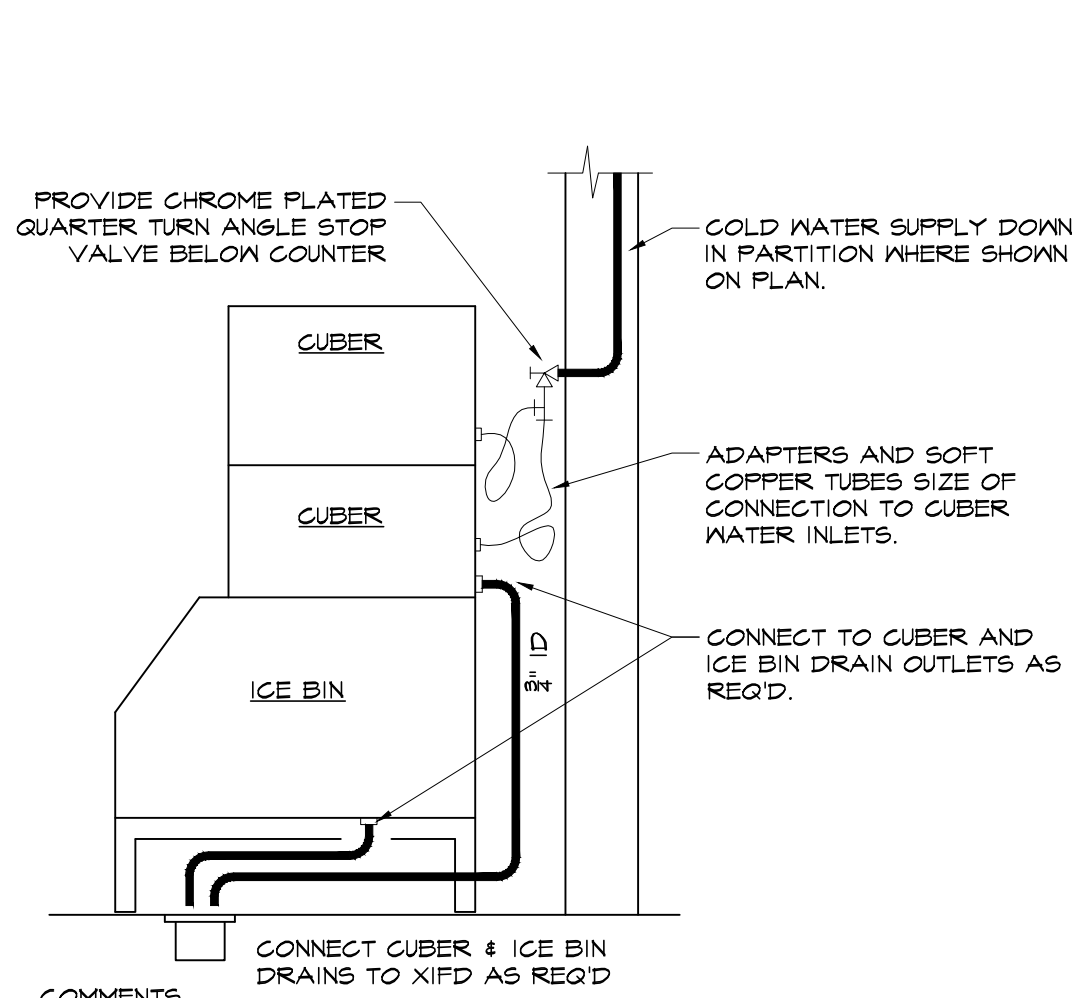
5 3 BAY SINK & GREASE TRAP DETAIL
P1.1 NOT TO SCALE



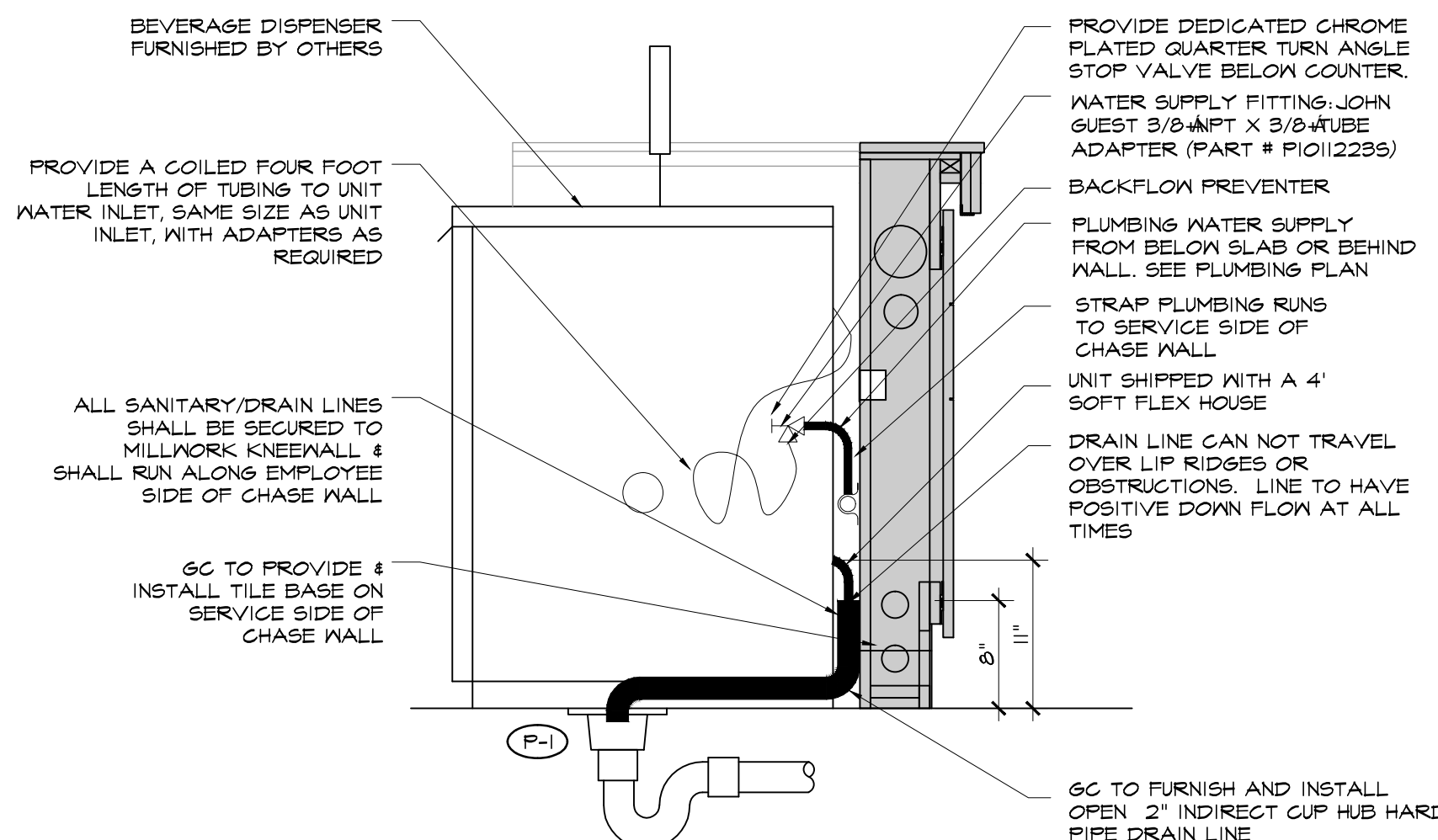
7 WATER PIPE UNDER SLAB
NOT TO SCALE



4 FLOOR CLEANOUT DETAIL
NOT TO SCALE



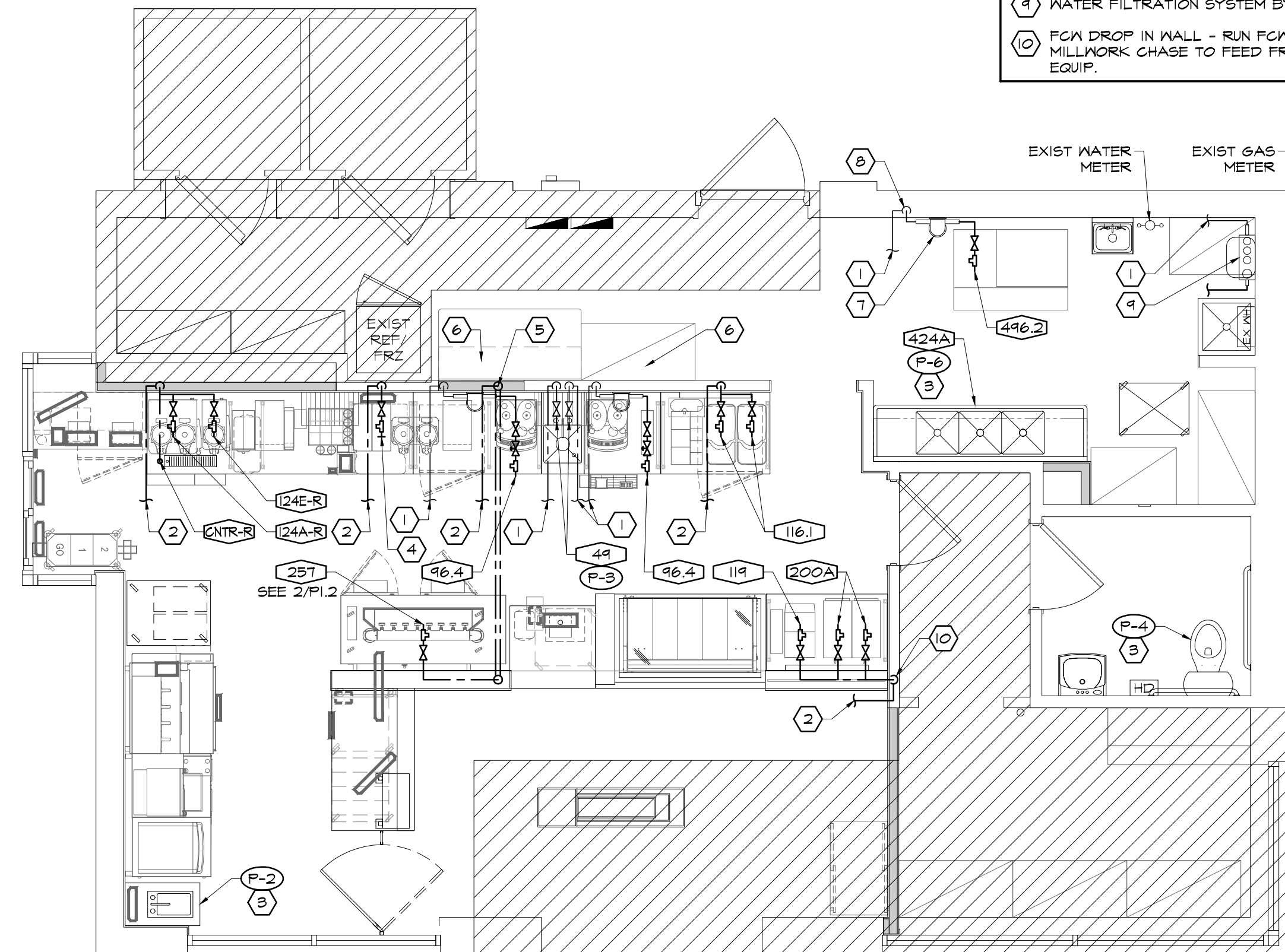
3 ICE MACHINE DETAIL
P1.1 NOT TO SCALE



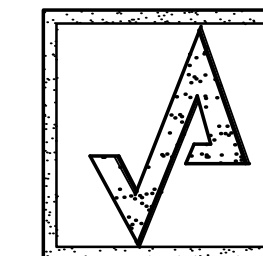
2 WASTE LINE PIPING DETAIL @ TAPS SYSTEM
P1.1 NOT TO SCALE

LEGEND			
C	ELBOW DOWN	FCW PIPING	CW COLD WATER
O	ELBOW UP	CW PIPING	FCW FILTERED CW
B	BALL VALVE	UNDERSLAB CW PIPING	HW HOT WATER
P	PRESSURE REDUCING VALVE	HW PIPING	
PF	BACK FLOW PREVENTER MATTS #8A		

- KEYED PLAN NOTES
- CONNECT/EXTEND TO CW/HW PIPING AS REQ'D.
 - CONNECT/EXTEND TO FCW PIPING AS REQ'D.
 - CONNECT FIXTURE BACK TO EXIST CW/HW PIPING AS REQ'D.
 - CAPPED FCW FOR FUTURE EQUIPMENT.
 - FCW DROP IN WALL - RUN PIPING UNDER SLAB & STUB UP IN FRONTLINE MILLWORK CHASE TO FEED FRONTLINE EQUIP.
 - INSTALL ESPRESSO WATER FILTRATION SYSTEM & ALL RELATED ACCESSORIES. COORD W/ MANUF. REQ'TS.
 - INSTALL ICE MACHINE WATER FILTRATION SYSTEM & ALL RELATED ACCESSORIES. COORD W/ MANUF. REQ'TS.
 - RUN PIPING INBOARD OF WALL INSULATION & PROVIDE INSULATED JACKET TO PREVENT FREEZING.
 - WATER FILTRATION SYSTEM BY OWNER.
 - FCW DROP IN WALL - RUN FCW PIPING IN MILLWORK CHASE TO FEED FRONTLINE EQUIP.



1 WATER LINE PLUMBING PLAN
SCALE: 1/4" = 1'-0"



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REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396
IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

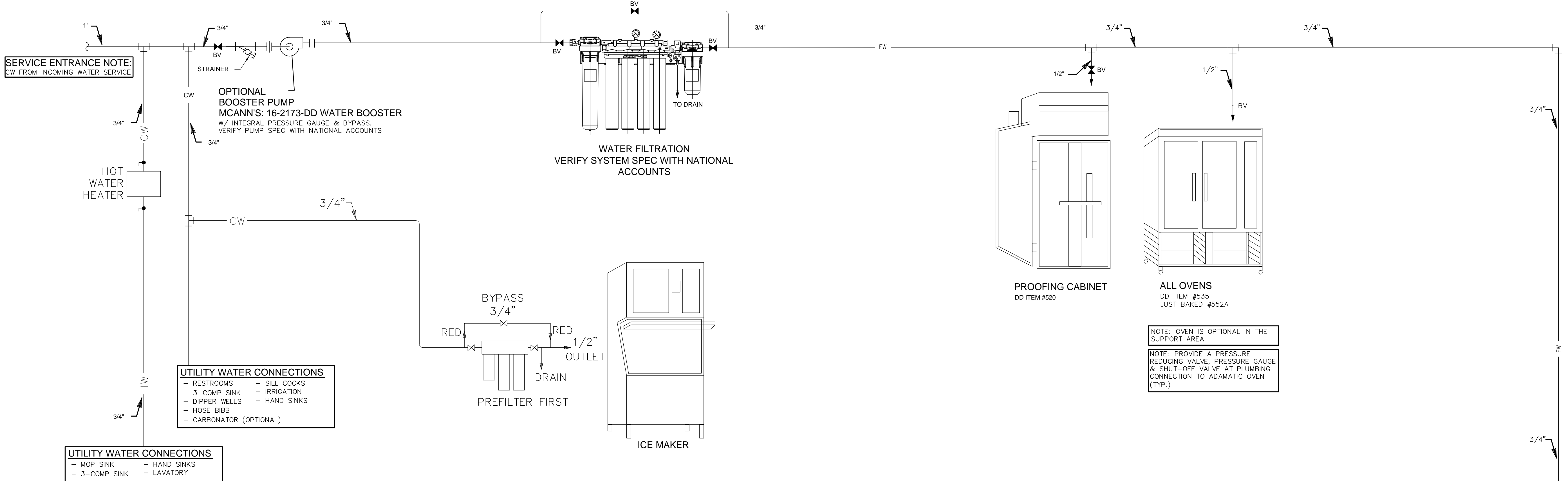
DRAWING TITLE

WATER LINE
PLUMBING PLAN &
DETAILS

DATE	NOV 19, 2021	PROJ NO	21057
DRAWN BY	ZRA	CHECKED BY	AH

DRAWING NUMBER

P1.2



WATER QUALITY INSTALLATION CHECKLIST:	
FRONT OF HOUSE (FOH)	
<input type="checkbox"/> COFFEE EQUIPMENT (FRONT LINE)	
<input type="checkbox"/> COFFEE EQUIPMENT (DRIVE THRU)	
<input type="checkbox"/> WATER SPRAYERS	
<input type="checkbox"/> ESPRESSO	
<input type="checkbox"/> HOT CHOCOLATE	
<input type="checkbox"/> ICED COFFEE / TEA	
<input type="checkbox"/> ISLAND OASIS	
BACK OF HOUSE (BOH)	
<input type="checkbox"/> ICE MAKERS (N/A RO SYSTEMS)	
<input type="checkbox"/> BAXTER	
<input type="checkbox"/> BLODGETT	
<input type="checkbox"/> ADAMATIC	
<input type="checkbox"/> PROOFER	

DUNKIN' DONUTS WATER SPECIFICATION & TREATMENT REQUIREMENTS					
CHARACTERISTIC	UNITS	DUNKIN' DONUTS SPECIFICATION		WATER TREATMENT SOLUTIONS	
		IDEAL RANGE	LIMIT	A) WATER FILTER	B) REVERSE OSMOSIS
HARDNESS	PPM	80-120	< 200	> 200	NA
ALKALINITY	PPM	70-110	0-150	> 150	NA
TOTAL DISSOLVED SOLIDS (TDS)	PPM	100-175	< 250	NA	> 250
pH	pH	6.7-7.4	6.7-7.4	< 6.7 OR > 7.4	NA
SODIUM	PPM	0-20	< 40	> 40	NA
CHLORIDE	PPM	0	< 40	> 40	NA
CHLORAMINES	PPM	0	0	> 0	NA
CHLORINE	PPM	0	0	> 0	NA
TURBIDITY	NTU	0-1	< 1	> 1	NA
PRESSURE	PSI	> 65 PSI		BOOSTER PUMP IS REQUIRED	

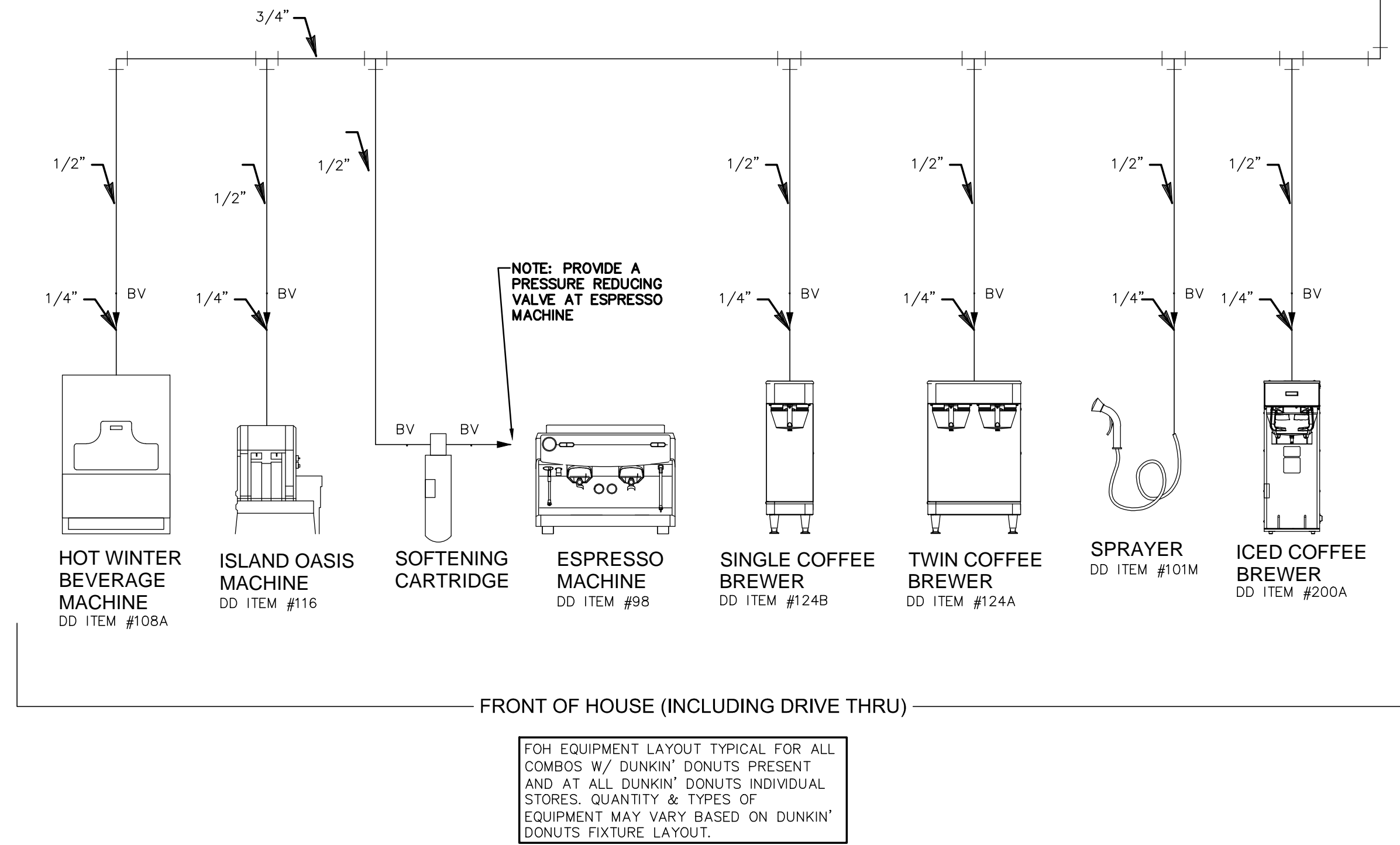
* IN ADDITION TO THE ABOVE SPECIFICATIONS, WATER MUST MEET NSF42 AND NSF53 STANDARDS
PPM = PARTS PER MILLION
100 PPM = 5.8 GRAINS PER GALLON

NOTES:
1) PRIOR TO CONSTRUCTION, GC SHALL PROVIDE A WATER QUALITY TEST, PERFORMED IN THE CITY IN WHICH THE STORE WILL BE RECEIVING WATER, TESTING TO BE DONE ON A LIVE LINE CONNECTED TO THE SAME SUPPLY LINE FEEDING THE FUTURE STORE.

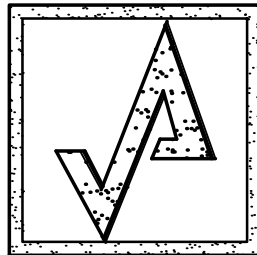
2) UPON RECEIPT OF THE WATER QUALITY TEST, THE GC SHALL PROVIDE A FILTRATION SYSTEM OR RO SYSTEM THAT WILL TREAT THE INCOMING WATER TO ALLOW IT TO MEET THE REQUIREMENTS IN THE TABLE ABOVE.

3) UPON COMPLETE OF CONSTRUCTION, GC SHALL SUBMIT A SECOND WATER QUALITY TEST TAKEN FROM A TREATED WATER OUTLET TO VERIFY THE PROPER WATER QUALITY IS BEING ACHIEVED.

SEPARATE PURCHASE OF A McCANN'S BOOSTER PUMP IS REQUIRED IN ALL STORES WITH TWO EXCEPTIONS:
1. STORES INSTALLING AN EVERPURE RO SYSTEM ARE NOT REQUIRED TO PURCHASE THE PUMP, AS THERE IS A BOOSTER PUMP INTEGRAL TO EVERPURE'S SYSTEM.
2. STORES WITH AN INCOMING WATER PRESSURE DOCUMENTED TO BE GREATER THAN 65 P.S.I. ARE NOT REQUIRED TO HAVE A BOOSTER PUMP INSTALLED.



SYMBOL LEGEND	
DESCRIPTION	SYMBOL
COLD WATER PIPING (UNFILTERED)	CW
FILTERED WATER	FW
RO WATER	RO
BALL VALVE	BV
UNION	
STRAINER	
CHECK VALVE	CV



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REVISIONS

NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396

IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

OPTION #4
WATER FILTRATION
SYSTEM DETAIL

DATE	NOV 19, 2021	PROJ NO	21057
DRAWN BY	ZRA	CHECKED BY	AH

DRAWING NUMBER

P2.1

TELEPHONE & DATA RACENAY NOTES

- 1) NO SECTION OF CONDUIT SHALL BE LONGER THAN 100 FEET BETWEEN FULL POINTS.
- 2) NO SECTION OF CONDUIT SHALL CONTAIN MORE THAN TWO 90 DEGREE BENDS, OR EQUIVALENT, BETWEEN FULL POINTS (eg, OUTLET BOXES, TELECOMMUNICATIONS CLOSETS OR FULL BOXES). IF THERE IS A REVERSE (U-SHAPED) BEND IN THE SECTION, A FULL BOX SHALL BE INSTALLED.
- 3) THE INSIDE RADIUS OF A BEND IN CONDUIT SHALL BE AT LEAST 6 TIMES THE INTERNAL DIAMETER. BENDS IN THE CONDUIT SHALL NOT CONTAIN ANY KINKS OR OTHER DISCONTINUITIES THAT MAY HAVE A DETRIMENTAL EFFECT ON THE CABLE SHEATH DURING CABLE PULLING OPERATIONS.
- 4) ANY SINGLE CONDUIT RUN EXTENDING FROM A TELECOMMUNICATIONS CLOSET SHALL NOT SERVE MORE THAN THREE OUTLET BOXES.
- 5) CONDUITS PROTRUDING / PENETRATING THROUGH THE FLOOR IN THE TELECOMMUNICATIONS CLOSETS SHALL BE TERMINATED 3-INCHES ABOVE THE FLOOR ADJACENT TO WALLS. PROTRUSIONS / PENETRATIONS SHALL BE LOCATED TO AVOID CREATING A TRIPPING HAZARD WITHIN THE CLOSETS. FIRESTOP ALL PROTRUSIONS / PENETRATIONS THRU FIRE RATED ASSEMBLIES.
- 6) WHERE A TELECOMMUNICATIONS CONDUIT IS TO BE INSTALLED TO A DEVICE EXPOSED TO THE WEATHER, CARE SHALL BE TAKEN TO PREVENT THE INGRESS OF MOISTURE. CARE SHALL ALSO BE TAKEN TO ENSURE THAT MOISTURE WILL NOT COLLECT IN LOW POINTS. FREEZE AND DAMAGE THE CABLE. NONMETALLIC CONDUIT SHALL BE UV RESISTANT AND MARKED ACCORDINGLY.
- 7) CONDUITS SHALL BE REAMED TO ELIMINATE SHARP EDGES. METALLIC CONDUIT SHALL BE TERMINATED WITH AN INSULATED BUSHING.
- 8) REFER TO ANSI/TIA/EIA-606 FOR ADMINISTRATION OF THE CONDUIT SYSTEM IDENTIFICATION.
- 9) ALL CONDUITS SHALL BE PROVIDED WITH FULL STRINGS.
- 10) JUNCTION BOXES SHALL BE NO SMALLER THAN 2-INCHES WIDE, 3" HIGH AND 2.5" DEEP. THIS WILL ACCOMMODATE ONE OR TWO 3/4" CONDUITS. WHERE A LARGER CONDUIT IS REQUIRED, THE BOX SHALL BE INCREASED ACCORDINGLY. A MAXIMUM 1-1/4" CONDUIT WILL REQUIRE A 4-1/16" x 4-1/16" x 2-1/2" BOX.
- 11) CONDUIT TYPES SHALL BE ELECTRICAL METALLIC TUBING (EMT) OR RIGID METAL CONDUIT SUBJECT TO MOISTURE SHALL BE RIGID PVC. FLEXIBLE CONDUIT SHALL NOT BE USED FOR TELE/DATA RACENAYS.
- 12) CONDUIT REQUIREMENTS FOR SUPPORT, END PROTECTION AND CONTINUITY SHALL COMPLY WITH APPROPRIATE ELECTRICAL CODES.
- 13) CONDUIT AND BOXES FOR TELE/DATA WIRING SHALL BE DEDICATED TO THOSE SYSTEMS. POWER WIRING SHALL BE KEPT OUT OF CONDUIT AND BOXES DEDICATED TO TELE/DATA WIRING.
- 14) CONDUIT SIZE FOR MAXIMUM NUMBER OF CABLES. SEE TABLE BELOW.

Conduit Trade Size	Maximum number of cables based upon allowable fill													
	Cable Outside Diameter in Inches													
	0.13	0.18	0.22	0.24	0.29	0.31	0.37	0.53	0.62	0.70				
1/2"	1	1	0	0	0	0	0	0	0	0	0	0	0	0
3/4"	6	5	4	3	2	2	1	0	0	0	0	0	0	0
1"	8	8	7	6	3	3	2	1	0	0	0	0	0	0
1-1/4"	16	14	12	10	6	4	3	1	1	1	1	0	0	0
1-1/2"	20	18	16	15	7	6	4	2	1	1	1	0	0	0
2"	30	26	22	20	14	12	7	4	3	2	2	1	1	1
2-1/2"	45	40	36	30	17	14	12	6	3	3	3	2	1	1
3"	70	60	50	40	20	20	17	7	6	6	6	4	3	3
3-1/2"	-	-	-	-	-	-	22	12	7	6	6	4	3	3
4"	-	-	-	-	-	-	30	14	12	7	6	4	3	3

POS - COMMUNICATIONS NOTES

GENERAL NOTES

- 1) FINAL ELECTRICAL DRAWINGS SHALL BE PROVIDED TO POS VENDOR THAT IS SELECTED BY FRANCHISEE.
- 2) ALL POS POWER WIRING SHALL BE 3-WIRE W/ ISOLATED GROUND AND SHALL BE TERMINATED WITHIN 4 FEET OF THE DEVICE.
- 3) PROVIDE HUBBELL #5362 IVORY 16 RECEPTACLES FOR ALL POS DEVICES. LABEL RECEPTACLES "POS ONLY".
- 4) LOW VOLTAGE WIRE SHALL BE CATEGORY #5 CABLE RUN IN 1-1/2" RIGID CONDUIT WITH FULL STRING FOR POS EQUIPMENT ONLY AND MUST BE TERMINATED WITH RJ-45 JACKS.
- 5) A 12" MINIMUM SEPARATION MUST BE MAINTAINED BETWEEN LOW VOLTAGE WIRES AND POWER WIRING TO AVOID ELECTRICAL INTERFERENCE.
- 6) ALL ELECTRICAL / DATA OUTLETS ARE SHOWN SCHEMATICALLY BASED ON EQUIPMENT REQUIREMENTS. VERIFY IN FIELD.
- 7) ALL CONDUIT TO BE 3/4" UNLESS NOTED OTHERWISE OR REQUIRED BY QUANTITY OF CABLES.

VDU NOTES

COORDINATE VDU HEIGHT WITH EQUIPMENT AND SIGNAGE. SEE INTERIOR ELEVATIONS.

TELEPHONE / DATA NOTES

HIGH-SPEED INTERNET ACCESS IS REQUIRED. IT SHALL BE THE FRANCHISEE'S RESPONSIBILITY TO COORDINATE ANY UPGRADE OR INSTALLATION AS MAY BE REQ'D.

PROVIDE 3/4" CONDUIT AND FULL STRINGS FROM RECEPTACLES TO 6" ABOVE CEILING. VERIFY EXACT REQUIREMENTS WITH TELEPHONE EQUIPMENT SUPPLIER AND INSTALLER.

GENERAL ELECTRICAL NOTES

1) COMPLETE SYSTEMS:

- A) PROVIDE LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION TO RECEIVE, INSTALL, ADJUST AND PUT INTO OPERATION COMPLETE ELECTRICAL SYSTEMS IN ACCORDANCE WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- B) PROVIDE PRODUCTS NOT MENTIONED BUT OBVIOUSLY NECESSARY AND INCIDENTAL TO THE COMPLETION OF THIS WORK.
- C) CONTRACTOR SHALL REFER TO ALL DEMO, ARCHITECTURAL & ENGINEERING DRAWINGS FOR FULL EXTENT OF SCOPE OF WORK.

2) UTILITIES:

- A) COORDINATE WITH ALL UTILITY SERVICES.
- B) NOTIFY UTILITIES OF COMMENCEMENT OF WORK.
- C) MAKE ALL ARRANGEMENTS FOR TEMPORARY SERVICES.
- D) POWER CONSUMED SHALL BE PAID FOR BY THE OWNER.
- E) PROVIDE ALL WORK AND MATERIALS NECESSARY TO COMPLY WITH ALL UTILITY REGULATIONS AND REQUIREMENTS.
- F) COORDINATE INTERRUPTING CAPACITY OF ELECTRIC PANELS AND ALL BREAKERS W/ UTILITY CO.

- G) PROVIDE TYPE WRITTEN DIRECTORIES FOR ALL PANELS PER CIRCUIT USAGE.

3) PERMITS:

- A) OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK.
- B) PAY ALL ASSOCIATED FEES FOR PERMITS AND OTHER MUNICIPAL AND GOVERNING REQUIREMENTS.

- C) ELECTRICAL CONTRACTOR TO PROVIDE LOAD LETTER W/ BUILDING PERMIT APPLICATION.

- 4) EXPERIENCE: ALL WORK DONE SHALL BE PERFORMED BY QUALIFIED ELECTRICIANS UNDER THE SUPERVISION AND DIRECTION OF A SUPERINTENDENT HAVING SUCCESSFUL EXPERIENCE INSTALLING AND SUPERVISING EQUIPMENT AND SYSTEMS OF SIMILAR TYPE AND SIZE AS INDICATED BY CONTRACT DOCUMENTS.

- 5) REGULATIONS: ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT RULES, REGULATIONS AND INDUSTRY STANDARDS OF THE NATIONAL ELECTRICAL CODE, UL, IPECA, NEMA, NFPA, OSHA, NATIONAL ELECTRICAL SAFETY CODE, ADA AND ANY LOCAL CODES, LAWS OR ORDINANCES. IN THE EVENT THAT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY.

6) COSTS AND CONDITIONS:

- A) EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY.

- B) SURVEY THE PROJECT AND BECOME FAMILIAR WITH EXISTING CONDITIONS AND SCOPE OF WORK.

- C) ALL COSTS SUBMITTED SHALL BE BASED ON A THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED.

- D) ANY ADDITIONAL COSTS DUE TO FAILURE TO COMPLY WITH THIS REQUIREMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

7) SPECIFICATIONS:

- A) BECOME FAMILIAR WITH ALL SPECIFICATIONS, DESIGN CRITERIA AND EQUIPMENT REQUIREMENTS PRIOR TO ANY EQUIPMENT PURCHASE OR INSTALLATION.

- B) REFERENCE SPECIFICATIONS FOR DEVICES, MATERIALS AND WORKMANSHIP REQUIREMENTS. ADDITIONAL REQUIREMENTS ARE GIVEN IN THESE NOTES AND THE DRAWINGS.

- C) THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER.

8) COORDINATION:

- A) COORDINATE WORK WITH ALL OTHER TRADES. GIVE SPECIAL CONSIDERATION TO COORDINATING INSTALLATION OF LIGHTING, SPRINKLER PIPING AND DUCTWORK.

- B) COORDINATE WALL OUTLET LOCATIONS WITH MILLWORK.

- C) COORDINATE WALL SWITCHES WITH DOOR SWINGS.

- D) VERIFY EXACT LOCATION, COLOR AND FINISH OF OUTLETS AND DEVICES WITH INTERIOR DESIGNER, ARCHITECT OR DESIGNATED TENANT REPRESENTATIVE PRIOR TO INSTALLATION.

9) PRODUCTS:

- A) ALL PRODUCTS SHALL BE NEW SPECIFICATION GRADE PRODUCTS OF A SIMILAR NATURE SHALL BE OF THE SAME TYPE AND MANUFACTURER.

- B) PROVIDE THE STANDARD PRODUCTS OF MANUFACTURERS REGULARLY ENGAGED IN THE PRODUCTION OF SPECIFIED PRODUCTS, UNLESS OTHERWISE REQUIRED BY DRAWINGS.

- C) ALL PRODUCTS SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH NATIONALLY RECOGNIZED AND ACCEPTED STANDARDS AND PROCEDURES.

- 10) COMPATIBILITY: ALL NEW ELECTRICAL DISTRIBUTION EQUIPMENT SHALL MATCH AND BE COMPATIBLE WITH EXISTING EQUIPMENT, BY MANUFACTURER, TYPE, APPLICATION AND SHORT CIRCUIT RATING.

11) IDENTIFICATION:

- A) ALL ELECTRICAL DISTRIBUTION EQUIPMENT, TRANSFORMERS, PANEL BOARDS AND OTHER ENCLOSED EQUIPMENT SHALL BE IDENTIFIED AS INDICATED IN THE CONTRACT DOCUMENTS.

- B) SAID IDENTIFICATION SHALL CONSIST OF PERMANENTLY ATTACHED ENGRAVED LAMINATED PLASTIC NAMEPLATES.

- C) EACH BRANCH CIRCUIT OVERCURRENT PROTECTION DEVICE SHALL BE IDENTIFIED BY CIRCUIT NUMBER AND SCHEDULED INSIDE PANEL DOOR.

- D) EACH BRANCH CIRCUIT SPLICE OR TERMINATION SHALL BE IDENTIFIED BY PANEL AND CIRCUIT DESIGNATION SHOWN ON THE JUNCTION OR OUTLET BOX, OR UPON INDIVIDUAL WIRES IN CASES WHERE MORE THAN ONE OF EACH PHASE CONDUCTOR OCCUR.

12) WIRING:

- A) ALL CONDUCTORS CARRYING GREATER THAN 50 VOLTS SHALL BE MINIMUM #12 AWG. SOLID, CU, SOFT DRAWN OF 98% CONDUCTIVITY, UNLESS NOTED OTHERWISE. LIGHTING: MINIMUM OF #12 THIN GAUGE FOR 20 AMPERE CIRCUITS, ALL EXPOSED WIRING SHALL BE RUN IN WIREMOLD.

13) INSULATION:

- A) ALL WIRE SHALL BE THIN/THIN 600 VOLT INSULATION AND SHALL BE PROVIDED FROM THE PANEL BOARD CIRCUIT BREAKER TO THE EQUIPMENT CONNECTIONS. COORDINATE INSULATION TYPES WITH CONDITIONS, NEC REQUIREMENTS AND CONDUIT FILL REQUIREMENTS.

- B) ALL WIRING SIZES ARE BASED ON 60 C OR 75 C INSULATION, ACCORDING TO CURRENT RATINGS, REGARDLESS OF ACTUAL INSULATION USED.

- C) TYPE "MC" CABLE IS ACCEPTABLE ONLY WITH TYPE THIN INSULATION.

- 14) HOME RUNS: PROVIDE MINIMUM #10 AWG WIRING ON ALL HOME RUNS GREATER THAN 100 FEET.

15) NEUTRALS:

- A) SIZE ALL NEUTRALS FULL UNLESS SPECIFICALLY REDUCED ON PLANS.

- B) ALL WIRING INSTALLED UNDER THIS CONTRACT, PRIOR TO TURNING OVER THE WORK AS A COMPLETE UNIT, SHALL BE TESTED FOR PROPER CONNECTIONS, SHORT CIRCUITS AND GROUNDS.

16) GROUNDS:

- A) ALL CIRCUITS SHALL BE RUN WITH A #12 AWG INSULATED GREEN COPPER GROUND WIRE, UNLESS OTHERWISE NOTED.

- B) USE OF CONDUIT AS A GROUND IS UNACCEPTABLE.

- C) AT TRANSFORMERS: PROVIDE GROUNDING ELECTRODE CONDUCTORS FROM ALL SEPARATELY DERIVED SYSTEMS.

- D) GROUND TO BUILDING STEEL, EARTH OR METALLIC COLD WATER PIPE, PER NEC 250-26, 250-50, AND 250-80.

17) CONDUIT:

- A) FLEXIBLE METAL CONDUIT, ENT, ALUMINUM CONDUIT, NM, NMC AND SNM ARE NOT ACCEPTABLE.

- B) CONDUIT OVER 2" IN DIAMETER OR EXPOSED TO WEATHER OR EXPOSED TO POTENTIAL DAMAGE SHALL BE GALVANIZED RIGID STEEL TYPE.

- C) CONDUIT ROUTING SHOWN IS SYMBOLIC AND DIAGRAMMATIC. INSTALL CONDUIT TO FIT ACTUAL FIELD CONDITIONS.

18) CONDUIT FITTINGS:

- ALL FITTINGS SHALL BE COMPRESSION OR THREADED TYPE. USE OF SET SCREW FITTINGS IS NOT ACCEPTABLE.

19) CIRCUIT BREAKERS:

- A) ALL BRANCH CIRCUIT OVERCURRENT PROTECTION DEVICES SHALL BE 20 AMPERE INVERSE TIME TYPE CIRCUIT BREAKERS UNLESS NOTED OTHERWISE.

- B) 120/240 VOLT CIRCUIT BREAKERS SHALL BE RATED AT 10,000 AIC MINIMUM.

- C) ALL 277/480 VOLT CIRCUIT BREAKERS SHALL BE RATED AT 14,000 AIC MINIMUM, UNLESS NOTED OTHERWISE. REFERENCE ELECTRICAL ONE LINE AND RISER DIAGRAMS.

- D) MULTI-POLE BREAKERS SHALL BE INTEGRAL UNITS. USE OF HANDLE TIES IS NOT ACCEPTABLE.

20) BRACING:

- PROVIDE LATERAL BRACING FOR CONDUIT, BUSWAYS, GENERATORS, TRANSFORMERS AND OTHER FLOOR MOUNTED ELECTRICAL EQUIPMENT, BUS DUCT, SWITCHBOARDS AS REQUIRED BY LOCAL CODE.

21) FUSES:

- ALL FUSES 600 AMPERES OR LESS SHALL BE UL LISTED, CLASS RK1 OR J, LOW-PEAK, DUAL ELEMENT, TIME DELAY, 600 VOLT. ACCEPTABLE MANUFACTURERS: BUSSMAN, GOULD, SHANNUT.

22) PENETRATIONS:

- COORDINATE FLOOR PENETRATIONS WITH STRUCTURAL ENGINEER. ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES AND PARTITIONS SHALL BE FIRE PROOFED TO THE SAME OR GREATER RATING THAN THAT OF THE SLAB OR PARTITION. WHERE CONFLICTS OCCUR, NOTIFY ARCHITECT OR INTERIOR DESIGNER.

23) ALTERNATES & SUBSTITUTIONS:

- A) SUBMIT TO ARCHITECT FOR APPROVAL.

- B) THE CONTRACTOR SHALL BEAR THE BURDEN OF SHOWING PROOF THAT ALTERNATES REQUESTED FOR SUBSTITUTION PERFORM IN AN EQUAL OR SUPERIOR MANNER TO THE SPECIFIED ITEM.

- C) INFORMATION SUBMITTED FOR ARCHITECT'S CONSIDERATION SHOULD INCLUDE PERFORMANCE CHARACTERISTICS, ILLUSTRATION OF FIELD APPLICATION, AND COMPARISON OF THE SPECIFIED ITEM TO THE INTENDED ALTERNATE. "ALTERNATE" REFERS TO A LUMINAIRE FIXTURE, DEVICE, EQUIPMENT ITEM OR MANUFACTURER OTHER THAN THAT SPECIFIED ON THE DRAWINGS OR IN THE SPECIFICATIONS.

24) SHOP DRAWINGS & SUBMITTALS:

- A) SUBMIT MANUFACTURERS' STANDARD PRODUCT INFORMATION, PERFORMANCE SPECIFICATIONS, PHYSICAL DIMENSIONS AND OTHER INFORMATION NECESSARY FOR ENGINEER TO INSURE COMPLIANCE WITH SPECIFICATIONS.

- B) SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING AND INSTALLING ANY EQUIPMENT.

25) PROJECT RECORD DOCUMENTS:

- A) UPON COMPLETION OF WORK, PREPARE LIGHTING AND POWER PROJECT RECORD DOCUMENTS ("AS-BUILTS") ON BOND PAPER.

- B) SUBMIT THREE COMPLETED DRAWING SETS TO ARCHITECT. ARCHITECT TO REVIEW AND PROVIDE OWNER WITH COPY. "AS-BUILT" DRAWINGS SHALL INCLUDE ALL BRANCH CIRCUIT WORK, ANY PANEL BOARD INFORMATION AVAILABLE, FINAL SWITCHING, ETC.

26) INSPECTION:

- CONTRACTOR SHALL OBTAIN AND PAY FOR BOTH ROUGH AND FINAL UNDERWRITERS OR OTHER APPROVED INSPECTION AGENCY CERTIFICATE OF "ELECTRICAL INSPECTION". THESE CERTIFICATES SHALL BE PRESENTED WITH REQUEST FOR FINAL PAYMENT.

27) CLEANING:

- DURING CONSTRUCTION, CONTRACTOR SHALL REMOVE ALL DEBRIS AND STORE AT LOCATION AS DIRECTED BY OWNER. NO ITEMS SHALL BE LEFT AS TO CAUSE A HAZARD DURING WORKING HOURS. COORDINATE WITH OWNER AREAS THAT WORK CAN BE DONE IN.

28) WARRANTY:

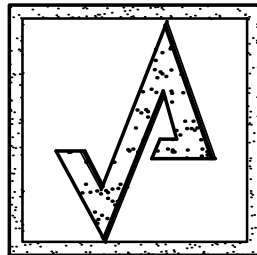
- WARRANT ALL MATERIALS, EQUIPMENT AND INSTALLATION FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER.

- 29) SEE P.11 FOR ADDITIONAL RESPONSIBILITIES OF ELECTRICAL CONTRACTOR IN RELATION TO PLUMBING SYSTEMS.

- 30) SEE A1.3 FOR LIGHTING SPECIFICATIONS & LAYOUT.

POWER & POS LEGEND

POS	POINT OF SALES TERMINAL
VDU	VIDEO DISPLAY UNIT
R	ROUTER
SC	SITE CONTROL (SELF-MOUNTING) RADIANT ONLY
RP	RECEIPT PRINTER
PP	PREP PRINTER
FAX	FAX
BOH PC	BACK-OFF-HOUSE PC
UPS	UPS
M	MODEM
SW	SWITCH
OT	ORDER TAKER TERMINAL
DTG	DRIVE THROUGH CONSOLE
DTT	DRIVE THROUGH TIMER
VS	VERIFONE SWITCH
PT	PAYMENT TERMINAL
CASH DR	CASH DRAWER
CD	COIN DISPENSER
MWS	MANAGER'S WORKSTATION
DVR	DVR SECURITY SYSTEM
CAM	SECURITY SYSTEM CAMERA
PCD	PRICE CONFIRMATION DISPLAY
OSB	ORDER STATUS BOARD
KIOSK SW	KIOSK SWITCH
DMB SW	DIGITAL MENU BOARD SWITCH
DMB	DIGITAL MENU BOARD
EXT DMB	DRIVE THRU EXTERIOR DIGITAL MENU BOARD
TEMP M	TEMP WIRELESS DIAL UP
OSB	DRIVE THRU ORDER CONFIRMATION BOARD
DFB	DRIVE THRU DIGITAL PREVIEW BOARD
OTT VOIP	OTT VOICE OVER-IP VOIP (PHONE)
⚡	SINGLE POLE SWITCH
Ⓢ	NEMA RECEPTACLE WITH GFCI (GROUND FAULT CIRCUIT INTERRUPTER)
Ⓢ	DUPLEX RECEPTACLE
Ⓢ GFCI	GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE
Ⓢ	ISOLATED GROUND RECEPTACLE
Ⓢ	COMBO POWER RECEPTACLE MOUNT @ 3'-2 1/2" AF
Ⓢ	QUAD RECEPTACLE
Ⓢ	JUNCTION BOX
▲	TELEPHONE OUTLET, RJ45, BOX
△	DATA OUTLET, RJ45
▬	BUMP BAR
▬	VIDEO DISPLAY UNIT
□	PRINTER
🖨	POINT OF SALE TERMINAL
🔍	SCANNER
◇	POS EQUIPMENT TAG
🔧	J-BOX @ CEILING PROVIDE CONDUIT DOWN TO POS J-BOX @ 42" AF UNO
🔧	UG CONDUIT



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△	NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396
IMAGE: NEXTGEN WARM
PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

GENERAL
ELECTRICAL NOTES

DATE	NOV 19, 2021	PROJ NO	21057
DRAWN BY	JAA	CHECKED BY	AH

DRAWING NUMBER

E0.1

EQUIPMENT SCHEDULE				ELECTRICAL					
ITEM NO	QTY	DESCRIPTION		VOLTS	LOAD AMPS	CB	CORD PLUS	RECEPT	REMARKS
BEV	1	TAPS STATION MILLWORK							
BEV CST	1	BEVERAGE STATION MILLWORK							
CNTR	4	CUSTOM STAINLESS STEEL COUNTERS - SEE PLAN FOR DIMS							
CNTR-R	3	RELOCATED EXISTING STAINLESS STEEL COUNTERS - SEE PLAN FOR DIMS							
COND	1	NEXTGEN CONDIMENT / TRASH UNIT							
DMB-I	4	DIGITAL MENU BOARDS	**	**	**				**VERIFY ALL ELEC REQTS W/ MANUF
FGB CST	1	FRONT CASE BAKERY							
40B	1	TRASH RECEPTACLE							
41-R	1	EXISTING HAND SINK W/ SPLASH GUARDS							
45A	2	WALL MOUNT DRAIN SHELF							
44	1	18"W X 34"D DUMP SINK W/ 12" SPLASH GUARDS							
50B	1	TRASH RECEPTACLE							
50F	2	FOUR SECTION VERTICAL WIRE RACK CUP ORGANIZER							
703C	1	BAKERY DISPLAY RACK (12 BASKETS)	120V		20A/1P	YES		5-15R	
70.7	1	REMOVABLE TISSUE BAG AND BOX HOLDER							
84B	1	4TIER X 5WIDE FRONT LINE BAKERY CASE	**	**	**	**	**	**	**VERIFY ALL ELEC REQTS W/ MANUF
96.4	2	COFFEE ART TOUCH ESPRESSO MACHINE	208V	30A	30A/2P	YES		L6-30R	
96Q	1	ESPRESSO SPEED RAIL							
101C-1	0	DAIRY DISPENSER	120V	3.0	15A/1P	YES		5-15R	
101C-2	0	DAIRY DISPENSER	115V	2.2	15A/1P	YES		5-15R	
101C-3	2	DAIRY DISPENSER	120V	1.8	15A/1P	YES		5-15R	
101G	1	20" SPEED RAIL FOR LIDS							
101H	1	18" SUGAR/TEA BAG/ STIRRER HOLDER							
101L	1	MULTI-SWEETENER DISPENSER	120V	.5A	15A/1P	YES		5-15R	
101Q-2	0	DUAL HOPPER COFFEE GRINDER	V1F	V1F	V1F	V1F	V1F	V1F	VERIFY ELEC REQTS W/ MANUF
101Q-3	0	MULTI HOPPER COFFEE GRINDER	120V	11.0	15A/1P	YES		5-15R	
104A	1	PUMP / SWIRL STATION							
116.1	2	MAGNABLEND BLENDER / ISLAND OASIS	115V	10	15A	YES		5-15R	
118	1	SINK MOUNT RINSE-O-MATIC							
119	1	HOT CHOCOLATE MACHINE	208/208	20	20A/1P	YES		L14-20P	
120F-1	3	27 1/4" X 21 3/4" D UNDERCOUNTER REFRIGERATOR W/ CASTERS	115V	7.0	20A/1P	YES		5-15R	
120F-2	0	27 1/4" X 21 3/4" D UNDERCOUNTER REFRIGERATOR W/ CASTERS	115V	7.0	20A/1P	YES		5-15R	
120F-3	0	27 1/4" X 30 1/2" D UNDERCOUNTER REFRIGERATOR W/ CASTERS	115V	5.6	20A/1P	YES		5-15R	
124A-R	1	RELOC EXISTING TWIN SH BREWER	V1F	V1F	V1F	V1F	V1F	V1F	VERIFY ELEC REQTS W/ MANUF
124B	5	1.5 GAL SH SERVER							
124E-R	1	RELOC EXISTING SINGLE SH BREWER	V1F	V1F	V1F	V1F	V1F	V1F	VERIFY ELEC REQTS W/ MANUF
124G	1	TWIN SH STAND W/ WIFI	120V	1.8	15A/1P	YES		5-15R	
140A	2	DOMELID DISPENSER							
171B	1	DRIVE-THRU STAGING MAT							
200A	2	ICED COFFEE BREWER IC3-DD	120/208	19.5	30A/2P	YES		L14-30R	
201A	1	ICE CADDY							
215	2	CONVECTION OVEN	208/240	30.0	30A/2P	YES		6-30R	
2261	2	CONVECTION OVEN	208/240	21.4	30A/2P	YES		6-30R	
244A	1	DOUBLE LANE TOASTER	208/240		30A/2P	YES		6-30R	
246A-1	1	SINGLE SIDED HOT HOLDING UNIT	120V	15.0	20A/1P	YES		5-20R	
246A-2	1	SINGLE SIDED HOT HOLDING UNIT	208/240		15A/1P	YES		6-15R	
257	1	8-TAP BEVERAGE DISPENSING SYSTEM	115V	6.5	15A/1P	YES		5-15R	VERIFY ALL ELEC REQTS W/ MANUF.
242EESCH	1	HAND OFF SWING GATE							
345	1	OMO 25" SHELVING UNIT							
375	1	DD APOD 94" STATION HYBRID	115	10.4				5-15R	VERIFY ALL ELEC REQTS W/ MANUF
420B	5	24" X 48" SHELVING	120	3.9				5-15R	VERIFY ALL ELEC REQTS W/ MANUF
420C	2	24" X 36" SHELVING							
424A	1	THREE COMPARTMENT SINK							
435A	1	90" SINK TRAX SHELVING WORKSTATION							
464A	1	60"x30" SS WORKTABLE W/ BACKSPLASH & OVERSHELF	**	**	**	**	**	**	**VERIFY ALL ELEC REQTS W/ MANUF
496.2	1	ICE MACHINE 129LB/24HR CAPACITY	208/230	9.5	20A/1P				MUST BE HARD WIRED IN FIELD
496A	1	ICE BIN 550 LB CAPACITY							
876	1	SQUARE MERCHANDISER							
877	1	WATERFALL MERCHANDISER							
886B	1	MIXER CUP STATION							
886C	2	LARGE LID RACK							
890C	1	"LOCATION RUNS ON DUNKIN' 60"W							
917	1	ALL IMAGE KIT #1 - D/T (17 PIECES)							
1409	1	PUMP & POWDER RACK							
1423	1	48" D/T CASH CART							
1425	1	30" UNDERCOUNTER CART							
1426	1	24" UNDERCOUNTER POS CART							
1427	1	24" UNDERCOUNTER POS CART							
1445	1	DT STAGING CART W/ OMO SHELVING							

FIRE ALARM LEGEND

- ETR MANUAL PULL STATION
- ETR FIRE ALARM STROBE UNIT
- ETR FIRE ALARM CONTROL PANEL

FIRE ALARM SYSTEM NOTES

EXISTING TO REMAIN, VERIFY & MAINTAIN PROPER FUNCTION OF EQUIPMENT DURING CONSTRUCTION AND AT FINAL COMPLETION

MISCELLANEOUS POWER SCHEDULE

ITEM	DESCRIPTION	VOLTS	LOAD AMPS	CB	CORD PLUS	RECEPTACLE	REMARKS
BP	BOOSTER PUMP - IF REQ'D						VERIFY ALL ELEC REQTS W/ MANUF

POWER PLAN NOTES

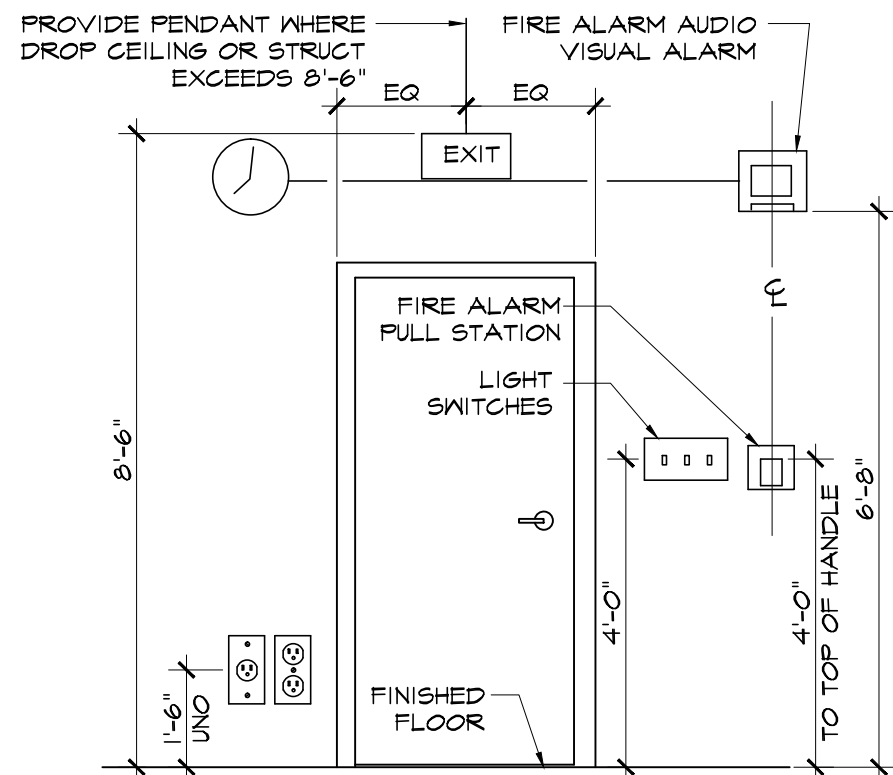
- MODIFY EXISTING ELECTRICAL PANELS TO ACCOMMODATE EQUIPMENT CIRCUITS AS REQ'D.
- ALL OUTLETS AND WIRING SHOWN AS NEW, IF THERE IS AN EXISTING OUTLET NEARBY THAT MATCHES THE REQUIREMENTS OF EQUIPMENT, THAT OUTLET MAY BE RE-USED, EG TO VERIFY IN FIELD.
- THE ELECTRICAL CONTRACTOR IS REQUIRED TO VERIFY ALL ELECTRICAL REQUIREMENTS OF EQUIPMENT, WHETHER NEW OR EXISTING REUSED.
- ALL OUTLETS ARE MOUNTED 18" AF UNLESS NOTED OTHERWISE BY A +.

KEYED PLAN NOTES

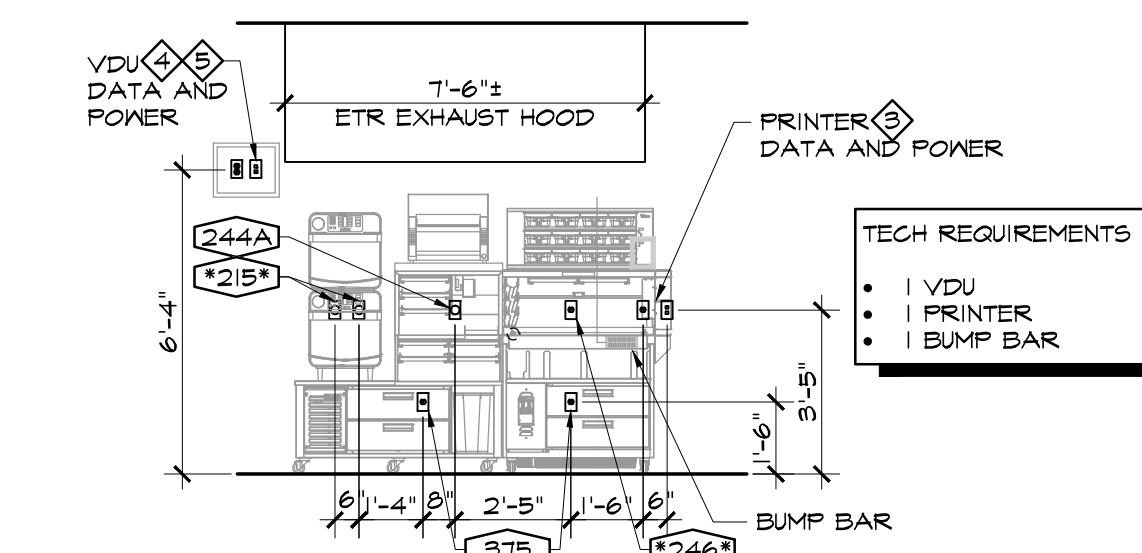
- POWER FOR POWER OPERATOR. SEE ALL HARDWARE NOTE.
- QUAD OUTLET IN MILLWORK KNEEWALL FOR FUTURE EQUIPMENT.
- JBOX IN WALL @ 18" AF. EXTEND CONDUIT UNDER SLAB TO JBOX @ MILLWORK KNEEWALL.
- JBOX IN MILLWORK KNEEWALL @ 18" AF. EXTEND CONDUIT THRU MILLWORK CHASE AS REQUIRED.
- JBOX IN MILLWORK KNEEWALL @ 18" AF FOR MILLWORK LIGHTING.
- PROVIDE GENERAL RECEPTACLE. COORD W/ OWNER FOR FINAL LOCATIONS & QUANTITY.
- CONNECT BUILDING SIGN BACK TO ETR ELEC.
- PROVIDE ELEC FOR SODA COOLER.

MTG HGT DTL NOTES

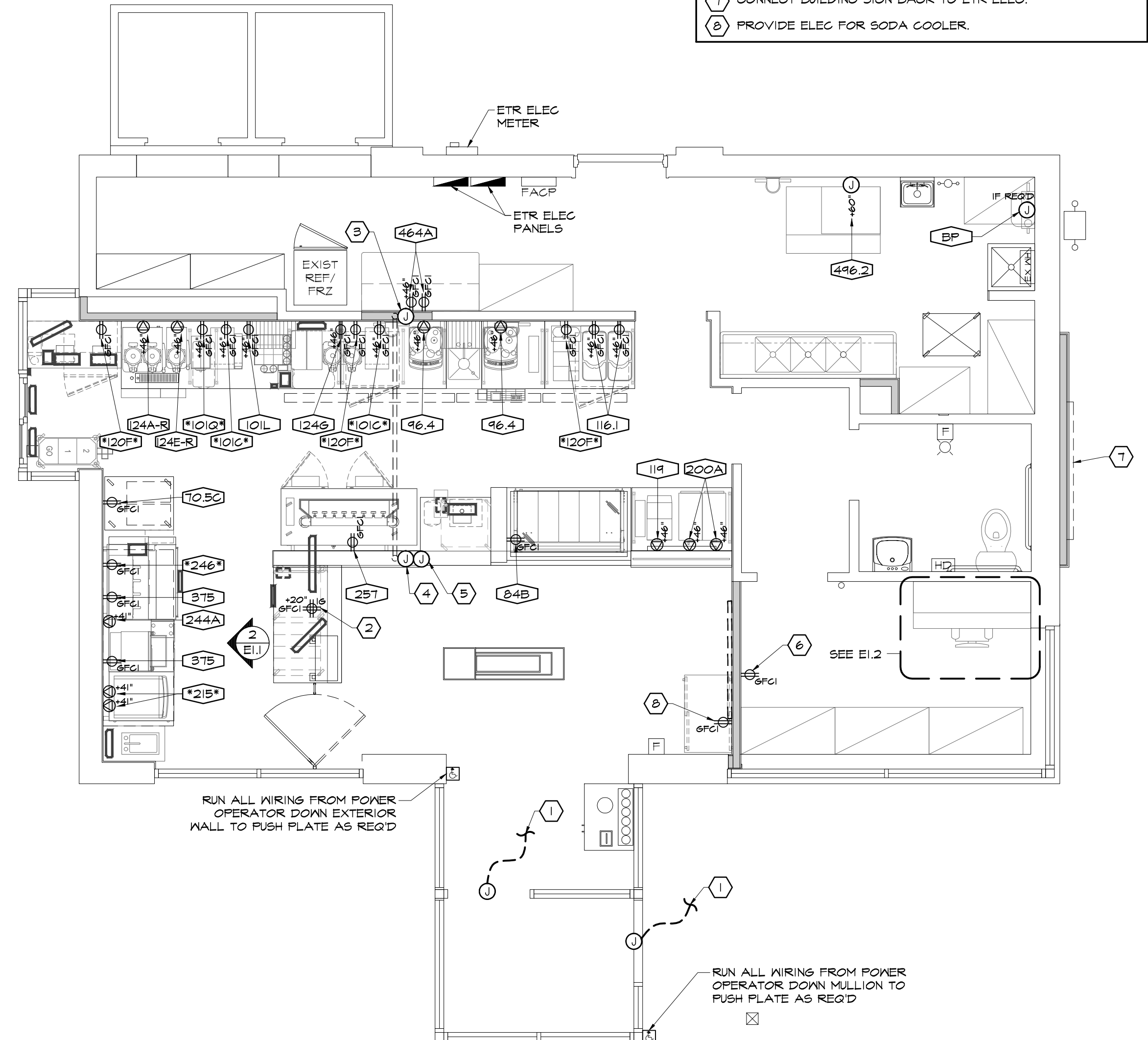
- THIS DETAIL INDICATES CENTERLINE FOR FIRE ALARM/PULL STATION SWITCHES AND RECEPTACLES. HOWEVER THIS SAME CENTERLINE PRINCIPLE SHALL BE FOR ALL GROUP MTD ELECTRICAL DEVICES.
- IF FIRE ALARM IS ON SAME SIDE OF DOOR AS SWITCHES, PULL STATION SHALL BE HORIZONTALLY SEPARATED BY A MINIMUM OF 18".
- THIS ELEVATION IS A GENERAL ARRANGEMENT OF DEVICES. ARCHITECT PLANS TAKE PRECEDENCE FOR EXACT LOCATIONS.



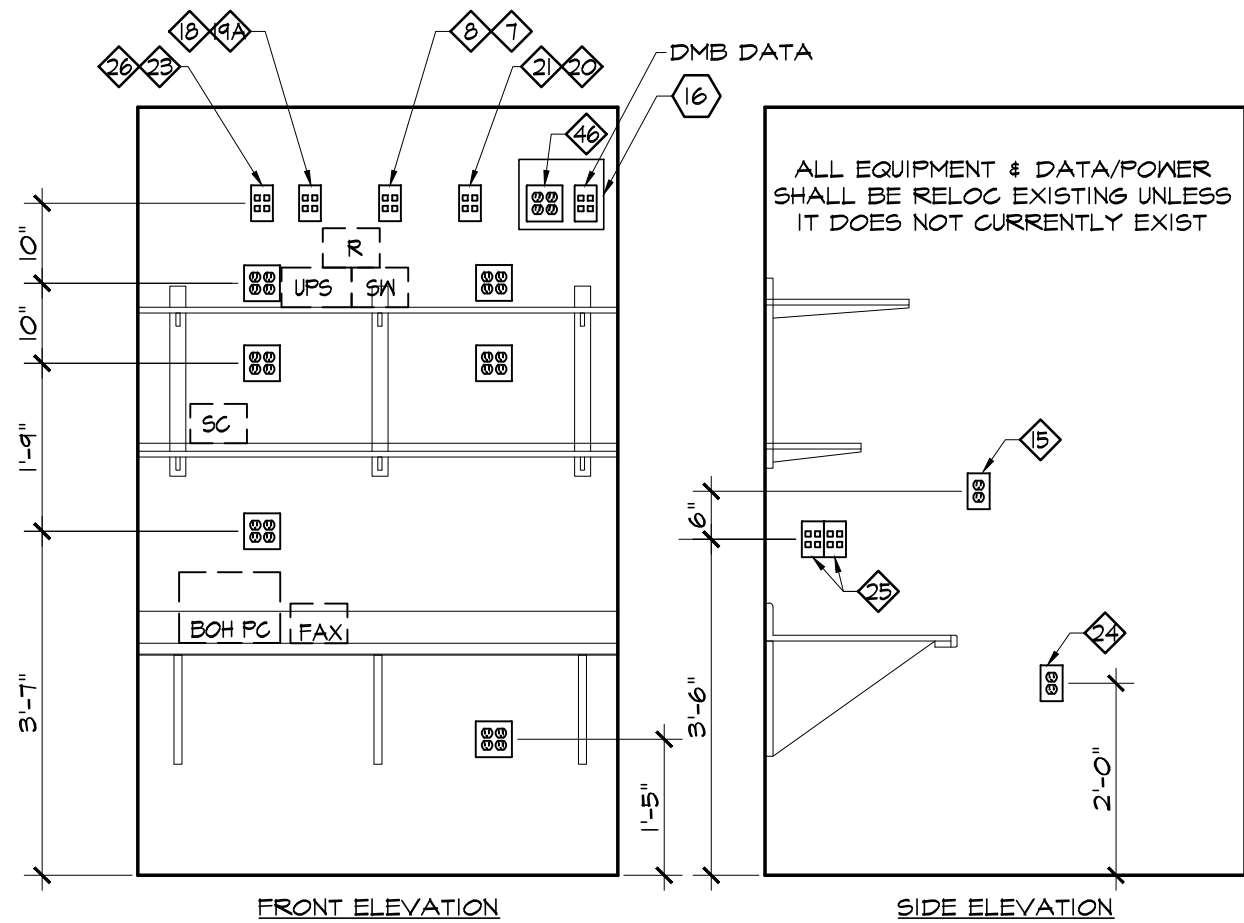
3 MOUNTING HEIGHT DETAIL
SCALE: NOT TO SCALE



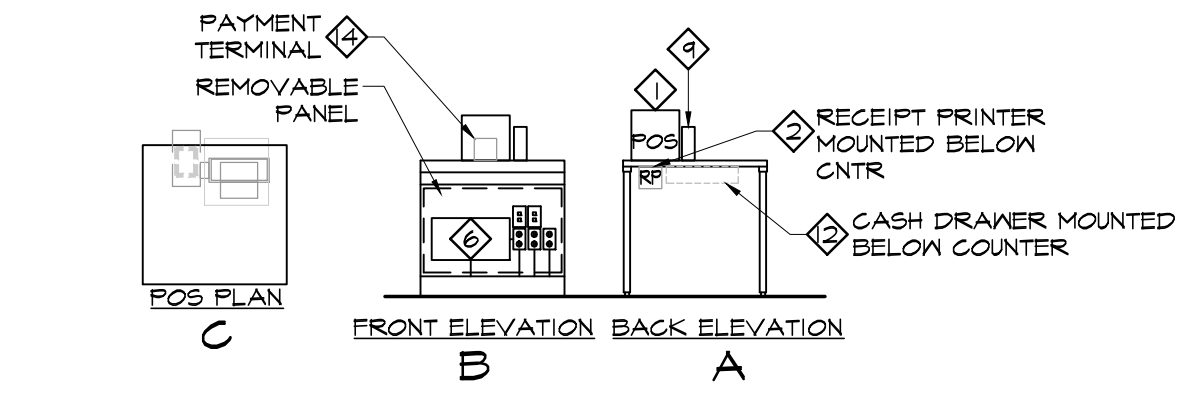
2 SANDWICH STATION ELEV
SCALE: 1/4" = 1'-0"



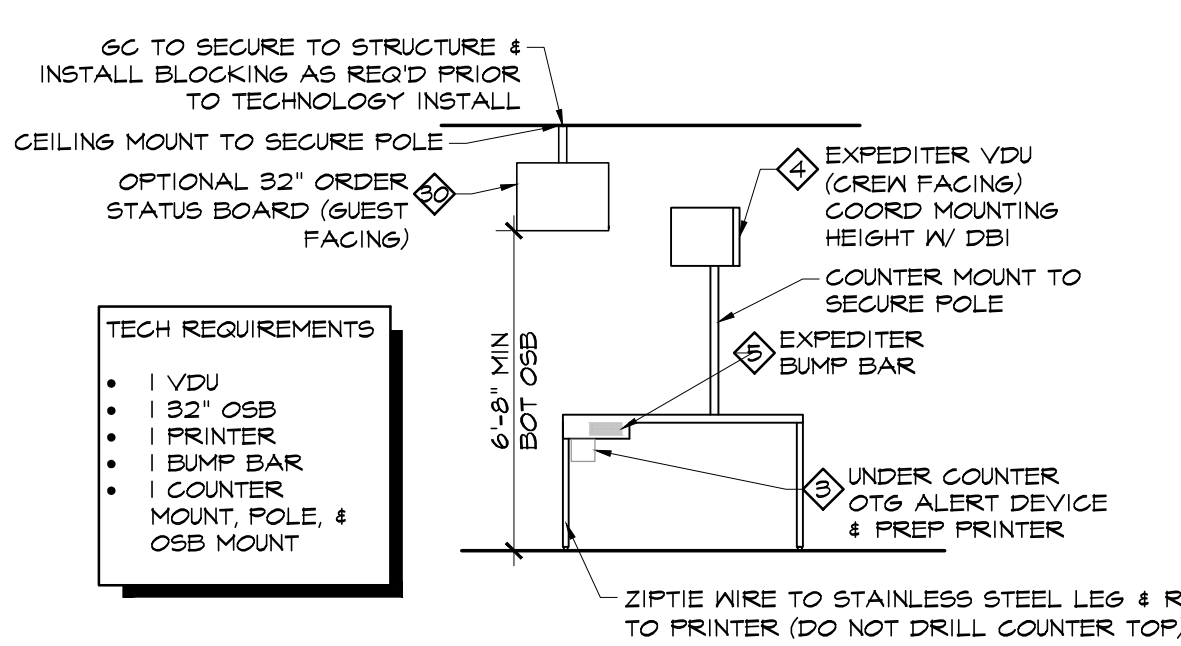
POS-COMMUNICATIONS EQUIPMENT SCHEDULE									
POS EQUIP & WIRING BY OTHERS - ALL EQUIP TO BE RELOC EXIST. GC TO FIELD VERIFY QUANTITY OF EXISTING POS ITEMS & COORD W/ PLANS									
QTY	DESCRIPTION	LOCATION	VOLTS	LOAD	TRANS	LOVO	REMARKS		
				AMPS	FORMER	TERM			
POS EQUIPMENT									
1	POINT OF SALES TERMINAL (POS)	(1) FRONT COUNTER (1) D/T POS (1) D/T OT	100-120V	2.0	20A/1P	NO	RJ45	SHARES CIRCUIT WITH POS ITEMS 2 & 12	
2	RECEIPT PRINTER	(1) FRONT COUNTER (1) D/T POS	100-240V	2.0	20A/1P	YES	RJ45	SHARE CIRCUIT WITH POS ITEMS 1 & 12	
3	PREP PRINTER	(1) SANDWICH (1) HAND OFF (2) BEVERAGE STATION	24/34V	1.2	20A/1P	YES	RJ45		
4	VDU	(1) BEVERAGE STA (1) SANDWICH STA (1) EXPEDITOR @ D/T	100-240V	1.5	20A/1P	NO	N/A	SHARES CIRCUIT	
5	VDU CONTROLLER (PC BASED)	(1) EXPEDITOR @ HAND OFF	100-120V	1.0	20A/1P	YES	RJ45		
6	POS NETWORK HUB/ SWITCH	POS COFFEE FRONT CHASE	100-120V	0.5	20A/1P	YES	RJ45	SHARES CIRCUIT WITH POS ITEMS 1, 2 & 12	
7	PC SITE CONTROLLER EXTERNAL	OFFICE	100-120V	4.0	20A/1P	NO	RJ45		
7a	PC SITE CONTROLLER INTERNAL	OFFICE	100-120V	4.0	20A/1P	NO	RJ45		
8	PRINTER/FAX/COPIER (BOH)	OFFICE	100-120V	0.2	20A/1P	NO	N/A		
9	SCANNER	(1) FRONT COUNTER (1) D/T POS					NO	RJ45	CONNECTED TO POS UNITS
10	PRICE CONFIRMATION DISPLAY	MOUNT BEHIND FRONT POS UNITS					NO	RJ45	CONNECTED TO D/T POS UNIT
12	CASH DRAWER	UNDER CTR @ FRONT & D/T	N/A	N/A			NO	RJ45	SHARES CIRCUIT WITH POS ITEMS 1 & 2
13	COIN DISPENSER	(1) D/T COUNTER	N/A	N/A			NO	RJ45	VERIFY ALL ELEC & POS REGTS W/ MANUF
14	PAYMENT TERMINAL	(1) FRONT COUNTER (1) D/T POS	100-240V	0.5	20A/1P	NO	RJ45	VERIFY ALL ELEC & POS REGTS W/ MANUF	
14a	VERIFONE SWITCH	(1) FRONT COUNTER (1) D/T POS							CONNECTED TO POS (1)
20	OPTIONAL ORDER STATUS BOARD	(1) FRONT COUNTER							COORD W/ FRANCHISEE PRIOR TO ORDERING
OTHER COMMUNICATION DEVICES									
15	DRIVE THRU (DT) TIMER CONSOLE	OFFICE	120V	N/A		NO	RS232	MUST BE WITHIN 60FT OF DISPLAY	
16	DT TIMER VDU DISPLAY	NEAR DT, VISIBLE TO ENTIRE SERVICE AREA	LOW VOLT	N/A		NO			
PHONE & DATA LINES									
18	SPARE	OFFICE	LOW VOLT	N/A		N/A	RJ45		
19a	SPARE	OFFICE	LOW VOLT	N/A		N/A	RJ45		
20	FAX LINE	OFFICE	LOW VOLT	N/A		N/A	RJ45	FAX LINE FOR OFFICE	
21	PHONE LINE	OFFICE	LOW VOLT	N/A		N/A	RJ45	PHONE LINE FOR OFFICE	
23	HIGH SPEED INTERNET LINE (MS)	OFFICE	LOW VOLT	N/A		N/A	RJ45	FOR SITE CONTROLLER & BOH PC	
24	SYSTEM SECURITY DVR	SECURITY SYSTEM	LOW VOLT	N/A		N/A	RJ45	PLUS5 INTO ROUTER PORT#2	
25	DIGITAL MENU BOARD	OFFICE/SERVICE AREA	LOW VOLT	N/A		N/A	RJ45	PLUS5 INTO ROUTER PORT#4	
26	WIFI	OFFICE	LOW VOLT	N/A		N/A	RJ45	PLUS5 INTO ROUTER PORT#5	
26a	SECONDARY WIFI ACCESS POINT (OPT)	OFFICE	LOW VOLT	N/A		N/A	RJ45	PLUS5 INTO ROUTER	
27	OTT VOIP (PHONE)	OFFICE	LOW VOLT	N/A		N/A	RJ45	PLUS5 INTO ROUTER	
MUSIC SYSTEM									
28	MUSIC PLAYER	OFFICE							
WORKSTATION									
31	MANAGER'S WORKSTATION	OFFICE							
32	MANAGER'S WORKSTATION (OPT)								
FIREWALL									
33	FIREWALL	OFFICE	LOW VOLT	N/A		N/A	RJ45		
34	BROADBAND MODEM	OFFICE	LOW VOLT	N/A		N/A	RJ45		
35	TEMPORARY WIRELESS BROADBAND DIAL-UP DATA SOLUTION	OFFICE							
SWITCHES									
38	SWITCH	OFFICE							
39	DD UTILITY SWITCH (OPT)	OFFICE							
40	DVR NETWORK SWITCH	OFFICE							
41	DIGITAL MENU BOARD SWITCH	OFFICE							
42	KIOSK SWITCH	OFFICE							
MENU BOARD									
45	INT DIGITAL MENU BOARDS								
46	EXT DIGITAL MENU BOARDS	EXTERIOR DRIVE THRU							
48	ORDER CONFIRMATION BOARD	EXTERIOR DRIVE THRU							



4 OFFICE ELEVATIONS
E1.2 SCALE: NOT TO SCALE

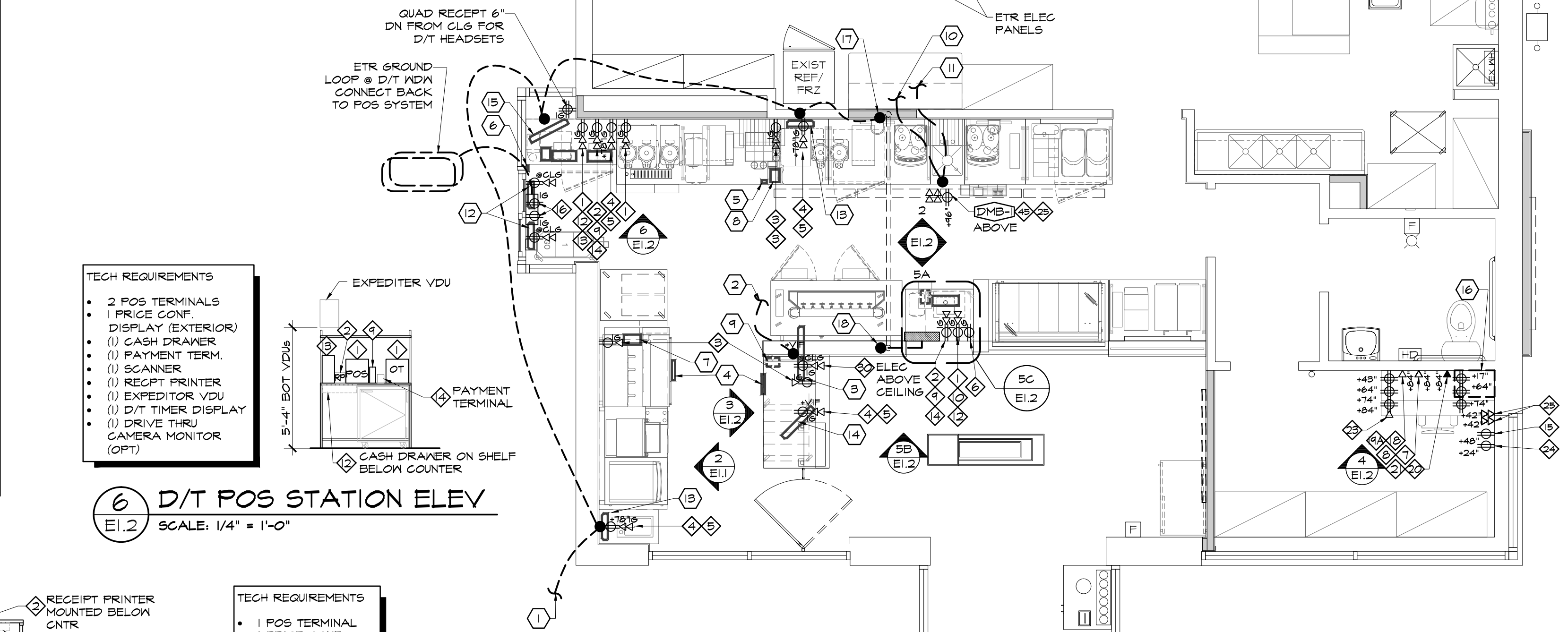


5 HAND OFF STATION ELEV
E1.2 SCALE: 1/4" = 1'-0"

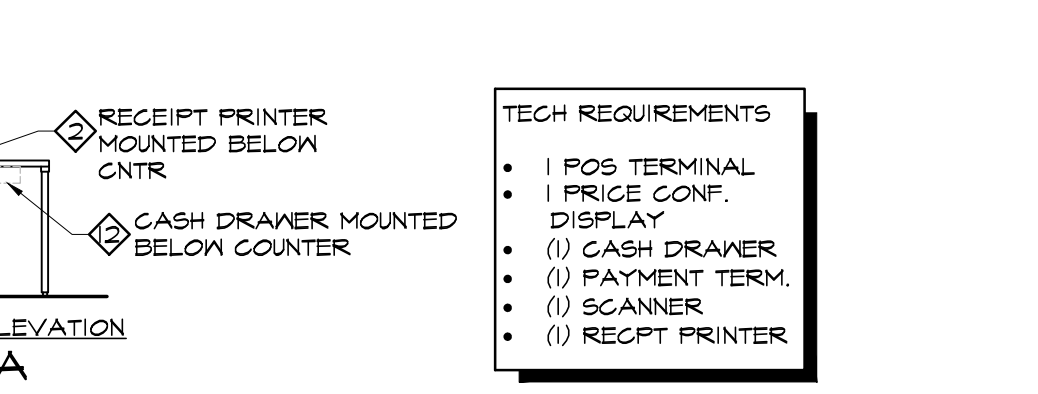


2 BEVERAGE STATION ELEV
E1.2 SCALE: 1/4" = 1'-0"

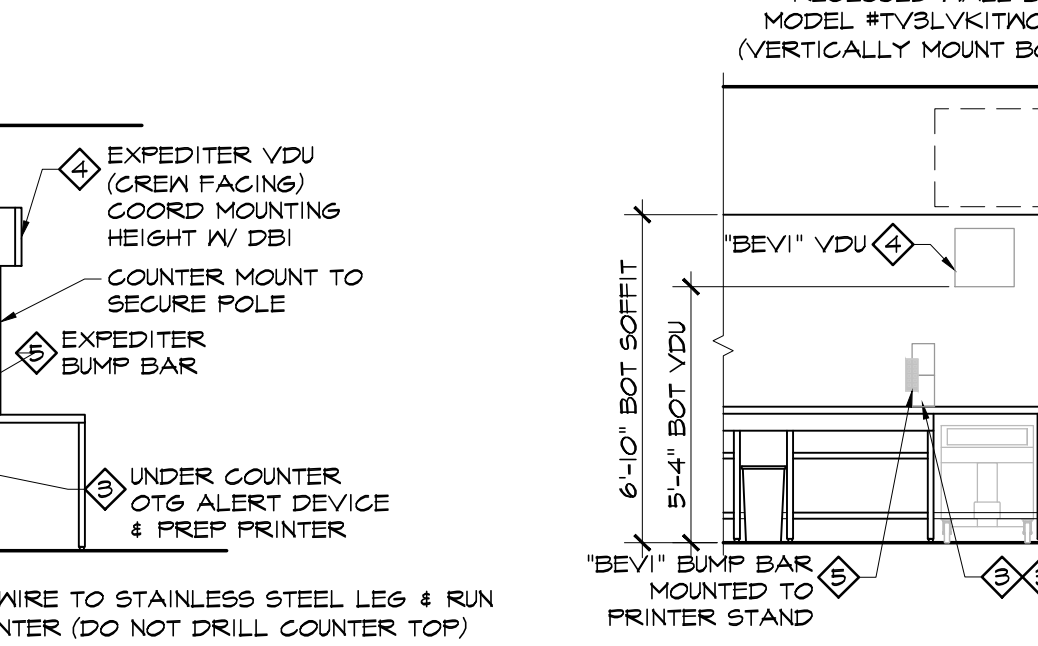
7 TECHNOLOGY SCHEMATIC
SCALE: NOT TO SCALE



6 D/T POS STATION ELEV
E1.2 SCALE: 1/4" = 1'-0"



3 POS STATION ELEVATIONS
E1.2 SCALE: 1/4" = 1'-0"



5 POS STATION ELEVATIONS
E1.2 SCALE: 1/4" = 1'-0"

DIGITAL MENU BOARD RESPONSIBILITIES:

GC POWER/DATA RESPONSIBILITY

- GC TO RUN DEDICATED CONDUIT FROM POWER PANEL TO JUNCTION BOX ON BACK SIDE OF MENU BOARD FASCIA AT CENTER LINE OF POS
- GC TO RUN CONDUIT WITH J-BOX FROM BACK SIDE OF MENU BOARD FASCIA AT CENTERLINE OF POS TO OFFICE

DMB VENDOR POWER/DATA RESPONSIBILITY

- CUT HOLE IN MENU BOARD FASCIA FOR POWER/DATA STACK
- INSTALL POWER/DATA STACK IN FASCIA
- RUN ELECTRICAL CONDUCTOR WIRE FROM MENU BOARD FASCIA TO ELECTRICAL PANEL
- MAKE FINAL ELECTRICAL CONNECTION AT POWER/DATA STACK
- MAKE FINAL ELECTRICAL CONNECTION TO CIRCUIT AT POWER PANEL
- RUN CAT-5E CABLES AND TERMINATE ENDS AT MENU BOARD FASCIA POWER/DATA STACK AND IN OFFICE

*PRIOR TO BIDDING OR PERFORMING WORK GC TO COORDINATE WITH AUTHORITY HAVING JURISDICTION (AHJ). AHJ MAY REQUIRE FULL WIRE PREP BY GC TO ALERT CM, FEE AND DMB INSTALLER IF GC MUST PERFORM ALL ELECTRICAL INSTALL WORK.

CONDUIT NOTES:

- DMB PROVIDE (8) CAT 5 WIRE PULLS FROM (2) QUAD DATA OUTLETS IN MENU BOARD SOFFIT TO (2) QUAD DATA OUTLETS IN OFFICE WALL
- 2 CONDUITS MIN SHALL BE USED BETWEEN OFFICE & OTHER PARTS OF THE STORE
- 1 CONDUIT FOR POS WIRING ONLY
- 1 CONDUIT FOR NON-POS ITEMS

KEYED PLAN NOTES

- 1 CONNECT BACK TO EXIST POWER / POS CONDUITS.
- 2 PVC CONDUIT WITH FULL STRING FROM ORDER STATUS BOARD TO OFFICE.
- 3 GC TO SUPPLY & INSTALL CEILING HUNG MOUNT FOR ORDER STATUS BOARD. COORD W/ MANUF REGTS. SEE A1.9.
- 4 BUMP BAR LOCATED ON FACE OF COUNTER / EQUIP.
- 5 BUMP BAR MOUNTED TO PRINTER STAND (VIF).
- 6 BUMP BAR VERTICAL ON MULLION.
- 7 PREP PRINTER LOCATED ON COUNTER / EQUIP.
- 8 (2) STACKED PREP PRINTERS ON SHELF.
- 9 OTS PRINTER LOCATED UNDER COUNTER.
- 10 1" PVC CONDUIT WITH FULL STRINGS FROM MENU BOARD SOFFIT TO OFFICE.
- 11 CONDUIT ABOVE CEILING WITH FULLSTRINGS FROM MENU BOARD SOFFIT TO DMB ELECTRICAL CIRCUIT IN PANEL BOARD.
- 12 PROVIDE POWER & DATA FOR DT TIMER & CAMERA DISPLAYS AS REQ'D.
- 13 WALL MOUNTED VDU.
- 14 COUNTER MOUNTED VDU.
- 15 CEILING MOUNTED VDU.
- 16 MEDIA CABINET 'NAVEPOINT' MODEL 6U - ENSURE SPACE ON ALL SIDES FOR VENTILATION.
- 17 JBOX IN WALL @ 18" AF, EXTEND CONDUIT UNDER SLAB TO JBOX @ MILLWORK KNEEWALL.
- 18 JBOX IN MILLWORK KNEEWALL @ 18" AF, EXTEND CONDUIT THRU MILLWORK CHASE AS REQUIRED.

AHARONIAN & ASSOCIATES INC. ARCHITECTS

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Smithfield, Rhode Island
0 2 9 1 7

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REVISIONS		
NUMBER	REMARKS	DATE

FOR CONSTRUCTION

PROJECT TITLE

DUNKIN'

PC# 307396
IMAGE: NEXTGEN WARM PALETTE

531 ISLINGTON STREET
PORTSMOUTH, NH 03801
Rockingham County

DRAWING TITLE

POS COMM PLAN, SCHEDULE & DETAILS

DATE	NOV 19, 2021	PROJ NO	21057
DRAWN BY	JAA	CHECKED BY	AH

DRAWING NUMBER

E1.2

**LU-22-29**

Land Use Application

Status: Active**Date Created:** Feb 22, 2022**Applicant**

Jeff Halldorson
halldorson42@icloud.com
99 Brackett RD
Rye, NH 03870
603-828-9401

Location

75 GATES ST
Portsmouth, NH 03801

Owner:

KOZEL DAVID FRANK & KOZEL ELLEN BRACHFELD
75 GATES ST PORTSMOUTH, NH 03801

Applicant Information**Please indicate your relationship to this project**

B. Property Owner's Representative

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☒

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

☐

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

☐

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

☐

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

☐

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

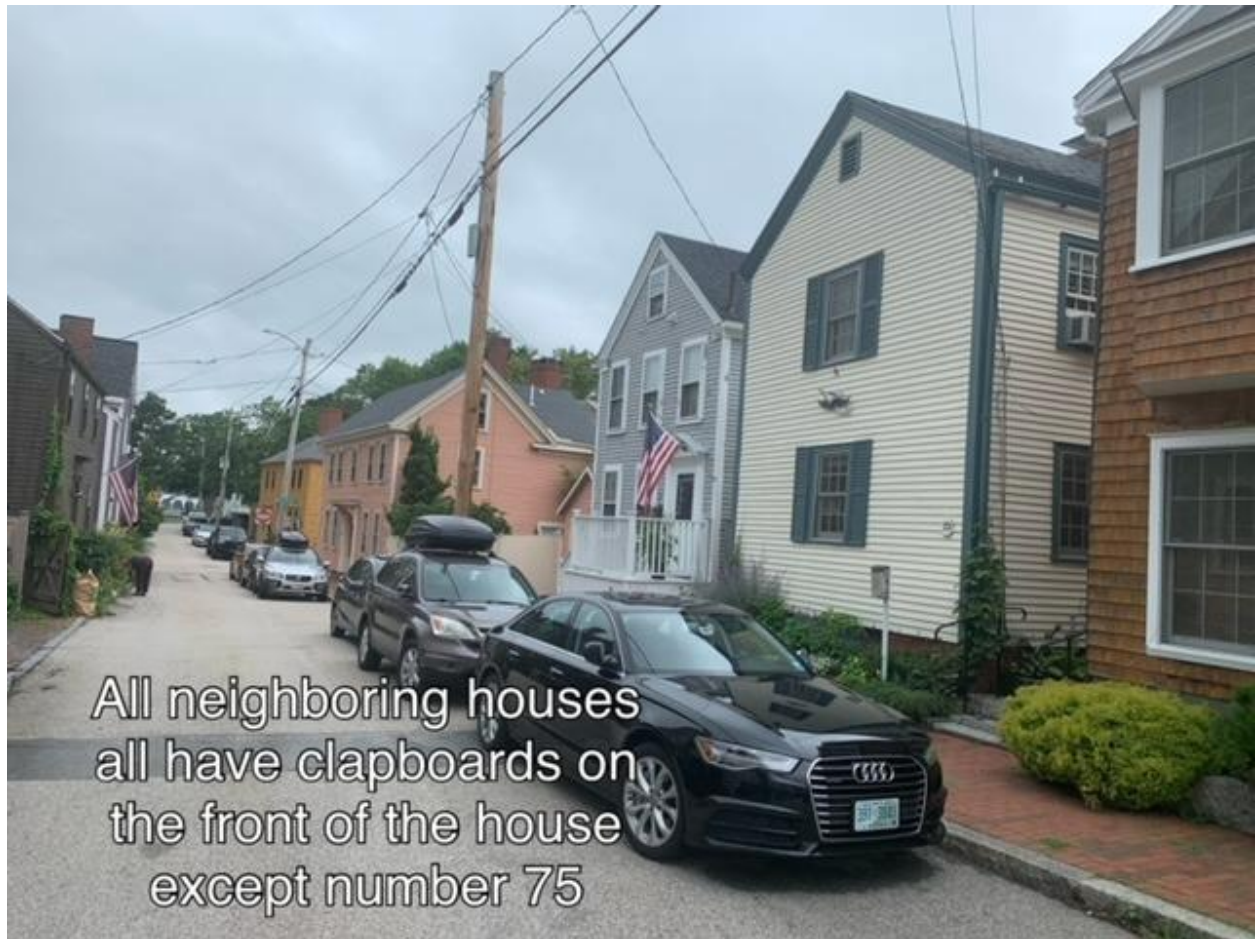
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Request for Extension of Previously Granted Land Use Approval

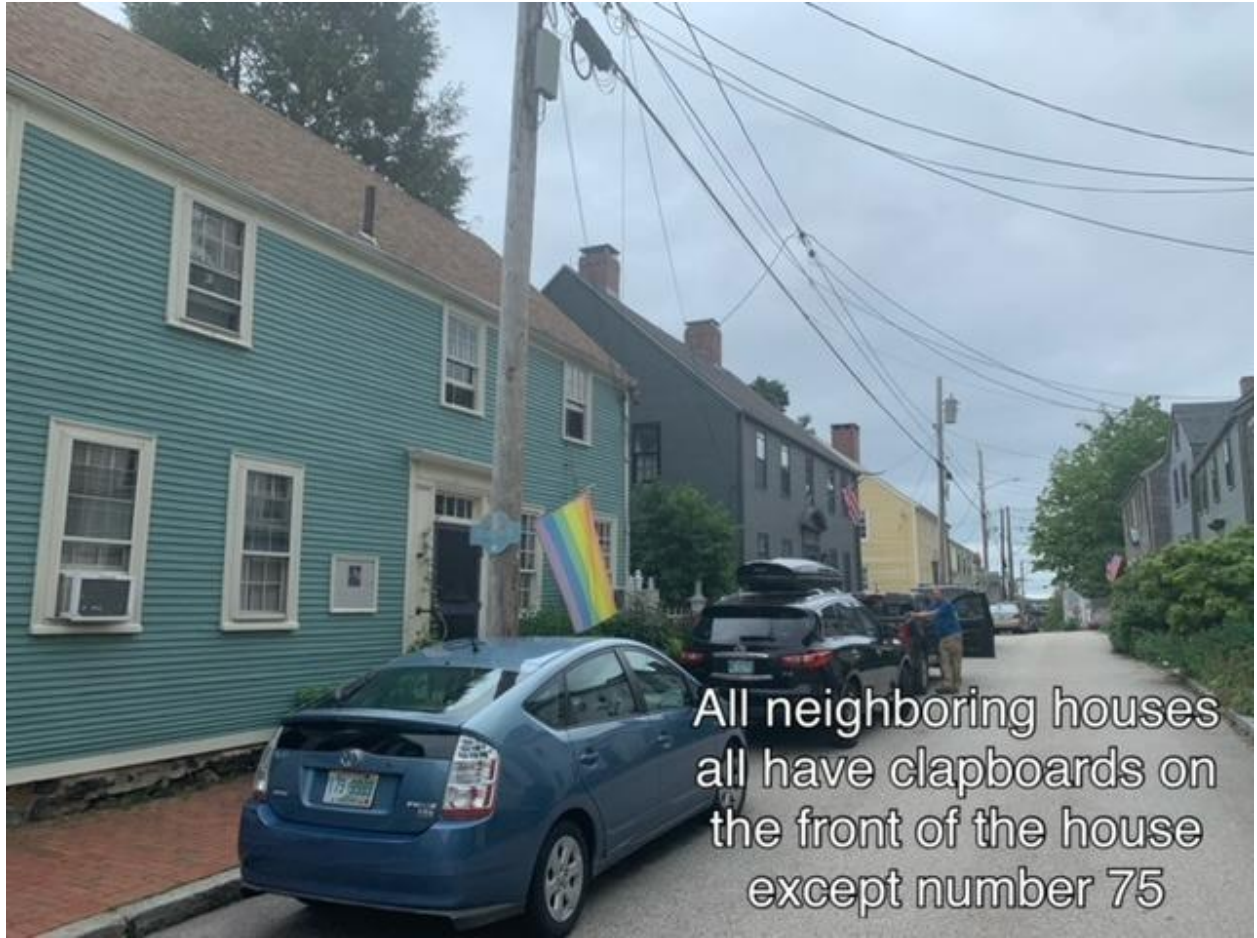


Existing Cedar shingles- proposed to switch to cedar clapboards.





All neighboring houses
all have clapboards on
the front of the house
except number 75



All neighboring houses
all have clapboards on
the front of the house
except number 75



**LU-20-249**

Land Use Application

Status: Active**Date Created:** Dec 22, 2020**Applicant**

Anne Whitney
archwhit@aol.com
9 Sheafe St
Portsmouth, NH 03801
603-427-2832

Location

45 RICHMOND ST
Portsmouth, NH 03801

Owner:

HOLMES CHERIE A & GOLDSBERRY YVONNE P
1087 COUNTY RD WALPOLE, NH 03608

Applicant Information**Please indicate your relationship to this project**

B. Property Owner's Representative

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



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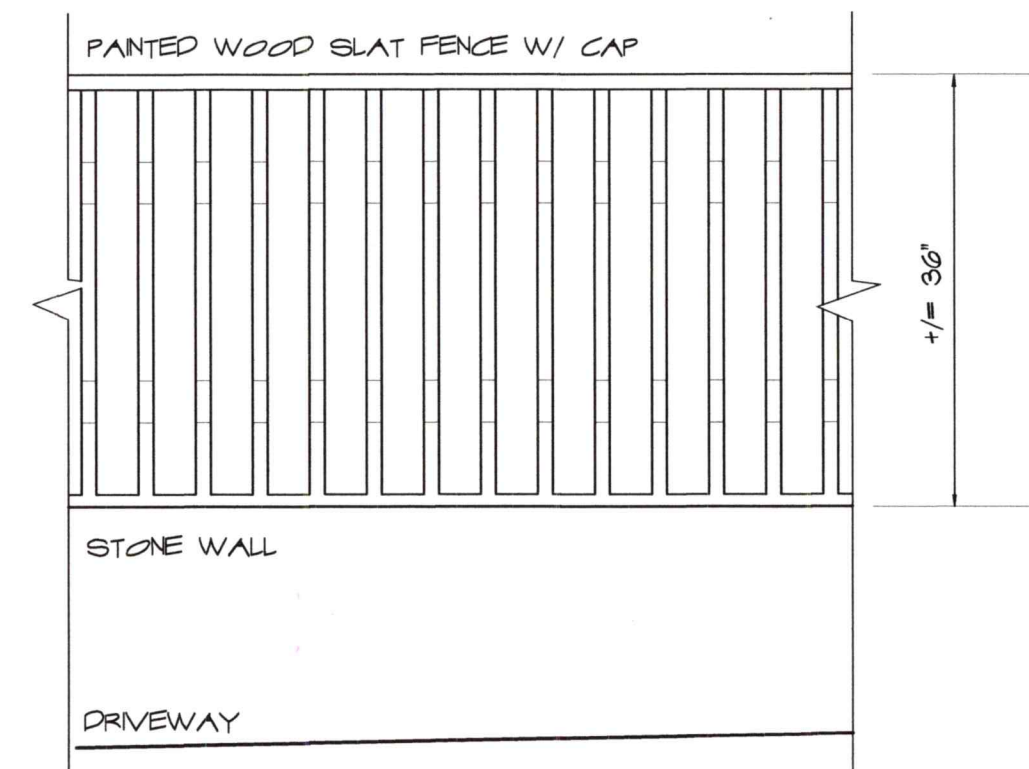
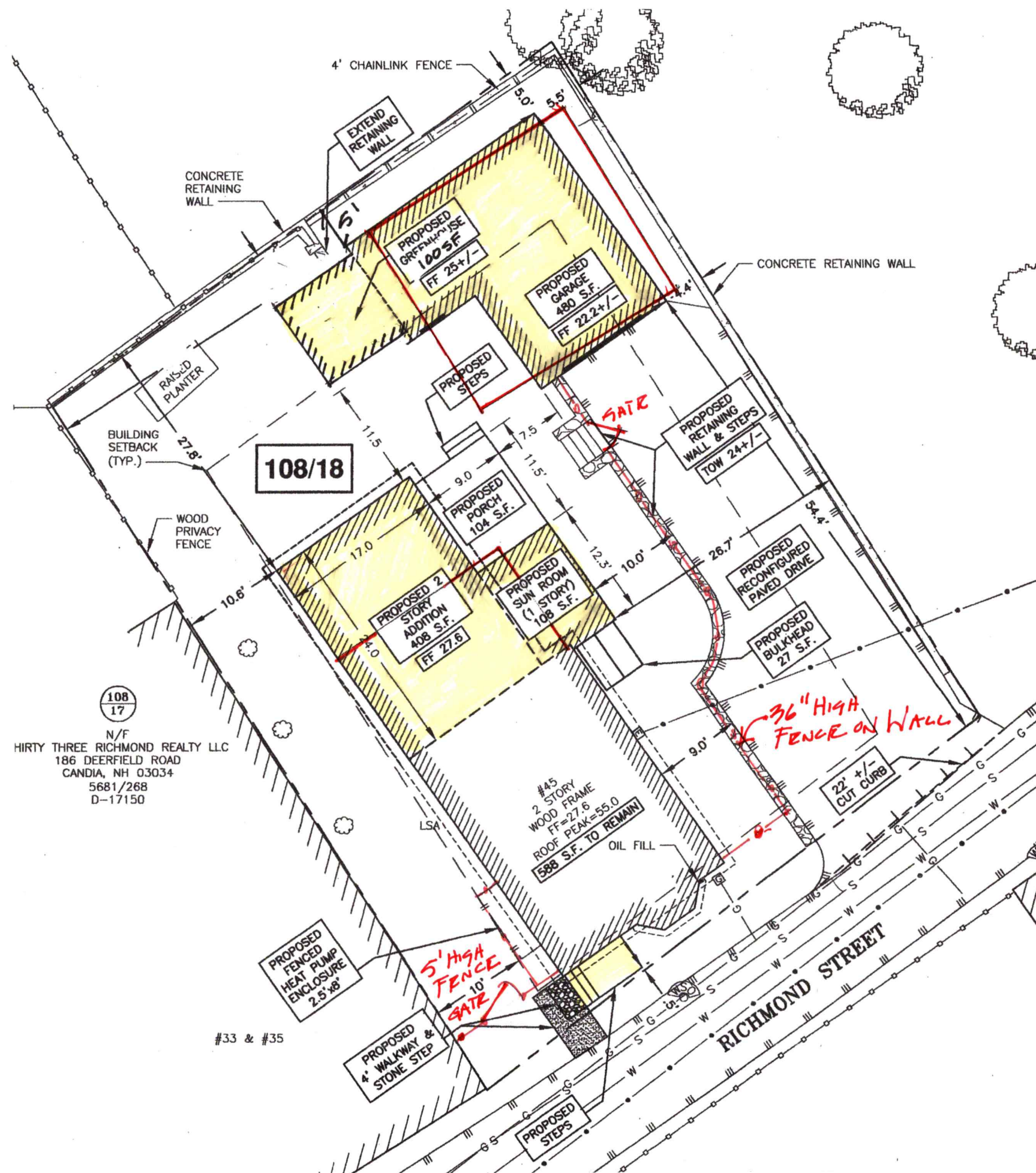
Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval



Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



Request for Extension of Previously Granted Land Use Approval



SCHEMATIC LOT PLAN
NOT TO SCALE

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

ANNE WHITNEY ARCHITECT

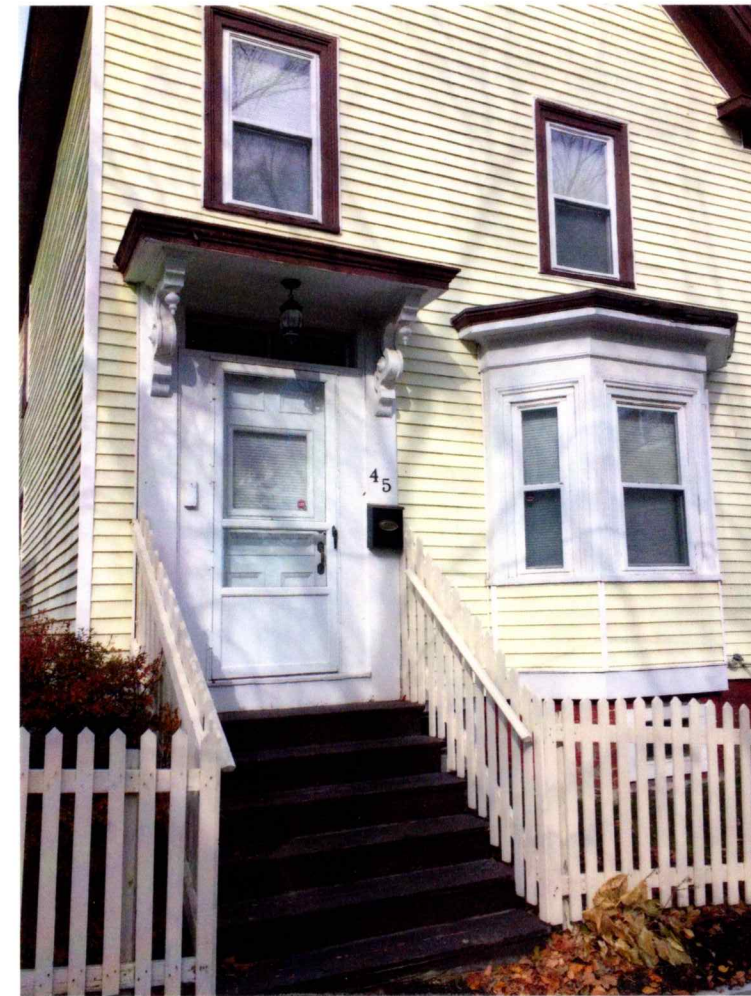
Project: # 2008	Date: 2/10/21	1 OF 8
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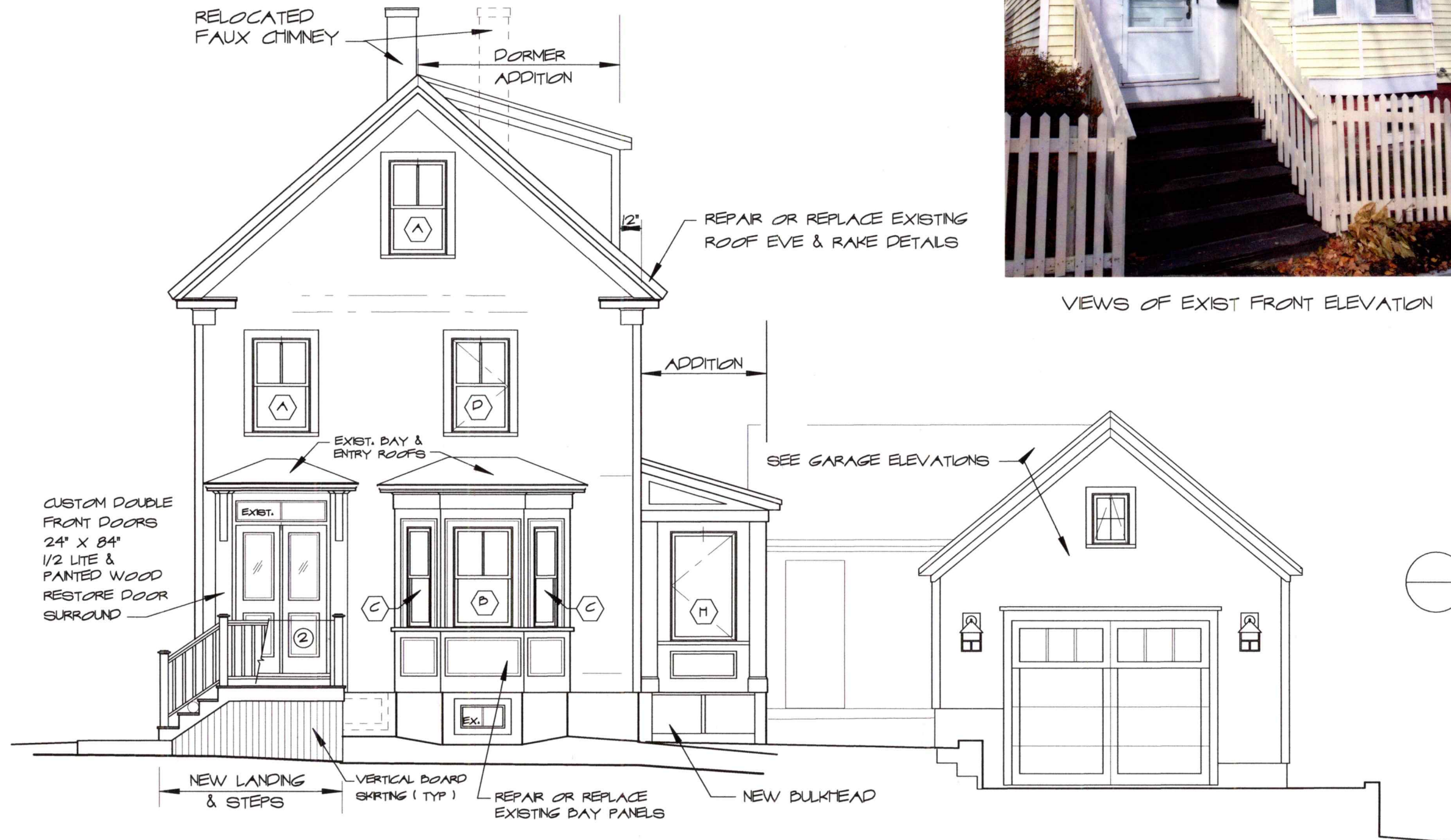
EXIST GARAGE FRONT ELEVATION



VIEW FROM MANCOCK STREET



VEWS OF EXIST FRONT ELEVATION



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

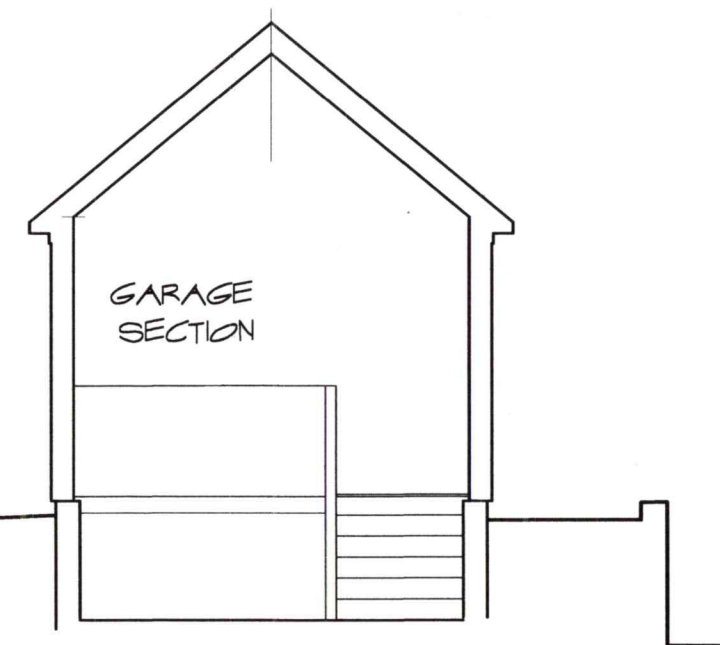
AW

ANNE WHITNEY ARCHITECT

Project:	Date:	2 OF 8
2008	2/10/21	



1-STORY ADDITIONS TO BE REMOVED



VEWS OF EXIST EAST ELEVATION

EAST, RIGHTSIDE ELEVATION
SCALE : 3/16" = 1'-0"

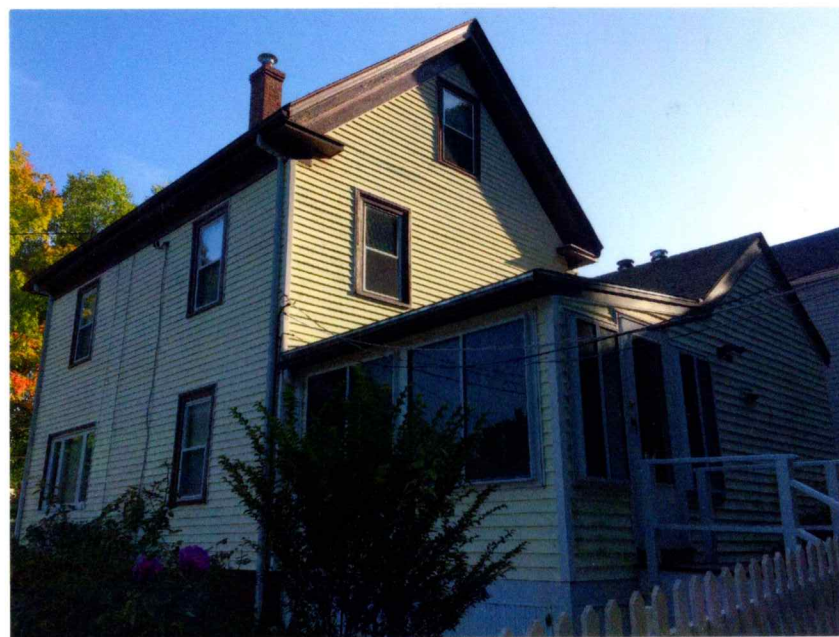
9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

ANNE WHITNEY ARCHITECT

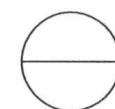
Project:	Date:	3 OF 8
# 2008	2/10/21	



EXIST REAR ELEVATION



VIEW FROM REAR YARD



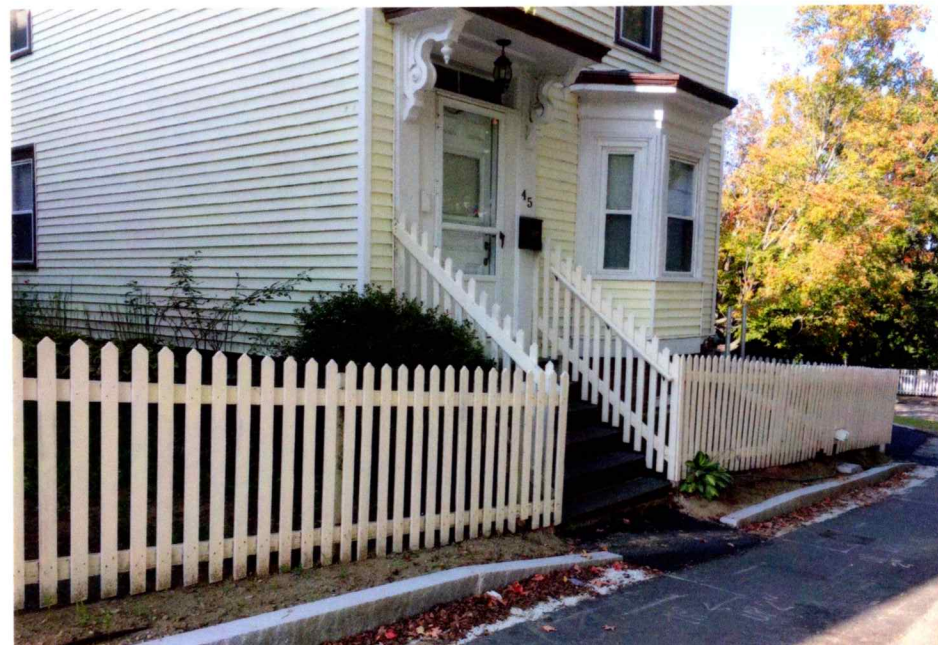
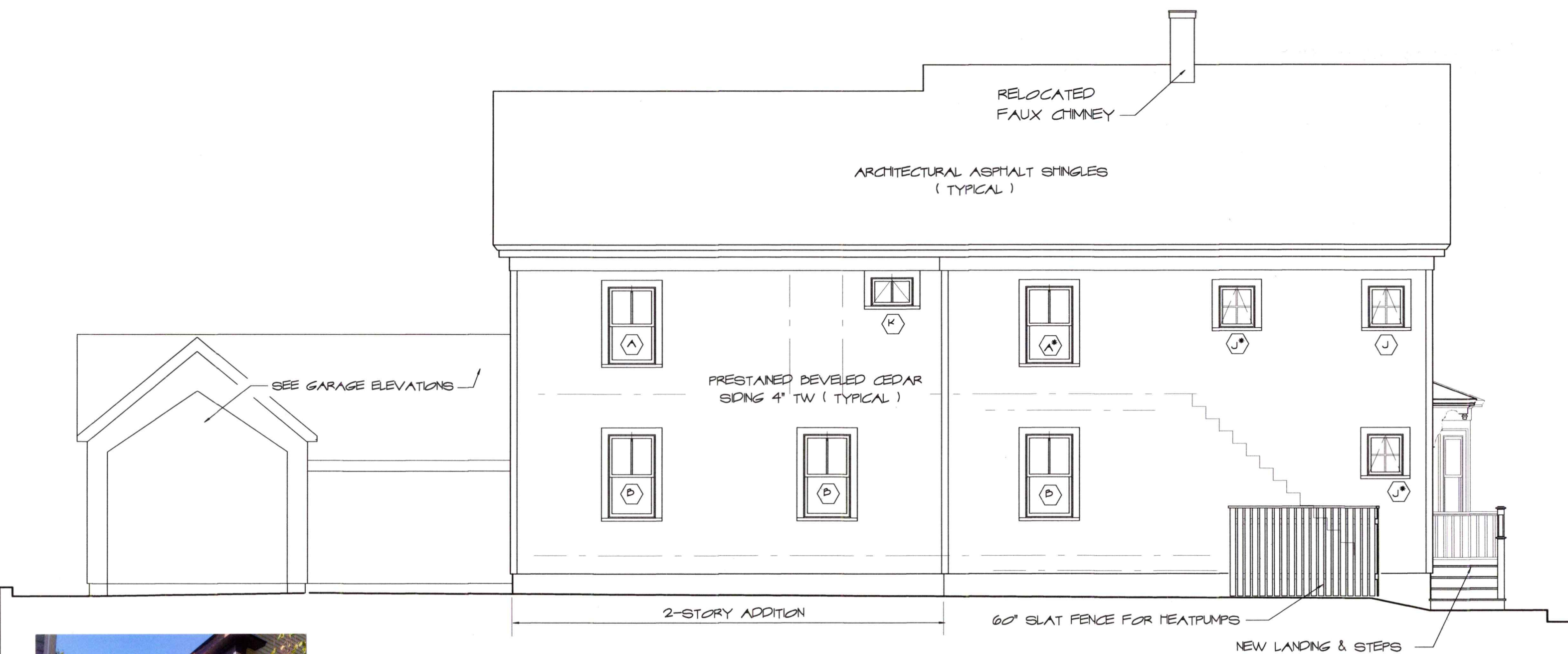
REAR ELEVATION
SCALE : 3/16" = 1'-0"

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832



ANNE WHITNEY ARCHITECT

Project:	Date:	
2008	2/10/21	4 OF 8



VIEWS OF EXIST WEST ELEVATION

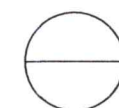
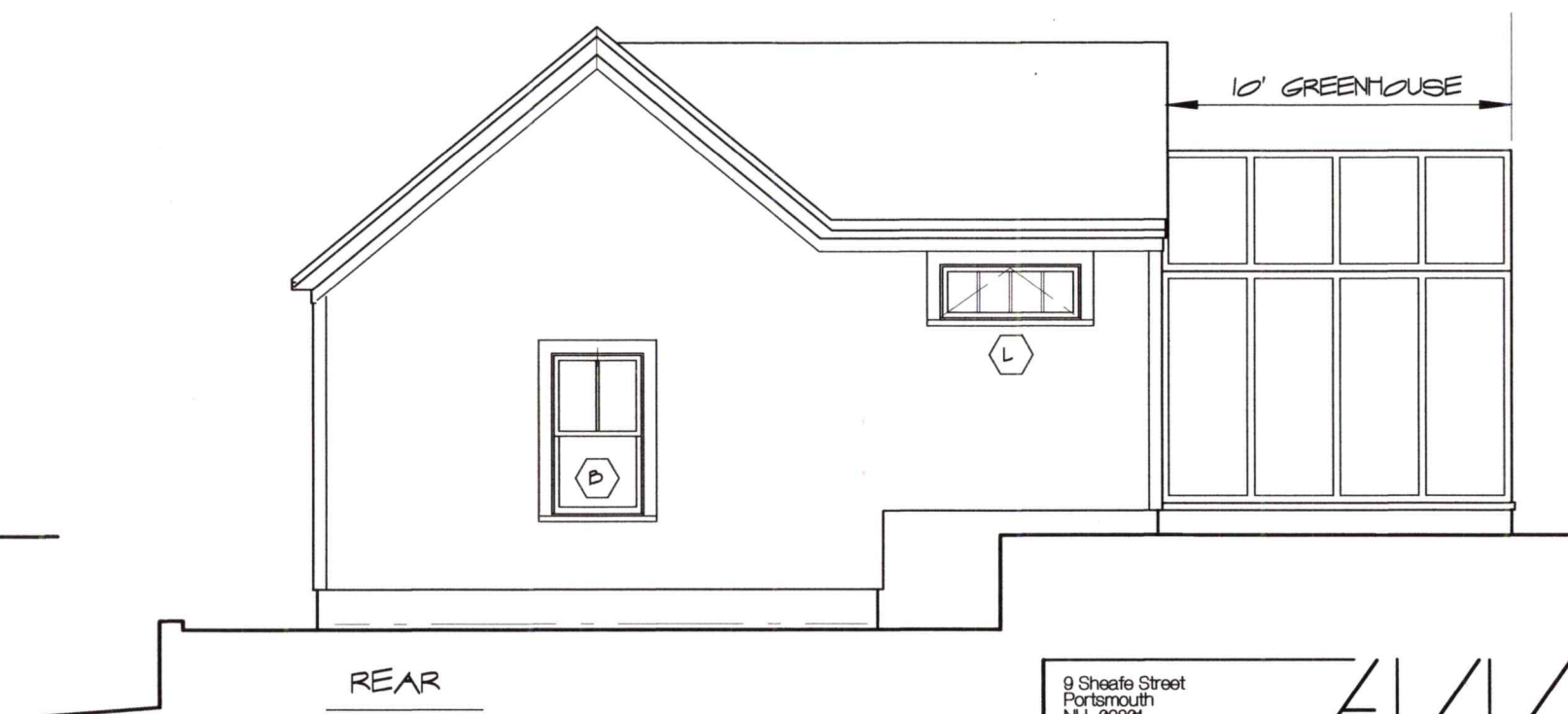
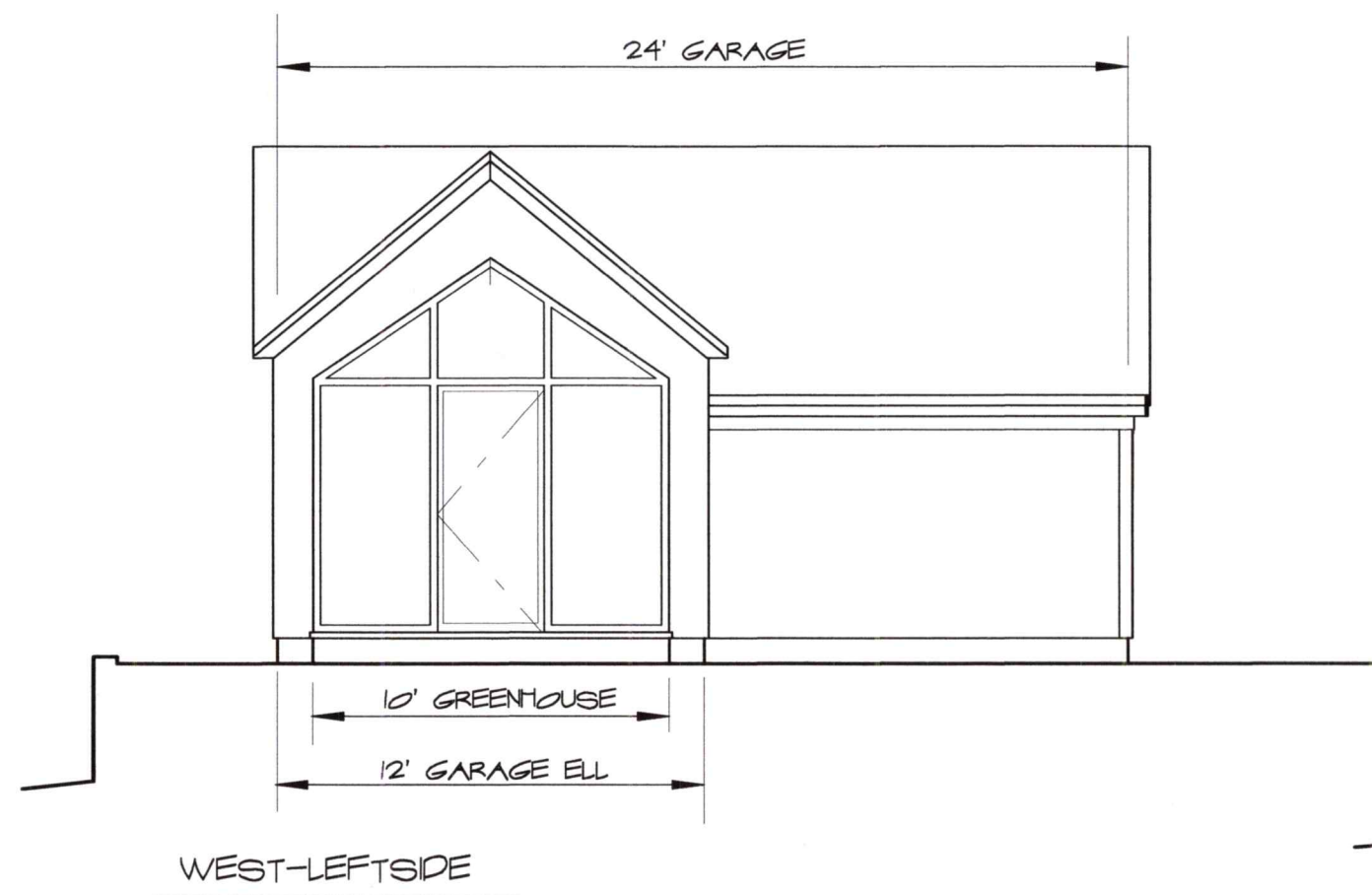
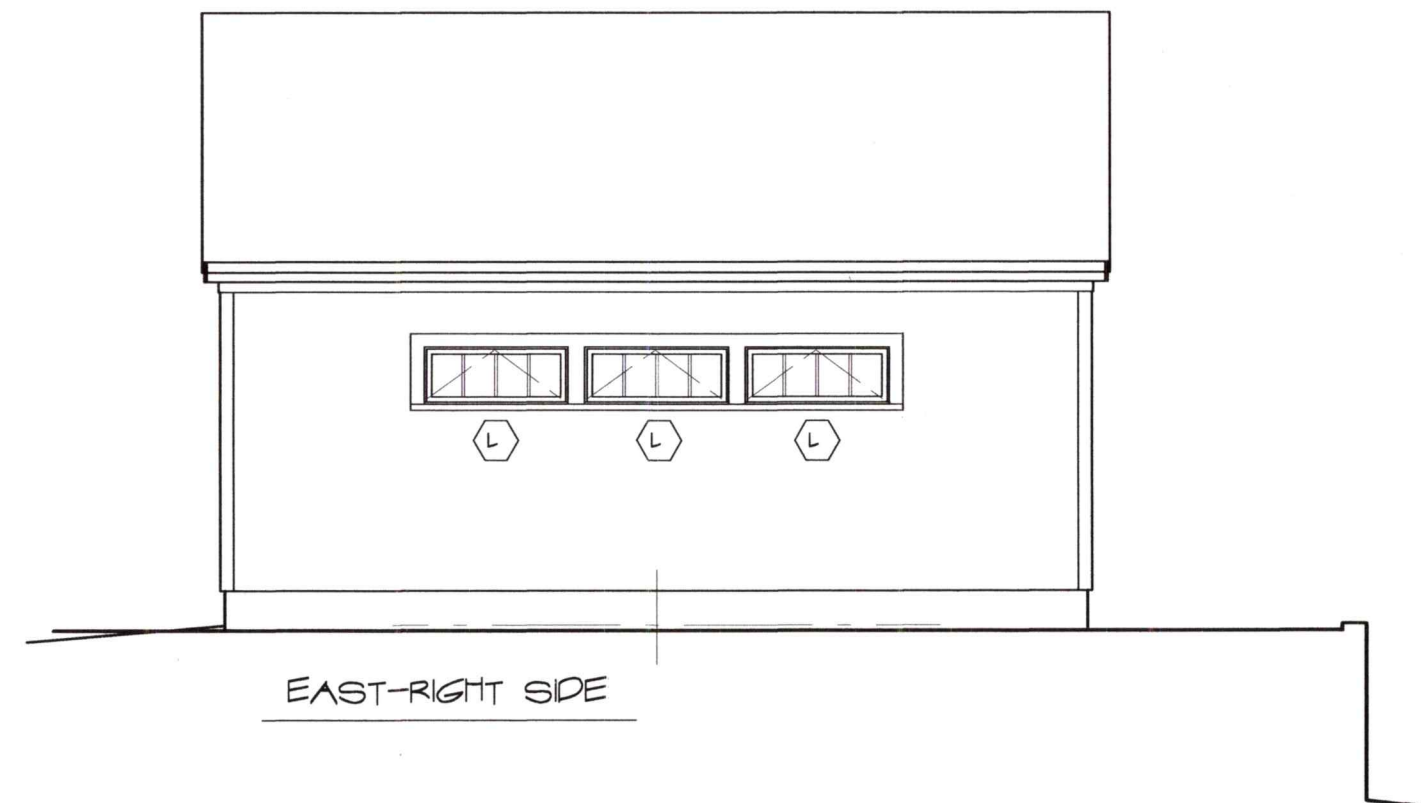
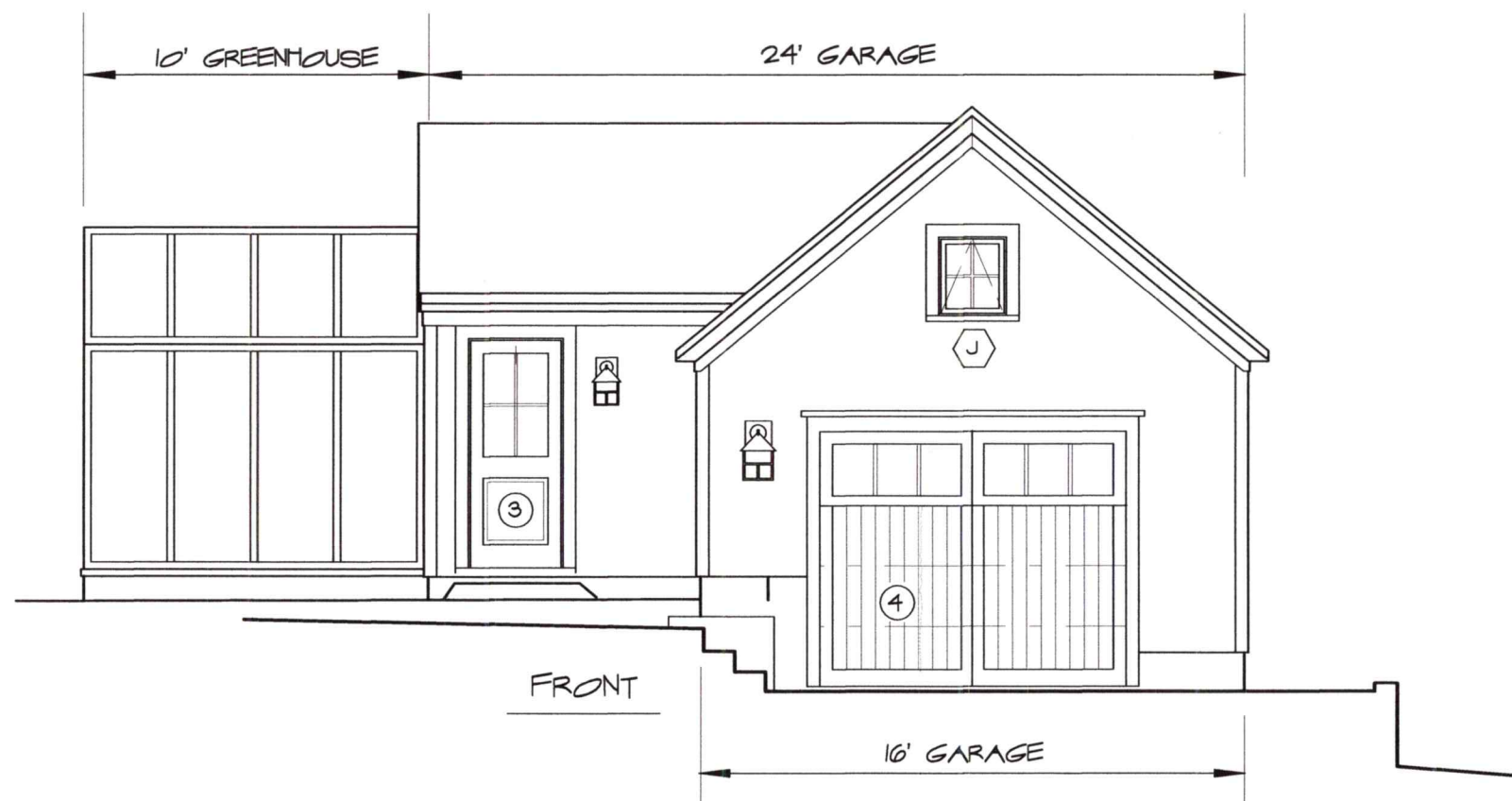
WEST, LEFTSIDE ELEVATION
SCALE : 3/16" = 1'-0"

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

AW

ANNE WHITNEY ARCHITECT

Project:	Date:	
* 2008	2/10/21	5 OF 8



GARAGE & GREENHOUSE ELEVATIONS
SCALE : 3/16" = 1'-0"

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

AW

ANNE WHITNEY ARCHITECT

Project:















Date:

2008





2/10/21

6 OF 8

W I N D O W S C H E D U L E

SYM.	UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
	ELDH 3252	2/1	2' 8 1/2" X 4' 4 1/4"	MARVIN, "ELEVATE", WOOD-ULTREX DOUBLEHUNG 7/8" SDL, Low E Glazing, Color - Stone White, hardware to be chosen by OWNER.	10
	Tempered				1 temp
	ELDH 3256	2/1	2' 8 1/2" X 4' 8 1/4"	DITTO	10
	ELDH 2256	1/1	1' 10 1/2" X 4' 8 1/4"	DITTO	2
	ELCA 3252 Egress	2/1 match ELDH	2' 8 1/2" X 4' 4 1/4"	MARVIN, "ELEVATE", WOOD-ULTREX CASEMENT SDL'S to match Double hung 2/1, Low E Glazing, Color - Stone White, hardware to be chosen by OWNER.	1 L
	ELCA 2952 Egress	2/1 match ELDH	2' 5" X 4' 4 1/4"	DITTO	1 L 1 R
	ELCA 2555 2 wide	1/1	4' 1" X 4' 7 5/8"	DITTO, 2 wide & meeting rail SDLto match Double Hung	2
	ELCA 3343 Egress	4	2' 9" X 3' 7 5/8"	MARVIN, "ELEVATE", WOOD-ULTREX CASEMENT 7/8" SDL, Low E Glazing, Color - Stone White, hardware to be chosen by OWNER.	2 L 2 R
	ELCA 3759	1	3' 1" X 4' 11 5/8"	DITTO	2 L 1 R 1 Fix
	ELAWN 3339	4	2' 9" X 3' 3 5/8"	MARVIN, "ELEVATE", WOOD-ULTREX AWNING 7/8" SDL, Low E Glazing, Color - Stone White, hardware to be chosen by OWNER.	2
	ELAWN 2527	4	2' 1" X 2' 3 5/8"	DITTO	3
				DITTO, Tempered	2
	ELAWN 2919	2	2' 5" X 1' 7 5/8"	DITTO, Tempered	1
	ELAWN 4919	4	4' 1" X 1' 7 5/8"	DITTO	2

E X T E R I O R D O O R S C H E D U L E

SYM.	SIZE W X H	HARDWARE	TYPE
	11FD 2868 XR RO = 2' 9 5/16" x 6' 10 1/2"	lockset by manuf.	MARVIN, "ELEVATE", WOOD-ULTREX INSWING FRENCH DOOR W/ Low E Glazing, Color - Stone White, Hardware to be chosen by OWNER.
	2, 24" x +/-84" Double Front door	lockset by owner	Custom Wood Doors painted with 1/2 lite
	4 Lite 3' 0" x 6' 8" mod# S6021	lockset by owner	TERMA-TRU, Smooth Star model # S6021 with 4 lite SDL, Low-E Glass.
	9' 0" x 7' 6"	lockset by manuf.	GENERAL DOOR CORP., Cambridge Series Insulated Wood Composite OH Door, 2 Panel V-Groove, 6 Lite, as shown on Elevation.

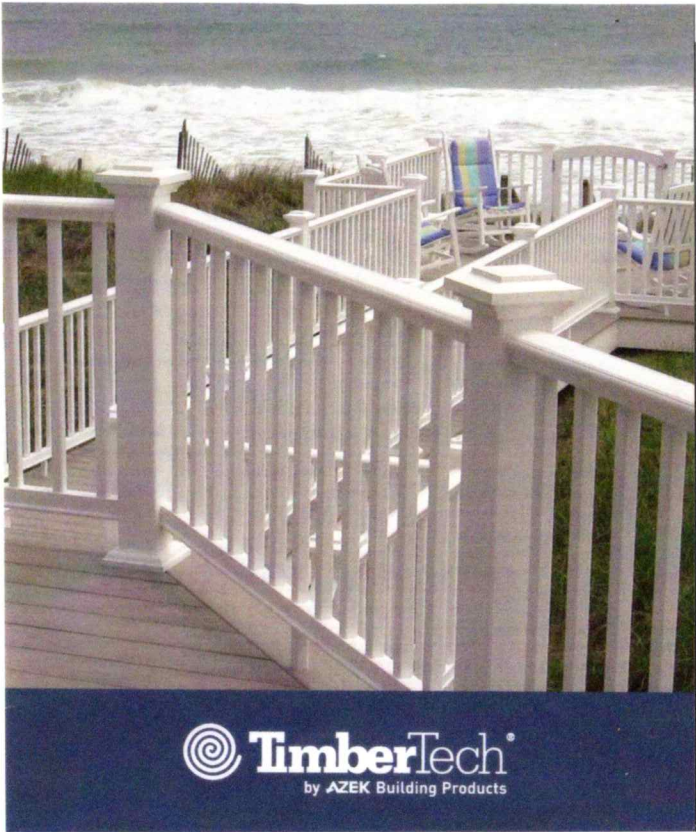
WINDOW & EXTERIOR DOOR NOTED:

- SUBMIT FINAL WINDOW / EXTERIOR DOOR ORDER TO ARCHITECT FOR REVIEW BEFORE ORDERING
- BUILDER TO VERIFY ROUGH OPENINGS BEFORE FRAMING.

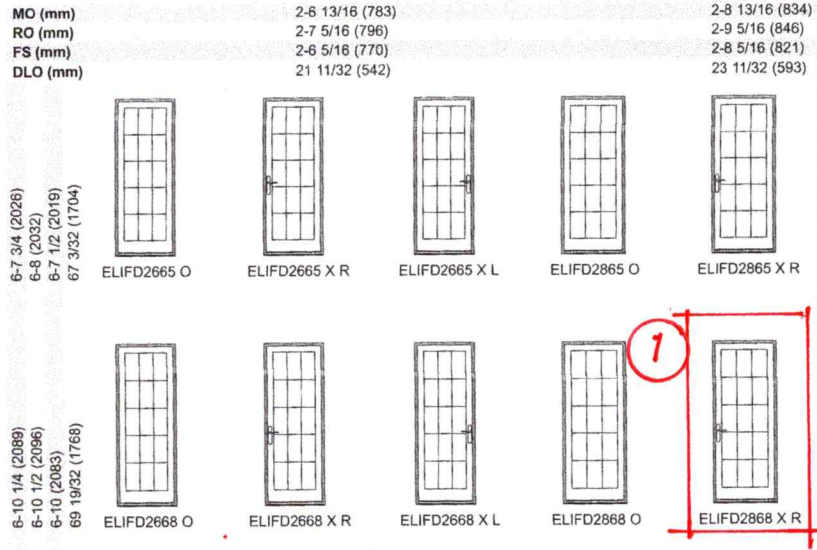
"TIMBERTECH" PORCH & STAIR RAILS

CLASSIC COMPOSITE SERIES

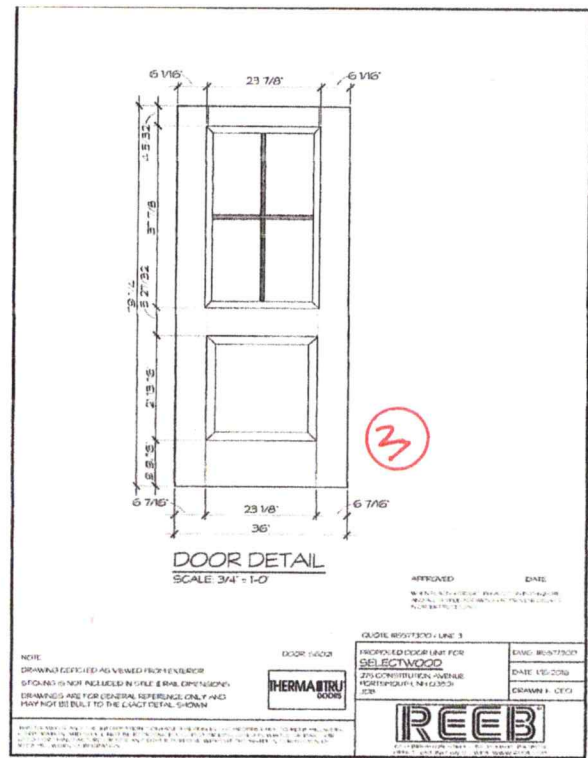
- 4" SQUARE POSTS WITH "ISLAND" CAP & SKIRT
- 3.5"W "PREMIER" RAIL & SUBRAIL
- 1.25" BALLISTERS, 4" MAX OPENING



INSWING FRENCH DOOR



PORCH DOOR



DOOR FROM GARAGE

9 Sheafe Street Portsmouth NH 03801 603-427-2832		
ANNE WHITNEY ARCHITECT		
Project:	Date:	7 OF 8
* 2008	2/10/21	

MARVIN ELEVATE™ COLLECTION
DOUBLE HUNG

MO (mm) RO (mm) FS (mm) DLO (mm)	1-10 (559) 1-10 1/2 (572) 1-9 1/2 (546) 1-3 11/16 (398)	2-2 (660) 2-2 1/2 (673) 2-1 1/2 (648) 1-7 11/16 (500)	2-6 (762) 2-6 1/2 (775) 2-5 1/2 (749) 1-11 11/16 (602)	2-8 (813) 2-8 1/2 (826) 2-7 1/2 (800) 2-1 11/16 (652)	2-10 (864) 2-10 1/2 (876) 2-9 1/2 (851) 2-3 11/16 (703)
3-0 (914) 3-0 1/4 (921) 2-11 3/4 (908) 1-1 11/16 (348)	(S.O. 1-8 x 2-10) ELDH2236	(S.O. 2-0 x 2-10) ELDH2636	(S.O. 2-4 x 2-10) ELDH3036	(S.O. 2-6 x 2-10) ELDH3236	(S.O. 2-8 x 2-10) ELDH3436
3-4 (1016) 3-4 1/4 (1022) 2-11 3/4 (908) 1-3 11/16 (398)	(S.O. 1-8 x 3-2) ELDH2240	(S.O. 2-0 x 3-2) ELDH2640	(S.O. 2-4 x 3-2) ELDH3040	(S.O. 2-6 x 3-2) ELDH3240	(S.O. 2-8 x 3-2) ELDH3440
3-8 (1118) 3-8 1/4 (1124) 3-7 3/4 (1111) 1-5 11/16 (449)	(S.O. 1-8 x 3-6) ELDH2244	(S.O. 2-0 x 3-6) ELDH2644	(S.O. 2-4 x 3-6) ELDH3044	(S.O. 2-6 x 3-6) ELDH3244	(S.O. 2-8 x 3-6) ELDH3444
4-0 (1219) 4-0 1/4 (1226) 3-11 3/4 (1213) 1-7 11/16 (500)	(S.O. 1-8 x 3-10) ELDH2248	(S.O. 2-0 x 3-10) ELDH2648	(S.O. 2-4 x 3-10) ELDH3048	(S.O. 2-6 x 3-10) ELDH3248	(S.O. 2-8 x 3-10) ELDH3448
4-4 (1321) 4-4 1/4 (1327) 4-3 3/4 (1314) 1-9 11/16 (551)	(S.O. 1-8 x 4-2) ELDH2252	(S.O. 2-0 x 4-2) ELDH2652	(S.O. 2-4 x 4-2) ELDH3052	(S.O. 2-6 x 4-2) ELDH3252	(S.O. 2-8 x 4-2) ELDH3452
4-8 (1422) 4-8 1/4 (1429) 4-7 3/4 (1416) 1-11 11/16 (602)	(S.O. 1-8 x 4-6) ELDH2256	(S.O. 2-0 x 4-6) ELDH2656	(S.O. 2-4 x 4-6) ELDH3056	(S.O. 2-6 x 4-6) ELDH3256	(S.O. 2-8 x 4-6) ELDH3456
5-0 (1524) 5-0 1/4 (1530) 4-11 3/4 (1518) 2-1 11/16 (652)	(S.O. 1-8 x 4-10) ELDH2260	(S.O. 2-0 x 4-10) ELDH2660	(S.O. 2-4 x 4-10) ELDH3060	(S.O. 2-6 x 4-10) ELDH3260	(S.O. 2-8 x 4-10) ELDH3460
5-4 (1626) 5-4 1/4 (1632) 5-3 3/4 (1619) 2-3 11/16 (703)	(S.O. 1-8 x 5-2) ELDH2264	(S.O. 2-0 x 5-2) ELDH2664	(S.O. 2-4 x 5-2) ELDH3064	(S.O. 2-6 x 5-2) ELDH3264	(S.O. 2-8 x 5-2) ELDH3464
5-8 (1727) 5-8 1/4 (1734) 5-7 3/4 (1721) 2-5 11/16 (754)	(S.O. 1-8 x 5-6) ELDH2268	(S.O. 2-0 x 5-6) ELDH2668	(S.O. 2-4 x 5-6) ELDH3068	(S.O. 2-6 x 5-6) ELDH3268 E	(S.O. 2-8 x 5-6) ELDH3468 E
6-0 (1829) 6-0 1/4 (1835) 5-11 3/4 (1822) 2-7 11/16 (805)	(S.O. 1-8 x 5-10) ELDH2272	(S.O. 2-0 x 5-10) ELDH2672	(S.O. 2-4 x 5-10) ELDH3072	(S.O. 2-6 x 5-10) ELDH3272 E	(S.O. 2-8 x 5-10) ELDH3472 E
6-4 (1930) 6-4 1/4 (1937) 6-3 3/4 (1924) 2-9 11/16 (856)	(S.O. 1-8 x 6-2) ELDH2276	(S.O. 2-0 x 6-2) ELDH2676	(S.O. 2-4 x 6-2) ELDH3076 E	(S.O. 2-6 x 6-2) ELDH3276 E	(S.O. 2-8 x 6-2) ELDH3476 E

MARVIN ELEVATE™ COLLECTION
CASEMENT

MO (mm) RO (mm) FS (mm) DLO (mm)	1-4 1/2 (419) 1-5 (432) 1-4 (406) 0-10 25/32 (274)	1-8 1/2 (521) 1-9 (533) 1-8 (508) 1-2 25/32 (376)	2-0 1/2 (622) 2-1 (635) 2-0 (610) 1-6 25/32 (477)	2-4 1/2 (724) 2-5 (737) 2-4 (711) 1-10 25/32 (579)	2-8 1/2 (826) 2-9 (838) 2-8 (813) 2-2 25/32 (680)	3-0 1/2 (927) 3-1 (940) 3-0 (914) 2-6 25/32 (782)
2-7 3/8 (797) 2-7 5/8 (803) 2-7 1/8 (791) 2-1 25/32 (656)	ELCA1731	ELCA2131	ELCA2531	ELCA2931	ELCA3331	ELCA3731
2-11 3/8 (899) 2-11 5/8 (905) 2-11 1/8 (892) 2-5 25/32 (760)	ELCA1735	ELCA2135	ELCA2535	ELCA2935	ELCA3335	ELCA3735 E*
3-3 3/8 (1000) 3-3 5/8 (1006) 3-3 1/8 (994) 2-9 25/32 (861)	ELCA1739	ELCA2139	ELCA2539	ELCA2939	ELCA3339	ELCA3739 E*
3-7 1/2 (1105) 3-7 3/4 (1111) 3-7 1/4 (1099) 3-2 1/2 (986)	ELCA1743	ELCA2143	ELCA2543	ELCA2943 E	ELCA3343 E	ELCA3743 E
3-11 3/8 (1203) 3-11 5/8 (1210) 3-11 1/8 (1197) 3-5 25/32 (1055)	ELCA1747	ELCA2147	ELCA2547	ELCA2947 E	ELCA3347 E	ELCA3747 E
4-7 3/8 (1406) 4-7 5/8 (1413) 4-7 1/8 (1400) 4-1 25/32 (1268)	ELCA1755	ELCA2155	ELCA2555	ELCA2955 E	ELCA3355 E	ELCA3755 E
4-11 3/8 (1508) 4-11 5/8 (1514) 4-11 1/8 (1502) 4-5 25/32 (1369)	ELCA1759	ELCA2159	ELCA2559	ELCA2959 E	ELCA3359 E	ELCA3759 E

AWNING

MO (mm) RO (mm) FS (mm) DLO (mm)	2-0 1/2 (622) 2-1 (635) 2-0 (610) 1-6 25/32 (477)	2-4 1/2 (724) 2-5 (737) 2-4 (711) 1-10 25/32 (579)	2-8 1/2 (826) 2-9 (838) 2-8 (813) 2-2 25/32 (680)	3-0 1/2 (927) 3-1 (940) 3-0 (914) 2-6 25/32 (782)	3-4 1/2 (1029) 3-5 (1041) 3-4 (1016) 2-10 25/32 (884)	4-0 1/2 (1232) 4-1 (1245) 4-0 (1219) 3-6 25/32 (1087)
1-7 3/8 (492) 1-7 5/8 (498) 1-7 1/8 (486) 1-1 25/32 (353)	ELAWN2519	ELAWN2919	ELAWN3319	ELAWN3719	ELAWN4119	ELAWN4919
1-11 3/8 (594) 1-11 5/8 (600) 1-11 1/8 (587) 1-5 25/32 (455)	ELAWN2523	ELAWN2923	ELAWN3323	ELAWN3723	ELAWN4123	ELAWN4923
2-3 3/8 (696) 2-3 5/8 (702) 2-3 1/8 (689) 1-9 25/32 (557)	ELAWN2527	ELAWN2927	ELAWN3327	ELAWN3727	ELAWN4127	ELAWN4927

Arcadia Sierra Greenhouse
Double-Pane Glass

10' Wide 10' Long
7' - 2" Side Wall 10' - 5" Peak



PHOTO SHOWN SIMILAR "SIERRA"

Concept Drawing Only, Not To Scale Section Heights and Number of Sections May Vary

GENERAL DOORS <small>Manufacturers of Quality Doors</small> 1 Home Office • PO Box 125 • Piquette, MI 48677-0125 255.768.7677 • Fax 255.768.6455	Type/Model: Cambridge	Drawn By: S. Heyser	Drawing Date: 2 / 1 / 15
	Customer:	Job Name:	Revision No:
	Approved By:	Approval Date:	Order No:
			Order Date:

GARAGE OVERHEAD DOOR

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

ANNE WHITNEY ARCHITECT

Project: 2008 Date: 2/10/21 8 OF 8

**LU-22-40**

Land Use Application

Status: Active**Date Created:** Mar 7, 2022**Applicant**

Jeffrey Whitmore
molly@whitmorebrothers.com
2 Market Square
Marblehead, MA 01945
781-631-8818

Location

50 DANIEL ST
Portsmouth, NH 03801

Owner:

Courtyard Condo Association

Applicant Information**Please indicate your relationship to this project**

B. Property Owner's Representative

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☒

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

☐

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

☐

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

☐

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

☐

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☐

Request for Extension of Previously Granted Land Use Approval

☐



- Scope:
- Provide OSHA appropriate staging as required to protect and provide continued public sidewalk access and protect all from injury and or property damage.
- Remove and replace main roof soffit, frieze and connecting crown/bed molding
- Remove and replace corner boards
- Remove and replace window casings and sills.
- Remove and replace existing entry alcove ceiling with tongue and groove boards.
- Remove and replace storefront casings, sills and roofline crown molding.
- Install a flat panel and frame detail over brick foundation below the storefront.
- Remove and replace copper step roof.
- Remove and replace clapboard siding.
- Install blown-in insulation at all locations and fiberglass batt insulation where accessible.
- Paint all new work and remaining portions of the front façade.
- Allowance for potential latent rot repair: 205F
- Requirements:
- Building Permits by Contractor and paid for by the association
- All work will be completed to the HDC and code requirements
- Material used must be approved by HDC
- All flat trim and moldings to be fully primed, all cuts must be primed and joints sealed (Material will be Boral if HDC approved)
- Clapboards to be red cedar CVG primed with all joints primed, sealed and back-flashed.
- Tongue and groove ceilings to be 1x6 v-groove CVG red primed with all joints primed and sealed.
- Copper roofing to be standing seam 16oz red copper with a full drip edge as approved by HDC. Underlayment must be high-temperature ice and water shield (Shop drawings required).
- Provide and allowance for latent rot repair.
- Siding and trim underlayment to be Henry Blueskin VP100 installed to provide full coverage of the exposed sheathing, and lap onto the copper roof ice and water shield as well as onto the top cleat of the copper roofing.
- Remove and reinstall the existing sign bracket (bracket to be refurbished by others). Install a flat inset board 1" proud of the top, bottom and sides of the bracket wall mount. Trim piece will be finish painted in the siding color.
- Remove and reinstall the existing surface light fixtures (4)(light fixtures to be refurbished by Others). Provide a flat trim detail at fixture mount locations.
- Entire building front to be fully painted. Prime all trim and doors with oil based primer California Troubleshooter)(tinted to final finish colors) and finish with California 2010 exterior paint. Clapboards to be finished with two coats of Benjamin Moore Arborcoat stain.
- All construction debris and trash to be properly disposed of at a licensed facility. The construction site must be cleaned/organized daily, and all trash removed from the site. Final cleaning will include cleaning the exterior of all window and door glass (including removing any paint or adhesive spatter/residue).
- Any onsite equipment and or material storage locations will be approved in advance.
- Expected duration of the work is 6-8 weeks.