

**MEETING OF
THE HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details)**

6:30 p.m.

October 06, 2021

AGENDA

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. September 01, 2021

II. ADMINISTRATIVE APPROVALS

1. 564 Middle Street
2. 65 Lafayette Road
3. 33 Hunking Street
4. 160 Court Street
5. 500 Market Street
6. 1 Harbour Place
7. 40 Howard Street

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow modifications to a previously approved plan (add rooftop atrium and masonry changes to the brick wall and front wall of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.
2. Petition of **Jeffrey L. & Dolores P. Ives, owners**, for property located at **44 Gardner Street**, wherein permission is requested to allow new construction to an existing structure (construct a 1-story mudroom with new landing and steps) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 42 and lies within the General Residence B (GRB) and Historic Districts.
3. Petition of **Martingale, LLC, owner**, for property located at **99 Bow Street**, wherein permission is requested to allow new construction to an existing structure (expand waterfront deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 54 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

4. Petition of **Kenneth Charles Sullivan Revocable trust of 2021, Kenneth Charles Sullivan, owner**, for property located at **40 Howard Street**, wherein, permission is requested to allow renovations to an existing structure (replacement windows as previously approved) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 61 and lies within the General Residence B (GRB) and Historic Districts.

5. (*Work Session/Public Hearing*) requested by **Danny Parker, LLC, owner**, for property located at **266 Middle Street**, wherein permission is requested to allow the removal and replacement of the rear egress stairs and deck and renovations to an existing structure (replace siding and windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 136 as Lot 9 and lies within the Mixed Research Office (MRO) and Historic Districts.

6. (*Work Session/Public Hearing*) requested by **238 Deer Street, LLC, owner**, for property located at **238 Deer Street**, wherein permission is requested to allow the demolition of the existing structure and the construction of a new 3-4 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

IV. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE-** Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

B. **REQUEST TO POSTPONE-** Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

C. **REQUEST TO POSTPONE-** Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

V. WORK SESSIONS (NEW BUSINESS)

A. Work Session requested by **Steve & Cathy Ann Henson, owners**, for property located at **0 Maplewood Avenue**, wherein permission is requested to allow the construction of a new

single family dwelling as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 3 and lies within the General Resident A (GRA) and Historic Districts.

VI. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_sN-ZA6uERhObQsHO0Dknpg

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

September 01, 2021

MEMBERS PRESENT: Acting Chairman Jon Wyckoff; Acting Vice-Chair Margot Doering; City Council Representative Paige Trace; Members Reagan Ruedig, Martin Ryan, David Adams and Dan Brown, Alternate Karen Bouffard

MEMBERS EXCUSED: Alternate Heinz Sauk-Schubert

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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I. APPROVAL OF MINUTES

1. August 04, 2021
2. August 11, 2021

*The two sets of minutes were **approved** as presented by unanimous vote, 7-0.*

II. ADMINISTRATIVE APPROVALS

Note: The first four administrative approval items were reviewed and voted upon as a group.

1. 93 State Street

The request was for three gas lanterns, one on Chapel Street and two on State Street. Acting Vice-Chair Doering noted that the sales orders showed two different styles. The applicant was present and said the lantern for the Chapel Street side was a bit narrower but had similar dimensions to the other two. Acting Vice-Chair Doering said she would be fine with it if Mr. Cracknell confirmed that the lantern was similar in appearance to the other two lanterns.

2. 14 Mechanic Street

Mr. Cracknell said there were some minor changes to the previously-approved project that were noted in the land use compliance review, as follows: exterior lighting was added; the window casing around the connector building was different than approved; the window pattern between the old and new sections were all 6/6 windows instead of differentiated; the gable attic window was reduced in size; and the pilaster at the front door wasn't installed. The applicant was present and said the wrong door was delivered but would be replaced and the

size of the upper windows had to be reduced per the sill height code. He said there wasn't enough room for the pilaster to fit, so the contractor omitted it from the finish.

3. 57 Salter Street, Unit 2

The request was for 16 permanent accent landscaping lights for the yard. It was **stipulated** that the accent lights shall be dark-sky compliant with no off-site glare to the abutting properties.

4. 21 Blossom Street

The request was for a composite trim on a bracket-supported awning over two entry doors on the rear of the building. It was **stipulated** that the composite material shall be field-painted to match the principal structure.

*Ms. Ruedig moved to **approve** Items 1 through 4, with stipulations as noted on Items 3 and 4. Mr. Ryan seconded. The motion **passed** by unanimous vote, 7-0.*

5. 564 Middle Street

The request was to replace several windows. The applicant was present and said some windows were older than others and some had storm windows. He said two front windows were replaced 20 years ago and all the others appeared to be original, and that replacing all the windows would get rid of the lead and the storm windows and the noise. Ms. Ruedig suggested having the windows restored instead, which would get rid of the lead and the noise issue and last longer than new windows. She said she preferred to see the original windows retained, at least on the façade. Acting Chair Wyckoff and City Council Representative Trace agreed. The applicant asked to amend his request by excluding the façade windows. Mr. Ryan recommended that the applicant submit a window schedule and also suggested a site visit.

The applicant said he would return at the October meeting after a site visit was done and a window schedule was submitted to the Commission.

6. 126 State Street

Mr. Cracknell said a section of the abutting property at 124 State Street was being renovated but in order to complete the project, 126 State Street needed a fire-rated siding per building code. He said the applicant proposed Hardiplank siding with the same design. It was **stipulated** that the proposed siding shall have the smooth side out and match the profile and exposure of the existing siding.

*The item was **approved** by unanimous vote, 7-0.*

7. 135 Congress Street

Mr. Adams was recused. Mr. Cracknell said the mechanical equipment for the project was previously approved but the applicant wanted to add a condenser at the back of the building. He said it would be screened by the dumpster and wouldn't be visible.

*The item was **approved** by unanimous vote, 7-0.*

8. 60 Penhallow Street

Tracy Kozak was present on behalf of the applicant and reviewed several changes, which included an added chimney, modifying the storefront on Daniel Street, shifting the entry and some window and door locations, changing the louver material from wood to painted metal, adding a meter location next to the garage and three condensers toward the back corner, and changing the roof membrane color from green to gray. She said the changes were necessary as a result of the offices on the upper floors and a tenant wanting outdoor seating.

In response to City Council Representative Trace's questions, Ms. Kozak said the outside dining on Daniel Street would be adjacent to the sidewalk but the building was set back three feet from the sidewalk and the restaurant would not serve alcohol. She said the south alley that was given to the City as a right-of-way would not be encroached upon by the outdoor dining because it would be open to the public. She said it also had to go before the Planning Board.

Mr. Ryan said all the adjustments were fine and worked within the approved scheme. Mr. Adams said he didn't know of any other exposed chimney downtown, let alone a rustic fieldstone chimney. Acting Vice-Chair Doering asked if the chimney was the right one for the unique style of the building. Ms. Kozak said one of the motifs that the chimney responded to was the climbing ivy on the Tuscan Kitchen wall across the alley and would create a frame entrance that would draw people into the courtyard. Acting Vice-Chair Doering said it was a big signature piece that had no relation to the other two corners and suggested pulling it from the request so that the Commission could think about it more. Ms. Kozak said it has the same curve as the other two corners. Mr. Ryan said he wasn't in favor of pulling it out and also had no problem with the chimney. He said it was a modern building that couldn't be judged based on the historic architecture in the community. Ms. Ruedig said she was fine with the chimney, noting that it was more than just a stone chimney because of all the artwork. She thought it would look different and better in real life. Mr. Brown said he liked the chimney. City Council Representative Trace said she agreed that there wasn't any other fieldstone chimney in the district and that it didn't fit in but would support it as she had supported the building itself.

*Mr. Ryan moved to **approve** the item as presented, and Ms. Ruedig seconded. The motion **passed** by a vote of 6-1, with Mr. Adams voting in opposition.*

III. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow new construction to an existing structure (add a 3-story addition and create new entry points to the Worth Lot) and additional site improvements as per

plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

The applicants Mark Mueller and Steve Wilson were present. Mr. Mueller said they simplified the mansard roof by pulling the upper floor back to let the balcony be open to the sky and letting the outer corner come out to create the edge of a deck. He said the two balconies below that terrace had a different proportion, with the opening extended almost to the floor and a decorative rail and pattern to distinguish them as balcony openings. He said proportion adjustments were also made to the granite base. On the driveway elevation, he said they moved the doorway deeper into the building so that everything behind the panels was the same. Acting Chair Wyckoff asked if it was floor level or went down. Mr. Mueller said the ramp elevated to the finished floor. He said the garage door was simplified to make it less residential and would have a painted finish to match the exterior trim on the clapboard section.

Acting Chair Wyckoff asked if the fourth floor was Option 1 or 2. Mr. Mueller said it was Option 2 and that they were trying to preserve the balcony above. Mr. Ryan said he liked the unique language and the way it filled the corner to create a unique condition. He said Option B14 was a better solution than Option A14. Mr. Adams said the attempt to find a compromise created an awkwardness of empty dormer windows that no one wanted turned into a set of logical balconies with a platform for a balustrade on the top, with no unnatural holes. He said he found the rest of the presentation a coalescence of all the struggling the Commission had done and made the project more understandable for him, but it still left Options A and B. City Council Representative said A14 was a more successful solution. Ms. Ruedig said the new building was safe and followed all the rules and that the proposed grillwork was fine because it added something different and was nicer to look at. She said she wasn't okay with punching the holes in the original façade, however, and couldn't accept it as a restoration of the original building. Acting Vice-Chair Doering said she was in favor of the new mansard roof construction because it added a modern element while still using a traditional technique and that she liked the balconies and railings better. She said her concern was that the building was suddenly starting to look like the one on Bridge Street. She agreed with Ms. Ruedig about the holes in the walls. Ms. Bouffard said she preferred Option A, even though it was missing the mansard corner, and she also had a problem with the punched openings. City Council Representative Trace said she agreed with Ms. Ruedig and Acting-Chair Doering.

Acting Chair Wyckoff opened the public hearing.

SPEAKING TO FOR, OR, AGAINST THE PETITION

No one was present to speak, and Acting Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **grant** the Certificate of Approval for the application as presented, with the following **stipulations**:*

- 1. The two proposed balconies along Vaughan Street shall be removed from the application and return for administrative approval; and*
- 2. The preferred option of the proposed third-floor open balcony (NOT Option B) shall be used.*

Mr. Ryan seconded.

Ms. Ruedig said the project would observe the conservation and assessment of property values by improving the buildings and would have compatibility of design with surrounding properties.

*The motion **passed** by unanimous vote, 7-0.*

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Kathryn Coyle, owner**, for property located at **4 Rock Street, Unit 3**, wherein permission was requested to allow renovations to an existing structure (replace windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 138 as Lot 16 and lies within the Character District 4- L2 (CD4-L2) and Historic Districts.

SPEAKING TO THE PETITION

The applicants Kevin and Kathryn Coyle were present and reviewed the petition. Mr. Coyle said when they bought the two condos at 4 and 6 Rock Street, he found that the windows were not repairable. He said only four of those windows were original and the others were replaced in 1940. Ms. Coyle said they wanted to replace all the windows that were not historic and would restore the Greek Revival elements and 6/6 grid pattern. She said they would use a Green Mountain window with a sash and conceal balance, and all the windows would be double hung except for a 3rd floor egress window that would be a casement.

Ms. Ruedig said she had no problem with the request because the 1940s windows were on an 1840s house, and she thought the sash replacement kit would look more authentic. She asked what the muntin sizes were. Ms. Coyle said they would be consistent with the original windows.

Acting Chair Wyckoff opened the public hearing.

SPEAKING TO FOR, OR, AGAINST THE PETITION

No one was present to speak, and Acting Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **grant** the Certificate of Approval for the application as presented, with the following **stipulation**:*

- Half screens shall be used.*

City Council Representative Trace seconded.

Ms. Ruedig said the project would complement and enhance the architectural character of the house and would relate to the historic and architectural value of the existing structure.

*The motion **passed** by unanimous vote, 7-0.*

At this point in the meeting, Acting Chair Wyckoff left and Acting Vice-Chair Doering was Acting Chair.

V. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE**- Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

DECISION OF THE COMMISSION

*Mr. Adams voted to **postpone** the petition, and Ms. Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

B. Work Session requested by **Dagny Taggart, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (renovations of existing building) and new construction to an existing structure (construct 3-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4) and Historic Districts.

WORK SESSION

Tracy Kozak was present on behalf of the applicant and reviewed the updates to the petition. She said the glazing was simplified on the upper floors of the left-hand connector building and the glazing under the porch was larger to expand daylight into that area. She said the shutters were changed on the middle brick building to give some weight to the outer edges of the building. She said the garage door on the end brick building was revised and the awnings were made steeper and more translucent. She said the garage entrance had a granite lintel connector the garage door and person door and the awnings would be metal. She said the shutters could be made operable to make the building more energy efficient. She said the private porch was simpler, with no railing or pediment, and the cornice would be metal but would replicate the form of the one on the mansion. She said she would have cut sheets and material samples for the next session.

City Council Representative Trace said the clapboard building had a ramp that was ADA-compliant but the railing was a simple metal. Ms. Kozak said they pushed the ramp back to create a plaza on the sidewalk, so there would be a simple top rail with posts in wrought-iron. She said the porch was at grade level and would require no steps, but that they would fine tune the finished grade and consider plantings. Mr. Ryan asked if the shutters would have a visible track. Ms. Kozak agreed. Mr. Ryan said it might not be so concerning if he saw the product. He said the awnings were translucent and a metal screening was proposed. Ms. Kozak said it would be a perforated metal that would let some sun in and wouldn't seem so heavy. Mr. Ryan said he would wait to see it in more detail.

Mr. Adams said he wasn't comfortable with the casement windows on the connector buildings and said it appeared that the site was being excavated down behind the stone wall, which would bring the first connector building down to sidewalk level and be more compatible with the streetscape. He asked if the stone wall would translate into a freestanding wall. Ms. Kozak said they wouldn't go right up to the wall but would stay about six feet back, and there would be some shoring and piling needed to go a few feet back, so the dirt touching the back of the wall would stay. It was further discussed. Mr. Adams asked why a soldier course was introduced into the masonry. Ms. Kozak said it was to create banding to give some relief to the façade. Mr. Adams said it seemed like a lot of vertical joints and that the same thing could be done with horizontal bricks. Ms. Ruedig said she echoed most of the comments and thought the project was moving in a good direction. She said she liked the idea of the sliding shutters if the tracks could be figured out, but she wasn't sure about the casement windows because of how they would look when open. She said the awning idea was fine but thought they still looked a bit harsh. She was pleased with how the massing had evolved but still hesitant about the arch over the main entrance, noting that it looked different on a clapboard building than it did on a brick building. Mr. Brown said he liked what was done with the shutters because they broke up the long wall and centered it.

There was no public comment.

DECISION

*Ms. Kozak said she would return for a work session/public hearing. City Council Representative Trade moved to **close** the work session, and Ms. Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

C. **REQUEST TO POSTPONE-** Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

DECISION OF THE COMMISSION

*Mr. Adams voted to **postpone** the petition, and Ms. Ruedig seconded. The motion passed by unanimous vote, 7-0.*

D. Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

WORK SESSION

The applicants Brooks Slocum, Ryan Plummer, and Rob Harbeson were present. Mr. Slocum reviewed the massing and said it was important to have view corridors from the site as well as some public plazas. He said some buildings were more open than others. He reviewed elevations and showed a few precedents of buildings in the District and images of view corridors and how the facades would be broken up.

Mr. Ryan said the applicant was on the right track and had addressed the Commission's concerns about passing through the building in Option 1. He said he liked what was done to the Russell Street architecture because it was more articulated and had a roof that wasn't flat. He said it was more appealing than the other two buildings and hoped that something similar could be done to them. Mr. Adams said the applicant described the building as two floors on two floors, which was strikingly different than what the Commission usually saw, three floors on one. He said he could see how it would develop into something with different-sized scale options that opened up. He said the openings were an opportunity to see the buildings as separate ones but noted that an inference of a separation wasn't as valuable as an actual separation. Mr. Slocum said they had to be respectful to the Hill and find a balance.

Ms. Ruedig said the massing wasn't either too big or too small and that it was exciting to have an open pocket park where one could see all the way through. She said another advantage of separate buildings was that their heights could be varied. She suggested varying the floor plates by a foot or six inches to give some variation in the rhythm and sizes of the buildings, and it was further discussed. Ms. Ruedig said the railroad would be the back of the building but shouldn't look like it because it would be very visible. She said the most sensitive spot would be the view from Maplewood Avenue and should be kept active and fresh. City Council Representative Trace said in Option 1, the view corridor with the open pocket park was imperative. She recommended that the building look like three different buildings and that the view corridor be accessible to anyone walking by. She said the Vaughan Street view corridor was also very important. Ms. Ruedig said the railroad side of the building was just as important because it would face all the recent buildings on the North Mill Pond. Mr. Brown said the view corridors were important to prevent a big wall that would block one side of town from the other, and it was further discussed. Ms. Bouffard said it would be even better if the view corridors were connectors. Council Representative Trace said a few of the precedent images showed how the middle building could be stepped back to take away some of the blocky look. Ms. Ruedig said she was happy to see a variation of roofs.

Acting Chair Doering said she liked Option 1 with a clear separation of Building A and the ability to walk through and down to the parking lot. She agreed that the Russell Street side would be important. She referred to the colonnade in Bath, England and Boston's Government Center and said it could be considered for the pedestal sections of Buildings B and C. She said the project was at risk of creating something chaotic in trying to use the fenestration and other elements to break up the buildings. She said the railroad tracks provided a ready-made rhythm and that it might be a good idea for the applicant to take from that instead of fighting it. She opened the public comment session.

Public Comment

Jerry Zelig said he liked Option 1 and breaking up the other portions of the project and the fact that two of the buildings would have the illusion of being separate buildings. He said the massing study might not be realistic because the ordinance had a building footprint of 40,000 square feet in that district, and he wondered whether the two remaining buildings combined and connected by the parking would exceed 40,000 square feet without a variance. He said the Sheraton and condominiums had an easement for parking and that the project had to have parking for them as well as the building's occupants and patrons.

No one else was present to speak, and Acting Chair Doering closed the public comment session.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **continue** the work session to the October meeting, and Mr. Ryan seconded. the motion **passed** by unanimous vote, 7-0.*

VI. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Malloy Revocable Trust of 2017, Timothy R. and Susan P. Malloy Trustees, owners**, for property located at **52 Prospect Street**, wherein permission is requested to allow new construction to an existing structure (construct 2-story rear addition) and renovations to an existing structure (new windows and siding) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 and Lot 13 and lies within the General Residence A (GRA) and Historic Districts.

The applicants Tim and Sue Malloy and their designer Hubert Krah were present. Mr. Malloy explained why they needed an addition. Mr. Krah reviewed the site plans, noting that the house was very small and the pandemic had introduced new challenges for home office space. He said they proposed to put new clapboard siding on the house and replace all the facade windows with 6/6 double hungs. He said they would install casement windows on the upper floors of the addition for egress and regular double hungs on the bottom floor. He said he didn't know if the attic windows should be replaced in kind or just removed.

Ms. Ruedig said the addition on the back would still use the same side of the footprint in the sunroom, didn't look like another doorway would be punched in, and the window would be kept,

all of which were little things were sensitive in terms of major changes to the house. She said the addition was well proportioned to the rear of the house. She asked if the applicant explored what was under the house's siding. Ms. Malloy said she thought it was c. Ms. Ruedig said she'd like to see clapboard on the façade and the two sides because they were so visible and thought the applicant might find earlier clapboards that were in good shape. Mr. Adams recommended wood for the replacement siding material. He said he had never seen an 1802 house with corner blocks in its windows and would be surprised if they were original. He said he was in support of the project at that stage and suggested Green Mountain windows as well as doing some prodding of the outer building. Mr. Ryan said the way the addition met the ground was awkward, but thought the lattice work helped ground it a bit visually. He said there might be a way to provide some panels that would look more appropriate and could still be accessed to get into for storage. He said he agreed with all the other comments. Acting Chair Doering said the applicant should do what worked best for the attic windows and said she supported the use of clapboard material as opposed to composite because it would have a good painting program and would last well.

There was no public comment.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **continue** the work session to the October meeting, and it was seconded. The motion **passed** by unanimous vote, 7-0.*

2. Work Session requested by **Martingale, LLC, owner**, for property located at **99 Bow Street**, wherein permission is requested to allow new construction to an existing structure (expand waterfront deck and docking structure) as per plans on file in the Planning Department. Said property is show on Assessor Map 106 as Lot 54 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

Architect Jeremiah Johnson, landscape architect Terence Parker, and Attorney Jim Steinkrauss were present. Mr. Johnson briefly reviewed the petition and the site plans. He said the curved dock float was removed. Mr. Parker reviewed the bronze murals, noting that the whale art referenced all sea life and the economy of oil in the 1800s. Attorney Steinkrauss said the east and west docks were shorter and smaller than previously. He noted that the 11 nearby properties had the same deck mass and were all in the rear of the properties, so the project's deck was consistent with those properties and would also allow public access, unlike the other properties. He said the building wasn't historic, so it had more flexibility, the mass was appropriate because it fit the Commission's criteria by promoting economic development and growth and would only be seasonal, and the bronze artwork and planters would minimize the effects on the abutters.

Mr. Ryan said one of the biggest concerns at the prior meeting was massing, which he said was surface massing and not volume massing. He said it was a surface that would support a 7-story building, noting that the size was appropriate and that the middle section could even be larger. He said the Commission should be discussing more public access to the water, like a link between the tugboats and Prescott Park, and he asked how they would get that far if they weren't comfortable with the project. He said outside seating during the pandemic helped keep things

normal and that the Commission should be excited about the project, especially if part of the deck was open to the public. He said it was a fantastic proposal and that he still supported it. Ms. Ruedig said she didn't have a problem with the extension of the deck because the building was new and there were plenty of other decks to the west of it that stuck out farther in some ways. She said she liked the artwork and thought the murals were wonderful but was hesitant about the whale motif. She said her only concern was that the east deck still seemed a little large in the rendering and that she'd like to see it pulled back so that it didn't stick out as far as the floating dock. She said she otherwise had no problem with the application because it fit the building and the purpose of the deck, which was the continuation of the use of the waterfront. She said she also applauded the public access portion. Mr. Brown said he was a big fan of the decks but was surprised that they weren't built all along the extent of the building. He said he had a problem with the proportions because the deck would extend out more than any other deck by 8-10 feet. He suggested removing the curve and balancing the sides. He said he loved the murals and thought they added adequate protection for the neighbors.

City Council Representative Trace said she applauded any public space the applicant proposed but thought the 15'x21' public area was small and wondered how the public would access it. She said she never had a problem with the artwork but thought it was inappropriate that it was introduced in the middle of a public hearing previously. She also noted that she received a letter from the applicant's law firm stating that it was a private document and said it should have been addressed to the Planning Department instead. She said the mass was going in the right direction but that she still had a problem with the rounded area because it seemed overwhelming and there wasn't a lot of square footage removed. Mr. Adams said the artwork was great. He said the concept of a dock was more of a tradition and normally ran from one side of the restaurant to the other, so he was bothered by the fact that it was rounded. Ms. Bouffard agreed and said she didn't know what the radius on the two decks really offered. Mr. Parker said the docks were extended for people, not ships. Mr. Brown said there was no other dock in the city curved like that. It was further discussed. Mr. Ryan said the amount of people who could go on the deck would be restricted if it was decreased. He suggested opening up the path to the deck instead of having to squeeze in through Harpoon Willy's and the River House's kitchen service way. He said the deck was a surface area and the curve was probably a way to get a better view.

Acting Chair Doering said she compared the plans from 2015 and that it seemed like the public access got smaller. She said the whole point was to provide more access to the water, not less, and that the Commission had to be careful that they weren't designing something that may or may not happen. Regarding the curves, she said if they were trying to get more deck space and were concerned about parts that were too narrow, maybe they needed to make the existing part bigger and the new part skinnier to result in the same square footage and have nothing protrude.

Public Comment

Acting Chair Doering opened the public comment and said a letter was received from Elizabeth Bratter but didn't say if it was in support or opposition.

Katie (no last name given) called in and summarized the letter that she submitted to the Commission from Sherman Law. She said the applicant had stated that they would not ask for

more variances. She said the deck protruded way out into the river, so it wasn't the equal mass of the other decks. She noted that the two buildings following the Martingale didn't have decks at all. She said Martingale advertised that they had the biggest deck in Portsmouth but were now adding onto it, so it wouldn't fit with the character of the district. She said the building got several variances previously and eliminated the public's view of the river, but now the applicant was saying that they would give the public a little section. She said the project would impact the public's view of the tugboats and nearby residents would have to listen to the music and see the lights. She said the project was too big and massive and didn't fit the character.

No one else was present to speak, and Acting Chair Doering closed the public comment session.

Mr. Johnson said there was a building in that location prior to 2011 when the Martingale was built and that there was no more access to the waterfront at that time than what was there today. He said the proposal was to extend an existing use and that the applicant wasn't introducing any new elements. He said it was important to look at the orthographic plan view because sometimes perspectives and renderings were different. It was further discussed. Mr. Cracknell asked why the public viewing area was recessed. Mr. Johnson said they had some feedback from the abutter that he would confirm at the next meeting.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **continue** the work session to the October meeting, and Mr. Brown seconded. The motion **passed** by unanimous vote, 7-0.*

VII. ADJOURNMENT

The meeting was adjourned at 10:30 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

October 06, 2021

- | | | |
|----|------------------------------|------------------------|
| 1. | 564 Middle Street (LUHD-382) | - Recommended Approval |
| 2. | 65 Lafayette Road (LUHD-389) | - Recommended Approval |
| 3. | 33 Hunking Street (LUHD-388) | - Recommended Approval |
| 4. | 160 Court Street (LUHD-387) | - Recommended Approval |
| 5. | 500 Market Street (LUHD-391) | - Recommended Approval |
| 6. | 1 Harbour Place (LUHD-392) | - Recommended Approval |
| 7. | 40 Howard Street (LUHD-394) | - Recommended Approval |

1. 564 Middle Street

- Recommended Approval

Background: The applicant is seeking approval for the replacement of storm windows on the property.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

10/01/2021

LUHD-393

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Sep 28, 2021**Applicant**

john Durkin
jdurkin@burnsbryant.com
564 MIDDLE ST
Apartment, suite, unit, building, floor
PORTSMOUTH, NH 03801
6038284907

Location

564 MIDDLE ST
Portsmouth, NH 03801

Owner:

DURKIN JOHN & DURKIN SUSAN
564 MIDDLE ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Storm window replacement

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

John E Durkin
564 Middle Street
Portsmouth, NH 03801
603-828-4907

Following our discussion at the September HDC meeting regarding replacement windows, we are submitting an alternate application to replace the existing storm windows with new storm windows. The existing storm windows are several decades old, decaying, with several missing or cracked window panes.

We intend to replace the storms with double hung, two track windows, 189 energy efficient clear glass. Brochure attached.

Pictures of the house are attached. Storm windows intended for replacement are circled.

Existing plan and tax map are attached.

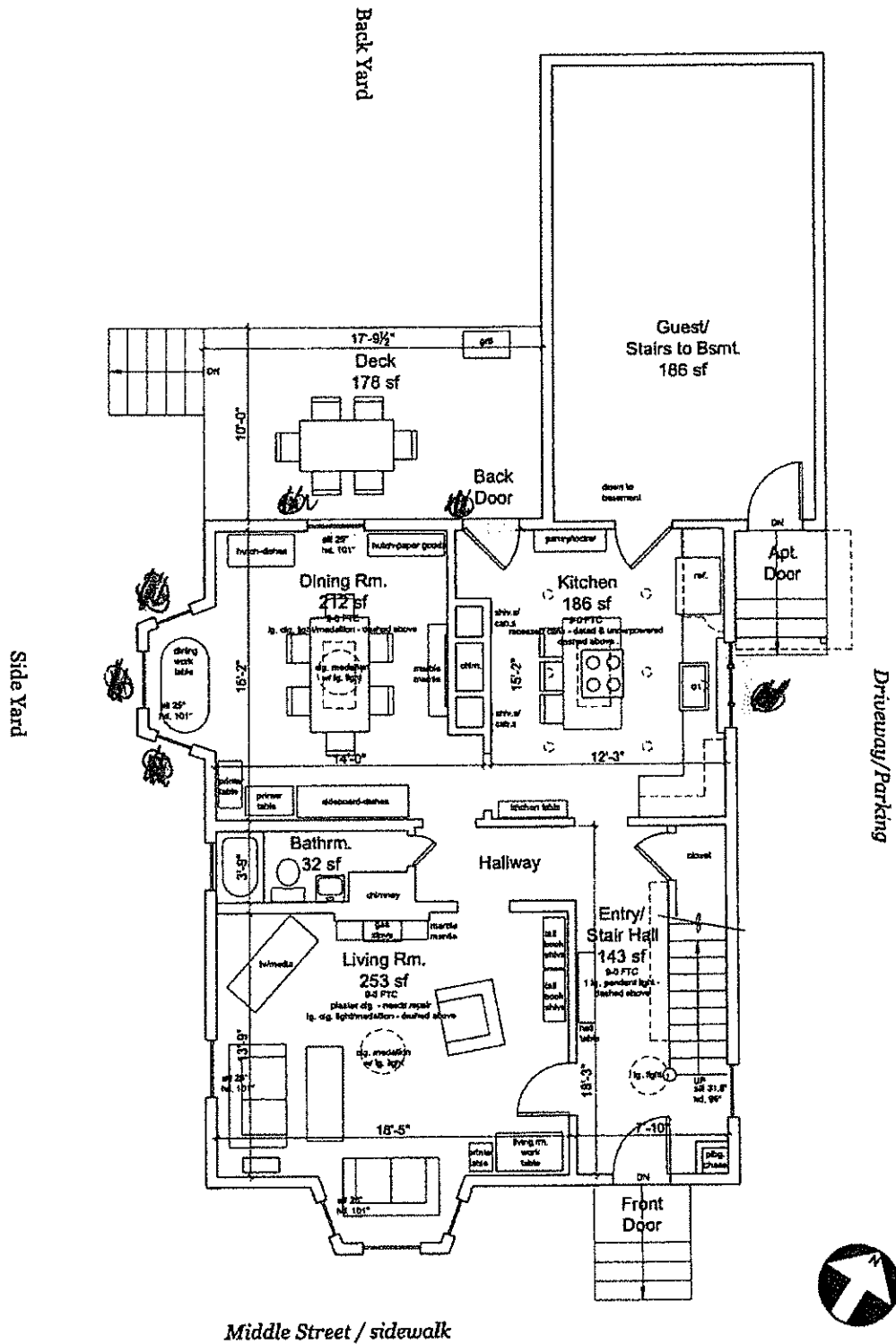
Thank you.

John Durkin

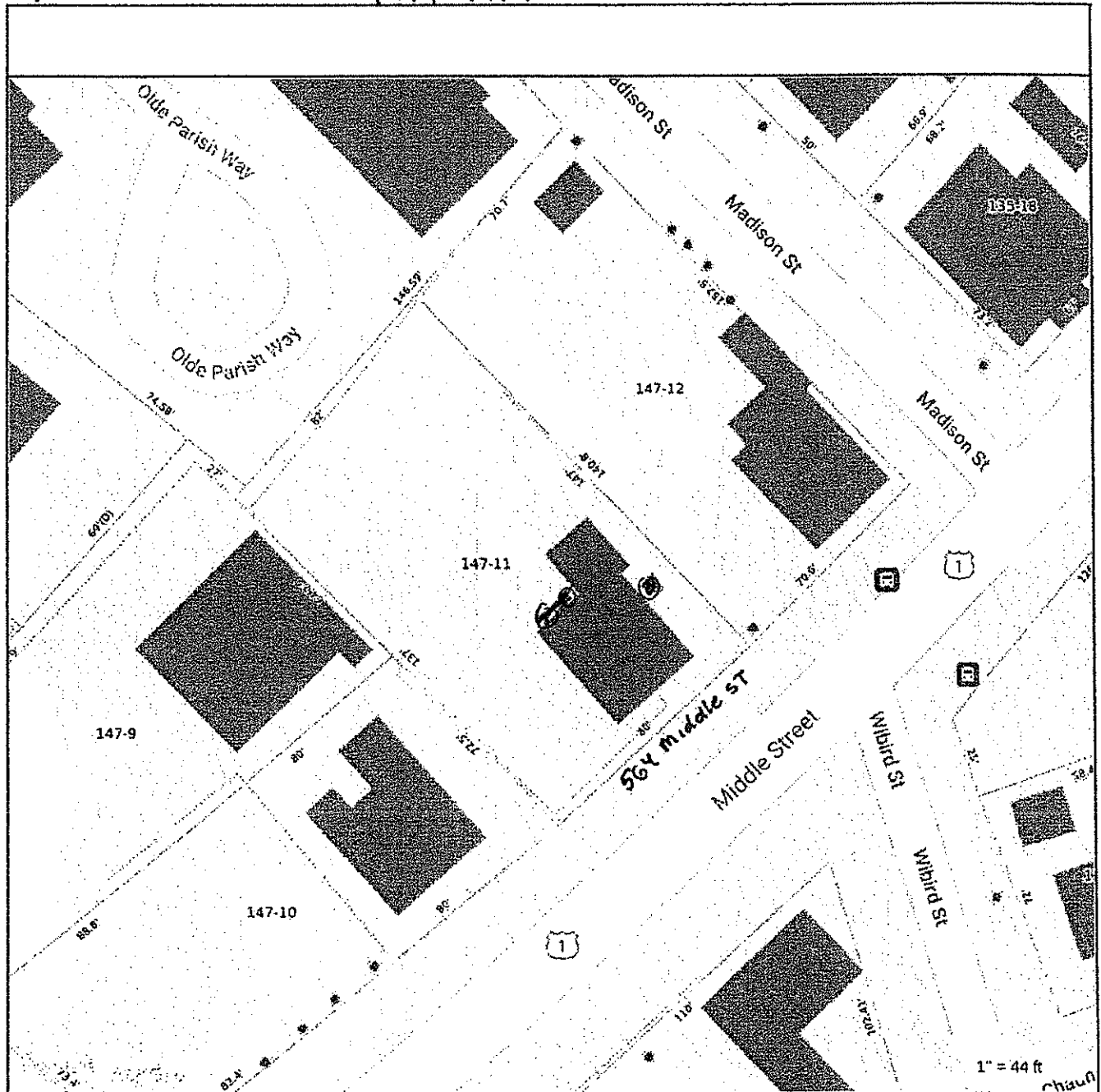
A large, stylized handwritten signature in black ink, appearing to be 'John Durkin', is written over the printed name.

Existing Plan

SPACE ANALYSIS / ASSESSMENT
564 Middle St.
Portsmouth, NH
03801



<p>564 MIDDLE STREET Portsmouth, NH 03801 Space Analysis / Assessment Owners: Susan & John Durkin</p>	<p>DATE 2021-05-13</p>	<p>NOTES</p>	<p>PROFESSIONER</p>	<p>CONSULTANTS</p>	<p>PORT CITY DESIGN architecture planning interiors 603.312.1707 905 Middle Street Portsmouth, NH 03801 portcitydesign.com</p>
---	----------------------------	--------------	---------------------	--------------------	---

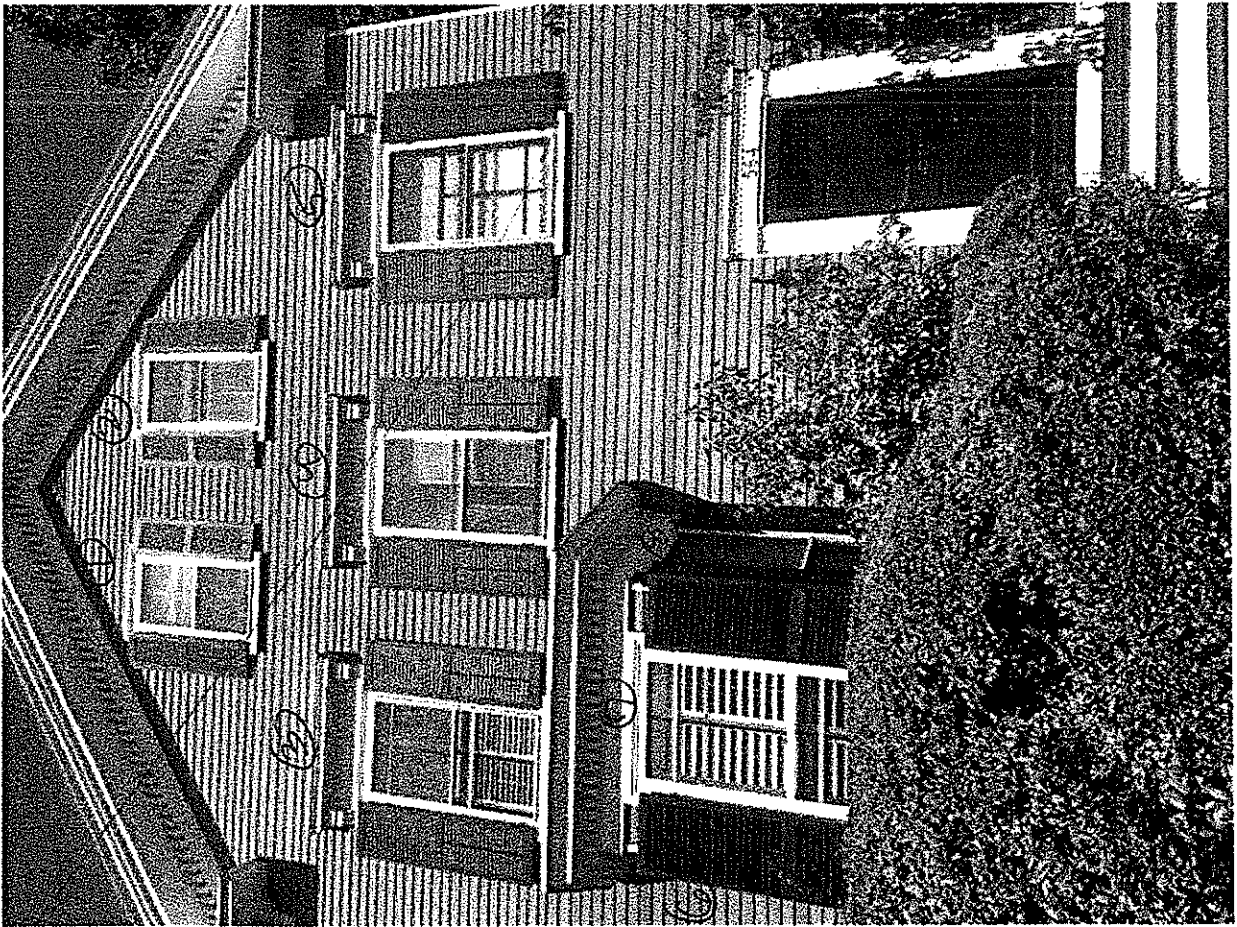


MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

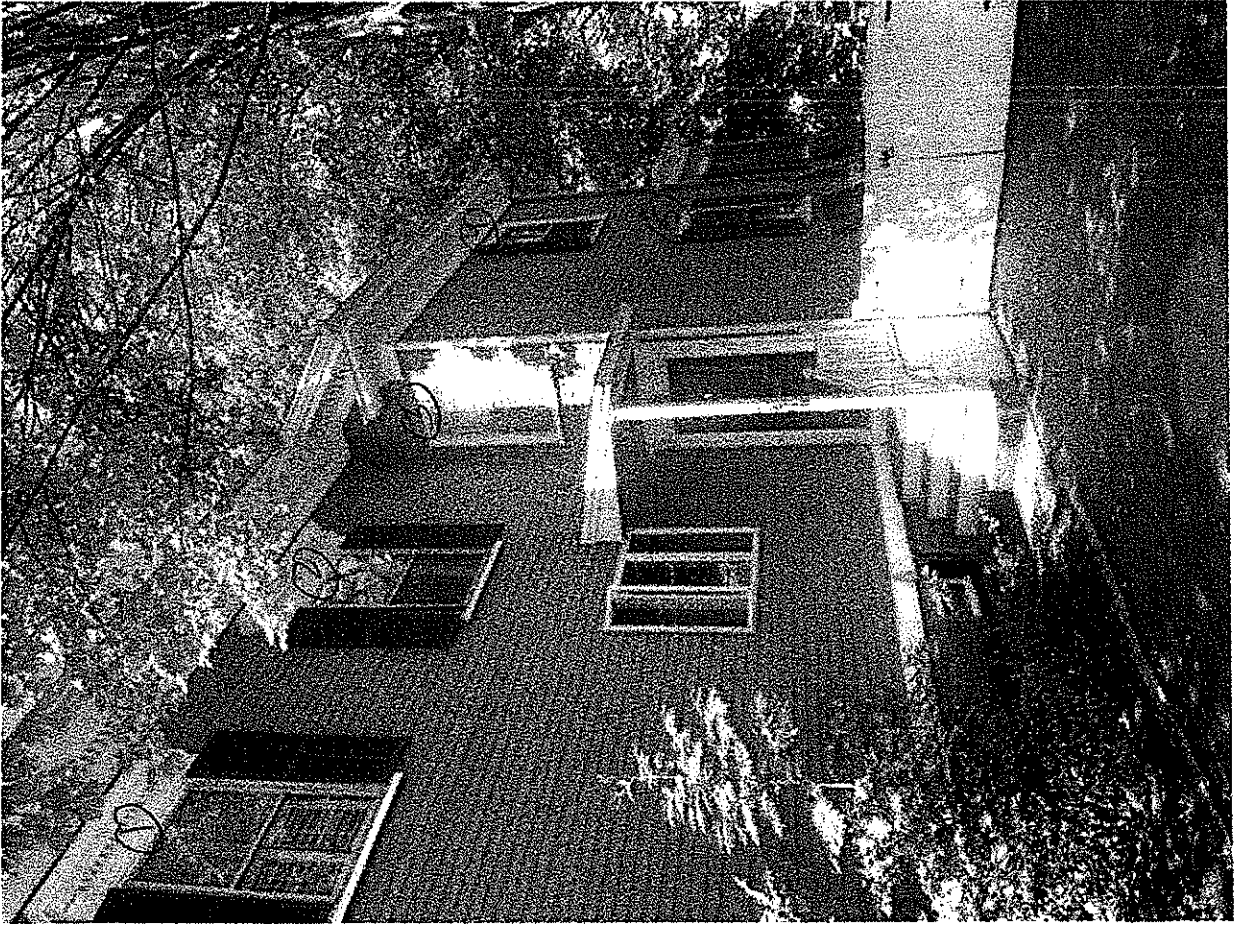
Geometry updated 4/1/2019
Data updated 7/17/2019

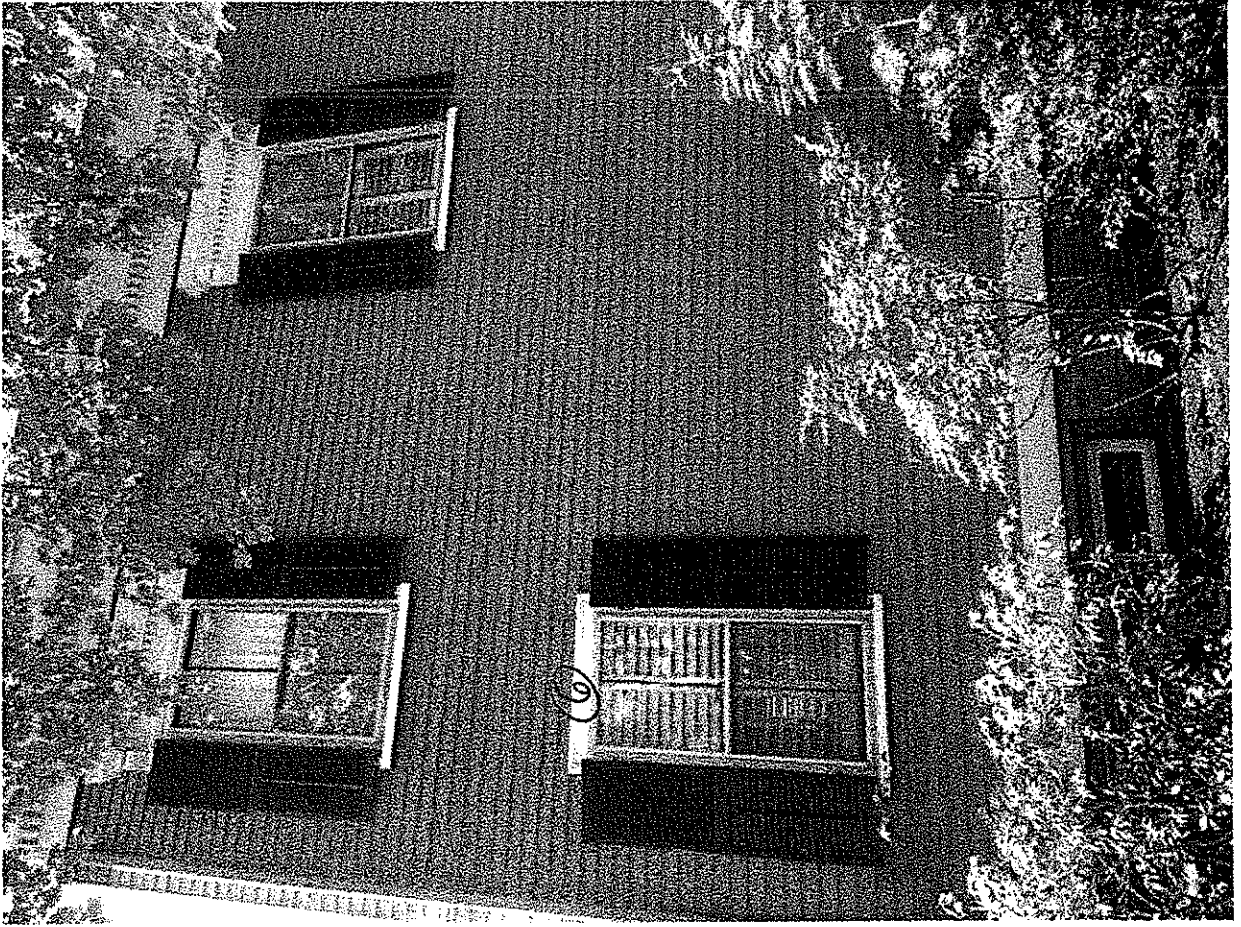
Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.



Front



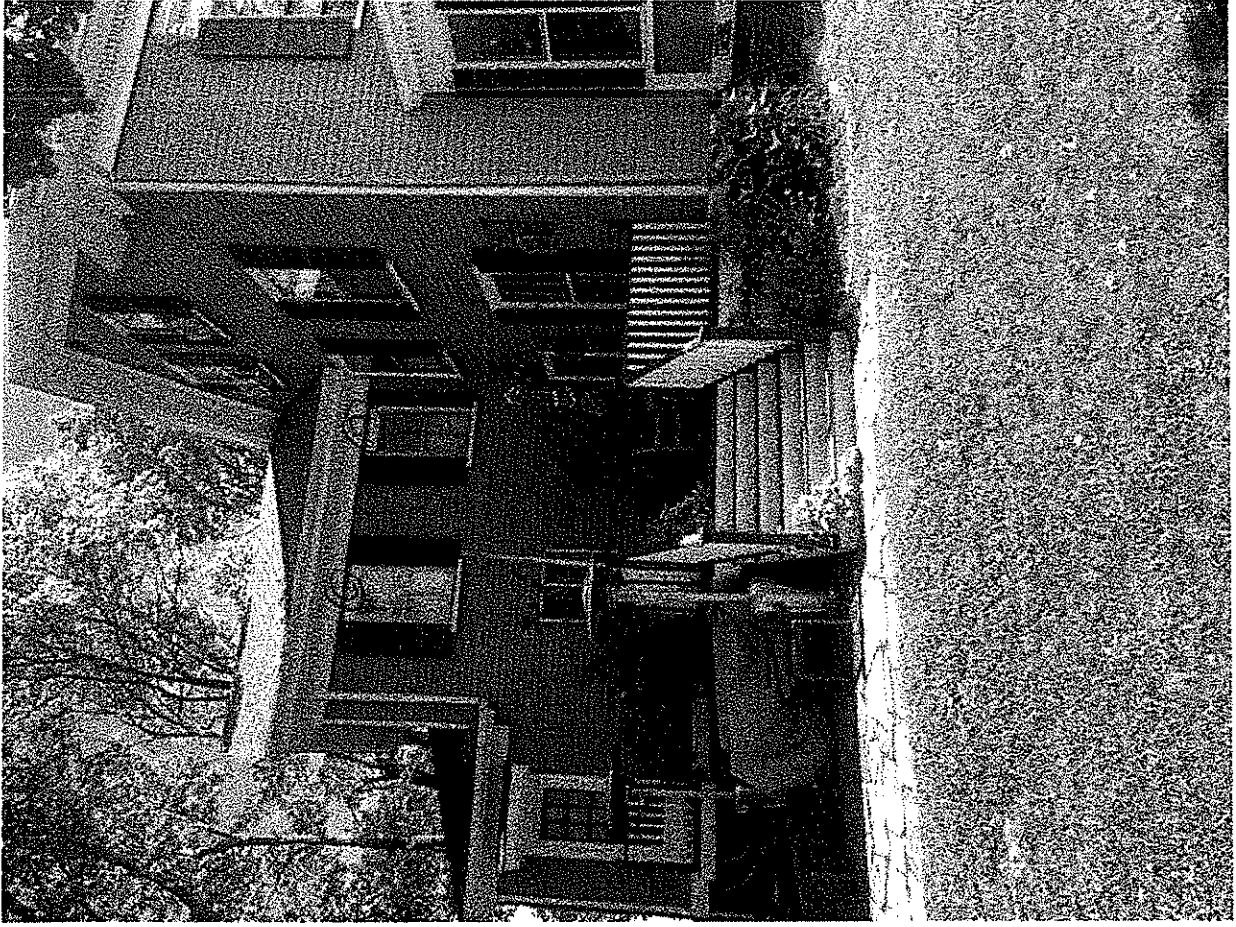




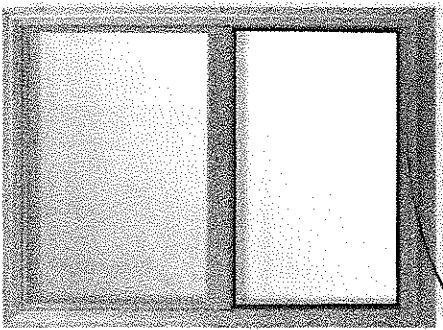
Norton ①



Section (1)

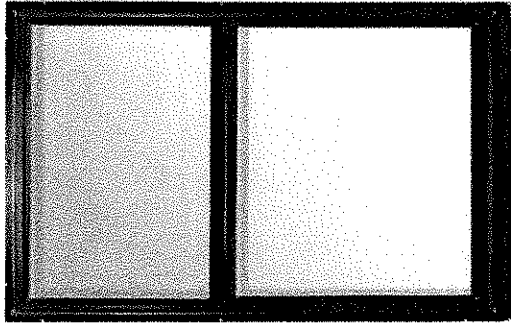


South (2)



Two Track
Double Hung

With increased thermal and weather resistance, Casco's Two Track Double Hung Storm Window provides new life to old windows and enhanced performance to new windows. Each window includes a bottom venting glass panel and screen.
(MAX SIZE: 52" x 88")



Two Track
Oriol Double Hung

For cottage style homes, unequal glass panels may be required to match a home's exterior. Casco's Oriol Storm Window has the same features as the Two Track Double Hung with the added feature of matching unequal sashes existing in the home.
(MAX SIZE: 52" x 88")

Why choose *Casco* STORM WINDOWS?

Standard Features:

- Heavy gauge aluminum extrusions throughout
- Maintenance free finish
- Sill expander for uneven sills and drainage
- Nail fin for easy mounting
- Color matched installation screws included
- Heavy-duty finger pulls and tilt keys

Alternative to complete window replacement

Reduced home energy bills, interior drafts, condensation, sound transmission though windows

Easy removal for swift cleaning

Multiple standard color selections

Made to order, ensuring proper fit

Fast installation

All STORM WINDOWS include:

- Extruded Frame and Sashes
- Extruded Screen Frame
- Standard Fiberglass Screen
- Nail/Mounting Fin
- Sill Expander
- Latches

(NOTE: Tempered glass is required on all glass units over 15 sq/ft)

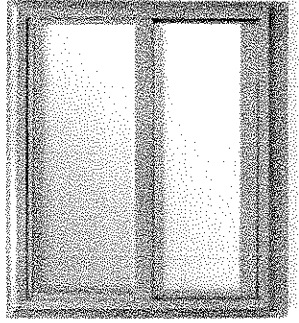
540 Division St., South Elgin, IL 60177 - ph: 800-806-6333 - fx: 847-741-5065 - www.cascoonline.com

Two Track Slider

Casco Two Track Sliding Storm Window gives any homeowner the added insulation they seek for old or new windows with adding another thermal barrier. Along with thermal improvement, weatherproofing is increased by keeping out driving rain and significant wind gusts. Product must be handled as only one of the two sash are active. Half Screen Included. (MAX SIZE: 72" x 60")

Three Track Slider

Casco's Three Track Sliding Storm Window provides all the same benefits as the two track system with added features. Both panels of this window slide in either direction and two screens are provided to compose a full screen system that is removable from the interior.
(MAX SIZE: 72" x 60")

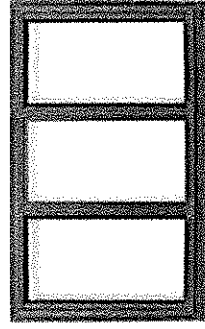
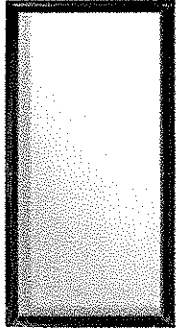


Three Track
Double Hung

Similar to the Casco Two Track Double Hung, the Three Track Storm Window adds an additional track for the screen. This additional feature allows the screen to be active independent of the two glass panels.
(MAX SIZE: 52" x 88")

Complete your homes added thermal protection by adding this Picture Window Storm to your homes picture windows or basement windows for added thermal insulation. Each unit comes with a removable glass panel for easy cleaning.
(MAX SIZE: VARIES)

Picture Window



Two Track Double End Slider

Similar to the Casco Two Track Sliding Window, this Double End Slider adds a movable panel on both sides of a stationary picture window. Stationary screen included for both movable panels.
(MAX SIZE: 120" x 60")

SELECT THE Style AND Finish TO MATCH YOUR HOME

All Casco

Double Hung

Storm Windows

include a ratchet

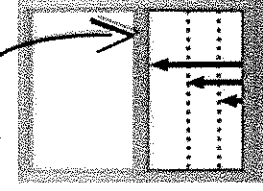
latch on the lower glass

panel. This opening system allows

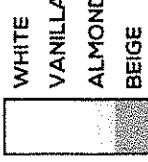
you to select the desired amount of ventilation

from 1" to full ventilation and anywhere

in-between.



STANDARD STORM WINDOW COLORS



CUSTOM COLOR

Don't see a color that will work with your home? For an additional charge, let Casco custom color your product to match your sample provided!



(Mill Finish also available)

©2019 Casco Industries, Inc.

2. 65 Lafayette Road

- Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

10/01/2021

LUHD-389

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Sep 16, 2021**Applicant**

Joseph Caldarola
joe@smithfieldconstruction.com
PO Box 370
Portsmouth, NH 03802
603-674-5204

Location

65 LAFAYETTE RD
Portsmouth, NH 03801

Owner:

PERLEY LANE LLC
PO BOX 370 PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Front door, front entrance, garage door, and deletion of fence, also scaled front lower windows

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information**Owner Addressee Full Name and Title**

--

Owner Addressee Prefix and Last Name

--

Owner Organization / Business Name**Owner Contact Street Address**



9/16/21

John Wycoff, Chairman
Historic District Commission
City of Portsmouth, NH

Re: 65 Lafayette Road

Dear Commissioners,

Attached please our application for Administrative Approval regarding some as-built details on the home.

These first attachment incudes pictures of the as- built details. The following attachments include the details as presented or approved.

The first picture shows the overall front elevation.

Picture #2 shows the front entrance. It varies in detailing from the front entrance shown on Elevation 2C. Also, the head trim on the door itself was not shown on any of the submittals so we interpreted that.

Picture #3 shows the front door. This as a misunderstanding on my part as I assumed that the review of the specific front door in October was to be flowed vs the door style shown on the Front Elevation 2C

Picture #4 shows the garage door. It is a three-panel door as opposed to the four-panel door submitted. We couldn't get the four-panel door due to supply problems at Amarr.

Picture #5 Shows the fence location staked out with orange stakes. It would be in a odd location, close to our house and far from the other, and be very close to the large Arborvitae that we planted to buffer that corner. It would make it difficult to access the side yard .

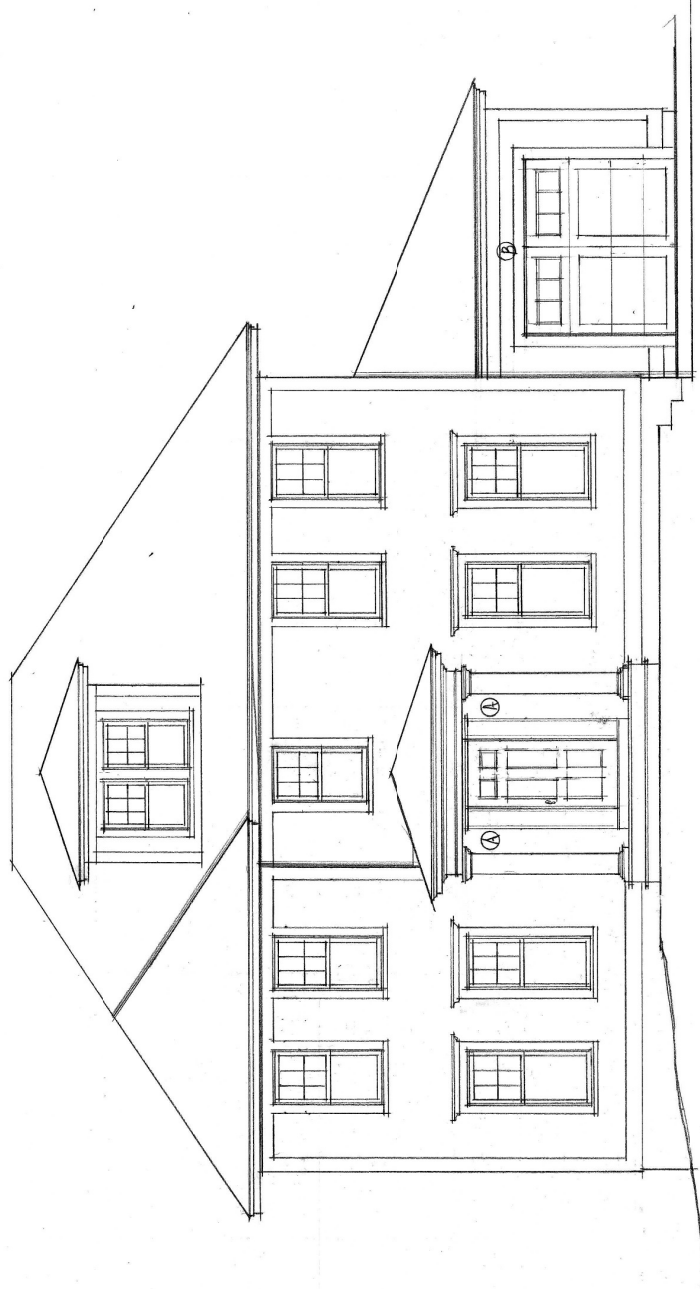
The last attachment shows a scale on the front lower windows shown on Elevation 2C. The windows were carefully ordered to correspond to the 32 x 68 indicated. I will drop off a 1/4 scale paper copy of this as well.

Thank you for your attention to this application.

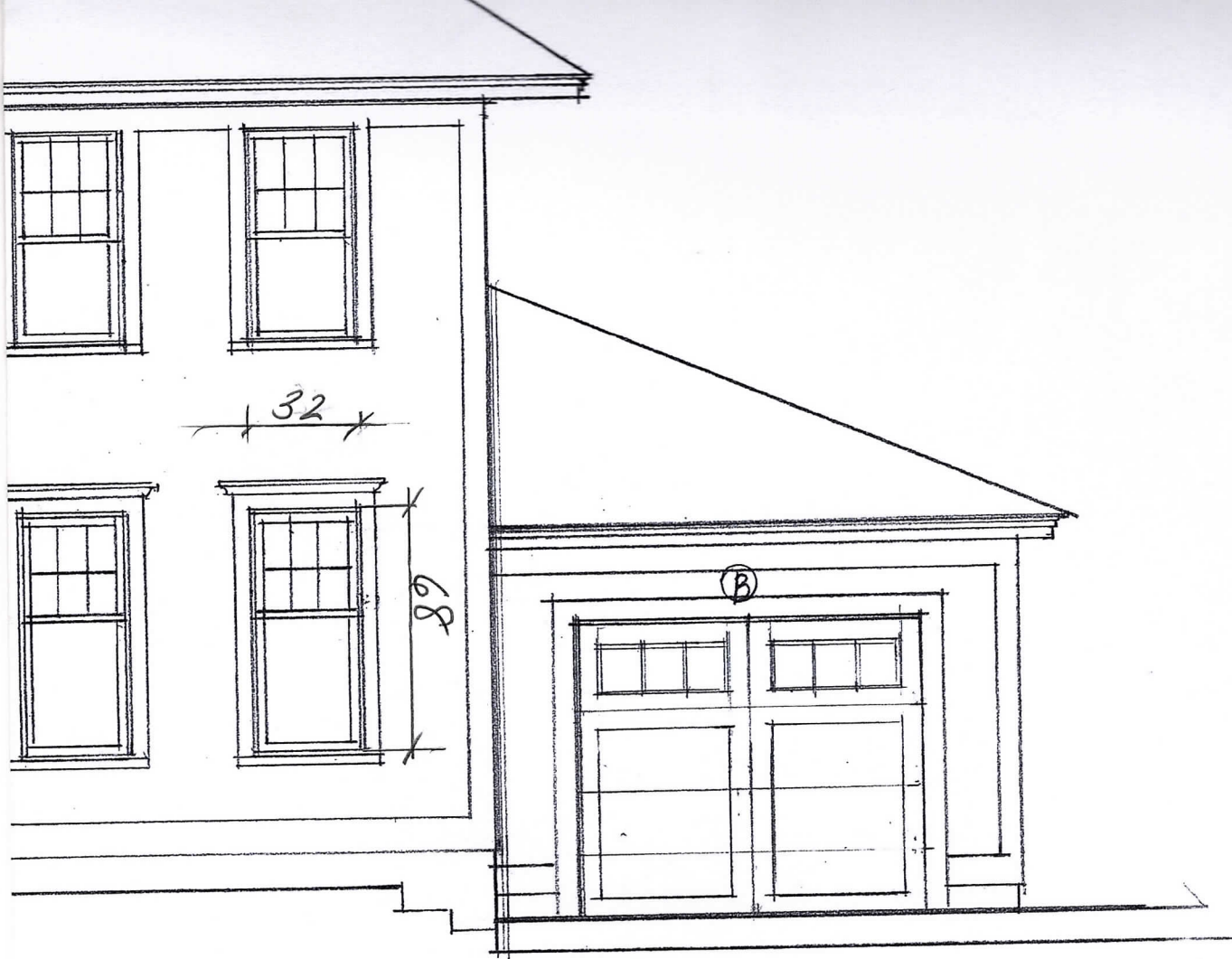
Sincerely,

Joseph Caldarola
President

Ph. (603)674-5204 PO Box 370 Portsmouth NH 03802 joe@smithfieldconstruction.com



Lot 2 55 Lafayette Rd		DRAWN BY	
SCALE: 1/4"	APPROVED BY	REVISED 12/10	
DATE: 12/10/19		DRAWING NUMBER	
Jim H. Field Construction		20	
Front Elevation Option C			



Lot 2 55 Lafar	
SCALE: 1/4"	APPROVED BY:
DATE: 12/10/19	
Smithfield Conn	
Front Elevation of	

Pictures for November 2021 Administrative Approval Application



Picture #1 As built Front Elevation

Picture



Picture #3 Front Door



Picture #4 Garage Door



Picture #5 Fence. The two orange stakes are at the ends of the fence per approval, 1' from the property line.



Font Door Fir four panel F-2044



4' Fence Cedar Picket Option

3. 33 Hunking Street

- Recommended Approval

Background: The applicant is seeking approval for railings to be installed on the front and side porch steps.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

10/01/2021

LUHD-388

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Sep 8, 2021**Applicant**

Peter Cass
household@casswitz.com
33 Hunking St
Portsmouth, NH 03801
603 969-6461

Location

33 HUNKING ST
Portsmouth, NH 03801

Owner:

PETER CASS
33 HUNKING ST Portsmouth, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Railings by Peter Happny on front and side porch steps

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information**Owner Addressee Full Name and Title**

--

Owner Addressee Prefix and Last Name

--

Owner Organization / Business Name**Owner Contact Street Address**







PETER CASS &
 MIRA WITZLING
 33 HUNKINS ST
 PORTSMOUTH
 603 969 6461

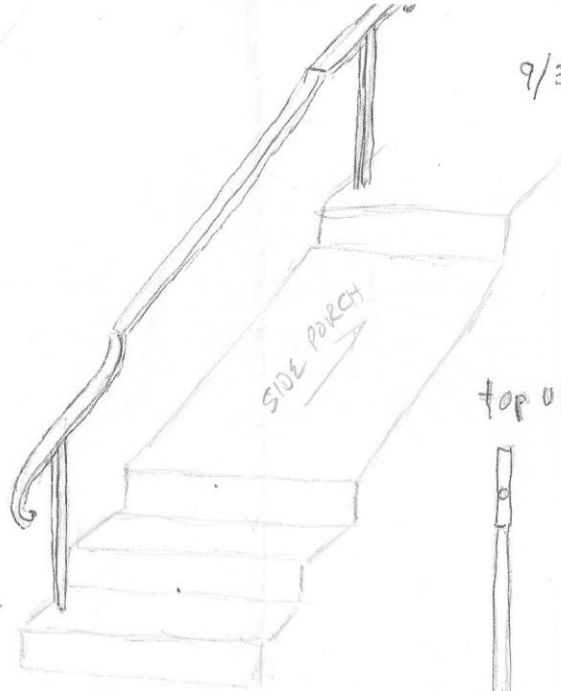
top view



$5/8 \times 1\frac{1}{2}$
 top
 1" sq post
 primed &
 painted
 gloss black

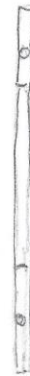
$1/3$ dep
 Requested

Peter Happony
 66 Rock St
 Portsmouth NH 03801
 436-4859



9/3/21

top view



4. 160 Court Street

- Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



10/01/2021

LUHD-387

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Aug 30, 2021

Applicant Carla Goodknight carla@cjarchitects.net 233 Vaughan Street Suite 101 Portsmouth, NH 03801 6034312808	Location 160 COURT ST Portsmouth, NH 03801 Owner: PORTSMOUTH HOUSING AUTHORITY 245 MIDDLE ST PORTSMOUTH, NH 03801
---	--

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Amended retaining wall product

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project Architect	
If you selected "Other", please state relationship to project. --	
Full Name (First and Last) Carla Goodknight	Business Name (if applicable) CJ Architects
Mailing Address (Street) 233 Vaughan Street, Suite 101	City/Town Portsmouth
State New Hampshire	Zip Code 03801
Phone 603 431 2808	Email Address carla@cjarchitects.net

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

☒

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

☒

I hereby certify that as the applicant for permit, I am

Other



AMENDED LANDSCAPE BLOCK PRODUCT

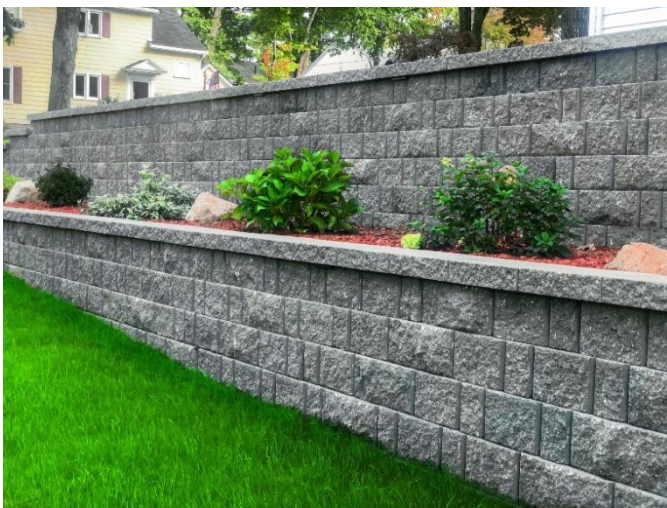
-Due to material shortages and prolonged lead times, a similar material has been proposed for retaining walls – no additional changes are proposed at this time.

APPROVED



Manufacturer: GENEST – BRUSSELS – UNILOCK
WALL
Color: T.B.D

AMENDED



Manufacturer: GRAVITYSTONE – FAT FACE 2/3
SCORED
Color: GRANITE GRAY
Dimensions: 18" L x 8" H x 11.25" D





COURT STREET DEVELOPMENT
PORTSMOUTH, NEW HAMPSHIRE

LANDSCAPE BLOCK PRODUCT
LOCATION

HDC APPLICATION FOR AMENDED APPROVAL: AUGUST 30, 2021



PORTSMOUTH
HOUSING

2

6" HIGH CURB AT THIS LOCATION

24" HIGH WALL AT THIS LOCATION

18" HIGH WALL AT THIS LOCATION

SEE ELEVATION 2 ON SHEET 2

SEE ELEVATION 1 ON SHEET 2

1 SITE PLAN

5. 500 Market Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of parallam beams on second story decks on Buildings A, B, and C.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

10/01/2021

LUHD-391

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Sep 23, 2021**Applicant**

Michael Street
 michael@cpmanagement.com
 11 Court Street
 Suite 100
 Exeter, NH 03833
 6037786300

Location

500 MARKET ST
 Portsmouth, NH 03801

Owner:

NOBLES ISLAND CONDOS C/O CP MANAGEMENT INC
 500 Market Street Portsmouth, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Adding support parallam beams to existing cantilever second story decks on Buildings A, B, and C.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

Property Manager

Full Name (First and Last)

Michael Street

Business Name (if applicable)

CPManagement, Inc

Mailing Address (Street)

11 Court Street Suite 100

City/Town

Exeter

State

NH

Zip Code

03833

Phone

603-778-6300

Email Address

michaels@cpmanagement.com

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Dave Porter

Business Name (if applicable)

Nobles Island Condo Association

Existing



Proposed

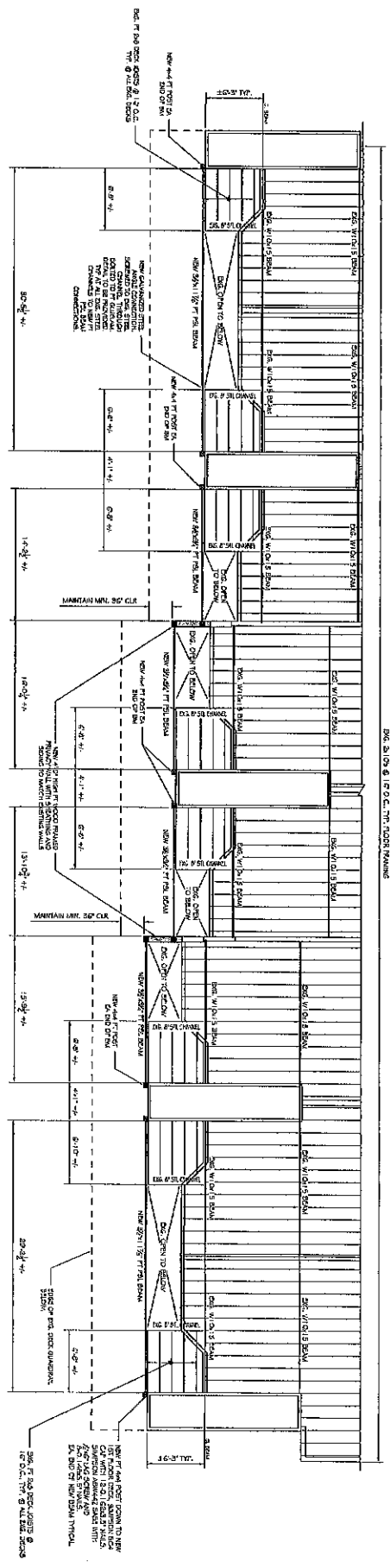


Existing



Proposed





2ND FLOOR DECK FRAMING PLAN

2ND FLOOR DECK FRAMING PLAN

NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL JOISTS ARE 12" DEEP, 16" ON CENTER.
3. ALL BEAMS ARE 12" DEEP, 16" ON CENTER.
4. ALL GIRDERS ARE 12" DEEP, 16" ON CENTER.
5. ALL WALLS ARE 8" THICK CMU.
6. ALL FLOORS ARE 4" THICK CONCRETE.
7. ALL ROOFS ARE 4" THICK CONCRETE.
8. ALL CEILING ARE 4" THICK CONCRETE.
9. ALL EXTERIOR WALLS ARE 8" THICK CMU.
10. ALL INTERIOR WALLS ARE 8" THICK CMU.
11. ALL DOORS ARE 36" WIDE.
12. ALL WINDOWS ARE 48" WIDE.
13. ALL STAIRS ARE 36" WIDE.
14. ALL ELEVATIONS ARE TO FACE UNLESS NOTED OTHERWISE.
15. ALL FINISHES ARE TO FACE UNLESS NOTED OTHERWISE.
16. ALL MATERIALS ARE TO BE USED AS SHOWN ON THE PLAN.
17. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
18. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS.
19. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE ORDINANCES.
20. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE REGULATIONS.

REVISIONS		DATE
NO.	DESCRIPTION	
1	ISSUED FOR PERMIT	12/1/2008
2	ISSUED FOR PERMIT	12/1/2008
3	ISSUED FOR PERMIT	12/1/2008
4	ISSUED FOR PERMIT	12/1/2008
5	ISSUED FOR PERMIT	12/1/2008
6	ISSUED FOR PERMIT	12/1/2008
7	ISSUED FOR PERMIT	12/1/2008
8	ISSUED FOR PERMIT	12/1/2008
9	ISSUED FOR PERMIT	12/1/2008
10	ISSUED FOR PERMIT	12/1/2008

PROJECT: 500 MARKET ST
PORTSMOUTH, NH

FOR:

2ND FLOOR DECK FRAMING PLAN - BUILDING A
CONCEPTUAL - NOT FOR CONSTRUCTION

NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL JOISTS ARE 12" DEEP, 16" ON CENTER.
3. ALL BEAMS ARE 12" DEEP, 16" ON CENTER.
4. ALL GIRDERS ARE 12" DEEP, 16" ON CENTER.
5. ALL WALLS ARE 8" THICK CMU.
6. ALL FLOORS ARE 4" THICK CONCRETE.
7. ALL ROOFS ARE 4" THICK CONCRETE.
8. ALL CEILING ARE 4" THICK CONCRETE.
9. ALL EXTERIOR WALLS ARE 8" THICK CMU.
10. ALL INTERIOR WALLS ARE 8" THICK CMU.
11. ALL DOORS ARE 36" WIDE.
12. ALL WINDOWS ARE 48" WIDE.
13. ALL STAIRS ARE 36" WIDE.
14. ALL ELEVATIONS ARE TO FACE UNLESS NOTED OTHERWISE.
15. ALL FINISHES ARE TO FACE UNLESS NOTED OTHERWISE.
16. ALL MATERIALS ARE TO BE USED AS SHOWN ON THE PLAN.
17. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
18. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE PERMITS.
19. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE ORDINANCES.
20. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE REGULATIONS.

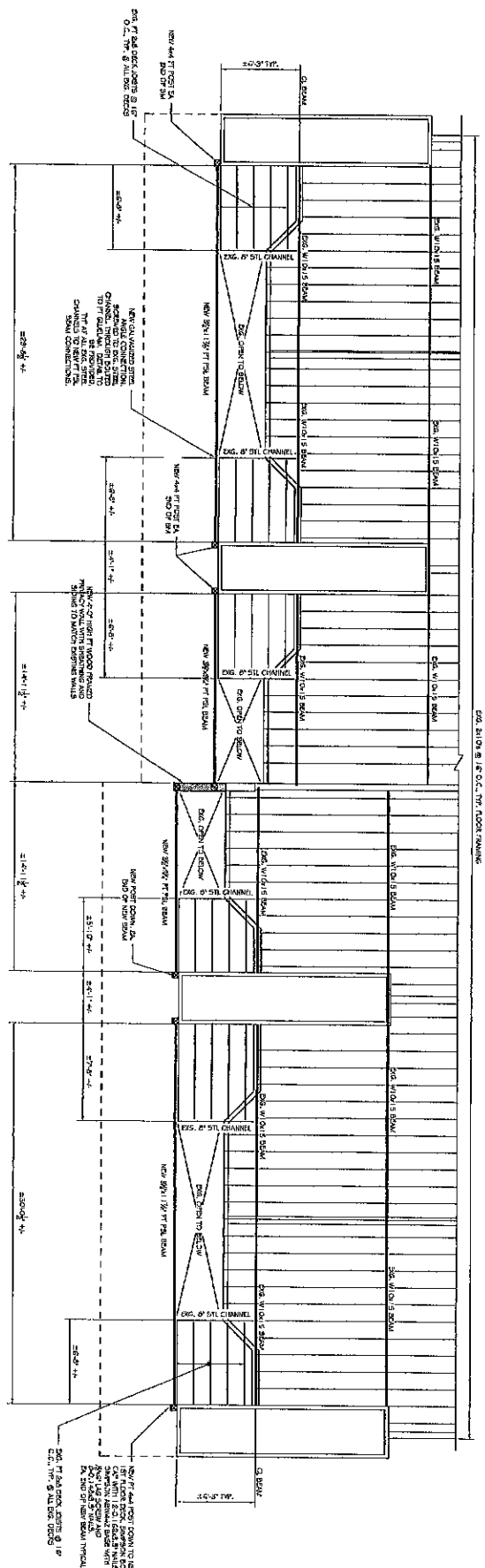
ASSOCIATED DESIGN PARTNERS INC.

80 Leigh-Ken Road
Falmouth, Maine 04105

Office: (207) 878-1751
Fax: (207) 878-1788
E-Mail: ady@adpengineering.com

NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL JOISTS ARE 12" DEEP, 16" ON CENTER.
3. ALL BEAMS ARE 12" DEEP, 16" ON CENTER.
4. ALL GIRDERS ARE 12" DEEP, 16" ON CENTER.
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10. ALL INTERIOR WALLS ARE 8" THICK CMU.
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19. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE ORDINANCES.
20. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE REGULATIONS.





Keywords:

 **ASSOCIATED DESIGN
PARTNERS INC.**

80 Leighton Road
Falmouth, Maine 04105

Office: (207) 878-1751
Fax: (207) 878-1768
E-Mail: adp@adpengineering.com



6. 1 Harbour Place

- Recommended Approval

Background: The applicant is seeking approval for modifications and or replacements for existing cellular mechanical equipment.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-392****Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** Sep 27, 2021**Applicant**

Sarah Grauly
sgrauly@ebiconsulting.com
EBI Consulting
21 B Street
Burlington, MA 01803
8025787030

Location

1 HARBOUR PL
Portsmouth, NH 03801

Owner:

HARBOUR PLACE GROUP LLC
1 NEW HAMPSHIRE AVE STE 101 PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

T-Mobile seeks the Portsmouth Historical Commission's comments on its proposal to modify its existing facility located at 1 Harbour Place. Comments from the Commission will be forwarded to New Hampshire's Division of Historical Resources who is evaluating the proposal pursuant to Section 106 of the Historic Preservation Act.

T-Mobile's existing facility is located on the building's penthouse. The modifications involve removing six panel antennas (two per sector) and installing nine new antennas (three per sector) and six new radio units (two per sector) at center heights of 103', 104'-7", and 105'-5" above ground level (top height of 107' for highest antennas) on new pipe mounts. Additionally, two equipment cabinets, located inside the existing equipment room located in the Subject Property's penthouse, will be removed, and three new equipment cabinets will be installed. No ground disturbance is proposed. The Subject Property consists of a five-story, Classical Revival masonry building. The building, constructed circa 1890, with additions completed in 2005, contributes to the Portsmouth Downtown Historic District.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

Regulatory Compliance Manager, NE Market

Full Name (First and Last)

Adam Sullivan

Business Name (if applicable)

T-Mobile USA

Mailing Address (Street)

15 Commerce Way Suite B

City/Town

Norton

State

MA

Zip Code

02766

Phone

401.996.7143

Email Address

adam.sullivan@t-mobile.com

Notification Date: **7AM EST 06/11/2021****Collocation ("CO") Submission Packet**

See instructions for

File Number: **0009581986**

public burden estimates

General Information

1) (Select only one) (NE) NE – New UA – Update of Application WD – Withdrawal of Application	
2) If this application is for an Update or Withdrawal, enter the file number of the pending application currently on file.	File Number:

Applicant Information

3) FCC Registration Number (FRN): 0018712778
4) Name: T-Mobile USA

Contact Name

5) First Name: Adam	6) MI:	7) Last Name: Sullivan	8) Suffix:
9) Title:			

Contact Information

10) P.O. Box:	And /Or	11) Street Address: 15 Commerce Way Suite B	
12) City: Norton		13) State: MA	14) Zip Code: 02766
15) Telephone Number: (401)996-7143		16) Fax Number:	
17) E-mail Address: adam.sullivan@t-mobile.com			

Consultant Information

18) FCC Registration Number (FRN): 0016385759
19) Name: EnviroBusiness, Inc. d/b/a EBI Consulting (EBI 6121003322)

Principal Investigator

20) First Name: Michelle	21) MI:	22) Last Name: Houston	23) Suffix:
24) Title: Senior Architectural Historian			

Principal Investigator Contact Information

25) P.O. Box:	And /Or	26) Street Address: 6876 Susquehanna Trail South	
27) City: York		28) State: PA	29) Zip Code: 17403
30) Telephone Number: (504)458-4444		31) Fax Number:	
32) E-mail Address: mhouston@ebiconsulting.com			

Professional Qualification

33) Does the Principal Investigator satisfy the Secretary of the Interior's Professional Qualification Standards?	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
34) Areas of Professional Qualification: () Archaeologist (<input checked="" type="checkbox"/>) Architectural Historian () Historian () Architect () Other (Specify) _____	

Additional Staff

35) Are there other staff involved who meet the Professional Qualification Standards of the Secretary of the Interior?	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
--	--

If "YES," complete the following:

36) First Name: Kate	37) MI:	38) Last Name: Ritter	39) Suffix:
40) Title:			
41) Areas of Professional Qualification: () Archaeologist (<input checked="" type="checkbox"/>) Architectural Historian () Historian () Architect () Other (Specify) _____			

36) First Name: William	37) MI:	38) Last Name: Ross	39) Suffix:
40) Title:			
41) Areas of Professional Qualification: () Archaeologist (<input checked="" type="checkbox"/>) Architectural Historian () Historian () Architect () Other (Specify) _____			

Site Information

Tower Construction Notification System

1) TCNS Notification Number: 231608

Site Information

2) Positive Train Control Filing Subject to Expedited Treatment Under Program Comment: () Yes (**X**) No

3) Site Name: **Harbour Place (Sprint Keep) / 4NBS027A**

4) Site Address: **1 Harbour Place**

5) Detailed Description of Project:

Antenna modification/upgrade on an existing building with no ground disturbance. Please see Attachment 4 of this filing for project design details. (6121003322)(4NBS027A)

6) City: **Portsmouth**

7) State: **NH**

8) Zip Code: **03881**

9) County/Borough/Parish: **ROCKINGHAM**

10) Nearest Crossroads: **Bow St and Harbour Pl**

11) NAD 83 Latitude (DD-MM-SS.S): **43-04-42.0** (**X**) N or () S

12) NAD 83 Longitude (DD-MM-SS.S): **070-45-13.0** () E or (**X**) W

Collocation Information

13) Antennas will be located on (Select One):

() Communications Tower (Select One): () Guyed Lattice Tower () Self-supporting Lattice () Monopole

() Other (Describe): _____

(**X**) Non-Tower Structure (Describe Structure): **Building with Antenna on top**

14) Tower height above ground level (including top-mounted attachments such as lightning rods): **32.6** () Feet (**X**) Meters

15) Description of Antennas to be collocated (e.g. number, type, shape, dimensions, color):

Six existing antennas to be removed; nine new antennas and six new radio units to be installed at 103'; 104'-7"; and 105'-5" on the 100'-6" building penthouse.

16) Will the Antennas be placed at multiple levels on the structure?

(**X**) Yes () No

If "Yes", describe placement:

103'; 104'-7"; and 105'-5"

If "No", specify the height of collocation above ground: _____ () Feet () Meters

17) Structure Completion Year: **1890** (YYYY)

(**X**) Check here if your year provided is approximate.

18) Has the Communications Tower or Non-Tower Structure been the subject of SHPO/THPO review? If "Yes", specify the following: Company that made the submission: _____ Date submitted: _____ SHPO/THPO Reference Number: _____	() <u>Y</u> es (X) <u>N</u> o
19) Is the Communications Tower or Non-Tower Structure eligible for listing on the National Register?	(X) <u>Y</u> es () <u>N</u> o

Collocation Status

20) Current Collocation Status (Select One): (X) Construction and/or installation has not yet commenced () Construction and/or installation has commenced, but is not completed Construction and/or installation commenced on: _____ () Construction has been completed Construction and/or installation commenced on: _____ Construction and/or installation completed on: _____

Determination of Effect

21) Direct Effects (Select One): () No Historic Properties in Area of Potential Effects (APE) () No Effect on Historic Properties in APE (X) No Adverse Effect on Historic Properties in APE () Adverse Effect on one or more Historic Properties in APE
22) Visual Effects (Select One): () No Historic Properties in Area of Potential Effects (APE) () No Effect on Historic Properties in APE (X) No Adverse Effect on Historic Properties in APE () Adverse Effect on one or more Historic Properties in APE

Tribal/NHO Involvement

1) Have Indian Tribes or Native Hawaiian Organizations (NHOs) been identified that may attach religious and cultural significance to historic properties which may be affected by the undertaking within the APEs for direct and visual effects?		(<input checked="" type="checkbox"/>) <u>Yes</u> (<input type="checkbox"/>) <u>No</u>
2a) Tribes/NHOs contacted through TCNS Notification Number: <u>231608</u>		Number of Tribes/NHOs: <u>5</u>
2b) Tribes/NHOs contacted through an alternate system:		Number of Tribes/NHOs: <u>0</u>

Tribe/NHO Contacted Through TCNS

3) Tribe/NHO FRN:
4) Tribe/NHO Name: Bad River Band of Lake Superior Tribe of Chippewa Indians

Contact Name

5) First Name: Edith	6) MI:	7) Last Name: Leoso	8) Suffix:
9) Title: THPO			

Dates & Response

10) Date Contacted <u>05/19/2021</u>	11) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply	
(<input type="checkbox"/>) Replied/No Interest	
(<input type="checkbox"/>) Replied/Have Interest	
(<input type="checkbox"/>) Replied/Other	

Tribe/NHO Contacted Through TCNS

3) Tribe/NHO FRN:
4) Tribe/NHO Name: Lac du Flambeau Band of Lake Superior Chippewa Indians

Contact Name

5) First Name: Melinda	6) MI: J	7) Last Name: Young	8) Suffix:
9) Title: THPO			

Dates & Response

10) Date Contacted <u>05/19/2021</u>	11) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply	
(<input type="checkbox"/>) Replied/No Interest	
(<input type="checkbox"/>) Replied/Have Interest	
(<input type="checkbox"/>) Replied/Other	

Tribal/NHO Involvement

1) Have Indian Tribes or Native Hawaiian Organizations (NHOs) been identified that may attach religious and cultural significance to historic properties which may be affected by the undertaking within the APEs for direct and visual effects?		(<input checked="" type="checkbox"/>) <u>Yes</u> (<input type="checkbox"/>) <u>No</u>
2a) Tribes/NHOs contacted through TCNS Notification Number: <u>231608</u>		Number of Tribes/NHOs: <u>5</u>
2b) Tribes/NHOs contacted through an alternate system:		Number of Tribes/NHOs: <u>0</u>

Tribe/NHO Contacted Through TCNS

3) Tribe/NHO FRN:
4) Tribe/NHO Name: Narragansett Indian Tribe

Contact Name

5) First Name: Sequahna	6) MI:	7) Last Name: Mars	8) Suffix:
9) Title: Program Manager			

Dates & Response

10) Date Contacted <u>05/20/2021</u>	11) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply	
(<input type="checkbox"/>) Replied/No Interest	
(<input type="checkbox"/>) Replied/Have Interest	
(<input type="checkbox"/>) Replied/Other	

Tribe/NHO Contacted Through TCNS

3) Tribe/NHO FRN:
4) Tribe/NHO Name: Red Cliff Band of Lake Superior Chippewa Indians of Wisconsin

Contact Name

5) First Name: Marvin	6) MI:	7) Last Name: DeFoe	8) Suffix:
9) Title: THPO			

Dates & Response

10) Date Contacted <u>05/19/2021</u>	11) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply	
(<input type="checkbox"/>) Replied/No Interest	
(<input type="checkbox"/>) Replied/Have Interest	
(<input type="checkbox"/>) Replied/Other	

Tribal/NHO Involvement

1) Have Indian Tribes or Native Hawaiian Organizations (NHOs) been identified that may attach religious and cultural significance to historic properties which may be affected by the undertaking within the APEs for direct and visual effects?		(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
2a) Tribes/NHOs contacted through TCNS Notification Number: <u>231608</u>		Number of Tribes/NHOs: <u>5</u>
2b) Tribes/NHOs contacted through an alternate system:		Number of Tribes/NHOs: <u>0</u>

Tribe/NHO Contacted Through TCNS

3) Tribe/NHO FRN:
4) Tribe/NHO Name: Sac and Fox Nation

Contact Name

5) First Name: Audrey	6) MI:	7) Last Name: Lee	8) Suffix:
9) Title: Chief of Staff			

Dates & Response

10) Date Contacted <u>05/20/2021</u>	11) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other	

Other Tribes/NHOs Contacted

Tribe/NHO Information

1) FCC Registration Number (FRN):
2) Name:

Contact Name

3) First Name:	4) MI:	5) Last Name:	6) Suffix:
7) Title:			

Contact Information

8) P.O. Box:	And /Or	9) Street Address:	
10) City:		11) State:	12) Zip Code:
13) Telephone Number:		14) Fax Number:	
15) E-mail Address:			
16) Preferred means of communication: () E-mail () Letter () Both			

Dates & Response

17) Date Contacted _____	18) Date Replied _____
() No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other	

Historic Properties

Properties Identified

1) Have any historic properties been identified within the APEs for direct and visual effect?	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
2) Has the identification process located archaeological materials that would be directly affected, or sites that are of cultural or religious significance to Tribes/NHOs?	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
3) Are there more than 10 historic properties within the APEs for direct and visual effect? If "Yes", you are required to attach a Cultural Resources Report in lieu of adding the Historic Property below.	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o

Historic Property

4) Property Name: Mixed-Use Building (Subject Property) 1 Harbour Place
5) SHPO Site Number: POR0174

Property Address

6) Street Address: 1 Harbor Place		
7) City: Portsmouth	8) State: NH	9) Zip Code: 03881
10) County/Borough/Parish: ROCKINGHAM		

Status & Eligibility

11) Is this property listed on the National Register? Source: <u>EMMIT / NR 16000820</u>	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
12) Is this property eligible for listing on the National Register? Source: _____	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
13) Is this property a National Historic Landmark?	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o

14) Direct Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE
15) Visual Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE

Historic Properties

Properties Identified

1) Have any historic properties been identified within the APEs for direct and visual effect?	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
2) Has the identification process located archaeological materials that would be directly affected, or sites that are of cultural or religious significance to Tribes/NHOs?	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
3) Are there more than 10 historic properties within the APEs for direct and visual effect? If "Yes", you are required to attach a Cultural Resources Report in lieu of adding the Historic Property below.	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o

Historic Property

4) Property Name: Portsmouth Downtown Historic District
5) SHPO Site Number: POR0174

Property Address

6) Street Address: Downtown Portsmouth		
7) City: Portsmouth	8) State: NH	9) Zip Code: 03881
10) County/Borough/Parish: ROCKINGHAM		

Status & Eligibility

11) Is this property listed on the National Register? Source: <u>EMMIT / NR 16000820</u>	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
12) Is this property eligible for listing on the National Register? Source: _____	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
13) Is this property a National Historic Landmark?	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o

14) Direct Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE
15) Visual Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE

Historic Properties

Properties Identified

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2) Has the identification process located archaeological materials that would be directly affected, or sites that are of cultural or religious significance to Tribes/NHOs?	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
3) Are there more than 10 historic properties within the APEs for direct and visual effect? If "Yes", you are required to attach a Cultural Resources Report in lieu of adding the Historic Property below.	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o

Historic Property

4) Property Name: Pier II Warehouse
5) SHPO Site Number: POR0017

Property Address

6) Street Address: 10 State Street		
7) City: Portsmouth	8) State: NH	9) Zip Code: 03881
10) County/Borough/Parish: ROCKINGHAM		

Status & Eligibility

11) Is this property listed on the National Register? Source: _____	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
12) Is this property eligible for listing on the National Register? Source: EMMIT POR0017	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
13) Is this property a National Historic Landmark?	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o

14) Direct Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE
15) Visual Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE

Historic Properties

Properties Identified

1) Have any historic properties been identified within the APEs for direct and visual effect?	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
2) Has the identification process located archaeological materials that would be directly affected, or sites that are of cultural or religious significance to Tribes/NHOs?	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
3) Are there more than 10 historic properties within the APEs for direct and visual effect? If "Yes", you are required to attach a Cultural Resources Report in lieu of adding the Historic Property below.	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o

Historic Property

4) Property Name: Memorial Park / Scott Avenue Bridge
5) SHPO Site Number: POR0014

Property Address

6) Street Address: Between Wright Ave, Scott Ave, and Dutton Ave		
7) City: Portsmouth	8) State: NH	9) Zip Code: 03881
10) County/Borough/Parish: ROCKINGHAM		

Status & Eligibility

11) Is this property listed on the National Register? Source: _____	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
12) Is this property eligible for listing on the National Register? Source: EMMIT POR0014	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
13) Is this property a National Historic Landmark?	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o

14) Direct Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE
15) Visual Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE

Historic Properties

Properties Identified

1) Have any historic properties been identified within the APEs for direct and visual effect?	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
2) Has the identification process located archaeological materials that would be directly affected, or sites that are of cultural or religious significance to Tribes/NHOs?	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
3) Are there more than 10 historic properties within the APEs for direct and visual effect? If "Yes", you are required to attach a Cultural Resources Report in lieu of adding the Historic Property below.	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o

Historic Property

4) Property Name: Memorial Bridge
5) SHPO Site Number: POR0022

Property Address

6) Street Address: US Route 1 over Piscataqua River		
7) City: Portsmouth	8) State: NH	9) Zip Code: 03881
10) County/Borough/Parish: ROCKINGHAM		

Status & Eligibility

11) Is this property listed on the National Register? Source: _____	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
12) Is this property eligible for listing on the National Register? Source: EMMIT POR0022	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
13) Is this property a National Historic Landmark?	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o

14) Direct Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE
15) Visual Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE

Historic Properties

Properties Identified

1) Have any historic properties been identified within the APEs for direct and visual effect?	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
2) Has the identification process located archaeological materials that would be directly affected, or sites that are of cultural or religious significance to Tribes/NHOs?	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
3) Are there more than 10 historic properties within the APEs for direct and visual effect? If "Yes", you are required to attach a Cultural Resources Report in lieu of adding the Historic Property below.	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o

Historic Property

4) Property Name: MacPheadris-Warner House
5) SHPO Site Number: POR0168

Property Address

6) Street Address: 150 Daniel Street		
7) City: Portsmouth	8) State: NH	9) Zip Code: 03881
10) County/Borough/Parish: ROCKINGHAM		

Status & Eligibility

11) Is this property listed on the National Register? Source: <u>EMMIT / NR 66000028</u>	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o
12) Is this property eligible for listing on the National Register? Source: _____	() <u>Y</u> es (<input checked="" type="checkbox"/>) <u>N</u> o
13) Is this property a National Historic Landmark?	(<input checked="" type="checkbox"/>) <u>Y</u> es () <u>N</u> o

14) Direct Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE
15) Visual Effects (Select One): () No Effect on this Historic Property in APE (<input checked="" type="checkbox"/>) No Adverse Effect on this Historic Property in APE () Adverse Effect on this Historic Property in APE

Local Government Involvement

Local Government Agency

1) FCC Registration Number (FRN):
2) Name: City of Portsmouth Historic District Commission

Contact Name

3) First Name: Nick	4) MI:	5) Last Name: Cracknell	6) Suffix:
7) Title: Principal Planner			

Contact Information

8) P.O. Box:	And /Or	9) Street Address: 1 Junkins Ave, 3rd Floor	
10) City: Portsmouth		11) State: NH	12) Zip Code: 03801
13) Telephone Number: (603)610-7328		14) Fax Number:	
15) E-mail Address: njcracknell@cityofportsmouth.com			
16) Preferred means of communication: () E-mail (X) Letter () Both			

Dates & Response

17) Date Contacted 05/21/2021	18) Date Replied _____
(X) No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other	

Additional Information

19) Information on local government's role or interest (optional):
--

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	(<input checked="" type="checkbox"/>) <u>Yes</u> () <u>No</u>
--	---

Consulting Party

2) FCC Registration Number (FRN):
3) Name: Portsmouth Historical Society

Contact Name

4) First Name: Brian	5) MI:	6) Last Name: LeMay	7) Suffix:
8) Title: Executive Director			

Contact Information

9) P.O. Box: P.O. Box 728	And /Or	10) Street Address:	
11) City: Portsmouth		12) State: NH	13) Zip Code: 03802
14) Telephone Number: (603)436-8433		15) Fax Number:	
16) E-mail Address: brian@portsmouthhistory.org			
17) Preferred means of communication: (<input checked="" type="checkbox"/>) E-mail () Letter () Both			

Dates & Response

18) Date Contacted 05/21/2021	19) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply () Replied/No Interest () Replied/Have Interest () Replied/Other	

Additional Information

20) Information on other consulting parties' role or interest (optional):

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	(<input checked="" type="checkbox"/>) <u>Yes</u> () <u>No</u>
--	---

Consulting Party

2) FCC Registration Number (FRN):
3) Name: Laconia Indian Historical Association

Contact Name

4) First Name: Sue	5) MI:	6) Last Name: Thyng	7) Suffix:
8) Title: President			

Contact Information

9) P.O. Box:	And /Or	10) Street Address: 109 Osgood Rd	
11) City: Sanbornton		12) State: NH	13) Zip Code: 03269
14) Telephone Number: (000)000-0000		15) Fax Number:	
16) E-mail Address:			
17) Preferred means of communication: () E-mail (<input checked="" type="checkbox"/>) Letter () Both			

Dates & Response

18) Date Contacted 05/18/2021	19) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other	

Additional Information

20) Information on other consulting parties' role or interest (optional):

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	(<input checked="" type="checkbox"/>) <u>Yes</u> () <u>No</u>
--	---

Consulting Party

2) FCC Registration Number (FRN):
3) Name: NH Intertribal Native American Council

Contact Name

4) First Name: Peter	5) MI:	6) Last Name: Newell	7) Suffix:
8) Title: Council Chief			

Contact Information

9) P.O. Box:	And /Or	10) Street Address: 9 Durrell Mountain Road	
11) City: Belmont		12) State: NH	13) Zip Code: 03220
14) Telephone Number: (000)000-0000		15) Fax Number:	
16) E-mail Address:			
17) Preferred means of communication: () E-mail (<input checked="" type="checkbox"/>) Letter () Both			

Dates & Response

18) Date Contacted 05/18/2021	19) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other	

Additional Information

20) Information on other consulting parties' role or interest (optional):

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	(<input checked="" type="checkbox"/>) <u>Yes</u> () <u>No</u>
--	---

Consulting Party

2) FCC Registration Number (FRN):
3) Name: Abenaki Nation of New Hampshire

Contact Name

4) First Name: Rhonda	5) MI:	6) Last Name: Besaw	7) Suffix:
8) Title: Speaker			

Contact Information

9) P.O. Box:	And /Or	10) Street Address: 262 Lancaster Road	
11) City: Whitefield		12) State: NH	13) Zip Code: 03598
14) Telephone Number: (000)000-0000		15) Fax Number:	
16) E-mail Address: rhondalbesaw@gmail.com			
17) Preferred means of communication: (<input checked="" type="checkbox"/>) E-mail () Letter () Both			

Dates & Response

18) Date Contacted 05/18/2021	19) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply () Replied/No Interest () Replied/Have Interest () Replied/Other	

Additional Information

20) Information on other consulting parties' role or interest (optional):

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	(<input checked="" type="checkbox"/>) <u>Yes</u> () <u>No</u>
--	---

Consulting Party

2) FCC Registration Number (FRN):
3) Name: Pennacook/Abenaki People

Contact Name

4) First Name: Paul	5) MI:	6) Last Name: Pouliot	7) Suffix:
8) Title: Council Chief and Speaker			

Contact Information

9) P.O. Box: P.O. Box 52	And /Or	10) Street Address:	
11) City: Alton		12) State: NH	13) Zip Code: 03809
14) Telephone Number: (000)000-0000		15) Fax Number:	
16) E-mail Address: cowasuck@tds.net			
17) Preferred means of communication: () E-mail () Letter (<input checked="" type="checkbox"/>) Both			

Dates & Response

18) Date Contacted 05/18/2021	19) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply	
() Replied/No Interest	
() Replied/Have Interest	
() Replied/Other	

Additional Information

20) Information on other consulting parties' role or interest (optional):

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	(<input checked="" type="checkbox"/>) <u>Yes</u> () <u>No</u>
--	---

Consulting Party

2) FCC Registration Number (FRN):
3) Name: Koasek (Cowasuck) Traditional Band of the Sovereign Abenaki Nation

Contact Name

4) First Name: Patricia	5) MI:	6) Last Name: Leno	7) Suffix:
8) Title: Chief			

Contact Information

9) P.O. Box: P.O. Box 147	And /Or	10) Street Address:	
11) City: Post Mills		12) State: VT	13) Zip Code: 05058
14) Telephone Number: (000)000-0000		15) Fax Number:	
16) E-mail Address: pleno1228@gmail.com			
17) Preferred means of communication: (<input checked="" type="checkbox"/>) E-mail () Letter () Both			

Dates & Response

18) Date Contacted 05/18/2021	19) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply () Replied/No Interest () Replied/Have Interest () Replied/Other	

Additional Information

20) Information on other consulting parties' role or interest (optional):

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	(<input checked="" type="checkbox"/>) <u>Yes</u> () <u>No</u>
--	---

Consulting Party

2) FCC Registration Number (FRN):
3) Name: Koasek of the Koas of the Abenaki Nation

Contact Name

4) First Name: Council of Chiefs	5) MI:	6) Last Name: Amy Therrian, Carrie	7) Suffix:
8) Title: Gendreau, Shrily Hook			

Contact Information

9) P.O. Box:	And /Or	10) Street Address: 188 Allen Bent Road		
11) City: Roxbury		12) State: VT	13) Zip Code: 05669	
14) Telephone Number: (000)000-0000		15) Fax Number:		
16) E-mail Address: KoasekKoas@gmail.com				
17) Preferred means of communication: (<input checked="" type="checkbox"/>) E-mail () Letter () Both				

Dates & Response

18) Date Contacted 05/18/2021	19) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply () Replied/No Interest () Replied/Have Interest () Replied/Other	

Additional Information

20) Information on other consulting parties' role or interest (optional):

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	(<input checked="" type="checkbox"/>) <u>Yes</u> () <u>No</u>
--	---

Consulting Party

2) FCC Registration Number (FRN):
3) Name: Ko'asek (Co'wasuck) Traditional Band of the Abenaki Nation

Contact Name

4) First Name: Paul	5) MI:	6) Last Name: Bunnell	7) Suffix:
8) Title:			

Contact Information

9) P.O. Box:	And /Or	10) Street Address: 49 Pleasant St. #106	
11) City: Alstead		12) State: NH	13) Zip Code: 03602
14) Telephone Number: (000)000-0000		15) Fax Number:	
16) E-mail Address: bunnellloyalist@aol.com			
17) Preferred means of communication: (<input checked="" type="checkbox"/>) E-mail () Letter () Both			

Dates & Response

18) Date Contacted 05/18/2021	19) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply () Replied/No Interest () Replied/Have Interest () Replied/Other	

Additional Information

20) Information on other consulting parties' role or interest (optional):

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	(<input checked="" type="checkbox"/>) <u>Yes</u> () <u>No</u>
--	---

Consulting Party

2) FCC Registration Number (FRN):
3) Name: Eastern Pequot Reservation/Paucatuck Eastern Pequot Tribe Eastern Area Office

Contact Name

4) First Name: Roy	5) MI:	6) Last Name: Sesbastian	7) Suffix:
8) Title: Chief			

Contact Information

9) P.O. Box:	And /Or	10) Street Address: 935 Lantern Hill Road	
11) City: Ledyard		12) State: CT	13) Zip Code: 06339
14) Telephone Number: (000)000-0000		15) Fax Number:	
16) E-mail Address: eptn1683@yahoo.com			
17) Preferred means of communication: (<input checked="" type="checkbox"/>) E-mail () Letter () Both			

Dates & Response

18) Date Contacted 05/18/2021	19) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply () Replied/No Interest () Replied/Have Interest () Replied/Other	

Additional Information

20) Information on other consulting parties' role or interest (optional):

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	(<input checked="" type="checkbox"/>) <u>Yes</u> () <u>No</u>
--	---

Consulting Party

2) FCC Registration Number (FRN):
3) Name: Golden Hill Indian Reservation Golden Hill Paugussett 3 Chief Government

Contact Name

4) First Name: Moonface	5) MI:	6) Last Name: Bear	7) Suffix:
8) Title: Leader			

Contact Information

9) P.O. Box:	And /Or	10) Street Address: 95 Stanavage Road	
11) City: Trumbull		12) State: CT	13) Zip Code: 06415
14) Telephone Number: (000)000-0000		15) Fax Number:	
16) E-mail Address: Jewel4198@yahoo.com			
17) Preferred means of communication: () E-mail (<input checked="" type="checkbox"/>) Letter () Both			

Dates & Response

18) Date Contacted 05/18/2021	19) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply () Replied/No Interest () Replied/Have Interest () Replied/Other	

Additional Information

20) Information on other consulting parties' role or interest (optional):

Other Consulting Parties

Other Consulting Parties Contacted

1) Has any other agency been contacted and invited to become a consulting party?	(<input checked="" type="checkbox"/>) <u>Yes</u> () <u>No</u>
--	---

Consulting Party

2) FCC Registration Number (FRN):
3) Name: Schaghticoke Tribal Nation

Contact Name

4) First Name: Richard	5) MI:	6) Last Name: Velky	7) Suffix:
8) Title: Chief			

Contact Information

9) P.O. Box:	And /Or	10) Street Address: 101 Elizabeth Street, 2nd Floor		
11) City: Derby		12) State: CT	13) Zip Code: 06418	
14) Telephone Number: (000)000-0000		15) Fax Number:		
16) E-mail Address: STN1699@yahoo.com				
17) Preferred means of communication: () E-mail (<input checked="" type="checkbox"/>) Letter () Both				

Dates & Response

18) Date Contacted 05/18/2021	19) Date Replied _____
(<input checked="" type="checkbox"/>) No Reply () Replied/No Interest () Replied/Have Interest () Replied/Other	

Additional Information

20) Information on other consulting parties' role or interest (optional):

Designation of SHPO/THPO

1) Designate the Lead State Historic Preservation Officer (SHPO) or Tribal Historic Preservation Officer (THPO) based on the location of the tower/collocation.

SHPO/THPO

Name: **NH Division of Historical Resources**

2) You may also designate up to three additional SHPOs/THPOs if the APEs include multiple states. If the APEs include other countries, enter the name of the National Historic Preservation Agency and any state and provincial Historic Preservation Agency

SHPO/THPO Name: _____

SHPO/THPO Name: _____

SHPO/THPO Name: _____

Certification

I certify that all representations on this FCC Form 621 Submission Packet and the accompanying attachments are true, correct, and complete.

Party Authorized to Sign

First Name: **Michelle**

MI:

Last Name: **Houston**

Suffix:

Signature: **Michelle Houston**

Date: **06/10/2021**

FAILURE TO SIGN THIS APPLICATION MAY RESULT IN DISMISSAL OF THE APPLICATION AND FORFEITURE OF ANY FEES PAID.

WILLFUL FALSE STATEMENTS MADE ON THIS FORM OR ANY ATTACHMENTS ARE PUNISHABLE BY FINE AND/OR IMPRISONMENT (U.S. Code, Title 18, Section 1001) AND/OR REVOCATION OF ANY STATION LICENSE OR CONSTRUCTION PERMIT (U.S. Code, Title 47, Section 312(a)(1)), AND/OR FORFEITURE (U.S. Code, Title 47, Section 503).

Attachments :

Type	Description	Date Entered
Resumes/Vitae	Attachment 1	06/10/2021
Photographs	Attachment 2	06/10/2021
Map Documents	Attachment 3	06/10/2021
Additional Site Information	Attachment 4	06/10/2021
Area of Potential Effects	Attachment 5	06/10/2021
Historic Properties for Direct Effects	Attachment 7	06/10/2021
Historic Properties for Visual Effects	Attachment 8	06/10/2021
Local Government Involvement	Attachment 9	06/10/2021
Public Involvement	Attachment 10	06/10/2021
State-Specific Forms	Attachment 11	06/10/2021
Tribal/NHO Involvement	Attachment 6	06/10/2021

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3060-1039
See instructions for
public burden estimates

Attachment I. Consultant Information

Provide a current copy of the résumé or curriculum vitae for the Principal Investigator and any researcher or other person who contributed to, reviewed, or provided significant input into the research, analysis, writing or conclusions presented in this filing.

The résumé for the Principal Investigator and any researcher or other person who contributed to, reviewed, or provided significant input into the research, analysis, writing or conclusions are presented in this submission.

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

FCC Form 621

Summary of Experience

Kate Ritter has extensive experience in historic preservation and cultural resource management, and has been professionally active in these fields since 2012. She meets the Secretary of the Interior's Professional Qualifications Standards as specified in 36 CFR Part 61 for Architectural History. Ms. Ritter has held a variety of positions, including with the National Park Service, local and regional preservation non-profits, and in the construction industry. As a graduate student, she co-authored a 400-building neighborhood survey for the City of Burlington, Vermont, and submitted documentation to the Vermont Barn Census state database for the towns of Jericho and Bolton. Through her education and work, Ms. Ritter possesses knowledge and skill with architectural assessment, field documentation, report production, and research.

Relevant Project Experience

- Evaluation of structures and synthesizing information into writing
- Preparation of National Register of Historic Places nominations
- Skilled in research and applying the Secretary of the Interior's Standards
- Management of educational preservation programming
- Hands-on knowledge with timber framing and building rehabilitation
- Backcountry resource field experience with the National Park Service
- Versed with Section 106 and Section 4(f) processes
- Trained in architectural drafting, rendering, and photography

Education

M.S. Historic Preservation, University of Vermont, Burlington, VT

B.A. concentrating in Architecture and Music, Bennington College, Bennington, VT

Professional Affiliations

National Trust for Historic Preservation

SUMMARY OF EXPERIENCE

William Ross, Architectural Historian has extensive experience in historic preservation and architectural history since 2013.

At EBI Consulting, Mr. Ross's responsibilities include the completion of Section 106 reports, National Environmental Policy Act (NEPA) evaluations including analysis of historic properties and areas of environmental concern, and determining eligibility for properties' inclusion in the National Register of Historic Places.

Prior to his work at EBI, Mr. Ross was a student in Columbia University's Historic preservation program, where he was a teaching assistant for two classes, Preservation Law and Colloquium. He also served as an intern at Landmark West, advocating for the preservation of the historic architecture of Manhattan's Upper West Side.

Relevant Project Experience

Master's Thesis: *Preserving Jamestown, Rhode Island*

For his master's thesis, Mr. Ross developed preservation planning recommendations for the town of Jamestown, Rhode Island. Relevant experience included interviewing state and local officials, preservation professionals, and residents; mapping historic features and building ages in ArcGIS; and analyzing similar towns' preservation ordinances.

Bushwick United Methodist Church National Register Nomination, Brooklyn NY

Mr. Ross researched and wrote the nomination for this building, which was added to the New York State Register in 2016 and the National Register of Historic Places in 2017.

Flushing Meadows-Corona Park Preservation Studio

As part of a team at Columbia University, Mr. Ross surveyed the park and developed a conditions report survey and other deliverables for the client, the New York City Parks Department.

Spafford Mausoleum, Woodlawn Cemetery, Bronx NY

Mr. Ross produced a comprehensive report of this mausoleum, including archival research, architectural analysis, and the production of architectural drawings in AutoCad.

Education

M.S.	Historic Preservation	Columbia University GSAPP
B.A.	Classical Humanities	The George Washington University
Study abroad experience in Rome, Italy		

Professional Affiliations

National Trust for Historic Preservation

Summary of Experience

Michelle Houston is a Cultural Resources and Environmental Planning professional with over 8 years of experience in historic preservation and environmental policy practice. Ms. Houston is qualified as a historian and architectural historian under the Secretary of the Interior's Historic Preservation Professional Qualification Standards, as defined in 36 Code of Federal Regulations (CFR) 61.

Throughout her career, Ms. Houston has performed all aspects of the Section 106 process, including extensive field work and resource documentation, city/county records and archival research, oral history interviews, National Register evaluations, aspects of integrity evaluations, public involvement, and technical production of History Resource Survey/Identification Reports and Determinations of Eligibility and Effects. She has served as technical lead for undertakings with federal involvement such as Federal Communications Commission (FCC), Federal Highway Administration (FHWA), United States Army Corps of Engineers (USACE), Federal Emergency Management Agency (FEMA), Federal Energy Regulatory Commission (FERC), and Federal Transit Authority (FTA).

Ms. Houston also regularly collaborates with Archaeologists for combined Cultural Resources Reports, and Ecologists and NEPA analysts for environmental documentation. Ms. Houston also provides consultation with project designers, engineers, contractors, architects, and the public on the treatment of historic properties, and avoidance, minimization, and mitigation strategies to ensure environmental compliance.

EBI CONSULTING- Burlington, MA

Senior Architectural Historian – March 2020 – Present

Relevant Project Experience

Forms 620/621, Federal Communications Commission, Nationwide, 2016-2020

Ms. Houston prepares necessary documentation to satisfy under Section 106 and in accordance with FCC's 2004 Nationwide Programmatic Agreement.

Historic Resource Survey Reports and Assessments of Effects, Federal Highway

Administration (FHWA), 2014-2020. Ms. Houston served as technical lead for architectural history responsible for field survey and NRHP assessment of properties 45-50 years old or older within the project's area of potential effect (APE). Ms. Houston also evaluated the project's physical, visual, atmospheric, and indirect effects to NRHP-listed or eligible resources. Project documentation required coordination and concurrence on NRHP eligibility determinations and a No Adverse Effect determination from SHPOs, as well as de minimis Section 4(f) determinations from FHWA.

Cultural Resource Reports, Federal Transit Authority (FTA), 2015-2020

Ms. Houston conducted evaluation of properties 45 years old or older for properties within the APE of proposed transit stations. Project documentation required coordination and concurrence on NRHP eligibility determinations and a No Adverse Effect determination from SHPOs and FTA.

Section 404 Cultural Resources Pre-Application Packages, US Army Corps of Engineers (USACE), 2015-2017 Ms. Houston researched and obtained all cultural resources documentation necessary for Section 106 compliance due to federal involvement for projects requiring a Section 404 of the Clean Water Act permit from USACE. Ms. Houston coordinated with USACE Archaeologist to obtain approval of the submissions to be transmitted to SHPO for concurrence.

Determinations of Eligibility and Effects, Federal Emergency Management Agency (FEMA) 2012-2014 Ms. Houston conducted extensive field work and technical drafting of Determinations of Eligibility and Effects documents for properties 45 years old or older seeking assistance from FEMA due to previous flood or hurricane damage. Ms. Houston prepared reporting efforts to be transmitted to SHPO for concurrence.

Education

Master of Preservation Studies, Tulane University

Bachelor of Arts, Art History, Millsaps College

Professional Affiliations

Society of Architectural Historians

rAttachment 2. Site Information - Photographs

You are required to provide photographs and maps as part of this filing. Additional site information can be provided in an optional attachment.

Photograph Requirements:

Except in cases where no Historic Properties were identified within the Areas of Potential Effects, submit photographs as described below. Photographs should be in color, marked so as to identify the project, keyed to the relevant map or text, and dated; the focal length of the lens and the height of the camera should be noted. The source of any photograph included but not taken by the Applicant or its consultant (including copies of historic images) should be identified on the photograph.

- a. Photographs taken from the collocation site should show views from the proposed location in all directions. The direction (e.g., north, south, etc.) should be indicated on each photograph, and, as a group, the photographs should present a complete (360 degree) view of the area around the communications tower or non-tower structure.
- b. Photographs of all listed and eligible properties within the Areas of Potential Effects.
- c. If any listed or eligible properties are visible from the proposed collocation site, photographs looking at the site from each historic property. The approximate distance in feet (meters) between the site and the historic property should be included. If any listed or eligible properties are within the APE, photos looking at each historic property should be included.

Include aerial photos of the APE for visual effects, if available. There are a variety of publicly available websites that provide aerial photographs.

Please see the attached photographs, taken by EBI Consulting on May 25, 2021, unless otherwise noted. A photograph location map is included within this attachment.

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

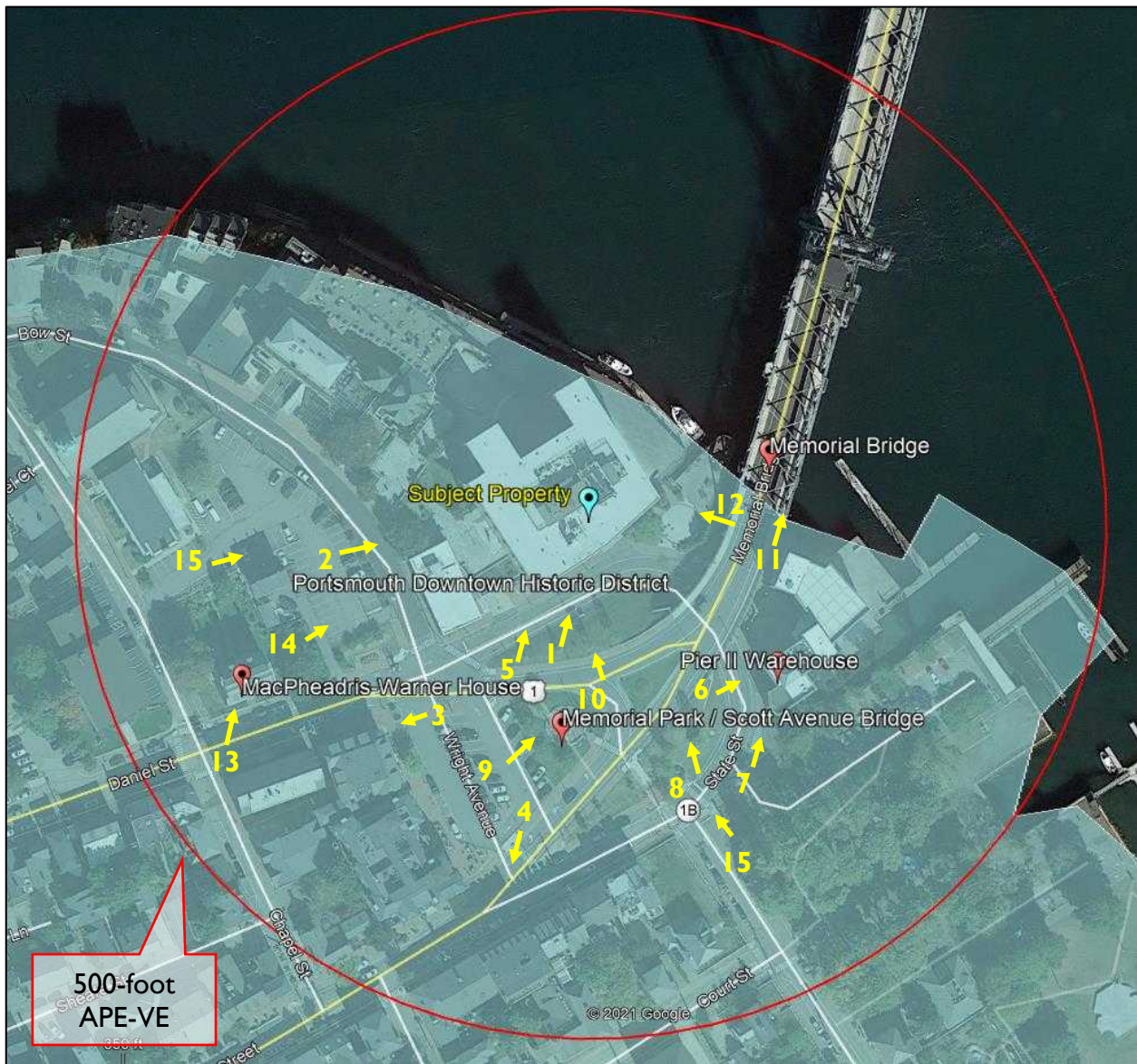


Photo Location Map

Arrow indicates the approximate location and direction in which the photograph was taken



Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

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1. View of the Subject Property, facing north. T-Mobile USA existing facility and proposed installation location indicated by red box.



2. View of the Subject Property, facing east.

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

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public burden estimates



3. View of the Portsmouth Downtown Historic District to the west, which includes the Subject Property as a contributing resource.



4. View of the Portsmouth Downtown Historic District to the south, which includes the Subject Property as a contributing resource.

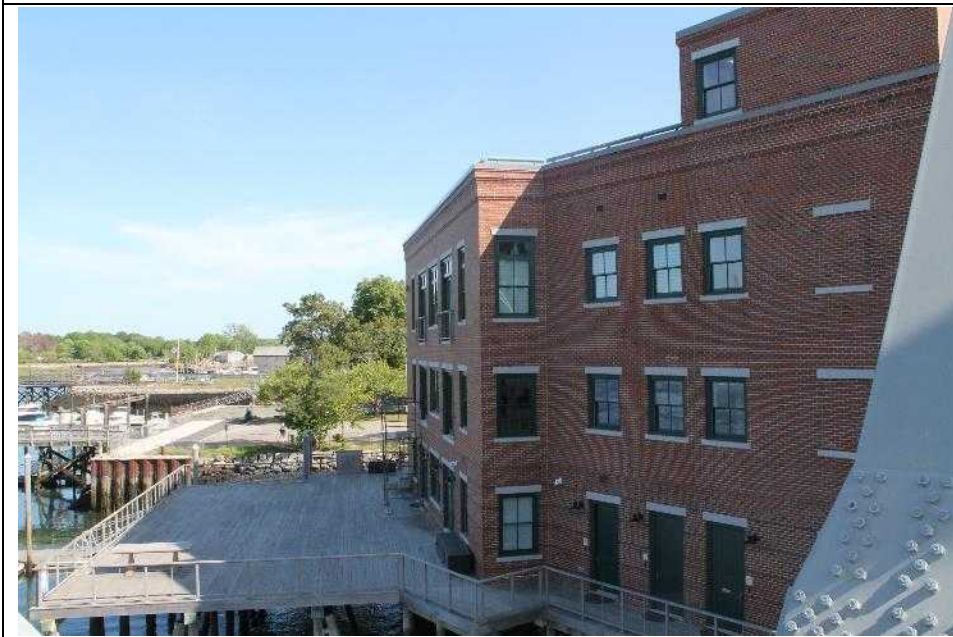
Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

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5. View of the Subject Property facing north from within the Portsmouth Downtown Historic District. Proposed installation is visible indicated by red box.



6. View of Pier II Warehouse, facing east.

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

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7. View of Pier II Warehouse, facing northeast.



8. View of the Subject Property from Pier II Warehouse, facing north. The proposed installation will be minimally visible, indicated by red arrow.

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

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9. View of Memorial Park / Scott Avenue Bridge, facing northeast.



10. View of the Subject Property from Memorial Park / Scott Avenue Bridge, facing north. The proposed installation will be minimally visible, indicated by red arrow.

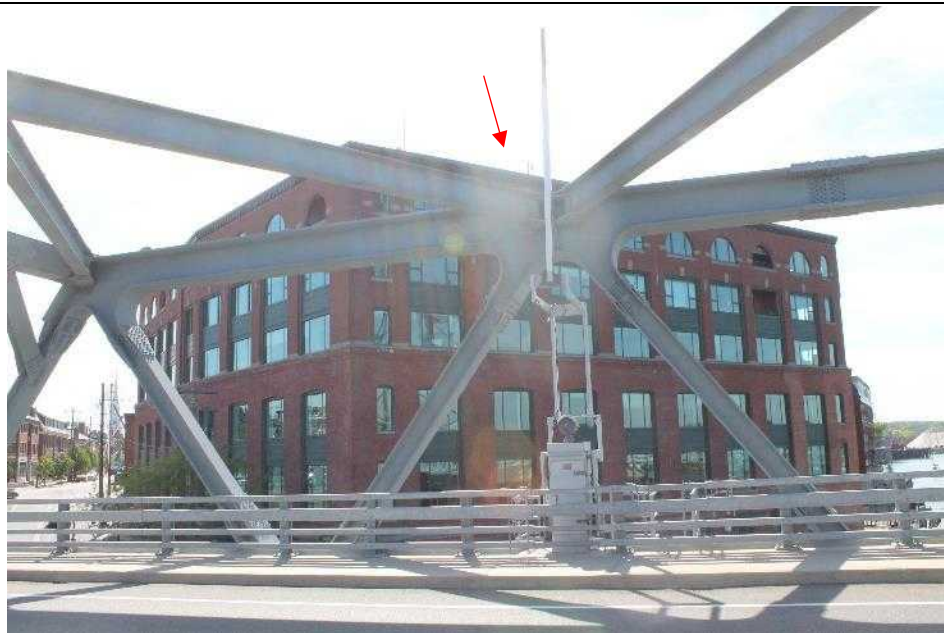
Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

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11. View of the
Memorial Bridge,
facing northeast.



12. View of the
Subject Property
from the
Memorial Bridge,
facing northwest.
The proposed
installation will be
minimally visible,
indicated by red
arrow.

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

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13. View of the MacPheadris-Warner House, facing north.



14. View of the Subject Property from the MacPheadris-Warner House, facing northeast. The proposed installation will be visible, indicated by red arrow.

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

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15. View of the
Subject Property,
facing northeast
from
approximately 300
feet west near
western edge of
APE-VE.

Applicant's Name: T-Mobile USA

Project Name: Harbour Place (Sprint Keep)

Project Number: 4NBS027A

FCC Form 621

Attachment 3. Site Information - Map Requirements

Include one or more 7.5-minute quad USGS topographical maps that:

- a.** Identify the Areas of Potential Effects for both Direct and Visual Effects. If a map is copied from the original, include a key with name of quad and date.
- b.** Show the location of the proposed collocation site and any new access roads or other easements including excavations.
- c.** Show the locations of each property listed.
- d.** Include keys for any symbols, colors, or other identifiers.
- e.** Submit color maps whenever possible.

The following maps are attached to this report:

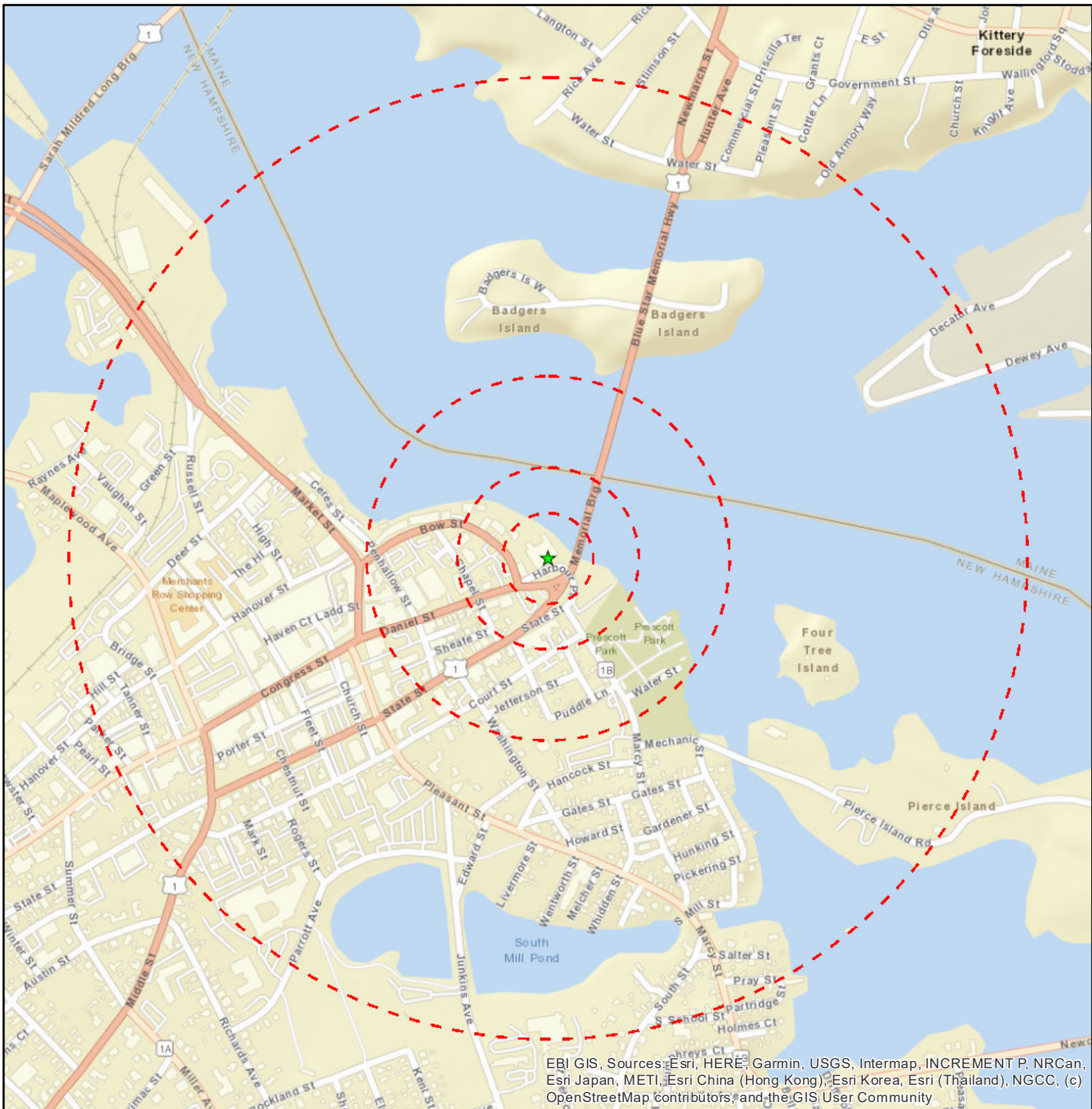
Street Map (Figure 1)

Topographic Map (Figure 2)

Aerial Photograph (Please see the Photo Location Map within Attachment 2)

Historic Resources Map

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A



Legend

- ★ Project Site
- Site Radius at 250', 500', 1000' and 1/2 mile

Date: 5/11/2021

Figure 1: Site Location Map

4NBS027A HARBOUR PLACE (SPRINT KEEP)
1 HARBOUR PLACE
PORTSMOUTH, NH 03881





Legend

- ★ Project Site
- Site Radius at 250', 500', 1000' and 1/2 mile

USGS 24K Quad: Portsmouth, NH 1986, Kittery, ME 1986

Date: 5/11/2021

Figure 2 - Topographic Map

4NBS027A HARBOUR PLACE (SPRINT KEEP)

1 HARBOUR PLACE

PORTSMOUTH, NH 03881

PN: 6121003322



6121003322



May 13, 2021

New Hampshire Mask

■ Individual Properties < 10 acres

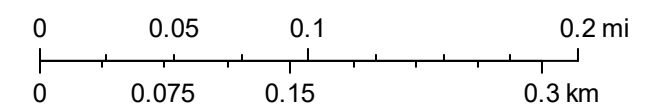
□ National Register Districts

□ Historic Districts

□ Counties

□ Towns

1:4,514



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

Attachment 4. Site Information – Additional Site Information**Additional Site Information Recommendations:**

Describe any additional structures, access roads, utility lines, fences, easements, or other construction planned for the site in conjunction with the proposed wireless telecommunication facility. Use this attachment to provide additional details needed to present a full and accurate description of any construction activities that will take place to complete the installation.

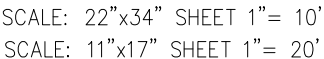
The Subject Property, located at 1 Harbour Place, Portsmouth, Rockingham County, New Hampshire 03881, is situated within a commercial downtown. The area surrounding the Subject Property consists primarily of commercial development associated with the Portsmouth Downtown Historic District, with the Piscataqua River to the north and northeast. The historic district represents a significant concentration of historic resources associated with the fishing and shipping industries. The area of the district surrounding the Subject Property consists of multi-story masonry commercial buildings, most of which were constructed in the eighteenth and nineteenth centuries. The historic district has been subjected to modern intrusions; however, it maintains historic integrity. The terrain of the area is gently sloped, and the vegetation is limited to landscaping along roadways.

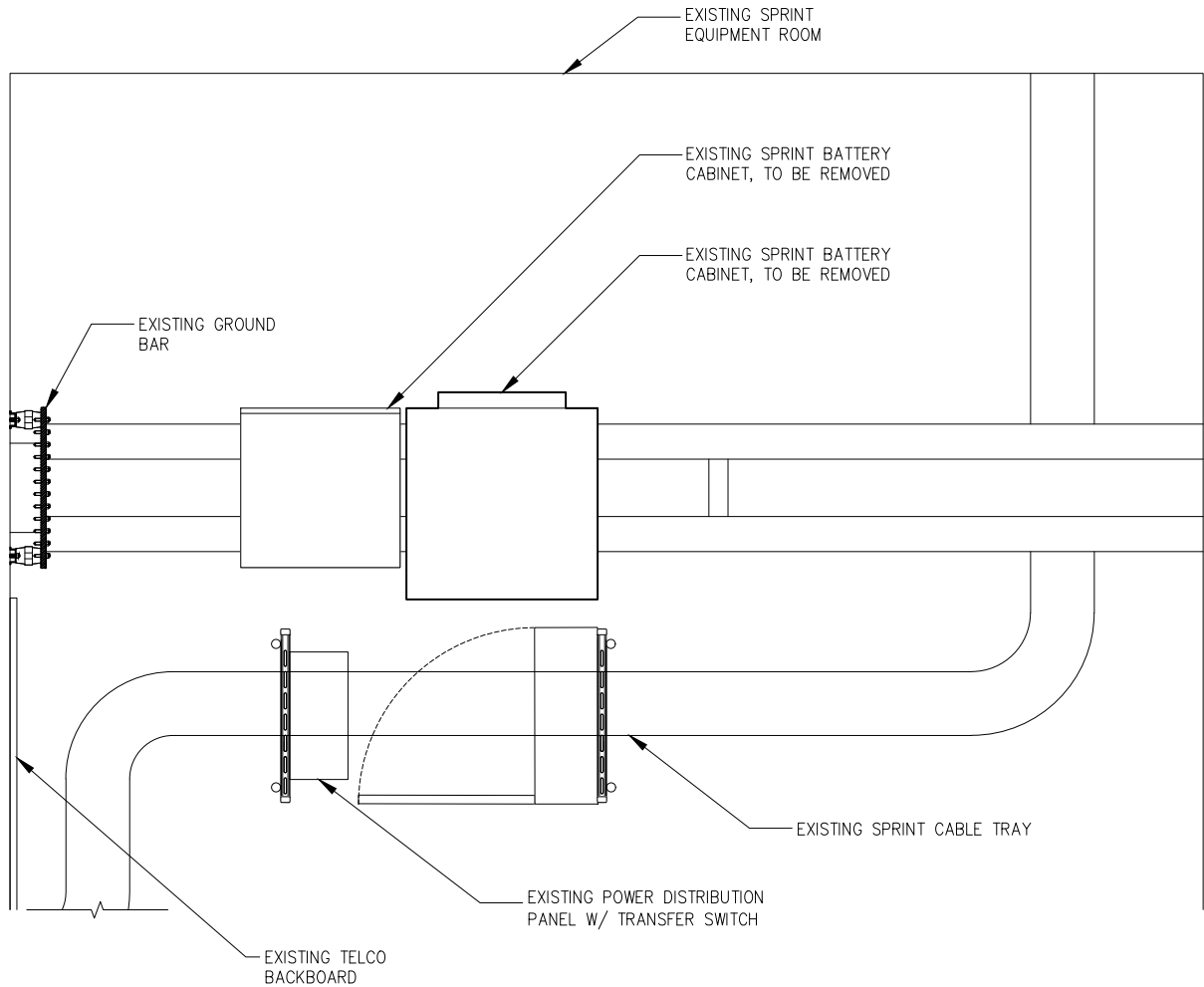
The Subject Property consists of a five-story, Classical Revival masonry building. The building was constructed circa 1890, with additions completed in 2005, and is a contributing building to the Portsmouth Downtown Historic District.

The proposed project consists of modifying an existing telecommunications facility located on the 100'-6" building penthouse. Modifications consist of removing six panel antennas (two per sector) and installing nine new antennas (three per sector) and six new radio units (two per sector) at center heights of 103', 104'-7", and 105'-5" above ground level (top height of 107' for highest antennas) on new pipe mounts. Additionally, two equipment cabinets, located inside the existing equipment room located in the Subject Property's penthouse, will be removed, and three new equipment cabinets will be installed. No ground disturbance is proposed.

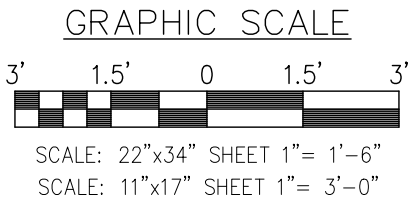
Site Plans/Lease Exhibits provided by T-Mobile USA are included in this attachment.

Applicant's Name:	<u>T-Mobile USA</u>
Project Name:	<u>Harbour Place (Sprint Keep)</u>
Project Number:	<u>4NBS027A</u>

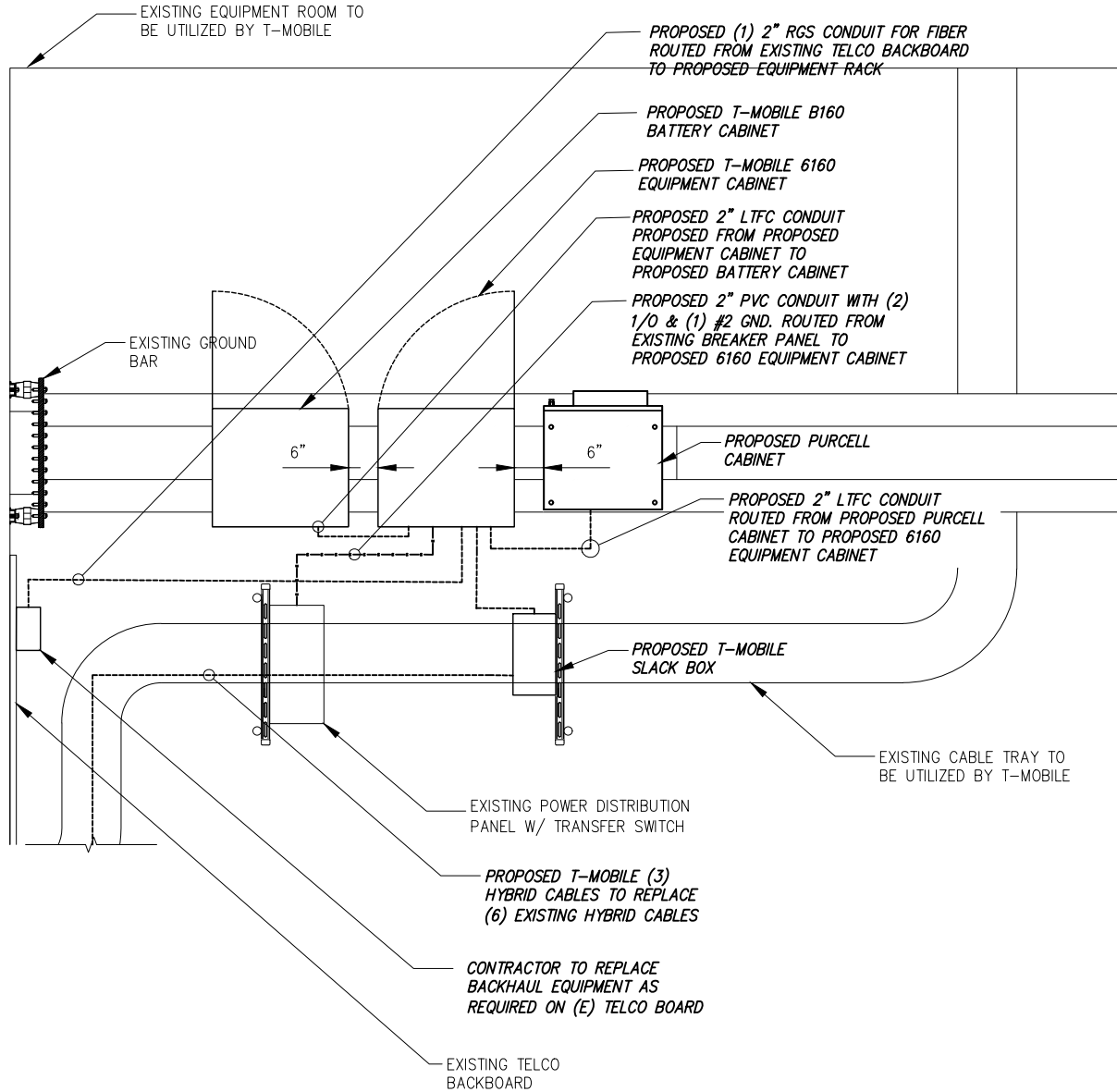




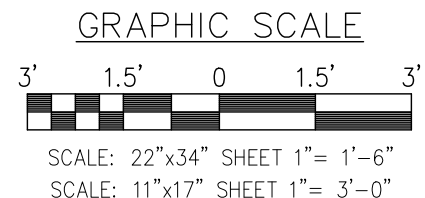
1 EXISTING EQUIPMENT PLAN
SCALE: AS NOTED



NOTE:
PLAN IS PREPARED BASED ON AERIAL PHOTOGRAPHY,
SITE WALK PERFORMED BY INFINIGY ENGINEERING AND
PROVIDED INFORMATION FROM THE CLIENT. IT IS NOT
BASED ON AN ACTUAL BOUNDARY SURVEY



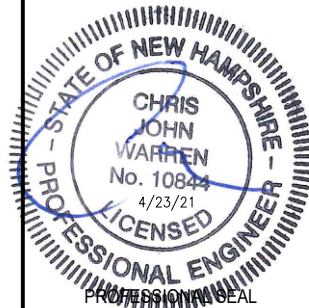
2 PROPOSED EQUIPMENT PLAN
SCALE: AS NOTED



SUBMITTALS		
DATE	DESCRIPTION	REVISION
04/16/21	ISSUED FOR PERMIT	0

DEPT.	DATE	APP'D	REVISIONS
R/E			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

PROJECT NO: 1197-C0001-C
DRAWN BY: PEG
CHECKED BY: JLM



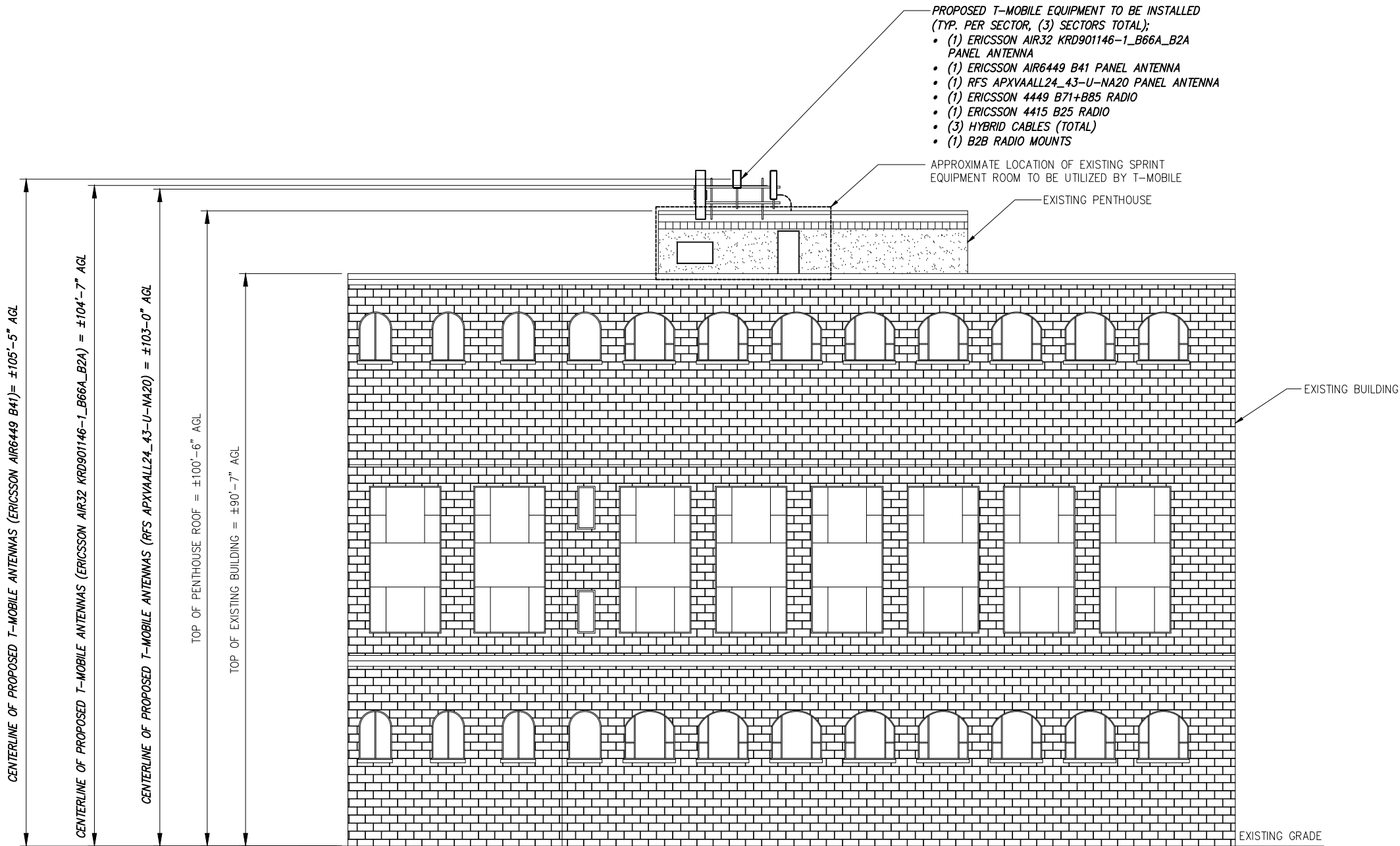
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OF THE NOTED SCALE.

SITE NUMBER:
4NBS027 NM03XC027
SITE NAME:
HARBOUR PLACE
1 HARBOUR PLACE
PORTSMOUTH, NH 03881

SHEET TITLE
EQUIPMENT PLAN

SHEET NUMBER
C-2



NOTE:
CONTRACTOR SHALL REFER TO STRUCTURAL OPINION
LETTER PERFORMED BY TRYLON, DATED: 03/25/21 AND
ANTENNA MOUNT ANALYSIS REPORT PERFORMED BY
TRYLON, DATED 03/25/21 FOR ADDITIONAL DETAILS.

1 ELEVATION VIEW
SCALE: AS NOTED

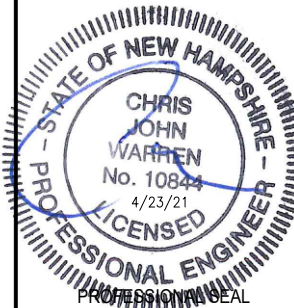
NOTE:
PLAN IS PREPARED BASED ON AERIAL PHOTOGRAPHY,
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SUBMITTALS		
DATE	DESCRIPTION	REVISION
04/16/21	ISSUED FOR PERMIT	0

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

PROJECT NO: 1197-C0001-C
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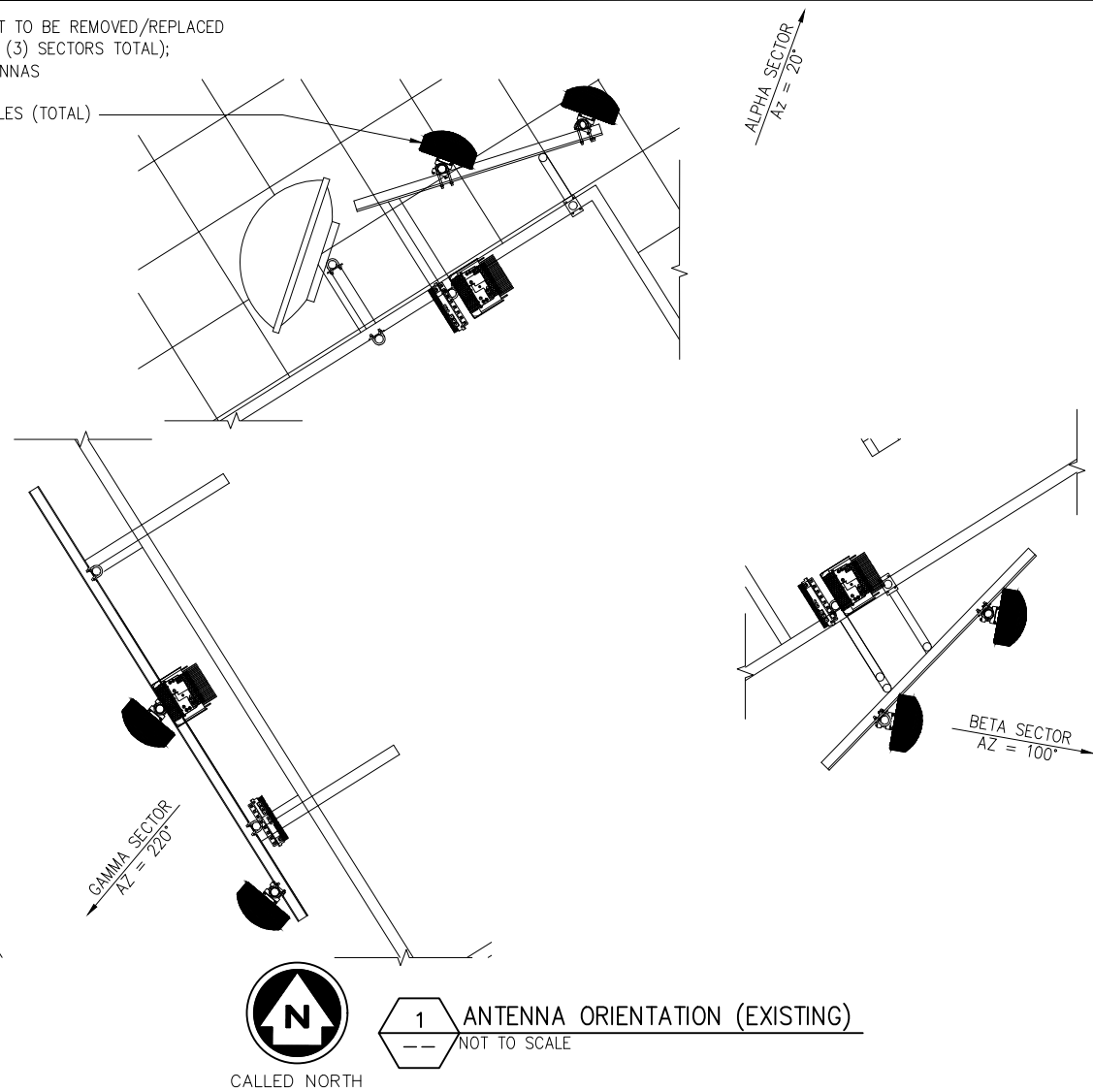
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4NBS027 NM03XC027
SITE NAME:
HARBOUR PLACE
1 HARBOUR PLACE
PORTSMOUTH, NH 03881

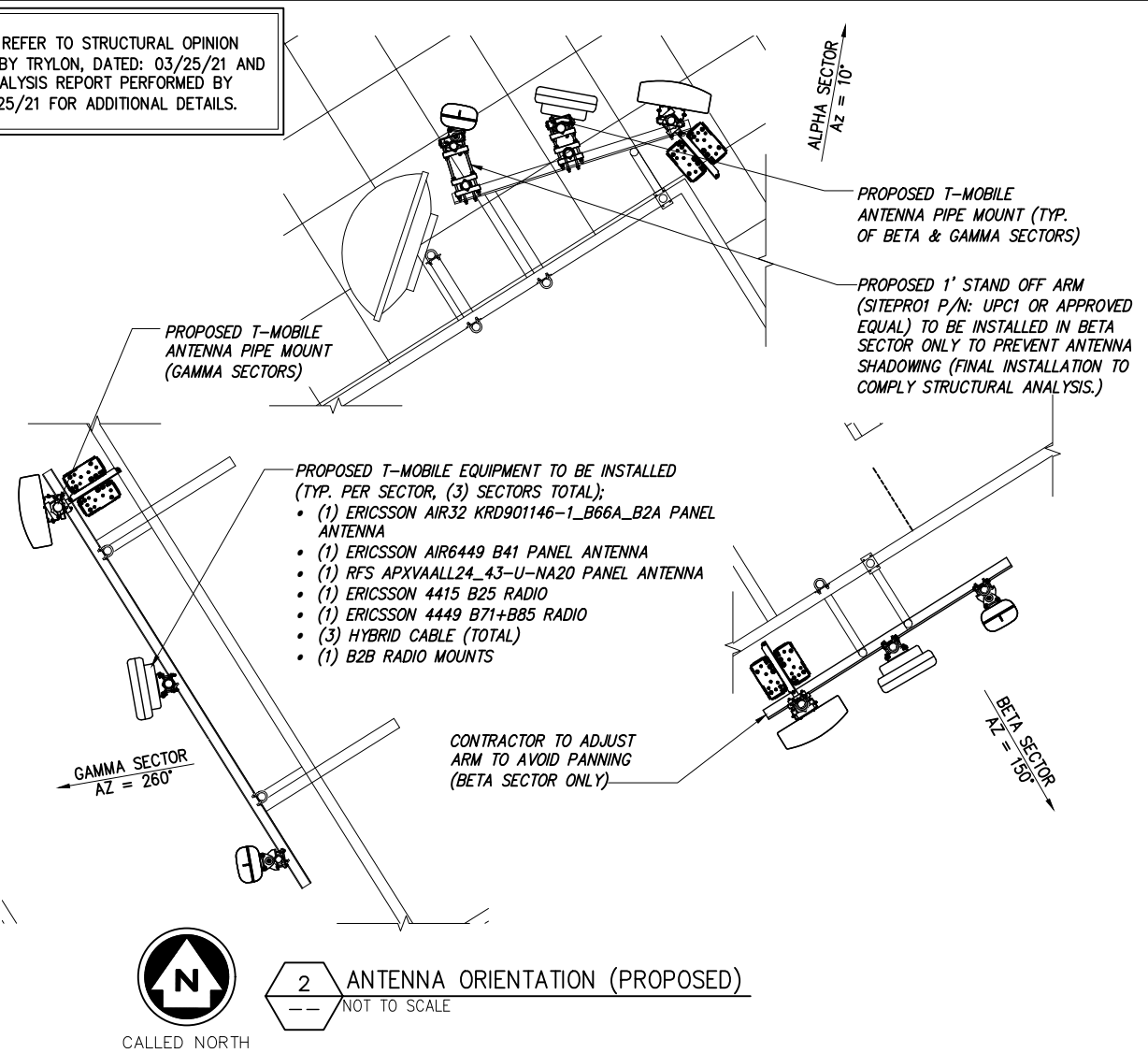
SHEET TITLE
ELEVATION VIEW

SHEET NUMBER
C-3

- (2) PANEL ANTENNAS
- (3) RRUS
- (6) HYBRID CABLES (TOTAL)

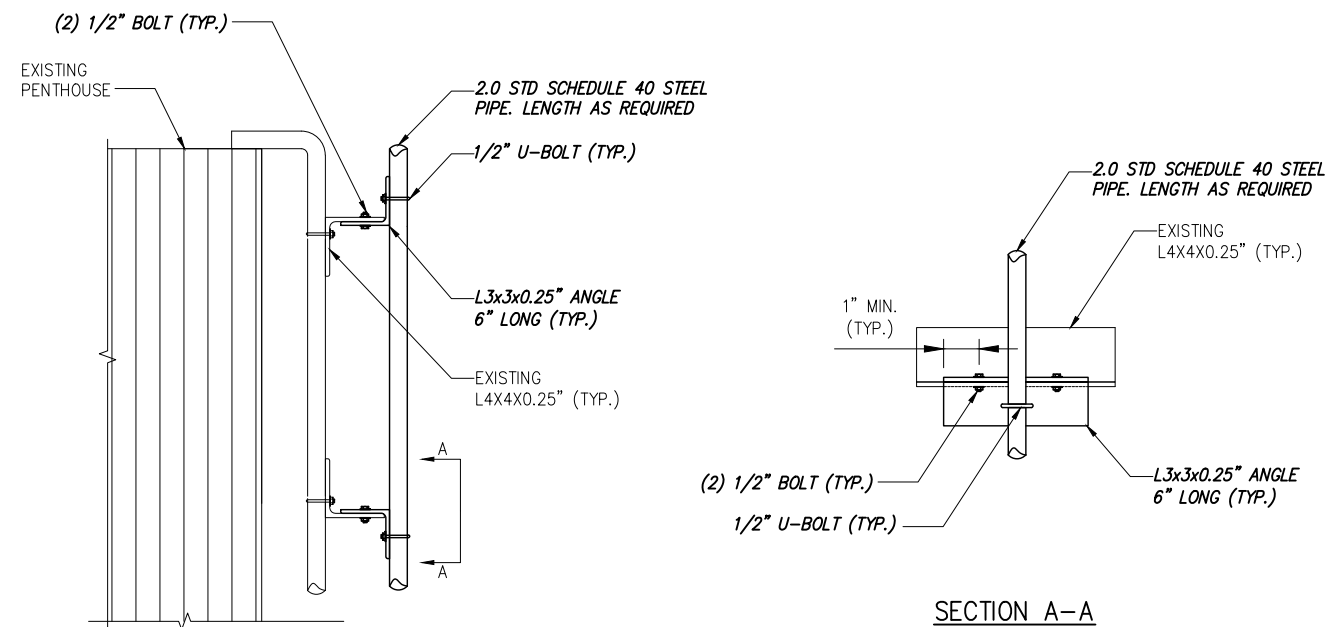


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TRYLON, DATED 03/25/21 FOR ADDITIONAL DETAILS.



PROPOSED RF SYSTEM SCHEDULE											
SECTOR	ANT.	ANTENNA MODEL #	VENDOR	AZIMUTH	M-TILT	E-TILT	ANTENNA CENTERLINE	TMA/DIPLEXER MODEL #:	RRU MODEL #	CABLE LENGTH	CABLE INFORMATION
A	A-1	AIR32 KRD901146-1_B66A_B2A	ERICSSON	10°	0°	-	104'-7"	--	--	--	
	A-2	AIR6449 B41	ERICSSON	10°	0°	-	105'-5"	--	--	--	
	A-3	APXVAALL24_43-U-NA20	RFS	10°	0°	-	103'-0"	--	(1) 4449 B71/B85 (1) 4415 B25	±241'	
B	B-1	AIR32 KRD901146-1_B66A_B2A	ERICSSON	150°	0°	-	104'-7"	--	--	--	
	B-2	AIR6449 B41	ERICSSON	150°	0°	-	105'-5"	--	--	--	
	B-3	APXVAALL24_43-U-NA20	RFS	150°	0°	-	103'-0"	--	(1) 4449 B71/B85 (1) 4415 B25	±241'	
C	C-1	AIR32 KRD901146-1_B66A_B2A	ERICSSON	260°	0°	-	104'-7"	--	--	--	
	C-2	AIR6449 B41	ERICSSON	260°	0°	-	105'-5"	--	--	--	
	C-3	APXVAALL24_43-U-NA20	RFS	260°	0°	-	103'-0"	--	(1) 4449 B71/B85 (1) 4415 B25	±241'	

3 RF SCHEDULE (PROPOSED)
-- NOT TO SCALE



4 ANTENNA MOUNT DETAIL
-- NOT TO SCALE



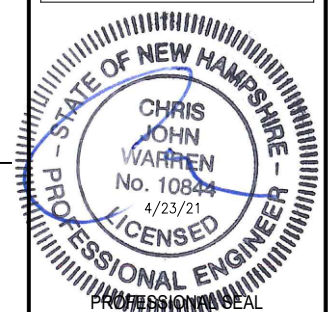
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FROM ZERO TO INFINIGY
the solutions are endless

INFINIGY ENGINEERING, PLLC
1033 Watervliet Shaker Rd | Albany, NY 12205
Phone: 518-690-0790 | Fax: 518-690-0793
www.infinigy.com

[illegible]

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

PROJECT NO:	1197-C0001-C
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CHECKED BY:	JLM



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SITE NUMBER:
4NBS027_NM03XC027

SITE NAME:
HARBOUR PLACE

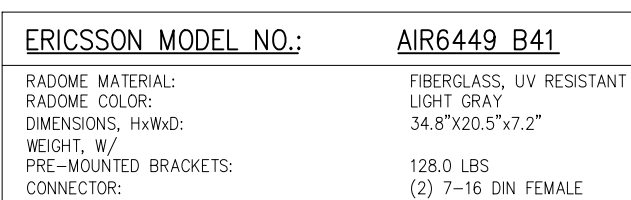
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PORTSMOUTH, NH 03881

SHEET TITLE

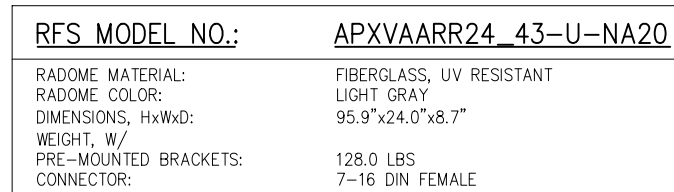
**ANTENNA
ORIENTATION &
RF SCHEDULE**

SHEET NUMBER

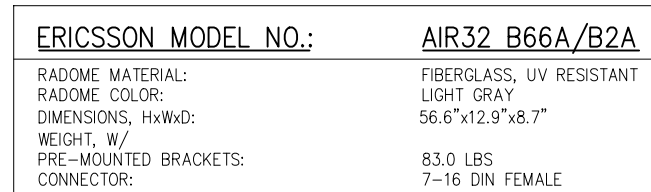
C-4



1 ANTENNA DETAIL
-- NOT TO SCALE



2 ANTENNA DETAIL
-- NOT TO SCALE

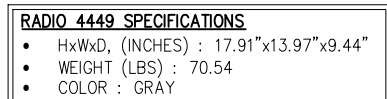


3 ANTENNA DETAIL
-- NOT TO SCALE

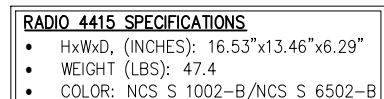
4 ANTENNA MOUNTING DETAIL
-- NOT TO SCALE



5 BACK-TO-BACK MOUNT DETAIL
-- NOT TO SCALE



7 ERICSSON RADIO 4449 DETAIL
-- NOT TO SCALE

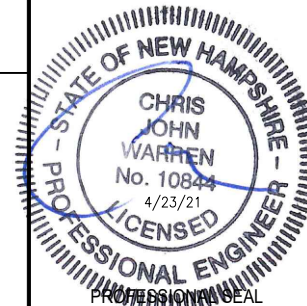


8 ERICSSON RADIO 4415 DETAIL

[illegible]

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

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SITE NUMBER:
4NBS027 NM03XC027

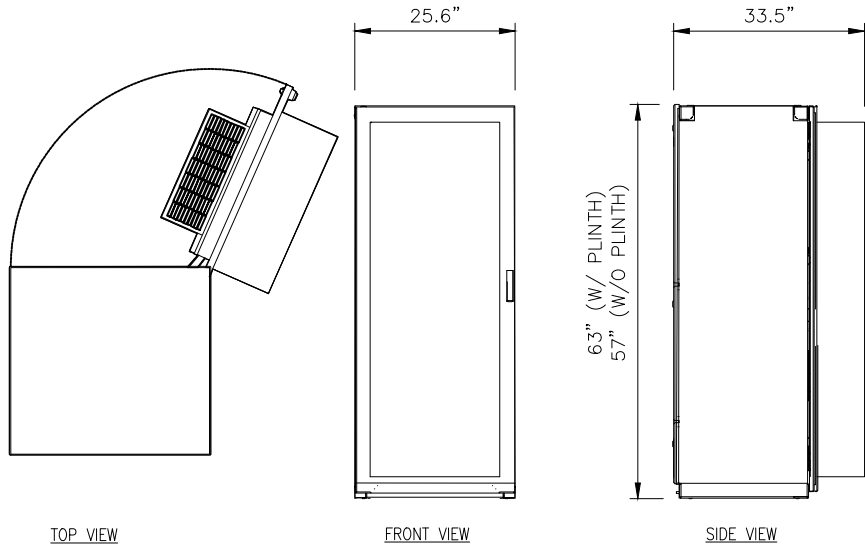
SITE NAME:
HARBOUR PLACE
1 HARBOUR PLACE
PORTSMOUTH, NH 03881

SHEET TITLE

EQUIPMENT SPECIFICATIONS

SHEET NUMBER

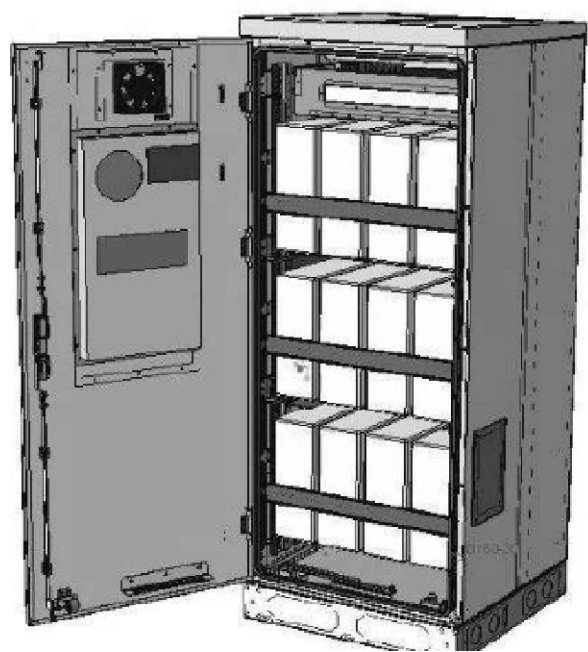
C-5



ERICSSON MODEL NO.:	6160
RACK SPACE:	19U
DIMENSIONS, HxWxD:	63"x25.6"x25.6" (W/ 6" PLINTH)
CABINET WEIGHT, EMPTY:	410 LBS
MAXIMUM WEIGHT:	770± LBS

1 ERICSSON RBS 6160
--- NOT TO SCALE

*NOTE: INSTALL AND GROUND CABINET PER MANUFACTURER'S INSTALLATION SPECIFICATIONS



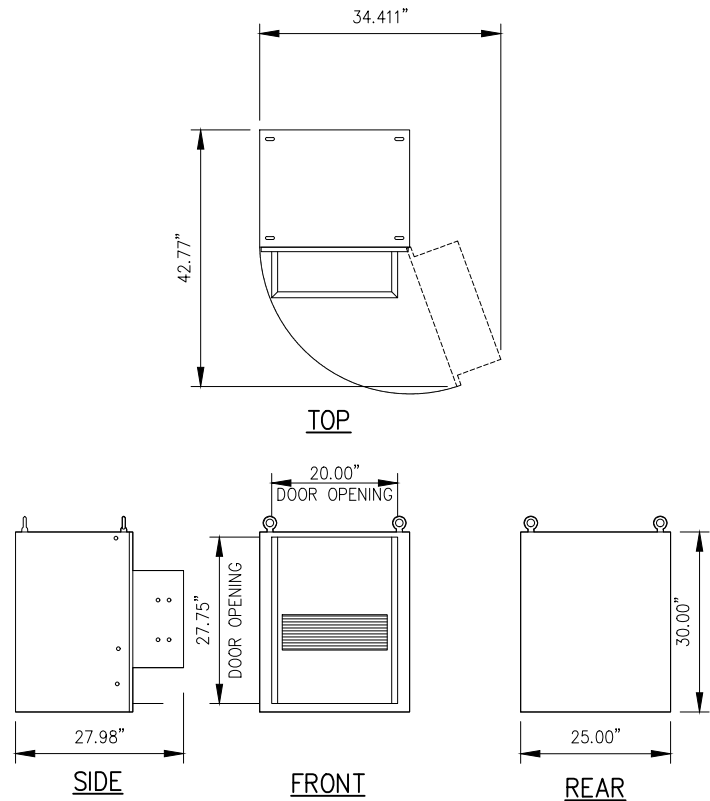
ERICSSON MODEL NO.:	B160
RACK SPACE:	19U
DIMENSIONS, HxWxD:	63"x25.6"x25.6" (W/ 6" PLINTH)
CABINET WEIGHT, EMPTY:	300 LBS
WEIGHT W/ (12) M12V155FT 150AH BATTERIES:	1500LBS (NOT TO EXCEED)

2 ERICSSON RBS B160
--- NOT TO SCALE

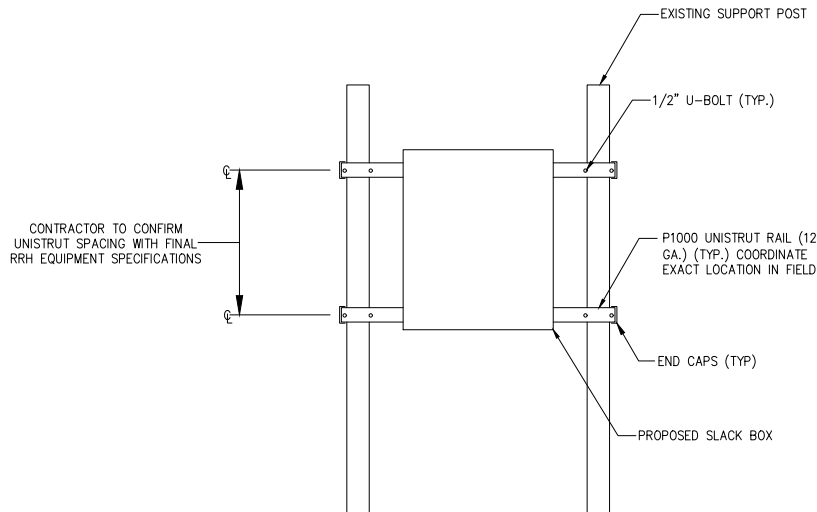
*NOTE: INSTALL AND GROUND CABINET PER MANUFACTURER'S INSTALLATION SPECIFICATIONS

- STRUCTURAL NOTES:
- SPECIFICATIONS / CODES:
 - CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH LATEST EDITION OF THE ACI CODE.
 - STEEL WORK SHALL BE PERFORMED IN ACCORDANCE WITH AISC STEEL CONSTRUCTION MANUAL, 14TH EDITION.
 - WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AMERICAN WELDING SOCIETY (AWS) D1.1-92 "STRUCTURAL WELDING" CODE-STEEL.
 - REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI), "MANUAL OF STANDARD PRACTICE."
 - MATERIALS:
 - CONCRETE: $f_c' - 3000\text{psi}$. (MIN. U.N.O.)
 - REINFORCING STEEL: ASTM A615, GRADE 60.
 - WIRE MESH: ASTM A185.
 - STRUCTURAL STEEL: ASTM A36.
 - ELECTRODES FOR WELDING: E 70xx.
 - GALVANIZING: ASTM A153 (BOLTS) OR ASTM A123 (SHAPES, PLATES).
 - EXPANSION BOLTS: HILTI KWIK BOLT II, STAINLESS STEEL, $3/4"\phi \times 43/4"$ EMBEDMENT OR AN APPROVED EQUAL.

3 STRUCTURAL NOTES
--- NOT TO SCALE



4 PURCELL FLX12WS- CABINET
--- NOT TO SCALE



5 SLACK BOX MOUNTING DETAIL
--- NOT TO SCALE

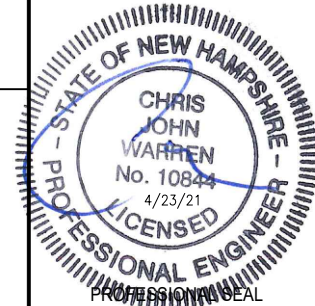
6 DETAIL NOT USED
--- NOT TO SCALE



SUBMITTALS		
DATE	DESCRIPTION	REVISION
04/16/21	ISSUED FOR PERMIT	0

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

PROJECT NO:	1197-C0001-C
DRAWN BY:	PEG
CHECKED BY:	JLM



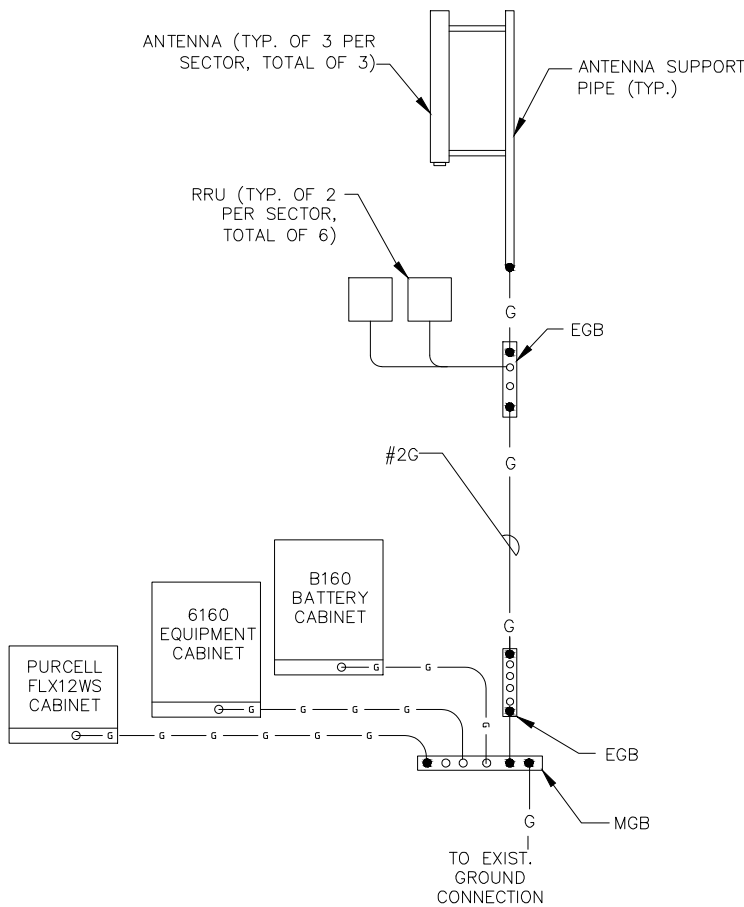
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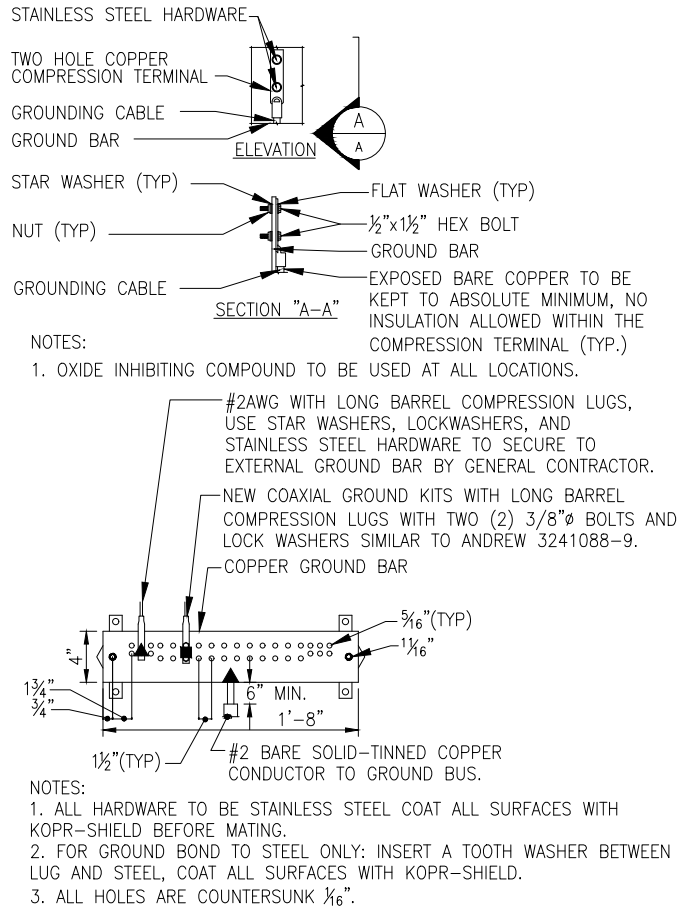
SITE NUMBER:
4NBS027 NM03XC027
SITE NAME:
HARBOUR PLACE
1 HARBOUR PLACE
PORTSMOUTH, NH 03881

SHEET TITLE
EQUIPMENT SPECIFICATIONS

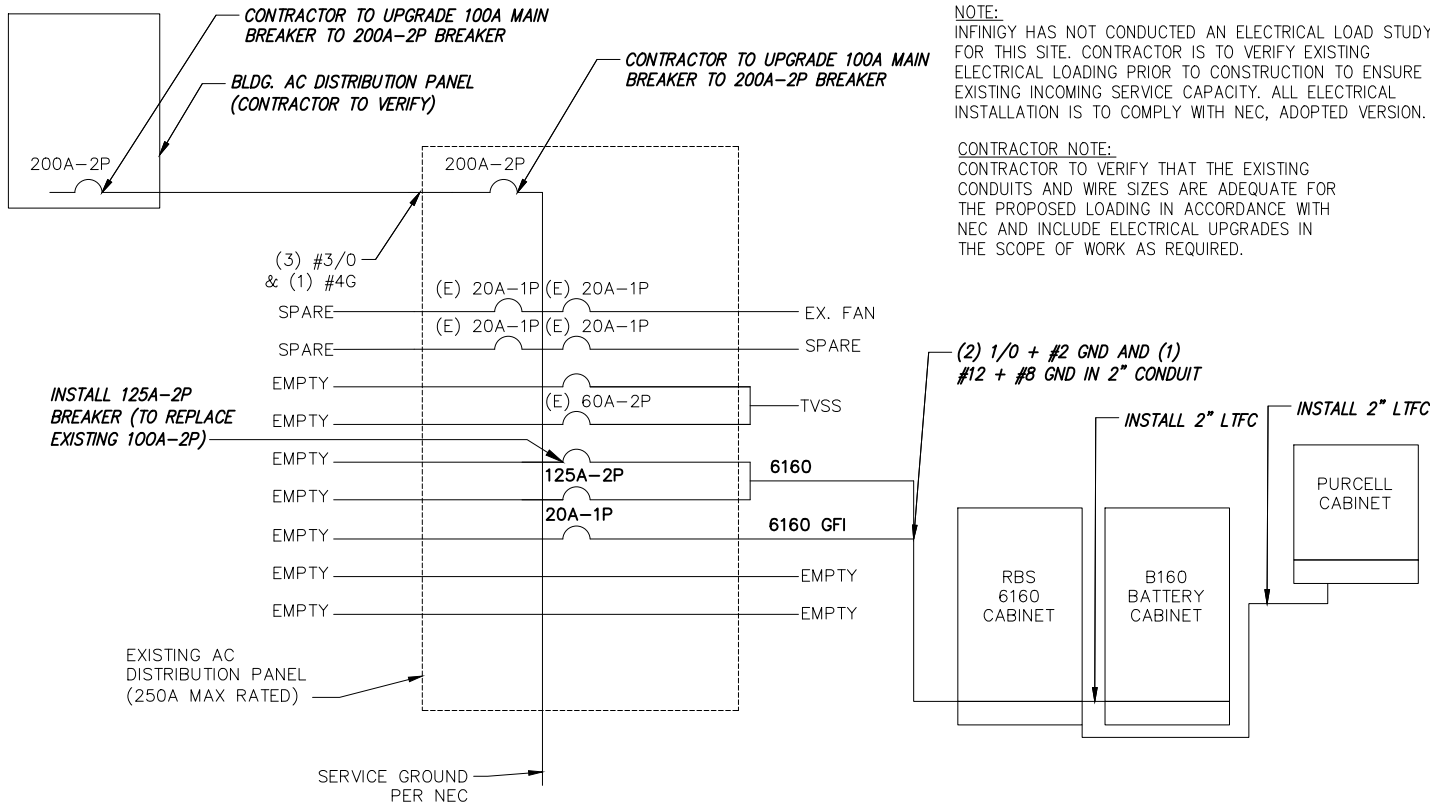
SHEET NUMBER
C-6



1 GROUNDING DIAGRAM
SCALE: NOT TO SCALE



3 GROUND BAR CONNECTION DETAILS
SCALE: NOT TO SCALE



4 POWER DIAGRAM
SCALE: NOT TO SCALE

NOTE:

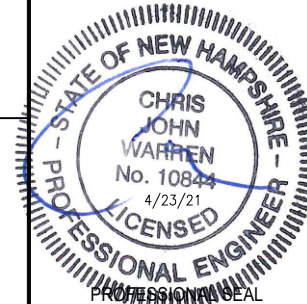
- ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) 2017 AS WELL AS APPLICABLE STATE AND LOCAL CODES.
- ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER SPECIFICATION REQUIREMENTS.
- THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESCRIBED BY DRAWINGS AND SPECIFICATIONS INCLUDING INCIDENTAL WORK TO PROVIDE COMPLETE OPERATING AND APPROVED ELECTRICAL SYSTEM.
- GENERAL CONTRACTOR SHALL PAY FEES FOR PERMITS, AND IS RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATION OF INSPECTIONS.
- ELECTRICAL AND TELCO WIRING OUTSIDE A BUILDING AND EXPOSED TO WEATHER SHALL BE IN WATER TIGHT GALVANIZED RIGID STEEL CONDUITS OR SCHEDULE 80 PVC (AS PERMITTED BY CODE) AND WHERE REQUIRED IN LIQUID TIGHT FLEXIBLE METAL OR NONMETALLIC CONDUITS.
- RIGID STEEL CONDUITS SHALL BE GROUNDED AT BOTH ENDS.
- ELECTRICAL WIRING SHALL BE COPPER WITH TYPE XHHW, THWN, OR THHN INSULATION AS REQUIRED BY NEC.
- RUN ELECTRICAL CONDUIT OR CABLE BETWEEN ELECTRICAL ROOM AND PROPOSED CELL SITE POWER PEDESTAL AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPE. COORDINATE INSTALLATION WITH UTILITY COMPANY.
- RUN TELCO CONDUIT OR CABLE BETWEEN TELEPHONE UTILITY DEMARCATION POINT AND PROPOSED CELL SITE TELCO CABINET AND BTS CABINET AS INDICATED ON DRAWING A-1. PROVIDE FULL LENGTH PULL ROPE IN INSTALLED TELCO CONDUIT. PROVIDE GREENLEE CONDUIT MEASURING TAPE AT EACH END.
- ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEMA 3R ENCLOSURE.
- GROUNING SHALL COMPLY WITH NEC ART. 250.
- GROUN COAXIAL CABLE SHIELDS MINIMUM AT BOTH ENDS USING MANUFACTURERS COAX CABLE GROUNING KITS SUPPLIED BY PROJECT OWNER.
- USE #6 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID TINNED BARE COPPER WIRE FOR BELOW GRADE GROUNING AS INDICATED ON THE DRAWING.
- ALL GROUN CONNECTIONS TO BE BURNDY HYGROUND COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERMIC WELD. DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
- ROUTE GROUNING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY. BOND ANY METAL OBJECTS WITHIN 7 FEET OF PROPOSED EQUIPMENT OR CABINET TO MASTER GROUN BAR.
- CONNECTIONS TO MGB SHALL BE ARRANGED IN THREE MAIN GROUPS: SURGE PRODUCERS (COAXIAL CABLE GROUN KITS, TELCO AND POWER PANEL GROUN); (GROUNING ELECTRODE RING OR BUILDING STEEL); NON-SURGING OBJECTS (EGB GROUN IN BTS UNIT).
- CONNECTIONS TO GROUN BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LYGS. APPLY OXIDE INHIBITING COMPOUND TO ALL LOCATIONS.
- APPLY OXIDE INHIBITING COMPOUND TO ALL COMPRESSION TYPE GROUN CONNECTIONS.
- BOND ANTENNA MOUNTING BRACKETS, COAXIAL CABLE GROUN KITS, AND ALNA TO EGB PLACED NEAR THE ANTENNA LOCATION.
- BOND ANTENNA EGB'S AND MGB TO WATER MAIN/GROUN RING.
- TEST COMPLETED GROUN SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION.
- VERIFY PROPOSED SERVICE UPGRADE WITH LOCAL UTILITY COMPANY PRIOR TO CONSTRUCTION.

5 ELECTRICAL & GROUNING NOTES
SCALE: NOT TO SCALE

SUBMITTALS		
DATE	DESCRIPTION	REVISION
04/16/21	ISSUED FOR PERMIT	0

DEPT.	DATE	APP'D	REVISIONS
R/E			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

PROJECT NO:	1197-C0001-C
DRAWN BY:	PEG
CHECKED BY:	JLM



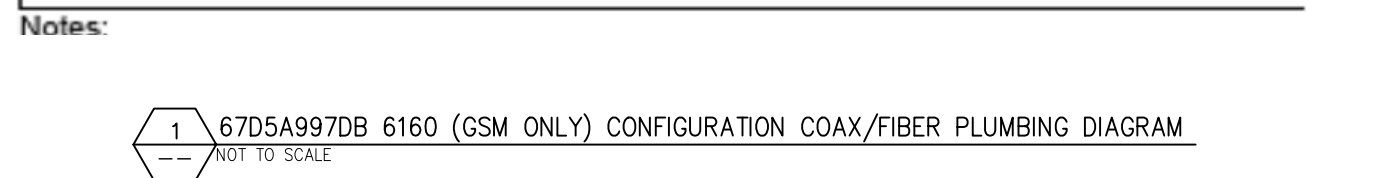
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SITE NUMBER:
4NBS027 NM03XC027
SITE NAME:
HARBOR PLACE
1 HARBOR PLACE
PORTSMOUTH, NH 03881

SHEET TITLE
GROUNDING & POWER DIAGRAMS

SHEET NUMBER
E-1



E-2

ELECTRICAL NOTES:

- WORK INCLUDED
- INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, PLANT SERVICES AND ADMINISTRATIVE TASKS REQUIRED TO COMPLETE AND MAKE OPERABLE THE ELECTRICAL WORK SHOWN ON THE DRAWINGS AND SPECIFIED HEREIN, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - PREPARE AND SUBMIT SHOP DRAWINGS, DIAGRAMS AND ILLUSTRATIONS.
 - PROCURE ALL NECESSARY PERMITS AND APPROVALS AND PAY ALL REQUIRED FEES AND CHARGES IN CONNECTION WITH THE WORK OF THIS CONTRACT.
 - SUBMIT AS-BUILT DRAWINGS, OPERATING AND MAINTENANCE INSTRUCTIONS AND MANUALS.
 - EXECUTE ALL CUTTING, DRILLING, ROUGH AND FINISH PATCHING OF EXISTING OR NEWLY INSTALLED CONSTRUCTION REQUIRED FOR THE WORK OF THIS CONTRACT. FOR SLAB PENETRATIONS THROUGH POST TENSION SLABS, X-RAY EXACT AREA OF PENETRATION PRIOR TO PERFORMING WORK. COORDINATE ALL X-RAY WORK WITH BUILDING ENGINEER.
 - PROVIDE HANGERS, SUPPORTS, FOUNDATIONS, STRUCTURAL FRAMING SUPPORTS, AND BASES FOR CONDUIT AND EQUIPMENT PROVIDED OR INSTALLED UNDER THE WORK OF HIS CONTRACT. PROVIDE COUNTER FLASHING, SLEEVES AND SEALS FOR FLOOR AND WALL PENETRATIONS.
 - MAINTAIN ALL EXISTING ELECTRICAL SERVICES IN THE BUILDING AREAS NOT AFFECTED BY THE ALTERATION DURING THE PROGRESS OF THE WORK INCLUDING PROVIDING ALL TEMPORARY JUMPERS, CONDUITS, CAPS, PROTECTIVE DEVICES, CONNECTIONS AND EQUIPMENT REQUIRED. PROVIDE TEMPORARY LIGHT AND POWER FOR CONSTRUCTION PURPOSES.
 - IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS TO CALL FOR AN INSTALLATION THAT IS COMPLETE IN EVERY RESPECT. IT IS NOT THE INTENT TO GIVE EVERY DETAIL ON THE DRAWINGS AND IN THE SPECIFICATIONS. IF AN ITEM OF WORK IS INDICATED IN THE DRAWINGS, IT IS CONSIDERED SUFFICIENT FOR INCLUSION IN THE CONTRACT. FURNISH AND INSTALL ALL MATERIAL AND EQUIPMENT USUALLY FURNISHED OR NEEDED TO MAKE A COMPLETE INSTALLATION WHETHER OR NOT SPECIFICALLY MENTIONED IN THE CONTRACT DOCUMENTS.

- GENERAL REQUIREMENTS
- PROVIDE ALL WORK IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND LOCAL AND STATE ELECTRICAL CODES.
 - THE ELECTRICAL PLANS ARE DIAGRAMMATIC ONLY. REFER TO THE ARCHITECTURAL PLANS FOR THE EXACT DIMENSIONS OF THE BUILDING.
 - ENGINEER HAS NOT CONDUCTED AN ELECTRICAL LOAD STUDY FOR THIS SITE. CONTRACTOR IS TO VERIFY EXISTING ELECTRICAL LOADING PRIOR TO CONSTRUCTION TO ENSURE EXISTING INCOMING SERVICE CAPACITY. ALL ELECTRICAL INSTALLATION IS TO COMPLY WITH NEC, ADOPTED VERSION.
 - EXISTING BUILDING EQUIPMENT IS NOTED ON THE DRAWINGS. NEW OR RELOCATED EQUIPMENT IS SHOWN WITH SOLID LINES. FUTURE EQUIPMENT (NOT IN THIS CONTRACT) IS DEPICTED WITH SHADED LINES. REQUEST CLARIFICATION OF DRAWINGS OR OF SPECIFICATIONS PRIOR TO PRICING OR INSTALLATION.
 - GENERAL
 - AFTER CAREFULLY STUDYING THE DRAWINGS AND SPECIFICATIONS, AND BEFORE SUBMITTING THE PROPOSAL, MAKE A MANDATORY SITE VISIT TO ASCERTAIN CONDITIONS OF THE SITE, AND THE NATURE AND EXACT QUANTITY OF WORK TO BE PERFORMED. NO EXTRA COMPENSATION WILL BE ALLOWED FOR FAILURE TO NOTIFY THE OWNER, IN WRITING, OF ANY DISCREPANCIES THAT MAY HAVE BEEN NOTED BETWEEN THE EXISTING CONDITIONS AND THE DRAWINGS AND SPECIFICATIONS.
 - VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR CORRECTNESS OF SAME.
 - QUALITY, WORKMANSHIP, MATERIALS AND SAFETY
 - PROVIDE NEW MATERIALS AND EQUIPMENT OF A DOMESTIC MANUFACTURER BY THOSE REGULARLY ENGAGED IN THE PRODUCTION AND MANUFACTURE OF SPECIFIED MATERIALS AND EQUIPMENT. WHERE UL, OR OTHER AGENCY, HAS ESTABLISHED STANDARDS FOR MATERIALS, PROVIDE MATERIALS WHICH ARE LISTED AND LABELED ACCORDINGLY. THE COMMERCIALY STANDARD ITEMS OF EQUIPMENT AND THE SPECIFIC NAMES MENTIONED HEREIN ARE INTENDED FOR THE PROPER FUNCTIONING OF THE WORK.
 - WORK SHALL BE PERFORMED BY WORKMEN SKILLED IN THE TRADE REQUIRED FOR THE WORK. INSTALL MATERIALS AND EQUIPMENT TO PRESENT A NEAT APPEARANCE WHEN COMPLETED AND IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS OF THE MANUFACTURER AND IN ACCORDANCE WITH CONTRACT DOCUMENTS.
 - PROVIDE LABOR, MATERIALS, APPARATUS AND APPLIANCES ESSENTIAL TO THE FUNCTIONING OF THE SYSTEMS DESCRIBED OR INDICATED HEREIN, OR WHICH MAY BE REASONABLY IMPLIED AS ESSENTIAL WHENEVER MENTIONED IN THE CONTRACT DOCUMENT OR NOT.
 - MAKE WRITTEN REQUESTS FOR SUPPLEMENTARY INSTRUCTIONS TO ARCHITECT/ENGINEER IN CASE OF DOUBT AS TO WORK INTENDED OR IN EVENT OF NEED FOR EXPLANATION THEREOF.
 - PERFORMANCE AND MATERIAL REQUIREMENTS SCHEDULED OR SPECIFIED ARE MINIMUM STANDARD ACCEPTABLE. THE RIGHT TO JUDGE THE QUALITY OF EQUIPMENT THAT DEVIATES FROM THE CONTRACT DOCUMENT REMAINS SOLELY WITH ARCHITECT/ENGINEER. CONTRACT DOCUMENT OR NOT.

- GUARANTEE
- GUARANTEE MATERIALS, PARTS AND LABOR FOR WORK FOR ONE YEAR FROM THE DATE OF ISSUANCE OF OCCUPANCY PERMIT. DURING THAT PERIOD, MAKE GOOD FAULTS OR IMPERFECTIONS THAT MAY ARISE DUE TO DEFECTS OR OMISSIONS IN MATERIALS OR WORKMANSHIP WITH NO ADDITIONAL COMPENSATION AND AS DIRECTED BY ARCHITECT.

CLEANING

- REMOVE ALL CONSTRUCTION DEBRIS RESULTING FROM THE WORK.
- CLEAN EQUIPMENT AND SYSTEMS FOLLOWING THE COMPLETION OF THE PROJECT TO THE SATISFACTION OF THE ENGINEER.

COORDINATION AND SUPERVISION

- CAREFULLY LAY OUT ALL WORK IN ADVANCE TO AVOID UNNECESSARY CUTTING, CHANNELING, CHASING OR DRILLING OF FLOORS, WALLS, PARTITIONS, CEILINGS OR OTHER SURFACES. WHERE SUCH WORK IS NECESSARY, HOWEVER, PATCH AND REPAIR THE WORK IN AN APPROVED MANNER BY SKILLED MECHANICS AT NO ADDITIONAL COST TO THE OWNER. RENDER FULL COOPERATION TO OTHER TRADES WHERE WORK WILL BE INSTALLED IN CLOSE PROXIMITY TO WORK OF OTHER TRADES. ASSIST IN WORKING OUT SPACE CONDITIONS. IF WORK IS INSTALLED BEFORE COORDINATION WITH OTHER TRADES, OR CAUSES INTERFERENCE, MAKE CHANGES NECESSARY TO CORRECT CONDITIONS WITHOUT EXTRA CHARGE.
- SUBMITTALS
- AS-BUILT DRAWINGS:
 - UPON COMPLETION OF THE WORK, FURNISH TO THE OWNER "AS-BUILT" DRAWINGS.
 - SERVICE MANUALS:
 - UPON COMPLETION OF THE WORK, FULLY INSTRUCT T-MOBILE AS TO THE OPERATION AND MAINTENANCE OF ALL MATERIAL, EQUIPMENT AND SYSTEMS.
 - PROVIDE 3 COMPLETE BOUND SETS OF INSTRUCTIONS FOR OPERATING AND MAINTAINING ALL SYSTEMS AND EQUIPMENT.

CUTTING AND PATCHING

- PROVIDE ALL CUTTING, DRILLING, ROUGH AND FINISH PATCHING REQUIRED TO COMPLETE THE WORK.
- OBTAIN OWNER APPROVAL PRIOR TO CUTTING THROUGH FLOORS OR WALLS FOR PIPING OR CONDUIT.

TESTS, INSPECTION AND APPROVAL

- BEFORE ENERGIZING ANY ELECTRICAL INSTALLATION, INSPECT EACH UNIT IN DETAIL. TIGHTEN ALL BOLTS AND CONNECTIONS (TORQUE-TIGHTEN WHERE REQUIRED) AND DETERMINE THAT ALL COMPONENTS ARE ALIGNED, AND THE EQUIPMENT IS IN SAFE, OPERATIONAL CONDITION.
- PROVIDE THE COMPLETE ELECTRICAL SYSTEM FREE OF GROUND FAULTS AND SHORT CIRCUITS SUCH THAT THE SYSTEM WILL OPERATE SATISFACTORILY UNDER FULL LOAD CONDITIONS, WITHOUT EXCESSIVE HEATING AT ANY POINT IN THE SYSTEM.

SPECIAL REQUIREMENTS

- DO NOT LEAVE ANY WORK INCOMPLETE NOR ANY HAZARDOUS SITUATIONS CREATED WHICH WILL AFFECT THE LIFE OR SAFETY OF THE PUBLIC AND/OR BUILDING OCCUPANTS. DO NOT INTERFERE WITH OR CUTOFF ANY OF THE EXISTING SERVICES WITHOUT THE OWNER'S WRITTEN PERMISSION.
- WHEN NECESSARY TO TEMPORARILY DISCONNECT ANY EXISTING BUILDING UTILITIES AND SERVICE SYSTEMS, INCLUDING FEEDER OR BRANCH CIRCUITING SUPPLYING EXISTING FACILITIES, CONFER WITH THE OWNER AND ARRANGE THE PERIOD OF INTERRUPTION FOR A TIME MUTUALLY AGREED UPON.
SHUTDOWN NOTE: SCHEDULE AND NOTIFY OWNER 48 HOURS PRIOR TO SHUTDOWN. ALL SHUTDOWN WORK TO BE SCHEDULED AT A TIME CONVENIENT TO OWNER.

GROUNDING

- ROUTE ALL GROUNDING CONDUCTORS AS SHOWN ON CONDUIT/GROUNDING RISER.
- ROUTE 500 KCMIL CU. THHN CONDUCTOR FROM THE MGB LOCATION TO BUILDING STEEL. VERIFY BUILDING STEEL IS EFFECTIVELY GROUNDED PER NEC TO THE MAIN SERVICE GROUNDING ELECTRODE CONDUCTOR (GEC).
- MAKE ALL GROUND CONNECTIONS FROM MGB TO ELECTRICAL EQUIPMENT WITH 2 HOLE, CRIMP TYPE, BURNDY COMPRESSION TERMINATIONS, SIZED AS REQUIRED.
- USE 1 HOLE, CRIMP TYPE, BURNDY COMPRESSIONS TERMINATIONS, SIZED AS REQUIRED, AT EQUIPMENT GROUND CONNECTIONS.
- HIRE AN INDEPENDENT LAB TO PERFORM THE SPECIFIED OHMS TESTING. PROVIDE 4 SETS OF THE CERTIFIED DOCUMENTS TO THE OWNER FOR VERIFICATION PRIOR TO THE PROJECT COMPLETION.

RACEWAYS

- ALL WIRING TO BE INSTALLED IN CONDUIT SYSTEMS IN ACCORDANCE WITH THE FOLLOWING:
 - EXTERIOR FEEDERS AND CONTROL, WHERE UNDERGROUND, TO BE IN SCH 40 PVC.
 - EXTERIOR, ABOVE GROUND POWER CONDUITS TO BE GALVANIZED RIGID STEEL (RGS).
 - ALL TELECOMMUNICATION CONDUITS, INTERIOR/EXTERIOR, TO BE EMT.
 - INSTALL PULL ROPES IN ALL NEW EMPTY CONDUITS INSTALLED ON THIS PROJECT.
 - ALL TELECOM CONDUITS AND PULL BOXES INSTALLED ON THIS PROJECT TO BE LABELED "T-MOBILE". OWNER WILL PROVIDE LABELS FOR CONTRACTOR TO INSTALL.
 - INTERIOR FEEDERS TO BE INSTALLED IN E.M.T. WITH STEEL COMPRESSION FITTINGS.
 - MINIMUM SIZE CONDUIT TO BE ¾" TRADE SIZE UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
 - FINAL CONNECTIONS TO MOTORS AND VIBRATING EQUIPMENT TO BE INSTALLED IN LIQUID-TIGHT FLEXIBLE METAL CONDUIT.
 - CONDUIT TO BE RUN CONCEALED IN CEILINGS, FINISHED AREAS OR DRYWALL PARTITIONS, UNLESS OTHERWISE NOTED.
 - THE ROUTING OF CONDUITS INDICATED ON THE DRAWINGS IS DIAGRAMMATIC. BEFORE INSTALLING ANY WORK, EXAMINE THE WORKING LAYOUTS AND SHOP DRAWINGS OF THE OTHER TRADES TO DETERMINE THE EXACT LOCATIONS AND CLEARANCES.
 - ALL EXTERIOR MOUNTING HARDWARE TO BE GALVANIZED STEEL. COORDINATE WITH BUILDING ENGINEER PRIOR TO ATTACHING TO BUILDING STRUCTURE.

RACEWAYS CONT'D

- PENETRATIONS OF WALLS, FLOORS AND ROOFS, FOR THE PASSAGE OF ELECTRICAL RACEWAYS, TO BE PROPERLY SEALED AFTER INSTALLATION OF RACEWAYS SO AS TO MAINTAIN THE STRUCTURAL OR WATERPROOF INTEGRITY OF THE WALL, FLOOR OR ROOF SYSTEM TO BE PENETRATED. SEAL ALL CONDUIT PENETRATIONS THROUGH FIRE OR SMOKE RATED WALLS, CEILINGS OR SMOKE TIGHT CORRIDOR PARTITIONS TO MAINTAIN PROPER RATING OF WALL OR CEILING.
- PROVIDE ALL CONDUIT ENDS WITH INSULATED METALLIC GROUNDING BUSHINGS.
- CONDUIT TO BE SUPPORTED AT MAXIMUM DISTANCE OF 8'-0", OR AS REQUIRED BY NEC, IN HORIZONTAL AND VERTICAL DIRECTIONS.
- PROVIDE STAINLESS STEEL BLANK COVER PLATES FOR ALL JUNCTION BOXES AND/OR OUTLET BOXES NOT USED IN EXPOSED AREAS. PROVIDE ALL OTHER UNUSED BOXES WITH STANDARD STEEL COVER PLATES.
- WHERE APPLICABLE, PROVIDE ROOFTOP CONDUIT SUPPORT SYSTEM, CONFORMING TO ROOFTOP WARRANTY REQUIREMENTS, PER BUILDING.

WIRES AND CABLES

- CONTRACTOR TO COORDINATE WITH EQUIPMENT SUPPLIER AND VENDOR FOR EXACT EQUIPMENT OVER-CURRENT PROTECTION VOLTAGE, WIRE SIZE AND PLUG CONFIGURATION, IF APPLICABLE, PRIOR TO BID.
- ALL EQUIPMENT/DEVICES TO BE PROVIDED WITH INSULATED GROUND CONDUCTOR.
- ALL WIRE AND CABLE TO BE 600VOLT, COPPER, WITH THWN/ THHN INSULATION, EXCEPT AS NOTED.
- WIRE FOR POWER AND LIGHTING WILL NOT BE LESS THAN NO. 12AWG. ALL WIRE NO. 8 AND LARGER TO BE STRANDED.
- CONTROL WIRING IS NOT TO BE LESS THAN NO. 14AWG, FLEXIBLE IN SINGLE CONDUCTORS OR MULTI-CONDUCTOR CABLES. CONTROL WIRING WILL CONSIST OF MULTI-CONDUCTOR CABLES WHEREVER POSSIBLE. CABLES TO BE PROVIDED WITH AN OVERALL FLAME-RETARDANT, EXTRUDED JACKET AND RATED FOR PLENUM USE. ALL CONTROL WIRE TO BE 600VOLT RATED.
- WIRE PREVIOUSLY PULLED INTO CONDUIT IS CONSIDERED USED AND IS NOT TO BE RE-PULLED.
- HOME RUNS AND BRANCH CIRCUIT WIRING FOR 20A, 120V CIRCUITS:

LENGTH (FT.)	HOME RUN WIRE SIZE
0 TO 50	NO. 12
51 TO 100	NO. 10
101 TO 150	NO. 8
- VOLTAGE DROP IS NOT TO EXCEED 3%.
- MAKE ALL CONNECTIONS WITH UL APPROVED, SOLDERLESS, PRESSURE TYPE INSULATED CONNECTORS: SCOTCHLOK OR AND APPROVED EQUAL.

WIRING DEVICES

- ALL RECEPTABLES INSTALLED IN THIS PROJECT TO BE GROUNDING TYPE, WITH GROUNDING PIN SLOT CONNECTED TO DEVICE GROUND SCREW FOR GROUND WIRE CONNECTION.
- DISCONNECT SWITCHES AND FUSES
- DISCONNECT SWITCHES TO BE VOLTAGE-RATED TO SUIT THE CHARACTERISTICS OF THE SYSTEM FROM WHICH THEY ARE SUPPLIED.
 - PROVIDE HEAVY-DUTY, METAL-ENCLOSED, EXTERNALLY-OPERATED DISCONNECT SWITCHES, FUSED OR UNFUSED, OF SUCH TYPE AND SIZE AS REQUIRED TO PROPERLY PROTECT OR DISCONNECT THE LOAD FOR WHICH THEY ARE INTENDED.
 - PROVIDE NEMA 1 DISCONNECT SWITCHES FOR INTERIOR INSTALLATION, NEMA 3R FOR EXTERIOR INSTALLATION.
 - DISCONNECT SWITCHES TO BE MANUFACTURED BY:
 - GENERAL ELECTRIC COMPANY
 - SQUARE-D
 - PROVIDE RK-1 TYPE FUSES, UNLESS NOTED OTHERWISE.

INSTALLATION

- INSTALL DISCONNECT SWITCHES WHERE INDICATED ON DRAWINGS.
- INSTALL FUSES IN FUSIBLE DISCONNECT SWITCHES. FUSES MUST MATCH IN TYPE AND RATING.
- FUSES TO BE MOUNTED SO THAT THE LABELS SHOWING THEIR RATINGS CAN BE READ WITHOUT REQUIRING FUSE REMOVAL.
- FURNISH AND DEPOSIT SPARE FUSES AT THE JOB SITE AS FOLLOWS:
 - THREE SPARES FOR EACH TYPE AND SIZE, IN EXCESS OF 60A, USED FOR INITIAL FUSING.
 - TEN PERCENT SPARES FOR EACH TYPE AND SIZE, UP TO AND INCLUDING 60A, USED FOR INITIAL FUSING. IN NO CASE WILL LESS THAN THREE FUSES OF ONE PARTICULAR TYPE AND SIZE BE FURNISHED.

GENERAL NOTES:

INTENT

- THESE SPECIFICATIONS AND CONSTRUCTION DRAWINGS ACCOMPANYING THEM DESCRIBE THE WORK TO BE DONE AND THE MATERIALS TO BE FURNISHED FOR CONSTRUCTION.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE FULLY EXPLANATORY AND SUPPLEMENTARY. HOWEVER, SHOULD ANYTHING BE SHOWN, INDICATED, OR SPECIFIED ON ONE AND NOT THE OTHER, IT SHALL BE DONE THE SAME AS IF SHOWN, INDICATED OR SPECIFIED IN BOTH.
- THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS REASONABLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK AS STIPULATED IN THE CONTRACT.
- THE PURPOSE OF THE SPECIFICATIONS IS TO INTERPRET THE INTENT OF THE DRAWINGS AND TO DESIGNATE THE METHOD OF THE PROCEDURE, TYPE AND QUALITY OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- MINOR DEVIATIONS FROM THE DESIGN LAYOUT ARE ANTICIPATED AND SHALL BE CONSIDERED AS PART OF THE WORK. NO CHANGES THAT ALTER THE CHARACTER OF THE WORK WILL BE MADE OR PERMITTED BY THE OWNER WITHOUT ISSUING A CHANGE ORDER.

CONFLICTS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATIONS OF ALL MEASUREMENTS AT THE SITE BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK. NO EXTRA CHARGE OR COMPENSATION SHALL BE ALLOWED DUE TO DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND DIMENSIONS INDICATED ON THE CONSTRUCTION DRAWINGS. ANY SUCH DISCREPANCY IN DIMENSION WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE OWNER FOR CONSIDERATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK IN THE AFFECTED AREAS.
- THE BIDDER, IF AWARDED THE CONTRACT, WILL NOT BE ALLOWED ANY EXTRA COMPENSATION BY REASON OF ANY MATTER OR THING CONCERNING SUCH BIDDER MIGHT HAVE FULLY INFORMED THEMSELVES PRIOR TO THE BIDDING.
- NO PLEA OF IGNORANCE OF CONDITIONS THAT EXIST, OR OF DIFFICULTIES OR CONDITIONS THAT MAY BE ENCOUNTERED, OR OF ANY OTHER RELEVANT MATTER CONCERNING THE WORK TO BE PERFORMED IN THE EXECUTION OF THE WORK WILL BE ACCEPTED AS AN EXCUSE FOR ANY FAILURE OR OMISSION ON THE PART OF THE CONTRACTOR TO FULFILL EVERY DETAIL OF ALL THE REQUIREMENTS OF THE CONTRACT DOCUMENTS GOVERNING THE WORK.

CONTRACTS AND WARRANTIES

- CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND PAYMENT OF CONTRACTOR LICENSES AND BONDS.
- SEE MASTER CONTRACTION SERVICES AGREEMENT FOR ADDITIONAL DETAILS.

STORAGE

- ALL MATERIALS MUST BE STORED IN A LEVEL AND DRY FASHION AND IN A MANNER THAT DOES NOT NECESSARILY OBSTRUCT THE FLOW OF OTHER WORK. ANY STORAGE METHOD MUST MEET ALL RECOMMENDATIONS OF THE ASSOCIATED MANUFACTURER.

CLEANUP

- THE CONTRACTORS SHALL, AT ALL TIMES, KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR EMPLOYEES AT WORK AND AT THE COMPLETION OF THE WORK. THEY SHALL REMOVE ALL RUBBISH FROM AND ABOUT THE BUILDING AREA, INCLUDING ALL THEIR TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND SHALL LEAVE THEIR WORK CLEAN AND READY TO USE.
- EXTERIOR
 - VISUALLY INSPECT EXTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER FOREIGN MATTER.
 - REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
 - IF NECESSARY, TO ACHIEVE A UNIFORM DEGREE OF CLEANLINESS, HOSE DOWN THE EXTERIOR OF THE STRUCTURE.
- INTERIOR
 - VISUALLY INSPECT INTERIOR SURFACE AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES AND OTHER FOREIGN MATTER FROM WALLS, FLOOR, AND CEILING.
 - REMOVE ALL TRACES OF SPLASHED MATERIALS FROM ADJACENT SURFACES.
 - REMOVE PAINT DROPPINGS, SPOTS, STAINS, AND DIRT FROM FINISHED SURFACES.

CHANGE ORDER PROCEDURE:

- REFER TO SECTION 17 OF SIGNED MCSA: SEE PROFESSIONAL SERVICE AGREEMENT FOR MCSA.

RELATED DOCUMENTS AND COORDINATION

- GENERAL CARPENTRY, ELECTRICAL AND ANTENNA DRAWINGS ARE INTERRELATED. IN PERFORMANCE OF THE WORK, THE CONTRACTOR MUST REFER TO ALL DRAWINGS. ALL COORDINATION TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

SHOP DRAWINGS

- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUIRED AND LISTED IN THESE SPECIFICATIONS TO THE OWNER FOR APPROVAL.
- ALL SHOP DRAWINGS SHALL BE REVIEWED, CHECKED AND CORRECTED BY CONTRACTOR PRIOR TO SUBMITTAL TO THE OWNER.

PRODUCTS AND SUBSTITUTIONS

- SUBMIT 3 COPIES OF EACH REQUEST FOR SUBSTITUTION. IN EACH REQUEST, IDENTIFY THE PRODUCT OR FABRICATION OR INSTALLATION METHOD TO BE REPLACED BY THE SUBSTITUTION. INCLUDE RELATED SPECIFICATION SECTION AND DRAWING NUMBERS AND COMPLETE DOCUMENTATION SHOWING COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS.
- SUBMIT ALL NECESSARY PRODUCT DATA AND CUT SHEETS WHICH PROPERLY INDICATE AND DESCRIBE THE ITEMS, PRODUCTS AND MATERIALS BEING INSTALLED. THE CONTRACTOR SHALL, IF DEEMED NECESSARY BY THE OWNER, SUBMIT ACTUAL SAMPLES TO THE OWNER FOR APPROVAL IN LIEU OF CUT SHEETS.

QUALITY ASSURANCE

- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. THESE SHALL INCLUDE, BUT NOT BE LIMITED TO THE APPLICABLE CODES SET FORTH BY THE LOCAL GOVERNING BODY. SEE "CODE COMPLIANCE" T-1.

ADMINISTRATION

- BEFORE THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR WILL ASSIGN A PROJECT MANAGER WHO WILL ACT AS A SINGLE POINT OF CONTACT FOR ALL PERSONNEL INVOLVED IN THIS PROJECT. THIS PROJECT MANAGER WILL DEVELOP A MASTER SCHEDULE FOR THE PROJECT WHICH WILL BE SUBMITTED TO THE OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK.
- SUBMIT A BAR TYPE PROGRESS CHART, NOT MORE THAN 3 DAYS AFTER THE DATE ESTABLISHED FOR COMMENCEMENT OF THE WORK ON THE SCHEDULE, INDICATING A TIME BAR FOR EACH MAJOR CATEGORY OR UNIT OF WORK TO BE PERFORMED AT THE SITE, PROPERLY SEQUENCED AND COORDINATED WITH OTHER ELEMENTS OF WORK AND SHOWING COMPLETION OF THE WORK SUFFICIENTLY IN ADVANCE OF THE DATE ESTABLISHED FOR SUBSTANTIAL COMPLETION OF THE WORK.
- PRIOR TO COMMENCING CONSTRUCTION, THE OWNER SHALL SCHEDULE AN ON-SITE MEETING WITH ALL MAJOR PARTIES: THIS WOULD INCLUDE, BUT NOT LIMITED TO, THE OWNER, PROJECT MANAGER, CONTRACTOR, LAND OWNER REPRESENTATIVE, LOCAL TELEPHONE COMPANY, TOWER ERECTION FOREMAN (IF SUBCONTRACTED).
- CONTRACTOR SHALL BE EQUIPPED WITH SOME MEANS OF CONSTANT COMMUNICATIONS, SUCH AS A MOBILE PHONE OR A BEEPER. THIS EQUIPMENT WILL NOT BE SUPPLIED BY THE OWNER, NOR WILL WIRELESS SERVICE BE ARRANGED.
- DURING CONSTRUCTION, CONTRACTOR MUST ENSURE THAT EMPLOYEES AND SUBCONTRACTORS WEAR HARD HATS AT ALL TIMES. CONTRACTOR WILL COMPLY WITH ALL WPCS SAFETY REQUIREMENTS IN THEIR AGREEMENT.
- PROVIDE WRITTEN DAILY UPDATES ON SITE PROGRESS TO THE OWNER.
- COMPLETE INVENTORY OF CONSTRUCTION MATERIALS AND EQUIPMENT IS REQUIRED PRIOR TO START OF CONSTRUCTION.
- NOTIFY THE OWNER/PROJECT MANAGER IN WRITING NO LESS THAN 48 HOURS IN ADVANCE OF CONCRETE POURS, TOWER ERECTIONS, AND EQUIPMENT CABINET PLACEMENTS.

INSURANCE AND BONDS

- CONTRACTOR, AT THEIR OWN EXPENSE, SHALL CARRY AND MAINTAIN, FOR THE DURATION OF THE PROJECT, ALL INSURANCE, AS REQUIRED AND LISTED, AND SHALL NOT COMMENCE WITH THEIR WORK UNTIL THEY HAVE PRESENTED AN ORIGINAL CERTIFICATE OF INSURANCE STATING ALL COVERAGES TO THE OWNER. REFER TO THE MASTER AGREEMENT FOR REQUIRED INSURANCE LIMITS.
- THE OWNER SHALL BE NAMED AS AN ADDITIONAL INSURED ON ALL POLICIES.
- CONTRACTOR MUST PROVIDE PROOF OF INSURANCE.

ABBREVIATIONS

ADJ	ADJUSTABLE
AGL	ABOVE GROUND LINE
&	AND
APPROX	APPROXIMATE
@	AT
BTS	BASE TRANSMISSION STATION
CAB	CABINET
CLG	CEILING
CONC	CONCRETE
CONT	CONTINUOUS
DIA OR Ø	DIAMETER
DWG	DRAWING
EA	EACH
ELEC	ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EGB	EQUIPMENT GROUND BAR
(E)	EXISTING
EXT	EXTERIOR
FF	FINISHED FLOOR
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GRND	GROUND
LG	LONG
MAX	MAXIMUM
MECH	MECHANICAL
MW	MICROWAVE DISH
MFR	MANUFACTURER
MGB	MASTER GROUND BAR
MIN	MINIMUM
MTL	METAL
(N)	NEW
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OPP	OPPOSITE
(P)	PROPOSED
PCS	PERSONAL COMMUNICATION SYSTEM
PPC	POWER PROTECTION CABINET
SF	SQUARE FOOT
SHT	SHEET
SIM	SIMILAR
SS	STAINLESS STEEL
STL	STEEL
TOC	TOP OF CONCRETE
TOM	TOP OF MASONRY
TYP	TYPICAL
VIF	VERIFY IN FIELD
UON	UNLESS OTHERWISE NOTED
WWF	WELDED WIRE FABRIC
W/	WITH

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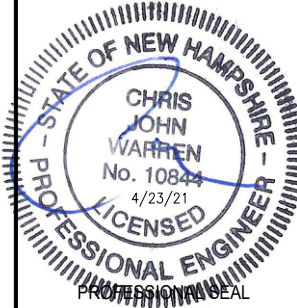
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SUBMITTALS		
DATE	DESCRIPTION	REVISION
04/16/21	ISSUED FOR PERMIT	0

DEPT.	DATE	APP'D	REVISIONS
RFE			
RF MAN.			
ZONING			
OPS			
CONSTR.			
SITE AC.			

PROJECT NO:	1197-C0001-C
DRAWN BY:	PEG
CHECKED BY:	JLM



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NOTE: IF DRAWINGS ARE 22"x34", USE GRAPHICAL SCALE AND/OR 1/2 TIMES OF THE NOTED SCALE.

SITE NUMBER:
4NBS027_NM03XC027

SITE NAME:
HARBOUR PLACE

1 HARBOUR PLACE
PORTSMOUTH, NH 03881

SHEET TITLE

GENERAL AND ELECTRICAL NOTES

SHEET NUMBER

N-1

Attachment 5. Area of Potential Effects

You are required to provide two attachments regarding the Determination of Effect: Areas of Potential Effect and Mitigation of Effect (if applicable).

Areas of Potential Effect Guidelines:**a. Describe the APE for direct effects and explain how this APE was determined.**

The APE for direct effects is limited to the area of potential ground disturbance and any property, or any portion thereof, that will be physically altered or destroyed by the Undertaking. On November 24, 2008, the FCC further clarified that the APE-Direct Effects is limited to the tower or non-tower structure on which the collocation will be mounted as well as the lease area including the access route and utility corridor. EBI Consulting completed an evaluation of the site, lease exhibits, and surrounding environment and determined that the APE for direct effects is limited to the existing building at the Subject Property.

b. Describe the APE for visual effects and explain how this APE was determined.

The APE for visual effects is the geographic area in which the Undertaking has the potential to introduce visual elements that diminish or alter the setting, including the landscape, where the setting is a character-defining feature of a Historic Property that makes it eligible for listing on the National Register. EBI Consulting completed an evaluation of the site, lease exhibits, and surrounding environment and determined that the APE for visual effects for this project is limited to 500-foot radius of the Project Area.

Based on prior consultation history with the SHPO, the project design, lease exhibits, and surrounding environment, the area from which the proposed undertaking has the potential to diminish or alter the setting of historic properties is limited to a radius of 500 feet. The 500-foot APE is located in an area characterized by dense multi-story development. The proposed collocation will consist of removing six existing antennas and installing nine new antennas on existing sectors and will not result in a significant change to the appearance of the facility. Given the above conditions and the results of the evaluation, the APE-VE for this undertaking is 500-feet and is the extent of the geographic area that will be visually affected by this collocation.

Mitigation of Effect Guidelines:

In the case where an Adverse Visual Effect or Adverse Direct Effect has been determined you must provide the following:

a. Copies of any correspondence and summaries of any oral communications with the SHPO/THPO and any consulting parties.

As of the date of this report, there has been no correspondence with the SHPO/THPO.

b. Describe any alternatives that have been considered that might avoid, minimize, or mitigate any adverse effects. Explain the Applicant's conclusion regarding the feasibility of each alternative.

No adverse effects are expected as a result of the proposed facility; therefore, alternatives that might avoid, minimize, or mitigate any adverse effects need not be considered.

Applicant's Name:	T-Mobile USA
Project Name:	Harbour Place (Sprint Keep)
Project Number:	4NBS027A

CO SUBMISSION PACKET -- FCC FORM 621

Approved by OMB
3060-1039
See instructions for
public burden estimates

For each property identified as a Historic Property in the online e-106 form:

Indicate whether the Applicant believes the proposed undertaking would have a) no effect; b) no adverse effect; or, c) an adverse effect. Explain how each such assessment was made. Provide supporting documentation where necessary.

Please see the table below for an evaluation of the proposed project's effects on identified historic properties.

NRHP/ Inventory Number	Historic Property Name	Effect Determination	Explanation of Effect Determination	EBI Photo No.
POR0174 / NR# 16000820	Mixed-Use Building (Subject Property) 1 Harbour Place	No Adverse Effect	The Subject Property is within and contributing to the Portsmouth Downtown Historic District, and therefore within the APE-DE and APE-VE. Although the modification would occur on the contributing building, the replacement of existing antennas and equipment is minor in scope and does not require major construction. Modifications are limited to the existing penthouse on the building's rooftop. Therefore, the proposed installation would not obscure any character-defining or contributing features of the Subject Property, resulting in No Adverse Effect.	1-2, 5, 8, 10, 12, 14
POR0174 / NR# 16000820	Portsmouth Downtown Historic District	No Adverse Effect	The Subject Property is within and contributing to the Portsmouth Downtown Historic District, and therefore within the APE-DE and APE-VE. Although the modification would occur on the contributing building, the replacement of existing antennas and equipment is minor in scope and does not require major construction. Modifications are limited to the existing penthouse on the building's rooftop. Therefore, the proposed installation would not obscure any character-defining or contributing features of the Subject Property, resulting in No Adverse Effect. Due to the dense urban setting and height of the Subject Property building, visibility of the proposed installation from the surrounding historic district is largely indiscernible. The proposed project would not result in a perceptible visual change in the setting of the district. Therefore, the proposed undertaking would have No Adverse Effect on Portsmouth Downtown Historic District.	1-15
POR0017	Pier II Warehouse 10 State Street	No Adverse Effect	Pier II Warehouse is located approximately 200 feet southeast of the Subject Property, and therefore within the APE-VE. Due to the dense urban setting and height of the Subject Property building, visibility of the proposed installation from this resource is largely	6-8

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

CO SUBMISSION PACKET -- FCC FORM 621

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public burden estimates

			indiscernible. The proposed project would not result in a perceptible visual change in the setting of the resource. Therefore, the proposed undertaking would have No Adverse Effect on Pier II Warehouse.	
POR0014	Memorial Park / Scott Avenue Bridge Between Wright Ave, Scott Ave, and Dutton Ave	No Adverse Effect	Memorial Park / Scott Avenue Bridge is located approximately 150 feet south of the Subject Property, and therefore within the APE-VE. Due to the dense urban setting and height of the Subject Property building, visibility of the proposed installation from this resource is largely indiscernible. The proposed project would not result in a perceptible visual change in the setting of the resource. Therefore, the proposed undertaking would have No Adverse Effect on Memorial Park / Scott Avenue Bridge.	9-10
POR0022	Memorial Bridge US Route 1 over Piscataqua River	No Adverse Effect	Memorial Bridge is located approximately 160 feet northeast of the Subject Property, and therefore within the APE-VE. Due to the dense urban setting and height of the Subject Property building, visibility of the proposed installation from this resource is largely indiscernible. The proposed project would not result in a perceptible visual change in the setting of the resource. Therefore, the proposed undertaking would have No Adverse Effect on Memorial Bridge.	11-12
POR0168 / NR# 66000028 NHL	MacPheadris-Warner House 150 Daniel Street	No Adverse Effect	MacPheadris-Warner House is located approximately 300 feet southwest of the Subject Property, and therefore within the APE-VE. Due to the dense urban setting and height of the Subject Property building, visibility of the proposed installation from this resource is largely indiscernible. The proposed project would not result in a perceptible visual change in the setting of the resource. Therefore, the proposed undertaking would have No Adverse Effect on MacPheadris-Warner House.	13-14

Applicant's Name: T-Mobile USA
 Project Name: Harbour Place (Sprint Keep)
 Project Number: 4NBS027A

CO SUBMISSION PACKET -- FCC FORM 621

Approved by OMB
3060-1039
See instructions for
public burden estimates

Attachment 6. Tribal and NHO Involvement

At an early stage in the planning process, the Nationwide Agreement requires the Applicant to gather information from appropriate Indian Tribes or Native Hawaiian Organizations (“NHOs”) to assist in the identification of Historic Properties of religious and cultural significance to them. Describe measures taken to identify Indian tribes and NHOs that may attach religious and cultural significance to Historic Properties that may be affected by the collocation within the Areas of Potential Effects (“APE”) for direct and visual effects. If such Indian tribes or NHOs were identified, list them and provide a summary of contacts by either the FCC, the Applicant, or the Applicant’s representative. Provide copies of relevant documents, including correspondence. If no such Indian tribes or NHOs were identified, please explain.

EBI Consulting filed the proposed undertaking on the FCC’s Tower Construction Notification System (TCNS). The attached FCC Notification email lists the Tribes identified through the TCNS process. Follow-up correspondence, when necessary, will be completed via the methods listed on the attached email considered acceptable to each Tribe.

Applicant’s Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

FCC Form 621

From: towernotifyinfo@fcc.gov
To: [Juanita Colorado](#)
Cc: tcnsweekly@fcc.gov
Subject: NOTICE OF ORGANIZATION(S) WHICH WERE SENT PROPOSED TOWER CONSTRUCTION NOTIFICATION INFORMATION - Email ID #7708953
Date: Friday, May 21, 2021 2:06:42 AM

Dear Applicant:

Thank you for using the Federal Communications Commission's (FCC) Tower Construction Notification System (TCNS). The purpose of this electronic mail message is to inform you that the following authorized persons were sent the notification that you provided through TCNS, which relates to your proposed antenna structure. The information was forwarded by the FCC to authorized TCNS users by electronic mail and/or regular mail (letter). We note that the review period for all parties begins upon receipt of the Submission Packet pursuant to Section VII.A of the NPA and notifications that do not provide this serve as information only.

Persons who have received the notification that you provided include leaders or their designees of federally-recognized American Indian Tribes, including Alaska Native Villages (collectively "Tribal Nations"), Native Hawaiian Organizations (NHOs), and State Historic Preservation Officers (SHPOs). For your convenience in identifying the referenced Tribal Nations and NHOs and in making further contacts, the City and State of the Seat of Government for each Tribal Nation and NHO, as well as the designated contact person, is included in the listing below. We note that Tribal Nations may have Section 106 cultural interests in ancestral homelands or other locations that are far removed from their current Seat of Government. Pursuant to the Commission's rules as set forth in the Nationwide Programmatic Agreement for Review of Effects on Historic Properties for Certain Undertakings Approved by the Federal Communications Commission (NPA), all Tribal Nations and NHOs listed below must be afforded a reasonable opportunity to respond to this notification, consistent with the procedures set forth below, unless the proposed construction falls within an exclusion designated by the Tribal Nation or NHO. (NPA, Section IV.F.4).

The notification that you provided was forwarded to the following Tribal Nations and NHOs. A Tribal Nation or NHO may not respond until a full Submission Packet is provided. If, upon receipt, the Tribal Nation or NHO does not respond within a reasonable time, you should make a reasonable effort at follow-up contact, unless the Tribal Nation or NHO has agreed to different procedures (NPA, Section IV.F.5). In the event a Tribal Nation or NHO does not respond to a follow-up inquiry, or if a substantive or procedural disagreement arises between you and a Tribal Nation or NHO, you must seek guidance from the Commission (NPA, Section IV.G). These procedures are further set forth in the FCC's Second Report and Order released on March 30, 2018 (FCC 18-30).

1. Chief of Staff Audrey Lee - Sac and Fox Nation - 920883 S. Hwy 99, Building A Stroud, OK - cos@sacandfoxnation-nsn.gov; sacandfoxtcns@gmail.com - 918-968-3526 (ext: 1010) - electronic mail and regular mail

2. Program Manager Sequahna Mars - Narragansett Indian Tribe - (PO Box: 350) Wyoming, RI - Sequahna@yahoo.com; Nithpotcns@gmail.com - 401-419-2959 - electronic mail and regular mail

If the applicant/tower builder receives no response from the Narragansett Indian Tribe within 30 days after notification through TCNS, the Narragansett Indian Tribe has no interest in participating in pre-construction review for the proposed site. The Applicant/tower builder, however, must immediately notify the Narragansett Indian Tribe in the event archaeological properties or human remains are discovered during construction, consistent with Section IX of the Nationwide Programmatic Agreement and applicable law.

3. THPO Edith Leoso - Bad River Band of Lake Superior Tribe of Chippewa Indians - (PO Box: 39) Odanah, WI - thpo@badriver-nsn.gov; THPOAsst@badriver-nsn.gov - 715-682-7123 - electronic mail

If the applicant/tower builder receives no response from the Bad River Band of Lake Superior Tribe of Chippewa Indians within 30 days after notification through TCNS, the Bad River Band of Lake Superior Tribe of Chippewa Indians has no interest in participating in pre-construction review for the proposed site. The Applicant/tower builder, however, must immediately notify the Bad River Band of Lake Superior Tribe of Chippewa Indians in the event archaeological properties or human remains are discovered during construction, consistent with Section IX of the Nationwide Programmatic Agreement and applicable law.

4. THPO Marvin DeFoe - Red Cliff Band of Lake Superior Chippewa Indians of Wisconsin - 88455 Pike Road, HWY 13 Bayfield, WI - Marvin.DeFoe@redcliff-nsn.gov; Edwina.Buffalo-Reyes@redcliff-nsn.gov - 715-779-3700 (ext: 4242) - electronic mail

Exclusions: Boozhoo, we do not have the Red Cliff Portal site online anymore and apologize for the inconvenience.

If you have a project that has already been paid for or would like to voluntarily pay for, please email documents for project review to THPO@redcliff-nsn.gov. This address is only to be used by Consultants who are voluntarily paying for projects.

If you have any questions, please contact Marvin Defoe, THPO Manager at (715) 779-3700 Ext. 4244 or Edwina Buffalo-Reyes, THPO Assistant at (715) 779-3700 Ext. 4243.

5. THPO Melinda J Young - Lac du Flambeau Band of Lake Superior Chippewa Indians - Tribal Historic Preservation Office (PO Box: 67) Lac du Flambeau, WI -

ldfthpo@ldftribe.com - 715-588-2139 - electronic mail

Exclusions: Effective Immediately:

Please send all submissions through email until further notice. Effective 3/23/2020

Please email all submissions to ldfthpo@ldftribe.com

Thank you

The notification that you provided was also forwarded to the following SHPOs in the State in which you propose to construct and neighboring States. The information was provided to these SHPOs as a courtesy for their information and planning. You need make no effort at this time to follow up with any SHPO that does not respond to this notification. Prior to construction, you must provide the SHPO of the State in which you propose to construct (or the Tribal Historic Preservation Officer, if the project will be located on certain Tribal lands), with a Submission Packet pursuant to Section VII.A of the NPA unless the project is excluded from SHPO review under Section III D or E of the NPA.

6. Deputy SHPO Kirk F Mohny - Maine Historic Preservation Commission - 55 Capitol Street Station 65 Augusta, ME - kirk.mohny@maine.gov - -- - electronic mail

7. SHPO Cara Metz - Massachusetts Historical Commission - 220 Morrissey Boulevard Boston, MA - cara.metz@sec.state.ma.us - 617-727-8470 - electronic mail

8. Deputy SHPO Nadine Miller - NH Division of Historical Resources - 19 Pillsbury Street Concord, NH - nadine.miller@dncr.nh.gov; marika.labash@dncr.nh.gov - 603-271-6628 - electronic mail and regular mail

9. Preservation Planner Emily Paulus - NH Division of Historical Resources - 19 Pillsbury Street Concord, NH - Emily.Paulus@dcr.nh.gov - 603-271-6628 - electronic mail

10. SHPO Laura V Trieschmann - Vermont Division for Historic Preservation - National Life Building Drawer 20 Montpelier, VT - laura.trieschmann@vermont.gov - 802-828-3222 - electronic mail

TCNS automatically forwards all notifications to all Tribal Nations and SHPOs that have an expressed interest in the geographic area of a proposal. However, if a proposal for PTC wayside poles falls within a designated exclusion, you need not expect any response and need not pursue any additional process with that Tribal Nation or SHPO. In addition, a particular Tribal Nation or SHPO may also set forth policies or procedures within its details box that exclude from review certain facilities (for example, a statement that it does not review collocations with no ground disturbance; or that indicates that no response within 30 days indicates no interest in participating in pre-construction review).

Please be advised that the FCC cannot guarantee that the contact(s) listed above have opened and reviewed an electronic or regular mail notification. If you learn that any of the above contact information is no longer valid, please contact the FCC by emailing tcnshelp@fcc.gov. The following information relating to the proposed tower was forwarded to the person(s) listed above:

Notification Received: 05/14/2021
Notification ID: 231608
Excluded from SHPO Review: No
Tower Owner Individual or Entity Name: T-Mobile USA
Consultant Name: Juanita Colorado
Street Address: 1103 E. 63rd Street
City: Tulsa
State: OKLAHOMA
Zip Code: 74136
Phone: 970-692-6199
Email: jcolorado@ebiconsulting.com

Structure Type: BANT - Building with Antenna on top
Latitude: 43 deg 4 min 42.0 sec N
Longitude: 70 deg 45 min 13.0 sec W
Location Description: 1 Harbour Place
City: Portsmouth
State: NEW HAMPSHIRE
County: ROCKINGHAM
Detailed Description of Project: Antenna modification/upgrade on an existing building with no ground disturbance. Please see Attachment 4 of this filing for project design details.
(6121003322)(4NBS027A)
Ground Elevation: 4.9 meters
Support Structure: 30.6 meters above ground level
Overall Structure: 32.6 meters above ground level
Overall Height AMSL: 37.5 meters above mean sea level

If you have any questions or comments regarding this notice, please contact the FCC using the electronic Help Request form located on the FCC's website at:

<https://www.fcc.gov/wireless/available-support-services>

Attachment 7. Historic Properties Direct Effects

a. List all properties within the APE for direct effects.

On May 13, 2021, EBI Consulting completed a review of the available records as required per Section VI.D.2 of the Federal Communications Commission's 2004 Nationwide Programmatic Agreement to identify historic properties in the APE for Direct Effects. Please refer to the above list in the FCC Form.

b. Provide the name and address (including U.S. Postal Service ZIP Code) of each property in the APE for direct effects, not listed in part "a." (above), that the Applicant considers to be eligible for listing in the National Register as a result of the Applicant's research. For each such property, describe how it satisfies the criteria of eligibility (36 C.F.R. Part 63). For each property that was specifically considered and determined not to be eligible, describe why it does not satisfy the criteria of eligibility.

There are no additional properties located in the APE for direct effects.

c. Describe the techniques and the methodology, including any field survey, used to identify Historic Properties within the APE for direct effects.¹ If no archeological field survey was performed, provide a report substantiating that: i) the depth of previous disturbance exceeds the proposed construction depth (excluding footings and other anchoring mechanisms) by at least 2 feet; or, ii) geomorphological evidence indicates that cultural resource-bearing soils do not occur within the project area or may occur but at depths that exceed 2 feet below the proposed construction depth.²

EBI Consulting completed the process outlined in Section VI.D.2 of the FCC's 2004 NPA to identify above ground historic properties. Please see parts a. and b. above.

According to the project plans provided to EBI by T-Mobile USA, no ground disturbance is planned for this project; therefore, archeological Historic Properties will not be impacted by the proposed project and an archeological investigation has not been completed to date.

¹ Pursuant to Section VI.D.2.a. of the Nationwide Agreement, Applicants shall make a reasonable and good faith effort to identify above ground and archeological Historic Properties, including buildings, structures, and historic districts, that lie within the APE for direct effects. Such reasonable and good faith efforts may include a field survey where appropriate.

² Under Section VI.D.2.d. of the Nationwide Agreement, an archeological field survey is required even if none of these conditions applies, if an Indian tribe or NHO provides evidence that supports a high probability of the presence of intact archeological Historic Properties within the APE for direct effects.

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

Attachment 8. Historic Properties Visual Effects**Historic Properties Identified for Visual Effects Guidelines**

- a. **Provide the name and address (including U.S. Postal Service ZIP Code) of each property in the APE for visual effects that is listed in the National Register, has been formally determined eligible for listing by the Keeper of the National Register, or is identified as considered eligible for listing in the records of the SHPO/THPO, pursuant to Section VI.D.1.a. of the Nationwide Agreement.**

On May 13, 2021, EBI Consulting completed a review of the available records as required per Section VI.D.1 of the Federal Communications Commission's 2004 Nationwide Programmatic Agreement to identify historic properties in the APE for Visual Effects. Please refer to the above list in the FCC Form.

- b. **Provide the name and address (including U.S. Postal Service ZIP Code) of each Historic Property in the APE for visual effects, not listed in part "a", identified through the comments of Indian Tribes, NHOs, local governments, or members of the public. Identify each individual or group whose comments led to the inclusion of a Historic Property in this attachment. For each such property, describe how it satisfies the criteria of eligibility (36 C.F.R. Part 63).**

As of the date of this report, EBI has not received comments from Indian Tribes, NHOs, local governments, or members of the public that identify Historic Properties in the APE for visual effects that are not listed in the above list of Historic Properties.

- c. **For any properties listed in the above Historic Properties list, that the Applicant considers no longer eligible for inclusion in the National Register, explain the basis for this recommendation.**

N/A

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

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Approved by OMB
3060-1039
See instructions for
public burden estimates

Attachment 9. Local Government

- a. **If any local government has been contacted and invited to become a consulting party pursuant to Section V.A. of the Nationwide Programmatic Agreement, list the local government agencies contacted. Provide a summary of contacts and copies of any relevant documents (e.g., correspondence or notices).**

Please see the attached correspondence with the local government. As of the date of this submission packet, EBI Consulting has not received any comments from the local government. Should a response be received, copies will be forwarded to all consulting parties as an addendum to this submission packet.

- b. **If a local government agency will be contacted but has not been to date, explain why and when such contact will take place.**

N/A

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

May 21, 2021

City of Portsmouth Historic District Commission
Nick Cracknell, Principal Planner
1 Junkins Ave, 3rd Floor
Portsmouth, NH 03801
(603) 610 -7328
njcracknell@cityofportsmouth.com

Subject: Invitation to Comment
4NBS027A / Harbour Place (Sprint Keep)
1 Harbour Place, Portsmouth, Rockingham County, NH 03881
EBI Project #6121003322

Dear Nick Cracknell:

Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc., on behalf of T-Mobile USA, provides this notice of a proposed telecommunications facility installation at the address listed above.

EBI would like to inquire if you would be interested in commenting on this proposed project. Please refer to the attached project plans for additional details regarding this proposed project.

Please note that we are requesting your review of the attached information as part of the Section 106 process only and not as part of the local zoning process. We are only seeking comments related to the proposed project's potential effect to historic properties.

Please submit your comments regarding the proposed project's potential effect on historic properties to EBI Consulting, to my attention at 21 B Street, Burlington, MA 01803, or contact me via telephone at the number listed below. Please reference the EBI project number. We would appreciate your comments as soon as possible within the next 30 days. Please do not hesitate to contact me if you have any questions or concerns about the proposed project.

Please note that this project will be entered into the Federal Communication Commission's e106 System, which will send notifications of the project throughout the Section 106 process.

Respectfully Submitted,



William Ross
Architectural Historian
(914) 434-2173
wross@ebiconsulting.com

Attachments - Drawings and Maps

P

U.S. POSTAGE PAID
NEOPOST USA
ePostage

PRIORITY MAIL 2-DAY™

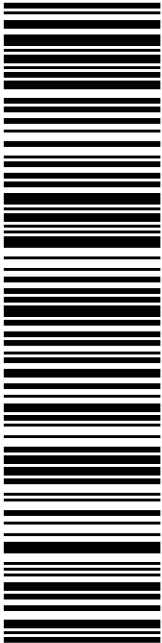
ENVIRO BUSINESS INC
21 B ST
BURLINGTON MA 01803-3485

Ship Date: 05/21/21
Flat Rate Env
0006

C011

CITY OF PORTSMOUTH HISTORIC DIST
NICK CRACKNELL
3
1 JUNKINS AVE
PORTSMOUTH NH 03801-4561

USPS TRACKING # EP



9205 8901 1220 3953 4010 62

CO SUBMISSION PACKET -- FCC FORM 621

Approved by OMB

3060-1039

See instructions for
public burden estimates

Attachment 10.

Other Consulting Parties and Public Notice

List additional consulting parties that were invited to participate by the Applicant, or independently requested to participate. Provide any relevant correspondence or other documents.

Please see the attached correspondence with interested parties. As of the date of this submission packet, EBI Consulting has not received any comments from any interested parties. Should a response be received, copies will be forwarded to all consulting parties as an addendum to this submission packet.

You are required to provide a Public Notice Attachment.

Attached, please find a copy of the legal notice regarding the proposed telecommunications installation that was posted in the *Portsmouth Herald* on May 25, 2021. As of the date of this submission packet, no comments regarding this notice have been received by EBI. Should a response be received, copies will be forwarded to all consulting parties as an addendum to this submission packet.

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

FCC Form 621

May 21, 2021

Portsmouth Historical Society
Mr. Brian W. J. LeMay, Executive Director
P.O. Box 728
Portsmouth, NH 03802
603.436.8433
brian@portsmouthhistory.org

Subject: Invitation to Comment
4NBS027A / Harbour Place (Sprint Keep)
1 Harbour Place, Portsmouth, Rockingham County, NH 03881
EBI Project #6121003322

Dear Brian LeMay:

Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc., on behalf of T-Mobile USA, provides this notice of a proposed telecommunications facility installation at the address listed above.

EBI would like to inquire if you would be interested in commenting on this proposed project. Please refer to the attached project plans for additional details regarding this proposed project.

Please note that we are requesting your review of the attached information as part of the Section 106 process only and not as part of the local zoning process. We are only seeking comments related to the proposed project's potential effect to historic properties.

Please submit your comments regarding the proposed project's potential effect on historic properties to EBI Consulting, to my attention at 21 B Street, Burlington, MA 01803, or contact me via telephone at the number listed below. Please reference the EBI project number. We would appreciate your comments as soon as possible within the next 30 days. Please do not hesitate to contact me if you have any questions or concerns about the proposed project.

Please note that this project will be entered into the Federal Communication Commission's e106 System, which will send notifications of the project throughout the Section 106 process.

Respectfully Submitted,



William Ross
Architectural Historian
(914) 434-2173
wross@ebiconsulting.com

Attachments - Drawings and Maps

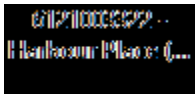
Alexis Sims

From: Microsoft Outlook
To: brian@portsmouthhistory.org
Sent: Friday, May 21, 2021 12:28 PM
Subject: Relayed: 6121003322 - Harbour Place (Sprint Keep), Portsmouth, NH

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:

brian@portsmouthhistory.org (brian@portsmouthhistory.org)

Subject: 6121003322 - Harbour Place (Sprint Keep), Portsmouth, NH



Juanita Colorado

To: rhondalbesaw@gmail.com; cowasuck@tds.net; pleno1228@gmail.com; KoasekKoas@gmail.com; bunnelloyalist@aol.com; eptn1683@yahoo.com
Subject: Invitation to Comment - 6121003322 Portsmouth, NH
Attachments: 6121003322 Figure 1.pdf; 6121003322 Figure 2.pdf; CD_4NBS027_Rev0_04-15-21.pdf

RE: Invitation to Comment in Section 106 Consultation Process

Site Identifier: Harbour Place (Sprint Keep)/4NBS027A
Site Address: I Harbour Place
Portsmouth, Rockingham County , New Hampshire 03881
EBI Project Number: 6121003322

Project Description: Antenna modification/upgrade on an existing building with no proposed ground disturbance.

Greetings,

Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc. provides this notice of a proposed telecommunications facility installation at the address listed above.

EBI would like to inquire if you would be interested in commenting on this proposed project. Please refer to the attached Project Drawings for complete details regarding this proposed project.

Please note that we are requesting your review of the attached information as part of the Section 106 process only and not as part of the local zoning process. We are only seeking comments related to the proposed project's potential effects on historic properties.

Please submit your comments regarding the proposed project's potential effects on historic properties to my attention % EBI Consulting at the address noted on the letterhead or contact me via telephone at the number listed below. Please do not hesitate to contact me if you have any questions or concerns about the proposed project.

Respectfully submitted,



Juanita Colorado

Tribal Coordinator

P: 970.692.6199

21 B Street | Burlington, MA | 01803

jcolorado@ebiconsulting.com

Visit our website: www.ebiconsulting.com



[EBI's Notice of Collection and Privacy Policy](#)

From: [Microsoft Outlook](#)
To: rhondalbesaw@gmail.com; cowasuck@tds.net; pleno1228@gmail.com; KoasekKoas@gmail.com; bunnellloyalist@aol.com; eptn1683@yahoo.com
Subject: Relayed: Invitation to Comment - 6121003322 Portsmouth, NH
Date: Tuesday, May 18, 2021 2:04:12 PM
Attachments: [Invitation to Comment - 6121003322 Portsmouth NH.msg](#)

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:
rhondalbesaw@gmail.com (rhondalbesaw@gmail.com) <<mailto:rhondalbesaw@gmail.com>>
cowasuck@tds.net (cowasuck@tds.net) <<mailto:cowasuck@tds.net>>
pleno1228@gmail.com (pleno1228@gmail.com) <<mailto:pleno1228@gmail.com>>
KoasekKoas@gmail.com (KoasekKoas@gmail.com) <<mailto:KoasekKoas@gmail.com>>
bunnellloyalist@aol.com (bunnellloyalist@aol.com) <<mailto:bunnellloyalist@aol.com>>
eptn1683@yahoo.com (eptn1683@yahoo.com) <<mailto:eptn1683@yahoo.com>>
Subject: Invitation to Comment - 6121003322 Portsmouth, NH

May 18, 2021

Cowasuck Band – Pennacook/Abenaki People
Paul Pouliot, Council Chief and Speaker
COWASS North America, Inc.
Cowasuck Band of the Pennacook - Abenaki People
P.O. Box 52
Alton, NH 03809-0052
cowasuck@tds.net

RE: Invitation to Comment in Section 106 Consultation Process

Site Identifier: Harbour Place (Sprint Keep)/4NBS027A
Site Address: 1 Harbour Place
Portsmouth, Rockingham County, New Hampshire 03881
EBI Project Number: 6121003322

Project Description: Antenna modification/upgrade on an existing building with no proposed ground disturbance.

Dear Paul Pouliot,

Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc. provides this notice of a proposed telecommunications facility installation at the address listed above.

EBI would like to inquire if you would be interested in commenting on this proposed project. Please refer to the attached Project Drawings for complete details regarding this proposed project.

Please note that we are requesting your review of the attached information as part of the Section 106 process only and not as part of the local zoning process. We are only seeking comments related to the proposed project's potential effects on historic properties.

Please submit your comments regarding the proposed project's potential effects on historic properties to my attention % EBI Consulting at the address noted on the letterhead or contact me via telephone at the number listed below. Please do not hesitate to contact me if you have any questions or concerns about the proposed project.

Respectfully submitted,



Juanita Colorado
Tribal Coordinator
Phone: 970-692-6199
jcolorado@ebiconsulting.com
Attachments Enclosed

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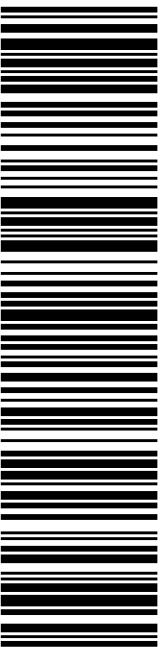
ENVIRO BUSINESS INC
21 B ST
BURLINGTON MA 01803-3485

Ship Date: 05/18/21
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B001

PAUL POULIOT
COWASUCK BAND PENNACOOK/ABEN
PO BOX 52
ALTON NH 03809-0052

USPS TRACKING # EP



9205 8901 1220 3953 1678 52

Project: NH State Tribal Consultation

Contact Name: Paul Pouliot Date: 1/13/2021

Contact Title: Council Chief and Speaker Time: 2:30 PM

Organization: Cowasuck Band of the Pennacook – Abenaki People Phone: 603-776-1090

Address: P.O. Box 52 E-mail: cowasuck@tds.net

City: Alton State: NH Zip Code: 03809

EBI Contact: Katie Berlin, Tribal Coordinator

Results:

Chief Pouliot, Council Chief and Speaker of Cowasuck Band of the Pennacook-Abenaki People, indicated that the Tribe would like to receive project documents via email and hardcopy. All emails should be sent to cowasuck@tds.net and hardcopies sent to:

Council Chief Paul Pouliot
P.O. Box 52, Alton NH 03809-0052

Follow-up Action Required:

None

May 18, 2021

Golden Hill Indian Reservation
Moonface Bear, Leader
95 Stanavage Road
Trumbull, CT 06415

RE: Invitation to Comment in Section 106 Consultation Process

Site Identifier: Harbour Place (Sprint Keep)/4NBS027A
Site Address: 1 Harbour Place
Portsmouth, Rockingham County, New Hampshire 03881
EBI Project Number: 6121003322

Project Description: Antenna modification/upgrade on an existing building with no proposed ground disturbance.

Dear Moonface Bear,

Pursuant to Section 106 of the National Historic Preservation Act, the regulations promulgated thereunder and interagency agreements developed thereto, EBI Consulting, Inc. provides this notice of a proposed telecommunications facility installation at the address listed above.

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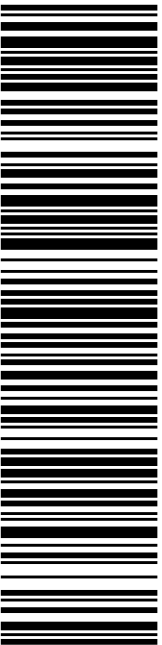
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BURLINGTON MA 01803-3485

Ship Date: 05/18/21
Flat Rate Env
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R002

MOONFACE BEAR LEADER
GOLDEN HILL INDIAN RESERVATI
95 STANAVAGE RD
COLCHESTER CT 06415-2068

USPS TRACKING # EP



9205 8901 1220 3953 1680 71

May 18, 2021

Laconia Indian Historical Association
Sue Lynn Thyng, President
109 Osgood Road
Sanbornton, NH 03269

RE: Invitation to Comment in Section 106 Consultation Process

Site Identifier: Harbour Place (Sprint Keep)/4NBS027A
Site Address: 1 Harbour Place
Portsmouth, Rockingham County, New Hampshire 03881
EBI Project Number: 6121003322

Project Description: Antenna modification/upgrade on an existing building with no proposed ground disturbance.

Dear Sue Lynn Thyng,

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Respectfully submitted,



Juanita Colorado
Tribal Coordinator
Phone: 970-692-6199
jcolorado@ebiconsulting.com
Attachments Enclosed

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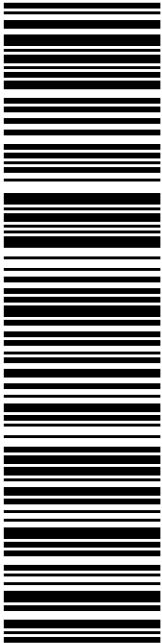
ENVIRO BUSINESS INC
21 B ST
BURLINGTON MA 01803-3485

Ship Date: 05/18/21
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R002

SUE LYNN THYNG PRESIDENT
LACONIA INDIAN HISTORICAL AS
109 OSGOOD RD
SANBORNTON NH 03269-2217

USPS TRACKING # EP



9205 8901 1220 3953 1682 31

May 18, 2021

Schaghticoke Tribal Nation of Kent, CT
Richard L. Velky, President/Chief
101 Elizabeth street, 2nd Floor
Derby, CT 06418

RE: Invitation to Comment in Section 106 Consultation Process

Site Identifier: Harbour Place (Sprint Keep)/4NBS027A
Site Address: 1 Harbour Place
Portsmouth, Rockingham County, New Hampshire 03881
EBI Project Number: 6121003322

Project Description: Antenna modification/upgrade on an existing building with no proposed ground disturbance.

Dear Richard L. Velky,

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Respectfully submitted,



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Phone: 970-692-6199
jcolorado@ebiconsulting.com
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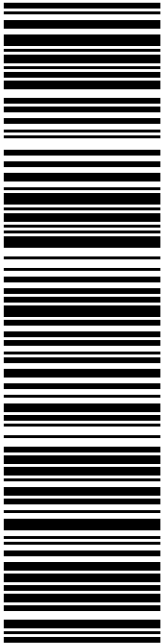
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21 B ST
BURLINGTON MA 01803-3485

Ship Date: 05/18/21
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C005

RICHARD L. VELKY
SCHAGHTICOKE TRIBAL NATION O
STE 2
101 ELIZABETH ST
DERBY CT 06418-1835

USPS TRACKING # EP



9205 8901 1220 3953 1685 14

May 18, 2021

New Hampshire Intertribal Native American Council
Peter Newell, Council Chief
9 Durrell Mountain Road
Belmont, NH 03220

RE: Invitation to Comment in Section 106 Consultation Process

Site Identifier: Harbour Place (Sprint Keep)/4NBS027A
Site Address: 1 Harbour Place
Portsmouth, Rockingham County, New Hampshire 03881
EBI Project Number: 6121003322

Project Description: Antenna modification/upgrade on an existing building with no proposed ground disturbance.

Dear Peter Newell,

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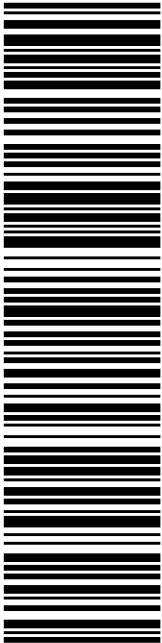
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R006

PETER NEWELL
NEW HAMPSHIRE INTERTRIBAL NA
9 DURRELL MOUNTAIN RD
BELMONT NH 03220-3305

USPS TRACKING # EP



9205 8901 1220 3953 1683 47

Project: NH State Tribal Projects

Contact Name: Don Stevens Date: 1/19/2021

Contact Title: Chief Time: 4:18 PM

Organization: Nulhegan Band of the Coosuk – Abenaki Nation Phone: 802-985-2465

Address: 156 Bacon Drive E-mail: chiefdonstevens@comcast.net

City: Shelburne State: VT Zip Code: 05482

EBI Contact: Katie Berlin, Tribal Coordinator

Results:

Chief Stevens, of Nulhegan Band of the Coosuk-Abenaki Nation, indicated that the Tribe has no interest in reviewing sites that do not involve ground disturbance. Concurrence can be assumed on all active projects with no ground disturbance.

In the event that any significant cultural materials are uncovered during construction, all work should stop until the proper authorities, including the Nulhegan Band of the Coosuk – Abenaki Nation, have been notified.

Follow-up Action Required:

None

Project: NH State Tribal Consultation

Contact Name: Debra Bergeron Date: 1/13/2021

Contact Title: Repatriation Coordinator Time: 1:30 PM

Organization: Sovereign Abenaki Nation of Missisquoi Phone: 802-868-2559

Address: PO Box 276 E-Mail: sogomo@comcast.net

City: Swanton State: VT Zip Code: 05488

EBI Contact: Katie Berlin, Tribal Coordinator

Results:

The Sovereign Abenaki Nation of Missisquoi does not want to receive project review information from EBI at this time. The Tribe has been removed from EBI's list of required contacts for New Hampshire state-recognized tribal consultation.

Follow-up Action Required:

The Tribe indicated that they may be interested in reviewing project information once offices are reopened and that EBI should follow up in a few months. As such, EBI intends to follow up with the tribe around June 1, 2021.

BB | TUESDAY, MAY 25, 2021 | PORTSMOUTH HERALD

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Legals

Need to place a legal notice?

Email your request to: SeacoastLegals@annett.com
Please include notice text, publication name and date to publish along with your contact info.

LEGAL NOTICE

T-Mobile USA is proposing to modify an existing wireless telecommunications facility on an existing building located at 1 Harbor Place, Portsmouth, Rockingham County, NH 03881. The modifications will consist of the installation of antennas at center heights of 105 feet, 5 inches; 104 feet, 7 inches; and 103 feet on the top of penthouse roof. Any interested party wishing to submit comments regarding the potential effects the proposed facility may have on any historic property may do so by sending such comments to: Project 6121003322 - WPR EBI Consulting, 21 B Street, Burlington, MA 01803, or via telephone at 914-434-2173, May 25, 2021.

PUBLIC HEARING

TOWN OF NORTH HAMPTON Planning Board
Tuesday, June 1, 2021 at 6:30pm
NO PHYSICAL LOCATION FOR MEETING
MEETING TO BE ACCESSED THROUGH ELECTRONIC MEANS ONLY

Case #21-11 - Applicant: David Graham, 164 Mill Road, North Hampton, NH 03862. The Applicant requests a Conditional Use Permit to allow placement of an accessory structure (shed) within the accessory structure setback. Property Owners: David and Talla Graham, 164 Mill Road, North Hampton, NH 03862. Property Location: 164 Mill Road, North Hampton, NH 03862; M/L: 010-050-000. Zoning District: R-2, Medium Density District.

Case #21-12 - Applicant: C & R Partnership c/o Mark Stevens, P.O. Box 284, Stratham, NH 03885. The Applicant requests a Conditional Use Permit to allow construction of a wetlands crossing and driveway within the wetlands and wetlands buffer area. Property Owner: C & R Partnership, P.O. Box 432, Stratham, NH 03885. Property Location: Exeter Road near Stratham and Hampton town lines, North Hampton, NH 03862; M/L: 010-002-000; Zoning District: R-2, Medium Density District.

"IMPORTANT NOTICE: Per the authority granted by State of New Hampshire Executive Orders, there will be no physical location for the meeting. The public will be able to view and listen to the meeting on Cable Channel 22 or as posted on Meeting Videos - Town Hall Streams link accessed through home page of town web site at www.northhampton-nh.gov. If the public has a problem accessing the meeting at the scheduled time, please contact the Planning Administrator by email: rmiller@northhampton-nh.gov or calling 603-758-1447.

Applications are available for public review at the North Hampton Town Office, 233 Atlantic Avenue, Monday - Thursday 7:00am to 4:00pm and Friday 8:00am to 12:00pm. Respectfully submitted, Timothy J. Harred, Chair.

Wanted to Buy

Seacoast area boat and motor service, our location or yours. Consignment boats & yachts needed. All makes and models. Call 978-358-8312.

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2010 Hyundai GENESIS 4 door luxury sedan with EVERY option. Always garaged & southern car. All power. Asking \$5,995 or BRO. For more info please call col (603) 781-0045 or (603) 692-0775.

Wanted to Buy

HAND TOOLS WANTED
ALL Trades - axes, chisels, collections, estate lots, etc. Liberty Tool 888-405-2007

Announcements

PUBLIC NOTICE Newington, NH. In accordance with the requirements of the NH Department of Health and Human Services, let it be known that Points North Recovery LLC has begun the licensing process to open an addiction treatment center at 2299 Woodbury Ave in Newington. Points North Recovery will offer Medically-Monitored Withdrawal services to individuals struggling with Substance Use Disorders. The facility will serve up to 15 clients in an overnight setting with 24 hours per day of medical coverage and 8 hours per day of clinical coverage. Inquiries regarding this application can be directed to Jessica Meehan via email at jessica@points-northrecovery.com.

Antique Classic Cars

1968 FORD MUSTANG CONVERTIBLE, burgundy with white interior. 289 V8 C car, engine rebuilt in 2014. Body in top condition! New top, new tires, new Bluetooth radio. Daily driver with great show potential! Asking \$43,900. Call (603) 431-2545.

Boat & Marine

TUG Aluminum Hull Inflatable
Just Arrived & Ready For Spring 2021
Light Aluminum Hulls
Many with Bow Lockers
Last Season Sold Out
Best Prices Now!

GREAT BAY MARINE, Inc.

603.436.5299 / VHF 8. 603.436.5299
Newbury, NH
Call us at greatbaymarine.com

Home Care Needed

Longterm Care Needed
For disabled man, late 60s, looking for personal care Thursday & Friday evenings. Duties include transfers, hygiene, meal preparation, and light housework.
Contact Paul Portsmouth
603-432-7197

Auctions

Royalty Automotive Services, Inc., 15 Caled Hwy, Barrington, NH 03825 on Wednesday, May 26, 2021 at 10am will auction a 2006 Volvo XC70, red color to satisfy Mechanic's Lien.

Broward, Oil & Coal

JOHN'S FIREWOOD
Green Oak - Cut, split & delivered North of Sullivan Bridge \$275 a full cord. Call (603) 923-1320

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Antiques wanted. Daniel Olmstead. 603-777-5009. 603-498-9185 cell. olmsteadandaniel44@gmail.com. Serving the seacoast since 1978. Downsizing, cleaning out an estate, moving? We buy a wide variety of items, including silver, jewelry, military, coins, collections, toys antique firearms, and real antiques. I buy many things that auctioneers do not take. I am fully vaccinated and will be wearing a mask.

Choose one of these 3 options to place your ad:
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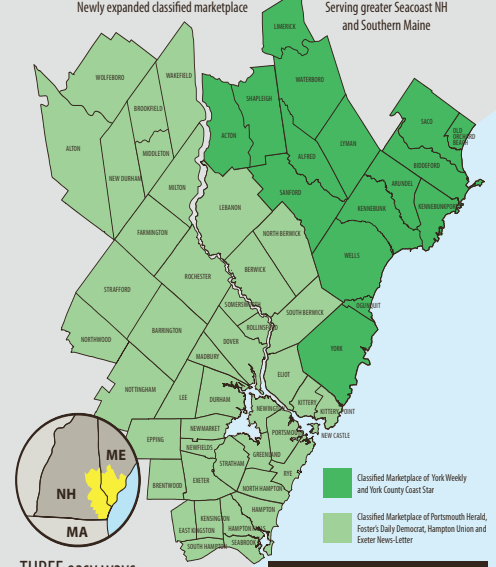
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Carpentry Services 603-770-6721 BFF JEWELL CARPENTER Additions, repairs, remodel. Also small jobs. Since 1978. Insured.	Firewood THE FIREWOOD GUY, Lawn & Garden Install, Mulch, Loam & Stone WOOD, DELIVERED & STACKED. (603) 437-0940 Handyman Services Remodeling, maintenance and repairs: carpentry, drywall, painting, tile, etc. 30 years experience. Fully insured. Jack 603-396-1473.	Construction & Maint Patios & Walkways, Snow Free! - CAMPUWOOD, DELIVERED & STACKED. (603) 437-0940 Landscaping Lawn Care & Cleanups Painting A+ Free estimates, 30 years experience, insured. Senior Discounts, references-Gallery Hazy Din-n-horn- 603-964-1826.	Roofing Services ARMOR ROOFING Shingles, Metal, Roofing Ex-erts. Free Quotes. NH, ME & MA 603-234-7986 NH Roofing & Carpentry • Asphalt shingles • Metal or Rubber roofing • Roof Inspections/repairs • Chimney repainting/repair Free estimates/fully insured 603-343-4115 Stone & Brick Expert Stone Wall Repair Fieldstone or granite. Contact Tony Luongo (603) 707-2727, 471-1954

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CO SUBMISSION PACKET -- FCC FORM 621

Approved by OMB
3060-1039
See instructions for
public burden estimates

Attachment II. SHPO Specific Forms

Please see attached required SHPO form.

Applicant's Name: T-Mobile USA
Project Name: Harbour Place (Sprint Keep)
Project Number: 4NBS027A

FCC Form 621



NEW HAMPSHIRE DIVISION OF HISTORICAL RESOURCES

State of New Hampshire, Department of Natural and Cultural Resources 603-271-3483
19 Pillsbury Street, Concord, NH 03301-3570 603-271-3558
TDD Access Relay NH 1-800-735-2964 FAX 603-271-3433
www.nh.gov/nhdhr preservation@dncr.nh.gov

Request for Project Review by the New Hampshire Division of Historical Resources INSTRUCTIONS

The Division of Historic Resources (DHR) is New Hampshire's State Historic Preservation Office (SHPO). Under state and federal laws, the DHR works with other governmental agencies to review publicly-assisted projects that may affect historical or archeological resources. Historic preservation "Review & Compliance" (R&C) is a consultation process to identify significant historic properties in the planning stage of a project, so that any harm to them can be avoided, minimized or mitigated. It is intended to be a conflict-resolution and problem-solving process that balances the public benefit in historic preservation with the public benefit from a variety of governmental initiatives.

The RPR is not simply a checklist. It is a framework to facilitate a clear and accurate exchange of information. Compiling data for the RPR can strengthen your recognition and understanding of cultural resources and their relationship to your project. Clear and accurate information will support federal and state agencies, including the DHR, in making informed recommendations and comments. **By following these instructions, you can help facilitate an efficient, productive consultation process.**

Laws and regulations protecting historical resources and guiding the DHR's review and consultation are listed below, with citations for additional information noted:

National Historic Preservation Act of
1966, as amended:
<https://achp.gov/sites/default/files/2018-06/nhpa.pdf>

ACOE NH Programmatic General
Permit:
https://www.des.nh.gov/organization/divisions/water/wmb/section401/review_process.htm

NH RSA 227-C:9:
www.gencourt.state.nh.us/rsa/html/XIX/227-C/227-C-9.htm

Federal Highway Administration:
Section 4(f):
<https://www.environment.fhwa.dot.gov/legislation/section4f.aspx>

If your project has anything to do with transportation (type of project or funding source etc.) please see the RPR for Transportation Projects and related Instructions.

Before You Submit the Request for Project Review Form

1. Check the DHR's Review & Compliance website at www.nh.gov/nhdhr/review/ to be sure you have downloaded the most current form.
2. Determine the entire geographical area in which changes may occur (project area). The boundaries of the project area should be clearly described and indicated on mapping as noted below.
3. Conduct Records Search: As soon as you've determined your project area, and before initiating the review process, you should determine whether or not there are any previously surveyed properties, and if and when any properties have been determined eligible or not eligible for listing in the National Register of Historic Places within or adjacent to the project area. Information on recorded historic properties is now available through our online application – EMMIT (Enhanced Mapping and Management Information Tool) (emmit.dncr.nh.gov) or at the DHR offices at 19 Pillsbury Street, Concord. The DHR in-house records are open to the public by appointment by calling the DHR Records Coordinator at 603.271.6568 or email at tanya.krajcik@dncr.nh.gov. This information must be collected prior to submitting project review materials.
4. If conducting an online search through EMMIT, please print a map including data results within a ½-mile radius of your project area. If using an in-house search, indicate the project area on a portion of a 7.5 minute USGS topographic quadrangle map and include recorded historic property findings in Table 1 or within the narrative description. Whichever source you use, append both the map and data records to the RPR form. Please be aware that survey in New Hampshire is far from complete, and the absence of historic resources in DHR records does not mean that no historic properties are present.
5. Complete a field review of the project area, taking photographs as directed in the form and instructions.
6. Following the records search and field review, project proponents should complete the Request for Project Review Form and any needed attachments in their entirety by referring to these instructions. Enclose the required additional information and submit your application packet to the DHR in paper. Please include a self-addressed stamped envelope in order to expedite the review process. Incomplete materials will be returned without review.
7. Be aware that, in the event historical resources are affected by your project, you may need to speak with your lead federal agency about developing a plan for public involvement.
8. There is no need to submit the copy of these instructions that print out with the RPR form. It is there for your information and use.

Photograph Submittals

Photographs submitted for project review may be either 35mm black/white, color or digital prints. All photographs must be clear, crisp and focused. Digital images should not be pixilated. Photographs must be sized 3" x 5" or larger and their subject locations keyed to an accompanied map. They may be embedded in printed Word® documents. All photos must be printed. No CDs, flashdrives, or other storage media with digital images will be accepted.

How to Complete the Request for Project Review (RPR) Form

GENERAL PROJECT INFORMATION

New Submittal or Additional Information – Indicate if the project, or any part thereof, has been previously reviewed by DHR and if so, insert the DHR review number (R&C #). If we know that a project has been previously reviewed, we can often avoid asking for duplicate information.

Project Title – Provide a descriptive name of the project. The name should clearly but concisely indicate what the project involves.

Project Address/Location – Provide the geographical location of the project. If your project involves work on a specific building, please include the street address of the building.

City or Town – Provide the city or town in which your project is located. Provide the **tax map and lot numbers** of the property(s).

Geographic Coordinates – NH State Plane-Feet is the required coordinate system.

An example of State Plane coordinates for the State House in Concord are: Easting 1018526 Northing 257678.

Access to State Plane coordinate data can be found at: <http://granitview.unh.edu>. Please refer to the R&C FAQs at www.nh.gov/nhdhr/review/rc_faq.htm on help accessing this data. It is helpful to print the specific instructions provided at https://www.nh.gov/nhdhr/review/documents/granitview_coordinates_print.pdf prior to clicking the <http://granitview.unh.edu> link.

Lead Federal Agency – Indicate the federal agency and contact person (if applicable) that is responsible for Section 106 compliance and that agency's permit type and permit or job reference number (if known). If you do not know the federal agency involved in your project, please contact the party requiring you to apply for Section 106 review, *not* the DHR, for this information.

State Agency – Indicate the state agency and contact person (if applicable) that is involved in the project and that agency's permit or job reference number (if known). Also note the type of permit.

APPLICANT INFORMATION

Applicant Name – Provide the name and contact information of the applicant (project sponsor).

Contact Person to Receive Response – Provide the name and contact information of the person to receive the DHR's response. The address provided should be a mailing address. Be sure to include a self-addressed stamped envelope with your application packet to expedite the review process.

PROJECT BOUNDARIES AND DESCRIPTION

Project Map – A clear map showing the exact boundaries of the project area **must** be attached to this application. If using EMMIT, a map depicting both the project area and recorded historic properties can be printed within the application. *Detailed assistance in using EMMIT for this purpose is provided within EMMIT's Help function, located at the top right corner.* If you are not using EMMIT, depict the exact boundaries of the project area on a clear computer generated or photocopy of the 7.5 minute USGS topographic quadrangle map, or a **clearly labeled** portion thereof. Do **not** reduce or enlarge the map. Color copies are helpful. Label the map with the name of the USGS quadrangle. Topographic maps may be printed or downloaded free of charge at: <https://granitview.unh.edu>. Please refer to the R&C FAQ's at www.nh.gov/nhdhr/review/rc_faq.htm for help on accessing this data.

Narrative Project Description – Attach a detailed written description of the project area and the proposed undertaking. The narrative should describe the project's area of potential effects including areas of potential physical and visual impacts, secondary areas or impacts, such as staging areas or borrow pits, and alterations to a structure, a building, or its landscape. Describe any known past disturbances or alterations to the project area such as grading, filling, paving, excavation and demolition, along with an approximate date. The narrative should clearly describe the proposed action, in as much detail as currently known.

Site Plan – Attach a large-scale map, diagram, or site plan(s), showing the project area's existing conditions and proposed changes (If this type of plan is not yet available for the project, explain why and give a date as to when it will be submitted). The drawing should indicate compass orientation, contours, general soil types, and presence of wetlands (if available). If any existing buildings, structures, cemeteries, dams, canals, bridges, foundations, ruins, old wells, cellar holes, stone walls, trails, or specialized uses such as dump sites, etc., are present, their locations should be shown.

Photos of Project Area – Provide photographs showing the overall project area and the area adjacent to the project location, as well as specific areas of proposed ground impacts and disturbances. These photographs should provide general visuals of the landscape(s), streetscape(s), and relationships between buildings and structures within and adjacent to the area of proposed impact. They should also include views of areas where there might be ground impacts and disturbances, such as digging or staging areas. Informative photo captions explaining each image will facilitate efficient project review. Photos should be keyed to project mapping.

DHR Records Search – During the identification stage of the review process you should determine the presence/absence of standing structures. **Indicate the date the records search occurred on the RPR form** and be sure to include the results of the DHR records search for historic properties with your submittal packet. If using EMMIT, provide results in both map and data formats following directions provided within the Help function of EMMIT. If using an in-house search, provide results within the project narrative or using complete **Table 1** (available on the DHR website). Blank table forms are available on the DHR website. Indicate if the records search

revealed any historic properties in the project area and if the site inspection revealed any properties more than 50 years of age within or adjacent to the project area which may or may not be recorded at the DHR.

ARCHITECTURE

Buildings, Structures, and Landscapes in Project Area – Based on the results of your DHR records search *and* your field review, are there any properties more than 50 years of age **within or adjacent** to the project area? The types of properties to note include buildings, structures (such as bridges, stone walls, culverts, railroad corridors, dams, etc.), objects (such as monuments and mileposts), historic districts, and landscapes (could include designed gardens, scenic roadways, campuses, or a collection of farms across a rural agricultural landscape).

If *none* of these are located in your project area, please note that in your project narrative and then skip to the Archaeology section of the RPR.

If *any* of these are located in your project area you must submit the following information:

Age – Provide an approximate age for the resources in your project area and the source for that information. Sources to determine approximate age could include owner information, visual inspection, municipal records, etc.

Photos of Buildings, Structures, and Landscapes – Photographs of all buildings and structures within the project area must be included with the application materials. These photos should show at least the full front side, however an angled shot showing the front and one side is typically very helpful. Neighborhood streetscape images should be included if applicable, such as when the project is located within an established or possible historic district. Photos should include informative captions and be keyed to project mapping.

Detail Photos, if applicable – If your project work involves physical impacts to existing buildings or structures, such as rehabilitation, demolition, additions, or alterations, detail photos of the area(s) of work must be submitted. For example, if you propose window replacement, then provide a photo of the window to be replaced. If you propose building an addition, then provide a photo of the area of the existing building where the addition will be appended.

ARCHAEOLOGY

Ground-Disturbing Activity in Project Area – While ground-disturbing activities are generally self-explanatory, be aware that they include activities such as construction or modification of drainage ditches and retention ponds, and temporary areas used for staging and access.

If there is *no* ground-disturbing activity in your project area, please note that in your project narrative.

If *any* ground-disturbing activity is anticipated, submit the following information:

Description of Previous Land Use – Attach a detailed descriptive narrative of current and previous land use and any known disturbances within the project area as described in project narrative.

Known or Suspected Archaeological Resources – Please note to the best of your knowledge whether the land owner/developer is aware of any archaeological resources within the project area (i.e. cemeteries/grave markers, stone walls, cellar holes, wells, foundations, dams, etc.).

TYPE AND MEANING OF DHR's RESPONSE

Insufficient information to initiate review – RPR packages will be returned to the applicant without review if, upon receipt, the DHR determines that the RPR package has not been completed sufficiently to review the project efficiently. *The purpose of this policy is to avoid excessive waste of time and money resulting from efforts to interpret or track down unclear or missing materials.*

Additional information is needed in order to complete review – Depending on the presence or types of resources in a project area, there may be multiple steps to the cultural resources consultation process. The necessity of progressing to the next step depends on the result of each preceding step. (*See the DHR website for a flowchart explaining Section 106 of the National Historic Preservation Act of 1966 at www.nh.gov/nhdhr/review/documents/106flowchart.pdf.)* Consultation for some projects may end with the RPR response, while others require continued consultation and fulfillment of additional steps in the process, such as surveys by qualified consultants and findings of effect by the lead federal agency and the DHR.

RPR comment response v. letter response – Depending on the project, the lead federal agency, and the DHR's response, you may receive either comments written on the RPR form or in a separate letter. Both types of responses may be considered the DHR's response.

Your Request for Project Review is ready to be submitted to the DHR if you've:

- ✓ Determined the entire geographical area of the proposed project and of the project's potential impacts
- ✓ Conducted a DHR records search for already-identified historic properties within or adjacent to the project area
- ✓ Conducted a field review for other resources 50 years old or older within or adjacent to the project area
- ✓ Completed the Request for Project Review Form in its entirety including all requested information and attachments
- ✓ Included a self-addressed stamped envelope

Mail the completed RPR form, a self-addressed stamped envelope and required materials to:

NH Division of Historical Resources
State Historic Preservation Office
Attention: Marika Labash, Review & Compliance
19 Pillsbury Street
Concord, NH 03301-3570

RPRs **cannot** be accepted via facsimile or e-mail. Please provide a completed form even in cases where project information is included in a separate document, such as DES permit applications and other environmental reports and applications. Environmental documents may be submitted as attachments to the form, only if they provide an important part of the project description. The DHR has a different focus from other agencies. In order to reduce costs and be as environmentally friendly as possible please do not submit entire permit applications. The DHR will retain all items and supporting documentation submitted with a review request, including photographs and publications. Items to be kept confidential should be clearly identified. For questions regarding project review please visit www.nh.gov/nhdhr/review or contact the R&C Specialist at marika.labash@dnrc.nh.gov or 603.271.3558.

Blank page intended

Please mail the completed form and required material to:

New Hampshire Division of Historical Resources
State Historic Preservation Office
Attention: Review & Compliance
19 Pillsbury Street, Concord, NH 03301-3570

DHR Use Only

R&C # _____

Log In Date ____ / ____ / ____

Response Date ____ / ____ / ____

Sent Date ____ / ____ / ____

Request for Project Review by the New Hampshire Division of Historical Resources

☒ This is a new submittal

☐ This is additional information relating to DHR Review & Compliance (R&C) #:

GENERAL PROJECT INFORMATION

Project Title Harbour Place (Sprint Keep) / 4NBS027A

Project Location 1 Harbour Place, Portsmouth, Rockingham County, New Hampshire 03881

City/Town Portsmouth Tax Map 0105 Lot # 0002-0000

NH State Plane - Feet Geographic Coordinates: Easting 1228194 Northing 212101
(See RPR Instructions and R&C FAQs for guidance.)

Lead Federal Agency and Contact (if applicable) FCC
(Agency providing funds, licenses, or permits)

Permit Type and Permit or Job Reference # Wireless License

State Agency and Contact (if applicable) N/A

Permit Type and Permit or Job Reference #

APPLICANT INFORMATION

Applicant Name T-Mobile USA

Mailing Address 15 Commerce Way Suite B Phone Number 401.996.7143

City Norton State MA Zip 02766 Email adam.sullivan@t-mobile.com

CONTACT PERSON TO RECEIVE RESPONSE

Name/Company Michelle Houston, EBI Consulting

Mailing Address 21 B Street Phone Number 504.458.4444

City Burlington State MA Zip 01803 Email mhouston@ebiconsulting.com

This form is updated periodically. Please download the current form at www.nh.gov/nhdhr/review. Please refer to the Request for Project Review Instructions for direction on completing this form. Submit one copy of this project review form for each project for which review is requested. Include a self-addressed stamped envelope to expedite review response. Project submissions will not be accepted via facsimile or e-mail. This form is required. Review request form must be complete for review to begin. Incomplete forms will be sent back to the applicant without comment. Please be aware that this form may only initiate consultation. For some projects, additional information will be needed to complete the Section 106 review. All items and supporting documentation submitted with a review request, including photographs and publications, will be retained by the DHR as part of its review records. Items to be kept confidential should be clearly identified. For questions regarding the DHR review process and the DHR's role in it, please visit our website at: www.nh.gov/nhdhr/review or contact the R&C Specialist at marika.labash@dncr.nh.gov or 603.271.3558.

PROJECTS CANNOT BE PROCESSED WITHOUT THIS INFORMATION

Project Boundaries and Description

- ☒ Attach the Project Mapping **using EMMIT or relevant portion of a 7.5' USGS Map.** (See RPR Instructions and R&C FAQs for guidance.)
- ☒ Attach a detailed narrative description of the proposed project.
- ☒ Attach a site plan. The site plan should include the project boundaries and areas of proposed excavation.
- ☒ Attach photos of the project area (overview of project location and area adjacent to project location, and specific areas of proposed impacts and disturbances.) (Informative photo captions are requested.)
- ☒ A DHR records search must be conducted to identify properties within or adjacent to the project area. Provide records search results via EMMIT or in **Table 1.** (Blank table forms are available on the DHR website.)
EMMIT or in-house records search conducted on 05/13/2021.

Architecture

Are there any buildings, structures (bridges, walls, culverts, etc.) objects, districts or landscapes within the project area? ☒ Yes ☐ No
If no, skip to Archaeology section. If yes, submit all of the following information:

Approximate age(s): 150

- ☒ Photographs of **each** resource or streetscape located within the project area, with captions, along with a mapped photo key. (Digital photographs are accepted. All photographs must be clear, crisp and focused.)
- ☐ If the project involves rehabilitation, demolition, additions, or alterations to existing buildings or structures, provide additional photographs showing detailed project work locations. (i.e. Detail photo of windows if window replacement is proposed.)

Archaeology

Does the proposed undertaking involve ground-disturbing activity? ☐ Yes ☒ No
If yes, submit all of the following information:

- ☐ Description of current and previous land use and disturbances.
- ☐ Available information concerning known or suspected archaeological resources within the project area (such as cellar holes, wells, foundations, dams, etc.)

Please note that for many projects an architectural and/or archaeological survey or other additional information may be needed to complete the Section 106 process.

DHR Comment/Finding Recommendation *This Space for Division of Historical Resources Use Only*

☐ **Insufficient information to initiate review.** ☐ Additional information is needed in order to complete review.

☐ No Potential to cause Effects ☐ No Historic Properties Affected ☐ No Adverse Effect ☐ Adverse Effect

Comments: _____

If plans change or resources are discovered in the course of this project, you must contact the Division of Historical Resources as required by federal law and regulation.

Authorized Signature: _____ Date: _____

7. 40 Howard Street

- Recommended Approval

Background: The applicant is seeking approval for re-approval of an already approved project (install window lintels/pediments, replace front door transom glass, revise water table trim board, and base windows. Plus the new approval of wrought-iron handrails for the front steps.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

10/01/2021

LUHD-394

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Sep 30, 2021**Applicant**

Kenneth Sullivan
kensullivan72@gmail.com
40 Howard St
Portsmouth, NH 03801
617-733-0471

Location

40 HOWARD ST
Portsmouth, NH 03801

Owner:

SULLIVAN KENNETH CHARLES REV TST OF 2021 & SULLIVAN
KENNETH CHARLES TTEE
40 HOWARD ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Re-approval of previously approved (by HDC in 2015) installation of window lintels/pediments, replace front door transom glass, revise water table trim board, and basement windows. New approval of wrought-iron handrails for front steps.

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information**Owner Addressee Full Name and Title**

--

Owner Addressee Prefix and Last Name

--

**Kenneth Sullivan
40 Howard Street
Portsmouth, NH 03801**

Jon Wyckoff, Vice Chairman
Historic District Commission
1 Junkins Ave.
Portsmouth, NH 03801

September 30, 2021

RE: Request for Administrative re-approval of ALREADY-APPROVED items

Dear Vice Chairman Wyckoff,

On October 9, 2015, the HDC approved, for my home at 40 Howard, a number of items, some of which I now seek re-approval for here, because I have yet to get to them, in light of other HDC-approved projects I have undertaken since then. As detailed in the HDC's October 9, 2015 Certificate of Approval letter concerning my 2015 application (provided here for convenience at **Exhibits 9 & 10** below), and in my 2015 application (which is appended to this application in PDF form), the following is a summary of what I am seeking re-approval for now. I also seek here original approval of a wrought-iron handrail for my front steps, as designed by blacksmith Peter Happny (detailed below).

Exhibit-1 Current view of front of my house at 40 Howard St.



Exhibit- 2 Items requested for Re-approval

Item #	Item
1.	Install wooden pediments above windows (to closely-match those of neighbor across street)
2.	Modifications to basement windows (replace rotted windows & better align with foundation)
3.	Modifications to water table trim board (to better cover top of foundation)
4.	Change glass in transom above front door (replace with historic bulls eye glass)

Item #1: Install wooden pediments above windows. My 2015 application (appended to this application for convenience) requested, and was approved for, the “Application of period-appropriate wooden pediments” above my house windows. (See pp. 17 & 18 of my 2015 application). As approved, these window pediments will closely resemble the pediments above the windows of my neighbor’s house at 19 Howard Street, depicted in the following two **Exhibit-3** photos:

Exhibit-3 (19 Howard St. window pediments that mine will closely replicate)



Item #2: Modifications to basement windows. My 2015 application requested to “Adjust forward the placement depth of existing basement windows frames to fit with requested veneer of foundation; repair/replace rotted portions of window frames; reverse position of existing screens and glass frames, so that glass panes are exposed to outside foundation and screens are inside.” (See pp. 18 & 19 of my 2015 application). The basement windows were installed in 1985, and are in poor condition. I completed the requested (and approved) stone foundation veneer. (See the above, **Exhibit-1** photo and the following **Exhibit-4** photo, each depicting the current stone veneer foundation and basement window(s).

Exhibit-4 current stone veneer foundation and basement window
(with ill-fitting water table trim board, addressed below)




Item #3: Modifications to the water table trim board. My 2015 application requested, and was approved for: “Raising the height of existing water table trim board by approximately 3 inches, and increasing the thickness of same by approximately two inches, to allow it to protrude past depth of requested [and now completed] 2-inch thick veneer of existing foundation.” (See pp. 19-23 of my 2015 application).

Exhibit-5 (current foundation and under-sized water table trim board.
(See also **Exhibit-4** above)



Item #4: Change glass in transom above front door. My 2015 application requested, and was approved to: “Replace existing glass panes in transom window over front door with period-appropriate bullseye glass.” (See p. 24 of my 2015 application). See **Exhibit-6** below.

Exhibit-6	
My current 40 Howard St front door transom	Transom at 17 Hunking St with bullseye glass
	

New Item: Two wrought iron hand railings for the front steps. My 2015 application requested to: "Install period-appropriate wrought-iron stair railings outside the front door, on the existing granite landings and steps. For safety and aesthetics, install either 1 or 2 railings. I am in communications with local blacksmith Peter Happny about design and installation options." (See p. 25 of my 2015 application). In its October 9, 2015 Certificate of Approval letter concerning my 2015 application (below, at **Exhibits 9 & 10**), the Commission stated as a stipulation: "That the handrail is removed from the application and will be submitted at a later date as a new application once a detailed design has been submitted." I am making the submission here. Mr. Happny has rendered a design drawing for me, as seen in **Exhibit-7** below. The wrought-iron railings, painted black, will meet all applicable codes. At **Exhibit-8** is a current photo of my front steps. If for any reason this handrail as presented is not approved, I would ask the Commission to once again stipulate that it be removed from this application, and re-submitted (with any HDC suggestions greatly appreciated).

Exhibit-7 Peter Happny design for wrought-iron railings for my front steps

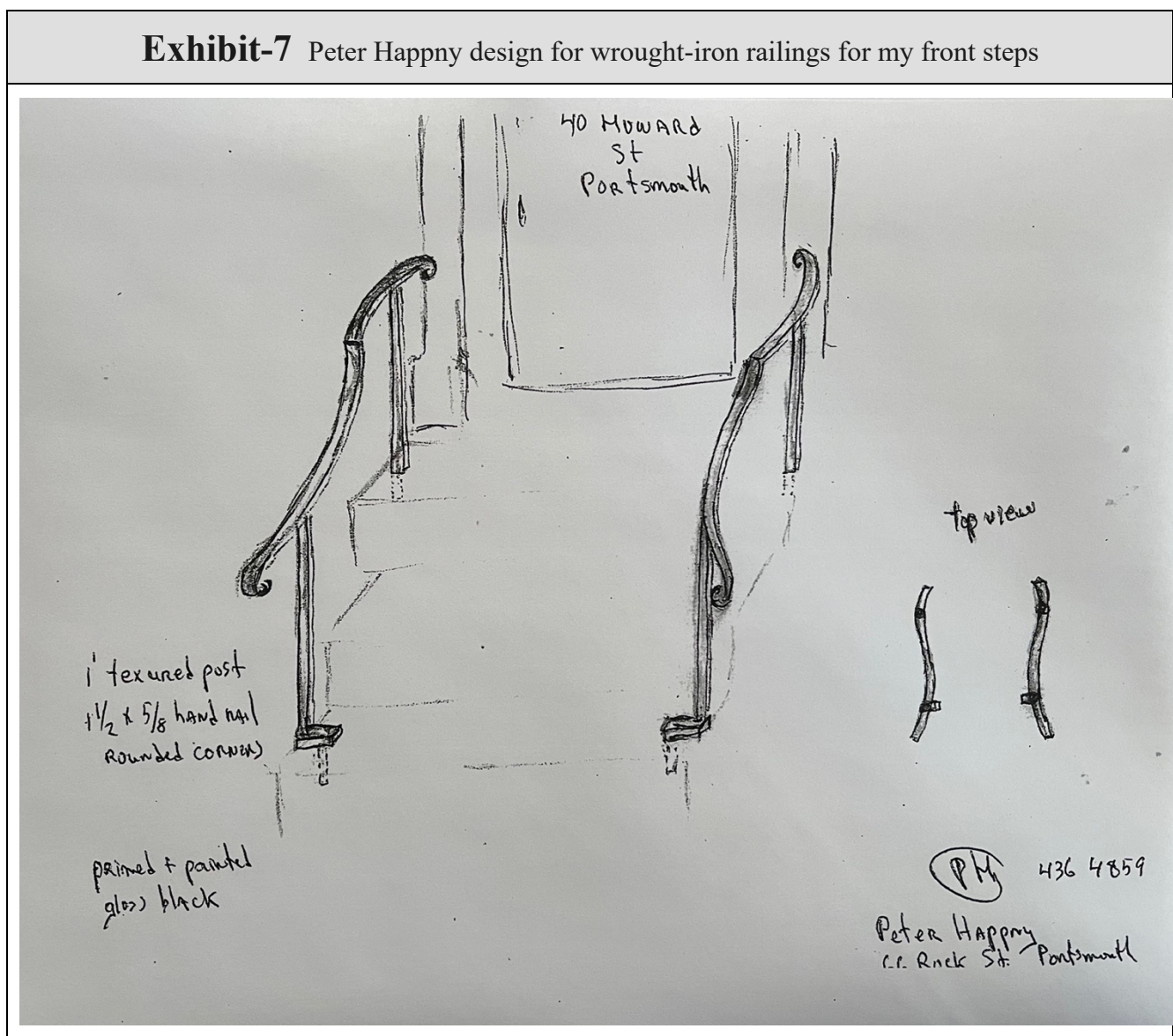


Exhibit-8 My 40 Howard St. front steps



For convenience, at **Exhibits 9 & 10**, below, are each of the two pages of the HDC October 9, 2015 Certificate of Approval letter concerning my 2015 application.

Exhibit-9

Page 1 of 2 of the HDC October 9, 2015 Certificate of Approval letter



CITY OF PORTSMOUTH

Community Development Department
(603) 610-7232

Planning Department
(603) 610-7216

PLANNING DEPARTMENT
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROVAL

Date: October 9, 2015
To: Kenneth C. Sullivan
40 Howard Street
Portsmouth, NH 03801
Re: 40 Howard Street

The Historic District Commission considered your proposal at its meeting of October 7, 2015 wherein permission was requested to allow exterior renovations to an existing structure (changes to the material of the foundation, replacement of storm windows, install wooden pediments above windows, modifications to basement windows, modifications to the water table trim board, change to glass in transom above front door, add iron hand railing) as per plans on file in the Planning Department.

After due deliberation, the Commission voted that the request be **approved** as presented with the following stipulation:

- 1) That the handrail is removed from the application and will be submitted at a later date as a new application once a detailed design has been submitted.

Findings of Fact: The proposed application meets the following purposes of the Historic District Ordinance (as applicable):

A. Purpose and Intent:

- ☒ Yes ☐ No - Preserve the integrity of the District
- ☒ Yes ☐ No - Maintain the special character of the District
- ☐ Yes ☐ No - Assessment of the Historical Significance
- ☒ Yes ☐ No - Complement and enhance the architectural and historic character
- ☐ Yes ☐ No - Conservation and enhancement of property values
- ☐ Yes ☐ No - Promote the education, pleasure & welfare of the District to the city residents and visitors

1 Junkins Avenue
Portsmouth, New Hampshire 03801
Fax (603) 427-1593

Exhibit-10

Page 2 of 2 of the HDC October 9, 2015 Certificate of Approval letter

Page 2
Re: 40 Howard Street
October 9, 2015

The proposed application also meets the following review criteria of the Historic District Ordinance (as applicable):

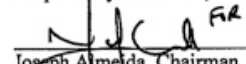
B. Review Criteria:

- ☒ Yes ☐ No - Consistent with special and defining character of surrounding properties
- ☐ Yes ☐ No - Relation to historic and architectural value of existing structures
- ☒ Yes ☐ No - Compatibility of design with surrounding properties
- ☐ Yes ☐ No - Compatibility of innovative technologies with surrounding properties

PLEASE NOTE: Prior to the issuance of a building permit, the Building Inspector will need to review and approve construction drawings/sketches so work shall not commence until the review process is complete. Applicants should note that approvals may also be required from other Committees and/or Boards prior to the issuance of a Building Permit.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Respectfully submitted,



Joseph Almeida, Chairman
Historic District Commission

cc: Robert Marsilia, Chief Building Inspector
Rosann Maurice-Lentz, Assessor

Among other benefits, the above requested items are intended to preserve the integrity of the District, maintain the special character of the District, complement and enhance the architectural and

historic character, conserve and enhance property values, and are consistent with the special and defining character of surrounding properties, with compatibility of design with surrounding properties.

Respectfully submitted,

/s/ Kenneth C. Sullivan

Owner, 40 Howard Street

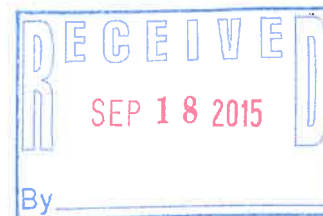
First of 2 Addendums to Sept. 30, 2021
HDC Administrative Approval
application – 40 Howard Street

(This is the original Sept 18, 2015 HDC
Application, and is included for
convenience)

Application for Certificate of Approval

Historic District Commission

(For projects over \$25,000; Work Sessions are strongly recommended)



Owner: Kenneth C. Sullivan Applicant (if different) _____

Address: 40 Howard ST Address: _____
(Street) (Street)

Portsmouth, NH 03801 (City, State, Zip) (City, State, Zip)

Phone: 617-733-0471 (cell) Phone: _____

Signature: Kenneth C. Sullivan

Date of Hearing	Fee	Plans, Photos, etc.	Index/Permit #:
<u>Oct. 7, 2015</u>	<u>\$100.00 ck. # 675</u>	<u>To Follow</u>	

Location of Structure: Map 103 Lot 61 Street Address: 40 Howard ST.

Description of Existing Structure: Single Family, wood frame, 2-story colonial

To permit the following: (1) Application of period-appropriate stone veneer and mortar to existing, above grade portion of Foundation at front and side of house.

(2) Replacement of existing Aluminum storm windows with single-piece wooden storm windows to match existing six-over six pane wooden windows

(3) Application of period-appropriate, wooden pediments above exterior of existing windows.

(4) Adjustment in depth of existing basement windows to fit requested veneer of Foundation. (5) Inclusion of some wavy glass panes in requested wooden storm windows and in existing basement windows.

Action Taken at Public Hearing	
Date:	<u>10.7.15</u>
As Per Plan:	
Stipulations:	<u>YES (11)</u>
Revisions #1:	
Revisions #1:	
Other:	
Signature of Chairman:	<u>[Signature]</u>

If approved, please acknowledge below:

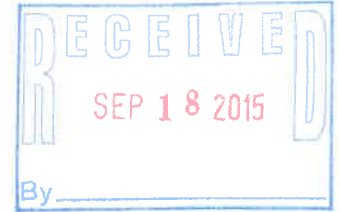
I hereby acknowledge that all changes or variation in the design as presented shall require further Historic District Commission approval.

Kenneth C. Sullivan

Owner

Revised: 26 Feb 07

→ (6) Raise height of existing water table trim board by approx. 3 inches, and increase thickness of sand approx. 2 inches to allow it to protrude past depth of proposed stone veneer of Foundation.



**Kenneth C. Sullivan
40 Howard Street
Portsmouth, NH 03801**

September 18, 2015

RE: October 7, 2015 HDC Hearing

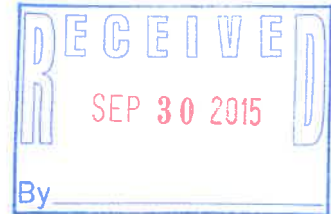
This is an application for authorization to make following proposed changes to the front and side of my house; 40 Howard Street, Portsmouth (Map 103; Lot 61).

Authorization is sought for the following changes:

1. **Application of period-appropriate stone veneer and mortar to existing, above-grade of exterior stone and brick foundation at front and right side of house.**
2. **Replacement of existing aluminum storm windows with single-piece, multi-pane, wooden storm windows to match existing, multi-pane wooden windows.**
3. **Application of period-appropriate wooden pediments above exterior of existing, multi-pane, wooden windows.**
4. **Adjustment in the placement depth of existing basement windows to fit requested veneer of foundation (per No. 1 above).**
5. **Inclusion of some wavy glass panes in requested wooden storm windows, and in existing basement windows.**
6. **Raising the height of existing water table trim board by approximately 3 inches, and increasing thickness of same by approximately two inches to allow it to protrude past depth of requested veneer of foundation (per No. 1 above).**

A supplement to this letter, which will include photos and additional detail, will be filed prior to the October 7th hearing.

Kenneth C. Sullivan
40 Howard Street
Portsmouth, NH 03801



September 29, 2015

RE: October 7, 2015 HDC Hearing

THIS IS A SUPPLEMENT TO SEPT 18, 2015 APPLICATION:

No.	Request	Pages
	INTRODUCTION and BACKGROUND ON FOUNDATION ISSUES	2--12
1	Application of period-appropriate stone veneer and mortar to existing, above-grade of exterior foundation at front (North) and right (West) side of house	12-17
2	Replacement of existing aluminum storm windows with single-piece, multi-pane, wooden storm windows to match existing, multi-pane wooden windows	17-18
3	Installation of period-appropriate wooden pediments above exterior of existing, multi-pane, wooden windows	17-18
4	Adjust forward the placement depth of existing basement windows frames to fit with requested veneer of foundation (per No. 1 above); repair/replace rotted portions of window frames; reverse position of existing screens and glass frames, so that glass panes are exposed to outside foundation and screens are inside.	18-19
5	Inclusion of some wavy glass panes in requested wooden storm windows, and in existing basement windows	19
6	Raising the height of existing water table trim board by approximately 3 inches, and increasing thickness of same by approximately two inches to allow it to protrude past depth of requested veneer of foundation (per No. 1 above)	19-23
7	Replace existing glass panes in transom over front door with Bullseye glass	24
8	Install period-appropriate wrought-iron stair railings outside the front door, on the existing granite landings and steps	25

HISTORIC DISTRICT COMMISSION

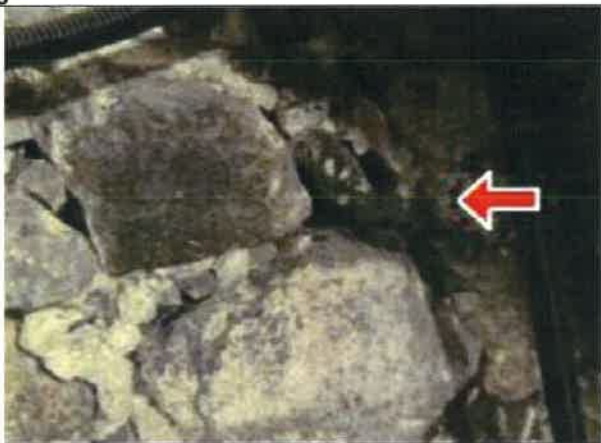
Approved (date of meeting) 10-7-15

As Advertised _____ As Presented ☒

w/Stipulations ☒ Signed [Signature]

Introduction. 40 Howard Street is a wood-frame, single-family colonial built on a rubble foundation. In 2013, a home inspection report revealed substantial buckling of the foundation wall below grade at the front of the house, along with other foundation problems resulting from decades and perhaps centuries-long water-intrusion. **INSERT #1** below is an excerpt from the report¹:

9.1 There is evidence of movement and failure to the right front side foundation wall. There is an area of displaced stone at the left rear side rear right foundation wall. The condition may worsen over time and can compromise the integrity of the foundation in these places. There are many areas of missing mortar in the foundation that can contribute to water entry.



9.1 Picture 1



9.1 Picture 2



9.1 Picture 3



9.1 Picture 4

INSERT # 1 2013 Inspection Report photos of foundation failure

¹ July 16, 2013 HomeView, Inc. Inspection Report, Section 9: Structural Components

After I purchased the house in late 2013, a masonry contractor excavated the exterior front right (North West) section of the foundation, and re-set and mortared the compromised section. During the process, he identified evidence of, and reason for, similar foundation failures and repairs in the past, due in large part to the fact that the house was built into a hill which is situated on top of known geologic ledge formation, and has never had the benefit of an effective exterior drainage system. In June of this year, I began installation of (1) a French drain-type system at the base of the outside perimeter of the foundation along the front (North) and right side (West) of the house, and (2) an improved drainage system for the gutters and downspouts taking rainwater off the roof.

Great care was taken during the excavation of the foundation drainage system (which was almost exclusively undertaken by hand, so as to minimize disturbance to the 200+ year-old rubble foundation). During the process, it became apparent why the foundation had allowed so much water into the basement. Numerous voids between foundation stones became visible, where the clay soil between them had washed away over time. While the foundation was being exposed, I contacted conservation stonemason John Wastrom, who came to the house and helped assess the state of foundation, advise on techniques to best seal the leaks, discuss methodology for restoring integrity to the foundation, and for minimizing the future washing away of additional clay between stones. With Mr. Wastrom's additional input, mortar was applied by hand to the voids between the below-grade foundation stones. Forms were then set in place, and a concrete buttress wall was poured against the outside of the foundation, below grade, at the front (North) and the right side (West) of the house, to further stabilize the foundation, and reduce the possibility of future water intrusion. See **Insert #2** (The flat, shelf-like top of the buttress wall is visible in the photograph to the left of the white PVC drainage pipe. The top shelf of the buttress walls will also be below finish grade of the garden, once the space is back-filled with loam. The combination of the two drainage systems, and the buttress walls, appears to have successfully managed the water intrusion problem, as well as restored integrity to the foundation. **Inserts #2 & 4** show part of the **roof rainwater** drainage system. The catch basins and PVC pipe will collect and discharge rain water from gutters and downspouts. The whole system will be buried in the garden, leaving only the catch basin grates visible just at the surface, where they will be obscured from view by garden shrubs and flowers. **Inserts #3 & 4** show part of the now-buried **French drain-type system**. This 5-foot deep green catch basin has a sump pump and removable, watertight cover. The top of the green unit will be located 6 inches beneath the surface of the future front garden, and will collect and pump up and away from the base of the foundation the occasional, heavy doses of ground water runoff, snow melt, and spikes in the level of the water table.



INSERT # 2 Completed roof rainwater drainage system at right/West side of house



INSERT # 3 5-foot deep catch basin for French drain-type system under future garden



INSERT # 4 Completed roof rainwater drainage system & green catch basin cover for French drain-type system under future front (North) and side (West) garden

The aboveground foundation.

As seen in **Insert #5**, before the drainage system excavation, the soil and vegetation at the front of the house rose at a steep angle from street level to the house, covering the foundation from view.



INSERT # 5 Sloping soil and vegetation covering the foundation, 2013.

At the outset of the excavation for the French drain-type system, I decided convert the sloping front yard to a flat flower garden, more in character with the front yards of my Howard Street neighbors (See **Insert #6**).



INSERT # 6 Flat flower gardens across the street at 19, 33 and 35 Howard St.

Inserts #7 & 8 show the front of the house without vegetation. Note that foundation brick is exposed.



INSERT # 7 . The aboveground foundation without vegetation, before drainage system.



INSERT # 8 . The aboveground foundation without vegetation, before drainage system.

Inserts #9 & 10 show the front of the house after installation of the drainage system, with the sloping soil removed and the foundation exposed to street-grade level, revealing both brick and stone.



INSERT # 9. Foundation exposed at front of house (North) after drainage system installation



INSERT # 10. Close up of foundation exposed after drainage system installation

Noting the combination of brick and stone in the above street grade of the foundation, I called in conservation stonemason John Wastrom, who inspected the exposed foundation, and discussed the likely reason for the brick/stone combination. The rubble foundation was subject to numerous failures during its centuries-old life, and, based upon the age of the brick and mortar, at some point around the 1960s, the original top portion of the rubble foundation was removed at the front of the house, and replaced with brick, and the soil at the front of the house was pitched up to the bottom of the brick, covering the remainder of the original rubble foundation above street-grade. **Insert #11** was shot in the basement, revealing that the brick fully replaced the top portion of the foundation, and was not a veneer.



INSERT # 11. Top of foundation along right side (West), at front right corner (N/W).

Insert #12 shows the foundation at the front, right-side (northwest) of the house. Note that the brick replacement is limited to the front of the house, though prominent on the right side, and inconsistent with the rubble foundation there.



INSERT # 12. Front right (northwest) corner top of the foundation along the right (West) side of house, showing the brick foundation replacement was only done at the front

The foundation at the right (West) side of the house (see **Insert #12** above) also had soil pitching up the foundation, which was removed during installation of the drainage system. As seen in **Insert #13**, the top of the foundation at the rear (South) of the house is at grade, because the land pitches down-hill from the back to the front of the house. Similarly, the top of the foundation at the left side (East) of the house is at grade, because Howard St. pitches downhill from the left (East) to right (West). (See **Insert #14**.)



INSERT # 13. Rea (South). Foundation at grade.









INSERT # 14. Left side (East). Foundation at grade.

Because only the foundation at the front of the house (North) and the right side of the house (West) are exposed above grade, my **REQUEST No. 1** (to restore the foundation to its original character) is limited to these two sides.

Research into restoration of the foundation.

Conservation stonemason John Wastrom returned to the house to discuss and consult on restoration of the now-above grade foundation at the front and right side of the house to its original character, before the 1960s (or so) partial replacement of stone with brick. After that meeting, I undertook the following efforts to determine the character and composition of the original foundation: (a) researching the history of the house; (b) looking at the foundations of other houses in the Historic District; (c) finding anecdotal information from neighbors and others more familiar with the history of the house than I am; and (d) looking at the remaining, original portions of my own foundation (which I did with Mr. Wastrom).

(a) Historical Research on my House. I conducted research through the Portsmouth Athenaeum in search of photographs or other information on the foundation. While I was able to locate research conducted by a previous owner of the in the 1980s (see **Insert #15**) and a mid-21st century painting of Howard Street that includes my house (see **Insert #16**), I was unable to find historical information on the house foundation.

 <p>PORTSMOUTH ATHENÆUM</p> <p>Search terms: Howard Street -- 9 records found: 2 object records, 1 library record, 1 archive record, 5 photo records</p> <p> C09.505.17, Howard Street, Portsmouth, Painting</p> <p> C09.505.28, Howard Street, Painting</p> <p>Library Record Howard Street, Vertical File, Vertical File 0618 -- Found in Call#: Howard Street</p> <p>Archive Record MS113, Philip H. Kendrick Collection, Records -- Found in Scope & Content: ... provided for the Dr. Samuel Clark Residence, 40 Howard Street; Langley-Boardman House, 152 Middle Street; National Gypsum ...</p> <p>Photo Record P47_219, Print, Photographic, Doorway renovation at the home of Dr. Sam and Ann Clark, 40 Howard Street, Portsmouth, NH, done by architects Kendrick & Malone, P.A. See also: MS113 and S1367.</p> <p> P47_220, Print, Photographic, Doorway renovation at the home of Dr. Sam and Ann Clark, 40 Howard Street, Portsmouth, NH, done by architects Kendrick & Malone, P.A. See also: MS113.</p> <p>Photo Record P47_221, Print, Photographic, Doorway renovation at the home of Dr. Sam and Ann Clark, 40 Howard Street, Portsmouth, NH, done by architects Kendrick & Malone, P.A. See also: MS113.</p> <p>Photo Record P47_222, Print, Photographic, Doorway renovation at the home of Dr. Sam and Ann Clark, 40 Howard Street, Portsmouth, NH, done by architects Kendrick & Malone, P.A. See also: MS113.</p> <p> PS1657_03, Print, Photographic, The town pump, the Samuel Frost House (Captain Daniel Fernald House), the Pierce House, corner of Manning Street and Howard Street and the barn next to the Frost House. On rear: "6"</p>	 <p>Portsmouth Athenaeum</p> <p>C09.505.17 Goodhue Watercolor: Howard St</p>
<p>INSERT # 15. Portsmouth Athenaeum search: Howard St</p>	<p>INSERT # 16. Howard St (No. 40 on right, behind 2 trees. Estimated date: 1950s–1960s</p>

(b) Other Houses in the Historic District. I walked the South-End of Portsmouth, and looked at the variety of foundation types in the Historic District (including numerous houses Mr. Wastrom worked on). Though I observed a number of foundations with brick-only at the front of the house (and stone foundation on the side) (see examples at **Inserts #17 & 18.**), I saw no other house, such as mine, with an above-grade foundation at the front of a house comprised of both replacement brick and original rubble stone.



INSERT #17 138 Gates St. full brick front with stone side



INSERT #18 111 Gates St. full brick front with stone side

(c) **Anecdotal information on the house.** I was told by more than one person familiar with the history of the area that 40 Howard St. was a boarding house in or through the mid-21st century, and that during that time, the practical concerns of the owners were of matters less lofty than historical preservation. This coincides with a theory discussed with Mr. Wastrom that the covering up with sloping soil of the much-repaired rubble foundation, and the replacing the top 15 inches of the front foundation with brick in or around that time was likely a cost-saving measure, undertaken in lieu of the more expensive process of preserving the historical accuracy of the stone masonry.

(d) **Analysis of the remaining, original portions of my own foundation.** I surveyed the existing, above-grade foundation with Mr. Wastrom, and observed the following, as depicted in **Inserts #19-27**: (1) the original above-grade portion of the foundation was comprised of variously sized and shaped stone. (2) The principal stone type in the front of the house was granite.



INSERT #19 John Wastrom at 40 Howard St.



INSERT #20 original 30 inch granite stone in front (North) foundation



INSERT #21 Front foundation with mostly large stones, primarily granite, of various color, shape & size

The right-side (West) of the foundation is comprised of a more varied type of stone, including granite, ledge, blue stone and flagstone, with less of a concentration of granite than at the front of the house. See **Inserts #22-25**). As in front, there are mostly large stones.



INSERT #22 Large original granite and ledge stones in right side (West) foundation



INSERT #23 original 20 inch granite stone in right side (West) foundation



INSERT #24 Large existing flag stone in right side (West) foundation



INSERT #25 original blue stone in right side (West) foundation



INSERT #26 The average height of the above-grade foundation is 22-27 inches



INSERT #27 The height varies due to the down slope of Howard St. and the land, back to front

1. REQUEST No. 1. Application of period-appropriate stone veneer and mortar to existing, above-grade of exterior foundation at front (North) and right (West) side of house.

After consultation with, and multiple site visits by, Mr. Wastrom, I am making this request to restore this portion of the foundation to its original character, in terms of appearance, scale and mass, and consistent with the special character of the Historic District. The veneer will be comprised of 2-inch thick (or less), like-kind, natural stone. The veneer stone will replicate, to the fullest extent practicable, the appearance of the existing rubble foundation, including with regard to type of stone (primarily vintage granite, ledge, blue stone and field stone), stone size (primarily larger stones, with medium and smaller stones), shape (irregular and random), pattern (no particular pattern), and color. Under the supervision of Mr. Wastrom, the veneer will be applied with mortar to the existing, above-grade brick and stone foundation. Mr. Wastrom will apply the wet wall mortared joints, using period appropriate application technique, materials and color. As discussed below, authorization is also sought to increase the thickness of the existing water table boards to appropriately accommodate the increase in foundation thickness achieved by the veneer application.

Inserts #28-29 are an example of stone veneering work done by Mr. Wastrom in the Historic District. Though this house on Livermore Street is a more substantial property, and the finished granite veneer more formal, and the mortar joints of a different technique, it stands as a testament to his experience and talent, and should provide the Commission comfort about the quality and historical accuracy of Mr. Wastrom's work, and, in turn, the that of the veneering project requested in this application.



INSERT #28 Livermore St. house with granite veneer foundation done by John Wastrom



INSERT #29 Mr. Wastrom's work on the granite veneer foundation

Stone veneer to be used at 40 Howard St.

Local stock. I have been in contact with the major stone yards and landscaping supply outlets in the area, and have already acquired and/or identified more than enough additional vintage stock, indigenous materials and like-kind stone to restore the foundation to the simple, original centuries-old colonial character it had before the introduction of non-period brick about 50 years ago.

indigenous ledge stone. I have collected more than enough indigenous ledge stone, which was blasted from local deposits, and is present in the original foundation. (see **Inserts #30 & 31**).



INSERT #30 Ledge sample held next to existing foundation to show similar character

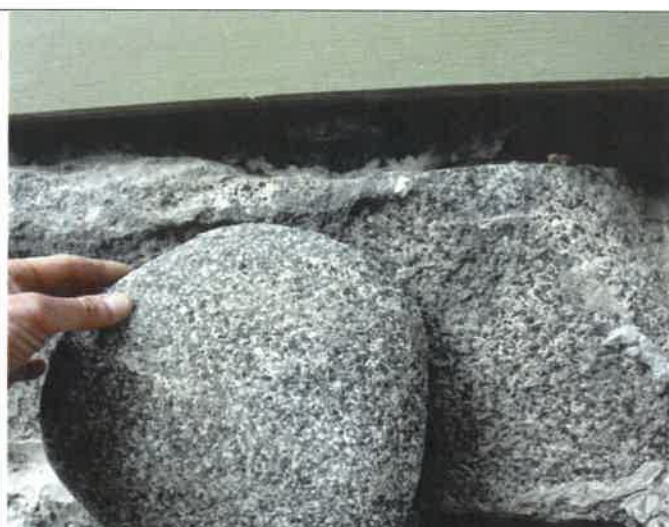


INSERT #31 Additional Ledge sample

Vintage granite. I have a number of vintage granite stones onsite that nearly perfectly match the look of existing stone in the foundation (see example at **Inserts #32 & 33**). Some of these are about 4 inches thick (too thick for the proposed 2-inch veneer). Using a technique employed by master mason John Wastrom on his Livermore Street foundation veneering project (highlighted above in **Inserts #28 & 29**), a diamond-tipped masonry saw will be used to split these 4-inch thick stones into two, 2-inch thick slices, each having an unfinished side with a vintage patina. Mr. Wastrom brought me to the Livermore Street house and showed me the finished results of his stone-slicing method.



INSERT #32 Granite sample matching existing foundation



INSERT #33 Another matching sample for veneering

Flagstone and blue stone and other stone.

I have more than enough flagstone, and some vintage granite, that were used as steppingstones and stone landscape accents in the back yard, and I will re-purpose them, as needed, for the veneering project. (see examples at **Inserts #34-36**). In addition, there is stock onsite that is leftover from the veneering work done by previous owner(s) on the outside face of the concrete foundation under the addition added to the back right (southwest) corner of the house in the 1980s. Bluestone is readily available. (see **Insert #37**).



INSERT #34 For purposes of demonstration, re-purposed flagstone was cut to fit, and dry-laid to over existing brick on staircase²



INSERT #35 Flagstone sample put next to existing foundation



INSERT #36 Granite stone bench from backyard to be re-shaped and re-purposed for the veneer

² After consultation with John Wastrom, the brick sides of the front stairs will be veneered in granite, not flagstone.



INSERT #37 Matching granite sample (above left) and bluestone sample (below center), dry-laid

Newly-processed regional granite.

As seen in **Inserts #38-40**, I acquired a full pallet of regional granite that closely resembles the original stone in the foundation. The stock is 2 inches or less in thickness, is irregular in its shape, and can easily be rough-cut, chipped or broken to be custom-fit and mortared into the veneer surface. While this stone has yet to achieve a full vintage veneer, it will do so over time, and there is a well-established, relatively simple method for adding patina to newly processed stone, which I plan to employ. It involves coating the stone surface with an organic mixture of topsoil, manure, plant fertilizer and water. The technique fosters microbial growth and patina that vintage stone eventually acquires from exposure to the elements and chemical reactions with bacteria naturally found on the surface.³



INSERT #38 Pallet of granite veneering stone



INSERT #39 Two-inch or less depth

³ A hand out about the technique will be made available at the Oct. 7th HDC hearing.



INSERT #40 Granite stones in pallet vary in irregular shape and size

Basis for authorization to veneer foundation.

(a) Restoration of the foundation to its original character. The 1960s (or so) replacement with brick of only the uppermost 15 inches or so of the original above-grade rubble foundation (about half), and the subsequent covering-up with soil of the then-remaining above-grade portion of the foundation, substantially altered the original visual proportions of the house, which previously presented a more prominent foundation as part of its character.

(b) The house already has stone veneer on the above-grade exterior of its foundation. In the 1980's, a previous owner expanded the footprint of the house by adding a new, one-story addition at the rear, (southwest) corner of the house, along the driveway. It was built on a new concrete foundation, the above-grade portion of which was faced with 2-inch stone veneer, comprised of variously sized and irregularly-shaped pieces of granite, ledge and flagstone, all of which approximate the adjacent, exposed rubble foundation. (see **Inserts #41-43**).



INSERT #41 Existing stone veneer, with mortar visible



INSERT #42 Existing stone veneer at rear corner (Southwest), with 2-inch granite, and flagstone over concrete foundation



INSERT #43 Existing stone veneer over concrete foundation added in 1980s. Right side (West) at rear of house. The 2-inch veneer is comprised of ledge and flagstone in this section

(c) Other Historic and Landmark Commissions have approved natural stone veneers. Historic commissions and landmark commissions such as the HDC have approved the stone veneer methodology for restoring and replicating the special character of historic structures. For example, in 2014, the Old and Historic Marblehead (Massachusetts) Districts Commission approved a homeowner's application to apply a 2-inch stone veneer over an existing concrete foundation using natural stone with "wet wall mortared joints. And in 2011, the Kirkwood, Missouri Landmarks Commission approved an application to apply 2 inch thick stone veneer to a 2-feet high exposed concrete foundation on the front and driveway side of a 19th century house, to "showcase the historic period of this landmark home."⁴

Request No. 2 - Replacement of existing aluminum storm windows with single-piece, multi-pane, wooden storm windows to match existing, windows.

-- and --

Request No. 3 - Application of period-appropriate wooden pediments above exterior of existing, multi-pane, wooden windows.

Currently, the house has aluminum storm windows, installed in or about 1985. Authorization is sought to replace them with single-piece, multi-pane, wooden storm windows to match the existing wooden windows, which are 9 over 6 pane on the first floor, and 6 over 6 on the second floor. See **Inserts #44-45**, below. An example of the requested wooden storm windows and pediments are found across the street, at 19 Howard St. See **Inserts #46-47**, below.

⁴ See Old and Historic Marblehead Districts Commission meeting minutes for February 18, 2014, approving the request for the historic district home at 43 Norman Street. See also Kirkwood, Missouri Landmarks Commission . meeting minutes for December 14, 2011, approving the request for the historic district home at 315 W. Adams Ave. Records of both approvals will be made available at the Oct. 7th HDC hearing.



INSERT #44 MY House 40 Howard St - aluminum storm windows



INSERT #45 40 Howard aluminum storm



INSERT #46 19 Howard St wooden storms & pediments



INSERT #47 19 Howard wooden storm & pediment

Request No. 4 - Adjust forward the placement depth of existing basement windows frames to fit with requested veneer of foundation (per No. 1 above); repair/replace rotted portions of window frames; reverse position of existing screens and glass frames, so that glass panes are exposed to outside foundation and screens are inside.

The awning-type window units were replaced in or about 1985. See **Inserts #48-50**, below. They are comprised of a removable, outside wooden screen frame, and an inner, tilt in, three-pane wooden sash.⁵ Authorization is sought to re-mount the unit frames forward in the foundation so that the newly veneered foundation exterior wall will sit proud of the relocated frames by the same amount that the current brick foundation exterior sits proud of the window frames now.

⁵ The wood awning-type basement window units are identified in the Old Plans as, "Brosco Cellar Sash w/ #882 frame and operating Hardware." They are 2'-5/8" wide by 1'-1/4" high, with 3 glass panes measuring 7" x 9" each.



INSERT #48 Cellar window, front right side (Northwest)



INSERT #49 Cellar window, front right side (Northwest)



INSERT #50 Cellar window, right side (West), screen frame removed

Request No. 5 - Inclusion of some wavy glass panes in requested wooden storm windows, and in existing basement windows. Inclusion of some wavy glass panes is sought to lend character to these windows. My thought is to have between 15-30 percent of the glass panes of this type, but would welcome direction from the Commission.

Request No. 6 - Raising the height of existing water table trim board by approximately 3 inches, and increasing thickness of same by approximately two inches, to allow it to protrude past depth of requested 2-inch thick veneer of existing foundation (per No. 1 above).

The bottom of the water table board at the front of the house (North) was designed to be installed at

Insert #51.)⁶



Inserts #52- 55

Inserts #53

⁶ As reflected in plans drawn up in 1985 by the Portsmouth, NH Architectural firm of Aring Schroeder for former owners of 40 Howard Street. Dr. and Mrs. Samuel Clark. The house was substantially renovated in or about that year.

board will bring it out flush with the depth of the column base on the top landing of the stairs, thus adding balance and symmetry to the intersection of those two elements.



INSERT #52 Waterboard at front right of house



INSERT #53 Waterboard at front steps



INSERT #54 Waterboard at front right of house



INSERT #55 Waterboard at front steps

The current water board design on the right side (West) of the house currently has an additional design/and or installation issue I seek to address. As demonstrated in **Inserts #56-58**, a few foundation stones protrude out past the board, so that the board fails to provide weather protection to the foundation there. Authorization is also to either: (1) thicken the board on that side enough to extend it past the protruding stones, or (2) remove the protruding portions of stone prior to veneering, and then thicken the board as consistently as practicable with the increased thickness of the board at the front of the house. Direction from the Commission is sought and welcomed on this matter.



INSERT 56 protruding foundation stone.



INSERT #57 Water table on right side (West) of house.



INSERT #58 Water table on right side (West) of house. It does not extend out past existing foundation

Examples of houses in the Historic District with water boards with thicknesses of about 3 inches or more are included in **Inserts #59-64** below.



INSERT #59 17 Hunking St.



INSERT #60 Four-inch water table -17 Hunking



INSERT #61 27 Hancock St.



INSERT #62 3-inch board - 27 Hancock St.



INSERT #63 Wentworth Gardner - 49 Mechanic St



INSERT #64 Nine-inch board - 49 Mechanic St

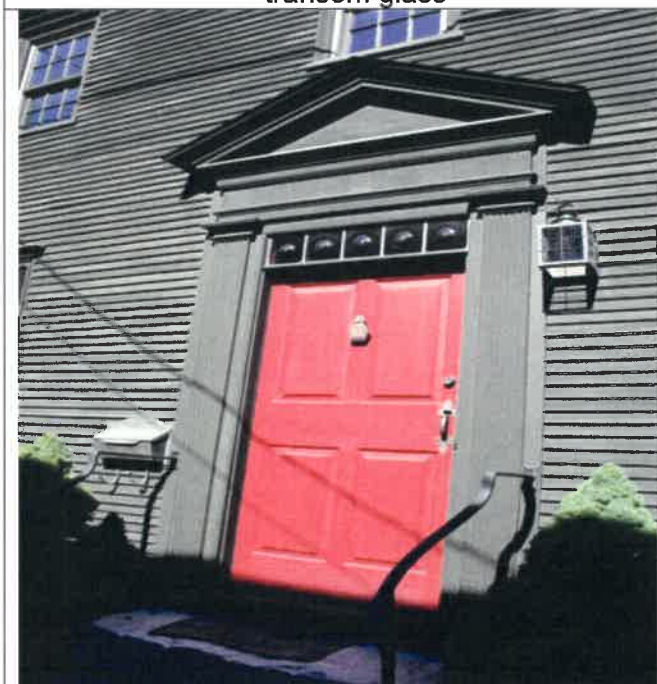
Request No. 7 - Replace existing glass panes in transom window over front door with period-appropriate bullseye glass. The existing transom over the front door was installed in 1985, and includes five clear glass panes set in a wooden sash. Examples of houses in the Historic District with bullseye glass are included in **Inserts #65-68** below.



INSERT #65 MY HOUSE - 40 Howard St. clear transom glass



INSERT #66 Washington St. & Gates St. Bullseye glass



INSERT #67 17 Hunking St Bullseye glass



INSERT #68 24 Hunking St Bullseye glass

Request No. 8 - Install period-appropriate wrought-iron stair railings outside the front door, on the existing granite landings and steps. For safety and aesthetics, install either 1 or 2 railings. I am in communication with local blacksmith Peter Happny about design and installation options. Examples of his South-End, Portsmouth railing work below, in in **Inserts #69-72.**



INSERT #69 MY HOUSE - 40 Howard St.



INSERT #70 27 Hancock St. railings (P. Happny)



INSERT #71 205 Gates St. railings (P. Happny)



INSERT #72 74 Gates St. railings (P. Happny)

Second of 2 Addendums to Sept. 30, 2021
HDC Administrative Approval application
for 40 Howard Street

(These are an additional 4 photos, presented
at the Oct. 7, 2015 HDC hearing. These 4
photos supplemented the original Sept. 18,
2015 HDC application, and are also
included for convenience)



40 Howard St. Front (North) and right side (West) of house with flower bed.

Received at Meeting

OCT 7 2015

From Ken Sullivan



40 Howard St -- Front of house with flower bed



40 Howard St. 1985, during renovations. Interior, first floor photo, showing left side (East) at rear (South) of house - revealing top of foundation below grade.



Historic District Commission

Staff Report – October 6th, 2021

October 6th MEETING

Administrative Approvals:

- | | |
|---------------------------------|----------------------|
| 1. 564 Middle Street (LUHD-393) | - Recommend Approval |
| 2. 65 Lafayette Rd. (LUHD-389) | - Recommend Approval |
| 3. 33 Hunking St. (LUHD-388) | - Recommend Approval |
| 4. 160 Court St. (LUHD-387) | - Recommend Approval |
| 5. 500 Market St. (LUHD-391) | - Recommend Approval |
| 6. 1 Harbor Place (LUHD-392) | - Recommend Approval |

PUBLIC HEARINGS – NEW BUSINESS:

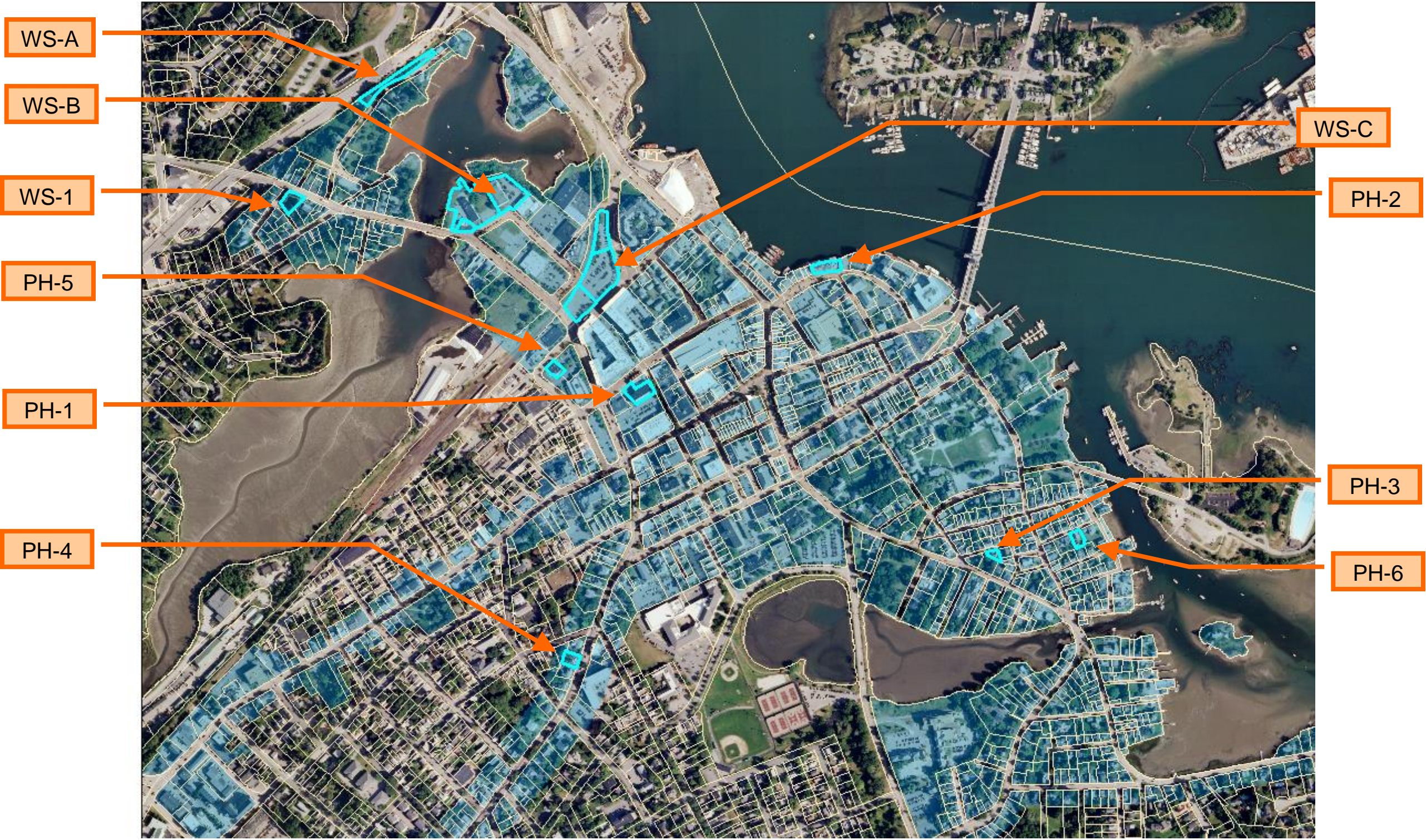
1. 64 Vaughan Street (LU-21-214) (bricks, balconies and roof)
2. 99 Bow St. (LU-21-181) (deck and murals)
3. 40 Howard St. (LU-21-182) (windows)
4. 266 Middle St. (LU-21-169) (deck, siding and windows)
5. 238 Deer St. (LU-20-238) (new construction)
6. 44 Gardner St. (LU-21-174) (rear addition)

WORK SESSIONS – OLD BUSINESS:

- A. 137 Northwest. (LUHD-296) (new single family)
- B. 1 Raynes Ave. (LUHD-234) (two new mixed-use buildings)
- C. 2 Russell / 0 Deer St. (LUHD-366) (2 new buildings)

WORK SESSIONS (NEW):

1. 0 Maplewood Ave. (LUHD-390) (new single family)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: October 6th, 2021

APPLICATIONS: 16

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

64 VAUGHAN MALL (LU-20-214)
CERTIFICATE OF APPROVAL
PUBLIC HEARING #1

- Existing Conditions:
- Zoning District: CD5
 - Land Use: Commercial
 - Land Area: 15,242 SF +/-
 - Estimated Age of Structure: c.1900
 - Building Style: Vernacular Commercial
 - Historical Significance: C
 - Public View of Proposed Work: View from the Vaughan Mall and Hanover St.
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To revise the brickwork, balconies and add an roof atrium.

C. Other Permits Required:

- ☒ Board of Adjustment
- ☒ Planning Board
- ☒ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

- I. Neighborhood Context:

a. The building is located along the Vaughan Mall. The building is surrounded with many 2-5 story historic and contemporary structures with little to no setbacks. The property also has an 8 space surface parking lot off of Hanover Street.
- J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:
 - Revise the brick work on the original building.
 - Revise the balconies on the original building.
 - Add an atrium on the roof of the original building.

- Design Guideline Reference – Guidelines for Windows and Doors (08) and Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

64 VAUGHAN MALL (LU-21-153) – PUBLIC HEARING #1 (MAJOR PROJECT)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT – Modify Improvements to the Brickwork, Balconies and Add an Atrium –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	Garages/ Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39			
			40	Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 64 VAUGHAN MALL Case No.: 1 Date: 10-6-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

99 BOW STREET (LU-21-181)
CERTIFICATE OF APPROVAL
PUBLIC HEARING #2

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD5
 - Land Use: Commercial
 - Land Area: 10,454 SF +/-
 - Estimated Age of Structure: 2010
 - Building Style: Federal Revival
 - Number of Stories: 4.5
 - Historical Significance: NA
 - Public View of Proposed Work: View from Bow Street
 - Unique Features: Recent Infill Building
 - Neighborhood Association: Downtown

B. Proposed Work: To add a new deck.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☐ Principal
- ☒ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☐ Sensitive
- ☒ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Bow Street and is surrounded with many existing historic brick buildings ranging from 3 to 4.5 stories in height. The neighborhood is predominantly made up of brick structures on shallow lots with no setback from the sidewalk.

J. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

- Increase the size of the deck;
- Add a new deck on the western end for public use;
- Add two murals to the deck areas; and
- Install planter boxes.
- Note: No changes are proposed for the dock structure and two options are presented for the deck design.

Design Guideline Reference – Guidelines for Site Elements and Streetscapes (10) and Signs & Awnings (11).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

-

99 BOW STREET (LU-21-181) – PUBLIC HEARING #2 (MODERATE PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT - ADD NEW DECK & MURALS ONLY -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 99 BOW STREET Case No.: 2 Date: 10-6-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

40 HOWARD STREET (LU-21-182)
CERTIFICATE OF APPROVAL
PUBLIC HEARING #3

A. Property Information - General:

- Existing Conditions:**
- Zoning District: General Residence B (GRB)
 - Land Use: Single Family
 - Land Area: 3,162 SF +/-
 - Estimated Age of Structure: c.1815
 - Building Style: Federal
 - Historical Significance: Contributing
 - Public View of Proposed Work: View from Howard Street
 - Unique Features: Abuts a large open yard area along Pleasant Street
 - Neighborhood Association: South End

B. Proposed Work: To replace windows.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Howard Street. It is surrounded with much wood 2.5 story historic structures with shallow to no front yard setbacks with gardens and lawns within the side and rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

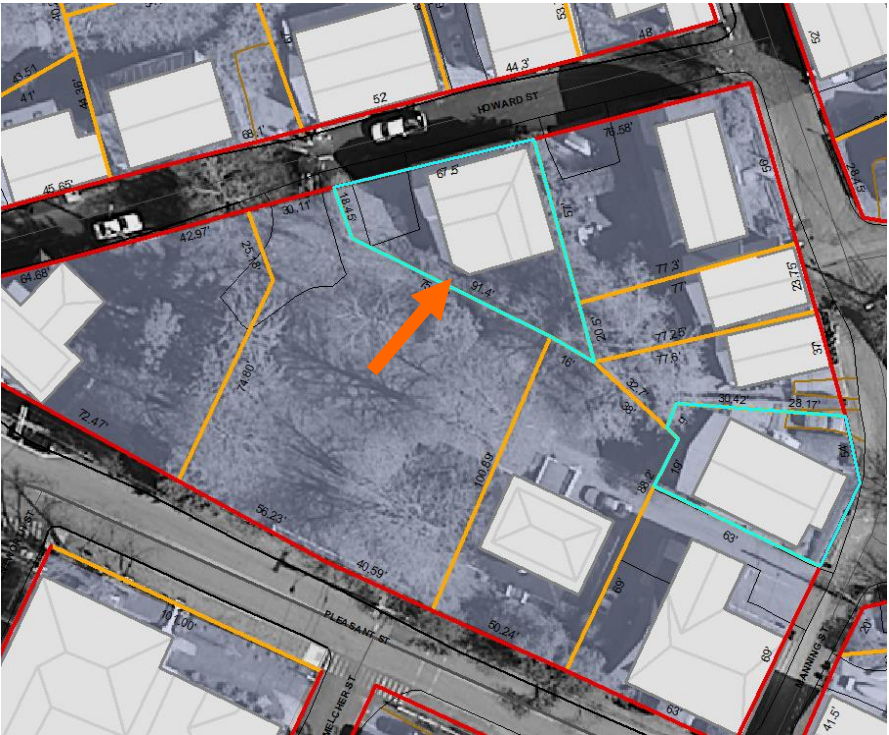
- The Application is proposing to replace the replacement windows with Green Mountain wood windows.

• Design Guideline Reference – *Guidelines for Windows and Doors (08).*

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

40 HOWARD STREET (LU-21-182) – PUBLIC HEARING #3 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT – ADD WINDOWS ONLY –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:40 HOWARD STREET Case No.:3 Date: 10-6-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:
2. Assessment of the Historical Significance:
3. Conservation and enhancement of property values:

☐ Yes ☐ No
☐ Yes ☐ No
☐ Yes ☐ No

4. Maintain the special character of the District:
5. Complement and enhance the architectural and historic character:
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No
☐ Yes ☐ No
☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No
☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **266 MIDDLE ST. (LU-21-169)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #4**

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L2
- Land Use: Commercial Parking Lot
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c.1840
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Islington and Rock Streets
- Unique Features: NA
- Neighborhood Association: Islington Creek

B. Proposed Work: To replace decking, siding and windows with composite materials.

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☐ Mid-Block
☒ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☐ Principal ☒ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive ☐ Sensitive ☒ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☒ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☒ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:


- This vacant lot is located along Daniel and Penhallow Streets and is surrounded with many other brick and wood-sided, 2.5-3 story contributing structures. Most buildings have no front yard setback and off-street parking is limited.

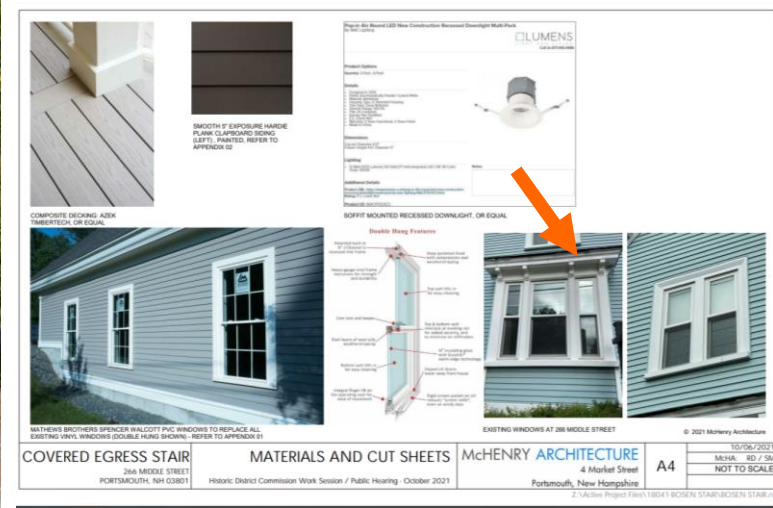
J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to:
 - Replace all the existing deck with composite decking and railings.
 - Replace the vinyl siding with Hardi-plank siding
 - Replace vinyl windows with new vinyl windows.

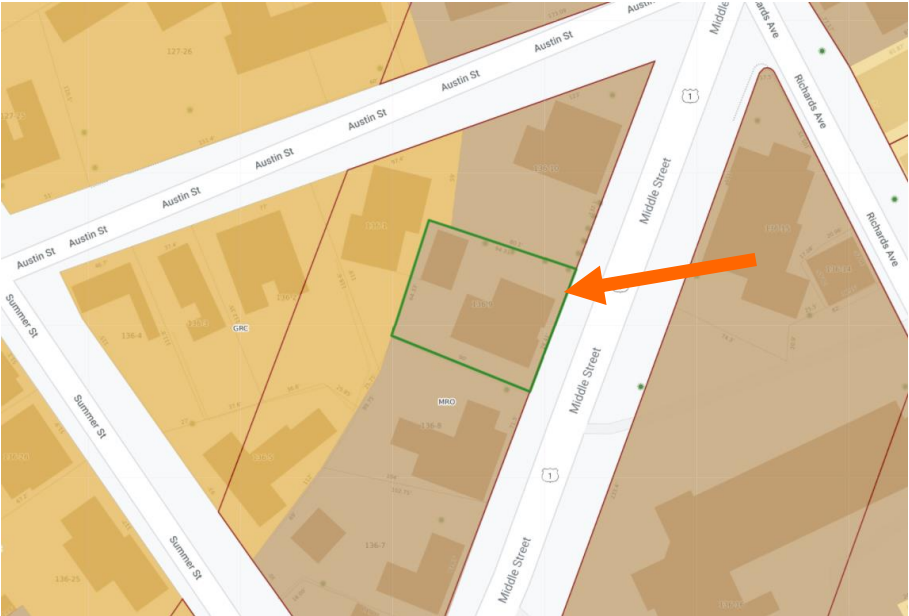
Design Guideline Reference – Guidelines for Porches, Stoops and Decks (06), Windows and Doors (08)

K. Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

266 MIDDLE STREET (LU-21-169) – PUBLIC HEARING #4 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No.	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>– Replace Decking, Siding and Windows –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40			

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 266 MIDDLE ST. Case No.: 4 Date: 10-6-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No

2. Assessment of the Historical Significance: ☐ Yes ☐ No

3. Conservation and enhancement of property values: ☐ Yes ☐ No

4. Maintain the special character of the District: ☐ Yes ☐ No

5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No

3. Compatibility of design with surrounding properties: ☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

238 DEER ST. (LU-20-238)
CERTIFICATE OF APPROVAL
PUBLIC HEARING #5

- Existing Conditions:
- Zoning District: CD4
 - Land Use: Commercial
 - Land Area: 6,108 SF +/-
 - Estimated Age of Structure: c.1960
 - Building Style: Commercial
 - Historical Significance: NA
 - Public View of Proposed Work: View from Deer and Bridge Streets.
 - Unique Features: NA
 - Neighborhood Association: North End

B. **Proposed Work:** To replace two windows with a different design.

- C. **Other Permits Required:**
- ☒ Board of Adjustment

☒ Planning Board

☐ City Council

- D. **Lot Location:**
- ☐ Terminal Vista

☐ Gateway

☒ Mid-Block
- ☐ Intersection / Corner Lot

☐ Rear Lot

- E. **Existing Building to be Altered/ Demolished:**
- ☒ Principal

☐ Accessory

☐ Demolition

- F. **Sensitivity of Context:**
- ☐ Highly Sensitive

☐ Sensitive

☒ Low Sensitivity

☐ “Back-of-House”

- G. **Design Approach (for Major Projects):**
- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)

☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)

☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)

☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

- H. **Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)

☐ Minor Project (i.e. small alterations, additions or expansions)

☒ Moderate Project (i.e. significant additions, alterations or expansions)

☐ Major Project (i.e. very large alternations, additions or expansions)

- I. **Neighborhood Context:**
- The building is located along Deer Street in the heart of the North End. It is surrounded with many new multi-story buildings.
- J. **Staff Comments and/ or Suggestions for Consideration:**
- The Application is proposing to:
- Replace the existing building with a 3 story mixed-use structure with a penthouse level on the roof. Note that the BOA approved the required variances for the penthouse level.
 - The applicant's design has been modified per the comments provided at the August HDC work session.

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. **Aerial Image, Street View and Zoning Map:**



Proposed Alterations and Existing Conditions



Zoning Map

HISTORIC
SURVEY
RATING

NC

238 DEER ST. (LU-20-238) – PUBLIC HEARING #5 (MODERATE)									
INFO/ EVALUATION CRITERIA			SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: 238 DEER ST. Case No.: 5 Date: 10-6-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div>	
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>– Construct a 4-Story Building –</div>						
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



Historic District Commission

Project Evaluation Form: **44 GARDNER STREET (LU-21-174)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #6**

A. Property Information - General:

- Existing Conditions:**
- Zoning District: GRB
 - Land Use: Single Family
 - Land Area: 6,267 SF +/-
 - Estimated Age of Structure: c.1895
 - Building Style: Queen Anne
 - Number of Stories: 2.5
 - Historical Significance: Contributing
 - Public View of Proposed Work: View from Gardner St. and Walton Alley
 - Unique Features: NA
 - Neighborhood Association: South End

B. Proposed Work: To add mudroom addition with steps and landing

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Neighborhood Context:

- ☐ Highly Sensitive ☒ Sensitive ☐ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☒ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along Gardner Street in the South End and is surrounded with many other wood, 2-2.5 story contributing structures with no front yard setbacks on narrow lots.

J. Previous HDC Comments and Suggestions:

- The HDC previously reviewed other related work on this structure and supported the design as presented.

K. Staff Comments and Suggestions for Consideration:

- Note that this project received a variance for this work from the BOA.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Small Scale New Construction & Additions (10), and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image



Aerial View

**HISTORIC
SURVEY
RATING**

C

44 GARDNER STREET (LU-21-174) – PUBLIC HEARING #6 (MINOR)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT – Add a rear porch addition and Stairs and Landing –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 44 GARDNER ST Case No.:6 Date:10-6-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ With Drawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

137 NORTHWEST ST. (LUHD-296)
CERTIFICATE OF APPROVAL
WORK SESSION #A

- Existing Conditions:
- Zoning District: GRA
 - Land Use: Single Family
 - Land Area: 23,522 SF +/-
 - Estimated Age of Structure: c.1890
 - Building Style: Queen Anne
 - Historical Significance: C
 - Public View of Proposed Work: View from Northwest Street & the Rte.1 Bypass.
 - Unique Features: NA
 - Neighborhood Association: Christian Shore

B. Proposed Work: To construct a new single family house on the lot.

C. Other Permits Required:

- ☒ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

L. Neighborhood Context:

- The building lot is located along Northwest Street. It is surrounded with many 1.5-2 story wood-sided historic structures with small rear and side yards with garden areas. The proposed lot is very narrow which limits the potential for landscape screening along the Rte. 1 Bypass.

M. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Construct a new single-family residence on the north eastern portion of the property.
- Note that a variance was granted to support this application.
- The applicant has requested a continuance to the November 3rd meeting.

Design Guideline Reference – Guidelines for New Construction (02-09).

N. Aerial Image, Street View and Zoning Map:




Proposed Alterations and Existing Conditions



Zoning Map

HISTORIC
SURVEY
RATING

-

137 NORTHWEST ST. (LUHD-296) – WORK SESSION #A (MODERATE)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY:137 Northwest St. Case No.:A Date: 10-6-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>	
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<div>MODERATE PROJECT</div> <div>- Construct a New Single-Family Structure -</div>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

1 & 31 RAYNES AVE. (LUHD-234)
CERTIFICATE OF APPROVAL
WORK SESSION #B

- Existing Conditions:
- Zoning District: CD4
 - Land Use: Vacant / Gym
 - Land Area: 2.4 Acres +/-
 - Estimated Age of Structure: c.1960s
 - Building Style: Contemporary
 - Historical Significance: NA
 - Public View of Proposed Work: View from Maplewood and Raynes Ave.
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To construct a 4-5 story mixed-use building(s).

C. Other Permits Required:

- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

D. Lot Location:

- ☒ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

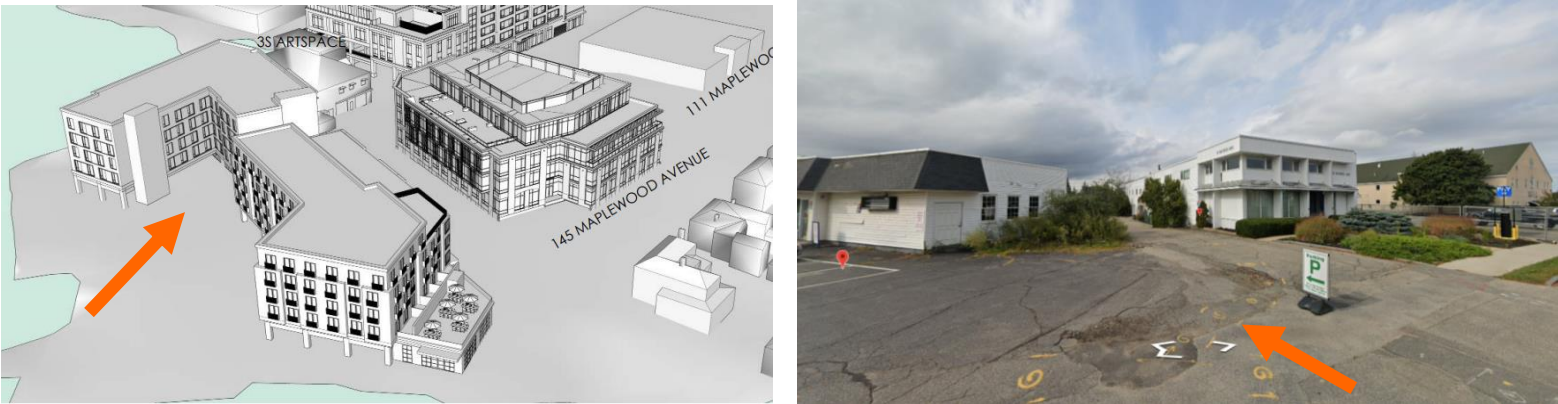
- I. Neighborhood Context:

a. The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.
- J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:
 - Demolish the existing buildings.
 - Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
 - The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
 - Note that the applicant has requested a continuance of this application to the November 3rd meeting.

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

1 & 31 RAYENES AVE. (LUHD-234) – WORK SESSION #B (MAJOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT – Construct two 5 Story Mixed-Use Buildings –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 1 & 31 Raynes Ave. Case No.: B Date: 10-6-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

2 RUSSELL & 0 DEER ST (LUHD-366)
CERTIFICATE OF APPROVAL
WORK SESSION #C

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD5
 - Land Use: Vacant /Parking
 - Land Area: 85,746 SF +/-
 - Estimated Age of Structure: NA
 - Building Style: NA
 - Number of Stories: NA
 - Historical Significance: NA
 - Public View of Proposed Work: View from Deer & Russell Streets & Maplewood Ave.
 - Unique Features: Surface Parking Lot
 - Neighborhood Association: North End

B. Proposed Work: To construct 2, 5 story, mixed-use buildings.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☒ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located along Maplewood Ave., Russell and Deer Streets. It is surrounded with many new and proposed infill buildings ranging from 2.5 to 5 stories in height. The neighborhood is predominantly made up of newer, 4-5 story brick structures on large lots with little to no setback from the sidewalk.

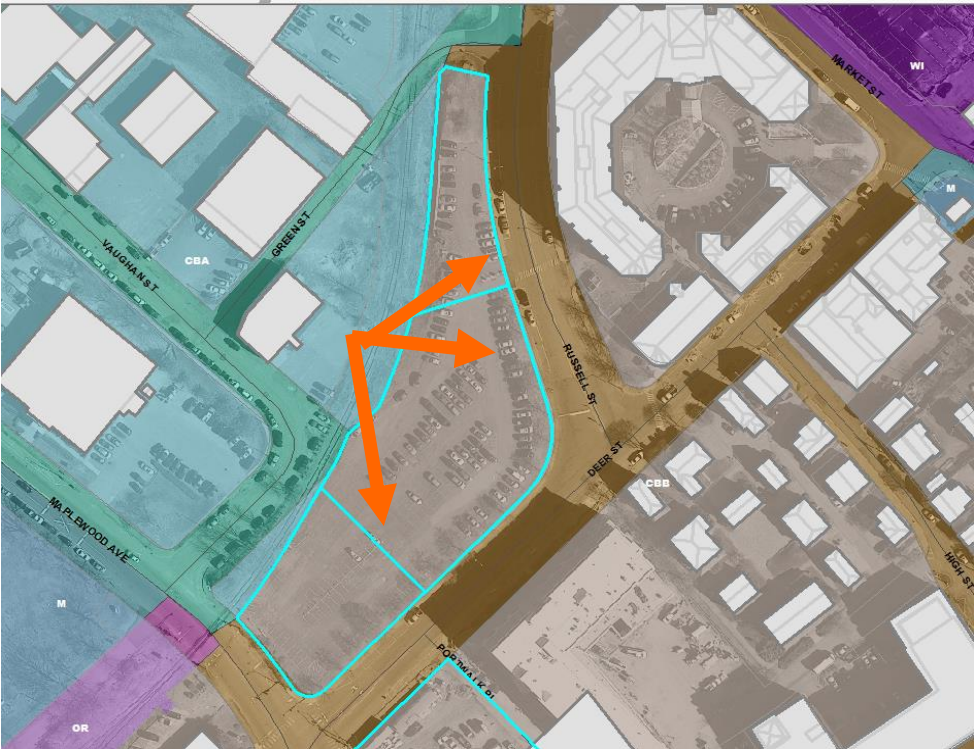
J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to construct 2 new five-story mixed-use buildings.
- The larger building has been broken into three main modules with a single recessed, ground-floor connector.
- As a response to HDC feedback the applicant has shown an option with the single story connector within the Vaughan Street view corridor removed.
- Several architectural design concepts have also been provided.
- **Note – A dimensional variance will likely be required for the proposed building footprint.**

L. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

-

2 RUSSELL & 0 DEER STREET (LUHD-366) – WORK SESSION #C (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT - CONSTRUCT TWO 5 STORY MIXED-USE INFILL BUILDINGS -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 2 RUSSELL & 0 DEER ST. Case No.: C Date: 10-6-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

0 MAPLEWOOD AVE. (LUHD-390)
CERTIFICATE OF APPROVAL
WORK SESSION #1

A. Property Information - General:

- Existing Conditions:
- Zoning District: GRA
 - Land Use: Single Family
 - Land Area: 10,890 SF +/-
 - Estimated Age of Structure: NA
 - Building Style: Contemporary
 - Number of Stories: 2.5
 - Historical Significance: NA
 - Public View of Proposed Work: View from Maplewood Ave.
 - Unique Features: NA
 - Neighborhood Association: Christian Shore

B. Proposed Work: To construct a new single family structure.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located along Maplewood Ave. and North School Street in the Christian Shore neighborhood. It is surrounded with many contributing historic structures on a narrow street with buildings along the street with no front yard setbacks, shallow side yards and deeper rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
 - Construct a new single family house on a vacant lot.

M. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

0 MAPLEWOOD AVE. (LUHD-390) – WORK SESSION #1 (MODERATE PROJECT)

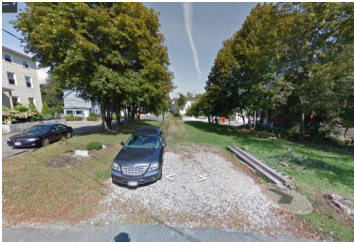
		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT - CONSTRUCT A NEW SINGLE FAMILY RESIDENCE -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
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		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
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		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
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	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 0 MAPLEWOOD AVE. Case No.: 1 Date: 10-6-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

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I. Review Criteria / Findings of Fact:

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☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

64 Vaughan Street

LU-20-214

Public Hearing

September 16, 2021

City of Portsmouth
Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

Attention: Historic District Commission
RE: 64 Vaughan Mall (LU-20-214)

The applicant for the Restoration of 64 Vaughan Mall wishes to review the following discussion points at the October 6, 2021 Public Hearing in regards to the stipulations and open items for the project. The applicant wishes to:

- Revisit the approved brick, Morin Semi-Smooth, Light Flashed, Narrow Range Veneer. Based on a sample 'mock-up' of the approved brick the applicant would like to explore a closer match to the existing historic brick. Additionally, after exploratory select demolition of the East Elevation, and the visual appearance of thin brick veneer, the applicant proposes to use a full wythe brick for the reconstruction of the East & South elevations.
- Discuss the abandonment of the recessed balconies on the Vaughan Mall and maintain the historic façade as it was when the building was originally constructed
- Incorporate a tasteful skylight on the flat roof, located at the core of the building

Sincerely,

Shayne Forsley
General Manager

Cc: Steven Wilson
64 Vaughan Mall, LLC

September 21, 2021

Shayne Forsley
Hampshire Development Corporation
41 Industrial Dr STE 20
Exeter, NH 03833

Re: 64 Vaughan Mall
East Wall of existing building

Dear Mr. Forsley,

As you know, JSN Associates has been working closely with you to handle all structural engineering aspects of the renovation and addition project at 64 Vaughan Mall; the former home of The Cabot House. As with any renovation of century old buildings there will always be surprise conditions uncovered.

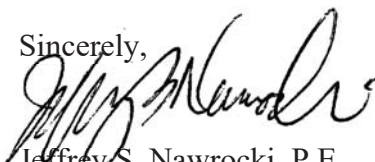
This letter is specifically regarding the existing East wall. This wall is a storefront at street level and a 12" brick wall with windows above. There are serious structural concerns with the north half of this wall. First, from the inside we noticed this brittle unreinforced brick wall has bowed outward approximately 3" and the beam penetrating and bearing on it has very little bearing. As you started to remove the outer wythe from the top down, we further discovered the poor quality and degradation of the wall. Interior joints are poorly mortared with many openings in joints, meaning there is not much effective "glue" holding it together. In addition, we have found some of the steel lintels are severely corroded. This renovation is timely as a structural collapse of this wall was certainly a risk.

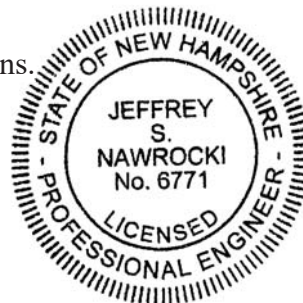
Due to the large bow of the wall, and the additional construction quality and deterioration issues, I would strongly advise removal and replacement of the East wall.

The south portion of this wall can be saved. The intent is to remove the outer wythe, clean all loose material, and parge with a fiber reinforced structural coating. Then an abundance of heavy gage galvanized ties will be screwed to the brick to tie back the new outer wythe, which will be mortared tight to the backup.

Please feel free to contact me if you have any questions.

Sincerely,


Jeffrey S. Nawrocki, P.E.
President



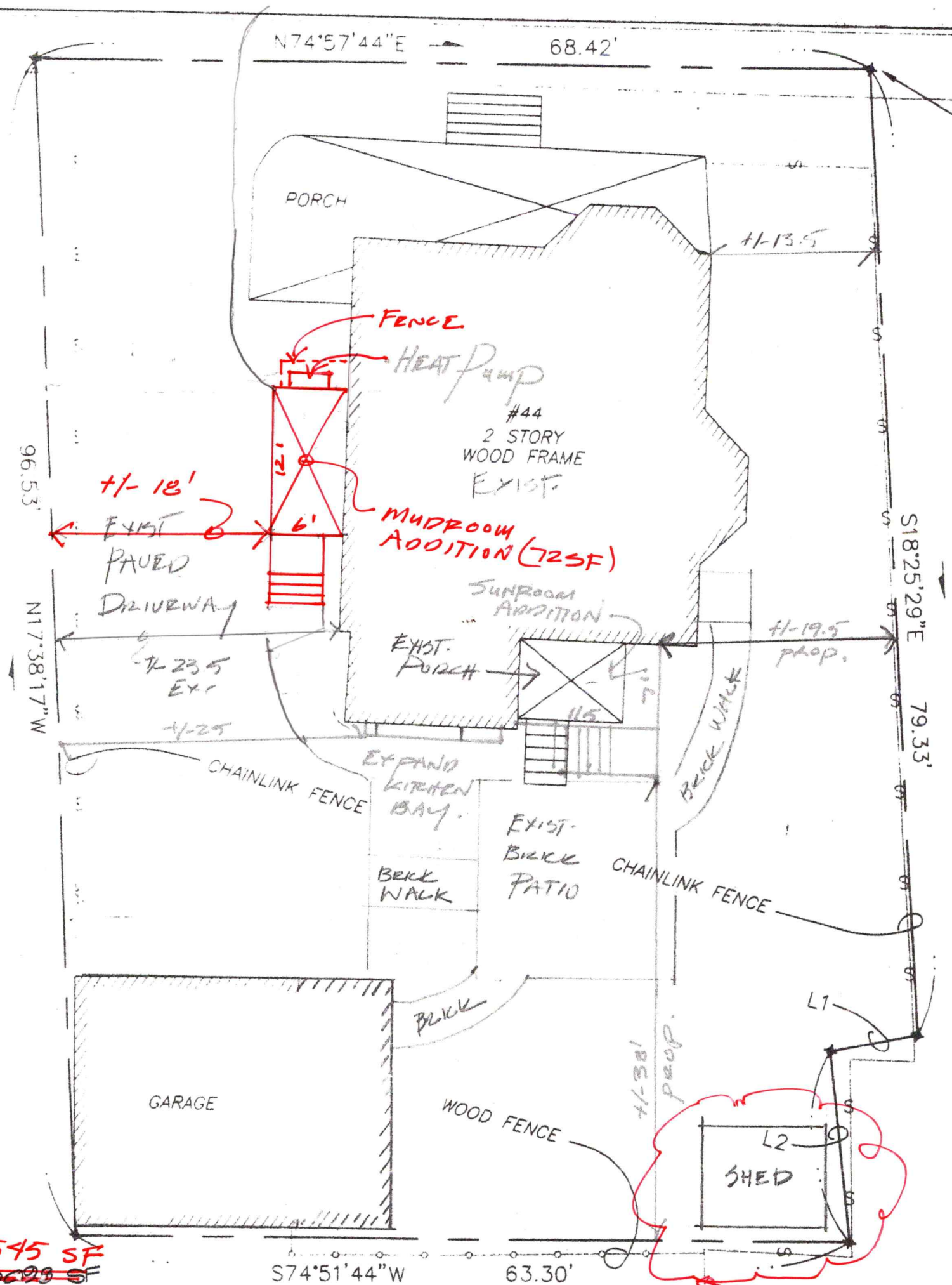
44 Gardner Street

LU-21-174

Public Hearing

GARDNER

STREET



LOT AREA **6545 SF**
~~6623 SF~~

ALLOWABLE LOT COVERAGE 30%

EXISTING LOT COVERAGE

RESIDENCE	1121 SF
FRONT PORCH	306 SF
REAR PORCH	60 SF
KITCHEN BAY	8 SF
STEPS OVER 18"	35 SF
GARAGE	533 SF
SHED	80 SF

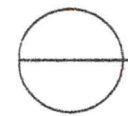
PROPOSED LOT COVERAGE **2193 (32.7%)**
~~2187 SF (32.7%)~~

EX. RESIDENCE	1121 SF
EX. FRONT PORCH	306 SF
EX. FRONT STEPS OVER 18"	35 SF
EX. GARAGE	533 SF
EX. SHED	80 SF
EXPANDED KITCHEN BAY	13 SF
SUNROOM TO REPLACE PORCH	79 SF
NEW LANDING & STEPS OVER 18"	28 SF

+ MUDROOM ADDITION
6' x 12' = 72 SF
+ STEPS & LANDING > 18"
= 20 SF

2115 SF (33.7%)
~~2186 SF (36.2%)~~

REMOVED 8/30/21
34% BUILDING COVERAGE WAS
APPROVED BY BOA 4/21/20



PROPOSED LOT PLAN
SCALE: 1" = 10'-0"
MAP 103 LOT 42
GENERAL RESIDENCE B (GRB)



9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

ANNE WHITNEY ARCHITECT
VES RESIDENCE
44 GARDNER ST, PORTSMOUTH, NH

Project: 1906
Date: 2/12/20
1 of 2



1998 VIEW FROM GARDNER STREET



W I N D O W S C H E D U L E

SYM.	UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
A	UCA 2032	4	1' 9" X 2' 7 5/8"	MARVIN INC., ULTIMATE CLAD CASEMENT & AWNING 7/8" SDL w/ Low E Glazing, Cladding - "Stone White" Hardware to be chosen by Owner.	1 R 2 L
B	UCAWN 3048	type 1	2' 9" x 3' 11 5/8"	DITTO, AWNING to match approved UCA 3048	1
C	UCAP 3240	4	2' 9" X 3' 3 5/8"	DITTO, PICTURE UNIT	1

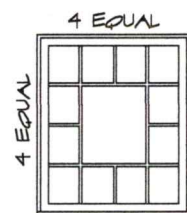
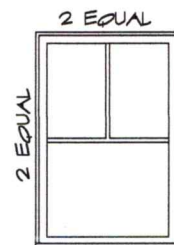
E X T E R I O R D O O R S C H E D U L E

SYM.	UNIT/SIZE	LITES	ROUGH OPNG.	REMARKS	QUAN.
I	S6021	4	34 1/2" x 82 1/2"	THERMA-TRU, SMOOTH STAR FIBERGLASS Entry Door, Flush Glazed with 7/8" SDL, 4 Lite, see Elev. Low-E Glazing, Hardware to be chosen by owner.	1 R

W I N D O W - E X T . D O O R N O T E S

1. SUBMIT FINAL WINDOW/DOOR ORDER & SHOP DRAWINGS TO ARCHITECT FOR APPROVAL BEFORE ORDERING

2. TYPE 1, 7/8" SPLS 3. TYPE 2, 7/8" SPLS



9 Sheafe Street
Portsmouth
NH 03801
603-427-2832

A // //

ANNE WHITNEY ARCHITECT
IVES RESIDENCE
44 GARDNER ST, PORTSMOUTH, NH

Project: 1906
Date: 9/8/21

AWNING / AWNING PUSH OUT

MO (mm)	1 - 4 1/2 (419)	1 - 6 1/2 (469)	1 - 8 1/2 (520)	2 - 1 1/2 (622)	2 - 2 1/2 (673)	2 - 4 1/2 (723)	2 - 6 1/2 (774)	2 - 8 1/2 (825)
RO (mm)	1 - 5 (431)	1 - 7 (482)	1 - 9 (533)	2 - 1 (635)	2 - 3 (688)	2 - 5 (736)	2 - 7 (787)	2 - 9 (838)
FS (mm)	1 - 4 (406)	1 - 6 (457)	1 - 8 (508)	2 - 0 (609)	2 - 2 (660)	2 - 4 (711)	2 - 6 (762)	2 - 8 (812)
DLO (mm)	0 - 10 13/64 (259)	1 - 0 13/64 (310)	1 - 2 13/64 (361)	1 - 6 13/64 (462)	1 - 8 13/64 (513)	1 - 10 13/64 (564)	2 - 0 13/64 (615)	2 - 2 13/64 (666)

3 - 3 3/8 (1000)
3 - 3 5/8 (1006)
3 - 3 7/8 (993)
2 - 9 21/64 (847)

UAWN1640
UAWNPO1640

UAWN1840
UAWNPO1840

UAWN2040
UAWNPO2040

UAWN2440
UAWNPO2440

UAWN2640
UAWNPO2640

UAWN2840
UAWNPO2840

UAWN3040
UAWNPO3040

UAWN3240
UAWNPO3240

C FIXED

2 - 8 1/2 (825) 3 - 1/2 (927) 3 - 4 1/2 (1028)
2 - 9 (838) 3 - 1 (939) 3 - 5 (1041)
2 - 8 (812) 3 - 0 (914) 3 - 4 (1016)
2 - 2 13/64 (666) 2 - 6 13/64 (767) 2 - 10 13/64 (869)

3 - 7 3/8 (1101)
3 - 7 5/8 (1108)
3 - 7 7/8 (1095)
3 - 1 21/64 (948)
3 - 11 3/8 (1203)
3 - 11 5/8 (1209)
3 - 11 7/8 (1196)
3 - 5 21/64 (1050)

UAWN1644
UAWNPO1644

UAWN1844
UAWNPO1844

UAWN2044
UAWNPO2044

UAWN2444
UAWNPO2444

UAWN2644
UAWNPO2644

UAWN2844
UAWNPO2844

UAWN3044
UAWNPO3044

UAWN3244
UAWNPO3244

UCA3244 E
UCAPO3244 E

UCA3644 E
UCAPO3644 E

UCA4044 E
UCAPO4044 E

UAWN1648
UAWNPO1648

UAWN1848
UAWNPO1848

UAWN2048
UAWNPO2048

UAWN2448
UAWNPO2448

UAWN2648
UAWNPO2648

UAWN2848
UAWNPO2848

UAWN3048
UAWNPO3048

UAWN3248
UAWNPO3248

UCA3248 E
UCAPO3248 E

UCA3648 E
UCAPO3648 E

UCA4048 E
UCAPO4048 E

B

CASEMENT / CASEMENT PUSH OUT

MO (mm)	1 - 4 1/2 (419)	1 - 6 1/2 (469)	1 - 8 1/2 (520)	2 - 1 1/2 (622)	2 - 2 1/2 (673)
RO (mm)	1 - 5 (431)	1 - 7 (482)	1 - 9 (533)	2 - 1 (635)	2 - 3 (685)
FS (mm)	1 - 4 (406)	1 - 6 (457)	1 - 8 (508)	2 - 0 (609)	2 - 2 (660)
DLO (mm)	0 - 10 13/64 (259)	1 - 0 13/64 (310)	1 - 2 13/64 (361)	1 - 6 13/64 (462)	1 - 8 13/64 (513)

1 - 1 3/8 (339)
1 - 1 5/8 (346)
1 - 1 7/8 (333)
0 - 7 21/64 (198)

UCA1614

UCA1814

UCA2014

UCA2414

UCA2614

2 - 7 3/8 (796)
2 - 7 5/8 (803)
2 - 7 7/8 (790)
2 - 1 21/64 (643)

UCA1832
UCAPO1832

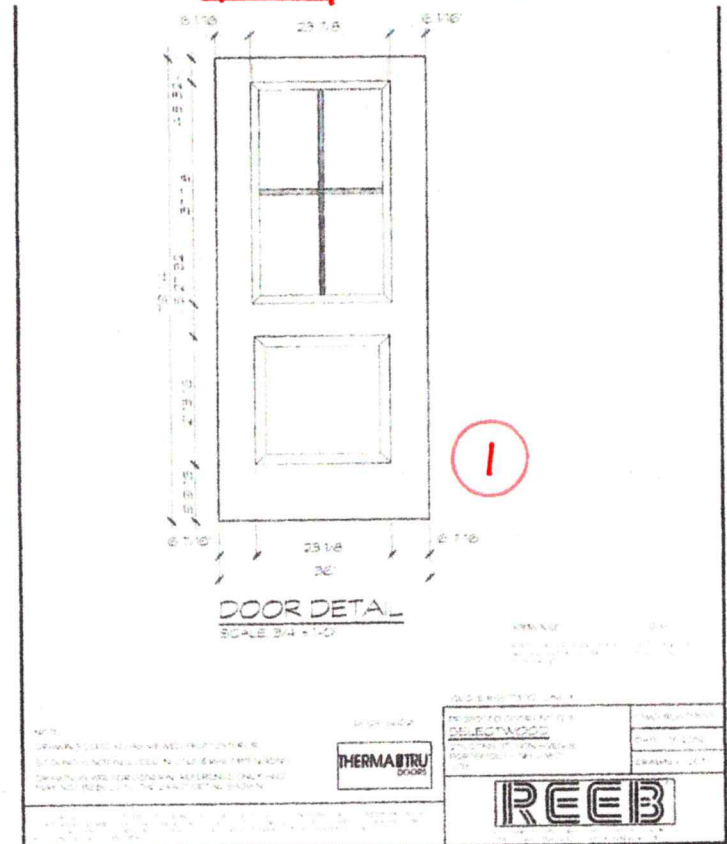
UCA1832
UCAPO1832

UCA2032
UCAPO2032

UCA2432
UCAPO2432

UCA2632
UCAPO2632

A



44 GARDNER ST.

HERMATHU

RECB

99 Bow Street

LU-21-181

Public Hearing

MARTINGALE WHARF DECK EXPANSION

HISTORIC DISTRICT COMMISSION - OCTOBER 2021, PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

PROPOSED WORK:

- INCREASE THE SIZE OF THE MARTINGALE WHARF DECK AND DOCK.
- PROVIDE A SEPARATE DECK AT THE WEST END OF THE MARTINGALE WHARF FOR THE USE OF THE PUBLIC.
- FRAME THE NEW DECKS WITH TWO MURALS THAT RELATE TO PORTSMOUTH'S MARITIME HISTORY. ONE MURAL WILL BE LOCATED AT THE EAST END OF THE EXPANDED MARTINGALE WHARF RESTAURANT DECK, AND ONE MURAL WILL BE LOCATED AT THE WEST END OF THE NEW PUBLIC DECK.
- INSTALL VARIOUS PLANTER BOXES TO SOFTEN THE SPACE AND ACT AS "GREEN" PARTITIONS BETWEEN THE PUBLIC DECK AND THE MARTINGALE.

SHEET LIST CONT.	
Sheet Number	Sheet Name
A5	PERSPECTIVE VIEW OF DECK EXPANSION
A6	PERSPECTIVE VIEW OF EAST MURAL
A7	PERSPECTIVE VIEW OF WEST MURAL
A8	PERSPECTIVES OF EAST AND WEST MURAL
A9	DECK EXPANSION PLAN
A10	DECK EXPANSION NORTH ELEVATION
A11	ELEVATIONS AT EAST AND WEST MURALS
A12	ENLARGED PLANS, ELEVATIONS, AND DETAILS
A13	CUT SHEETS AND MATERIAL SELECTIONS
L1	PROPOSED LANDSCAPE DETAILS
C2-A	ALTERNATE - NHDES PERMIT PLAN
A14	ALTERNATE - DECK EXPANSION PLAN
A15	ALTERNATE - DECK EXPANSION NORTH ELEVATION
A16	ALTERNATE - ELEVATIONS AT EAST AND WEST MURALS
A17	ALTERNATE - ENLARGED PLANS, ELEVATIONS, AND DETAILS
HDC - 2015	PREVIOUSLY APPROVED HISTORIC DISTRICT COMMISSION SUBMISSION PACKET - JUNE 3, 2015
COA	HISTORIC DISTRICT COMMISSION CERTIFICATE OF APPROVAL - JUNE 8, 2015



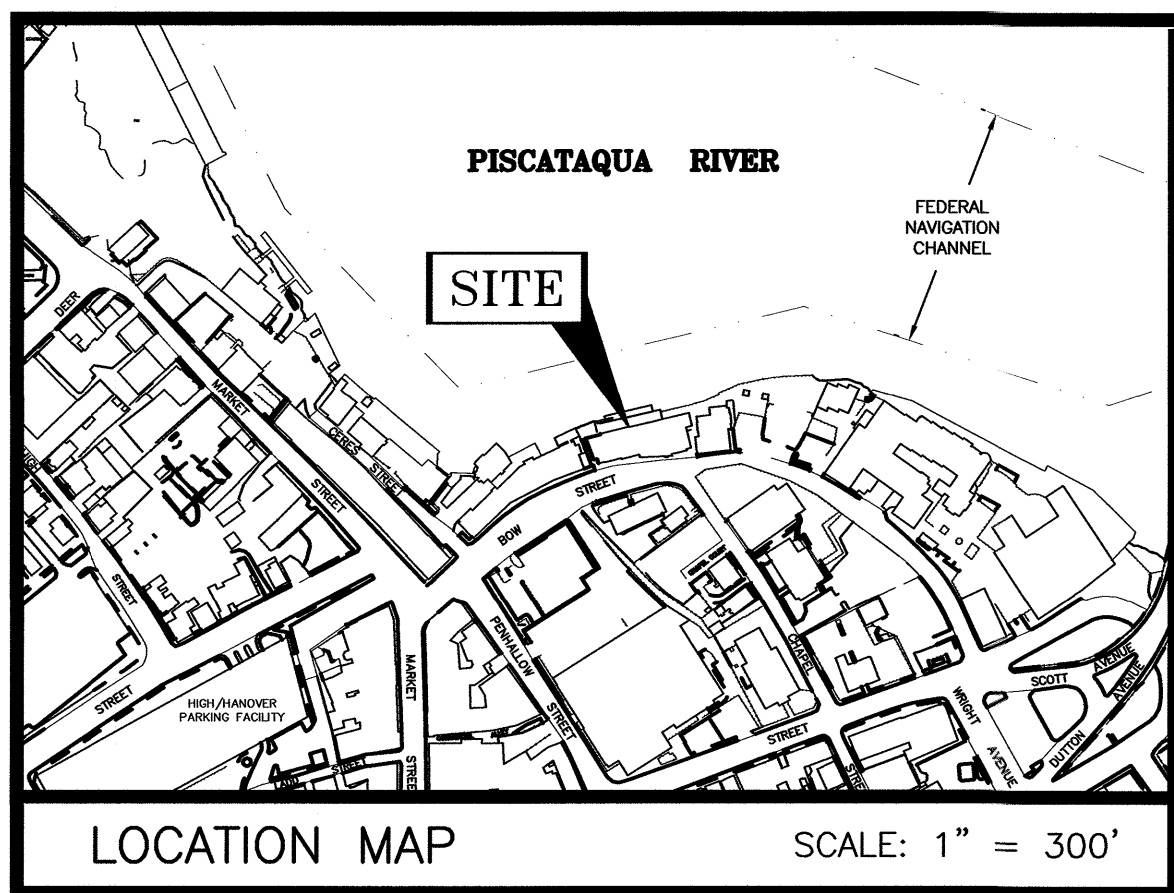
LOCUS:
99 BOW ST SUITE W,
PORTSMOUTH, NH 03801



PERSPECTIVE OF PROPOSED EAST MURAL



PERSPECTIVE OF EXISTING DECK



PLAN REFERENCE:

- 1) AS-BUILT PLAN MARTINGALE WHARF - 99 BOW STREET PORTSMOUTH, NH, ASSESSOR'S PARCEL 106-54, FOR MARTINGALE WHARF LIMITED PARTNERSHIP, SCALE 1" = 10', PREPARED BY JAMES VERRA AND ASSOCIATES, INC., DATED 5-3-2011, NOT RECORDED
- 2) AS-BUILT EASEMENT PLAT 67 & 99 BOW STREET PORTSMOUTH, NH, ASSESSOR'S PARCELS 106-053 & 106-054, OWNERS FORUM GROUP, LLC & BLUE STAR PROPERTIES MARTINGALE WHARF LIMITED PARTNERSHIP, SCALE 1" = 5', PREPARED BY JAMES VERRA AND ASSOCIATES, INC., DATED 12 MAY 2011, RCRD D-37137
- 3) AS-BUILT PLAN MARTINGALE WHARF - 99 BOW STREET PORTSMOUTH, NH, ASSESSOR'S PARCEL 106-54, FOR MARTINGALE WHARF LIMITED PARTNERSHIP, SCALE 1" = 10', PREPARED BY JAMES VERRA AND ASSOCIATES, INC., DATED 5-3-2011, REVISED 3-5-2012, RCRD D-37138

106-55
N/F
111 BOW STREET
CONDO ASSOCIATION
111 BOW STREET
PORTSMOUTH, N.H. 03801
2805/1950

106-55-3
N/F
GEORGE B. GLIDDEN
REVOCABLE TRUST 1/2 INT,
FRANK MARIAN REVOCABLE
TRUST 1/2 INT
PO BOX 729 PORTSMOUTH,
NH 03802-0729
5050/2061
(109-111 BOW ST #3)

106-55-1
N/F
ASRT LLC
266 MIDDLE ST
PORTSMOUTH, N.H. 03801
5720/0499
(109-111 BOW ST #1)

106-55-5
N/F
ASRT LLC
111 BOW STREET
PORTSMOUTH, N.H. 03801
5634/0849
(109-111 BOW ST #5)

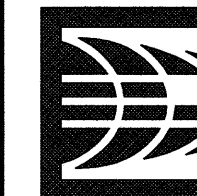
106-55-2
N/F
BOWPORTS EV CORPORATION
C/O KATY SHERMAN
25 WEST RD, RYE, NH 03870
3008/0951
(109-111 BOW ST #2)

106-55-6
N/F
MONTGOMERY PORTSMOUTH TRUST,
BRUCE D. MONTGOMERY TRUSTEE
111 BOW STREET #6
PORTSMOUTH, NH 03801
5712/0640
(109-111 BOW ST #6)

106-55-4
N/F
ASRT LLC
111 BOW STREET
PORTSMOUTH, N.H. 03801
5634/0949
(109-111 BOW ST #4)

106-55-7
N/F
JOHN SAMONAS
33 CAPE ROAD
NEWCASTLE, NH 03854
6095/71
(109-111 BOW ST #7)

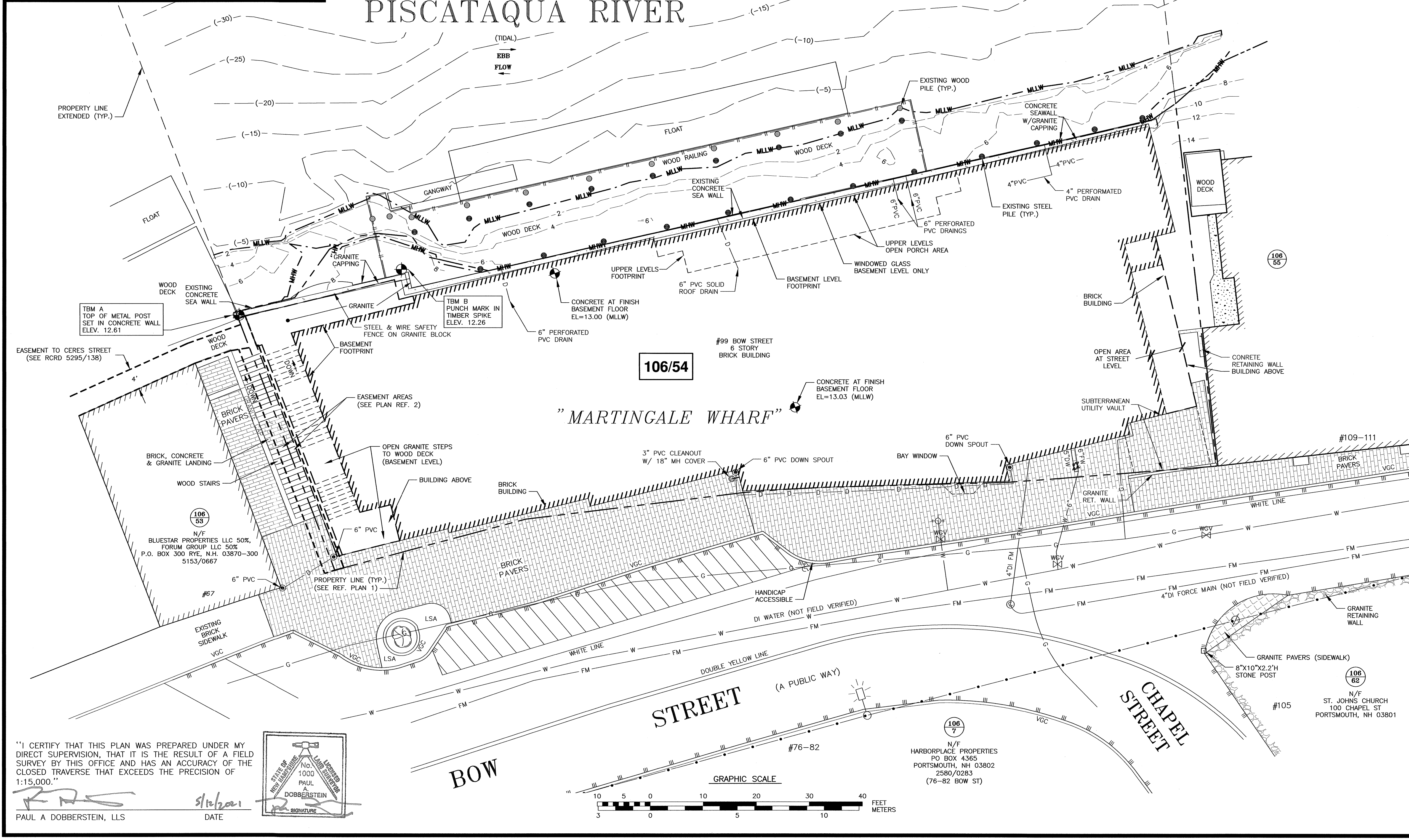
NORTH
NAD83(2011)
GRID
NHSPC



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSOR'S MAP 106 AS LOT 54.
- 2) OWNERS OF RECORD:
MARTINGALE LLC
3 PLEASANT ST, 4TH FLOOR
PORTSMOUTH, NH 03801
5868/2627
- 3) PARCEL IS PARTIALLY IN A FLOOD HAZARD ZONE (ZONE AE EL. 8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.
- 4) EXISTING LOT AREA:
9,769 S.F. TO MEAN HIGH WATER (PER PLAN REF. 3)
0.224 ACRES TO MEAN HIGH WATER (PER PLAN REF. 3)
- 5) PARCEL IS LOCATED IN THE DOWNTOWN OVERLAY DISTRICT, CD5 (CHARACTER DISTRICT 5), HISTORIC DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS: SEE CITY ZONING REQUIREMENTS.
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSORS MAP TAX MAP 106 LOT 54 IN THE CITY OF PORTSMOUTH.
- 8) BOUNDARY LINES SHOWN HEREON ARE BASED SOLELY ON PLAN REFERENCE 3. EASEMENTS, RIGHTS OF OTHERS, ETC., HAVE NOT BEEN RESEARCHED OR NOTED HEREON.
- 9) VERTICAL DATUM IS MEAN LOWER LOW WATER (MLLW). MLLW REFERENCED ON NOAA STATION 8423005 T14A PORTSMOUTH, MLLW BEING 3.99 FEET LOWER THAN 0.0 NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.



**PUBLIC ACCESS
IMPROVEMENTS
BOW STREET
PORTSMOUTH, N.H.**

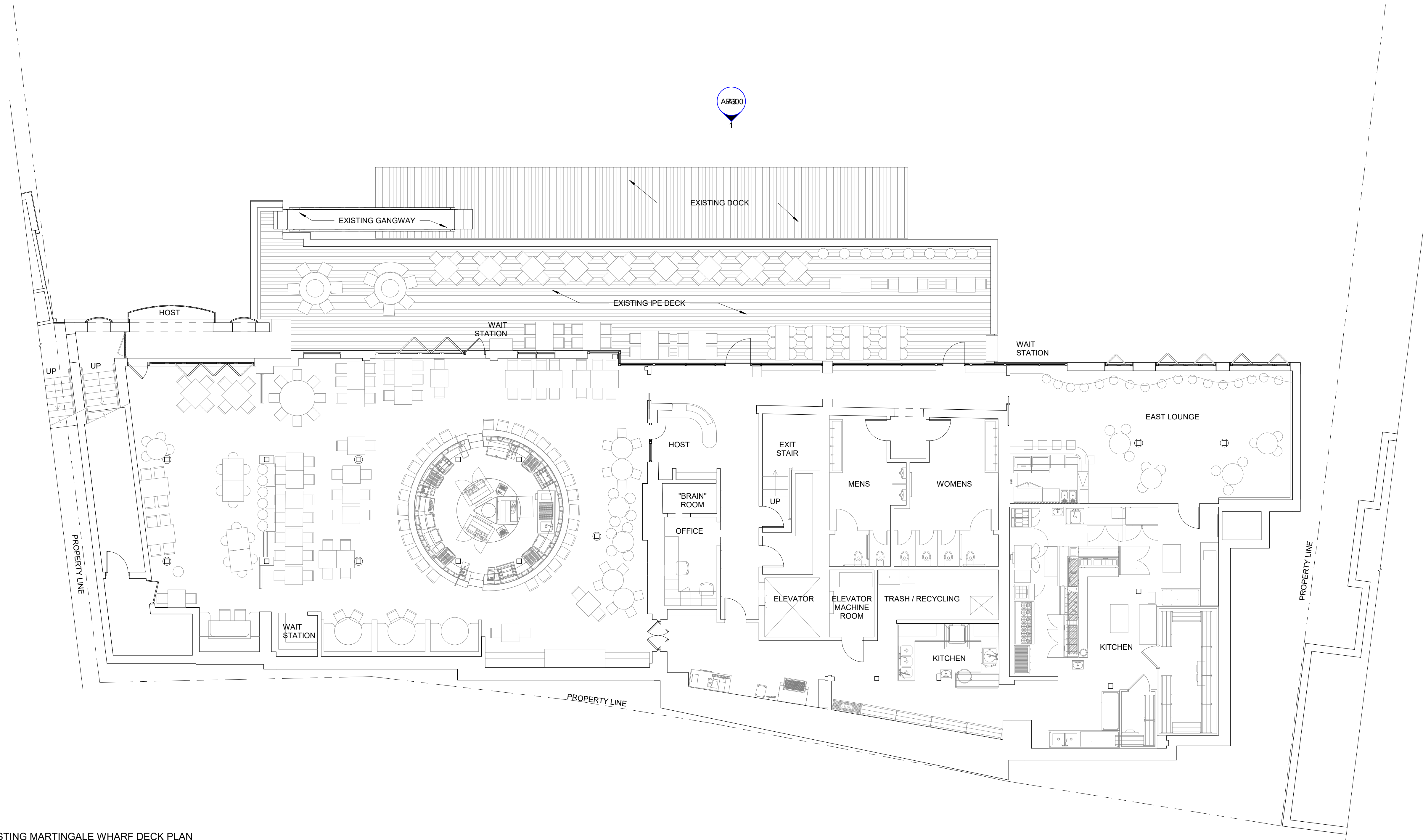
NO.	DESCRIPTION	DATE
1	UPDATE EASEMENT	5/12/21
0	ISSUED FOR COMMENT	4/23/21
REVISIONS		

SCALE: 1" = 10' MARCH 2021

EXISTING CONDITIONS
PLAN

C1





1 EXISTING MARTINGALE WHARF DECK PLAN
1/8" = 1'-0"





1 EXISTING NORTH ELEVATION
1/8" = 1'-0"





TANGRAM 3DS





TANORAM 3DS



EAST MURAL AT MARTINGALE WHARF DECK

MARTINGALE RESTAURANT: NARRATIVE FOR THE EAST END BAS RELIEF SCULPTURAL MURAL

THE CITY OF PORTSMOUTH AND THE PISCATAQUA RIVER HAS A 400-YEAR HISTORY AS AN ACTIVE HARBOR AND PORT OF CALL, AND AS A VITAL SHIP BUILDING COMMUNITY.

THE PROPOSED EAST AND WEST IMAGES ON EITHER END OF THIS DOCK EXTENSION HAVE BEEN CONCEIVED AS ‘BAS RELIEF’ SCULPTURES. THE DESIGN IS BASED, IN PART, ON INFORMATION ABOUT THE HISTORY OF SAILORS, BOTH WHITE AND BLACK, THAT I CULLED FROM A BOOK CALLED, **BLACK JACKS** BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER.

- THIS BAS RELIEF SCULPTURE HAS NUMEROUS SYMBOLIC ELEMENTS:
- BLACK SAILORS WERE CALLED ‘BLACK JACKS’, AND THEY WERE ABOUT 20% OF ALL AMERICAN SAILORS. BLACK JACKS SOUGHT SAILING AND WHALING AS A MEANS TO ACHIEVE FREEDOM FROM SLAVERY AND TO MAKE A LIVING.
 - THE SAILOR CLOTHING IS A MIX OF THE VARIOUS STYLES OF HATS AND DRESS OF THE SAILORS THROUGH THE DECADES, INCLUDING CIVIL WAR SAILORS AND THOSE ON WHALING SHIPS.
 - THE WHALE REPRESENTS THE SAILOR’S PURSUIT OF FREEDOM AND THE ECONOMY OF OIL.
 - THE ROPE REPRESENTS THE SAILOR’S STRUGGLE AND THE COOPERATION AMONG SAILORS OF ALL WALKS OF LIFE IN COMBINED PURSUIT OF THEIR INDIVIDUAL INDEPENDENCE. THE FOCUS OF THAT STRUGGLE, THE WHALE, SEEMINGLY SWIMS AWAY SUGGESTING AN OUTCOME THAT IS NOT KNOWN.
 - THE TURBULENCE OF THE WATER REPRESENTS THE INSTABILITY AND DANGERS INHERENT IN THE LIVELIHOOD OF SAILING. THE SAILORS IN THIS IMAGE ARE SEEN STANDING ON THE WATER, AND THE HINT OF A DECK, SUGGESTING THEIR FATE AND SAFETY WERE ALWAYS IN QUESTION.
 - THE SHIP IS A TYPICAL AMERICAN COMMERCIAL SCHOONER OF THE 1800’S WITH NUMEROUS SAILS AND RIGGING.
 - THE TOWER OF THE BRIDGE IN THE BACKGROUND IS THE CURRENT SAILORS MEMORIAL BRIDGE. INSERTING THE CONCEPT OF ‘HISTORIC DISSONANCE’ WITH THE IMAGE OF THE CONTEMPORARY BRIDGE SUGGESTS THAT HISTORY IS NOT STATIC, THE STRUGGLES OF SAILORS REMAIN, AND PORTSMOUTH IS STILL A VITAL SEAPORT. THE BRIDGE WILL ALSO BE SEEN FROM THIS VIEW.

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT

PUBLIC DECK: NARRATIVE FOR THE WEST END BAS RELIEF SCULPTURAL MURAL

JUST AS WITH THE PROPOSED EAST IMAGE, THE IMAGE ON THE WEST END OF THE DOCK EXTENSION HAS BEEN CONCEIVED AS A ‘BAS RELIEF’ SCULPTURE. THIS DESIGN IS ALSO BASED, IN PART, ON INFORMATION ABOUT THE HISTORY SAILORS, BOTH WHITE AND BLACK, CULLED FROM A BOOK CALLED, **BLACK JACKS** BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER

THE WEST SCULPTURE WILL HAVE DIRECT ACCESS BY THE PUBLIC FROM A STAIR SYSTEM THAT EXTENDS FROM BOW STREET ONTO A PUBLIC DECK THAT LOOKS NORTH UP THE PISCATAQUA RIVER. THERE WILL OVER 32 LINEAR FEET OF BUILT-IN BENCHES ON THIS DECK. IN THIS IMAGE, A PROPOSED BENCH IS IN THE FOREGROUND AND RUNS THE LENGTH OF THE DOCK ABOUT 16’. THE SAILOR FIGURES ARE LIFE-SIZE AND STAND BEHIND THE BENCH AS THE TOURISTS SIT ON THE BENCH. A PERFECT ‘SELFIE’ OPPORTUNITY.

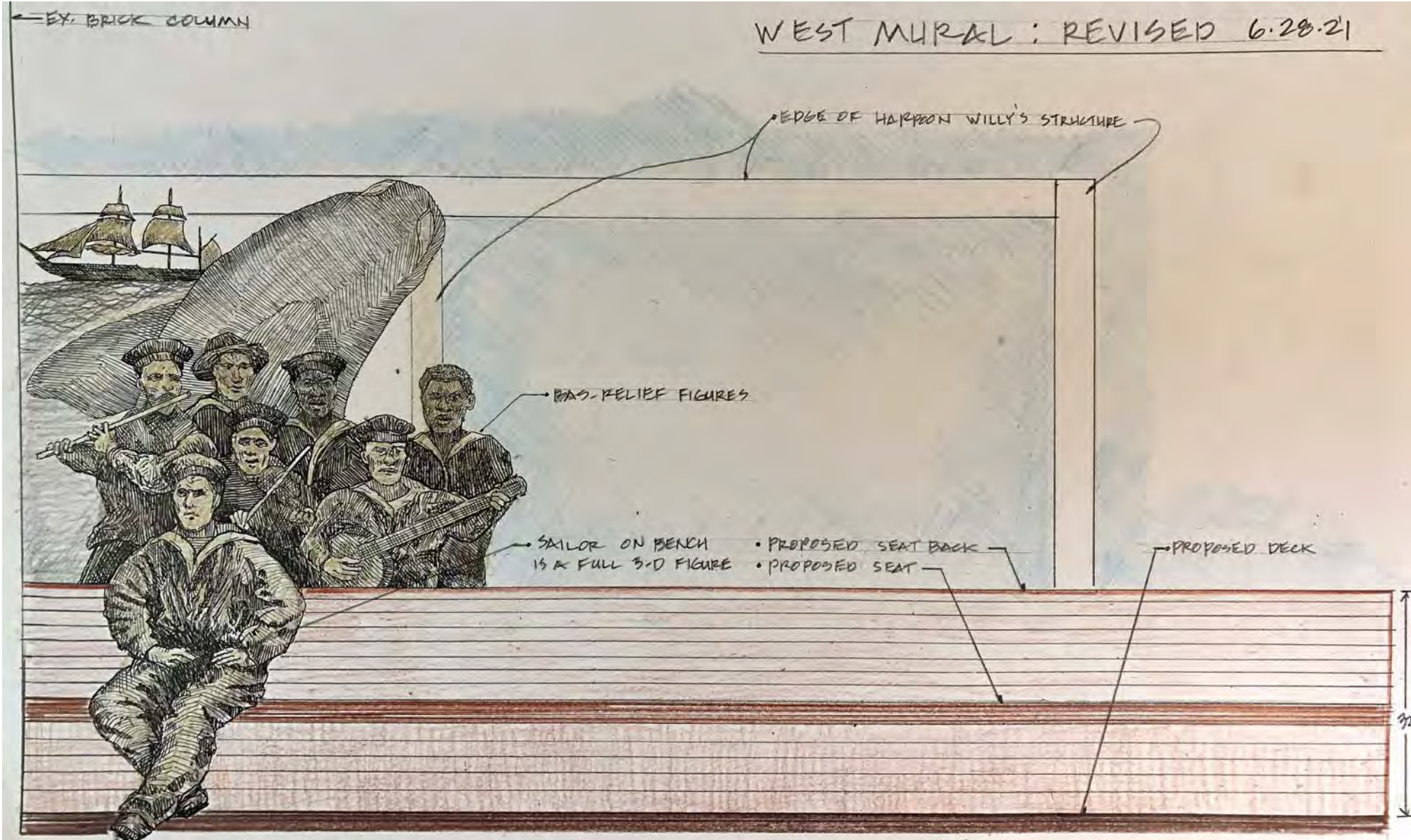
THE THEME OF THIS BAS RELIEF IS THAT OF SAILORS AT REST AND PLAY, THE OPPOSITE THEME OF THE EAST SCULPTURE. AS HARD AS SAILORS WORKED IN THIS DANGEROUS OCCUPATION, THERE WERE TIMES OF SLACK WIND OR EXTENDED PORT STAYS THAT ALLOWED SAILORS TIME TO RELAX. MUSIC WAS IMPORTANT TO SAILORS AND CONSEQUENTLY THEY INVENTED THE SHANTI WORK SONGS, SUNG TO AID IN COOPERATIVE TASKS SUCH AS LOADING AND UNLOADED THE VESSELS.

THE HISTORIC BOAT IN THE BACKGROUND IS ONE OF THE QUINTESSENTIAL VESSELS OF THE SHIPYARD, THE KEARSARGE, ORIGINALLY BUILT DURING THE CIVIL WAR HAS HAD NUMEROUS NAMESAKES BUILT SINCE THEN. AND FINALLY, EVEN THE WHALE, UNLIKE THE ONE BEING PURSUED IN THE EAST IMAGE, CAN BE SEEN FREE OF ENCUMBRANCES AS IT LEAPS OUT OF THE WATER HEADING OUT TO SEA.

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT



WEST MURAL AT PUBLIC DECK

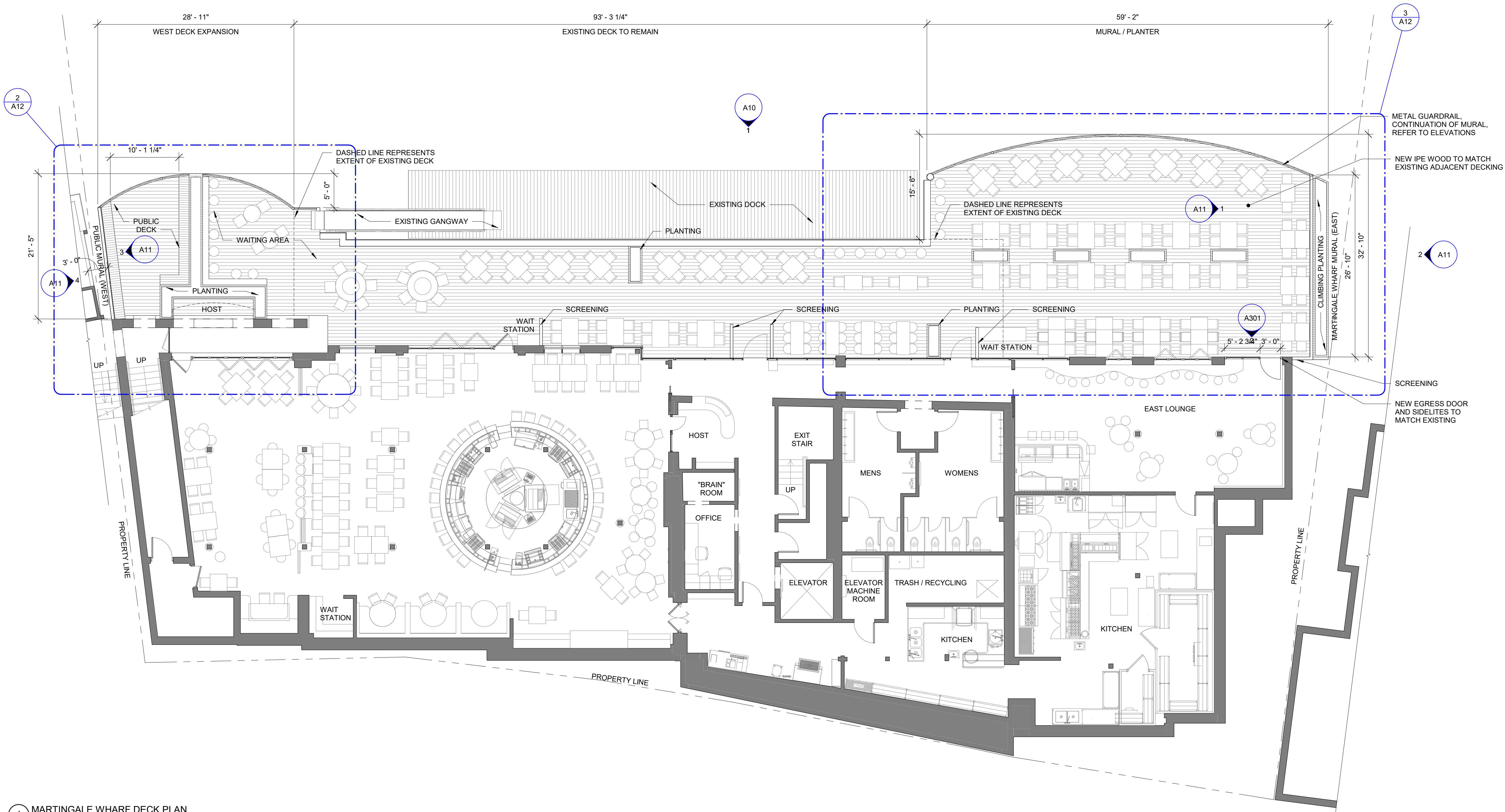


WEST MURAL AT PUBLIC DECK - SKETCH



EAST MURAL AT MARTINGALE WHARF DECK - SKETCH

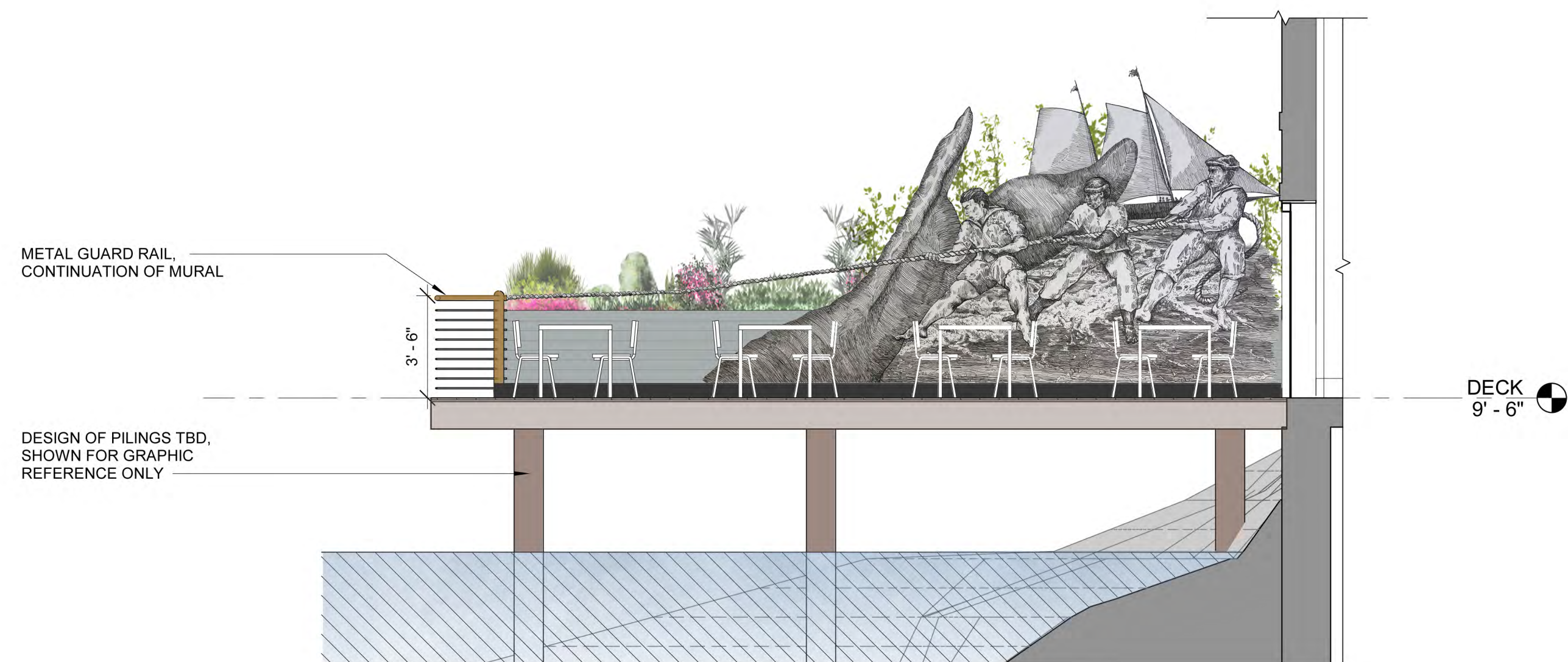




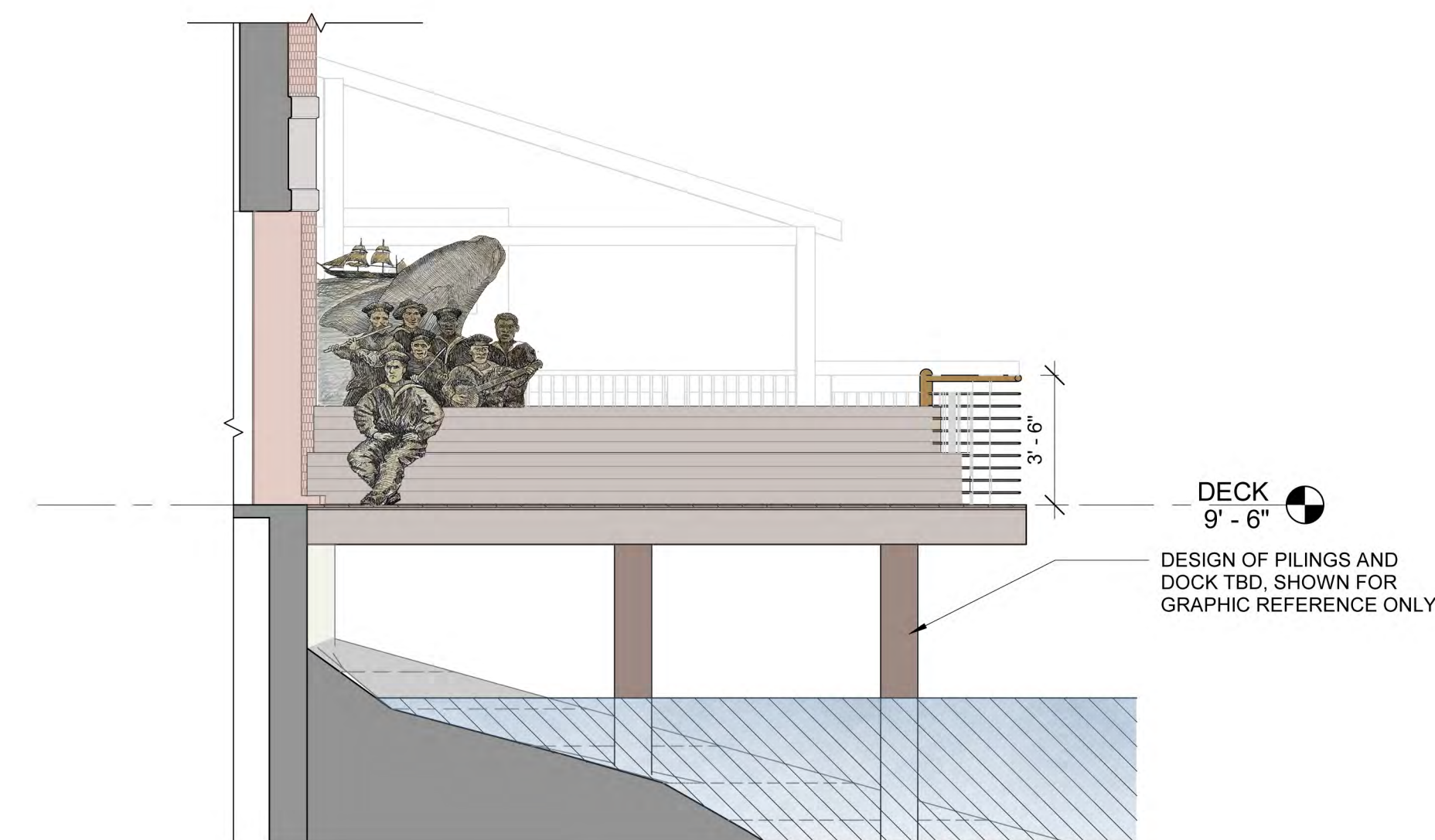
1 MARTINGALE WHARF DECK PLAN
1/8" = 1'-0"



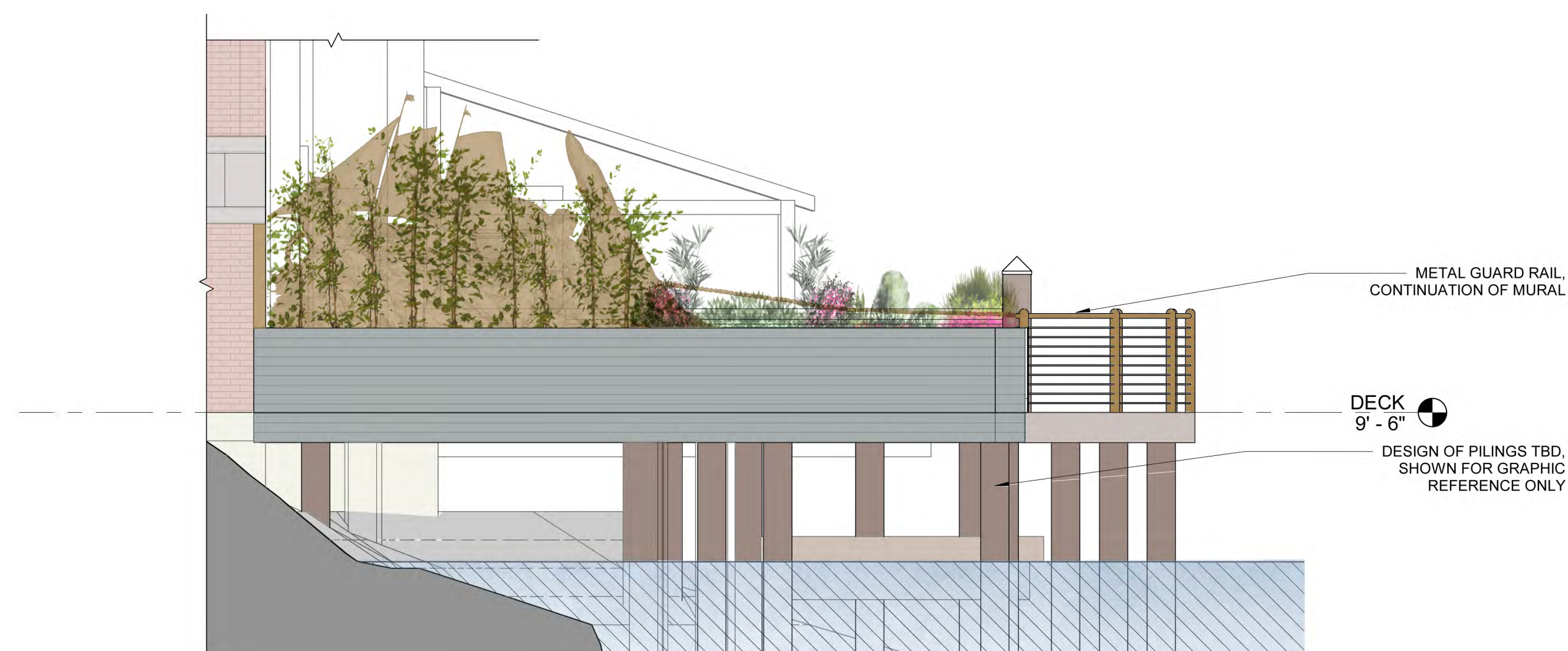
1 PROPOSED NORTH ELEVATION
1/8" = 1'-0"



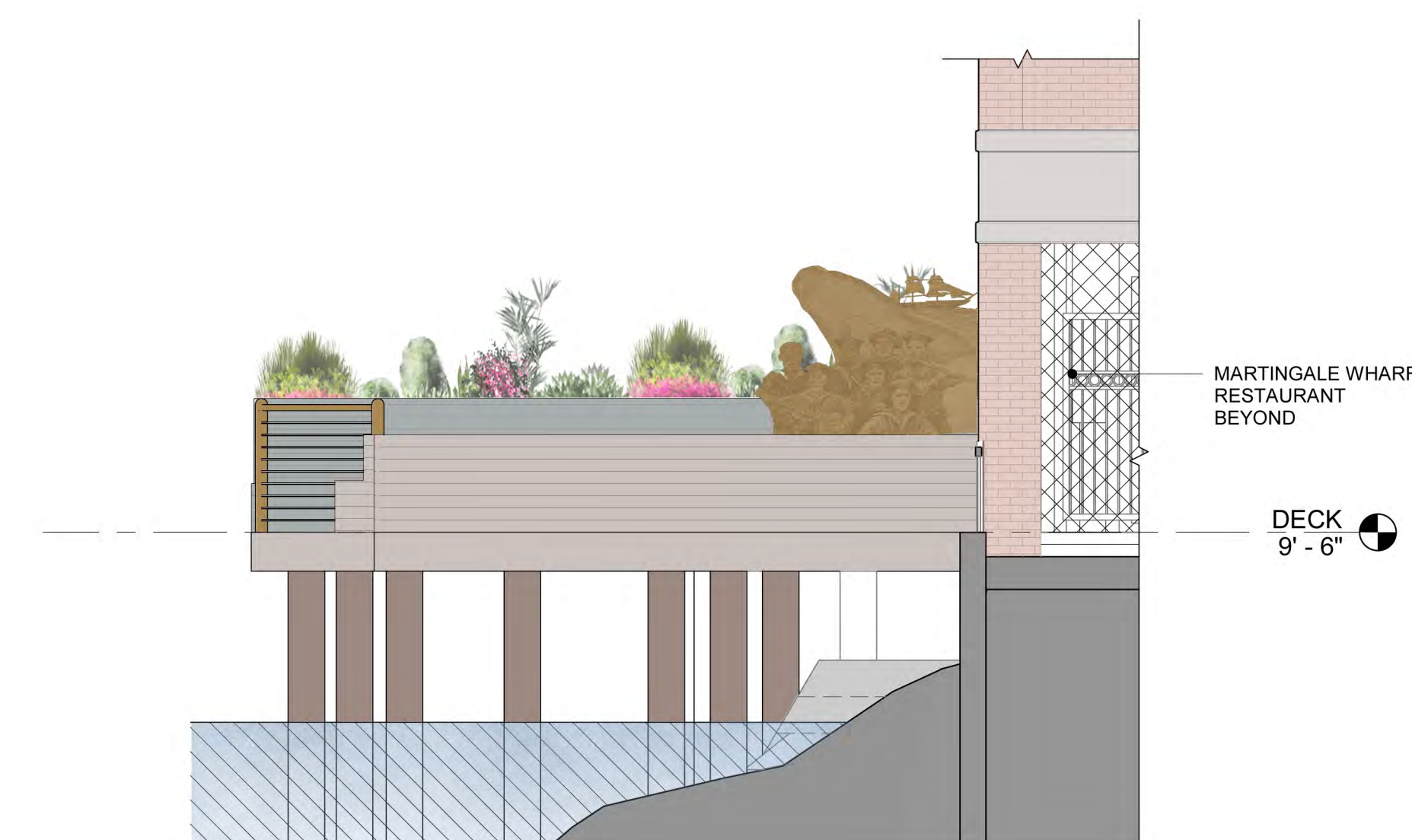
1 ELEVATION AT MARTINGALE WHARF MURAL (LOOKING EAST)
1/4" = 1'-0"



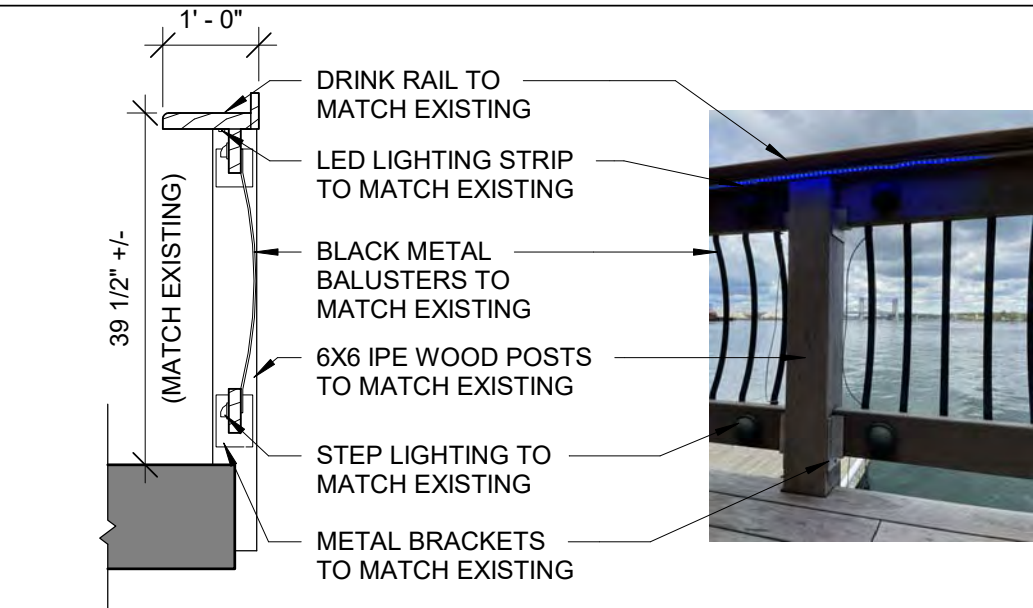
3 ELEVATION AT PUBLIC MURAL (LOOKING WEST)
1/4" = 1'-0"



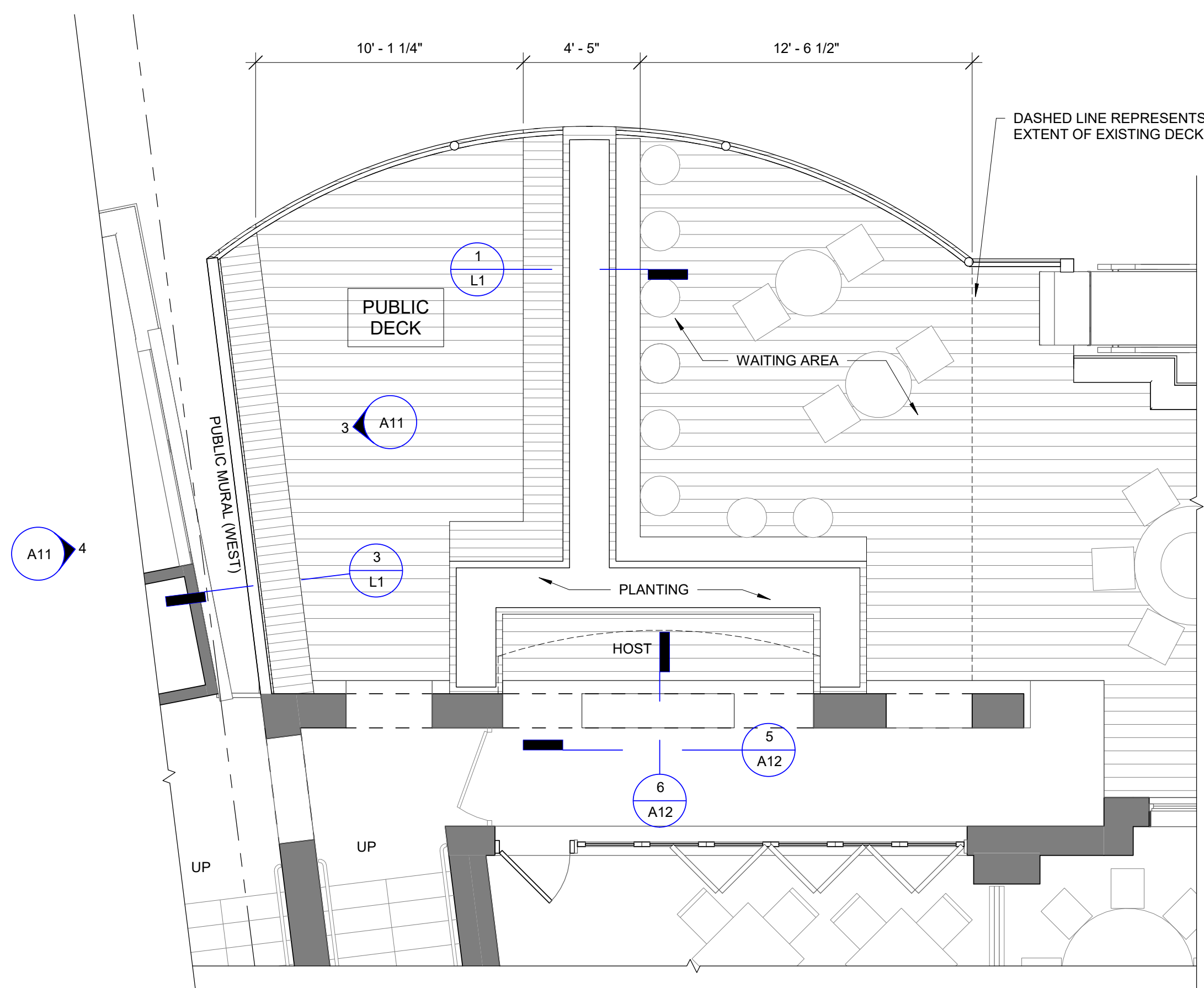
2 EAST ELEVATION (BACKSIDE OF MARTINGALE WHARF MURAL)
1/4" = 1'-0"



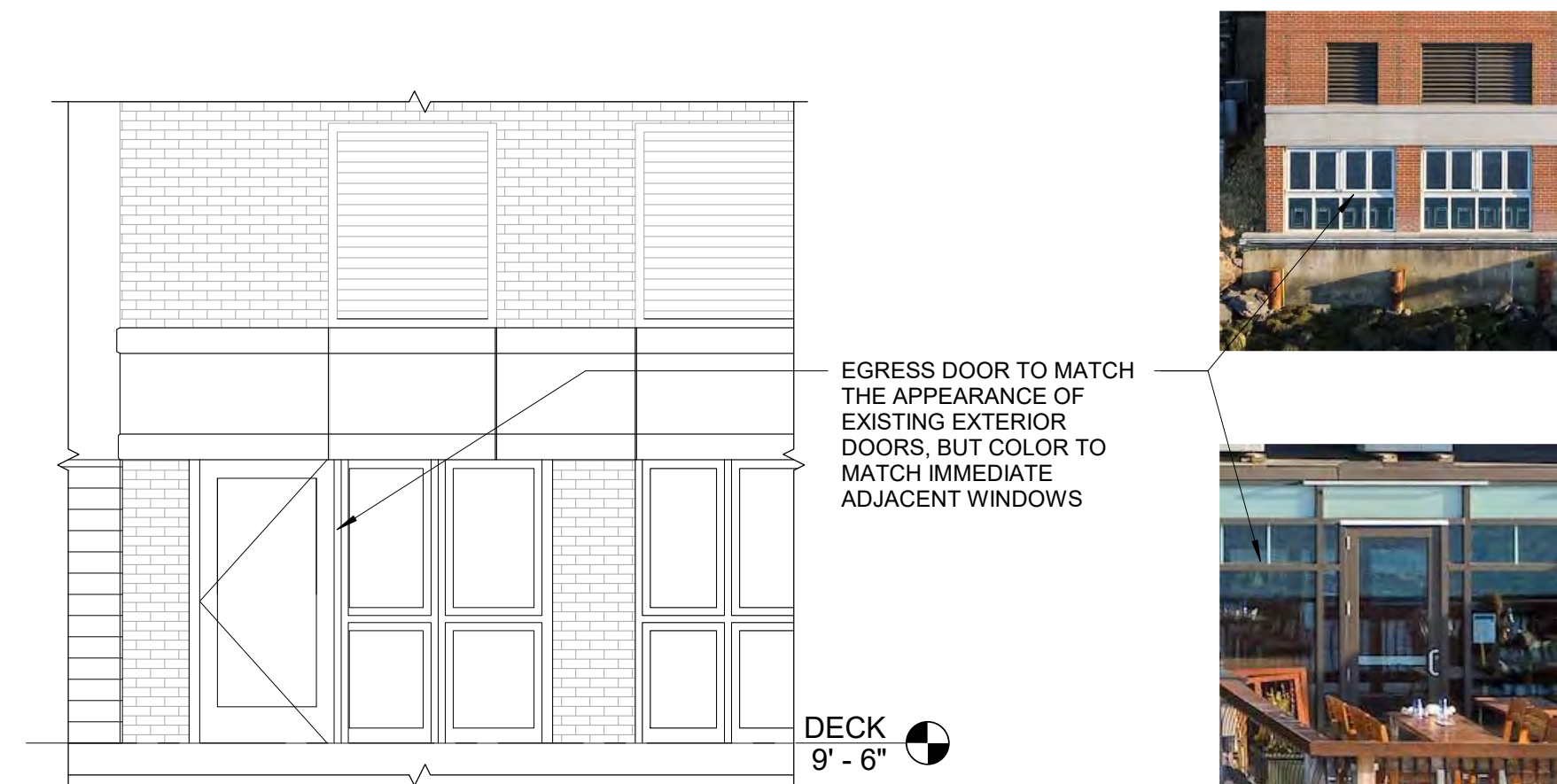
4 WEST ELEVATION (BACKSIDE OF PUBLIC DECK MURAL)
1/4" = 1'-0"



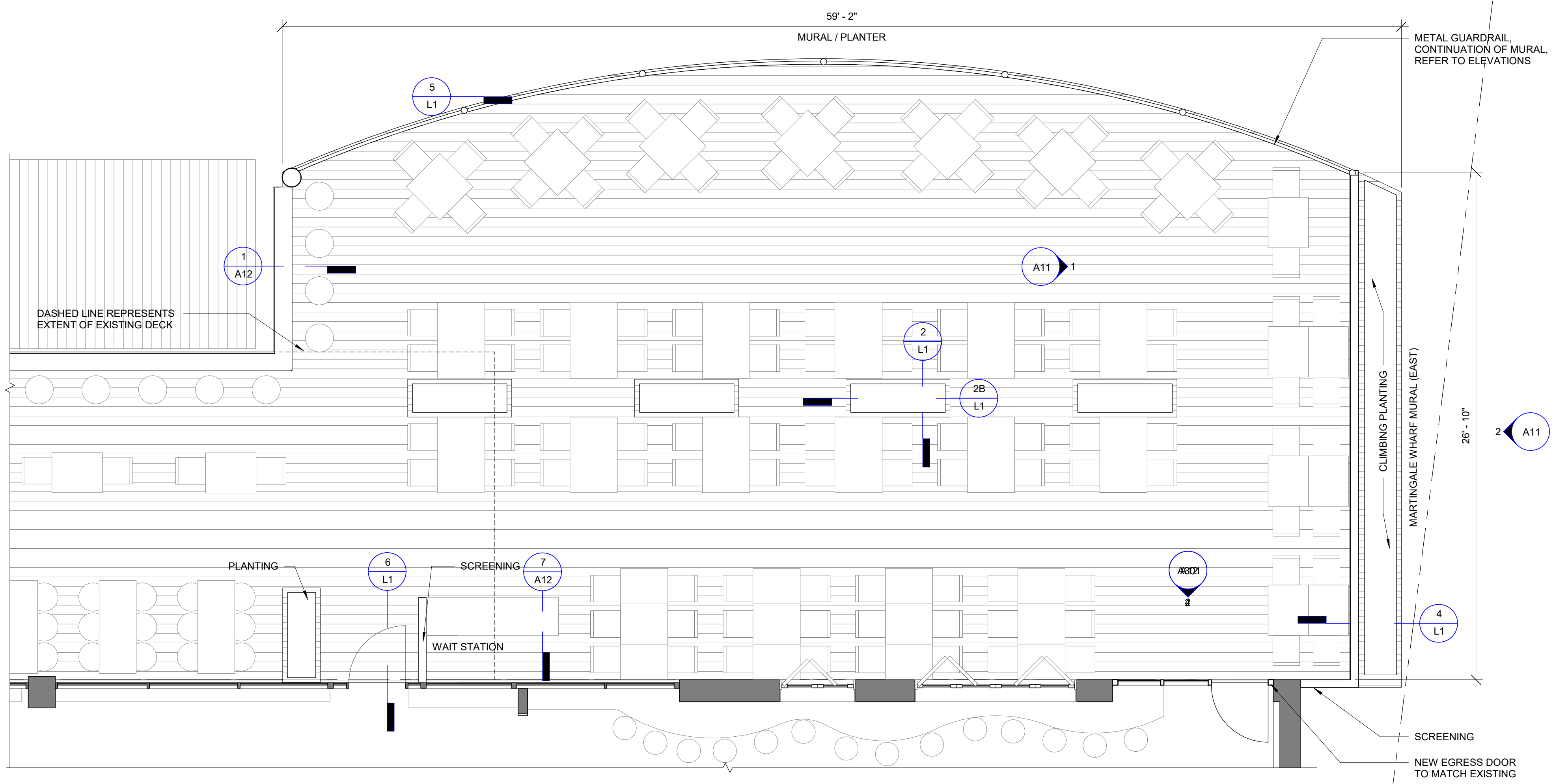
1 EXISTING DRINK RAIL EXTENSION SECTION DETAIL
1/2" = 1'-0"



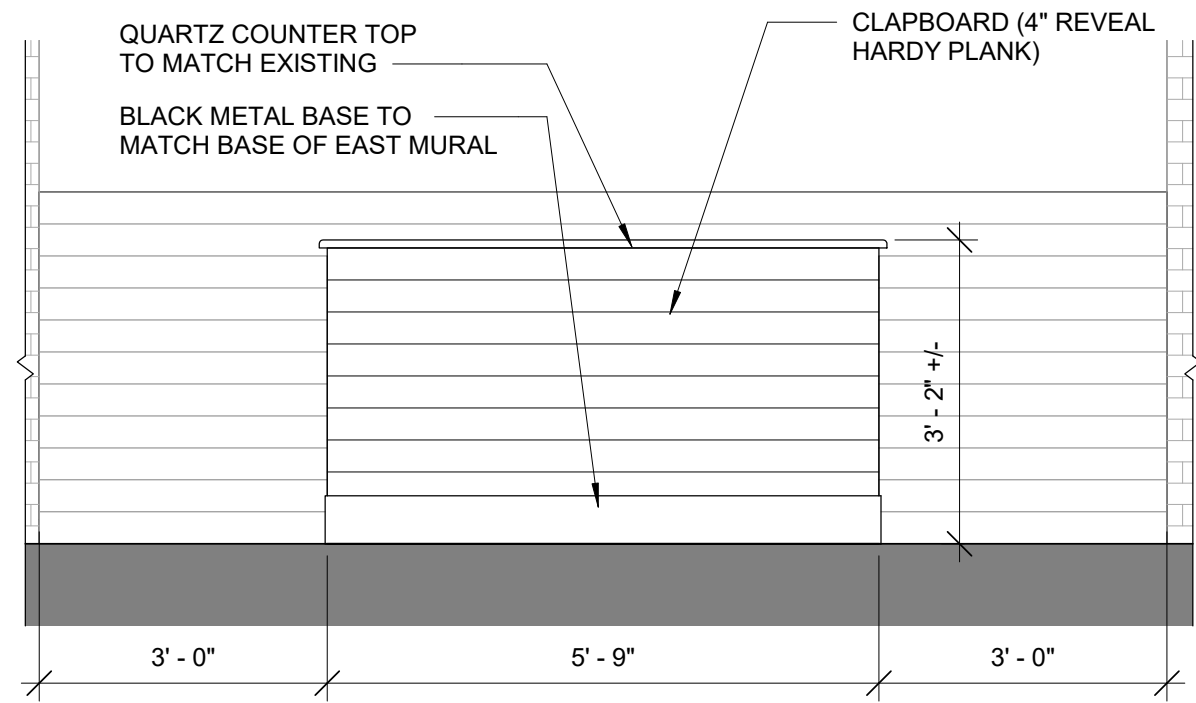
2 ENLARGED PUBLIC DECK PLAN
1/4" = 1'-0"



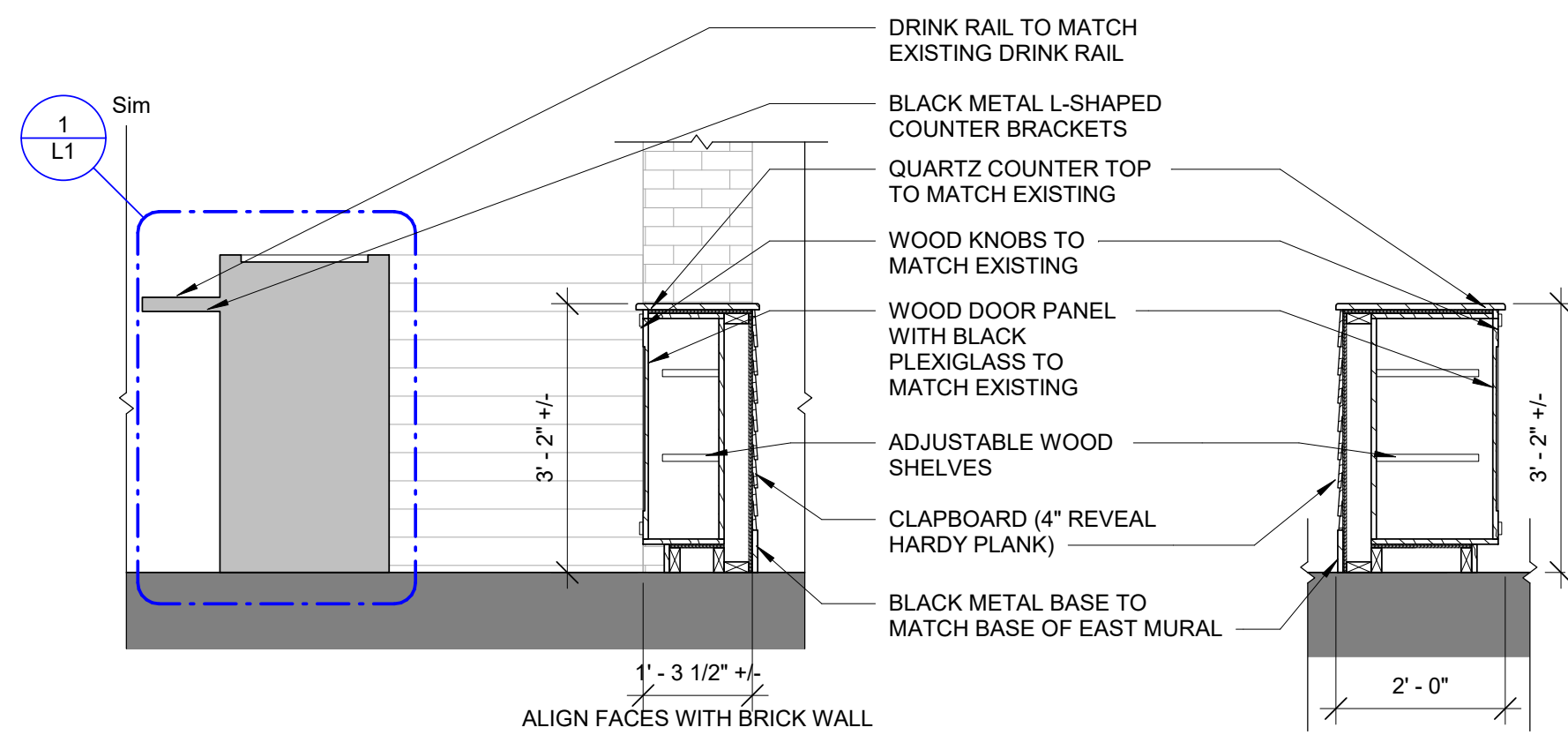
4 EGRESS DOOR ELEVATION
1/4" = 1'-0"



3 ENLARGED MARTINGALE WHARF DECK EXPANSION PLAN
1/4" = 1'-0"



5 ELEVATION AT HOST STATION
1/2" = 1'-0"



6 SECTION THROUGH HOST STATION
1/2" = 1'-0"

7 SECTION THROUGH TYPICAL WAIT STATION
1/2" = 1'-0"



Pitch LED Indoor/Outdoor Wall Sconce
By Tech Lighting



Product Options

Finish: ~~Black~~ Bronze
Voltage: 120 Volt, 277 Volt

Details

- May be mounted up or down
- Marine-grade powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing
- Material: Die-Cast Metal
- ADA compliant, Dark Sky compliant, Title 24 compliant
- ETL Listed Wet
- Marine Grade
- Warranty: 5 years
- Made in China

Dimensions

120 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs
277 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs

Lighting

- 120 Volt Option: 261 Watt (823 Lumens) 120 Volt Integrated LED; CRI: 80 Color Temp: 3000K Lifespan: 70000 hours
- 277 Volt Option: 261 Watt (823 Lumens) 277 Volt Integrated LED; CRI: 80 Color Temp: 3000K Lifespan: 70000 hours

Additional Details

Product URL: <https://www.lumens.com/pitch-led-indoor-outdoor-wall-sconce-by-tech-lighting-TECP90024.html>
Rating: ETL Listed Wet

Product ID: TECP90024

Notes:
OR EQUAL

WALL SCONCE AT DECK PERIMETER - OR EQUAL

Norfolk Outdoor Wall Sconce
By Troy Lighting



Product Options

Size: ~~Small~~ Medium

Details

- Finish: Marine Bronze
- Material: Solid Brass
- Shade Material: Frosted Pressed Prismatic glass
- ADA compliant
- UL Listed Wet
- Made in China

Dimensions

Small Option Fixture: Depth 3", Diameter 8"
Medium Option Fixture: Depth 3.5", Diameter 10"
Large Option Fixture: Depth 4.5", Diameter 13"

Lighting

- Small Option: One 40 Watt (384 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)
- Medium Option: Two 40 Watt (384 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)
- Large Option: Two 60 Watt (672 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)

Additional Details

Product URL: <https://www.lumens.com/norfolk-outdoor-wall-sconce-by-troy-lighting-uu466059.html>
Rating: UL Listed Wet

Product ID: uu466059

Notes:
OR EQUAL

WALL SCONCE AT BUILDING - OR EQUAL

Thin-Line LED Wall Bar
By SONNEMAN Lighting



Product Options

Finish: ~~Black~~ Satin White
Size: 3, 4, 6, 8
Lighting Option: Indirect, One-Sided, Two-Sided

Details

- One-sided configuration can be installed as a downlight or uplight
- Can be mounted horizontally or vertically
- Dimmable when used with TRIAC or ELV dimmer (not included)
- Damp rated for indoor use only
- Designed by Robert Sommer in 2018
- Material: Metal
- Shade Material: Optical Acrylic
- ADA compliant
- UL Listed
- Warranty: Limited 1 Year
- Made in China

Dimensions

3 Option Backplate: Width 1", Height 1"
3 Option Fixture: Width 30", Height 0.75", 1" Depth 3.5", Weight 4Lbs
3 Option Shade: Width 30", Height 1", Depth 0.75"
4 Option Backplate: Width 1", Height 1"
4 Option Fixture: Width 48", Height 0.75", 1" Depth 3.5", Weight 7Lbs
4 Option Shade: Width 48", Height 1", Depth 0.75"
6 Option Backplate: Width 1", Height 1"
6 Option Fixture: Width 72", Height 0.75", 1" Depth 3.5", Weight 9Lbs
6 Option Shade: Width 72", Height 1", Depth 0.75"
8 Option Backplate: Width 1", Height 1", 1" Depth 3.5", Weight 13Lbs
8 Option Fixture: Width 96", Height 0.75", 1" Depth 3.5", Weight 13Lbs
8 Option Shade: Width 96", Height 1", Depth 0.75"

Lighting

- 3 Option: 18 Watt (180 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 3 Option: 36 Watt (360 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 4 Option: 22 Watt (1450 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 4 Option: 44 Watt (2910 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 6 Option: 36 Watt (2220 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 6 Option: 72 Watt (4440 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 8 Option: 47 Watt (3120 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 8 Option: 94 Watt (6240 Lumens) 120 Volt Integrated LED; Color Temp: 3000K

Additional Details

Product URL: <https://www.lumens.com/thin-line-led-wall-bar-by-sonneman-lighting-SNNP202253.html>
Rating: UL Listed

Product ID: SNNP202253

Notes:
EXTERIOR RATED EQUAL

LINEAR WALL MOUNTED LIGHTING AT BUILDING TO MATCH EXISTING



EXISTING LINEAR WALL MOUNTED LIGHTING AT BUILDING

PL23DM Outdoor LED Path Light
By Focus Industries



Product Options

Finish: ~~Black Texture~~ Bronze Texture

Details

- LED Lifespan: 50000 hours
- Driver is included
- Material: Aluminum
- ETL Listed Wet
- Warranty: Limited 5 Year
- Made in USA

Dimensions

Fixture: Width 2.25", Height 18", Depth 2.25", Weight 2.1Lbs

Lighting

- 4 Watt (300 Lumens) 12 Volt Integrated LED; CRI: 90 Color Temp: 3000K

Additional Details

Product URL: <https://www.lumens.com/pl23dm-outdoor-led-path-light-by-focus-industries-FOCP309793.html>
Rating: ETL Listed Wet

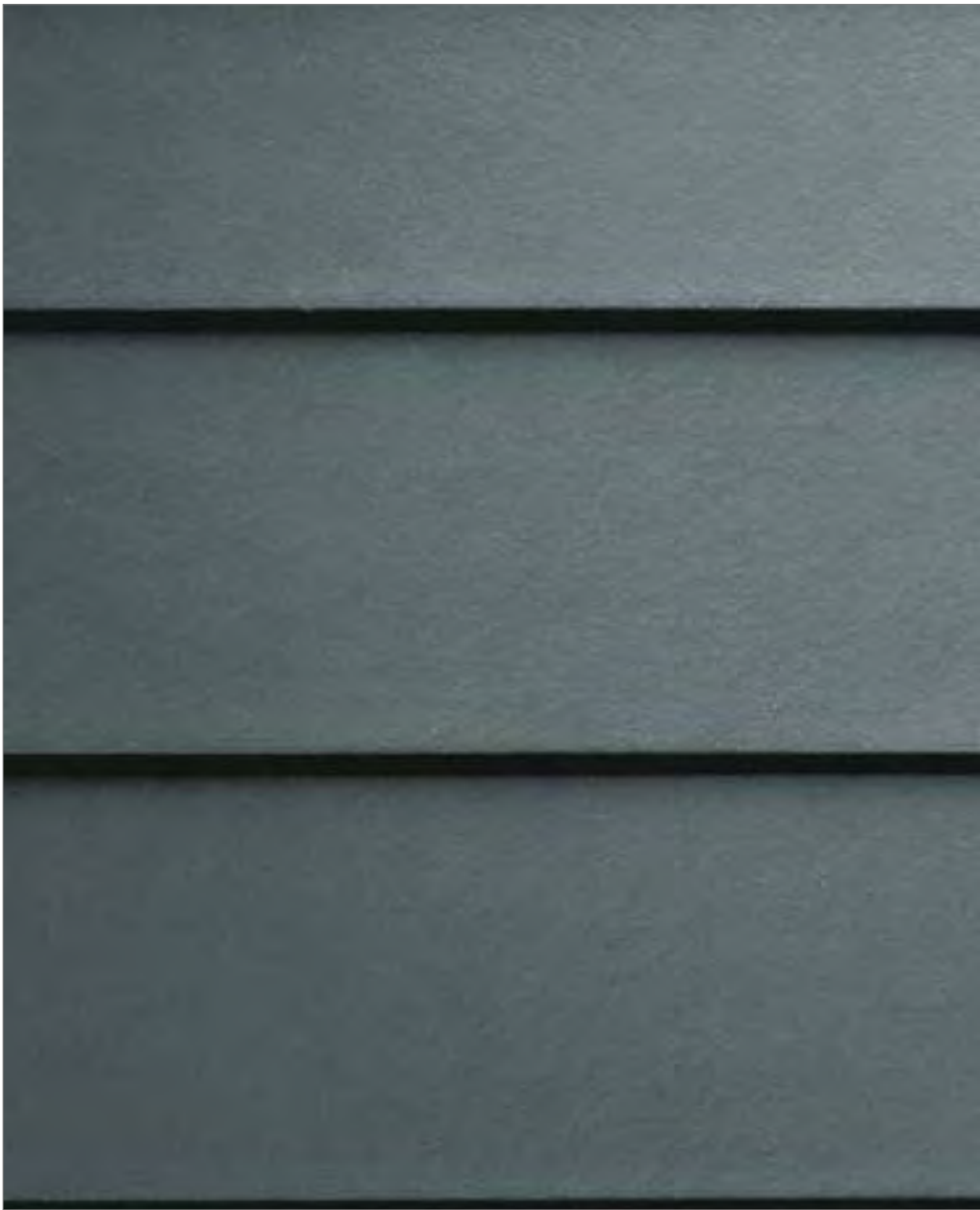
Product ID: FOCP309793

Notes:
OR EQUAL

AMBIENT PLANTER DOWNLIGHTS - OR EQUAL



IPE WOOD DECKING - MATCH EXISTING

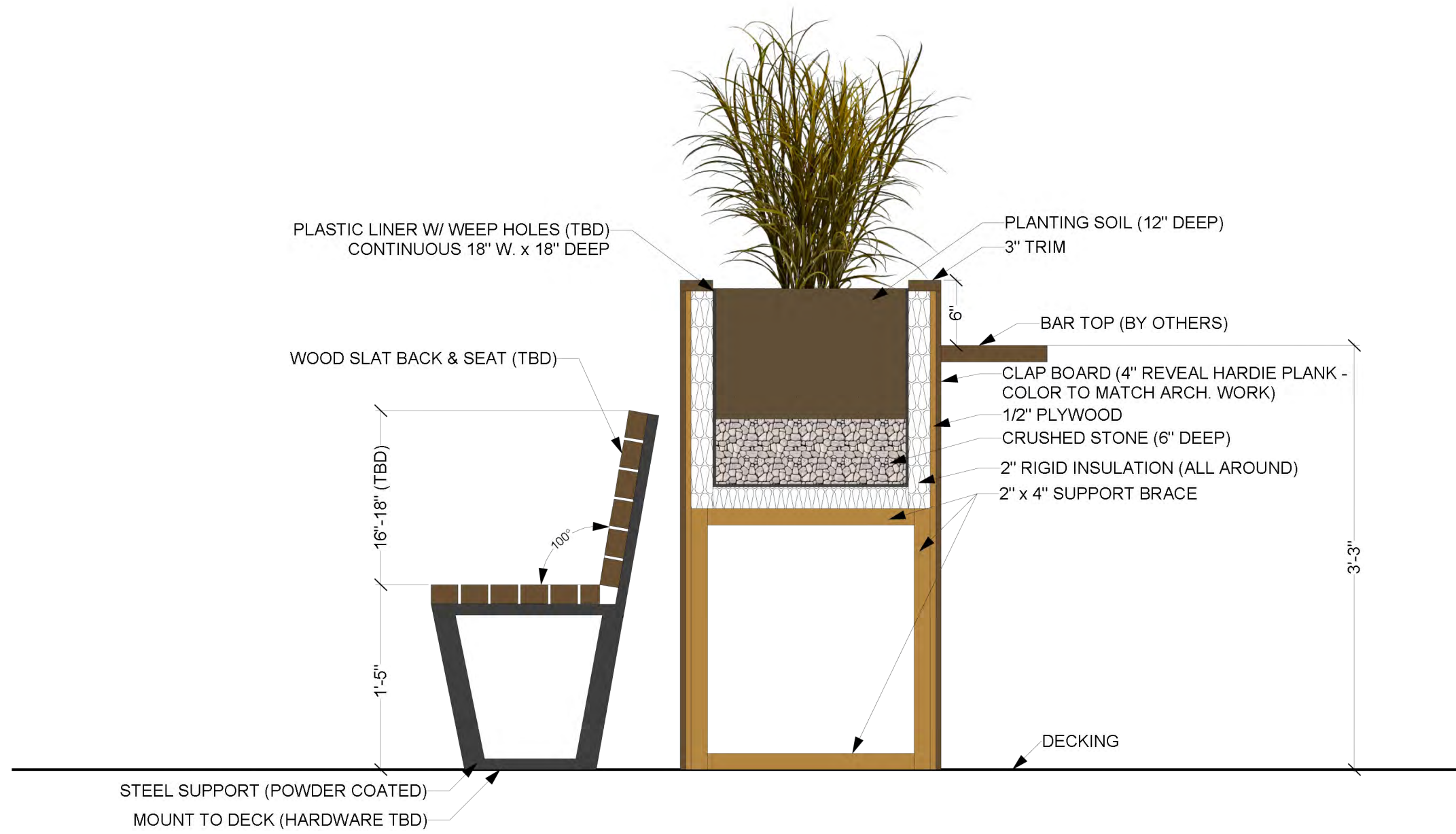


HARDIE PLANK - 4" EXPOSURE - BOOTHBAY BLUE



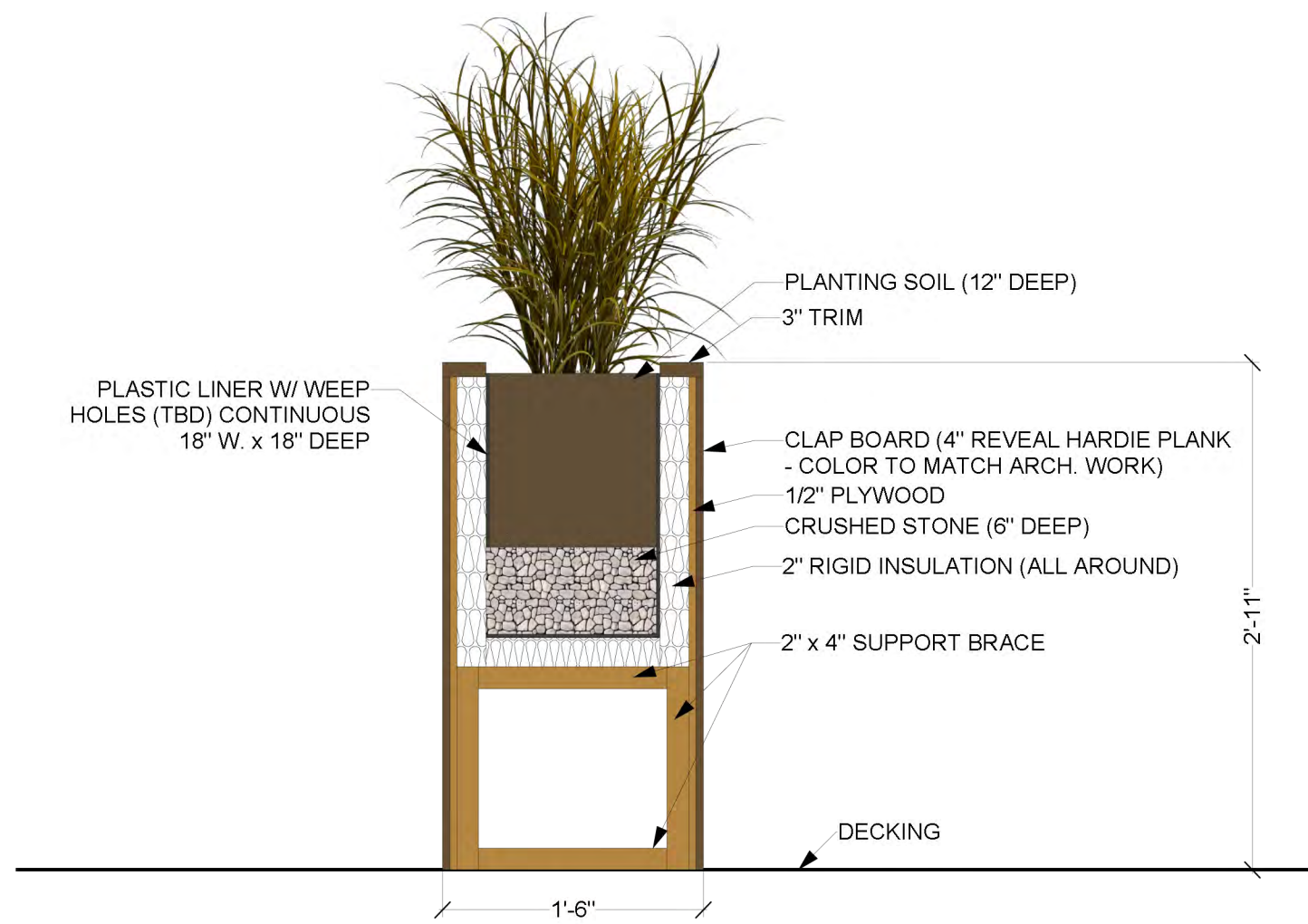
METAL GUARDRAIL BALUSTRADES AT EAST DECK EXPANSION - SIMILAR TO EXISTING (BLACK)





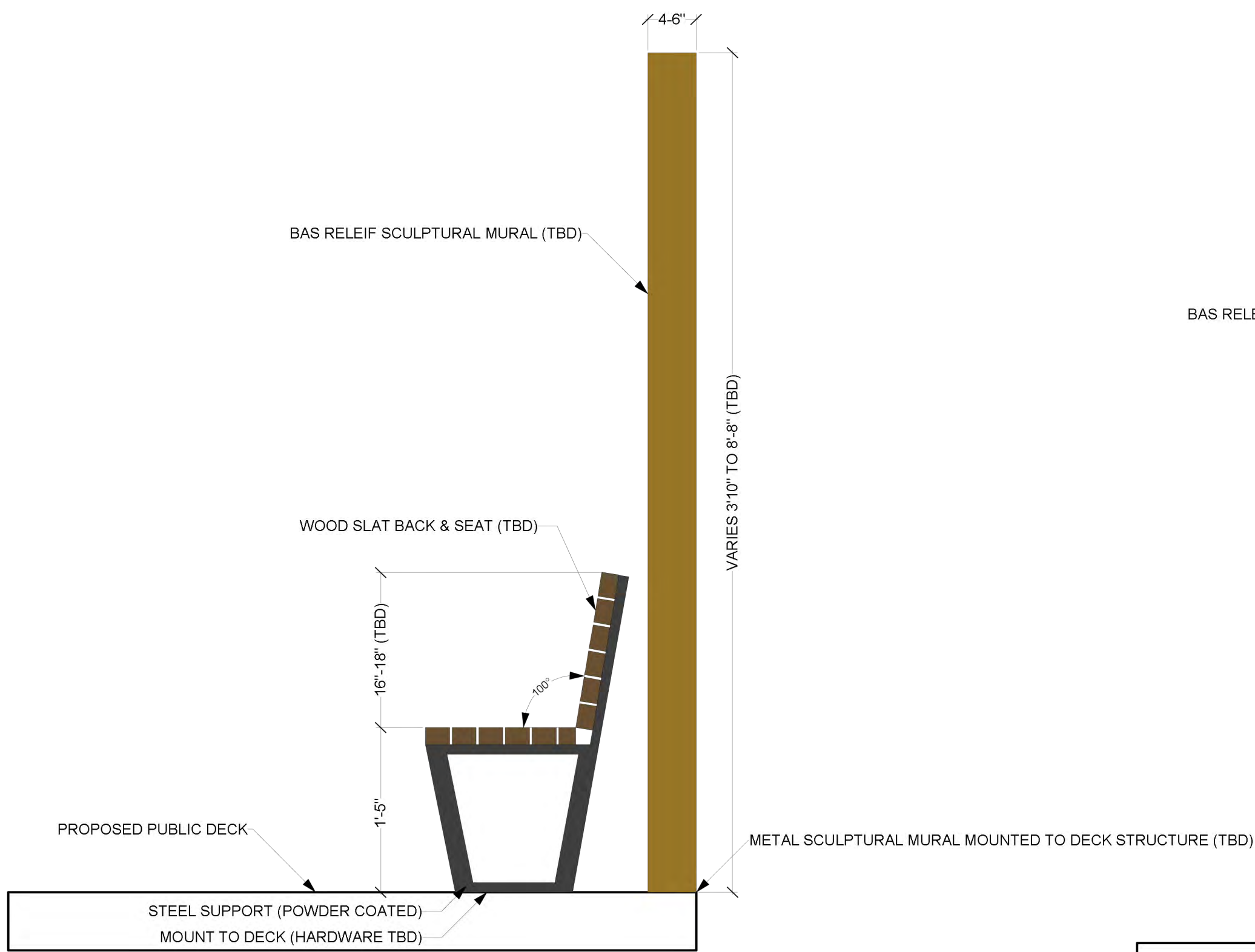
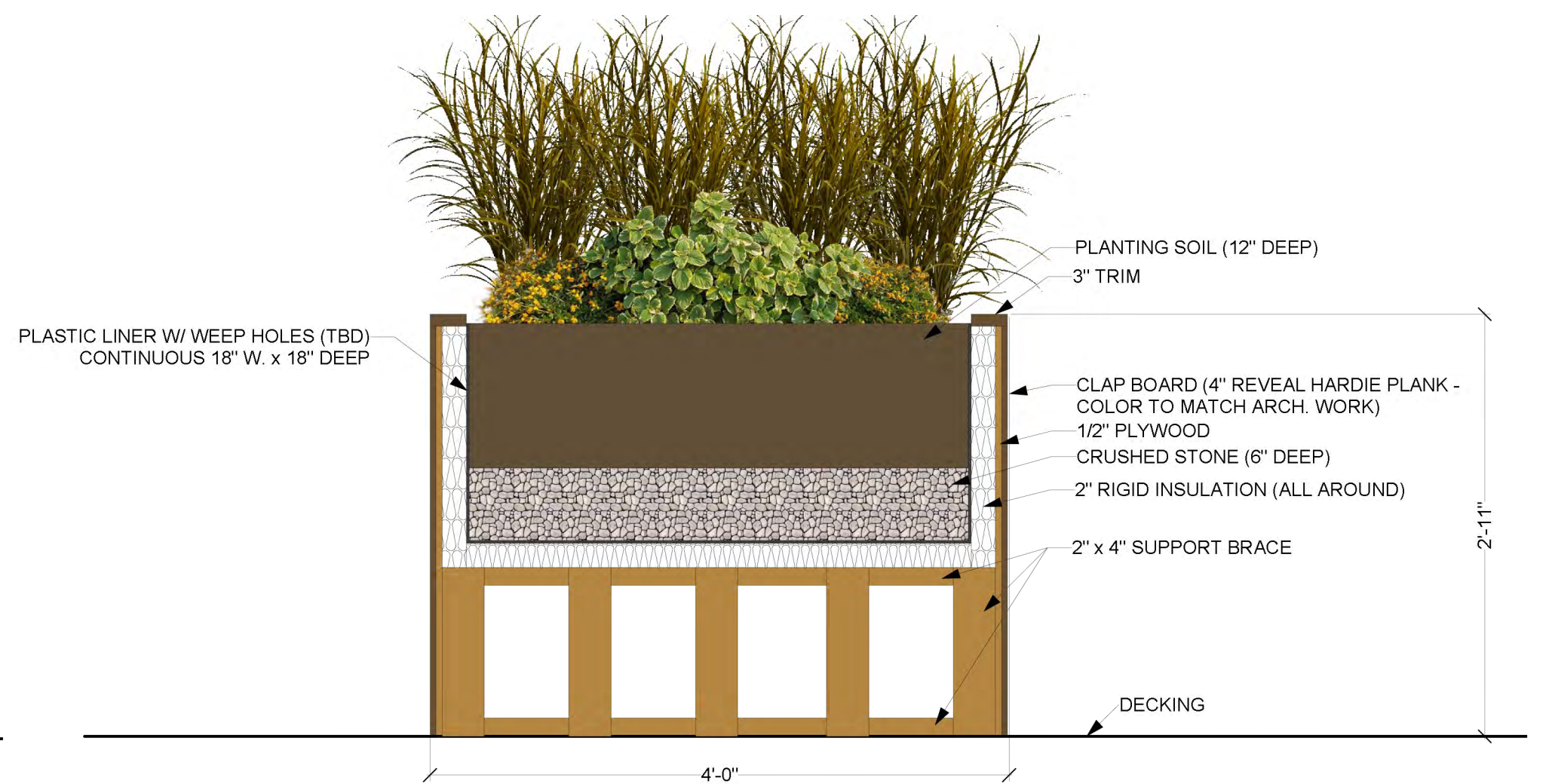
1
L-1

PLANTING BOX AND BAR DETAIL
SCALE: 1"=1'-0"



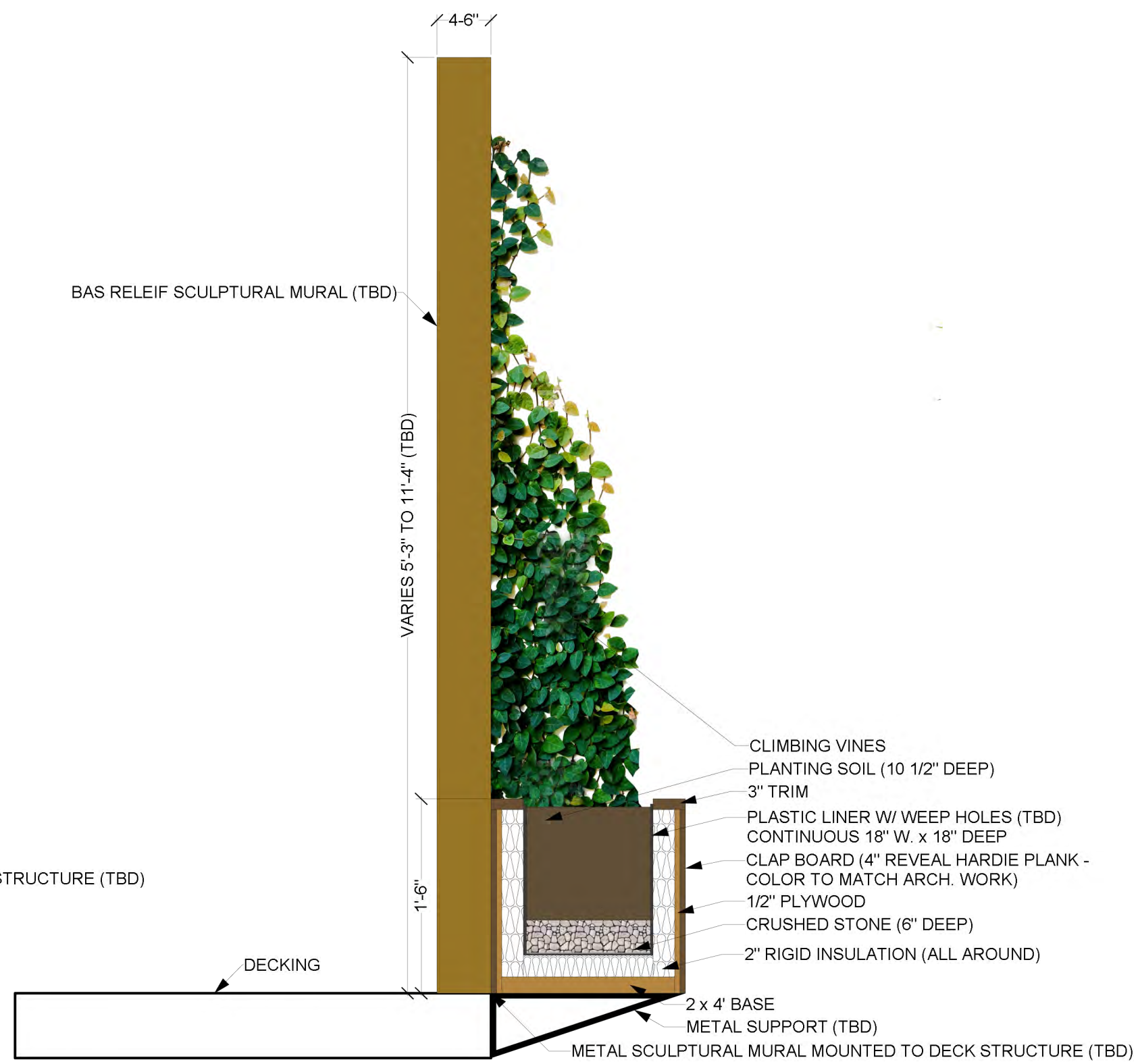
2
L-1

SOLITARY PLANTER (18" W. x 48" L. x 35" HT.)
SCALE: 1"=1'-0"



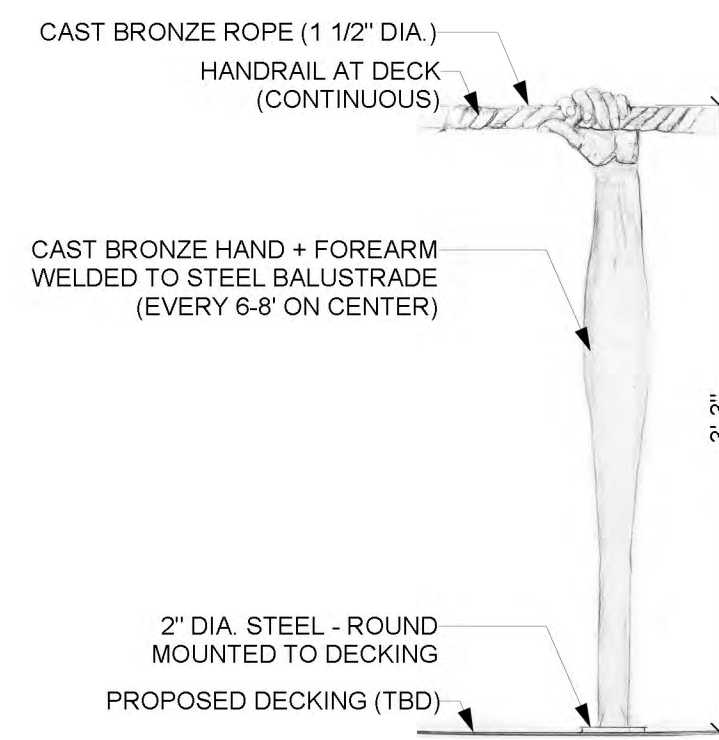
3
L-1

WEST BENCH AND MURAL DETAIL
SCALE: 1"=1'-0"



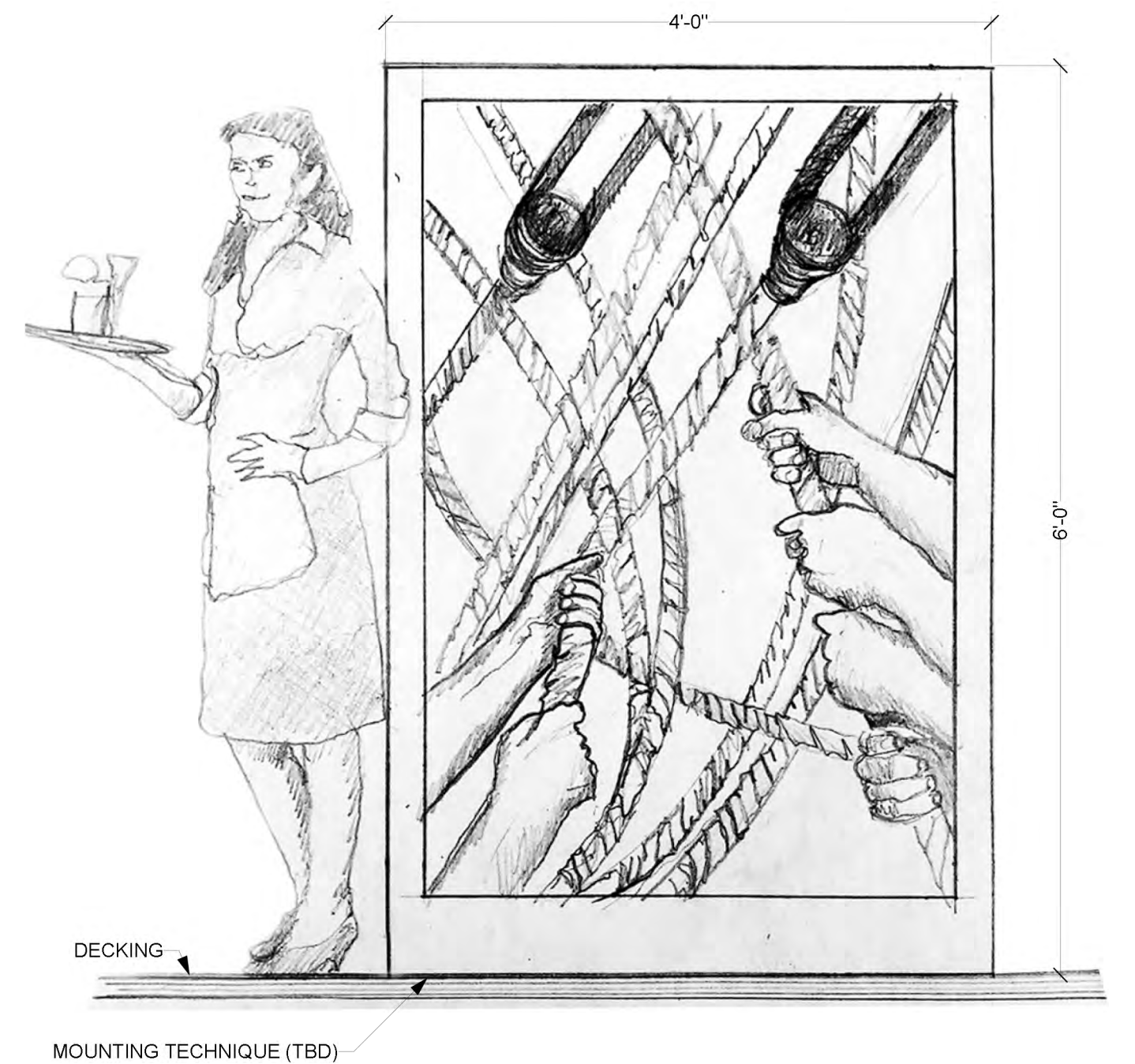
4
L-1

EAST BENCH AND MURAL DETAIL
SCALE: 1"=1'-0"



5
L-1

BALUSTRADE DETAIL
SCALE: 1"=1'-0"

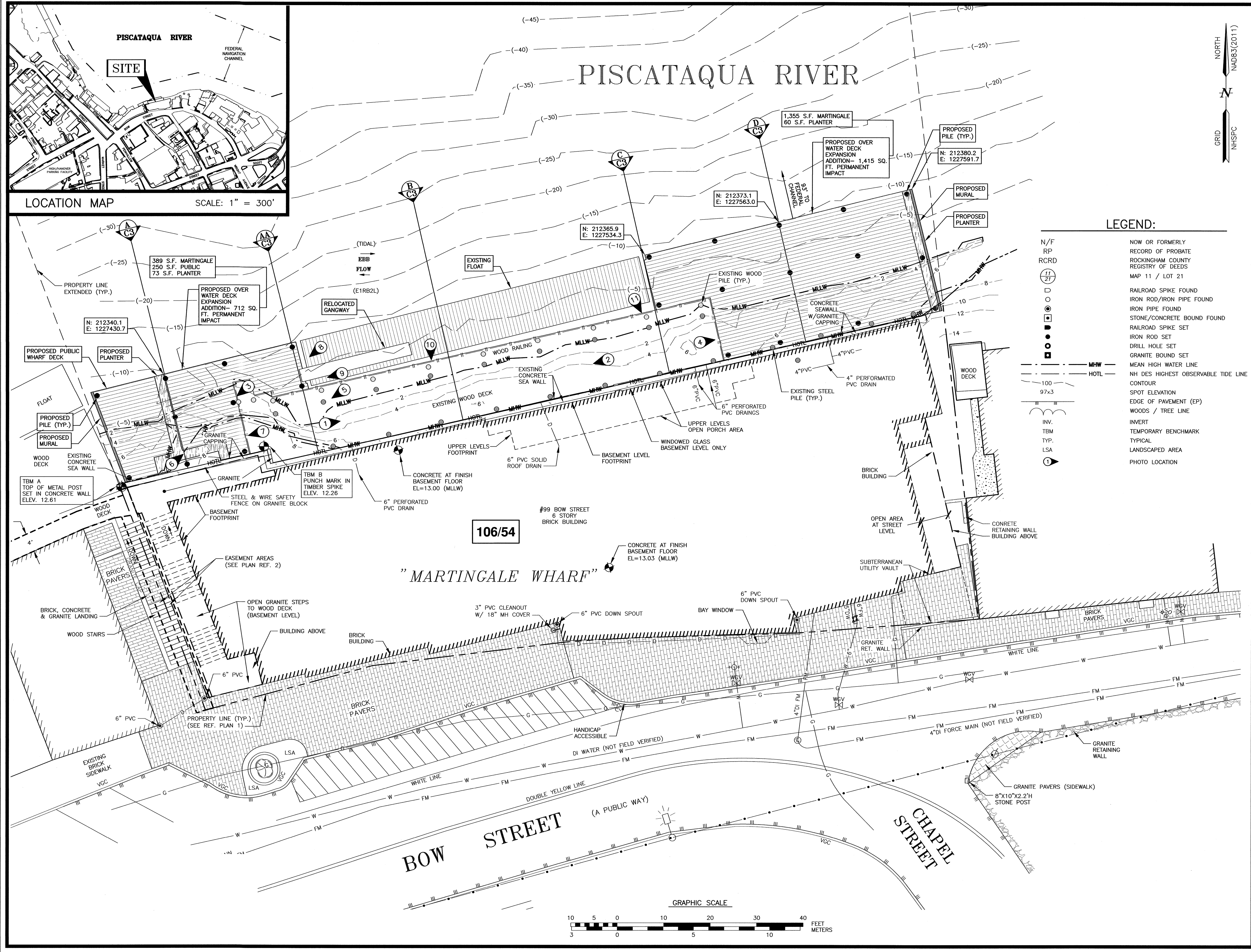


6
L-1

METAL SCREEN PARTITION AT WAITRESS STAND
SCALE: 1"=1'-0"

ALTERNATE DECK OPTION

SHEETS C2-A – A17



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

- NOTES:**
- 1) PARCEL IS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSOR'S MAP 106 AS LOT 54.
 - 2) OWNERS OF RECORD:
MARTINGALE LLC
3 PLEASANT ST, 4TH FLOOR
PORTSMOUTH, NH 03801
5868/2627
 - 3) PARCEL IS PARTIALLY IN A FLOOD HAZARD ZONE (ZONE AE EL 8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.
 - 4) EXISTING LOT AREA:
9,769 S.F. TO MEAN HIGH WATER (PER PLAN REF. 3)
0.224 ACRES TO MEAN HIGH WATER (PER PLAN REF. 3)
 - 5) PARCEL IS LOCATED IN THE DOWNTOWN OVERLAY DISTRICT, CDS (CHARACTER DISTRICT 5), HISTORIC DISTRICT.
 - 6) DIMENSIONAL REQUIREMENTS: SEE CITY ZONING REQUIREMENTS.
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED IMPROVEMENTS ON ASSESSORS MAP TAX MAP 106 LOT 54 IN THE CITY OF PORTSMOUTH.
 - 8) BOUNDARY LINES SHOWN HEREON ARE BASED SOLELY ON PLAN REFERENCES, EASEMENTS, RIGHTS OF OTHERS, ETC., HAVE NOT BEEN RESEARCHED OR NOTED HEREON.
 - 9) VERTICAL DATUM IS MEAN LOWER LOW WATER (MLLW). MLLW REFERENCED ON NOAA STATION 8423005 T14A PORTSMOUTH, MLLW BEING 3.99 FEET LOWER THAN 0.0 NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- IMPACT REDUCED:**
- 2,191 S.F. PREVIOUS (7/13/21 PLAN SET)
2,127 S.F. CURRENT
= 64 S.F. REDUCTION

**PUBLIC ACCESS
IMPROVEMENTS
BOW STREET
PORTSMOUTH, N.H.**

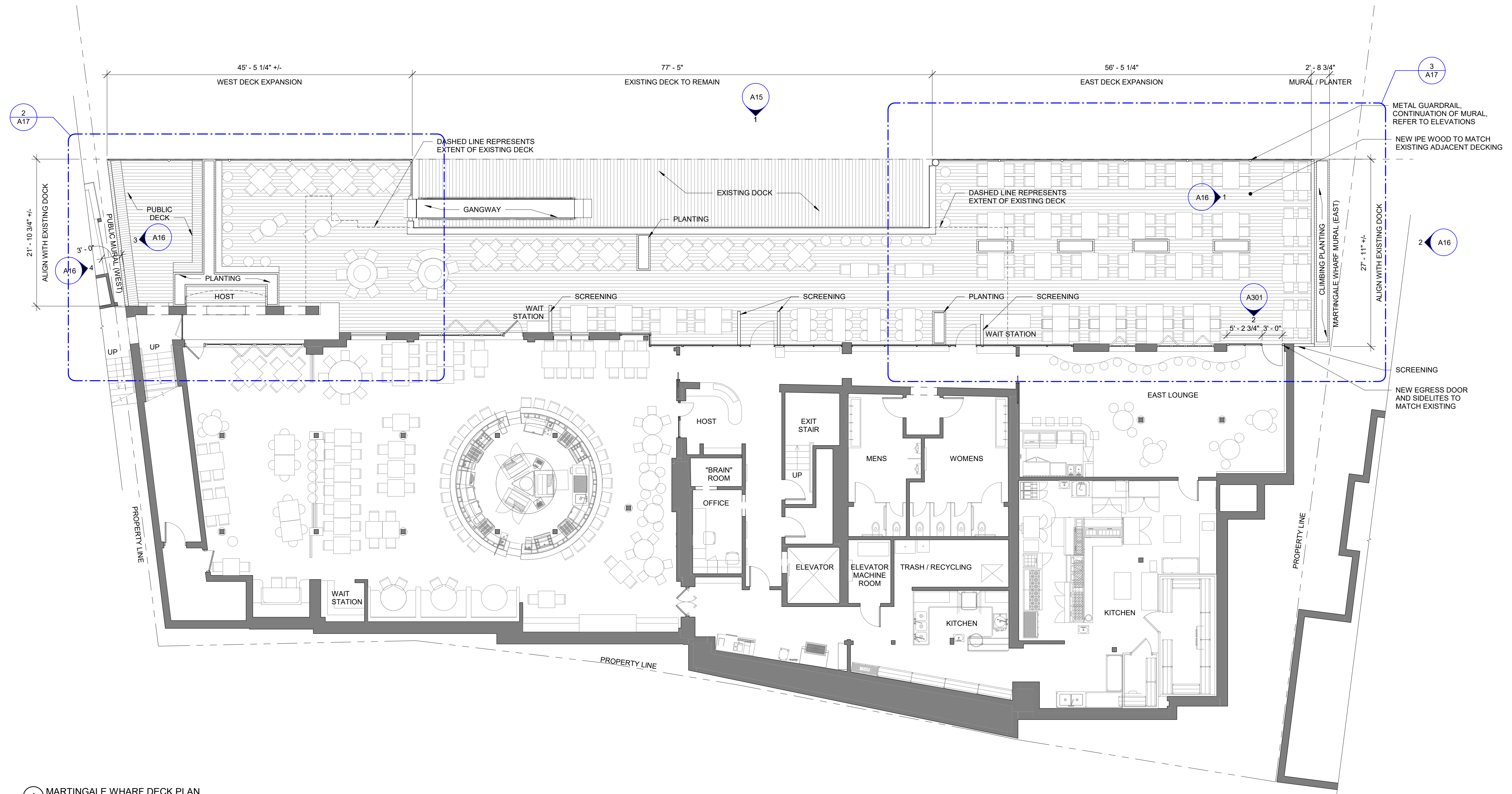
NO.	DESCRIPTION	DATE
3	REVISE DECK	9/10/21
2	ELIMINATE ADDED DOCK	7/13/21
1	ISSUED FOR APPROVAL	6/29/21
0	ISSUED FOR COMMENT	6/8/21

SCALE: 1" = 10'

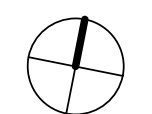
MARCH 2021

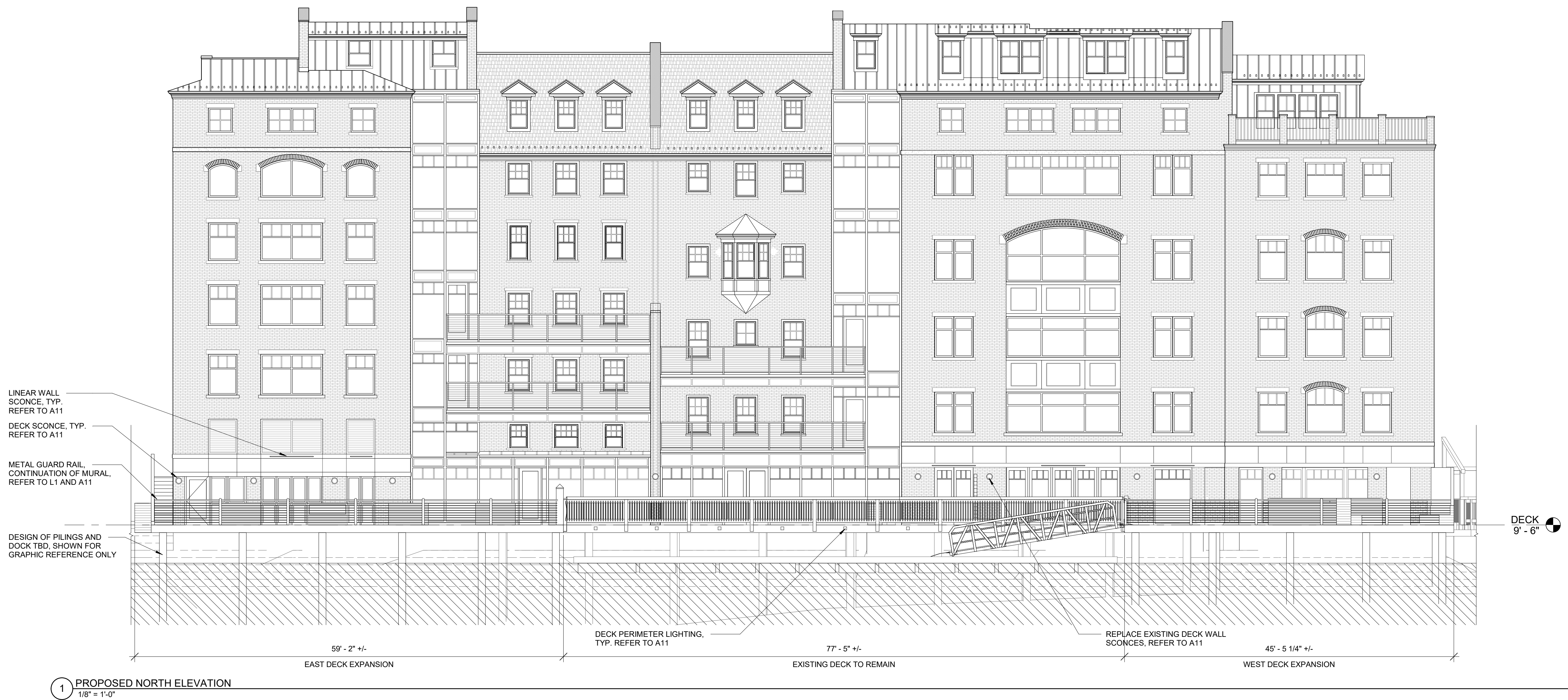
NHDES PERMIT
PLAN

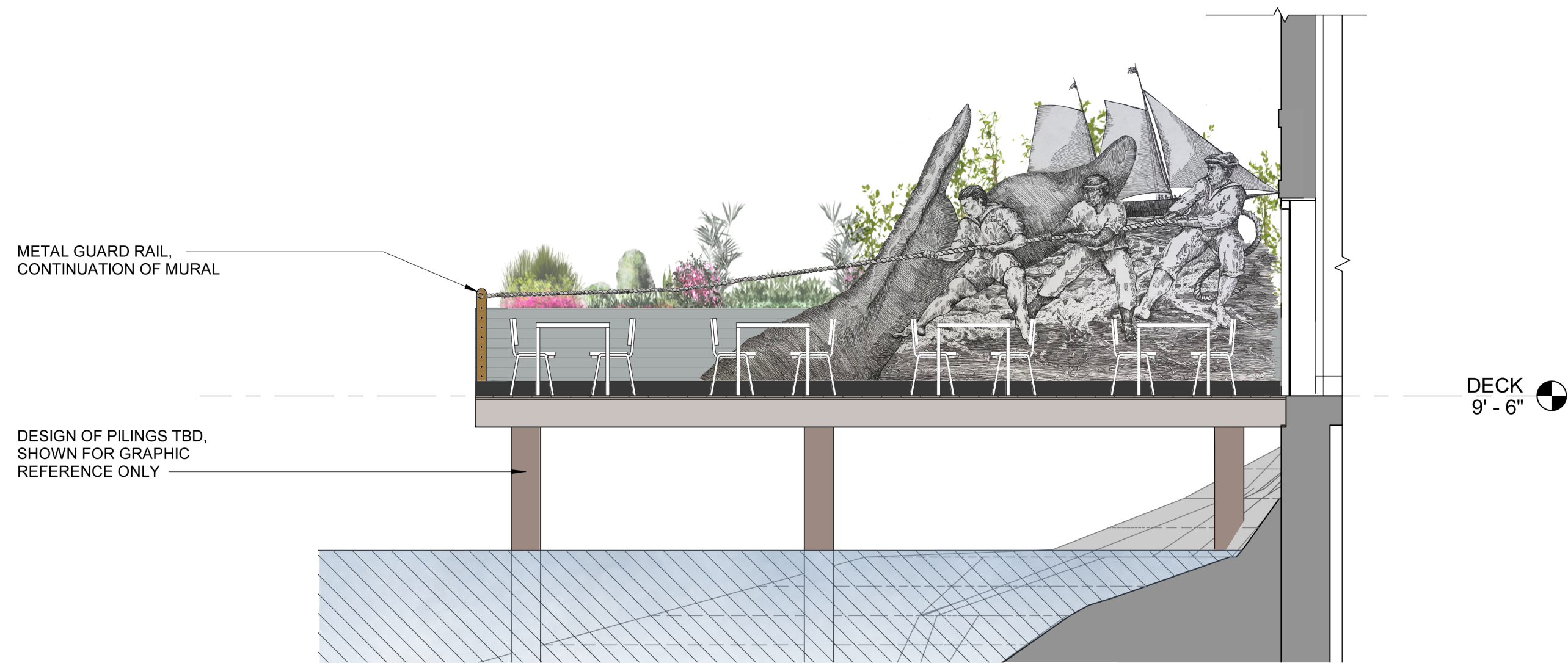
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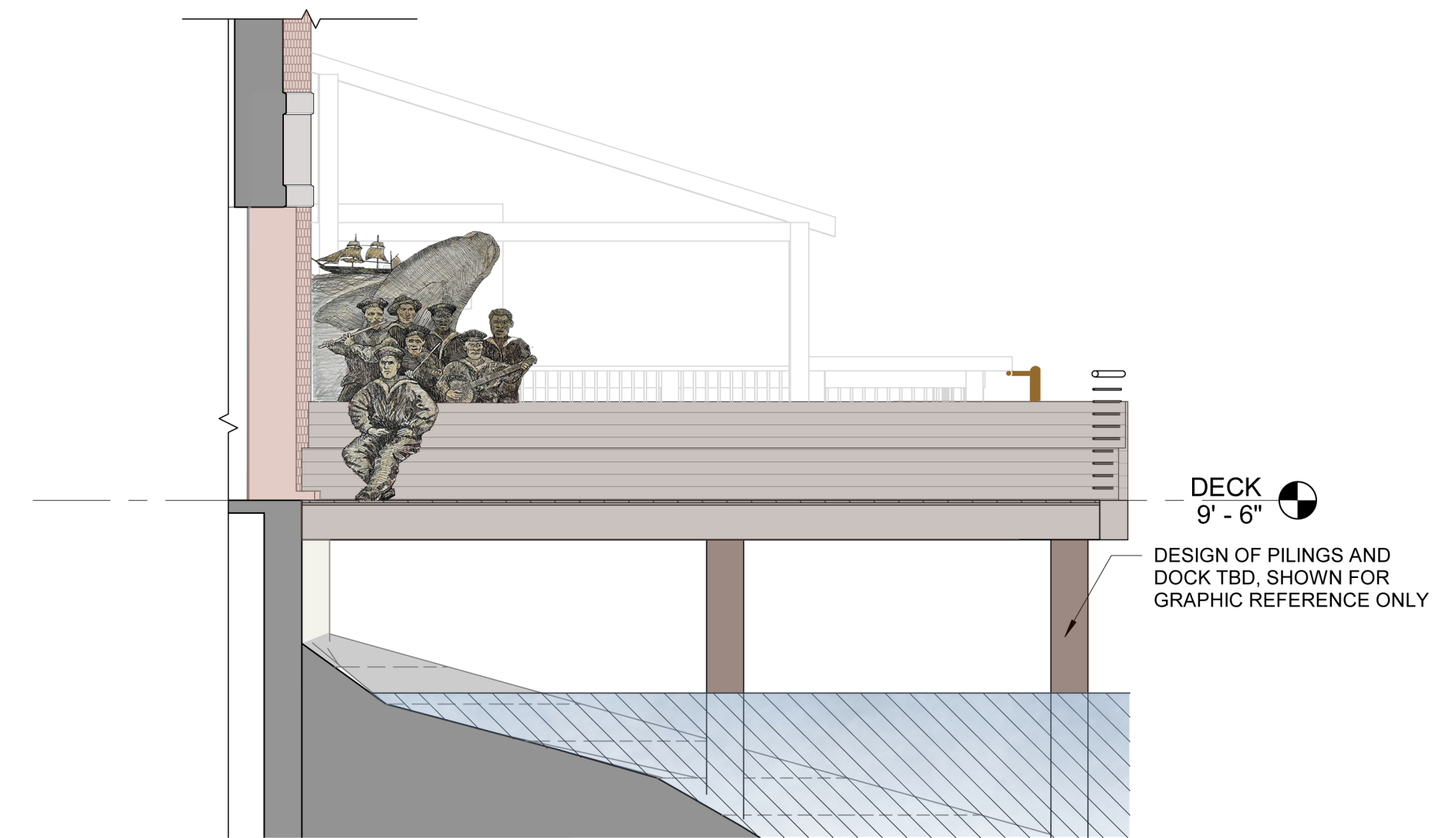
1 MARTINGALE WHARF DECK PLAN
1/8" = 1'-0"



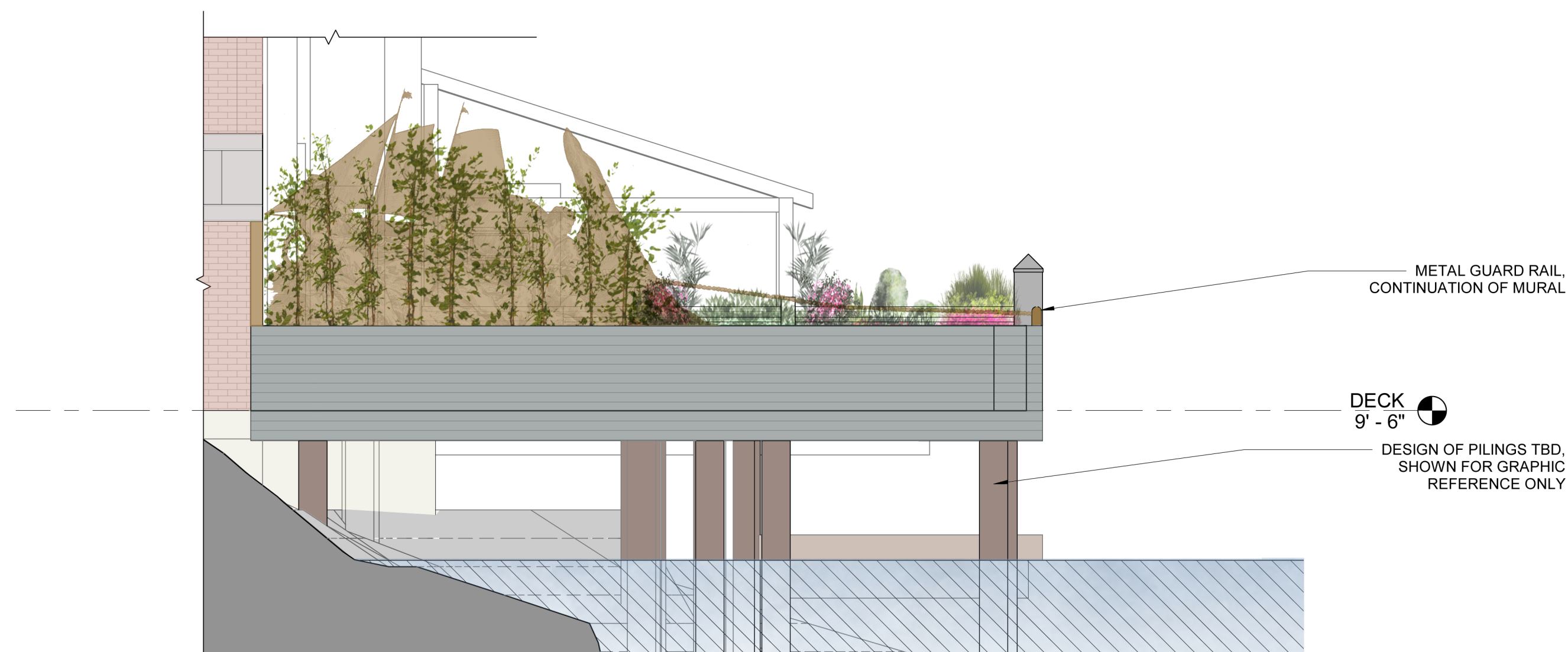




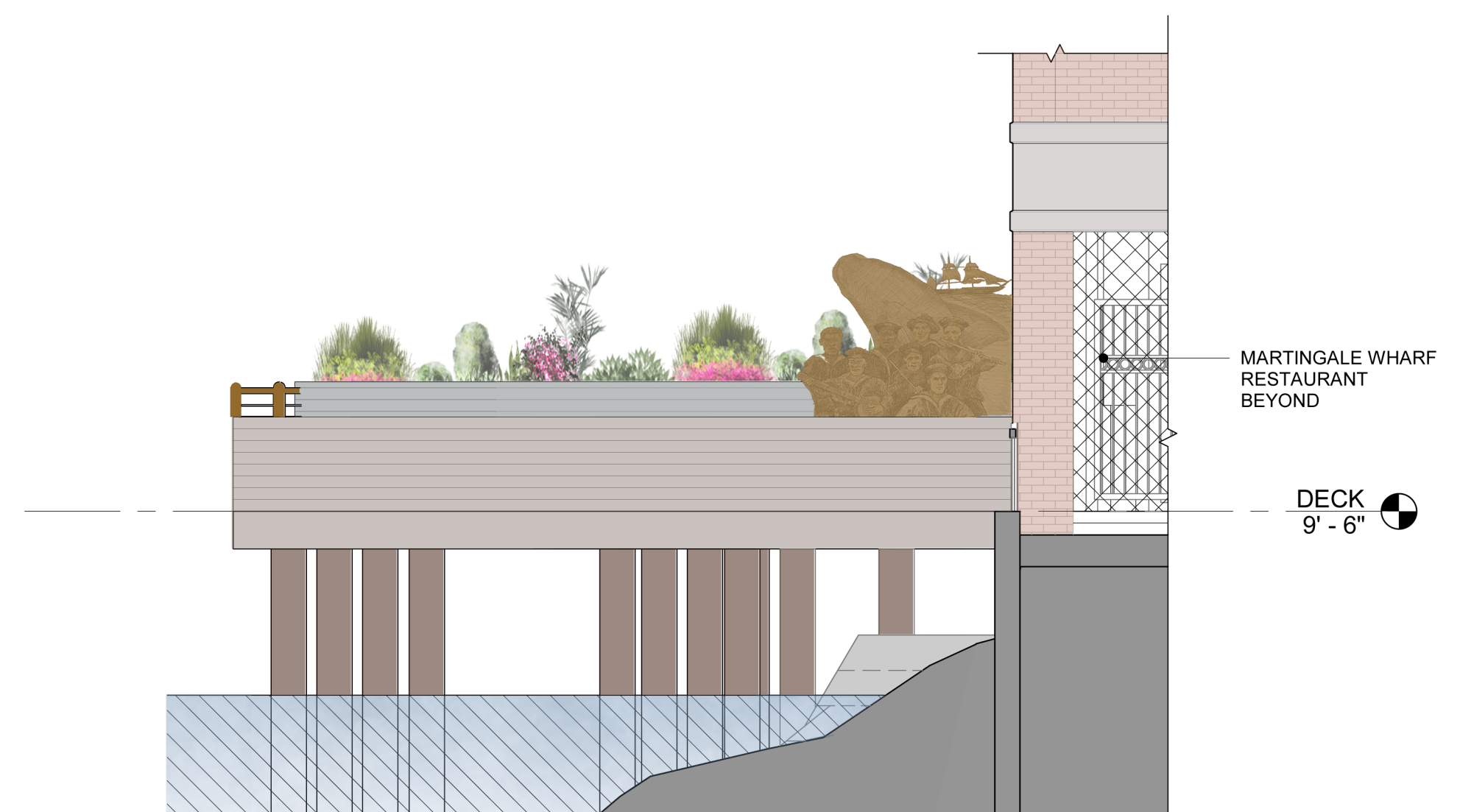
1 ELEVATION AT MARTINGALE WHARF MURAL (LOOKING EAST)
1/4" = 1'-0"



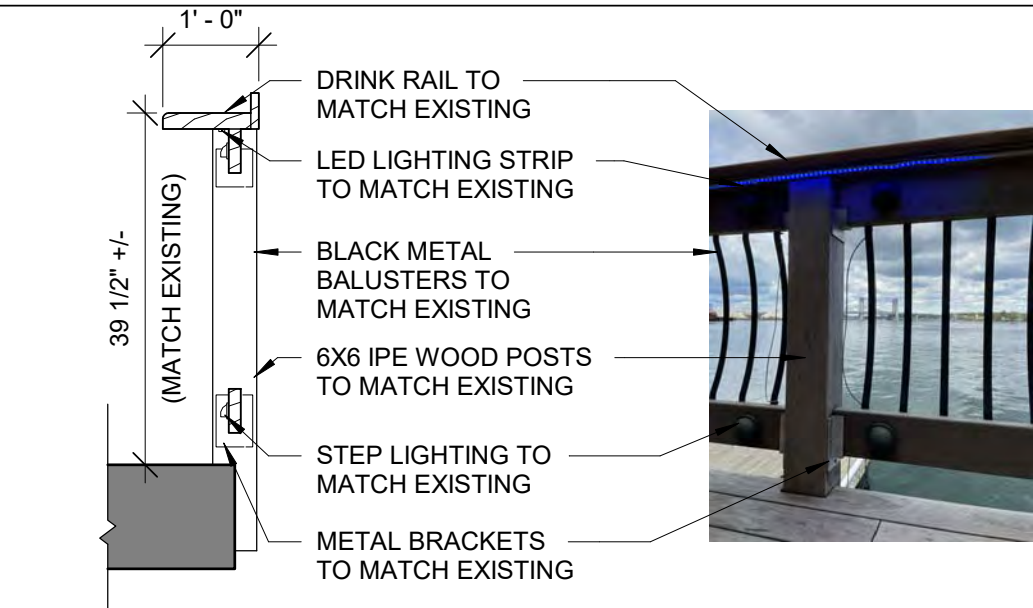
3 ELEVATION AT PUBLIC MURAL (LOOKING WEST)
1/4" = 1'-0"



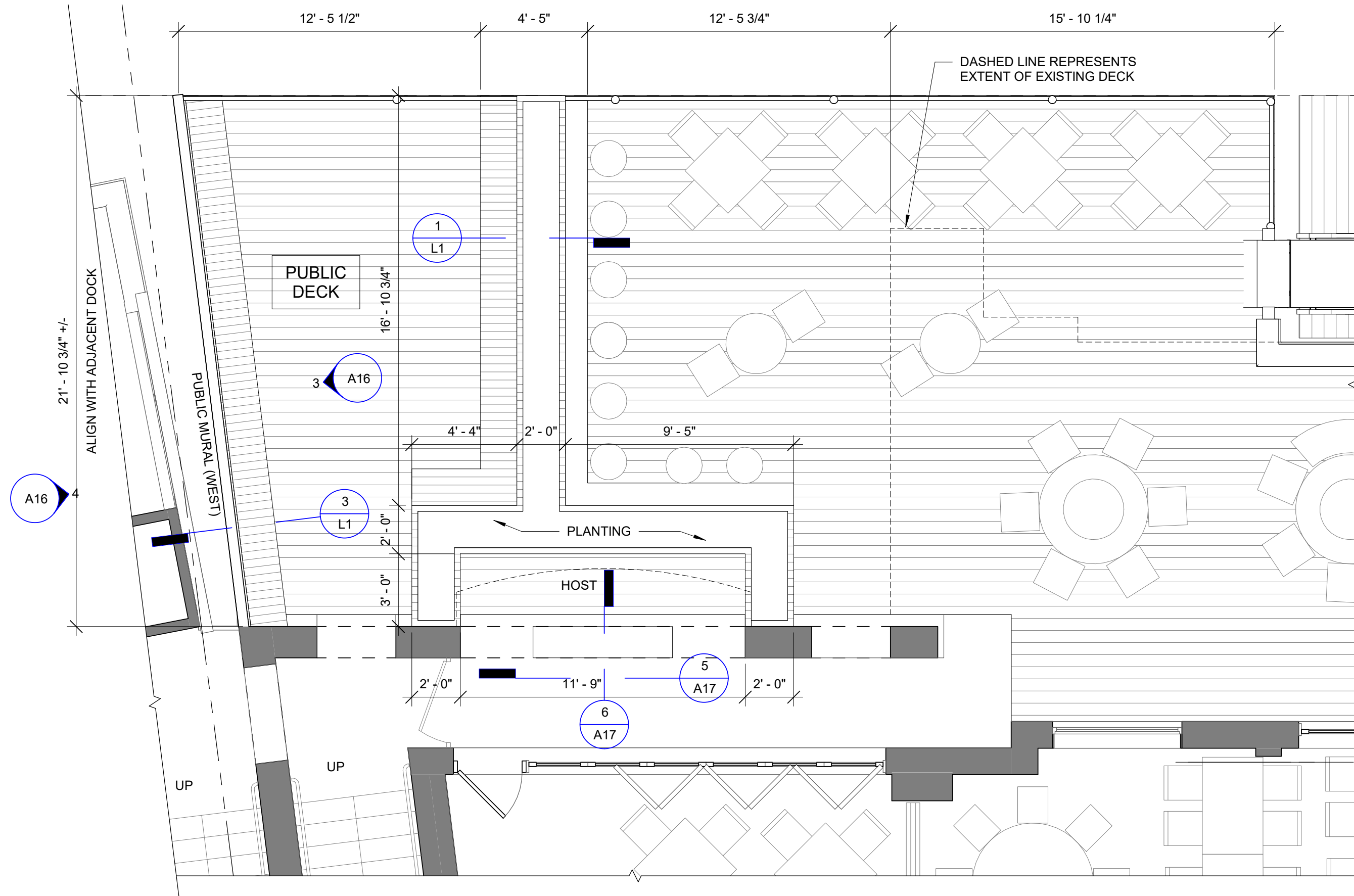
2 EAST ELEVATION (BACKSIDE OF MARTINGALE WHARF MURAL)
1/4" = 1'-0"



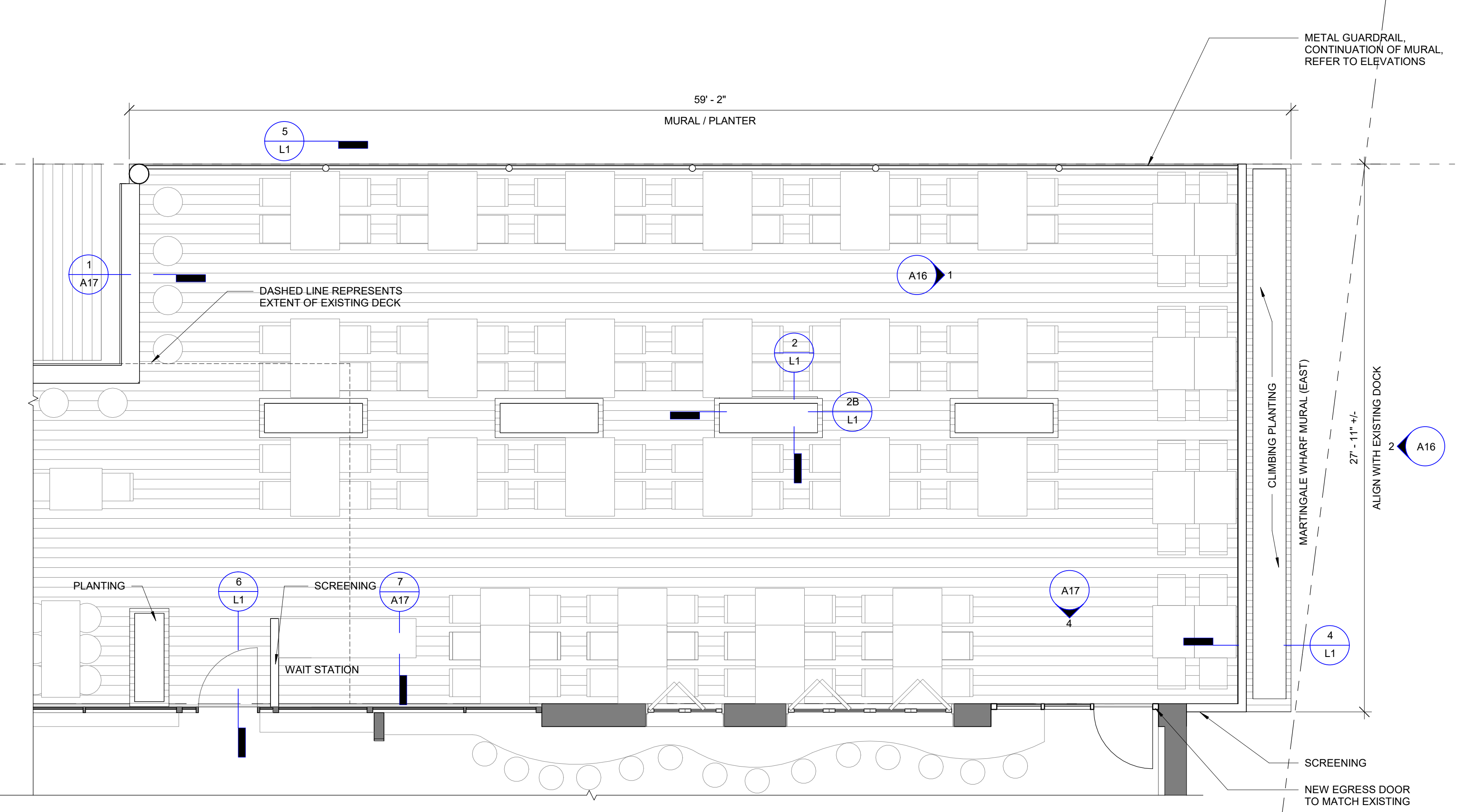
4 WEST ELEVATION (BACKSIDE OF PUBLIC DECK MURAL)
1/4" = 1'-0"



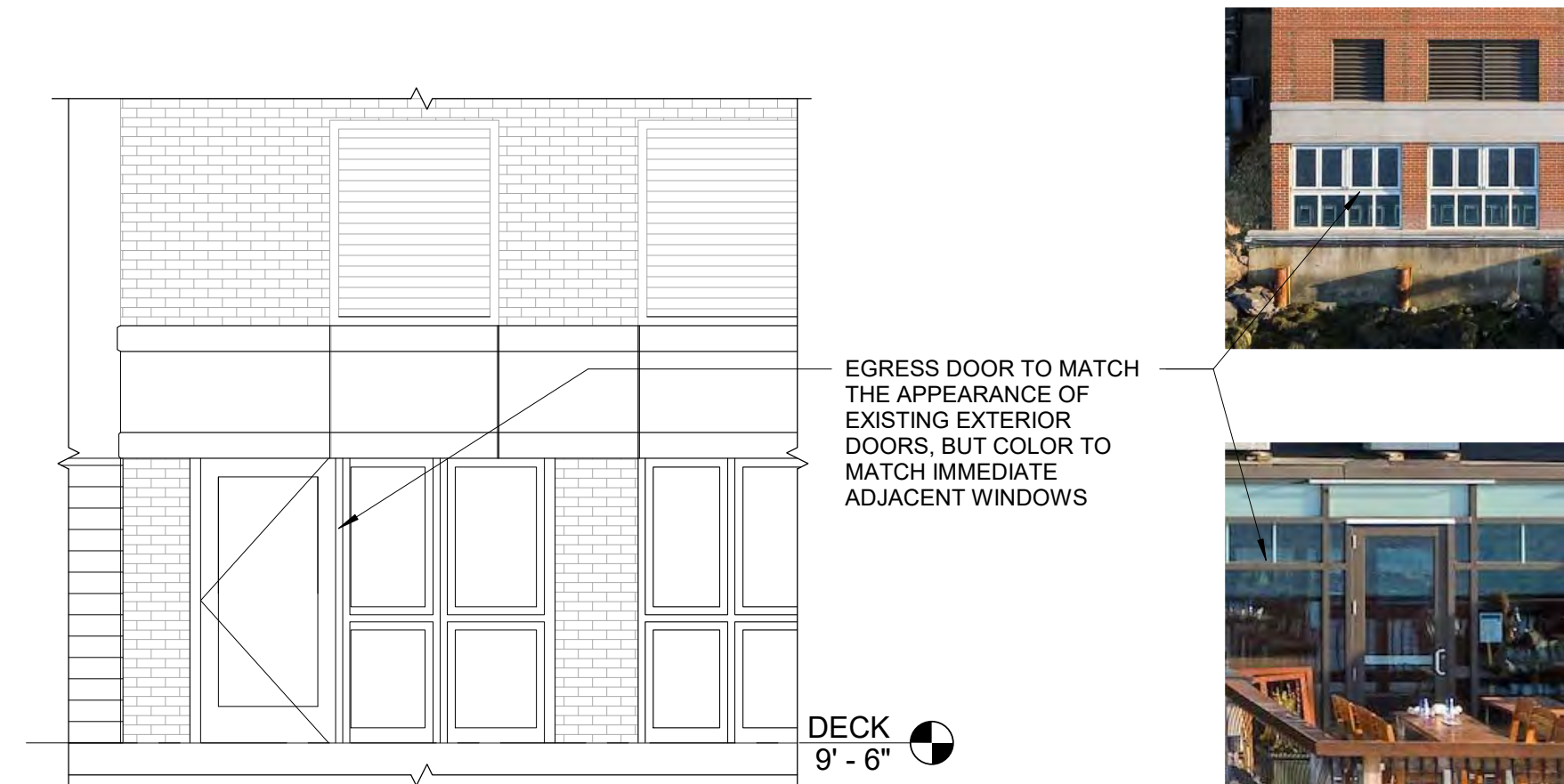
1 EXISTING DRINK RAIL EXTENTION SECTION DETAIL
1/2" = 1'-0"



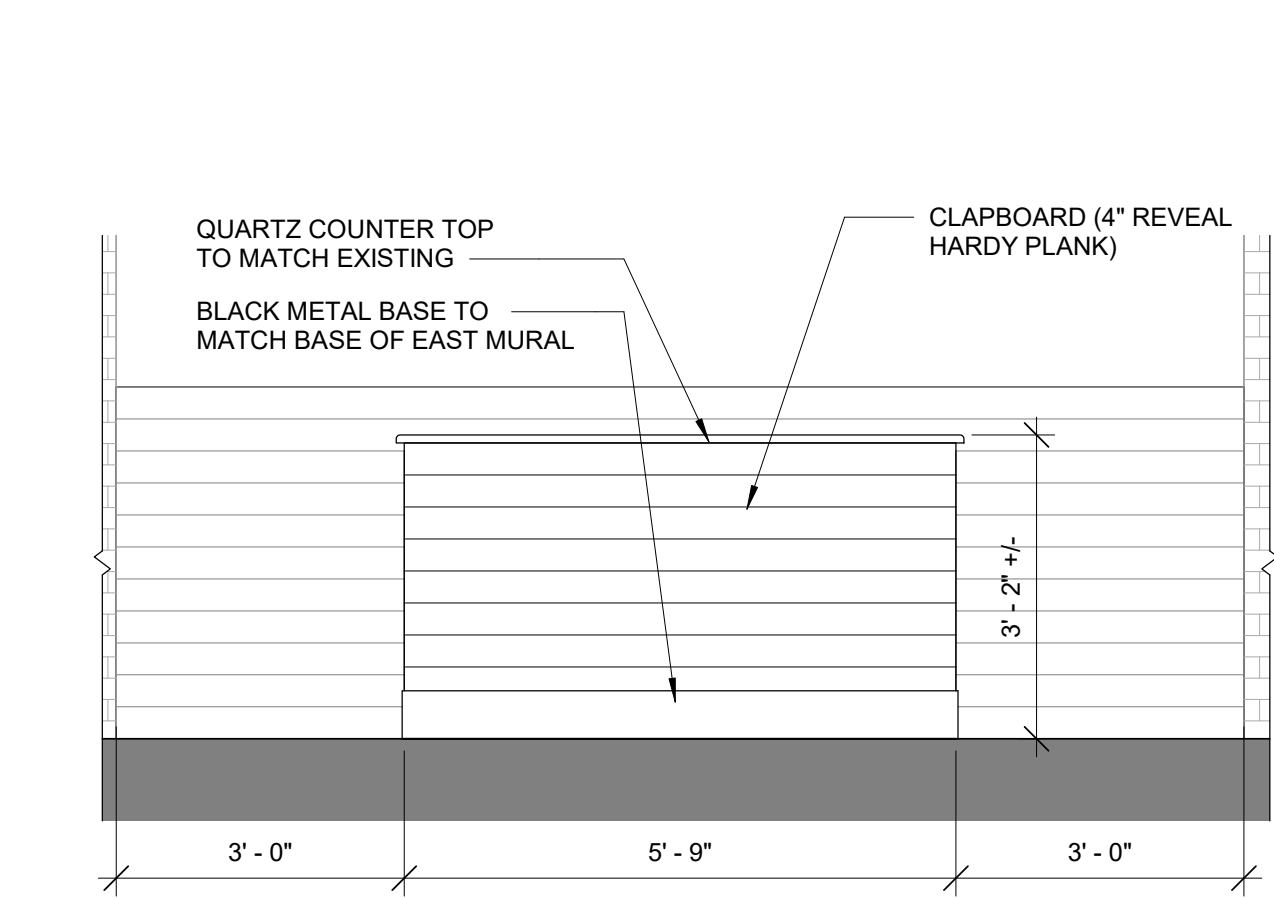
2 ENLARGED PUBLIC DECK PLAN
1/4" = 1'-0"



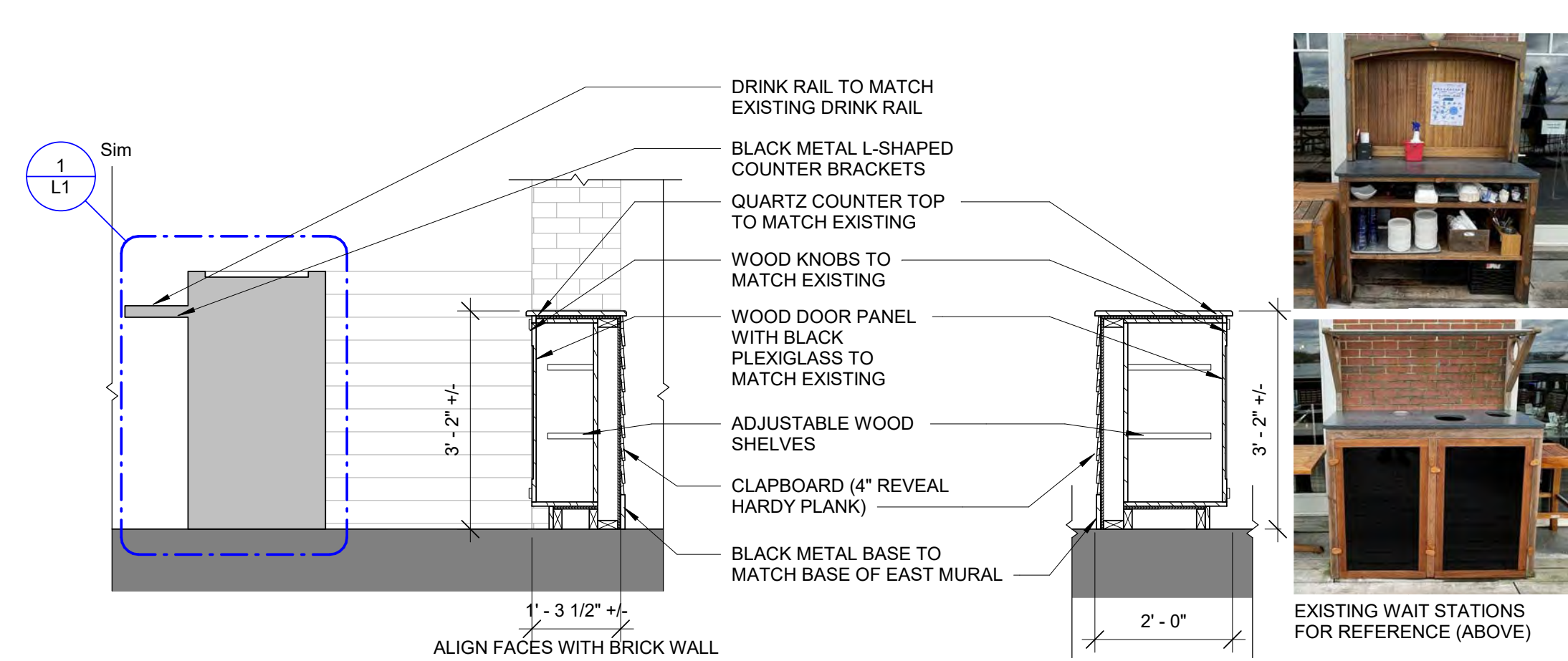
3 ENLARGED MARTINGALE WHARF DECK EXPANSION PLAN
1/4" = 1'-0"



4 EGRESS DOOR ELEVATION
1/4" = 1'-0"



5 ELEVATION AT HOST STATION
1/2" = 1'-0"



6 SECTION THROUGH HOST STATION
1/2" = 1'-0"

7 SECTION THROUGH TYPICAL WAIT STATION
1/2" = 1'-0"

PREVIOUSLY APPROVED DECK
EXPANSION APPLICATION FOR
REFERENCE

JUNE 8, 2015



CITY OF PORTSMOUTH

Community Development Department
(603) 610-7232

Planning Department
(603) 610-7216

PLANNING DEPARTMENT
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROVAL

Date: June 8, 2015
To: Martingale, LLC
P.O. Box 930
Portsmouth, NH 03802
Re: 99 Bow Street

The Historic District Commission considered your proposal at its meeting of June 3, 2015 wherein permission was requested to allow new construction to an existing structure (expand existing fixed pier) as per plans on file in the Planning Department.

After due deliberation, the Commission voted that the request be **approved** as presented with the following stipulation:

- 1) That this approval is contingent on the granting of a State wetland permit.

Findings of Fact: The proposed application meets the following purposes of the Historic District Ordinance (as applicable):

A. Purpose and Intent:

- ☐ Yes ☐ No - Preserve the integrity of the District
- ☒ Yes ☐ No - Maintain the special character of the District
- ☐ Yes ☐ No - Assessment of the Historical Significance
- ☒ Yes ☐ No - Complement and enhance the architectural and historic character
- ☐ Yes ☐ No - Conservation and enhancement of property values
- ☒ Yes ☐ No - Promote the education, pleasure & welfare of the District to the city residents and visitors

Page 2

Re: 99 Bow Street

June 8, 2015

The proposed application also meets the following review criteria of the Historic District Ordinance (as applicable):


B. Review Criteria:

- ☐ Yes ☐ No - Consistent with special and defining character of surrounding properties
- ☐ Yes ☐ No - Relation to historic and architectural value of existing structures
- ☒ Yes ☐ No - Compatibility of design with surrounding properties
- ☐ Yes ☐ No - Compatibility of innovative technologies with surrounding properties

PLEASE NOTE: Prior to the issuance of a building permit, the Building Inspector will need to review and approve construction drawings/sketches so work shall not commence until the review process is complete. Applicants should note that approvals may also be required from other Committees and/or Boards prior to the issuance of a Building Permit.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Respectfully submitted,



Joseph Almeida, Chairman
Historic District Commission

cc: Robert Marsilia, Chief Building Inspector
Rosann Maurice-Lentz, Assessor
Steve McHenry, McHenry Architecture

MARTINGALE WHARF

JUNE 3, 2015 - Historic District Commission, Public Hearing, Portsmouth, New Hampshire

General Project Description:

Waterfront Deck -

- Expand existing Wharf Restaurant deck
- Create a public wharf deck

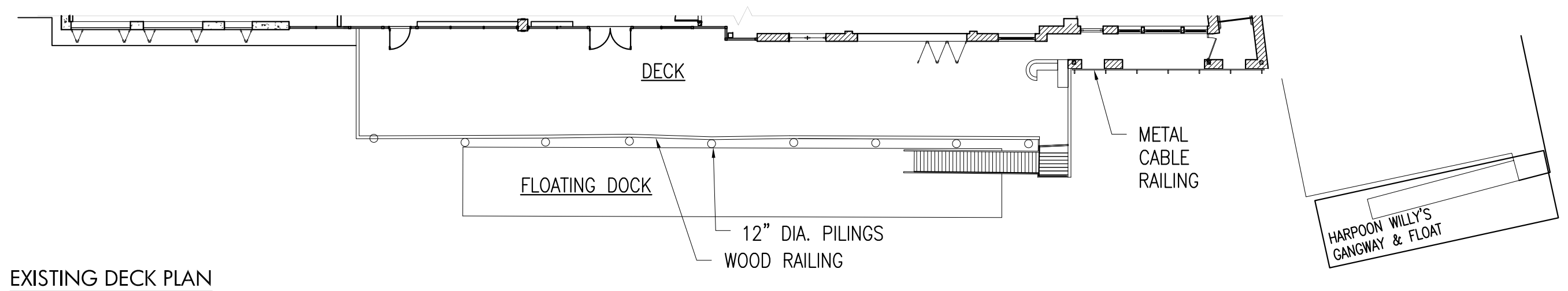
EXISTING DECK



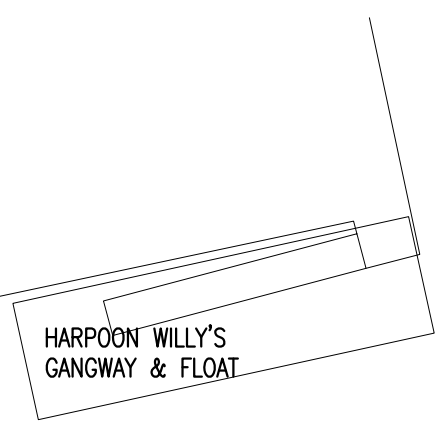
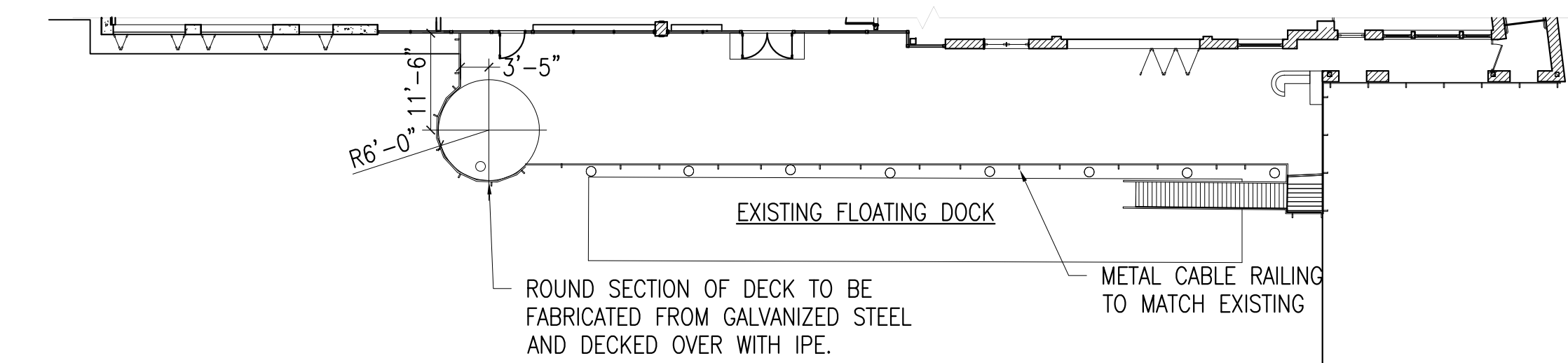
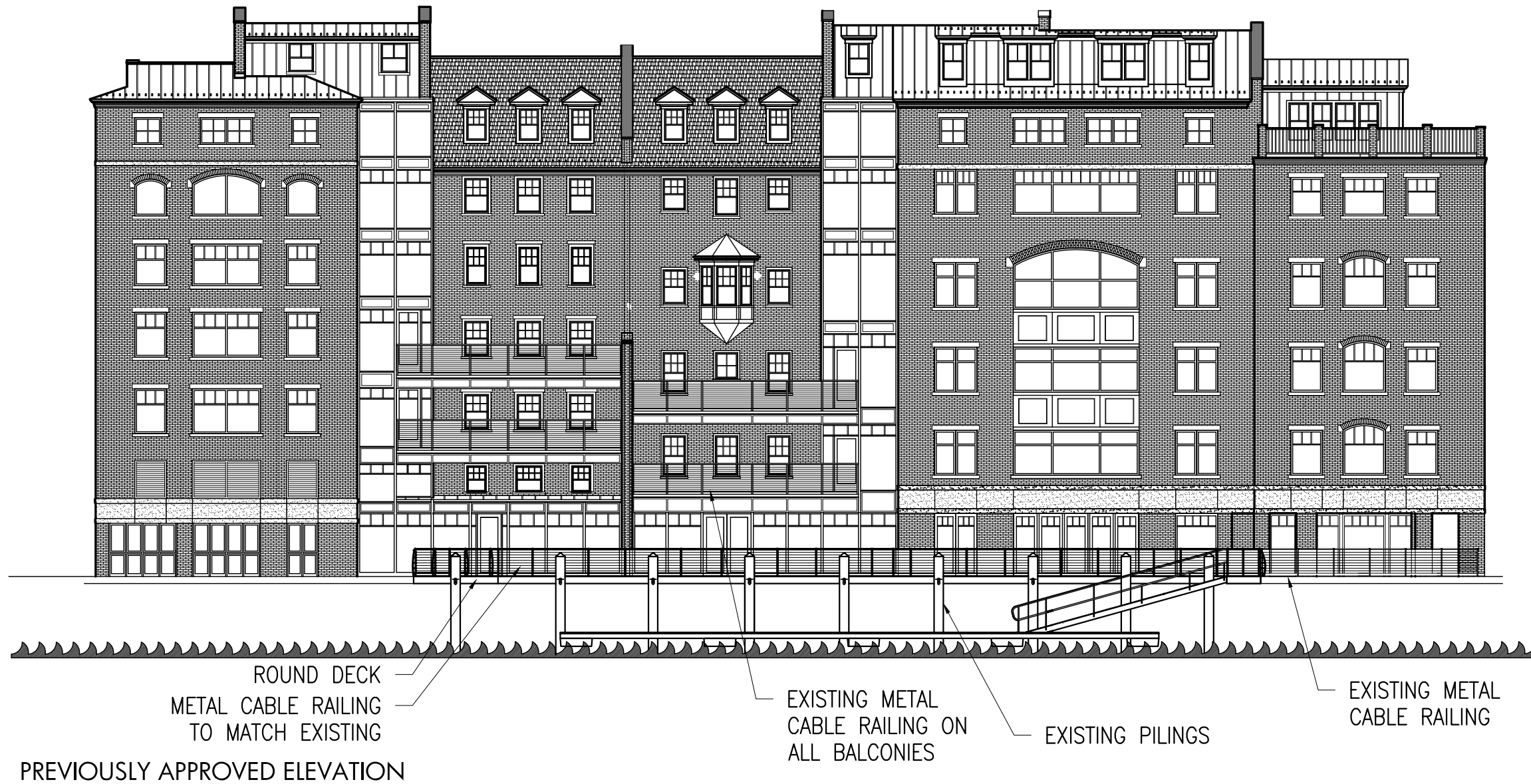


EXISTING DECK VIEW

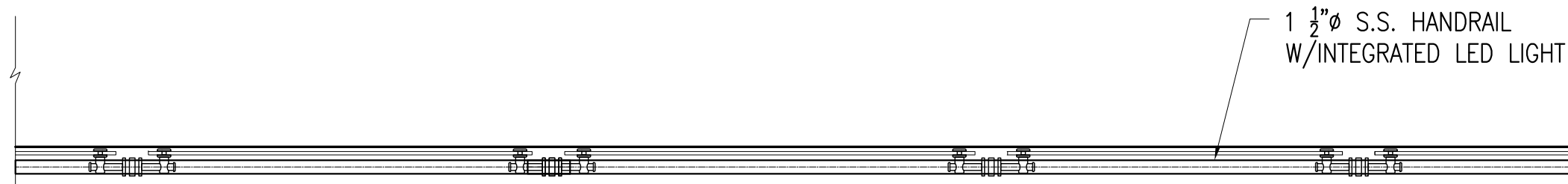




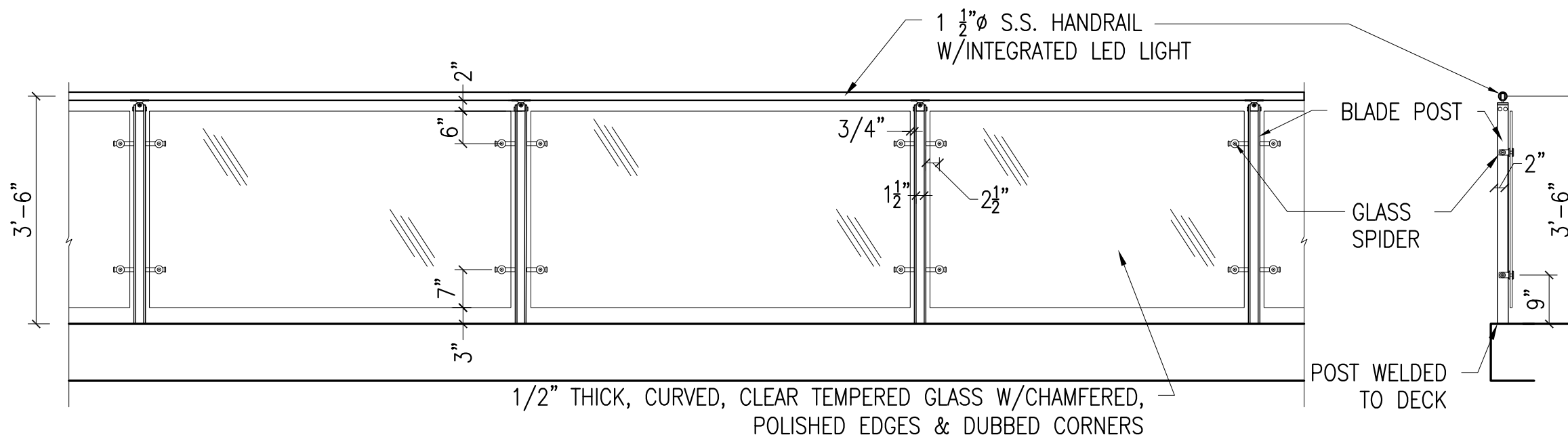
EXISTING DECK PLAN



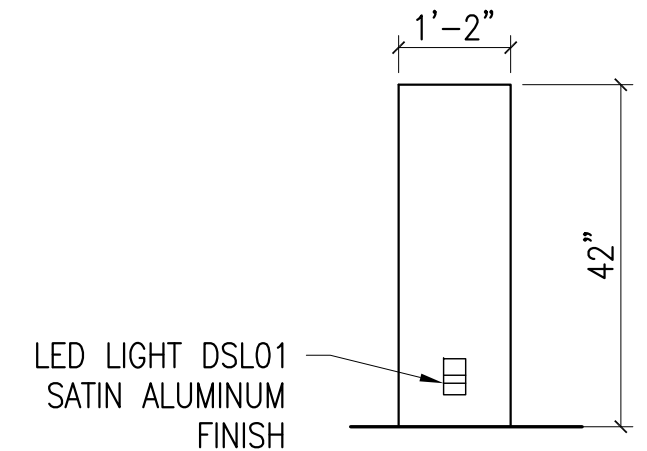
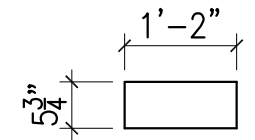
PREVIOUSLY APPROVED DECK PLAN



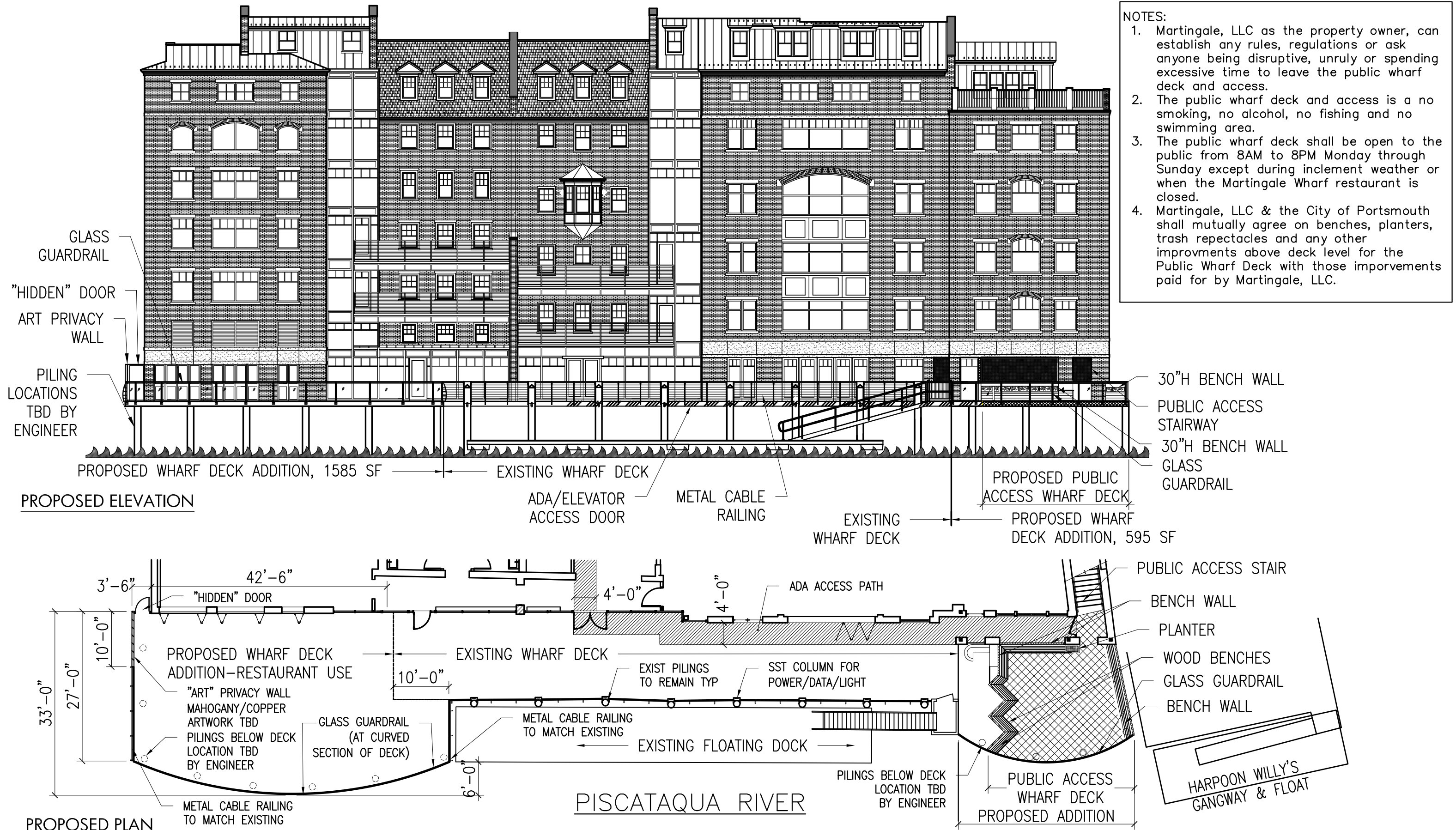
PREVIOUSLY APPROVED GLASS GUARDRAIL PLAN DETAIL
3/4"=1'-0"



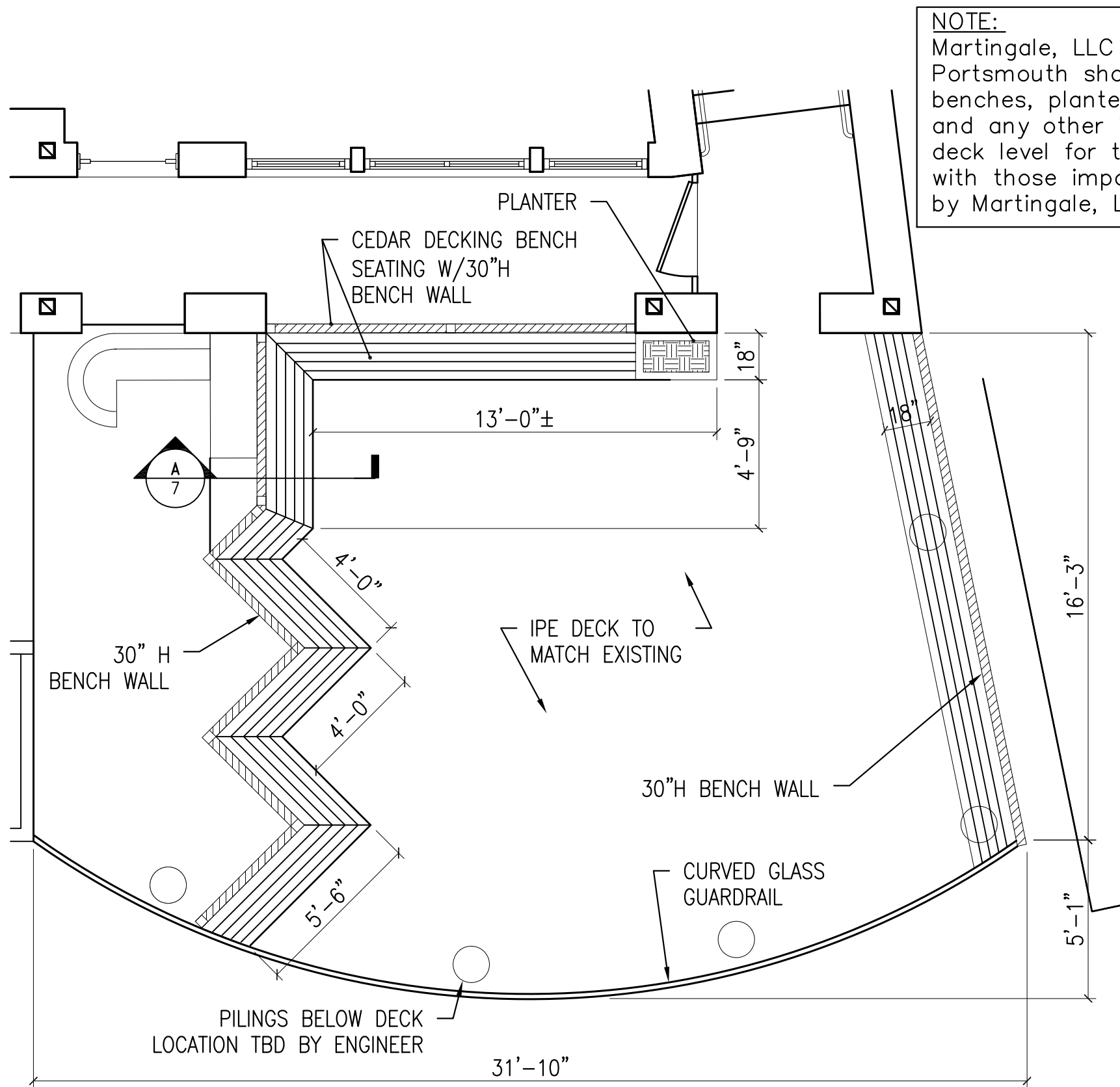
PREVIOUSLY APPROVED GLASS GUARDRAIL ELEVATION AND SECTION
1/2"=1'-0"



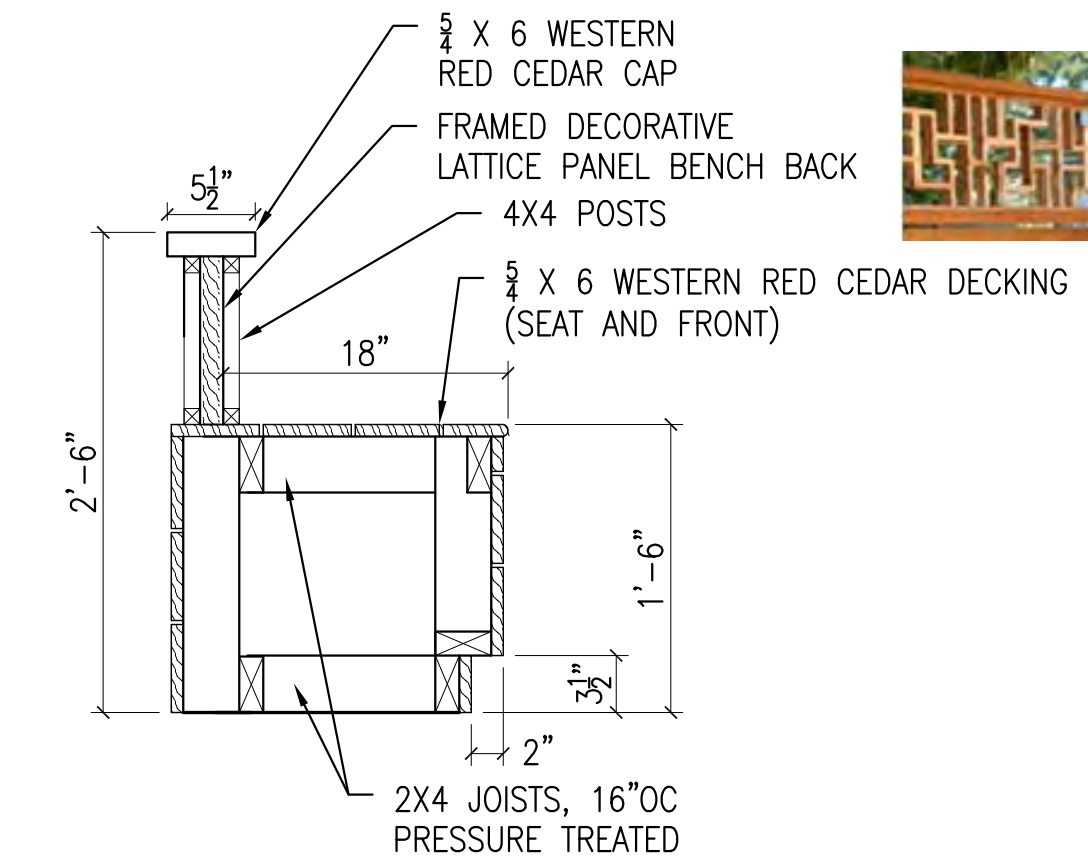
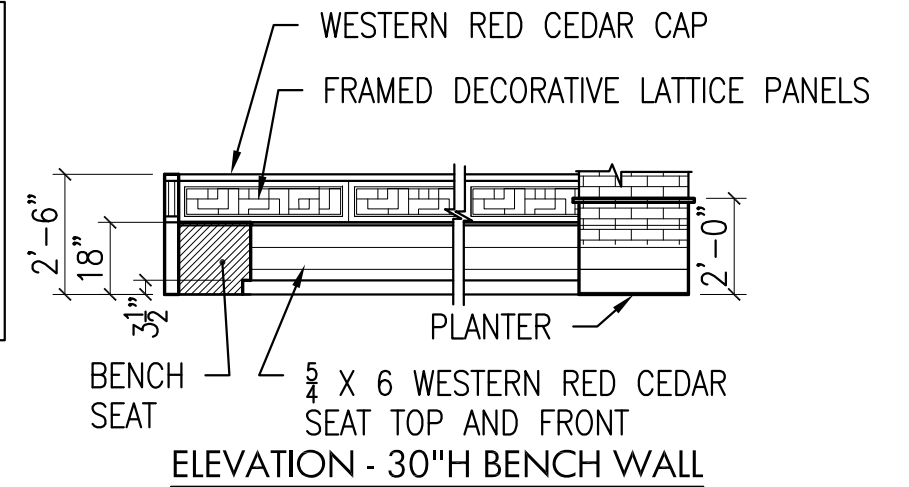
SS COLUMN ELEVATION
1/2"=1'-0"



- NOTES:
1. Martingale, LLC as the property owner, can establish any rules, regulations or ask anyone being disruptive, unruly or spending excessive time to leave the public wharf deck and access.
 2. The public wharf deck and access is a no smoking, no alcohol, no fishing and no swimming area.
 3. The public wharf deck shall be open to the public from 8AM to 8PM Monday through Sunday except during inclement weather or when the Martingale Wharf restaurant is closed.
 4. Martingale, LLC & the City of Portsmouth shall mutually agree on benches, planters, trash receptacles and any other improvements above deck level for the Public Wharf Deck with those improvements paid for by Martingale, LLC.



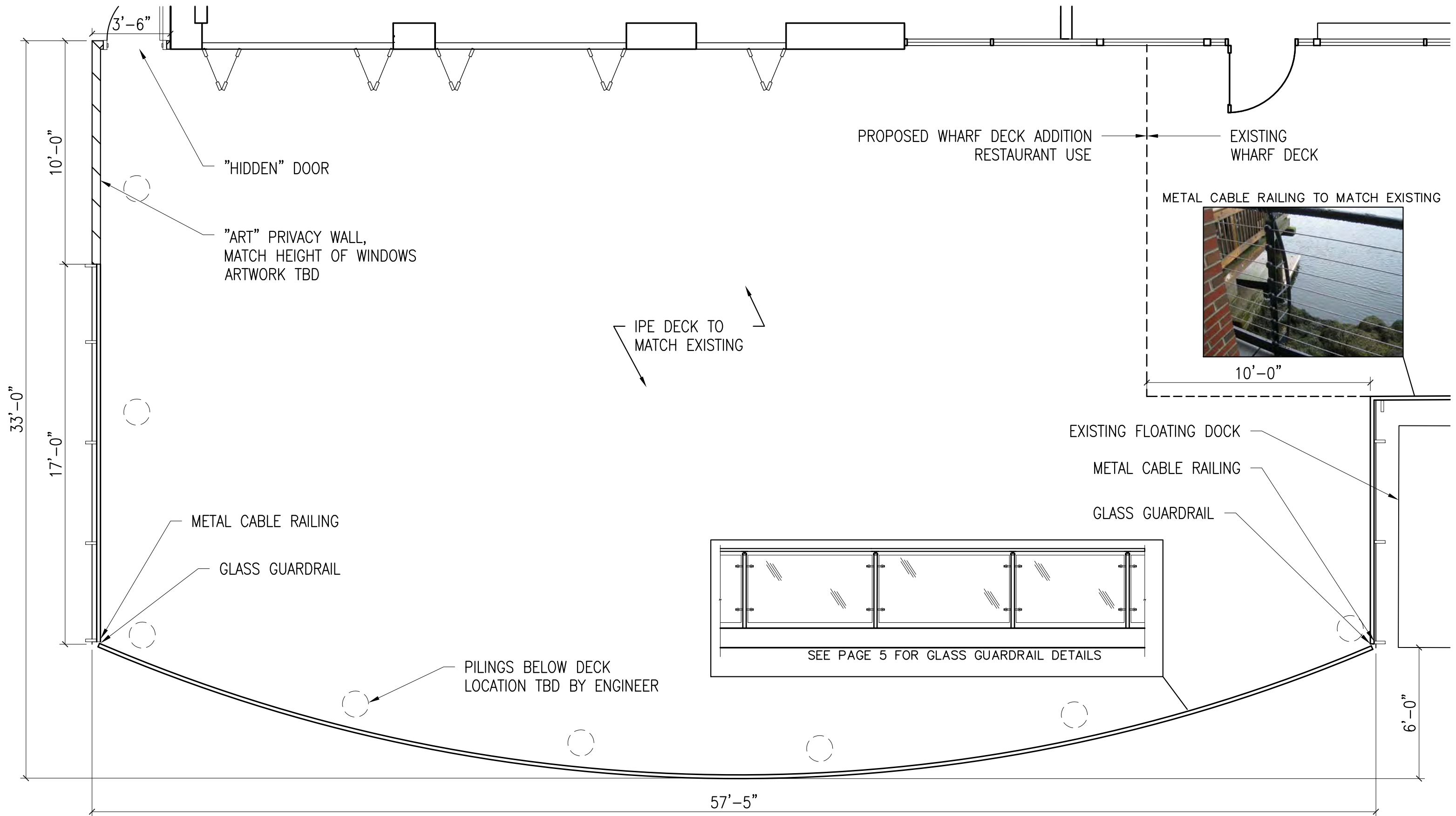
PROPOSED ENLARGED PLAN



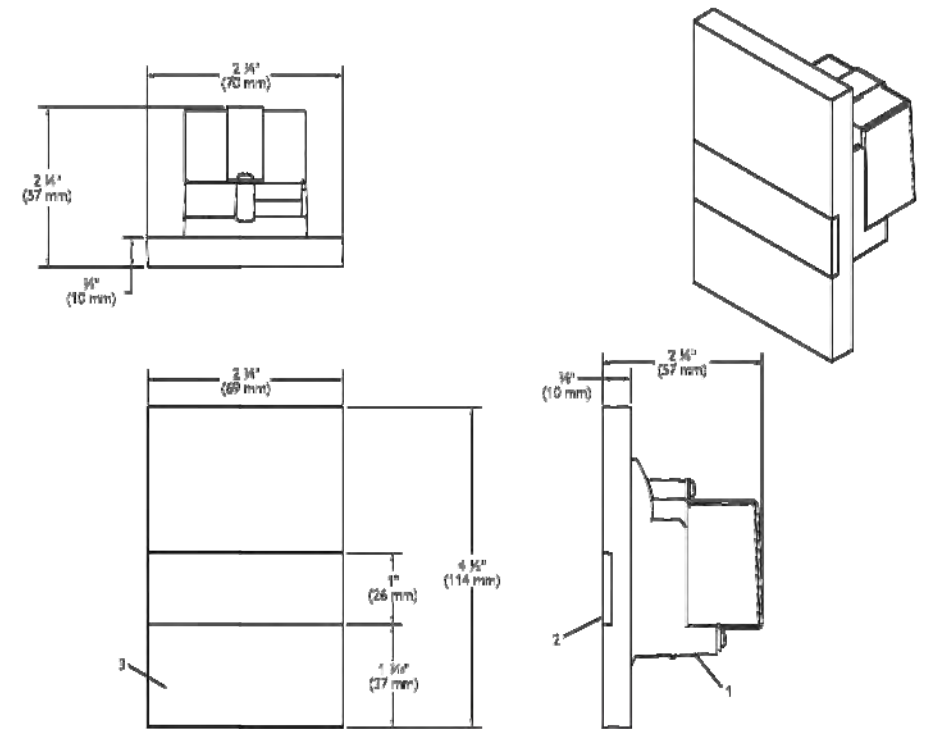
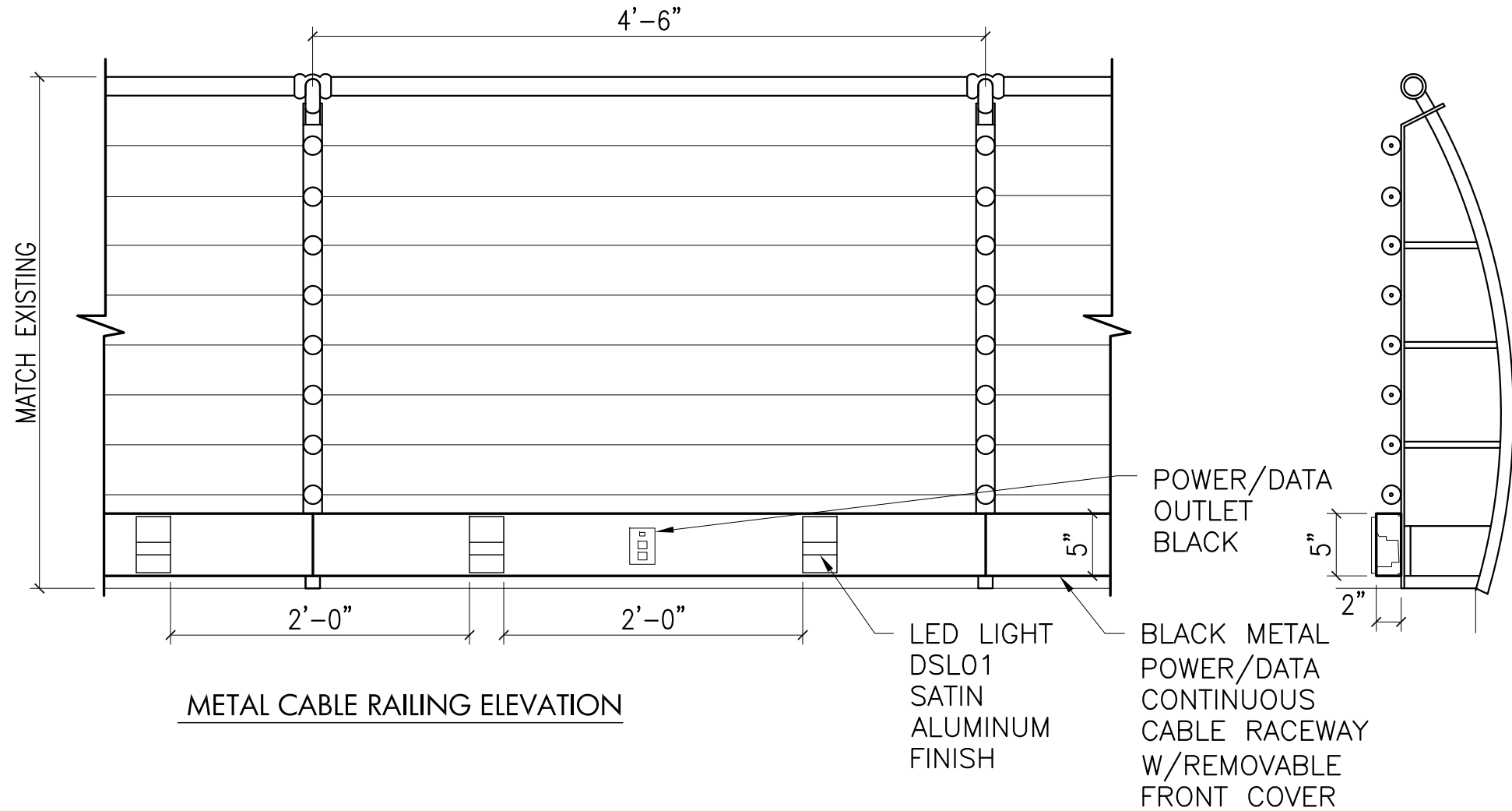
(A) SECTION @ BENCH WALL
(PLANTER TO MATCH BENCH CONSTRUCTION)

DECORATIVE LATTICE PANEL:
MANUFACTURER: LATTICESTIX
PATTERN D140
SIZE: 1507 (4' X 1'-10")
EDGE LATTICE=45 3/4"w x 21 3/4"h x 1 1/2"d
MATERIAL: WESTERN RED CEDAR





PROPOSED ENLARGED PLAN



Features

- 1. Heat Sink/Driver Housings: Die-cast aluminum.
- 2. Lens: Injection molded polycarbonate clear, developed for optimum optical output.
- 3. Face Plate: Die-cast aluminum.
- 4. Switch Box Mounting Plate: 18ga. C.R.S. zinc plated, for mounting to a 3 1/2" deep switch box. (Not shown)

Electrical

LED: (1) 4W 3000K white LED. Average expected life, under normal operating conditions is 50,000 hours with lumen maintenance of 70% of original light output.

Driver: Class 2 power supply.

Voltage: 120V

Electrical (continued)

Output Wattage: 5 W

Input Current (max.): 100 mA

Frequency: 50/60 Hz

Output Voltage (VDC): 12 V

Constant Current: 500 mA

Finish

Satin aluminum with protective clearcoat.

Matte white powder coat.

Labels

cULus Listed. Suitable for wet locations.

Wall mount only.



Philips Lighting
 e: led.webmaster@philips.com
 t: (508) 679-8131
 w: www.lightalliance.com
 DSL01 May 31, 2011
 Specifications are subject to change without notice.
 © Koninklijke Philips Electronics N.V., 2011. All rights reserved.

Job Information	Type:
-----------------	-------

40 Howard Street

LU-21-182

Public Hearing

**Kenneth Sullivan
40 Howard Street
Portsmouth, NH 03801**

Jon Wyckoff, Vice Chairman
Historic District Commission
1 Junkins Ave.
Portsmouth, NH 03801

September 17, 2021

RE: Request for HDC approval to replace 19 house windows at 40 Howard Street

Dear Vice Chairman Wyckoff,

As detailed below, my home at 40 Howard Street has nineteen (19) wooden, double hung windows with aluminum storms that I seek HDC approval to replace with hi-quality Green Mountain Window Co. Milestone Series wooden (not clad) double-hung windows of like-size, with matching window panes, and without storm windows. The existing windows and aluminum storms were installed by a previous owner in or about 1985 (the “1985 windows”). Both the 1985 windows and their installation were of modest quality, and do not operate well. In addition, there is considerable wood rot in various of the windows, trim boards and sills, with at least two of the sills completely rotted away, as depicted in the following **Exhibit-1** photos.

Exhibit-1 (two existing 1985 windows)



The windows to be replaced

Front of House. As depicted in **Exhibit-2**, currently, the front of the house (North side) has nine 1985 windows. The four 1985 windows on the first floor are Brosco B-305 double hung windows, with 9 over 6 panes, and 8" x 10" lights ("1985 Brosco 9 over 6"). The five 1985 windows on the second floor are Brosco B-303 double hung windows, with 6 over 6 panes, and 8" x 10" lights ("1985 Brosco 6 over 6").

Exhibit-2

Front (North side) of 40 Howard Street,
with existing 1985 windows and aluminum storms



I request to replace all nine of these 1985 windows with like-size Green Mountain windows, as detailed below.

The driveway side of the house. As depicted in **Exhibit-3**, on the driveway side (West side) of the house there are three 1985 windows to the left of the downspout that I seek to replace. On the 1st floor is a 1985 Brosco 9 over 6. On the 2nd floor is a 1985 Brosco 6 over 6, and on the 3rd floor (attic) is a 1985 Brosco 4 over 2. I seek to replace these three 1985 windows only.

To the right of the Downspout are two newer Marvin wooden double hung windows that I installed in 2015 with HDC approval. I do **not** seek to replace these.

Exhibit-3

Driveway side (West), with three 1985 windows (left of downspout), and two HDC-approved, 2015 Marvin windows (right of downspout).



The house side opposite my driveway (East side). This side has four 1985 windows, depicted here (partially obscured by vegetation) in the recent photo in **Exhibit-4**. The first floor has two 1985 Brosco 9 over 6 windows, and the second floor has two 1985 Brosco 6 over 6 windows. I seek to replace all four of these 1985 windows.

Exhibit-4

Side opposite my driveway (East side), with four 1985 windows.
Two 9 over 6 (1st floor), and two 6 over 6 (2nd floor)



Rear of house (South). The back of the house (South side) has six windows (plus French doors), as depicted in the recent photo in **Exhibit-5**. To the left of shed are two more of the newer Marvin wooden double hung windows that I installed in 2015 with HDC approval. I do **not** seek to replace these.

To the right of shed on the 3rd floor are two 1985, 2 over 2 Brosco casement windows, without storm windows. I do **not** seek to replace these.

To the right of shed there is a 1985 Brosco 6 over 6 window on both the 1st and 2nd floors. I seek to replace both of these. (Note: there is green plywood covering the first floor 1985 Brosco 6 over 6 window, which is temporarily removed for the designing & measuring of the replacement window).

Exhibit- 5 Rear of house (South)



Summary of existing 1985 windows I seek to replace:

Exhibit- 6 1985 Brosco 9 over 6 windows	
Number	Location
4	Front of house (North), 1st floor
1	My driveway side of house (West), 1st floor
2	Side opposite my driveway (East), 1st floor
Total: 7	

Exhibit- 7 1985 Brosco 6 over 6 windows	
Number	Location
5	Front of house (North), 2nd floor
1	My driveway side of house (West), 2nd floor
2	Side opposite my driveway (East), 2nd floor
2	Rear of house (South), one each on 1st and 2nd floors
Total: 11	

Exhibit- 8 1985 Brosco 4 over 2 window	
Number	Location
1	My driveway side of house (West), 3rd floor
Total: 1	

Total number of 1985 windows to be replaced: 19

The Green Mountain replacement window descriptions.

The replacement windows will be custom sized, energy efficient, Green Mountain Window Co. Milestone Series, Double Hung Windows: constructed of solid pine (not clad), with Lifespan Solid Select painted exterior, primed interior, Low E – Argon (or Krypton) filled glass, 4-9/16" jam, 5/8" SDL with grey spacer, oil rubbed hardware, 1 x 6 Lifespan select casing (see brochure section below), backband (ships loose), mahogany sill with historic sill nose, aluminum-framed half screen with charcoal fiberglass mesh screens (see data on schematic renderings below).

The window glass pane sizes for each custom-sized replacement Green Mountain window will match the respective, existing 1985 windows glass pane sizes. In addition, each Green Mountain replacement window will match the size of each respective, existing 1985 window, without any diminishment of window height or width.

Note that the 1985 Brosco 6 over 6 center window on the 2nd floor of the front of the house (North) is in a bathroom, and will be replaced with a Green Mountain window with tempered glass. Note also that the 1985 Brosco 4 over 2 window on the 3rd floor (attic) of my driveway side (West) will also be replaced with a Green Mountain window with tempered glass.

Exhibit- 9 Green Mountain Milestone Series Energy Data Sheet

Double Hung Windows: Classic and Milestone Series

When we say "Made in the Northeast for the Northeast" we mean that there is a Green Mountain window to suit the needs of everyone who wishes to increase their energy efficiency and look good doing it. To deliver on this promise Green Mountain Window and Door offers two quality product lines from which to choose.

Milestone

Our high end Milestone line sets the standard for maximum thermal performance and adherence to traditional detail. Rated among or above the best in the industry for air infiltration, the Milestone window is second to none in preserving your interior climate and withstanding the outside elements. Defining aesthetic features such as a concealed block-and-tackle balance system and a hidden tilt-in latch system, authentic traditional details such as wide rails and narrow muntins, and a wide array of decorative options put this premium double hung window miles ahead of its competition.

Classic

Our original Classic line stands out as one of the best values in the industry. Available with either wood or vinyl clad framing, the Classic double hung window line offers a number of advantages over other manufacturers' products. Mortised, tenoned, and pinned corner joints contribute to superior structural integrity; block-and-tackle tilt-in balances provide added durability and smooth operation. Add to the list a variety of traditional colonial features and options and you've got the perfect fit for the fiscally prudent Northeasterner who refuses to compromise on quality.

Green Mountain windows are manufactured using the finest materials and technologies available in the industry today. Our windows have been certified as thermally superior to most windows marketed in the Northeast. They will help lower heating and cooling costs, virtually eliminate moisture condensation, and protect furniture and carpeting from damaging UV rays. Our windows afford the convenience of a modern tilt-in sash with the traditional look of New England.

Thermal Barrier Protection




All Green Mountain windows can be constructed with low-emissivity argon or krypton gas filled, insulating glass. Add to that a warm edge spacer system and you have a thermal barrier that keeps the inner surface of your window closer to the inside room temperature, thus keeping your home warmer in winter, cooler in summer.

Energy Star Rated

With the appropriate glazing, Green Mountain windows exceed current industry "resistance to thermal transfer" standards for measuring thermal performance. Why? Because our windows are actually a source of energy. The U.S. Department of Energy has awarded Green Mountain Windows its ENERGY STAR Certification because our windows are so energy efficient. In a single day our high tech glass can contribute up to 2 1/2 times more heat into a home than it allows to escape. In fact, it is estimated that for every Green Mountain window installed vs. regular insulated glass, a savings of about 12.5 gallons of oil can be realized each heating season.

NFRC Certified

The Green Mountain window has been tested by an independent laboratory and has been NFRC Certified. This gives you the security of knowing you are purchasing a tested, reliable product that surpasses most other windows on



SELECT ENERGY DATA COMPARISONS

WINDOW	GLASS	ENERGY STAR RATED?	NFRC CERTIFIED?	RESIDENTIAL				PERFORMANCE RATING
				U-FACTOR	R-VALUE	SHGC	VT	
Milestone Wood	1/2" Low-E Krypton	YES	YES	.28	3.37	.29	.52	DP35*
Classic Wood	1/2" Low-E Krypton	YES	YES	.29	3.44	.29	.52	DP30
Classic Vinyl Clad	1 1/16" Low-E Argon	YES	YES	.30	3.00	.29	.52	DP30

*DP40 option available

Schematics - Green Mountain Co. 9 over 6 light windows

Exhibit-10 (schematic of proposed Green Mountain 9 over 6 light windows)

Specifications For: Custom Size Milestone Double Hung,
Frame = 28 7/8"x57 7/8"

Glass: 1/8" Low E Glass Exterior Lite, 1/4" Airspace Filled With Argon,
1/8" Clear Interior Lite, Gray Edge Spacer Bar

Sash: Solid Pine Sash. Mortice, Tenon and Pinned Corners, Black Painted
Exterior, Primed Interior. Non-tilting Top Sash

Frame: Pine. 4 9/16" Jamb, Custpm Color Painted Exterior, Primed Interior, 4/4x5
Lifespan Casing (ships loose) with Backband, Mahogany Sill with Type B Historic
Sill Nose

Divided Lights: 5/8" Simulated Divided Light with Black Spacer 9/6

Hardware: Oil Rubbed Bronze Sash Lock and 2 White Tilt Latches

Screen: Black Aluminum Half Screen with Charcoal Fiberglass Mesh

Quantity: Seven (7)

Approval:

1. Head Detail

2. Jamb Detail

3. Sill Detail

4. Muntin Detail

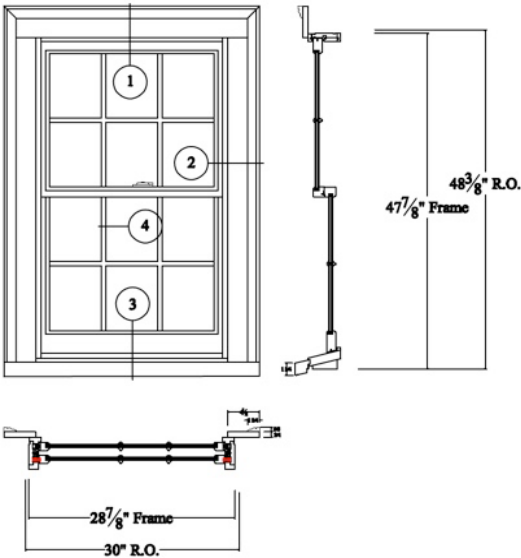
Order #:
Line #:
Date: 8-6-21
CAD: ARK

Typical 9/6, 40 Howard St, Portsmouth

Green Mountain Window Company
92 Park Street Rutland, Vermont

Schematics - Green Mountain Co. 6 over 6 light windows

Exhibit-11 (schematic of proposed Green Mountain 6 over 6 light windows)



Specifications For: Custom Size Milestone Double Hung,
Frame = 28 7/8"x47 7/8"

Glass: 1/8" Low E Glass Exterior Lite, 1/4" Airspace Filled With Argon,
1/8" Clear Interior Lite, Gray Edge Spacer Bar

Sash: Solid Pine Sash. Mortice, Tenon and Pinned Corners, Black Painted
Exterior, Primed Interior.

Frame: Pine. 4 9/16" Jamb, Custom Color Painted Exterior, Primed Interior, 4/4x5
Lifespan Casing (ships loose) with Backband, Mahogany Sill with Type B Historic
Sill Nose

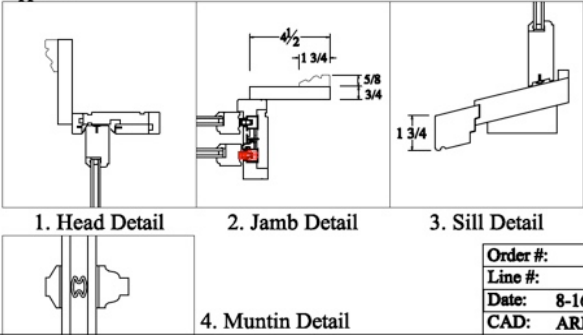
Divided Lights: 5/8" Simulated Divided Light with Black Spacer 6/6

Hardware: Oil Rubbed Bronze Sash Lock and 2 White Tilt Latches

Screen: Black Aluminum Half Screen with Charcoal Fiberglass Mesh

Quantity: Eight (8)

Approval:



Order #:
Line #:
Date: 8-16-21
CAD: ARK

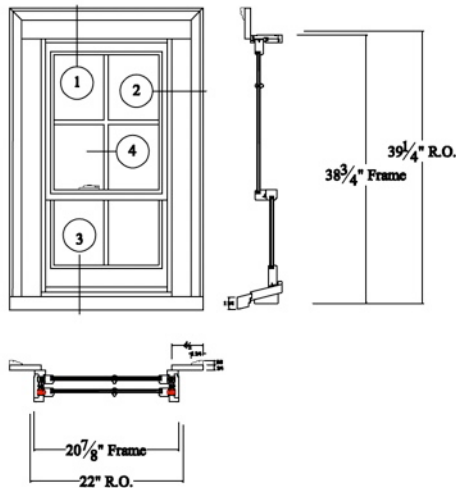
Typical 6/6, 40 Howard St, Portsmouth

Green Mountain Window Company
92 Park Street Rutland, Vermont

Schematics

Green Mountain Co. 4 over 2 light window (only 1, to replace existing, driveway side (West), 3rd story (attic) existing 1985 Brosco 4 over 2 window

Exhibit-12 (schematic of proposed Green Mountain 4 over 2 light window)



Specifications For: Custom Size Milestone Double Hung,
Frame = 20 7/8"x38 3/4"

Glass: 1/8" Low E Glass Exterior Lite, 1/4" Airspace Filled With Argon,
1/8" Clear Interior Lite, Gray Edge Spacer Bar

Sash: Solid Pine Sash. Mortice, Tenon and Pinned Corners, Black Painted
Exterior, Primed Interior. Non-tilting Top Sash

Frame: Pine. 4 9/16" Jamb, Custpm Color Painted Exterior, Primed Interior, 4/4x5
Lifespan Casing (ships loose) with Backband, Mahogany Sill with Type B Historic
Sill Nose

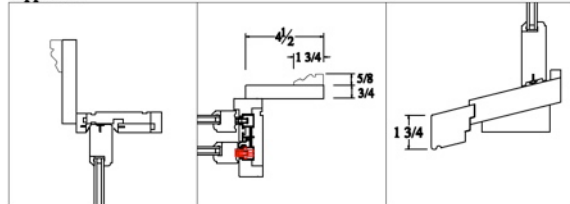
Divided Lights: 5/8" Simulated Divided Light with Black Spacer 4/2

Hardware: Oil Rubbed Bronze Sash Lock and 2 White Tilt Latches

Screen: Black Aluminum Half Screen with Charcoal Fiberglass Mesh

Quantity: One (1)

Approval:



1. Head Detail

2. Jamb Detail

3. Sill Detail

4. Muntin Detail

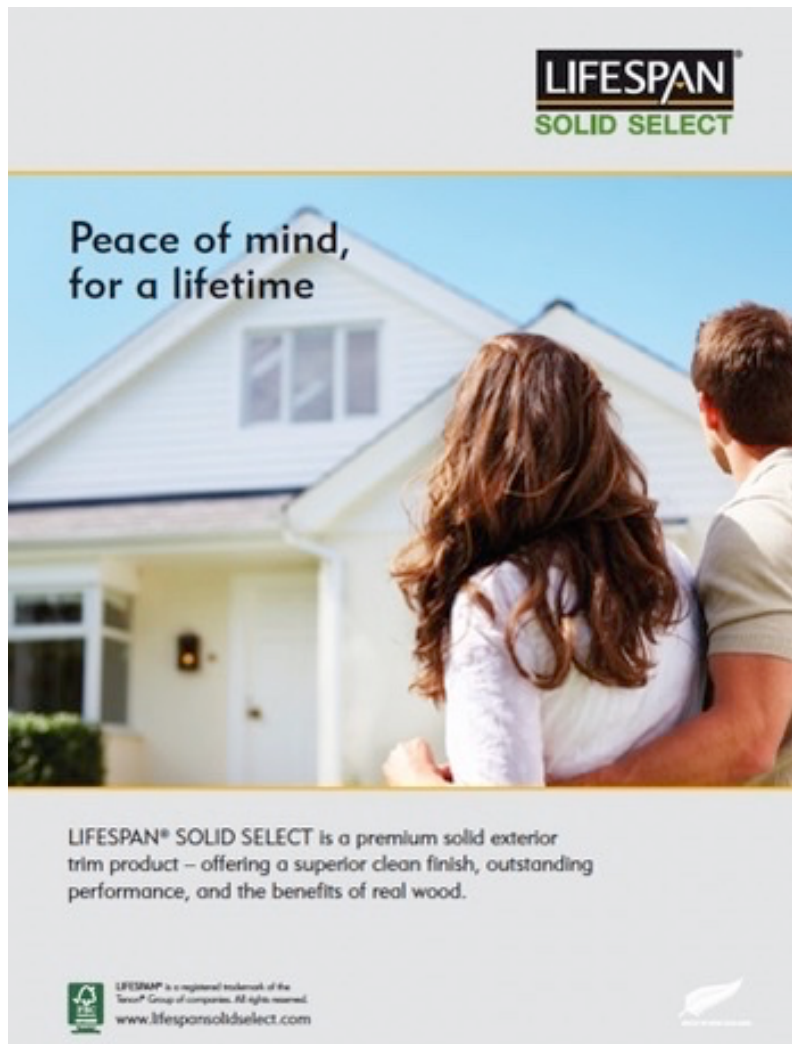
Order #:	
Line #:	
Date:	9-17-21
CAD:	ARK

Typical 4/2, 40 Howard St, Portsmouth

Green Mountain Window Company

92 Park Street Rutland, Vermont


Exhibit- 13 (Lifespan Solid Select)



LIFESPAN[®]
SOLID SELECT

Peace of mind,
for a lifetime

LIFESPAN[®] SOLID SELECT is a premium solid exterior trim product – offering a superior clean finish, outstanding performance, and the benefits of real wood.

 LIFESPAN[®] is a registered trademark of the
Trex[®] Group of companies. All rights reserved.
www.lifespansolidselect.com




Exhibit- 14 Green Mountain Co. information sheet



*Tradition
&
Technology*

Founded in 1993, the Green Mountain Window & Door™ Company integrates the latest technology with good old-fashioned Yankee craftsmanship. At our plant in Rutland, Vermont we tailor our product to your needs by controlling the entire manufacturing process. We manufacture our own high performance insulating glass. We apply primer and paint using the Cabot Factory Finish System in our paint department. And we hand assemble and sand each window in our production department. Additionally, we use SFI-certified pine and FSC-certified mahogany to help assure the longevity of our natural resources.



GREEN MOUNTAIN
WINDOW & DOOR
COMPANY

92 Park Street
Rutland, Vermont 05701
Phone: 802.747.6915
Fax: 802.747.7864
www.greenmountainwindow.com

Among other benefits, the proposed replacement of windows are intended to preserve the integrity of the District, maintain the special character of the District, complement and enhance the architectural and historic character, conserve and enhance property values, and are consistent with the special and defining character of surrounding properties, with compatibility of design with surrounding properties.

Respectfully submitted,

/s/ Kenneth C. Sullivan
Owner, 40 Howard Street

266 Middle Street

LU-21-169

Work Session/Public Hearing

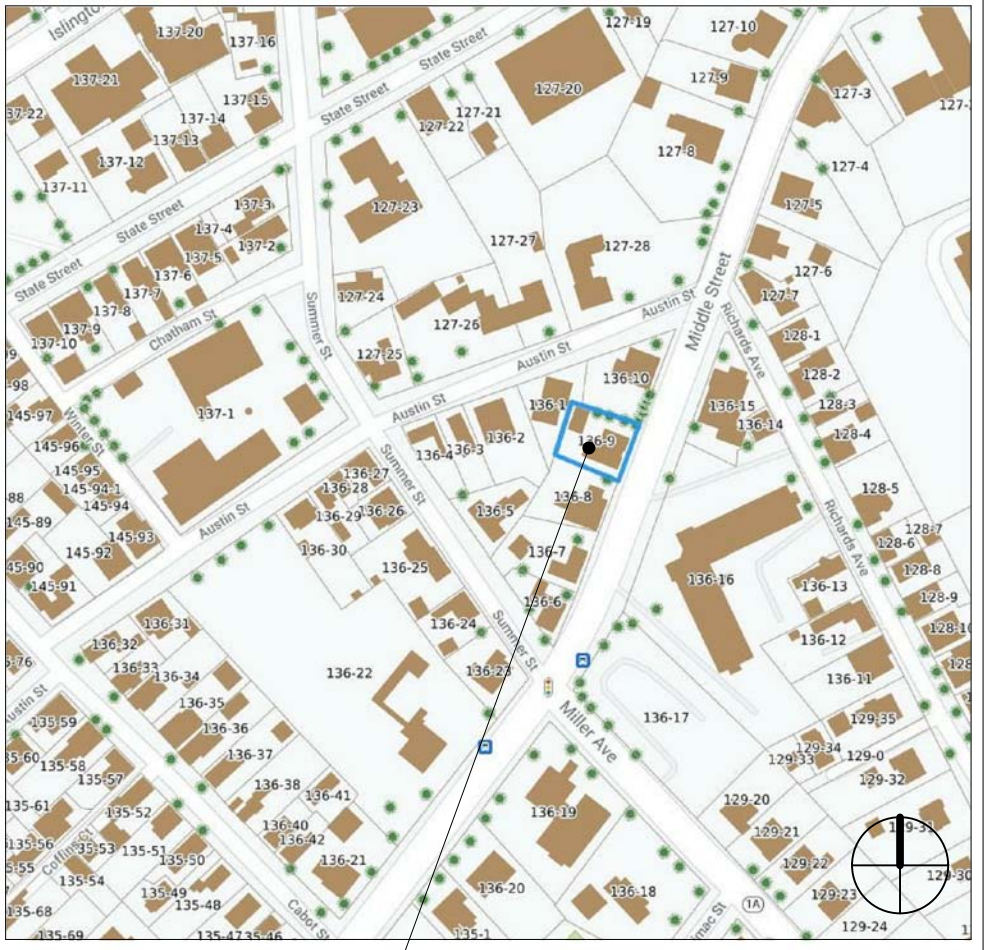
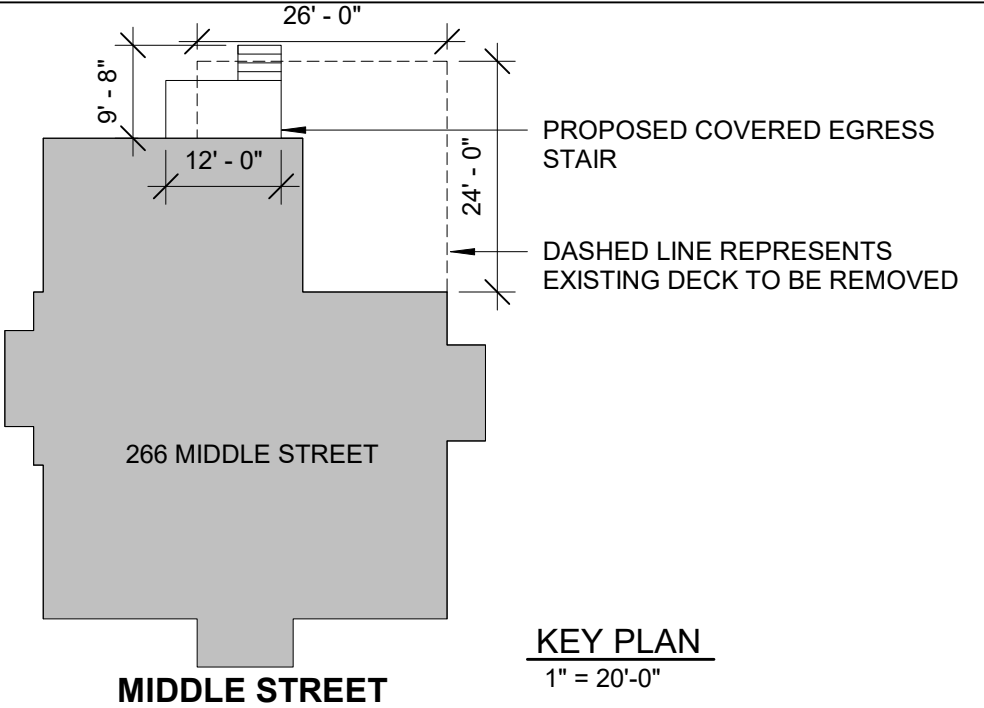
266 MIDDLE STREET COVERED EGRESS STAIR

Historic District Commission Work Session / Public Hearing - October 2021, Portsmouth, New Hampshire

GENERAL PROJECT DESCRIPTION:

- PROPOSED WORK:
- REMOVAL OF THE EXISTING REAR EGRESS DECKS AND CONSTRUCTION OF THE PROPOSED REAR COVERED EGRESS STAIR AND DECK.
 - REMOVAL OF ALL EXISTING VINYL SIDING AND TRIM TO BE REPLACED BY SMOOTH PAINTED HARDIE PLANK AND HARDIE TRIM, REFER TO SHEET A4
 - REMOVE ALL EXISTING VINYL WINDOWS AND WOOD KITCHEN WINDOWS. TO BE REPLACED IN KIND WITH MATHEW BROTHERS PVC WINDOWS, REFER TO SHEET A4

SHEET LIST	
Sheet Number	Sheet Name
C	COVER
A1	IMAGES OF EXISTING CONDITIONS
A2	FLOOR PLAN AND ELEVATIONS
A3	DETAILS AND MATERIALS
A4	MATERIALS AND CUT SHEETS
APPENDIX 01	SPENCER WALCOTT REPLACEMENT WINDOW SCHEDULE
APPENDIX 02	HARDIE PLANK
APPENDIX 03	CORNER BOARD TRIM



EXISTING IMAGES - MIDDLE STREET (TOP), REAR DECKS (BOT.)

PERSPECTIVE OF PROPOSED EGRESS STAIR

266 MIDDLE STREET
PORTSMOUTH, NH 03801

© 2021 McHenry Architecture

COVERED EGRESS STAIR

266 MIDDLE STREET
PORTSMOUTH, NH 03801

COVER

Historic District Commission Work Session / Public Hearing - October 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

C

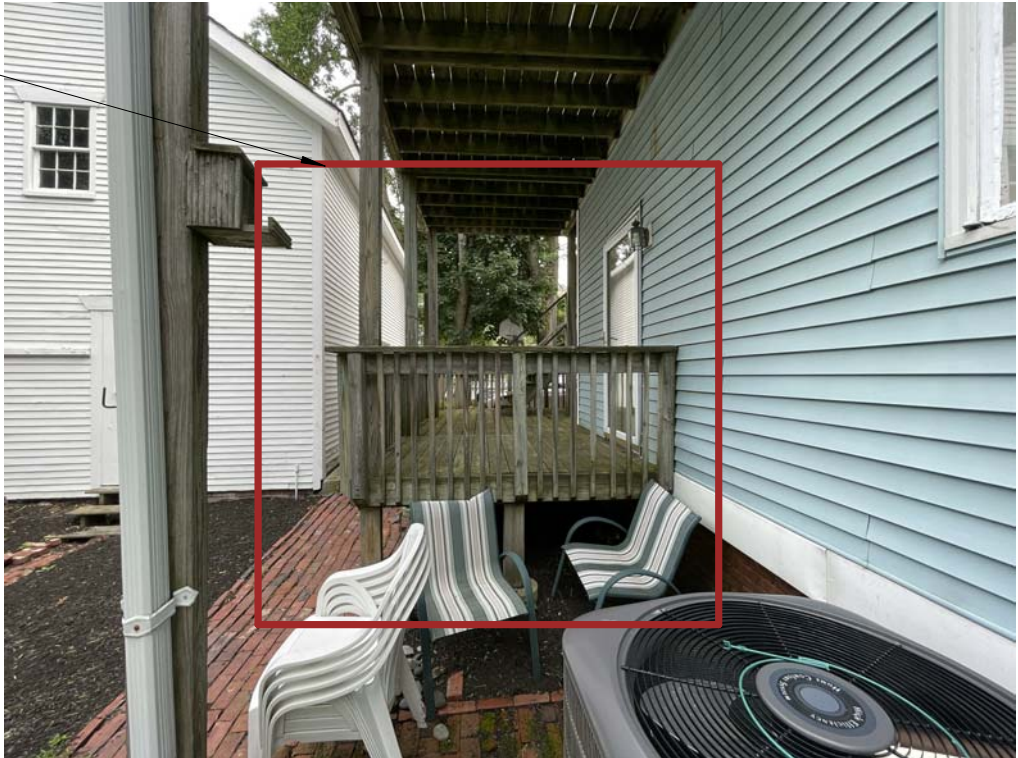
10/06/2021

McHA: RD / SM

AS INDICATED



LOCATION OF PROPOSED COVERED EGRESS STAIR



© 2021 McHenry Architecture

COVERED EGRESS STAIR
266 MIDDLE STREET
PORTSMOUTH, NH 03801

IMAGES OF EXISTING CONDITIONS
Historic District Commission Work Session / Public Hearing - October 2021

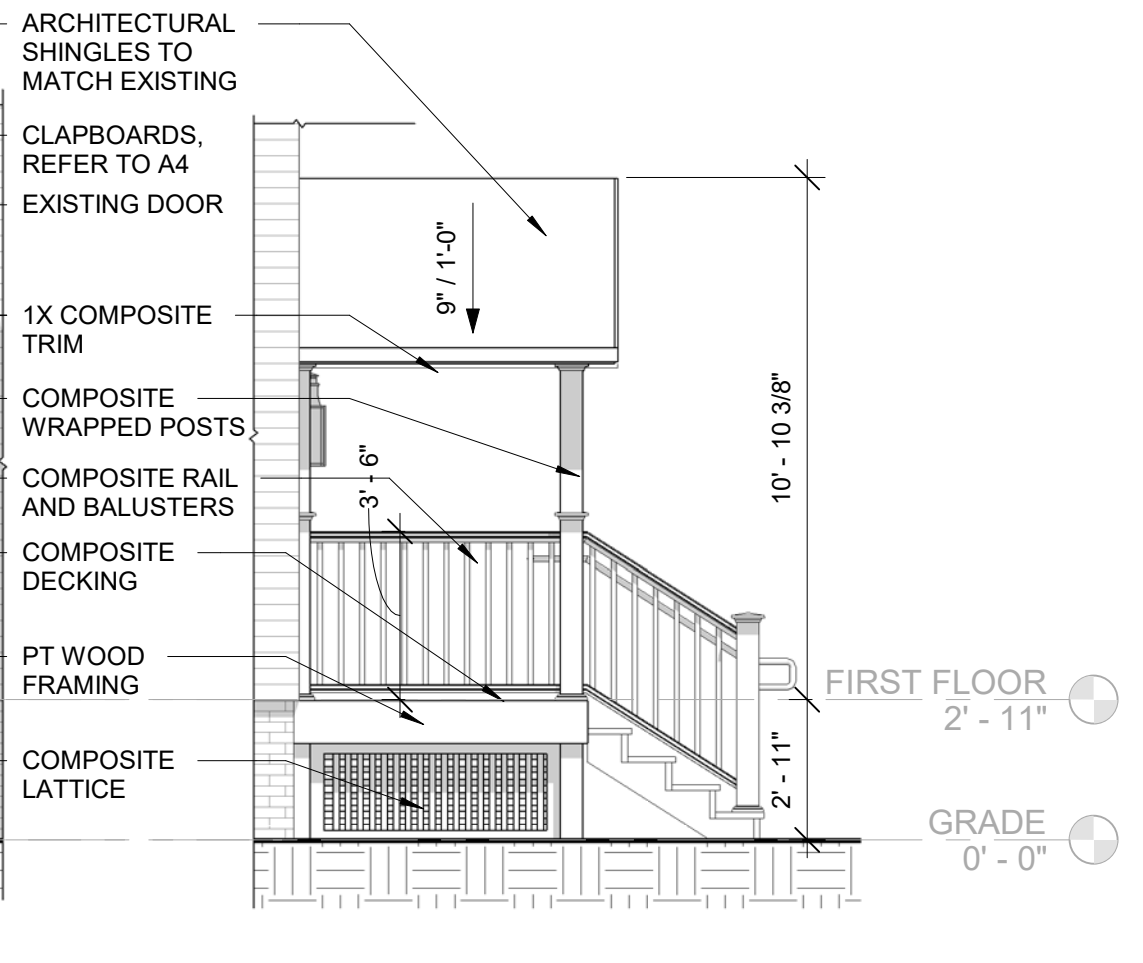
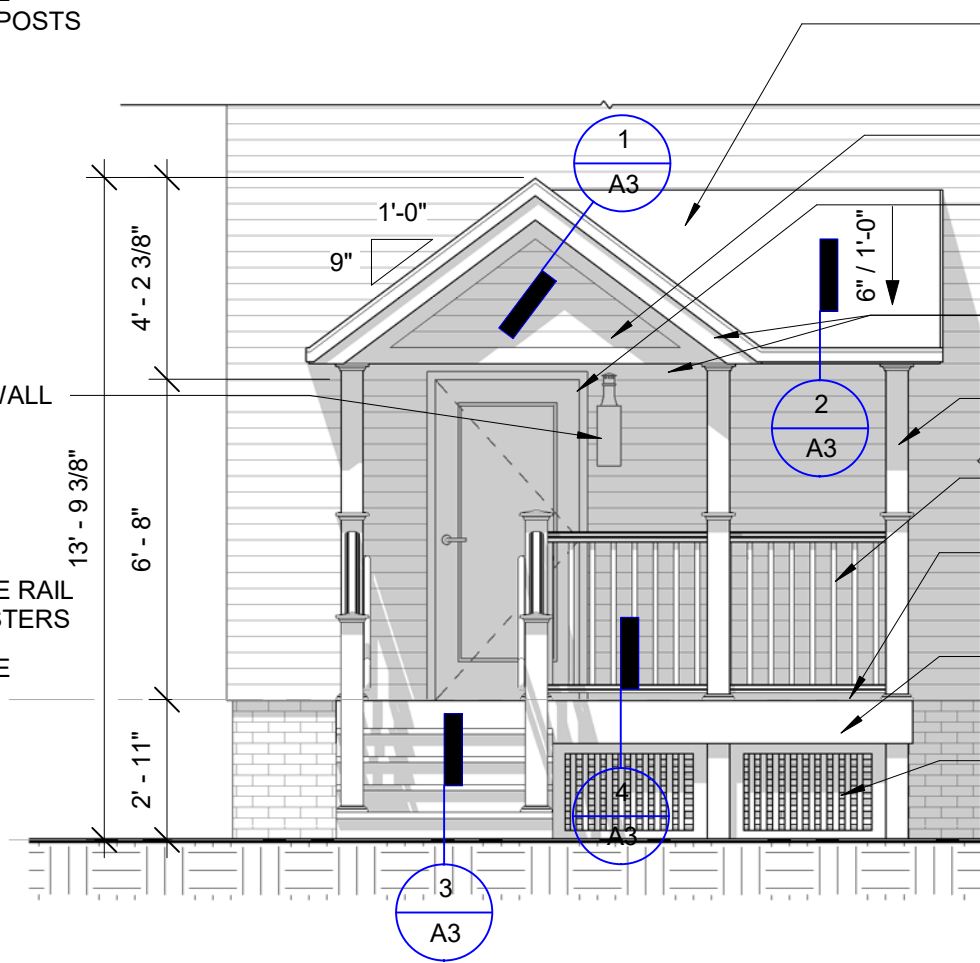
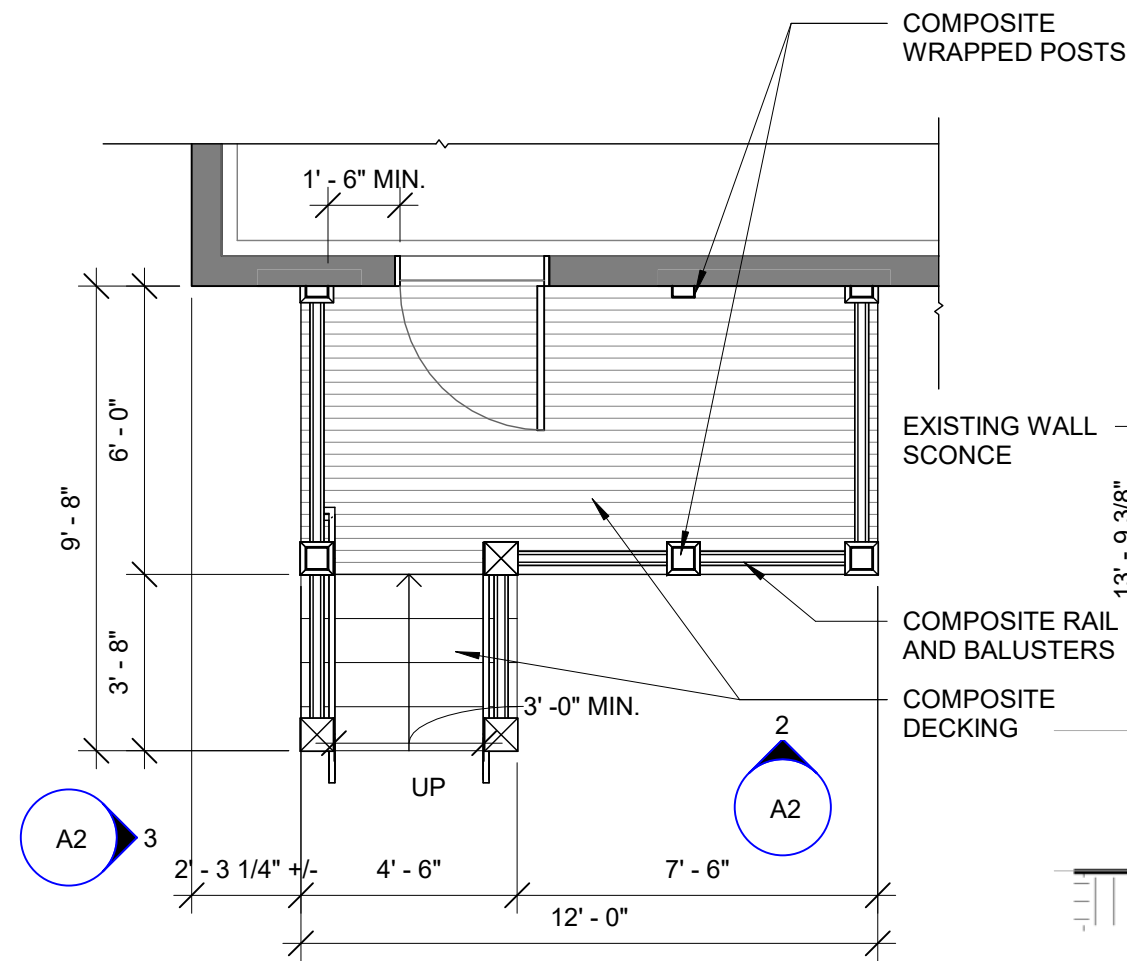
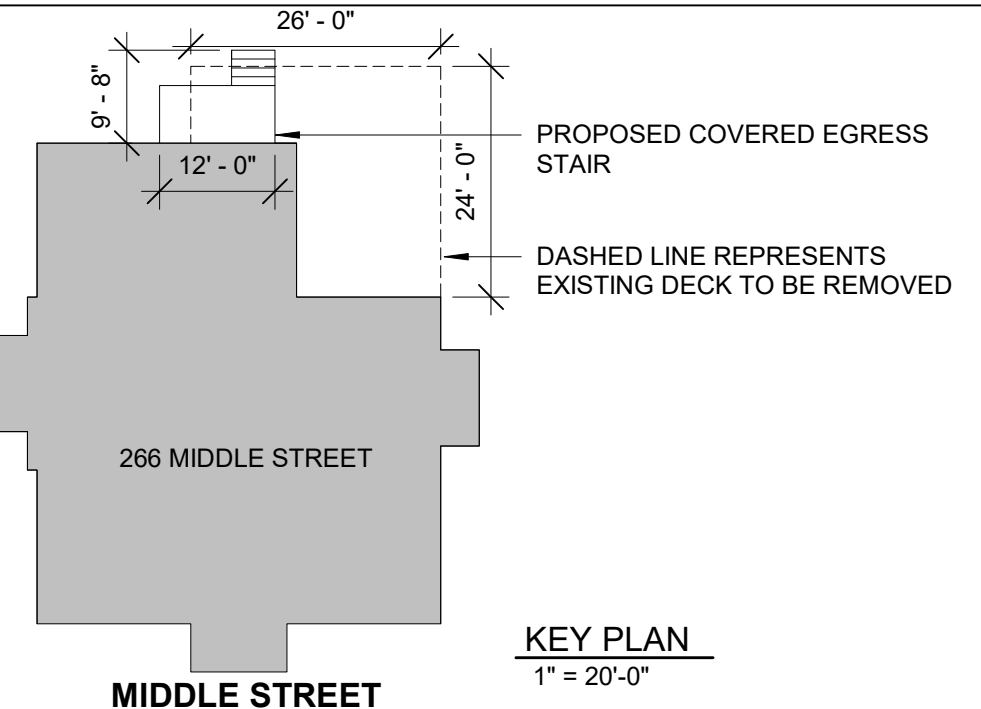
McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A1

10/06/2021
McHA: RD / SM
NOT TO SCALE

GRAPHIC KEY

- [Solid Line] : EXISTING
- [Dashed Line] : TO BE REMOVED
- [Thick Solid Line] : PROPOSED



1 FIRST FLOOR PLAN
1/4" = 1'-0"

2 REAR ELEVATION
1/4" = 1'-0"

3 SIDE ELEVATION
1/4" = 1'-0"

© 2021 McHenry Architecture

COVERED EGRESS STAIR
266 MIDDLE STREET
PORTSMOUTH, NH 03801

FLOOR PLAN AND ELEVATIONS
Historic District Commission Work Session / Public Hearing - October 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A2

10/06/2021
McHA: RD / SM
AS INDICATED



AZEK TIMBERTECH CLASSIC COMPOSITE SERIES
RAILING AND GUARDRAIL, OR EQUAL



HANDRAIL EXTENTION



PREMIER RAILING®
TOP RAIL SIZE: 3.5" X 2.7"

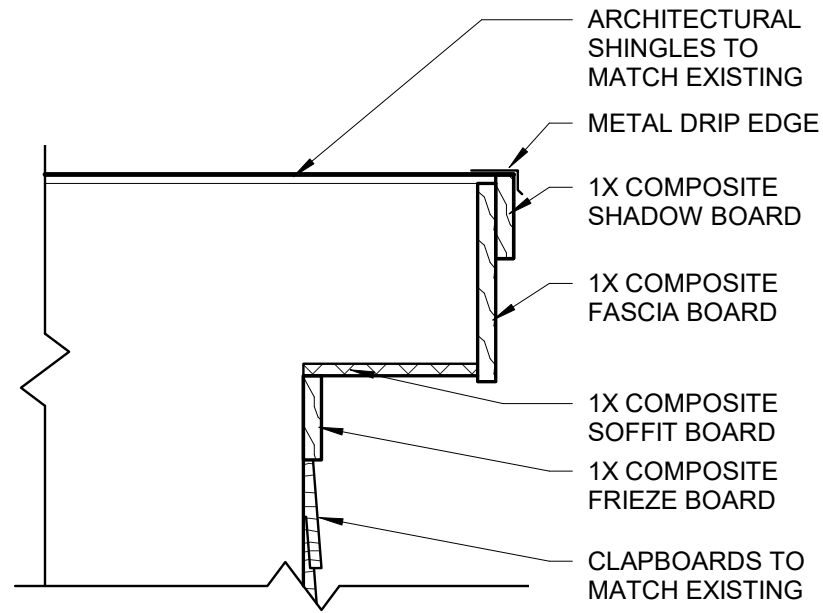
TOP RAIL PROFILE



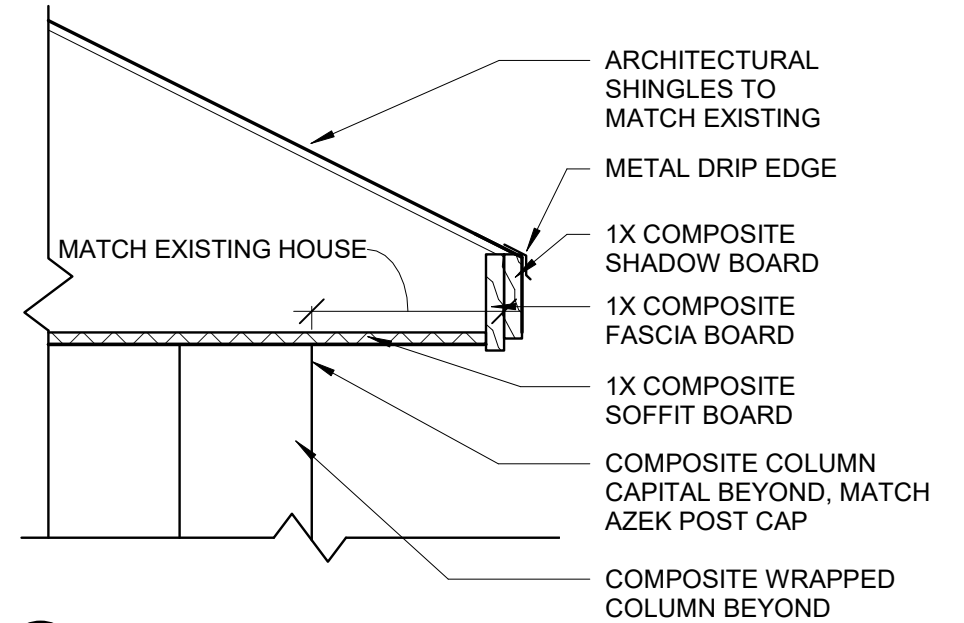
5.5"x5.5" Island Cap

POST CAP

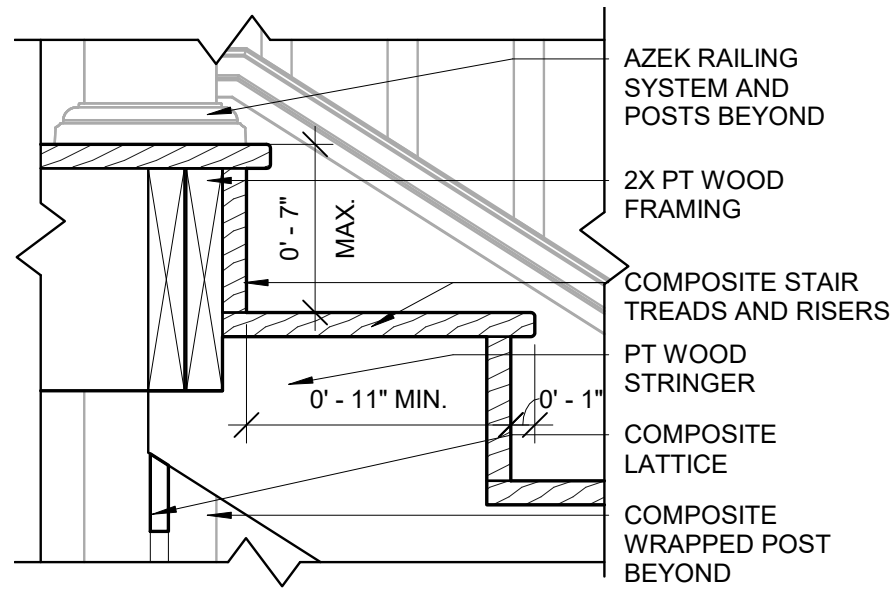
GUARDRAIL AND RAILING DETAILS



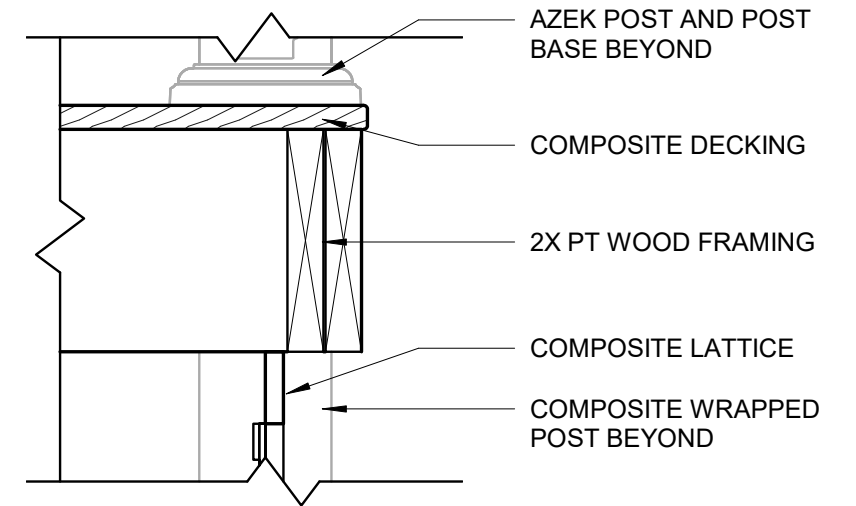
1 RAKE DETAIL
1 1/2" = 1'-0"



2 EAVE DETAIL
1 1/2" = 1'-0"



3 STAIR DETAIL
1 1/2" = 1'-0"



4 DETAIL AT EDGE OF DECK
1 1/2" = 1'-0"

© 2021 McHenry Architecture

COVERED EGRESS STAIR

266 MIDDLE STREET
PORTSMOUTH, NH 03801

DETAILS AND MATERIALS

Historic District Commission Work Session / Public Hearing - October 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A3


10/06/2021

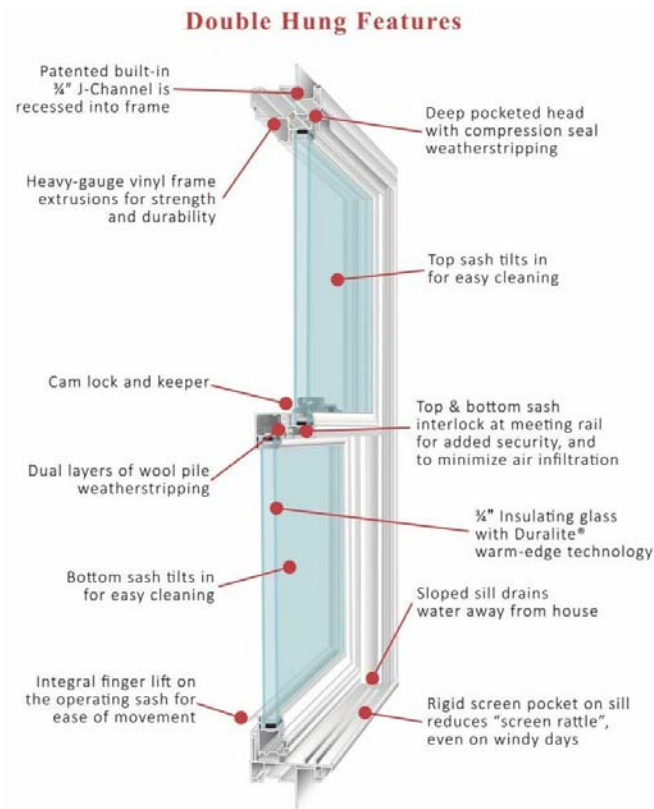
McHA: RD / SM

AS INDICATED

Z:\Active Project Files\18041-BOSEN STAIR\BOSEN STAIR.rvt



<p>Pop-in 4in Round LED New Construction Recessed Downlight Multi-Pack By WAC Lighting</p>	<p>LUMENS LIGHT AND LIVING Call Us 877.445.446</p>
<p>Product Options</p> <p>Quantity: 2-Pack , 6-Pack</p>	
<p>Details</p> <ul style="list-style-type: none"> Designed in 2019 Finish: Electrostatically Powder Coated White Material: Aluminum Housing Type: IC Remodel Housing Trim Type: Deep Reflector Dimmer Range: 100-5% Title 24 compliant Energy Star Qualified ETL Listed Wet Warranty: 5 Years Functional, 2 Years Finish Made In China 	
<p>Dimensions</p> <p>Cut-out: Diameter 4.13" Fixture: Height 4.6", Diameter 5"</p>	
<p>Lighting</p> <ul style="list-style-type: none"> 12 Watt (1035 Lumens) 120 Volt/277 Volt Integrated LED: CRI: 90 Color Temp: 3000K 	
<p>Additional Details</p> <p>Product URL: https://www.lumens.com/pop-in-4in-round-led-new-construction-recessed-downlight-multi-pack-by-wac-lighting-WACP312423.html Rating: ETL Listed Wet</p>	<p>Notes:</p> <div></div>
<p>Product ID: WACP312423</p>	



© 2021 McHenry Architecture

COVERED EGRESS STAIR

266 MIDDLE STREET
PORTSMOUTH, NH 03801

MATERIALS AND CUT SHEETS

Historic District Commission Work Session / Public Hearing - October 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A4

10/06/2021

McHA:	RD / SM
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NOT TO SCALE

Z:\Active Project Files\18041-BOSEN STAIR\BOSEN STAIR.rvt

Tel:
Fax:
Email:

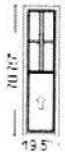
BILL TO:

SHIP TO:

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QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Alan Beasley		BOSEN LAW OFFICES	RICCI INSTALLS

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
100-1		1			

Walcott Replacement Double Hung
 19.5 X 70.75 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 4/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 14.62 X 29.87 Clear Opening, 3.03
 SQFT, White Single Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60

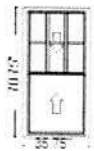


Opening: 19.75" X 71"
 O.S.M.: 19.5" X 70.75"

Tag: RECEPTION

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
200-1		1			

Walcott Replacement Double Hung
 35.75 X 70.75 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 6/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 30.87 X 28.37 Clear Opening, 6.08
 SQFT, White Dual Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 36" X 71"
 O.S.M.: 35.75" X 70.75"

Tag: RECEPTION

QUOTE #	STATUS	CUSTOMER PO#	DATE QUOTED
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QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Alan Beasley		BOSEN LAW OFFICES	RICCI INSTALLS

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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300-1

1

Walcott Replacement Double Hung
 19.25 X 70.75 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 4/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 14.37 X 29.87 Clear Opening, 2.98
 SQFT, White Single Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 19.5" X 71"
 O.S.M.: 19.25" X 70.75"

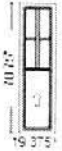
Tag: RECEPTION

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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400-1

2

Walcott Replacement Double Hung
 19.375 X 70.75 Unit Size, White, Insul Low-E & Argon,
 DLO Width Equal, 4/1 Lite SDL, 7/8", White Simulated
 Divided Lite w/ Spacer Bar, 14.5 X 29.87 Clear Opening, 3
 SQFT, White Single Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 19.625" X 71"
 O.S.M.: 19.375" X 70.75"

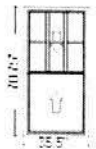
Tag: CONFERENCE ROOM

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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500-1

2

Walcott Replacement Double Hung
 35.5 X 70.75 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 6/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 30.62 X 28.37 Clear Opening, 6.03
 SQFT, White Dual Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 35.75" X 71"
 O.S.M.: 35.5" X 70.75"

Tag: CONFERENCE ROOM

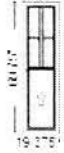
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Alan Beasley		BOSEN LAW OFFICES	RICCI INSTALLS

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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600-1

4

Walcott Replacement Double Hung
 19.375 X 69.75 Unit Size, White, Insul Low-E & Argon,
 DLO Width Equal, 4/1 Lite SDL, 7/8", White Simulated
 Divided Lite w/ Spacer Bar, 14.5 X 29.37 Clear Opening,
 2.95 SQFT, White Single Lock, No Window Opening
 Control Device, White Standard Tilt Latch, Insert White Full
 Screen Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 19.625" X 70"

O.S.M.: 19.375" X 69.75"

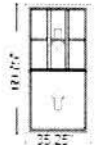
Tag: SHIP ROOM

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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700-1

1

Walcott Replacement Double Hung
 35.25 X 69.75 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 6/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 30.37 X 27.87 Clear Opening, 5.87
 SQFT, White Dual Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 35.5" X 70"

O.S.M.: 35.25" X 69.75"

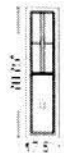
Tag: SHIP ROOM

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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800-1

1

Walcott Replacement Double Hung
 17.5 X 70.75 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 4/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 12.62 X 29.87 Clear Opening, 2.61
 SQFT, White Single Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 17.75" X 71"

O.S.M.: 17.5" X 70.75"

Tag: BREAKROOM

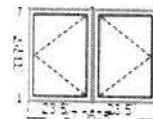
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Alan Beasley		BOSEN LAW OFFICES	RICCI INSTALLS

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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900-1

1

Walcott New Construction Casement Narrow Vertical Mull
23.5 X 33.75 Unit Size Left Operating; 23.5 X 33.75 Unit
Size Right Operating, White, Insul Low-E & Argon, 11.93 X
28.75 Clear Opening, 2.38 SQFT, No Window Opening
Control Device, White Handle & Lock, White Screen
Applied
w/Nailing Flange, w/J Channel, No Exterior Casing
Unit 1: UFactor: 0.26, SHG: 0.28, VLT: 0.51, CR: 61
Energy Star Qualified (Northern)
Unit 2: UFactor: 0.26, SHG: 0.28, VLT: 0.51, CR: 61
Energy Star Qualified (Northern)



Opening: 47.5625" X 34.25"

O.S.M.: 47.0625" X 33.75"

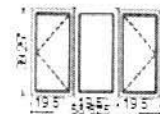
Tag: BREAKROOM

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
--------	-------------	-----	------------	-----------	-------------

1000-1

1

Walcott New Construction Casement Narrow Vertical Mull
19.5 X 39.25 Unit Size Left Operating, 7.93 X 34.25 Clear
Opening, 1.88 SQFT, No Window Opening Control Device,
White Handle & Lock, White Screen Applied; 19.5 X 39.25
Unit Size Picture; 19.5 X 39.25 Unit Size Right Operating,
7.93 X 34.25 Clear Opening, 1.88 SQFT, No Window
Opening Control Device, White Handle & Lock, White
Screen Applied, White, Insul Low-E & Argon
w/Nailing Flange, w/J Channel, No Exterior Casing
Unit 1: UFactor: 0.26, SHG: 0.28, VLT: 0.51, CR: 61
Energy Star Qualified (Northern)
Unit 2: UFactor: 0.25, SHG: 0.32, VLT: 0.58, CR: 60
Energy Star Qualified (Northern)
Unit 3: UFactor: 0.26, SHG: 0.28, VLT: 0.51, CR: 61
Energy Star Qualified (Northern)



Opening: 59.125" X 39.75"

O.S.M.: 58.625" X 39.25"

Tag: BREAKROOM

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
--------	-------------	-----	------------	-----------	-------------

1100-1

1

Walcott Replacement Double Hung
16.75 X 55.75 Unit Size, White, Insul Low-E & Argon, DLO
Width Equal, 4/1 Lite SDL, 7/8", White Simulated Divided
Lite w/ Spacer Bar, 11.87 X 22.37 Clear Opening, 1.84
SQFT, White Single Lock, No Window Opening Control
Device, White Standard Tilt Latch, Insert White Full Screen
Applied
w/Sill Extender
Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 17" X 56"

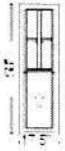
O.S.M.: 16.75" X 55.75"

Tag: POWDER ROOM

QUOTE #	STATUS	CUSTOMER PO#	DATE QUOTED
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QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Alan Beasley		BOSEN LAW OFFICES	RICCI INSTALLS

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
1200-1		1			

Walcott Replacement Double Hung
 17.5 X 58 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 4/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 12.62 X 23.5 Clear Opening, 2.06 SQFT,
 White Single Lock, No Window Opening Control Device,
 White Standard Tilt Latch, Insert White Full Screen Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60

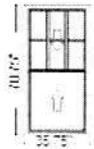


Opening: 17.75" X 58.25"
 O.S.M.: 17.5" X 58"

Tag: MAIL STATION

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
1300-1		1			

Walcott Replacement Double Hung
 35.75 X 70.75 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 6/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 30.87 X 28.37 Clear Opening, 6.08
 SQFT, White Dual Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60

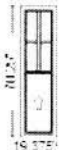


Opening: 36" X 71"
 O.S.M.: 35.75" X 70.75"

Tag: JOHN'S OFFICE

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
1400-1		3			

Walcott Replacement Double Hung
 19.375 X 70.25 Unit Size, White, Insul Low-E & Argon,
 DLO Width Equal, 4/1 Lite SDL, 7/8", White Simulated
 Divided Lite w/ Spacer Bar, 14.5 X 29.62 Clear Opening,
 2.98 SQFT, White Single Lock, No Window Opening
 Control Device, White Standard Tilt Latch, Insert White Full
 Screen Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 19.625" X 70.5"
 O.S.M.: 19.375" X 70.25"

Tag: JOHN'S OFFICE

QUOTE #	STATUS	CUSTOMER PO#	DATE QUOTED
541995	None		7/19/2021 1:32:15 PM
QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Alan Beasley		BOSEN LAW OFFICES	RICCI INSTALLS

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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1500-1

1

Walcott Replacement Double Hung
 35.375 X 70.25 Unit Size, White, Insul Low-E & Argon,
 DLO Width Equal, 6/1 Lite SDL, 7/8", White Simulated
 Divided Lite w/ Spacer Bar, 30.5 X 28.12 Clear Opening,
 5.95 SQFT, White Dual Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 35.625" X 70.5"
 O.S.M.: 35.375" X 70.25"

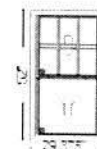
Tag: JOHN'S OFFICE

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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1600-1

2

Walcott Replacement Double Hung
 29.375 X 52 Unit Size, White, Insul Low-E & Argon
 Tempered, DLO Width Equal, 6/1 Lite SDL, 7/8", White
 Simulated Divided Lite w/ Spacer Bar, 24.5 X 20.5 Clear
 Opening, 3.48 SQFT, White Single Lock, No Window
 Opening Control Device, White Standard Tilt Latch, Insert
 White Full Screen Applied
 w/Sill Extender
 Unit 1: UFactor: 0.3, SHG: 0.27, VLT: 0.49, CR: 56



Mathews Brothers' Windows specified with Tempered Glass
 cannot be canceled or modified once an order is placed.
 There will be no grace period provided for Windows
 specified with Tempered Glass as they will enter into a
 production schedule immediately. Please review the
 specifications for this Window with Tempered Glass
 carefully to ensure they are correct prior to ordering.

Opening: 29.625" X 52.25"
 O.S.M.: 29.375" X 52"

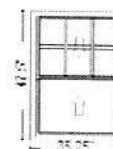
Tag: STAIR WELL

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
--------	-------------	-----	------------	-----------	-------------

1700-1

1

Walcott Replacement Double Hung
 35.25 X 47.5 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 6/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 30.37 X 18.25 Clear Opening, 3.84
 SQFT, White Dual Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 35.5" X 47.75"
 O.S.M.: 35.25" X 47.5"

Tag: 2ND FLOOR
BATHROOM

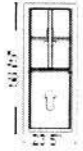
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QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Alan Beasley		BOSEN LAW OFFICES	RICCI INSTALLS

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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1800-1

2

Walcott Replacement Double Hung
 23.5 X 58.75 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 4/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 18.62 X 23.87 Clear Opening, 3.08
 SQFT, White Single Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 23.75" X 59"
 O.S.M.: 23.5" X 58.75"

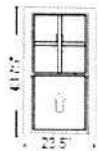
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 MOLLY

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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1900-1

1

Walcott Replacement Double Hung
 23.5 X 43.75 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 4/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 18.62 X 16.37 Clear Opening, 2.11
 SQFT, White Single Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 23.75" X 44"
 O.S.M.: 23.5" X 43.75"

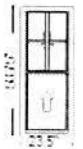
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 MOLLY

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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2000-1

2

Walcott Replacement Double Hung
 23.5 X 58.75 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 4/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 18.62 X 23.87 Clear Opening, 3.08
 SQFT, White Single Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 23.75" X 59"
 O.S.M.: 23.5" X 58.75"

Tag: GREEN OFFICE
 MIDDLE

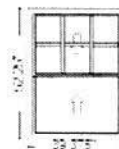
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QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Alan Beasley		BOSEN LAW OFFICES	RICCI INSTALLS

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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2100-1

1

Walcott Replacement Double Hung
 39.375 X 52.25 Unit Size, White, Insul Low-E & Argon,
 DLO Width Equal, 6/1 Lite SDL, 7/8", White Simulated
 Divided Lite w/ Spacer Bar, 34.5 X 19.12 Clear Opening,
 4.58 SQFT, White Dual Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 39.625" X 52.5"
 O.S.M.: 39.375" X 52.25"

Tag: FRONT LEFT
 CORNER

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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2200-1

1

Walcott Replacement Double Hung
 23.75 X 59.25 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 4/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 18.87 X 24.12 Clear Opening, 3.16
 SQFT, White Single Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 24" X 59.5"
 O.S.M.: 23.75" X 59.25"

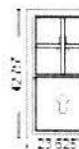
Tag: FRONT LEFT
 CORNER

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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2300-1

1

Walcott Replacement Double Hung
 23.625 X 42.75 Unit Size, White, Insul Low-E & Argon,
 DLO Width Equal, 4/1 Lite SDL, 7/8", White Simulated
 Divided Lite w/ Spacer Bar, 18.75 X 15.87 Clear Opening,
 2.06 SQFT, White Single Lock, No Window Opening
 Control Device, White Standard Tilt Latch, Insert White Full
 Screen Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 23.875" X 43"
 O.S.M.: 23.625" X 42.75"

Tag: RUST OFFICE

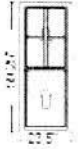
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Alan Beasley		BOSEN LAW OFFICES	RICCI INSTALLS

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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2400-1

2

Walcott Replacement Double Hung
 23.5 X 59.25 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 4/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 18.62 X 24.12 Clear Opening, 3.12
 SQFT, White Single Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 23.75" X 59.5"
 O.S.M.: 23.5" X 59.25"

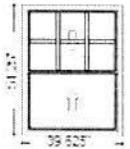
Tag: FRONT RIGHT
 CORNER

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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2500-1

1

Walcott Replacement Double Hung
 39.625 X 51.25 Unit Size, White, Insul Low-E & Argon,
 DLO Width Equal, 6/1 Lite SDL, 7/8", White Simulated
 Divided Lite w/ Spacer Bar, 34.75 X 18.62 Clear Opening,
 4.49 SQFT, White Dual Lock, No Window Opening Control
 Device, White Standard Tilt Latch, Insert White Full Screen
 Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 39.875" X 51.5"
 O.S.M.: 39.625" X 51.25"

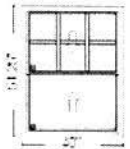
Tag: FRONT RIGHT
 CORNER

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
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2600-1

1

Walcott Replacement Double Hung
 40 X 51.25 Unit Size, White, Insul Low-E & Argon
 Tempered, DLO Width Equal, 6/1 Lite SDL, 7/8", White
 Simulated Divided Lite w/ Spacer Bar, 35.12 X 20.12 Clear
 Opening, 4.9 SQFT, White Dual Lock, No Window Opening
 Control Device, White Standard Tilt Latch, Insert White Full
 Screen Applied
 w/Sill Extender
 Unit 1: UFactor: 0.3, SHG: 0.27, VLT: 0.49, CR: 56



Mathews Brothers' Windows specified with Tempered Glass
 cannot be canceled or modified once an order is placed.
 There will be no grace period provided for Windows
 specified with Tempered Glass as they will enter into a
 production schedule immediately. Please review the
 specifications for this Window with Tempered Glass
 carefully to ensure they are correct prior to ordering.

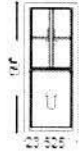
Opening: 40.25" X 51.5"
 O.S.M.: 40" X 51.25"

Tag: FRONT RIGHT
 CORNER

QUOTE #	STATUS	CUSTOMER PO#	DATE QUOTED
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QUOTED BY	TERMS	PROJECT NAME	QUOTE NAME
Alan Beasley		BOSEN LAW OFFICES	RICCI INSTALLS

LINE #	DESCRIPTION	QTY	LIST PRICE	NET PRICE	EXTD. PRICE
2700-1		1			

Walcott Replacement Double Hung
 23.625 X 59 Unit Size, White, Insul Low-E & Argon, DLO
 Width Equal, 4/1 Lite SDL, 7/8", White Simulated Divided
 Lite w/ Spacer Bar, 18.75 X 24 Clear Opening, 3.12 SQFT,
 White Single Lock, No Window Opening Control Device,
 White Standard Tilt Latch, Insert White Full Screen Applied
 w/Sill Extender
 Unit 1: UFactor: 0.28, SHG: 0.26, VLT: 0.47, CR: 60



Opening: 23.875" X 59.25"
 O.S.M.: 23.625" X 59"

Tag: SMALL OFFICE

All Prices are net. Quote is good for thirty days. Please review all quantities, specifications, and information for accuracy. Special orders can not be returned for credit. Signature implies acceptance of these specifications. Your order will not be processed without authorized signature.

Thank you for all of your efforts!

CUSTOMER SIGNATURE _____ DATE _____

We appreciate the opportunity to provide you with this quote!

Integrity is ingrained
IN EVERYTHING WE DO.

HardiePlank®
Lap Siding
Evening Blue



The advanced design of HZ5® lap siding improves drainage from top to bottom.

In addition to the enhanced moisture resistance of our product formulation, HardiePlank® HZ5® lap siding features a modified profile with a sloped top and bullnose drip edge for improved drainage over the entire outer face of the board.



Sloped Top

Positive slope at top drains moisture to outer face of lap



Profiled Drip Edge

Bottom bullnose drip edge allows moisture to drain away from lap

Finishing Technology

Primer

A quality primer is the first step to ensuring that the paint color you select beautifully expresses a home's true character now — and for years to come. Our distinctive primer is climate-tested and engineered to enhance the performance of paint on James Hardie® fiber cement siding products. It helps to provide consistent, long-lasting paint adhesion, even in the most demanding conditions.

ColorPlus® Technology

Our advanced ColorPlus® Technology finishes deliver the ultimate in aesthetics and performance. Our products aren't simply painted at the factory. Our proprietary coatings are baked onto the board, creating a vibrant, consistent finish that performs better, lasts longer and looks brighter on your homes.



Exceptional finish adhesion

Our proprietary coating is engineered for exceptional adhesion to our substrate and applied to the surface, edges and features for durable performance.



Superior color retention

Finish is cured onto boards for a stronger bond, which allows for exceptional resistance to cracking, peeling and chipping.



Superior UV resistance

ColorPlus® Technology finishes retain vibrancy longer when compared to vinyl siding and typical field paints on other siding products.



ColorPlus®
Technology



James Hardie Complete Exterior™

Top to bottom, our exterior product line is defined by excellent performance, aesthetics and design options.

Provide protection from the elements, showcase a homeowner's individual style and install peace of mind with exceptional warranties through a single, trusted manufacturer.



HardieShingle®
Siding



HardiePanel® Vertical
Siding & HardieTrim®
Batten Boards



HardiePlank®
Lap Siding



HardieTrim®
Boards



HardieSoffit®
Panels

HardiePlank®

Sleek and strong, HardiePlank® lap siding is not just our best-selling product – it's the most popular brand of siding in America.

With a full spectrum of colors and textures, homeowners can enjoy protection from the elements and the versatility to make their dream home a reality. From Victorians to Colonials, HardiePlank lap siding sets the standard in exterior cladding.

HardieTrim®
Boards
Arctic White

HardiePlank®
Lap Siding
Select Cedarmill®
Khaki Brown

A classic look for
THE HOME OF THEIR DREAMS.

HardiePlank®

Thickness 5/16 in

Length 12 ft planks

SELECT CEDARMILL® & SMOOTH

Width	5.25 in	6.25 in	7.25 in	8.25 in
Exposure	4 in	5 in	6 in	7 in
Prime Pcs/Pallet	360	308	252	230
ColorPlus Pcs/Pallet	324	280	252	210
Pcs/Sq	25.0	20.0	16.7	14.3

SELECT CEDARMILL®



Width	5.25 in	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™	✓	✓		
DREAM COLLECTION™	✓	✓	✓	✓
PRIME	✓	✓	✓	✓

SMOOTH



Width	5.25 in	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™	✓	✓		
DREAM COLLECTION™	✓	✓	✓	✓
PRIME	✓	✓	✓	✓

BEADED CEDARMILL®

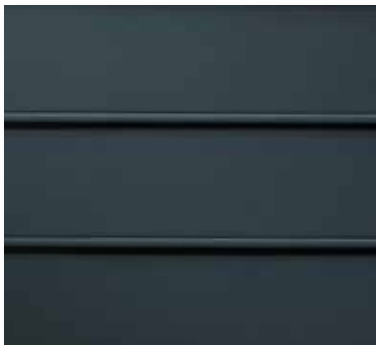


BEADED CEDARMILL® & BEADED SMOOTH

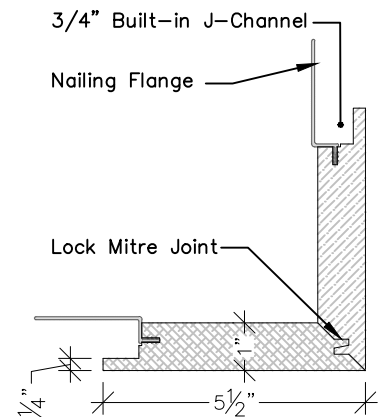
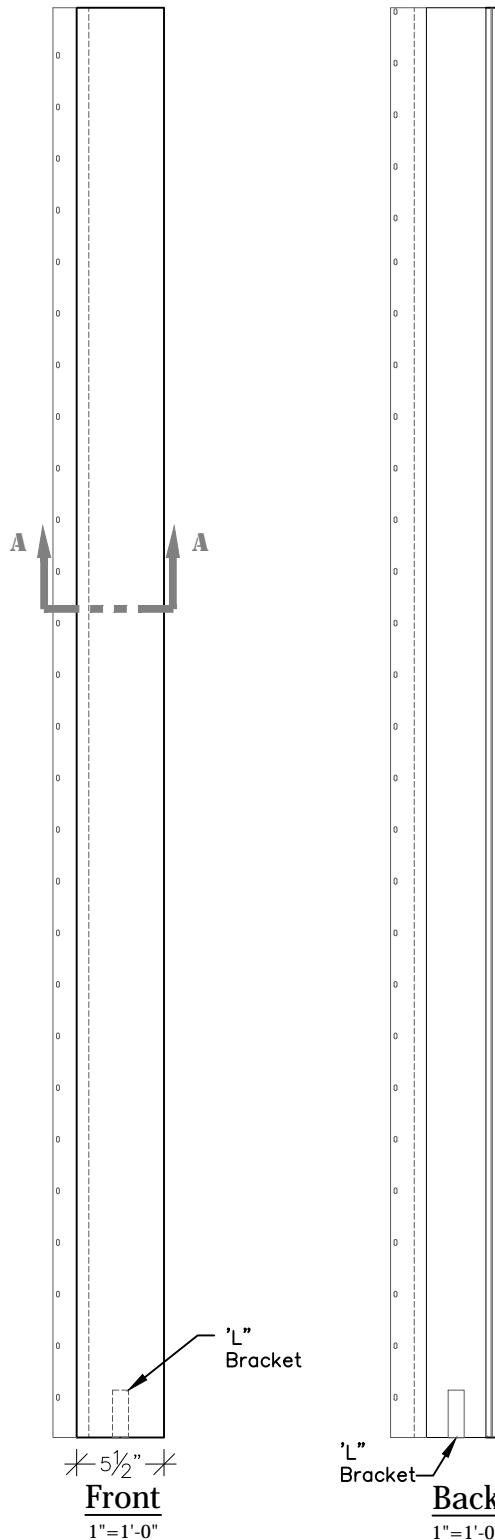
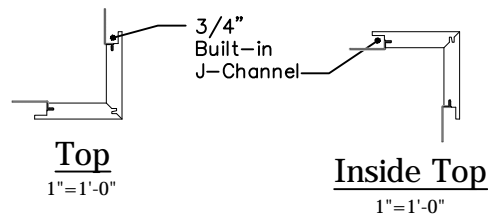
Width	8.25 in
Exposure	7 in
Prime Pcs/Pallet	240
ColorPlus Pcs/Pallet	210
Pcs/Sq	14.3

STATEMENT COLLECTION™	
DREAM COLLECTION™	✓
PRIME	✓

BEADED SMOOTH



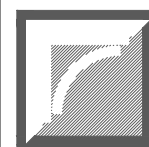
APPENDIX 03



Section A-A
3"=1'-0"

Complete With:
Stainless Steel Support Brackets
Water Management System
Continuous Nailing Flange
Stainless Steel Screws

**Available in
10 foot
and
20 foot Lengths**



860.758.7900
trimolutions.net

Trim Solutions, LLC.
132 Main Street, P.O. Box 739
East Windsor, CT 06088

OSC-1

(QUICKTRIM)

238 Deer Street

LU-20-340

Work Session/Public Hearing

238 DEER STREET: MIXED-USE BUILDING

HISTORIC DISTRICT COMMISSION PUBLIC HEARING / WORK SESSION -
OCTOBER 2021, PORTSMOUTH, NEW HAMPSHIRE

- GENERAL PROJECT DESCRIPTION:
- REMOVAL OF EXISTING MASONRY BUILDING
 - CONSTRUCT NEW 3 STORY, WITH A PENTHOUSE, MIXED-USE BUILDING TO INCLUDE:
 - GROUND FLOOR RETAIL
 - 21 APARTMENTS (400-500 SF EACH) ON UPPER FLOORS

SHEET LIST	
Sheet Number	Sheet Name
C	COVER
A1	CONTEXT AND SITE PLAN
A2	DEER STREET RENDERING
A3	AERIAL RENDERING
A4	FLOOR PLANS
A5	FLOOR PLANS
A6	OVERALL ELEVATIONS
A8	BRIDGE STREET ELEVATION
A9	PUBLIC WALKWAY ELEVATION
A10	REAR ELEVATION
A12	DETAILS
A13	WINDOW & DOOR TYPES
A14	MATERIALS AND PRODUCT DATA
C1	EXISTING CONDITIONS
C2	SITE PLAN
A15	BUILDING DATA

SHEET LIST CONT.	
Sheet Number	Sheet Name
A16	INTERIOR CONCEPT / OWNER INSPIRATION
A17	EXISTING PHOTOGRAPHS
A18	CONTEXT PHOTOGRAPHS
A19	CONTEXT PHOTOGRAPHS
A20	FOUNDRY PLACE CONTEXT
APPENDIX A	PELLA LIFESTYLE SERIES PRODUCT DATA - OR EQUAL
APPENDIX B	KAWNEER WINDOW WALL PRODUCT DATA - OR EQUAL
APPENDIX C	BORAL TRUEX EXTERIOR PRODUCT DATA - OR EQUAL
APPENDIX D	ALUMINUM RAILING PRODUCT DATA - OR EQUAL
APPENDIX E	CHESAPEAKE BRICK PRODUCT DATA - OR EQUAL
APPENDIX F	MITSUBUSHI CONDENSER UNIT - OR EQUAL



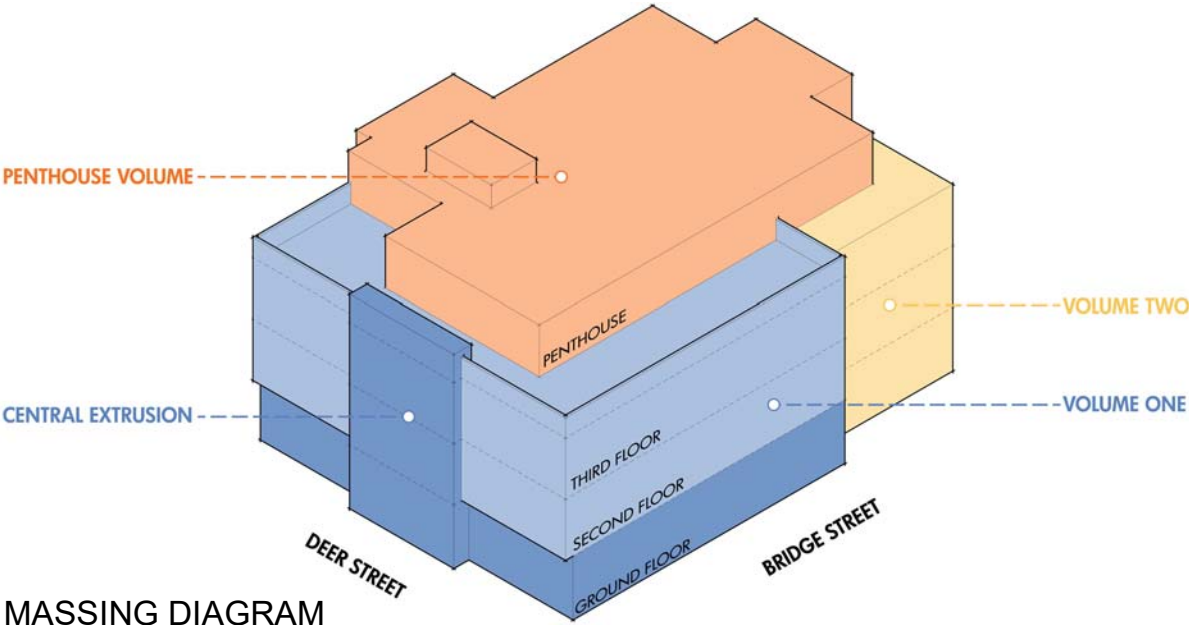
PERSPECTIVE FROM DEER STREET



LOCUS MAP

238 DEER STREET
PORTSMOUTH, NH 03801

© 2021 McHenry Architecture



MASSING DIAGRAM

DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

COVER

HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

C

10/06/2021

McHA: SM/RD/MG

NOT TO SCALE



DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

CONTEXT AND SITE PLAN
HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

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06/02/2021
McHA: SM/RD/MG
NOT TO SCALE

A1



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DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

DEER STREET RENDERING
HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A2

10/06/2021
McHA: SM/RD/MG
NOT TO SCALE



DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

AERIAL RENDERING

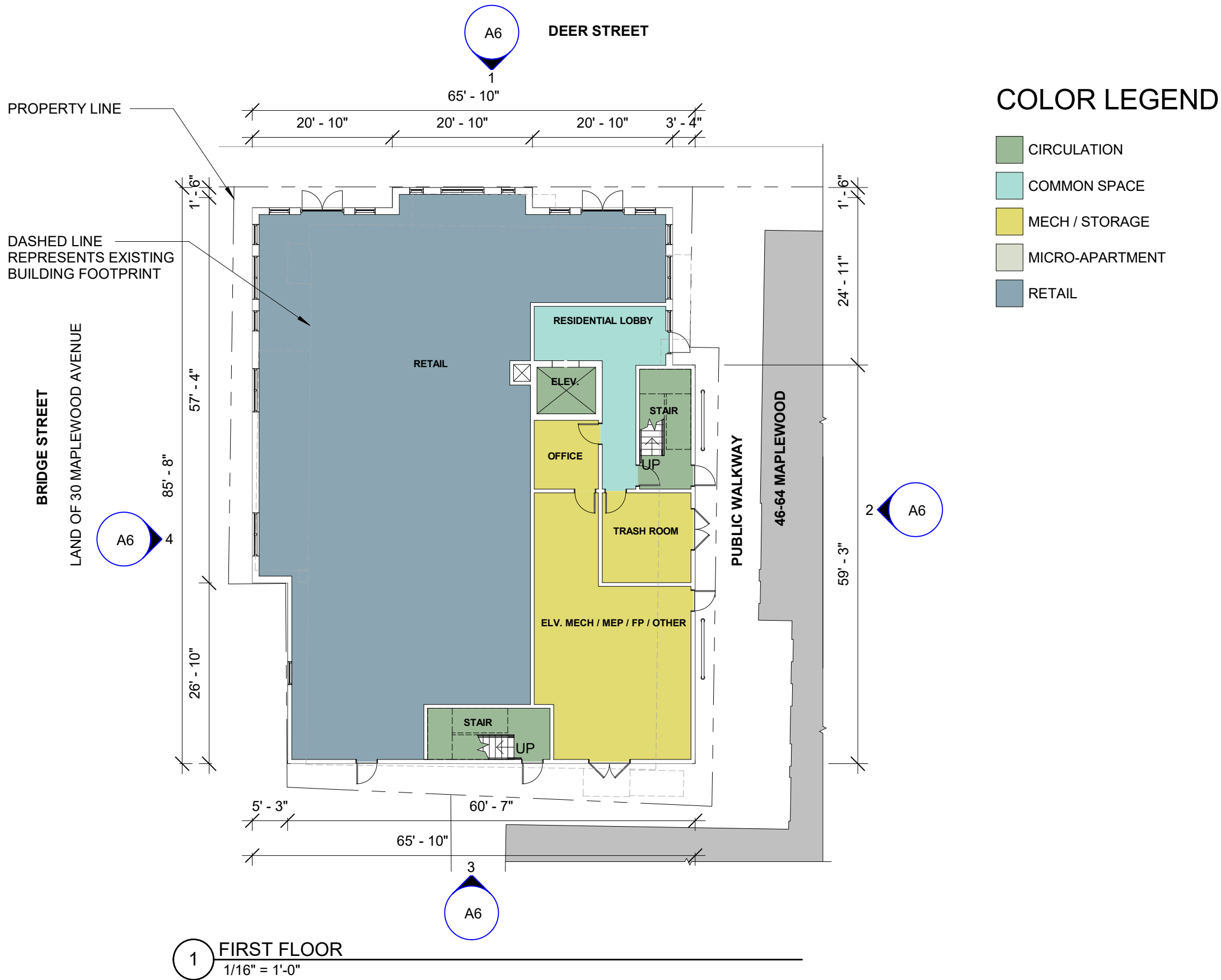
HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A3

10/06/2021
McHA: SM/RD/MG
NOT TO SCALE



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DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

FLOOR PLANS

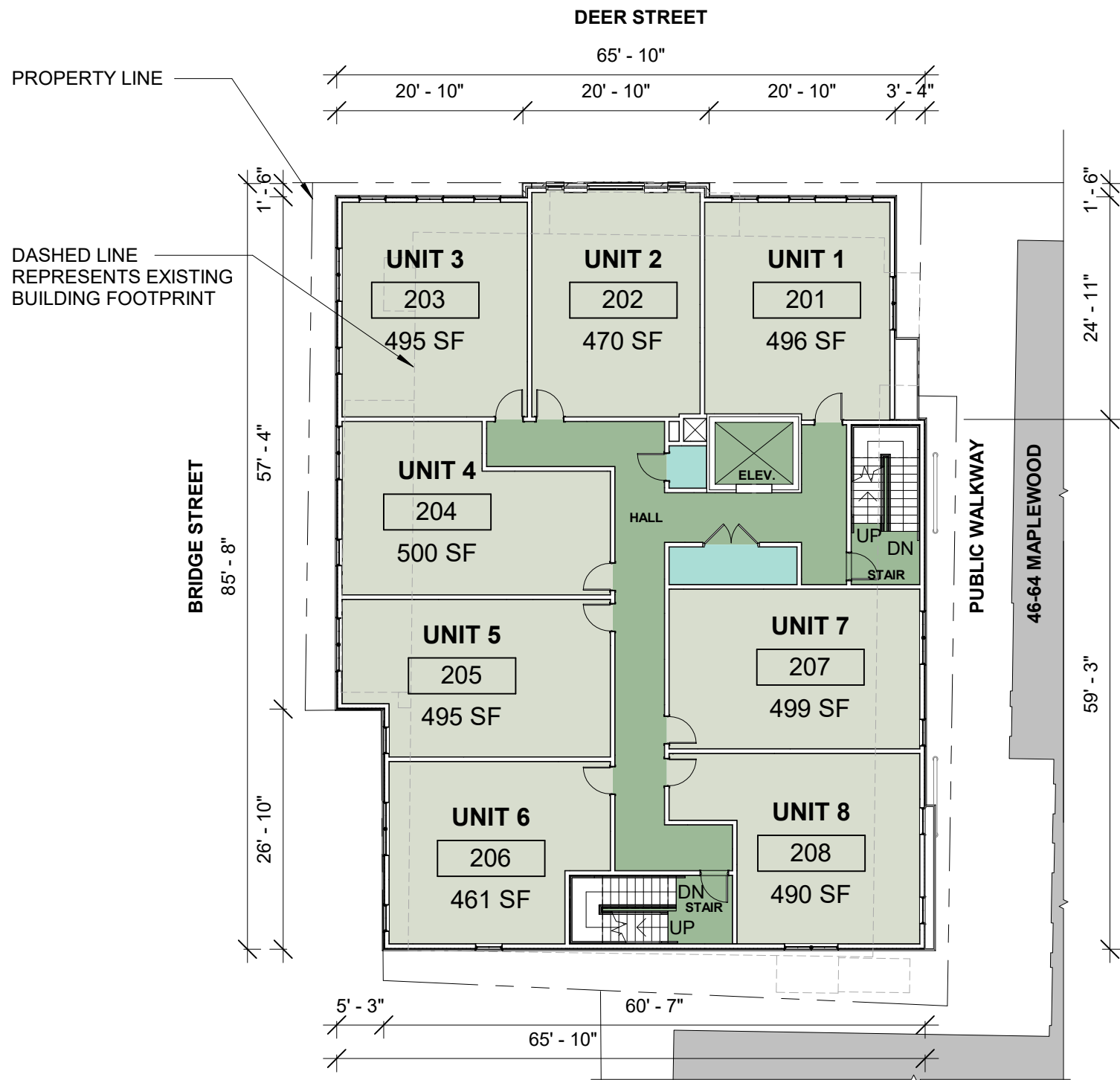
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McHENRY ARCHITECTURE

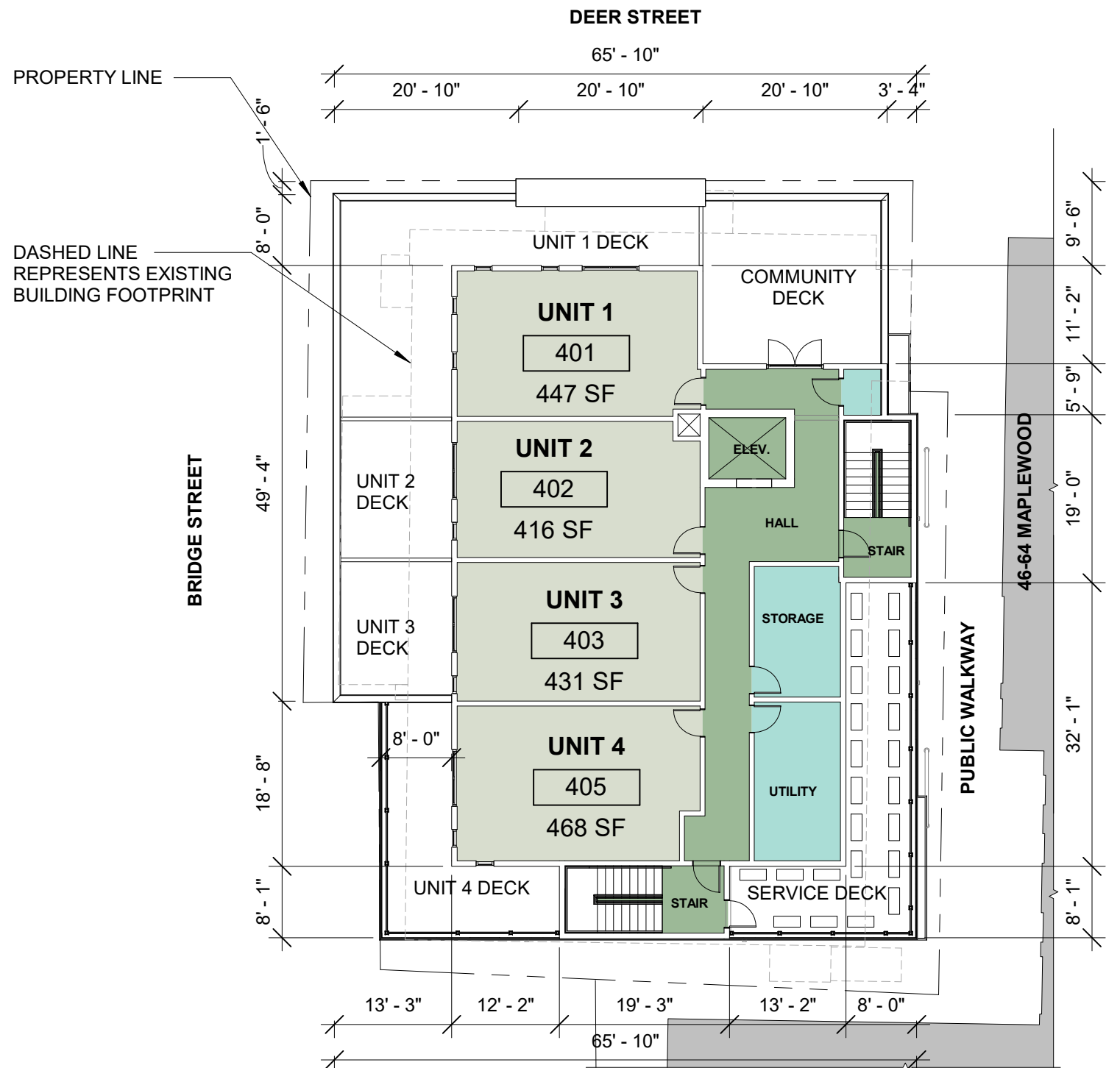
4 Market Street
Portsmouth, New Hampshire

A4

10/06/2021
McHA: SM/RD/MG
Scale: 1/16" = 1'-0"



1 SECOND AND THIRD FLOOR
1/16" = 1'-0"



2 FOURTH FLOOR
1/16" = 1'-0"

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DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

FLOOR PLANS

HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A5

10/06/2021
McHA: SM/RD/MG
Scale: 1/16" = 1'-0"

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<p>DEER ST. MIXED-USE BUILDING</p> <p>238 DEER STREET PORTSMOUTH, NH 03801</p>	<p>OVERALL ELEVATIONS</p> <p>HISTORIC DISTRICT COMMISSION, OCTOBER 2021</p>	<p>McHENRY ARCHITECTURE</p> <p>4 Market Street Portsmouth, New Hampshire</p>	<p>A6</p>	<p>10/06/2021</p> <p>McHA: SM/RD/MG</p> <p>Scale: 1/16" = 1'-0"</p>
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1 NORTH ELEVATION (DEER STREET)
1/8" = 1'-0"

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<p>DEER ST. MIXED-USE BUILDING</p> <p>238 DEER STREET PORTSMOUTH, NH 03801</p>	<p>DEER STREET ELEVATION</p> <p>HISTORIC DISTRICT COMMISSION, OCTOBER 2021</p>	<p>McHENRY ARCHITECTURE</p> <p>4 Market Street Portsmouth, New Hampshire</p>	<p>A7</p>	<p>10/06/2021</p> <p>McHA: SM/RD/MG</p> <p>Scale: 1/8" = 1'-0"</p>
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DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

BRIDGE STREET ELEVATION

HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE

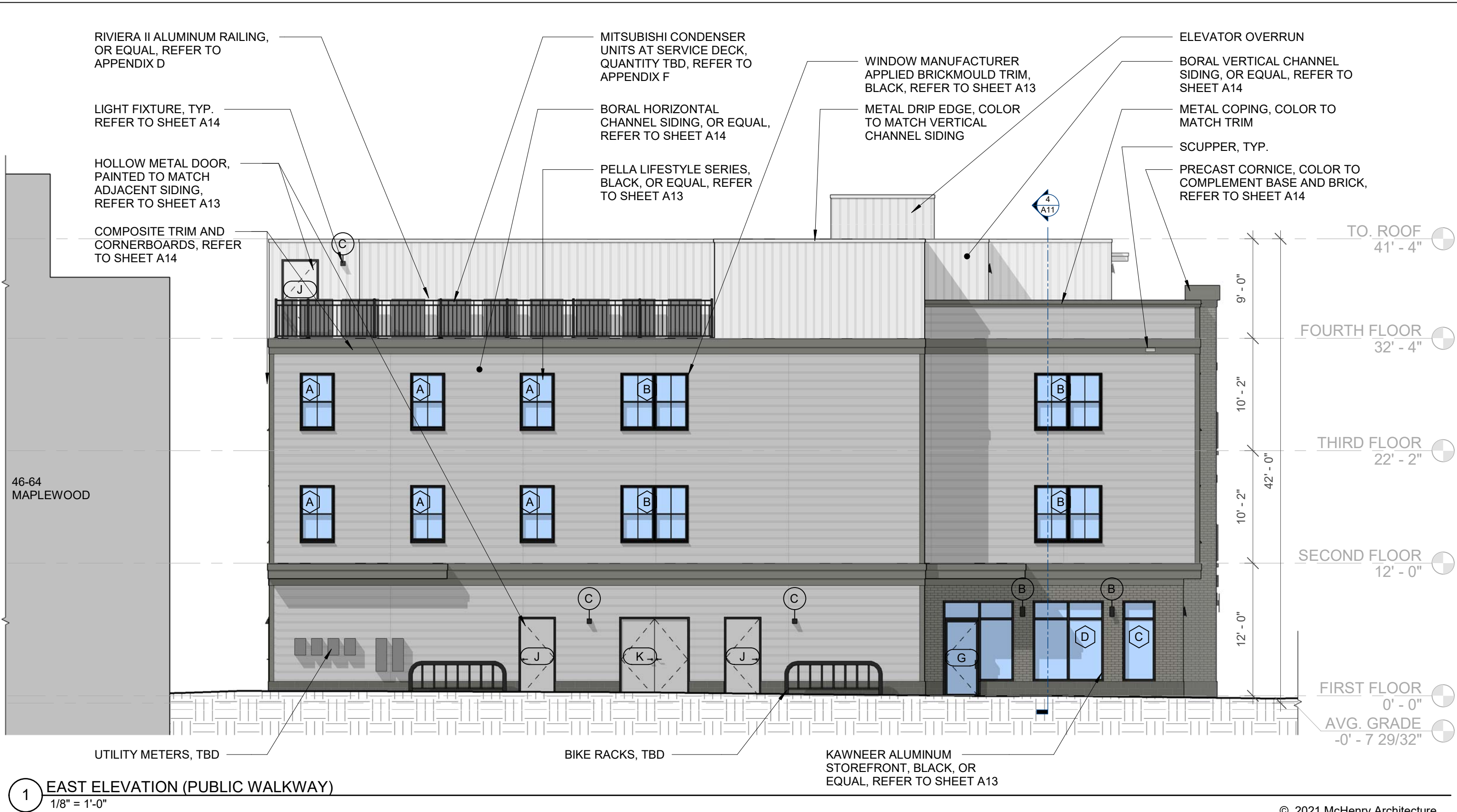
4 Market Street
Portsmouth, New Hampshire

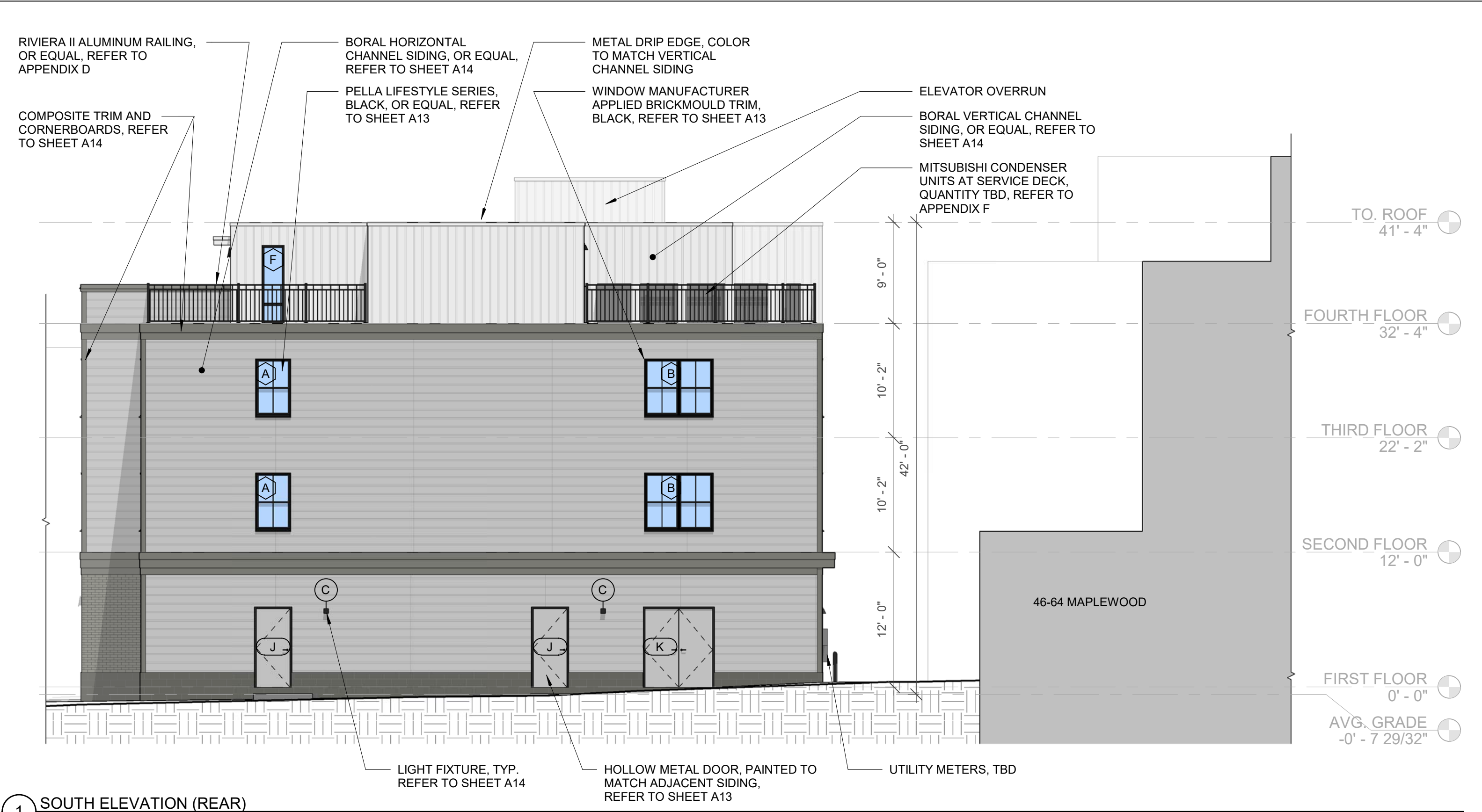
A8

10/06/2021

McHA: SM/RD/MG

Scale: 1/8" = 1'-0"

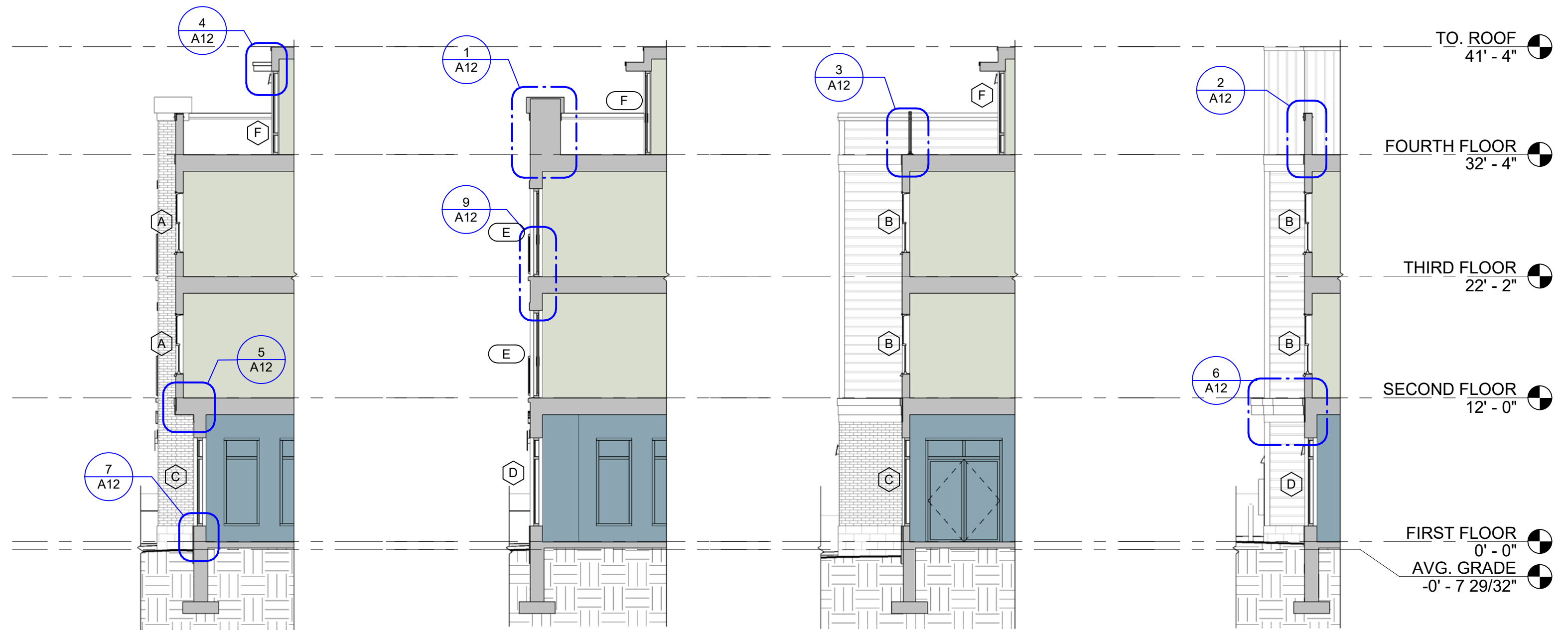




1 SOUTH ELEVATION (REAR)
1/8" = 1'-0"

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<div>DEER ST. MIXED-USE BUILDING</div> <div>238 DEER STREET PORTSMOUTH, NH 03801</div>	<div>REAR ELEVATION</div> <div>HISTORIC DISTRICT COMMISSION, OCTOBER 2021</div>	<div>McHENRY ARCHITECTURE</div> <div>4 Market Street Portsmouth, New Hampshire</div>	<div>A10</div>	<div>10/06/2021</div> <div>McHA: SM/RD/MG</div> <div>Scale: 1/8" = 1'-0"</div>
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1 SECTION AT DEER STREET ELEVATION
1/8" = 1'-0"

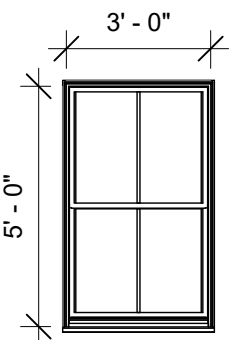
2 SECTION AT CENTRAL EXTRUSION
1/8" = 1'-0"

3 SECTION AT BRIDGE STREET ELEVATION
1/8" = 1'-0"

4 SECTION AT PUBLIC WALKWAY ELEVATION
1/8" = 1'-0"

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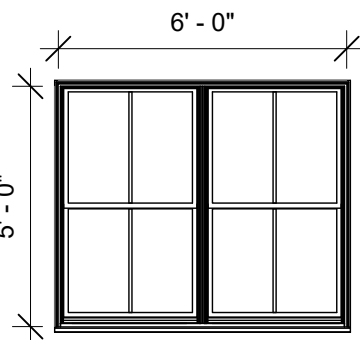
<p>DEER ST. MIXED-USE BUILDING</p> <p>238 DEER STREET PORTSMOUTH, NH 03801</p>	<p>SECTIONS</p> <p>HISTORIC DISTRICT COMMISSION, OCTOBER 2021</p>	<p>McHENRY ARCHITECTURE</p> <p>4 Market Street Portsmouth, New Hampshire</p>	<p>A11</p>	<p>10/06/2021</p> <p>McHA: SM/RD/MG</p> <p>Scale: 1/8" = 1'-0"</p>
--	---	--	------------	--



TYPE A:
PELLA LIFESTYLE SERIES; ALUMINUM-CLAD WOOD WINDOW, OR EQUAL

2 OVER 2 DOUBLE HUNG, BLACK EXTERIOR, BLACK FACTORY APPLIED BRICK MOULD

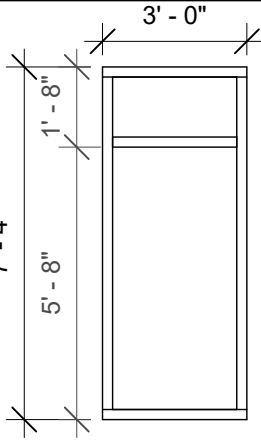
REFER TO APPENDIX A



TYPE B:
PELLA LIFESTYLE SERIES; ALUMINUM-CLAD WOOD WINDOW, OR EQUAL

PAIRED 2 OVER 2 DOUBLE HUNG, BLACK EXTERIOR, BLACK FACTORY APPLIED BRICK MOULD

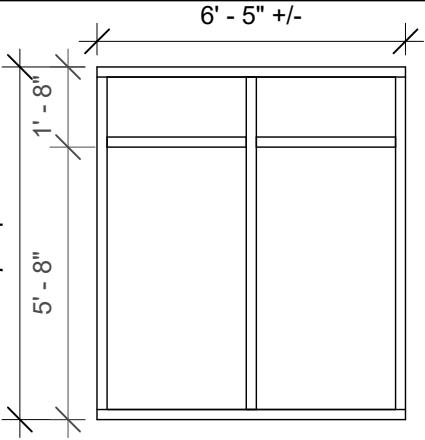
REFER TO APPENDIX A



TYPE C:
KAWNEER WINDOW WALL; ALUMINUM STOREFRONT, OR EQUAL

FIXED, BLACK EXTERIOR

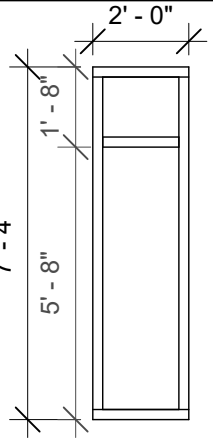
REFER TO APPENDIX B



TYPE D:
KAWNEER WINDOW WALL; ALUMINUM STOREFRONT, OR EQUAL

FIXED, BLACK EXTERIOR

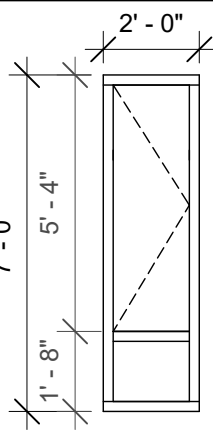
REFER TO APPENDIX B



TYPE E:
PELLA; ALUMINUM CLAD FIXED, OR EQUAL

FIXED, BLACK EXTERIOR

REFER TO APPENDIX A



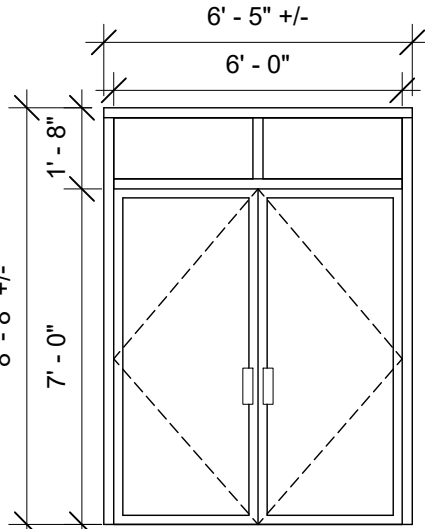
TYPE F:
PELLA ALUMINUM CLAD CASEMENT OVER FIXED, OR EQUAL

FIXED, BLACK EXTERIOR

REFER TO APPENDIX A

WINDOW TYPES

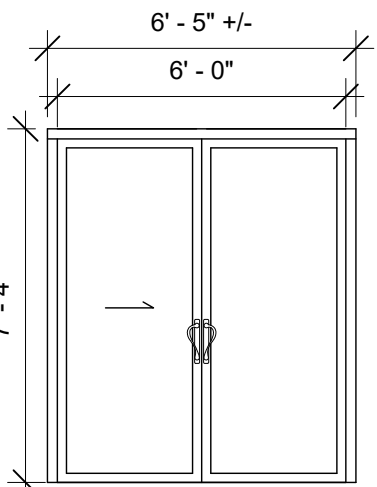
1/4" = 1'-0"



TYPE C:
KAWNEER WINDOW WALL; ALUMINUM STOREFRONT, OR EQUAL

DOUBLE DOOR, FIXED TRANSOM, BLACK EXTERIOR

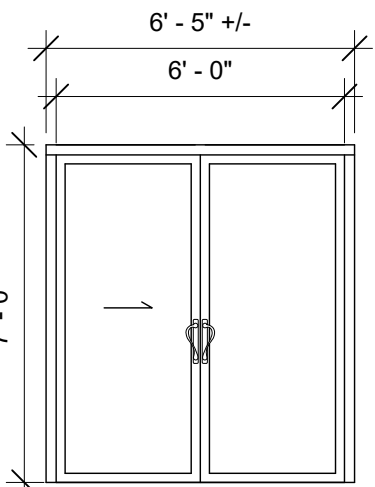
REFER TO APPENDIX B



TYPE E:
PELLA ALUMINUM-CLAD, OR EQUAL

SLIDING DOUBLE DOOR (TBD), BLACK EXTERIOR

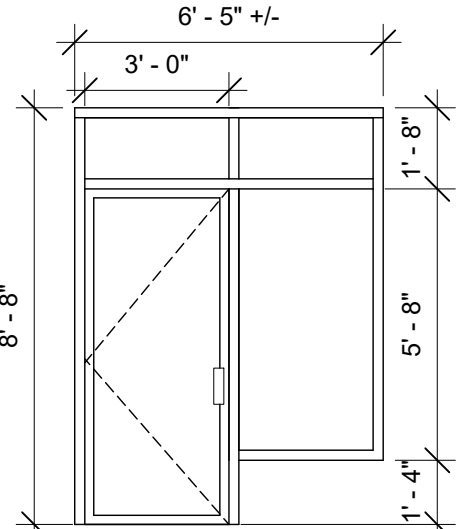
REFER TO APPENDIX A



TYPE F:
PELLA ALUMINUM-CLAD, OR EQUAL

SLIDING DOUBLE DOOR (TBD), BLACK EXTERIOR

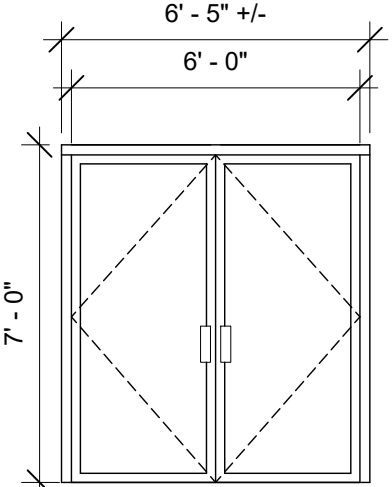
REFER TO APPENDIX A



TYPE G:
KAWNEER WINDOW WALL; ALUMINUM STOREFRONT, OR EQUAL

SINGLE DOOR, FIXED TRANSOM AND SIDE LITE, BLACK EXTERIOR

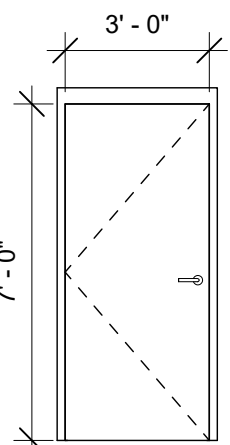
REFER TO APPENDIX A



TYPE H:
PELLA ALUMINUM-CLAD, OR EQUAL

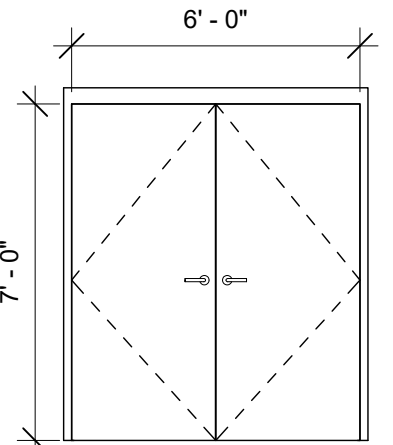
DOUBLE DOOR (TBD), BLACK EXTERIOR

REFER TO APPENDIX A



TYPE J:
HOLLOW METAL UTILITY DOOR

SINGLE FLUSH, BLACK TRIM, PAINT TO MATCH ADJACENT SIDING



TYPE K:
HOLLOW METAL UTILITY DOOR

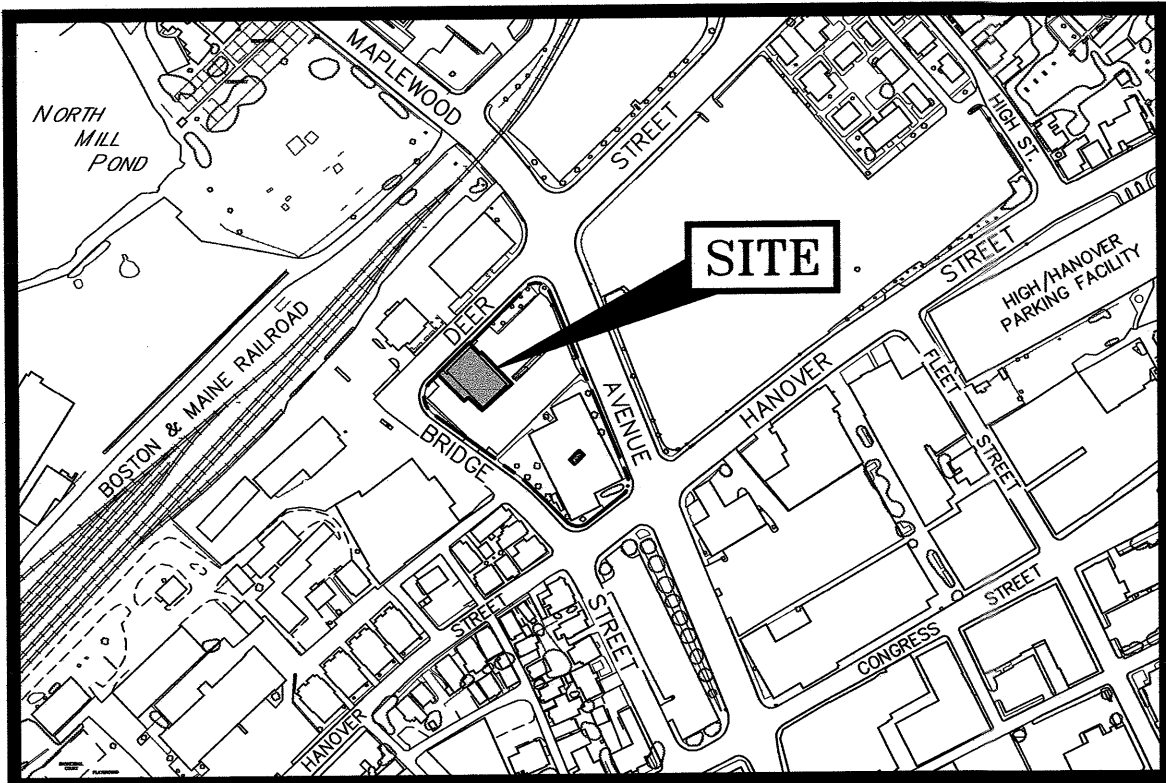
DOUBLE FLUSH, BLACK TRIM, PAINT TO MATCH ADJACENT SIDING

DOOR TYPES

1/4" = 1'-0"

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<div><div><div>Icon LED Outdoor Wall Sconce</div><div>By dweLED</div></div><div><div><div>Icon LED Outdoor Wall Sconce</div><div>By dweLED</div></div><div><div>Product Options</div><div>Finish: Brushed Aluminum , Black</div><div>Size: 14-Inch , 20-Inch</div></div><div><div>Details</div><div><ul style="list-style-type: none">Construction, Aluminum hardware with glass diffuserWeather-resistant powder coat finishShielded light source for low-glare illuminationDriver concealed within the fixtureMaterial: AluminumDimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)Dimmer Range: 100 - 10%ADA compliantETL Listed WetWarranty: 5 Year Functional, 2 Year FinishMade In China</div></div><div><div>Dimensions</div><div>14-Inch Option Fixture: Width 5", Height 14", Depth 3"</div><div>14-Inch Option Supply Cord: Weight 4.14Lbs</div><div>14-Inch Option Wall Plate: Length 4.5", Width 5.5", Depth 0.5"</div><div>20-Inch Option Fixture: Width 5", Height 20", Depth 3"</div><div>20-Inch Option Supply Cord: Weight 5.13Lbs</div><div>20-Inch Option Wall Plate: Length 4.5", Width 5.5", Depth 0.5"</div></div><div><div>Lighting</div><div><ul style="list-style-type: none">14-Inch Option: 10.9 Watt (845 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 54000 hours20-Inch Option: 11.1 Watt (847 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 54000 hours</div></div><div><div>Additional Details</div><div><div>Product URL:</div><div>https://www.lumens.com/icon-led-outdoor-wall-sconce-by-dweled-DWEP154761.html</div></div><div><div>Rating:</div><div>ETL Listed Wet</div></div><div><div>Product ID:</div><div>DWEP154761</div></div></div></div></div>		<div><div><div>Slant LED Indoor & Outdoor Wall Light</div><div>By dweLED</div></div><div><div><div>Slant LED Indoor & Outdoor Wall Light</div><div>By dweLED</div></div><div><div>Product Options</div><div>Finish: Brushed Aluminum , Black</div></div><div><div>Details</div><div><ul style="list-style-type: none">May be mounted on wall vertically or upside downACLED driverDesigned in 2019Material: AluminumDimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)Dimmer Range: ELV Dimming: 100 - 10%ADA compliant, Dark Sky compliant, Title 24 compliantETL Listed WetWarranty: 5 Years Functional, 2 Years FinishMade In China</div></div><div><div>Dimensions</div><div>Fixture: Length 5", Width 3.25", Height 10.63"</div></div><div><div>Lighting</div><div><ul style="list-style-type: none">7 Watt (440 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours</div></div><div><div>Additional Details</div><div><div>Product URL:</div><div>https://www.lumens.com/slant-led-indoor-and-outdoor-wall-light-by-dweled-DWEP266554.html</div></div><div><div>Rating:</div><div>ETL Listed Wet</div></div><div><div>Product ID:</div><div>DWEP266554</div></div></div></div></div>		<div><div><div>Pitch LED Indoor/Outdoor Wall Sconce</div><div>By Tech Lighting</div></div><div><div><div>Pitch LED Indoor/Outdoor Wall Sconce</div><div>By Tech Lighting</div></div><div><div>Product Options</div><div>Finish: Black, Brushed Aluminum, Chrome</div><div>Voltage: 120 Volt , 277 Volt</div></div><div><div>Details</div><div><ul style="list-style-type: none">May be mounted up or downMarine-grade powder coat finishesStainless Steel mounting hardwareImpact-resistant, UV stabilized frosted acrylic lensingMaterial: Die-Cast MetalADA compliant, Dark Sky compliant, Title 24 compliantETL Listed WetMarine GradeWarranty: 5 yearsMade In China</div></div><div><div>Dimensions</div><div>120 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs</div><div>277 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs</div></div><div><div>Lighting</div><div><ul style="list-style-type: none">120 Volt Option: 26.1 Watt (823 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 3000K Lifespan: 70000 hours277 Volt Option: 26.1 Watt (823 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 3000K Lifespan: 70000 hours</div></div><div><div>Additional Details</div><div><div>Product URL:</div><div>https://www.lumens.com/pitch-led-indoor-outdoor-wall-sconce-by-tech-lighting-TECP90024.html</div></div><div><div>Rating:</div><div>ETL Listed Wet</div></div><div><div>Product ID:</div><div>TECP90024</div></div></div></div></div>		<div><div><div>Pop-in 4in Square LED New Construction Recessed Downlight</div><div>By WAC Lighting</div></div><div><div><div>Pop-in 4in Square LED New Construction Recessed Downlight</div><div>By WAC Lighting</div></div><div><div>Details</div><div><ul style="list-style-type: none">Designed in 2020Finish: Electrostatically Powder Coated WhiteMaterial: AluminumHousing Type: IC Remodel HousingTrim Type: Deep ReflectorTitle 24 compliantEnergy Star QualifiedETL Listed WetWarranty: 5 Years Functional, 2 Years FinishMade In China</div></div><div><div>Dimensions</div><div>Cut-out: Width 4.13", Depth 4.13"</div><div>Fixture: Length 14.5", Width 8.6", Height 4.6"</div></div><div><div>Lighting</div><div><ul style="list-style-type: none">12 Watt 120/240/277 Volt Integrated LED: CRI: 90 Color Temp: 3000K</div></div><div><div>Additional Details</div><div><div>Product URL:</div><div>https://www.lumens.com/pop-in-4in-square-led-new-construction-recessed-downlight-by-wac-lighting-WACP312393.html</div></div><div><div>Rating:</div><div>ETL Listed Wet</div></div><div><div>Product ID:</div><div>WACP312393</div></div></div></div></div>		<div><div><div>BORAL TRUEX</div><div>EXTERIOR (POLY-ASH)</div><div>OR EQUAL</div></div><div><div><div>PAINTED 10" CHANNEL SIDING, VERTICAL AND HORIZONTAL APPLICATIONS, TRIM TO BE SIMILAR MATERIAL, REFER TO ELEVATIONS AND APPENDIX C</div></div></div></div>		<div><div><div>CHESAPEAKE BRICK</div><div>OR EQUAL</div></div><div><div><div>ENGINEER SIZE, REFER TO ELEVATIONS FOR LOCATIONS AND APPENDIX E</div></div></div></div>		<div><div><div>PRECAST CONCRETE HEADER/SILL/BASE (TBD)</div><div>COLOR TO COMPLEMENT CHESAPEAKE BRICK (NORTHERN DESIGN CHOCOLATE 2 SHOWN)</div></div><div><div>© 2021 McHenry Architecture</div></div></div>	
<div>DEER ST. MIXED-USE BUILDING</div> <div>238 DEER STREET</div> <div>PORTSMOUTH, NH 03801</div>		<div>MATERIALS AND PRODUCT DATA</div> <div>HISTORIC DISTRICT COMMISSION, OCTOBER 2021</div>		<div>McHENRY ARCHITECTURE</div> <div>4 Market Street</div> <div>Portsmouth, New Hampshire</div>		<div>A14</div>		<div>10/06/2021</div> <div>McHA: SM/RD/MG</div> <div>NOT TO SCALE</div>					

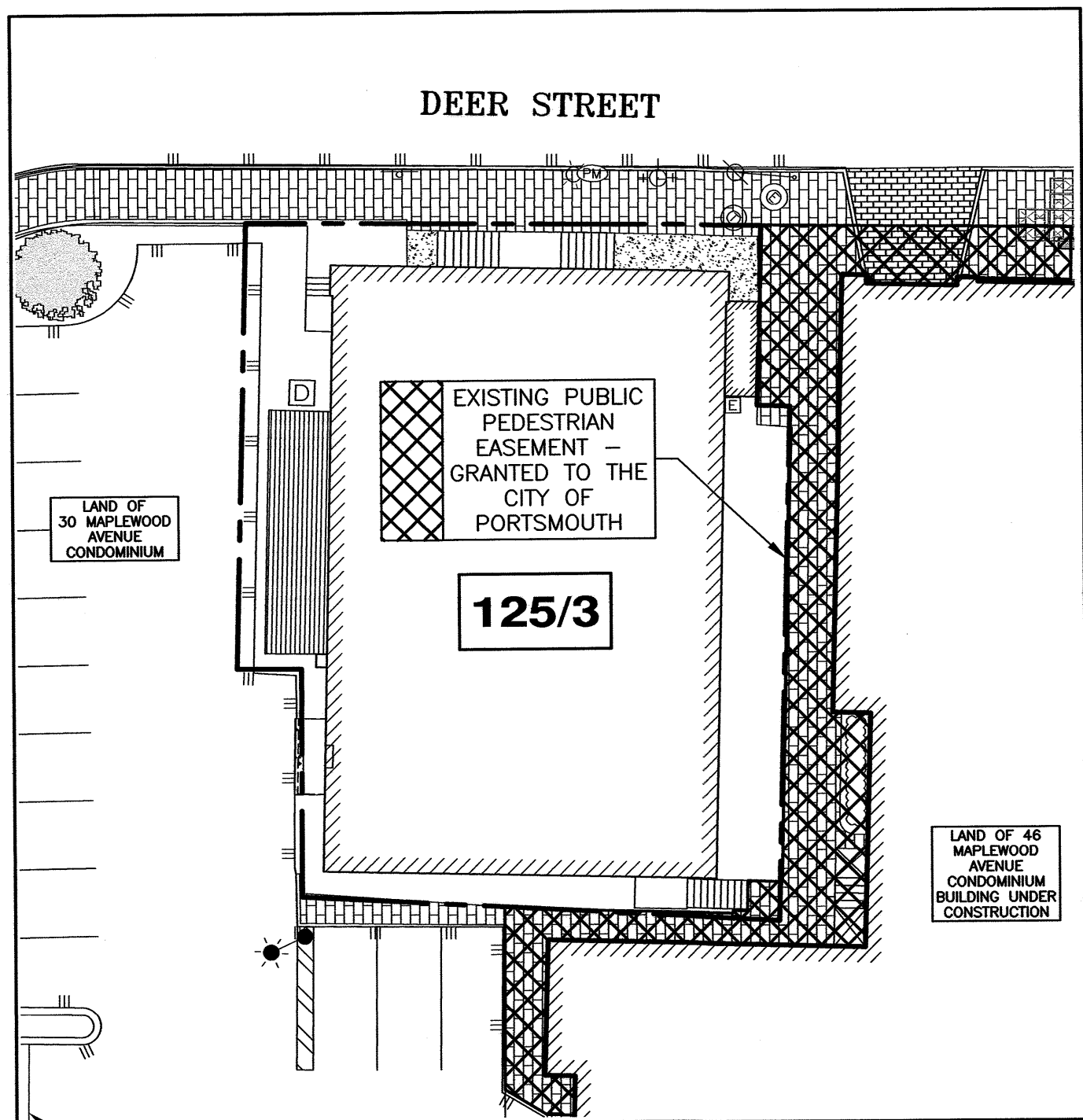


LOCATION MAP

SCALE: 1" = 300'

PLAN REFERENCES:

1. VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, DISPOSITION PLAN PARCEL 7. DATED OCT. 1973 BY ANDERSON-NIHOLS & CO., INC. RCRD #D-4119.
2. VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, DISPOSITION PLAN PARCEL 10. DATED OCT. 1973 BY ANDERSON-NIHOLS & CO., INC. RCRD #D-4125.
3. VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10, PORTSMOUTH, NEW HAMPSHIRE, DISPOSITION MAP. DATED NOV. 1969 BY ANDERSON-NIHOLS & CO., INC. RCRD #D-2408.
4. EASEMENT SITE PLAN, TAX MAP 125 - LOT 2, 30 MAPLEWOOD, LLC TO PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE (PSNH), SCALE: 1" = 20', OCTOBER 2013 BY AMBIT ENGINEERING. RCRD D-38148.
5. PROPOSED EASEMENT TO CITY OF PORTSMOUTH, SCALE: 1" = 10', 9/18/13 BY AMBIT ENGINEERING. BK 5512, PG 1046.
6. CONDOMINIUM SITE PLAN, TAX MAP 125 - LOT 2, BY AMBIT ENGINEERING. RCRD D-38936; AMENDED AT RCRD D-39005.
7. SUBDIVISION PLAN TAX MAP 125 - LOT 2, OWNER: 30 MAPLEWOOD, LLC, 30-46 MAPLEWOOD AVENUE, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE, PREPARED BY AMBIT ENGINEERING, INC., SCALE 1" = 20', DATED OCTOBER 2015 REVISED 4/18/17, RCRD D-40246
8. PLAN OF LAND NO. 238 DEER ST. PORTSMOUTH, N.H., SCALE: 1IN = 10 FT., DATED MAY 1954 PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS RCRD #02164



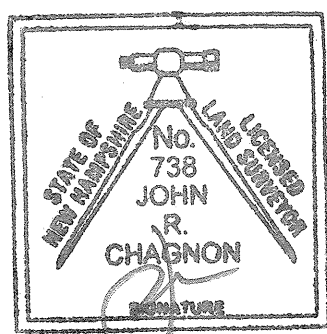
PUBLIC WALKWAY EASEMENT

1"=20'

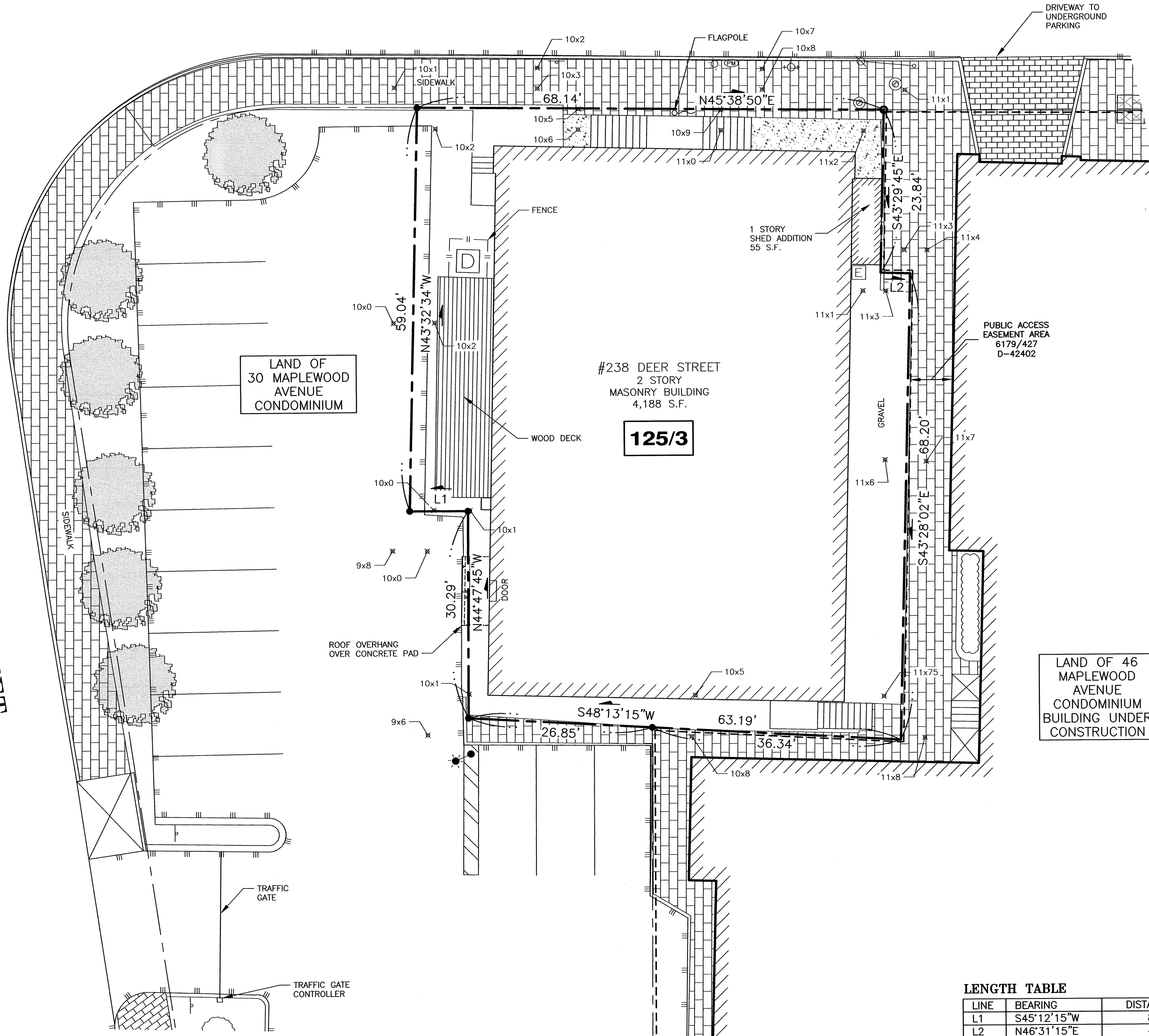
I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

JOHN R. CHAGNON, LLS 738

9.1.21
DATE



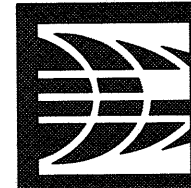
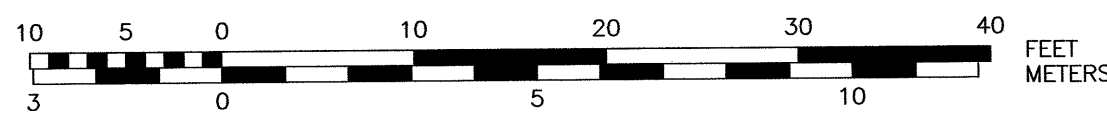
BRIDGE STREET



LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S45°12'15"W	8.50'
L2	N46°31'15"E	4.30'

GRAPHIC SCALE



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 3.

2) OWNER OF RECORD:
238 DEER STREET, LLC.
238 DEER STREET
PORTSMOUTH, NH 03801
5890/1712
RCRD #02164

3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4, HISTORIC DISTRICT, AND DOWNTOWN OVERLAY DISTRICT.

4) DIMENSIONAL REQUIREMENTS:

CHARACTER DISTRICT 4 (CD4):	
MIN. LOT AREA:	NO REQUIREMENT
FRONTAGE:	NO REQUIREMENT
SETBACKS:	
FRONT (MAX.)	10 FEET (PRIMARY)
SIDE	NO REQUIREMENT
REAR	5 FEET
MAXIMUM STRUCTURE HEIGHT:	40 FEET
MAXIMUM STRUCTURE COVERAGE:	90%
MAXIMUM BUILDING FOOTPRINT:	15,000 S.F.
MINIMUM OPEN SPACE:	10%
MINIMUM FRONT LOT LINE BUILDOUT:	50%

5) LOT AREA: 6,181 S.F., 0.1419 ACRES.

6) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F, JANUARY 29, 2021

7) THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY AND EXISTING CONDITIONS ON MAP 125, LOT 3.

SITE DEVELOPMENT
238 DEER STREET, LLC
238 DEER STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	9/1/21
REVISIONS		

SCALE: 1" = 10' AUGUST 2021

EXISTING
CONDITIONS PLAN

C1

ZONING DEVELOPMENT STANDARD

CD4: CHARACTER DISTRICT 4

BUILDING PLACEMENT (PRINCIPLE):

	REQUIRED	EXISTING	PROPOSED
MAX. PRINCIPLE FRONT YARD:	10.0'	1'	0'
MAX. SECONDARY FRONT YARD:	N/A	N/A	N/A
MIN. SIDE YARD:	NR	0'	0'
MIN. REAR YARD:	5.0'	3.5'	3.5'
FRONT LOT LINE BUILDOUT:	50% MIN.	78%	92%

BUILDING TYPES:

ALLOWED BUILDING TYPES: ROWHOUSE, APARTMENT, LIVE/WORK, SMALL/LARGE COMMERCIAL
PROHIBITED: HOUSE & DUPLEX

ALLOWED FACADE TYPE: STOOP, STEP, SHOPFRONT, OFFICEFRONT, RECESSED-ENTRY
PROHIBITED: PORCH & FORECOURT

BUILDING FORM:

	REQUIRED	EXISTING	PROPOSED
MAX STRUCTURE HEIGHT:	40.0' + 2.0' PENTHOUSE	23' +/-	42'
STRUCTURE HEIGHT (IN STORIES):	3	1	3 + PENTHOUSE
PENTHOUSE AREA:	50% MAX. OF STORY BELOW	N/A	3,206 S.F. - 60% 1,907 S.F. - 35.6%
PENTHOUSE SETBACK:	15.0'	N/A	8.0'
MAX. FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 INCHES	6'	1'
MIN. GROUND STORY HEIGHT:	12.0'	14.0'	12.0'
MIN. SECOND STORY HEIGHT:	10.0'	N/A	10.5'
FACADE GLAZING (OTHER):	20% MIN. TO 50% MAX.	N/A	42%

ROOF TYPE ALLOWED: FLAT, GABLE, HIP, GAMBREL, MANSARD

LOT OCCUPATION:

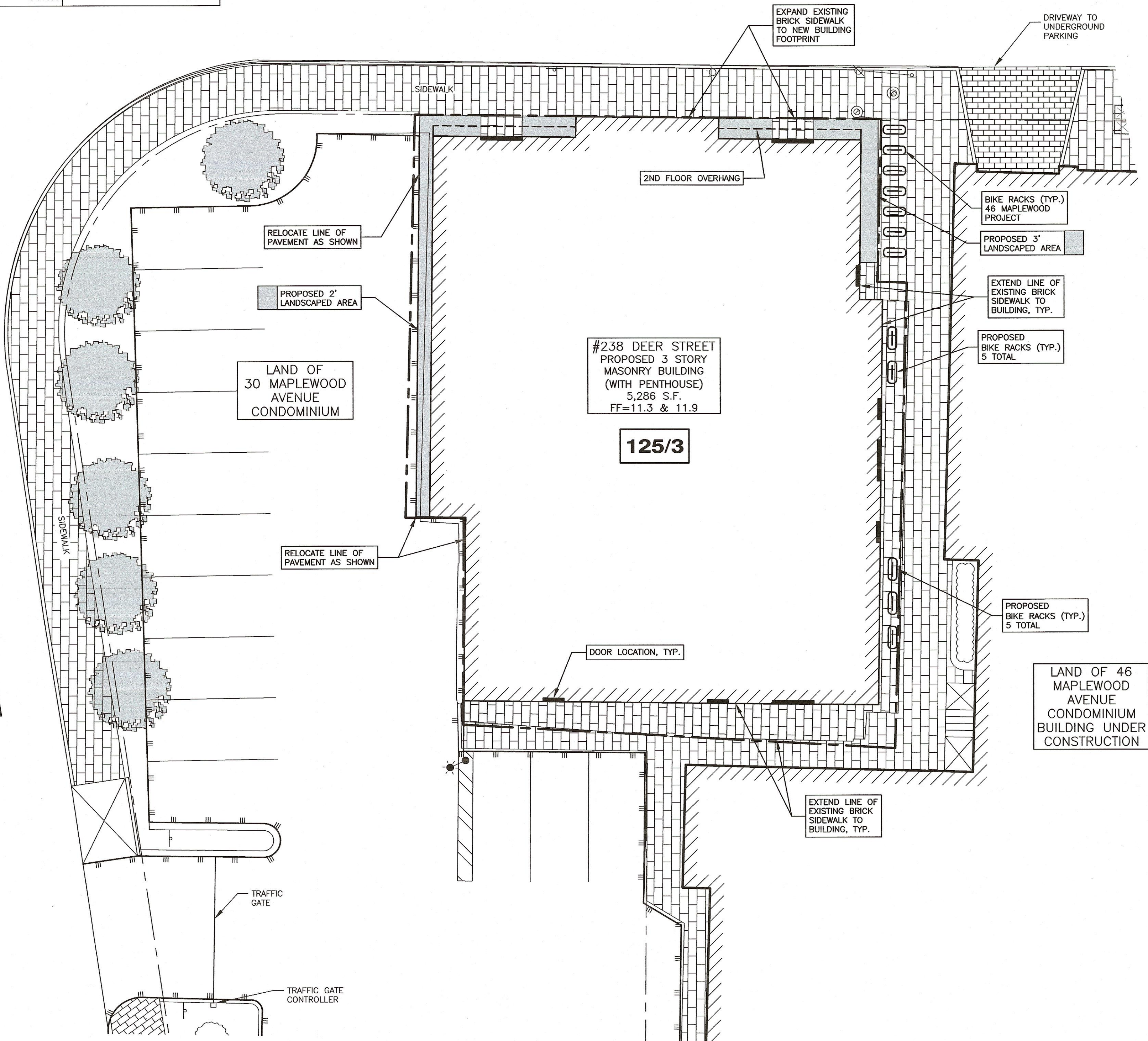
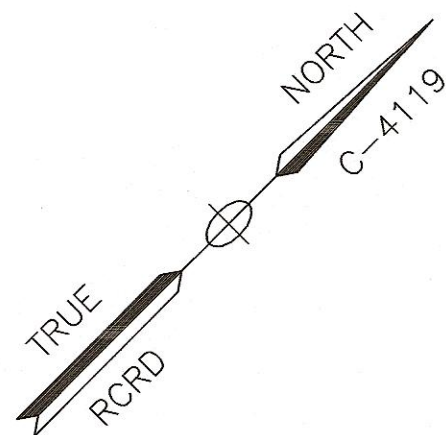
	REQUIRED	EXISTING	PROPOSED
MAX BUILDING BLOCK:	200'	53'	63'
MAX FACADE MOD. LENGTH:	80'	53'	21'
MIN. ENTRANCE SPACING:	50'	N/A	N/A
MAX BUILDING COVERAGE:	90%	74%	85%
MAX BUILDING FOOTPRINT:	15,000 SF	4,243 S.F.	5,286 S.F.
GROSS BUILDING:		8,346 S.F.	19,190 S.F.
MIN. LOT AREA:	NR	6,181 S.F.	6,181 S.F.
MIN. LOT AREA/DWELLING (LOT AREA/# OF UNITS):	NR	N/A	N/A
MIN. OPEN SPACE :	10%	9.67%	2.7%

IMPERVIOUS SURFACE AREAS

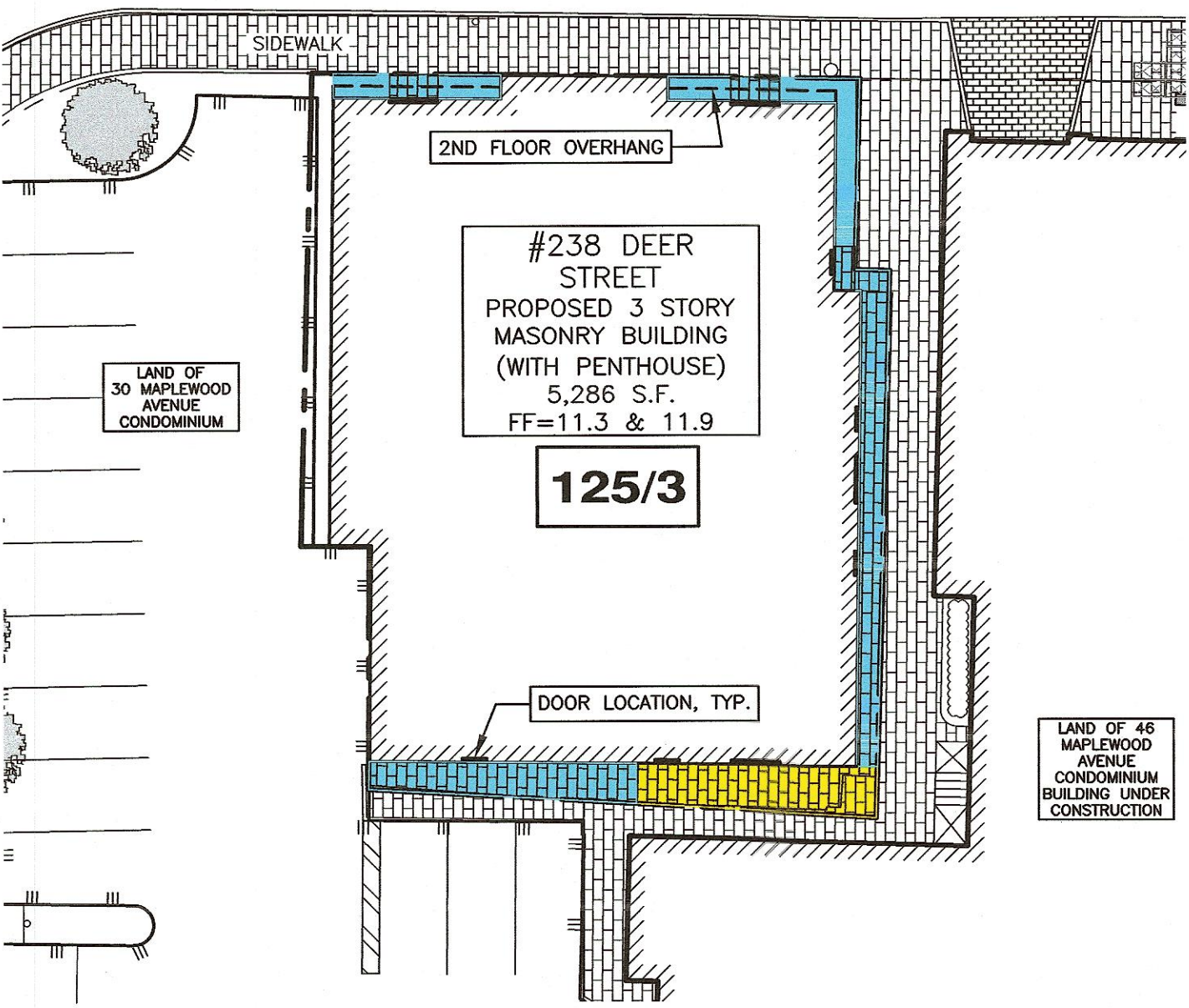
(TO PROPERTY LINE)

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
BUILDING	4,243	5,286
DECKS	264	0
STAIRS	194	0
CONCRETE	137	0
PAVEMENT	458	70
BRICK WALKWAY	104	559
GRAVEL	531	0
TOTAL	5931	5915
LOT SIZE	6,181	6,181
% LOT COVERAGE	96.0%	95.7%

DEER STREET

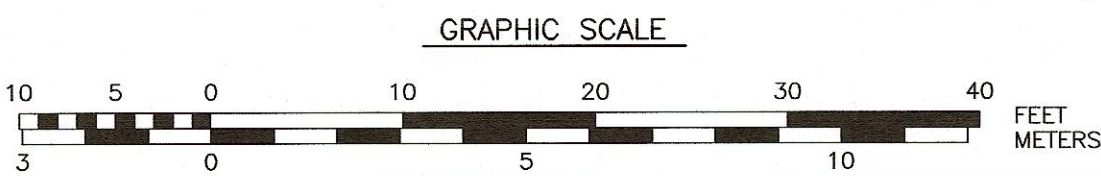


DEER STREET



OPEN SPACE EXHIBIT 1"=20'

MEETS ORDINANCE CRITERIA		169 S.F. (2.7%)
MEETS ORDINANCE INTENT		536 S.F. (8.7%)
TOTAL		705 S.F. (11.4%)



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

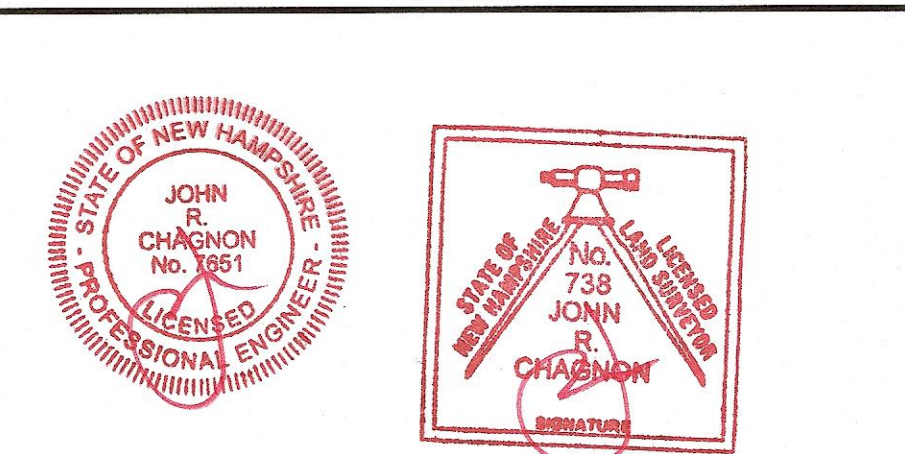
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 3.
- 2) OWNER OF RECORD:
238 DEER STREET, LLC.
238 DEER STREET
PORTSMOUTH, NH 03801
5890/1712
RCRD #02164
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4, HISTORIC DISTRICT, AND DOWNTOWN OVERLAY DISTRICT.
- 4) DIMENSIONAL REQUIREMENTS:
CHARACTER DISTRICT 4 (CD4):
MIN. LOT AREA: NO REQUIREMENT
FRONTAGE: NO REQUIREMENT
SETBACKS:
FRONT (MAX.) 10 FEET (PRIMARY)
SIDE NO REQUIREMENT
REAR 5 FEET
MAXIMUM STRUCTURE HEIGHT: 40 FEET
MAXIMUM STRUCTURE COVERAGE: 90%
MAXIMUM BUILDING FOOTPRINT: 15,000 S.F.
MINIMUM OPEN SPACE: 10%
MINIMUM FRONT LOT LINE BUILDOUT: 50%
- 5) LOT AREA: 6,181 S.F., 0.1419 ACRES.
- 6) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F, JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED REPLACEMENT STRUCTURE ON MAP 125, LOT 3.

SITE DEVELOPMENT

238 DEER STREET, LLC
238 DEER STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	9/1/21

REVISIONS



SCALE: 1" = 10'

AUGUST 2021

SITE PLAN

C2



EXAMPLE EFFICIENCY UNIT FLOOR PLAN - 400SF



EXAMPLE EFFICIENCY UNIT



EXAMPLE EFFICIENCY UNIT

OWNER CONCEPT
PRECEDENT:
EXAMPLE
EFFICIENCY UNIT



EXAMPLE EFFICIENCY UNIT

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DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

INTERIOR CONCEPT / OWNER
INSPIRATION

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A16

10/06/2021
McHA: SM/RD/MG
NOT TO SCALE

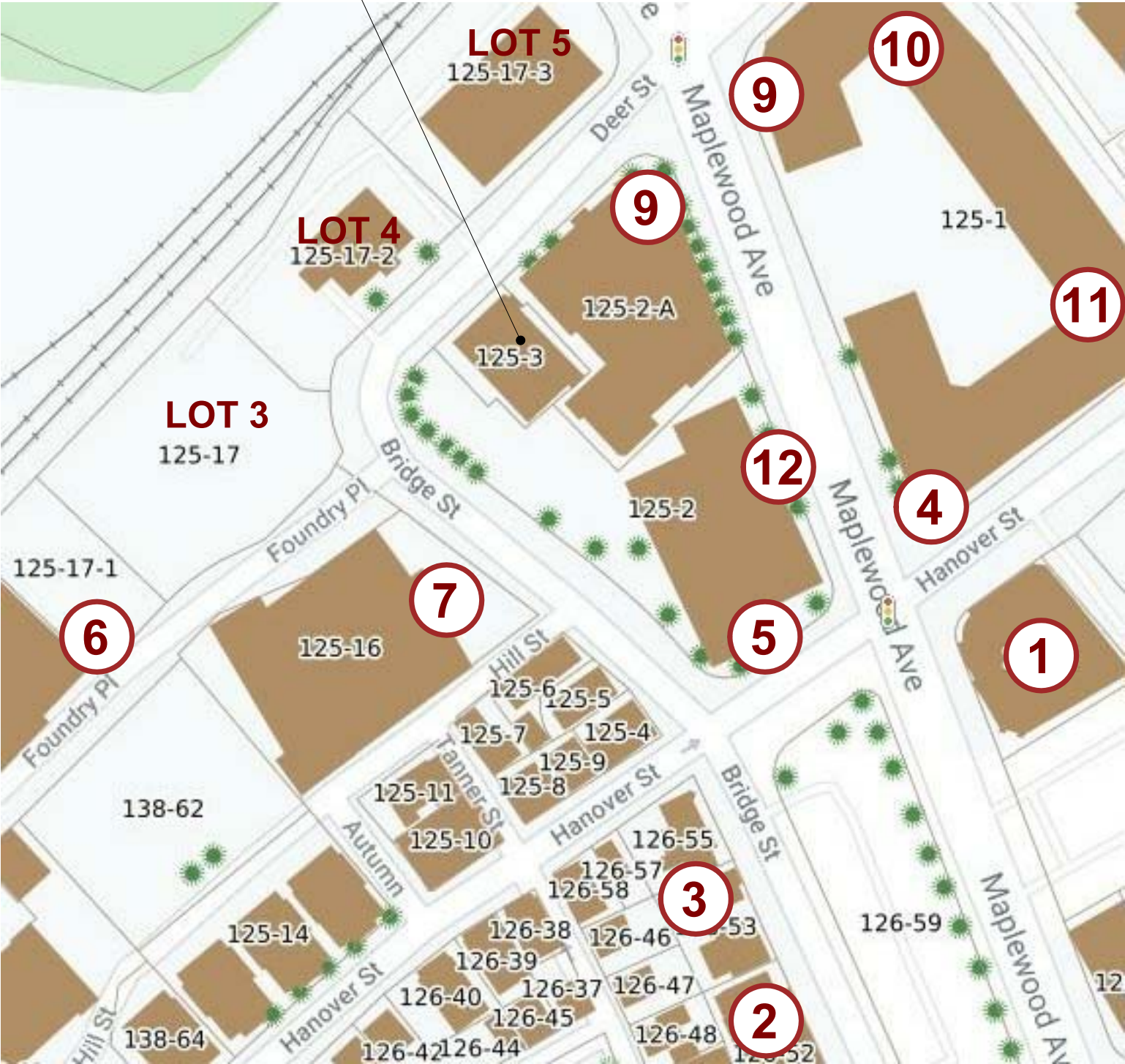


EXISTING PICTURE FROM DEER STREET AND MAPLEWOOD AVE INTERSECTION



EXISTING PICTURE FROM FOUNDRY GARAGE ROOF

238 DEET STREET
PORTSMOUTH, NH 03801



CONTEXT PHOTO KEY MAP

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DEER ST. MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

EXISTING PHOTOGRAPHS

HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A17

10/06/2021
McHA: SM/RD/MG
NOT TO SCALE



1: 25 MAPLEWOOD AVE



2: 40 BRIDGE STREET



1: BRIDGE STREET



4: 195 HANOVER ST - PORTWALK



5: 30 MAPLEWOOD AVE



6: 100 FOUNDRY PLACE

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DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

CONTEXT PHOTOGRAPHS
HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A18

10/06/2021
McHA: SM/RD/MG
NOT TO SCALE



7: 126 BRIDGE STREET



8: 46 MAPLEWOOD AVE



9: 195 HANOVER ST - PORTWALK



10: 195 HANOVER ST - PORTWALK



11: 195 HANOVER ST - PORTWALK



12: 30 MAPLEWOOD AVE

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DEER ST. MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

CONTEXT PHOTOGRAPHS
HISTORIC DISTRICT COMMISSION, OCTOBER 2021

McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A19

10/06/2021
McHA: SM/RD/MG
NOT TO SCALE



LOT 3: APPROVED FOUNDRY PLACE



LOT 4: APPROVED FOUNDRY PLACE



LOT 5: APPROVED FOUNDRY PLACE



LOT 3: 165 DEER STREET



LOT 4: 163 DEER STREET



LOT 5: 161 DEER STREET

© 2021 McHenry Architecture

<p>DEER ST. MIXED-USE BUILDING</p> <p>238 DEER STREET PORTSMOUTH, NH 03801</p>	<p>FOUNDRY PLACE CONTEXT</p> <p>HISTORIC DISTRICT COMMISSION, OCTOBER 2021</p>	<p>McHENRY ARCHITECTURE</p> <p>4 Market Street Portsmouth, New Hampshire</p>	<p>A20</p>	<p>10/06/2021</p> <p>McHA: SM/RD/MG</p> <p>NOT TO SCALE</p>
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Pella® Lifestyle Series

Aluminum-Clad Wood

APPENDIX A - OR EQUAL

#1 performing wood window and patio door¹

For the combination of energy, sound and value.

37 time-tested innovations

Create unique, room-by-room solutions to meet real-life needs.

83% more energy efficient²

On average compared to single-pane windows – with performance solutions for improved comfort.

Pella Lifestyle Series



Exceptional performance and style.

Style flexibility. Whether your client's home is traditional, modern or somewhere in between, create beautiful windows and patio doors that fit their style.

Redefining performance. Get both unrivaled energy efficiency and sound performance at an incredible value. With the Ultimate Performance package, windows are on average 79% more energy efficient and reduce 52% more outside noise than single-pane windows.^{2,5}

Enhanced durability. Our windows and patio doors are designed to stand the test of time with exterior wood parts treated with exclusive EnduraGuard® wood protection and an aluminum-clad exterior with EnduraClad® finish.

Room-by-room solutions.

Most desired features, options and innovations.

Complement your project with the most popular colors, finishes, grille patterns and more. Many innovative solutions also come standard.

Integrated blinds and shades. Intentionally designed to be accessible, blinds and shades are tucked between glass panes and are protected from dust, pets and little hands.

Added security and convenience. Add peace of mind with optional Pella Insynctive™ built-in window and door sensors and motorized between-the-glass blinds and shades that raise and lower with a button.

Create solutions that are perfect for real life. Covered by the best limited lifetime warranty in the industry for wood windows and patio doors, Pella Lifestyle Series offers everything you love about wood – including beauty, durability and style flexibility.³ Begin with dual- or triple-pane glass and then select from the most desired features and options.⁴

Pella Lifestyle Series is the #1 performing wood window and patio door for the combination of energy, sound and value.¹ Packed with purposeful innovations like Integrated Blinds, Shades and Security Sensors, we designed windows and patio doors to work for your project, room by room.

¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

² Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when comparing Pella Lifestyle Series windows with Advanced Comfort Low-E triple-pane glass with argon and mixed glass thickness to a single pane wood or vinyl window. Double-hung windows are not available with triple-pane glass. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

³ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service at 866-319-0397.

⁴ Double-hung window only available with dual-pane glass.

⁵ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with triple-pane glass with mixed glass thickness to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

Available in these window and patio door styles:



Special shapes also available.

Colors & Finishes

Wood Type

A beautiful wood species to complement your home’s interior.



Pine

Prefinished Pine Interior Colors

We can prefinish in your choice of a variety of beautiful paints and stains. Unfinished or primed and ready-to-paint are also available.

White

Bright White

Linen White

Natural Stain¹

Golden Oak Stain

Early American Stain

Provincial Stain

Dark Mahogany Stain¹

Red Mahogany Stain¹

Black Stain

Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading and helps protect windows and patio doors for years.

Black

White

Brown

Fossil

Iron Ore

Portobello

Putty

Almond

Classic White


Brick Red

Hartford Green


Wolf Gray

Glass²


InsulShield® Low-E Glass³




Advanced Low-E insulating dual-pane glass with argon or triple-pane glass with argon



AdvancedComfort Low-E insulating dual-pane glass with argon and triple-pane glass with argon




NaturalSun Low-E insulating dual-pane glass with argon or triple-pane glass with argon




SunDefense™ Low-E insulating dual-pane glass with argon or triple-pane glass with argon

Additional Glass Options



Tempered glass available on dual- and triple-pane products




Obscure and frosted obscure glass available on dual- and triple-pane products

Performance Packages

To make things easier, we’ve created performance packages that highlight what’s most important to your customers.

Performance solutions offer an unbeatable combination of energy efficiency, sound control and value.¹ Upgrade from a dual- to a triple-pane glass design with the packages below to meet the unique needs of each room in your customer’s home.

All values below are averages compared with single-pane windows.




Performance

Improved energy efficiency and sound performance.

71%
More Energy Efficient²

+


34%
Noise Reduction³



Sound Control

Exceptional noise control for a quieter home.


52%
Noise Reduction³



Energy Efficiency

Superior energy efficiency for a more comfortable home.

83%
More Energy Efficient²




Ultimate Performance

The best combination of energy efficiency and noise control.

79%
More Energy Efficient²

+

52%
Noise Reduction³



Scan the QR code with your smartphone camera to learn more about how each performance package can benefit your client's home.

¹ Availability may be limited. Please contact your local Pella expert for details.

² Double-hung window available with dual-pane glass only.

³ Optional high-altitude Low-E insulating glass does not contain argon in most products. Please see your local Pella sales representative for more information.

¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glazing thickness glass. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

² Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

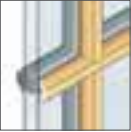
³ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

Grilles


Grille Types

Choose the look of true divided light, removable roomside grilles or make cleaning easier by selecting grilles-between-the-glass.


Dual-Pane:




Simulated-Divided-Light with Spacer 7/8"



Simulated-Divided-Light without Spacer 7/8"




Roomside Removable Grilles 3/4"^{1,2}




Aluminum Grilles-Between-the-Glass 3/4"³

Triple-Pane:




Simulated-Divided-Light with Aluminum Contoured Grilles-Between-the-Glass 3/4"³



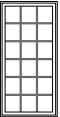
Aluminum Grilles-Between-The-Glass 3/4"³

Grille Patterns


In addition to the patterns shown here, custom grille patterns are available.




9-Lite Prairie




Traditional



Top Row



Cross



Custom

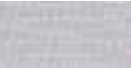
Screens⁴

Rolscreen®

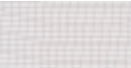
Rolscreen soft-closing retractable screens roll out of sight when not in use. Available on casement windows and sliding patio doors.

Flat

InView™ screens are clearer than conventional screens and come standard. Vivid View® screens offer the sharpest view and are optional.



InView™



Vivid View®

Added Peace of Mind

Integrated Security Sensors

Optional integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.⁵ For more information, go to connectpella.com.

Integrated Blinds & Shades

Integrated Blinds*

Raise blinds up for an unobstructed view or tilt to let in the right amount of light. Our accessible, integrated blinds are available with or without motorization powered by Pella Insynctive® technology.



White



Poplar White



Bisque



Golden



Mocha



Storm




Black


Integrated Shades*

Our best integrated fabric shades feature a white exterior fabric for a uniform look from the street. Our accessible, integrated shades are available with or without motorization powered by Pella Insynctive® technology.


Light-Filtering:



White




Maize




Silver


Room-Darkening:



Cotton




Bamboo



Ash

Haven't landed on your final blind or shade color yet? No problem.
With our patented triple-pane design, you can make the decision later in the process. Our triple-pane products come with all of the hardware to add blinds or shades before they arrive to your home or later in the building or remodeling process.



Scan the QR code with your smartphone camera to learn more about our motorized Insynctive blinds and shades.

Window Hardware

Essential Collection

Our most popular designs with finishes to suit every style.



Fold-Away Crank



Cam-Action Lock

Finishes:



Champagne



White



Brown



Matte Black




Satin Nickel


Patio Door Hardware

Essential Collection

Elevate your style and transform your home with elegant selections.




Hinged Patio Door Handle

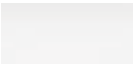


Sliding Patio Door Handle


Finishes:




Champagne




White



Brown



Matte Black



Satin Nickel

¹ Color-matched to your product's interior and exterior color.
² Availability may be limited. Please contact your local Pella expert for details.
³ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.
⁴ Warning: Use caution when children or pets are around open windows and doors. Screens are not designed to retain children or pets.
⁵ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.

* Available on triple-pane products only.

Window & Door Trim Options


Interior Wood Trim

Dramatically reduce installation time with factory-applied and factory-finished trim. Pella's beautiful trim options provide a vast range of choices that are true to your customer's home architectural style and décor.


The trim around Pella® wood, fiberglass or vinyl windows and doors can coordinate with other trim on your project, including baseboards, crown molding and chair rails. Optional accessories to coordinate with trim profiles are available.

Wood Types

Choose the wood species that best complements your project's interior.



Pine



Oak

Prefinished Pine Interior Colors


Trim is available prefinished in your choice four paint colors and eleven stains. Unfinished or primed and ready-to-paint are also available.



White



Bright White



Linen White



Artisan Greige*



Natural Stain




Wheat Stain*




Golden Oak Stain




Early American Stain



Provincial Stain




Dark Mahogany Stain




Red Mahogany Stain




Espresso Stain



Skyline Gray Stain*




Charcoal Stain




Black Stain

Interior Trim Styles


Choose from over 50 styles of prefinished or unfinished wood interior trim to fit your project including these popular styles. Select trim styles available in Oak.




Craftsman




Ranch



Provincial



Colonial



Curved

* Availability may be limited. Please contact your local Pella expert for details.

EnduraClad® Exterior Trim

Add distinctive architectural detail to your project and set off the Pella wood windows and patio doors with style. Our low-maintenance, aluminum-clad exterior trim arrives factory-applied on windows and patio doors to save installation time and costs.

Exterior Finish Colors

Our low-maintenance, aluminum EnduraClad® exterior finish resists chalking and fading. Custom colors are also available.



Black



White



Brown



Fossil



Iron Ore



Portobello



Putty



Almond



Classic White



Brick Red



Hartford Green



Pearl Gray



Soft Linen



Satin Steel



Matte Gray



Wolf Gray



Spice Red



Sage



Frost Blue



Blue Ash

Exterior Trim Styles

EnduraClad exterior aluminum trim is available in five standard profiles. Or choose a custom design.



Monroe



Brickmould



Jefferson



3-1/2" Flat Casing



3-1/2" Brickmould*

Installation Methods

Pella makes installing windows and doors easy. Multiple installation methods and exclusive features save time and help reduce costly callbacks.

For complete installation instructions and videos, visit installpella.com.

* Shown in a custom color. Contact your local Pella representative for more information on available colors.

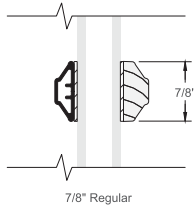


Lifestyle Series Double-Hung

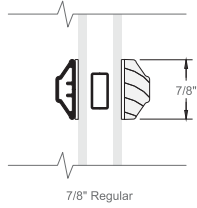
Grilles

Grille Profiles

**Simulated-Divided-Light
Grilles**

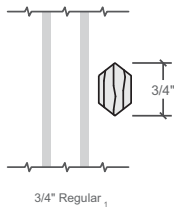


**Simulated-Divided-Light
Grilles with optional spacer**

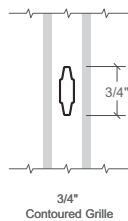


**NOTE: HALF
SCREENS AT ALL
DOUBLE HUNG
WINDOWS**

**Roomside Removable
Grilles**

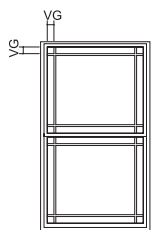


Grilles-Between-the-Glass

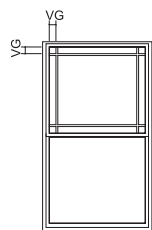


Grille Patterns

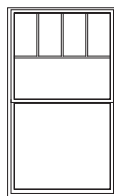
Grilles-Between-the-Glass and Simulated-Divided-Light Grilles



9-Lite Prairie



**9-Lite Prairie
Top Sash Only**



Top Row



Cross

9-Lite Prairie

- Standard corner lite dimension for Prairie patterns = 2-1/2" VG.
- Available in transoms \geq 1'3" height and width.

Cross

- Minimum DH frame height 35".
- Horizontal bar will be at 1/2" of the VG height of the top sash.

Top Row

- Minimum DH frame height 35".
- Horizontal bar will be at 1/2" of the VG height of the top sash.

For traditional patterns, see size tables.

VG = Visible Glass

(1) Grilles are available in traditional patterns only.

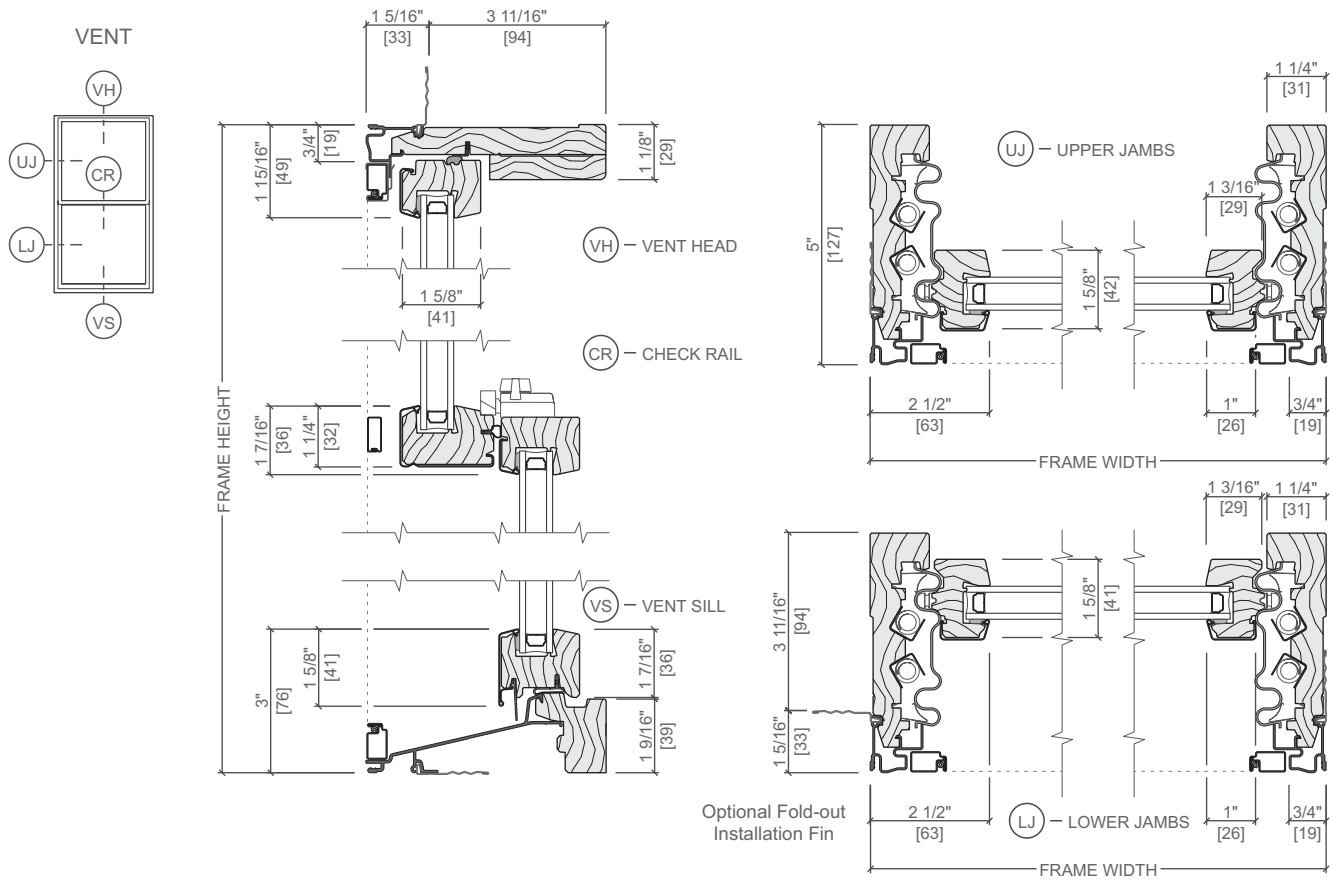
Lite dimensions noted can vary.

For size and pattern availability contact your local Pella sales representative.



Lifestyle Series Double-Hung

Unit Sections



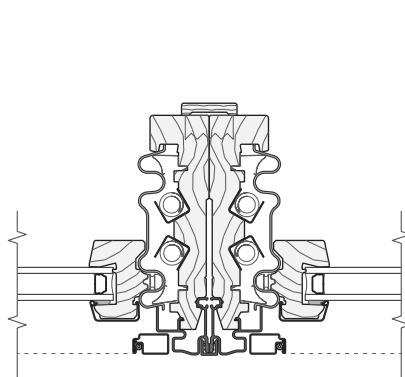
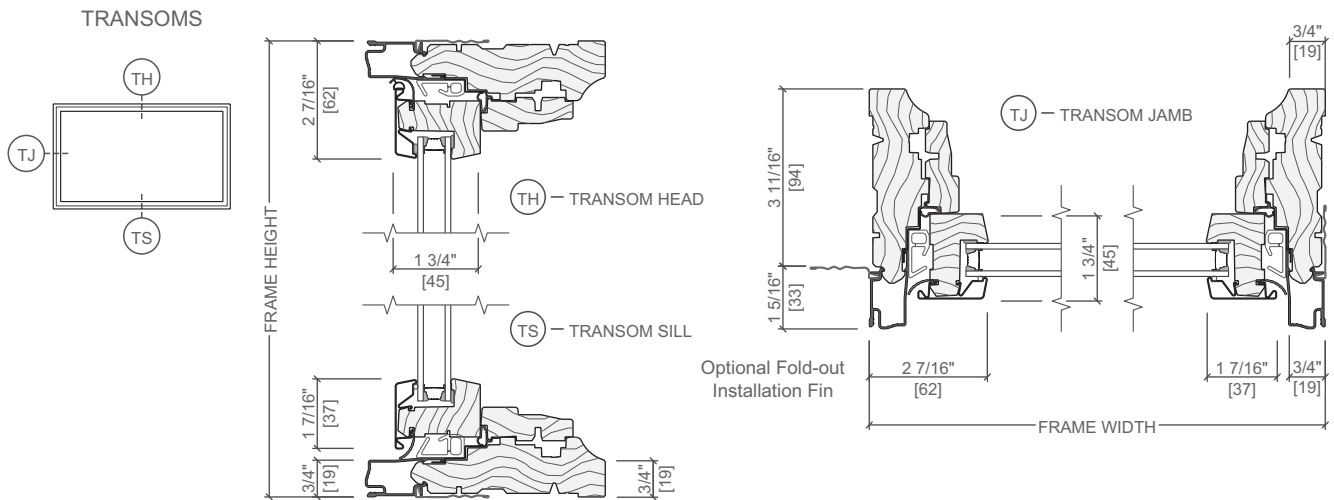
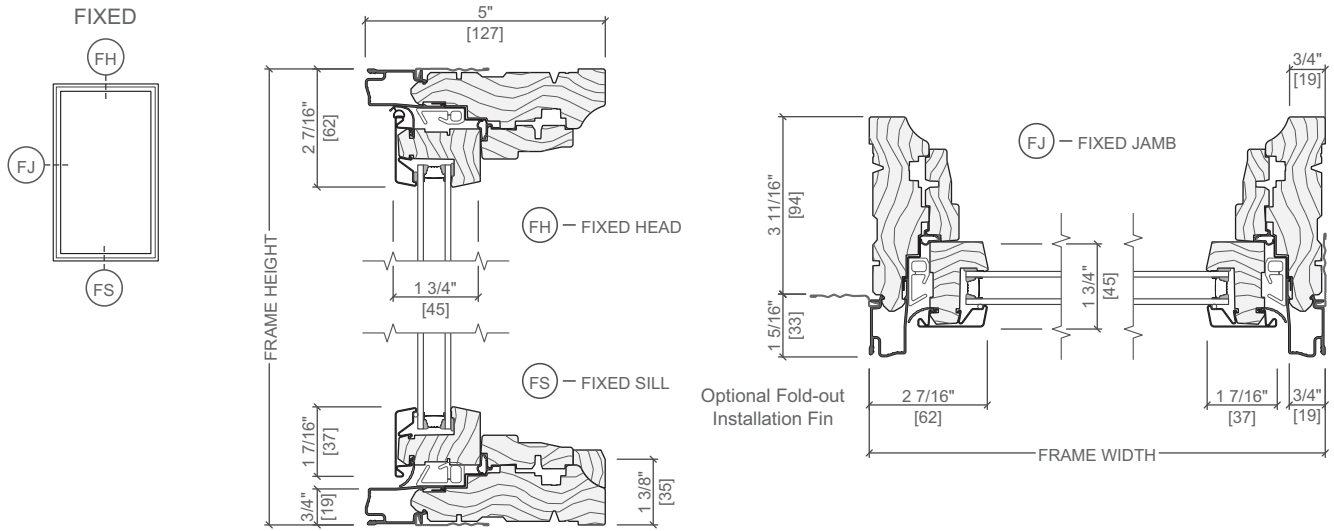
Scale 3" = 1' 0"

All dimensions are approximate.

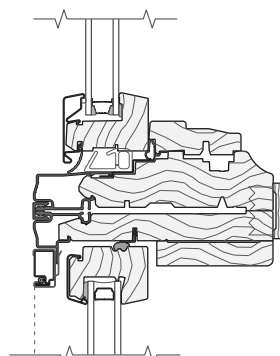


Lifestyle Series Double-Hung

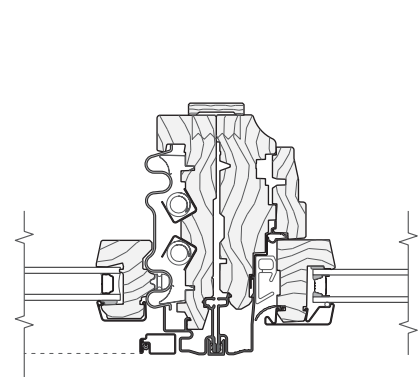
Unit Sections



VERTICAL JOINING MULLION
VENT / VENT



HORIZONTAL JOINING MULLION
TRANSOM / VENT



VERTICAL JOINING MULLION
VENT / FIXED

Scale 3" = 1' 0"

All dimensions are approximate.

See www.Pella.com for mullion limitations and reinforcing requirements.

Urban Elegance with an Economical Point of View

APPENDIX B - OR EQUAL



20 Fulton East Apartments
Grand Rapids, Michigan
ARCHITECT
Pappageorge Haymes Partners, Chicago, Illinois
WINDOW INSTALLER
Vos Glass, Grand Rapids, Michigan
PHOTOGRAPHY
©Bill Gnech / The Apple Group

Sleek, efficient and versatile. FG 501T Window Wall – the first in the MetroView™ Window Wall series – packs the desired aesthetics of a curtain wall into a cost-efficient window wall system. Ideal for mid-rise commercial projects and sophisticated multifamily housing, MetroView™ FG 501T Window Wall delivers the refined design features that are so popular in today's urban and near-urban cityscapes.

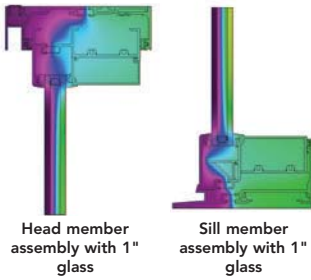
MetroView™ FG 501T Window Wall offers the look of a true curtain wall with a slab-to-slab aluminum frame design. For maximum square footage in interior spaces, FG 501T Window Wall is engineered for shallow horizontal inside glazing with the glass set to the front of the system. Screw spline fabrication and joinery means easy construction and low installation costs. And for designs that put skylines within immediate reach, balcony doors can be easily and seamlessly integrated

into the system. With air and water performance equal to many curtain walls and a range of aesthetic options including slab edge covers for a seamless transition between floors, MetroView™ FG 501T Window Wall offers a beautiful frame for life.

PERFORMANCE

MetroView™ FG 501T Window Wall is an economical solution that does not compromise performance to achieve the true look of a curtain wall. The framing process is as streamlined as its appearance, with simple two-piece receptors designed for efficient installation. Optional outside glazing allows for job-site flexibility.

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side



Additionally, the IsoLock™ thermal break process is used to eliminate expansion and contraction of the polyurethane. Prior to the pouring operation, the aluminum is lanced into the cavity at a predetermined increment. The lanced aluminum creates a positive interlock in the polyurethane before it hardens, eliminating any potential for shrinkage. The mechanical locks, combined with the adhesive bond of the polyurethane to the aluminum, create a composite section used to meet design wind loads.

The system is fully tested according to industry standards, as indicated below:

PERFORMANCE TEST STANDARDS

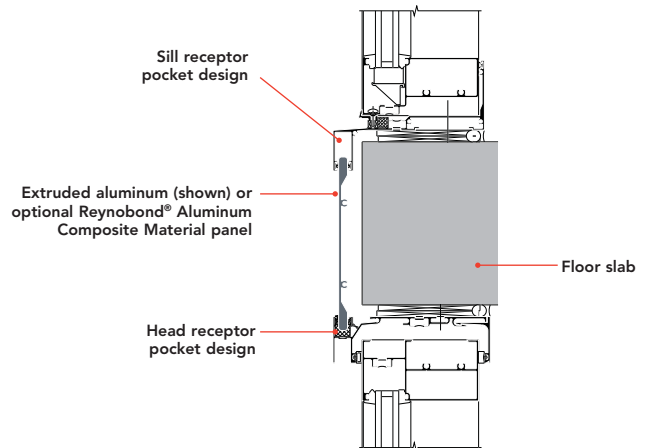
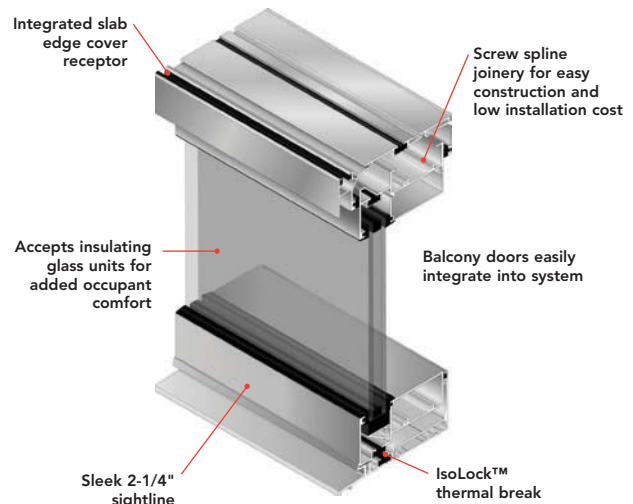
Air Infiltration	ASTM E283, NFRC 400, TAS 202
Water	ASTM E331, ASTM E547, TAS 202
Severe Wind-Driven Rain	AAMA 520
Structural – Uniform Wind Load	ASTM E330, TAS 202
Large Missile Impact	ASTM E1886, ASTM E1996
Acoustical Testing, STC and OITC	AAMA 1801, ASTM E90, ASTM E1425
Thermal Transmittance – U-Factor	NFRC 100, AAMA 1503, AAMA 507
Condensation Resistance (CRF and CR)	AAMA 1503, NFRC 500
Overall Solar Heat Gain (SHGC, VT)	AAMA 507, NFRC 200
Condensation Resistance	AAMA 1503

Thermal performance is enhanced with our IsoLock™ thermal break. The factory-supplied pour and debridge thermal break involves pouring liquid polyurethane into a cavity or thermal pocket, allowing it to harden and then cutting away a small section of aluminum opposite the pour area to fully separate the exterior aluminum from the interior aluminum. This thermal barrier improves the U-factor and condensation resistance and also means there are fewer parts to cut and assemble.

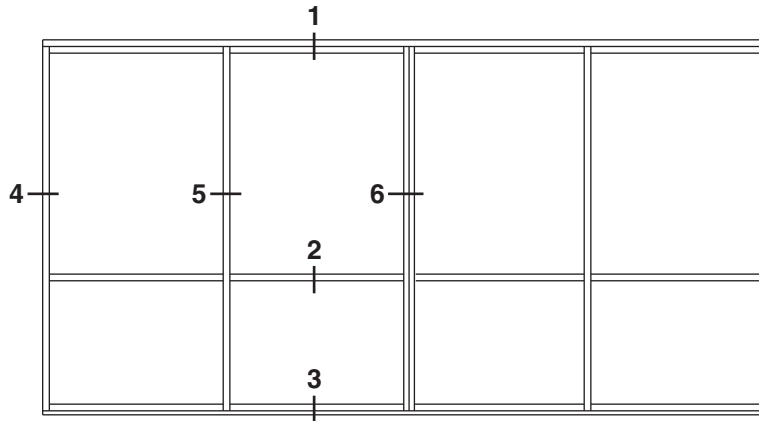
AESTHETICS AND VERSATILITY

It is easy to achieve dramatic floor-to-ceiling views with FG 501T Window Wall. The 2-1/4" sightline and standard 5" depth make it easy to achieve stylish urban aesthetics. For clean design lines, the system features a slab-to-slab application with an integrated slab edge. The system provides an appealing look for any type of application and accommodates single- and multi-punched openings or ribbon windows. Corner members for either 90° or 135° applications increase design flexibility, and expansion verticals can be incorporated as desired for a truly customized application.

Painted finishes in standard and custom choices are available.

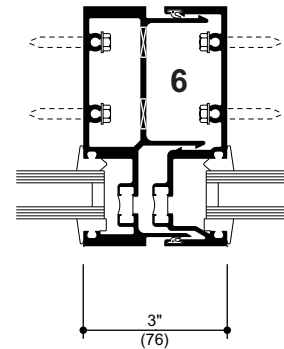
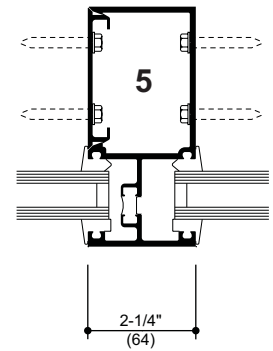
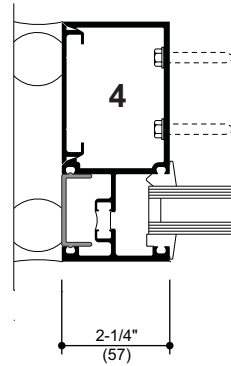
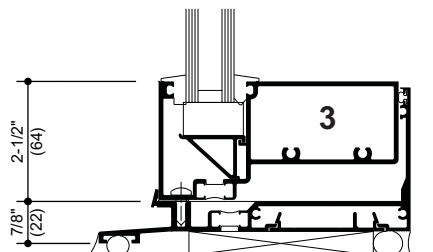
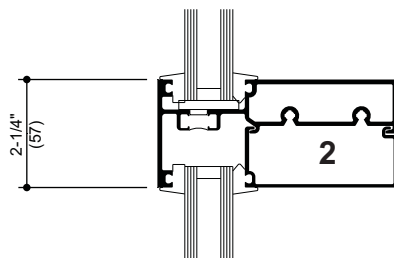
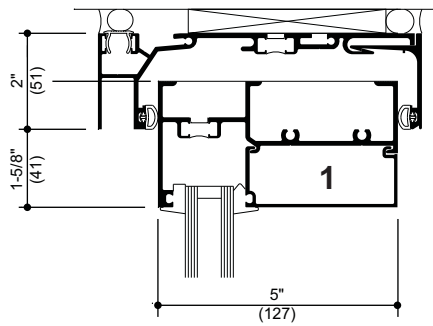


Additional information and CAD details are available at www.kawneer.com



ELEVATION IS NUMBER KEYED TO DETAILS

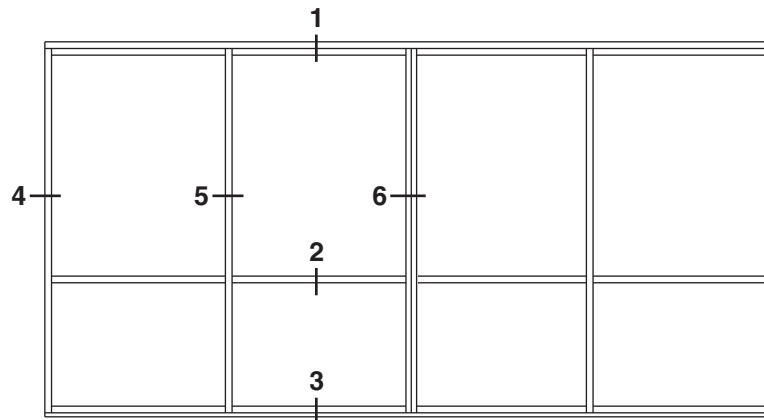
INSIDE GLAZED



Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

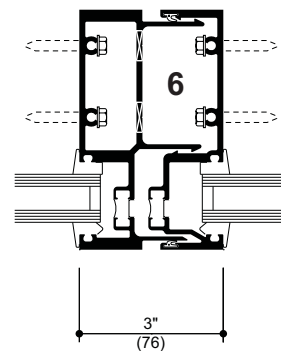
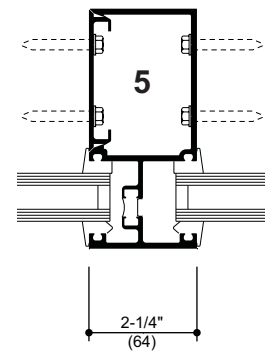
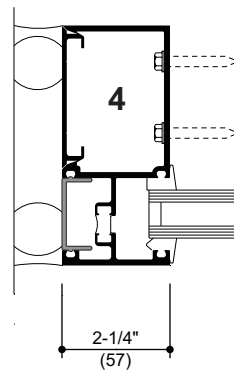
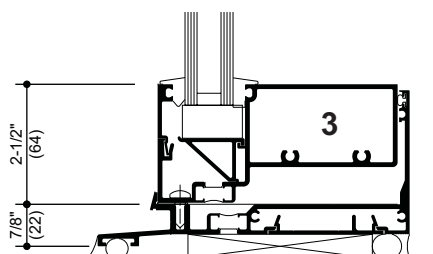
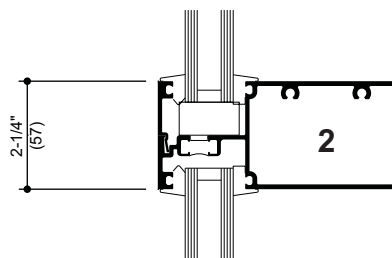
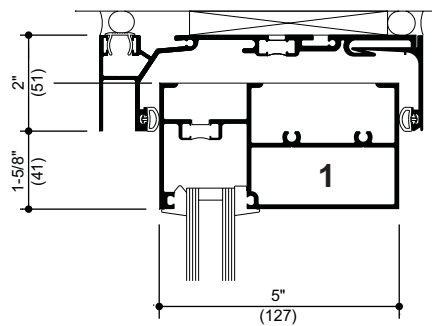
Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.
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Additional information and CAD details are available at www.kawneer.com



ELEVATION IS NUMBER KEYED TO DETAILS

OUTSIDE GLAZED

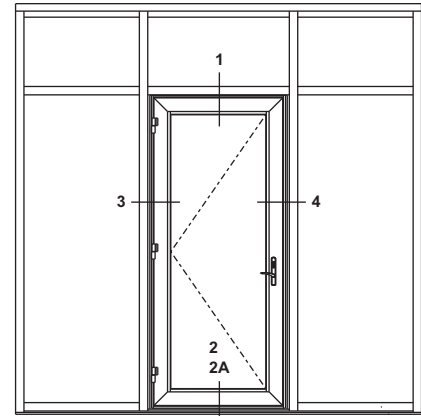
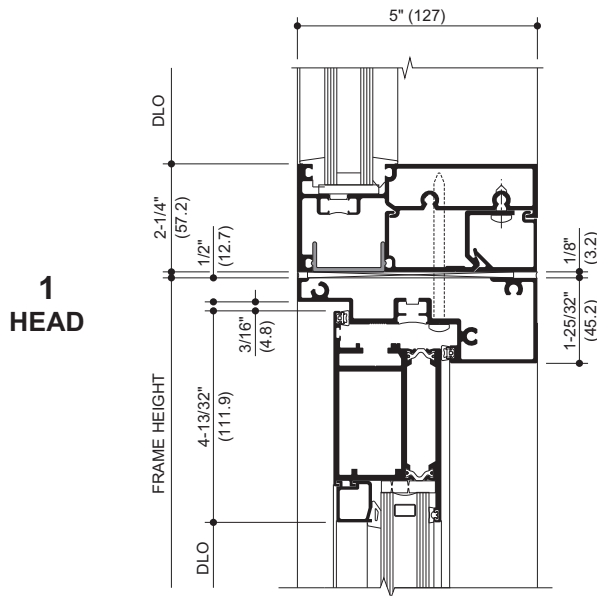


Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

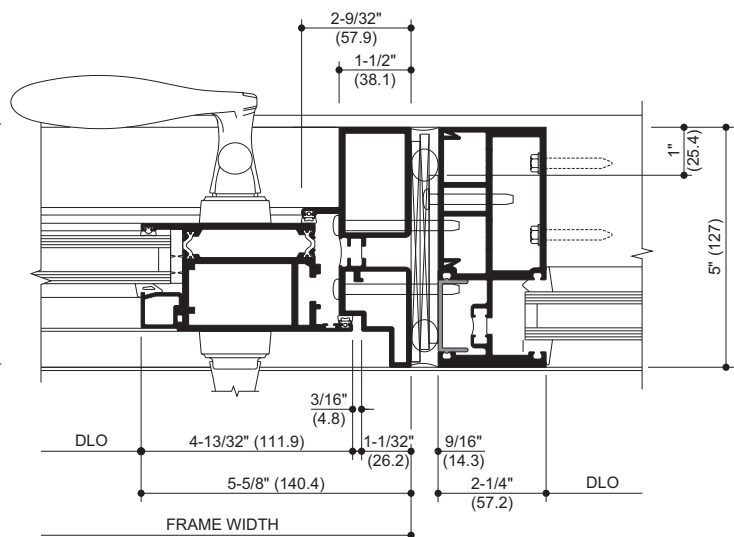
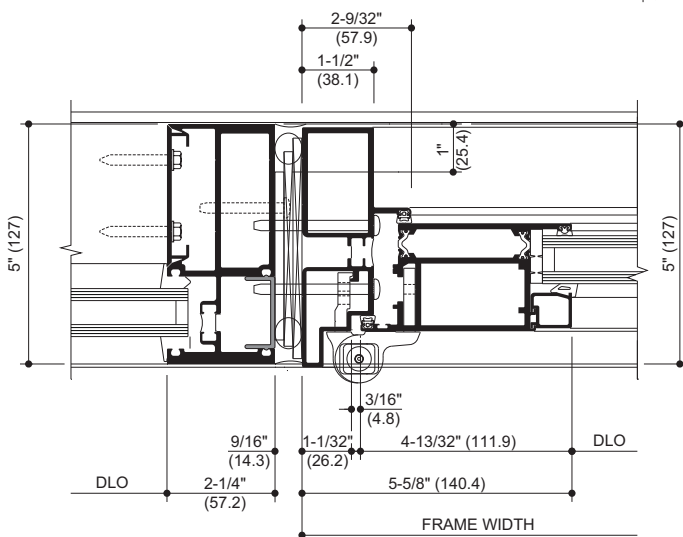
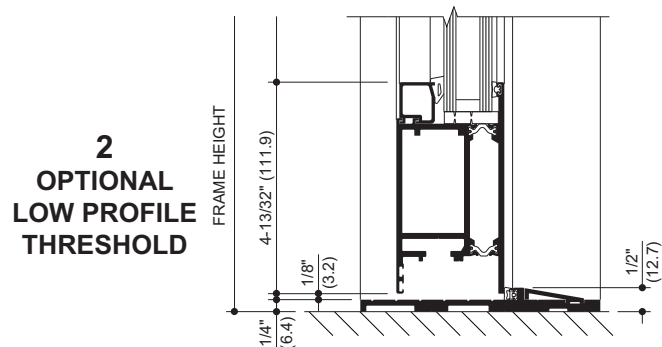
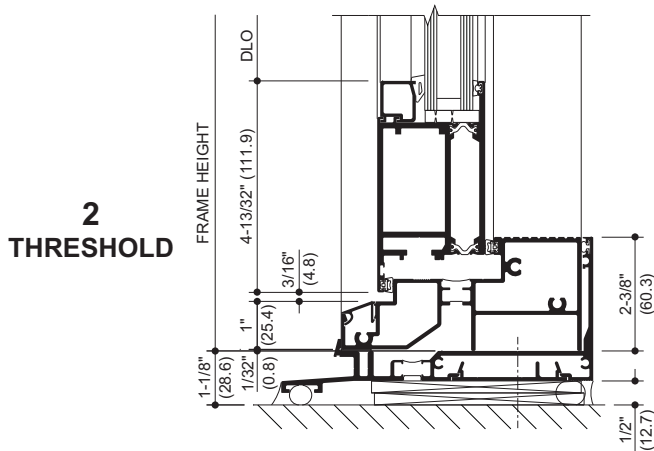
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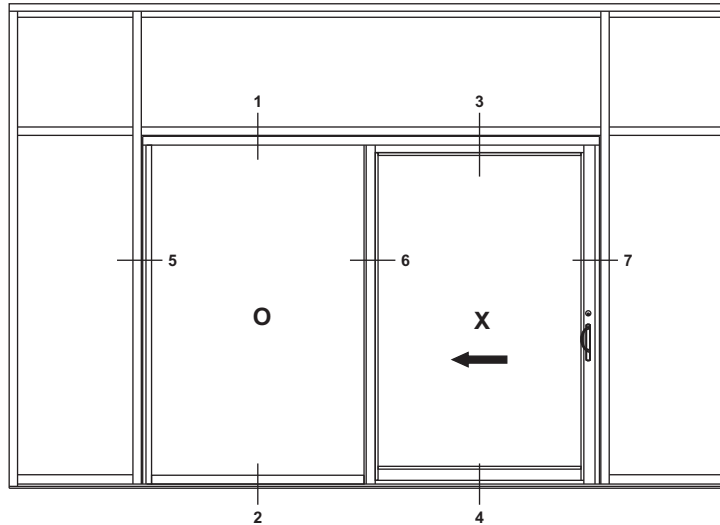
OUTSWING DOORS & FRAME



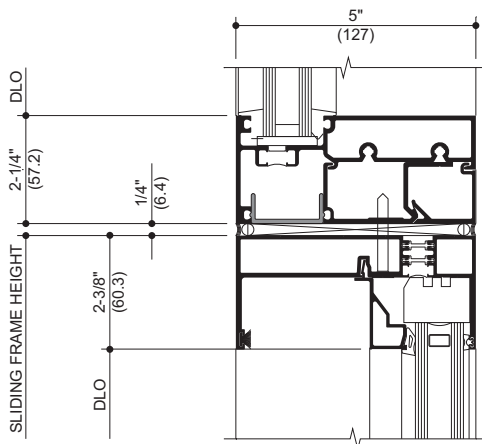
3 PIVOT JAMB

**4
LOCK JAMB
AT DEADBOLT/LATCHLOCK**

Additional information and CAD details are available at www.kawneer.com



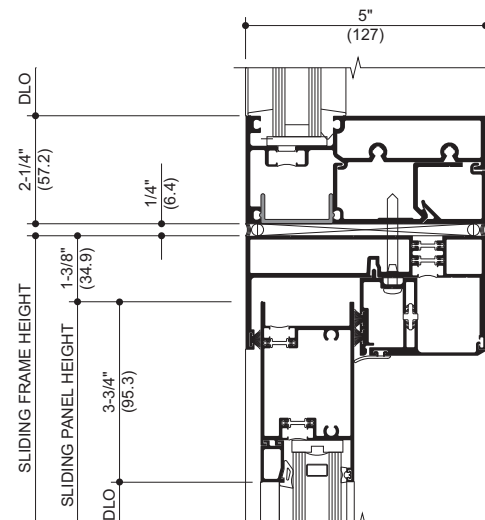
FG 501T WINDOW WALL WITH AA®3200M THERMAL SLIDING DOOR



1

HORIZONTAL HEAD

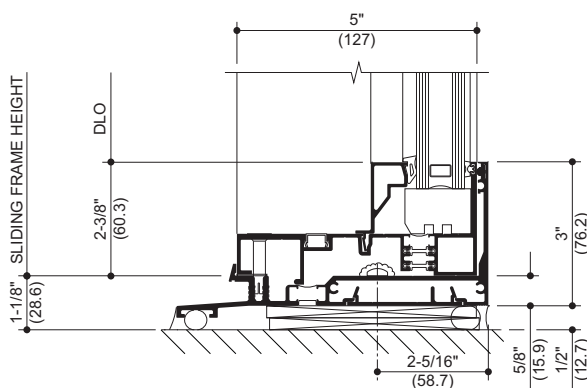
Sliding Door Fixed Panel at Horizontal



3

SLIDING DOOR

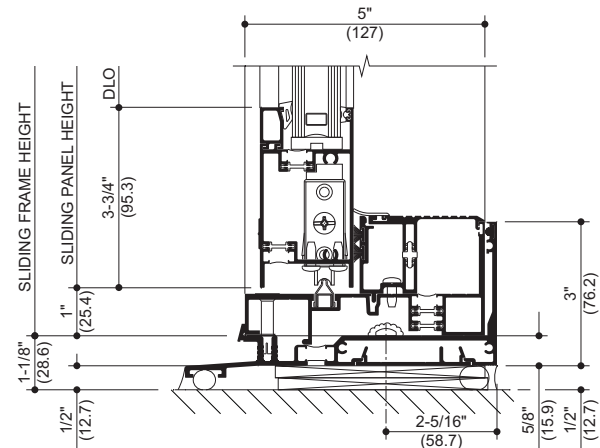
Sliding Panel at Horizontal



2

SLIDING DOOR HORIZONTAL SILL

Fixed Panel at Sidelite



4

SLIDING DOOR HORIZONTAL SILL

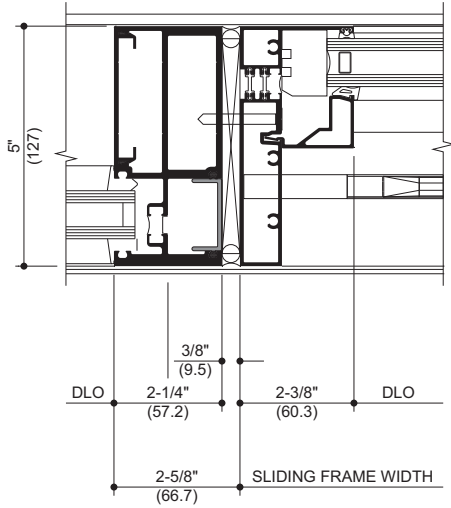
Sliding Panel at Sidelite

Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

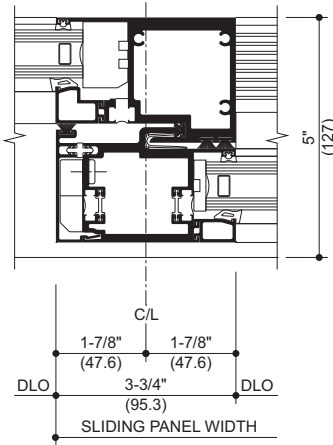
Kawneer reserves the right to change configuration without prior notice when deemed necessary for product improvement.

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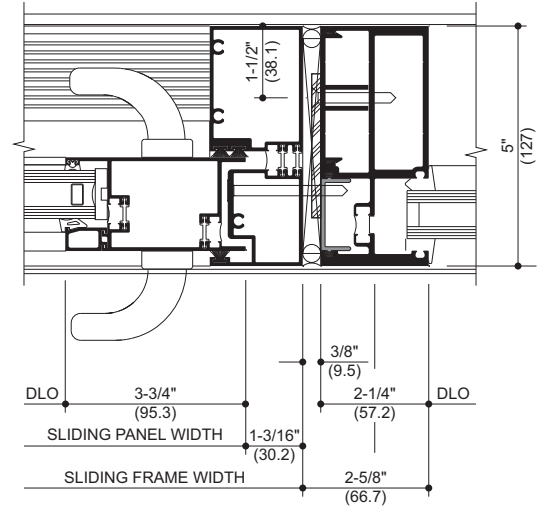
Additional information and CAD details are available at www.kawneer.com



5
SLIDING DOOR HEAVY MULLION
Fixed Panel at Vertical



6
SLIDING DOOR INTERLOCK
Fixed Sliding at Intermediate



7
SLIDING DOOR
Sliding Panel at Intermediate
with Std. "D" Pull

Laws and building and safety codes governing the design and use of Kawneer products, such as glazed entrance, window, and curtain wall products, vary widely. Kawneer does not control the selection of product configurations, operating hardware, or glazing materials, and assumes no responsibility therefor.

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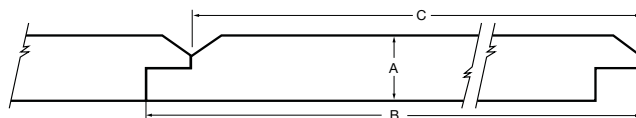
APPENDIX C - OR EQUAL

V-RUSTIC

The V-Rustic profile features a deep "V" groove that creates an appealing shadow line effect.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	5"
1 x 8	11/16"	7-1/2"	7"
1 x 10	11/16"	9-1/2"	9"

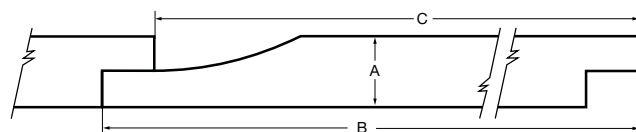


COVE/DUTCH LAP

The Cove/Dutch Lap profile features a subtle curve that creates a unique, eased appearance.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32"

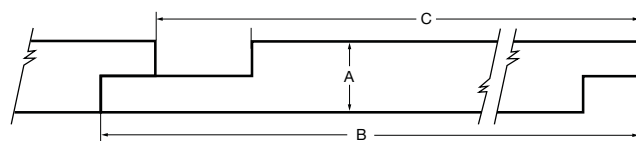


CHANNEL

The Channel profile's wide groove creates a rich shadow line effect.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32"

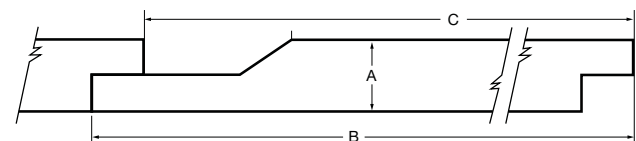


CHANNEL BEVEL

The Channel Bevel profile features a channel-style joint with an angled edge.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/2"	6-31/32"
1 x 10	11/16"	9-1/2"	8-31/32"



TruExterior Siding comes pre-primed and does require paint.



5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

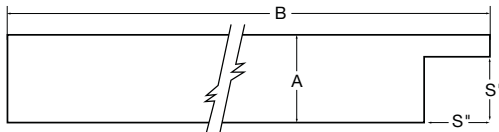
TruExterior® Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in a 16' length.

Reversible Smooth/Woodgrain Finish

*Please see TruExterior® Siding & Trim Limited Warranties and Product Data Sheets for proprietary test results, located at TruExterior.com.



Nominal Size	Actual Thickness (A)	Actual Width (B)	Siding Pocket (S' x S'')
5/4 x 3	1"	2-1/2"	3/4" x 3/4"
5/4 x 4	1"	3-1/2"	3/4" x 3/4"
5/4 x 5	1"	4-1/2"	3/4" x 3/4"
5/4 x 6	1"	5-1/2"	3/4" x 3/4"
5/4 x 8	1"	7-1/4"	3/4" x 3/4"



SIDING POCKET RABBETED TRIM

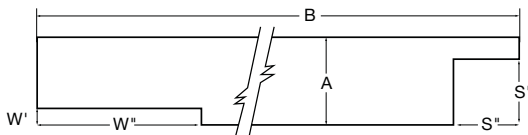
Perfect for end wall terminations, this trim with a 3/4" siding pocket accepts all TruExterior® Siding profiles.

Available Finishes:

- Smooth
- Woodgrain



Nominal Size	Actual Thickness (A)	Actual Width (B)	Window Pocket (W' x W'')	Siding Pocket (S' x S'')
5/4 x 4	1"	3-1/2"	3/16" x 1-7/8"	3/4" x 3/4"
5/4 x 6	1"	5-1/2"	3/16" x 1-7/8"	3/4" x 3/4"
5/4 x 8	1"	7-1/4"	3/16" x 1-7/8"	3/4" x 3/4"

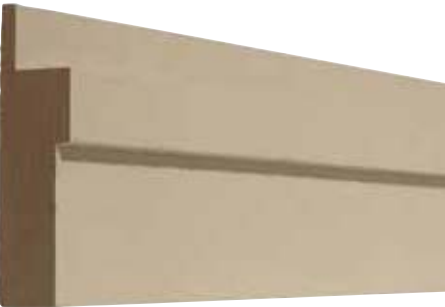


WINDOW AND SIDING POCKET RABBETED TRIM

The ultimate accessory to build a neat, professional-looking window surround.

Available Finishes:

- Smooth
- Woodgrain



TruExterior® Siding & Trim Reference Guide

SUSTAINABILITY

The sustainable properties of TruExterior® Siding & Trim are a result of a combination of proprietary polymer chemistry and highly refined, recovered coal combustion products (fly ash), which are endorsed by the U.S. Green Building Council (USGBC) for use in construction materials.

- Contains a minimum of 70% recycled content—verified by SCS Global Services







CODE LISTINGS


TruExterior® Siding & Trim have undergone rigorous internal and third-party testing to provide building officials, architects, contractors, specifiers, designers and others with reliable, high-performing products.

- PEI Evaluation Service Report ESR-14090—Trim and Beadboard
- PEI Evaluation Service Report ESR-13069—Siding
- ICC-ES Evaluation Report ESR-3597 verifies that TruExterior® Siding meets code requirements
- California's Wildland-Urban Interface (WUI) listed
- Florida Product Approval FL17285
- Texas Department of Insurance (TDI) EC-92



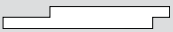
PROJECT ESTIMATOR

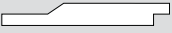
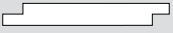
V-Rustic		Cove/Dutch Lap	
			
Nominal	Boards per square	Nominal	Boards per square
	16' Length		16' Length
1 x 6	15	1 x 6	15
1 x 8	11	1 x 8	12
1 x 10	9	1 x 10	9

Channel		Channel Bevel	
			
Nominal	Boards per square	Nominal	Boards per square
	16' Length		16' Length
1 x 6	15	1 x 6	15
1 x 8	12	1 x 8	11
1 x 10	9	1 x 10	9


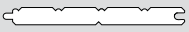
Reversible Shiplap-Nickel Gap	
	
1.75	Boards per square
	16' Length
1 x 4	24
1 x 6	15
1 x 8	11
1 x 10	9

Craftsman Collection™ Siding

V-Rustic		Cove/Dutch Lap		Channel	
					
Nominal	Actual	Nominal	Actual	Nominal	Actual
1 x 6	11/16" x 5-1/2"	1 x 6	11/16" x 5-1/2"	1 x 6	11/16" x 5-1/2"
1 x 8	11/16" x 7-1/2"	1 x 8	11/16" x 7-1/4"	1 x 8	11/16" x 7-1/4"
1 x 10	11/16" x 9-1/2"	1 x 10	11/16" x 9-1/4"	1 x 10	11/16" x 9-1/4"

Channel Bevel		Reversible Shiplap-Nickel Gap	
			
Nominal	Actual	Nominal	Actual
1 x 6	11/16" x 5-1/2"	1 x 4	11/16" x 3-1/2"
1 x 8	11/16" x 7-1/2"	1 x 6	11/16" x 5-1/2"
1 x 10	11/16" x 9-1/2"	1 x 8	11/16" x 7-1/4"
		1 x 10	11/16" x 9-1/4"





Beadboard

Single		Double	
			
Nominal Size	Actual	Nominal	Actual
5/8 x 4	5/8" x 3-1/2"	5/8 x 8	5/8" x 6-9/16"
5/8 x 6	5/8" x 5-5/16"	5/8 x 12	5/8" x 10-1/4"

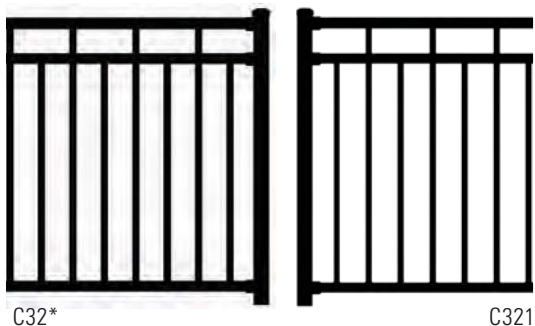
Trim

5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

Accessories

Skirt Board		Window Pocket Rabbeted Trim		Siding Pocket Rabbeted Trim		Window and Siding Pocket Rabbeted Trim	
							
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
1 x 6	3/4" x 5-1/2"	5/4 x 4	1" x 3-1/2"	5/4 x 3	1" x 2-1/2"	5/4 x 4	1" x 3-1/2"
1 x 8	3/4" x 7-1/4"	5/4 x 6	1" x 5-1/2"	5/4 x 4	1" x 3-1/2"	5/4 x 6	1" x 5-1/2"
5/4 x 6	1" x 5-1/2"	5/4 x 8	1" x 7-1/4"	5/4 x 5	1" x 4-1/2"	5/4 x 8	1" x 7-1/4"
5/4 x 8	1" x 7-1/4"			5/4 x 6	1" x 5-1/2"		
				5/4 x 8	1" x 7-1/4"		

Note: All TruExterior® Siding, Trim, Beadboard and Accessory products are available in standard 16' length.



SPECIFICATIONS

- Railing Heights: ~~36", 42"~~
- Railing Lengths: ~~4', 5', 6', 7', 8'~~
- Stair Rail Lengths: ~~4', 5', 6', 7', 8'~~
- C32 Baluster: 3/4" x 3/4" x (.045" wall)
- C321 Baluster: 3/4" Round (.050" wall)
- Baluster Spacing: 3.875", 3.625" Stairs
- Stylish Top Rail: 1-3/4" w (.090") x 1-3/8" t (.085")
- Mid Rail: 1-3/4" w (.070") x 1-1/4" t (.070")
- Bottom Rail: 1-3/4" w (.090") x 1-1/4" t (.120")
- Vinyl Insert Baluster Retainer (Top, Mid and Bottom Rails)
- Bottom Rail Support: 5', 6', 7', 8'
- Adjustable Gates: 36"W, 48"W, and 60"W Openings

NOTE: Baluster end spacing may vary by length.

All sections do not come out even on each end as shown above.



Top Rail Profile



Mid Rail Profile

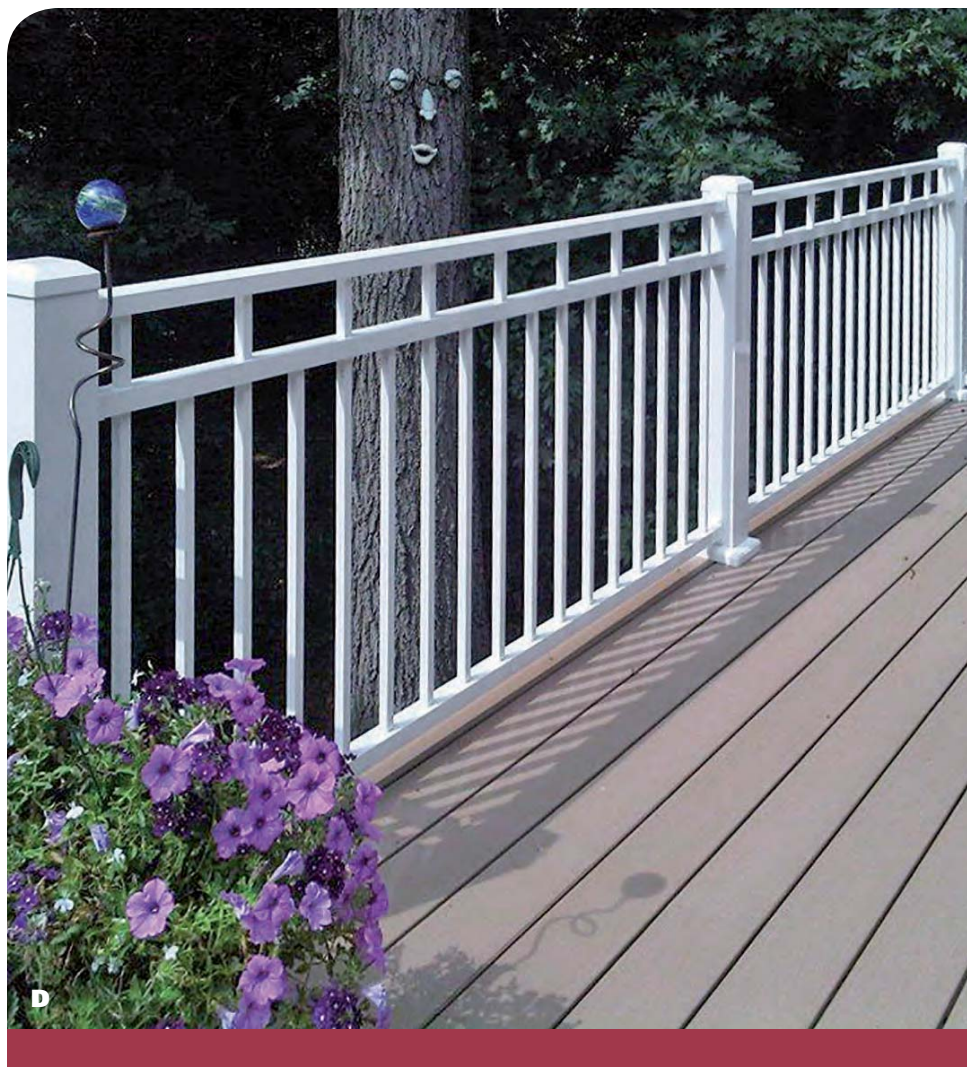


Bottom Rail Profile

Riviera II

Styles C32* & C321

The Riviera II Series embraces a proud statement by taking the ordinary to the extraordinary. The look and feel of every other Baluster in the top section compliments the full balusters below.



D Style: C32
Color: Gloss White

CCRR-0163 complies with IBC, IRC, and FBC



*For 4' through 6' Sections

*For Stair Rail Racking Information visit our website.

COLOR TBD

Colors

Standard Colors & Custom Colors

Westbury® Aluminum Railing is offered in a variety of colors and textures to compliment your home. Our 12 standard colors include satin, textured and multi-color finishes. Westbury® Aluminum Railing is also available in custom colors to meet your design vision, the possibilities are endless.

Powder Coating



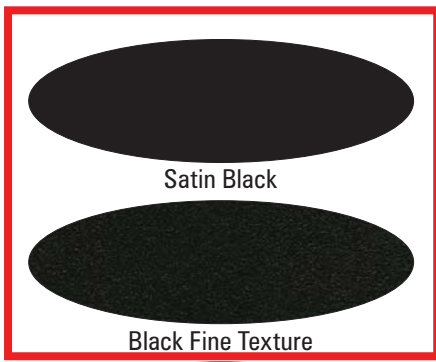
Verified AAMA 2604 Compliant Powder Coating

AAMA 2604 & AAMA 2605

DSI uses AAMA 2604 rated powder coating on all Westbury® Aluminum Railing. Our PCI-4000 Certified Powder Coating process offers an uncompromising quality created by state-of-the-art technology. AAMA 2605 Powder Coating is also available as an option for your Westbury® Aluminum Railing.



A Style: C10
Color: Black Fine Texture
With Level Crossover Post



Satin Black

Black Fine Texture



Ninety Bronze



Bronze Fine Texture



Gloss Beige



Gloss White



White Fine Texture



Clay



Speckled Walnut



Sandy Shore



Chocolate



Silver

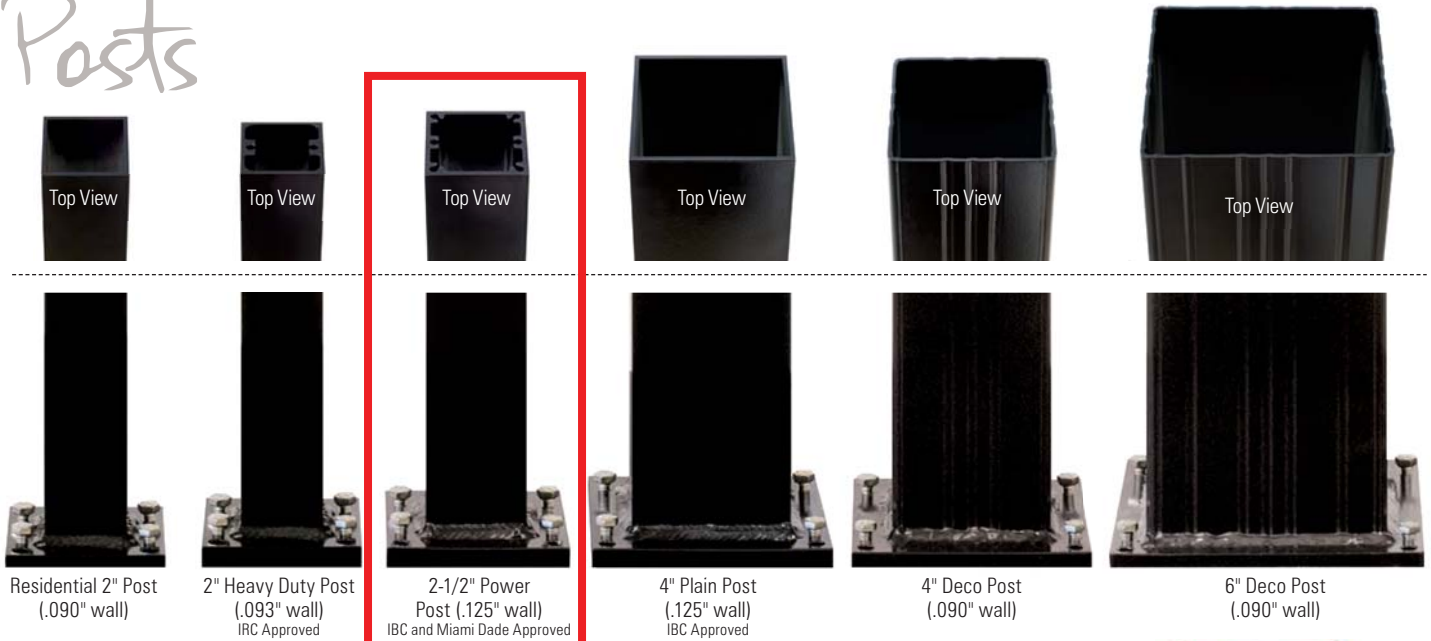
Colors shown are a close representation of the true color. Please consult actual samples for accurate powder coating colors.

Accessories

Brackets, Posts, Caps, & Flairs

Westbury® Accessories add the finishing touch to your masterpiece. A variety of post sizes and wall thicknesses add strength to your railing. The combination of mounts and crossover options provides you with the ability to adapt Westbury® railing to your needs. Optional post caps finished off by the convenience of a 2-piece post flair creates a variety of looks.

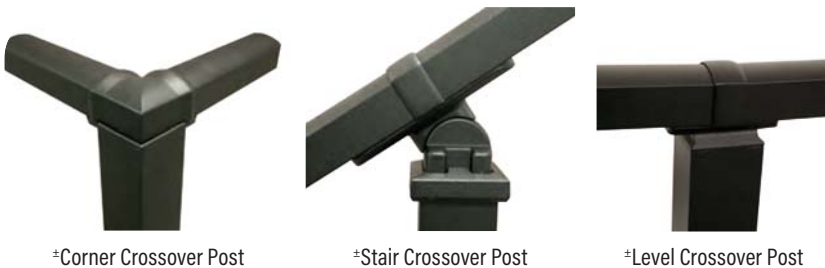
Posts



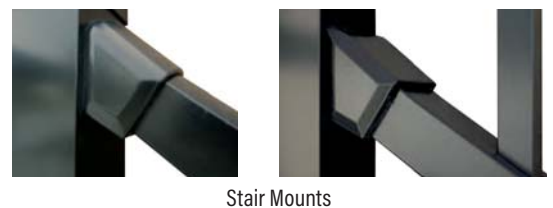
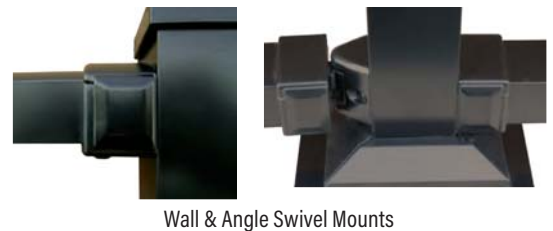
Testing Results - CCRR-0163 complies with IBC, IRC, and FBC. Note: Please check with local code authorities for requirements.



Crossovers



Mounts



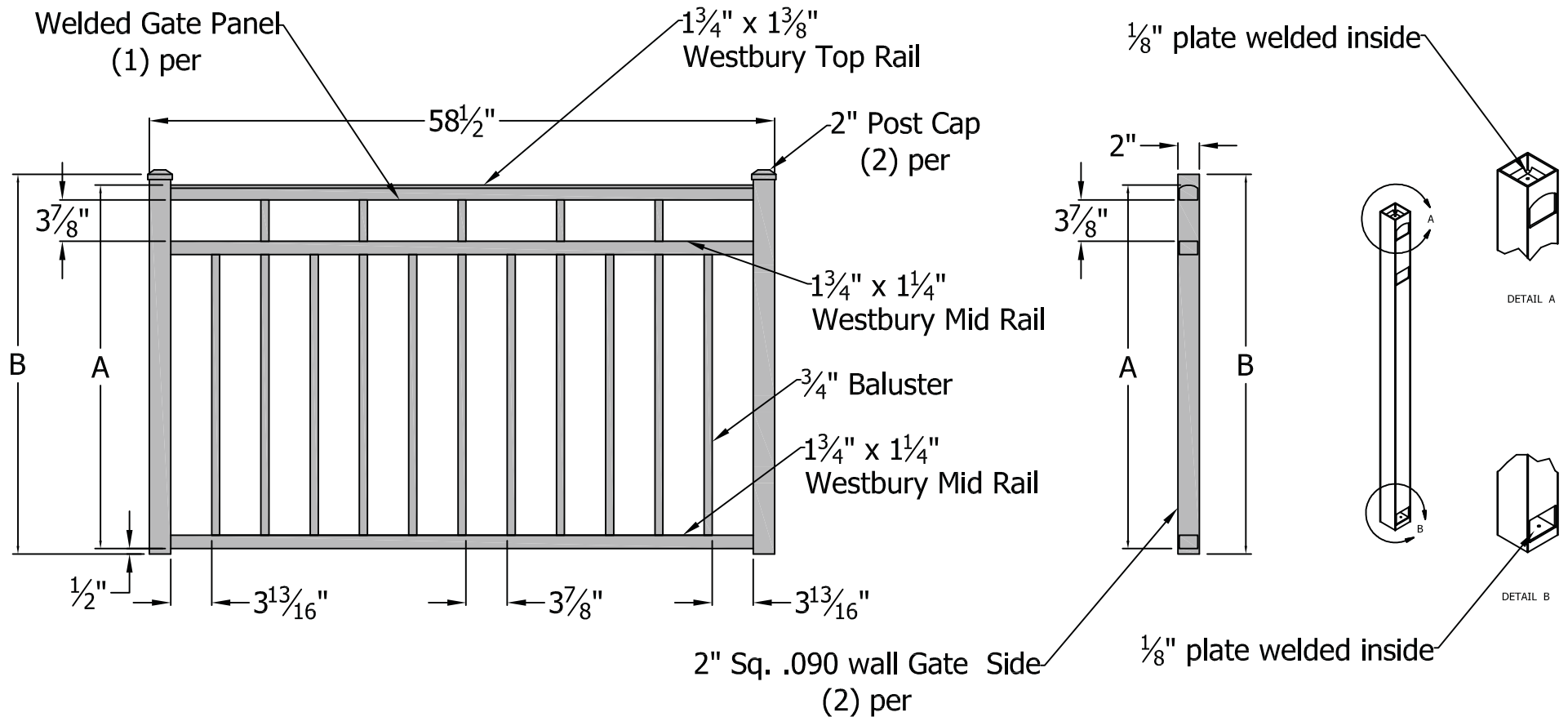
Accessories



Patent No. 8,998,175±

Nominal Rail Height	Baluster Style	Part #	A	B
36"	Square	73318	34"	35½"
36"	Round	73332	34"	35½"
42"	Square	73319	40"	41½"
42"	Round	73333	40"	41½"

PART NUMBER:		
REV.	REVISION	DATE
A	RELEASE PENDING APPROVAL	
B	Reduced bottom rail height from 8" to 3"	03/29/2016



APPROVED BY:

DATE APPROVED:

FINISH:



3446 US 6 EAST
Bremen, IN 46506

SHEET SIZE= C	DRAWN BY: CM	PART NUMBER or STYLE: C32_C321 Gate 60in Wide	
SCALE = 1":1"	DATE DRAWN: 02-18-2016	Quote requested by:	
STANDARD TOLERANCE: .00 ±.01 FRACTIONS: .000 ±.005 ANG. ±.5° ±T8	LOC: Z:\Aluminum\Westbury\C30 Riviera\C32 Riviera\Gates	PART NAME: Gate	SHEET OF B
FIRST USED ON:	DRAFT: 20160218-12C		

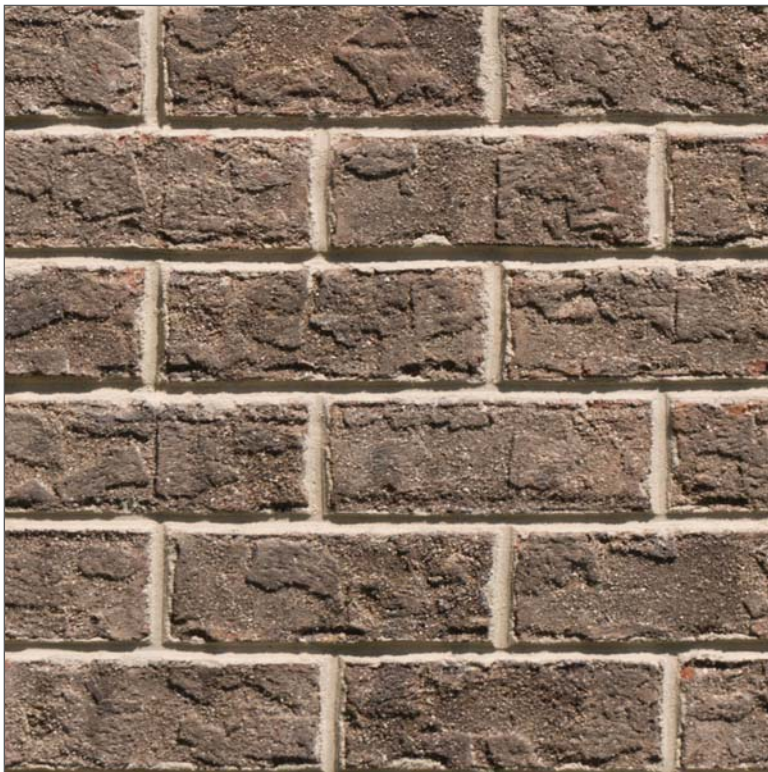


TRIANGLE BRICK
MAKING QUALITY AFFORDABLE

MAKING QUALITY AFFORDABLE

APPENDIX E - OR EQUAL

CHESAPEAKE GREY



Hearthside comfort.

Evoking colors from the ashy embers of a dying fire, our Chesapeake Grey brick features beautiful shades of smoky gray, brown and dark charcoal.

This richly-textured and tumbled brick is classified under our Select product tier, providing customers with the highest-quality brick possible.

Add an elegant, understated touch to your building project with exterior cladding that's truly superior to the competition — choose Chesapeake Grey from Triangle Brick Company.

Looking for this color palette with a more refined texture? Try our Bessemer Grey brick.

Photography is intended to show the general appearance of the brick color.

BRICK SPECIFICATIONS

BRICK SIZE	DIMENSIONS INCHES (H x W x L)	NUMBER OF BRICK PER CUBE	APPROX DRY WEIGHT (each)	APPROX # PER SQ.FT.
FACE BRICK				
ENGINEER	2 ³ / ₄ x 3 ⁹ / ₁₆ x 7 ⁵ / ₈	410	4.7 lbs.	5.75

Complies with ASTM C-216, Grade SW, Type FBS. All brick are pre-blended then packaged using our Half Pack™ Technology.

1.800.672.8547

trianglebrick.com

MSZ-FS18NA & MUZ-FS18NAH
18,000 BTU/H DELUXE WALL MOUNT
18,000 BTU/H HYPER-HEATING OUTDOOR UNIT W/BASE PAN HEATER



Job Name:

System Reference:

Date:

APPENDIX F - OR EQUAL



Indoor Unit.....MSZ-FS18NA

Outdoor Unit.....MUZ-FS18NAH

INDOOR UNIT FEATURES

- Slim wall-mounted indoor units provide zone comfort control
- Dual Barrier Coating applied to the heat exchanger, vanes and fan to prevent hydrophilic and hydrophobic dirt build-up
- Multiple fan speed options: Quiet, Low, Medium, High, Super-high, Auto
- 3D i-see Sensor® enables advance features:
 - Indirect or Direct Airflow for personalized comfort
 - Absence Detection for energy-saving mode
 - Double Vane features:
 - Separates airflow to deliver air across a large area
 - Simultaneously deliver to air separate sections of a room
 - Generates more comfortable natural airflow pattern
- Multiple control options available:
 - Back-lit screen handheld remote controller (provided with unit)
 - kumo cloud® smart device app for remote access
 - Third-party interface options
 - Wired or wireless controllers
- Triple-action Filtration: Nano Platinum Filter, Deodorizing Filter, & Electrostatic Anti-Allergy Enzyme Filter
- Hot-Start Technology: no cold air rush at equipment startup or when restarting after Defrost Cycle
- Quiet operation

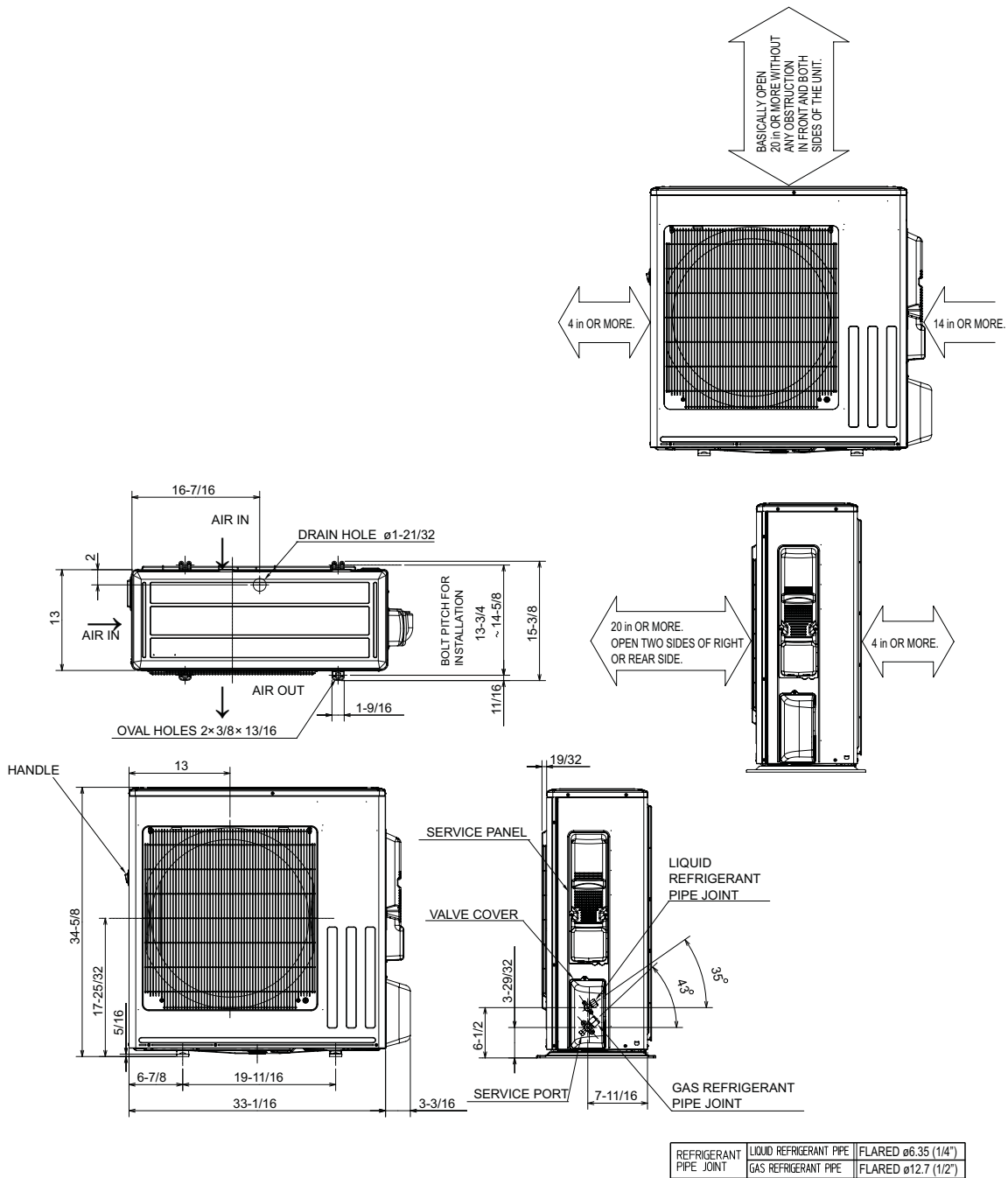
OUTDOOR UNIT FEATURES

- INVERTER-driven compressor and LEV provide high efficiency and comfort while using only the energy needed to maintain maximum performance
- H2i plus™ performance offers 100% heating capacity at -5° and 70% to 81% heating capacity at -13° F
- Blue Fin anti-corrosion treatment applied to the outdoor unit heat exchanger for increased coil protection and longer life
- Built-in base pan heater

OUTDOOR UNIT DIMENSIONS: MUZ-FS18NAH

Unit: inch

REQUIRED SPACE



1340 Satellite Boulevard Suwanee, GA 30024
Toll Free: 800-433-4822 www.mehvac.com

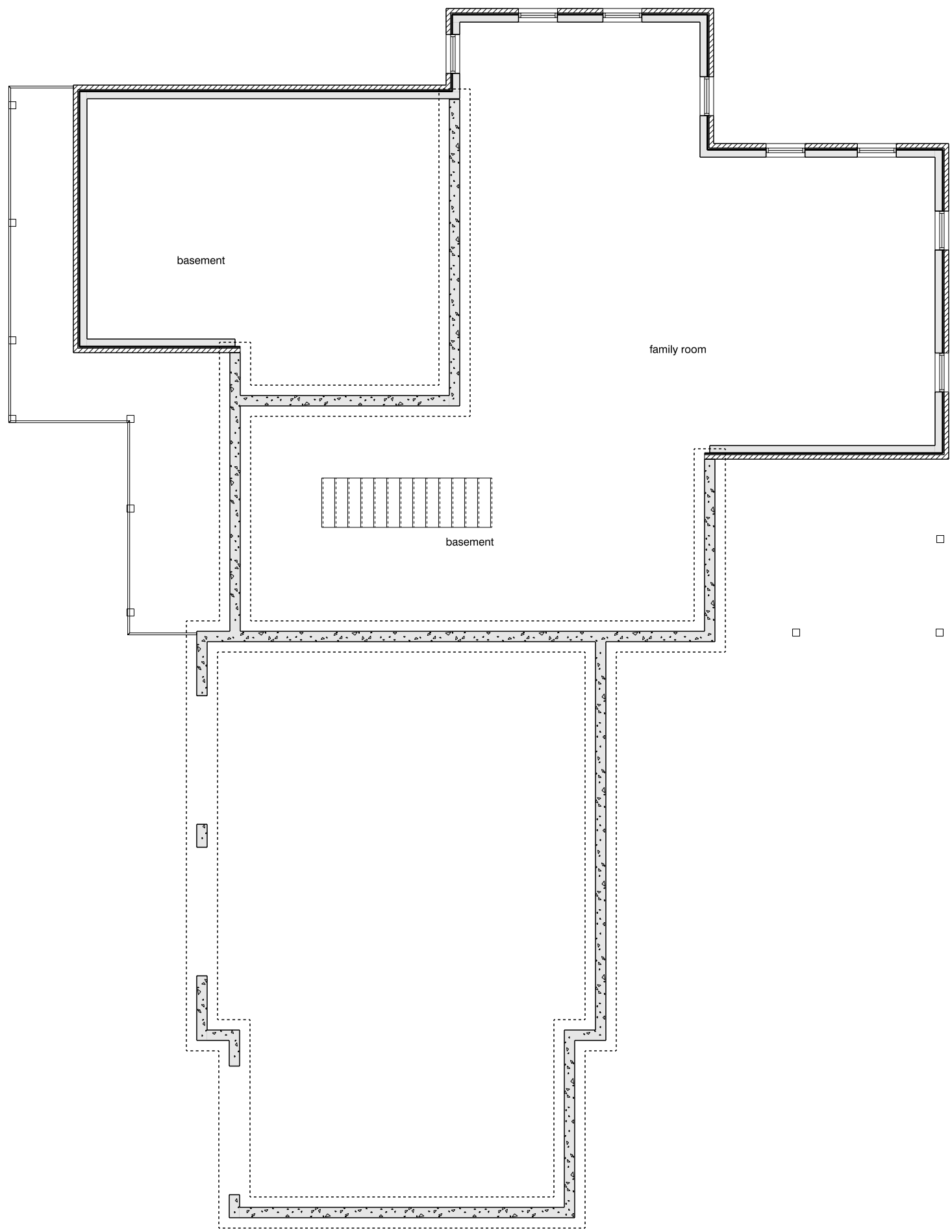
FORM# MSZ-FS18NA-U1 & MUZ-FS18NAH-U1 - 202103



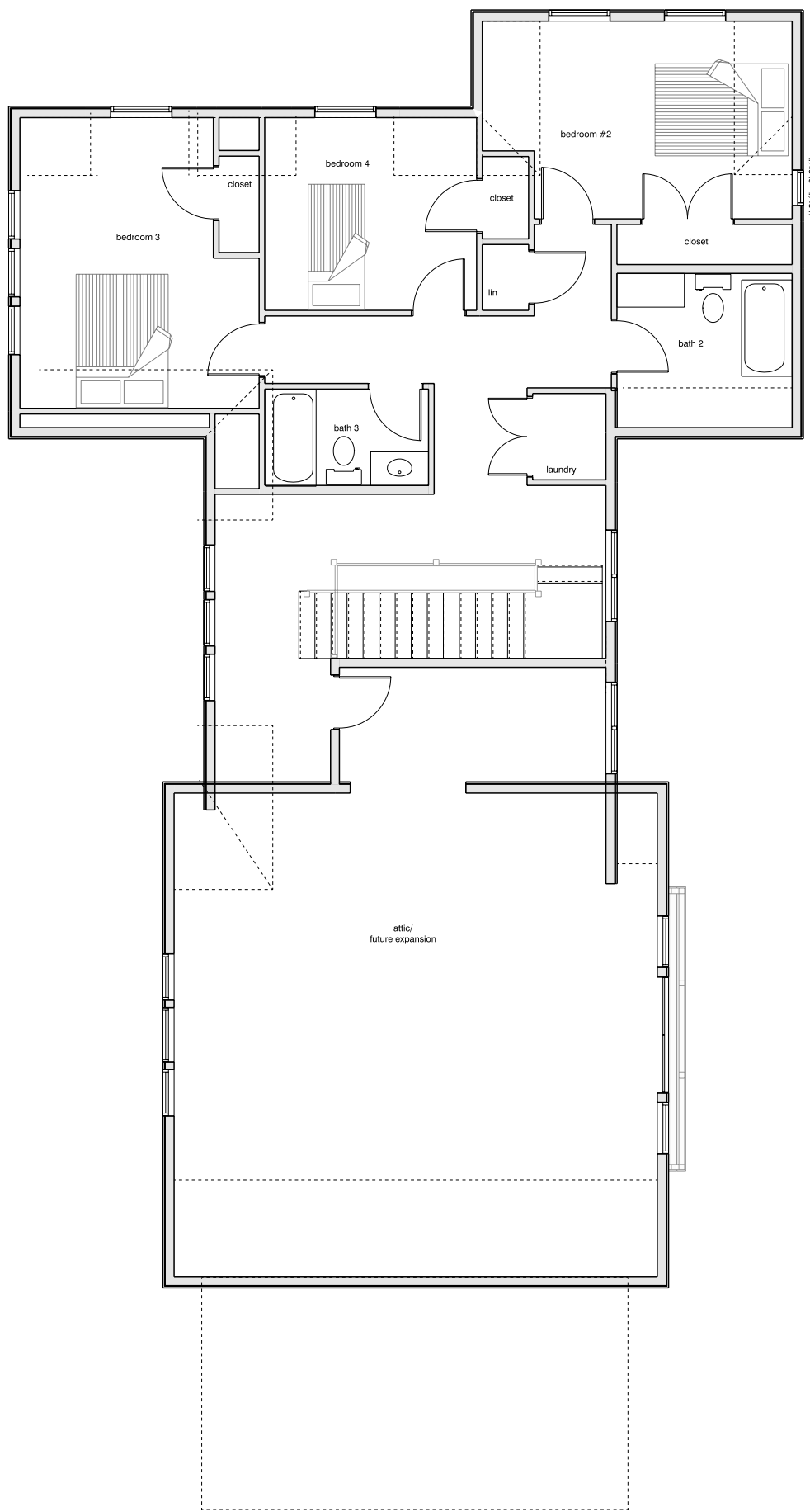
0 Maplewood Avenue

LUHD-390

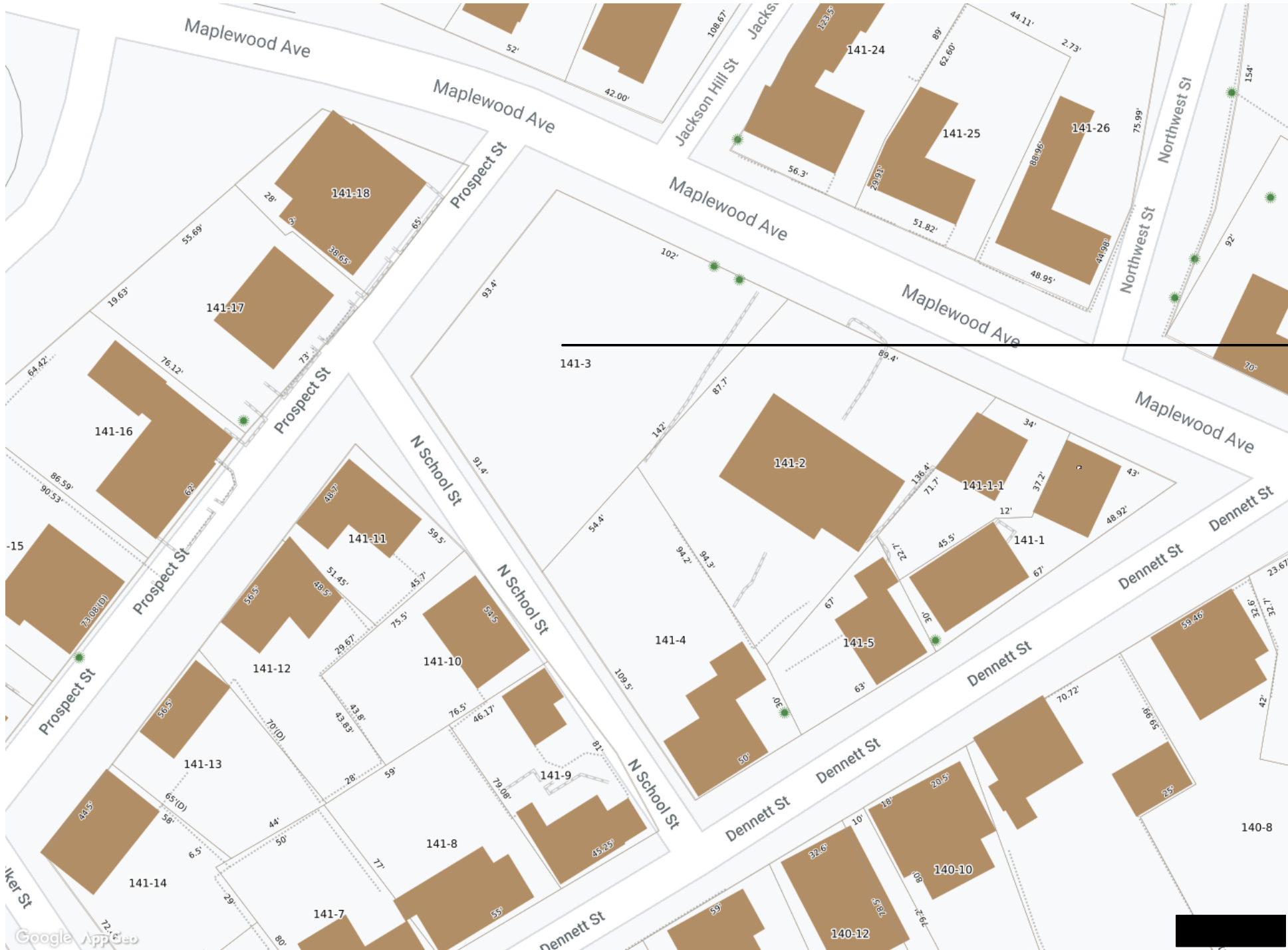
Work Session



CONCEPT BASEMENT FLOOR
SCALE: 1/8" = 1'-0"

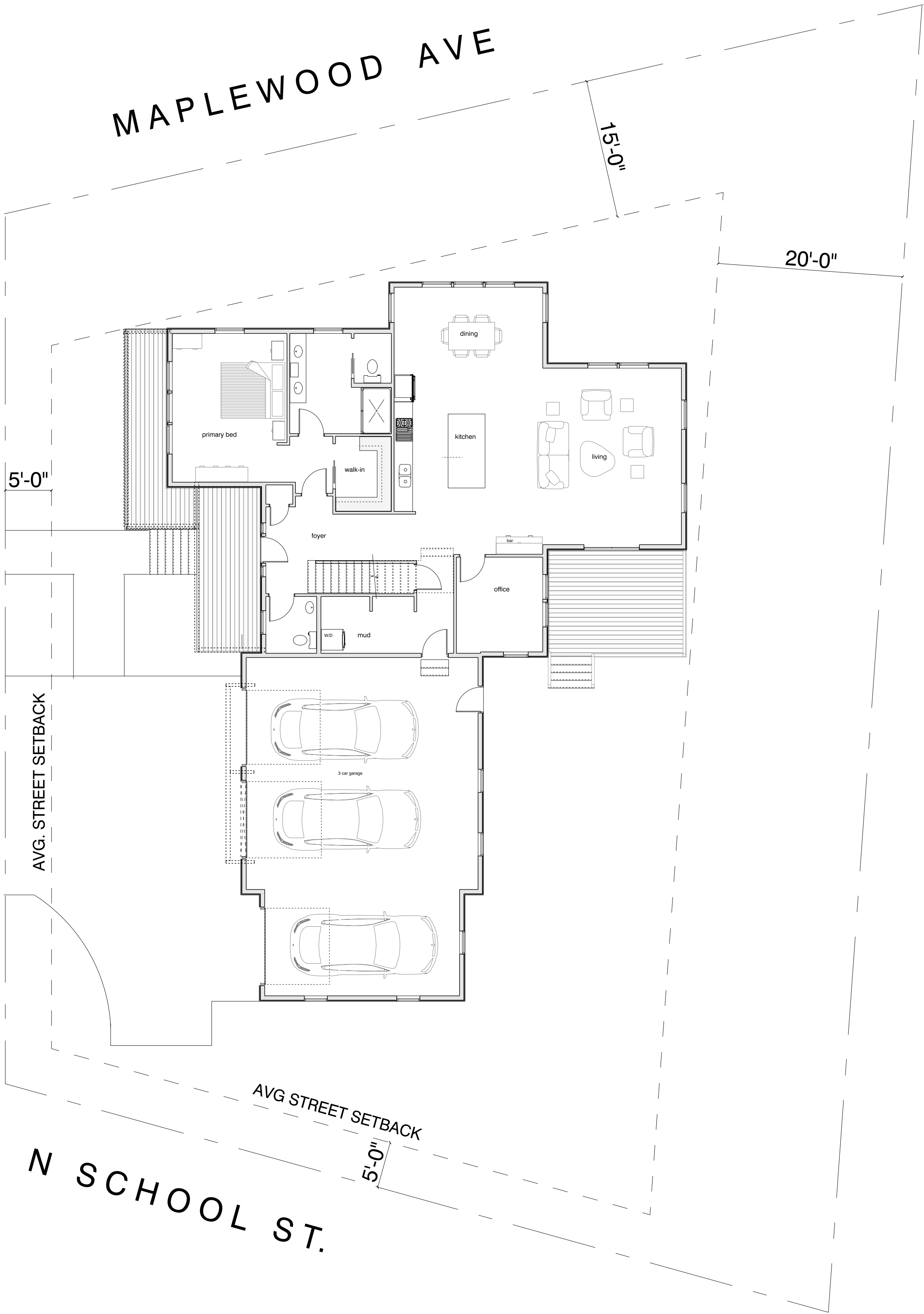


CONCEPT SECOND FLOOR PLAN
SCALE: 0.1217" = 1'-0"



LOCUS PLAN

SUBJECT PARCEL



CONCEPT FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

MICHAEL J.
KEANE
ARCHITECTS
PLLC
ARCHITECTURE
PRESERVATION
PLANNING
DESIGN
101 KENT PLACE
NEWMARKET, NEW HAMPSHIRE 03857
603 . 292 . 1400
mjkarchitects.com

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PROJECT

PROPOSED RESIDENCE
MAP 141 LOT 3
PORTSMOUTH, NH

TITLE

CONCEPT PLANS

SCALE

AS NOTED

DRAWING NO.

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CHECKED BY: mjk

DATE: 9/17/2021

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TITLE

CONCEPT ELEVATIONS

SCALE
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DATE: 9/17/2021

A-1.2



MAPLEWOOD AVE ELEVATION

SCALE: 1/4" = 1'-0"



PROSPECT STREET ELEVATION

SCALE: 1/4" = 1'-0"

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**MICHAEL J.
KEANE**
ARCHITECTS
PLLC

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603 . 292 . 1400

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TITLE

EXTERIOR VIEWS

SCALE

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DATE: 9/17/2021

A-2.1

CHECKED BY: mjk

DATE: 9/17/2021

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MAPLEWOOD AVE ELEVATION

SCALE: 1/4" = 1'-0"



PROSPECT STREET ELEVATION

SCALE: 1/4" = 1'-0"

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PORTSMOUTH, NH

 TITLE

ELEVATIONS

☐ SCALE

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BACKYARD ELEVATION
SCALE: 1/4" = 1'-0"



NORTH SCHOOL STREET ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT

PROPOSED RESIDENCE

MAP 141 LOT 3
PORTSMOUTH, NH

TITLE

ELEVATIONS 2

SCALE

AS NOTED

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CHECKED BY: mjk
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A-2.3

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