

**MEETING OF
THE HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details)**

6:30 p.m.

September 01, 2021

AGENDA (revised on August 27, 2021)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. August 04, 2021
2. August 11, 2021

II. ADMINISTRATIVE APPROVALS

1. 93 State Street
2. 14 Mechanic Street
3. 57 Salter Street, Unit 2
4. 21 Blossom Street
5. 564 Middle Street
6. 126 State Street
7. 135 Congress Street
8. 60 Penhallow Street

III. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow new construction to an existing structure (add a 3-story addition and create new entry points to the Worth Lot) and additional site improvements as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Kathryn Coyle, owner**, for property located at **4 Rock Street, Unit 3**, wherein permission is requested to allow renovations to an existing structure (replace windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 138 as Lot 16 and lies within the Character District 4- L2 (CD4-L2) and Historic Districts.

V. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE-** Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein

permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

B. Work Session requested by **Dagny Taggart, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (renovations of existing building) and new construction to an existing structure (construct 3-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4) and Historic Districts.

C. **REQUEST TO POSTPONE-** Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

D. Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

VI. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Malloy Revocable Trust of 2017, Timothy R. and Susan P. Malloy Trustees, owners**, for property located at **52 Prospect Street**, wherein permission is requested to allow new construction to an existing structure (construct 2-story rear addition) and renovations to an existing structure (new windows and siding) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 and Lot 13 and lies within the General Residence A (GRA) and Historic Districts.

2. Work Session requested by **Martingale, LLC, owner**, for property located at **99 Bow Street**, wherein permission is requested to allow new construction to an existing structure (expand waterfront deck and docking structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 54 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

VII. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_E7OYRk3hQTyRjWdwGtY3Sg

**MINUTES OF
THE HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

August 04, 2021

MEMBERS PRESENT: Acting Chairman Jon Wyckoff; Acting Vice-Chair Margot Doering; City Council Representative Paige Trace; Members Reagan Ruedig, Martin Ryan, David Adams and Dan Brown, Alternates Karen Bouffard and Heinz Sauk-Schubert

MEMBERS EXCUSED: Karen Bouffard

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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The Commission presented former Chairman Vincent Lombardi with a parting gift and thanked him for his years of service to the Commission and to the City.

I. APPROVAL OF MINUTES

1. July 07, 2021

Ms. Ruedig recused herself from the following vote.

*It was moved, seconded, and passed unanimously to **approve** the July 7 minutes as amended.*

2. July 14, 2021

*It was moved, seconded, and passed unanimously to **approve** the July 14 minutes as presented.*

II. ADMINISTRATIVE APPROVALS

1. 14 Mechanic Street

The applicant requested to postpone to the September 1 meeting.

2. 110 Brewery Lane

The request was to add a fabric awning over the outdoor seating.

3. 45 Market Street

The request for the previously-approved project was to move two chimneys to the bottom of the third floor and rebuild them and to replace the asphalt shingles with cedar shingles. Mr. Adams asked if the fire-rated shingle would look like wood, and Mr. Cracknell agreed.

4. 46 Maplewood Avenue

The request was to place three large louvers on the back of the building to ventilate the underground parking and for code reasons. Mr. Cracknell said the applicant also needed permission for having extended the walkway an extra 16 feet. He said the final roof plan for the generator exhaust fan and flue was submitted.

5. 379 New Castle Avenue

Mr. Cracknell said a mix of window types on the building were previously approved and restored but the contractor ordered 6/1 windows instead of 6/6 ones. Project architect Anne Whitney was present and said she thought the 6/1 windows were a better solution and that they would replace the bottom sash if necessary. She said they also needed permission for two chimney caps and a picket fence.

6. 57 Salter Street

Mr. Cracknell said the applicant requested miscellaneous changes, some of which were already implemented. The project designer Brendan McNamara was present and said they wanted to expand the granite landing and change the roof of the bulkhead. He said the front door wasn't high enough to get the refrigerator into the structure so they dismantled the front door and replaced it with a taller one. He said the applicant wanted to do a wood infill below the deck and have horizontal boarding and wanted a wood landing instead of a granite one due to issues of access and availability of granite.

7. 93 State Street

The request was for three gas lanterns, two on the State Street façade and one on the Chapel Street façade. Acting Vice-Chair Doering noted that it wasn't indicated where on the façade the gas lanterns would be located. City Council Representative Trace said she wanted to know exactly where the lanterns would go because they were gas. It was agreed to postpone the request to the August 11 meeting so that the applicant could provide more detail.

*It was moved, seconded, and passed unanimously (7-0) to **postpone** the request to the August 11 meeting.*

8. 145 Maplewood Avenue

Mr. Cracknell said the building went through a final inspection. He said the aluminum metal panels were thickened and widened in several locations, a door was relocated, vertical mullions were a lot thinner and some were omitted from the main entrance, a spandrel window was added, and glass spandrels increased in height. Acting Vice-Chair Doering

commented that the wood seemed to be weathering in an unexpected way and wondered if the applicant knew that the material would do that. The applicant's representative Matt Worth of PROCON was present and said it was a natural material with engineering backing that had a fading process and would eventually silver up a bit.

*It was moved, seconded, and **passed** unanimously (7-0) to **approve** Items 2, 3, 4, 5, 6 and 8.*

III. CERTIFICATE OF APPROVAL EXTENSION REQUESTS

A. Request by **Deer Street Associates, owner**, for property located **161 Deer Street, "Lot 5"**, for a third one-year extension of a Certificate of Approval originally granted by the Historic District Commission on July 11, 2018. Wherein permission was requested to allow the demolition of an existing structure on the lot and allow the construction of a new free-standing structure (construct 5-story mixed use building) as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 17-3 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

Attorney Kevin Baum was present on behalf of the applicant and said they were requesting a third extension due to several delays, including impacts from COVID. He said they previously indicated that COVID impacts limited financing for Lots 3 and 6, but only Lot 3 was impacted and the ultimate effect delayed the entire project. He noted that Deer Street Associates also had an ongoing dispute with the City relating to a parking agreement, which also delayed the project. He said Deer Street Associates was negotiating with a purchaser and wanted to move forward with the approvals, so he hoped the Commission could grant one more year's extension.

The Commission discussed whether the City had ever granted a third extension. Acting Vice-Chair Doering said she had the same concern for the request as she did for the one for Lot 4 because the surrounding neighborhood context had changed since the original plan was granted. Mr. Ryan asked how many times a world pandemic occurred during an extension request, noting that the Commission had put a lot of work into the project. He said there were no rules stating that a third, fourth, or fifth extension couldn't be granted, and noted that nothing had really changed in the neighborhood except for more development. Ms. Ruedig agreed that the surrounding context hadn't changed much, since the Commission had taken into consideration the building across the street that was now being constructed, and she agreed that the Commission had spent a lot of time on the project. She said the project was huge and the delays were understandable.

Acting Chair Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

No one rose to speak.

SPEAKING AGAINST THE PETITION

Elizabeth Bratter of 159 McDonough Street said Lot 5 was approved in July 2018, an extension was requested three months later and then again in October 2019, and now the applicant was asking for a third extension. She said the applicant stated that the development of Lots 3 and 6 were delayed due to the City's delay in executing the parking agreement, but it seemed that all the delays were caused by the applicant constantly needing extensions and wondered if the large project was a lot more than could be chewed. She said the project stated that nothing had changed in three years, and she agreed, noting that there still wasn't a start date or a contractor's name. She asked that the extension not be granted.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Attorney Baum said the request was made soon after the approval and Deer Street Associates was being proactive and transparent. He said the design was still appropriate, although the public might be frustrated with the timing, and that the building was designed knowing that the surrounding area would be developed. He said that the changes since 2018 were largely considered by the Commission when they reviewed and approved the project.

No one else rose to speak, and Acting Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the extension, and Ms. Ruedig seconded.*

Mr. Ryan said the project would conserve and enhance property values in the area and have compatibility of innovative technologies with surrounding properties. Ms. Ruedig said the Commission had no idea what was going on with business transactions or the City but was just looking at their approved design. She said the building would be appropriate for the location when it was constructed. Acting Vice-Chair Doering asked whether the extension for Lot 4 in the past was denied, and Mr. Cracknell agreed but noted that most of the Commission members supported the project's design.

*The motion **passed** by a vote of 5-2, with Acting Vice-Chair Doering and City Council Representative Trace voting in opposition.*

Acting Vice-Chair Doering said Lot 4 wasn't a matter of the design but was the context that had changed, and some buildings on the original plan were not happening. She agreed that the Commission was a design board but said she had reservations about that whole area and wanted the opportunity to look at the project again when the applicant was ready to begin instead of having various pieces coming at the Commission from all directions.

IV. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow new construction to an existing structure (add a 3-story addition and create new entry points to the Worth Lot) and additional site improvements as per

plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

The applicant wasn't present.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed unanimously (7-0) to **postpone** the petition to the September 1 meeting.*

V. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Dagny Taggart, LLC, owner**, for property located at **60 Penhallow Street**, wherein permission is requested to allow the installation of artwork on the property site as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 27 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

Project designer Tracy Kozak was present to speak to the petition, along with the applicant Mark McNabb, landscape architect Robbie Woodburn, and artists Vivian Beer and Alexander Golob. Ms. Kozak reviewed the petition, noting that the intent of the art was to educate and inspire people by presenting themes of women's issues and Portsmouth's maritime history and to increase vibrancy downtown by showcasing public art in open spaces.

Acting Chair Wyckoff asked what the fountain's material was. Ms. Kozak said it was a granite base that would be filled with shallow water and some natural stones. She said the woven wall represented women's crafts and work. She noted that they wanted to withdraw the water lilies in the alleyway leading out to Market Square. Acting Vice-Chair Doering asked if there were concerns for any damage that might happen to the edges of the granite, like skateboarding, and whether it would be protected. Ms. Kozak said none of the granite pieces had sharp edges and that property management would monitor it. Mr. Adams asked what held the 15-ft tall piece of steel. Ms. Beer said a substructure would be assembled on site that would go through an engineering approval. In response to further questions, she said it wouldn't be seen from more than one side due to the utility and maintenance area and that it would be bolted to the concrete floor. City Council Representative Trace said she felt strongly about the building and its interaction with a historic part of town, and she had faith in the developer and their choices.

Mr. Ryan asked about the meditation in blue piece. Mr. Golob said the courtyard was in the center of activity and the nook was a contemplative space, so they created something that responded to the circle form and created a sense of meditation. Mr. Ryan said it was so abstract that there might be some cynicism toward it. He said there was a lot of stuff going on visually and that the art seemed to be competing with itself for attention, but the signature building was also competing for attention. He said he had a problem with the abstraction, noting that everyone

in the public would see it and a lot would not appreciate it. Ms. Ruedig agreed that there was a lot of art proposed in that space, but the big new signature building would also be a focal point and she assumed the art would be a staged installation. She said it would be an exciting place downtown that would be very different and contemporary and would draw people in.

Acting Chair Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Elizabeth Bratter of 159 McDonough Street said the woven wall would be an invitation for kids to climb on and that it would accumulate dirt due to air pollution. She wondered how it would be maintained and whether it would discolor. She said she liked the meditation in blue piece but thought it would be less loud if it had some white on it.

Sue Polidura of 245 Middle Street asked why Ruth Bader Ginsberg was showcased instead of women from New Hampshire, like the former mayor Ellen Foley.

SPEAKING IN FAVOR OF THE PETITION

Marie Brody of McNabb Properties said McNabb Properties were exceptionally maintained and noted that the granite walls adjacent to the Music Hall sustained no damage. She said the McNabb Properties website received several responses from around the world regarding the decision to highlight women's activism and Portsmouth's maritime history.

No one else rose to speak, and Acting Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **grant** the Certificate of Approval for the application as presented, noting that the water lilies art was removed from the application. Mr. Ryan seconded.*

Ms. Ruedig said the project would promote the education, pleasure, and welfare of the District and would have compatibility of innovative technologies with surrounding properties. She said it was something new and different but was in keeping with the approved building being constructed by using artistic flair.

*The motion **passed** by unanimous vote, 7-0.*

2. Petition of **Raikic Realty of Hanover, LLC, C/O John & Cynthia Kacoyanis, owners**, for property located at **55 Hanover Street, Units 6A, 6B, 6C, and 6D**, wherein permission is requested to allow renovations to an existing structure (replace all windows in 4 units) as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 and Lot 23 and lies within the Character District 4-L2 (CD4-L2), Downtown Overlay and Historic Districts.

SPEAKING TO THE PETITION

The applicant wasn't present.

DECISION OF THE COMMISSION

*Mr. Adams moved to **postpone** the petition to the August 11 meeting, and City Council Representative Trace seconded. The motion **passed** by unanimous vote, 7-0.*

3. Petition of **Stephen G. Bucklin, owner**, for property located at **322 Islington Street**, wherein permission is requested to allow new construction to an existing structure (new foundation for existing carriage house and construction of a 1-story addition to existing main house) and exterior renovations (new trim and siding on the east and north elevations) as per plans on file in the Planning Department. Said property is shown on Assessor Map 145 as Lot 3 and lies within the Character District 4-L2 (CD 4-L2) and Historic Districts.

SPEAKING TO THE PETITION

Project designer Brendan McNamara was present on behalf of the applicant to review the petition. He explained that the previous approval lapsed, and now there was a signed contract on the house and a new owner. He said there were no changes to the proposal or zoning.

Mr. Adams asked for more details on the windows. Mr. McNamara said they were Green Mountain traditional wood windows with integral casing and sills. Ms. Ruedig asked where the egress window would be and was told that it would be on the second floor.

Acting Chair Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

Elizabeth Bratter of 159 McDonough Street said she had always loved the garage and was glad that it was staying, and she thought Mr. McNamara did a great job in renovating the building.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one else rose to speak, and Acting Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **grant** the Certificate of Approval for the application as presented, and Mr. Ryan seconded.*

Ms. Ruedig said the project would conserve and enhance the surrounding property values, complement and enhance the architectural and historic character of the District as well as the relationship to the historic and architectural value of the existing structure.

*The motion **passed** by unanimous vote, 7-0.*

4. Petition of **Philip & Joy Rowlands, owners**, for property located at **199 Middle Street**, wherein permission is requested to allow the demolition of the existing shed and the addition of a new shed on the property as per plans on file in the Planning Department. Said property is shown on Assessor Map 127 as lot 6 and lies with the Mixed Research Office (MRO) and Historic Districts.

SPEAKING TO THE PETITION

The applicant wasn't present.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed unanimously (7-0) to **postpone** the petition to the August 11 meeting.*

5. **REQUEST TO POSTPONE-** Petition of **William & Barbara Southworth, owners**, for property located at **39 Pickering Street**, wherein permission is requested to allow the replacement of the existing shed with a larger shed on the property as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 5 and lies within the General Residence B (GRB) and Historic Districts.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed unanimously (7-0) to **postpone** the petition to the September 1 meeting.*

6. Petition of **Dagny Taggart, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (several maintenance repairs, new roofing, windows, and gutters) and the demolition of a 1-story rear addition as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

Project designer Tracy Kozak was present on behalf of the applicant to review the petition. She noted that the project was split into two parts and that the restoration of the existing building would be discussed. She said the changes included maintenance repairs, new gutters and synthetic slate roofing, and window changes. She showed a sample of the proposed window.

Mr. Adams said he didn't think the window was an appropriate replacement. City Council Representative Trace agreed. Ms. Kozak remarked that energy-code windows were important. In response to further questions from the Commission, Ms. Kozak said there wouldn't be any egress windows because the building has a full sprinkler system, and the fan light would remain.

Ms. Kozak presented the asphalt sample. She noted that a window detail noted that the existing fanlight would be re-glazed, and the glass panes would be replaced as needed but in general would be repaired and not changed. She said the shutters needed to be repaired and missing shutters would be replaced, and the metal grills covering the basement windows would be removed. Acting Vice-Chair Doering asked if the rolled-down concealed interior screens were top to bottom. Ms. Kozak said they were on the bottom and were concealed on the sill and would roll up on the inside. Acting Chair Wyckoff asked about the porch columns. Ms. Kozak said there was a lot of rotted wood and that they would be repaired in kind.

Ms. Ruedig said the planned restoration work was wonderful and that she had no problem with the later additions being removed or the slate roof because it wouldn't be very visible. She said she could not support the replacement of the windows because the existing historic windows were elegant and light, and even a new window that exactly matched the muntin profile would look a lot heavier and just wouldn't be the same. She said she was very intrigued by the product but thought a nice storm window would be a better fit to preserve the building's fabric. She noted that windows were a major part of the very focal building in the downtown and would be more inclined to consider the new windows if the location wasn't so pristine or central. Ms. Kozak said it was noted in one of the work sessions that the windows in the back could potentially be replaced. Ms. Ruedig said she'd have to look at the back side.

Mr. Adams said he was inside the building and found that it had six of its original sashes. He said it was a unique molding profile of that time because it was two different molding shapes delicately put together. He said what fooled people from the street view was that the replacement sashes seemed to have been done at a particular time and matched, in terms of the scale of the elements. He said it didn't make sense to have two different kinds of sashes in the building, back and front, and that it seemed like there were enough sashes on the building to encourage someone to make a replacement, but that the sashes were from the early Federal period and were unique to the period. Mr. Ryan asked if the new window would be used in the addition. Ms. Kozak said probably not. He noted that the addition tied into the north elevation but that he had to agree that doing anything to the existing building's windows would be a travesty. City Council Representative Trace said the roof was an improvement but she couldn't support the new windows because the building was front and center in the District and was one of the major ones left. Ms. Kozak explained that there was a new glass called vacuum glass that was 1/8" thick and thought it might be appropriate to replace the existing glass. Ms. Ruedig asked Ms. Kozak to bring a sample of it.

Mr. McNabb asked that the windows be pulled from the application and said he would restore the existing windows and do an interior storm window to meet code.

Acting Chair Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Sue Polidura of 245 Middle Street said she did some research and believed that there was a well in that area that went back to the original 1696 era. She asked that the Commission preserve anything that might be found relating to the well.

No one else rose to speak, and Acting Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **grant** the Certificate of Approval, with the following **stipulation**:*

- That the window replacement shall be removed from the application and the windows shall be restored in place.*

Mr. Ryan seconded.

Ms. Ruedig said the project would preserve the integrity and special character of the District and would be consistent with the special and defining character of surrounding properties.

*The motion **passed** by unanimous vote, 7-0.*

At this time, the three applicants who were not present for the 64 Vaughan, 199 Middle Street, and 55 Hanover Street petitions were still not present.

*Mr. Ryan moved to **postpone** the 64 Vaughan Street petition to the September 1 meeting, seconded by City Council Representative Trace. The motion **passed** unanimously, 7-0.*

*Acting Vice-Chair Doering moved to **postpone** the 199 Middle Street and 55 Hanover Street petitions to the August 11 meeting, seconded by Mr. Ryan. The motion **passed** unanimously, 7-0.*

VI. ADJOURNMENT

The meeting was adjourned at 8:49 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MINUTES
THE HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

August 11, 2021

MEMBERS PRESENT: Acting Chairman Jon Wyckoff; Acting Vice-Chair Margot Doering; Members Reagan Ruedig, Martin Ryan, David Adams and Dan Brown, Alternate Karen Bouffard.

MEMBERS EXCUSED: City Council Representative Paige Trace, Alternate Heinz Sauk-Schubert

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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Nick Cracknell attended the meeting remotely. Alternate Karen Bouffard took a voting seat for all petitions.

I. ADMINISTRATIVE APPROVALS

All administrative approval items were reviewed and voted on separately.

1. 37 Whidden Street

The request was to remove rotten wood around the rear deck and cold storage area on the back of the house and replace it with a composite material.

*Ms. Ruedig moved to **approve** the item, and Mr. Brown seconded. The motion **passed** by unanimous vote, 7-0.*

2. 202 Court Street

The request was for approval for changes made to the previously-approved design for demolition on the back portions of the old firehouse structure. Mr. Cracknell said the applicant removed the roof from the single-story garage but the walls caved in. He said the tower element near the garage was in bad shape and the applicant wanted to replace it. Matt Silva was present on behalf of the applicant and said there were technicalities once the demolition was started and more of the building might need to be reconstructed. He said the building fell down by itself and that they would work with the structural engineers after getting approval from the Building Inspector. He said they had to re-sheath the building to meet code, but the removed material would be milled and re-used. In response to the Commission's questions, Mr. Silva said all the framing for the walls on the first floor would

remain and would be reframed, and the sheathing would have to be removed; they would continue to use some of the post-and-beam material and the outside would be conventionally framed; the foundation would be concrete; and the siding on another wall would continue all the way down and go to the frost-protected level to follow code and would need a new foundation. Mr. Cracknell suggested putting a brick shelf on it to match the other foundation.

*Mr. Adams moved to **approve** the item, with the following **stipulation**:*

- *The brick shelf shall be on the existing firehouse elevation of the tower and shall cover any exposed foundation on that side.*

*Ms. Ruedig seconded the motion. The motion **passed** by unanimous vote, 7-0.*

3. 40 Howard Street

Mr. Cracknell said the applicant wanted to respond to a neighbor's complaint, who had asked the Commission to review the work done on the applicant's trellises, fence and patio behind the house. The applicant Kenneth Sullivan was present and said he made a few changes to the previously-approved project by shortening the long stone wall for balance to match on each side of the stairs and eliminating a flower box from the wall. He said he added a wooden trellis at the driveway without permission in preparation for the Portsmouth Pocket Garden Tour and put climbing vines there, which caused the neighbor to complain. He said he had to add some bracketing and a horizontal board at the bottom of the bracket, and the long rails in the pergola were part of the construction. He said the lattice helped hold up the flower boxes.

Acting-Chair Wyckoff asked if the flower boxes were attached and was told that they were not. He asked if there was a reason to have the horizontal board after the flower boxes were removed. Mr. Sullivan said he hoped to put them up again for the next pocket garden tour. Mr. Ryan said the applicant blatantly disregarded the approval process to make a beautiful thing, and he asked if he wanted to keep it that way. Mr. Sullivan said he would. Mr. Cracknell noted that the neighbor who complained wasn't present at the meeting.

*Mr. Ryan moved to **approve** the changes that had been made, seconded by Ms. Ruedig. The motion **passed** by a vote of 6-1, with Mr. Adams voting in opposition.*

4. 111 Maplewood Avenue

Mr. Cracknell said the request was for a retroactive approval for two mechanical stacks on the roof. The applicant's representative Ben Careno was present and said the stacks were exhaust vents and the dermatologist in the building was testing skin cells, so the towers needed to be tall due to the chemicals being exhausted through them and also due to the intake units around them. The Commission said a screen would only draw further attention to the stacks.

*Mr. Ryan moved to **approve** the item as presented, and Ms. Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

At this point in the meeting, Acting Chair Wyckoff said there were two postponements and a request to end a work session.

*Ms. Ruedig moved to **postpone** Work Sessions for 137 Northwest Street and 279 March Street to the September 1 meeting, and Acting Vice-Chair Doering seconded.*

*Ms. Ruedig moved to **end** the work session for 449 Court Street, and Acting Vice-Chair Doering seconded. The motion passed by unanimous vote, 7-0.*

II. PUBLIC HEARINGS (NEW BUSINESS)

1. (Work Session/Public Hearing) Requested by **Lucky Thirteen Properties, LLC, owner**, for property located at **361 Islington Street**, wherein permission is requested to allow new construction to an existing structure (construct 1-story side addition) and renovations to an existing structure (replace windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 144 as Lot 23 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

WORK SESSION

Architect Rob Harbeson was present on behalf of the applicant and noted that it was a work session only. He reviewed the petition, saying that they proposed to re-use the old Getty station for a restaurant. He said the pavement under the canopy would be replaced with a concrete patio and sidewalk, with new landscaping that would include planters and a fence for outdoor dining. He said they might have some wood screens with graphics to screen the neighboring building. He said the footprint would remain the same and the back three sides of the building that were solid walls would remain and the two overhead doors would be replaced with glass doors; the storefront would also be replaced and the majority of the perimeter would be planters, with one metal access gate. He said the existing building was a concrete block that was painted, so they proposed a stucco system, and the canopy would be painted with possibly a mural beneath it.

Ms. Ruedig asked how smooth the texture would be. Ms. Harbeson said it had three different textures, and the finest one was a sand texture. Ms. Ruedig said the example given of the bank down the street with the same texture didn't quite fit into the District. Mr. Harbeson said there were no thermal breaks in that building and asked if a cementitious panel would be better. Ms. Ruedig said she wanted to see a sample of the smooth finish of that product, but otherwise she was supportive of the proposal, noting that enlivening the building was a good adaptive re-use of the property and that the tall fencing was a positive thing as well.

Mr. Adams said the bank of coolers would require compressors, which were noisy and needed ventilation. Mr. Harbeson said they would be enclosed and there would also be an exhaust system. Mr. Adams asked if the point of the overhead doors and the glass was to redo the entry so that it looked like of a motif of the glass panels. Mr. Harbeson agreed. Mr. Adams said a finer finish for the stucco would be good and encouraged the applicant to think about a system of scored lines that helped unify the pieces and parts of the building. In response to further questions, Mr. Harbeson said the canopy would remain and would be a highlighting feature, and

there was some banding at the cornice itself. He said they were working on a lighting plan that would have uplighting and would allow no light spillage outside. Mr. Ryan said the way the lighting was depicted would be important to the public. He suggested mixing up the planters a bit. Acting Vice-Chair Doering said the planters weren't very high and wouldn't give a lot of protection from the street, so she was pleased to hear about the addition of the screens but they were on the ends and not the street. She suggested that the applicant look at the screen walls going up around town. She asked if the stucco system was painted. Mr. Harbeson said the color was imbedded in the stucco. Ms. Doering said the area above the doors and the storefront system was a great opportunity for different color, texture and materials to give a top to the building on which there would be a canopy. She said she agreed with the lighting comments. Acting-Chair Wyckoff said the design of the finish was very conservative.

There was no public comment.

DECISION OF THE COMMISSION

*Ms. Ruedig moved **continue** the work session to the September 1 meeting, and Acting Vice-Chair Doering seconded. The motion **passed** by unanimous vote, 7-0.*

III. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **Raikic Realty of Hanover, LLC, C/O John & Cynthia Kacoyanis, owners**, for property located at **55 Hanover Street, Units 6A, 6B, 6C, and 6D**, wherein permission is requested to allow renovations to an existing structure (replace all windows in 4 units) as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 and Lot 23 and lies within the Character District 4-L2 (CD4-L2), Downtown Overlay and Historic Districts.

SPEAKING TO THE PETITION

Dan Wallis was present on behalf of the applicant. He noted that Unit 6A was not part of the application. He reviewed the petition, noting that the 25 residential windows had taken a beating and were difficult to clean, so they would be replaced the Andersen windows that would match the Andersen windows at The Juicery and on the ground floor.

Acting Vice-Chair Doering noted that full screens were indicated and said that half screens were normally required. In response to further questions from the Commission, Mr. Wallis said he would remove the storms and screens and leave the frames up to repaint them. He said the frames would be removed when the building was painted and a bar would remain after the storm windows were removed but wouldn't be noticeable. Ms. Ruedig said the wood sash windows weren't historic because of the aluminum runners on each side. Mr. Cracknell asked the applicant if he was sure that the windows in the Juicery and ground floor were vinyl clad. Mr. Wallis said they were the Andersen Series 400 with a Fibrex cladding and were white. Acting Chair Wyckoff thought they were made with Fibrex and the inside was wood applique, and that the desert tan color would go better with the trim. He said it made no sense to have brand new

windows and have the storm framework be ripped out at a later time because there was a chance that the windows would be damaged.

Acting Chair Wyckoff opened the public hearing.

SPEAKING TO FOR, OR, AGAINST THE PETITION

There was no one present to speak, and Acting Chair Wyckoff closed the public hearing

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the application as presented, with the following **stipulation**:*

- *The windows shall have half screens.*

Acting Vice-Chair Doering seconded.

Mr. Ryan said the project would preserve the integrity of the District and be consistent with the special and defining characters of the surrounding properties.

*The motion **passed** by unanimous vote, 7-0.*

B. Petition of **Philip & Joy Rowlands, owners**, for property located at **199 Middle Street**, wherein permission is requested to allow the demolition of the existing shed and the addition of a new shed on the property as per plans on file in the Planning Department. Said property is shown on Assessor Map 127 as lot 6 and lies with the Mixed Research Office (MRO) and Historic Districts.

SPEAKING TO THE PETITION

The applicant Philip Rowlands reviewed the petition. He said there was substantial decay in the in the shed and that all four corner posts were compromised at the base and the floor had collapsed at the rear. He said the shed was only two feet away from the neighboring property and could collapse in the neighbor's yard. He said he wanted to demolish the shed and put the new shed further back in the northeast corner of the yard, where it would be in full compliance.

Ms. Ruedig said she wished a photo of the shed had been included so the Commission could see if it was historic and whether or not it should be demolished. The applicant said the shed wasn't historic and was too far gone. Ms. Ruedig said she had no problem with the new location but wondered about its orientation being skewed and diagonal instead of lining up with the other buildings. The applicant said he didn't want to damage the large sycamore tree. In response to further questions, he said the foundation would be crushed stone and the shed would be painted to match the house. He said the shutters were vinyl but would be removed.

Acting Chair Wyckoff opened the public hearing.

SPEAKING TO FOR, OR, AGAINST THE PETITION

No one was present to speak, and Acting Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **grant** the Certificate of Approval for the application as presented, with the following **stipulation**:*

- The vinyl shutters shall be removed from the shed.*

The motion was seconded.

Ms. Ruedig said the project would conserve and enhance property values by removing the old shed and building a new one and have compatibility of design with surrounding properties.

*The motion **passed** by unanimous vote, 7-0.*

IV. WORK SESSIONS (OLD BUSINESS)

A. Work Session **requested** by **238 Deer Street, LLC, owner**, for property located at **238 Deer Street**, wherein permission is requested to allow the demolition of the existing structure and the construction of a new 3-4 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

WORK SESSION

Architect Jeremiah Johnson was present on behalf of the applicant, along with the McHenry Architect team. He said the scope remained the same, with 21 micro-units on upper floors with ground-floor retail use. He said there were two options proposed. Option 1 carried the strong cornice line that connected the front and rear mass of the building; the second and third floors were clad in composite; there was a deeper overhang on the penthouse; and the proposed material was the terra cotta-style metal panel. He said some of the similarities were that the front entry was recessed to provide cover to the retail unit and the first floor would have a different appearance with a heavy band above it. He said the penthouse was recessed back but the footprint was the same for both options. He said the parapet was extended up past the cornice line in both options. He said Option 1 had the same material as the lower floors and Option 2 was an extension of the proposed masonry and had the Deer Street elevation divided into thirds, with the middle third being extruded up above. He said it would have the same material as the ground floor of the building, had balconettes instead of a simplified window pattern, had a change in the muntin patterns, and had 2/2 windows.

Acting Vice-Chair Doering said she found that the finished materials in Option 1 were flat and boring and gave it a boxy look, and she wanted to see a simple design with bolder choices in the simplicity. She said she liked the interest that the projecting element in Option 2 provided but the mix of materials when combined with the feature and the balconettes made the small building a very fussy small building. She said she was somewhere in-between the two options. Ms. Ruedig

said she appreciated the simplicity and agreed that Option 1 went too far in a simple direction. She said somewhere in-between would find a better result. She said she liked the look of Option 2 because it broke up the long horizontal box and was complimentary to the building being constructed next to it, which was a successful design and had in-and-out bays. She said it would be appropriate to have those two buildings together in that row. She said she'd like to see the vertical delineation in the façade and would be fine if a few balconettes were eliminated. She said simple but higher quality materials would make a better building. Ms. Bouffard said the three bays were more appealing and thought more simplified elements, upgrading the materials, and eliminating some of the balconettes would be more appealing as well.

Mr. Ryan said he preferred Option 2 because it was more substantial architecture that fit in with some of the masonry buildings in the area. He said he didn't like the strip mall entrance at the base in Option 1. He said he didn't have a problem with the balconettes and thought the brick was a good quality way to go. He said he was bothered by the front entrance because of the very thin vertical windows that didn't look like they went with anything else in the rest of the building. He suggested carrying down some of the window patterns to the base and trying to get some of that pattern into a lower window and into a storefront so that there was a conversation going on between the two. Mr. Brown said he liked Option 2 for the same reasons and thought the balconettes seemed unnecessary. He said he liked the division into threes and the top two floors but was having a problem with how the bottom floor tied into the commercial part of the building. He also liked the varying cornices and rooftops. Mr. Adams said he liked the 3-part building because it reminded him of the 19th-century row buildings. He suggested being playful with the front façade of the center part. He said he agreed with the commentary but had not heard a good direction for the windows on the commercial section of the building and didn't think running them all the way to the ground was a great way to go. He said there had to be recognizable doors and something that flowed with the pattern showing that each unit was an individual one. Acting Chair Wyckoff said he was in total agreement with the comments about Option 2 and the three bays and also had a problem with the first floor.

There was no public comment.

DECISION

The applicant said he would return for a work session/public hearing at a later date.

B. REQUEST TO POSTPONE- Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

DECISION OF THE COMMISSION

*The work session was **postponed** to the September 1 meeting.*

C. Work Session requested by **Dagny Taggart, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (renovations of existing building) and new construction to an existing structure (construct 3-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4) and Historic Districts.

WORK SESSION

Architect Tracy Kozak was present on behalf of the applicant, along with Mark McNabb. She reviewed the petition and said the massing, size, or positioning hadn't changed. She said the Court Street elevation had shutters, noting that the earlier scheme of two masses with a steeper roof was a great opportunity for solar panels, but now they had the dormer roof and the low roof so it would be great to use the shutters to control solar heating. She said they wanted a sun shade on the hip roofed brick building, with the porches would have a contrasting material like a composite board or clapboard.

Acting Chair Wyckoff said he'd like the pediment to look like it was supported by something. Mr. Adams said the side door should have a bit more scale and perhaps pilasters, and he thought something needed to be done to the garage door next to it to provide more balance and intent. Acting Vice-Chair Doering said the center building bothered her because it had one long continuous façade that didn't reference the traditional style and contributed to the feeling of it being very large. Ms. Kozak said it was a five-bay rhythm and they could make the spacing a bit tighter as well as do something different in the center. Acting Vice-Chair Doering said changing the rhythm so that it looked like two separate residences might work. She said the section to the right seemed too commercial instead of residential. Ms. Ruedig said she liked the idea of using historic shutter elements in a contemporary way for similar purposes and thought the awnings still seemed stark. She said the recessed connecting parts of the building that had the doors and porches, especially the one on the left, veered too much toward 'phony Colonial' and could be simplified, but the porches, columns and railings could take a bit more from that side on the front of the house that used to be the butcher shop because it had a simple layout that could easily be translated on those areas. She said the doorway with the floating pediment on top could be made more substantial or simpler by removing the pediment. She said the project was going in the right direction. Mr. Ryan said he liked the simplicity of the long brick pattern and would leave it the way it was. He agreed that the little door was too fussy and could be more utilitarian. He said it was a nice powerful elevation and its power came from its simplicity. He said he worried about the awnings a bit and asked what material they were. Ms. Kozak said they would be a translucent but taut fabric on a metal frame. Mr. Ryan said he didn't think something like that would wear well and thought something more substantial like the rest of the building might be better.

Ms. Bouffard said she was neutral on the awnings but thought the garage could have some embellishment on it. She wondered why the hidden door behind the wall had an eyebrow feature to attract attention to it and thought the connector buildings seemed out of sync with the other two buildings. Mr. Brown said he also had trouble with the hidden door but thought the connector buildings added a neat look and by being almost recessed to break it up and give it a different character. He said he liked the porches and the strength of the long brick middle building. Acting Chair Wyckoff said that the long middle building could relate to the side of a

long commercial building or a factory. He said he was happy with the middle section but disappointed with the last building and thought a more industrial-looking canopy could go over the door and the garage door. He said the garage door needed some protection. Ms. Kozak said the door swung out. Acting Chair Wyckoff suggested something more contemporary. It was further discussed. Acting Vice-Chair Doering asked if the trees would be removed. Mr. McNabb said they would be replaced with larger trees. Mr. Adams asked the applicant to provide photographic images of the State Street elevation, and Mr. Cracknell suggested putting them in the 3D model on the City's website before the next meeting.

There was no public comment.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **continue** the work session to the September 1 meeting, seconded by Mr. Brown. The motion **passed** by unanimous vote, 7-0*

D. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

WORK SESSION

Eben Tormey of North Mill Pond Holdings, Chris Lizotte and Adam Moore were present. Mr. Tormey reviewed the massing plan, noting that the neighboring buildings didn't have historical significance and were an eyesore. He reviewed the changes and said the amount of space between the two buildings was increased for more pedestrian space; surface parking was reduced and pulled back from the greenway and the pond; a landscape buffer was added to soften the transition from the built environment to the path and from the path to the waterfront and an impervious parking area was eliminated; and the path was improved and wayfinding signage added. He said they proposed that Raynes Avenue and Vaughan Street change to one-way streets to improve the pedestrian experience and calm the traffic. He noted that significantly large buildings were added to the neighborhood since the project team was before the Commission, so he felt that the project was consistent with the density of development and supported the City's Master Plan. Mr. Lizotte discussed the design elements. He said they were trying to tie the building into the existing north end but also provide further diversity to it by contrasting traditional materials with more modern ones or traditional materials with a modern type finish. He showed how terracing would be used to break down the massing as well as pedestrian connections. Mr. Moore showed contextual views of neighboring building scales and said they would use façade modulations to break up the building and create a rhythm for the mass of the mixed-use building juxtaposed by the hotel next door. He said an open space would be provided between the two buildings that would serve as a connection to the park and would be multiple points of access throughout the site.

Mr. Ryan said there were a lot of good things but he couldn't get past the surfaced parking lot, noting that all the other buildings in the block hid their parking. He said even though the applicant tried to cover some of it up, it was still a lot of blacktop and was horrible for the District. Ms. Bouffard commended the applicant for breaking up the building into two separate ones but thought the surface parking was a dreadful use of waterfront property. She said she didn't have a good grasp on the building's height and width and wanted to see more details.

Acting Vice-Chair Doering said she liked two things about the massing: the inversion of the building so that the spine wasn't facing the pond, and the acute angle on the hotel building that shortened and lessened it. She agreed that the height was similar to surrounding construction and approved buildings but wanted to see some reduction in the five stories and didn't think the terracing really worked. She said her concerns with the massing was the perception of the undulating massing as one big 'Great Wall of China' and that there was a lot of square-block effect seen from the North Mill Pond and Maplewood Avenue that wasn't relieved by any other features. She agreed with Mr. Ryan about the surface parking. She said the massive wall of building with the one-story bump-out didn't relate to the buildings on the other side and was too square and needed some variety.

Ms. Ruedig said the existing 31 Raynes Avenue building was one of the few mid-century modern buildings left in town and was not a total throwaway. She said she agreed with a lot of the comments, like hiding the parking and the massing of the buildings. She noted that the North End massing plan specified that the height of proposed buildings would ideally move from lower around the waterfront and get taller toward the center of the block, but the applicant's building was terraced in the opposite direction. She suggested flipping it around or extending the buildings to cover the parking and gradually move the mass to terracing down lower toward the waterfront to soften it. Mr. Tormey said they were staying out of the setbacks. Ms. Ruedig said five stories was a little bit much 'in your face' looking at it from across the pond because it was a big wall. She said terracing it down a bit toward the 3S Arts Building would be a good way to soften it. She said improving the pedestrian experience on Raynes Avenue was a positive thing. Mr. Brown said he echoed what everyone else said and had major problems with the parking, noting that having that much of a parking lot up against the greenway offended him. He said the applicant hid the five stories pretty well but the stories were obvious when one was right up against the pond. He said the ramp and pier were great, as well as connecting all the greenways and separating the buildings.

Mr. Adams said the severity of a five-story building against the side of a waterfront was way too much and he couldn't support the surface parking. He said it seemed wrong to drop the building down a story in the one place that it related to the bustling community. He said the applicant missed the chance to place the building in the middle of the lot. He said the waterfront area was a natural setting, not a canal, and something had to happen. Acting Chair Wyckoff agreed and said he was disappointed with the design, especially looking at it from Raynes Avenue, because it reeked of a 1970s or 1980s apartment block with 240 units that could be in Dover, Rochester, or Nashua along an airport road. He said it was a very common, simple building in a location that would be the most valuable piece of property in Portsmouth when it was cleared. He said the building could have been a legacy for the applicant. He said the hotel as seen from Market Street had nothing to do with Portsmouth.

Public Comment

Heinz Sauk-Schubert of 142 Spinnaker Way asked the applicant what they liked about the building. Mr. Tormey said they were activating an underutilized piece of property.

Elizabeth Bratter of 159 McDonough Street referred to the letter she sent to the Commission. She noted that the lots joined together were Zone CD4 and the rest of the north end was zoned CG5, so the applicant's lot should be less intense and more waterfront-friendly according to the North End Charrette. She said the building was hideous.

No one else rose to speak, and Acting Chair Wyckoff closed the public comment.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **continue** the work session to the September 1 meeting, seconded by Mr. Ryan. The motion **passed** by unanimous vote, 7-0.*

E. **REQUEST TO POSTPONE**- Work Session requested by **Ross D. Ellenhorn and Rebecca J. Wolfe, owners**, for property located at **279 Marcy Street, Unit #3**, wherein permission is requested to allow new construction to an existing structure (construct recessed deck on 3rd floor) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 45-3 and lies within the General Residence B (GRB) and Historic Districts.

DECISION OF THE COMMISSION

*The work session was **postponed** to the September 1 meeting.*

F. **REQUEST TO END WORK SESSION**- Work Session requested by **Mary H. and Ronald R. Pressman, owners**, for property located at **449 Court Street**, wherein permission is requested to allow renovations to an existing structure (add 4th floor addition and roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

DECISION OF THE COMMISSION

It was moved, seconded, and passed unanimously to end the work session.

V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

WORK SESSION

Architect Brooks Slocum was present on behalf of the applicant, along with Brian Plummer of Two International Group and Rob Harbeson of Market Square Architects. Mr. Slocum reviewed the petition. He said it was an exciting site that had plenty of large buildings but needed more greenspace, which they would help create.

Acting Vice-Chair Doering said breaking up the building was a great way to start. She said she thought the view corridors were intended to visually and physically connect the two sections of the building and asked whether building a bridge across the train tracks would be possible, which would be an amenity that would make a big difference in the flow between the old and new sections of Portsmouth. Mr. Slocum said the challenge would be air rights over the train track and would be difficult to achieve in the project's timeframe. He said the only real crossing was at Maplewood Avenue. It was further discussed. Mr. Ryan said the Commission wanted a sense of a visual corridor and not one that had a one-story element blocking the view from Portwalk Place. Mr. Slocum said they were creating mini-destination pocket parks that were all dead ends but would be good places for the public to go. Ms. Bouffard said the project had been referred to by citizens as the Great Wall of China and that a pedestrian wouldn't be able to see what was beyond the property. She said the building would forever be the line of demarcation between the old town and the new town, and there would be no way to get from Point A to Point A. Mr. Adams said it looked like one building and that the applicant had said it didn't have to be one building. Mr. Slocum said they wanted to show views of the building from different angles but it might not be the view corridor the Commission wanted.

Ms. Ruedig said the Commission should have a site walk and the plans should be put into a 3D model. She said she was satisfied that the applicant was breaking up the site, and she didn't care if there was a one-story connector. She said the building was three separate masses and would create the feeling of three separate buildings. She said she felt positive about the direction the project was going in and thought it was a huge improvement. Acting Chair Wyckoff said the whole parking lot would have to be marked off so that the view corridors could be seen. He noted that, looking down Portwalk Place, one could continue that look from Vaughan Street and see about a half-mile to the new development at the water's edge. Acting Vice-Chair Doering said one of the criticisms of the new development in the North End was the flat box top buildings. She noted that the town had small buildings next to tall buildings and thought it could be possible for the project to give some interest to the vertical shape, including something that looked like the Flat Iron Building in NYC. Mr. Slocum said there was opportunity for the buildings to have terraces but the challenge was the setback. Mr. Ryan said one slice of the building seemed very purposeful and created a view corridor that connected Portwalk Place to that part of the North End, while the other slice seemed more arbitrary and addressed the intersection, which was an important public way. He asked why it didn't angle so that one got a slice of the building beyond and also saw space beyond instead of visually dead-ending into that existing building. He said he'd rather see the face of that building be at the end of the view corridor. Mr. Slocum said angling it that way would shortcut the building, and all one would see would be Vaughan Street. It was further discussed.

Public Comment

Gerald Zelin said it was a huge improvement over the prior project. He said the New Hampshire Statute could petition other states to force the railroad to allow a crossing for the tracks, and if that couldn't be accomplished before the project was constructed, at least the corridor to cross the track could be reserved so that eventually the applicant could get the State's permission for the crossing. He wondered if the building had a larger footprint than the ordinance allowed and if so, the problem could be solved if the one-story parking section at the portion of the building that was the continuation of the Portwalk Place corridor was gotten rid of because it would allow the view corridor and perhaps a walkable corridor and also break up the building so that it was clearly a building that didn't exceed the footprint.

No one else rose to speak, and Acting Chair Wyckoff closed the public comment.

Mr. Slocum said they could reduce some of the second-level parking because it was at the end of that row, therefore one side would be on the end of Portwalk Place that could go all the way down. He said they could treat the other one as an end corridor and squeeze the parking somewhere else. Acting Vice-Chair Doering said she'd like to see the same sort of massing but in a different way. Mr. Ryan said he'd like to see some architecture.

DECISION OF THE COMMISSION

*It was moved and seconded to **continue** the work session to the September 1 meeting.*

VI. ADJOURNMENT

The meeting was adjourned at 10:45 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

September 01, 2021

- | | | |
|----|--------------------------------------|------------------------|
| 1. | 93 State Street (LUHD-371) | - Recommended Approval |
| 2. | 14 Mechanic Street (LUHD-378) | - TBD |
| 3. | 57 Salter Street, Unit #2 (LUHD-379) | - Recommended Approval |
| 4. | 21 Blossom Street (LUHD-380) | - Recommended Approval |
| 5. | 564 Middle Street (LUHD-382) | - TBD |
| 6. | 126 State Street (LUHD- 384) | - Recommended Approval |
| 7. | 135 Congress Street (LUHD-386) | - Recommended Approval |
| 8. | 60 Penhallow Street (LUHD-385) | - TBD |

1. 93 State Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of (3) natural gas lights-(2) lights on State Street and (1) light on Chapel Street.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-371****Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** Jul 22, 2021**Applicant**

Christopher Dalecki, Sr
atlanticgastechs@comcast.net
1 McLean Drive
South Berwick, ME 03908
207-384-4445

Location

93 STATE ST
Portsmouth, NH 03801

Owner:

REID JAMES D REVOCABLE TRUST OF 2011 & REID JAMES D TRUSTEE
93 STATE ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Installation of 3-Natural Gas lights, 2-on State St, and 1- on Chaple St, because his house is on a corner. His house is all Brick.

Description of Proposed Work (Planning Staff)

the installation of (3) natural gas lights- (2) on the State Street side and (1) on the Chapel Street side

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Jim Reid

Business Name (if applicable)

--

Mailing Address (Street)

93 State St

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

603-765-0977

Email Address

Jim@reidpublications.com

Relationship to Project

--

If you selected "Other", please state relationship to project.

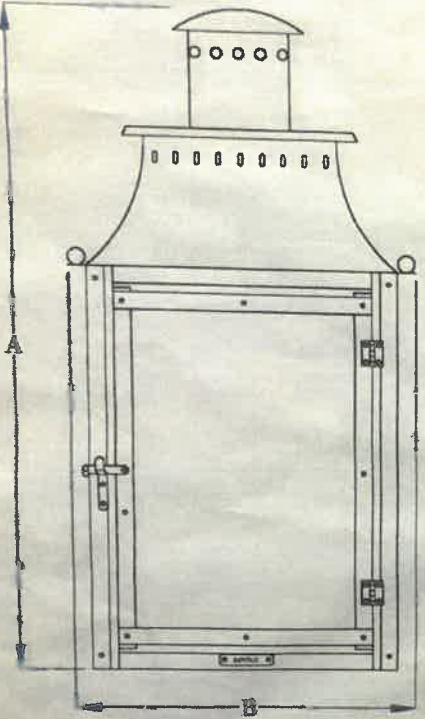
Gas Technician

Full Name (First and Last)

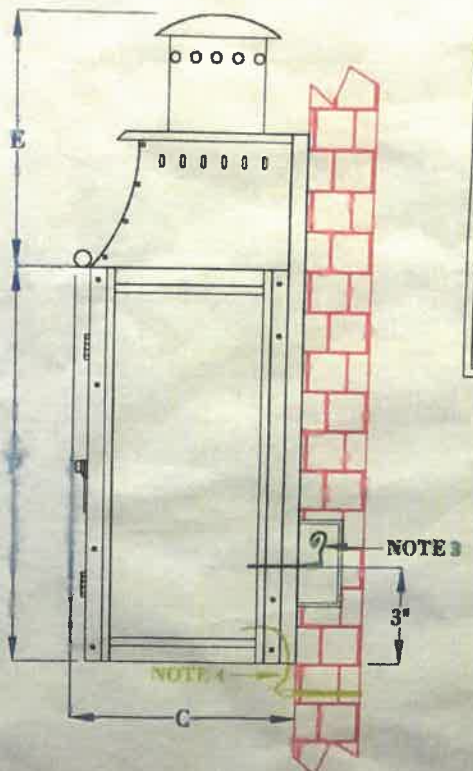
Chris Dalecki Sr

Business Name (if applicable)

Atlantic Gas Techs



FRONT VIEW
(NTS)



SIDE VIEW
(NTS)

**FLUSH MOUNTED
GAS FIXTURES
CANNOT BE MOUNTED TO
ANY COMBUSTIBLE
MATERIALS INCLUDING
WOOD, VINYL, PVC
OR COMPOSITES**

NOTES:

- 1. MOUNTING HARDWARE SUPPLIED BY OTHERS
- 2. FIXTURES ARE HANDCRAFTED. DIMENSIONS MAY VARY PLUS OR MINUS 1/8"
- 3. ELECTRIC LIGHTS SUPPLIED WITH 18/2 WIRE WITH GROUND
- 4. GAS LIGHTS SUPPLIED WITH 1/2" COPPER GAS LINE AND 1/2" x 1/4" GAS LINE ADAPTOR

SIZE:	14"	16"	22"
A:	17 1/2"	19 1/2"	25 1/2"
B:	10 1/8"	10 1/8"	10 1/8"
C:	7 1/4"	7 1/4"	7 1/4"
E:	7 3/8"	7 3/8"	7 3/8"
F:	10 1/8"	12 1/8"	18 1/8"

BEVOLO GAS & ELECTRIC LIGHTS		DRW BY:	JJG
LIGHT:	WILLIAMSBURG W/ STACK 14", 16", 22"	DATE:	JJG
BRACKET:	FLUSH MOUNT	9-10-19	REVISION: 4

COPYRIGHT 2010, BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS & DESIGNS ARE OWNED BY BEVOLO AND REMAIN THE SOLE AND EXCLUSIVE PROPERTY OF BEVOLO GAS & ELECTRIC LIGHTS. DRAWINGS AND DESIGNS SHALL NOT BE DUPLICATED IN WHOLE OR PART.



SALES ORDER

ORDER DATE
5/25/2021

ORDER NO
Q-27405-1

BILL TO: James Reid
James Reid
93 State Street
Portsmouth, NH 03801

SHIP TO: James Reid
93 State Street
Portsmouth, NH 03801

Email: jim@reidpublications.com

Phone: 603-765-0977

Alt Phone:

Bevolo Recommendation: Yes - Size

P.O. No:

Op Name: 93 State- front and side

Sales Rep: Greg Nakama

Ship Via: UPS Ground

Estimated Ship Date: 7/20/2021

Item Code	Description	Price	Qty	Total
WM-22-FM-G-CU-NA	<u>Williamsburg 22" on Flush Mount in Gas (cannot be mounted to combustible surface)</u>	\$695.00	2	\$1390
--> CU	Copper Lantern			
--> NA	No Bracket	\$0.00	2	Incl.
--> U-TNG	Tip - Natural Gas	\$0.00	2	Incl.
--> U-WMS	Williamsburg Stack	\$0.00	2	Incl.
GOV-24-FM-G-CU-NA	<u>Governor 24" on Flush Mount in Gas (cannot be mounted to combustible surface)</u>	\$70.00	2	Incl.
		\$625.00	1	\$625
--> CU	Copper Lantern			
--> NA	No Bracket	\$0.00	1	Incl.
--> U-TNG	Tip - Natural Gas	\$0.00	1	Incl.
		\$0.00	1	Incl.

SUBTOTAL \$2,015.00
TAX \$0.00
SHIPPING \$298.93
GRAND TOTAL \$2,313.93
PAYMENTS/CREDITS APPLIED \$2,313.93
BALANCE DUE \$0.00

Once your items ship you will receive a tracking email. Please inspect all packages upon receipt. Any freight damages must be notated on the Bill of lading. Any small package shipments must be reported within 10 days of receipt. Bevolo does not recommend scheduling an installer until the packages have been thoroughly inspected. Bevolo does not supply mounting hardware for fixtures due to there being no universal screw for all of the different mounting surfaces. Your local hardware store or installer can recommend the best option for your installation. All returns will be subject to a 25% restocking fee. Returns are not permitted beyond 30 days nor after installation.

521 Conti Street, New Orleans, LA 70130 | (504) 522-9485 | www.bevolo.com



Gas Installation and User Guide

Detailed information located at
www.bevolo.com/instructions.

WARNING: Failure to follow these instructions could result in fire or electric shock, which could cause property damage, personal injury or death.

FOR YOUR SAFETY - FIRE / EXPLOSION HAZARD

If you smell gas:

- Shut off gas to the appliance.
- Open windows if indoors.
- Extinguish any open flame.
- If odor continues, immediately leave the area or building.
- As soon as you are in a safe area, call your gas supplier or fire department.
- Risk of fire or explosion. Gas products should ONLY be installed by a licensed plumber or installer.
- Installation must conform with all local codes or, in absence of local codes, to the National Fuel Gas Code ANSI Z223.1 (NFPA 54), Canadian Installation Code for Natural Gas CAN1-B149 or Canadian Installation Code for Propane CAN1-B149.2 (whichever is applicable)
- Always ensure the area in the vicinity of the fixture remains clear of combustible materials, especially gasoline, solvents, etc.
- Do not store or use gasoline or other flammable vapors and liquids in the vicinity of this or any other appliance.

REPLACEMENT PARTS AND PRODUCT SUPPORT

For replacement glass, parts or technical assistance, call (504) 522-9485 and ask for customer service or email gaslights@bevolo.com.

Model: _____

Serial Number: _____

Type of gas (circle one): Natural Gas Propane

Please retain this guide for future reference.

NOTE: *These are general guidelines which apply to most of our lanterns and brackets. Certain lanterns and brackets may require additional steps for proper installation. Contact Bevolo with any questions. Installations must always conform to local and national codes. Refer to www.bevolo.com/instructions for more details.*

- Gas fixtures are designed for outdoor installation only, unless purchased with our Automatic Safety Shut-Off System w/ Flame Sensor.
- Install fixtures at least 3" from combustible walls and 12" from combustible ceilings.
- Although fixture is equipped with a control valve, it is recommended that an additional shut-off valve (supplied by others) is installed upstream of fixture (required by code in many areas).
- Make sure all gas lines have been fully bled before attaching the gas line to fixture.
- If using LPG, contact your Propane supplier to provide proper low pressure regulator.

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1. After opening box, remove foam packing material to access your light and/or bracket.
Note: If your light comes with a bracket which is not attached to the lantern then it's located under packing material.
2. Removal of some glass panels from fixture may be necessary to ease installation of some lanterns.
3. Test fit location where lantern/bracket will be installed, confirm it is level, mark holes and ensure there is proper material/ support for the hardware to grab onto when installed.
4. **BRACKET MOUNTED ONLY:**

1. Secure bracket to wall or ceiling using proper mounting hardware (supplied by others).
Note: Bevolo cannot provide for every possible type of mounting surface. Therefore your installer should determine and provide proper hardware based on mounting surface.
2. Mount lantern to bracket.

FLUSH MOUNTED ONLY:

1. Secure lantern to wall or ceiling using proper mounting hardware (supplied by others). **Note:** Bevolo does not provide for all types of mounting surfaces. Installers must determine and provide appropriate hardware for the specific mounting surface.
1. Most bracket styles use the supplied 3/16"x1/4" compression fitting (zip-tied to jet assembly in light), to attach 3/16" copper tubing (from lantern) to 1/4" copper tubing (from gas source).
1. Yoke and gooseneck bracket mounted lanterns use the supplied 3/16"x3/16" compression fitting to connect lantern and bracket tubing together.
2. Post and column mounted lanterns use the supplied compression fitting to attach directly to a 1/4" copper tubing gas supply line.
1. Carefully replace any glass panes which were removed and press firmly down on clips to ensure glass is flush against copper legs.
2. Follow steps listed under "Lighting Your Gas Lantern". Then run the necessary LOW pressure test for leaks.

Note: Gas lanterns must be disconnected or isolated (upstream shutoff valve supplied by others closed) from the gas supply during any pressure testing of the system at test pressures in excess of 1/2 psi. Otherwise damage to valve assembly can occur.

1. Installers: Please leave this guide and other documents with homeowner.

LIGHTING YOUR GAS LANTERN

1. Turn brass valve in lantern to the off position (fully turned clockwise-horizontal) before turning on gas supply to lantern (upstream shutoff valve supplied by others).
2. Open door and wait approximately 5 minutes to allow fixture to air out.
3. **Outdoor Lanterns:**

With lighter/flame just above the porcelain burner tip, turn brass valve counter-clockwise approximately 1/8 turn until flame appears.

Indoor Lanterns:

Open valve 1/4 turn, then depress and hold down steel plunger above brass valve on the safety valve.

Put lighter/flame just above the porcelain burner tip until flame appears.

Wait 15 seconds after lighting, then release steel plunger.

1. Adjust flame to recommended height:
1. 1" to 1.5" for 21" and smaller fixtures
2. 1.5" to 2" for fixtures larger than 21"

Note: Do not operate fixture with gas valve fully open or flame height greater than 3". This may result in damage to your lantern due to excessive heat.

1. Close door and secure latch

GAS LANTERN SPECIFICATIONS FOR GAS USAGE

521 Conti Street, New Orleans, LA 70130 | (504) 522-9485 | www.bevolo.com

Maintenance & Cleaning for Copper Lanterns

TO PREVENT THE BURN MARKS AND DISCOLORATION OF THE COPPER:

- Avoid excessive flame heights
- For 21" lanterns and below, maintain a 1.5" flame height or less.
- For larger than 21" lanterns, maintain a 1.5" to 2" flame height.

CLEANING THE COPPER:

- Turn off the lantern for gas or electric. Let the fixture cool for about 15 minutes.
- **DO NOT** use any cleaning products on the copper. Some cleaning products can discolor the copper.
- Use a dry rag to dust them off or use a lightly damp towel with dish soap to clean the body of the fixture. Rinse all the soap off with fresh water when done.

***Note:** Bevolo does not recommend trying to undo or alter the copper's natural oxidation process. Copper and Brass cleaning products could lead to undesired results.

CLEANING THE GLASS:

- First turn off the fixture (for gas or electric). Let the fixture cool for about 15 minutes.
- Do not spray the glass directly with any product. Overspray could discolor the copper.
- Spray the towel with the glass cleaner and then apply to the glass. Allow the glass to dry completely before turning the light back on.
- The glass can also be removed from the fixture to be cleaned. Each pane is set in with tabs like the back of a picture frame.
- Remove each pane of glass, clean the glass with glass cleaner, wait until completely dry and then place the glass back into the fixture. Make sure the glass is flush against the copper and that the tabs are pressed firmly against the glass.

***Note:** If you remove the glass, the door and back panel are different sizes. Be sure to note which piece of glass was removed from which section.

BRACKET MAINTENANCE:

- Powder coated Steel Brackets:
 - Over time, the steel brackets will rust if not maintained.
 - When surface rust appears, use fine grit sand paper to remove the rust.
 - Coat the spot with a rust inhibitive primer and flat black paint such as Rust-Oleum #7776.
- Naval Brass:
 - **DO NOT** use any cleaning products on the lantern or bracket. Some cleaning products can discolor the copper and brass.
 - Use a dry rag to dust them off or use a lightly damp towel with dish soap to clean the body of the fixture. Rinse all the soap off with fresh water when done.

SALT WATER ENVIRONMENTS:

- Maintenance:
 - In salt water environments, it is important to rinse or clean the lights on a regular basis. Salt deposits can build up on the lights.
 - The hinges should periodically be oiled to slow the harsh effects of the salt.
- Brackets:
 - Naval Brass brackets are recommended for all salt air environments.
 - Naval Brass is a marine grade material that can handle a salt air environment and will not rust. It will age similarly to the copper.
 - Our standard powder coated steel brackets would require regular upkeep and maintenance in these environments.
- Copper Aging:
 - Copper will oxidize at an accelerated rate in a Salt Water environment.
 - It may change color several times, even appearing a reddish tint and/or flake for a time before achieving the full Verdigris. This is normal. The Verdigris or Patina is what protects the copper.

***Note:** Follow the regular cleaning instructions and give the lights a regular wipe-down with a rag wet with fresh water. The closer to the water, the more often you should clean the lights. Lights under a covered roof should be cleaned more often, because they will not get naturally rinsed with fresh water when it rains.

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- **Natural Gas**
 - **BTU Rating: 800-1200 BTU per hour**
 - **Minimum Working Pressure: 2" WC or 0.07 PSI**
 - **Recommended Working Pressure: 7" WC or 0.25 PSI**
 - **Maximum Working/Test Pressure: 13.7" WC or 0.5 PSI (*Isolate fixture before testing.*)**
- **Propane Gas**
 - **BTU Rating: 1200-1500 BTU per hour**
 - **Minimum Working Pressure: 2" WC or 0.07 PSI**
 - **Recommended Working Pressure: 11" WC or 0.4 PSI**
 - **Maximum Working/Test Pressure: 13.7" WC or 0.5 PSI (*Isolate fixture before testing.*)**

MAINTENANCE NOTES

These are general guidelines. Please refer to the detailed maintenance and cleaning information, located online at www.bevolo.com/instructions.

- This fixture is 100% handmade by coppersmiths. Therefore, small marks and discoloration are in the nature of the product.
- Ensure that no chemicals or corrosive liquids of any kind (bug spray, bleach, cleaners, etc.) are sprayed on or near the fixture.
- Fixture area must remain clear and free from combustible materials, gasoline and any other combustible liquids or vapors.
- Fixture should be free of any obstruction to ventilation.
- Regularly perform visual inspection of burner tip to ensure that ceramic tip is not broken and it is clear of obstructions. Flame should only be seen coming from end of gas tip.
- If your gas light occasionally burns out due to inclement weather, etc. follow the instructions for "Lighting Your Gas Lantern".
- Iron brackets may need rust inhibitor applied, periodically, depending upon the environment the fixtures are in.
- If on or near coastal areas (Salt Water Environment):
 - It is typical for lanterns to hyper oxidize to the point of flaking and turning red during the oxidation process before they reach a verdigris (green) stage.
 - Copper lanterns (and brass brackets) should be rinsed periodically (monthly), and hinges oiled (every 3 months), to delay the effects of the corrosive environment.
 - Stainless lanterns and brackets will require more stringent upkeep to prevent oxidation and rusting. Lantern/ bracket should be rinsed periodically (weekly), and washed (monthly) to prevent oxidation and rusting.

CLEANING GLASS, LANTERN & BRACKET

1. Prior to cleaning glass or lantern, turn lantern off and allow to cool for 15 minutes.
2. Glass panels and fixture body should only be cleaned with soapy water.
3. Wipe glass panels dry to remove water spots.
4. If glass cleaner is used, ensure it is ammonia free. Otherwise it will affect the patina of the lantern. Ideally, spray cleaner directly onto a towel to avoid overspray onto copper surface, which may cause discoloration.

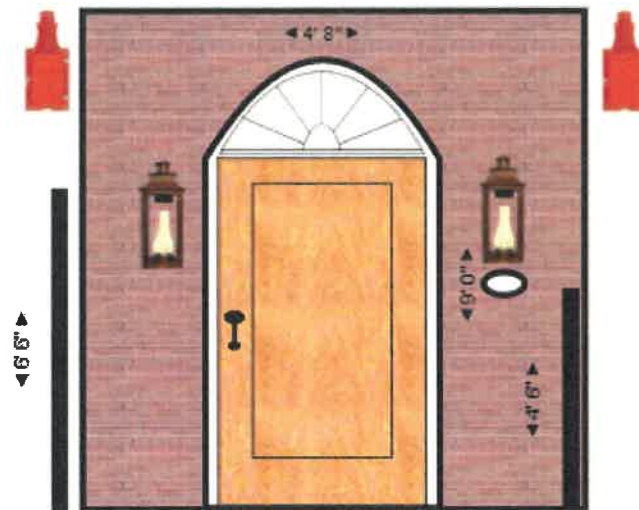
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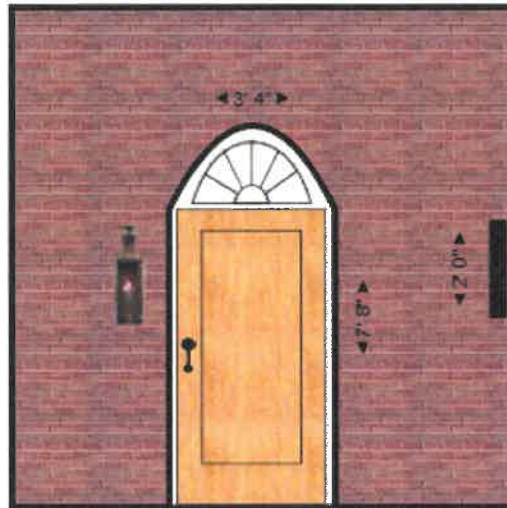
521 Conti Street, New Orleans, LA 70130 | (504) 522-9485 | www.bevolo.com



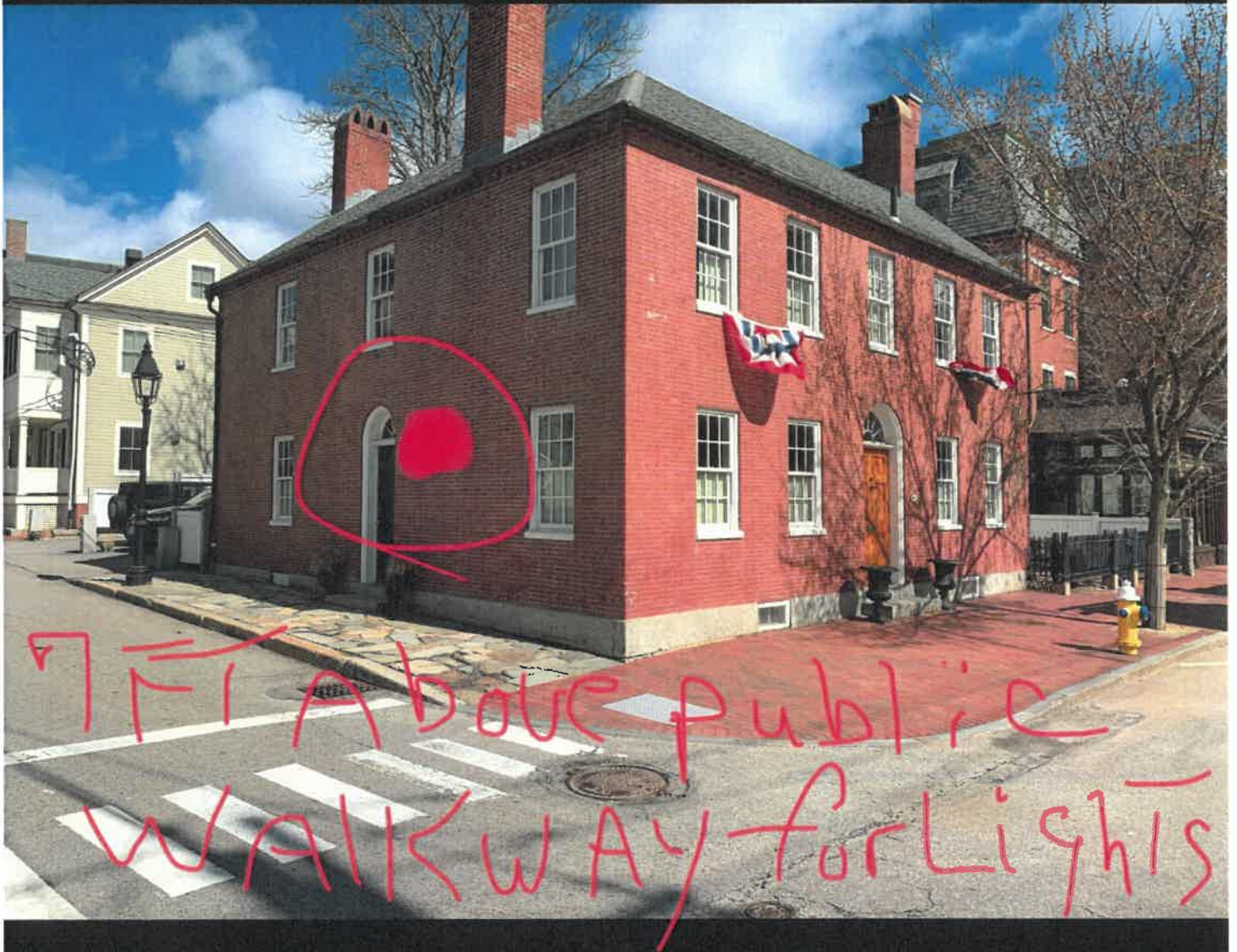












2. 14 Mechanic Street - Recommended Approval

Background: The applicant is seeking approval for modifications and changes to a previously approved design as well as approval for exterior lighting.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-378****Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** Aug 13, 2021**Applicant**

Joshua Butkus
kscannell@destefanomaugel.com
22 ladd st
portsmouth, NH 03801
2034000802

Location

14 MECHANIC ST
Portsmouth, NH 03801

Owner:

ROESE JOHN J REVOCABLE TRUST OF 2016 & ROESE JOHN JOSEPH
TRUSTEE
55 ELM ST EFFINGHAM, NH 03882

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

SEEKING APPROVAL FOR AS BUILT CONDITIONS AND MODIFICATIONS TO PREVIOUSLY APPROVED, ALONG WITH EXTERIOR LIGHTING
FIXTURES.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

JOSHUA

Business Name (if applicable)

DMA

Mailing Address (Street)

22 LADD ST

City/Town

PORTSMOUTH

State

NH

Zip Code

03801

Phone

2034000802

Email Address

jbutkus@destefanomaugel.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction**



AS BUILT NORTH ELEVATION



PROPOSED NORTH ELEVATION

COPELAND RESIDENCE
14 MECHANIC STREET
PORTSMOUTH, NH

NEWLY PROPOSED NORTH ELEVATION
1/8" = 1'-0"

SHEET 1 OF 5
AUGUST 13, 2021

201911

D|M|A
DESTEFANO
MAUGEL
ARCHITECTS

NEW 6 OVER 6 LIGHT PATTERN FOR
IMPROVED INTEGRATION OF NEW
ADDITION WITH EXISTING WINDOW
STYLE.



AS BUILT SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

COPELAND RESIDENCE
14 MECHANIC STREET
PORTSMOUTH, NH

NEWLY PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

SHEET **2** OF 5
AUGUST 13, 2021



© 2021

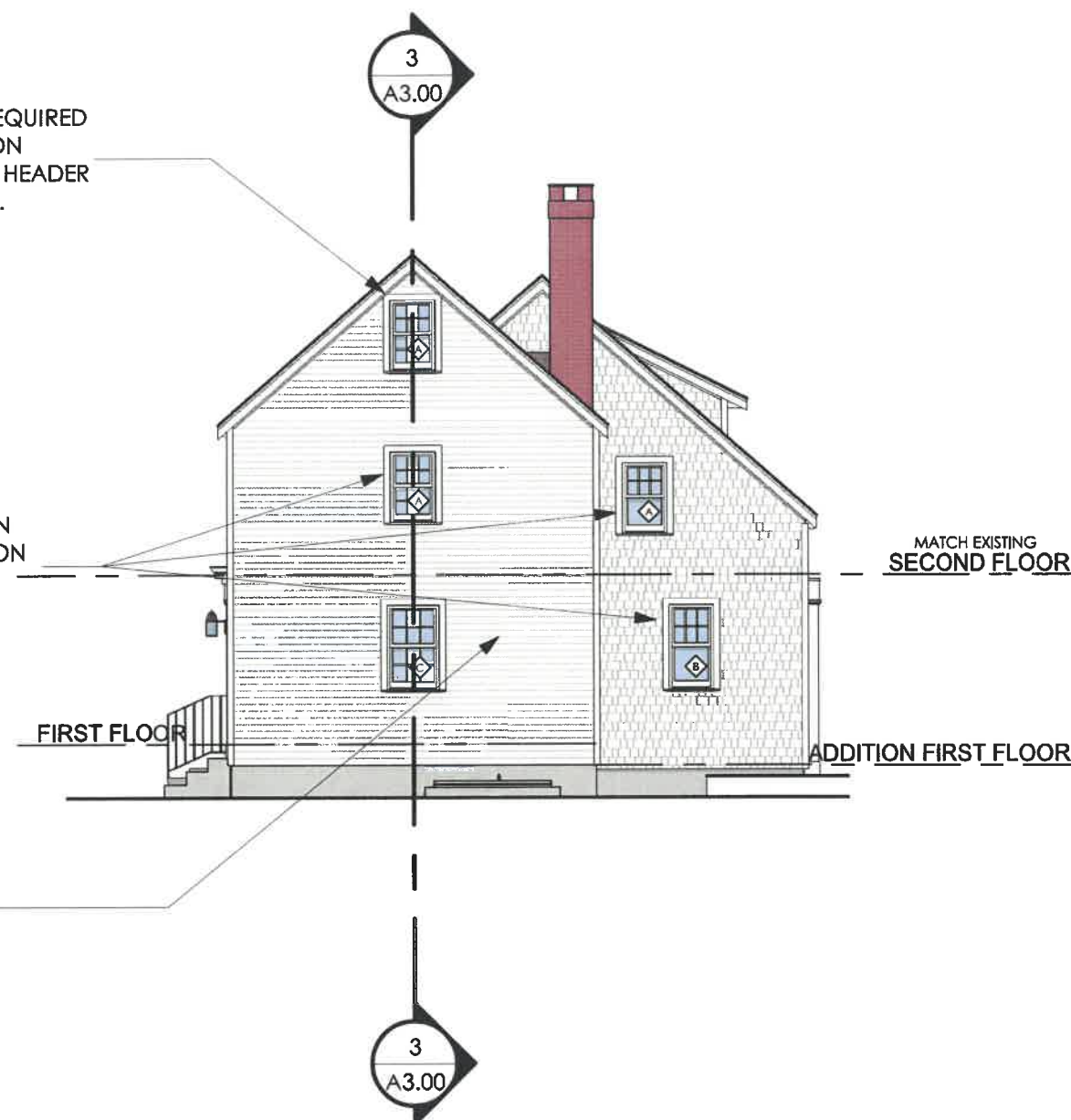


AS BUILT WEST ELEVATION

WINDOW SIZE REDUCTION REQUIRED
DUE TO FRAMING RESTRICTION
IMPOSED ON NEW WINDOW HEADER
BY NEW RIDGE BEAM ABOVE.

NEW 6 OVER 6 LIGHT PATTERN
FOR IMPROVED INTERGRATION
OF NEW ADDITION WITH
EXISTING WINDOW STYLE.

NEW LIGHTING LOCATION.
SEE SPECIFICATION SHEET



PROPOSED WEST ELEVATION

WRONG DOOR PROVIDED BY
MFG. NEW DOOR ON ORDER
FOR REPLACEMENT.



AS BUILT EAST ELEVATION



PROPOSED EAST ELEVATION

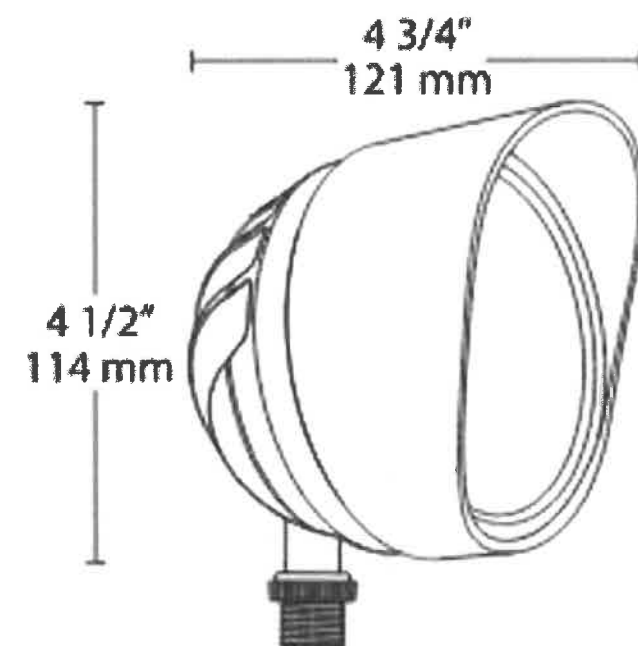


PILASTER OMMITED DUE TO
DOOR LOCATION AND
FRAMING CONSTRAINTS.

ENLARGED ELEVATION AT EAST ELEVATION SIDE ENTRY



BULLET12
Weight: 1.5 kg.



SIDE AND FRONT ENTRY FLOOD LIGHTING :
 TO BE LOCATED ON THE RIGHT SIDE OF THE SIDE ENTRY DOOR.
 TO BE LOCATED ON EITHER SIDE OF THE FRONT ENTRY DOOR.



22 Ladd Street, Portsmouth NH
603.431.8701
DestefanoMaugel.com

Response to Land Use Compliance Report for
14 Mechanic Street, Portsmouth, NH 03801
July 29, 2021

Building Permit(s)#: LU-20-30, LUHD-314, LUHD-147

Land Use Compliance Report, July 7, 2021

14 Mechanic Street
Portsmouth, NH 03801

April 14, 2021 Historic District Commission Administrative Approval – Sheet 1: Front Elev.

To be Completed:

1. Install thin brick veneer “to match look of chimney.”
Please Note: Brick veneer is also required for side and rear elevations.
2. Install standing seam copper roof over porch/entryway.
Please Note: Please see Sheet 5 of the March 4, 2020 Historic District Commission approval for appropriate copper roof specifications.

Alterations to the Approved Design:

3. Window casing details (e.g. mulled sill) omitted from (3x) 2nd floor 6-light windows.
 - a **Finished framing and siding did not allow for planned casing, simplified to panelized finish.**
4. (3x) 2nd floor window casings on the existing structure are flush with the eave return.
Please Note: Windows are shown located lower on the approved HDC drawings. If this is an illustrative error, please confirm windows are installed in their historic locations.
 - a **Illustrative error confirmed. Windows have been reinstalled in their existing historic locations.**

April 14, 2021 Historic District Commission Administrative Approval – Sheet 2: E. Elev.

To be Completed:

5. Install custom wood storm door.
6. Install granite step.
7. Install light fixture.

Please Note: Please see Sheet 3 of the June 2, 2021 Historic District Commission Administrative Application (pending approval) for appropriate lighting specifications.

Please Note: Please see stipulation 2 of the June 3, 2020 Historic District Commission Administrative Approval: "The front entryway lighting fixtures shall be mounted on blocks and incorporated into the clapboards."

8. Install custom sliding mahogany barn door.
9. Install painted cead 5 4x6 flat stock fascia to conceal barn door.

Please Note: Please see Sheet 6 of the March 4, 2020 Historic District Commission approval for appropriate eave at barn door specifications

10. Install cedar shakes on dormer return wall.

Alterations to the Approved Design.

- A. Omission of pilaster.
 - a Pilaster omitted due to framing restrictions of door placement which shifted the door location inward.
- B. Side entrance (6x) lights changed to vertical configuration.
 - a Wrong door provided by manufacturer, correct door on order, to be installed.

April 14, 2021 Historic District Commission Administrative Approval – Sheet 3: Proposed Storm Door at Entry To be Completed:

11. Install custom wood storm door.
12. Install entrance threshold sill.
13. Install (2x) light fixtures.

Please Note: Please see Sheet 3 of the June 2, 2021 Historic District Commission Administrative Application (pending approval) for appropriate lighting specifications.
14. Install hand railing.

Please Note: Please see Sheet 3 of the June 2, 2021 Historic District Commission Administrative Application (pending approval) for appropriate railing specifications (i.e. "Volute" style).
15. Install granite steps.
16. Install (2x) pilaster base details.

March 4, 2020 Historic District Commission Approval – Sheet 2: Proposed Site Plan

To be Completed:

17. Install fence.

18. Install 4' mechanical fence.
19. Install mechanical units (i.e. A/C unit, generator).
20. Removal of temporary utility meter once permanent utility connection is completed.

March 4, 2020 Historic District Commission Approval – Sheet 4: West Elevation

Alterations to the Approved Design:

- C. Light fixture added.
 - a To match previously approved. GC to provide spec for verification.
- D. 3rd floor window reduced in dimension.
 - a Required due to framing restriction imposed on new window header by new ridge beam.

Please Note: Approved drawings show this window matching dimensions with the 2nd floor window.

March 4, 2020 Historic District Commission Approval – Sheet 4: South Elevation To

be Completed:

21. Install cedar shakes.
22. Install iron wrought balcony rail system.

Please Note: Please see Sheet 3 of the June 2, 2021 Historic District Commission Administrative Application (pending approval) for appropriate railing specifications.
23. Install (2x) pilaster base details.
24. Install granite step.

Alterations to the Approved Design:

- E. (2x) light fixtures added.
 - a To match previously approved. GC to provide spec for verification.
- F. (2x) 2nd floor 6/1 light windows changed to 6/6 light windows (i.e. in recessed bay)
 - a Style altered to provide improved blend of old and new windows across the elevation.



22 Ladd Street, Portsmouth NH
603.431.8701
DestefanoMangel.com

March 4, 2020 Historic District Commission Approval – Sheet 5: Side Porch & Rear Porch

Details To be Completed:

- 25. Paint trim, fascia, columns.

March 4, 2020 Historic District Commission Approval – Sheet 7: Shed Elevations To

be Completed:

- 26. Install shed trim, siding, doors, windows, cedar shingles, etc.
- 27. Remove temporary shed roof and install pergola.

March 4, 2020 Historic District Commission Approval – Sheet L1: Landscaping Plan

To be Completed:

- 28. This scope of work is forthcoming.

3. 57 Salter Street, Unit #2 - Recommended Approval

Background: The applicant is seeking approval for the installation of lighting surrounding the front of the house.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



08/26/2021

LUHD-379**Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** Aug 16, 2021**Applicant**

Joe O'Neill
joe@oneilllandscaping.com
1247 Washington Rd
Ste 3B
Rye, New Hampshire 03870
6034308518

Location

57 SALTER ST Unit 2
Unit 2
Portsmouth, NH 03801

Owner:

POSTERNAK DANIEL & POSTERNAK KRISTIN
402 STATE ST 2A PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Install lighting around front of house 16 lights in total (upgrading existing system and reduce # of fixtures)

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

Landscape/Hardscape Contractor (foreman)

Full Name (First and Last)

Ryan Lindamood

Business Name (if applicable)

O'Neill Landscaping, Inc.

Mailing Address (Street)

1247 Washington Road, Unit 3B

City/Town

Rye

State

NH

Zip Code

03870

Phone

6034308518

Email Address

ryan@oneilllandscaping.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

57 Salter Street – Posternak Property

Description:

Install lighting around front of house 16 lights in total (upgrading existing system and reduce # of fixtures)

5 - "china cap" lights

- 1 on top of front wall
- 2 in walkway area on front entrance
- 2 on wall next to front door

11 - Up lights

- 3 on tree next to drive way to illuminate canopy structure
- 1 on gable end of front of house
- 4 along front of wall to illuminate wall (1 under thread leaf maple, 1 under magnolia to illuminate canopies)
- 3 on locust tree to illuminate canopy
- 1 new cast transformer to power lights

Lighting Cost: \$7,200.00

*** Please Note: Pink flags in photos below designate the lighting locations**





4. 21 Blossom Street

- Recommended Approval

Background: The applicant is seeking approval for the construction of (2) rear door awnings to be made of wood brackets and a composite material for the trim with a shingled roof (to match the existing shingles of the house).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



08/26/2021

LUHD-380

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Aug 17, 2021**Applicant**

Kathleen Logan
kathleenbogan@gmail.com
21 Blossom Street
Portsmouth, NH 03801
603-682-6023

Location

21 BLOSSOM ST
Portsmouth, NH 03801

Owner:

BEAUCHAMP KATHLEEN M & LOGAN KENT A
21 BLOSSOM ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Add 2 rear door awnings (one over rear kitchen door, the second over back garage door). The awning from the house will shed rain side-to-side. The awning from the garage will shed rain forward. The architect designs are simple and clean.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Arilda Densch

Business Name (if applicable)

--

Mailing Address (Street)

9 Adams Lane, Unit 2

City/Town

Kittery

State

ME

Zip Code

03904

Phone

207-604-6848

Email Address

arilda@comcast.net

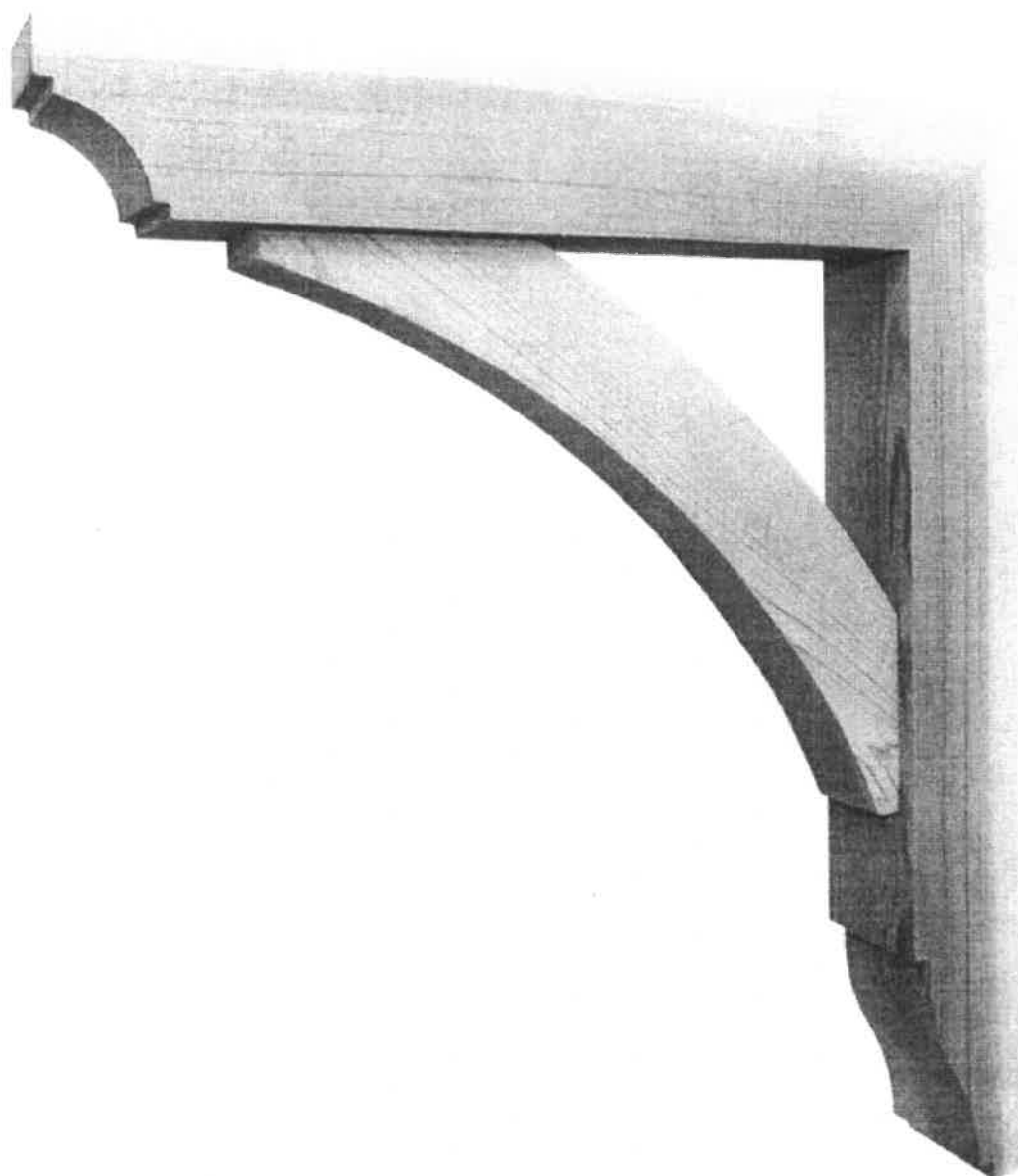
Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Search the store



HOME / WOODEN BRACKETS / WOOD BRACKET 02T1

22"



26"



PRODUCT LINE: Brackets - 02

PROJECTION: 22 in

HEIGHT: 26 in

THICKNESS: 3 1/2 in

BRACE THICKNESS: 2 1/2 in

BRACE SETTING: Recessed 1/2 in

BODY TIMBER: 3 1/2 in x 3 1/2 in

PRICE:

\$148.00

BRACKET FINISH: REQUIRED

SMOOTH

ROUGH SAWN

QUANTITY:

▼ 1 ▲

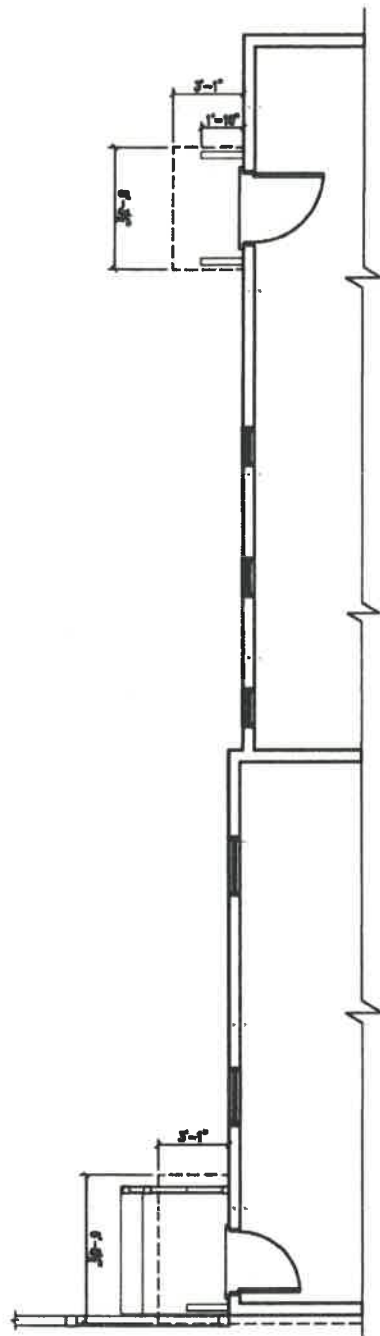
ADD TO CART

ADD TO WISH LIST

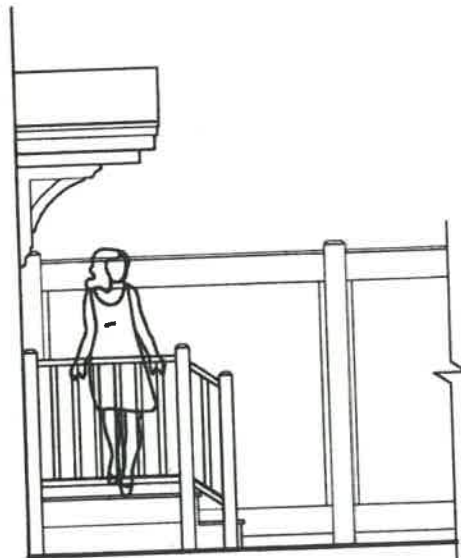
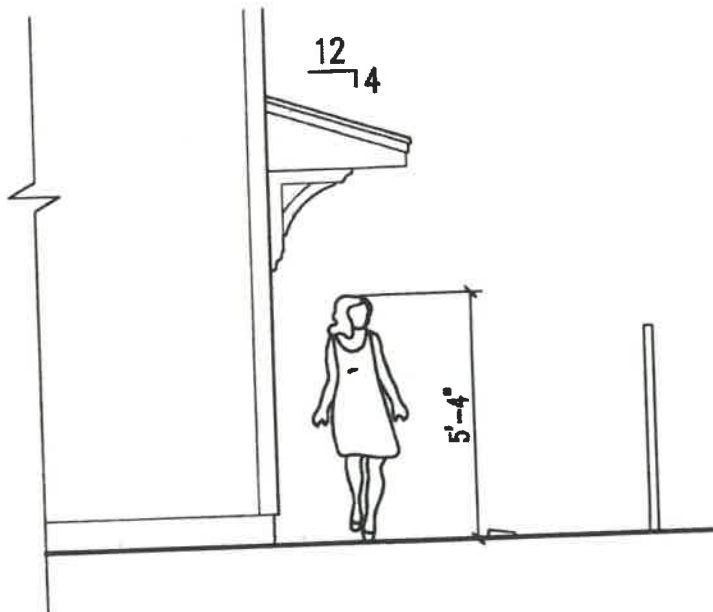


DESCRIPTION

Wooden Brackets are handcrafted of solid Western Red Cedar Timbers. Cedar timbers have unique natural colors, grains, tight knots and textures. All of our Cedar Brackets are built to last, joined with screws or bolts depending on the size of the bracket. To ensure a strong bond we also use a



<p>date: May 28, 2020</p> <p>scale: 1/8" = 1'-0"</p>	<p>Proposed Plan</p> <p>Rear Walkway & Steps</p>	<p>ARILDA DESIGN arilda@comcast.net / www.arilda.com 9 Adams Lane, Unit 2 Kittery, Maine 03904 207-604-6848</p>	<p>LOGAN RESIDENCE 21 BLOSSOM STREET PORTSMOUTH, NH 03801</p>
--	--	--	--



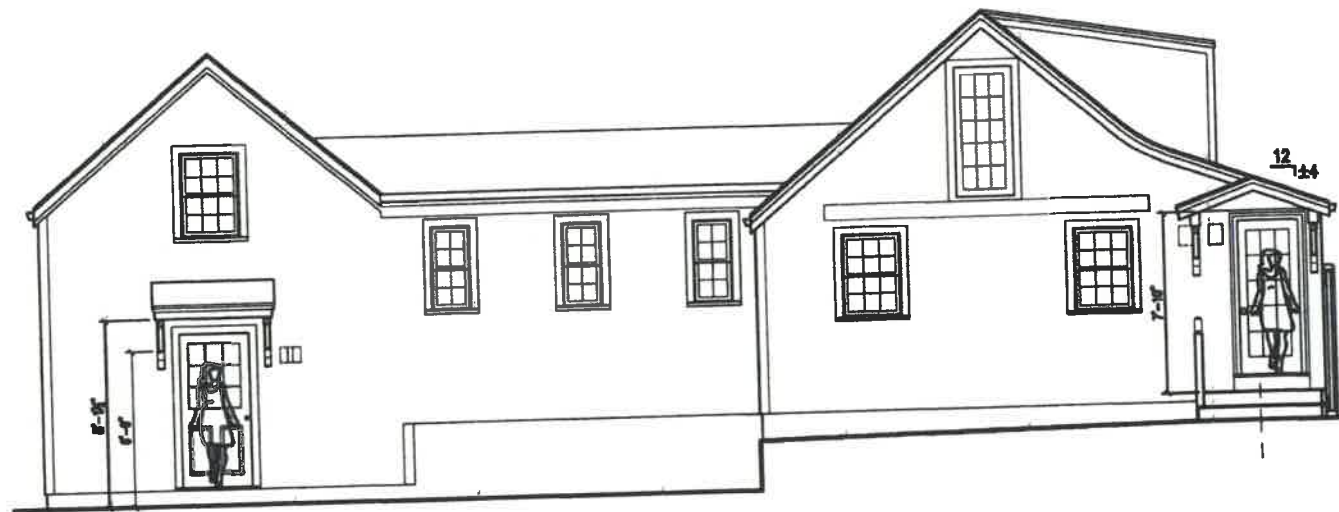
LOGAN RESIDENCE
21 BLOSSOM STREET
PORTSMOUTH, NH 03801

ARILDA DESIGN
arilda@comcast.net / www.arilda.com
9 Adams Lane, Unit 2
Kittery, Maine 03904
207-604-6848

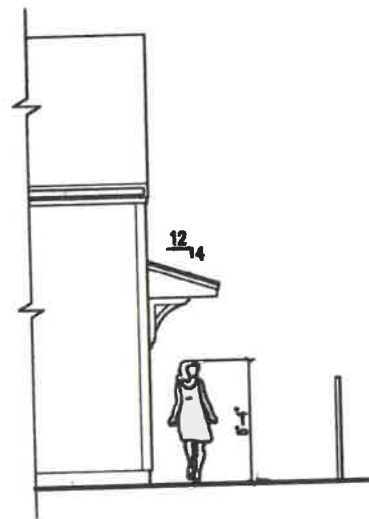
Proposed Elevations
Details

date: May 28, 2020

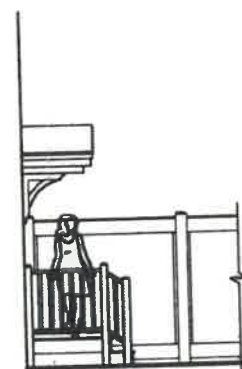
scale: 1/4" = 1'-0"



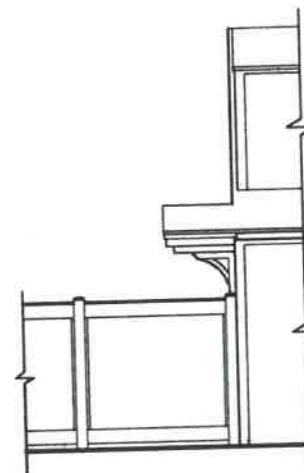
REAR A



GARAGE SIDE



INSIDE VIEW



KITCHEN SIDE

LOGAN RESIDENCE
21 BLOSSOM STREET
PORTSMOUTH, NH 03801

ARILDA DESIGN
arilda@comcast.net / www.arilda.com
9 Adams Lane, Unit 2
Kittery, Maine 03904
207-604-6848

Proposed Elevations
Rear & Partial Sides

date: May 28, 2020

scale: 1/8" = 1'-0"





5. 564 Middle Street - TBD

Background: The applicant is seeking approval for replacement windows- to match windows already approved for replacement.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



08/26/2021

LUHD-382**Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** Aug 24, 2021**Applicant**

john Durkin
jdurkin@burnsbryant.com
564 MIDDLE ST
Apartment, suite, unit, building, floor
PORTSMOUTH, NH 03801
6038284907

Location

564 MIDDLE ST
Portsmouth, NH 03801

Owner:

sue durkin
564 Middle St 564 MIDDLE ST Portsmouth, US 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Replacement windows for remaining windows with same product approved by HDC for other windows

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information**Owner Addressee Full Name and Title**

--

Owner Addressee Prefix and Last Name

--

Owner Organization / Business Name**Owner Contact Street Address**

John & Susan Durkin
564 Middle Street
Portsmouth, NH 03801
603-828-4907



We are submitting an application to replace the remaining windows that were not included in the earlier application. We would like to replace them with the same product approved for the other windows (Harvey Majesty, Black aluminum Clad Exterior, Simulated Divided Light). With the exception of the two side windows in the front bay, all windows will be 2 over 2. The two smaller side windows on the front bay will be 1/1.

In addition to the windows previously approved by the HDC, there will be a total of 8 replacement windows on the front, 5 on the rear, 7 on the south side, and 6 on the north side.

Pictures of house are attached. Windows intended for replacement are circled.

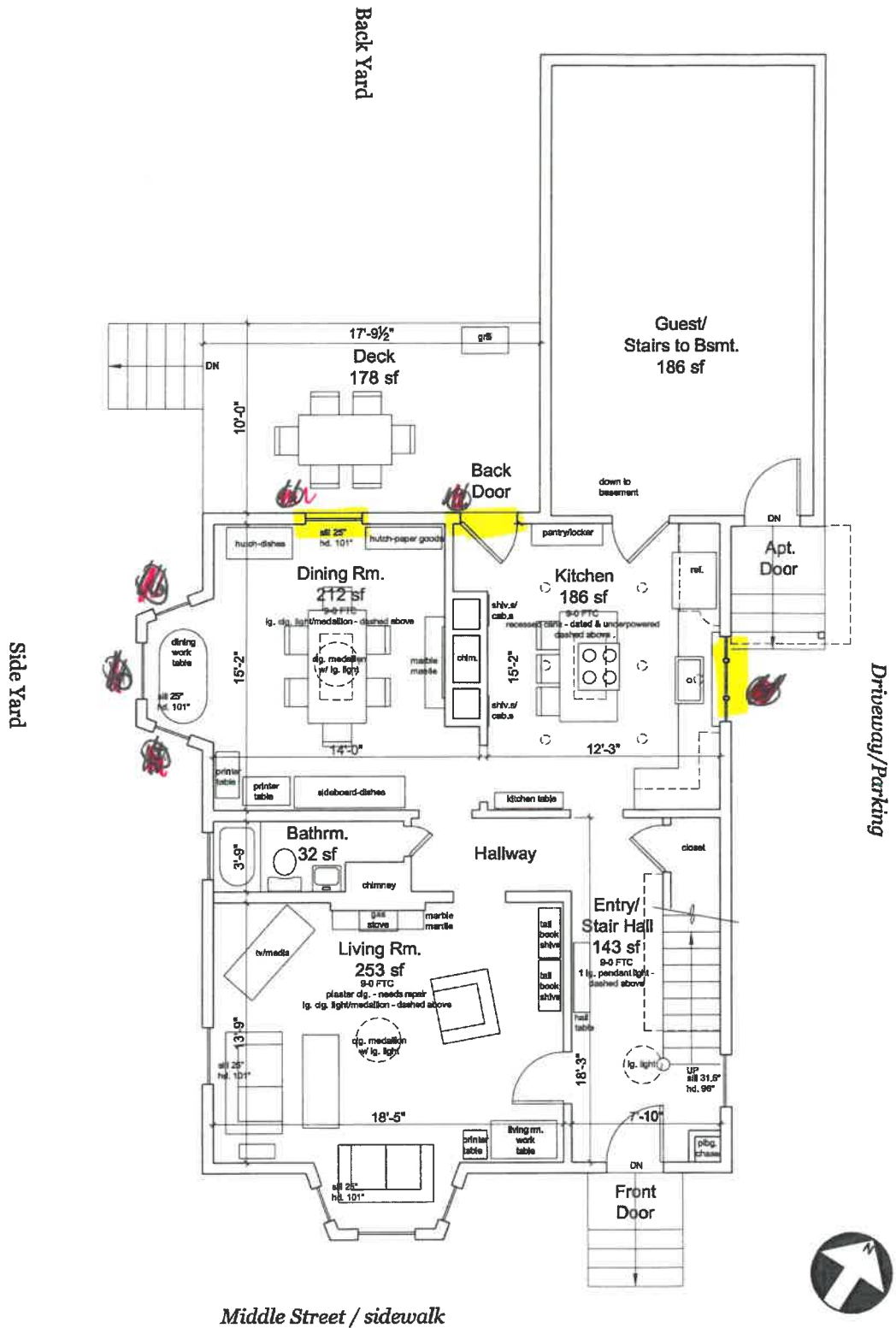
Existing plan and tax map are attached.

Harvey Brochure is attached

[Handwritten signature]
8/24/21

Existing Plan

SPACE ANALYSIS / ASSESSMENT
564 Middle St.
Portsmouth, NH
03801



564 MIDDLE STREET
Portsmouth, NH 03801
Space Analysis / Assessment
Owners: Susan & John Durkin

PROJECT OWNER

CONSULTANTS

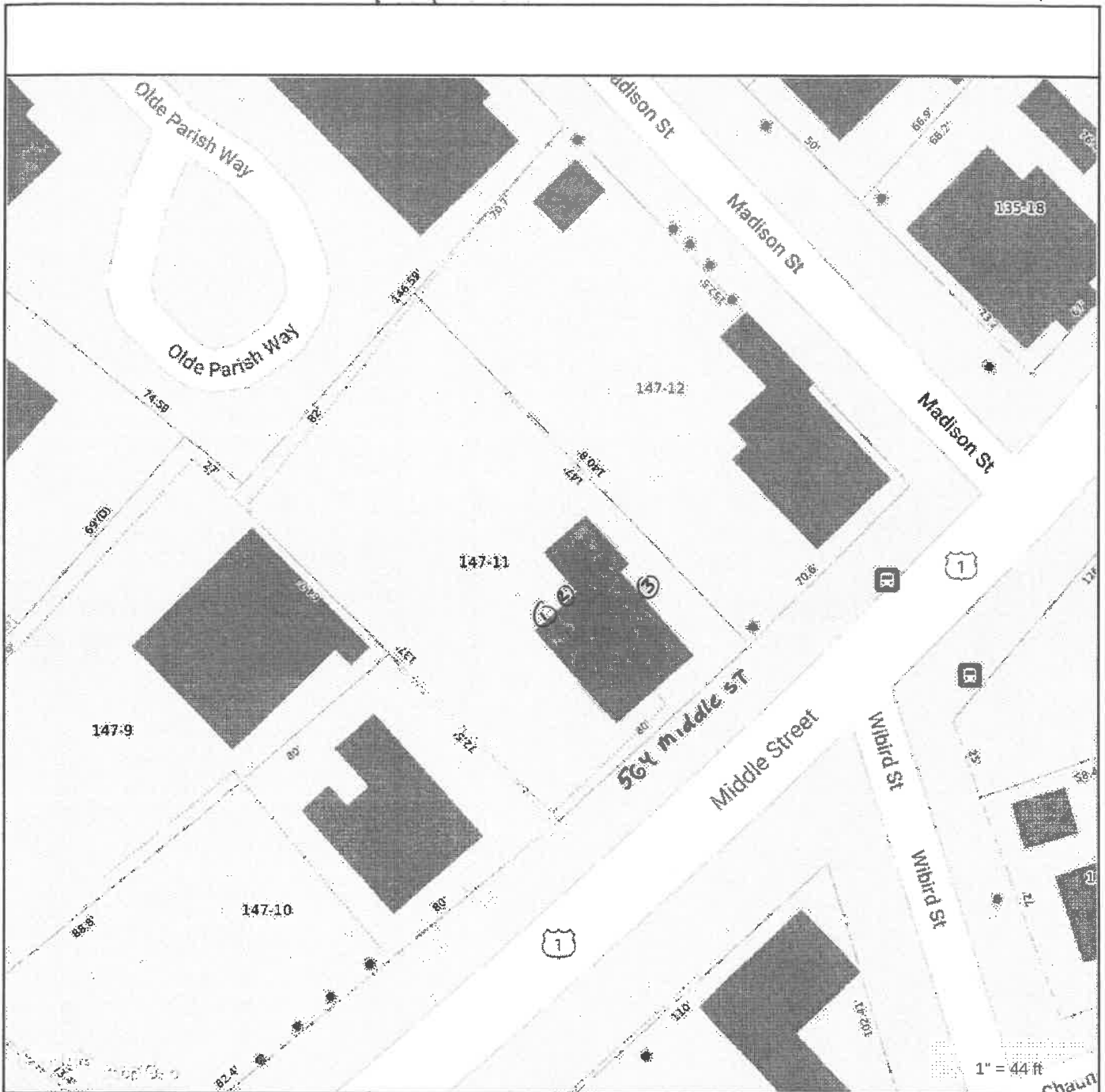
PORT CITY DESIGN
architecture
planning
interiors
603.312.1707
553 Middle Street
Portsmouth, NH
03801
portcitydesign.com

Ex1

Space Analysis / Assessment
564 Middle Street
Portsmouth, NH
03801

NOTES

DATE
2021.5.13



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019
Data updated 7/17/2019

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.



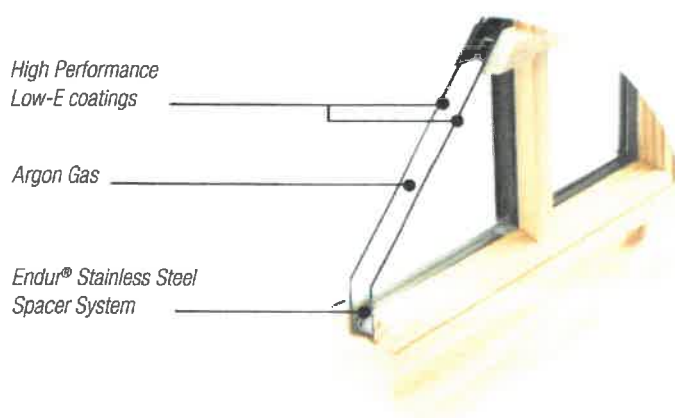
MAJESTY

Wood Windows and Patio Doors



The best components for the best performance.

In keeping with traditional wood windows, Majesty windows withstand the elements and operate smoothly for a lifetime. Made in the USA, Majesty combines its impressive energy efficient glazing with a well-built, durable aluminum clad wood frame and sash – manufactured by folks who have been making windows for more than 50 years. That level of expertise is what sets Majesty apart; the perfect combination of state-of-the-art engineering, energy-saving value, and stylish elegance.



MAJESTY PREMIUM GLASS

Majesty double hung windows come standard with our Premium glass, which incorporates two panes of glass, high-performance double Low-E coatings, stainless steel spacer system, and argon gas. This glass system meets the most stringent ENERGY STAR® requirements which will significantly enhance the comfort in your home and help save you money on your home energy costs.



SOLID PONDEROSA PINE

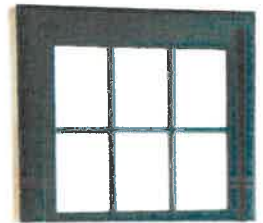
The wood components of Majesty products resist rot, degradation, splitting, warping, and mildew through a controlled treatment process that immerses Ponderosa Pine in a special preservative similar to high quality deck sealant applications.



Strong and straight grained Ponderosa pine with exceptional beauty and strength

ALUMINUM CLADDING

The extruded 0.050" wall thickness of the frame provides strength, while the 0.024" wall thickness of the sash allows the cladding to be precision molded to protect the window sash and patio door panels from exterior environmental conditions. The result is eye catching, beautiful bevels and the sought-after aesthetics of custom wood windows.



Aluminum Clad Exterior shown in Forest Green (See options page for additional colors)

An electrostatic paint process adheres paint evenly onto all surfaces, ensuring an extremely durable finish that resists fading.

WEATHERSEALS

Concerned about installing wood windows in your climate? Don't be! Majesty seals are designed to perform over a wide range of temperatures and weather conditions. A lightweight polypropylene stiffener additive, which does not absorb water or collect mold, creates an airtight seal that does not distort over time. The seal ensures a consistent barrier from external conditions and allows for smooth window and patio door operation.



Foam-Tite compression bulb seals provide maximum protection from air and water

An average of 300 inches of custom designed Foam-Tite® compression bulb seals encase the full perimeter of the sash of Majesty windows – similar to seals you see on dishwashers or refrigerators.



PVC Jamb Liner available in both White or Almond

PVC JAMB LINER

The rigid non-compression Jamb Liner adds strength, stability and reduces air infiltration, while its special beveled design allows the sash to open and tilt easily.

Products for every application



PICTURE WINDOW

Whether you're replacing an old window or installing a new one, Majesty picture wood windows can make a dramatic difference. If you are opening up a room to a spectacular view, picture windows are a great choice. When paired with Majesty awning windows, the combination optimizes visible light with ability to vent fresh air into the room.



AWNING WINDOW

When you need added ventilation, Majesty awning wood windows hinge at the top and open outward, allowing fresh air into the room while deflecting rain away from your property.

**HARDWARE
FEATURES**

*Recessed
Sash Lock*



**SASH LIFT
OPTIONS**

*Routed Top
Sash standard;
Bottom optional*



Hook



Loop

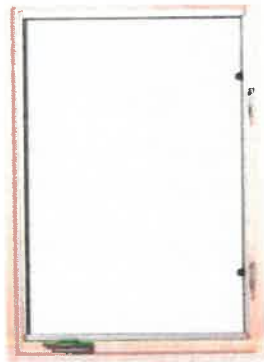


MAJESTY DOUBLE HUNG

Superb architectural details include a refined 45° glazing bead, overlapping grids, and elegant recessed hardware to provide a traditional and sleek look. Full weatherstripping around both sash prevents air infiltration and eliminates drafts. Caring for your Majesty double hung windows is a snap: both the top and bottom sash tilt in for easy cleaning.

**HARDWARE
FEATURES**

*Compact
Folding
Handle*



MAJESTY CASEMENT

An easy to open casement window is ideal over the kitchen sink, and casements are also favored in contemporary homes for their sleek, unobstructed expanses of glass. Full weatherstripping around the sash keeps your home comfortable, and the dual operating lock system keeps your home secure.

**HARDWARE
FEATURES**

*Recessed
Sash Lock*



MAJESTY GLIDING

The gliding window is an excellent choice for rooms facing walkways, porches or patios. Optimize fresh air and sunlight without compromising space or energy efficiency. Our gliding window features a recessed lock and routed operable sash to provide an enhanced view, a clean look, and a secure lock each time.



Window & Door Options

HARDWARE FINISHES

PREMIUM



STANDARD



EXTERIOR COLORS



INTERIOR WOOD OPTIONS



Warm, unfinished pine ready for you to stain or paint once installed.



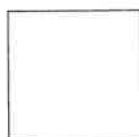
Professionally prefinished for no mess or hassle post-installation. 10 year warranty. Gliding window only available in factory primer.

Due to printing limitations, finishes and colors shown are for representation only. Patio door hardware also available in standard black, but not available in coppertone.

GRIDS

GRIDS BETWEEN GLASS

Sealed between the panes of glass, GBG is easy to clean.



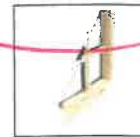
Contoured



Flat

SIMULATED DIVIDED LITES

The most authentic look of divided lites to complement traditional architecture



ADDITIONAL OPTIONS

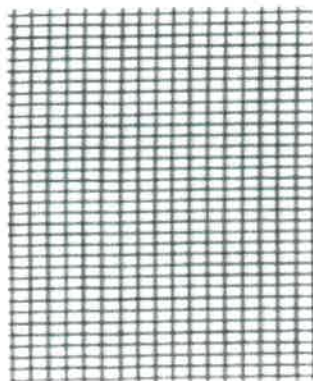
- Obscured glazing
- Tempered glazing
- Jamb line available in White or Almond

SCREEN OPTIONS*

- Extruded Aluminum Frame
- FlexScreen Frame
- Fiberglass Wire
- VIEWS Wire (premium)

INSTALLATION OPTIONS

- 4-9/16" jamb depth
- 6-9/16" factory applied ext. jamb option



Premium VIEWS (Virtually Invisible) Screens

Upgrade to GREENGUARD certified VIEWS screens to enjoy 15% greater openness providing 25% better airflow.

25% more optical clarity means you can focus on a crisper, brighter view.

*Screen options vary per operating style. Gliding available with roll form screen frame only.

THERMAL PERFORMANCE

For the most up to date structural and thermal performance values, as well as other product specifications, visit harveybp.com.

WINDOW	U-FACTOR	SHGC	VT	ENERGY STAR COMPLIANCE
Double Hung	0.27	0.29	0.51	North Central, Northern Zones
Picture	0.26	0.30	0.53	North Central, Northern Zones
Casement/Awning	0.26	0.22	0.38	All Zones

U-factor measures the rate of non-solar heat transfer from one side of the window to the other. Heat transfer implies both heat loss out of a living space during cold weather and non-solar heat gain during hot summer months. The lower the U-factor, the better the performance.

Solar Heat Gain Coefficient (SHGC) measures how well a product blocks heat from the sun. The lower the SHGC, the better a product is at blocking unwanted heat gain.

Visible Transmittance (VT) measures how much light comes through a product. The higher the VT, the more light that comes through.



ENERGY STAR: This package includes everything that is needed for a product to meet ENERGY STAR requirements. Glazing, gas, glass thickness, etc. will vary by window and usually includes Low-E coating and Argon gas. This glazing package *does* qualify for ENERGY STAR.

WINDOW	U-FACTOR	SHGC	VT	ENERGY STAR COMPLIANCE
Gliding Window	0.28	0.45	0.55	Northern Zones
Gliding Patio Door	0.29	0.32	0.54	North Central, Northern Zones
Out-swing Patio Door	0.29	0.36	0.43	North Central, Northern Zones
In-swing Patio Door	0.28	0.35	0.43	North Central, Northern Zones

ABOUT HARVEY BUILDING PRODUCTS

Harvey has built a solid reputation as a leading manufacturer and distributor of quality building products. A privately owned and operated business with over 50 years' experience, Harvey Building Products is known for outstanding craftsmanship and superior service as well as standing behind every product we make. In addition to manufacturing durable, attractive windows, doors and porch enclosures, Harvey distributes a full line of highly respected building products to professional contractors and builders throughout the Northeast.

Install Confidence.®



Harvey Building Products
1400 Main Street
Waltham, MA 02451-1623 USA
800-9HARVEY (800-942-7839)







North (2)







6. 126 State Street

- Recommended Approval

Background: The applicant is seeking approval for the replacement of masonry boards on the rear of the structure where 126 and 124 State Street structures abut, to satisfy fire code.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



08/26/2021

LUHD-384

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Aug 25, 2021**Applicant**

Laura Ludes
ludesl@comcast.net
PO Box 822
New Castle, NH 03854
603-498-4685

Location

126 STATE ST
Portsmouth, NH 03801

Owner:

126 STATE STREET CONDOS MASTERCARD
159 STRATHAM HEIGHTS RD STRATHAM, NH 03885

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Replace siding with masonry clapboards on the rear right section only of 126 State St. - the section which abuts 124 State St. - to satisfy fire code. See attached photo.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Brian Johnson

Business Name (If applicable)

--

Mailing Address (Street)

--

City/Town

--

State

--

Zip Code

--

Phone

978-270-6286

Email Address

president@126statestreet.org

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Brandon Seppa

Business Name (If applicable)

--

HardiePlank®

Thickness 5/16 in

Length 12 ft planks

SELECT CEDARMILL® & SMOOTH

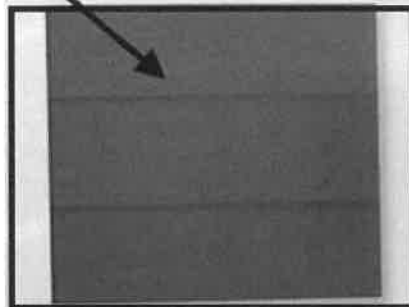
Width	5.25 in	6.25 in	7.25 in	8.25 in
Exposure	4 in	5 in	6 in	7 in
Prime Pcs/Pallet	360	308	252	230
ColorPlus Pcs/Pallet	324	280	252	210
Pcs/Sq	25.0	20.0	16.7	14.3

SELECT CEDARMILL®



Width	5.25 in	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™	✓	✓		
DREAM COLLECTION™	✓	✓	✓	✓
PRIME	✓	✓	✓	✓

SMOOTH



Width	5.25 in	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™	✓	✓		
DREAM COLLECTION™	✓	✓	✓	✓
PRIME	✓	✓	✓	✓



124 State Street

August 4, 2021

Submitted to:

Greg and Laura Ludes
124 State Street
Portsmouth, NH 03801

Job Location:

Ludes Residence
124 State Street
Portsmouth, NH 03801

Dear Ludes,

Nortech Systems (Nortech) is providing code consulting services to the Ludes, with respect to fire and life safety, for the reconstruction of 124 State Street. The building shall comply with applicable portions of the New Hampshire State Building Code (RSA 155-A) and the New Hampshire State Fire Code (Saf-C 6000). Specifically, work shall comply with the International Existing Building Code (IEBC-2015), the Fire Code (NFPA 1-2015) and the Life Safety Code (NFPA 101-2015).

The Level 3 alteration must comply with the provisions of IEBC-2015 Chapters 7, 8, and 9 for Level 1, 2, and 3 alterations, respectively. Per Section 801.3 in IEBC-2015, new work shall comply with the requirements of the International Building Code (IBC-2015).

Per Section 706.5 in IBC-2015, fire walls shall be continuous from exterior wall to exterior wall and extend not less than 18 inches beyond the exterior surface of exterior walls. The existing fire walls do not extend 18 inches beyond the exterior surface of the exterior walls. This is allowed if 124 State Street and the adjacent structures meet one of three exceptions (detailed in Section 706.5 of IBC-2015). The exterior walls of the above-mentioned buildings were originally comprised of brick. Thus, the original buildings complied with Section 706.5, Exception 2, in IBC-2015. One of the adjacent structures has been expanded with combustible construction. As a result, none of the exceptions detailed in Section 706.5 apply to 124 State Street and the adjacent combustible structure.

Per Section 706.5, Exception 2, in IBC-2015, fire walls shall be permitted to terminate at the interior surface of noncombustible exterior sheathing, exterior siding, or other noncombustible exterior finishes provided the sheathing, siding or other exterior noncombustible finish extends a horizontal distance of not less than 4 feet on both sides of the fire wall. The Ludes propose to work with the owner of the adjacent property to replace, at a minimum, the first 4 feet of combustible siding (measured horizontally from the side of the firewall) with noncombustible siding (e.g., a non-combustible James Hardie product). The proposed solution complies with Section 706.5, Exception 2, in IBC-2015. It allows the firewall to terminate at the exterior surface of the exterior walls.

Per Section 24.3.5.1 in NFPA 101-2015 and Section 903.2.8 in IBC-2015, the four-story, residential building is required to be equipped with an automatic sprinkler system that complies with the Standard for the Installation of Sprinkler Systems in Low-Rise Residential Occupancies (NFPA 13R-2013). The Ludes propose to protect 124 State Street with a new NFPA 13R sprinkler system, in accordance with applicable codes.

Respectfully Submitted,
Nortech Systems



Mark R. Richards, PE
Fire Protection Engineer



7. 135 Congress Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of mechanical equipment (HVAC condenser).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



08/26/2021

LUHD-386

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Aug 26, 2021**Applicant**

Ben Auger
ben@augerbuildingcompany.com
255 Portsmouth Avenue
Greenland, NH 03840
603-430-9004 ext. 202

Location

135 CONGRESS ST Unit 145
Unit 145
Portsmouth, NH 03801

Owner:

BLUESTONE PROPERTIES OF RYE LLC
PO BOX 300 RYE, NH 03870-0300

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Install condenser unit in dumpster area, to be hidden behind gate.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

Contractor

Full Name (First and Last)

Benjamin Auger

Business Name (if applicable)

Auger Building Company

Mailing Address (Street)

255 Portsmouth Ave.

City/Town

Greenland

State

NH

Zip Code

03840

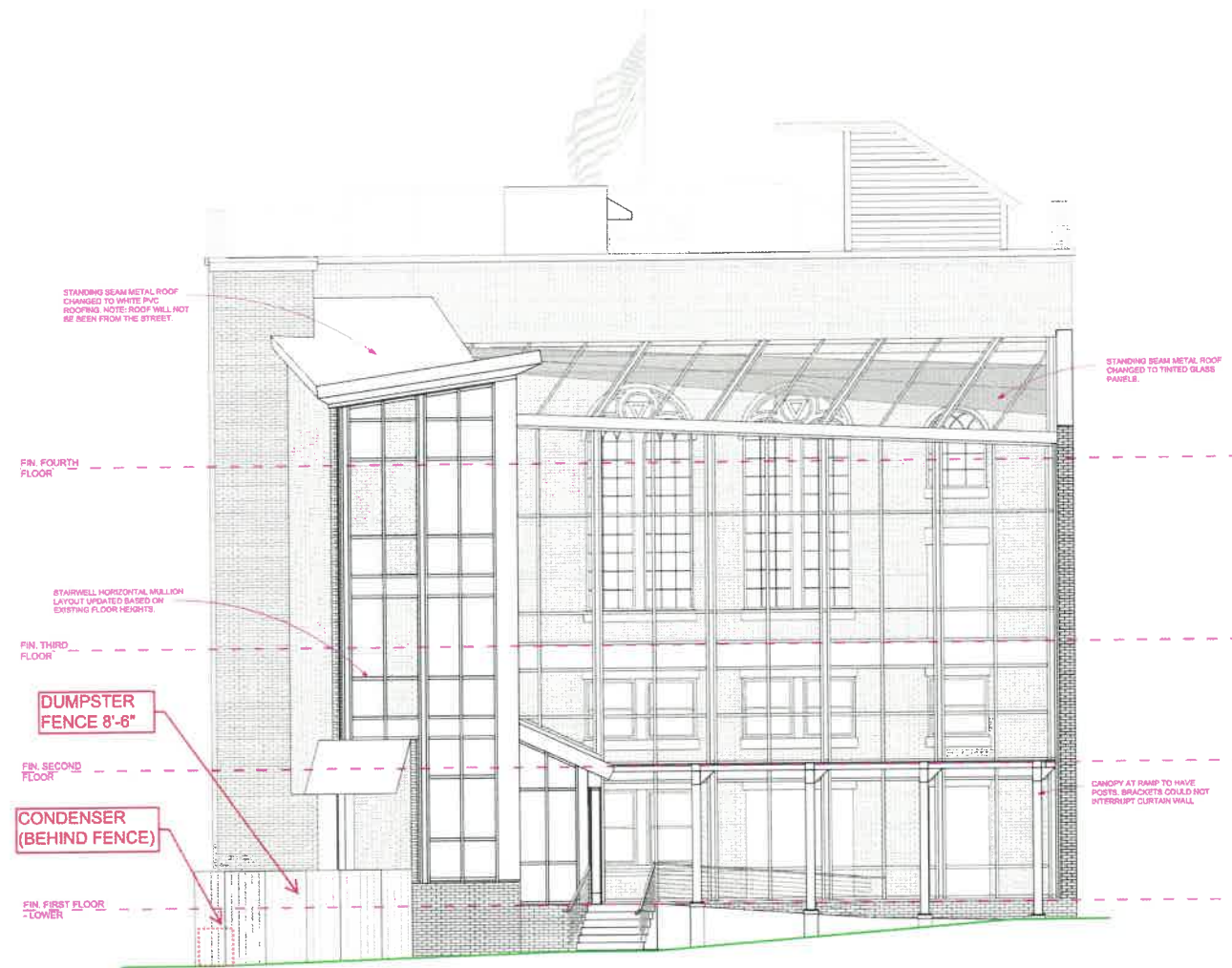
Phone

6034309004

Email Address

ben@augerbuildingcompany.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**



STANDING BEAM METAL ROOF
CHANGED TO WHITE PVC
ROOFING NOTE: ROOF WILL NOT
BE SEEN FROM THE STREET

FIN. FOURTH
FLOOR

STAIRWELL HORIZONTAL MULLION
LAYOUT UPDATED BASED ON
EXISTING FLOOR HEIGHTS

FIN. THIRD
FLOOR

DUMPSTER
FENCE 8'-6"

FIN. SECOND
FLOOR

CONDENSER
(BEHIND FENCE)

FIN. FIRST FLOOR
-TOWER

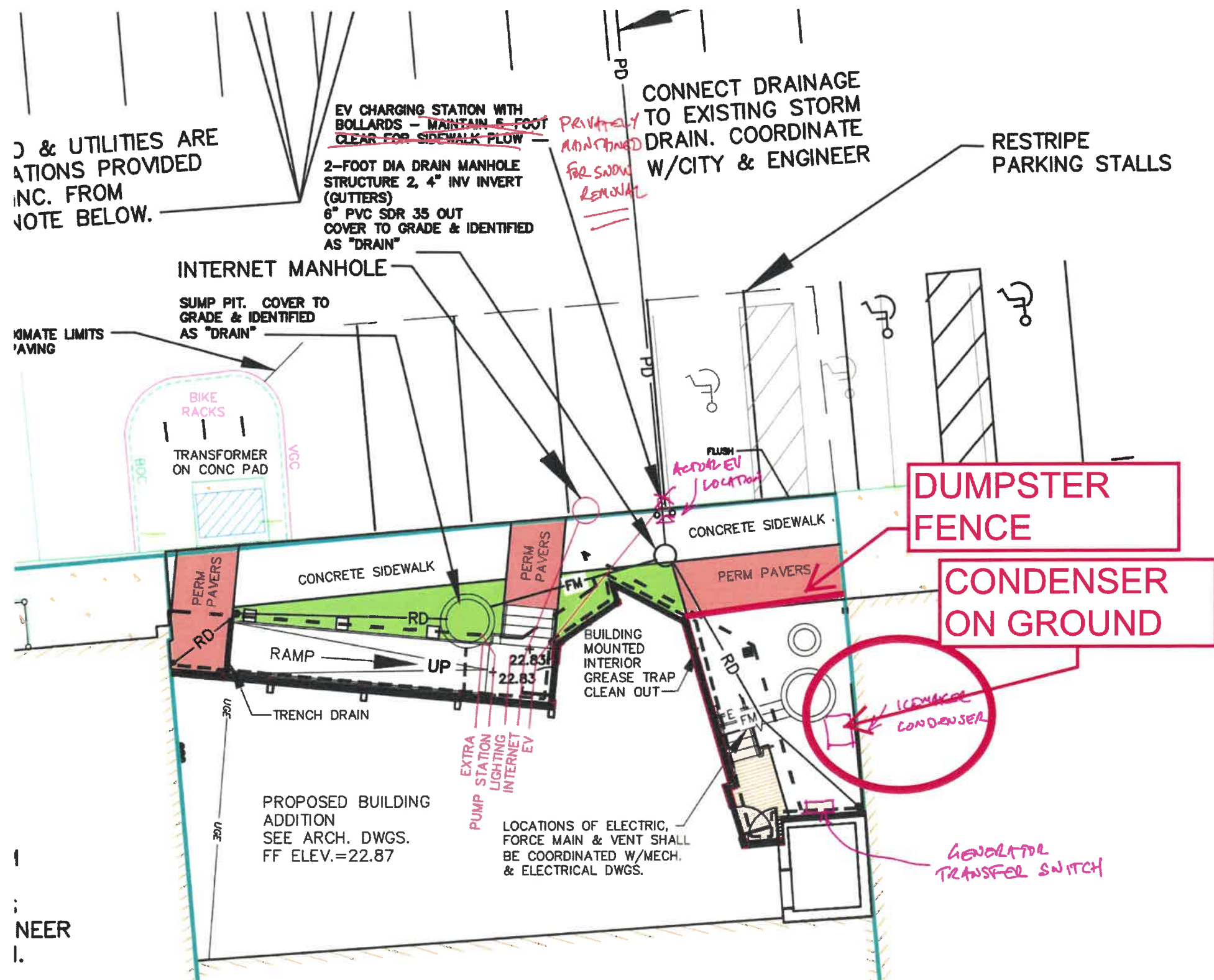
STANDING BEAM METAL ROOF
CHANGED TO TINTED GLASS
PANELS

CANOPY AT RAMP TO HAVE
POSTS. BRACKETS COULD NOT
INTERFERE CURTAIN WALL

ANDREW SIDFORD
ARCHITECTS
41 Main Street, Portsmouth, NH 02870
603.462.1637 www.andrewsidford.com

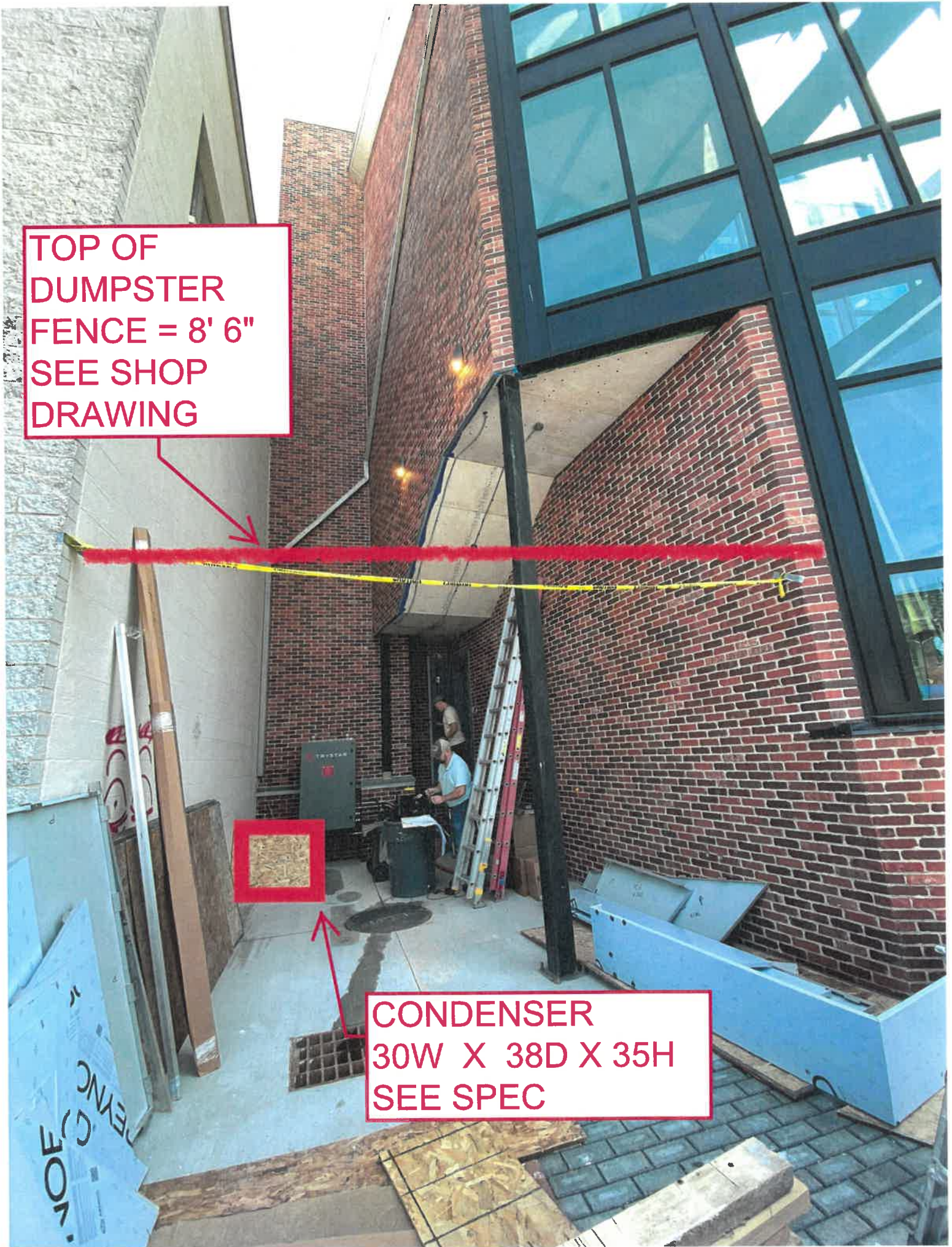


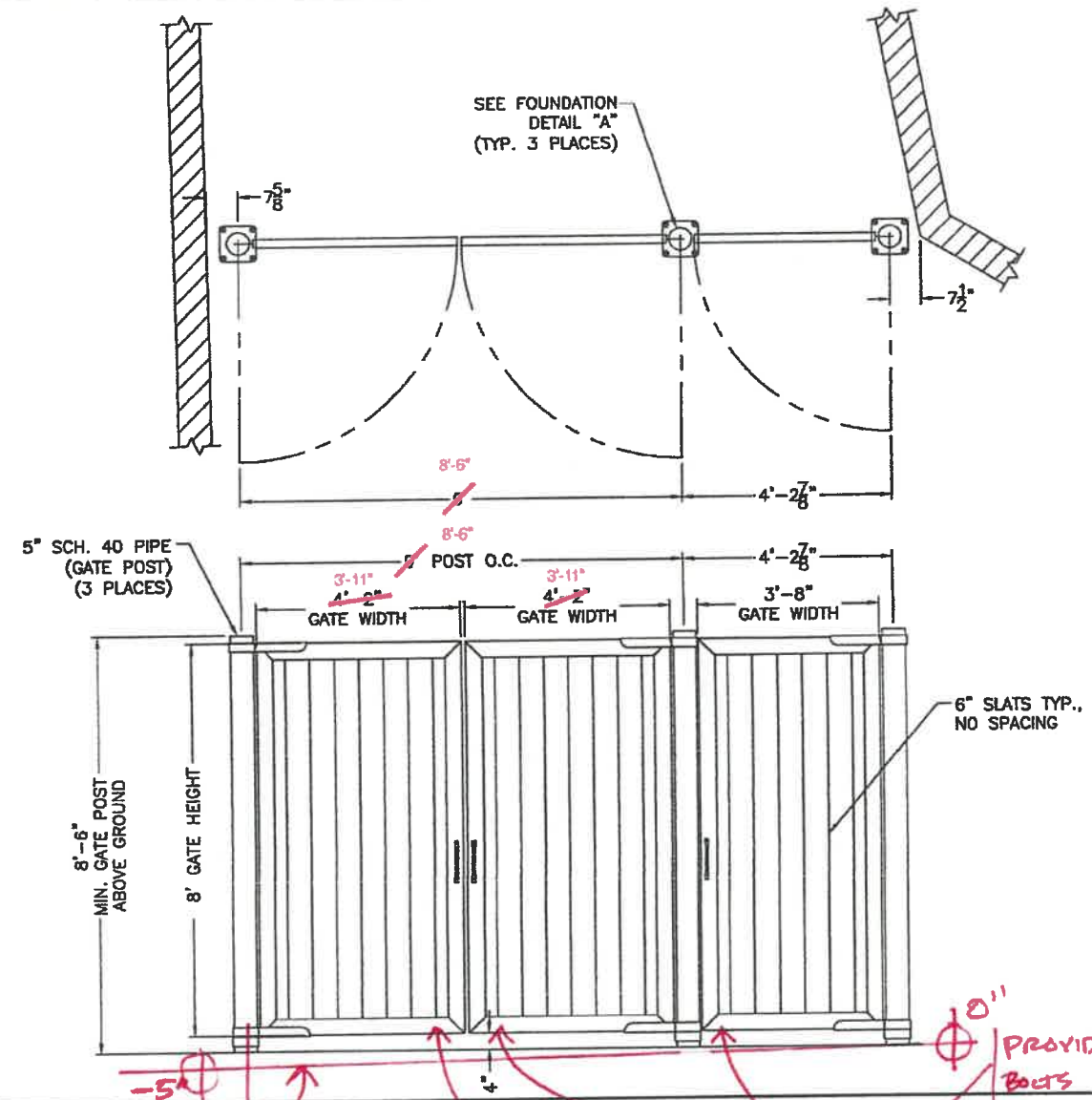
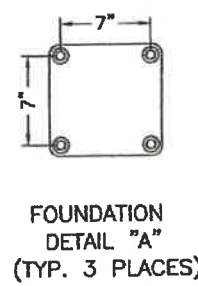
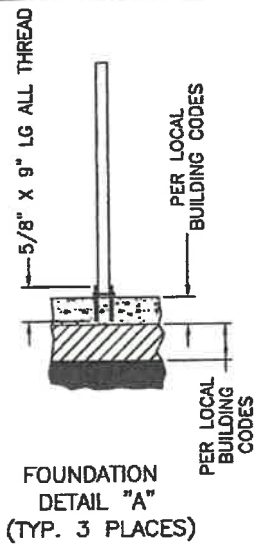
VICA BUILDING
150 CONGRESS STREET
PORTSMOUTH, NH
DRAWING TITLE: PROPOSED NORTH-REAR ELEVATION
DATE: 10/15/2019
DRAWING SCALE: 1/8" = 1'-0"
A-203



TOP OF
DUMPSTER
FENCE = 8' 6"
SEE SHOP
DRAWING

CONDENSER
30W X 38D X 35H
SEE SPEC





GRADE
SLOPES -5"

PROVIDE DROP
BOLTS FOR
ALL GATES

PROJECT DESCRIPTION		REVISION REF # AND DATE		SCALE	
CONVERT SCREEN				RHS	
PAGE DESCRIPTION				SHEET	
CLIENT: PLANT LAYOUT AND GATE ELEVATION				DRAWN BY: CF	
CLIENT: AUGER BUILDING COMPANY INC				CHECKED BY:	
ADDRESS: 255 PORTSMOUTH AVE				DATE FILED: 7/16/21	
CITY: PORTSMOUTH				DATE CREATED:	
STATE: NH				DWG FILE #	
ZIP: 03051				PART #	
135 CONGRESS ST					



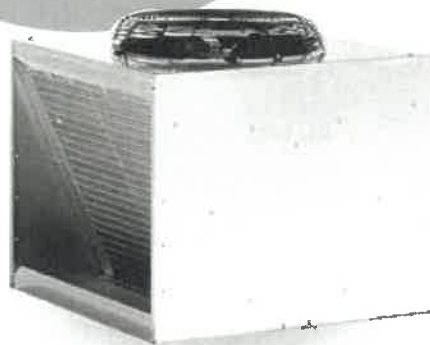
Scotsman®

ERC and PR Series Remote Condensers

Air Cooled Remote Condensers

Features

- Operate in wide outdoor temperature range from -20°F to 120°F.
- Single or double circuit for single or double unit installations.
- Heavy gauge galvanized steel for corrosion resistance.
- Thermally protected fan motors.
- PVC coated steel fan guards.
- Direct drive fan blades.
- Maximizes ice production by dissipating heat away from ice machine.
- Minimizes air conditioning load.



ERC311



PRC241

ERC and PR Remote Condensers



Line Sets

Choice of insulated, refrigerant line sets. Brazing required. Available in 10ft, 25ft, 40ft and 75ft lines. Please consult ice machine users manual for installation guidelines.



Certification



Warranty

- 3 years parts and labor on all components.
- Warranty valid in North, South & Central America for commercial installations.
- Contact factory for warranty in other regions.
- Residential Applications: 1 year parts and labor

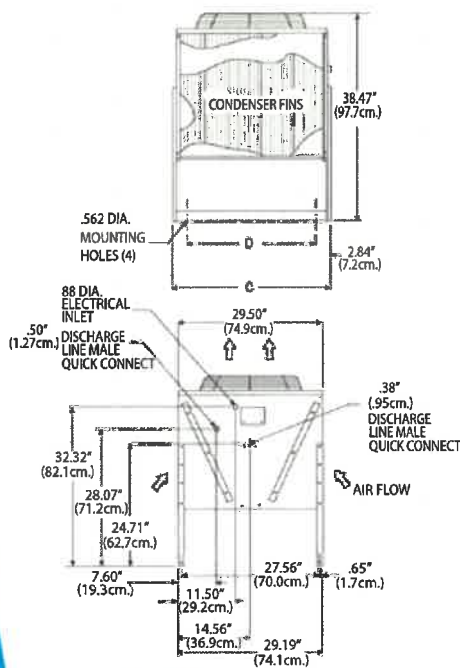
Scotsman®

• 101 Corporate Woods Parkway, Vernon Hills, IL 60061 •
• 1-800-SCOTSMAN • Fax: 847-913-9844 • www.scotsman-ice.com • customer.relations@scotsman-ice.com •

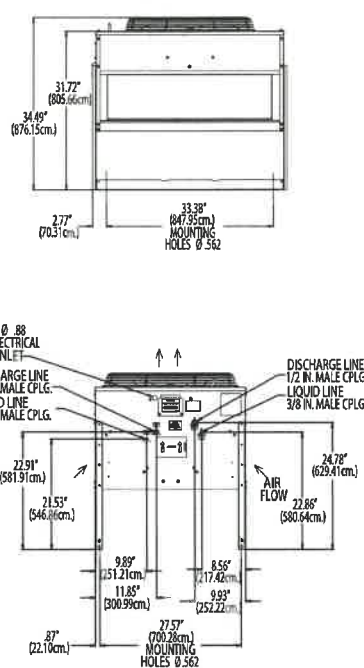
ERC and PR Series Remote Condensers

Air Cooled Remote Condensers

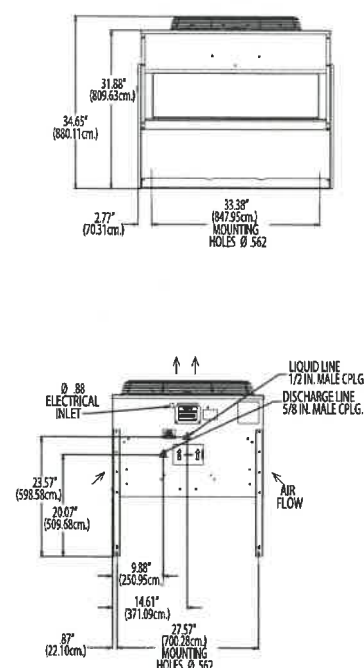
ERC Series



PR2C240



PRC241



Operating Requirements: Electrical Voltage Min. -10% Max. +10%



Specifications

ERC Series

Model Number	C Overall Length	D Mounting Hole Spacing	Basic Electrical Volts/Hz/Phase	Circuit Wires	Min. Circuit Ampacity	Contains Headmaster?	Shipping Weight lb/kg	Shipping Carton W x D x H
ERC111-1	29.125"	23.54"	115/60/1	2	3.4	Yes	95/43	32" x 31" x 34" (81.3 x 78.7 x 86.4 cm)
ERC311-32	29.125"	23.54"	208-230/60/1	2	1.25	Yes	130/59	32" x 34" x 34" (81.3 x 86.4 x 86.4 cm)
ERC611-32	37.75"	32.16"	208-230/60/1	2	3.8	Yes	140/64	31" x 33" x 39" (78.7 x 83.8 x 99.1 cm)

Note: All units have a galvanized finish, are 29.5" wide and 38.5" high with legs. These units are designed to be powered by the ice machine they are connected to. The minimum circuit ampacity and maximum fuse size of the ice machine includes the requirements of the remote condenser. All but the ERC611 have 1/2" discharge and 3/8" liquid line connections. The ERC611 has a 5/8" discharge line connection.



Specifications

PR Series

Model Number	Overall Length	Mounting Hole Spacing	Basic Electrical Volts/Hz/Phase	Circuit Wires	Min. Circuit Ampacity	Contains Headmaster?	Shipping Weight lb/kg	Shipping Carton W x D x H
PR2C240-32	38.91"	33.38"	208-230/60/1	2	1.9	No	135/61	30" x 38" x 35" (76.2 x 96.5 x 88.9 cm)
PRC241-32	38.91"	33.38"	208-230/60/1	2	1.9	Yes	135/61	30" x 38" x 35" (76.2 x 96.5 x 88.9 cm)

Note: This unit has a galvanized finish, is 23.8125" wide and has adjustable height legs. Heights are 12", 18" and 24". Total height with legs is 29.25" or 35.25" or 41.25". This unit is designed to be powered by the ice machine it is connected to. The minimum circuit ampacity and maximum fuse size of the ice machine includes the requirements of the remote condenser.



Accessories

- BRTE10 - 10ft (3.0 m) line set, brazing required
- BRTE25 - 25ft (7.6 m) line set, brazing required
- BRTE40 - 40ft (12.2 m) line set, brazing required
- BRTE75 - 75ft (22.9 m) line set, brazing required
- KTE4 - Tube end kit - contains 4 quick connect fittings for any RTE line set
- BRTEL25 - 25ft (7.6m) line set, brazing required. Use with C2648 remote cooled units.
- BRTEL40 - 40ft (12.2m) line set, brazing required. Use with C2648 remote cooled units.
- BRTEL75 - 75ft (22.9m) line set, brazing required. Use with C2648 remote cooled units.
- KTEL4 - Tube end kit - contains 4 quick connect fittings for RTEL tubing.
- KERCF - Air filter for ERC111 or ERC311.

8. 60 Penhallow Street - TBD

Background: The applicant is seeking approval for modifications to a previously approved design

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

60 PENHALLOW STREET

AT

BRICK MARKET

HDC REVISION 3 - AUGUST 25, 2021

HDC JUNE 2021 SHEET LIST	
Sheet Number	Sheet Name
H1.1	COVER
H1.2	FIRST FLOOR PLAN
H1.3	ROOF PLAN
H2.1A	NORTH ELEVATION (DANIEL ST) PREVIOUS
H2.1B	NORTH ELEVATION (DANIEL ST) PROPOSED
H2.2A	EAST ELEVATION (PENHALLOW ST) PREVIOUS
H2.2B	EAST ELEVATION (PENHALLOW ST) PROPOSED
H2.3A	SOUTH ELEVATION (SOUTH ALLEY) PREVIOUS
H2.3B	SOUTH ELEVATION (SOUTH ALLEY) PROPOSED
H2.4A	WEST ELEVATION (WEST ALLEY) PREVIOUS
H2.4B	WEST ELEVATION (WEST ALLEY) PROPOSED
H3.1	DANIEL STREET GUARDRAIL
H4.1	CHIMNEY PLAN & ELEVATIONS
H4.2	CHIMNEY 3D VIEWS
H4.3	CHIMNEY DETAILS
H5.1	GAS METERS AT GARAGE ENTRY
H6.1	ENTRY DOOR CUT SHEET
H6.2	LOUVER CUT SHEET
H6.3	ACC, FIREPLACE EXHAUST, PRODEMA
H6.4	PRODEMA EXPOSED FASTENERS



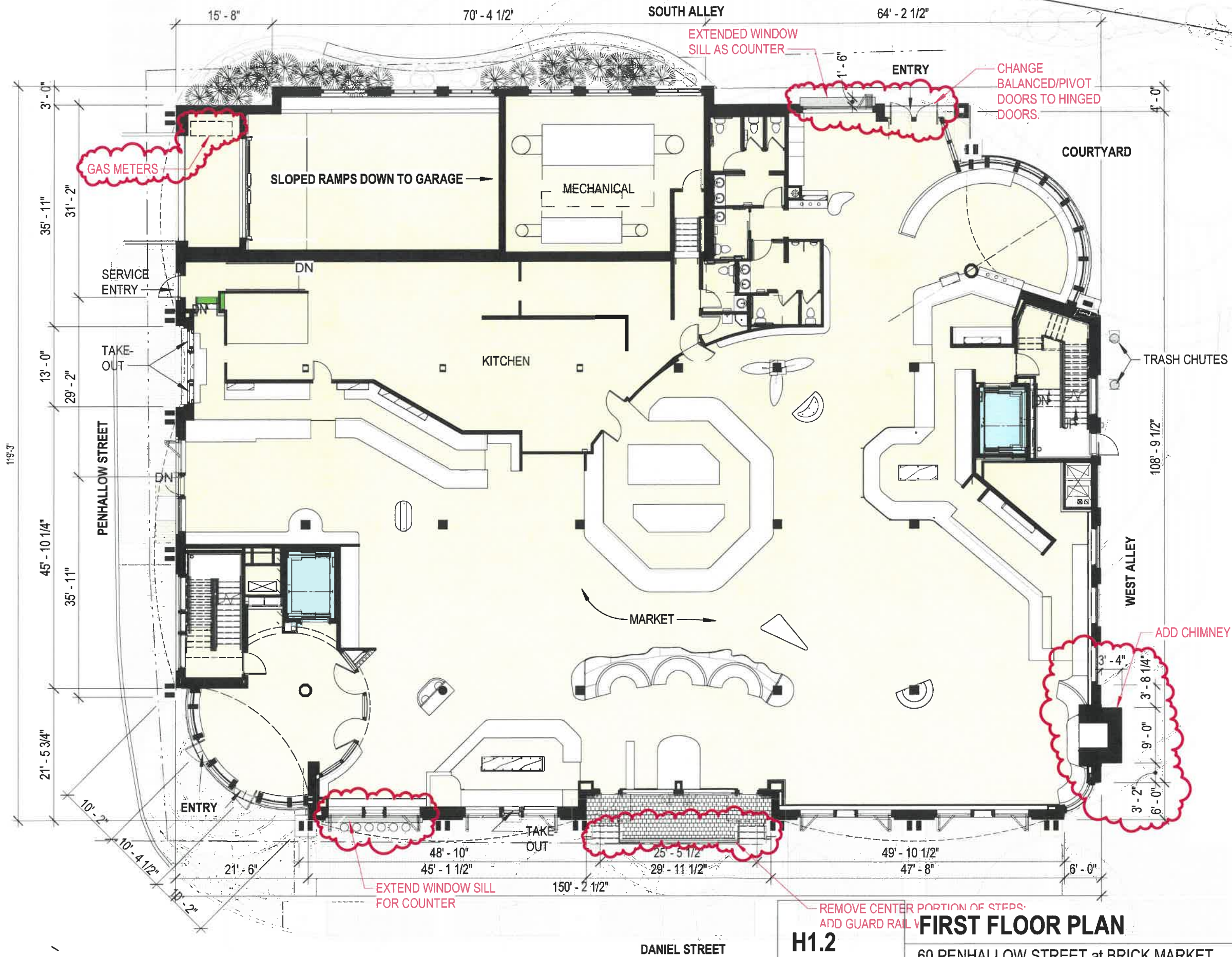
SUMMARY OF REVISIONS - Tenant Fitout Coordination

1. Add a granite chimney at the West Alley.
2. Raise storefront headheight at northeast & southwest bays by 11-1/4" to match adjacent storefronts. Extend window sills at these storefronts to serve as outdoor dining counters. Change center bay storefronts from 3 panel to 4 panel.
3. Replace center portion of steps with guard rail and gates at sunken alcove, at Daniel St center bay.
4. Minor window & door location adjustments at 3rd & 4th floor roof decks, north and east facades.
5. Change NE & SW vessel entry doors from Ellison-pivot/balanced to Kawneer-hinged.
6. Exposed fasteners instead of concealed at Prodema board siding (to accomodate curved panels, similar to top floor of 3 Pleasant St).
7. Change snow cleats to snow guard at South edge of lowest roof tier.
8. Change the louver at 4th floor West Alley from wood to painted metal.
9. Provide gas meters on inside face of recessed alcove at parking ramp entry.
10. Change color of upper roof membrane from green to gray.
11. Add 3 small air conditioning units at rear roof deck.

H1.1

COVER

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 3, 08/25/2021



1

FIRST FLOOR OVERALL PLAN

1/16" = 1'-0"

H1.2

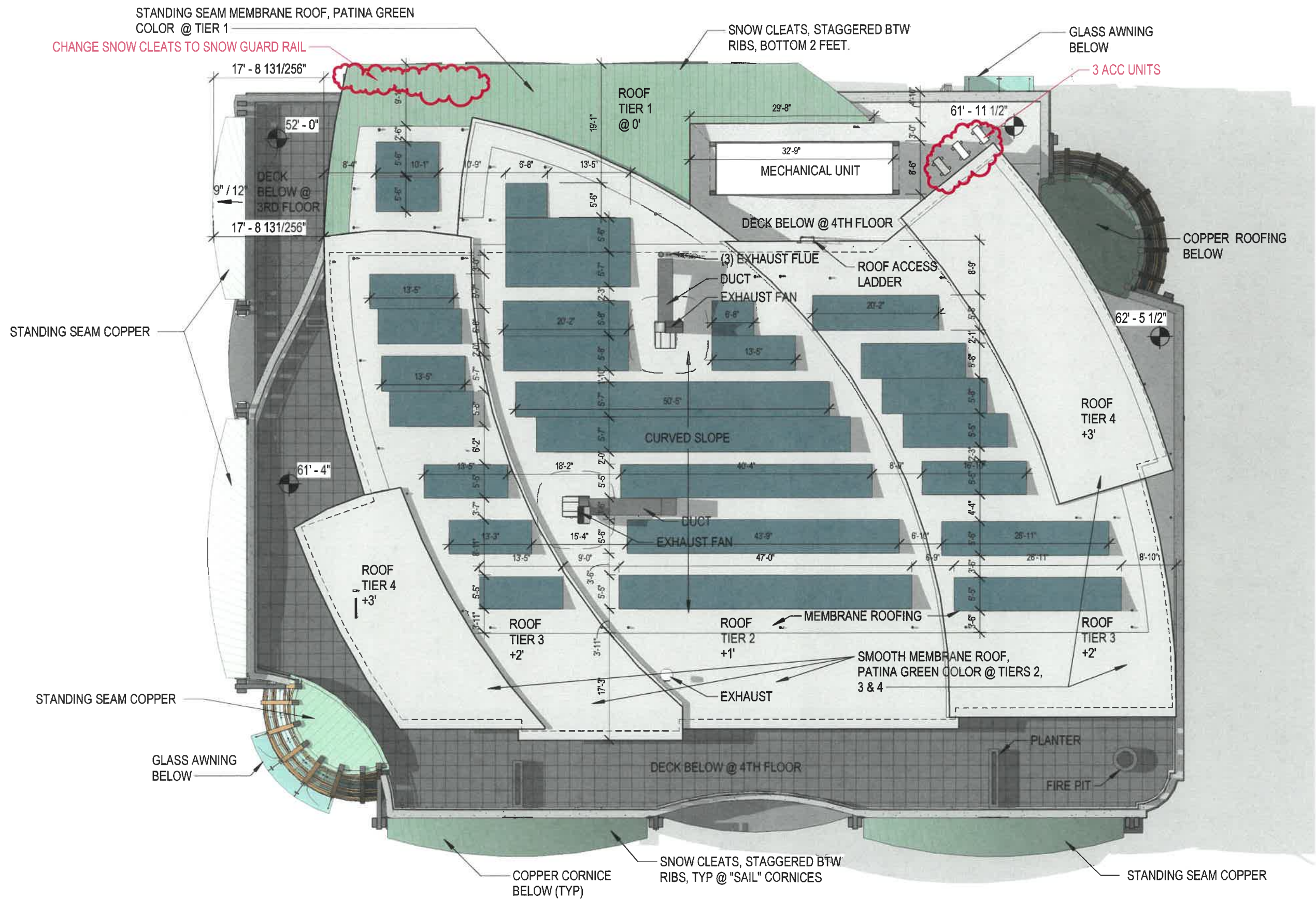
FIRST FLOOR PLAN

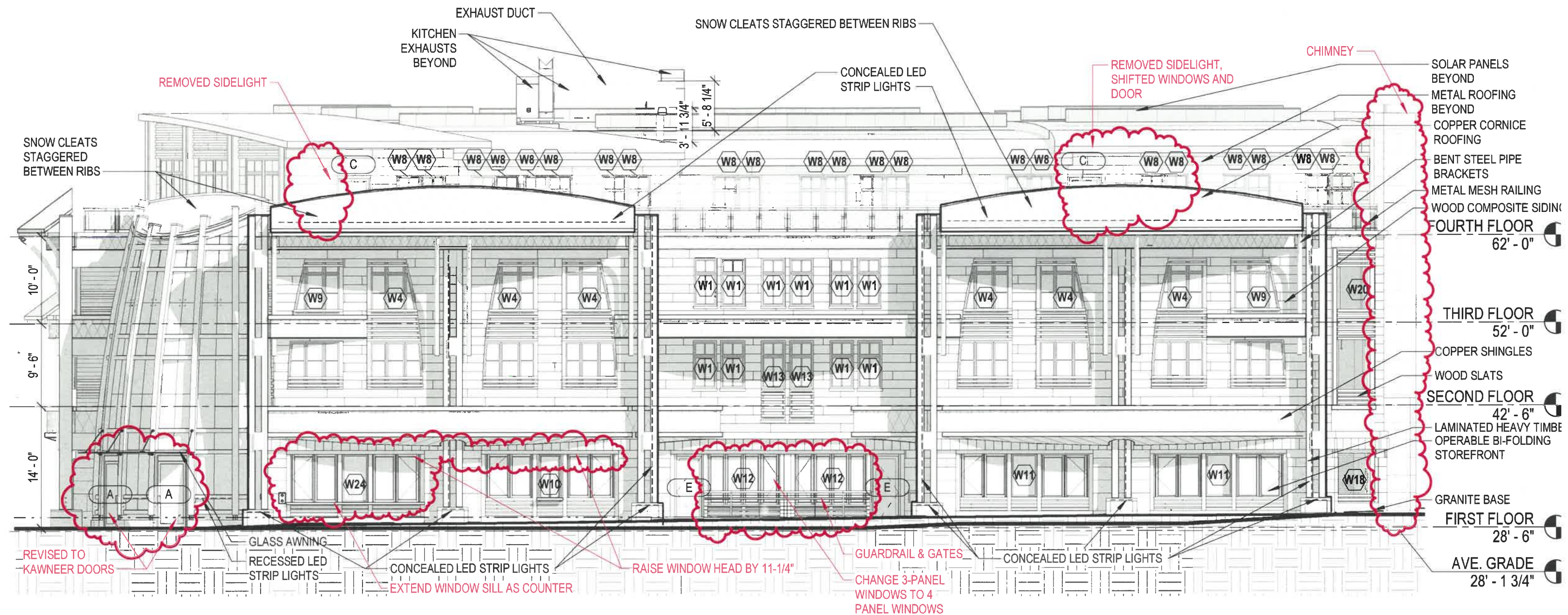
60 PENHALLOW STREET at BRICK MARKET

HDC Revision 3, 08/25/2021

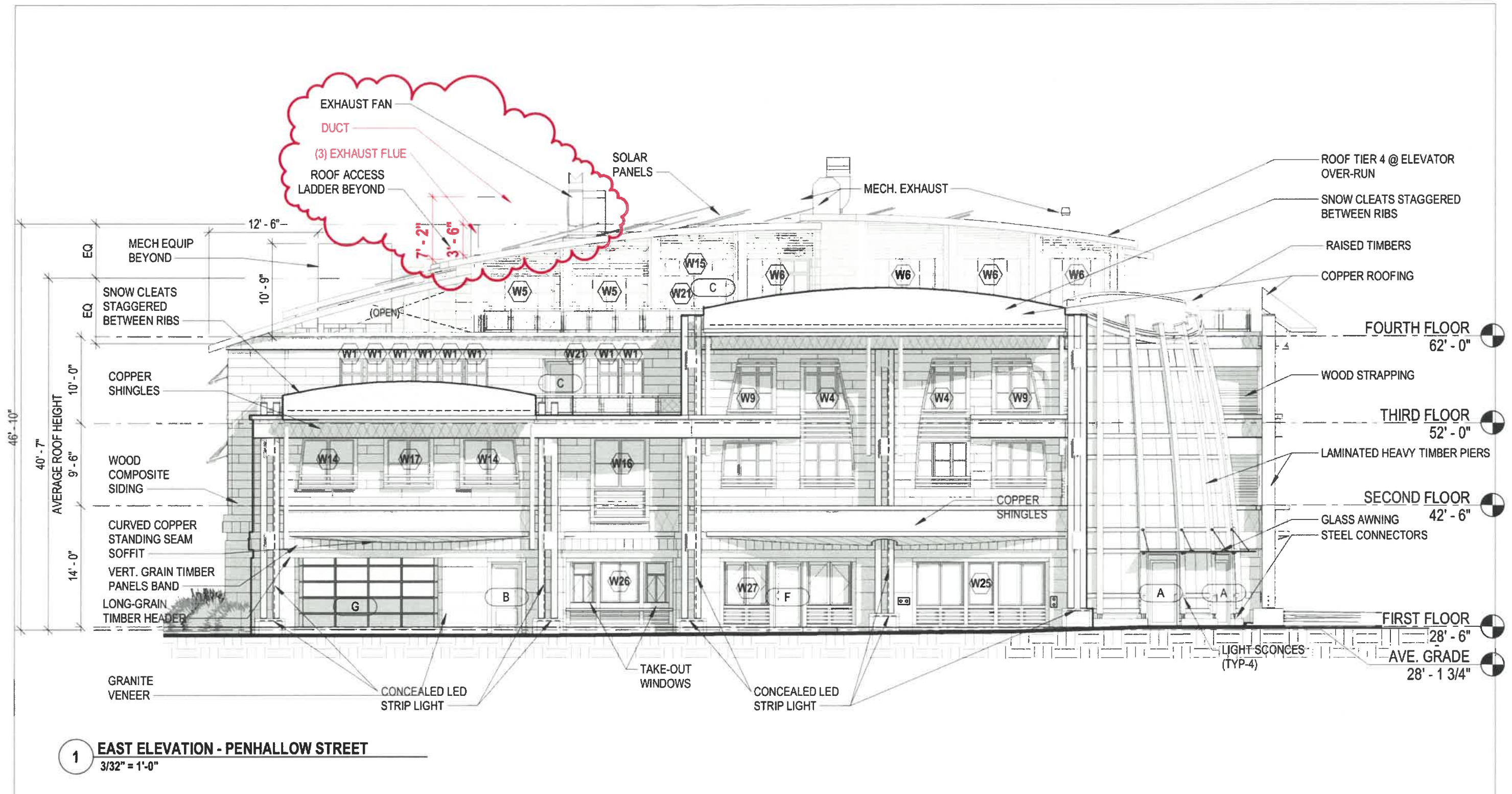
JSA

ARCHITECTS
INTERIORS
PLANNERS





1 NORTH ELEVATION - DANIEL ST
3/32" = 1'-0"

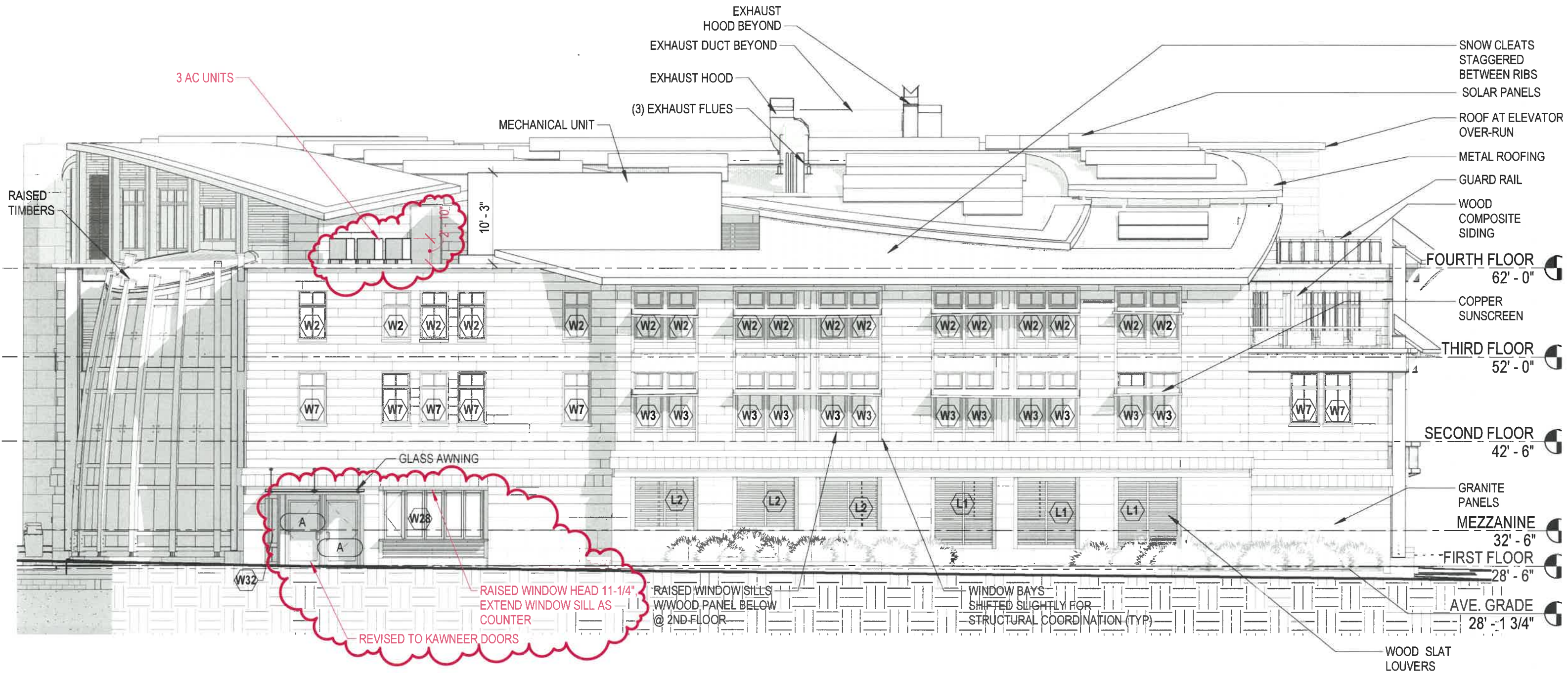


PREVIOUSLY APPROVED

H2.2A

EAST ELEVATION (PENHALLOW ST) PREVIOUS

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 3, 08/25/2021

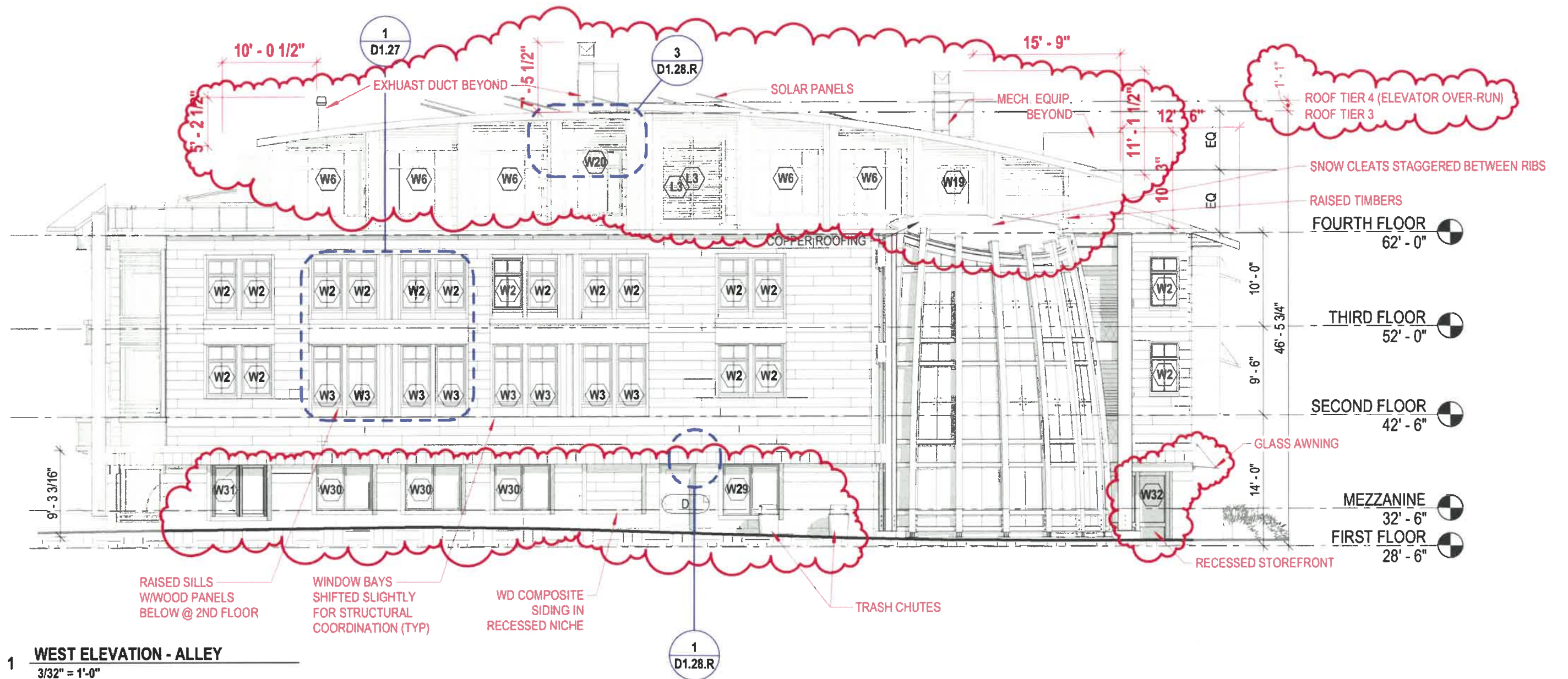


1 **SOUTH ELEVATION - ALLEY**
3/32" = 1'-0"

H2.3B

SOUTH ELEVATION (SOUTH ALLEY) PROPOSED

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 3, 08/25/2021



PREVIOUSLY APPROVED

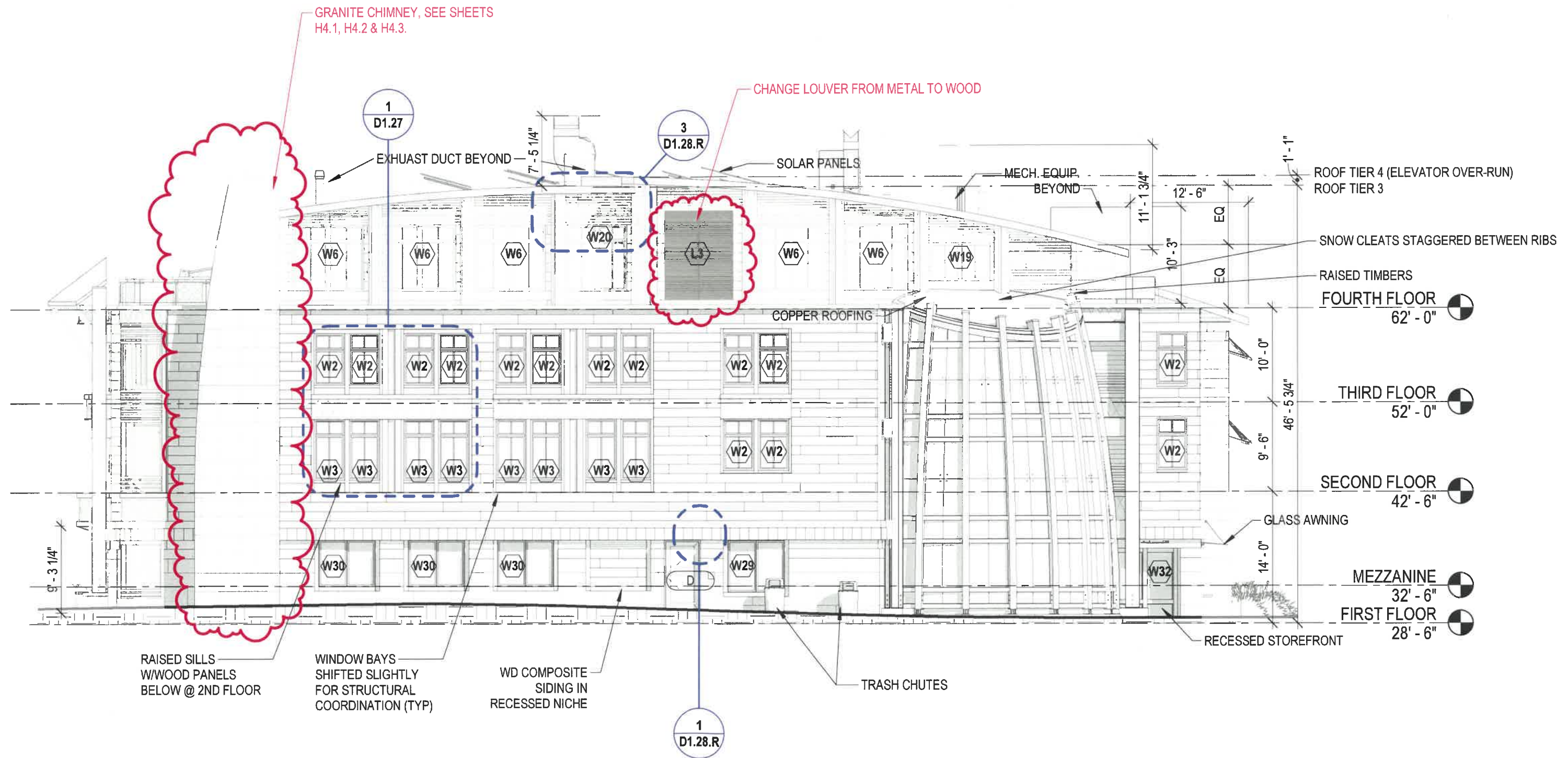
H2.4A

WEST ELEVATION (WEST ALLEY) PREVIOUS

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 3, 08/25/2021

JSA

ARCHITECTS
INTERIORS
PLANNERS



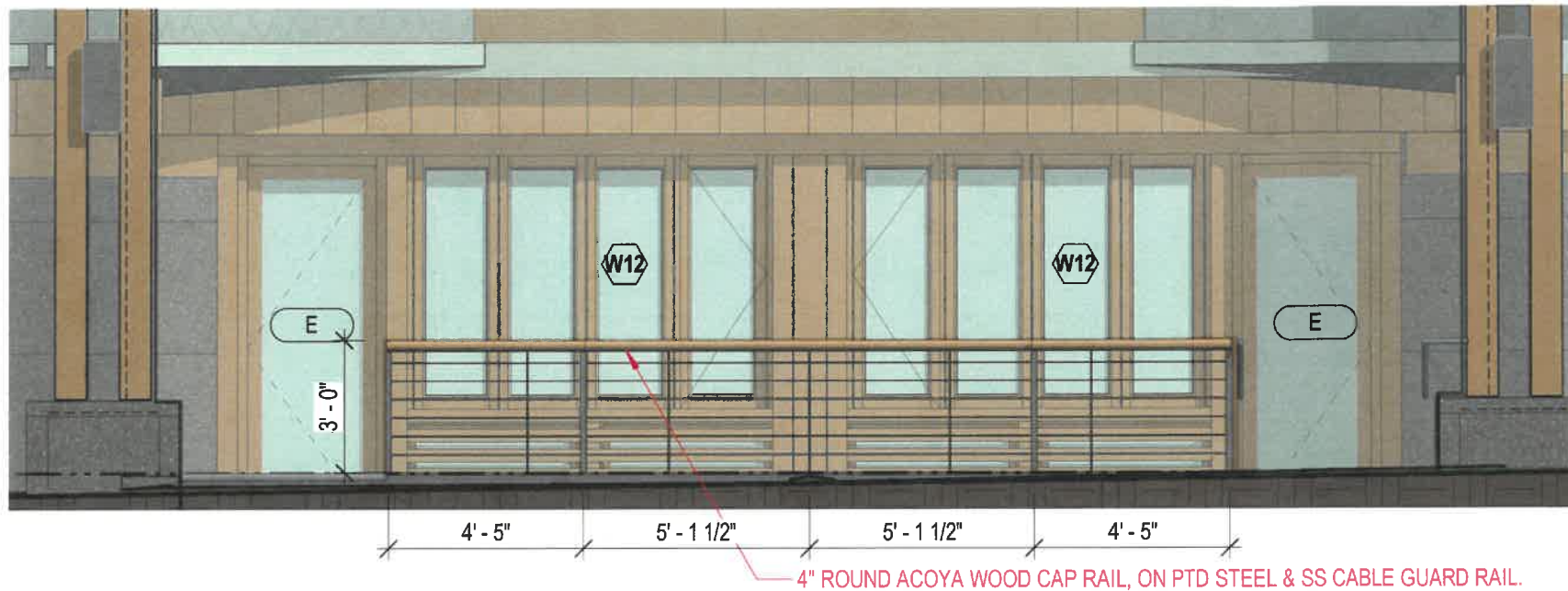
1 WEST ELEVATION - ALLEY
3/32" = 1'-0"

H2.4B

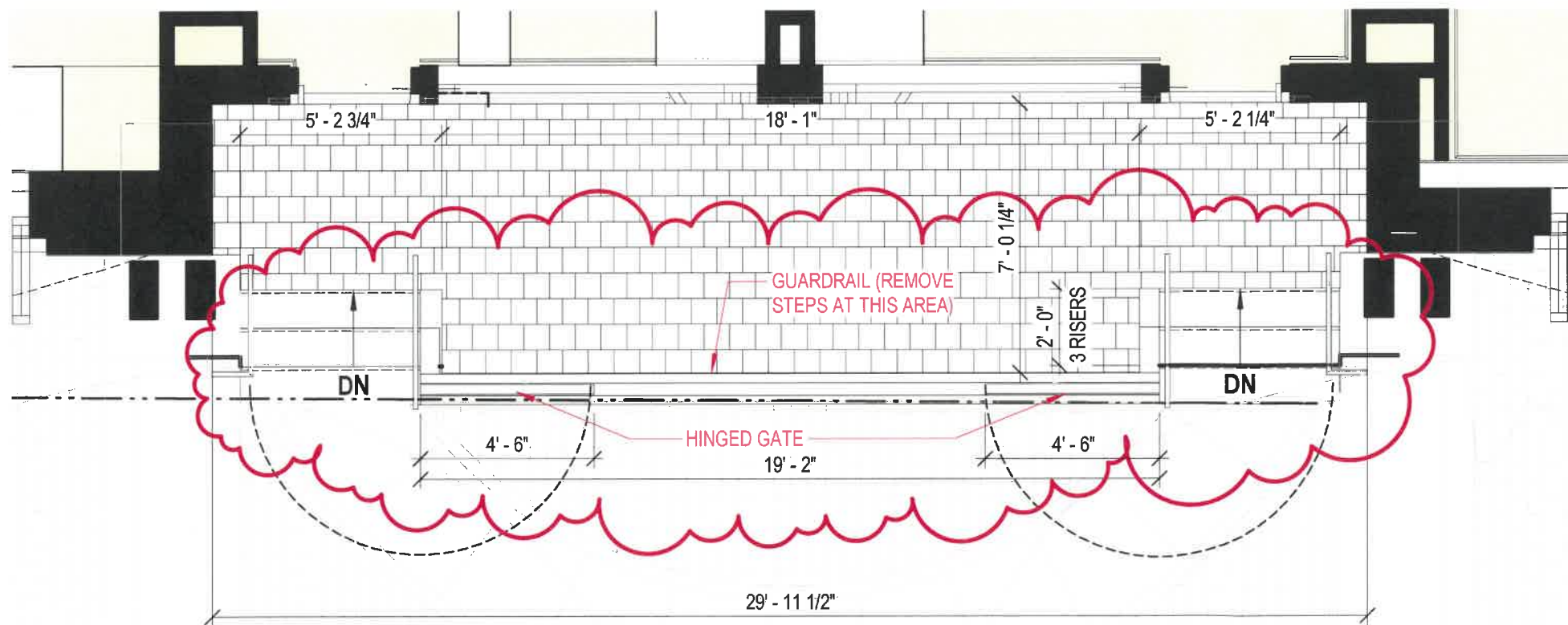
WEST ELEVATION (WEST ALLEY) PROPOSED

60 PENHALLOW STREET at BRICK MARKET

HDC Revision 3, 08/25/2021



3 NORTH ELEVATION - DANIEL ST
1/4" = 1'-0"



2 FIRST FLOOR PLAN
1/4" = 1'-0"



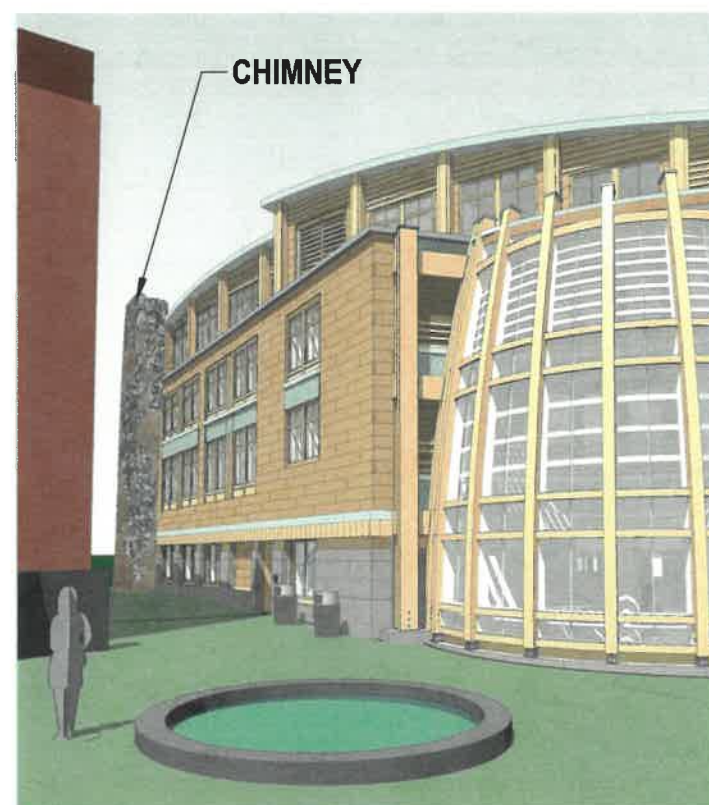
H3.1

DANIEL STREET GUARDRAIL

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 3, 08/25/2021



1. VIEW FROM DANIEL & PENHALLOW STREETS



2. VIEW FROM SW COURTYARD



3 VIEW FROM DANIEL STREET

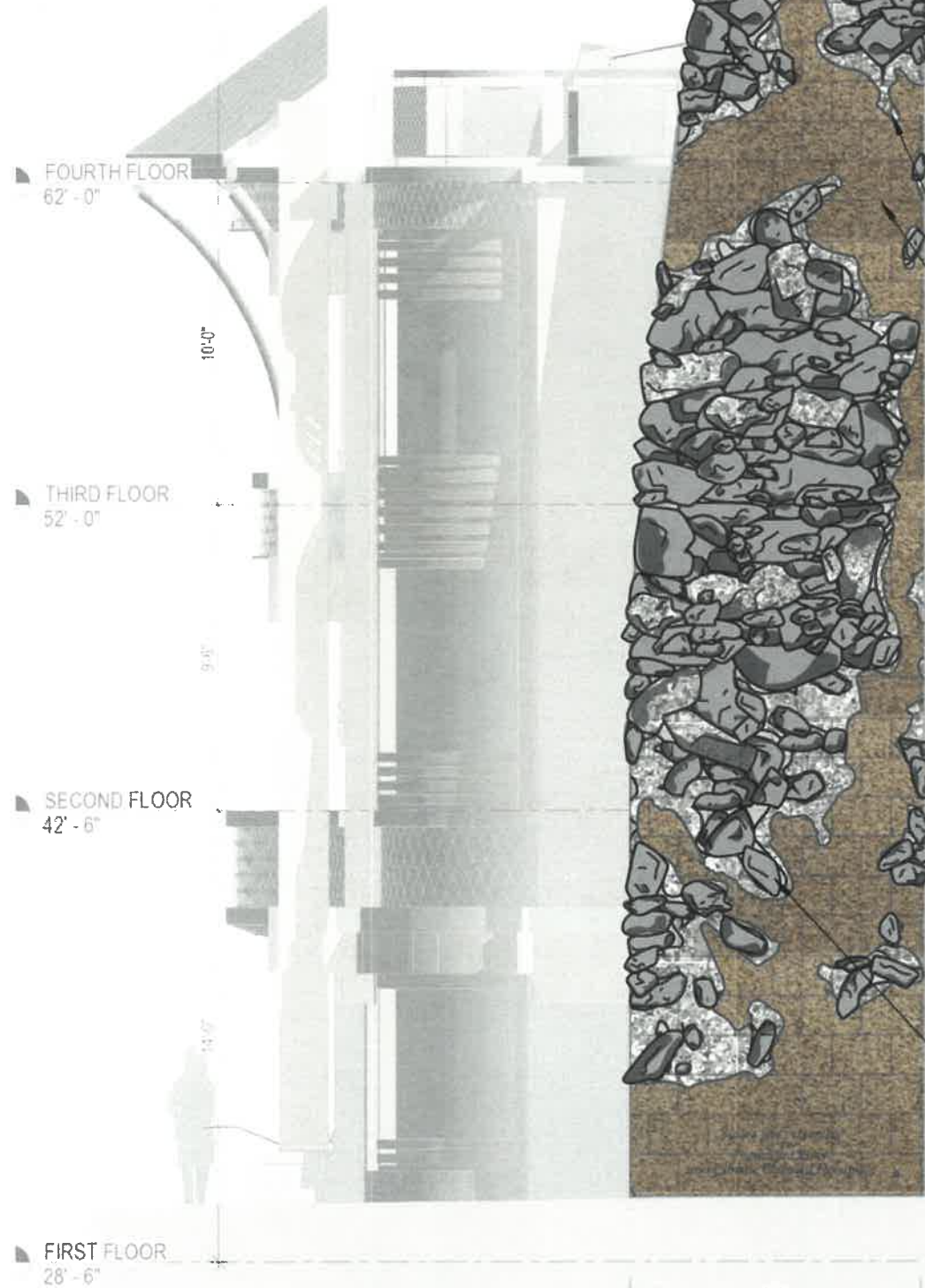
H4.2

CHIMNEY 3D VIEWS

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 3, 08/25/2021



Old Map (mid-1600s) of Piscataqua River



MASONRY STONE & BOND PATTERN - ARTIST CONCEPT



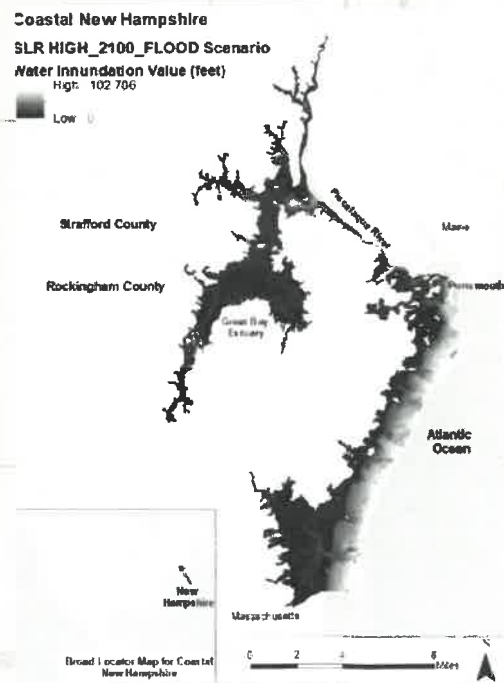
New England Farmer Wall with Granite Field Stones



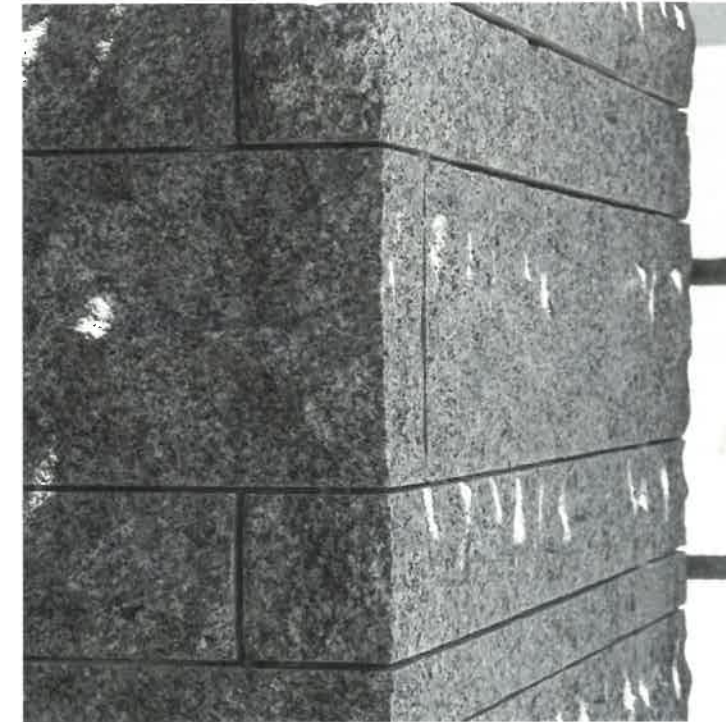
Deer Island Granite



Stenson Granite



Coastal New Hampshire 2100 Flood Scenario with Climate Change



CUT STONE, FLAMED FINISH



FIELD STONE, NATURAL FINISH

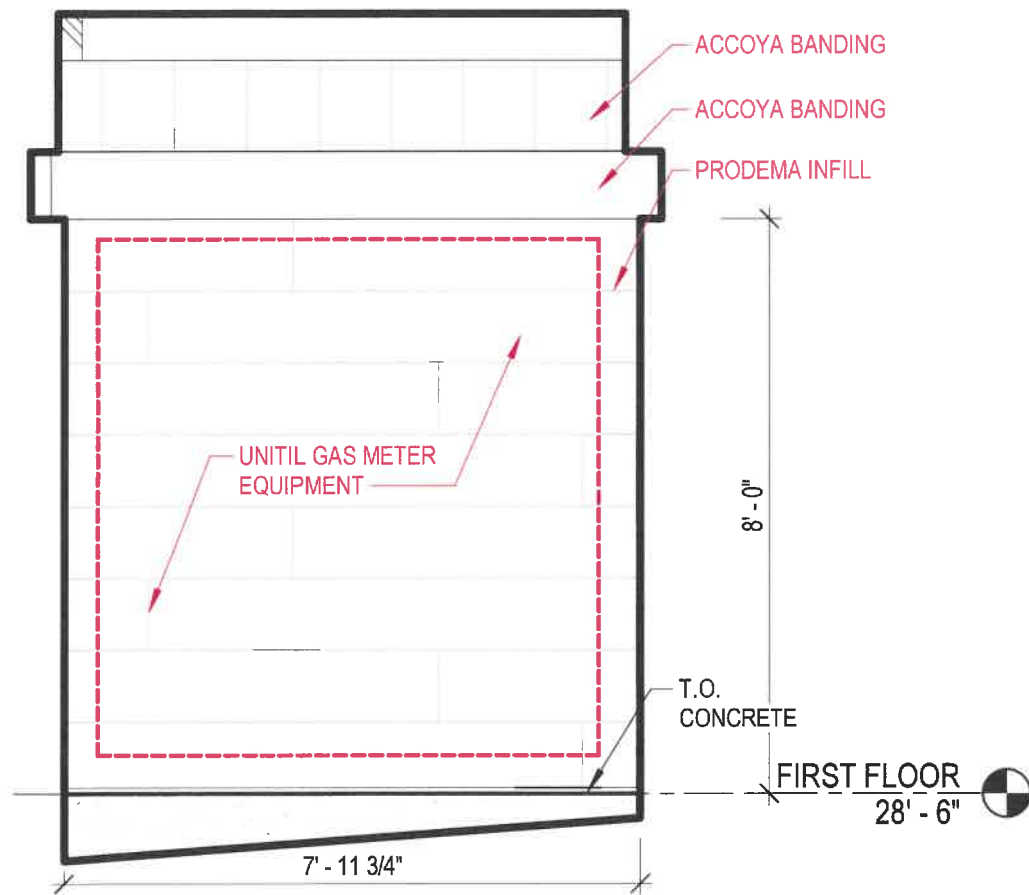
H4.3

CHIMNEY DETAILS

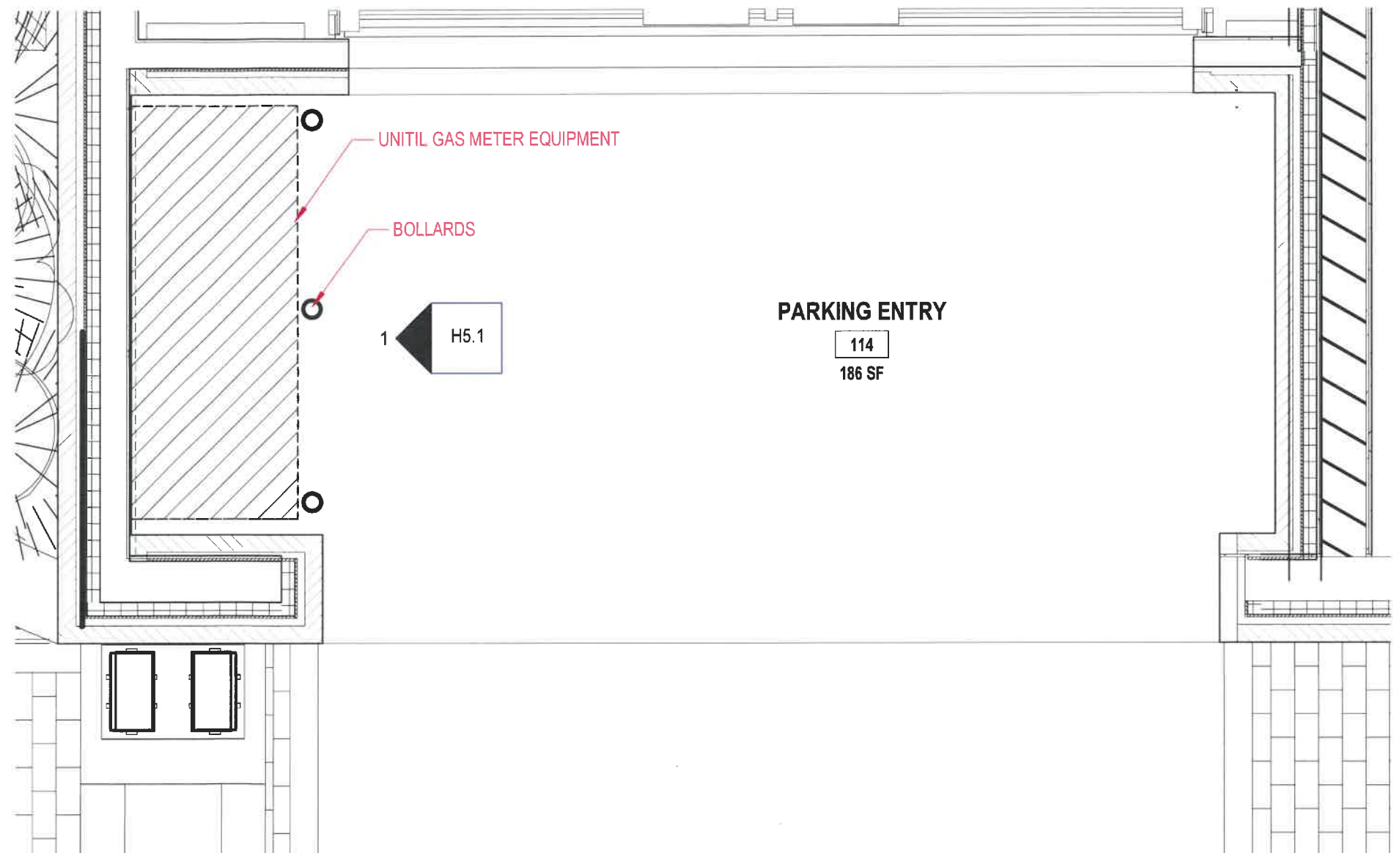
60 PENHALLOW STREET at BRICK MARKET
HDC Revision 3, 08/25/2021

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PLANNERS



1 **GAS METER ELEVATION**
3/8" = 1'-0"



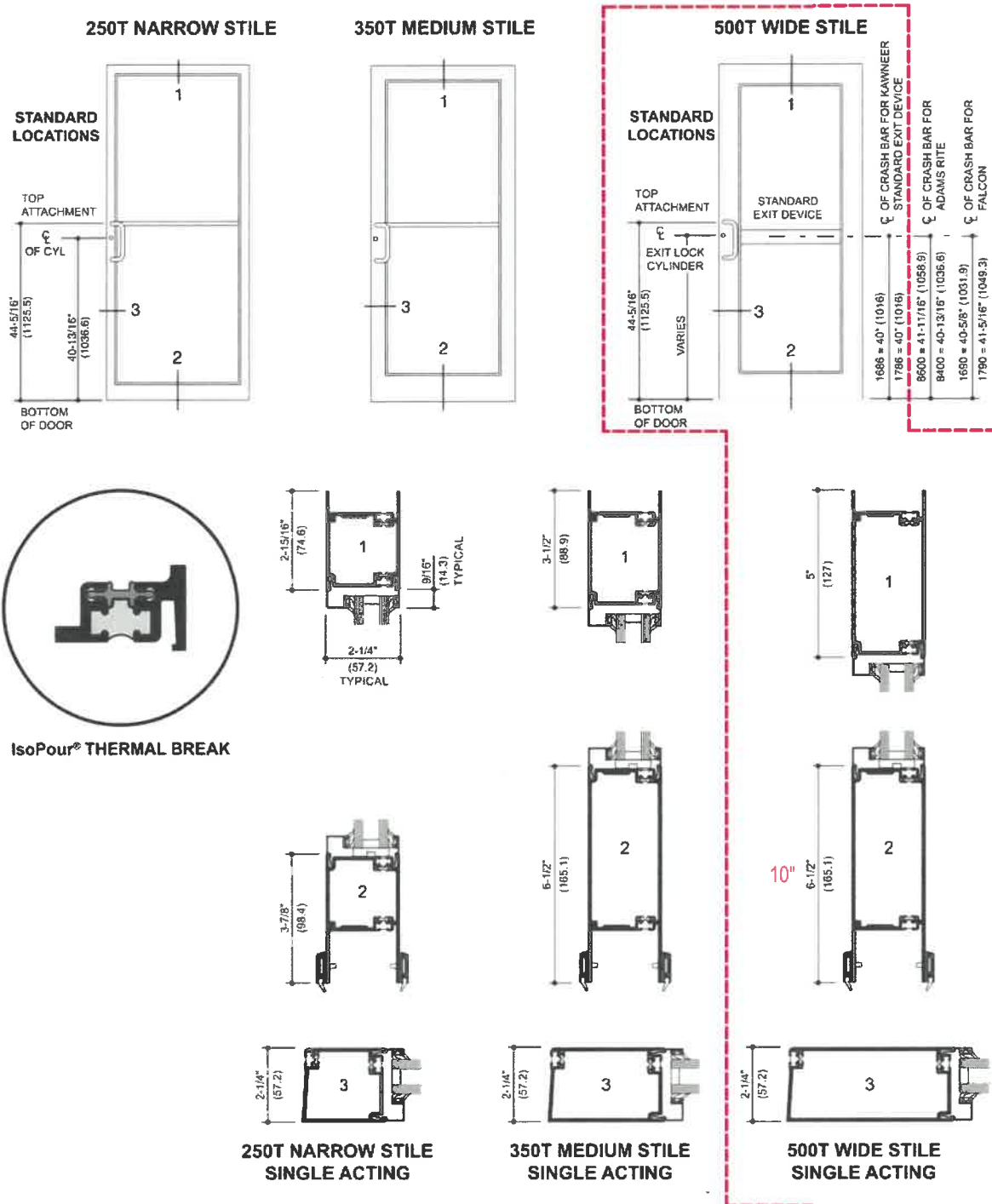
2 **GAS METER PLAN**
3/8" = 1'-0"

H5.1

GAS METERS AT GARAGE ENTRY

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 3, 08/25/2021

Additional information and CAD details are available at www.kawneer.com



Note: 1-1/2" (38.1) Triple Insulating Glass Unit infill available.



ADMA090EN

kawneer.com

PROPOSED ENTRY DOOR



EXAMPLE USES



H6.1

ENTRY DOOR CUT SHEET

60 PENHALLOW STREET at BRICK MARKET
HDC Revision 3, 08/25/2021



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PLANNERS



ESK-402

Stationary Louver K Blade

Application and Design

ESK-402 is a weather louver designed to protect air intake and exhaust openings in building exterior walls. Design incorporates K style blades, sloped sill and high free area to provide maximum resistance to rain and weather while providing minimum resistance to airflow. The ESK-402 is an extremely efficient louver with **AMCA LICENSED PERFORMANCE DATA** enabling designers to select and apply with confidence.

Standard Construction

Frame Heavy gauge extruded 6063-T5 aluminum,
4 in. x 0.081 in. nominal wall thickness

Blades K style, heavy gauge extruded 6063-T5
aluminum, 0.081 in. nominal wall thickness,
positioned at 37° and 45° angles on
approximately 4 in. centers

Construction . . . Mechanically fastened

Birdscreen 3/4 in. x 0.051 in. flattened expanded aluminum in
removable frame, inside mount (rear)

Finish Mill

Minimum Size . . 12 in. W x 12 in. H

Maximum Single

Section Size . . . 120 in. W or 120 in. H. (limited to 70 ft. sq.)

Options (at additional cost)

- A variety of bird and insect screens
- Blank off panel
- Clip angles
- Extended sill
- Filter rack
- Flanged frame
- Glazing adaptor
- Hinged frame
- Security bars
- Welded construction
- 0.125 in. nominal wall thickness
- A variety of architectural finishes including:
 - Clear anodize
 - Integral color anodize
 - Baked enamel paint
 - Kynar paint



*Width and height dimensions furnished
approximately 1/4 inch under size.

MULTIPLE SECTION W/ MULLION



LOUVER FINISHES & COLORS

Anodize Colors

The anodize process creates an extremely hard and durable finish on aluminum surfaces. Greenheck offers seven industry standard anodize colors on aluminum louver products that meet the performance requirements of AAMA 611. Some degree of color discontinuity within industry standard anodize color range tolerances can be expected. For better color consistency Greenheck recommends AAMA 2605 compliant Mica coatings in lieu of anodize.

Clear Anodize

215-R1 or 204-R1

Champagne Anodize

Light Bronze Anodize

Medium Bronze Anodize

Dark Bronze Anodize

Extra Dark Bronze Anodize

Black Anodize

H6.2

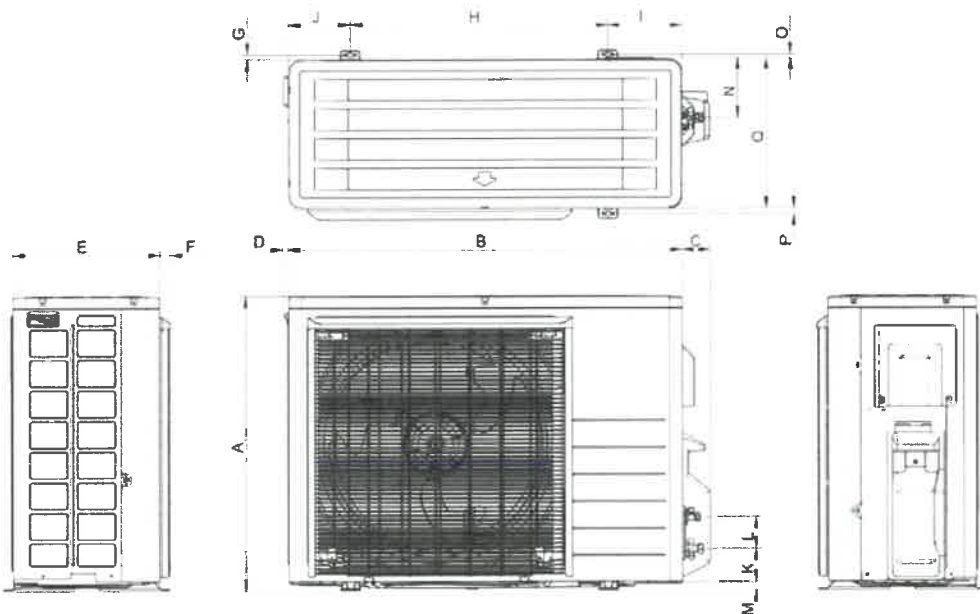
LOUVER CUT SHEET

60 PENHALLOW STREET at BRICK MARKET

HDC Revision 3, 08/25/2021

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INTERIORS
PLANNERS



Dimension		A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q
Model	18/24	27-13/32 (696)	36-5/8 (930)	2-19/32 (66)	15/32 (12)	13-13/16 (351)	1-1/16 (27)	15/32 (12)	24 (610)	6-7/8 (175)	5-23/32 (145)	3-1/32 (77)	2-31/32 (75)	13/16 (21)	5-19/32 (142)	5/16 (8)	17/32 (13)	13-31/32 (355)

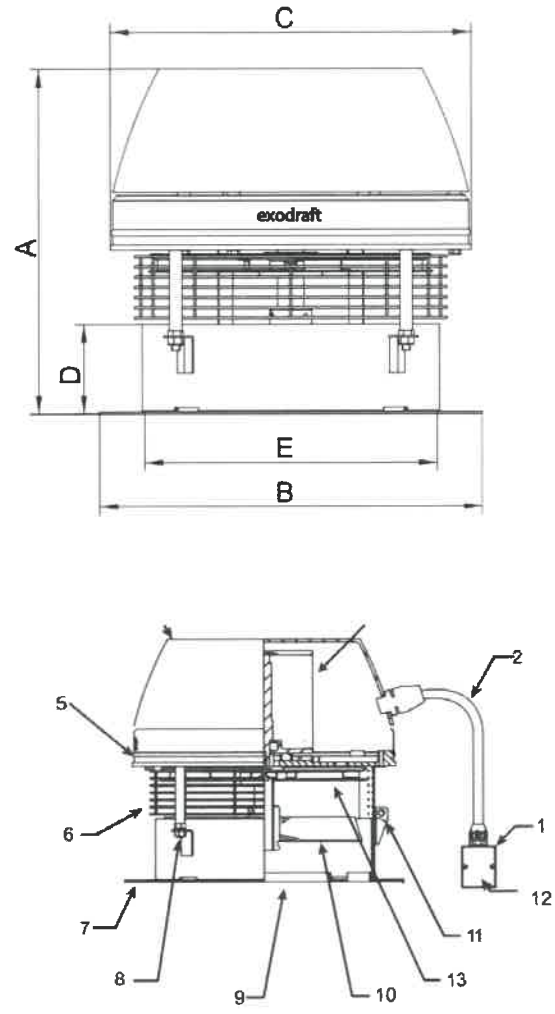
All dimensions are in inch (mm)

Daikin North America LLC 5151 San Felipe, Suite 500 Houston, TX 77056
(Daikin's products are subject to continuous improvements. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations.)
Page 3 of 4
Submittal Revision Date: September 2020

4TH FLOOR ACC UNITS

Specifications

Model			RSHT009	RSHT012	RSHT014	RSHT016
Discharge			Horizontal			
Fan Type			Axial Vane			
Motor Type			Totally enclosed, Variable speed, Class F			
Voltage	V AC		1x120			
RPM			1600	1600	1600	1580
Amperage	Amps		0.85	1.25	3.50	4.50
Motor Output	HP		0.11	0.13	0.34	0.47
	kW		0.08	0.10	0.25	0.35
Weight	lbs		25.6	33.5	41.9	47.2
	kg		11.6	15.2	19.0	21.4
Dimensions	A	n	11.7	12.8	14.6	15.7
		mm	298	325	372	400
	B x B	n	11.7	14.3	16.6	18.8
		mm	296	364	422	478
	C	n	10.8	13.5	15.6	17.4
		mm	275	344	395	441
	D	n3	.0	3.33	.9	3.9
		mm	75	85	100	100
	E	n8	.7	11.0	13.0	15.0
		mm	220	280	330	380
Temperature Rating	Interm.		1330 °F / 721 °C			
	Cont.		1000 °F / 538 °C			



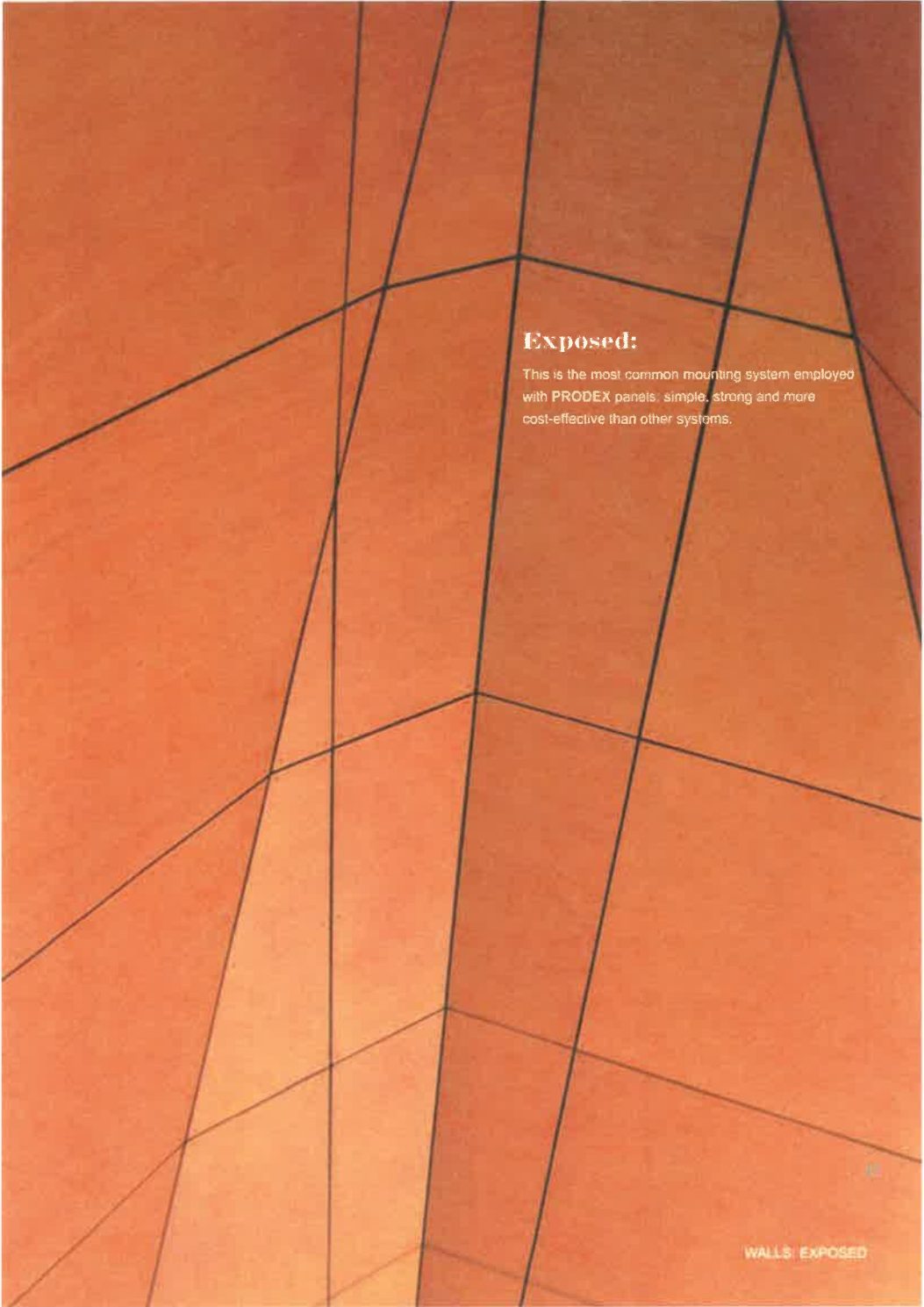
FIREPLACE EXHAUST FAN

H6.3

ACC, FIREPLACE EXHAUST, PRODEMA

60 PENHALLOW STREET at BRICK MARKET

HDC Revision 3, 08/25/2021



PRODEMA EXPOSED FASTENERS
-Fasteners are color matched to the panels



EXPOSED FASTENERS AT 3 PLEASANT ST



EXPOSED FASTENERS AT 3 PLEASANT ST

Historic District Commission

Staff Report – September 1st, 2021

September 1st MEETING

Administrative Approvals:

- | | |
|--------------------------------|----------------------|
| 1. 93 State Street (LUHD-371) | - Recommend Approval |
| 2. 14 Mechanic St. (LUHD-378) | - Recommend Approval |
| 3. 57 Salter St. (LUHD-370) | - TBD |
| 4. 21 Blossom St. (LUHD-380) | - Recommend Approval |
| 5. 564 Middle St. (LUHD-382) | - TBD |
| 6. 126 State St. (LUHD-386) | - Recommend Approval |
| 7. 135 Congress St. (LUHD-372) | - Recommend Approval |
| 8. 60 Penhallow St. (LUHD-385) | - TBD |

PUBLIC HEARINGS – OLD BUSINESS:

- A. 64 Vaughan St. (LU-20-214) (3 story building addition)

PUBLIC HEARINGS – NEW BUSINESS:

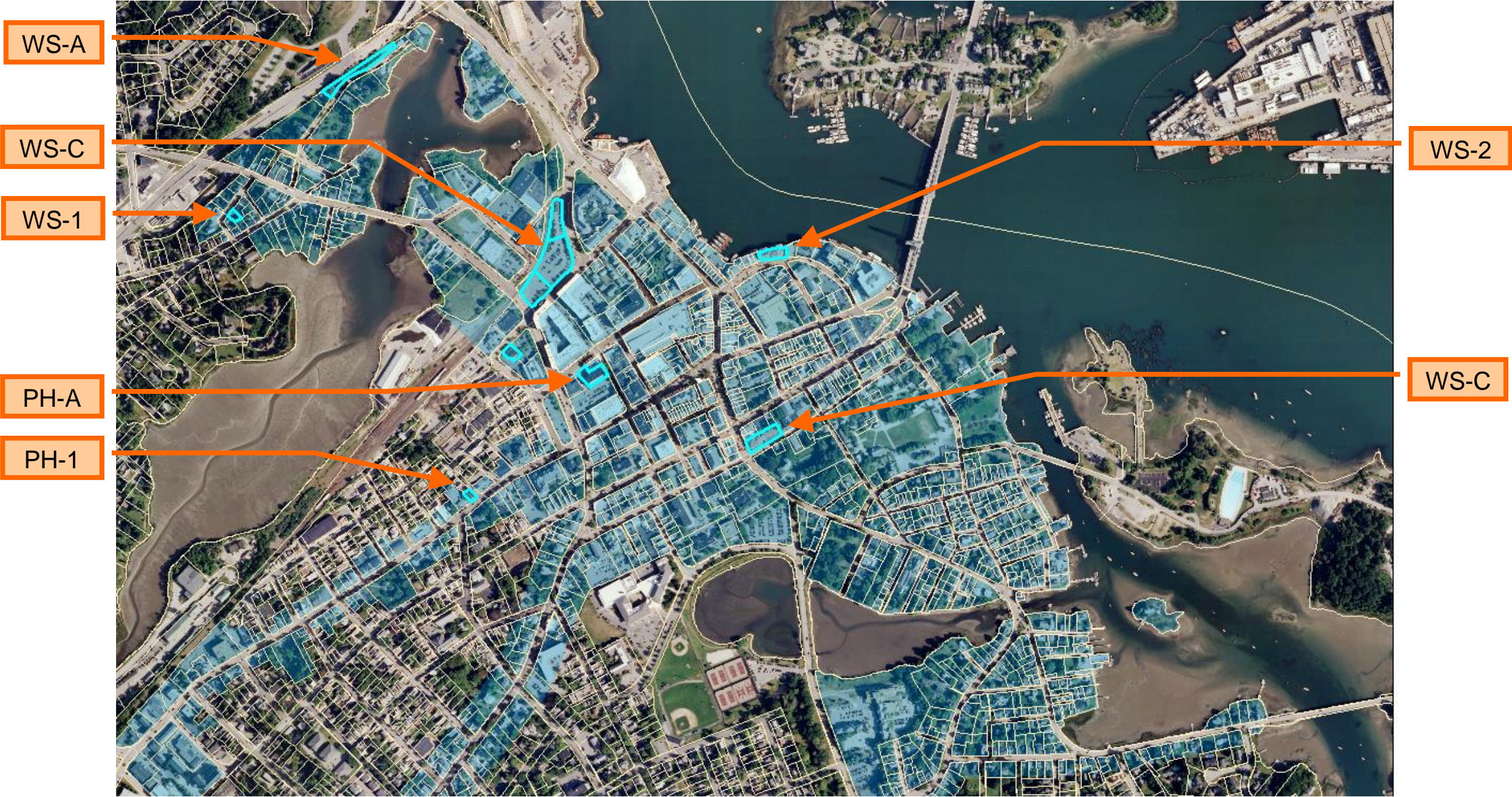
1. 4 Rock Street (LU-21-144) (windows)

WORK SESSIONS – OLD BUSINESS:

- A. 137 Northwest. (LUHD-296) (New house)
 B. 93 Pleasant. (LUHD-324) (3 story addition)
 C. 2 Russell / 0 Deer St. (LUHD-366) (5 story building)

WORK SESSIONS (NEW):

1. 52 Prospect St. (LUHD-377) (2 story addition)
 2. 99 Bow St. (LUHD-376) (deck)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: September 1st, 2021

APPLICATIONS: 14

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

64 VAUGHAN MALL (LU-20-214)
CERTIFICATE OF APPROVAL
PUBLIC HEARING #A

- Existing Conditions:
- Zoning District: CD5
 - Land Use: Commercial
 - Land Area: 15,242 SF +/-
 - Estimated Age of Structure: c.1900
 - Building Style: Vernacular Commercial
 - Historical Significance: C
 - Public View of Proposed Work: View from the Vaughan Mall and Hanover St.
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To make façade improvements to the storefront and add a penthouse.

- C. Other Permits Required:**
- ☒ Board of Adjustment

☒ Planning Board

☒ City Council

- D. Lot Location:**
- ☐ Terminal Vista

☐ Gateway

☒ Mid-Block
- ☐ Intersection / Corner Lot

☐ Rear Lot

- E. Existing Building to be Altered/ Demolished:**
- ☒ Principal

☐ Accessory

☐ Demolition

- F. Sensitivity of Context:**
- ☐ Highly Sensitive

☒ Sensitive

☐ Low Sensitivity

☐ “Back-of-House”

- G. Design Approach (for Major Projects):**
- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)

☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)

☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)

☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

- H. Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)

☐ Minor Project (i.e. small alterations, additions or expansions)

☐ Moderate Project (i.e. significant additions, alterations or expansions)

☒ Major Project (i.e. very large alternations, additions or expansions)

- I. **Neighborhood Context:**

a. The building is located along the Vaughan Mall. The building is surrounded with many 2-5 story historic and contemporary structures with little to no setbacks. The property also has an 8 space surface parking lot off of Hanover Street.
- J. **Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to:

 - Add a three story addition with an attic level. The revised elevations show a variety of modifications suggested by the Commission. In particular, the tower element and arcade along the driveway entrance has been modified at address the concerns and suggestions of the commission expressed at the July meeting.

• **Design Guideline Reference – Guidelines for Windows and Doors (08) and Commercial Developments and Storefronts (12).**

K. **Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

64 VAUGHAN MALL (LU-21-153) – PUBLIC HEARING #A (MAJOR PROJECT)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MAJOR PROJECT</div> <div>- Add a 3.5 Story Addition to the Existing Building -</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39		Lighting (i.e. street, building...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 64 VAUGHAN MALL Case No.: A Date: 9-1-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **4 ROCK ST. (LU-21-3)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #1**

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L2
- Land Use: Commercial Parking Lot
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c.1840
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Islington and Rock Streets
- Unique Features: NA
- Neighborhood Association: Islington Creek

B. Proposed Work: To replace all windows.

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☐ Mid-Block
☒ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☐ Principal ☒ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive ☐ Sensitive ☒ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☒ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☒ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

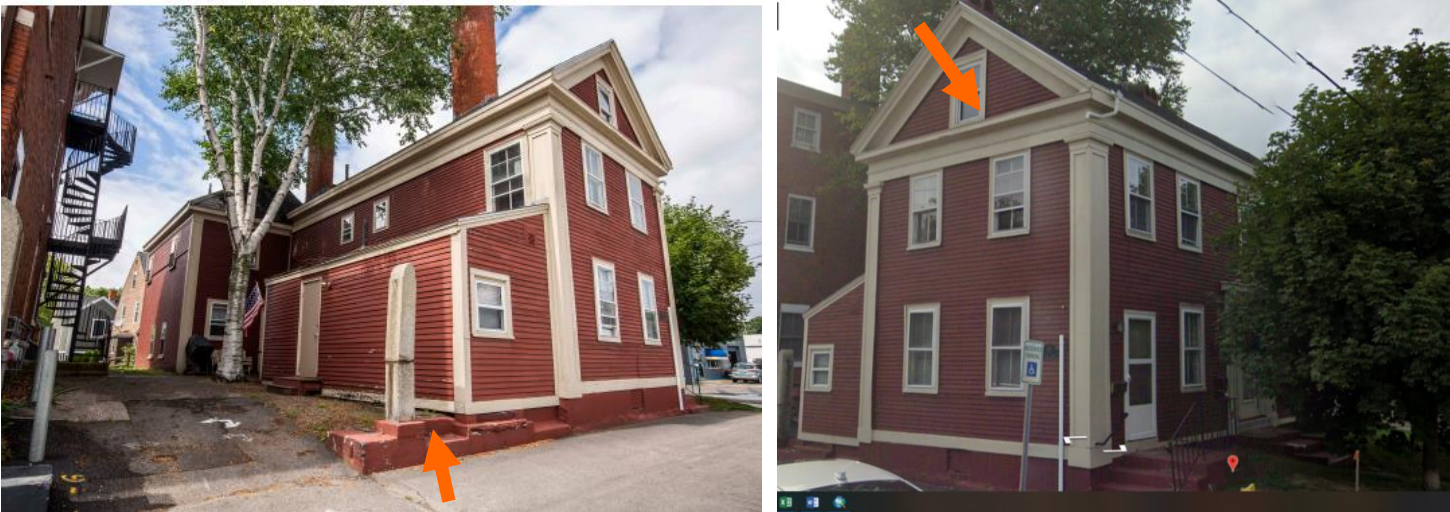
- This vacant lot is located along Daniel and Penhallow Streets and is surrounded with many other brick and wood-sided, 2.5-3 story contributing structures. Most buildings have no front yard setback and off-street parking is limited.

J. Staff Comments and Suggestions for Consideration:

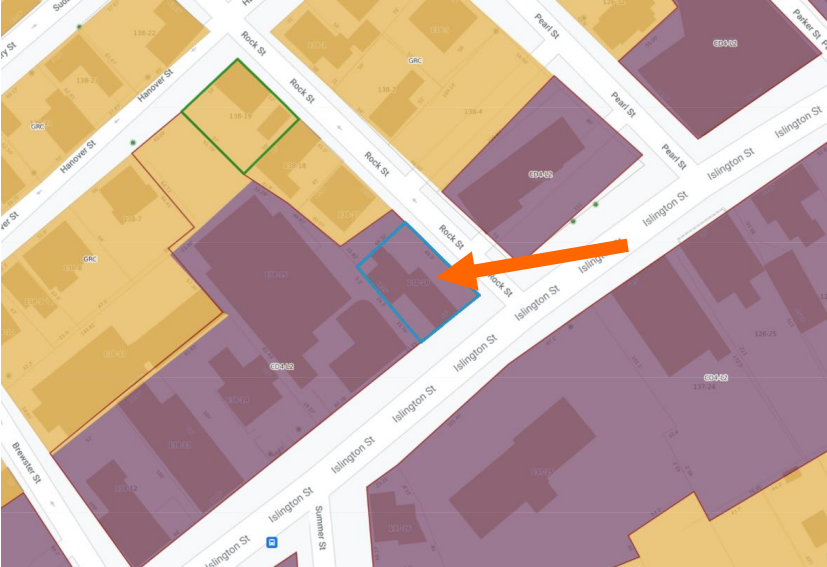
- The applicant proposes to:
 - Replace all the existing windows with Green Mountain wood windows.
 - The applicant is proposing a 6/6 sash whereas the current Greek Revival (c. 1840) has a 2/2 pattern. Note that the 6/6 windows are currently located on the rear addition along Rock Street.
 - The applicant has had a window expert date and rate the condition of each of the windows on the structure.
 - This is a sash replacement project so there will be no reduction in light or the size of the opening.

Design Guideline Reference – Guidelines for Windows and Doors (08)

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

4 ROCK STREET (LU-21-3) – PUBLIC HEARING #1 (MINOR)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No.	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MINOR PROJECT – Replace Windows Only –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39			
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 4 ROCK ST. Case No.: 1 Date: 9-1-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

3. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

137 NORTHWEST ST. (LUHD-296)
CERTIFICATE OF APPROVAL
WORK SESSION #A

- Existing Conditions:
- Zoning District: GRA
 - Land Use: Single Family
 - Land Area: 23,522 SF +/-
 - Estimated Age of Structure: c.1890
 - Building Style: Queen Anne
 - Historical Significance: C
 - Public View of Proposed Work: View from Northwest Street & the Rte.1 Bypass.
 - Unique Features: NA
 - Neighborhood Association: Christian Shore

B. **Proposed Work:** To construct a new single family house on the lot.

C. **Other Permits Required:**

- ☒ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. **Lot Location:**

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. **Existing Building to be Altered/ Demolished:**

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. **Sensitivity of Context:**

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. **Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. **Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

- I. **Neighborhood Context:**
 - The building lot is located along Northwest Street. It is surrounded with many 1.5-2 story wood-sided historic structures with small rear and side yards with garden areas. The proposed lot is very narrow which limits the potential for landscape screening along the Rte. 1 Bypass.
- J. **Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to:

 - Construct a new single-family residence on the north eastern portion of the property.
 - Note that a variance was granted to support this application.
 - **If the applicant submits revised plans for the September 1st the plans will be forwarded to you Friday. If not, this application will be continued to the October 6th meeting.**

Design Guideline Reference – Guidelines for New Construction (02-09).

K. **Aerial Image, Street View and Zoning Map:**



Proposed Alterations and Existing Conditions



Zoning Map

HISTORIC
SURVEY
RATING

-

137 NORTHWEST ST. (LUHD-296) – WORK SESSION #A (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MODERATE PROJECT - Construct a New Single-Family Structure -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY:137 Northwest St. Case No.:A Date: 9-1-21
Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **93 PLEASANT STREET (LUHD-324)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION #B**

A. Property Information - General:

- Existing Conditions:**
- Zoning District: CD4
 - Land Use: Commercial
 - Land Area: 11,325 SF +/-
 - Estimated Age of Structure: c.1818
 - Building Style: Federal
 - Historical Significance: Focal
 - Public View of Proposed Work: View from Pleasant and Court Streets
 - Unique Features: Focal Building and Historic Stone Wall along Court Street
 - Neighborhood Association: Downtown

B. Proposed Work: To add a 3-story addition with connector building.

C. Other Permits Required:

- ☐ Board of Adjustment ☒ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☐ Mid-Block
☒ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed

- ☒ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

- ☒ Highly Sensitive ☐ Sensitive ☐ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☒ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This historically significant and focal building is located along the intersection of Pleasant and Court Streets. It is surrounded with many wood-frame 2 - 2.5 story contributing structures. The Langdon Mansion, another focal building and setting is located across the street.

J. Background, Comments & Suggested Actions:

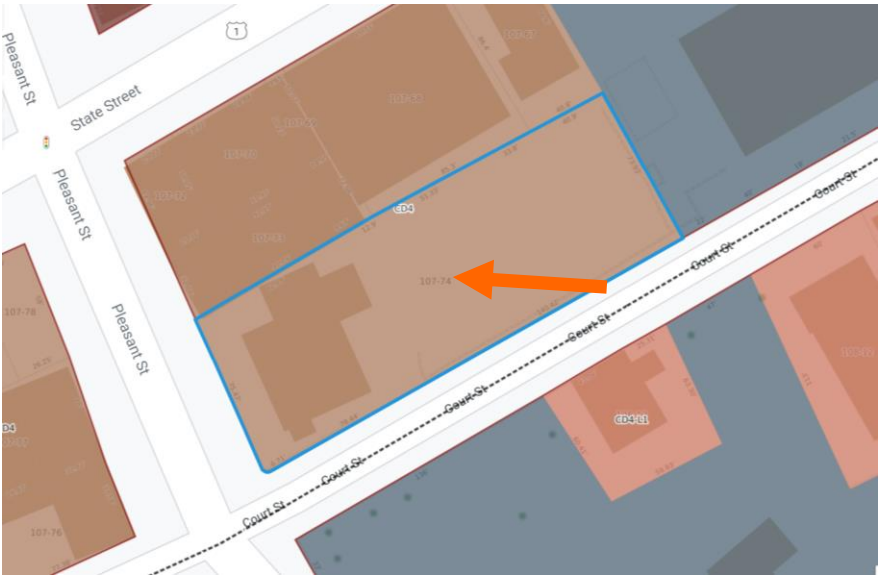
- The Applicant is seeking to:
- Add a three-story addition to the parking lot area along Court Street a connector to the Treadwell House.
 - As a response the HDC feedback in the August work session, the applicant has revised the shutter and awning design. Note that large expanse of brick above the garage door remains.
 - **The applicant is likely planning to present the materials for the project in advance of a public hearing in October.**

• **Design Guideline Reference: *Guidelines for Small-Scale New Construction and Additions (10)***

K. Aerial Images and Maps:




Renderings of the Proposed Addition and Connector Buildings



Zoning Map

**HISTORIC
SURVEY
RATING**

F

93 PLEASANT STREET (LUHD-324) – WORK SESSION #B (MAJOR)										
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: 93 PLEASANT ST. Case No.: B Date: 9-1-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>		
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)		<div>MAJOR PROJECT</div> <div>– Construct a 3 Story Addition and a Connector Building –</div>						
	2	Floor Area Ratio (GFA/ Lot Area)								
	3	Building Height / Street-Width Ratio								
	4	Building Height – Zoning (Feet)								
	5	Building Height – Street Wall / Cornice (Feet)								
	6	Number of Stories								
7	Building Coverage (% Building on the Lot)									
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS				
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		25	Storm Windows / Screens / Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No
- I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

2 RUSSELL & 0 DEER ST (LUHD-366)
CERTIFICATE OF APPROVAL
WORK SESSION #C

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD5
 - Land Use: Vacant /Parking
 - Land Area: 85,746 SF +/-
 - Estimated Age of Structure: NA
 - Building Style: NA
 - Number of Stories: NA
 - Historical Significance: NA
 - Public View of Proposed Work: View from Deer & Russell Streets & Maplewood Ave.
 - Unique Features: Surface Parking Lot
 - Neighborhood Association: North End

B. Proposed Work: To construct 2, 5 story, mixed-use buildings.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☒ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located along Maplewood Ave., Russell and Deer Streets. It is surrounded with many new and proposed infill buildings ranging from 2.5 to 5 stories in height. The neighborhood is predominantly made up of newer, 4-5 story brick structures on large lots with little to no setback from the sidewalk.

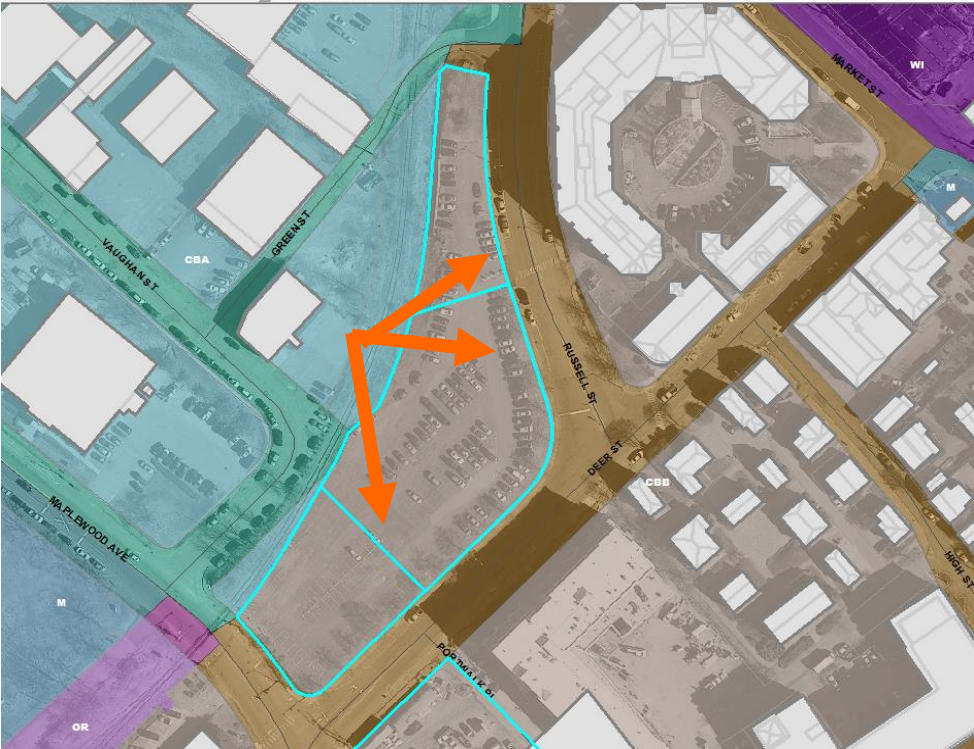
J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to construct 2 new five-story mixed-use buildings.
- The larger building has been broken into three main modules with a single recessed, ground-floor connector.
- As a response to HDC feedback the applicant has shown an option with the single story connector within the Vaughan Street view corridor removed.
- Several architectural design concepts have also been provided.

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

2 RUSSELL & 0 DEER STREET (LUHD-366) – WORK SESSION #C (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MAJOR PROJECT - CONSTRUCT A 5 STORY MIXED-USE INFILL BUILDING -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 2 RUSSELL & 0 DEER ST. Case No.: C Date: 9-1-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied

☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address: 52 PROSPECT ST. (LUHD-377)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #1

A. Property Information - General:

- Existing Conditions:**
- Zoning District: GRA
 - Land Use: Single Family
 - Land Area: 3,485 SF +/-
 - Estimated Age of Structure: c.1790
 - Building Style: Colonial
 - Number of Stories: 2
 - Historical Significance: Contributing
 - Public View of Proposed Work: View from Prospect Street
 - Unique Features: NA
 - Neighborhood Association: Christian Shore

B. Proposed Work: To construct a two-story addition (rear).

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal ☐ Accessory ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive ☒ Sensitive ☐ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☐ Minor Project (i.e. small alterations, additions or expansions)
☒ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alternations, additions or expansions)

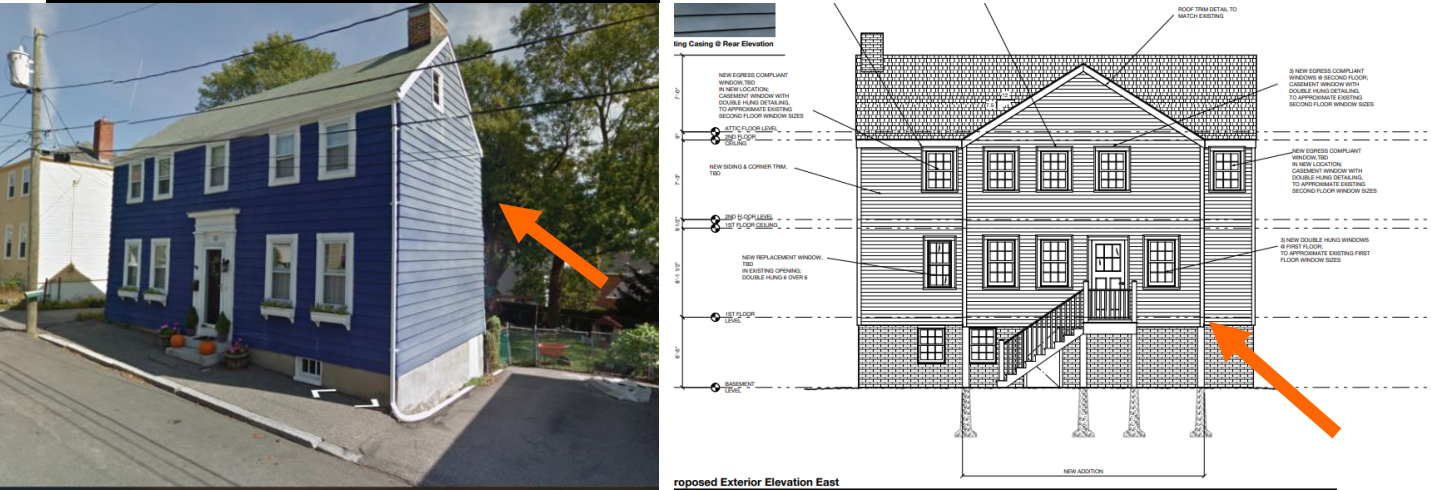
I. Neighborhood Context:

- The new building is located along Prospect Street in the Christian Shore neighborhood. It is surrounded with many contributing historic structures on a narrow street with buildings along the street with no front yard setbacks, shallow side yards and deeper rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
 - Construct a new two-story addition on the rear elevation of the building.
 - Replace the existing vinyl windows with new windows. Note that the existing casing is to remain and new egress windows are being added to meet the life-safety requirements of the code.
 - Replace the existing aluminum siding.
 - Window and siding details will be provided at the meeting.

L. Aerial Image, Street View and Zoning Map:




Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

52 PROSPECT STREET (LUHD-377) – WORK SESSION #1 (MODERATE PROJECT)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: 2 RUSSELL & 0 DEER ST. Case No.: 1 Date: 9-1-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Continued <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Postponed <input type="checkbox"/> Denied <input type="checkbox"/> Withdrawn</div> <div></div>	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)			
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)	MODERATE PROJECT - CONSTRUCT A 2 STORY ADDITION (REAR) ONLY -						
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width (ROW) Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:

☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

99 BOW STREET (LUHD-376)
CERTIFICATE OF APPROVAL
WORK SESSION #2

A. Property Information - General:

- Existing Conditions:**
- Zoning District: CD5
 - Land Use: Commercial
 - Land Area: 10,454 SF +/-
 - Estimated Age of Structure: 2010
 - Building Style: Federal Revival
 - Number of Stories: 4.5
 - Historical Significance: NA
 - Public View of Proposed Work: View from Bow Street
 - Unique Features: Recent Infill Building
 - Neighborhood Association: Downtown

B. Proposed Work: To add a new deck and dock structure.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☐ Principal
- ☒ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☐ Sensitive
- ☒ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Bow Street and is surrounded with many existing historic brick buildings ranging from 3 to 4.5 stories in height. The neighborhood is predominantly made up of brick structures on shallow lots with no setback from the sidewalk.

J. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

- Increase the size of the deck;
- Add a new deck on the western end for public use;
- Add two murals to the deck areas; and
- Install planter boxes.
- Note that no new plans have been submitted at this time. Thus, the applicant is seeking to have a discussion regarding the previous plans and the more recent letter submitted to the Commission outlining the permitting requirements and the sequencing for both local and state/ federal permits (particularly with respect to any waterway requirements from the DES or Army Corp. of Engineers).

Design Guideline Reference – Guidelines for Site Elements and Streetscapes (10) and Signs & Awnings (11).

M. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

-

99 BOW STREET (LUHD #376) – WORK SESSION #2 (MODERATE PROJECT)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT - ADD NEW DECK AND DOCK STRUCTURE ONLY -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
39	Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 99 BOW STREET Case No.: 2 Date: 9-1-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

64 Vaughan Street

Public Hearing

**LU-20-214**

Land Use Application

Status: Active**Date Created:** Oct 19, 2020**Applicant**

Erik Saari
esaari@altus-eng.com
Altus Engineering, Inc.
133 Court Street
Portsmouth, NH 03801
603-433-2335

Location

64 VAUGHAN ST
Portsmouth, NH 03801

Owner:

64 Vaughan Mall, LLC
41 Industrial Drive Exeter, NH 03833

Applicant Information**Please indicate your relationship to this project**

F. Applicant's Representative Filing on behalf of C., D. or E. above

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above



Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications



Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)



Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work



Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line



Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval



Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



Request for Extension of Previously Granted Land Use Approval

**ATTN: Historic District
Commission**

**RE: September 1, 2021 Meeting
64 Vaughan Mall Restoration
Portsmouth, NH 03801**

**Steve Wilson
Hampshire Development Corp.
41 Industrial Drive #20
Exeter, NH 03833**

**CONTACT:
Shayne Forsley
Hampshire Development Corp.
Shayne.forsley@hdcgc.net
603.997.2519**

64 Vaughan Mall

The property at 64 Vaughan Mall was acquired in September of 2020 from the Cabot House Group by the development team that successfully executed the re-development of the Connie Bean Center at 135-143 Daniel St. and The Provident Condominium at 25 Maplewood Ave. in Portsmouth. Principle Steven Wilson and Hampshire Development Corp. have operated since 1984 and have been involved in the successful construction and renovation of dozens of historic urban properties in the southeastern NH and northeastern Massachusetts regions. Our principal goal for the property at 64 Vaughan Mall will be to bring the site and existing structure up to current codes while restoring the main building to its original architecture.

Built in the late 19th century as a 3 story brick and heavy timber structure with a flat roof and full basement (36' x 75'), the building was originally owned and occupied by the Margeson Bros Furniture Co.. Early in the 20th century, the building was more than doubled in size 36' x 140' toward what is now the Worth Parking Lot with an addition constructed of essentially the same materials and form. A single story "modern" block addition with a shed roof was added mid century toward the rear facing Hanover St. and was utilized as a loading dock for shipping and receiving for Cabot Furniture. Notably, in 1993 Artist Robert Wyland received the owners permission to allow a mural of his design to be painted by a group of regional amateur artists on the side of the building facing the Worth lot. This mural quickly became a landmark of sorts referred to as the Whaling Wall. However through inappropriate preparation and application of paints, the mural has significantly deteriorated the facade of the building.

The only public access to the building is via the 75' of frontage on the Vaughan Mall leaving long expanses of blank walls along the Worth Parking Lot (145'), the rear alley (135') and the Hanover St. frontage (80') with no entry or other focal points. This provides no pedestrian interface with the building on three sides. In fact, circumnavigating the building on foot requires walking in active vehicle traffic lanes for an extended distance with no connectivity to the building or the Vaughan Mall from Maplewood Ave., Hanover St. or the rest of downtown to the West, South and Easterly directions.

The current condition of the building is widely substandard. The building in its existing condition presents many challenges to the developer, designers, and contractors associated with any renovation and

rehabilitation. The building is largely void of modern utility and mechanical systems with existing water, sewer, drainage, HVAC and fire protection all failing to meet modern standards or capacities.

The structure itself has not received any significant upgrades or improvements in over 70 years. The roof has failed in areas allowing moisture penetration and now threatens the integrity of the structure. Additionally most of the original windows have been infilled and the brick facade has been painted on four sides with a product that has trapped moisture, causing extensive spalling of the masonry. The inside of the existing structure, although retaining some very worthwhile architectural features and wide open space with high ceilings etc., is laden with asbestos and other environmental contaminants which must be removed and remediated. Finally the shape and size of the structure present a very monolithic and unappealing facade that does not enhance its surroundings, promote its history or engage the pedestrian at the street level.

In light of the building and site conditions we are uniquely qualified to rehabilitate and remediate the structure, and with the cooperation of the City, we will be able to convert this property to an attractive mixed use project that will make a significant contribution to the vibrancy of the Vaughan Mall and its strategic location in downtown Portsmouth. Our proposal will truly complement and enhance the City's architectural and historic character and contribute to its sense of place.

Currently underway, our first step is to remediate the hazardous waste conditions and perform select demolition of the interior. We are conducting tests to analyze the feasibility and best methods for removing the coatings and restore the historic facades. Our structural engineers have provided detailed analysis and preliminary plans for rehabilitation of the structure to current standards while maintaining its historic character. Our specific plan for the property is illustrated by the accompanying plans and would be to provide vehicle parking and storage in the existing basement accessed from Hanover St.. The ground floor would be developed as a commercial use as required by current zoning and with the addition of a sidewalk, entries and storefronts along the Worth Parking Lot will serve to activate the Vaughan Mall area.

The revitalization and adaptive reuse of this building will require a minor reconfiguration of parking spaces, installation of curbing, brick sidewalks and landscaping in and adjacent to the Worth Lot. It will thus require the support and approval of the City. The results and impacts as illustrated by the attached site plan and elevations will be profoundly positive for the Worth Lot and Vaughan Mall. No net loss of

parking, improvements in ADA compliance for pedestrians and handicap parking, creation of significant green space annexed to the Vaughan Mall and completion of the pedestrian connection from Hanover St., Maplewood Ave., Worth Lot to the Vaughan Mall and their adjacent businesses are some of the highlights of our plan. It will balance the pedestrian and vehicular experience for this active area with no functional downside to either. Additionally, we propose to reactivate the existing infilled windows with new windows and doors being added to the previously blank wall (along the Worth Lot side of the building) with an emphasis on maintaining the historic value in form and function on all sides of the building.

To address the disproportionate massing of the existing buildings, we have transitioned the rear facade of the building to a different style to differentiate the two buildings adding texture and interest to the continuous wall plane. Importantly, a significant portion of the rear building facade was constructed of poured concrete and was covered by an attached building having no relationship to the architecture of the main building.

In closing we are extremely excited to begin the process of working with the City to design and redevelop this significant property to better serve the community and its future occupants. To that end we are looking forward to listening to your input and ideas as we continue to refine the building and site designs.

Warm Regards

Steven Wilson

64 VAUGHAN MALL BUILDING RESTORATION

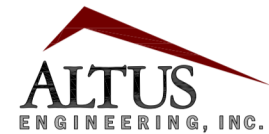
Owner:
64 Vaughan Mall, LLC

41 Industrial Drive
Exeter, NH 03833

Applicant:
Hampshire
Development Corp.

41 Industrial Drive
Exeter, NH 03833
(603) 778-9999

Civil Engineer:



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

Architect:
JSA Design

273 Corporate Drive, Suite 100
Portsmouth, NH 03801
(603) 436-2551

Surveyor:

James Verra
& Associates Inc.
LAND SURVEYORS

101 SHATTUCK WAY, SUITE 8
Newington, New Hampshire
03801-7876
Tel 603-436-3557

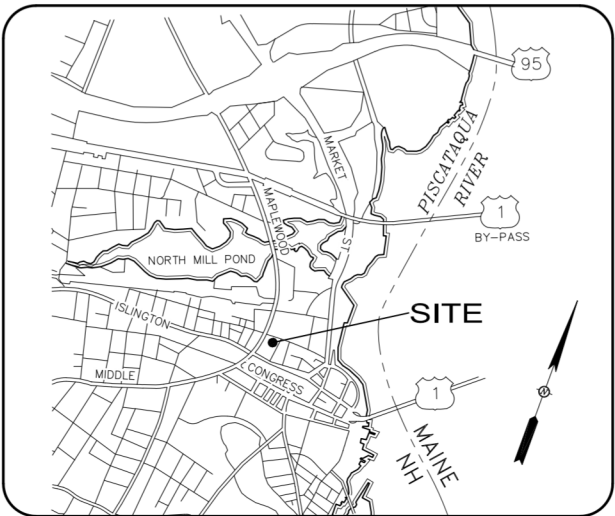
64 Vaughan Mall,
Portsmouth, New Hampshire

Assessor's Parcel 126, Lot 1

Issued for: TAC

Plan Issue Date:

June 21, 2021



LOCUS MAP
Not to Scale

Table of Contents

Aerial Photograph
Margeson Bros. Furniture Photograph
64 Vaughan Mall Photograph
64 Vaughan Mall Perspective Photographs
Existing Conditions
Site Plan - Proposed
Architectural Plans - Proposed
Materials - Proposed
Spacing & Massing - Elevation Study

Sheet No.

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3A
4
5
A1 - A14
M1 - M7
6



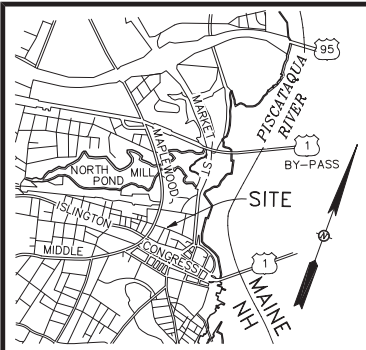
Aerial Photograph of 64 Vaughan Mall Property



Margeson Bros. Furniture Store; Photograph circa ~1910-1920







TEMPORARY BENCHMARK TABLE

TBM#	DESCRIPTION	ELEV.
1	SURVEY NAIL SET IN TOP OF GRANITE CURBING	12.81
2	BOLT W/ "X" OUT - HYDRANT TOP FLANGE	13.58
3	SURVEY NAIL SET IN TOP OF TRANSFORMER PAD	17.71
4	TOP RIGHT OUTSIDE CORNER OF CONCRETE STEP	15.62

DRAIN TABLE

CB# 1	RIM EL= 17.62
CB# 2	RIM EL= 13.77
(1) INV OUT 12"RCP=	10.12
CB# 3	RIM EL= 11.98
(1) INV OUT 12"HDPE=	7.74
CB# 4	RIM EL= 9.57
(1) INV OUT 12"PVC=	7.32±
W/ TRAP ON OUTLET	

DMH# 1	RIM EL= 13.75
(1) 12"RCP (PLUGGED)	
(2) INV IN 12"RCP=	9.76
(3) INV IN 18"RCP=	8.75
(4) 12"RCP (PLUGGED)	
(5) INV OUT 12"RCP=	8.77

SEWER TABLE

SMH# 1	RIM EL= 11.80
(1) INV OUT 4"PVC FM=	7.47
SMH# 2	RIM EL= 11.53
(COULD NOT OPEN)	
SMH# 1567	RIM EL= 12.96
(1) PLUGGED	
(2) INV IN 12"RCP=	5.19
(3) INACTIVE	
(4) INV OUT 12"_____	4.71

LEGEND:

110-5	TAX SHEET - LOT NUMBER
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
RCSC	ROCKINGHAM COUNTY SUPERIOR COURT
VGC	VERTICAL FACED GRANITE CURB
RWBL	MODULAR BLOCK RETAINING WALL
Ⓚ	PARK METER KIOSK
Ⓢ	BOLLARD
Ⓣ	SIGN
Ⓤ	HANDICAP SPACE
Ⓦ	LIGHT POLE
Ⓧ	UTILITY POLE WITH ARM & LIGHT
Ⓨ	ELECTRICAL MANHOLE
Ⓩ	ELECTRICAL CONDUIT
ⓛ	ELECTRIC METER
ⓞ	GAS SHUT OFF
ⓟ	GAS VALVE
ⓠ	WATER GATE VALVE
ⓡ	WATER SHUT OFF VALVE
ⓢ	HYDRANT
ⓣ	FIRE CONNECTION
ⓤ	CATCH BASIN
ⓖ	DRAIN MANHOLE
ⓗ	ROOF DOWNSPOUT
ⓙ	SEWER MANHOLE
ⓚ	DECIDUOUS TREE
ⓛ	CONIFEROUS SHRUB
ⓜ	DECIDUOUS SHRUB
ⓝ	WATER LINE
ⓞ	SEWER LINE
ⓟ	DRAIN LINE
ⓠ	GAS LINE
ⓡ	UNDERGROUND ELECTRIC
ⓢ	UNDERGROUND COMMUNICATIONS
ⓣ	CEMENT CONCRETE
ⓤ	BRICK PAVERS
ⓖ	RETAINING WALL
ⓗ	LANDSCAPED AREA
ⓙ	SPOT GRADE
ⓚ	SEE SIGNAGE TABLE
ⓛ	SEE BUILDING ELEVATION TABLE
ⓜ	EXISTING TRAFFIC FLOW SYMBOL

VAUGHAN MALL
f.k.a. VAUGHAN STREET
(A PUBLIC WAY - VARIABLE WIDTH)

LINE	BEARING	DISTANCE
L1	N 48°33'05" E	20.00
L2	N 49°44'19" E	19.83
L3	N 61°31'47" E	1.00
L4	S 49°44'19" W	20.06

ABUTTERS LIST

MAP-LOT	OWNER OF RECORD	DEED REF.
117-2	JAMER REALTY, INC. 80 HANOVER ST, PORTSMOUTH, NH 03801	3093/1283
117-4	SJW LTD C/O GENE FISK & ASSOCIATES, LLC 4 GREENLEAF WOODS DR, SUITE 102 PORTSMOUTH, NH 03801	2574/495
125-1	PARADE OFFICE, LLC C/O GATHARTS, PRIVATE INVESTMENTS 31 MILK STREET, SUITE 501, BOSTON, MA 02109	N/A
126-1A	NORTHERN TIER REAL ESTATE ACQUISITION & DEVELOPMENT, LLC C/O JOHN J. DUSSI 4 MOODY LN, WEST NEWBURY, MA 01985	4814/563
126-2	25 MAPLEWOOD AVENUE, LLC 41 INDUSTRIAL DR, EXETER, NH 03833	6068/2230
126-3	CITY OF PORTSMOUTH 1 JUNKINS AVE, PORTSMOUTH, NH 03801	4701/534

NOTES:

- OWNER OF RECORD.....BENDETSON-PORTSMOUTH REALTY TRUST C/O CABOT HOUSE, INC., 10 INDUSTRIAL WAY, AMESBURY, MA 01913
ADDRESS.....2402/1201
DEED REFERENCE.....126-1
TAX SHEET / LOT.....
- THIS PLAN IS BASED ON A FIELD SURVEY BY JAMES VERRA AND ASSOCIATES, INC. 3/2014, 4/2017 & 12/2019. ON SITE CONTROL ESTABLISHED USING SURVEY GRADE GPS UNITS. HORIZONTAL DATUM: NAD 1983 (1986 ADJUSTMENT) PRIMARY BM: NHDOT 379-0150 (PORTSMOUTH TRAFFIC CIRCLE) VERTICAL DATUM: NAVD 1988 PRIMARY BM: CITY CONTROL POINT "ALBA"
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE SETTING OR ESTABLISHMENT OF ANY GRADES/ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOC., INC.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- SEE ROCKINGHAM COUNTY SUPERIOR COURT NOTICE OF DECISION DATED 3/18/2015, RCRD BOOK 5626, PAGE 1529. ALSO SEE STIPULATION DATED 1/30/2015, RCRD BOOK 5626, PAGE 1531.
- THE SUBJECT TRACT LIES IN ZONE X (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP 33015C0259E, EFFECTIVE DATE MAY 17, 2005, BY FEMA.

REFERENCE PLANS:

- PLAT OF LAND, 64 VAUGHAN MALL, PORTSMOUTH, N.H., FOR BENDETSON-PORTSMOUTH REALTY TRUST, REVISED TO 9/17/2018, RCRD PLAN D-41080.
- CONDOMINIUM SITE PLAN, THE PROVIDENT CONDOMINIUM, 25 MAPLEWOOD AVENUE, PORTSMOUTH, N.H., FOR 25 MAPLEWOOD AVENUE, LLC., DATED 12/20/2019, RCRD PLAN D-41922.
- EXISTING CONDITIONS PLAN, PROPOSED SITE DEVELOPMENT PLANS, 25 MAPLEWOOD AVENUE, PORTSMOUTH, N.H., BY JAMES VERRA AND ASSOCIATES, INC., DATED 4/18/2017, NOT RECORDED.

PRELIMINARY
SUBJECT TO CHANGE

SURVEYOR:

James Verra and
Associates, Inc.
LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801- 7876
603-436-3557
JOB NO: 23524-A
PLAN NO: 23524-A

ENGINEER:

ALTUS
ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:

ENGINEERING REVIEW

ISSUE DATE:

PRELIMINARY

REVISIONS

NO. DESCRIPTION	BY	DATE
0 ENGINEERING REVIEW	JV	2/3/20

DRAWN BY:

JCS

APPROVED BY:

JV

DRAWING FILE:

23524-A.DWG

SCALE:

22" x 34" - 1" = 20'
11" x 17" - 1" = 40'

OWNER:

BENDETSON-PORTSMOUTH
REALTY TRUST
C/O CABOT HOUSE, INC.
10 INDUSTRIAL WAY
AMESBURY, MA 01913

ASSESSOR'S PARCEL
126-1

PROJECT:

PROPOSED SITE
DEVELOPMENT
PLANS

64 VAUGHAN MALL
PORTSMOUTH, N.H.

ASSESSOR'S PARCEL
126-1

TITLE:

EXISTING
CONDITIONS
PLAN

SHEET NUMBER:

Sheet 4

P5042

APPROVED BY THE PORTSMOUTH PLANNING BOARD

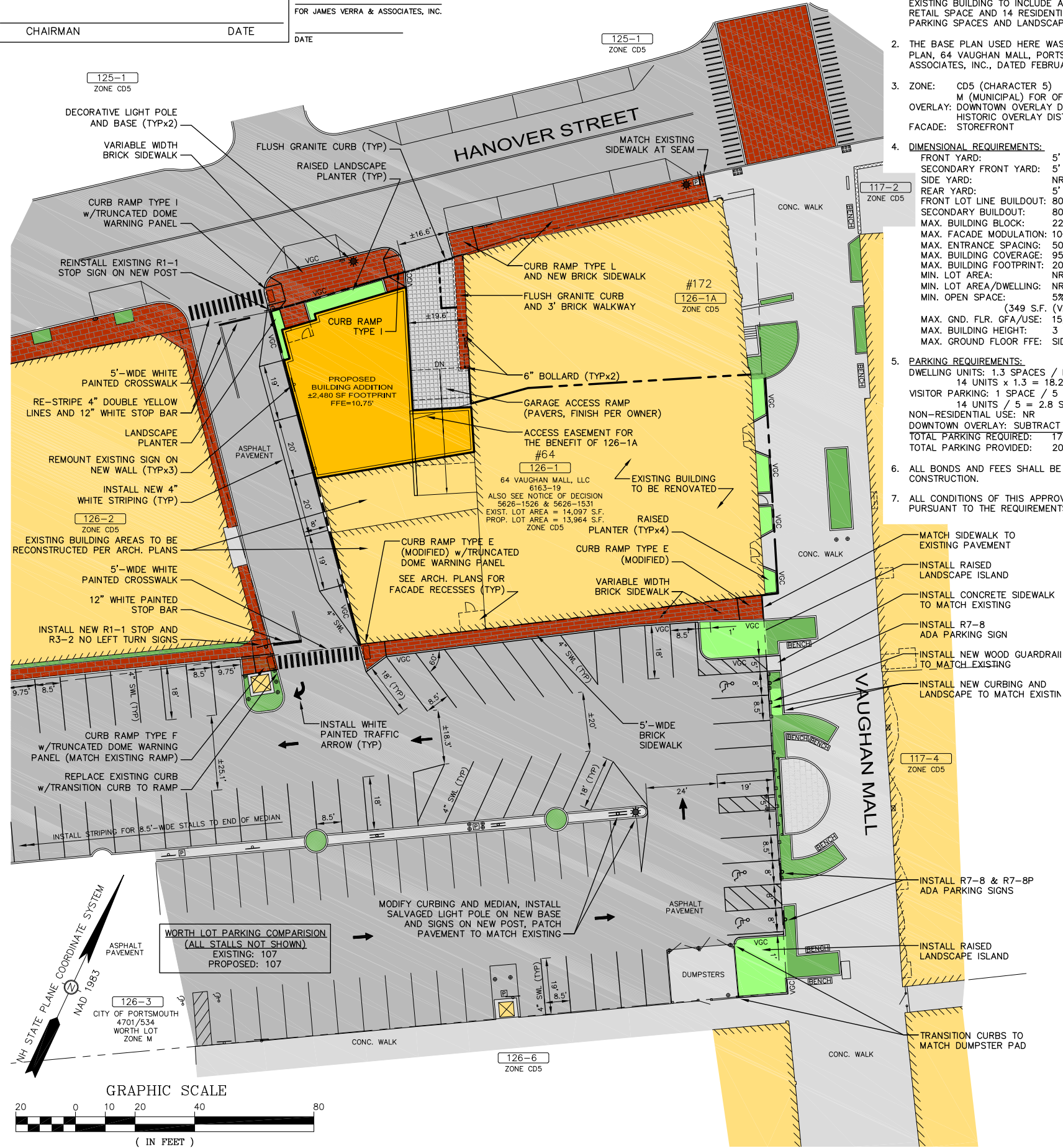
THE SOLE PURPOSE OF THIS PLAN IS TO DEPICT THE LOCATION OF EXISTING AND PROPOSED IMPROVEMENTS ON THE SITE. RECORDING OF THIS PLAN WAS A REQUIREMENT OF THE PORTSMOUTH PLANNING BOARD AS PART OF THEIR APPROVAL.

FOR JAMES VERRA & ASSOCIATES, INC.

CHAIRMAN

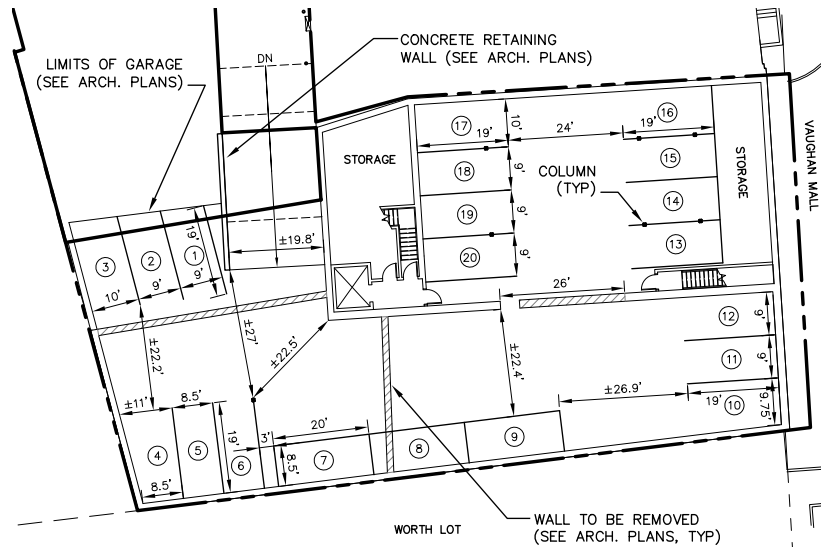
DATE

DATE



NOTES

- DESIGN INTENT - THIS PLAN IS INTENDED TO DEPICT THE RETROFIT OF THE EXISTING BUILDING TO INCLUDE AN ADDITION, UNDERGROUND PARKING GARAGE, RETAIL SPACE AND 14 RESIDENTIAL UNITS ALONG WITH A SIDEWALK, MODIFIED PARKING SPACES AND LANDSCAPE ISLANDS ON THE ADJUTING WORTH LOT.
- THE BASE PLAN USED HERE WAS DEVELOPED FROM "EXISTING CONDITIONS PLAN, 64 VAUGHAN MALL, PORTSMOUTH, NH" BY JAMES VERRA AND ASSOCIATES, INC., DATED FEBRUARY 3, 2020.
- ZONE: CD5 (CHARACTER 5)
M (MUNICIPAL) FOR OFFSITE IMPROVEMENTS ON WORTH LOT
OVERLAY: DOWNTOWN OVERLAY DISTRICT
HISTORIC OVERLAY DISTRICT
FACADE: STOREFRONT
- | DIMENSIONAL REQUIREMENTS: | EXISTING | PROPOSED |
|---------------------------|--|--------------|
| FRONT YARD: | 5' MAX. | 4.3' |
| SECONDARY FRONT YARD: | 5' MAX. | 58.1' |
| SIDE YARD: | NR | 0' |
| REAR YARD: | 5' | 0.15' |
| FRONT LOT LINE BUILDOUT: | 80% WIDTH MIN. | 100% |
| SECONDARY BUILDOUT: | 80% WIDTH MIN. | 0% |
| MAX. BUILDING BLOCK: | 225' | 80% (47') |
| MAX. FACADE MODULATION: | 100' | |
| MAX. ENTRANCE SPACING: | 50' | |
| MAX. BUILDING COVERAGE: | 95% | 70.0% |
| MAX. BUILDING FOOTPRINT: | 20,000 S.F. | 10,008 S.F. |
| MIN. LOT AREA: | NR | 14,097 S.F. |
| MIN. LOT AREA/DWELLING: | NR | |
| MIN. OPEN SPACE: | 5% | 0% (0 SF) |
| | (349 S.F. (VAUGHAN)) + 349 S.F. (HANOVER) = 698 S.F. | 5% (698 SF) |
| MAX. GND. FLR. GFA/USE: | 15,000 S.F. | ±10,014 S.F. |
| MAX. BUILDING HEIGHT: | 3 STORIES OR 40' | ±40' |
| MAX. GROUND FLOOR FFE: | SIDEWALK GRADE +3' | |
- | PARKING REQUIREMENTS: | EXISTING | PROPOSED |
|--|-------------------------|----------|
| DWELLING UNITS: 1.3 SPACES / DWELLING UNIT OVER 750 S.F. | | |
| 14 UNITS x 1.3 = 18.2 SPACES REQUIRED | | |
| VISITOR PARKING: 1 SPACE / 5 DWELLING UNITS (FOR LOT w/OVER 4 UNITS) | | |
| 14 UNITS / 5 = 2.8 SPACES REQUIRED | | |
| NON-RESIDENTIAL USE: NR | | |
| DOWNTOWN OVERLAY: SUBTRACT 4 SPACES/LOT | | |
| TOTAL PARKING REQUIRED: | 17 SPACES | |
| TOTAL PARKING PROVIDED: | 20 SPACES (UNDERGROUND) | |
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- ALL CONDITIONS OF THIS APPROVAL SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- AREA OF DISTURBANCE IS UNDER 43,560 SF, COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT IS NOT REQUIRED.
- PAVEMENT MARKINGS SHALL BE CONSTRUCTED USING WHITE, YELLOW, OR BLUE TRAFFIC PAINT (WHERE SPECIFIED) MEETING THE REQUIREMENTS OF AASHTO M248, TYPE F OR EQUAL. PAINTED ISLANDS AND LOADING ZONES SHALL BE 4"-WIDE DIAGONAL WHITE LINES 3'-0" O.C. BORDERED BY 4"-WIDE WHITE LINES. PARKING STALLS SHALL BE SEPARATED BY 4"-WIDE WHITE LINES. SEE DETAILS FOR HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS. PAVEMENT MARKINGS SHALL BE INSTALLED AT LEAST 14-DAYS AFTER INSTALLATION OF WEARING COURSE PAVEMENT. CONTRACTOR SHALL APPLY TWO (2) COATS OF ALL PAVEMENT MARKINGS.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
- UNLESS OTHERWISE NOTED, ALL NEW CURBING SHALL BE VERTICAL GRANITE WITH A MINIMUM RADIUS OF 4'.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF BOTH THE ARCHITECT AND CIVIL ENGINEER FOR RESOLUTION.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- SITWORK CONTRACTOR SHALL PREPARE A STAMPED AS-BUILT SITE PLAN STAMPED BY A LICENSED LAND SURVEYOR (LLS) & PROVIDE A DIGITAL (CAD FORMAT) COPY FOR THE CITY'S G.I.S. DATA BASE.
- TRASH AND RECYCLING SHALL BE STORED INSIDE BUILDING.
- THIS DEVELOPMENT IS SUBJECT TO LICENSING AGREEMENTS w/THE PORTSMOUTH CITY COUNCIL.
- RESTAURANTS SHALL NOT OCCUPY BUILDING WITHOUT THE INSTALLATION OF A GREASE TRAP MEETING CITY CODE.
- ALL SIDEWALKS TO BE CONSTRUCTED WITHIN PROJECT LIMITS SHALL BE BRICK. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PORTSMOUTH DPW TO CONFIRM BRICK SPECIFICATIONS.
- STREET ADDRESSES FOR EACH USE SHALL BE DETERMINED BY PORTSMOUTH FIRE DEPARTMENT & DPW.
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN AREAS SHOWN ON THE PLAN, OR TRUCKED OFF SITE.
- | BUILDING USES BY FLOOR (BY FOOTPRINT, ACTUAL SPACE MAY VARY): | EXISTING | PROPOSED |
|---|--------------------------|----------|
| BASEMENT: | ±9,326 S.F. PARKING | |
| FLOOR 1: | ±12,334 S.F. RETAIL | |
| FLOORS 2-4: | ±12,488 S.F. RESIDENTIAL | |
| TOTAL: | ±34,148 S.F. | |



BASEMENT GARAGE PARKING LAYOUT

ALTUS
ENGINEERING, INC.

133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR:

TAC

ISSUE DATE:

JUNE 21, 2021

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	CLIENT REVIEW	EBS	05/21/20
1	TAC WORK SESSION	EBS	07/07/20
2	TAC	EBS	10/19/20
3	PB CONSULTATION	EBS	12/30/20
4	REV. BLDG. HEIGHT	EBS	01/26/21
5	TAC	EBS	03/22/21
6	REV. FOOTPRINT FOR HDC	EBS	04/08/21
7	TAC	EBS	04/19/21
8	TAC	EBS	05/19/21
9	TAC	EBS	06/21/21

DRAWN BY: EBS

APPROVED BY: EDW

DRAWING FILE: 5042-SITE.dwg

SCALE: 22"x34" 1" = 20'

11"x17" 1" = 40'

OWNER:

64 VAUGHAN MALL, LLC

41 INDUSTRIAL DRIVE
EXETER, NH 0383

APPLICANT:

HAMPSHIRE
DEVELOPMENT CORP.

41 INDUSTRIAL DRIVE
EXETER, NH 03833

PROJECT:

64 VAUGHAN MALL
BUILDING RESTORATION

TAX MAP 126, LOT 1

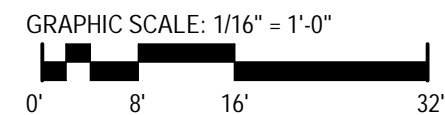
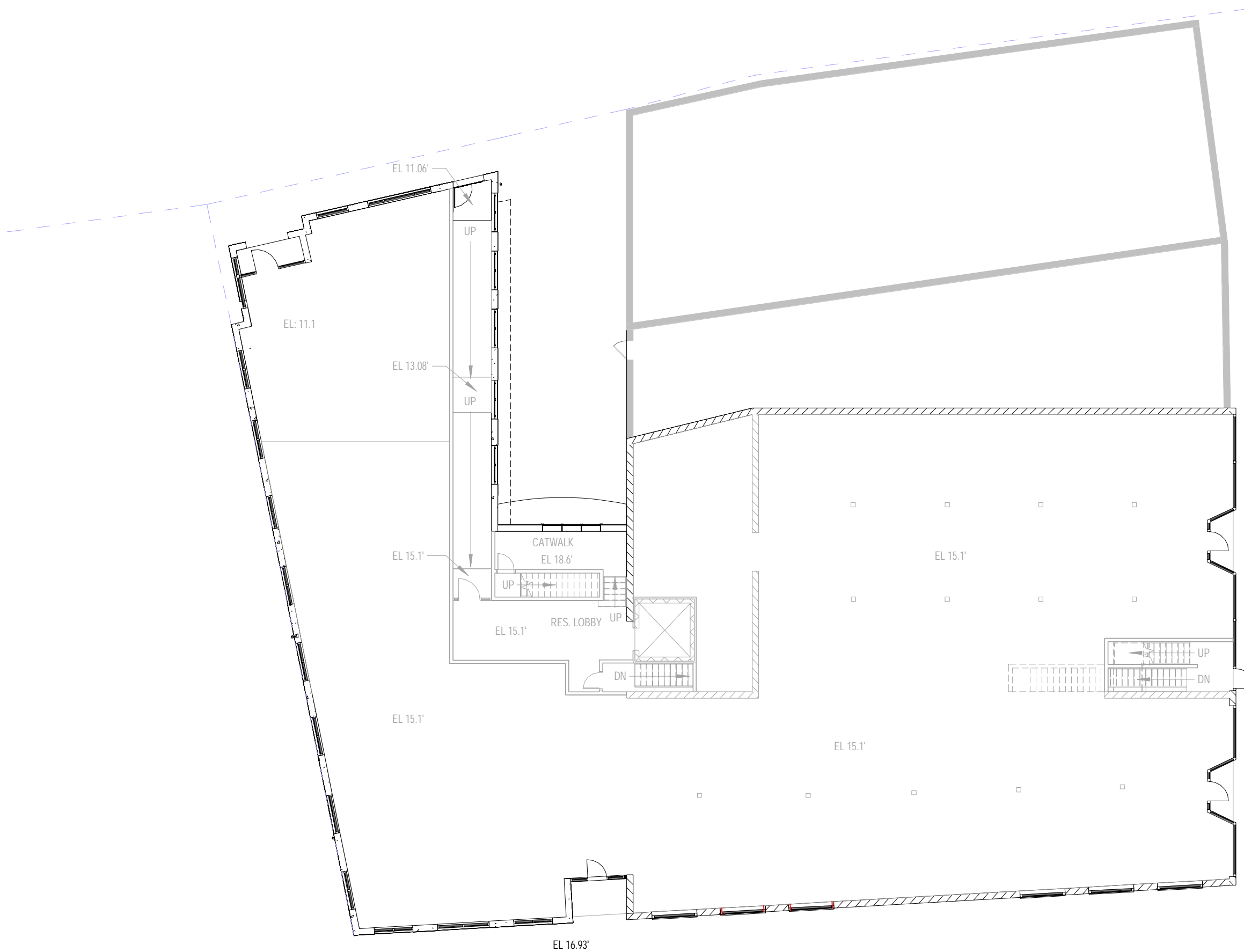
64 VAUGHAN MALL
PORTSMOUTH, NH 03801

TITLE:

SITE PLAN

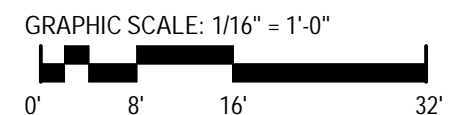
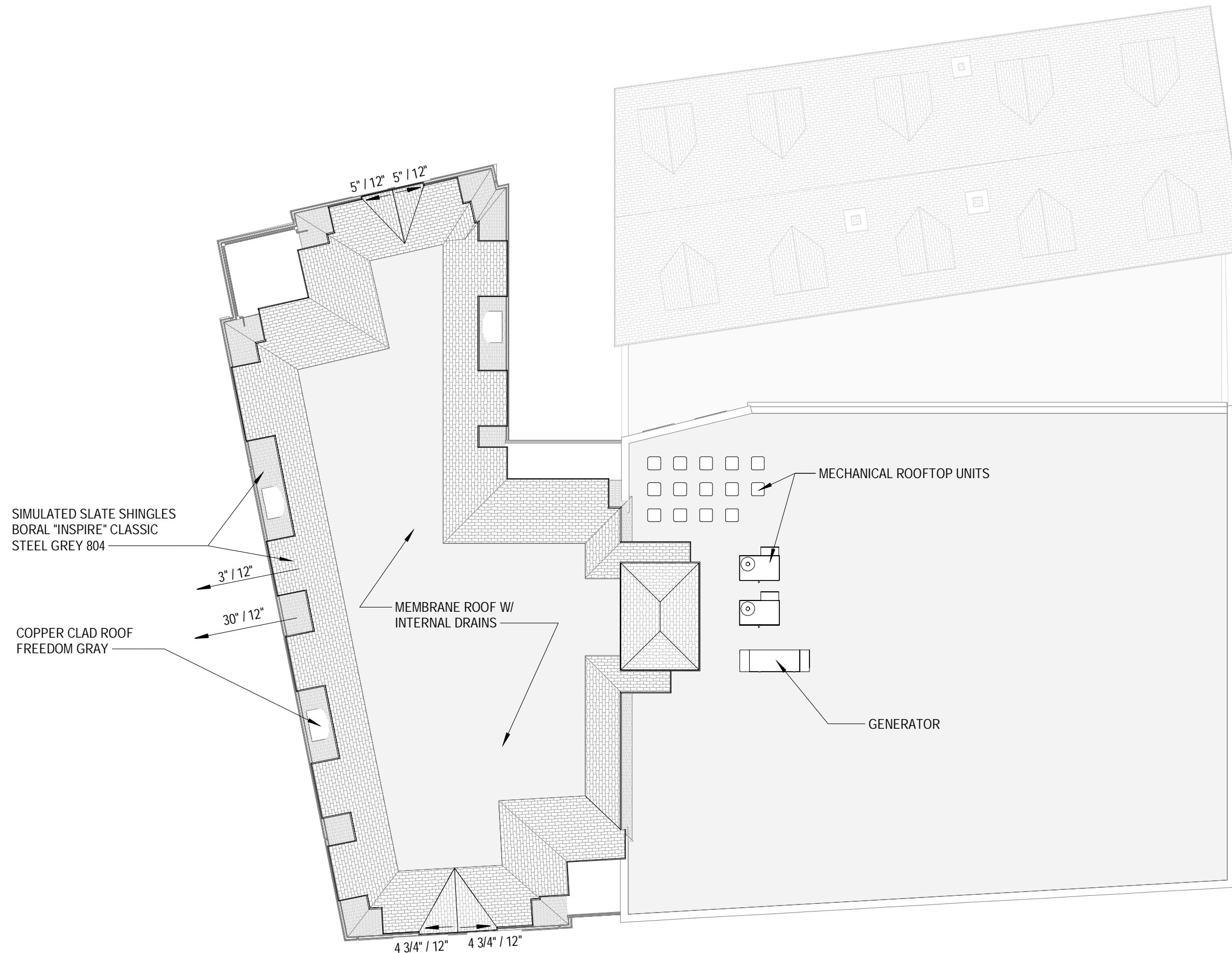
SHEET NUMBER:

Sheet 5



A1

FIRST FLOOR PLAN
64 Vaughan Mall
08/20/2021
SCALE: 1/16" = 1'-0"



A2

ROOF PLAN
64 Vaughan Mall
 08/20/2021
 SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION
1/16" = 1'-0"

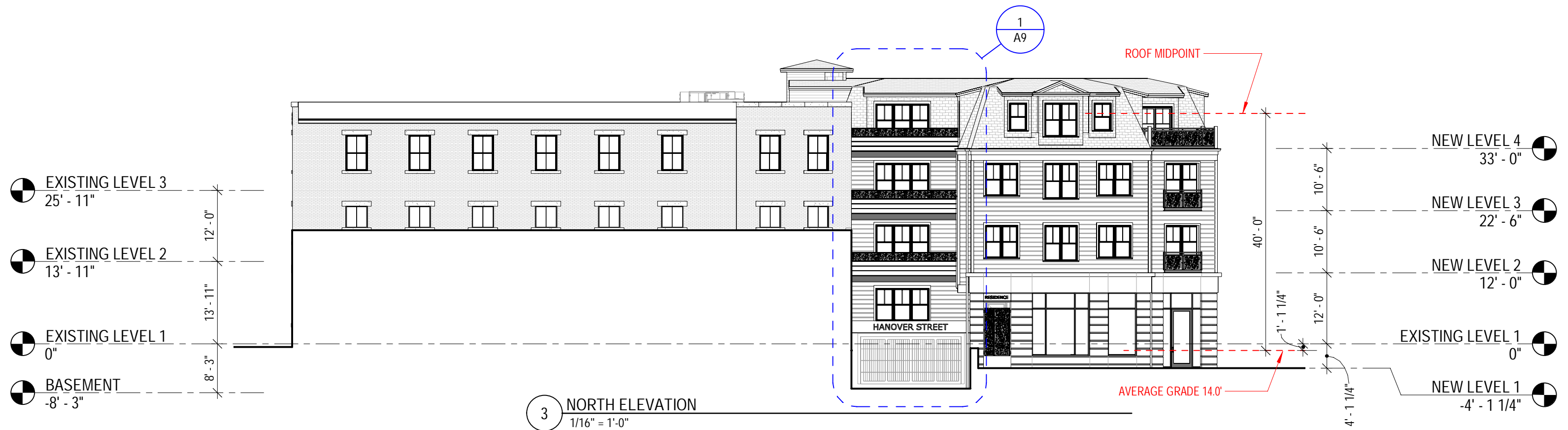


2 EAST ELEVATION
1/16" = 1'-0"

A3

EXTERIOR ELEVATIONS 64 Vaughan Mall

08/20/2021
SCALE: 1/16" = 1'-0"



A4

EXTERIOR ELEVATIONS

64 Vaughan Mall

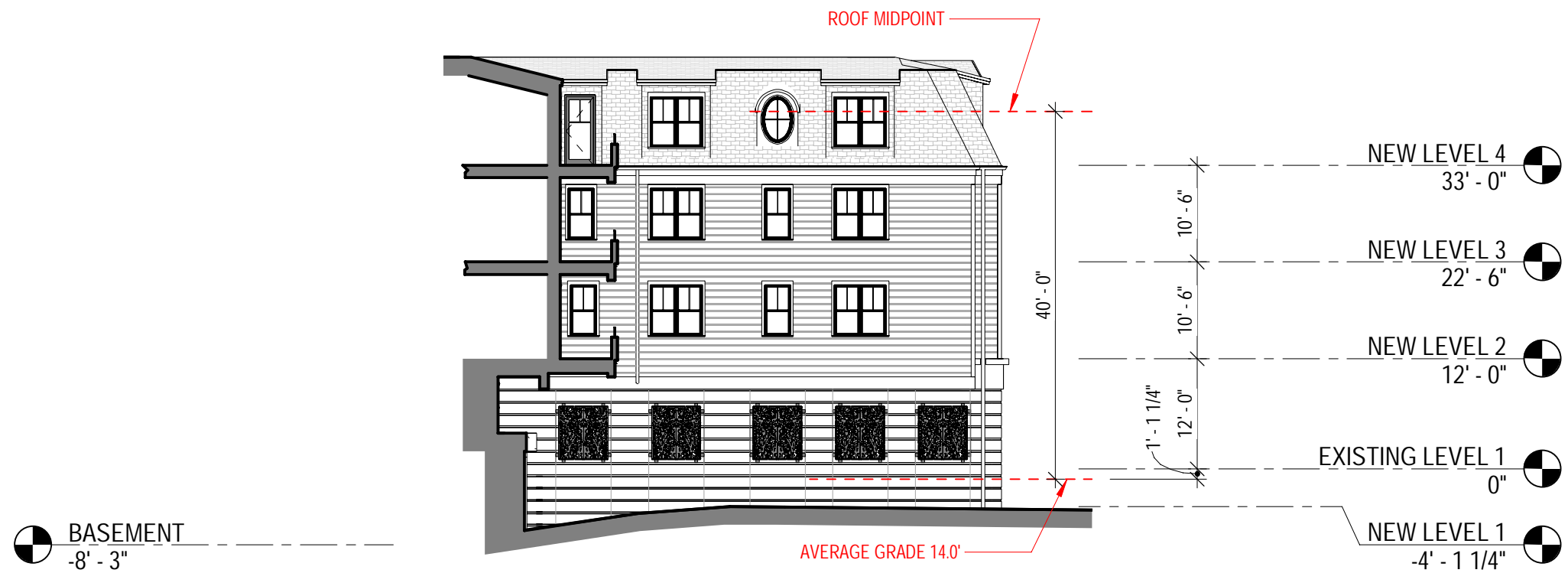
08/20/2021

SCALE: 1/16" = 1'-0"



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5 EXTERIOR ELEVATIONS - EAST ELEVATION @ DRIVEWAY
1/16" = 1'-0"

A4.2

EXTERIOR ELEVATIONS 64 Vaughan Mall

08/20/2021

SCALE: 1/16" = 1'-0"



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2 VIEW 02



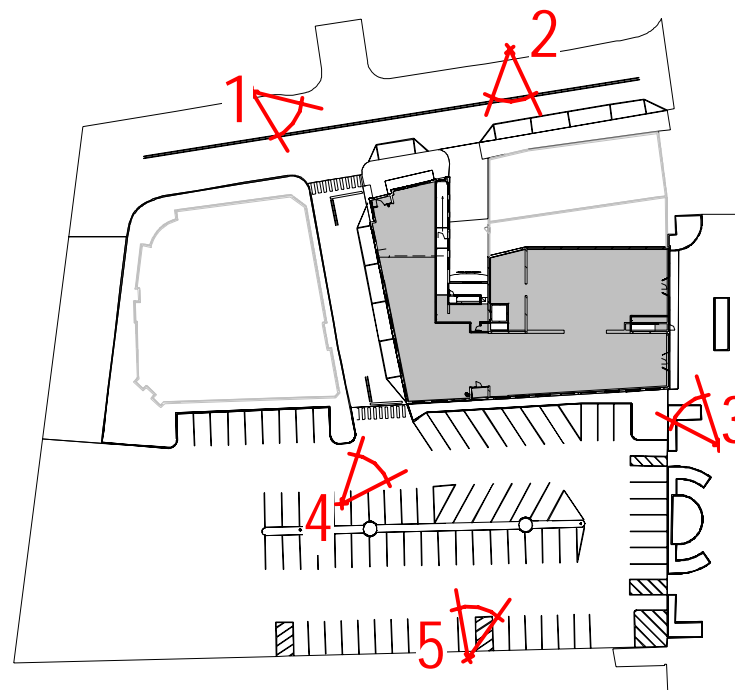
3 VIEW 03



4 VIEW 04



1 VIEW 01



P LEVEL 1 - PERSPECTIVE PLAN
1" = 100'-0"



5 VIEW 05

A5 PERSPECTIVE VIEWS
64 Vaughan Mall
08/20/2021
SCALE: 1" = 100'-0"



A5.1

ENLARGED HANOVER ST VIEW 01
64 Vaughan Mall

08/20/2021
SCALE:



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A5.2

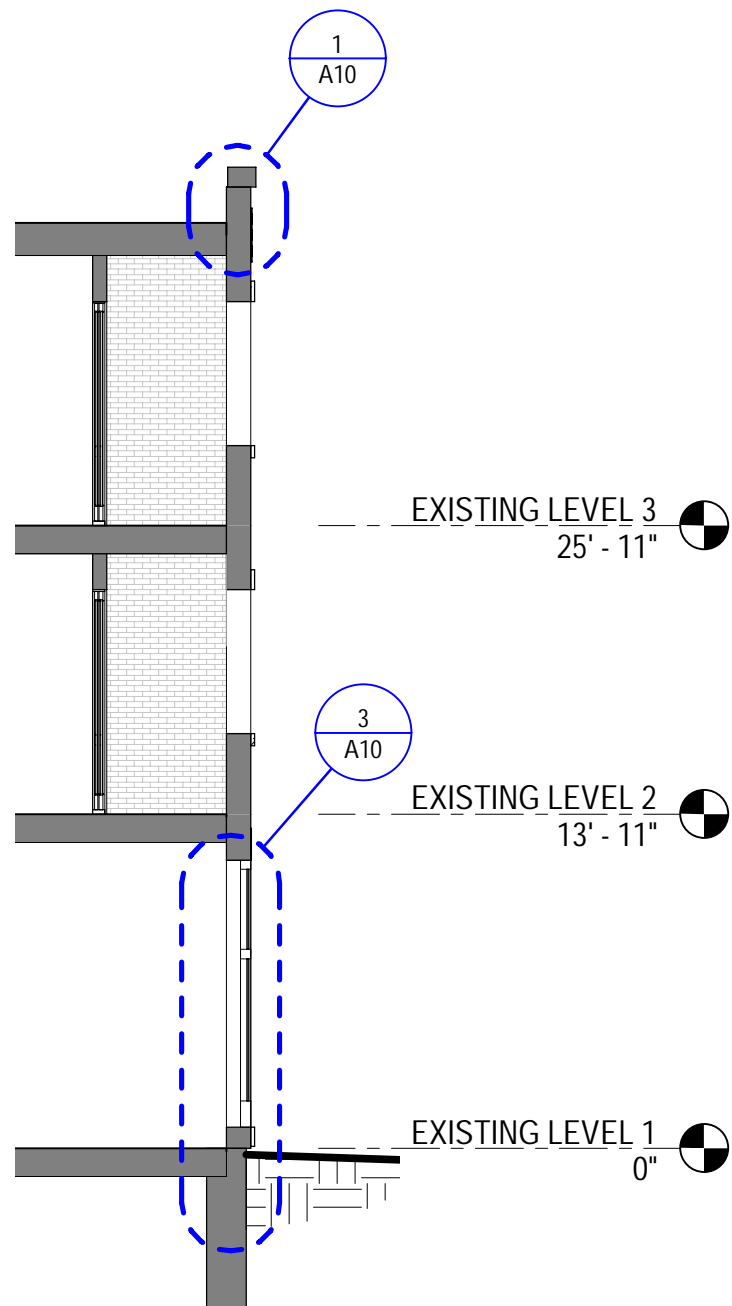
ENLARGED HANOVER ST VIEW 02
64 Vaughan Mall

08/20/2021
SCALE:

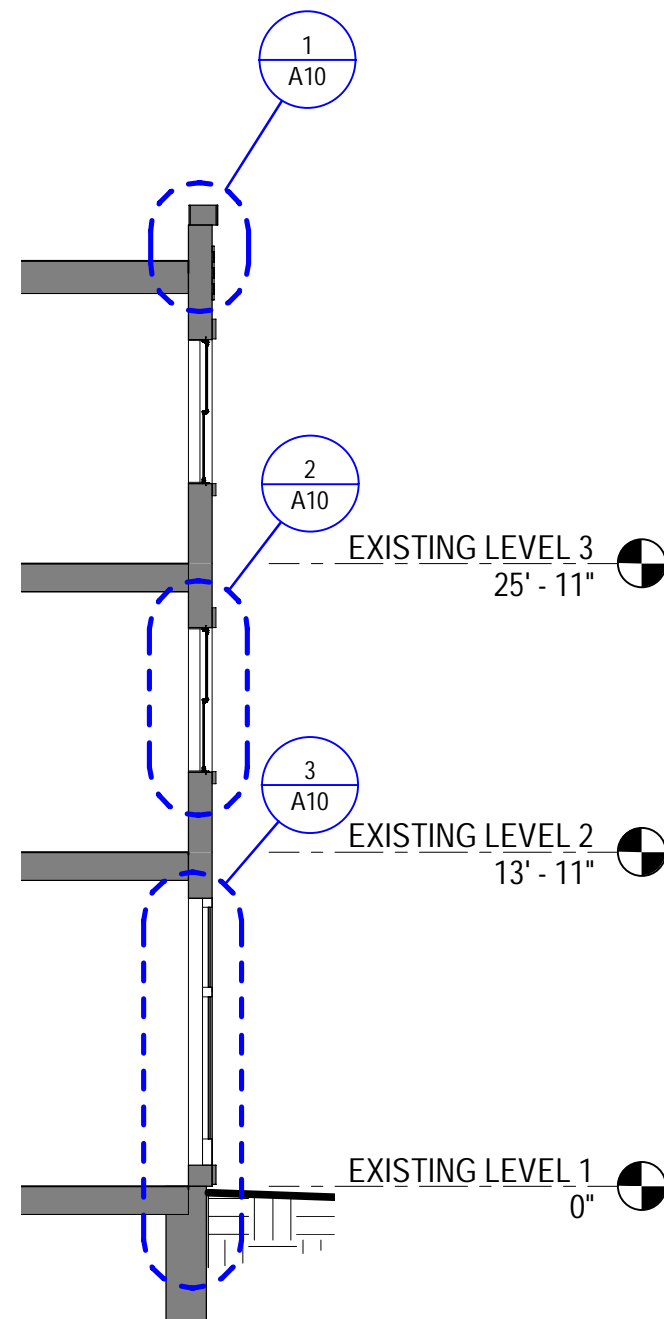


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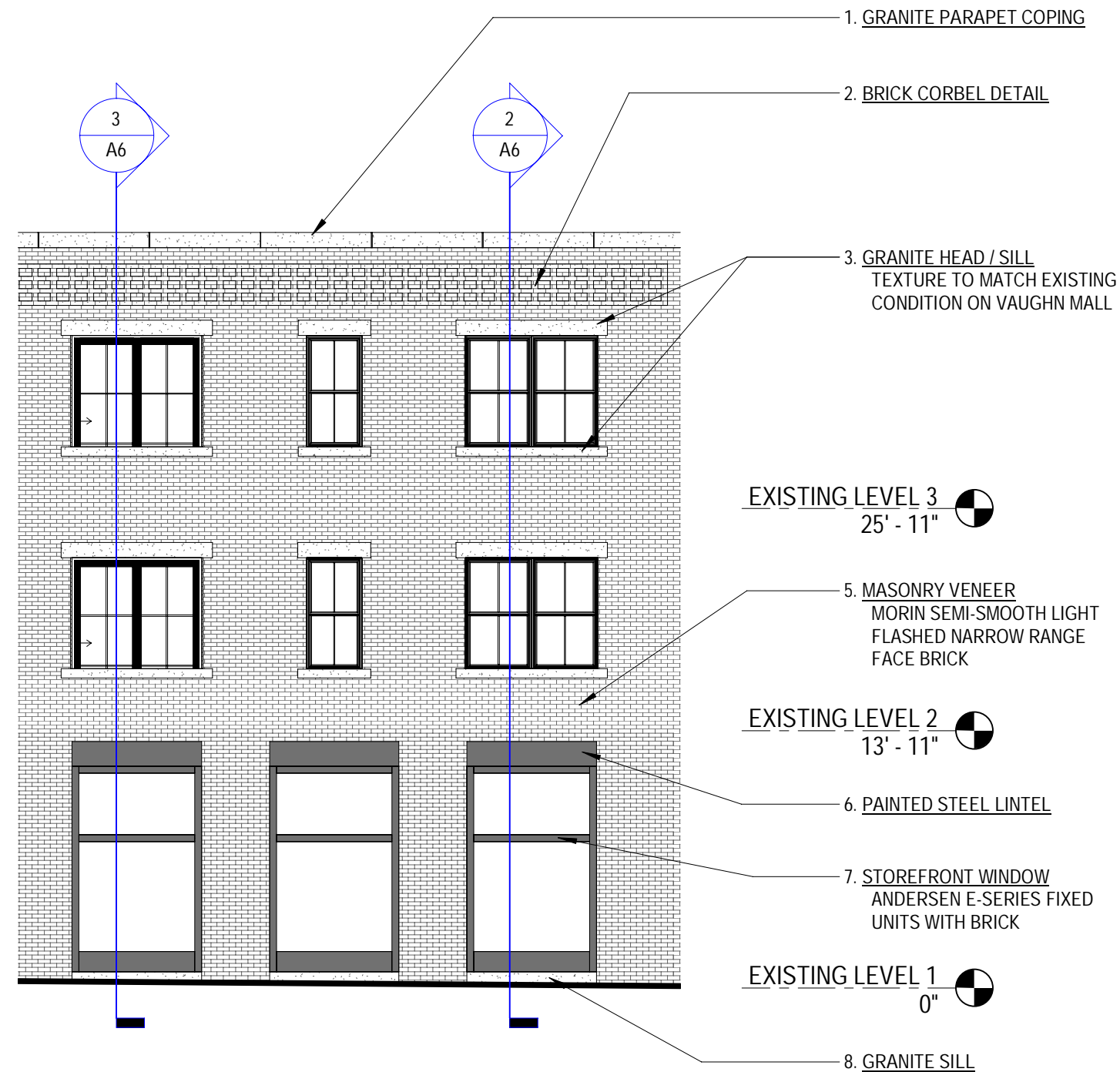
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3 EXISTING BUILDING SECTION - RECESSED DECK
1/8" = 1'-0"



2 EXISTING BUILDING SECTION
1/8" = 1'-0"

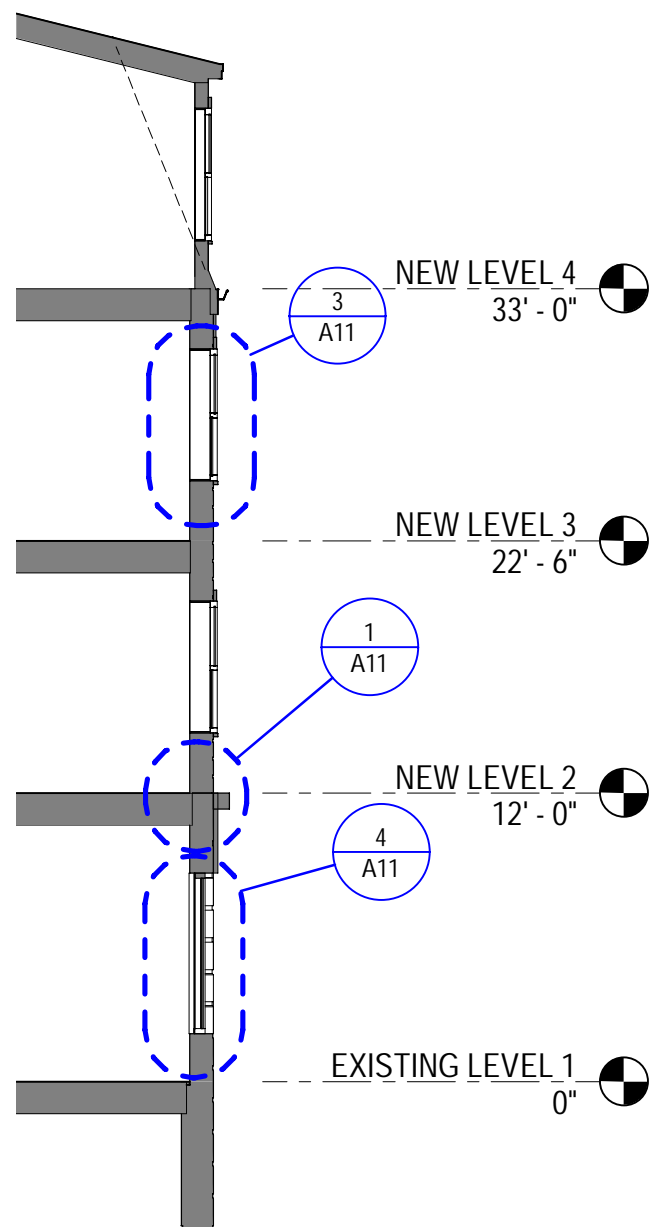


1 PARTIAL EXISTING ELEVATION - SOUTH ELEVATION
1/8" = 1'-0"

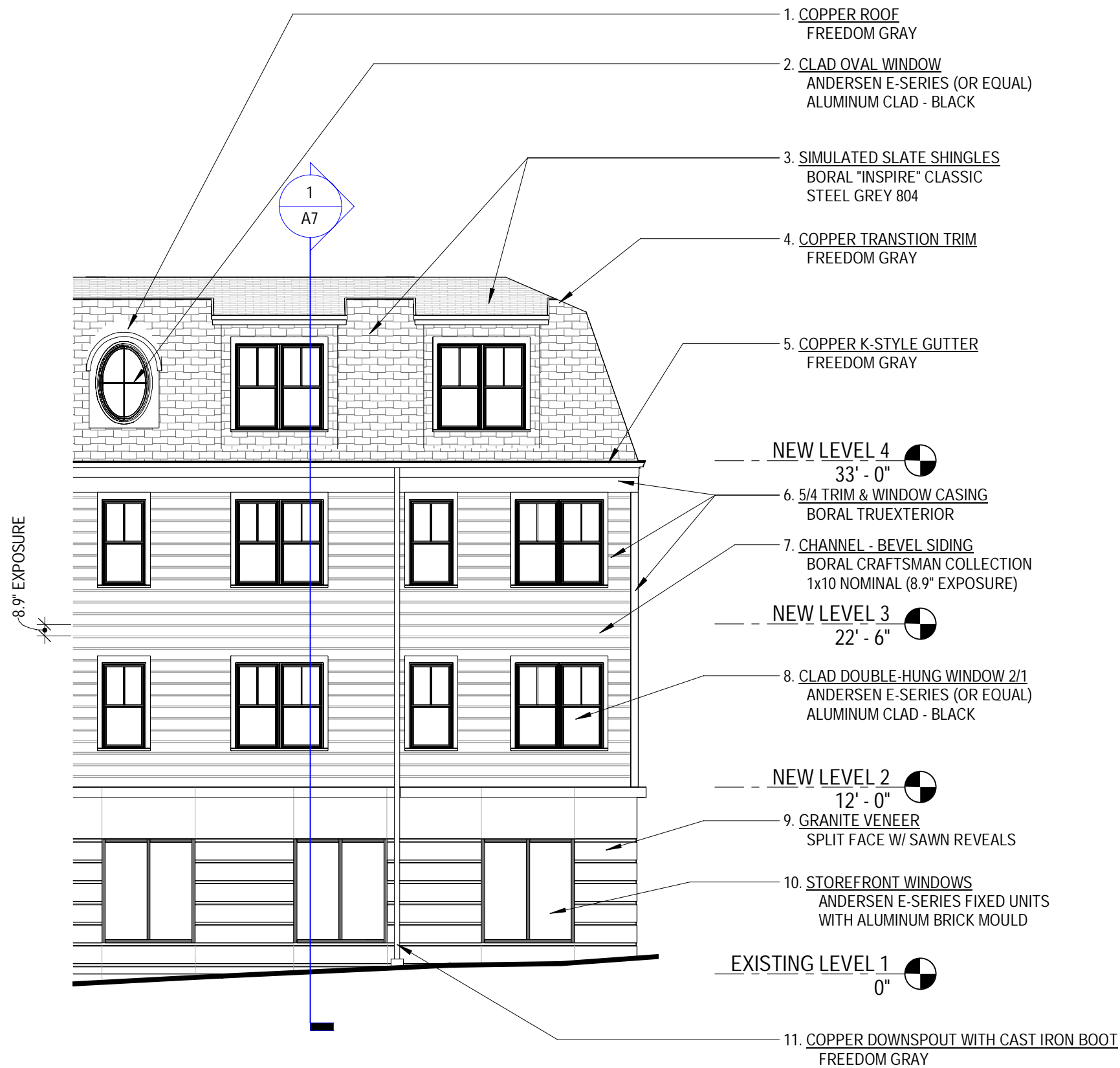
A6 EXTERIOR ELEVATION - MATERIAL LEGEND

64 Vaughan Mall

08/20/2021
SCALE: 1/8" = 1'-0"



1 WALL SECTION - WEST ELEVATION
1/8" = 1'-0"



3 PARTIAL NEW ELEVATION - WEST ELEVATION
1/8" = 1'-0"

A7

EXTERIOR ELEVATION - MATERIAL LEGEND

64 Vaughan Mall

08/20/2021
SCALE: 1/8" = 1'-0"

1. COPPER ROOF
FREEDOM GRAY

2. CLAD OVAL WINDOW
ANDERSEN E-SERIES (OR EQUAL)
ALUMINUM CLAD - BLACK

3. SIMULATED SLATE SHINGLES
BORAL "INSPIRE" CLASSIC
STEEL GREY 804

4. COPPER TRANSITION TRIM
FREEDOM GRAY

5. COPPER K-STYLE GUTTER
FREEDOM GRAY

6. 5/4 TRIM & WINDOW CASING
BORAL TRUEXTERIOR

7. CHANNEL - BEVEL SIDING
BORAL CRAFTSMAN COLLECTION
1x10 NOMINAL (8.9" EXPOSURE)

8. CLAD DOUBLE-HUNG WINDOW 2/1
ANDERSEN E-SERIES (OR EQUAL)
ALUMINUM CLAD - BLACK

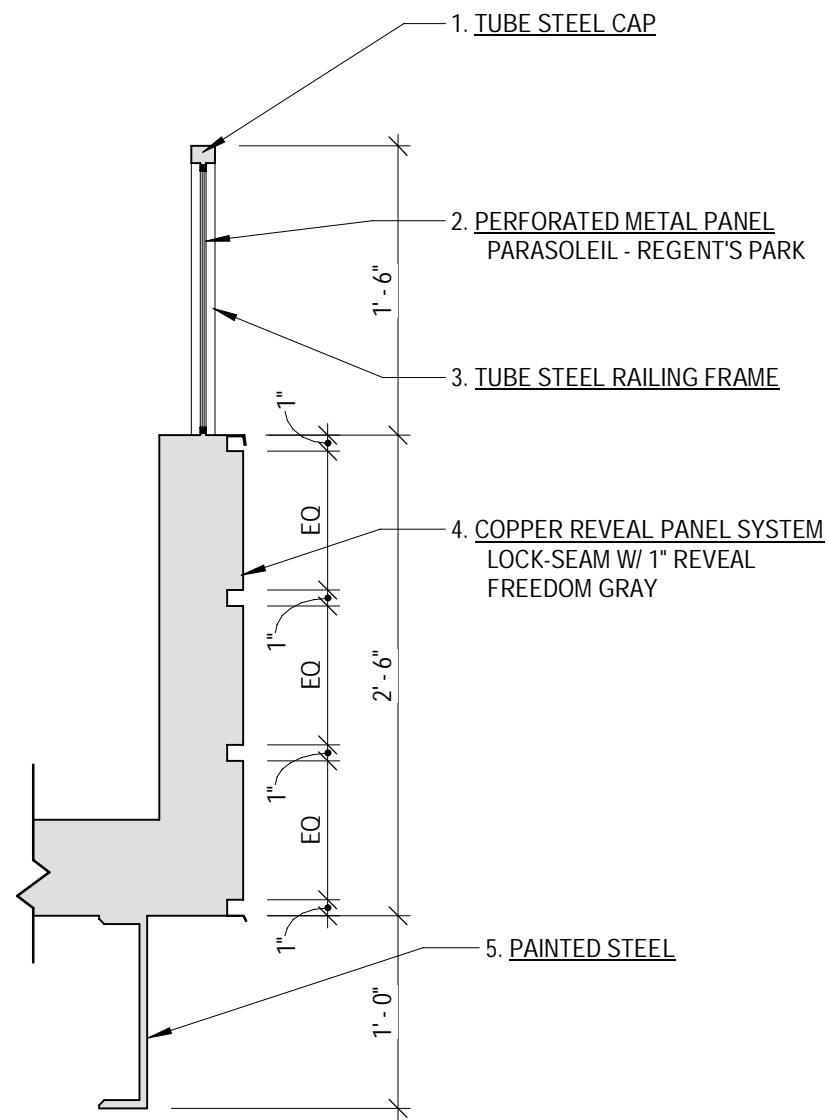
9. GRANITE VENEER
SPLIT FACE W/ SAWN REVEALS

10. STOREFRONT WINDOWS
ANDERSEN E-SERIES FIXED UNITS
WITH ALUMINUM BRICK MOULD

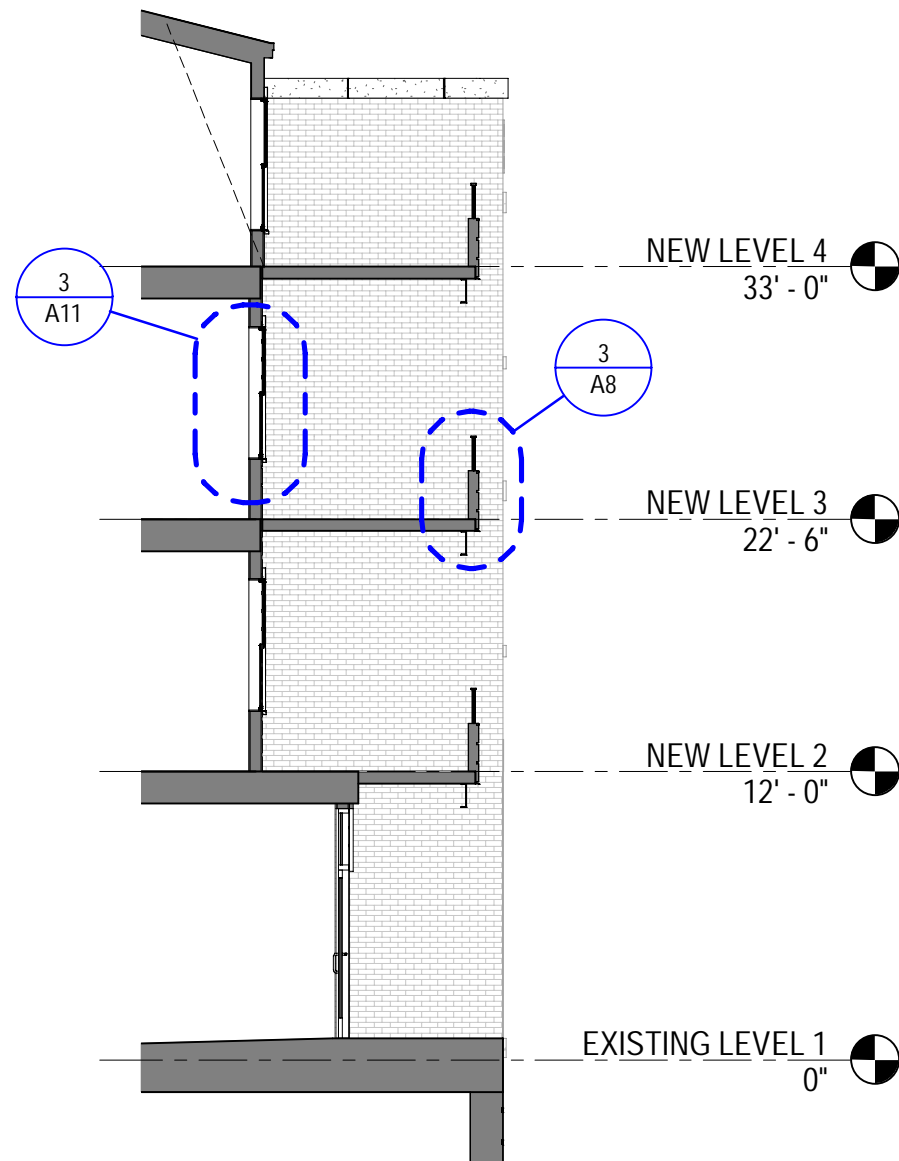
11. COPPER DOWNSPOUT WITH CAST IRON BOOT
FREEDOM GRAY

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PLANNERS

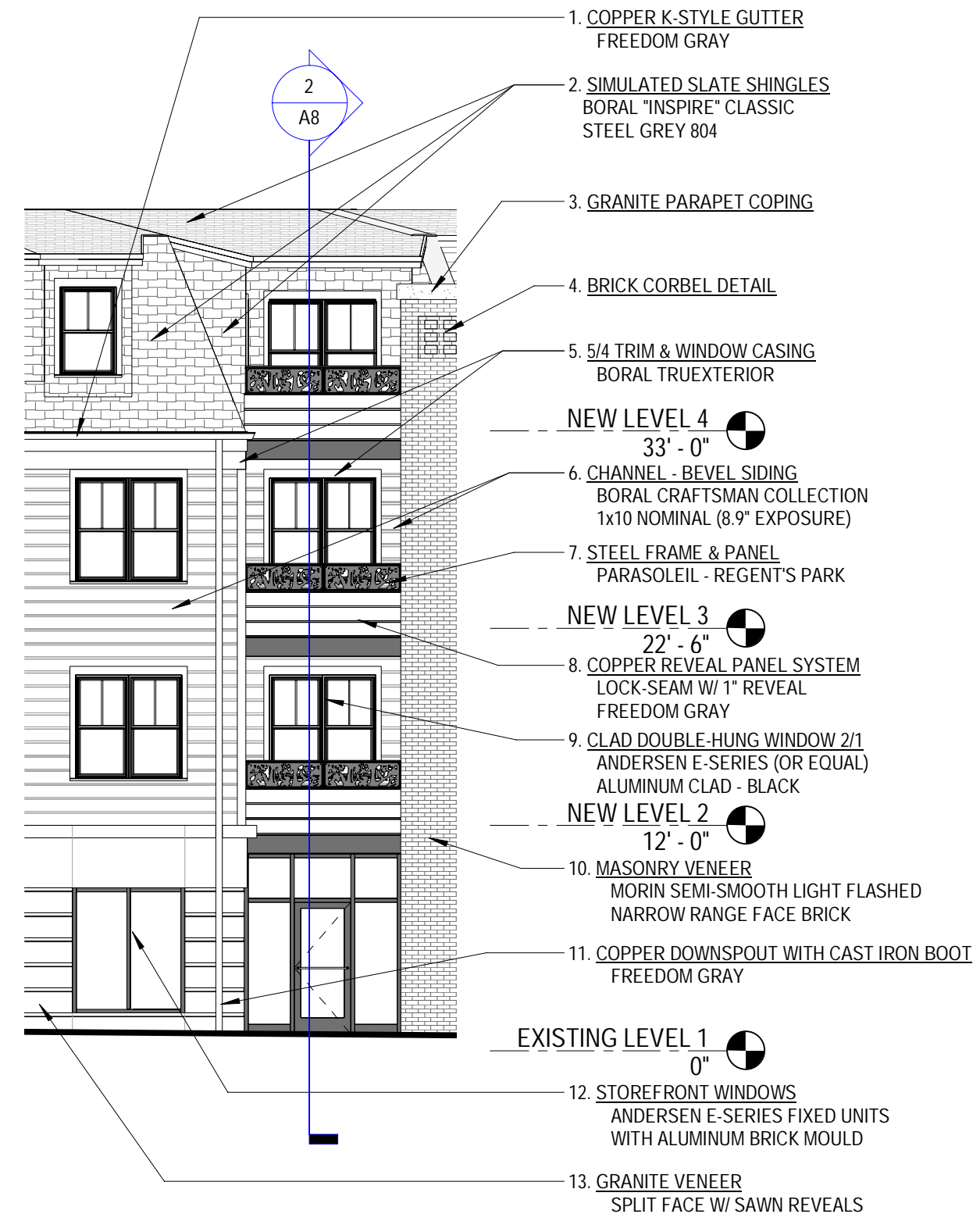
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3 TYPICAL DECK RAILING
1" = 1'-0"



2 DECK SECTION
1/8" = 1'-0"



1 PARTIAL NEW ELEVATION - SOUTH ELEVATION
1/8" = 1'-0"

A8

EXTERIOR ELEVATION - MATERIAL LEGEND

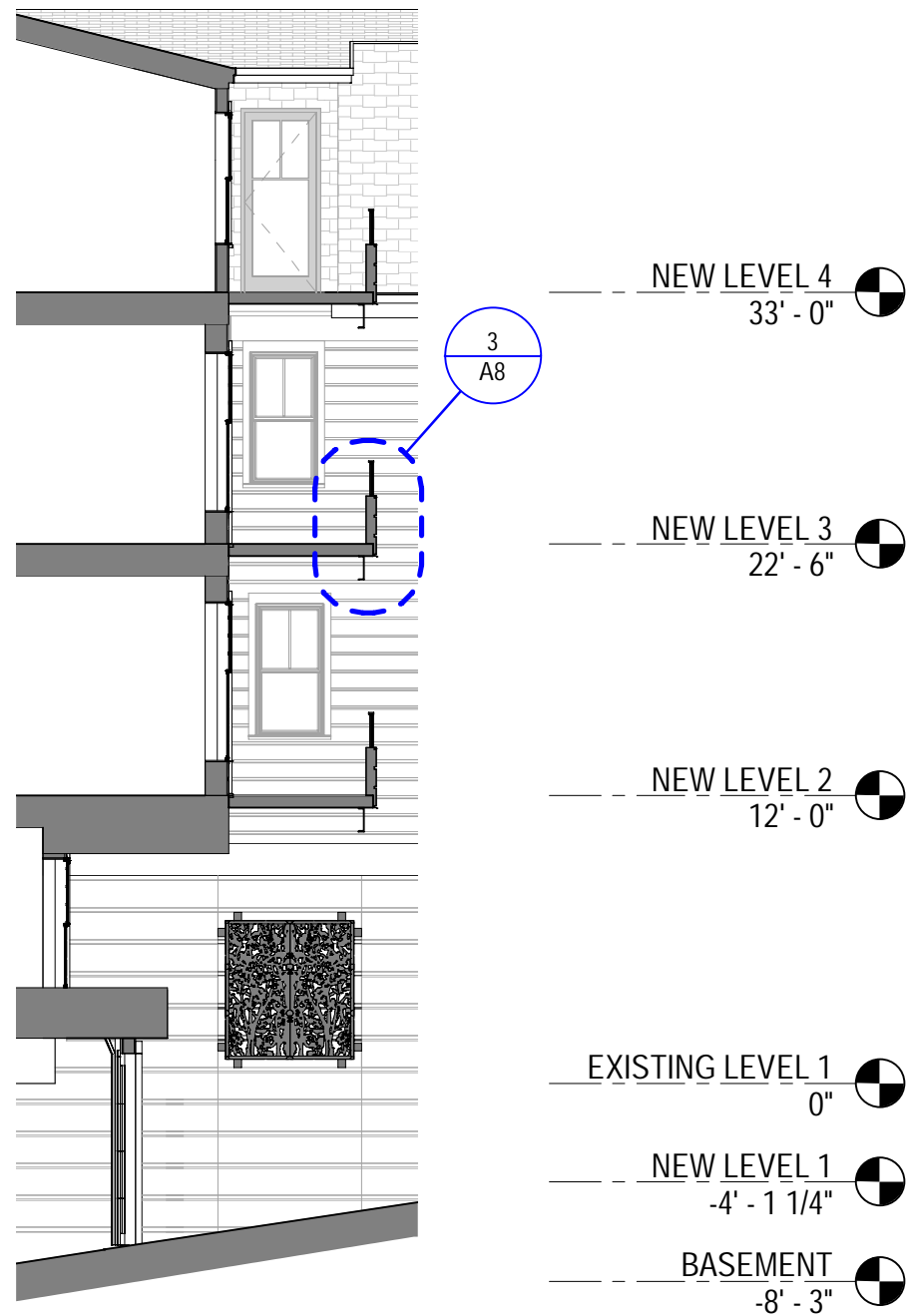
64 Vaughan Mall

08/20/2021
SCALE: As indicated

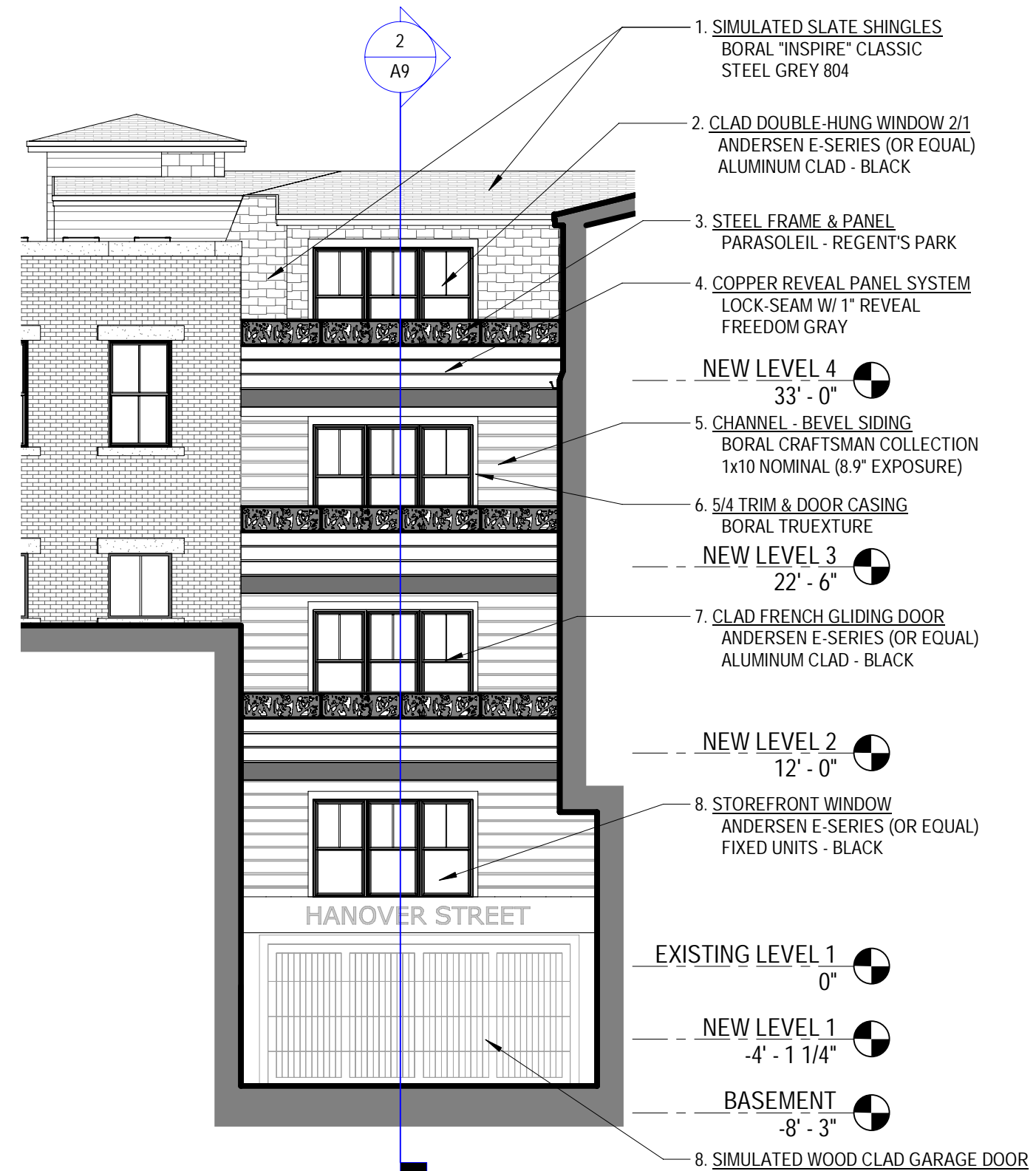


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2 WALL SECTION - GARAGE DOOR
1/8" = 1'-0"



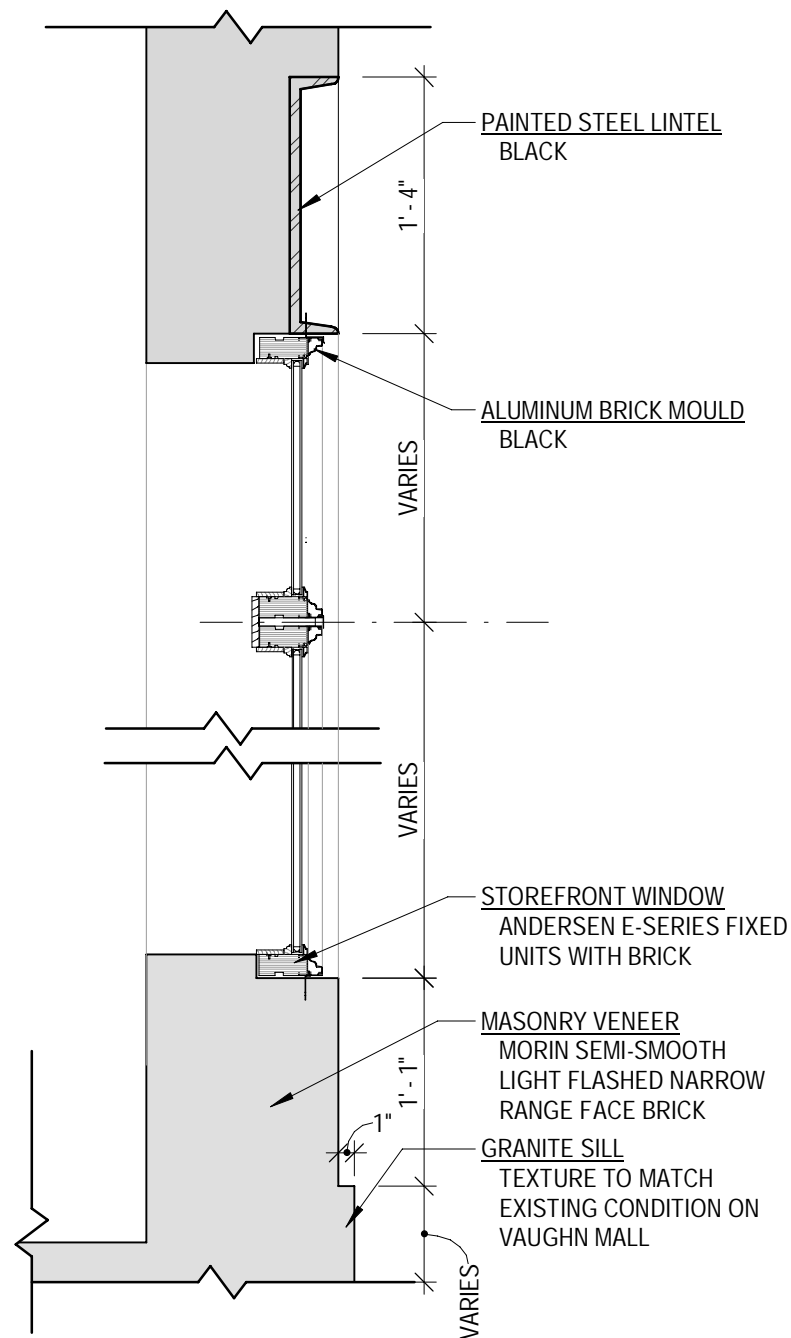
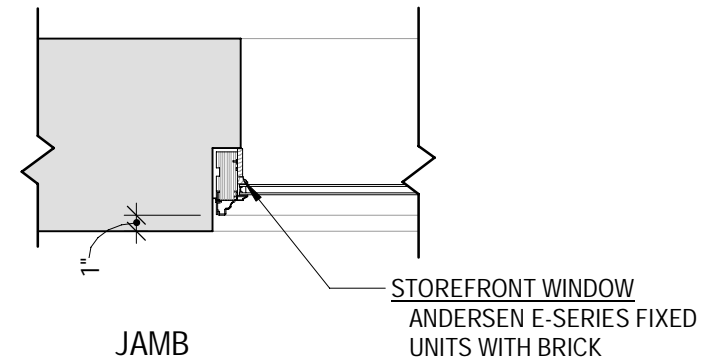
1 PARTIAL NEW ELEVATION - NORTH ELEVATION
1/8" = 1'-0"

A9

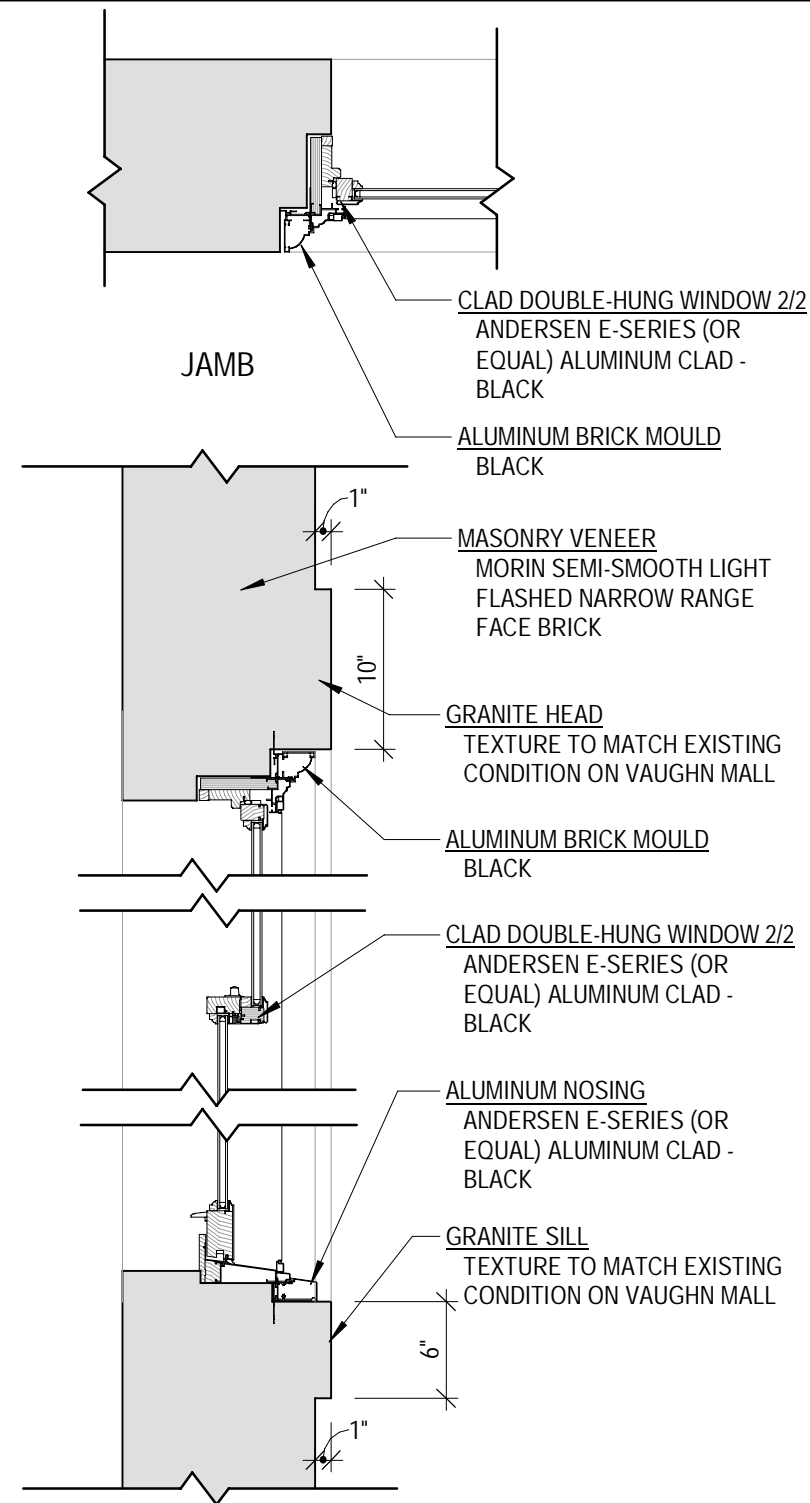
EXTERIOR ELEVATION - MATERIAL LEGEND

64 Vaughan Mall

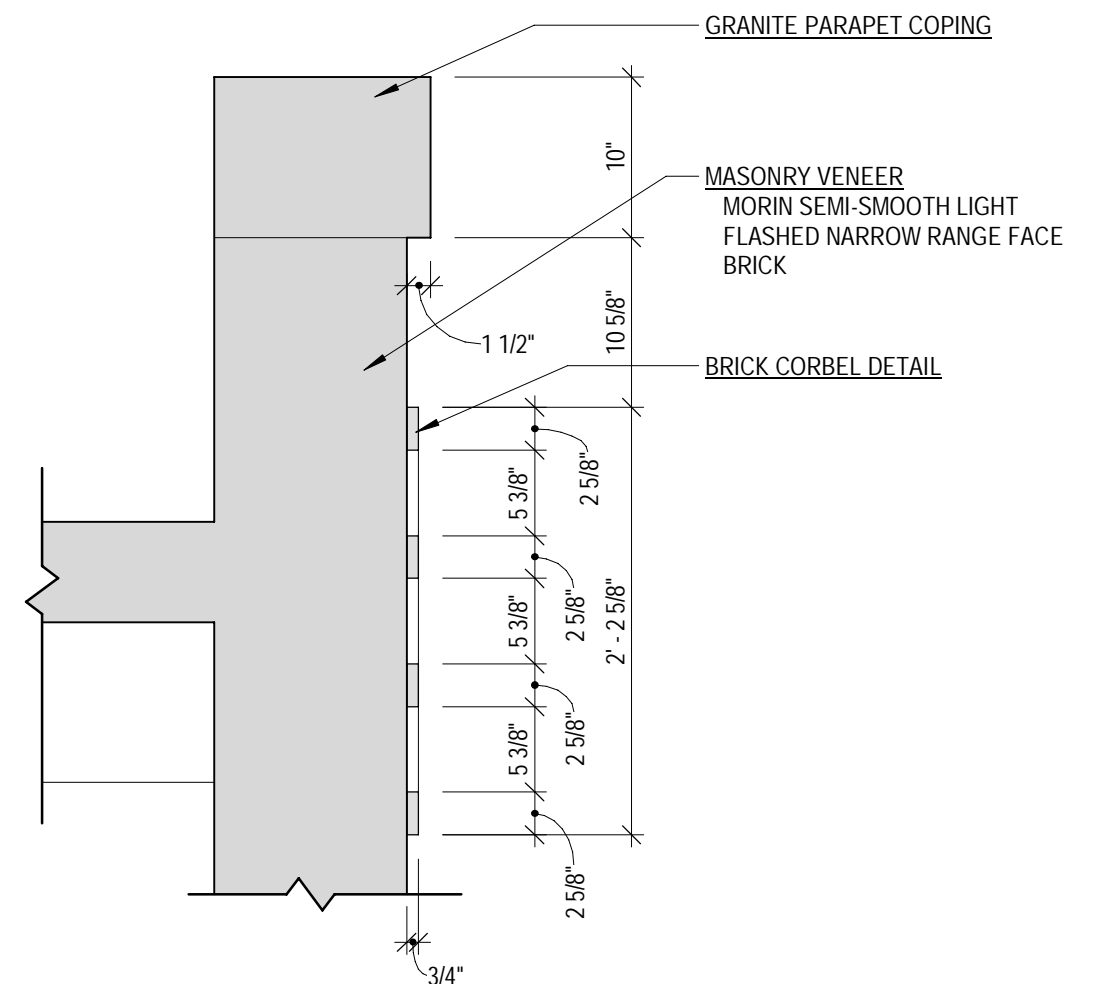
08/20/2021
SCALE: 1/8" = 1'-0"



3 STOREFRONT WINDOW DETAILS - EXISTING BRICK
1" = 1'-0"



2 DOUBLE-HUNG WINDOW DETAILS - EXISTING BRICK
1" = 1'-0"



1 BRICK CORBEL DETAIL
1" = 1'-0"

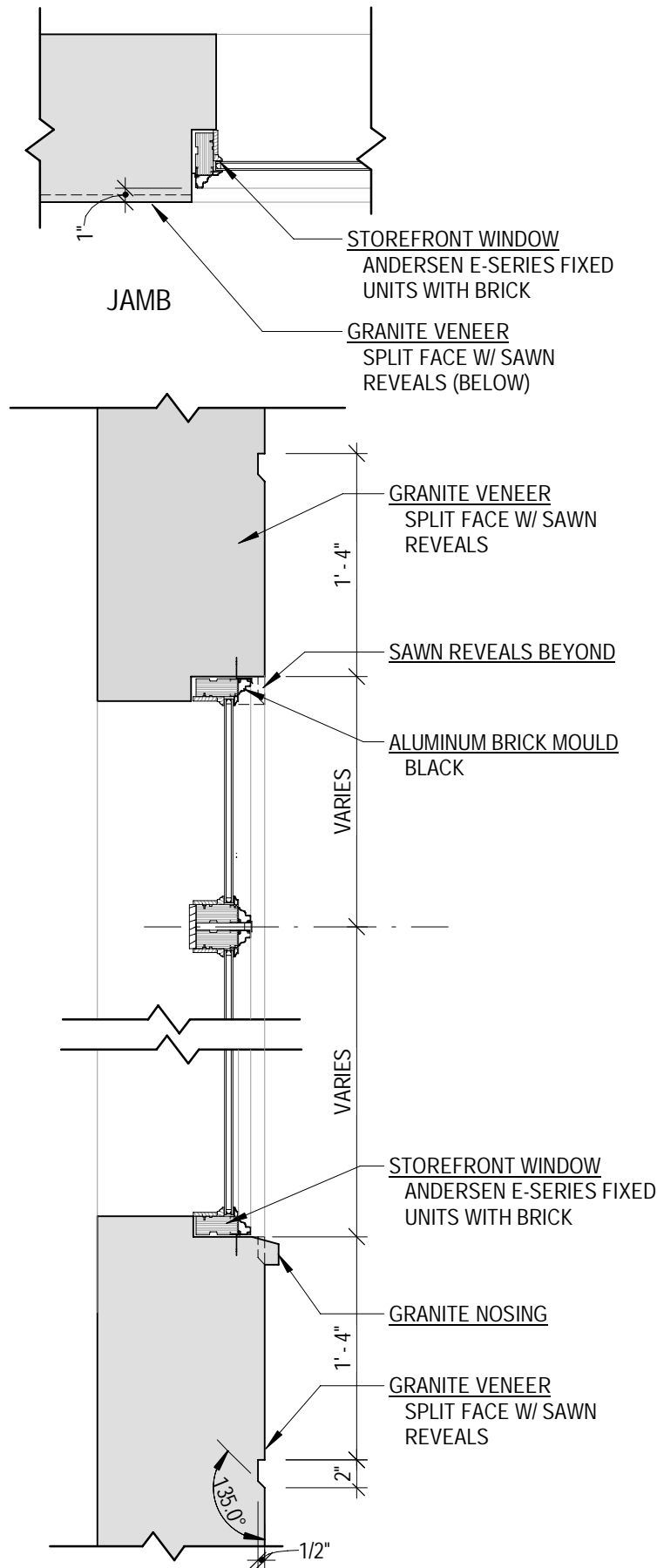
A10

DETAILS 64 Vaughan Mall

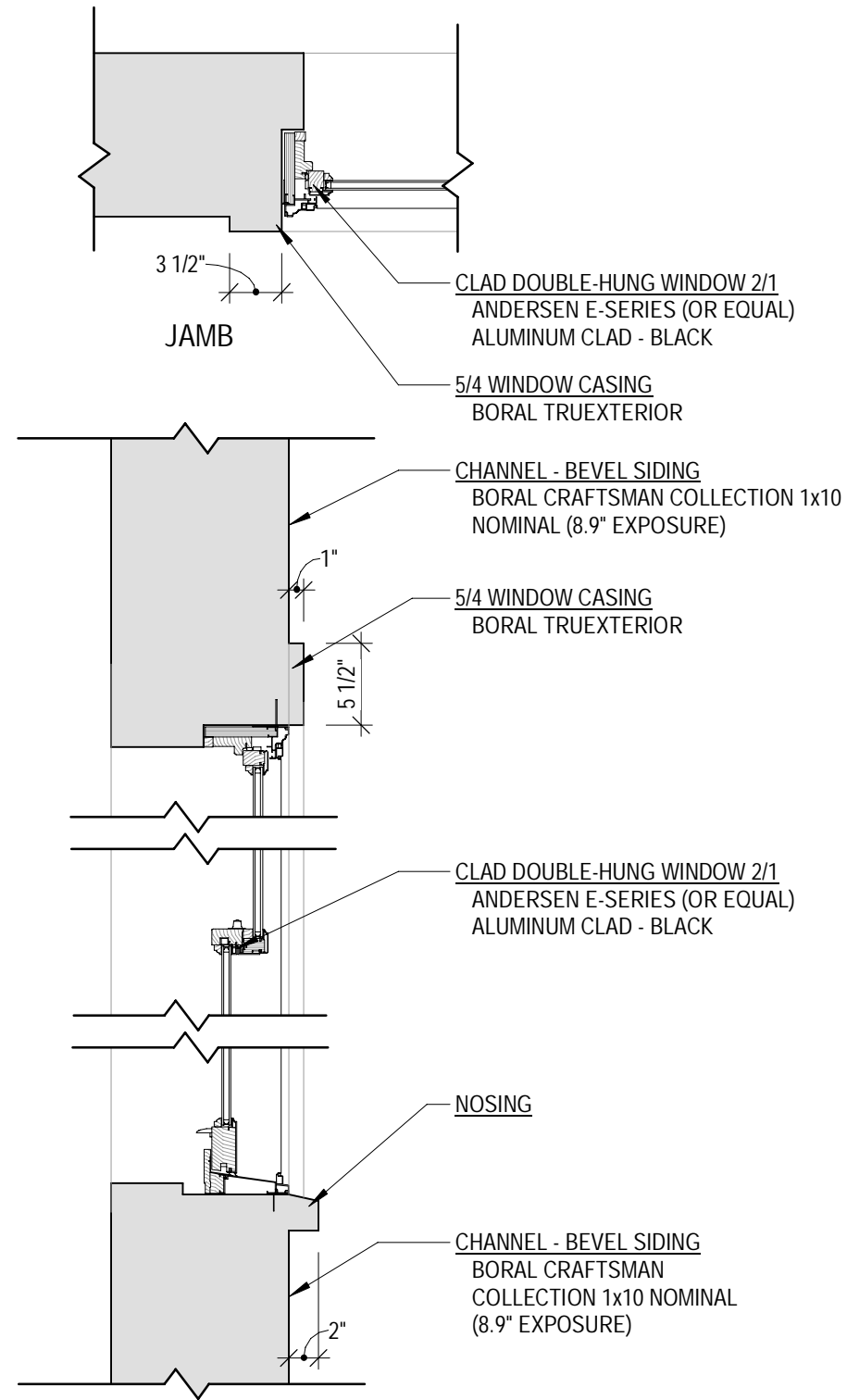
08/20/2021
SCALE: 1" = 1'-0"



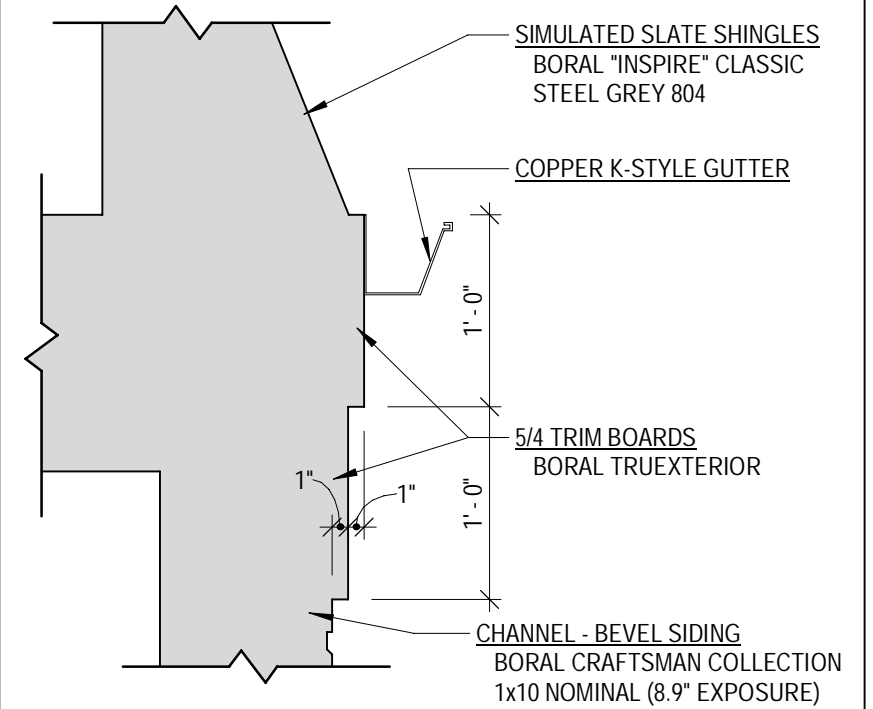
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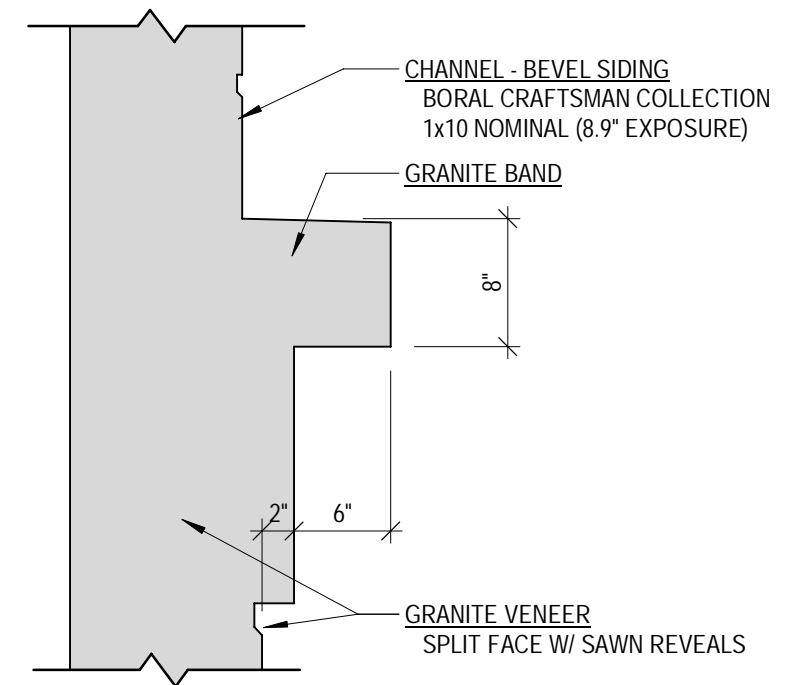
4 STOREFRONT WINDOW DETAILS - GRANITE VENEER
1" = 1'-0"



3 DOUBLE-HUNG WINDOW DETAIL - BORAL CHANNEL-BEVEL
1" = 1'-0"



2 TYPICAL ROOF EDGE
1" = 1'-0"



1 GRANITE BAND @ GRANITE VENEER
1" = 1'-0"

A11

DETAILS
64 Vaughan Mall

08/20/2021
SCALE: 1" = 1'-0"



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A12

VIEW FROM VAUGHN MALL
64 Vaughan Mall

08/20/2021
SCALE:



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A13

VIEW FROM WORTH LOT
64 Vaughan Mall

08/20/2021
SCALE:



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A14

VIEW FROM HANOVER STREET
64 Vaughan Mall

08/20/2021
SCALE:



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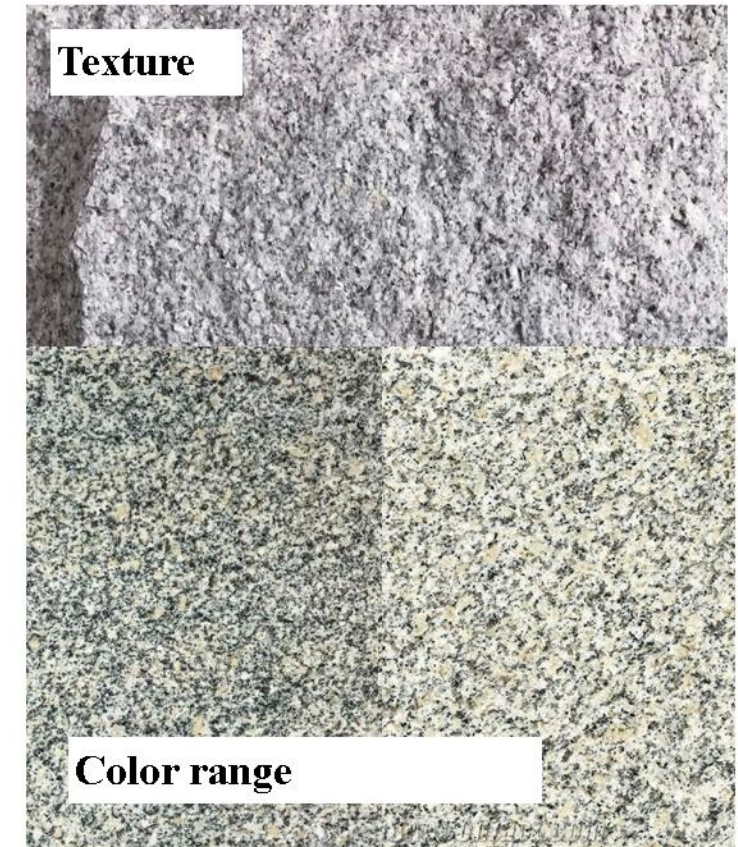
A14-B VIEW FROM HANOVER STREET (OPTION B)
 64 Vaughan Mall
 08/20/2021
 SCALE:



1. Existing Brick Finish (cleaned)



2. Proposed Brick Veneer
Morin Semi-Smooth, Light
Flashed, Narrow Range



3. Granite Heads/Sills; Veneer First floor
Split-face texture

M1

MATERIALS

64 Vaughan Mall

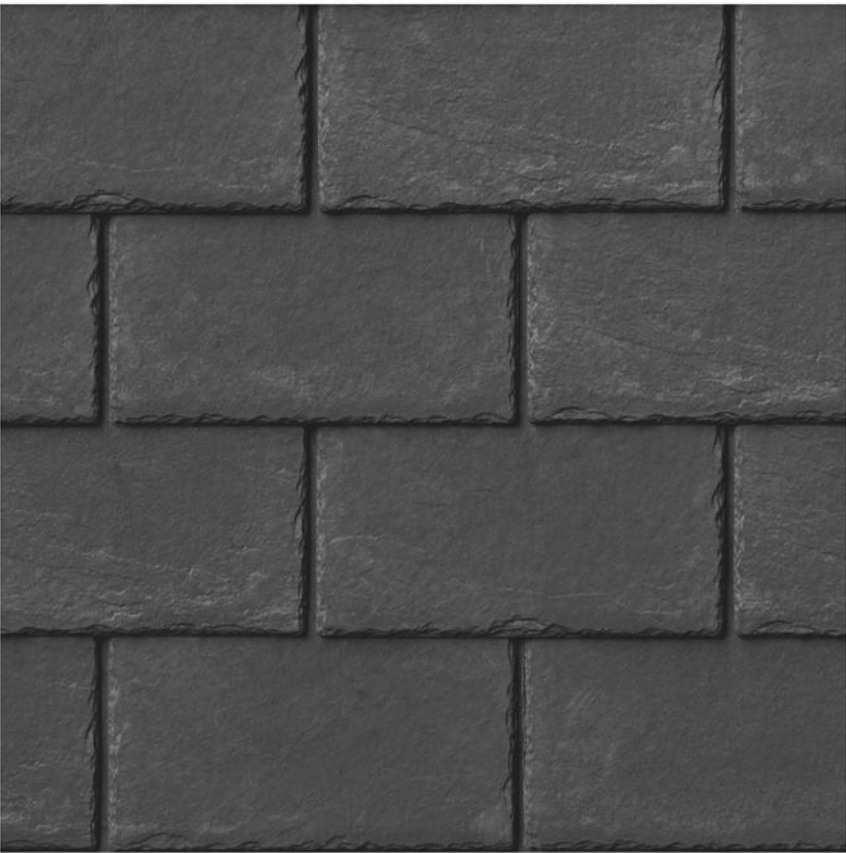
08/20/21

SCALE:



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Steel Grey



4. Simulated Slate Shingle
Boral Inspire Classic Slate
Steel Grey 804

ROOF

BODY

ACCENTS

STEEL GREY

Specifications

CLASSIC SLATE | Single Width

Class A - Item #46FZ****	Class C - Item #46FUE****	Exposure	Width	Height	Piece	Bundle	Square	Pallet	Truck
		Max: 7'-1/2" Can be installed at 6" to 7'-1/2"	12"	18"	Weight	1.5 lbs.	38 lbs.	240 lbs.	2,400 lbs.
					Pieces	1	25	160	1,600
					Bundles	—	—	64	1,120
					Squares	—	—	10	175
					Pallets	—	—	—	18

CLASSIC SLATE - STARTER

Class A - Item #46KZ****	Class C - Item #46KUE****	Width	Height	Weight / Piece	Weight / Bundle	Pieces / Bundle
		12"	13-1/2"	1 lb.	25 lbs.	25
				Pieces / Linear Foot	Linear Feet / Bundle	
				1	25	

CLASSIC SLATE - HIP AND RIDGE

Class A - Item #46JZ****	Class C - Item #46JUE****	Width	Length	Exposure	Preformed Pitch
		12"	18"	6"-7.5"	3/12 - 18/12
		Weight / Piece	Weight / Bundle	Pieces / Bundle	Pieces / Linear Foot
		1.5 lbs.	38 lbs.	25	1.6

TEST	TESTING PERFORMED	RESULTS FOR
Fire Rating	In accordance with UL790 / ASTM E108	Class A* or Class C Fire Rated System. (Depending on system)
Hail Rating	In accordance with UL2219	Class 4
Accelerated Ultra Violet Exposure	In accordance with ASTM G154 Xenon Arc Chamber 9,500+ hours	Tile exhibited virtually no fade and with no trace of cracking, spalling or delamination.
Wind Driven Rain / Wind Uplift	In accordance TAS 100-95; UL 580	Up to 110 mph. No water infiltration through sheathing. No tiles blew off, tore or broke upward.
Freeze-Thaw Cycle	In accordance with ASTM C666/C668M	No signs of damage or cracking after 300+ cycles.
Water Absorption	In accordance with ASTM C372	No appreciable weight gain.
Water Penetration	In accordance with ASTM E96/E96M	Tile shown to be impermeable per ASTM test methods.

Approvals: Florida Building Code Org. FL#1409, FL#16269, FL#16856, Texas Department of Insurance PC-404, CORR-0188

Please refer to our website for installation guides.

*Contact Inspire Roofing Products for specific application requirements for US, Class A Fire rated systems.

**** Indicates color number.

Cover: Classic | Granite

5. Copper K style gutter in Revere Freedom Gray (Tin-Zinc) Coating

FreedomGray

Tin-Zinc Coatings Perform

Revere T-Z® Product is Durable, Attractive and Easy on the Environment.

Revere Tin-Zinc® products are coated on both sides with a unique, patented T-Z Alloy™ (tin-zinc alloy). It offers all the advantages of copper with a naturally weathering earthtone gray color. Revere's T-Z® coated products are rugged, environmentally friendly and aesthetically appealing, for use in virtually all architectural metal applications.

The three layers of FreedomGray Satin T-Z Alloy™.

1

Tin-zinc alloy with satin finish

2

Intermetallic layer

3

Copper (99.5% pure)

The tin-zinc alloy is applied to both sides of our sheets and coils, using the hot-dip process. This ensures complete coverage and eliminates voids.

A satin finish is factory-applied to FreedomGray Satin T-Z Alloy™, to reduce initial reflectiveness and provide a natural, weathered appearance. The satin-finished TinZinc surface begins to oxidize and starts to darken upon exposure. Environmental conditions and severity of exposure dictate how long this will take.

As with plain and pre-patinated copper, FreedomGray Satin T-Z Alloy™ will always display differences in the shades and hues of its natural patina. These are NOT an indication of defective material. In many respects it is the variations that give T-Z® coated products their unique life, vitality and aesthetics.

REVERE

M2

MATERIALS

64 Vaughan Mall

08/20/21

SCALE:

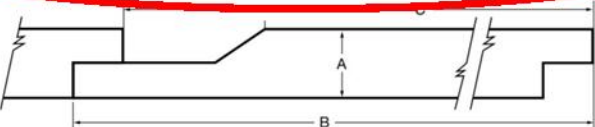


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Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/2"	6-31/32"
1 x 10	11/16"	9-1/2"	8-31/32"



5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

TruExterior® Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in a 16' length.

Reversible Smooth/Woodgrain Finish

*Please see TruExterior® Siding & Trim Limited Warranties and Product Data Sheets for proprietary test results, located at TruExterior.com.

6. Horizontal Siding and Trim-Painted
Boral Tru Exterior Craftsman Collection
Channel Bevel 1 x 10

DOUBLE-HUNG WINDOW

Black Exterior,

FEATURES

DOUBLE-HUNG WINDOWS

FRAME & SASH

1 Select wood components are kiln dried and treated with water/insect repellent and preservative. Interior wood surfaces are available in pine, mixed grain Douglas fir, cherry, hickory, mahogany, maple, oak, walnut, alder or vertical grain Douglas fir. Interior surfaces are available unfinished or factory primed. Factory-applied finishes are available in a variety of stain and paint options.

2 Wood components are fitted with aluminum extrusions on the exterior. 50 exterior colors that meet AAMA 2604 and 2605 specifications are available, as well as custom colors. Also available is a selection of seven exterior anodized options.

Optional vinyl installation flanges are pre-applied into a kerf on the frame exterior to facilitate installation. Optional aluminum flanges or metal installation clips are available.

3 Compression built weatherstripping is applied on the bottom sash, head jamb, at the meeting rail and on side jambs for a maximum weather seal.

Jamb liners encase balancer assemblies that allow each sash to be tilted 90° inward from a bottom pivot and stay securely in place for washing.



GLASS

4 High-Performance Low-E6® glass with a low-conductivity spacer. Triple-pane glass, tinted, clear dual-pane, high-altitude glass and other special glazing options are available.

5 Glass is fixed in place from the interior with wood stops that can be removed for easy reglazing if necessary. Glass stops available in ovolo (colonial) and contemporary profiles.

HARDWARE

Sash lock/tilt mechanisms and keepers give a slim, more traditional design and allow opening and tilting of the window in one operation. Tilting the sash from the inside for cleaning is effortless.

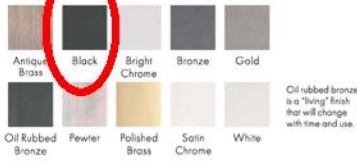
Optional surface mount sash lifts allow for easy operation. Units less than 3' wide use one lift. Units 3' wide and greater use two lifts.

HARDWARE OPTIONS



Lock Sash Lift
Antique Brass | Black | Bright Chrome | Bronze | Gold
Oil Rubbed Bronze | Pewter | Polished Brass | Satin Chrome | White
Windows with 1 1/2" sensors use a different sash lock. See the next page for details.

HARDWARE FINISHES



EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS 50 exterior colors, 7 anodized finishes and custom colors. See exterior colors on page 11.

INTERIOR WOOD SPECIES



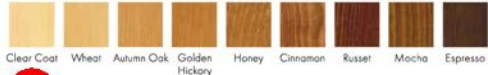
Naturally occurring variations in grain, color and texture of wood make each window one of a kind.

All factory-finished options are shown on pine.

Painted options available on pine. Dark bronze and black painted options available on pine or maple. Anodized silver painted option available on maple only.

Interior custom stains, paints and color matching available.

FACTORY-FINISHED INTERIORS



INTERIOR PAINTED OPTIONS



*Actual wood species is either Sapelle or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies. Painting imitations prevent exact replication of colors and finishes. Please see your Andersen supplier for actual color and finish samples.

64 Vaughn Mall Portsmouth NH
7/8" Modern Divided Lights

ARCHITECTURALLY AUTHENTIC GRILLES

We offer a variety of grille styles and patterns to choose from, or design your own with varying lines, curves and shapes.

FULL DIVIDED LIGHT (MODERN DIVIDED LIGHT)

Give any window an authentic look with full divided light grilles that are permanently applied to the interior and exterior of your window with a spacer between the glass. Available in ovolo (colonial) and contemporary profiles.



Shown with chamfer exterior grille and ovolo interior grille profiles.

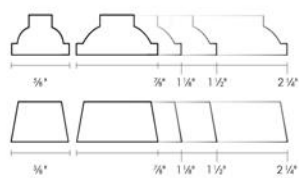
SIMULATED DIVIDED LIGHT (CLASSIC DIVIDED LIGHT)

An economical solution with traditional beauty, our simulated divided light features fixed exterior and interior grilles without an internal spacer. Available in ovolo and contemporary profiles.

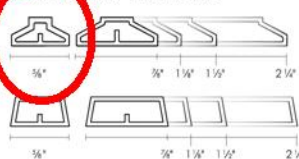


Shown with contemporary exterior and interior grille profiles.

Profiles and Widths - Interior Grilles



Profiles and Widths - Exterior Grilles



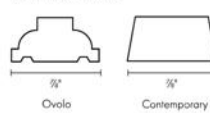
REMOVABLE INTERIOR WOOD GRILLES

Our removable wood grilles are installed on the interior surface. They are available with an optional surround and an optional permanently applied exterior grille. Available in ovolo and contemporary profiles.



Shown with ovolo profile and optional permanently applied exterior grille with chamfer profile.

Profiles and Widths

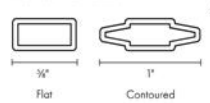


FINELIGHT™ GRILLES-BETWEEN-THE-GLASS

Aluminum grilles conveniently placed between two panes of glass make the glass easy to clean inside and out.



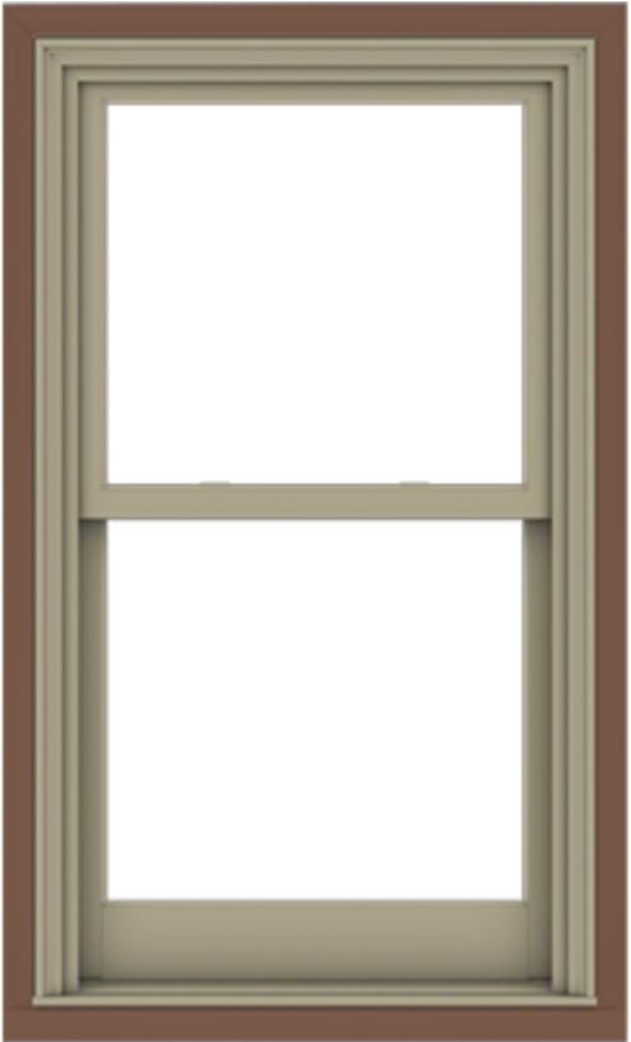
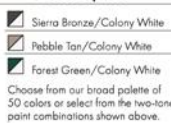
Profiles and Widths



3/8" Color Options



1" Color Options



7. Andersen E Series Aluminum Clad Windows
2/2 SDL pattern (Vaughan Mall)
2/1 SDL pattern (Hanover Street)

M4

MATERIALS

64 Vaughn Mall

08/20/21

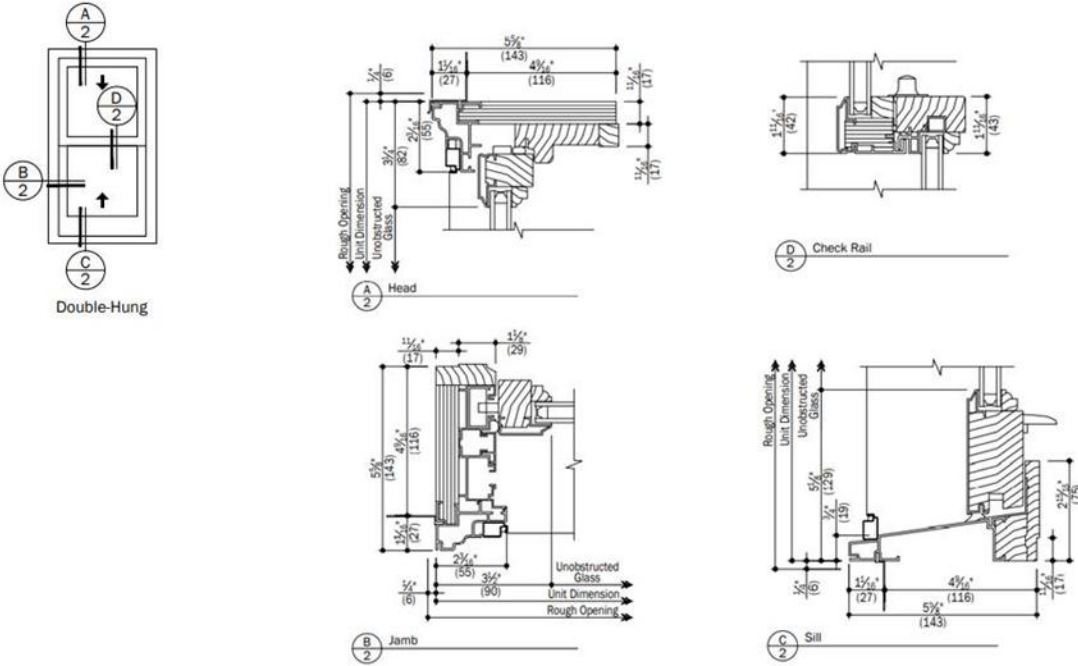
SCALE:



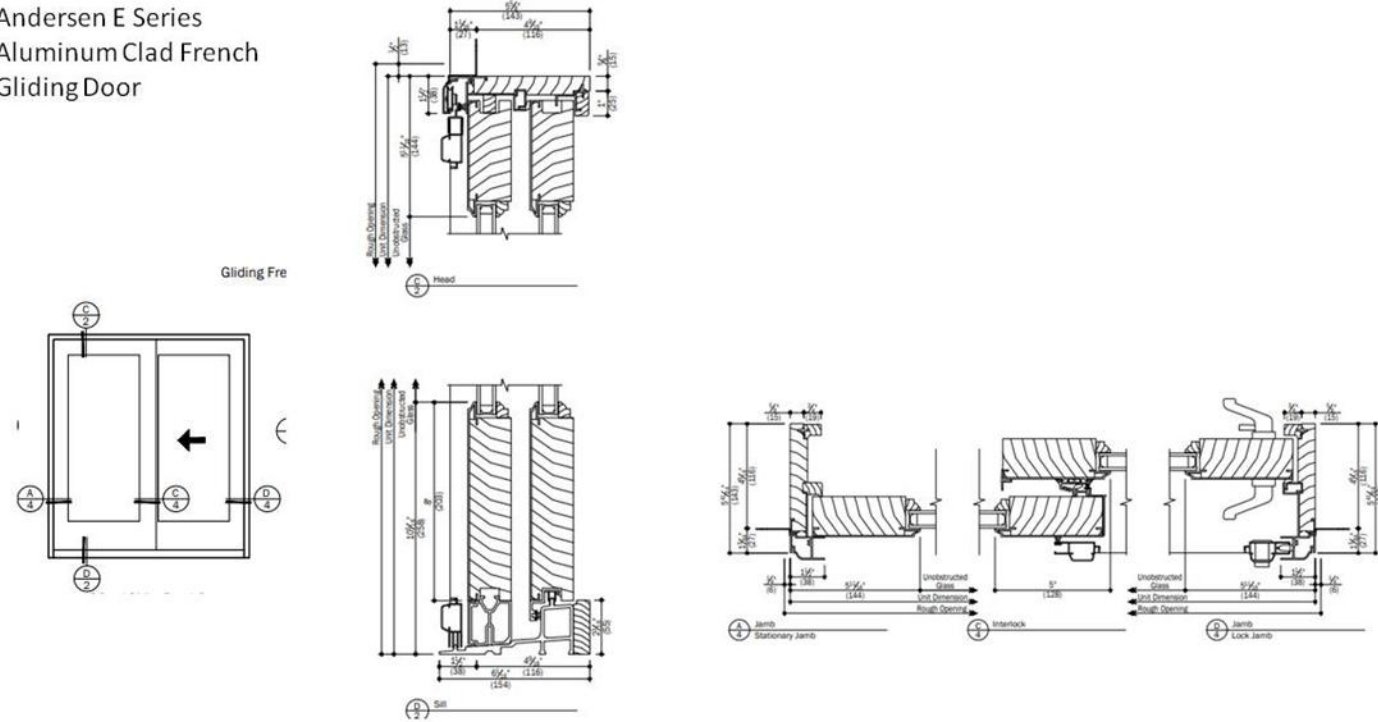
ARCHITECTS
INTERIORS
PLANNERS

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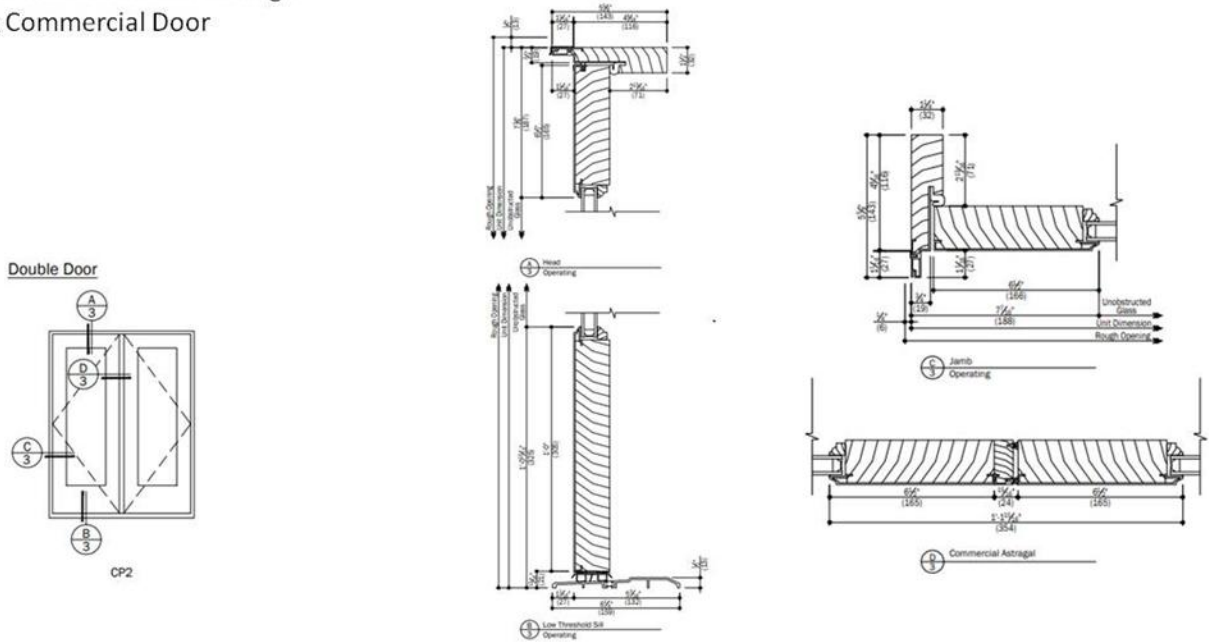
Andersen E Series Alum
Clad Double Hung
Window



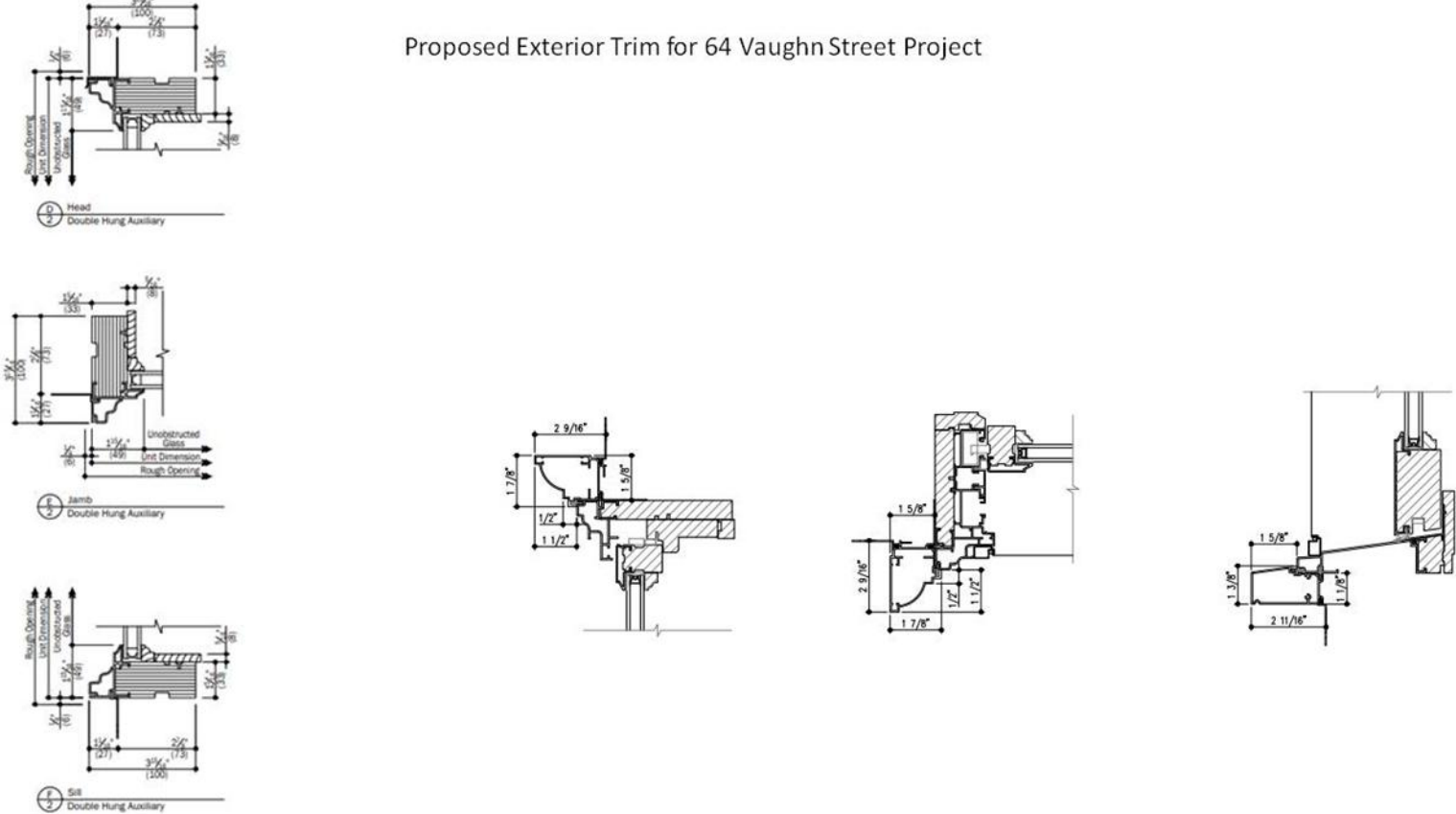
Andersen E Series
Aluminum Clad French
Gliding Door



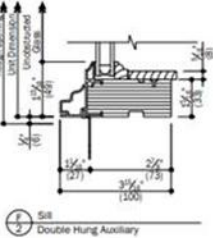
Andersen E Series Alum Clad Hinged
Outswing Commercial Door



Proposed Exterior Trim for 64 Vaughn Street Project



Andersen E Series Fixed Units
for Storefront – Double Hung
Frame Profile

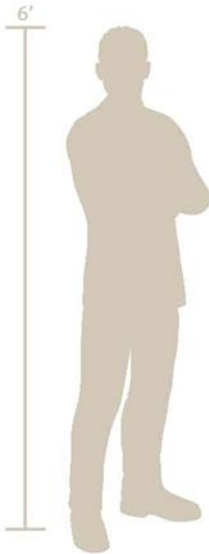




6510 W 91st Ave, Suite 100
Westminster, CO 80031
(303) 589-4524
hello@parasoleil.com
www.parasoleil.com

Regent's Park[®] (REG)

John Muir talked about the mountains as nature's cathedral, a secular but sacred place. That sense of a cathedral can be seen in a canopy of trees when the branches of old oaks arch over a walkway. Regent's Park has been the setting for secular and sacred occasions for hundreds of years, as one of London's Royal Parks. The unpredictable patterns and long forms are examples of biomimicry, casting dappled light onto the carriages and walkers below. This pattern can be installed in alternating directions to show this connected arch quality.

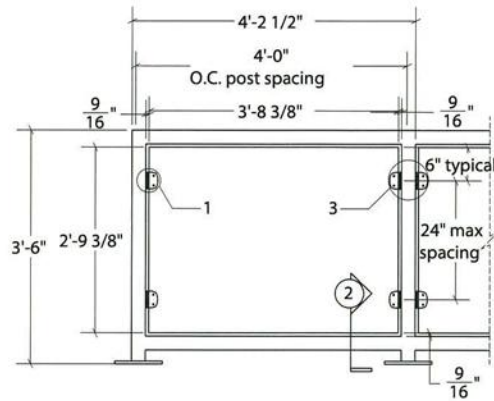


Shade Score	8/10
Privacy Score	8/10
Biomimicry Score	8/10
Structural Strength Score	5/10
Small Hole Size Score	6/10
MESH Score	4/10
Openness	25% Open

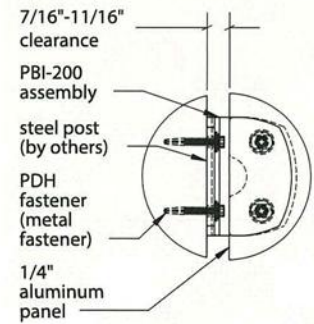
All Parasoleil patterns, products, and designs are copyright/trademark/patent protected. Any unauthorized use, including representation, production, or manufacturing, is prohibited under law.

PBI Series Detail | Guardrail

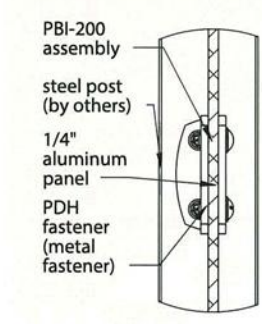
Inset Brack System | Front View
Scale 1:20



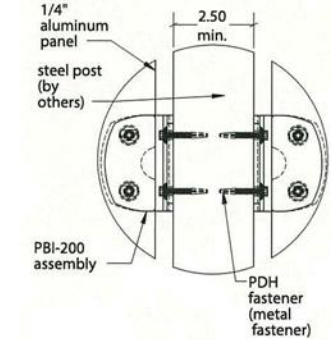
- BRACKET INSET (PBI) SPECIFICATIONS**
- 3/16" A36 steel plate
 - Stainless steel flush mount 1/2" -20 x 1/2" long studs
 - Stainless steel barrel nuts with EPDM washers
 - Graftone AAMA 2604 compliant powder coat hardware finish
 - Zinc primer for maximum adhesion and corrosion resistance
- DIRECT HEX (PDH) SELF DRILLING SCREW SPECIFICATIONS**
- #12-24 x 1-1/2" with #3 drill tip
 - 5/16" hex head and driver included
 - Carbon steel with dual corrosion resistant coatings
 - Bonded neoprene washer
 - Salt spray resistance: 1,000 hours per ASTM B117
 - Pull-out value: 2,100 lbs when installed in 3/16" steel



1 Inset Bracket (1 Panel)
Detail Scale 1:3



2 Inset Bracket Section
Detail Scale 1:3



3 Inset Bracket (2 Panels)
Detail Scale 1:3

9. Balcony Guard/Railing Infill Panel
Pattern: Parasoliel Regents Park; Color: Black licorice

M6

MATERIALS

64 Vaughan Mall

08/20/21

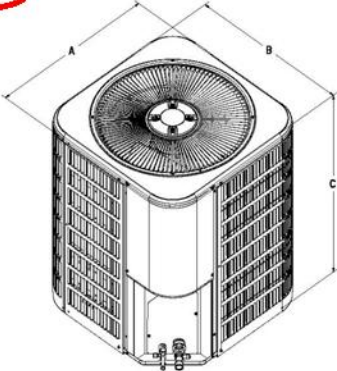
SCALE:




UNIT DIMENSIONS & SOUND RATINGS

Model	Dimensions (inches)			Sound Rating (dB)
	Length	Width	Height	
MSG1418S1M	24-1/4	24-1/4	29	71
MSG1424S1M	28-1/4	28-1/4	33	75
MSG1430S1M	28-1/4	28-1/4	37	74
MSG1436S1M	28-1/4	28-1/4	37	74
MSG1442S1M	28-1/4	28-1/4	33	76
MSG1448S1M	28-1/4	28-1/4	33	80
MSG1460S1M	32-1/4	32-1/4	37	80

Note:
Dimensions listed are unit sizes w/o packaging.



48HC
High Efficiency
Gas Heat/Electric Cooling
Packaged Rooftop with EnergyX® System
3 to 12.5 Nominal Tons


turn to the experts

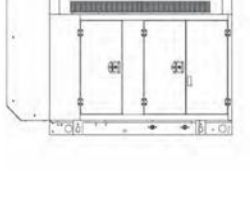
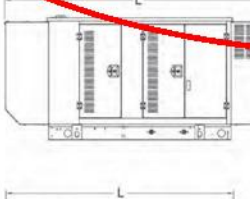
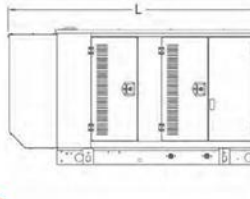
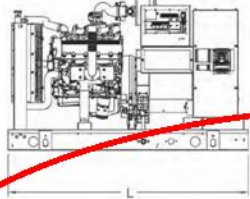
Product Data



SG050 | 5.4L | 50 kW
INDUSTRIAL SPARK-IGNITED GENERATOR SET
EPA Certified Stationary Emergency

GENERAC INDUSTRIAL POWER

DIMENSIONS AND WEIGHTS



OPEN SET (Includes Exhaust Flex)
L x W x H in (mm) 76 (1930) x 37.4 (949.9) x 47 (1193.8)
Weight lbs (kg) 2256 (1023)

STANDARD ENCLOSURE
L x W x H in (mm) 94.8 (2408.9) x 38 (965.1) x 49.5 (1258.1)
Weight lbs (kg) Steel: 2697 (1223)
Aluminum: 2474 (1122)

LEVEL 1 ACOUSTIC ENCLOSURE
L x W x H in (mm) 112.5 (2857.5) x 38 (965.1) x 49.5 (1258.1)
Weight lbs (kg) Steel: 2776 (1259)
Aluminum: 2508 (1138)

LEVEL 2 ACOUSTIC ENCLOSURE
L x W x H in (mm) 94.8 (2407) x 38 (965.1) x 62 (1573.9)
Weight lbs (kg) Steel: 2928 (1328)
Aluminum: 2574 (1168)

YOUR FACTORY RECOGNIZED GENERAC INDUSTRIAL DEALER

COOLING PERFORMANCE WITH EVAPORATOR COILS AC'S

Outdoor Model	Indoor Model	SEER	EER	AHRI Rated Capacity¹ BTUH	Sensible Capacity BTUH	CFM	Refrigerant Connection				Refrigerant Line		Indoor TXV²
							Outdoor		Indoor		Size		
							Section	Liquid	Section	Liquid	Section	Liquid	
MSG1418S1M	(C, M, V)CG18PA1M + TXV	14.5	12	17400	14600	650	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG18PB1M + TXV	14.5	12	17400			3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG18PC1M + TXV	14.5	12	17400			3/4	3/8	3/4	3/8	3/4	3/8	4200
MSG1424S1M	(C, M, V)CG24PA2M + TXV	14.5	11.8	22000	18800	815	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG24PB2M + TXV	14.5	11.8	22000			3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG24PC2M + TXV	14.5	11.8	22000			3/4	3/8	3/4	3/8	3/4	3/8	4200
MSG1430S1M	(C, M, V)CG30PA2M + TXV	14.5	11.9	27000	22400	1000	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG30PB2M + TXV	14.5	11.9	27000			3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG30PC2M + TXV	14.5	11.9	27000			3/4	3/8	3/4	3/8	3/4	3/8	4200
MSG1436S1M	(C, M, V)CG36PA1M + TXV	14.5	12	33400	27200	1200	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG36PB1M + TXV	14.5	12	33400			3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG36PC1M + TXV	14.5	12	33400			3/4	3/8	3/4	3/8	3/4	3/8	4200
MSG1442S1M	(C, M, V)CG42PB2M + TXV	14	11.9	38500	31800	1400	7/8	3/8	7/8	3/8	7/8	3/8	4202
	(C, M, V)CG42PC2M + TXV	14	11.9	38500			7/8	3/8	7/8	3/8	7/8	3/8	4202
	(C, M, V)CG42PD2M + TXV	14	11.9	38500			7/8	3/8	7/8	3/8	7/8	3/8	4202
MSG1448S1M	(C, M, V)CG48PB1M + TXV	14	11.8	45000	36600	1600	7/8	3/8	7/8	3/8	7/8	3/8	4202
	(C, M, V)CG48PC1M + TXV	14	11.8	45000			7/8	3/8	7/8	3/8	7/8	3/8	4202
	(C, M, V)CG48PD1M + TXV	14	11.8	45000			7/8	3/8	7/8	3/8	7/8	3/8	4202
MSG1460S1M	(C, M, V)CG60PC1M + TXV	14	11.8	54000	41500	1800	1 1/8	3/8	7/8	3/8	1 1/8	3/8	4202
	(C, M, V)CG60PD1M + TXV	14	11.8	54000			1 1/8	3/8	7/8	3/8	1 1/8	3/8	4202

Note:
1 Certified in accordance with Unitary Air Conditioner Certification Program, which is based on AHRI Standard 210/240
2 Required to achieve AHRI rating. If NA (Not Applicable) is in the piston column, then TXV is required

10. Rooftop Mechanical Units
Residential Tenants (1 x unit)

11. Rooftop Mechanical Units
Commercial Tenant (1 x tenant)

12. Rooftop Generator

M7

MATERIALS

64 Vaughan Mall

08/20/21

SCALE:

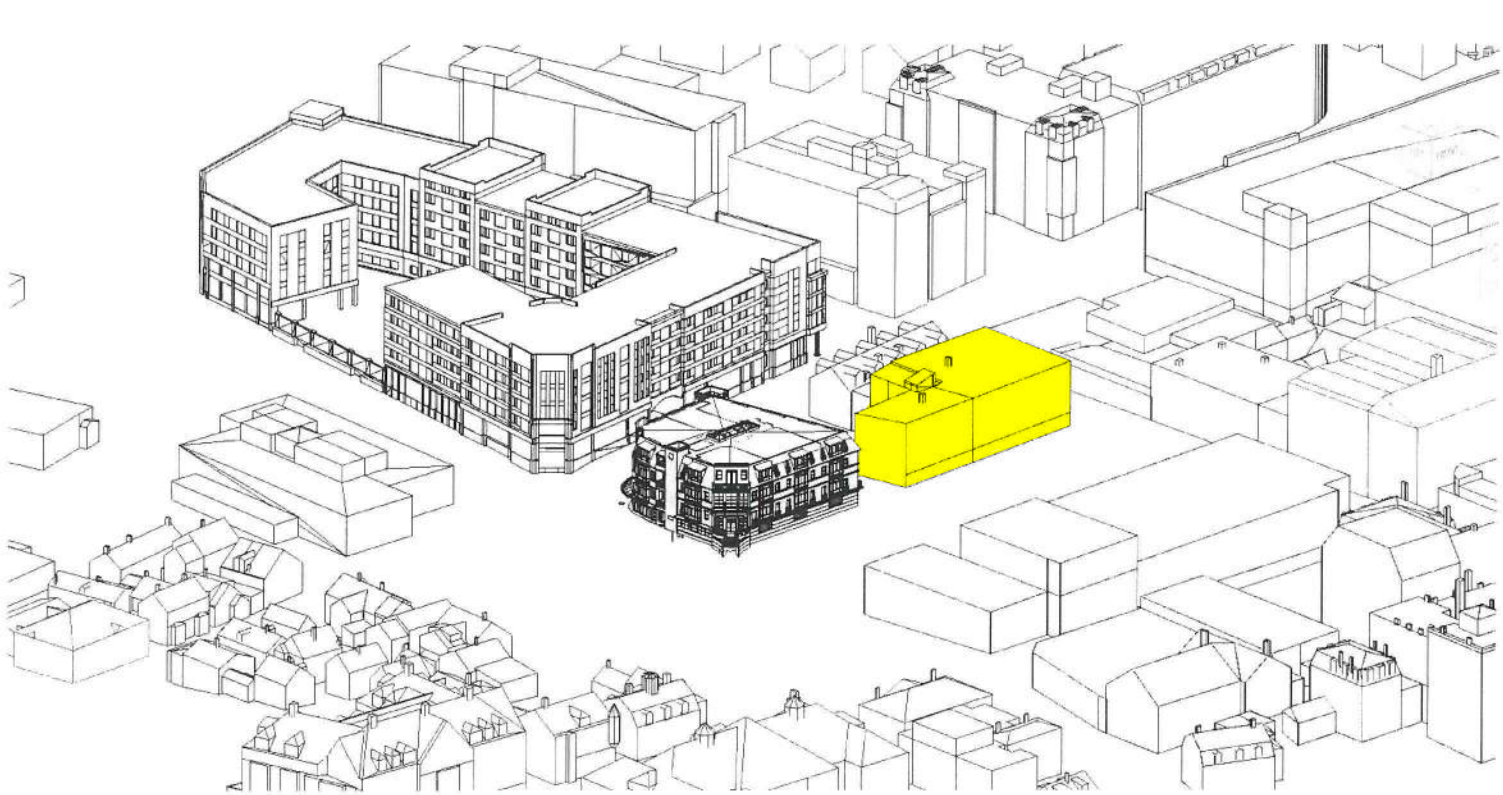
JSA

ARCHITECTS
INTERIORS
PLANNERS

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LOCUS PLAN



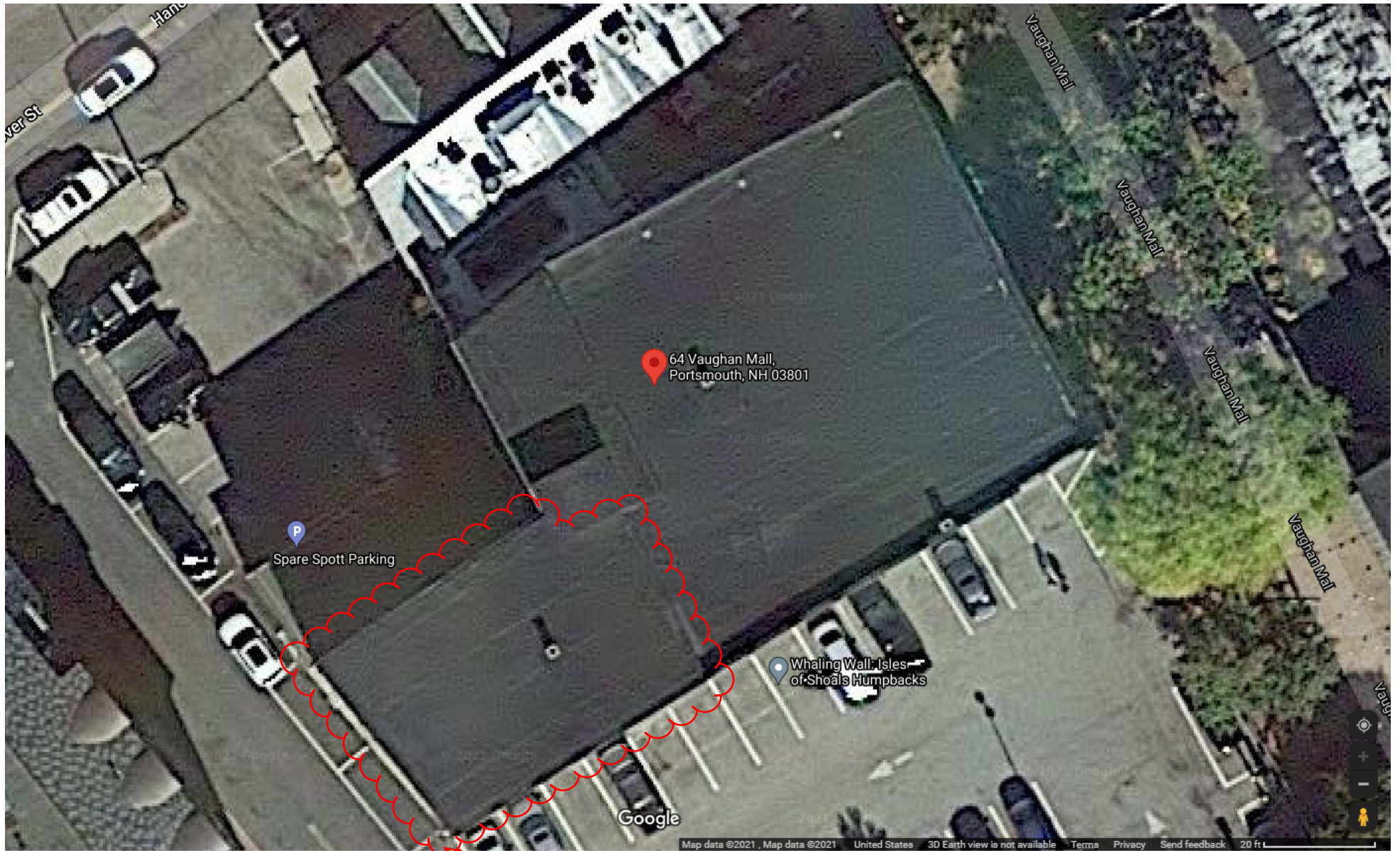
CITY OF PORTSMOUTH 3D MODEL



SITE SECTION ALONG HANOVER STREET



SITE SECTION ALONG MAPLEWOOD AVENUE



BUILDING TO BE DECONSTRUCTED



PREVIOUSLY
APPROVED FOR
REMOVAL





4 Rock Street, Unit #3

Public Hearing



08/27/2021

LU-21-3

Land Use Application

Status: Active**Date Created:** Jan 6, 2021**Applicant**

Kathryn Coyle
polizzotto@gmail.com
660 Middle Street
Portsmouth, NH 03801
617-413-0325

Location

4 ROCK ST Unit 3
Unit 3
Portsmouth, NH 03801

Owner:

Kevin and Kathryn Coyle
660 Middle Street Portsmouth , NH 03801

Applicant Information**Please indicate your relationship to this project**

A. Property Owner

Alternative Project Address**Alternative Project Address**

--

Project Type**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it☐**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above☐**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure☒**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial☐**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications☐**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)☐**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work☐**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line☐**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**☐**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)☐

IRock Condominium
Located 4 & 6 Rock Street and 125 Islington St.

Summary: As President and Treasurer of the IRock Condo Association, and owning 86% interest in the building, on behalf of the association we would like to replace the windows in the building. The windows are mismatched with three different ages and materials. The majority of the windows were replaced in the 1940's and are historically inaccurate. There are also a few vinyl replacement windows. We have identified 5 original windows, located in the back of the building. Those windows have some replacement glass. The reason for this request is due to terrible condition of the windows and also to restore the building to make it more architecturally historically accurate by replacing the current 2 over 2 windows and old rusty storm windows with historically accurate wood 6 over 6 windows, consistent with Greek Revival buildings constructed in the 1840's. There will be no light loss with the replacement of the windows because only the sashes will be replaced.



View from Rock Street

Basis for Replacement:

On Jul 20, 2021, at 4:47 PM, Andy Keeffe <Andy@greenmountainwindow.com> wrote:

Hi Kevin & Kate,

Its pretty obvious to me that there are only four original windows in your house (#19, 27, 28 & 31). These four are 6/6 divided lite with mouth blown wavy glass and hand made sash. The remainder of the windows had the sash replaced sometime around 1940 I would say. All of these "modern" windows have a 2/2 divided lite pattern and have plain (non-wavy) glass. To return to the original historic look of the house the 2/2 window sash should be replaced with 6/6 sash.

In all we counted 33 windows.

Windows 19, 27, 28 and 31 will likely need to remain as they are (Historic).

Windows 32 & 33 in the garage could probably remain as they are since this isn't heated space. I will send you a quote for the other 27 windows shortly.

One thing you might want to consider for any discussion with the HDC: if any of the four historic windows are the same size as windows on Rock St or Islington St you should let them know that you will move those historic sash to those more prominent locations. I am sure they would rather see those original sash on the more visible parts of the house rather than in the alley. I did not measure the four historic windows so I don't know if they are the same size as other windows in the house.

Let me know if you have any questions and you will be seeing a quote shortly.

Thanks,
Andy

Proposal:



GREEN MOUNTAIN
WINDOW & DOOR™
COMPANY

News

HISTORIC REMODEL, HISTORIC REGISTRY & LANDMARK PROPERTY WINDOW REPLACEMENT



GREEN MOUNTAIN WINDOW SPECIALIZES IN WINDOW REPLACEMENT SOLUTIONS FOR THE NORTHEAST'S HISTORIC BUILDINGS. OUR WINDOWS ARE DESIGNED TO BLEND THE DETAILS AND PATTERNS ONCE USED BY LOCAL CRAFTSMAN IN NEW ENGLAND'S SASH MILLS WITH THE LATEST ENERGY PERFORMANCE TECHNOLOGY.



FOUR DIFFERENT REPLACEMENT SYSTEMS:

- FULL FRAME WINDOW
- INSERT "BOX" WINDOW
- SASH & TRACK BALANCE KIT
- SASH & CONCEALED BALANCE KIT



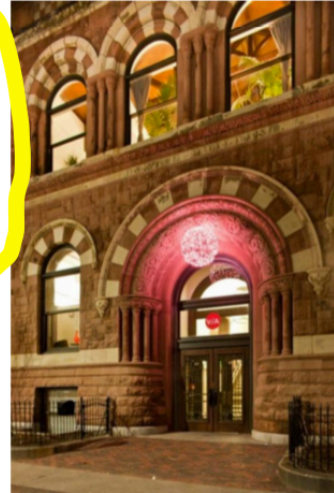
92 Park Street • Rutland, Vermont 05701 • Phone: 802.747.6915 • Fax: 802.747.7864 • www.greenmountainwindow.com

We offer four different systems to replicate historic window details:



1. Complete full frame window applications: With minor modifications to our standard window we can match the sash, frame and daylight opening sightlines of existing historic windows. Often with this approach the existing historic exterior window trim can be reused on our window; or we can mill new trim to match existing. With the window to the left we only needed to modify our sill and bottom sash rail to match the original historic windows. If the historic window frames are not in a re-usable condition this may be the only replacement option.

2. Sash and concealed balance applications:
With this system we make new energy efficient sash that mimic the sightlines of the original sash. We install a cartridge block and tackle balance in the side edge of the sash that remains completely hidden. We also supply a concealed weather-strip system that encapsulates the sliding sash. The appearance will be virtually identical to the original window however the existing window frames need to be in good condition and relatively square for proper performance. This system was used in the historic library shown to the right.



3. Sash and jamb liner track applications:
With this system we make new energy efficient sash that mimic the sightlines of the original sash. And we supply a vinyl jamb liner / sash balance system that gets applied to the existing window frame. Typically the daylight openings and sash sightlines will match the original windows but the vinyl track applied to the old frame may stand out as a modern addition. The existing window frames need to be in good condition and relatively square for proper performance. Arch tops and angled tops are available as used in the Portland Maine apartment complex on the left.

4. Insert or "box" window applications: With this approach we manufacture a complete window with a 3 3/8" deep frame to fit inside of the existing window frame. While we can match the look of a historic window with this system some of the original daylight opening will be lost due to the frame. However, with our insert window you will lose less daylight than with any other manufacturers unit. One benefit of this approach is that if the existing window frame is out of square the operation and performance of the new window is not affected. This system was used in a Realtors office in Virginia shown on the right.



Cut Sheet:

Prior to Installation

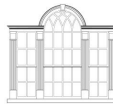
Installed

Concealed Balance Sash Kit

Green Mountain Window Company

92 Park Street Rutland, Vermont

Order #:	
Line #:	
Date:	9-18-17
CAD:	ARK



Green Mountain Window Co.

Rock St, Portsmouth, 7-22-21

Custom Size Sash Replacement Kits with Concealed Balances: Pine, Painted Exterior, Primed Interior, Low E – Argon Filled Glass, 5/8" SDL with Gray Spacer, White Hardware, White Aluminum Framed Full Screens with Charcoal Fiberglass Mesh Screens (Screens fit into existing exterior window casing – completely separate from sash replacement kits)

ID	Qty	Style	Approx. Size (each)	Cut	Notes	Net (ea)	Extended
1 st Floor Large	8	Double Hung	32" x 58"	6/6		890.00	7120.00
1 st Floor Small	1	Double Hung	25" x 46"	6/6		850.00	850.00
1 st Floor Fixed	1	Fixed	14" x 27"	1 Lite		520.00	520.00
2 nd Floor Large	11	Double Hung	32" x 54"	6/6		890.00	9790.00
2 nd Floor Small	5	Double Hung	25" x 46"	6/6		850.00	4250.00
3rd Floor Egress	1	Fixed	32" x 54"	6/6		1350.00	1350.00
Screens	25	For Double Hungs				35.00	<u>875.00</u>

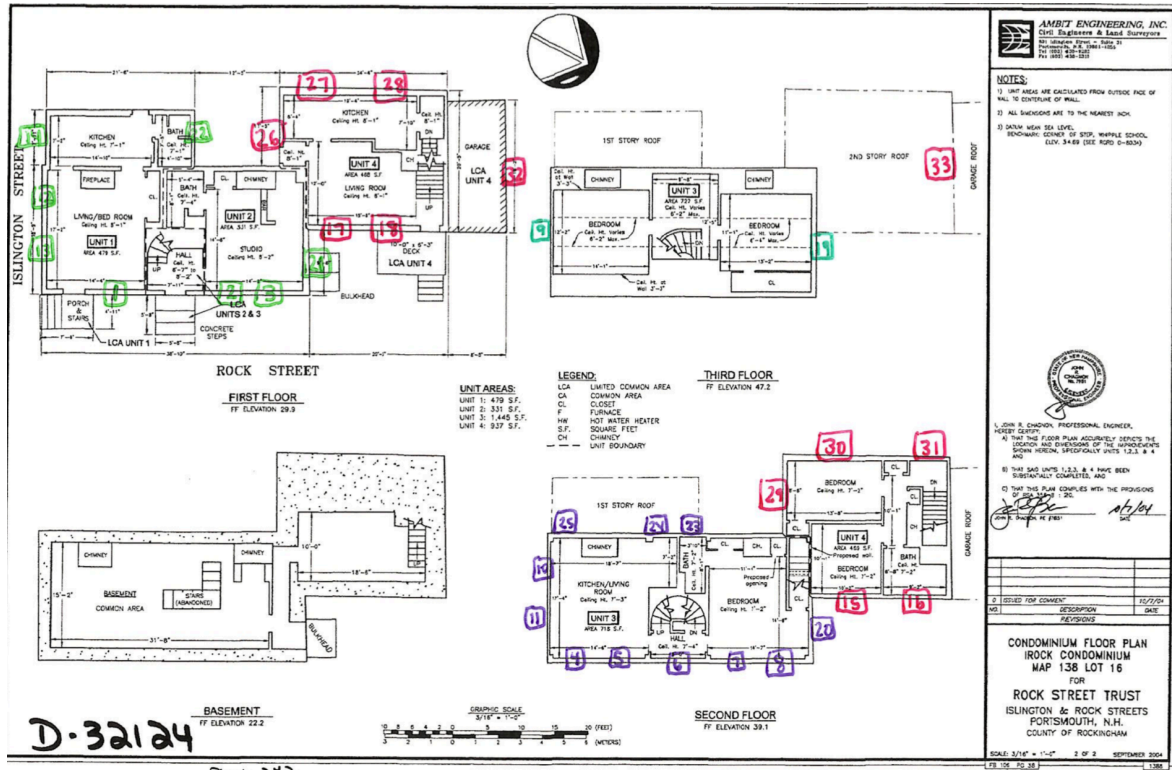
Total

24,755.00

Terms:

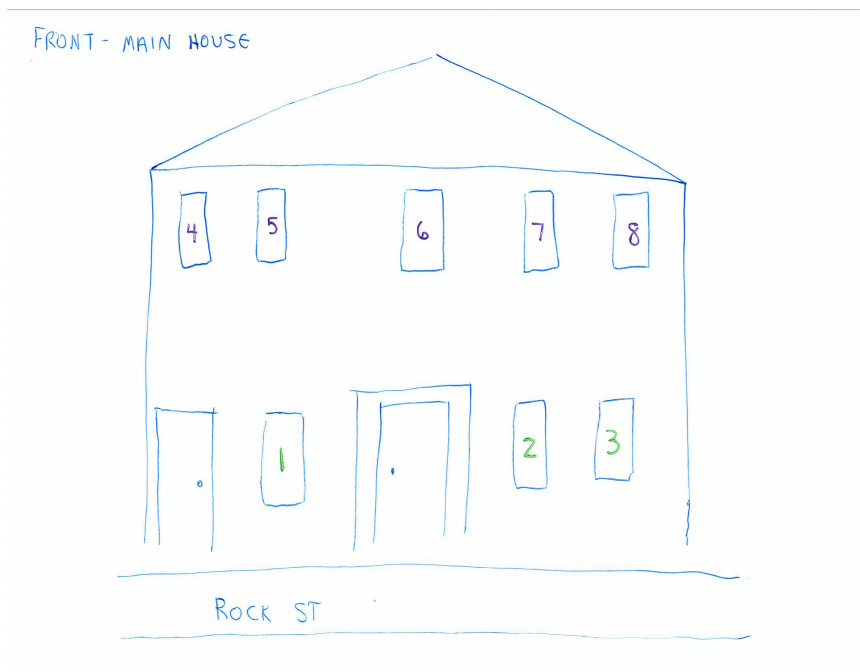
50% Deposit to begin production, Balance due upon delivery.

Window schedule:





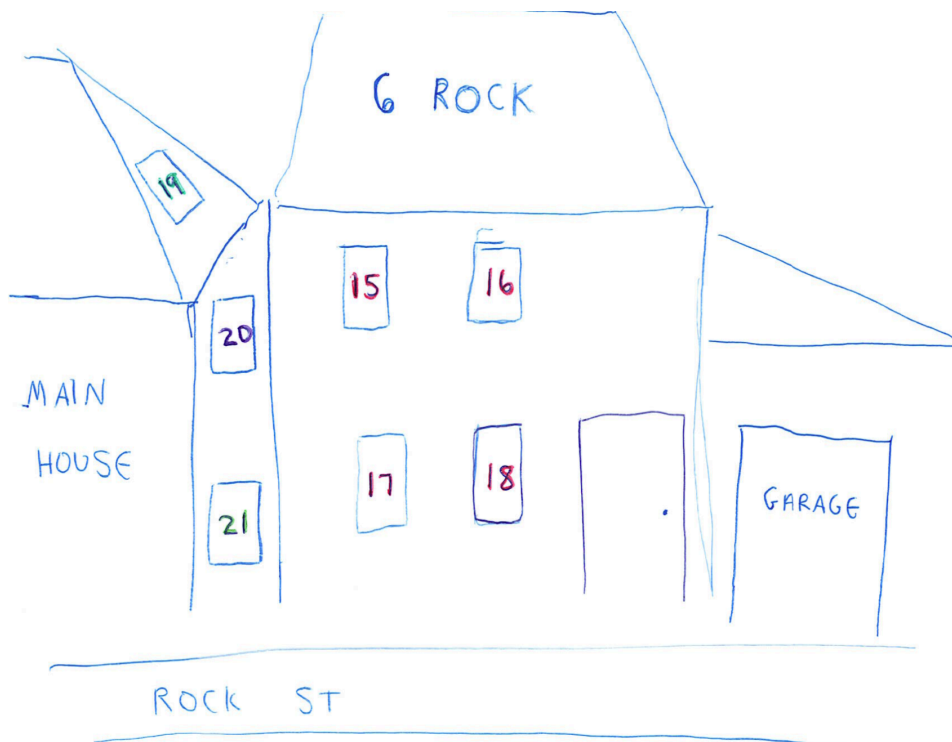
View from Rock Street



Windows 1-8: These windows were all replaced in the 1940's. They are 2 over 2. Our proposal is to replace the sashes only with double hung style 6 over 6. There will be NO light loss with this replacement. The approximate size of these windows are 32"x 58" for the first floor (windows #1-3) and 32" x 54" for the second floor (windows #4-7).



View from Rock Street

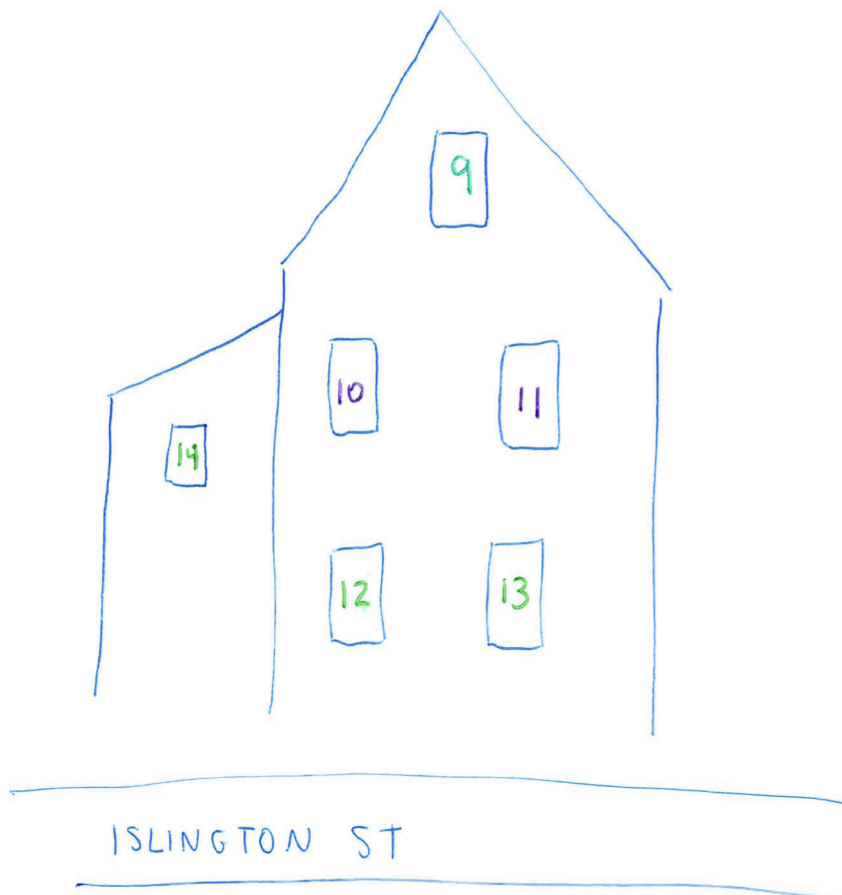


Windows 15-18, 20 and 21 were replaced in the 1940's. They are 2 over 2. They are not original sashes and there is no wavy glass. Our proposal is to replace the sashes only with double hung style 6 over 6. There will be NO light loss with this replacement. The approximate size for windows #15-16 is 25" x 46" and 32" x 58" for windows 17-18, 21. The approximate size for window #20 is 32" x 54".

Window #19 is original. We would propose restoring this window. The sash is 6 over 6 with at least one pane of wavy glass.



View from Islington St.

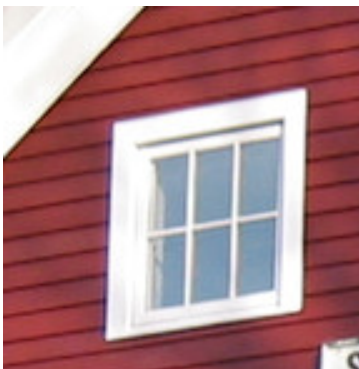


Window #9 is a vinyl replacement window installed in the 1980s. It is 1 over 1. We would propose replacing the frame in order to install a casement window with a double hung 6 over 6 appearance. This window size is 32" x 54"



Windows #10-13: These windows were all replaced in the 1940's. They are 2 over 2. Our proposal is to replace the sashes only with double hung style 6 over 6. There will be NO light loss with this replacement. The approximate size of these windows are 32"x 58" for the first floor (windows #12-13) and 32" x 54" for the second floor (windows #10-11).

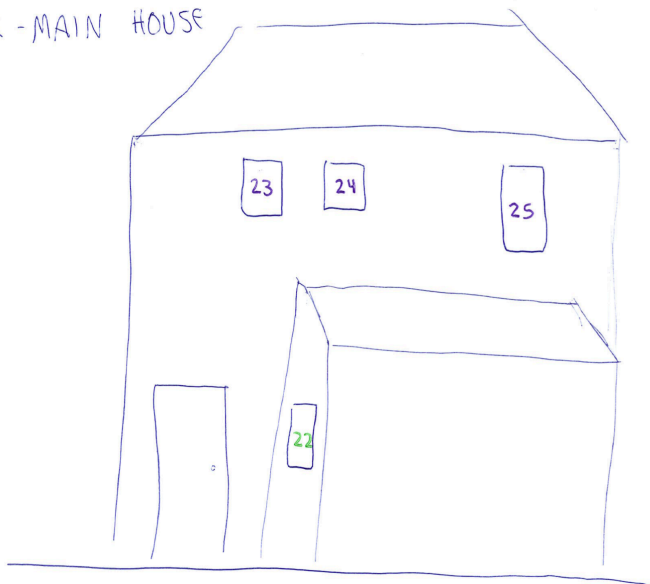
Window #14 is a vinyl replacement window from the 1980's. It is 1 over 1. We would propose replacing it with a fixed window with a single lite, 14"x 27" in size.





Back Alley as viewed from Islington St.

BACK-MAIN HOUSE



Windows #23-24 are 1960's vinyl windows. Our proposal is to replace the sashes only with double hung style 6 over 6. There will be NO light loss with this replacement. The approximate size of these windows are 25" x 46".

Window #25: This window was replaced in the 1940's. It 2 over 2. Our proposal is to replace the sashes only with double hung style 6 over 6. There will be NO light loss with this replacement. The approximate size of this window 32" x 54".

Window #22: There is no existing window. It appears someone merely cut a whole in the siding and installed a storm window. We would propose to replace the storm with a double hung window style 6 over 6. There will be NO light loss with this replacement. The approximate size of this window 25" x 46".



Back Alley



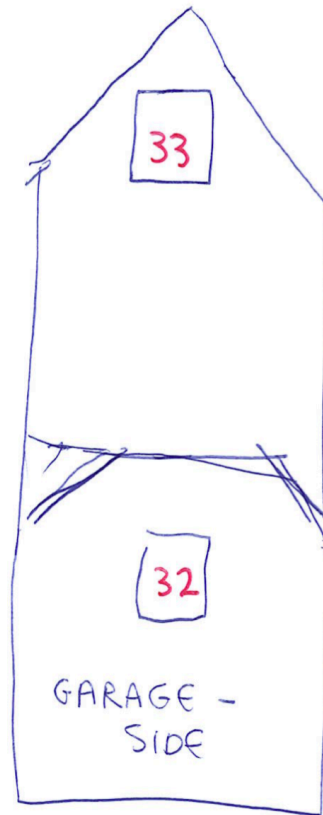
Back Alley



Windows #27, 28 and 31 are original. We would propose restoring these windows.

Windows #26, 29, and 30 were replaced in the 1940's. They are 2 over 2. They are not original sashes and there is no wavy glass. Our proposal is to replace the sashes only with double hung style 6 over 6. There will be NO light loss with this replacement. The approximate size of window #26 is 32"x 58". The approximate size of windows #29 and 30 is 32"x 54".

RIGHT SIDE - 6 ROCK



Window #33 is original and we would propose restoring that window.

Window #32 is a replacement window on the side of the garage and we do not intend on replacing that window.

Summary Chart:

Window #	Current status	Proposed
1	1940 wood; 2/2	Replace wood 6/6
2	1940 wood; 2/2	Replace wood 6/6
3	1940 wood; 2/2	Replace wood 6/6
4	1940 wood; 2/2	Replace wood 6/6
5	1940 wood; 2/2	Replace wood 6/6
6	1940 wood; 2/2	Replace wood 6/6
7	1940 wood; 2/2	Replace wood 6/6
8	1940 wood; 2/2	Replace wood 6/6
9	1980 vinyl; 1/1	Replace wood casement egress with doublehung 6/6 appearance
10	1940 wood; 2/2	Replace wood 6/6
11	1940 wood; 2/2	Replace wood 6/6
12	1940 wood; 2/2	Replace wood 6/6
13	1940 wood; 2/2	Replace wood 6/6
14	1980 vinyl; 1/1	Replace wood fixed 6 pane
15	1940 wood; 2/2	Replace wood 6/6
16	1940 wood; 2/2	Replace wood 6/6
17	1940 wood; 2/2	Replace wood 6/6
18	1940 wood; 2/2	Replace wood 6/6
19	Original	Maintain and restore
20	1940 wood; 2/2	Replace wood 6/6
21	1940 wood; 2/2	Replace wood 6/6
22	Storm pane only; no window	Replace wood 6/6
23	1960's vinyl 1/1	Replace wood 6/6
24	1960's vinyl 1/1	Replace wood 6/6
25	1940 wood; 2/2	Replace wood 6/6
26	Unsure- not original 2/1	Replace wood 6/6
27	Original	Maintain and restore
28	Original	Maintain and restore
29	1940 wood; 2/2	Replace wood 6/6
30	1940 wood; 2/2	Replace wood 6/6
31	Original	Maintain and restore
32	Garage- unsure date	Maintain and restore
33	Original	Maintain and restore

137 Northwest Street

Work Session

93 Pleasant Street

Work Session

**LUHD-324**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Apr 15, 2021**Applicant**

Tracy Kozak
tkozak@jsainc.com
JSA Inc
273 Corporate Drive, Suite 100
portsmouth, New Hampshire 03801
603-731-5187

Location

93 PLEASANT ST
Portsmouth, NH 03801

Owner:

DAGNY TAGGART LLC
30 PENHALLOW ST SUITE 300 PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Work Session

Project Information**Brief Description of Proposed Work**

Renovation and addition for a housing / office mixed
use development.

Description of Proposed Work (Planning Staff)

renovations to an existing structure (renovations of existing building) and new construction to an existing structure (construct 3-story addition)

Project Representatives**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Christopher Lizotte

Business Name (if applicable)

Procon

Mailing Address (Street)

PO Box 4430

City/Town

Manchester

State

NH

Zip Code

03108

Phone

6035182279

Email Address

clizotte@proconinc.com

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Mark McNabb

Business Name (if applicable)

McNabb Properties Ltd

Mailing Address (Street)

3 Pleasant Street, Suite 400

City/Town

Portsmouth

93 PLEASANT STREET



HDC DRAWING SHEET LIST	
P1.1	COVER SHEET
P1.2	PROPOSED FIRST FLOOR PLAN
P1.3	PROPOSED ROOF PLAN
P1.4	CONTEXT VIEW FROM PLEASANT
P1.5	CONTEXT VIEW FROM COURT ST - N
P1.6	CONTEXT VIEW FROM COURT ST - S
P1.7	CONTEXT VIEW FROM STATE ST
P1.8	PERSPECTIVE VIEW - SW
P1.9	PERSPECTIVE VIEW - SE
P1.10	ELEVATION - FRONT
P1.11	ELEVATION - SIDE
P1.12	ELEVATION - REAR
P1.13	PARTIAL EXTERIOR ELEVATIONS
P1.14	PARTIAL EXTERIOR ELEVATIONS
P1.15	PARTIAL EXTERIOR ELEVATIONS
P1.16	PARTIAL EXTERIOR ELEVATIONS
P1.17	PARTIAL EXTERIOR ELEVATIONS
P1.18	PARTIAL EXTERIOR ELEVATIONS
P1.19	MATERIALS

SUMMARY

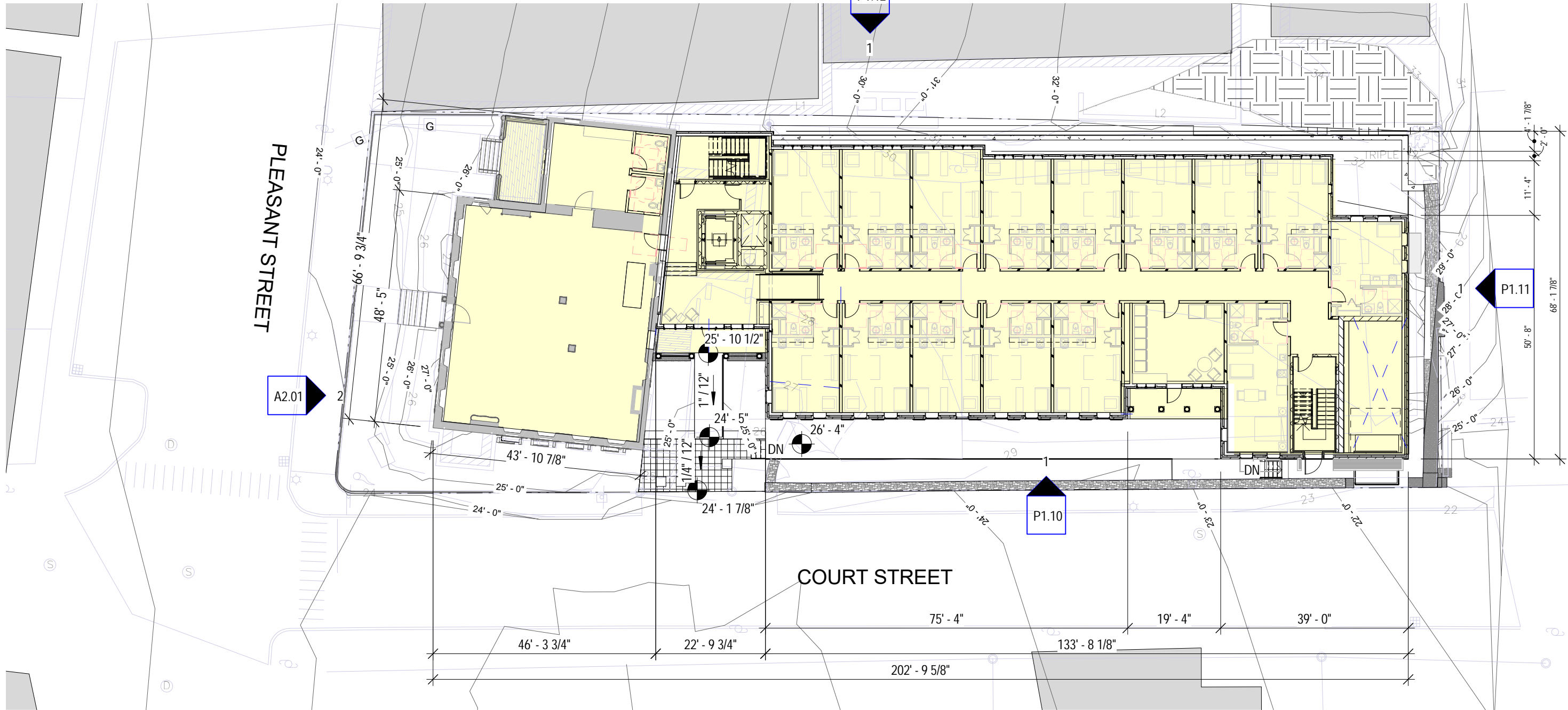
NEW CONSTRUCTION
MULTI-FAMILY HOUSING APARTMENTS, NEW STRUCTURE LOCATED IN
PARKING LOT BEHIND TREADWELL-JENNESS HOUSE.
2 STORIES + 3RD SHORT STORY; 1 LEVEL UNDERGROUND PARKING.

P1.1

COVER SHEET

93 PLEASANT STREET

HDC WORK SESSION 5 - AUGUST 23, 2021



1 HDC PROPOSED FIRST FLOOR PLAN
3/64" = 1'-0"

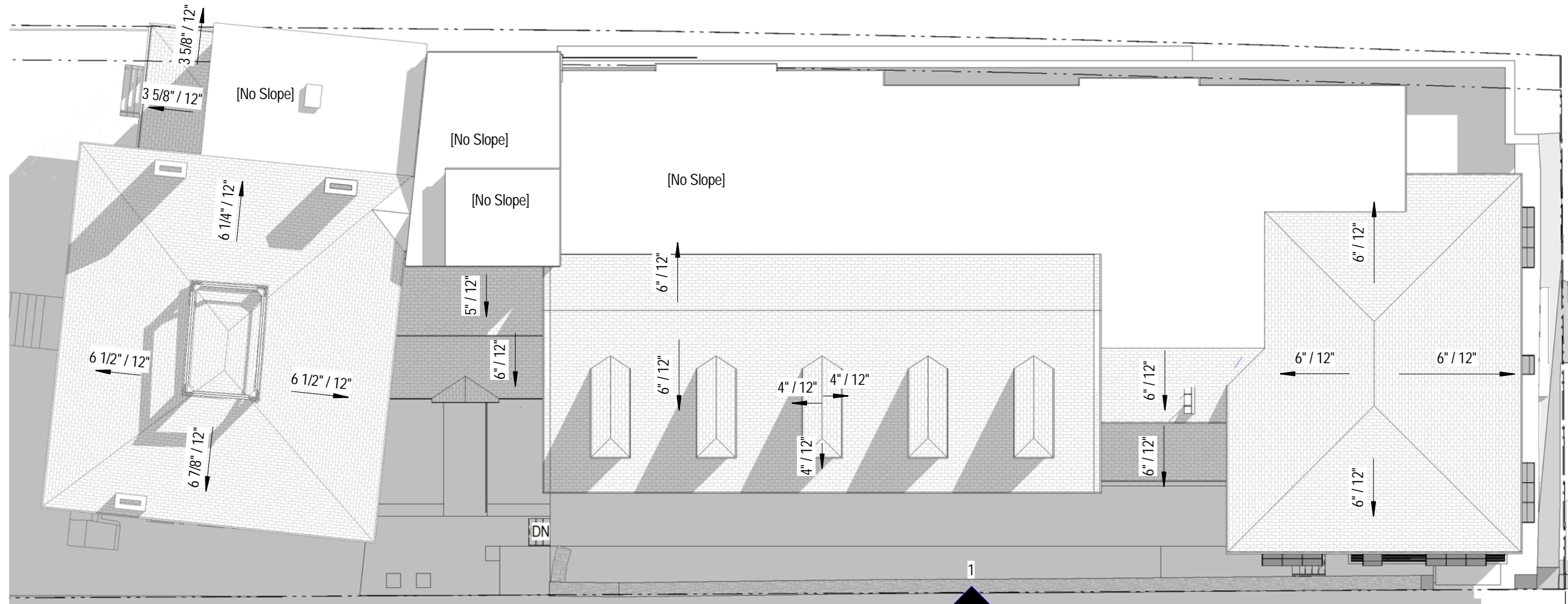
P1.2

PROPOSED FIRST FLOOR PLAN

93 PLEASANT STREET
HDCws 5 August 25, 2021

P1.12

1



1

P1.11

1

HDC PROPOSED ROOF PLAN

1/16" = 1'-0"

P1.10

GRAPHIC SCALE: 1/16" = 1'-0"



P1.3

PROPOSED ROOF PLAN

93 PLEASANT STREET
HDCws 5 August 25, 2021

JSA

ARCHITECTS
INTERIORS
PLANNERS



P1.4

CONTEXT VIEW FROM PLEASANT

93 PLEASANT STREET
HDC WORK SESSION 5 - AUGUST 23, 2021



P1.5

CONTEXT VIEW FROM COURT ST - N

93 PLEASANT STREET
HDC WORK SESSION 5 - AUGUST 23, 2021



P1.6

CONTEXT VIEW FROM COURT ST - S

93 PLEASANT STREET
HDC WORK SESSION 5 - AUGUST 23, 2021



P1.7

CONTEXT VIEW FROM STATE ST

93 PLEASANT STREET
HDC WORK SESSION 5 - AUGUST 23, 2021



P1.8

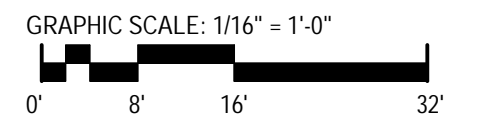
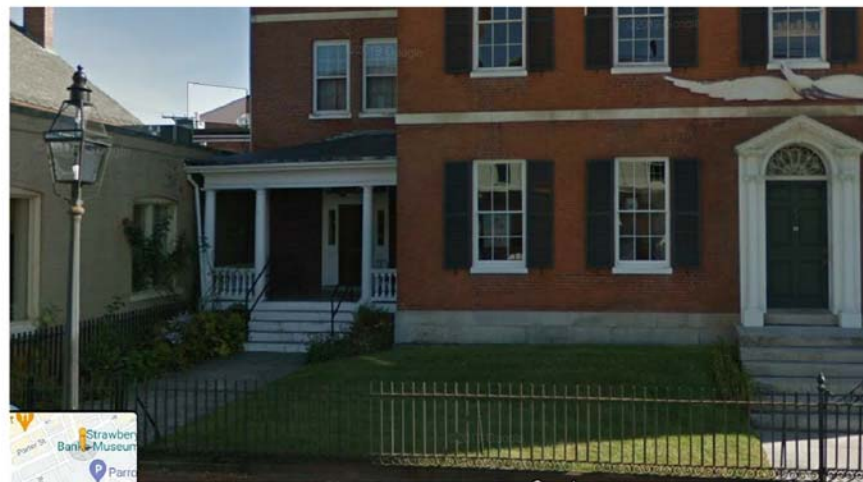
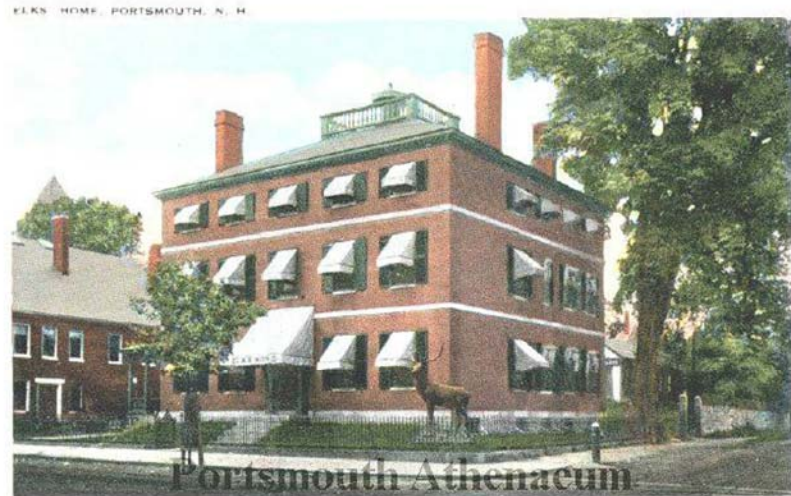
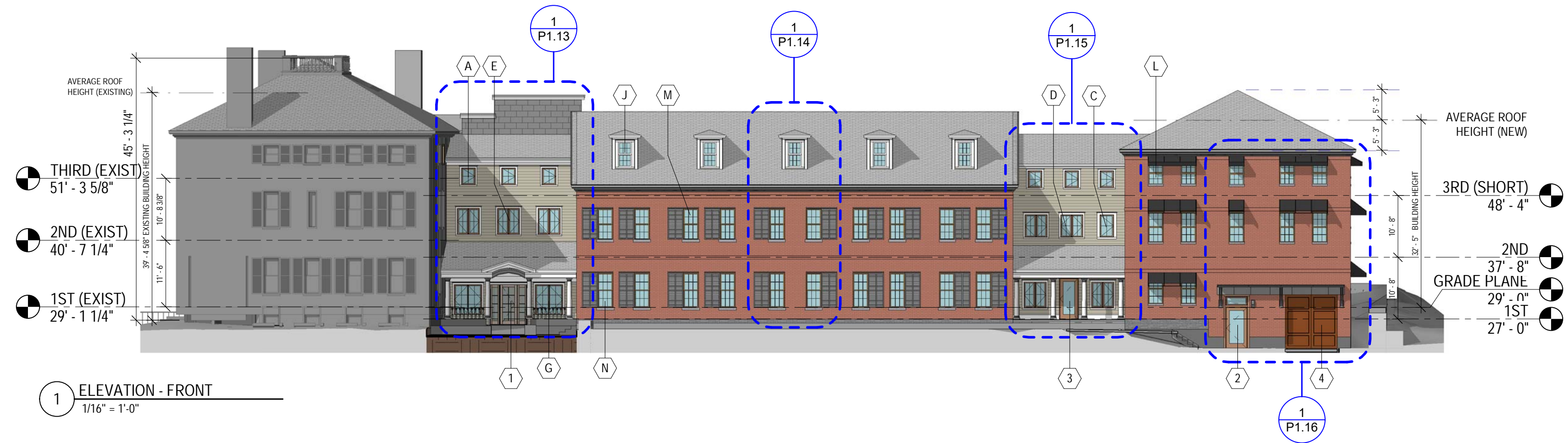
PERSPECTIVE VIEW - SW
93 PLEASANT STREET
HDC WORK SESSION 5 - AUGUST 23, 2021



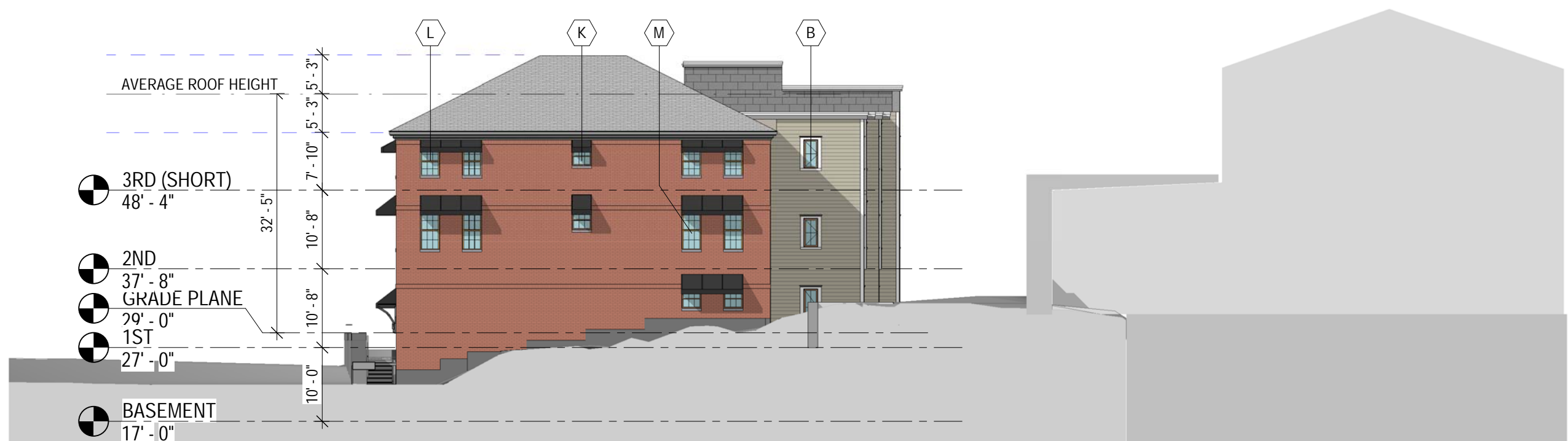
P1.9

PERSPECTIVE VIEW - SE

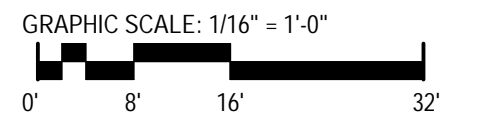
93 PLEASANT STREET
HDC WORK SESSION 5 - AUGUST 23, 2021



P1.10 ELEVATION - FRONT
93 PLEASANT STREET
HDCws 5 August 25, 2021



1 HDC ELEVATION - SIDE
1/16" = 1'-0"

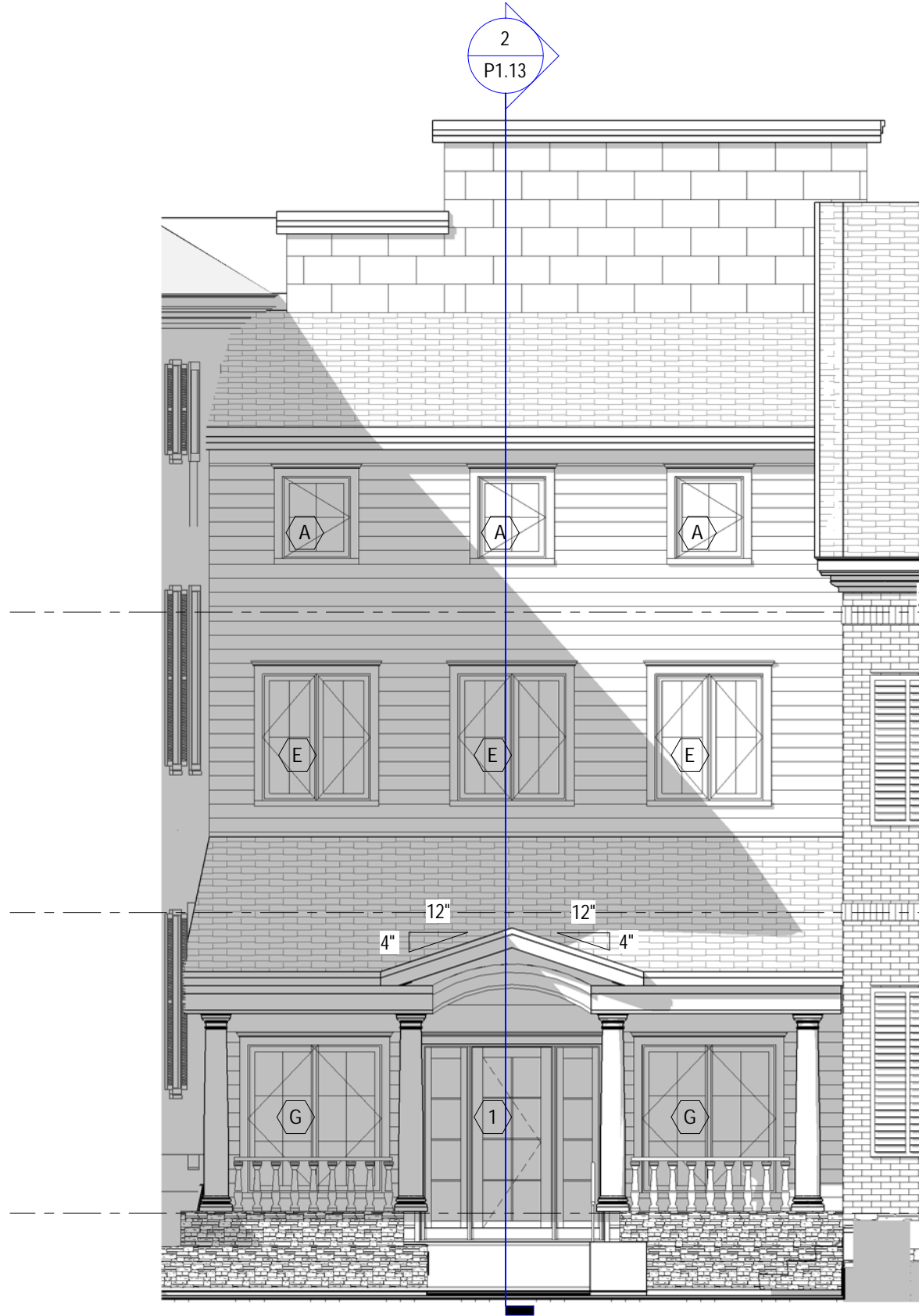


P1.11

ELEVATION - SIDE
93 PLEASANT STREET
HDCws 5 August 25, 2021



P1.12 ELEVATION - REAR
93 PLEASANT STREET
HDCws 5 August 25, 2021



3RD (SHORT)
48' - 4"

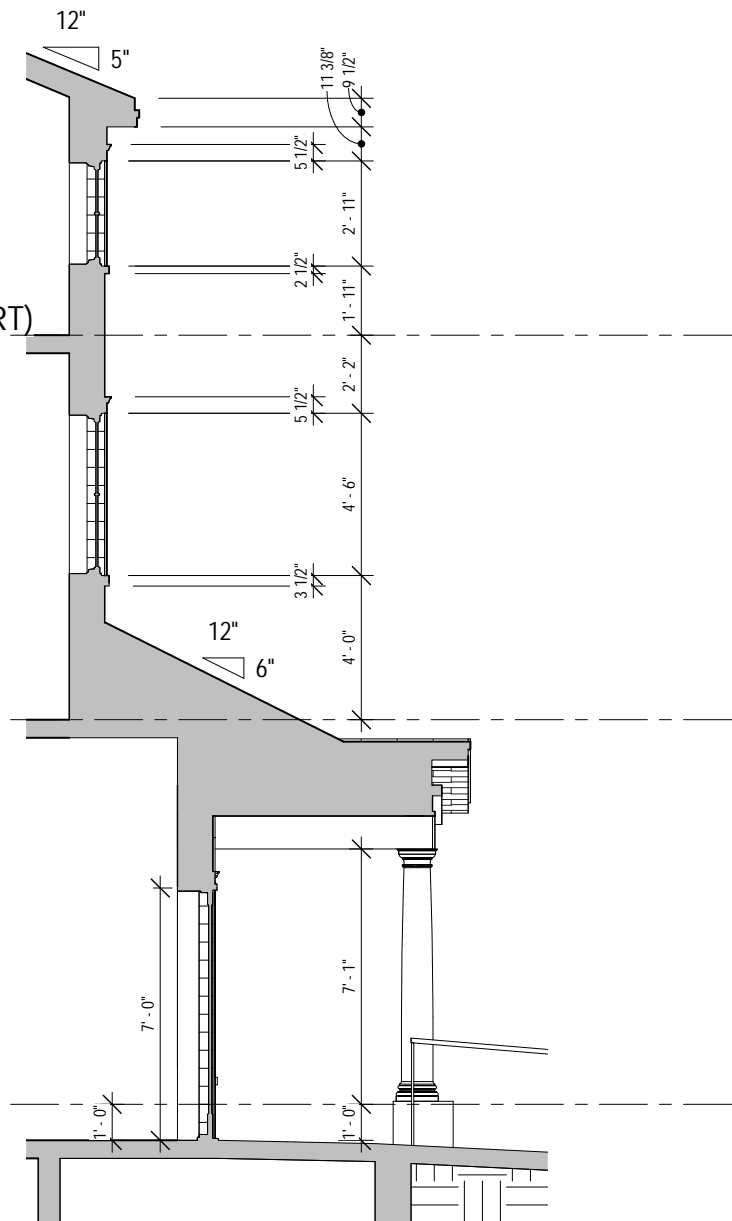
3RD (SHORT)
48' - 4"

2ND
37' - 8"

2ND
37' - 8"

1ST
27' - 0"

1ST
27' - 0"



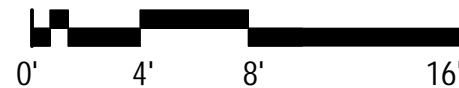
ELEVATION LEGEND

	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

1 HDC ELEVATION - FRONT - NEW MAIN ENTRY
3/16" = 1'-0"

2 HDC SECTION - THROUGH NEW MAIN ENTRY
3/16" = 1'-0"

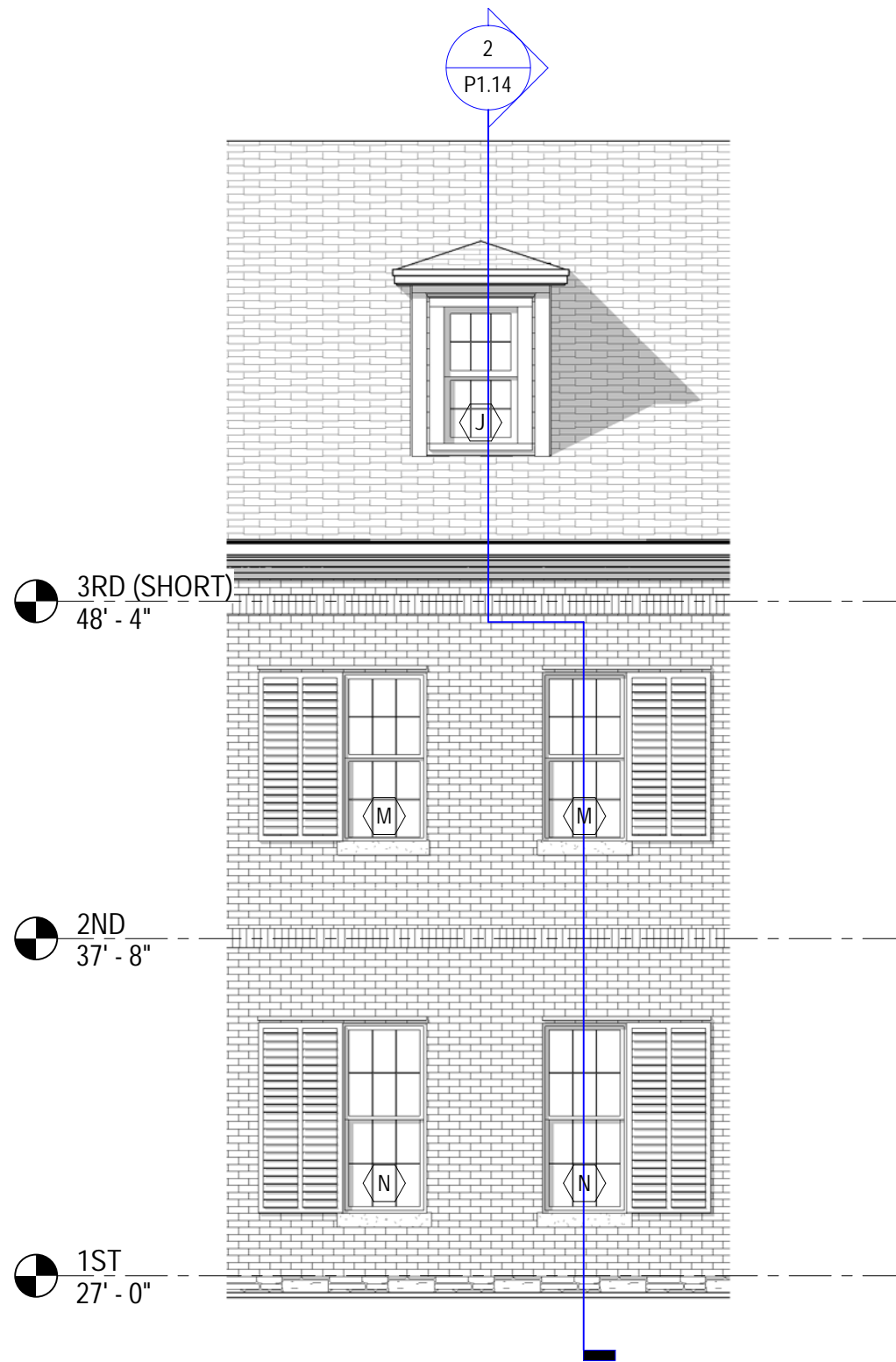
GRAPHIC SCALE: 3/16" = 1'-0"



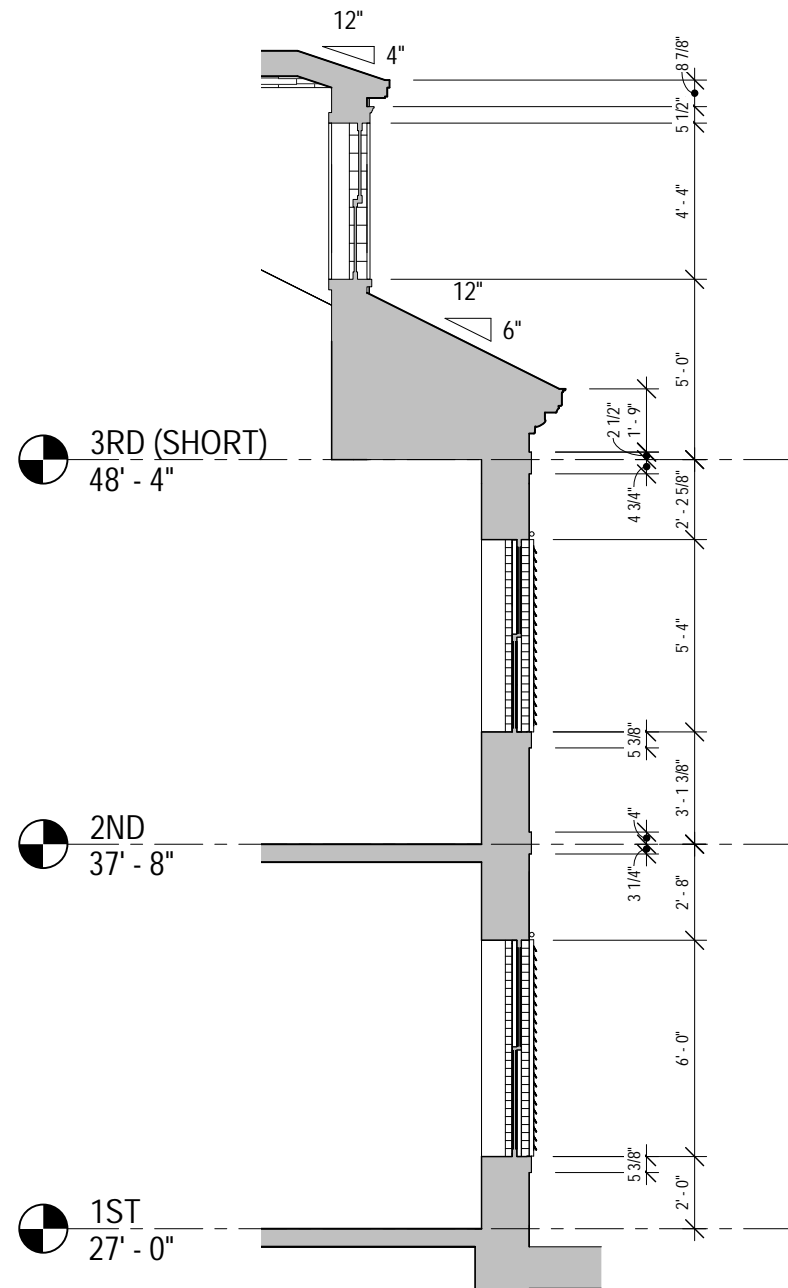
P1.13

PARTIAL EXTERIOR ELEVATIONS

93 PLEASANT STREET
HDCws 5 August 25, 2021

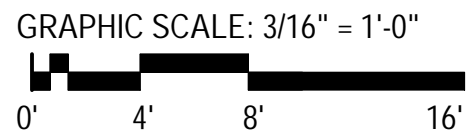


1 HDC ELEVATION - FRONT - NEW DORMER
3/16" = 1'-0"



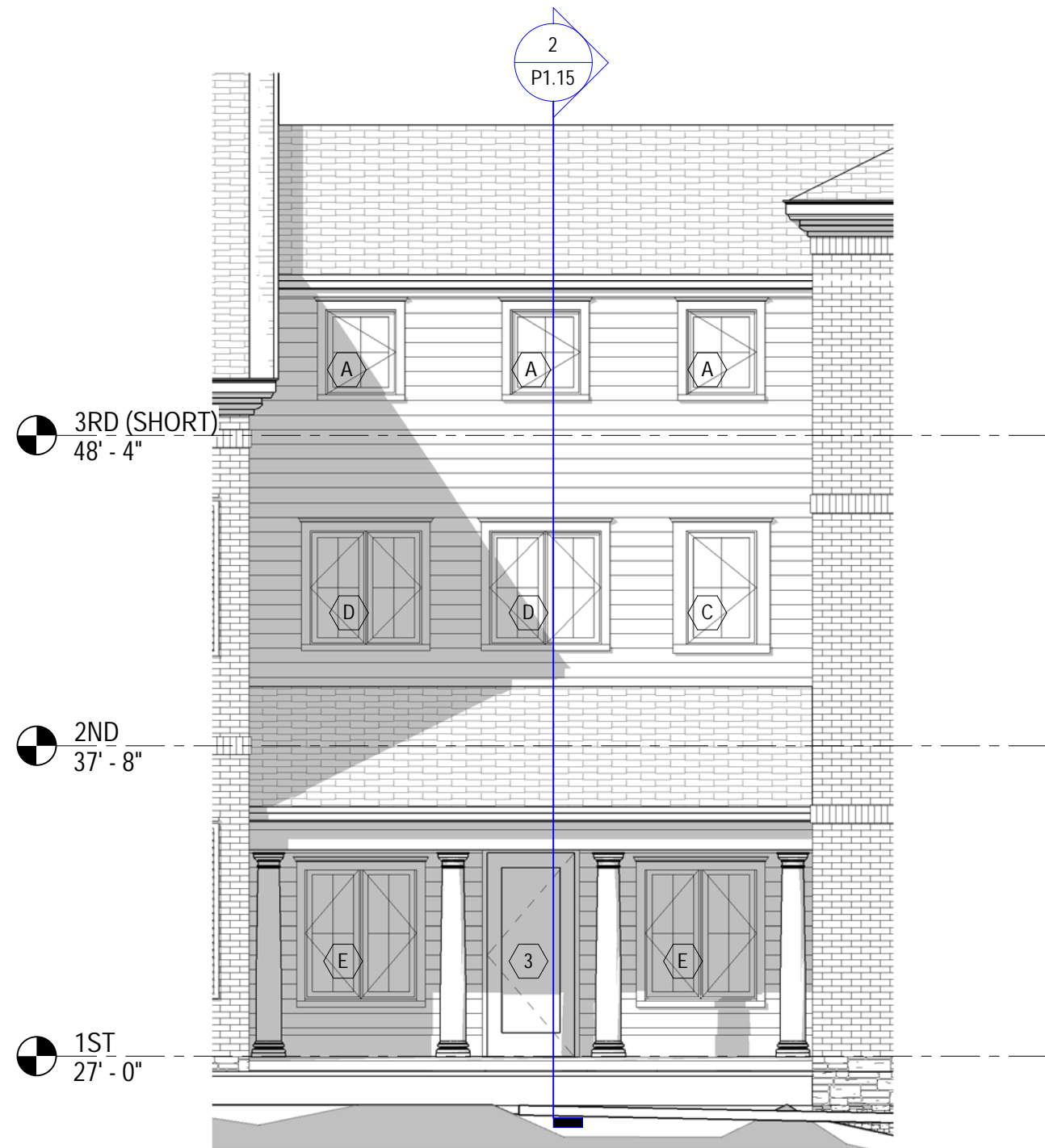
2 HDC SECTION - THROUGH DORMER
3/16" = 1'-0"

ELEVATION LEGEND	
	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

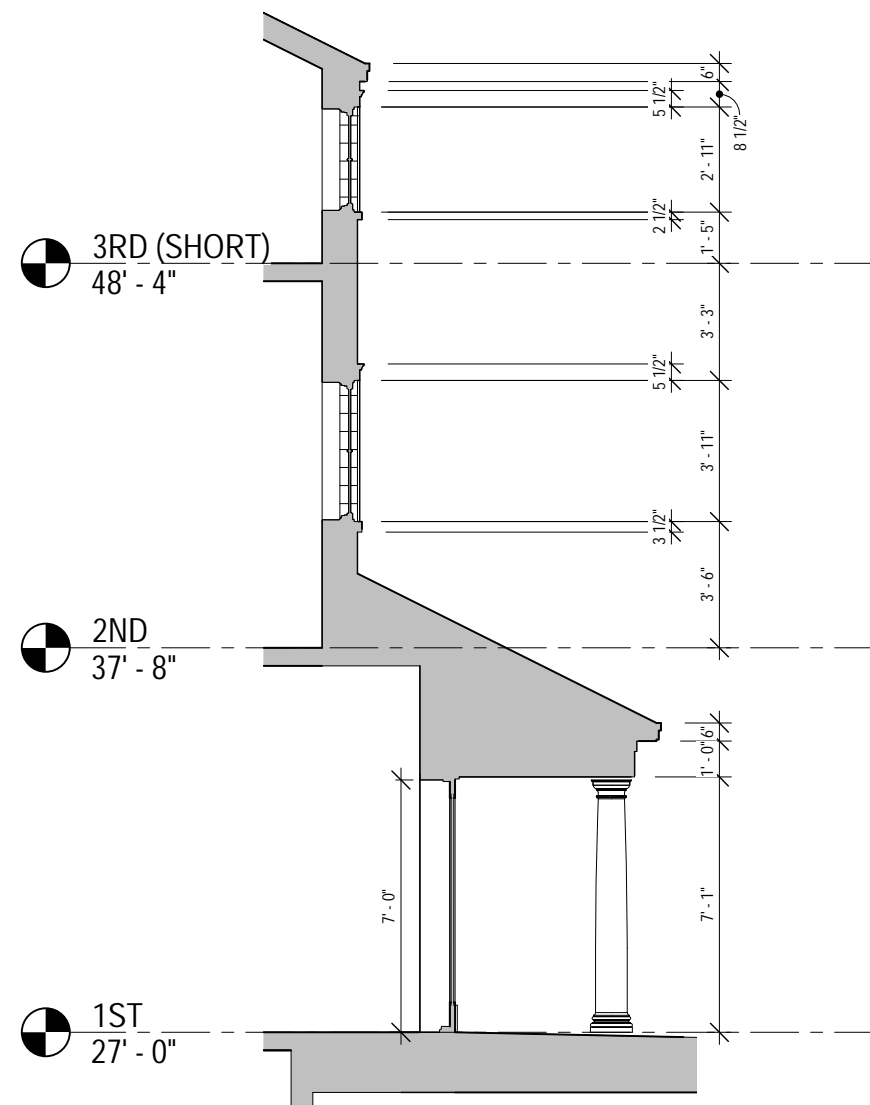


P1.14

PARTIAL EXTERIOR ELEVATIONS
93 PLEASANT STREET
HDCws 5 August 25, 2021



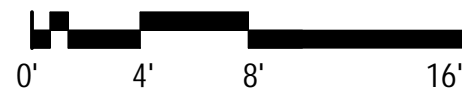
1 HDC ELEVATION - FRONT - NEW SIDE ENTRY
3/16" = 1'-0"



2 HDC SECTION - THROUGH SIDE ENTRY
3/16" = 1'-0"

ELEVATION LEGEND	
	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

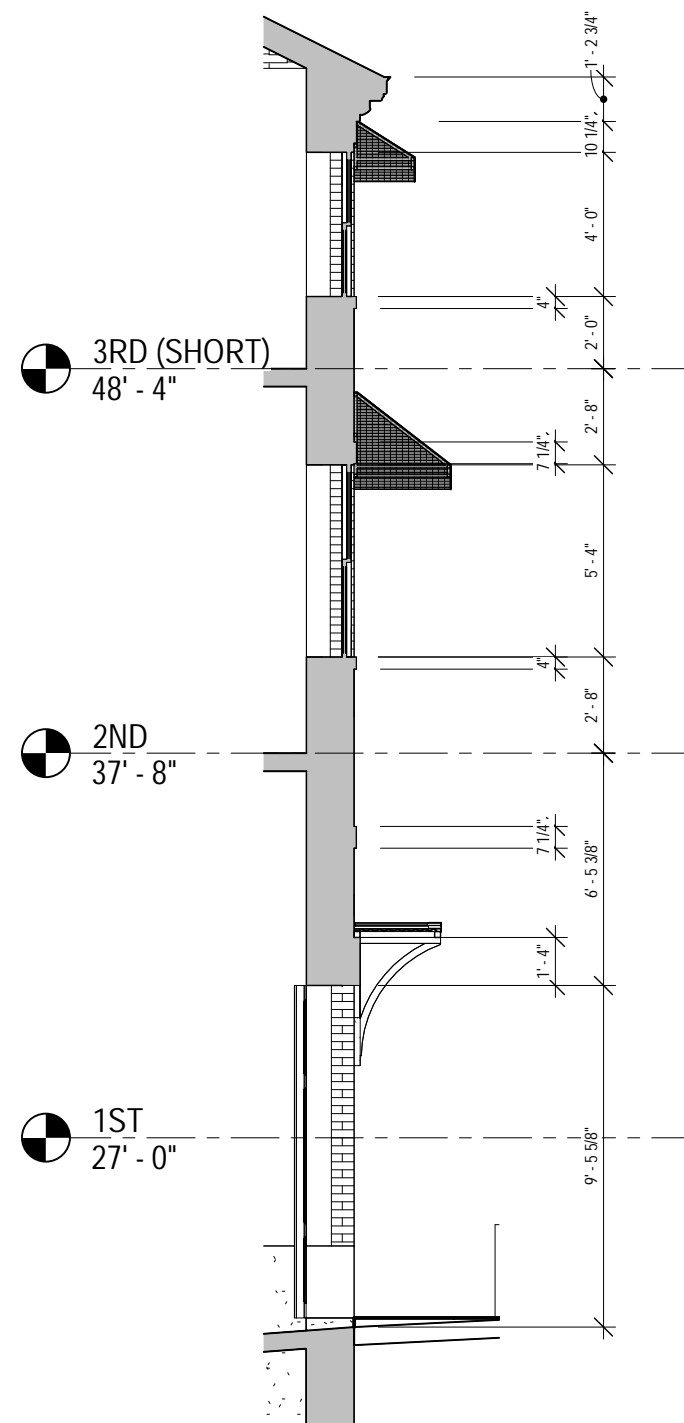
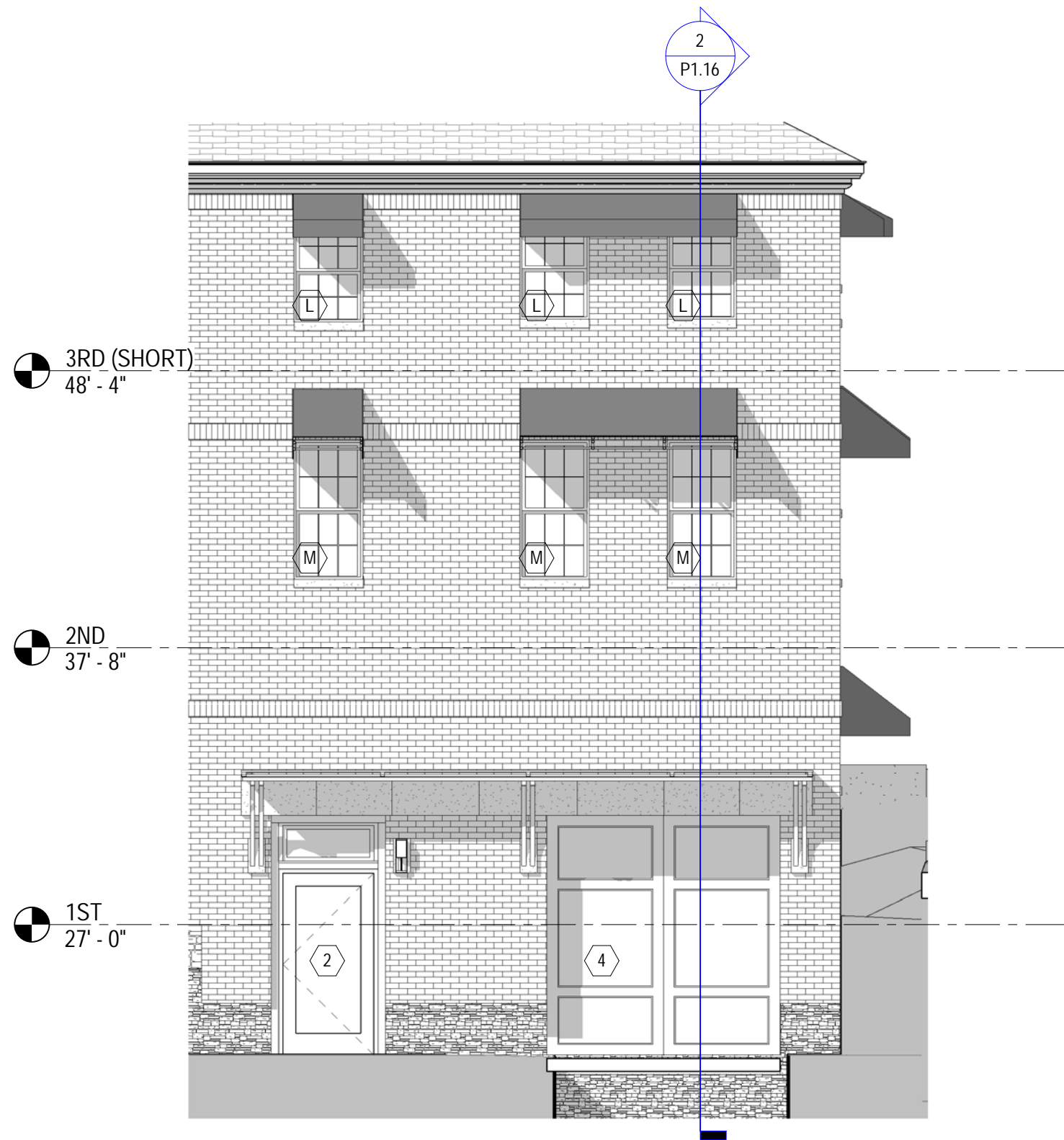
GRAPHIC SCALE: 3/16" = 1'-0"

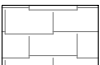
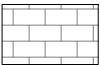




P1.15

PARTIAL EXTERIOR ELEVATIONS

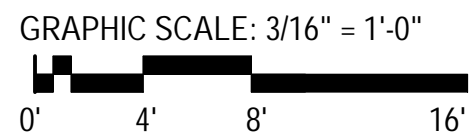
93 PLEASANT STREET
HDCws 5 August 25, 2021



ELEVATION LEGEND	
	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

1 HDC ELEVATION - FRONT - NEW ACCESS DOOR & GARAGE DOOR
3/16" = 1'-0"

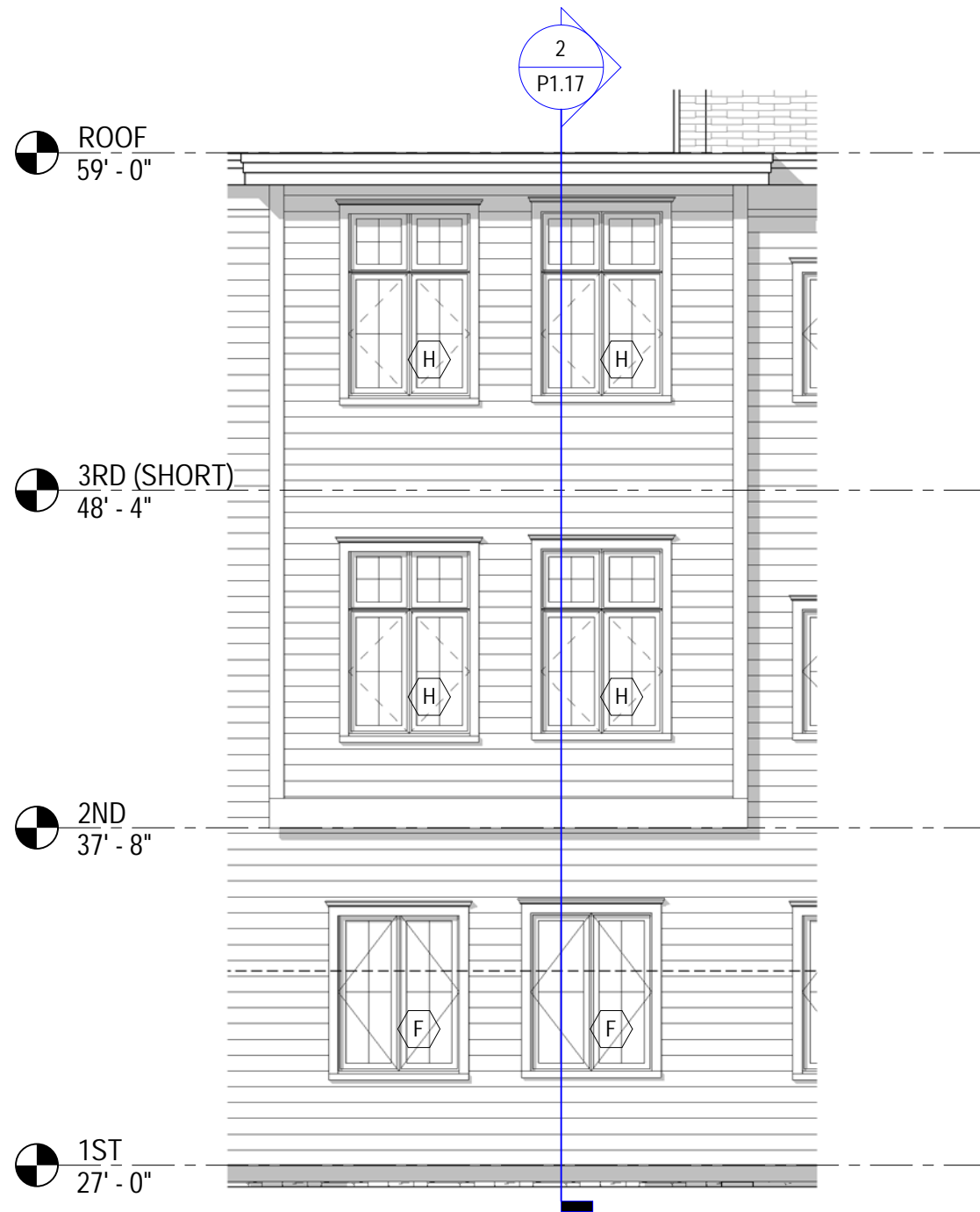
2 HDC SECTION - THROUGH GARAGE DOOR
3/16" = 1'-0"



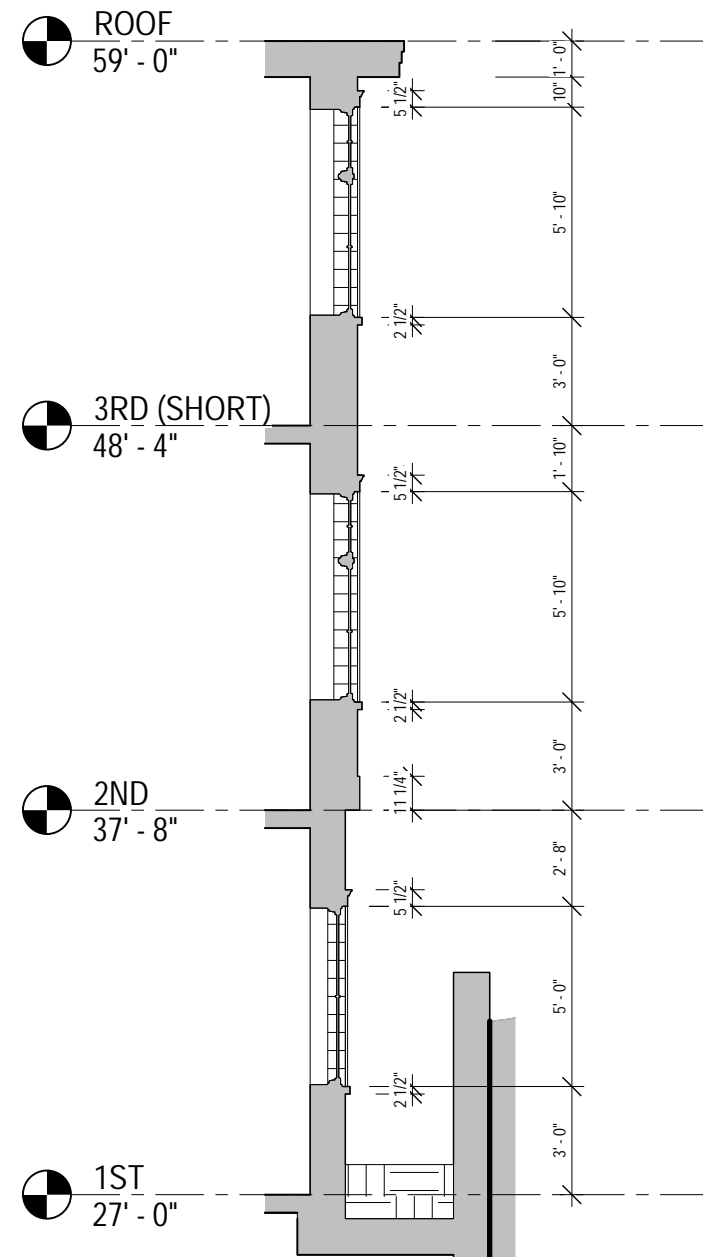
P1.16

PARTIAL EXTERIOR ELEVATIONS

93 PLEASANT STREET
HDCws 5 August 25, 2021



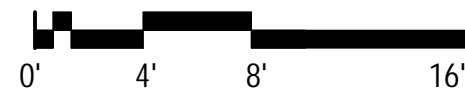
1 HDC ELEVATION - REAR - BUMPOUT
3/16" = 1'-0"



2 HDC SECTION - THROUGH REAR BUMPOUT
3/16" = 1'-0"

ELEVATION LEGEND	
	SYNTHETIC SLATE ROOF SHINGLES
	BRICK
	COMPOSITE RAINSCREEN BOARD
	ZINC PANELING

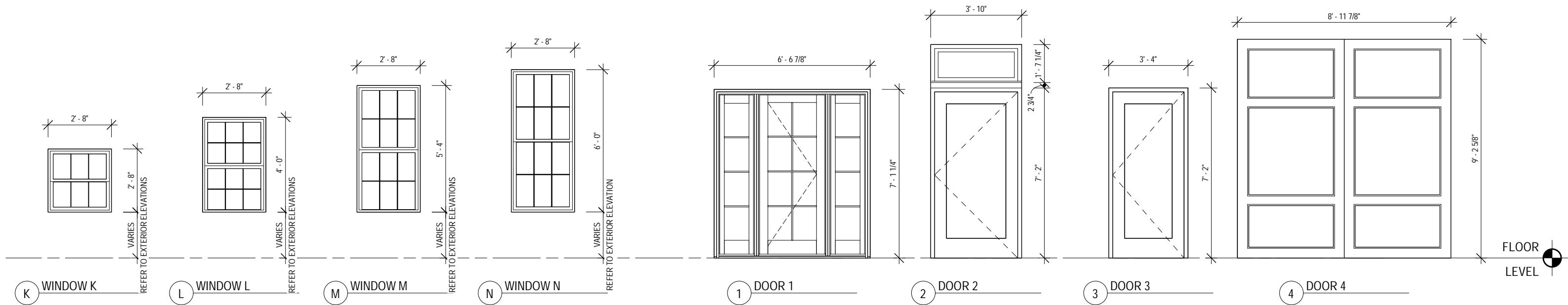
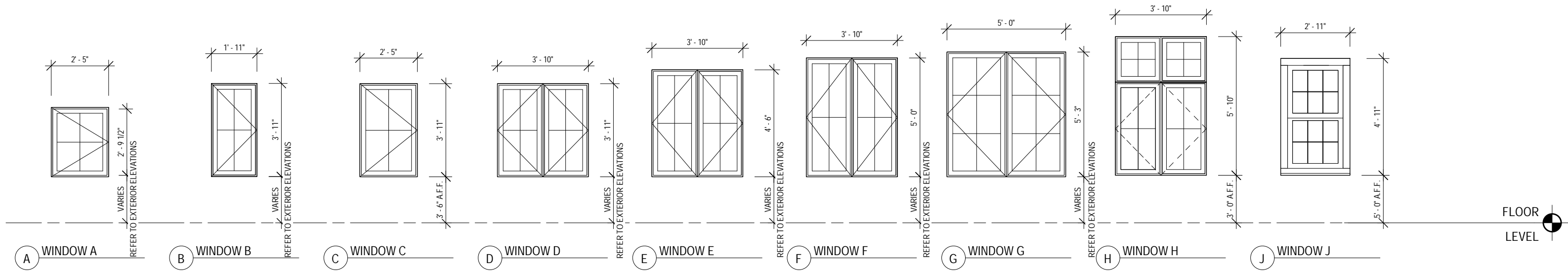
GRAPHIC SCALE: 3/16" = 1'-0"



P1.17

PARTIAL EXTERIOR ELEVATIONS

93 PLEASANT STREET
HDCws 5 August 25, 2021



P1.18

WINDOW & DOOR TYPES

93 PLEASANT STREET
HDCws 5 August 25, 2021

93 Pleasant Street - New Construction, Housing

8/25/2021

element	material	manufacturer/model	finish/color
brick	water struck	Morin Brick	royalriver narrow flash range, nb to match existing building (concord gray?)
masonry sills & trim	granite		
siding	composite polyash clapboards	Boral TruExterior	
trim	composite polyash	Boral TruExterior	
roofing	synthetic slate	Eco-star, Empire slate	smoke
windows	alum clad wood: pella or lepage; or fiberglass clad wood:		
doors	kolbe. Doulbe hung & casement		
shutters	kawneer		
	aluminum sliding plantation shutters	Two-USA, Weatherwell Aluminum Shutters	Painted black
		Frame: Gobal Industrian; Awntech H23-6K ; perf metal -	
		McNichols, 16890016 McNICHOLS® Perforated Metal	
		Designer Perforated, Slotted, AIRLINE 1468, Aluminum, Alloy	
		3003-H14, .0630" Thick (14 Gauge), 1-1/2" x 1/4" Square-End	
		Slot, Straight Centers, 68% Open Area	Painted black
awnings	perforated aluminum panel on steel frame		
	corrogated metal decking on steel frame with curved steel		
canopy& brackets (@ garage door & entry)	brackets	General Awnings, Imperial Marquee; W-shaped panels	Painted black
snow guards	brass cleats		
gutters & downspouts	copper		

2 Russell Street & 0 Deer Street (2 Lots)

Work Session

**LUHD-366**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Jul 13, 2021**Applicant**

Ryan Plummer
 ryan@twointernationalgroup.com
 1 New Hampshire Ave, Suite 123
 Portsmouth, NH 03801
 603.431.6400 ext. _____

Location

2 RUSSELL ST
 Portsmouth, NH 03801

Owner:

PORT HARBOR LAND LLC
 1000 MARKET ST BUILDING ONE PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Work Session

Project Information**Brief Description of Proposed Work**

Development of a roughly 2 acre parcel in CD-5, Historic District, and NEIOD.

Description of Proposed Work (Planning Staff)

new construction of a free-standing structure (construct a 3-5 story mixed-use building)

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

Owner's Representative

Full Name (First and Last)

Ryan Plummer

Business Name (if applicable)

Two International Group

Mailing Address (Street)

1 New Hampshire Ave, Suite 123

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

6034316400

Email Address

ryan@twointernationalgroup.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Owner's Representative



RUSSELL STREET DEVELOPMENT

HDC WORK SESSION #2 | 09.01.2021

PROJECT TEAM

**PORT HARBOR
LAND, LLC**
OWNER

SGA
ARCHITECT



**MARKET SQUARE
ARCHITECTS**
ARCHITECT OF RECORD

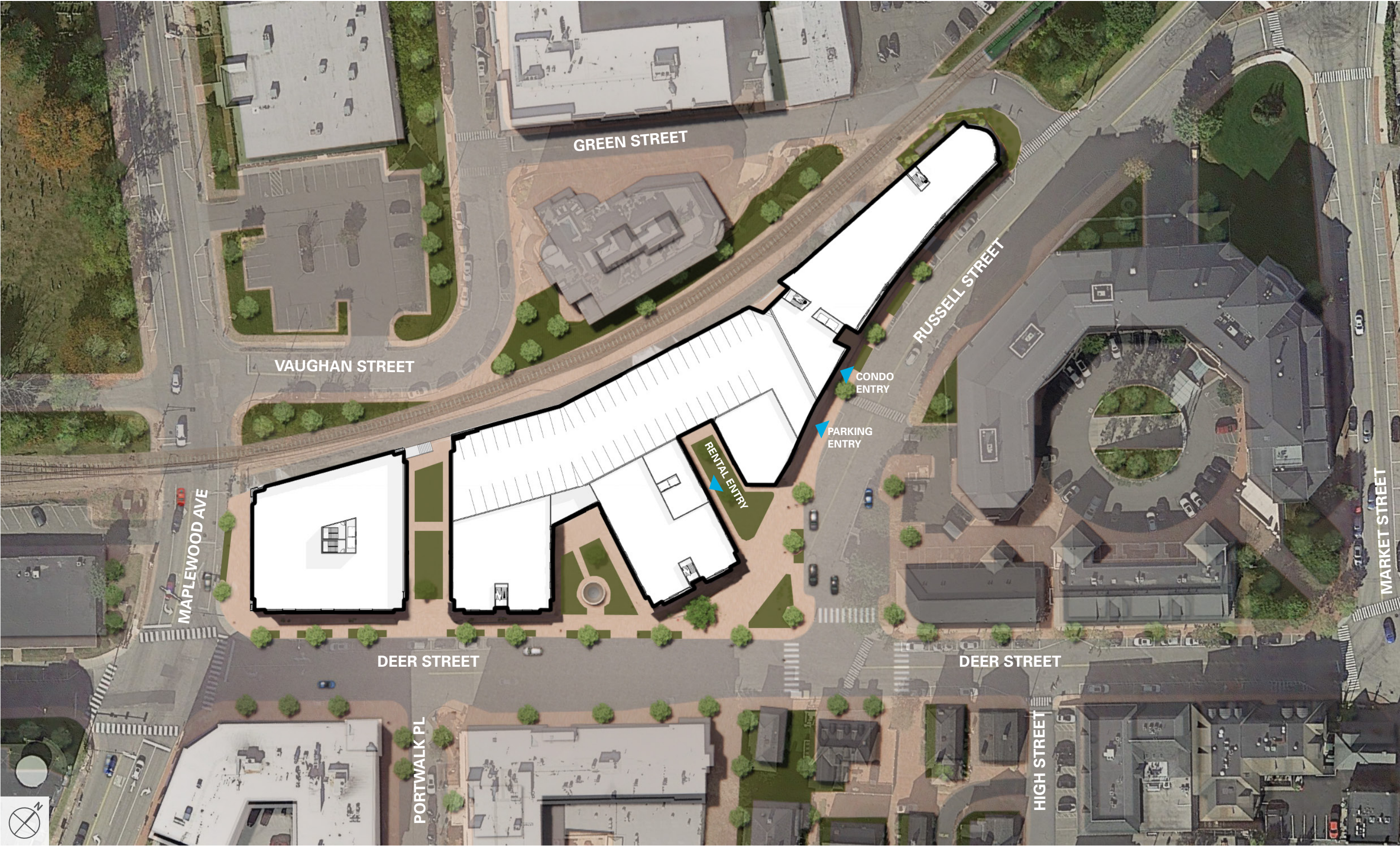


TIGHE & BOND
CIVIL

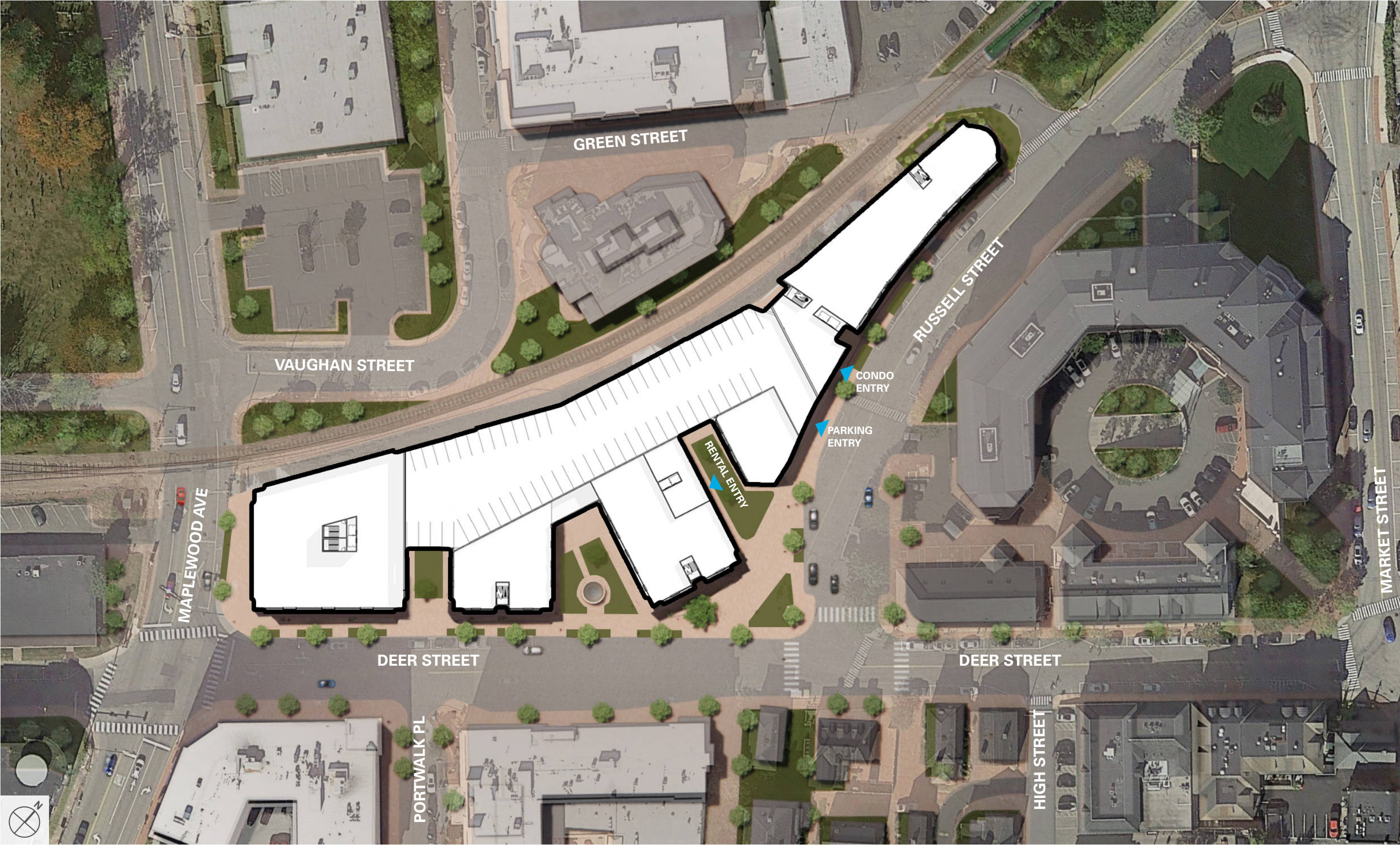
Tighe&Bond



SITE PLAN - OPTION 1

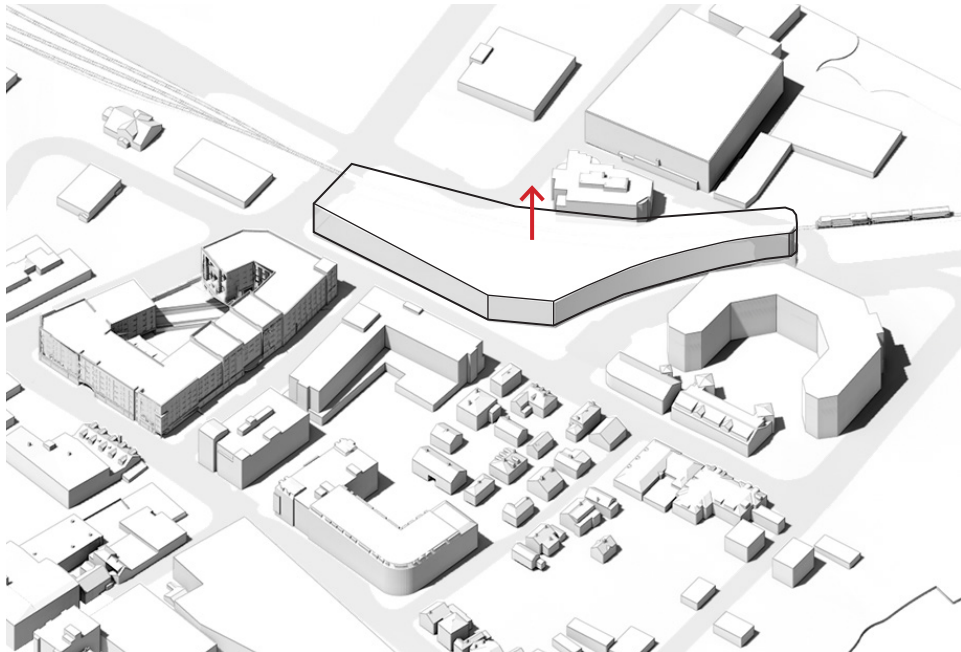


SITE PLAN - OPTION 2

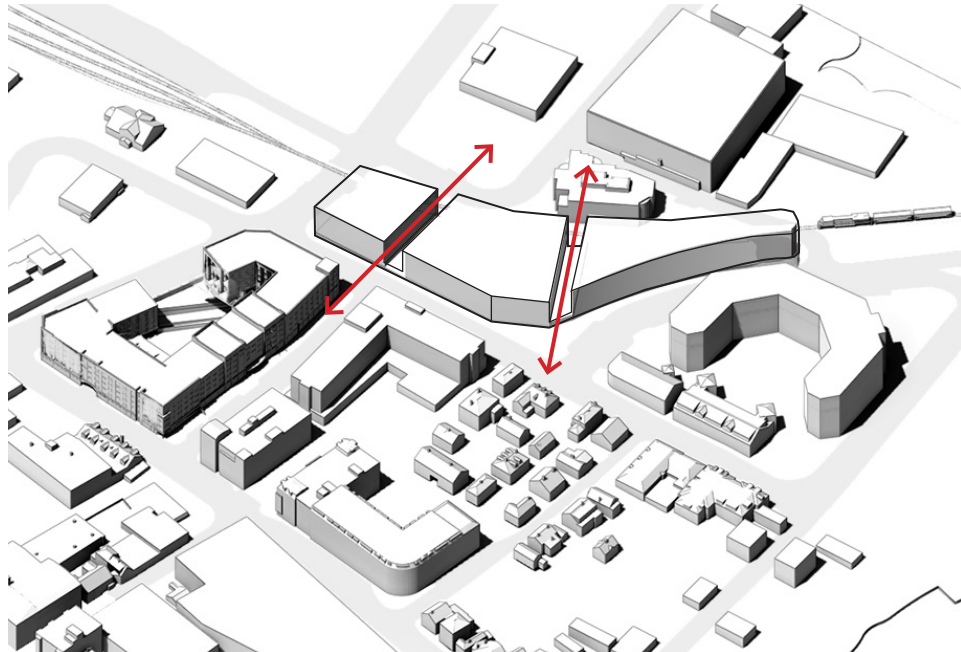


MASSING DIAGRAMS

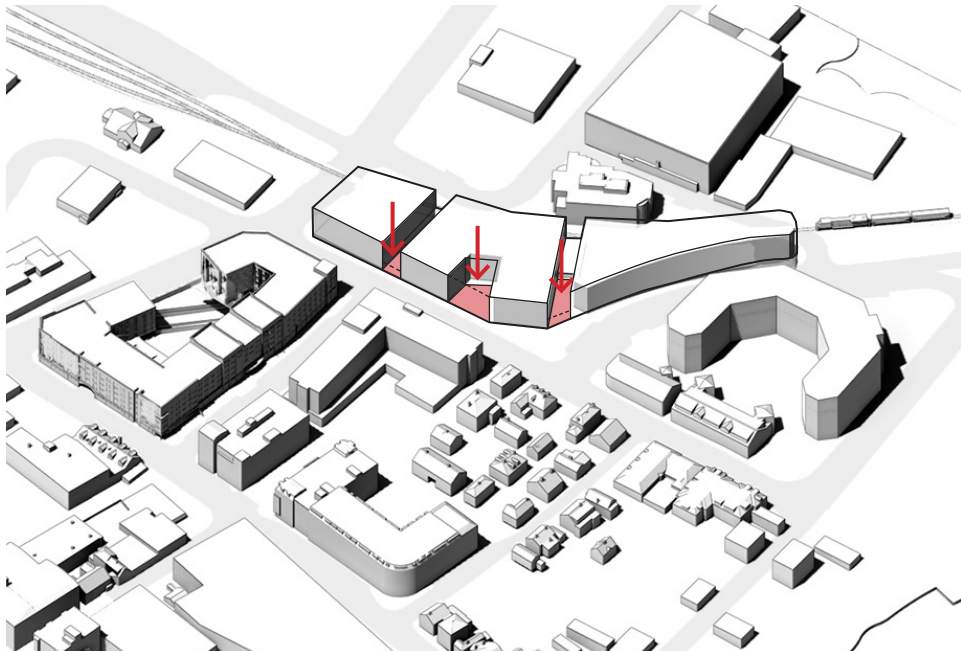
STEP 1.
Extrude entire site buildable area up to the max height allowed.



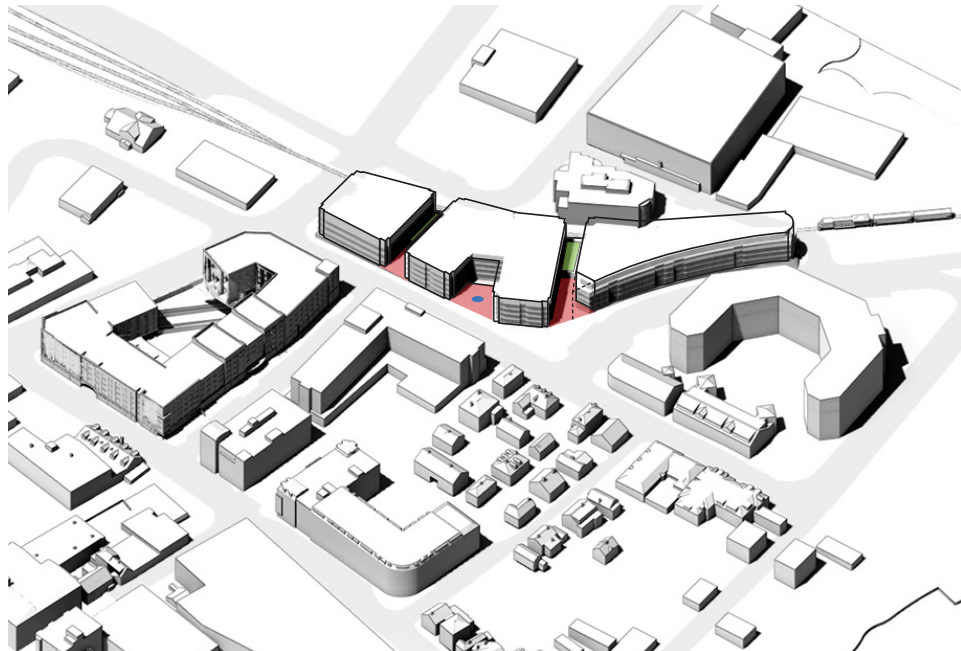
STEP 2.
Articulate volume to break down scale of building by creating view corridors through the site.



STEP 3.
Carve away at the mass to create public courtyards and entry points into the three distinct buildings. Above grade parking creates a spine that connects the buildings.



STEP 4.
Begin to articulate building corners & define community space courtyards.



AXONS - OPTION 1



AXONS - OPTION 2



ELEVATIONS



RUSSELL STREET ELEVATION



DEER STREET ELEVATION

PRECEDENT IMAGES



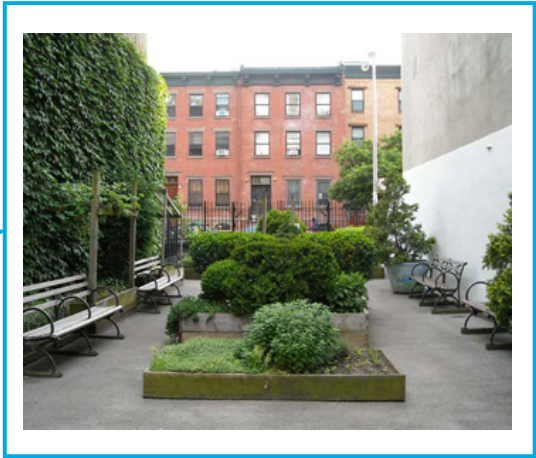
PRECEDENT IMAGES - LOCAL



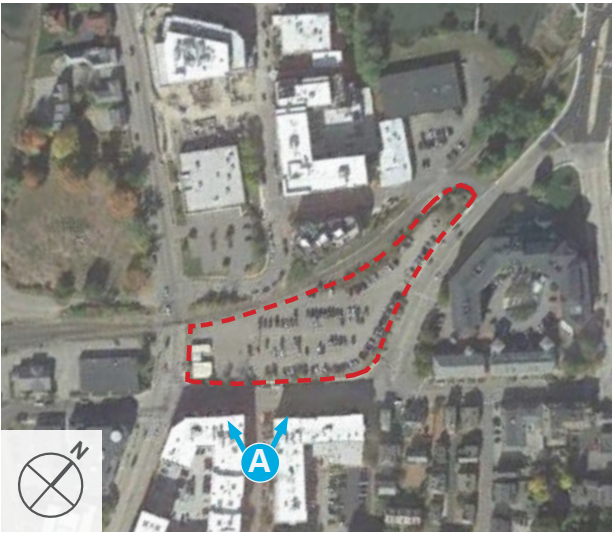
PERSPECTIVES



EXISTING SITE CONDITION

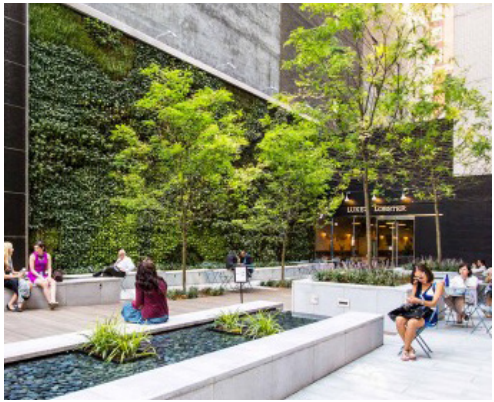
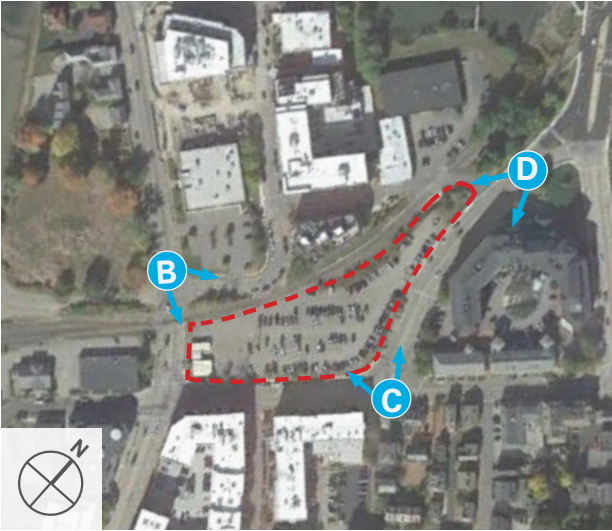


OPTION 1 - POCKET PARK



OPTION 2 - WATER WALL

PERSPECTIVES



POCKET PARK

ARCHITECTURE | PLANNING
INTERIOR DESIGN | VDC
BRANDED ENVIRONMENTS

BOSTON
200 HIGH ST, FLOOR 2
BOSTON, MA 02110

NEW YORK
54 W 21ST ST, SUITE 804
NEW YORK, NY 10010

SGA-ARCH.COM
857.300.2610

THANK YOU

52 Prospect Street

Work Session

**LUHD-377**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Aug 13, 2021**Applicant**

Tim Malloy
tmalloy131@gmail.com
52 Prospect Street
Portsmouth, NH 03801
603.583.3897

Location

52 PROSPECT ST
Portsmouth, NH 03801

Owner:

MALLOY REVOCABLE TRUST OF 2017 & MALLOY TIMOTHY R & SUSAN
P TTEES
52 PROSPECT ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Work Session

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

2 story addition in back of house, new windows, siding

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Sue Malloy

Business Name (if applicable)

--

Mailing Address (Street)

52 Prospect Street

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

603.988.7201

Email Address

Susieq70@comcast.net

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Hubert Krah

Business Name (if applicable)

Hubert Krah Designs

Existing Plot Plan

$$1/16'' = 1'-0''$$

Proposed Plot Plan

$$\underline{1/16'' = 1'-0''}$$

Existing Floor Plan - First Floor

$$1/4'' = 1' - 0''$$

Proposed New Floor Plan - First Floor

1/4" = 1'-0"

Existing Floor Plan - Second Floor

$$\frac{1}{4}'' = 1' - 0''$$

Proposed New Floor Plan - Second Floor

$$\frac{1}{4}'' = 1' - 0''$$

52 Cass Street, Portsmouth, NH 03801
603-498-0973 / hubert@hubertkrah.com
www.hubertkrah.com

1. THE DESIGNS, DETAILS, NOTES, ETC. AS SHOWN AND/OR CALLED FOR ON ONE OR MORE DRAWINGS OF THE CONTRACT DOCUMENTS SHALL APPLY TO ALL DRAWINGS COMPRISING THE CONTRACT DOCUMENTS.
2. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT THE ARCHITECTURAL AND INTERIOR DESIGNATIONS DELINEATED HEREIN COMPLY WITH ALL APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION AND/OR INSTALLATION. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESPONSIBILITY OF THE CONTRACTOR(S), AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL/INTERIOR DESIGNER FOR RESOLUTION.
3. CONTRACTOR(S) SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS IN FIELD.
4. DO NOT SCALE DRAWINGS FROM PRINTS OR REPRODUCTIONS. SCALE INDICATED IS VALID ON ORIGINAL DRAWINGS WHICH IS 24" X 36" OVERALL.

Progress Issues:

08/11/21	SUSAN & TIM MALLOY
----------	--------------------

Permit Issues:

--	--

Construction Issues:

[illegible]A blank coordinate plane with a horizontal x-axis and a vertical y-axis intersecting at the origin. The axes are represented by thin black lines.

PROJECT:

Addition and Renovations

The Susan & Tim Malloy Residence

52 Prospect Street
Portsmouth, NH 03801

DATE:

08/11/21

ISSUED AS:

PROGRESS ISSUE

Architectural Floor Plan all Floors

A-1.01

1. THE DESIGNS, DETAILS, NOTES, ETC. AS SHOWN AND/OR CALLED FOR ON ONE DRAWING OF THE CONTRACT DOCUMENTS SHALL APPLY TO ALL DRAWINGS COMPRISING THE CONTRACT DOCUMENTS.
2. IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT THE ARCHITECTURAL AND INTERIOR DESIGNS DELINEATED HEREIN COMPLY WITH ALL APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION AND/OR INSTALLATION. HOWEVER, CODE COMPLIANCE IS THE RESPONSIBILITY OF THE CONTRACTORS, AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL/INTERIOR DESIGNER FOR RESOLUTION.
3. CONTRACTORS SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS IN FIELD.
4. DO NOT SCALE DRAWINGS FROM PRINTS OR REPRODUCTIONS. SCALE INDICATED IS VALID ON ORIGINAL DRAWINGS WHICH IS 24" X 36" OVERALL.

Progress Issues:

08/11/21	SUSAN & TIM MALLOY
----------	--------------------

Permit Issues:

Construction Issues:

PROJECT:

Addition and
Renovations
for

The Susan &
Tim Malloy
Residence

52 Prospect Street
Portsmouth, NH 03801

DATE:

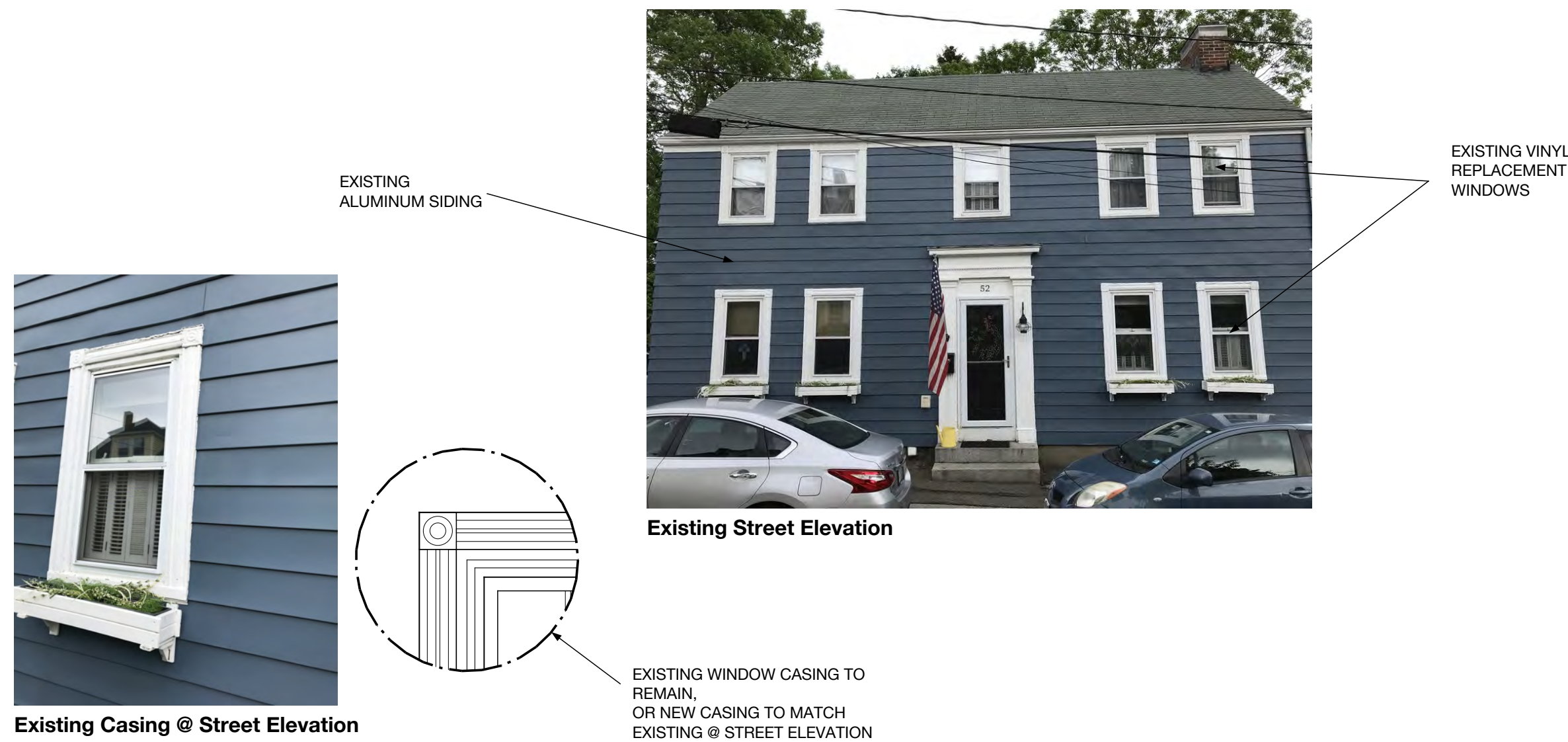
08/11/21

ISSUED AS:

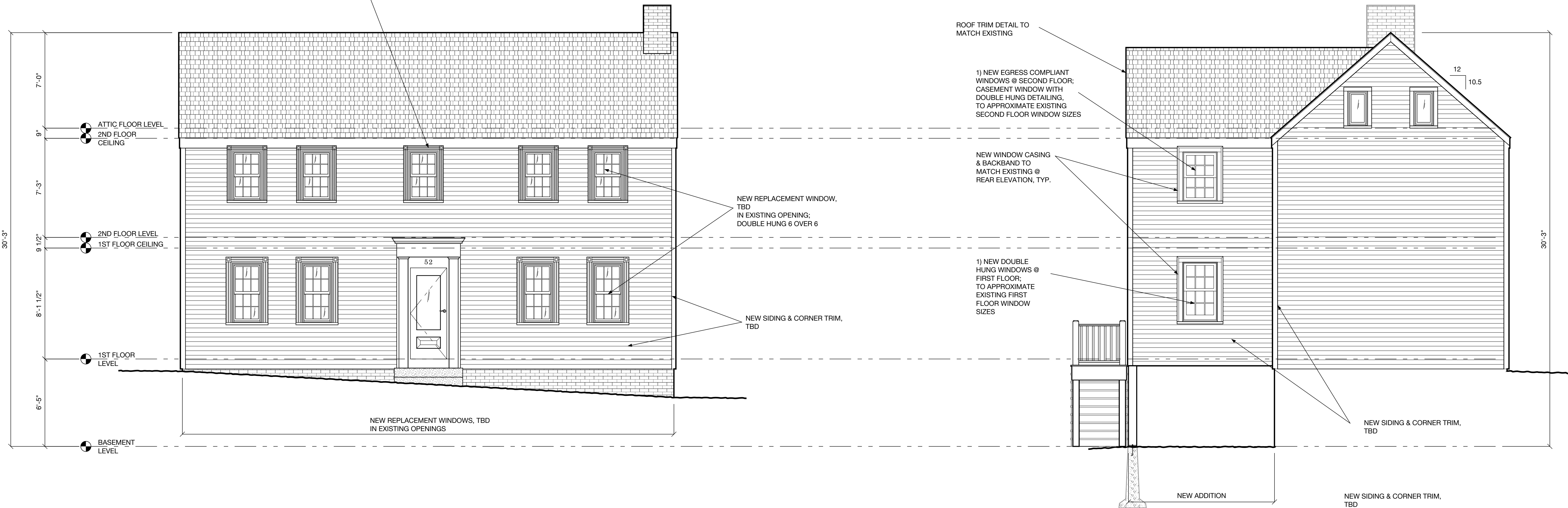
PROGRESS
ISSUE

New Exterior
Elevation
all Floors

A-3.01



Existing North Elevation



3.0104: New Exterior Elevation West - Street Side

3.0101: New Exterior Elevation North

1/4" = 1'-0"



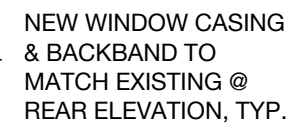
View looking S-W on Prospect Street



View looking S-W @ 52 Prospect Street

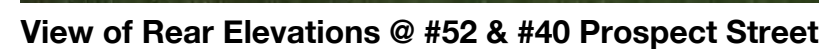


View looking N-E on Prospect Street



EXISTING SUN ROOM
TO BE REMOVED


$$1/4'' = 1'-0''$$

$$1/4'' = 1' - 0''$$


1) NEW EGRESS COMPLIANT
WINDOWS @ SECOND FLOOR;
CASEMENT WINDOW WITH
DOUBLE HUNG DETAILING,
TO APPROXIMATE EXISTING
SECOND FLOOR WINDOW SIZES

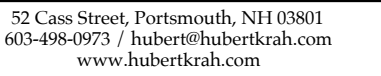
NEW SIDING & CORNER TRIM,
TBD

storage

NEW ADDITION

NEW WINDOW CASING
& BACKBAND TO
MATCH EXISTING @
REAR ELEVATION, TYP.

1) NEW DOUBLE
HUNG WINDOWS @
FIRST FLOOR;
TO APPROXIMATE
EXISTING FIRST
FLOOR WINDOW
SIZES



1. THE DESIGNS, DETAILS, NOTES, ETC. AS SHOWN AND/OR CALLED FOR ON ONE DRAWING OF THE CONTRACT DOCUMENTS SHALL APPLY TO ALL DRAWINGS COMPRISING THE CONTRACT DOCUMENTS.
2. IF IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT THE ARCHITECTURAL AND INTERIOR DESIGNATIONS DELINEATED HEREIN COMPLY WITH ALL APPLICABLE CODES IN EFFECT AT THE TIME OF CONSTRUCTION AND/OR INSTALLATION, HOWEVER, CODE COMPLIANCE IS THE RESPONSIBILITY OF THE CONTRACTORS, AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECTURAL/INTERIOR DESIGNER FOR RESOLUTION.
3. CONTRACTOR(S) SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS IN FIELD.
4. DO NOT SCALE DRAWINGS FROM PRINTS OR REPRODUCTIONS. SCALE INDICATED IS VALID ON ORIGINAL DRAWING WHICH IS 24" X 36" OVERALL.

Progress Issues:

Permit Issues:

Construction Issues:

PROJECT:

Addition and Renovations

The Susan & Tim Malloy Residence

52 Prospect Street
Portsmouth, NH 03801

DATE:

08/11/21

ISSUED AS:

PROGRESS ISSUE

**New Exterior
Elevation
all Floors**

A-3.02

99 Bow Street

Work Session

**LUHD-376**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Aug 9, 2021**Applicant**

Richard Desjardins
richard@mchenryarchitecture.com
4 Market Street
Portsmouth, NH 03801
603-430-0274

Location

99 BOW ST
Portsmouth, NH 03801

Owner:

MARTINGALE LLC
3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Work Session

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Construct and addition to the existing dining deck at the Martingale Wharf Restaurant Deck with an accompanying public access deck to the west of the Martingale.

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

RICHARD DESJARDINS

Business Name (if applicable)

McHENRY ARCHTIECTURE

Mailing Address (Street)

4 MARKET STREET

City/Town

PORTSMOUTH

State

NH

Zip Code

03801

Phone

603-430-0274

Email Address

richard@mchenryarchitecture.com

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

JEREMIAH JOHNSON

Business Name (if applicable)

--

MARTINGALE WHARF DECK EXPANSION

HISTORIC DISTRICT COMMISSION - SEPTEMBER 2021, PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

PROPOSED WORK:

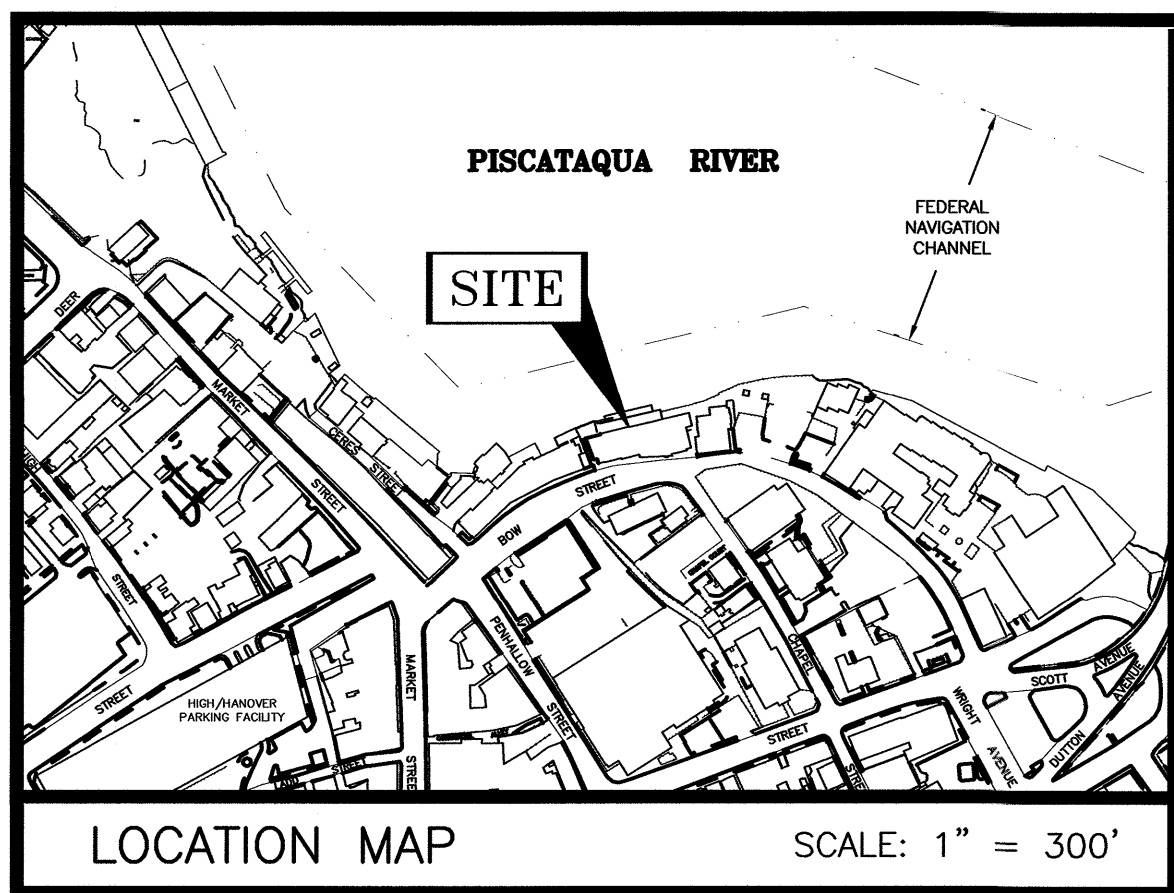
- INCREASE THE SIZE OF THE MARTINGALE WHARF DECK AND DOCK.
- PROVIDE A SEPARATE DECK AT THE WEST END OF THE MARTINGALE WHARF FOR THE USE OF THE PUBLIC.
- FRAME THE NEW DECKS WITH TWO MURALS THAT RELATE TO PORTSMOUTH'S MARITIME HISTORY. ONE MURAL WILL BE LOCATED AT THE EAST END OF THE EXPANDED MARTINGALE WHARF RESTAURANT DECK, AND ONE MURAL WILL BE LOCATED AT THE WEST END OF THE NEW PUBLIC DECK.
- INSTALL VARIOUS PLANTER BOXES TO SOFTEN THE SPACE AND ACT AS "GREEN" PARTITIONS BETWEEN THE PUBLIC DECK AND THE MARTINGALE.

SHEET LIST	
Sheet Number	Sheet Name
C	HISTORIC DISTRICT COMMISSION WORK SESSION
C1	EXISTING CONDITIONS PLAN
C2	NHDES PERMIT PLAN
A1	EXISTING PHOTOGRAPHS OF DECK
A2	EXISTING DECK PLAN
A3	EXISTING NORTH ELEVATION
A4	PERSPECTIVE VIEW OF DECK EXPANSION
A5	PERSPECTIVE VIEW OF DECK EXPANSION
A6	PERSPECTIVE VIEW OF EAST MURAL
A7	PERSPECTIVE VIEW OF WEST MURAL
A8	PERSPECTIVES OF EAST AND WEST MURAL
A9	DECK EXPANSION PLAN
A10	DECK EXPANSION NORTH ELEVATION
A11	ELEVATIONS AT EAST AND WEST MURALS
A12	ENLARGED PLANS, ELEVATIONS, AND DETAILS
A13	CUT SHEETS AND MATERIAL SELECTIONS
L1	PROPOSED LANDSCAPE DETAILS
COA	HISTORIC DISTRICT COMMISSION CERTIFICATE OF APPROVAL - JUNE 8, 2015
HDC - 2015	PREVIOUSLY APPROVED HISTORIC DISTRICT COMMISSION SUBMISSION PACKET - JUNE 3, 2015



LOCUS:
99 BOW ST SUITE W,
PORTSMOUTH, NH 03801





PLAN REFERENCE:

- 1) AS-BUILT PLAN MARTINGALE WHARF - 99 BOW STREET PORTSMOUTH, NH, ASSESSOR'S PARCEL 106-54, FOR MARTINGALE WHARF LIMITED PARTNERSHIP, SCALE 1" = 10', PREPARED BY JAMES VERRA AND ASSOCIATES, INC., DATED 5-3-2011, NOT RECORDED
- 2) AS-BUILT EASEMENT PLAT 67 & 99 BOW STREET PORTSMOUTH, NH, ASSESSOR'S PARCELS 106-053 & 106-054, OWNERS FORUM GROUP, LLC & BLUE STAR PROPERTIES MARTINGALE WHARF LIMITED PARTNERSHIP, SCALE 1" = 5', PREPARED BY JAMES VERRA AND ASSOCIATES, INC., DATED 12 MAY 2011, RCRD D-37137
- 3) AS-BUILT PLAN MARTINGALE WHARF - 99 BOW STREET PORTSMOUTH, NH, ASSESSOR'S PARCEL 106-54, FOR MARTINGALE WHARF LIMITED PARTNERSHIP, SCALE 1" = 10', PREPARED BY JAMES VERRA AND ASSOCIATES, INC., DATED 5-3-2011, REVISED 3-5-2012, RCRD D-37138

106-55
N/F
111 BOW STREET
CONDO ASSOCIATION
111 BOW STREET
PORTSMOUTH, N.H. 03801
2805/1950

106-55-3
N/F
GEORGE B. GLIDDEN
REVOCABLE TRUST 1/2 INT,
FRANK MARIAN REVOCABLE
TRUST 1/2 INT
PO BOX 729 PORTSMOUTH,
NH 03802-0729
5050/2061
(109-111 BOW ST #3)

106-55-1
N/F
ASRT LLC
266 MIDDLE ST
PORTSMOUTH, N.H. 03801
5720/0499
(109-111 BOW ST #1)

106-55-5
N/F
ASRT LLC
111 BOW STREET
PORTSMOUTH, N.H. 03801
5634/0849
(109-111 BOW ST #5)

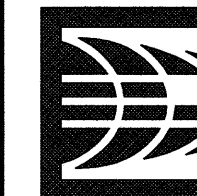
106-55-2
N/F
BOWPORTS EV CORPORATION
C/O KATY SHERMAN
25 WEST RD, RYE, NH 03870
3008/0951
(109-111 BOW ST #2)

106-55-6
N/F
MONTGOMERY PORTSMOUTH TRUST,
BRUCE D. MONTGOMERY TRUSTEE
111 BOW STREET #6
PORTSMOUTH, NH 03801
5712/0640
(109-111 BOW ST #6)

106-55-4
N/F
ASRT LLC
111 BOW STREET
PORTSMOUTH, N.H. 03801
5634/0949
(109-111 BOW ST #4)

106-55-7
N/F
JOHN SAMONAS
33 CAPE ROAD
NEWCASTLE, NH 03854
6095/71
(109-111 BOW ST #7)

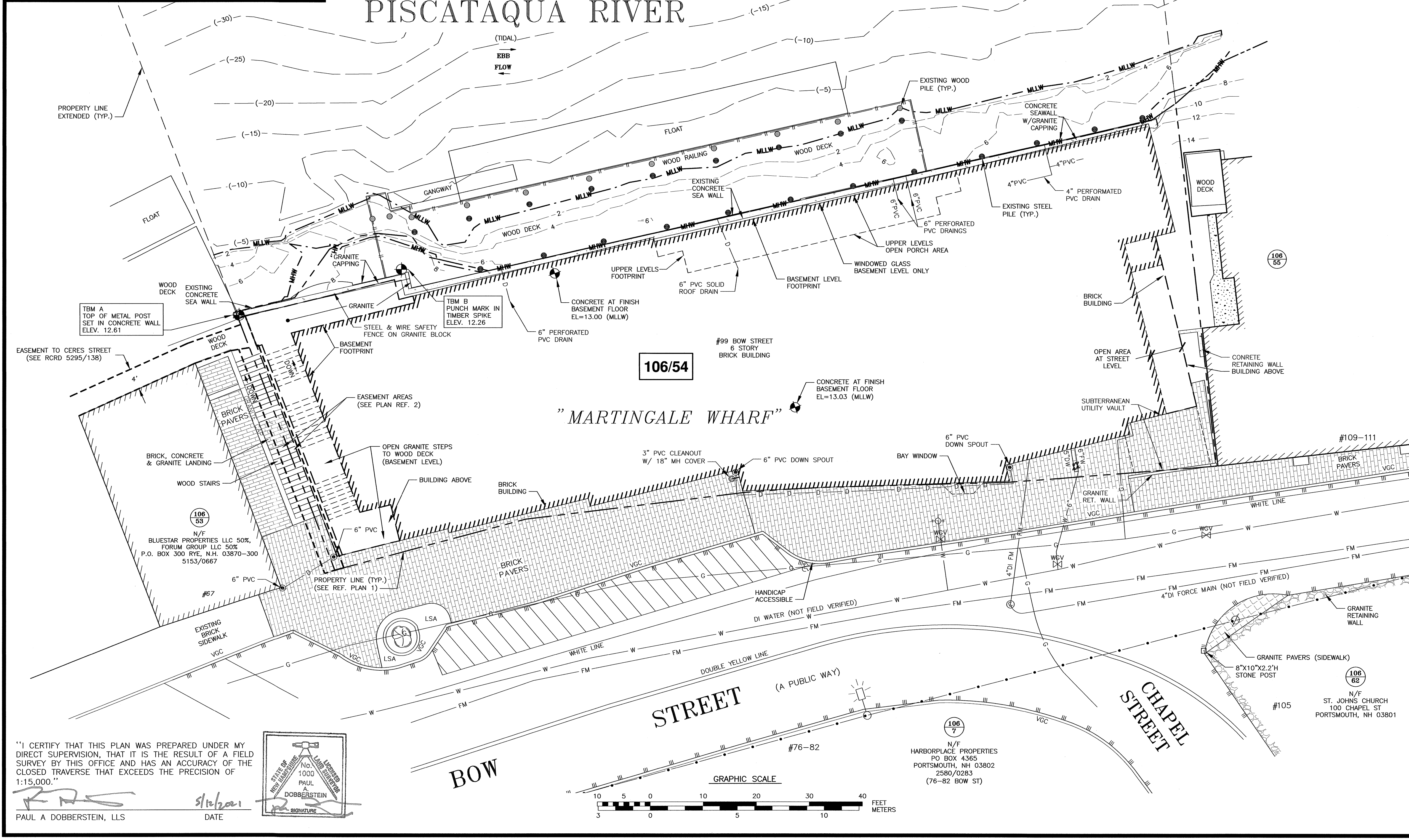
NORTH
NAD83(2011)
GRID
NHSPC



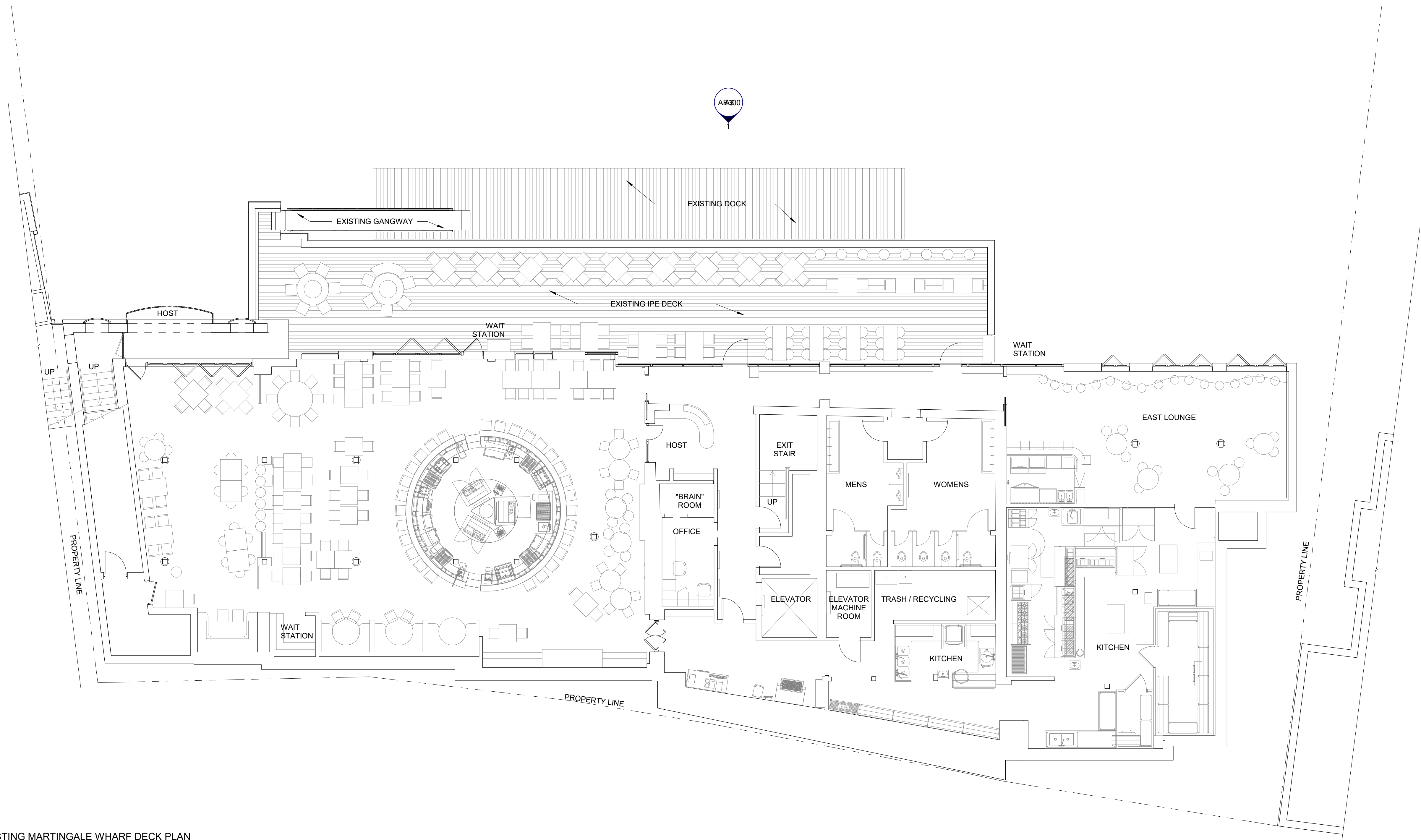
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

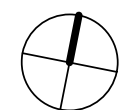
- 1) PARCEL IS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSOR'S MAP 106 AS LOT 54.
- 2) OWNERS OF RECORD:
MARTINGALE LLC
3 PLEASANT ST, 4TH FLOOR
PORTSMOUTH, NH 03801
5868/2627
- 3) PARCEL IS PARTIALLY IN A FLOOD HAZARD ZONE (ZONE AE EL. 8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.
- 4) EXISTING LOT AREA:
9,769 S.F. TO MEAN HIGH WATER (PER PLAN REF. 3)
0.224 ACRES TO MEAN HIGH WATER (PER PLAN REF. 3)
- 5) PARCEL IS LOCATED IN THE DOWNTOWN OVERLAY DISTRICT, CD5 (CHARACTER DISTRICT 5), HISTORIC DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS: SEE CITY ZONING REQUIREMENTS.
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSORS MAP TAX MAP 106 LOT 54 IN THE CITY OF PORTSMOUTH.
- 8) BOUNDARY LINES SHOWN HEREON ARE BASED SOLELY ON PLAN REFERENCE 3. EASEMENTS, RIGHTS OF OTHERS, ETC., HAVE NOT BEEN RESEARCHED OR NOTED HEREON.
- 9) VERTICAL DATUM IS MEAN LOWER LOW WATER (MLLW). MLLW REFERENCED ON NOAA STATION 8423005 T14A PORTSMOUTH, MLLW BEING 3.99 FEET LOWER THAN 0.0 NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.







1 EXISTING MARTINGALE WHARF DECK PLAN
1/8" = 1'-0"



PRINTED AT 1/2 SCALE ON 11X17 PAPER



1 EXISTING NORTH ELEVATION
1/8" = 1'-0"









TANORAM 3DS



EAST MURAL AT MARTINGALE WHARF DECK

MARTINGALE RESTAURANT: NARRATIVE FOR THE EAST END BAS RELIEF SCULPTURAL MURAL

THE CITY OF PORTSMOUTH AND THE PISCATAQUA RIVER HAS A 400-YEAR HISTORY AS AN ACTIVE HARBOR AND PORT OF CALL, AND AS A VITAL SHIP BUILDING COMMUNITY.

THE PROPOSED EAST AND WEST IMAGES ON EITHER END OF THIS DOCK EXTENSION HAVE BEEN CONCEIVED AS ‘BAS RELIEF’ SCULPTURES. THE DESIGN IS BASED, IN PART, ON INFORMATION ABOUT THE HISTORY OF SAILORS, BOTH WHITE AND BLACK, THAT I CULLED FROM A BOOK CALLED, **BLACK JACKS** BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER.

- THIS BAS RELIEF SCULPTURE HAS NUMEROUS SYMBOLIC ELEMENTS:
- BLACK SAILORS WERE CALLED ‘BLACK JACKS’, AND THEY WERE ABOUT 20% OF ALL AMERICAN SAILORS. BLACK JACKS SOUGHT SAILING AND WHALING AS A MEANS TO ACHIEVE FREEDOM FROM SLAVERY AND TO MAKE A LIVING.
 - THE SAILOR CLOTHING IS A MIX OF THE VARIOUS STYLES OF HATS AND DRESS OF THE SAILORS THROUGH THE DECADES, INCLUDING CIVIL WAR SAILORS AND THOSE ON WHALING SHIPS.
 - THE WHALE REPRESENTS THE SAILOR’S PURSUIT OF FREEDOM AND THE ECONOMY OF OIL.
 - THE ROPE REPRESENTS THE SAILOR’S STRUGGLE AND THE COOPERATION AMONG SAILORS OF ALL WALKS OF LIFE IN COMBINED PURSUIT OF THEIR INDIVIDUAL INDEPENDENCE. THE FOCUS OF THAT STRUGGLE, THE WHALE, SEEMINGLY SWIMS AWAY SUGGESTING AN OUTCOME THAT IS NOT KNOWN.
 - THE TURBULENCE OF THE WATER REPRESENTS THE INSTABILITY AND DANGERS INHERENT IN THE LIVELIHOOD OF SAILING. THE SAILORS IN THIS IMAGE ARE SEEN STANDING ON THE WATER, AND THE HINT OF A DECK, SUGGESTING THEIR FATE AND SAFETY WERE ALWAYS IN QUESTION.
 - THE SHIP IS A TYPICAL AMERICAN COMMERCIAL SCHOONER OF THE 1800’S WITH NUMEROUS SAILS AND RIGGING.
 - THE TOWER OF THE BRIDGE IN THE BACKGROUND IS THE CURRENT SAILORS MEMORIAL BRIDGE. INSERTING THE CONCEPT OF ‘HISTORIC DISSONANCE’ WITH THE IMAGE OF THE CONTEMPORARY BRIDGE SUGGESTS THAT HISTORY IS NOT STATIC, THE STRUGGLES OF SAILORS REMAIN, AND PORTSMOUTH IS STILL A VITAL SEAPORT. THE BRIDGE WILL ALSO BE SEEN FROM THIS VIEW.

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT

PUBLIC DECK: NARRATIVE FOR THE WEST END BAS RELIEF SCULPTURAL MURAL

JUST AS WITH THE PROPOSED EAST IMAGE, THE IMAGE ON THE WEST END OF THE DOCK EXTENSION HAS BEEN CONCEIVED AS A ‘BAS RELIEF’ SCULPTURE. THIS DESIGN IS ALSO BASED, IN PART, ON INFORMATION ABOUT THE HISTORY SAILORS, BOTH WHITE AND BLACK, CULLED FROM A BOOK CALLED, **BLACK JACKS** BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER

THE WEST SCULPTURE WILL HAVE DIRECT ACCESS BY THE PUBLIC FROM A STAIR SYSTEM THAT EXTENDS FROM BOW STREET ONTO A PUBLIC DECK THAT LOOKS NORTH UP THE PISCATAQUA RIVER. THERE WILL OVER 32 LINEAR FEET OF BUILT-IN BENCHES ON THIS DECK. IN THIS IMAGE, A PROPOSED BENCH IS IN THE FOREGROUND AND RUNS THE LENGTH OF THE DOCK ABOUT 16’. THE SAILOR FIGURES ARE LIFE-SIZE AND STAND BEHIND THE BENCH AS THE TOURISTS SIT ON THE BENCH. A PERFECT ‘SELFIE’ OPPORTUNITY.

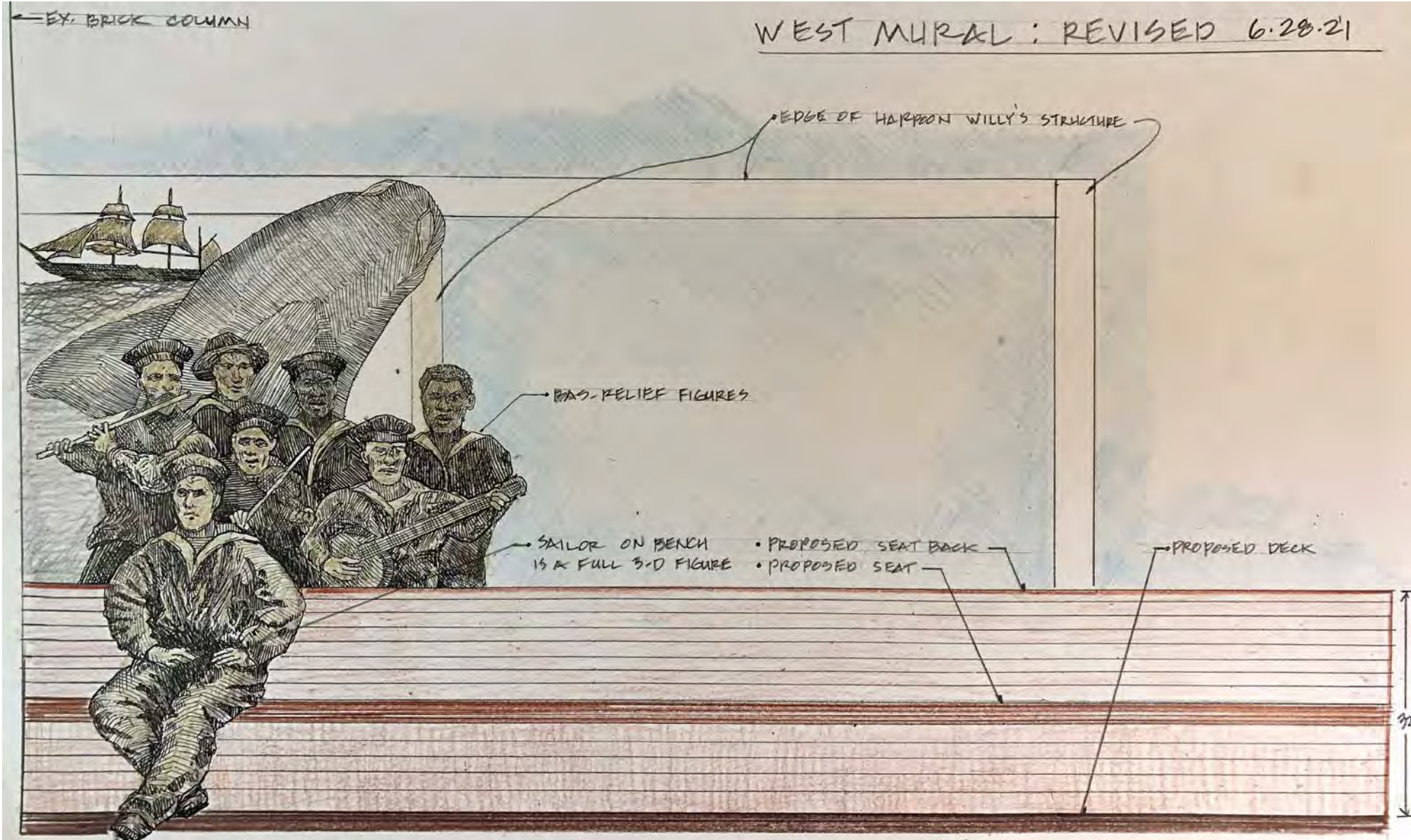
THE THEME OF THIS BAS RELIEF IS THAT OF SAILORS AT REST AND PLAY, THE OPPOSITE THEME OF THE EAST SCULPTURE. AS HARD AS SAILORS WORKED IN THIS DANGEROUS OCCUPATION, THERE WERE TIMES OF SLACK WIND OR EXTENDED PORT STAYS THAT ALLOWED SAILORS TIME TO RELAX. MUSIC WAS IMPORTANT TO SAILORS AND CONSEQUENTLY THEY INVENTED THE SHANTI WORK SONGS, SUNG TO AID IN COOPERATIVE TASKS SUCH AS LOADING AND UNLOADED THE VESSELS.

THE HISTORIC BOAT IN THE BACKGROUND IS ONE OF THE QUINTESSENTIAL VESSELS OF THE SHIPYARD, THE KEARSARGE, ORIGINALLY BUILT DURING THE CIVIL WAR HAS HAD NUMEROUS NAMESAKES BUILT SINCE THEN. AND FINALLY, EVEN THE WHALE, UNLIKE THE ONE BEING PURSUED IN THE EAST IMAGE, CAN BE SEEN FREE OF ENCUMBRANCES AS IT LEAPS OUT OF THE WATER HEADING OUT TO SEA.

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT



WEST MURAL AT PUBLIC DECK

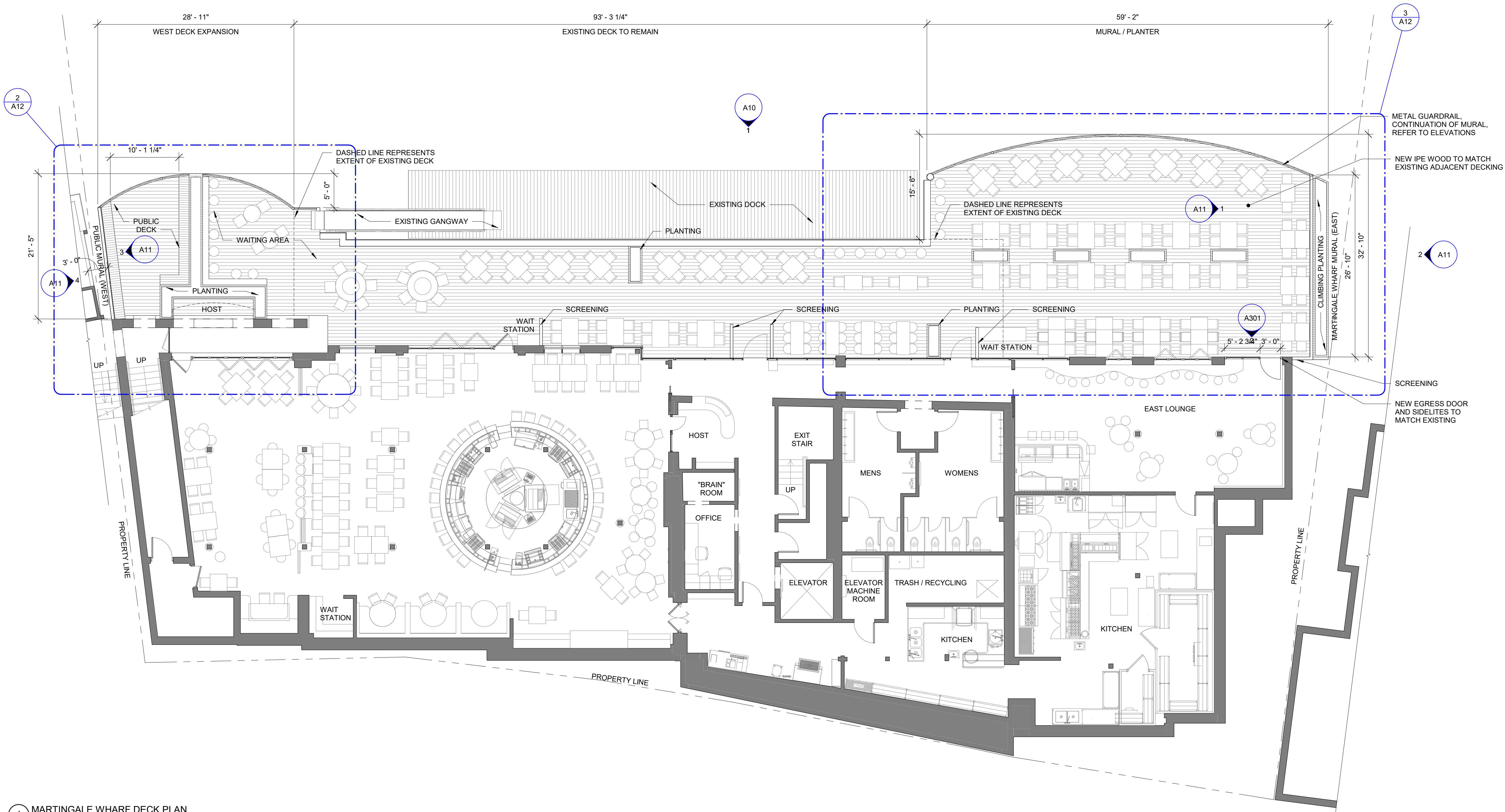


WEST MURAL AT PUBLIC DECK - SKETCH



EAST MURAL AT MARTINGALE WHARF DECK - SKETCH



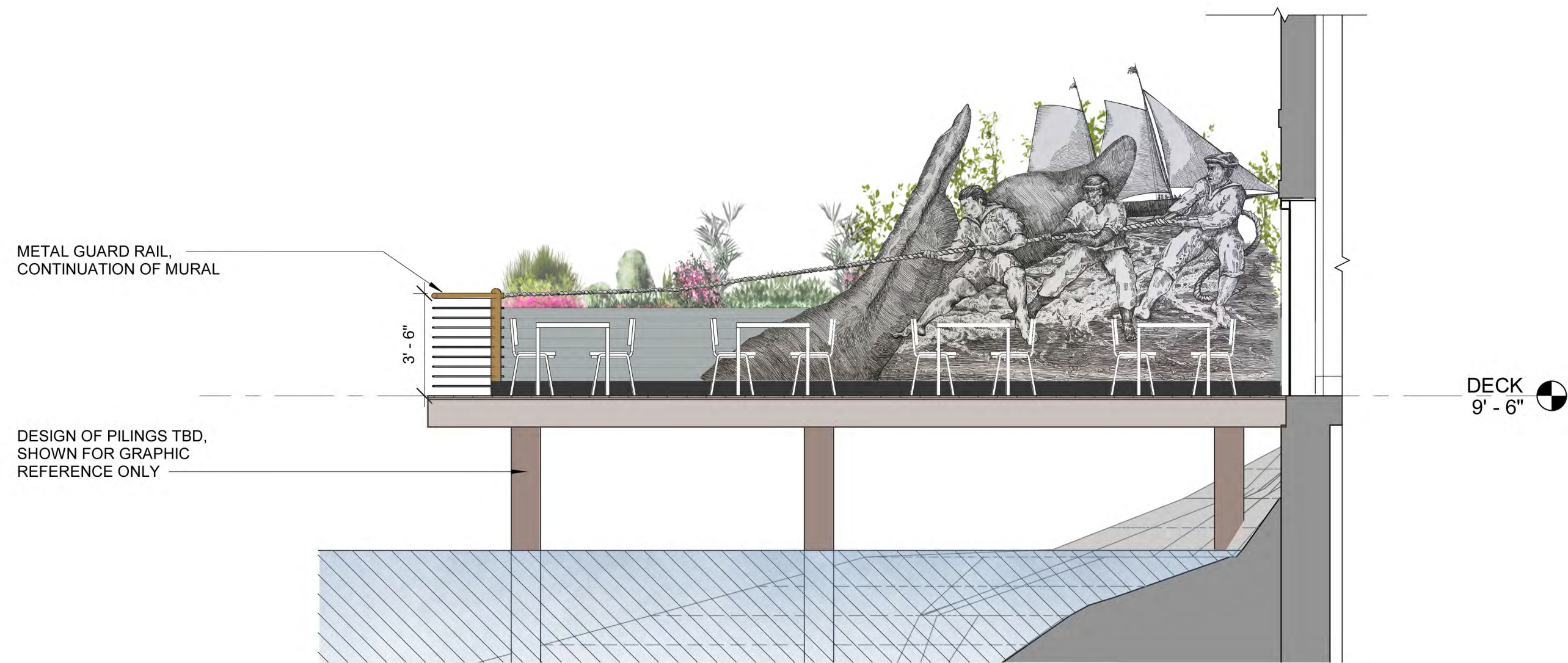


1 MARTINGALE WHARF DECK PLAN
1/8" = 1'-0"

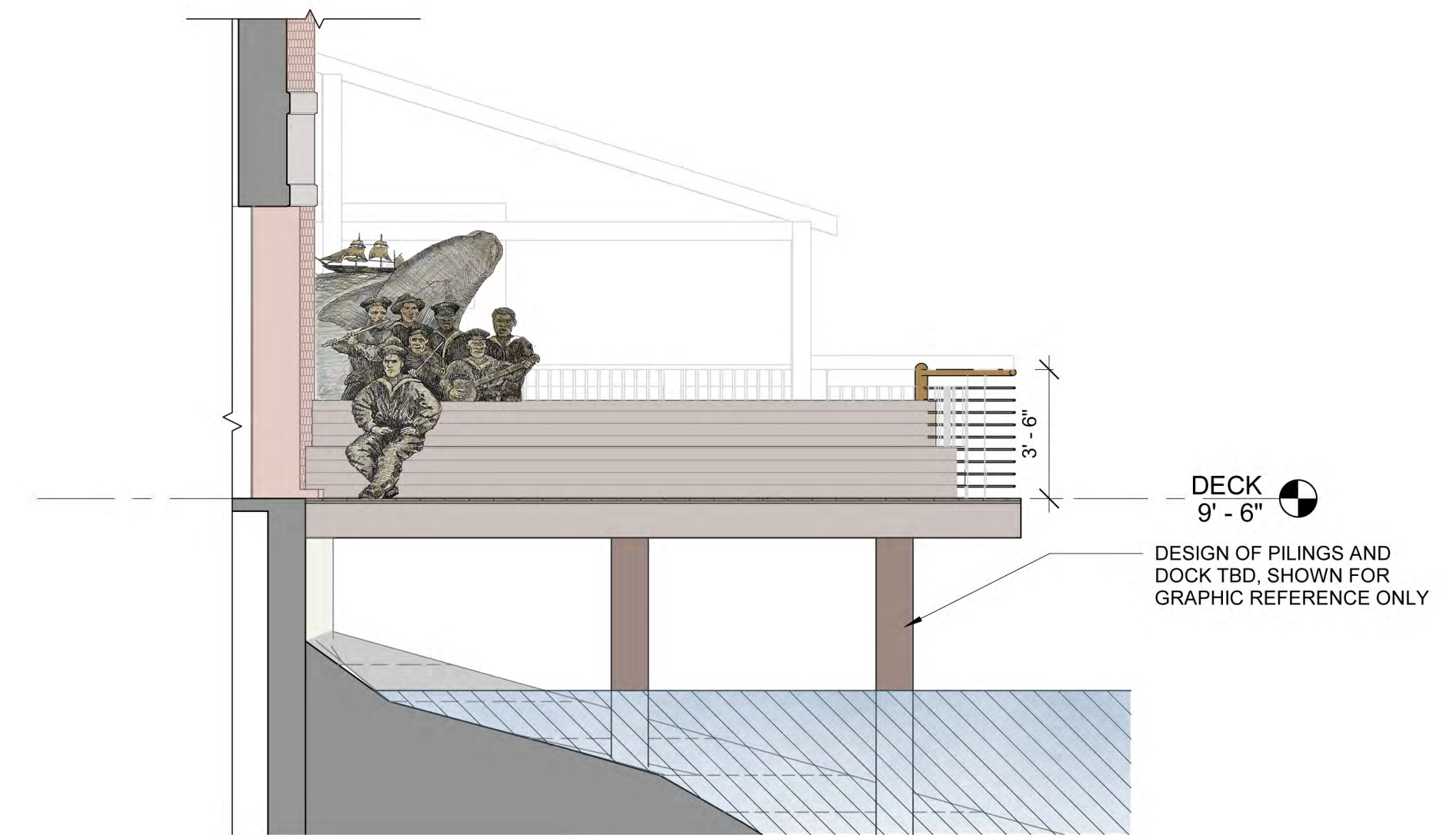
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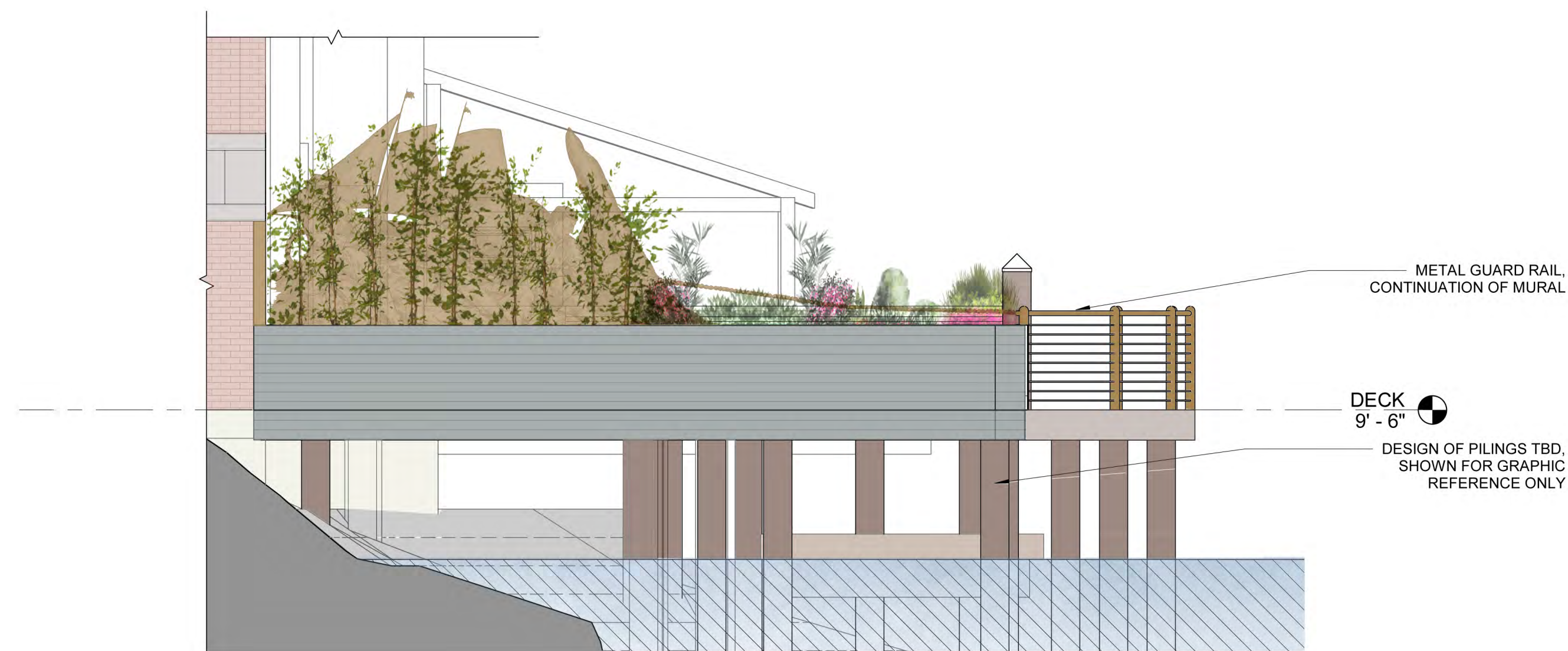
1 PROPOSED NORTH ELEVATION
1/8" = 1'-0"



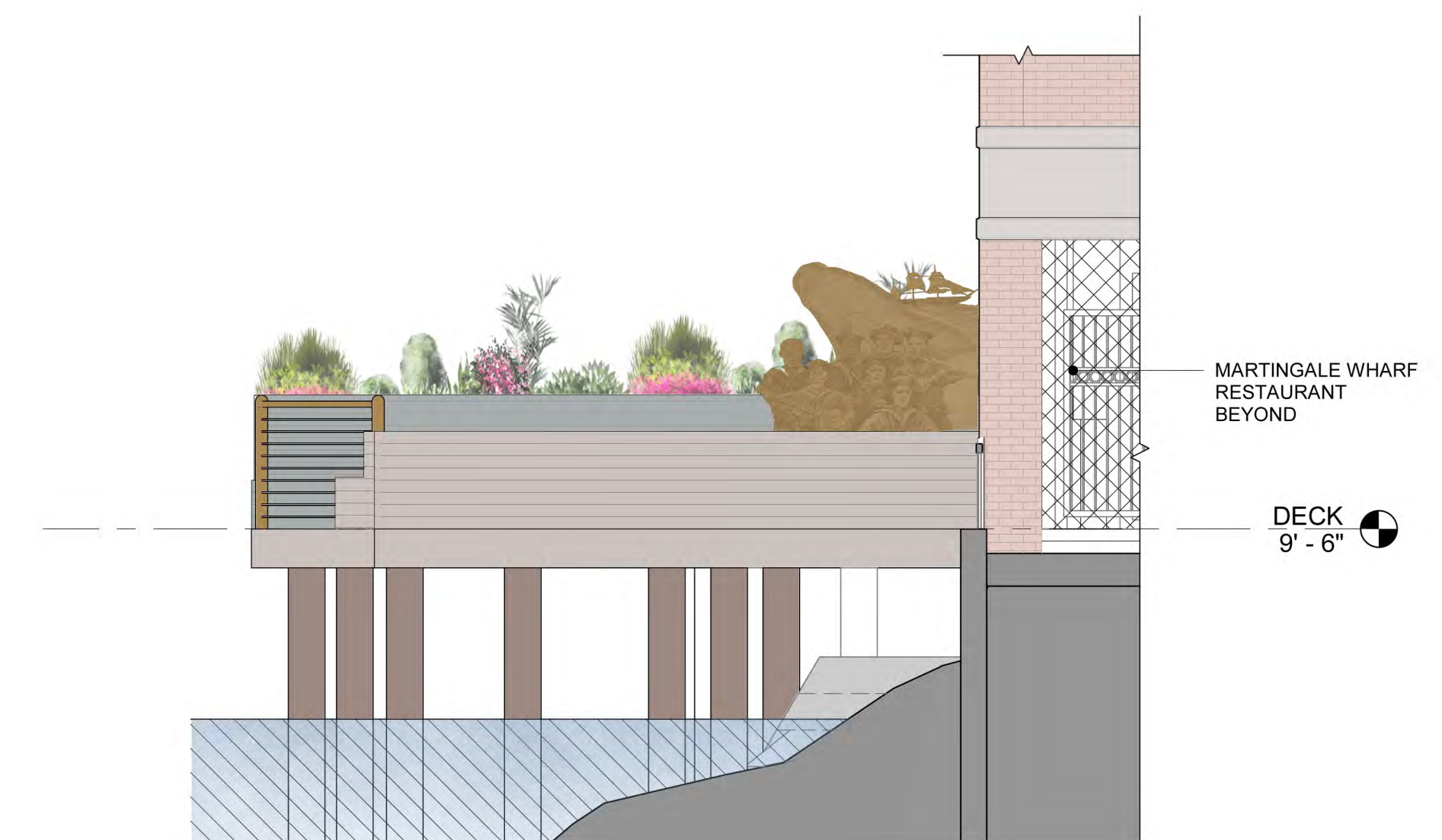
1 ELEVATION AT MARTINGALE WHARF MURAL (LOOKING EAST)
1/4" = 1'-0"



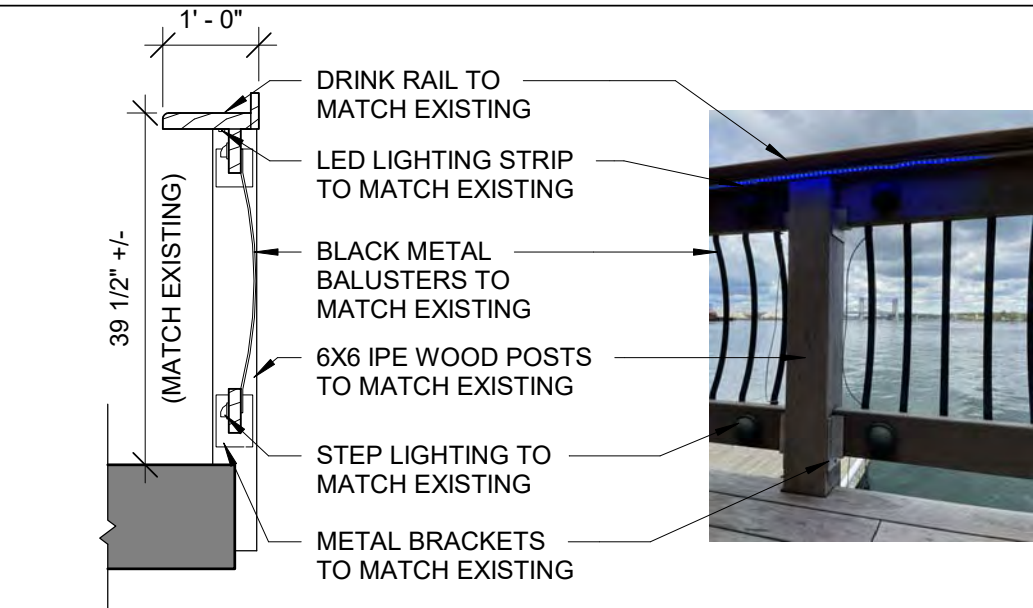
3 ELEVATION AT PUBLIC MURAL (LOOKING WEST)
1/4" = 1'-0"



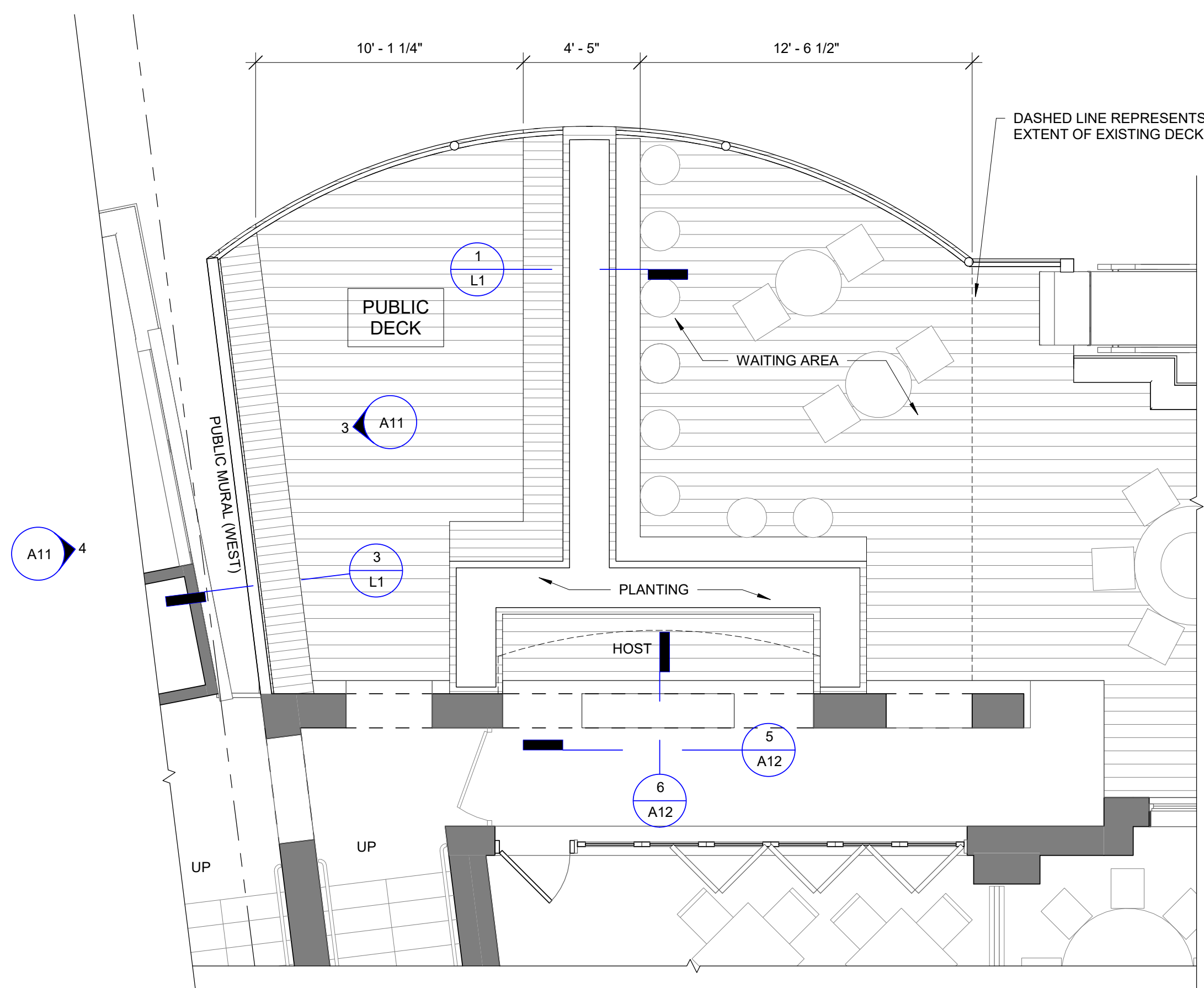
2 EAST ELEVATION (BACKSIDE OF MARTINGALE WHARF MURAL)
1/4" = 1'-0"



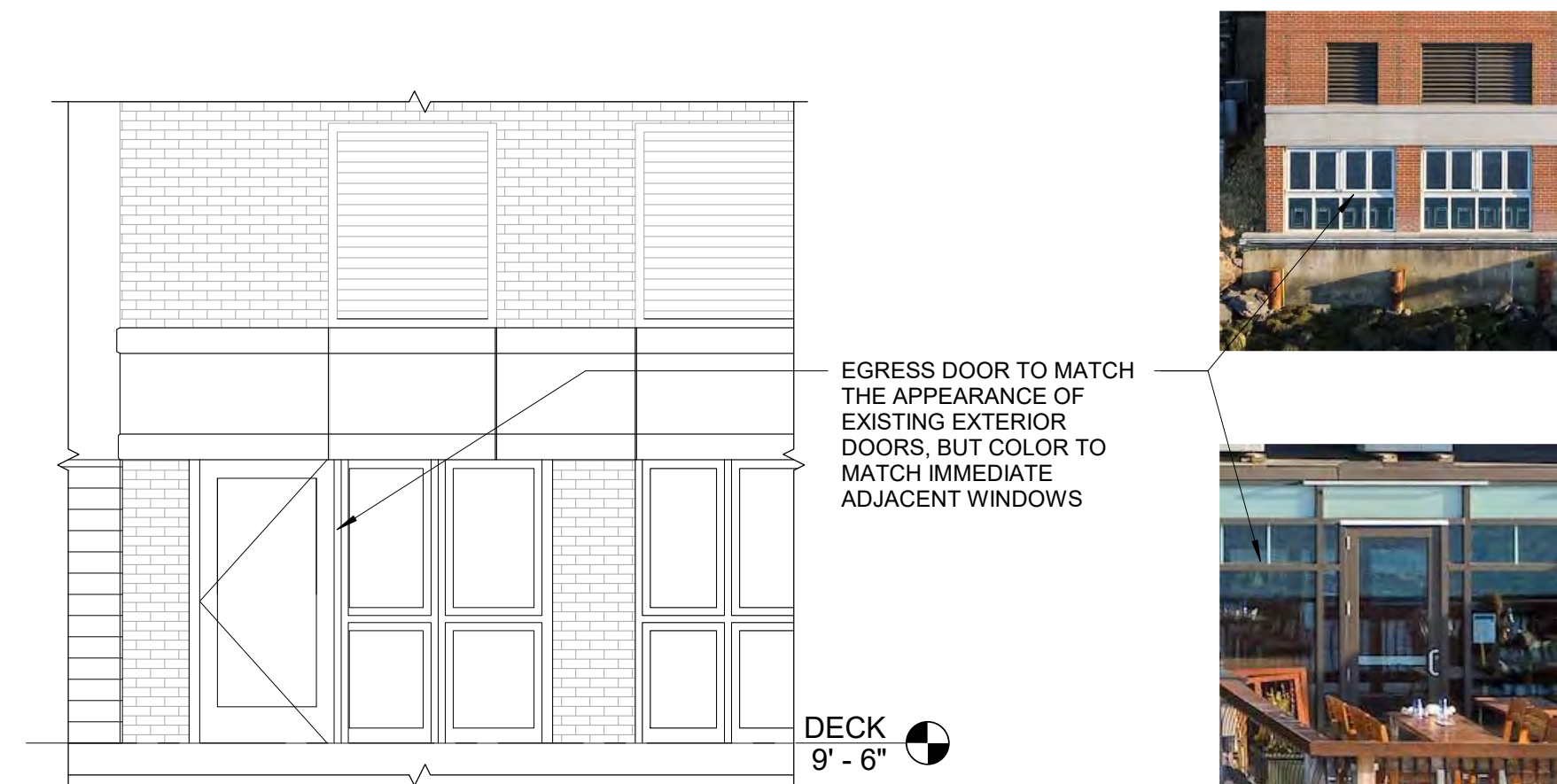
4 WEST ELEVATION (BACKSIDE OF PUBLIC DECK MURAL)
1/4" = 1'-0"



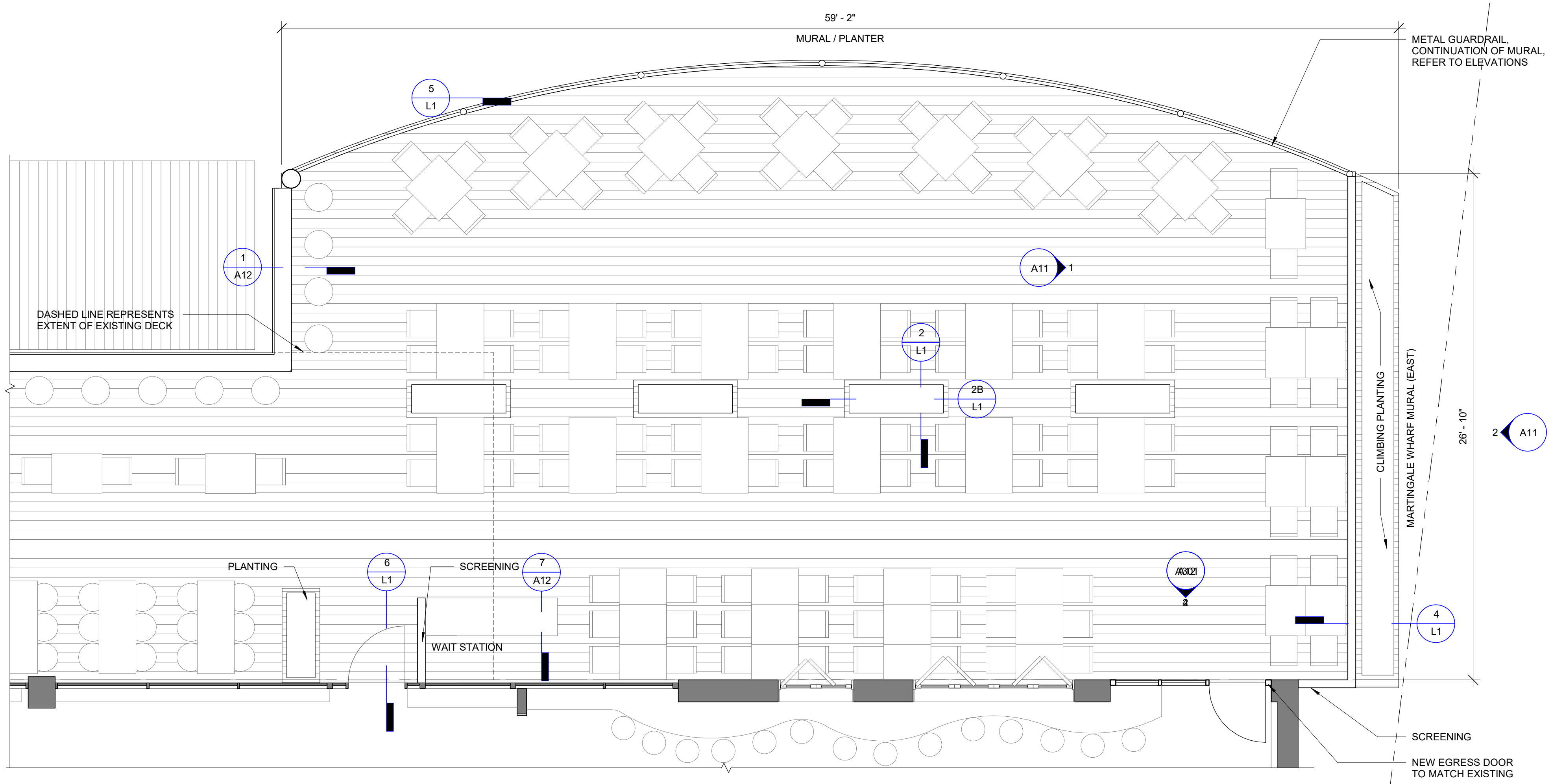
1 EXISTING DRINK RAIL EXTENSION SECTION DETAIL
1/2" = 1'-0"



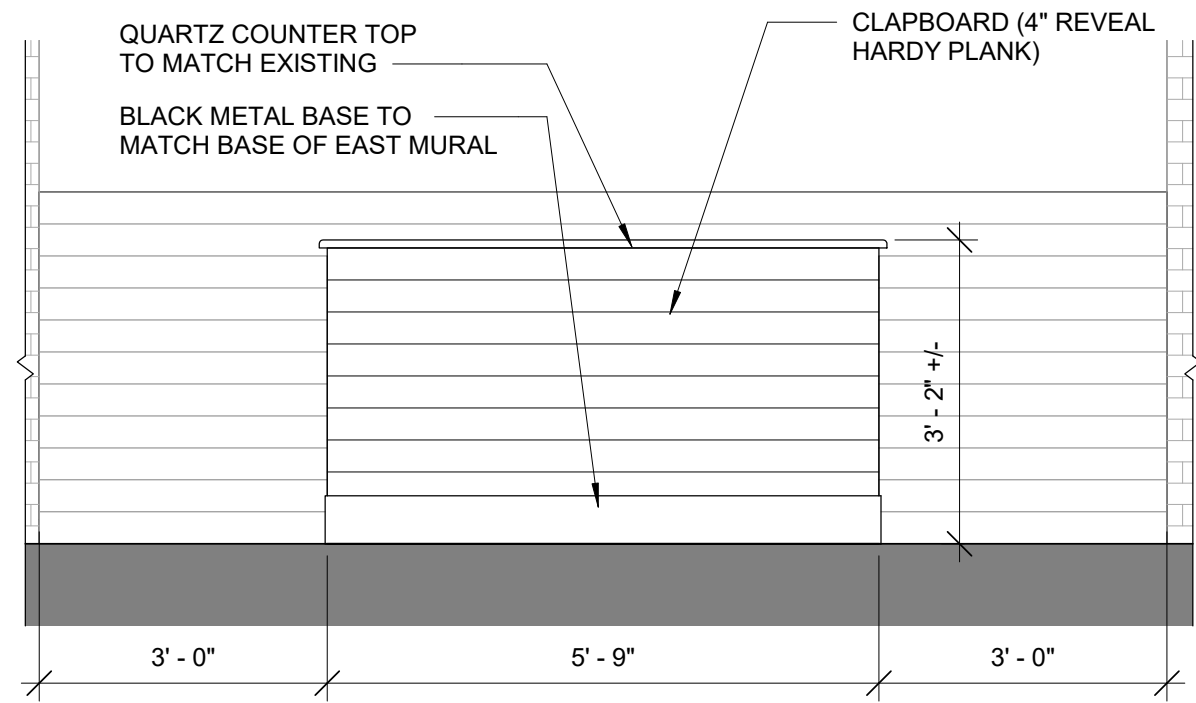
2 ENLARGED PUBLIC DECK PLAN
1/4" = 1'-0"



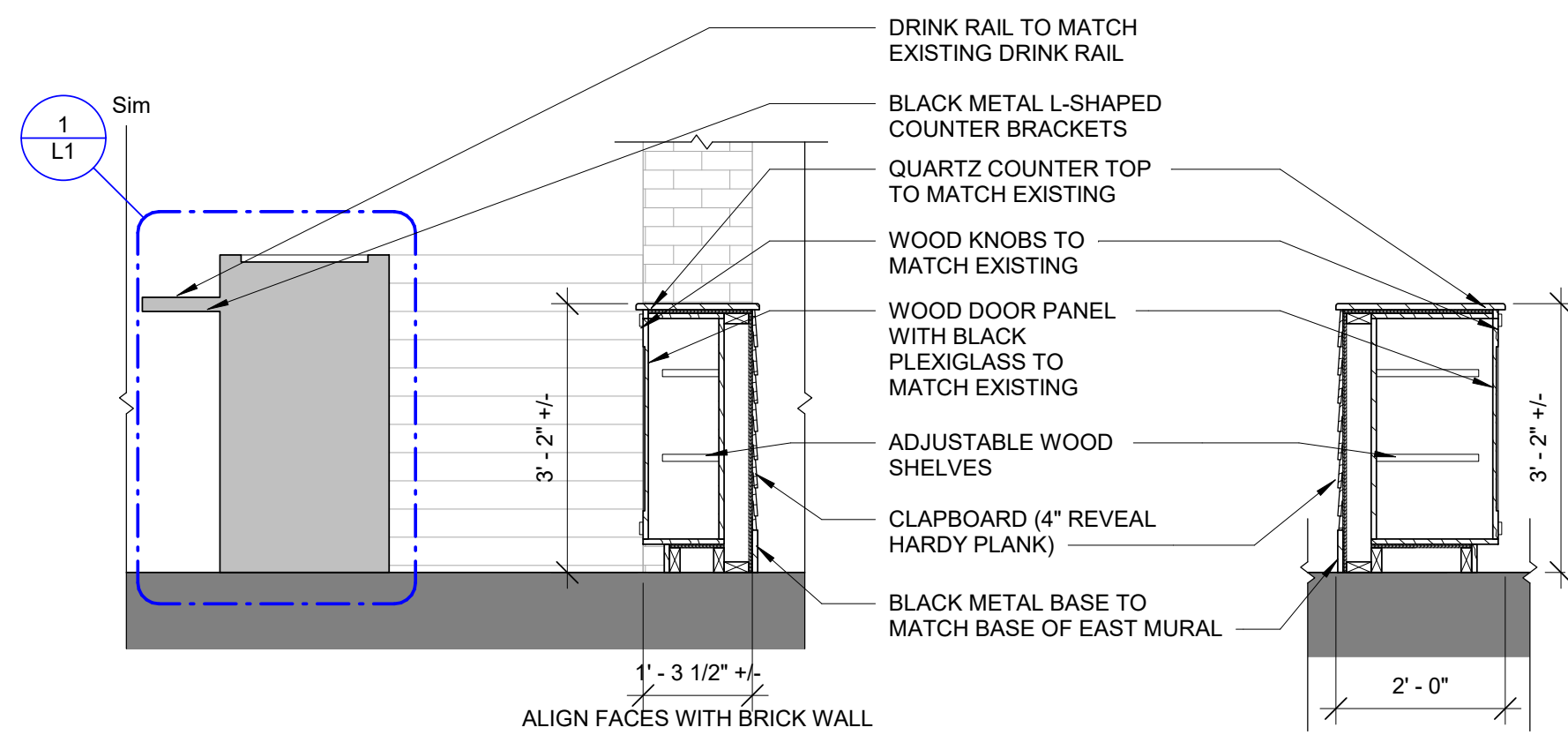
4 EGRESS DOOR ELEVATION
1/4" = 1'-0"



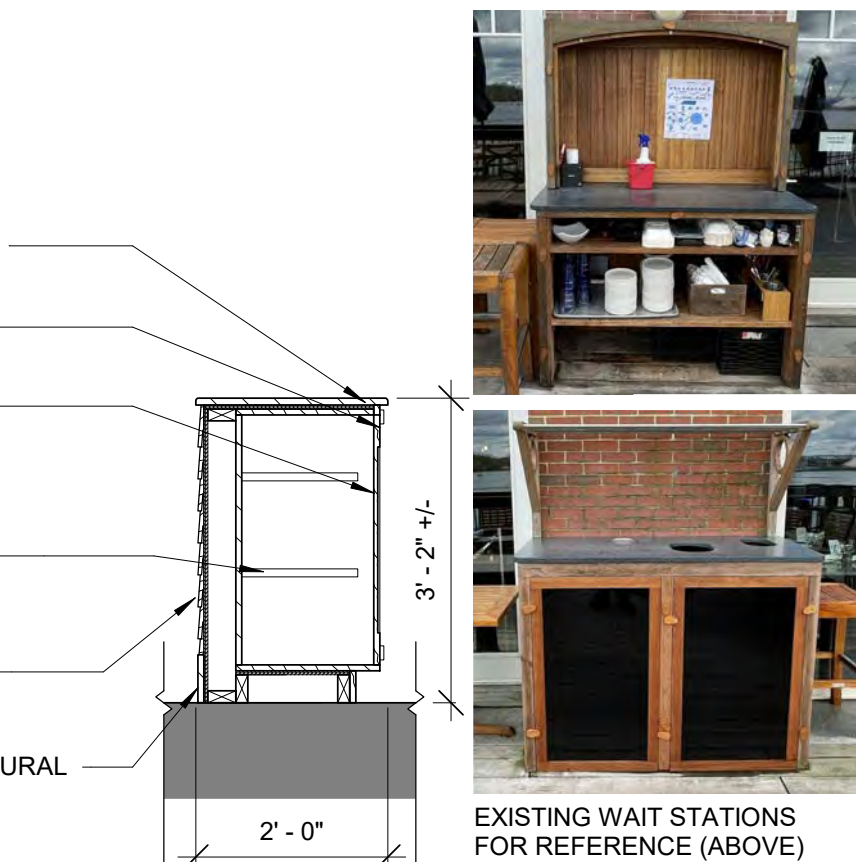
3 ENLARGED MARTINGALE WHARF DECK EXPANSION PLAN
1/4" = 1'-0"



5 ELEVATION AT HOST STATION
1/2" = 1'-0"



6 SECTION THROUGH HOST STATION
1/2" = 1'-0"



7 SECTION THROUGH TYPICAL WAIT STATION
1/2" = 1'-0"

Pitch LED Indoor/Outdoor Wall Sconce
By Tech Lighting



Product Options

Finish: ~~Black~~ Bronze
Voltage: 120 Volt, 277 Volt

Details

- May be mounted up or down
- Marine-grade powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing
- Material: Die-Cast Metal
- ADA compliant, Dark Sky compliant, Title 24 compliant
- ETL Listed Wet
- Marine Grade
- Warranty: 5 years
- Made in China

Dimensions

120 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs
277 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs

Lighting

- 120 Volt Option: 261 Watt (823 Lumens) 120 Volt Integrated LED; CRI: 80 Color Temp: 3000K Lifespan: 70000 hours
- 277 Volt Option: 261 Watt (823 Lumens) 277 Volt Integrated LED; CRI: 80 Color Temp: 3000K Lifespan: 70000 hours

Additional Details

Product URL: <https://www.lumens.com/pitch-led-indoor-outdoor-wall-sconce-by-tech-lighting-TECP90024.html>
Rating: ETL Listed Wet

Product ID: TECP90024

Notes:
OR EQUAL

WALL SCONCE AT DECK PERIMETER - OR EQUAL

Norfolk Outdoor Wall Sconce
By Troy Lighting



Product Options

Size: ~~Small~~ Medium

Details

- Finish: Marine Bronze
- Material: Solid Brass
- Shade Material: Frosted Pressed Prismatic glass
- ADA compliant
- UL Listed Wet
- Made in China

Dimensions

Small Option Fixture: Depth 3", Diameter 8"
Medium Option Fixture: Depth 3.5", Diameter 10"
Large Option Fixture: Depth 4.5", Diameter 13"

Lighting

- Small Option: One 40 Watt (384 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)
- Medium Option: Two 40 Watt (384 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)
- Large Option: Two 60 Watt (672 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)

Additional Details

Product URL: <https://www.lumens.com/norfolk-outdoor-wall-sconce-by-troy-lighting-uu466059.html>
Rating: UL Listed Wet

Product ID: uu466059

Notes:
OR EQUAL

WALL SCONCE AT BUILDING - OR EQUAL

Thin-Line LED Wall Bar
By SONNEMAN Lighting



Product Options

Finish: ~~Black~~ Satin White
Size: 3, 4, 6, 8
Lighting Option: Indirect, One-Sided, Two-Sided

Details

- One-sided configuration can be installed as a downlight or uplight
- Can be mounted horizontally or vertically
- Dimmable when used with TRIAC or ELV dimmer (not included)
- Damp rated for indoor use only
- Designed by Robert Sommer in 2018
- Material: Metal
- Shade Material: Optical Acrylic
- ADA compliant
- UL Listed
- Warranty: Limited 1 Year
- Made in China

Dimensions

3 Option Backplate: Width 1", Height 1"
3 Option Fixture: Width 30", Height 0.75", 1" Depth 3.5", Weight 4Lbs
3 Option Shade: Width 30", Height 1", Depth 0.75"
4 Option Backplate: Width 1", Height 1"
4 Option Fixture: Width 48", Height 0.75", 1" Depth 3.5", Weight 7Lbs
4 Option Shade: Width 48", Height 1", Depth 0.75"
6 Option Backplate: Width 1", Height 1"
6 Option Fixture: Width 72", Height 0.75", 1" Depth 3.5", Weight 9Lbs
6 Option Shade: Width 72", Height 1", Depth 0.75"
8 Option Backplate: Width 1", Height 1", 1" Depth 3.5", Weight 13Lbs
8 Option Fixture: Width 96", Height 0.75", 1" Depth 3.5", Weight 13Lbs
8 Option Shade: Width 96", Height 1", Depth 0.75"

Lighting

- 3 Option: 18 Watt (180 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 3 Option: 36 Watt (360 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 4 Option: 22 Watt (1450 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 4 Option: 44 Watt (2910 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 6 Option: 36 Watt (2220 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 6 Option: 72 Watt (4440 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 8 Option: 47 Watt (3120 Lumens) 120 Volt Integrated LED; Color Temp: 3000K
- 8 Option: 94 Watt (6240 Lumens) 120 Volt Integrated LED; Color Temp: 3000K

Additional Details

Product URL: <https://www.lumens.com/thin-line-led-wall-bar-by-sonneman-lighting-SNNP202253.html>
Rating: UL Listed

Product ID: SNNP202253

Notes:
EXTERIOR RATED EQUAL

LINEAR WALL MOUNTED LIGHTING AT BUILDING TO MATCH EXISTING



EXISTING LINEAR WALL MOUNTED LIGHTING AT BUILDING

PL23DM Outdoor LED Path Light
By Focus Industries



Product Options

Finish: ~~Black Texture~~ Bronze Texture

Details

- LED Lifespan: 50000 hours
- Driver is included
- Material: Aluminum
- ETL Listed Wet
- Warranty: Limited 5 Year
- Made in USA

Dimensions

Fixture: Width 2.25", Height 18", Depth 2.25", Weight 2.1Lbs

Lighting

- 4 Watt (300 Lumens) 12 Volt Integrated LED; CRI: 90 Color Temp: 3000K

Additional Details

Product URL: <https://www.lumens.com/pl23dm-outdoor-led-path-light-by-focus-industries-FOCP309793.html>
Rating: ETL Listed Wet

Product ID: FOCP309793

Notes:
OR EQUAL

AMBIENT PLANTER DOWNLIGHTS - OR EQUAL



IPE WOOD DECKING - MATCH EXISTING

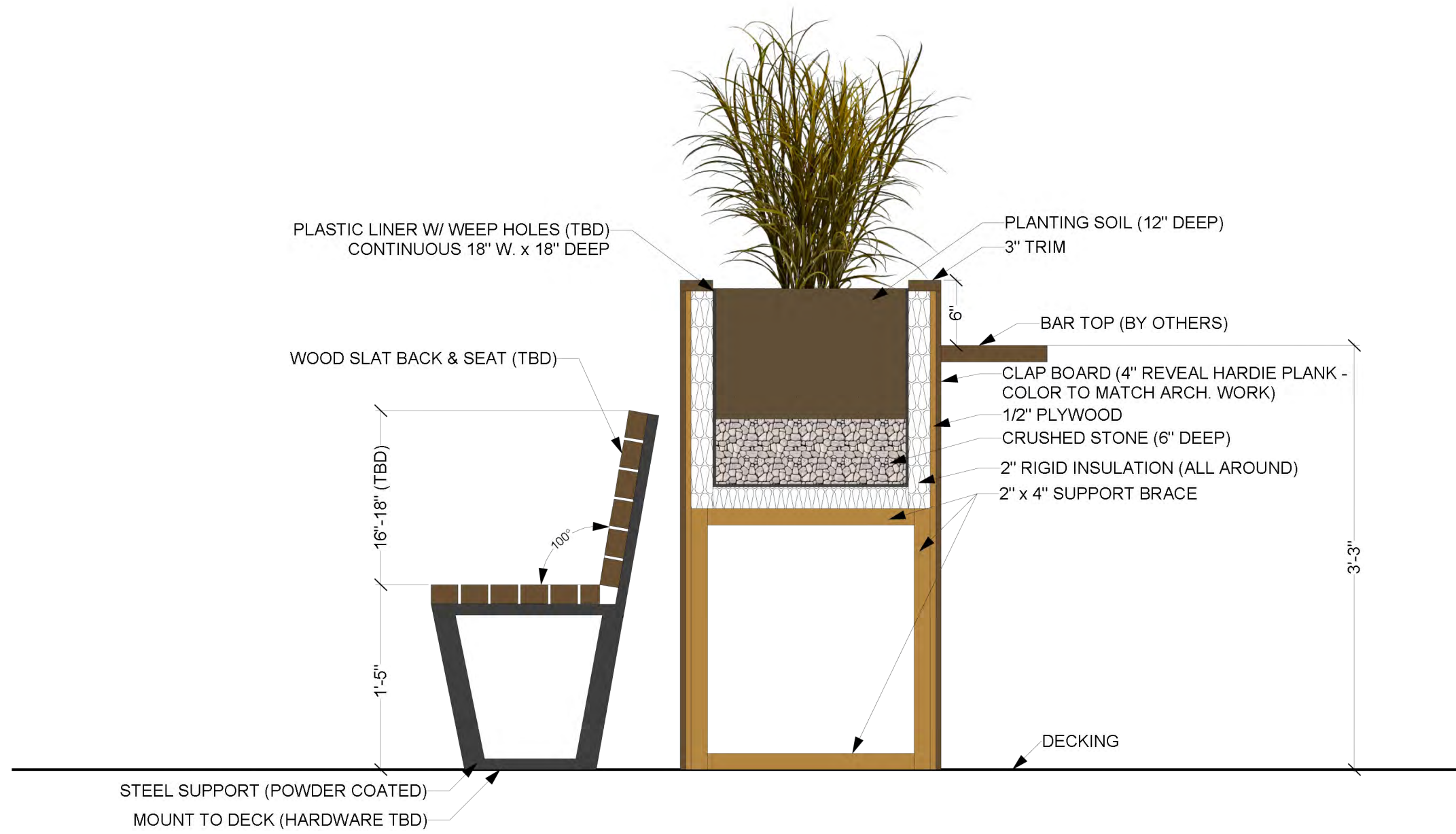


HARDIE PLANK - 4" EXPOSURE - BOOTHBAY BLUE

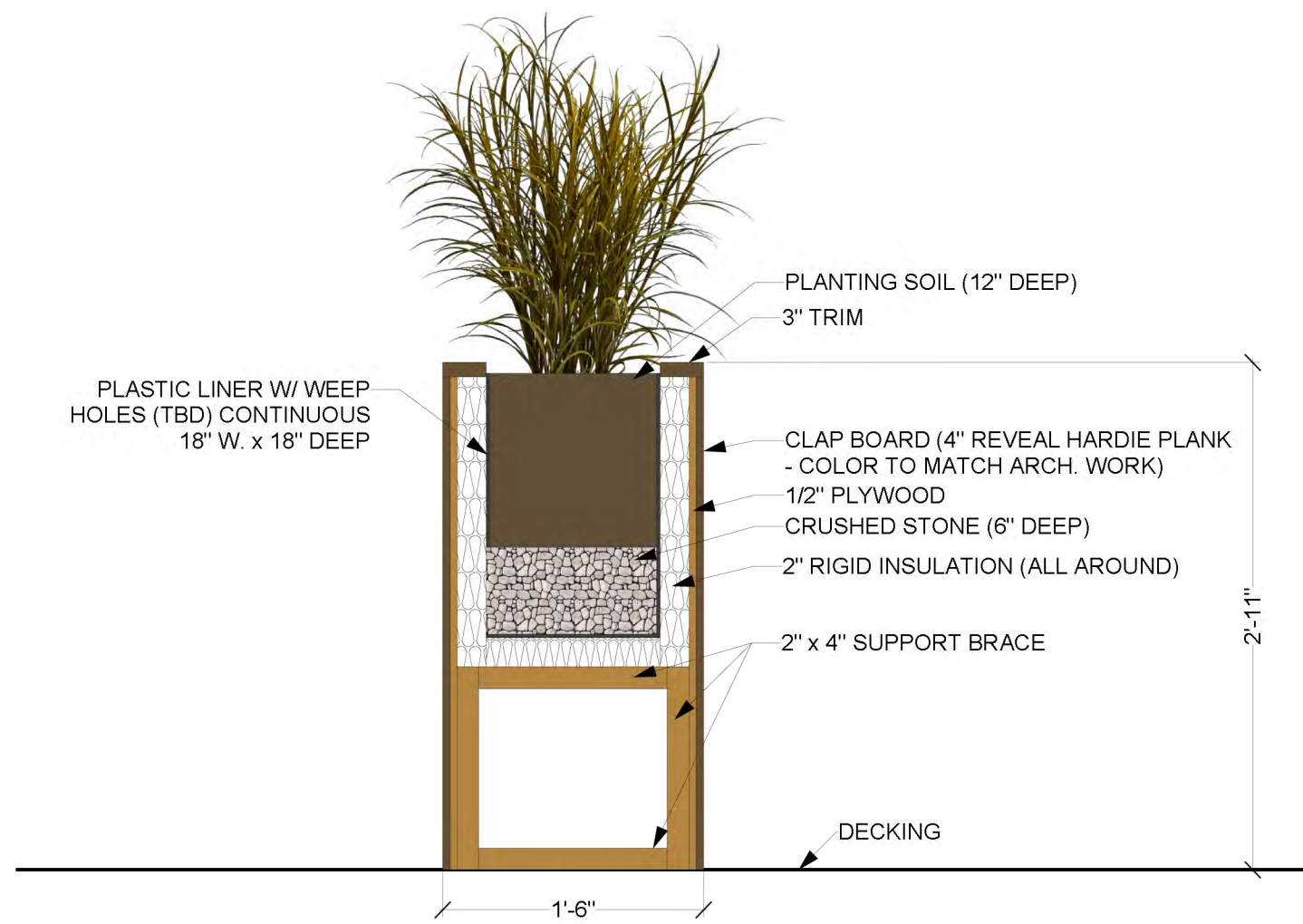


METAL GUARDRAIL BALUSTRADES AT EAST DECK EXPANSION - SIMILAR TO EXISTING (BLACK)

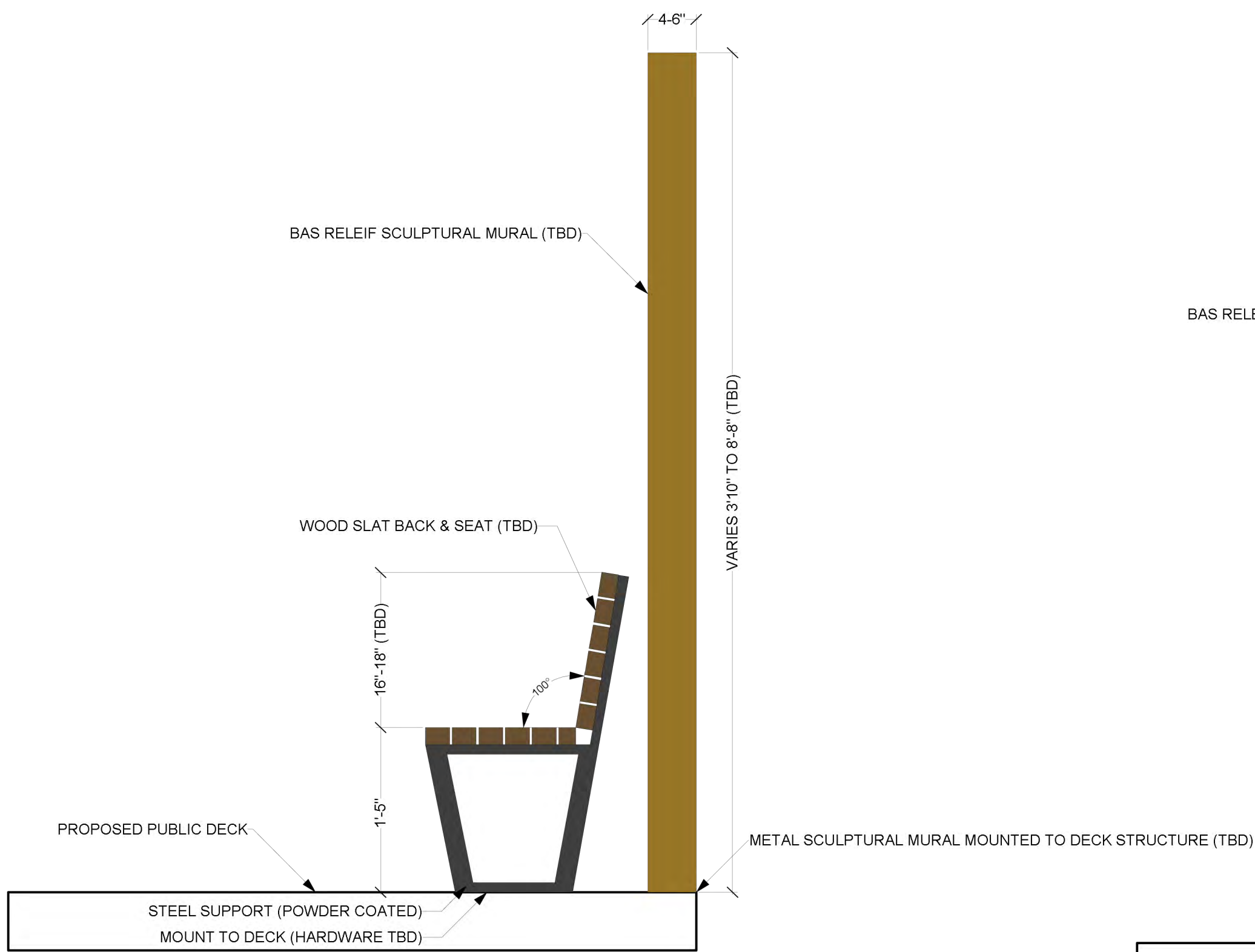
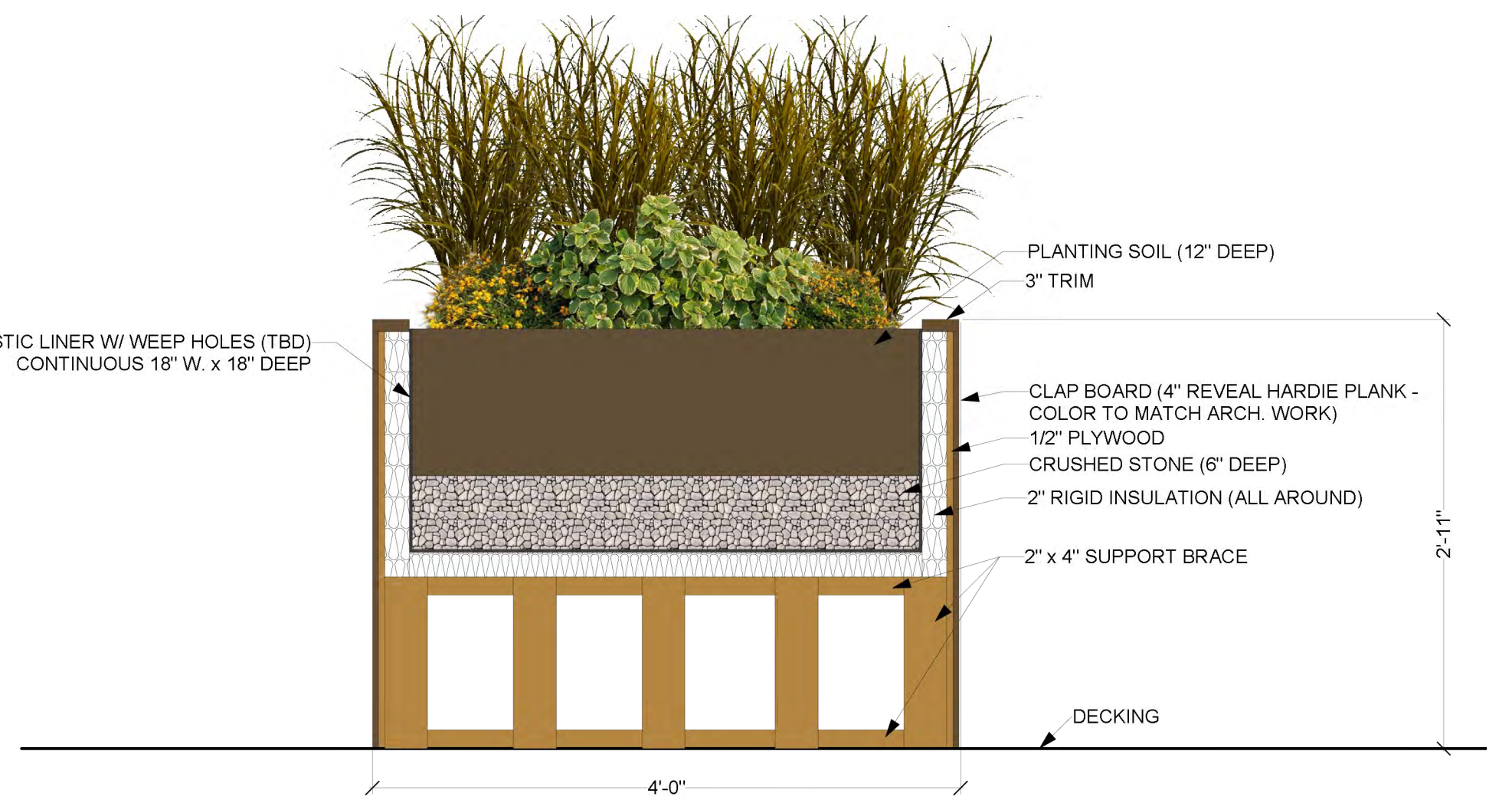




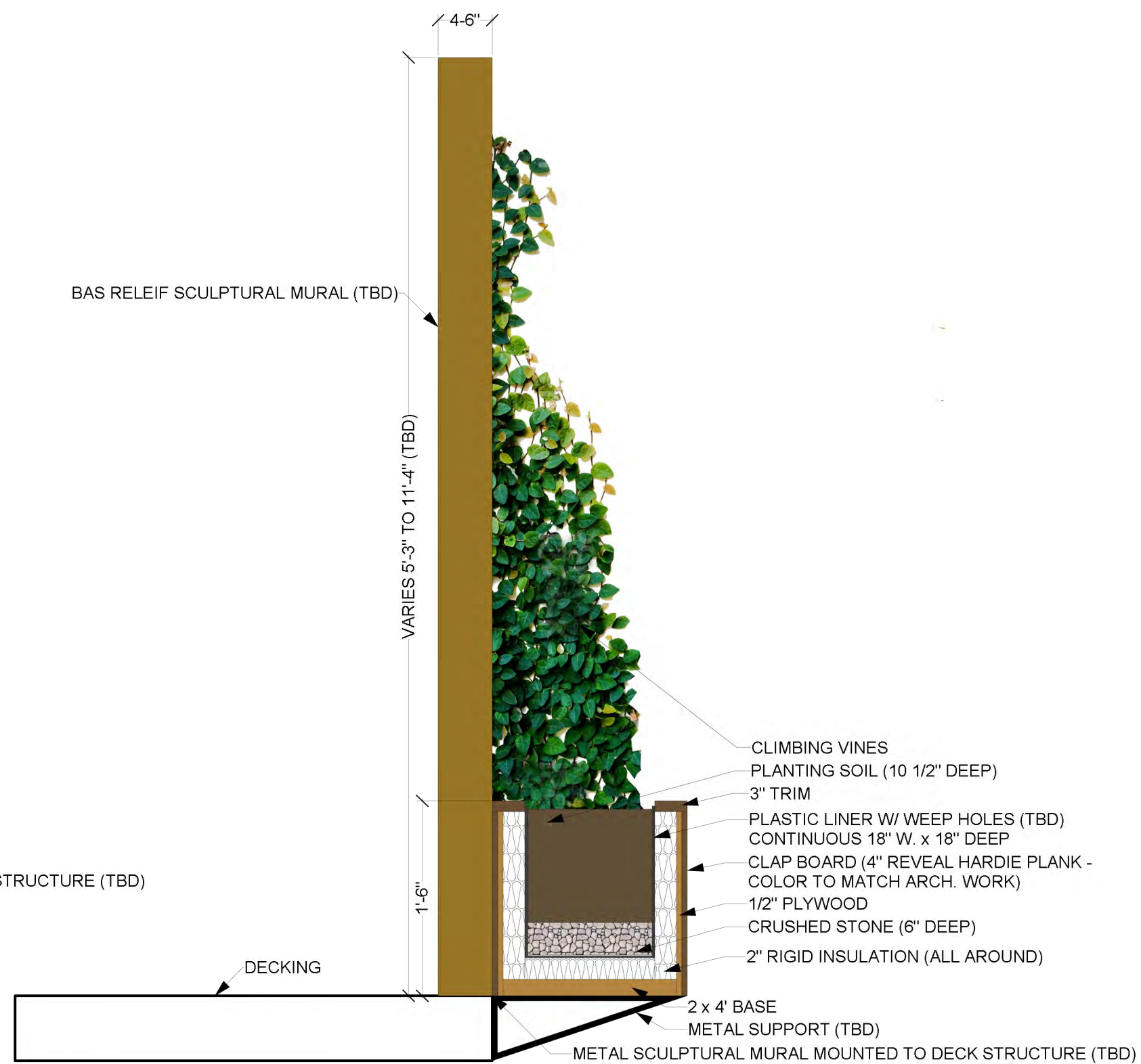
1 PLANTING BOX AND BAR DETAIL
L-1 SCALE: 1"=1'-0"



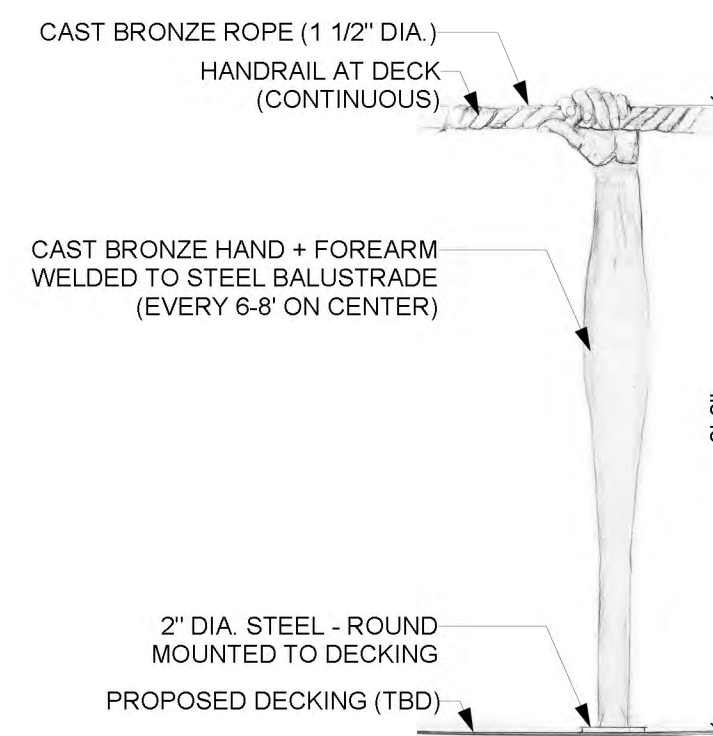
2 SOLITARY PLANTER (18" W. x 48" L. x 35" HT.)
L-1 SCALE: 1"=1'-0"



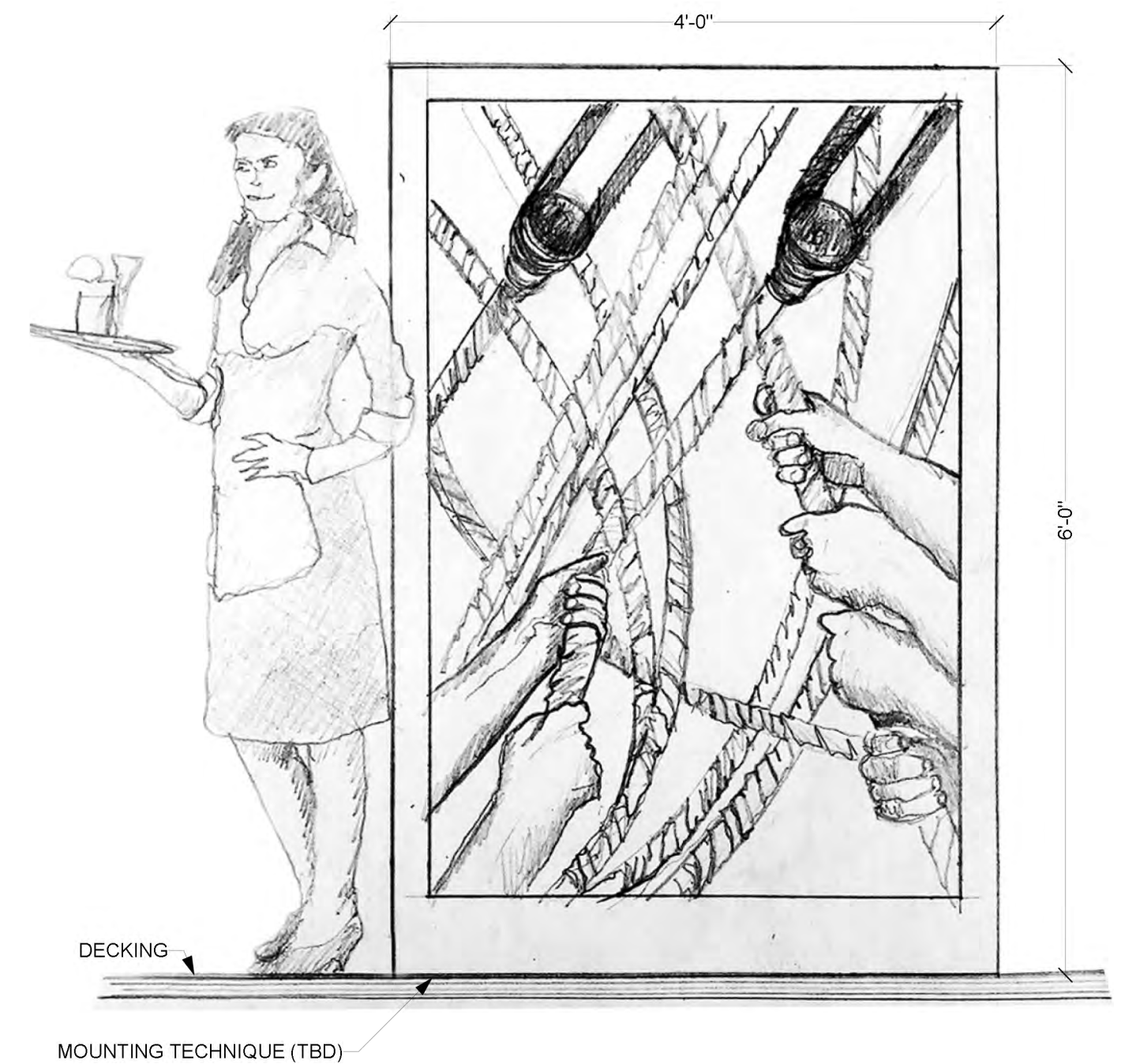
3 WEST BENCH AND MURAL DETAIL
L-1 SCALE: 1"=1'-0"



4 EAST BENCH AND MURAL DETAIL
L-1 SCALE: 1"=1'-0"



5 BALUSTRADE DETAIL
L-1 SCALE: 1"=1'-0"



6 METAL SCREEN PARTITION AT WAITRESS STAND
L-1 SCALE: 1"=1'-0"



PREVIOUSLY APPROVED DECK
EXPANSION APPLICATION FOR
REFERENCE

JUNE 8, 2015



CITY OF PORTSMOUTH

Community Development Department
(603) 610-7232

Planning Department
(603) 610-7216

PLANNING DEPARTMENT
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROVAL

Date: June 8, 2015
To: Martingale, LLC
P.O. Box 930
Portsmouth, NH 03802
Re: 99 Bow Street

The Historic District Commission considered your proposal at its meeting of June 3, 2015 wherein permission was requested to allow new construction to an existing structure (expand existing fixed pier) as per plans on file in the Planning Department.

After due deliberation, the Commission voted that the request be **approved** as presented with the following stipulation:

- 1) That this approval is contingent on the granting of a State wetland permit.

Findings of Fact: The proposed application meets the following purposes of the Historic District Ordinance (as applicable):

A. Purpose and Intent:

- ☐ Yes ☐ No - Preserve the integrity of the District
- ☒ Yes ☐ No - Maintain the special character of the District
- ☐ Yes ☐ No - Assessment of the Historical Significance
- ☒ Yes ☐ No - Complement and enhance the architectural and historic character
- ☐ Yes ☐ No - Conservation and enhancement of property values
- ☒ Yes ☐ No - Promote the education, pleasure & welfare of the District to the city residents and visitors

Page 2

Re: 99 Bow Street

June 8, 2015

The proposed application also meets the following review criteria of the Historic District Ordinance (as applicable):

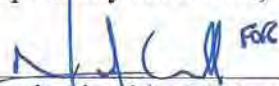
B. Review Criteria:

- ☐ Yes ☐ No - Consistent with special and defining character of surrounding properties
- ☐ Yes ☐ No - Relation to historic and architectural value of existing structures
- ☒ Yes ☐ No - Compatibility of design with surrounding properties
- ☐ Yes ☐ No - Compatibility of innovative technologies with surrounding properties

PLEASE NOTE: Prior to the issuance of a building permit, the Building Inspector will need to review and approve construction drawings/sketches so work shall not commence until the review process is complete. Applicants should note that approvals may also be required from other Committees and/or Boards prior to the issuance of a Building Permit.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Respectfully submitted,



Joseph Almeida, Chairman
Historic District Commission

cc: Robert Marsilia, Chief Building Inspector
Rosann Maurice-Lentz, Assessor
Steve McHenry, McHenry Architecture

MARTINGALE WHARF

JUNE 3, 2015 - Historic District Commission, Public Hearing, Portsmouth, New Hampshire

General Project Description:

Waterfront Deck -

- Expand existing Wharf Restaurant deck
- Create a public wharf deck

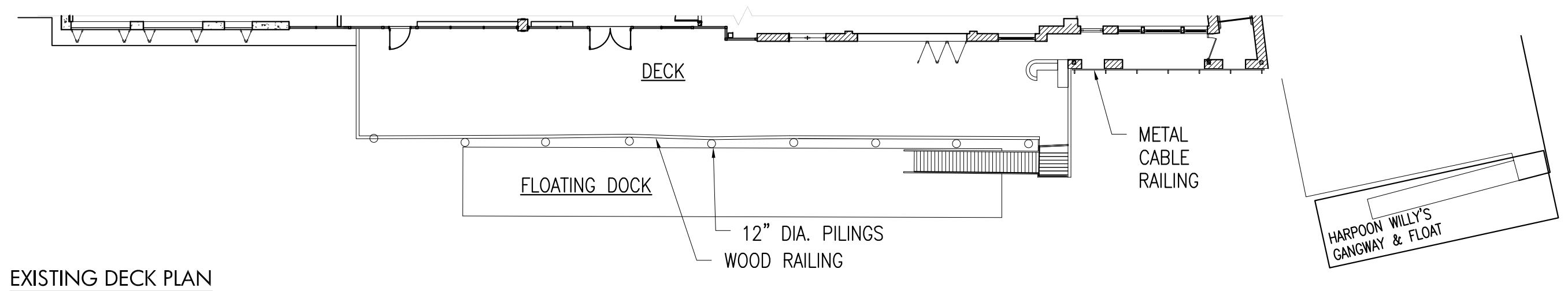
EXISTING DECK



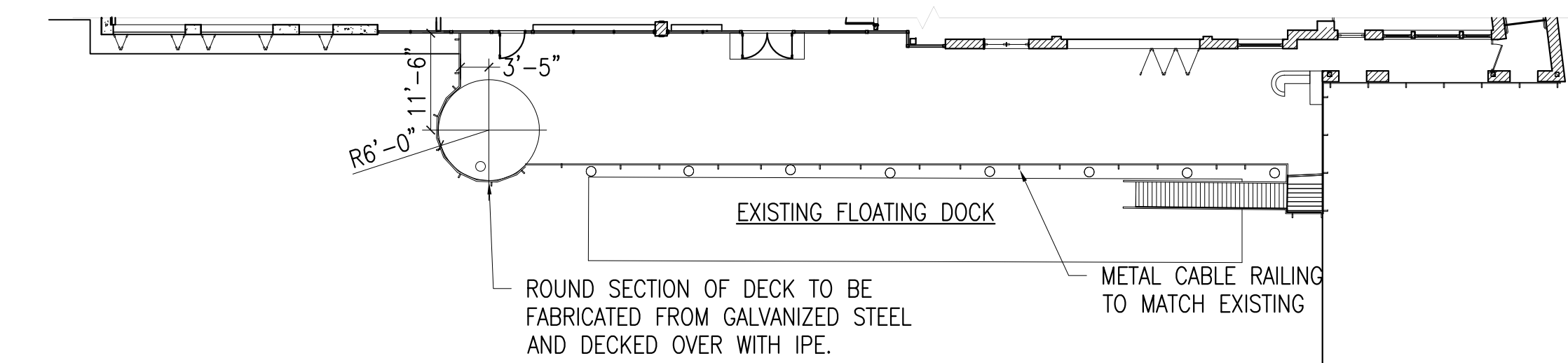
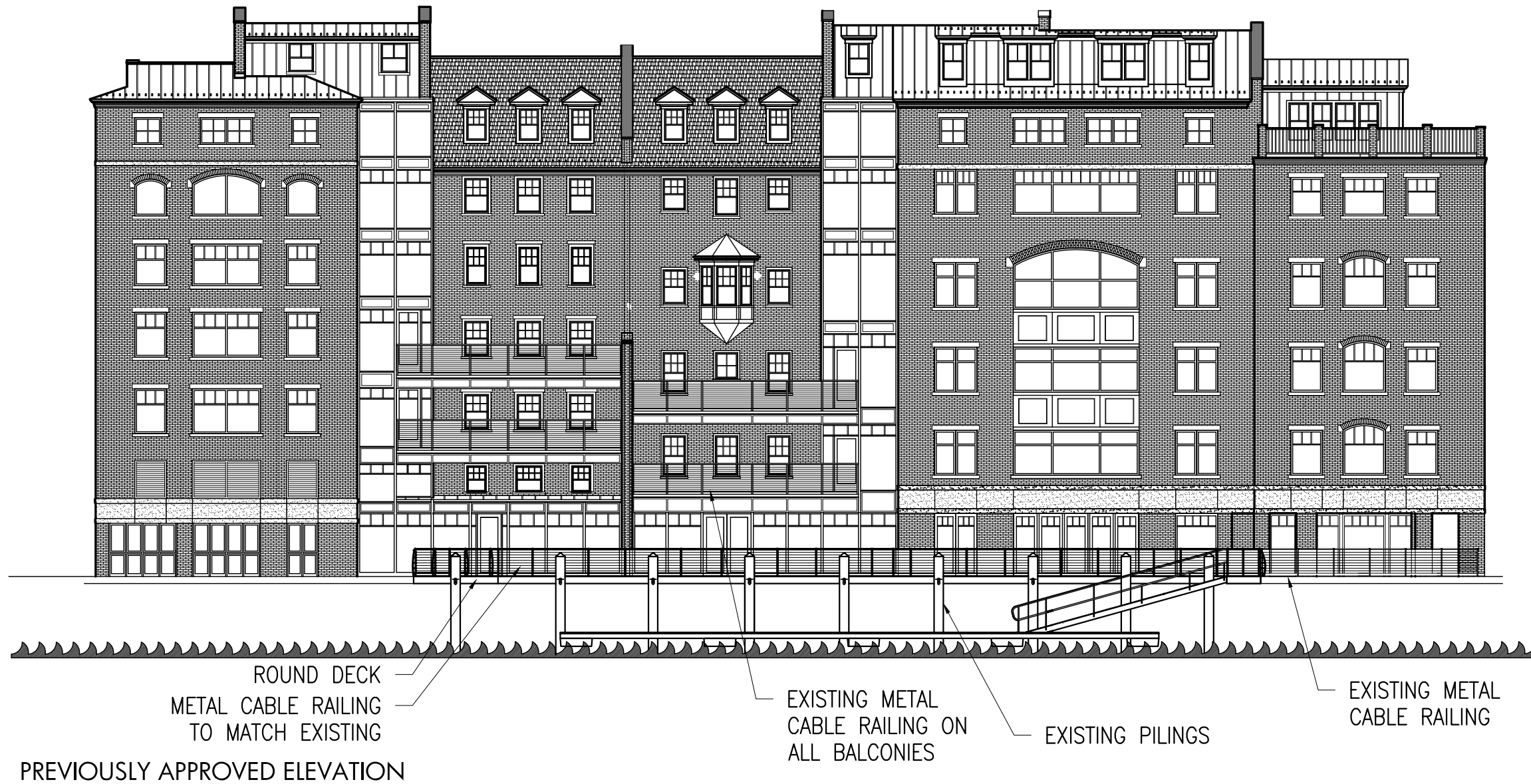


EXISTING DECK VIEW

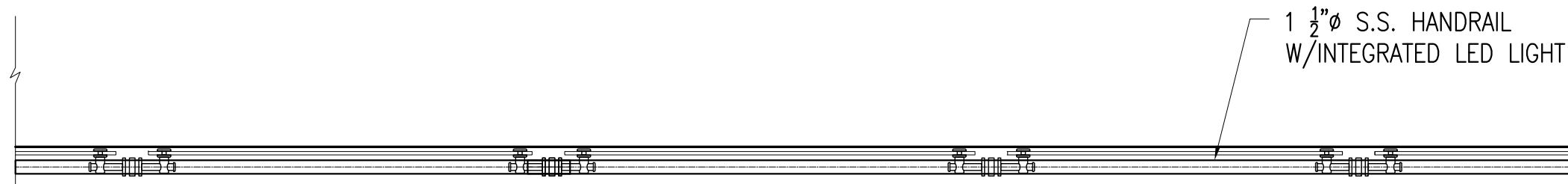




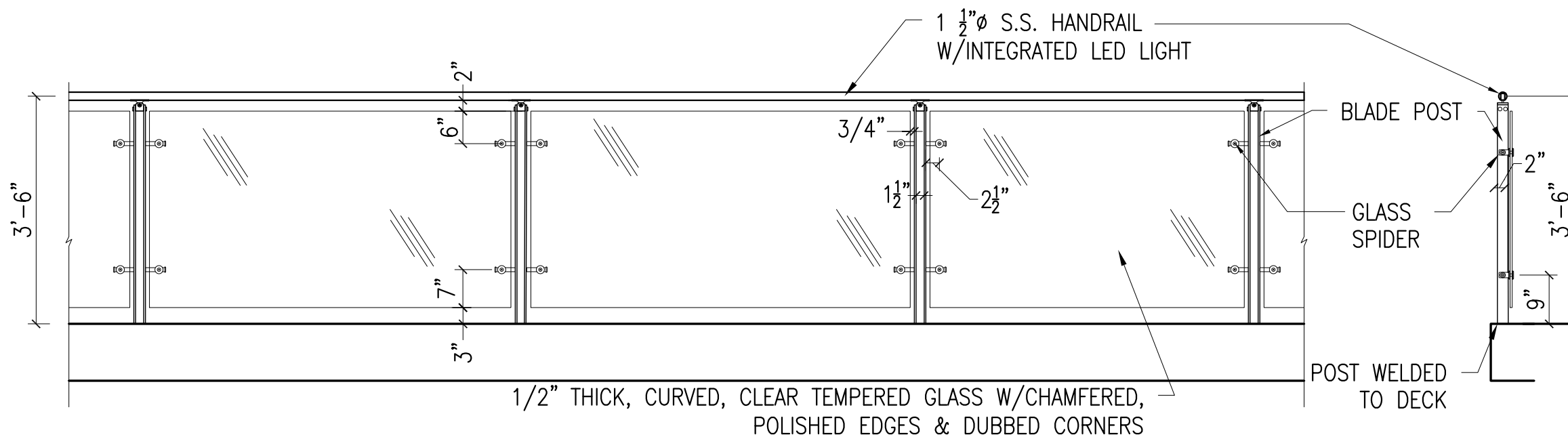
EXISTING DECK PLAN



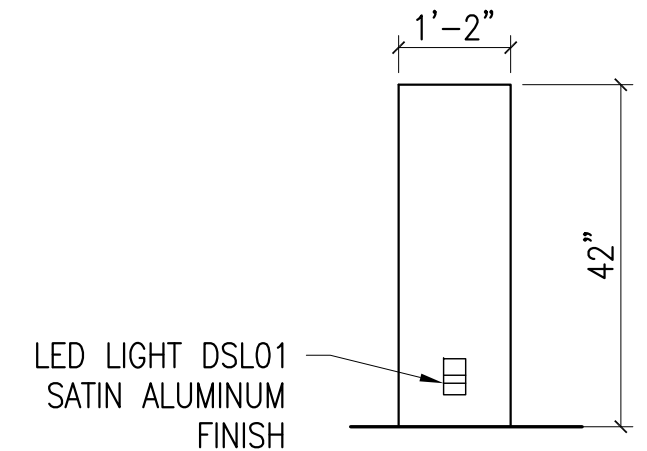
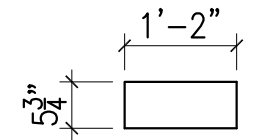
PREVIOUSLY APPROVED DECK PLAN



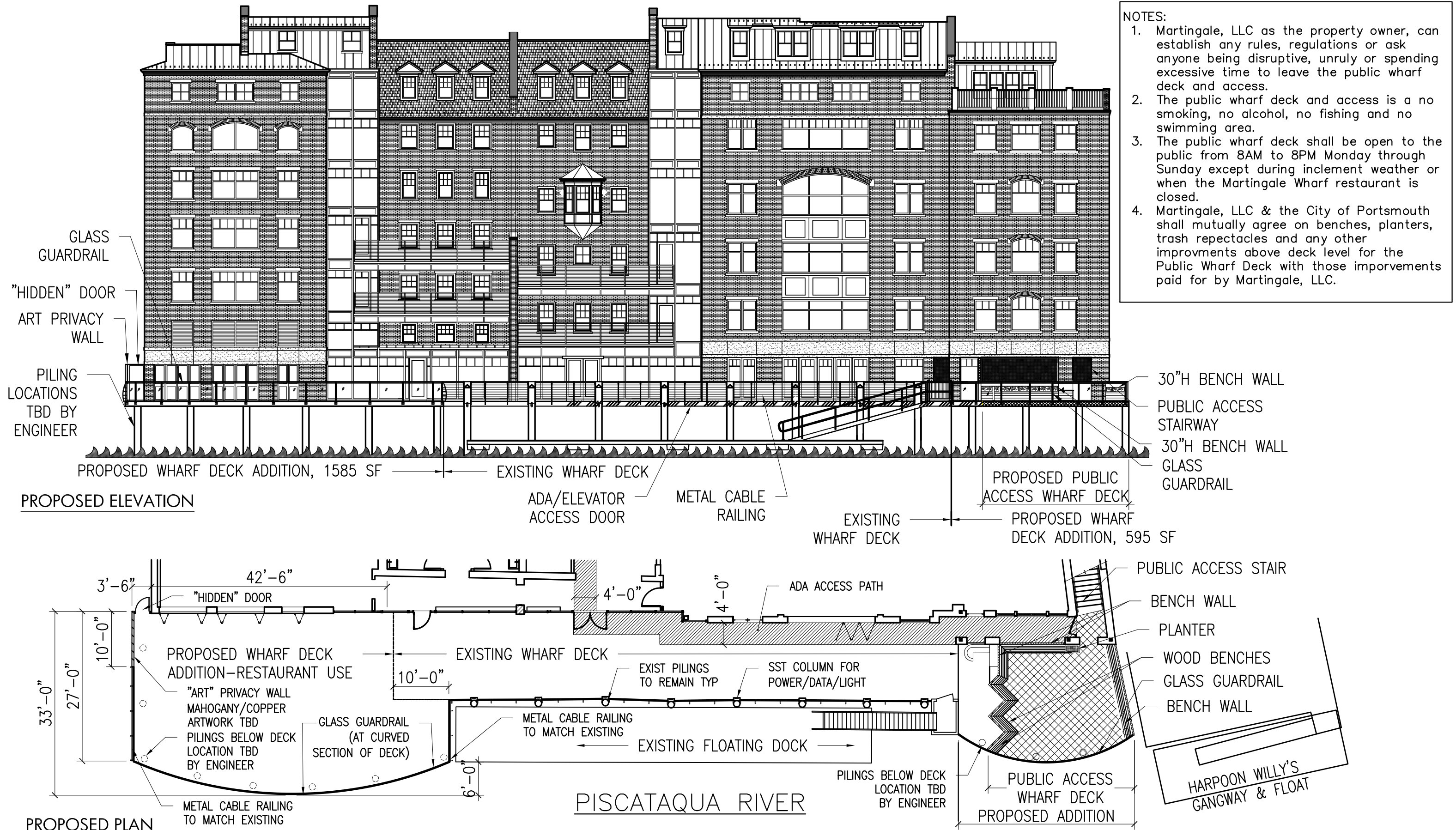
PREVIOUSLY APPROVED GLASS GUARDRAIL PLAN DETAIL
3/4"=1'-0"



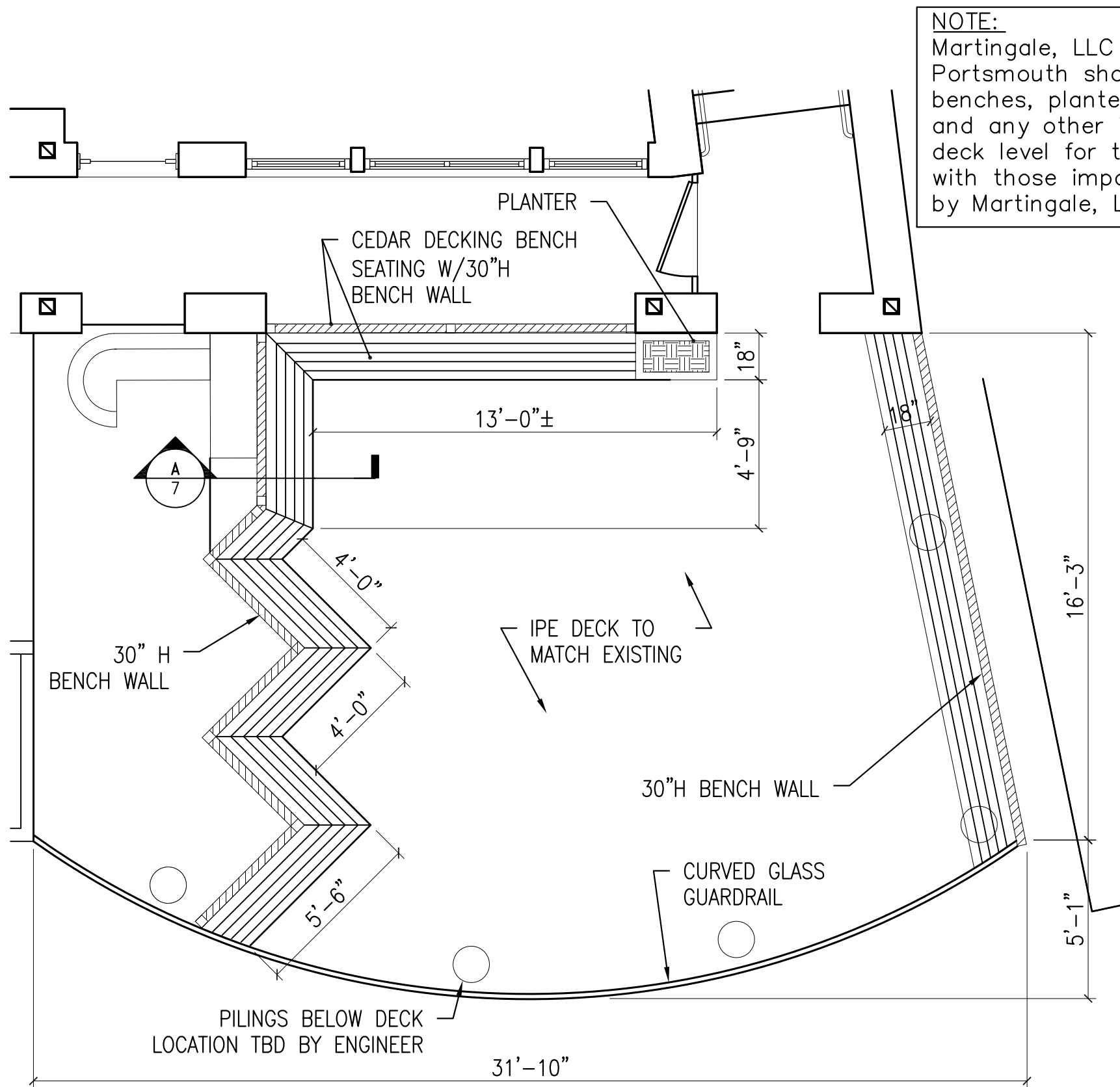
PREVIOUSLY APPROVED GLASS GUARDRAIL ELEVATION AND SECTION
1/2"=1'-0"



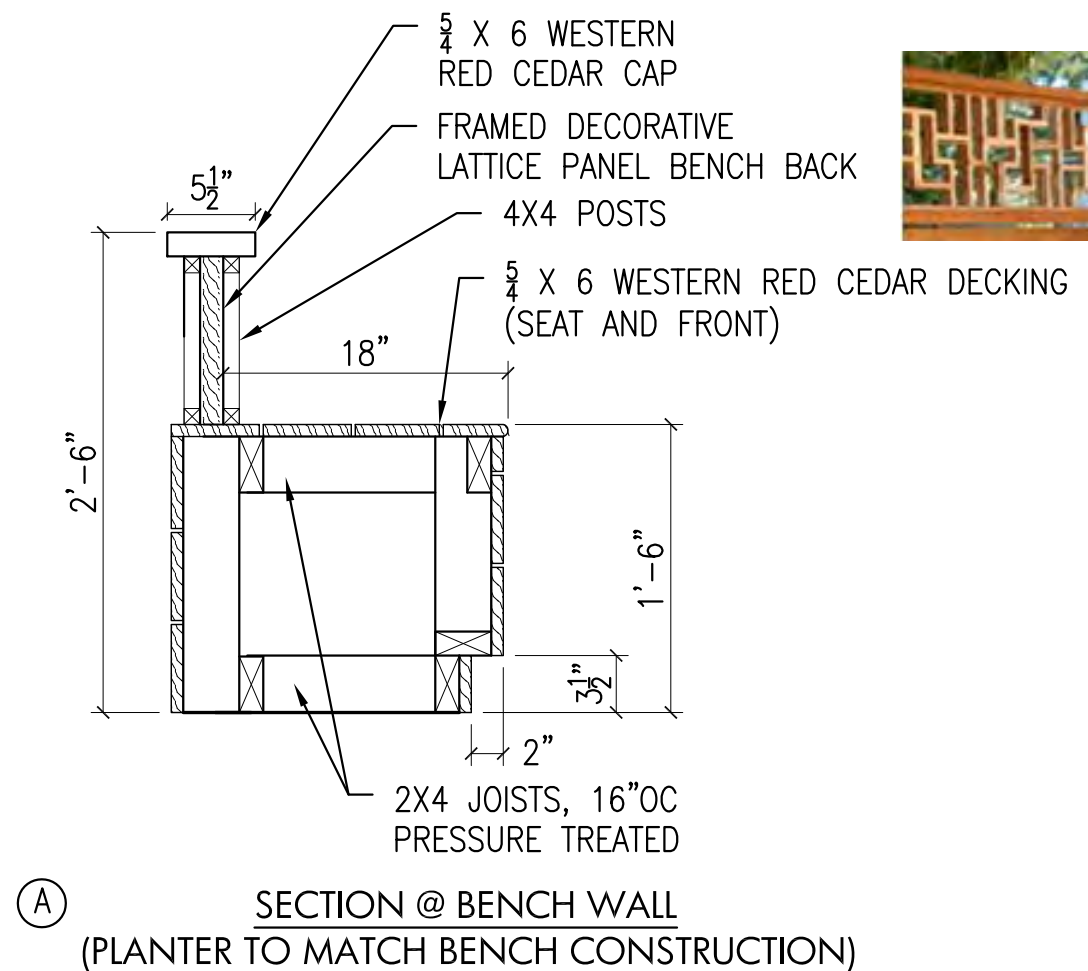
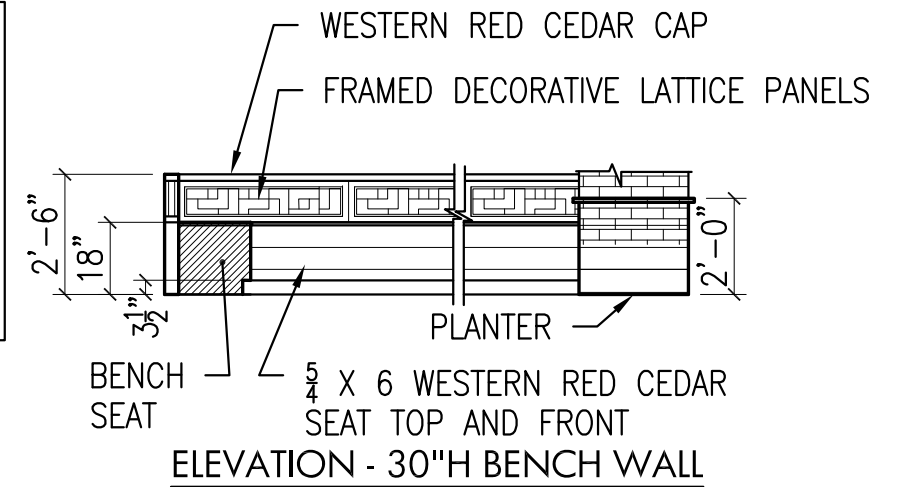
SS COLUMN ELEVATION
1/2"=1'-0"



- NOTES:
1. Martingale, LLC as the property owner, can establish any rules, regulations or ask anyone being disruptive, unruly or spending excessive time to leave the public wharf deck and access.
 2. The public wharf deck and access is a no smoking, no alcohol, no fishing and no swimming area.
 3. The public wharf deck shall be open to the public from 8AM to 8PM Monday through Sunday except during inclement weather or when the Martingale Wharf restaurant is closed.
 4. Martingale, LLC & the City of Portsmouth shall mutually agree on benches, planters, trash receptacles and any other improvements above deck level for the Public Wharf Deck with those improvements paid for by Martingale, LLC.

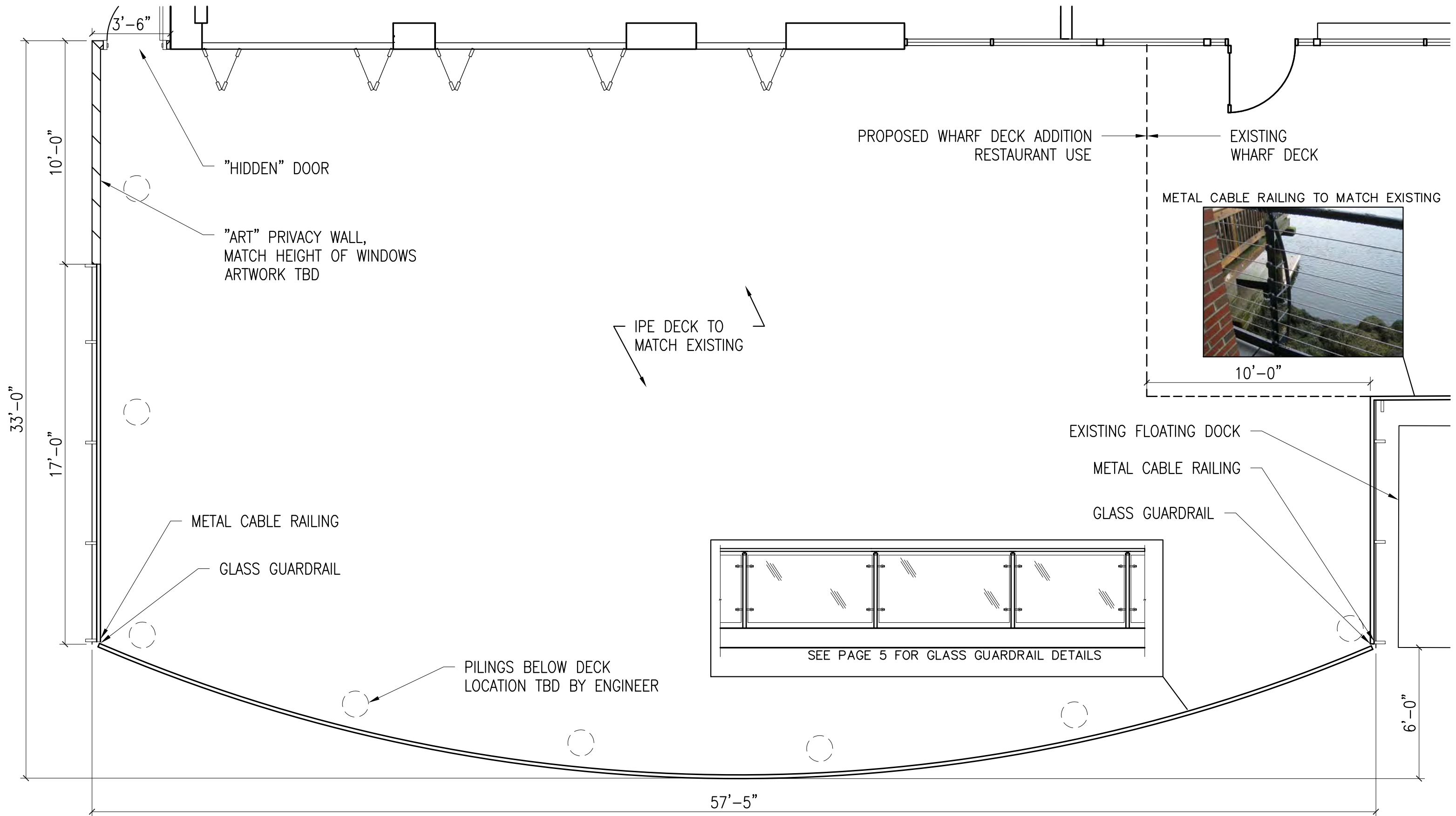


PROPOSED ENLARGED PLAN

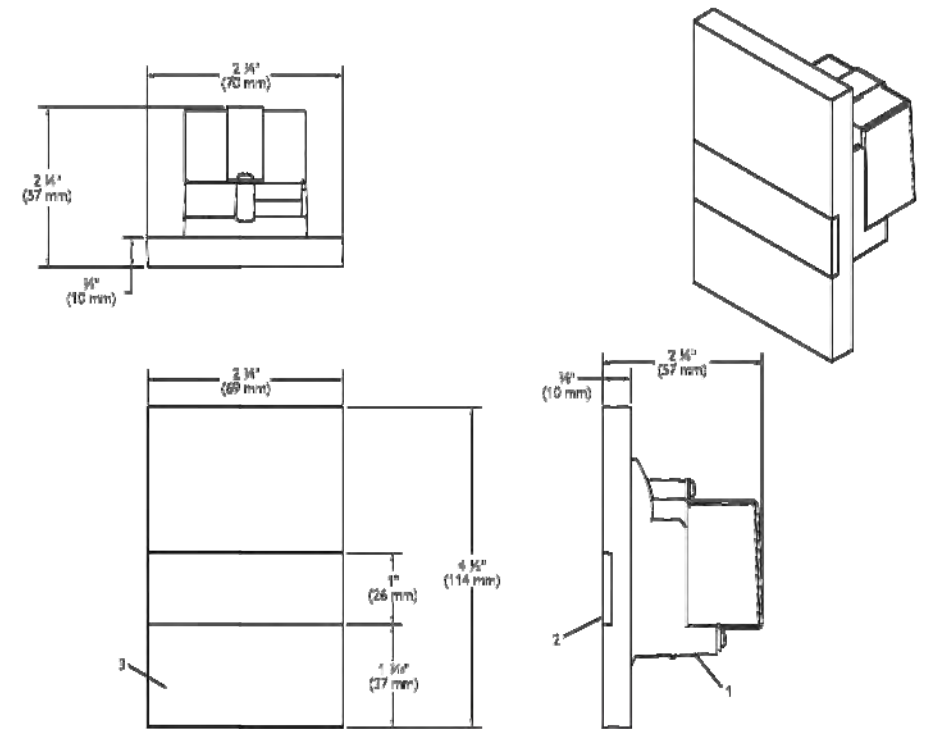
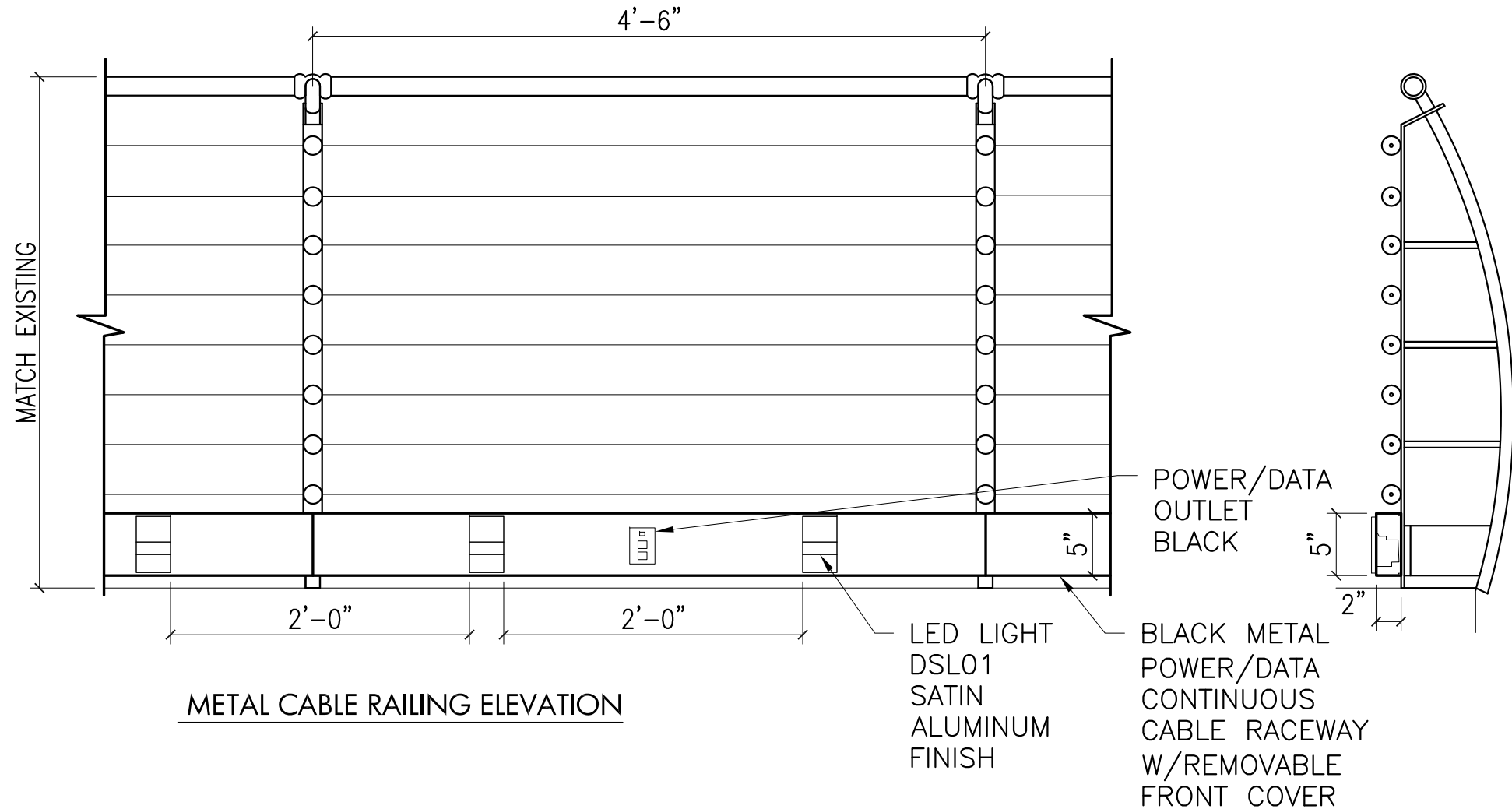


DECORATIVE LATTICE PANEL:
MANUFACTURER: LATTICESTIX
PATTERN D140
SIZE: 1507 (4' X 1'-10")
EDGE LATTICE=45 3/4"w x 21 3/4"h x 1 1/2"d
MATERIAL: WESTERN RED CEDAR





PROPOSED ENLARGED PLAN



Features

1. **Heat Sink/Driver Housings:** Die-cast aluminum.
2. **Lens:** Injection molded polycarbonate clear, developed for optimum optical output.
3. **Face Plate:** Die-cast aluminum.
4. **Switch Box Mounting Plate:** 18ga. C.R.S. zinc plated, for mounting to a 3 1/2" deep switch box. (Not shown)

Electrical

LED: (1) 4W 3000K white LED. Average expected life, under normal operating conditions is 50,000 hours with lumen maintenance of 70% of original light output.

Driver: Class 2 power supply.

Voltage: 120V

Electrical (continued)

Output Wattage: 5 W

Input Current (max.): 100 mA

Frequency: 50/60 Hz

Output Voltage (VDC): 12 V

Constant Current: 500 mA

Finish

Satin aluminum with protective clearcoat.
Matte white powder coat.

Labels

cULus Listed. Suitable for wet locations.
Wall mount only.



Philips Lighting
e: tol.webmaster@philips.com
t: (508) 679-8131
w: www.lightalliance.com

DSL01 May 31, 2011

Specifications are subject to change without notice.
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Job Information	Type:
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