

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NH**

Remote Meeting Via Zoom Conference Call

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You are required to register in advance to join the meeting over Zoom, a unique meeting ID and password will be provided once you register. Public comments can be emailed in advance to planning@cityofportsmouth.com. For technical assistance, please contact the Planning Department by email (planning@cityofportsmouth.com) or phone (603) 610-7216.

Per NH RSA 91-A:2, III (b) the Chair has declared the COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2021-06, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

6:30 p.m.

June 02, 2021

AGENDA (revised on May 28, 2021)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. May 05, 2021
2. May 12, 2021

II. ADMINISTRATIVE APPROVALS

1. 379 New Castle Avenue
2. 33 Johnson Court
3. 14 Mechanic Street
4. 254 South Street
5. 241 South Street
6. 205 Market Street
7. 100 Market Street
8. 66 Marcy Street

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **110-112 Court Street Condominium Association, owner, and Beth Goddard, applicant**, for property located at **110 Court Street, Unit #3**, wherein permission is requested to allow renovations to an existing structure (remove existing chimney) as per plans on file in the Planning Department. Said property is shown on assessor Map 116 as Lot 39-3 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.
2. Petition of **Strawbery Banke, Inc., owner**, for property located at **0 Washington Street (Strawbery Banke)**, wherein permission is requested to allow renovations to an existing structure (foundation, clapboards, window and door repairs) and new construction to an existing structure (create new front porch) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 8 and lies within the Mixed Research Office (MRO) and Historic Districts.
3. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow new construction to an existing structure (add a 3-story addition and create new entry points to the Worth Lot) and additional site improvements as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

IV. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Dagny Taggart, LLC, owner**, for property located at **60 Penhallow Street**, wherein permission is requested to allow new construction of exterior art installations (for a previously approved new structure at the site) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 27 and lies within the Character District 4CD4), Downtown Overlay, and Historic Districts.
2. Work Session requested by **238 Deer Street, LLC, owner**, for property located at **238 Deer Street**, wherein permission is requested to allow the demolition of the existing structure and the construction of a new 3-4 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.
3. Work Session requested by **Ten State Street, LLC, owner**, for property located at **10 State Street, Unit D**, wherein permission is requested to allow renovations to an existing structure (create new State Street entrance with vestibule within the existing entrance footprint) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 4-4 and lies within the Character District 4 (CD4) and Historic Districts.

V. ADJOURNMENT

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6:30 p.m.

June 09, 2021

AGENDA

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. ADMINISTRATIVE APPROVALS

II. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **Stone Creek Realty, LLC, owner**, for property located at **53 Green Street**, wherein permission is requested to allow the demolition of the existing structure and the new construction of a 3-5 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 119 as Lot 2 and lies within the Character District 5 (CD5) and Historic Districts.

B. Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

C. Work Session requested by **Dagny Taggart, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure

(renovations of existing building) and new construction to an existing structure (construct 3-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4) and Historic Districts.

D. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

E. Work Session requested by **Ross D. Ellenhorn and Rebecca J. Wolfe, owners**, for property located at **279 Marcy Street, Unit #3**, wherein permission is requested to allow new construction to an existing structure (construct recessed deck on 3rd floor) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 45-3 and lies within the General Residence B (GRB) and Historic Districts.

F. Work Session requested by **Mary H. and Ronald R. Pressman, owners**, for property located at **449 Court Street**, wherein permission is requested to allow renovations to an existing structure (add 4th floor addition and roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

III. ADJOURNMENT

**MINUTES of the
HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NH**

Remote Meeting Via Zoom Conference Call

Per NH RSA 91-A:2, III (b) the Chair has declared the COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2021-06, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

6:30 p.m.

May 5, 2021

MEMBERS PRESENT: Chairman Vincent Lombardi; Vice-Chairman Jon Wyckoff; Members Reagan Ruedig, Margot Doering, Martin Ryan, and David Adams; City Council Representative Paige Trace; Alternates Heinz Sauk-Schubert and Karen Bouffard

MEMBERS EXCUSED: None

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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Mr. Martin brought up the McIntyre Project charrette process. He said he thought it was a mistake that the HDC members were asked to exclude themselves from the charrette, noting that he didn't see any conflict of interest that forced the Commission members out of that process. He said it was a shame that, as citizens of Portsmouth, he and the other Commission members weren't able to participate. City Council Representative Trace said she was a member of the McIntyre Subcommittee and wasn't allowed to participate in the charrettes or anything else. She said that the Commission was a quasi-judicial board, so the members weren't allowed to have an opinion on the project until it came before them. Mr. Doering said if the process had happened in the City Hall Chambers instead of through Zoom meetings, the Commission members could have at least had the opportunity to hear what the public wanted.

*Mr. Adams moved that City Council Representative Trace relay the Commission's message to 'the powers that be', and Vice-Chair Wyckoff seconded. The motion **passed** by unanimous vote, 7-0.*

I. APPROVAL OF MINUTES

A. April 07, 2021

The vote was tabled to the next meeting so that a question could be resolved.

B. April 14, 2021

The April 14, 2021 minutes were **approved** as presented by unanimous vote, 7-0.

II. ADMINISTRATIVE APPROVALS

Note: Several administrative approval items were taken out of sequence to review and vote on them separately due to recusals or To-Be-Determined (TBD) statuses.

1. 112 Gates Street

The request was to install an iron fence to a gate and replace the existing fencing. There were two fence design options. The applicant Marybeth Herbert was present and said she was flexible on the design choice but preferred the spear design. It was decided that the spear design would be more appropriate.

Stipulation: the spear finial design shall be used.

2. 10 State Street, Unit B

The request was to install six termination vents and covers to match the brick color and existing vents.

3. 175 Market Street

City Council Representative Trace recused herself.

Mr. Cracknell said the project had recently finished construction and that the applicant didn't want to install the previously-approved skylight but wanted to add a screen snorkel termination vent on the roof. Ms. Doering asked if the screen was solid or a rail, and Mr. Cracknell said he thought it was a rail.

*Ms. Ruedig moved to **approve** the item, and Mr. Adams seconded. The motion **passed** by unanimous vote, 6-0.*

4. 379 New Castle Avenue

The request was to extend the deck at the edge of the first story.

5. 5 Hancock Street

Mr. Cracknell said gooseneck lighting fixtures were added between the garage doors and the second-floor windows per a previous stipulation and that the applicant also requested a mini split unit for the side. Mr. Cracknell said there was an existing fence for screening and that the unit would be on the rear corner of the addition.

6. 150 Congress Street

The request was to place rooftop mechanical equipment on the Jumpin' Jay's Fish Cafe restaurant. Mr. Cracknell said it wouldn't be seen from the street. He said the transformer for it was a separate request. Ms. Doering asked if it would jump a gap. Mr. Cracknell agreed but said it wouldn't go any higher than the restaurant's roof or 150 Congress Street. City Council Representative Trace stated for the record that the owner of Jumpin' Jay's was the same owner as the 130 Congress Street administrative approval request that followed.

7. 130 Congress Street, Unit #4

The request was for a transformer for the Flatbread Company restaurant. Mr. Cracknell said it would displace one parking space and that concrete-filled metal pipes were required.

Stipulation: the metal pipes shall be painted black.

8. 135 Bow Street

Chairman Lombardi recused himself and Vice-Chair Wyckoff was Acting Chair.

Mr. Cracknell said the request was for a blanket approval for the Andersen A Series windows and doors. The applicant's representative Carla Goodnight was present and reviewed the doors and windows in detail. Ms. Doering said the blanket approval would set the standard for people who weren't ready to do a replacement but could access the document in a few years and choose the appropriate approved window. She asked how long a blanket approval ran for. Mr. Cracknell said it ran indefinitely but the idea was to get it back to what it was supposed to be in the beginning in order to make it uniform.

*Mr. Adams moved to **approve** the request as presented, and Mr. Ryan seconded. The motion **passed** by unanimous vote, 7-0.*

9. 160 Court Street

Ms. Ruedig recused herself from the petition

The applicant's representative Carla Goodnight reviewed the changes. Mr. Ryan said the slider doors looked odd with the classical columns and frieze and so on, and he asked if they were necessary. Ms. Goodnight said the frame would be black and there would not be any sidelights, so the slider doors wouldn't be noticeable.

*Vice-Chair Wyckoff moved to **approve** the requested, and City Council Representative Trace seconded. The motion **passed** by a vote of 6-1, with Mr. Adams voting in opposition.*

Mr. Adams said he was bothered by the sliding glass panel doors because they seemed like an intrusion into the core of the District.

10. 49 Mt. Vernon Street

The request was to change the height of the railing from 42 inches to 36 inches and to add an iron railing down to the steps to meet code requirements.

11. 9 Prospect Street, Unit #3

Mr. Cracknell said the unit had already been installed and that the applicant was willing to paint the unit yellow to match the siding color. Mr. Ryan said the siding could be changed and recommended that the unit be painted to match whatever color the siding was.

*Ms. Doering moved to **approve** the item with the following **stipulation**:*

- *The condenser unit shall be painted the color of the siding.*

*Vice-Chair Wyckoff seconded. The motion **passed** by unanimous vote, 7-0.*

12. 229 Pleasant Street, Unit #2

The request was for a condenser. Mr. Cracknell said the applicant was willing to screen the unit on the ground. City Council Representative Trace asked if it would be on the Richmond Street side because it was a narrow street and would affect some neighbors. There was further discussion and also questions, but the applicant wasn't present.

*Mr. Ryan moved to approve the item as presented, and Vice-Chair Wyckoff seconded. The motion **failed** by a vote of 6-1, with only Mr. Ryan voting in favor of the request.*

13. 16 Porter Street

Mr. Cracknell said the applicant provided information on what the requested radon system would look like and that the PVC 3" pipe would be shrouded in a copper-coated channel. The applicants were present and said they preferred that the pipe be painted instead. Mr. Ryan said he saw no problem because it was in a private alley. Ms. Ruedig said the pipe should be uncovered and that it should be painted. Mr. Adams suggested that it be painted red to match the brick and that the portion above the roofline be painted the color of the roof. Mr. Cracknell asked if the condominium association would understand that the copper sleeve would be removed, since it had already been stated that it would not. The applicant said it was a health and safety issue because the unit had tested high above the limit. City Council Representative Trace said there might be a radon test if the condo unit was put up for sale and might affect the sale if the radon tested positive.

*Ms. Ruedig moved to **approve** the item with the following **stipulation**:*

- *The PVC pipe shall be painted red to match the brick and the portion above the roof shall be painted a darker color to match the roofline.*

*Mr. Ryan seconded. The motion **passed** by unanimous vote, 7-0.*

14. 195 State Street

The request was for two mini split units. Mr. Cracknell said they would be painted black or whatever color the Commission preferred. Mr. Adams said he preferred that it be painted the brick color, and Vice-Chair Wyckoff agreed. Ms. Doering asked if there could be a screening on the new unit, noting that there was a lot of mechanical equipment in that area. Mr. Cracknell said it was tricky to screen units that were off the ground without drawing more attention to them and that a box screen would double the unit's size. Mr. Ryan said the units were lower than the fence so he didn't see an issue that wasn't already there due to the spiral stairway, fire escapes, and so on. Mr. Cracknell said it would be a good opportunity for all four condenser units to be painted the brick color and that he would check to see if the two existing condensers were previously approved by the Commission.

Stipulation: All four units shall be painted red to match the brick.

15. 239 Northwest Street

Mr. Cracknell said the request was for minor changes due to a waterproofing issue and some structural challenges. He said the applicant had to do more alterations by making the shed roof higher, relocating or removing the bulkhead, and making the back dormer smaller.

*Vice-Chair Wyckoff moved to **approve** the item as presented, and Ms. Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

16. 114 Maplewood Avenue

Mr. Cracknell said the project was approved in 2019 but didn't take place, so the request was a redo of the previous approval. He said there was no change in the design and that the applicant wanted to replace the existing shed roof on the back with a hip.

*Mr. Adams moved to **approve** the item, and Vice-Chair Wyckoff seconded. The motion **passed** by unanimous vote, 7-0.*

17. 45 Gardner Street

The request was for a vent for a new fuel source and to locate the vent to a side wall.

Stipulation: the vent shall be painted to match the color of the siding.

18. 67 Bow Street

Mr. Cracknell said the request was to add three mechanical AC condensers to the restaurant. He said they would be screened by the awning. Ms. Doering said the awning wasn't permanent and asked if the condensers would be revealed if it were removed. The applicant Pete Labrie was present and said the awning structure would support the units, and if the awnings were removed, he'd have to remove the condensers or return to the Commission for permission for another type of screen.

*Ms. Ruedig moved to **approve** Items 1, 2, 4, 5, 6, 7, 8, 10, 14, 17 and 18, with their respective stipulations. Mr. Ryan seconded. The motion **passed** by unanimous vote, 7-0.*

Chairman Lombardi noted that there were two requests to postpone, Work Session A for Marcy Street (Prescott Park) and Work Session B for One Raynes Avenue. Mr. Cracknell said the City wasn't ready to move forward on the Prescott Par project and thought the applicant would withdraw the petition instead of it being continued. He said the One Raynes Avenue petition should be continued to the June meeting.

*It was moved, seconded, and passed unanimously (7-0) to **continue** Work Session B, One Raynes Avenue, to the June 2, 2021 meeting.*

III. CERTIFICATE OF APPROVAL - EXTENSION REQUESTS

1. Petition of **Bow Street Theatre trust, owner**, for property located at **125 Bow Street**, wherein permission was requested for a 1-year extension of the Certificate of Approval originally granted on June 10, 2020 to allow new construction to an existing structure (replace roof and add insulated cladding on walls) as per plans on file in the Planning Department. Said property is show on Assessor Map 105 as Lot 1F and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

DECISION OF THE COMMISSION

Mr. Adams and Mr. Ryan abstained from the vote.

*Ms. Ruedig moved to **grant** the request for extension, and Vice-Chair Wyckoff seconded. The motion **passed** by unanimous vote, 5-0.*

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Carol Elliot Revocable trust of 2011, owner**, for property located at **143 Gates Street**, wherein permission was requested to allow the removal of an existing shed to be replaced with a new shed as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 99 and lies within the General Residence B (GRB) and Historic Districts.

Mr. Adams recused himself from the petition. Alternate Sauk-Schubert took a voting seat.

SPEAKING TO THE PETITION

The applicant Carol Elliot said she wanted to replace the existing shed with a larger one, noting that it would be cedar and that only the roof and the front of the shed would be seen.

Vice-Chair Wyckoff asked if was a manufactured shed, and Ms. Elliot agreed. Ms. Ruedig said it would be simpler and look cleaner if the shed could be all horizontal siding. Mr. Cracknell asked if the applicant proposed a 3-tab shingle or an architectural asphalt shingle. Ms. Elliot said she

didn't know. Ms. Ruedig said either shingle would be fine, and Vice-Chair Wyckoff said he preferred an architectural dark-colored shingle.

Chairman Lombardi opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Chairman Lombardi closed the public hearing.

DECISION OF THE COMMISSION

*Vice-Chair Wyckoff moved to **grant** the Certificate of Approval for the petition as presented, with the following stipulations:*

- 1. The shingle shall be an architectural asphalt one, and*
- 2. The shed shall have horizontal siding.*

Vice-Chair Wyckoff said the project would preserve the integrity of the District, noting that it was a wood shed with wood siding and wood doors, and that it would preserve the special and defining character of surrounding properties.

*The motion **passed** by unanimous vote, 7-0.*

2. Petition of **Michael Peter Lewis and Arna Dimambro Lewis, owners**, for property located at **41 Salter Street**, wherein permission was requested to allow new construction to an existing structure (construct 2nd floor addition over existing first floor foot print) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 30 and lies within the Waterfront Business (WB) and Historic Districts.

SPEAKING TO THE PETITION

Architect Carla Goodnight was present on behalf of the applicant. She said she had a letter of support from the abutter who was most affected by the decision. She reviewed the petition.

Mr. Adams asked what was at the end of the foundation. Mr. Goodnight said it was the existing deck with an access area. Mr. Adams said the addition was sided with different materials of clapboard and shingle and that the line defined the end of the small Cape that was the original building. He asked why the applicant would unify the siding on that side and make the defining line go away. Ms. Goodnight said it was for continuity. Mr. Adams said he preferred that the line be kept, and Ms. Goodnight said it could be a stipulation. Ms. Ruedig asked about the fluted corner boards on the shed dormer, and Ms. Goodnight said she didn't think they would be used. Chairman Lombardi asked how close the house was to the neighbor in the tall building, and Ms. Goodnight said she wasn't sure but that it was within the setback. She noted that the neighbor was also the prior owner of the applicant's home.

Vice-Chair Wyckoff said the details taken from the existing home were amateurish. He said the corner board on the dormer was out of proportion and that he didn't know if the rake board cut level on the bottom covered the whole soffit. Ms. Goodnight pointed out the appropriate design

and said the pitch wasn't really that shallow. Mr. Adams noted that the corner boards on the new extension were shown as 9-1/2 inches and thought that was the reason that something seemed out of scale with the trim. Ms. Goodnight said she could step it down, and it was further discussed. Vice-Chair Wyckoff suggested that the corner board be 1/5 or 1/6, with no flutes. City Council Representative Trace asked about half-screens, noting that one of the windows had a full screen.

Chairman Lombardi opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Chairman Lombardi closed the public hearing.

DECISION OF THE COMMISSION

*Vice-Chair Wyckoff moved to **grant** the Certificate of Approval for the application, with the following **stipulations**:*

- 1. The fake corner board on the left-hand side shall be replaced;*
- 2. the corner board on the addition shall be 1/6 in size and fluted; and*
- 3. The new windows shall have half-screens.*

Mr. Adams seconded the motion.

Vice-Chair Wyckoff said the project would preserve the integrity of the District and maintain its special character. He said the new addition would have more character to match the surrounding properties and that the Commission had looked at the significant historical and architectural value of the existing structure. Ms. Doering abstained from the vote, saying she had a hard time differentiating between her personal feelings about the project and her judicial responsibilities.

*The motion **passed** by unanimous vote, 6-0.*

V. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **Timothy R. and Alison E. Malinowski, owners**, for property located at **91 Lafayette Road**, wherein permission was requested to allow the new construction of a detached garage on the property) as per plans on file in the Planning Department, Said property is shown on Assessor Map 151 as Lot 11 and lies within the General Residence (GRA) and Historic Districts.

SPEAKING TO THE PETITION

Tom Emerson was present on behalf of the applicant. He reviewed the petition and the changes that were made as a result of the previous work session.

Mr. Adams asked what was meant by a smooth standard garage door. Mr. Emerson said it normally came in a wood grain but that it would be fiberglass and smooth. He said fiberglass was preferred because of maintenance issues. Mr. Adams said the drawing showed four doors with

glazing panels and so on. Mr. Emerson said they were windows and that the smooth fiberglass would be the rails and styles of the door. It was further discussed.

Vice-Chair Wyckoff said he appreciated the simplifying of the rake on the street side and the little boards over the door with the brackets. He said it didn't seem right to have that little bit of siding inside the roof and suggested that it have a panelized look to it. Mr. Emerson said it could be done. City Council Representative Trace asked why the dormer had two vertical panels that didn't continue down. Mr. Emerson said the roof overhung by a foot. Mr. Ryan said the massing was much better and that he liked the unique detailing. He said he didn't have a problem with the detailed expressions that matched the existing house and thought it worked fine. City Council Representative Trace suggested half-screens to be consistent with other applications. Ms. Ruedig said the structure still seemed very tall for a garage but thought it was beautifully designed and matched the house. She said there was enough room on the property to accommodate it but that it would be a new and notable structure in that location.

Chairman Lombardi opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Chairman Lombardi closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition with the following stipulations:*

- 1. Half-screens shall be used; and*
- 2. The garage door shall be field painted and the smooth side shall be used.*

Vice-Chair Wyckoff seconded.

Mr. Ryan said the project would preserve the integrity of the District and would be consistent with the special and defining characters of the surrounding properties.

*The motion **passed** by unanimous vote, 7-0.*

VI. WORK SESSIONS (OLD BUSSINESS)

A. Work Session requested by **City of Portsmouth, owner**, for property located at **Marcy Street (Prescott Park)** wherein permission is requested to allow exterior construction to an existing structure (elevate, remove additions, and re-locate the Shaw warehouse on-site) as per plans on file in the Planning Department. Said property is shown on Assessor Map 104 as Lot 5 and lies within the Municipal (M) Historic Districts.

DECISION

The applicant will withdraw the petition.

B. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

DECISION OF THE COMMISSION

*It was moved, seconded, and passed unanimously (7-0) to **continue** the petition to the June 2, 2021 meeting.*

C. Work Session requested by **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow new construction to an existing structure (add a 4th floor, revitalize storefronts, and create entry points to the Worth Lot) and additional site improvements as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

WORK SESSION

Mr. Cracknell said the intention was to submit the dock removal portion of the petition as an administrative approval and that the Commission could either approve it as such or the applicant could return the following week. The applicant's representative Steve Wilson and architect Mark Mueller were present. Mr. Wilson said he wanted to move forward with the administrative approval for the removal of the dock. He said the existing loading dock was detrimental because it raised the access to the back of the building and that it also had an underground oil tank.

*Mr. Adams moved to **approve** the removal of the loading dock/ancillary piece of the building as an administrative approval item, and City Council Representative Trace seconded. The motion **passed** by unanimous vote, 7-0.*

Mr. Wilson reviewed the rest of the petition. He said they still needed the Commission's feedback on the material for the lower portion of the new building. Mr. Mueller reviewed the changes stemming from the previous work session. He said they weren't certain that the top of the old building was really brick but liked what it did for the façade in crafting a decorative masonry surface and wanted to continue that expression on the proposed façade. He said the floor elevations were different on the new building to create the illusion of two separate properties. He said the outside corner balconies were eliminated and relocated to the juxtaposition between the buildings to create a demarcation line. He said it would expose a new outside corner to the old building and create depth. He said there were three windows on each end of the façade, with a place in the middle reserved for public art. He said the alleyway façade had less windows than before, with shed dormers and decorative rosettes instead of dormer gables, and that a corner balcony at the Hanover Street corner had a quiet expression.

Mr. Adams said he was excited about the design because the building was blending in with the old city and the new city. He said he appreciated the lighter fenestration, especially on the alleyway side, and thought putting the balcony shadow line between the old and new buildings was useful. He said he liked the wrapping of the storefront around to the Vaughan Mall side and wasn't bothered by the stone base but wondered if the stone base and brick top section to a simulated slate roof was an appropriate way to have a comfortable building. Ms. Bouffard said she liked the changes on the west side with the shed dormers and the rosettes and the recessed balconies, as well as the front façade. Ms. Ruedig said the old building façade was still great but thought there were a lot of 2/1 windows all over it and suggested doing something different for the façade. She said the new building's layout and massing were still fine and agreed that the recession between the two buildings was a nice detail. She liked the simplification of the top floor. She thought the windows on the south elevation matched too much and said she wasn't sold on the ocular windows on the top part. She said the building had a very traditional form and was simple, and she thought it could be a good opportunity for using different materials. She said she liked the stone base but thought continuing with another brick and slate had the potential to make the building boring. She said it should be clear that it was new construction and that it could be made into an attractive contemporary building by using contemporary details and materials to make it stand out instead of blending in with everything else.

Vice-Chair Wyckoff said he was comfortable with the amount of fenestration and didn't think the building would be boring. He agreed with Mr. Adams' comments about the stone base and brick and slate roof and said the design was good for an infill building. He said he was glad the floors didn't line up exactly and thought that leaving the panel on the old building could be a good idea. He said he would defer further comment until he saw what the final brick building design looked like. He said he was pleased with the direction the project was going in. Ms. Doering said there was an opportunity for different materials above the stone and below the slate roof other than brick. Mr. Ryan said he had no complaints and looked forward to seeing the details of the ocular windows. He said the building was a little safe and thought an ocular window on each side of the Hanover Street corner could make the building more of a tower feature. He said there were a lot of good changes. Mr. Sauk-Schubert said he concurred with most of the comments, especially Ms. Doering's comment about the use of materials on the first-floor level. He noted that there was wonderful granite in the basement that could possibly be reused. Chairman Lombardi said the applicant was a good listener and had been able to sort out the Commission's divergent comments. He said he would also welcome different materials, noting that brick was beautiful but that there was an opportunity to do something different between the roof and the granite base. He said putting the balconies between the two buildings was a good move. Mr. Adams suggested a metal cornice for the front of the building.

Chairman Lombardi opened the public comment session.

Allison Griffin said she was an abutter and agreed that the building looked nicer, even though she had hoped it would be kept a three-story building. She said Mr. Wilson did great work and that she hoped the building would keep its low-profile top. No one else was present to speak, and Chairman Lombardi closed the public comment.

Mr. Wilson said the balcony relocation was the most effective change made in the two buildings aesthetically, as well as more practical. He further discussed the windows and said he had a simple design for the brick pattern over the windows that he would present at the next meeting. Mr. Sauk-Schubert said the space at the parking lot elevation for the art mural was the weakest part of the façade and suggested that it simply be continued.

DECISION

The applicant indicated that he would return for a work session/public hearing at the June 2, 2021 meeting.

*It was moved, seconded, and **passed** by unanimous vote (7-0) to **close** the work session.*

VII. ADJOURNMENT

The meeting was adjourned at 10:40 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

**MINUTES of the
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NH**

Remote Meeting Via Zoom Conference Call

Per NH RSA 91-A:2, III (b) the Chair has declared the COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2021-06, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

6:30 p.m.

May 12, 2021

MEMBERS PRESENT: Chairman Vincent Lombardi; Vice-Chairman Jon Wyckoff; Members Reagan Ruedig, Margot Doering, Martin Ryan, and David Adams; City Council Representative Paige Trace; Alternates Heinz Sauk-Schubert and Karen Bouffard

MEMBERS EXCUSED: None

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

.....

Chairman Lombardi stated that it was his last meeting as Chairman, and the Commissioners thanked him for his service and wished him well.

I. APPROVAL OF MINUTES

1. April 07, 2021

The April 7, 2021 minutes were **approved** as amended by unanimous vote, 7-0.

II. ADMINISTRATIVE APPROVALS

1. **33 Johnson Court**

Mr. Cracknell stated that the applicant still needed to submit window specifications. The applicant wasn't present to answer questions.

*The item was **postponed** to the June 2 meeting.*

2. **381 Middle Street**

Mr. Cracknell said the request was to replace two windows. The applicant Jim Mulhern was present and described the project in more detail. Vice-Chair Wyckoff noted that the window

specifications showed a full screen. Ms. Ruedig said the window frame and trim should match existing. Mr. Ryan said some existing windows had storms, and it was further discussed.

Stipulation:

1. Both windows shall have half-screens, and
2. The frames, sills, trim, and mullions shall match the existing windows using the Andersen A series windows.

3. 44 Gardner Street

The request was to use PVC for the deck railing and column repairs. The applicant Jay (no last name given) was present and explained that the railing would be wood but the areas that came into contact with the deck or the ground had to be PVC because wood wouldn't hold paint well. Vice-Chair Wyckoff said he would support the project as long that everything looked like it did 20 years ago. Ms. Ruedig said the PVC would look too plastic but that she had no problems with the base underneath the flooring and the lattice work being done in PVC because they were flat and even. The applicant said the project was called Kleer and worked just like wood. He said the PVC would be used under the column and on anything that went down, and everything else would be wood. He said the PVC would be painted. Chairman Lombardi said he had a problem with PVC on that house because it separated and moved differently than wood. City Council Representative Trace said the house was in the heart of the historic south end and that the use of PVC could set a precedent in the neighborhood, and others agreed. Mr. Ryan said there could be a compromise because the house had already been modified and he thought an occasional piece of PVC in an area susceptible to rot would be okay. It was further discussed and agreed that PVC would be fine under the ground the flooring.

Stipulations:

1. The PVC material shall be permitted only for the skirt boards and lattice below the deck and all other components shall be replaced in-kind if necessary; and
2. The kickboards on the steps may be made out of the PVC material.

*Vice-Chair Wyckoff moved to **approve** Administrative Approval Item 2, 381 Middle Street, and Item 3, 44 Gardner Street, with their respective stipulations. Mr. Ryan seconded.*

There was further discussion about the lattice being PVC on Item 3. Chairman Lombardi said it would look terrible, and Mr. Ryan agreed.

*Ms. Ruedig moved to **amend** the stipulation on Item 3 so that the lattice would remain wood but any framing around the lattice could be PVC. The amended stipulations were as follows:*

Amended stipulations:

1. The PVC shall be permitted only for the skirt boards and the lattice shall remain wood but any framing around the lattice could be PVC;
2. everything else shall be replaced in kind if necessary; and
3. The kickboards on the steps shall be made out of the PVC material because they would rot out eventually.

*Mr. Ryan seconded. The motion was **approved** by unanimous vote, 7-0.*

III. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **Stone Creek Realty, LLC, owner**, for property located at **53 Green Street**, wherein permission is requested to allow the demolition of the existing structure and the new construction of a 3-5 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 119 as Lot 2 and lies within the Character District 5 (CD5) and Historic Districts.

WORK SESSION

Project architect Carla Goodnight was present, along with Jeff Johnston and Ron Simmons of Cathartes. Ms. Goodnight reviewed the design elements that incorporated the Commission's comments from the previous work session.

Vice-Chair Wyckoff said he was happy with the improvements and thought the building would sit very proud to someone coming in from the Market Street extension. He asked whether a series of small shops should replace the 4,000-square foot commercial unit that might be vacant for five years. He said Portsmouth needed small spaces and more doors. He said the revised Green Street façade took away from the building's mass and wouldn't be as noticeable. Ms. Ruedig said she was still fine with the massing and the building's general shape and layout but thought the building's design was generic and could be found anywhere in suburbia. She said the white top and the balconies looked like they could be in Miami and that there was nothing about the design that said 'Portsmouth'. She said she didn't see how the white tops and the fenestration spoke to all the brick beneath it and that it was like trying to fit two different building parts together. She said the windows didn't look like they belonged in a Portsmouth residential building. She said some elements, like the white banding and vertical elements, were fine but weren't something she saw working well in the District or downtown. She said the prominent building demanded a really good design.

Mr. Ryan said it was a wonderful building and design. He said the massing was handled very well, noting that it cascaded and had railings everywhere and that people would be on all its different levels, which would make the building more humane. He said the landscaping was a beautiful design and incredibly lush but that he'd like to see some of the paths have more niches and places for people to gather. He said he was surprised that the Green Street façade didn't have a curved top to sort of bookend and carry the forms through the whole complex and was disappointed to see asphalt where there was previously a more pedestrian-friendly concrete paving material. He said it was a very successful building for the north end. Mr. Adams said the lack of unity between the Green Street façade and the other sides of the building was a problem. He said he knew that the part of the building that faced the community would be different but

thought it was too much of a departure from the rest of the building and too stark. He said buildings lost integrity when corners were cut out of them and that he disliked the corner balconies. Mr. Sauk-Schubert said the building would be one of the better ones built in the area. He said he was comfortable with the massing but was concerned about some exterior walls and thought the arch was a drawback.

City Council Representative Trace said she had a problem with the Green Street side being five stories up and not having the same rhythm and language as the other sides, making it look like two different buildings. She thought some of the elements from the North Mill Pond side should be used and also felt that carrying more of the light-colored sense on the fifth floor might help. Ms. Goodnight said some Commissioners had been in favor of Option 2 that had the vertical masonry elements, and others had liked the horizontal lightness with the setbacks, so the design tried to balance that. She said the vertical elements on the Green Street side might be too strong and that she would balance it more. Ms. Doering said two-thirds of the greenery on the balconies would die because the condo owners would do their own thing and that it was hard to imagine how successful or lush the pond façade would turn out. She said she still had concerns about the corporate look of the building and thought it resembled a hospital. She said she echoed some of Ms. Ruedig's concerns and agreed that the Green Street façade was not as well planned out and as aesthetically appealing as the other sides.

Ms. Ruedig clarified her earlier comment about the building not looking like 'Portsmouth'. She said the building was new but its design looked very foreign. She agreed that it did look like a hospital and more like a professional building than a residential one. She said the choice of the white or light-colored walls on top of the brick was a mistake because that was what made the building look so institutional. She said there weren't any other new buildings in Portsmouth that looked like it because they were structured to look like the older buildings in terms of traditional colors. She said the light color wouldn't wear well and would get dirty. Ms. Goodnight said she would consider other color options. Ms. Ruedig said the windows were also a big part of the design and asked if they were operable. Ms. Goodnight said the awnings were. Ms. Ruedig said the windows should be able to open up more to enjoy the fresh air and the views.

Ms. Bouffard said she agreed that the building didn't speak to Portsmouth but she thought it spoke to the north end. She said she liked the addition of the curves but wasn't sure why the building should emulate a cruise ship in that location. She agreed that the plantings on the balconies wouldn't continue to look like they did in the rendering and that the windows gave the building a commercial feeling. Vice-Chair Wyckoff said the windows reminded him of a German-style window and thought they didn't need the little awnings at the bottom and should be able to fully open. He said the Green Street façade had a square shoebox look. He asked why the other sections of the buildings were brick, noting that they could be divided by spandrel panels. He asked why the windows were divided like they were and thought they should all be functioning windows. He said the way the openings were punched it was too regular. He said the rectangle was too regular and that it would be nice to see what the rest of the building behind it looked like without all the arborvitae on the balconies. Mr. Ryan said the light top on the building decreased the massing and that the condominium association would have a covenant to maintain the landscaping. City Council Representative Trace asked if there was a window next to the mural on the garden side. Ms. Goodnight said it was a panel detail but could be a recessed

brick panel as well. Ms. Trace suggested that it could be darker or more artwork. She said a front full view of that side of the building would be helpful and thought the lighter color could be carried all the way around the building or at least a bit more on the front.

Chairman Lombardi said he still thought the Green Street side was too monolithic and that it appeared to be a different building. He agreed that the holes in the corner made the building look weak and that the building could have a curve in that area instead. He said the sharp corners jutting out and going up five stores were jarring to him. He said the white top helped differentiate the floor but would get dirty. He said the windows should look more like residential ones. Mr. Ryan said the building was a mixed multi-story residential and commercial one and not double-hung territory. The white banding at the top of the building was further discussed and several Commissioners agreed that it should be a darker color.

Public Comment

Sue Polidura said there was nothing in the building that stood out to indicate that it was a beautiful one and that she'd like to see something other than a mountain of brick in that area of town. She said she'd also want to be able to open the windows to get the fresh air.

Mr. Cracknell acknowledged a comment letter from a citizen.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **continue** the work session to the June 2 meeting, and Mr. Ryan seconded. The motion **passed** by unanimous vote, 7-0.*

IV. WORK SESSIONS

1. Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

WORK SESSION

Reggie Moreau representing the applicant was present. He reviewed the petition and pointed out that the windows and siding would be vinyl.

Mr. Ryan said he could not support the project because the design was more of a prototype house and didn't have the appropriate materials. He said vinyl siding wasn't approved in the District. He said the street was very historic and thought the house's design should take more cues from the neighborhood instead of having rambling forms and bump-outs. Ms. Ruedig agreed. She said the design should be simplified and that the materials should be wood. Vice-Chair Wyckoff said he wasn't that disappointed with the house's style because it looked like a cottage that had been added onto. He noted that it was on the same street as the historic Jackson House but that it also

backed up against the Route One Bypass, so he understood the desire for vinyl siding. City Council Representative Trace said it looked like there was something mid-18th century hiding in all the added bits and pieces of the house. She said vinyl siding and windows didn't belong in the District. The applicant asked if cement board was okay. Ms. Ruedig said the Commission discouraged the use of cement board on the facades but sometimes allowed it due to fire code ratings. She said it would be fine on the rear of the building but preferred wood on the rest of the house. Vice-Chair Wyckoff suggested cedar or pine with a course reveal of four inches. The use of materials was further discussed. Ms. Doering suggested that the applicant consider a few other buildings on the street that all fit on narrow lots. Mr. Sauk-Schubert said the original structure should still be evident.

There was no public comment.

DECISION OF THE COMMISSION

*Vice-Chair Wyckoff moved to **continue** the work session to the June 2 meeting, and Ms. Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

2. Work Session requested by **Susan Alex Living Trust, Susan Alex Trustee, owner**, for property located at **50 Mt. Vernon Street**, wherein permission is requested to allow new construction to an existing structure (construct 2nd floor dormers) as per plans on file in the Planning Department. Said property is shown on Assessor Map as Lot and lies within the General Residence B (GRB) and Historic Districts.

Ms. Bouffard recused herself from the work session.

WORK SESSION

Contractor Matt Beebe was present on behalf of the applicant. He reviewed the petition and said the double dormer detail would increase headroom and make the garage's second floor more livable. He said the garage would have wood siding and SDL windows.

Mr. Adams said it was a common way of expanding to get the needed footage. He said he didn't think the garage would have a negative impact because it was backed up against a commercial property and at the end of a small street. He said the trim and siding were acceptable. Mr. Ryan agreed, noting that the structure was simple and not old. He suggested bring the shed roof of the dormer down a few feet. He said the roof pitches meeting at the ridge was unsuccessful and made it look like a heavy saddle on top of the garage. Mr. Adams said the structure could be lightened by pulling the ridges down. Ms. Ruedig said it was fine because it was hidden and very few people would see it. Mr. Sauk-Schubert said the dormer's eave line would disappear when someone approached the front of the garage. He said if the shed room were lowered, the exterior wall might have to be raised to keep the same square footage on the second floor.

Public Comment

Cyrus Beer of 64 Mt. Vernon Street said he was the next-door abutter and supported the project.

DECISION

The applicant said he would return for a public hearing at the June 2 meeting.

3. Work Session requested by **Dagny Taggart, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (renovations of existing building) and new construction to an existing structure (construct 3-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts.

WORK SESSION

Project architect Chris Lizotte was present on behalf of the applicant. He reviewed the project and the site's history and said they wanted to modernize the existing building. H said the concrete block addition and stairway would be removed. He discussed the massing and said the glass entry location would bridge the old and new buildings.

Vice-Chair Wyckoff said the Commission's first priority on a project of that size was the massing and how it fit in the neighborhood. He said he was disappointed on how close the new building was to the stone wall and how the length of the massing overpowered the existing historic home. City Council Representative Trace asked if the stone wall would be removed and reincorporated into the foundation of the new building. Mr. Lizotte agreed and said they intended to use as much of it as they could. Ms. Ruedig said she commended the applicant for wanting to add affordable housing to Portsmouth but thought the massing was too big for the location and much too close to the street. She said the huge wall and building were out of place for the rest of the street because there were very historic 2-1/2 story buildings on either side. She said it was a key location in the District as well as one of the most beautiful streets in the District. She said the wall itself was from the late 1700s and shouldn't be removed.

Mr. Ryan said the new buildings were too massive and ornate and should step away from the street. He said the design was insensitive and that using the stone as a cladding was something that would be seen in the north end. He said the glass connector piece was an awful design. He said the architect should start the project over. Mr. Sauk-Schubert agreed that the design was insensitive to the neighborhood. Mr. Adams asked why Mr. Ryan thought the building was too ornate. Mr. Ryan said it made gestures that were inappropriate for being placed up against the existing historic and stately building. He said the new building's identity was too strong up against the context of the neighborhood and the historic building. Mr. Adams thought the problem with the windows on the new building might be the heaviness above the ornamental dormers, but he particularly had trouble with the wall tension. He said he could understand why the connection was like a hanging glass curtain and was set back but that he had never seen one like it be successful. Ms. Bouffard said the new building detracted from the main house and overshadowed the Leighton and Langdon houses and that the wall should not be dismantled.

City Council Representative Trace said she was surprised at the design because it was like a large lump wagging the dog. She said the Treadwell House was a beautiful structure and very

representative of the historic downtown, but the new building behind it had too much mass, was right up against the street, and had too many busy elements trying to make it something that it couldn't be. She said the new building was architecturally inappropriate for the location and thought that pretending to use the stone wall for the foundation was also inappropriate. Ms. Doering said she agreed with all the comments and thought that documentary proof of the wall's history would be helpful. She said one of the challenges of the new building was its insides, and in order to make the micro-units affordable, it forced an outside that was very uniform and long and didn't fit in with the character of Court Street. She said she liked the idea of having a linkage between the two buildings but didn't think it had to be glass, seeing that there were other interesting bridging materials to consider. She said people would own cars whether they had a parking space or not and thought the developer could figure out some kind of car share, otherwise the cars would end up on the street or nearby parking lots and cause tension.

Ms. Ruedig said whatever went in the lot behind the historic house had to be a lot smaller than the proposed massing, and the linking between the buildings had to refer to the historic house. She said the proposed design should be more contemporary yet still be referential to the historic house. Chairman Lombardi said he agreed with all the comments and was concerned for the wall, the street, and the historic mansion. Mr. Ryan said the project just needed to be more understated and more sensitive to the site, and he suggested some landscaping between the wall and the new building.

Public Comment

Sue Polidura said she found evidence that the wall was built around 1707. She said the stone wall was commissioned because the house was a place of refuge. She said restrictions should be placed on any digging in the garden area or parking lot that might reveal artifacts.

Richard Nylander said he was a preservationist. He said the new building overwhelmed the site and wasn't sympathetic to any of the buildings on Pleasant and Court Streets. He said the massing was a big problem, but what disturbed him the most was that the wall would be completely destroyed. He said he looked forward to seeing a different proposal.

Andrew Bagley of 40 Chauncey Street said he didn't like the connecting part or the enormous amount of glass on the three windows going from ground to ceiling. He said Portsmouth needed affordable housing and he didn't see how the project would work if the massing was reduced.

Terrence Parker said he was the seventh great-grandson of the original builder and was also the author of the site's history. He read a summary of it into the record, noting that the historic house was built in the late 1690s and was a prominent and historic meeting place for several years that also housed other prominent residents and guests. He said a detailed excavation should be overseen by a qualified independent observer to ensure that applicable laws were observed.

No one else was present to speak, and Chairman Lombardi closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **continue** the work session to the June 2 meeting, and Ms. Ruedig seconded. The motion passed by unanimous vote, 7-0.*

4. Work Session requested by **Neal Pleasant Street Properties, owner**, for property located at **420 Pleasant Street**, wherein permission is requested to allow the removal of the rear entry of the structure and new construction to an existing structure (reconstruct rear addition with roof deck, add 3-story stair enclosure, and new rear entry porch) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 56 and lies within the General Residence B (GRB) and Historic Districts.

WORK SESSION

Project architect Jeremiah Johnson and the owner Charles Neal were present. Mr. Johnson reviewed the petition, noting that some interior units would be removed and others renovated, and that the upgrades would be made for life safety improvements.

Ms. Ruedig said she had no problem with the massing but asked what areas of the existing house would be demolished for the addition and infill. Mr. Johnson said the rear entry to the first floor would be removed and the stairway would extend further out into the courtyard. In response to further questions, Mr. Johnson said the wing on the upper part of the floor plan wouldn't change and the rest of the existing footprint would remain. He said the rear on the ell side would slide to the right and would be rebuilt. Mr. Ryan said the massing looked fine and thought the back of the house was considerate. Mr. Adams said the current shed extension ell on the back was a 2-story hip roof structure that would be torn down and reconstructed, but the massing sketch didn't seem to have a roof. Mr. Johnson said it would be a roof deck. Mr. Adams said it appeared that the stairwell had a flat roof. Mr. Johnson agreed but said it was slightly pitched and explained that the top floor had a low ceiling height, so reconstructing a new space had to meet the ceiling height codes. He said breaking the eave line was an unfortunate result of adding the stairway. Mr. Adams said the desired height could be achieved by constructing the roof differently and that it would be a reasonable connection to the eave line of the existing building. City Council Representative Trace said she agreed with Mr. Adams. She asked how much of the rooftop deck intruded into the surrounding properties. Mr. Johnson said it wouldn't intrude because of the property buffer and that the deck would be occupied by only one tenant.

Vice-Chair Wyckoff said it was a good thing to reduce the number of units because it was a dangerous building for five units. He said the exterior staircase was way beyond its life, and he had no problem with the massing because it was all on the back of the structure and the original ell shape of the structure was still visible. He said he was happy with the project. Mr. Sauk-Schubert suggested reversing the stairway to lower the headroom at the rear of the structure.

DECISION OF THE COMMISSION

*City Council Representative Trace moved to **continue** the work session to the June 2 meeting, and Ms. Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

5. Work Session requested by **Strawbery Banke, Inc., owner**, for property located at **0 Washington Street (Strawbery Banke)**, wherein permission is requested to allow renovations to an existing structure (foundation, clapboards, window and door repairs) and new construction to an existing structure (create new front porch) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 8 and lies within the Mixed Research Office (MRO) and Historic Districts.

City Council Representative Trace recused herself from the work session.

WORK SESSION

Rodney Rowland, Director of Facilities and Environmental Sustainability for Strawbery Banke Museum, was present. He reviewed the petition and gave a brief history of the site. He said the building would be newly interpreted and that there wouldn't be much change to it except for the back, where some missing elements would be restored.

Ms. Doering said the left-hand door in the historic photo looked like an old wooden storm door. Mr. Rowland said the original back doors had storms but that the new ones would not. Ms. Ruedig said the design worked for the time period that was trying to be interpreted. Mr. Ryan asked if the house originally had a wooden shake shingle roof. Mr. Rowland said it did but that it wouldn't be appropriate for the time period being interpreted. Vice-Chair Wyckoff asked if the Victorian posts on the back porch would be copied, and Mr. Rowland said they would.

There was no public comment.

DECISION

The applicant said he would return for a public hearing at the June 2 meeting.

V. ADJOURNMENT

The meeting was adjourned at 10:20 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

June 02, 2021

1. 379 New Castle Avenue (LUHD-341) - Recommended Approval
2. 33 Johnson Court (LUHD-330) - Recommended Approval
3. 14 Mechanic Street (LUHD-338) - Recommended Approval
4. 254 South Street (LUHD-305) - Recommended Approval
5. 241 South Street (LUHD-344) - Recommended Approval
6. 205 Market Street (LUHD-342) - Recommended Approval
7. 100 Market Street (LUHD-345) - Recommended Approval
8. 66 Marcy Street (LUHD-346) - Recommended Approval

1. 379 New Castle Avenue - Recommended Approval

Background: The applicant is seeking approval for the construction of a small roof with support brackets over the front door, to replace garage window and doors, and relocate heat pump to the rear of the garage with a fence on street side.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

05/25/2021

LUHD-341

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: May 14, 2021

Applicant

Anne Whitney
archwhit@aol.com
9 Sheafe St
Portsmouth, NH 03801
603-427-2832

Location

379 NEW CASTLE AVE
Portsmouth, NH 03801

Owner:

PETERS TODD & PETERS JAN
379 NEW CASTLE AVE PORTSMOUTH, NH
03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

As part of LU-20-56:

- Add roof supported by brackets to Front Door Surround.
- At Existing Garage, replace windows & doors
- Locate heat pump at Rear of Garage with fence at street side

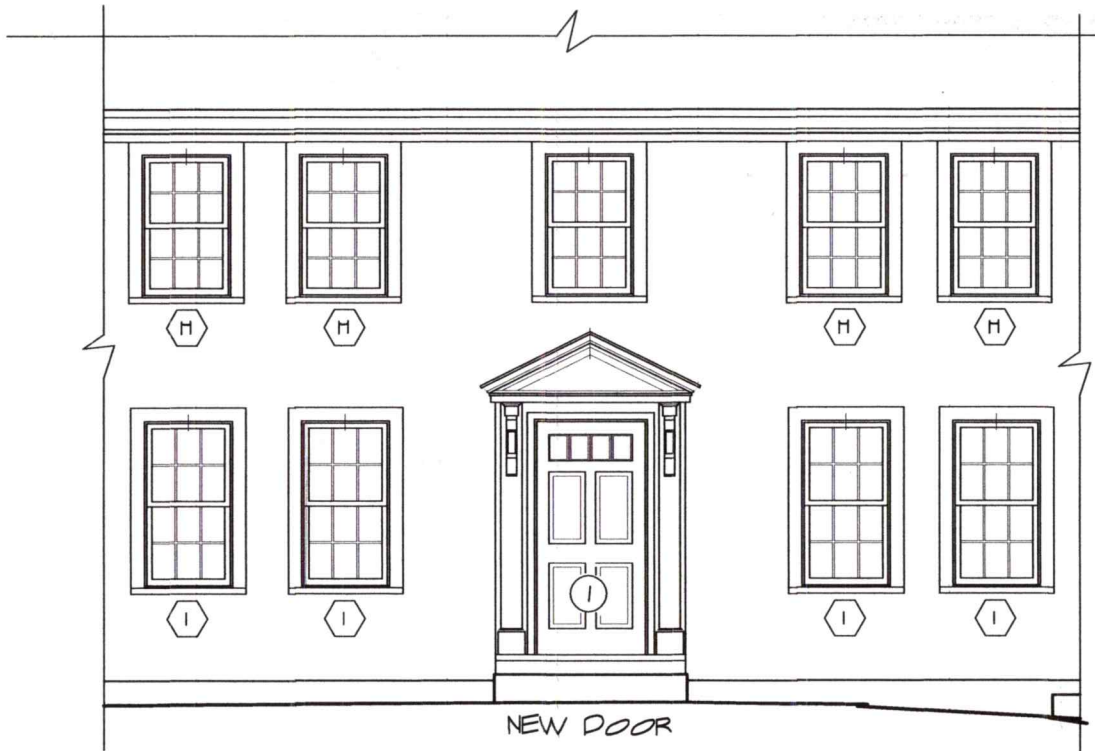
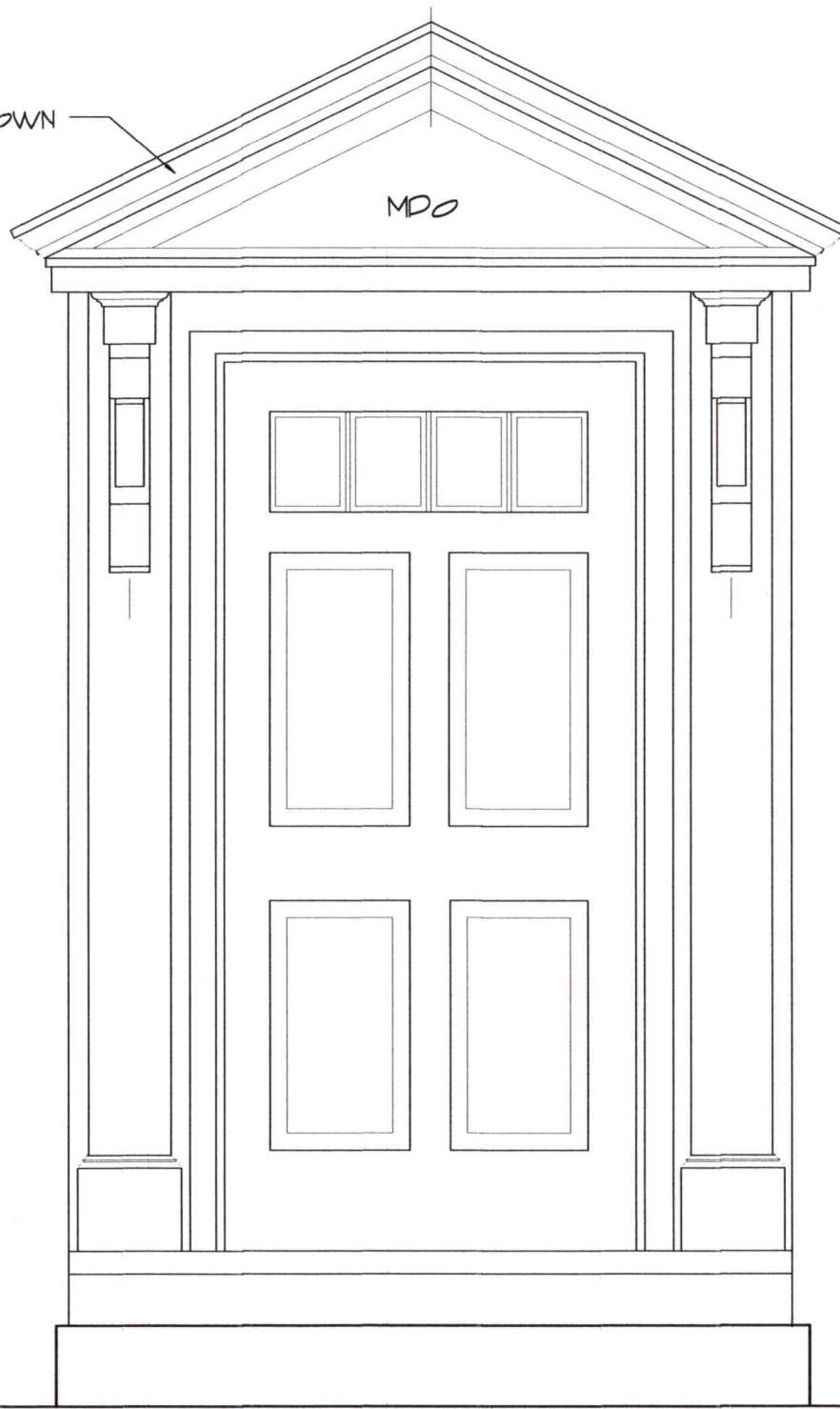
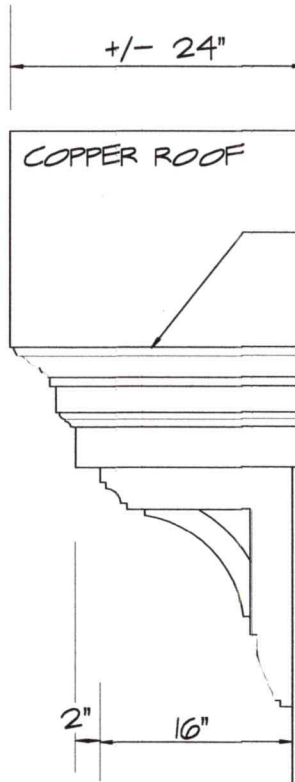
Description of Proposed Work (Planning Staff)

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.





⊙ EAST ENTRY ELEVATION
SCALE : 3/16" = 1'-0"



PAINTED CEDAR BRACKET 16" X 20"
PROWOOD MARKET #10T5

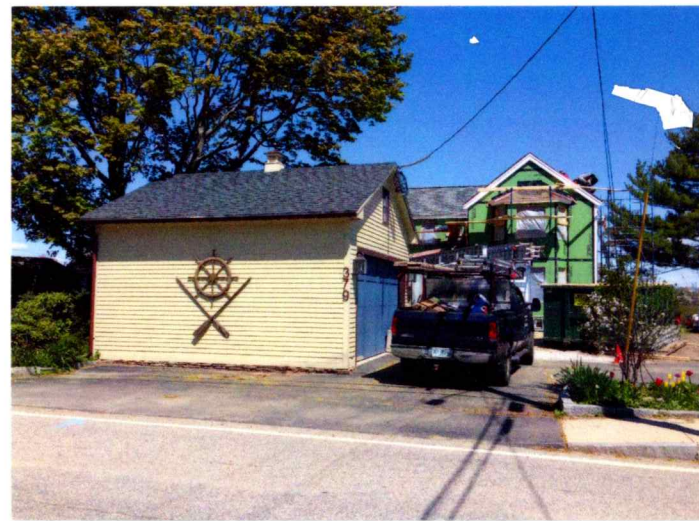
7 1/4" BASE
WITH BED MOLD

⊙ ENTRY SURROUND WITH ROOF
SCALE : 3/4" = 1'-0"

ENTRY DOOR SURROUND CHANGE RENOVATIONS, PETERS RESIDENCE 379 NEW CASTLE AVE.	9 Sheafe Street Portsmouth NH 03801 603-427-2832 ANNE WHITNEY ARCHITECT	Project:	•1910	Date:	5/14/21
		Revisions:			
					1 OF 2



VIEW OF REAR WALL



GARAGE FROM STREET



GARAGE FRONT

- NEW GABLE WINDOW IN EXIST OPENING
MARVIN ELEVATE, ELCAP 2531, STONE WHITE
RO = 25" X 31 5/8"
- NEW GARAGE DOOR IN EXIST OPENING
GENERAL DOOR CORP., CAMBRIDGE SERIES
12 LITE & 4 PANEL, INSULATED DOOR WITH
COMPOSITE OVERLAY PAINTED, 16' WIDE X 8' HIGH



HEAT PUMP LOCATION



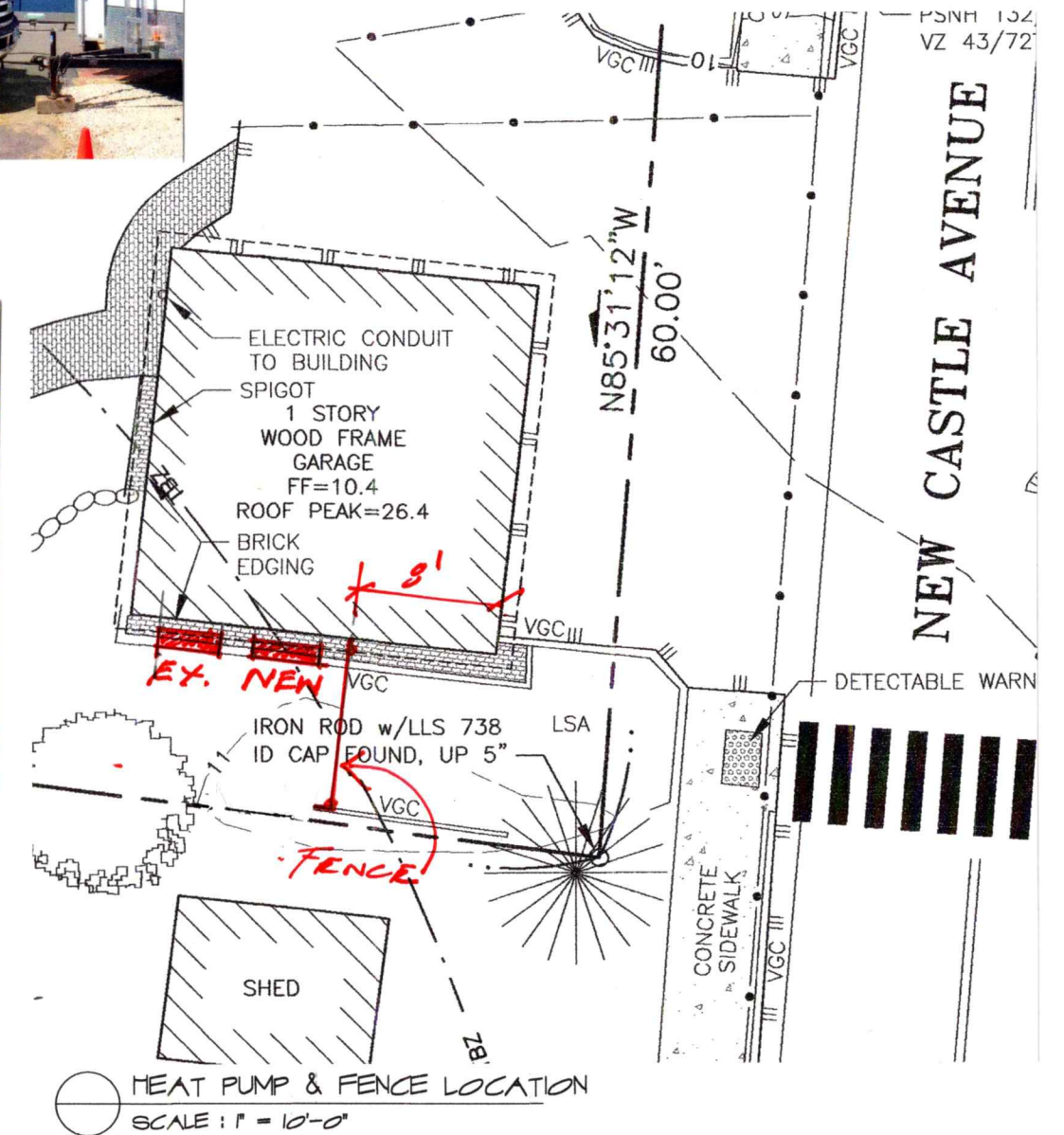
- NEW D-HUNG WINDOW IN EXIST OPENING, MARVIN ELEVATE, ELDH 2644, STONE WHITE
RO = 26 1/2" X 44 1/4"



DOOR TO BE REPLACE



FENCE STYLE

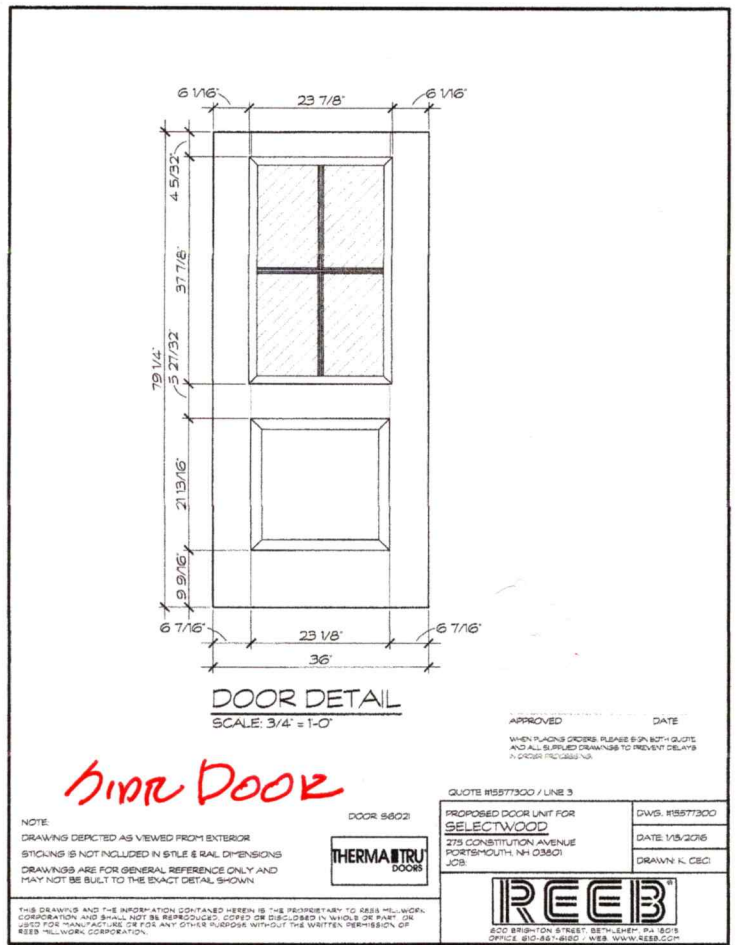


9 Sheafe Street Portsmouth NH 03801 603-427-2832	Project: 1910	Date: 5/14/21
	Revisions:	2 OF 2
ANNE WHITNEY ARCHITECT		
EXIST GARAGE & HEAT PUMP LOCATION RENOVATIONS, PETERS RESIDENCE 379 NEW CASTLE AVE. PORTSMOUTH, NH		

MARVIN ELEVATE™ COLLECTION
DOUBLE HUNG

MO (mm)	1-10 (559)	2-2 (660)	2-6 (762)
RO (mm)	1-10 1/2 (572)	2-2 1/2 (673)	2-6 1/2 (775)
FS (mm)	1-9 1/2 (546)	2-1 1/2 (648)	2-5 1/2 (749)
DLO (mm)	1-3 11/16 (398)	1-7 11/16 (500)	1-11 11/16 (602)
3-0 (814)			
3-0 1/4 (921)	ELDH2236	ELDH2636	ELDH3036
3-4 (1016)			
3-4 1/4 (1022)	ELDH2240	ELDH2640	ELDH3040
3-8 (1176)			
3-8 1/4 (1124)	ELDH2244	ELDH2644	ELDH3044
4-0 (1219)			
4-0 1/4 (1226)	ELDH2248	ELDH2648	ELDH3048
4-4 (1321)			
4-4 1/4 (1327)	ELDH2252	ELDH2652	ELDH3052
4-3 3/4 (1314)			
1-9 11/16 (551)			

SIDE WINDOW



Side Door

APPROVED _____ DATE _____
WHEN PLACING ORDERS, PLEASE SIGN BOTH QUOTE AND ALL SIGNED DRAWINGS TO PREVENT DELAYS AND COST INCREASES.

QUOTE #5577300 / LINE 3
PROPOSED DOOR UNIT FOR SELECTWOOD
275 CONSTITUTION AVENUE
PORTSMOUTH, NH 03501
JOB: _____
DRAWN: K. CEC

DOOR 84021
THERMA TRU DOORS

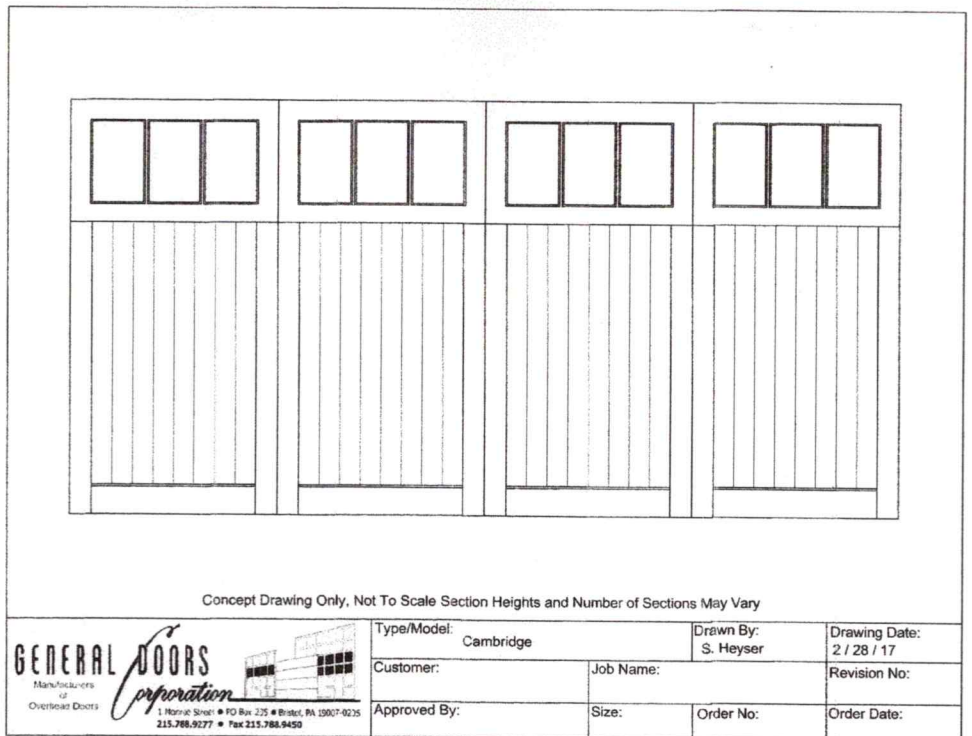
DWS: #5577300
DATE: 1/8/2016

REEB
800 BRISTOL STREET, BETHLEHEM, PA 18015
OFFICE: 610.887.6800 - WEB: WWW.REEB.COM

CASEMENT PICTURE

MO (mm)	1-4 1/2 (419)	1-8 1/2 (521)	2-0 1/2 (622)
RO (mm)	1-5 (432)	1-9 (533)	2-1 (635)
FS (mm)	1-4 (406)	1-8 (508)	2-0 (610)
DLO (mm)	0-10 25/32 (274)	1-2 25/32 (376)	1-6 25/32 (477)
1-7 3/8 (492)			
1-7 3/8 (492)	ELCAP1719	ELCAP2119	ELCAP2519
1-11 3/8 (594)			
1-11 3/8 (594)	ELCAP1723	ELCAP2123	ELCAP2523
2-3 3/8 (695)			
2-3 3/8 (695)	ELCAP1727	ELCAP2127	ELCAP2527
2-7 5/8 (803)			
2-7 5/8 (803)	ELCAP1731	ELCAP2131	ELCAP2531
2-7 1/8 (791)			
2-1 29/32 (668)			

GARAGE WINDOW



Concept Drawing Only, Not To Scale Section Heights and Number of Sections May Vary

GENERAL DOORS
Manufacturers of Overhead Doors
1 Monro Street • PO Box 225 • Bristol, PA 19007-0225
215.788.9277 • Fax 215.788.9450

Type/Model: Cambridge
Customer: _____
Approved By: _____

Drawn By: S. Heyser
Job Name: _____
Size: _____

Drawing Date: 2/28/17
Revision No: _____
Order No: _____
Order Date: _____

- NEW GARAGE DOOR IN EXIST OPENING
GENERAL DOOR CORP., CAMBRIDGE SERIES
12 LITE & 4 PANEL, INSULATED DOOR WITH
COMPOSITE OVERLAY PAINTED, 16' WIDE X 8' HIGH

5/13/21

379 NEW CASTLE AVE.

2. 33 Johnson Court - Recommended Approval

Background: The applicant is seeking approval for the replacement of an existing kitchen window with a new larger window.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

05/25/2021

LUHD-330

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Apr 23, 2021

Applicant

Justin Heald
kimberlee@healdbuilders.com
120 Ham Road
Barrington, NH 03825
603-664-5040

Location

33 JOHNSON CT
Portsmouth, NH 03801

Owner:

MORALES FAMILY 2020 TRUST & MORALES
ALBERT R & KRISTIN M TTEES
33 JOHNSON CT PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

We will be completing a kitchen remodel on this property and we plan to change out the kitchen window to a larger unit. We would like to obtain any permissions necessary to complete the work in this historic district home. Work is expected to begin September of this year.

Description of Proposed Work (Planning Staff)

the replacement of an existing kitchen window with a new window of a larger size

Project Representatives

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

Al and Kristin Morales -- 33 Johnson Court, Portsmouth NH 03801

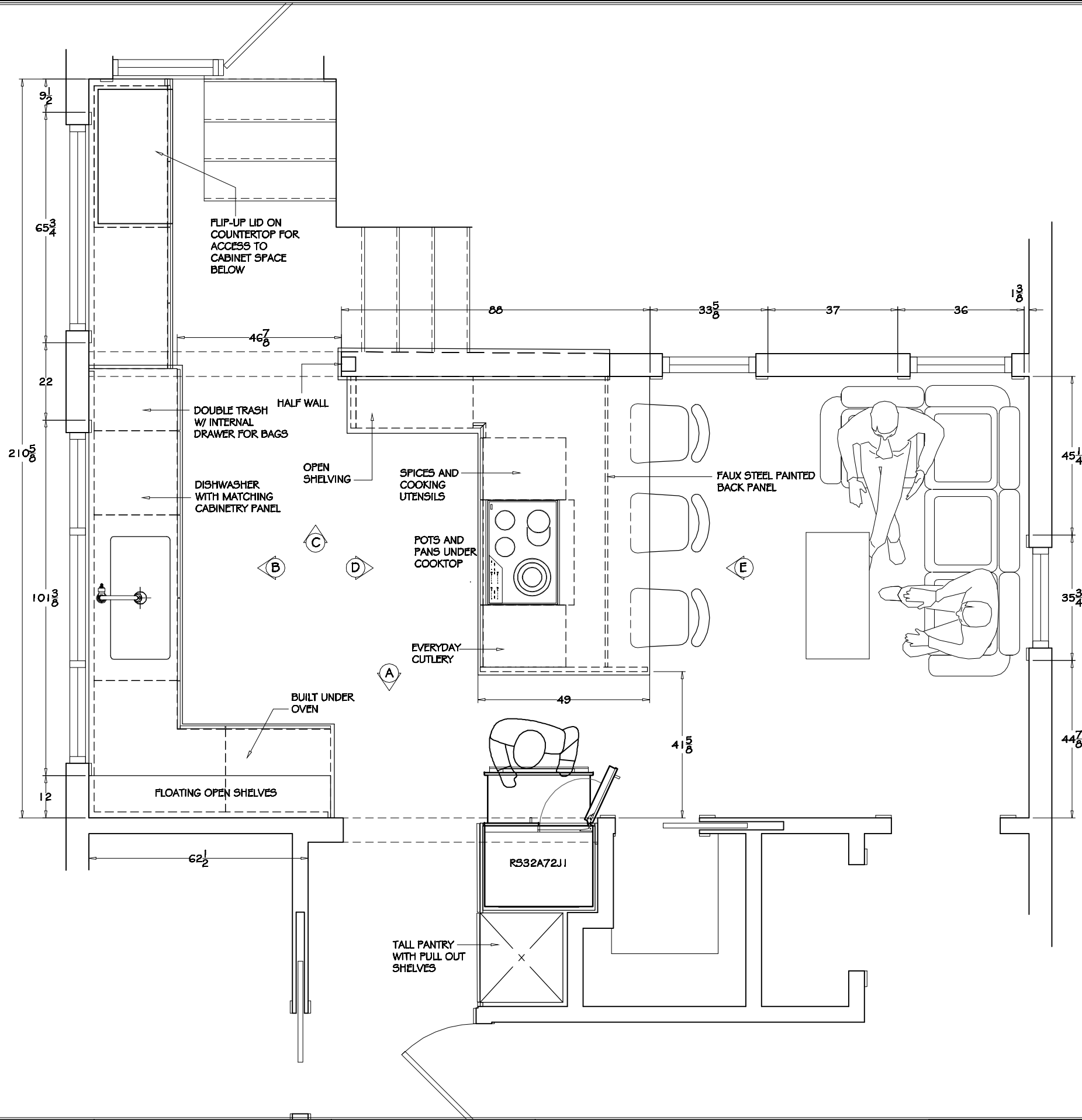
kmillermorales@gmail.com; albert.raul.morales@gmail.com -- 603-867-0721 – Kristin’s cell

Background info about the house

Original portion of house from 1920s. Garage, room above garage (“Rec room”) and bump-outs added ~2000. Gas heat. Forced hot air in main portion of home; radiant in rec room and space next to it (landing at top of garage stairs). Central air in main portion of house. Located in the Portsmouth Historic District. House is within 15 feet or so of the water (South Mill Pond). Basement is easily accessible. We are working with Mari Woods.

Kitchen renovation – principal items

- Peninsula
 - Remove existing
 - Build new attached to the wall adjoining garage stairs
 - New countertop, new cabinets
 - Will have range or cooktop/stove
- Remove door to pantry and replace with a pocket door
- Relocate refrigerator into wall space next to current peninsula
 - Will be integrated, with panels matching cabinets
 - Can fit 36” fridge, or need to stick with 33”?
 - Would like to understand if can easily open up the doorway into the powder room hallway
- Counter/wall with sink:
 - Remove cabinets
 - Add one more window; increase all to the next size up (or can just do a big single window all the way across? Note we’re in historic district)
 - New countertop; new cabinets underneath
 - Wall on left will just have floating shelves
 - Plan to keep existing dishwasher
- Landing
 - Replace banister with new
 - Install built-in storage unit next to stairs up to rec room
- Wall/doors separating landing/stairs from kitchen:
 - Remove sliding doors and open up the wall as much as possible (within reason). We’d like to understand what architectural/engineering limitations exist.
- Floors
 - Replace the pergo floors that are currently in the kitchen, landing, garage stairs and rec room with new wood floors. (note that there is radiant heat in the landing and rec room)
 - Refinish existing wood floors in remainder of the ground floor to match new floors.
 - Floors in living room are sloping/uneven. We’d like to understand what can be done to improve (within reason). Also, thresholds between room are bulky. Can streamline?
- Lighting: pendants over island; replace recessed cans with smaller; replace light over table



ALL DIMENSIONS AND SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITIONS

MARIWOODS
KITCHEN • BATH • HOME

DESIGNED FOR:
MORALES KITCHEN
33 JOHNSON COURT
PORTSMOUTH, NH 03801

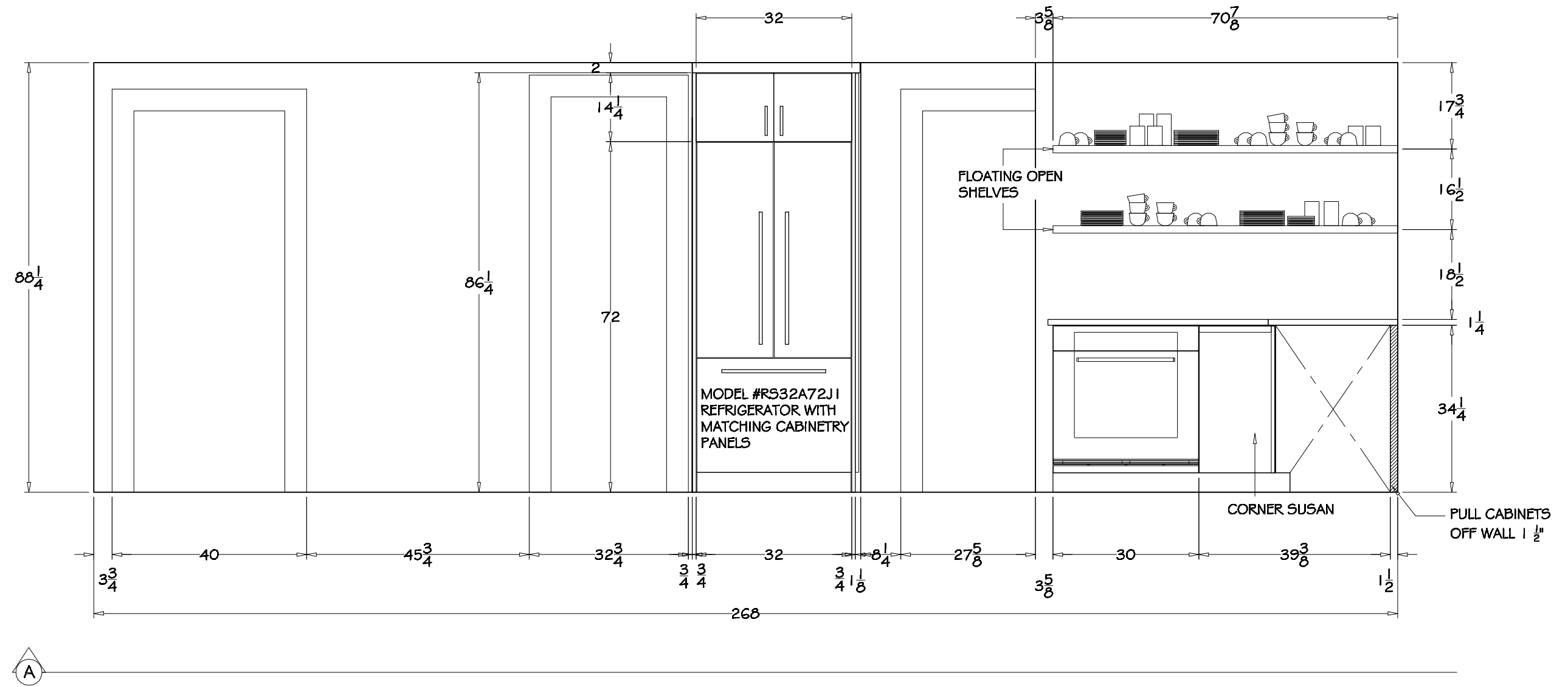
DESIGNED BY:
MARI WOODS
SCALE:
3/8" = 1'-0"

APPROVED BY:
DATE:

DESIGN PLANS ARE PROVIDED FOR THE FAIR USE BY THE CLIENT OR HIS/HER AGENT IN COMPLETING THE PROJECT AS LISTED WITHIN THIS CONTRACT. DESIGN PLANS REMAIN THE PROPERTY OF THIS FIRM AND CAN NOT BE USED OR REUSED WITHOUT PERMISSION.

	DATE	BY
DRAWN	09.24.20	MFW
REVISED	11.04.20	MFW

PAGE#
1 OF 7



ALL DIMENSIONS AND SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITIONS

MARIWOODS
KITCHEN • BATH • HOME

DESIGNED FOR:
MORALES KITCHEN
33 JOHNSON COURT
PORTSMOUTH, NH 03801

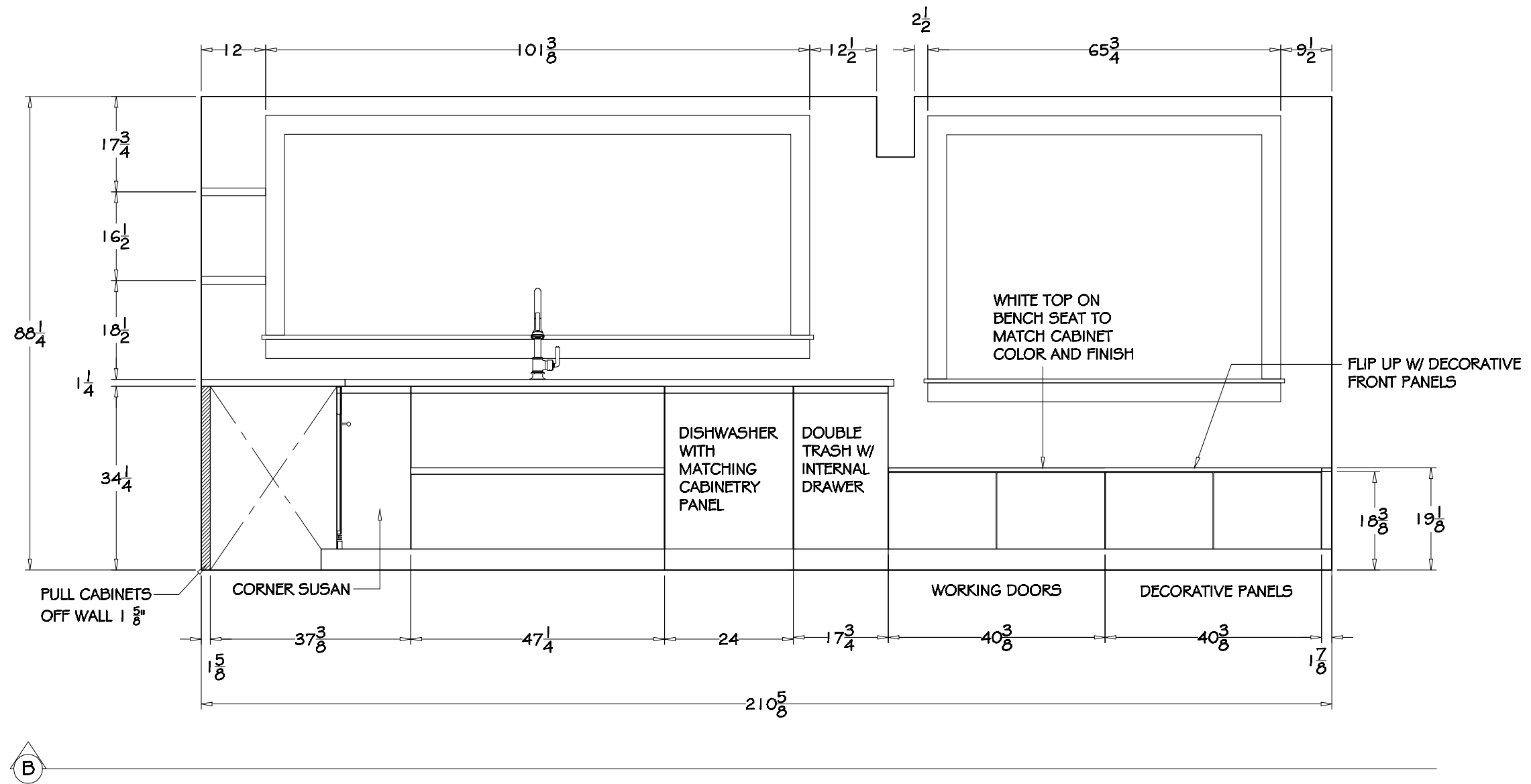
DESIGNED BY:
MARI WOODS
SCALE:
1/2" = 1'-0"

APPROVED BY:
DATE:

DESIGN PLANS ARE PROVIDED FOR THE FAIR USE BY THE CLIENT OR HIS/HER AGENT IN COMPLETING THE PROJECT AS LISTED WITHIN THIS CONTRACT. DESIGN PLANS REMAIN THE PROPERTY OF THIS FIRM AND CAN NOT BE USED OR REUSED WITHOUT PERMISSION.

	DATE	BY
DRAWN	09.24.20	MFW
REVISED	11.04.20	MFW

PAGE#
2 OF 7



B

ALL DIMENSIONS AND SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITIONS

MARIWOODS
KITCHEN • BATH • HOME

DESIGNED FOR:
MORALES KITCHEN
33 JOHNSON COURT
PORTSMOUTH, NH 03801

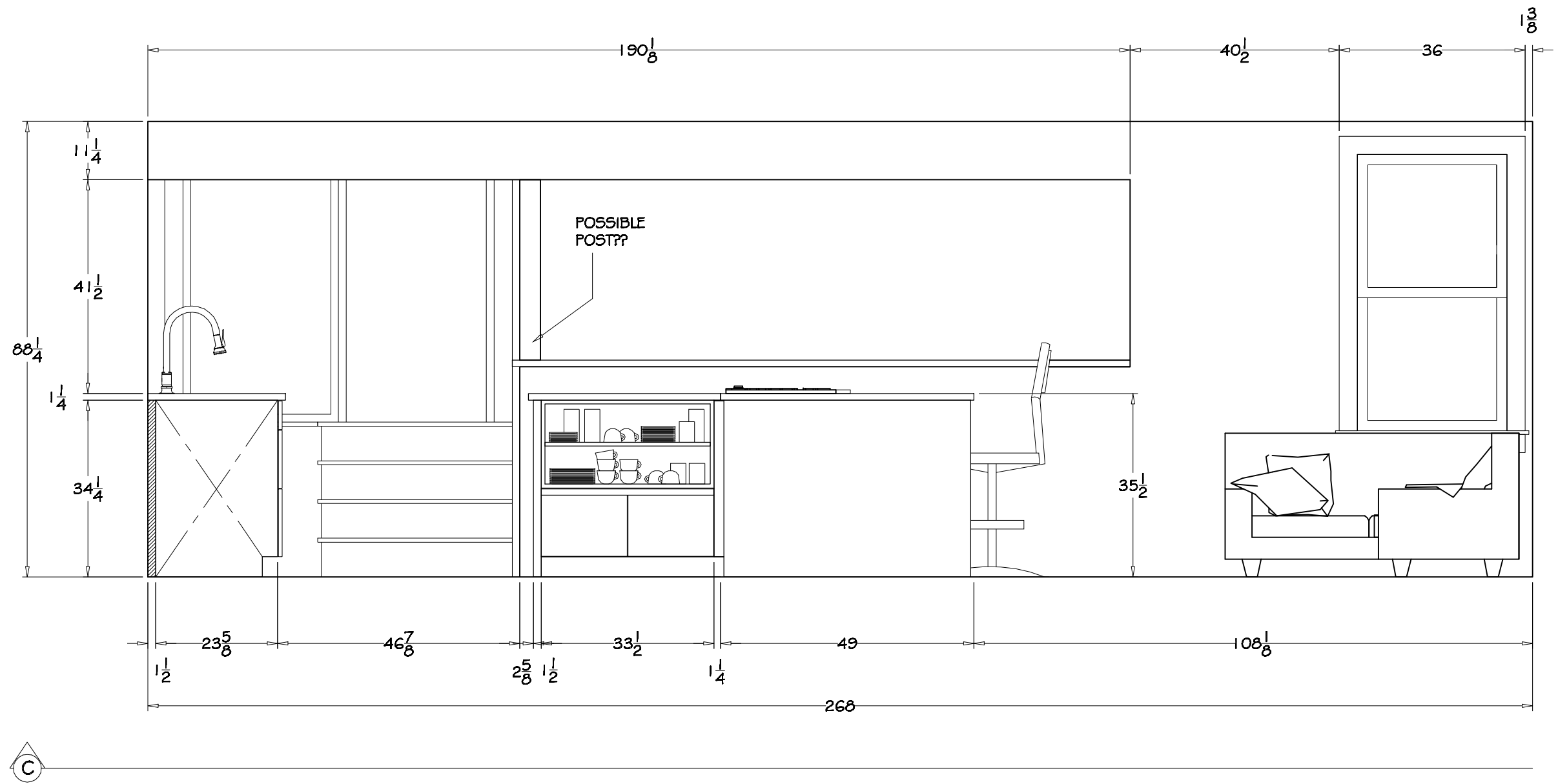
DESIGNED BY:
MARI WOODS
SCALE:
1/2" = 1'-0"

APPROVED BY:
DATE:

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	DATE	BY
DRAWN	09.24.20	MFW
REVISED	11.04.20	MFW

PAGE#
3 OF 7



ALL DIMENSIONS AND SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITIONS

MARIWOODS
KITCHEN • BATH • HOME

DESIGNED FOR:
MORALES KITCHEN
33 JOHNSON COURT
PORTSMOUTH, NH 03801

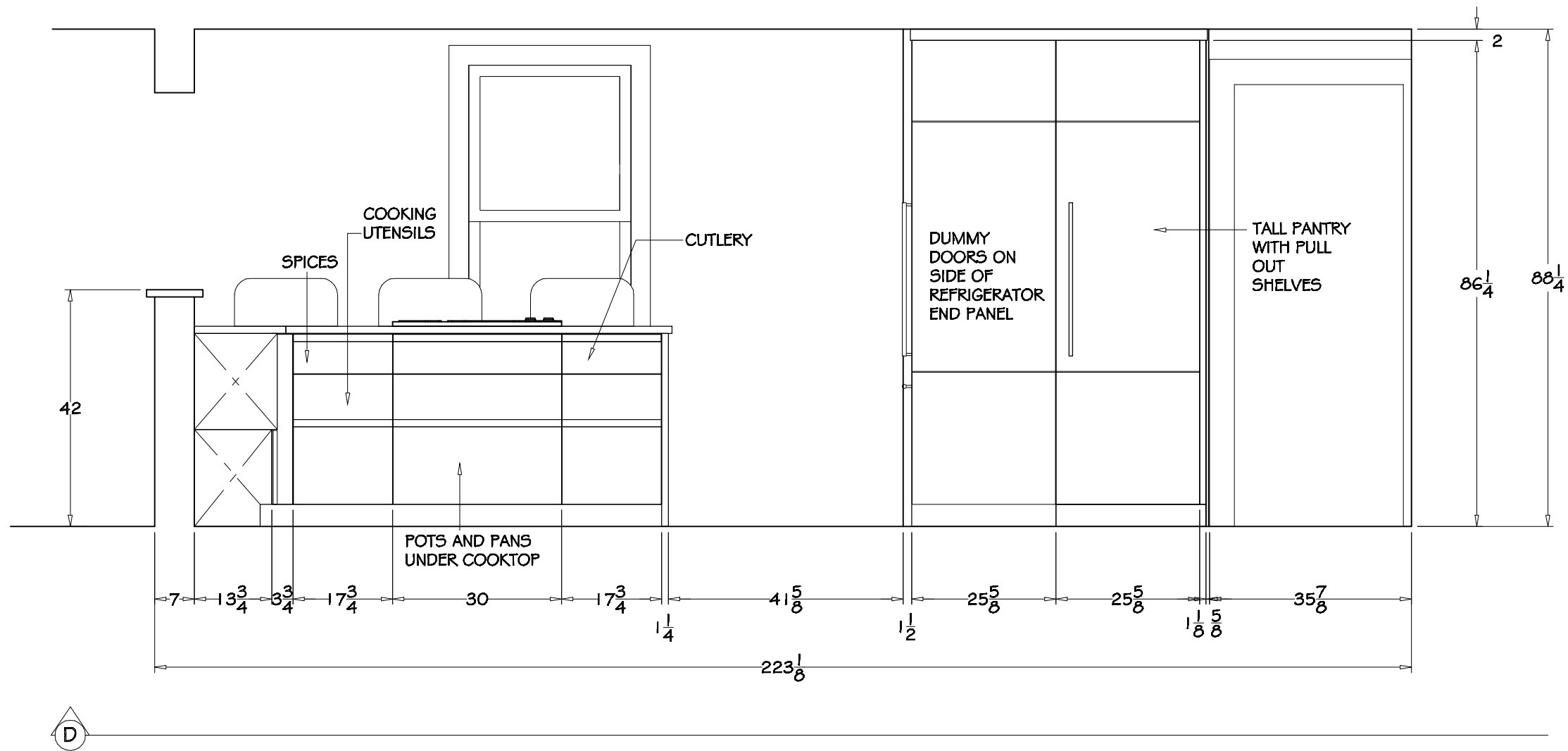
DESIGNED BY:
MARI WOODS
SCALE:
 $\frac{1}{2}" = 1'-0"$

APPROVED BY:
DATE:

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	DATE	BY
DRAWN	09.24.20	MFW
REVISED	11.04.20	MFW

PAGE#
4 OF 7



ALL DIMENSIONS AND SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITIONS

MARIWOODS
KITCHEN • BATH • HOME

DESIGNED FOR:
MORALES KITCHEN
33 JOHNSON COURT
PORTSMOUTH, NH 03801

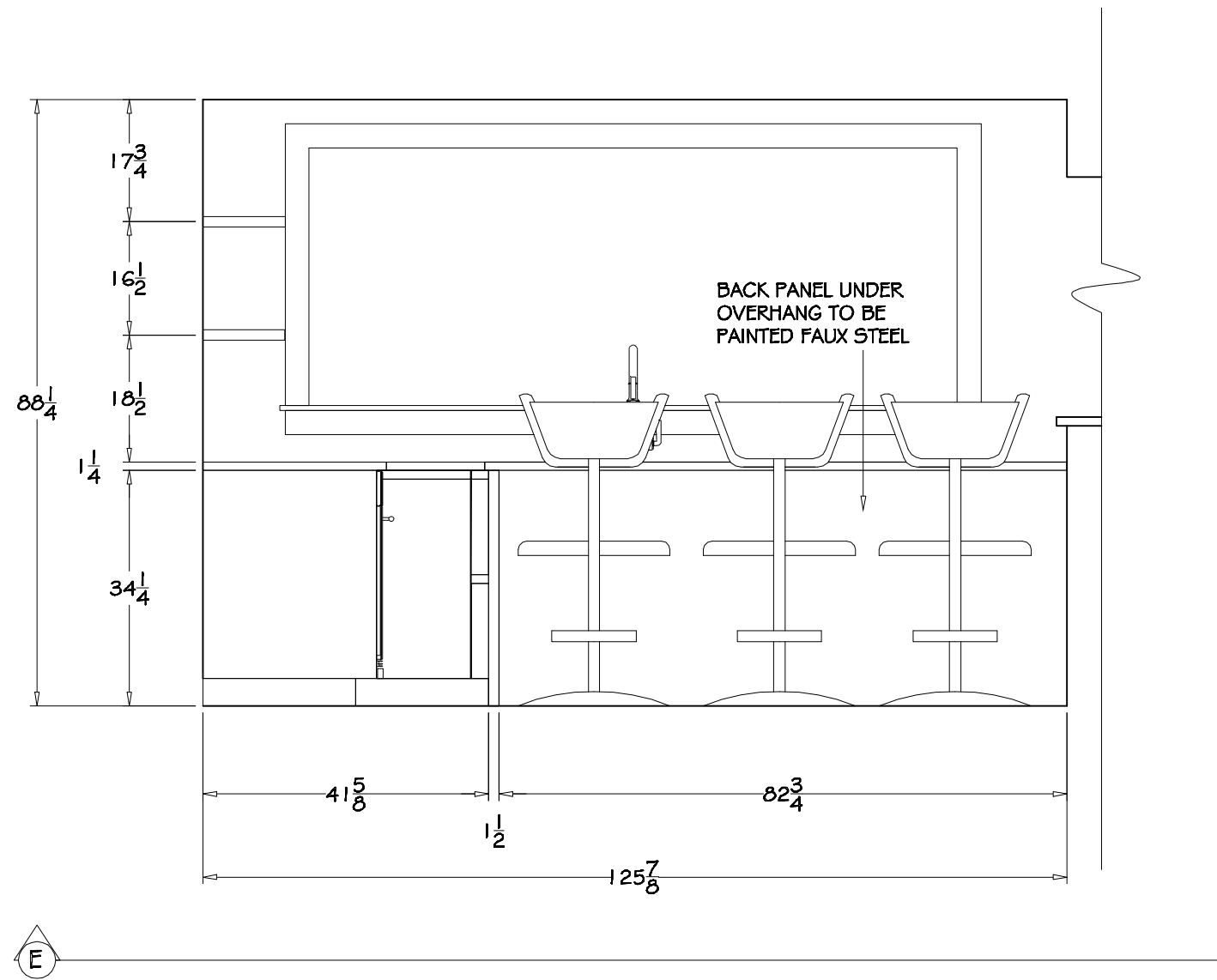
DESIGNED BY:
MARI WOODS
SCALE: 1/2" = 1'-0"

APPROVED BY:
DATE:

DESIGN PLANS ARE PROVIDED FOR THE FAIR USE BY THE CLIENT OR HIS/HER AGENT IN COMPLETING THE PROJECT AS LISTED WITHIN THIS CONTRACT. DESIGN PLANS REMAIN THE PROPERTY OF THIS FIRM AND CAN NOT BE USED OR REUSED WITHOUT PERMISSION.

	DATE	BY
DRAWN	09.24.20	MFW
REVISED	11.04.20	MFW

PAGE#
6 OF 7



ALL DIMENSIONS AND SIZE DESIGNATIONS GIVEN ARE SUBJECT TO VERIFICATION ON JOB SITE AND ADJUSTMENT TO FIT JOB CONDITIONS

MARIWOODS
KITCHEN • BATH • HOME

DESIGNED FOR:
MORALES KITCHEN
33 JOHNSON COURT
PORTSMOUTH, NH 03801

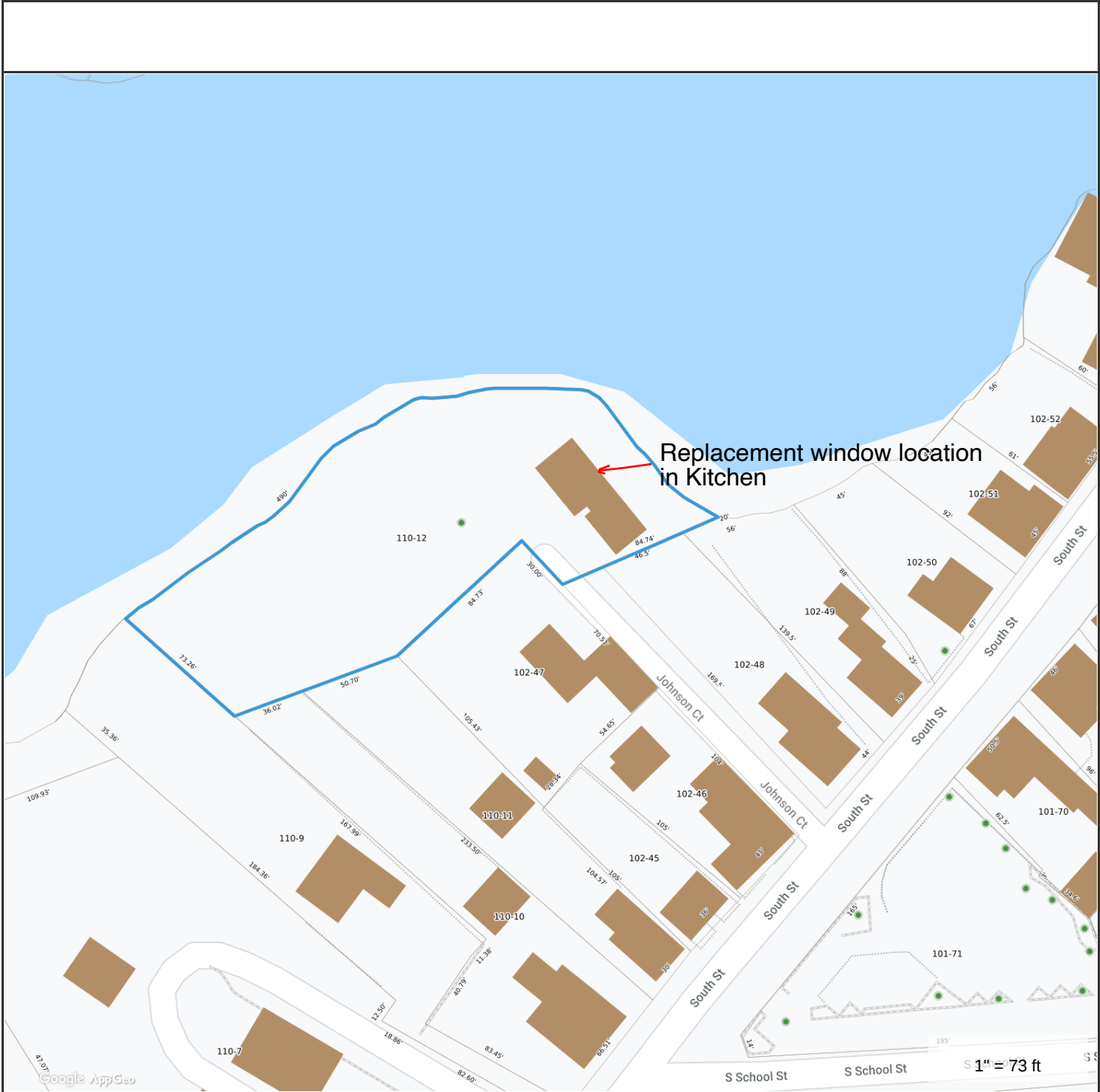
DESIGNED BY:
MARI WOODS
SCALE:
 $\frac{1}{2}'' = 1'-0''$

APPROVED BY:
DATE:

DESIGN PLANS ARE PROVIDED FOR THE FAIR USE BY THE CLIENT OR HIS/HER AGENT IN COMPLETING THE PROJECT AS LISTED WITHIN THIS CONTRACT. DESIGN PLANS REMAIN THE PROPERTY OF THIS FIRM AND CAN NOT BE USED OR REUSED WITHOUT PERMISSION.

	DATE	BY
DRAWN	09.24.20	MFW
REVISED	11.04.20	MFW

PAGE#
7 OF 7



Property Information

Property ID 0110-0012-0000
Location 33 JOHNSON CT
Owner MORALES FAMILY 2020 TRUST



MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019
 Data updated 7/17/2019

Print map scale is approximate.
 Critical layout or measurement
 activities should not be using
 this resource.







Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
	0002	1 TW20-DHP310310-20 (AA-F-AA)	OPTION #2 STAT CENTER UNIT OPERATING FLANKER UNITS PLEASE NOTE HEIGHT ON THIS UNIT	\$ 2372.99	\$ 2372.99

RO Size = 8' 3 3/8" W x 4' 0 7/8" H Unit Size = 8' 2 13/16" W x 4' 0 7/8" H

Viewed from Exterior

400 Series
Composite Unit, White/Pre-finished White, High Performance Low-E4 Top/Bottom*High Performance Low-E4*High Performance Low-E4 Top/Bottom Glass, Divided Light with Spacer Top*No Grille(s) Bottom*Divided Light with Spacer*Divided Light with Spacer Top*No Grille(s) Bottom, Mulling Location: Factory (Direct), Mull Type: Narrow Mull, Mull Priority: Vertical
Insect Screen, White

Unit	U-Factor	SHGC
1	0.31	0.28
2	0.31	0.30
3	0.31	0.28

	0006	1 CR135-P5035-CR135 (S-F-S)	OPTION #3 ALL STATIONARY UNITS	\$ 1889.20	\$ 1889.20
---	------	-----------------------------	--------------------------------	------------	------------

RO Size = 7' 10 5/8" W x 3' 5 3/8" H Unit Size = 7' 10 1/8" W x 3' 4 13/16" H

Viewed from Exterior

400 Series
Composite Unit, White/White - Factory Painted, High Performance Low-E4 Glass, Divided Light with Spacer, Mulling Location: Factory (Direct), Mull Type: Narrow Mull, Mull Priority: Vertical

Unit	U-Factor	SHGC
1	0.29	0.29
2	0.28	0.31
3	0.29	0.29

3. 14 Mechanic Street - Recommended Approval

Background: The applicant is seeking approval to install wrought iron railing systems- (1) at the front entry and (1) at the rear master balcony.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

05/25/2021

LUHD-338

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: May 12, 2021

Applicant

Joshua Butkus
kscannell@destefanomaugel.com
22 ladd st
portsmouth, NH 03801
2034000802

Location

14 MECHANIC ST
Portsmouth, NH 03801

Owner:

ROESE JOHN J REVOCABLE TRUST OF 2016 &
ROESE JOHN JOSEPH TRUSTEE
55 ELM ST EFFINGHAM, NH 03882

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

We are seeking approval for two new wrought iron railing systems at the front entry and rear master balcony.

Description of Proposed Work (Planning Staff)

--

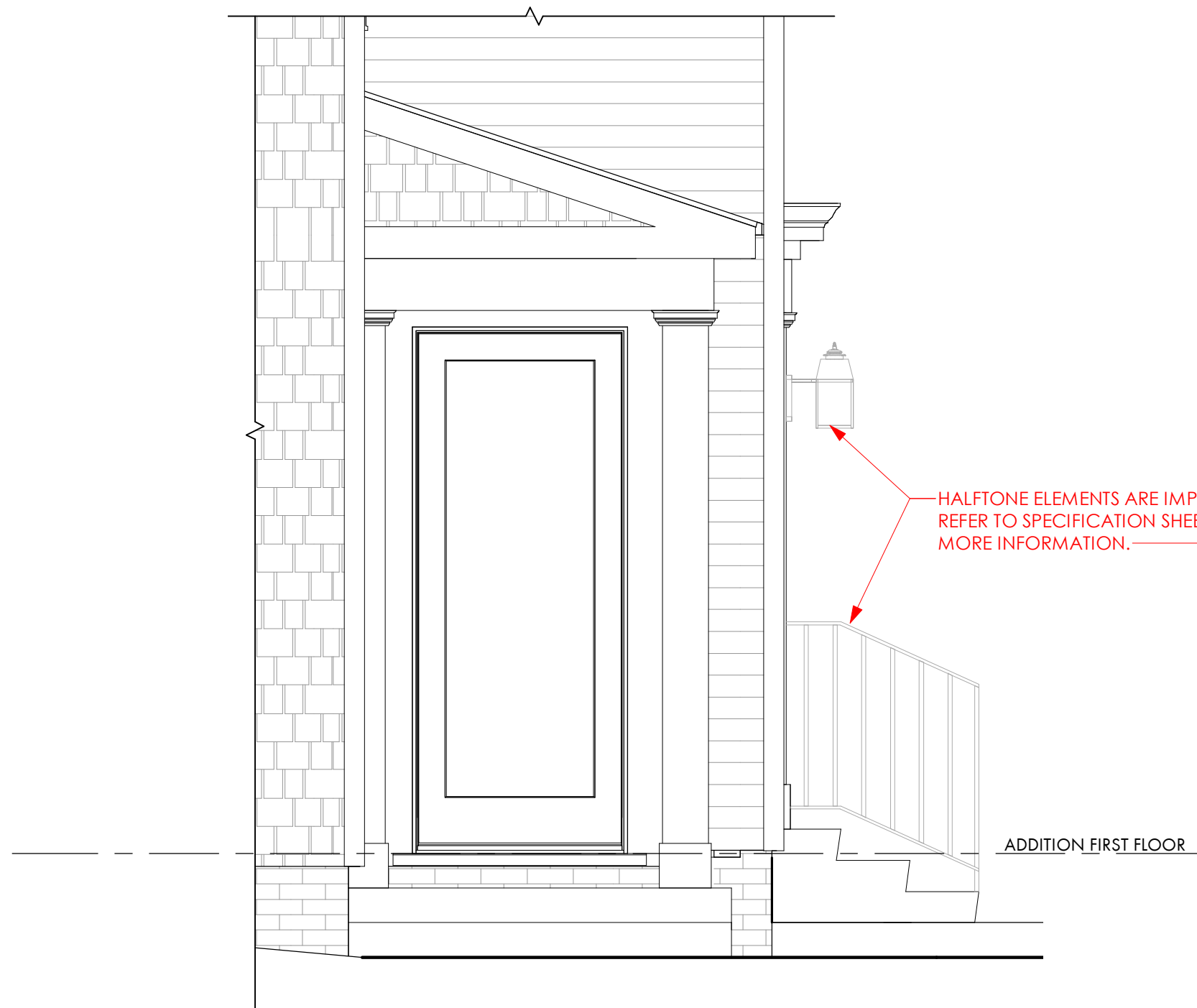
Project Representatives

Relationship to Project

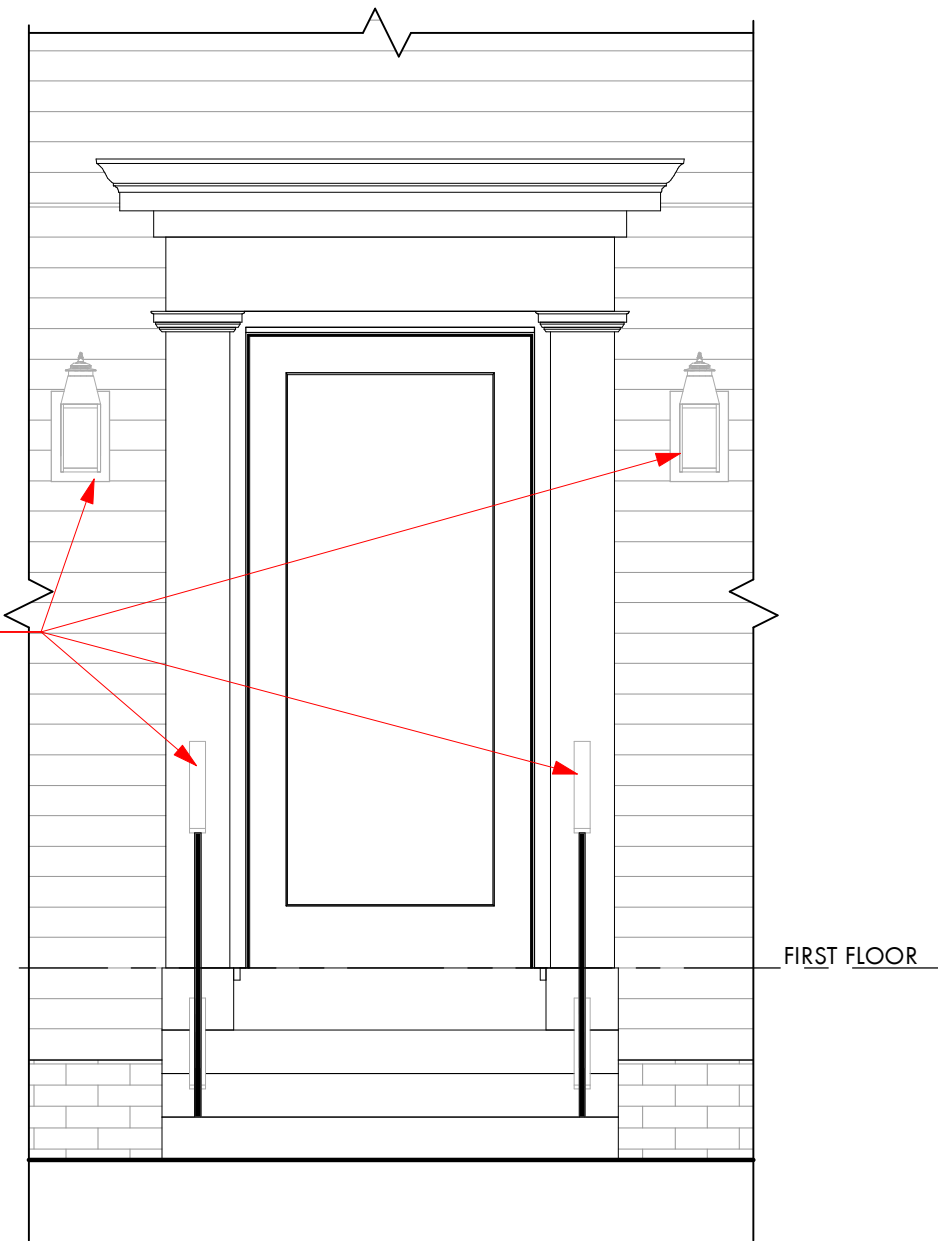
Architect

If you selected "Other", please state relationship to project.

--



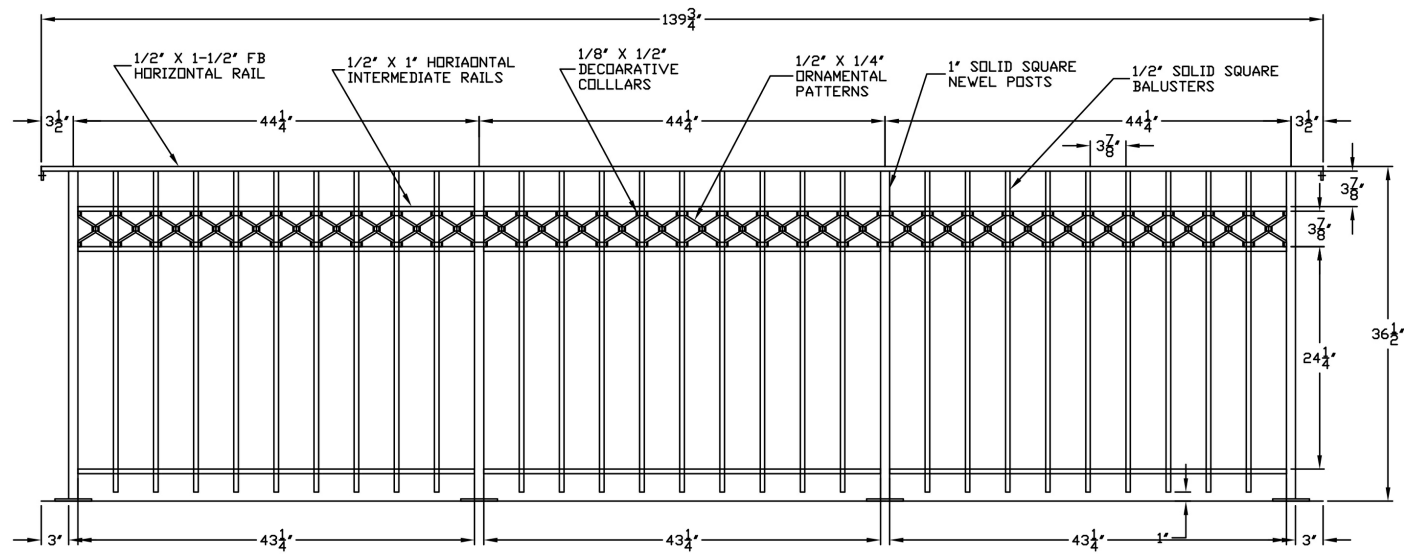
PROPOSED SIDE ENTRY ②
1/2" = 1'-0"



PROPOSED FRONT ENTRY ①
1/2" = 1'-0"



PROPOSED ELEVATION AT MASTER BALCONY 1
 1/4" = 1'-0"

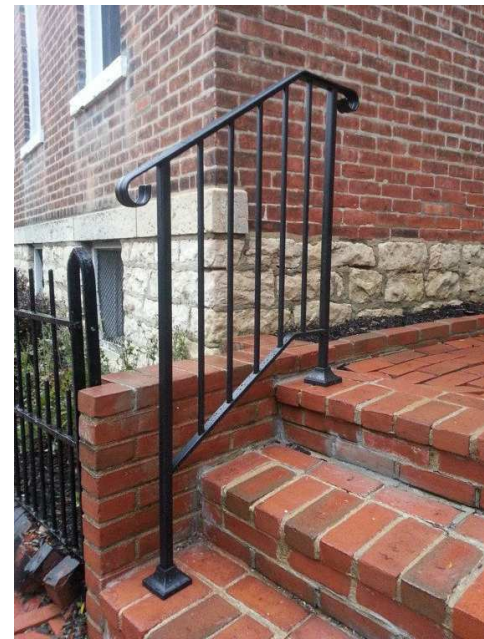


WROUGHT IRON RAILING AT MASTER BALCONY

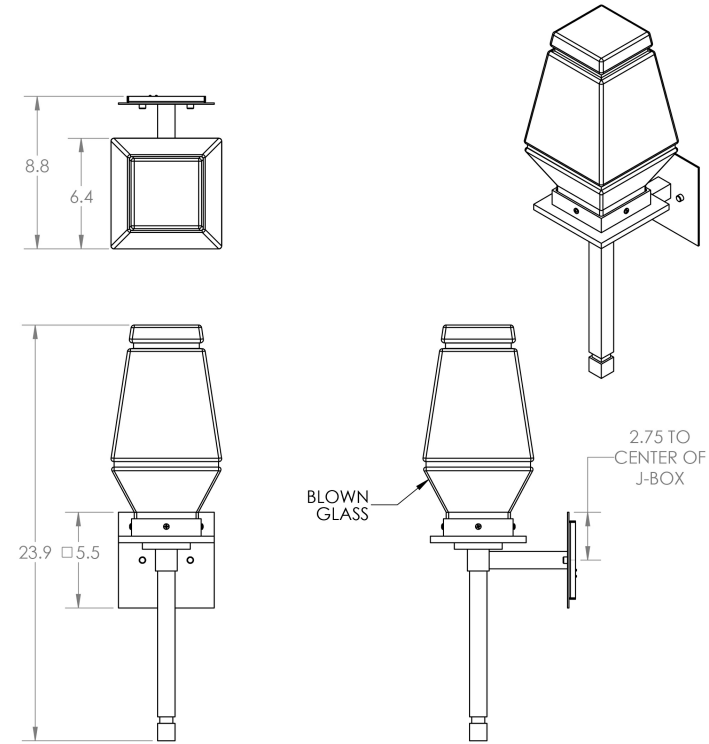
STANDARD CASSIDY BROS. FORGE
HAND-FORGED RAILING TERMINATIONS



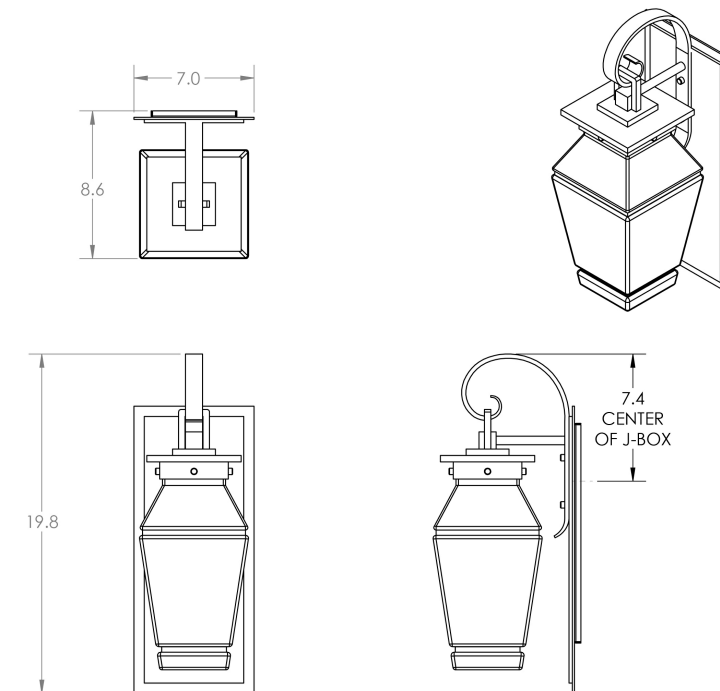
"VOLUTE"



WROUGHT IRON RAILING AT FRONT ENTRY



SIDE ENTRY SCONCE : TO BE LOCATED ON THE RIGHT SIDE OF THE SIDE ENTRY DOOR.



FRONT ENTRY SCONCE : TO BE LOCATED ON EITHER SIDE OF THE FRONT ENTRY DOOR.

4. 254 South Street - Recommended Approval

Background: The applicant is seeking approval for a change in design for a previously approved Administrative Approval (change condenser surround design).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

05/25/2021

LUHD-305

Historic District Commission Work Session or Administrative Approval Application

Status: Complete

Date Created: Apr 02, 2021

Applicant

Denise Todd
dentodd@gmail.com
254 South St
South St
Portsmouth, NH 03801
6039785329

Location

254 SOUTH ST
Portsmouth, NH 03801

Owner:

Denise Todd
254 254 SOUTH ST Portsmouth, NH 03801-4527

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Requesting permission to install a Mitsubishi AC Pump Unit on the exterior wall on the west, driveway, side of the property. The unit will provide ac to the upstairs bedrooms on this side of the property. All specs and dimensions of the unit are attached in this application. There will be a 5' x 3-4' fence installed in front of the unit to hide it from the street view. The fence will match the existing rear fence as close as possible.

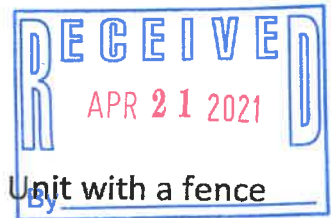
Description of Proposed Work (Planning Staff)

the installation of mechanical equipment (A/C condenser with screening)

Project Representatives

Relationship to Project

Owner



Historic Committee for permission to install an outdoor Cooling Unit with a fence
Consideration of Zoning Ordinance Section 10.233

Thank you for the meeting last night and the request for us to add more fencing around the outdoor cooling unit for this property.

I contacted the AC installer this morning who advised not to have a full block fence along all 3 sides of the this type of unit. The Mitsubishi unit has a fan on the front of the unit not the top, requiring a certain amount of air flow to the fan. If we install a full 3 sides of full block fencing it will great diminish the efficiency of the unit and it will have the potential to fail much sooner.

We would like to ask permission to install a two sided vertical cedar fence with 2" gaps between each plank for the airflow, leaving the rear without a fence. I have attached a photo of the this type of fence around our lower deck area. The gaps would need to be bigger (2") than shown for the air flow. The top of each post will be capped to match the rear fence, photo attached.

The only other solution is to have the whole fence as a lattice and I think the unit would be more visible that way.

We do not have neighbors at the rear who can see any of this unit. We already have a dividing fence between the yard for next door.

The fence would still be 3'6" deep x 4'6" high. We do not want to make the fence any bigger or bring it out from the property any more than this as it would detract your eye from the nice bay window we have on the side to the large boxed in unit which would end up deeper than the bay window. This would look unsightly from the street.

It is difficult to get the fence company over as they are running 8-12 weeks behind so if we can go ahead with the install while we come up with a better fence solution this would help.

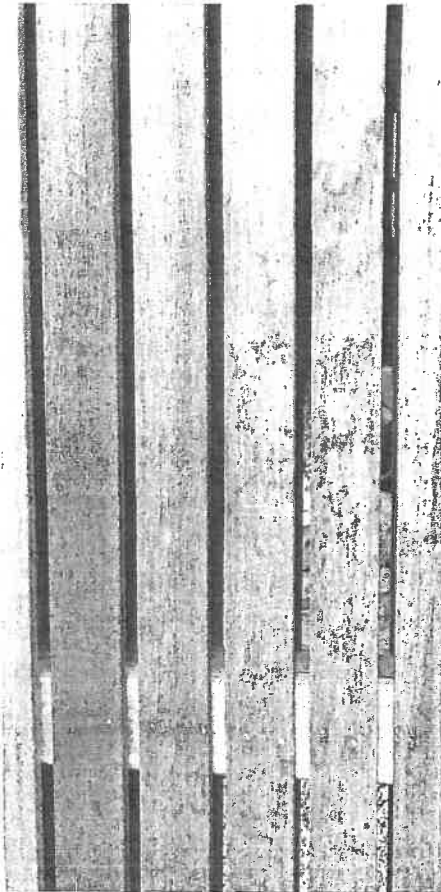
Thank you again for your consideration.

A handwritten signature in black ink, appearing to read "Denise & Michael Todd". The signature is written in a cursive style and is located below the typed name.

Denise & Michael Todd - Owners

254 SOUTH ST. – FENCING PROPOSAL FOR AC UNIT SURROUND

Left/below is under our deck
Spacing giving unit airflow
required



Right/below is between properties
CAP for posts as shown



THE SIDE FACING THE STREET WOULD LOOK LIKE THIS WITH 3/4" GAPS. THE FRONT (in front of the fan, facing next door) WOULD HAVE 2" GAPS FOR THE AIRFLOW, these would not be very visible from the street as they'd be on a side angle.

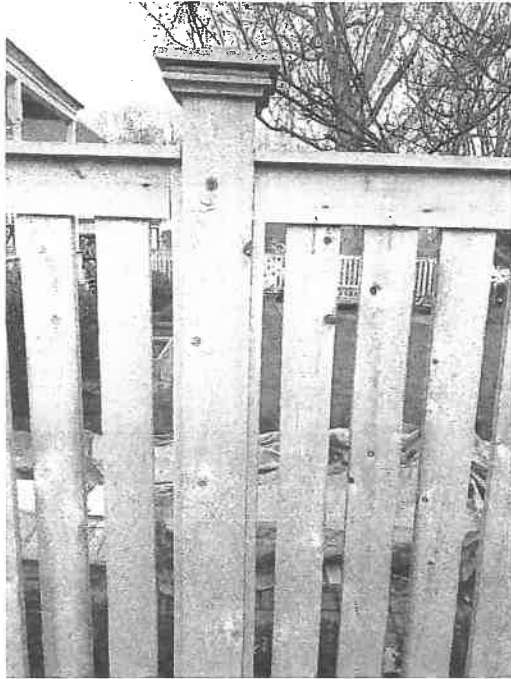
CAP FOR POSTS

254 SOUTH ST



Proposed 2 Sided fence (actual
on next page) to surround Alc

These photos show a neighbors fence 5 houses down from ours in the Historic District. The fence surrounds a garden and a trash bin area. As shown on the previous page we have very similar fencing under our deck.



This style with 2" gaps would be in front of the cooling unit facing Side (neighbor) where the fan needs Ventilation.



This style with 1/2" narrow gaps would be placed on the side of the cooling unit facing the street



This shows the fence from a side & would be our street view. The large gaps are not nearly as visible when viewed on a side angle.

5. 241 South Street - Recommended Approval

Background: The applicant is seeking approval for changes to a previously approved design (change approved garage doors to match existing side entry door, replace approved porch sliding windows with 2/1 double hung windows, and to replace an existing door with a window on the porch to match new proposed windows).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

05/25/2021

LUHD-344

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: May 24, 2021

Applicant

Guy Spiers
spiersg48@gmail.com
241 South St
Portsmouth, NH 03801
1-804-575-0003

Location

241 SOUTH ST
Portsmouth, NH 03801

Owner:

3A TRUST & SPIERS GUY D AND ELIZABETH R
TRUSTEES
241 SOUTH ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Change two pedestrian doors in garage; change windows in porch; convert door in porch to a window.

Description of Proposed Work (Planning Staff)

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



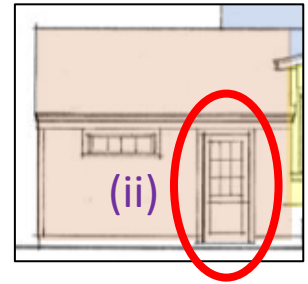
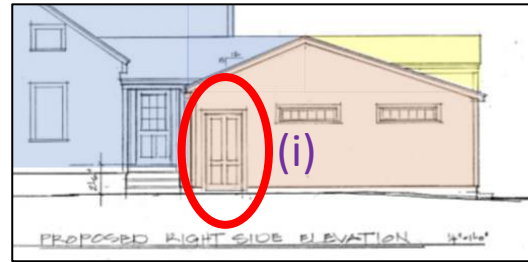
Portsmouth HDC Administrative Approval Application
241 South St
Changes to LU-20-96

1. Different pedestrian doors for garage
2. Different windows for 3-season porch
3. Replace door in 3-season porch with a window (same window as in #2)

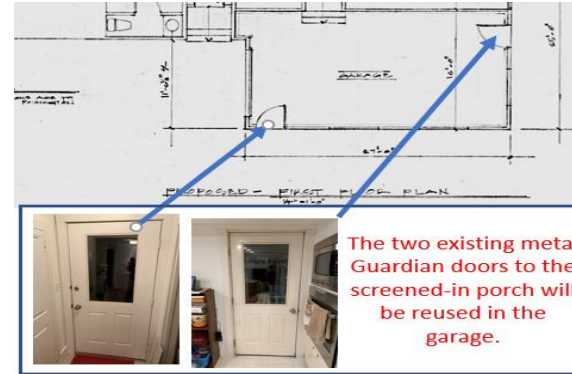
1. Different pedestrian doors for garage

What the HDC approved in LU-20-96:

While the *drawings* in our presentation showed
(i) a 4-panel solid door on the right elevation side of the garage and
(ii) a 6-light door for the rear of the garage,



what we *actually requested* – and what the HDC approved –
was to **reuse two doors** being demo'd as part of the overall project:



Motivation for change: Our contractor pointed out that the demo doors cannot be reused because they are built for 2x4 framing, while our garage is being built with 2x6 framing.

Requested change:

The two garage doors will be the same as the approved side entry door:

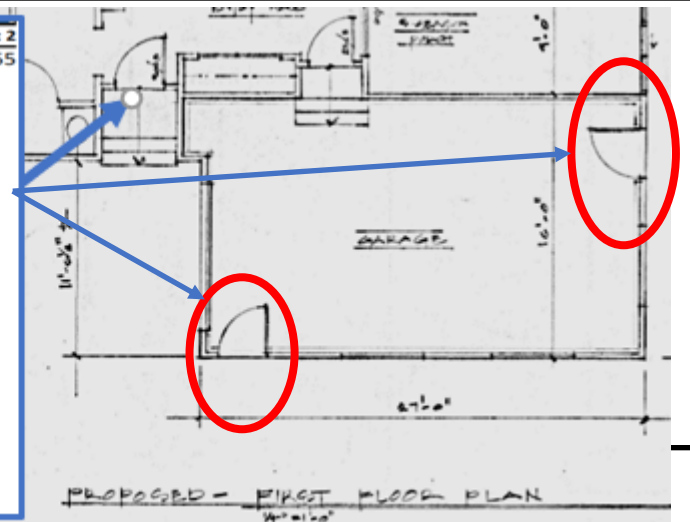
Item: 0001: Ext 36" x 80" S2150-SDLE RHI 6 9/16" FrameSaver	Location:	Quantity: 2
Smooth Star 36"x80" Single Door		949.55

Side Entry to House

Configuration Options [Hide](#)

- Product Category: Exterior Doors
- Manufacturer: Reeb - Smooth Star
- Product Material: Smooth Star Fiberglass
- Material Type: Smooth Star
- Product Type: Entry
- Brand: Therma-Tru
- Configuration (Units viewed from Exterior): Single Door
- Reeb Finish: No
- Slab Width: 36"
- Slab Height: 80"
- Product Style: 1/2 Lite

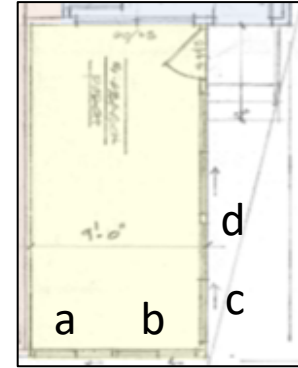
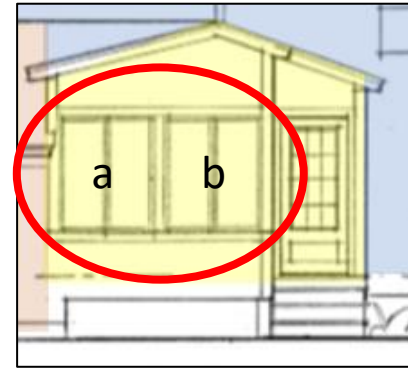
EXTERIOR Right-Hand Inswing



2. Different windows for 3-season porch

What the HDC approved in LU-20-96:

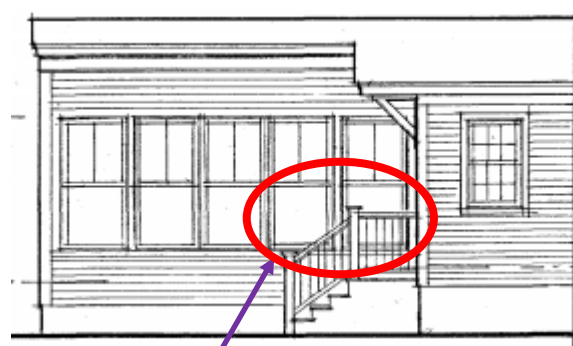
Four single-pane sliding windows (a to d) for the 3-season porch:



Motivation for change: Sliding windows are not as historically-accurate as double hung windows and they create areas along the porch walls with no ventilation.

Requested change:

Replace sliders with 2/1 double-hungs with exterior simulated divided lites (trapezoid = historic putty muntin)



These two sashes have tempered glass

LINE #	DESCRIPTION	QTY	SUB-LINES
100		1	2

LINE #	DESCRIPTION	QTY
100-1	Sanford Hills Dual Pane Double Hung DH2830, Extruded White Interior, Extruded White Exterior, Dual Pane Low E Argon Top / Dual Pane Low E Tempered Bottom, PG50, 2/1 Lite 5/8" Trapezoid/GBG Contour, White Exterior Only Simulated Divided Lite w/Contoured Grille in Airspace, No Lift Rail, 30.68 X 30 Clear Opening, 6.39 SQFT, Hidden Tilt Latch, Dual White Robo-Tilt Lock, No Window Opening Control Device, Fiberglass Mesh White Full Screen Shipped Loose 6 9/16" Primed Finger Joint Jamb (Complete Unit), w/J-Channel Cover, No Exterior Casing, w/ Nailing Fin, 1/4" Added To Width and Height of Units With Extensions. See O.S.M. for dry dimensions. Unit 1: UFactor: NR, SHG: NR, VLT: NR, CR: NR	1

Mathews Brothers' Windows specified with Tempered Glass cannot be canceled or modified once an order is placed. There will be no grace period provided for Windows specified with Tempered Glass as they will enter into a production schedule immediately. Please review the specifications for this Window with Tempered Glass carefully to ensure they are correct prior to ordering.

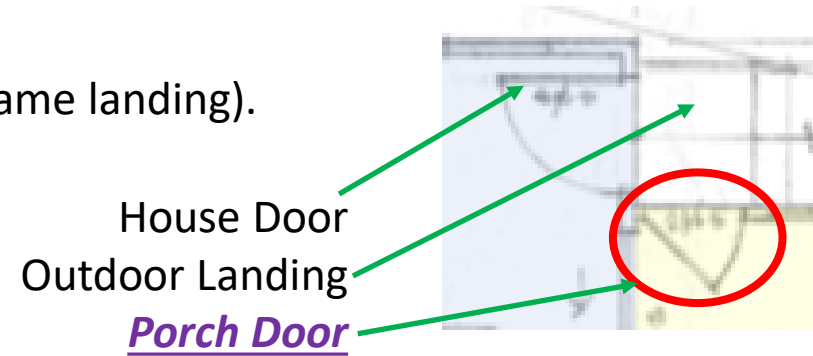
Opening: 36.75" X 70.75"
O.S.M.: 36.25" X 70.25"

Tag: Unit A-stair case

3. Replace 3-season porch door with a window (same as in change #2)

What the HDC approved in LU-20-96:

Door from porch to outside landing (note, door from house also leads to same landing).

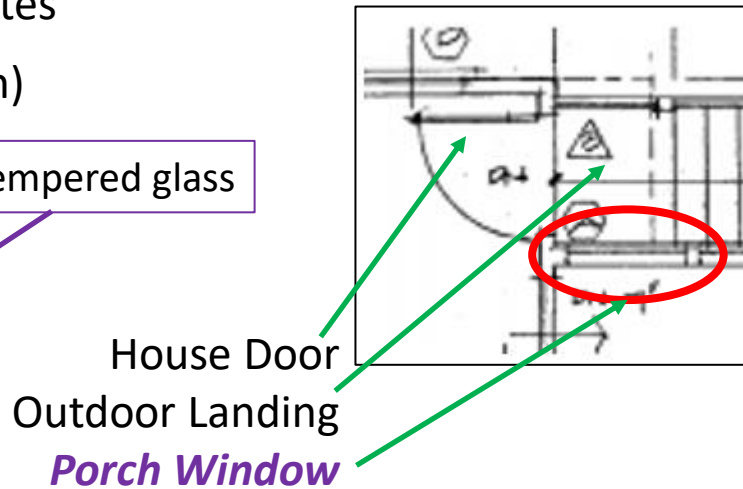
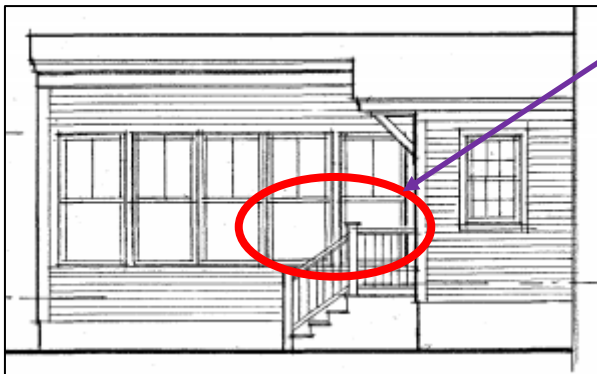


Motivation for change: Don't need two doors in such close proximity.

Requested change:

Replace porch door with another 2/1 double-hung with exterior simulated divided lites (trapezoid = historic putty muntin)

These two sashes have tempered glass



LINE #	QTY	SUB-LINES
100	1	2

MATHEWS BROTHERS
AMERICA'S OLDEST WINDOW MANUFACTURER

LINE #	DESCRIPTION	QTY
100-1	Sanford Hills Dual Pane Double Hung DH2830, Extruded White Interior, Extruded White Exterior, Dual Pane Low E Argon Top / Dual Pane Low E Tempered Bottom, PG50, 2/1 Lite 5/8" Trapezoid/GBG Contour, White Exterior Only Simulated Divided Lite w/Contoured Grille in Airspace, No Lift Rail, 30.68 X 30 Clear Opening, 6.39 SQFT, Hidden Tilt Latch, Dual White Robo-Tilt Lock, No Window Opening Control Device, Fiberglass Mesh White Full Screen Shipped Loose 6 9/16" Primed Finger Joint Jamb (Complete Unit), w/J-Channel Cover, No Exterior Casing, w/ Nailing Fin, 1/4" Added To Width and Height of Units With Extensions. See O.S.M. for dry dimensions. Unit 1: UFactor: NR, SHG: NR, VLT: NR, CR: NR	1

Mathews Brothers' Windows specified with Tempered Glass cannot be canceled or modified once an order is placed. There will be no grace period provided for Windows specified with Tempered Glass as they will enter into a production schedule immediately. Please review the specifications for this Window with Tempered Glass carefully to ensure they are correct prior to ordering.

Opening: 36.75" X 70.75"
O.S.M.: 36.25" X 70.25"

Tag: Unit A-stair case

Entry/Garage Door Specs

Item: 0001: Ext 36" x 80" S2150-SDLLE RHI 6 9/16" FrameSaver

Location:



Smooth Star 36"x80" Single Door



EXTERIOR
Right-Hand Inswing

Configuration Options [Hide](#)

- **Product Category:** Exterior Doors
- **Manufacturer:** Reeb - Smooth Star
- **Product Material:** Smooth Star Fiberglass
- **Material Type:** Smooth Star
- **Product Type:** Entry
- **Brand:** Therma-Tru
- **Configuration (Units viewed from Exterior):** Single Door
- **Reeb Finish:** No
- **Slab Width:** 36"
- **Slab Height:** 80"
- **Product Style:** 1/2 Lite

Porch Window Specs

LINE #	QTY	SUB-LINES
100	1	2



LINE #	DESCRIPTION	QTY
100-1		1

Sanford Hills Dual Pane Double Hung
 DH2830, Extruded White Interior, Extruded White Exterior, Dual Pane Low E Argon Top / Dual Pane Low E Tempered Bottom, PG50, 2/1 Lite 5/8" Trapezoid/GBG Contour, White Exterior Only Simulated Divided Lite w/Contoured Grille in Airspace, No Lift Rail, 30.68 X 30 Clear Opening, 6.39 SQFT, Hidden Tilt Latch, Dual White Robo-Tilt Lock, No Window Opening Control Device, Fiberglass Mesh White Full Screen Shipped Loose

6 9/16" Primed Finger Joint Jamb (Complete Unit), w/J-Channel Cover, No Exterior Casing, w/ Nailing Fin, 1/4" Added To Width and Height of Units With Extensions. See O.S.M. for dry dimensions.

Unit 1: UFactor: NR, SHG: NR, VLT: NR, CR: NR



Mathews Brothers' Windows specified with Tempered Glass cannot be canceled or modified once an order is placed. There will be no grace period provided for Windows specified with Tempered Glass as they will enter into a production schedule immediately. Please review the specifications for this Window with Tempered Glass carefully to ensure they are correct prior to ordering.

Opening: 36.75" X 70.75"

O.S.M.: 36.25" X 70.25"

Tag: Unit A-stair case

6. 205 Market Street - Recommended Approval

Background: The applicant is seeking approval for 15 various exterior repairs and renovations: replace all existing storm windows, repair masonry, replace gutter and downspout, etc.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

05/25/2021

LUHD-342

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: May 14, 2021

Applicant

Carla Goodknight
 carla@cjarchitects.net
 233 Vaughan Street
 Suite 101
 Portsmouth, NH 03801
 6034312808

Location

205 MARKET ST
 Portsmouth, NH 03801

Owner:

409 FRANKLIN PIERCE HIGHWAY LLC
 PO BOX 399 NOTTINGHAM, NH 03290

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Minor repairs and renovation.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Business Name (if applicable)



City of Portsmouth
Historic District Commission & Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

June 2, 2021

205 Market Street - HDC Application for Administrative Approval

We respectfully submit this Application for Administrative Approval for the 205 Market Street minor repairs and renovations.

- 1) Replace all existing storm windows. Storm units will be custom fabricated to each opening and include white aluminum frames, sized to the application. The storm units will have triple tracks to house (2) single panes of glass and (1) operable half screen.
- 2) Addition of (4) 3/8" thick color galvanized metal storm shutters on the front elevation. (black)
- 3) Repair, sandblast, and color galvanize existing shutters at the front elevation. (black)
- 4) Existing Shutter dogs to be removed and reinstalled. New stainless steel anchors will be welded onto original historic iron "rat tail stay" for installation into brick.
- 5) Existing Pintels to remain in place due to extensive masonry demolition required for removal. Pintels to be cleaned, sealed, and painted to prevent further deterioration. Fixed metal support brackets to be installed behind and bolted to shutters for support.
- 6) Installation of new standing seam copper metal roofing and snow guards at the front elevation.
 - Metal standing seam roofing panels shall be fabricated out of 32 mil or 20 ounce cold rolled red river copper. Panels will be 18"x24" with a locking panel design and solder, standing seam.
 - Snow rail system shall be brass rail system that mechanically bolts on top of the rib of the copper standing seam panel.



- 7) Repair and restore loose masonry corbel detail at the front elevation.
- 8) Replace existing gutter with 6" K Style copper gutter at the front elevation.
 - Gutters shall be fabricated out of 22 mil or 16 ounce cold rolled red river copper.
- 9) Replace existing downspout with 3" smooth round copper downspout at the front elevation.
 - Downspouts shall be fabricated out of 22 mil or 16 ounce cold rolled red river copper.
- 10) Repair, clean, and re-point brick.
- 11) Paint all exterior woodwork on doors and windows.
 - Ben Moore Historic Colors: Black HC 190 (Door Panels)
 - Ben Moore Historic Colors: Decorators White PM-3 (Casing, Trim & Windows)
- 12) Repair, clean, and paint existing basement hopper windows at the front elevation.
- 13) Install 3" x 1.5" rectangular tube steel mounting bar to support (4) exterior light fixtures.

Industrial style mounting bar to reduce installation impacts in historic brick. Existing exterior light receptacle to be used to power the new bar.
- 14) Install (2) new commercial signs at the front elevation. All signage subject to additional ordinance requirements.
- 15) Addition of (3) keypad deadbolts at entries on the front elevation. Installed in door stile.

Please refer to the attached drawings for more information on these proposed repairs and renovations and their locations.

Thank you for your consideration.
Sincerely,

A handwritten signature in black ink, appearing to read 'Carla Goodknight'.

Carla Goodknight, AIA
Principal, CJ Architects

Representing:
David Calkins (Owner's representative)



APPENDIX

A: MASONRY CONTRACTOR QUALIFICATIONS

B: HISTORIC MORTAR REPORT

C: BRICK RESTORATION CLEANER

D: STORM WINDOW SPECIFICATIONS

E: SNOW GUARD SPECIFICATIONS

F: EXISTING CONDITIONS PHOTOS



205 MARKET STREET - PORTSMOUTH NH
HISTORIC DISTRICT COMMISSION MEETING
JUNE 2, 2021

APPENDIX

A: MASONRY CONTRACTOR QUALIFICATIONS

409 Franklin Pierce Highway LLC
PO Box 399
Nottingham, NH 03290
603-679-1131

RE: 205 Market Street
Portsmouth, NH 03801

Masonry Contractor Bio and Qualifications Summary
Millstone Masonry
Barrington, NH 03825
603-942-8897

Millstone masonry is a family owned and operated business in Barrington NH. They have been operating for over 25 years in the greater seacoast area. They provide professional and detailed masonry services to the residential and commercial markets.

Millstone has experience dealing with historically sensitive properties and has become the Portsmouth Naval Shipyards preferred mason when dealing with restoration projects. They have been working with the shipyard since 2015 and have been involved in numerous projects. These projects range from repointing to partial replacement of wall sections. All of the historical work has been executed under the direction of Kerry Vautrot the historical consultant for the Naval Shipyard.

During these projects Millstone is required to provide mortar analysis reports and composition as well as brick selections for review. They also have been required to build mock wall sections to illustrate methodology, material selection, and detailed sections. All of the work has to be conducted in accordance with the Technical Preservation Services and preservation briefs.

<https://www.nps.gov/tps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>

Millstone has also worked on projects under the supervision of Margaret Gaertner. Margaret is a historic building consultant through the NH Division of Historical Resources. Margaret was satisfied with Millstones procedures and installation practices on the projects they worked together.

Through the 25 plus years of experience and the work they have completed at the Naval Shipyard, Millstone Masonry is a qualified choice for the repair, repointing, and if needed restoration of the brick work at 205 Market Street.



205 MARKET STREET - PORTSMOUTH NH
HISTORIC DISTRICT COMMISSION MEETING
JUNE 2, 2021

APPENDIX

B: HISTORIC MORTAR REPORT



Characterization of Historic Mortars:

205 Market Street,
Portsmouth, NH 03801



Prepared by:
Jyotsna Naga Aikens
Laboratory Consultant

Prepared for:
Spencer Conroy
Millstone Masonry

April 16, 2021



Table of Contents

Characterization of Historic Mortars and Plasters

Section 1.0: Purpose Statement.....4
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 1.2: Executive Summary.....5
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 2.1a: Characterization of Extracted Aggregate (Sample 1).....7
Section 2.0b: Analytical Summary (Sample 2).....10
 2.1b: Characterization of Extracted Aggregate (Sample 2).....11
Section 3.0: Product Recommendations.....14
Section 4.0: Testing Methodology.....16
Section 5.0: Definitions.....17

Cover Image: Ward, Andrew M. “Multifamily Sold - New Hampshire: United States.” COLLIERS INTERNATIONAL. Accessed April 15, 2021. <https://www.colliers.com/en/properties/waterfront-mixed-use-building/usa-205-market-street-portsmouth-nh-03801/usa1082296>.



Section 1.0: Purpose Statement

The purpose of a basic acid digestion mortar analysis is to determine the approximate proportions of three principal components of historic mortars—aggregate, binder, and fines. Certain additives may also be detected via this method, but their proportions may not be accurately determined. A basic mortar analysis is primarily used to help ascertain general details about composition of a mortar for the purpose of recreating a historic blend or as a prelude to further instrumental analysis. Thus, this test is most useful for identifying whether cement, lime, and sand are present and in what quantities. Acid digestion can be an important part in developing plans for repairing and maintaining historic structures. For further information on methodology, please see Section 4.0.

However, while this test protocol is useful for distinguishing general characteristics associated with different binders, it is important to note that the test is subjective, based on the interpretation of data and physical properties, rather than unequivocal. Interpretation relies not only on the data produced while testing, but also on observed physical characteristics such as color, texture, hardness, cohesiveness, and visual properties of aggregate. Additional clarification on specific properties or additives of a mortar, such as additional pigments, modifying additives, cement type, or mineralogy, would require further instrumental analysis (X-Ray Diffraction, SEM-XEDS, petrography, and other tests) which can be arranged at a client's request for fees to be determined on a case-by-case basis. It is important to note that testing cannot determine several other important factors in mortar which are difficult or impossible to accurately ascertain, including original water mix, mixing and pointing method, rate of drying, or original condition/origin of aggregate.

LimeWorks.us personnel conduct these analyses with care to produce accurate results to the greatest degree possible. However, it is up to the client to confer with owners, conservators, masons, and/or installers to determine material appropriateness, installation methods, and performance testing of recommended products beyond data provided by the manufacturer. LimeWorks.us staff will use information gathered during this test to recommend a compatible material from our products and any additional steps or services if necessary or requested. These recommendations can be found in Section 3.0.

Section 1.1: Background

Two samples were submitted from different parts of the building to LimeWorks.us by Spencer Conroy of Millstone Masonry. Both the samples were bedding mortar sized between 1/4"-3/8". Sample one was extracted from the street side, above low window, near the salt pile. Sample two on the other hand was extracted from the parking lot corner, near the street. Both the samples were partially intact with some portions reduced to powder upon receipt.

The four-story, 8263 Sq Ft historic waterfront building was built in 1830.¹ Idyllically located in downtown Portsmouth, over-viewing the Piscataqua River, the property type is a mixed-use type with retail space on the first floor and six apartments on the others. The building was recently renovated in 2006. Proximity to a foundry and salt pile add a dimension of conservation concern unusual to most structures.

¹ Ward, Andrew M. "Multifamily Sold - New Hampshire: United States." COLLIERS INTERNATIONAL. Accessed April 15, 2021. <https://www.colliers.com/en/properties/waterfront-mixed-use-building/usa-205-market-street-portsmouth-nh-03801/usa1082296>.



Section 1.2: Executive Summary

Because of the amount of samples submitted, the full details of this report are lengthy. As such, this executive summary section has been prepared in order to summarize the relevant conclusions and recommendations. Reading the full detailed report is highly recommended to understand these conclusions and recommendations to ensure accuracy and agreement with the goals of the project before proceeding.

In this section, “Test Results” summarizes the data from the mortar analysis, “Mix Recommendations” summarizes the kind of mix the client should look for in a replacement mortar, and “LimeWorks.us Products” lists the products available through LimeWorks.us that meet or are analog to the recommendations. Mixes and products are to be considered appropriate substitutes for the historic mortar. If the historic mortar needs to be precisely replicated, additional testing according to ASTM C1324 would be required.

It is the responsibility of the client to read this report in its entirety and, in consultation with stakeholders or other authorities, determine the suitability of recommended products.

	Test Result	Mix Recommendation	LimeWorks.us Products
Sample 1	1 part lime to 2.5 parts fine aggregate by weight.	1 part St. Astier NHL 3.5 to 2.5 parts fine sand in accordance with ASTM C1713. Color with aggregate or UV/alkali-stable pigments.	Ecologic Mortar DGM SCG (F) Non-Pigmented
Sample 2	1 part lime to 2.5 parts fine aggregate by weight.	1 part St. Astier NHL 3.5 to 2.5 parts fine sand in accordance with ASTM C1713. Color with aggregate or UV/alkali-stable pigments.	Ecologic Mortar SCG (F) in 90% DGM 050/ 10% DGM 250 w/XF Slag Fleck

Section 2.0b: Analytical Summary (Sample 1)

The reactive and physical characteristics of this mortar sample suggest it contains a binder based on a mixture of lime and sand at a ratio of 1 part binder to 2.5 parts aggregate by weight. This conclusion was based on the following observations:

Sample Composition:

CaCO ₃	~17.057%
CaMg(CO ₃) ₂	~4.310%
Solubles	~6.175%
Aggregate	~71.017%
Fines	~1.441%

Sample Observations:

- **Layering:** No layering was observed.
- **Color:** The clean break of the bulk sample corresponded to 7.5YR 8/1 *white*. This is consistent with a lime mortar.
- **Hardness:** The sample was cohesive and very easy to snap with a Mohs rating of 2.5, requiring low force to pulverize with a mortar and pestle. This is consistent with a lime mortar.
- **Reactivity:** The sample reacted vigorously with ample effervescence and a very little secondary reaction when exposed to a 14% dilution of hydrochloric acid. Mortars with high cement content tend to react less vigorously than mortars high in lime. Limes high in dolomite (CaMg(CO₃)₂) will have a secondary reaction after the primary calcium carbonate reaction (CaCO₃). Calcium carbonate, such as that found in lime mortars and calcareous aggregates, evolves a large amount of CO₂ when exposed to acid, while pure cement-based mortars release very little during acid digestion. The sample's reaction suggests a lime-rich mortar.
- **Solubles:** The low amount of solubles and high carbonate in this mortar suggests a low dolomitic lime mixture with the possibility of a very small amount of clay or other acid soluble material present. Calcium carbonate, such as that found in lime mortars and calcareous aggregates, evolves a large amount of CO₂ when exposed to acid, while cement-based mortars release very little during acid digestion. A mortar with very little carbonate and high solubles suggests the presence of a cement, while a mortar high in carbonates with few solubles is likely lime-based.
- **Aggregate:** Aggregates extracted from the mortar were various shades of pinkish gray with an overall average color of 7.5YR 6/2 *gray*, while extracted fines were 7.5YR 7/1 *light gray*. The surviving aggregate fell within the modern mortar aggregate grading standards found in ASTM C144. Overall, this aggregate can be characterized as well-graded and sharp. For more information on extracted aggregates please see Section 2.1.
- **Fines:** This mortar aggregate was very clean, with under 2% total weight in fines.



Photograph of the bulk sample before digestion (fluorescent light, color corrected).

**Section 2.1b: Characterization of
Extracted Aggregate (Sample 1)**

Because aggregate is an important portion of mortar, helping not only to determine material performance, but also in simulating historic color and texture, this mortar analysis includes a careful examination of aggregates extracted following the acid digestion of the sample. Analysis included a visual analysis and evaluation of particle size. This data can be used to both simulate a historic mortar and/or assess the potential properties imparted by an aggregate blend. It is important to note that certain portions potentially present in aggregate (such as crushed limestone, marble, and certain silicas) are fully or partially soluble in acid. These are included within a broad category of “solubles.” Solubles would require further instrumental analysis to accurately characterize.

Individual grains of sand were generally shades of gray to pinkish gray with some other colors sporadically mixed in. As a result, the average color of sieved particles ranged almost entirely between 7.5YR 5/1 gray to 10YR 7/2 pinkish gray hue range, with some variation in value and chroma.

The aggregate particles varied widely in shape and roundness from very angular to subrounded in roundness and equant to very elongate in sphericity. The majority of material was captured by the #30 and #50 sieves. The fineness modulus of this aggregate was 1.962, indicating moderately coarse sand. The sand met ASTM C144's specifications for a masonry sand. For detailed definitions of these terms, please see section 5.0.



Photomicrograph of the weathered face of the bulk sample before digestion (incident daylight-balanced light, 10x magnification).



Photomicrograph of the extracted aggregate before sieving, note (incident daylight-balanced light, 10x magnification).



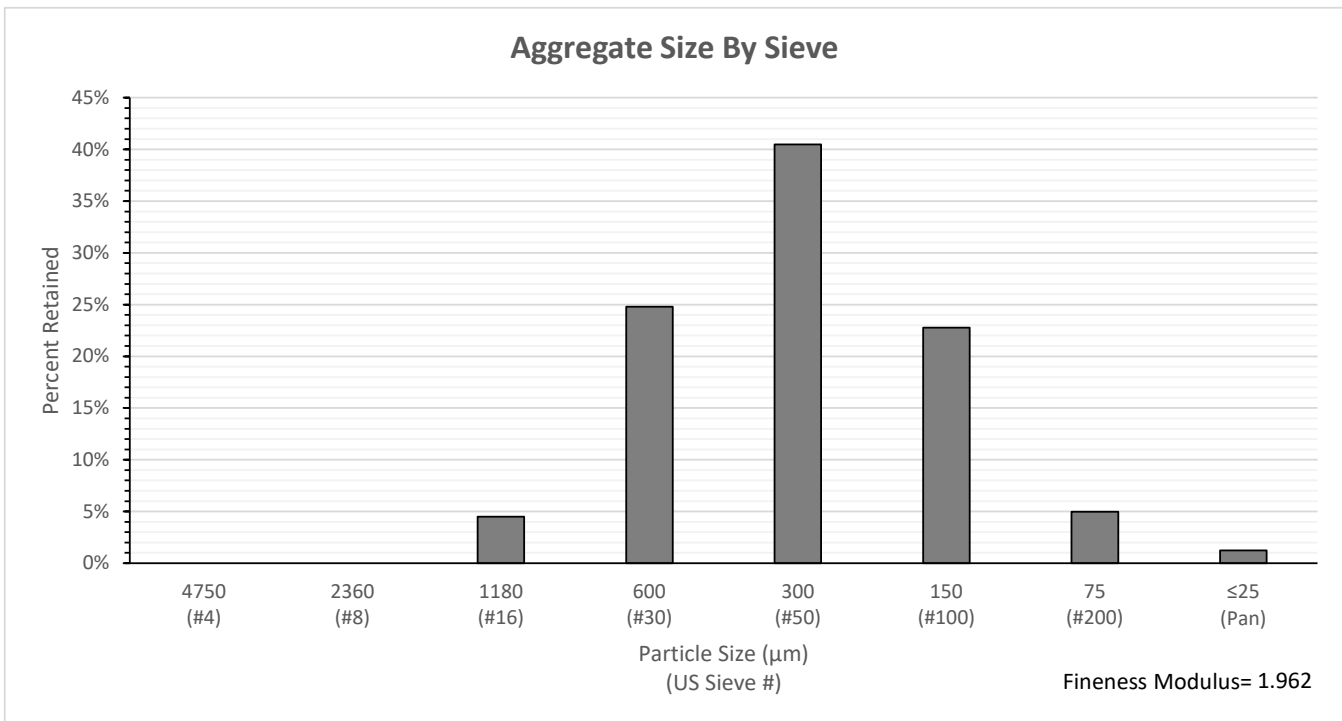
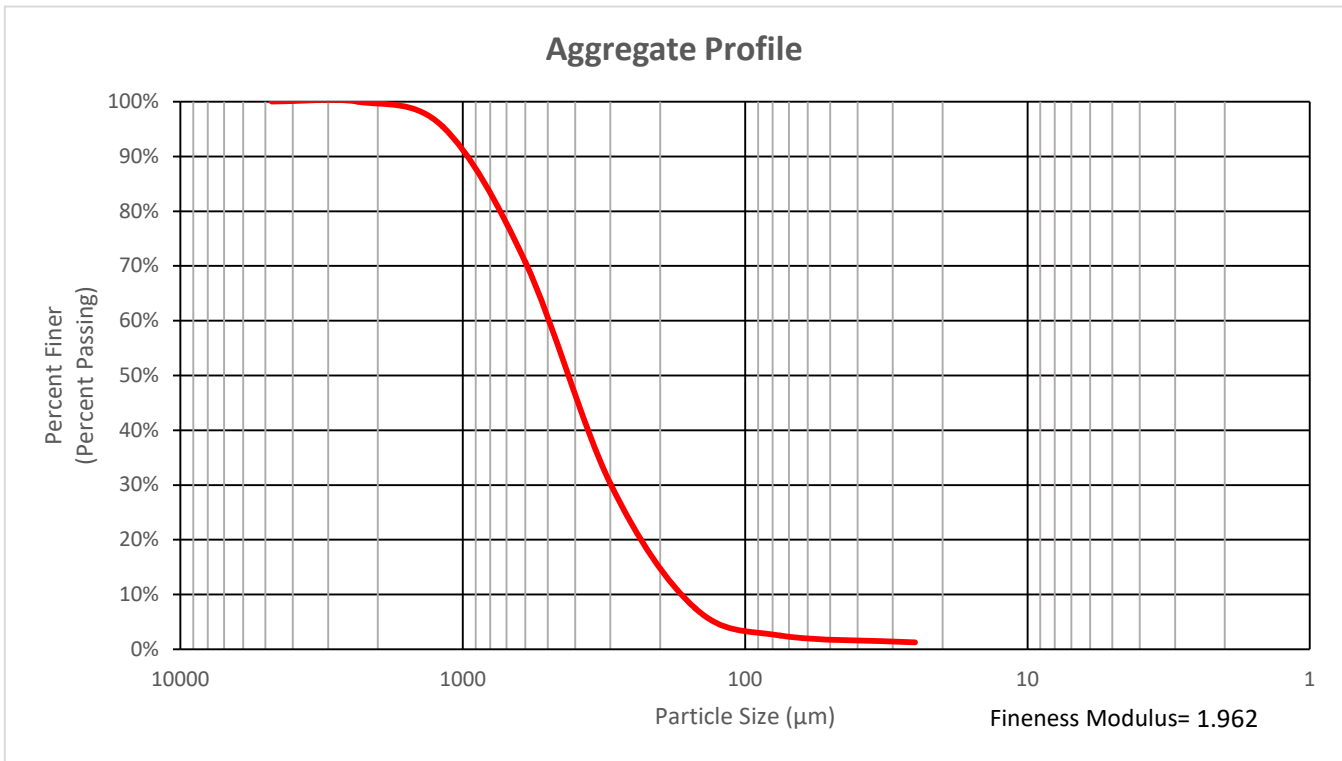
Extracted aggregates were sieved according to ASTM C136. Material was passed through a US Standard Sieve Stack (as governed in ASTM E11) and material retained on each mesh was recorded by weight and expressed as a percentage of the whole to determine approximate grading of the aggregate. Results are as follows:

Aggregate Grading:

Sieve Number	#4	#8	#16	#30	#50	#100	#200	Pan
Screen Size	4750 μ m	2360 μ m	1180 μ m	600 μ m	300 μ m	150 μ m	75 μ m	\geq 25 μ m
Aggregate Retained	0.000%	0.000%	4.510%	24.803%	40.474%	22.773%	4.961%	1.240%



Washed and sieved sands sorted according to sieve size (color corrected fluorescent light)



Section 2.0c: Analytical Summary (Sample 2)

The reactive and physical characteristics of this mortar sample suggest it contains a binder based on a mixture of lime and sand at a ratio of 1 part binder to 2.5 parts aggregate by weight. This conclusion was based on the following observations:

Sample Composition:

CaCO ₃	~13.982%
CaMg(CO ₃) ₂	~2.897%
Solubles	~11.314%
Aggregate	~70.652%
Fines	~1.155%

Sample Observations:

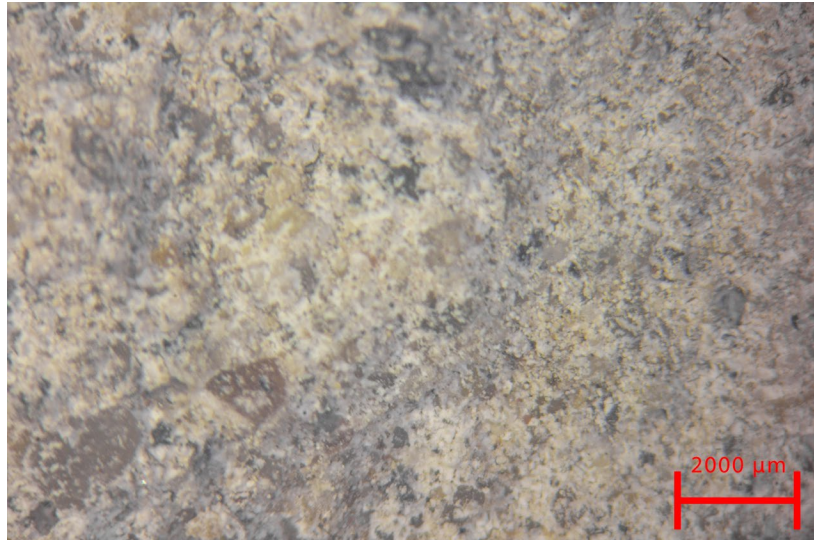
- **Layering:** No layering was observed.
- **Color:** The clean break of the bulk sample corresponded to 10YR 8/1 *white*. This is consistent with a lime mortar.
- **Hardness:** The sample was cohesive and very easy to snap with a Mohs rating of 3, requiring low force to pulverize with a mortar and pestle. This is consistent with a lime mortar.
- **Reactivity:** The sample reacted vigorously with ample effervescence and a very little secondary reaction when exposed to a 14% dilution of hydrochloric acid. Mortars with high cement content tend to react less vigorously than mortars high in lime. Limes high in dolomite (CaMg(CO₃)₂) will have a secondary reaction after the primary calcium carbonate reaction (CaCO₃). Calcium carbonate, such as that found in lime mortars and calcareous aggregates, evolves a large amount of CO₂ when exposed to acid, while pure cement-based mortars release very little during acid digestion. The sample's reaction suggests a lime rich mortar.
- **Solubles:** The moderate amount of solubles and high carbonate in this mortar suggests a mixture with clay or other soluble material added. However, the other properties of this mortar seem to suggest that the soluble material is not cement or pozzolanic additives. Calcium carbonate, such as that found in lime mortars and calcareous aggregates, evolves a large amount of CO₂ when exposed to acid, while cement-based mortars release very little during acid digestion. A mortar with very little carbonate and high solubles suggests the presence of a cement, while a mortar high in carbonates with few solubles is likely lime-based.
- **Aggregate:** Aggregates extracted from the mortar were various shades of bluish gray-light brownish gray with an overall average color of 10YR 7/1 *light gray*, while extracted fines were also 10YR 7/1 *light gray*. The surviving aggregate fell within the modern mortar aggregate grading standards found in ASTM C144. Overall, this aggregate can be characterized as well-graded and sharp. For more information on extracted aggregates please see Section 2.1.
- **Fines:** This mortar aggregate was very clean, with under 2% total weight in fines.



Photograph of the bulk sample before digestion (fluorescent light, color corrected).

Section 2.1c: Characterization of Extracted Aggregate (Sample 2)

Because aggregate is an important portion of mortar, helping not only to determine material performance, but also in simulating historic color and texture, this mortar analysis includes a careful examination of aggregates extracted following the acid digestion of the sample. Analysis included a visual analysis and evaluation of particle size. This data can be used to both simulate a historic mortar and/or assess the potential properties imparted by an aggregate blend. It is important to note that certain portions potentially present in aggregate (such as crushed limestone, marble, and certain silicas) are fully or partially soluble in acid. These are included within a broad category of “solubles.” Solubles would require further instrumental analysis to accurately characterize.



Photomicrograph of the weathered face of the bulk sample before digestion (incident daylight-balanced light, 10x magnification).

Individual grains of sand were generally shades of light gray to light brownish gray with some other colors sporadically mixed in. As a result, the average color of sieved particles ranged almost entirely in the 10YR hue range, with individual sieve colors ranging in value and chroma from 5/1 gray to 7/2 light gray.

The aggregate particles varied widely in shape and roundness from very angular to rounded in roundness and very elongate to equant in sphericity. The majority of material was captured by the #30 & #50 sieve. The fineness modulus of this aggregate was 2.045, indicating moderately coarse sand. The sand met ASTM C144's specifications for a masonry sand. For detailed definitions of these terms, please see section 5.0.



Photomicrograph of the extracted aggregate before sieving (incident daylight-balanced light, 10x magnification).

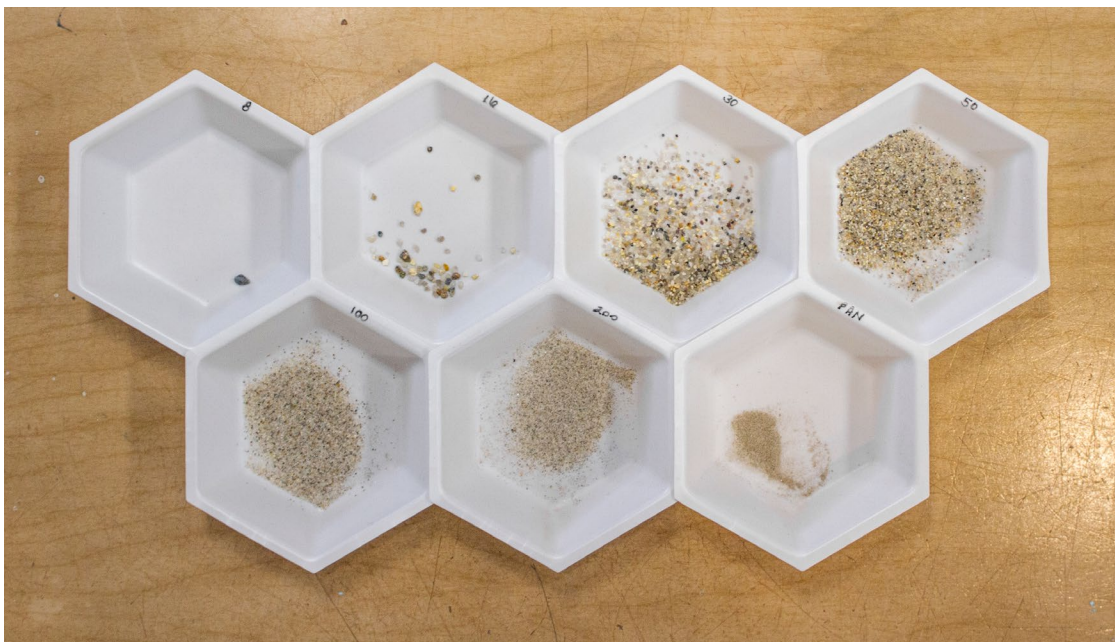
This material cannot be positively identified in this test but was weakly magnetic suggesting it may be an iron oxide pigment, iron fines, or material introduced into the mortar from its industrial location. Whether or not these are natural parts of the aggregate, introduced by the binder, is not known. In order to learn more, this mortar is a strong candidate for further instrumental analysis according to ASTM C1324.



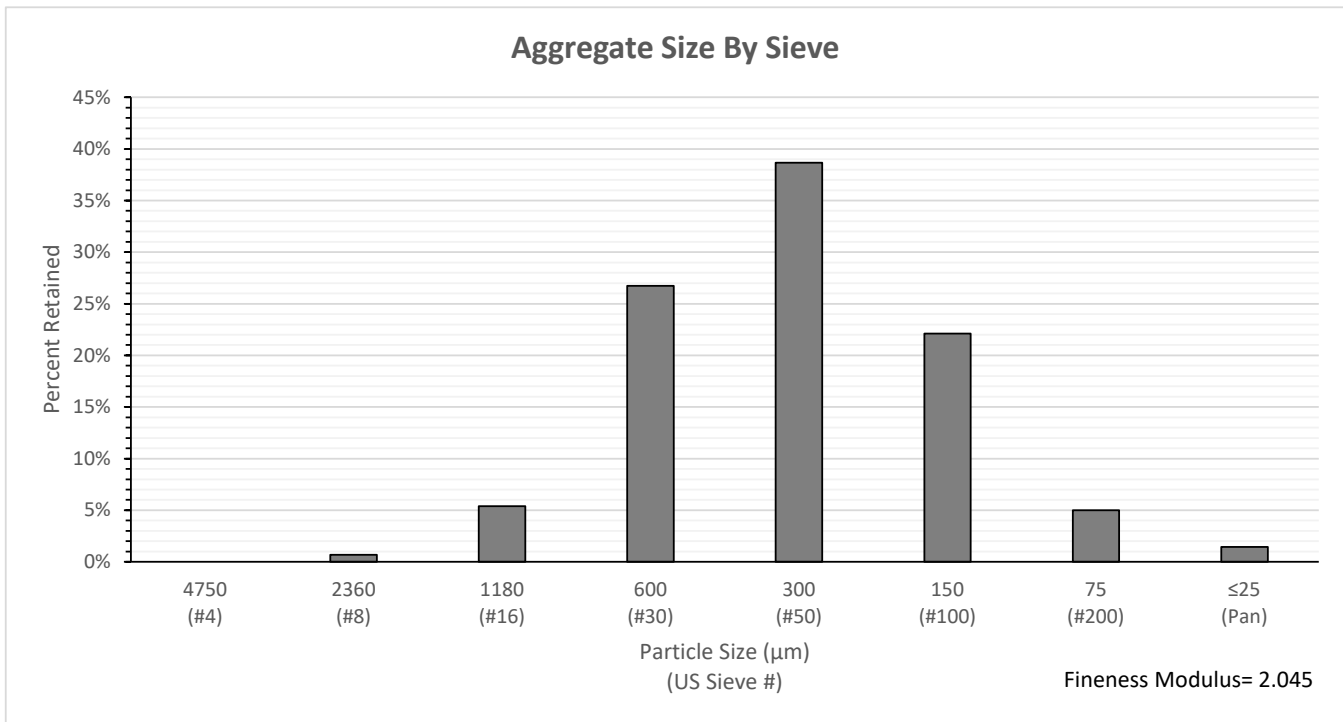
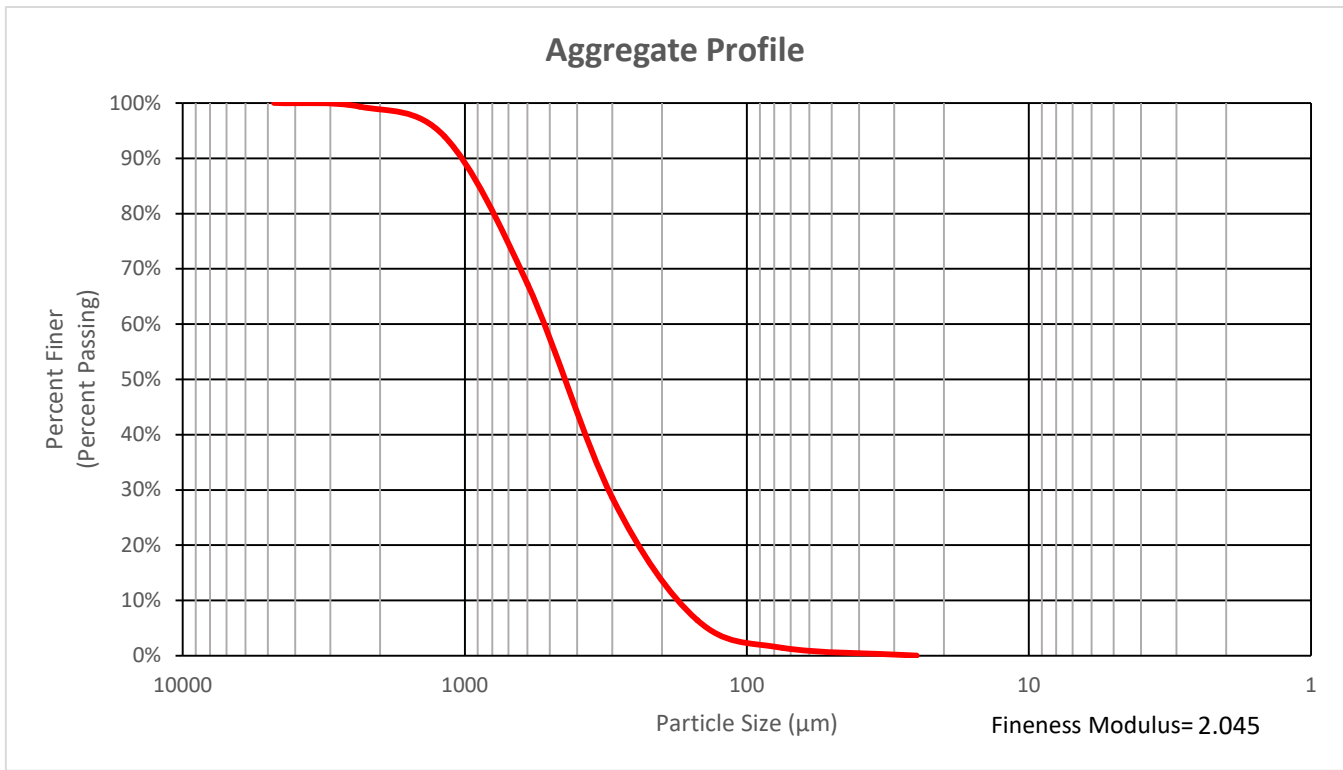
Extracted aggregates were sieved according to ASTM C136. Material was passed through a US Standard Sieve Stack (as governed in ASTM E11) and material retained on each mesh was recorded by weight and expressed as a percentage of the whole to determine approximate grading of the aggregate. Results are as follows:

Aggregate Grading:

Sieve Number	#4	#8	#16	#30	#50	#100	#200	Pan
Screen Size	4750 μ m	2360 μ m	1180 μ m	600 μ m	300 μ m	150 μ m	75 μ m	\geq 25 μ m
Aggregate Retained	0.000%	0.673%	5.385%	26.731%	38.654%	22.115%	5.000%	1.442%



Washed and sieved sands sorted according to sieve size (color corrected fluorescent light)



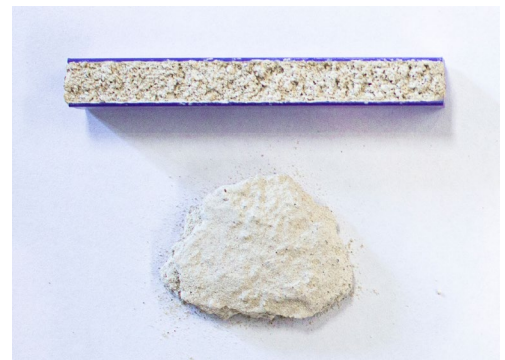
Section 3.0: Product Recommendations

The National Register, the Secretary of the Interior's *Standards for the Treatment of Historic Properties* published by the National Park Service recommends replacing a historic mortar with a mortar similar to or sympathetic to the original. In cases where the material properties of the masonry have degraded over time, these standards recommend considering a lime mortar instead of historic cementitious mortars.²

Given that the analysis suggests that both the submitted mortar samples was a relatively soft lime mortars, and in consideration to the small size of the mortar joints and geographic location, a replacement mortar based on Natural Hydraulic Lime 3.5 (NHL 3.5) would normally be recommended. However, the proximity to salt water and a salt pile could pose weathering stresses that may dictate a stronger NHL such as an NHL 5. This denser NHL is generally compatible with historic masonry, but like with all structures, care should be taken to assess the state of the masonry to ensure denser mortars are appropriate. The advantage to a higher strength NHL like 5 is that it is more resistant to weathering, particularly from salts and sea air. The client should take care to assess the condition of the masonry before choosing an NHL strength, as NHL 5 should only be used on dense stone or brick. Regardless of the NHL strength, only St. Astier NHL is recommended here due to the specific mineralogy of the quarry which results in an NHL that is highly resistant to salts and sulfate, and gains strength more consistently in damp environments than other NHL brands.

NHL is a traditional building material which offers certain advantages over non-hydraulic lime materials, lime-Portland hybrids, and cement-based materials. Whereas materials based on slaked lime putty or dolomitic lime cure with a process of carbonation over extended periods of time, NHL achieves a cure time more quickly through hydration. Additionally, materials based on St. Astier® NHL are typically more durable than those based on non-hydraulic limes, yet more flexible, vapor-permeable, and sulfate resistant than lime-cement hybrids or cementitious materials.

Given that all the samples were approximately 1/4" to 3/8" profile of the joints on the building, a fine sand is recommended mixed in a ratio of 1 part lime to 2.5 parts sand in accordance with ASTM C1713, based on the joint thickness with an appropriate mix of grain sizes distributed between the #30 and #100 sieves. The sand should be dry, clean, sharp, and contain a mixture of particle sizes and shapes to best optimizing the mortar properties. Color matching can be achieved either through the use of colored aggregates or by using a alkali-stable, UV-stable dry powdered pigment.



Sample 1 compared to the recommended product substitution (color-corrected fluorescent light).



Sample 2 compared to the recommended product substitution (color-corrected fluorescent light).

1) Sample 1: Color-wise, the color of the mortar is a very close match to LimeWorks **Ecologic Mortar DGM SCG (F) Non-Pigmented**.

2) Sample 2: From the LimeWorks product line, **Ecologic Mortar SCG (F) in 90% DGM 050/ 10% DGM 250 W/XF Slag Fleck** is close in color and graduation to Sample 2.

² United States, Department of the Interior, National Park Service Technical Preservation Services, The Secretary of the Interior's Standard for the Treatment of Historic Properties, ed. Anne E. Grimmer, 2017, (accessed November 4, 2020, <https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>), 84.



It is the client's responsibility to perform appropriate mock ups or other tests to determine if these mortars are acceptable. If selected, these products can be ordered in any quantity by speaking to a LimeWorks.us representative.

Please Note: While analysis suggests the recommended mortar is an appropriate substitution for the historic mortar, if the mortar needs to be *recreated* and not simply *substituted*, additional analysis will be required to better understand the specific aggregates, binders, or other material in the sample. Product recommendations are provided as a good faith courtesy and are not warranties or guarantees. It is the responsibility of the client and any relevant stakeholders to determine final product suitability and selection. Please speak to a LimeWorks.us representative to discuss timetables, pricing, and additional testing options if any additional services or products are necessary.



Section 4.0: Testing Methodology

Testing is completed by an architectural conservator specializing in masonry and with sufficient education and experience to meet the American Institute for Conservation's qualifications for a conservator and bound by the AIC's Code of Ethics; or an experienced lab technician under the observation and review of an architectural conservator. Reports are written by the same and reviewed according to LimeWorks.us strict quality control standards. All testing is performed in a laboratory conditioned to ASTM C511 specifications for a mortar mixing room.

The approximate composition of the material was determined by referencing the Jedrzejewska analytical method with a calcimeter and techniques conforming to the specifications outlined in ASTM D4373.¹ This technique essentially breaks down a sample into constituent parts and provides data on the nature of the binder by gauging the extent of its reaction with hydrochloric acid (HCl). As HCl dissolves bicarbonates of calcium carbonate (CaCO_3) and magnesium calcium dicarbonate ($\text{CaMg}(\text{CO}_3)_2$) compounds found in lime and (to a lesser extent) cement binders, carbon dioxide (CO_2) is produced. While not absolute and open to a degree of interpretation, by using standard gas/temperature/pressure laws, it is possible to calculate approximate amounts of carbon dioxide released during the acid digestion of the sample providing a reasonable estimation of the amount of carbonates present in the binder of the sample. Data obtained during experimentation was compared with published experimental standards based on known mixes to arrive at conclusions about the composition of all samples.² This method has its limits, as it can only give an approximation which can be skewed in the presence of certain additives like gypsum, and cannot differentiate between calcium-carbonate and magnesium-carbonate. Aggregates made of acid soluble material such as shells, marble, or limestone may also not be adequately characterized. A certain amount of error can be introduced by the process of crushing the sample for acid digestion, especially in mortars that require a great deal of force to pulverize.

Insoluble portions of the aggregate were retained and washed, while fine particulates of the material were captured in 20-25 μm filter paper and retained. The aggregate was dried and weighed, and evaluated according to particulate size with a Standard U.S. Sieve Stack corresponding to ASTM E11 as outlined in ASTM C136. Sorted aggregate was then examined microscopically for particle sphericity, roundness, color, sorting, and other physical properties. Fine particulates, once filtered, were dried, weighed, and examined visually and microscopically. Color classification is performed using the Munsell Color System in accordance with ASTM D1535.

All microscopic examination was conducted using a Nikon SMZ-2T trinocular reflected light microscope, illuminated by an AmScope 312W-2GOP LED daylight-balanced illuminator. Photographs of samples were captured using a Canon EOS T5 DSLR camera with a special lens designed to make use of the microscope's trinocular bay. All photographs were then color corrected using Adobe Photoshop.

The degree of testing discussed herein is sufficient to establish a basic understanding about the composition of the materials supplied to our laboratory. That said, gravimetric analysis and tests which utilize acid digestion constitute an inexact science, relying substantially on the experience and interpretation of the analyst as well as comparison with materials with known composition. As such, this report should not be interpreted as providing absolute objective composition data on the material. Petrographic analysis including examination of thin sections in transmitted polarizing light and/or elemental analysis would be required to identify mineral phases which are specific to different types of cementing material and to unequivocally quantify the amount of lime and/or cement present. If analysis in accordance with testing procedures described in ASTM C1324 is desired, micro-chemical characterizations may be expanded upon with elemental analysis using techniques such as X-Ray Diffraction (XRD), petrography, and/or physical characterizations of thin sections using transmitted and polarized light microscopy.

¹ Hanna Jedrzejewska, "Old Mortars in Poland: A New Method of Investigation," *Studies in Conservation* 5, no. 4 (November 1960): , doi:10.2307/1505237.

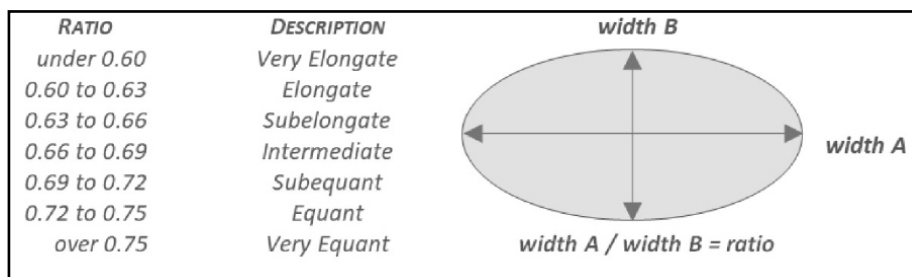
² James Christopher Frey, *Exterior Stuccoes as an Interpretive and Conservation Asset: The Aiken-Rhett House*, Charleston, SC, Master's thesis, University of Pennsylvania, 1997 (Philadelphia, PA: University of Pennsylvania, 1997); John Stewart and James Moore, "Chemical Techniques of Historic Mortar Analysis," *Bulletin of the Association for Preservation Technology*, Vol. 14, No. 1 (Washington: APT, 1982), 11-16.

Section 5.0: Definitions¹

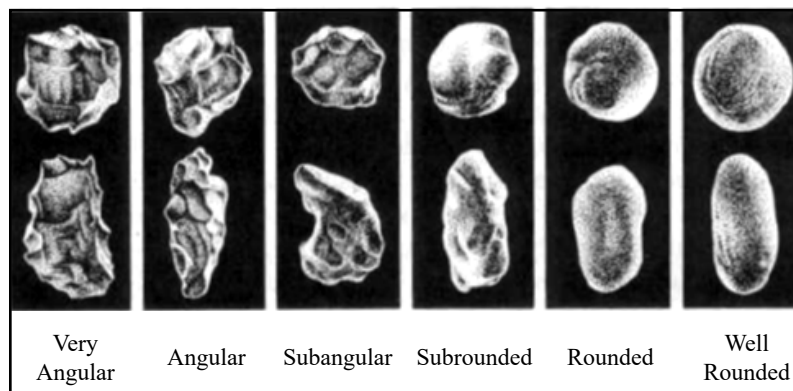
- Grading:** Grading is a measurement of how well distributed particulate sizes are within the aggregate of a sample. A sample with a broad, even distribution of grains from small to large is considered well-graded. Grading of materials helps predict certain properties of a mortar, such as shrinkage, porosity, permeability, and curing behavior. Appropriate grading for modern mortars is governed by ASTM C144, but historic mortars will vary widely from modern specifications. Typically, modern mortar sands will have a fineness modulus between 2.1 and 3.2, with smaller numbers indicating a finer sand and larger a coarser sand.
- Hardness:** Hardness is a subjective measurement of how difficult the mortar is to snap or pulverize. Hardness can also be characterized using the Mohs Hardness Scale, which is a qualitative scale ranking an objects hardness by its resistance to being scratched by harder objects. For example, a sample with a Mohs rating of 5 will be scratched by (but cannot scratch) a 6, while being able to scratch (but not be scratched) by a 4. The Mohs Scale is based on a comparison to the hardness of known minerals.

Hardness	1	2	3	4	5	6	7	8	9	10
Mineral	Talc	Gypsum	Calcite	Fluorite	Apatite	Feldspar	Quartz	Topaz	Corundum	Diamond

- Sphericity:** Sphericity compares the size of individual particles to how close they approach a perfect sphere. Samples very close to a sphere are said to be “very equant,” while samples that are more distant from spherical are said to be “very elongate.”

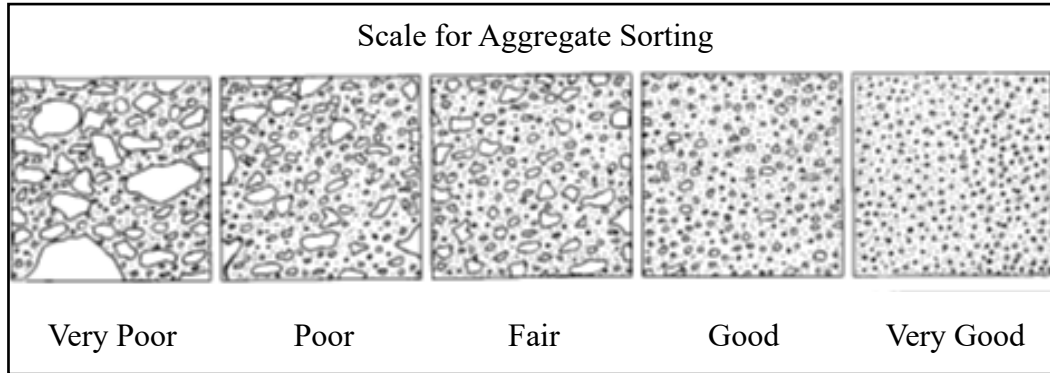


- Roundness:** Roundness is an observation of the sharpness of the edges and corners of a particle. A particle that is significantly worn by abrasion to the point that it appears smooth is considered *well-rounded*, while a particle that appears cleaved with very sharp edges and little abrasion is considered *very angular*.

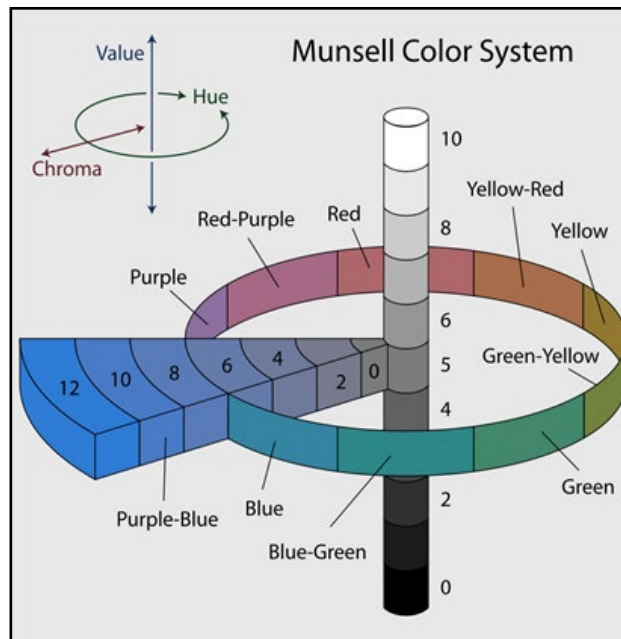


¹ Definitions and figures adapted from “Characterization of Granular Samples by Sieve Analysis,” Graduate Department of Historic Preservation, HSPV 555, Spring 2016 (Philadelphia: University of Pennsylvania, 2016).

- Sorting:** Sorting is a description of the degree of distribution of particles of varying size and shape within an individual sample. Samples that are *well-sorted* have nearly homogeneous size and shape distribution, while those that are *poorly sorted* have heterogeneous size and shape distribution.



- Color:** Because color is subjective, the Munsell Color System attempts to classify the visual experience of color into perceived attributes of hue, lightness, and chroma. These values only apply to opaque samples that are viewed by individuals with healthy color vision in daylight conditions. This method provides a simple, more cost effective alternative to analytical procedures such as spectrophotometry. Munsell notations are given a number-letter-number combination in the form number-letter-slash-number representing Munsell hue (H), Munsell value (V), and Munsell chroma (C). A Munsell color guide also assigns each value an official name. Color classification using the Munsell Color System is performed in accordance to the procedures outlined in ASTM D1535.





205 MARKET STREET - PORTSMOUTH NH
HISTORIC DISTRICT COMMISSION MEETING
JUNE 2, 2021

APPENDIX

C: BRICK RESTORATION CLEANER



Sure Klean®

CLEANING & PROTECTIVE TREATMENTS

Heavy Duty Restoration Cleaner

Sure Klean® Heavy Duty Restoration Cleaner is a concentrated acidic cleaning compound for the removal of heavy atmospheric staining from unpolished masonry. Used properly, Heavy Duty Restoration Cleaner dissolves heavy carbon and many other stains commonly found on masonry buildings in highly polluted areas. Dilute with water to produce a cost-effective, general-purpose restoration cleaner for brick, granite, sandstone, slate, terra cotta and many other masonry surfaces.

ADVANTAGES

- Cost-effective concentrate reduces shipping, storage and container disposal costs.
- Proven effective for cleaning the dirtiest buildings.
- Safer than sandblasting. Will not damage masonry when properly used.

Limitations

- Repeated application, or use when diluted with less than three parts fresh water, may damage some masonry surfaces. Use Sure Klean® Light Duty Restoration Cleaner or Sure Klean® Restoration Cleaner where possible.
- Not for interior use. Use Sure Klean® Light Duty Restoration Cleaner.
- Not suitable for polished stone surfaces. Use Sure Klean® Light Duty Restoration Cleaner.

REGULATORY COMPLIANCE

VOC Compliance

Sure Klean® Heavy Duty Restoration Cleaner is compliant with all national, state and district VOC regulations.

TYPICAL TECHNICAL DATA

FORM	Clear, colorless liquid
SPECIFIC GRAVITY	1.132
pH	2.2 @ 1:3 dilution
WT/GAL	9.42 lbs
ACTIVE CONTENT	not applicable
TOTAL SOLIDS	not applicable
VOC CONTENT	not applicable
FLASH POINT	not applicable
FREEZE POINT	no data
SHELF LIFE	3 years in tightly sealed, unopened container

SAFETY INFORMATION

Always read full label and SDS for precautionary instructions before use. Use appropriate safety equipment and job site controls during application and handling.

24-Hour Emergency Information:
INFOTRAC at 800-535-5053

Product Data Sheet

Sure Klean® Heavy Duty Restoration Cleaner

PREPARATION

Protect people, vehicles, property, plants and all non masonry surfaces from cleaner, rinse, fumes, and wind drift. Protect and/or divert auto and pedestrian traffic. This product is corrosive, etches glass and architectural aluminum and is harmful to wood, painted surfaces and foliage.

Complete cleaning before installing windows, doors, hardware, light fixtures, roofing materials and any other non masonry items. If such fixtures have been installed, protect before application of cleaner.

All caulking and sealant materials should be in place and thoroughly cured before cleaning begins.

Avoid exposing building occupants to fumes. On occupied buildings, cover all windows, air intakes and exterior air conditioning vents. Shut down air handling equipment during cleaning and until surfaces are thoroughly dry.

Fumes attack glass, metal and all other acid-sensitive surfaces.

Recommended for these substrates. Always test. Coverage is in sq.ft./m. per gallon of concentrate.

<i>Substrate</i>	<i>Type</i>	<i>Use?</i>	<i>Coverage</i>
Architectural Concrete Block	Burnished	no	N/A
	Smooth	no	
	Split-faced	no	
	Ribbed	no	
Concrete	Brick	no	N/A
	Tile	no	
	Precast Panels	no	
	Pavers	no	
	Cast-in-place	no	
Fired Clay	Brick	yes	125–400 sq.ft.
	Tile	yes	
	Terra Cotta	yes	28–47 sq.m.
	Pavers	yes	
Marble, Travertine, Limestone	Polished	no	N/A
	Unpolished	no	N/A
Granite	Polished	no	N/A
	Unpolished	yes	100–175 sq.ft. 9–16 sq.m.
Sandstone	Unpolished	yes	100–175 sq.ft. 9–16 sq.m.
Slate	Unpolished	yes	100–175 sq.ft. 9–16 sq.m.

Repeated applications may damage some surfaces. Always test to ensure desired results. Coverage estimates depend on surface texture and porosity.

Surface and Air Temperatures

Best cleaning results are obtained when air and masonry surface temperatures are 40° F (4° C) or above. Cleaning when temperatures are below freezing or will be overnight may harm masonry. If freezing conditions exist prior to application, let masonry thaw.

Equipment

Apply using an acid-resistant brush or low-pressure (50 psi max) airless spray equipment. Equipment should be fitted with acid-resistant hoses and gaskets to avoid discoloration. Pressure spray above 50 psi drives the chemicals deep into the surface, making it difficult to rinse completely, and may result in staining.

Rinse with enough water and pressure to flush spent cleaner and dissolved soiling from the masonry surface and surface pores without damage. Inadequate rinsing leaves residues which may stain the cleaned surface.

Masonry-washing equipment generating 400–1000 psi with a water flow rate of 6–8 gallons per minute is the best water/pressure combination for rinsing porous masonry. Use a 15–45° fan spray tip. Heated water (150–180° F; 65–82° C) may improve cleaning efficiency. Use adjustable equipment for reducing water flow-rates and rinsing pressure as needed for sensitive surfaces.

Rinsing pressures greater than 1000 psi and fan spray tips smaller than 15° may permanently damage sensitive masonry. Water flow-rates less than 6 gallons per minute may reduce cleaning productivity and contribute to uneven cleaning results.

Storage and Handling

Store in a cool, dry place with adequate ventilation. Always seal container after dispensing. Do not alter or mix with other chemicals. Published shelf life assumes upright storage of factory-sealed containers in a dry place. Maintain temperature of 45–100° F (7–38° C). Do not double stack pallets. Dispose of unused product and container in accordance with local, state and federal regulations.

APPLICATION

Read “Preparation” and the Safety Data Sheet before use. **ALWAYS TEST** a small area of each surface to confirm suitability and desired results before beginning overall application. Test each type of masonry and each type of stain. Test with the same equipment, recommended surface preparation

Product Data Sheet

Sure Klean® Heavy Duty Restoration Cleaner

and application procedures planned for general application. Let test area dry 3–7 days before inspection and approval. Make the test panel available for comparison throughout the cleaning project.

Dilution

Sure Klean® Heavy Duty Restoration Cleaner must be diluted with fresh water before application. Failure to dilute may result in bleaching of the masonry's natural color.

When diluting, always pour cold water into bucket first, then carefully add product. Acidic materials will attack metal. Use polyethylene or polypropylene buckets only.

- *Porous Masonry*: dilute 1 part concentrate to 3 parts water, depending on test results.
- *Nonporous Masonry (glazed brick, terra cotta)*: dilute 1 part concentrate to 4 to 6 parts water, depending on test results.

Application Instructions

1. Working from the bottom to the top, prewet the surface with clean water.
2. Apply using a brush or low-pressure spray.
3. Let the cleaning solution stay on the surface for 3 to 5 minutes. Reapply. Gently scrub heavily soiled areas. Do not let cleaner dry on the surface. If drying occurs, lightly wet treated surfaces with fresh water and reapply in a gentle scrubbing manner.
4. Rinse with low-pressure flood rinse to remove initial acidic residue with minimum risk of wind drift.
5. Rinse thoroughly using high-pressure spray, from the bottom of the treated area to the top covering each section of the surface with a concentrated stream of water. To avoid streaking, keep wall below wet and rinsed free of cleaner and residues.

Cleanup

Clean tools and equipment using fresh water.

WARRANTY

The information and recommendations made are based on our own research and the research of others, and are believed to be accurate. However, no guarantee of their accuracy is made because we cannot cover every possible application of our products, nor anticipate every variation encountered in masonry surfaces, job conditions and methods used. The purchasers shall make their own tests to determine the suitability of such

products for a particular purpose.

PROSOCO, Inc. warrants this product to be free from defects. **Where permitted by law, PROSOCO makes no other warranties with respect to this product, express or implied, including without limitation the implied warranties of merchantability or fitness for particular purpose.**

The purchaser shall be responsible to make his own tests to determine the suitability of this product for his particular purpose. PROSOCO's liability shall be limited in all events to supplying sufficient product to re-treat the specific areas to which defective product has been applied. Acceptance and use of this product absolves PROSOCO from any other liability, from whatever source, including liability for incidental, consequential or resultant damages whether due to breach of warranty, negligence or strict liability. This warranty may not be modified or extended by representatives of PROSOCO, its distributors or dealers.

CUSTOMER CARE

Factory personnel are available for product, environment and job-safety assistance with no obligation. Call 800-255-4255 and ask for Customer Care – technical support.

Factory-trained representatives are established in principal cities throughout the continental United States. Call Customer Care at 800-255-4255, or visit our web site at www.prosoco.com, for the name of the PROSOCO representative in your area.

BEST PRACTICES

Apply using an acid-resistant brush or low-pressure airless spray equipment fitted with acid-resistant hoses and gaskets to avoid discoloration.

Do not use spray equipment above 50 psi. Pressure spray above 50 psi drives the chemicals deep into the surface, making it difficult to rinse completely, and may result in staining.

Heavy Duty Restoration Cleaner must be diluted with fresh water before application. Failure to dilute may result in bleaching of the masonry's natural color. When diluting, always pour cold water into bucket first, then carefully add product. Acidic materials will attack metal. Use polyethylene or polypropylene buckets only.

Never go it alone. For problems or questions, contact your local PROSOCO distributor or field representative. Or call PROSOCO technical Customer Care toll-free at 800-255-4255.



205 MARKET STREET - PORTSMOUTH NH
HISTORIC DISTRICT COMMISSION MEETING
JUNE 2, 2021

APPENDIX

D: STORM WINDOW SPECIFICATIONS



CONCORD DOUBLE HUNG MODEL 696

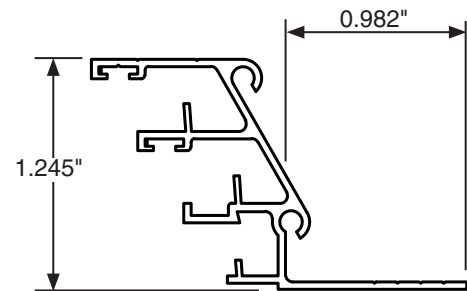
GENERAL INFORMATION:

- The 696 is an aluminum double hung storm window.
- The 696 is a 3-track model that allows the inside screen and two sashes to operate independently.
- The 696 is standard with an INSIDE 1/2 screen. A full screen is optional for an up charge. Both screens are available with various mesh options.
- The 696 is standard with a 1" bottom expander.
- The 696 is available as an Oriel Style window. A custom CMR (center meeting rail) measurement must be provided.

STANDARD FEATURES:

- Color matched installation screws.
- Marine glazed.
- Rustproof screws and clips.
- 1" bottom expander standard.
- Can accommodate side expanders.
- Pre-punched installation holes.
- Mid-window stabilizer bar.
- Full weatherstripped frame.
- Ratcheted sash stops every 1/4"
- Screw Corner Construction
- Interlocking meeting rail.

696 Frame Extrusion Detail



MODEL 696: PART ID and PART # REFERENCE

Full Perimeter Weatherstripping: S-WS-597-00

Mid-Window Stabilizer Bar: S-AE-4167-CC

Wrap-Around Marine Glazing:

Single Strength ($\frac{3}{32}$ " thickness): S-VS-455-13

Double Strength ($\frac{1}{8}$ " thickness): S-VS-456-13

Sash Bolt Assembly,

Right Latch Bolt: S-HG-145-13

Left Latch Bolt: S-HG-144-13

Spring Retainer: S-HG-347-00

1" Bottom Expander (Standard): S-AE-4151-CC

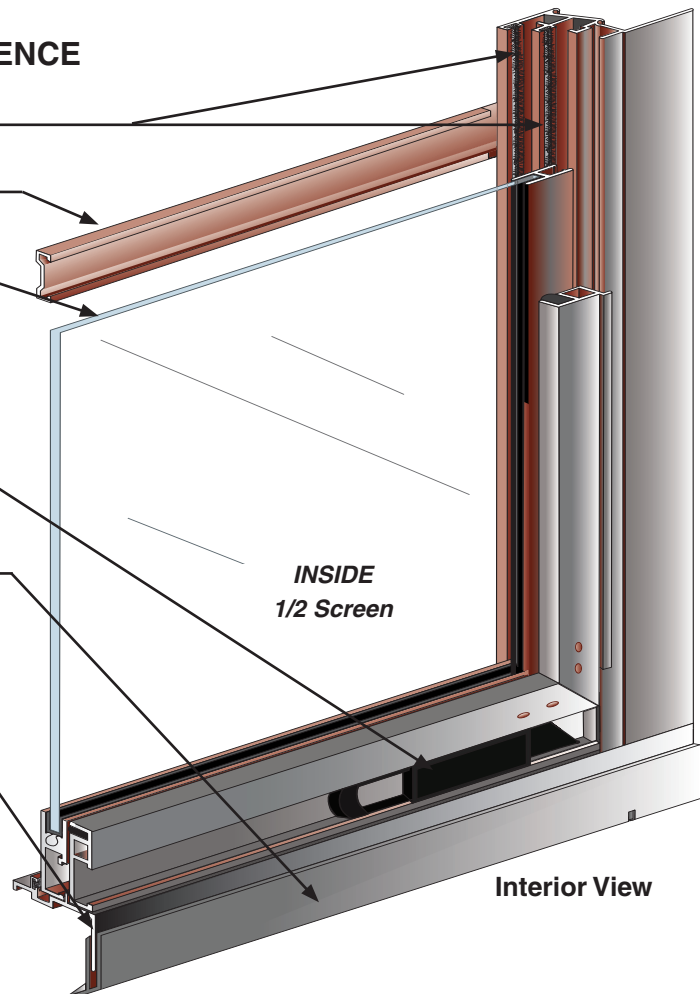
(1 3/4" Bottom Expander Optional)

*Bottom expanders are weeped for drainage

Master Frame, Bottom Sill: S-AE-4227-CC

(Sill leg measures 1.210")

NOTE: The 696 Storm Window Flange is punched with installation holes $\frac{1}{8}$ " from the edge.





CONCORD DOUBLE HUNG MODEL 696 (CONTINUED)

MODEL 696: PART ID and PART # REFERENCE

Master Frame, Header: S-AE-4150-CC
(Measures 0.590")

Master Frame, Sides: S-AE-4120-CC
(Measures 0.952")

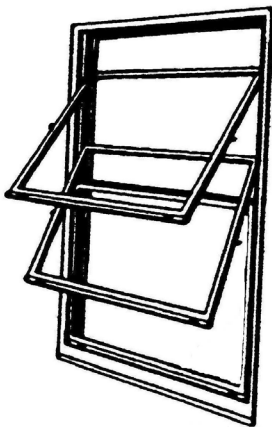
Additional Parts Not Shown:

1/8" x 1/4" Aluminium Pop Rivet: S-HG-613-CC

6 x 1" w/ 3/8" Lead Point SS: S-HS-369-00

Installation Screw Pack # S-HS-783P-01 (White)
or Pack # S-HS-783S-CC (For all other color options)
w/ 6 x 1/2" Pan Head Screws: S-HS-783-CC

**CC represents the color code. Each available color is represented by a two-digit number.*



Removable Tilt-In Sashes with Anti-Bow Pins:
S-HG-662-13



Right Latch Bolt: S-HG-145-13
Left Latch Bolt: S-HG-144-13



Self Storing Swivel Sash Key:
S-HG-660-13



205 MARKET STREET - PORTSMOUTH NH
HISTORIC DISTRICT COMMISSION MEETING
JUNE 2, 2021

APPENDIX

E: SNOW GUARD SPECIFICATIONS

The right way to attach almost anything to metal roofs!

S-5![®]

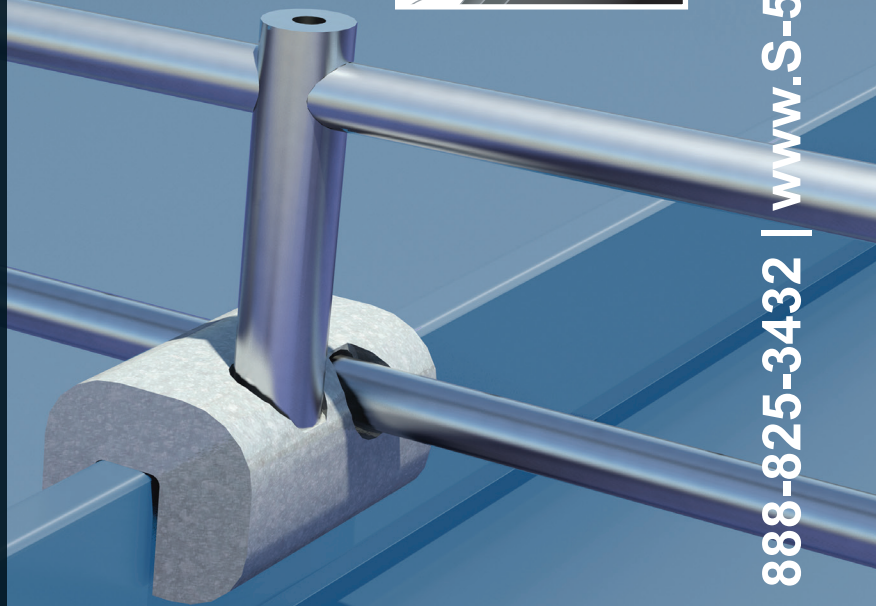
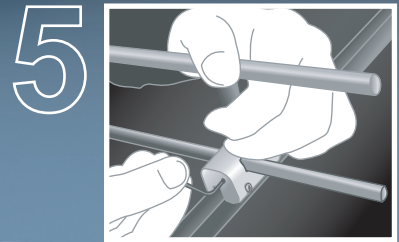
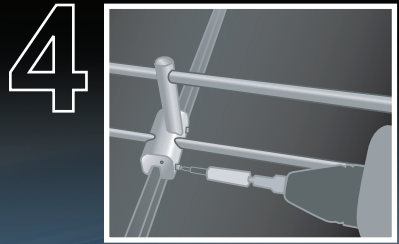
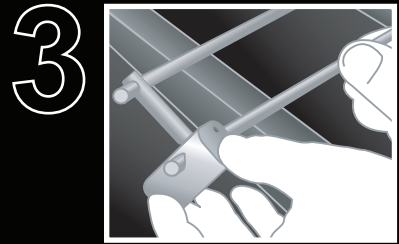
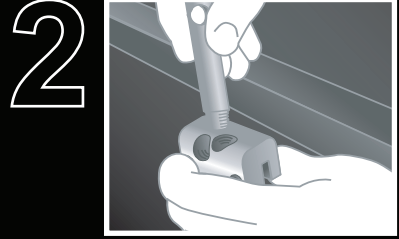
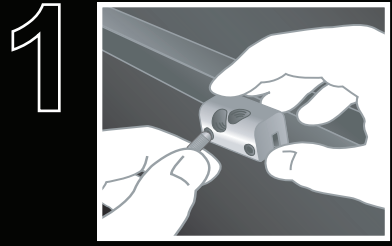
The Right Way!

Why Snow Retention?

When snow accumulations begin to melt, the result can be catastrophic as the blanket of snow avalanches off the roof, dumping tons of snow onto anything in its path, damaging landscape, gutters, adjacent roofs, and vehicles, and causing injury or death to passers-by. SnoRail™ and SnoFence™ can dramatically reduce these risks associated with rooftop avalanches, maintaining the clean lines of the roof and lasting as long as the roof itself! SnoRail and SnoFence can be designed and engineered on a site-specific basis.

Why SnoRail™/SnoFence™?

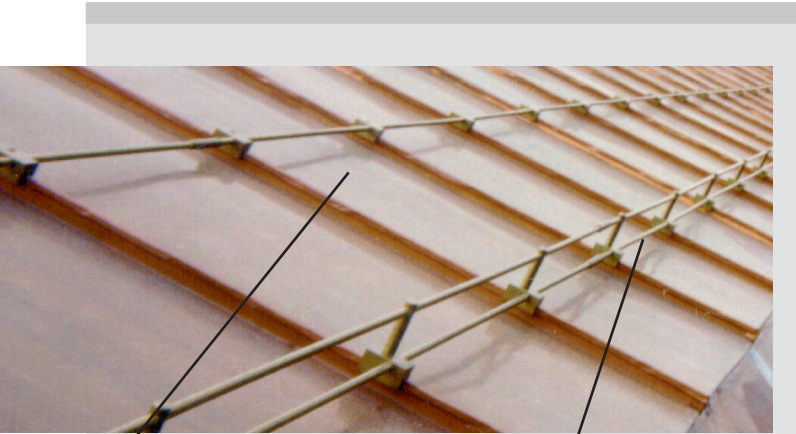
Architects and roof designers agree: the clean lines, cylindrical shapes and high-tech look of our SnoRail and SnoFence systems present an attractive solution to snow retention problems! They function without cluttering the lines of the roof. With up to six times the strength of adhesively-mounted devices, and without the high labor costs and inconsistencies of soldered snow guards, S-5![®] offers the perfect, long term, dependable solution for traditional standing seam and sheet copper roofing. The SnoRail and SnoFence systems are mechanically attached with S-5! clamps utilizing our round-point setscrews—designed not to “pin” or “fix” the roof panels to the building, leaving thermal movement unrestricted.



S-5![®]

The Right Way!

Whether aluminum or brass, our SnoRail™ and SnoFence™ systems offer a sleek, stylish design. Utilizing patented S-5![®] clamp technology, this snow retention system doesn't pierce the metal roofing, thereby protecting roof coatings and weather-tightness warranties.



SnoRail – Brass

SnoFence – Brass

The **SnoRail™ and SnoFence™** system is available in brass for use on copper batten or standing seam roofs and in aluminum for other standing seam roofing materials.

SnoRail™

One SnoRod™* is inserted through the S-5-A SF or S-5-B SF clamps, positioning it just above the panel seams. The resulting assembly is called SnoRail. SnoRod is available in brass and stainless steel.

SnoFence™

With an assembled SnoRail System, simply thread one SnoPost™ into the S-5-A SF or S-5-B SF clamp, and then add a second SnoRod two inches above the first. The resulting double-rod assembly is called SnoFence. SnoPost is available in brass and stainless steel.

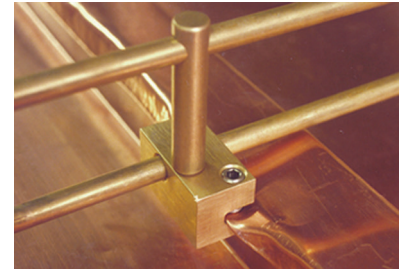
Installation is easy: The S-5![®] clamp mechanically attaches to the panel seam by inserting and tightening our patented round-point setscrews to the specified tension (see www.S-5.com). These setscrews will slightly dimple the seam material, but not pierce it. Our patented clamps offer durability unequaled by chemical bonds and adhesives that degrade with time and exposure.



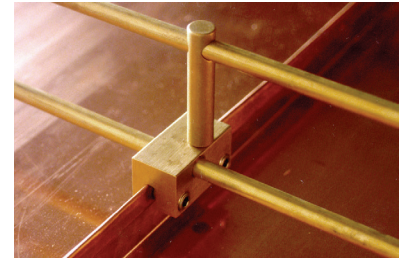
*Not supplied by S-5!

SnoRail™ and SnoFence™

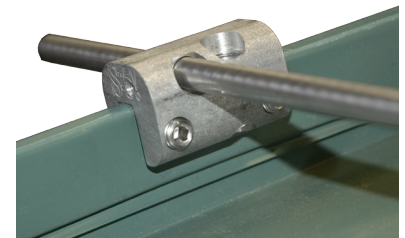
SnoFence – Brass on copper batten seam



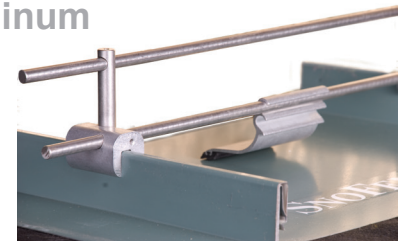
SnoFence – Brass on copper standing seam



SnoRail - Aluminum



SnoFence - Aluminum



S-5![®] Warning! Please use this product responsibly!

Products are protected by multiple U.S. and foreign patents. Visit the website at www.S-5.com for complete information on patents and trademarks. For maximum holding strength, setscrews should be tensioned and re-tensioned as the seam material compresses. Clamp setscrew tension should be verified using a calibrated torque wrench between 160 and 180 inch pounds when used on 22ga steel, and between 130 and 150 inch pounds for all other metals and thinner gauges of steel. Consult the S-5! website at www.S-5.com for published data regarding holding strength.

Copyright 2014, Metal Roof Innovations, Ltd. S-5! products are patent protected. S-5! aggressively protects its patents, trademarks, and copyrights. Version 102714.

Distributed by



205 MARKET STREET - PORTSMOUTH NH
HISTORIC DISTRICT COMMISSION MEETING
JUNE 2, 2021

APPENDIX

F: EXISTING CONDITIONS PHOTOS

































PISCATAQUA RIVER

© 2021 Google

OLD HARBOUR

205 MARKET STREET
PORTSMOUTH, NEW HAMPSHIRE

AERIAL VIEW OF SITE AND SURROUNDINGS

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL: JUNE 2, 2021



1.0

ADD $\frac{3}{8}$ " THICK METAL STORM SHUTTERS
SIZE TO MATCH HISTORIC SHUTTERS

ADD TWO NEW COMMERCIAL SIGNS

ADD $\frac{3}{8}$ " THICK METAL STORM SHUTTERS
SIZE TO MATCH HISTORIC SHUTTERS

ADD (4) NEW EXTERIOR LIGHTING
FIXTURES

ADD (3) MOTORIZED TOUCHSCREEN
KEYPAD DEADBOLTS AT ENTRY DOORS



INSTALL NEW STANDING SEAM
COPPER METAL ROOFING AND
SNOW GUARDS

REPAIR AND RESTORE LOOSE BRICK
CORBEL DETAIL AT GUTTER LINE

REPLACE EXISTING GUTTER WITH
6" K-STYLE COPPER GUTTER

REPLACE EXISTING DOWNSPOUT WITH
3" SMOOTH ROUND COPPER
DOWNSPOUT

REPAIR, SANDBLAST, AND COLOR
GALVANIZE EXISTING SHUTTERS

ADD LIGHT MOUNTING BAR TO
SUPPORT (4) LIGHT FIXTURES

CLEAN / REPAIR EXISTING BASEMENT
HOPPER WINDOWS.

GENERAL NOTES:

1. REPAIR / CLEAN /RE-POINT BRICK
2. PAINT ALL EXTERIOR WOODWORK ON DOORS AND WINDOWS
3. REPLACE ALL STORM WINDOWS
4. WORK PERFORMED ON DORMERS WILL BE LIMITED TO PAINTING EXISTING WINDOW SASHES AND REPLACING STORM UNITS AS REQUIRED
5. ALL ABANDONED EXTERIOR WIRES AND BRACKETS WILL BE REMOVED IN PREPARATION FOR RE-POINTING.

205 MARKET STREET

PORTSMOUTH, NEW HAMPSHIRE

FRONT ELEVATION

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL: JUNE 2, 2021



2.0



RIGHT SIDE

GENERAL NOTES:

1. REPAIR / CLEAN / RE-POINT BRICK
2. PAINT ALL EXTERIOR WOODWORK ON DOORS AND WINDOWS
3. REPLACE ALL STORM WINDOWS



LEFT SIDE

205 MARKET STREET
PORTSMOUTH, NEW HAMPSHIRE

SIDE ELEVATIONS

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL: JUNE 2, 2021





GENERAL NOTES:

1. REPAIR / CLEAN / RE-POINT BRICK
2. PAINT ALL EXTERIOR WOODWORK ON DOORS AND WINDOWS
3. REPLACE ALL STORM WINDOWS

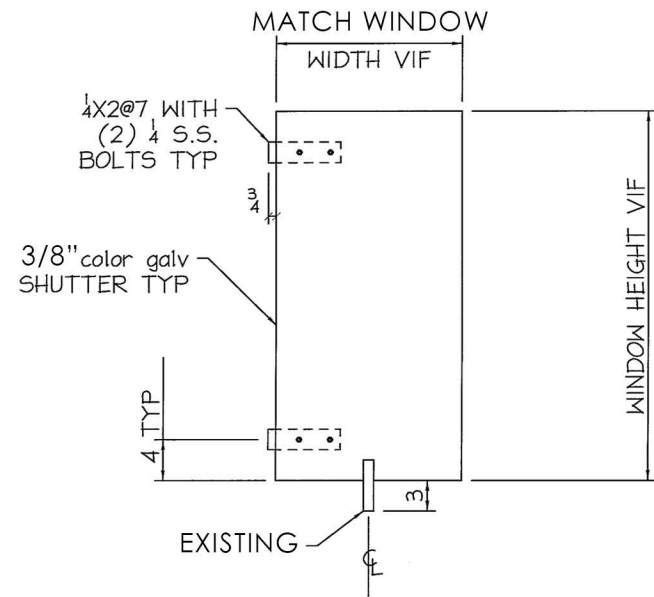
205 MARKET STREET
PORTSMOUTH, NEW HAMPSHIRE

REAR ELEVATION

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL: JUNE 2, 2021



2.2



SHUTTERS AND HARDWARE

MANUFACTURER: CUSTOM FABRICATED
COLOR: COLOR GALVANIZED (BLACK HC 190)



STORM WINDOWS

MANUFACTURER: GRANITE STATE GLASS
STYLE: PRO VIA - CONCORD
COLOR: WHITE ALUMINUM FRAMES



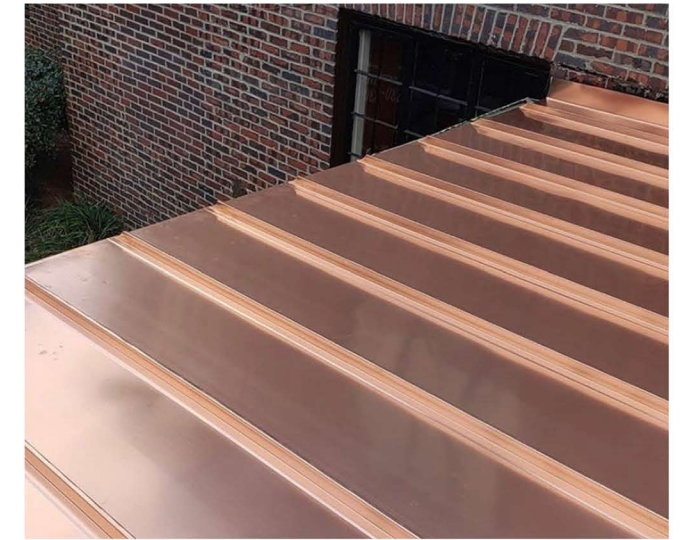
DOWNSPOUTS

MANUFACTURER: CUSTOM FABRICATED
STYLE: 3"SMOOTH ROUND
COLOR: 22 mil COLD ROLLED RED RIVER COPPER



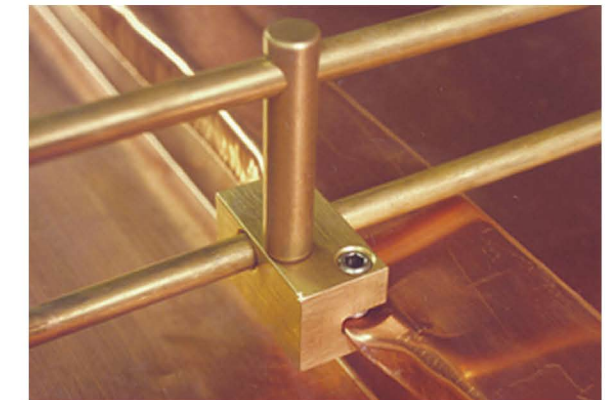
GUTTERS

MANUFACTURER: CUSTOM FABRICATED
STYLE: 6"K STYLE
COLOR: 22mil COLD ROLLED RED RIVER COPPER



METAL ROOFING

MANUFACTURER: CUSTOM FABRICATED
STYLE: STANDING SEAM 18"x24" PANELS
COLOR: 32 mil COLD ROLLED RED RIVER COPPER



SNOW GUARDS

MANUFACTURER: SNORAIL
STYLE: RAIL SYSTEM
COLOR: BRASS

205 MARKET STREET
 PORTSMOUTH, NEW HAMPSHIRE

PROPOSED MATERIALS

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL: JUNE 2, 2021



3.0



COMMERCIAL SIGNS

STYLE: 30" TRIANGLE BALL HANGING SIGN BRACKET
COLOR: BLACK



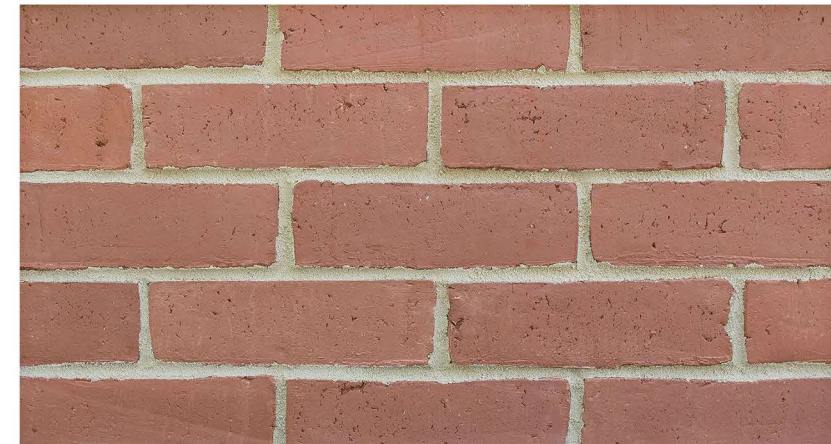
EXTERIOR LIGHTING (x4)

MANUFACTURER: HI LITE
STYLE: DEEP BOWL WAREHOUSE OUTDOOR WALL SCONCE
COLOR: BLACK



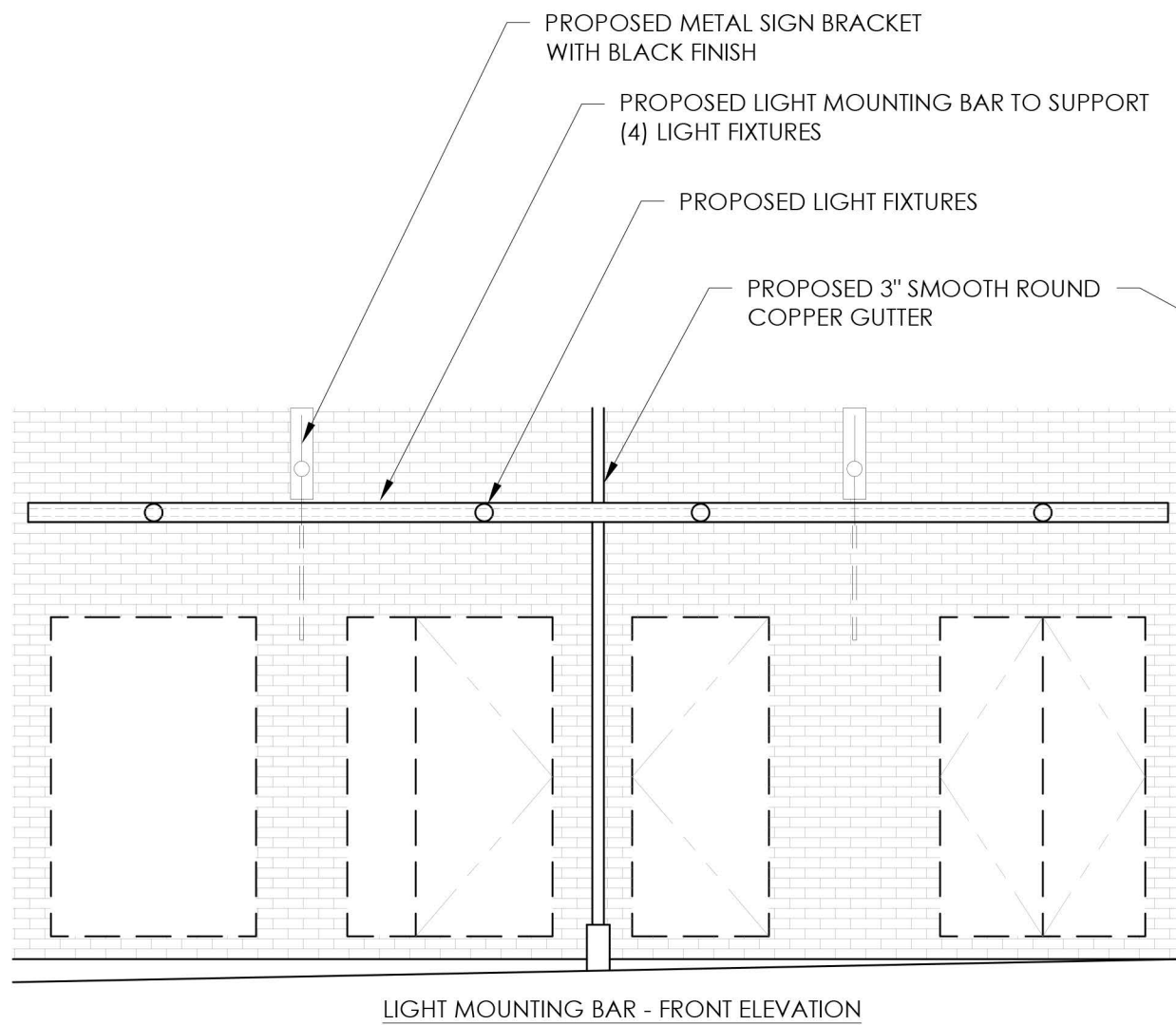
ACCESS CONTROL

MANUFACTURER: EMTEK
STYLE: EMPOWERED MOTORIZED TOUCHSCREEN KEY PAD
COLOR: BLACK



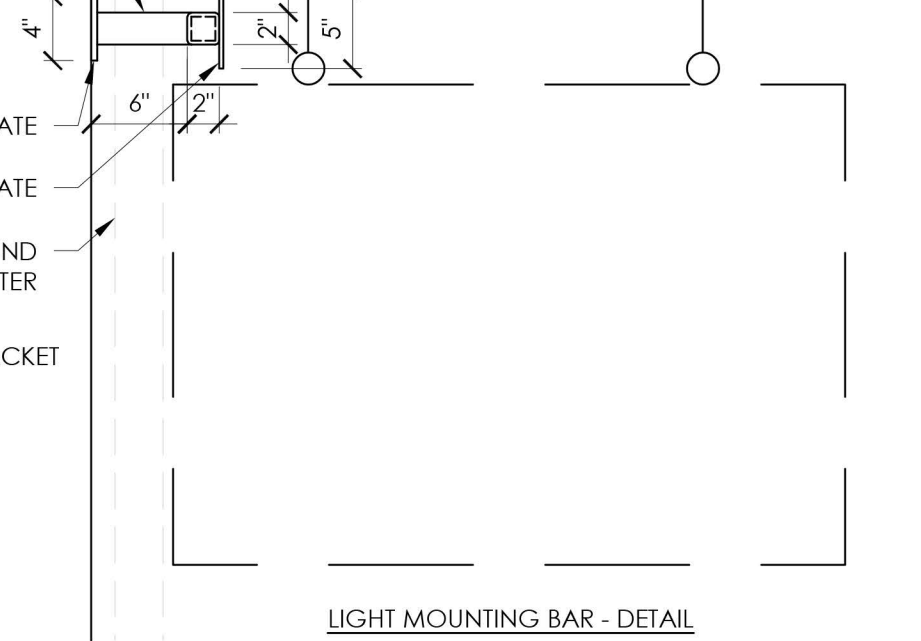
MASONRY BRICK

MANUFACTURER: MORIN BRICK
COLOR: COLONY RED WATERSTRUCK



PROPOSED METAL SIGN BRACKET WITH BLACK FINISH

2" x 2" GALVANIZED STEEL TUBING



205 MARKET STREET
PORTSMOUTH, NEW HAMPSHIRE

LIGHT MOUNTING BAR
ELEVATIONS AND DETAIL

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL: JUNE 2, 2021



4.0

7. 100 Market Street - Recommended Approval

Background: The applicant is seeking approval for a change to a previously approved design (change door head height from 11' to 10').

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

05/25/2021

LUHD-345

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: May 25, 2021

Applicant

Timothy Hart
 thart@canal5studio.com
 One Canal Plaza, #888
 Portland, Maine 04101
 207-553-2115 Ext.101

Location

100 MARKET ST
 Portsmouth, NH 03801

Owner:

100 MARKET STREET LLC
 PO BOX 1257 PORTSMOUTH, NH 03802

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Lowered door head height from 11' to 10' due to field conditions.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

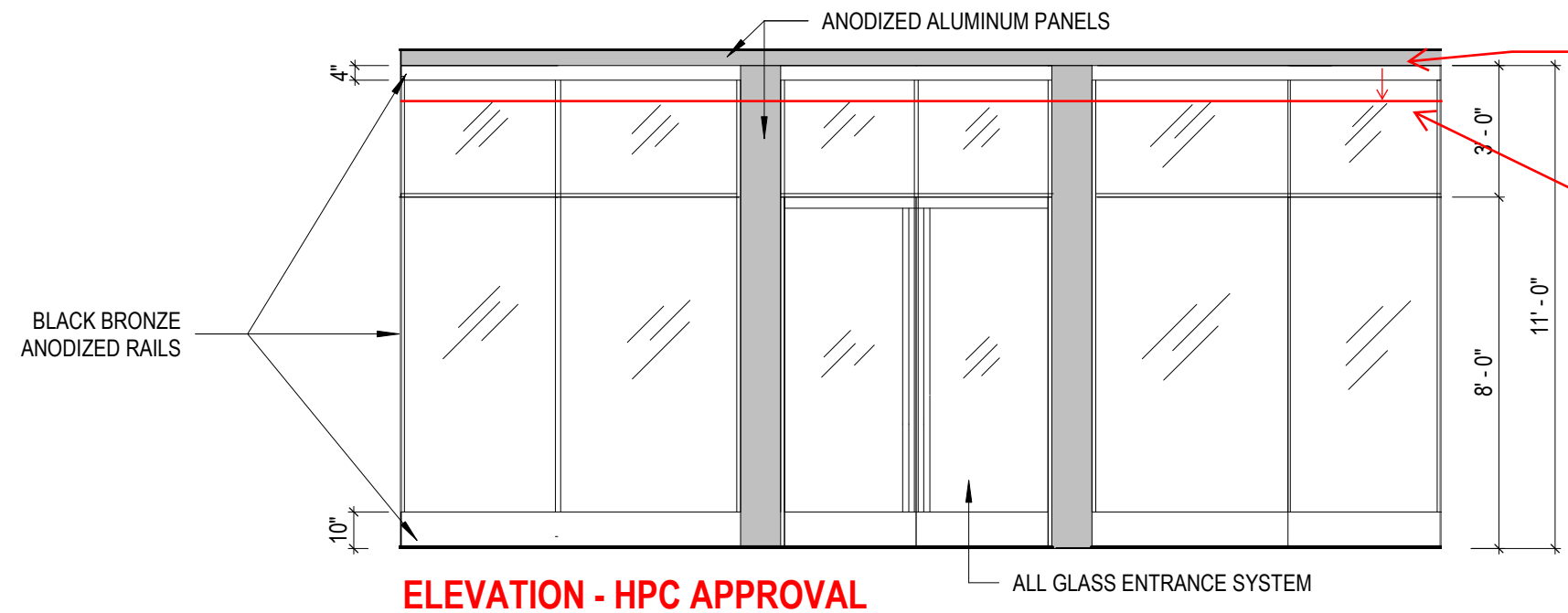
Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Business Name (if applicable)



This band had to be increased by 1 ft. due to the discovery of heavier structural steel at the window heads than anticipated.

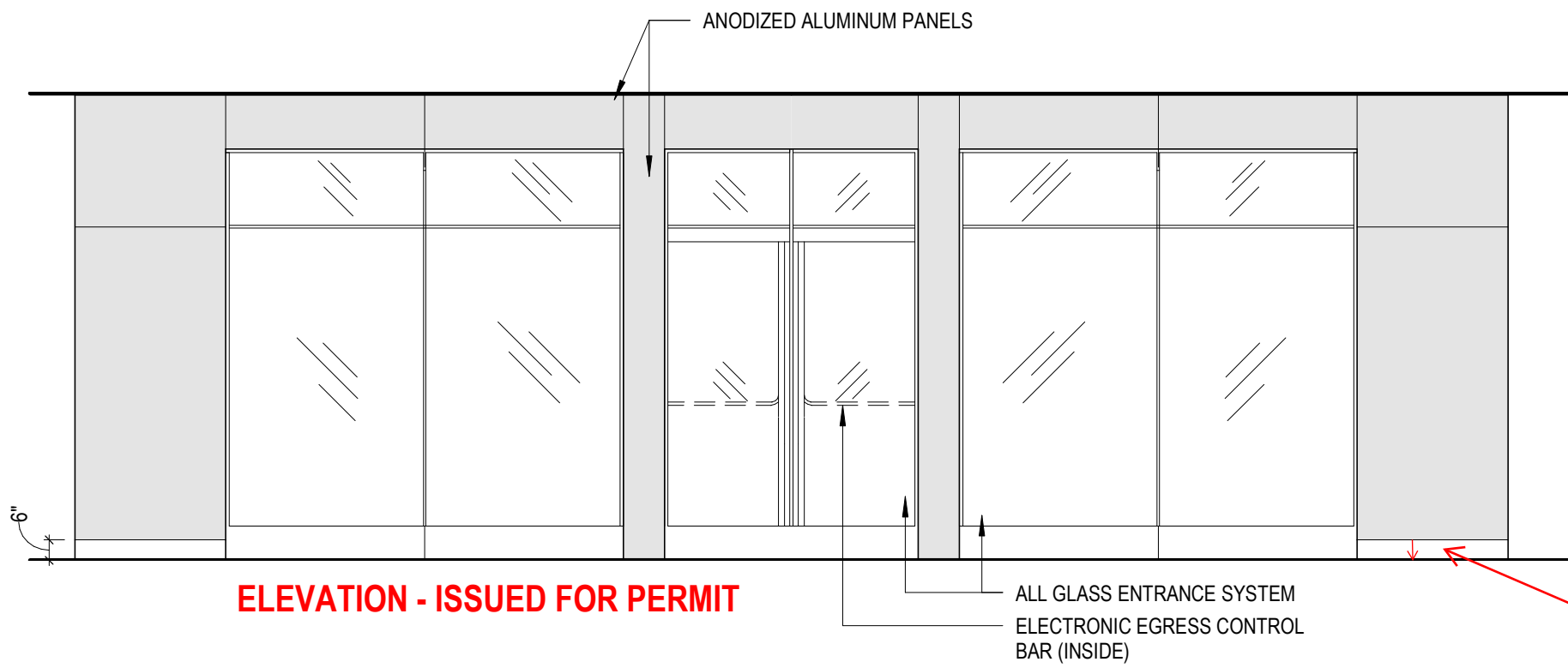
This pushed the window head down which reduced the depth of the transom.

ELEVATION - HPC APPROVAL

1 ENTRANCE ELEVATION
1/4" = 1'-0"



ENTRANCE SYSTEM - CR LAURENCE BLACK BRONZE ANODIZED WITH LONG "F-STYLE" HANDLES



ELEVATION - ISSUED FOR PERMIT

6 ENTRANCE ELEVATION
1/4" = 1'-0"

EXTERIOR GLAZING SYSTEM BASIS OF DESIGN: CR LAURENCE ALL GLASS STOREFRONT AND ENTRY SYSTEM. BLUMCRAFT ELECTRONIC EGRESS CONTROL HANDLES ON INTERIOR.

This building elevation simply provides a wider angle view than the earlier HPC elevation. It is showing all the same elements that were approved in the HPC plan, but for the benefit of the contractor we showed the anodized aluminum panels which were in the HPC plan drawing but not elevated. The 6" band you note is not a change but simply shows the bottom of the cladding relative to the pavers.

DECEMBER 16, 2020

<p>One Canal Plaza, Suite 888 Portland, Maine 04101</p> <p>207 553 2115 canal5studio.com</p>	<p>THIS DRAWING IS THE PROPERTY OF CANAL 5 STUDIO AND IS NOT TO BE COPIED OR REPRODUCED IN PART OR WHOLE. 2018 © CANAL 5 STUDIO</p>	Scale:	Project Title	REV.	DATE	DESCRIPTION	Project Status	Drawing Title	Drawing Number
		1/4" = 1'-0"	EXTERIOR RENOVATIONS				HDC APPLICATION	ENTRANCE ELEVATION	A2
		C5S Project No. 20002							

8. 66 Marcy Street - Recommended Approval

Background: The applicant is seeking approval to remove all hedges between the existing patio, parking lot, and Marcy Street and to install a new 4 ft. fence to be made of steel.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

05/26/2021

LUHD-346

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: May 25, 2021

Applicant

Ryan Lent
ryan@nnehospitality.com
PO Box 4117
Portsmouth, New Hampshire 03802
6038127775

Location

66 MARCY ST
Portsmouth, NH 03801

Owner:

STRAWBERRY BANKE INC & MOMBO
RESTAURANT
PO BOX 300 PORTSMOUTH, NH 03802

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

We are looking to remove the hedges on our front patio abutting the parking lot and Marcy St. We would like to install a 4" heavy steel fence with a classic wrought iron look. I have attached the photos and build sheet for the fence. Depending on cost estimates which we will obtain prior to the meeting, we may also consider a heavy industrial grade aluminum fence with a classic look. That build sheet is attached as well.

I hope to have approval for this project utilizing preferably the heavy steel, but possibly the aluminum to both enhance the ascetic of the property and the functionality, while keeping a classic feel.


Description of Proposed Work (Planning Staff)

--



Property Information
 Property ID 0104-0007-0009
 Location 72-74 JEFFERSON ST
 Owner STRAWBERRY BANKE INC

** PROPOSED LOCATION OF FENCE IS SAME AS EXISTING.*



MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

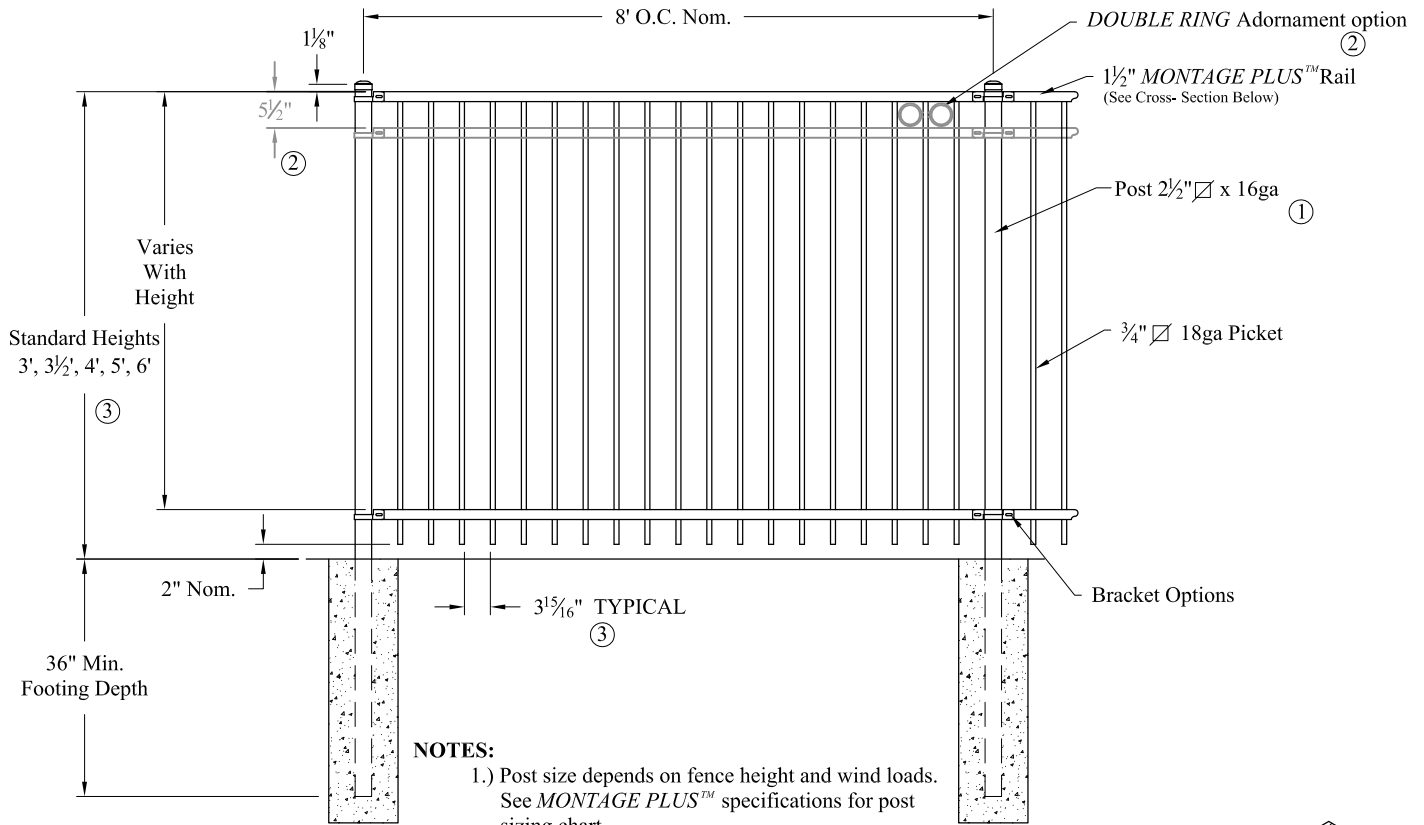
Geometry updated 4/1/2019
 Data updated 7/17/2019

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

Existing conditions:





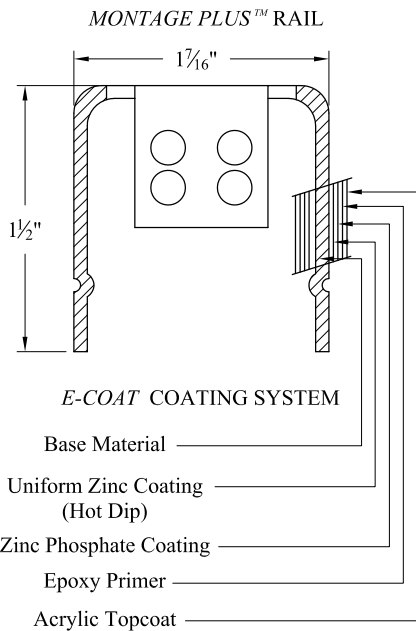


NOTES:

- 1.) Post size depends on fence height and wind loads. See MONTAGE PLUS™ specifications for post sizing chart.
- 2.) Third rail required for Double Rings.
- 3.) Available in 3" air space and/or Flush Bottom on most heights.

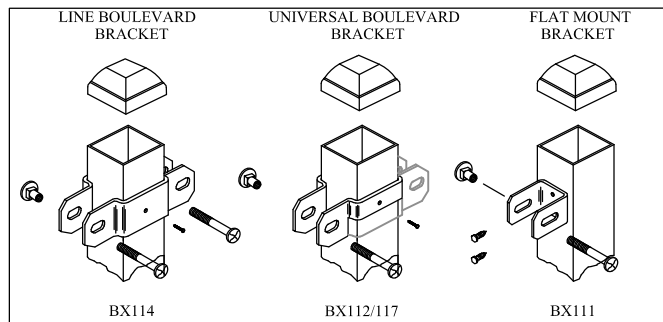
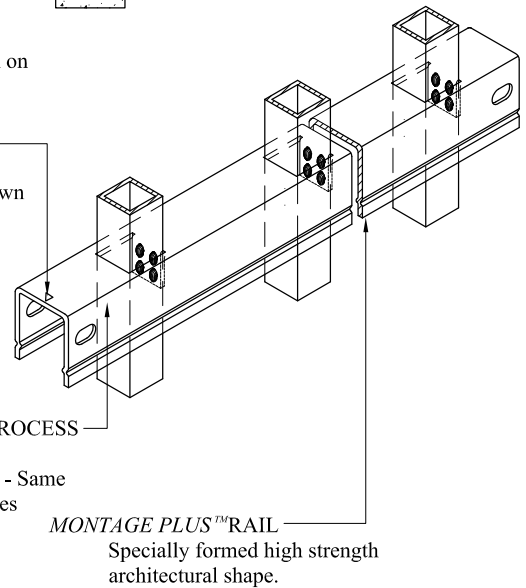
RAKING DIRECTIONAL ARROW

Welded panel can be raked 30" over 8' with arrow pointing down grade.



PROFUSION™ WELDING PROCESS

No exposed welds, Good Neighbor profile - Same appearance on both sides



COMMERCIAL STRENGTH WELDED STEEL PANEL
PRE-ASSEMBLED

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

IRMISO

Title: **MONTAGE PLUS MAJESTIC 2/3-RAIL**

DR: CI	SH . 1 of 1	SCALE: DO NOT SCALE
CK: ME	Date 6/28/10	REV: e



AMERISTAR®

1555 N. Mingo
Tulsa, OK 74116
1-888-333-3422
www.ameristarfence.com

Historic District Commission

Staff Report – June 2nd & 9th, 2021

June 2nd MEETING

Administrative Approvals:

1. 379 New Castle Ave. (LUHD-316) - Recommend Approval
2. 33 Johnson Ct. (LUHD-330) - Recommend Approval
3. 14 Mechanic St. (LUHD-338) - Recommend Approval
4. 254 South St. (LUHD-305) - Recommend Approval
5. 241 South St. (LUHD-344) - Recommend Approval
6. 205 Market St. (LUHD-342) - Recommend Approval
7. 100 Market St. (LUHD-345) - Recommend Approval
8. 66 Marcy St. (LUHD-346) - Recommend Approval

PUBLIC HEARINGS – NEW BUSINESS:

1. 110 Court St. (LU-21-79) (chimney)
2. 0 Washington St. (LU-21-100) (restoration)
3. 64 Vaughan St. (LU-20-214) (3 story addition)

WORK SESSIONS – NEW BUSINESS:

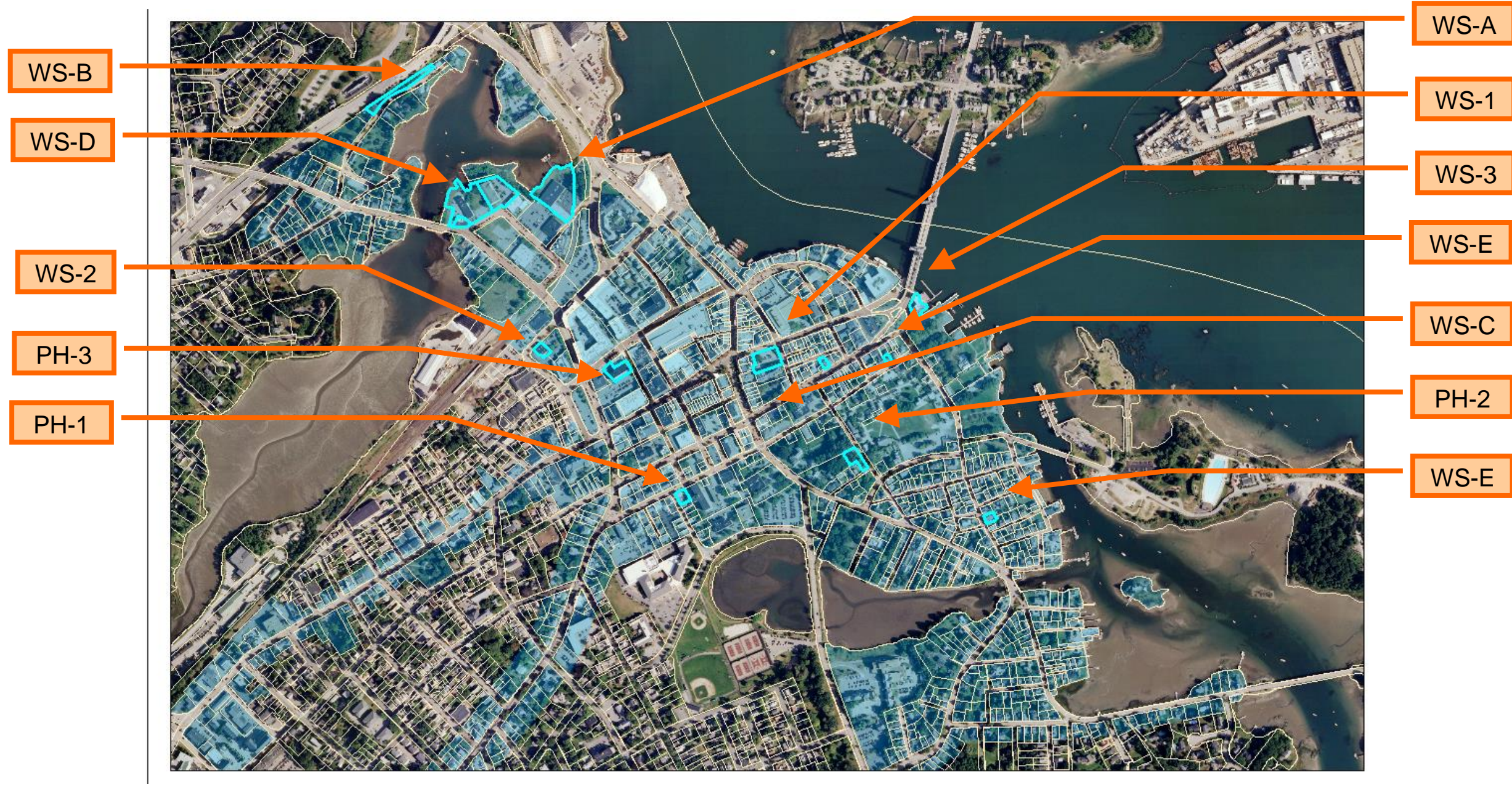
- A. 60 Penhallow St. (LUHD-339) (Public Art)
- B. 238 Deer St. (LUHD-340) (4 story building)
- C. 10 State St. (LUHD-343) (side entrance)

June 9th MEETING

Administrative Approvals:

WORK SESSIONS – NEW BUSINESS:

- A. 53 Green St. St. (LUHD-257) (5 Story building)
- B. 137 Northwest. (LUHD-296) (New house)
- C. 93 Pleasant. (LUHD-324) (3 story addition)
- D. 1 Raynes Ave. (LUHD-234) (2, 5 story buildings)
- E. 279 Marcy St. (LUHD-259) (dormer)
- F. 449 Court St. (LUHD-235) (dormer & deck)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: June 2nd & June 9th, 2021
APPLICATIONS: 20

Historic District Commission

Project Address: 110 COURT STREET (LU-21-79)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #1

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Multi-Family
- Land Area: 6,969 SF +/-
- Estimated Age of Structure: c.1810
- Building Style: Federal
- Number of Stories: 3.0
- Historical Significance: Contributing
- Public View of Proposed Work: View from Rogers Street
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To remove rear chimney.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The property is located along the intersection of Court and Rogers Streets. It is surrounded with many 2.5 - 3 story historic contributing structures with shallow front yard setbacks and small landscaped side yards. The property also abuts the 6-story Feaster Apartments.

J. Staff Comments and/ or Suggestions for Consideration:

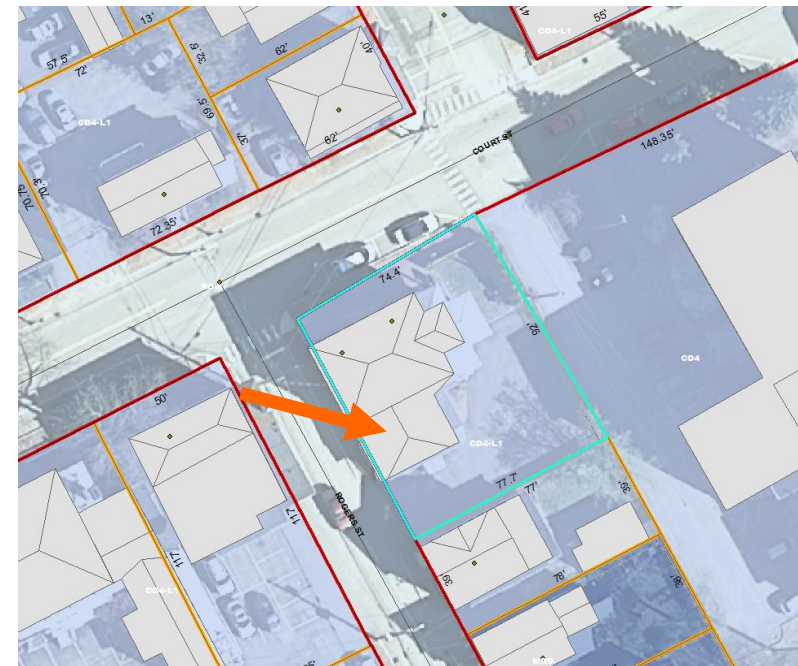
- This application proposes to:
- Remove the rear chimney.

Design Guideline Reference – Guidelines for Masonry and Stucco (07).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

110 COURT STREET (LU-21-79) – PUBLIC HEARING #1 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION				
	1	Gross Floor Area (SF)	MINOR PROJECT – Remove Rear Chimney –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
BUILDING DESIGN & MATERIALS		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 110 COURT STREET Case No.: 1 Date: 6-2-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 0 WASHINGTON STREET (LU-21-100)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #2

A. Property Information - General:

Existing Conditions:

- Zoning District: MRO
- Land Use: Museum/ Mixed-Use
- Land Area: 8.24 A +/-
- Estimated Age of Structure: c. 1780
- Building Style: Colonial
- Historical Significance: Contributing
- Public View of Proposed Work: View from Washington Street and Strawberry Banke
- Unique Features: Penhallow House
- Neighborhood Association: South End

B. Proposed Work: Remove bathroom entrances and full exterior restoration.

C. Other Permits Required:

- Board of Adjustment
- Planning Board
- City Council
- Condo Association
- Abutting Property Owner

D. Lot Location:

- Terminal Vista
- Gateway
- Mid-Block
- Intersection / Corner Lot
- Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal
- Accessory
- Demolition

F. Sensitivity of Context:

- Highly Sensitive
- Sensitive
- Low Sensitivity
- "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The Penhallow House is located along Washington Street within Strawberry Banke. It's surrounded with many wood-sided structures with narrow setbacks and side yards.

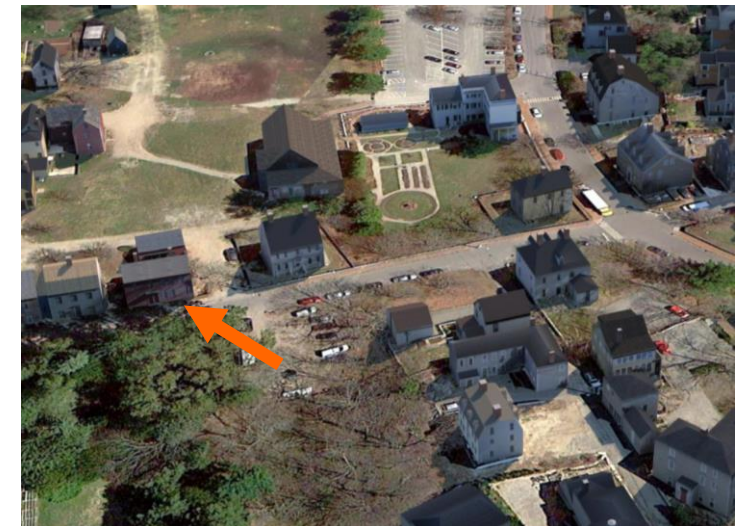
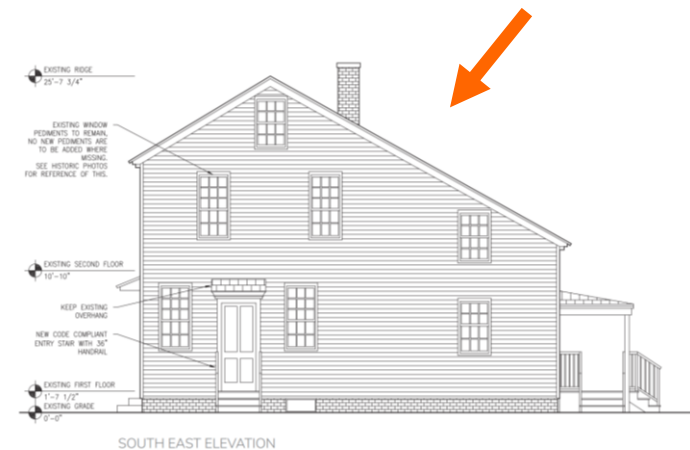
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Remove the bathroom entrances on the rear elevation and completely restore the exterior of the structure.

• **Design Guideline Reference: Guidelines for Roofing (04), Exterior Woodwork (05), and Porches, Steps and Decks (06).**

K. Aerial Image, Street View and Zoning Map:



Rear Decks and Aerial View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

0 WASHINGTON STREET (LU-21-100) – PUBLIC HEARING #2 (MODERATE)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
1	Gross Floor Area (SF)		<h2>MODERATE PROJECT</h2> <h3>- Complete Building Restoration -</h3>				
2	Floor Area Ratio (GFA/ Lot Area)						
3	Building Height / Street-Width Ratio						
4	Building Height – Zoning (Feet)						
5	Building Height – Street Wall / Cornice (Feet)						
6	Number of Stories						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 0 Washington St. Case No.: 2 Date: 6-2-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | |
|--|---|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|---|---|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 64 VAUGHAN MALL (LU-20-214)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #3

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 15,242 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: Vernacular Commercial
- Historical Significance: C
- Public View of Proposed Work: View from the Vaughan Mall and Hanover St.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To make façade improvements to the storefront and add a penthouse.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

a. The building is located along the Vaughan Mall. The building is surrounded with many 2-5 story historic and contemporary structures with little to no setbacks. The property also has an 8 space surface parking lot off of Hanover Street.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Modify the front storefront and facade.
- Install window, door and storefront openings along the Worth Lot.
- Add three story addition with an attic (versus the former request for a 4th floor with a penthouse level). The revised elevations show a variety of modifications suggested by the Commission at the April meeting.

• Design Guideline Reference – Guidelines for Windows and Doors (08) and Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

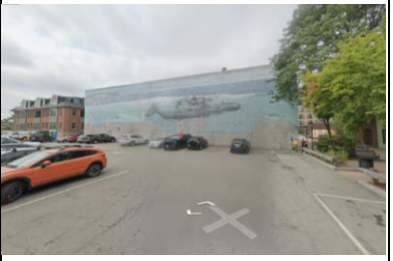
**HISTORIC
SURVEY
RATING**

C

64 VAUGHAN MALL (LU-20-214) – PUBLIC HEARING #3 (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MAJOR PROJECT - Add a 3-Story Addition to the Existing Building -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Lighting (i.e. street, building...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 64 VAUGHAN MALL Case No.: 3 Date: 6-2-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 60 PENHALLOW ST. (LUHD-339)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #1

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Proposed 4 Story Commercial Building
- Land Area: 22,430 SF +/-
- Estimated Age of Structure: NA
- Building Style: Contemporary
- Number of Stories: 4
- Historical Significance: NA
- Public View of Proposed Work: View from Pedestrian Alleyways
- Unique Features: Under Construction
- Neighborhood Association: Downtown

B. Proposed Work: To add artwork to the alleyways.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

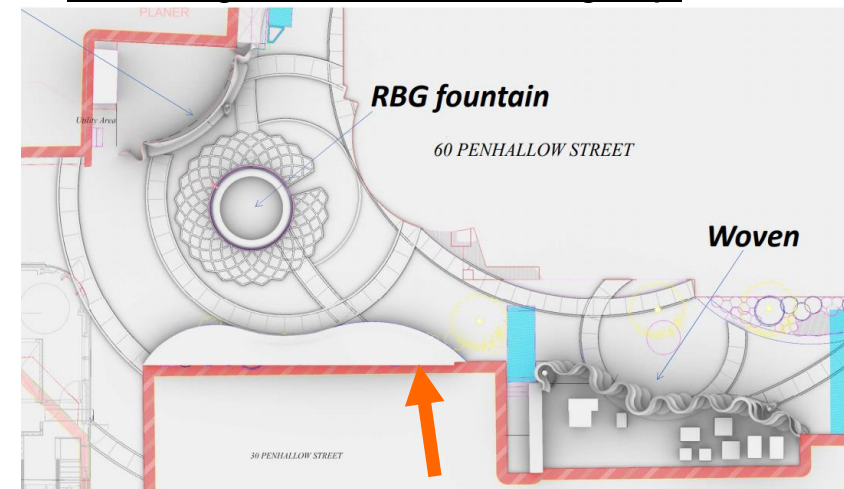
- This lot is under construction and is located along Daniel and Penhallow Streets and is surrounded with many other brick and wood-sided, 2.5-3 story contributing structures. Most buildings have no front yard setback and off-street parking is limited.

J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to:
 - Construction of art installation along the pedestrian alleyways.

Design Guideline Reference – Guidelines for Site Elements and Streetscapes (09)

K. Aerial Image, Street View and Zoning Map:



Proposed Artwork and Aerial Image



Zoning Map

HISTORIC SURVEY RATING

C

60 PENHALLOW STREET (LUHD-339)– WORK SESSION #1 (MAJOR)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
STAFF	No.	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)		<h3 style="margin: 0;">MINOR PROJECT</h3> <h4 style="margin: 0;">– Art Installations Only –</h4>			
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	BUILDING DESIGN & MATERIALS	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: DANIEL STREET Case No.: 1 Date: 6-2-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 238 DEER ST. (LUHD-340)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #2

Existing Conditions:

- Zoning District: CD4
- Land Use: Commercial
- Land Area: 6,098 SF +/-
- Estimated Age of Structure: c.1960
- Building Style: Modern (1960)
- Historical Significance: NC
- Public View of Proposed Work: View from Deer and Bridge Streets
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To replace existing building with a 4 story residential building

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Deer Street. It is surrounded with many 3-4 story masonry structures with shallow setbacks.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- REMOVAL OF EXISTING BUILDING DOWN TO GRADE (SUBGRADE FOUNDATION WALLS AND BASEMENT SLAB TO REMAIN).
- CONSTRUCT NEW 3-4 STORY MIXED-USE BUILDING WITH GROUND FLOOR RETAIL AND UPPER FLOORS WITH (7) APARTMENTS ON EACH FLOOR BETWEEN 400-500 SF EACH.

Design Guideline Reference – Guidelines for Small Scale New Construction and Additions (10).

K. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions



Zoning Map

**HISTORIC
 SURVEY
 RATING**

NC

238 DEER ST. (LUHD-340) – WORK SESSION #2 (MAJOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MAJOR PROJECT – Construct a New 4-Story Building –</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 238 DEER ST. Case No.: 2 Date: 6-2-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- 1. Preserve the integrity of the District: Yes No
- 2. Assessment of the Historical Significance: Yes No
- 3. Conservation and enhancement of property values: Yes No
- 4. Maintain the special character of the District: Yes No
- 5. Complement and enhance the architectural and historic character: Yes No
- 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: Yes No

I. Review Criteria / Findings of Fact:

- 1. Consistent with special and defining character of surrounding properties: Yes No
- 2. Compatibility of design with surrounding properties: Yes No
- 3. Relation to historic and architectural value of existing structure: Yes No
- 4. Compatibility of innovative technologies with surrounding properties: Yes No

Historic District Commission

Project Address: 10 STATE STREET (LUHD-343)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #3

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Multi-Family Residential
- Land Area: 10,827 SF +/-
- Estimated Age of Structure: 2014
- Building Style: NA
- Number of Stories: 3.0
- Historical Significance: NA
- Public View of Proposed Work: View from State and Marcy Streets
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: Add a recessed entryway.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- This lot and structure is located along State Street and is surrounded variety of 3-4 story structures. The neighborhood is predominantly 3-4 story brick structures no setbacks from the street edge.

J. Staff Comments and Suggestions for Consideration:

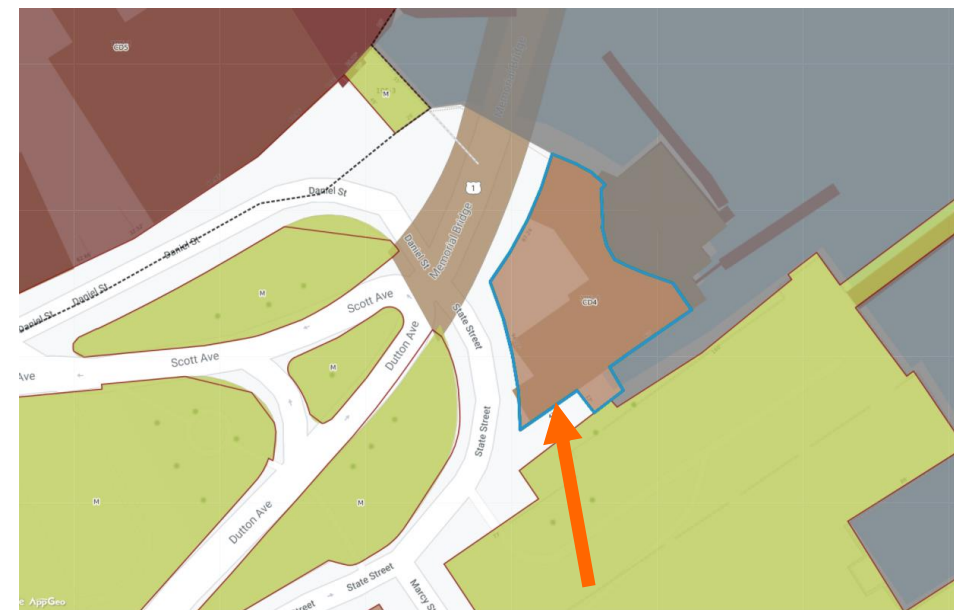
The applicant proposes the following design changes:

- Create a new state street side entrance with vestibule within the existing footprint.

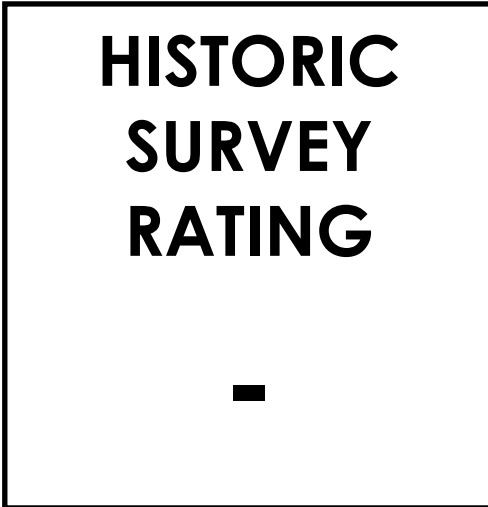
K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map



10 STATE STREET (LUHD-343) – WORK SESSION #3 (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
STAFF	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)	<div style="font-size: 2em; font-weight: bold; margin-bottom: 10px;">MINOR PROJECT</div> <div style="font-size: 1.2em; font-weight: bold;">- New Recessed Entryway Portico -</div>						
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
	7	Building Coverage (% Building on the Lot)							
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			SITE DESIGN	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
					36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
					37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
					38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
					39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
					40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 10 STATE STREET Case No.: 3 Date: 6-2-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: **53 GREEN STREET (LUHD-257)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION #A**

A. Property Information - General:

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 78,843 SF +/-
- Estimated Age of Structure: c.1920/1970
- Building Style: Industrial
- Number of Stories: 2.0
- Historical Significance: Non-Contributing
- Public View of Proposed Work: View from Market and Green Streets
- Unique Features: NA
- Neighborhood Association: North End

B. Proposed Work: To add a new 5-Story Mixed-Use Apartment Building

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Neighborhood Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This non-contributing structure is located along Green Street and is surrounded with many other brick or metal-clad buildings between 1-5 stories in height. The abutting 233 Vaughan Street building and the AC Hotel were recently completed and the AC Hotel project includes a community space requirement for public access to and along the waterfront. Such improvements are still be implemented by the developer.

J. Staff Comments and Suggestions for Consideration:

- The proposed massing and scale is significant for the size of the site but it is generally consistent with the abutting AC Hotel and the underlying zoning requirements in the CD4 Character District.
- The proposed building is 3-5 Stories in height which requires community space to be provided in exchange for the added height.
- The existing buildings will be demolished as part of the project.
- **Based on the feedback from the May meeting, the applicant will submit revised plans and elevations for the June 9th meeting. We will also have this inserted in the 3-D Massing Model.**

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Proposed Design, Street View and Aerial View:



Proposed Design (Option 2) and the proposed Site Plan



Aerial View

**HISTORIC
SURVEY
RATING

NC**

53 GREEN STREET (LUHD-257) – WORK SESSION #A (MAJOR)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
STAFF	No	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)		<div style="text-align: center;"> <h3>MAJOR PROJECT</h3> <h4>– Demolish Structures & Construct a 5-Story, Mixed-Use Building –</h4> </div>			
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	BUILDING DESIGN & MATERIALS	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 53 GREEN STREET Case No.:A Date:6-9-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed With Drawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 137 NORTHWEST ST. (LUHD-296)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #B

Existing Conditions:

- Zoning District: GRA
- Land Use: Single Family
- Land Area: 23,522 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Queen Anne
- Historical Significance: C
- Public View of Proposed Work: View from Northwest Street & the Rte.1 Bypass.
- Unique Features: NA
- Neighborhood Association: Christian Shore

B. Proposed Work: To construct a new single family house on the lot.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

L. Neighborhood Context:

- The building lot is located along Northwest Street. It is surrounded with many 1.5-2 story wood-sided historic structures with small rear and side yards with garden areas. The proposed lot is very narrow which limits the potential for landscape screening along the Rte. 1 Bypass.

M. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Construct a new single-family residence on the north eastern portion of the property.
- Note that a variance was granted to support this application.
- Earlier this week I met with the applicant and the builder and suggested a different house design based on the many design constraints presented by the shape and topography of the lot and its placement directly beside the Route 1 bypass.
- **Based on the feedback from the May meeting, the applicant will submit revised plans and elevations for the June 9th meeting.**

Design Guideline Reference – Guidelines for New Construction (02-09).

N. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions



Zoning Map

HISTORIC SURVEY RATING

-

137 NORTHWEST ST. (LUHD-296) – WORK SESSION #B (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<p>MODERATE PROJECT - Construct a New Single-Family Structure -</p>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 137 Northwest St. Case No.: B Date: 6-9-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 93 PLEASANT STREET (LUHD-235)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #C

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Commercial
- Land Area: 11,325 SF +/-
- Estimated Age of Structure: c.1818
- Building Style: Federal
- Historical Significance: Focal
- Public View of Proposed Work: View from Pleasant and Court Streets
- Unique Features: Focal Building and Historic Stone Wall along Court Street
- Neighborhood Association: Downtown

B. Proposed Work: To add a 3-story addition with connector building.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This historically significant and focal building is located along the intersection of Pleasant and Court Streets. It is surrounded with many wood-frame 2 - 2.5 story contributing structures. The Langdon Mansion, another focal building and setting is located across the street.

J. Background, Comments & Suggested Actions:

The Applicant is seeking to:

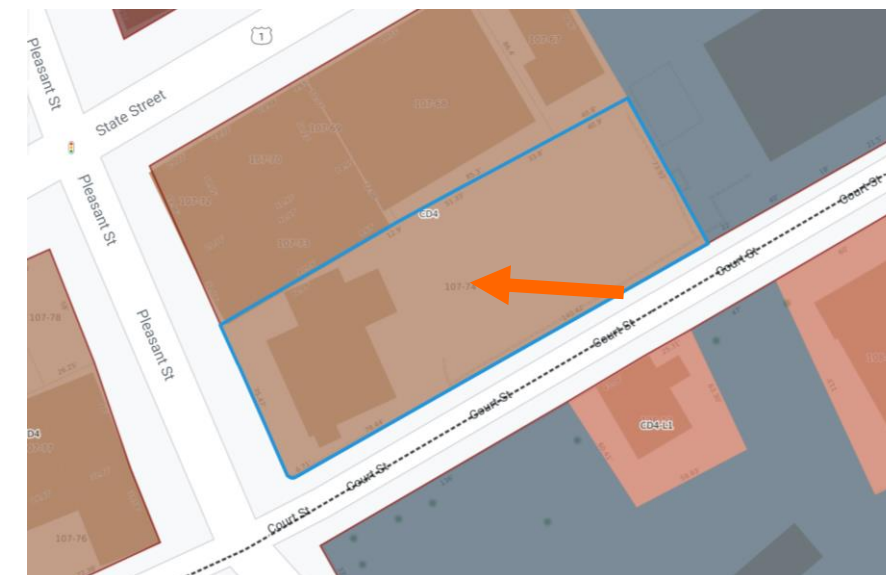
- Add a three-story addition to the parking lot area along Court Street and add a glass connector to the Treadwell House.
- **Based on the feedback from the May meeting, the applicant will submit revised plans and elevations for the June 9th meeting. We will also have this inserted in the 3-D Massing Model.**

• **Design Guideline Reference: Guidelines for Small-Scale New Construction and Additions (10)**

K. Aerial Images and Maps:



Elevations



Zoning Map

**HISTORIC
SURVEY
RATING**

F

93 PLEASANT STREET (LUHD-235) – WORK SESSION #C (MAJOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT - Construct a 3-Story Addition and a Connector Building -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Storm Windows / Screens / Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			35 Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38 Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 93 PLEASANT ST. Case No.: C Date: 6-9-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 1 & 31 RAYNES AVE. (LUHD-234)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #D

Existing Conditions:

- Zoning District: CD4
- Land Use: Vacant / Gym
- Land Area: 2.4 Acres +/-
- Estimated Age of Structure: c.1960s
- Building Style: Contemporary
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood and Raynes Ave.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To construct a 4-5 story mixed-use building(s).

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

a. The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish the existing buildings.
- Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
- The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
- **Note that the applicant has requested a continuance of this application until July**

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image of Existing Conditions



Zoning Map

HISTORIC SURVEY RATING

C

1 & 31 RAYENES AVE. (LUHD-234) – WORK SESSION #D (MAJOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	<p>MAJOR PROJECT – Construct two 5-Story Mixed-Use Buildings –</p>					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
7	Building Coverage (% Building on the Lot)							
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
HISTORIC DISTRICT COMMISSION MEMBERS	BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		HISTORIC DISTRICT COMMISSION MEMBERS	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
38	Driveways (i.e. location, material, screening...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
39	Parking (i.e. location, access, visibility...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	Accessory Buildings (i.e. sheds, greenhouses...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 1 & 31 Raynes Ave. Case No.: D Date: 6-9-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 279 MARCY ST. (LUHD-259)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #4E

Existing Conditions:

- Zoning District: GRB
- Land Use: Single Family
- Land Area: 5,660 SF +/-
- Estimated Age of Structure: c.1875
- Building Style: Greek Revival
- Historical Significance: C
- Public View of Proposed Work: View from Marcy St. & Meeting House Hill Rd.
- Unique Features: Non-Contributing
- Neighborhood Association: South End

B. Proposed Work: To add a recessed roof dormer.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located near the Meeting House along Marcy Street in the heart of the South End. It is surrounded with many 2-3 story wood-sided historic structures with no front yard setback and small rear yards and garden areas.

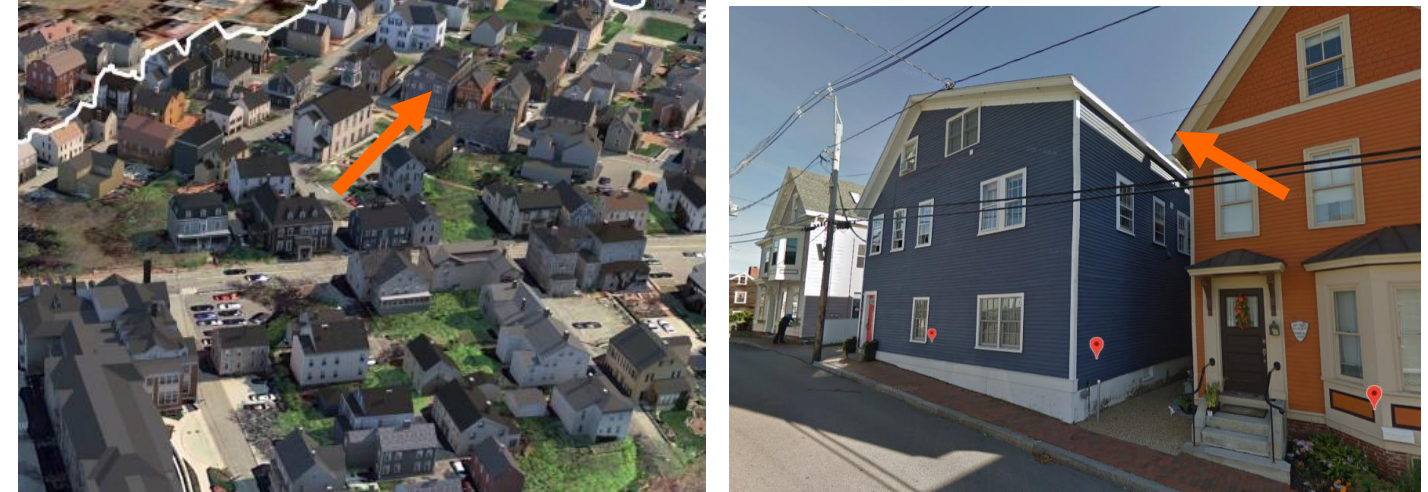
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Add a recessed roof deck within the southern roof structure.
- **Note that the Applicant has been requested to submit more detailed images and drawings showing how the proposed recessed deck and dormer will be placed into the existing structure. Based on the feedback from the February meeting, the applicant will submit revised plans and elevations for the June 9th meeting.**

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Porches, Steps and Decks (06), Windows and Doors (08,) and Small Scale New Construction and Additions (10).

K. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions



Zoning Map

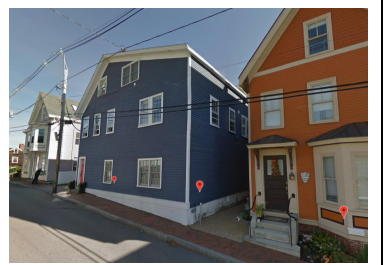
**HISTORIC
SURVEY
RATING**

NC

279 MARCY ST. (LUHD-259) – WORK SESSION #E (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MINOR PROJECT - Construct a Recessed Roof Dormer and Deck -</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 279 MARCY ST. Case No.: E Date: 6-9-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 449 COURT STREET (LUHD-235)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #F

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Multi-Family
- Land Area: 2,613 SF +/-
- Estimated Age of Structure: c. 1996
- Building Style: Traditional
- Historical Significance: NA
- Public View of Proposed Work: View from Court Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: Add a 4th Floor Addition and roof deck along Court Street.

C. Other Permits Required:

- | | | |
|--|--|---------------------------------------|
| <input type="checkbox"/> Board of Adjustment | <input type="checkbox"/> Planning Board | <input type="checkbox"/> City Council |
| <input type="checkbox"/> Condo Association | <input type="checkbox"/> Abutting Property Owner | |

D. Lot Location:

- | | | |
|--|-----------------------------------|---|
| <input type="checkbox"/> Terminal Vista | <input type="checkbox"/> Gateway | <input checked="" type="checkbox"/> Mid-Block |
| <input type="checkbox"/> Intersection / Corner Lot | <input type="checkbox"/> Rear Lot | |

E. Existing Building to be Altered/ Demolished:

- | | | |
|---|------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Principal | <input type="checkbox"/> Accessory | <input type="checkbox"/> Demolition |
|---|------------------------------------|-------------------------------------|

F. Sensitivity of Context:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Highly Sensitive | <input checked="" type="checkbox"/> Sensitive | <input type="checkbox"/> Low Sensitivity | <input type="checkbox"/> "Back-of-House" |
|---|---|--|--|

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

L. Neighborhood Context:

- The buildings are located along lower Court Street. It's surrounded with many wood- and brick-sided structures with no setbacks and shallow side yards. This structure also abuts Strawberry Banke.

M. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

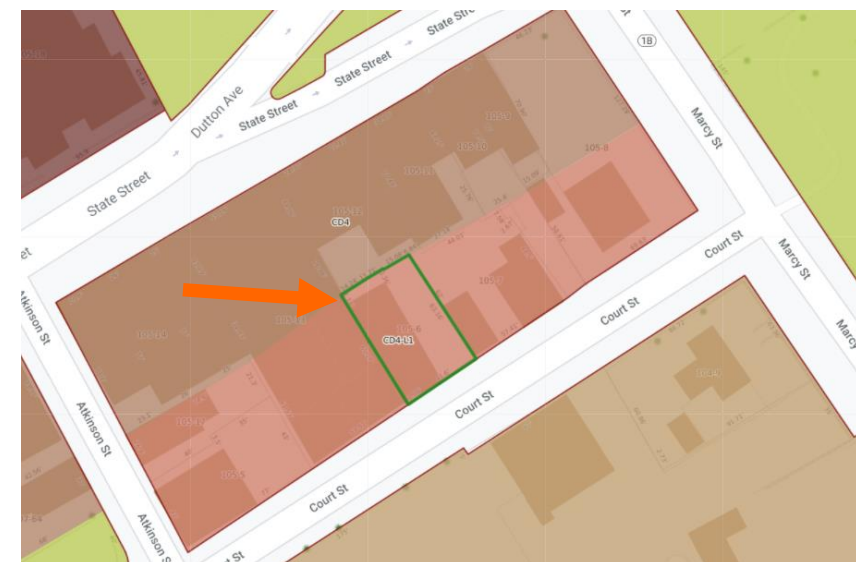
- Change the roof design by adding a 4th floor addition and roof deck.
- The addition is generally proposed to be located along the northern property line abutting a taller structure with a common wall containing no openings.
- **NOTE – The Applicant has requested a postponement of this application until July while they continue to study the visual impacts of the project. We will also place this into the City's 3D Massing Model.**

• **Design Guideline Reference: Guidelines for Roofing (04), Exterior Woodwork (05), Porches, Steps and Decks (06) and Small Scale New Construction and Additions (10).**

N. Aerial Image, Street View and Zoning Map:



Rear Decks and Aerial View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

NA

449 COURT STREET (LUHD-235) – WORK SESSION #F (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MODERATE PROJECT - Add 4th Floor Addition and Roof Deck -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
BUILDING DESIGN & MATERIALS		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
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		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
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32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
SITE DESIGN		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 449 COURT STREET Case No.: F Date: 6-9-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

110 Court Street, Unit #3

Public Hearing

LU-21-79



City of Portsmouth, NH

05/25/2021

LU-21-79

Land Use Application

Status: Active**Date Created:** Apr 25, 2021

Applicant

Beth Goddard
begprov356@yahoo.com
112 Court St
Portsmouth, NH 03801
603-498-4897

Location

110 COURT ST Unit 3
Unit 3
Portsmouth, NH 03801

Owner:

GODDARD BETH E
112 COURT ST PORTSMOUTH, NH 03801

Applicant Information

Please indicate your relationship to this project

A. Property Owner

Alternative Project Address

Alternative Project Address

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

Existing view from Court Street





Chimney to be removed on the lower roof at the rear of the building.

0 Washington Street

Public Hearing

LU-21-100



City of Portsmouth, NH

05/25/2021

LU-21-100

Land Use Application

Status: Active**Date Created:** May 18, 2021

Applicant

Rodney Rowland
rrowland@sbmuseum.org
17 Hancock Street
Portsmouth, NH 03801
603-422-7525

Location

0 WASHINGTON ST
Portsmouth, NH 03801

Owner:

STRAWBERRY BANKE INC
PO BOX 300 PORTSMOUTH, NH 03802

Applicant Information

Please indicate your relationship to this project

A. Property Owner

Alternative Project Address

Alternative Project Address

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an **ADDITION** to an existing structure or a **NEW** structure on a property that already has structure(s) on it



New Construction: any project (commercial or residential) that involves adding a **NEW** structure on a parcel that is currently **VACANT**. If there are any existing structures on the property (even if you are planning to remove them), you should select **Addition and Renovation** above



Minor Renovation: for projects in the **Historic District** only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

PENHALLOW HOUSE

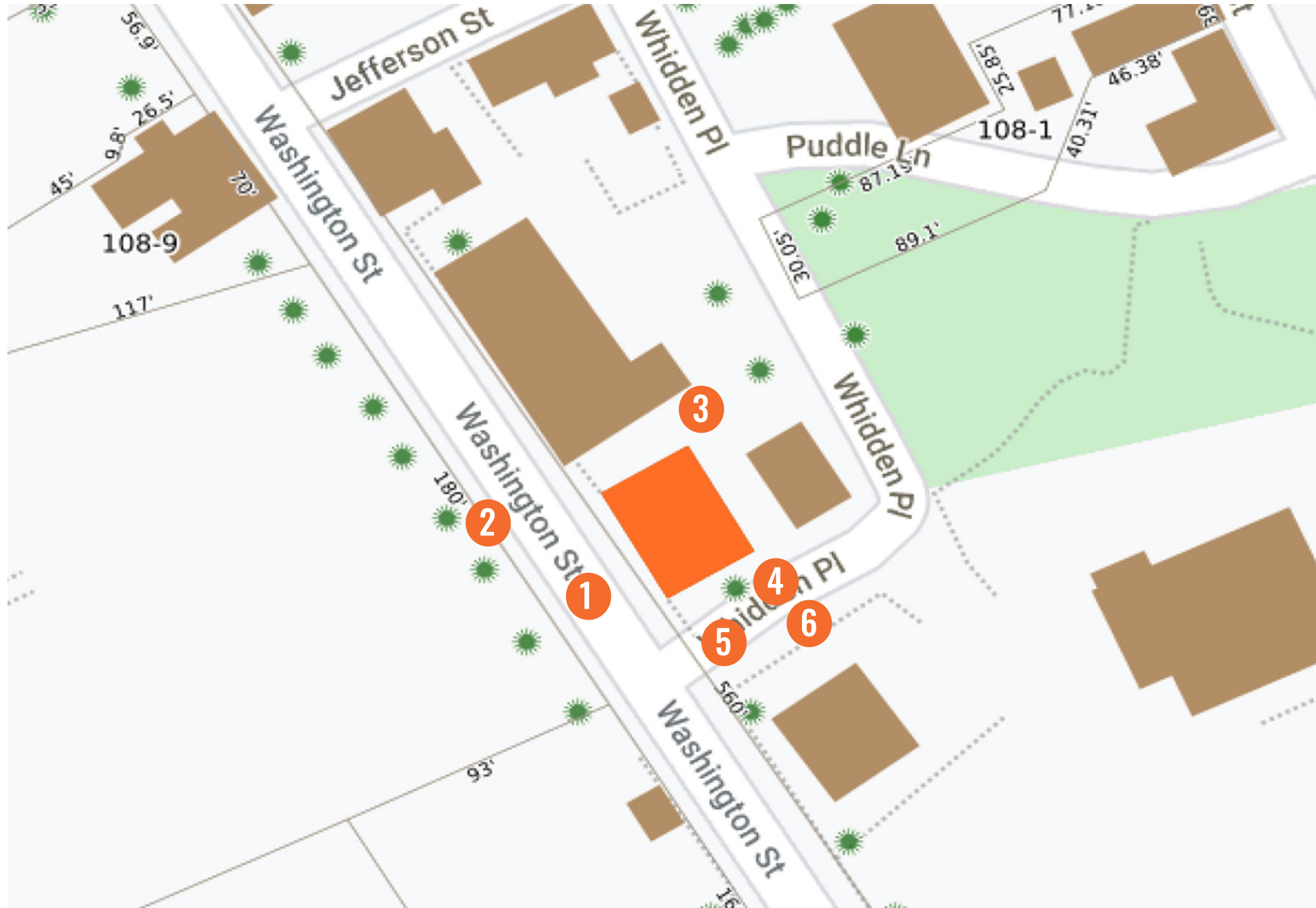
CITY OF PORTSMOUTH
Historic District Commission



PENHALLOW HOUSE, STRAWBERRY BANKE MUSEUM
PORTSMOUTH, NH

EXISTING SITE PLAN

NOT TO SCALE





1 SOUTH WEST FRONT DOORS



2 WEST CORNER



3 NORTH CORNER



4 EAST CORNER



5 SOUTH EAST FACADE



6 BARN AT EAST SIDE (BACK)

HISTORIC PHOTOS

CIRCA. 1933-1939



1 WEST CORNER



2 WEST CORNER (WITH CONTEXT)



3 EAST CORNER



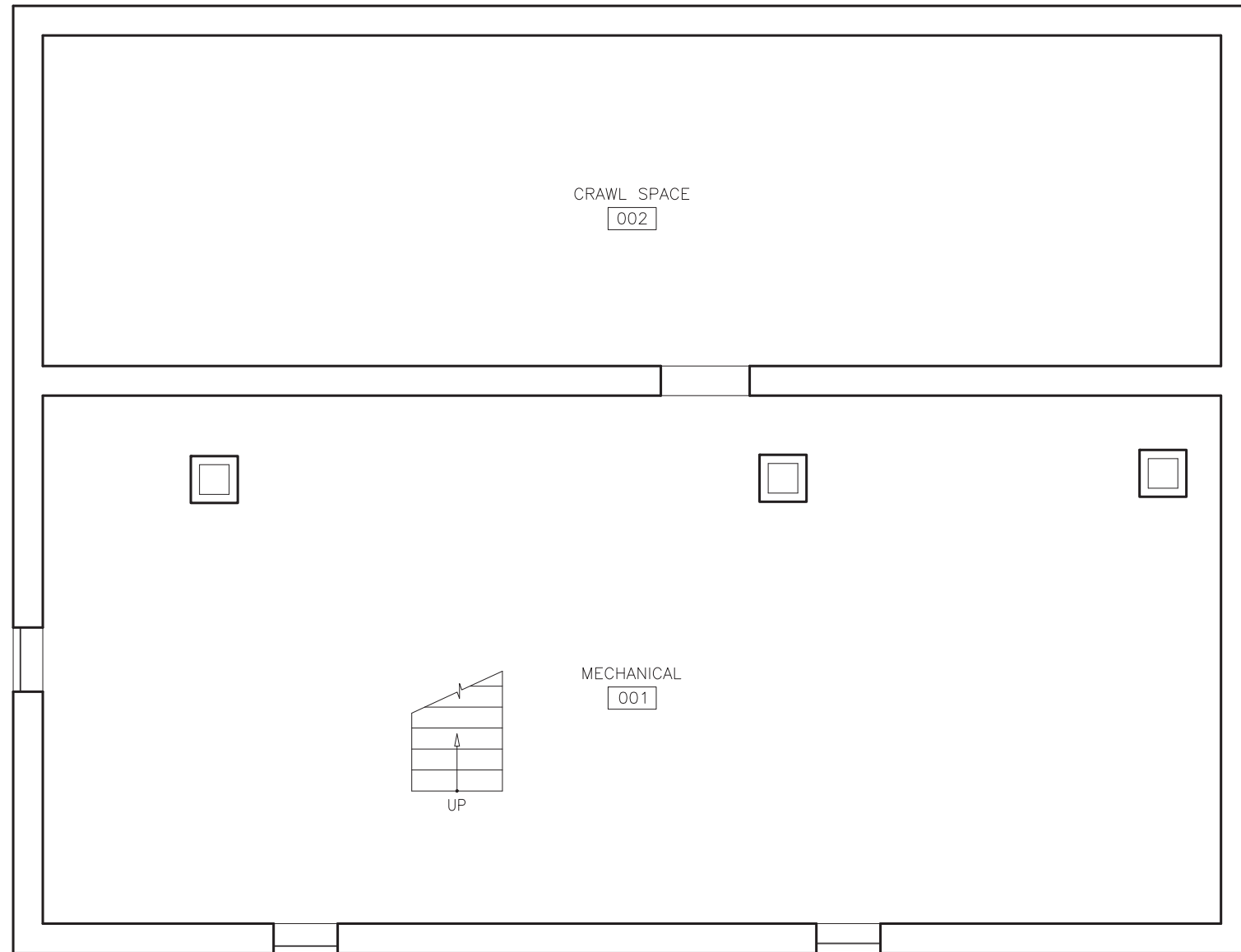
4 SOUTH EAST FACADE



5 SOUTH-EAST PEAK DETAIL

PROPOSED PLANS

SCALE: 3/16"=1'-0"

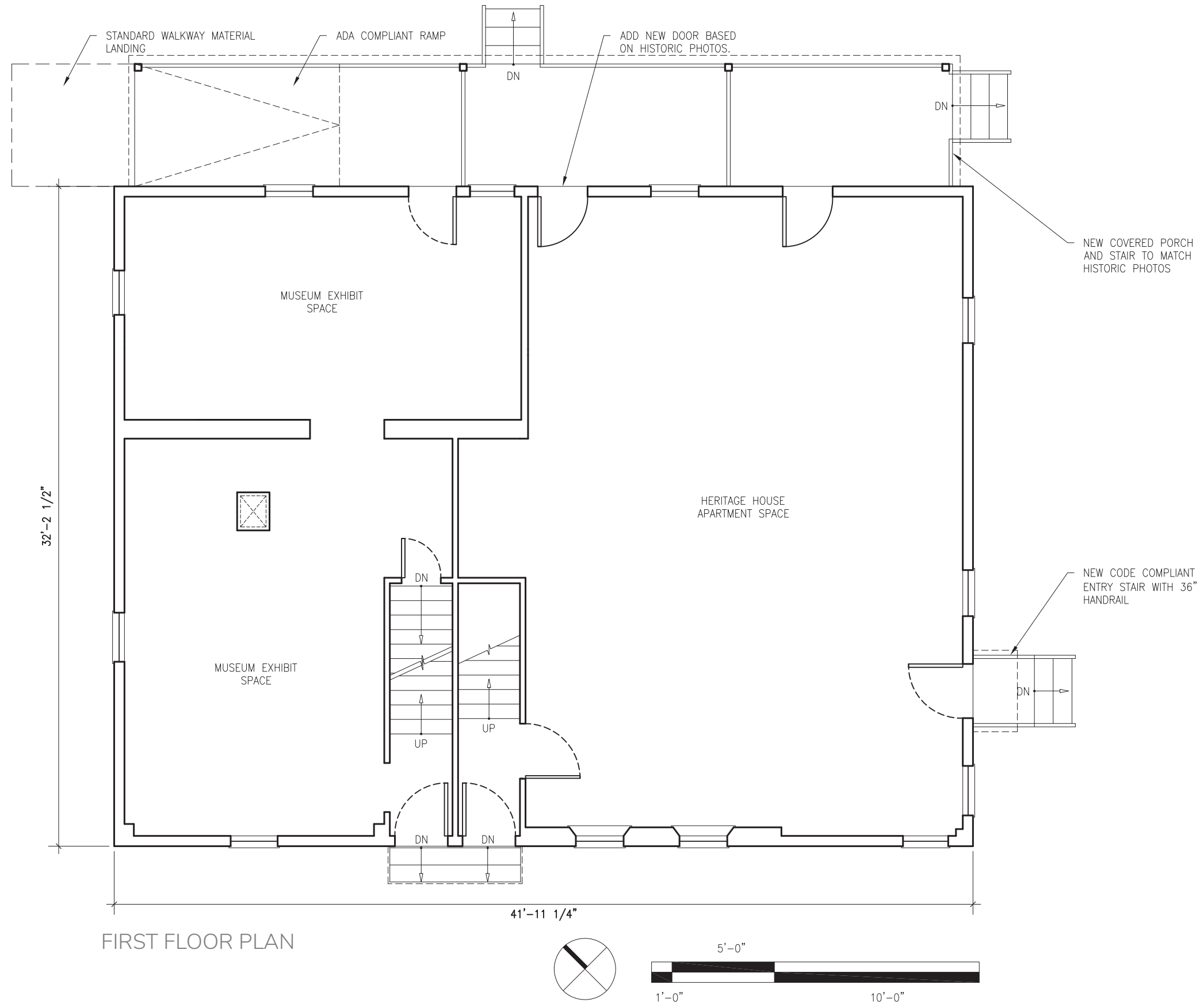


BASEMENT PLAN

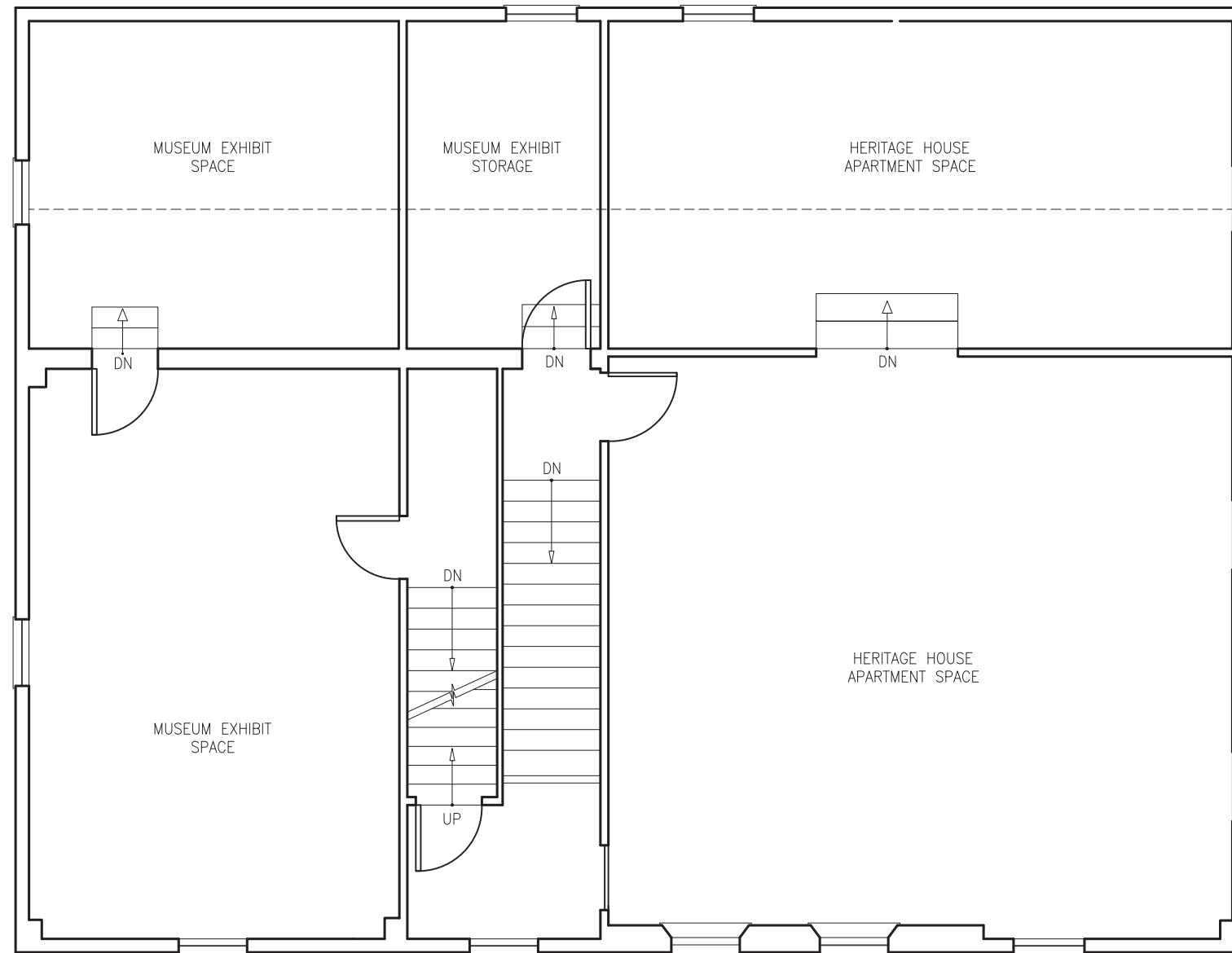


PROPOSED PLANS

SCALE: 3/16"=1'-0"



FIRST FLOOR PLAN

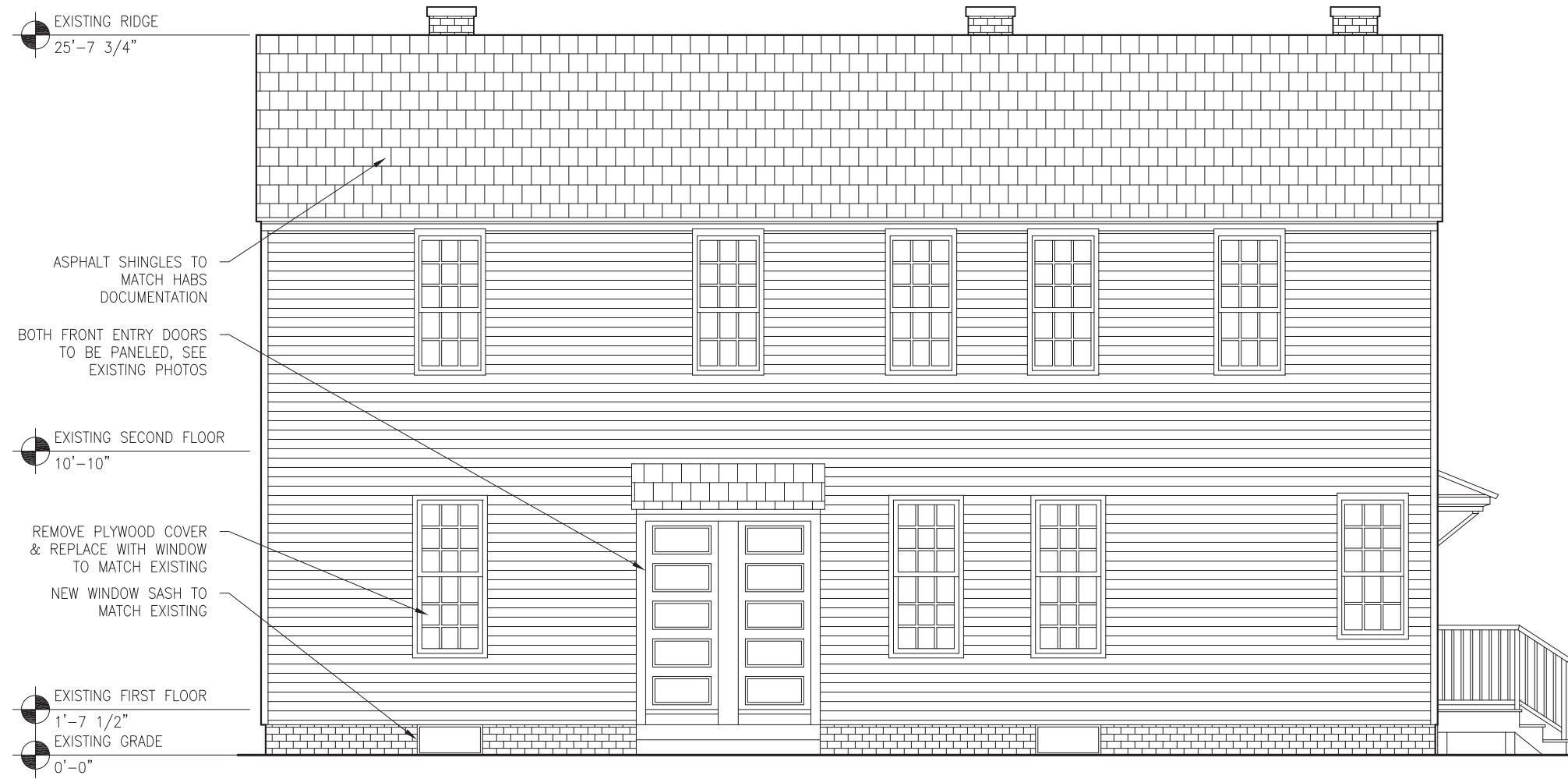


SECOND FLOOR PLAN



PROPOSED ELEVATIONS

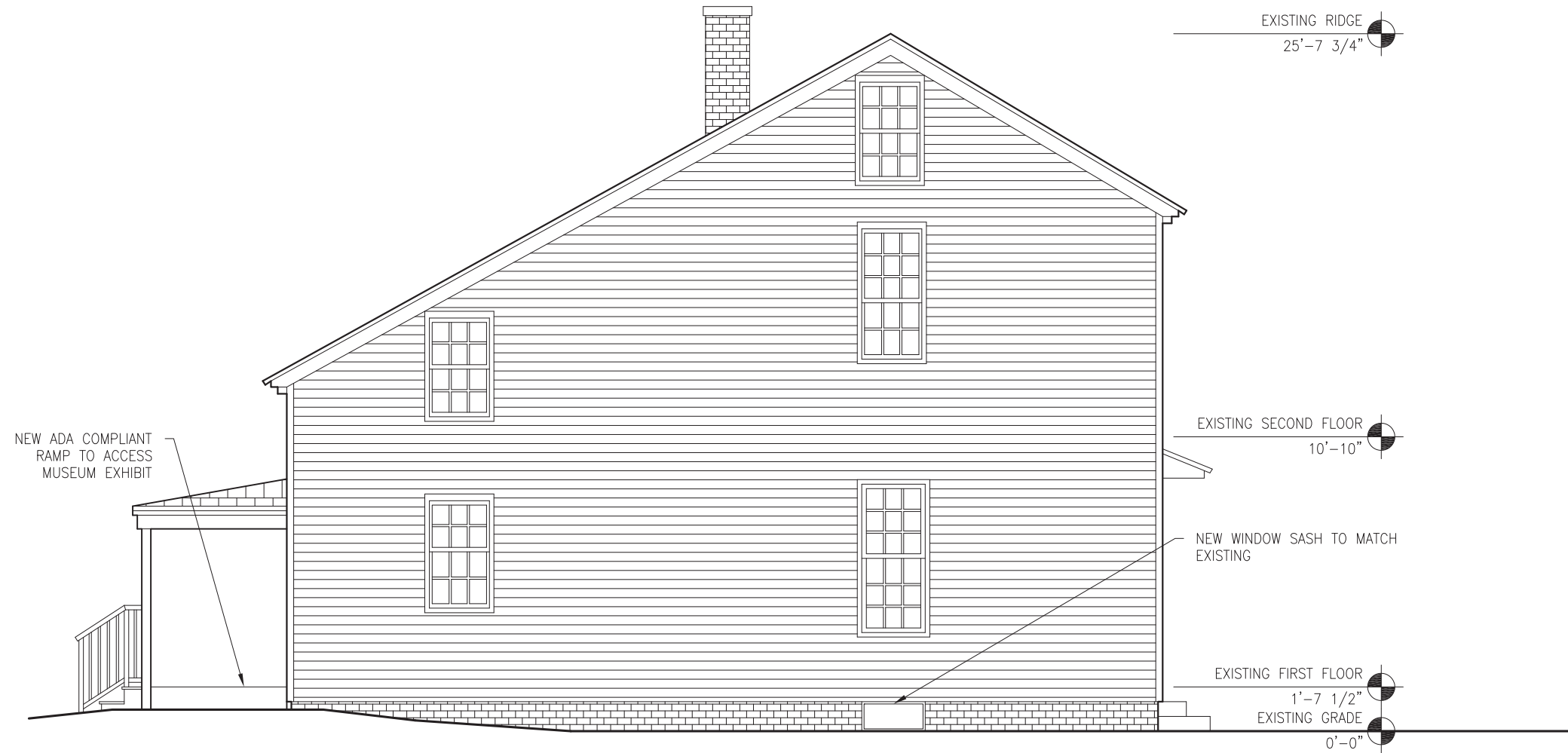
SCALE: 3/16"=1'-0"



SOUTH WEST ELEVATION

PROPOSED ELEVATIONS

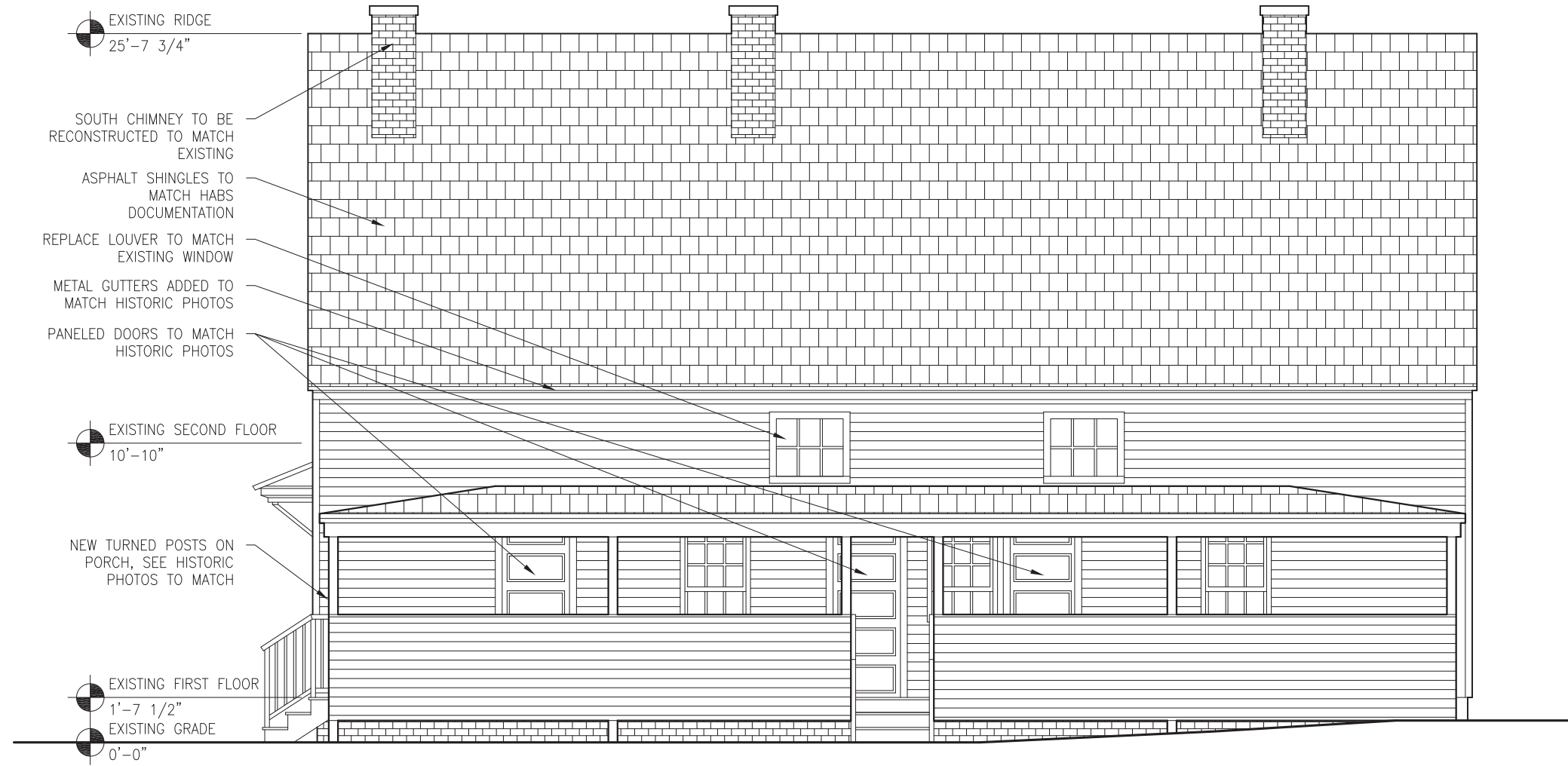
SCALE: 3/16"=1'-0"



NORTH WEST ELEVATION

PROPOSED ELEVATIONS

SCALE: 3/16"=1'-0"



NORTH EAST ELEVATION

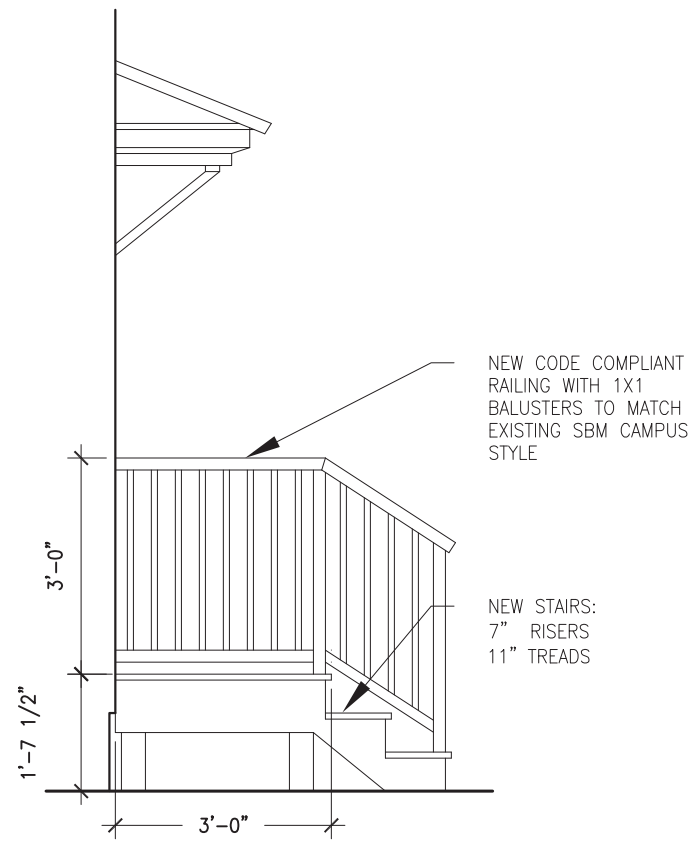
PROPOSED ELEVATIONS

SCALE: 3/16"=1'-0"

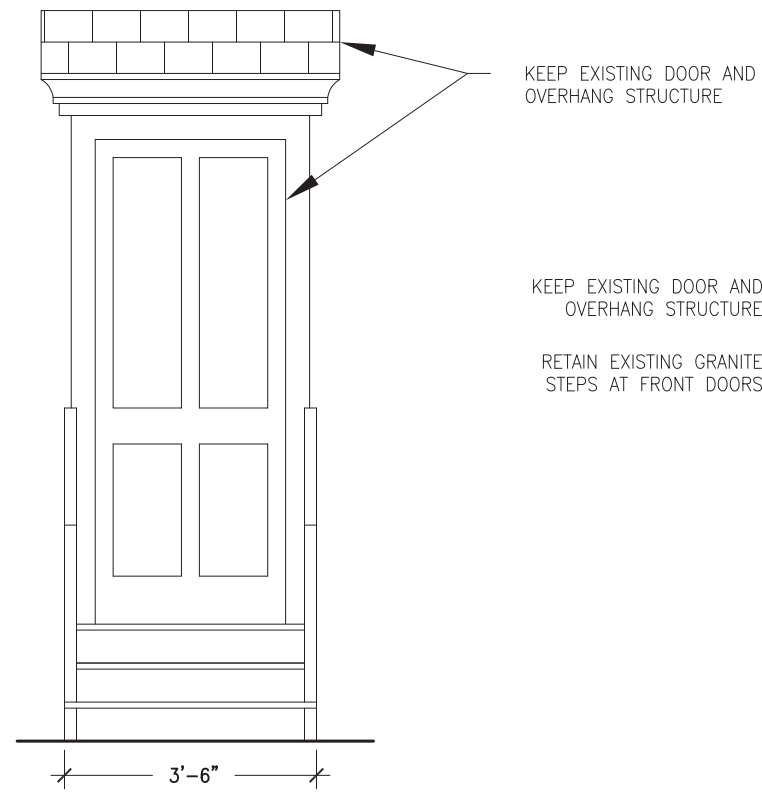


SOUTH EAST ELEVATION

SCALE: 1/8"=1'-0"

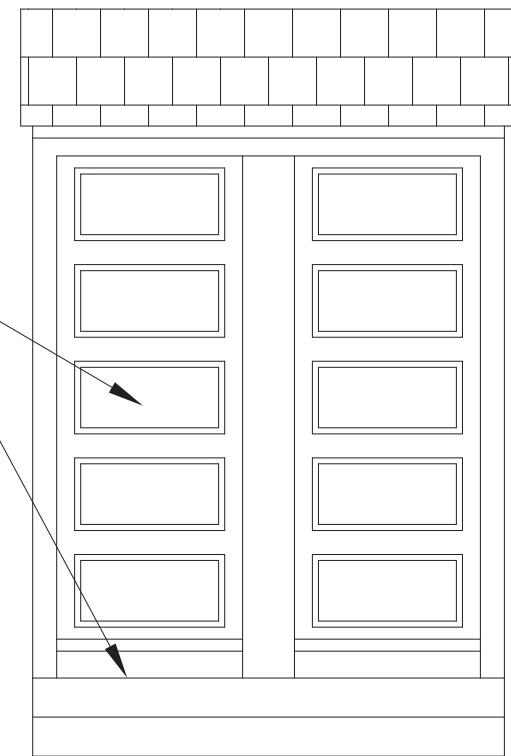


SOUTH EAST STAIR DETAIL



KEEP EXISTING DOOR AND OVERHANG STRUCTURE

RETAIN EXISTING GRANITE STEPS AT FRONT DOORS



FRONT DOOR DETAIL

64 Vaughan Street

Public Hearing

LU-20-214



City of Portsmouth, NH

05/25/2021

LU-20-214

Land Use Application

Status: Active**Date Created:** Oct 19, 2020

Applicant

Erik Saari
esaari@altus-eng.com
Altus Engineering, Inc.
133 Court Street
Portsmouth, NH 03801
603-433-2335

Location

64 VAUGHAN ST
Portsmouth, NH 03801

Owner:

64 Vaughan Mall, LLC
41 Industrial Drive Exeter, NH 03833

Applicant Information

Please indicate your relationship to this project

F. Applicant's Representative Filing on behalf of C., D. or E. above

Alternative Project Address

Alternative Project Address

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an **ADDITION** to an existing structure or a **NEW** structure on a property that already has structure(s) on it



New Construction: any project (commercial or residential) that involves adding a **NEW** structure on a parcel that is currently **VACANT**. If there are any existing structures on the property (even if you are planning to remove them), you should select **Addition and Renovation** above



Minor Renovation: for projects in the **Historic District** only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

**ATTN: Historic District
Commission**

**RE: June 2, 2021 Meeting
64 Vaughan Mall Restoration
Portsmouth, NH 03801**

**Steve Wilson
Hampshire Development Corp.
41 Industrial Drive #20
Exeter, NH 03833**

**CONTACT:
Shayne Forsley
Hampshire Development Corp.
Shayne.forsley@hdcgc.net
603.997.2519**

64 Vaughan Mall

The property at 64 Vaughan Mall was acquired in September of 2020 from the Cabot House Group by the development team that successfully executed the re-development of the Connie Bean Center at 135-143 Daniel St. and The Provident Condominium at 25 Maplewood Ave. in Portsmouth. Principle Steven Wilson and Hampshire Development Corp. have operated since 1984 and have been involved in the successful construction and renovation of dozens of historic urban properties in the southeastern NH and northeastern Massachusetts regions. Our principal goal for the property at 64 Vaughan Mall will be to bring the site and existing structure up to current codes while restoring the main building to its original architecture.

Built in the late 19th century as a 3 story brick and heavy timber structure with a flat roof and full basement (36' x 75'), the building was originally owned and occupied by the Margeson Bros Furniture Co.. Early in the 20th century, the building was more than doubled in size 36' x 140' toward what is now the Worth Parking Lot with an addition constructed of essentially the same materials and form. A single story "modern" block addition with a shed roof was added mid century toward the rear facing Hanover St. and was utilized as a loading dock for shipping and receiving for Cabot Furniture. Notably, in 1993 Artist Robert Wyland received the owners permission to allow a mural of his design to be painted by a group of regional amateur artists on the side of the building facing the Worth lot . This mural quickly became a landmark of sorts referred to as the Whaling Wall. However through inappropriate preparation and application of paints, the mural has significantly deteriorated the facade of the building.

The only public access to the building is via the 75' of frontage on the Vaughan Mall leaving long expanses of blank walls along the Worth Parking Lot (145'), the rear alley (135') and the Hanover St. frontage (80') with no entry or other focal points. This provides no pedestrian interface with the building on three sides. In fact, circumnavigating the building on foot requires walking in active vehicle traffic lanes for an extended distance with no connectivity to the building or the Vaughan Mall from Maplewood Ave., Hanover St. or the rest of downtown to the West, South and Easterly directions.

The current condition of the building is widely substandard. The building in its existing condition presents many challenges to the developer, designers, and contractors associated with any renovation and

rehabilitation. The building is largely void of modern utility and mechanical systems with existing water, sewer, drainage, HVAC and fire protection all failing to meet modern standards or capacities.

The structure itself has not received any significant upgrades or improvements in over 70 years. The roof has failed in areas allowing moisture penetration and now threatens the integrity of the structure. Additionally most of the original windows have been infilled and the brick facade has been painted on four sides with a product that has trapped moisture, causing extensive spalling of the masonry. The inside of the existing structure, although retaining some very worthwhile architectural features and wide open space with high ceilings etc., is laden with asbestos and other environmental contaminants which must be removed and remediated. Finally the shape and size of the structure present a very monolithic and unappealing facade that does not enhance its surroundings, promote its history or engage the pedestrian at the street level.

In light of the building and site conditions we are uniquely qualified to rehabilitate and remediate the structure, and with the cooperation of the City, we will be able to convert this property to an attractive mixed use project that will make a significant contribution to the vibrancy of the Vaughan Mall and its strategic location in downtown Portsmouth. Our proposal will truly complement and enhance the City's architectural and historic character and contribute to its sense of place.

Currently underway, our first step is to remediate the hazardous waste conditions and perform select demolition of the interior. We are conducting tests to analyze the feasibility and best methods for removing the coatings and restore the historic facades. Our structural engineers have provided detailed analysis and preliminary plans for rehabilitation of the structure to current standards while maintaining its historic character. Our specific plan for the property is illustrated by the accompanying plans and would be to provide vehicle parking and storage in the existing basement accessed from Hanover St.. The ground floor would be developed as a commercial use as required by current zoning and with the addition of a sidewalk, entries and storefronts along the Worth Parking Lot will serve to activate the Vaughan Mall area.

The revitalization and adaptive reuse of this building will require a minor reconfiguration of parking spaces, installation of curbing, brick sidewalks and landscaping in and adjacent to the Worth Lot. It will thus require the support and approval of the City. The results and impacts as illustrated by the attached site plan and elevations will be profoundly positive for the Worth Lot and Vaughan Mall. No net loss of

parking, improvements in ADA compliance for pedestrians and handicap parking, creation of significant green space annexed to the Vaughan Mall and completion of the pedestrian connection from Hanover St., Maplewood Ave., Worth Lot to the Vaughan Mall and their adjacent businesses are some of the highlights of our plan. It will balance the pedestrian and vehicular experience for this active area with no functional downside to either. Additionally, we propose to reactivate the existing infilled windows with new windows and doors being added to the previously blank wall (along the Worth Lot side of the building) with an emphasis on maintaining the historic value in form and function on all sides of the building.

To address the disproportionate massing of the existing buildings, we have transitioned the rear facade of the building to a different style to differentiate the two buildings adding texture and interest to the continuous wall plane. Importantly, a significant portion of the rear building facade was constructed of poured concrete and was covered by an attached building having no relationship to the architecture of the main building.

In closing we are extremely excited to begin the process of working with the City to design and redevelop this significant property to better serve the community and its future occupants. To that end we are looking forward to listening to your input and ideas as we continue to refine the building and site designs.

Warm Regards

Steven Wilson

64 VAUGHAN MALL BUILDING RESTORATION

64 Vaughan Mall,
Portsmouth, New Hampshire

Assessor's Parcel 126, Lot 1

Historic District Commission

Plan Issue Date:

April 8, 2021

Owner:

64 Vaughan Mall, LLC

10 Industrial Way
Amesbury, MA 01913

Applicant:

Hampshire
Development Corp.

41 Industrial Drive
Exeter, NH 03833
(603) 778-9999

Civil Engineer:



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

Architect:

JSA Design

273 Corporate Drive, Suite 100
Portsmouth, NH 03801
(603) 436-2551

Surveyor:

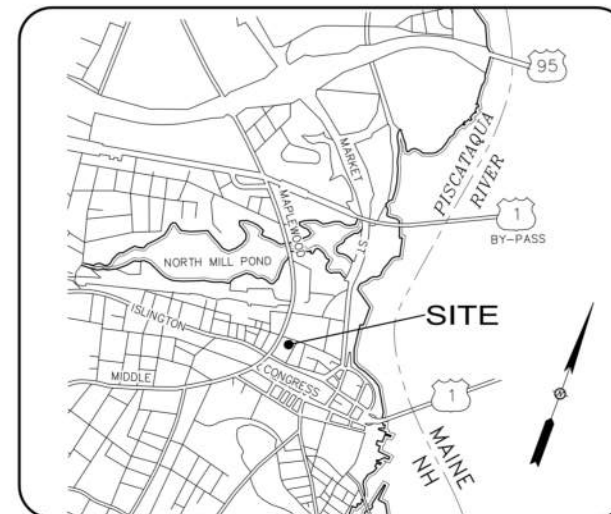
James Verra

& Associates Inc.

LAND SURVEYORS

101 SHATTUCK WAY, SUITE 8
Newington, New Hampshire
03801-7876

Tel 603-436-3557



LOCUS MAP
Not to Scale

Table of Contents

- Aerial Photograph
- Margeson Bros. Furniture Photograph
- 64 Vaughan Mall Photograph
- 64 Vaughan Mall Perspective Photographs
- Existing Conditions
- Site Plan - Proposed
- Architectural Plans - Proposed
- Materials - Proposed
- Spacing & Massing - Elevation Study

Sheet No.

- 1
- 2
- 3
- 3A
- 4
- 5
- A1 - A11
- M1 - M7
- 6



Aerial Photograph of 64 Vaughan Mall Property

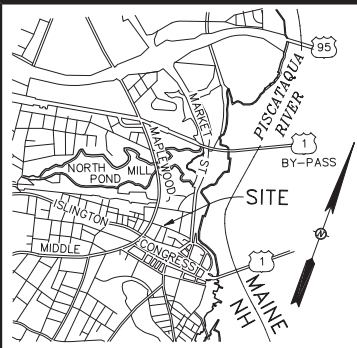


Margeson Bros. Furniture Store; Photograph circa ~1910-1920



Cabot
House





TEMPORARY BENCHMARK TABLE

TBM#	DESCRIPTION	ELEV.
1	SURVEY NAIL SET IN TOP OF GRANITE CURBING	12.81
2	BOLT W/ "X" CUT - HYDRANT TOP FLANGE	13.58
3	SURVEY NAIL SET IN TOP OF TRANSFORMER PAD	17.71
4	TOP RIGHT OUTSIDE CORNER OF CONCRETE STEP	15.62

DRAIN TABLE

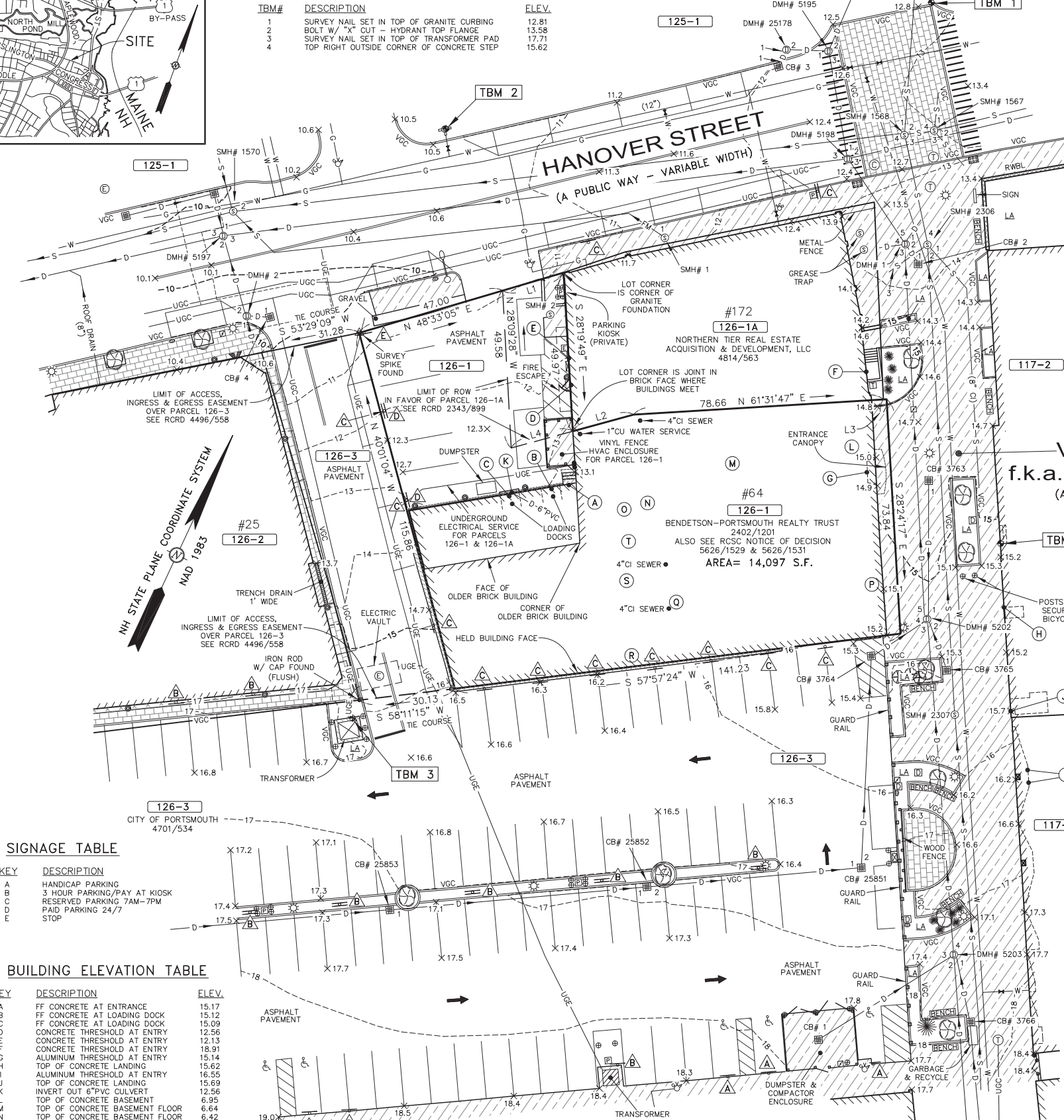
CB# 1	RIM EL= 17.62
CB# 2	RIM EL= 13.77
	(1) INV OUT 12"RCP= 10.12
CB# 3	RIM EL= 11.98
	(1) INV OUT 12"HDPE= 7.74
CB# 4	RIM EL= 9.57
	(1) INV OUT 12"PVC= 7.32±
	W/ TRAP ON OUTLET
CB# 3763	RIM EL= 14.71
	(1) INV OUT 12"RCP= 12.03
CB# 3764	RIM EL= 15.05
	WATER LEVEL= 11.10
CB# 3765	RIM EL= 15.35
	PLUGGED 13.5±
CB# 25851	RIM EL= 16.26
	(1) INV IN 12"HDPE= 12.08
	(2) INV OUT 12"HDPE= 12.01
CB# 25852	RIM EL= 16.81
	(1) INV IN 10"HDPE= 12.29
	(2) INV OUT 12"HDPE= 12.26
CB# 25853	RIM EL= 17.12
	(1) INV OUT 10"HDPE= 12.78

SEWER TABLE

SMH# 1	RIM EL= 11.80
	(1) INV OUT 4"PVC FM= 7.47
SMH# 2	RIM EL= 11.53
	(COULD NOT OPEN)
SMH# 1567	RIM EL= 12.96
	(1) PLUGGED
	(2) INV IN 12"RCP= 5.19
	(3) INACTIVE
	(4) INV OUT 12"RCP= 4.71
SMH# 1568	RIM EL= 12.86
	(1) INV IN 8"PVC= 4.88
	(2) INV IN 12"RCP= 4.68
	(3) INV IN 24"RCP= 5.05
	(4) INV OUT 12"RCP= 6.83
	(23" CSU PER DPW)
SMH# 1570	RIM EL= 10.16
	(2) INV IN 15"RCP= 3.74
SMH# 2306	RIM EL= 13.84
	(1) INV IN 10"RCP= 6.86
	(2) INV IN 24"RCP= 8.88
	(3) INV IN 6"PVC= 11.24
	(4) INV OUT 24"RCP= 6.83
	(23" CSU PER DPW)
SMH# 2307	RIM EL= 15.50
	CL FLOW= 10.66
	(OVAL RCP 15"W X 18"H)
	(23" CSU PER DPW)

LEGEND:

- 110-5 TAX SHEET - LOT NUMBER
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- RCSC ROCKINGHAM COUNTY SUPERIOR COURT
- VGC VERTICAL FACED GRANITE CURB
- RWBL MODULAR BLOCK RETAINING WALL
- PK PARK METER KIOSK
- (COULD NOT OPEN)
- BOLLARD
- SIGN
- HANDICAP SPACE
- LIGHT POLE
- UTILITY POLE WITH ARM & LIGHT
- ELECTRICAL MANHOLE
- ELECTRICAL CONDUIT
- ELECTRIC METER
- GAS SHUT OFF
- GAS VALVE
- WATER GATE VALVE
- WATER SHUT OFF VALVE
- HYDRANT
- FIRE CONNECTION
- CATCH BASIN
- DRAIN MANHOLE
- ROOF DOWNSPOUT
- SEWER MANHOLE
- DECIDUOUS TREE
- CONIFEROUS SHRUB
- DECIDUOUS SHRUB
- WATER LINE
- SEWER LINE
- DRAIN LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND COMMUNICATIONS
- CEMENT CONCRETE
- BRICK PAVERS
- RETAINING WALL
- LANDSCAPED AREA
- SPOT GRADE
- SEE SIGNAGE TABLE
- SEE BUILDING ELEVATION TABLE
- EXISTING TRAFFIC FLOW SYMBOL



SIGNAGE TABLE

KEY	DESCRIPTION
A	HANDICAP PARKING
B	3 HOUR PARKING/PAY AT KIOSK
C	RESERVED PARKING 7AM-7PM
D	PAID PARKING 24/7
E	STOP

BUILDING ELEVATION TABLE

KEY	DESCRIPTION	ELEV.
A	FF CONCRETE AT ENTRANCE	15.17
B	FF CONCRETE AT LOADING DOCK	15.12
C	FF CONCRETE AT LOADING DOCK	15.09
D	CONCRETE THRESHOLD AT ENTRY	12.56
E	CONCRETE THRESHOLD AT ENTRY	12.13
F	CONCRETE THRESHOLD AT ENTRY	18.91
G	ALUMINUM THRESHOLD AT ENTRY	15.14
H	TOP OF CONCRETE LANDING	15.62
I	ALUMINUM THRESHOLD AT ENTRY	16.55
J	TOP OF CONCRETE LANDING	15.69
K	INVERT OUT 6"PVC CULVERT	12.56
L	TOP OF CONCRETE BASEMENT	6.95
M	TOP OF CONCRETE BASEMENT FLOOR	6.64
N	TOP OF CONCRETE BASEMENT FLOOR	6.42
O	TOP OF CONCRETE BASEMENT FLOOR	7.17
P	TOP OF CONCRETE BASEMENT FLOOR	6.92
Q	TOP OF CONCRETE BASEMENT FLOOR	6.67
R	TOP OF CONCRETE BASEMENT FLOOR	7.07
S	TOP OF CONCRETE BASEMENT FLOOR	6.77
T	TOP OF CONCRETE BASEMENT FLOOR	6.26

**VAUGHAN MALL
f.k.a. VAUGHAN STREET
(A PUBLIC WAY - VARIABLE WIDTH)**

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 48°33'05" E	20.00
L2	N 49°44'19" E	19.83
L3	N 61°31'47" E	1.00
L4	S 49°44'19" W	20.06

ABUTTERS LIST

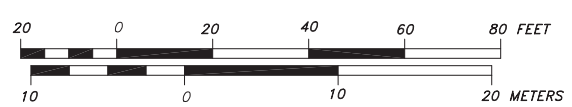
MAP-LOT	OWNER OF RECORD	DEED REF.
117-2	JAMER REALTY, INC. 80 HANOVER ST, PORTSMOUTH, NH 03801	3093/1283
117-4	SJW LTD C/O GENE FISK & ASSOCIATES, LLC 4 GREENLEAF WOODS DR, SUITE 102 PORTSMOUTH, NH 03801	2574/495
125-1	PARADE OFFICE, LLC C/O GATHARTS PRIVATE INVESTMENTS 31 MILK STREET, SUITE 501, BOSTON, MA 02109	N/A
126-1A	NORTHERN TIER REAL ESTATE ACQUISITION & DEVELOPMENT, LLC C/O JOHN J. DUSSI 4 WOODY LN, WEST NEWBURY, MA 01985	4814/563
126-2	25 MAPLEWOOD AVENUE, LLC 41 INDUSTRIAL DR, EXETER, NH 03833	6068/2230
126-3	CITY OF PORTSMOUTH 1 JUNKINS AVE, PORTSMOUTH, NH 03801	4701/534

NOTES:

- OWNER OF RECORD..... BENDETSON-PORTSMOUTH REALTY TRUST C/O CABOT HOUSE, INC., 10 INDUSTRIAL WAY, AMESBURY, MA 01913
ADDRESS.....
DEED REFERENCE..... 2402/1201
TAX SHEET / LOT..... 126-1
- THIS PLAN IS BASED ON A FIELD SURVEY BY JAMES VERRA AND ASSOCIATES, INC. 3/2014, 4/2017 & 12/2019. ON SITE CONTROL ESTABLISHED USING SURVEY GRADE GPS UNITS. HORIZONTAL DATUM: NAD 1983 (1986 ADJUSTMENT) PRIMARY BM: NHDOT 379-0150 (PORTSMOUTH TRAFFIC CIRCLE) VERTICAL DATUM: NAVD 1988 PRIMARY BM: CITY CONTROL POINT "ALBA"
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE SETTING OR ESTABLISHMENT OF ANY GRADES/ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOC., INC.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- SEE ROCKINGHAM COUNTY SUPERIOR COURT NOTICE OF DECISION DATED 3/18/2015, RCRD BOOK 5626, PAGE 1529. ALSO SEE STIPULATION DATED 1/30/2015, RCRD BOOK 5626, PAGE 1531.
- THE SUBJECT TRACT LIES IN ZONE X (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP 33015C0259E, EFFECTIVE DATE MAY 17, 2005, BY FEMA.

REFERENCE PLANS:

- PLAT OF LAND, 64 VAUGHAN MALL, PORTSMOUTH, N.H., FOR BENDETSON-PORTSMOUTH REALTY TRUST, REVISED TO 9/17/2018, RCRD PLAN D-41080.
- CONDOMINIUM SITE PLAN, THE PROVIDENT CONDOMINIUM, 25 MAPLEWOOD AVENUE, PORTSMOUTH, N.H., FOR 25 MAPLEWOOD AVENUE, LLC., DATED 12/20/2019, RCRD PLAN D-41922.
- EXISTING CONDITIONS PLAN, PROPOSED SITE DEVELOPMENT PLANS, 25 MAPLEWOOD AVENUE, PORTSMOUTH, N.H., BY JAMES VERRA AND ASSOCIATES, INC., DATED 4/18/2017, NOT RECORDED.



**PRELIMINARY
SUBJECT TO CHANGE**

SURVEYOR:
James Verra and Associates, Inc.
LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801- 7876
603-436-3557
JOB NO: 23524-A
PLAN NO: 23524-A

ENGINEER:

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

ISSUED FOR:
ENGINEERING REVIEW
PRELIMINARY

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	ENGINEERING REVIEW	JV	2/3/20

DRAWN BY: JCS
APPROVED BY: JV
DRAWING FILE: 23524-A.DWG

SCALE:
22" x 34" - 1" = 20'
11" x 17" - 1" = 40'

OWNER:
BENDETSON-PORTSMOUTH REALTY TRUST
C/O CABOT HOUSE, INC.
10 INDUSTRIAL WAY
AMESBURY, MA 01913
ASSESSOR'S PARCEL 126-1

PROJECT:
PROPOSED SITE DEVELOPMENT PLANS
64 VAUGHAN MALL
PORTSMOUTH, N.H.
ASSESSOR'S PARCEL 126-1

TITLE:
EXISTING CONDITIONS PLAN

SHEET NUMBER:
Sheet 4

P5042

APPROVED BY THE PORTSMOUTH PLANNING BOARD

THE SOLE PURPOSE OF THIS PLAN IS TO DEPICT THE LOCATION OF EXISTING AND PROPOSED IMPROVEMENTS ON THE SITE. RECORDING OF THIS PLAN WAS A REQUIREMENT OF THE PORTSMOUTH PLANNING BOARD AS PART OF THEIR APPROVAL.

FOR JAMES VERRA & ASSOCIATES, INC.

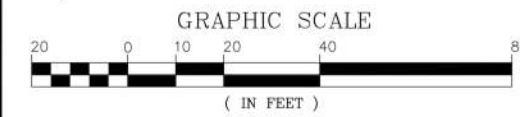
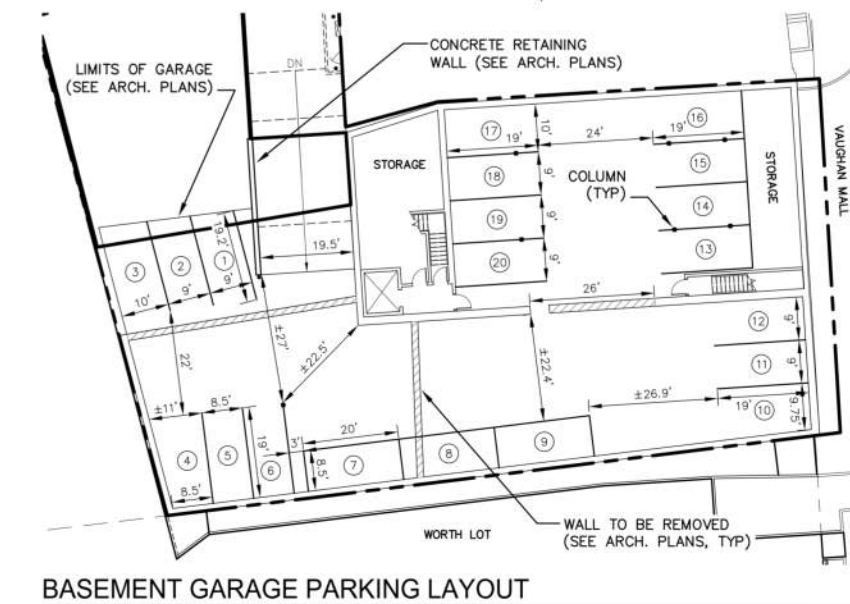
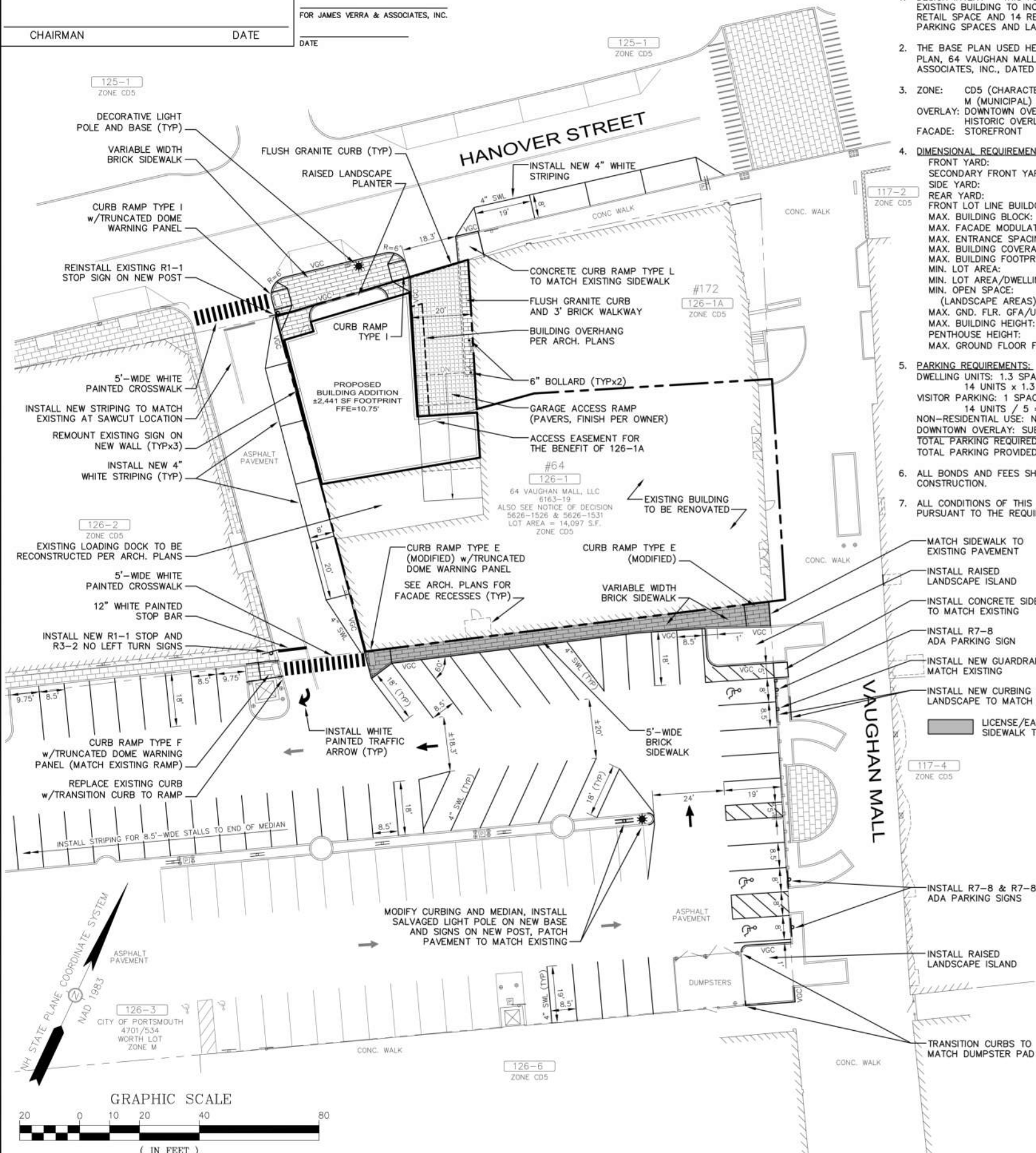
CHAIRMAN DATE

DATE

NOTES

- DESIGN INTENT - THIS PLAN IS INTENDED TO DEPICT THE RETROFIT OF THE EXISTING BUILDING TO INCLUDE AN ADDITION, UNDERGROUND PARKING GARAGE, RETAIL SPACE AND 14 RESIDENTIAL UNITS ALONG WITH A SIDEWALK, MODIFIED PARKING SPACES AND LANDSCAPE ISLANDS ON THE ADJUTING WORTH LOT.
- THE BASE PLAN USED HERE WAS DEVELOPED FROM "EXISTING CONDITIONS PLAN, 64 VAUGHAN MALL, PORTSMOUTH, NH" BY JAMES VERRA AND ASSOCIATES, INC., DATED FEBRUARY 3, 2020.
- ZONE: CD5 (CHARACTER 5)
M (MUNICIPAL) FOR OFFSITE IMPROVEMENTS ON WORTH LOT
OVERLAY: DOWNTOWN OVERLAY DISTRICT
HISTORIC OVERLAY DISTRICT
FACADE: STOREFRONT
- DIMENSIONAL REQUIREMENTS:**

	EXISTING	PROPOSED
FRONT YARD:	5' MAX. 4.3'	SAME
SECONDARY FRONT YARD:	5' MAX. 58.1'	5'
SIDE YARD:	NR	0'
REAR YARD:	5'	0.15'
FRONT LOT LINE BUILDOUT:	80% WIDTH MIN.	100%
MAX. BUILDING BLOCK:	225'	
MAX. FACADE MODULATION:	100'	
MAX. ENTRANCE SPACING:	50'	
MAX. BUILDING COVERAGE:	95%	70.0%
MAX. BUILDING FOOTPRINT:	20,000 S.F.	10,008 S.F.
MIN. LOT AREA:	NR	14,097 S.F.
MIN. LOT AREA/DWELLING:	NR	0 S.F.
MIN. OPEN SPACE:	5%	5%
(LANDSCAPE AREAS)		705 S.F.
MAX. GND. FLR. GFA/USE:	15,000 S.F.	±10,014 S.F.
MAX. BUILDING HEIGHT:	3 STORIES OR 40'	±40'
PENTHOUSE HEIGHT:	MAX. HEIGHT +2'	40'
MAX. GROUND FLOOR FFE:	SIDEWALK GRADE +3'	
- PARKING REQUIREMENTS:**
DWELLING UNITS: 1.3 SPACES / DWELLING UNIT OVER 750 S.F.
14 UNITS x 1.3 = 18.2 SPACES REQUIRED
VISITOR PARKING: 1 SPACE / 5 DWELLING UNITS (FOR LOT w/OVER 4 UNITS)
14 UNITS / 5 = 2.8 SPACES REQUIRED
NON-RESIDENTIAL USE: NR
DOWNTOWN OVERLAY: SUBTRACT 4 SPACES/LOT
TOTAL PARKING REQUIRED: 17 SPACES
TOTAL PARKING PROVIDED: 20 SPACES (UNDERGROUND)
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- ALL CONDITIONS OF THIS APPROVAL SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- AREA OF DISTURBANCE IS UNDER 43,560 SF. COVERAGE UNDER EPA NPDES PHASE II CONSTRUCTION GENERAL PERMIT IS NOT REQUIRED.
- PAVEMENT MARKINGS SHALL BE CONSTRUCTED USING WHITE, YELLOW, OR BLUE TRAFFIC PAINT (WHERE SPECIFIED) MEETING THE REQUIREMENTS OF AASHTO M248, TYPE F OR EQUAL. PAINTED ISLANDS AND LOADING ZONES SHALL BE 4"-WIDE DIAGONAL WHITE LINES 3'-0" O.C. BORDERED BY 4"-WIDE WHITE LINES. PARKING STALLS SHALL BE SEPARATED BY 4"-WIDE WHITE LINES. SEE DETAILS FOR HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS. PAVEMENT MARKINGS SHALL BE INSTALLED AT LEAST 14-DAYS AFTER INSTALLATION OF WEARING COURSE PAVEMENT. CONTRACTOR SHALL APPLY TWO (2) COATS OF ALL PAVEMENT MARKINGS.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
- UNLESS OTHERWISE NOTED, ALL NEW CURBING SHALL BE VERTICAL GRANITE WITH A MINIMUM RADIUS OF 4'.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF BOTH THE ARCHITECT AND CIVIL ENGINEER FOR RESOLUTION.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- SITWORK CONTRACTOR SHALL PREPARE A LICENSED LAND SURVEYOR (LLS) STAMPED AS-BUILT SITE PLAN & PROVIDE A DIGITAL (CAD FORMAT) COPY FOR THE CITY'S G.I.S. DATA BASE.
- TRASH AND RECYCLING SHALL BE STORED INSIDE BUILDING.
- THIS DEVELOPMENT IS SUBJECT TO LICENSING AGREEMENTS W/ THE CITY COUNCIL.
- RESTAURANTS SHALL NOT OCCUPY BUILDING WITHOUT THE INSTALLATION OF A GREASE TRAP MEETING CITY CODE.
- ALL SIDEWALKS TO BE CONSTRUCTED WITHIN PROJECT LIMITS SHALL BE BRICK. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING PORTSMOUTH DPW TO CONFIRM BRICK SPECIFICATIONS.
- STREET ADDRESSES FOR EACH USE SHALL BE DETERMINED BY PORTSMOUTH FIRE DEPARTMENT & DPW.
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN AREAS SHOWN ON THE PLAN, OR TRUCKED OFF SITE.
- BUILDING USES BY FLOOR (S.F. BY FOOTPRINT):**
BASEMENT: ±9,326 S.F. PARKING
FLOOR 1: ±12,489 S.F. RETAIL
FLOORS 2-3: ±12,656 S.F. RESIDENTIAL
FLOOR 4: ±5,874 S.F. RESIDENTIAL
TOTAL: ±53,001 S.F.



133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

NOT FOR CONSTRUCTION

ISSUED FOR: TAC

ISSUE DATE: MAY 19, 2021

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TAC WORK SESSION	EBS	05/05/20
1	TAC WORK SESSION	EBS	07/07/20
2	TAC	EBS	10/19/20
3	PB CONSULTATION	EBS	11/02/20
4	REV. BLDG. HEIGHT	EBS	01/26/21
5	TAC	EBS	03/22/21
6	REV. FOOTPRINT FOR HDC	EBS	04/08/21
7	TAC	EBS	04/19/21
8	TAC	EBS	05/19/21

DRAWN BY: EBS
APPROVED BY: EDW
DRAWING FILE: 5042-SITE.dwg

SCALE: 22"x34" 1" = 20'
11"x17" 1" = 40'

OWNER:
64 VAUGHAN MALL, LLC

**41 INDUSTRIAL DRIVE
EXETER, NH 03833**

APPLICANT:
HAMPSHIRE DEVELOPMENT CORP.

**41 INDUSTRIAL DRIVE
EXETER, NH 03833**

PROJECT:
**64 VAUGHAN MALL
BUILDING RESTORATION**

**TAX MAP 126, LOT 1
64 VAUGHAN MALL
PORTSMOUTH, NH 03801**

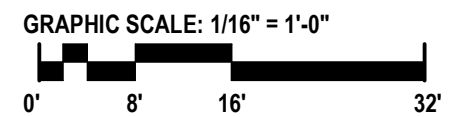
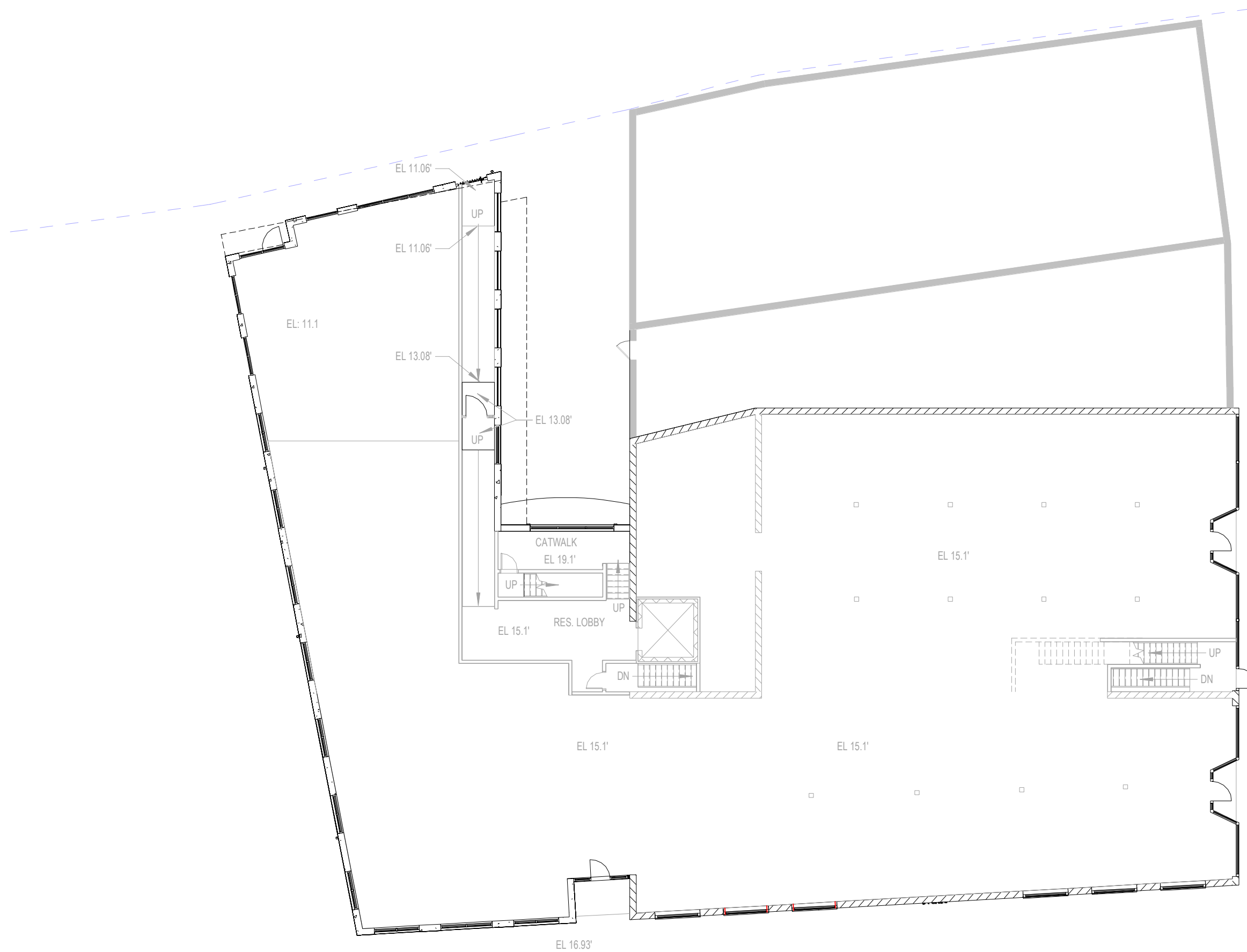
TITLE:

SITE PLAN

SHEET NUMBER:

Sheet 5

P5042



A1

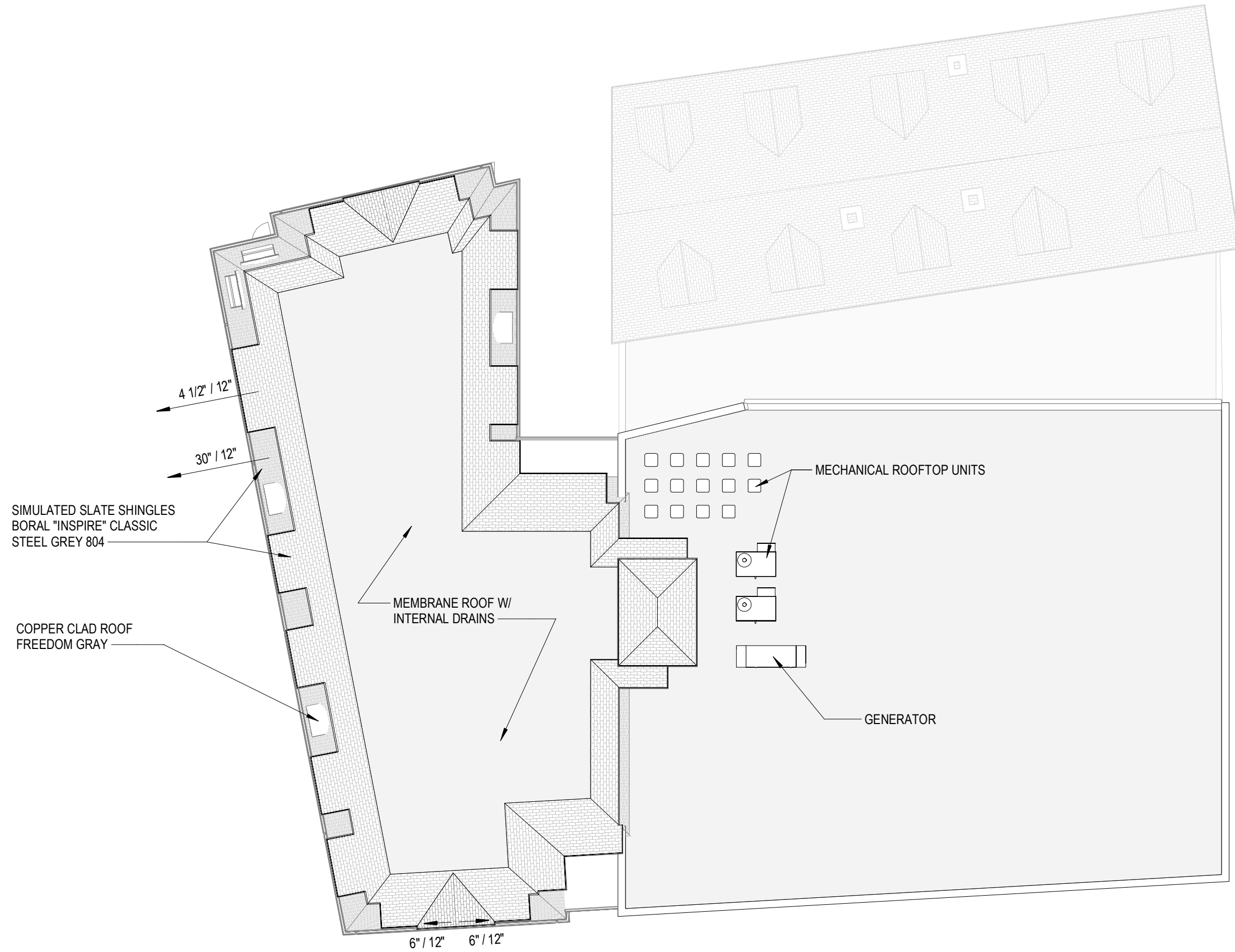
FIRST FLOOR PLAN
64 Vaughan Mall

05/20/2021

SCALE: 1/16" = 1'-0"



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SIMULATED SLATE SHINGLES
BORAL "INSPIRE" CLASSIC
STEEL GREY 804

COPPER CLAD ROOF
FREEDOM GRAY

4 1/2" / 12"

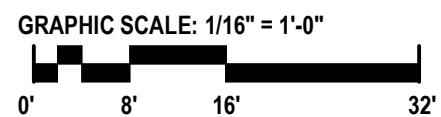
30" / 12"

MEMBRANE ROOF W/
INTERNAL DRAINS

6" / 12" 6" / 12"

MECHANICAL ROOFTOP UNITS

GENERATOR



A2

ROOF PLAN
64 Vaughan Mall

05/20/2021

SCALE: 1/16" = 1'-0"





1 SOUTH ELEVATION
1/16" = 1'-0"



2 EAST ELEVATION
1/16" = 1'-0"

A3

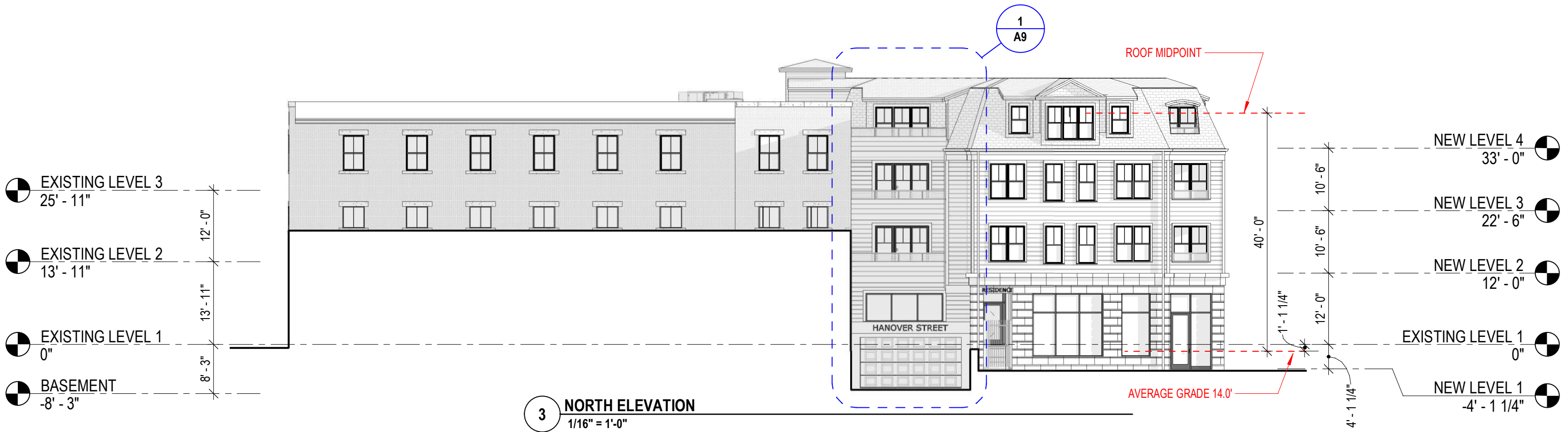
EXTERIOR ELEVATIONS
64 Vaughan Mall

05/20/2021

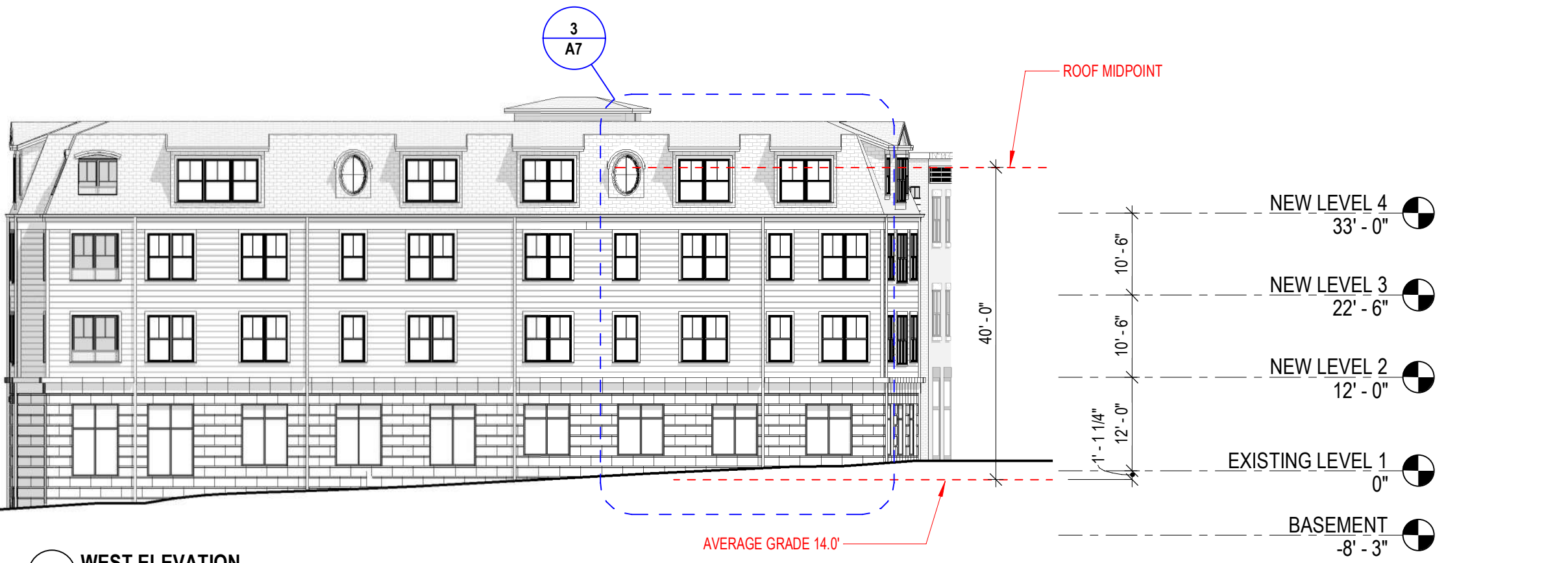
SCALE: 1/16" = 1'-0"



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3 NORTH ELEVATION
1/16" = 1'-0"



4 WEST ELEVATION
1/16" = 1'-0"

A4

EXTERIOR ELEVATIONS
64 Vaughan Mall

05/20/2021

SCALE: 1/16" = 1'-0"



2 VIEW 02



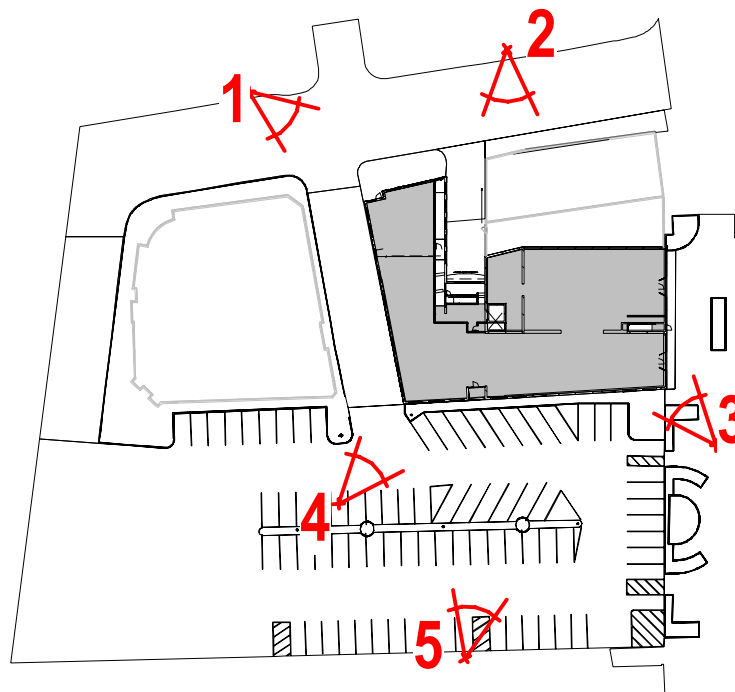
3 VIEW 04



4 VIEW 05



1 VIEW 01



01 LEVEL 1 - PERSPECTIVE PLAN
1" = 100'-0"



5 VIEW 06

A5

PERSPECTIVE VIEWS
64 Vaughan Mall

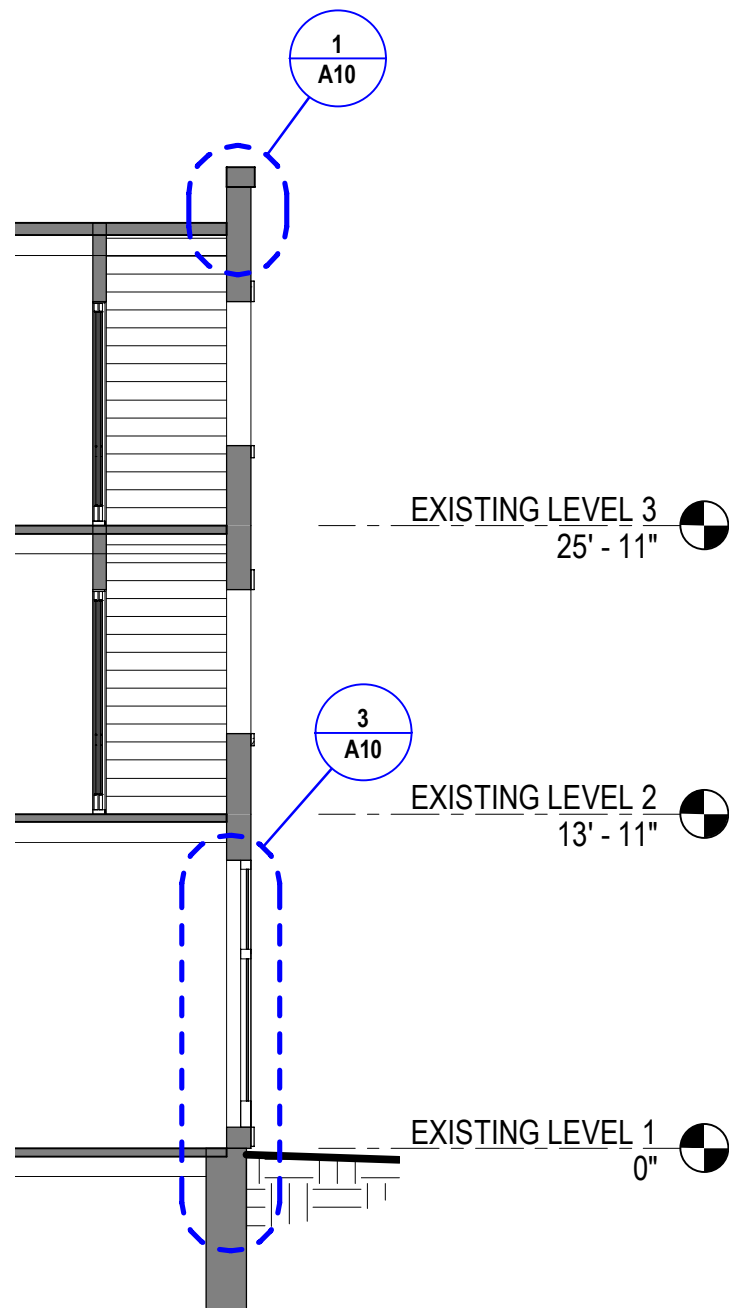
05/20/2021

SCALE: 1" = 100'-0"

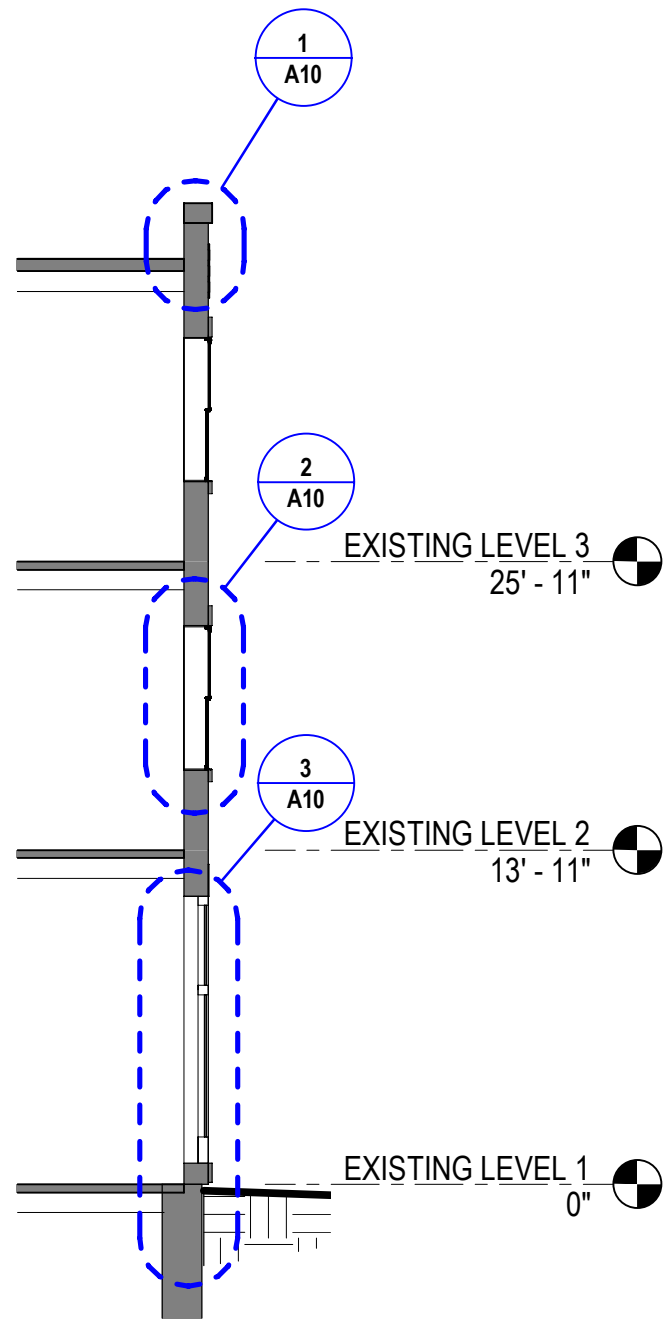


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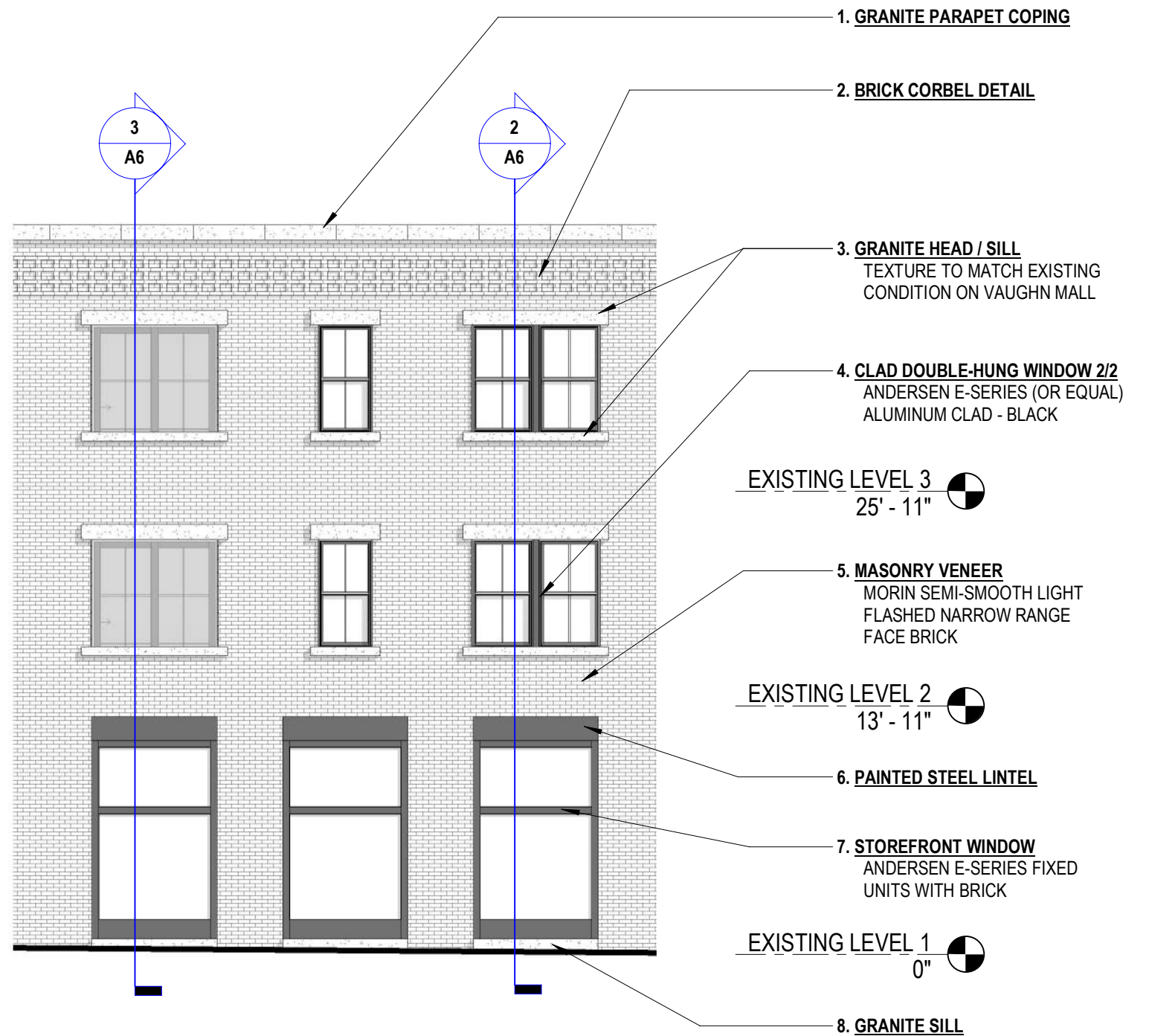
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3 EXISTING BUILDING SECTION - RECESSED DECK
1/8" = 1'-0"



2 EXISTING BUILDING SECTION
1/8" = 1'-0"

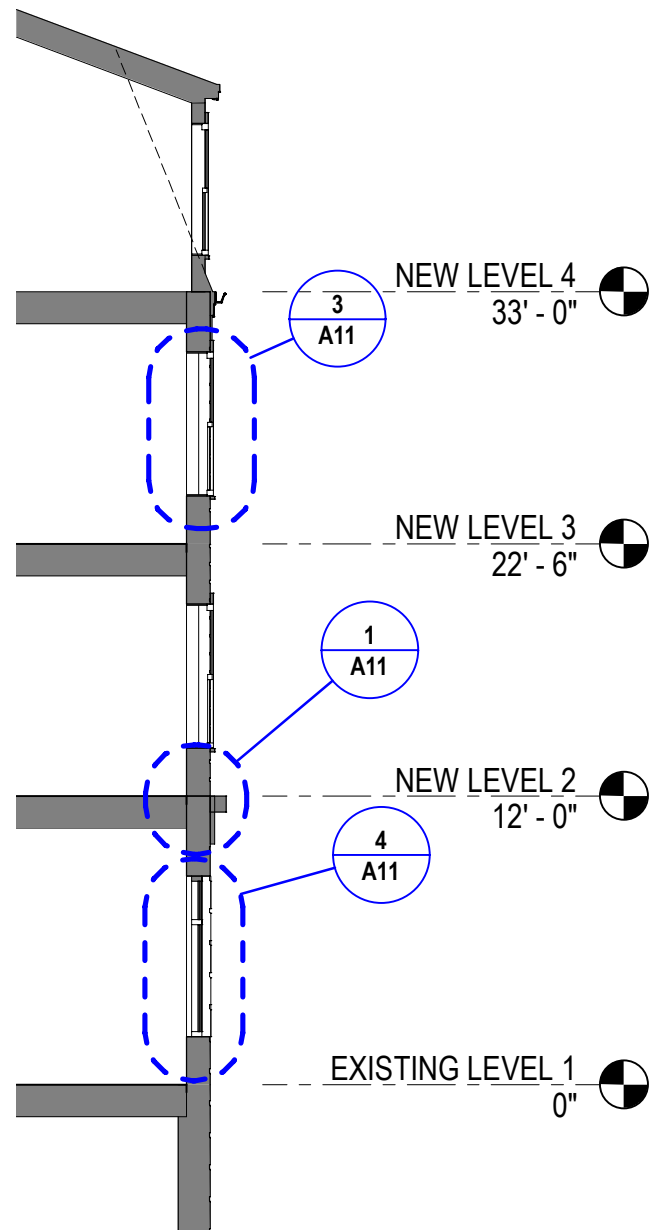


1 PARTIAL EXISTING ELEVATION - SOUTH ELEVATION
1/8" = 1'-0"

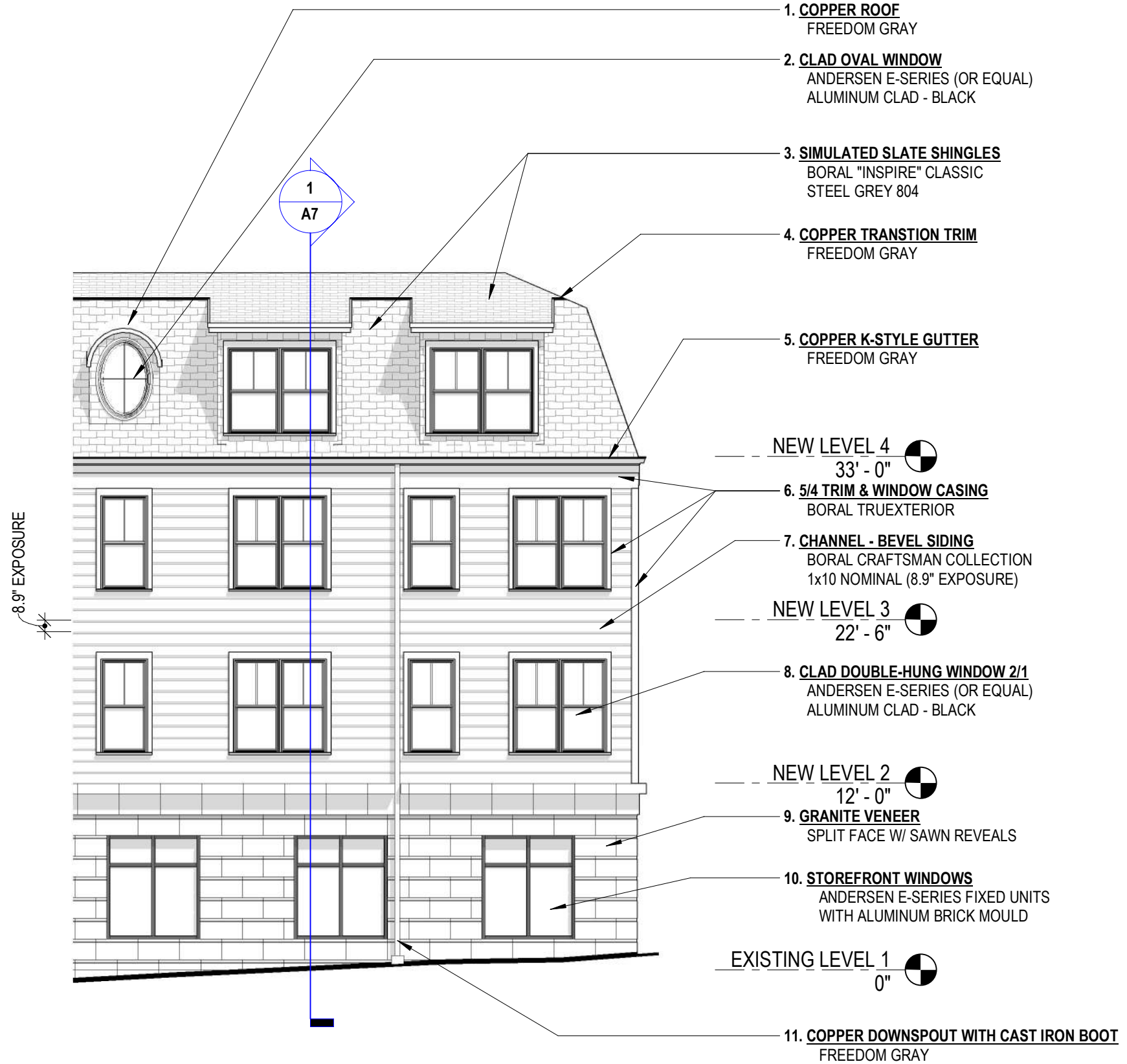
A6 EXTERIOR ELEVATION - MATERIAL LEGEND
64 Vaughan Mall

05/20/2021

SCALE: 1/8" = 1'-0"



1 WALL SECTION - WEST ELEVATION
1/8" = 1'-0"



3 PARTIAL NEW ELEVATION - WEST ELEVATION
1/8" = 1'-0"

A7 EXTERIOR ELEVATION - MATERIAL LEGEND
64 Vaughan Mall

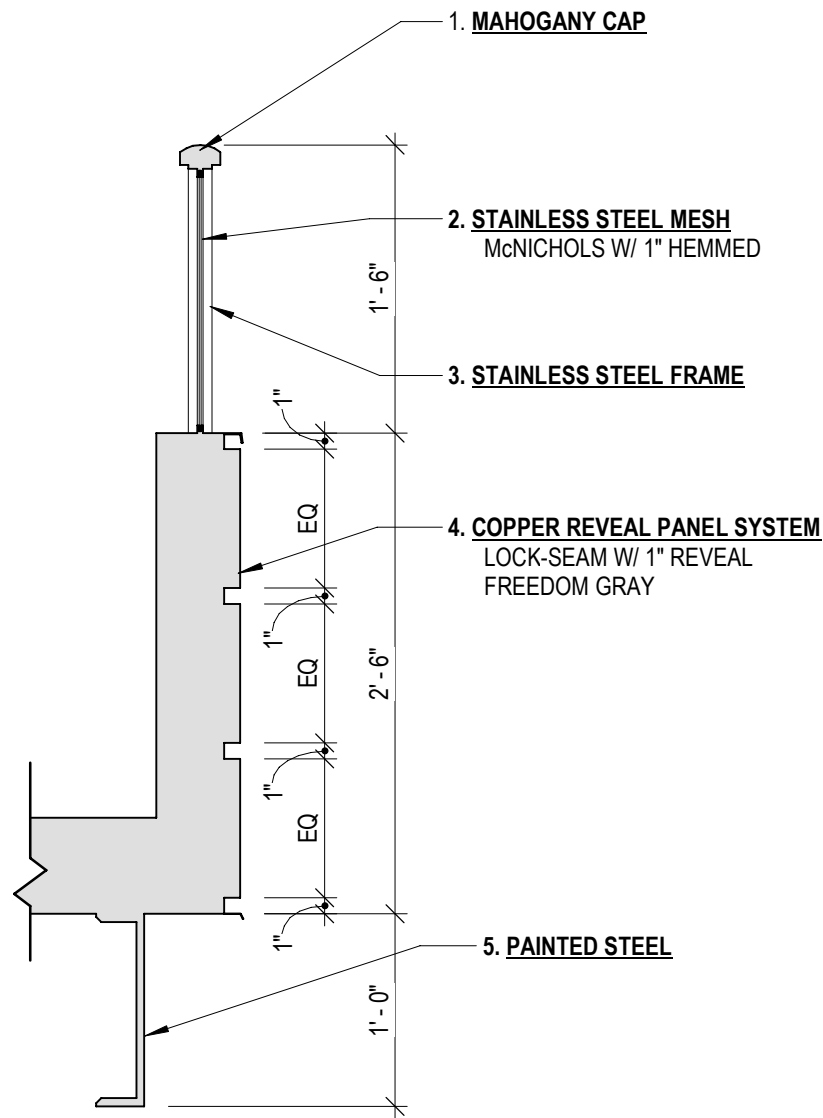
05/20/2021

SCALE: 1/8" = 1'-0"

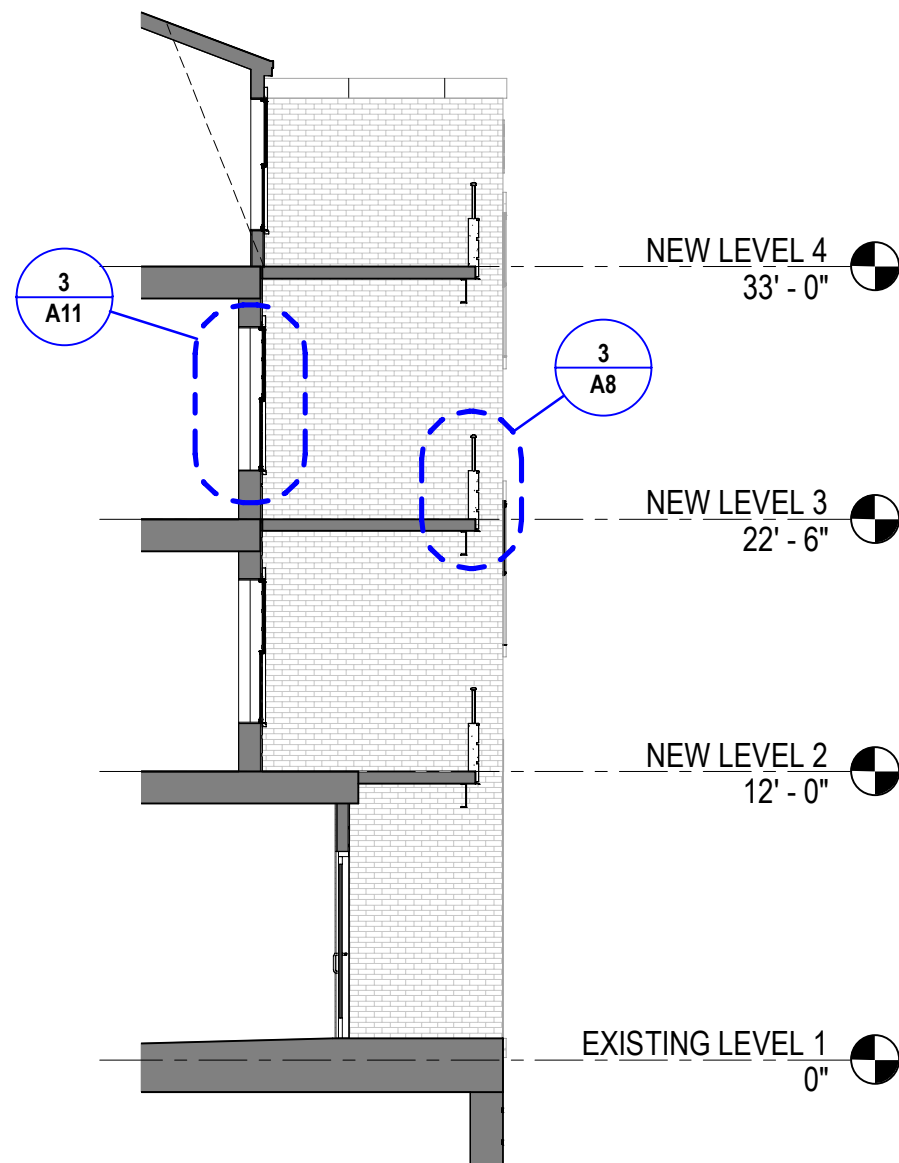


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PLANNERS

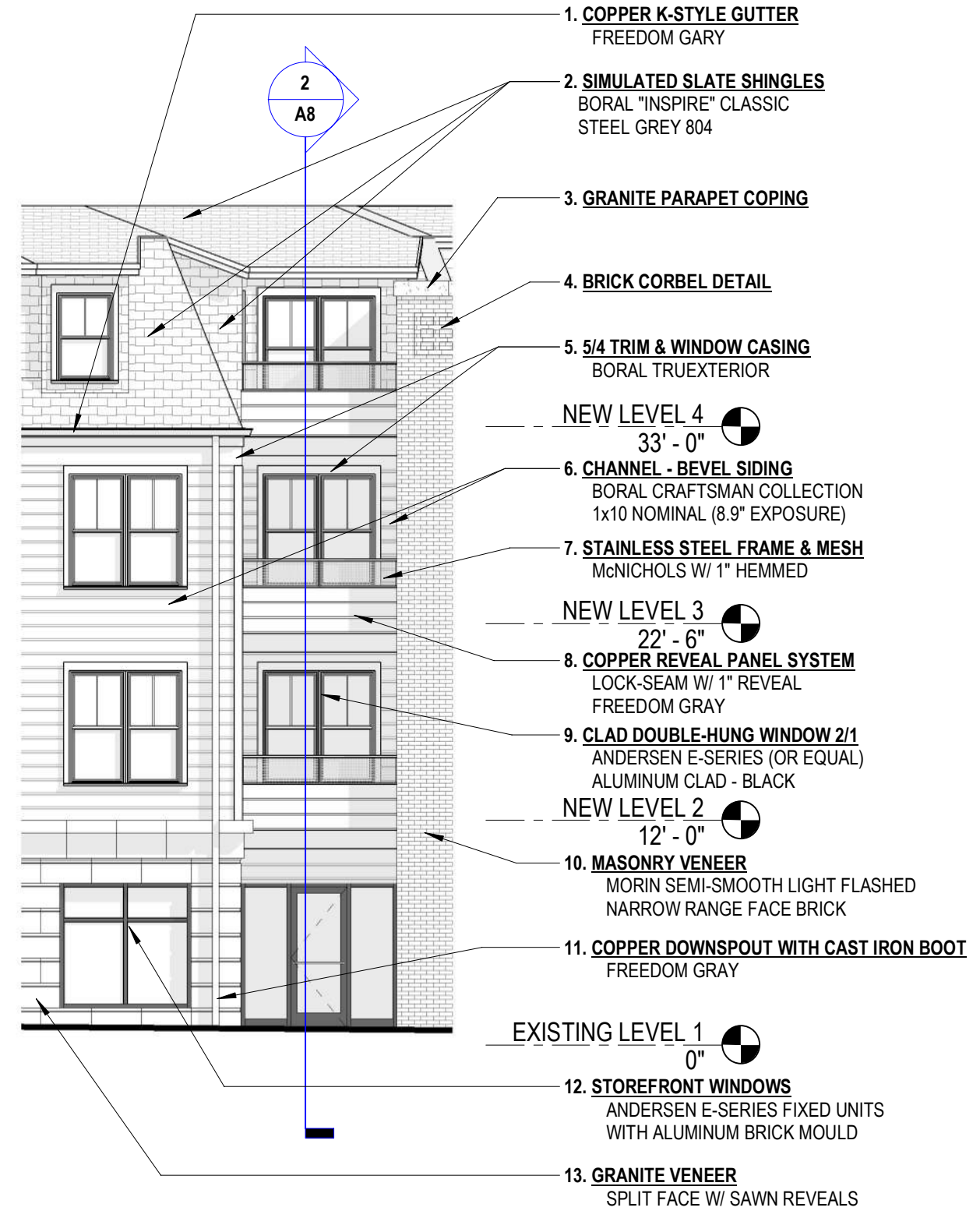
COPYRIGHT © 2021



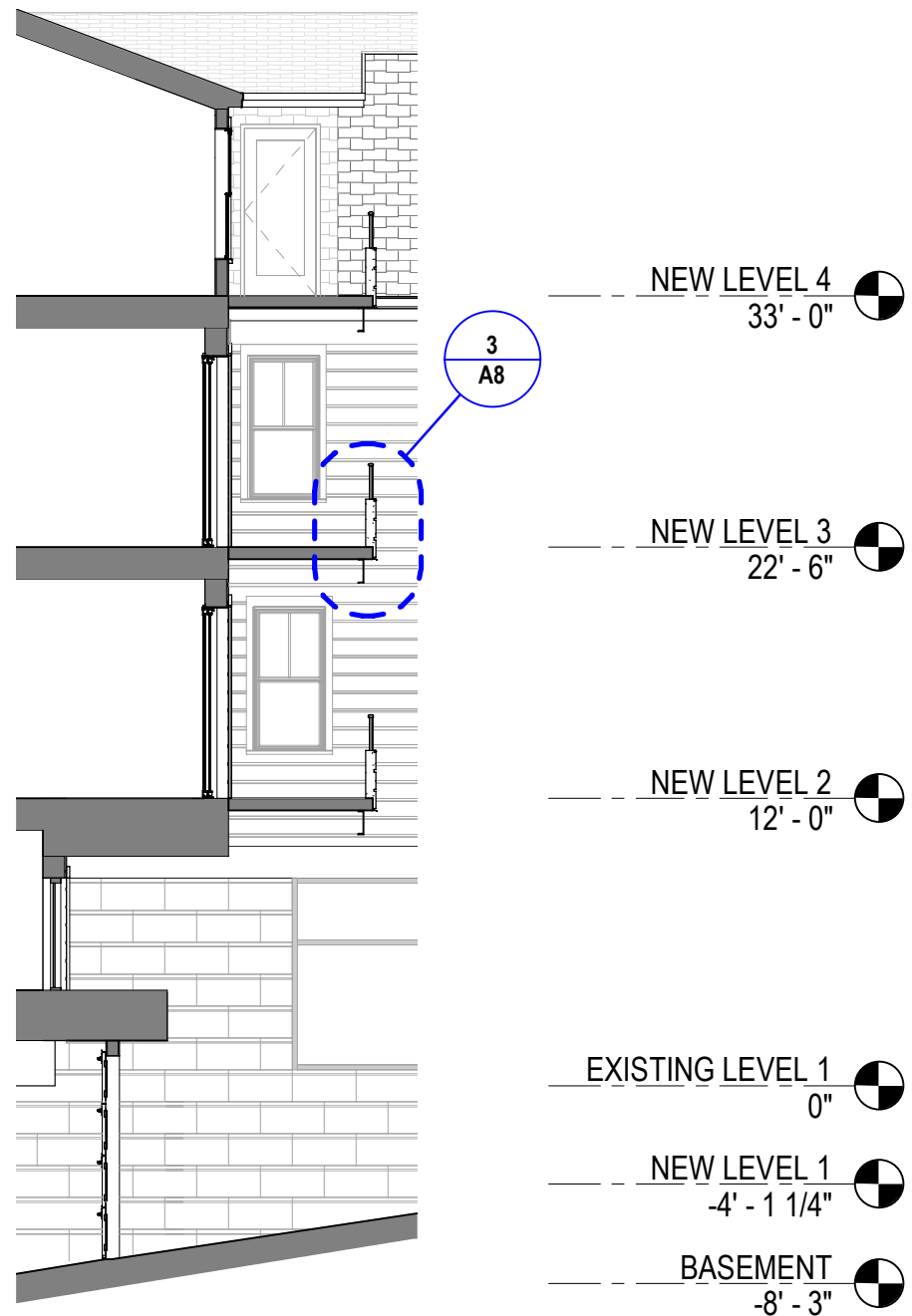
3 TYPICAL DECK RAILING
1" = 1'-0"



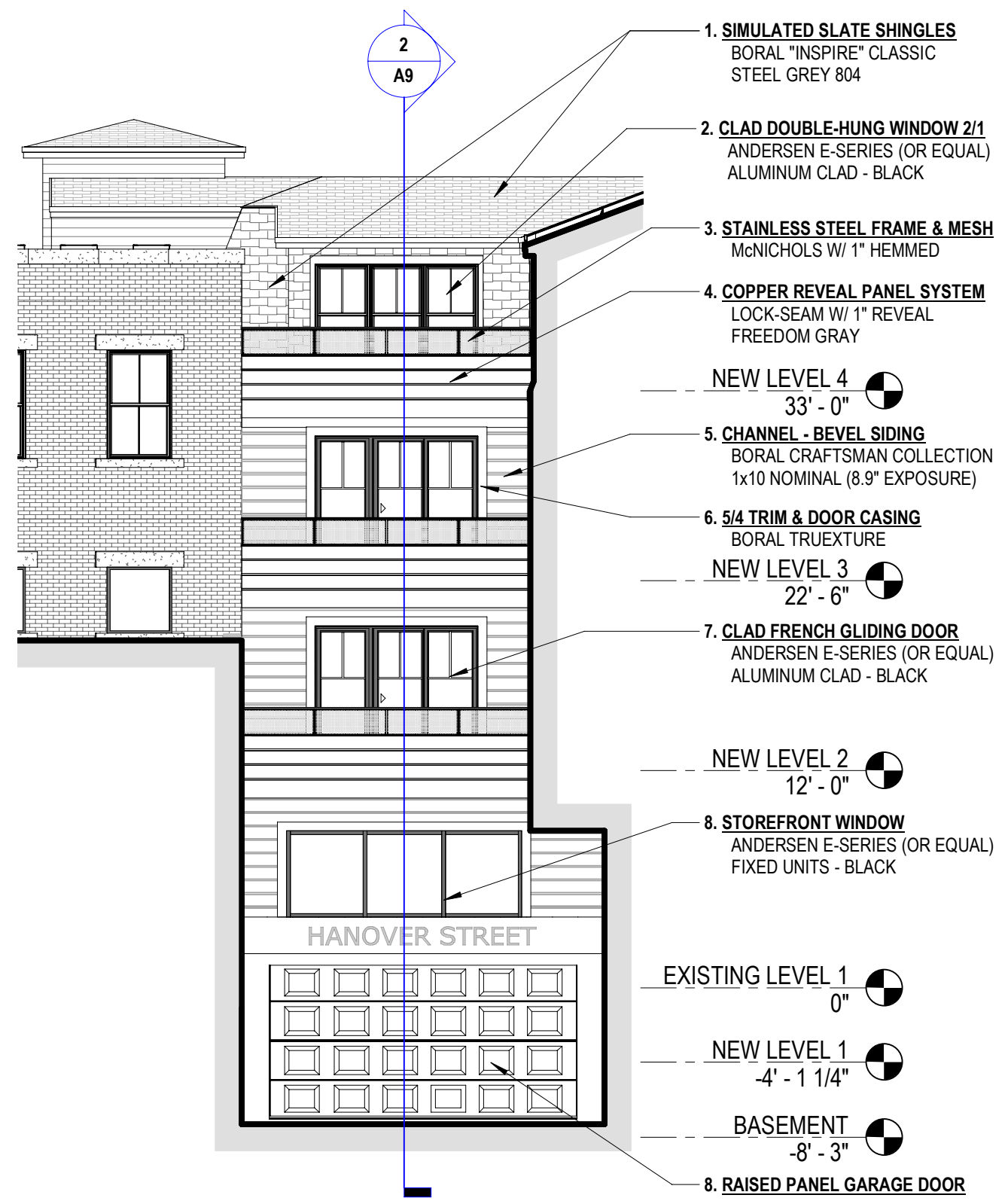
2 DECK SECTION
1/8" = 1'-0"



1 PARTIAL NEW ELEVATION - SOUTH ELEVATION
1/8" = 1'-0"



2 WALL SECTION - GARAGE DOOR
1/8" = 1'-0"



1 PARTIAL NEW ELEVATION - NORTH ELEVATION
1/8" = 1'-0"

A9

EXTERIOR ELEVATION - MATERIAL LEGEND
64 Vaughan Mall

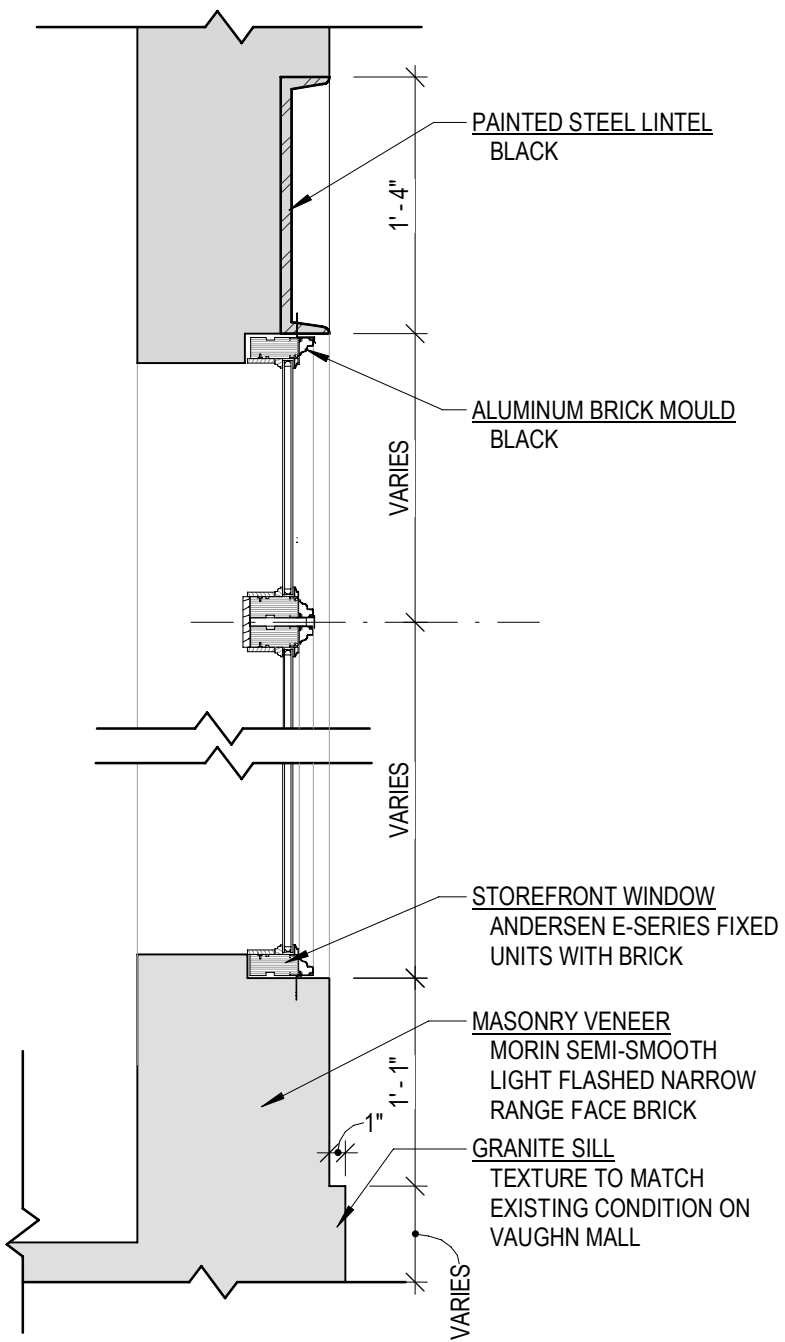
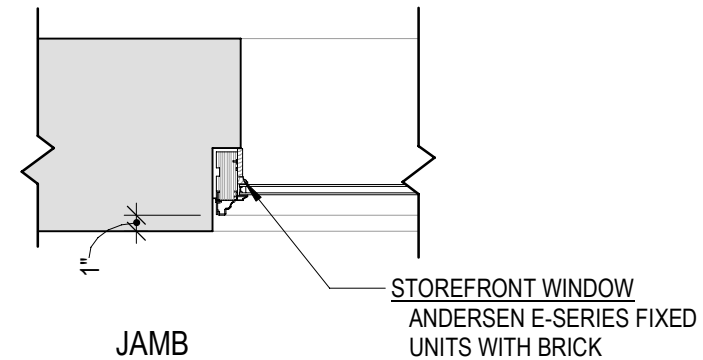
05/20/2021

SCALE: 1/8" = 1'-0"

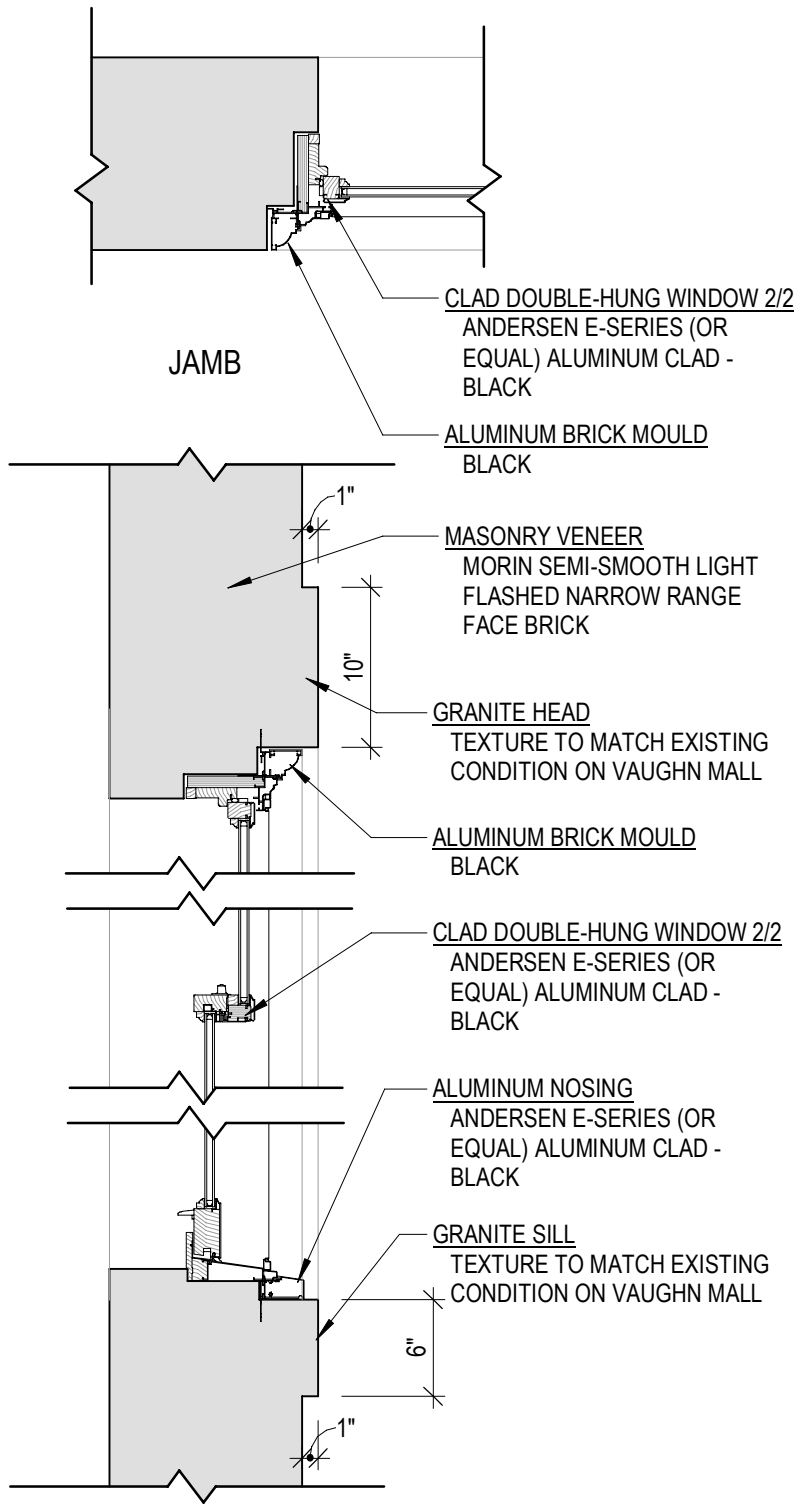


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PLANNERS

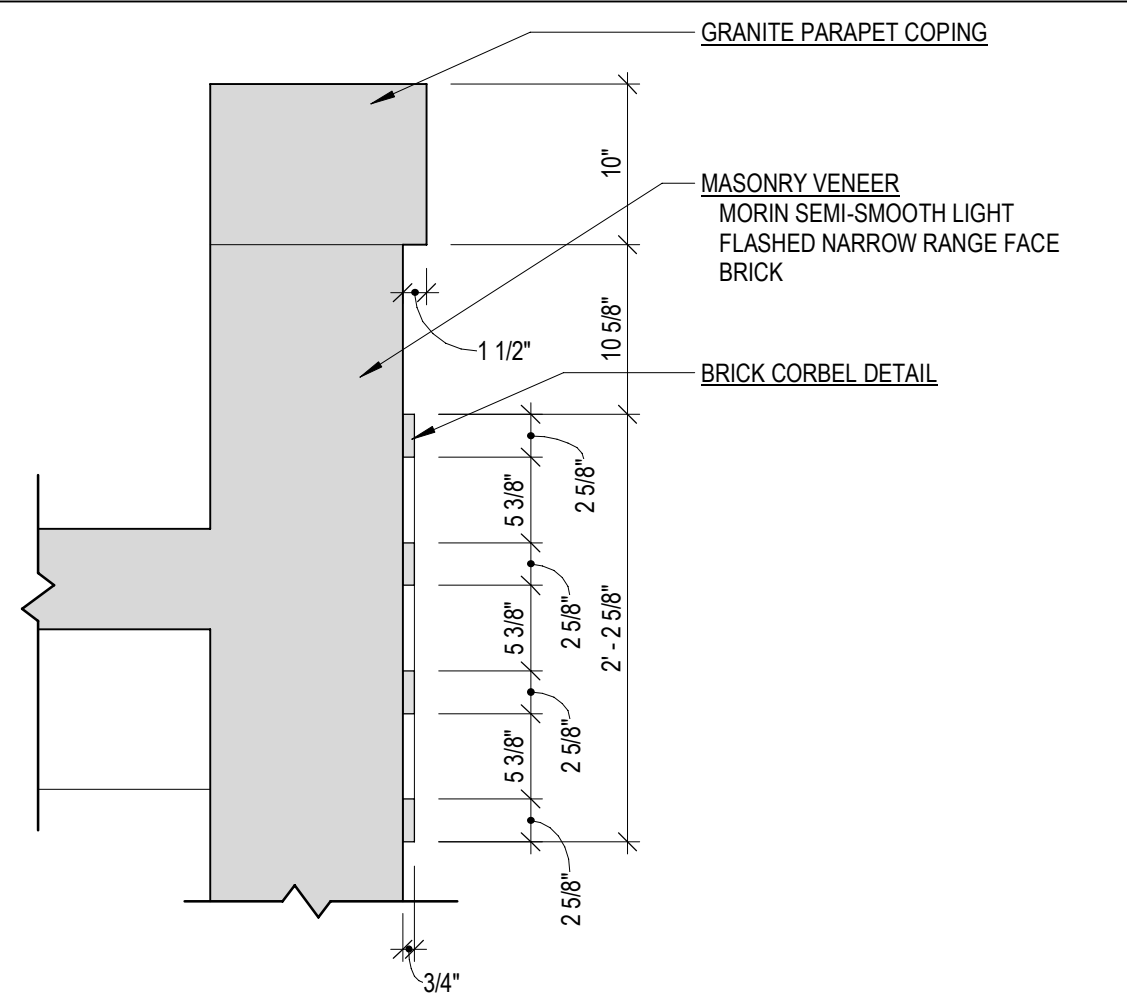
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3 STOREFRONT WINDOW DETAILS - EXISTING BRICK
1" = 1'-0"



2 DOUBLE-HUNG WINDOW DETAILS - EXISTING BRICK
1" = 1'-0"



1 BRICK CORBEL DETAIL
1" = 1'-0"

A10

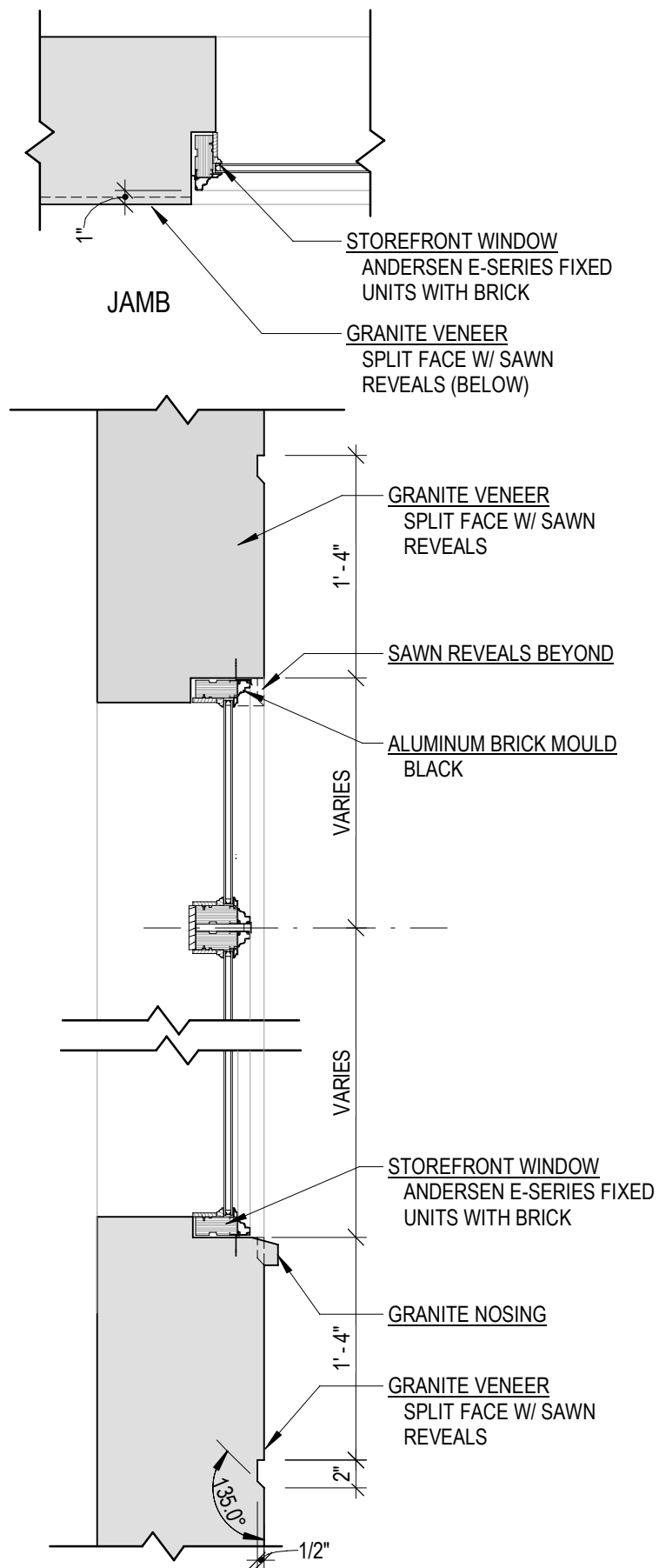
DETAILS
64 Vaughan Mall

05/20/2021

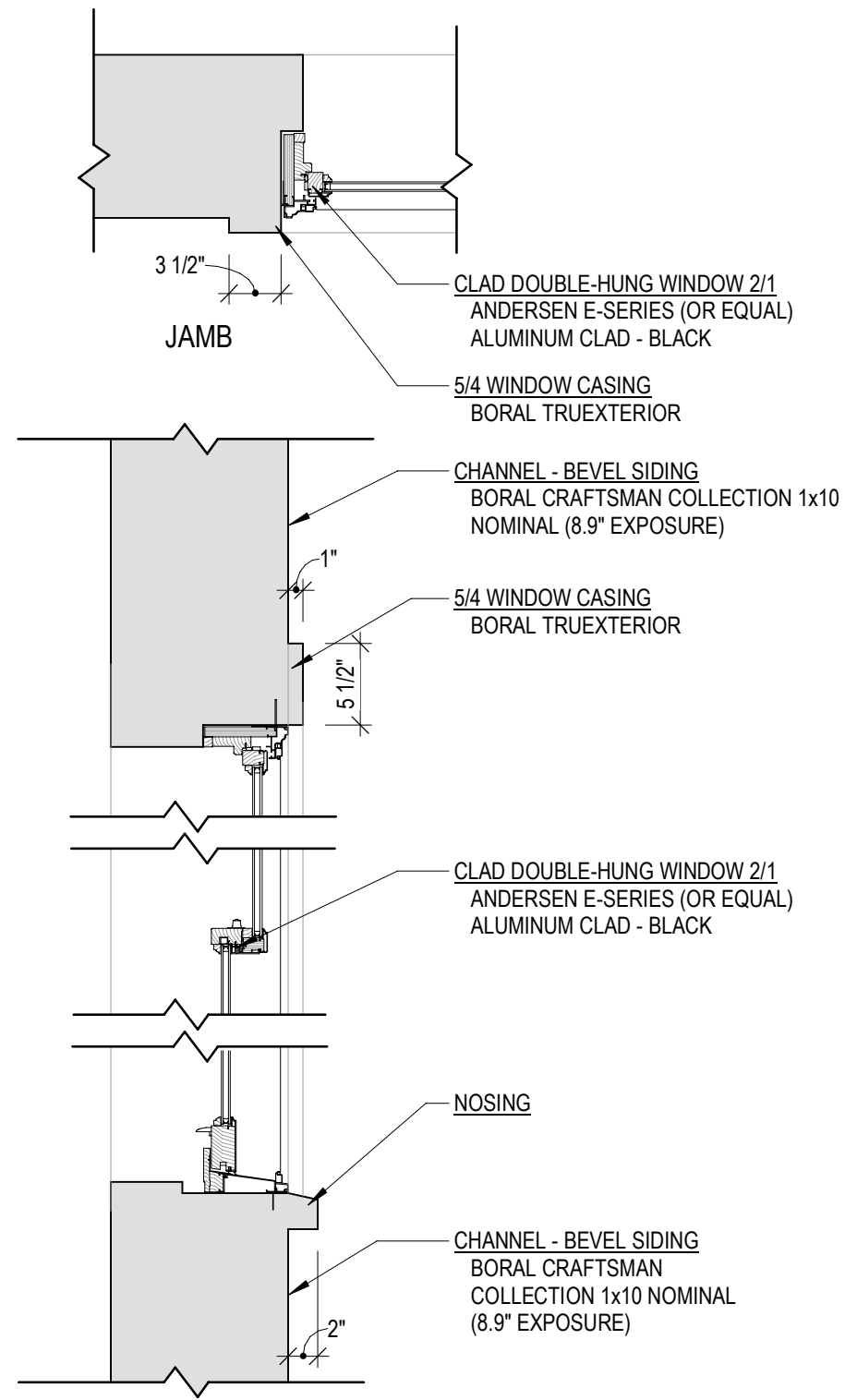
SCALE: 1" = 1'-0"



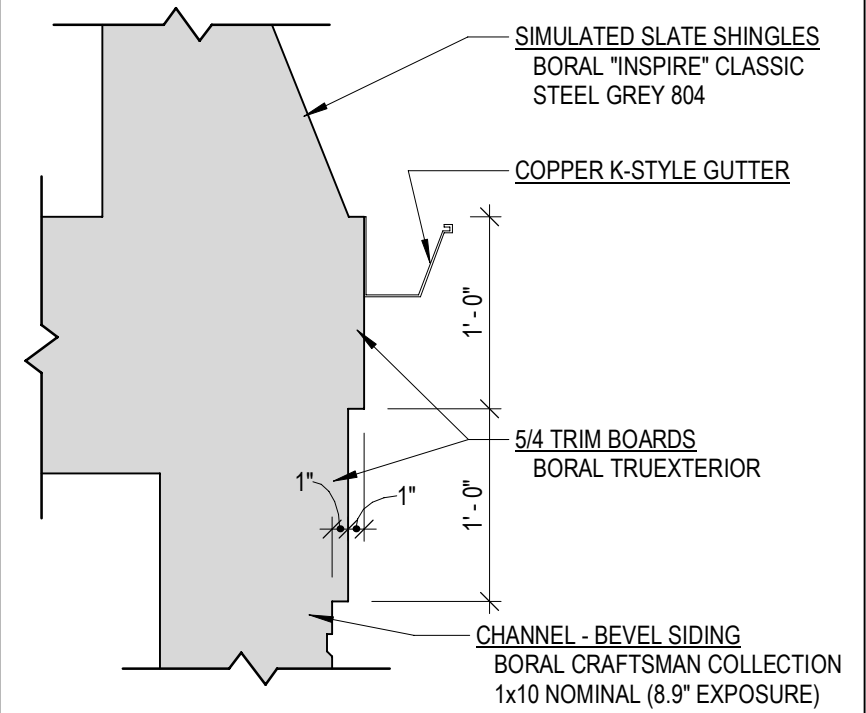
COPYRIGHT © 2021



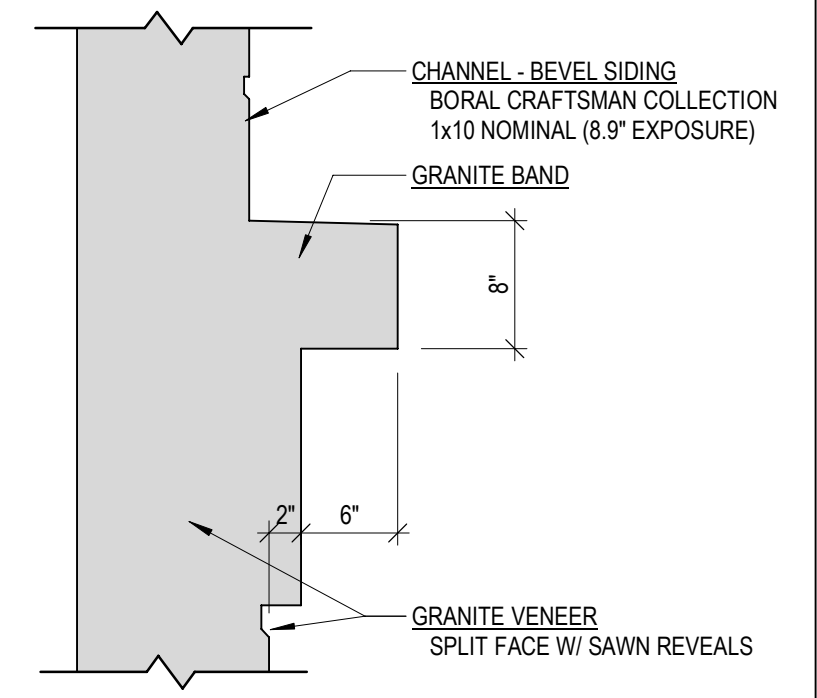
4 STOREFRONT WINDOW DETAILS - GRANITE VENEER
1" = 1'-0"



3 DOUBLE-HUNG WINDOW DETAIL - BORAL CHANNEL-BEVEL
1" = 1'-0"



2 TYPICAL ROOF EDGE
1" = 1'-0"



1 GRANITE BAND @ GRANITE VENEER
1" = 1'-0"

A11

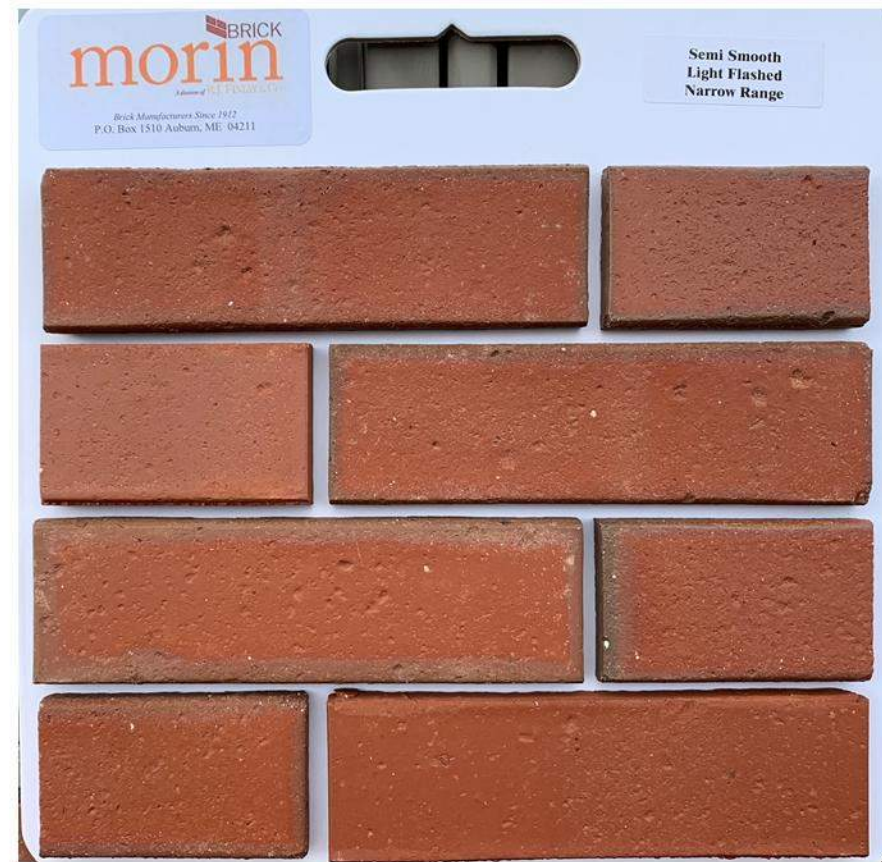
DETAILS
64 Vaughan Mall

05/20/2021

SCALE: 1" = 1'-0"



1. Existing Brick Finish (cleaned)



2. Proposed Brick Veneer
Morin Semi-Smooth, Light
Flashed, Narrow Range



3. Granite Heads/Sills;
Veneer to match existing.
Split-face texture

M1

MATERIALS

64 Vaughan Mall

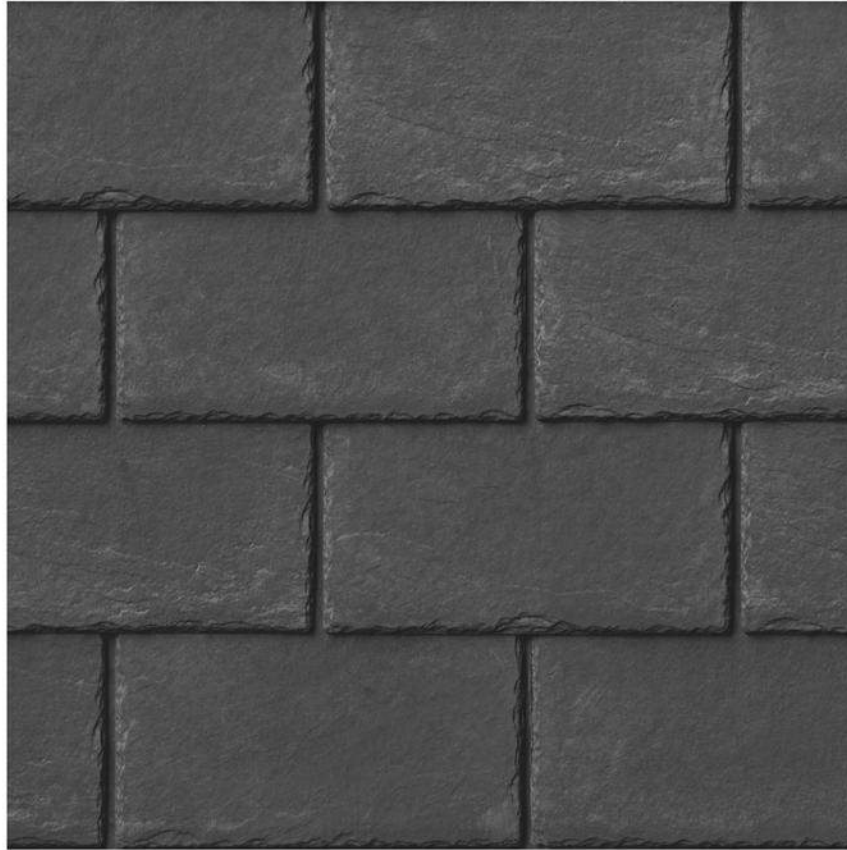
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SCALE:



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Steel Grey



4. Simulated Slate Shingle
Boral Inspire Classic Slate
Steel Grey 804



Specifications

CLASSIC SLATE - Single Width									
Class A - Item #46Z****	Exposure	Width	Height	Weight	Pieces	Bundle	Square	Pallet	Truck
Class C - Item #46UE****	Max: 7'-1/2" Can be installed at 6' to 7'-1/2"	12"	18"	1.5 lbs.	25	38 lbs.	240 lbs.	2,400 lbs.	42,500 lbs.
					1	25	160	1,600	28,000
							6.4	64	1,120
								10	175
									18

CLASSIC SLATE - STARTER					CLASSIC SLATE - HIP AND RIDGE				
Class A - Item #46Z****	Width	Height	Weight / Piece	Pieces / Bundle	Class A - Item #46Z****	Width	Length	Exposure	Preformed Pitch
Class C - Item #46UE****	12"	13-1/2"	1 lb.	25 lbs.	Class C - Item #46UE****	12"	18"	6'-7.5"	3/12 - 18/12

TEST	TESTING PERFORMED	RESULTS FOR
Fire Rating	In accordance with UL 790 / ASTM E 108	Class A* or Class C Fire Rated System. (Depending on system)
Hail Rating	In accordance with UL 2219	Class 4
Accelerated Ultra Violet Exposure	In accordance with ASTM G154 Xenon Arc Chamber 9,500+ hours	Tile exhibited virtually no fade and with no trace of cracking, spalling or delamination.
Wind Driven Rain / Wind Uplift	In accordance with TAS 100-95; UL 580	Up to 110 mph. No water infiltration through sheathing. No tiles blown off, torn or blown upward.
Freeze-Thaw Cycle	In accordance with ASTM C666/C667M	No signs of damage or cracking after 300+ cycles.
Water Absorption	In accordance with ASTM C272	No appreciable weight gain.
Water Penetration	In accordance with ASTM E3315/M	Tile shown to be impermeable per ASTM test methods.

Approvals: Florida Building Code Org. FL#17403, FL#16268, FL#161856, Texas Department of Insurance PC-404, CCNR-0118

Please refer to our website for installation guides.
*Contact Inspire Roofing Products for specific application requirements for UL Class A fire rated systems.
**** Indicates color number.



5. Copper K style gutter in Revere Freedom Gray (Tin-Zinc) Coating

Freedom Gray
Tin-Zinc Coatings Perform



Revere T-Z® Product is Durable, Attractive and Easy on the Environment.

Revere Tin-Zinc® products are coated on both sides with a unique, patented T-Z Alloy™ (tin-zinc alloy). It offers all the advantages of copper with a naturally weathering earthtone gray color. Revere's T-Z® coated products are rugged, environmentally friendly and aesthetically appealing, for use in virtually all architectural metal applications.

The three layers of FreedomGray Satin T-Z Alloy™.

- 1 Tin-zinc alloy with satin finish
- 2 Intermetallic layer
- 3 Copper (99.5% pure)

The tin-zinc alloy is applied to both sides of our sheets and coils, using the hot-dip process. This ensures complete coverage and eliminates voids.

A satin finish is factory-applied to FreedomGray Satin T-Z Alloy™ to reduce initial reflectiveness and provide a natural, weathered appearance. The satin-finished Tin-Zinc surface begins to oxidize and starts to darken upon exposure. Environmental conditions and severity of exposure dictate how long this will take.

As with plain and pre-patinaed copper, FreedomGray Satin T-Z Alloy™ will always display differences in the shades and hues of its natural patina. These are NOT an indication of defective material. In many respects it is the variations that give T-Z® coated products their unique life, vitality and aesthetics.



M2

MATERIALS

64 Vaughan Mall

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SCALE:



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Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/2"	6-31/32"
1 x 10	11/16"	9-1/2"	8-31/32"

5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
—	—	—	—	—	—	2 x 2	1-1/2" x 1-1/2"
—	—	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	—	—
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
—	—	1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"	—	—
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

TruExterior® Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in a 16' length.

Reversible Smooth/Woodgrain Finish

*Please see TruExterior® Siding & Trim Limited Warranties and Product Data Sheets for proprietary test results, located at TruExterior.com.

6. Horizontal Siding and Trim-Painted
Boral Tru Exterior Craftsman Collection
Channel Bevel 1 x 10

M3

MATERIALS

64 Vaughan Mall

05/20/2021

SCALE:



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DOUBLE-HUNG WINDOW

Black Exterior,

FEATURES

DOUBLE-HUNG WINDOWS

FRAME & SASH

Select wood components are kiln dried and treated with water/insect repellent and preservative. Interior wood surfaces are available in pine, mixed grain Douglas fir, cherry, hickory, mahogany, maple, oak, walnut, alder or vertical grain Douglas fir. Interior surfaces are available unfinished or factory primed. Factory-applied finishes are available in a variety of stain and paint options.

Wood components are fitted with aluminum extrusions on the exterior. 50 exterior colors that meet AAMA 2604 and 2605 specifications are available, as well as custom colors. Also available is a selection of seven exterior anodized options.

Optional vinyl installation flanges are pre-applied into a kerf on the frame exterior to facilitate installation. Optional aluminum flanges or metal installation clips are available.

Compression built weatherstripping is applied on the bottom sash, head jamb, at the meeting rail and on side jambs for a maximum weather seal.

Jamb liners encase balancer assemblies that allow each sash to be slid 90° inward from a bottom pivot and stay securely in place for washing.



HARDWARE

Sash lock/lift mechanisms and keepers give a slim, more traditional design and allow opening and tilting of the window in one operation. Tilting the sash from the inside for cleaning is effortless.

Optional surface mount sash lifts allow for easy operation. Units less than 3' wide use one lift. Units 3' wide and greater use two lifts.

HARDWARE OPTIONS



Lock: Antique Brass | Black | Bright Chrome | Bronze | Gold | Oil Rubbed Bronze | Pewter | Polished Brass | Satin Chrome | White
Sash Lift: Same color options as lock.

WINDOW WITH SENSORS USE A DIFFERENT SASH LOCK. SEE THE NEXT PAGE FOR DETAILS.

HARDWARE FINISHES



GLASS

High-Performance Low-E6® glass with a low-conductivity spacer. Triple-pane glass, tinted, clear dual-pane, high-altitude glass and other special glazing options are available.

Glass is fixed in place from the interior with wood stops that can be removed for easy reglazing if necessary. Glass stops available in ovolo (colonial) and contemporary profiles.

EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS 50 exterior colors, 7 anodized finishes and custom colors. See exterior colors on page 11.

INTERIOR WOOD SPECIES



Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All factory-finished options are shown on pine.

FACTORY-FINISHED INTERIORS



Painted options available on pine. Dark bronze and black painted options available on pine or maple. Anodized silver painted option available on maple only.

INTERIOR PAINTED OPTIONS



*Actual wood species is either Sapelle or Sipo, both non-endangered species grown in Africa, with color and characteristics similar to Central American mahoganies. Painting limitations prevent exact replication of colors and finishes. Please see your Andersen supplier for actual color and finish samples.

64 Vaughn Mall Portsmouth NH
7/8" Modern Divided Lights

ARCHITECTURALLY AUTHENTIC GRILLES

We offer a variety of grille styles and patterns to choose from, or design your own with varying lines, curves and shapes.

FULL DIVIDED LIGHT (MODERN DIVIDED LIGHT)

Give any window an authentic look with full divided light grilles that are permanently applied to the interior and exterior of your window with a spacer between the glass. Available in ovolo (colonial) and contemporary profiles.



Shown with chamfer exterior grille and ovolo interior grille profiles.

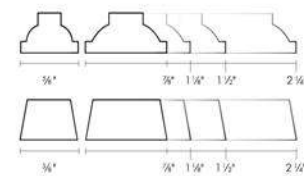
SIMULATED DIVIDED LIGHT (CLASSIC DIVIDED LIGHT)

An economical solution with traditional beauty, our simulated divided light features fixed exterior and interior grilles without an internal spacer. Available in ovolo and contemporary profiles.

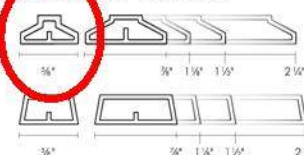


Shown with contemporary exterior and interior grille profiles.

Profiles and Widths - Interior Grilles



Profiles and Widths - Exterior Grilles



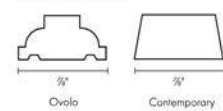
REMOVABLE INTERIOR WOOD GRILLES

Our removable wood grilles are installed on the interior surface. They are available with an optional surround and an optional permanently applied exterior grille. Available in ovolo and contemporary profiles.



Shown with ovolo profile and optional permanently applied exterior grille with chamfer profile.

Profiles and Widths



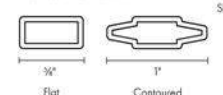
FINELIGHT™ GRILLES-BETWEEN-THE-GLASS

Aluminum grilles conveniently placed between two panes of glass make the glass easy to clean inside and out.



Shown with 1" contoured profile.

Profiles and Widths



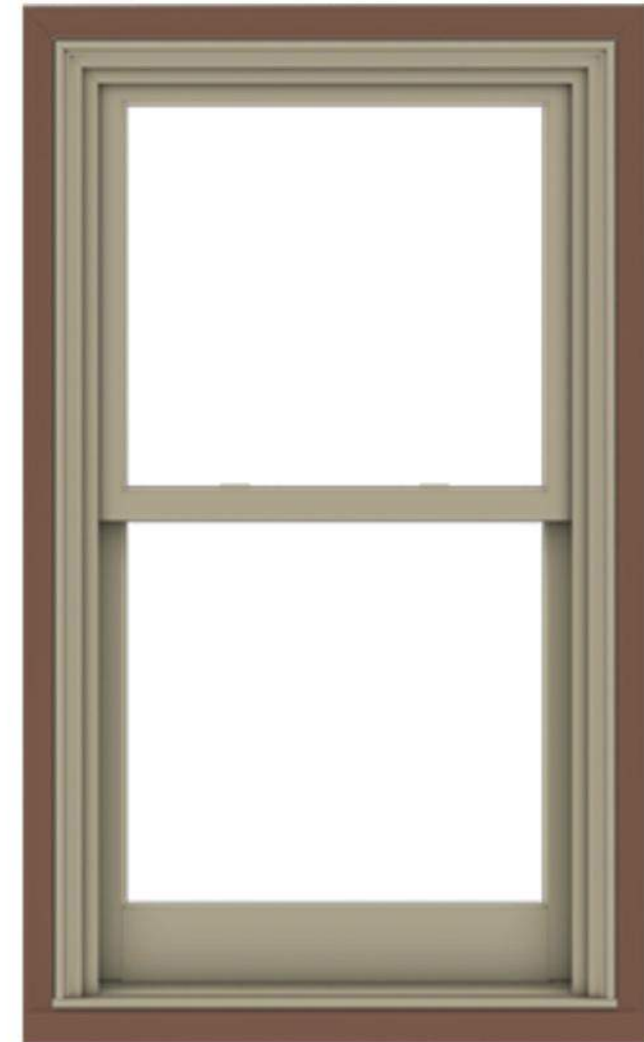
3/8" Color Options



1" Color Options



Choose from our broad palette of 50 colors or select from the two-tone paint combinations shown above.



- 7. Andersen E Series Aluminum Clad Windows
- 2/2 SDL pattern (Vaughan Mall)
- 2/1 SDL pattern (Hanover Street)

M4

MATERIALS

64 Vaughn Mall

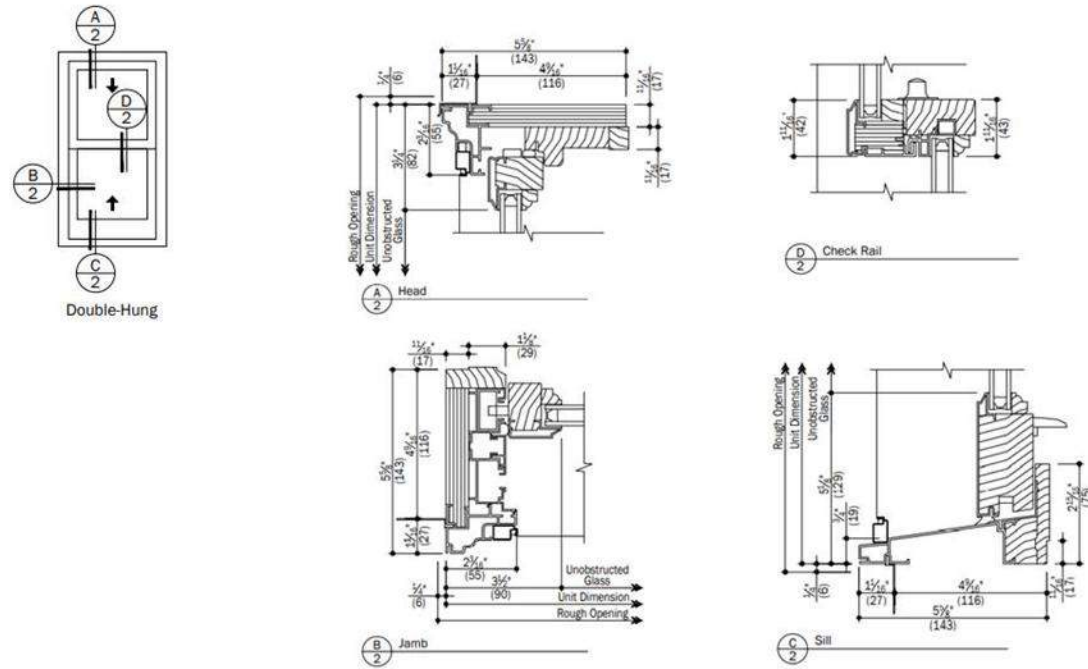
05/20/2021

SCALE:

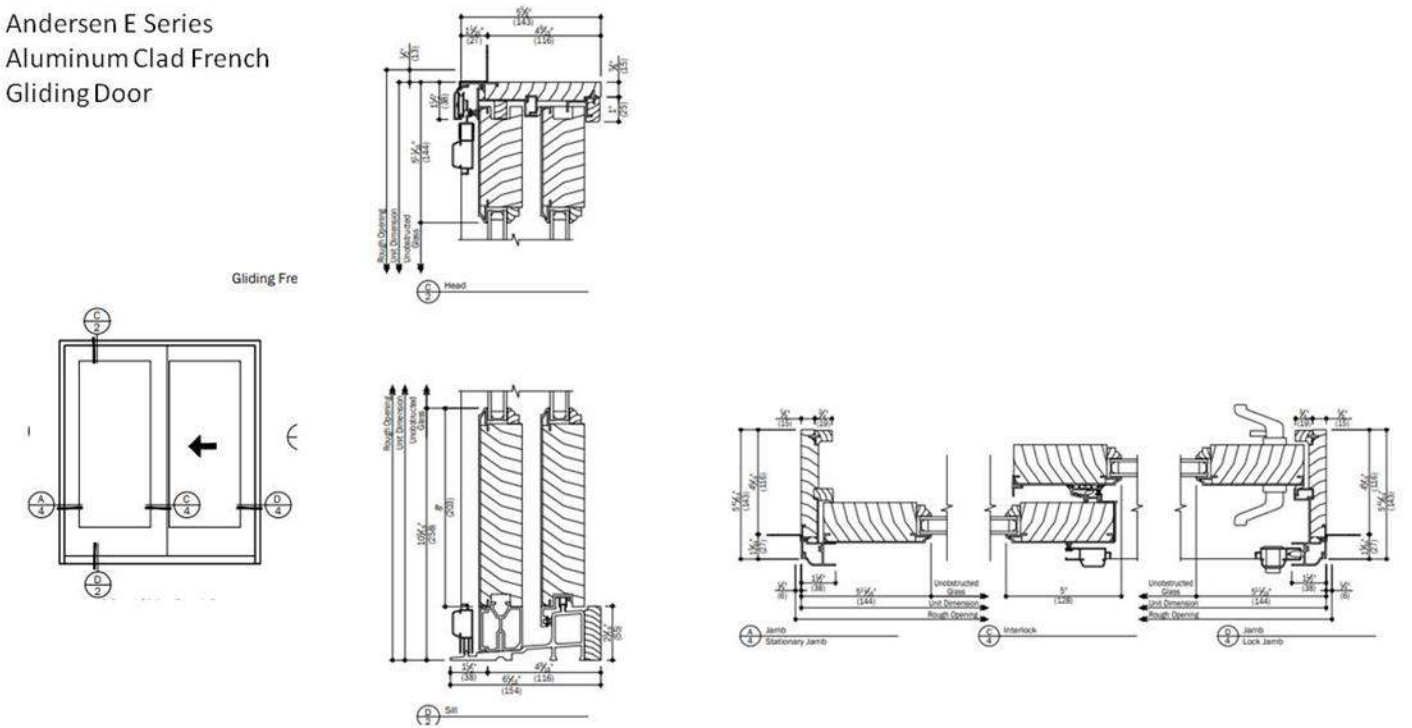


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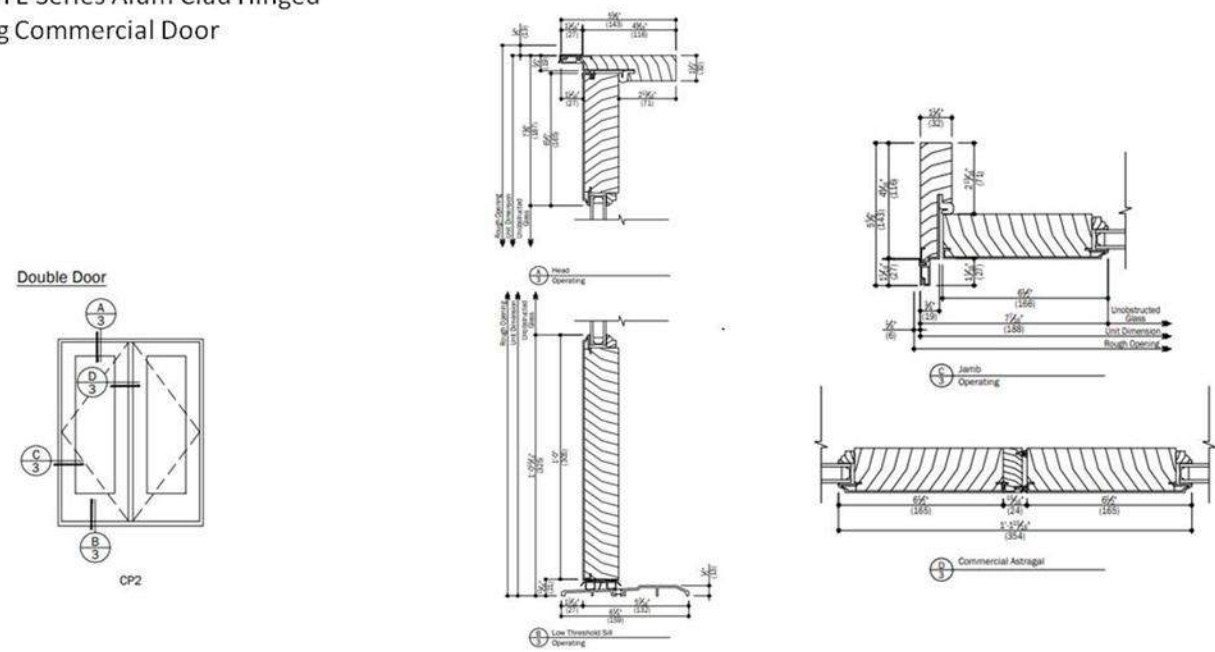
Andersen E Series Alum Clad Double Hung Window



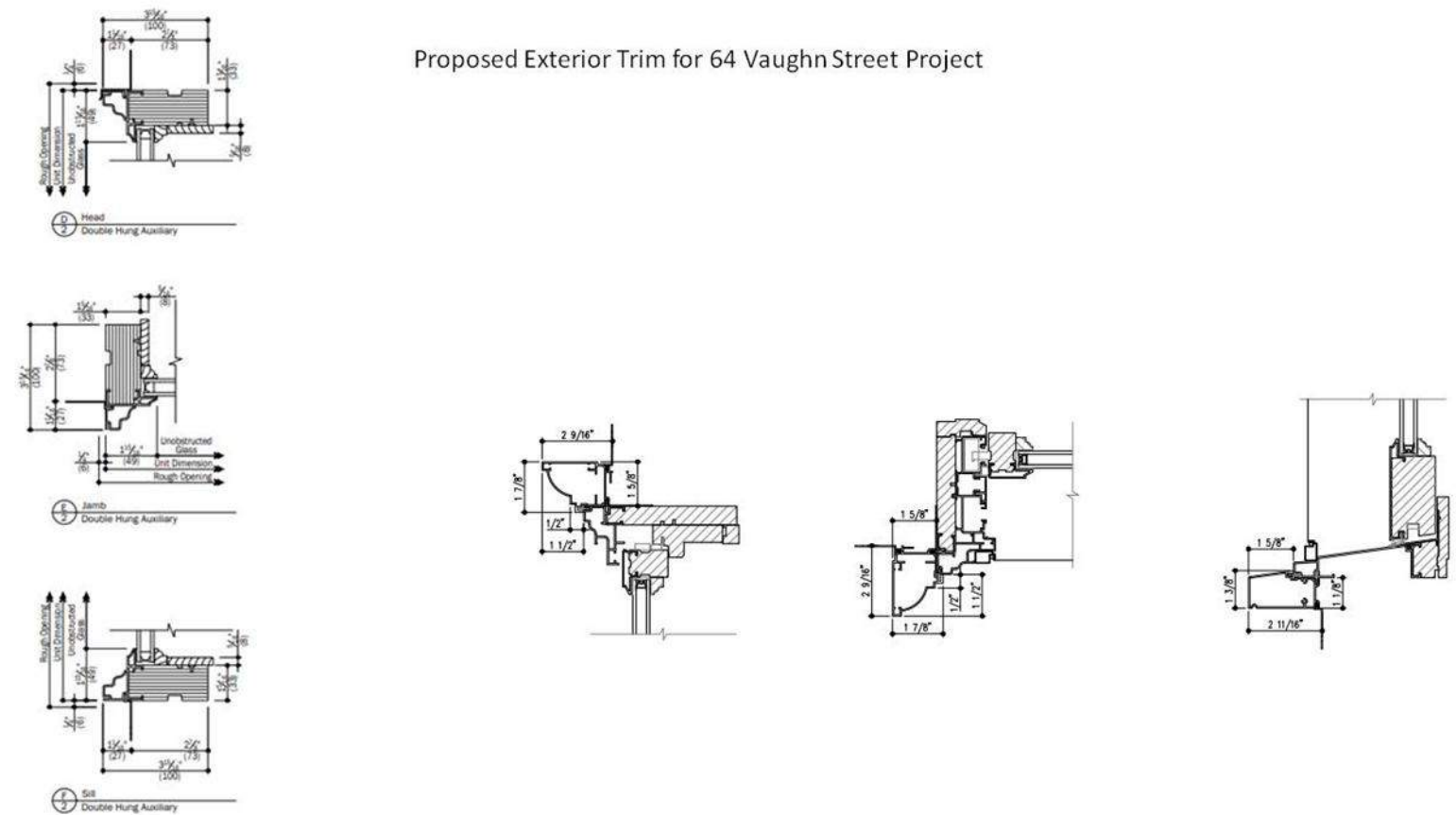
Andersen E Series Aluminum Clad French Gliding Door



Andersen E Series Alum Clad Hinged Outswing Commercial Door



Proposed Exterior Trim for 64 Vaughan Street Project



Andersen E Series Fixed Units for Storefront – Double Hung Frame Profile

8. Andersen E Series Aluminum Clad Windows-Details

M5

MATERIALS

64 Vaughan Mall

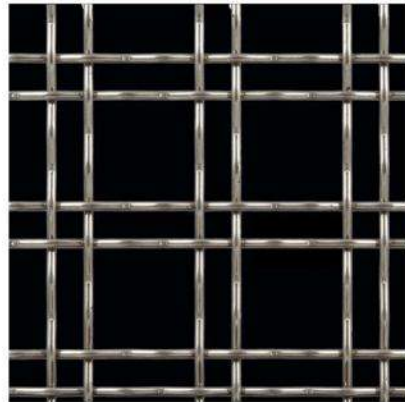
05/20/2021

SCALE:



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McNICHOLS® WIRE MESH

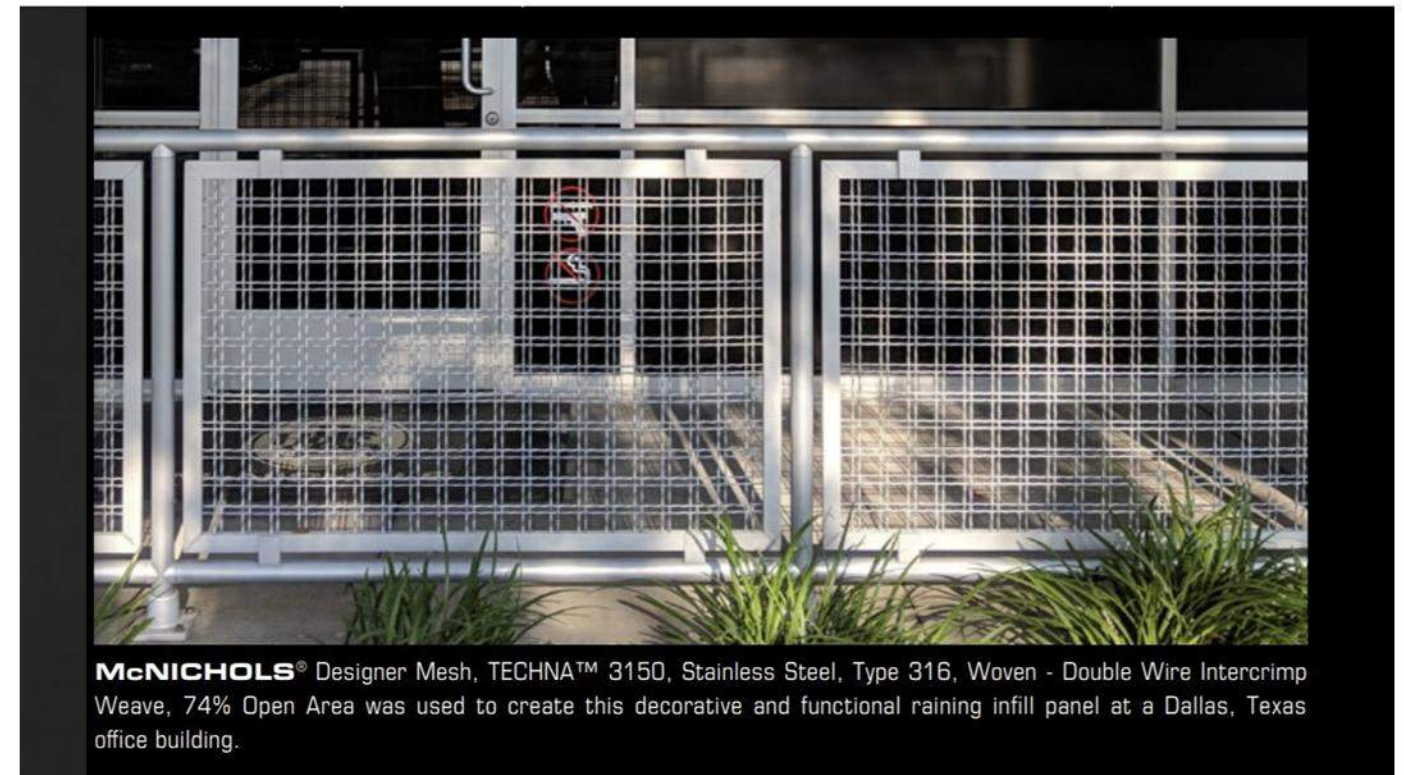
Designer Mesh, TECHNATM 3150, Stainless Steel, Type 304, Woven - Double Wire Intercrimp Weave, 74% Open Area

McNICHOLS® Wire Mesh, Designer Mesh, TECHNATM 3150, Stainless Steel, Type 304, Mill Finish, Woven - Double Wire Intercrimp Weave, 74% Open Area

ITEM 3831500048 - 48" x 96"

ITEM SPECIFICATIONS

Item Number	3831500048
Product Line	Wire Mesh
Designer Type	Designer Mesh
Construction Type	Designer Woven
Series Name	TECHNA™
Series Number	3150
Primary Material	Stainless Steel (SS)
Alloy, Grade or Type	Type 304 (304)
Material Finish	Mill Finish
Weave Type	Woven - Double Wire Intercrimp Weave
Percent Open Area	74%
Weight	1.05 Lbs./Square Foot
Product Form	Sheet
Sizes (Width x Length)	48" x 96"



McNICHOLS® Designer Mesh, TECHNATM 3150, Stainless Steel, Type 316, Woven - Double Wire Intercrimp Weave, 74% Open Area was used to create this decorative and functional raining infill panel at a Dallas, Texas office building.

- 9. Balcony Guard/Railing
McNichols Stainless Steel Mesh

M6

MATERIALS

64 Vaughan Mall

05/20/2021

SCALE:

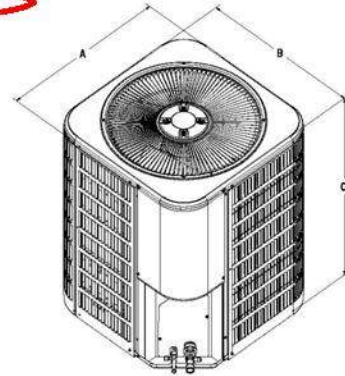


ARCHITECTS
INTERIORS
PLANNERS

UNIT DIMENSIONS & SOUND RATINGS

Model	Dimensions (in)			Sound Rating (dB)
	Length	Width	Height	
RSG1418S1M	24-1/4	24-1/4	29	71
RSG1430S1M	28-1/4	28-1/4	37	74
RSG1436S1M	28-1/4	28-1/4	37	74
RSG1442S1M	28-1/4	28-1/4	33	76
RSG1448S1M	28-1/4	28-1/4	33	80
RSG1460S1M	32-1/4	32-1/4	37	80

Note:
Dimensions listed are unit sizes w/o packaging.



48HC
High Efficiency
Gas Heat/Electric Cooling
Packaged Rooftop with EnergyX® System
3 to 12.5 Nominal Tons



Product Data



COOLING PERFORMANCE WITH EVAPORATOR COILS AC²

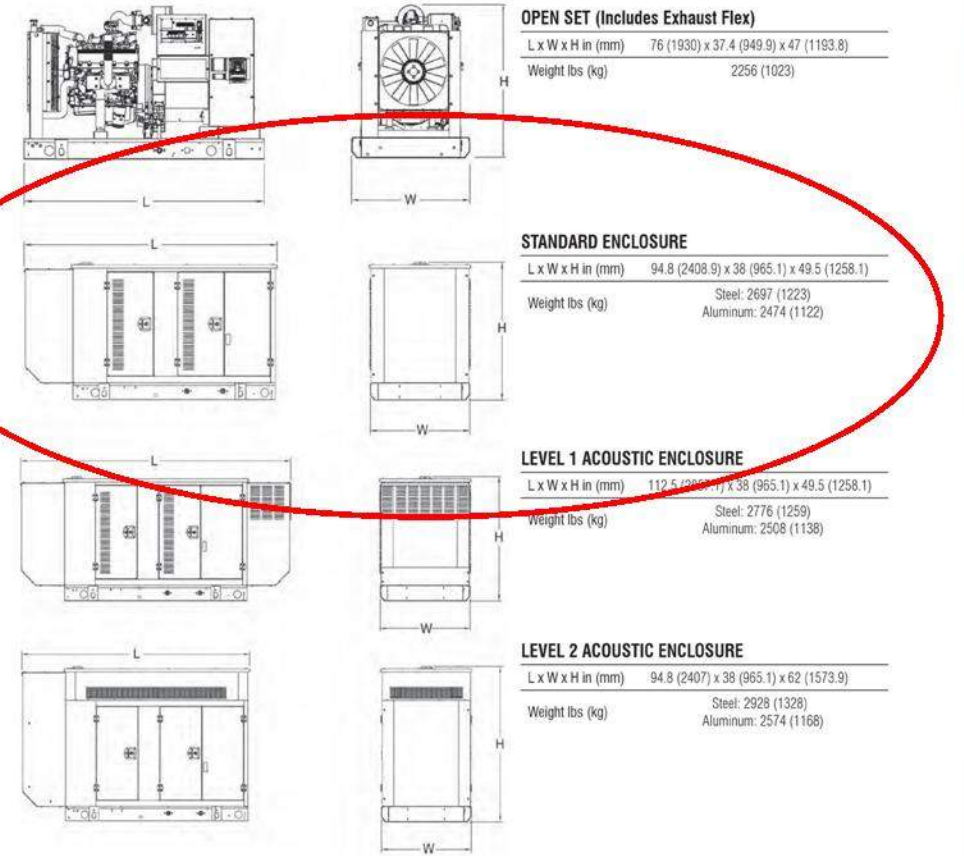
Outdoor Model	Indoor Model	SEER	EER	AHRI Rated Capacity ¹ BTUH	Sensible Capacity BTUH	CFM	Refrigerant Connection		Refrigerant Line Size		Indoor TXV ²		
							Outdoor		Indoor			Section	Liquid
							Section	Liquid	Section	Liquid			
RSG1418S1M	(C, M, V)CG18PA1M + TXV	14.5	12	17400	14600	850	3/4	3/8	3/4	3/8	3/4	3/8	4/200
	(C, M, V)CG18PB1M + TXV	14.5	12	17400	14600	850	3/4	3/8	3/4	3/8	3/4	3/8	4/200
	(C, M, V)CG18PC1M + TXV	14.5	12	17400	14600	850	3/4	3/8	3/4	3/8	3/4	3/8	4/200
RSG1424S1M	(C, M, V)CG24PA2M + TXV	14.5	11.8	22000	18800	815	3/4	3/8	3/4	3/8	3/4	3/8	4/200
	(C, M, V)CG24PB2M + TXV	14.5	11.8	22000	18800	815	3/4	3/8	3/4	3/8	3/4	3/8	4/200
	(C, M, V)CG24PC2M + TXV	14.5	11.8	22000	18800	815	3/4	3/8	3/4	3/8	3/4	3/8	4/200
RSG1430S1M	(C, M, V)CG30PA2M + TXV	14.5	11.9	27000	22400	1000	3/4	3/8	3/4	3/8	3/4	3/8	4/200
	(C, M, V)CG30PB2M + TXV	14.5	11.9	27000	22400	1000	3/4	3/8	3/4	3/8	3/4	3/8	4/200
	(C, M, V)CG30PC2M + TXV	14.5	11.9	27000	22400	1000	3/4	3/8	3/4	3/8	3/4	3/8	4/200
RSG1436S1M	(C, M, V)CG36PA1M + TXV	14.5	12	33400	27200	1200	3/4	3/8	3/4	3/8	3/4	3/8	4/200
	(C, M, V)CG36PB1M + TXV	14.5	12	33400	27200	1200	3/4	3/8	3/4	3/8	3/4	3/8	4/200
	(C, M, V)CG36PC1M + TXV	14.5	12	33400	27200	1200	3/4	3/8	3/4	3/8	3/4	3/8	4/200
RSG1442S1M	(C, M, V)CG42PB2M + TXV	14	11.9	38500	31800	1400	7/8	3/8	7/8	3/8	7/8	3/8	4/202
	(C, M, V)CG42PC2M + TXV	14	11.9	38500	31800	1400	7/8	3/8	7/8	3/8	7/8	3/8	4/202
	(C, M, V)CG42PD2M + TXV	14	11.9	38500	31800	1400	7/8	3/8	7/8	3/8	7/8	3/8	4/202
RSG1448S1M	(C, M, V)CG48PB1M + TXV	14	11.8	45000	36800	1600	7/8	3/8	7/8	3/8	7/8	3/8	4/202
	(C, M, V)CG48PC1M + TXV	14	11.8	45000	36800	1600	7/8	3/8	7/8	3/8	7/8	3/8	4/202
	(C, M, V)CG48PD1M + TXV	14	11.8	45000	36800	1600	7/8	3/8	7/8	3/8	7/8	3/8	4/202
RSG1460S1M	(C, M, V)CG60PC1M + TXV	14	11.8	54000	41500	1800	1 1/8	3/8	7/8	3/8	1 1/8	3/8	4/202
	(C, M, V)CG60PD1M + TXV	14	11.8	54000	41500	1800	1 1/8	3/8	7/8	3/8	1 1/8	3/8	4/202

Note:
1 Certified in accordance with Unitary Air Conditioner Certification Program, which is based on AHRI Standard 210/240
2 Required to achieve AHRI rating. If NA (Not Applicable) is in the piston column, then TXV is required

SG050 | 5.4L | 50 kW
INDUSTRIAL SPARK-IGNITED GENERATOR SET
EPA Certified Stationary Emergency



DIMENSIONS AND WEIGHTS



YOUR FACTORY RECOGNIZED GENERAC INDUSTRIAL DEALER

Specification characteristics may change without notice. Please consult a Generac Power Systems Industrial Dealer for detailed installation drawings.

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Part No. 0K4284
Rev. E 08/19/15

SPEC SHEET 6 OF 6

10. Rooftop Mechanical Units
Residential Tenants (1 x unit)

11. Rooftop Mechanical Units
Commercial Tenant (1 x tenant)

12. Rooftop Generator

M7

MATERIALS

64 Vaughan Mall

05/20/2021

SCALE:

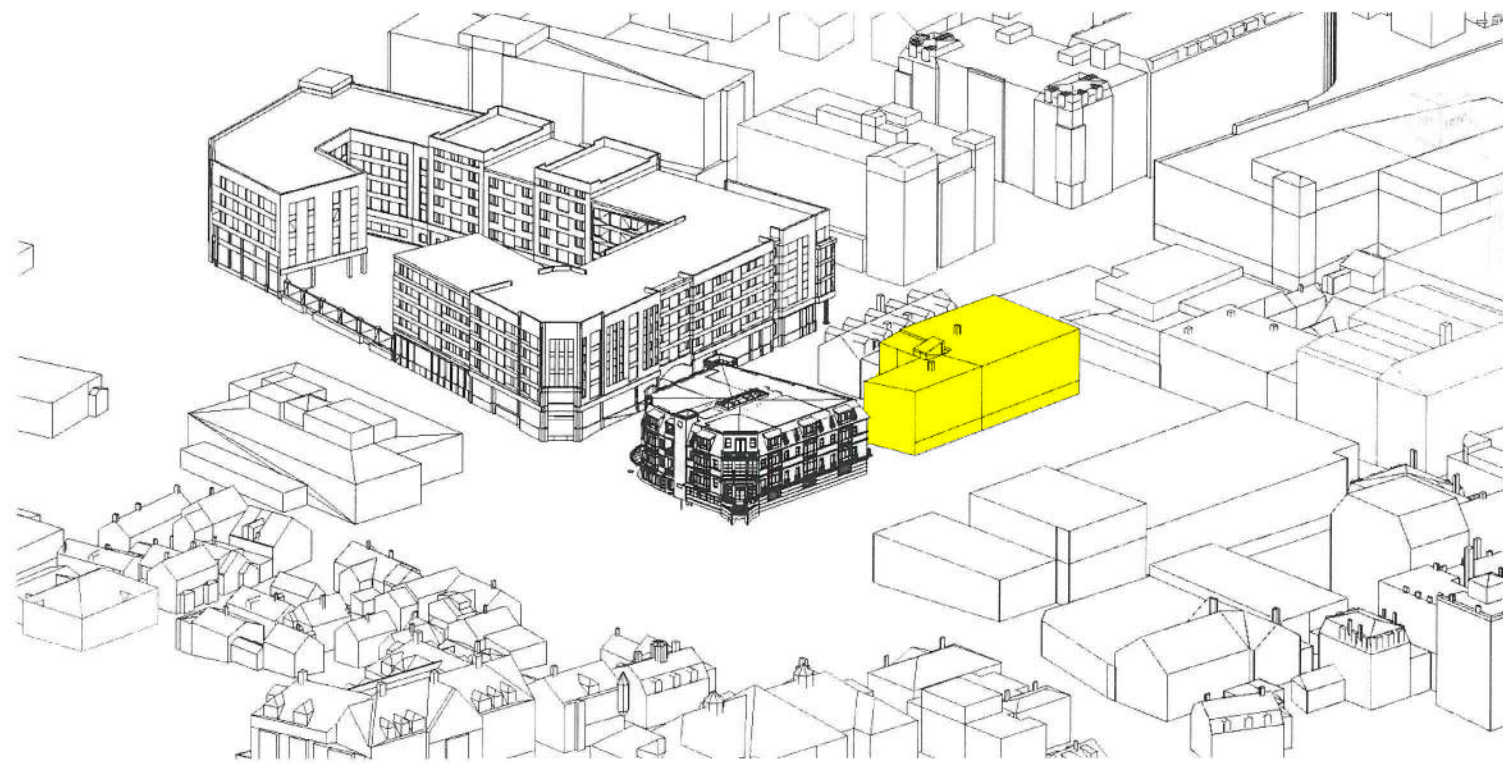


ARCHITECTS
INTERIORS
PLANNERS

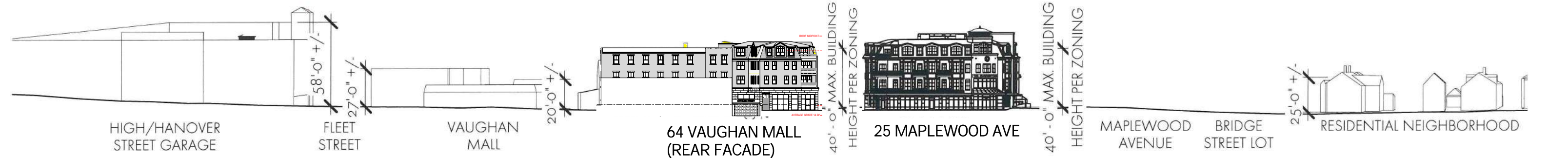
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LOCUS PLAN



CITY OF PORTSMOUTH 3D MODEL



SITE SECTION ALONG HANOVER STREET



SITE SECTION ALONG MAPLEWOOD AVENUE

60 Penhallow Street

Work Session

LUHD-339



City of Portsmouth, NH

05/25/2021

LUHD-339

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: May 13, 2021

Applicant

Robbi Woodburn
robbi@woodburnandcompany.com
Woodburn & Company Landscape Architecture,
LLC
103 Kent Place
Newmarket, New Hampshire 03857
6036595949

Location

60 PENHALLOW ST
Portsmouth, NH 03801

Owner:

DAGNY TAGGART LLC
30 PENHALLOW ST SUITE 300 PORTSMOUTH,
NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Proposed Exterior Artwork

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Landscape Architect - Artwork Coordinator



TANGRAM S

BRICK MARKET PRESENTATION OF ARTWORK CONCEPTS



Construction | Development | Management



Brick Market

VIVIAN BEER STUDIO



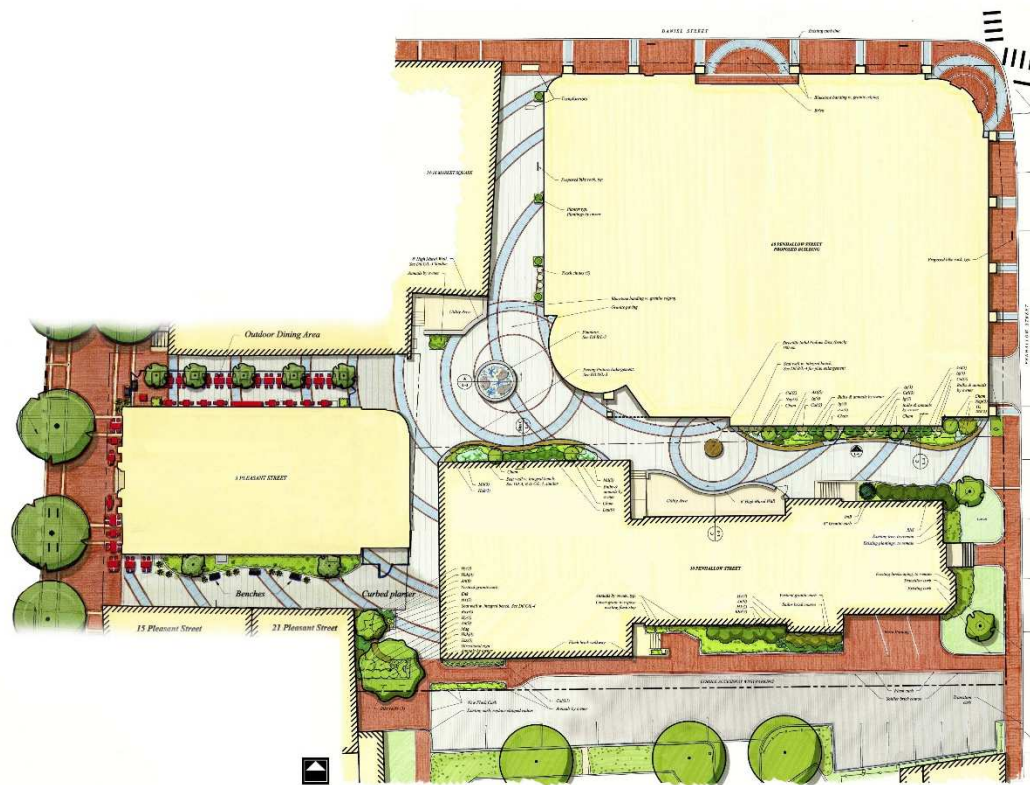
Golob Art



During 2019 Brick Market, consisting of the renovation 3 Pleasant Street, the design of the new building at 60 Penhallow and the surrounding courtyard and sidewalks was reviewed and approved by the HDC and later reviewed and approved by the Planning Board in January of 2020.

Timeline

- March 2019 – January 2020 Design Review & Approval by the City of Portsmouth
- Fall 2019 – Renovation of 3 Pleasant begins
- Summer 2020 – Call for Artists
- Fall 2020 – Construction of 60 Penhallow begins
- Fall 2020 – Selection of Artists
- Winter 2020 – Present – Development of Concepts



VIVIAN BEER STUDIO





Imagery

The design of the landscape and as well as the building at 60 Penhallow reflects Portsmouth's Maritime History and the water that defines the City. The overall goal of Brick Market and its landscape is to create an exciting, activated pedestrian courtyard or plaza providing connectivity between Market Square to and through the site to the McIntyre block and the waterfront beyond. It will also be a destination and gathering space. Curves, waves and water are central themes that structure the space.



Construction | Development | Management



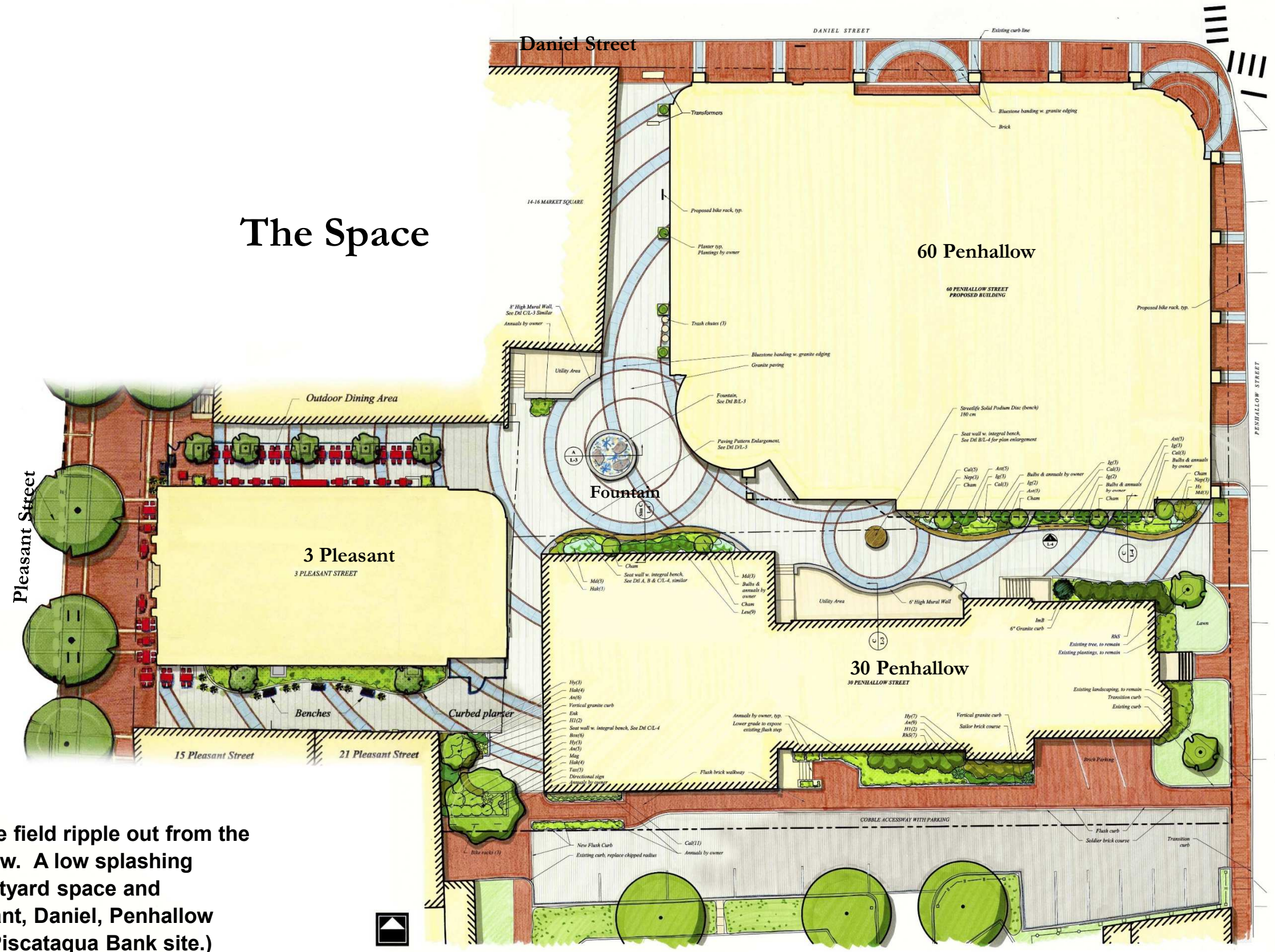
Brick Market

VIVIAN BEER STUDIO

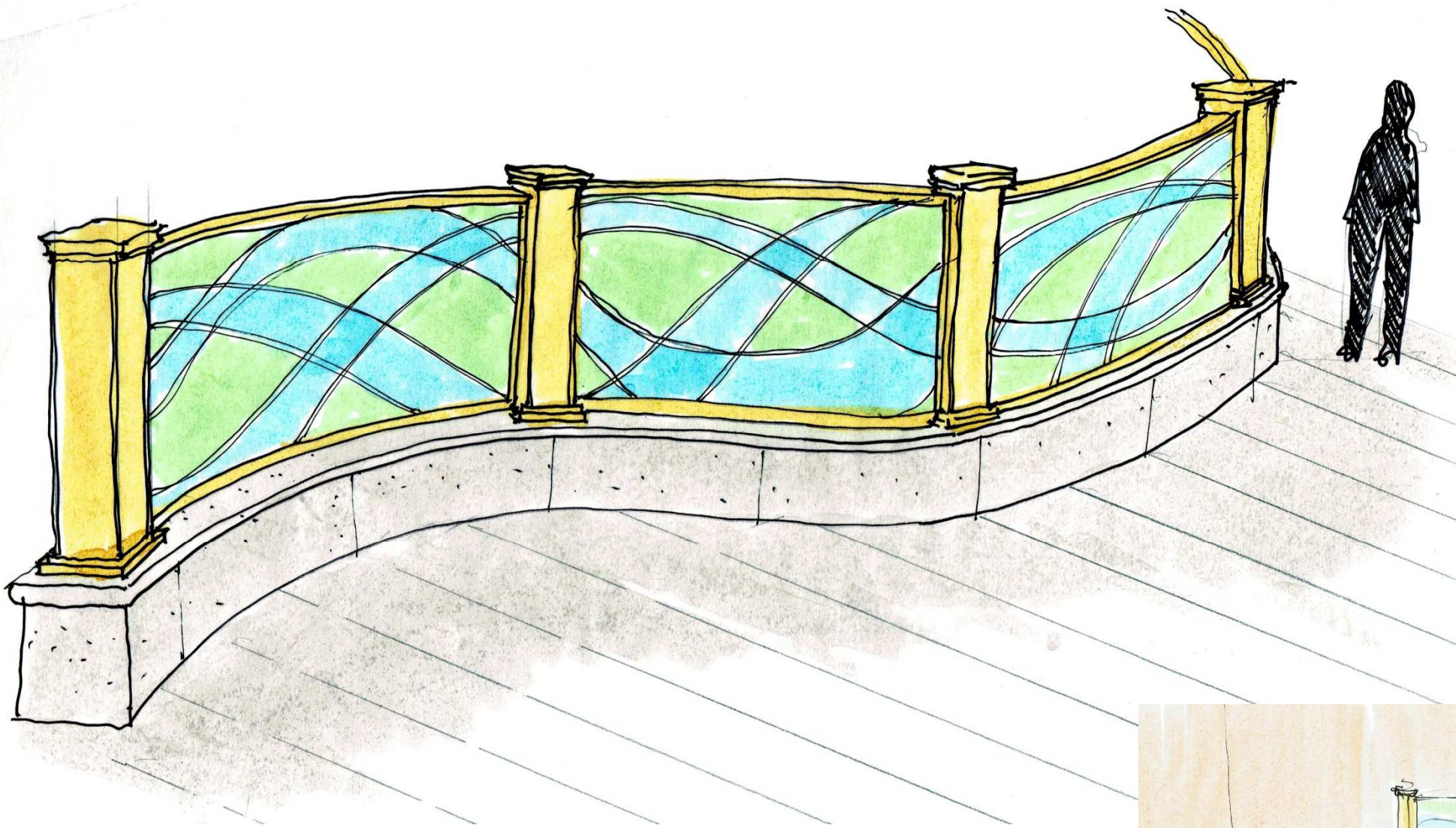


Golob Art

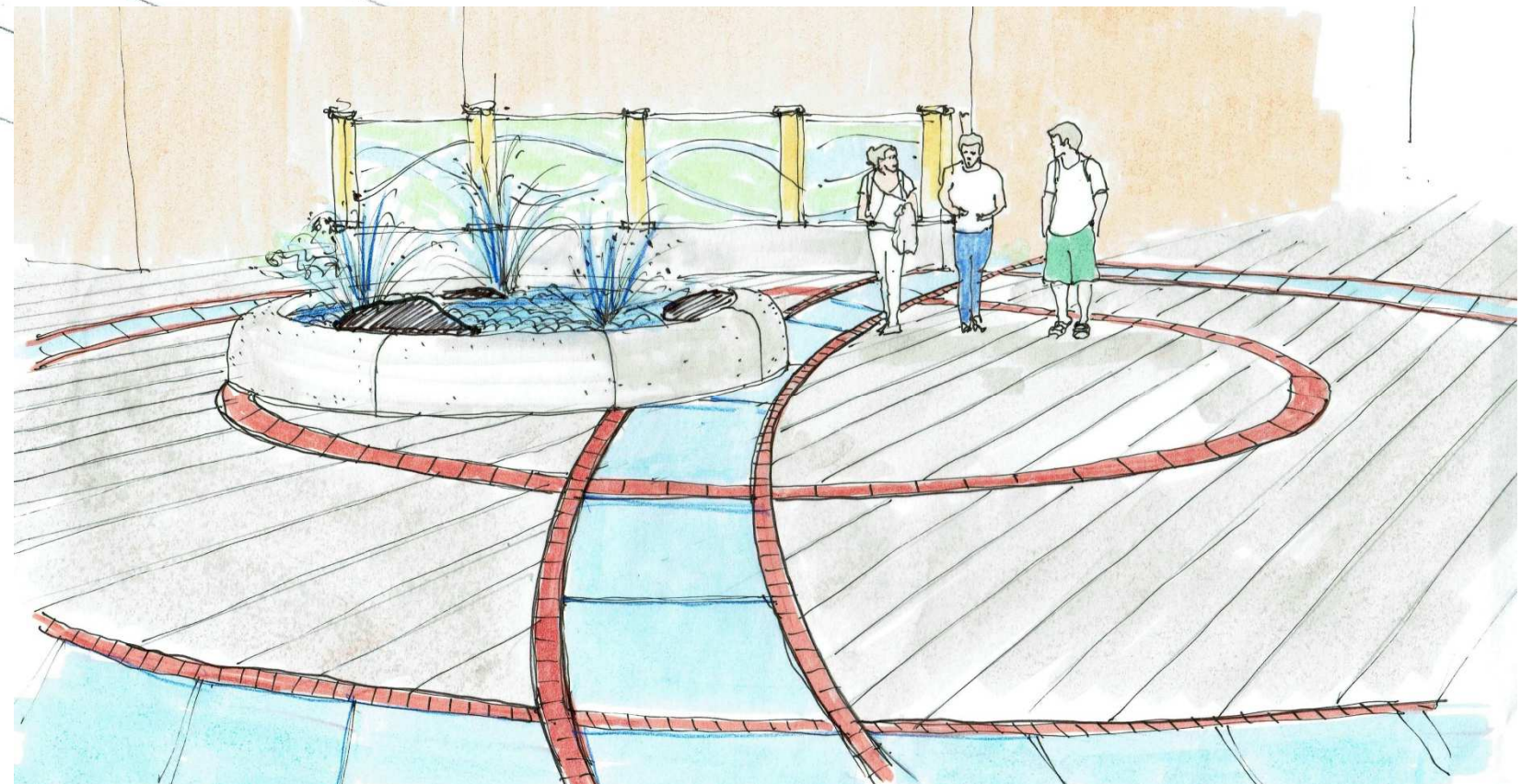
The Space



Bands of Bluestone in a granite field ripple out from the vessel structure at 60 Penhallow. A low splashing fountain centers the main courtyard space and alleyways connect from Pleasant, Daniel, Penhallow and State Street (through the Piscataqua Bank site.)



As part of the HDC’s review of the proposed landscape “Mural Walls” were presented as placeholders for future art installations. These walls, which hide needed utility areas, were meant to illustrate a “wavy” curvilinear edge to the pedestrian spaces that would be designed by artists at a later date.



Search for Artists

During the Summer and Fall of 2020 the development team began the search for artists. A Request for Qualifications was issued in late May and interviews were conducted in September.

Four artists were chosen to present their work and interview with the design team.

They were then tasked with creating concepts for works of art that reflected the underlying themes of the project's landscape:

- Portsmouth's Maritime history and or its history in general
- Water, curves and waves
- And a celebration of Women and the feminine.

In October of 2020 four artists presented their initial concepts and two were chosen to further develop those ideas.

The chosen Artists, are Vivian Beer and Alexander Golob.

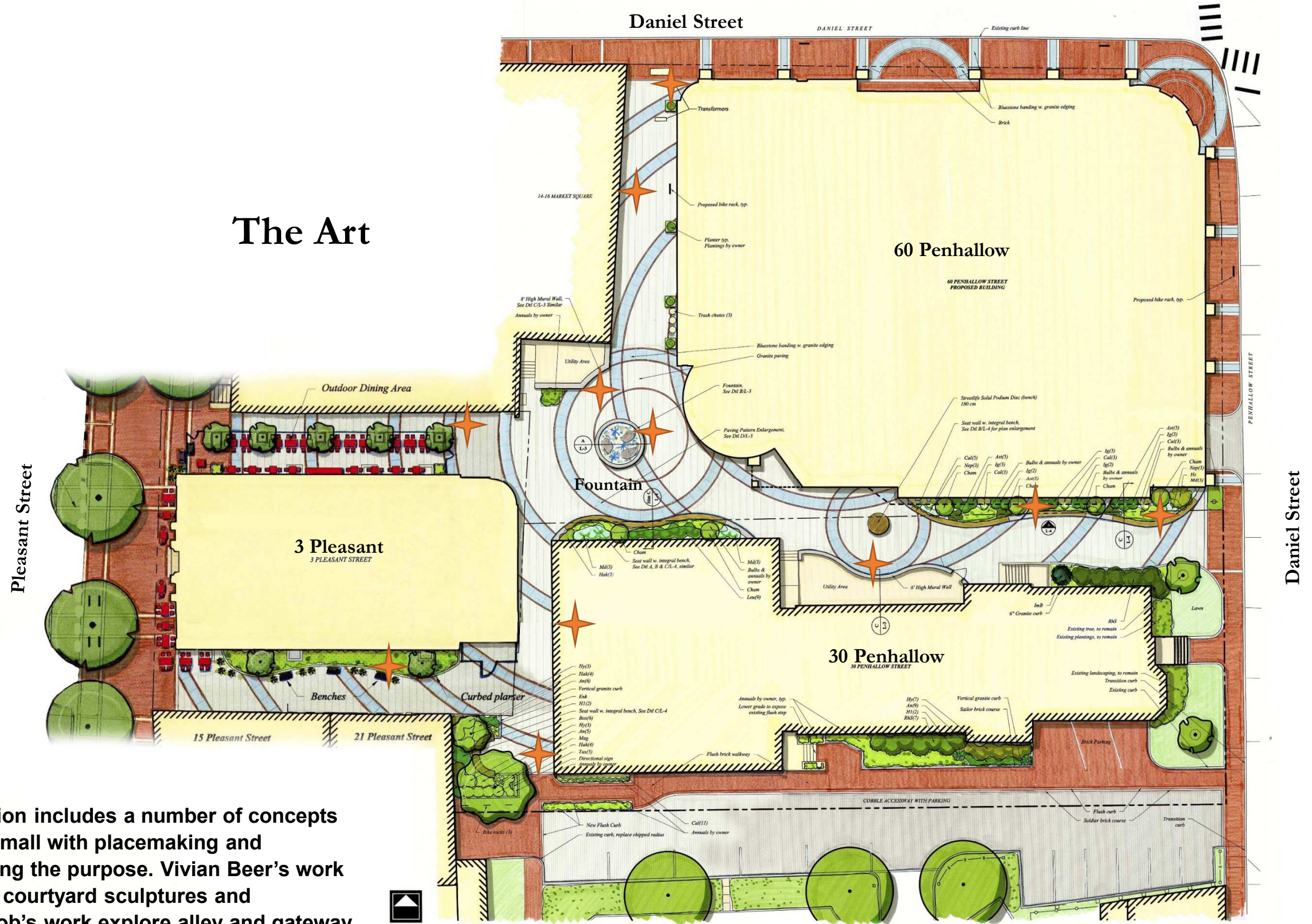


Vivian Beer <http://www.vivianbeer.com/>



Alexander Golob <https://alexandergolobart.com/>

The Art



This presentation includes a number of concepts from large to small with placemaking and wayfinding being the purpose. Vivian Beer's work centers on the courtyard sculptures and Alexander Golob's work explore alley and gateway sculptures.

© 2019



Construction | Development | Management



Brick Market

VIVIAN BEER STUDIO



Golob Art

Brick Market Proposal: Woven Together

These pieces sculptures are inspired by community, collaboration and human potential. The project, as requested, is from a feminist point of view celebrating strong female voices and centered around a memorial to the honorable Ruth Bader Ginsburg. But the message is purposefully not “about” feminist struggle but rather an experience, a celebration -in hope - that these voices are normalized rather than marginalized. To that end the pieces are abstract delving into pattern and fabric, fashion and empathy. They leave room for the individuals that interact with them to apply their own voices and imagination - their own stories. I believe one of the best “place-making” strategies in art. One which allows the community to continue their own stories within it. Woven Together pieces have variations in scale and intimacy in their interaction strategies with the public which encourage empathy and connection.

Components:

RBG fountain: proposed collaboration with Woodburn and Vivian Beer

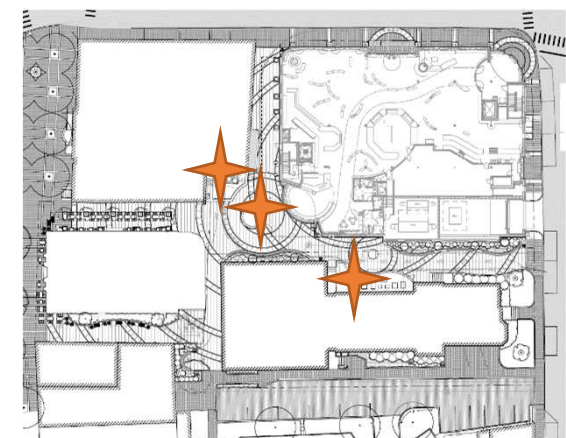
Impact: site specific sculpture by Vivian Beer

Woven: site specific sculpture by Vivian Beer

Additional programmatic recommendations

Curatorial Publication: pamphlet/online pdf for the public and

First year performance programming: Dance, music and digital art programming for the opening year of the brick market.



Construction | Development | Management



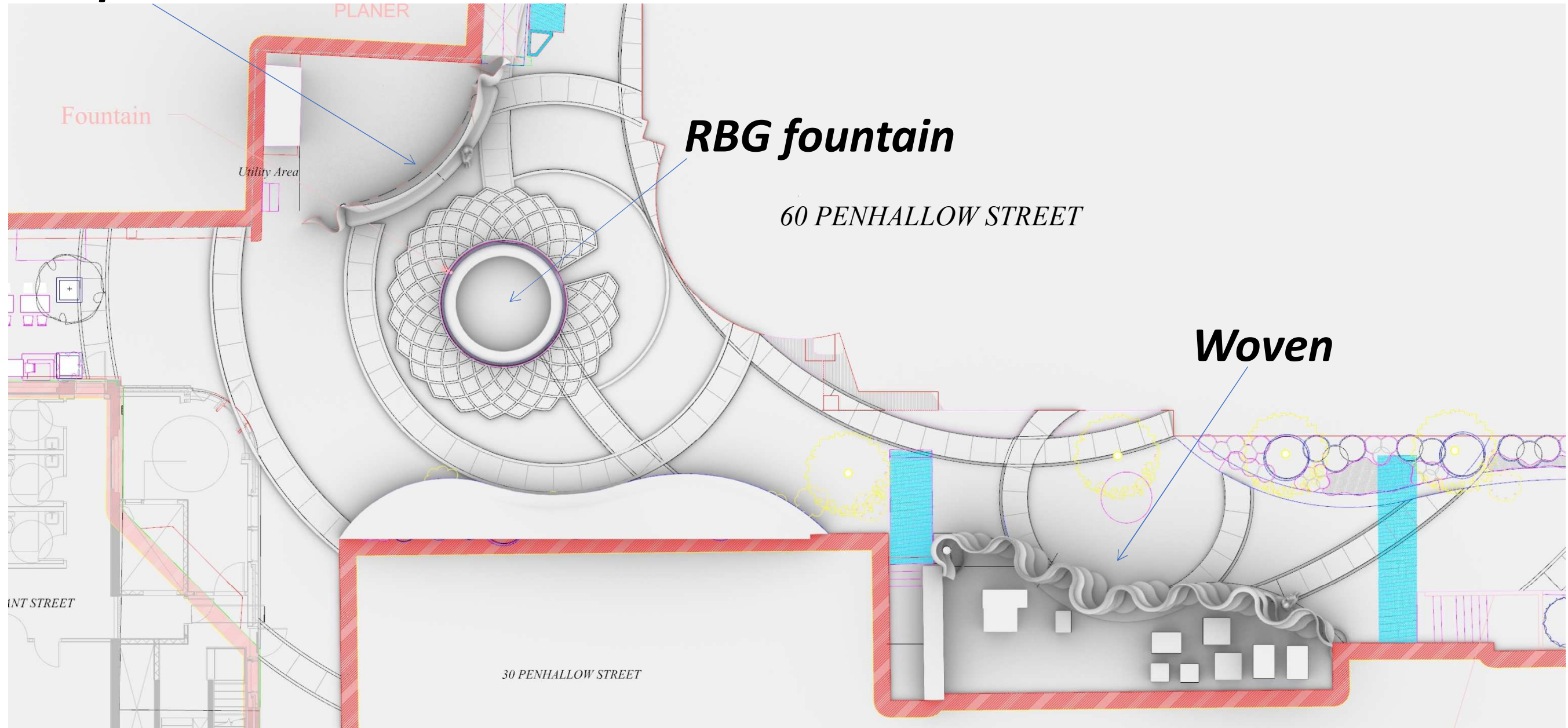
Brick Market

VIVIAN BEER STUDIO



Golob Art

Impact



Vivian Beer - Project: *RBG fountain*

proposed collaboration with Woodburn to rework the existing stonework design around fountain feature

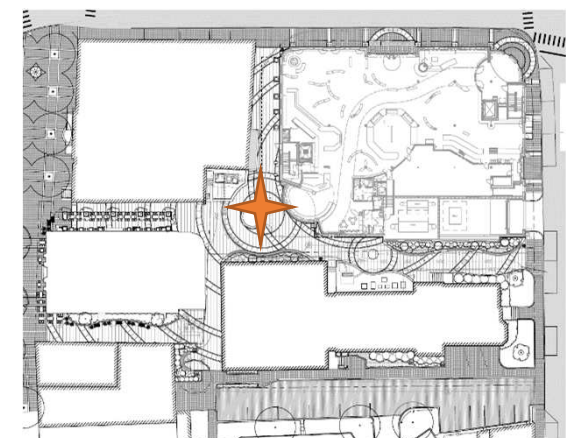
Materials: Stone, Woodbury granite, custom curve with the negative spaces being custom cut bluestone to match the existing paver materials.

Project concept: It seems perfect, as a center piece of the *Woven Together*, project to celebrate the life of Ruth Bader Ginsburg, especially as she passed while I was designing the project proposal. I envision a decorative stone pattern reminiscent of the “favorite” lace color that she typically wore. This is a lace pattern Jabot (an ornamental frill or ruffle on the front of a shirt or blouse) this pattern is replicated in repeating intersecting curves of stonework around the existing fountain.

Ginsberg was a feminist but is also an enduring pop culture icon, in part because of her fierce fashion on the Supreme Court bench. “As much as the nickname “The Notorious R.B.G.,” which came to symbolize Justice Ginsburg’s status as a pop culture hero in her later years, the collars served as both semiology and semaphore: They signaled her positions before she even opened her mouth, and they represented her unique role as the second woman on the country’s highest court. Shining like a beacon amid the dark sea of denaturing judicial robes, Justice Ginsburg’s collars were unmistakable in photographs and from the court floor. In 2009, in an interview with [The Washington Post](https://www.washingtonpost.com/archive/local/2009/06/01/justice-ginsburg-on-her-collars/2009-06-01/), she explained how her collection originated: “You know, the standard robe is made for a man because it has a place for the [shirt to show, and the tie,” Justice Ginsburg told the paper. So she and](https://www.washingtonpost.com/archive/local/2009/06/01/justice-ginsburg-on-her-collars/2009-06-01/) Sandra Day O’Connor, the first female Justice on the court, “thought it would be appropriate [if we included as part of our robe something typical of a woman.”](https://www.washingtonpost.com/archive/local/2009/06/01/justice-ginsburg-on-her-collars/2009-06-01/) They weren’t going to obscure their sex, or pretend it was beside the point. It was part of the point.” – quoted from the New York Times

Link: <https://news.yahoo.com/video/justice-ginsburg-exhibits-her-famous-194517521.html>

A simple sandblast etching will be in the stonework of the fountain, but the iconic nature of that lace pattern will be instantly identifiable. It also works in geometric harmony with the intersecting circular patterns reminiscent of raindrops from the sky in the existing hardscape design, a symbolic memorial to the life of this iconic woman.



Construction | Development | Management



Brick Market

VIVIAN BEER STUDIO



Golob Art



path marker and icon

“As much as the nickname “The Notorious R.B.G.,” which came to symbolize Justice Ginsburg’s status as a pop culture hero in her later years, the collars served as both semiology and semaphore: They signaled her positions before she even opened her mouth, and they represented her unique role as the second woman on the country’s highest court.” – quoted from the New York Times



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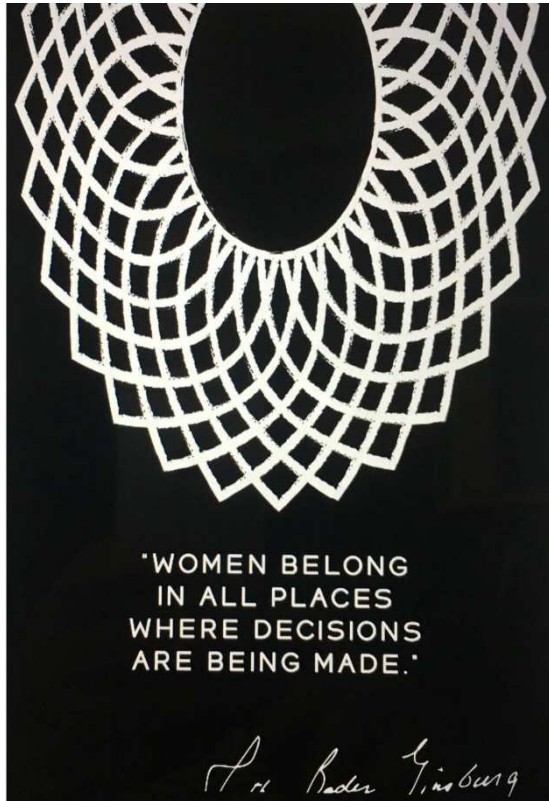


Brick Market

VIVIAN BEER STUDIO

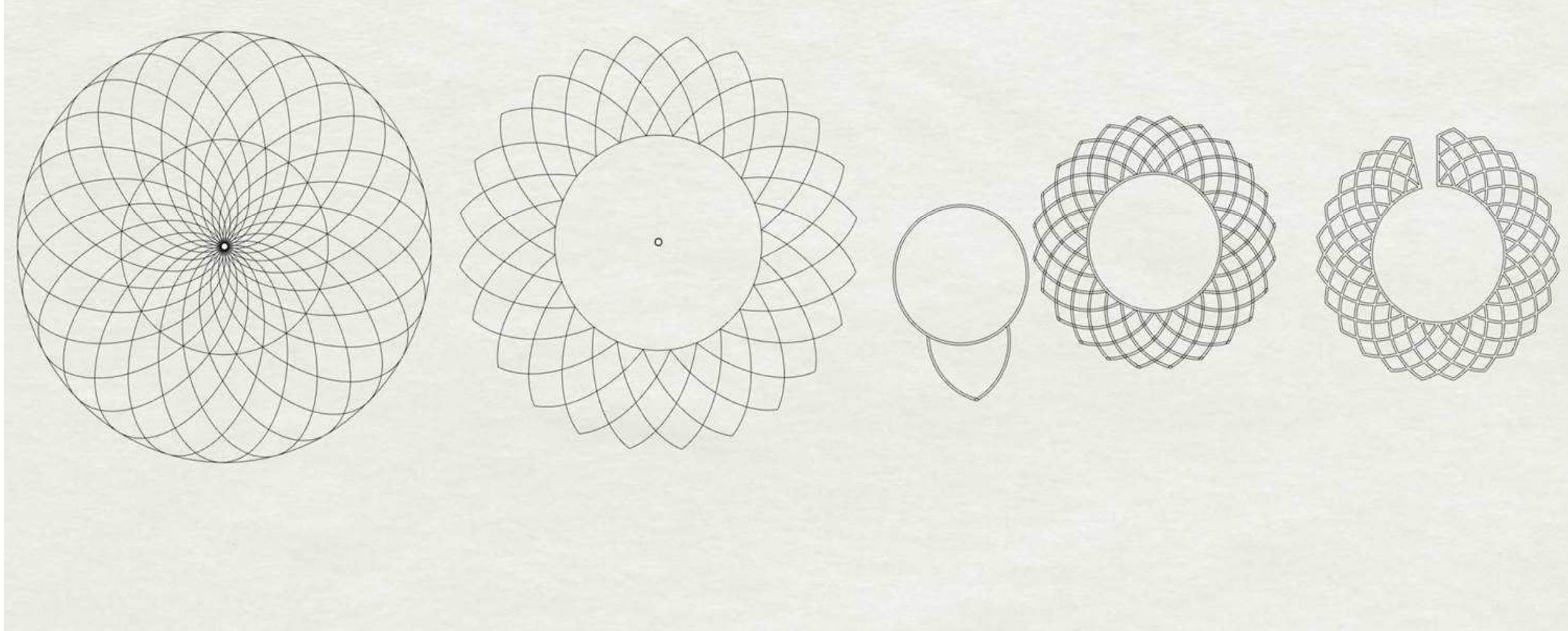


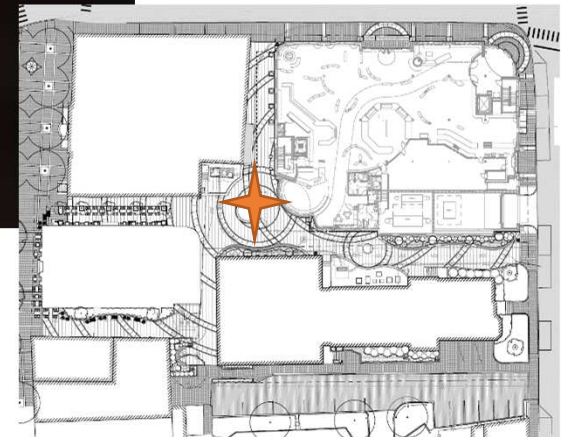
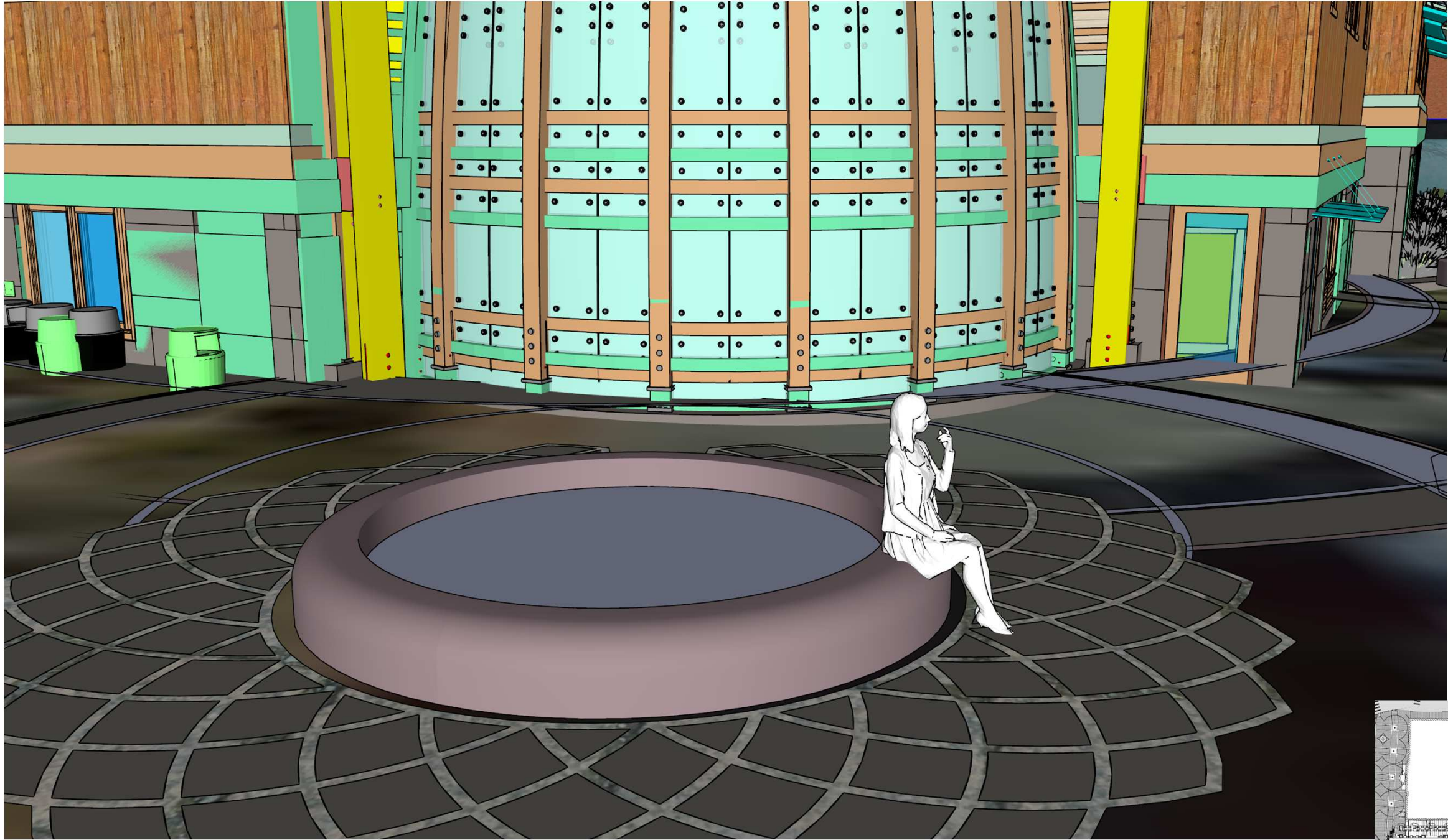
Golob Art

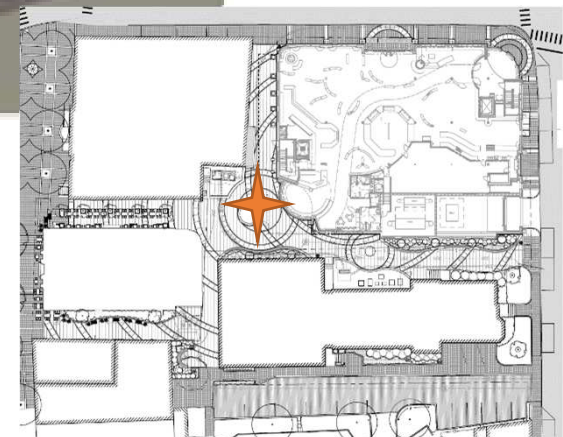


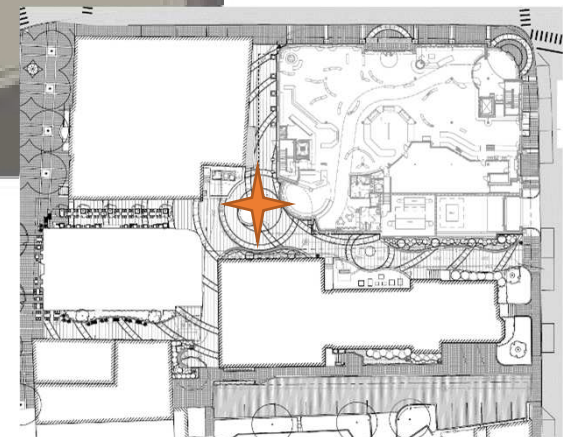
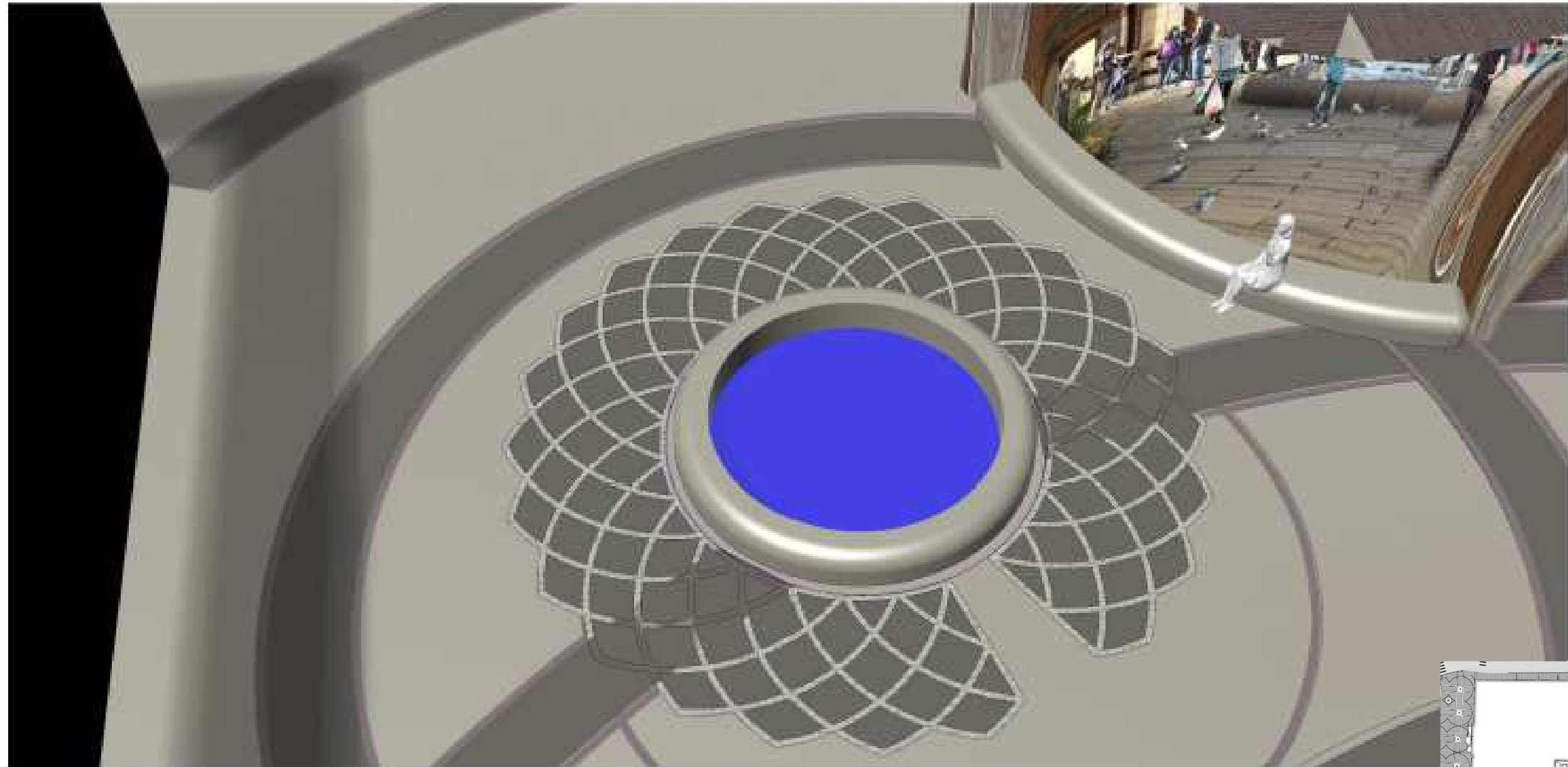
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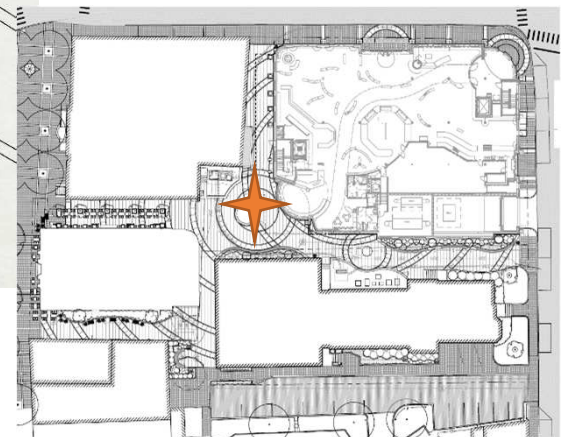
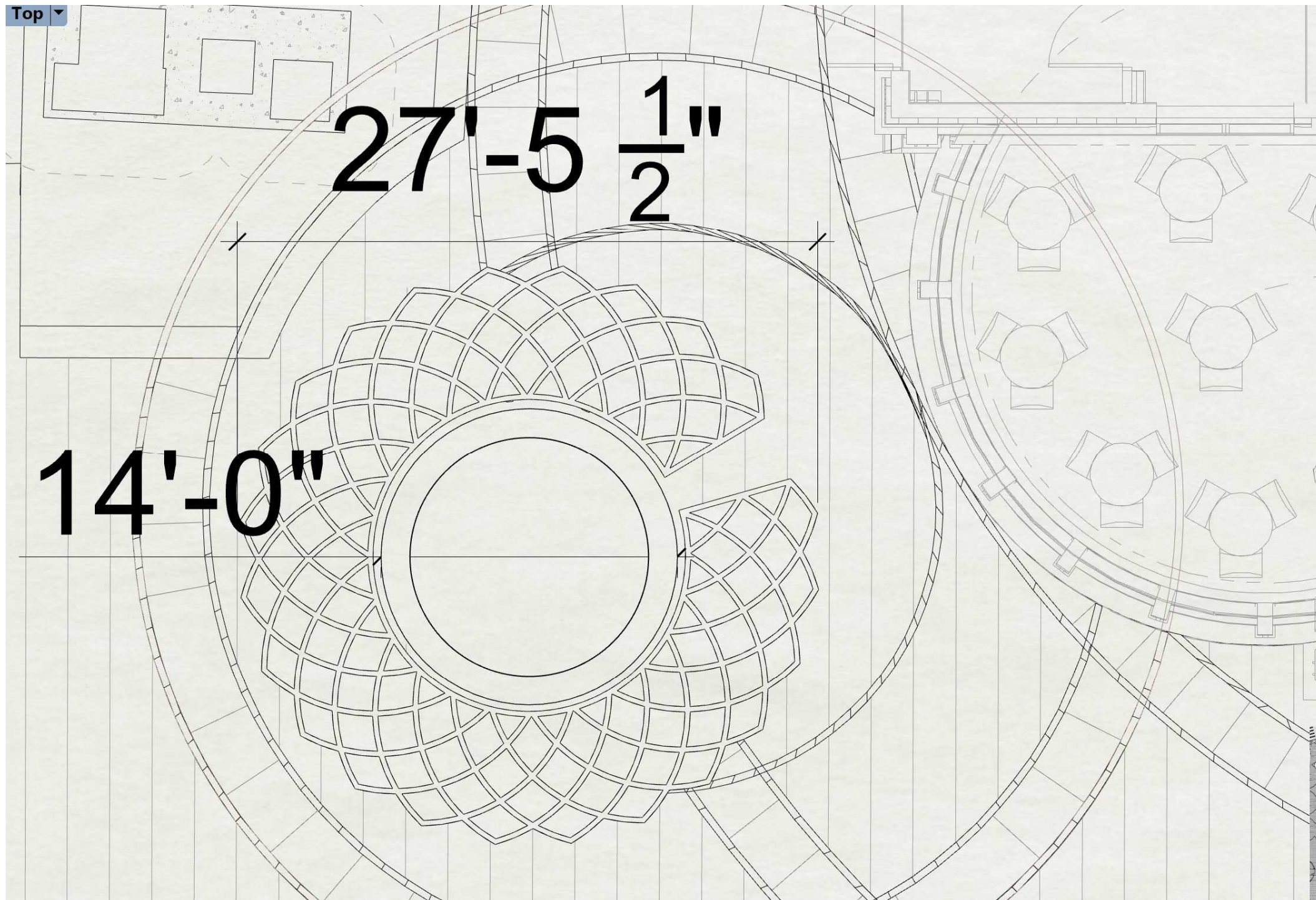
Justice Ginsburg told the paper. So she and Sandra Day O'Connor, the first female Justice on the court, "thought it would be appropriate if we included as part of our robe something typical of a woman." They weren't going to obscure their sex, or pretend it was beside the point. It was part of the point." – quoted from the New York Times

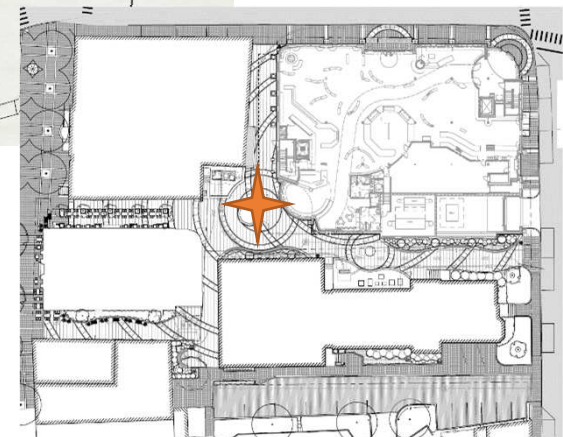
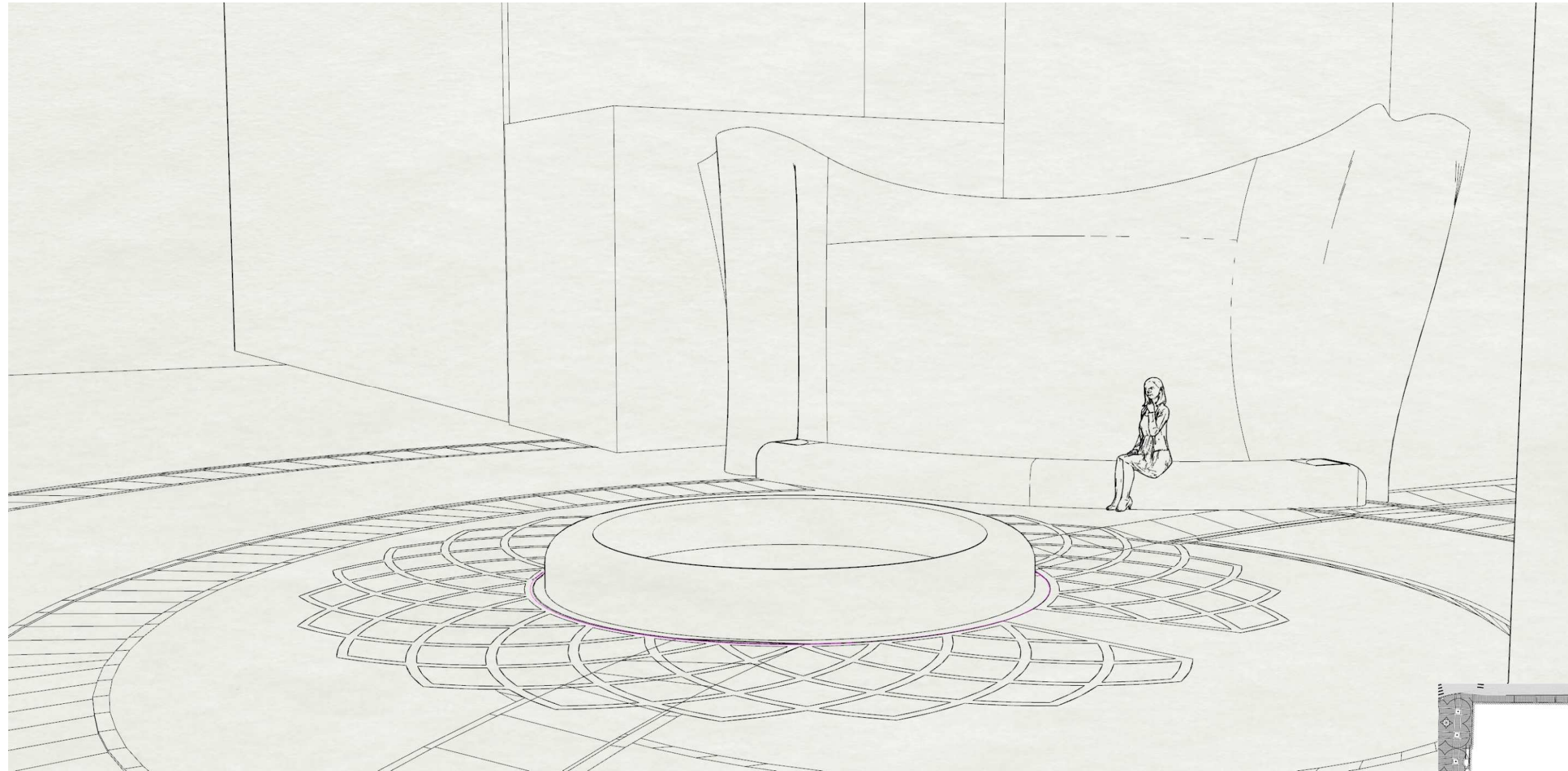












Construction | Development | Management



woodburn
& company
LANDSCAPE ARCHITECTURE
Since 1994 *reflecting your vision.*



Brick Market

VIVIAN BEER STUDIO



Golob Art

Vivian Beer - Project: *Impact*

Site specific commission

Materials: Formed and fabricated stainless steel and light grey Woodbury granite

Project concept: A stainless fabrication that flows like a ribbon, flag or scroll across the edge of the courtyard. Again this follows the theme of fabrics and also reflects the RGB fountain and surrounding community space. It departs from the macho history of steel sculpture in its flowing form, but also echoes the geometry of the overall space. I like to imagine it as an invitation, a backdrop, and an affirmation of the space. The polished stainless will reflect the fountain, collar pattern and community within it. There will be a stone bench in light grey Woodbury granite with the same edge treatment as the fountain surround for the public to sit, speak, perform or reflect.

For this project and woven, I imagine there could be adjustments to the suspended lighting system to provide programmable spots to use in performance and public events.

About Vivian:

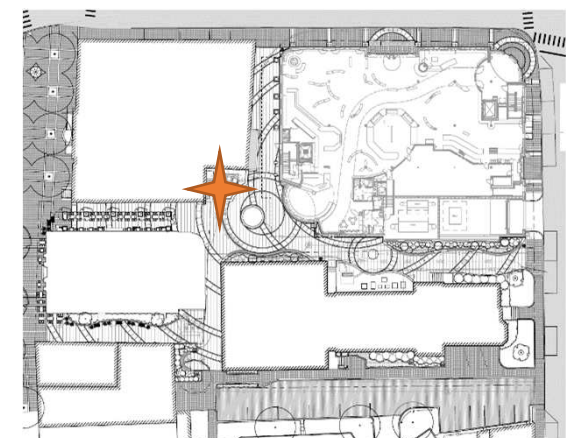
Vivian Beer is a furniture designer/maker based in New England, where her studio, Vivian Beer Studio Works, is celebrating its thirteenth year. Her sleek, abstracted metal and concrete furniture combines the aesthetic sensibilities of contemporary design, craft, and sculpture to create furniture that alter expectations of and interface with the domestic and public landscapes.

Links:

Studio visit with Jet industrial

features

<https://thetakemagazine.com/vivian-beer/> - https://artnewengland.com/ed_columns/studio-visit-vivian-beer/ <https://www.craftcouncil.org/magazine/article/curves-ahead>



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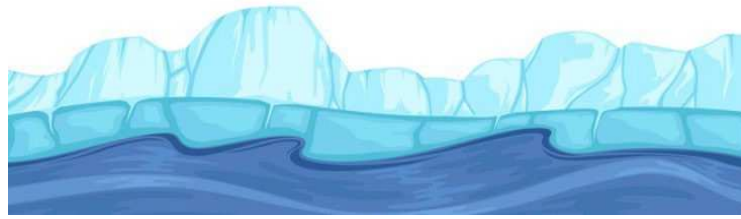


Brick Market

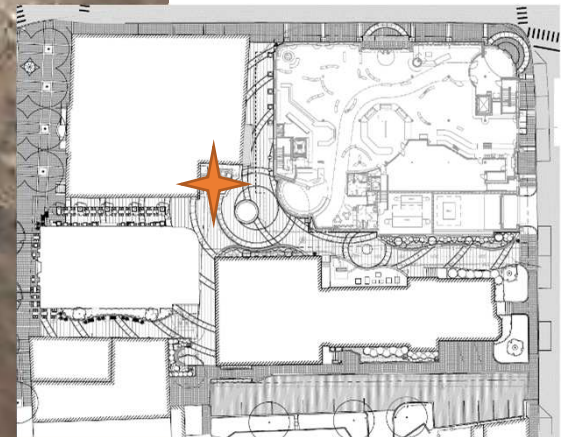
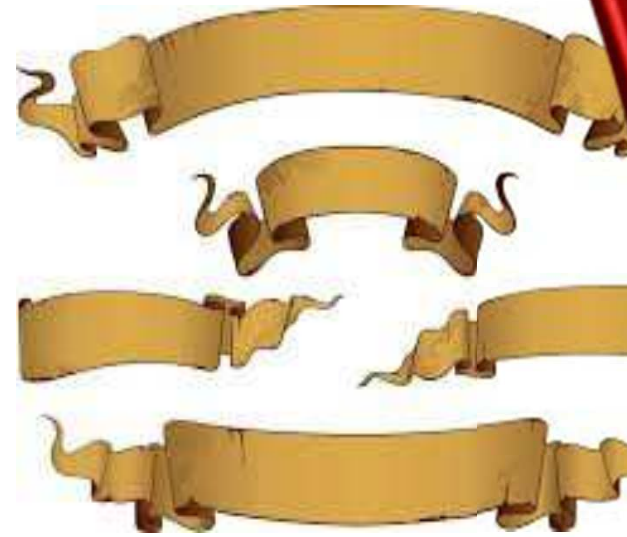
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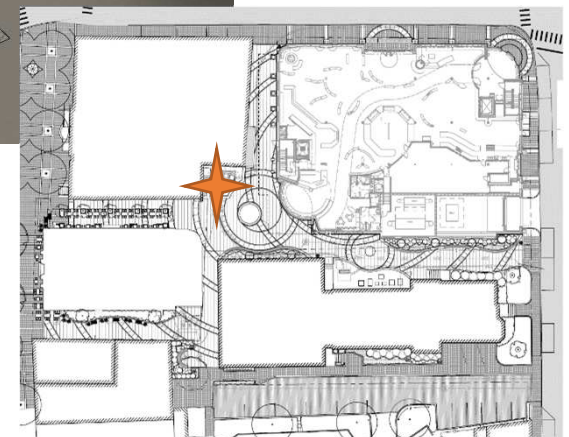


Golob Art



impact





Construction | Development | Management

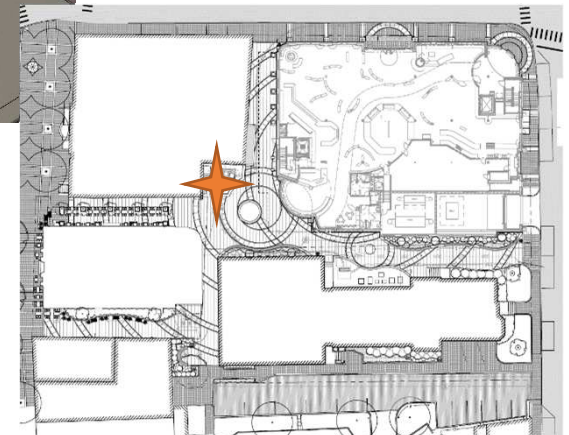


Brick Market

VIVIAN BEER STUDIO



Golob Art



Construction | Development | Management

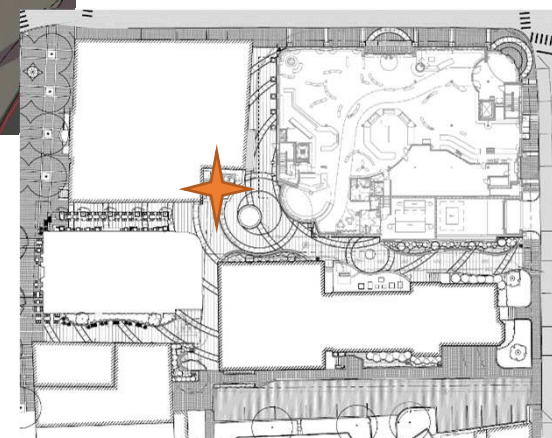
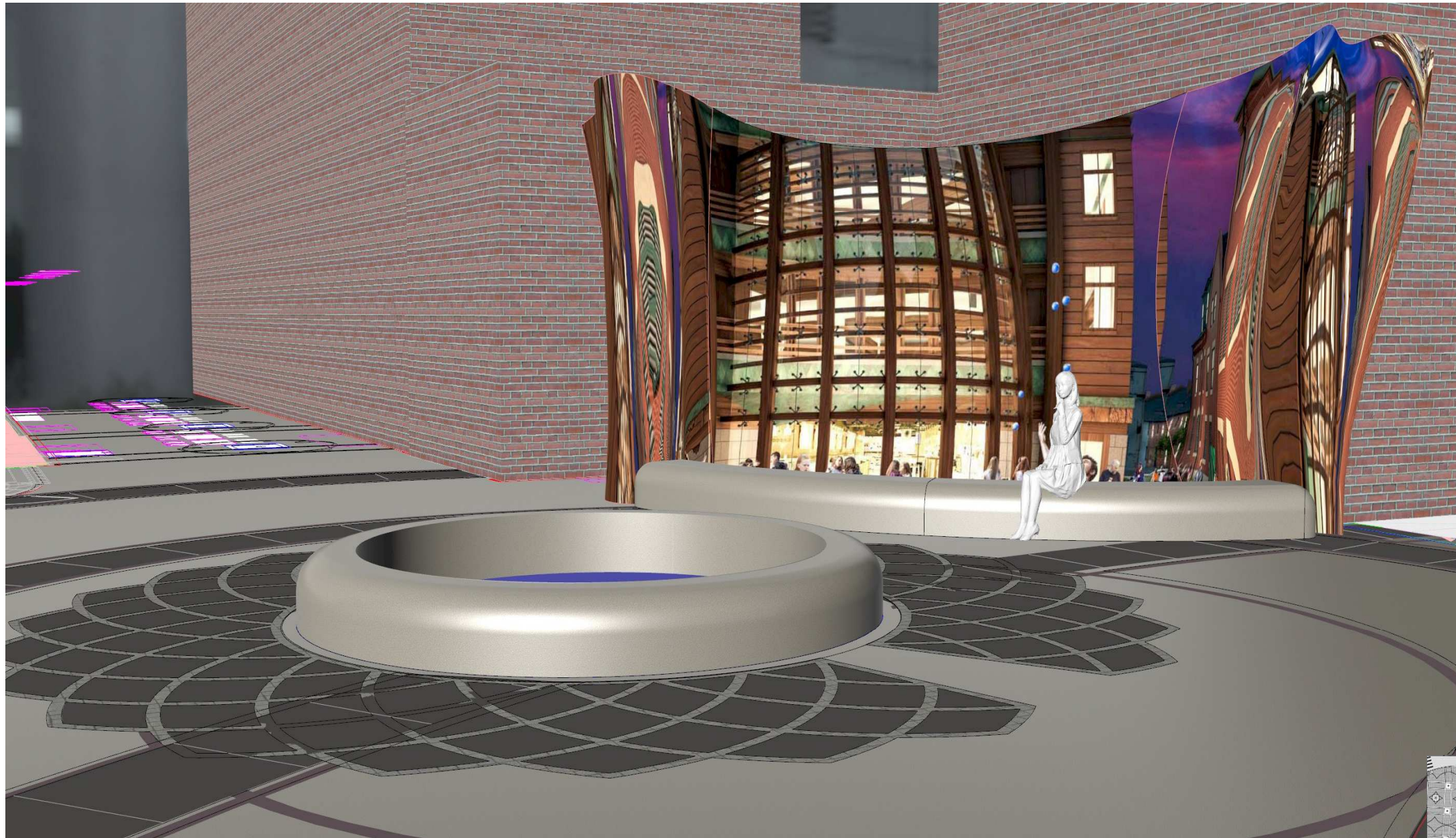


Brick Market

VIVIAN BEER STUDIO



Golob Art



Construction | Development | Management

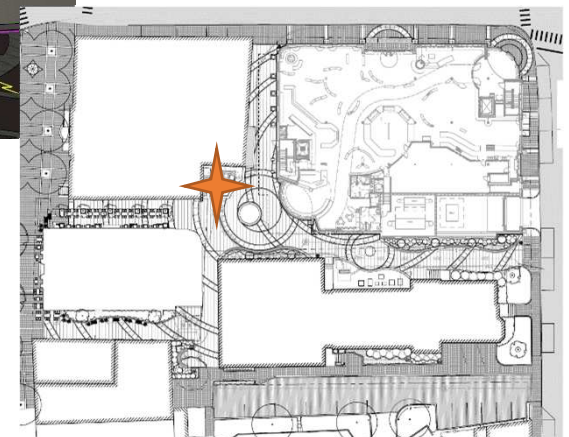
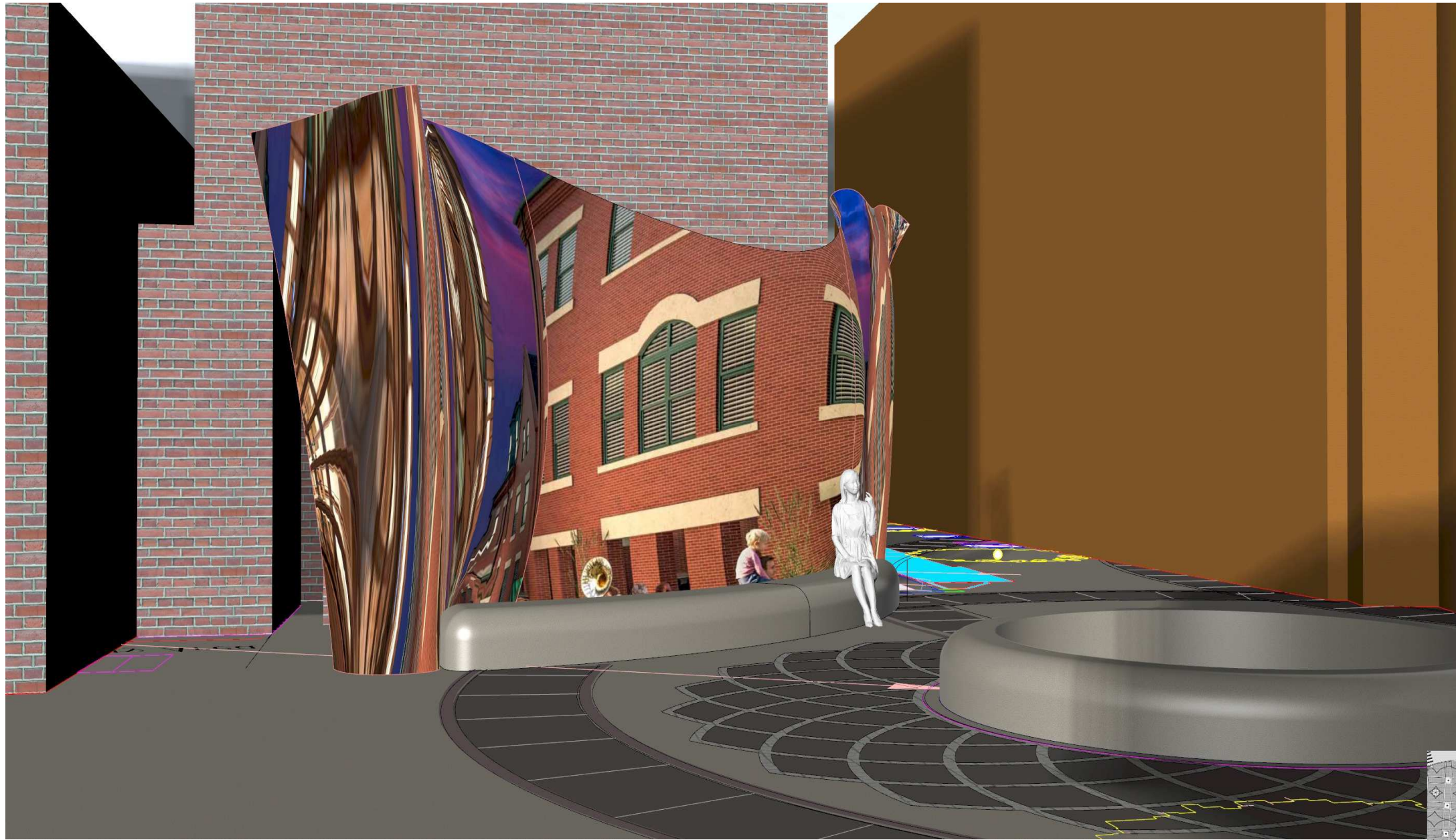


Brick Market

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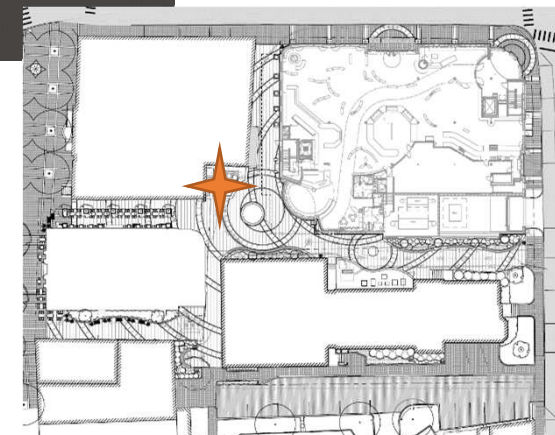
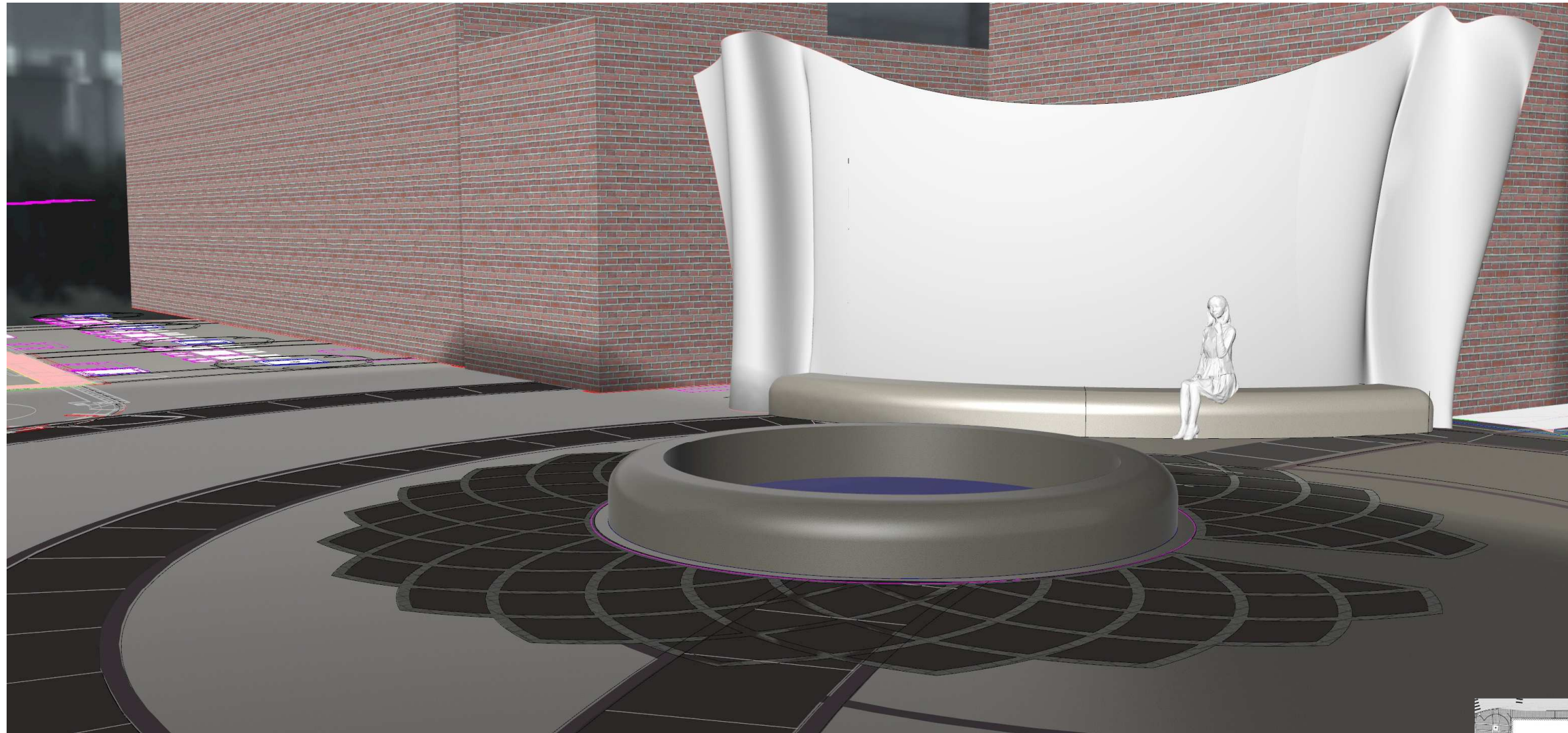


Golob Art



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Since 1994 *reflecting your vision.*

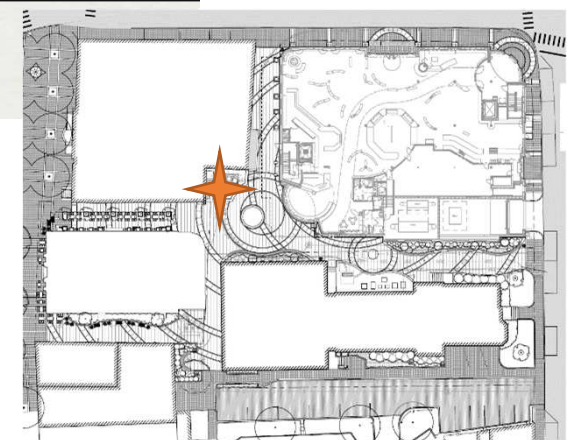
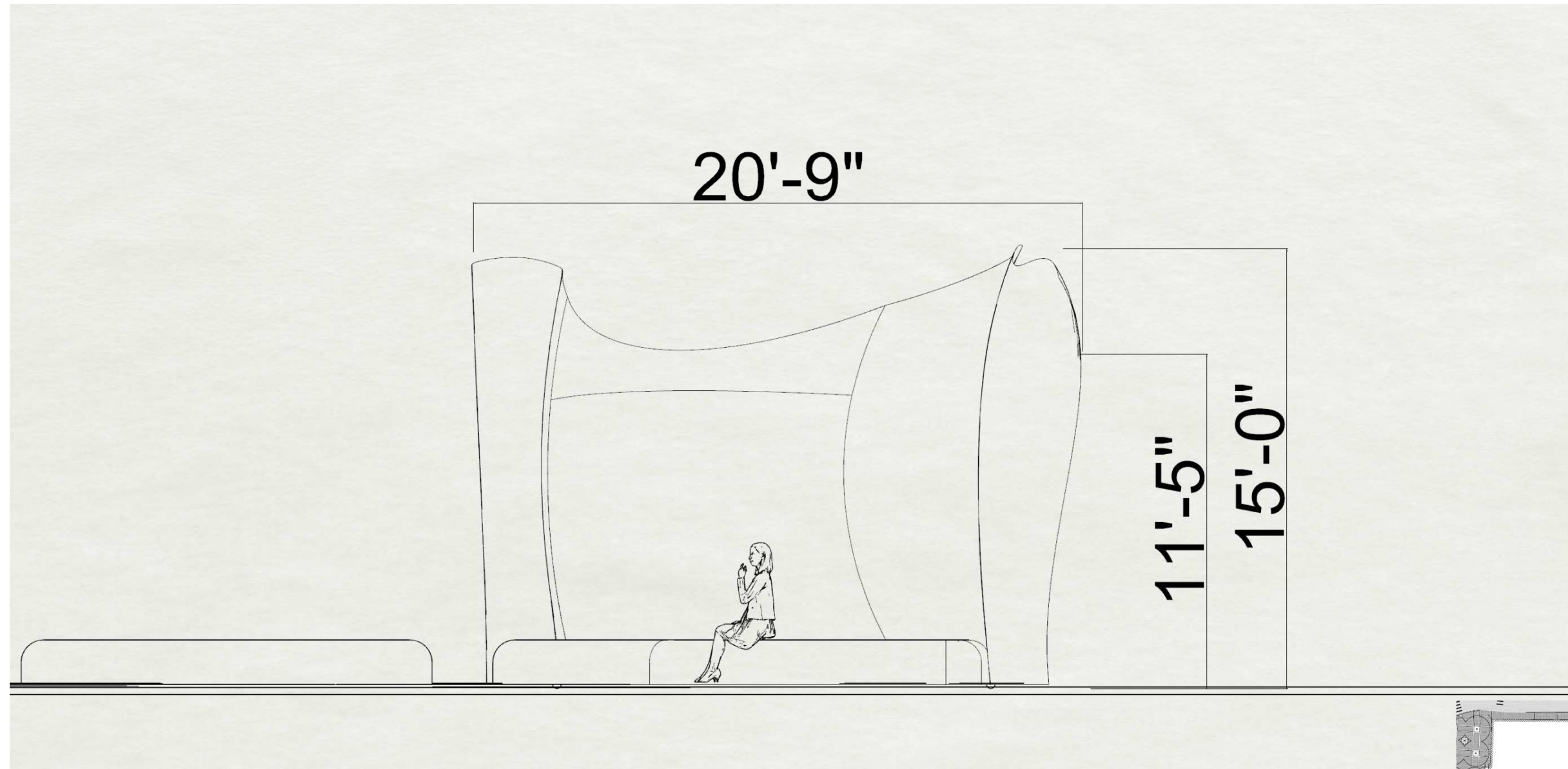


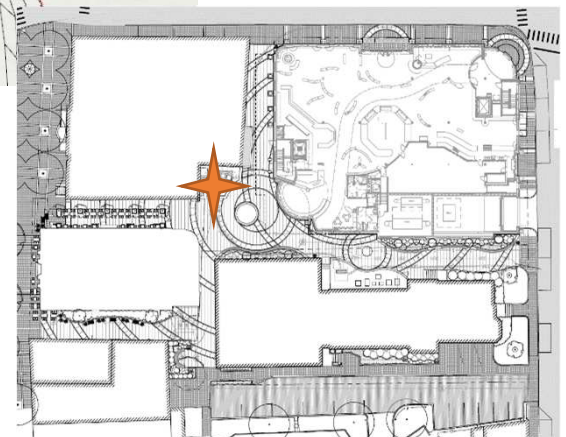
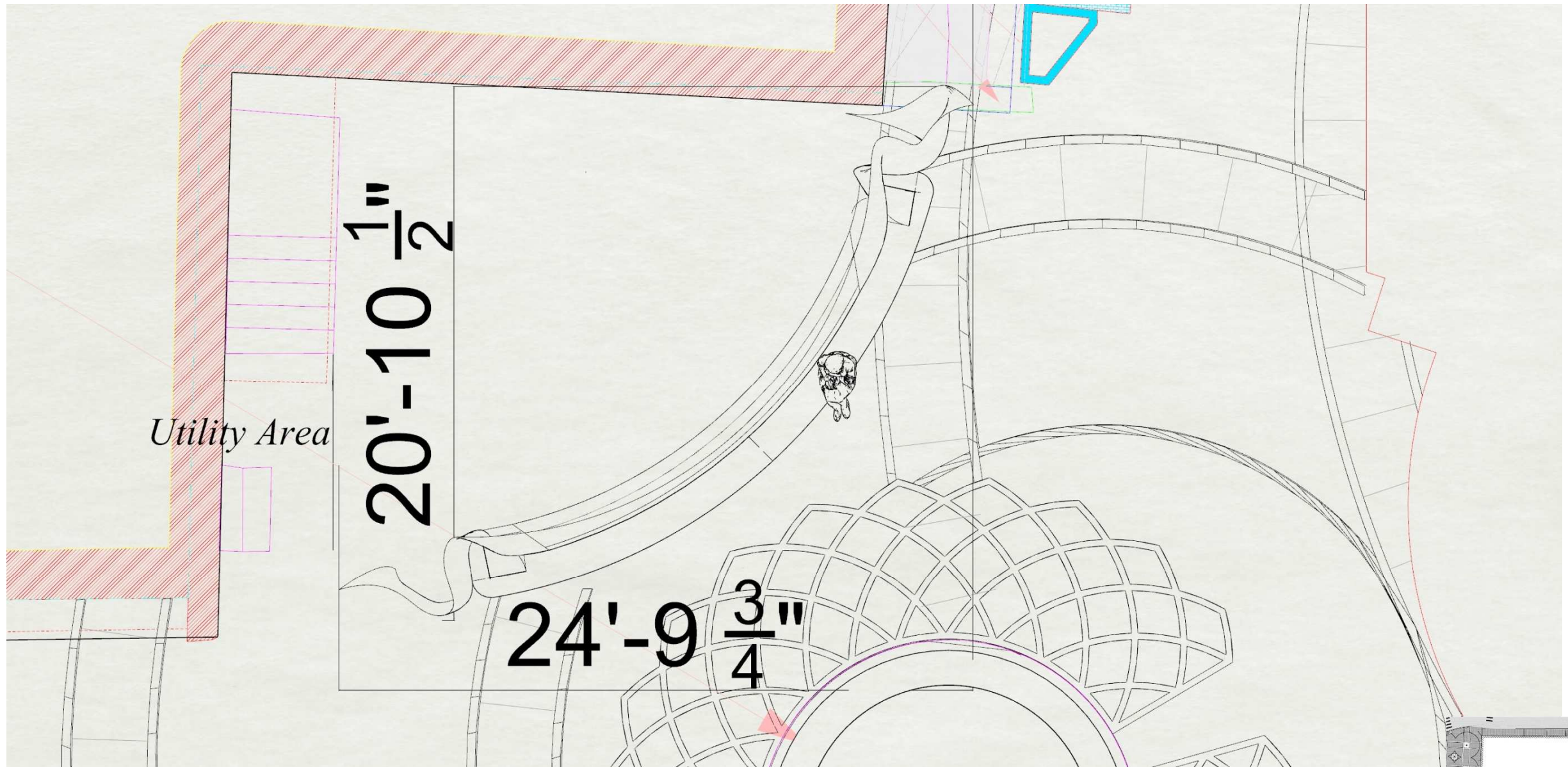
Brick Market

VIVIAN BEER STUDIO

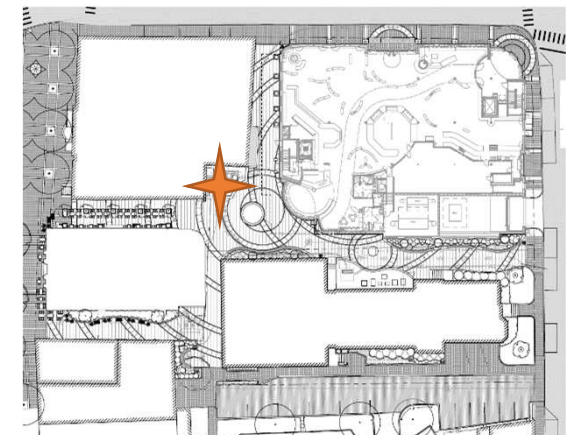
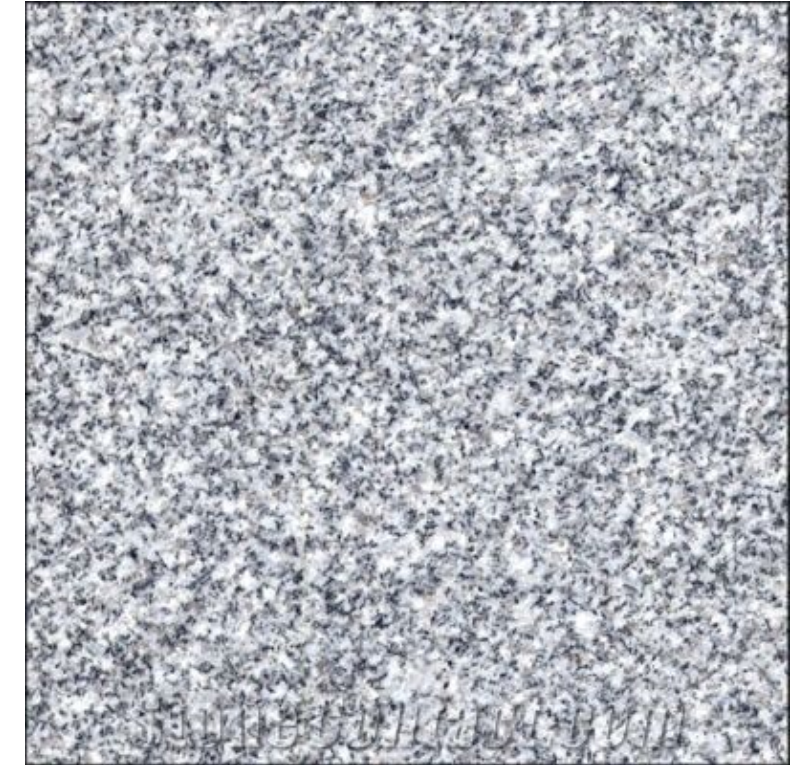


Golob Art





Materials: polished stainless steel and light grey Woodbury granite

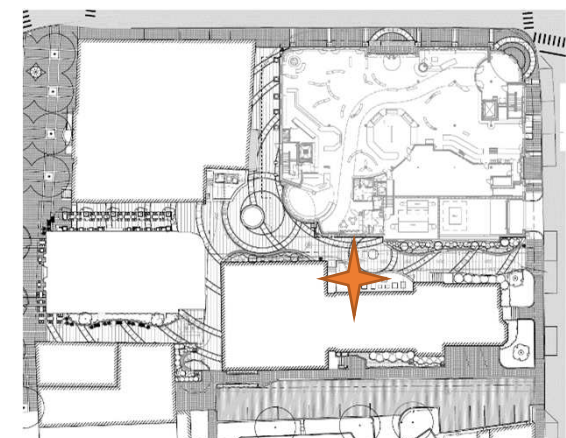


Vivian Beer - Project: *Woven*

Site specific commission

Materials: Formed and fabricated bronze

Project concept: A metal woven structure inspired by crochet work, exploded in scale and designed to encourage interaction. I have already shown the design to Amanda Whitworth, current NH Artist Laureate and frequent collaborative partner <https://leadwitharts.com/>, and she has committed to choreographing a dance performance within the sculpture if created. I have designed it to reflect the ideals of your project; creative place making, flowing openness and interaction. I envisioned the interaction as an enhancement of the round performance bench paced within the space, but inverting the “wall” into an interactive space those performances could be actuated within. It is also designed to reflect the repeated circular designs within the stonework, flowing geometry. There is also irony in my choice to reference “soft arts” or “women’s work” in large scale metal fabrication. Which for me and my studio is also women work! It is also a durable material that can withstand the outdoor setting of the courtyard.



Construction | Development | Management



Brick Market

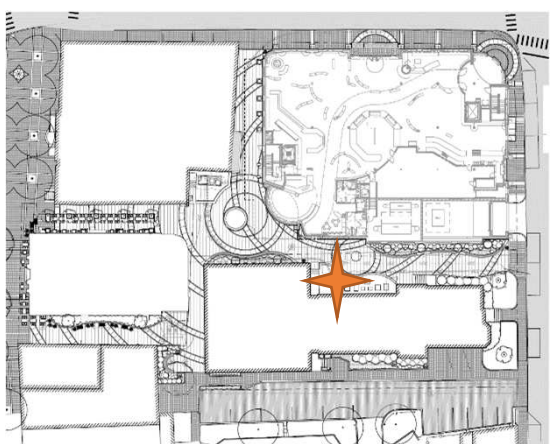
VIVIAN BEER STUDIO

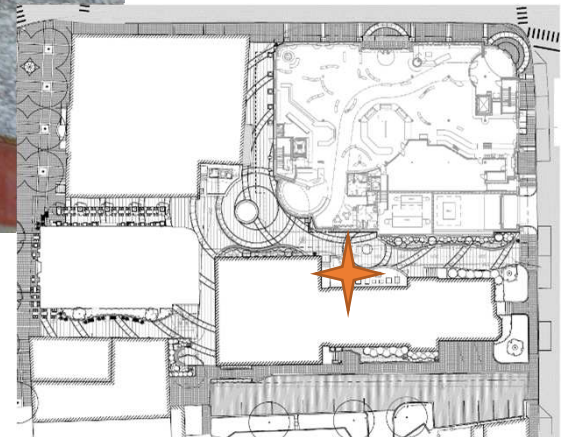
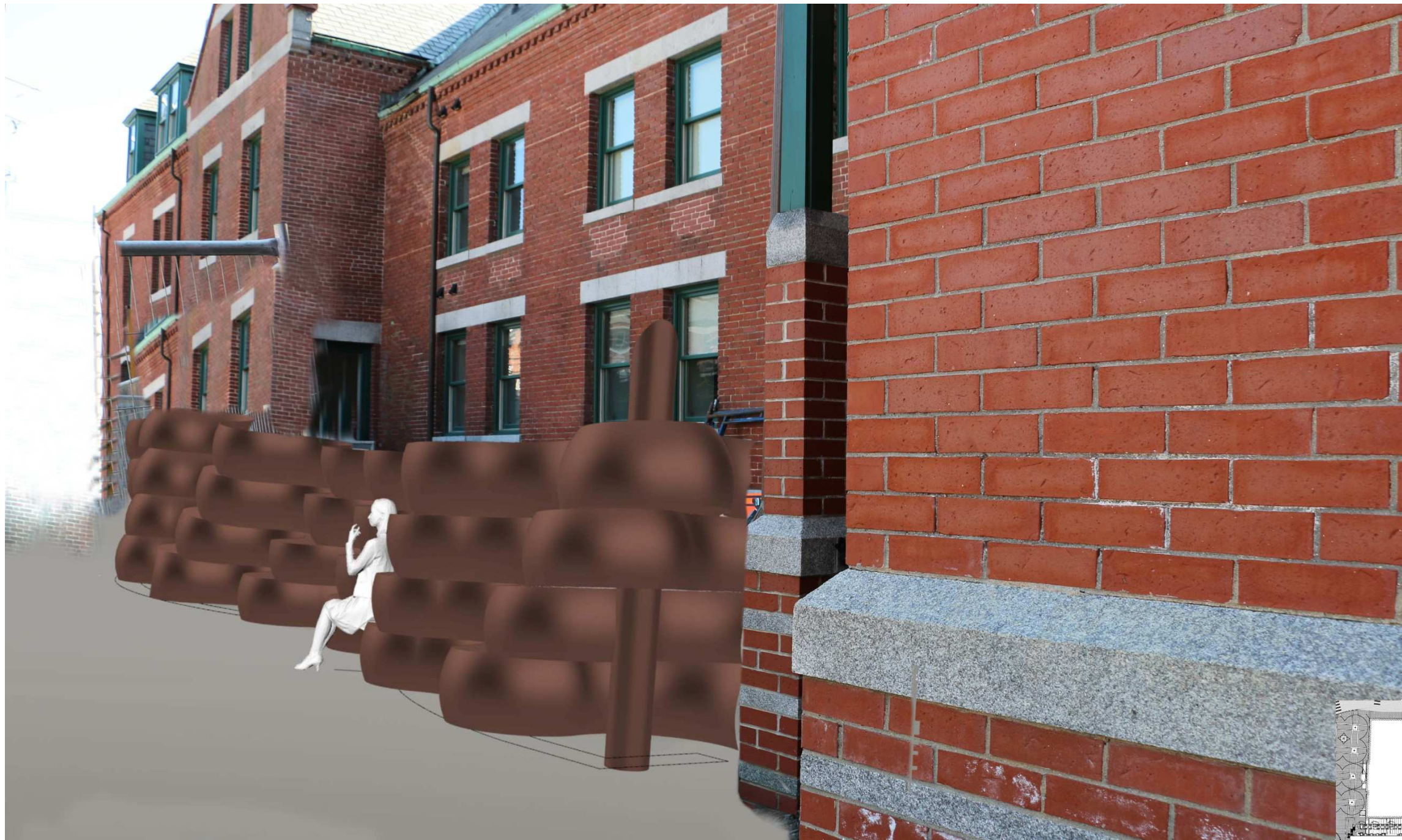


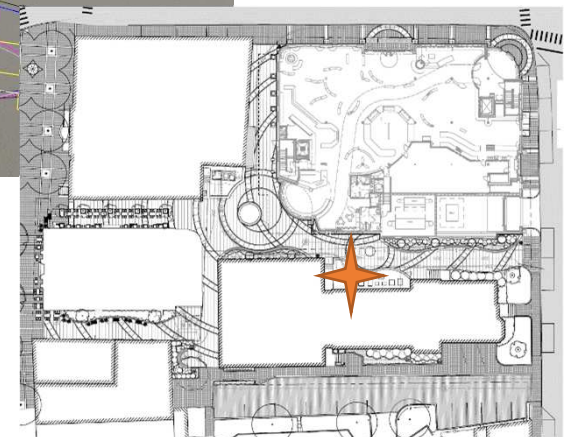
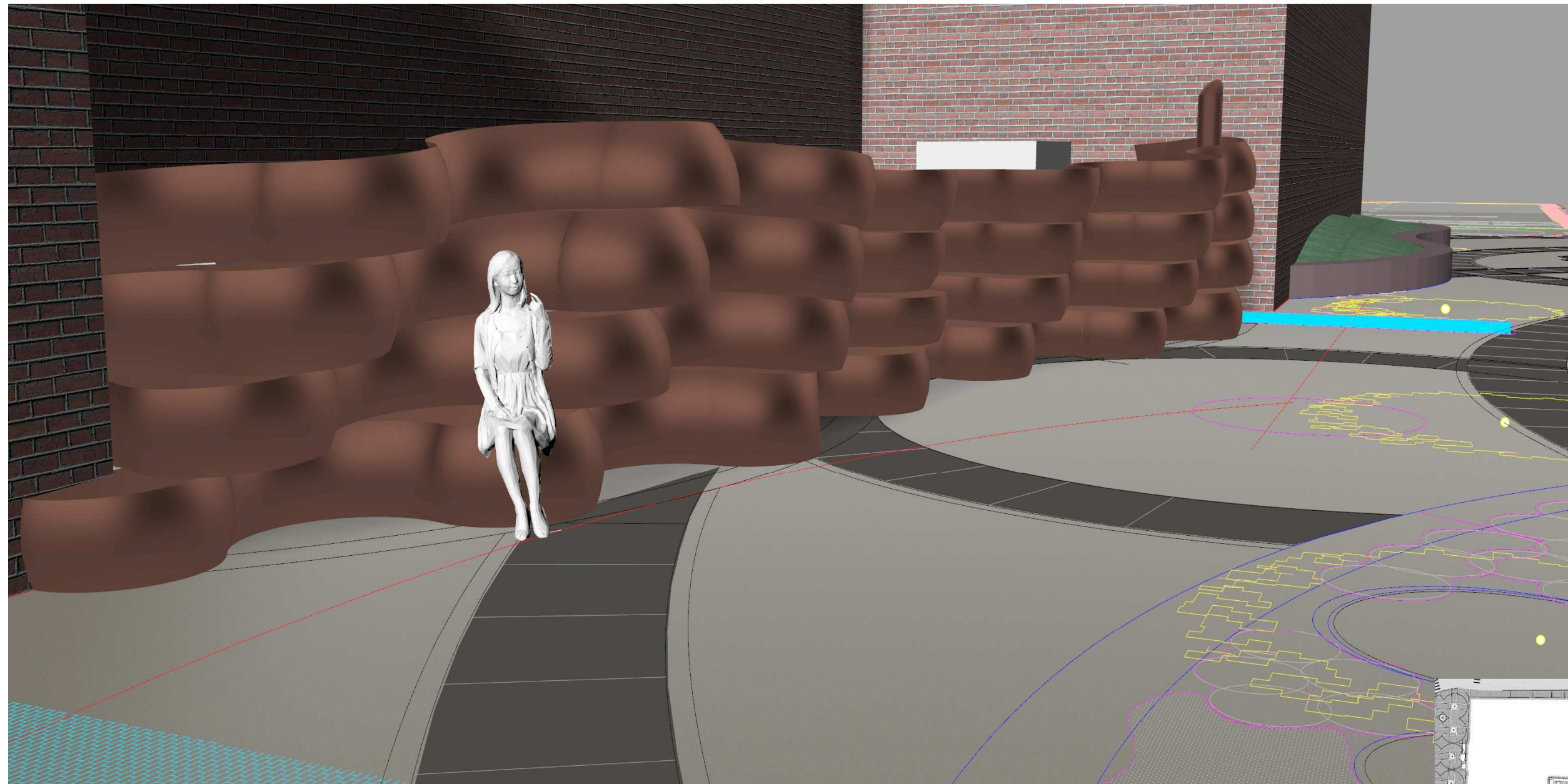
Golob Art



woven







Construction | Development | Management

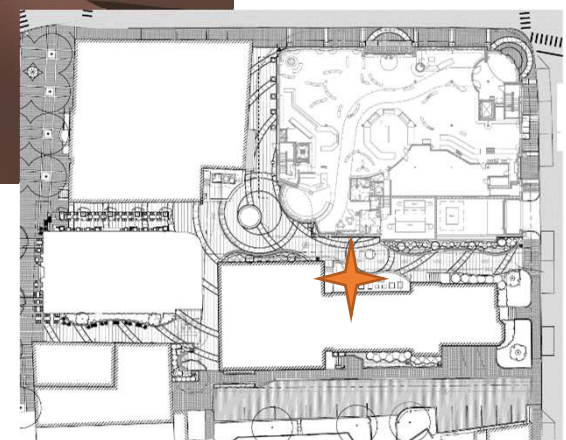
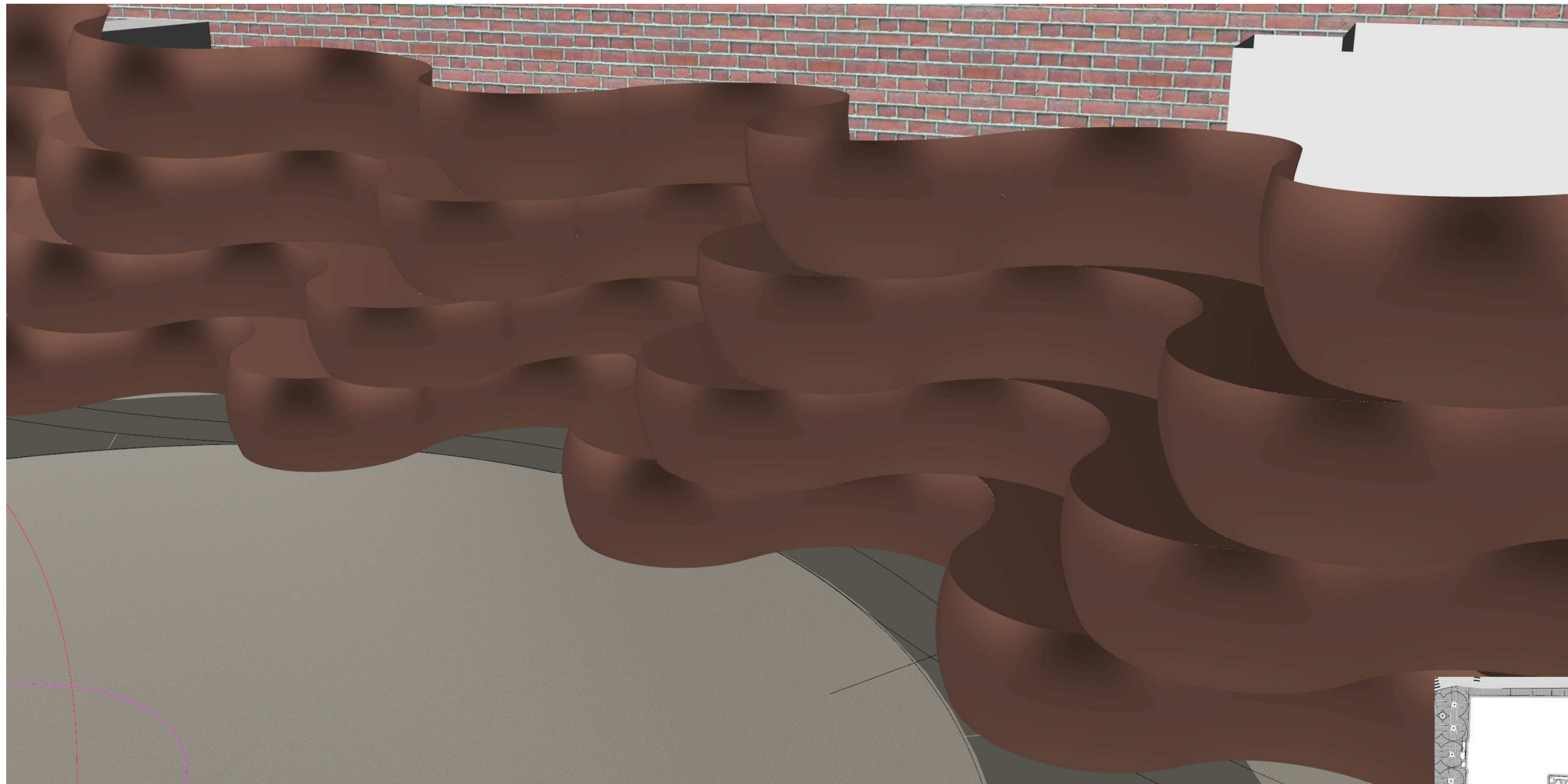


Brick Market

VIVIAN BEER STUDIO



Golob Art



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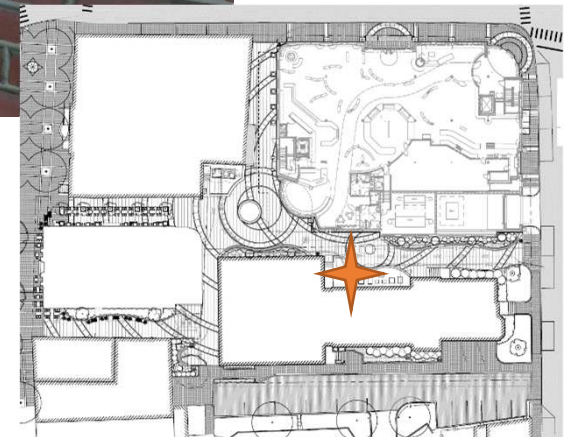
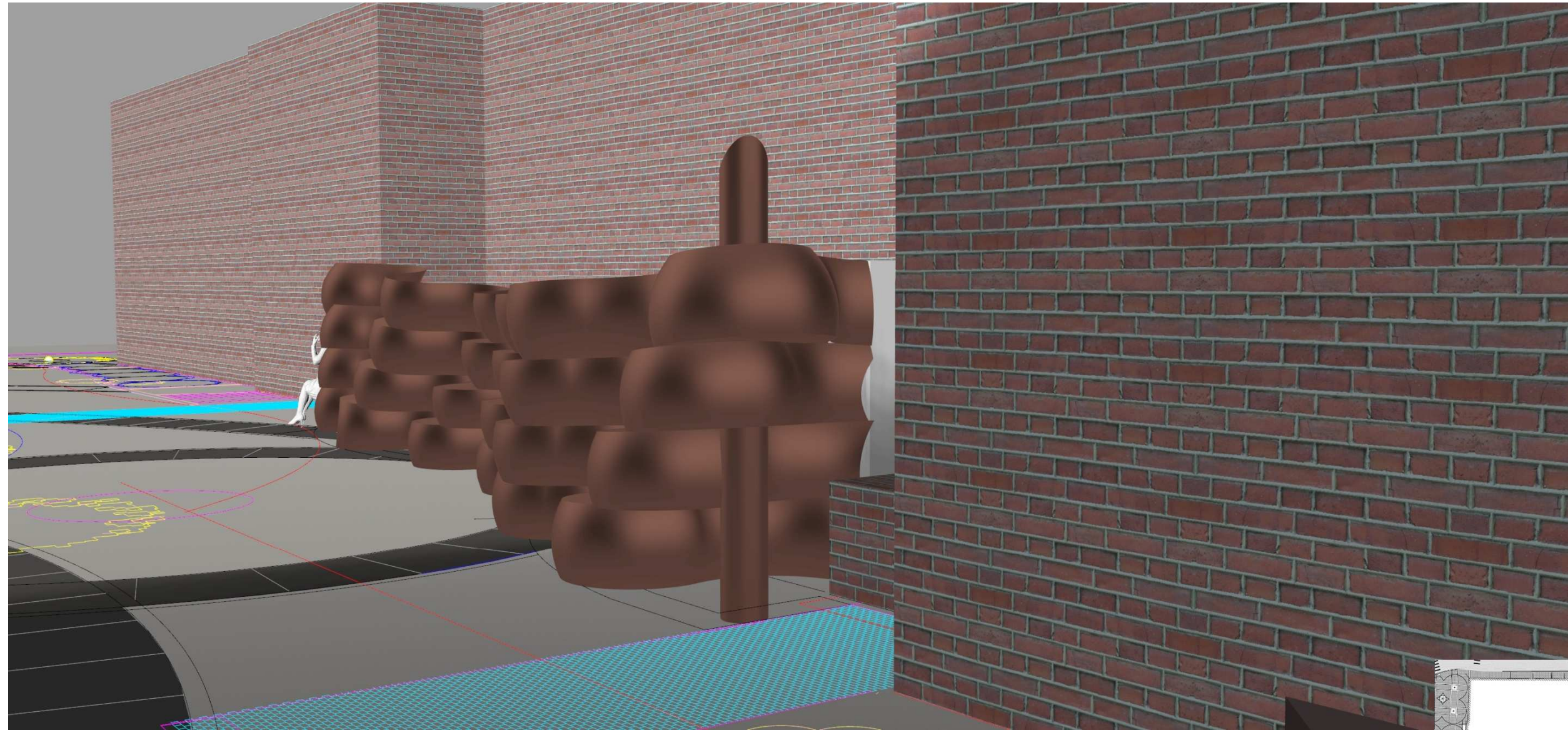


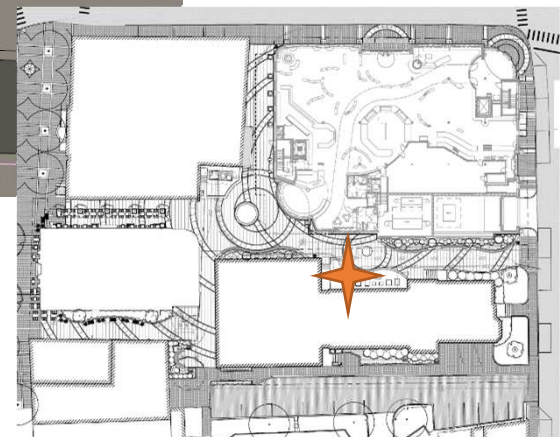
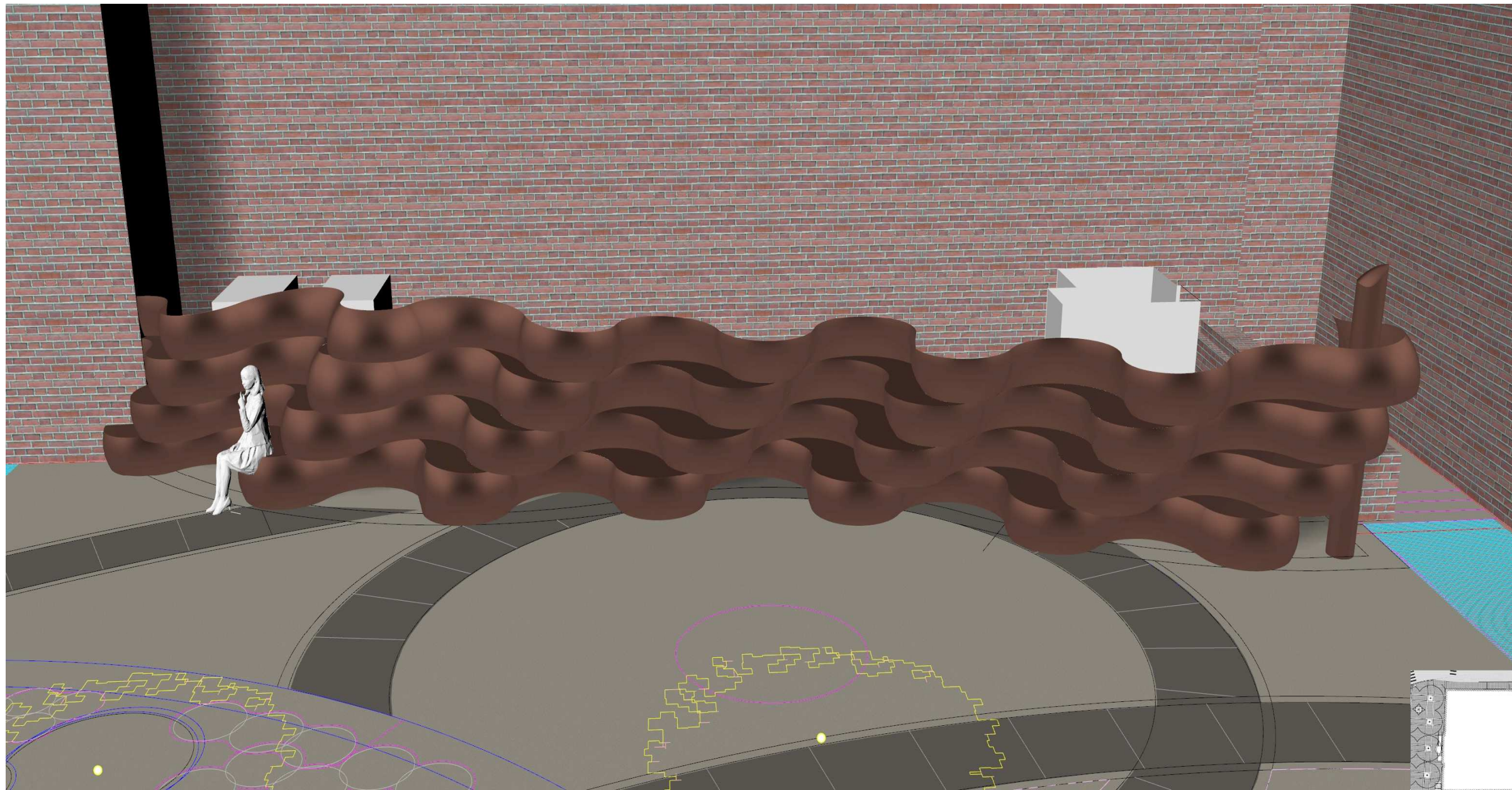
Brick Market

VIVIAN BEER STUDIO



Golob Art





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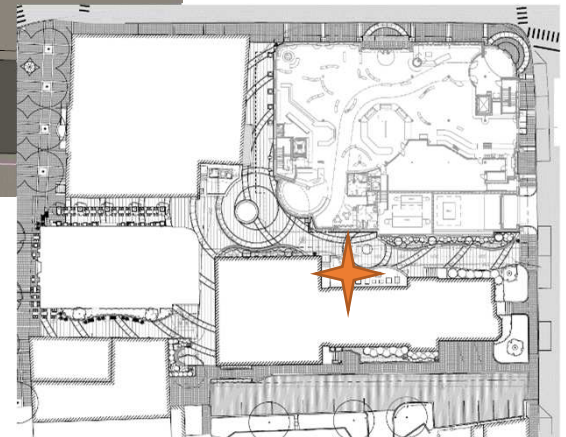
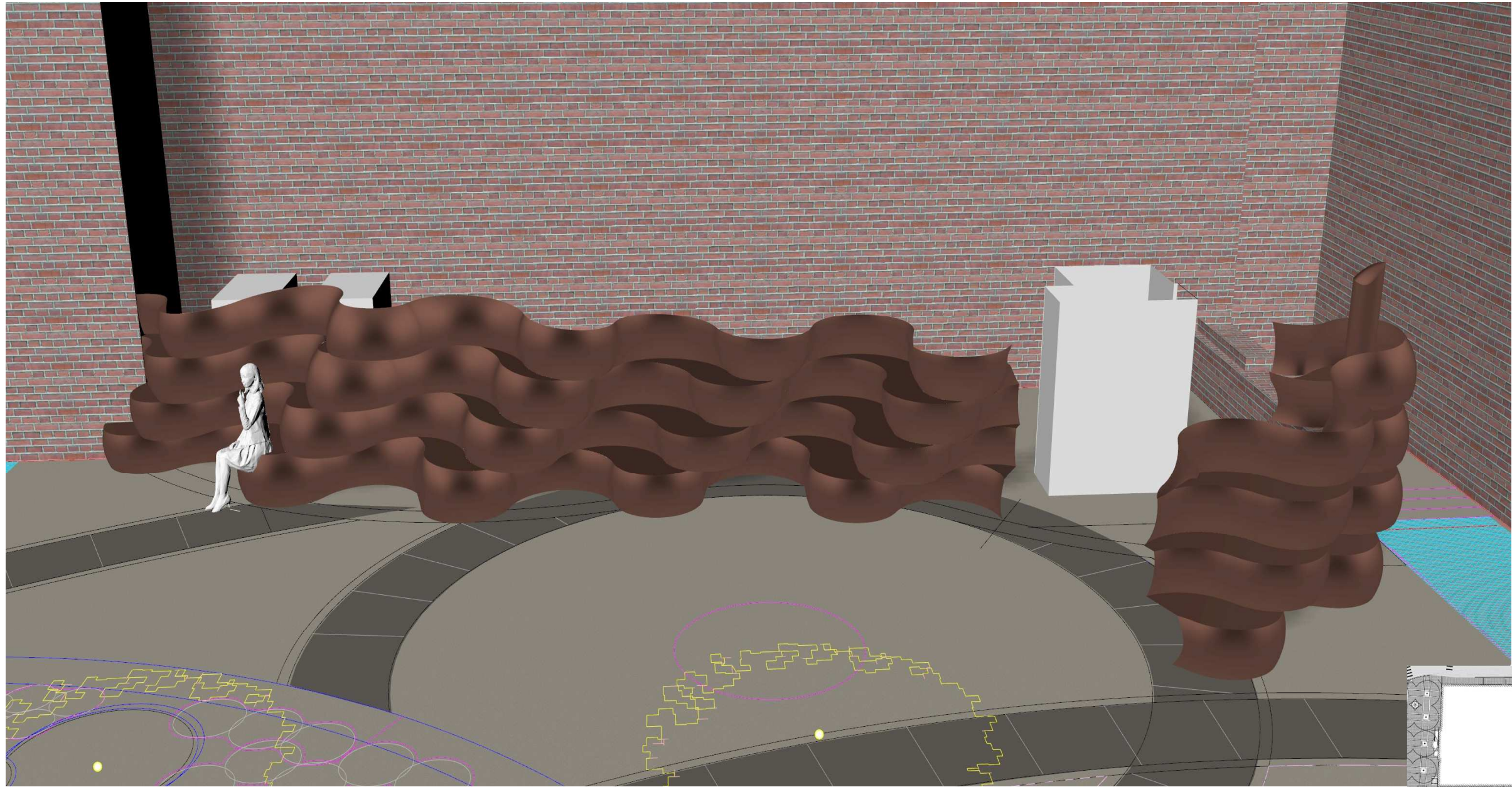


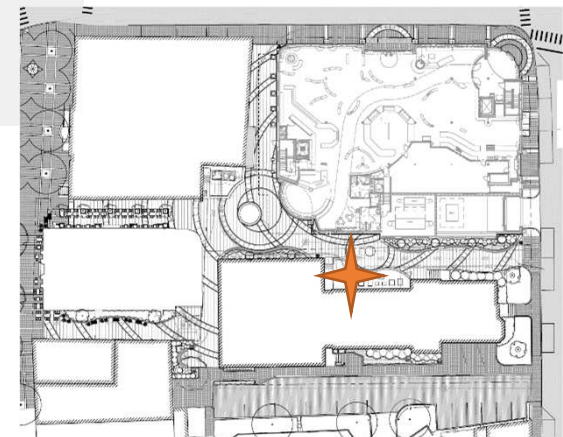
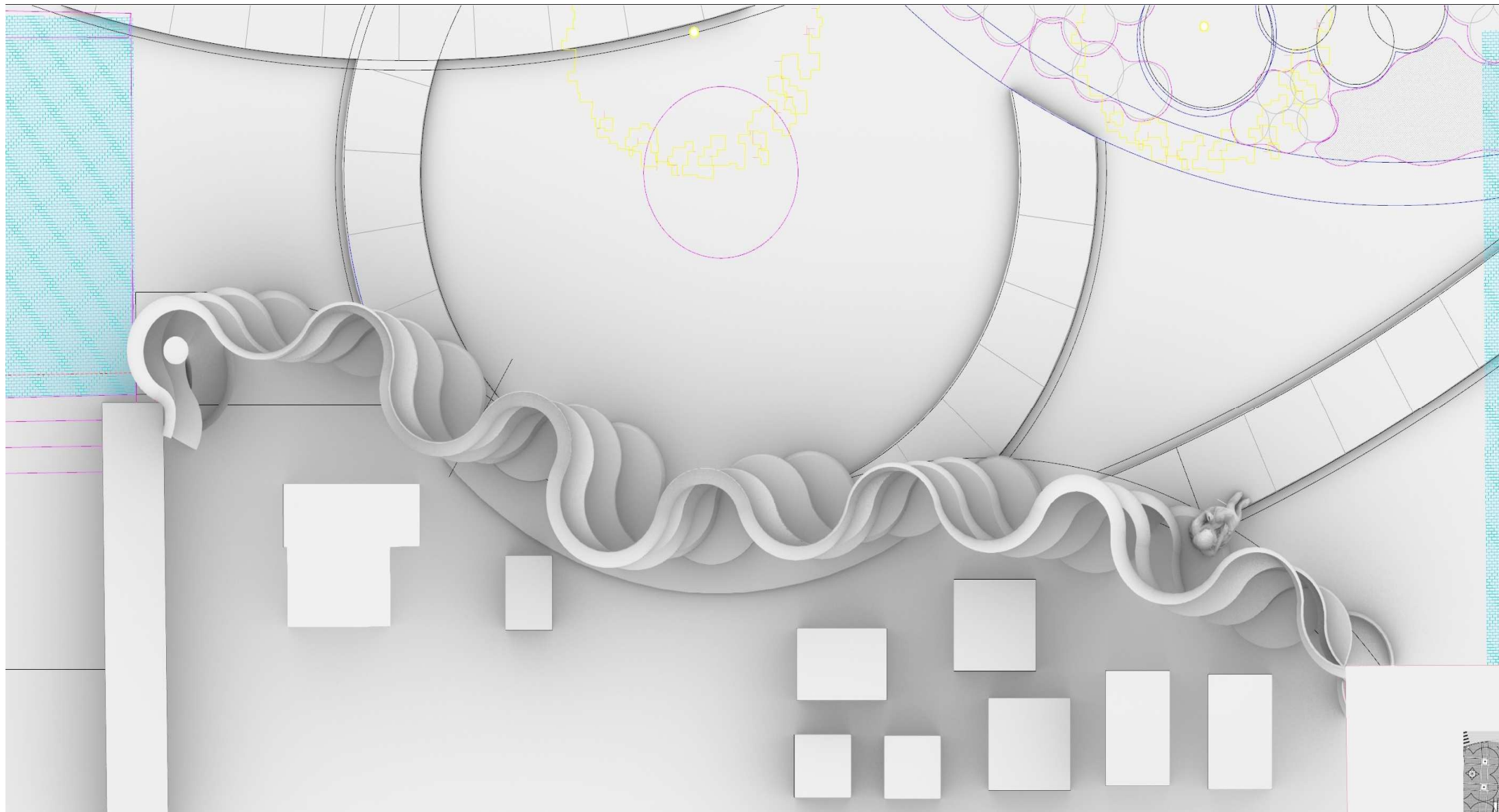
Brick Market

VIVIAN BEER STUDIO



Golob Art





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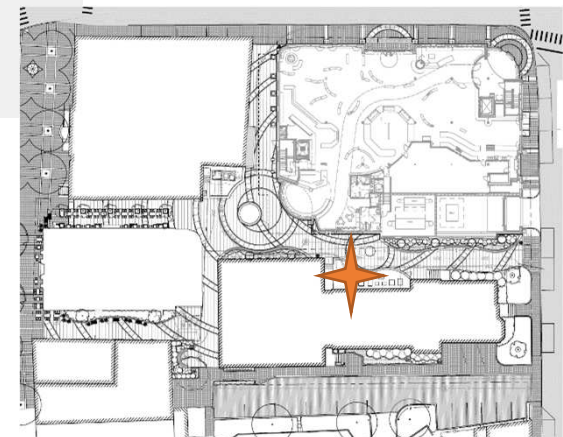
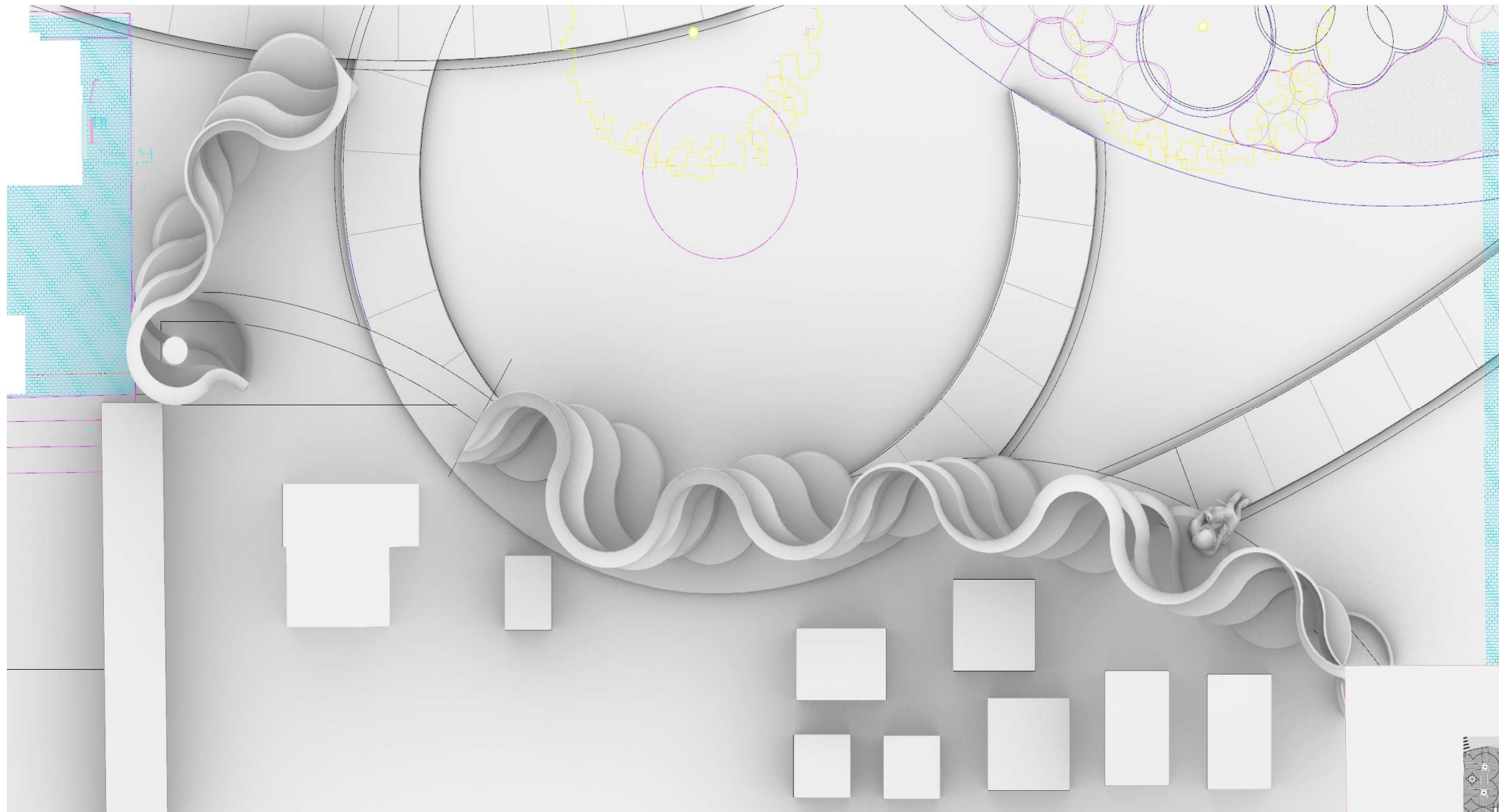


Brick Market

VIVIAN BEER STUDIO



Golob Art



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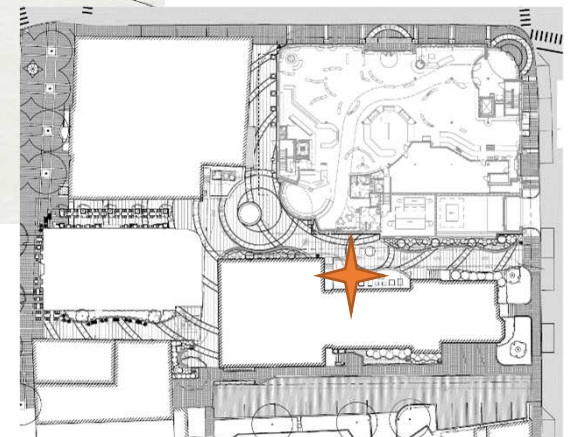
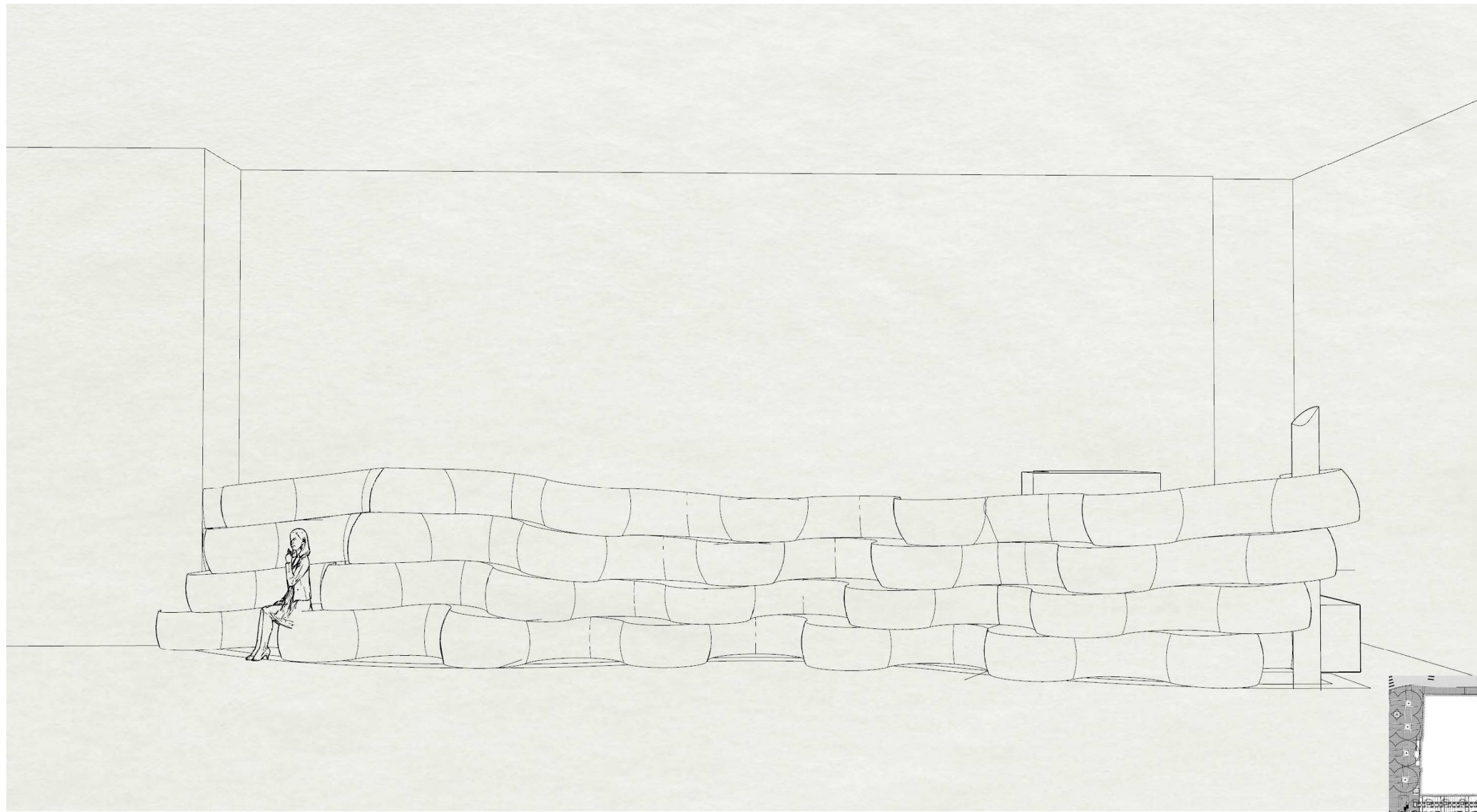


Brick Market

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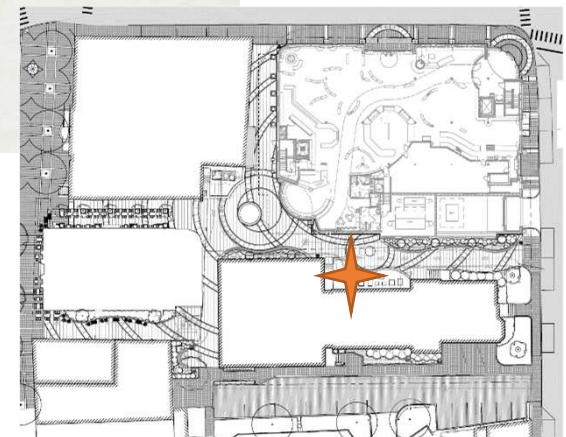
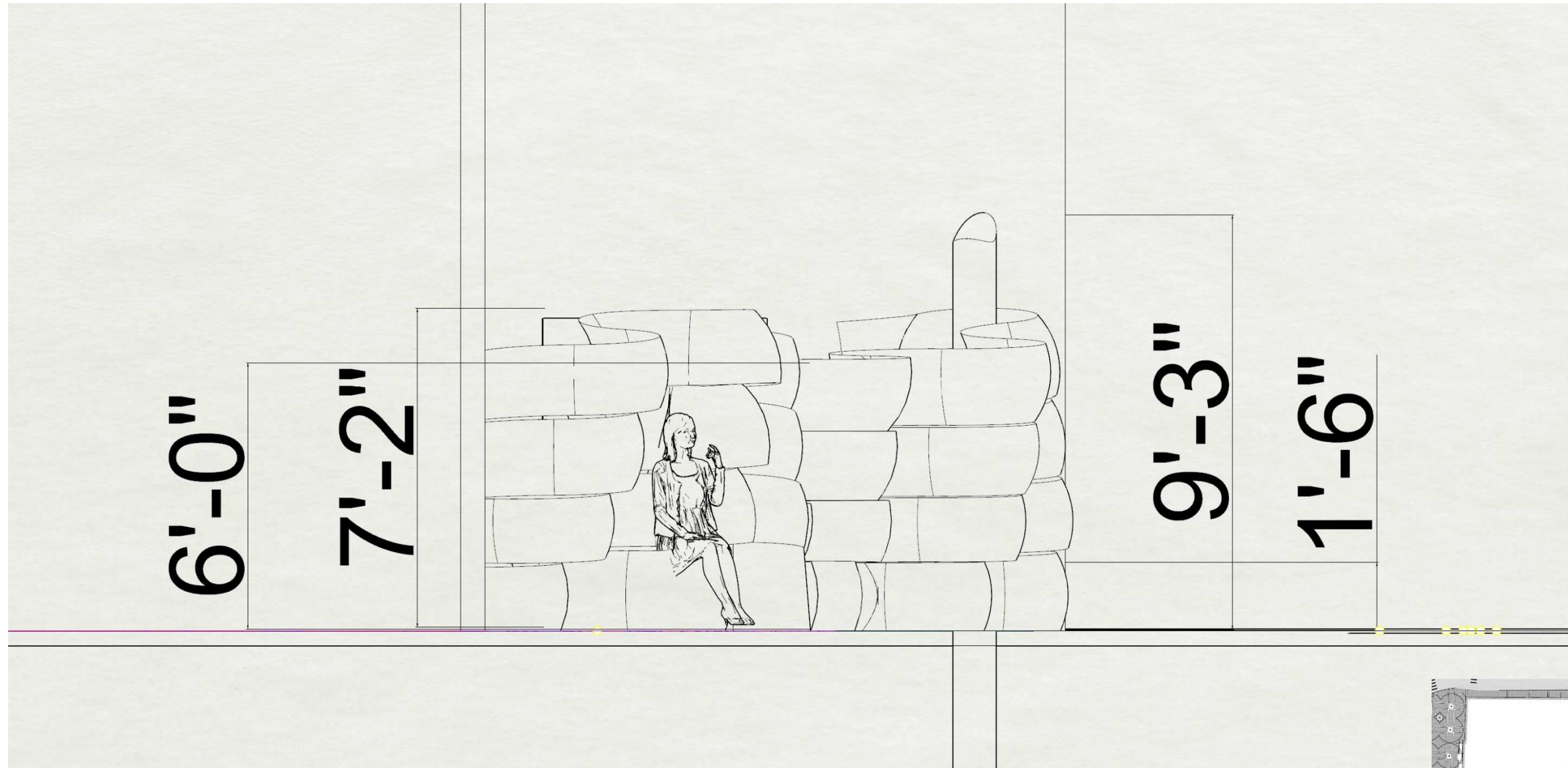


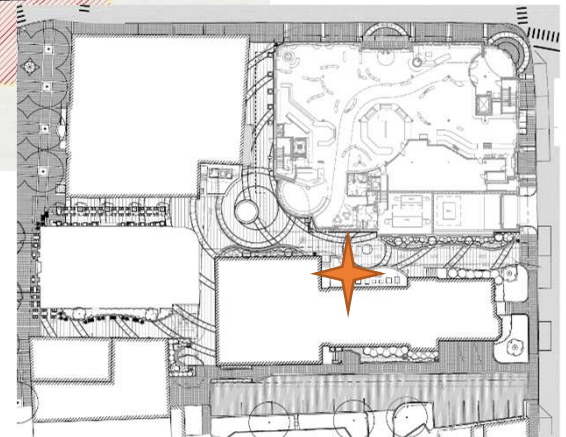
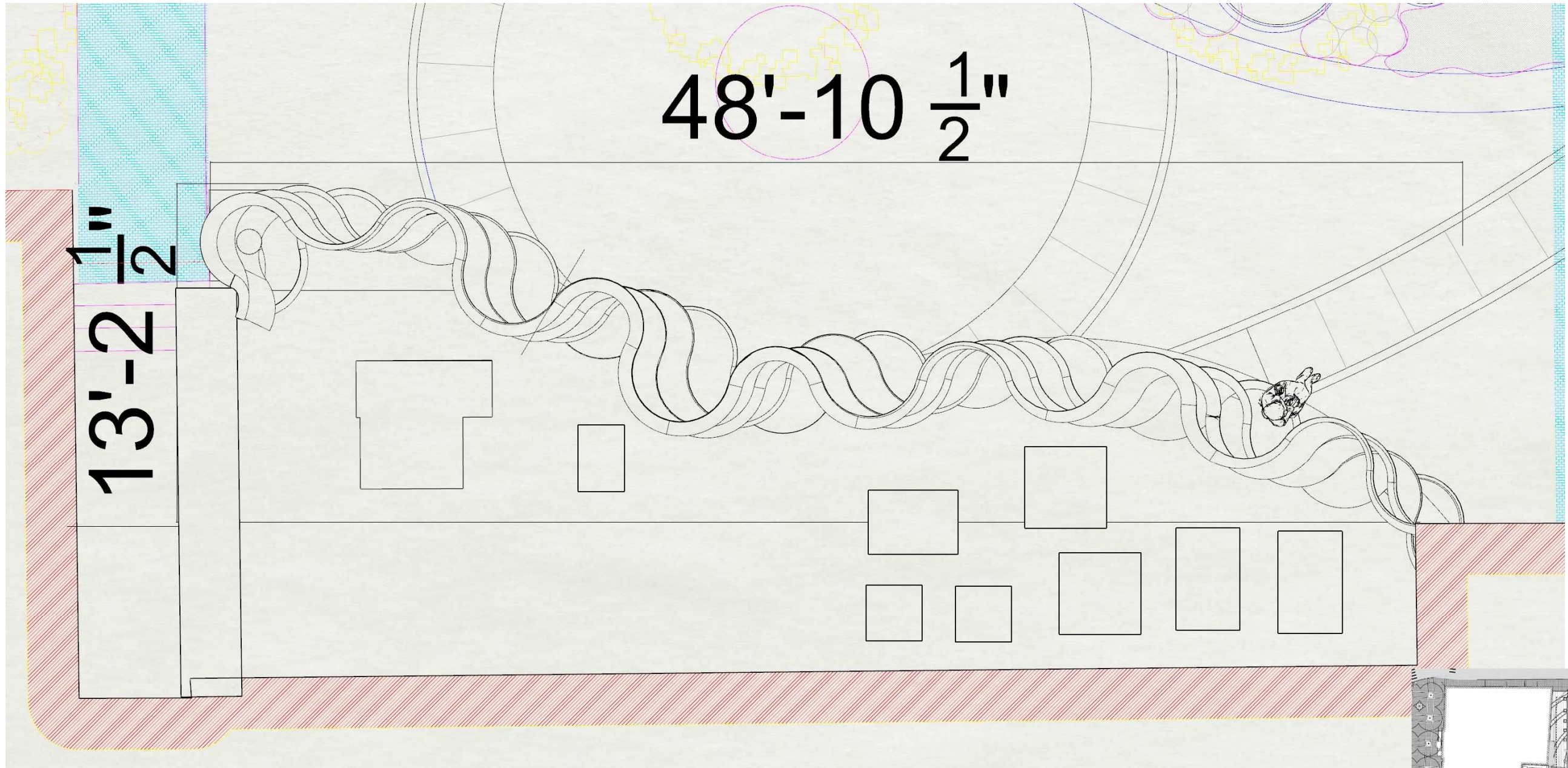
Brick Market

VIVIAN BEER STUDIO

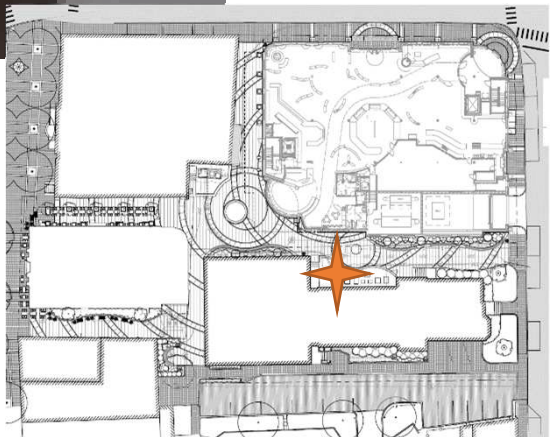


Golob Art





Material: Formed and fabricated bronze



Amanda Whitworth - Recommendation: first year programming

Materials: Local arts community

Project concept: Hire as a consultant/curator Amanda Whitworth and her group *Lead with Arts* <https://leadwitharts.com> to build programming for your first year open to the public. This will show possibility of the space for the arts community and jumpstart the place-making goals of the project.

Next Steps: Identify timeline for project completion and performance. Approach Amanda to see if they are willing to take it on and what sort of consulting budget would be required.

Links:

<https://leadwitharts.com/>

NHPR: New N.H. Artist [Laureate, Amanda Whitworth, Is First to Represent Dance](#)

<https://www.nhpr.org/post/new-nh-artist-laureate-amanda-whitworth-first-represent-dance#stream/0>

Variations on Colorfields by Floor van de Velde (www.floorvandevelde.com) McIninch Gallery at Southern New Hampshire University in partnership with New Hampshire Dance Collaborative (www.nhdancecollaborative.com) https://www.youtube.com/watch?v=TfwXBzmRMcs&feature=emb_title

Artist in residence at shaker village

<https://vimeo.com/channels/1147628/17905>

[7029](#)



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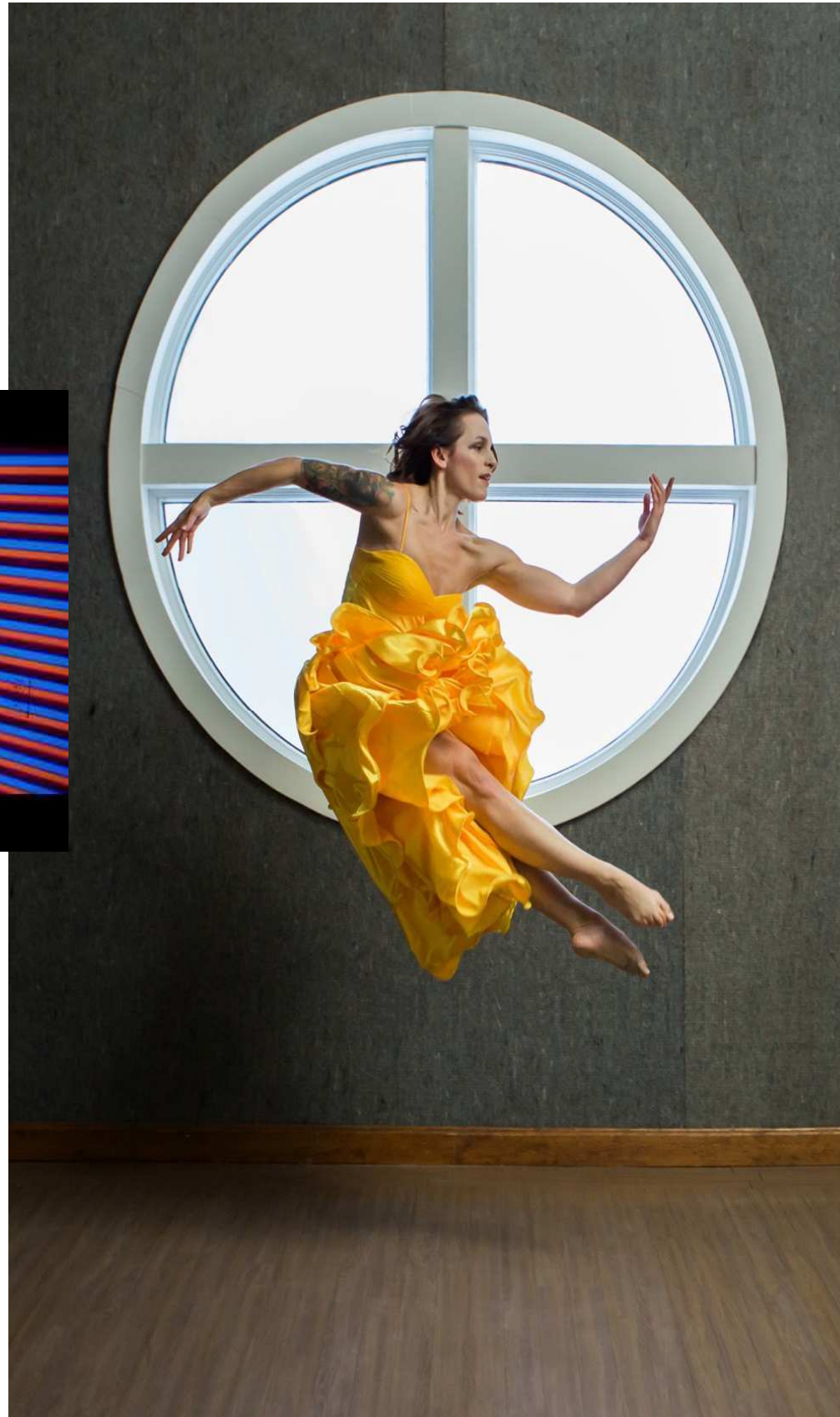


Brick Market

VIVIAN BEER STUDIO



Golob Art



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Golob Art

Wayfinding and Alley General considerations

Thematic Touch Points

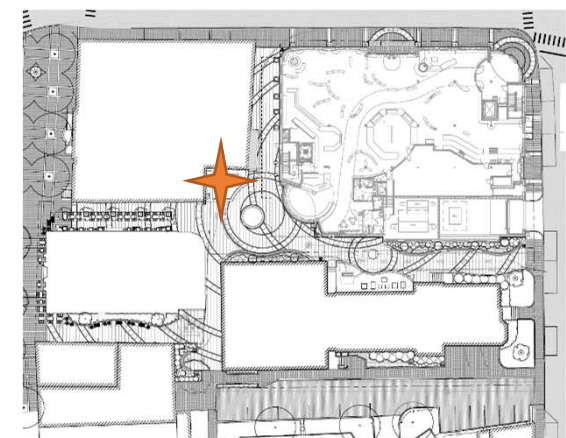
- Women's history and empowerment
- Maritime history and culture
- Water, nature, curves

In Concert With Vivian's Work

- Metal sheets
- Organic forms
- Abstraction and representation
- Reflection and color

Mission Orientation

- Clear, sustained sense of identity
- Creates flow of activity (plaza and alley – ebb and flow)
- International reach, local roots
- Accessible and easy to engage with
- Active year-round
- Buzz - Makes people come back, talk about it



Wayfinding, Alley Art Index

1. Light Houses
2. Projections
3. Artifacts
4. Portsmouth Women Stained-Glass “Windows”
5. Meditation in Blue
6. Mirror Ivy
7. Water Lilly Wall

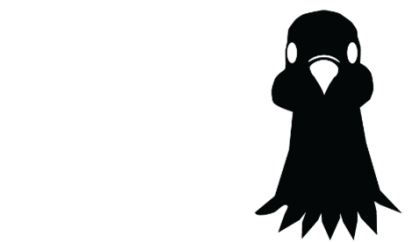


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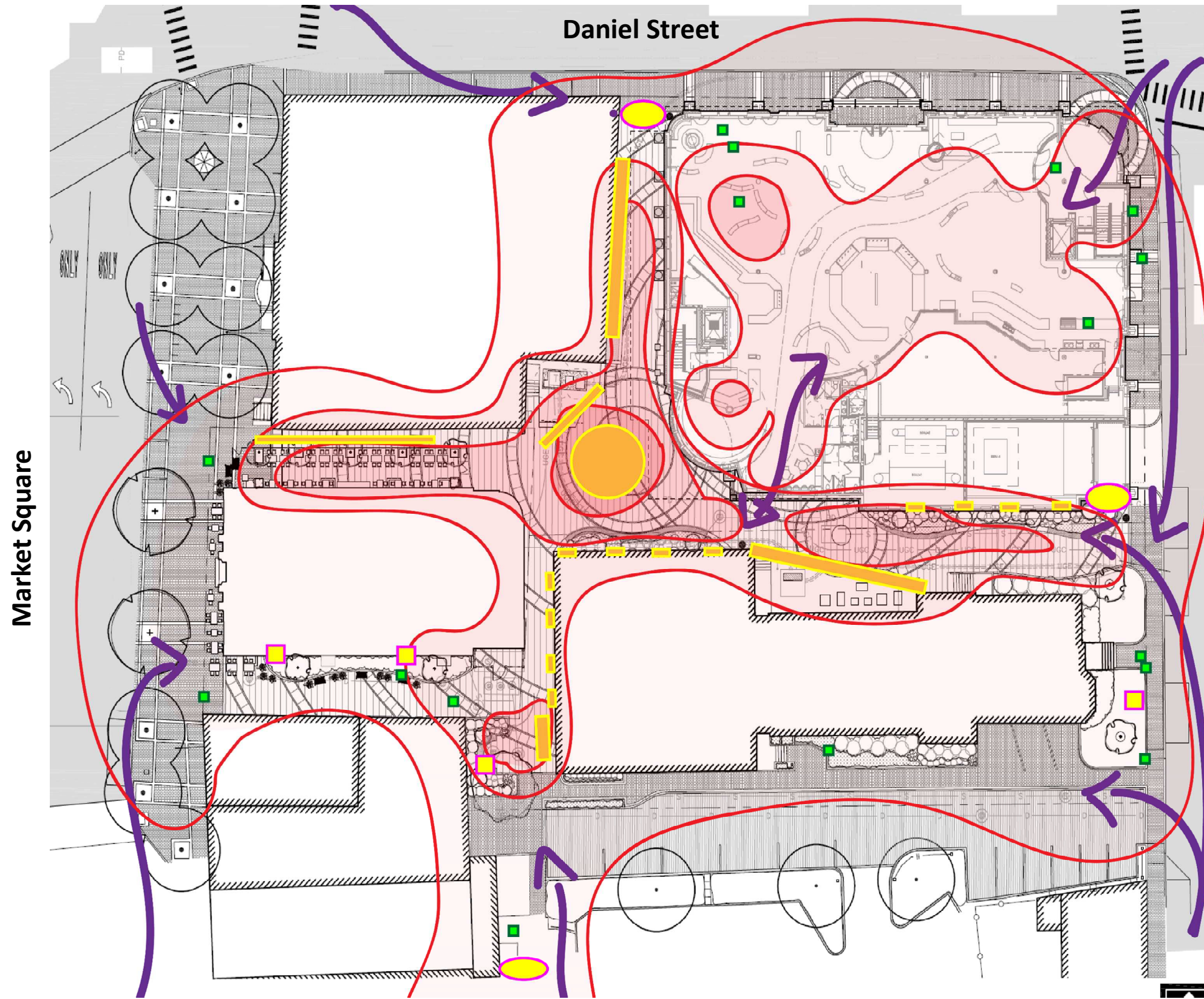
Brick Market


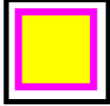
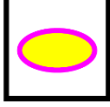



VIVIAN BEER STUDIO



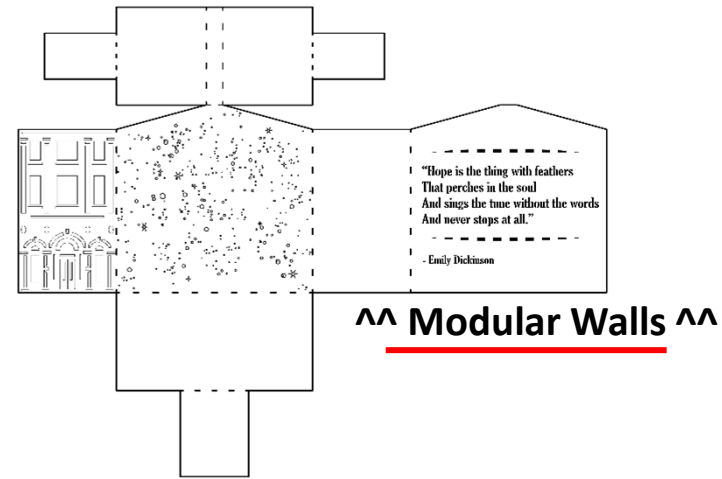
Golob Art

Artworks Layout



Key	
	Artefacts
	Light Houses
	Projections
	Alley+Courtyard Artworks
	Topography of Active Space
	Flow of Movement

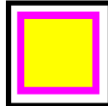
1. Light Houses

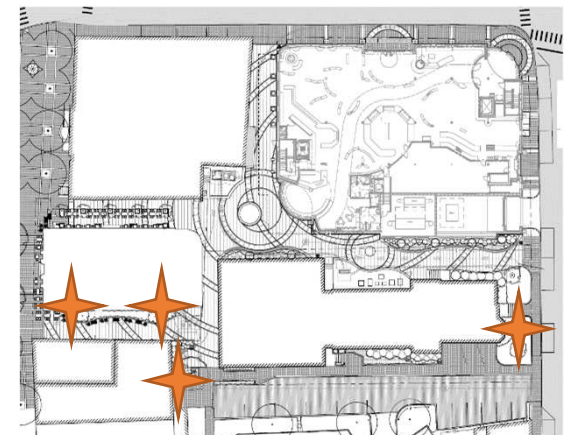


Dimensions: H 24" x W 9.5" x D 21.5"
Materials: Machine-cut Aluminum



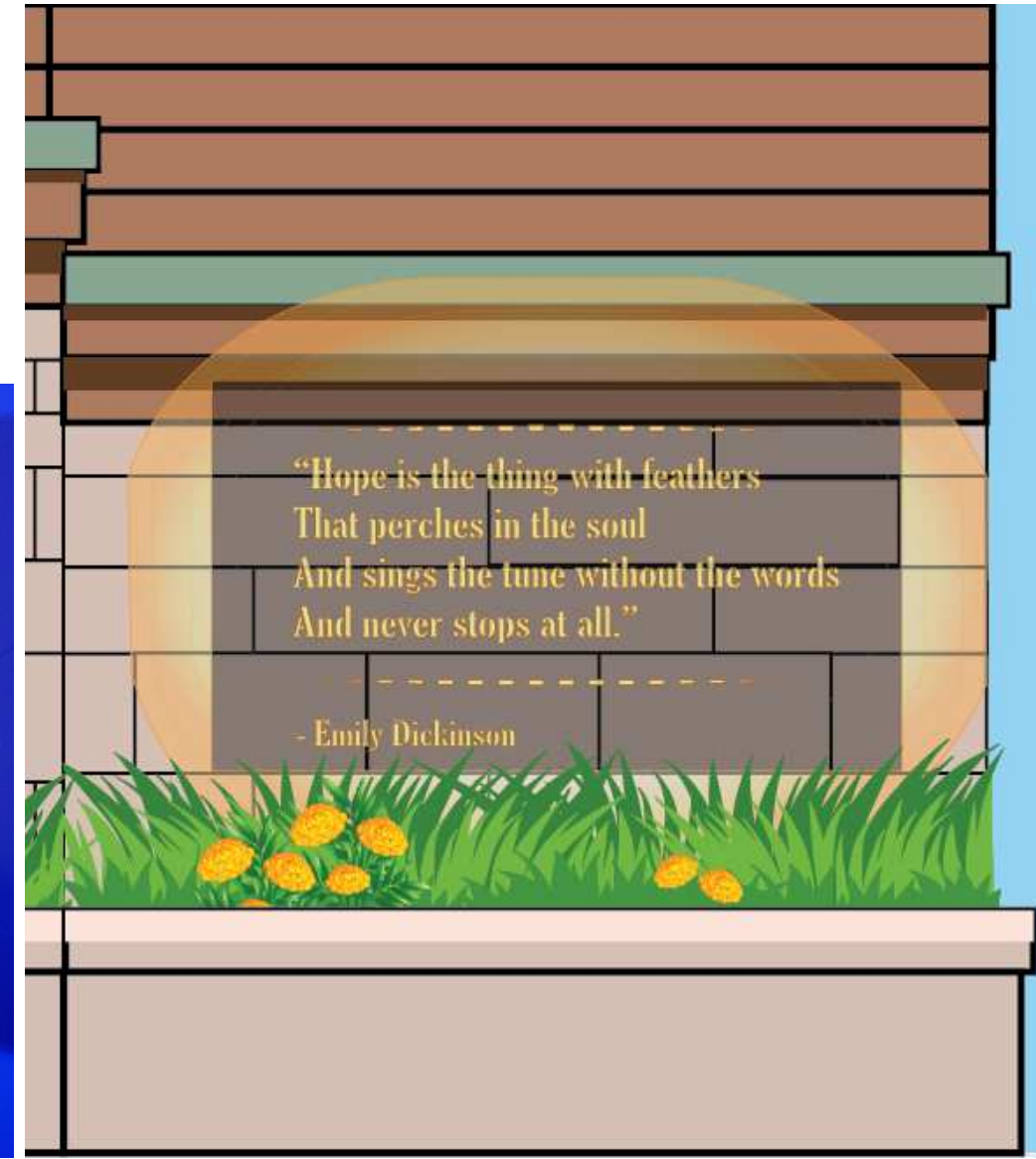
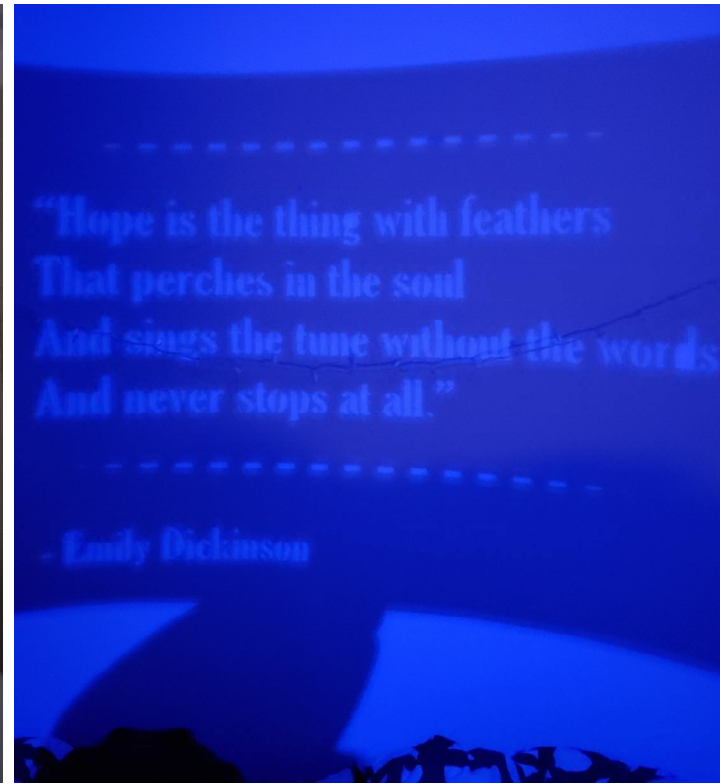
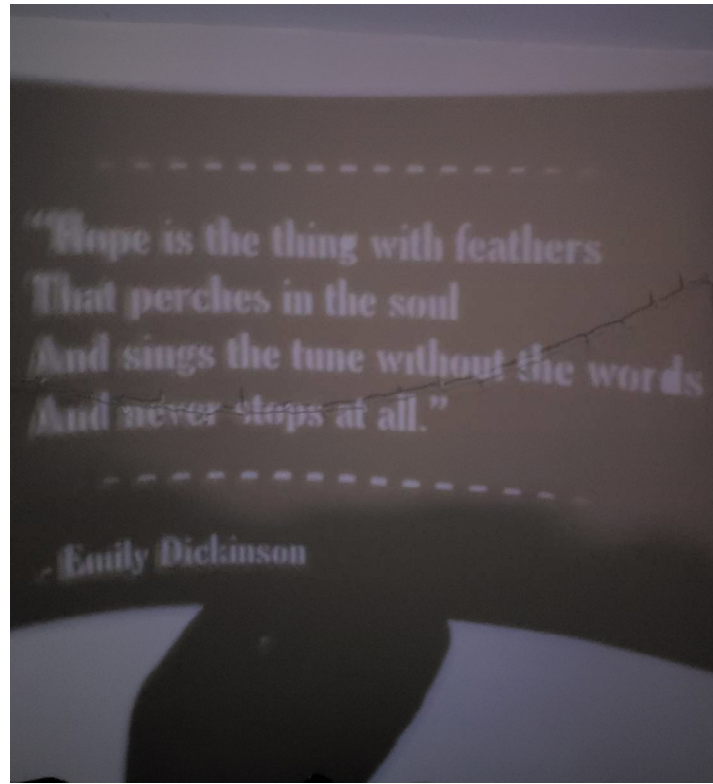
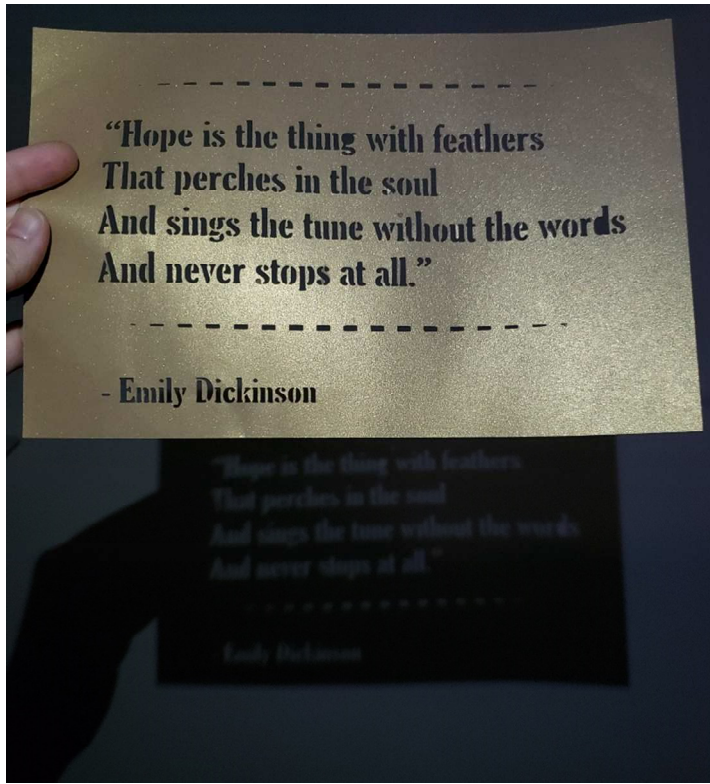
Key

 Light Houses



2. Projections

(against walls, floors)



Dimensions:

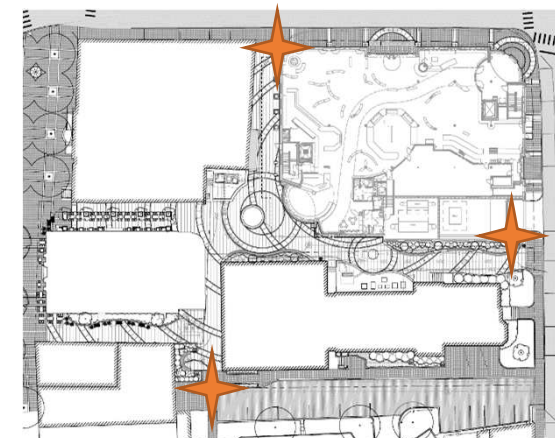
Shadow Box: H 6" x W 8" x D 4"
Projection: H' 4' x L 6' x D 0'

Materials:

Machine-cut
aluminum

Key

 Projections



3. Artifacts



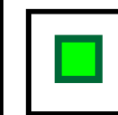
Dimensions:

Variable, roughly:
H 1" x W 5" x D 4"

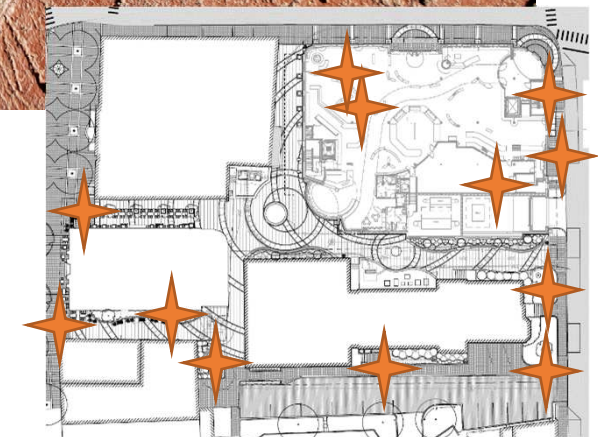
Materials:

Cast bronze

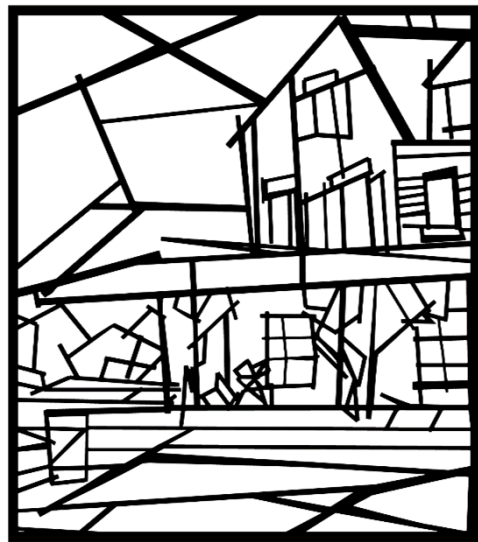
Key



Artifacts



4. Portsmouth Women Stained-Glass “Windows”



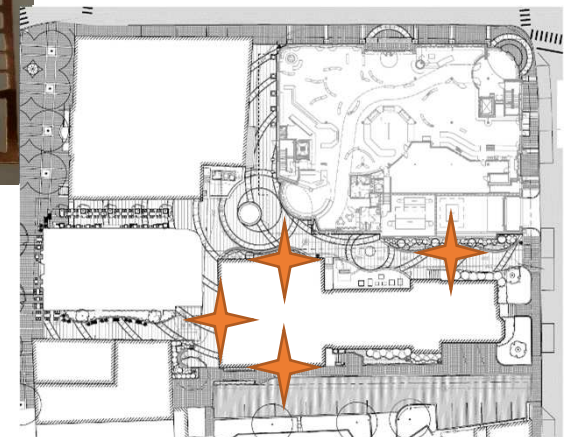
Materials:
Machine-cut
Steel

Dimensions:
Variable, roughly:
H 5' x W 4' x D .125"

Materials:
Machine-cut Steel

Key

Alley+Courtyard
Artworks



Construction | Development | Management



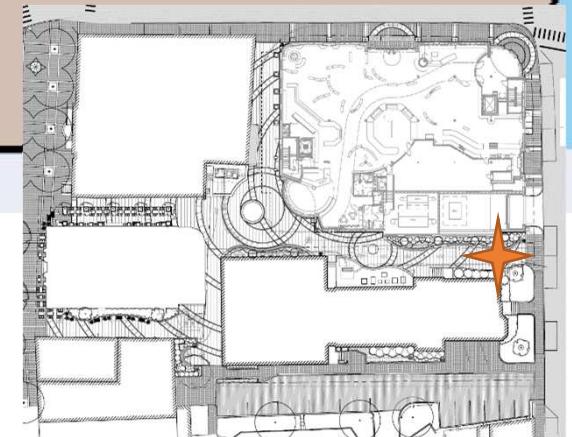
Brick Market

VIVIAN BEER STUDIO

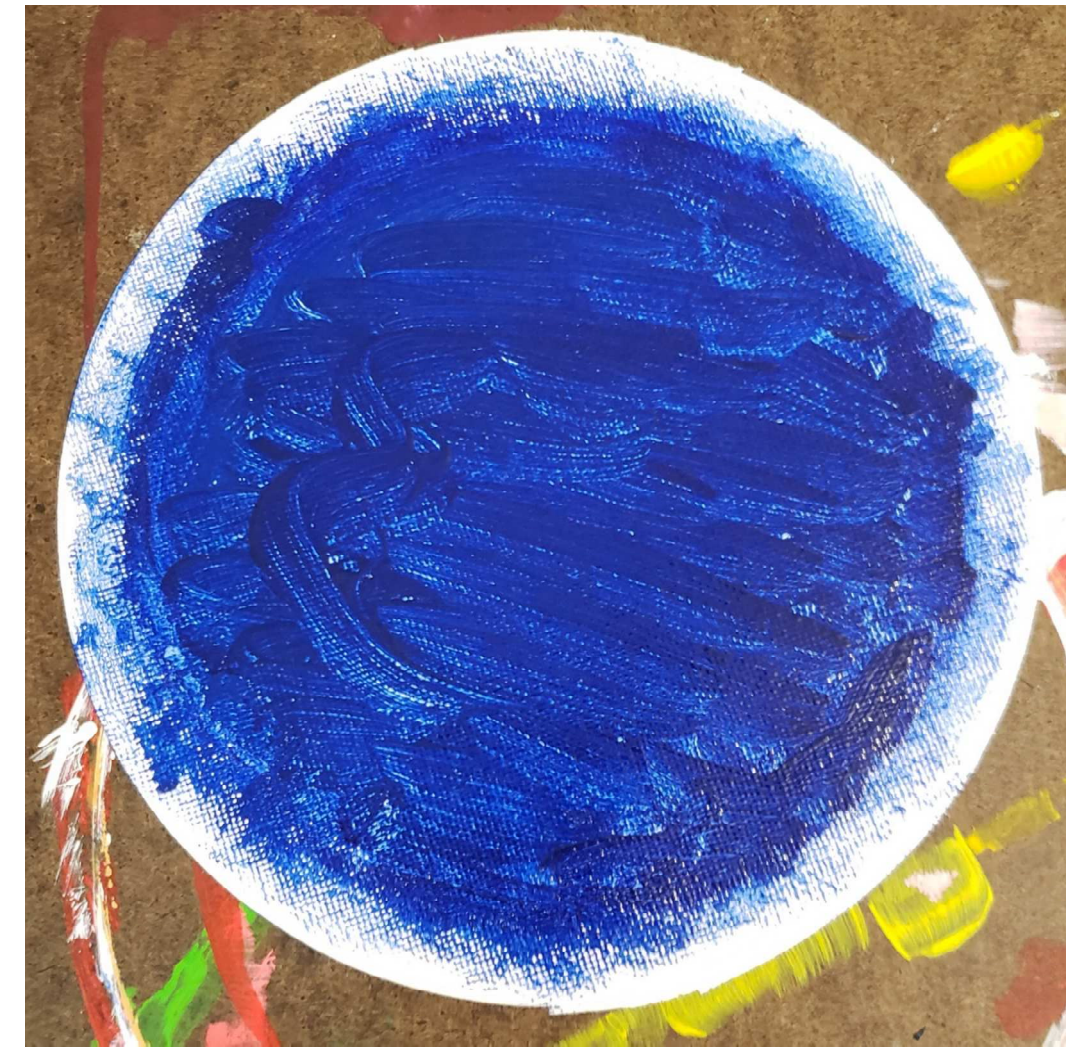


Golob Art

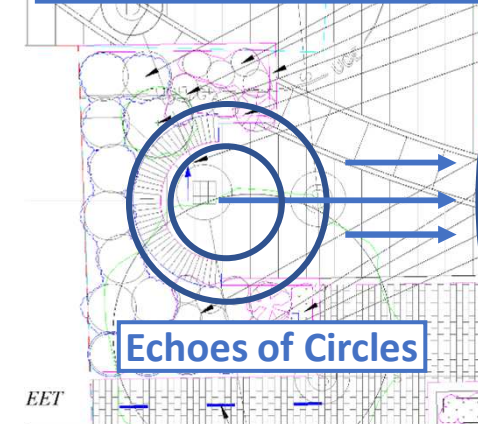
Penhallow Alley Illustration



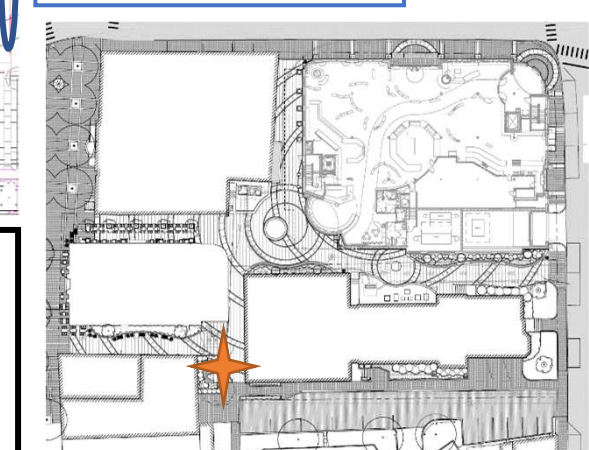
5. Meditation in Blue



Approximate Real World Location



Location of Meditation of Blue



Dimensions:

H 5' x W 5' x D .125"

Materials: Painted aluminum-acrylic composite paneling

Key

 Alley+Courtyard Artworks



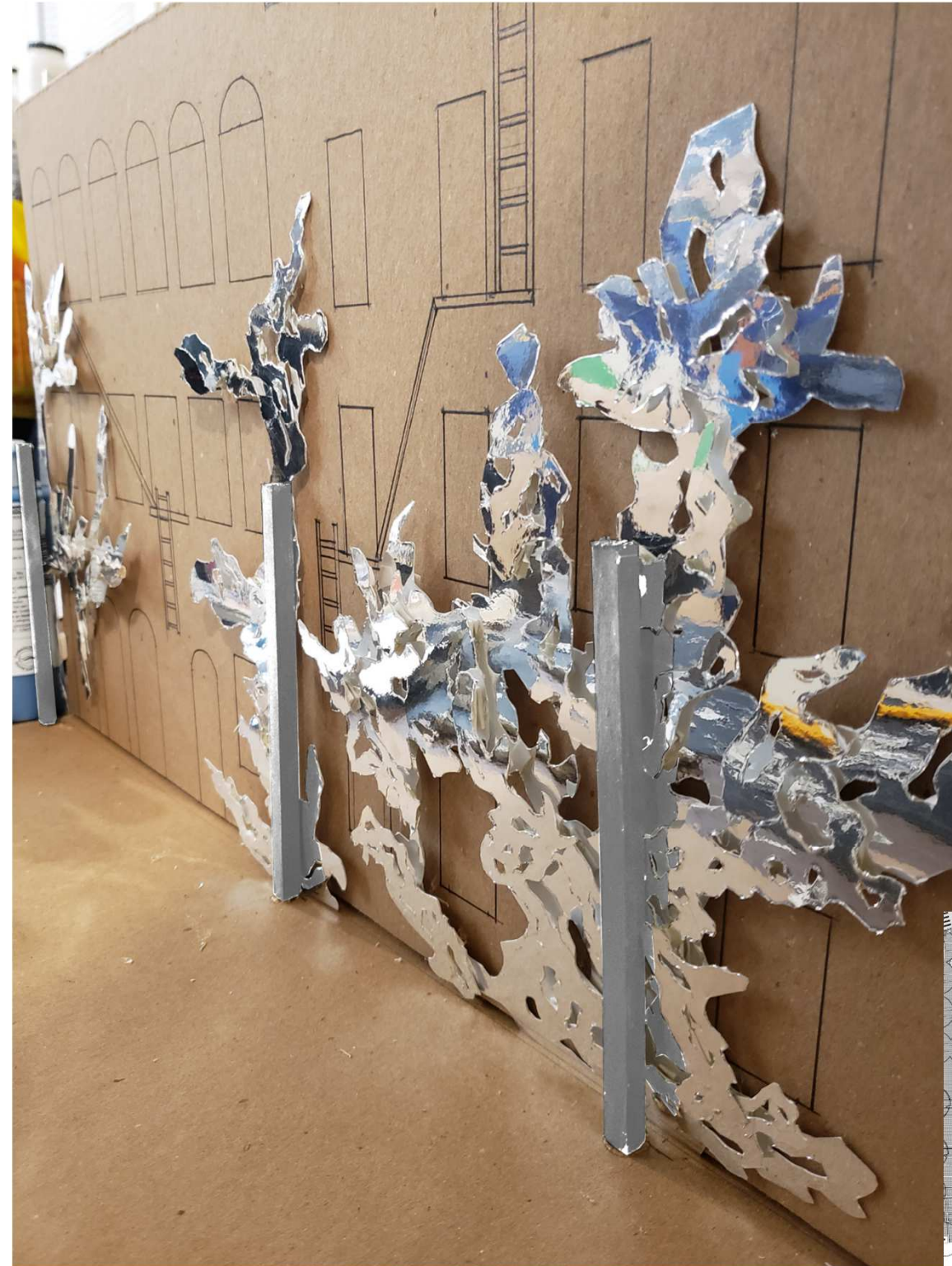
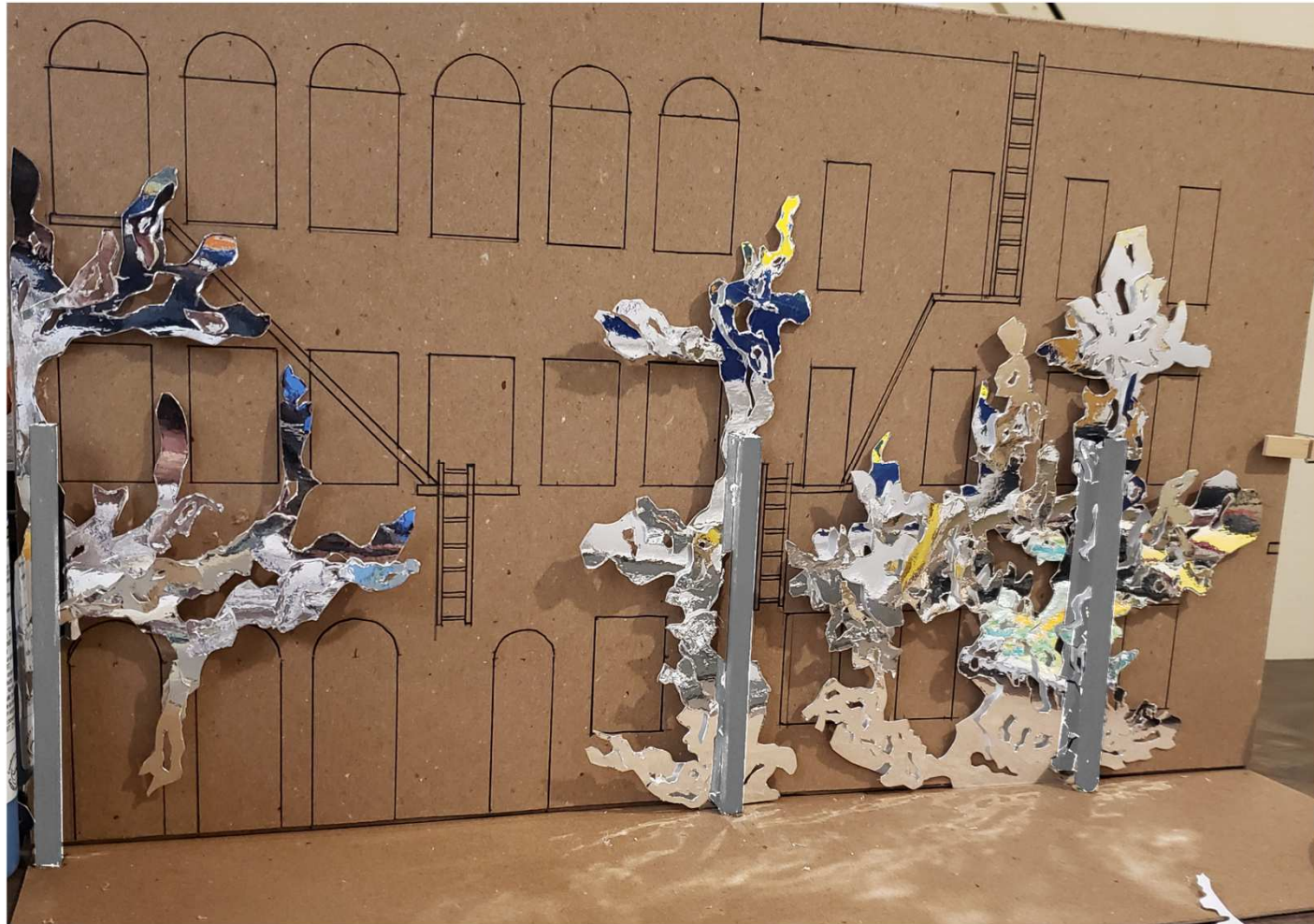
Construction | Development | Management



VIVIAN BEER STUDIO



6. Mirror Ivy



Materials:
Machine-cut
Polished Steel
and Aluminum

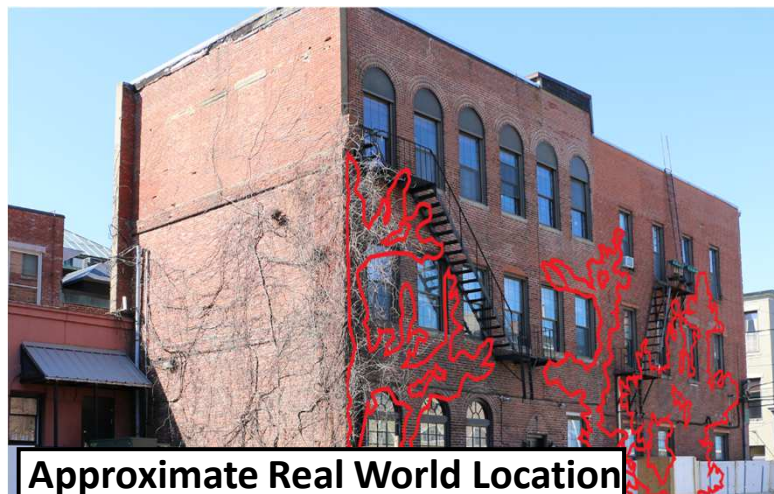
Dimensions:
H 20' x W 75' x
D 2"

Key

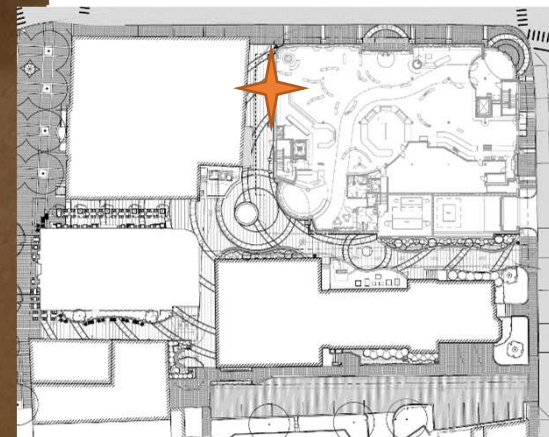
 Alley+Courtyard
Artworks



Color Study for Back of Ivy



Approximate Real World Location



Construction | Development | Management



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VIVIAN BEER STUDIO



Golob Art

Market Square Alley

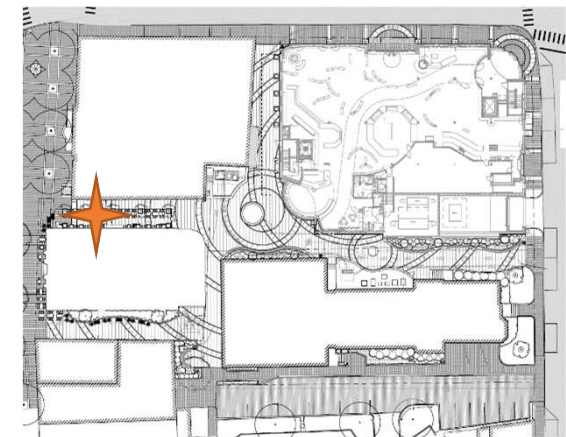
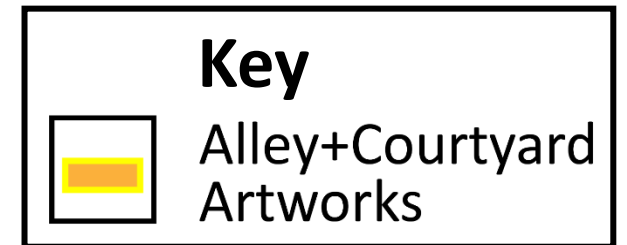


Materials:

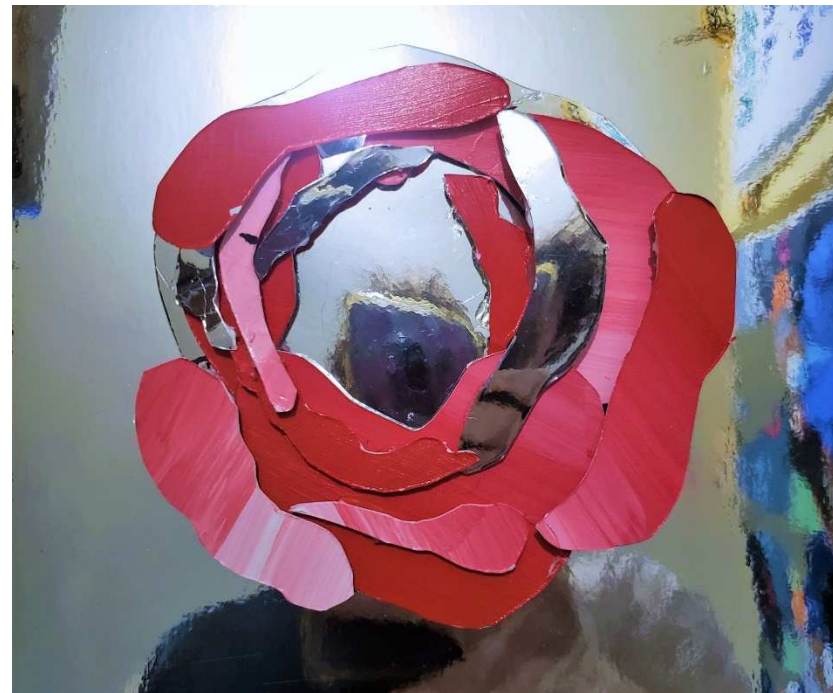
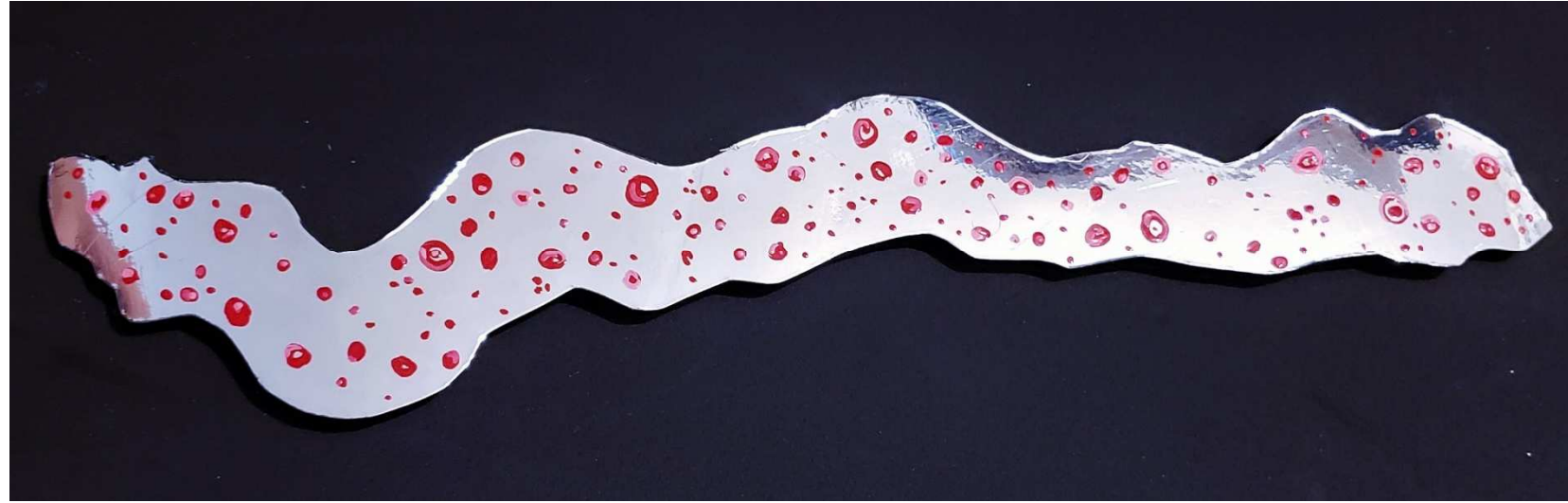
Machine-cut Polished and Colored Steel and Aluminum

Dimensions:

H 4' x W 80' x
D 1.25"



7. Water Lilly Wall



Dimensions:

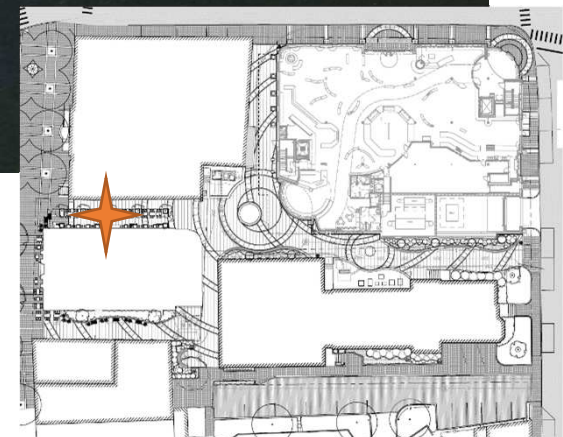
H '4 x W 80' x
D 1.25"

Materials: Machine-cut Polished
and Colored Steel and
Aluminum

Key



Alley+Courtyard
Artworks



Construction | Development | Management



Brick Market

VIVIAN BEER STUDIO



Golob Art

Wayfinding, Alley Art Index

1. **Light Houses:** Tucked into the landscaping, these surprise sculptures offer a small, stylized metal version of notable landmarks with walls covered in art and poetry that light up at night to offer passersby' a warm glow of light-up art. The walls would be designed to be easily replaced so they could incorporate regular additions of local artwork and poetry.
2. **Projections:** Activated at dusk, these projections would create a powerful and delightful surprise at entryways to the courtyard – showcasing poetry and art – with the option to change them for events, holidays, and the passing of seasons.
3. **Artifacts:** Scattered across the space, primarily at the edges, these objects that represent Portsmouth's everyday from today and years past offer a surprise to those who discover them and nudge visitors to explore the full space.
4. **Portsmouth Women Stained-Glass "Windows":** A dynamic visual documentation and celebration of trailblazing women throughout Portsmouth's history. Created along grates at eye-level, they form a row of "windows" that share these powerful stories.
5. **Mediation in Blue:** A circular deep blue mural that offers a quiet and calm space of contemplation and relaxation. The circular shape reflects the semi-circular nook that it sits opposite of, and riffs off the curves of Vivian Beer's works in the courtyard.
6. **Mirror Ivy:** A wonder-inspiring multi-layered wall of reflective metal ivy - connecting the organic with the inorganic - that draws people into and through the alley while encouraging people to play and interact with it. The back of each layer will be colored, and, when reflecting against the layer beneath it, will make the ivy glow.
7. **Water Lilly Wall:** A gentle, flowing reflective river (or bush) bespeckled in brightly colored multi-layer flowers that pull people through the alley and offer a touch of joy and serenity to those sitting at the restaurant in the alley.



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VIVIAN BEER STUDIO



Golob Art

238 Deer Street

Work Session

LUHD-340



City of Portsmouth, NH

05/25/2021

LUHD-340

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: May 13, 2021

Applicant

Richard Desjardins
richard@mchenryarchitecture.com
4 Market Street
Portsmouth, NH 03801
603-430-0274

Location

238 DEER ST
Portsmouth, NH 03801

Owner:

238 DEER STREET LLC
238 DEER ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

- REMOVAL OF EXISTING BUILDING DOWN TO GRADE (SUBGRADE FOUNDATION WALLS AND BASEMENT SLAB TO REMAIN).
- CONSTRUCT NEW 3-4 STORY MIXED-USE BUILDING WITH GROUND FLOOR RETAIL AND UPPER FLOORS WITH (7) APARTMENTS ON EACH FLOOR BETWEEN 400-500 SF EACH.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

238 DEER STREET: MIXED-USE BUILDING

HISTORIC DISTRICT COMMISSION WORK SESSION - JUNE 2021, PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

PROPOSED WORK:

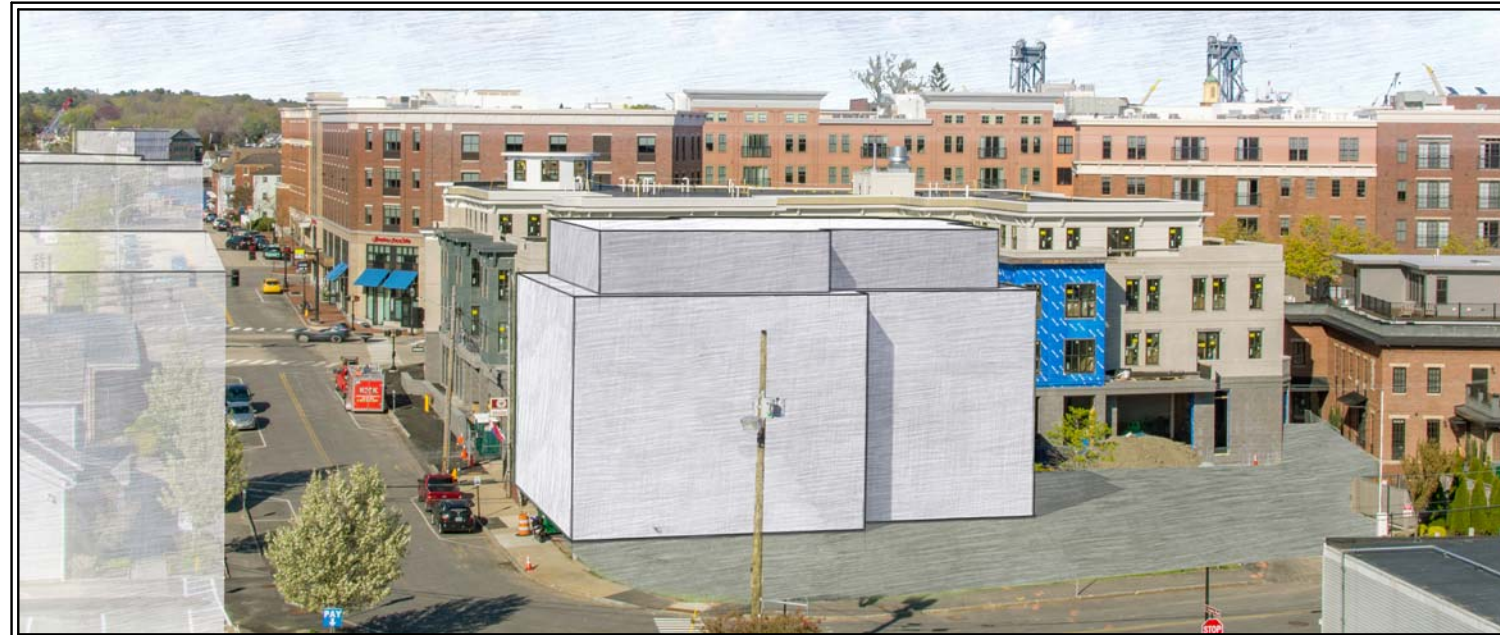
- REMOVAL OF EXISTING BUILDING DOWN TO GRADE (SUBGRADE FOUNDATION WALLS AND BASEMENT SLAB TO REMAIN).
- CONSTRUCT NEW 3-4 STORY MIXED-USE BUILDING WITH GROUND FLOOR RETAIL AND UPPER FLOORS WITH (7) APARTMENTS ON EACH FLOOR BETWEEN 400-500 SF EACH.

SHEET LIST

Sheet Number	Sheet Name
C	COVER
A1	CONTEXT AND SITE PLAN
A2	EXISTING PHOTOGRAPHS
A3	CONTEXT PHOTOGRAPHS
A4	CONTEXT PHOTOGRAPHS
A5	FOUNDRY PLACE CONTEXT
A6	CONCEPT FLOOR PLANS
A7	INTERIOR CONCEPT / OWNER INSPIRATION
A8	PROPOSED MASSING - A
A9	PROPOSED MASSING - B
A10	PROPOSED MASSING - C
A11	PROPOSED MASSING - D
A12	MASSING IN CONTEXT



238 DEER STREET
PORTSMOUTH, NH 03801



MASSING IN CONTEXT - PERSPECTIVE FROM FOUNDRY GARAGE



LOCUS MAP

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PORTSMOUTH, NH 03801

COVER

Historic District Commission Work Session, June 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

C

06/02/2021
McHA: RD / JJ
NOT TO SCALE

E/P



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CONTEXT AND SITE PLAN
 Historic District Commission Work Session, June 2021

McHENRY ARCHITECTURE
 4 Market Street
 Portsmouth, New Hampshire

A1

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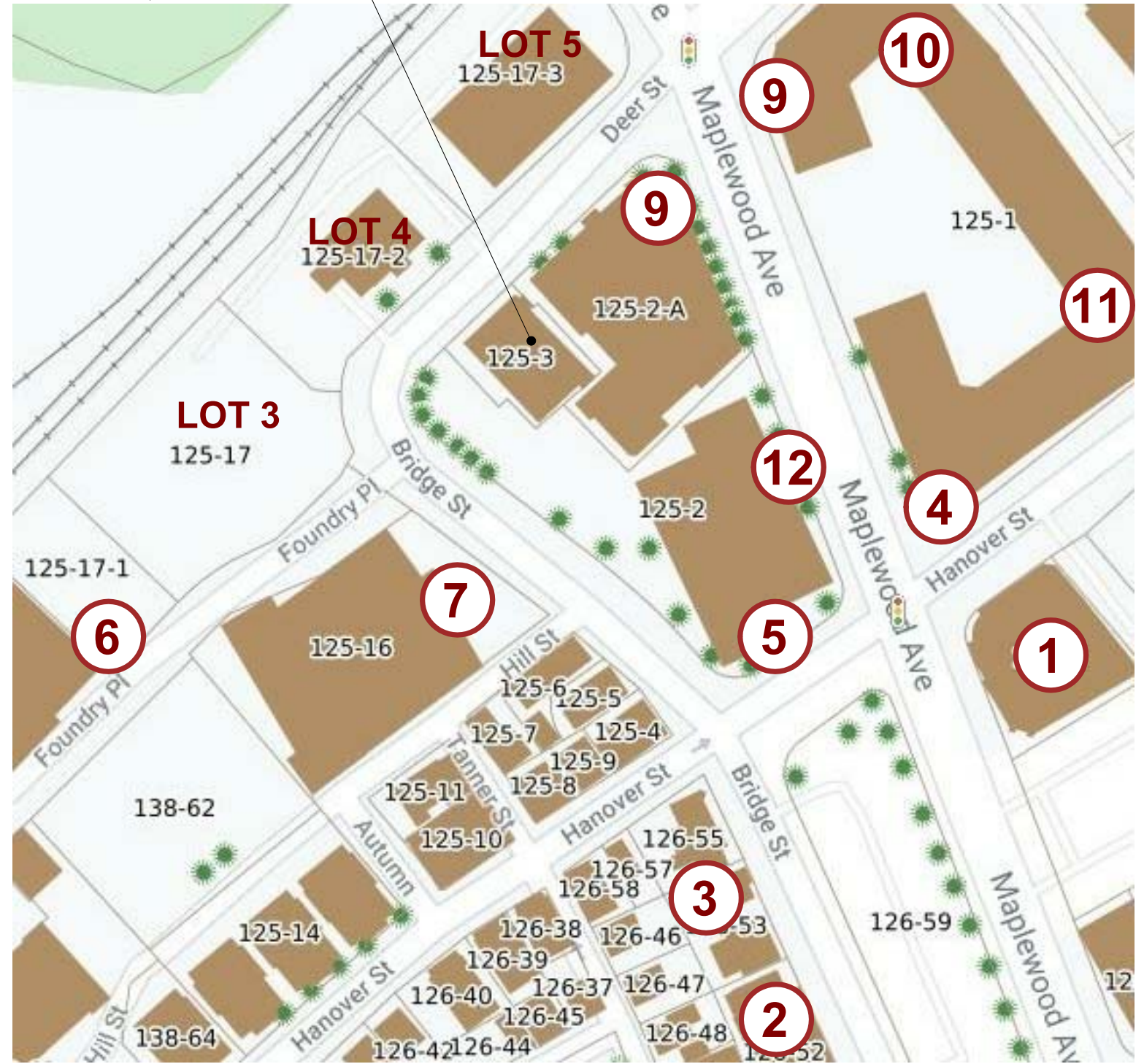


EXISTING PICTURE FROM DEER STREET AND MAPLEWOOD AVE INTERSECTION



EXISTING PICTURE FROM FOUNDRY GARAGE ROOF

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CONTEXT PHOTO KEY MAP

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EXISTING PHOTOGRAPHS

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1: 25 MAPLEWOOD AVE



2: 40 BRIDGE STREET



1: BRIDGE STREET



4: 195 HANOVER ST - PORTWALK



5: 30 MAPLEWOOD AVE



6: 100 FOUNDRY PLACE

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 238 DEER STREET
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CONTEXT PHOTOGRAPHS
 Historic District Commission Work Session, June 2021

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 4 Market Street
 Portsmouth, New Hampshire

A3

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E



7: 126 BRIDGE STREET



8: 46 MAPLEWOOD AVE



9: 195 HANOVER ST - PORTWALK



10: 195 HANOVER ST - PORTWALK



11: 195 HANOVER ST - PORTWALK



12: 30 MAPLEWOOD AVE

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 238 DEER STREET
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CONTEXT PHOTOGRAPHS
 Historic District Commission Work Session, June 2021

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 Portsmouth, New Hampshire

A4

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LOT 3: APPROVED FOUNDRY PLACE



LOT 4: APPROVED FOUNDRY PLACE



LOT 5: APPROVED FOUNDRY PLACE



LOT 3: 165 DEER STREET



LOT 4: 163 DEER STREET



LOT 5: 161 DEER STREET

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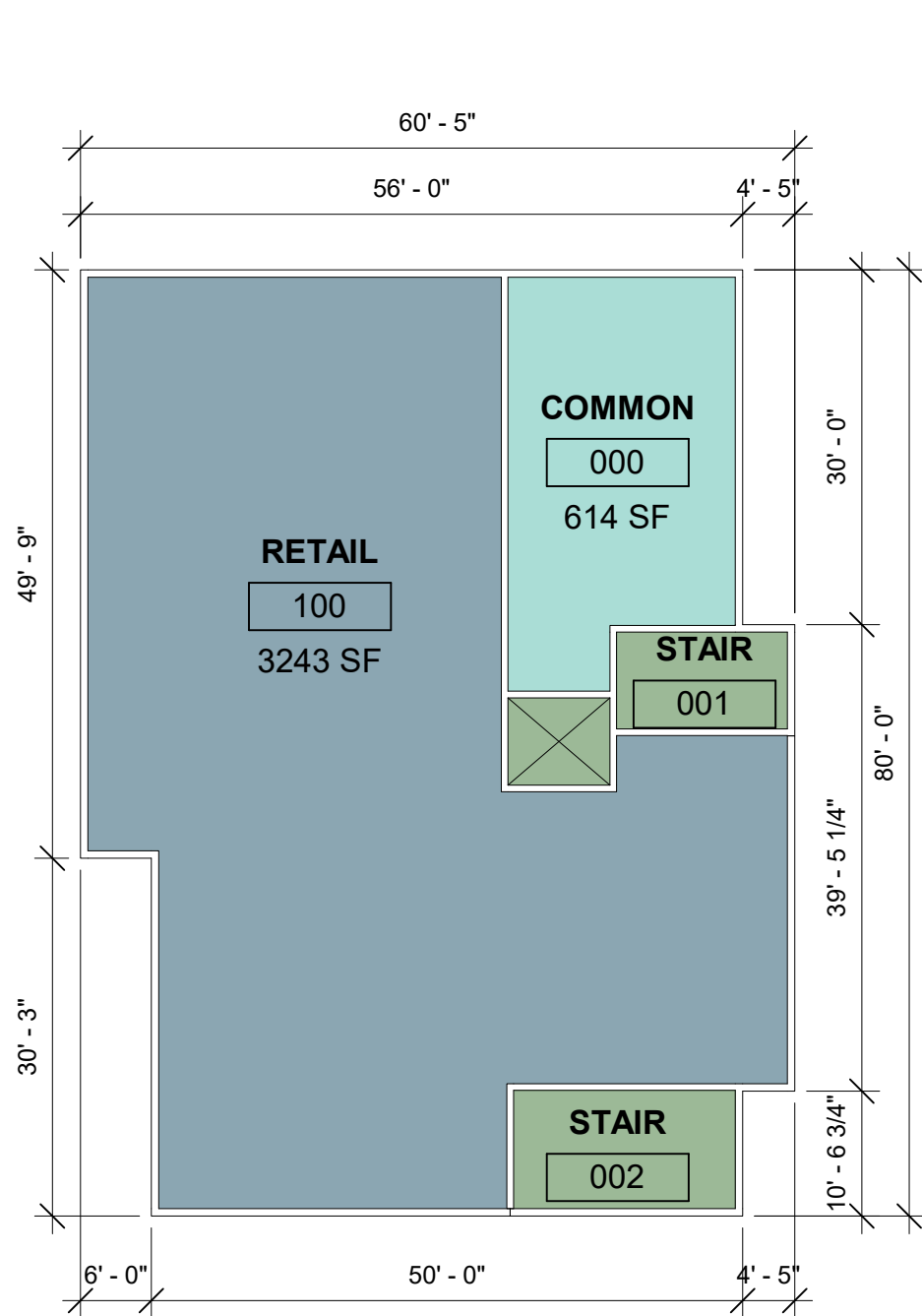
DEER STREET MIXED-USE BUILDING
 238 DEER STREET
 PORTSMOUTH, NH 03801

FOUNDRY PLACE CONTEXT
 Historic District Commission Work Session, June 2021

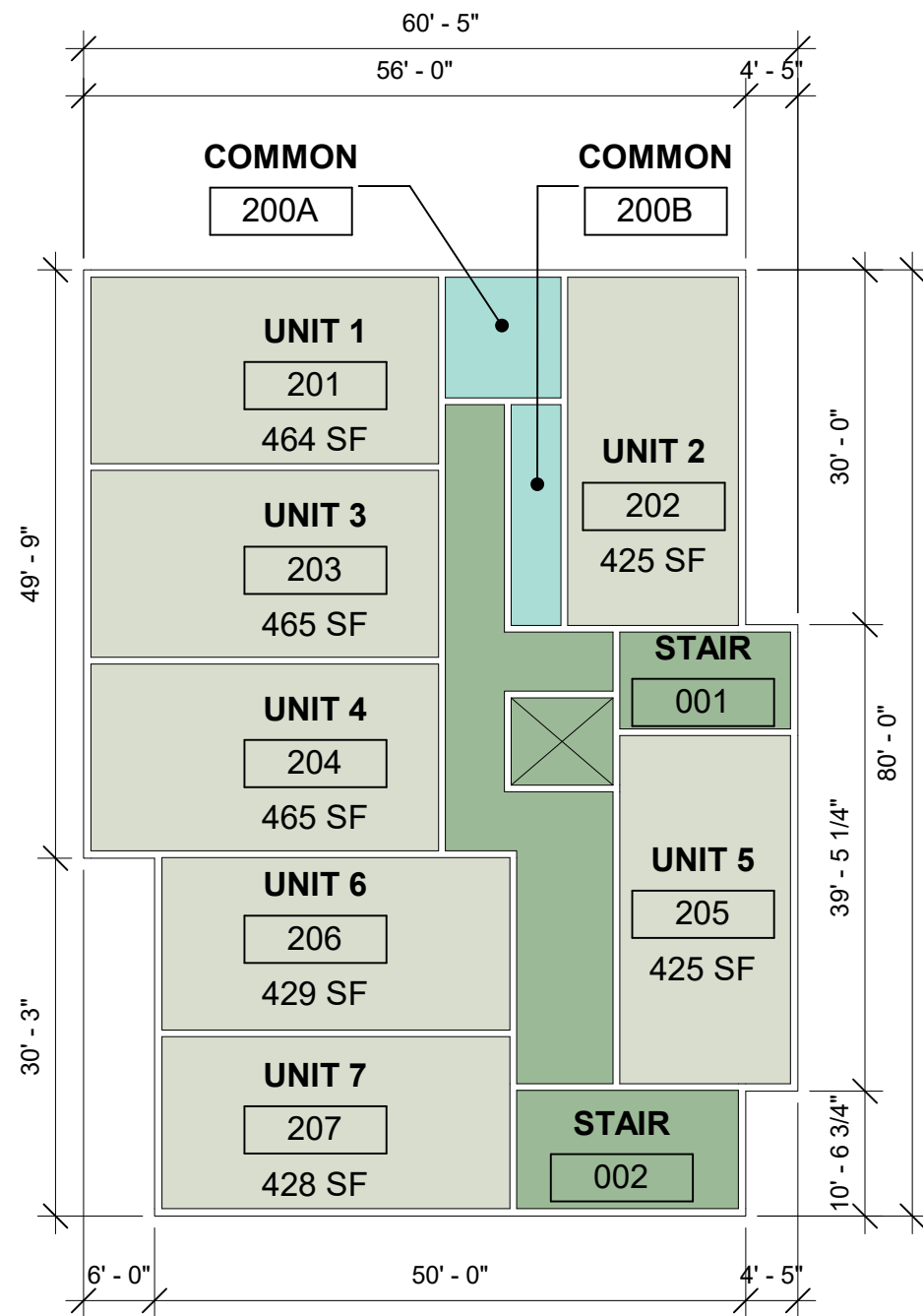
McHENRY ARCHITECTURE
 4 Market Street
 Portsmouth, New Hampshire

A5

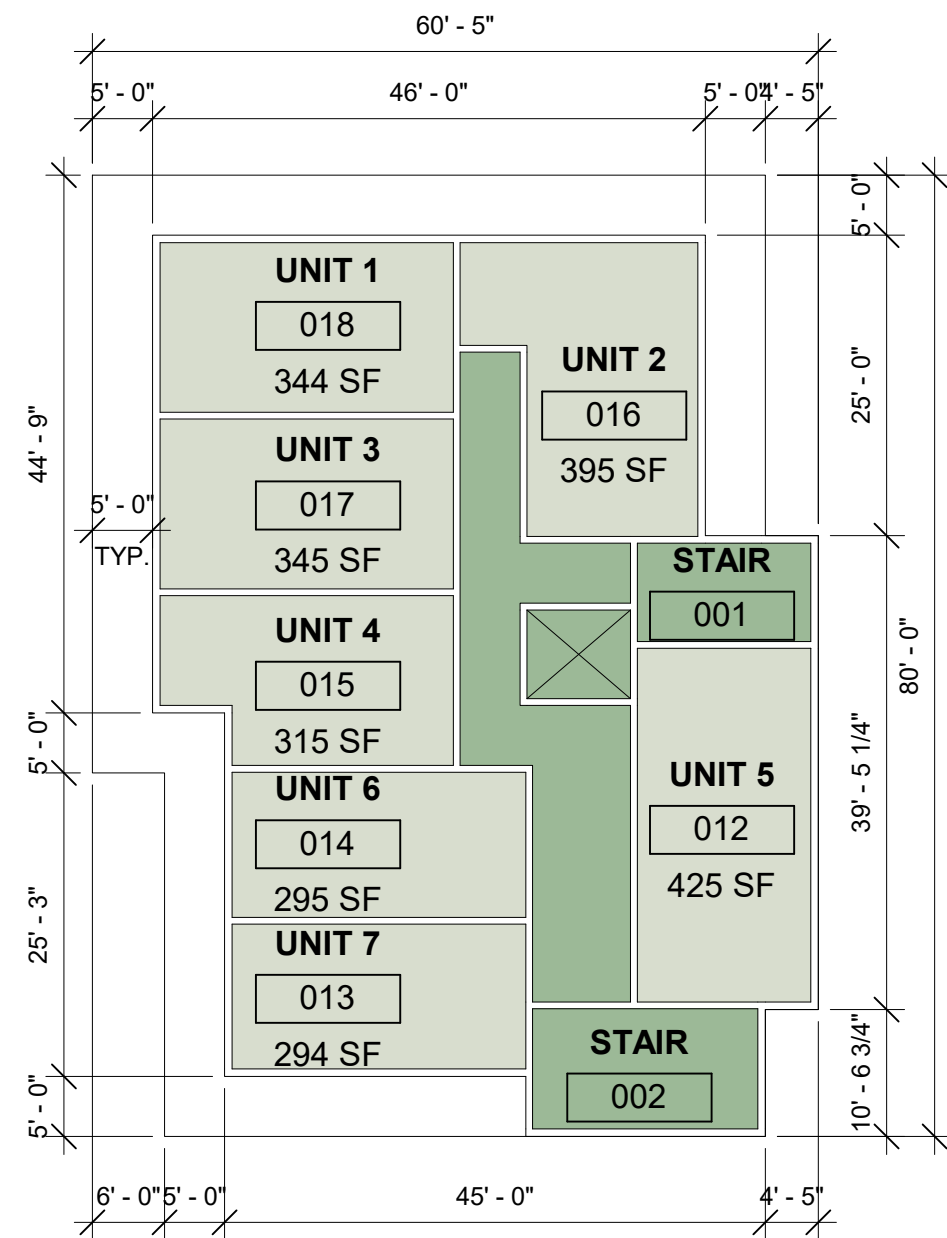
06/02/2021
 McHA: RD / JJ
NOT TO SCALE
E/P



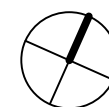
1 FIRST FLOOR
1/16" = 1'-0"



2 SECOND AND THIRD FLOOR
1/16" = 1'-0"



3 FOURTH FLOOR
1/16" = 1'-0"



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IKEA EFFICIENCY UNIT FLOOR PLAN - 400SF



IKEA BROOKLYN EFFICIENCY UNIT



IKEA BROOKLYN EFFICIENCY UNIT

**OWNER CONCEPT
PRECEDENT:
IKEA EFFICIENCY
UNIT**



IKEA BROOKLYN EFFICIENCY UNIT

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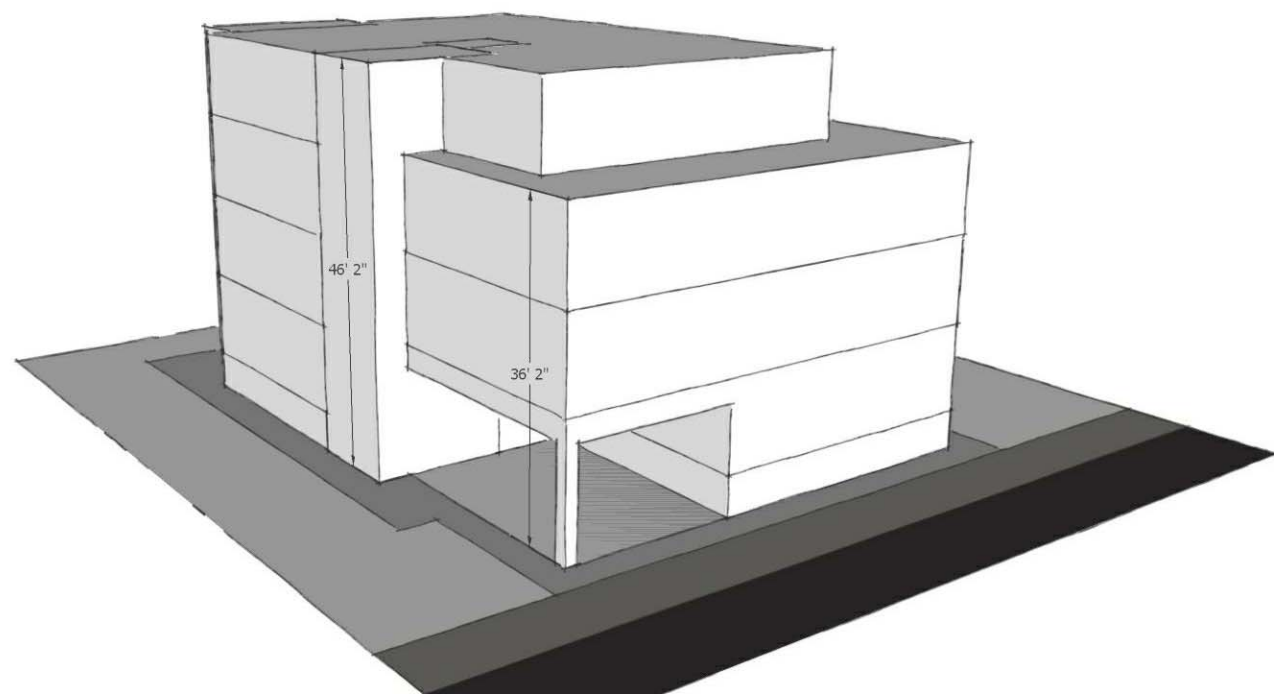
DEER STREET MIXED-USE BUILDING
238 DEER STREET
PORTSMOUTH, NH 03801

**INTERIOR CONCEPT /
OWNER INSPIRATION**

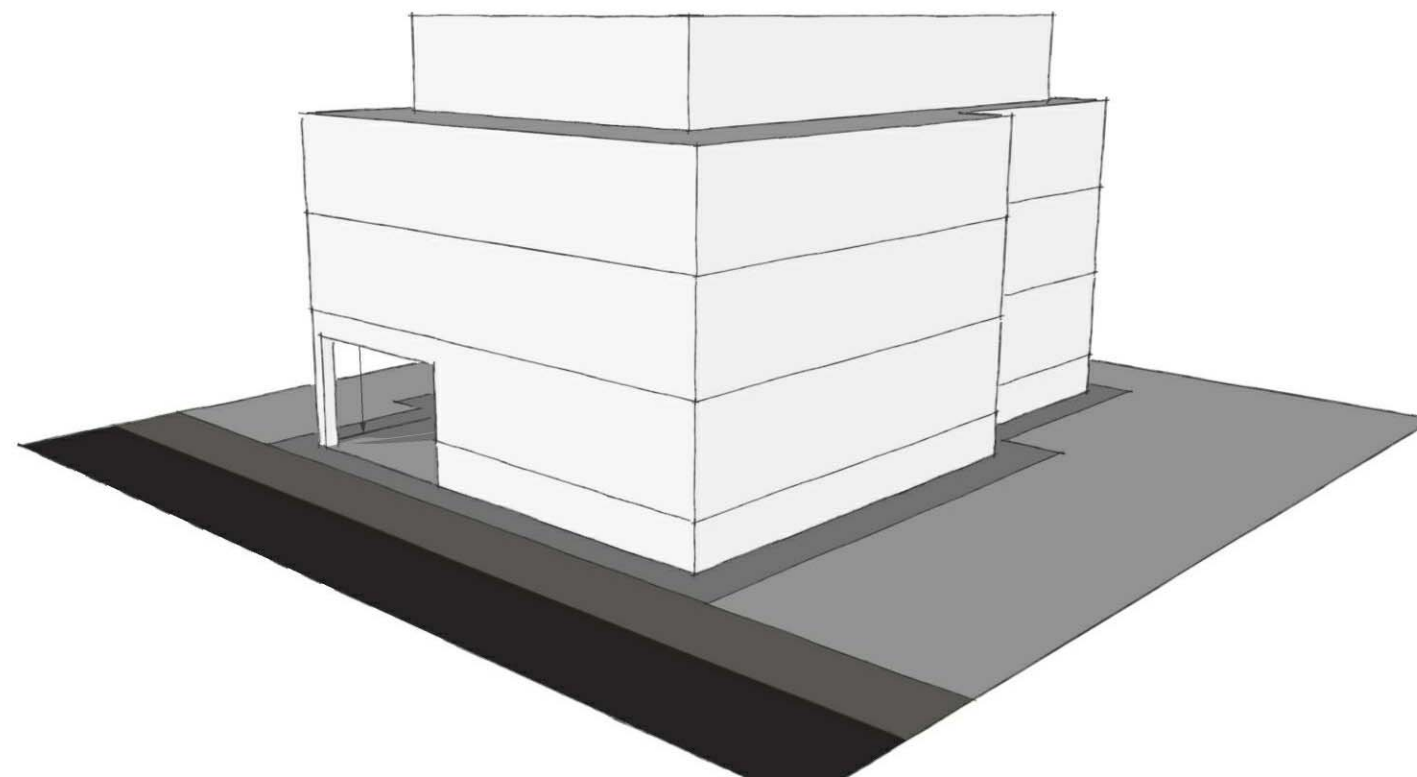
McHENRY ARCHITECTURE
4 Market Street
Portsmouth, New Hampshire

A7

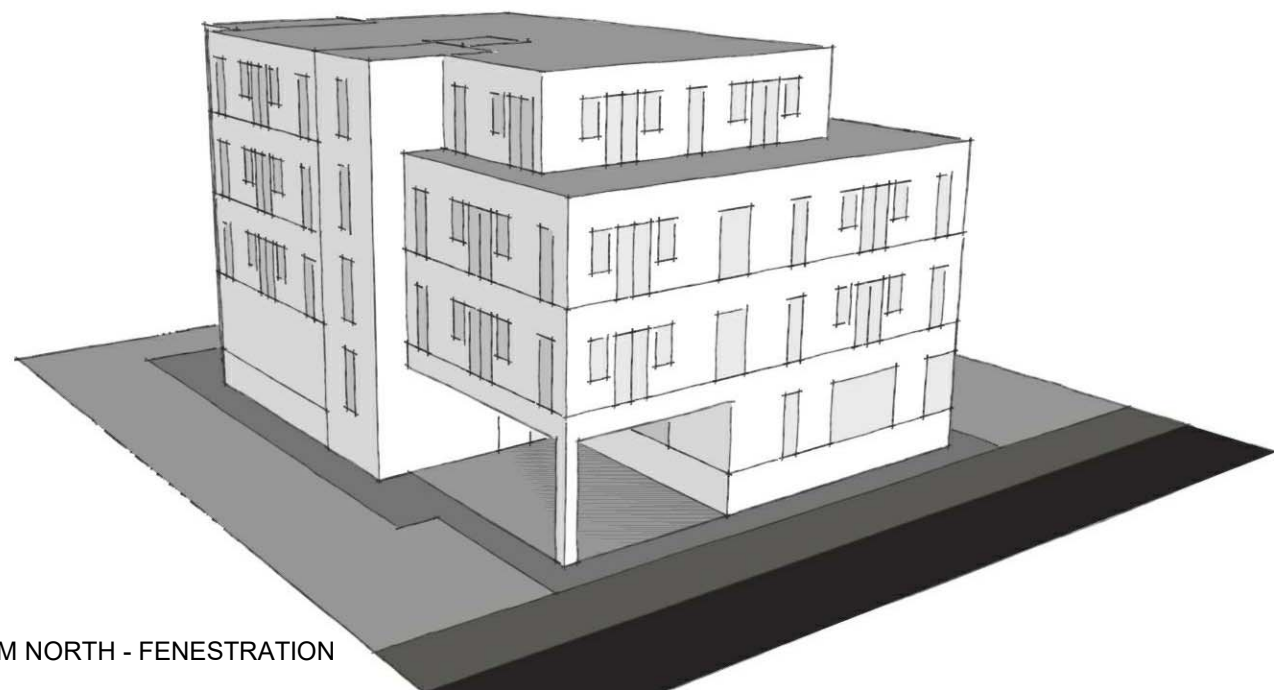
06/02/2021
McHA: RD / JJ
NOT TO SCALE
P



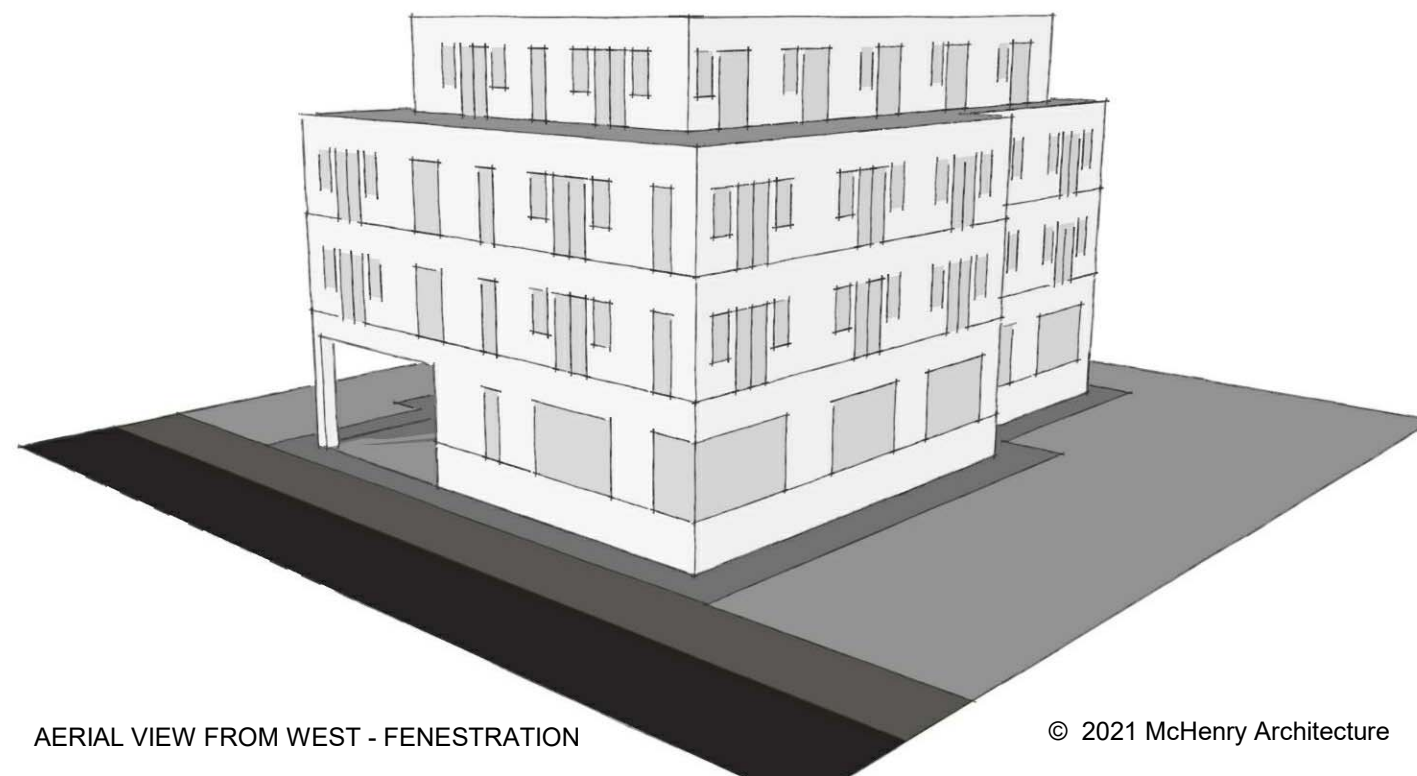
AERIAL VIEW FROM NORTH



AERIAL VIEW FROM WEST



AERIAL VIEW FROM NORTH - FENESTRATION



AERIAL VIEW FROM WEST - FENESTRATION

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DEER STREET MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

PROPOSED MASSING - A

Historic District Commission Work Session, June 2021

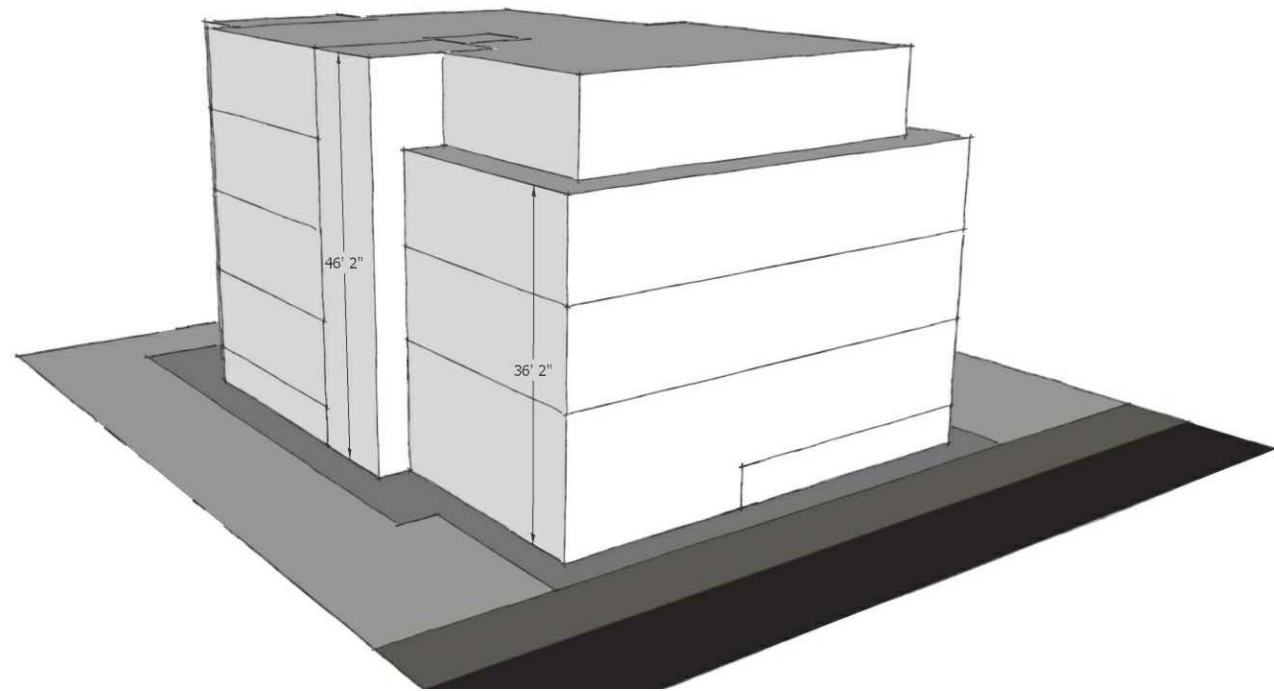
McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

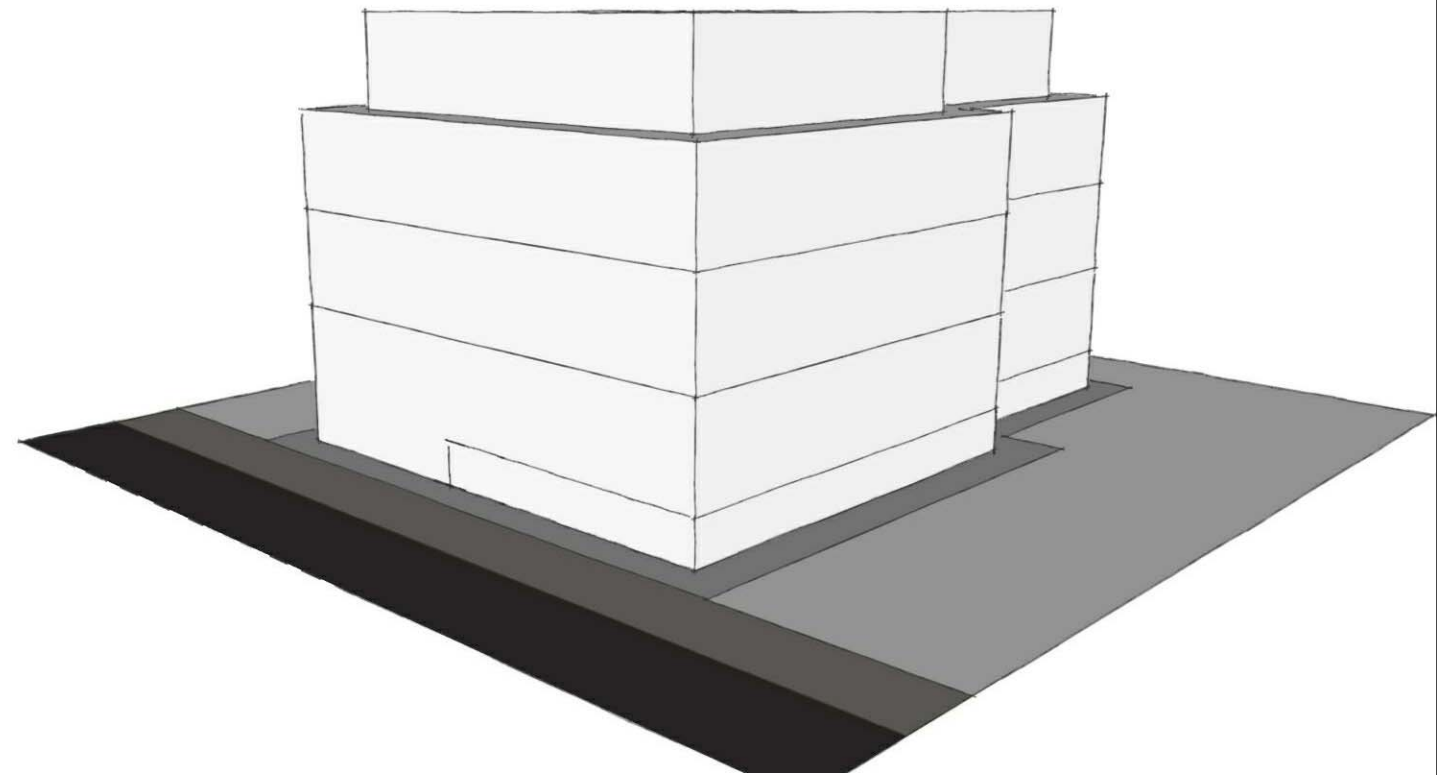
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06/02/2021
McHA: RD / JJ
NOT TO SCALE

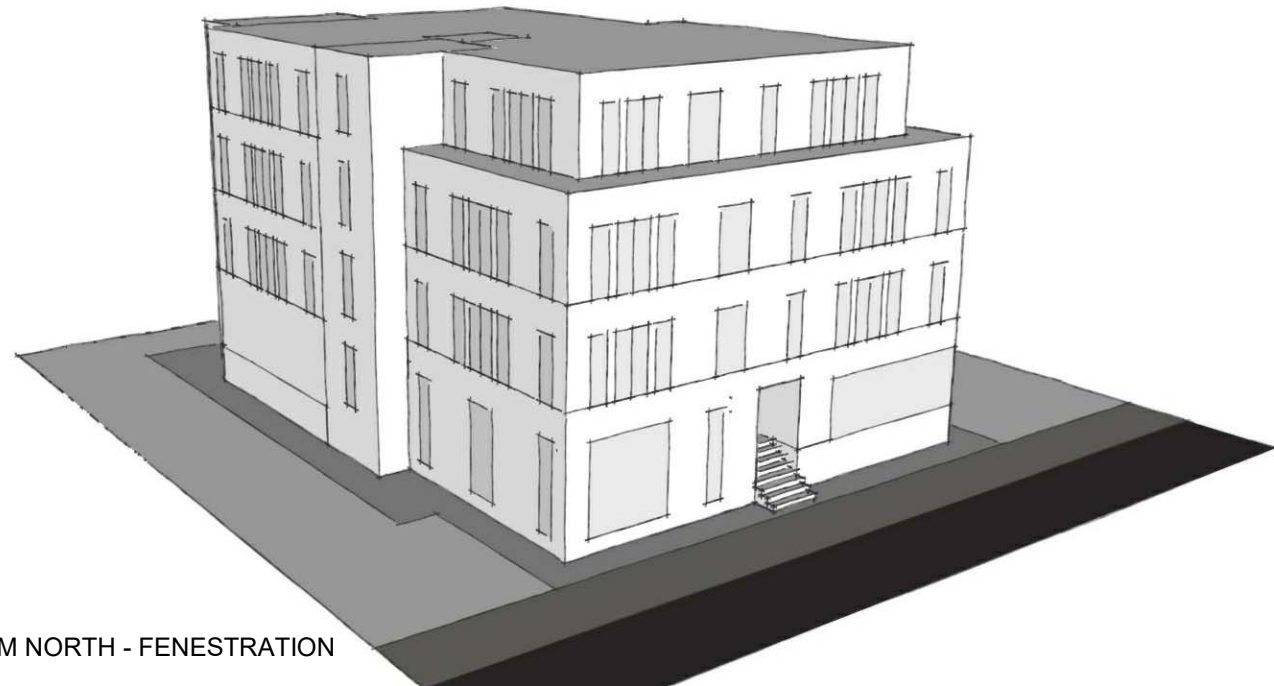
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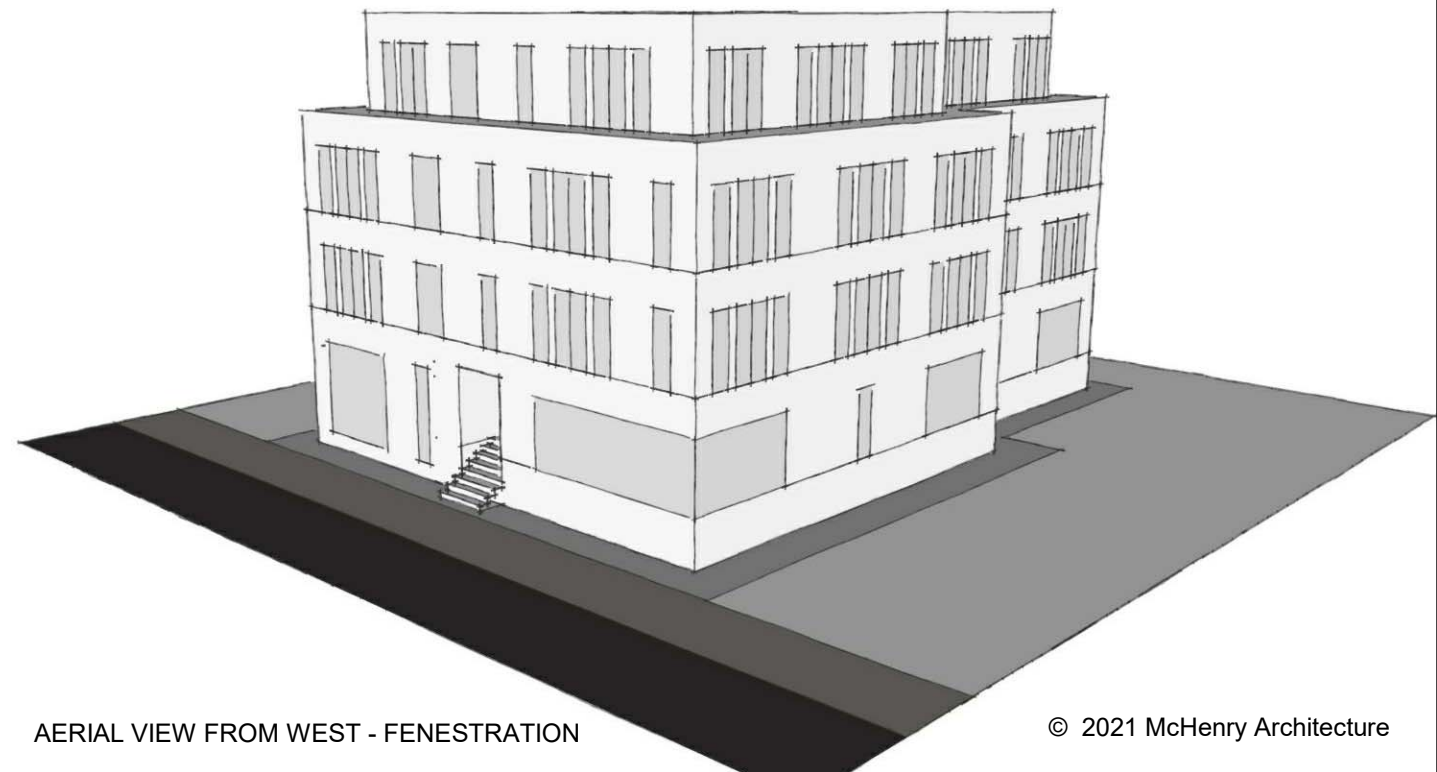
AERIAL VIEW FROM NORTH



AERIAL VIEW FROM WEST



AERIAL VIEW FROM NORTH - FENESTRATION



AERIAL VIEW FROM WEST - FENESTRATION

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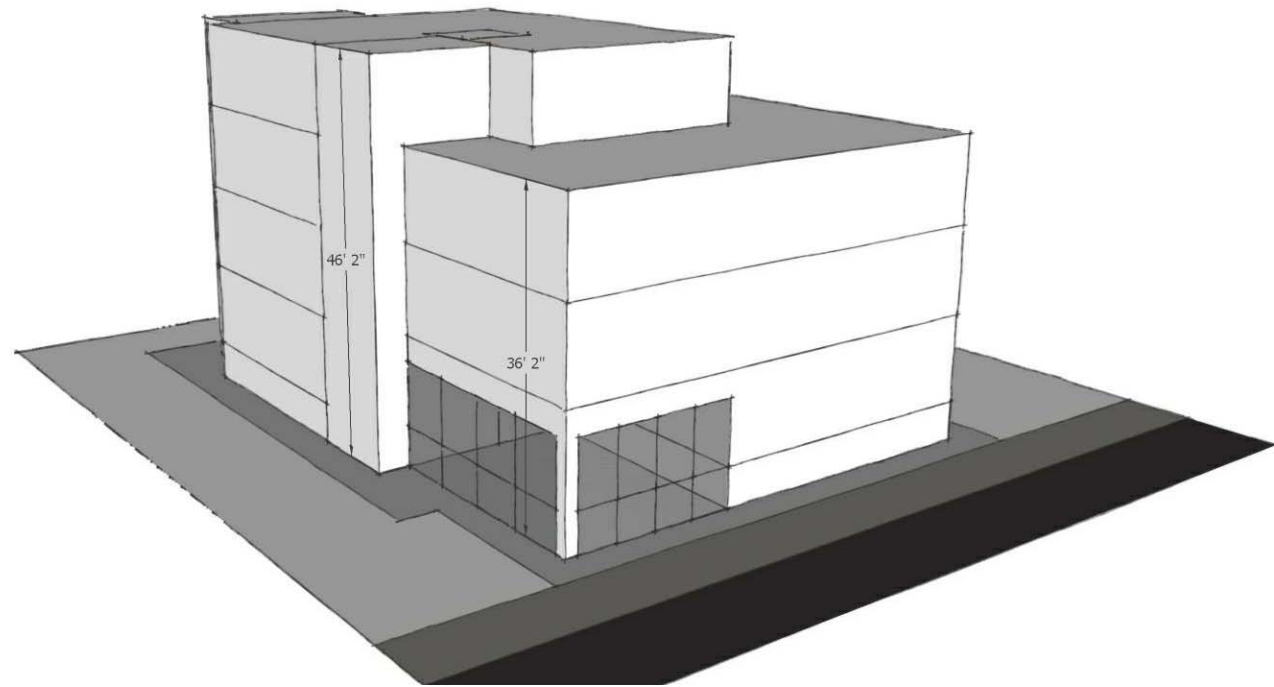
DEER STREET MIXED-USE BUILDING
 238 DEER STREET
 PORTSMOUTH, NH 03801

PROPOSED MASSING - B
 Historic District Commission Work Session, June 2021

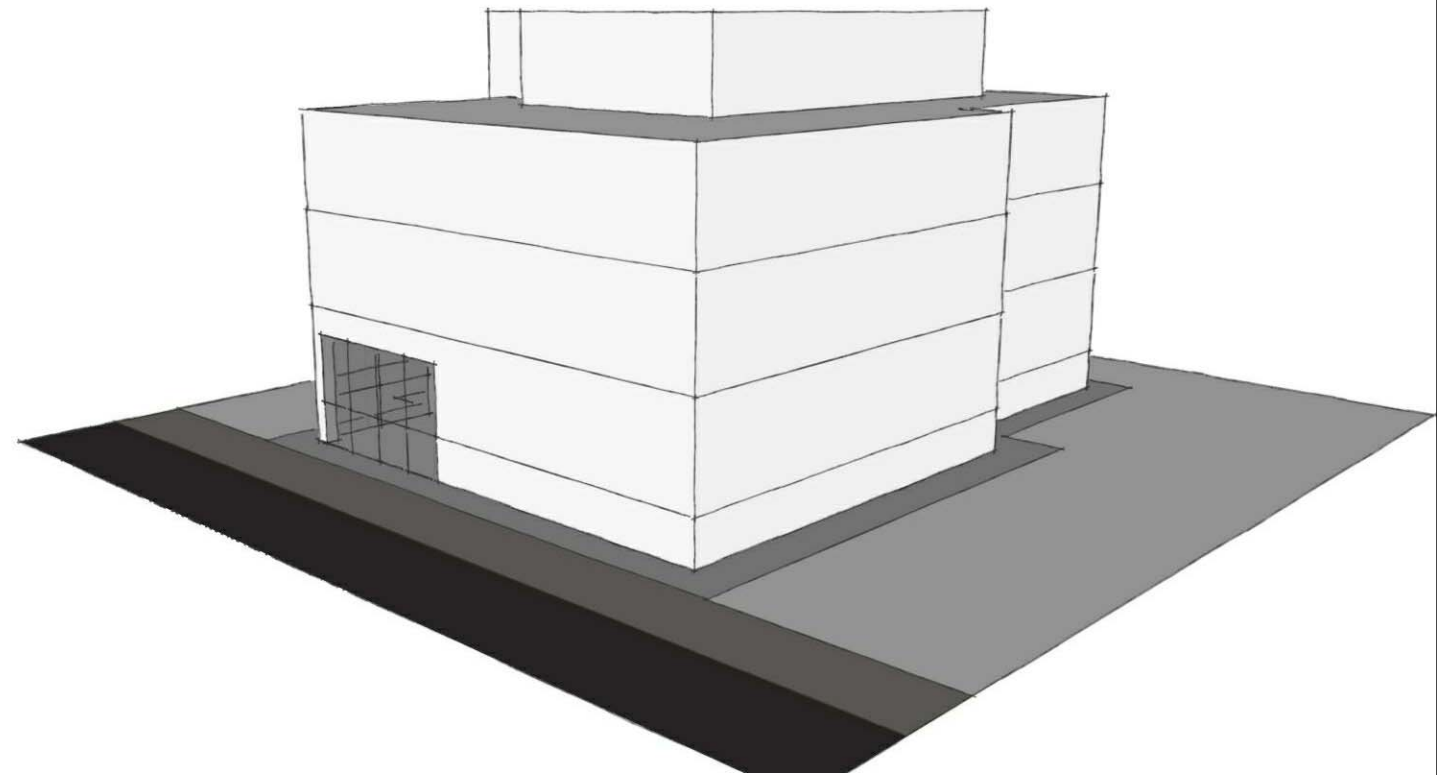
McHENRY ARCHITECTURE
 4 Market Street
 Portsmouth, New Hampshire

A9

06/02/2021
 McHA: RD / JJ
 NOT TO SCALE
P



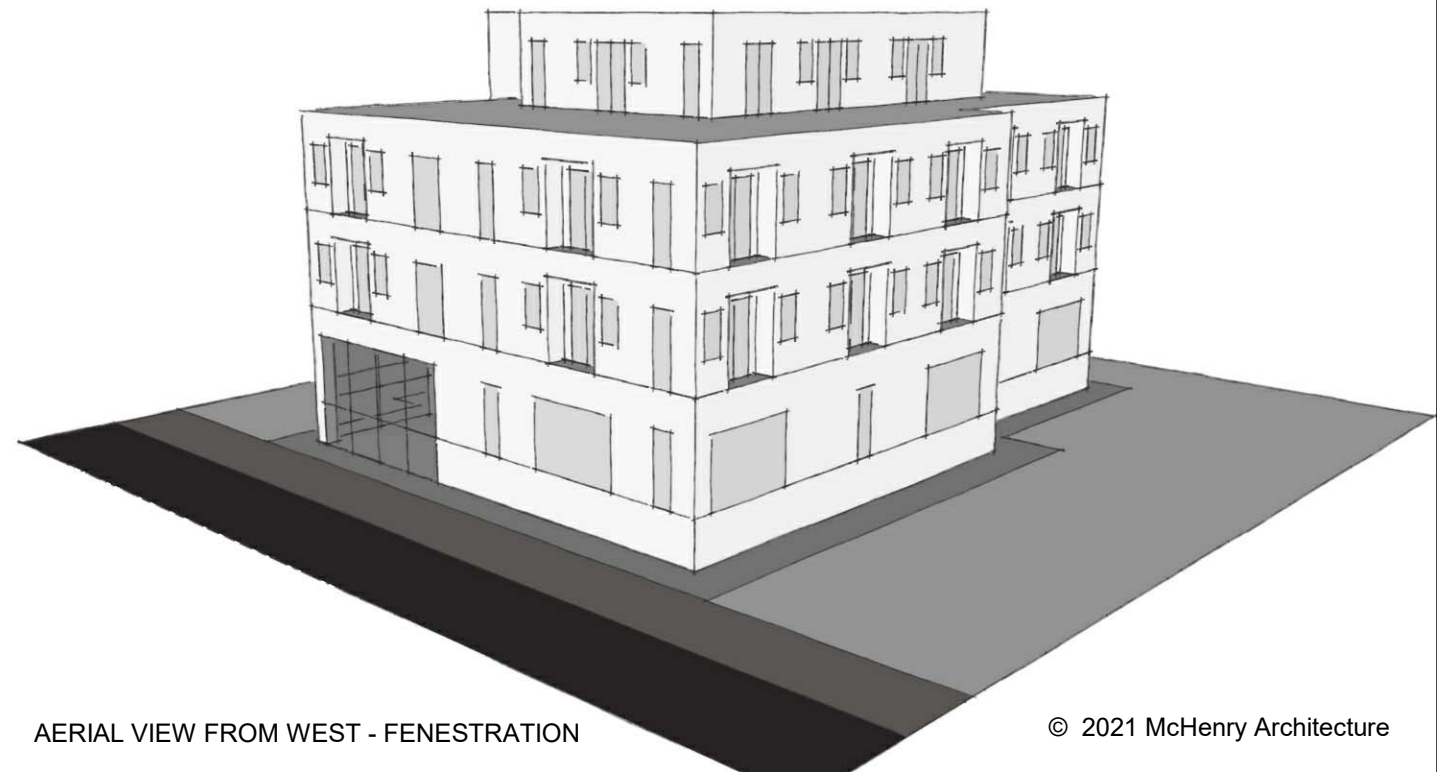
AERIAL VIEW FROM NORTH



AERIAL VIEW FROM WEST



AERIAL VIEW FROM NORTH - FENESTRATION



AERIAL VIEW FROM WEST - FENESTRATION

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 238 DEER STREET
 PORTSMOUTH, NH 03801

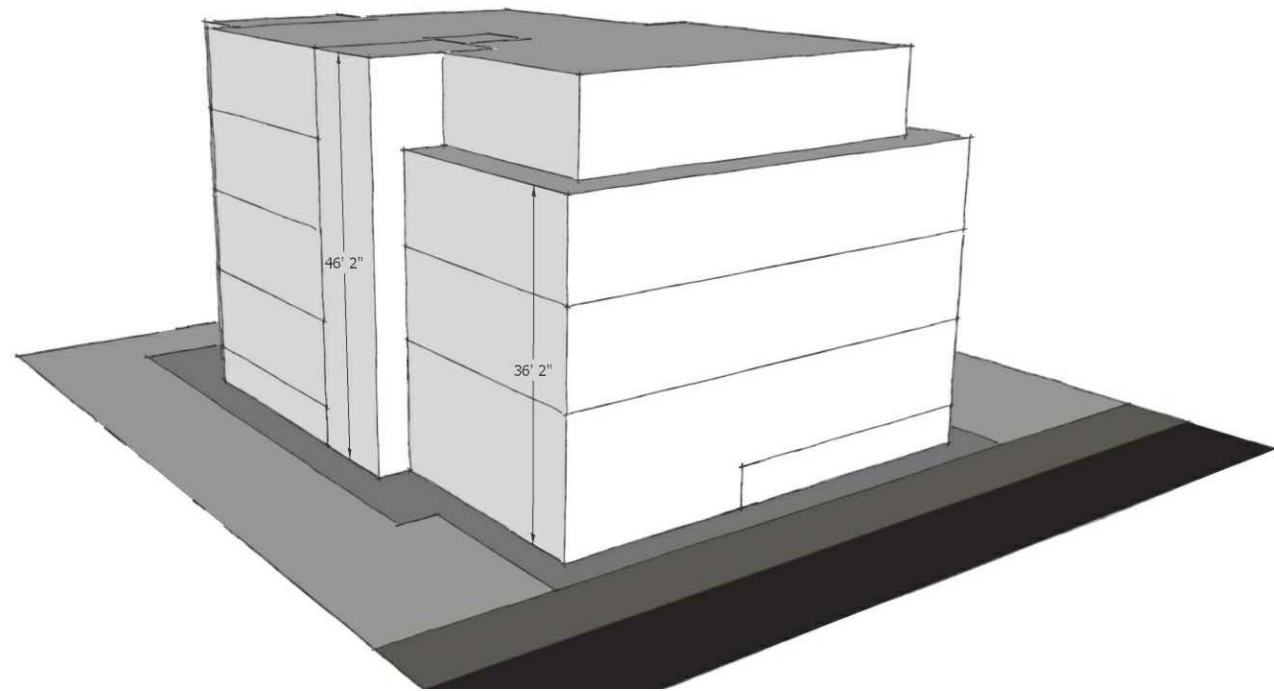
PROPOSED MASSING - C
 Historic District Commission Work Session, June 2021

McHENRY ARCHITECTURE
 4 Market Street
 Portsmouth, New Hampshire

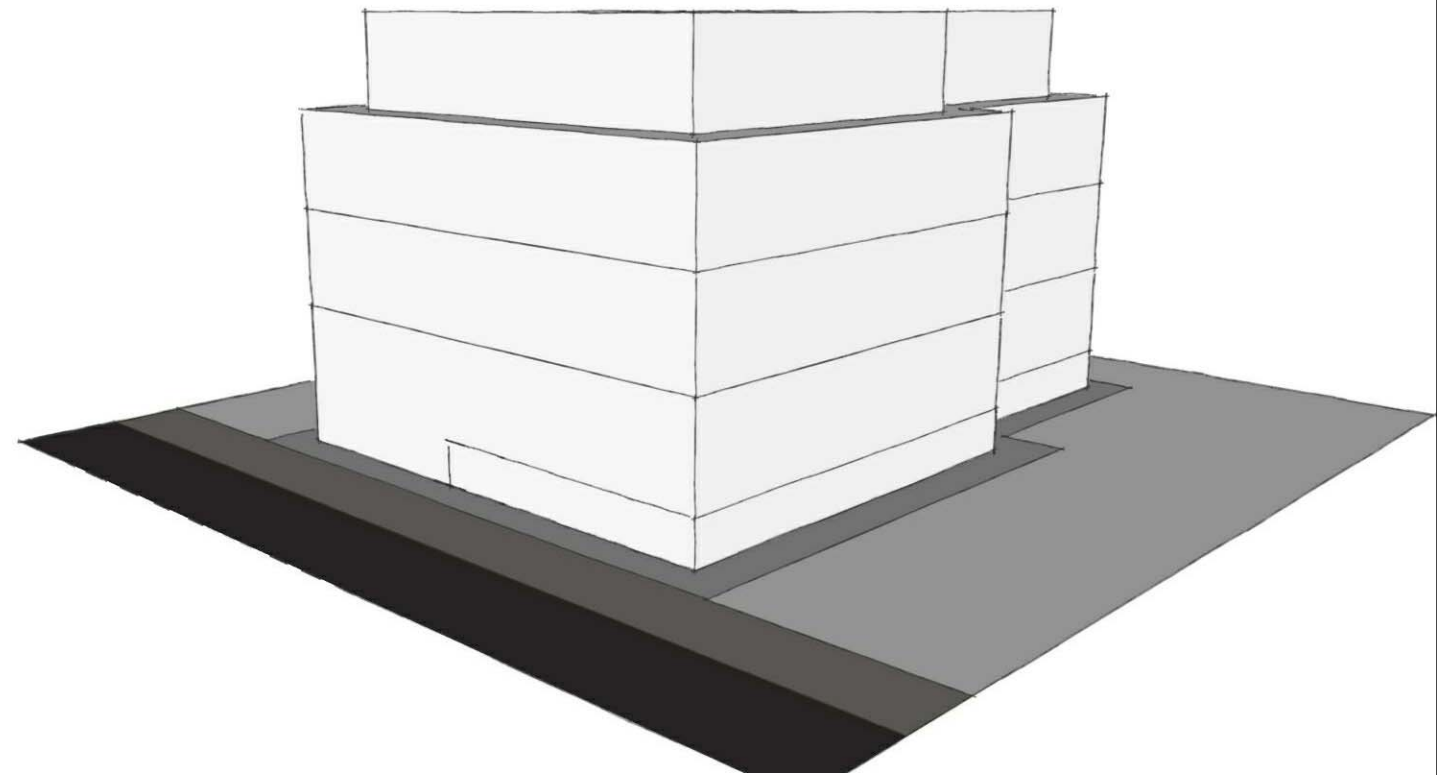
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06/02/2021
 McHA: RD / JJ
 NOT TO SCALE

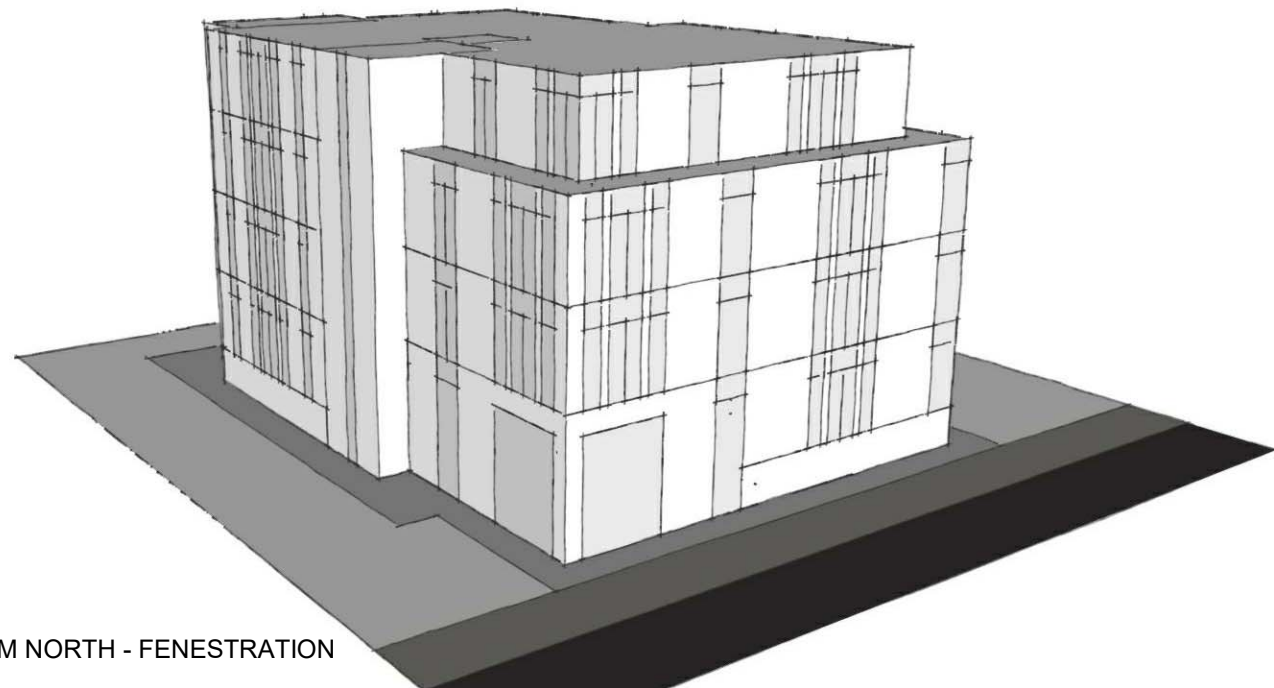
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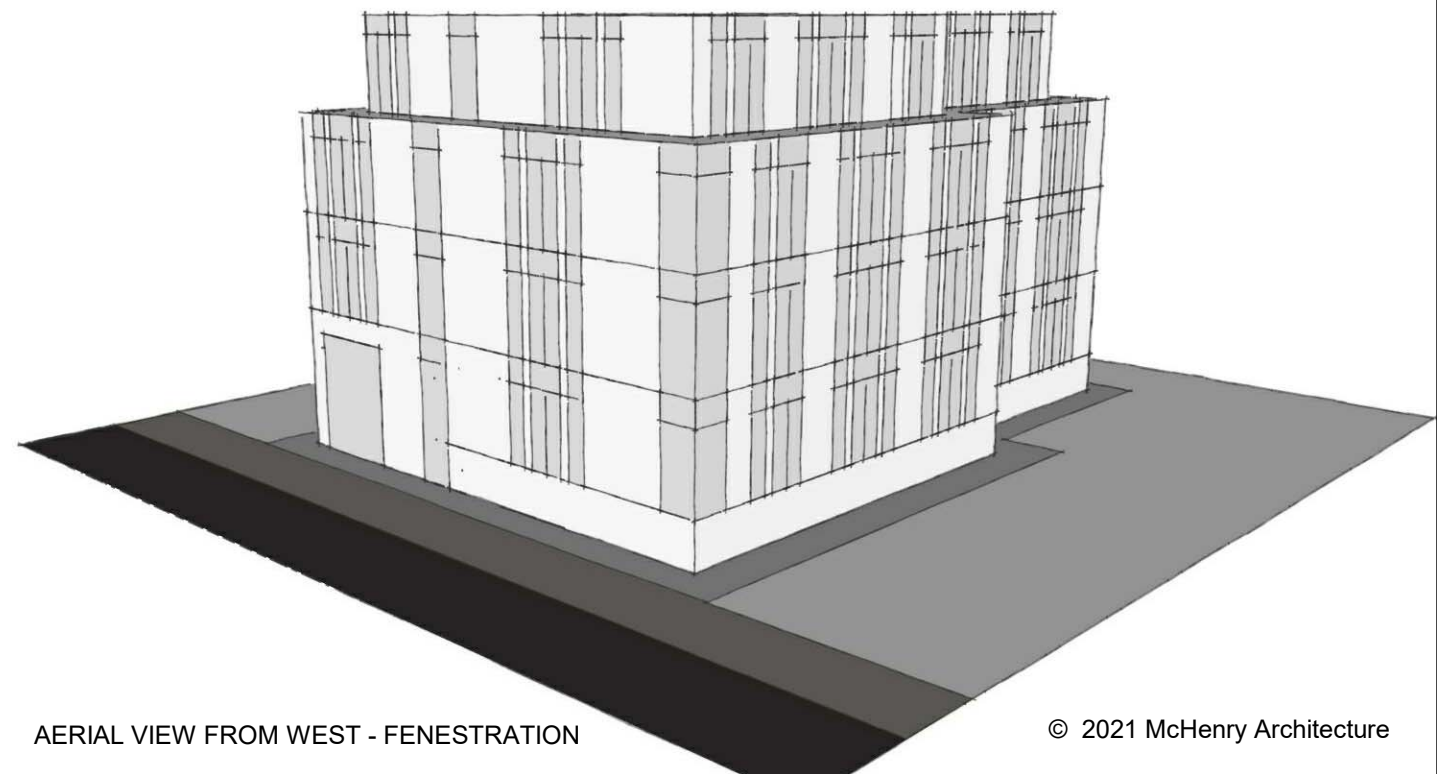
AERIAL VIEW FROM NORTH



AERIAL VIEW FROM WEST



AERIAL VIEW FROM NORTH - FENESTRATION



AERIAL VIEW FROM WEST - FENESTRATION

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DEER STREET MIXED-USE BUILDING
 238 DEER STREET
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PROPOSED MASSING - D
 Historic District Commission Work Session, June 2021

McHENRY ARCHITECTURE
 4 Market Street
 Portsmouth, New Hampshire

A11

06/02/2021
 McHA: RD / JJ
 NOT TO SCALE

P



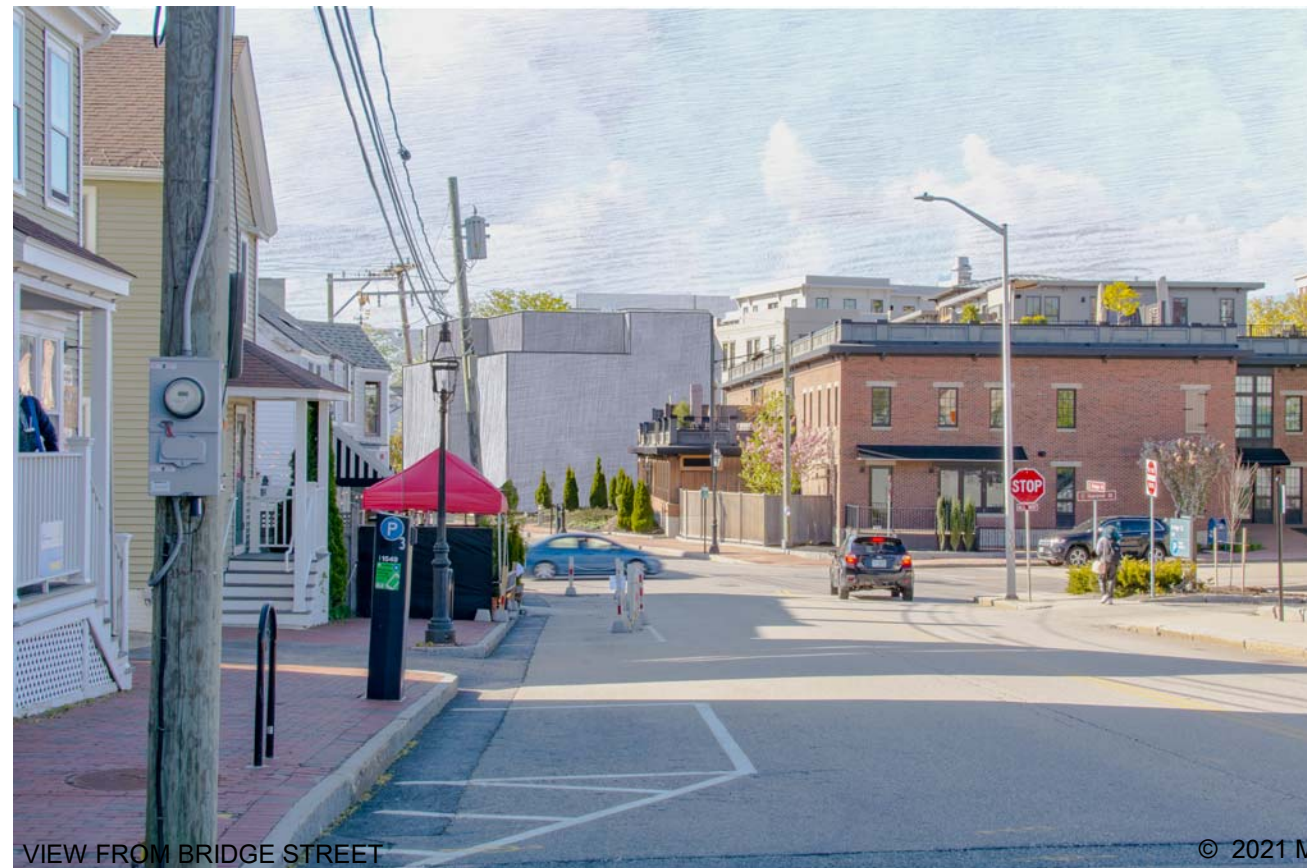
VIEW FROM PORTWALK ON DEER STREET



VIEW FROM MAPLEWOOD AVE AND DEER STREET INTERSECTION



VIEW FROM DEER STREET



VIEW FROM BRIDGE STREET

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DEER STREET MIXED-USE BUILDING

238 DEER STREET
PORTSMOUTH, NH 03801

MASSING IN CONTEXT

Historic District Commission Work Session, June 2021

McHENRY ARCHITECTURE

4 Market Street
Portsmouth, New Hampshire

A12

06/02/2021
McHA: CM / JJ
NOT TO SCALE

E/P

10 State Street, Unit D

Work Session

LUHD-343



City of Portsmouth, NH

05/25/2021

LUHD-343

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: May 14, 2021

Applicant

Joshua Butkus
kscannell@destefanomaugel.com
22 ladd st
portsmouth, NH 03801
2034000802

Location

10 STATE ST Unit D
Unit D
Portsmouth, NH 03801

Owner:

PIER II LLC
PO BOX 432 STRATHAM, NH 03885

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

We are proposing the renovation of the State street entrance to include a vestibule to shelter the private entrance of Unit D and access to the shared mechanical room. We plan to use materials, styles, and finishes to match existing openings on the building. All new work is to be within the existing footprint of the building.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Architect



LOCUS MAP

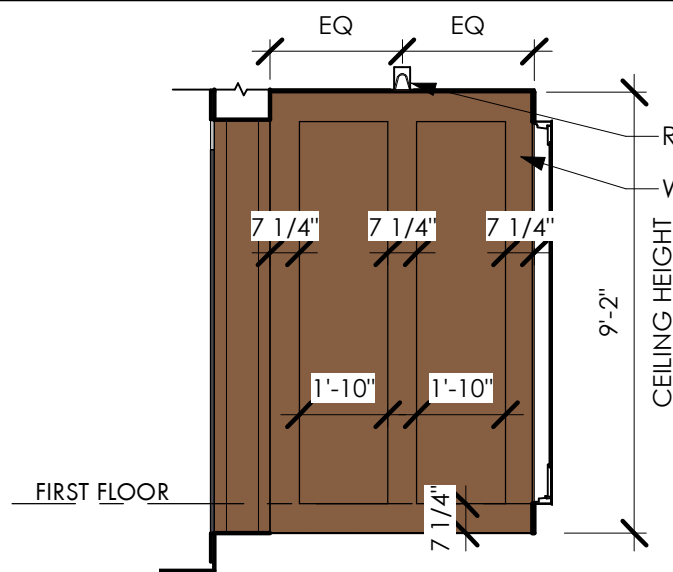


STATE STREET VIEW

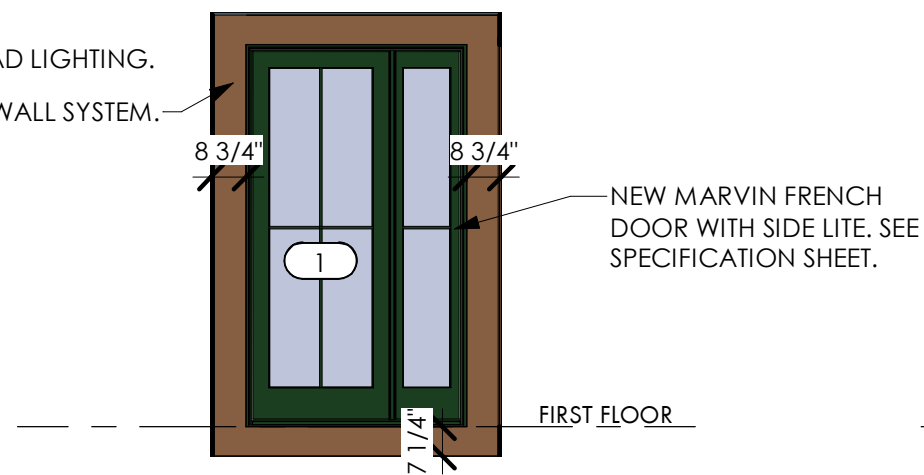
SCOPE OF WORK



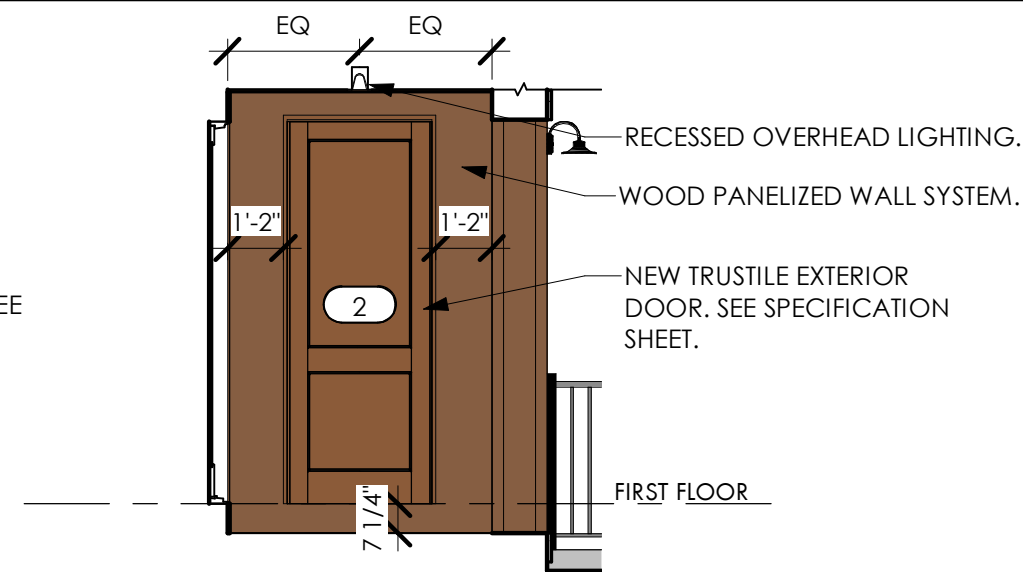
STATE STREET VIEW AT COURTYARD



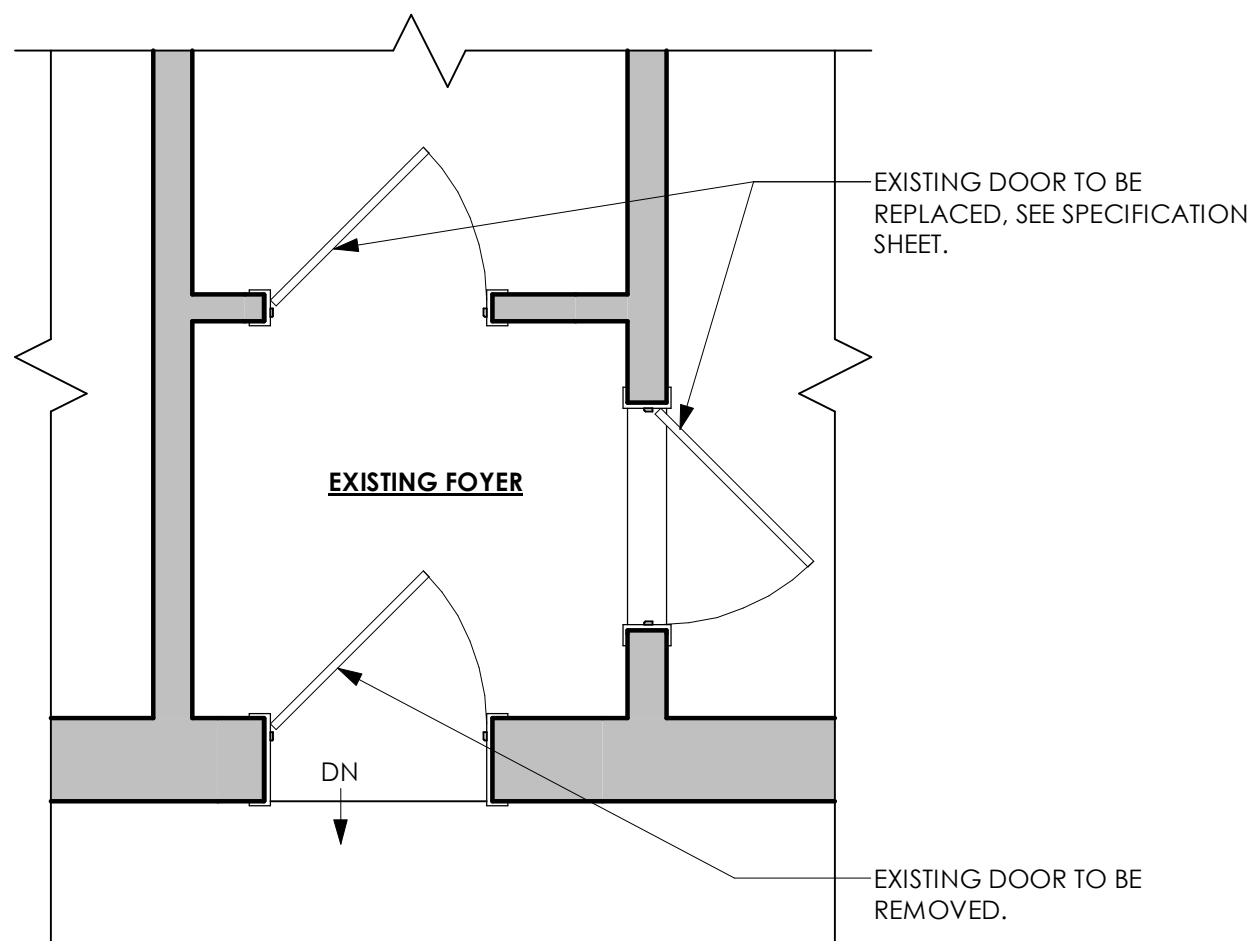
VESTIBULE ELEVATION 1



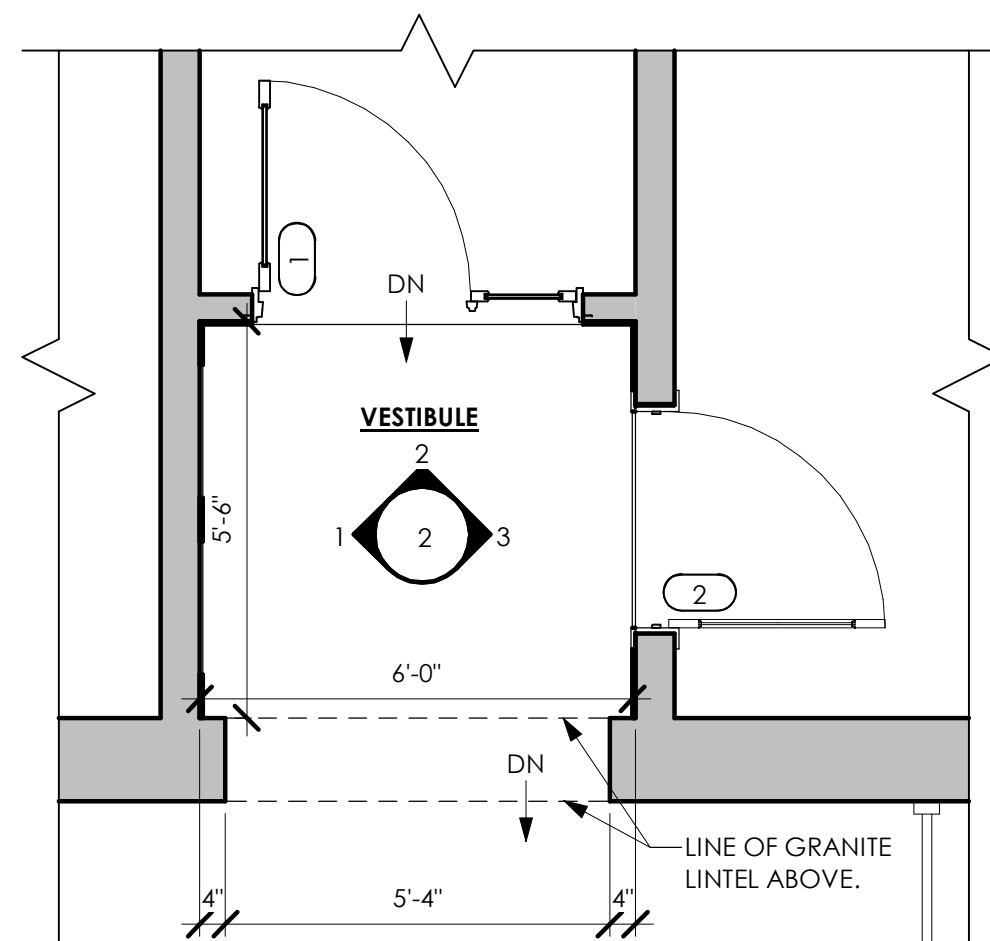
VESTIBULE ELEVATION 2



VESTIBULE ELEVATION 3



EXISTING FLOOR PLAN AT FOYER



PROPOSED FLOOR PLAN AT NEW VESTIBULE

ALL EXISTING EXTERIOR LIGHTING
SIGNAGE AND KEYPADS TO BE
RELOCATED TO ACCOMMODATE FOR
THE PROPOSED VESTIBULE.



EXISTING PARTIAL ELEVATION



PROPOSED PARTIAL ELEVATION

10 STATE ST UNIT D

10 STATE ST, PORTSMOUTH, NH
03801

PROPOSED PARTIAL ELEVATION

1/4" = 1'-0"

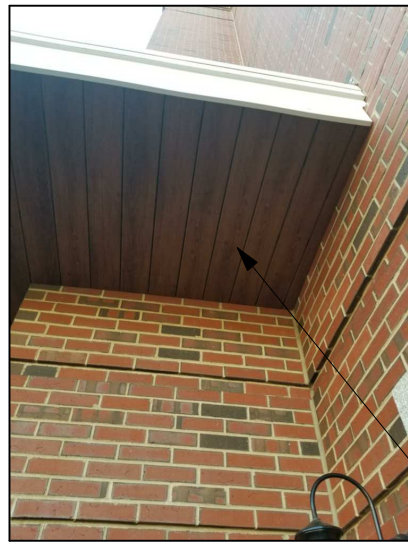
SHEET **3** OF 4

JUNE 2, 2021

202046



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MARINE FINISH STAINED WOOD CEILING. TO MATCH EXISTING AT COVERED MAIN ENTRY.

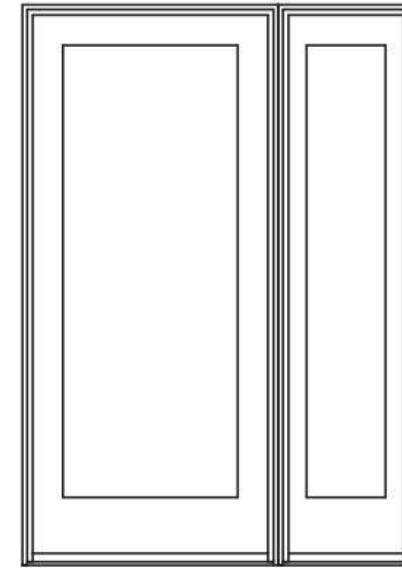
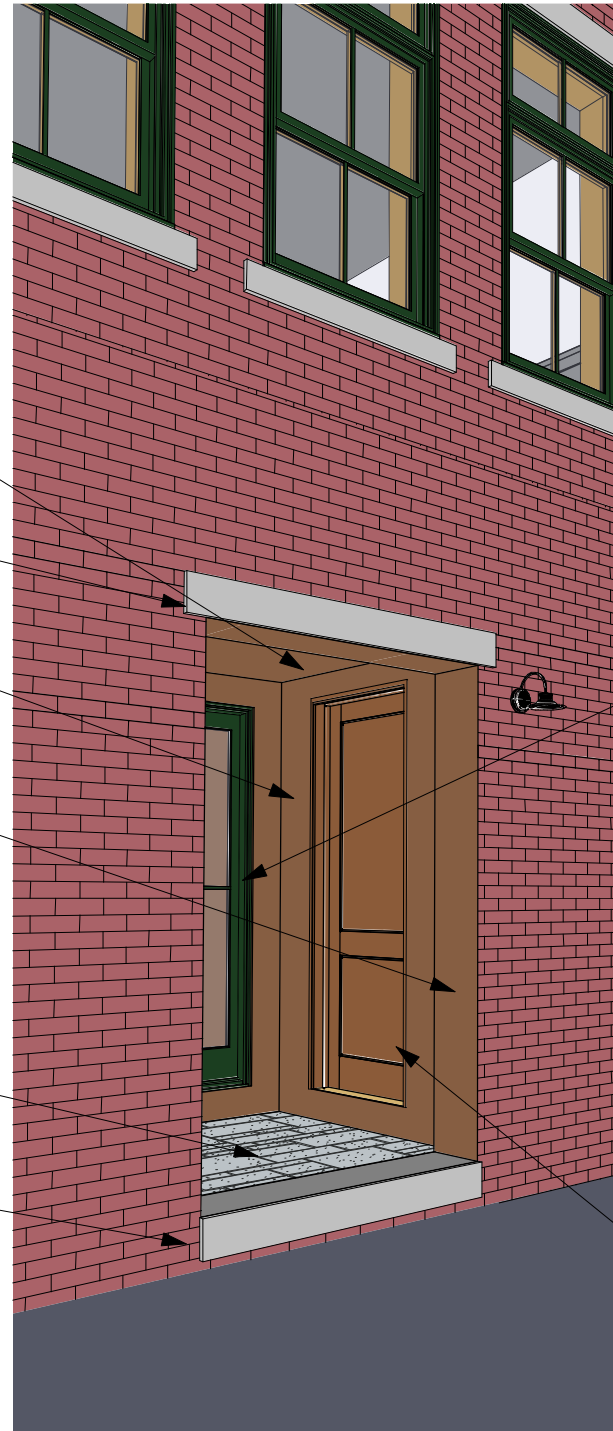
GRANITE LINTEL TO MATCH EXISTING.

PANELIZED WOOD WALL SYSTEM.

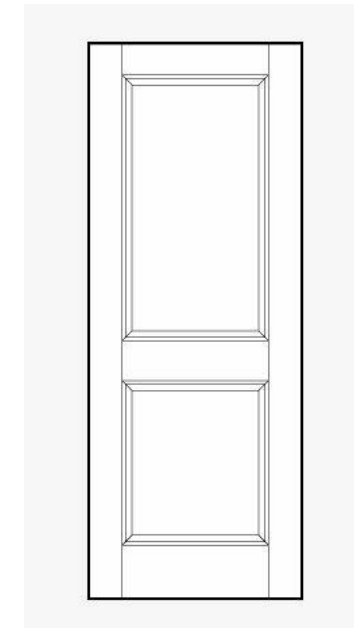
WOOD CASING TO MATCH EXISTING.

GRANITE PAVERS AT VESTIBULE.

GRANITE BASE TO MATCH EXISTING.



DOOR TYPE 1 - MARVIN SIGNATURE ULTIMATE FRENCH DOOR WITH SIDELITE - 1 3/4" THICKNESS, WOOD MAHOGANY PAINTED TO MATCH EXISTING. 5/8" SDL STICKING, SEE ELEVATION FOR LITE PATTERN.



DOOR TYPE 2 - TRUSTILE TS2020 - 1 3/4" THICKNESS, WOOD MAHOGANY.

VIEW FROM APPROACH