



AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS
200 Griffin Road, Unit 3, Portsmouth, NH 03801 Phone (603) 430-9282 Fax 436-2315

29 August 2018

Steven Miller, Chair
City of Portsmouth Conservation Commission
1 Junkins Avenue
Portsmouth, NH 03801

**Re: Work Session Request
Tax Map 207, Lot 11
50 Pleasant Point Drive
Portsmouth, New Hampshire**

Dear Mr. Miller:

This letter transmits a City of Portsmouth Conservation Commission Work Session Request in regards to re-development of the above referenced lot. The lot is currently owned by the Vaughn Family Revocable Trust, and the future owner, Maggie Goodlander has a current Purchase & Sale Agreement to acquire the property. The lot is located directly adjacent to the Piscataqua River, and re-development of the of the lot would require a City of Portsmouth Conditional Use Permit, as well as NH DES Wetland & Shoreland Permits.

The property currently contains a single family residential structure, a drive under garage, a paved driveway, three (3) patios, a wood deck, associated retaining walls and walkways.

Attached to this package a NHDES Permit Plan-Sheet C3, which depicts a proposed re-development for the lot. The re-development includes demolition of the existing structure and construction of a new single family home. The home includes a covered entryway, a covered deck, an open deck, an attached garage, a re-located driveway, and associated walkways. The re-development also includes a 560 sq. ft. buffer planting area directly adjacent to the wetland resource, and a 998 sq. ft. planting area that will remain unaltered (per NH DES Shoreland Rules) which will also serve as a vegetated buffer between the subject parcel and the abutter to the south. Under existing conditions, wastewater leaving the home is collected in a tank located approximately 45 feet from the resource, where it is pumped to the sewer line located in the street (Robin Lane). While not shown on the preliminary permit plan, the intent is to move the tank location outside of the 100' buffer, further protecting the wetland resource if the tank, pump, and/or line to the sewer were to ever fail.

There is an increase of impervious surfaces on the lot from 20.8% to 26.6%, however the impervious surface within the 100' Wetland Buffer will be reduced from 17.2% to 15%. Impervious surface charts depicting the above calculations are shown on the Permit Plan. A reduction in impervious surface within the 100' buffer was mainly achieved by moving a portion of the proposed home, the garage, and the driveway outside of the 100' buffer on the lot. The elimination of all three existing patios, one of which is located approximately 44 feet from the wetland resource, also contributed to the impervious reduction.

Also attached for your review is an Existing Conditions Plan-Sheet C1, a Tax Map, a 2010 Aerial Photo, a Photo Log, an Architectural Site Plan, and an Architectural Elevation.

We look forward to presenting this project to the Commission and your feedback will be greatly appreciated.

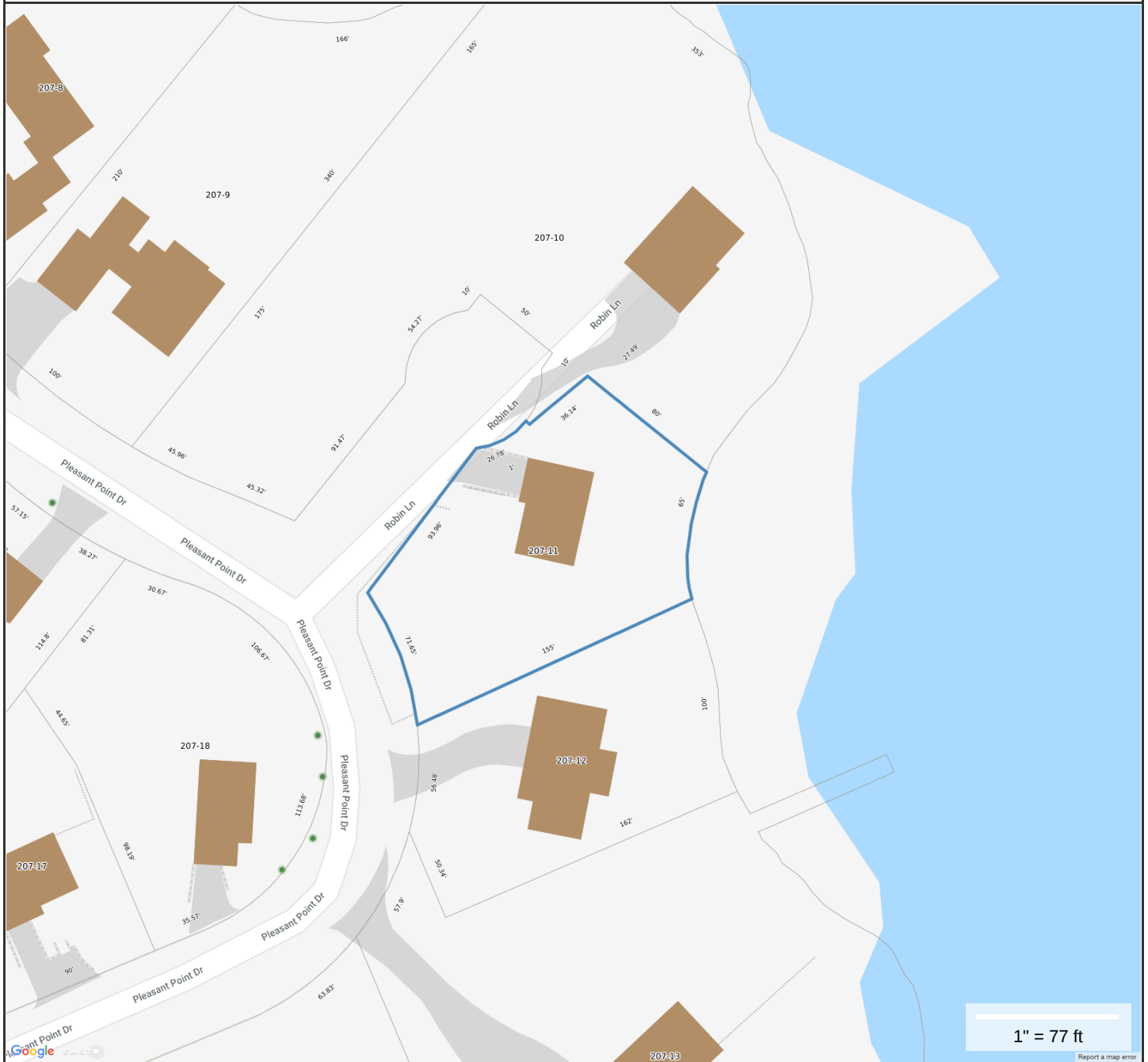
Respectfully submitted,

A handwritten signature in black ink, appearing to be 'SR' with a large, stylized 'S' and a smaller 'R'.

Steven D. Riker

NH Certified Wetland Scientist/Environmental Permitting Specialist
Ambit Engineering, Inc.

Cc: Maggie Goodlander & Jake Sullivan-Applicants
Lisa Destefano-Destefano Architects
Tim Phoenix-Hoefle Phoenix Gormley & Roberts, P.A.



Property Information

Property ID 0207-0011-0000
Location 50 PLEASANT POINT DR
Owner VAUGHN FAMILY REVO TRUST



MAP FOR REFERENCE ONLY NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated 01/04/2018
 Properties updated 08/24/2018

Map by NH GRANIT

Legend

- Polygons
- ≡ State
- County
- City/Town
- NH 2010/2011 1-foot RGB



Map Scale

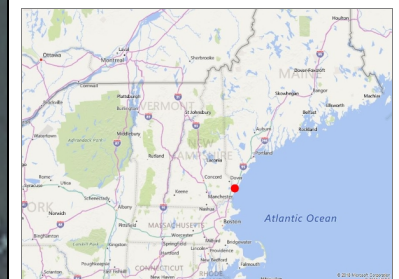
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Map Generated: 8/24/2018



Notes



NH DES Permit Application
Goodlander Residence
Site Re-development

SITE PHOTOGRAPHS
Portsmouth, NH

Site Photograph #1

August 2018



Site Photograph #2

August 2018



Site Photograph #3

August 2018



Site Photograph #4

August 2018



Site Photograph #5

August 2018



Site Photograph #6

August 2018



Site Photograph #7

May 2018



Site Photograph #8

August 2018



Site Photograph #9

May 2018



Site Photograph #10

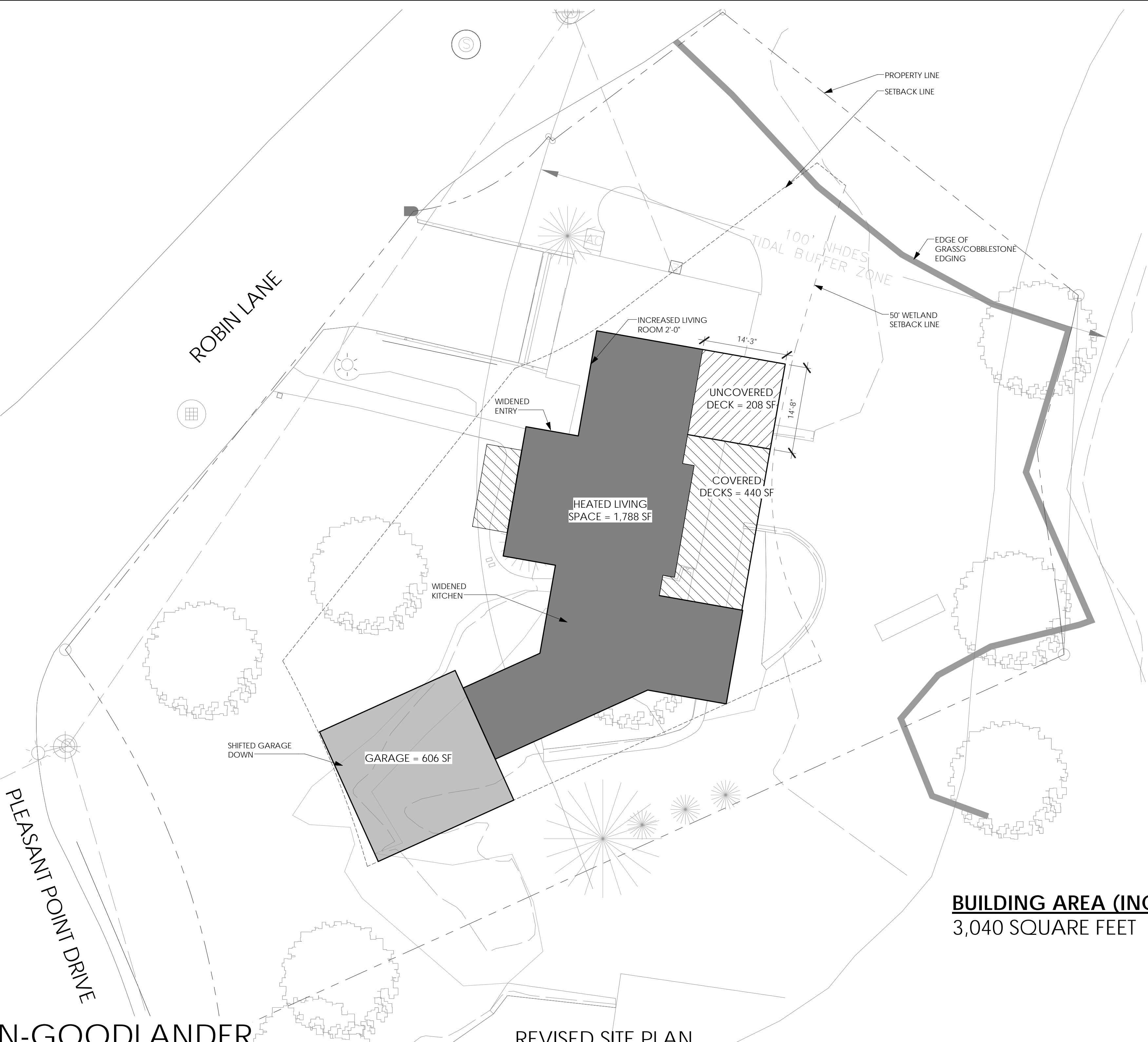
May 2018



Site Photograph #11

May 2018





BUILDING AREA (INCLUDING DECKS):
3,040 SQUARE FEET

SULLIVAN-GOODLANDER

50 PLEASANT PT.

REVISED SITE PLAN

3/32" = 1'-0"

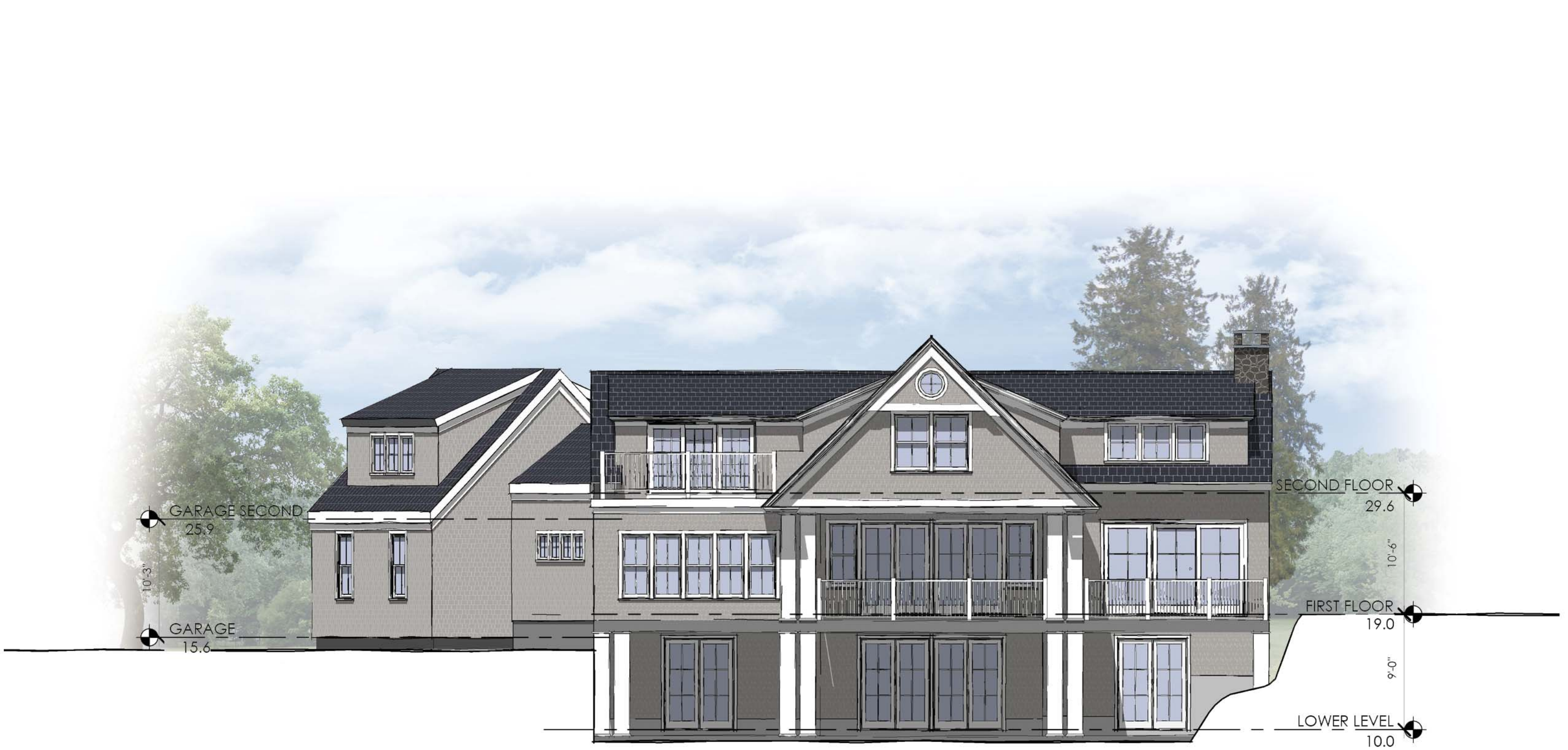
08/28/18

201834

D|A

DeStefano Architects

© 2018



CONCEPTUAL ELEVATION FOR
SULLIVAN-GOODLANDER RESIDENCE
 50 PLEASANT PT. PORTSMOUTH, NEW HAMPSHIRE

WATER SIDE ELEVATION
 SCALE: 1/8" = 1'0"

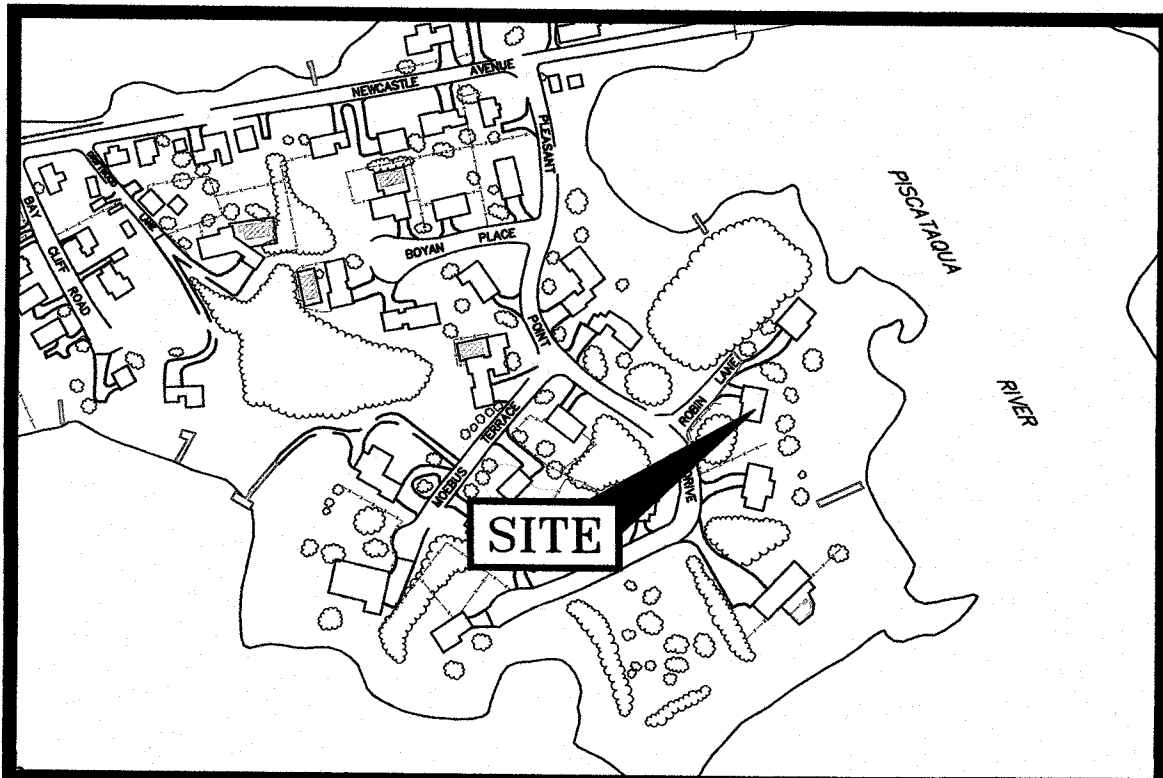
29 AUGUST 2018

PROJECT NO. 201834

D|A

DeStefano Architects

© 2018



LOCATION MAP

SCALE 1"=300'

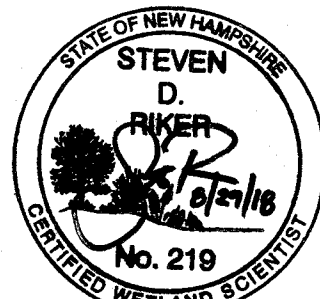
LEGEND:

N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY
11/21	REGISTRY OF DEEDS
	MAP 11 / LOT 21
BOUNDARY	
RR SPK FND	RAILROAD SPIKE FOUND/SET
IR FND	IRON ROD FOUND/SET
IP FND	IRON PIPE FOUND/SET
DH FND	DRILL HOLE FOUND/SET
NHFB FND	NHDOT BOUND FOUND
TB FND	TOWN BOUND FOUND
BND w/DH	BOUND w/ DRILL HOLE
ST BND w/DH	STONE BOUND w/DRILL HOLE
HOTL	HIGHEST OBSERVABLE TIDE LINE
MHW	MEAN HIGH WATER LINE
PSS	NH DES 50' PRIMARY STRUCTURE SETBACK
W	FEMA FLOOD HAZARD ZONE LINE
100	WATER LINE
97x3	OVERHEAD ELECTRIC WIRES
	CONTOUR
	SPOT ELEVATION
	EDGE OF PAVEMENT (EP)
	WOODS / TREE LINE
	UTILITY POLE (w/ GUY)
	WATER SHUT OFF/CURB STOP
	GATE VALVE
	SWAMP / MARSH
EL	ELEVATION
EP	EDGE OF PAVEMENT
F.F.	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL
LSA	CENTERLINE
1	LANDSCAPED AREA
	PHOTO LOCATION

WETLAND NOTES:

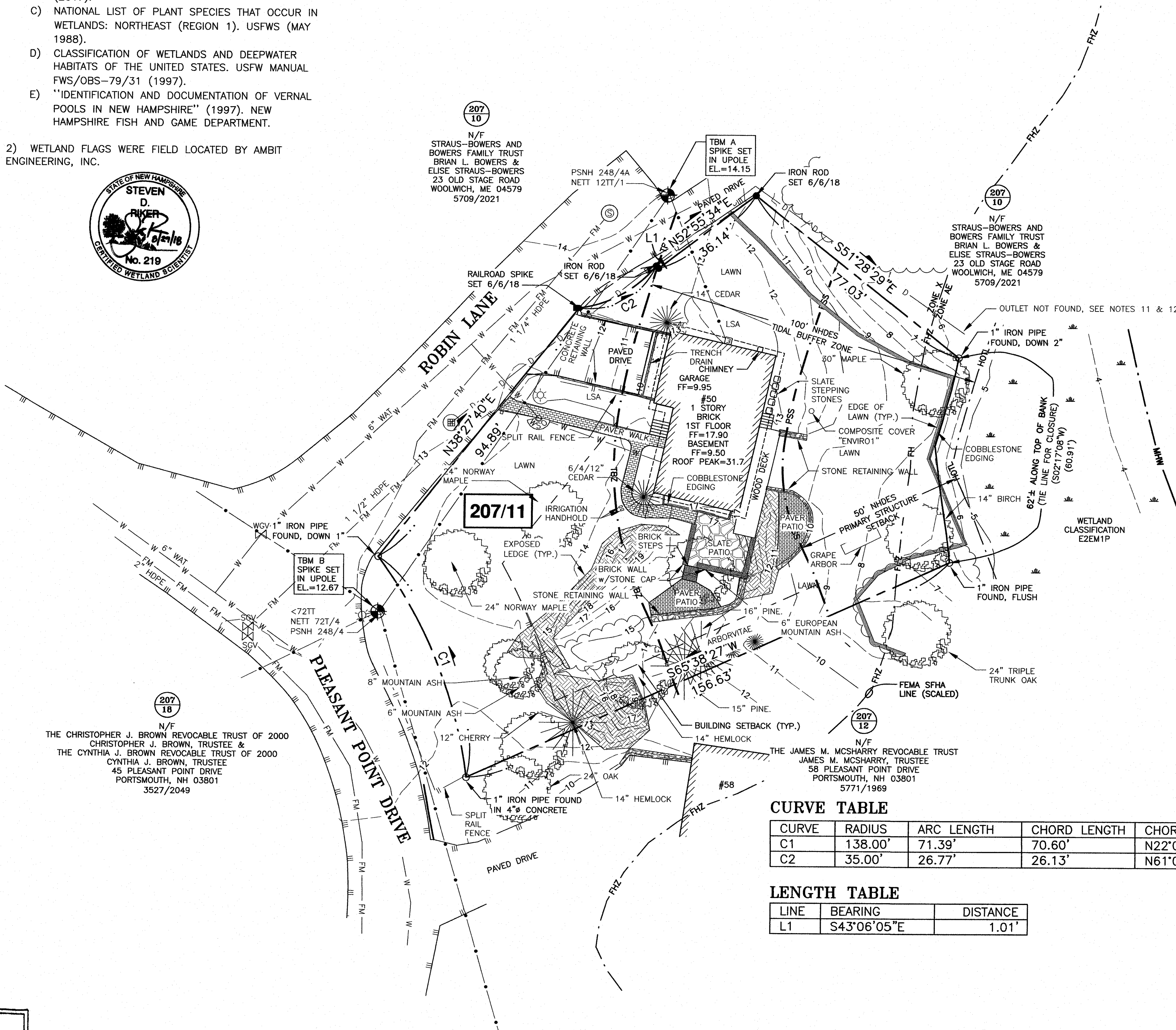
- HIGHEST OBSERVABLE TIDE LINE DELINEATED BY STEVEN D. RIKER, CWS ON 8/22/2018 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN. 1987). AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.1, USDA-NRCS, 2017 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEIWPCC WETLANDS WORK GROUP (2017).
 - NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
 - CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1997).
 - "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.

- WETLAND FLAGS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.



PLAN REFERENCES:

- PLAN OF LOTS NEWCASTLE AVENUE PORTSMOUTH, N.H. FOR ROBERT A. MOEBUS & HENRY C. SIVK. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. DATED OCTOBER 1952. R.C.R.D. PLAN #02160-B.
- LAND IN PORTSMOUTH, N.H. JOHN C. SULLIVAN TO DAVID A. & CLOTILDE STRAUS. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. DATED JUNE 1958. R.C.R.D. 1480/80.
- PLEASANT POINT AREA SEWER EXTENSION, PORTSMOUTH WATER AND SEWER DEPARTMENT, SITE PLAN, PORTSMOUTH, NEW HAMPSHIRE. PREPARED BY STANTEC CONSULTING SERVICES, INC. DATED JULY 2006. NOT RECORDED.



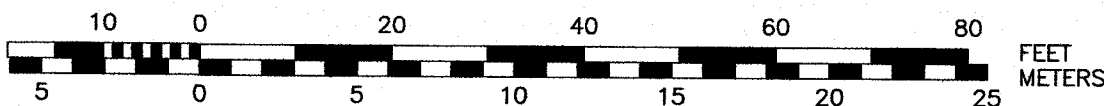
CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	138.00'	71.39'	70.60'	N22°05'18"W	29°38'30"
C2	35.00'	26.77'	26.13'	N61°00'03"E	43°49'44"

LENGTH TABLE

LINE	BEARING	DISTANCE
L1	S43°06'05"E	1.01'

GRAPHIC SCALE



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 207 AS LOT 11.
- OWNER OF RECORD:
VAUGHN FAMILY REVOCABLE TRUST
50 PLEASANT POINT DRIVE
PORTSMOUTH, NH 03801
3263/2861

APPLICANT:
MAGGIE GOODLANDER
PO BOX 909
NEW CASTLE, NH 03854
- PORTIONS OF THE PARCEL ARE IN A SPECIAL FLOOD HAZARD AREA, ZONE AE (EL. 9) AS SHOWN ON FIRM PANEL 33015C0278E, MAY 17, 2005.
- EXISTING LOT AREA:
17,046± S.F. (TO TOP OF BANK-SEE NOTE 9)
0.3913± ACRES (TO TOP OF BANK-SEE NOTE 9)
- PARCEL IS LOCATED IN THE SINGLE RESIDENCE B (SRB) ZONING DISTRICT.
- DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 15,000 S.F.
FRONTAGE: 100 FEET
SETBACKS: FRONT 30 FEET
SIDE 10 FEET
REAR 30 FEET
MAXIMUM STRUCTURE HEIGHT: 35 FEET
MAXIMUM BUILDING COVERAGE: 20%
MINIMUM OPEN SPACE: 40%
- THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULT OF A STANDARD BOUNDARY AND TOPOGRAPHIC SURVEY OF TAX MAP 207 LOT 11 IN THE CITY OF PORTSMOUTH.
- VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GPS OBSERVATIONS (±0.2').
- SUBDIVISION PLAN WHICH CREATED THE PARCEL (R.C.R.D. PLAN #02160-B) DESIGNATES THE LIMIT OF OWNERSHIP AS THE "LINE OF HIGH GROUND". THE TOP OF BANK HAS BEEN HELD AS THE LIMIT OF OWNERSHIP FOR THE PURPOSES OF THIS PLAN.
- PARCEL IS SUBJECT TO RESTRICTIVE COVENANTS CONTAINED IN 1427/367.
- WATER, SEWER, AND DRAIN LINES AS SHOWN ARE BASED ON OBSERVED SURFACE EVIDENCE AND PLAN REFERENCE 3. LOCATIONS SHOULD BE CONSIDERED APPROXIMATE.
- NO EASEMENT FOR THE DRAIN LINE RUNNING ACROSS THE PARCEL, PER PLAN REFERENCE 3, WAS FOUND.

GOODLANDER RESIDENCE
50 PLEASANT
POINT DRIVE
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	8/29/18
0	ISSUED FOR COMMENT	8/21/18
REVISIONS		

SCALE 1"=20'

AUGUST 2018

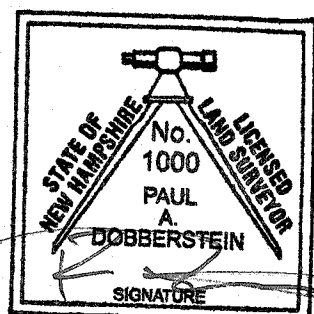
EXISTING CONDITIONS
SITE PLAN

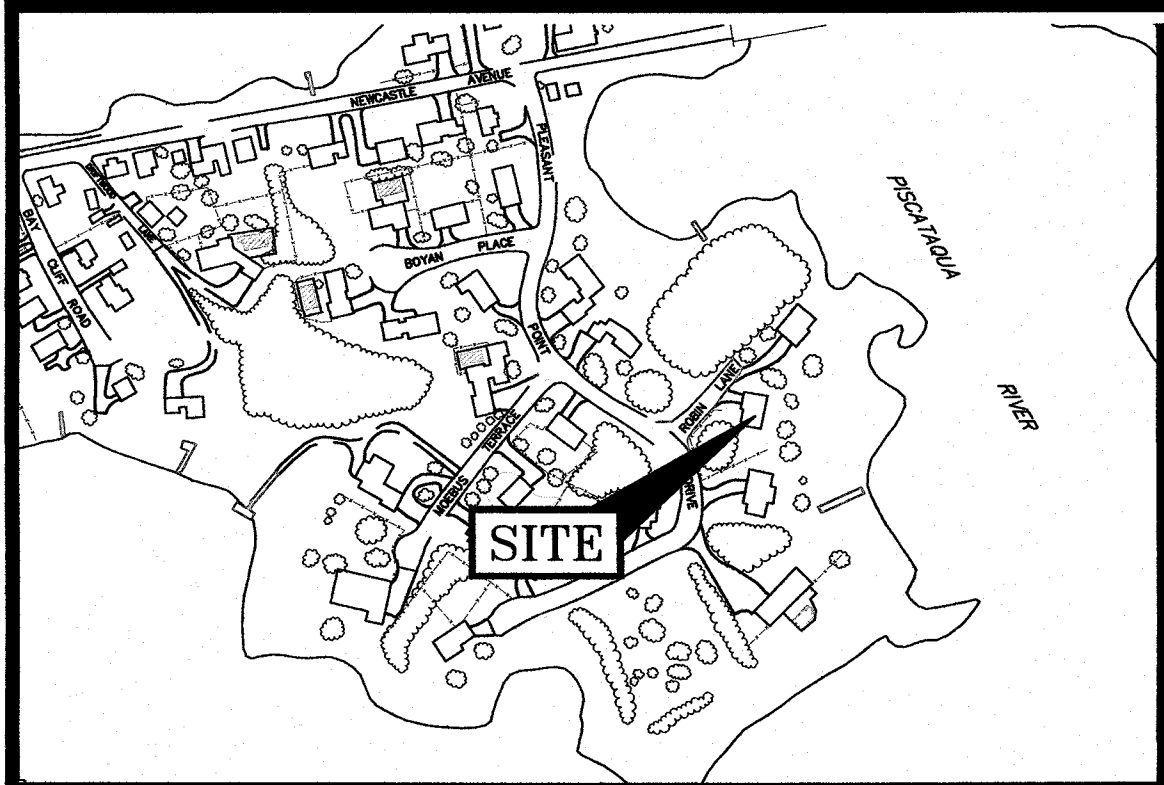
C1

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A. DOBBERSTEIN, LLS

DATE





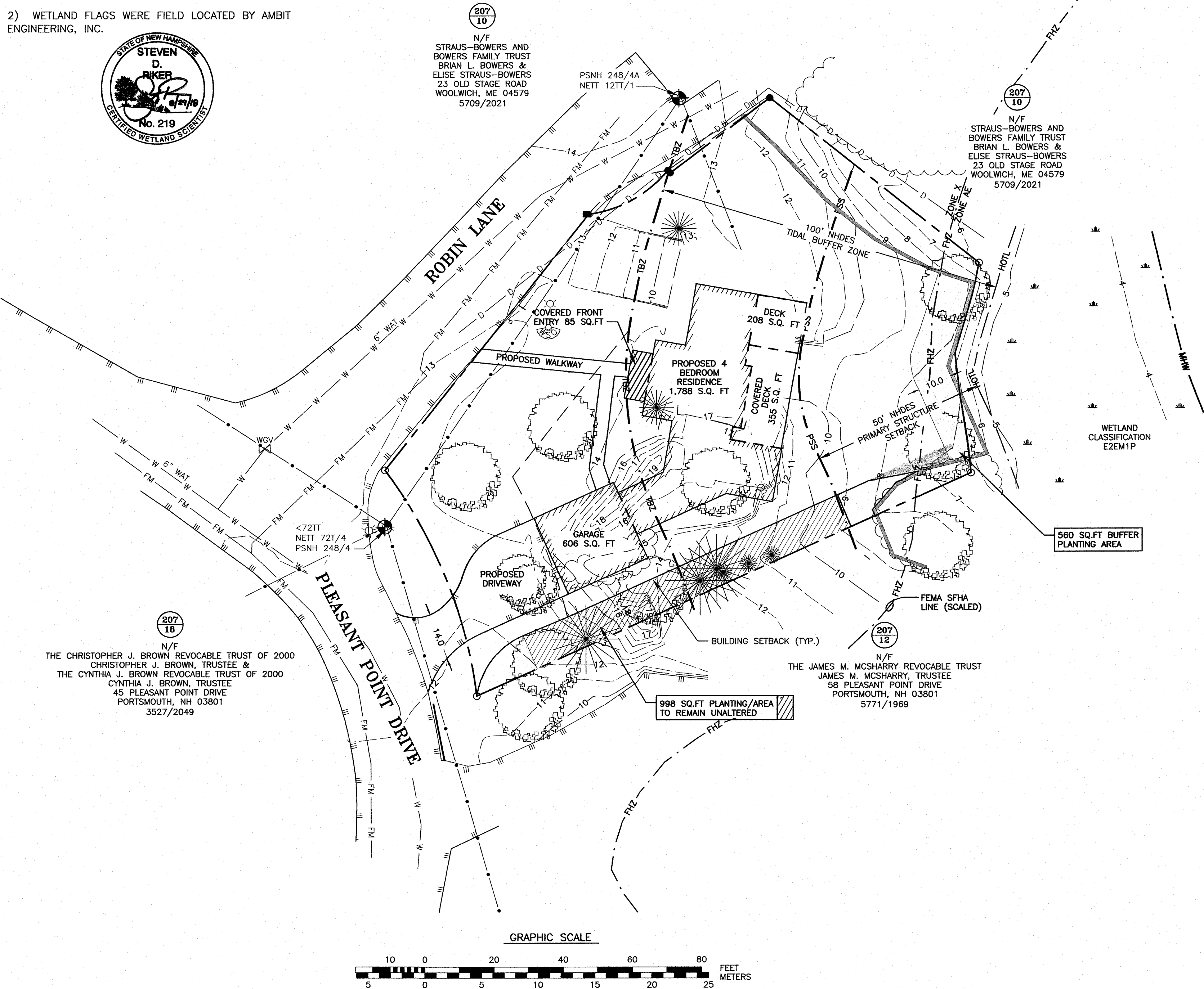
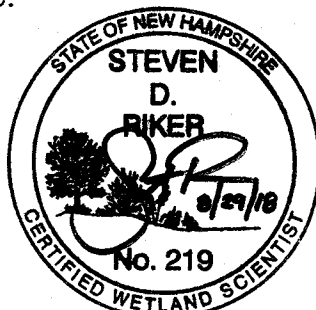
LOCATION MAP SCALE 1"=300'

LEGEND:

- N/F
RP
RCRD
11
27
- RR SPK FND
IR FND
IP FND
DH FND
NHHB FND
TB FND
BND w/DH
ST BND w/DH
- RR SPK SET
IR SET
IP SET
DH SET
BND w/DH
ST BND w/DH
- HOTL
MHW
PSS
FHZ
W
100
97x3
- UTILITY POLE (w/ GUY)
WATER SHUT OFF/CURB STOP
GATE VALVE
SWAMP / MARSH
ELEVATION
EDGE OF PAVEMENT
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TYPICAL
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- NOW OR FORMERLY
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NHDOT BOUND FOUND
TOWN BOUND FOUND
BOUND w/ DRILL HOLE
STONE BOUND w/DRILL HOLE
HIGHEST OBSERVABLE TIDE LINE
MEAN HIGH WATER LINE
NH DES 50' PRIMARY STRUCTURE SETBACK
FEMA FLOOD HAZARD ZONE LINE
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CONTOUR
SPOT ELEVATION
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- 2) WETLAND FLAGS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.



IMPERVIOUS SURFACE AREAS/LOT COVERAGE (AREA TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE AND GARAGE	1,682	3,042
RETAINING WALLS	144	0
DECK & STAIRS	172	208
CONCRETE	98	0
WALKWAY/PATIO	823	311
PAVED DRIVE	565	976
BRICK WALL	56	0
TOTAL	3,540	4,537
AREA OF LOT	17,046	17046
% LOT COVERAGE	20.8%	26.6%

IMPERVIOUS SURFACE AREAS/LOT COVERAGE (WITHIN 100' TIDAL BUFFER ZONE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE AND GARAGE	1,682	2,044
RETAINING WALLS	144	0
DECK & STAIRS	172	210
CONCRETE	98	0
WALKWAY/PATIO	558	307
PAVED DRIVE	79	0
BRICK WALL	56	0
TOTAL	2,789	2,561
AREA OF LOT	17,046	17046
% LOT COVERAGE	16.4%	15.0%

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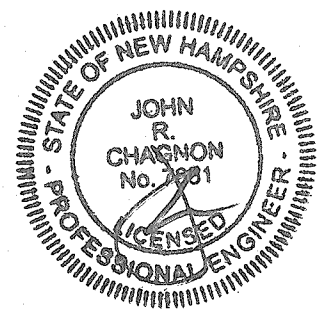
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50 PLEASANT
POINT DRIVE
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	8/28/18

REVISIONS



SCALE 1" = 20' AUGUST 2018

NHDES PERMIT
PLAN

C3