

CITY OF PORTSMOUTH
Zoning Board of Adjustment Application

Department Use Only

Assessor Plan # _____

Lot # _____

Date _____

Zone _____

Lot area _____

Fee _____

By _____

Fill in below by printing in ink or typing / Complete all Blanks or indicate "N/A" if not applicable

Applicant JAMES PETERSEN Owner of Record _____

Applicant Street Address 335 MAPLEWOOD AVE Owner Street Address _____

Applicant City / State / Zip PORTSMOUTH NH Owner City / State / Zip SA ME

Applicant phone (603) 436 4233 Owner phone () _____

Applicant e-mail JAMES@PETERSENENGINEERING.COM

Location (street address) of proposed work: 335 MAPLEWOOD AVE. PORTSMOUTH

Existing use: OFFICE (PETERSEN ENGINEERING)

Undersigned hereby requests:

☒ Appeal from an Administrative Decision
See Article 2, Section 10.234.30

Article and Section

10.521

☐ Special Exception
See Article 2, Section 10.232.20

10.321

☒ Variance
See Article 2, Section 10.233.20

☐ Other _____
See Article 2, Section 10.233.20

To permit the following:

TO ALLOW CHANGE IN BLDG. FOOTPRINT THAT MAINTAINS
AN EXISTING SIDE YARD SETBACK OF 3.4' WHERE
5' IS REQUIRED. (REBUILD OF EXISTING ELL)

The undersigned alleges that the required conditions exist for granting of this request according to the terms of the Zoning Ordinance as demonstrated in the attached submittals.

Only complete applications will be accepted by the deadline date. A complete application shall consist of: a completely filled out application with original signatures, the application fee, and 12 packets of required plans and any supporting documents or photos. Incomplete applications will not be accepted. Applications received after the deadline will be scheduled for the following month. The owner or his/her representative is required to attend the Public Hearing for the above appeal.

Signature of Owner

Date

Please PRINT name here JAMES F. PETERSEN

8/20/2018

Applicant's Responsibilities

1. All applications for Variances and Special Exceptions must be submitted to the Planning Department prior to the published deadline. In the case of Appeals from an Administrative Decision, the appeal shall be filed no later than 30 days from the date of the action which is being appealed.
2. A Building Permit application must also be filed for the project for which zoning relief is being sought. The Building Permit application can be submitted with the Board of Adjustment application or filed prior. The Planning Department may waive this requirement when the application is for a substandard lot for subdivision purposes and no other zoning relief is required.
3. An applicant shall be one of the following: a) the owner of record of the property, or b) the holder of a valid purchase and sales agreement for the purchase of the subject property, or c) the holder of a valid option for the purchase of the subject property.
4. All applications shall include a written statement explaining how the request complies with the requirements of the Zoning Ordinance as provided in Article 2 (see Section 10.234.30 for Administrative Appeals, Section 10.233.20 for Variances, Section 10.232.20 for Special Exceptions).
5. It is the obligation of the applicant to submit adequate plans and exhibits in accordance with the terms of the Zoning Ordinance for all applications for Administrative Appeals, Variances, Special Exceptions, and Equitable Waivers.
6. One (1) original copy of a completed and signed "Board of Adjustment Application Check-List" shall accompany all applications.
7. For applications requesting dimensional relief, the minimum requirements for adequate plans shall include the following:

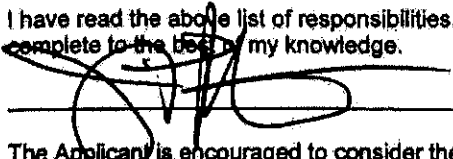
<input type="checkbox"/> Site Plan(s) showing existing and proposed conditions including: <ul style="list-style-type: none">- Front, side and rear setback / yard dimensions (this is the distance from a structure to the lot line)- Lot dimensions- Abutting street(s) and street names- Driveways / accessways- Dimensions (size and height) of structures- Dimensions and location of parking spaces	<input type="checkbox"/> Scale of all drawings and plans (the scale is the ratio of the drawing's size relative to the actual size) <input type="checkbox"/> Labeled photo(s) of existing conditions <input type="checkbox"/> Building plans and elevations of any <i>proposed</i> structures or additions <input type="checkbox"/> Interior floor plans for any renovations or expansion to existing structures
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8. For applications requesting relief from land use requirements, the minimum requirements for adequate plans shall include the following:

<input type="checkbox"/> Site Plan showing dimensions and location of parking spaces including the scale (the scale is the ratio of the drawing's size relative to the actual size)
<input type="checkbox"/> Interior floor plans and/or exterior site plans showing the location of the proposed use(s)
<input type="checkbox"/> Labeled photo(s) of existing conditions

9. Plans should be 8 1/2" x 11" in size, 11" x 17" plans may be used only if the plan would otherwise be unreadable.
10. The Planning Department is authorized by the Board of Adjustment to refuse applications which do not meet these minimum requirements. The Planning Department may also require additional information and/or exhibits as needed to illustrate the scope of the project. Public Hearings shall not be scheduled, advertised or held until such time as the minimum requirements for adequate plans have been submitted. The Board may postpone any application requiring more information prior to any action being taken.
11. The applicant shall submit one (1) original and eleven (11) copies of the application and any plans, exhibits, and supporting documents.
12. The applicant shall provide electronic files in Portable Document Format (PDF) of all submittals.

I have read the above list of responsibilities, have provided all required information, and such information is current, accurate, and complete to the best of my knowledge.



JAMES F. PETONEN

8/28/2018

(Applicant's Signature, date)

The Applicant is encouraged to consider the following when completing the application:

- ☐ Provide neat and clear plans
- ☐ Use of color or highlights is encouraged in order to identify pertinent areas on plans
- ☐ Applicants are encouraged to review the application with a member of the Planning Department staff prior to submittal
- ☐ All applicants are encouraged to discuss the project with impacted neighbors

August 29, 2018

Portsmouth Zoning Board of Adjustment
Re: 335 Maplewood Avenue – Variance Request

Chairman Rheaume, and ZBA Members,
Please see the Criteria listed below, and our response to each.

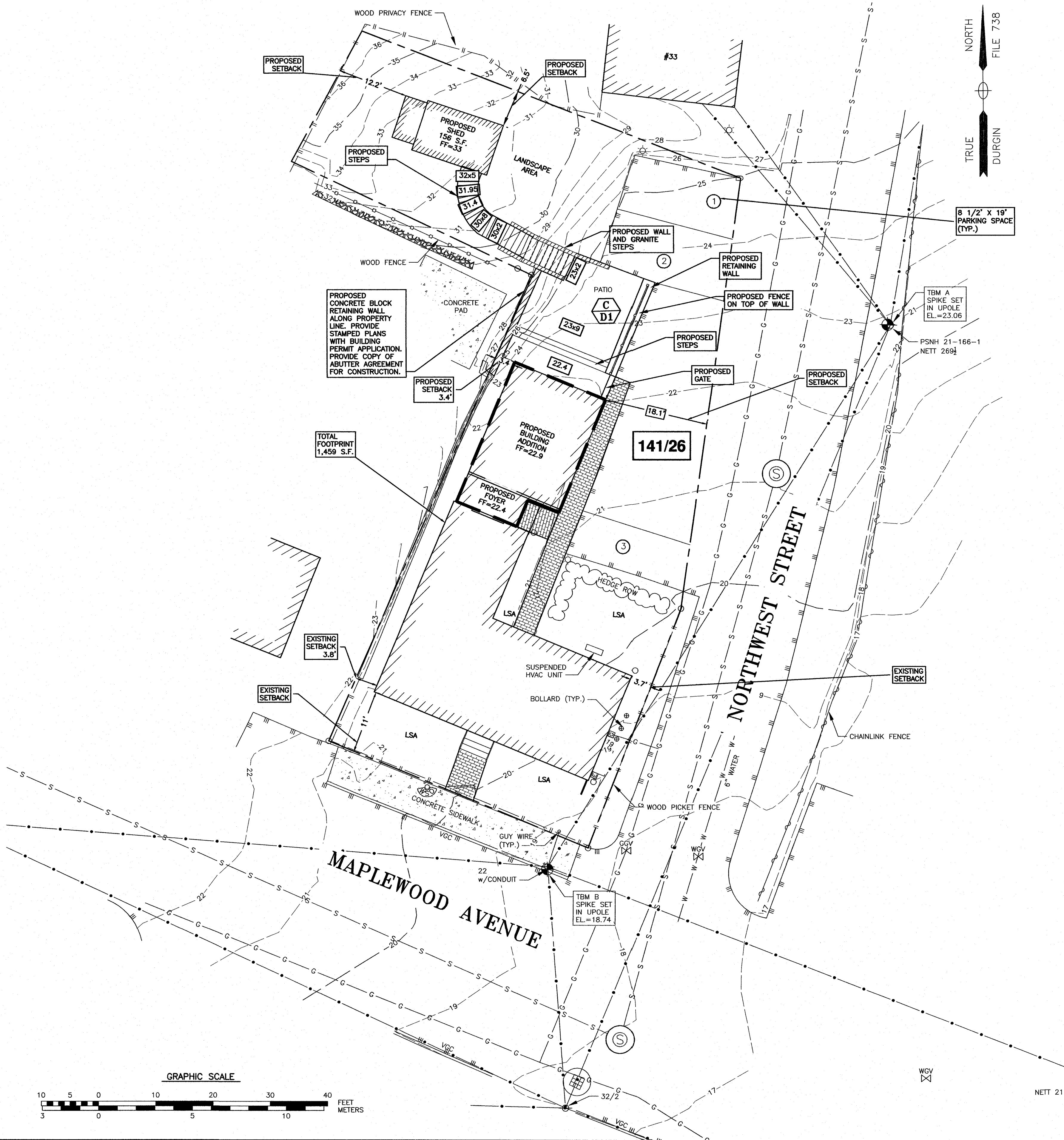
1. *The Variance is not contrary to the public interest:* The renovations to this historic building include the rebuilding of an addition that was built prior to the ordinance existing. The high quality renovations that have been done in the recent past, and with this renovation, insure that this historic property will remain for decades to come. That is certainly in support of the public interest.
2. *The spirit of the ordinance is observed:* We believe the spirit of the ordinance is observed, due to the fact that this request is minimal, and nearly all of the properties in the area are historic, and inherently have non-conforming elements that define the character of the neighborhood. Our proposed footprint maintains a setback condition that has existed for centuries. We are simply making improvements to a non-conforming structure, but not making it any more non-conforming, than it already is.
3. *Substantial justice is done:* Due to the fact that the increase in usability for the building owner, will allowed continued use, and that neighboring properties are not adversely effected, we believe this standard is met.
4. *The values of surrounding properties are not diminished:* This property has been restored to landmark condition for the neighborhood, and stands as one of the best maintained historic properties in the area. Further improvements to the building cannot result in diminished values of surrounding properties.
5. *Literal enforcement of the ordinance would result in unnecessary hardship:* The existing structure that we are proposing to replace was constructed on a substandard foundation, and has certainly outlived its expected duration. If the addition was to be relocated to conform to current zoning, it would cover, and delete the current parking for the site, causing yet another and more impactful non-compliance issue. The relocation of the addition would also require changes within the existing historic main house to accommodate the move. For all of these reasons, we feel that literal enforcement of the ordinance would result in an unnecessary hardship to the property owner.

Thank you for considering our application,
Sincerely,



Joseph Almeida
DeStefano Architects

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	EXISTING IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	1,376	1,459
GRANITE STEPS	32	122
SHED	131	156
STEPS/STAIRS	47	106
PATIO	0	363
WOOD WALKWAY	18	0
BRICK WALKWAY	148	212
CONCRETE RETAINING WALL	57	93
GREEN WALL	0	36
WOOD RETAINING WALL	35	0
WALL AND FENCE	0	35
DRIVEWAY ON LOT	1499	1276
TOTAL	3,343	3,858
LOT SIZE	6,877	6,877
% LOT COVERAGE	48.6%	56.1%



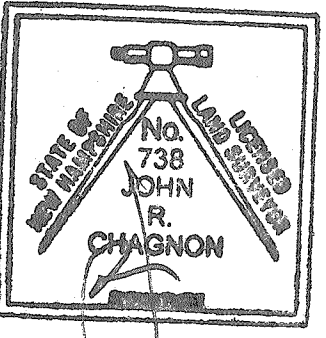
- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
 - 4) PROPOSED USE: SINGLE FAMILY RESIDENCE

ZONING CALCULATIONS:

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA:	3,000 SF	6,111 SF	6,111 SF
FRONTAGE:	NR FEET	49 FEET	49 FEET
DEPTH:	NR FEET	119 FEET	119 FEET
FRONT SETBACK:	<15 FEET	11 FEET	11 FEET
SIDE SETBACK:	5-20 FEET	N/A	N/A
REAR SETBACK:	5 FEET	3.4 FEET	3.4 FEET
MAX. STRUCTURE HEIGHT:	35 FEET	<35 FEET	<35 FEET
MAX. BUILDING COVERAGE:	60%	22.5%	26.4%
MIN. OPEN SPACE COVERAGE:	20%	51%	44%

**BUILDING ADDITION
335 MAPLEWOOD AVENUE
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	ZONING CALC NOTE	8/31/18
2	UPDATE SETBACK	7/17/18
1	GRADING, NOTES	6/25/18
0	ISSUED FOR COMMENT	5/8/18



ADDITION FOR

335 MAPLEWOOD AVE LLC

335 MAPLEWOOD AVE
PORTSMOUTH, NH 03801



ARCHITECT:



23 High Street
Portsmouth NH, 03801
PH: 603.431.8701
www.destefanoarchitects.com

OWNERS REPRESENTATIVE:

MICHAEL BRUSS

Bruss Project Management, LLC
17 Springfield Street
Concord, NH 03301
PH: 603-856-8218
mdbluss17@gmail.com

MEP ENGINEER:



Petersen
Engineering

335 Maplewood Ave. LLC
Portsmouth, NH 03801
PH: 603.436.4233
james@petersenengineering.com

STRUCTURAL ENGINEER:



JSN Associates, Inc.
1 Autumn Street
Portsmouth, NH 03801
PH: 603-433-8639

CIVIL ENGINEER:



200 Griffin Road, Unit 3
Portsmouth, NH 03801
PH: 603.430.9282
jrc@ambitengineering.com

DRAWING LIST

GENERAL
CS COVER SHEET

ARCHITECTURAL - DEMO
D1.01 DEMOLITION - FIRST FLOOR PLAN

ARCHITECTURAL
A1.01 FLOOR PLANS, DOOR AND WINDOW SCHEDULES AND NOTES
A2.00 BUILDING ELEVATIONS
A3.00 BUILDING & WALL SECTIONS

CIVIL
C1 EXISTING CONDITIONS & DEMOLITION PLAN
C2 SITE LAYOUT & LANDSCAPE PLAN
D1 EROSION CONTROL NOTES & DETAILS

MECHANICAL
M1.00 MECHANICAL FLOOR PLANS
M1.01 MECHANICAL FLOOR PLANS
M2.01 MECHANICAL SCHEDULES

ARCHITECTURAL ABBREVIATIONS

ADJ.	ADJUSTABLE	N.T.S.	NOT TO SCALE
AVB	AIR/VAPOR BARRIER	O.C.	ON CENTER
@	AT	O.F.O.I.	OWNER FURNISHED & OWNER INSTALLED
B.O.	BOTTOM	O.F.C.I.	OWNER FURNISHED & CONTRACTOR INSTALLED
C	CENTERLINE	OM	OPERATION AND
C.O.	CASED OPENING	OP	OPERATION AND
CLG.	CEILING	OPP.	OPPOSITE
CH	CEILING HEIGHT	HAND	HAND
C.M.U.	CONCRETE MASONRY UNIT	P.M.	PROJECT MANAGER
CONC	CONCRETE	PTD.	PAINTED
CRS	MASONRY COURSE	REQD	REQUIRED
DET.	DETAIL	R.	RISER AT STAIR
DF	DRINKING FOUNTAIN	R.O.	ROUGH OPENING
DN	DOWN	SHGC	SOLEAR HEAT GAIN COEFFICIENT
DWGS	DRAWINGS	SIM.	SIMILAR
E	EACH	S4P	SHELF & POLE
EQ	EQUAL	S5	STAINLESS STEEL
EXT	EXTERIOR	T.B.D.	TO BE DETERMINED
FD	FLOOR DRAIN	T.M.E.	TO MATCH EXISTING
G.C.	GENERAL CONTRACTOR	T	TREAD AT STAIR
GWB	GYPSUM WALL BOARD	T.O.	TOP OF
HGT	HEIGHT	TPO	THERMOPLASTIC POLYOLEFIN
H.P.	HIGH POINT	T.W.	TO WEATHER
INSUL	INSULATION	TYP.	TYPICAL
MAX.	MAXIMUM	U.O.N.	UNLESS OTHERWISE NOTED
MFR.	MANUFACTURER	VERT.	VERTICAL
MIN.	MINIMUM	V.I.F.	VERIFY IN FIELD
MTL	METAL	W.I.C.	WALK-IN CLOSET
NIC	NOT IN CONTRACT	W.R.	WATER RESISTANT
		w/	WITH

SPECIFICATIONS

DIVISION 1 - GENERAL REQUIREMENTS

- CONTRACTOR TO APPLY FOR, OBTAIN, AND PAY FOR BUILDING PERMITS, OTHER PERMITS, AND UTILITY COMPANY BACK CHARGES REQUIRED TO PERFORM THE WORK. SUBMIT COPIES TO OWNER WITHIN 10 DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR IF PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL KEEP ON THE WORK SITE A COPY OF THE PLANS AND SPECIFICATIONS AT ALL TIMES.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF INSPECTIONS.
- ALL EXTERIOR DETAILING HAS BEEN PREPARED TO MATCH THE DRAWINGS APPROVED BY THE PORTSMOUTH HISTORIC DISTRICT COMMISSION ON MARCH 7, 2018 WITH NO STIPULATIONS. ANY DEVIATIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCING OF WORK.
- THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLEMENTARY. ANY ITEMS WHICH ARE NECESSARY FOR COMPLETION OF THE WORK AND WHICH ARE NOT SPECIFICALLY MENTIONED OR DRAWN, BUT ARE IMPLIED IN ORDER TO COMPLETE THE WORK, SHALL BE FURNISHED AS PART OF THE WORK.
- THE GENERAL CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. GENERAL CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES, VERIFY LOCATION OF ALL UTILITIES AND EXISTING CONDITIONS, AND COORDINATE WORK WITH APPLICABLE UTILITY PROVIDERS AND RELOCATE EXISTING UTILITIES AS REQUIRED BY CODE. ANY CONFLICTS, OMISSIONS, CONDITIONS DIFFERING FROM THOSE SHOWN ON THE DRAWINGS, ETC., SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMANCE OF ANY WORK IN QUESTION.
- ALL CONSTRUCTION SHALL CONFORM TO AND BE IN ACCORDANCE WITH THE REGULATORY REQUIREMENTS OF THE STATE OF NEW HAMPSHIRE, THE CITY OF PORTSMOUTH, AND OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK - AND SHALL COMPLY WITH THE 2009 INTERNATIONAL RESIDENTIAL CODE WITH PORTSMOUTH AMENDMENTS, THE 2009 INTERNATIONAL ENERGY CODE (CLIMATE ZONE 5), OSHA REGULATIONS, AND UNDERWRITERS LABORATORIES (U.L.) REQUIREMENTS WHEN APPLICABLE.
- THE EXISTING CONDITIONS IN THE CONSTRUCTION DOCUMENTS ARE BASED ON MEASURED DRAWINGS AND PHOTOGRAPHS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. ARCHITECT SHALL BE NOTIFIED OF ANY OMISSIONS OR DISCREPANCIES IN THE DRAWINGS, OR OF ANY VARIATIONS IN DIMENSIONS OR CONDITIONS ON THE SITE FROM THOSE SHOWN ON THE DRAWINGS BEFORE THE START OF WORK. CHANGES IN THE WORK REQUIRED BY FIELD CONDITIONS SHALL NOT BE MADE WITHOUT APPROVAL OF THE ARCHITECT.
- GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION.
- UNLESS OTHERWISE NOTED, CONTRACTOR SHALL SUPPLY ALL MATERIALS, TOOLS, LABOR AND OTHER ITEMS NECESSARY TO COMPLETE THE WORK. WORKMANSHIP AND MATERIALS SHALL BE OF GOOD QUALITY AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS. INSTALL PRODUCTS AND MATERIALS IN EXACT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND APPROVED SUBMITTALS. RESTORE UNITS DAMAGED DURING INSTALLATION AND REPLACE UNITS WHICH CANNOT BE RESTORED AT NO ADDITIONAL EXPENSE TO THE OWNER. GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS AT THE SITE.
- CONTRACTOR SHALL MAINTAIN THE BUILDING IN A SAFE, SECURE AND WEATHER-TIGHT CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. NECESSARY PRECAUTIONS ARE TO BE TAKEN IN ORDER TO PROTECT THE BUILDING, ITS FINISHES, ITS OCCUPANTS, ITS CONTENTS, AND ADJACENT PROPERTY DURING THE CONSTRUCTION PERIOD. ACCESS TO THE PROPERTY IS TO BE MANAGED IN SUCH A WAY AS TO PROTECT EXISTING DRIVEWAY, WALKWAYS, AND LANDSCAPING FROM DAMAGE TO THE EXTENT POSSIBLE.
- PROVIDE TEMPORARY FACILITIES AND CONNECTIONS AS REQUIRED FOR THE PROPER COMPLETION OF THE PROJECT. ANY AND ALL UTILITY CONSUMPTION COSTS FOR WATER, SEWER AND ELECTRICITY ARE THE RESPONSIBILITY OF THE OWNER. WATER AND POWER FEEDS MUST BE OF ADEQUATE SIZE TO ALLOW WORK TO PROGRESS. DO NOT WASTE. PROVIDE TEMPORARY PROTECTION FOR ADJACENT AREAS TO PREVENT CONTAMINATION BY CONSTRUCTION DUST AND DEBRIS. PROVIDE SUITABLE WASTE DISPOSAL UNITS AND EMPTY REGULARLY. DO NOT PERMIT ACCUMULATION OF TRASH AND WASTE MATERIALS. USE OF DESIGNATED EXISTING SANITARY FACILITIES IN THE BUILDING IS NOT ACCEPTABLE. MAINTAIN EGRESS WITHIN AND AROUND CONSTRUCTION AREAS.
- THE CONTRACTOR SHALL MAINTAIN FOR THE ENTIRE DURATION OF THE WORK ALL EXITS, FIRE PROTECTION DEVICES AND ALARMS IN CONFORMANCE WITH ALL APPLICABLE CODES AND ORDINANCES. PROVIDE FIRE EXTINGUISHERS IN WORK AREAS DURING CONSTRUCTION.
- CONTRACTORS AND TRADES SHALL PROTECT ALL EXISTING SITE ELEMENTS AND ADJACENT FACILITIES FROM DAMAGE DUE TO THE DEMOLITION AND CONSTRUCTION OPERATIONS AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING CONSTRUCTION. IF CLEANING AND / OR REPAIR DOES NOT RETURN ITEMS TO ORIGINAL CONDITION CONTRACTOR SHALL INSTALL NEW ITEMS OR PATCH AND REPAIR CONSTRUCTION TO REMAIN.
- USE EXPERIENCED INSTALLERS. FURNISH EVIDENCE OF EXPERIENCE IF REQUESTED. DELIVER, HANDLE, AND STORE MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. USE OF ANY SUPPLIER OR SUBCONTRACTOR IS SUBJECT TO OWNER'S APPROVAL.
- EACH SUBCONTRACTOR AND TRADE SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THEIR WORK IN RELATION TO OTHER TRADES AND SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS AND TRADES.
- WHEN CONTRACTOR ACCEPTS DELIVERY OF ALL ITEMS NOTED ON PLANS WHETHER IN CONTRACT OR NOT IN CONTRACT, HE SHALL BE RESPONSIBLE FOR LOSS AND/OR DAMAGE TO THESE ITEMS.
- PROVIDE CUTTING & PATCHING WORK TO PROPERLY COMPLETE THE PROJECT. ALL SAWCUTTING AND CORING LOCATIONS SHALL BE REVIEWED IN THE FIELD BY THE OWNER/ARCHITECT AND COORDINATED WITH THE OWNER PRIOR TO CUTTING/CORING. DO NOT REMOVE OR ALTER STRUCTURAL COMPONENTS WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER. CUT WITH TOOLS APPROPRIATE FOR MATERIALS TO BE CUT. PATCH WITH MATERIALS AND METHODS TO PRODUCE PATCH WHICH IS NOT VISIBLE FROM A DISTANCE OF FIVE FEET. DO NOT CUT AND PATCH IN A MANNER THAT WOULD RESULT IN A FAILURE OF THE WORK TO PERFORM AS INTENDED, DECREASE FIRE PERFORMANCE, DECREASE ACOUSTICAL PERFORMANCE, DECREASE ENERGY PERFORMANCE, DECREASE OPERATIONAL LIFE, OR DECREASE SAFETY FACTORS.
- THE ARCHITECT AND STRUCTURAL ENGINEER MAINTAIN NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR OR SUBCONTRACTORS OR THOSE WORKING IN SUCH CAPACITIES, IN THE METHODS USED IN THE EXECUTION OF THE WORK, AND SAFETY PRECAUTIONS OR LACK THEREOF, TAKEN AT THE PROJECT SITE.
- THE OWNER WILL INSURE THE BUILDING AND MATERIALS STORED ON SITE TO COVER COST OF LOSS DUE TO FIRE, VANDALISM OR THEFT DURING CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE THE WORK AGAINST DEFECTS OF MATERIAL AND LABOR FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER.
- CONTRACTOR SHALL PREPARE PUNCH LIST FOR REMAINING WORK FOR REVIEW BY THE OWNER AND ARCHITECT. COMPLETE PUNCH LIST ITEMS PROMPTLY AT NO ADDITIONAL EXPENSE TO THE OWNER. SUBMIT ACCURATE RECORD DOCUMENTS OF BUILDING AND SITE. OBTAIN AND SUBMIT COPY OF OCCUPANCY PERMITS. REMOVE TEMPORARY FACILITIES AND PROVIDE FINAL TOUCH-UP. RESTORE PORTIONS OF BUILDING, SITE IMPROVEMENTS, LANDSCAPING, AND OTHER ITEMS DAMAGED BY CONSTRUCTION OPERATIONS TO THE SATISFACTION OF THE ARCHITECT/OWNER AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR WILL PRESENT THE FINISHED PROJECT TO THE OWNER CLEAN AND READY FOR OCCUPANCY. ALL GLASS AND FRAMES SHALL BE CLEANED, LABELS REMOVED, FLOORS VACUUMED.
- CONTRACTOR TO PROVIDE ARCHITECT WITH A COPY OF THE CERTIFICATE OF OCCUPANCY AND THE CERTIFICATE OF SUBSTANTIAL COMPLETION.
- PROVIDE PORTABLE FIRE EXTINGUISHER(S) WITH U.L. LABEL AND A RATING OF NOT LESS THAN 2-A, WITH 75 FT. TRAVEL DISTANCE TO ALL POSITIONS OF THE BUILDING - OR AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
- UNLESS NOTED OTHERWISE, ALL FASTENERS AND FASTENING DEVICES ARE TO BE CONCEALED IN ALL FINISHED SPACES.
- WHERE FIRE RATED WALLS AND PARTITIONS ARE NOTED ON THE DRAWINGS, THE FIRE RATING SHALL APPLY TO THE ENTIRE PERIMETER ENCLOSURE OF THE ROOMSPACE FOR THE FULL LENGTH AND HEIGHT OF AREAS BEING SEPARATED. ALL PIPING, DUCTS, CONDUITS, ETC. THAT PENETRATE RATED FLOOR SLABS AND WALLS SHALL BE INSTALLED SHALL BE INSTALLED IN A MANNER THAT WILL PRESERVE THE FIRE RATED INTEGRITY OF THE FLOOR OR WALL (PER U.L. TESTED ASSEMBLIES). ALL JOINTS SHALL BE FIT TIGHT AND INSTALLED TO MAINTAIN THE FIRE RATED INTEGRITY OF THE CONSTRUCTION.

DIVISION 2 - DEMOLITION AND SITEWORK

- SEE DEMOLITION PLANS FOR DEMOLITION NOTES. (OR COPY INTO THIS SECTION IF YOU DON'T HAVE PLANS.)
- SHORE STRUCTURAL PORTIONS OF CONSTRUCTION AS REQUIRED.
- EXCAVATION AND BACKFILL SHOULD BE DONE IN SUCH A MANNER AS TO MINIMIZE IMPACT TO SURROUNDING FOUNDATION AND GROUND AREAS. BACKFILLING IS TO BE DONE WITH CLEAN GRAVEL (NO CLAY) WITH NO STONE EXCEEDING 5" IN DIAMETER.
- ALL GRADING SHALL BE DONE IN ORDER TO DRAIN DRAINAGE AWAY FROM THE STRUCTURE.
- GENERAL CONTRACTOR TO RELOCATE EXISTING UTILITIES AS REQUIRED BY CODE.
- REFER TO CIVIL DRAWINGS FOR ALL WALL, PAVING & PLANTING LAYOUTS, DIMENSIONS, & DETAILS.
- GENERAL CONTRACTOR TO CONFIRM HOSE BIB LOCATIONS WITH OWNER.
- SEE STRUCTURAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.

DIVISION 3 - CONCRETE

- CONCRETE WORK INCLUDES FOUNDATION WALLS AND FOOTINGS, PIERS, SLABS AND PORCH STEPS.
- ALL CONCRETE IS TO BE 3000 PSI MINIMUM. ALL FOOTINGS ARE TO BE POURED TO UNDISTURBED FIRM BEARING SOIL.
- SEE STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

DIVISION 4 - MASONRY

- MASONRY WORK INCLUDES PATIOS AND RETAINING WALLS. COORDINATE SELECTION AND DETAILING WITH OWNER.
- PROVIDE LABOR, PRODUCTS, EQUIPMENT AND SUPERVISION NECESSARY TO SUPPLY AND INSTALL RETAINING WALLS AND PATIOS.
- ALL MASONRY WORK TO COMPLY WITH REQUIREMENTS OF THE MASONRY INSTITUTE OF AMERICA AND APPLICABLE BUILDING CODES.

DIVISION 6 - CARPENTRY - WOOD AND PLASTICS

- WALL FRAMING IS TO BE 2X3S (EXTERIOR WALLS) AND HEAVY TIMBER FRAMING.
- ALL CEILINGS WILL BE EXPOSED POPLAR BOARD SHEATHING.
- ALL INTERIOR WINDOW, DOOR AND BASE TRIM SHALL BE POPLAR, STYLES TO MATCH EXISTING TRIMS IN THE HOUSE, OR AS DETERMINED BY OWNER.
- EXTERIOR TRIMS TO BE PAINTED WOOD, STYLES TO MATCH EXISTING. ALL NAILS USED ON EXTERIOR TRIM TO BE STAINLESS STEEL.
- COORDINATE SELECTION AND DESIGN OF KITCHEN CABINETS, COUNTERS AND BUILT-INS WITH OWNER, KITCHEN DESIGNER AND ARCHITECT. INSTALLATION BY GENERAL CONTRACTOR.
- PROVIDE BLOCKING AS REQUIRED FOR ALL SHELVING, CABINETS, ACCESSORIES ETC.
- SEE STRUCTURAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

- EXTERIOR WALL FINISH MATERIALS TO 12" BATTEN BOARD.
- FLAT ROOF AREAS TO BE RUBBER ROOFING GULDED ON SHEATHING.
- TYPICAL ROOF CONSTRUCTION TO BE 30 YEAR ARCHITECTURAL GRADE ASPHALT SHINGLES. COORDINATE SELECTION WITH OWNER AND ARCHITECT.
- ALL SOFFITS TO MATCH EXISTING.
- VERIFY LOCATIONS OF ALL ROOF AND WALL PENETRATIONS FOR VENTS AND OTHER EQUIPMENT WITH OWNER PRIOR TO INSTALLATION.

DIVISION 8 - DOORS AND WINDOWS

- EXTERIOR DOORS AND WINDOWS AT ADDITION TO BE MAKROVIN ALUMINUM CLAD PATIO DOORS AND ENTRY DOORS, AND CASEMENT WINDOWS, EUROPEAN SPRUCE, PAINTED TO MATCH EXISTING WITH TRIPLE GLAZED LOW E GLASS - CLIMATOP ULTRA-M, WITH WARM EDGE SPACER SYSTEM.
- PROVIDE SCREEN PANELS AND EXTENSION JAMBS, FACTORY PRIMING, TEMPERED GLAZING AND OTHER ACCESSORIES NECESSARY FOR A COMPLETE INSTALLATION AND TO MEET CODE REQUIREMENTS. COORDINATE SELECTIONS WITH OWNER AND/OR ARCHITECT. PROVIDE SHOP DRAWINGS FOR OWNER AND ARCHITECT'S REVIEW PRIOR TO WINDOW AND EXTERIOR DOOR ORDER. SEE DOOR AND WINDOW SCHEDULES.
- SUPPLY AND INSTALL ALL DOOR AND CABINET HARDWARE. COORDINATE SELECTION WITH OWNER.

DIVISION 9 - FINISHES

- NEW WALLS AND CEILINGS TO BE PAINTED SHEATHING BOARDS, PAINTED. COORDINATE WITH OWNER.
- FINISH FLOOR OF NEW SPACES EXCEPT FOR BATHROOMS AND SUNROOM TO BE WOOD FLOORING, SPECIES, STYLE AND FINISH TO BE SELECTED WITH OWNER.

DIVISION 15 - MECHANICAL AND PLUMBING

- CONTRACTOR TO COORDINATE ALL REQUIREMENTS WITH SELECTED SUBCONTRACTORS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF AREAS THAT AFFECT THE PROJECT AS DELINEATED.
- SUPPLY AND INSTALL ALL FIXTURES AND FITTINGS. COORDINATE SELECTIONS WITH OWNER AND ARCHITECT. PROVIDE SUBMITTALS FOR ARCHITECTS REVIEW.
- SEE MECHANICAL AND PLUMBING DRAWINGS.

DIVISION 16 - ELECTRICAL

- ELECTRICAL AND SMOKE/FIRE ALARM SYSTEMS ARE TO BE DESIGN BUILD. CONTRACTOR TO COORDINATE ALL REQUIREMENTS WITH SELECTED SUBCONTRACTORS. THE CONTRACTOR SHALL COORDINATE AS REQUIRED AND NOTIFY THE ARCHITECT OF AREAS THAT AFFECT THE PROJECT AS DELINEATED.
- SUPPLY AND INSTALL ALL OUTLETS, RECEPTACLES, SWITCHES AND LIGHT FIXTURES AS DETERMINED WITH OWNER AND AS REQUIRED BY CODE. COORDINATE SELECTIONS WITH OWNER. VERIFY EXACT LOCATIONS OF EQUIPMENT IN FIELD WITH OWNER. REORGANIZE BRANCH CIRCUITS AS REQUIRED. HOOK UP NEW APPLIANCES IN LOCATIONS SHOWN.
- RECESSED FIXTURES TO BE ON DIMMER SWITCHES.
- RECESSED CANS TO COMPLY WITH NEC-410-65C.
- OUTLET SPACING TO COMPLY WITH NEC-210-52.
- ANY RECESSED FIXTURES (E.G. RECESSED LIGHTING, OUTLET BOXES) IN FIRE-RATED ASSEMBLIES ARE TO BE UL APPROVED FOR THAT APPLICATION AND INSTALLED PER UL REQUIREMENTS.

ARCHITECTURAL SYMBOLS

Room name		
101		ROOM TAG
101		DOOR TAG
A1.1		INT. ELEVATION MARKER
1		BUILDING ELEVATION
1		WALL SECTION MARKER
1		DETAIL MARKER
1		WALL TAG
1		WINDOW TAG
T		TEMPERED GLAZING
E		EGRESS WINDOW
Name Elevation		ELEVATION HEIGHT MARKER
1		CALLOUT MARKER
1		BUILDING SECTION MARKER
		NEW DOOR
		EXISTING DOOR
		NEW WALL
		EXISTING WALL

CONSTRUCTION DOCUMENTS

JULY 3, 2018



DEMOLITION NOTES

1. THE INTENT OF THE DRAWINGS IS TO INCLUDE ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE DEMOLITION WORK. THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND CAREFULLY VERIFY EXISTING CONDITIONS FOR COORDINATION BEFORE PROCEEDING WITH THE WORK. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
2. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL, STATE AND NATIONAL SAFETY CODES.
3. ALL WORK SHALL BE DONE IN AN ORDERLY AND PROFESSIONAL MANNER. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE WORK TO BE DONE BY SUBCONTRACTORS, WITH LOCAL AUTHORITIES, STATE AGENCIES OR UTILITY COMPANIES THAT MAY HAVE JURISDICTION OVER THIS PROJECT DURING DEMOLITION OPERATIONS.
4. PROVIDE SUITABLE WASTE DISPOSAL UNITS AND EMPTY REGULARLY. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER FOR DETAILS RELATED TO THE REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS LOCATION OF DUMPSTERS, PRIOR TO THE REMOVAL OF DEBRIS. DO NOT PERMIT ACCUMULATION OF TRASH AND WASTE MATERIALS.
5. CONTRACTOR SHALL COORDINATE RESPONSIBLE WASTE MANAGEMENT OF DEMOLISHED MATERIALS- SEE WASTE MANAGEMENT NOTE BELOW.
6. ANY WALL, PARTITION, FLOOR, CEILING OR CONSTRUCTION NOT SCHEDULED FOR DEMOLITION WHICH IS DAMAGED OR REMOVED DURING DEMOLITION IS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER BY THE CONTRACTOR.
7. REPAIR AND PREPARE REMAINING WALLS AND FLOORS TO RECEIVE NEW FINISHES WHERE REQUIRED. CONTRACTOR TO HAVE A WALK-THRU WITH THE OWNER TO VERIFY THE EXTENT OF SALVAGED ITEMS BEFORE DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEMOLISHED ITEMS. ALL EQUIPMENT AND FURNISHINGS REMOVED AND NOT SCHEDULED FOR RELOCATION SHALL BE STORED IN A LOCATION TO BE COORDINATED WITH THE OWNER.
9. GENERAL CONTRACTOR TO PROVIDE TEMPORARY SUPPORT AS REQUIRED AT ALL BEARING WALL LOCATIONS, EXTERIOR WALLS, EXTERIOR OPENINGS, AND BEAMS AS DETERMINED ON SITE BY CONTRACTOR. PATCH AND FINISH EXISTING WALLS AS REQUIRED FOR NEW ADDITION. COORDINATE w/ STRUCTURAL ENGINEER AS REQUIRED.
10. ALL ASSOCIATED MECHANICAL, PLUMBING AND ELECTRICAL TO BE REMOVED AND RELOCATED AS REQUIRED.
11. PROVIDE DEMOLITION WORK AS CALLED FOR ON THE DRAWINGS AND AS REQUIRED TO ACCOMMODATE THE ADDITION AND RENOVATION. WORK INCLUDES CUTTING OF ALL CHASES, OPENINGS, HOLES, ETC. REQUIRED FOR ALL TRADES THROUGH OR INTO THE EXISTING CONSTRUCTION. IT ALSO INCLUDES REMOVAL FROM THE SITE AND LEGAL DISPOSAL OF ALL MATERIAL, TRASH, DEBRIS, ETC. REMOVED BY SELECTIVE DEMOLITION OPERATIONS EXCEPT ANY ITEMS INDICATED TO BE REUSED ON THE PROJECT OR TO BE STORED FOR OWNER'S FUTURE USE. ALL SUCH ITEMS ARE TO BE CAREFULLY AND SAFELY STORED AT THE OWNER'S DIRECTION. DEMOLITION ALSO INCLUDES CLEANING OF ALL INTERIOR AND EXTERIOR WORK AREAS OF THE BUILDING FOLLOWED BY THOROUGH CLEANING OF ALL INTERIOR SURFACES TO BE EXPOSED IN THE FINISHED WORK AND ALL INTERIOR AND EXTERIOR SURFACES TO RECEIVE NEW FINISHES.
12. CARRY OUT SELECTIVE DEMOLITION WITH THE UTMOST CARE, USING APPROPRIATE AND SAFE TOOLS AND METHODS TO ASSURE THAT THE BUILDING STRUCTURES OR FINISHES ARE NOT DAMAGED.
13. CUT OR REMOVE WORK CAUSING OPENINGS IN THE EXTERIOR WALLS PROVIDING WEATHER PROTECTION ONLY AFTER TEMPORARY WEATHER PROOF ENCLOSURES HAVE BEEN PROVIDED.

PROJECT WASTE MANAGEMENT

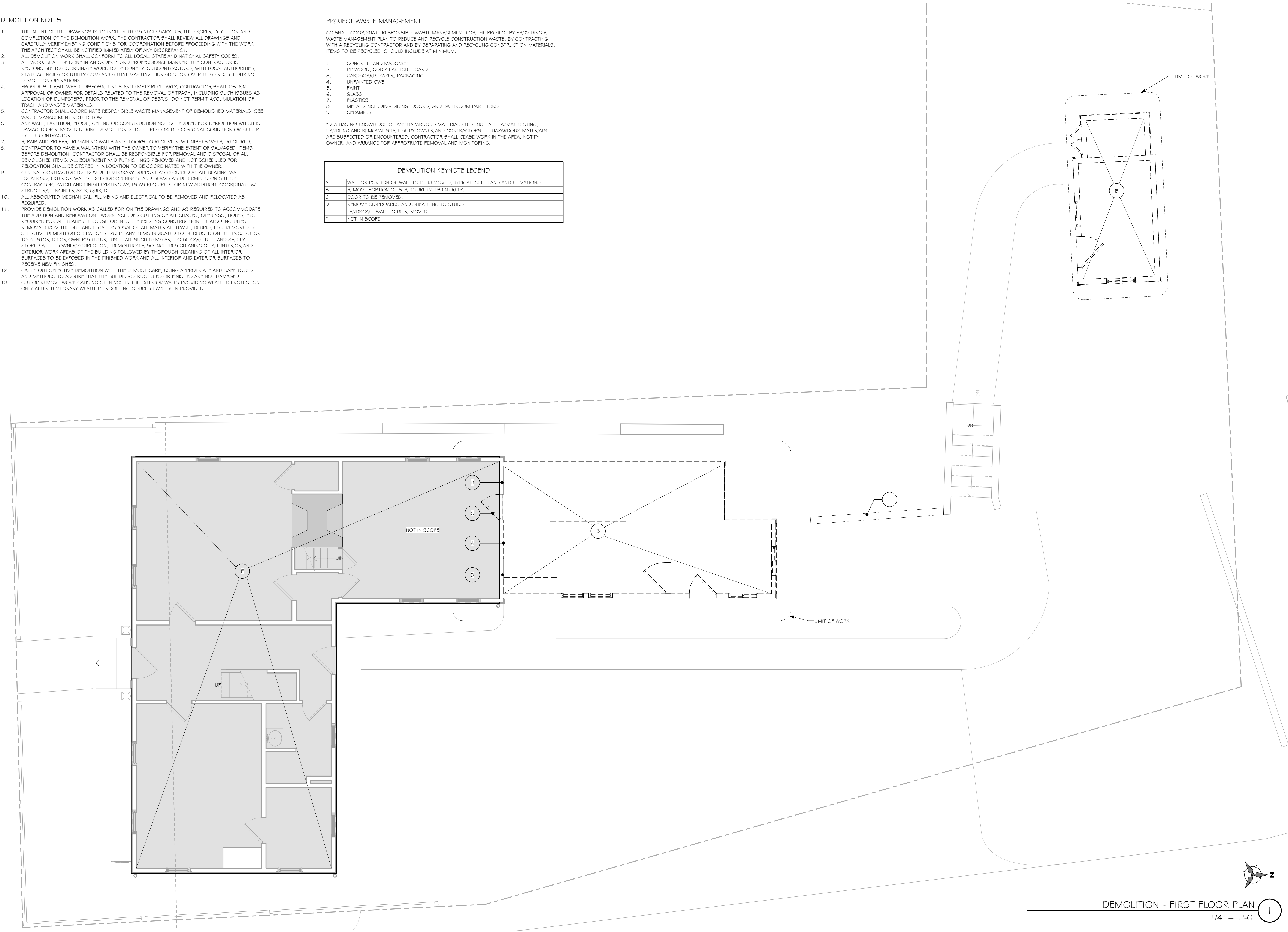
GC SHALL COORDINATE RESPONSIBLE WASTE MANAGEMENT FOR THE PROJECT BY PROVIDING A WASTE MANAGEMENT PLAN TO REDUCE AND RECYCLE CONSTRUCTION WASTE, BY CONTRACTING WITH A RECYCLING CONTRACTOR AND BY SEPARATING AND RECYCLING CONSTRUCTION MATERIALS. ITEMS TO BE RECYCLED- SHOULD INCLUDE AT MINIMUM:

1. CONCRETE AND MASONRY
2. FLYWOOD, OSB & PARTICLE BOARD
3. CARDBOARD, PAPER, PACKAGING
4. UNPAINTED GWB
5. PAINT
6. GLASS
7. PLASTICS
8. METALS INCLUDING SIDING, DOORS, AND BATHROOM PARTITIONS
9. CERAMICS

*D|A HAS NO KNOWLEDGE OF ANY HAZARDOUS MATERIALS TESTING. ALL HAZMAT TESTING, HANDLING AND REMOVAL SHALL BE BY OWNER AND CONTRACTORS. IF HAZARDOUS MATERIALS ARE SUSPECTED OR ENCOUNTERED, CONTRACTOR SHALL CEASE WORK IN THE AREA, NOTIFY OWNER, AND ARRANGE FOR APPROPRIATE REMOVAL AND MONITORING.

DEMOLITION KEYNOTE LEGEND

A	WALL OR PORTION OF WALL TO BE REMOVED, TYPICAL. SEE PLANS AND ELEVATIONS.
B	REMOVE PORTION OF STRUCTURE IN ITS ENTIRETY.
C	DOOR TO BE REMOVED.
D	REMOVE CLAPBOARDS AND SHEATHING TO STUDS
E	LANDSCAPE WALL TO BE REMOVED
F	NOT IN SCOPE



Revisions:

#	Description	Date
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ADDITION FOR
335 MAPLEWOOD AVE
LLC
335 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

Title:
DEMOLITION - FIRST FLOOR PLAN

Scale: As indicated

Drawn By: BR, VR

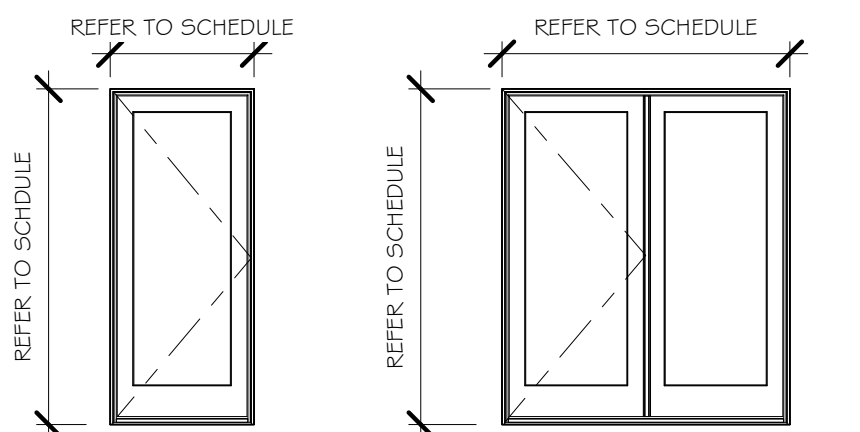
Checked By: JA

Project No.: 201763

Date: JULY 3, 2018



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101A
FULL LITE GLASS
PELLA ARCHITECT SERIES

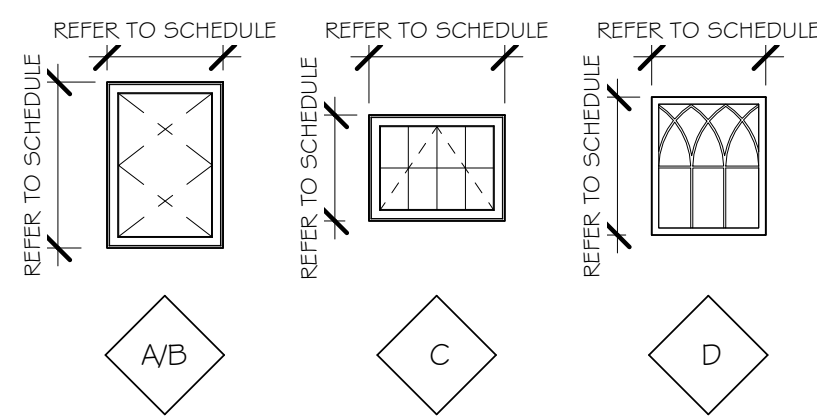
102A
FULL LITE GLASS
SINGLE-LEAF - DOUBLE
PELLA ARCHITECT SERIES



103A
MATCH EXISTING

104A
MATCH EXISTING

WINDOW TYPES



DOOR SCHEDULE			
NUMBER	LOCATION	SIZE	
		WIDTH	HEIGHT
101A	FOYER	3'-0"	7'-0"
102A	KITCHEN	6'-0"	7'-0"
103A	SHED	3'-0"	6'-6"
104A	STORAGE	3'-0"	5'-7"

GENERAL DOOR NOTES

- EXTERIOR DOORS AT ADDITION TO BE PELLA ALUMINUM CLAD PATIO DOORS AND ENTRY DOORS, EUROPEAN SPRUCE, PAINTED TO MATCH EXISTING WITH TRIPLE GLAZED LOW E GLASS - CLIMATOP ULTRA-N, WITH WARM EDGE SPACER SYSTEM.
- EXTERIOR DOORS AT SHED TO MATCH EXISTING STYLE, PAINTED.
- ALL DOOR SWINGS AND OPERATIONS SHALL BE AS SHOWN ON PLANS AND ELEVATIONS.
- ALL GLASS IN DOORS TO BE TEMPERED.
- PROVIDE SHOP DRAWINGS FOR OWNER AND ARCHITECT'S REVIEW PRIOR TO DOOR ORDER.
- SUPPLY AND INSTALL ALL DOOR HARDWARE. COORDINATE SELECTION WITH OWNER AND ARCHITECT.

WINDOW SCHEDULE							
KEY	MANUFACTURER	SERIES	WIDTH	HEIGHT	HEAD HEIGHT	TYPE	
A	MAKROWIN	MW88	2'-5"	3'-5 1/2"	7'-0"	PIVOT CSMT	
B	MAKROWIN	MW88	3'-0"	4'-10"	6'-10"	PIVOT CSMT	
C	SALVAGED SINGLE PANE		2'-10"	2'-2 1/2"	7'-0"	TO MATCH EXISTING	
D	SALVAGED SINGLE PANE		2'-6"	3'-0"	7'-0"	TO MATCH EXISTING	

GENERAL WINDOW NOTES

- NEW WINDOWS AT ADDITION TO BE MAKROWIN ALUMINUM CLAD CASEMENT WINDOWS, EUROPEAN SPRUCE, PAINTED TO MATCH EXISTING, WITH TRIPLE GLAZED LOW E GLASS - CLIMATOP ULTRA-N, WITH WARM EDGE SPACER SYSTEM.
- WINDOWS AT SHED TO MATCH EXISTING STYLE, PAINTED.
- ALL CASEMENT WINDOW SWINGS AND OPERATIONS SHALL BE AS SHOWN ON PLANS AND ELEVATIONS.
- PROVIDE SHOP DRAWINGS FOR OWNER AND ARCHITECT'S REVIEW PRIOR TO WINDOW ORDER.

DOOR AND WINDOW SAFETY GLAZING NOTES:

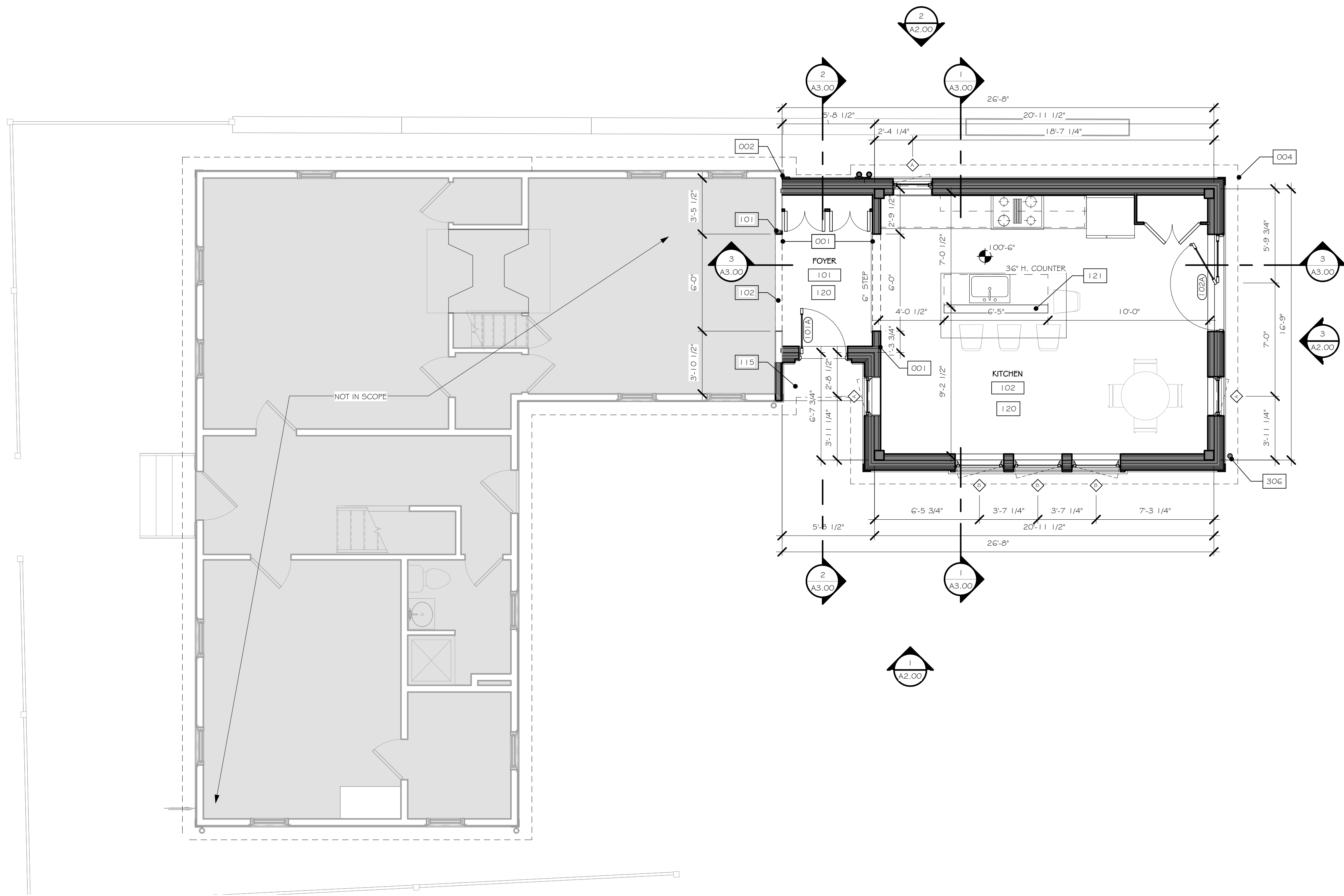
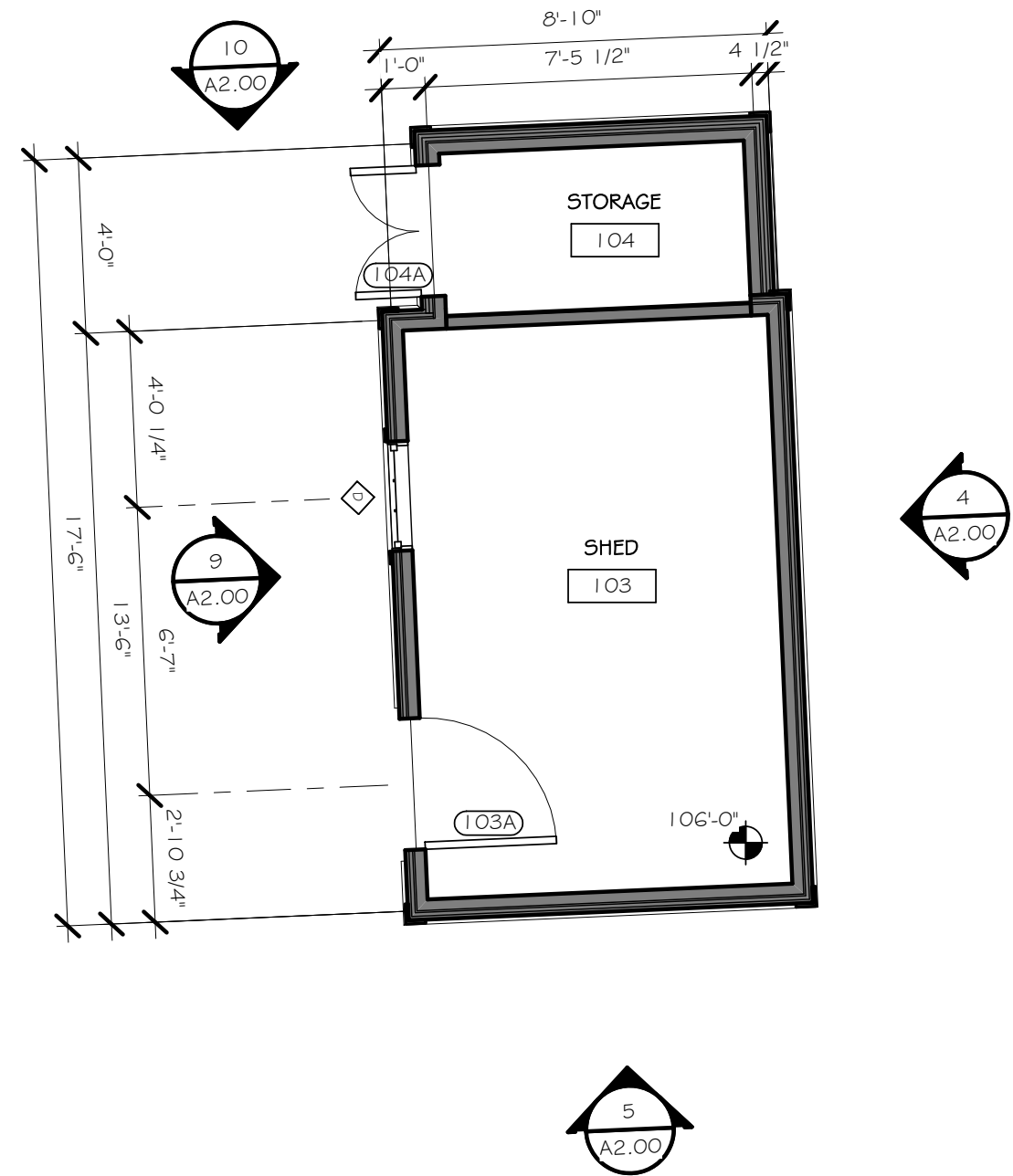
- ENTRANCE DOOR FENESTRATION MAX. U-FACTOR = 0.80, DOOR FENESTRATION MIN. SHGC = 0.40
- WINDOW FENESTRATION MAX. U-FACTOR = 0.35, FENESTRATION MIN. SHGC = 0.40
- SAFETY GLAZING REQUIRED IN SWINGING DOORS.
- SAFETY GLAZING REQUIRED IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES.
- SAFETY GLAZING REQUIRED IN AN INDIVIDUAL FIXED OR OPERABLE PANELS ADJACENT TO A DOOR, INCLUDING ADJACENT WINDOWS, WITHIN 24" OF THE VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE IS LESS THAN 60" A.F.F.
- SAFETY GLAZING REQUIRED WHERE **ALL** OF THE FOLLOWING CONDITIONS ARE MET:
 - EXPOSED AREA OF INDIVIDUAL PANE IS GREATER THAN 9 SF.
 - EXPOSED BOTTOM EDGE IS LESS THAN 18" A.F.F.
 - EXPOSED TOP EDGE IS GREATER THAN 36" A.F.F.
 - ONE OR MORE WALKING SURFACES IS WITHIN 36" HORIZONTALLY OF THE PLANE OF THE GLAZING.

GENERAL CONSTRUCTION NOTES

- REFER TO CIVIL PLAN FOR ADDITION LOCATION, PROPOSED SITEWORK & EXTERIOR GRADE ELEVATIONS.
- ELEVATIONS NOTED ARE ARCHITECTURAL WHERE FIRST FLOOR IS ESTABLISHED AS 100'-0" FOR RELATIVE DIMENSIONING.
- REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION, SLAB AND FRAMING INFORMATION AND DETAILS.
- ALL ELEVATION HEIGHTS GIVEN ARE ARCHITECTURAL, FROM THE FIRST FLOOR = 100'-0".
- "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED, DETAILS USUALLY KEYED AND NOTED "TYP." ONLY WHEN THEY FIRST OCCUR.
- "SIM." SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
- DO NOT SCALE DRAWINGS - DIMENSIONS SHALL GOVERN. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FINAL PLACEMENT OF MATERIALS. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
- DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE:
 - TO FACE OF FRAMING AT EXTERIOR
 - TO FINISHED FACES OF EXISTING WORK
 - TO FACE OF STUDS AT NEW WORK
 - TO CENTERLINE OF COLUMNS, DOORS AND WINDOWS
 - TO TOP OF FINISHED FLOOR AT EXISTING WORK
 - TO TOP OF SLEEPERS OR TOP OF CONCRETE FLOORS AT NEW CONSTRUCTION
- ALL WOOD ELEMENTS IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED.

KEYNOTE LEGEND

001	ALIGN
002	ALIGN FINISH FACE OF WALL w/ EDGE OF EXISTING CORNERBOARD.
004	LINE OF ROOF OVERHANG ABOVE
101	INFILL AT EXISTING OPENING
102	EXISTING FLOOR STRUCTURE TO REMAIN. PATCH AND REPAIR EXISTING FLOOR AS NEEDED.
114	REFER TO CIVIL DRAWINGS AND COORDINATE w/ OWNER/GC FOR PATIOS, WALKS, RETAINING WALLS, STEPS, FENCES AND LANDSCAPING
115	SOLID GRANITE STEP, SLOPE TO DRAIN. COORDINATE w/ OWNER/GC.
120	COORDINATE SELECTION AND DESIGN OF ALL FIXTURES AND FITTINGS, CABINETS, BUILT-INS, COUNTERS AND ACCESSORIES TO BE COORDINATED w/ OWNER/GC.
121	PARTIAL HEIGHT WALL AT KITCHEN ISLAND
306	COPPER GUTTERS AND DOWNSPOUTS TIED INTO PERIMETER DRAINAGE. SEE SPECS.



FIRST FLOOR PLAN

1/4" = 1'-0"

1

Revisions:
Description Date

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ADDITION FOR
335 MAPLEWOOD AVE
LLC
335 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

Title:
FLOOR PLANS,
DOOR AND
WINDOW
SCHEDULES AND
NOTES

Scale: 1/4" = 1'-0"
Drawn By: BR, VR
Checked By: JA
Project No.: 201763
Date: JUNE 29, 2018



A1.01

10

9



5

4

8

7

6



- | GENERAL CONSTRUCTION NOTES | | Revisions |
|----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| 1. | REFER TO CIVIL PLAN FOR ADDITION LOCATION, PROPOSED SITEWORK & EXTERIOR GRADE ELEVATIONS. | Revisions |
| 2. | ELEVATIONS NOTED ARE ARCHITECTURAL WHERE FIRST FLOOR IS ESTABLISHED AS 100'-0" RELATIVE DIMENSIONING. | FOR |
| 3. | REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION, SLAB AND FRAMING INFORMATION AND DETAILS. | |
| 4. | ALL ELEVATION HEIGHTS GIVEN ARE ARCHITECTURAL, FROM THE FIRST FLOOR = 100'-0" 'TYP.' SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED, DETAILS USUALLY KEYED AND NOTED 'TYP.' ONLY WHEN THEY FIRST OCCUR. | |
| 5. | 'DIM.' SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED, VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS. | |
| 6. | DO NOT SCALE DRAWINGS - DIMENSIONS SHALL GOVERN, VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FINAL PLACEMENT OF MATERIALS, NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES. | |
| 7. | DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE: | |
| a. | TO FACE OF FRAMING AT EXTERIOR. | |
| b. | TO FINISHED FACES OF EXISTING WORK. | |
| c. | TO FACE OF STUDPS AT NEW WORK. | |
| d. | TO CENTERLINE OF COLUMNS, DOORS AND WINDOWS. | |
| e. | TO TOP OF FINISHED FLOOR AT EXISTING WORK. | |
| f. | TO TOP OF SLEEPERS OR TOP OF CONCRETE FLOORS AT NEW CONSTRUCTION. | |
| g. | ALL WOOD ELEMENTS IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED. | |

KEYNOTE LEGEND	
110	CONCRETE FOUNDATION. SEE STRUCTURAL
113	APPROXIMATE GRADE PITCHED AWAY FROM BUILDING MINIMUM 1/4"FT FOR 3' MINIMUM. HOLD GRADE APPROXIMATELY 6" FROM TOP OF FOUNDATION - SEE CIVIL AND STRUCTURAL DRAWINGS.
114	REFER TO CIVIL DRAWINGS AND COORDINATE w/ OWNER/GC FOR PATIOS, WALKS, RETAINING WALLS, STEPS, FENCES AND LANDSCAPING
115	SOLID GRANITE STEP SLOPE TO DRAIN. COORDINATE w/ OWNER/GC.
131	4" CONCRETE SLAB ON 6 MIL POLYETHYLENE VAPOR BARRIER
132	2" SLAB INSULATION
133	GRANULAR DRAINAGE PAD
134	2x3 WOOD STUD @24" O.C.
135	ADVANTECH SHEATHING
136A	VERTICAL LAYER PRESSURE TREATED STRAPPING AT 12" O.C.
136B	HORIZONTAL LAYER OF PRESSURE TREATED STRAPPING AT 12" O.C. RUNNING PERPENDICULAR TO EACH OTHER
140	HEADERS AND OTHER FRAMING. SEE STRUCTURAL.
142	PAINTED PANELBOARD
143	PAINTED 2" BATTEN
144	STONE VENEER FINISH w/ METAL ANGLE
145	CLAPBOARD SIDING
147	NEW, RECOVERED, SINGLE PANE WINDOW TO MATCH DESIGN OF EXISTING WINDOW. COORDINATE w/ OWNER/GC.
151	COPPER RANGE HOOD VENT
201	CORNERBOARD TRIM: 5/4x6 PAINTED
202	6/4x4 PAINTED TRIM
203	6/4x6 PAINTED TRIM
204	6/4x8 PAINTED TRIM
205	PAINTED SCOTIA
210	TYPICAL EXTERIOR WINDOW AND DOOR TRIM TO MATCH EXISTING. COORDINATE w/ OWNER/GC.
211	CONTINUOUS AZEK 2" HISTORIC SILL, PAINTED.
220	FASCIA TRIM TO MATCH EXISTING. COORDINATE w/ OWNER/GC.
301	TYPICAL ROOF CONSTRUCTION (INSULATED): ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES ON ICE AND WATER SHIELD AND ASPHALT SHINGLE STARTER COURSE ON 5/8" CDX PLYWOOD SHEATHING ON (2) 3" LAYERS OF MINERAL WOOL INSULATION ON STRUCTURE w/ COPPER DRIP EDGE. MINIMUM R=38. SEE STRUCTURAL DRAWINGS.
302	TYPICAL ROOF CONSTRUCTION (UNINSULATED): ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES ON ICE AND WATER SHIELD AND ASPHALT SHINGLE STARTER COURSE ON 5/8" CDX PLYWOOD SHEATHING ON STRUCTURE w/ COPPER DRIP EDGE. SEE STRUCTURAL DRAWINGS.
303	FLAT ROOF CONSTRUCTION (INSULATED): MEMBRANE ROOFING ON 5/8" PLYWOOD SHEATHING ON (2) 3" LAYERS OF MINERAL WOOL INSULATION ON STRUCTURE w/ COPPER DRIP EDGE. SEE STRUCTURAL DRAWINGS.
304	COPPER SINK VENT
305	TYPICAL ROOFWALL INTERSECTION: PROVIDE 1" Ø ICE AND WATER SHIELD BOTH SIDES OF JOINT, TYP. & COPPER FLASHING BEHIND TRIM OR CLAPBOARDS MIN. 6" VERTICALLY.
306	COPPER GUTTERS AND DOWNSPOUTS TIED INTO PERIMETER DRAINAGE. SEE SFECS.

D/A

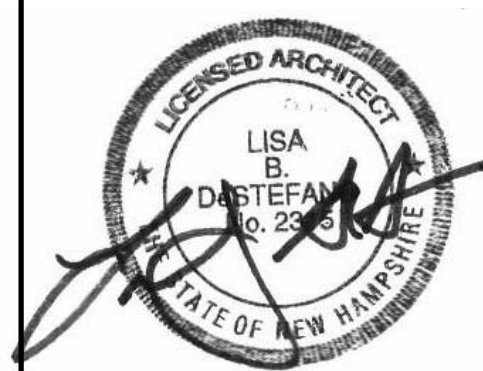
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ADDITION FOR
335 MAPLEWOOD AVE
LLC
335 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

Title:
BUILDING
ELEVATIONS

Scale:	As indicated
Drawn By:	BR, VR
Checked By:	JA
Project No.:	201763
Date:	JUNE 29, 2018



A2.00



- | | |
|------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 110 | CONCRETE FOUNDATION. SEE STRUCTURAL |
| 111 | FILTER FABRIC OVER GRAVEL, ABOVE AND BELOW CONTINUOUS 4" PERFORATED PVC DRAIN PIPE, TYP. OWNER/GC TO COORDINATE DRAIN LOCATION w/ CIVIL ENGINEER. |
| 112 | SPRAY-ON WATER PROOFING AT OUTSIDE FACE OF FOUNDATION WALL - SEE STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING INFORMATION. |
| 113 | APPROXIMATE GRADE PITCHED AWAY FROM FOUNDATION MINIMUM 1/4"FT FOR 3' MINIMUM. HIGH GRADE APPROXIMATELY 6" FROM TOP OF FOUNDATION - SEE CIVIL AND STRUCTURAL DRAWINGS. |
| 115 | SOLID GRANITE STEP, SLOPE TO DRAIN, COORDINATE w/ OWNER/GC. |
| 120 | COORDINATE SELECTION AND DESIGN OF ALL FIXTURES AND FITTINGS, CABINETS, BUILT-INS, COUNTERTOPS AND ACCESSORIES TO BE COORDINATED w/ OWNER/GC. |
| 121 | PARTIAL HEIGHT WALL AT KITCHEN ISLAND |
| 130 | FINISH FLOOR ON 2x3 SLEEPERS AND GYPCRETE. SEE STRUCTURAL. |
| 131 | 4" CONCRETE SLAB ON 6 MIL POLYETHYLENE VAPOR BARRIER |
| 132 | 2" SLAB INSULATION |
| 133 | GRANULAR DRAINAGE PAD |
| 134 | 2x3 WOOD STUD @24" O.C. |
| 135 | ADVANTECH SHEATHING |
| 136 | VERTICAL LAYER PRESSURE TREATED STRAPPING AT 12" O.C. |
| 136B | HORIZONTAL LAYER OF PRESSURE TREATED STRAPPING AT 12" O.C. RUNNING PERPENDICULAR TO EACH OTHER |
| 137 | 2" MINERAL WOOL INSULATION. |
| 138 | 1" SLAB EDGE INSULATION. |
| 139 | HEAVY TIMBER BEAM FRAMING. COORDINATE w/ OWNER/GC. |
| 140 | HEADERS AND OTHER FRAMING. SEE STRUCTURAL. |
| 141 | INTERIOR PAINTED POPLAR BOARD FINISH. COORDINATE w/ OWNER/GC. |
| 142 | PAINTED PANELEBOARD |
| 143 | PAINTED 2" BATTEN |
| 144 | STONE VENEER FINISH w/ METAL ANGLE |
| 146 | MAKROMIN MW88 ALUMINUM CLAD - CLASSIC WINDOW - INSTALL PER MANUFACTURER'S INSTRUCTIONS WITH ADHESIVE THROUGH-WALL FLASHING ALL SIDES AND COPPER HEAD AND SILL FLASHING. COORDINATE w/ OWNER/GC. |
| 148 | COPPER FLASHING. |
| 149 | DRAINAGE FLANGE MATERIAL. COORDINATE w/ OWNER/GC. |
| 150 | COR-A-VENT |
| 201 | CORNERBOARD TRIM. 5/4x6 PAINTED |
| 202 | 6/4x4 PAINTED TRIM |
| 203 | 6/4x6 PAINTED TRIM |
| 205 | PAINTED SCOTIA |
| 210 | TYPICAL EXTERIOR WINDOW AND DOOR TRIM TO MATCH EXISTING. COORDINATE w/ OWNER/GC. |
| 211 | CONTINUOUS AZEK 2" HISTORIC SILL, PAINTED. |
| 220 | FASCIA TRIM TO MATCH EXISTING. COORDINATE w/ OWNER/GC. |
| 301 | TYPICAL ROOF CONSTRUCTION (INSULATED): ARCHITECTURAL GRADE 30 YEAR ASPHALT SHINGLES ON ICE AND WATER SHIELD AND ASPHALT SHINGLE STARTER COURSE ON 5/8" CDX PLYWOOD SHEATHING ON (2) 3" LAYERS OF MINERAL WOOL INSULATION ON STRUCTURE w/ COPPER DRIP EDGE. MINIMUM R-38. SEE STRUCTURAL DRAWINGS. |
| 303 | FLAT ROOF CONSTRUCTION (INSULATED): MEMBRANE ROOFING ON 5/8" PLYWOOD SHEATHING ON (2) 3" LAYERS OF MINERAL WOOL INSULATION ON STRUCTURE w/ COPPER DRIP EDGE. SEE STRUCTURAL DRAWINGS. |
| 304 | COPPER SINK VENT |
| 306 | COPPER GUTTERS AND DOWNSPOUTS TIED INTO PERIMETER DRAINAGE. SEE SPECS. |

ADDITION FOR
335 MAPLEWOOD AVE
LLC
335 MAPLEWOOD AVE
PORTSMOUTH, NH 03801

Title:
BUILDING & WALL
SECTIONS

Scale: As indicated

Drawn By: BR, VR

Checked By: JA

Project No.: 201763

Date: JUNE 29, 2018



A3.00



