

APR 23 2018

CITY OF PORTSMOUTH  
Zoning Board of Adjustment Application BY: \_\_\_\_\_

Department Use Only _____	Date <u>4-23-18</u>
Assessor Plan # _____	Lot # _____
Zone _____	Lot area _____
	Fee _____
	By _____

Fill in below by printing in ink or typing / Complete all Blanks or indicate "N/A" if not applicable

Applicant Jeff Caron Owner of Record Jeff Caron  
 Applicant Street Address 325 Thaxter Rd. Owner Street Address 325 Thaxter Rd.  
 Applicant City / State / Zip Portsmouth NH 03801 Owner City / State / Zip Portsmouth NH 03801  
 Applicant phone (603) 969-4145 Owner phone (603) 969-4145  
 Applicant e-mail jeffcaron99@gmail.com  
 Location (street address) of proposed work: 325 Thaxter Rd.  
 Existing use: Single Family Residence

Undersigned hereby requests:

Article and Section

- Appeal from an Administrative Decision  
See Article 2, Section 10.234.30
  - Special Exception  
See Article 2, Section 10.232.20
  - Variance  
See Article 2, Section 10.233.20
  - Other \_\_\_\_\_  
See Article 2, Section 10.233.20
- 10.521 Dimensional Requirements  
10.321 Non-Conforming

To permit the following:

To allow the small revision of a roofline on part of an addition that was previously approved by the BOA on February 21, 2018

The undersigned alleges that the required conditions exist for granting of this request according to the terms of the Zoning Ordinance as demonstrated in the attached submittals.

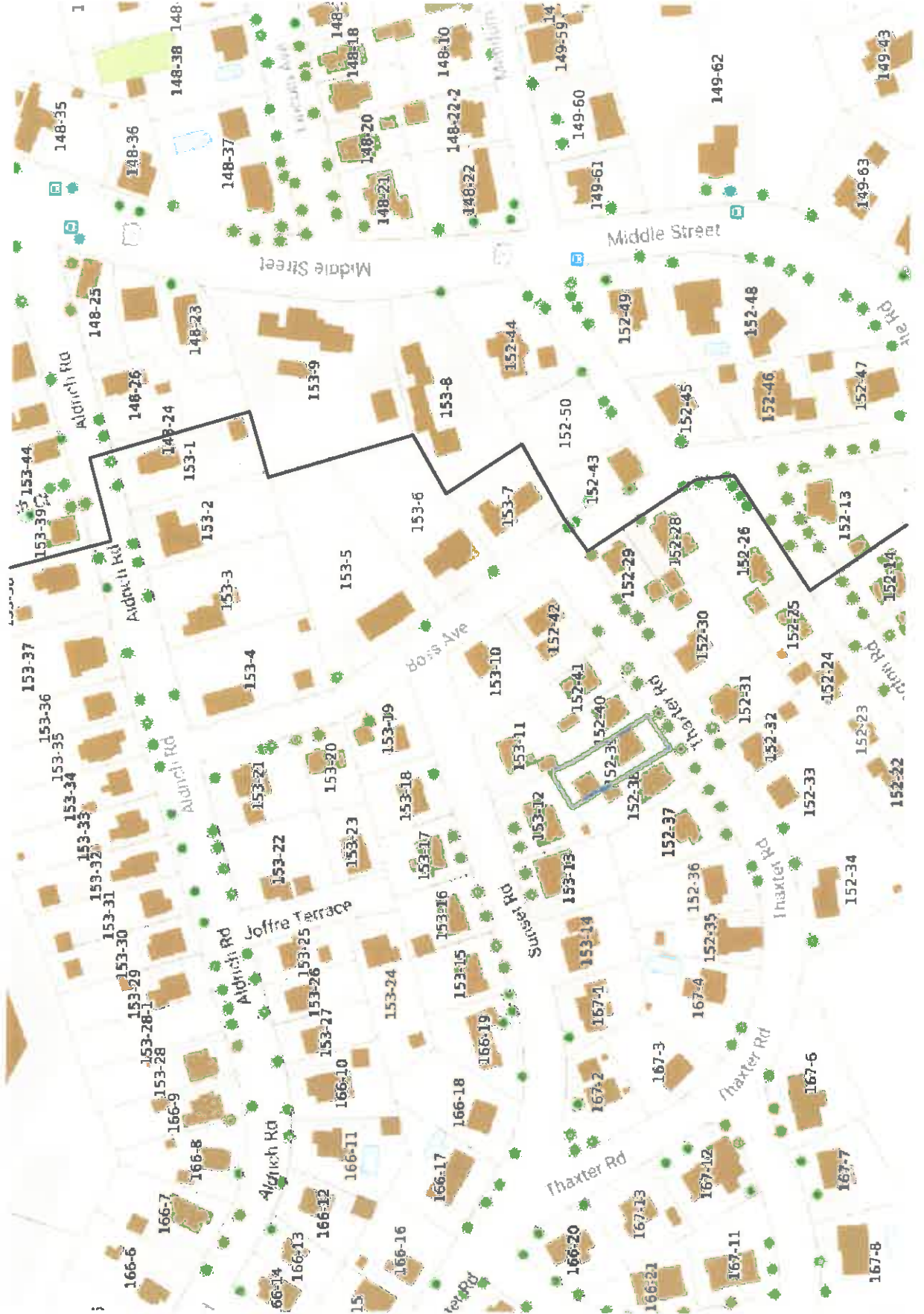
Only complete applications will be accepted by the deadline date. A complete application shall consist of: a completely filled out application with original signatures, the application fee, and 12 packets of required plans and any supporting documents or photos. Incomplete applications will not be accepted. Applications received after the deadline will be scheduled for the following month. The owner or his/her representative is required to attend the Public Hearing for the above appeal.

Signature of Owner Jeff Caron Date 4/20/18

Please PRINT name here Jeffrey J. Caron



# Neighborhood Map Map 152, Lot 39 No Scale



JEFF & RONDA CARON  
325 THAXTER ROAD  
PORTSMOUTH, NH 03801

ARILDA DESIGN  
www.arilda.com  
9 ADAMS LANE, UNIT 2  
KITTELY, MAINE 03904  
207-604-6848

Revised BOA Application  
for small roofing revision  
BOA approval 2-21-2018

date: Apr 20, 2018

SHT. 1

V. 100 101

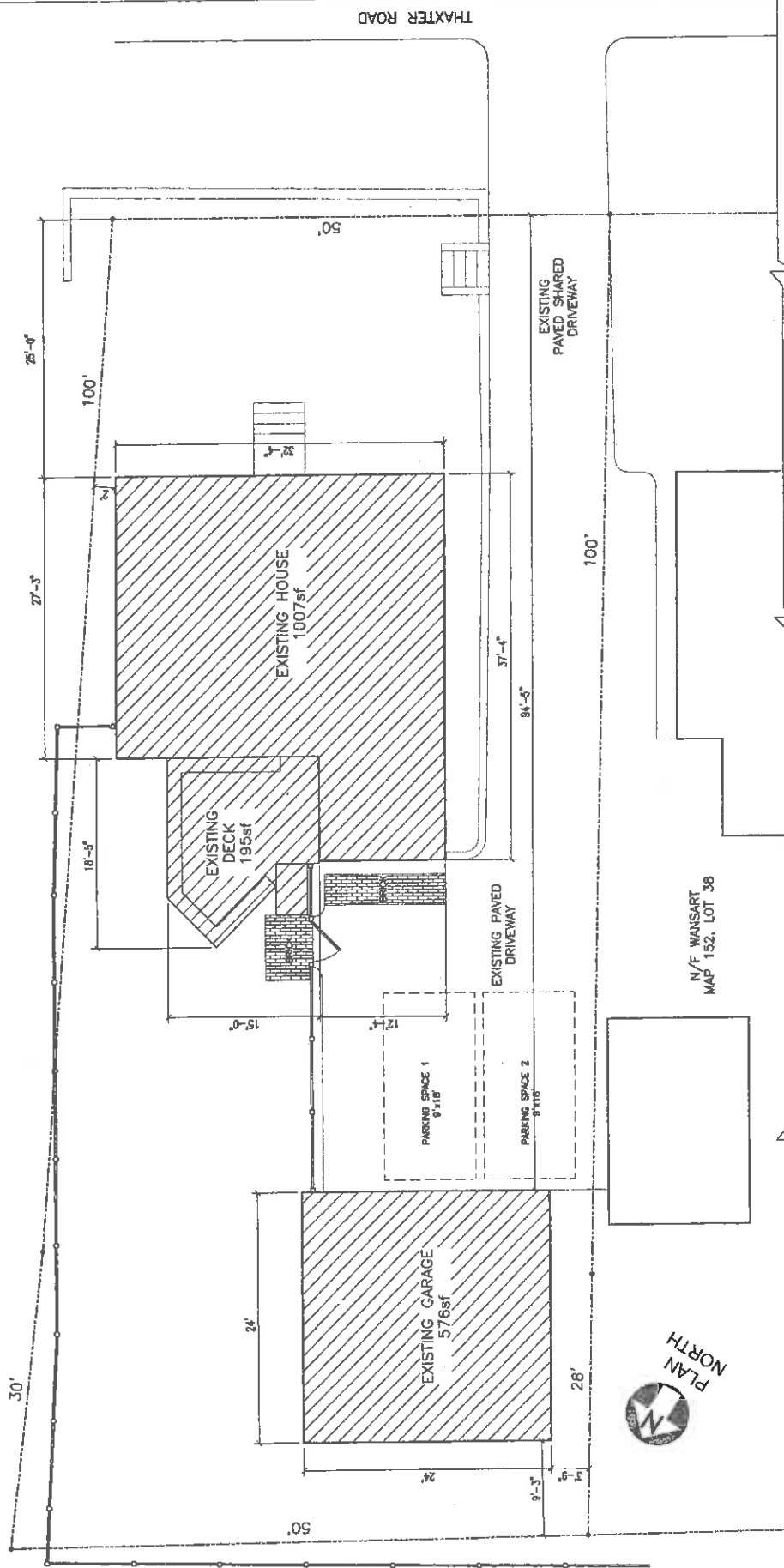
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 for small routine revision  
 BOA Approval 2-21-2018

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**SHT. 2**



**Existing Site Plan**  
**Map 152, Lot 39**  
 Scale: 1/16" = 1'-0"

# Proposed Site Plan - unchanged

## Map 152, Lot 39

scale: 1/16" = 1'-0"

CARON RESIDENCE MAP 152 / LOT 39  
PORTSMOUTH RESIDENTIAL ZONE SRB REGULATIONS:

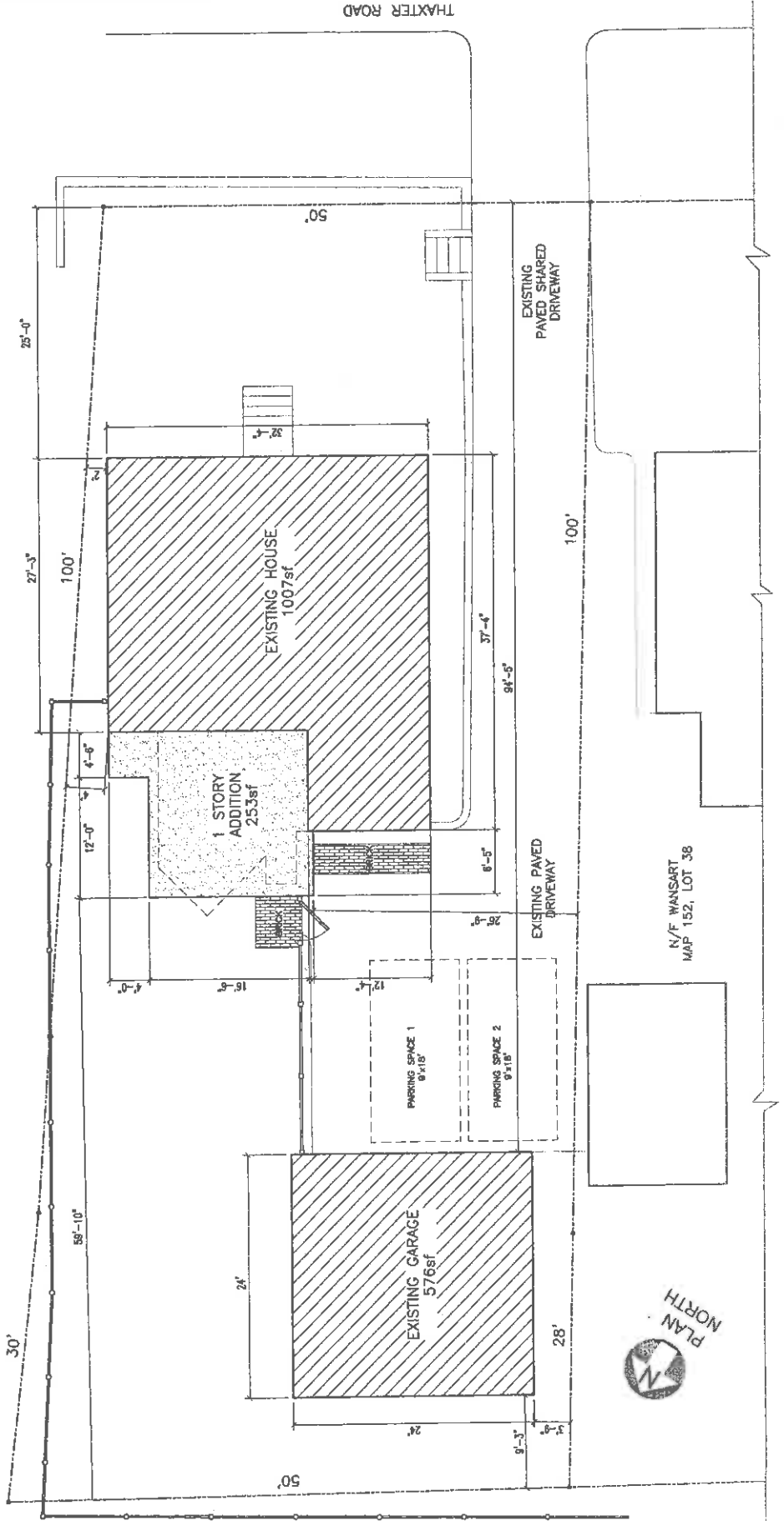
	LOT 39 EXISTING	PROPOSED
MIN. LAND AREA PER UNIT	15,000 SF	6534 SF
MIN. LOT SIZE	15,000 SF	6534 SF
MIN. STREET FRONTAGE	100'	50'
MAX BUILDING COVERAGE	20%	28.1%
MIN. FRONT YARD	30'	25'
MIN. REAR YARD	30'	9'-3"
MIN. SIDE YARDS	10'	3'-9" LEFT, ±2' RIGHT
MIN. OPEN SPACE	40%	46.8%

EXISTING & PROPOSED IMPERVIOUS SURFACE VS. OPEN SPACE:

	EXISTING	PROPOSED
STRUCTURES	1778 SF	1836 SF
ENTRY STEPS	51 SF	51 SF
BRICK PATIO	59 SF	59 SF
DRIVEWAY	1528 SF	1528 SF
TOTAL	3416 SF	3474 SF
PERCENTAGE OF LOT	52.3%	53.2%
OPEN SPACE	47.7%	46.8%

MAP 152 / LOT 39 EXISTING & PROPOSED BUILDING STRUCTURES:

	EXISTING	PROPOSED
HOUSE	1007 SF	1260
DECK	195 SF	0
GARAGE	576 SF	576 SF
TOTAL	1778 SF	1836 SF
TOTAL GROSS FLR AREA	1632 SF	1690 SF



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SHT. 3





FRONT



FRONT / RIGHT SIDE



REAR



REAR / LEFT SIDE

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SHT. 4

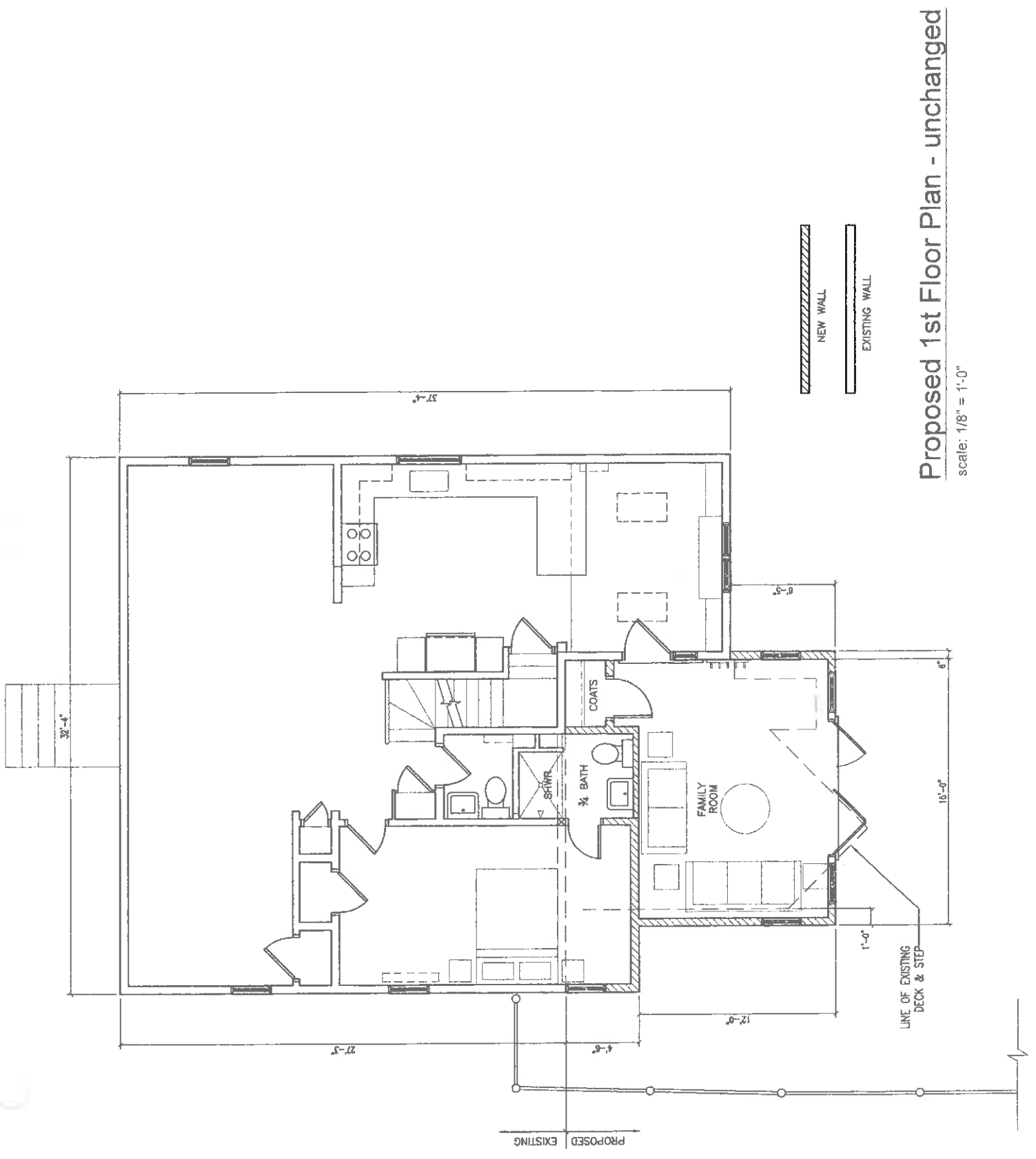
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SHT. 5



Proposed 1st Floor Plan - unchanged  
 scale: 1/8" = 1'-0"

PROPOSED | EXISTING

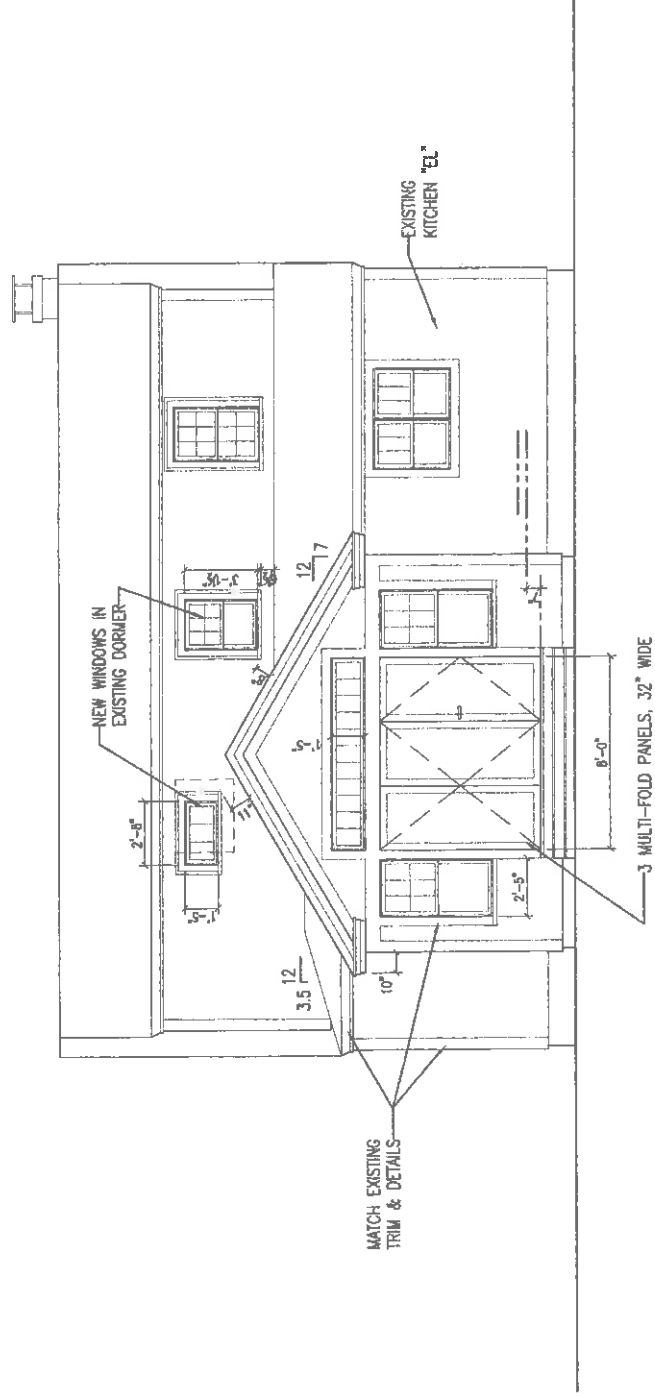
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SHT. 6



REAR ELEVATION

Previously Approved Rear Elevation

scale: 1/8" = 1'-0"

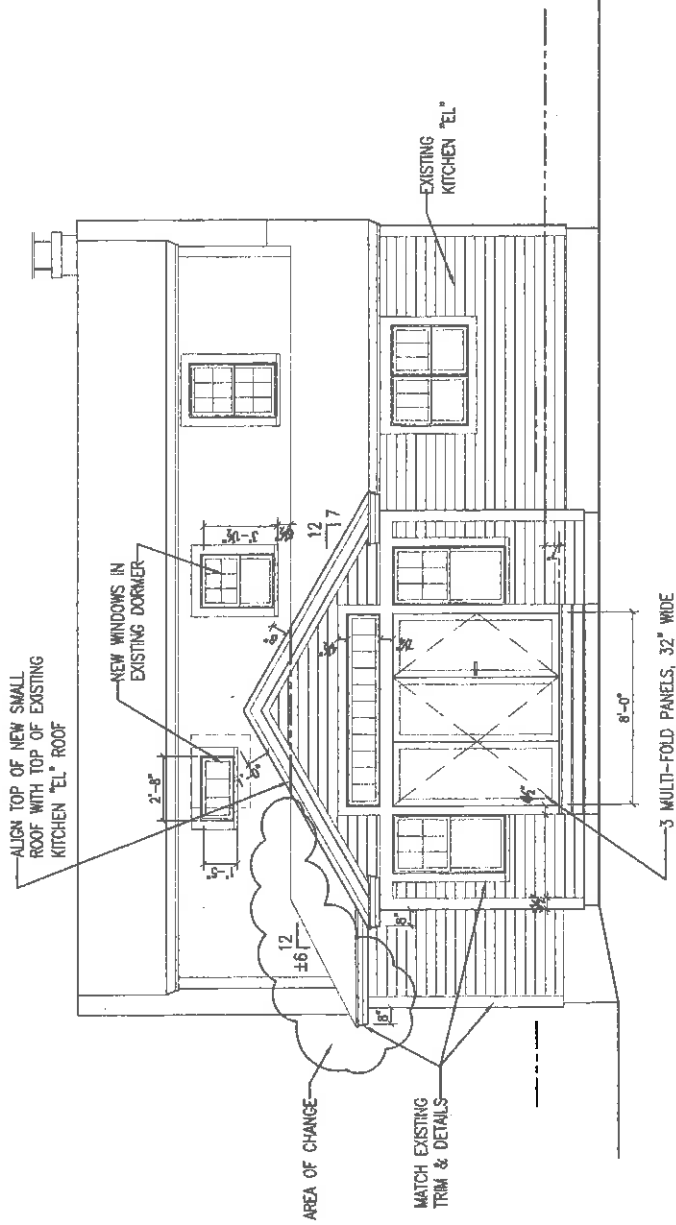
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SHT. 6R



### REAR ELEVATION

## New Proposed Rear Elevation

scale: 1/8" = 1'-0"



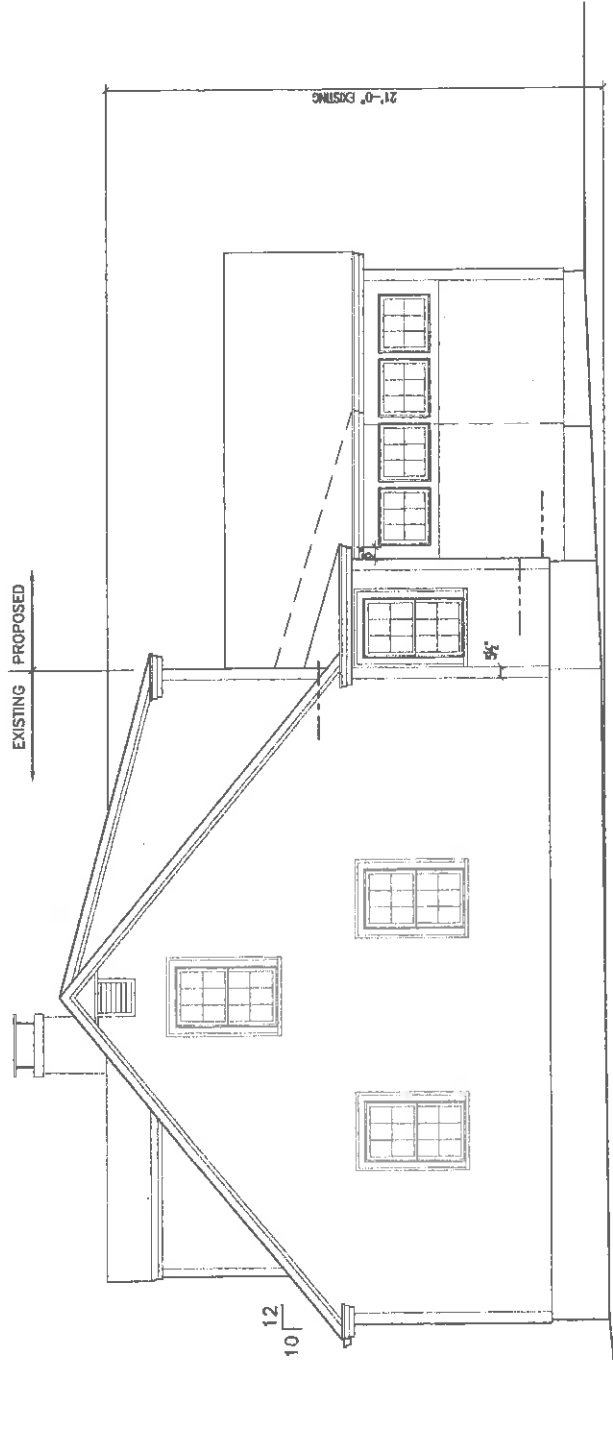
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SHT. 7



RIGHT SIDE ELEVATION

Previously Approved Right Side Elevation

scale: 1/8" = 1'-0"

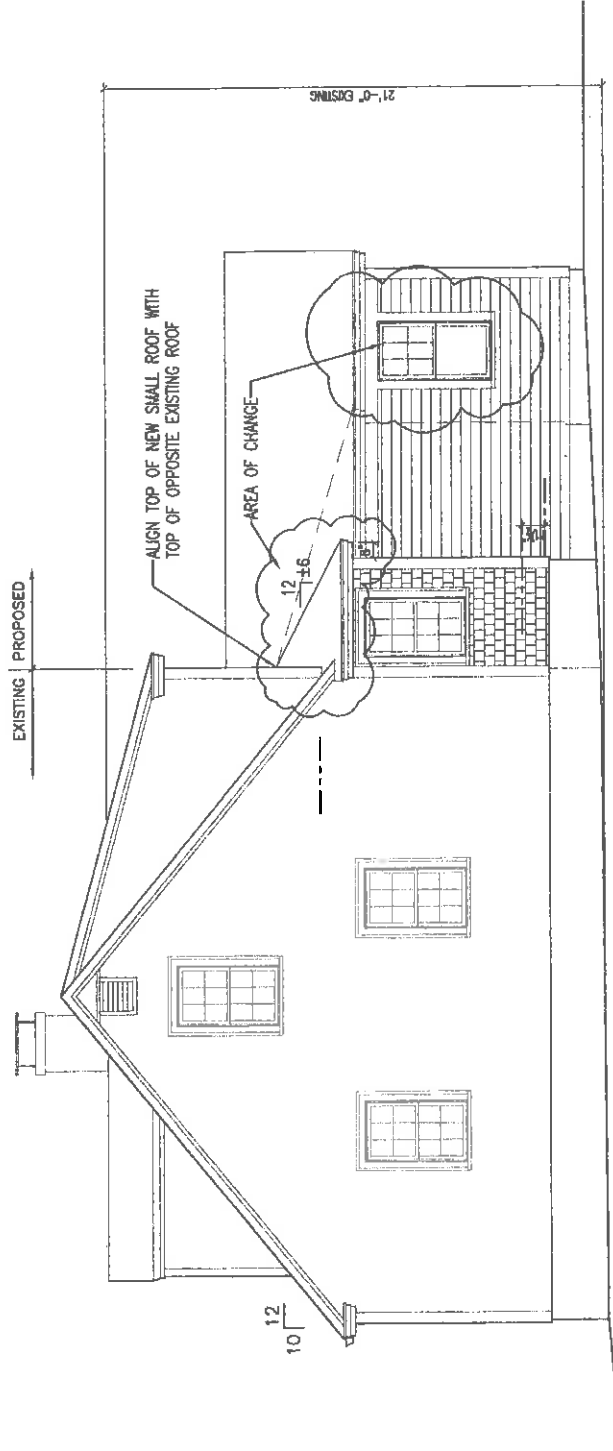
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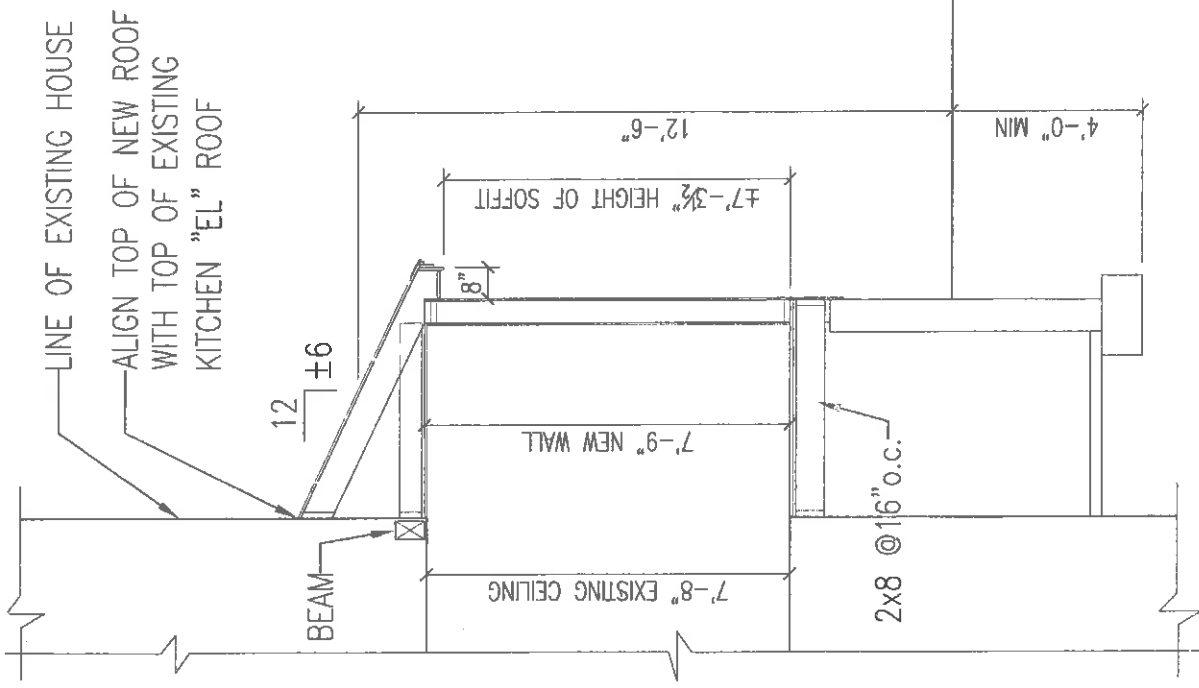
**SHT. 7R**



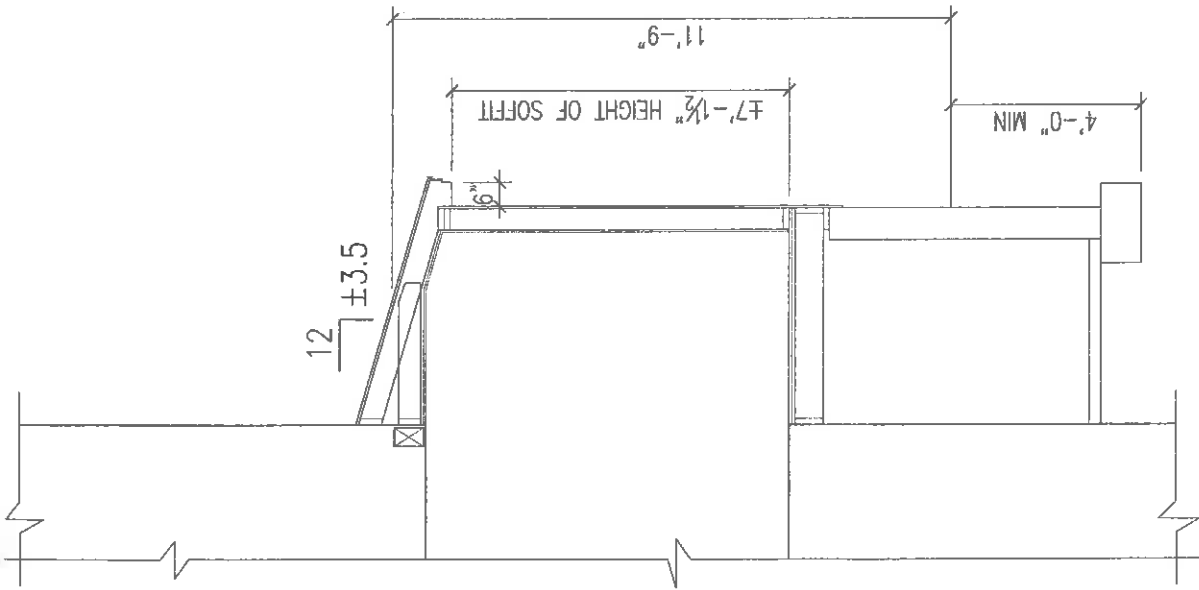
RIGHT SIDE ELEVATION

**New Proposed Right Side Elevation**

scale: 1/8" = 1'-0"



New Proposed



Previous

Sections - Bump-Out

scale: 1/4" = 1'-0"

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SHT. 8

**Zoning Ordinance Criteria to be met, as per Article 2:**

**10.233.21 The Variance will not be contrary to the public interest:**

The proposed Family Room addition is modest in size and mostly hidden from view of all neighbors by other parts of the home and existing fencing. The design is in keeping with the home which will still be of modest size for the neighborhood. The proposed increase in the roof pitch of the 4' x 4'-5" bump-out from 3 ½ / 12, to 6 / 12 is a small adjustment needed to prevent the visibility of the slanted roof within the 1<sup>st</sup> floor bedroom. See Sheet 8. The change should not increase the impact on the neighborhood in any way. The lot coverage will not be increased.

**10.233.22 The spirit of the Ordinance will be observed:**

By improving their property the Caron's will not be adversely affecting their neighbors in any way, will be adding to their property value and to the value of the neighborhood. Their lot size of 6534sf, in zone SRB with a minimum of 15,000sf, and their lot's 50' width as opposed to the 100' minimum creates the constrained conditions of their lot prompting the need to apply for a variance.

**10.233.23 Substantial justice will be done:**

In order to increase living space in this modest 1½ story cape the owners would need to build up unless they build an addition. It seems more respectful of neighbors and the neighborhood, and much more practical for the owners to keep the existing Cape design and place a modest addition out of sight in the rear. The home will remain at the same level of non-conformance regarding property line setbacks. The existing structures on the lot are already over the 20% minimum lot coverage. With the proposed addition, lot coverage will only increase by 58sf or 0.9%, from 27.2% to 28.1%.

**10.233.24 The values of surrounding properties will not be diminished:**

Because the proposed addition is modest, tasteful and mostly hidden from view with quality detailing in keeping with the existing home it will not diminish the surrounding property values. All neighbors expressed support of the project, 2 in writing.

**10.233.25 Literal enforcement of the provisions of the Ordinance would result in an unnecessary hardship:**

As previously stated the lot has restrictions in width and square footage. The neighbor to the left in Lot 38 has a Right Of Way (ROW) to use the Caron driveway. These are the conditions of a particularly crowded lot, so a literal enforcement of the provisions of the Ordinance would result in an unnecessary hardship.