



October 27, 2020

City of Portsmouth Zoning Board of Adjustment  
1 Junkins Avenue  
Portsmouth NH, 03801

Re: **Citizens Bank**  
**Zoning Variance Request Criteria**

Dear Zoning Board Members:

This letter is to supplement the Land Use Application submitted by State Permits, Inc. on behalf of Citizens Bank to seek a Land Use relief from the City of Portsmouth's Zoning Ordinance and is intended to address §10.233.20 by providing an explanation that the Variance request meets the required criteria for authorization of a Variance by the Board.

*§10.233.21 The variance will not be contrary to the public interest;*

The character of the Gateway Corridor District shall remain intact.

*§10.233.22 The spirit of the Ordinance will be observed;*

The proposal, as represented, will benefit the surrounding businesses and establishments at the shopping mall/.

*§10.233.23 Substantial justice will be done;*

The proposed free-standing automated teller machine (ATM) is considered an accessory use to a principal use and not attached to a principal structure, so by enforcing the ordinance would result in a loss of potential revenue to the local businesses and establishments and the general public.

*§10.233.24 The values of surrounding properties will not be diminished;*

The proposed free-standing automated teller machine (ATM) will enhance the surrounding business properties and promote commerce.

*§10.233.25 Literal enforcement of the provisions of the Ordinance would result in an unnecessary hardship;*

Without the authorized Variance, Citizens Bank and Bromley Portsmouth, LLC would not be able to keep the agreement between both parties resulting in a hardship of professional fees paid and a termination of contract between Citizens Bank and Bromley Portsmouth, LLC.

Citizens Bank is proposing to construct a free-standing walk-up automated teller machine (ATM) structure located at 1465 Woodbury Avenue and owned by Bromley Portsmouth, LLC through a lease agreement. The property land use description is identified as a shopping mall, approximately 19.26 acres and designated by zoning as (G1) Gateway Corridor District. The existing parking lot located at 1465 Woodbury Avenue provides six-



hundred-sixty-four (664) existing parking spaces, of which thirty (30) spaces are designated for handicap accessible parking.

The proposed free-standing structure design shall consist of a single use automated teller machine (ATM) housed within a prefabricated structure erected on a reinforced concrete slab. A handicap accessible concrete sidewalk shall be provided so that the general public can access the walk-up automated teller machine (ATM). In addition to the existing parking spaces, two (2) new additional parking spaces will be provided solely for parking at the free-standing walk-up automated teller machine (ATM). The designated parking spaces will consist of one handicap van accessible parking space and one regular vehicle space. The perimeter of the parking lot shall be constructed of a six inch wide precast concrete curb defining the boundary of the parking lot. Improvements to the existing open lawn area at the proposed freestanding automated teller machine (ATM) site shall include plantings and new loam and seed.

Citizens Bank and Bromley Portsmouth, LLC are requesting a land use zoning variance from the City of Portsmouth zoning ordinance §10.571. The City of Portsmouth zoning ordinance defines an ATM as “an unattended electronic device that is activated by customers to conduct financial transactions. An ATM may be located on the outside of a building, or in an access-controlled entrance to a building, or within a principal use in a building and may serve pedestrians or patrons in motor vehicles. An ATM servicing patrons in motor vehicles, must meet the standards for drive-thru establishments provided in this Ordinance. An ATM is permitted only as an accessory use to a related principal use and is not permitted as a principal use or in a free-standing structure not attached to a principal use.

Zoning ordinance §10.571 states that no accessory building, structure or use, shall be located in any required front yard, or closer to a street than the principal building. There is no principal building or structure as it relates to a financial institution at the current property.

Citizens Bank and Bromley Portsmouth, LLC are seeking an authorization of a variance from the Board of Adjustments and Rules to consider this request based on that there is no financial institution principal building or structure on the property that the proposed automated teller machine (ATM) can be an accessory use too. By constructing the proposed free-standing walk-up automated teller machine (ATM) at the shopping mall at 1465 Woodbury Avenue will not only benefit the surrounding businesses, but can also attract new consumers to the shopping mall and visitors to the area.

Sincerely,

WILLIAM STARCK ARCHITECTS, INC.

Michael Pereira  
Project Manager

MP/ml  
Doc.ZoningOrdinanceLet.



October 27, 2020

City of Portsmouth Zoning Board of Adjustment  
1 Junkins Avenue  
Portsmouth NH, 03801

**RE: Citizens Bank Walk-Up ATM  
1465 Woodbury Avenue  
Portsmouth, NH 03801  
Relief of Land Use Criteria**

Dear Board Members,

Citizens Bank is proposing to construct a free-standing walk-up automated teller machine (ATM) at 1465 Woodbury Avenue in Portsmouth, NH through a land-lease agreement with Bromley Portsmouth, LLC. The existing property is designated by zoning as a Gateway Corridor District and categorized as a shopping mall. The current shopping mall is approximately 19.25 acres. The proposed location for construction the free-standing walk-up automated teller machine (ATM) structure is located on a small portion of lawn area, parallel to Woodbury Avenue and is adjacent to the existing Wendy's restaurant. The proposed location currently does not have any accessory use component or structure constructed in the proposed vicinity.

The proposed free-standing walk-up automated teller machine (ATM) structure will be constructed on a reinforced concrete pad, measuring 8'-3" in width by 8'-9" in length and will have a handicap accessible sidewalk that permits accesses to the automated teller machine (ATM). The prefabricated ATM structure will be erected on the reinforced concrete slab and will house the automated teller machine (ATM). The prefabricated structure measures 6'-5" in width by 7'-7" in depth and has a height of 10'-3 1/4" at the roof canopy. The canopy overhang at the teller side shall have an overhang dimension of 4'-0". The free-standing automated teller machine (ATM) structure shall be protected by eight (8) concrete filled galvanized steel bollards.

The existing shopping mall parking lot located at 1465 Woodbury Avenue currently provides six-hundred thirty-five (635) existing parking spaces, of which thirty (30) spaces are designated for handicap accessible parking. The proposed free-standing walk-up automated teller machine (ATM) will provide two (2) additional parking spaces consisting of one handicap van accessible parking space with striped access space and one regular vehicle space. The proposed additional parking spaces complies with zoning ordinance, *§10.1112.321 Parking Requirements for Nonresidential Uses*. Use No.5.10-5.30 identifies one (1) parking space per 350 sf GFA for professional, business and financial services. The proposed free-standing automated teller machine is approximately 72 sf and requires one (1) parking space to satisfy the requirements; two parking spaces are proposed. The proposed parking lot measures 25'-6"



width and 20'-0" in depth. The perimeter of the parking lot shall be constructed of a six inch wide precast concrete curb defining the boundary of the parking lot.

Plantings are also being proposed to be planted adjacent to the free-standing walk-up automated teller machine (ATM) structure. Plantings will not only enhance the existing landscape but will also conceal the electrical meter and panel support panel. Any lawn areas disturbed outside the work area shall be repaired in-like kind.

The proposed project is to construct a free-standing walk-up automated teller machine (ATM) so the total number of dwelling units, new hotel rooms, restaurant gross floor area and loading spaces are not applicable. The Valuation of New Construction is estimated at \$60,000.00 dollars.

The Project Representatives are as follows:

Michael Pereira, Project Manager – William Starck Architects, Inc.  
120 Cove Street  
Fall River, MA 02720  
P: 508-679-5733  
E: [mpereira@starckarchitects.com](mailto:mpereira@starckarchitects.com)

Dylan Lincoln, Project Manager – Citizens Bank  
P: 401-339-0721  
E: [dylan.c.lincoln@citizensbank.com](mailto:dylan.c.lincoln@citizensbank.com)

Tom Godfrey, Manager – Granite Development, LLC  
P: 781-258-1199  
E: [Tomg10@comcast.net](mailto:Tomg10@comcast.net)

Sincerely,

WILLIAM STARCK ARCHITECTS, INC.

A handwritten signature in black ink, appearing to read "Michael Pereira", is written over a light blue horizontal line.

Michael Pereira  
Project Manager

MP/ml  
Doc.LandUseReliefLet.



October 27, 2020

City of Portsmouth Zoning Board of Adjustment  
1 Junkins Avenue  
Portsmouth NH, 03801

Re: **Citizens Bank Walk-Up ATM**  
**1465 Woodbury Avenue**  
**Portsmouth, NH 03801**  
**Zoning Variance Request Criteria**

Existing Condition Site Photos:



**Photo 1: View facing south at existing to remain drive aisle.**



Photo 2: View facing west at existing main entrance to the shopping mall.





**Photo 3: Partial view facing northwest at existing Wendy's restaurant obstructed by existing-to-remain trees.**



**Photo 4: View facing north at existing shopping mall parking lot, adjacent to existing drive aisle at proposed building site.**





**Photo 5: View facing southwest at main shopping mall entrance.**



**Photo 6: View facing west at proposed building site.**



LOCUS



LIST OF DRAWINGS

G1.0 - COVER SHEET	AS1.0 - EXISTING SITE PLAN AT PROPOSED FREE-STANDING WALK-UP ATM	A2.4 - ATM STRUCTURE DETAILS
1 - EXISTING CONDITIONS PLAN, DEMO PLAN, NOTES & LEGEND		A2.5 - ATM STRUCTURE DETAILS
2 - LAYOUT PLAN	AS1.1 - ARCHITECTURAL ELECTRICAL PARTIAL SITE PLAN	A2.6 - ATM STRUCTURE DETAILS
3 - GRADING, DRAINAGE, & UTILITY PLAN & DETAILS		A2.7 - ATM STRUCTURE DETAILS
4 - CONSTRUCTION DETAILS	AS1.2 - PARTIAL TAX MAP PLAN	A2.8 - ATM STRUCTURE DETAILS
A1.0 - PROPOSED SITE TEST FIT PLAN AT WALK-UP ATM	A2.0 - ATM STRUCTURE DETAILS	
A1.1 - PARTIAL SITE PLAN AT PROPOSED WALK-UP ATM	A2.1 - ATM STRUCTURE DETAILS	
	A2.2 - ATM STRUCTURE DETAILS	
	A2.3 - ATM STRUCTURE DETAILS	

GENERAL NOTES

1. THE CONTRACTOR SHALL BE LICENSED IN THE STATE OF NEW HAMPSHIRE AND FULLY INSURED AS REQUIRED BY APPLICABLE LAWS.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER, HIS SUBCONTRACTORS & APPLICABLE DISCIPLINES, SUCH AS, BUT NOT LIMITED TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS FROM SITE AND REMOVE AND DISPOSE DAILY.
4. CONTRACTORS SHALL VISIT THE SITE AND CAREFULLY EXAMINE THE AREAS IN QUESTION AS TO CONDITIONS WHICH MAY ADVERSELY AFFECT PROPER EXECUTION OF THE WORK. ALL DIMENSIONS AND QUANTITIES SHALL BE DETERMINED OR VERIFIED BY THE CONTRACTOR. NO CLAIMS FOR EXTRA COSTS WILL BE ALLOWED BECAUSE OF LACK OF FULL KNOWLEDGE OF THE EXISTING CONDITIONS UNLESS AGREED TO IN ADVANCE WITH THE OWNER &/OR ARCHITECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL DEMOLITION REQUIRED FOR A COMPLETE AND PROPER JOB, WHETHER OR NOT REFERENCE IS MADE BY WAY OF NOTES AND DESIGNATIONS.
6. ALL WORK SHALL COMPLY WITH OSHA, FEDERAL, STATE BUILDING, AND FIRE AND LIFE/SAFETY CODES, WHICHEVER IS MOST STRINGENT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND EXAMINING THE EXISTING SYSTEMS, MATERIALS, EQUIPMENT AND OTHER RELATED ITEMS OF WORK PRIOR TO SUBMITTING BID AND PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ACCEPT RESPONSIBILITY FOR DIMENSIONAL CORRECTNESS.
9. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS TO THE AREA(S) DESIGNATED BY THE OWNER.
10. REPAIR/RESTORE, TO ORIGINAL/NEW CONDITION, AT NO COST TO THE OWNER, ALL EXISTING ITEMS, MATERIALS, SURFACES, ETC. (INCLUDING AREAS NOT DESIGNATED FOR NEW CONSTRUCTION SHOWN ON THE DRAWINGS) WHICH ARE DAMAGED DURING CONSTRUCTION. ALL RELATED COSTS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. REPAIR EXISTING PAVING AND CURBING DAMAGED BY THIS CONTRACTOR DURING CONSTRUCTION. SAW-CUT EXISTING PAVING FOR CONTINUITY MATCH.
12. ANY WORK WHICH DEVIATES FROM THAT SPECIFIED IN THE CONTRACT DOCUMENTS, CHANGED BY THE CONTRACTOR, INVOLVING THE SUBSTITUTION OF MATERIALS/EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
13. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRIERS, BARRICADES, PROTECTION, SIGNAGE, LIGHTING, ETC. AS REQUIRED TO ENSURE AND MAINTAIN SAFE ACCESS/EGRESS THROUGHOUT THE BUILDING SITE.
14. DELAYS CAUSED BY IMPROPER PLANNING WILL NOT BE TOLERATED, NOR ACCEPTABLE. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR UNNECESSARY DELAYS IN THE CONTRACT.
15. CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK ABOVE AND BEYOND THAT SPECIFIED IN THESE CONTRACT DOCUMENTS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT. CONTRACTOR SHALL OTHERWISE DO SO AT HIS OWN EXPENSE.
16. IN CASE OF CONFLICT OR CONFUSION WHERE THE CONTRACTOR DID NOT REQUEST CLARIFICATION PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR SHALL INTERPRET THE CONTRACT DOCUMENTS TO REQUIRE THE GREATER QUANTITY, HIGHER QUALITY, MOST RESTRICTIVE, AND MOST EXPENSIVE OF THE POSSIBLE INTERPRETATIONS.
17. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY VISUAL AND PROTECTIVE PARTITIONS AROUND CONSTRUCTION AS MAY BE NECESSARY TO ASSURE THE SAFETY OF ALL PERSONS AUTHORIZED OR UNAUTHORIZED. ALL PARTITIONS ARE TO BE CONSTRUCTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL LAWS, CODES OR REGULATIONS.
18. THE G.C. SHALL ENSURE ADEQUATE DUST-CONTROL MEASURES, SUCH AS, BUT NOT LIMITED TO POLYETHYLENE SHEETING/ TAPING, TEMPORARY PARTITIONING, ETC. ARE PRACTICED FOR THE DURATION OF THE PROJECT. G.C. SHALL BE RESPONSIBLE FOR ALL CLEANING MEASURES, TO RESTORE SUCH AREAS TO ORIGINAL/ NEW CONDITION (INCLUDING DRAINAGE SYSTEMS, ROOF, ETC.).



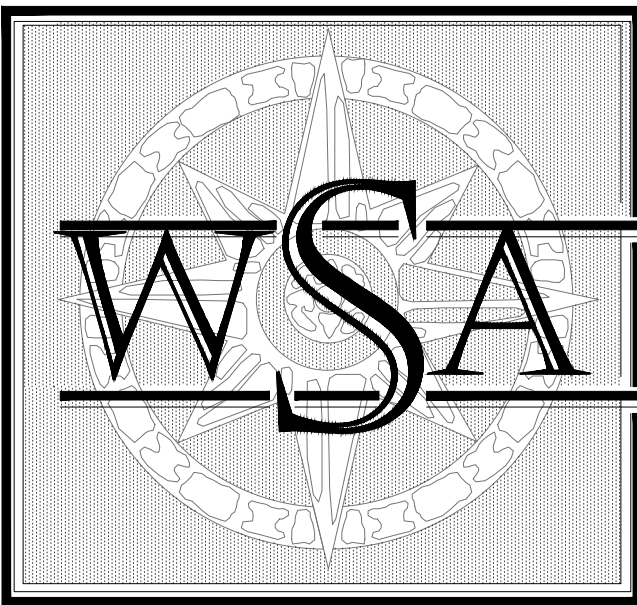
WALK-UP ATM

1465 WOODBURY AVENUE  
PORTSMOUTH, NH 03801

ISSUED FOR PERMIT

SEPTEMBER 30, 2020

REVISED NOVEMBER 10, 2020

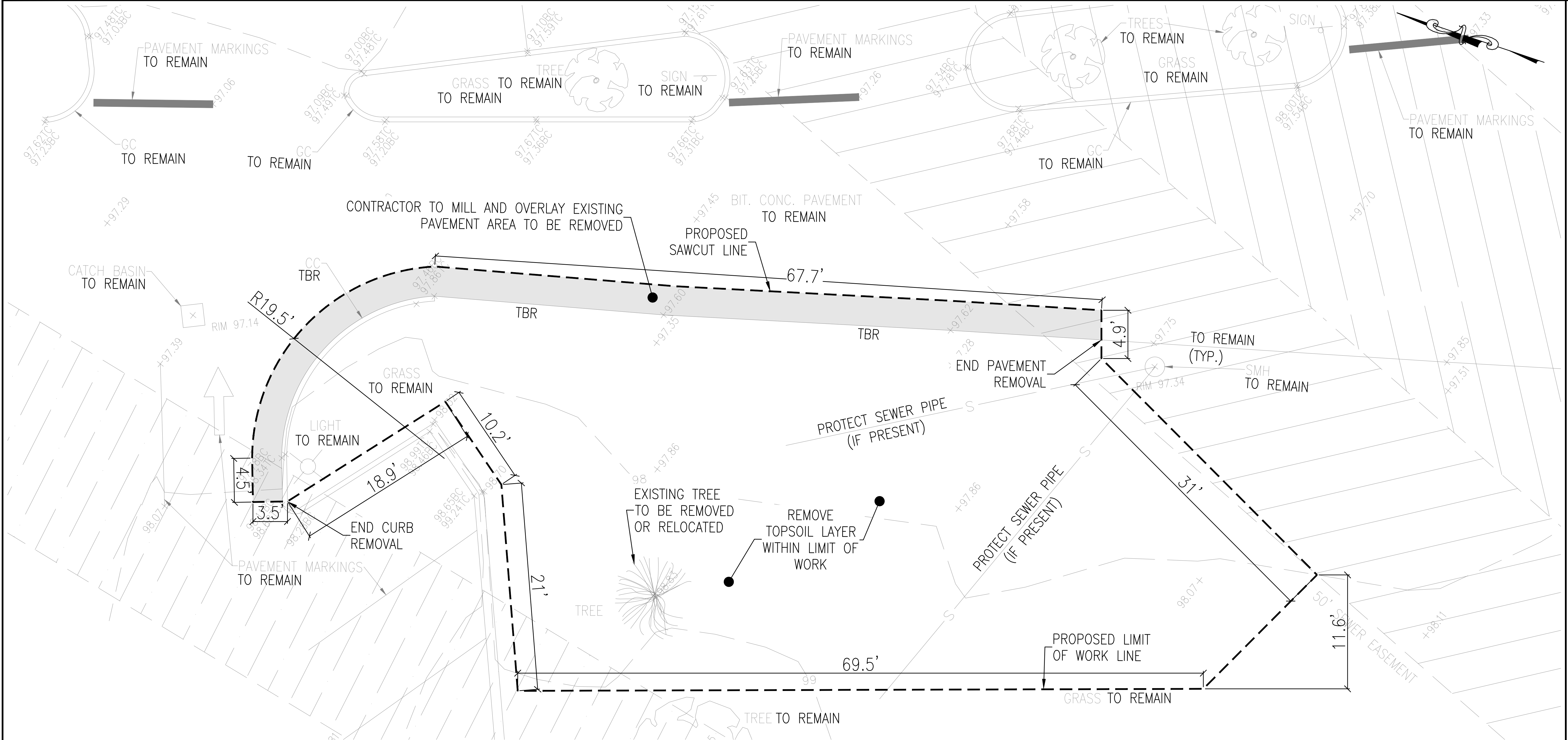


WILLIAM STARCK  
ARCHITECTS, INC.

126 COVE STREET  
FALL RIVER MASSACHUSETTS, 02720

10 DORRANCE STREET, SUITE 700  
PROVIDENCE, RI 02903





LOCUS PLAN  
SCALE: 1"=100±

SUMMARY OF WORK

- THE WORK SHOWN ON THIS PLAN REPRESENTS VARIOUS IMPROVEMENTS TO AN EXISTING PARKING LOT. THE FOLLOWING IS A SUMMARY OF MAJOR WORK ITEMS:
- SAWCUT/REMOVE A PORTION OF THE PARKING LOT AND GRASSED AREA.
  - INSTALL NEW ATM, CONCRETE PAD, AND ELECTRICAL SERVICE.
  - RE-PAVE THE REMOVED SECTION OF PARKING LOT AND INSTALL NEW PAVEMENT AND CURBING.
  - PLACE LOAM & SEED WITHIN DISTURBED LANDSCAPED AREAS.
  - ALL OTHER INCIDENTAL WORK NECESSARY TO ACCOMMODATE PROPOSED WORK AND ADHERE TO THE PROPOSED FINAL PRODUCT INCLUDING ADJUSTMENT OF ANY DRAINAGE AND UTILITY STRUCTURES TO MATCH NEW FINISHED GRADE.

SURVEY NOTES

- EXISTING CONDITIONS BASED ON A LIMITED FIELD SURVEY PERFORMED BY DOUGLAS DESIGN GROUP ON SEPTEMBER 17, 2020.
- THE VERTICAL DATUM OF THIS SURVEY IS AN ASSUMED DATUM OF 100.00 PER AN EXISTING BENCHMARK STAKE AND NAIL.
- UTILITY LOCATIONS, AS SHOWN HEREON, ARE BASED ON VISIBLE OBSERVED SURFACE EVIDENCE (SUB-SURFACE UTILITY RESEARCH & FIELD INVESTIGATION WERE NOT PERFORMED AS PART OF THIS SURVEY). CONTACT DIG-SAFE BEFORE PLANNING ANY CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITIES WITHIN THE LIMIT OF WORK PRIOR TO CONSTRUCTION.

PARKING NOTE

- THIS PLAN RESULTS IN THE ADDITION OF 2 ON-SITE PARKING SPACES.

PROJECT NOTES

- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
- SOLID LINES SHALL BE 4" IN WIDTH (SEE PLAN FOR LENGTH & COLOR). TRAFFIC STRIPING SHALL CONSIST OF 4" SOLID LINES ORIENTED AT A 45 DEGREE ANGLE AND SPACED 3' ON CENTER.
- ANY REMOVAL/APPLICATION OF PAVEMENT MARKINGS AND STRIPING SHALL BE PERFORMED IN THE FOLLOWING MANNER:
  - THE CONTRACTOR SHALL REMOVE 100% OF THE PAINT IN A MANNER THAT DOES NOT CAUSE EXCESSIVE NOISE/DEBRIS/DISRUPTION TO CUSTOMERS. NO RESIDUAL PAINT SHALL REMAIN.
  - ACCEPTABLE METHODS OF REMOVAL INCLUDE WATER BLASTING AND GRINDING.
  - UNACCEPTABLE METHODS OF REMOVAL INCLUDE BLACKING OUT, CHEMICAL METHODS, AND GAS-BLASTING.
- ANY DRAINAGE AND UTILITY STRUCTURES WITHIN THE LIMIT OF WORK SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
- ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS. SHALL BE PERFORMED BY A TOWN BONDED CONTRACTOR, AND SHALL REQUIRE A STREET AND TRENCH OPENING PERMIT FROM THE HIGHWAY DIVISION.
- THE CONTRACTOR SHALL PROTECT ANY EXISTING IRRIGATION SYSTEM(S) DURING CONSTRUCTION AND RECONFIGURE SUCH SYSTEM(S) AS NECESSARY TO ACCOUNT FOR THE PROPOSED WORK.
- EXISTING TREES AND SHRUBS SHALL BE PROTECTED DURING CONSTRUCTION.
- ALL DISTURBED LANDSCAPED AREAS SHALL BE RESTORED IN KIND. LOAM LAYER SHALL BE A MINIMUM OF 4" THICK.
- PROPOSED AREA OF DISTURBANCE = 3,300± SQUARE FEET

ABBREVIATIONS

- |                          |        |
|--------------------------|--------|
| BOTTOM OF CURB           | BC     |
| BITUMINOUS CONCRETE CURB | BCC    |
| BIT.                     | BIT.   |
| BEGIN REVEAL             | BR     |
| BOTTOM OF WALL           | BW     |
| CATCH BASIN              | CB     |
| CONCRETE CURB            | CC     |
| CAPE COD BERM            | CCB    |
| CHAIN LINK FENCE         | CLF    |
| CONCRETE                 | CONC.  |
| CONTROL JOINT            | CJ     |
| CONTROL VALVE            | CV     |
| ELECTRIC                 | EL     |
| EXISTING TO REMAIN       | ETR    |
| EXISTING                 | EX     |
| FINISHED FLOOR           | FF     |
| GAS PAVEMENT MARKINGS    | GPM    |
| VERTICAL GRANITE CURB    | GV     |
| GATE VALVE               | GV     |
| HANDHOLE                 | HH     |
| IRRIGATION               | IRRIG  |
| LIMIT OF CURB REMOVAL    | LOR    |
| LEVEL LANDING            | LL     |
| LIMIT OF WORK            | L.O.W. |
| LIGHT POLE               | LP     |
| MONOLITHIC CONCRETE CURB | MCC    |
| MATCH EXISTING           | ME     |
| OVERHEAD WIRES           | OWH    |
| PRECAST CONCRETE CURB    | PCC    |
| PROPOSED                 | PR     |
| RIGHT-OF-WAY             | R.O.W. |
| SQUARE FEET              | SF     |
| SLOPED GRANITE CURB      | SG     |
| SINGLE WHITE SOLID LINE  | SWSL   |
| SINGLE YELLOW SOLID LINE | SYSL   |
| SINGLE BLUE SOLID LINE   | SBSL   |
| TO BE REMOVED            | TBR    |
| TOP OF CURB              | TC     |
| TOP OF WALL              | TW     |

LEGEND

EXISTING	PROPOSED	DESCRIPTION
99	99	CONTOUR
x 99.50	99.50	SPOT GRADE
	X'R	X-FOOT RADIUS
		CEMENT CONCRETE
		UTILITY POLE
		LIGHT POLE
		SIGN
		BUILDING WALL
		FLOW ARROW
		CATCH BASIN
		DRAIN MANHOLE
		SEWER MANHOLE
		WATER GATE
		MILL & OVERLAY

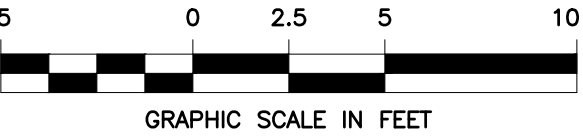


CONSTRUCTION PLANS

REVISIONS:

REV	DATE	COMMENT
1		
2		
3		

SCALE:



DESIGNED BY:

TMF

CHECK BY:

PRH

SEAL:



PHILIP R. HENRY, P.E.

PREPARED FOR:



WILLIAM STARCK  
ARCHITECTS, INC.

106 COVE STREET  
FALL RIVER, MASSACHUSETTS 02720  
TEL: 508/679-5733  
FAX: 508/672-8556  
E-MAIL: STARCK@STARCKARCHITECTS.COM  
WEBSITE: WWW.STARCKARCHITECTS.COM

PROJECT:



PROPOSED ATM  
1465 WOODBURY AVENUE  
PORTSMOUTH, NH 03801

PREPARED BY:

CIVIL DESIGN  
GROUP, LLC

21 HIGH STREET, SUITE 207  
NORTH ANDOVER, MA 01845  
www.cdengineering.com  
p: 978-794-5400 f: 978-965-3971

SHEET:

EXISTING  
CONDITIONS PLAN,  
DEMO PLAN, NOTES  
& LEGEND

1

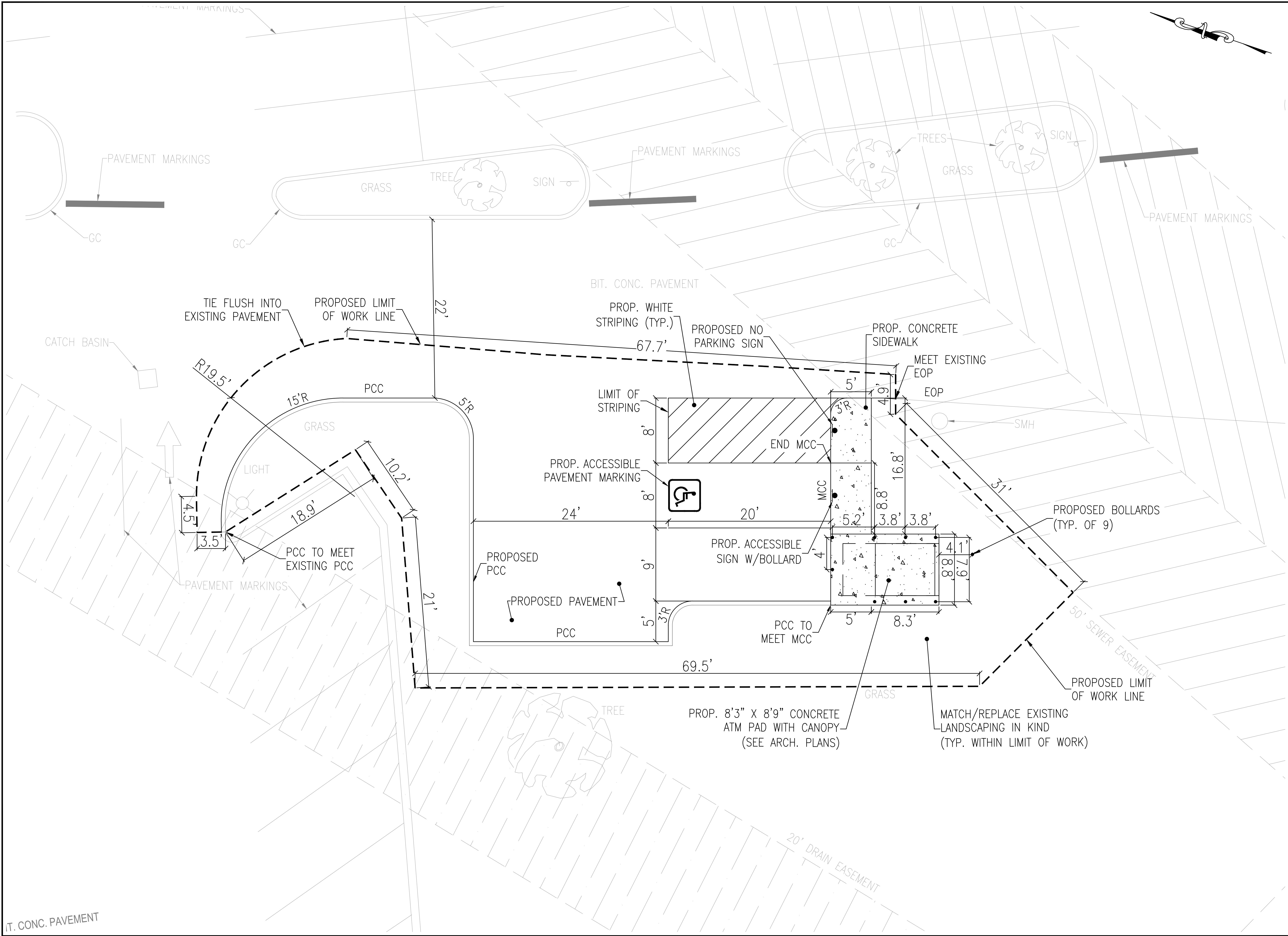
CDG PROJECT #:

20032

DATE:

11/10/2020





CONSTRUCTION PLANS

REVISIONS:

REV	DATE	COMMENT
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2		
3		

SCALE:  
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GRAPHIC SCALE IN FEET

DESIGNED BY: TMF  
CHECK BY: PRH

SEAL:  
  
PHILIP R. HENRY, P.E.

PREPARED FOR:  
  
WILLIAM STARCK ARCHITECTS, INC.  
106 COVE STREET  
FALL RIVER, MASSACHUSETTS 02720  
TEL: 508/679-5733  
FAX: 508/672-8556  
E-MAIL: STARCK@STARCKARCHITECTS.COM  
WEBSITE: WWW.STARCKARCHITECTS.COM

PREPARED BY:  
  
PROPOSED ATM  
1465 WOODBURY AVENUE  
PORTSMOUTH, NH 03801

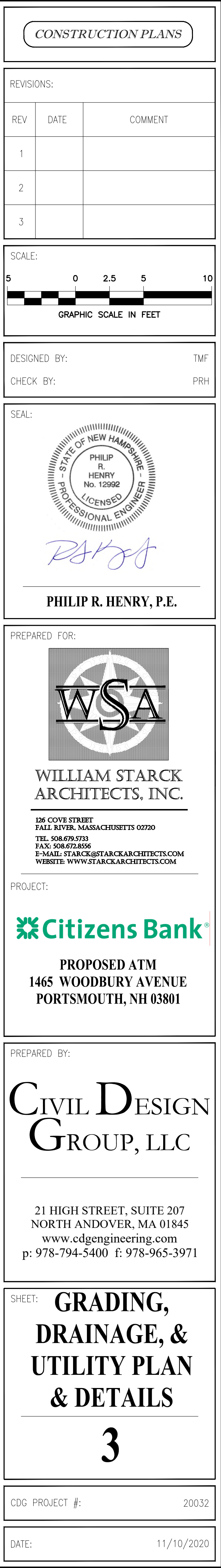
PREPARED BY:  
CIVIL DESIGN GROUP, LLC  
21 HIGH STREET, SUITE 207  
NORTH ANDOVER, MA 01845  
www.cdengineering.com  
p: 978-794-5400 f: 978-965-3971

SHEET:  
LAYOUT PLAN  
2

CDG PROJECT #: 20032

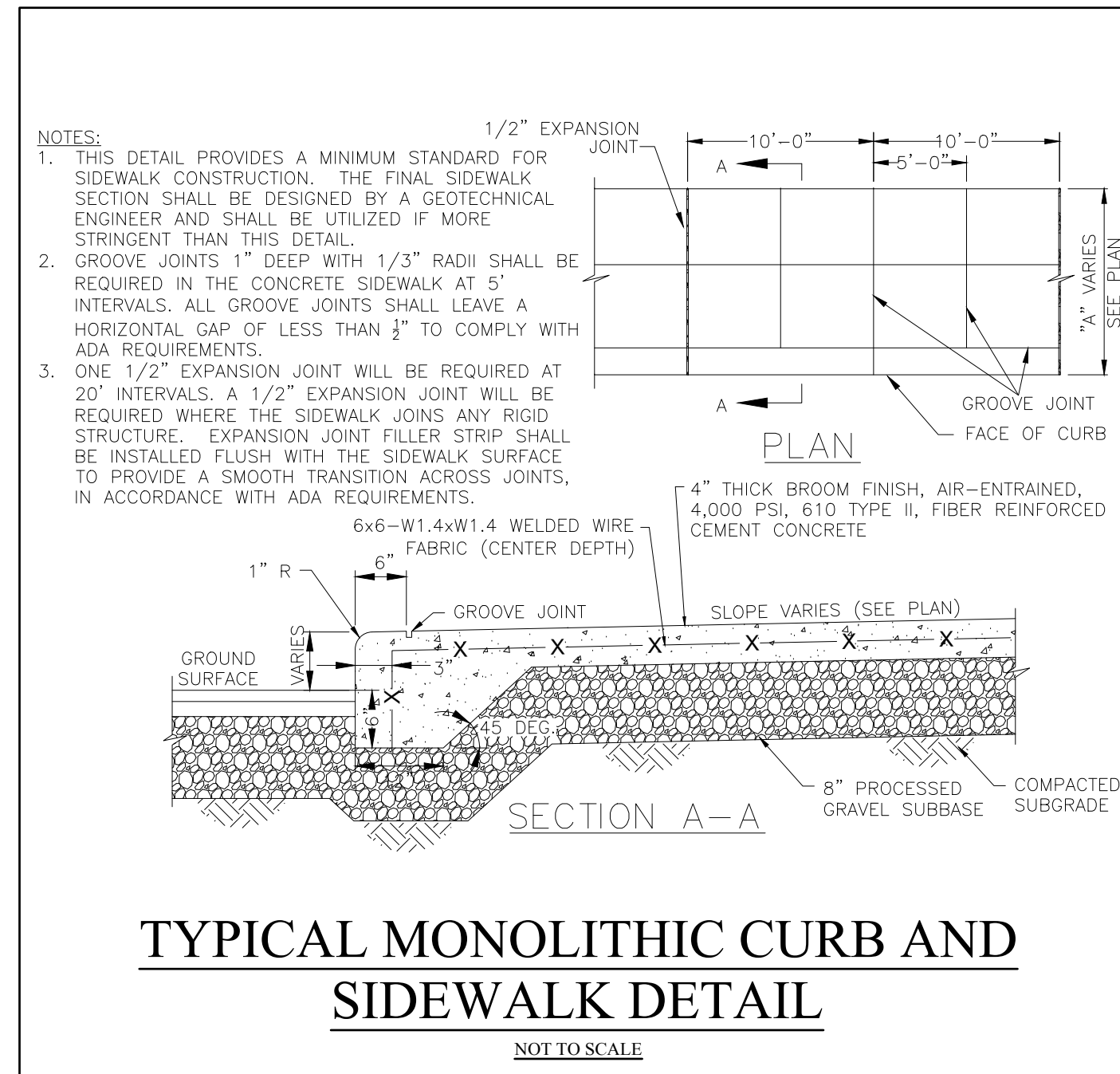
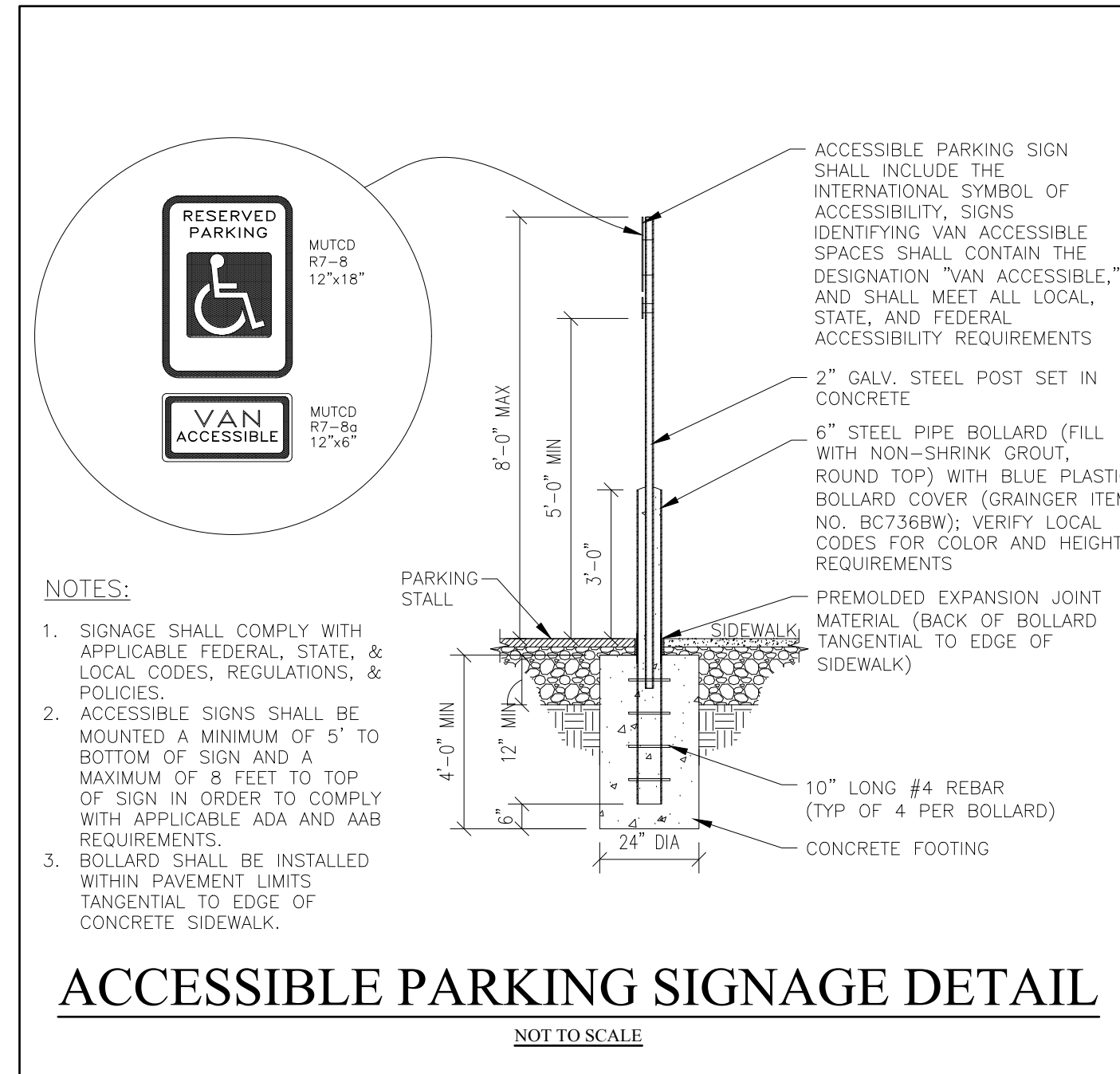
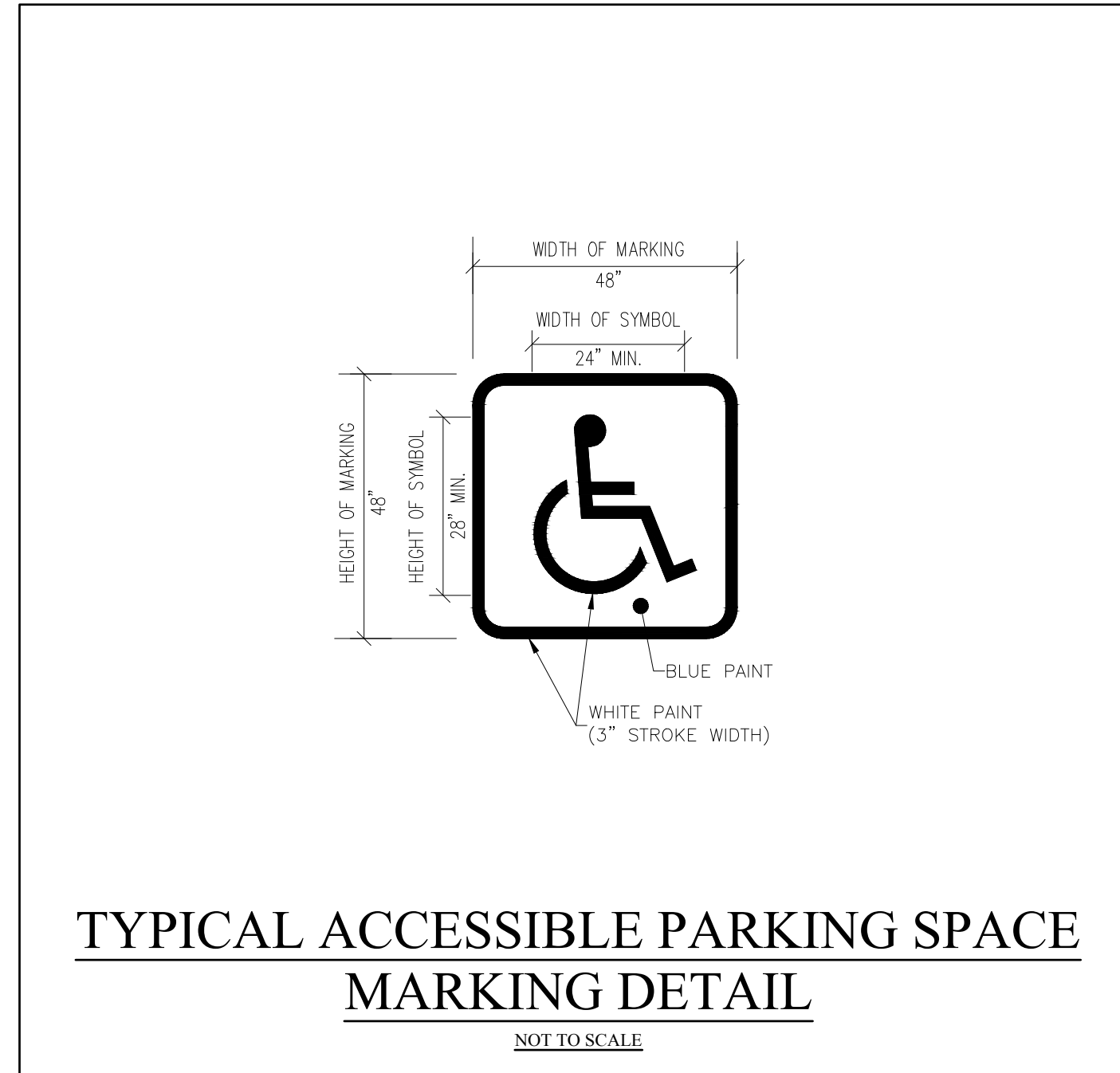
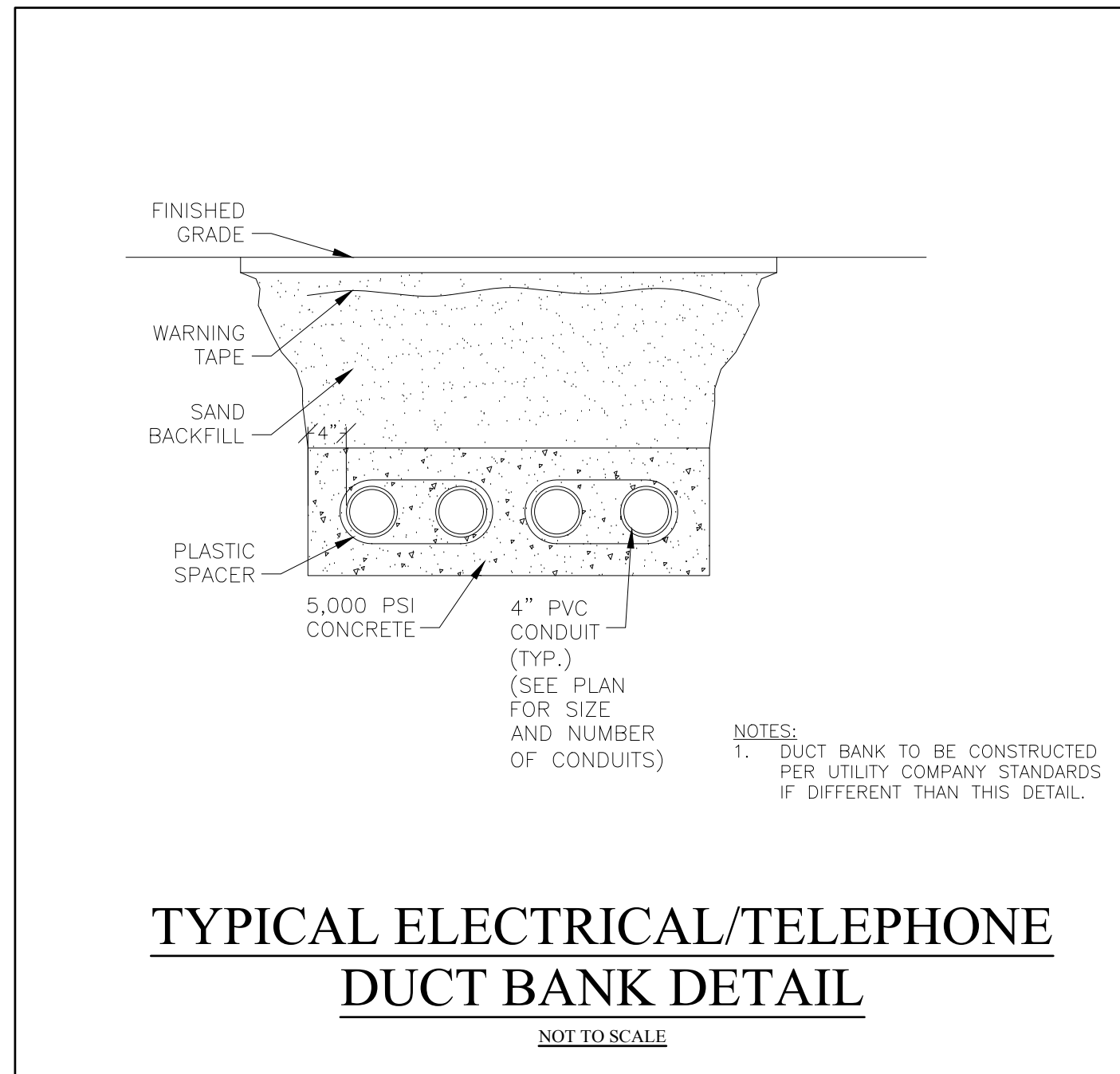
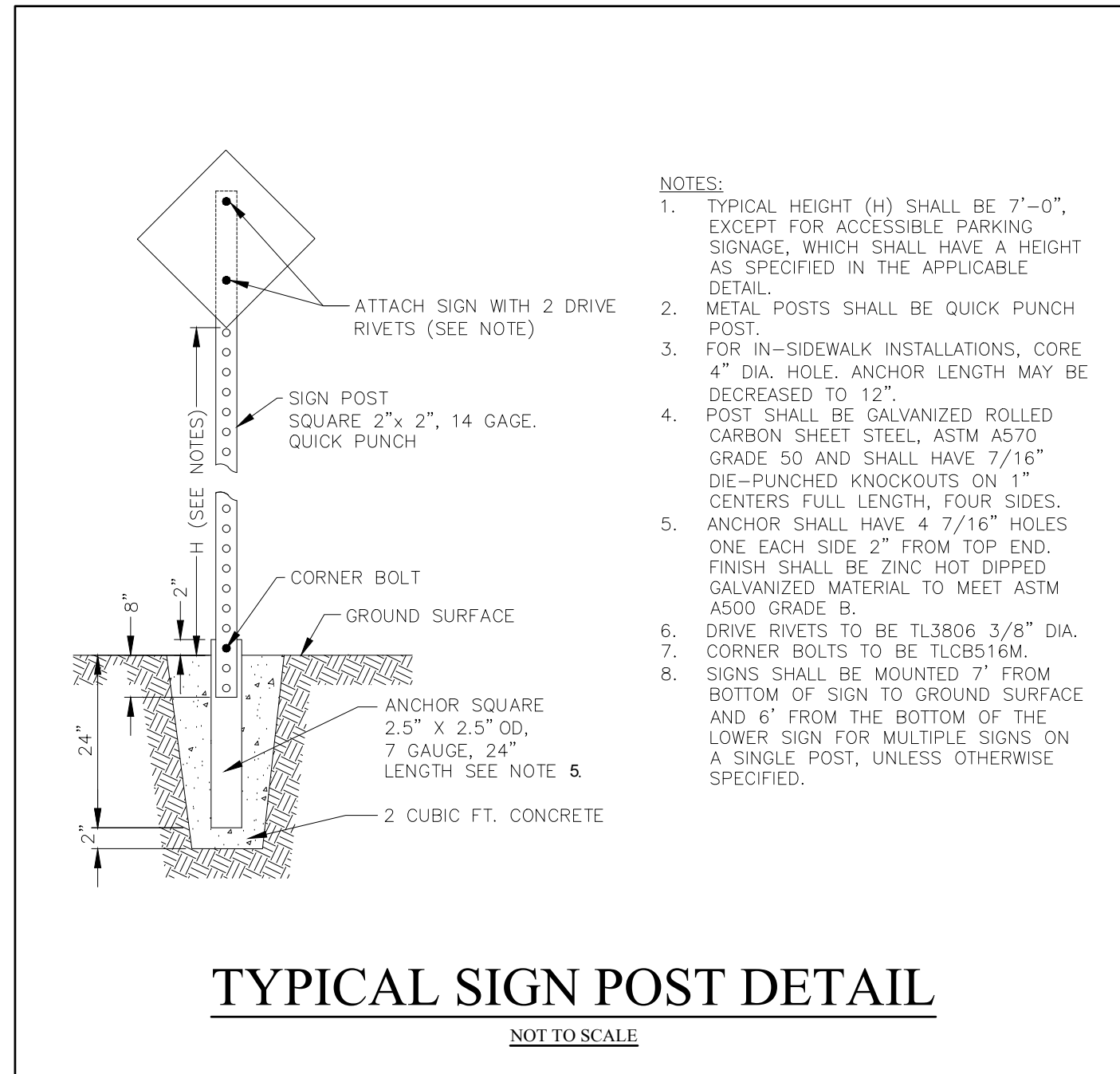
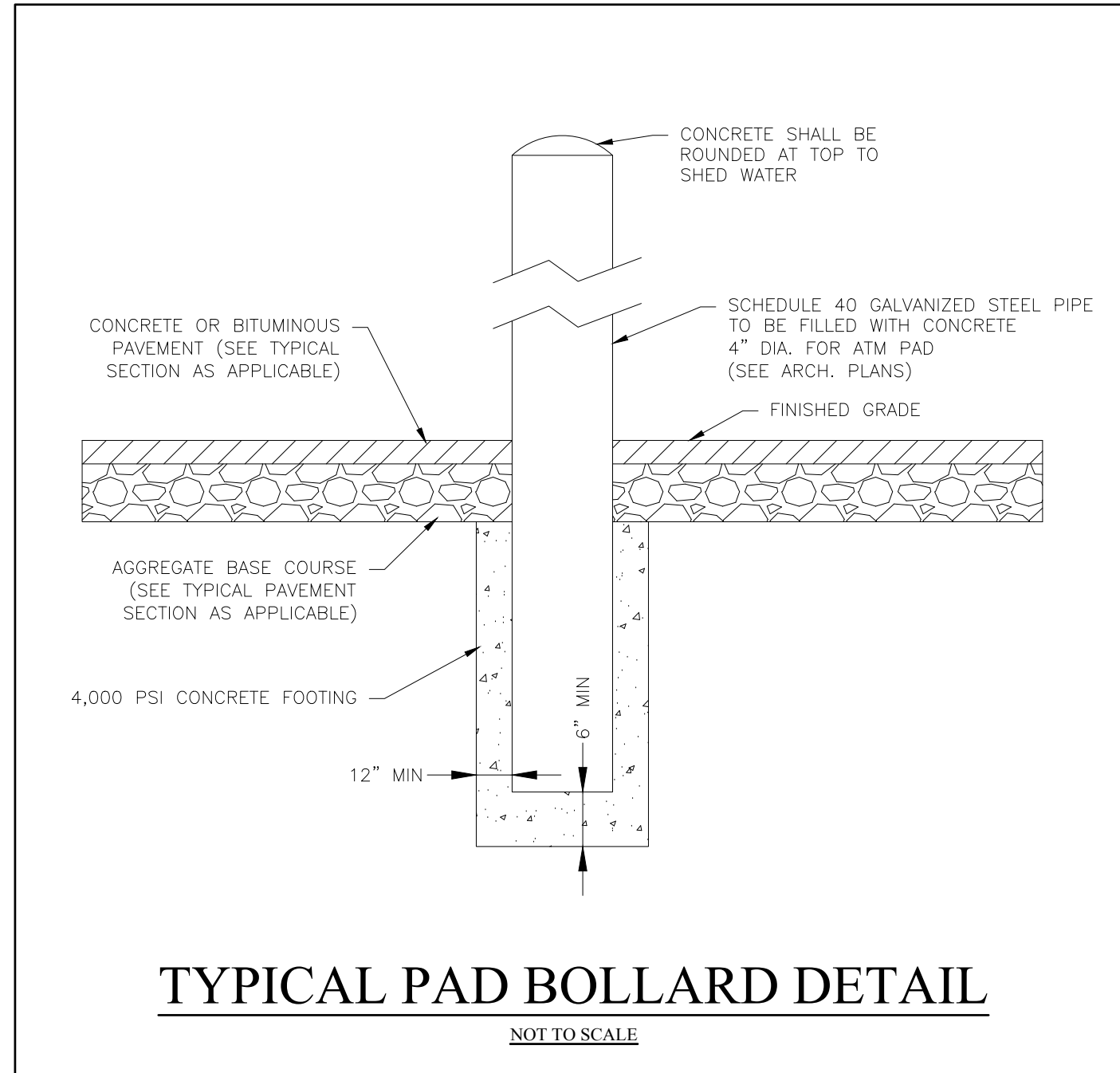
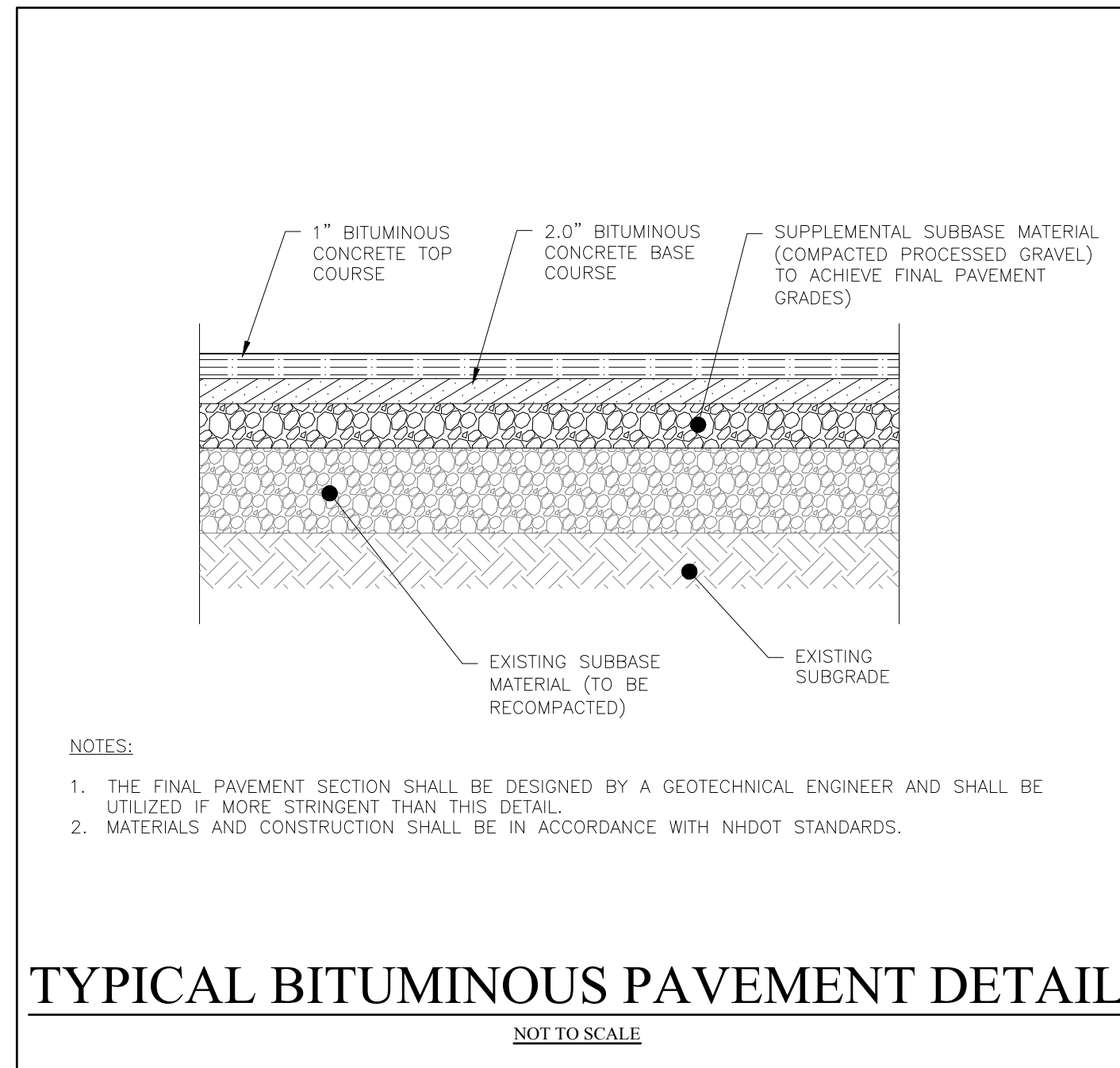
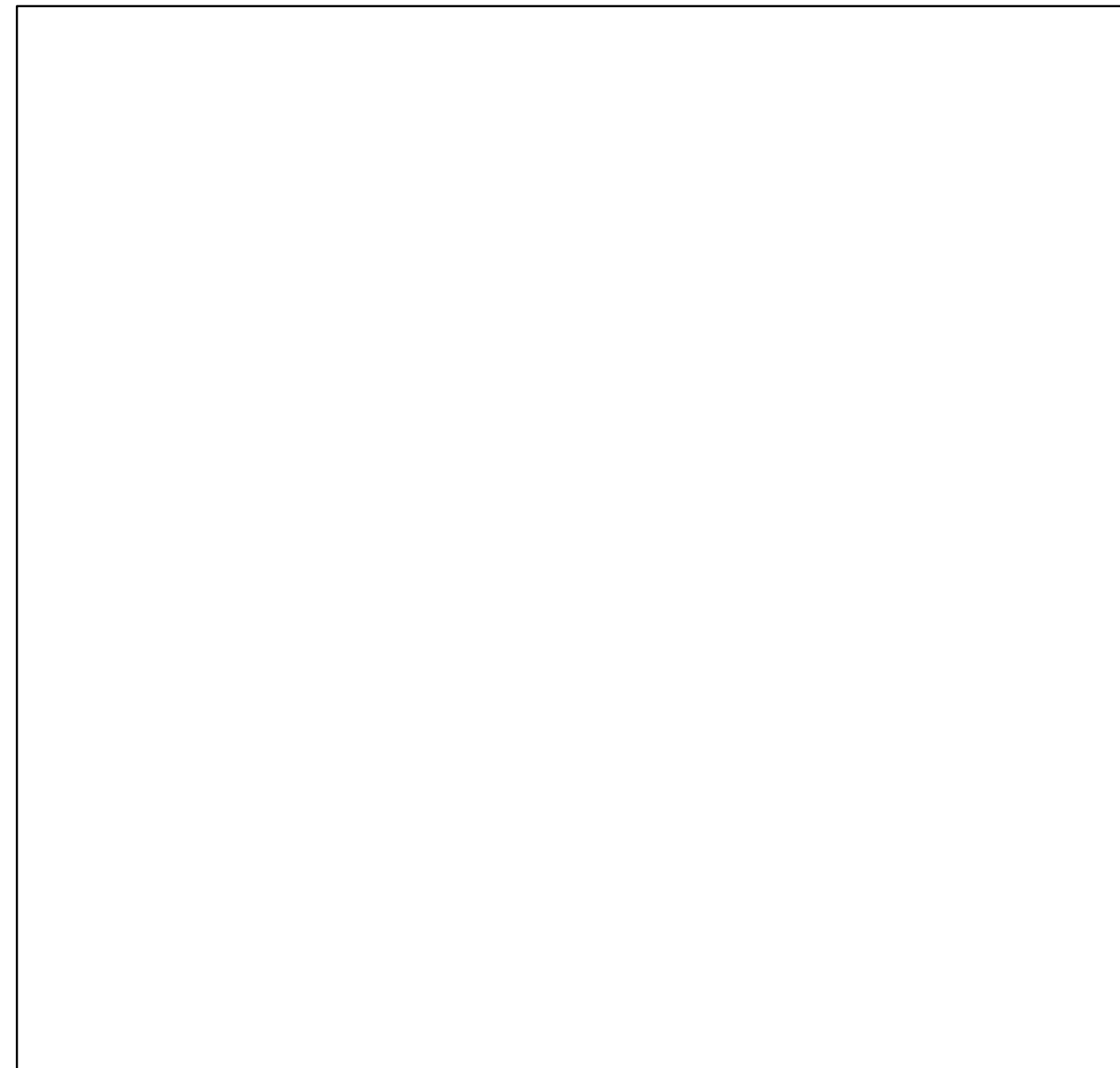
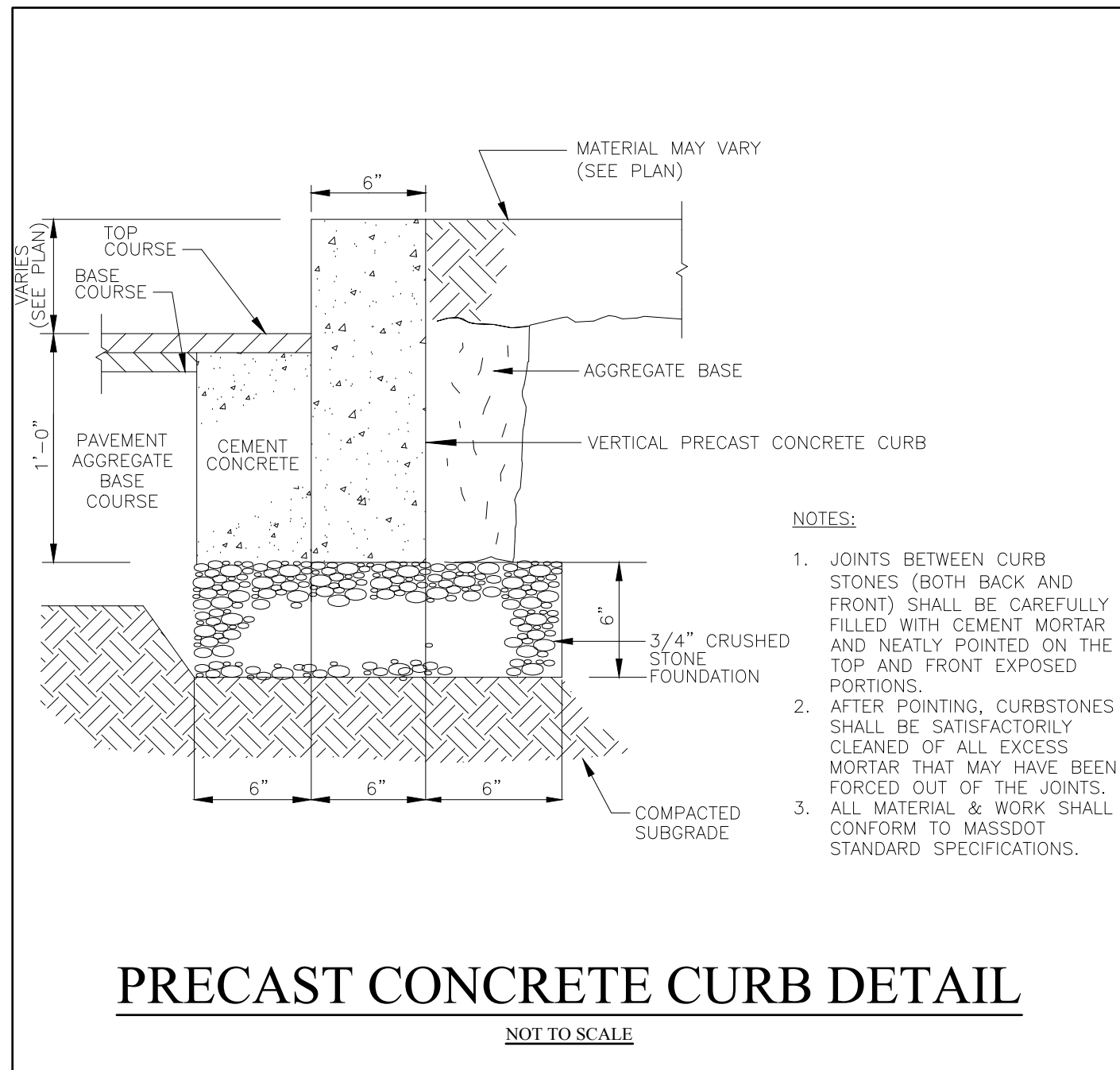
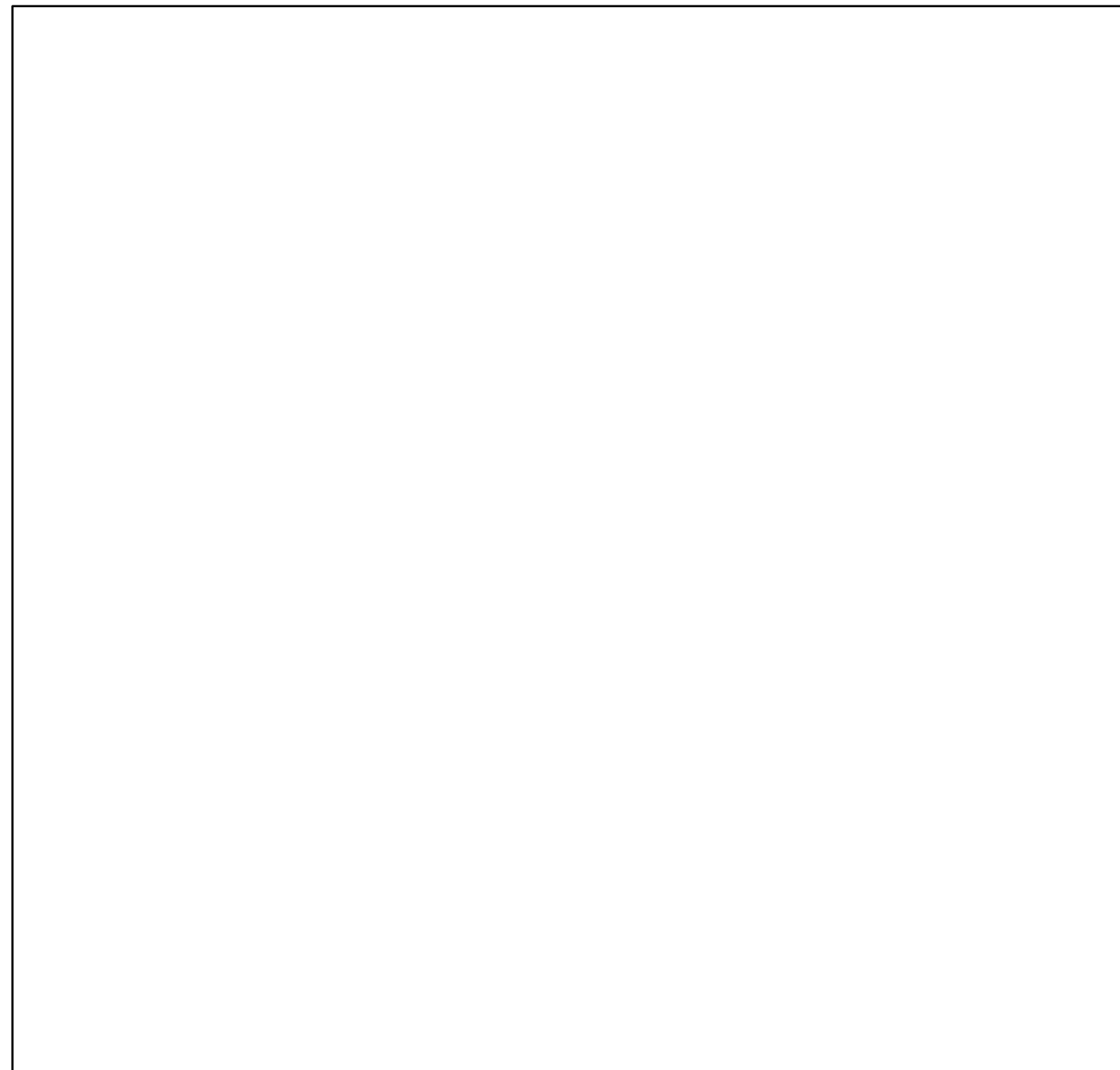
DATE: 11/10/2020





CDG PROJECT #:	20032
DATE:	11/10/2020





CONSTRUCTION PLANS

REVISIONS:		
REV	DATE	COMMENT
1		
2		
3		

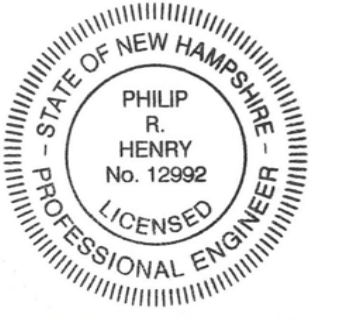
SCALE:

**NOT TO SCALE**

DESIGNED BY: TMF

CHECK BY: PRH

SEAL:



RSKJ

**PHILIP R. HENRY, P.E.**

PREPARED FOR:



WILLIAM STARCK  
ARCHITECTS, INC.

126 COVE STREET  
FALL RIVER, MASSACHUSETTS 02720  
TEL. 508.679.5733  
FAX: 508.672.8556  
E-MAIL: STARCK@STARCKARCHITECTS.COM  
WEBSITE: WWW.STARCKARCHITECTS.COM

PROJECT:



**PROPOSED ATM  
1465 WOODBURY AVENUE  
PORTSMOUTH, NH 03801**

PREPARED BY:

CIVIL DESIGN  
GROUP, LLC

21 HIGH STREET, SUITE 207  
NORTH ANDOVER, MA 01845  
www.cdgengineering.com  
p: 978-794-5400 f: 978-965-3971

SHEET:

## CONSTRUCTION DETAILS

4

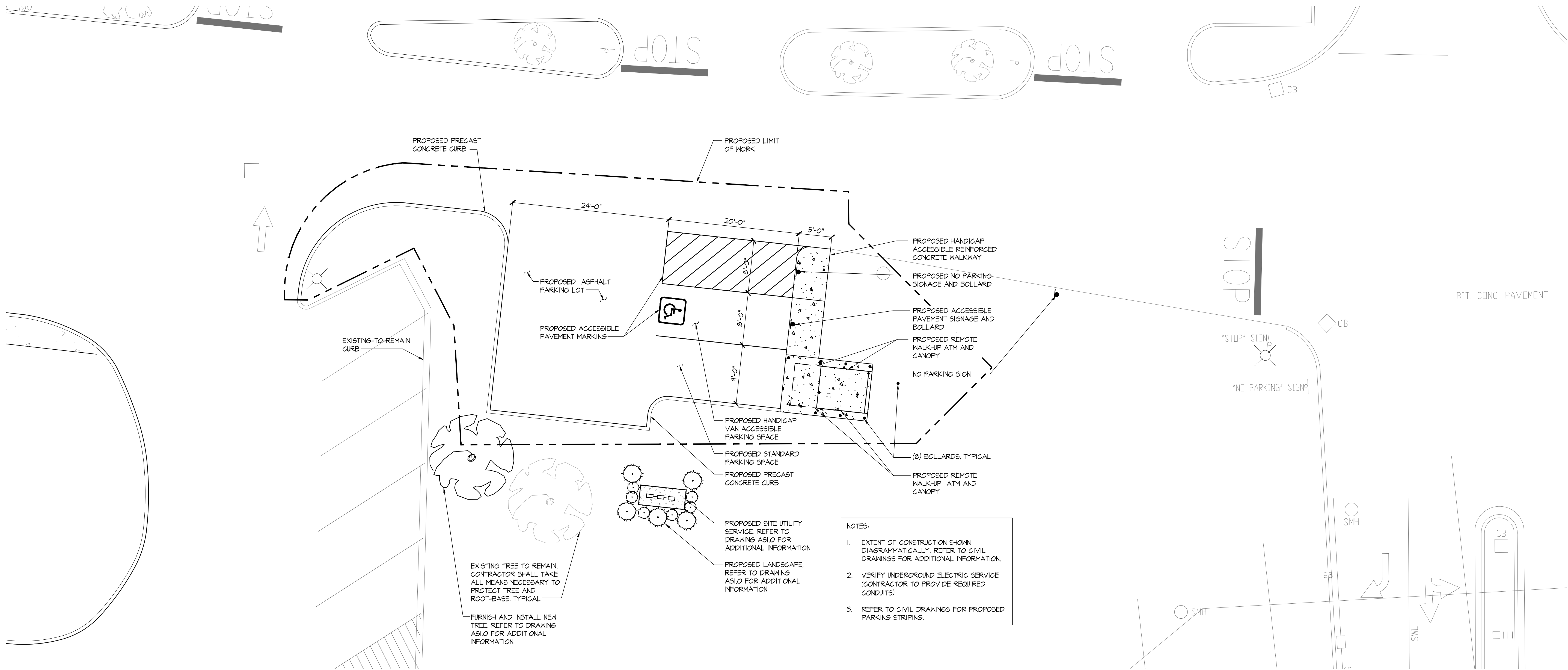
CDG PROJECT #: 20032

DATE: 11/10/2020







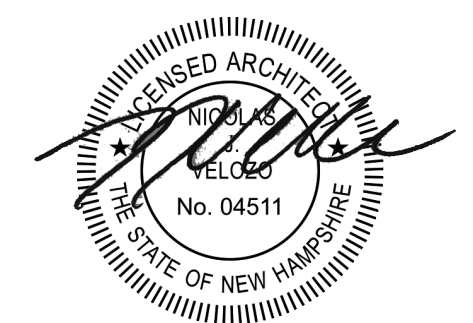


**PARTIAL EXISTING SITE PLAN at PROPOSED WALK-UP ATM**  
SCALE: 1/8" = 1'-0"  
SCALE IN FEET



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**CITIZENS BANK**  
**REMOTE WALK-UP ATM**  
1465 WOODBURY AVENUE  
PORTSMOUTH, NH 03801

**REVISIONS:**  
TAC REVIEW COMMENTS 11-10-20

SCALE: AS NOTED  
DATE: 09/30/2020  
DRAWN BY: MP  
JOB NUMBER: 20-153

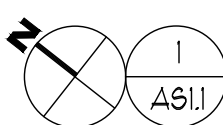
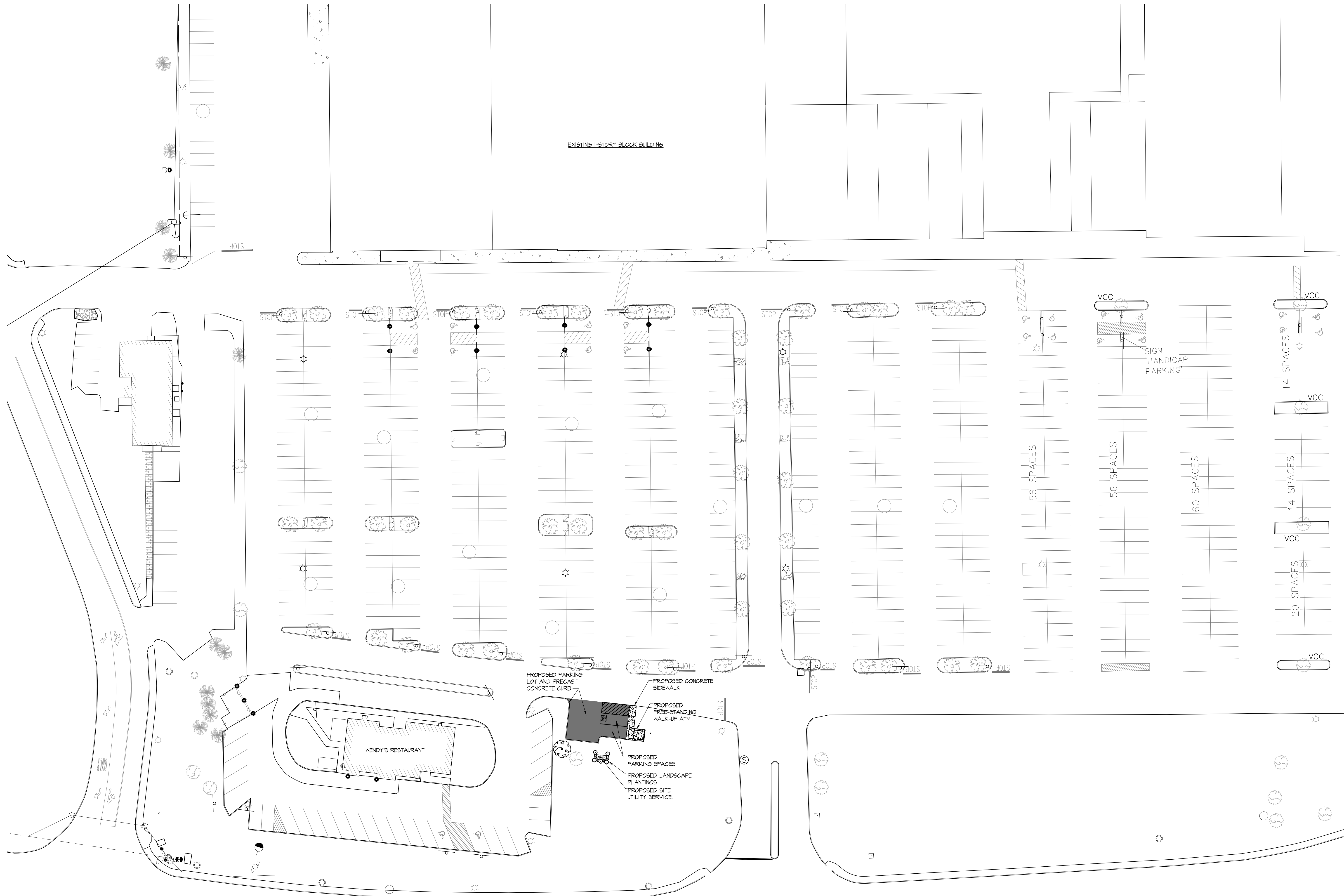
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**PARTIAL EXISTING  
SITE PLAN AT  
PROPOSED  
WALK-UP ATM**

DRAWING NUMBER:

**A1.1**

COMMENTS:





EXISTING SITE PLAN at PROPOSED FREE-STANDING WALK-UP ATM

SCALE: 1/32" = 1'-0"



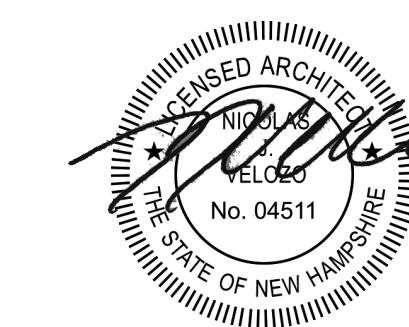
WOODBURY AVENUE



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Citizens Bank



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REVISIONS:

1 TAC REVIEW COMMENTS 11-10-20

SCALE: AS NOTED

DATE: 09/30/2020

DRAWN BY: MP

JOB NUMBER: 20-153

DRAWING NAME:

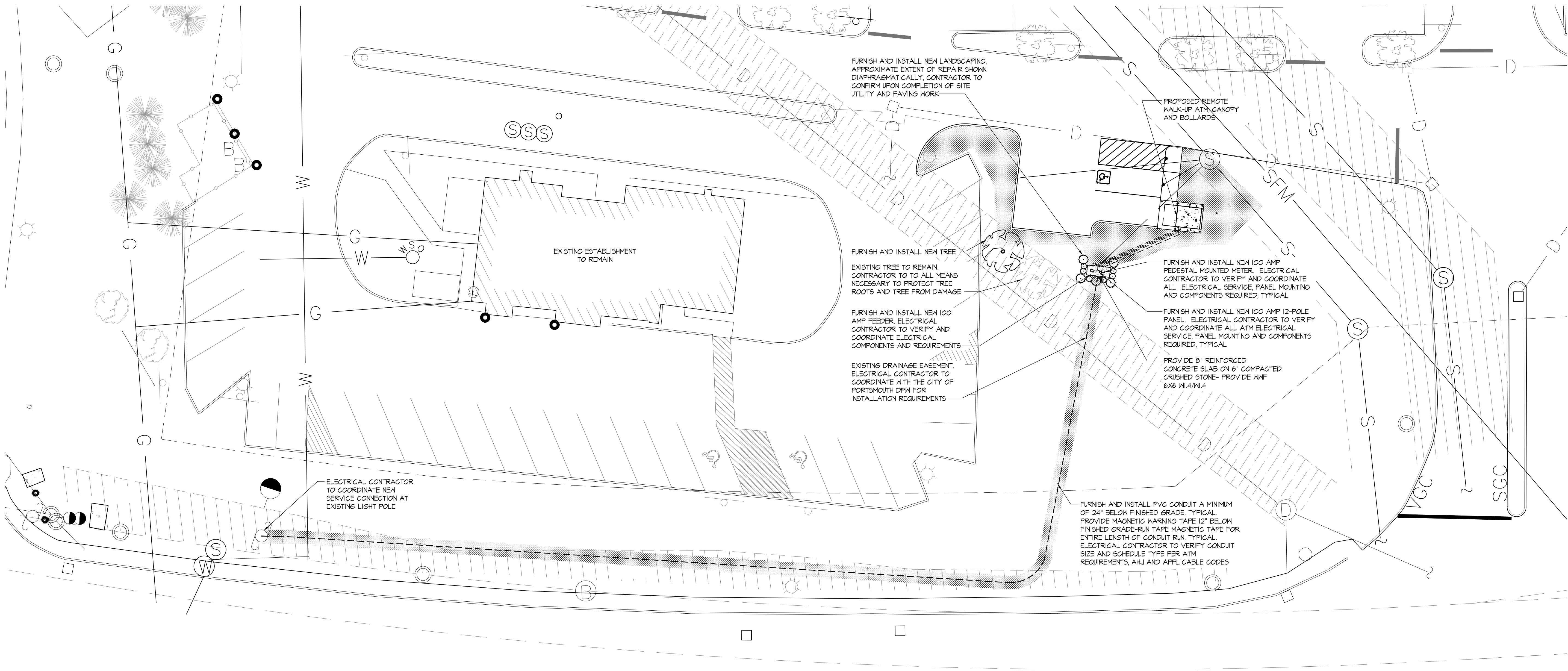
EXISTING SITE PLAN  
AT PROPOSED  
FREE-STANDING  
WALK-UP ATM

DRAWING NUMBER:

AS1.0

COMMENTS:





1  
AS11  
SCALE: 1/16" = 1'-0"  
0 16 32  
SCALE IN FEET

- GENERAL LANDSCAPING NOTES:
- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
  - ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
  - THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

PLANTING SCHEDULE:

	BAPTISIA-FALSE INDIGO:	6
	DWARF ALBERTA SPRUCE SHRUB:	5
	EASTERN REDBUD (CERCIS CANADENSIS):	1

- GENERAL ELECTRICAL NOTES:
- EXTENT OF CONDUIT RUNS AND ELECTRICAL COMPONENTS SHOWN DIAGRAMMATICALLY. ELECTRICAL CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK FOR ADDITIONAL INFORMATION. ANY WORK NOT SHOWN SHALL NOT RELIEVE THE ELECTRICAL CONTRACTOR OF RESPONSIBILITIES OF INSTALLING A COMPLETELY ACCEPTABLE CODE COMPLIANT INSTALLATION. THE GENERAL CONDITIONS SHOWN DIAGRAMMATICALLY SHALL BE CAREFULLY EXAMINED PRIOR TO COMMENCEMENT OF WORK. THE ELECTRICAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
  - ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY OUTLETS, MOUNTING HARDWARE AND SUPPORTS, FITTINGS AND ACCESSORIES TO FULFILL APPLICABLE CODES, REGULATIONS, AND THE BEST PRACTICES OF THE TRADE FOR INSTALLATION OF ALL ELECTRICAL WORK. ANY ADDITIONAL CONCRETE HOUSEKEEPING PADS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR AND INCLUDED AS PART OF THE SCOPE OF WORK.
  - SHOULD ANY WORK REQUIRE SUBSEQUENT MODIFICATIONS OR RE-LOCATIONS TO AVOID CONFLICTS OR INTERFERENCE WITH OTHER WORK OR EXISTING UTILITIES, THESE CHANGES SHALL BE CONDUCTED WITHOUT ADDITIONAL COST.
  - ALTHOUGH ALL WIRING, CONTROLS BRANCH CIRCUITING AND CONDUIT IS NOT SHOWN, IT IS THE INTENT OF THIS DRAWING THAT A COMPLETE BRANCH CIRCUIT WIRING SYSTEM BE INSTALLED IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS.
  - A GREEN GROUNDING CONDUCTOR SHALL BE RUN WITH ALL CIRCUITS. VERIFY CONDUIT SIZE TO ENSURE IT CAN ACCOMMODATE ALL PHASE, NEUTRAL AND GROUND CONDUCTORS.
  - ELECTRICAL CONTRACTOR SHALL COORDINATE ALL NEW SERVICE, WIRING AND GROUNDING REQUIREMENTS WITH ATM EQUIPMENT PRIOR TO COMMENCEMENT OF WORK. NO CLAIMS FOR EXTRA COSTS WILL BE ALLOWED BECAUSE OF LACK OF FULL KNOWLEDGE OF THE EXISTING CONDITIONS AND ATM EQUIPMENT UNLESS AGREED TO IN ADVANCED WITH THE OWNER/CONSTRUCTION MANAGER.
  - ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES AND STANDARDS.
  - ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL TYPEWRITTEN DIRECTORIES BENEATH TRANSPARENT PLASTIC COVERS IN METAL FRAMES IN ALL PANELS INDICATING TYPE AND LOCATION OF LOAD BEING SERVED BY INDIVIDUAL CIRCUIT BREAKER.
  - ALL PARTS OF EQUIPMENT, INCLUDING BUT NOT LIMITED TO PANELS, JUNCTION BOXES, SAFETY SWITCHES, CIRCUIT BREAKERS AND CONDUCTORS, SHALL BE INDICATED BY NAME AT SUPPLY END AND AT LOAD END, TYPICAL.

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1465 WOODBURY AVENUE  
PORTSMOUTH, NH 03801

REVISIONS:

1	TAC REVIEW COMMENTS 11-10-20

SCALE: AS NOTED  
DATE: 09/30/2020  
DRAWN BY: MP  
JOB NUMBER: 20-153

DRAWING NAME:  
**ARCHITECTURAL  
ELECTRICAL PARTIAL  
SITE PLAN**

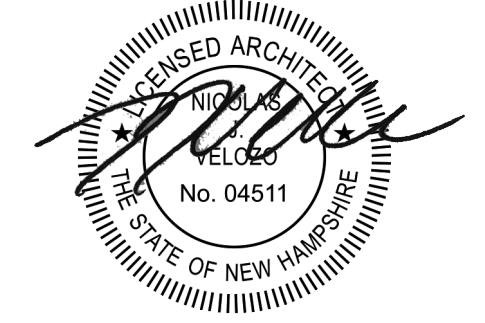
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**AS1.1**

COMMENTS:





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JOB NUMBER: 20-153

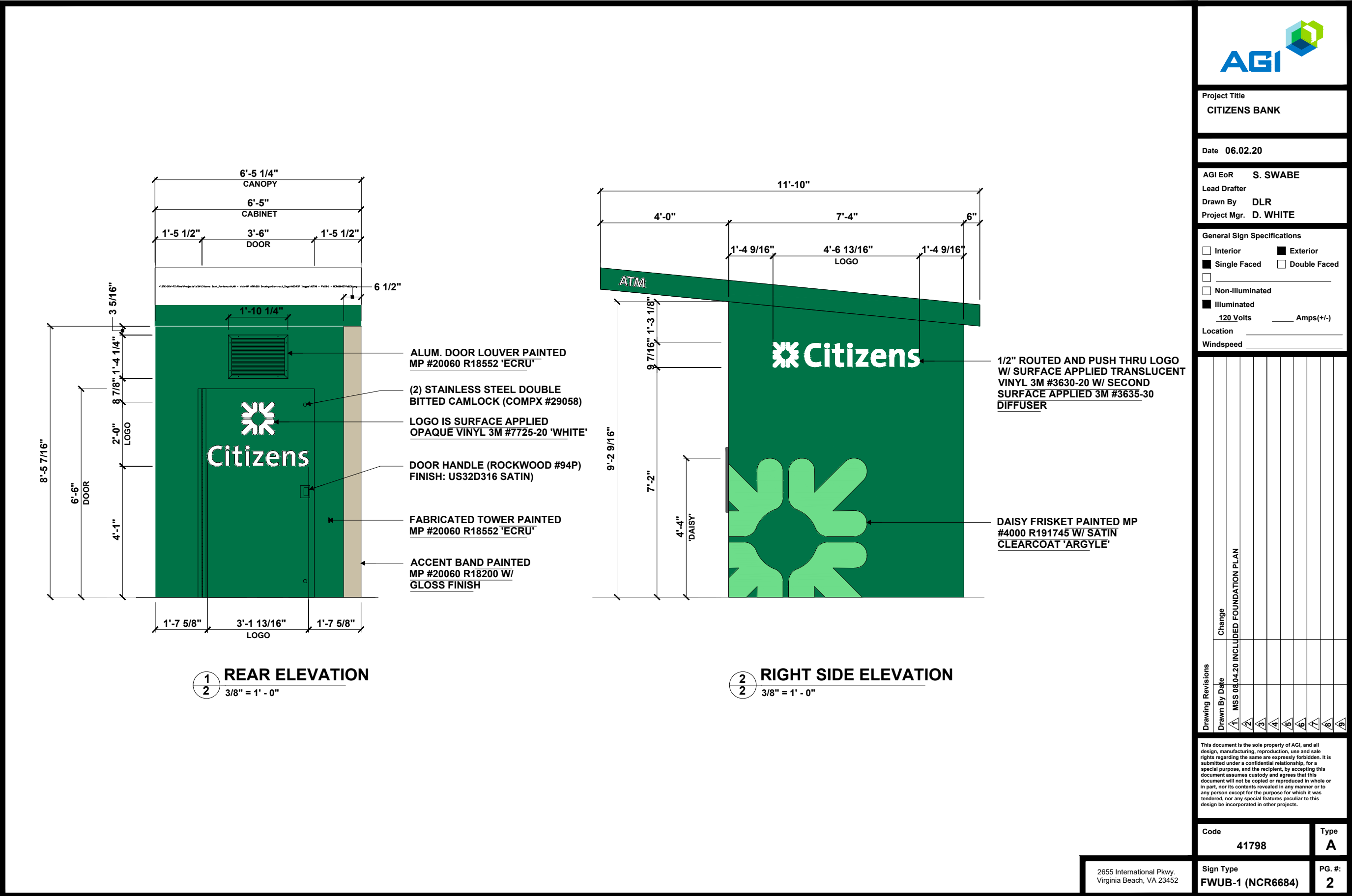
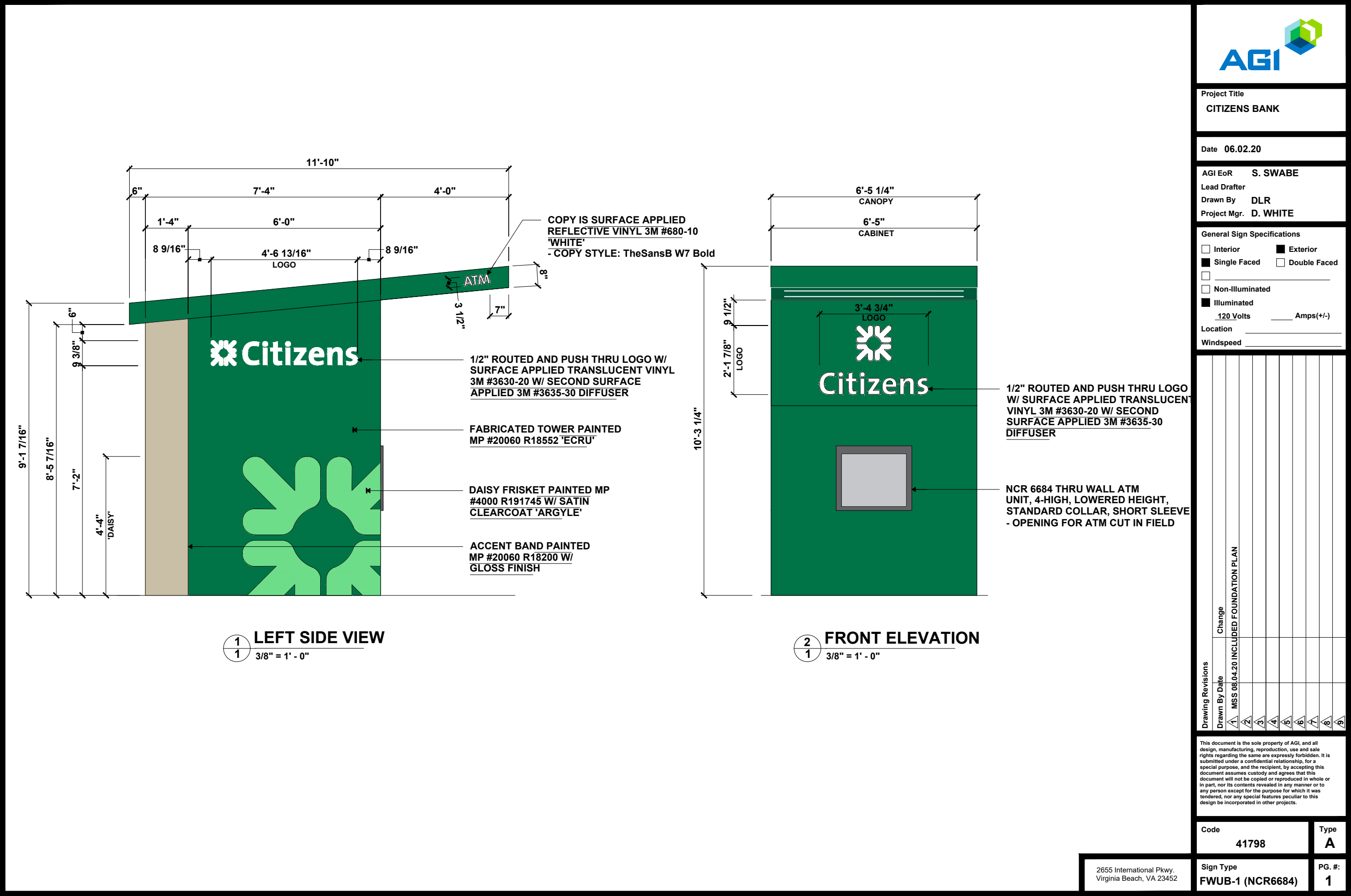
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DRAWING NUMBER:

**AS1.2**

COMMENTS:





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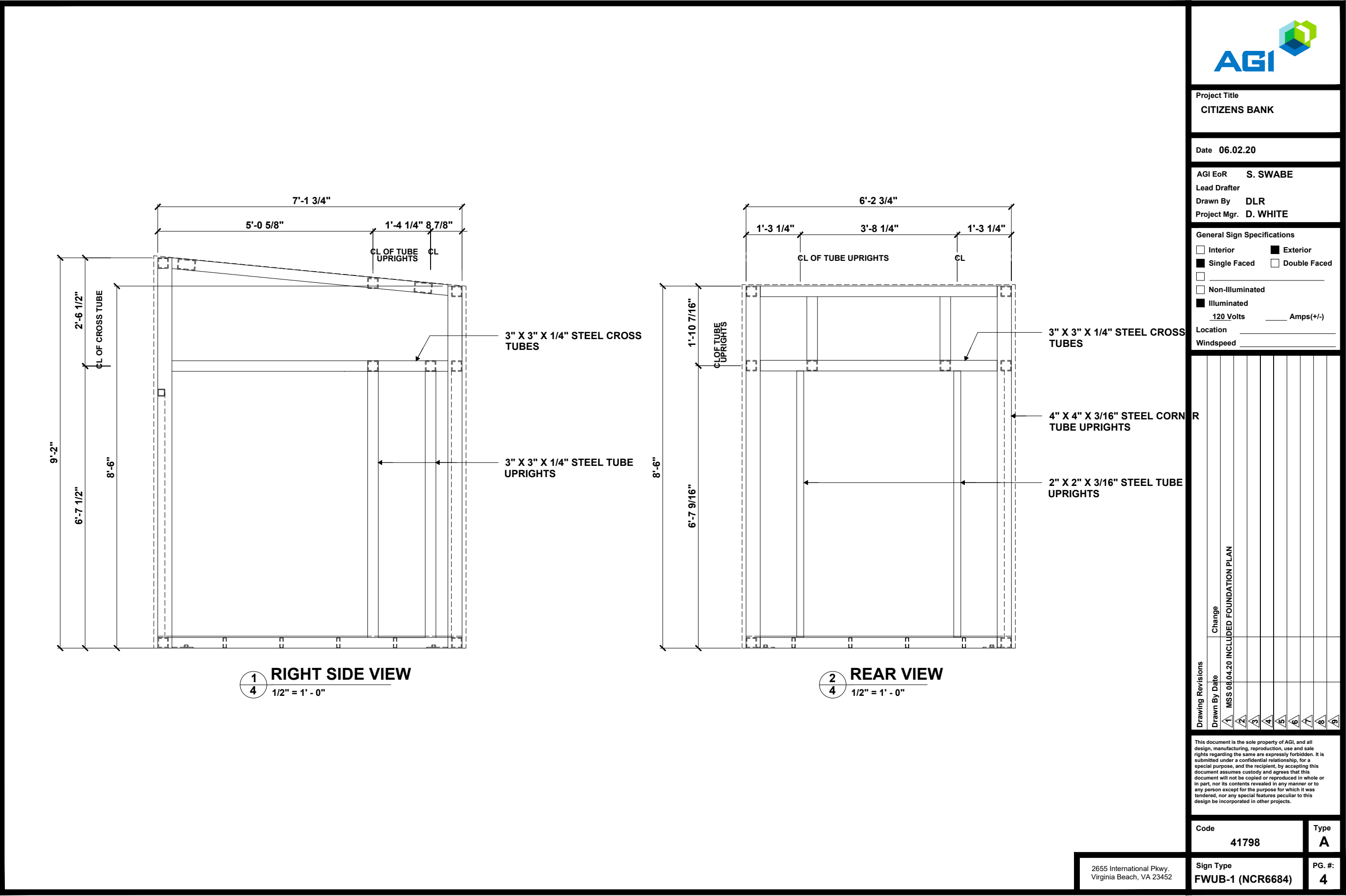
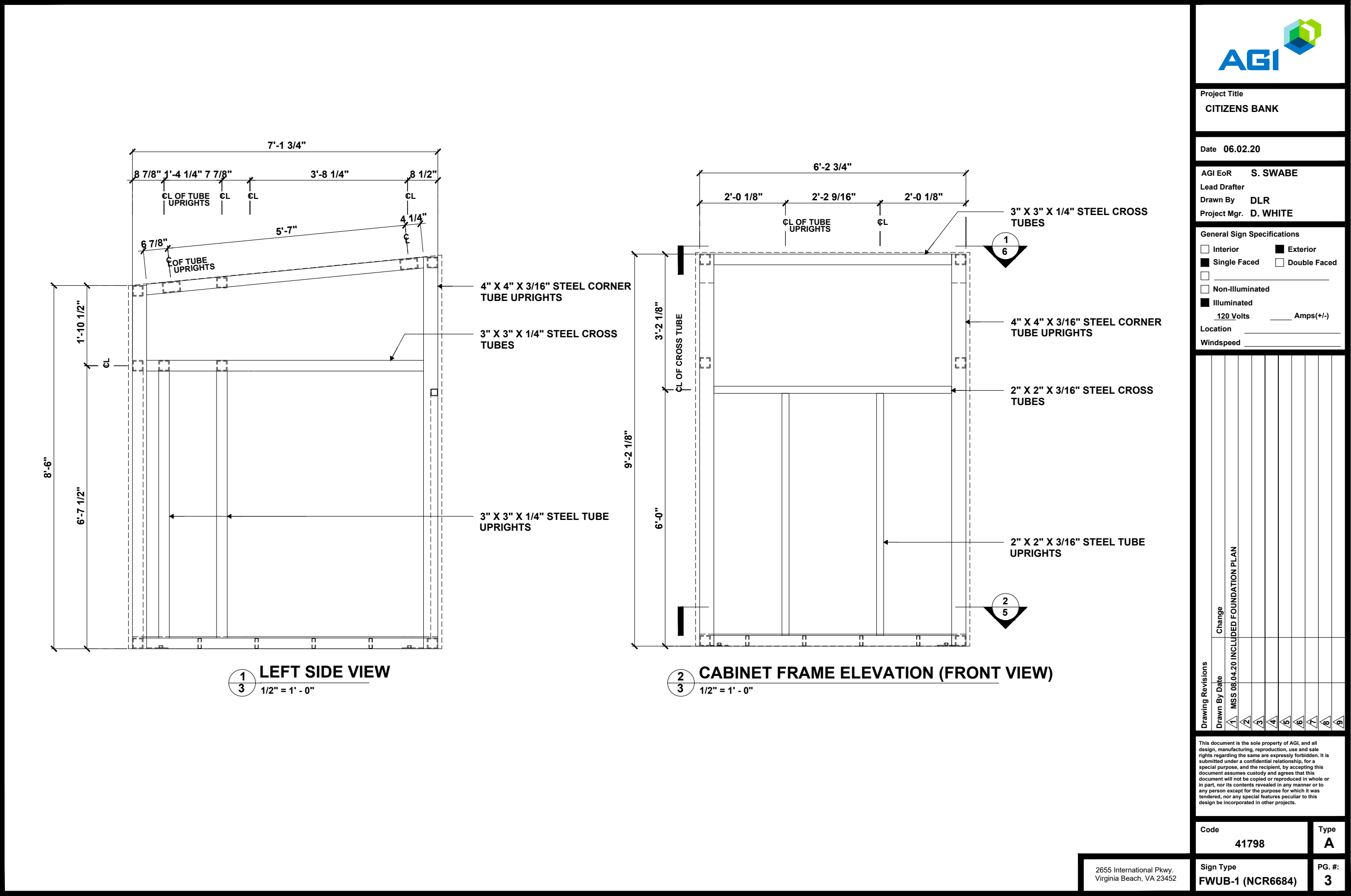
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SCALE:	AS NOTED
DATE:	09/30/2020
DRAWN BY:	MP
JOB NUMBER:	20-153
DRAWING NAME:	ATM STRUCTURE DETAILS

DRAWING NUMBER:

A2.0

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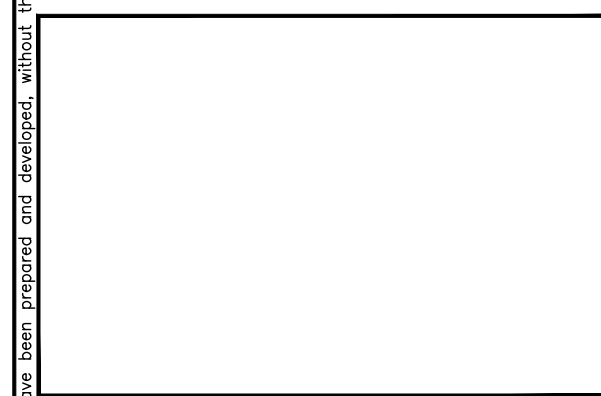
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ATM STRUCTURE  
DETAILS

DRAWING NUMBER:

A2.1

COMMENTS:





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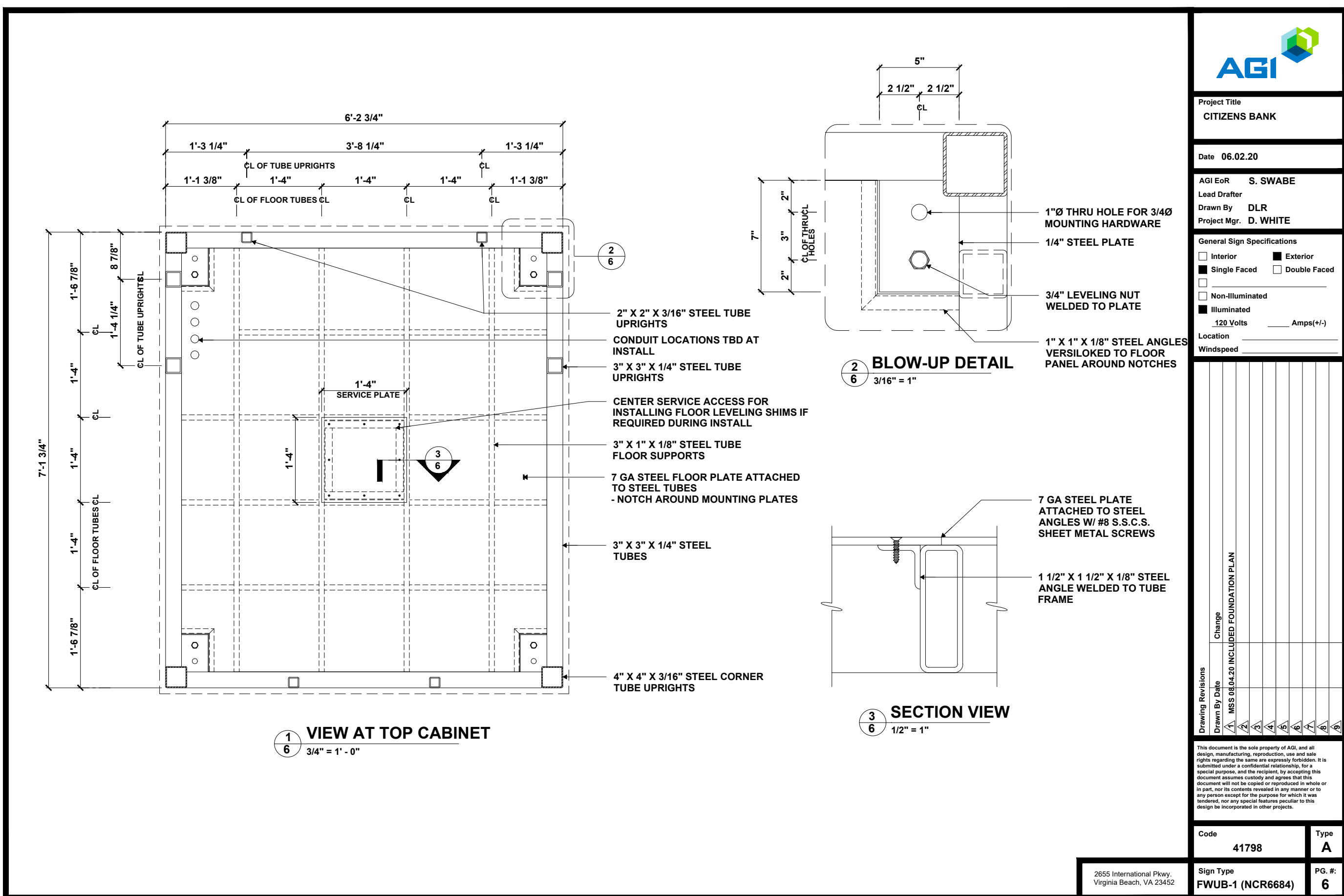
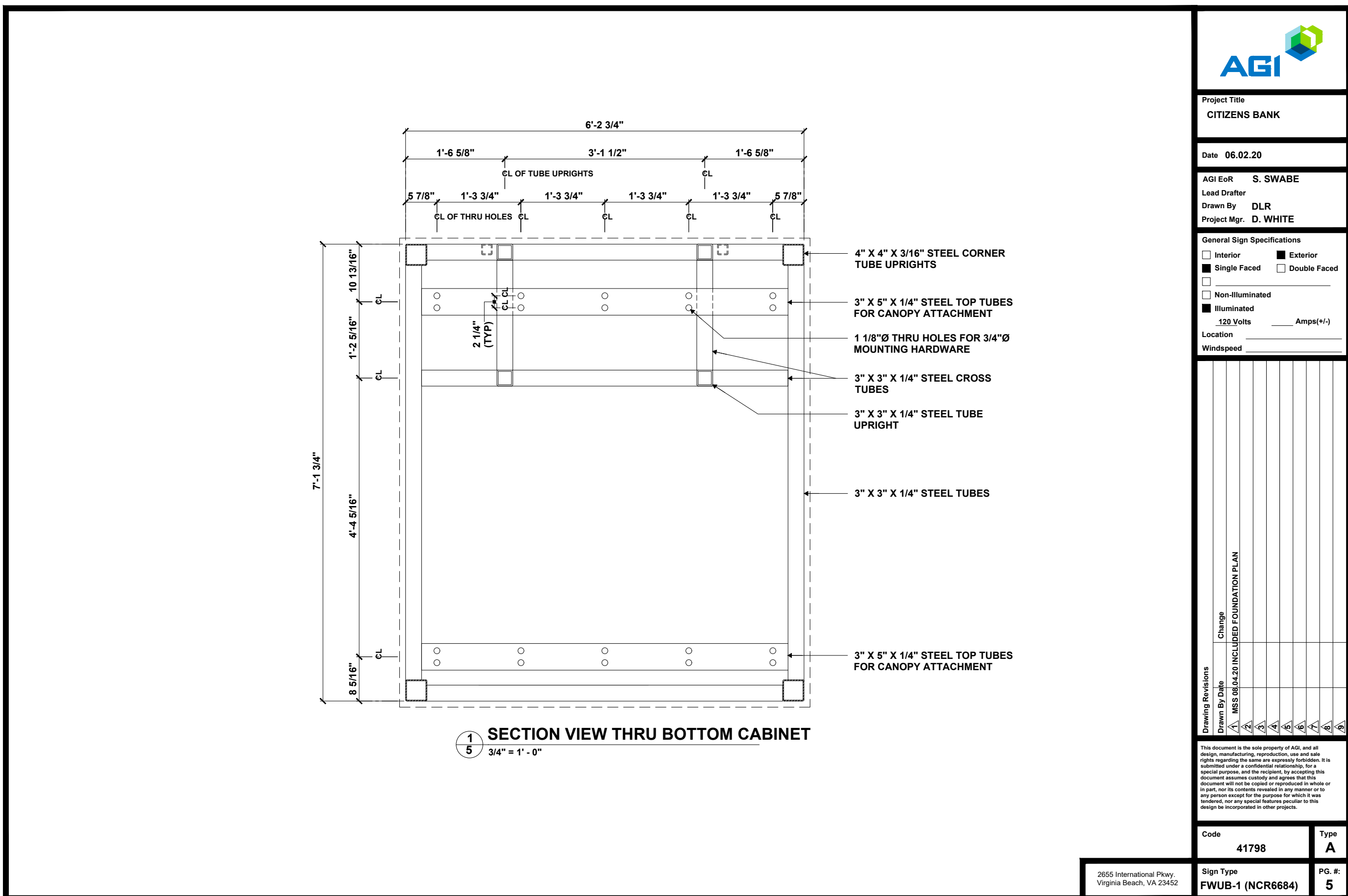
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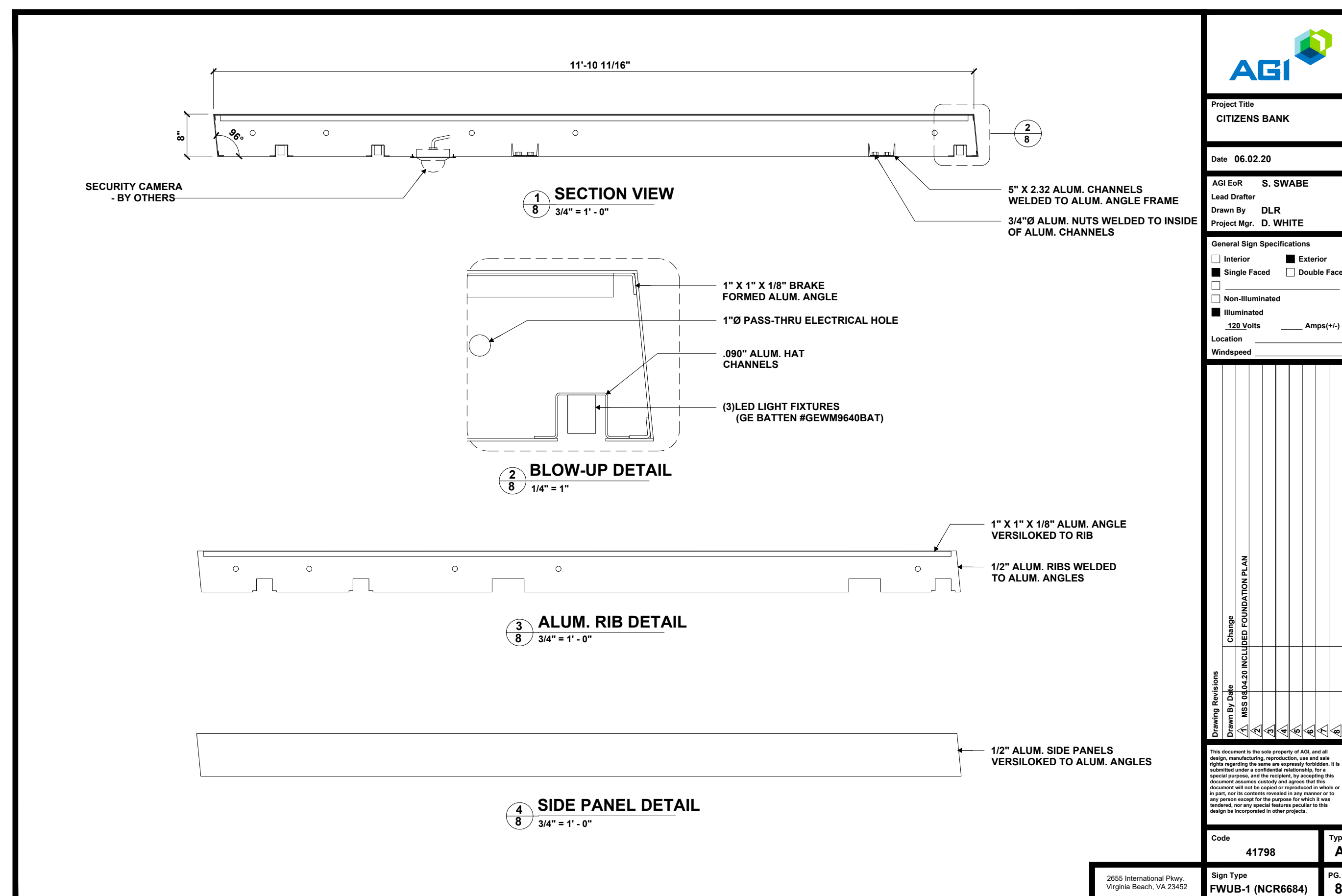
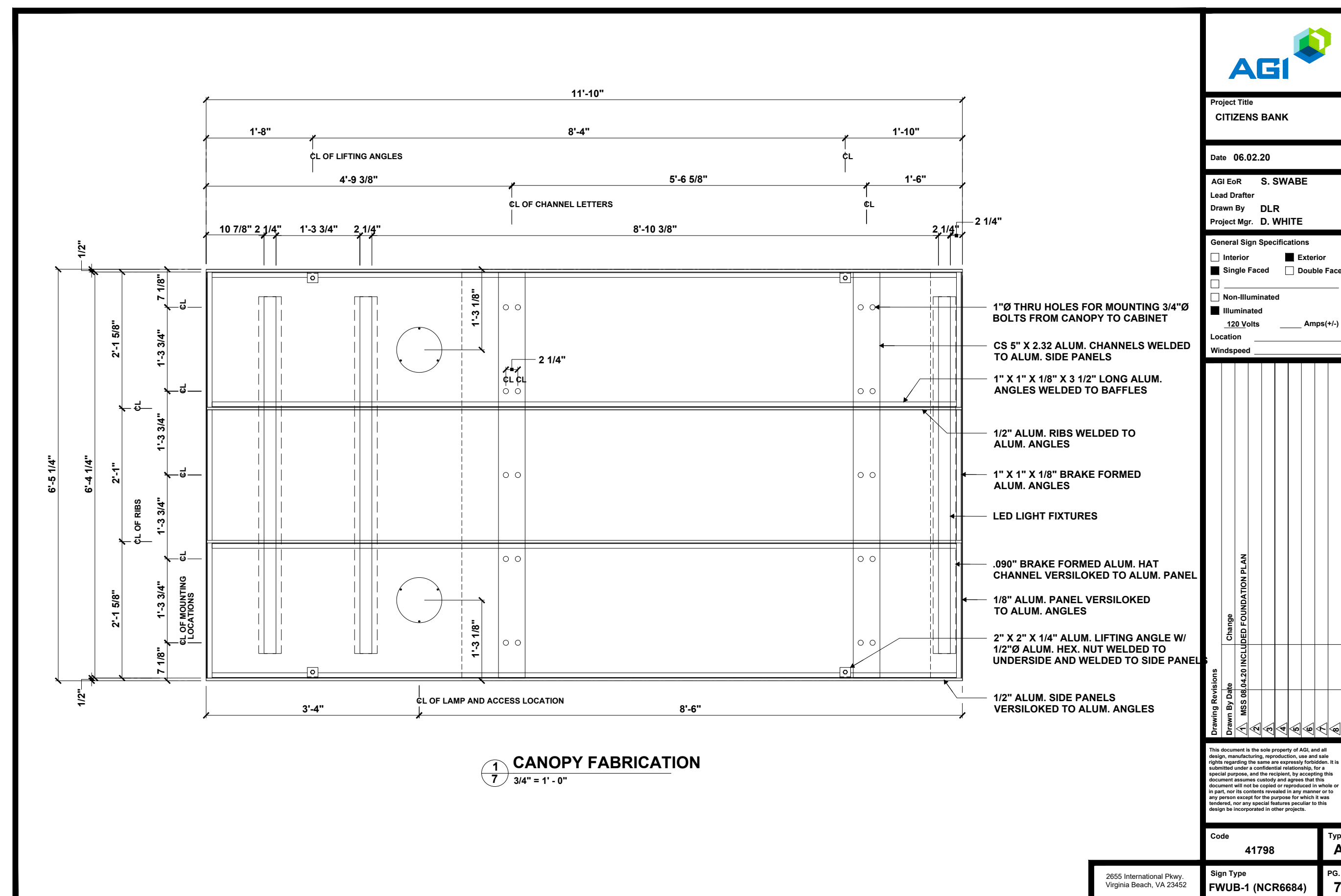
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DATE:	09/30/2020
DRAWN BY:	MP
JOB NUMBER:	20-153
DRAWING NAME:	
<b>ATM STRUCTURE DETAILS</b>	

DRAWING NUMBER: \_\_\_\_\_

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SCALE: AS NOTED

DATE: 09/30/2020

DRAWN BY: MP

JOB NUMBER:	20-153
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JOB NUMBER: 20-155

DRAWING NAME:

### ATM STRUCTURE

## ATM STRUCTURE

## DETAILS

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DRAWING NUMBER:

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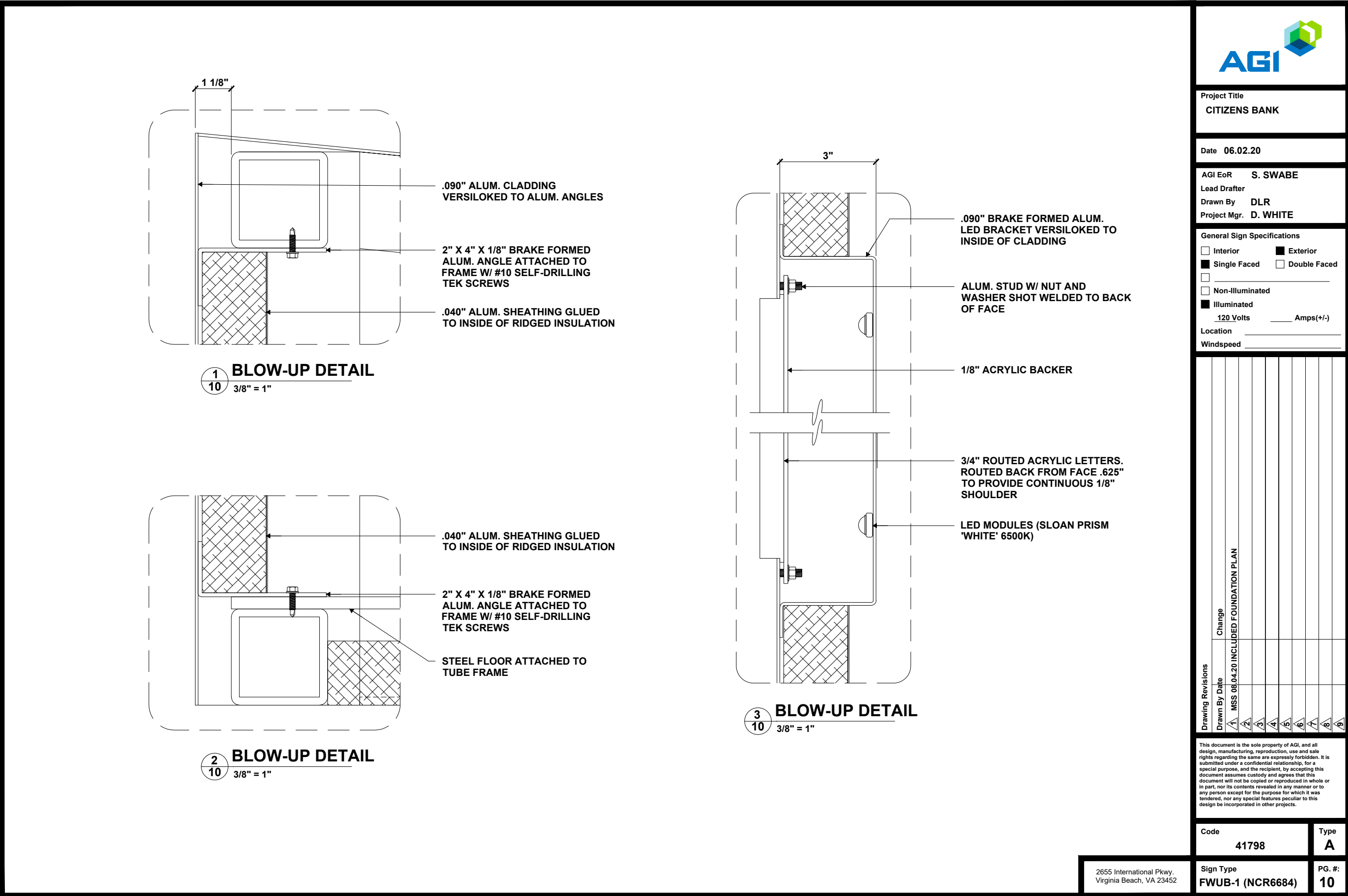
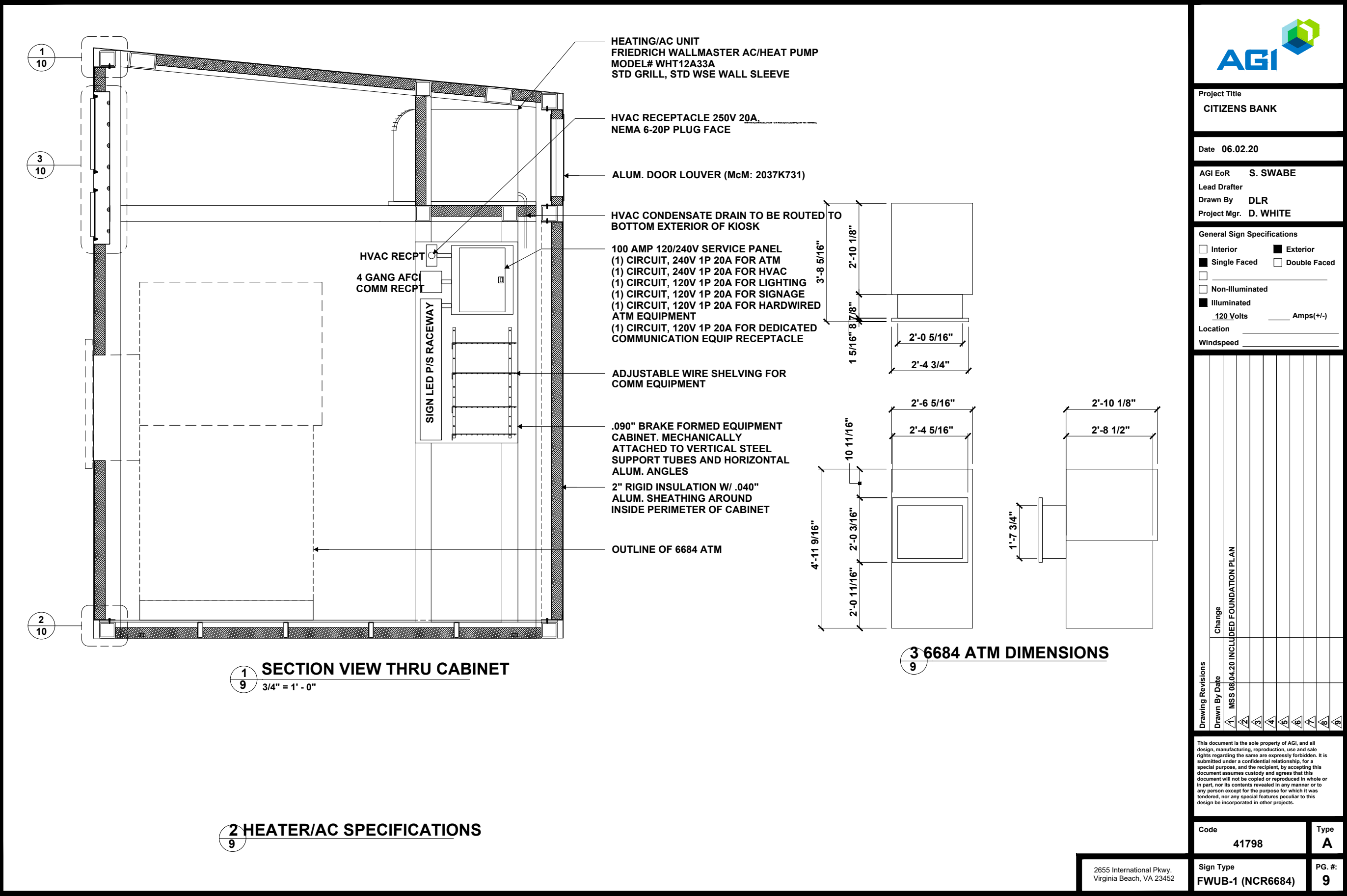
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JOB NUMBER: 20-153

DRAWING NAME:

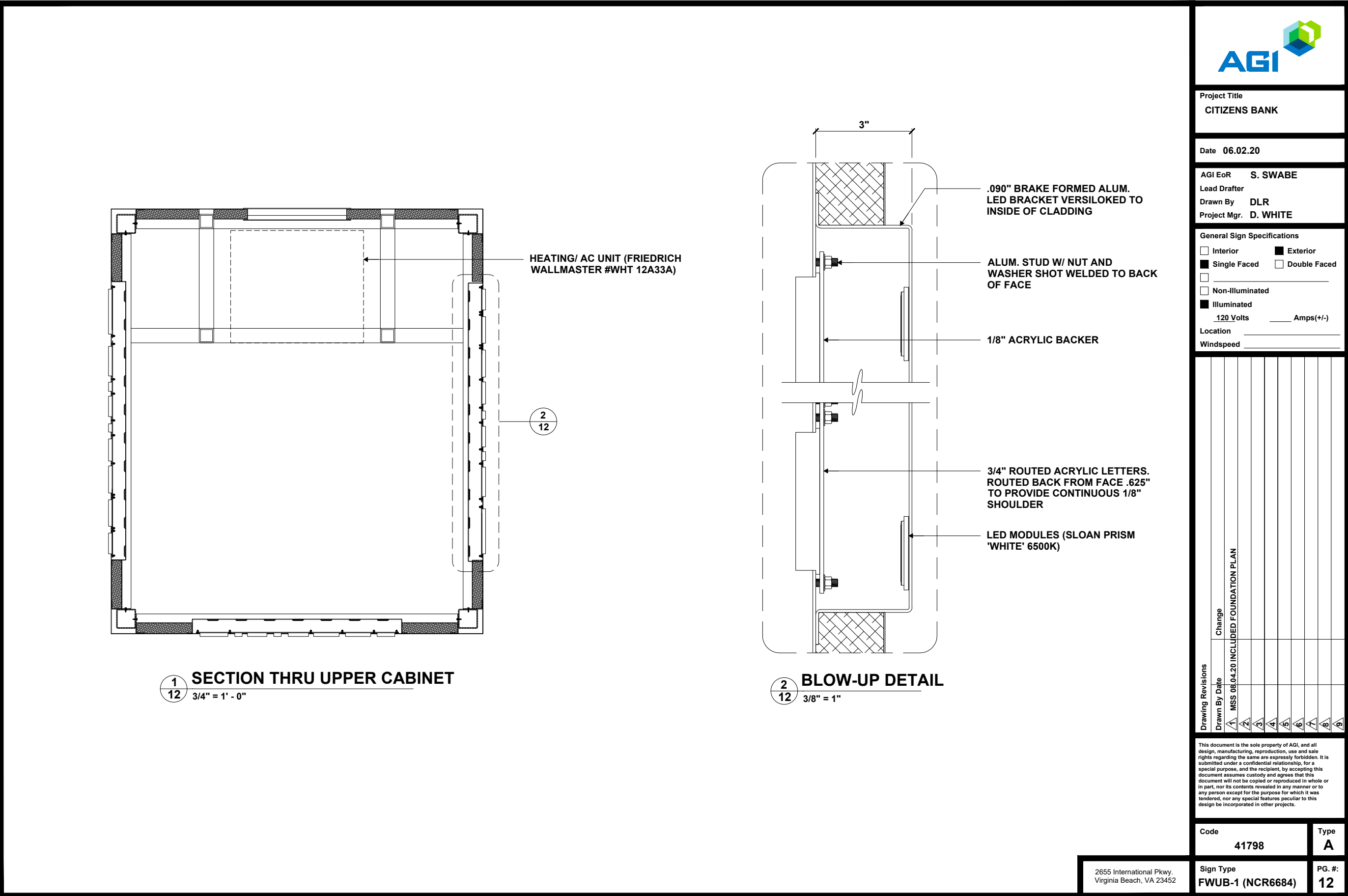
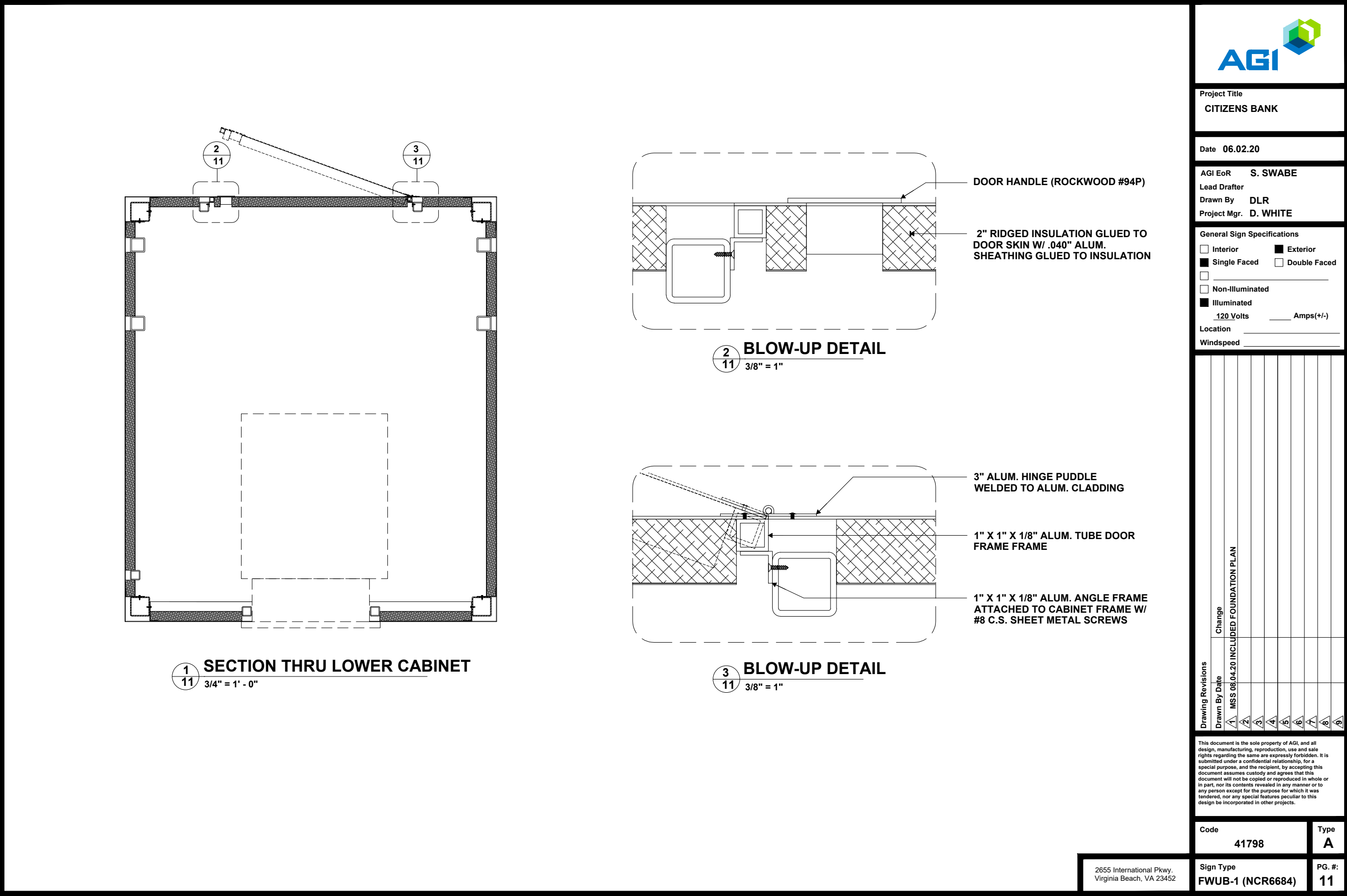
ATM STRUCTURE  
DETAILS

DRAWING NUMBER:

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DETAILS

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COMMENTS:





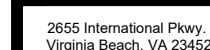
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DATE	REVISIONS
11-10-20	TAC REVIEW COMMENTS

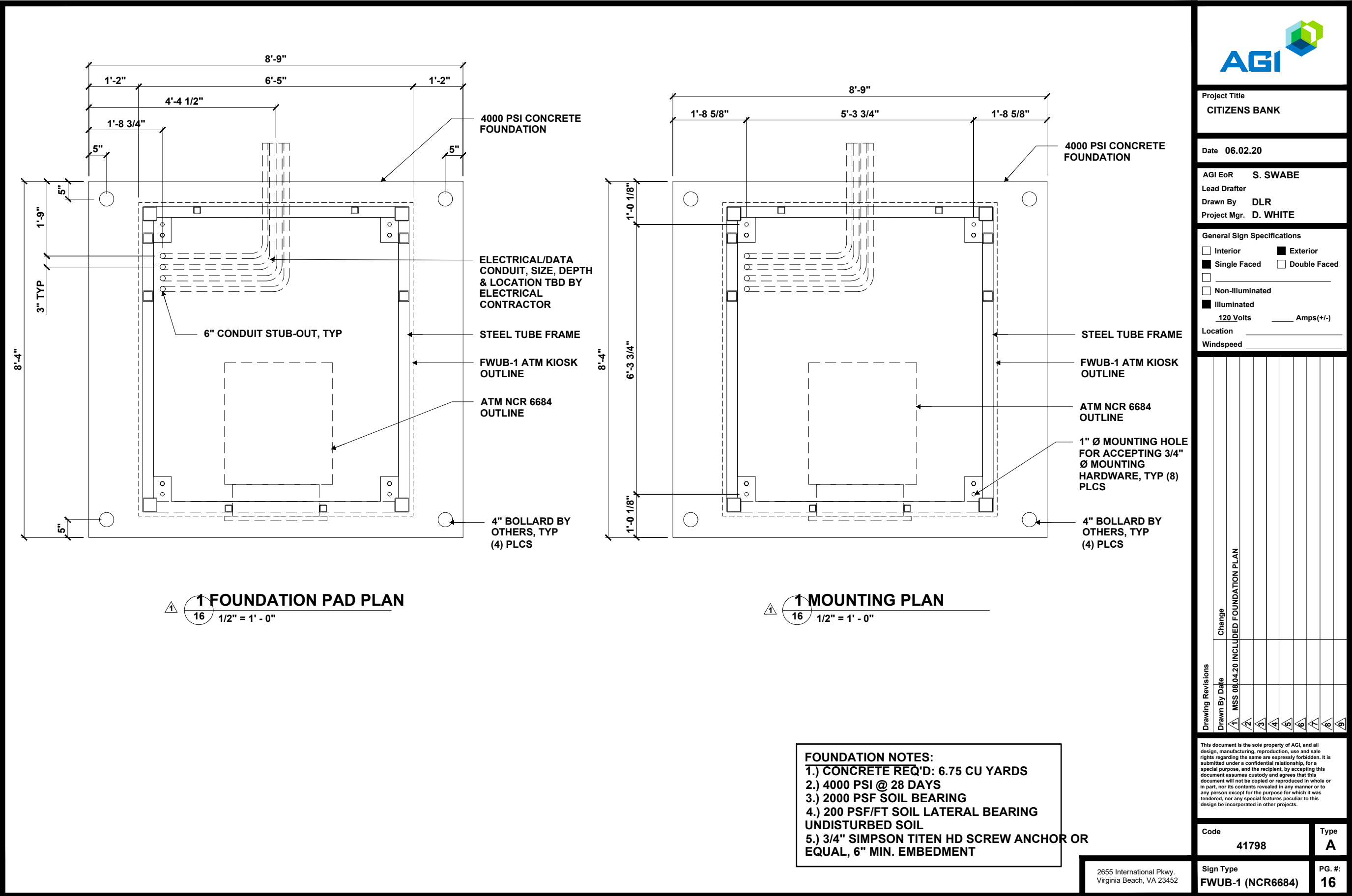
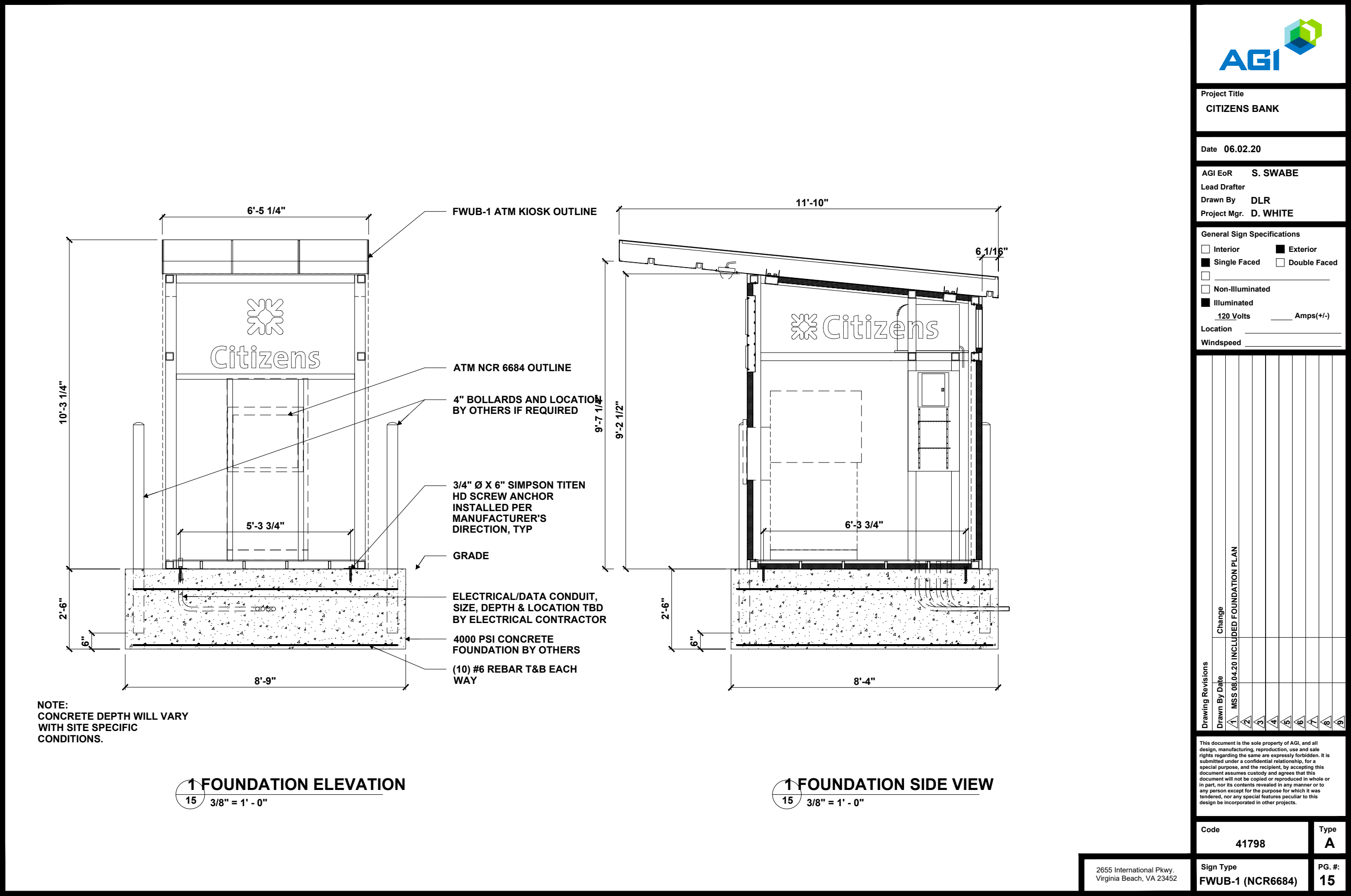
## ATM STRUCTURE DETAILS

## A2.6

COMMENTS







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DRAWING NAME:  
ATM STRUCTURE  
DETAILS

DRAWING NUMBER:

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COMMENTS:



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SCALE:	AS NOTED
DATE:	09/30/2020
DRAWN BY:	MP
JOB NUMBER:	20-153

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**ATM STRUCTURE  
DETAILS**

DRAWING NUMBER:

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COMMENTS

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