

P-0595-008
January 2, 2020

Ms. Juliet Walker Planning Director
City of Portsmouth Planning Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

**Re: Preliminary Conceptual Consultation Phase & Design Review Phase
Proposed Hotel, 299 Vaughan Street & 53 Green Street, Portsmouth, NH**

Dear Juliet:

On behalf of Stone Creek Realty, LLC & Vaughan Street Hotel, LLC owners, and XXS Hotels, LLC, applicant, we are pleased to submit twelve (12) hard copies along with a digital copy in PDF format of the following information to support a request for a Preliminary Conceptual Consultation and a request for Design Review with the Planning Board for the above referenced project:

- Design Review Site Plan Set dated January 2, 2020
- Shared Parking Calculation dated January 2, 2020

The proposed project will include a lot line revision between Map 124 Lot 10 and Map 119 Lot 2. A 5-story hotel is proposed along Green Street on the revised Map 119 Lot 2 parcel. The project is proposing over 30% community space in order to meet the incentive requirements to construct an additional story on the building. A Conditional Use Permit for shared parking on a separate lot will be required for the project. The project will share parking between Map 124 Lot 10 and Map 119 Lot 2. The project meets the Downtown Overlay District (DOD) parking requirements as shown on the plans. In addition, the project meets the Shared Parking provisions of the ordinance as demonstrated in the enclosed shared parking calculation.

As per Section 2.4.2.1 of the Site Plan Regulations, the proposed project is required to meet with the Planning Board for Preliminary Conceptual Consultation Phase. Thus, the applicant respectfully requests to be placed on the January 16, 2020 Planning Board meeting agenda for the Preliminary Conceptual Consultation Phase. In addition, the applicant is seeking to meet with the Planning Board for Design Review Phase. As such, the applicant also respectfully requests a vote from the Planning Board at the January 16, 2020 meeting to accept a request for Design Review Phase so that public hearing can be scheduled for the February 20, 2020 Planning Board meeting. If you have any questions or need any additional information, please contact Patrick Crimmins by phone at (603) 433-8818 or by email at pmcrimmins@tighebond.com.

Sincerely,
TIGHE & BOND, INC.



Patrick M. Crimmins, PE
Senior Project Manager



Neil A. Hansen, PE
Project Engineer



January 2, 2020

Shared Parking Calculation					
Moxy Hotel, Portsmouth, NH					
Shared Parking Requirements					
	Weekday		Weekend		Nighttime (Midnight– 6:00 AM)
	Daytime (8:00 AM– 5:00 PM)	Evening (6:00 PM– Midnight)	Daytime (8:00 AM– 5:00 PM)	Evening (6:00 PM– Midnight)	
Office Use Parking Requirements ⁽¹⁾	1 Space / 350 SF = 14,600 SF / 350 SF 42				
Office Use Shared Parking Rate	100%	20%	10%	5%	5%
Office Use Shared Parking Required	42	8	4	2	2
AC Hotel Parking Requirements	(0.75 Spaces / Room) = (0.75 Spaces * 156 Rooms) 117				
Use Hotel Shared Parking Rate	70%	100%	75%	100%	100%
AC Hotel Shared Parking Required	82	117	88	117	117
Proposed Moxy Hotel Parking Requirements	(0.75 Spaces / Room) = (0.75 Spaces * 80 Rooms) 60				
Use Hotel Shared Parking Rate	70%	100%	75%	100%	100%
Proposed Hotel Shared Parking Required	42	60	45	60	60
Total Spaces Required	166	185	137	179	179
(1) - Assumes typical parking space requirements for Office Use within the City of Portsmouth as there are no Office Use parking requirements within the Downtown Overlay District					

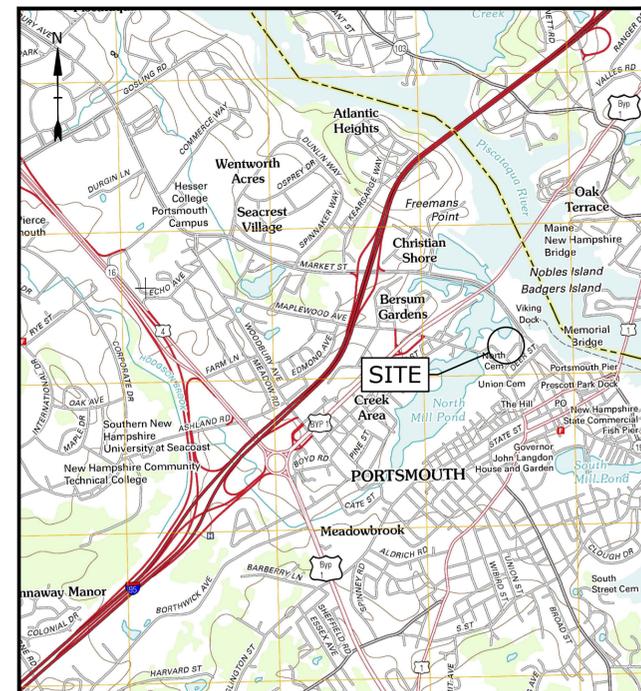
Proposed Parking Spaces	
Tax Map 119, Lot 2	67
Tax Map 124, Lot 10	118
Total Spaces Proposed	185

PROPOSED MOXY HOTEL

299 VAUGHAN STREET & 53 GREEN STREET
 PORTSMOUTH, NEW HAMPSHIRE
 JANUARY 2, 2020

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	1/2/2020
C-101	OVERALL EXISTING CONDITIONS PLAN	1/2/2020
C-101.1	DEMOLITION PLAN	1/2/2020
C-102	OVERALL SITE PLAN	1/2/2020
C-102.1	SITE PLAN	1/2/2020
C-103	GRADING, DRAINAGE AND EROSION CONTROL PLAN	1/2/2020
C-104	UTILITIES PLAN	1/2/2020
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	1/2/2020
C-502	DETAILS SHEET	1/2/2020
C-503	DETAILS SHEET	1/2/2020
C-504	DETAILS SHEET	1/2/2020

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT		
LOT LINE REVISION PERMIT		
CONDITIONAL USE PERMIT - SHARED PARKING		
CONDITIONAL USE PERMIT - WETLAND BUFFER		
STATE		
NHDES - ALTERATION OF TERRAIN PERMIT		
NHDES - WETLANDS PERMIT		
NHDES - SHORELAND PERMIT		
NHDES - SEWER CONNECTION PERMIT		
FEDERAL		
EPA - NPDES CGP		



LOCATION MAP
 SCALE: 1" = 2,000'

PREPARED BY:

Tighe & Bond

Engineers | Environmental Specialists

177 CORPORATE DRIVE
 PORTSMOUTH, NEW HAMPSHIRE 03801
 603-433-8818

APPLICANT:

XSS HOTELS LLC

PO BOX 4430
 MANCHESTER, NEW HAMPSHIRE 03108

OWNERS:

TAX MAP 119, LOT 2
 STONE CREEK REALTY, LLC
 C/O DOUGLAS PINCIARO
 PO BOX 121
 NEW CASTLE, NEW HAMPSHIRE 03854

TAX MAP 124, LOT 10
 VAUGHAN STREET HOTEL LLC
 1359 HOOKSETT ROAD
 HOOKSETT, NEW HAMPSHIRE 03106

**DESIGN REVIEW SUBMISSION SET
 COMPLETE SET 11 SHEETS**

NOTES:

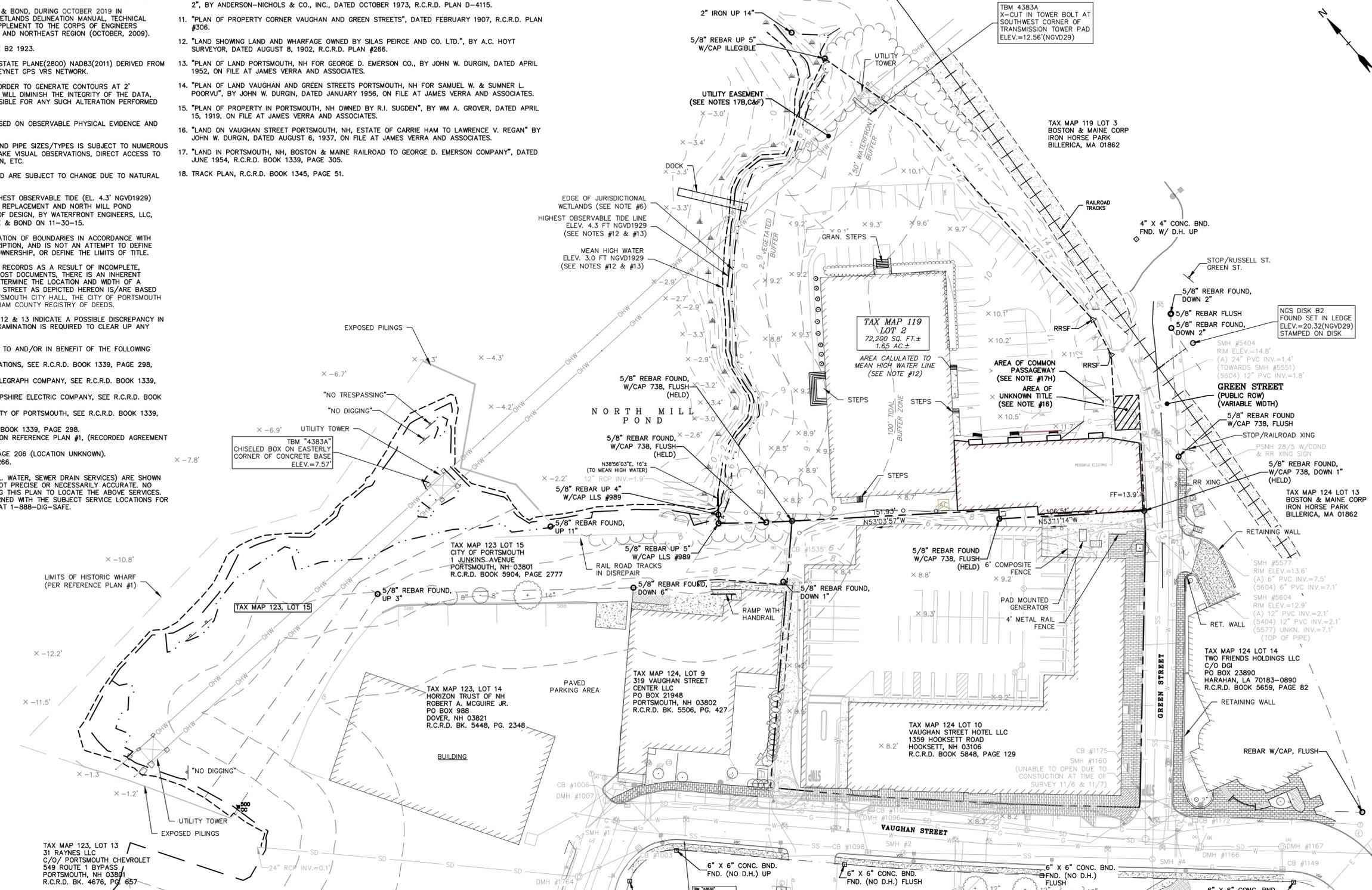
- REFERENCE: TAX MAP 119, LOT 2 53 GREEN STREET D.S.I. PROJECT NO. 4383
 - TOTAL PARCEL AREA: 72,200 SQ. FT. ± OR 1.65 AC. ± (AREA CALCULATED TO MEAN HIGH WATER) (SEE NOTE #12)
 - OWNER OF RECORD: STONE CREEK REALTY LLC C/O DOUGLAS PINCIARO PO BOX 121 NEW CASTLE, NH 03854 R.C.R.D. BOOK 3300, PAGE 329
 - ZONE: CD5 OVERLAY DISTRICTS -DOWNTOWN OVERLAY DISTRICT -HISTORIC DISTRICT
- ZONING DISTRICTS BASED ON THE CITY OF PORTSMOUTH ZONING MAP DATED 11/12/15 AS AVAILABLE ON THE CITY WEBSITE ON 11/18/19. SEE CITY OF PORTSMOUTH ZONING ORDINANCE ARTICLE 5A, SECTION 10.5A40 FOR DIMENSIONAL REGULATIONS. THE LAND OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE MUNICIPAL, STATE AND FEDERAL REGULATIONS.
- THE SITE IS SUBJECT TO THE STATE OF NH SHORELAND WATER QUALITY PROTECTION ACT. SEE NHDES WEBSITE FOR SPECIFIC DIMENSIONAL REQUIREMENT.
- FIELD SURVEY PERFORMED BY D.C.B. & K.J.L. DURING NOVEMBER 2019 USING A TRIMBLE S7 TOTAL STATION AND A TRIMBLE R8 SURVEY GRADE GPS WITH A TRIMBLE TSC3 DATA COLLECTOR AND A TRIMBLE DINI DIGITAL LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
 - JURISDICTIONAL WETLANDS DELINEATED BY TIGHE & BOND, DURING OCTOBER 2019 IN ACCORDANCE WITH 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 AND THE INTERIM REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTH CENTRAL AND NORTHEAST REGION (OCTOBER, 2009).
 - VERTICAL DATUM IS BASED ON NGVD29 PER DISK B2 1923.
 - HORIZONTAL DATUM BASED ON NEW HAMPSHIRE STATE PLANE(2800) NAD83(2011) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
 - PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 2' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY, INC. WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVABLE PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
 - THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING: THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
 - WATER BOUNDARIES ARE DYNAMIC IN NATURE AND ARE SUBJECT TO CHANGE DUE TO NATURAL CAUSES SUCH AS EROSION OR ACCRETION.
 - MEAN HIGH WATER (EL. 3.0' NGVD1929) AND HIGHEST OBSERVABLE TIDE (EL. 4.3' NGVD1929) ELEVATIONS PER "MAPLEWOOD AVENUE CULVERT REPLACEMENT AND NORTH MILL POND RESTORATION, WATERFRONT/STRUCTURAL BASIS OF DESIGN, BY WATERFRONT ENGINEERS, LLC, DATED DECEMBER 30, 2009", PROVIDED BY TIGHE & BOND ON 11-30-15.
 - THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
 - DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF GREEN STREET AS DEPICTED HEREON IS/ARE BASED ON RESEARCH CONDUCTED AT THE CITY OF PORTSMOUTH CITY HALL, THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS & THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - THE GEOMETRY SHOWN ON REFERENCE PLANS 1, 12 & 13 INDICATE A POSSIBLE DISCREPANCY IN TITLE TO THE HATCHED AREA SHOWN. A TITLE EXAMINATION IS REQUIRED TO CLEAR UP ANY ISSUES IN THIS AREA.
 - TAX MAP 119 LOT 2 SHOWN HEREON IS SUBJECT TO AND/OR IN BENEFIT OF THE FOLLOWING EASEMENTS & COVENANTS.
 - SIGNAL FACILITIES EXCEPTIONS AND RESERVATIONS, SEE R.C.R.D. BOOK 1339, PAGE 298, (LOCATION UNKNOWN).
 - EASEMENT IN FAVOR OF WESTERN UNION TELEGRAPH COMPANY, SEE R.C.R.D. BOOK 1339, PAGE 298 (NO DIMENSIONS GIVEN).
 - ELECTRIC EASEMENT IN FAVOR OF NEW HAMPSHIRE ELECTRIC COMPANY, SEE R.C.R.D. BOOK 1339, PAGE 298 (NO DIMENSIONS GIVEN).
 - SEWER LINE EASEMENT IN FAVOR OF THE CITY OF PORTSMOUTH, SEE R.C.R.D. BOOK 1339, PAGE 298 (LOCATION UNKNOWN).
 - ADDITIONAL FIRE RESTRICTION, SEE R.C.R.D. BOOK 1339, PAGE 298.
 - POLE AND WIRE AGREEMENT, PER NOTE #8 ON REFERENCE PLAN #1, (RECORDED AGREEMENT NOT FOUND).
 - ACCESS RIGHTS, SEE R.C.R.D. BOOK 589, PAGE 206 (LOCATION UNKNOWN).
 - COMMON PASSAGEWAY, SEE R.C.R.D. PLAN 266.
 - ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL, WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

REFERENCE PLANS:

- "STANDARD BOUNDARY SURVEY, TAX MAP 119 - LOT 2, LAND OF STONE CREEK REALTY", DATED MARCH 2016, BY AMBIT ENGINEERING, INC., NOT RECORDED.
- "PLAN OF LAND, VAUGHAN AND GREEN STREETS, PORTSMOUTH, NH" DATED JULY 1955 BY JOHN W. DURGIN R.C.R.D. PLAN #02541.
- "STANDARD BOUNDARY SURVEY, TAX MAP 123 - LOT 15 & TAX MAP 124 LOT 10" DATED JULY 2008, REVISED 4/25/13 BY AMBIT ENGINEERING, INC. R.C.R.D. PLAN #D-37722.
- "EASEMENT PLAN, EGRESS EASEMENT TO 319 VAUGHAN STREET CENTER, LLC, TAX MAP 124, LOT 9 & TAX MAP 123, LOT 15, PROPERTY OF 299 VAUGHAN STREET, LLC C/O CATHARTES PRIVATE INVESTMENTS", BY AMBIT ENGINEERING, INC., DATED MARCH 2014, R.C.R.D. PLAN #D-38358.
- "CONDOMINIUM SITE PLAN TAX MAP 124 LOT 14, 233 VAUGHAN STREET, A CONDOMINIUM FOR 233 VAUGHAN STREET, LLC", BY AMBIT ENGINEERING, INC., DATED NOVEMBER 2013, R.C.R.D. PLAN #D-39078.
- "LOT LINE RELOCATION PLAN PROPERTY OF HARBORCORP, LLC & BOSTON & MAINE CORPORATION", BY AMES MSC, DATED MARCH 15, 2005, R.C.R.D. PLAN #D-32675.
- "LAND AT 233 VAUGHAN STREET PORTSMOUTH, NH BOSTON & MAINE CORPORATION TO BLUE STAR PROPERTIES, LLC", BY JAMES VERRA & ASSOCIATES, INC., DATED 6/3/01, R.C.R.D. PLAN #D-29702.
- "VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10 PORTSMOUTH, NH, DISPOSITION MAP", BY ANDERSON-NICHOLS & CO., INC., DATED NOVEMBER 1969, R.C.R.D. PLAN D-2408
- "PLAN OF LAND FOR SOUMON NEG", BY TOWN PLANNING & ENGINEERING ASSOCIATES, INC., DATED 3/28/79, R.C.R.D. PLAN #D-8575.
- "VAUGHAN STREET URBAN RENEWAL PROJECT N.H. R-10 PORTSMOUTH, NH, DISPOSITION PLAN PARCEL 2", BY ANDERSON-NICHOLS & CO., INC., DATED OCTOBER 1973, R.C.R.D. PLAN D-4115.
- "PLAN OF PROPERTY CORNER VAUGHAN AND GREEN STREETS", DATED FEBRUARY 1907, R.C.R.D. PLAN #306.
- "LAND SHOWING LAND AND WHARFAGE OWNED BY SILAS PEIRCE AND CO. LTD.", BY A.C. HOYT SURVEYOR, DATED AUGUST 8, 1902, R.C.R.D. PLAN #266.
- "PLAN OF LAND PORTSMOUTH, NH FOR GEORGE D. EMERSON CO., BY JOHN W. DURGIN, DATED APRIL 1952, ON FILE AT JAMES VERRA AND ASSOCIATES.
- "PLAN OF LAND VAUGHAN AND GREEN STREETS PORTSMOUTH, NH FOR SAMUEL W. & SUMNER L. POORVU", BY JOHN W. DURGIN, DATED JANUARY 1956, ON FILE AT JAMES VERRA AND ASSOCIATES.
- "PLAN OF PROPERTY IN PORTSMOUTH, NH OWNED BY R.I. SUGDEN", BY WM A. GROVER, DATED APRIL 15, 1919, ON FILE AT JAMES VERRA AND ASSOCIATES.
- "LAND ON VAUGHAN STREET PORTSMOUTH, NH, ESTATE OF CARRIE HAM TO LAWRENCE V. REGAN" BY JOHN W. DURGIN, DATED AUGUST 6, 1937, ON FILE AT JAMES VERRA AND ASSOCIATES.
- "LAND IN PORTSMOUTH, NH, BOSTON & MAINE RAILROAD TO GEORGE D. EMERSON COMPANY", DATED JUNE 1954, R.C.R.D. BOOK 1339, PAGE 305.
- TRACK PLAN, R.C.R.D. BOOK 1345, PAGE 51.

LEGEND

- LOT LINE
 - APPROXIMATE LOT LINE (ADDITIONAL WORK REQUIRED)
 - APPROXIMATE ADJUTERS LOT LINE
 - STOCKADE FENCE
 - CHAIN LINK FENCE
 - OHW
 - SS
 - SD
 - GAS LINE
 - MAJOR CONTOUR LINE
 - MINOR CONTOUR LINE
 - MEAN HIGH WATER LINE
 - HIGH TIDE LINE
 - TREE LINE
 - SHRUB LINE
 - EDGE OF WETLAND
 - WETLAND AREA
 - CONCRETE
 - CRUSHED STONE
 - BRICK
- UTILITY POLE
 - LIGHT POLE
 - LIGHT POLE W/ARM
 - SIGN
 - BOUND FOUND
 - IRON PIPE/ROD FOUND
 - FIRE HYDRANT
 - WATER GATE VALVE
 - WATER SHUTOFF VALVE
 - GAS GATE VALVE
 - PAD MOUNTED TRANSFORMER
 - DRAIN MANHOLE
 - ELECTRIC MANHOLE
 - SEWER MANHOLE
 - HAND HOLE
 - DECIDUOUS TREE
 - CONIFEROUS SHRUB
 - TYPICAL BOUND FOUND
 - CONCRETE FINISHED FLOOR ELEVATION
 - EDGE OF PAVEMENT
 - VERTICAL GRANITE CURB
 - SINGLE WHITE LINE



Proposed Moxy Hotel

XSS Hotels LLC

Portsmouth, NH

MARK	DATE	DESCRIPTION
A	1/2/2020	Design Review Submission
DATE:	January 2, 2020	
FILE:	P-0595-008_C-DSGN.DWG	
DRAWN BY:	BKC	
CHECKED:	NAH/PMC	
APPROVED:	BLM	

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OVERALL EXISTING CONDITIONS PLAN

SCALE: AS SHOWN

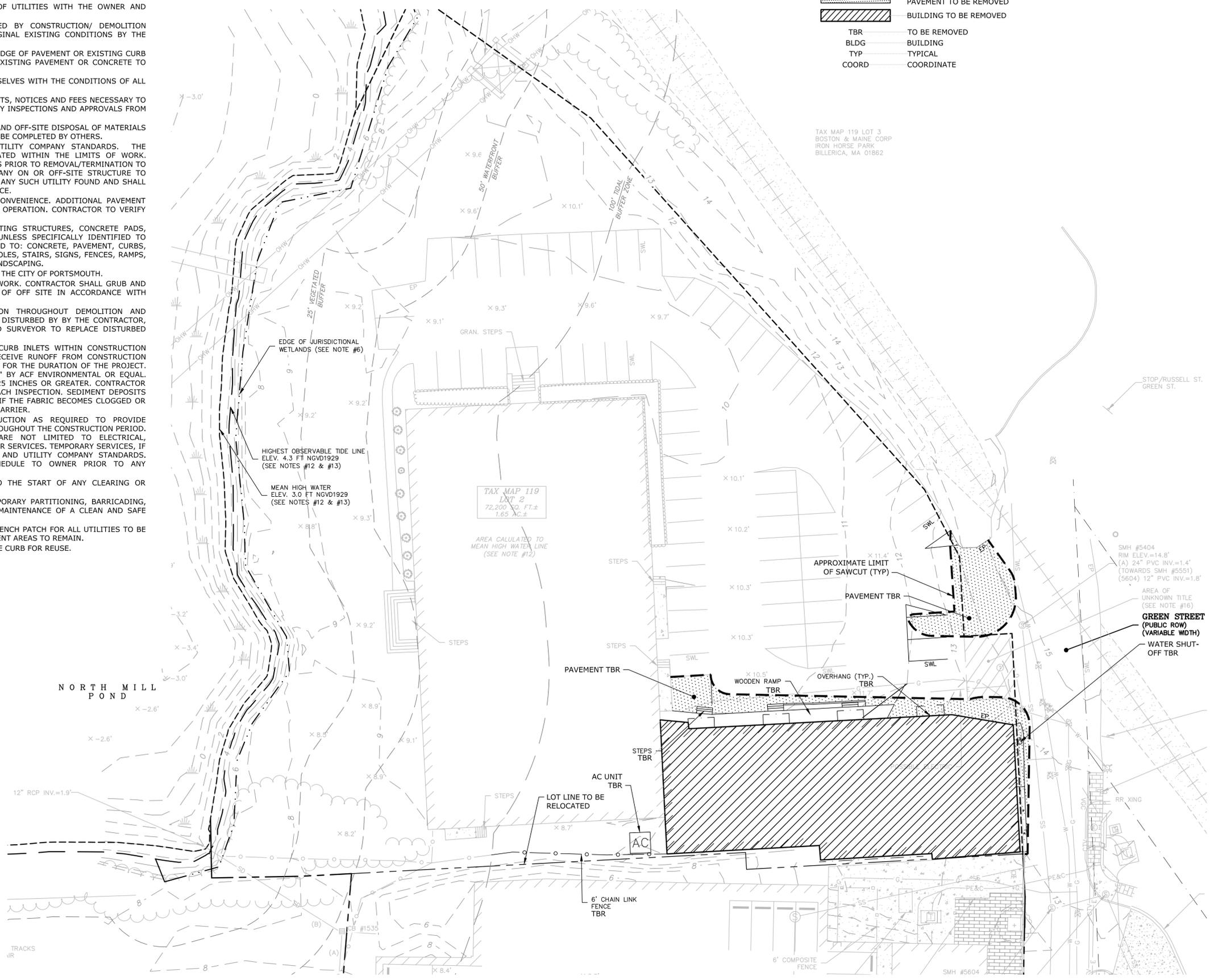
Last Saved: 1/2/2020 2:23:40pm By: WAhansen
 Plotted On: Jan 02, 2020 2:23:40pm By: WAhansen
 TIGHE & BOND P:\0595 - Proj - Con General Proposals\0595-008 - Moxy Hotel\Drawings - Figures\AutoCAD\DWG\0595-008_C-DSGN.dwg



- DEMOLITION NOTES:**
1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
 2. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
 3. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
 4. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
 5. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 6. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
 8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
 10. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
 11. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
 12. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
 13. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
 14. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
 15. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
 16. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
 17. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
 18. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
 19. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
 20. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
 21. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

LEGEND

- APPROXIMATE LIMIT OF PROPOSED SAW CUT
- LIMIT OF WORK
- LIMIT OF SEWER TO BE ABANDONED
- APPROXIMATE LIMIT OF PAVEMENT TO BE REMOVED
- BUILDING TO BE REMOVED
- TBR TO BE REMOVED
- BLDG BUILDING
- TYP TYPICAL
- COORD COORDINATE



TAX MAP 119 LOT 3
BOSTON & MAINE CORP
IRON HORSE PARK
BILLERICA, MA 01862



Proposed Moxy Hotel

XSS Hotels LLC

Portsmouth, NH

MARK	DATE	DESCRIPTION
A	1/2/2020	Design Review Submission

PROJECT NO: P-0595-008
DATE: January 2, 2020
FILE: P-0595-008_C-DSGN.DWG
DRAWN BY: BKC
CHECKED: NAH/PMC
APPROVED: BLM

DEMOLITION PLAN

SCALE: AS SHOWN

C-101.1

Last Saved: 1/2/2020 2:34pm By: Mahanien
 Plotted On: Jan 02, 2020 2:34pm
 Tighe & Bond: P:\0595 - Proj. Con General Proposals\0595-008 Moxy Hotel\Drawings - Figures\AutoCAD\IP-0595-008_C-DSGN.dwg

SITE DATA:

LOCATION: TAX MAP 119, LOT 2
OWNER: STONE CREEK REALTY LLC
C/O DOUGLAS PINCIARO MGR
PO BOX 121
NEW CASTLE, NH 03854

TAX MAP 124, LOT 10
OWNER: VAUGHAN STREET HOTEL LLC
1359 HOOKSETT ROAD
HOOKSETT, NH 03106

ZONING DISTRICT: CHARACTER DISTRICT 5 (CDS)
DOWNTOWN OVERLAY DISTRICT
NORTH END INCENTIVE OVERLAY DISTRICT
HISTORIC DISTRICT

PROPOSED USE: HOTEL/MIXED USED
PROPOSED LOT SIZE: ±1.52 ACRES (±66,103 SF)

DEVELOPMENT STANDARDS

<u>BUILDING PLACEMENT (PRINCIPAL BUILDING):</u>	<u>REQUIRED</u>	<u>PROPOSED</u> <u>(TAX MAP 124 LOT 10)</u>	<u>EXISTING</u> <u>(TAX MAP 119 LOT 2)</u>
MAXIMUM PRINCIPAL FRONT YARD:	5 FT	±8.2 FT ⁽¹⁾	±136.9 FT
MAXIMUM SECONDARY FRONT YARD:	5 FT	±14.0 FT ⁽¹⁾	N/A
SIDE YARD:	NR		
MINIMUM REAR YARD:	5 FT	±10.3 FT	±44.3 FT
MINIMUM FRONT LOT LINE BUILDOUT:	80%	±86.7%	±100%
<u>BUILDING AND LOT OCCUPATION:</u>	<u>REQUIRED</u>	<u>PROPOSED</u> <u>(TAX MAP 124 LOT 10)</u>	<u>EXISTING</u> <u>(TAX MAP 119 LOT 2)</u>
MAXIMUM BUILDING BLOCK LENGTH:	225 FT	201 FT	161.6 FT
MAXIMUM FACADE MODULATION LENGTH:	100 FT	<100 FT	N/A
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT	<50 FT
MAXIMUM BUILDING COVERAGE:	95%	±71.7%	±22.3%
MAXIMUM BUILDING FOOTPRINT:	40,000 SF	40,000 SF (AC HOTEL) 7,000 SF (MOXY HOTEL)	14,823 SF
MINIMUM LOT AREA:	NR		
MINIMUM LOT AREA PER DWELLING UNIT:	NR		
MINIMUM OPEN SPACE:	5%	14.3%	59.1%
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF	14,500 SF	14,823 SF

(1) - INCREASE ABOVE THE MAXIMUM ALLOWED PER 10.5A42.12

<u>BUILDING FORM (PRINCIPAL BUILDING):</u>	<u>REQUIRED</u>	<u>PROPOSED</u> <u>(TAX MAP 124 LOT 10)</u>	<u>EXISTING</u> <u>(TAX MAP 119 LOT 2)</u>
BUILDING HEIGHT:	5 STORIES ⁽¹⁾ 60 FT	5 STORIES <60 FT	N/A (EXISTING)
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	0 IN	N/A (EXISTING)
MINIMUM GROUND STORY HEIGHT:	12 FT	>12 FT	N/A (EXISTING)
MINIMUM SECOND STORY HEIGHT:	10 FT	>10 FT	N/A (EXISTING)
FACADE GLAZING:			
STOOP FACADE TYPE	20% - 50%	20% - 50%	N/A
(EXISTING)			
ALLOWED ROOF TYPES			
FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT	FLAT	N/A (EXISTING)

(1) - ADDITIONAL 1 STORY UP TO 10FT ALLOWED FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE.

<u>COMMUNITY SPACE:</u>	<u>REQUIRED</u>	<u>PROPOSED</u> <u>(TAX MAP 124 LOT 10)</u>
	24,024 SF 30%	19,998 SF (EXISTING AC HOTEL) 359 SF (PROPOSED WIDE SIDEWALK) 4,582 SF (PROPOSED WATERFRONT GATEWAY) 24,939 SF, 31.1%

PARKING REQUIREMENTS

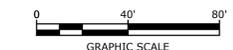
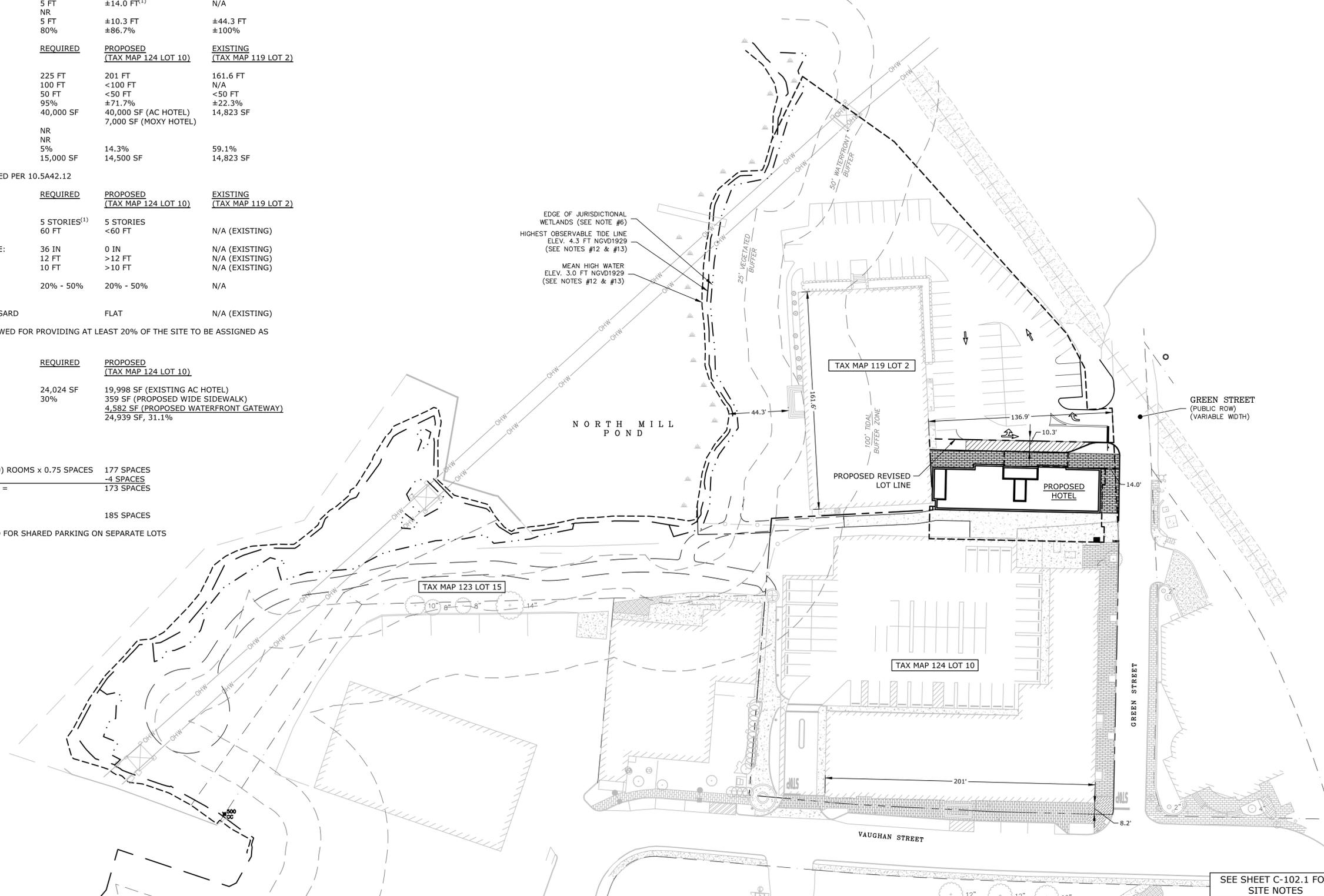
<u>PARKING SPACES REQUIRED</u>		
HOTEL	(156 + 80) ROOMS x 0.75 SPACES	177 SPACES
DOWNTOWN OVERLAY DISTRICT		-4 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED =		173 SPACES

TOTAL PARKING SPACES PROVIDED:		
TOTAL PARKING SPACES PROVIDED =		185 SPACES

*NOTE: CONDITIONAL USE PERMIT REQUIRED FOR SHARED PARKING ON SEPARATE LOTS

LEGEND

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED BUILDING
	PROPOSED BRICK SIDEWALK
	PROPOSED CONCRETE SIDEWALK
	PROPOSED PATH
	PROPOSED PAVEMENT



Proposed Moxy Hotel

XSS Hotels LLC

Portsmouth, NH

MARK	DATE	DESCRIPTION
A	1/2/2020	Design Review Submission

PROJECT NO: P-0595-008
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DRAWN BY: BKC
CHECKED: NAH/PMC
APPROVED: BLM

OVERALL SITE PLAN

SCALE: AS SHOWN

C-102

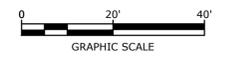
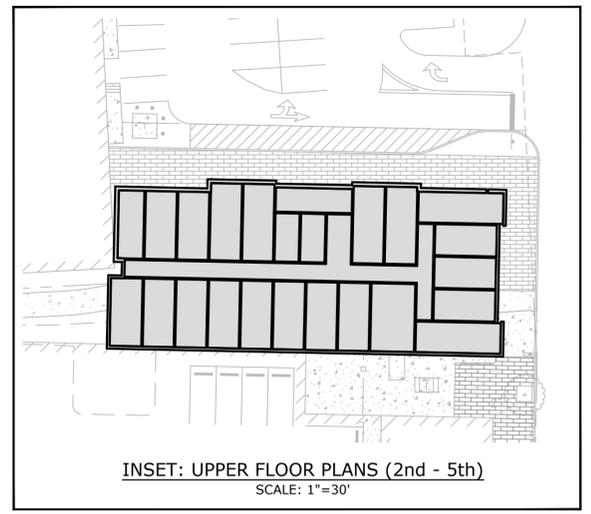
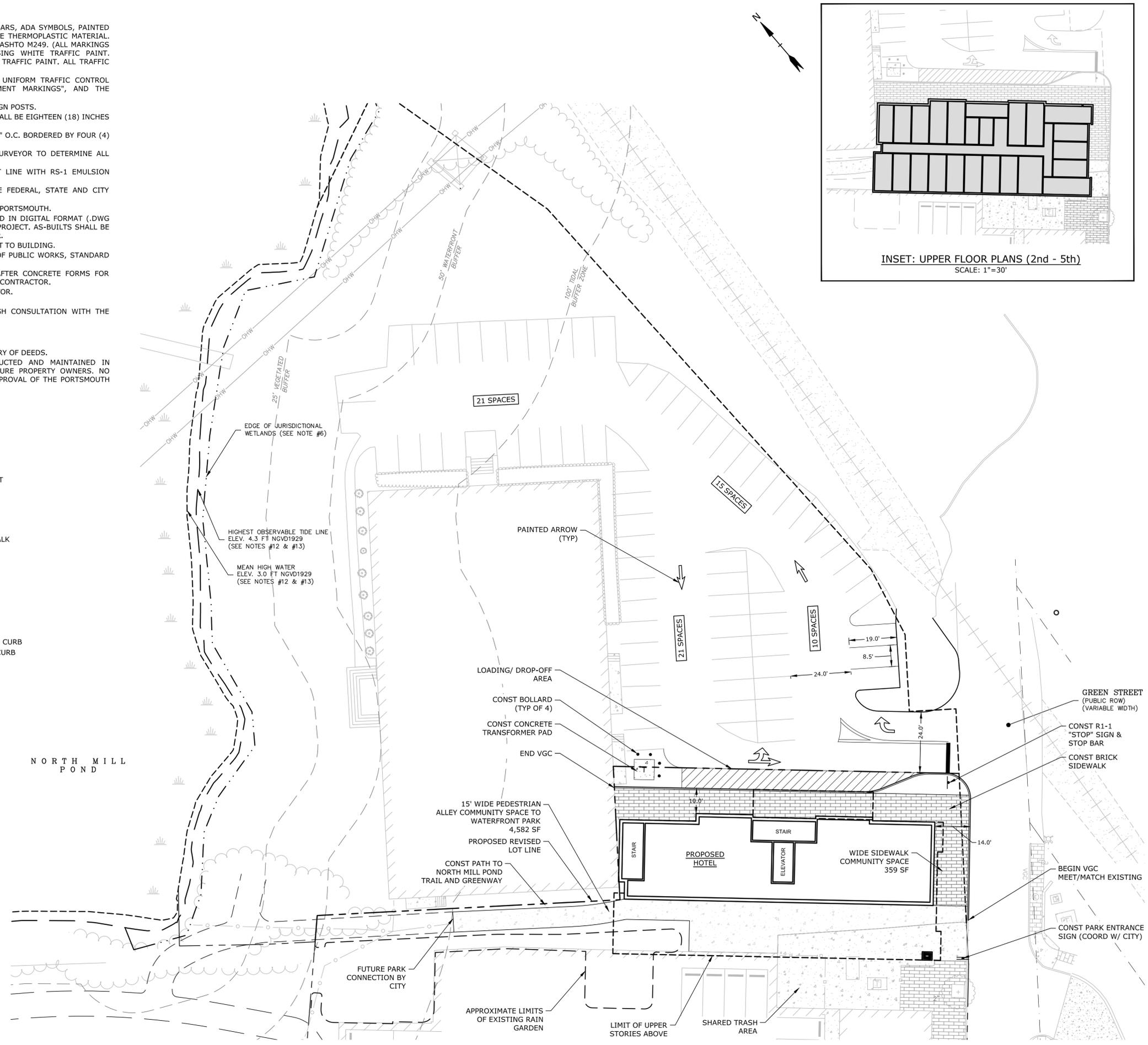
SEE SHEET C-102.1 FOR SITE NOTES

- SITE NOTES:**
1. STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES SHALL BE THERMOPLASTIC MATERIAL. THERMOPLASTIC MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO M249. (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
 2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
 3. SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
 4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
 5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
 6. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
 7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY CODES & SPECIFICATIONS.
 9. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARs AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
 11. SEE BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
 12. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
 13. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
 14. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
 15. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 16. THE STREET LIGHTING TYPE TO BE USED SHALL BE FINALIZED THROUGH CONSULTATION WITH THE PLANNING DEPARTMENT.

- SITE RECORDING NOTES:**
1. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 2. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
 3. THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.

LEGEND

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	PROPOSED LOT LINE
	PROPOSED EASEMENT
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED BUILDING
	PROPOSED BRICK SIDEWALK
	PROPOSED CONCRETE SIDEWALK
	PROPOSED STONE DUST PATH
	PROPOSED PAVEMENT
	WETLAND CLASSIFICATION
	BUILDING
	TYPICAL
	COORDINATE
	PROPOSED CURB RADIUS
	PROPOSED VERTICAL GRANITE CURB
	PROPOSED SLOPED GRANITE CURB



Proposed Moxy Hotel

XSS Hotels LLC

Portsmouth, NH

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SITE PLAN

SCALE: AS SHOWN

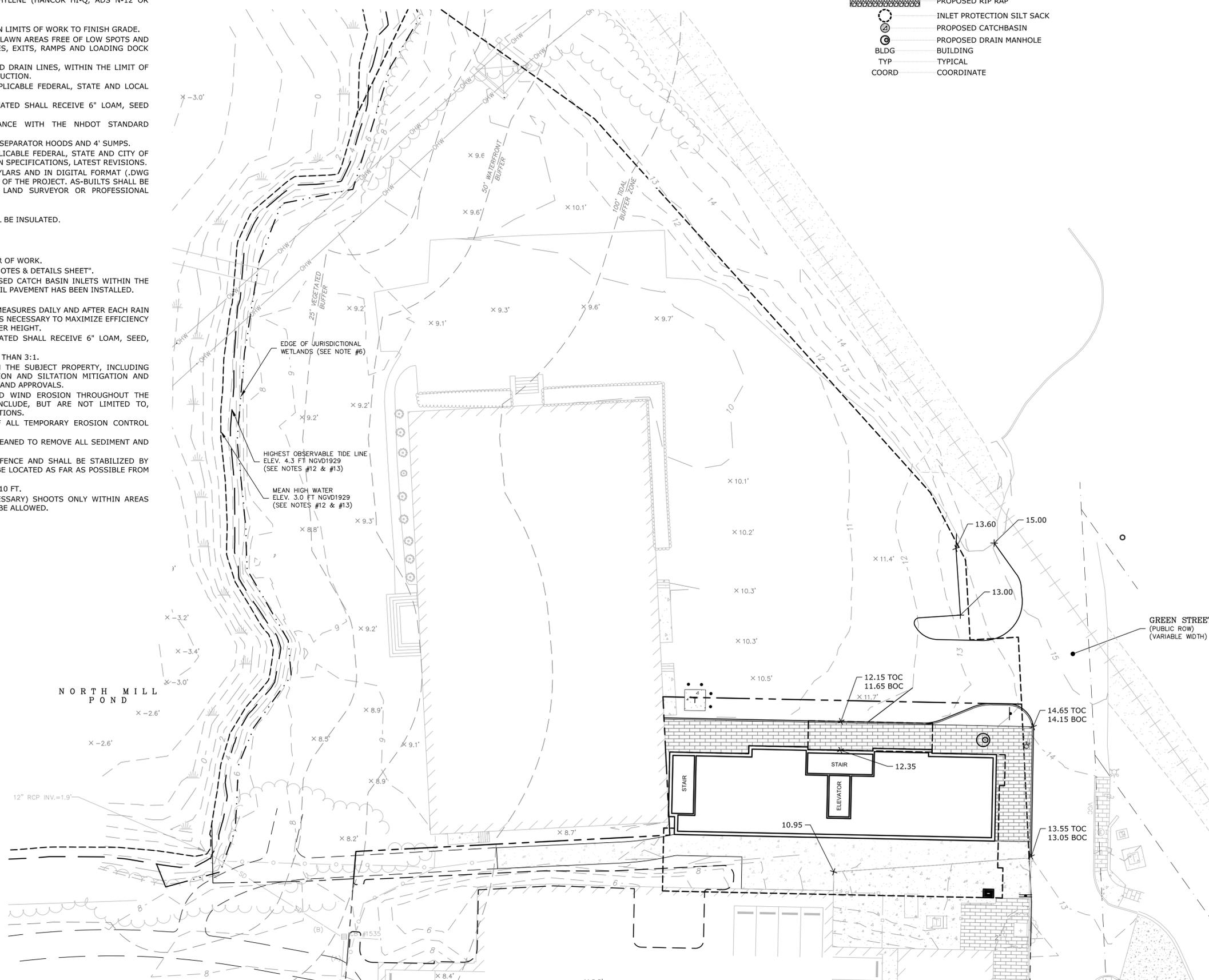
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Last Saved: 1/2/2020 2:34pm By: Mahanien
 Plotted On: Jan 02, 2020 2:34pm
 Tighe & Bond Inc. P:\0595 - Proj. Con General Proposals\0595-008 Moxy Hotel Drawings - Figures\AutoCAD\10-0595-008_C-DSGN.dwg

- GRADING AND DRAINAGE NOTES:**
1. COMPACTION REQUIREMENTS:
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
 - * ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
 2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
 3. SEE UTILITY PLAN FOR ALL SITE UTILITY INFORMATION.
 4. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 5. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
 6. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
 7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
 8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
 9. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
 10. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
 11. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.
 12. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
 13. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.
 14. ALL DRAIN LINES WITH LESS THAN FOUR (4) FEET OF COVER SHALL BE INSULATED.

- EROSION CONTROL NOTES:**
1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
 2. SEE GENERAL EROSION CONTROL NOTES ON "EROSION CONTROL NOTES & DETAILS SHEET".
 3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
 4. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
 5. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
 6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
 7. CONSTRUCT EROSION CONTROL BLANKET ON ALL SLOPES STEEPER THAN 3:1.
 8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
 9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
 10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
 11. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN FULLY PAVED.
 12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLANDS.
 13. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.
 14. CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) SHOOT ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE ALLOWED.

- LEGEND**
- 10 — PROPOSED MAJOR CONTOUR LINE
 - 9 — PROPOSED MINOR CONTOUR LINE
 - PROPOSED DRAIN LINE (TYP)
 - ○ — PROPOSED SILT SOCK
 - ▨ PROPOSED RIP RAP
 - INLET PROTECTION SILT SACK
 - ② PROPOSED CATCHBASIN
 - ③ PROPOSED DRAIN MANHOLE
 - BLDG BUILDING
 - TYP TYPICAL
 - COORD COORDINATE



Proposed Moxy Hotel

XSS Hotels LLC

Portsmouth, NH

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CHECKED: NAH/PMC
APPROVED: BLM

GRADING, DRAINAGE, AND EROSION CONTROL PLAN
SCALE: AS SHOWN

Last Saved: 1/2/2020 2:34pm By: Mahansen
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 Tighe & Bond: P:\0595 - Proj. Con General Proposals\0595-008 Moxy Hotel\Drawings - Figures\AutoCAD\IP-0595-008_C-DSGN.dwg



- UTILITY NOTES:**
1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
 2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
 - NATURAL GAS - UNITIL
 - WATER/SEWER - CITY OF PORTSMOUTH
 - ELECTRIC - EVERSOURCE
 - COMMUNICATIONS - FAIRPOINT AND COMCAST
 3. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
 4. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
 5. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
 6. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE PORTSMOUTH WATER DEPARTMENT.
 7. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
 8. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
 9. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
 10. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
 11. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
 12. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
 13. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
 14. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 15. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
 16. THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
 17. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
 18. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
 19. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
 20. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
 21. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
 22. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
 23. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
 24. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
 25. ALL SEWER PIPE WITH LESS THAN 5' OF COVER SHALL BE INSULATED.
 26. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
 27. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
 28. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
 29. CONTRACTOR SHALL PERFORM TEST PITS TO VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER IF LOCATIONS DIFFER FROM PLAN.
 30. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.

LEGEND

SD	EXISTING STORM DRAIN
SS	EXISTING SANITARY SEWER
SS	EXISTING SANITARY SEWER TO BE ABANDONED
W	EXISTING WATER SERVICE
G	EXISTING GAS SERVICE
E	EXISTING UNDERGROUND ELECTRIC SERVICE
OHW	EXISTING OVERHEAD UTILITY SERVICE
SS	PREVIOUSLY APPROVED SEWER
SD	PROPOSED STORM DRAIN
SS	PROPOSED SANITARY SEWER
PW	PROPOSED WATER SERVICE
G	PROPOSED GAS SERVICE
E	PROPOSED STREET LIGHTING CONDUIT
PE&C	PROPOSED UNDERGROUND ELECTRIC AND COMMUNICATION SERVICE
⊙	EXISTING DRAIN MANHOLE
⊙	EXISTING SEWER MANHOLE
⊙	PREVIOUSLY APPROVED SEWER MANHOLE
⊙	EXISTING HYDRANT
⊙	EXISTING WATER VALVE
⊙	EXISTING WATER SHUTOFF
⊙	EXISTING ELECTRIC MANHOLE
⊙	EXISTING PAD MOUNTED TRANSFORMER
⊙	EXISTING GAS VALVE
⊙	EXISTING HANDHOLE
⊙	EXISTING COMMUNICATION MANHOLE
⊙	PROPOSED CATCHBASIN
⊙	PROPOSED DRAIN MANHOLE
⊙	PROPOSED SEWER MANHOLE
⊙	PROPOSED WATER VALVE
⊙	PROPOSED GAS VALVE
•	PROPOSED LIGHT POLE BASE
BLDG	BUILDING
TYP	TYPICAL
COORD	COORDINATE
VIF	VERIFY IN FIELD



Proposed Moxy Hotel

XSS Hotels LLC

Portsmouth, NH

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UTILITIES PLAN

SCALE: AS SHOWN

C-104

PROJECT NAME AND LOCATION

PROPOSED MOXY HOTEL
53 GREEN STREET
PORTSMOUTH, NH 03801
43°-04'-48"N
70°-45'-43"W

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF THE CONSTRUCTION OF A FIVE-STORY HOTEL WITH ASSOCIATED SITE IMPROVEMENTS.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 0.35 ACRES.

SOIL CHARACTERISTICS

BASED ON THE NRCS WEB SOIL SURVEY FOR ROCKINGHAM COUNTY - NEW HAMPSHIRE, THE SOILS ON SITE CONSIST OF URBAN LAND.

NAME OF RECEIVING WATERS

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA AN EXISTING OUTLET PIPE TO NORTH MILL POND AND WILL ULTIMATELY FLOW TO THE PISCATAQUA RIVER.

CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:

- 1. CUT AND CLEAR TREES.
2. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES.
3. ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPs PRIOR TO DIRECTING RUNOFF TO THEM.
4. CLEAR AND DISPOSE OF DEBRIS.
5. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
6. GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
7. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING.
8. FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
9. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
10. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
11. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

EROSION CONTROL NOTES:

- 1. ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.
2. PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
3. CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALE, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
4. SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
5. PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
6. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
7. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.
8. INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER.
9. CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

STABILIZATION:

- 1. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
2. WINTER STABILIZATION PRACTICES:
A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1.
3. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA.
4. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT.
5. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE.
6. DUST CONTROL:
1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST

FROM THE SITE TO ABUTTING AREAS.

STOCKPILES:

- 1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

OFF SITE VEHICLE TRACKING:

- 1. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

VEGETATION:

- 1. TEMPORARY GRASS COVER:
A. SEEDING PREPARATION:
a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10.
B. SEEDING:
a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;
c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER.
C. MAINTENANCE:
a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED.
2. VEGETATIVE PRACTICE:
A. FOR PERMANENT MEASURES AND PLANTINGS:
a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;
b. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE.
c. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM.
d. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW.
e. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE;
f. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED.
g. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED;
h. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

Table with 2 columns: SEED MIX and APPLICATION RATE. Rows include CREEPING RED FESCUE (20 LBS/ACRE), TALL FESCUE (20 LBS/ACRE), and REDTOP (2 LBS/ACRE).

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.

- 3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):
A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

CONCRETE WASHOUT AREA:

- 1. THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:
A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES:

- 1. FIRE-FIGHTING ACTIVITIES;
2. FIRE HYDRANT FLUSHING;
3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
4. WATER USED TO CONTROL DUST;
5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
6. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
9. UNCONTAMINATED GROUND WATER OR SPRING WATER;
10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
11. UNCONTAMINATED EXCAVATION DEWATERING;
12. LANDSCAPE IRRIGATION.

WASTE DISPOSAL:

- 1. WASTE MATERIAL:
A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE:
A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE:
A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION:

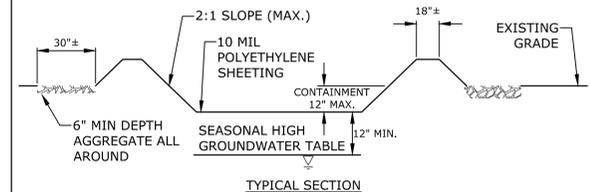
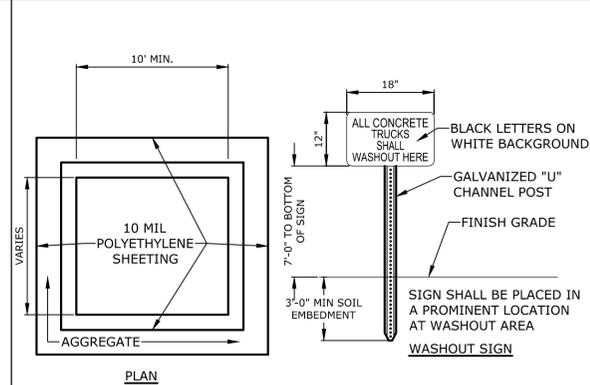
- 1. CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST

MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.

- 2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
b. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;
c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;
e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
g. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
h. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION;
i. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
a. PETROLEUM PRODUCTS:
a.1. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
a.2. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
b. FERTILIZERS:
b.1. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS;
b.2. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER;
b.3. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
c. PAINTS:
c.1. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE;
c.2. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM;
c.3. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES;
b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED;
f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
E. VEHICLE FUELING AND MAINTENANCE PRACTICE:
a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICAL FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE;
f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

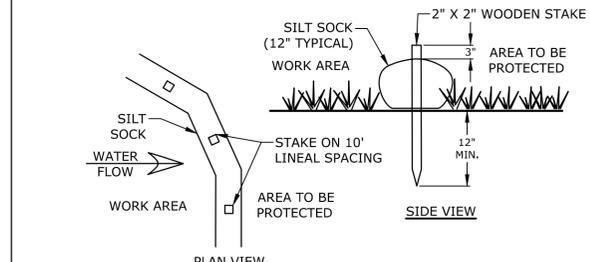
THIS PROJECT DOES NOT EXCEED ONE (1) ACRE OF DISTURBANCE AND THUS DOES NOT REQUIRE A SWPPP.



- NOTES:
1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
3. WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
4. WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
5. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
6. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.

CONCRETE WASHOUT AREA

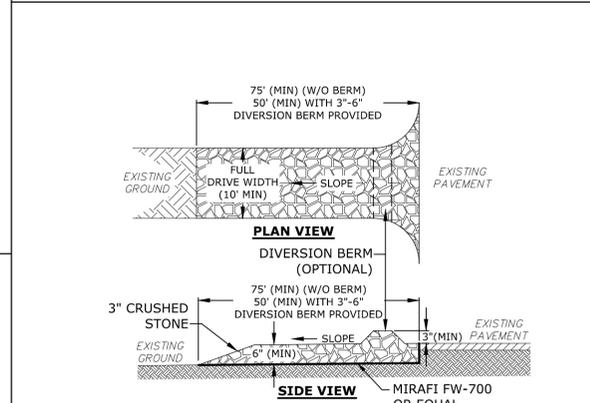
NO SCALE



- NOTES:
1. SILT SOCK SHALL BE SILT SOCK BY FILTRAX OR APPROVED EQUAL
2. INSTALL SILT SOCK IN ACCORDANCE WITH...

SILT SOCK

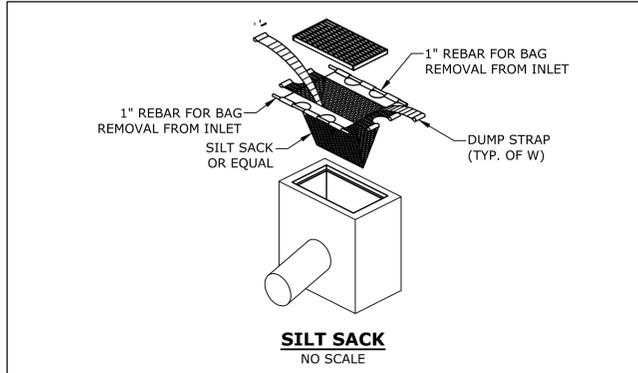
NO SCALE



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT FROM THE SITE. WHEN WASHING IS REQUIRED, IT SHALL BE DONE SO RUNOFF DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS

STABILIZED CONSTRUCTION EXIT

NO SCALE



SILT SACK

NO SCALE

Table with 3 columns: MARK, DATE, DESCRIPTION. Row 1: A, 1/2/2020, Design Review Submission.

Table with 2 columns: PROJECT NO, DATE. Row 1: P-0595-008, January 2, 2020.

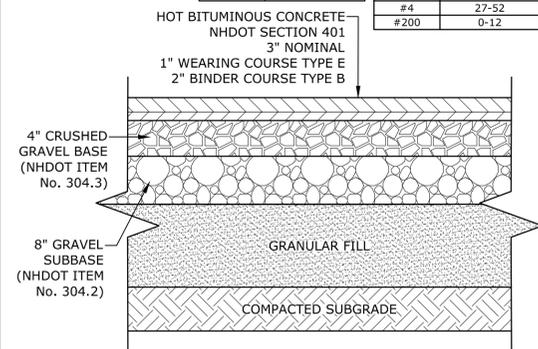
Table with 2 columns: DRAWN BY, CHECKED BY. Row 1: BKC, NAH/PMC.

Table with 2 columns: APPROVED, DESCRIPTION. Row 1: BLM, EROSION CONTROL NOTES AND DETAILS SHEET.

Table with 2 columns: SCALE, AS SHOWN.

Vertical text on the left margin: Last Saved: 1/2/2020 11:45am By: Bcurcio Plotted On: Jan 02, 2020 11:45am By: Bcurcio Tighe & Bond Engineers

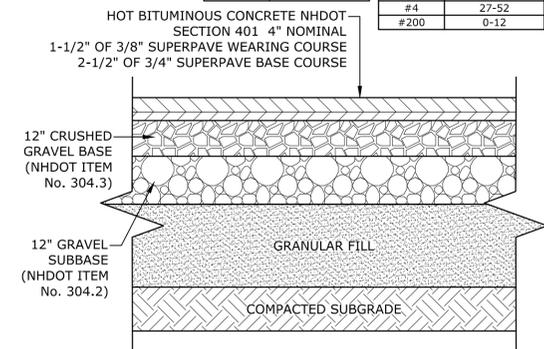
NHDOT ITEM No. 304.2 (GRAVEL)		NHDOT ITEM No. 304.3 (CRUSHED GRAVEL)	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
6"	100	3"	100
#4	25-70	2"	95-100
#200	0-12	1"	55-85
		#4	27-52
		#200	0-12



- NOTES:
- SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 - SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 - A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 - REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

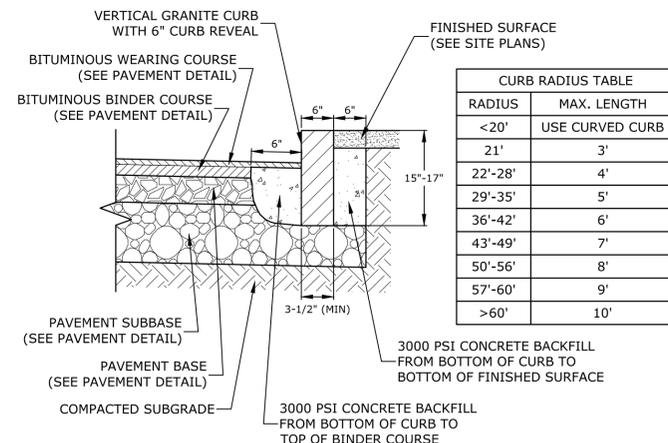
ON-SITE PAVEMENT SECTION
NO SCALE

NHDOT ITEM No. 304.2 (GRAVEL)		NHDOT ITEM No. 304.3 (CRUSHED GRAVEL)	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
6"	100	3"	100
#4	25-70	2"	95-100
#200	0-12	1"	55-85
		#4	27-52
		#200	0-12



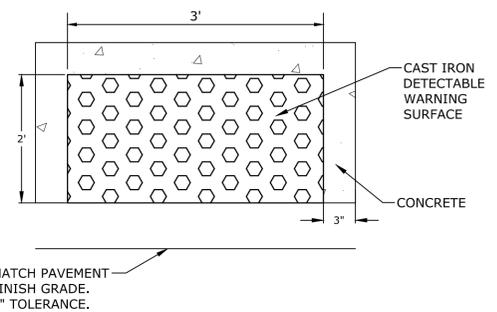
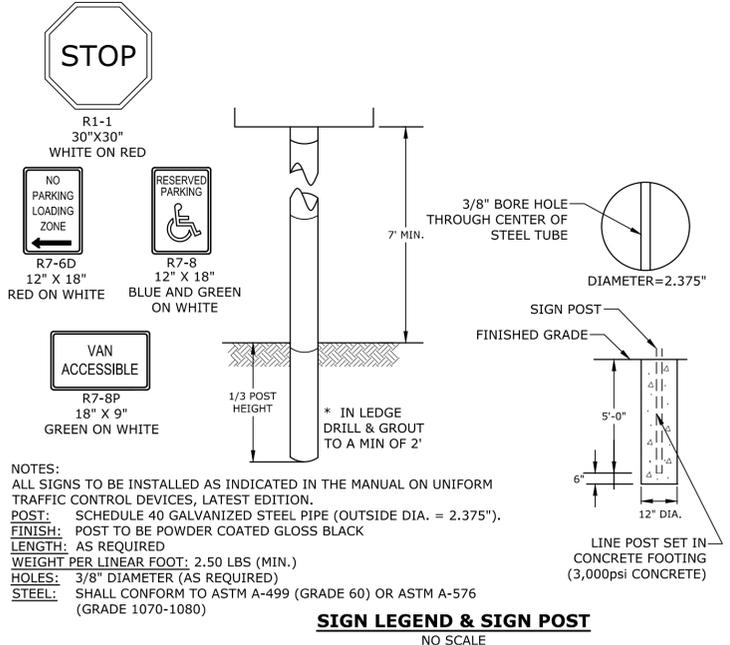
- NOTES:
- SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 - SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 - A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 - REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

CITY RIGHT-OF-WAY PAVEMENT SECTION
NO SCALE



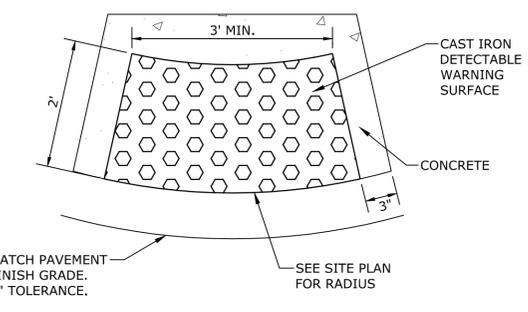
- NOTES:
- SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
 - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 - MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
 - MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
 - ALL RADII 20 FEET AND SMALLER SHALL BE CONSTRUCTED USING CURVED SECTIONS.
 - JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.

VERTICAL GRANITE CURB
NO SCALE



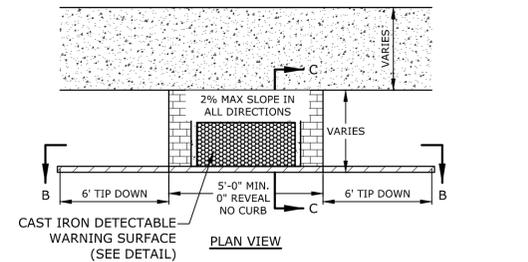
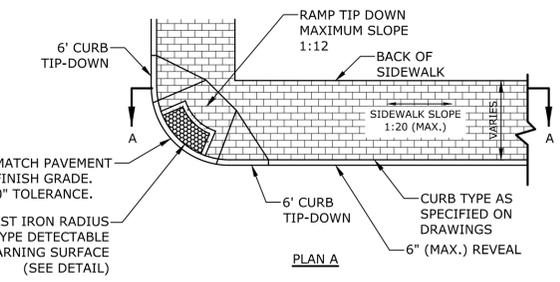
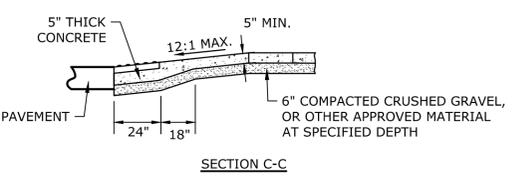
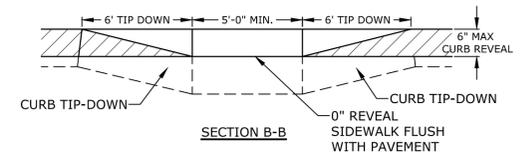
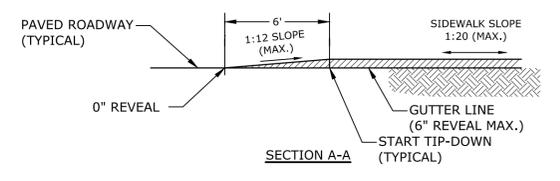
- NOTES:
- DETECTABLE WARNING SURFACE SHALL BE 2' X 3' CAST IRON PANEL SET IN CONCRETE.
 - DETECTABLE WARNING SURFACE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

CAST IRON DETECTABLE WARNING SURFACE
NO SCALE



- NOTES:
- DETECTABLE WARNING SURFACE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

RADIUS TYPE CAST IRON DETECTABLE WARNING SURFACE
NO SCALE



- NOTES:
- RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
 - A 6" COMPACTED CRUSHED GRAVEL BASE (NHDOT ITEM No. 304.3) SHALL BE PROVIDED BENEATH RAMPS.
 - DETECTABLE WARNING PANEL SHALL BE CAST IRON SET IN CONCRETE (SEE DETAIL.)
 - PROVIDE DETECTABLE WARNING SURFACES ANYTIME THAT A CURB RAMP, BLENDED TRANSITION, OR LANDING CONNECTS TO A STREET.
 - LOCATE THE DETECTABLE WARNING SURFACES AT THE BACK OF THE CURB ALONG THE EDGE OF THE LANDING.
 - THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 12:1, THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMPS SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FT. FROM THE ROADWAY CURBLINE.
 - THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS.
 - DETECTABLE WARNING PANELS SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION, OR LANDING AND THE STREET.
 - THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST VISUALLY WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT).

CONCRETE WHEELCHAIR ACCESSIBLE RAMP
NO SCALE

NHDOT ITEM No. 304.3 (CRUSHED GRAVEL)	
SIEVE SIZE	% PASSING
3"	100
2"	95-100
1"	55-85
#4	27-52
#200	0-12

Proposed Moxy Hotel

XSS Hotels LLC

Portsmouth, NH

MARK	DATE	DESCRIPTION
A	1/2/2020	Design Review Submission

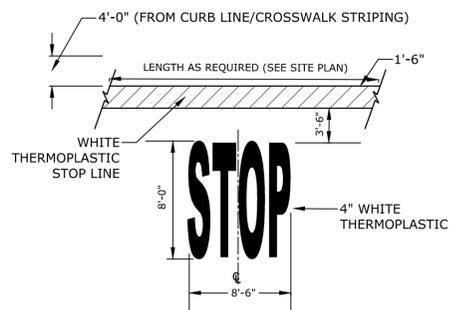
PROJECT NO:	P-0595-008
DATE:	January 2, 2020
FILE:	P-0595-008_C-DTLS.DWG
DRAWN BY:	BKC
CHECKED:	NAH/PMC
APPROVED:	BLM

DETAILS SHEET

SCALE: AS SHOWN

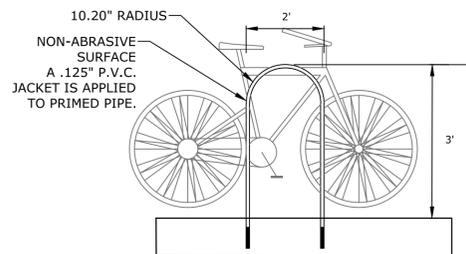
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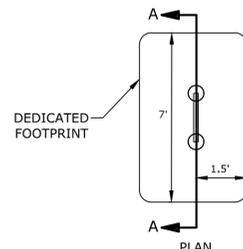


- NOTE:**
- PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON SITE PLAN.
 - STRIPING SHALL BE CONSTRUCTED USING WHITE THERMOPLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

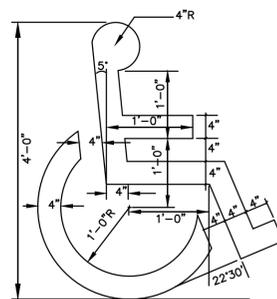
STOP BAR AND LEGEND
NO SCALE



SECTION A-A

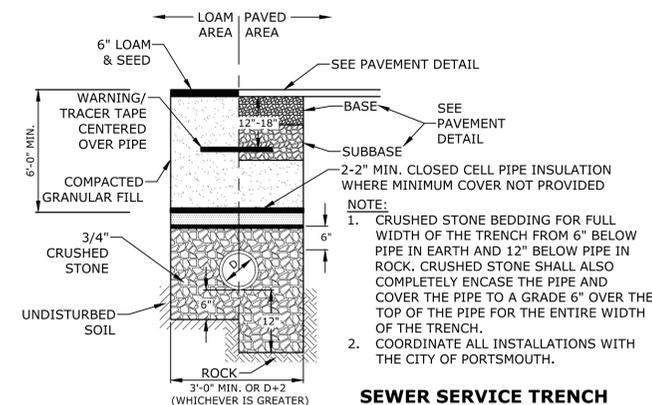


BIKE RACK
NO SCALE

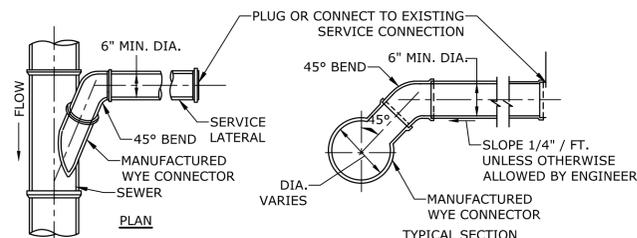


- NOTES:**
- SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING WHITE THERMOPLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505.
 - SYMBOL SHALL BE CONSTRUCTED TO THE LATEST ADA, STATE AND LOCAL REQUIREMENTS.

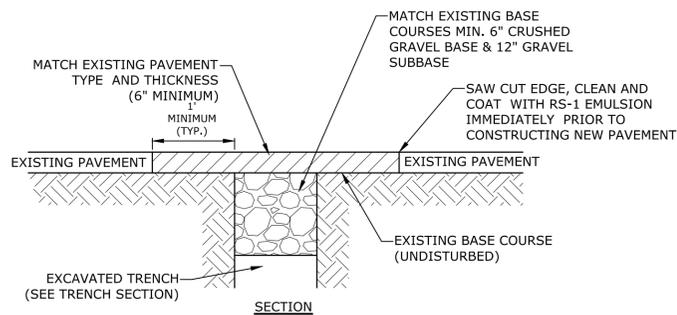
ACCESSIBLE SYMBOL
NO SCALE



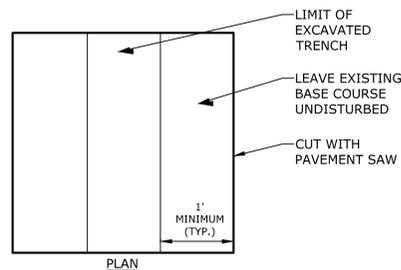
SEWER SERVICE TRENCH
NO SCALE



STANDARD SERVICE LATERAL CONNECTION
NO SCALE

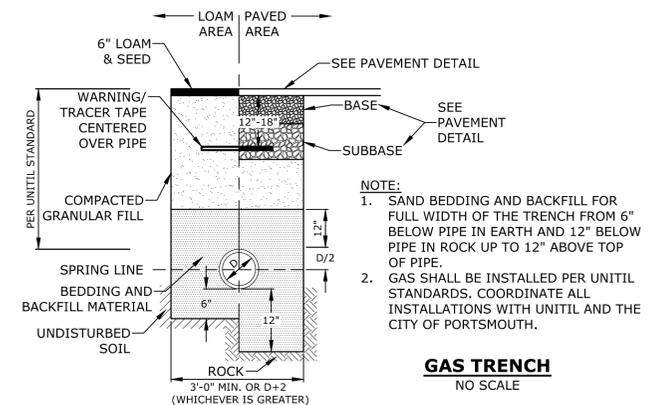


SECTION

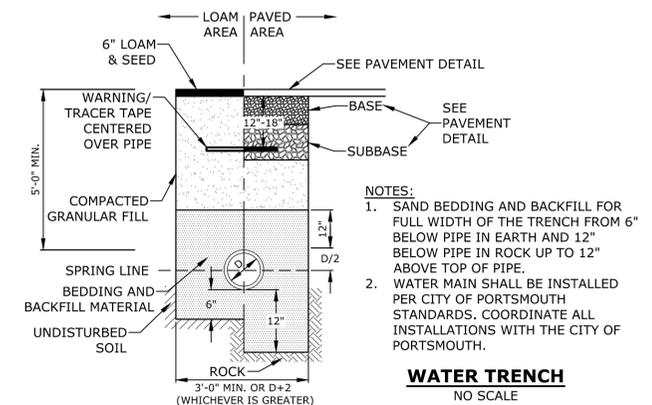


- NOTE:**
- COORDINATE AND OBTAIN APPROVAL FOR ALL TRENCHING AND PATCHING WITHIN CITY RIGHT OF WAY WITH CITY OF PORTSMOUTH DPW PRIOR TO COMMENCING WORK.

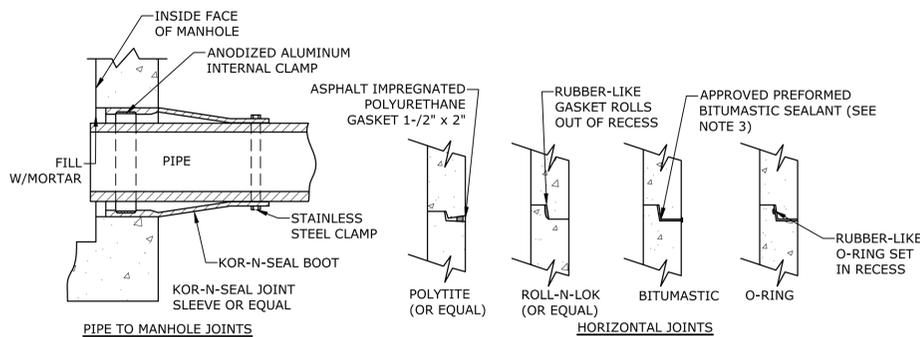
ROADWAY TRENCH PATCH
NO SCALE



GAS TRENCH
NO SCALE



WATER TRENCH
NO SCALE



- NOTES:**
- HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
 - PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
 - FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
 - ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

MANHOLE JOINTS
NO SCALE

Proposed Moxy Hotel

XSS Hotels LLC

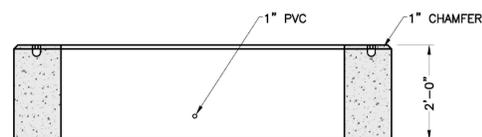
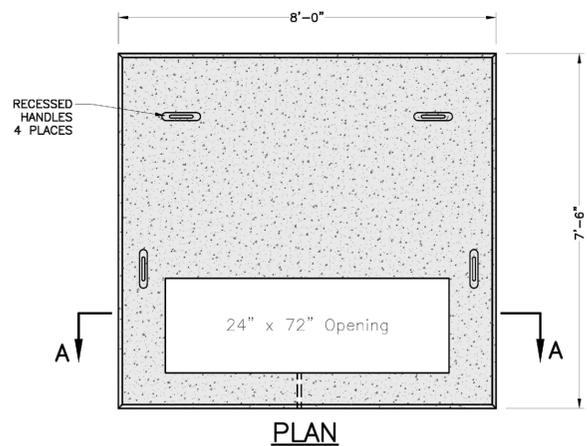
Portsmouth, NH

MARK	DATE	DESCRIPTION
A	1/2/2020	Design Review Submission
PROJECT NO:	P-0595-008	
DATE:	January 2, 2020	
FILE:	P-0595-008_C-DTLS.DWG	
DRAWN BY:	BKC	
CHECKED:	NAH/PMC	
APPROVED:	BLM	

DETAILS SHEET

SCALE: AS SHOWN

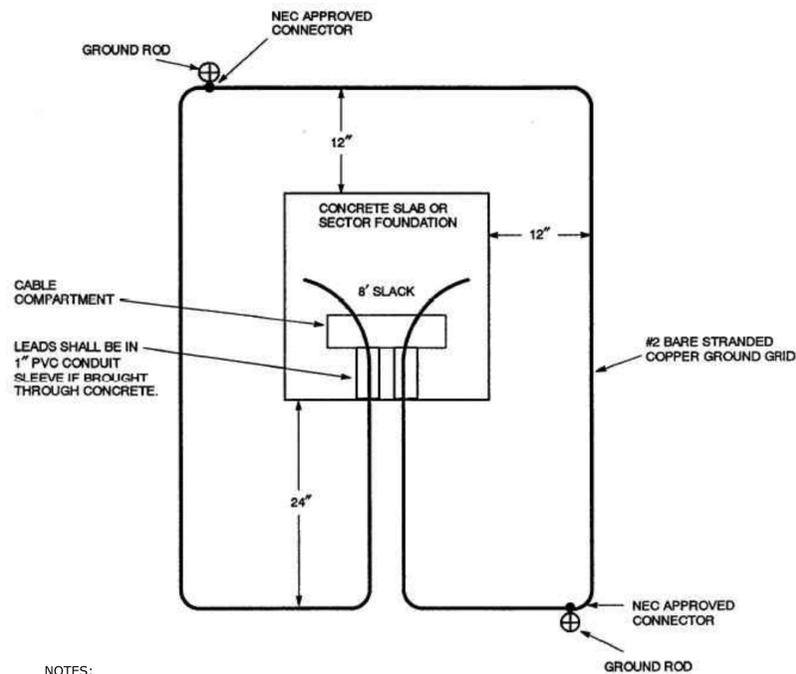
C-503



SECTION A-A

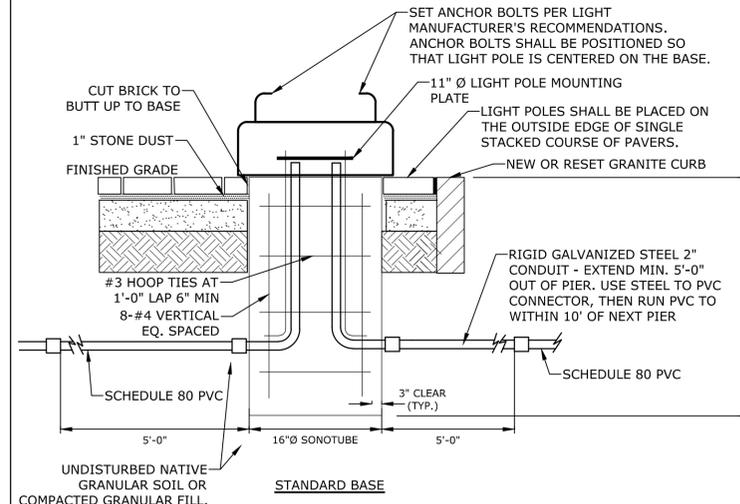
3-PHASE TRANSFORMER PAD
NO SCALE

- NOTES:**
1. DIMENSIONS SHOWN REPRESENT TYPICAL REQUIREMENTS. MANHOLE LOCATIONS AND REQUIREMENTS SHALL BE COORDINATED WITH EVERSOURCE PRIOR TO CONSTRUCTION
 2. CONCRETE MINIMUM STRENGTH - 4,000 PSI @ 28 DAYS
 3. STEEL REINFORCEMENT - ASTM A615, GRADE 60
 4. PAD MEETS OR EXCEEDS EVERSOURCE SPECIFICATIONS



- NOTES:**
- THE GROUND GRID SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR AND IS TO BE BURIED AT LEAST 12 INCHES BELOW GRADE. EIGHT FEET OF EXTRA WIRE FOR EACH GROUND GRID LEG SHALL BE LEFT EXPOSED IN THE CABLE COMPARTMENT TO ALLOW FOR THE CONNECTION TO THE TRANSFORMER. THE TWO 8-FOOT GROUND RODS MAY BE EITHER GALVANIZED STEEL OR COPPERWELD AND THEY SHALL BE CONNECTED TO THE GRID WITH NEC APPROVED CONNECTORS.

PAD-MOUNTED EQUIPMENT GROUNDING GRID DETAIL
NO SCALE

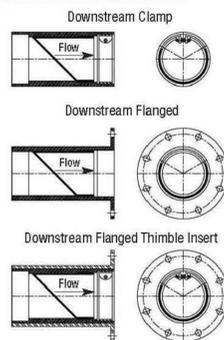


- NOTES:**
1. REFER TO ELECTRICAL PLANS FOR WIRING DETAILS.
 2. CONCRETE: 4000 PSI, AIR ENTRAINED STEEL: 60 KSI
 3. LIGHT POLE FOUNDATIONS SHALL BE PLACED PRIOR TO INSTALLATION OF BRICK PAVERS.
 4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, CALCULATIONS AND NH LICENSED STRUCTURAL ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION.
 5. STANDARD BASE SHALL BE CONSTRUCTED UNLESS THERE IS CONFLICT WITH THE EXISTING DUCT BANK. SPREAD FOOTING BASE SHALL BE USED IN LIEU OF STANDARD BASE IN LOCATIONS WHERE TOP OF DUCT BANK ELEVATION WILL CONFLICT WITH STANDARD POLE BASE DEPTH. CONTRACTOR SHALL VERIFY LOCATIONS WHERE SPREAD FOOTINGS ARE REQUIRED PRIOR TO CONSTRUCTION. SEE NOTE#4 FOR SUBMITTAL REQUIREMENTS.

LIGHT FIXTURE BASE
NO SCALE

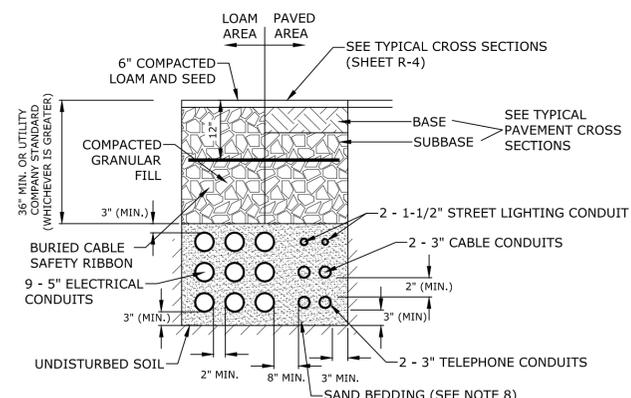
NOMINAL PIPE SIZE I.D.*		OVERALL LENGTH**		NUMBER OF CLAMPS	CUFF DEPTH		BACK PRESSURE RATING	
Inches	Millimeters	Inches	Millimeters		Inches	Millimeters	Feet	Meters
4	100	7.86	200	1	1.5	38	40	12
6	150	9	229	1	2	51	40	12
7	178	12.75	324	1	2	51	40	12
8	200	15.23	387	1	2	51	40	12

Mounting Styles and Configurations



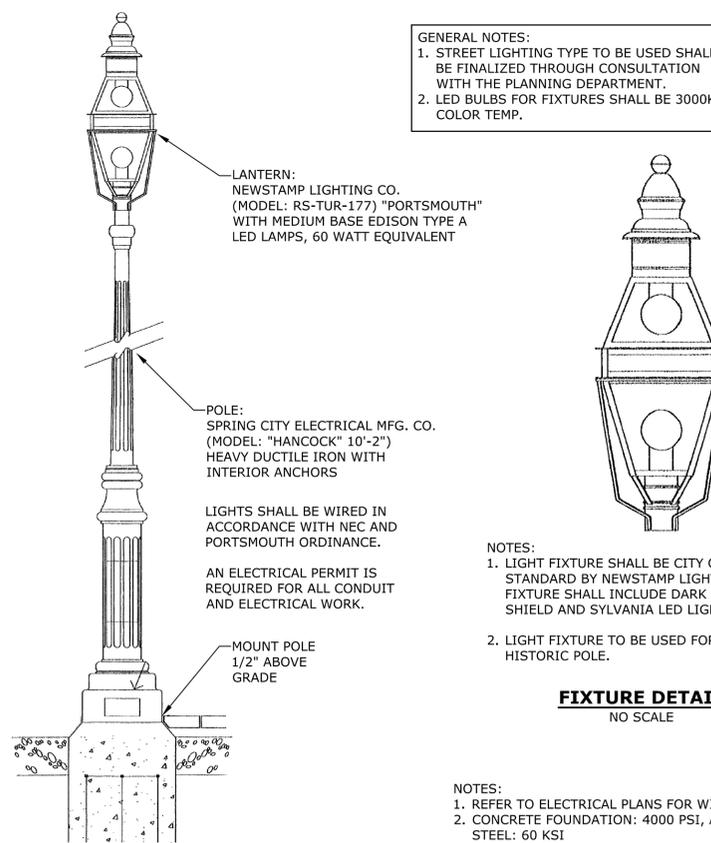
Flange shape and bolt pattern can be customized. Flangeless thimble inserts are available.

TYPICAL BACK FLOW PREVENTER
NO SCALE



- NOTES:**
1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
 2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
 3. A SUITABLE PULLING STRINGS, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
 4. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
 5. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
 6. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.
 7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.
 8. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

ELECTRICAL AND COMMUNICATION CONDUIT
NO SCALE



- NOTES:**
1. LIGHTING CONDUIT SHALL BE 2\"/>
 2. CITY OF PORTSMOUTH SHALL BE PROVIDED WITH THEIR OWN METER BOX AND KEY.
 3. POWER SHALL BE PROVIDED PER CITY OF PORTSMOUTH REQUIREMENT.
 4. POLE SHALL BE MADE FROM DUCTILE IRON.

POLE DETAIL
NO SCALE

- NOTES:**
1. LIGHT FIXTURE SHALL BE CITY OF PORTSMOUTH STANDARD BY NEWSTAMP LIGHTING COMPANY. FIXTURE SHALL INCLUDE DARK SKY FRIENDLY SHIELD AND SYLVANIA LED LIGHT BULB.
 2. LIGHT FIXTURE TO BE USED FOR CITY STREET HISTORIC POLE.

FIXTURE DETAIL
NO SCALE

- NOTES:**
1. REFER TO ELECTRICAL PLANS FOR WIRING DETAILS.
 2. CONCRETE FOUNDATION: 4000 PSI, AIR ENTRAINED STEEL: 60 KSI
 3. LIGHT POLE FOUNDATIONS SHALL BE PLACED PRIOR TO INSTALLATION OF BRICK PAVEMENT AND STONE DUST.
 4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL, TO INCLUDE PERFORMANCE SPECIFICATIONS, CALCULATIONS AND ENGINEER'S STAMP FOR LIGHT POLE FOUNDATION.

LIGHT FIXTURE AND POLE
NO SCALE

Proposed Moxy Hotel

XSS Hotels LLC

Portsmouth, NH

MARK	DATE	DESCRIPTION
A	1/2/2020	Design Review Submission

PROJECT NO:	P-0595-008
DATE:	January 2, 2020
FILE:	P-0595-008_C-DTLS.DWG
DRAWN BY:	BKC
CHECKED:	NAH/PMC
APPROVED:	BLM

DETAILS SHEET

SCALE: AS SHOWN

C-504