

AMBIT ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

12 August 2021

Dexter Legg, Chairman
City of Portsmouth Planning Board
1 Junkins Avenue
Portsmouth, NH 03801

RE: Submission for Site Plan Approval at 180 Spaulding Turnpike, Tax Map 236 / Lot 39, Proposed Showroom Addition

Dear Chairman Legg and Planning Board Members:

On behalf of Spaulding Group, LLC (Applicant) we hereby submit the attached and enclosed Site Plans for **Site Plan Approval** for a Proposed Building Addition at 180 Spaulding Turnpike and request that we be placed on the agenda for your **August 19, 2021** TAC Meeting. As a Mazda automobile dealer franchisee, Seacoast Mazda has been directed by Mazda North America to seek all the necessary approvals to build a new showroom and customer service area. While clean and well maintained, the existing showroom and customer service area are in need of updating to provide a more functional, efficient and welcoming space. The proposed project involves demolishing the existing showroom, offices and service area and building a new showroom and customer service area on the existing footprint, adding a second floor over a portion the showroom for offices and storage space and expanding the showroom to include an enclosed customer service drive-in area. The new enclosed customer service drive-in area will be in the same location as the existing outdoor customer service drive-up area. The proposed new customer service drive-in area will align with the front and side of the building and thereby maintain the same setbacks from property boundaries that exist today. The plans include the associated site improvements for this addition.

The proposed project will increase the footprint of the existing building by approximately 2,412 square feet. This increase is largely represented by the conversion of the existing outdoor customer service drive-up area to an indoor customer service drive-in area. The proposed second floor office and storage space is approximately 2,230 GSF resulting in a total increase of gross square footage (GSF) of approximately 4,795 GSF. The project required Zoning Relief for building setback and other zone setback issues; said relief was granted by the Portsmouth Zoning Board on June 15, 2021. The Technical Advisory Committee reviewed the plans at the August 9, 2021 TAC Meeting and recommend approval with no conditions. The Portsmouth Conservation Commission reviewed our separate Conditional Use Permit application at their August 11, 2021 meeting and voted to recommend approval of this project.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Standard Boundary Survey – This plan shows the results of a land survey of the property.
- Existing Conditions Plan C1 – This plan shows the existing site conditions and topography. The site is adjacent to wetlands on the northeast and southwest sides; those wetlands have been delineated and shown.
- Demolition Plan C2 – This plan shows the removal of the existing one story addition as well as a fence and some AC pads on the southeast side of the building. Those mechanicals will be placed on the roof or will be wall mounted.
- Site Plan C3 – This plan shows the site development; proposed building addition, concrete walkway, and ADA parking.
- Utility Plan C4 – This plan shows the site utilities in detail. Proposed sprinkler service and electric service are included. Existing site lighting will remain as is. Interior plumbing, electric load center, communications service, and mechanical system upgrades are proposed and will be shown on Building Permit plans.
- Grading Plan C5 - This plan shows the proposed building floor elevation, erosion control measures, and sidewalk grades.
- Detail Sheets D1 and D2 - These plans show the associated site construction details.
- Architectural Plans X1.1 to X2.1 and A1.1 to A2.1 – These plans show the existing and proposed Architecture.
- Exterior Rendering – This plans shows the completed building in a rendered view.

Also included in this submission is the following:

Site Plan Application Checklist
Green Building Statement

We look forward to the Planning Board review of this submission, and approval of the proposed design.

Sincerely,

John Chagnon

John R. Chagnon, PE
CC: Project Team



City of Portsmouth, New Hampshire

Site Plan Application Checklist

This site plan application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. The checklist is required to be completed and uploaded to the Site Plan application in the City's online permitting system. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all site plan review requirements. Please refer to the Site Plan review regulations for full details.

Applicant Responsibilities (Section 2.5.2): Applicable fees are due upon application submittal along with required attachments. The application shall be complete as submitted and provide adequate information for evaluation of the proposed site development. Waiver requests must be submitted in writing with appropriate justification.

Name of Applicant: Seacost Mazda Date Submitted: 7/19/21

Application # (in City's online permitting): LU-21-50

Site Address: 180 Spaulding Turnpike Map: 236 Lot: 39

| Application Requirements | | | |
|-------------------------------------|--|--|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page or Plan Sheet/Note #) | Waiver Requested |
| <input type="checkbox"/> | Complete application form submitted via the City's web-based permitting program (2.5.2.1(2.5.2.3A)) | Online | N/A |
| <input type="checkbox"/> | All application documents, plans, supporting documentation and other materials uploaded to the application form in viewpoint in digital Portable Document Format (PDF). One hard copy of all plans and materials shall be submitted to the Planning Department by the published deadline. (2.5.2.8) | Yes | N/A |

| Site Plan Review Application Required Information | | | |
|---|---|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input type="checkbox"/> | Statement that lists and describes "green" building components and systems. (2.5.3.1B) | Architect Letter | |
| <input type="checkbox"/> | Existing and proposed gross floor area and dimensions of all buildings and statement of uses and floor area for each floor. (2.5.3.1C) | Sheet C3 | N/A |
| <input type="checkbox"/> | Tax map and lot number, and current zoning of all parcels under Site Plan Review. (2.5.3.1D) | Sheet C1 | N/A |

| Site Plan Review Application Required Information | | | |
|---|---|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input type="checkbox"/> | Owner's name, address, telephone number, and signature. Name, address, and telephone number of applicant if different from owner. (2.5.3.1E) | Cover Sheet | N/A |
| <input type="checkbox"/> | Names and addresses (including Tax Map and Lot number and zoning districts) of all direct abutting property owners (including properties located across abutting streets) and holders of existing conservation, preservation or agricultural preservation restrictions affecting the subject property. (2.5.3.1F) | Cover Sheet | N/A |
| <input type="checkbox"/> | Names, addresses and telephone numbers of all professionals involved in the site plan design. (2.5.3.1G) | Cover Sheet | N/A |
| <input type="checkbox"/> | List of reference plans. (2.5.3.1H) | Sheet C1 | N/A |
| <input type="checkbox"/> | List of names and contact information of all public or private utilities servicing the site. (2.5.3.1I) | Cover Sheet | N/A |

| Site Plan Specifications | | | |
|-------------------------------------|---|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input type="checkbox"/> | Full size plans shall not be larger than 22 inches by 34 inches with match lines as required, unless approved by the Planning Director.. (2.5.4.1A) | Required on all plan sheets | N/A |
| <input type="checkbox"/> | Scale: Not less than 1 inch = 60 feet and a graphic bar scale shall be included on all plans. (2.5.4.1B) | Required on all plan sheets | N/A |
| <input type="checkbox"/> | GIS data should be referenced to the coordinate system New Hampshire State Plane, NAD83 (1996), with units in feet. (2.5.4.1C) | Actually 2011 Update | N/A |
| <input type="checkbox"/> | Plans shall be drawn to scale and stamped by a NH licensed civil engineer. (2.5.4.1D) | Required on all plan sheets | N/A |
| <input type="checkbox"/> | Wetlands shall be delineated by a NH certified wetlands scientist and so stamped. (2.5.4.1E) | Sheet C1 | N/A |
| <input type="checkbox"/> | Title (name of development project), north point, scale, legend. (2.5.4.2A) | Cover Sheet | N/A |
| <input type="checkbox"/> | Date plans first submitted, date and explanation of revisions. (2.5.4.2B) | Each Plan | N/A |
| <input type="checkbox"/> | Individual plan sheet title that clearly describes the information that is displayed. (2.5.4.2C) | Required on all plan sheets | N/A |
| <input type="checkbox"/> | Source and date of data displayed on the plan. (2.5.4.2D) | Site Survey | N/A |

| Site Plan Specifications – Required Exhibits and Data | | | |
|---|---|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input type="checkbox"/> | 1. Existing Conditions: (2.5.4.3A) <ul style="list-style-type: none"> • Surveyed plan of site showing existing natural and built features; • Existing building footprints and gross floor area; • Existing parking areas and number of parking spaces provided; • Zoning district boundaries; • Existing, required, and proposed dimensional zoning requirements including building and open space coverage, yards and/or setbacks, and dwelling units per acre; • Existing impervious and disturbed areas; • Limits and type of existing vegetation; • Wetland delineation, wetland function and value assessment (including vernal pools); • SFHA, 100-year flood elevation line and BFE data, as required. | Sheet C1 & Cover Sheet | |
| <input type="checkbox"/> | 2. Buildings and Structures: (2.5.4.3B) <ul style="list-style-type: none"> • Plan view: Use, size, dimensions, footings, overhangs, 1st fl. elevation; • Elevations: Height, massing, placement, materials, lighting, façade treatments; • Total Floor Area; • Number of Usable Floors; • Gross floor area by floor and use. | Sheet C1 & C3 | |
| <input type="checkbox"/> | 3. Access and Circulation: (2.5.4.3C) <ul style="list-style-type: none"> • Location/width of access ways within site; • Location of curbing, right of ways, edge of pavement and sidewalks; • Location, type, size and design of traffic signing (pavement markings); • Names/layout of existing abutting streets; • Driveway curb cuts for abutting prop. and public roads; • If subdivision; Names of all roads, right of way lines and easements noted; • AASHTO truck turning templates, description of minimum vehicle allowed being a WB-50 (unless otherwise approved by TAC). | Sheet C3 | |
| <input type="checkbox"/> | 4. Parking and Loading: (2.5.4.3D) <ul style="list-style-type: none"> • Location of off street parking/loading areas, landscaped areas/buffers; • Parking Calculations (# required and the # provided). | Sheet C3 | |
| <input type="checkbox"/> | 5. Water Infrastructure: (2.5.4.3E) <ul style="list-style-type: none"> • Size, type and location of water mains, shut-offs, hydrants & Engineering data; • Location of wells and monitoring wells (include protective radii). | Sheet C4 | |
| <input type="checkbox"/> | 6. Sewer Infrastructure: (2.5.4.3F) <ul style="list-style-type: none"> • Size, type and location of sanitary sewage facilities & Engineering data, including any onsite temporary facilities during construction period. | Sheet C4 | |

| | | | |
|--------------------------|--|-----------|--|
| <input type="checkbox"/> | 7. Utilities: (2.5.4.3G) <ul style="list-style-type: none"> The size, type and location of all above & below ground utilities; Size type and location of generator pads, transformers and other fixtures. | Sheet C4 | |
| <input type="checkbox"/> | 8. Solid Waste Facilities: (2.5.4.3H) <ul style="list-style-type: none"> The size, type and location of solid waste facilities. | Sheet C3 | |
| <input type="checkbox"/> | 9. Storm water Management: (2.5.4.3I) <ul style="list-style-type: none"> The location, elevation and layout of all storm-water drainage. The location of onsite snow storage areas and/or proposed off-site snow removal provisions. Location and containment measures for any salt storage facilities Location of proposed temporary and permanent material storage locations and distance from wetlands, water bodies, and stormwater structures. | Sheet C5 | |
| <input type="checkbox"/> | 10. Outdoor Lighting: (2.5.4.3J) <ul style="list-style-type: none"> Type and placement of all lighting (exterior of building, parking lot and any other areas of the site) and photometric plan. | No Change | |
| <input type="checkbox"/> | 11. Indicate where dark sky friendly lighting measures have been implemented. (10.1) | No Change | |
| <input type="checkbox"/> | 12. Landscaping: (2.5.4.3K) <ul style="list-style-type: none"> Identify all undisturbed area, existing vegetation and that which is to be retained; Location of any irrigation system and water source. | N/A | |
| <input type="checkbox"/> | 13. Contours and Elevation: (2.5.4.3L) <ul style="list-style-type: none"> Existing/Proposed contours (2 foot minimum) and finished grade elevations. | Sheet C5 | |
| <input type="checkbox"/> | 14. Open Space: (2.5.4.3M) <ul style="list-style-type: none"> Type, extent and location of all existing/proposed open space. | Sheet C3 | |
| <input type="checkbox"/> | 15. All easements, deed restrictions and non-public rights of ways. (2.5.4.3N) | Sheet C1 | |
| <input type="checkbox"/> | 16. Character/Civic District (All following information shall be included): (2.5.4.3P) <ul style="list-style-type: none"> Applicable Building Height (10.5A21.20 & 10.5A43.30); Applicable Special Requirements (10.5A21.30); Proposed building form/type (10.5A43); Proposed community space (10.5A46). | N/A | |
| <input type="checkbox"/> | 17. Special Flood Hazard Areas (2.5.4.3Q) <ul style="list-style-type: none"> The proposed development is consistent with the need to minimize flood damage; All public utilities and facilities are located and construction to minimize or eliminate flood damage; Adequate drainage is provided so as to reduce exposure to flood hazards. | N/A | |

| Other Required Information | | | |
|-------------------------------------|---|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input type="checkbox"/> | Traffic Impact Study or Trip Generation Report, as required. (3.2.1-2) | No Change | |
| <input type="checkbox"/> | Indicate where Low Impact Development Design practices have been incorporated. (7.1) | Green Statement | |
| <input type="checkbox"/> | Indicate whether the proposed development is located in a wellhead protection or aquifer protection area. Such determination shall be approved by the Director of the Dept. of Public Works. (7.3.1) | TBD | |
| <input type="checkbox"/> | Stormwater Management and Erosion Control Plan. (7.4) | Sheet C5 | |
| <input type="checkbox"/> | Inspection and Maintenance Plan (7.6.5) | | |

| Final Site Plan Approval Required Information | | | |
|---|--|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input type="checkbox"/> | All local approvals, permits, easements and licenses required, including but not limited to: <ul style="list-style-type: none"> • Waivers; • Driveway permits; • Special exceptions; • Variances granted; • Easements; • Licenses. (2.5.3.2A) | Cover Sheet | |
| <input type="checkbox"/> | Exhibits, data, reports or studies that may have been required as part of the approval process, including but not limited to: <ul style="list-style-type: none"> • Calculations relating to stormwater runoff; • Information on composition and quantity of water demand and wastewater generated; • Information on air, water or land pollutants to be discharged, including standards, quantity, treatment and/or controls; • Estimates of traffic generation and counts pre- and post- construction; • Estimates of noise generation; • A Stormwater Management and Erosion Control Plan; • Endangered species and archaeological / historical studies; • Wetland and water body (coastal and inland) delineations; • Environmental impact studies. (2.5.3.2B) | Plan Set No Change in Impervious Area Proposed | |
| <input type="checkbox"/> | A document from each of the required private utility service providers indicating approval of the proposed site plan and indicating an ability to provide all required private utilities to the site. (2.5.3.2D) | TBD | |

| Final Site Plan Approval Required Information | | | |
|---|---|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal | Item Location (e.g. Page/line or Plan Sheet/Note #) | Waiver Requested |
| <input type="checkbox"/> | A list of any required state and federal permit applications required for the project and the status of same. (2.5.3.2E) | N/A | |
| <input type="checkbox"/> | A note shall be provided on the Site Plan stating: "All conditions on this Plan shall remain in effect in perpetuity pursuant to the requirements of the Site Plan Review Regulations." (2.5.4.2E) | Cover & Sheet C3 | N/A |
| <input type="checkbox"/> | For site plans that involve land designated as "Special Flood Hazard Areas" (SFHA) by the National Flood Insurance Program (NFIP) confirmation that all necessary permits have been received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334. (2.5.4.2F) | N/A | |
| <input type="checkbox"/> | Plan sheets submitted for recording shall include the following notes: <ul style="list-style-type: none"> a. "This Site Plan shall be recorded in the Rockingham County Registry of Deeds." b. "All improvements shown on this Site Plan shall be constructed and maintained in accordance with the Plan by the property owner and all future property owners. No changes shall be made to this Site Plan without the express approval of the Portsmouth Planning Director." (2.13.3) | Sheet C3 | N/A |

Applicant's Signature: John Chagnon Date: 7-19-21

July 19, 2021

Seacoast Mazda Addition
180 Spaulding Turnpike

Site Plan Review

Green Building Statement

The existing building is 11,732sf consisting of a rear service pre-engineered building and a front showroom and customer waiting addition. This project will remove the front addition and replace it with a new showroom and sales offices. The rear service pre-engineered building will remain as is.

The design and materials are specified by Mazda corporate. Local architects can research and use alternate materials with their approval.

Building Envelope

- ✓ Design high performing thermal envelope that exceeds 2015 IECC baseline.
- ✓ Seek Energy Star certificates and rebates.
- ✓ Use low-VOC products for construction.

Materials

- ✓ Minimize waste during construction.
- ✓ Recycle during building operation.
- ✓ Source as many low-carbon footprint materials as budget allows.
- ✓ Source materials regionally within 500 miles as available.

Plumbing

- ✓ Low flow plumbing fixtures
- ✓ Explore using domestic hot water recirculation system to reduce water waste.

Mechanical

- ✓ Reduced mechanical systems through improved building envelope and air sealing.
- ✓ Utilized energy recover ventilator(s) to provide code required ventilation and exhaust.
- ✓ Explore using high efficiency gas fired systems.
- ✓ Utilize demand control ventilation.
- ✓ Install programmable system controls with automatic temperature setback.

Electrical

- ✓ LED lighting throughout.
- ✓ Occupancy sensor lighting controls.
- ✓ Daylight dimming.

PROPOSED BUILDING ADDITION
SEACOAST MAZDA
180 SPAULDING TURNPIKE
PORTSMOUTH NEW HAMPSHIRE
SITE PERMIT PLANS

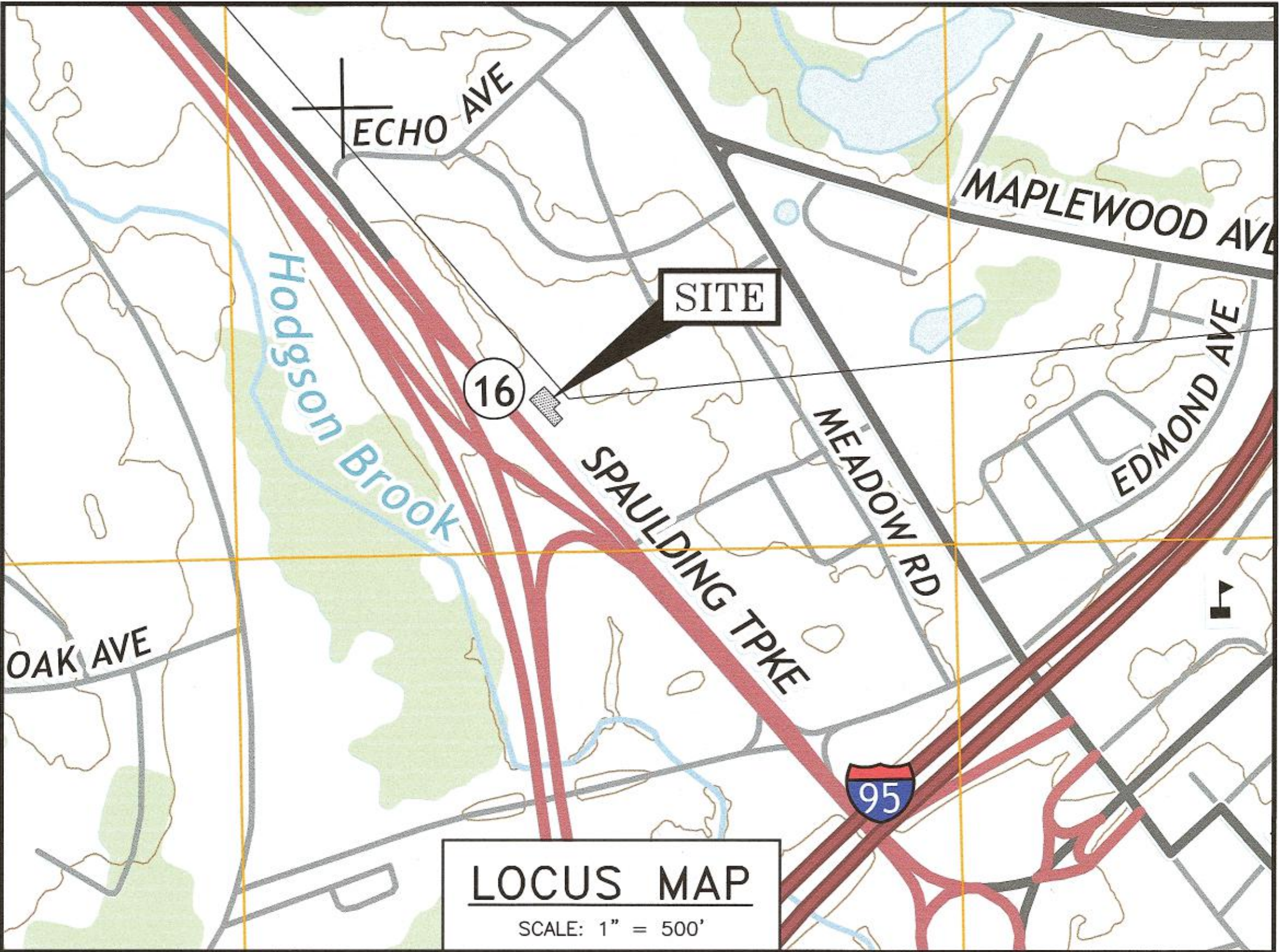
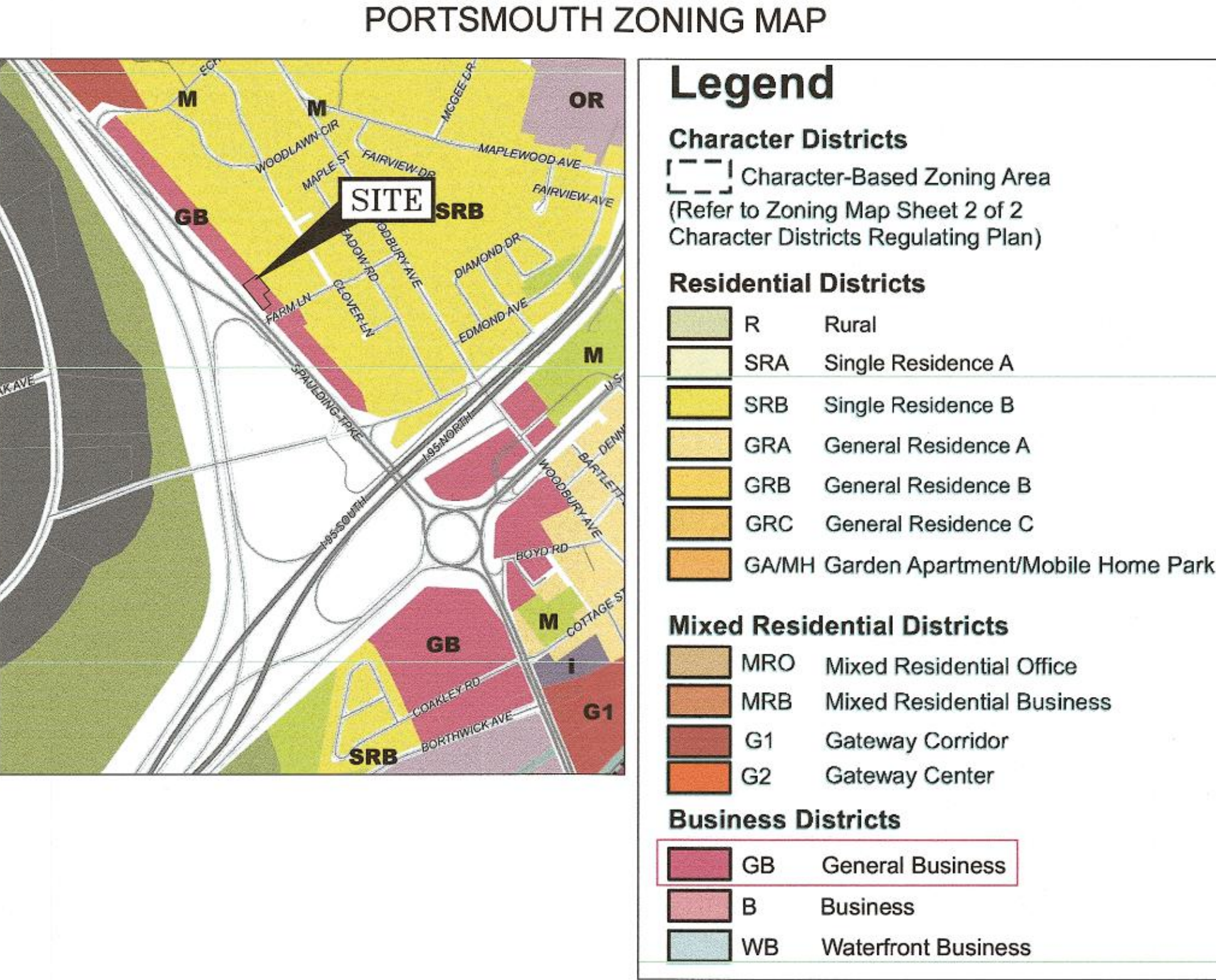
PROJECT PERMITS:
PORTSMOUTH ZBA: APPROVED 6/15/21
PORTSMOUTH SITE PLAN: PENDING
PORTSMOUTH CUP (WETLANDS): PENDING

OWNER AND APPLICANT:
SPAULDING GROUP, LLC
180 SPAULDING TURNPIKE
PORTSMOUTH, N.H. 03801
TEL. (603) 436-6811

CIVIL ENGINEER & LAND SURVEYOR:
AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
TEL. (603) 430-9282
FAX (603) 436-2315

ARCHITECT:
PORT ONE ARCHITECTS
959 ISLINGTON STREET
PORTSMOUTH, NH
TEL. (603) 436-8891

CORPORATE ARCHITECT:
CHANGE UP
2056 BYERS ROAD
DAYTON, OH
TEL. (844) 804-7700



LEGEND:

| EXISTING | PROPOSED | |
|----------|----------|------------------------------|
| --- | --- | PROPERTY LINE |
| --- | --- | SETBACK |
| S | S | SEWER PIPE |
| SL | SL | SEWER LATERAL |
| G | G | GAS LINE |
| D | D | STORM DRAIN |
| W | W | WATER LINE |
| WS | WS | WATER SERVICE |
| UGE | UGE | UNDERGROUND ELECTRIC |
| OHW | OHW | OVERHEAD ELECTRIC/WIRES |
| --- | UD | FOUNDATION DRAIN |
| --- | --- | EDGE OF PAVEMENT (EP) |
| --- | --- | CONTOUR |
| --- | --- | SPOT ELEVATION |
| --- | --- | UTILITY POLE |
| --- | --- | WALL MOUNTED EXTERIOR LIGHTS |
| --- | --- | TRANSFORMER ON CONCRETE PAD |
| --- | --- | ELECTRIC HANDHOLD |
| --- | --- | SHUT OFFS (WATER/GAS) |
| --- | --- | GATE VALVE |
| --- | --- | HYDRANT |
| --- | --- | CATCH BASIN |
| --- | --- | SEWER MANHOLE |
| --- | --- | DRAIN MANHOLE |
| --- | --- | TELEPHONE MANHOLE |
| --- | --- | PARKING SPACE COUNT |
| --- | --- | PARKING METER |
| --- | --- | LANDSCAPED AREA |
| TBD | TBD | TO BE DETERMINED |
| CI | CI | CAST IRON PIPE |
| COP | COP | COPPER PIPE |
| DI | DI | DUCTILE IRON PIPE |
| PVC | PVC | POLYVINYL CHLORIDE PIPE |
| RCP | RCP | REINFORCED CONCRETE PIPE |
| AC | --- | ASBESTOS CEMENT PIPE |
| VC | VC | VITRIFIED CLAY PIPE |
| EP | EP | EDGE OF PAVEMENT |
| EL | EL | ELEVATION |
| FF | FF | FINISHED FLOOR |
| INV | INV | INVERT |
| S = | S = | SLOPE FT/FT |
| TBM | TBM | TEMPORARY BENCH MARK |
| TYP | TYP | TYPICAL |
| W.W. | W.W. | WINDOW WELL |
| 1 | --- | PHOTO LOCATION |



UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: JIM TOW

COMMUNICATIONS:
CONSOLIDATED
COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN
PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF
PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE

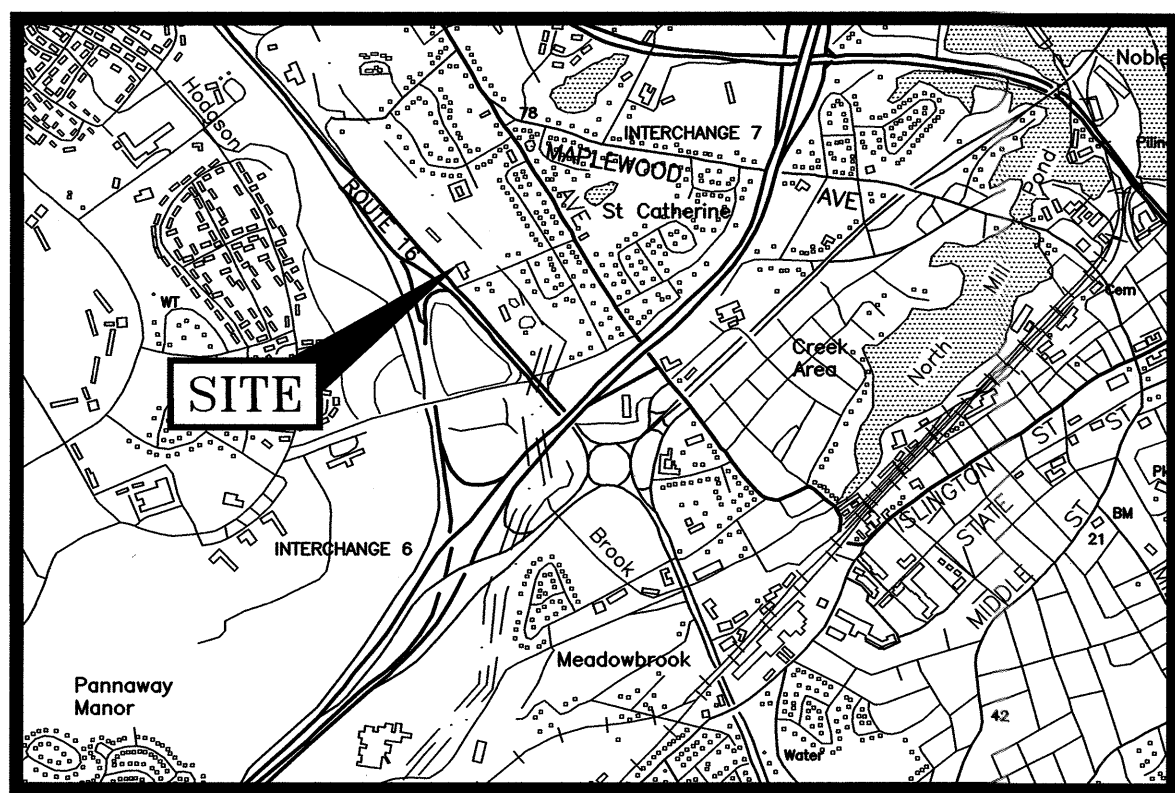
INDEX OF SHEETS

| DWG No. | |
|---------|-------------------------------|
| - | STANDARD BOUNDARY SURVEY PLAN |
| C1 | EXISTING CONDITIONS PLAN |
| C2 | DEMOLITION PLAN |
| C3 | SITE PLAN |
| C4 | UTILITY PLAN |
| C5 | GRADING PLAN |
| | EXTERIOR RENDERING |
| | FLOOR PLANS |
| | ELEVATIONS |

PROPOSED BUILDING ADDITION
SEACOAST MAZDA
180 SPAULDING TURNPIKE
PORTSMOUTH, N.H.

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 19 JULY 2021

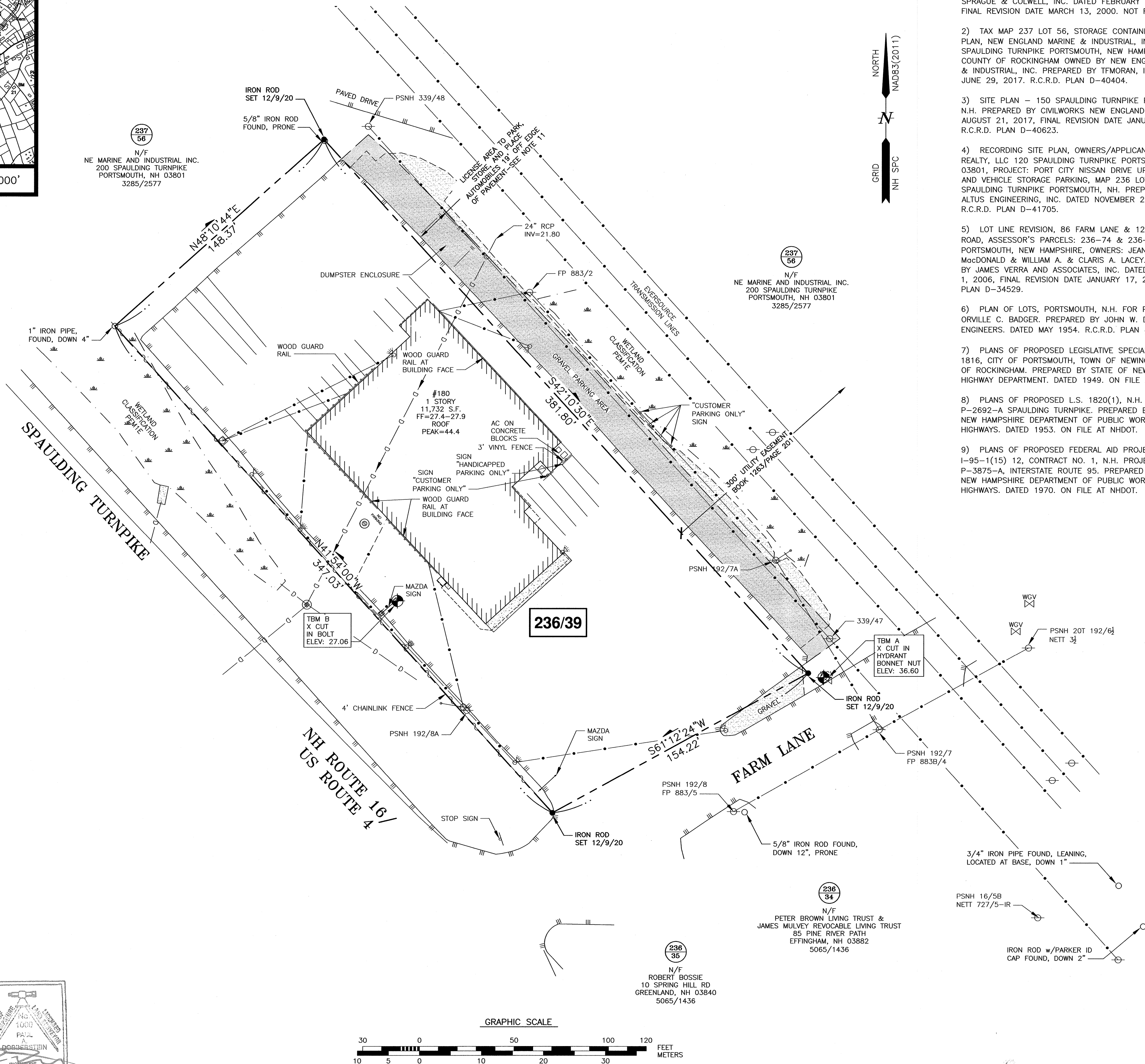


LOCATION MAP

SCALE: 1"=2,000'

LEGEND:

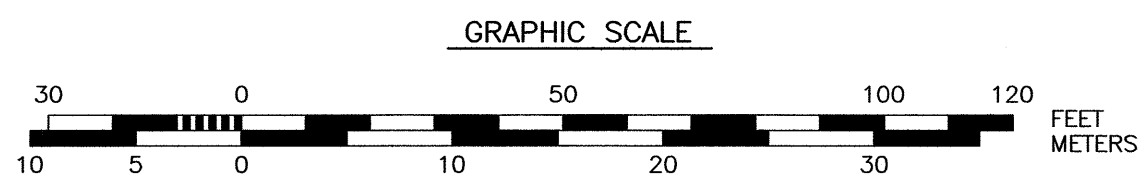
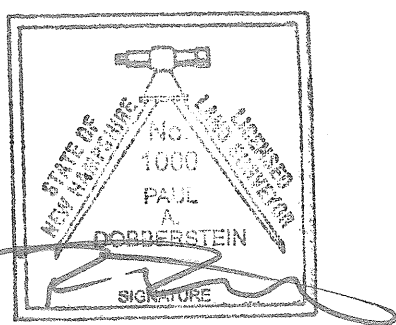
- N/F
RP
RCRD
RR SPK
11/21
O IR FND
O IP FND
O IR SET
O DH FND
O DH SET
NHHB
TB
BND w/DH
ST BND w/DH
- NOW OR FORMERLY
RECORD OF PROBATE
ROCKINGHAM COUNTY
REGISTRY OF DEEDS
RAILROAD SPIKE
MAP 11/LOT 21
IRON ROD FOUND
IRON PIPE FOUND
IRON ROD SET
DRILL HOLE FOUND
DRILL HOLE SET
NHDOT BOUND FOUND
TOWN BOUND
BOUND WITH DRILL HOLE
STONE BOUND WITH DRILL HOLE



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

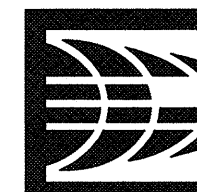
PAUL A DOBBERSTEIN, LLS

DATE



PLAN REFERENCES:

- 1) REQUEST FOR VARIANCE FOR SEACOAST VOLKSWAGEN - MAZDA, 180 SPAULDING TURNPIKE, COUNTY OF ROCKINGHAM, PORTSMOUTH, NH. PREPARED BY MILLETTE, SPRAGUE & COLWELL, INC. DATED FEBRUARY 14, 2000. FINAL REVISION DATE MARCH 13, 2000. NOT RECORDED.
- 2) TAX MAP 237 LOT 56, STORAGE CONTAINER LOCATION PLAN, NEW ENGLAND MARINE & INDUSTRIAL, INC., 200 SPAULDING TURNPIKE PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM OWNED BY NEW ENGLAND MARINE & INDUSTRIAL, INC. PREPARED BY TFMORAN, INC. DATED JUNE 29, 2017. R.C.R.D. PLAN D-40404.
- 3) SITE PLAN - 150 SPAULDING TURNPIKE PORTSMOUTH, N.H. PREPARED BY CIVILWORKS NEW ENGLAND. DATED AUGUST 21, 2017, FINAL REVISION DATE JANUARY 5, 2018. R.C.R.D. PLAN D-40623.
- 4) RECORDING SITE PLAN, OWNERS/APPLICANTS: TWO-WAY REALTY, LLC 120 SPAULDING TURNPIKE PORTSMOUTH, NH 03801. PROJECT: PORT CITY NISSAN DRIVE UP SERVICE BAY AND VEHICLE STORAGE PARKING, MAP 236 LOT 33, 120 SPAULDING TURNPIKE PORTSMOUTH, NH. PREPARED BY ALTUS ENGINEERING, INC. DATED NOVEMBER 27, 2018. R.C.R.D. PLAN D-41705.
- 5) LOT LINE REVISION, 86 FARM LANE & 125 MEADOW ROAD, ASSESSOR'S PARCELS: 236-74 & 236-68, PORTSMOUTH, NEW HAMPSHIRE, OWNERS: JEANNETTE MacDONALD & WILLIAM A. & CLARIS A. LACEY. PREPARED BY JAMES VERRA AND ASSOCIATES, INC. DATED DECEMBER 1, 2006, FINAL REVISION DATE JANUARY 17, 2007. R.C.R.D. PLAN D-34529.
- 6) PLAN OF LOTS, PORTSMOUTH, N.H. FOR PAUL C. & ORVILLE C. BADGER. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. DATED MAY 1954. R.C.R.D. PLAN #02160.
- 7) PLANS OF PROPOSED LEGISLATIVE SPECIAL PROJECT LS 1816, CITY OF PORTSMOUTH, TOWN OF NEWINGTON, COUNTY OF ROCKINGHAM. PREPARED BY STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT. DATED 1949. ON FILE AT NHDOT.
- 8) PLANS OF PROPOSED L.S. 1820(1), N.H. NO. P-2692-A SPAULDING TURNPIKE. PREPARED BY STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS. DATED 1953. ON FILE AT NHDOT.
- 9) PLANS OF PROPOSED FEDERAL AID PROJECT I-95-1(15) 12, CONTRACT NO. 1, N.H. PROJECT NO. P-3875-A, INTERSTATE ROUTE 95. PREPARED BY STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS. DATED 1970. ON FILE AT NHDOT.



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE PORTSMOUTH ASSESSOR'S TAX MAP 236 AS LOT 39.
- 2) OWNERS OF RECORD:
SPAULDING GROUP, LLC
180 SPAULDING TURNPIKE
PORTSMOUTH, NH 03801
5886/1774
- 3) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0260F. EFFECTIVE 1/29/2021.
- 4) EXISTING LOT AREA:
54,384 SF
1.2485 ACRES
- 5) PARCEL IS LOCATED IN THE GENERAL BUSINESS DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 43,560 SF
FRONTAGE: 200 FT
SETBACKS:

FRONT: 30 FT
SIDE: 30 FT
REAR: 50 FT

MAXIMUM STRUCTURE HEIGHT: 60 FT
MAXIMUM BUILDING COVERAGE: 30%
MINIMUM OPEN SPACE: 20%
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULT OF A STANDARD BOUNDARY SURVEY OF THE PARCEL.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS (±0.2').
- 9) PARCEL IS SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS FOR LAND NOW OF NEW ENGLAND MARINE AND INDUSTRIAL, INC. IN AS MUCH AS IT IS STILL IN EFFECT, LOCATION NOT PLOTTABLE. SEE R.C.R.D. 1566/184.
- 10) PARCEL IS SUBJECT TO A DRAINAGE AGREEMENT (R.C.R.D. 1564/229) & CONDITIONS AS MUCH AS THEY ARE STILL IN EFFECT (R.C.R.D. 1499/277).
- 11) LICENSE AREA FOR PARKING, STORAGE, AND PLACING AUTOMOBILES IS SHOWN PER PLAN REFERENCE 1 & R.C.R.D. PLAN D-40404. THE LICENSE AGREEMENT BETWEEN THE OWNERS OF PARCELS 237/56 AND 236/39 ALLOW FOR A 25' WIDE AREA TO PARK AND STORE VEHICLES. SEE CITY AGREEMENT TO LIMIT TO 19' FROM EDGE OF PAVEMENT.

| NO. | DESCRIPTION | DATE |
|-----|---------------------|---------|
| 1 | ISSUED FOR APPROVAL | 2/17/21 |
| 0 | ISSUED FOR COMMENT | 12/5/20 |

STANDARD BOUNDARY SURVEY
TAX MAP 236 - LOT 39
SEACOAST MAZDA

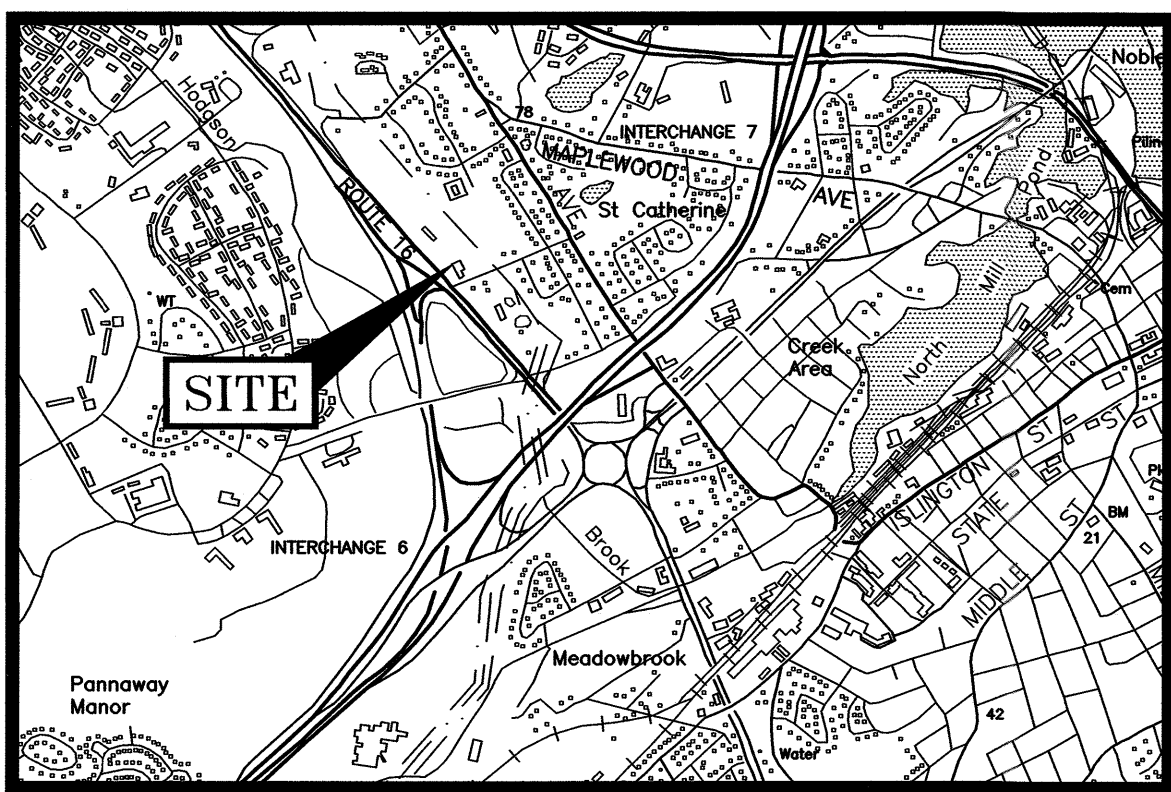
FOR
SPAULDING GROUP, LLC
180 SPAULDING TURNPIKE
CITY OF PORTSMOUTH
COUNTY OF ROCKINGHAM
STATE OF NEW HAMPSHIRE

SCALE 1"=30'

NOVEMBER 2020

FB 324 & PG 51

3236



LOCATION MAP

SCALE: 1"=2,000'

LEGEND:

| | |
|------|------------------------------|
| N/F | NOW OR FORMERLY |
| RP | RECORD OF PROBATE |
| RCRD | ROCKINGHAM COUNTY |
| 157 | REGISTRY OF DEEDS |
| 3 | MAP 157 / LOT 3 |
| --- | BOUNDARY |
| --- | SETBACK |
| ○ | RAILROAD SPIKE FOUND |
| ○ | IRON ROD/PIPE FOUND |
| ○ | DRILL HOLE FOUND |
| ○ | STONE/CONCRETE BOUND FOUND |
| ○ | RAILROAD SPIKE SET |
| ○ | IRON ROD SET |
| ○ | DRILL HOLE SET |
| ○ | GRANITE BOUND SET |
| S | SEWER LINE |
| G | GAS LINE |
| D | STORM DRAIN |
| W | WATER LINE |
| --- | UNDERGROUND ELECTRIC |
| --- | OVERHEAD ELECTRIC/WIRES |
| --- | CONTOUR |
| --- | SPOT ELEVATION |
| --- | EDGE OF PAVEMENT (EP) |
| --- | WOODS / TREE LINE |
| --- | UTILITY POLE (w/ GUY) |
| --- | GAS SHUT OFF |
| --- | WATER SHUT OFF/CURB STOP |
| --- | GATE VALVE |
| --- | HYDRANT |
| --- | METER (GAS, WATER, ELECTRIC) |
| --- | CATCH BASIN |
| --- | TELEPHONE MANHOLE |
| --- | SEWER MANHOLE |
| --- | DRAIN MANHOLE |
| --- | AIR CONDITIONER UNIT |
| --- | SIGNS |
| --- | ASBESTOS CEMENT PIPE |
| --- | CAST IRON PIPE |
| --- | CORRUGATED METAL PIPE |
| --- | CONCRETE MASONRY UNIT |
| --- | COPPER PIPE |
| --- | DUCTILE IRON PIPE |
| --- | POLYVINYL CHLORIDE PIPE |
| --- | REINFORCED CONCRETE PIPE |
| --- | VITRIFIED CLAY PIPE |
| --- | ELEVATION |
| --- | EDGE OF PAVEMENT |
| --- | FINISHED FLOOR |
| --- | INVERT |
| --- | TEMPORARY BENCHMARK |
| --- | TYPICAL |
| --- | VERTICAL/SLOPED GRANITE CURB |
| --- | CAPE COD BERM |
| --- | LANDSCAPED AREA |
| --- | EXISTING DISPLAY AREA |

NORTH
N
GRID
NH SPC
NAD83(2011)

237
56

N/F
NE MARINE AND INDUSTRIAL INC.
200 SPAULDING TURNPIKE
PORTSMOUTH, NH 03801
3285/2577

CATCH BASIN
RIM=25.42
INV. IN 18" RCP (FROM INV. IN)=21.56
INV. IN 24" RCP (FROM INV. IN)=21.14
INV. IN 8" CMP (FROM SE)=21.97
INV. OUT 24" RCP (TO SW)=21.06
SUMP=21.02

WETLAND NOTES:

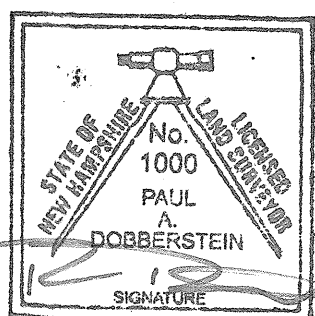
- 1) WETLAND LINES DELINEATED BY STEVEN D. RIKER, CWS ON 9/25/2020 & 3/9/21 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
 - A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL TECHNICAL REPORT Y-87-1 (JAN. 1987). AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2, USDA-NRCS, 2018 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEWPPCC WETLANDS WORK GROUP (2019).
 - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
 - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFWS MANUAL FWS/OBS-79/31 (1997).
 - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.

- 2) WETLAND FLAGS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

PAUL A. DOBBERSTEIN, LLS

DATE

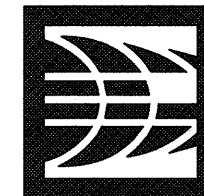


NOTE:

- 1) THE EXISTING CONDITIONS INCLUDES 9 STRIPED PARKING SPACES AND IN THE GRAVEL PARKING AREA THERE ARE 21 UNSTRIPED SPACES.

PLAN REFERENCES:

- 1) REQUEST FOR VARIANCE FOR SEACOAST VOLKSWAGEN - MAZDA, 180 SPAULDING TURNPIKE, COUNTY OF ROCKINGHAM, PORTSMOUTH, NH. PREPARED BY MILLETTE, SPRAGUE & COLWELL, INC. DATED FEBRUARY 14, 2000. FINAL REVISION DATE MARCH 13, 2000. NOT RECORDED.
- 2) TAX MAP 237 LOT 56, STORAGE CONTAINER LOCATION PLAN, NEW ENGLAND MARINE & INDUSTRIAL, INC., 200 SPAULDING TURNPIKE PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF ROCKINGHAM OWNED BY NEW ENGLAND MARINE & INDUSTRIAL, INC. PREPARED BY TFMORAN, INC. DATED JUNE 29, 2017. R.C.R.D. PLAN D-40404.
- 3) SITE PLAN - 150 SPAULDING TURNPIKE PORTSMOUTH, N.H. PREPARED BY CIVILWORKS NEW ENGLAND. DATED AUGUST 21, 2017, FINAL REVISION DATE JANUARY 5, 2018. R.C.R.D. PLAN D-40623.
- 4) RECORDING SITE PLAN, OWNERS/APPLICANTS: TWO-WAY REALTY, LLC 120 SPAULDING TURNPIKE PORTSMOUTH, NH 03801, PROJECT: PORT CITY NISSAN DRIVE UP SERVICE BAY AND VEHICLE STORAGE PARKING, MAP 236 LOT 33, 120 SPAULDING TURNPIKE PORTSMOUTH, NH. PREPARED BY ALTUS ENGINEERING, INC. DATED NOVEMBER 27, 2018. R.C.R.D. PLAN D-41705.
- 5) LOT LINE REVISION, 86 FARM LANE & 125 MEADOW ROAD, ASSESSOR'S PARCELS: 236-74 & 236-68, PORTSMOUTH, NEW HAMPSHIRE, OWNERS: JEANNETTE MacDonald & WILLIAM A. & CLARIS A. LACEY. PREPARED BY JAMES VERRA AND ASSOCIATES, INC. DATED DECEMBER 1, 2006, FINAL REVISION DATE JANUARY 17, 2007. R.C.R.D. PLAN D-34529.
- 6) PLAN OF LOTS, PORTSMOUTH, N.H. FOR PAUL C. & ORVILLE C. BADGER. PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS. DATED MAY 1954. R.C.R.D. PLAN #02160.
- 7) PLANS OF PROPOSED LEGISLATIVE SPECIAL PROJECT LS 1816, CITY OF PORTSMOUTH, TOWN OF NEWINGTON, COUNTY OF ROCKINGHAM. PREPARED BY STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT. DATED 1949. ON FILE AT NHDOT.
- 8) PLANS OF PROPOSED L.S. 1820(1), N.H. NO. P-2692-A SPAULDING TURNPIKE. PREPARED BY STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS. DATED 1953. ON FILE AT NHDOT.
- 9) PLANS OF PROPOSED FEDERAL AID PROJECT I-95-1(15) 12, CONTRACT NO. 1, N.H. PROJECT NO. P-3875-A, INTERSTATE ROUTE 95. PREPARED BY STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS. DATED 1970. ON FILE AT NHDOT.



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE PORTSMOUTH ASSESSOR'S TAX MAP 236 AS LOT 39.
- 2) OWNERS OF RECORD:

SPAULDING GROUP, LLC
180 SPAULDING TURNPIKE
PORTSMOUTH, NH 03801
5886/1774
PLAN REFERENCE 1
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0260F. EFFECTIVE 1/29/2021.
- 4) EXISTING LOT AREA:

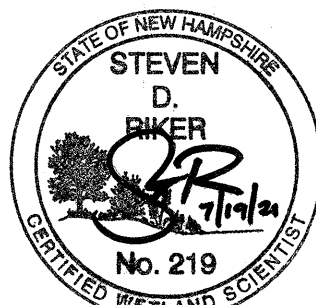
54,384 S.F.
1.2485 ACRES
- 5) PARCEL IS LOCATED IN THE GENERAL BUSINESS (GB) ZONING DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:

| | |
|----------------------------|-----------|
| MIN. LOT AREA: | 43,560 SF |
| FRONTAGE: | 200 FEET |
| SETBACKS: | |
| FRONT | 30 FEET |
| SIDE | 30 FEET |
| REAR | 50 FEET |
| MAXIMUM STRUCTURE HEIGHT: | 60 FEET |
| MAXIMUM BUILDING COVERAGE: | 30% |
| MINIMUM OPEN SPACE: | 20% |
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S MAP 236 LOT 39 IN THE CITY OF PORTSMOUTH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS (±0.2').
- 9) PARCEL IS SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS FOR LAND NOW OF NEW ENGLAND MARINE AND INDUSTRIAL, INC. IN AS MUCH AS IT IS STILL IN EFFECT, LOCATION NOT PLOTTABLE. SEE R.C.R.D. 1566/184.
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SITE DEVELOPMENT
SEACOAST MAZDA
180 SPAULDING TURNPIKE
PORTSMOUTH, N.H.

| NO. | DESCRIPTION | DATE |
|-----|-------------------------------------|----------|
| 4 | DISPLAY AREA UPDATE | 4/27/21 |
| 3 | ZONING SETBACKS, ADD'L WETLAND INFO | 3/16/21 |
| 2 | ISSUED FOR APPROVAL | 2/23/21 |
| 1 | SETBACK LINES | 12/16/20 |
| 0 | ISSUED FOR COMMENT | 12/5/20 |

REVISIONS



SCALE: 1"=30'

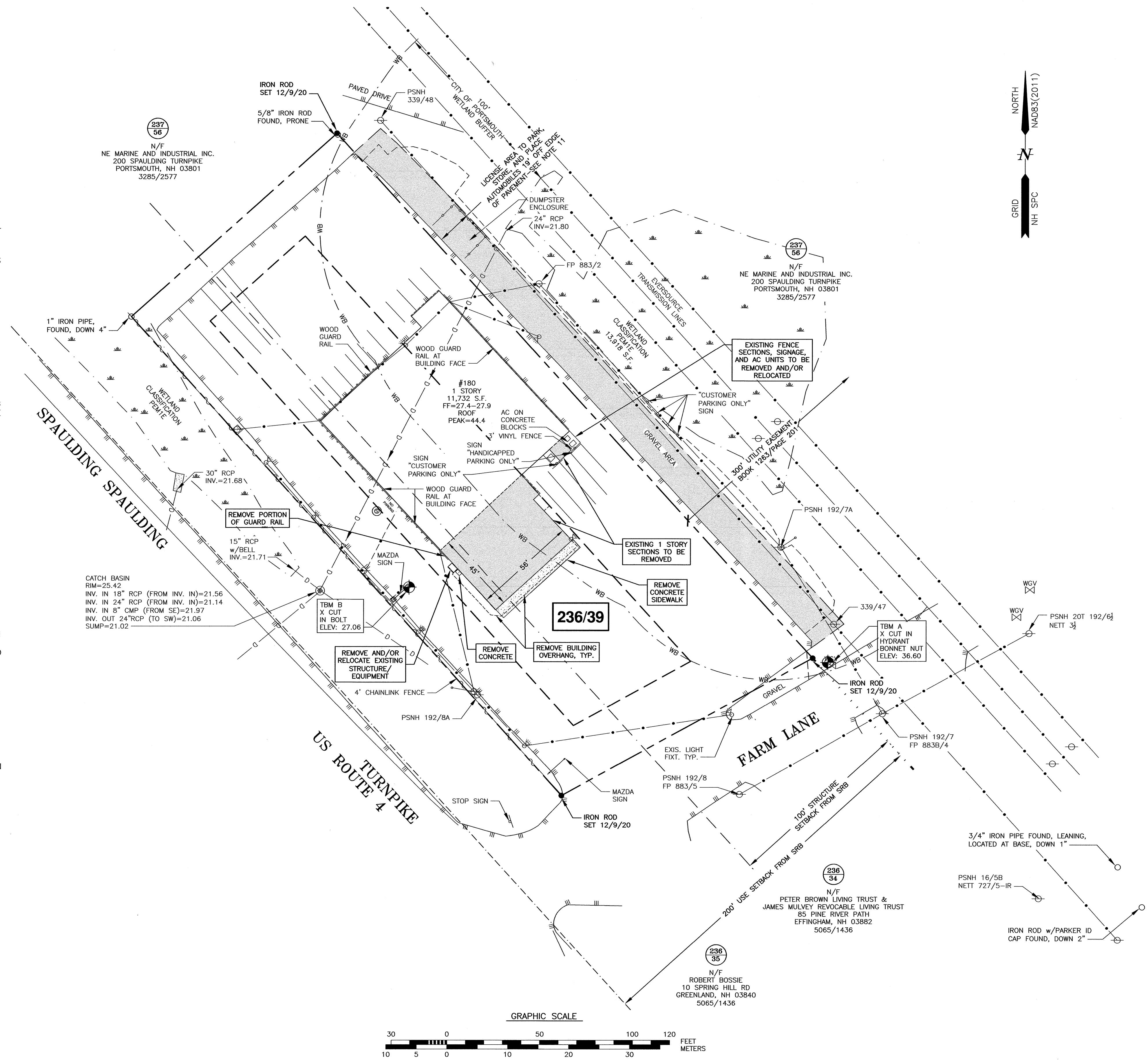
DECEMBER 2020

EXISTING CONDITIONS
PLAN

C1

DEMOLITION NOTES

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



AMBIT ENGINEERING, INC.

Civil Engineers & Land Surveyors

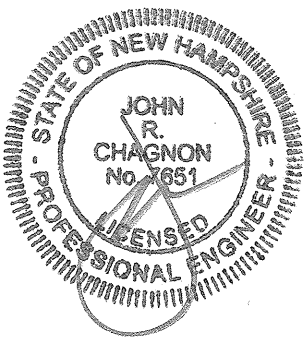
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

BUILDING ADDITION
SEACOAST MAZDA
180 SPAULDING TURNPIKE
PORTSMOUTH, N.H.

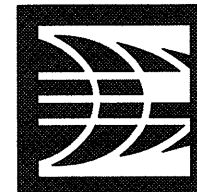
| NO. | DESCRIPTION | DATE |
|-----|---------------------|---------|
| 1 | ISSUED FOR APPROVAL | 7/6/21 |
| 0 | ISSUED FOR COMMENT | 12/5/20 |
| NO. | DESCRIPTION | DATE |



SCALE: 1"=30' DECEMBER 2020

DEMOLITION
PLAN

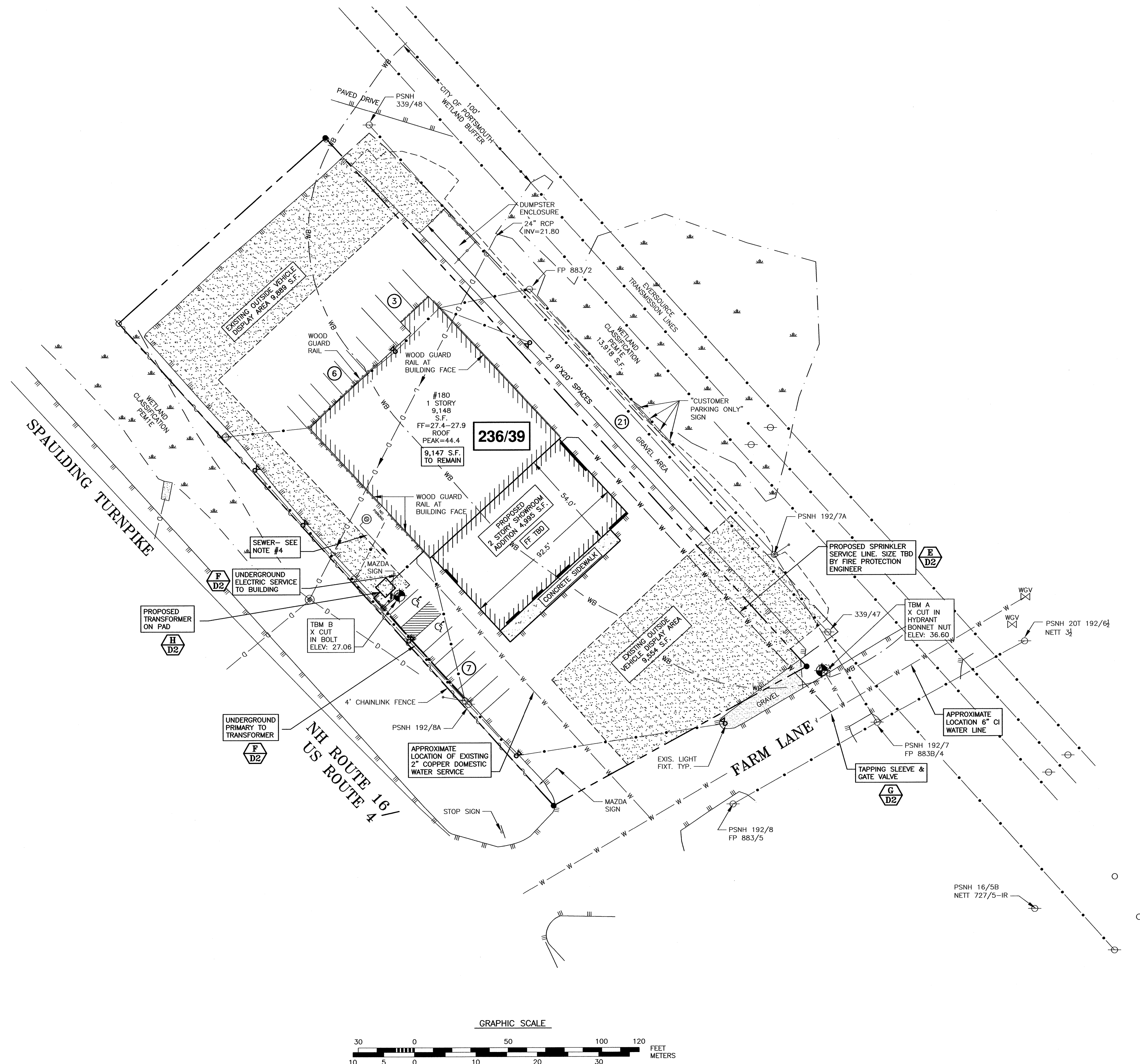
C2



AMBIT ENGINEERING, INC.
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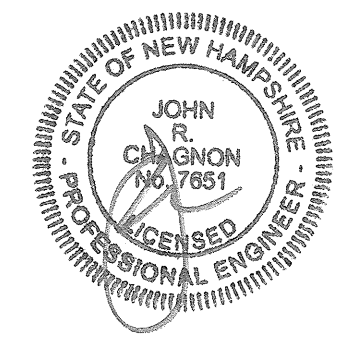
NOTES:

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- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
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- 4) EXISTING SEWER CONNECTION IS VIA A FORCE MAIN TO GRAVITY SEWER MANHOLE IN FARM LANE (CITY UTILITY MAP). THE REVISED ADDITION WILL BE SERVICED INTERNALLY. MEP TO VERIFY EXISTING SEWAGE PUMP SYSTEM IS ADEQUATE FOR NEW BUILDING FIXTURE COUNT.



**BUILDING ADDITION
SEACOAST MAZDA
180 SPAULDING TURNPIKE
PORTSMOUTH, N.H.**

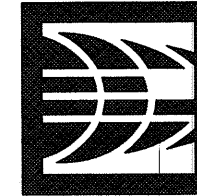
| REVISIONS | | |
|-----------|---------------------|---------|
| NO. | DESCRIPTION | DATE |
| 0 | ISSUED FOR APPROVAL | 7/19/21 |



SCALE: 1"=30' DECEMBER 2020

UTILITY
PLAN

C4



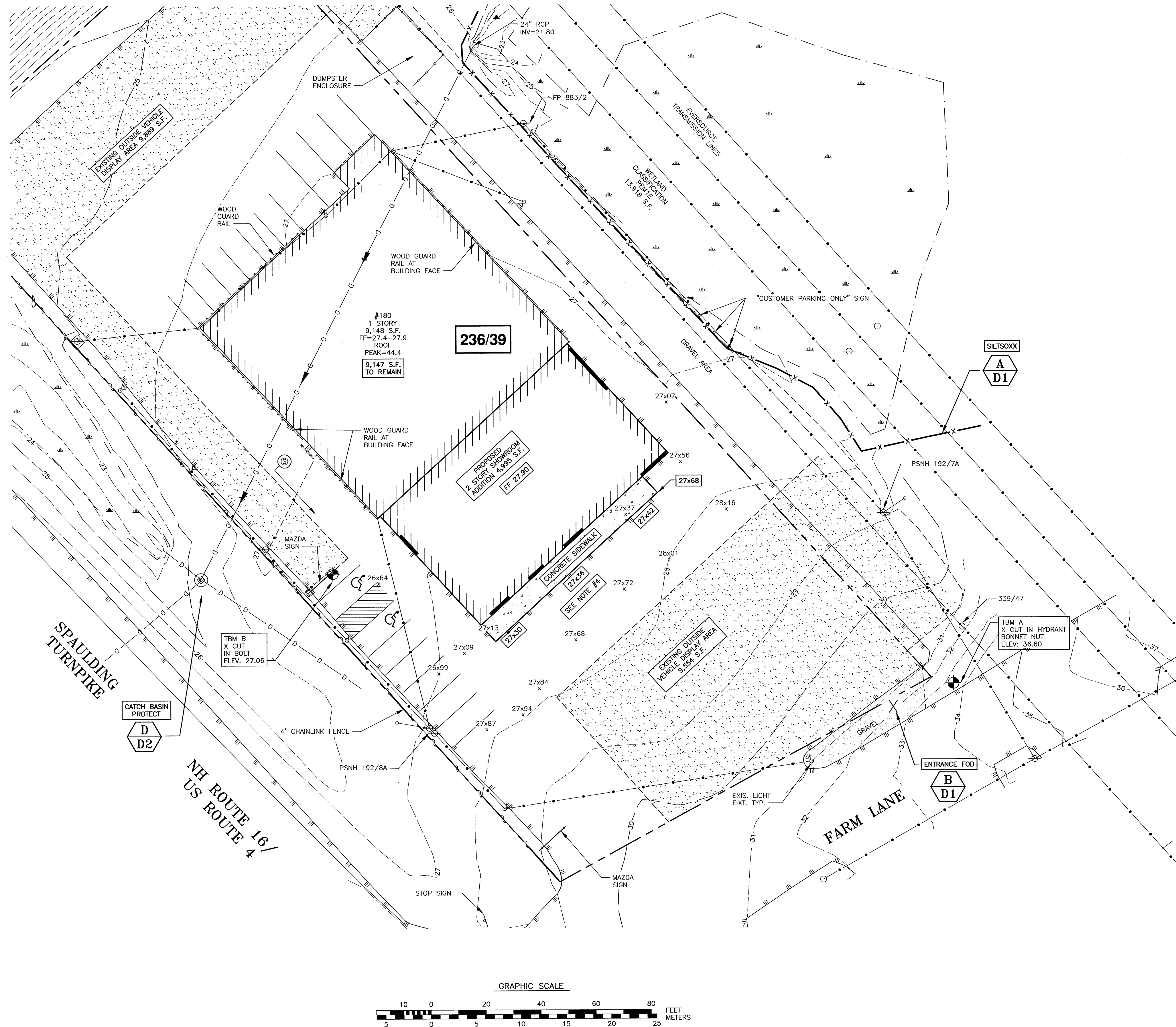
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

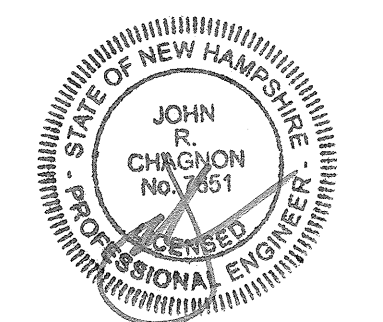
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) CONTRACTOR SHALL COORDINATE SAWCUT AND PAVEMENT JOINT WITH DESIGN ENGINEER.

NORTH
NAD83(2011)
GRID
NH SPC



BUILDING ADDITION SEACOAST MAZDA 180 SPAULDING TURNPIKE PORTSMOUTH, N.H.

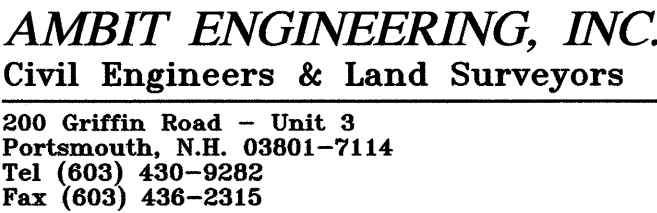
| NO. | DESCRIPTION | DATE |
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| 0 | ISSUED FOR APPROVAL | 7/19/21 |
| REVISIONS | | |



SCALE: 1' = 20' DECEMBER 2020

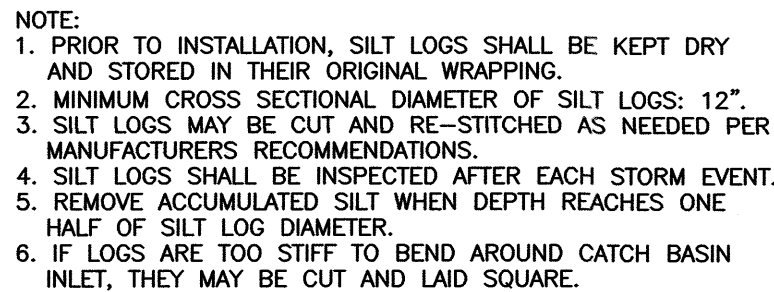
GRADING
PLAN

C5



1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



CROSS-COUNTRY | **IN PAVEMENT**

MOUND BACKFILL TO A HEIGHT OF 6" (MIN.) ABOVE ORIGINAL GRADE

4" (MIN.) LOAM, MULCH & SEED w/ SUITABLE GRASSES

EXISTING GRADE

TRENCH SHEETING (SEE NOTE C)

PLACE UTILITY MARKING TAPE 24" ABOVE CROWN OF PIPE FOR ENTIRE LENGTH OF PIPE & FITTINGS

WHERE MINIMUM COVER CANNOT BE MET, CONTACT THE CITY OF PORTSMOUTH TO DISCUSS INSULATION ALTERNATIVES

CRUSHED STONE BEDDING (SEWER & DRAIN)

SAND BEDDING (WATER)

6" MIN.

STABLE SUBGRADE

12" MIN.

PIPE O.D.

12" MIN.

"W" (SEE NOTE B)

4-1/2" HOT BITUMINOUS PAVEMENT (NHDOT ITEM 403.11 - MACH. METHOD)

1-1/2" SUPERPAVE WEAR COURSE, 3" SUPERPAVE BASE COURSE OR MATCH EXISTING

SAW CUT EXISTING PAVEMENT 18" (MIN.) BEYOND TRENCH EDGE

18" CRUSHED GRAVEL THOROUGHLY COMPACTED

EXISTING SUBBASE

SUITABLE BACKFILL MATERIAL (SEE NOTE A)

SUITABLE BACKFILL MATERIAL (SEE NOTE A)

DEPTH VARIES COMPACT IN 12" LIFTS (MAX.)

1/2 PIPE O.D. + 12" MIN.

12" MIN. (IN LEDGE)

LEDGE

COMPACT IN 6" LIFTS (MAX.)

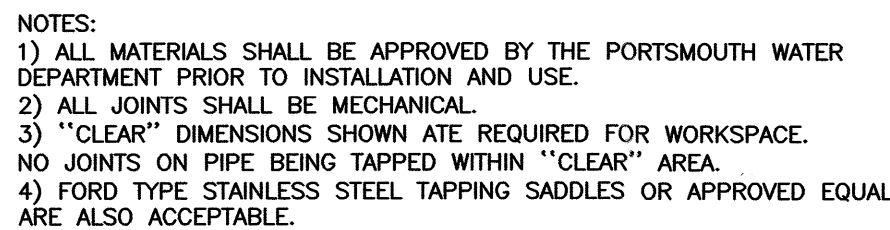
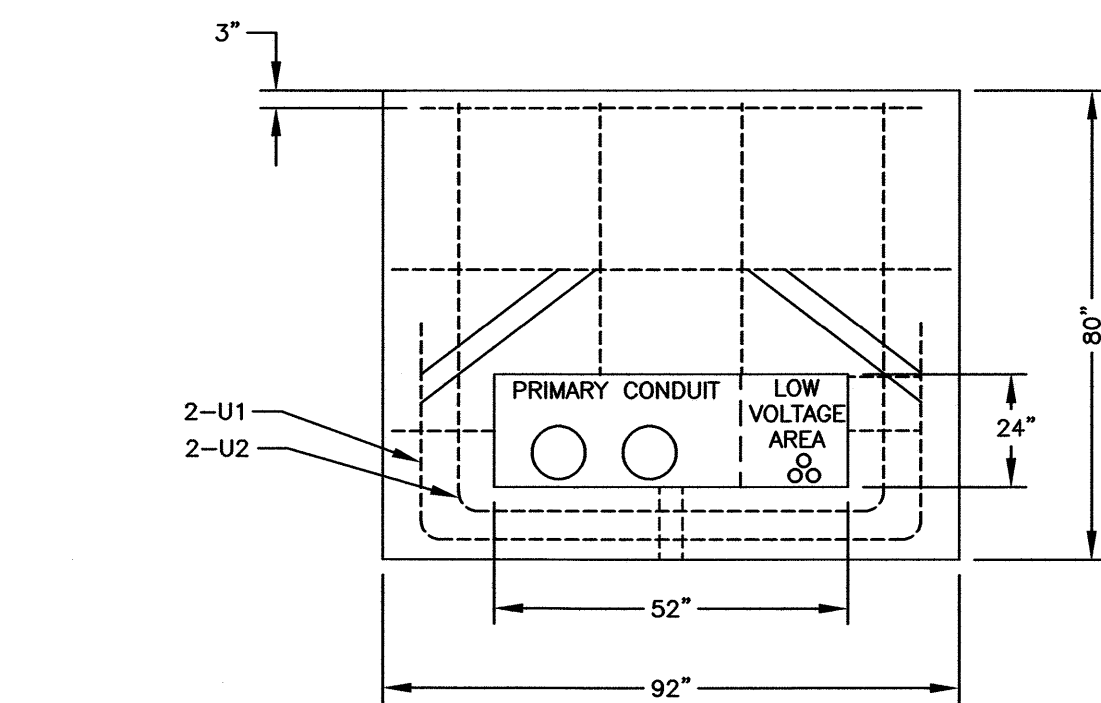
TRENCH NOTES:
A) TRENCH BACKFILL:
— IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.

- B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..

C) TRENCH SHEETING:
IF REQUIRED, WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.

- D) MINIMUM PIPE COVER FOR UTILITY MAINS
(UNLESS GOVERNED BY OTHER CODES):
- 6' MINIMUM FOR SEWER (IN PAVEMENT)
 - 4' MINIMUM FOR SEWER (CROSS COUNTRY)
 - 3' MINIMUM FOR STORMWATER DRAINS
 - 5' MINIMUM FOR WATER MAINS

E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.



1" CHAMFER

6"

FINISHED GRADE

4"

SEE NOTE 3.

ALL CONDUIT MUST BE CUT 4" ABOVE FLOOR OF SLAB

Diagram illustrating the cross-section of a sidewalk abutment structure, showing various layers and dimensions:

- SAW CUT CONTROL JOINTS:** $\frac{1}{4}$ " WIDE x $\frac{3}{4}$ " DEEP AT 5' O.C.
- FIBER REINFORCED CONCRETE SIDEWALK w/ MEDIUM BROOM FINISH:** 4"
- 1/2" RADIUS ROUNING, TYP. (NOT REQUIRED WHEN WALK ABUTS STRUCTURE)**
- WALK ABUTS STRUCTURE**
- 1/8" PER FT. SLOPE**
- PROVIDE JOINT (1/4" WIDE) w/ RUBBERIZED FILLER WHERE SIDEWALK ABUTS BUILDING**
- THICKENED EDGE NOT REQUIRED WHERE WALK ABUTS STRUCTURE (PROVIDE 1/2" NON EXTRUDING EXPANSION JOINT AGAINST STRUCTURE)**
- 3" CRUSHED GRAVEL**
- 6" BANK RUN GRAVEL**
- COMPACTED FILL**
- 6"** (Dimension for compacted fill layer)
- 6"** (Dimension for crushed gravel layer)
- 10"** (Total dimension for gravel and compacted fill layers)
- 4"** (Dimension for concrete sidewalk layer)
- 1'-2"** (Dimension for pavement and base as specified)
- 6"** (Dimension for concrete sidewalk layer)
- PAVEMENT & BASE AS SPECIFIED**

The diagrams show three types of construction joints in a concrete wall:

- CONTROL JOINT** (⊗ 10' ON CENTER): A vertical joint with a saw cut 1/8" wide x 3/4" deep slot filled with a gasket or filler. A 4" dimension is shown for the joint width.
- EXPANSION JOINT** (⊗ 50' ON CENTER): A vertical joint with a 1/8"-3/8" preformed gasket or filler, rounded on a 1/2" radius.
- CONSTRUCTION JOINT** (⊗ BREAK IN CONSTRUCTION): A vertical joint with a key at the construction joint and a trowelled control joint.

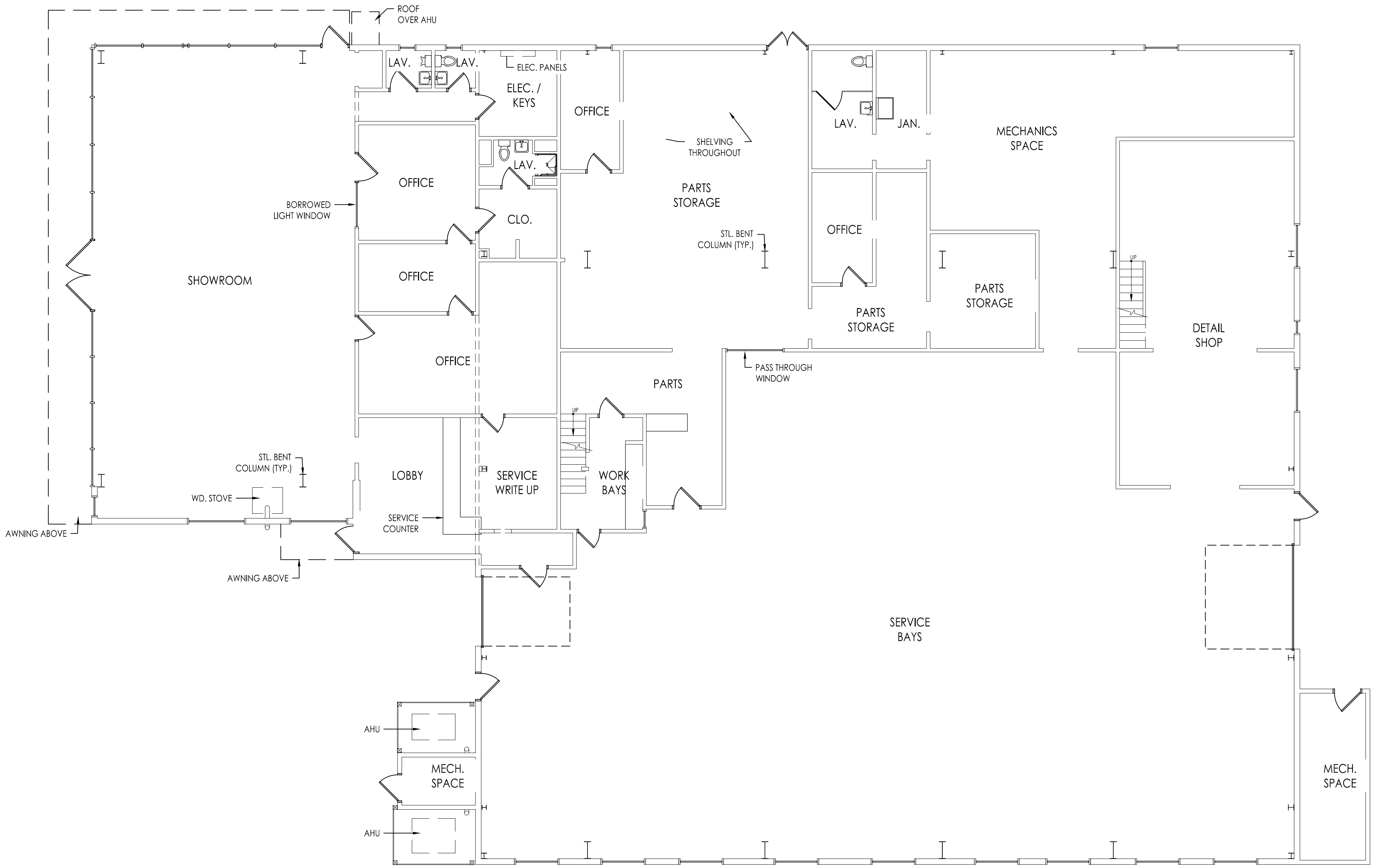
BUILDING ADDITION
SEACOAST MAZDA
180 SPAULDING TURNPIKE
PORTSMOUTH, N.H.

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DETAILS

D2



1 EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

| REVISION HISTORY: | | |
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| # | DATE | ISSUANCE |
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SEAL:

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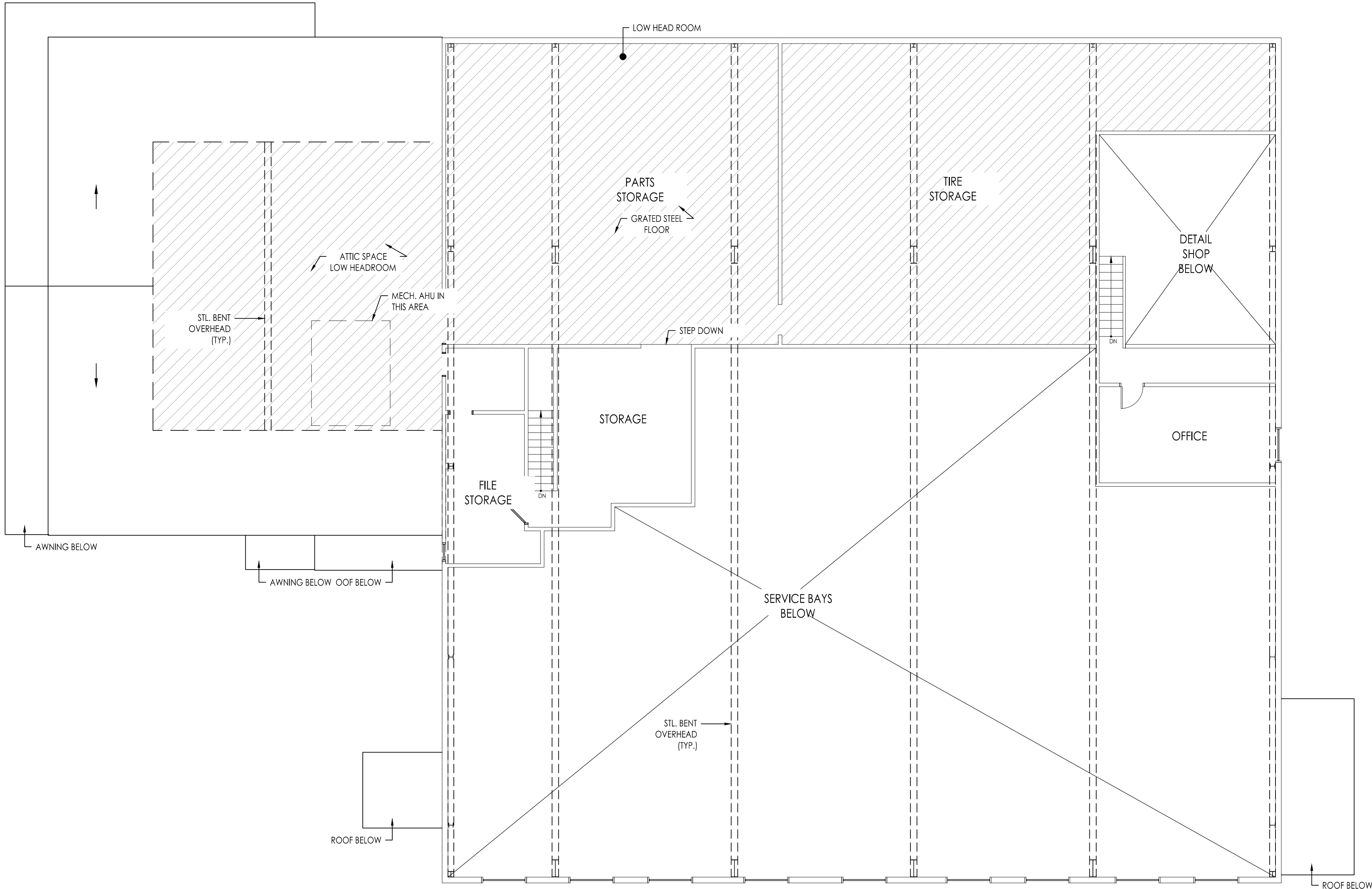
LOCUS MAP:

PROJECT NAME:
SEACOAST MAZDA
180 SPAULDING TURNPIKE
PORTSMOUTH, NH

DRAWING TITLE:
EXISTING FIRST FLOOR PLAN

PROJECT No.:
DATE: 7/19/21
DRAWING SCALE: AS NOTED
DRAWING TITLE:

X1.1



1 EXISTING SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

| REVISION HISTORY: | | |
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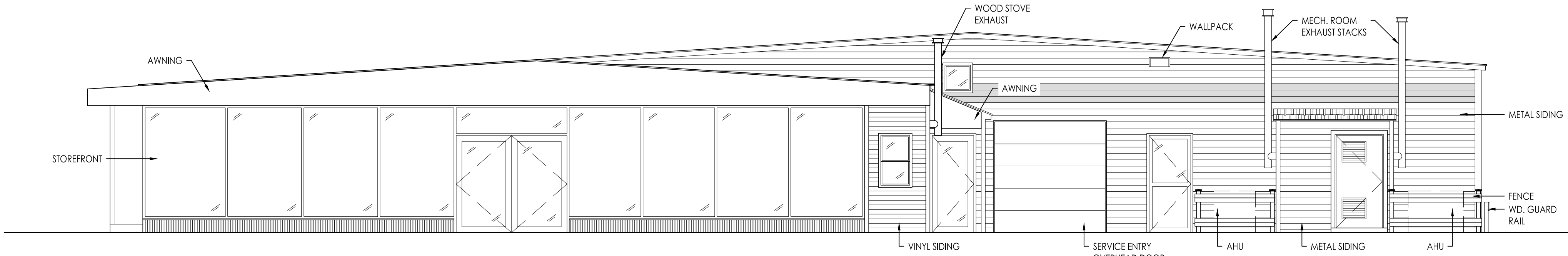
LOCUS MAP:

PROJECT NAME:
SEACOAST MAZDA
180 SPAULDING TURNPIKE
PORTSMOUTH, NH

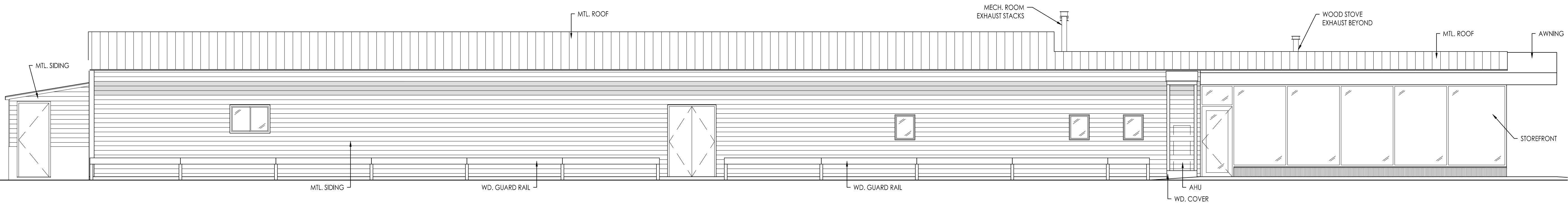
DRAWING TITLE:
EXISTING SECOND FLOOR PLAN

PROJECT No.:
DATE: 7/19/21
DRAWING SCALE: AS NOTED
DRAWING TITLE:

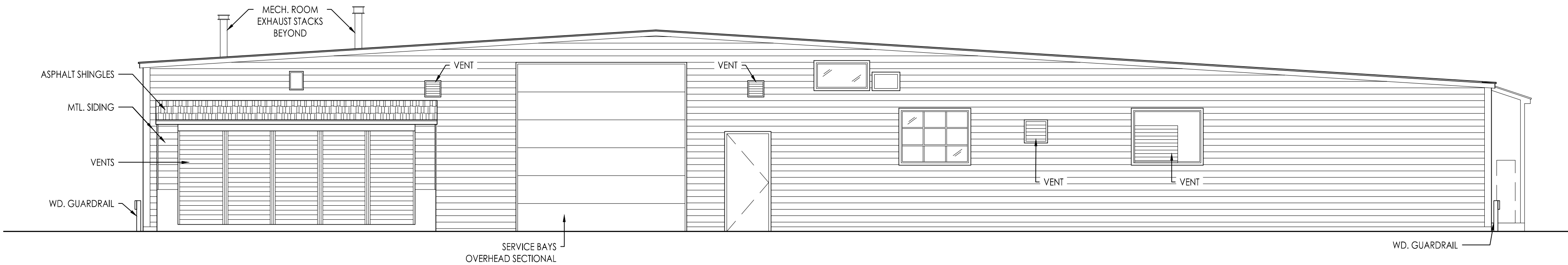
X1.2



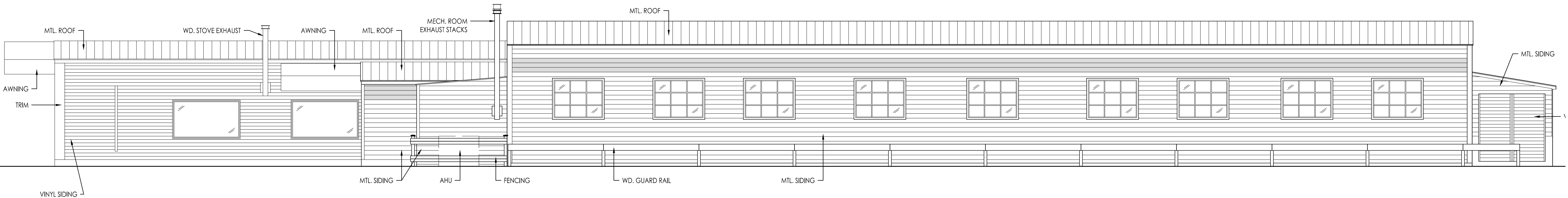
1 EXISTING SOUTHEAST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



2 EXISTING SOUTHWEST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



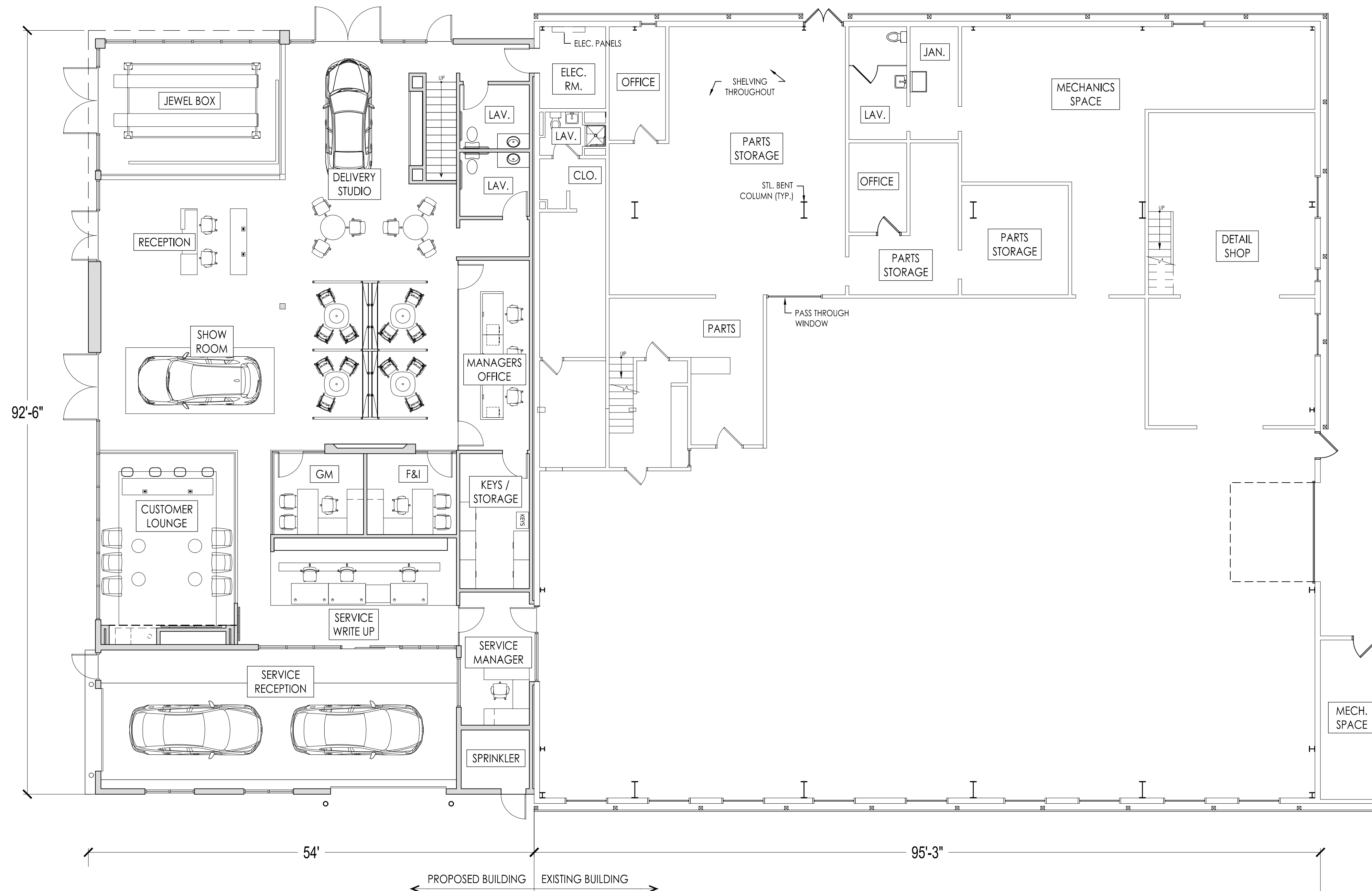
3 EXISTING NORTHWEST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



4 EXISTING SOUTHWEST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"

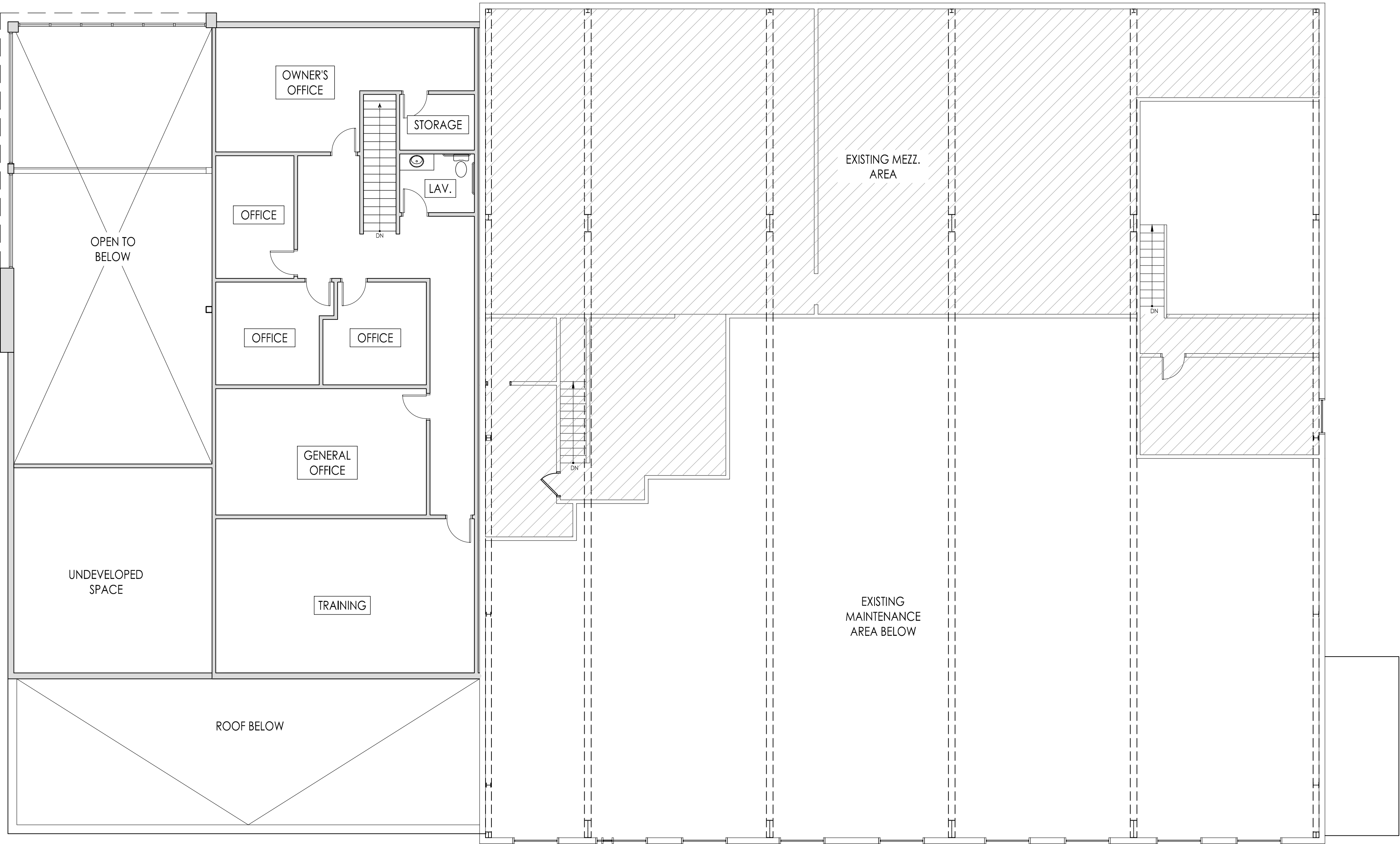
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1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

| REVISION HISTORY: | | |
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1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

| REVISION HISTORY: | | |
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LOCUS MAP:

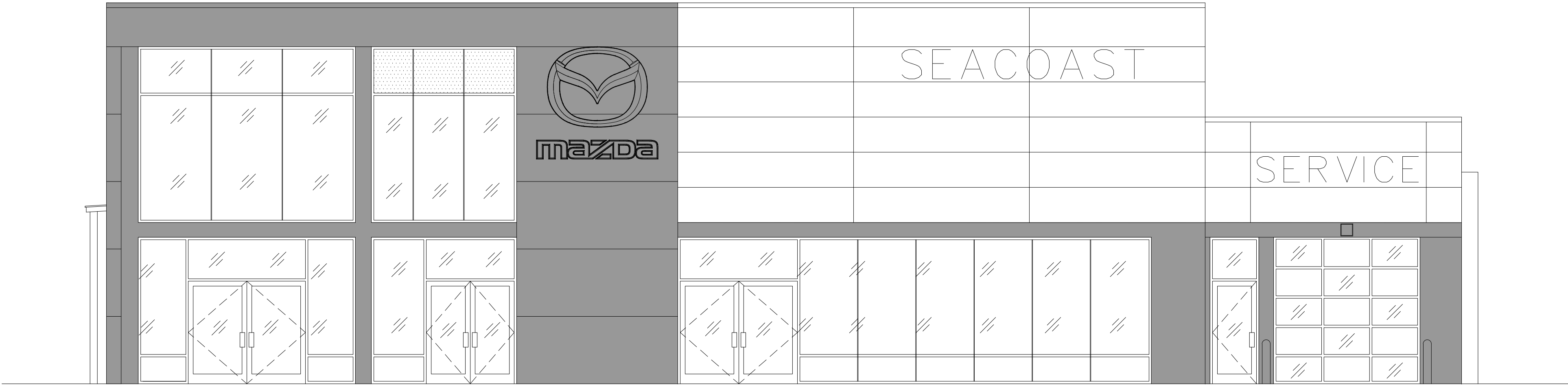


PROJECT NAME:
SEACOAST MAZDA
180 SPAULDING TURNPIKE
PORTSMOUTH, NH

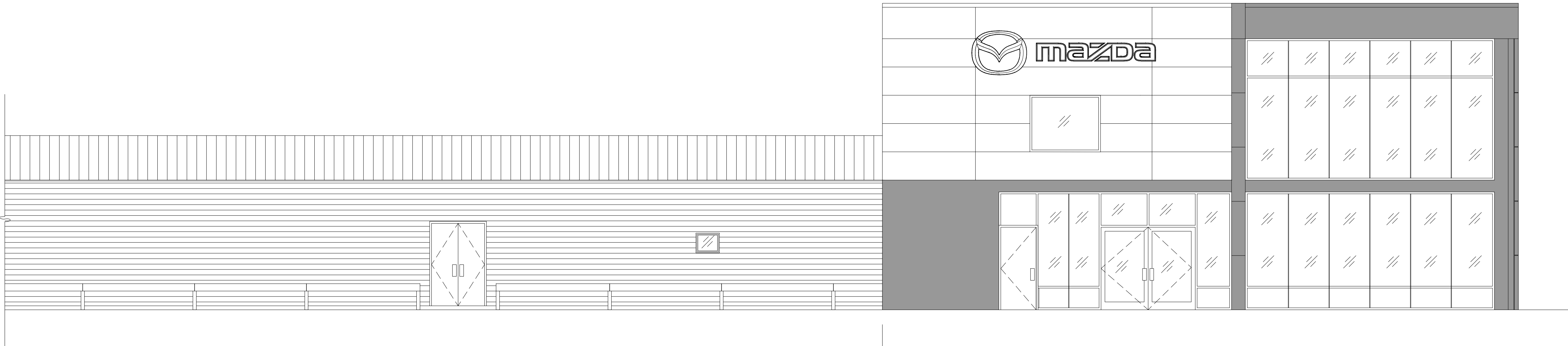
DRAWING TITLE:
**PROPOSED SECOND
FLOOR PLAN**

PROJECT No.:
DATE: 7/19/21
DRAWING SCALE: AS NOTED
DRAWING TITLE:

A1.2



1 PROPOSED SOUTHEAST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"



← EXISTING BUILDING PROPOSED BUILDING →

2 PROPOSED SOUTHWEST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"




← PROPOSED BUILDING EXISTING BUILDING →

3 PROPOSED NORTHEAST EXTERIOR ELEVATION
SCALE: 3/16" = 1'-0"

| REVISION HISTORY: | | |
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|  | SEACOAST MAZDA PORTSMOUTH, NH | PROJECT NO. MAZ03.73 | CHECKED CU | DATE FEB '21 | REVISED | SCALE Not to Scale | ChangeUp <small>These drawings are for communication of design intent only. These drawings are to specify size, shape, color, features and proportions, and are not to be used as fabrication drawings.</small> | 2056 Byers Rd. Dayton, OH 45342 Phone: 844.804.7700 | DRAWING TITLE EXTERIOR RENDERING | DWG NO. |
|---|--|--------------------------------|----------------------|------------------------|---------|------------------------------|---|--|--|---------|