

# HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC

ATTORNEYS AT LAW

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Telephone: 603.436.0666 | Facsimile: 603.431.0879 | www.hpgrlaw.com

December 30, 2020

## HAND DELIVERED

Peter Stith, Planner  
Izak Gilbo, Administrative Clerk  
Portsmouth Zoning Board of Adjustment  
City Hall  
1 Junkins Avenue  
Portsmouth, NH 03801

Re: Zoning Relief  
JJCM Realty, LLC & Top Notch Properties, LLC, Owners/Applicants  
232 South Street  
Tax Map 111/Lot 2  
SRB Zone


Dear Mr. Stith, Mr. Gilbo & Zoning Board Members:

On behalf of Owners/Applicants JJCM Realty, LLC and Top Notch Properties, LLC, enclosed please find the following:

- See LU-20-254 for variance application packet to be uploaded.
- Owner's Authorization
- Memorandum in Support of Variance (original and 11 copies)

We look forward to presenting this the Zoning Board of Adjustment at its January 19, 2021 meeting.

Very truly yours,

  
R. Timothy Phoenix  
Monica F. Kieser

Encl.

cc: Gary Beaulieu, Top Notch Properties, LLC  
John Chagnon, Ambit Engineering, Inc.  
Lisa Destefano, Destefano|Maugel

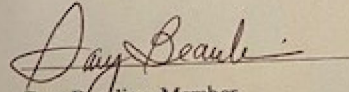
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DANIEL C. HOEFLE	R. PETER TAYLOR	GREGORY D. ROBBINS	DUNCAN A. EDGAR
R. TIMOTHY PHOENIX	JOHN AHLGREN	MONICA F. KIESER	OF COUNSEL:
LAWRENCE B. GORMLEY	KIMBERLY J.H. MEMMESHEIMER	SAMUEL HARKINSON	SAMUEL R. REID
STEPHEN H. ROBERTS	KEVIN M. BAUM	JACOB J.B. MARVELLEY	

LETTER OF AUTHORIZATION

I authorize Hoefle, Phoenix, Gormley & Roberts, PLLC to execute the Application for Variances and to take any and all actions necessary throughout the Variance application and permitting process, including but not limited to attendance and presentation at public hearings regarding the property at 232 South Street, Tax Map 111, Lot 2.

Top Notch Properties, LLC

  
Gary Beaulieu, Member

## MEMORANDUM

**TO:** Portsmouth Zoning Board of Adjustment (“ZBA”)  
**FROM:** R. Timothy Phoenix, Esquire  
**DATE:** December 30, 2020  
**RE:** JJCM Realty LLC & Top Notch Properties, LLC Owners/Applicants  
Project Location: 232 South Street  
Tax Map 111/Lot 2  
SRB Zone

Dear Chairman Rheume and Zoning Board Members:

On behalf of JJCM Realty, LLC and Top Notch Properties, LLC (“Applicants”), we are pleased to submit this memorandum and attached exhibits in support of Zoning Relief to be considered by the Zoning Board of Adjustment (“ZBA”) at its January 19, 2021 meeting.

### **I. Exhibits**

- A. Plan Set – issued by Ambit Engineering, Inc.
  - Standard Boundary Survey
  - Building Permit Application Plan
- B. Architectural Plan Set – issued by Destefano|Maugel, LLC.
  - A0.00 – Rendering/Front (West) Elevation
  - S1 – North (Left) Elevation
  - S2 – East (Rear) Elevation
  - S3 – South (Right) Elevation
  - A1.00 – Basement & First Floor Plans
  - A1.01 – Second Floor & Loft Floor Plans<sup>1</sup>
- C. Site Photographs.
- D. Tax Map 111.

### **II. Property/Project**

232 South Street is a 7,805 sq. ft. nonconforming lot upon which exists a 2 ½-story nonconforming two-family dwelling occupying a footprint of 1,481 s.f. including decks, stairs, and porches. Each unit contains two bedrooms. Total impervious coverage is 2024 s.f. (25.9%). The house does not comply with the front yard setback. Applicants recently purchased the property, intending two targeted additions (28 s.f. and 169 s.f.) and a two-floor deck incorporating stairs and a spiral staircase for required secondary egress from each unit (the “Project”). The shed located at the rear of property near a wetland will be relocated closer to the home. The Project has received a Certificate of Approval from the Historic District Commission,

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<sup>1</sup> Floor plans have not yet been revised to match Sheets 1-3 which relocated the first floor rear stairs from the right side to the left side.

and requires a pending Planning Board Conditional Use Permit due to wetlands off the property, and the instant variances, primarily for expansion of a nonconforming structure on a nonconforming lot.

### III. Relief Required

1. PZO §10.321 – Expansion of a Nonconforming Structure – To permit additions to the rear and right side of the existing home.
2. PZO §10.521 – Table of Dimensional Requirements – To permit a portion of the 28 s.f. addition 28 ft. from the front lot line where 30 ft. is required.
3. PZO §10.521 – Table of Dimensional Requirements – To permit building coverage of 22.9% where 20% is the limit and 19.4% exists.

### IV. Variance Requirements

1. The variances will not be contrary to the public interest.
2. The spirit of the ordinance is observed.

The first step in the ZBA's analysis is to determine whether granting a variance is not contrary to the public interest and is consistent with the spirit and intent of the ordinance, considered together pursuant to Malachy Glen Associates, Inc. v. Town of Chichester, 155 N.H. 102 (2007) and its progeny. Upon examination, it must be determined whether granting a variance "would unduly and to a marked degree conflict with the ordinance such that it violates the ordinance's basic zoning objectives". Id. "Mere conflict with the zoning ordinance is not enough". Id.

The Portsmouth Zoning Ordinance was enacted for the general purpose of promoting the health, safety, and welfare in accordance with the Master Plan by regulating:

1. The use of land, buildings and structures for business, industrial, residential and other purposes – here no change in use is proposed, the structure will remain a two-family.
2. The intensity of land use, including lot sizes, building coverage, building height and bulk, yards and open space – the slight increase in building coverage needed to improve interior layout and provide additional egress will not undermine these purposes as: the addition within the front yard setback will be unseen; side and rear setbacks will remain compliant; the rear addition in-fills" a rear "ell" and the rear setback will be improved through relocation of the existing shed.
3. The design of facilities for vehicular access, circulation, parking and loading – the number of units (2) and parking remain unchanged.
4. The impacts on properties of outdoor lighting, noise, vibration, stormwater runoff and flooding – these purposes are not undermined by the Project.
5. The preservation and enhancement of the visual environment – the Project will enhance the appearance of the property.

6. The preservation of historic districts, and buildings and structures of historic or architectural interest – this objective has been addressed through the HDC process.
7. The protection of natural resources, including groundwater, surface water, wetlands, wildlife habitat, and air quality – At 74% open space will remain well above the required 40% minimum; the expansion is slight, the use will not change and any effect on the offsite wetland will be addressed in the Planning Board Conditional Use Permit Application Process.

In considering whether variances “in a marked degree conflict with the ordinance such that they violate the ordinance’s basic zoning objectives”. Malachy Glen, supra, also held:

One way to ascertain whether granting the variance would violate basic zoning objectives is to examine whether it would alter the essential character of the locality.... . Another approach to [determine] whether granting the variance violates basic zoning objectives is to examine whether granting the variance would threaten the public health, safety or welfare. (emphasis added)

Here, the existing nonconforming structure, two-family use and compliant side setbacks will remain while the rear setback will be improved. The addition of rear decks for each unit provides outdoor living space and incorporates required secondary egress for each unit. The use of a spiral staircase from the second floor deck minimizes the footprint and bulk of the stairs reducing building coverage and visual impact. The expansion in the front setback will not be visible and the slight increase in building coverage will allow for code compliant renovation including improved additional egress. Accordingly, the Project will neither “alter the essential character of the locality nor threaten the public health, safety or welfare.”

**3. Granting the variance will not diminish surrounding property values.**

The two-family nonconforming home already exists. The expansions comply with the side and rear yard requirements, are inset, thus not visible from the street. The large back yard will remain, improved by relocating the shed. Accordingly, granting the requested relief will not diminish surrounding property values.

**4. Denial of the variances results in an unnecessary hardship.**

- a. Special conditions distinguish the property/project from others in the area.

The lot is small, burdened by a wetland buffer, and the existing home location at the front lot line combine to create special conditions, which drive the location of the proposed addition. Any expansion of this nonconforming structure will require similar relief.

- b. No fair and substantial relationship exists between the general public purposes of the ordinance and its specific application in this instance.

Yard requirements and building coverage limits exist to maintain adequate air, light, space, prevent overcrowding/overbulking, and provide separation for stormwater treatment. Regulation of nonconforming structures ensures expansions are compatible with the surrounding environment. Here, the only nonconforming addition is a very small area within the front setback, inset within the existing façade, compliant with side setback; and not visible from the street. The rear addition complies with front, side and rear setbacks. The squared off in fill renders the structure only slightly noncompliant with building coverage limits. The minimal expansions inset within the existing home's facade will not change the use of the property. The open decks incorporate required secondary egress for each unit, including a spiral staircase for the second floor unit, which offers a smaller footprint and reduced visual impact compared to a traditional staircase. At 74%, open space will remain well above the 40% minimum. Accordingly, the purposes of the nonconforming structural expansions limitations, yard setbacks, and building coverage requirements are met, so there is no reason to strictly apply these provisions of the Ordinance.

- c. The proposed use is reasonable.

If the use is permitted, it is deemed reasonable. Vigeant v. Hudson, 151 N.H. 747 (2005). This is an unchanged residential use in a residential zone with expansions largely invisible from the street. Accordingly, the use is reasonable.

**5. Substantial justice will be done by granting the variance.**

If "there is no benefit to the public that would outweigh the hardship to the applicant" this factor is satisfied. Harborside Associates, L.P. v. Parade Residence Hotel, L.L.C., 162 N.H. 508 (2011). That is, "any loss to the [applicant] that is not outweighed by a gain to the general public is an injustice". Malachy Glen, *supra* at 109. The existing home at the front lot line of this small lot cannot be expanded without relief from the front yard and building coverage requirements. Rearward expansion would further encroach upon the wetland buffer. Together with facts that: the building already exists within the front yard; nearly all of the proposed expansions comply with yard setbacks and the most significant addition (deck/stairs/spiral staircase) are needed to provide code compliant egress, there is no benefit to the public from denying the requested variances. In comparison, the owner will suffer great harm as it would be unable to reasonably

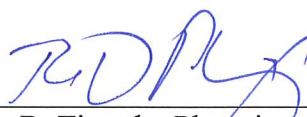
expand the existing two-family home to improve living area and provide egress. Accordingly, there is no benefit to the public outweighing the hardship to the applicant if the variances are denied.

V. **Conclusion**

For all of the reasons stated, JJCM Realty, LLC and Top Notch Properties, LLC respectfully request that the Portsmouth Zoning Board of Adjustment grant the requested variances.

Respectfully submitted,

JJCM Realty, LLC and Top Notch Properties, LLC



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By: R. Timothy Phoenix  
Monica F. Kieser

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January 12, 2021

David Rheame, Chair  
Portsmouth Zoning Board of Adjustment  
City Hall  
1 Junkins Avenue  
Portsmouth, NH 03801

Re: Zoning Relief  
JJCM Realty, LLC & Top Notch Properties, LLC, Owners/Applicants  
232 South Street  
Tax Map 111/Lot 2  
SRB Zone

Dear Mr. Rheame and Zoning Board Members:

My recent Zoning Relief Application and Memorandum included a request for front setback relief, PZO§10.521 for a small, 28 s.f. addition at 28 ft. from the front lot line where 30 ft. is required. I have been advised by the Planning staff that we are entitled to determine the front setback by averaging the distances of homes on either side within 200 feet. Doing so results in an estimated average of about 9 ft. Accordingly, I have been advised that the front setback relief is not required.

Very truly yours,



R. Timothy Phoenix

RTP/msw

cc: Gary Beaulieu, Top Notch Properties, LLC  
John Chagnon, Ambit Engineering, Inc.  
Lisa Destefano, Destefano|Maugel

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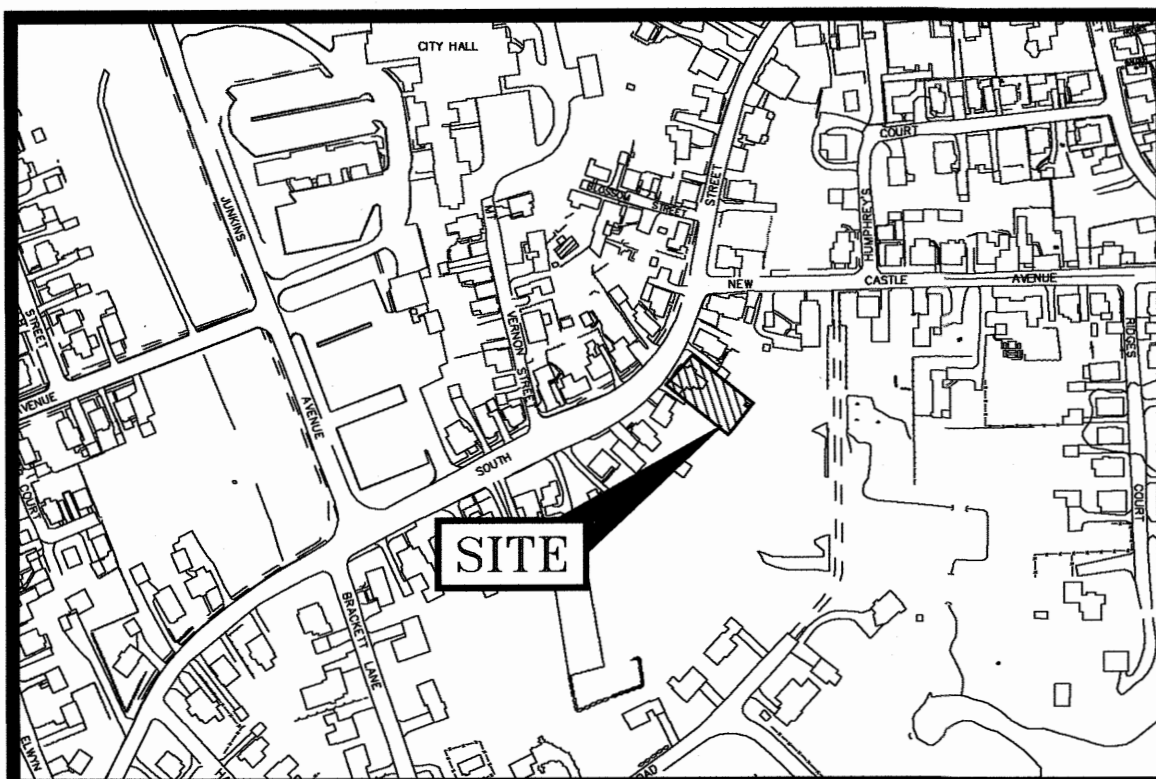
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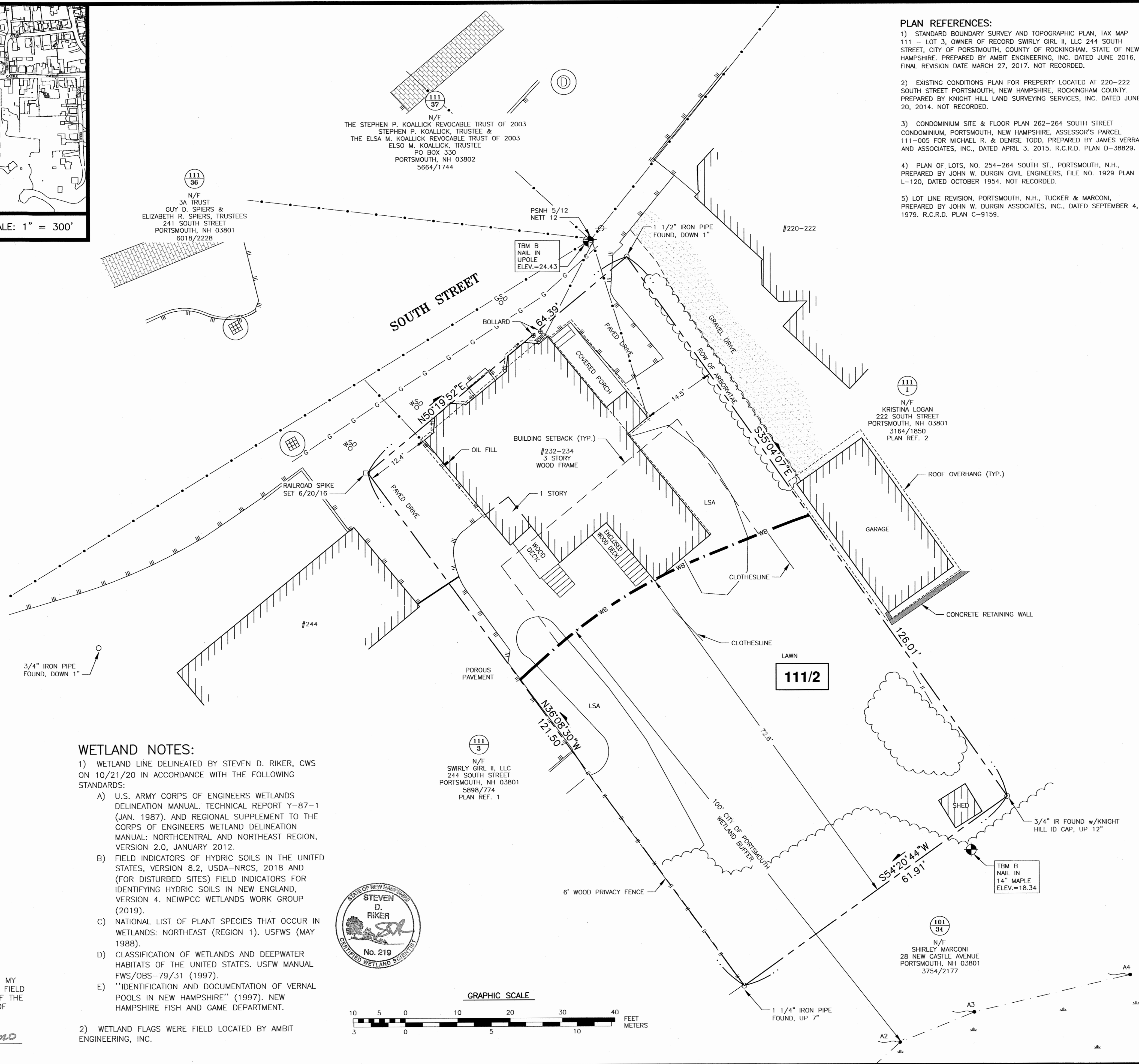




LOCATION MAP SCALE: 1" = 300'

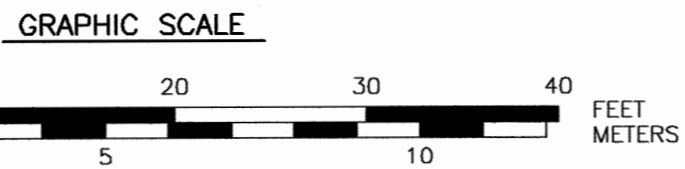
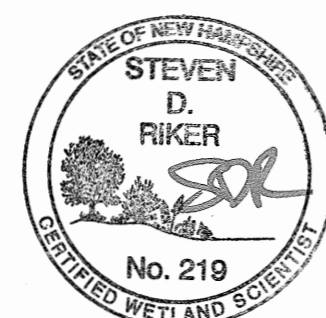
LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- RR RR SPK RAILROAD SPIKE
- 11 21 MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- NHHB NHDOT BOUND FOUND
- TB TOWN BOUND
- BND w/DH BOUND WITH DRILL HOLE
- ST BND w/DH STONE BOUND WITH DRILL HOLE



WETLAND NOTES:

- 1) WETLAND LINE DELINEATED BY STEVEN D. RIKER, CWS ON 10/21/20 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
  - A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN. 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
  - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2, USDA-NRCS, 2018 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEIWPCC WETLANDS WORK GROUP (2019).
  - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
  - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFWS MANUAL FWS/OBS-79/31 (1997).
  - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- 2) WETLAND FLAGS WERE FIELD LOCATED BY AMBIT ENGINEERING, INC.



- PLAN REFERENCES:
- 1) STANDARD BOUNDARY SURVEY AND TOPOGRAPHIC PLAN, TAX MAP 111 - LOT 3, OWNER OF RECORD SWIRLY GIRL II, LLC 244 SOUTH STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED JUNE 2016, FINAL REVISION DATE MARCH 27, 2017. NOT RECORDED.
  - 2) EXISTING CONDITIONS PLAN FOR PREPARED PROPERTY LOCATED AT 220-222 SOUTH STREET PORTSMOUTH, NEW HAMPSHIRE, ROCKINGHAM COUNTY. PREPARED BY KNIGHT HILL LAND SURVEYING SERVICES, INC. DATED JUNE 20, 2014. NOT RECORDED.
  - 3) CONDOMINIUM SITE & FLOOR PLAN 262-264 SOUTH STREET CONDOMINIUM, PORTSMOUTH, NEW HAMPSHIRE, ASSESSOR'S PARCEL 111-005 FOR MICHAEL R. & DENISE TODD, PREPARED BY JAMES VERRA AND ASSOCIATES, INC., DATED APRIL 3, 2015. R.C.R.D. PLAN D-38829.
  - 4) PLAN OF LOTS, NO. 254-264 SOUTH ST., PORTSMOUTH, N.H., PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, FILE NO. 1929 PLAN L-120, DATED OCTOBER 1954. NOT RECORDED.
  - 5) LOT LINE REVISION, PORTSMOUTH, N.H., TUCKER & MARCONI, PREPARED BY JOHN W. DURGIN ASSOCIATES, INC., DATED SEPTEMBER 4, 1979. R.C.R.D. PLAN C-9159.

**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

- NOTES:
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 111 AS LOT 2.
  - 2) OWNER OF RECORD:  
JJCM REALTY, LLC & TOP NOTCH PROPERTIES, LLC  
9 PASTURE LANE  
BEDFORD, NH 03110  
6198/478
  - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
  - 4) EXISTING LOT AREA:  
7,805 S.F.  
0.1792 ACRES
  - 5) PARCEL IS LOCATED IN THE SINGLE RESIDENCE B (SRB) ZONING DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS:
 

MIN. LOT AREA:	15,000 S.F.
FRONTAGE:	100 FEET
SETBACKS:	FRONT 30 FEET
	SIDE 10 FEET
	REAR 30 FEET
MAXIMUM STRUCTURE HEIGHT:	35 FEET
MAXIMUM BUILDING COVERAGE:	20%
MINIMUM OPEN SPACE:	40%
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE RESULTS OF A STANDARD BOUNDARY SURVEY OF ASSESSOR'S MAP 111 LOT 2 IN THE CITY OF PORTSMOUTH.

EXHIBIT A

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	12/11/20

STANDARD BOUNDARY SURVEY  
TAX MAP 111 - LOT 2

OWNERS:  
**JJCM REALTY, LLC &  
TOP NOTCH PROPERTIES, LLC**

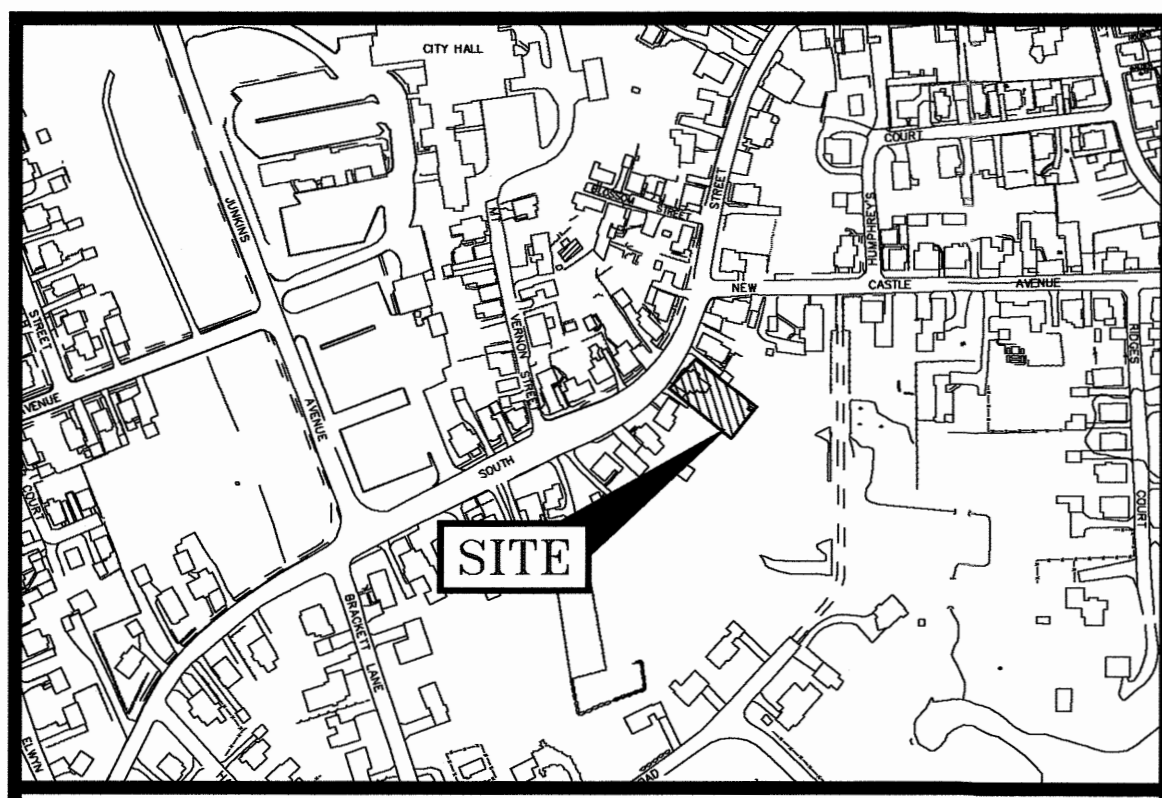
PROPERTY LOCATED AT:  
232-234 SOUTH STREET  
CITY OF PORTSMOUTH  
COUNTY OF ROCKINGHAM  
STATE OF NEW HAMPSHIRE

SCALE: 1" = 10' DECEMBER 2020

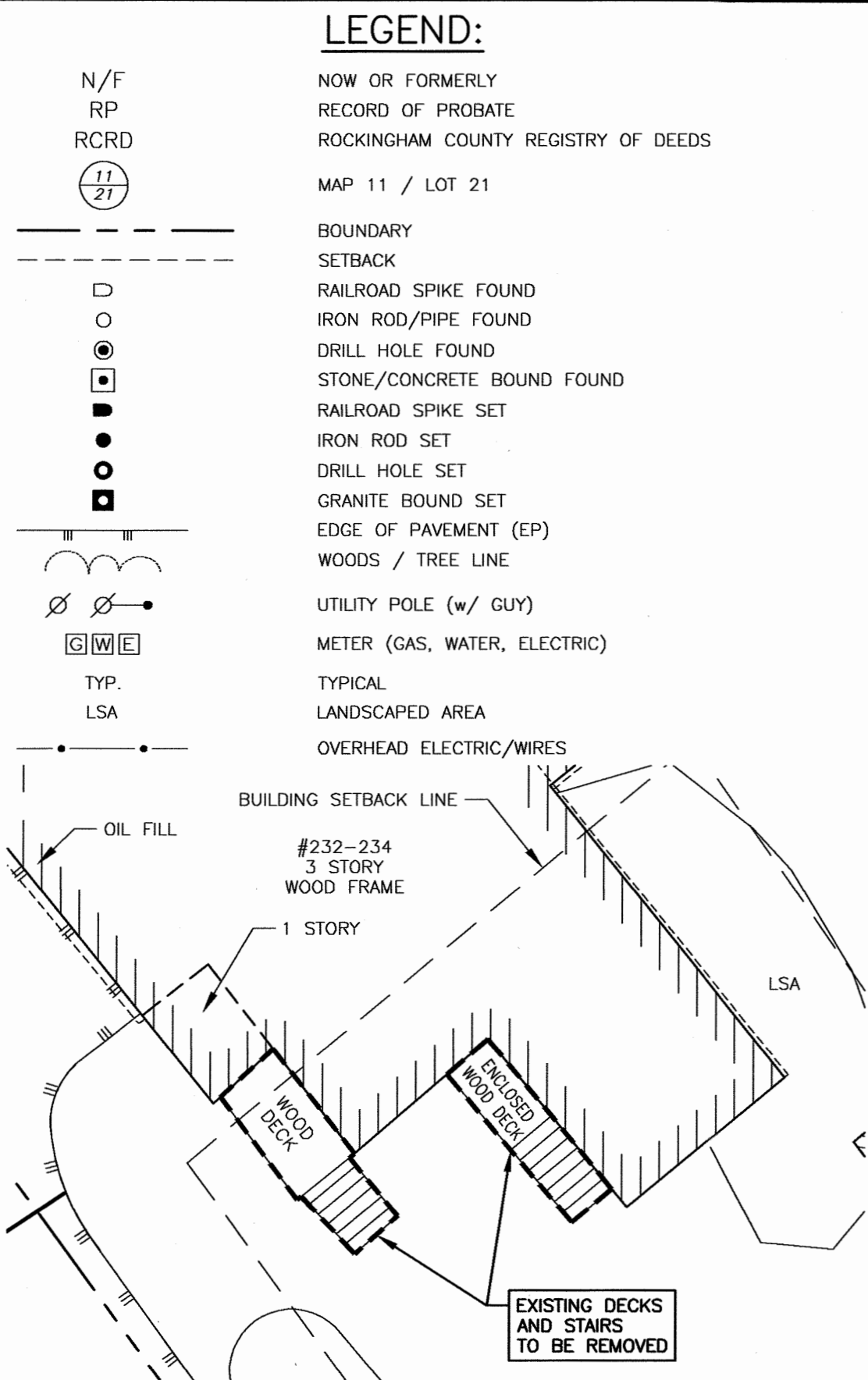
"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

*PAUL A. DOBBERSTEIN*  
PAUL A. DOBBERSTEIN, LLS  
DATE: 12/14/2020

AT 03/05/2019 12:00:00 PM, Plan 8, 8 pages, 5/14/2020 12:15:58 PM, Civil, 15,000.00



LOCATION MAP SCALE 1"=300'

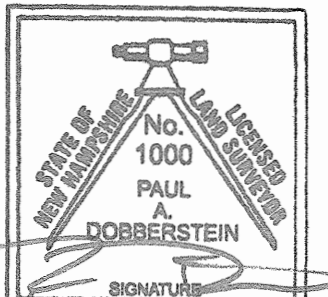


**SITE DEMOLITION**

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	1,272	1,469
PORCHES	75	75
SHED	37	37
DECKS	66	142
PAVEMENT	506	506
PATIO	0	0
STAIRS	68	65
WALKWAYS	0	322
TOTAL	2024	2616
LOT SIZE	7,805	7,805
% LOT COVERAGE	25.9%	33.5%

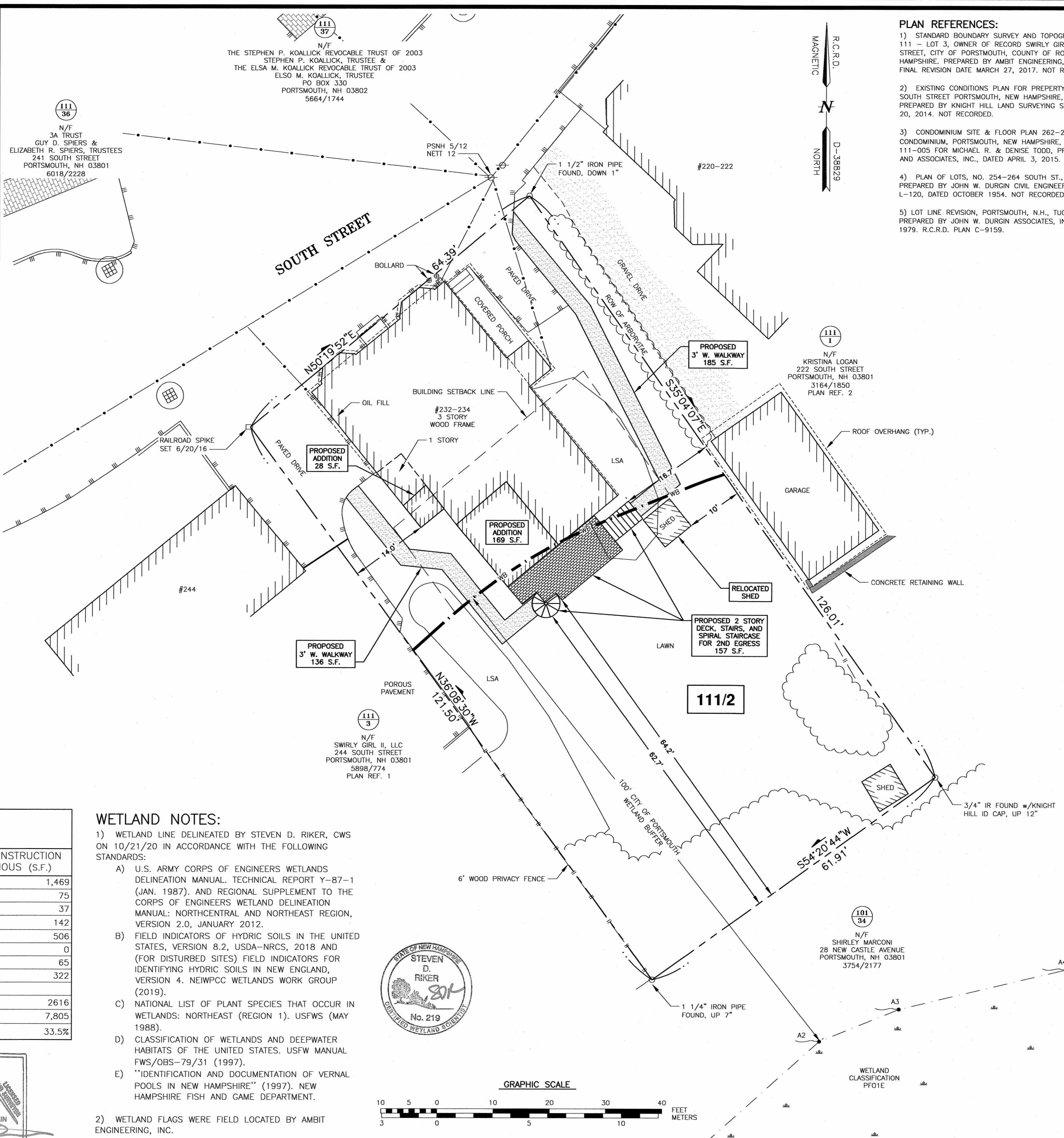
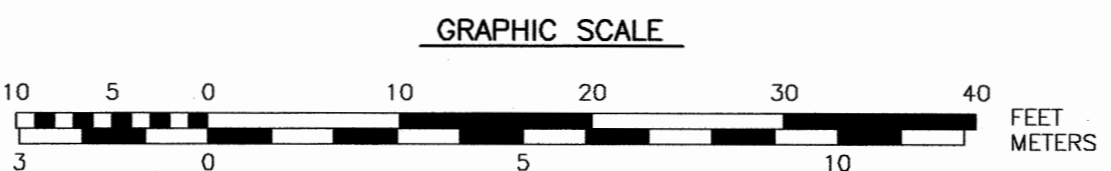
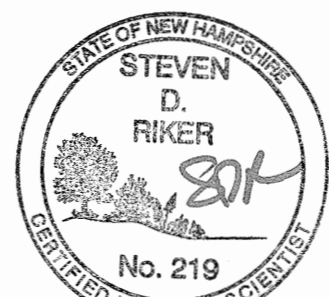
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PAUL A DOBBERSTEIN, LLS DATE



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- DIMENSIONAL REQUIREMENTS:  
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FRONTAGE: 100 FEET  
SETBACKS: FRONT 30 FEET  
SIDE 10 FEET  
REAR 30 FEET  
MAXIMUM STRUCTURE HEIGHT: 35 FEET  
MAXIMUM BUILDING COVERAGE: 20%  
MINIMUM OPEN SPACE: 40%
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED ADDITION & OTHER APPURTENANT FEATURES ON ASSESSOR'S MAP 111 LOT 2 IN THE CITY OF PORTSMOUTH FOR REVIEW AND PERMITTING.
- PROPOSED ADDITION AND OTHER BUILDING INFORMATION FROM PLANS BY DESTEFANO MAUGEL ARCHITECTS DATED OCTOBER 22, 2020.
- BUILDING COVERAGE:  
EXISTING: 1,518 S.F.  
1,518 S.F./7,805 = 19.4%  
PROPOSED: 1,788 S.F.  
1,788 S.F./7,805 = 22.9%  
PROPOSED OPEN SPACE: 74%

**BUILDING ADDITION  
JJCM REALTY, LLC &  
TOP NOTCH PROPERTIES, LLC  
232 SOUTH STREET  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	12/22/20
0	ISSUED FOR COMMENT	12/11/20

REVISIONS	

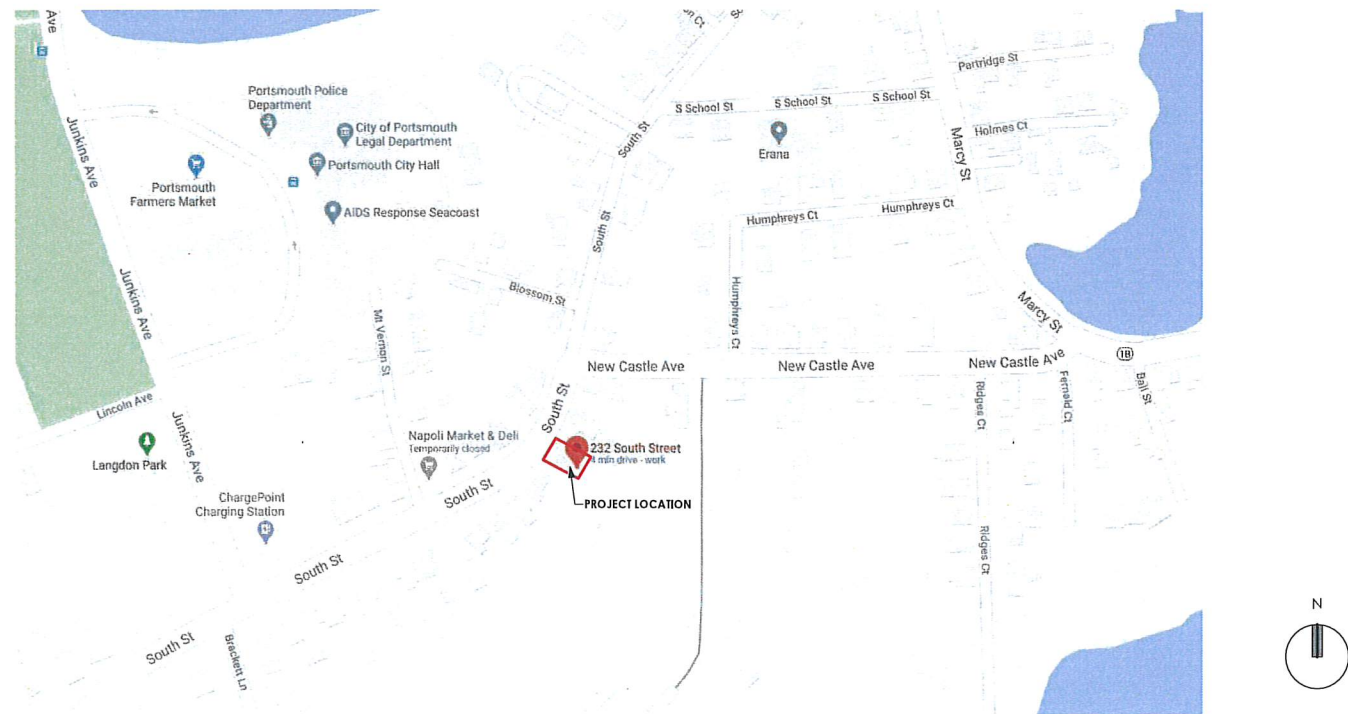
SCALE 1"=10' OCTOBER 2020

**BUILDING PERMIT APPLICATION PLAN** **C1**

PERSPECTIVE VIEW



LOCUS PLAN



ARCHITECT: **D|M|A**  
**DESTEFANO MAUGEL**  
 ARCHITECTS

GENERAL CONTRACTOR: **Matt Nagy**

STRUCTURAL ENGINEER: **SUMMIT ENGINEERING**

22 Ladd Street  
 Portsmouth NH, 03801  
 PH: 603.431.8701  
 DeStefanoMaugel.com

603.512.9860  
 matt.craftsmancarpentry@gmail.com

5 Greenleaf Woods Drive, #302  
 Portsmouth NH, 03801  
 PH: 603.319.1817  
 summitengineeringinc.com

ARCHITECTURAL SYMBOLS

Room name	ROOM TAG
101	150 SF
101	DOOR TAG
1 A101	BUILDING ELEVATION
1 A101	WALL SECTION MARKER
1 A101	DETAIL MARKER
1	WINDOW TAG
Name Elevation	ELEVATION HEIGHT MARKER
1 A101	CALLOUT MARKER
1 A101	BUILDING SECTION MARKER
A1.1	INT. ELEVATION MARKER STEP
DN	STEP
L	LIMITING DEVICE
E	EGRESS WINDOW
T	TEMPERED GLASS

DRAWING LIST

GENERAL	
A0.00	COVER SHEET
ARCHITECTURAL	
A0.01	CODE REVIEW
D1.00	DEMOLITION FLOOR PLANS
D1.01	DEMOLITION FLOOR PLANS
D2.00	DEMOLITION ELEVATIONS
D2.01	DEMOLITION ELEVATIONS
A1.00	FLOOR PLANS
A1.01	FLOOR PLANS
A2.00	BUILDING ELEVATIONS
A2.01	BUILDING ELEVATIONS
A3.00	BUILDING SECTIONS
A3.10	WALL SECTIONS AND DETAILS
A6.00	DOOR & WINDOW SCHEDULES

Revisions:

#	Description	Date

**EXHIBIT B**

**D|M|A**  
**DESTEFANO MAUGEL**  
 ARCHITECTS  
 22 Ladd Street  
 Portsmouth NH, 03801  
 PH: 603.431.8701  
 DeStefanoMaugel.com

ADDITION AND RENOVATION FOR  
**232 SOUTH STREET**  
 PORTSMOUTH, NH

Title:  
 COVER SHEET

Scale: As indicated  
 Drawn By: AM  
 Checked By: BR  
 Project No.: 202020  
 Date: 10/16/2020



A0.00



ATTIC

SECOND FLOOR

FIRST FLOOR

RELOCATED EGRESS STAIR

1x4 LATTICE PRIVACY SCREEN

PREVIOUSLY APPROVED NORTH ELEVATION (2)  
 1/8" = 1'-0"

PROPOSED NORTH ELEVATION (1)  
 1/8" = 1'-0"

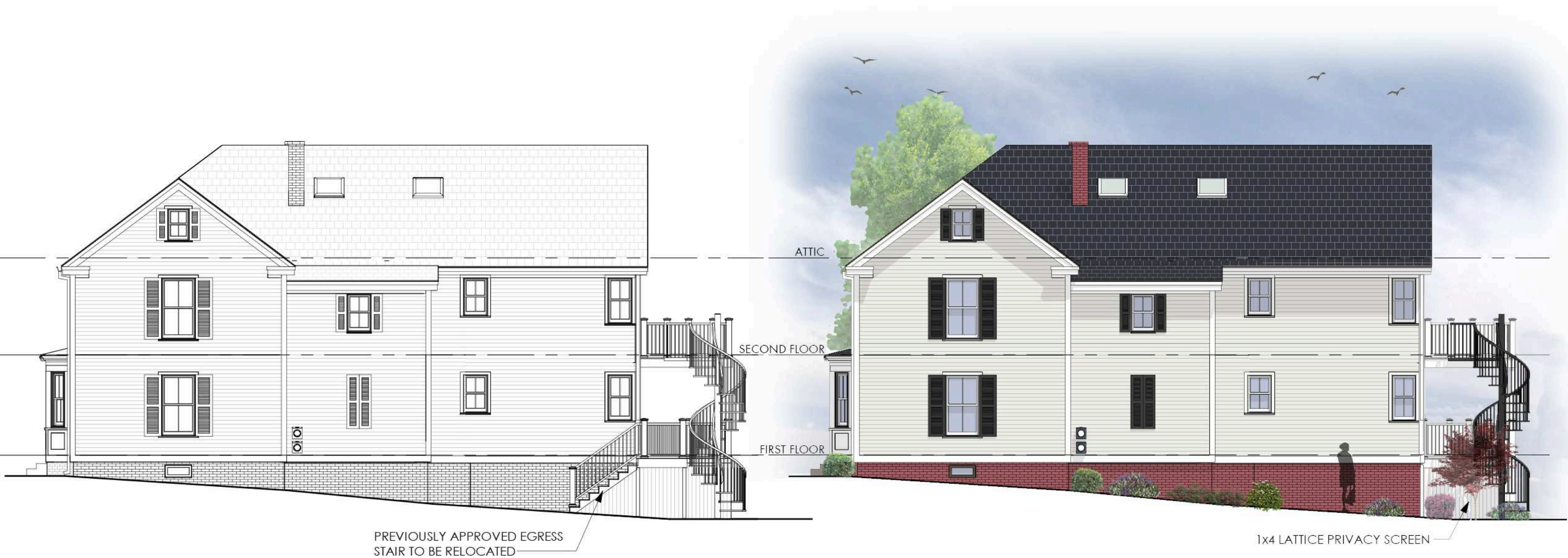
232 SOUTH STREET  
 PORTSMOUTH, NH

PROPOSED ELEVATIONS  
 1/8" = 1'-0"

SHEET 1 OF 3  
 6 JANUARY, 2021

2020

D|M|A  
 DESTEFANO  
 MAUGEL  
 ARCHITECTS



PREVIOUSLY APPROVED SOUTH ELEVATION

2

1/8" = 1'-0"

PROPOSED SOUTH ELEVATION

1

1/8" = 1'-0"

232 SOUTH STREET  
PORTSMOUTH, NH

PROPOSED ELEVATIONS  
1/8" = 1'-0"

SHEET 2 OF 3  
6 JANUARY, 2021

202020



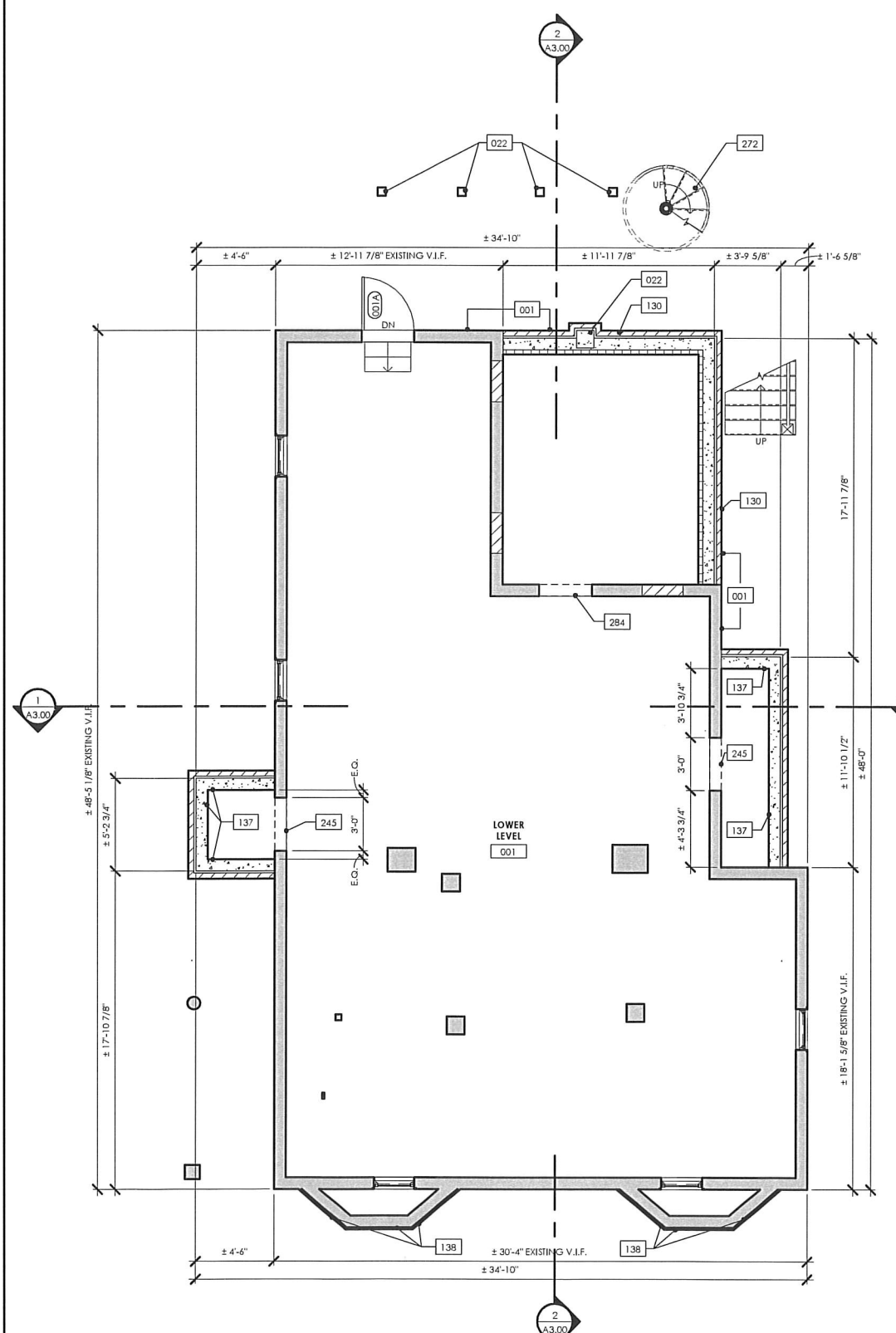
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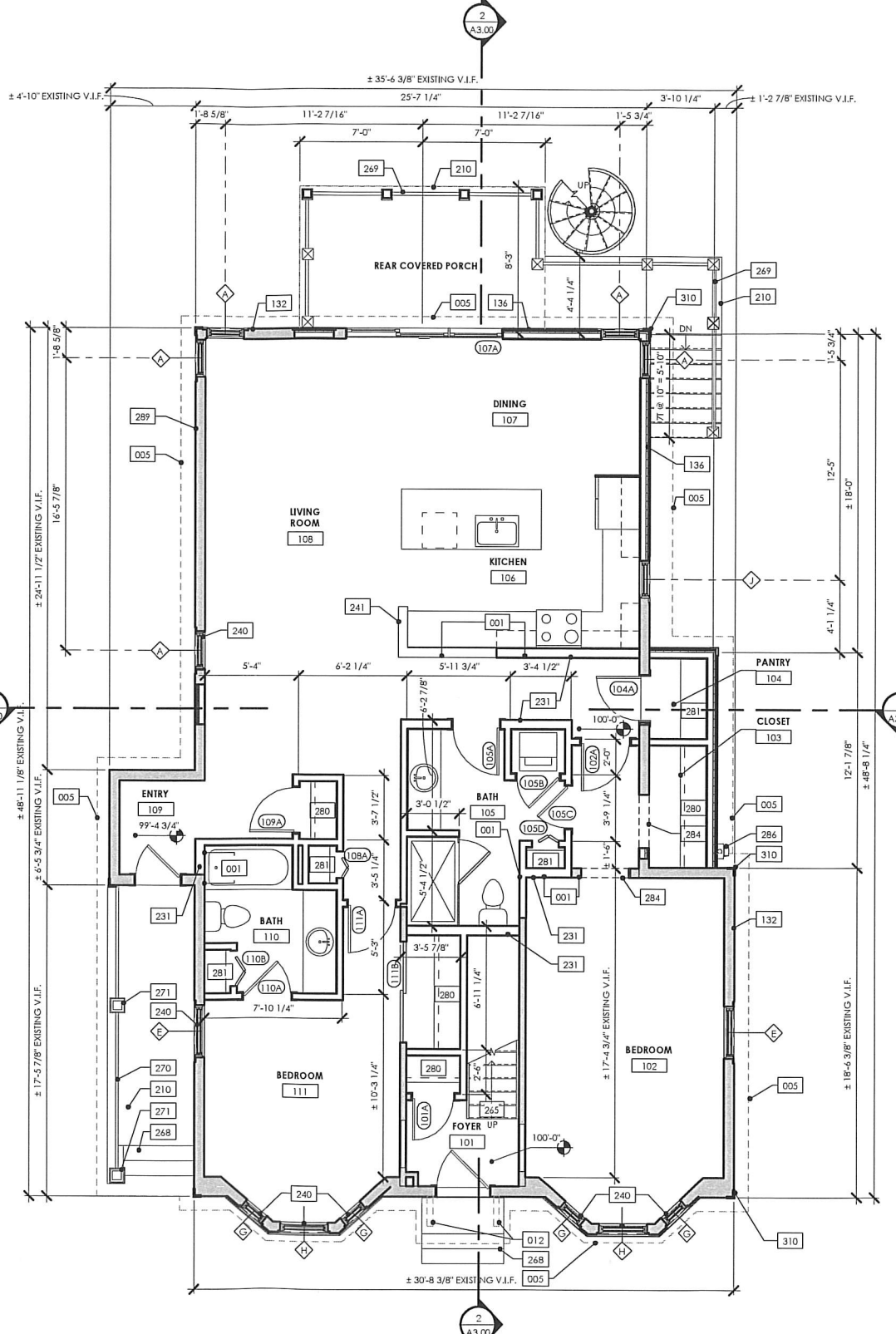
PREVIOUSLY APPROVED EAST ELEVATION (2)  
 1/8" = 1'-0"



PROPOSED EAST ELEVATION (1)  
 1/8" = 1'-0"



**BASEMENT FLOOR PLAN**  
1/4" = 1'-0"



**FIRST FLOOR PLAN**  
1/4" = 1'-0"

- TYPICAL CONSTRUCTION NOTES**
- ELEVATIONS NOTED ARE ARCHITECTURAL WHERE FIRST FLOOR IS ESTABLISHED AS 100'-0" FOR RELATIVE DIMENSIONING. ALL DIMENSIONING FROM ELEVATION HEIGHT MARKER IS TO SUBFLOOR. DIMENSIONS ARE AS FOLLOWS, U.N.O.
    - TO FACE OF FRAMING AT NEW CONSTRUCTION
    - TO INTERIOR OR EXTERIOR FINISH FACE AT EXISTING CONSTRUCTION
    - TO CENTERLINE OF COLUMNS, DOORS & WINDOWS EXCEPT AS NOTED
    - TO TOP OF SUBFLOOR
    - TO BOTTOM OF FINISHED CEILING
    - TO OUTSIDE FACE OF FRAMING FOR FLOORS BELOW
    - TO DRIP EDGE FOR ROOF LINES
  - "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS NOTED OTHERWISE, DETAILS USUALLY KEYED & NOTED "TYP." ONLY WHEN THEY FIRST OCCUR.
  - "SIM." SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS & ORIENTATION ON PLANS & ELEVATIONS. DO NOT SCALE DRAWINGS - DIMENSIONS SHALL GOVERN. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FINAL PLACEMENT OF MATERIALS. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES.
  - ALL WOOD ELEMENTS IMMEDIATELY ADJACENT TO MASONRY OR CONCRETE JOISTS WITHIN 18" OF SOIL AND BEAMS WITHIN 12" OF SOIL TO BE PROTECTED OR PRESSURE TREATED.
  - REFER TO CODE REVIEW SHEET FOR ALL MINIMUM R-VALUE REQUIREMENTS.
  - REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION, SLAB & FRAMING INFORMATION AND DETAILS.

**KEYNOTE LEGEND**

KEY	DESCRIPTION
001	AUGN.
005	LINE OF ROOF OVERHANG ABOVE.
012	LINE OF BRACKET ABOVE.
022	STRUCTURAL COLUMN. REFER TO STRUCTURAL DRAWINGS.
130	TYPICAL CONCRETE FOUNDATION WALL: BRICK VENEER ON 8" CONCRETE CAST IN PLACE FOUNDATION WALL. PROVIDE DRAINAGE BOARD OVER CONTINUOUS WATERPROOFING TO OUTSIDE FACE. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING INFORMATION. REFER TO SPECIFICATIONS FOR WATERPROOFING.
132	CLAPBOARD SIDING AT EXISTING WALL CONSTRUCTION (INSULATED): CLAPBOARD SIDING EASTERN WHITE PINE OR VERTICAL GRAIN RED CEDAR, CONTRACTOR TO DECIDE. SMOOTH FACE TO WEATHER, EXPOSURE TO MATCH ORIGINAL SIDING UNDER VINYL SIDING, ON CEDAR BREATHER, OVER 1 1/2" R-ZIP INSULATED SHEATHING PANEL, ON EXISTING STRUCTURE WITH CLOSED CELL SPRAY FOAM INSULATION AT WALL CAVITY AND 1/2" GYPSUM WALL BOARD ON INSIDE FACE. WALL ASSEMBLY TO ACHIEVE MINIMUM R-VALUE PER CODE REVIEW.
136	CLAPBOARD SIDING AT NEW WALL CONSTRUCTION (INSULATED): CLAPBOARD SIDING EASTERN WHITE PINE OR GRAIN RED CEDAR, CONTRACTOR TO DECIDE. SMOOTH FACE TO WEATHER, EXPOSURE TO MATCH ORIGINAL SIDING UNDER VINYL SIDING, ON CEDAR BREATHER, OVER 1 1/2" R-ZIP INSULATED SHEATHING PANEL, ON 2x4 FRAMING PER STRUCTURAL WITH CLOSED CELL SPRAY FOAM INSULATION AT WALL CAVITY AND 1/2" GYPSUM WALL BOARD ON INSIDE FACE. WALL ASSEMBLY TO ACHIEVE MINIMUM R-VALUE PER CODE REVIEW.
137	TYPICAL FROST WALL FOUNDATION: FROST WALL TO MEET CODE MINIMUM DEPTH, SEE CODE REVIEW. PROVIDE DRAINAGE BOARD OVER CONTINUOUS WATERPROOFING TO OUTSIDE FACE. REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION WALL AND FOOTING INFORMATION. REFER TO SPECIFICATIONS FOR WATERPROOFING.
138	EXISTING WALL AT FRONT BAY: NEW BRICK VENEER TO BE APPLIED TO EXISTING EXTERIOR FACE OF WALL TO MATCH EXISTING BRICK FOUNDATION AT MAIN HOUSE. VERIFY IN FIELD WALL CONDITION, COORDINATE WITH ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING WALL CAN NOT SUPPORT NEW BRICK VENEER.
210	COMPOSITE TIMBERTECH DECKING WITH PICTURE-FRAMED EDGES, NAILED TO STRUCTURE. REFER TO STRUCTURAL DRAWINGS.
231	2x6 WALL.
240	MARVIN SIGNATURE ULTIMATE WINDOW TO MATCH EXISTING SIZE, HEAD HEIGHT AND MUTIN PATTERN, VERIFY IN FIELD. INSTALL PER MANUFACTURER'S INSTRUCTIONS AND SEE WINDOW SCHEDULE.
241	HALF HEIGHT 2x WALL.
245	PROVIDE REQUIRED ACCESS AND VENTILATION PER CODE REVIEW SHEET ADD1.
245	STAIR TO REMAIN.
248	GRANITE STEP.
269	EXTERIOR HANDRAIL TO BE TIMBERTECH PREMIER RAILING WITH 5.5" POST AND 5.5" PYRAMID CAP. RAIL/GUARDRAIL TO COMPLY WITH CODE REQUIREMENTS - SEE CODE REVIEW.
270	EXISTING RAILING TO REMAIN. REPAIR OR REPLACE IN-KIND AS NECESSARY.
271	EXISTING COLUMN TO REMAIN. REPAIR OR REPLACE IN-KIND AS NECESSARY.
272	METAL SPIRAL STAIRCASE FOR EMERGENCY EGRESS. CONTRACTOR TO COORDINATE SELECTION OF MANUFACTURER WITH ARCHITECT TO MEET CODE REQUIREMENTS AND HISTORIC DISTRICT COMMISSION APPROVALS. SEE CODE REVIEW.
280	ROD AND SHELF.
281	SHELVING.
284	CASED OPENING - ALIGN HEADER WITH DOORS IN ROOM U.N.O., FRAME WIDTH TO 6" FROM ADJACENT WALL, CENTERED IN WALL, OR AS NOTED.
286	NEW LOCATION OF ELECTRICAL METERS, LOCATION TO BE COORDINATED WITH CITY AND ELECTRICAL COMPANY.
287	EXISTING DOORS TO REMAIN AND BE REFINISHED
310	6/4x6 PAINTED PINE OR CEDAR CORNER BOARD.

Revisions:  
# Description Date

**DIMIA**  
**DESTEFANO MAUGEL ARCHITECTS**  
22 Ladd Street  
Portsmouth, NH, 03801  
PH: 603.431.8701  
DestefanoMaugel.com

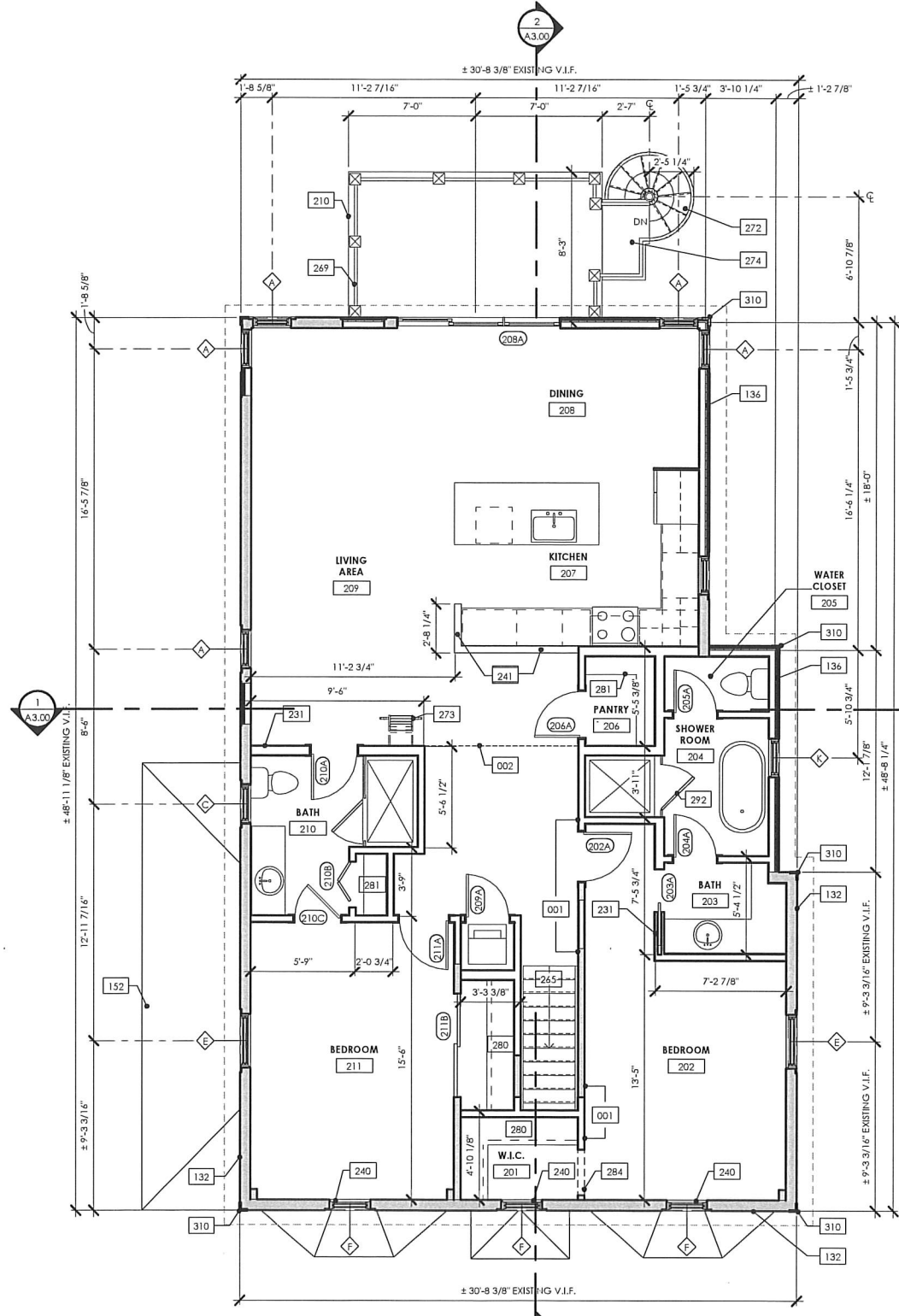
**ADDITION AND RENOVATION FOR**  
**232 SOUTH STREET**  
**PORTSMOUTH, NH**

Title:  
**FLOOR PLANS**

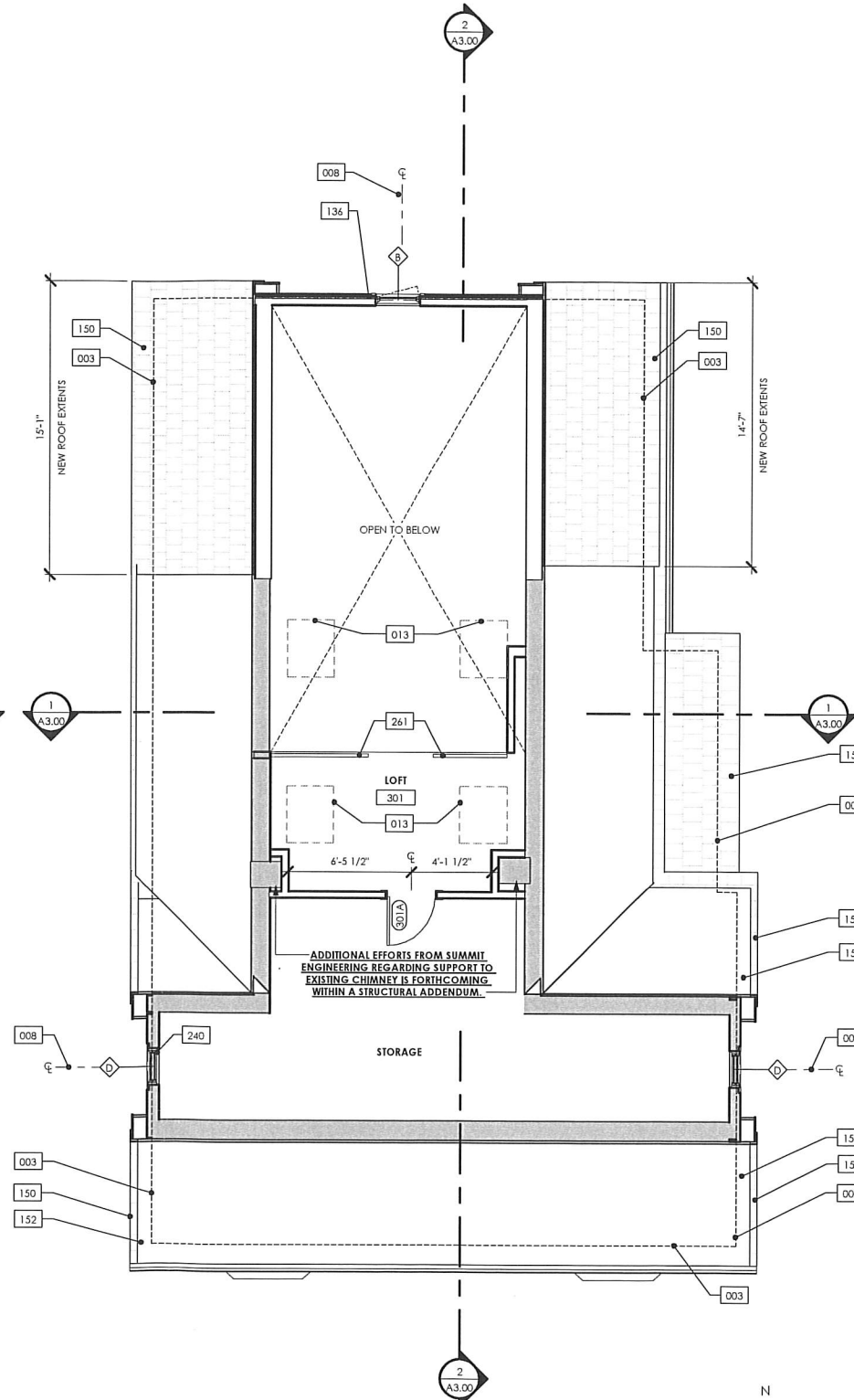
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Checked By: BR  
Project No.: 202020  
Date: 10/16/2020

**A1.00**

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10/16/2020 8:13:34 PM



SECOND FLOOR PLAN  
1/4" = 1'-0" 2



LOFT FLOOR PLAN  
1/4" = 1'-0" 1

- TYPICAL CONSTRUCTION NOTES**
- ELEVATIONS NOTED ARE ARCHITECTURAL WHERE FIRST FLOOR IS ESTABLISHED AS 100'-0" FOR RELATIVE DIMENSIONING. ALL DIMENSIONING FROM ELEVATION HEIGHT MARKER IS TO SUBFLOOR DIMENSIONS ARE AS FOLLOWS, U.N.O.
    - TO FACE OF FRAMING AT NEW CONSTRUCTION
    - TO INTERIOR OR EXTERIOR FINISH FACE AT EXISTING CONSTRUCTION
    - TO CENTERLINE OF COLUMNS, DOORS & WINDOWS EXCEPT AS NOTED
    - TO TOP OF SUBFLOOR
    - TO BOTTOM OF FINISHED CEILING
    - TO OUTSIDE FACE OF FRAMING FOR FLOORS BELOW
    - TO DRIP EDGE FOR ROOF LINES
  - 'TYP.' SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT. UNLESS NOTED OTHERWISE, DETAILS USUALLY KEYED & NOTED 'TYP.' ONLY WHEN THEY FIRST OCCUR.
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  - ALL WOOD ELEMENTS IMMEDIATELY ADJACENT TO MASONRY OR CONCRETE JOISTS WITHIN 18" OF SOIL AND BEAMS WITHIN 12" OF SOIL TO BE PROTECTED OR PRESSURE TREATED.
  - REFER TO CODE REVIEW SHEET FOR ALL MINIMUM R-VALUE REQUIREMENTS.
  - REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION, SLAB & FRAMING INFORMATION AND DETAILS.

**KEYNOTE LEGEND**

KEY	DESCRIPTION
001	ALIGN.
002	LINE OF CEILING CHANGE ABOVE.
003	LINE OF OUTSIDE FACE OF FRAMING, BEAM OR COLUMN BELOW, TYPICAL.
008	CENTERED ON RIDGE ABOVE.
013	LINE OF SKYLIGHT ABOVE.
132	CLAPBOARD SIDING AT EXISTING WALL CONSTRUCTION (INSULATED): CLAPBOARD SIDING EASTERN WHITE PINE OR VERTICAL GRAIN RED CEDAR. CONTRACTOR TO DECIDE. SMOOTH FACE TO WEATHER. EXPOSURE TO MATCH ORIGINAL SIDING UNDER VINYL SIDING. ON CEDAR BREATHER, OVER 1 1/2 INCH R-ZIP INSULATED SHEATHING PANEL, ON EXISTING STRUCTURE WITH CLOSED CELL SPRAY FOAM INSULATION AT WALL CAVITY AND 1/2" GYPSUM WALL BOARD ON INSIDE FACE. WALL ASSEMBLY TO ACHIEVE MINIMUM R-VALUE PER CODE REVIEW.
136	CLAPBOARD SIDING AT NEW WALL CONSTRUCTION (INSULATED): CLAPBOARD SIDING EASTERN WHITE PINE OR GRAIN RED CEDAR. CONTRACTOR TO DECIDE. SMOOTH FACE TO WEATHER. EXPOSURE TO MATCH ORIGINAL SIDING UNDER VINYL SIDING. ON CEDAR BREATHER, OVER 1 1/2 INCH R-ZIP INSULATED SHEATHING PANEL, ON 2x4 FRAMING PER STRUCTURAL WITH CLOSED CELL SPRAY FOAM INSULATION AT WALL CAVITY AND 1/2" GYPSUM WALL BOARD ON INSIDE FACE. WALL ASSEMBLY TO ACHIEVE MINIMUM R-VALUE PER CODE REVIEW.
150	TYPICAL SHINGLE ROOF CONSTRUCTION (INSULATED): ARCHITECTURAL GRADE ASPHALT SHINGLES ON ICE AND WATER SHIELD AND ASPHALT SHINGLE STARTER COURSE ON CDX PLYWOOD SHEATHING WITH COPPER DRIP EDGE. PROVIDE CLOSED CELL SPRAY FOAM INSULATION TO ACHIEVE MINIMUM R-VALUE PER CODE REVIEW. REFER TO STRUCTURAL DRAWINGS.
152	TYPICAL SHINGLE ROOF AT EXISTING STRUCTURE (INSULATED): ARCHITECTURAL GRADE ASPHALT SHINGLES ON ICE AND WATER SHIELD AND ASPHALT SHINGLE STARTER COURSE ON EXISTING PLYWOOD SHEATHING AND STRUCTURE. PROVIDE CLOSED CELL SPRAY FOAM INSULATION TO ACHIEVE MINIMUM R-VALUE PER CODE REVIEW.
210	COMPOSITE TIMBERTECH DECKING WITH PICTURE-FRAMED EDGES, NAILED TO STRUCTURE. REFER TO STRUCTURAL DRAWINGS.
231	2x6 WALL.
240	MARVIN SIGNATURE ULTIMATE WINDOW TO MATCH EXISTING SIZE, HEAD HEIGHT AND MUNTIN PATTERN. VERIFY IN FIELD. INSTALL PER MANUFACTURER'S INSTRUCTIONS AND SEE WINDOW SCHEDULE.
241	HALF HEIGHT 2x WALL.
261	COORDINATE SELECTION OF INTERIOR STAIR RAILING/GUARDRAIL WITH OWNER AND ARCHITECT. RAIL/GUARDRAIL TO COMPLY WITH CODE REQUIREMENTS - SEE CODE REVIEW.
265	STAIR TO REMAIN.
269	EXTERIOR HANDRAIL TO BE TIMBERTECH PREMIER RAILING WITH 5.5" POST AND 5.5" PYRAMID CAP. RAIL/GUARDRAIL TO COMPLY WITH CODE REQUIREMENTS - SEE CODE REVIEW.
272	METAL SPIRAL STAIRCASE FOR EMERGENCY EGRESS. CONTRACTOR TO COORDINATE SELECTION OF MANUFACTURER WITH ARCHITECT TO MEET CODE REQUIREMENTS AND HISTORIC DISTRICT COMMISSION APPROVALS. SEE CODE REVIEW.
273	ROLLING SHIPS LADDER. COORDINATE WITH CODE REQUIREMENTS - SEE CODE REVIEW.
274	METAL SPIRAL STAIRCASE LANDING. CONTRACTOR TO COORDINATE SELECTION OF MANUFACTURER WITH ARCHITECT TO MEET CODE REQUIREMENTS AND HISTORIC DISTRICT COMMISSION APPROVALS. SEE CODE REVIEW.
280	ROD AND SHELF.
281	SHELIVING.
284	CASED OPENING - ALIGN HEADER WITH DOORS IN ROOM U.N.O., FRAME WIDTH TO 6" FROM ADJACENT WALL, CENTERED IN WALL, OR AS NOTED.
292	GLASS SHOWER PANEL AND DOOR, COORDINATE SELECTION WITH OWNER.
310	6/4x6 PAINTED PINE OR CEDAR CORNER BOARD.

Revisions:  
# Description Date

**DIMIA**  
DESTEFANO  
MAUGEL  
ARCHITECTS  
22 Ladd Street  
Portsmouth NH, 03801  
PH: 603.431.8701  
DeStefanoMaugel.com

**ADDITION AND RENOVATION FOR  
232 SOUTH STREET  
PORTSMOUTH, NH**

Title:  
FLOOR PLANS

Scale: As indicated  
Drawn By: AM  
Checked By: BR  
Project No.: 202020  
Date: 10/16/2020



A1.01



Google Maps 232 South St



Imagery ©2020 Google, Imagery ©2020 Maine GeoLibrary, Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2020 100 ft

Google Maps 232 South St



Imagery ©2020 Google, Imagery ©2020 Maine GeoLibrary, Maxar Technologies, U.S. Geological Survey, Map data ©2020 50 ft

# 234 South St

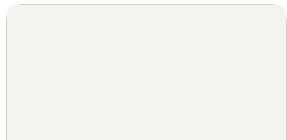


Image capture: Sep 2017 © 2020 Google

Portsmouth, New Hampshire



Street View

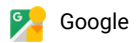


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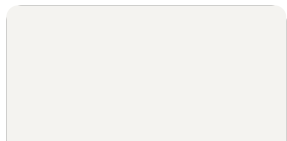


Image capture: Sep 2017 © 2020 Google

Portsmouth, New Hampshire



Street View

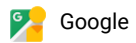


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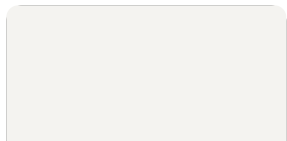


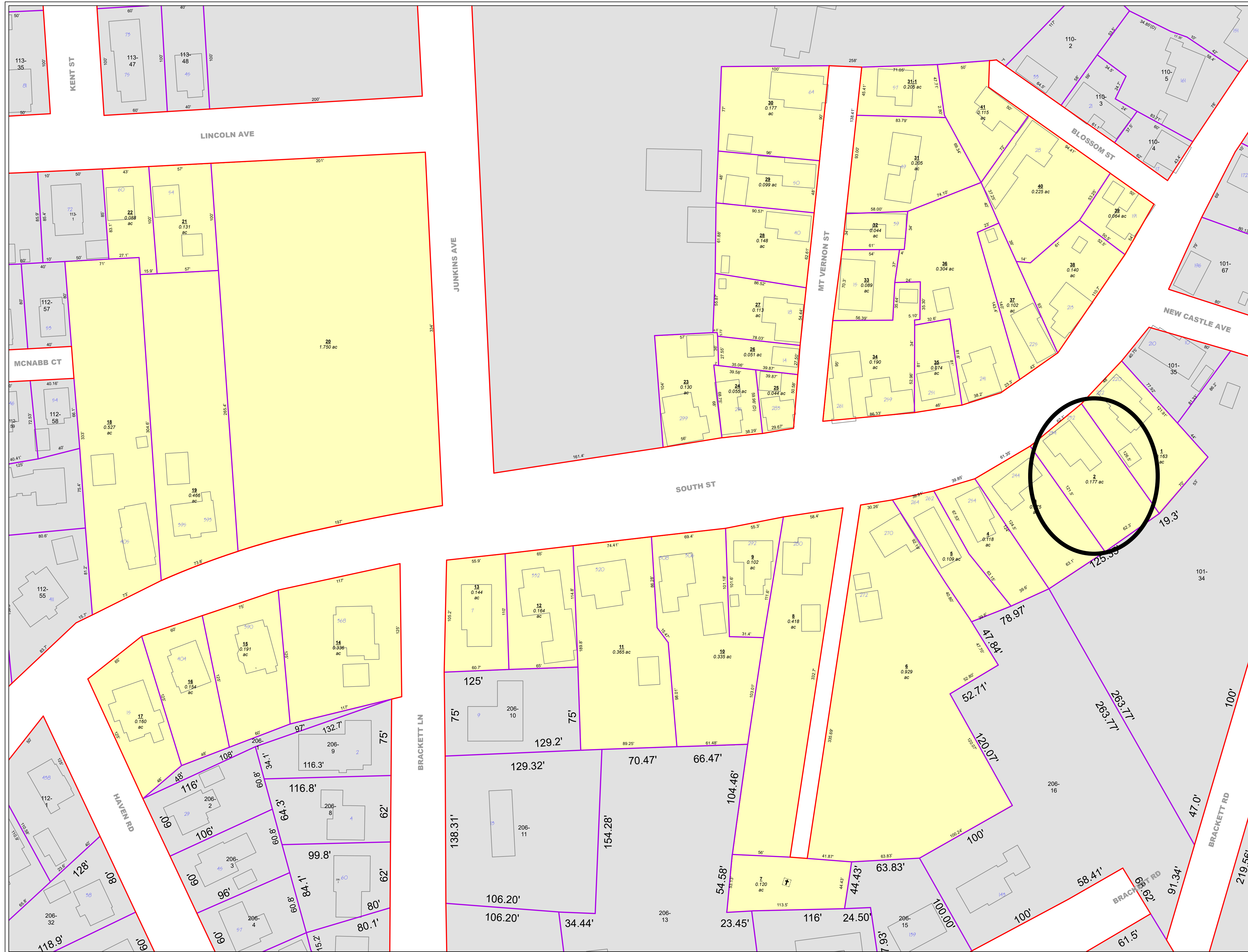
Image capture: Sep 2017 © 2020 Google

Portsmouth, New Hampshire



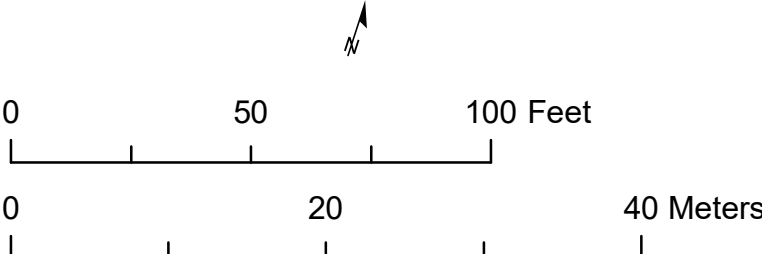
Street View



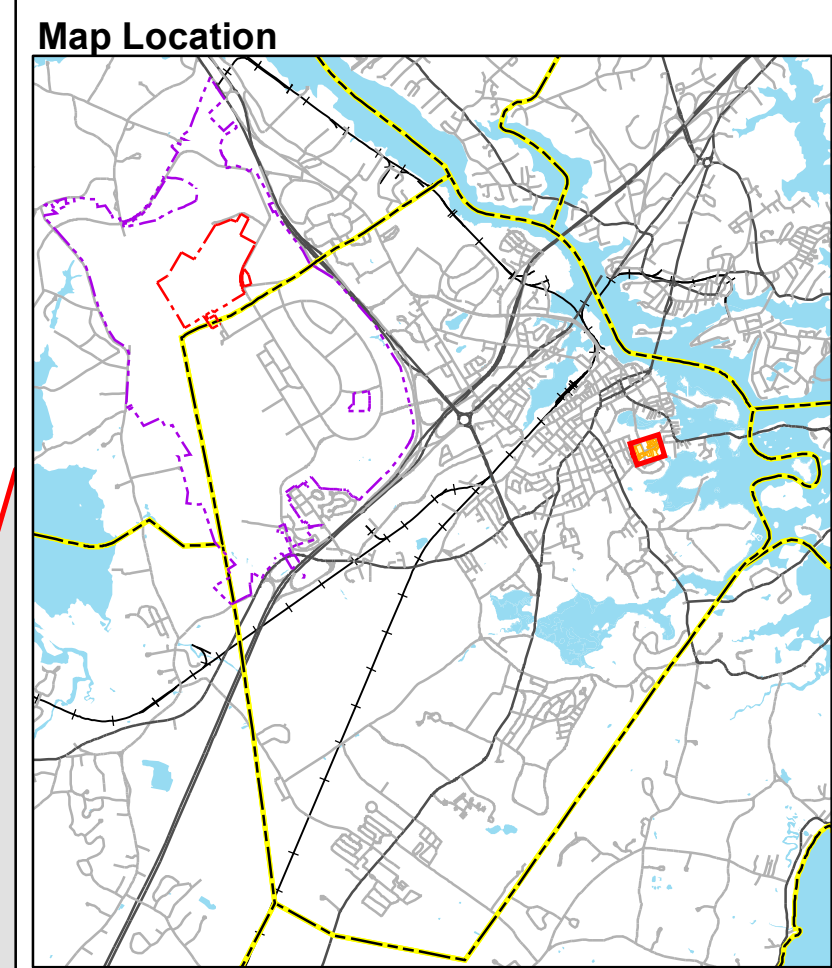
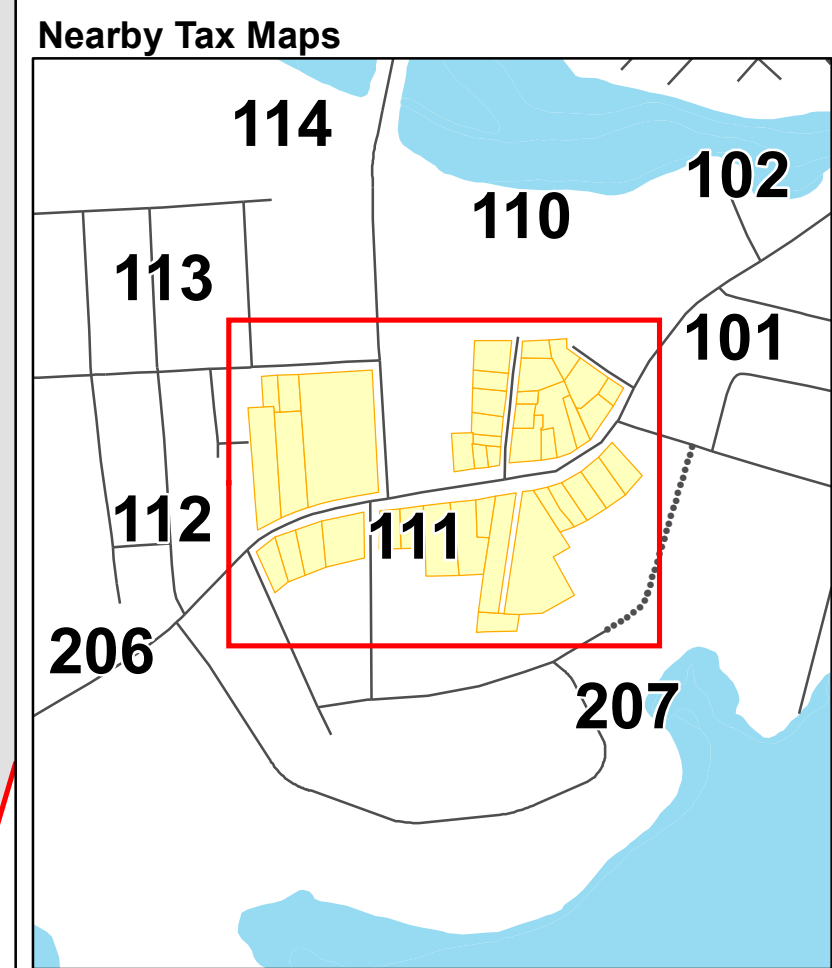


- Partial Legend**  
See the cover sheet for the complete legend.
- 7-5A** Lot or lot-unit number
  - 2.56 ac Parcel area in acres (ac) or square feet (sf)
  - 25 Address number
  - 233-137 Parcel number from a neighboring map
  - 68' Parcel line dimension
  - Street name
- SIMS AVE**  
Street name
- Parcel/Parcel boundary
  - Parcel/ROW boundary
  - Water boundary
  - Structure (1994 data)
  - Parcel covered by this map
  - Parcel from a neighboring map (see other map for current status)

# EXHIBIT D



*This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.*



Portsmouth, New Hampshire  
2019  
**Tax Map 111**