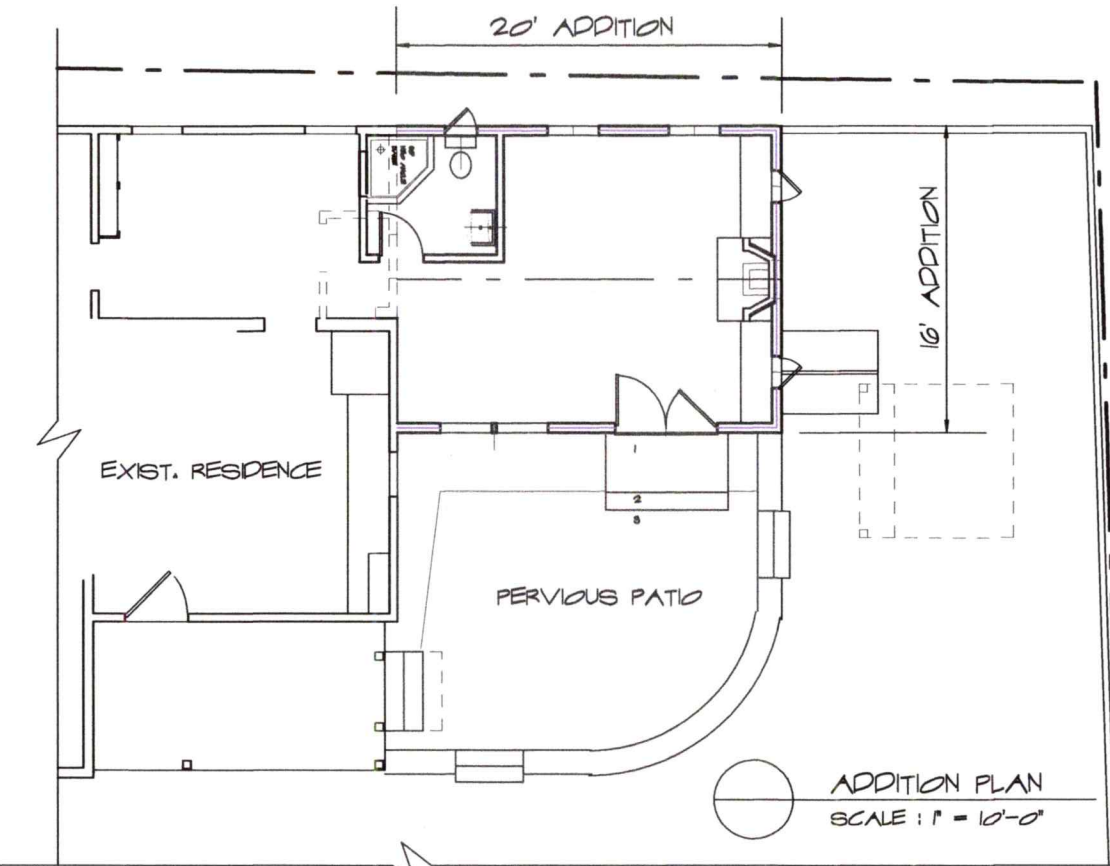
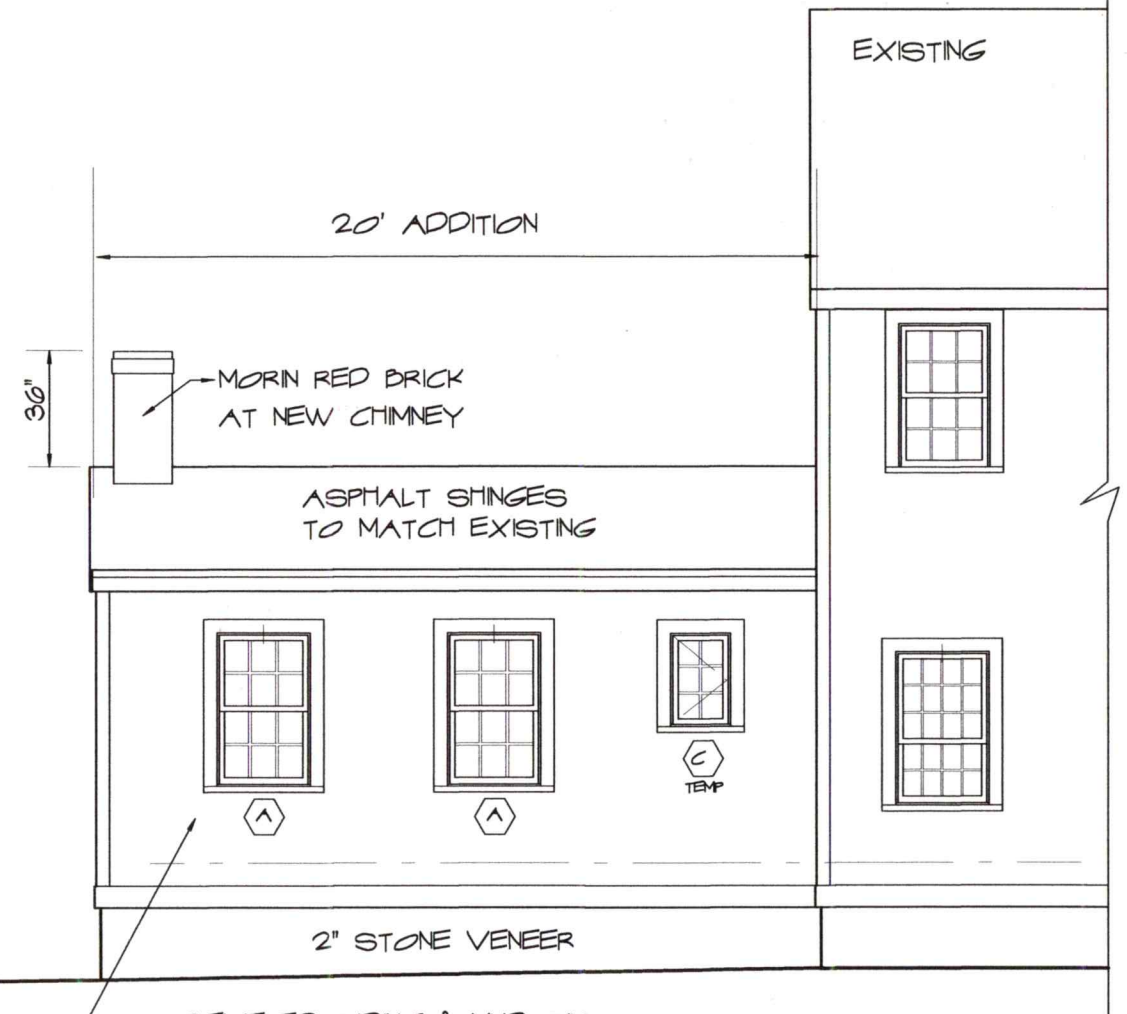




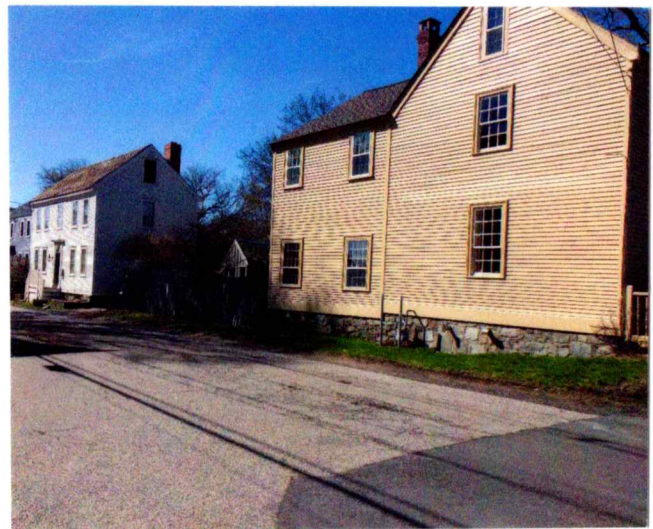
VIEW AT MARCY STREET EDGE



MARCY ST. LOOKING NORTH



ADDITION PLAN
SCALE : 1" = 10'-0"



MARCY ST. LOOKING SOUTH

○ LEFT, MARCY STREET ELEVATION
SCALE : 1/8" = 1'-0"

SCHMATIC DESIGN ADDITIONS & RENOVATIONS, MANFULL RESIDENCE 12 SOUTH STREET PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832 	Project: #2012	Date: 7/6/21
		Revisions:	1 OF 3



REAR ELEVATION
SCALE: 3/16" = 1'-0"



RIGHT, YARD SIDE ELEVATION
SCALE: 3/16" = 1'-0"


WINDOW & EXTERIOR DOOR SCHEDULES

SYM.	UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
WINDOWS					
(A)	UDHG2 2644	6/6	2' 8 1/4" X 4' 4"	MARVIN INC., SIGNATURE. Clad Doublehung, 5/8" SDL w/ Tempered Low E Glazing, Cladding "Sierra White" Hardware to be chosen by Owner. New 2x6 Wall	2
(B)	UDHG2 2644 2 wide	6/6	manuf. det. X 4' 4"	Ditto, 2 wide with 3" stud pocket	1
(C)	CUA 2032	6	1' 9" X 2' 7 5/8"	MARVIN INC., SIGNATURE. Clad Casement, 5/8" SDL w/ Low E Glazing, Cladding - "Sierra White" Hardware to be chosen by Owner. New 2x6 Wall	1L 1R 1Rtemp.
EXTERIOR DOOR					
(I)	UFD 6068 XXL	8	6' 15/8" x 6' 10 1/2"	MARVIN INC., SIGNATURE. Clad Inswing French Door, 7/8" SDL w/ Low E Glazing, Cladding - "Sierra White" Hardware to be chosen by Owner. New 2x6 Wall	1

WINDOW & EXTERIOR DOOR NOTES :

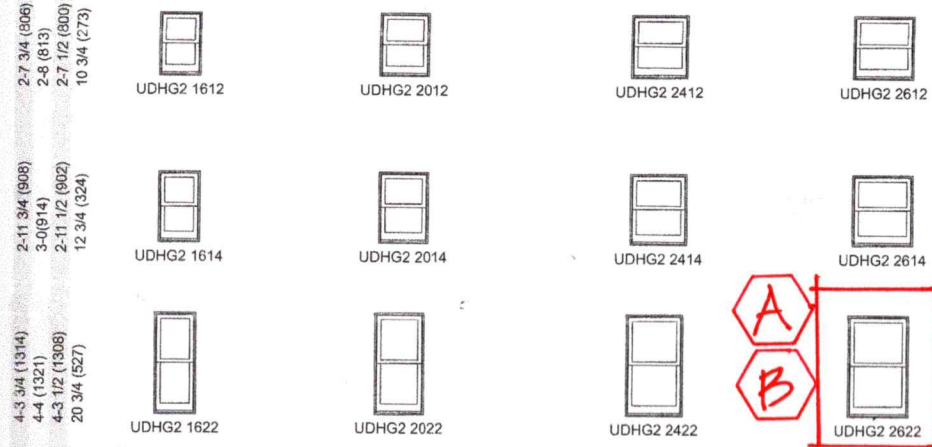
- SUBMIT FINAL WINDOW/EXT. DOOR ORDER & SHOP DRAWINGS TO ARCHITECT FOR APPROVAL BEFORE ORDERING
- BUILDER TO VERIFY ROUGH OPENINGS.



SCHMATIC DESIGN ADDITIONS & RENOVATIONS, MANFULL RESIDENCE 12 SOUTH STREET PORTSMOUTH, NH	 ANNE WHITNEY ARCHITECT 9 Sheafe Street Portsmouth NH 03901 603-427-2832	Project: 2012	Date: 7/6/21
		Revisions:	2 OF 3

DOUBLE HUNG G2

MO (mm)	1'9 3/4 (552)	2-1 3/4 (654)	2-5 3/4 (756)	2-7 3/4 (806)
RO (mm)	1-10 1/4 (565)	2-2 1/4 (667)	2-6 1/4 (768)	2-8 1/4 (819)
FS (mm)	1-9 1/4 (540)	2-1 1/4 (641)	2-5 1/4 (743)	2-7 1/4 (794)
DLO (mm)	14 47/64 (347)	18 47/64 (476)	22 47/64 (577)	24 47/64 (628)



1-STORY
ELL

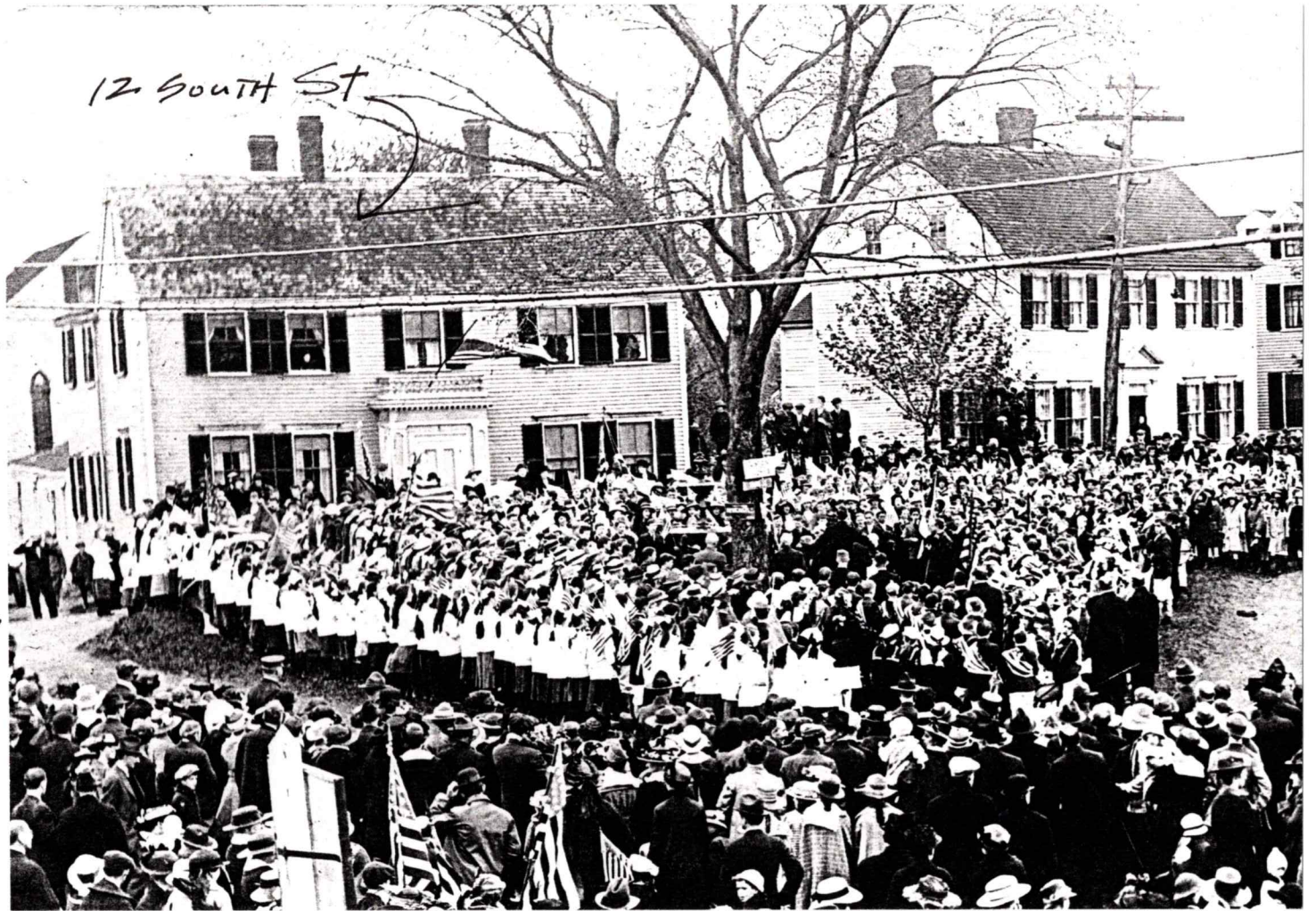
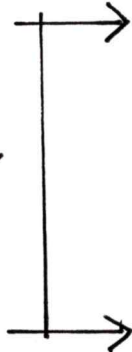
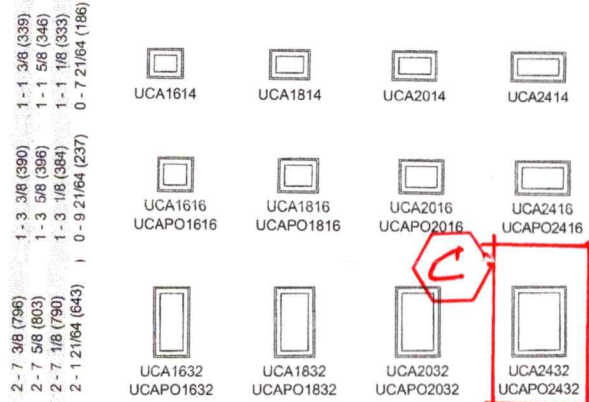


PHOTO FROM ATHENEUM SHOWING REAR ELL

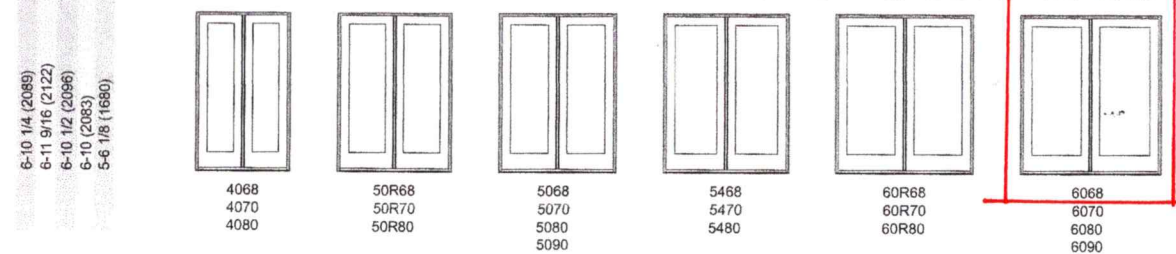
MARVIN SIGNATURE™ COLLECTION | ULTIMATE
CASEMENT / CASEMENT PUSH OUT

MO (mm)	1 - 4 1/2 (419)	1 - 6 1/2 (469)	1 - 8 1/2 (520)	2 - 1/2 (622)
RO (mm)	1 - 5 (431)	1 - 7 (482)	1 - 9 (533)	2 - 1 (635)
FS (mm)	1 - 4 (406)	1 - 6 (457)	1 - 8 (508)	2 - 0 (609)
DLO (mm)	0 - 10 13/64 (259)	1 - 0 13/64 (310)	1 - 2 13/64 (361)	1 - 6 13/64 (462)



MARVIN SIGNATURE™ COLLECTION | ULTIMATE
1 3/4" INSWING / OUTSWING FRENCH DOOR

Clad MO (mm)	4-1 1/8 (1248)	4-11 1/2 (1511)	5-1 1/8 (1553)	5-5 1/8 (1654)	5-11 1/2 (1816)	6-1 1/8 (1857)
Wood MO (mm)	4-3 3/4 (1314)	5-2 1/8 (1578)	5-3 3/4 (1619)	5-7 3/4 (1721)	6-2 1/8 (1883)	6-3 3/4 (1924)
RO (mm)	4-1 5/8 (1260)	5-0 (1524)	5-1 5/8 (1565)	5-5 5/8 (1667)	6-0 (1829)	6-1 5/8 (1870)
FS (mm)	4-0 5/8 (1235)	4-11 (1499)	5-0 5/8 (1540)	5-4 5/8 (1641)	5-11 (1803)	6-0 5/8 (1845)
DLO (mm)	1-1 19/32 (345)	1-6 25/32 (477)	1-7 19/32 (498)	1-9 19/32 (548)	2-0 25/32 (629)	2-1 19/32 (650)



REPLACE FENCE IN KIND ALONG MARCY STREET, FROM ADDITION

SCHEMATIC DESIGN ADDITIONS & RENOVATIONS, MANFULL RESIDENCE 12 SOUTH STREET PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832	Project: 2012 Revisions:	Date: 7/6/21 3 OF 3
	ANNE WHITNEY ARCHITECT		



AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 102 AS LOT 42.
- 2) OWNERS OF RECORD:
 WILLIAM T. MANFULL &
 SUSAN MANFULL
 12 SOUTH STREET
 PORTSMOUTH, NH 03801
 2931/1412
- 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.
- 4) EXISTING LOT AREA:
 3,795 S.F.
 0.0871 ACRES
- 5) PARCEL IS LOCATED IN THE GENERAL RESIDENCE B (GRB) AND HISTORIC DISTRICT.
- 6) DIMENSIONAL REQUIREMENTS:

MIN. LOT AREA:	5,000 S.F.
FRONTAGE:	80 FEET
SETBACKS:	FRONT 5 FEET
	SIDE 10 FEET
	REAR 25 FEET

MAXIMUM STRUCTURE HEIGHT: 35 FEET SLOPED ROOF
 30 FEET FLAT ROOF
 MAXIMUM BUILDING COVERAGE: 30%
 MINIMUM OPEN SPACE: 25%
- 7) THE ENTIRETY OF THE SUBJECT PARCEL IS WITHIN THE NHDES 250' PROTECTED SHORELAND.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.
- 9) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED CONSTRUCTION AND VARIANCES REQUIRED ON ASSESSOR'S MAP 102 LOT 42 IN THE CITY OF PORTSMOUTH.
- 10) BUILDING/SITE PLANS BASED ON ARCHITECTURAL DESIGN BY ANNE WHITNEY ARCHITECT.

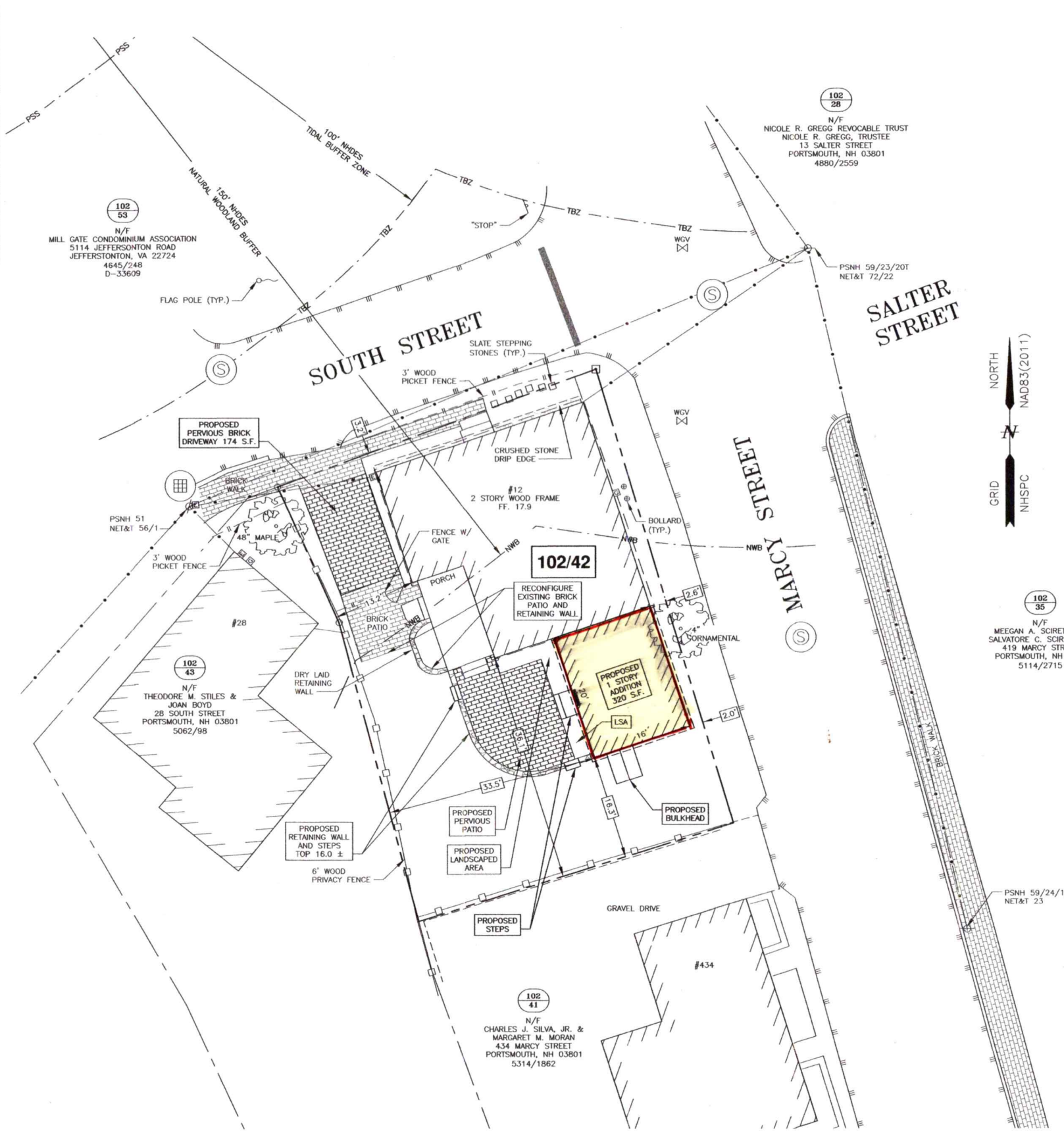
**STRUCTURE ADDITION
 MANFULL RESIDENCE
 12 SOUTH STREET
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
1	REVISED COVERAGE	5/12/21
0	ISSUED FOR COMMENT	4/26/21
REVISIONS		

SCALE 1"=10' APRIL 2021

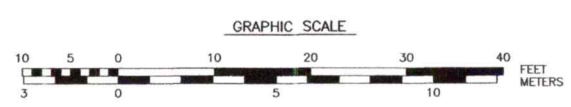
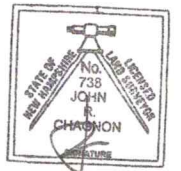
VARIANCE PLAN **C2**

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE & PORCH	1,155	1,475
SHED	64	0
STAIRS	42	53
BULKHEAD	0	22
PATIO	375	109
RETAINING WALL	19	35
PAVEMENT	127	0
STONE & GRAVEL	117	0
TOTAL	1899	1694
LOT SIZE	3,795	3,795
% LOT COVERAGE	50.0%	44.6%



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JRC
 JOHN R. CHAGNON, LLS
 DATE 5.12.21



APPROVED BY THE PORTSMOUTH ZONING BOARD

CHAIRMAN _____ DATE _____