AMBIT ENGINEERING, INC. CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801
Phone (603) 430-9282 Fax 436-2315

6 April 2021

Juliet Walker, Planning Department Chair
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Request for TAC Workshop at 93 Pleasant Street, Micro Housing / Office Mixed Use Development

Dear Ms. Walker and TAC Members:

On behalf of Mark McNabb and Dagny Taggart, LLC we are pleased to submit the attached plan set for **TAC Workshop Review** for the above-mentioned project and request that we be placed on the agenda for your **April 13, 2021** TAC Meeting. The project includes the re-use of the existing commercial building and proposed new construction of a 2 story with a short 3rd building to the rear of the existing building with the associated and required site improvements. The area behind the existing building is currently a surface parking lot. The surface parking will be lowered to below street level and be included with the new construction.

The site redevelopment consists of maintaining some office commercial space in the basement and first floor of the existing building and creating in the upper floors of that building and the addition 59 Micro Units and 2 larger One Bedroom Units. The plan provides an excellent opportunity to create much needed affordable housing in downtown Portsmouth.

The application conforms to all of the required Density and Development Standards of the CD4 and Downtown Overlay Districts. This application will require a Condition Use Permit from the Planning Board (under Section 10.1112.311) for a reduction in required parking to provide 24 spaces where 40 are required.

Site Specifics of Development:

Green Building: the new construction will comply with Green Building Requirements
Stormwater Runoff: the design will not increase impervious surface areas from existing. The design will comply with the required stormwater treatment practices shall be adequately sized to treat the Water Quality Volume (WQV) or Water Quality Flow (WQF) in order to minimize pollutant discharges. Design thought is in line roof leader treatment (see attached).
Utility Services: plans show proposed gas main connection, water, sewer, and a roof drain connection will be added to connect to CB 4629. Electric service includes an onsite transformer with looped connection.
Flood Hazard / Resource: the project is not in a flood hazard zone or in any resource buffer area.
Lighting: will be building mounted; subject to future design.
Parking: is provided at a below grade level and shown on Sheet C4.
Solid Waste Management: will be handled internal to the building.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Boundary Plan – These plans show the existing property boundaries.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Demolition Plan C2 – This plan shows portions of the existing building which will be removed.
- Site Layout Plan C3 – This plan shows the site development in detail with the associated Zoning Development Standards calculations.
- Parking Plan C4 – This plan shows the proposed parking level and parking calculations.
- Utility Plan C5 – This plan shows the site utilities in detail.
- Landscape Plan L1 – This plan shows the proposed landscaping in detail.
- Erosion Control Notes and Details D1 – This plan shows sequence of construction and details.
- Detail Sheets D 2-3 – These plans show associated details for construction.
- Floor Plans and Exterior Elevation Plans – These plan shows the proposed building exterior elevations and interior layouts.

We look forward to the TAC review of this submission and feedback on the proposed design.

Sincerely,

John Chagnon

John R. Chagnon, PE

CC: Mark McNabb, Christopher Lizotte, Terrance Parker

Bio Clean

A Forterra Company

Downspout Filter

A Stormwater Solution

OVERVIEW

The Bio Clean Downspout Filter is the industry's leading solution for treatment of roof runoff. This technology is used to treat commercial and industrial rooftops along with highrise buildings, parking structures, and residential buildings.

Available in 3 sizes, this filter can easily adapt to downspouts 2" to 12" in diameter. The filter comes standard with rubber boots that allow for easy installation to the downspout.

Proven since 2003, the Downspout Filter has been used on hundreds of installations throughout the United States. All internal components are constructed of stainless steel.

The sleek in-line design allows the filter to be used in tight spaces. Approved by the IAPMO, this filter can meet all your needs.

PERFORMANCE

93% REMOVAL OF TSS

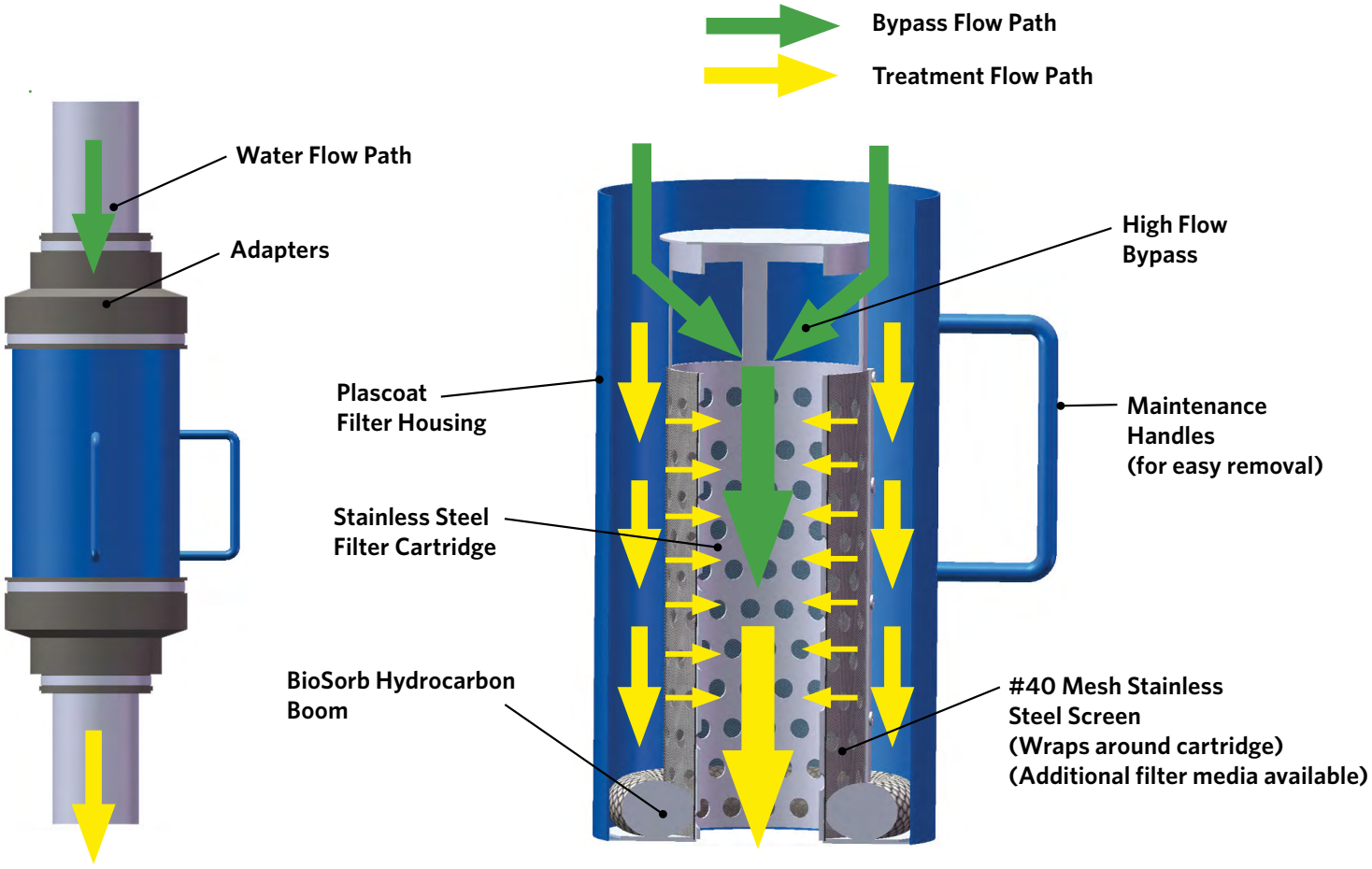
87% REMOVAL OF HYDROCARBONS

- EFFECTIVE AT REMOVING METALS, NUTRIENTS, AND BACTERIA (MEDIA TYPE)

ADVANTAGES

- 1-YEAR WARRANTY
- NO NETS OR GEOFABRICS
- SLEEK IN-LINE DESIGN
- HIGH TREATMENT FLOW RATE
- HIGH BYPASS FLOW RATE
- LOW COST

OPERATION



APPROVALS

IAPMO Testing
& Approval Listing

SPECIFICATIONS

MODEL #	INLET ID (dia., in.)	FILTER OD (dia., in.)	STORAGE CAP. (cu. ft.)	FILTERED FLOW (gpm)	BYPASS FLOW (gpm)
BC-DF4	4	6.625	0.09	249	566
BC-DF6	6	8.625	0.21	509	1006
BC-DF8	8	8.625	0.21	509	1006
BC-DF10	10	12.75	0.77	1145	2264
BC-DF12	12	12.75	0.77	1145	2264

APPLICATION

Easily adapts to square or rectangular downspouts.

Fits in-line with iron, steel, or plastic pipe.

- Commercial
- Residential
- Parking Structures
- Mixed-Use

Bio Clean
A Forterra Company
5796 Armada Drive Suite 250
Carlsbad, CA 92008
855.566.3938
stormwater@forterrabp.com
biocleanenvironmental.com

MIXED USE DEVELOPMENT

93 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE
SITE PERMIT PLANS

OWNER:
DAGNY TAGGART LLC
3 PLEASANT STREET
SUITE #400
PORTSMOUTH, NH 03801
TEL. (603) 427-0725

CIVIL ENGINEER:
AMBIT ENGINEERING, INC.
200 GRIFFIN ROAD, UNIT 3
PORTSMOUTH, N.H. 03801
Tel. (603) 430-9282
Fax (603) 436-2315

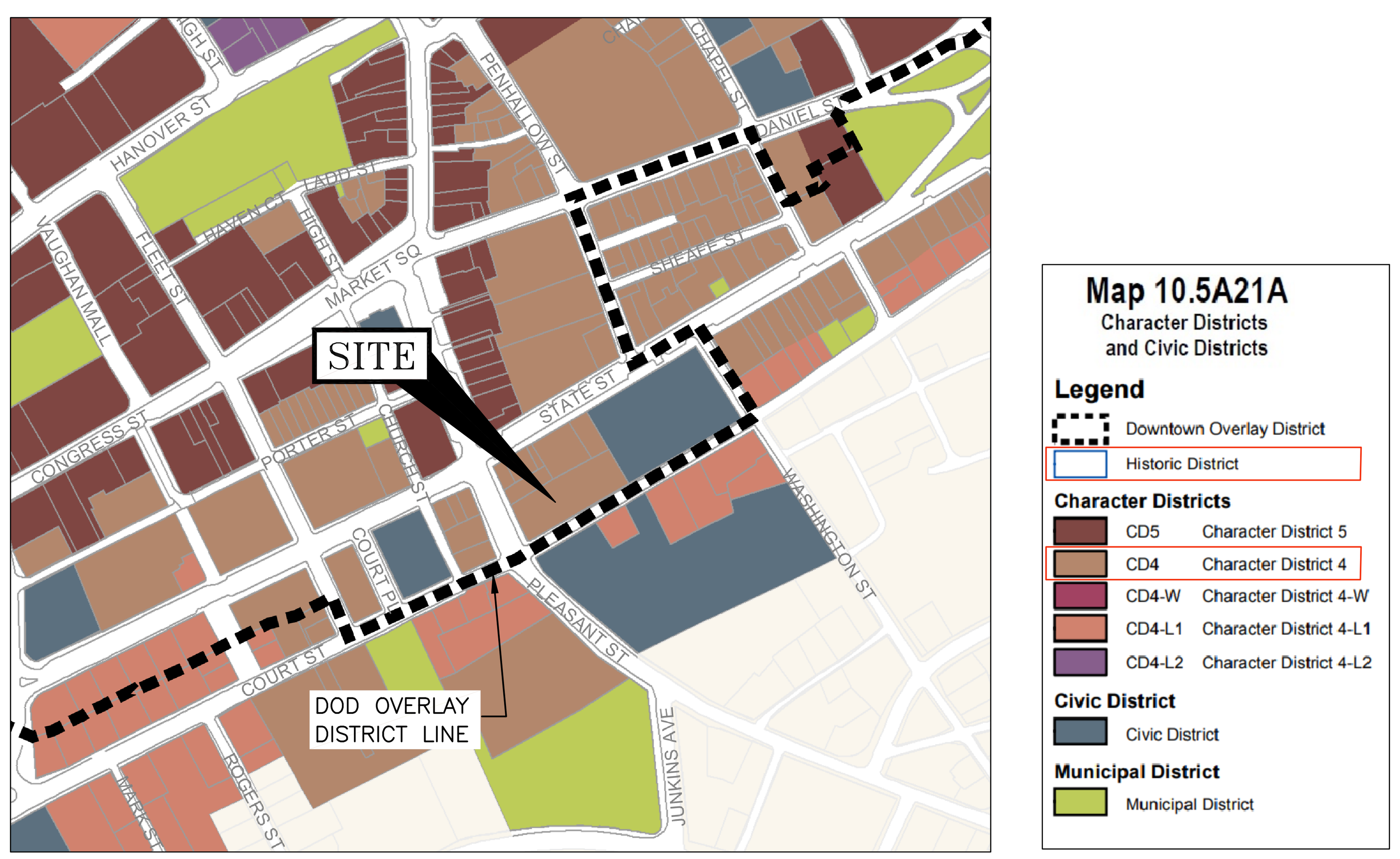
ARCHITECT:
PROCON
P.O. BOX 4430
MANCHESTER, NH, 03108
TEL. (603) 518-2279

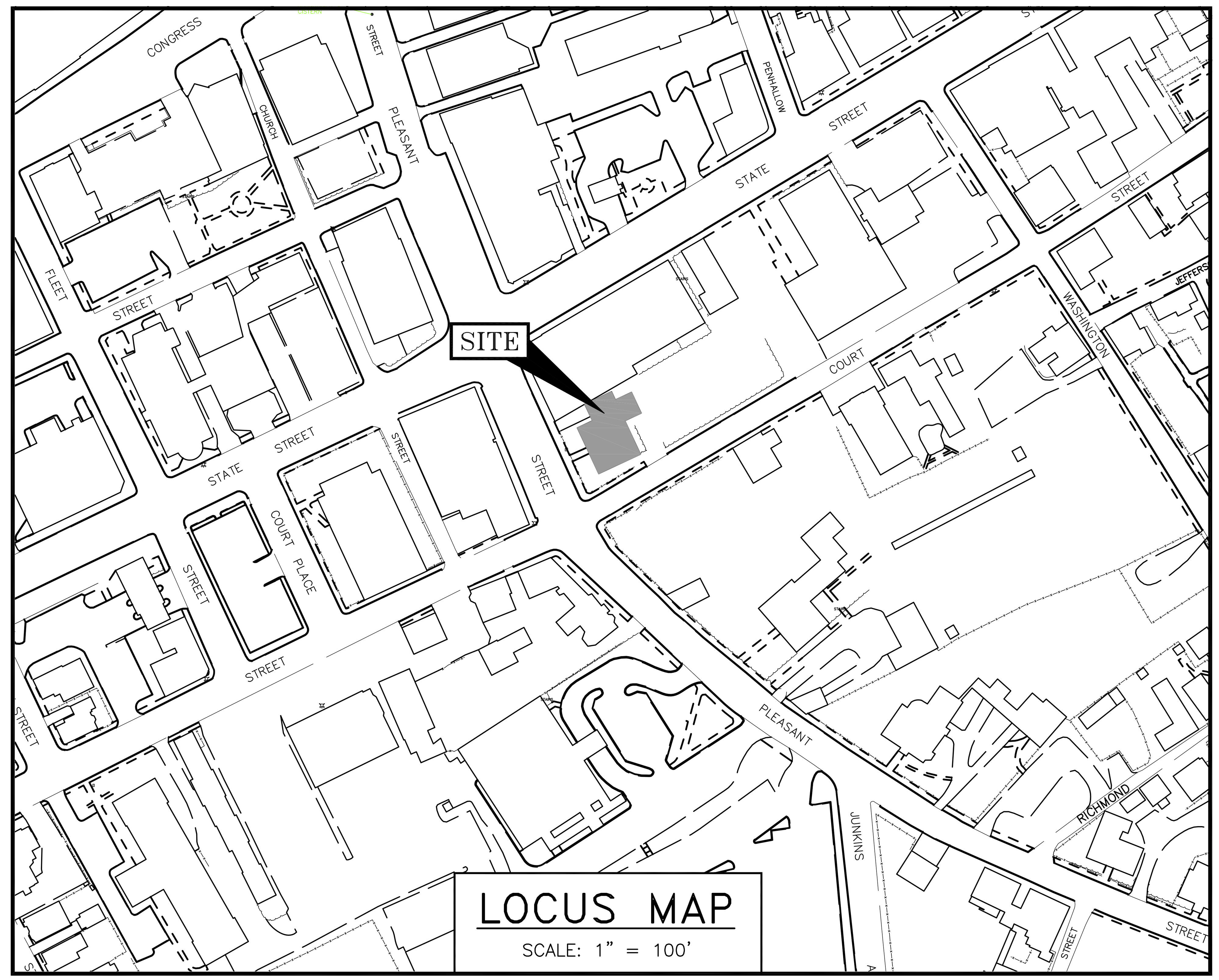
LANDSCAPE ARCHITECT:
TERRA FIRMA LANDSCAPE ARCHITECTURE
163A COURT STREET
PORTSMOUTH NH 03801
TEL. (603) 430-8388

GEOTECHNICAL:
GEOTECHNICAL SERVICES INC.
18 COTE AVENUE, UNIT 11
GOFFSTOWN, NH 03045
TEL. (603) 624-2722

LAND SURVEYOR:
TF MORAN, INC.
170 COMMERCE WAY
SUITE 102
PORTSMOUTH NH 03801
TEL. (603) 431-2222

PERMIT LIST:
NHDES SEWER DISCHARGE PERMIT: TO BE SUBMITTED





LEGEND:

EXISTING	PROPOSED	
		PROPERTY LINE
		SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
	UD	FOUNDATION DRAIN
		EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
		UTILITY POLE
		WALL MOUNTED EXTERIOR LIGHTS
		TRANSFORMER ON CONCRETE PAD
		ELECTRIC HANDHOLD
WSO GSO	WSO GSO	SHUT OFFS (WATER/GAS)
	GV	GATE VALVE
	HYD	HYDRANT
CB	CB	CATCH BASIN
S	SMH	SEWER MANHOLE
D	DMH	DRAIN MANHOLE
T	TMH	TELEPHONE MANHOLE
14	14	PARKING SPACE COUNT
PM		PARKING METER
LSA		LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	–	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL.	EL.	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL

DIG SAFE
MA – ME – NH – RI – VT
1-888-344-7233
CALL TOLL FREE

INDEX OF SHEETS

UTILITY CONTACTS

ELECTRIC:
EVERSOURCE
1700 LAFAYETTE ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 436-7708, Ext. 555.5678
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

NATURAL GAS:
UNITIL
325 WEST ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 294-5144
ATTN: DAVE BEAULIEU

CABLE:
COMCAST
155 COMMERCE WAY
PORTSMOUTH, N.H. 03801
Tel. (603) 679-5695 (X1037)
ATTN: MIKE COLLINS

SEWER & WATER:
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, N.H. 03801
Tel. (603) 427-1530
ATTN: JIM TOW

COMMUNICATIONS:
FAIRPOINT COMMUNICATIONS
JOE CONSIDINE
1575 GREENLAND ROAD
GREENLAND, N.H. 03840
Tel. (603) 427-5525

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN ______________ DATE ______________

SITE PERMIT PLANS
MIXED USE DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

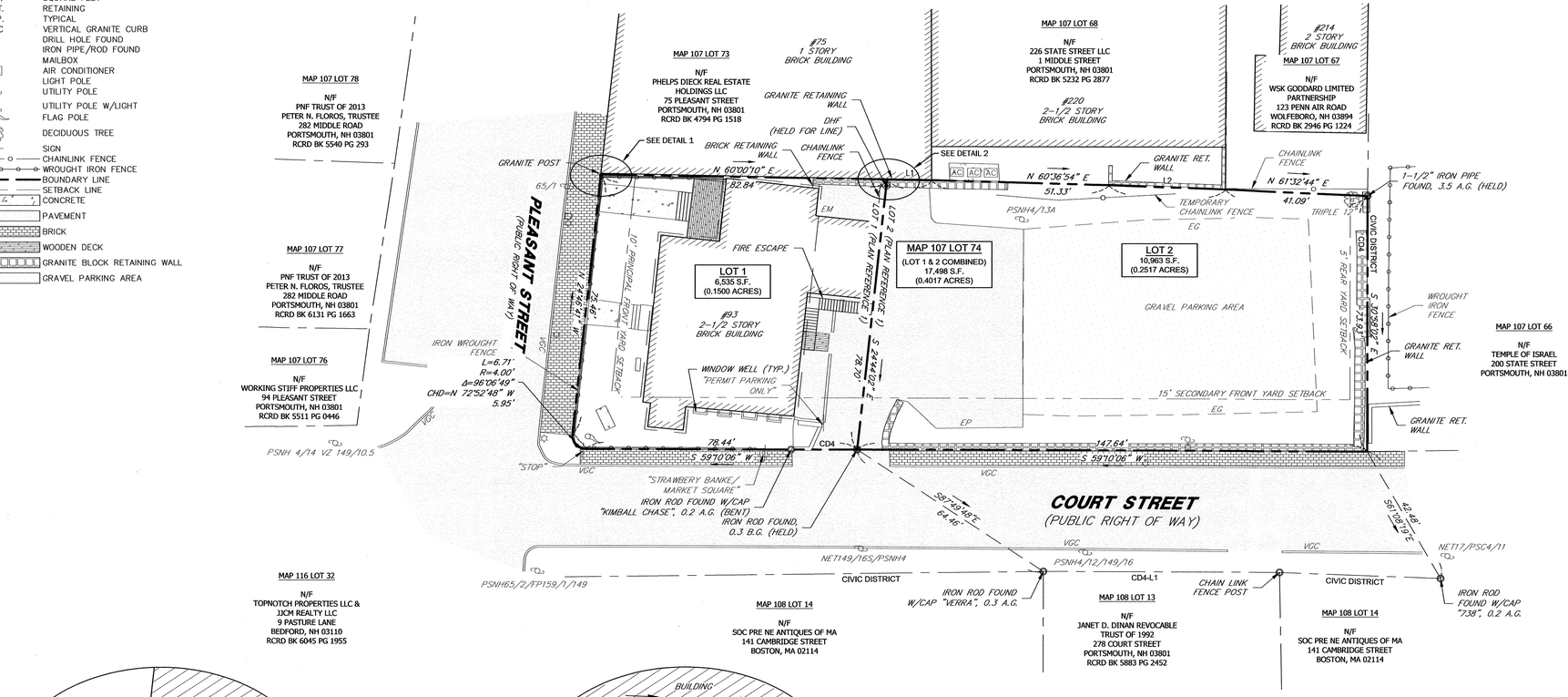
PLAN SET SUBMITTAL DATE: 6 APRIL 2021

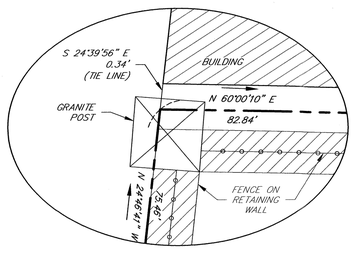
3059.01

LEGEND:

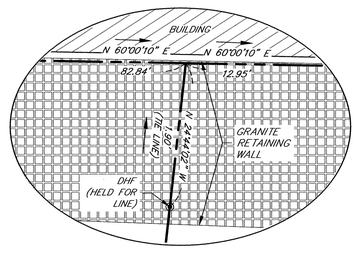
MAP 137 LOT 11	ASSESSORS MAP AND LOT NUMBER
Δ	CENTRAL ANGLE
A.G.	ABOVE GRADE
B.G.	BELOW GRADE
BK PG	BOOK / PAGE
CHD	CHORD
CD4	CHARACTER DISTRICT 4
CD4-L1	CHARACTER DISTRICT 4 – LIMITED 1
EG	EDGE OF GRAVEL
EM	ELECTRIC METER
EP	EDGE OF PAVEMENT
DHF	DRILL HOLE FOUND
L	LENGTH
N/F	NOW OR FORMERLY
NET	NEW ENGLAND TELEPHONE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
R	RADIUS
PSNH	PUBLIC SERVICE OF NEW HAMPSHIRE
S.F.	SQUARE FEET
RET.	RETAINING
TYP.	TYPICAL
VGC	VERTICAL GRANITE CURB
	DRILL HOLE FOUND
	IRON PIPE/ROD FOUND
	MAILBOX
AC	AIR CONDITIONER
	LIGHT POLE
	UTILITY POLE
	UTILITY POLE W/LIGHT
	FLAG POLE
	DECIDUOUS TREE
	SIGN
	CHAINLINK FENCE
	WROUGHT IRON FENCE
	BOUNDARY LINE
	SETBACK LINE
	CONCRETE
	PAVEMENT
	BRICK
	WOODEN DECK
	GRANITE BLOCK RETAINING WALL
	GRAVEL PARKING AREA

LINE	BEARING	DISTANCE
L1	N 60°00'10" E	12.95'
L2	N 61°05'47" E	33.80'

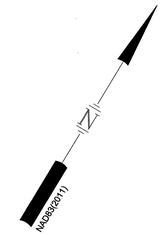


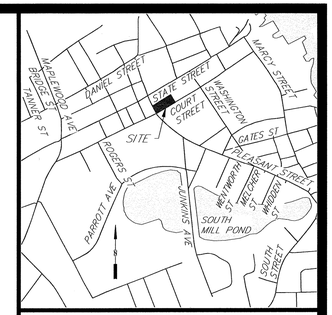


DETAIL 1
1"=1'



DETAIL 2
1"=1'





LOCATION PLAN

NOTES:

1. THE PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4 (CD4) & THE DOWNTOWN & HISTORIC OVERLAY DISTRICTS.
2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 74.
3. THE PARCEL IS LOCATED IN ZONE 'X' AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 259 OF 681, VERSION NUMBER 2.3.2.1, MAP NUMBER 33015C0259F, MAP REVISED JANUARY 29, 2021.
4. DIMENSIONAL REQUIREMENTS:

	REQUIRED:
BUILDING PLACEMENT – PRINCIPAL BUILDING:	
MAXIMUM PRINCIPAL FRONT YARD:	10'
MAXIMUM SECONDARY FRONT YARD:	15'
SIDE YARD:	NR
MINIMUM REAR YARD:	5'
MINIMUM FRONT LOT LINE BUILDOUT:	50%
BUILDING AND LOT OCCUPATION:	
MAXIMUM BUILDING COVERAGE:	90%
MAXIMUM BUILDING FOOTPRINT:	15,000 S.F./30,000 S.F.*
MINIMUM LOT AREA:	NR
MINIMUM LOT AREA PER DWELLING UNIT:	NR
MINIMUM OPEN SPACE:	10%
MAXIMUM GROUND FLOOD GFA PER USE:	15,000 S.F.
BUILDING FORM – PRINCIPAL BUILDING:	
BUILDING HEIGHT:	2 STORIES & SHORT 3RD STORY/35'
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36"
MINIMUM GROUND STORY HEIGHT:	12'
MINIMUM SECOND STORY HEIGHT:	10'
BUILDING PLACEMENT – OUTBUILDING:	
MINIMUM FRONT YARD:	20' BEHIND A FACADE OF A PRINCIPAL BUILDING
MINIMUM SIDE YARD:	0'
MINIMUM REAR YARD:	3'

NR = NO REQUIREMENT
PER THE CITY OF PORTSMOUTH ZONING ORDINANCE DATED DECEMBER 21, 2009 AS AMENDED THROUGH JANUARY 11, 2021 ARTICLE 5A FIGURE 10.5A41.10C
*SEE SECTION 10.5A43.43

5. OWNER OF RECORD:
MAP 107 LOT 74:
DAGNY TAGGART, LLC
30 PENHALLOW STREET, SUITE 300
PORTSMOUTH, NH 03801
RCRD BK.#6162 PG.#0074 (SECOND PARCEL)
6. PARCEL AREA:
MAP 107 LOT 74:
17,498 S.F.
(0.4017 ACRES)
7. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
8. THE PURPOSE OF THIS PLAN IS TO SHOW THE BOUNDARY LINES AND MAJOR SITE FEATURES OF MAP 107 LOT 74.
9. FIELD SURVEY COMPLETED BY T.C.E. IN JANUARY 2020 USING A TOPCON DS103 AND A TOPCON FC-5000 DATA COLLECTOR.
10. HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS.
11. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
12. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.

PLAN REFERENCES:

1. "SUBDIVISION OF LAND/ 93 PLEASANT ST. PORTSMOUTH, NEW HAMPSHIRE FOR BREWSTER INN PARTNERSHIP" BY KIMBALL CHASE COMPANY, INC. DATED 10-26-1987 WITH REVISION DATE 1-5-1988. RCRD PLAN D-17511.
2. "SUBDIVISION OF LAND PORTSMOUTH, N.H. TRADER'S BLOCK TRUST JOSEPH G. SAWTELLE, JR., TR." BY JOHN W. DURGIN CIVIL ENGINEERS, DATED DECEMBER 1977. RCRD PLAN C-7497.
3. "SUBDIVISION OF LAND PORTSMOUTH, N.H. TRADER'S BLOCK TRUST JOSEPH G. SAWTELLE, JR., TR." BY JOHN W. DURGIN CIVIL ENGINEERS, DATED MARCH 1977 LAST REVISED APRIL 12, 1977. RCRD PLAN C-6815.
4. "BOUNDARY LINE CONFIRMATION BETWEEN T. & M. LAURIE & STRAWBERY BANK INC. PORTSMOUTH, N.H." BY M.E. JENKINS, DATED APRIL 1989. RCRD PLAN C-19507
5. "PLAN OF LAND 278 COURT STREET PORTSMOUTH, NEW HAMPSHIRE FOR STRAWBERY BANKE, INC." BY JAMES VERRA AND ASSOCIATES, INC., DATED 10-29-2009. RCRD PLAN D-36475.
6. "220-226 STATE STREET CONDOMINIUMS AMENDED SITE PLAN FOR PROPERTY AT 220-226 STATE STREET PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE OWNED BY 226 STATE STREET LLC" BY NORTH EASTERLY SURVEYING, INC. DATED 10-24-2012. RCRD PLACE D-37475.

DIG SAFE
MA ME NH RI VT
UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM
CALL 811 TOLL FREE
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:18, II AND III AND 672:14:

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN JANUARY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

STATE OF NEW HAMPSHIRE · No. 844 · COREY COLWELL · LICENSED LAND SURVEYOR

LICENSED LAND SURVEYOR

02-24-2021
DATE

20 0 20
Graphic Scale in Feet

REV.	DATE	DESCRIPTION	DR	CK

TAX MAP 107 LOT 74
STANDARD BOUNDARY SURVEY

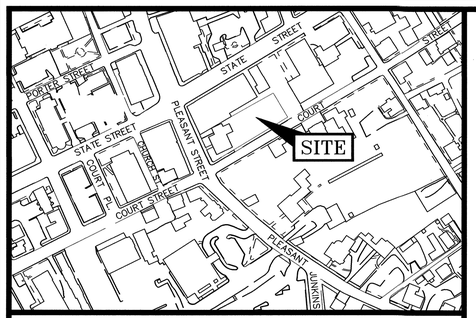
93 PLEASANT STREET
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
OWNED BY
DAGNY TAGGART, LLC

SCALE: 1" = 20' (22x34)
1" = 40' (11x17)
FEBRUARY 23, 2021

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

FILE	47230-21	DR	IID	FB		
		CK	JCC	CADFILE		

Feb 24, 2021 - 3:37pm
F:\MSC Projects\47230 - Pleasant Street - Portsmouth\47230-20 - Madbury Capital - 93 Pleasant St\Carlson Survey\Dwgs\47230-20 SBS.dwg



LOCATION MAP SCALE: 1" = 200'

PLAN REFERENCES:

1) BOUNDARY SURVEY PLAN BY T.F.MORAN/MSC.

SEWER STRUCTURE TABLE

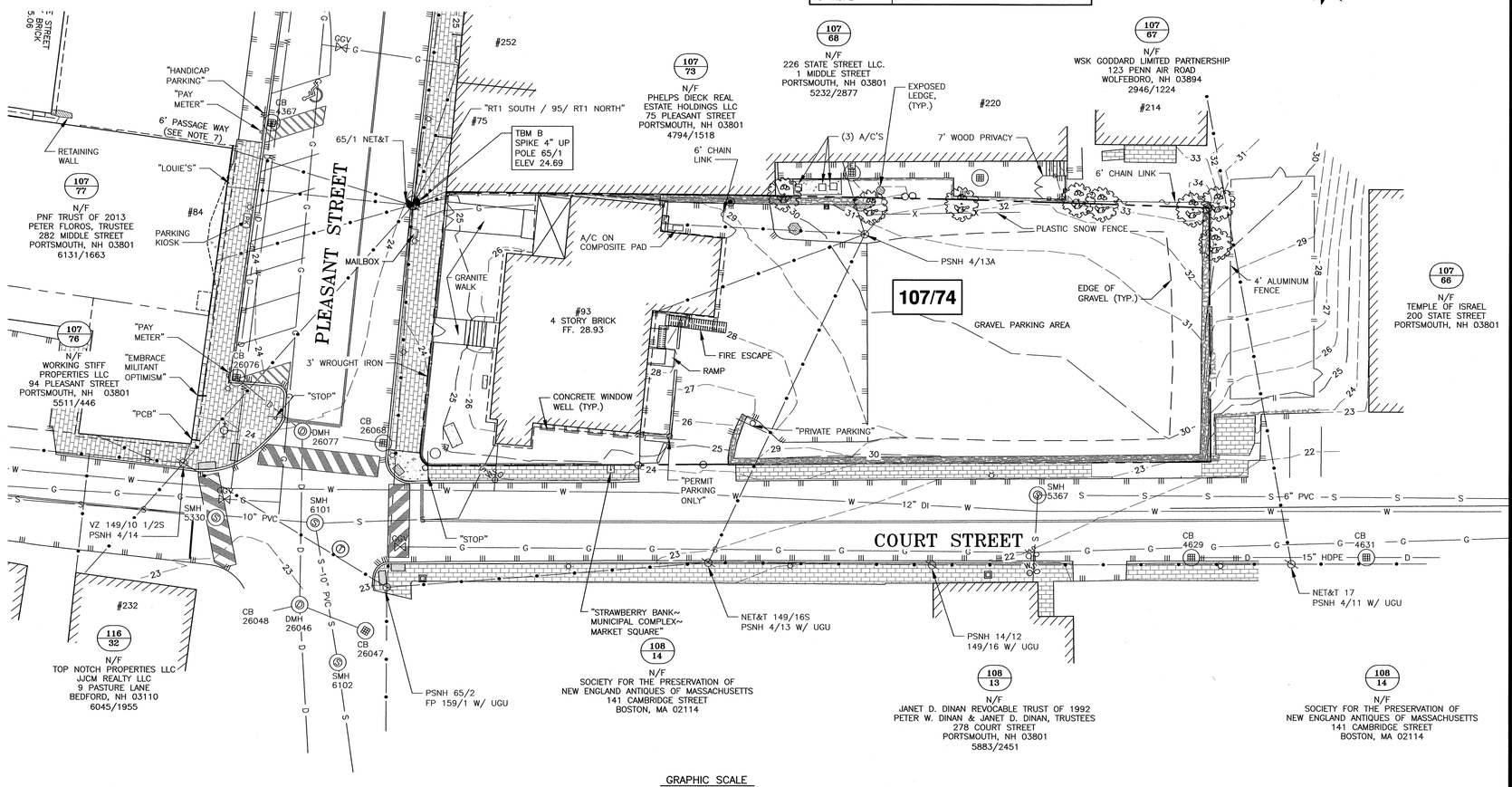
STRUCTURE	RIM ELEV.	INV. ELEV. IN / INV. ELEV. OUT	DOWN STREAM STRUCTURE
PIPE	PIPE LENGTH, PIPE SLOPE		
SMH 5367	22.34	15.75	SMH 5368
		15.74	
6" PVC	L = 191', SLOPE = 0.016 ft./ft.		
SMH 5330	23.20	15.85	SMH 6101
		15.80	
8" PVC	L = 29', SLOPE = 0.024 ft./ft.		
SMH 6101	23.35	17.89 (E)	SMH 6102
		15.10 (W)	
		15.05 (OUT)	
8" PVC	L = 41', SLOPE = 0.019 ft./ft.		
SMH 6102	22.78	14.28	SMH 893
		14.23	

DRAINAGE STRUCTURE TABLE

STRUCTURE	RIM ELEV.	INV. ELEV. IN / INV. ELEV. OUT	DOWN STREAM STRUCTURE
PIPE	PIPE LENGTH, PIPE SLOPE		
CB 4367	23.98	N/A	CB 26076
		21.83	
8" HDPE	L = 75', SLOPE = 0.013 ft./ft.		
CB 26076	23.77	20.82	DMH 26077
		20.82	
12" HDPE	L = 25', SLOPE = 0.005 ft./ft		
CB 26068	23.35	N/A	DMH 26077
		21.90	
12" HDPE	L = 24', SLOPE = 0.046 ft./ft.		
CB 26047	22.79	N/A	DMH 26046
		18.69	
8" HDPE	L = 21', SLOPE = 0.010 ft./ft.		
DMH 26077	23.95	20.80 (E)	DMH 26046
		20.72 (W)	
		20.70 (OUT)	
12" HDPE	L = 50', SLOPE = 0.048 ft./ft.		
DMH 26046	22.90	19.70 (N)	DMH 26050
		18.48 (E)	
		18.40 (W)	
		18.30 (OUT)	
12" HDPE			
CB 4629	21.19	N/A	CB 4631
		16.94	
15" HDPE	L = 51', SLOPE = 0.016 ft./ft.		
CB 4631	20.85	16.10	CB 4632
		16.10	
15" HDPE			

LEGEND

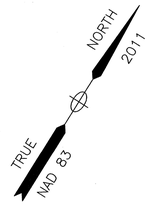
EXISTING	DESCRIPTION
124/21	MAP 124 / LOT 21
N/F	NOW OR FORMERLY
RP	RECORD OF PROBATE
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
	BOUNDARY LINE
	SETBACK LINE
RR SPK FND	RAILROAD SPIKE FOUND
IR FND	IRON ROD FOUND
IP FND	IRON PIPE FOUND
DH FND	DRILL HOLE FOUND
BND w/ DH	BOUND w/ DRILL HOLE
FM	FORCE MAIN
S	SEWER LINE
G	GAS LINE
D	STORM DRAIN
W	POTABLE WATER LINE
	UNDERGROUND ELECTRIC
	OVERHEAD WIRES
100	CONTOUR LINE
97x3	SPOT ELEVATION
	EDGE OF PAVEMENT
	WOODS / TREE LINE
	UTILITY POLE (w/ GUY) (w/ LIGHT)
	LIGHT POLE
	SHUTOFF/CURB STOP (WATER, GAS, SEWER)
GV	GATE VALVE
HYD.	HYDRANT
CB	CATCH BASIN
T	TELEPHONE MANHOLE
S	SEWER MANHOLE
D	DRAIN MANHOLE
FF	FINISHED FLOOR
INV.	INVERT
TBM	TEMPORARY BENCHMARK
TYP.	TYPICAL



GRAPHIC SCALE

10 0 20 40 60 80 FEET

5 0 5 10 15 20 25 METERS



AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road – Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 74.

2) OWNERS OF RECORD:
DAGNY TAGGART LLC
3 PLEASANT STREET SUITE 400
PORTSMOUTH, NH 03801
6162/74
D-17511

3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.

4) EXISTING LOT AREA:
17,498 S.F.
0.4017 ACRES

5) PARCEL IS LOCATED IN CHARACTER DISTRICT 4 (CD4), THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC OVERLAY DISTRICT.

6) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ZONING ORDINANCE.

7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S MAP 107 LOT 74 IN THE CITY OF PORTSMOUTH.

8) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS (±0.2').

9) SITE BOUNDARY PER PLAN REFERENCE 1.

MIXED USE DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	4/2/21
0	ISSUED FOR COMMENT	12/17/20

REVISIONS

STATE OF NEW HAMPSHIRE — No. 738 JOHN R. CHAGNON — LICENSED LAND SURVEYOR — SIGNATURE

SCALE: 1" = 20' DECEMBER 2020

EXISTING CONDITIONS PLAN

C1

FB 321 PG 72

3059.01

DEMOLITION NOTES

A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.

B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.

C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.

E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT TRENCH IN AREAS WHERE PAVEMENT IS TO BE REMOVED.

F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.

G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.

H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE.

I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).

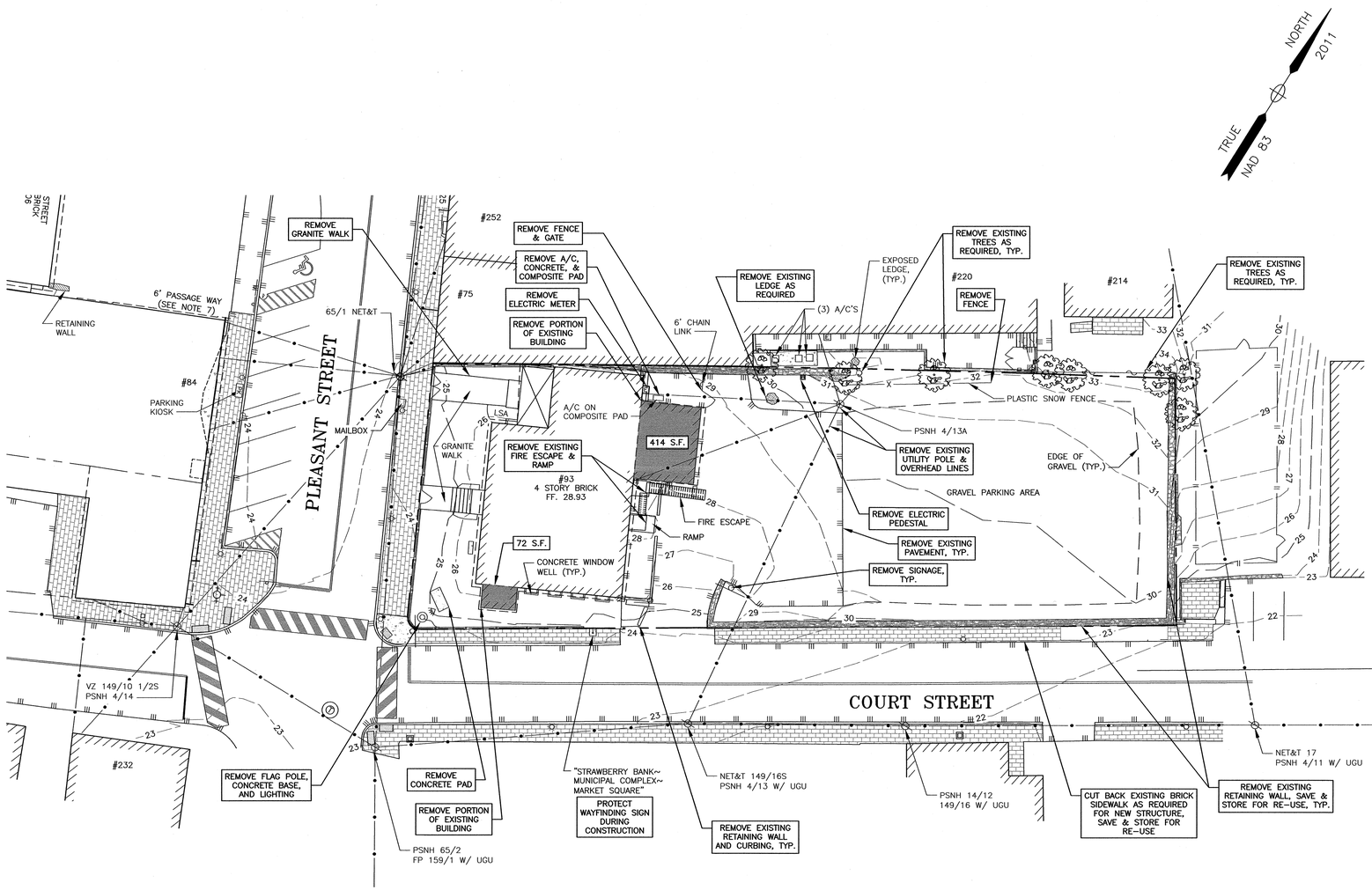
J) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.

K) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.

L) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.

M) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFELY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.

N) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



GRAPHIC SCALE

10 0 20 40 60 80 FEET

5 0 5 10 15 20 25 METERS

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NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

MIXED USE DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/2/21

REVISIONS

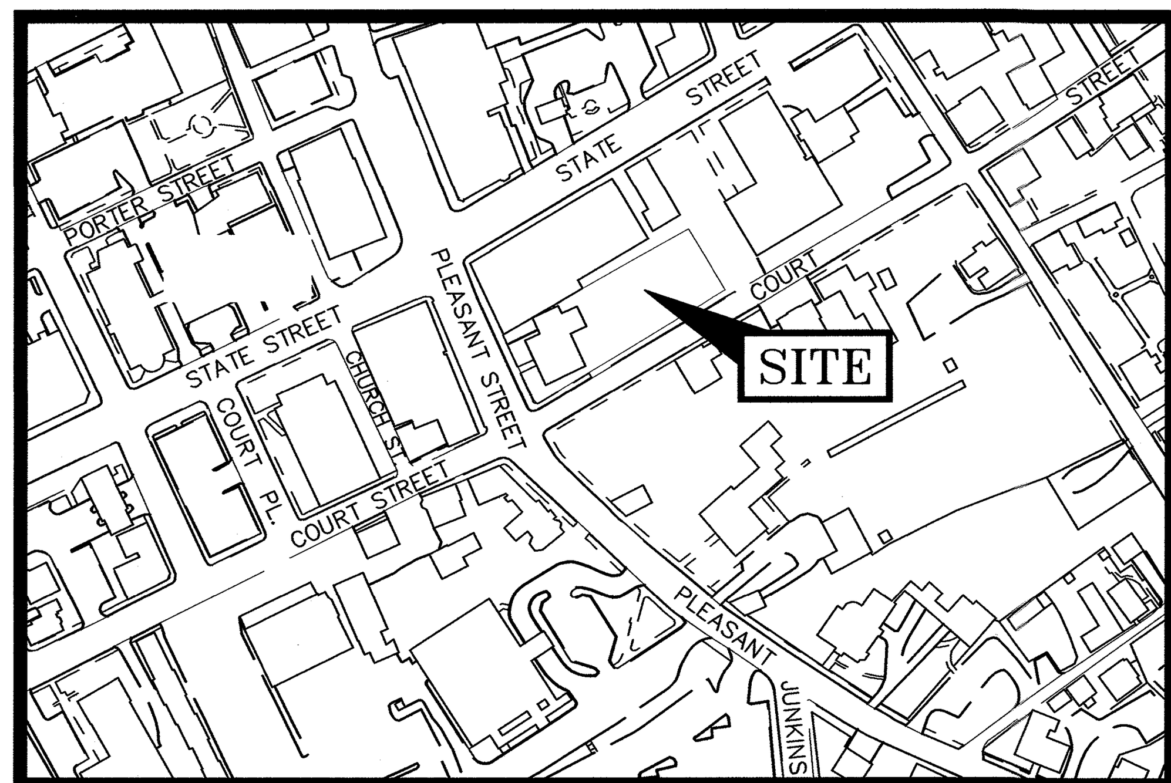
JOHN R. CHAGNON NO. 7651 LICENSED PROFESSIONAL ENGINEER STATE OF NEW HAMPSHIRE

SCALE: 1" = 20' DECEMBER 2020

DEMOLITION PLAN C2

FB 321 PG 72

3059.01



LOCATION MAP SCALE: 1" = 200'

CONDITIONAL USE PARKING PERMIT

CONDITIONAL USE PERMIT TO PROVIDE 24 PARKING SPACES WHERE 40 ARE REQUIRED (59 MICRO UNITS x 0.5 SPACES PER UNIT) + (2 UNITS x 1.0 SPACES PER UNIT) + (61 x 1 VISITOR SPACE PER 5 UNITS) = 44 SPACES REQUIRED. DOD 4 SPACE REDUCTION YIELDS 40 REQUIRED.

ZONING DEVELOPMENT STANDARD

CD4: CHARACTER DISTRICT 4

BUILDING PLACEMENT (PRINCIPLE):

	REQUIRED	93 PLEASANT STREET EXISTING	93 PLEASANT STREET PROPOSED	TBD COURT STREET EXISTING	TBD COURT STREET PROPOSED
MAX. PRINCIPLE FRONT YARD:	10 FEET	19.2'	NC	NA	NA
MAX. SECONDARY FRONT YARD:	15 FEET	9.0'	–	–	1.0'
MIN. SIDE YARD:	NR	0.6'	NC	–	–
MIN. REAR YARD:	5 FEET	158.8'	–	–	4.8'
FRONT LOT LINE BUILDOUT:	50% MIN	85%	85%	–	–

BUILDING TYPES:

ALLOWED BUILDING TYPES: ROWHOUSE, APARTMENT, LIVE/WORK, SMALL/LARGE COMMERCIAL
PROHIBITED: HOUSE & DUPLEX

ALLOWED FACADE TYPE: STOOP, STEP, SHOPFRONT, OFFICEFRONT, RECESSED–ENTRY
PROHIBITED: PORCH & FORECOURT

BUILDING FORM:

	REQUIRED	EXISTING	PROPOSED	EXISTING	PROPOSED
MAX STRUCTURE HEIGHT:	35 FEET	35'–9"	NC	–	35'–0"
MAX. FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 INCHES	54"	NC	–	12"
MIN. GROUND STORY HEIGHT:	12 FEET	11'–6"	NC	–	15'–6"
MIN. SECOND STORY HEIGHT:	10 FEET	10'–8"	NC	–	10'–8"
FACADE GLAZING (WINDOW/PERIMETER):	70% SHOP 20–50% OTHER	–	NC	–	32%

ROOF TYPE ALLOWED: FLAT, GABLE, HIP, GAMBREL, MANSARD

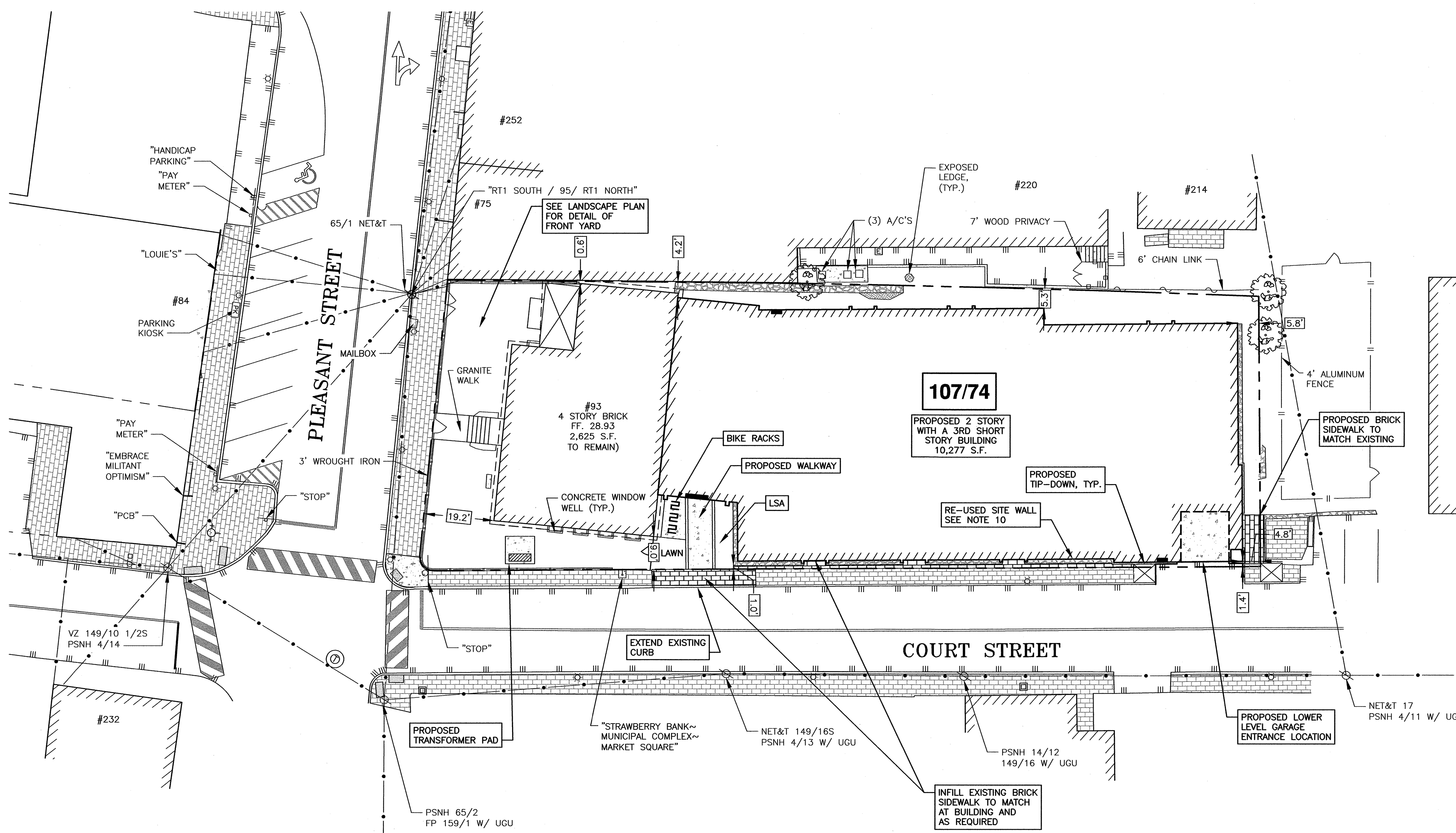
LOT OCCUPATION:

	REQUIRED	EXISTING	PROPOSED	EXISTING	PROPOSED
MAX BUILDING BLOCK:	200 FEET	65'	–	–	139'–11"
MAX FACADE MOD. LENGTH:	80 FEET	40'	NC	–	–
MIN. ENTRANCE SPACING:	50 FEET	–	–	–	NA
MAX BUILDING COVERAGE:	90%	19%	–	–	74%
MAX BUILDING FOOTPRINT:	15,000 SF	2,625 S.F.	–	–	12,902 S.F.
MIN. LOT AREA:	NR	17,498 S.F.	–	–	NC
MIN. LOT AREA/DWELLING (LOT AREA/# OF UNITS):	NR	–	–	–	–
MIN. OPEN SPACE :	10%	14%	–	–	14%

NC = NO CHANGE
NA = NOT APPLICABLE

BUILDING DATA:

PROPOSED BUILDING:
10,277 S.F. FOOTPRINT
61 RESIDENTIAL UNITS
(61 1–BEDROOM)
OFFICE SPACE
1 LEVEL OF PARKING



GRAPHIC SCALE

10 0 20 40 60 80 FEET
5 0 5 10 15 20 25 METERS

PORTSMOUTH APPROVAL CONDITIONS NOTE:
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
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Fax (603) 436-2315

NOTES:

1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 107 AS LOT 74.

2) OWNERS OF RECORD:
DAGNY TAGGART LLC
3 PLEASANT STREET SUITE 400
PORTSMOUTH, NH 03801
6162/74
D–17511

3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE JANUARY 29, 2021.

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6) DIMENSIONAL REQUIREMENTS: SEE PORTSMOUTH ZONING ORDINANCE.

7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 107 LOT 74 IN THE CITY OF PORTSMOUTH.

8) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS (±0.2').

9) SEE ARCHITECTURAL PLANS FOR TRASH ENCLOSURE AREA. PICK UP SCHEDULE AS NEEDED TO MAINTAIN CAPACITY.

10) EXISTING SITE RETAINING WALL WILL BE REMOVED, STORED, AND RE–CONSTRUCTED AS SHOWN.

MIXED USE DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/2/21

REVISIONS

STATE OF NEW HAMPSHIRE LAND SURVEYOR No. 738 JOHN R. CHAGNON LICENSED

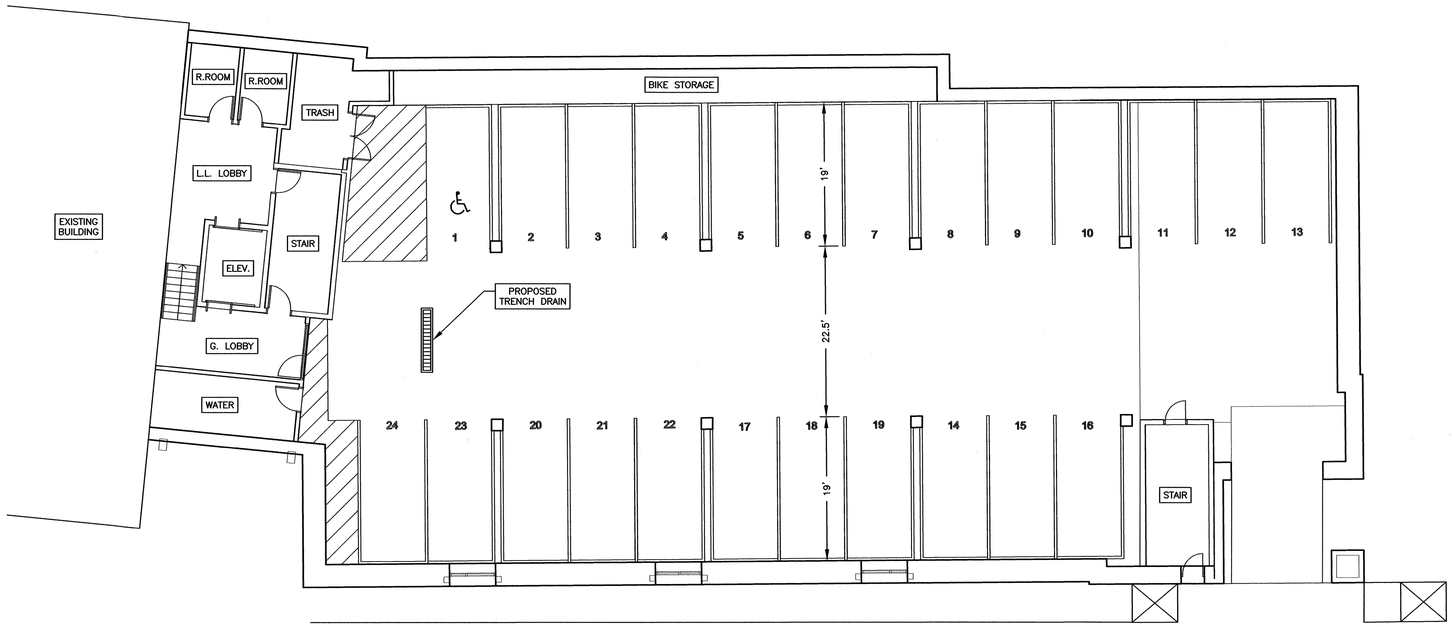
SCALE: 1" = 20' DECEMBER 2020

SITE LAYOUT PLAN

C3

FB 321 PG 72

3059.01



NORTH
2011
TRUE
NAD 83

PORTSMOUTH APPROVAL CONDITIONS NOTE:
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APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN _____ DATE _____

GRAPHIC SCALE

10 5 0 10 20 30 40 FEET
3 0 5 10 METERS

CONDITIONAL USE PARKING PERMIT

CONDITIONAL USE PERMIT TO PROVIDE 24 PARKING SPACES WHERE 40 ARE REQUIRED (59 MICRO UNITS x 0.5 SPACES PER UNIT) + (2 UNITS x 1.0 SPACES PER UNIT) + (61 x 1 VISITOR SPACE PER 5 UNITS) = 44 SPACES REQUIRED. DOD 4 SPACE REDUCTION YIELDS 40 REQUIRED.

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NOTES:

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2) OWNERS OF RECORD:
DAGNY TAGGART LLC
3 PLEASANT STREET SUITE 400
PORTSMOUTH, NH 03801
6162/74
D-17511

3) THE PURPOSE OF THIS PLAN IS TO SHOW THE PARKING FOR THE PROPOSED SITE DEVELOPMENT ON ASSESSOR'S MAP 107 LOT 74 IN THE CITY OF PORTSMOUTH.

MIXED USE DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/2/21

REVISIONS

STATE OF NEW HAMPSHIRE — No. 738 JOHN R. CHAGNON — LICENSED LAND SURVEYOR

SCALE: 1" = 10' DECEMBER 2020

PARKING LEVEL PLAN

C4

FB 321 PG 72

3059.01

UTILITY NOTES:

1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.

2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.

3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.

4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.

5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.

6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.

7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH

8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.

9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.

10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.

11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.

12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.

13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.

14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.

15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.

16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.

17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.

18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.

19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.

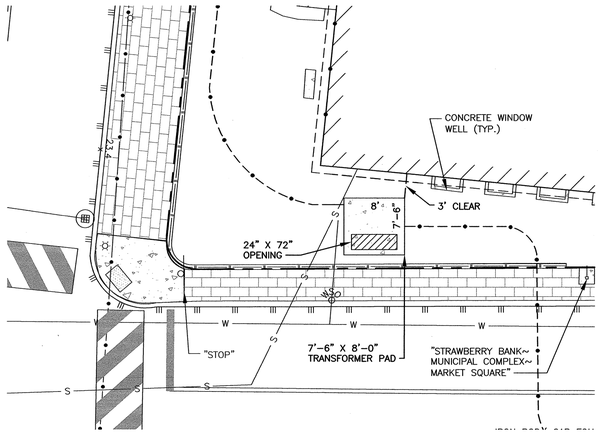
20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.

21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.

22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.

23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.

24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.



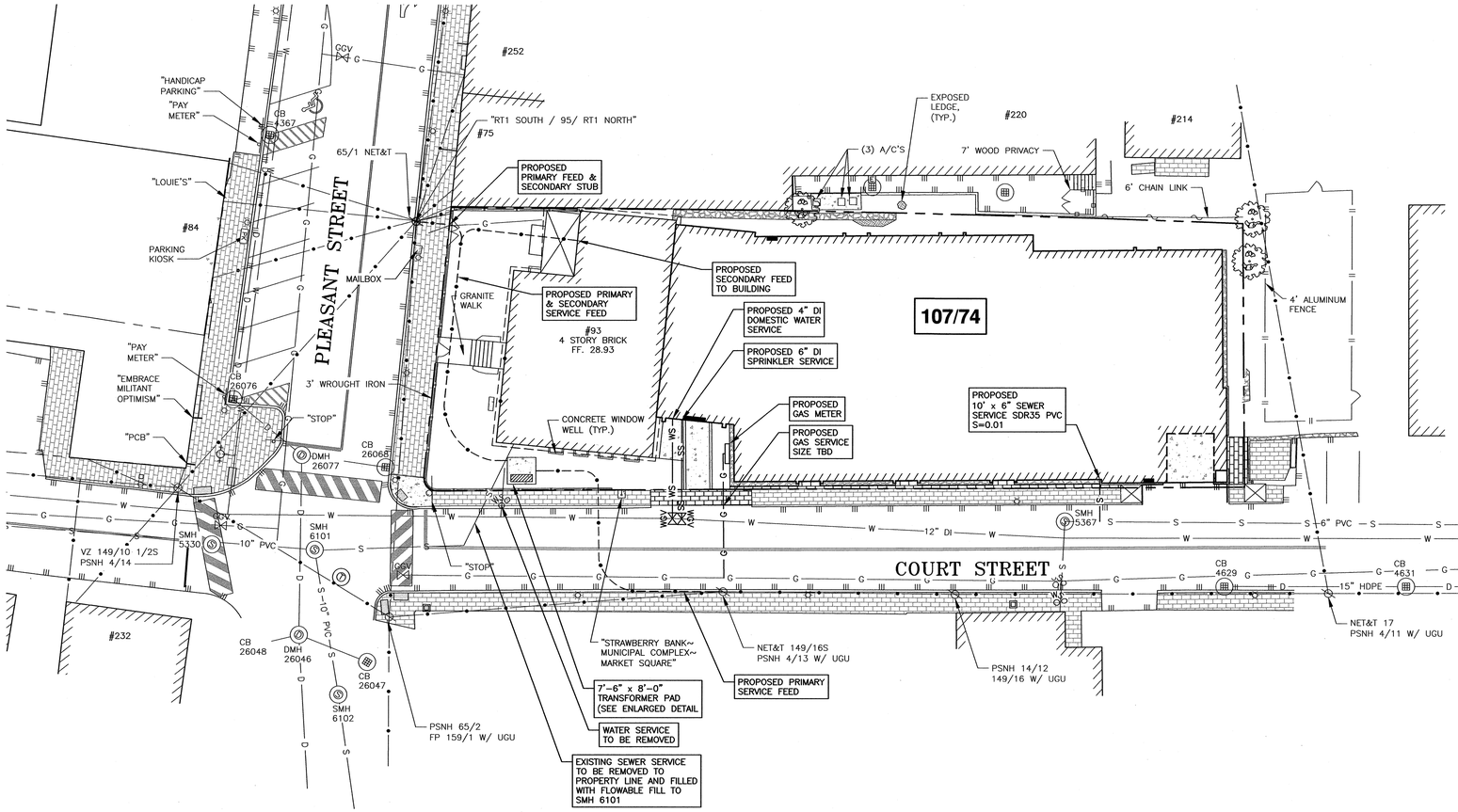
TRANSFORMER DETAIL

GRAPHIC SCALE

10 5 0 10 20 30 40 FEET
3 0 5 10 METERS

SEWER STRUCTURE TABLE			
STRUCTURE	RIM ELEV.	INV. ELEV. IN / INV. ELEV. OUT	DOWN STREAM STRUCTURE
PIPE	PIPE LENGTH, PIPE SLOPE		
SMH 5367	22.34	15.75	SMH 5368
		15.74	
6" PVC	L = 191', SLOPE = 0.016 ft./ft.		
SMH 5330	23.20	15.85	SMH 6101
		15.80	
8" PVC	L = 29', SLOPE = 0.024 ft./ft.		
SMH 6101	23.35	17.89 (E)	SMH 6102
		15.10 (W)	
		15.05 (OUT)	
8" PVC	L = 41', SLOPE = 0.019 ft./ft.		
SMH 6102	22.78	14.28	SMH 893
		14.23	

PROPOSED SEWER CONNECTION			
STRUCTURE	RIM ELEV.	INV. ELEV. IN / INV. ELEV. OUT	PIPE SIZE & TYPE (FROM/TO)
SMH 5367 (EXISTING)	22.34	15.75	
		15.74	6" PVC (5368)
BUILDING CONNECTION		15.67	INV. OUT @ BLDG.
		15.61	INV. @ WYE (PIPE)



GRAPHIC SCALE

10 0 20 40 60 80 FEET
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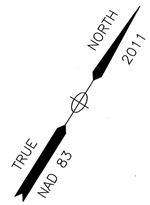

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NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.

5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.

6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.

7) EVERSOURCE WORK ORDER #5127007

8) PROPOSED SEWER FLOW:
OFFICE UNITS:
2 UNITS X 80 GPD/UNIT = 160 GPD
RESIDENTIAL:
61 UNITS X 115 GPD/UNIT = 7,015 GPD
TOTAL PROPOSED FLOW = 7,175 GPD

9) THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE PORTSMOUTH'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR PORTSMOUTH. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

10) COMMUNICATIONS CONDUIT LOCATION SUBJECT TO CONFIRMATION FROM UTILITY PROVIDERS.

MIXED USE DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/2/21

REVISIONS

STATE OF NEW HAMPSHIRE - JOHN R. CHANNON No. 7851 - LICENSED PROFESSIONAL ENGINEER

SCALE: 1" = 20' DECEMBER 2020

UTILITY PLAN **C5**

FB 321 PG 72 3059.01

Plant List - Trees and Shrubs			
ID	Qty	Latin Name	Common Name	Scheduled Size
AML	2	Amelanchier laevis 'Spring Flurry'	Spring Flurry Allegheny Serviceberry	5-6' Ht.
BBG	19	Buxus microphylla 'Baby Gem'	Baby Gem Boxwood	4-4 1/2'
BSF	3	Buxus sempervirens 'Fastigiata'	Fastigiata Boxwood	4-5'
CFF	1	Carpinus betulus 'Frans Fontaine'	Frans Fontaine Hornbeam	2 1/2" Cal.
QGP	9	Quercus palustris 'Green Pillar'	Green Pillar Pin Oak	2 1/2" Cal.
RYP	16	Rhododendron 'Yaku Princess'	Yaku Princess Rhododendron	3-4'
VNW	2	Viburnum nudum 'Winterthur'	Winterthur Smooth Viburnum	3-4'

Plant List - Perennials			
ID	Qty	Latin Name	Common Name	Scheduled Size
ABI	18	Amsonia 'Blue Ice'	Blue Star Flower	1 Gal.
AOS	31	Aster oblongifolius 'October Skies'	October Skies Aster	2 QT
CVM	3	Coreopsis verticillata 'Moonbeam'	Threadleaf Coreopsis	2 QT
CWB	36	Chrysanthemum weyrichii 'White Bomb'	Dwarf Chrysanthemum	2 QT
DIG	18	Digitalis grandiflora 'Carillion'	Yellow Foxglove	2 QT
EPI	36	Epimedium rubrum	Barrenwort	2 QT
GMB	29	Geranium macrorrhizum 'Bevan's'	Cranesbill	2 QT
LVP	24	Lavendula x intermedia 'Phenomenal'	Niko Lavender	2 QT
PKW	5	Paeonia 'Krinkled White'	Single White Jap. Peony	2 Gal.
PPT	6	Paeonia 'President Taft'	Single Jap. Pink Peony	2 Gal.

FERNS TBD

0 10 20 30 40 FT

#252

"RT1 SOUTH / 95/ RT1 NORTH"

#75

EXPOSED LEDGE, (TYP.)

#220

#214

(3) A/C'S

7' WOOD PRIVACY

11-DIG
1-AML
36-EPI
10-RYP
4-ABI
7-GMB

EX. STONE WALL TO REMAIN

5-QGP

6' CHAIN LINK

4-QGP

PLEASANT STREET

MAILBOX
3-PPT
GRANITE WALK TO REMAIN

2-PKW
10-BBG
24" W. DRIP EDGE
PROPOSED FLAG POLE
13-LVP
2-CVM
17-AOS
9-CWB
LAWN
#93
4 STORY BRICK
FF. 28.93
2,625 S.F.
TO REMAIN)

PROPOSED 3' W CRUSHED STONE

COLUMNAR TREES TO BE ALIGNED WITH WINDOWS

FERN BED

PROPOSED IRON FENCE

3'-0"MIN

PROPOSED GATE

4' ALUMINUM FENCE

107/74

PROPOSED 2 STORY WITH A 3RD SHORT STORY BUILDING 10,277 S.F.

3' WROUGHT IRON

LAWN

11-LVP
1-CVM
9-BBG
3-PKW

PROPOSED FLAG POLE
BIKE RACK (TBD)
8" W. TRIM PATTERN
POROUS CONCRETE PAVERS
RAISED CURB AT PLANTING

"STOP"

14-AOS
8-CWB

CONCRETE WINDOW WELL (TYP.)

4' GATE

3-BSF
GAS
1-CFF

PROPOSED LOWER LEVEL GARAGE ENTRANCE LOCATION

RE-USED SITE WALL

3-PPT

1-AML

LAWN

LAWN

7-DIG
6-RYP
16-CWB

2-VNW
4-ABI
6-GMB
3-CWB

FLUSH CURB
NEW CURB

6-ABI
10-GMB

4-ABI
6-GMB

PROPOSED TRANSFORMER PAD

12" W. CRUSHED STONE

PROPOSED IRON FENCE

"STRAWBERRY BANK~ MUNICIPAL COMPLEX~ MARKET SQUARE"

COURT STREET

No.	Date	Issue Notes

Date	4/2/2021
Revision	Revision
Project ID	93 PLEASANT
Drawing Code	Drawing Code
CAD File	93 PLEASANT
Plot Date	00/00/00
Designed By	TP
Drawn By	TC
Checked By	TP
Reviewed By	TP
Submitted By	TP
Project Manager	

Design Firm
terra firma landscape architecture
163 a Court Street
Portsmouth, NH

Consultant

Project Title
93 PLEASANT STREET

Sheet Title
LANDSCAPE PLAN

Scale
1"=10'-0"

Sheet No.
L-1
of
1

EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

IF REQUIRED THE CONTRACTOR SHALL OBTAIN AN **NPDES** PHASE II STORMWATER PERMIT AND SUBMIT A NOTICE OF INTENT (N.O.I) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (**S.W.P.P.P.**) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE **S.W.P.P.P.** AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (**N.O.T.**) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

INSTALL PERIMETER CONTROLS, i.e., SILTSOXX AND CATCH BASIN PROTECTION AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

PLACE FODS AS NEEDED.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED. DEMOLISH BUILDINGS AND FENCES AS NEEDED. REMOVE WALL AND STORE.

ROUGH GRADE SITE.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES UP TO 10' OF THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING.

CONNECT UTILITIES.

PLACE BINDER LAYER OF PAVEMENT FOR SIDEWALKS.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT SIDEWALKS.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT FENCES AND SILTSOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILTSOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS--CONSTRUCT SILT FENCE OR SILTSOXX AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
- A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
- EROSION CONTROL BLANKETS HAVE BEEN INSTALLED

VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREEPING RED FESCUE	50%	100 LBS/ACRE
KENTUCKY BLUEGRASS	50%	

SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)

CREEPING RED FESCUE	42%	
TALL FESCUE	42%	48 LBS/ACRE
BIRDSFOOT TREFOIL	16%	

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS:
MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:
PERENNIAL RYE: 0.7 LBS/1,000 S.F.
MULCH: 1.5 TONS/ACRE

MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.

TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILT FENCE OR SILTSOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

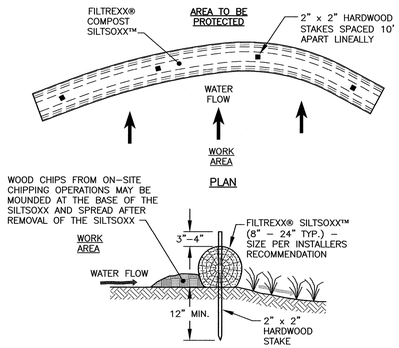
SILT FENCING AND SILTSOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILTSOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

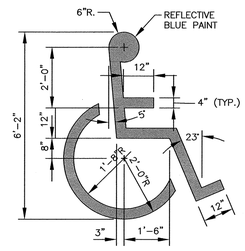
ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



NOTES:
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
2. FILLTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
3. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
4. SILTSOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
5. THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

A / C6 FILTREXX® SILTSOXX™ FILTRATION SYSTEM (AS NEEDED) NTS



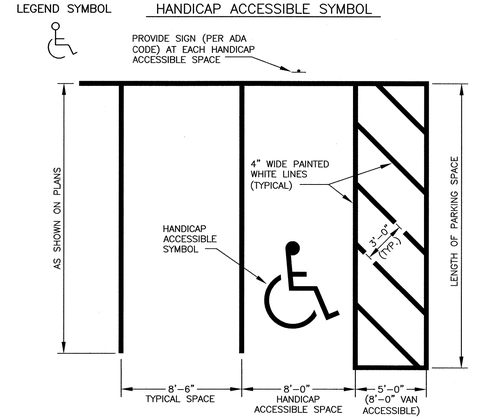
NOTES:

1) SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.

2) SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).

3) ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.

LEGEND SYMBOL



C / C4 HANDICAP PARKING DETAIL NTS

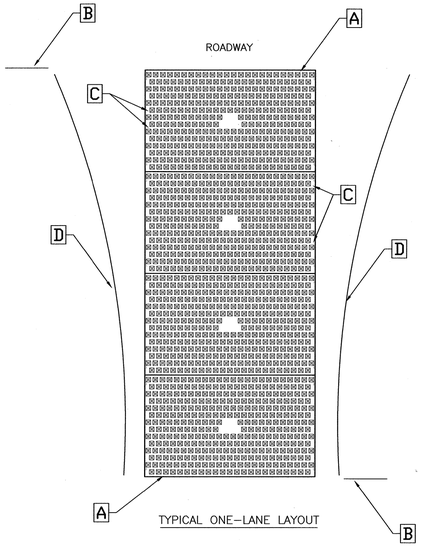
FODS TRACKOUT CONTROL SYSTEM

INSTALLATION:

THE PURPOSE AND DESIGN OF THE FODS TRACKOUT CONTROL SYSTEM IS TO EFFECTIVELY REMOVE MOST SEDIMENT FROM VEHICLE TIRES AS THEY EXIT A DISTURBED LAND AREA ONTO A PAVED STREET. THIS MANUAL IS A PLATFORM FROM WHICH TO INSTALL A FODS TRACKOUT CONTROL SYSTEM. (NOTE: THIS IS NOT A ONE SIZE FITS ALL GUIDE.) THE INSTALLATION MAY NEED TO BE MODIFIED TO MEET THE EXISTING CONDITIONS, EXPECTATIONS, OR DEMANDS OF A PARTICULAR SITE. THIS IS A GUIDELINE, ULTIMATELY THE FODS TRACKOUT CONTROL SYSTEM SHOULD BE INSTALLED SAFELY WITH PROPER ANCHORING AND SIGNS PLACED AT THE ENTRANCE AND EXIT TO CAUTION USERS AND OTHERS.

KEY NOTES:

A. FODS TRACKOUT CONTROL SYSTEM MAT.
B. FODS SAFETY SIGN.
C. ANCHOR POINT.
D. SILT OR ORANGE CONSTRUCTION FENCE.



INSTALLATION:
1. THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
2. CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE OF FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
3. ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
4. THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
8. AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADJOINING MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
9. AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
10. ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
11. NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
12. UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
13. SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

USE AND MAINTENANCE
1. VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
2. DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN AS YOU TRAVEL DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
3. MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
4. THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DE-ICER, ETC. SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

REMOVAL
1. REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
2. STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
3. THE ANCHORS SHOULD BE REMOVED.
4. THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
5. STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.

B / C6 FODS (USE AS REQUIRED) NTS

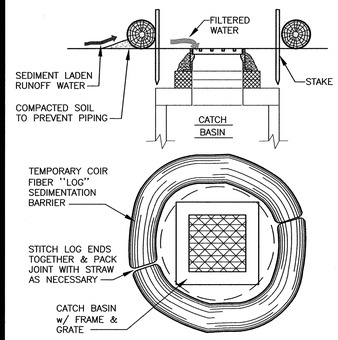
AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).



NOTE:
1. PRIOR TO INSTALLATION, SILT LOGS SHALL BE KEPT DRY AND STORED IN THEIR ORIGINAL WRAPPING.
2. MINIMUM CROSS SECTIONAL DIAMETER OF SILT LOGS: 12".
3. SILT LOGS MAY BE CUT AND RE-STITCHED AS NEEDED PER MANUFACTURERS RECOMMENDATIONS.
4. SILT LOGS SHALL BE INSPECTED AFTER EACH STORM EVENT.
5. REMOVE ACCUMULATED SILT WHEN DEPTH REACHES ONE HALF OF SILT LOG DIAMETER.
6. IF LOGS ARE TOO STIFF TO BEND AROUND CATCH BASIN INLET, THEY MAY BE CUT AND LAID SQUARE.

"SILT LOG" BARRIER AT CATCH BASIN INLET (AS NEEDED) NTS

MIXED USE DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/2/21

REVISIONS

JOHN R. CHAGNON NO. 7851 LICENSED PROFESSIONAL ENGINEER STATE OF NEW HAMPSHIRE

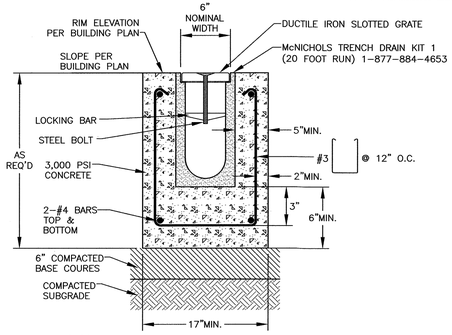
SCALE: AS SHOWN DECEMBER 2020

EROSION PROTECTION NOTES AND DETAILS

D1

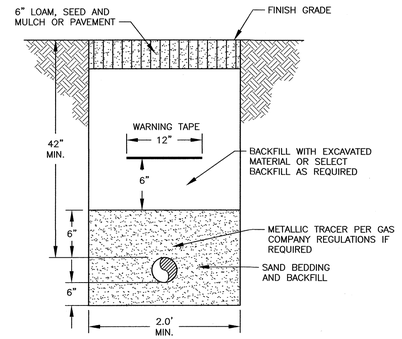
FB 321 PG 72

3059.01



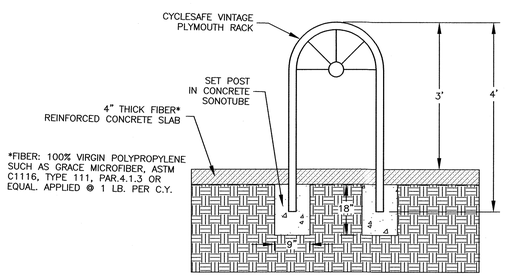
D / C4 TRENCH DRAIN DETAIL

NTS



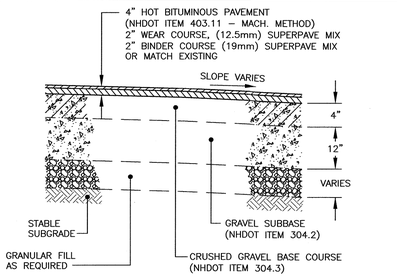
E / C5 GAS SERVICE TRENCH

NTS



F / C3 BIKE RACK

NTS

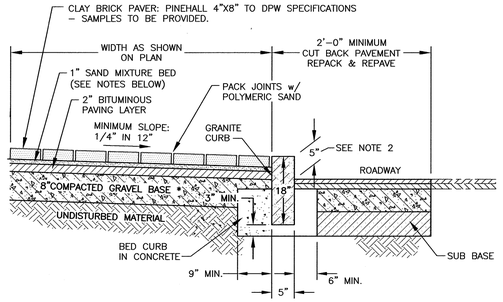


G / C3 TYPICAL PAVEMENT CROSS-SECTION

NTS

CONSTRUCTION NOTE:

EXISTING GRANITE CURB DISTURBED BY CONSTRUCTION SHALL BE REUSED AND ANY MISSING CURB SHALL BE REPLACED WITH NEW CURB MATCHING EXISTING CURB SIZE. NO CURB LESS THAN 3' IN LENGTH WILL BE ALLOWED.



BRICK PAVEMENT NOTES

SCOPE OF WORK:

1) THE WORK SHALL CONSIST OF CONSTRUCTING/RECONSTRUCTING THE SUB-BASE AND CONSTRUCTING A NEW BRICK SIDEWALK AS DIRECTED IN THE FIELD BY THE ENGINEER.
2) REVEAL SHALL BE 5" (COORDINATE WITH PORTSMOUTH DPW).

METHODS OF CONSTRUCTION:

A) ALL LABOR AND MATERIALS SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 608, AND CITY OF PORTSMOUTH SPECIFICATIONS FOR NEW BRICK SIDEWALK, SECTION 6.

B) ALL BRICKS SHALL CONFORM TO THE REQUIREMENTS OF ASTM STANDARD SPECIFICATIONS FOR BUILDING BRICKS: CLASS SX, TYPE 1, APPLICATION PX. THE BRICKS SHALL BE NO. 1, WIRE CUT TYPE FOR PAVING, WITH A COMPRESSIVE STRENGTH OF NOT LESS THAN 6,000 POUNDS PER SQUARE INCH. THE BRICKS SHALL NOT BE CORED OR HAVE FROGS AND SHALL BE OF A STANDARD SIZE (2.25" X 4 X 8").

C) EXCAVATION FOR SIDEWALKS SHALL BE AT A DEPTH OF 10 INCHES BELOW FINISH GRADE. IN AREAS NOT BUTTING CURBING OR BUILDINGS, THE EXCAVATION SHALL BE 6 INCHES WIDER THAN THE FINISHED SIDEWALK WIDTH. AT ALL DRIVE CROSSINGS, THE DEPTH OF EXCAVATION SHALL BE INCREASED ACCORDINGLY. THE CONTRACTOR SHALL PROVIDE NEAT AND SQUARE CUTTING OF EXISTING ASPHALT ROAD SURFACE AS NEEDED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT THE CONTRACTOR'S OWN EXPENSE.

D) THE BASE MATERIAL SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 100% PASSING THE 3 INCH SIEVE, 95% TO 100% PASSING THE 2 INCH SIEVE, 55% TO 85% PASSING THE 1 INCH SIEVE, AND 27% TO 52% PASSING THE NO. 4 SIEVE. AT LEAST 50% OF THE MATERIALS RETAINED ON THE 1 INCH SIEVE SHALL HAVE A FRACTURED FACE. THE BASE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE DEPTH SPECIFIED OR DIRECTED. IN THE WAY OF ALL DRIVE CROSSINGS THE BASE WILL BE INCREASED TO A COMPACTED DEPTH OF 12 INCHES. GRAVEL REQUIREMENTS FOR RECONSTRUCTION WILL BE AS DIRECTED, BASED ON SITE CONDITIONS. THE WORK INCLUDES BACKING UP ANY AND ALL CURB BEING INSTALLED BY OTHERS ON BOTH SIDES.

E) THE CLAY BRICK PAVERS SHALL BE LAID IN A 1 INCH BED OF A SAND MIXTURE COMPRISED OF: 3 PARTS SAND MIXED WITH 1 PART PORTLAND CEMENT.

F) THE CONTRACTOR SHALL LAY THE BRICKS SO THAT APPROXIMATELY 4.5 BRICKS SHALL COVER ONE SQUARE FOOT.

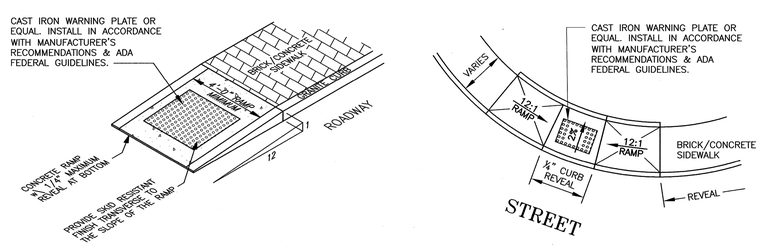
G) THE SIDEWALK SHALL PITCH TOWARDS THE STREET AS SHOWN ON THE GRADING PLAN.

H) IN AREAS WHERE THE FRONT OF THE BRICK SIDEWALK IS NOT ADJACENT TO GRANITE CURBING, THE CONTRACTOR SHALL INSTALL EDGING TO HOLD THE BRICKS IN PLACE. SUCH EDGING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.

I) THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE BRICKS FOR APPROVAL BY THE CITY BEFORE BRICKS ARE INSTALLED.

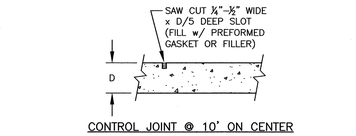
H / C3 BRICK SIDEWALK w/ VERTICAL GRANITE CURB (STONE DUST BEDDING OVER BITUMINOUS PAVING)

NTS

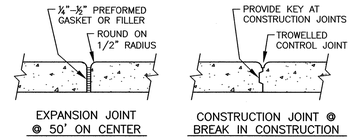


I / C3 TYPICAL SIDEWALK TIP DOWNS

NTS

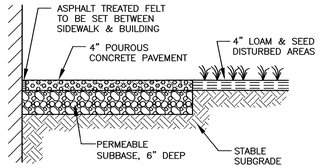


CONTROL JOINT @ 10' ON CENTER



EXPANSION JOINT @ 50' ON CENTER

CONSTRUCTION JOINT @ BREAK IN CONSTRUCTION



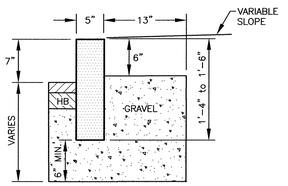
J / C3 POROUS CONCRETE WALK

NTS

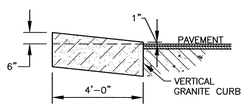
MIN. LENGTH OF CURB STONES 3FT.
MAX. LENGTH OF CURB STONES 10FT.
MAX. LENGTH OF STRAIGHT CURB STONES LAID ON CURVES SEE CHART

NOTE: ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATE LENGTH.

Radius	Max. length
21'	3'
22' - 28'	4'
29' - 35'	5'
36' - 42'	6'
43' - 49'	7'
50' - 56'	8'
57' - 60'	9'
over 60'	10'

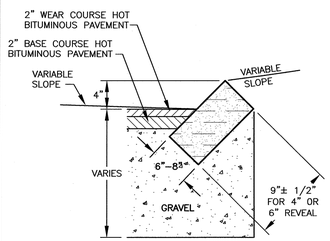


VERTICAL GRANITE CURB



NOTE: JOINTS BETWEEN STONES TO BE MORTARED

GRANITE CURB END



SLOPE GRANITE CURB

MIN. LENGTH OF STRAIGHT CURB STONES: 18"
MAX. LENGTH OF STRAIGHT CURB STONES: 8FT.
MAX. LENGTH OF STRAIGHT STRAIGHT CURB STONES LAID ON CURVE: SEE CHART

Radius for stones with square joints	Maximum length
16' - 28'	6" - 1'
29' - 41'	2'
42' - 55'	3'
56' - 68'	4'
69' - 82'	5'
83' - 96'	6'
97' - 110'	7'
over 110'	8'

K / C3 GRANITE CURBING DETAILS

NTS

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Griffin Road - Unit 3
Portsmouth, N.H. 03801-7114
Tel (603) 430-9282
Fax (603) 436-2315

NOTES:

1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.

2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

MIXED USE DEVELOPMENT
93 PLEASANT STREET
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/2/21

REVISIONS

JOHN R. CHAGNON NO. 7651 LICENSED PROFESSIONAL ENGINEER STATE OF NEW HAMPSHIRE

SCALE: AS SHOWN DECEMBER 2020

DETAILS D2

FB 321 PG 72

3059.01

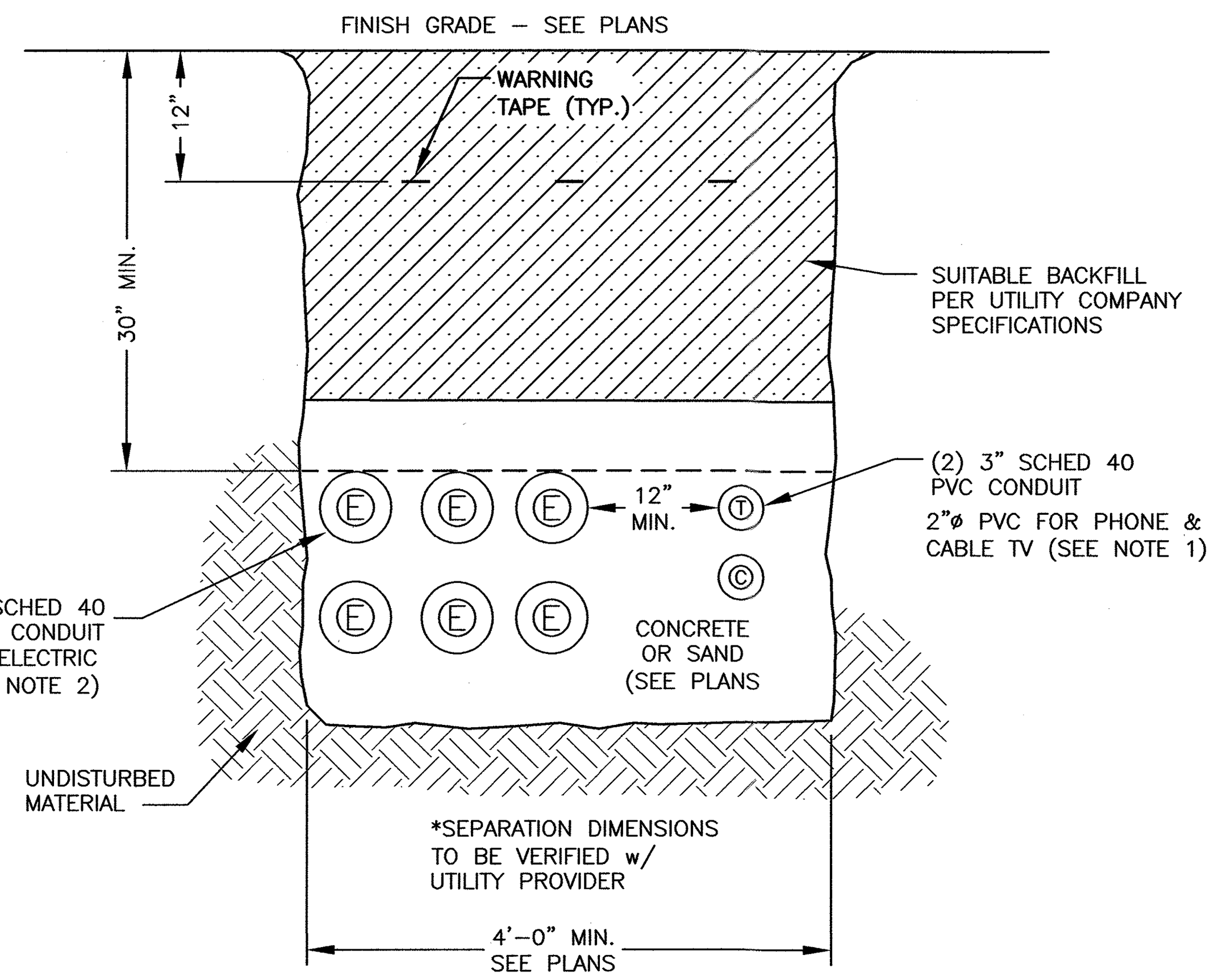
NOTES:
1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCHED. 40 FOR THE REMAINDER.

2) NORMAL CONDUIT SIZES FOR PSNH ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.

3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)

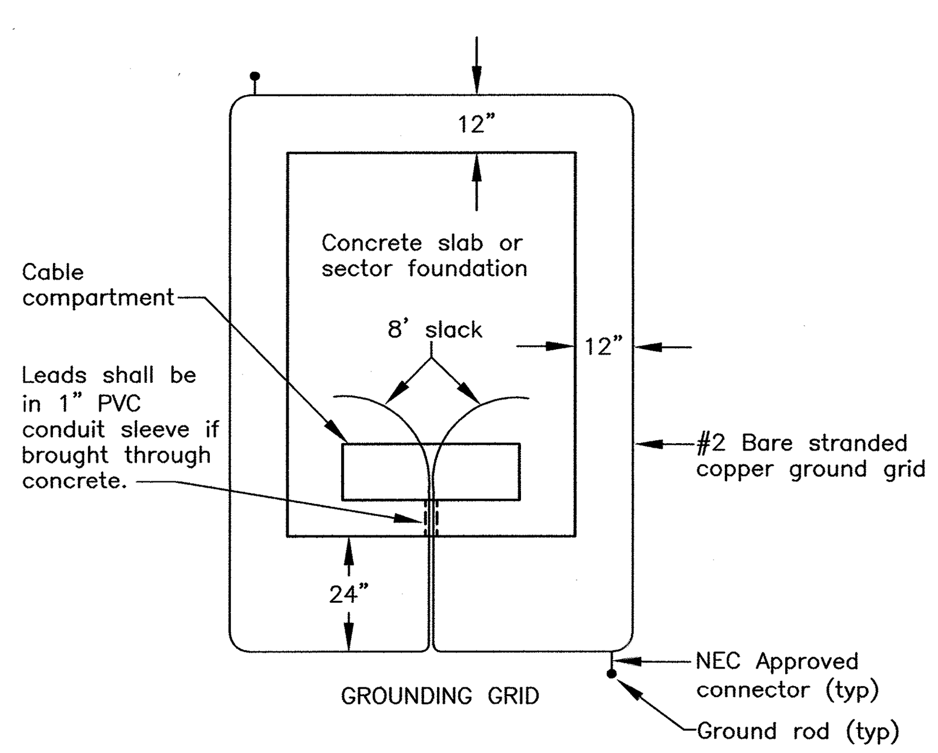
4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT

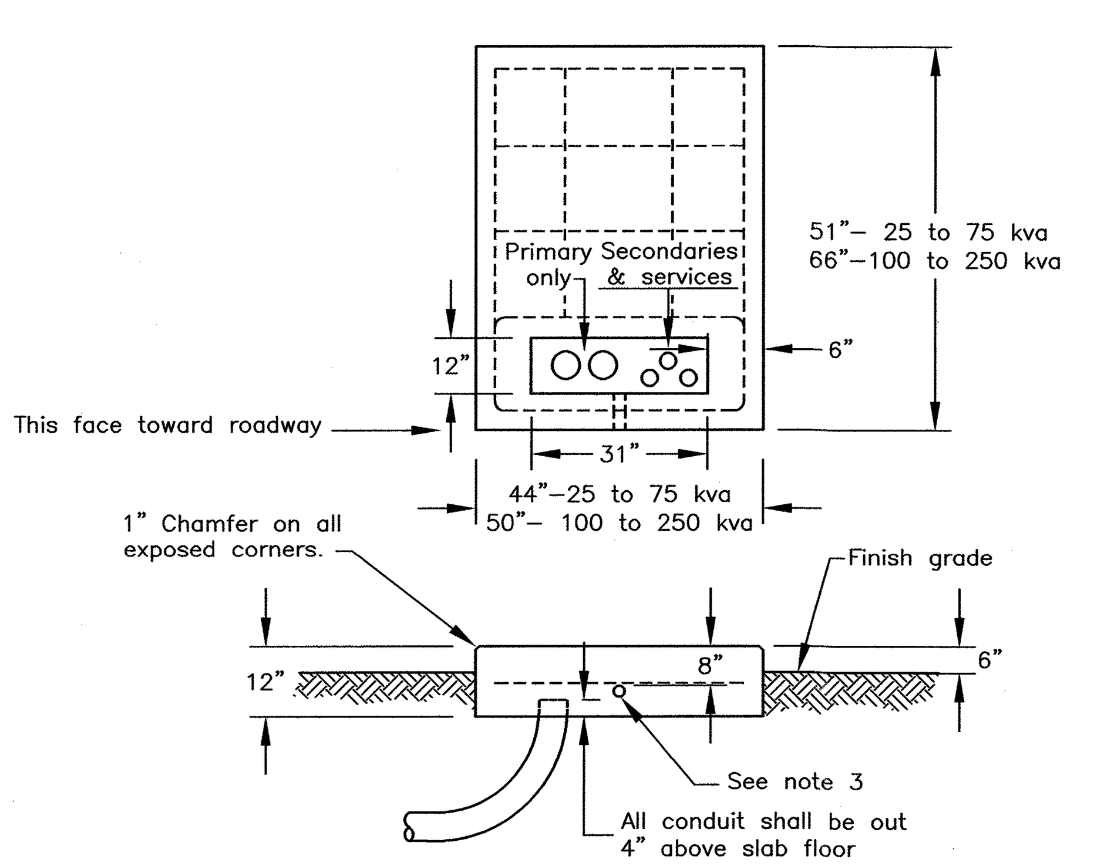
5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANY'S PRIOR TO ANY CONSTRUCTION.



L / C5 BURIED ELEC/COMM CABLE

NTS



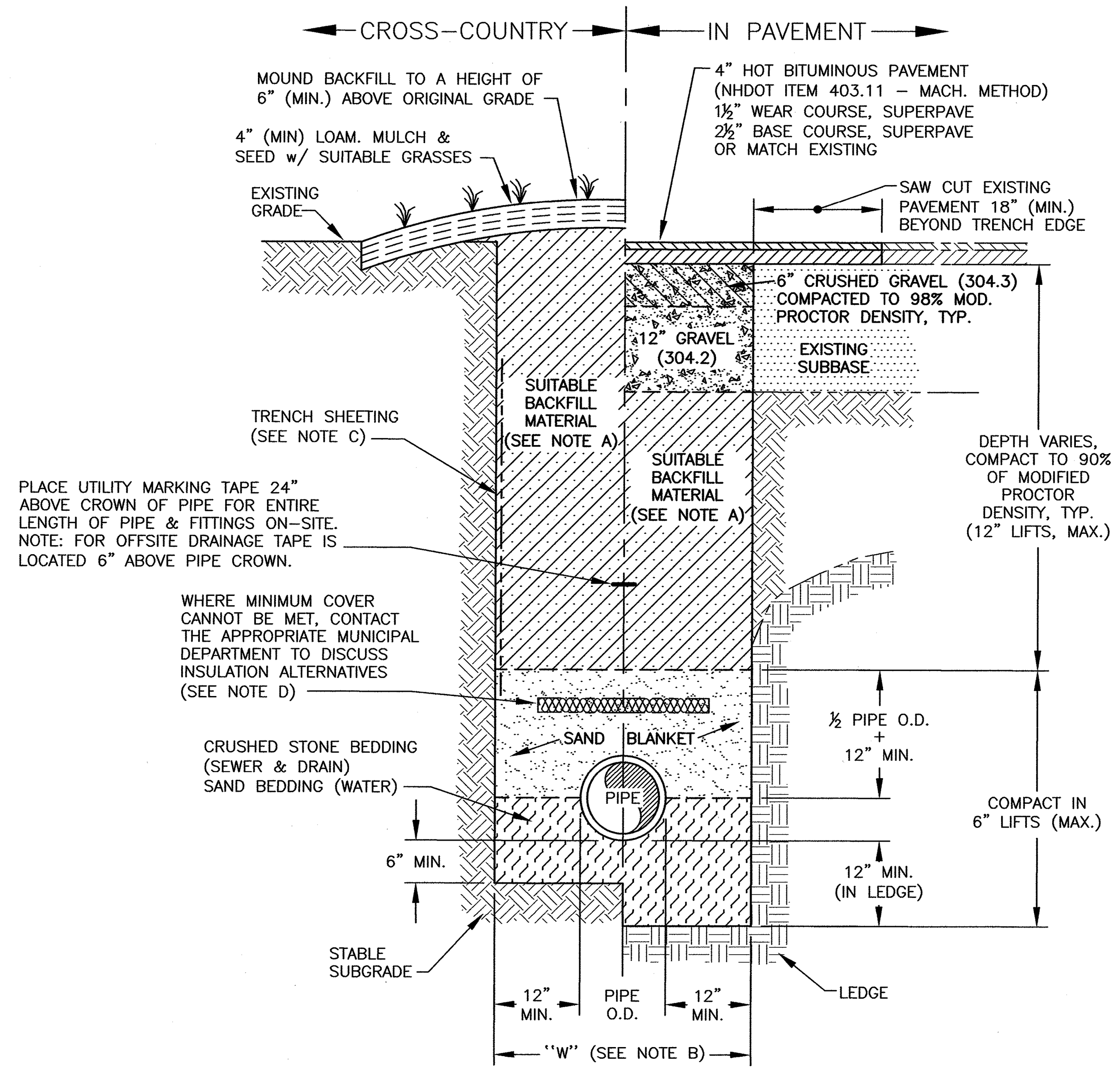


NOTES
1. See sheet "Requirements for Padmounted Transformer Slab Details".
2. All reinforcing to be #6 bars.
3. 1" PVC conduit sleeve for ground grid leads.
4. The ground grid shall be supplied and installed by the customer and is to be buried at least 12" below grade. Eight feet of extra wire for each ground grid leg shall be left exposed in the cable compartment to allow for the connection to the transfomer. the two 8' ground rods may be either galvanized steel or copperweld and they shall be connected to the grid with NEC approved connectors.

M / C5 TRANSFORMER PAD

PSNH

NTS



TRENCH NOTES:
A) TRENCH BACKFILL:
– IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.

– IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.

B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D..

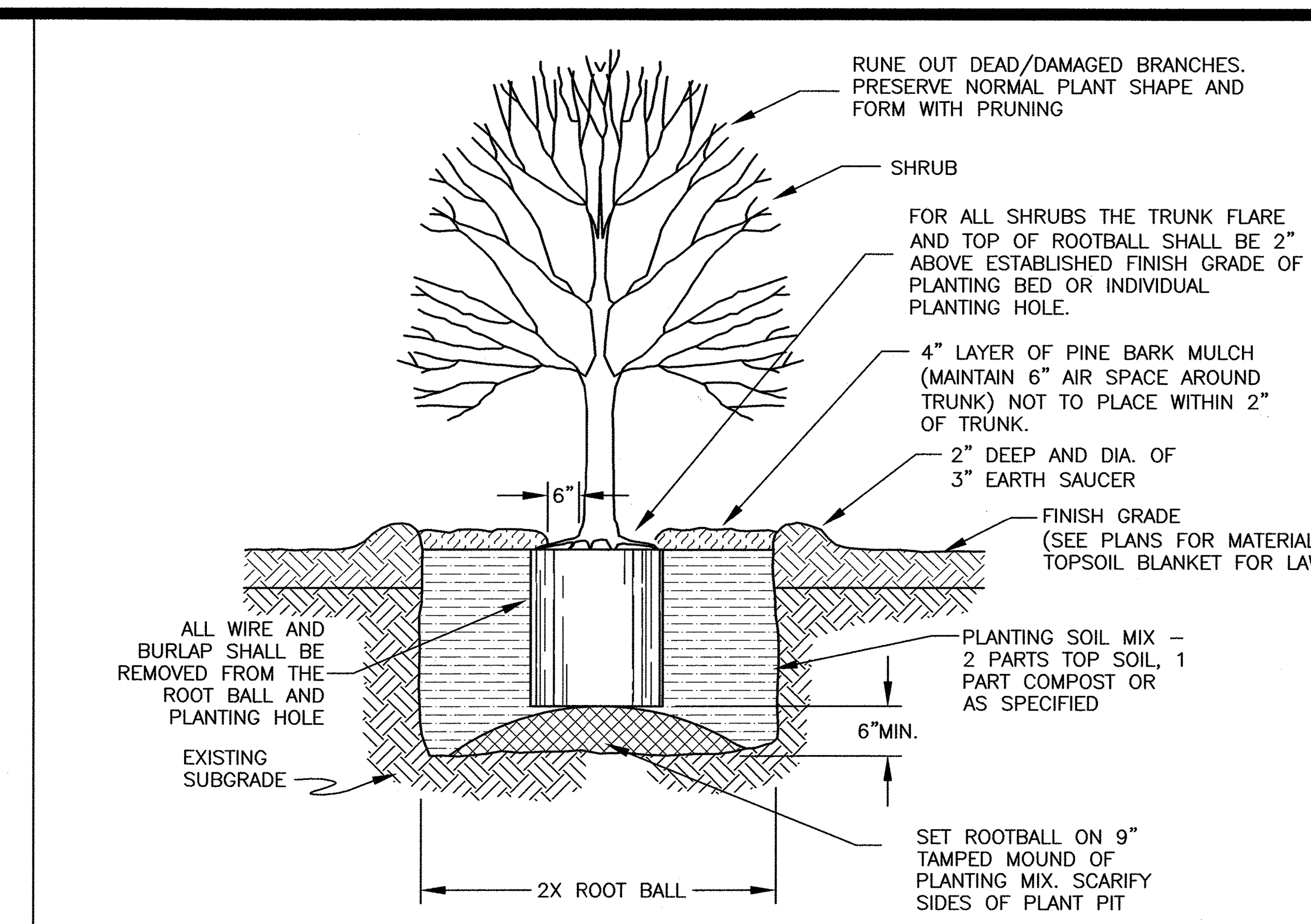
C) TRENCH SHEETING:
THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFE EXCAVATION PRACTICES.

D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):
5' MINIMUM FOR SEWER (IN PAVEMENT)
4' MINIMUM FOR SEWER (CROSS COUNTRY)
3' MINIMUM FOR STORMWATER DRAINS
5' MINIMUM FOR WATER MAINS

E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.

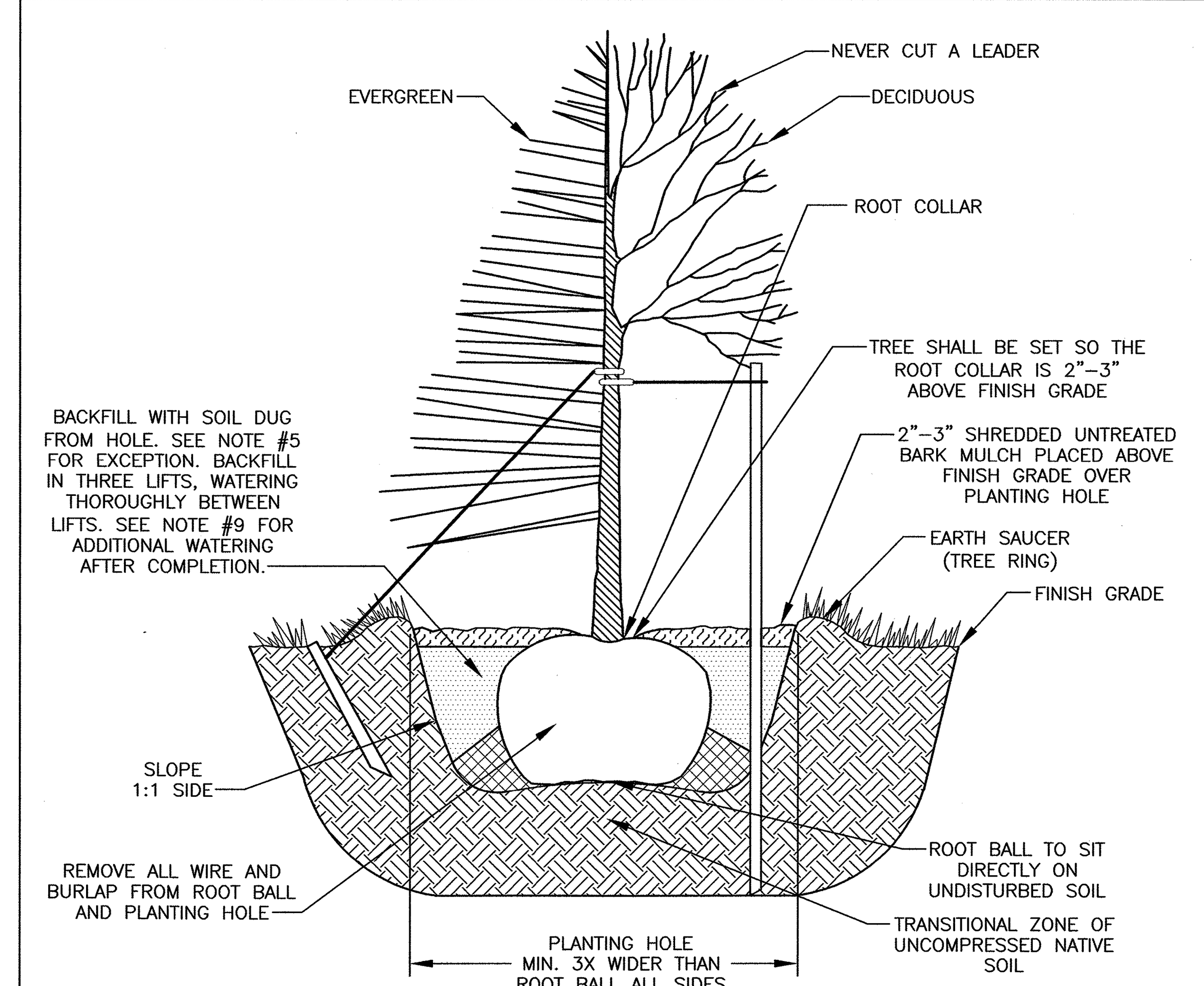
N / C5 TYPICAL PIPE TRENCH

NTS



O / L1 SHRUB PLANTING DETAIL

NTS



P / L1 TREE PLANTING DETAIL

NTS

CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS

THE BASE OF THE CITY OF PORTSMOUTH TREE PLANTING REQUIREMENTS IS THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING. ANSI A300 PART 6 LAYS OUT TERMS AND BASIC STANDARDS AS SET FORTH BY INDUSTRY BUT IS NOT THE "END ALL" FOR THE CITY OF PORTSMOUTH. THE FOLLOWING ARE THE CITY OF PORTSMOUTH, NH TREE PLANTING REQUIREMENTS THAT ARE IN ADDITION TO OR THAT GO BEYOND THE ANSI A300 PART 6.

1. ALL PLANTING HOLES MUST BE DUG BY HAND– NO MACHINES. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE NEW PLANTING PITS, PLANTING BEDS WITH GRANITE CURBING, AND PLANTING SITES WITH SILVA CELLS ARE BEING CREATED. IF A MACHINE IS USED TO DIG IN ANY OF THESE SITUATIONS AND PLANTING DEPTH NEEDS TO BE RAISED THE MATERIAL IN THE BOTTOM OF THE PLANTING HOLE MUST BE FIRMED WITH MACHINE TO PREVENT SINKING OF THE ROOT BALL.
2. ALL WIRE AND BURLAP SHALL BE REMOVED FROM THE ROOT BALL AND PLANTING HOLE.
3. THE ROOT BALL OF THE TREE SHALL BE WORKED SO THAT THE ROOT COLLAR OF THE TREE IS VISIBLE AND NO GIRDLING ROOTS ARE PRESENT.
4. THE ROOT COLLAR OF THE TREE SHALL BE 2"–3" ABOVE GRADE OF PLANTING HOLE FOR FINISHED DEPTH.
5. ALL PLANTINGS SHALL BE BACKFILLED WITH SOIL FROM THE SITE AND AMENDED NO MORE THAN 20% WITH ORGANIC COMPOST. THE ONLY EXCEPTIONS ARE NEW CONSTRUCTION WHERE ENGINEERED SOIL IS BEING USED IN CONJUNCTION WITH SILVA CELLS AND WHERE NEW PLANTING BEDS ARE BEING CREATED.
6. ALL PLANTINGS SHALL BE BACKFILLED IN THREE LIFTS AND ALL LIFTS SHALL BE WATERED SO THE PLANTING WILL BE SET AND FREE OF AIR POCKETS– NO EXCEPTIONS.
7. AN EARTH BERM SHALL BE PLACED AROUND THE PERIMETER OF THE PLANTING HOLE EXCEPT WHERE CURBED PLANTING BEDS OR PITS ARE BEING USED.
8. 2"–3" OF MULCH SHALL BE PLACED OVER THE PLANTING AREA.
9. AT THE TIME THE PLANTING IS COMPLETE THE PLANTING SHALL RECEIVE ADDITIONAL WATER TO ENSURE COMPLETE HYDRATION OF THE ROOTS, BACKFILL MATERIAL, AND MULCH LAYER.
10. STAKES AND GUYS SHALL BE USED WHERE APPROPRIATE AND/OR NECESSARY. GUY MATERIAL SHALL BE NON-DAMAGING TO THE TREE.
11. ALL PLANTING STOCK SHALL BE SPECIMEN QUALITY, FREE OF DEFECTS, AND DISEASE OR INJURY. THE CITY OF PORTSMOUTH, NH RESERVES THE RIGHT TO REFUSE/REJECT ANY PLANT MATERIAL OR PLANTING ACTION THAT FAILS TO MEET THE STANDARDS SET FORTH IN THE ANSI A300 PART 6 STANDARD PRACTICES FOR PLANTING AND TRANSPLANTING AND/OR THE CITY OF PORTSMOUTH, NH PLANTING REQUIREMENTS.

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Fax (603) 436-2315

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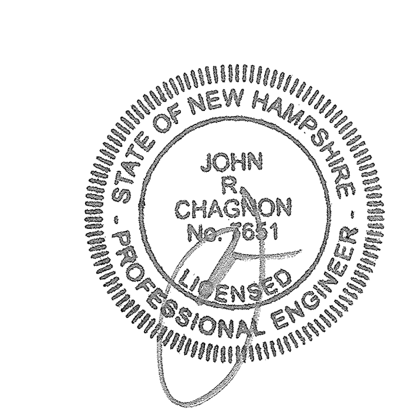
MIXED USE DEVELOPMENT 93 PLEASANT STREET PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	4/2/21

REVISIONS



SCALE: AS SHOWN

DECEMBER 2020

DETAILS

D3

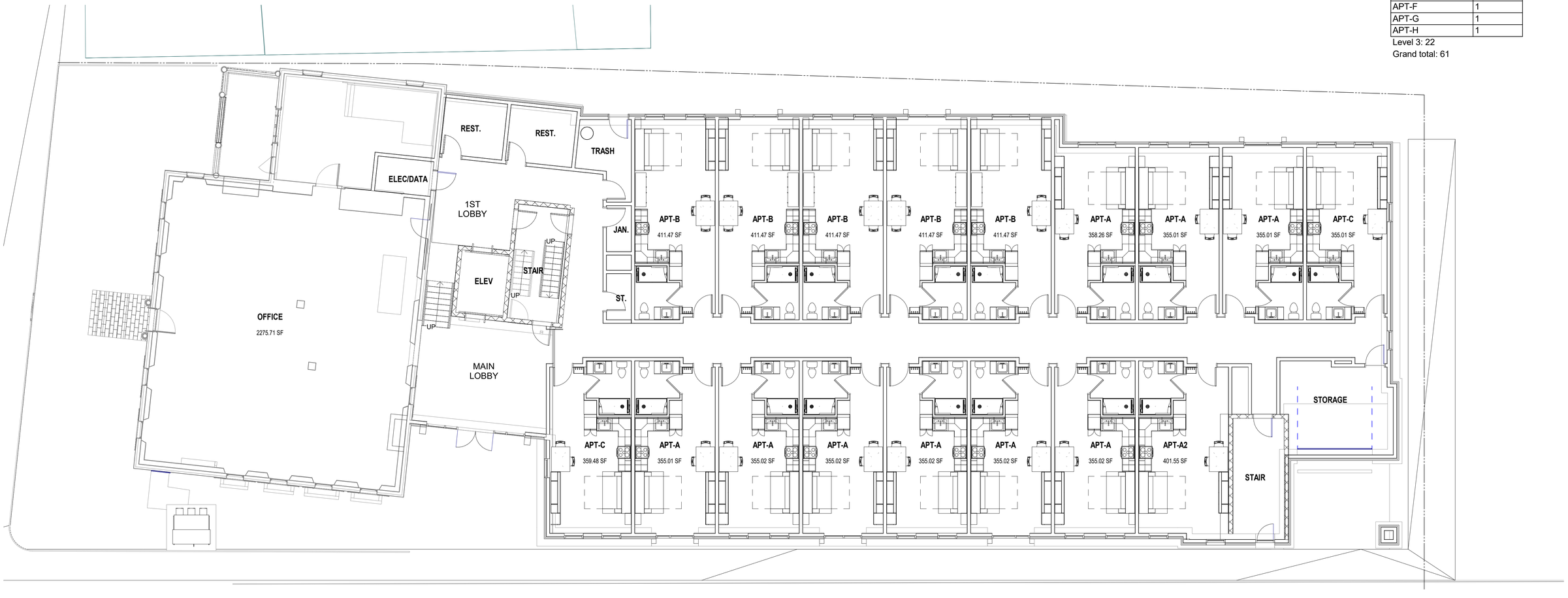
FB 321 PG 72

3059.01

1 CONCEPTUAL LOWER LEVEL
1/8" = 1'-0"

PROCON
CONNECT • CREATE • CONSTRUCT
PO BOX 4430
MANCHESTER NH 03108
603.623.8811
PROCONINC.COM

APARTMENT COUNT	
Name	Count
APT-A	9
APT-A2	1
APT-B	5
APT-C	2
Level 1: 17	
APT-A	9
APT-A2	1
APT-B	5
APT-C	2
APT-D	1
APT-E	1
APT-F	1
APT-G	1
APT-H	1
Level 2: 22	
APT-A(M)	9
APT-A2(M)	1
APT-B(M)	5
APT-C(M)	2
APT-D(M)	1
APT-E	1
APT-F	1
APT-G	1
APT-H	1
Level 3: 22	
Grand total: 61	



1 CONCEPTUAL 1ST FLOOR
1/8" = 1'-0"

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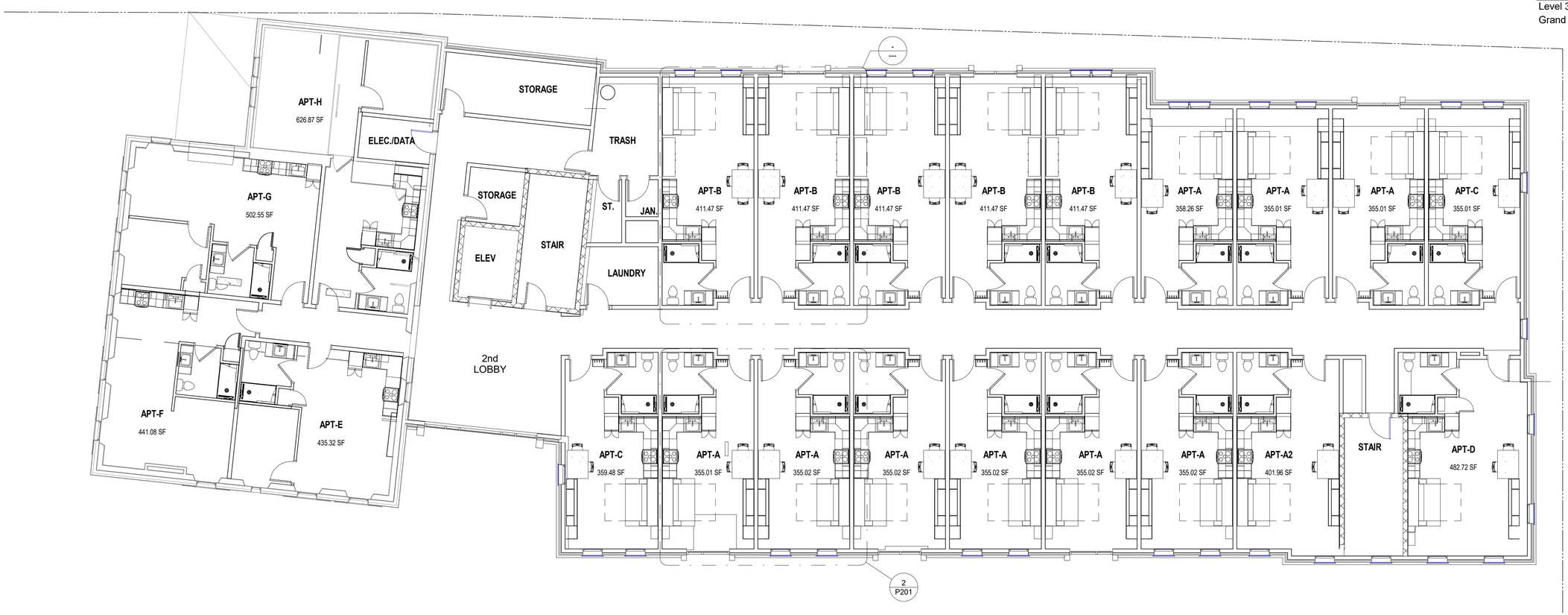
MANCHESTER NH 03108
603.623.8811
PROCONINC.COM

APARTMENT COUNT	
Name	Count
APT-A	9
APT-A2	1
APT-B	5
APT-C	2
Level 1: 17	
APT-A	9
APT-A2	1
APT-B	5
APT-C	2
APT-D	1
APT-E	1
APT-F	1
APT-G	1
APT-H	1
Level 2: 22	
APT-A(M)	9
APT-A2(M)	1
APT-B(M)	5
APT-C(M)	2
APT-D(M)	1
APT-E	1
APT-F	1
APT-G	1
APT-H	1
Level 3: 22	
Grand total: 61	



1 CONCEPTUAL 2ND FLOOR

1/8" = 1'-0"

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PO BOX 4430
MANCHESTER NH 03108
603.623.8811
PROCONINC.COM

APARTMENT COUNT	
Name	Count
APT-A	9
APT-A2	1
APT-B	5
APT-C	2
Level 1: 17	
APT-A	9
APT-A2	1
APT-B	5
APT-C	2
APT-D	1
APT-E	1
APT-F	1
APT-G	1
APT-H	1
Level 2: 22	
APT-A(M)	9
APT-A2(M)	1
APT-B(M)	5
APT-C(M)	2
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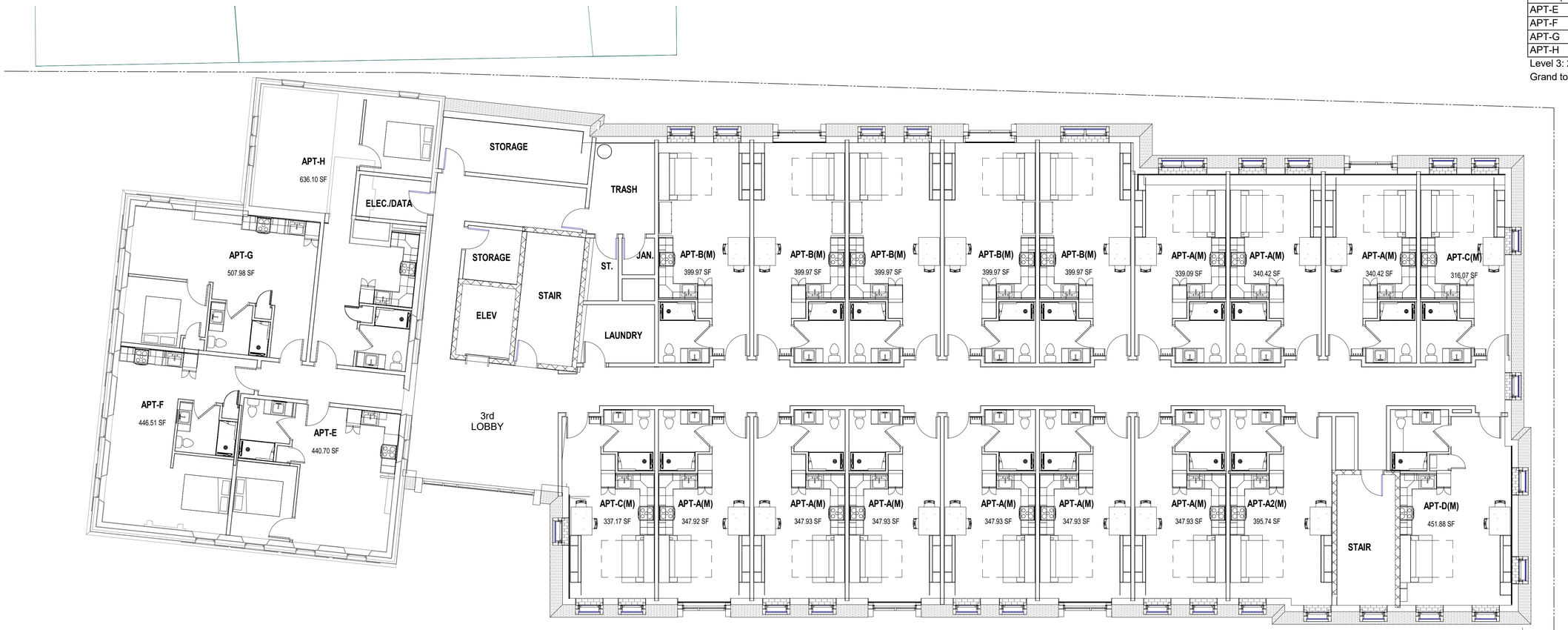
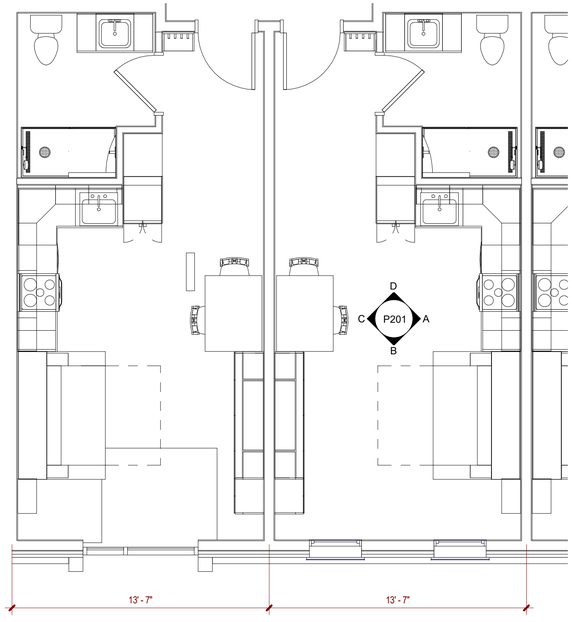
APT-F	1
APT-G	1
APT-H	1
Level 3: 22	
Grand total: 61	



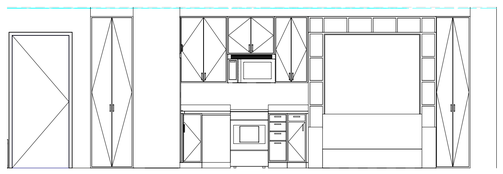
1 CONCEPTUAL 3RD FLOOR
1/8" = 1'-0"

PROCON
CONNECT - CREATE - CONSTRUCT
PO BOX 4430
MANCHESTER NH 03108
603.623.8811
PROCONINC.COM



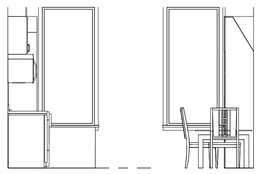
2 PRESENTATION - UNIT A

1/4" = 1'-0"



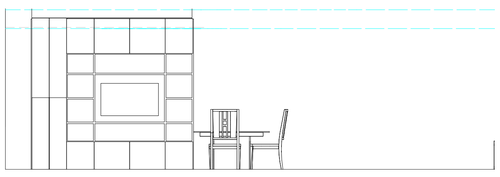
A PRESENTATION - UNIT ELEVATION - A

1/4" = 1'-0"



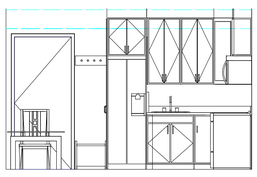
B PRESENTATION - UNIT ELEVATION - B

1/4" = 1'-0"



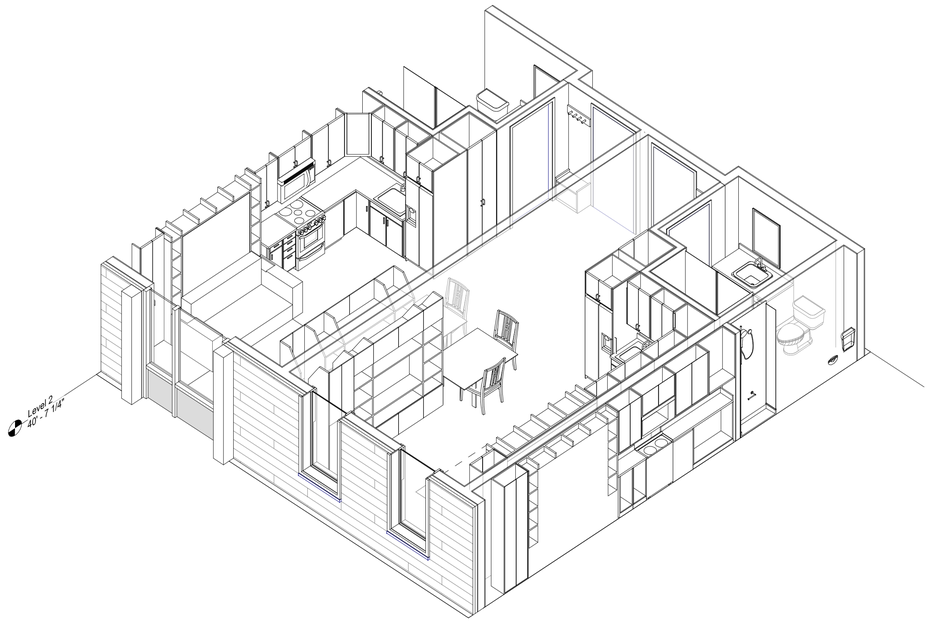
C PRESENTATION - UNIT ELEVATION - C

1/4" = 1'-0"



D PRESENTATION - UNIT ELEVATION - D

1/4" = 1'-0"



1 PRESENTATION 3D UNIT (VIEW 1)

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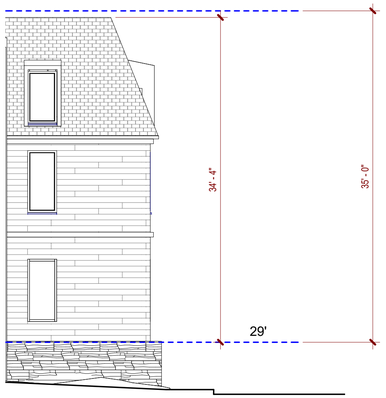
4 CONCEPTUAL ELEVATIONS - WEST
1/8" = 1'-0"



3 CONCEPTUAL ELEVATIONS - WEST (NEW)
1/8" = 1'-0"

1 CONCEPTUAL ELEVATIONS - SOUTH
1/8" = 1'-0"

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2 CONCEPTUAL ELEVATIONS - EAST

1/8" = 1'-0"

1 CONCEPTUAL ELEVATIONS - NORTH

1/8" = 1'-0"

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93 PLEASANT ST PORTSMOUTH

P303 - CONCEPTUAL STREET VIEWS

04/02/2021

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93 PLEASANT ST PORTSMOUTH

P304 - CONCEPTUAL STREET VIEWS

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93 PLEASANT ST PORTSMOUTH

P305 - CONCEPTUAL NORTH VIEW

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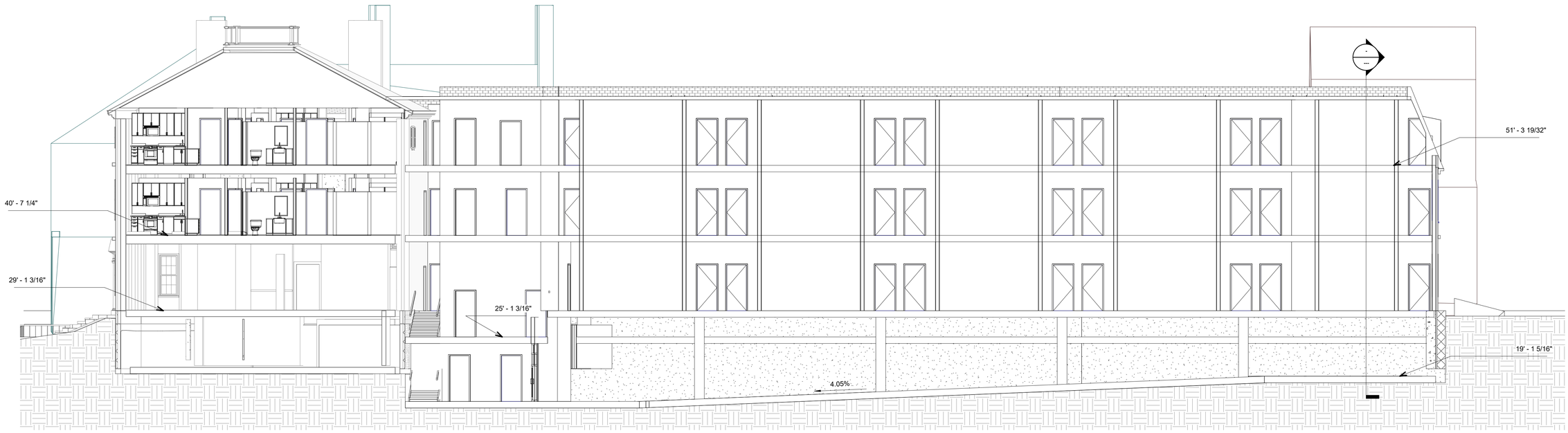

93 PLEASANT ST PORTSMOUTH

P401 - CONCEPTUAL BUILDING SECTION

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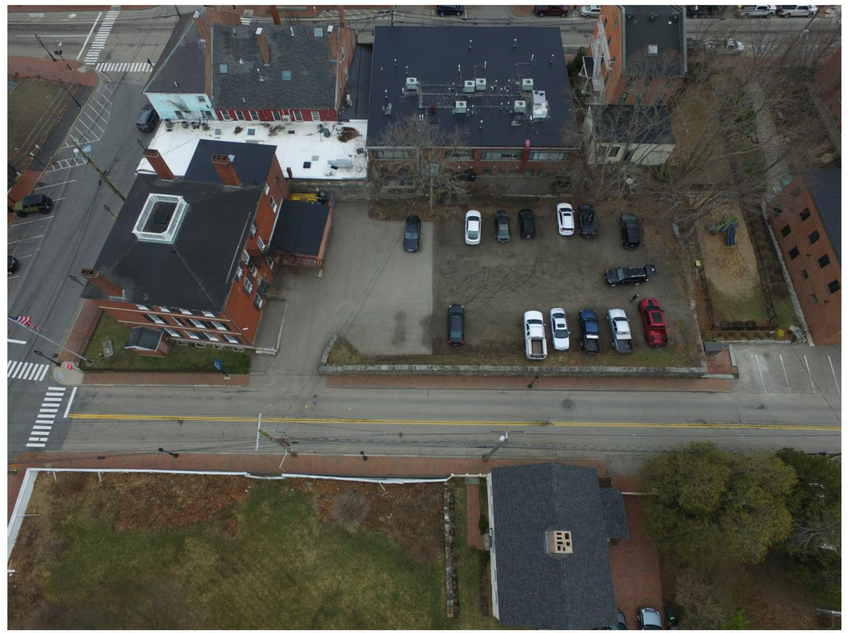


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