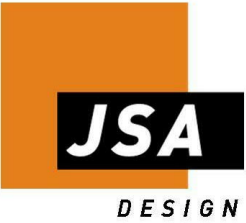


93 PLEASANT STREET
TREADWELL-JENNESS HOUSE
EXTERIOR RESTORATION

PORTSMOUTH, NEW HAMPSHIRE
HISTORIC DISTRICT COMMISSION
PUBLIC HEARING
AUGUST 2021



HDC DRAWING SHEET LIST	
SHT.NO.	SHEET DESCRIPTION
A1.1	COVER SHEET
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A3.3	EXTERIOR ELEVATIONS
A3.4	EXTERIOR ELEVATIONS
A4.1	WINDOW ELEVATIONS
A4.2	WINDOW ELEVATIONS
A4.3	WINDOW SECTIONS
A5.1	MATERIALS - WINDOW
A5.2	MATERIALS - WINDOW
A5.3	ROOFING
A5.4	ROOFING



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- ORDINARY MAINTENANCE REPAIR NOTES:
- A. METAL PERIMETER FENCE AND GATES TO BE CLEANED AND REPAIRED AS NECESSARY. REPAINT, TYP.
 - B. PORCH RAILINGS, POSTS AND BALUSTERS TO BE STRIPPED, CLEANED & REPAIRED AS REQUIRED. PAINTED, TYP.
 - C. FRONT ENTRY STEPS AT PORCH TO BE CLEANED AND REPAIRED AS REQUIRED.
 - D. STRIP, CLEAN AND REPAIR PORCH AS REQUIRED. REPAINT, TYP.
 - E. FRONT ENTRY STEPS TO BE RELAID TO CORRECT GAPS BETWEEN STEPS AND FROM STEPS TO BUILDING. CLEAN & REPAIR AS REQUIRED. INSTALL WROUGHT IRON RAILINGS AT STEPS.
 - F. REPAIR CONCRETE WINDOW-WELL WALL @ LOWER FLOOR WINDOWS OR REPLACE TO MATCH EXISTING.
 - G. BRICK TO BE REPAIRED AND REPOINTED AS REQUIRED, TYP. AT ENTIRETY OF EXTERIOR OF BUILDING. REPLACE AS NECESSARY. MORTAR JOINTS TO BE FIXED TO MATCH ORIGINAL MORTAR JOINTS IN COLOR AND SIZE.
 - H. ALL WOOD SHUTTERS TO BE REMOVED & TO BE SAVED FOR REUSE. CLEAN & REPAIR AS REQUIRED. REPAINT TO ORIGINAL COLOR, TYP.
 - I. PROVIDE TEMPORARY NEW LOCKS FOR EXTERIOR DOORS ON EAST ELEVATION UNTIL PHASE 2. COORDINATE WITH PHASE 2 WORK.
 - J. EAGLE ABOVE FRONT ENTRY TO BE REMOVED TO PREVENT DAMAGE. REATTACH EAGLE TO BUILDING IN SAME LOCATION ABOVE FRONT ENTRY DOOR WHEN ELEVATION REPAIRS ARE COMPLETE.

PLEASANT STREET

OVERALL FIRST FLOOR PLAN

SCALE 1" = 10'-0"

ALL WINDOWS TO BE REMOVED. INTERIOR TRIMWORK AROUND WINDOW TO REMAIN, REPAIR AS REQUIRED AFTER REMOVING WINDOWS. NEW WINDOWS TO BE INSTALLED & TO MATCH EXISTING WINDOWS IN SIZE AND APPEARANCE. REMOVE EXISTING PAINT FROM STONE WINDOW SILL & SEAL EXISTING STONE SILL WITH CLEAR SEALER. REFER TO A4.1 & A4.2 FOR ADDITIONAL INFORMATION.

REINSTALL WINDOW AT LOWER LEVEL WITH CONCRETE WINDOW WELL. MATCH EXISTING WINDOW & WINDOW WELL.

ONE STORY BUILDING ADDITION TO BE DEMOLISHED. EXTERIOR BRICK OF MAIN BUILDING TO BE REPAIRED AND REPOINTED AS REQUIRED.

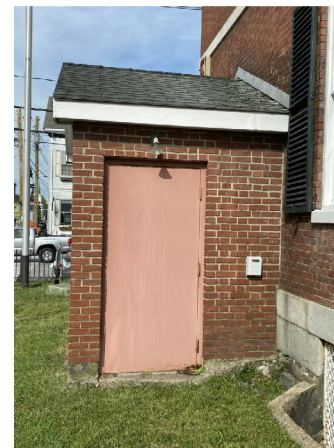
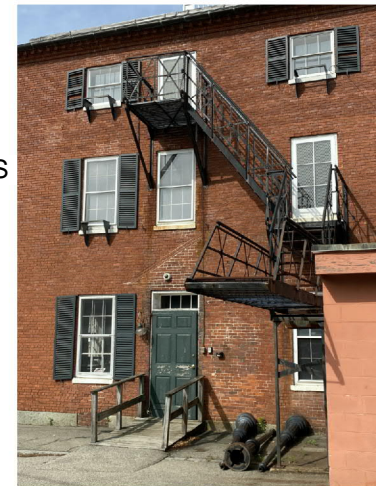
ONE STORY BUILDING ADDITION TO BE DEMOLISHED. EXISTING EXTERIOR BRICK OF MAIN BUILDING TO BE REPAIRED AND REPOINTED AS REQUIRED.

METAL FIRE EGRESS STAIRS, RAILINGS AND LANDINGS TO BE REMOVED

WINDOWS & EMERGENCY EXIT DOORS FROM THIS LINE & OVER TO BE REMOVED AND REPLACED AS PART OF LATER PHASE

ENTRY DOOR TO BE TAKEN DOWN, CLEANED & REPAIRED AS REQUIRED AND REPAINTED. TO BE REINSTALLED ON INSIDE FACE OF DOOR FRAME AND TO OPEN INWARDS.

ENTRY RAMP AND RAILINGS TO BE DEMOLISHED



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 - B. PORCH RAILINGS, POSTS AND BALUSTERS TO BE STRIPPED, CLEANED & REPAIRED AS REQUIRED. PAINTED, TYP.
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 - K. REMOVE EXISTING PORCH GUTTER AND DOWNSPOUT. INSTALL NEW GUTTER AND DOWNSPOUT TO MATCH EXISTING AT MAIN ROOF.

ALL WINDOWS TO BE REMOVED. INTERIOR TRIMWORK AROUND WINDOW TO REMAIN, REPAIR AS REQUIRED AFTER REMOVING WINDOWS. NEW WINDOWS TO BE INSTALLED & TO MATCH EXISTING WINDOWS IN SIZE AND APPEARANCE. REMOVE EXISTING PAINT FROM STONE WINDOW SILL & SEAL EXISTING STONE SILL WITH CLEAR SEALER. REFER TO A4.2 & A4.3 FOR ADDITIONAL INFORMATION.

OVERALL SECOND FLOOR PLAN

SCALE 1" = 10'-0"

ROOF OF PORCH BELOW. ASPHALT SHINGLES TO BE REMOVED. REPAIR FRAMING, INSULATION AND WATER MEMBRANE AS REQUIRED. NEW SYNTHETIC SLATE TILE ROOF TO BE INSTALLED.

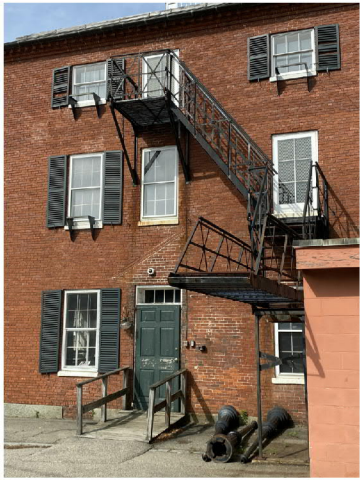


ONE STORY BUILDING ADDITION BELOW TO BE DEMOLISHED.

METAL FIRE EGRESS STAIRS, RAILINGS AND LANDINGS TO BE REMOVED

WINDOWS & EMERGENCY EXIT DOORS FROM THIS LINE & OVER TO BE REMOVED & REPLACED AS PART OF LATER PHASE

ONE STORY BUILDING ADDITION BELOW TO BE DEMOLISHED.



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A2.2 - SECOND FLOOR PLAN

08/04/2021

- ORDINARY MAINTENANCE REPAIR NOTES:
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 - G. STONE BAND PAINT TO BE REMOVED. STONE BANDS TO BE SEALED WITH CLEAR SEALER. TYP AT BANDS ACROSS ALL ELEVATIONS.
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ONE STORY BUILDING ADDITION TO BE DEMOLISHED. EXTERIOR BRICK OF MAIN BUILDING TO BE REPAIRED AND REPOINTED AS REQUIRED.



WEST ELEVATION



DESIGN

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ASPHALT SHINGLE ROOFING TO BE REMOVED. REPAIR INSULATION & WATER MEMBRANE AS REQUIRED. NEW SYNTHETIC SLATE ROOF TILES TO BE INSTALLED.



SOUTH ELEVATION

ALL WINDOWS TO BE REMOVED. INTERIOR TRIMWORK AROUND WINDOW TO REMAIN, REPAIR AS REQUIRED AFTER REMOVING WINDOWS. NEW WINDOWS TO BE INSTALLED & TO MATCH EXISTING WINDOWS IN SIZE AND APPEARANCE. REMOVE EXISTING PAINT FROM STONE WINDOW SILL & SEAL EXISTING STONE SILL WITH CLEAR SEALER. REFER TO A4.1, A4.2 & A4.3 FOR ADDITIONAL INFORMATION.

ONE STORY BUILDING ADDITION TO BE DEMOLISHED. EXISTING EXTERIOR BRICK OF MAIN BUILDING TO BE REPAIRED AND REPOINTED AS REQUIRED.

REINSTALL WINDOW AT LOWER LEVEL WITH CONCRETE WINDOW WELL. MATCH EXISTING WINDOW & WINDOW WELL.



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 - D. REMOVE EXISTING GUTTER ON EAST SIDE OF BUILDING AND REPLACE WITH NEW COPPER GUTTER TO MATCH THE EXISTING.
 - E. REMOVE EXISTING DOWNSPOUT ON SOUTHEAST CORNER OF BUILDING AND INSTALL NEW COPPER DOWNSPOUT IN SAME LOCATION. DOWNSPOUT TO BE COPPER TO MATCH EXISTING GUTTERS AND DOWNSPOUTS AT REST OF BUILDING.

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ENTRY RAMP AND RAILINGS TO BE DEMOLISHED

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- ASPHALT SHINGLE ROOFING TO BE REMOVED. REPAIR INSULATION & WATER MEMBRANE AS REQUIRED. NEW SYNTHETIC SLATE ROOF TILES TO BE INSTALLED.
- METAL FIRE EGRESS STAIRS, RAILINGS AND LANDINGS TO BE REMOVED

ONE STORY BUILDING ADDITION TO BE DEMOLISHED. EXTERIOR BRICK OF MAIN BUILDING TO BE REPAIRED AND REPOINTED AS REQUIRED.



EAST ELEVATION



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 - K. REMOVE EXISTING PORCH GUTTER AND DOWNSPOUT. INSTALL NEW GUTTER AND DOWNSPOUT TO MATCH EXISTING AT MAIN ROOF.
 - L. REMOVE EXISTING DOWNSPOUT ON THE NORTH SIDE OF THE BUILDING AND INSTALL NEW COPPER DOWNSPOUT IN SAME LOCATION.



AERIAL NORTH VIEW

WIDOW'S WALK AT ROOF TO BE CLEANED, REPAIRED AND REPAINTED. FLASHING AT ROOF TO BE REPAIRED AND REPLACED AS REQUIRED WITH COPPER.

ASPHALT SHINGLES OF PORCH ROOF TO BE REMOVED. REPAIR FRAMING, INSULATION AND WATER MEMBRANE AS REQUIRED. NEW SYNTHETIC SLATE TILE ROOF TO BE INSTALLED.

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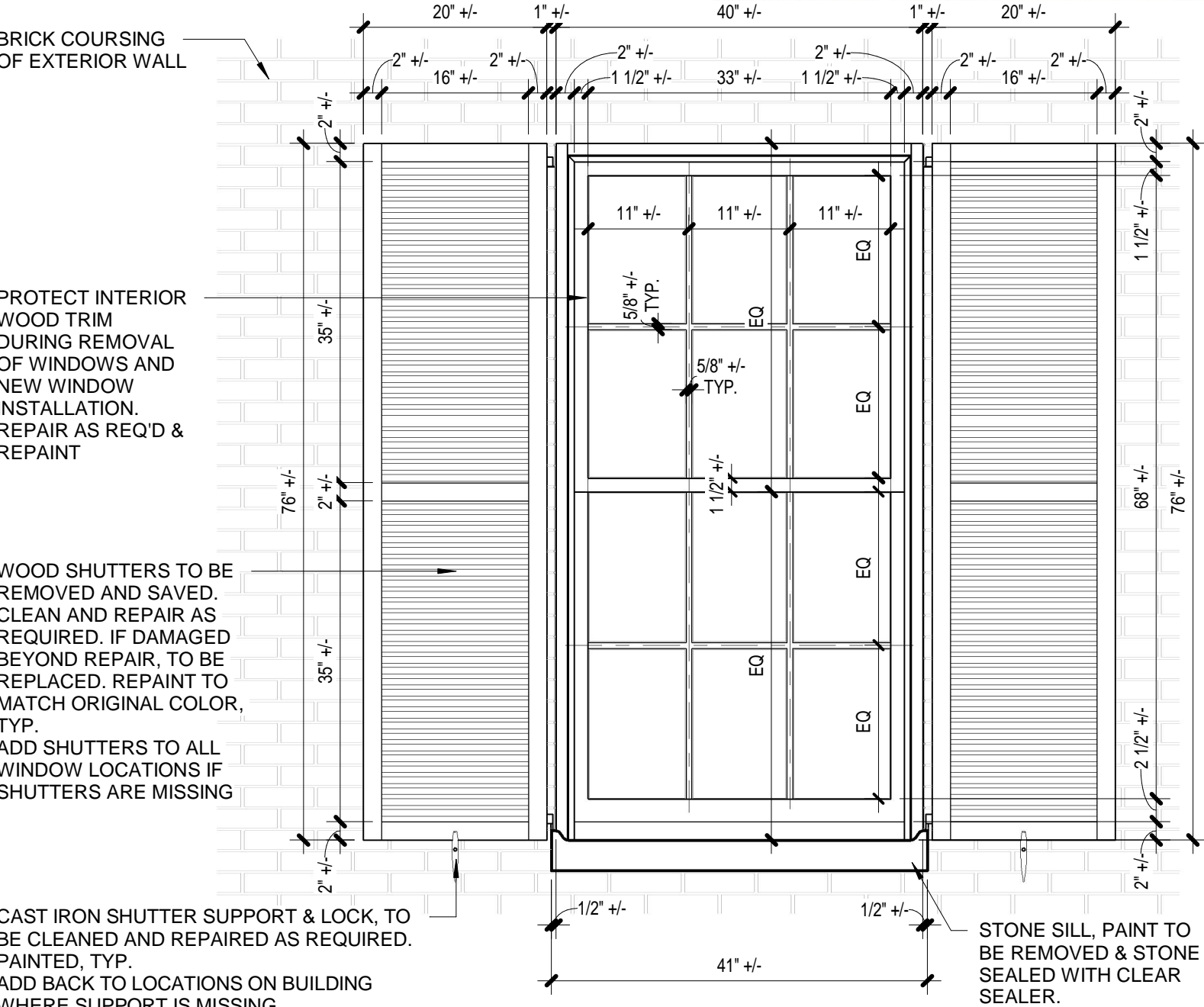
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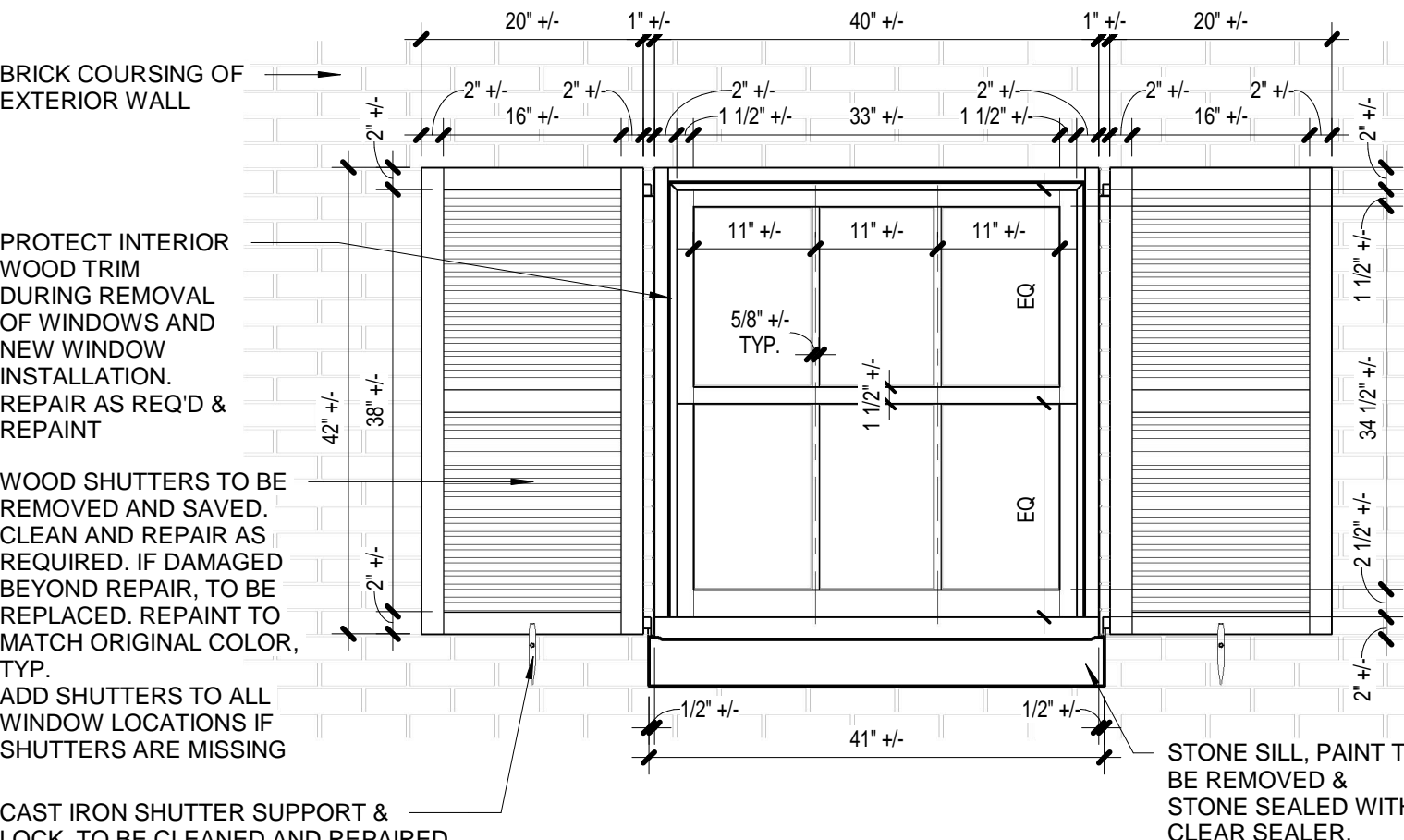


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- WINDOW NOTES:**
- 1. EXISTING WINDOWS ARE DOUBLE HUNG. NEW WINDOWS TO BE DOUBLE HUNG TO MATCH EXISTING.
 - 2. SPIRAL BALANCE.
 - 3. ROLL-DOWN CONCEALED INTERIOR SCREENS.
 - 4. WOOD FRAMES & SASHES. PRIMED AND PAINTED BOTH SIDES.
 - 5. INSULATED LOW E GLASS.
 - 6. SIMULATED DIVIDED LITE.
 - 7. PUTTY-PROFILE, EXTERIOR MUNTINS.
 - 8. OGEE PROFILE, INTERIOR MUNTINS.
 - 9. PLANE OF GLASS FOR NEW WINDOWS TO BE INSTALLED AT SAME LOCATION AS EXISTING GLASS PLANE.



1 TYP. WINDOW ELEVATION
3/4" = 1'-0"

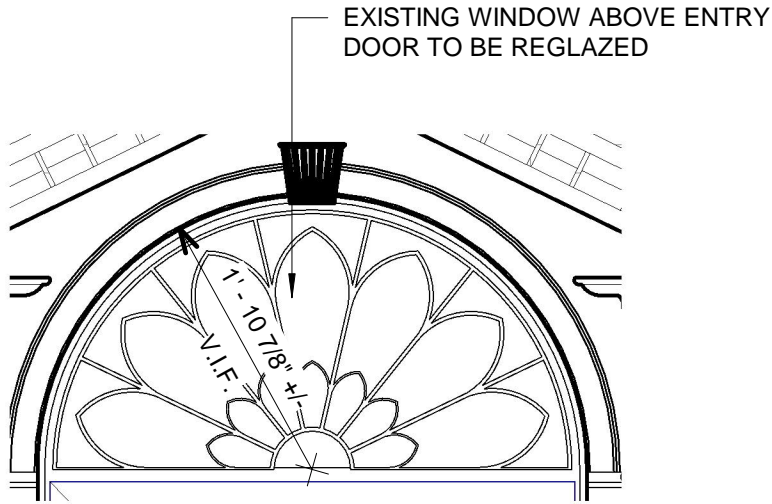


2 TYP. UPPER FLOOR WINDOWS
3/4" = 1'-0"

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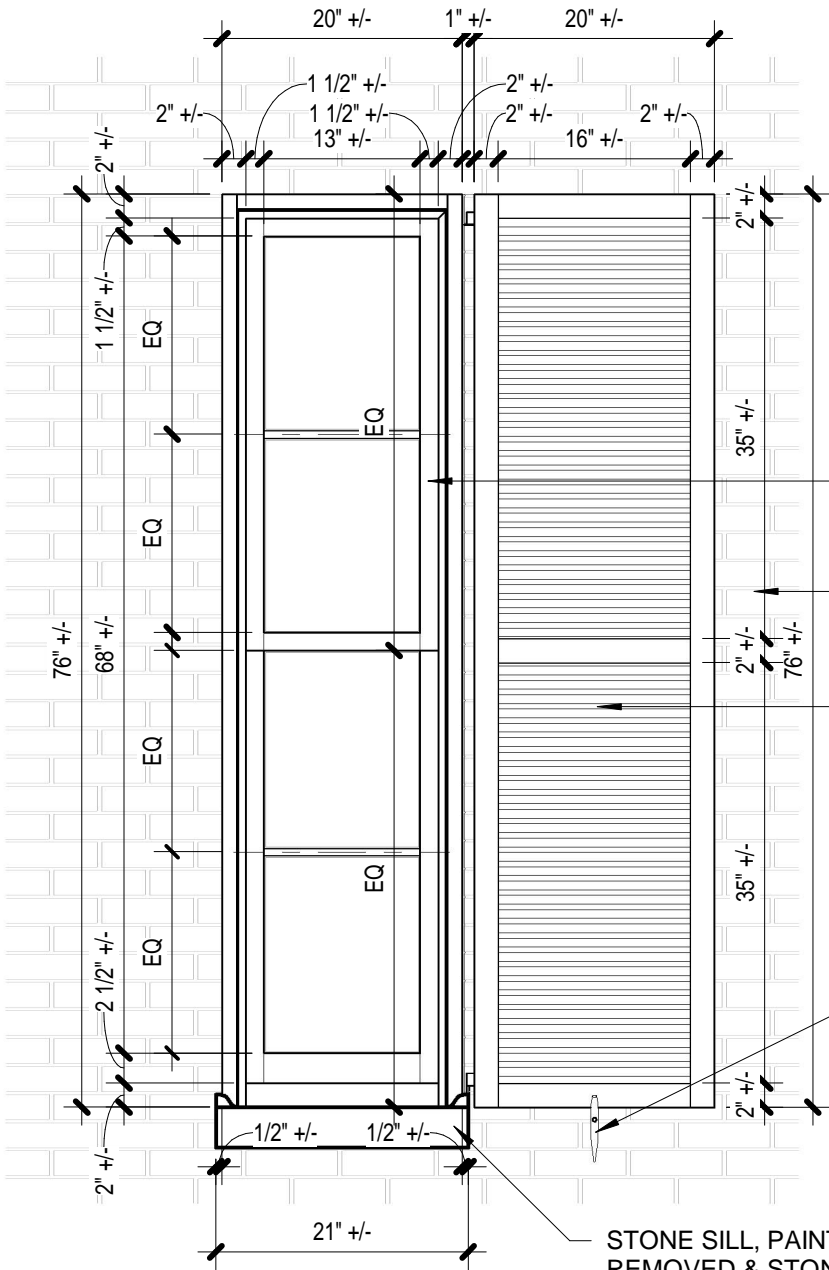
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DECORATIVE TRANSOM @ ENTRY DOOR

3

3/4" = 1'-0"



PROTECT INTERIOR WOOD TRIM DURING WINDOW REMOVAL AND NEW WINDOW INSTALL

BRICK COURSING OF EXTERIOR WALL

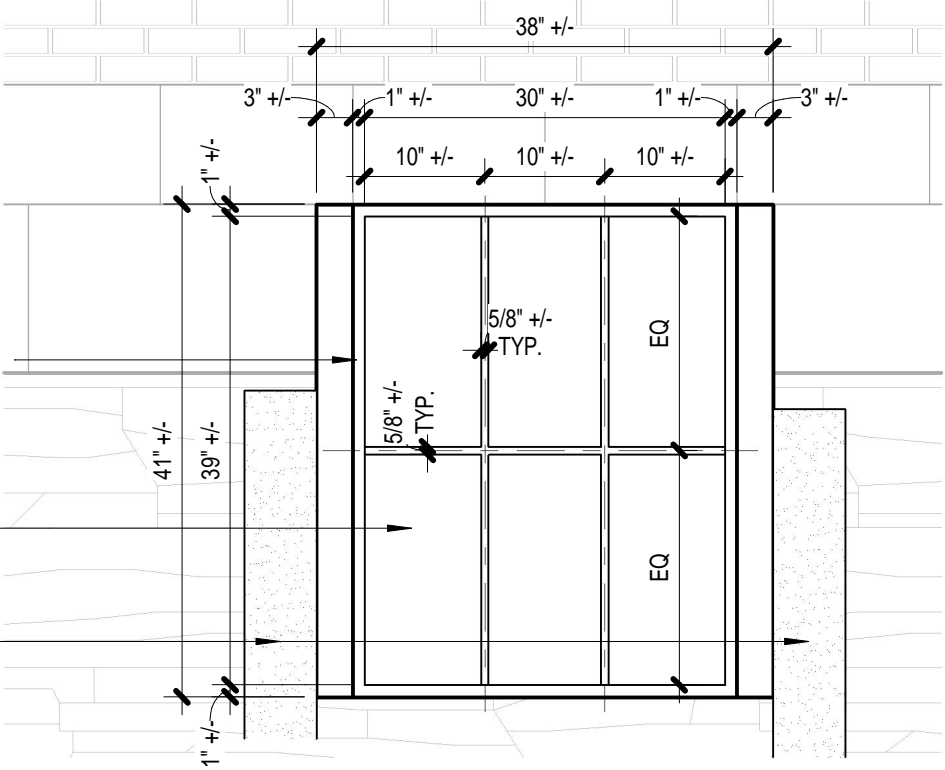
WOOD SHUTTERS TO BE REMOVED AND SAVED. CLEAN AND REPAIR AS REQUIRED. IF DAMAGED BEYOND REPAIR, TO BE REPLACED. REPAINT TO MATCH ORIGINAL COLOR, TYP. ADD SHUTTERS TO ALL WINDOW LOCATIONS IF SHUTTERS ARE MISSING

CAST IRON SHUTTER SUPPORT & LOCK, TO BE CLEANED AND REPAIRED AS REQUIRED. PAINTED, TYP. ADD BACK TO LOCATIONS ON BUILDING WHERE SUPPORT IS MISSING.

STONE SILL, PAINT TO BE REMOVED & STONE SEALED WITH CLEAR SEALER.

2 TYP. UPPER FLOOR NARROW WINDOW

3/4" = 1'-0"



EXISTING WHITE METAL GRATE IN FRONT OF WINDOW TO BE REMOVED

WINDOWS TO BE REPLACED WITH LAMINATED GLASS

CONCRETE WINDOW WELL WALLS, REPAIR AS REQUIRED

1 TYP. LOWER FLOOR WINDOWS

3/4" = 1'-0"



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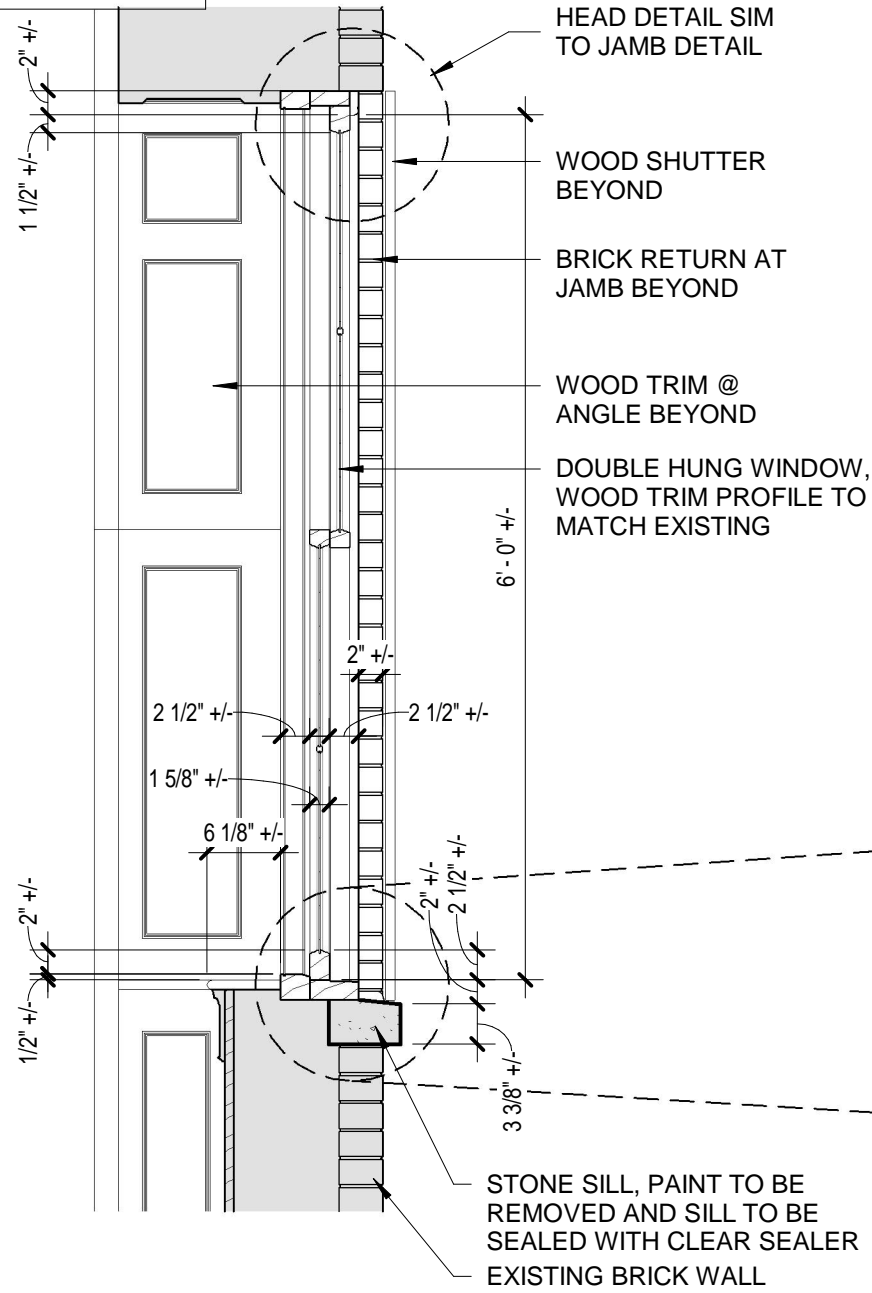


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WINDOW NOTES:

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NOTE:
FIELD VERIFY ALL
DIMENSIONS.

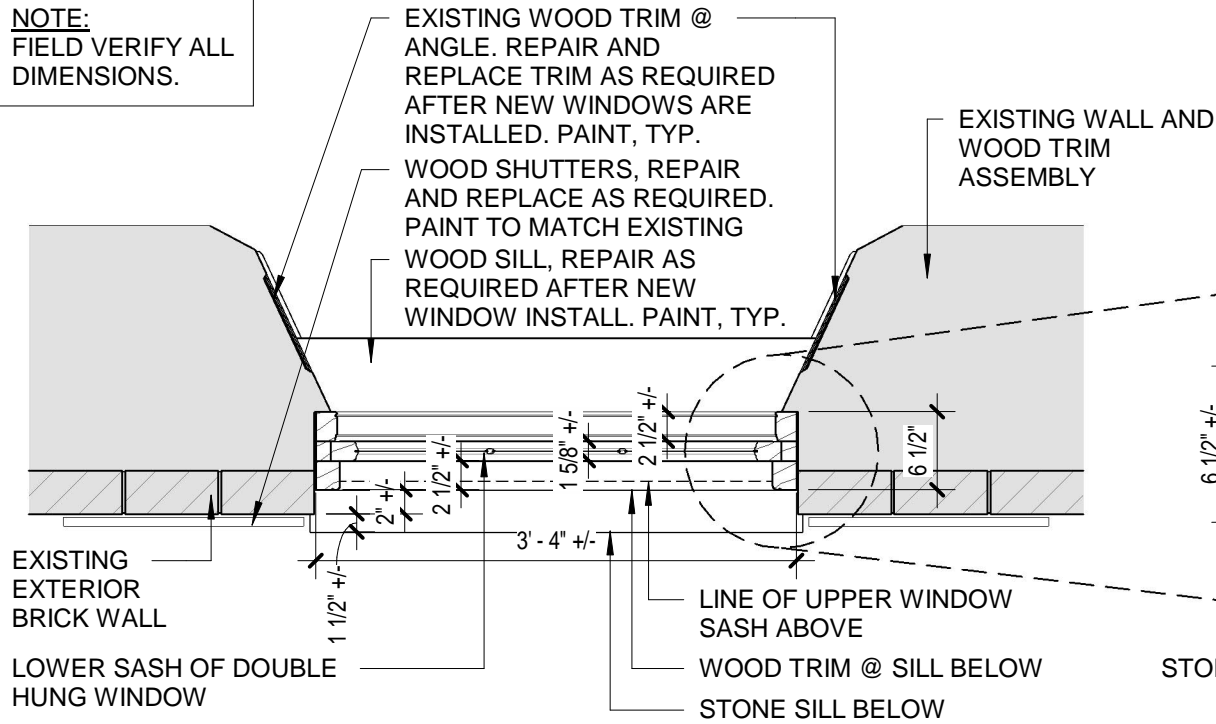


1a

EXISTING SILL

3/4" = 1'-0"

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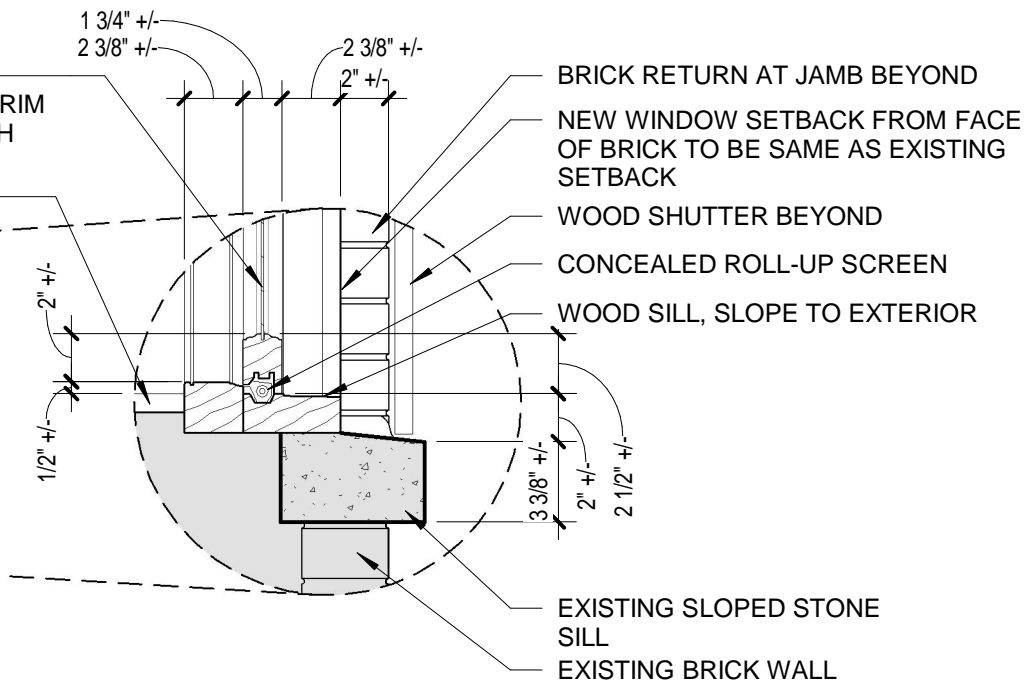
2a

EXISTING JAMB (HEAD SIM.)

3/4" = 1'-0"

2b

PROPOSED JAMB (HEAD SIM.)



1b

PROPOSED SILL

AS REQUIRED AFTER NEW WINDOW INSTALL. PAINT, TYP.

INSULATED GLASS

FRAME & SASH TO MATCH EXISTING PROFILES

EXISTING WALL AND WOOD TRIM ASSEMBLY

WOOD TRIM @ SILL BELOW

SETBACK OF NEW WINDOW FRAME TO MATCH SETBACK OF EXISTING WINDOWS

EXISTING EXTERIOR BRICK WALL

WOOD SHUTTER



273 CORPORATE DRIVE
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DAGNY TAGGART, LLC



Construction | Development | Management

Historic Replication

Built to Specification with Historic Accuracy
Complete Units or Replication Sash Only

Window & Door Types

- Hung Windows**
- Weight & Chain
 - Concealed Spiral Balance
 - Single, Double, Triple Hung Units
 - STC/DITC Tested Units
- Casements**
- Inswing & Outswing
 - French & Single
- Rotating Windows**
- Awnings & Hoppers
 - Pivot Windows
- Fixed Windows**
- Direct Set
 - Sash Set
- Door Systems**
- Residential Systems
 - Historic Storefront
 - Commercial Entrances
- Sash Only & Components**

Production Capacity for Any Size Project
Design Engineering and Auto CAD Services are Standard
Vintage, Art Glass, and Contemporary Glass Choices



1 | Parrett Windows & Doors

1-800-541-9527



The Leader in Historic Window & Door Replication...

Parrett's mission is to provide our valued customers with the **best value in the historic replication market**. Parrett manufactures our products utilizing quality materials, the latest automation in technologically advanced equipment complimented by a very talented, experienced staff of employees. You can count on Parrett delivering on our mission. Our past performance speaks for itself and is the basis for our nationwide recognition in being a leader in the historic replication market.

Joinery Options



French Mitre Blind Mortise & Tenon



Coped Blind Mortise & Tenon



Historic Mortise & Tenon

Vintage Glass Examples



Parrett works with a variety of glass manufacturers to source vintage glass that is available as single pane, insulated, and safety tempered glass.

Parrett can specify glass to match the time period of your specific project.

Factory Finishing



A stain & clear coated mahogany door corner sample is pictured above. Parrett's factory finishing options include:

- Primed Wood Surfaces
- Stain & Clear Coated Wood Surfaces
- Poly Painted Surfaces
- Kynar Painted Clad Surfaces
- Anodized Clad Surfaces
- Woodgrain Finish Clad Surfaces

Traditional Hardware



Parrett can either specify hardware matching your criteria, or design our units to accommodate your desired hardware manufacturer.

Our high performing units will stand the test of time and provide superior weather performance as evidenced by our extensive 3rd party laboratory testing. At Parrett, we also pride ourselves with our flexibility to create the exact windows and doors that you envision. We welcome any challenge and look forward to working with you to make your dreams a reality! Don't hesitate to call on Parrett and enjoy first hand the comfort of working with a company that will deliver.

Divided Lite Muntins



7/8" wide TDL bar with insulated glass shown above.



Parrett can replicate virtually any muntin pattern in TDL, SDL, or as removable muntins.



Putty glazed radius TDL muntin bars are shown at right.

Profile Replication



Parrett can work from a drawing, template, or the original unit to replicate the profiles of existing units, and has countless standard profiles to choose from for brickmoulds, muntin bars, casings, etc.

Historic Replication

Historic Profile Matching
Built to Specification
True Divided Lite (TDL) Muntins or Simulated Divided Lite (SDL)
Traditional or Contemporary Hardware
Curved/Bent Glass and Frame
Fixed & Operating Units
Sash Only & Parts/Accessories
Any shape is Available—
Radius, Ellipse Top, Gothic, Variation, Custom Shapes



Window Screen Systems

- Wood Framed Screens
- Aluminum Framed Screens
- Inswing Hinged Screens
- Horizontal/Vertical Pull
- *Various Mesh Choices

Precision Joinery Options
Complete Unit Accessories
Factory Finishing Capabilities
Choice of any Wood Species
Sample Windows and/or Corner Samples are Available



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JSA

DESIGN

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The checkrail detail above highlights the concealed spiral balances of this unit which allows only the beauty of wood to be seen.

There is no need to settle for an unsightly exposed metal or vinyl balance system.



Hung - Spiral Balance

Single Hungs | Double Hungs

All-Wood or Extruded Aluminum Clad

All-Wood Exposed—No Unsightly Balance System or Exposed Vinyl Parts

Concealed Balance Systems Tested for 5,500 Operations

Concealed Balances are Easily Serviced in the Field

OITC/STC Tested Windows with Various Glass Makeups

Any Shape is Available including Gothic Tops, Variation Units, Curved Glass, and More

If you prefer a modern balance system for your hung window, you will find extra value and appreciation for Parrett's concealed balance design. There is no unsightly metal or vinyl balance system or mechanical parts. What you will see is the beauty and warmth of wood throughout. Parrett's well recognized quality craftsmanship ensures that our single and double hung units will exceed your expectations.



Parrett is unrivaled when it comes to extremely large hung windows as seen in the example above.

Historic Hung Window Options



The hung windows pictured above and at left are both "Variation 6" hung windows. All variation types are available.

Unequal sash split units such as the one pictured above at left are also available as either cottage, reverse cottage, or custom sash split heights.

Curved hung window units are available in both weight & chain and spiral balance configurations, either with or without bent glass.

Muntins, brickmoulds, casings, and subsills are also available in curved window configurations.



Intricately shaped Variation style units were manufactured to fit these existing openings.



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Historic Portfolio - Residential



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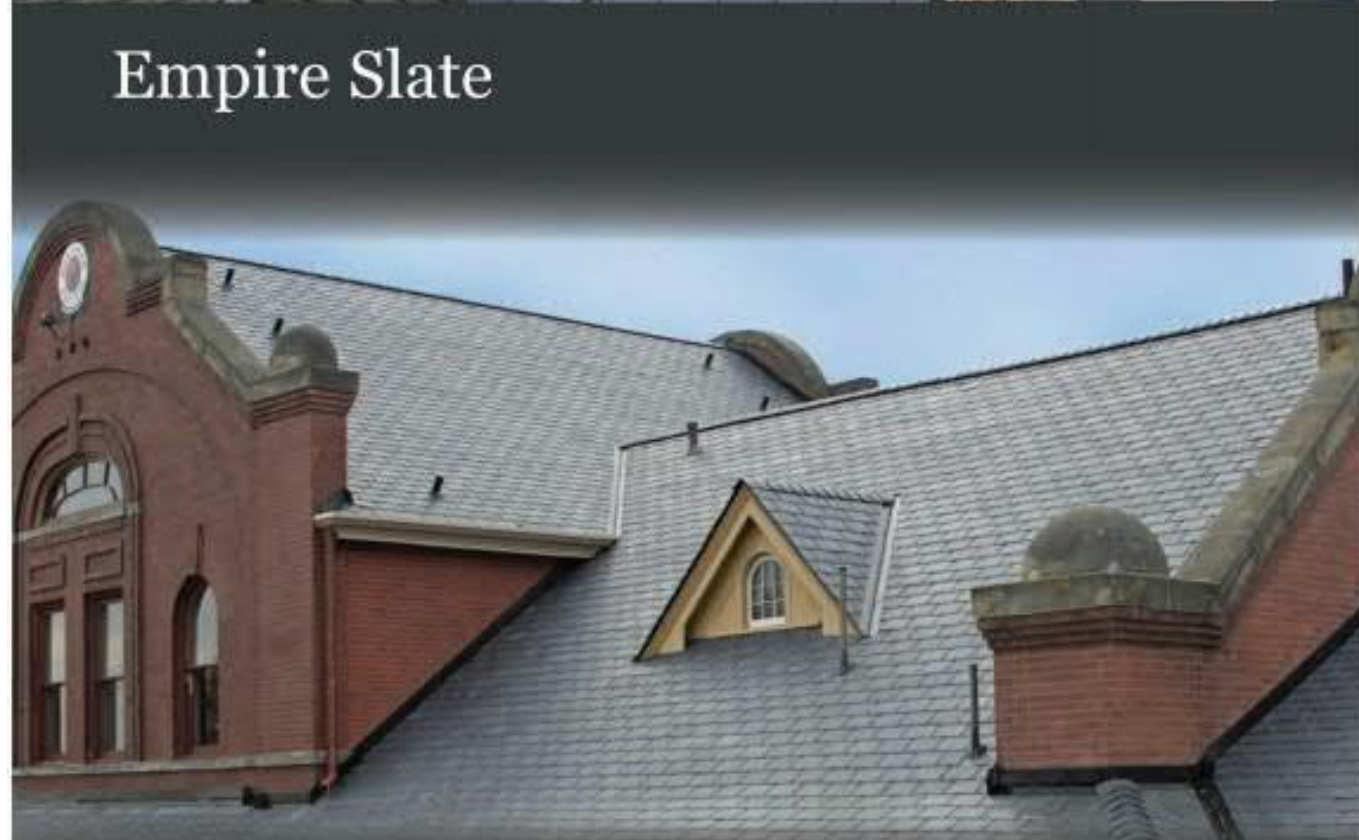
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Sustainable Roofing



Empire Slate



Environmentally friendly synthetic slate roofing tiles proudly made in the USA

Pioneers of sustainable roofing since 1993

Empire Slate



Embracing the continued progression of sustainable building practices and recognizing the numerous challenges which have impacted economic conditions, EcoStar LLC proudly offers Empire Slate in its collection of premium steep slope roofing products.

Committed to preserving natural resources, EcoStar's Empire Slate is manufactured from a proprietary compound of recycled content which creates long lasting durability while providing superior protection against extreme weather conditions. Available in 14 standard colors, and unlimited custom color options, Empire Slate offers endless possibilities to achieve the beauty of natural slate at a fraction of the cost. Class A fire resistance (UL 790) is standard, making Empire Slate an exceptional choice for any commercial or residential roof.

The increasing awareness of the effects of climate change on the ecosystem and the economy continues to influence standards for environmental responsibility. Empire Slate offers a solution to the obstacles imposed by escalating regulations on building practices and can provide significant cost savings on roof maintenance expenses, roofing expenses and property insurance.¹

Empire Slate Color Palette



Notes: Sample colors, this brochure is only a guide and not a warranty. The final color and appearance of the tiles will vary depending on the actual color and texture of the tiles. The tiles are made from recycled content and the color may vary slightly from the sample colors. The tiles are made from recycled content and the color may vary slightly from the sample colors. The tiles are made from recycled content and the color may vary slightly from the sample colors.

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Advantages

- Weighs 1/3 to 1/2 as much as natural slate
- Significant property insurance discounts may be available when upgrading or building a roof to protect against hail²
- Cool colors help reduce energy used by air conditioning units, typically resulting in energy savings between 10-30%³

Architectural Flexibility

- Designer Series tiles can be blended together to add personal style to your home
- Staggered and offset installations accentuate roof texture and depth
- Available in 14 standard colors and unlimited custom color options
- Preserve the historical look in both residential and commercial buildings

Strength & Durability

- Provides superior durability and protection from extreme weather conditions that include wind, hail and driving rain
- Significant life cycle savings

Warranty Options

- 50-Year Limited Material Warranty available
- 50-Year Gold Star Labor & Material Warranty available
- 110 mph (177 kph) Wind Warranty available

Environmental Sustainability



- Manufactured with post-industrial recycled plastics
- Cool colors contribute to the mitigation of the urban heat island effect⁴

Technical Information

- UL listed Class A or C fire resistance (UL 790)
- UL Class 4 impact resistance (UL 2218)
- Wind resistance to 110 mph (ASTM D3161)
- Prolonged UV Exposure (ASTM G155)
- UL Evaluation Report, AC07-UL ER18920-01
- Fungus resistant (ASTM G21-09)
- Miami-Dade County, Florida NOA No. 17-1227.10 11/07/23
- Texas Dept. of Insurance Evaluation (RC-420)
- May contribute to LEED® points
- Manufactured in strict adherence to ISO 9001:2015 Quality Management



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Innovative Design, Classic Slate Look

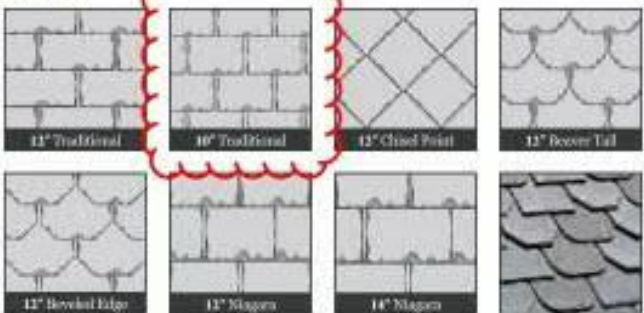
EcoStar Slate

Post-industrial recycled compounds are utilized to create a lightweight and environmentally responsible alternative to natural slate. An EcoStar roof offers beautiful, yet proven protection for your most prized investment. It is an inspiration to homeowners looking for affordable style and uncompromised performance.

Significant advantages:

- Weights significantly less than real slate
- Protects against extreme weather conditions
- Reduces need for maintenance and repair
- Lessens environmental impact
- Exceeds industry performance standards
- 50-year warranty

Profiles



Achieve a custom look by combining multiple profiles

Product Offering

Using various shapes and sizes of tiles, EcoStar offers a wide range of profiles. The profiles shown here are just a few of the many options available. For more information, please contact your local distributor or visit our website at www.jsa-inc.com.



12" Traditional

The most popular of the 12" Traditional profiles, featuring a classic, timeless look.



10" Traditional

The most popular of the 10" Traditional profiles, featuring a classic, timeless look.



12" Chief Point

The most popular of the 12" Chief Point profiles, featuring a classic, timeless look.



The right tile for any property

Whether you are looking to elevate the look of a residential property, meet the performance needs of a commercial property, or preserve the look of a historical property, EcoStar offers the right tile.

Majestic Slate

EcoStar's original eco-friendly tile, made of 80% recycled materials, meeting the needs of most residential applications.

Empire Slate

The same classic slate look with additional energy-saving benefits, and design features that meet the needs of commercial and historical properties.

Traditional vs. Niagara

The Niagara Slate profile is available in the Majestic and Empire formulas, but offers an increased tile size and thickness for enhanced shadow lines and increased aesthetic appeal.

Tile Features	Majestic Slate		Empire Slate	
	Traditional	Niagara	Traditional	Niagara
Percent Recycled Material	80%	80%	25%	25%
Tile Widths	10", 12"	12", 14"	10", 12"	12", 14"
Tile Thickness (at butt edge)	1/4"	5/8"	1/4"	5/8"
Exposure	6", 7"	9", 10"	6", 7", 8"	9", 10"
Cool Colors	No	No	Yes	Yes
Fire Rating	Class C	Class C	Class A	Class A
Impact Rating	Class 4	Class 4	Class 4	Class 4
Designer Tiles	Yes	No	Yes	No

Cool Colors

Enjoy additional energy savings from our line of cool colors, only available in Empire tiles

Note: Cool colors are also available in non-cool formulas



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