



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists



Job #47388.11

August 4, 2021

HAND DELIVERED

Barbara McMillan, Chair
Portsmouth Conservation Commission
1 Junkins Avenue, 3rd Floor
Portsmouth, NH 03801

Re: Open Space Planned Unit Development, 83 Peverly Hill Road

Dear Ms. McMillan,

On behalf of the Applicant Green & Company, enclosed are 1 – 22 x 34 set and 9 – 11 x17 sets of Site Development Plans, Overall Site Layout Colored Plans, and Overall Proposed Developed and Remaining Land plans for Parson Woods Condominium, located at 83 Peverly Hill Road.

This proposal is for an Open Space Planned Unit Development containing 56 single-family condominium dwelling units with 2,950 linear feet of public roadway. Associated improvements include underground utility installation, 2 recreational pocket parks, a public bike/pedestrian path to an existing rail trail, a multi-use path to Middle Road, landscaping, and open space.

The property contains 105 acres and is bounded by Peverly Hill Road on the East, the New Hope Baptist Church, conservation land and the Swift Water Girl Scout Council on the South, the Boston and Main Railroad on the West, and the Calvary Cemetery on the North.

The project proposes to dedicate 71 acres, in the form of a conservation easement, to the city. These 71 acres will abut Map 255 Lot 5, a property already in conservation which abuts the recently required 27.5 acre conservation easement on Map 256 Lot 2.

The project received Conditional Approval from the Technical Advisory Committee on August 3, 2021.

In accordance with Article 7 Section 10.727.22 of the Portsmouth Zoning Ordinance, "The Planning Board shall afford the Conservation Commission an opportunity to comment on the particulars of a proposed PUD, including but not limited to the natural features of the parcel and how these may be impacted by the proposed project". The purpose of this submittal is to review the project in the context of this section, prior to submitting to the Planning Board for approval.

TFMoran, Inc.
48 Constitution Drive, Bedford, NH 03110
T(603) 472-4488 www.tfmoran.com



TFMoran, Inc. Seacoast Division
170 Commerce Way-Suite 102, Portsmouth, NH 03801
T(603) 431-2222



PUD SITE DATA

DIMENSIONAL REQUIREMENTS (PROPOSED PUD USE)	REQUIRED:	PROVIDED:
MINIMUM LOT DIMENSIONS:	10 AC	195A AC
MINIMUM LOT SIZE:	100 FT OR (2) 0 50'	655A FT
FRONTAGE:	74 RESIDENCES	86 RESIDENCES
BASE RESIDENTIAL DENSITY:		
MINIMUM INTERNAL SETBACKS:		
FRONT	20 FT	30 FT
SIDE	25 FT	180 FT
REAR	25 FT	25 FT
BETWEEN BUILDINGS	30 FT	30 FT
MINIMUM OPEN SPACE:	15%	83%
MINIMUM PERIMETER BUFFER:		
FRONT	100 FT	100 FT
SIDE	50 FT	50 FT
REAR	50 FT	50 FT
REQUIRED BASE RESIDENTIAL DENSITY CALCULATIONS:		
SDR:		
DEVELOPABLE AREA	= TOTAL AREA - WETLANDS - 15% SLOPES	
	= 3,938,561 SF - 1,004,866 SF - 156,827 SF	
	= 2,095,874 SF	
MINIMUM LOT AREA PER DWELLING = 1 AC = 43,560 SF		
SDR:		
DEVELOPABLE AREA	= TOTAL AREA - WETLANDS - 15% SLOPES	
	= 685,946 SF - 286,452 SF - 1,217 SF	
	= 13,000 SF	
MINIMUM LOT AREA PER DWELLING = 13,000 SF		
TOTAL REQUIRED = DEVELOPABLE AREA / MINIMUM LOT AREA PER DWELLING		
(SDR) 2,095,874 SF / 43,560 SF	= 48.1 RESIDENCES	
(SDR) 13,000 SF / 15,000 SF	= 22.0 RESIDENCES	
TOTAL	= 74 RESIDENCES	

ROADWAY LENGTH

TOTAL ROADWAY	= 2,945 FT
TOTAL DEAD END ROADWAY	= 2,945 FT

HOUSE LEGEND

LETTER	HOUSE TYPE
AB	ABOTT
AC	ALPESIA
AD	BALFALCOLM
AE	CARTER
AF	CLARA
AG	COBLE
AH	SHUCLAR
AI	SWEET CHEERY RE
AJ	SUBROOK

NO STRUCTURES PERMITTED IN EXTERNAL YARD SETBACKS
EXTERNAL YARDS SHALL BE LANDSCAPED AND SHALL NOT
BE USED FOR VEHICULAR PARKING

HORIZONTAL SCALE 1" = 40'



NO.	DATE	DESCRIPTION	BY	CHK
1	7/1/2021	DESIGN PLAN AND WORKING	TJM	TJM
2	6/24/2021	REVISION PLAN TO SHOW NEW ROAD ALIGNMENT	TJM	TJM
3	5/11/2021	CONCEPT PLAN	TJM	TJM

SITE DEVELOPMENT PLAN

FOR MAP 242 LOT 4
OVERALL SITE LAYOUT COLOR PLAN
PEVERLY HILL ROAD CONDOMINIUMS
 63 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SR & NA TRUST, PHILIP J 25% INT

SCALE: 1" = 40' (80' X 48')

47368.11

47368.11

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 duplicated, replicated or otherwise reproduced in any form whatsoever
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 Thomas F. Moran, Inc.



**THIS PLAN IS A PRELIMINARY CONCEPTUAL DESIGN FOR SITE
 LOCATION FEASIBILITY AND DISCUSSION PURPOSES ONLY.
 ADDITIONAL PERMITS, WAIVERS, AND VARIANCE MAY BE
 REQUIRED UPON FURTHER DESIGN, REVIEW, AND
 COORDINATION WITH THE TOWN.**

MAP 242 LOT 3
 NEW HOPE BAPTIST CHURCH
 PO BOX 1473
 PORTSMOUTH NH 03802
 RCRD BK 2259 PG 20663

DATE: 05/11/2021 11:51:25AM
 PROJECT: PEVERLY HILL RD - PORTSMOUTH NH 03802
 DRAWING: CONCEPT PLAN SHEET 001 OF 001
 USER: TJM
 PLOT: 47368.11

LEGEND:

Table with 2 columns: MAP 137 LOT 11 and ASSESSORS MAP AND LOT NUMBER. Lists various land use designations like CHB, CHL, I, L, NRP, etc.

PLAN REFERENCES:

- 1. "PLAN OF A LOT OF LAND BELONGING TO CHARLES H. HAYES PORTSMOUTH, N.H." BY A.C. HOYT SURVEYOR, DATED JULY 1898, RCRD PLAN #0171.
2. "PLAN OF LAND FOR JOHN & MALD HETT PORTSMOUTH, N.H. SURVEY BY ME. JENKINS, LEE, N.H.," DATED DEC. 1988. RCRD PLAN #C-19399.
3. "PROPERTY OF SWIFTWATER GIRL SCOUT COUNCIL CITY OF PORTSMOUTH, N.H." SURVEYED BY JON MOORE, DATED AUGUST 1972. RCRD PLAN #D-3205.
4. "SUBDIVISION OF LAND FOR ROBERT E. DOWD IN PORTSMOUTH, N.H." BY BRUCE L. POHOPEK LAND SURVEYORS DOVER, N.H., DATED MAY 31, 1978, REVISED OCT 5, 78. RCRD PLAN #D-8312.
5. "SUBDIVISION PLAN OF LAND FOR THEODORE C. BURTT BANFIELD ROAD COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY RICHARD P. MILLETTE AND ASSOCIATES, DATED DECEMBER 1981, WITH REVISION 2 DATED JANUARY, 1982. RCRD PLAN #D-10795.
6. "STANDARD BOUNDARY SURVEY MAP 242 - LOT 1 MAP 258 - LOT 54 MAP 263 - LOT 1-6 & 2 FOR THE NATURE CONSERVANCY N.H. ROUTE 33 GREENLAND ROAD COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE" BY AMBIT ENGINEERING, INC., DATED FEBRUARY 2006, WITH REVISION 1, DATED 4/13/06. RCRD PLAN #D-33859.
7. "LOT LINE RELOCATION PLAN MAP R-65 LOTS 2A & 2B FOR HAROLD & MARILYN ECKER AND ELIZABETH K. HURLEY 422 & 470 BANFIELD ROAD PORTSMOUTH, N.H. COUNTY OF ROCKINGHAM" BY AMBIT ENGINEERING, INC., DATED MAY 2000, WITH REVISION 0 DATED 5/26/00. RCRD PLAN #D-28209.

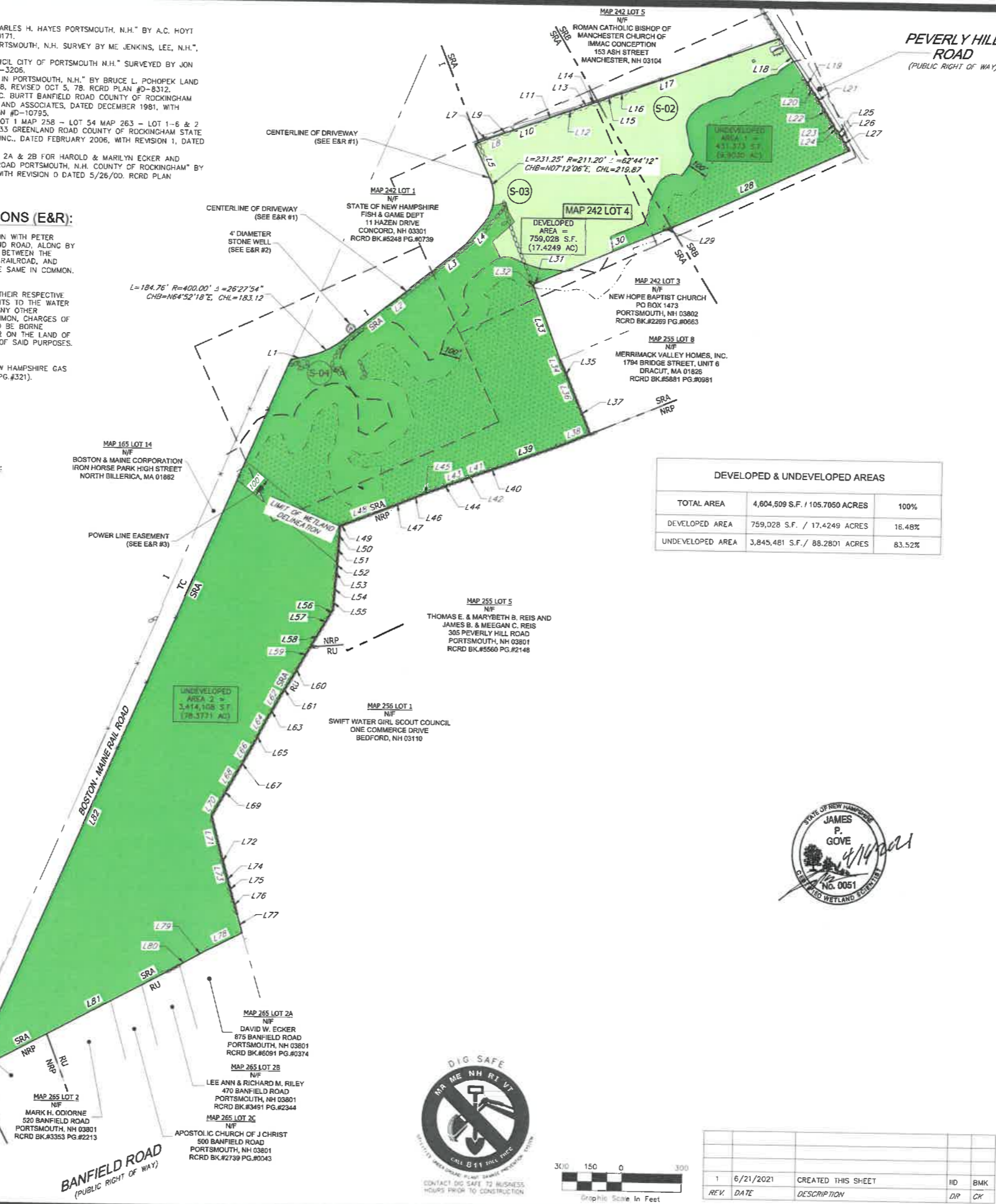
EASEMENTS AND RESTRICTIONS (E&R):

- 1. THE RIGHT TO USE SAID DRIVEWAY IN COMMON WITH PETER STOKEL AND HIS HEIRS FROM SAID GREENLAND ROAD, ALONG BY SAID CEMETERY, AND ALONG THE BOUNDARY BETWEEN THE LANDS OF SAID PETER AND STELLA TO SAID RAILROAD, AND SUBJECT TO SAID PETER'S RIGHT TO USE THE SAME IN COMMON. (SEE RCRD BK.#5066 PG.#1603).
2. RIGHTS OF PETER AND STELLA STOKEL AND THEIR RESPECTIVE HEIRS AND ASSIGNS SHALL HAVE EQUAL RIGHTS TO THE WATER OF SAID WELL, SAID PUMP, THE PIPES AND ANY OTHER EQUIPMENT USED NOW OR HEREAFTER IN COMMON, CHARGES OF CARE, UPKEEP, REPAIRS OR REPLACEMENT TO BE BORNE EQUALLY, WITH MUTUAL EASEMENTS TO ENTER ON THE LAND OF THE OTHER WHENEVER NECESSARY FOR ANY OF SAID PURPOSES. (SEE RCRD BK.#5066 PG.#1603).
3. 100' WDE POWER LINE EASEMENT TO THE NEW HAMPSHIRE GAS & ELECTRIC COMPANY, (SEE RCRD BK.#1052 PG.#321).

LINE TABLE with columns: LINE #, BEARING, DISTANCE. Contains two tables of line data for the project.

ABUTTERS ACROSS PEVERLY HILL ROAD:

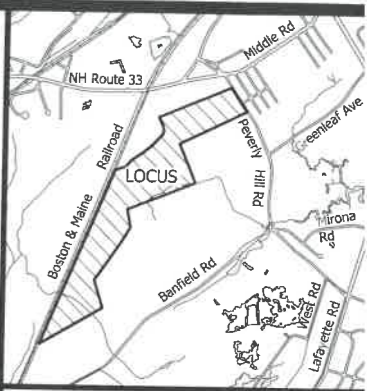
- MAP 232 LOT 92: DYANNA L. INNES, 78 PEVERLY HILL ROAD, PORTSMOUTH, NH 03801.
MAP 232 LOT 88: NATHAN M. & SHERRI M. TARLETON, 74 LEAVITT AVENUE, PORTSMOUTH, NH 03801.
MAP 232 LOT 83: KENNETH T. BLACK, 82 PEVERLY HILL ROAD, PORTSMOUTH, NH 03801.
MAP 232 LOT 87: SUSAN L. DIXON, 68 WIBIRD STREET, PORTSMOUTH, NH 03801.
MAP 232 LOT 85: CITY OF PORTSMOUTH DPW, PO BOX 628, PORTSMOUTH, NH 03802.
MAP 243 LOT 50: ASRT, LLC, 206 MIDDLE STREET, PORTSMOUTH, NH 03801.
MAP 243 LOT 51: AJEI REAL ESTATE LLC, 163 SPINNEY ROAD, PORTSMOUTH, NH 03801.
MAP 243 LOT 52: CITY OF PORTSMOUTH DPW, PO BOX 628, PORTSMOUTH, NH 03802.
MAP 265 LOT 2D: CITY OF PORTSMOUTH DPW, PO BOX 628, PORTSMOUTH, NH 03802.
MAP 265 LOT 2E: CITY OF PORTSMOUTH, 1 JUNKINS AVENUE, PORTSMOUTH, NH 03801.
MAP 265 LOT 2: MARK H. O'DORNE, 520 BANFIELD ROAD, PORTSMOUTH, NH 03801.
MAP 265 LOT 2A: DAVID W. ECKER, 875 BANFIELD ROAD, PORTSMOUTH, NH 03801.
MAP 265 LOT 2B: LEE ANN & RICHARD M. RILEY, 470 BANFIELD ROAD, PORTSMOUTH, NH 03801.
MAP 265 LOT 2C: APOSTOLIC CHURCH OF J CHRIST, 500 BANFIELD ROAD, PORTSMOUTH, NH 03801.



PEVERLY HILL ROAD (PUBLIC RIGHT OF WAY)

BANFIELD ROAD (PUBLIC RIGHT OF WAY)

DEVELOPED & UNDEVELOPED AREAS table with columns: AREA, S.F., ACRES, PERCENTAGE.



LOCATION PLAN

NOTES:

- 1. THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB) ZONING DISTRICTS.
2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 242 AS LOT 4.
3. THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 330150270F, MAP REVISED JANUARY 29, 2021.
4. DIMENSIONAL REQUIREMENTS: SRA and SRB zoning requirements for lot area, street frontage, etc.
5. OWNER OF RECORD: MAP 242 LOT 4, STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL.
6. PARCEL AREA: MAP 242 LOT 4, 4,604,509 S.F. (105.7050 ACRES).
7. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS.
8. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED DEVELOPED & UNDEVELOPED AREAS OF MAP 242 LOT 4.
9. FIELD SURVEY COMPLETED BY TCF, MFP & PJT IN APRIL-MAY 2020 USING A TOPCON DS103.
10. HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS.
11. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
12. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE.
13. WETLAND DELINEATION WAS COMPLETED BY GOVE ENVIRONMENTAL SERVICES ON FEBRUARY 18, 2020 AND REVISED ON MAY 14, 2020 IN ACCORDANCE WITH THE 1987 ARMY CORP OF ENGINEERS WETLAND MANUAL AND THE 2012 REGIONAL SUPPLEMENT.
14. THE ABANDONED CEMETERY SHOWN ON SHEET S-03 IS BELIEVED TO BE THE FORMER HAYES FAMILY CEMETERY. CURRENT OWNERS OF THE PROPERTY ACKNOWLEDGE THAT ALL BODIES HAVE BEEN EXHUMED FROM THIS LOCATION.



TAX MAP 242 LOT 4 OVERALL PROPOSED DEVELOPED & REMAINING LAND PEVERLY HILL ROAD 83 PEVERLY HILL ROAD PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM OWNED BY STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL. SCALE: 1" = 300' (22x34) 1" = 800' (11x17) APRIL 19, 2021

Seacoast Division TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists. 170 Commerca Way, Suite 102 Portsmouth, NH 03801. Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com

Revision table with columns: REV, DATE, DESCRIPTION, IID, BMK, DR, CK.

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Jun 21, 2021 - 12:03pm F:\MISC Projects\47388-11 Green and Co. - 83 Peverly Hill Rd. - Portsmouth\47388-11 Overall Proposed.dwg

GENERAL INFORMATION

OWNER
 MAP 242 LOT 4
 STOKEL SB & NA TRUST 37.5% INT,
 PHILIP J 25% INT
 83 PEVERLY HILL RD
 PORTSMOUTH, NH 03801

APPLICANT/PREPARED FOR

GREEN AND COMPANY REAL ESTATE
 11 LAFAYETTE RD
 NORTH HAMPTON, NH 03868

RESOURCE LIST

PLANNING/ZONING DEPARTMENT
 1 JUNKINS AVE
 PORTSMOUTH, NH 03801
 603-610-7216

BUILDING DEPARTMENT
 1 JUNKINS AVE
 PORTSMOUTH, NH 03801
 603-610-7243
 ROBERT MARSILIA,
 CHIEF BUILDING INSPECTOR

PUBLIC WORKS
 600 PEVERLY HILL RD
 PORTSMOUTH, NH 03801
 603-472-1530
 PETER RICE, PUBLIC WORKS DIRECTOR

POLICE DEPARTMENT
 3 JUNKINS AVE
 PORTSMOUTH, NH 03801
 603-427-1510
 MARK NEWPORT, CHIEF

FIRE DEPARTMENT
 170 COURT ST
 PORTSMOUTH, NH 03801
 603-427-1515
 PATRICK HOWE, CHIEF

ASSOCIATED PROFESSIONALS

ENVIRONMENTAL SERVICES
 GOVE ENVIRONMENTAL SERVICES
 8 CONTINENTAL DRIVE
 BUILDING 2 - UNIT H
 EXETER, NH 03833

SOIL SCIENTIST
 GOVE ENVIRONMENTAL SERVICES
 8 CONTINENTAL DRIVE
 BUILDING 2 - UNIT H
 EXETER, NH 03833
 JIM GOVE, CERTIFIED SOIL SCIENTIST

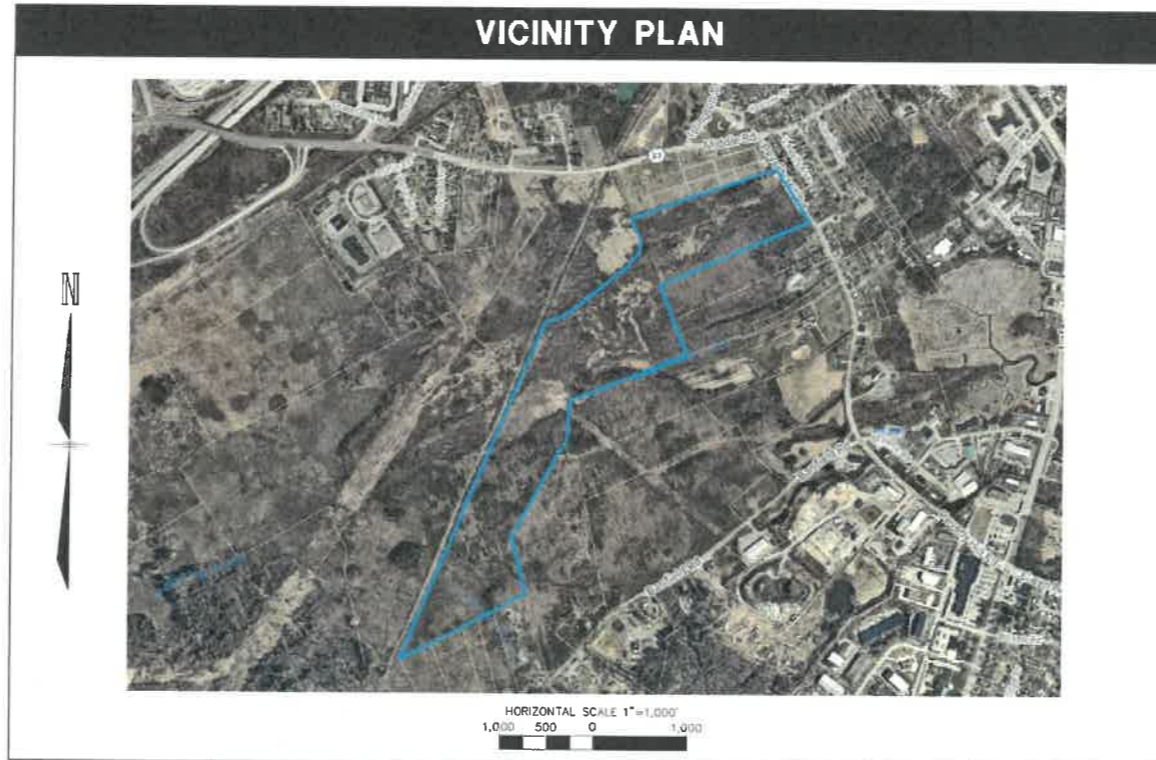
TRAFFIC ENGINEER
 STEPHEN G. PERNAW & COMPANY, INC.
 PO BOX 1721
 CONCORD, NH 03302
 603-731-8500
 STEPHEN G. PERNAW, PE, PTOE

PARSON WOODS CONDOMINIUM

83 PEVERLY HILL ROAD
 PORTSMOUTH, NEW HAMPSHIRE

APRIL 19, 2021
 LAST REVISED JULY 21, 2021

VICINITY PLAN



HORIZONTAL SCALE 1"=1,000'
 1,000 500 0 1,000

ZONING MAP



HORIZONTAL SCALE 1"=1,000'
 1,000 500 0 1,000

INDEX OF SHEETS

SHEET	SHEET TITLE	REVISION DATE
C-00	COVER	
C-01	NOTES AND LEGEND	
S-01	OVERALL EXISTING CONDITIONS PLAN	
S-02 - S-04	EXISTING CONDITIONS PLAN	
S-05	TEST PIT LOGS	
S-06	CONDOMINIUM SITE PLAN	
S-07	OVERALL EASEMENT PLAN	
S-08	EASEMENT PLAN	
C-02	SITE PREPARATION & DEMOLITION PLAN	
C-03	OVERALL SITE LAYOUT PLAN	
C-04 - C-11	SITE LAYOUT PLANS	
C-12 - C-15	ROAD-A PLAN & PROFILE	
C-16	OVERALL GRADING & DRAINAGE PLAN	
C-17 - C-25	GRADING & DRAINAGE PLANS	
C-26	OVERALL UTILITY PLAN	
C-27 - C-33	UTILITY PLANS	
C-34	OVERALL EROSION CONTROL PLAN	
C-35 - C-44	EROSION CONTROL PLANS	
C-45	OVERALL LANDSCAPE PLAN	
C-46 - C-54	LANDSCAPE PLANS	
C-55	OVERALL LIGHTING PLAN	
C-56 - C-63	LIGHTING PLANS	
C-64 - C-65	FIRE TRUCK MOVEMENT PLAN	
C-66	SITE DISTANCE PLAN & PROFILE	
C-67	PEDESTRIAN & BIKE PATH	
C-68 - C-75	DETAILS	

WAIVERS

THE FOLLOWING WAIVERS FROM THE CITY OF PORTSMOUTH SITE REVIEW REGULATIONS ARE BEING REVIEWED BY THE PLANNING BOARD:

1. PORTSMOUTH SUBDIVISION RULES AND REGULATIONS, RESIDENTIAL STREET MINIMUM STANDARDS (PG. 36), REQUIRING 32' OF PAVEMENT WIDTH.
2. PORTSMOUTH SUBDIVISION RULES AND REGULATIONS SECTION V(3)(6), MINIMUM RIGHT-OF-WAY FOR MAIN THOROUGHFARES SHALL NOT BE LESS THAN 50 FEET.
3. PORTSMOUTH SITE PLAN REVIEW REGULATIONS SECTION 2.5.4.3(c), TRUCK TURNING MINIMUM VEHICLE ALLOWED BEING A WB-50.

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
CITY SITE PLAN REVIEW	PENDING	-	-
OPEN SPACE PLANNED UNIT DEVELOPMENT CONDITIONAL USE PERMIT	PENDING	-	-
NHDES ALT. OF TERRAIN	PENDING	-	-
NHDES SEWER CONNECTION PERMIT	PENDING	-	-
EPA SWPPP	PENDING	-	-

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

COVER

PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: NTS

APRIL 19, 2021

Seacoast Division



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
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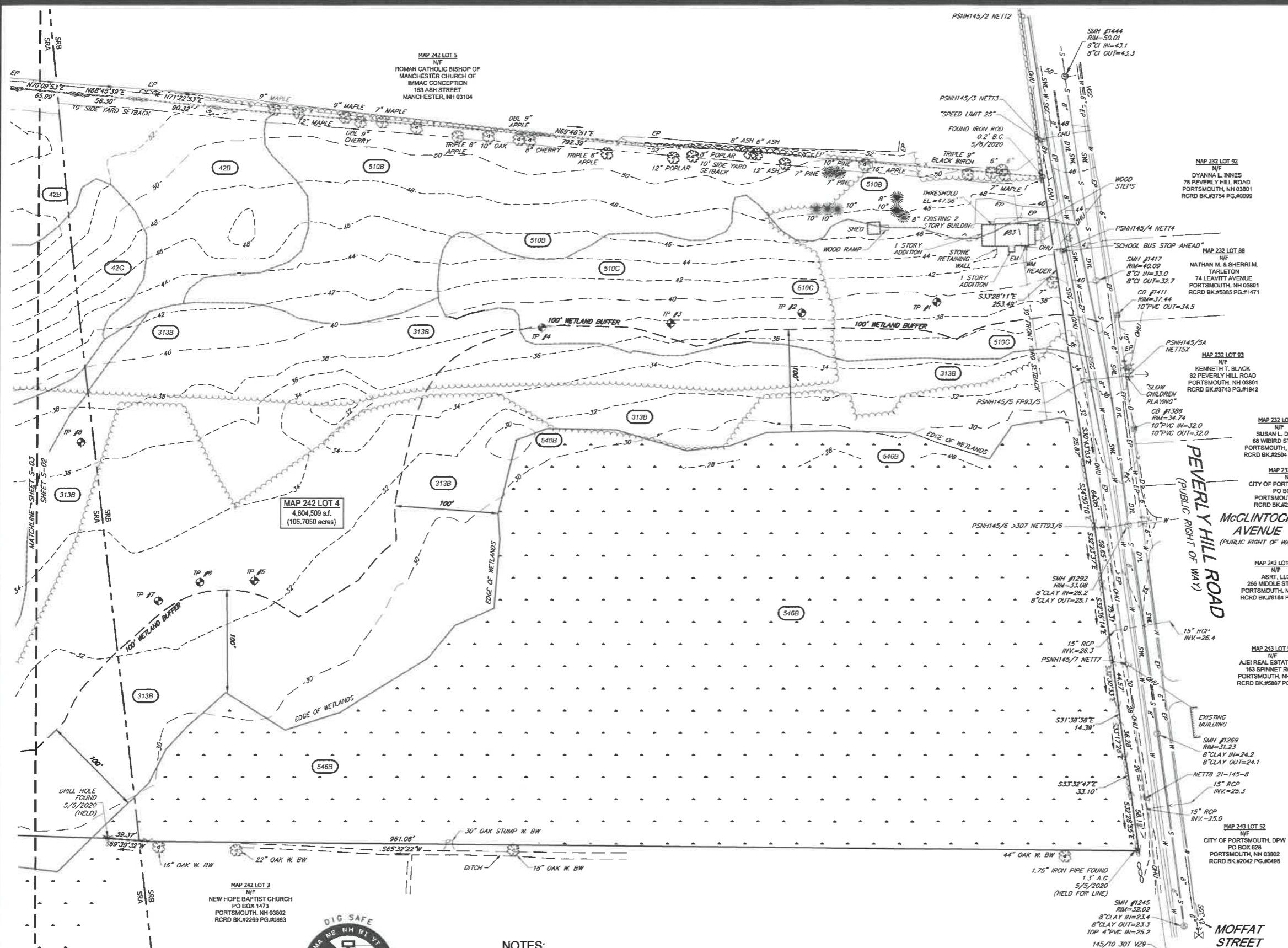
170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tforan.com

REV	DATE	DESCRIPTION	DR	CK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

47388.11	DR	JSM	FB	-	-	C-00
	CK	JJM	CADFILE	47388-11_COVER		



Jul 21, 2021 - 4:31 pm
 F:\MSC Projects\388 - Peverly Hill Rd. - Portsmouth\47388-11 Green and Co - 83 Peverly Hill Rd. - Conto Project\Cartoon Survey\DWG\47388-11 Survey.dwg



LEGEND:

- MAP 137 LOT 11**
- A.G. ABOVE GRADE
 - B.G. BELOW GRADE
 - BK. PG. BOOK / PAGE
 - BW CAST IRON
 - CI BARBED WIRE
 - CL CAST IRON
 - DYL DOUBLE YELLOW LINE
 - EL ELEVATION
 - EM ELECTRIC METER
 - EP EDGE OF PAVEMENT
 - I INDUSTRIAL ZONE
 - INV INVERT
 - NETT NEW ENGLAND TELEPHONE
 - NKP NATURAL RESOURCE PROTECTION ZONE
 - N/F NOW OR FORMERLY
 - PSNH PUBLIC SERVICE COMPANY OF NH
 - PVC POLYVINYL CHLORIDE
 - R RADIUS
 - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - RCP REINFORCED CONCRETE PIPE
 - RJ RURAL ZONE
 - S.F. SQUARE FEET
 - SOC SLOPED GRANITE CURB
 - SMP SEWER MANHOLE
 - SRA SINGLE RESIDENCE A ZONE
 - SRB SINGLE RESIDENCE B ZONE
 - SMH SEWER MANHOLE
 - SWL SINGLE WHITE LINE
 - TBM TEMPORARY BENCHMARK
 - VGC VERTICAL GRANITE CURB
 - W WITH
 - WM WATER METER
 - DRILL HOLE FOUND
 - IRON PIPE/ROD FOUND
 - BOUND FOUND
 - GUY WIRE
 - UTILITY POLE
 - CATCH BASIN
 - MAILBOX
 - POST
 - STUMP
 - CONEFEROUS TREE
 - DECIDUOUS TREE
 - SEWER MANHOLE
 - HYDRANT
 - WATER SHUT OFF
 - WATER GATE VALVE
 - TEST PIT
 - SGN
 - SOIL SYMBOL
- MAP 242 LOT 4**
- OHU OVERHEAD UTILITY LINES
 - X CHAINLINK FENCE
 - BOUNDARY LINE
 - SETBACK LINE
 - TREE LINE
 - DRAIN LINE
 - SEWER LINE
 - GAS LINE
 - WATER LINE
 - 100' EXISTING CONTOUR
 - STONEWALL
 - EDGE OF WETLAND
 - ZONE LINE
 - MATCH LINE
 - PAVEMENT
 - WETLANDS

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN APRIL-MAY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.

STATE OF NEW HAMPSHIRE
 LICENSED LAND SURVEYOR
 No. 644
 J. COREY COLWELL
 2021-07-21
 DATE

TAX MAP 242 LOT 4
EXISTING CONDITIONS PLAN
PEVERLY HILL ROAD
83 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
STELLA B. STOKEL 1993 TRUST &
NANCY A. STOKEL 1993 TRUST
 SCALE: 1" = 50' (22x34)
 1" = 100' (11x17)
 APRIL 19, 2021

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 Fax (603) 431-0910
 www.tfmoran.com
 47388-11
 DR MPP FB 568
 CK BMK CADFILE
 S-02

- NOTES:**
- SEE SHEET S-01 FOR OVERALL BOUNDARY, NOTES, PLAN REFERENCES, SOILS LEGEND AND LOCATION PLAN.
 - SEE SHEET S-05 FOR TEST PIT LOGS.

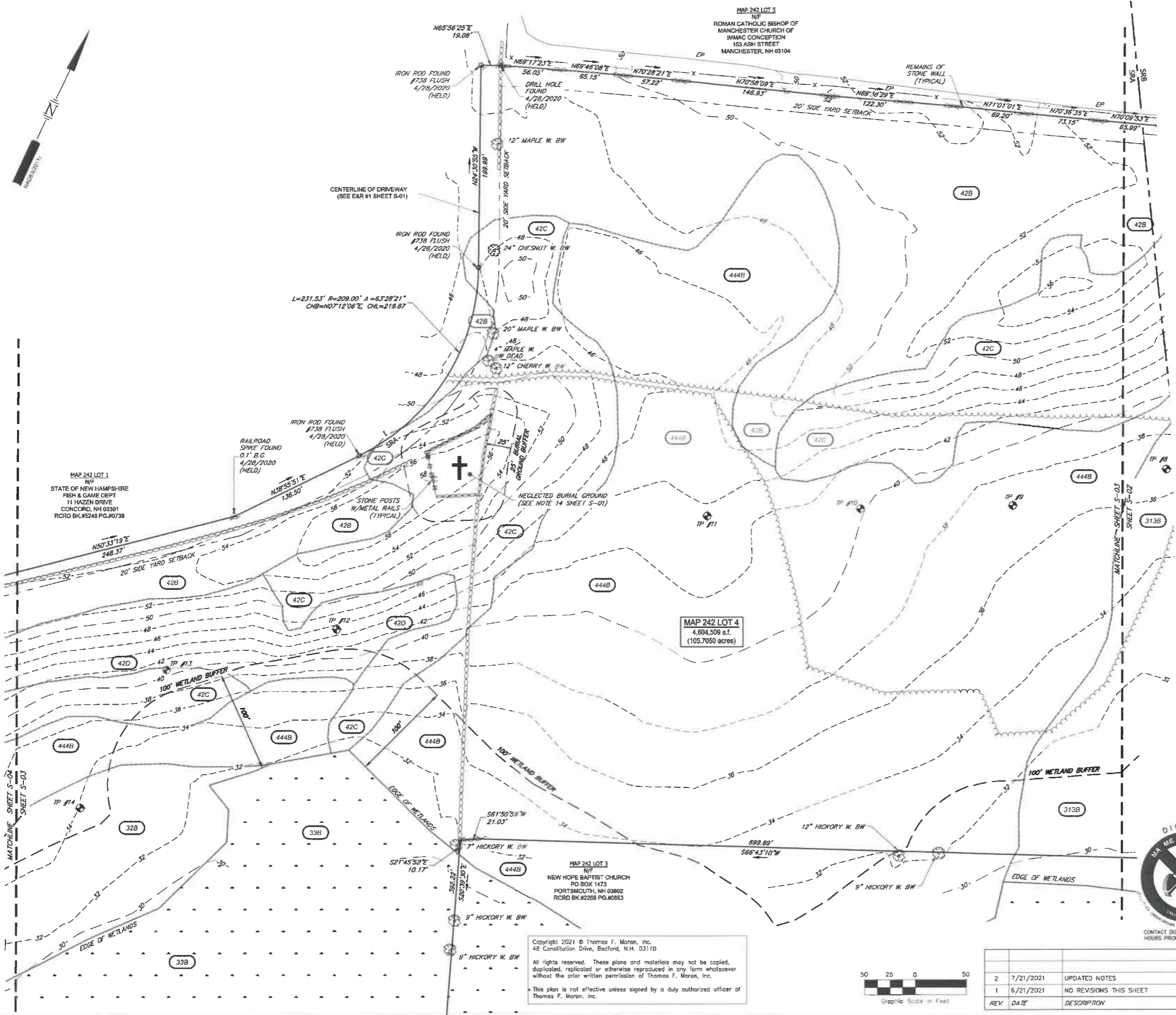


REV.	DATE	DESCRIPTION	DR	CK
2	7/21/2021	ADDED TREES & 8" WATER LINE	BMK	JCC
1	6/21/2021	NO REVISIONS THIS SHEET	IID	BMK

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Jul 21, 2021 - 4:09pm
 F:\MISC Projects\VT3988 - Peverly Hill Rd - Portsmouth\VT3988-11 Green and Co - 83 Peverly Hill Rd - Condo Project\CAUTION Survey\DWG\VT3988-11 Survey.dwg



LEGEND:

- MAP 137 LOT 11**
- B.G. BELOW GRADE
 - BK. PG. BOOK / PAGE
 - BW BARBED WIRE
 - CHB CHORD BEARING
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 - L LENGTH
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 - R RADIUS
 - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - RU RURAL ZONE
 - S.F. SQUARE FEET
 - SRA SINGLE RESIDENCE A ZONE
 - SRB SINGLE RESIDENCE B ZONE
 - TP TEST PIT
 - W WITH
 - POST POST
 - ∠ CENTRAL ANGLE
 - △ TEST PIT
 - DECIDUOUS TREE
 - SOIL SYMBOL
 - SOILS LINE
 - x- CHAINLINK FENCE
 - BOUNDARY LINE
 - SETBACK LINE
 - TREE LINE
 - EXISTING CONTOUR
 - STONEWALL
 - EDGE OF WETLAND
 - ZONE LINE
 - MATCH LINE
 - PAVEMENT
 - ▲ WETLANDS

NOTES:

- SEE SHEET S-01 FOR OVERALL BOUNDARY, NOTES, PLAN REFERENCES, SOILS LEGEND AND LOCATION PLAN.
- SEE SHEET S-05 FOR TEST PIT LOGS.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN APRIL-MAY 2021. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS.
 I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



2021-07-21
 DATE

TAX MAP 242 LOT 4
EXISTING CONDITIONS PLAN
PEVERLY HILL ROAD
83 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
STELLA B. STOKEL 1993 TRUST &
NANCY A. STOKEL 1993 TRUST

SCALE: 1" = 50' (22x34)
 1" = 100' (11x17)

APRIL 19, 2021



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REV.	DATE	DESCRIPTION	DR	CK
2	7/21/2021	UPDATED NOTES	BMK	JCC
1	6/21/2021	NO REVISIONS THIS SHEET	IID	BMK

Seacoast Division

TFM

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

47388-11 DR MYP FB 568 S-03
 CK BMK CADFILE

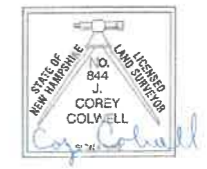
LEGEND:

MAP 137 LOT 11	ASSESSOR'S MAP AND LOT NUMBER
A.G.	ABOVE GRADE
BK. PG.	BOOK / PAGE
CHB	CHORD BEARING
CHL	CHORD LENGTH
I	INDUSTRIAL ZONE
L	LENGTH
N/F	NOW OR FORMERLY
R	RADIUS
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
S.F.	SQUARE FEET
SRA	SINGLE RESIDENCE A ZONE
TC	TRANSPORTATION CORRIDOR ZONE
TP	TEST PIT
Δ	CENTRAL ANGLE
⊙	DRILL HOLE FOUND
⊕	IRON PIPE/ROD FOUND
⊗	POST
⊙	TEST PIT
⊕	SOIL SYMBOL
---	SOILS LINE
X	CHAINLINK FENCE
---	BOUNDARY LINE
---	AND LOCATION PLAN
---	SETBACK LINE
---	TREE LINE
---	EXISTING CONTOUR
---	100'
---	STONEWALL
---	EDGE OF WETLAND
---	ZONE LINE
---	MATCH LINE
---	PAVEMENT
---	WETLANDS

NOTES:

- SEE SHEET S-01 FOR OVERALL BOUNDARY, NOTES, PLAN REFERENCES, SOILS LEGEND AND LOCATION PLAN.
- SEE SHEET S-05 FOR TEST PIT LOGS.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN APRIL-MAY 2020. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS.
I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.



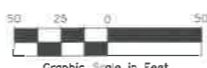
LICENSED LAND SURVEYOR
DATE: 2021-07-21

**TAX MAP 242 LOT 4
EXISTING CONDITIONS PLAN
PEVERLY HILL ROAD
83 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM**
OWNED BY
**STELLA B. STOKEL 1993 TRUST &
NANCY A. STOKEL 1993 TRUST**
SCALE: 1" = 50' (22x34)
1" = 100' (11x17)
APRIL 19, 2021

Seacoast Division
TFM
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
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FILE	DR	MVP	FB	568	
47388-11	CK	BMK	GADFILE		S-04

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REV.	DATE	DESCRIPTION	DR	CK
2	7/21/2021	NO REVISIONS THIS SHEET	BMK	JCC
1	6/21/2021	NO REVISIONS THIS SHEET	ID	BMK

Jul 21, 2021 - 1:01pm
F:\MISC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peverly Hill Rd - Condo Project\CA\Survey\Drawings\47388-11 Survey.dwg

TEST PIT LOGS:

Test Pit No.	ESHWT:	Termination @	Refusal:	Obs. Water:	Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast
601	49"	95"	No	None						
					0-7"	10YR3/3	GRSL	GR	FR	NONE
					7-49"	10YR4/6	GRSL	GR	FR	NONE
					49-95"	10YR4/4	GRS	OM	FR	10YR2/1, C/P
602	44"	96"	No	None						
					0-9"	10YR3/3	GRSL	GR	FR	NONE
					9-44"	10YR4/6	GRSL	GR	FR	NONE
					44-96"	10YR4/4	GRS	OM	FR	7.5YR5/8, C/P
603	36"	109"	No	None						
					0-12"	10YR3/2	GRSL	GR	FR	NONE
					12-36"	10YR4/6	GRSL	GR	FR	NONE
					36-109"	2.5Y5/4	GRSL	PL	FI	7.5YR5/8, C/P
604	55"	95"	No	None						
					0-14"	10YR3/3	GRSL	GR	FR	NONE
					14-55"	10YR4/6	GRSL	GR	FR	NONE
					55-95"	2.5Y5/4	GRSL	PL	FI	7.5YR5/8, C/P
605	37"	102"	No	None						
					0-7"	10YR3/3	GRSL	GR	FR	NONE
					7-37"	10YR5/6	LS	GR	FR	NONE
					37-102"	2.5Y5/3	S	OM	FR	7.5YR5/8, C/P
606	30"	97"	No	None						
					0-10"	10YR3/3	LS	GR	FR	NONE
					10-30"	10YR5/6	LS	GR	FR	NONE
					30-97"	2.5Y5/4	S	OM	FR	7.5YR5/8, C/P

Test Pit No.	ESHWT:	Termination @	Refusal:	Obs. Water:	Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast
607	30"	96"	No	None						
					0-9"	10YR3/3	LS	GR	FR	NONE
					9-30"	10YR5/6	LS	GR	FR	NONE
					30-96"	2.5Y5/3	S	OM	FR	2.5Y6/6, C/P
608	23"	97"	No	None						
					0-8"	10YR3/3	LS	GR	FR	NONE
					8-23"	10YR4/6	LS	GR	FR	NONE
					23-97"	2.5Y5/3	S	OM	FR	7.5YR5/8, C/P
609	35"	111"	No	None						
					0-12"	10YR3/3	GRSL	GR	FR	NONE
					12-35"	10YR4/6	GRSL	GR	FR	NONE
					35-111"	2.5Y5/3	VFS	OM	FR	7.5YR5/8, C/P
610	30"	107"	No	None						
					0-12"	10YR3/3	GRSL	GR	FR	NONE
					12-30"	10YR5/6	GRSL	GR	FR	NONE
					30-107"	2.5Y5/4	VFS	OM	FR	7.5YR5/8, C/P
611	29"	105"	No	None						
					0-12"	10YR3/2	GRFSL	GR	FR	NONE
					12-29"	10YR4/6	GRSL	GR	FR	NONE
					29-105"	2.5Y5/4	VFS	OM	FR	7.5YR5/8, C/P
612	38"	92"	No	None						
					0-12"	10YR3/2	GRSL	GR	FR	NONE
					12-38"	10YR5/6	GRSL	GR	FR	NONE
					38-92"	2.5Y5/4	GRS	PL	FI	7.5YR5/8, C/P


Test Pit No.	ESHWT:	Termination @	Refusal:	Obs. Water:	Depth	Color	Texture	Structure	Consistence	REDOX; Quantity/Contrast
613	33"	110"	No	None						
					0-12"	10YR3/2	GRSL	GR	FR	NONE
					12-33"	10YR4/6	GRSL	GR	FR	NONE
					33-110"	2.5Y5/3	GRFSL	PL	FI	7.5YR5/8, C/P
614	12"	105"	No	None						
					0-12"	10YR3/2	FSL	GR	FR	NONE
					12-40"	2.5Y5/2	SIL	PL	FI	7.5YR5/8, C/P
					40-73"	10YR5/6	FS	OM	FR	7.5YR5/8, C/P
					73-105"	2.5Y4/2	GRFSL	PL	FI	2.5Y6/6, C/D
615	17"	108"	No	None						
					0-8"	10YR3/2	FSL	GR	FR	NONE
					8-17"	10YR4/6	FSL	GR	FR	NONE
					17-44"	2.5Y5/2	SIL	PL	FI	7.5YR5/8, C/P
					44-66"	10YR4/4	FS	OM	FR	7.5YR5/8, C/P
					66-108"	2.5Y3/3	GRFSL	PL	FI	2.5Y6/6, C/D
616	26"	80"	No	None						
					0-9"	10YR3/2	FSL	GR	FR	NONE
					9-26"	10YR4/6	FSL	GR	FR	NONE
					26-80"	2.5Y5/4	GRFSL	PL	FI	7.5YR5/8, C/P
617	35"	80"	No	None						
					0-9"	10YR3/3	GRFSL	GR	FR	NONE
					9-35"	10YR4/6	GRFSL	GR	FR	NONE
					35-80"	2.5Y5/4	GRFSL	PL	FI	7.5YR5/8, C/P
618	22"	57"	No	None						
					0-12"	10YR3/2	GRFSL	GR	FR	NONE
					12-22"	10YR4/6	GRFSL	GR	FR	NONE
					22-57"	2.5Y5/4	GRFSL	PL	FI	7.5YR5/8, C/P

NOTES:

- TEST PITS DATA WAS PROVIDED BY JP GOVE, CSS #004 OF GOVE ENVIRONMENTAL SERVICES, INC. AND DATED 11-19-2020.
- SEE SHEETS S-02 THRU S-04 FOR TEST PIT LOCATIONS.

TAX MAP 242 LOT 4
TEST PIT LOGS
PEVERLY HILL ROAD
83 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM
 OWNED BY
STELLA B. STOKEL 1993 TRUST &
NANCY A. STOKEL 1993 TRUST

SCALE: 1" = 50' (22x34)
 1" = 100' (11x17) APRIL 19, 2021

Seacoast Division
 Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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47388-11 S-05

REV.	DATE	DESCRIPTION	DR	CK
1	7/21/2021	ADDED THIS SHEET	MVP	BMK

Jul 21, 2021, 1:09pm
 F:\MISC Projects\47388-11 Green and Co. - 83 Peverly Hill Rd - Portsmouth\47388-11 Survey.dwg

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LEGEND:

Table with 2 columns: Legend symbols and descriptions. Includes MAP 137 LOT 11, CHB, CHL, INDUSTRIAL ZONE, LENGTH, NRP, N/F, RU, RCRD, S.F., SRA, SRB, TC, BOUNDARY LINE, STONE WALL, WIRE FENCE, EDGE OF WETLAND, WETLAND BUFFER, WELL, WETLANDS, PARK & PATH EASEMENT, CONSERVATION EASEMENT.

PLAN REFERENCES:

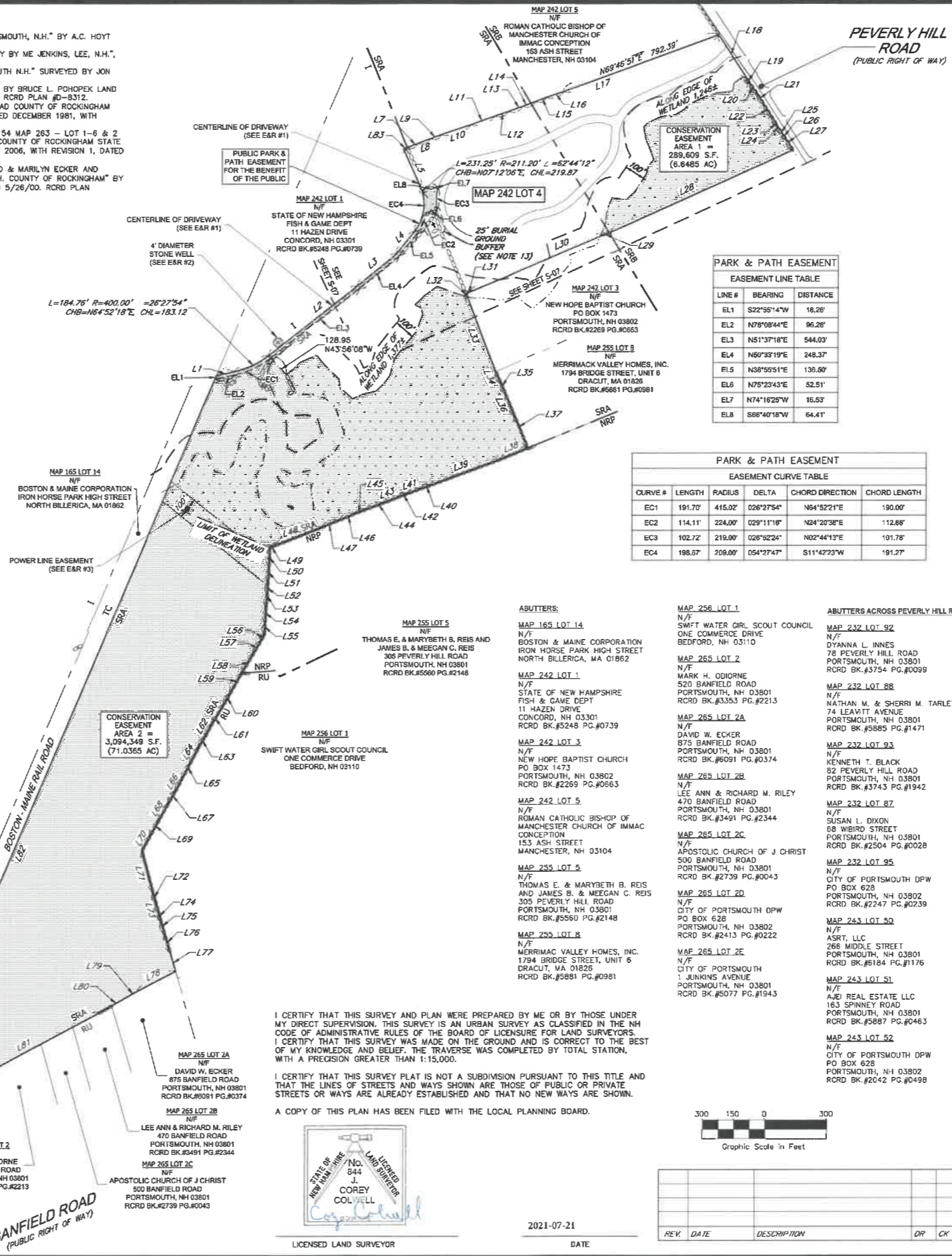
- 1. "PLAN OF A LOT OF LAND BELONGING TO CHARLES H. HAYES PORTSMOUTH, N.H." BY A.C. HOYT SURVEYOR, DATED JULY 1896. RCRD PLAN #0171.
2. "PLAN OF LAND FOR JOHN & MAUD HETT PORTSMOUTH, N.H. SURVEY BY ME JENKINS, LEE, N.H.", DATED DEC. 1988. RCRD PLAN #C-19399.
3. "PROPERTY OF SWIFTWATER GIRL SCOUT COUNCIL CITY OF PORTSMOUTH N.H." SURVEYED BY JON MOORE, DATED AUGUST 1972. RCRD PLAN #D-3206.
4. "SUBDIVISION OF LAND FOR ROBERT E. DOWD IN PORTSMOUTH, N.H." BY BRUCE L. PCHOPEK LAND SURVEYORS DOVER, N.H., DATED MAY 31, 1978, REVISED OCT 5, 78. RCRD PLAN #D-8312.
5. "SUBDIVISION PLAN OF LAND FOR THEODORE C. BURTT BANFIELD ROAD COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY RICHARD P. MILLETTE AND ASSOCIATES, DATED DECEMBER 1981, WITH REVISION 2 DATED JANUARY, 1982. RCRD PLAN #D-10795.
6. "STANDARD BOUNDARY SURVEY MAP 242 - LOT 1 MAP 238 - LOT 54 MAP 263 - LOT 1-6 & 2 FOR THE NATURE CONSERVANCY N.H. ROUTE 33 GREENLAND ROAD COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE" BY AMBIT ENGINEERING, INC., DATED FEBRUARY 2006, WITH REVISION 1, DATED 4/13/06. RCRD PLAN #D-33859.
7. "LOT LINE RELOCATION PLAN MAP P-55 LOTS 2A & 2B FOR HAROLD & MARILYN ECKER AND ELIZABETH K. HURLEY 422 & 470 BANFIELD ROAD PORTSMOUTH, N.H. COUNTY OF ROCKINGHAM" BY AMBIT ENGINEERING, INC., DATED MAY 2000, WITH REVISION 0 DATED 5/26/00. RCRD PLAN #D-28209.

EASEMENTS AND RESTRICTIONS (E&R):

- 1. THE RIGHT TO USE THE GRAVEL DRIVEWAY IN COMMON WITH PETER STOKEL AND HIS HEIRS FROM GREENLAND ROAD, BY THE BURIAL GROUND, AND ALONG THE BOUNDARY BETWEEN THE LANDS OF PETER AND STELLA TO THE RAILROAD, AND SUBJECT TO PETER'S RIGHT TO USE THE SAME IN COMMON. (SEE RCRD BK.#5066 PG.#1603).
2. RIGHTS OF PETER AND STELLA STOKEL AND THEIR RESPECTIVE HEIRS AND ASSIGNS SHALL HAVE EQUAL RIGHTS TO THE WATER OF THE WELL, PUMP, THE PIPES AND ANY OTHER EQUIPMENT USED NOW OR HEREAFTER IN COMMON, CHARGES OF CARE, UPKEEP, REPAIRS OR REPLACEMENT TO BE BORNE EQUALLY, WITH MUTUAL EASEMENTS TO ENTER ON THE LAND OF THE OTHER WHENEVER NECESSARY FOR ANY OF SAID PURPOSES. (SEE RCRD BK.#5066 PG.#1603).
3. 100' WIDE POWER LINE EASEMENT TO THE NEW HAMPSHIRE GAS & ELECTRIC COMPANY. (SEE RCRD BK.#1052 PG.#321).
4. PROPOSED 40' WIDE RIGHT OF WAY TO BE CONVEYED TO CITY OF PORTSMOUTH.
5. PROPOSED PUBLIC POCKET PARK AND PATH EASEMENT FOR THE BENEFIT OF PUBLIC.
6. PROPOSED ACCESS AND DRAINAGE EASEMENT #1 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
7. PROPOSED ACCESS AND DRAINAGE EASEMENT #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
8. PROPOSED CONSERVATION EASEMENT FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
9. PROPOSED DRAINAGE EASEMENTS #1 & #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
10. PROPOSED 3' WIDE RIGHT OF WAY MAINTENANCE AND UTILITY EASEMENT FOR ROADWAY MAINTENANCE AND FUTURE UTILITIES.

LINE TABLE with columns: LINE #, BEARING, DISTANCE. Lists lines L1 through L42 with their respective bearings and distances.

LINE TABLE with columns: LINE #, BEARING, DISTANCE. Lists lines L43 through L83 with their respective bearings and distances.

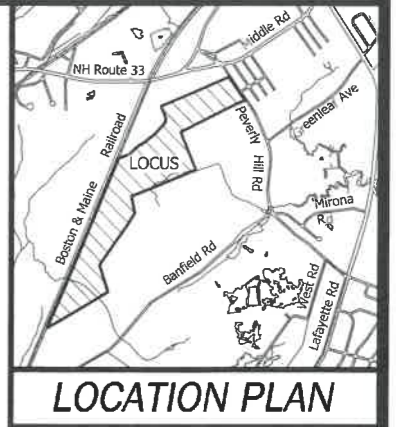


PARK & PATH EASEMENT EASEMENT LINE TABLE with columns: LINE #, BEARING, DISTANCE. Lists lines EL1 through EL8.

PARK & PATH EASEMENT EASEMENT CURVE TABLE with columns: CURVE #, LENGTH, RADIUS, DELTA, CHORD DIRECTION, CHORD LENGTH. Lists curves EC1 through EC4.

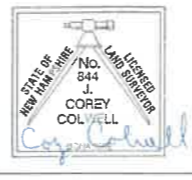
NOTES:

- 1. THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB) ZONING DISTRICTS.
2. THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 242 AS LOT 4.
3. THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFI) FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 33015C0270F, MAP REVISED JANUARY 28, 2021.
4. DIMENSIONAL REQUIREMENT OF OPEN SPACE RESIDENTIAL PUD (OS-PUD) MINIMUM LOT AREA: 10 ACRES REQUIRED, 105.705 ACRES PROPOSED. MINIMUM STREET FRONTAGE: 100' REQUIRED, 685' PROPOSED. MINIMUM EXTERNAL YARDS: FRONT: 100' REQUIRED, 100' PROPOSED. SIDE & REAR: 50' REQUIRED, 50' PROPOSED. MINIMUM INTERNAL YARDS: FRONT: 20' REQUIRED, 20.9' PROPOSED. SIDE & REAR: 25' REQUIRED, 30.0' PROPOSED. MINIMUM SEPARATION BETWEEN STRUCTURES: 30' REQUIRED, 30.0' PROPOSED. COMMON OPEN SPACE: 25% REQUIRED, 83% PROPOSED. PER THE CITY OF PORTSMOUTH ZONING ORDINANCE SECTION 10.725
5. OWNER OF RECORD: MAP 242 LOT 4; STELLA B. STOKEL, 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL, 83 PEVERLY HILL ROAD, PORTSMOUTH, NH 03801, RCRD BK.#5066 PG.#1603
6. PARCEL AREA: MAP 242 LOT 4; 4,504.508 S.F. (105.7050 ACRES)
7. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
8. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED EASEMENTS ON MAP 242 LOT 4.
9. FIELD SURVEY COMPLETED BY TCE, MVP & PJT IN APRIL-MAY 2020 USING A TOPCON DISTO3, TOPCON HIPER-SR, TOPCON HIPER-V AND A CARLSON R14 DATA COLLECTOR.
10. HORIZONTAL DATUM IS NAD83 (2011) PER STAT GPC OBSERVATIONS.
11. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
12. WETLAND DELINEATION WAS COMPLETED BY GOVE ENVIRONMENTAL SERVICES ON FEBRUARY 18, 2020 AND REVISED ON MAY 14, 2020 IN ACCORDANCE WITH THE 1987 ARMY CORP OF ENGINEERS WETLAND MANUAL AND THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (CENTRAL AND NORTHEAST REGION, FIELD LOCATED BY TFMORAN, INC.)
13. THE NEGLECTED BURIAL GROUND SHOWN ON SHEET S-03 IS BELIEVED TO BE THE FORMER HAYES FAMILY BURIAL GROUND. CURRENT OWNERS OF THE PROPERTY ACKNOWLEDGE THAT ALL BODIES HAVE BEEN EXHUMED FROM THIS LOCATION. NO GRAVESTONES EXIST AT THIS BURIAL GROUND. THE 25' BUFFER TO THE BURIAL GROUND IS SHOWN AS AN ABUNDANCE OF CAUTION.
14. SEE SHEET S-08 FOR ADDITIONAL EASEMENTS.



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION. THIS SURVEY IS AN URBAN SURVEY AS CLASSIFIED IN THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE TRAVERSE WAS COMPLETED BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ARE ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN. A COPY OF THIS PLAN HAS BEEN FILED WITH THE LOCAL PLANNING BOARD.



2021-07-21 DATE

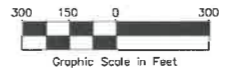


Table with columns: REV, DATE, DESCRIPTION, DR, CK. Includes entries for MAP, FB, CADFILE, and S6B.

TAX MAP 242 LOT 4 OVERALL EASEMENT PLAN PEVERLY HILL ROAD 83 PEVERLY HILL ROAD PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM OWNED BY STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL SCALE: 1" = 300' (22x34) 1" = 600' (11x17) JULY 21, 2021

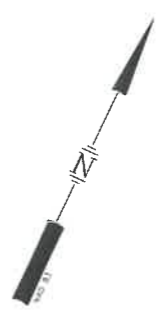
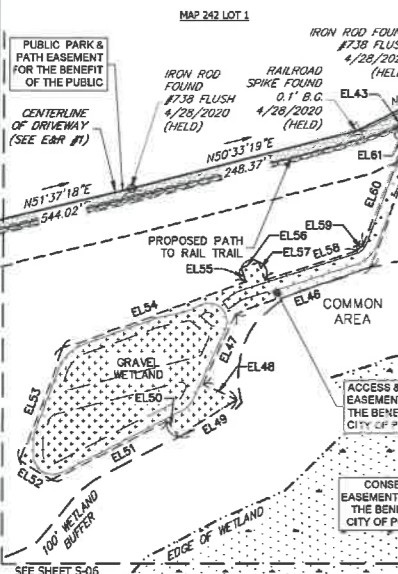
Seacoast Division TFM Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists 170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com

Jul 21, 2021 - 4:38pm F:\MISC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peverly Hill Rd - Concord Project\Carlson\Survey\47388-11 Overall Easement Plan.dwg

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LEGEND:

MAP 254 LOT 1	ASSESSOR'S MAP NUMBER / LOT NUMBER
AG	ABOVE GRADE
BG	BELOW GRADE
BK./PG.	BOOK/PAGE
LCA	LIMITED COMMON AREA NOW OR FORMERLY
N/T	NOW OR FORMERLY
PUD	PLANNED UNIT DEVELOPMENT
RCRD	ROCKINGHAM COUNTY REGISTRY OF DEEDS
SRA	SINGLE RESIDENCE A
SRB	SINGLE RESIDENCE B
S.F.	SQUARE FEET
---	PROPERTY LINE
---	STONEWALL
---	WETLAND BUFFER
---	EDGE OF WETLAND
---	WETLANDS
---	ACCESS & DRAINAGE EASEMENT
---	PUBLIC PARK & PATH EASEMENT
---	DRAINAGE EASEMENT
---	CONSERVATION EASEMENT



LOCATION PLAN

NOTES:

- THE PARCEL IS LOCATED IN THE SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB) ZONING DISTRICTS.
- THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 242 AS LOT 4.
- THE PARCEL IS LOCATED IN ZONE X AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAP (FIRM) ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 33015C0270F, MAP REVISED JANUARY 29, 2021.
- DIMENSIONAL REQUIREMENT OF OPEN SPACE RESIDENTIAL PUD (OS-PUD)

REQUIRED:	PROPOSED:
MINIMUM LOT AREA: 100 ACRES	100.705 ACRES
MINIMUM STREET FRONTAGE: 100'	665'
MINIMUM EXTERNAL YARDS:	
FRONT:	100'
SIDE & REAR:	113.9'
MINIMUM INTERNAL YARDS:	50'
FRONT:	50.2'; 1,191.4'
SIDE & REAR:	20'
MINIMUM SEPARATION BETWEEN STRUCTURES:	25'
COMMON OPEN SPACE:	30'
PER THE CITY OF PORTSMOUTH ZONING ORDINANCE SECTION 10.725	83%
- OWNER OF RECORD: STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL, 83 PEVERLY HILL ROAD, PORTSMOUTH, NH 03801, RCRD BK.#5066 PG.#1603
- PARCEL AREA: MAP 242 LOT 4, 4,804.509 S.F. (105.705 ACRES)
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED EASEMENTS ON MAP 242 LOT 4.
- FIELD SURVEY COMPLETED BY TCE, MYP & PJT IN APRIL-MAY 2020 USING A TOPCON DS103, TOPCON HIPER-SR, TOPCON HIPER-V AND A CARLSON RT4 DATA COLLECTOR.
- HORIZONTAL DATUM IS NAD83 (2011) PER STATIC GPS OBSERVATIONS
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE.
- WETLAND DELINEATION WAS COMPLETED BY COVE ENVIRONMENTAL SERVICES ON FEBRUARY 18, 2020 AND REVISED ON MAY 14, 2020 IN ACCORDANCE WITH THE 1987 ARMY CORP OF ENGINEERS WETLAND MANUAL AND THE 2012 REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION. FIELD LOCATED BY TFMORAN, INC.
- SEE SHEET S-07 FOR OVERALL EASEMENT PLAN.
- THE NEGLECTED BURIAL GROUND SHOWN ON SHEET S-03 IS BELIEVED TO BE THE FORMER HAYES FAMILY BURIAL GROUND. CURRENT OWNERS OF THE PROPERTY ACKNOWLEDGE THAT ALL BODIES HAVE BEEN EXHUMED FROM THIS LOCATION. NO GRAVESTONES EXIST AT THIS BURIAL GROUND. THE 25' BUFFER TO THE BURIAL GROUND IS SHOWN AS AN ABUNDANCE OF CAUTION.

EASEMENTS AND RESTRICTIONS (E&R):
(SEE EASEMENT PLANS, SHEETS S-07 & S-08, TO BE RECORDED)

- THE RIGHT TO USE THE GRAVEL DRIVEWAY IN COMMON WITH PETER STOKEL AND HIS HEIRS FROM GREENLAND ROAD, BY THE BURIAL GROUND, AND ALONG THE BOUNDARY BETWEEN THE LANDS OF PETER AND STELLA TO THE RAILROAD, AND SUBJECT TO PETER'S RIGHT TO USE THE SAME IN COMMON. (SEE RCRD BK.#5066 PG.#1603).
- RIGHTS OF PETER AND STELLA STOKEL AND THEIR RESPECTIVE HEIRS AND ASSIGNS SHALL HAVE EQUAL RIGHTS TO THE WATER OF THE WELL, PUMP, THE PIPES AND ANY OTHER EQUIPMENT USED NOW OR HEREAFTER IN COMMON. CHARGES OF CARE, UPKEEP, REPAIRS OR REPLACEMENT TO BE BORNE EQUALLY, WITH MUTUAL EASEMENTS TO ENTER ON THE LAND OF THE OTHER WHENEVER NECESSARY FOR ANY OF SAID PURPOSES. (SEE RCRD BK.#5066 PG.#1603).
- 100' WIDE POWER LINE EASEMENT TO THE NEW HAMPSHIRE GAS & ELECTRIC COMPANY. (SEE RCRD BK.#1052 PG.#321).
- PROPOSED 40' WIDE RIGHT OF WAY TO BE CONVEYED TO CITY OF PORTSMOUTH.
- PROPOSED PUBLIC POCKET PARK AND PATH EASEMENT FOR THE BENEFIT OF PUBLIC.
- PROPOSED ACCESS AND DRAINAGE EASEMENT #1 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
- PROPOSED ACCESS AND DRAINAGE EASEMENT #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
- PROPOSED CONSERVATION EASEMENT FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
- PROPOSED DRAINAGE EASEMENTS #1 & #2 FOR THE BENEFIT OF THE CITY OF PORTSMOUTH.
- PROPOSED 3' WIDE RIGHT OF WAY MAINTENANCE AND UTILITY EASEMENT FOR ROADWAY MAINTENANCE AND FUTURE UTILITIES.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION. THIS SURVEY IS AN URBAN SURVEY AS CLASSIFIED IN THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE TRAVERSE WAS COMPLETED BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

A COPY OF THIS PLAN HAS BEEN FILED WITH THE LOCAL PLANNING BOARD.

2021-07-21
DATE

ACCESS & DRAINAGE EASEMENT #2

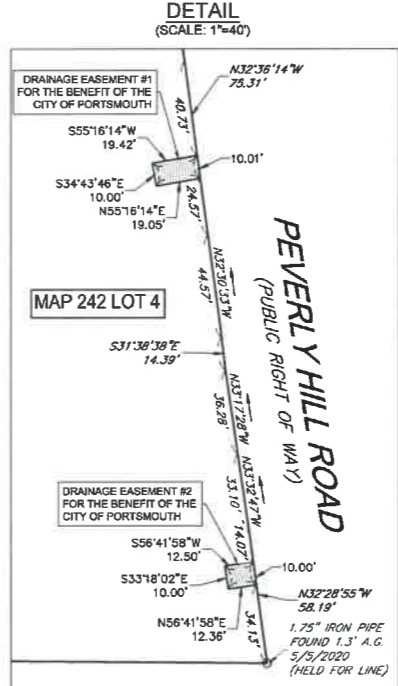
LINE #	BEARING	DISTANCE
EL43	S38°55'50.76"W	18.00'
EL44	N50°44'00.60"W	21.92'
EL45	N04°11'12.38"W	148.61'
EL46	N45°22'38.96"E	153.44'
EL47	N00°04'18.56"W	83.35'
EL48	S89°55'41.44"W	41.09'
EL49	N33°01'55.28"E	74.35'
EL50	S60°52'52.83"E	21.29'
EL51	N37°37'57.33"E	140.01'
EL52	S83°29'19.22"E	38.79'
EL53	S04°17'00.65"E	130.12'
EL54	S45°12'17.22"W	209.76'
EL55	S42°53'23.16"E	15.79'
EL56	S47°08'36.84"W	20.00'
EL57	N42°53'23.16"W	20.50'
EL58	S47°06'36.84"W	102.16'
EL59	S21°27'42.23"W	10.82'
EL60	S04°11'12.38"E	117.74'
EL61	S50°44'00.60"E	18.06'

ROAD RIGHT-OF-WAY EASEMENT

LINE #	BEARING	DISTANCE
EL70	N76°36'49.24"E	215.94'
EL71	N63°29'53.04"E	215.94'
EL72	S70°15'40.67"E	5.90'
EL73	S43°38'44.95"W	194.02'
EL74	N48°06'30.10"E	34.71'
EL75	N85°44'02.07"E	343.37'
EL76	N70°03'21.14"E	36.45'
EL77	N63°29'53.04"E	215.94'
EL78	N76°36'49.24"E	215.94'
EL79	S43°38'44.95"W	194.02'
EL80	S65°44'02.07"W	343.37'
EL81	S46°06'30.10"W	44.38'
EL82	N33°28'11.00"W	253.49'

ROAD RIGHT-OF-WAY EASEMENT

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
EC15	672.20'	179.00'	215°08'43"	N30°58'02"W	341.28'
EC16	119.26'	521.00'	01°30'56"	N70°03'21"E	119.00'
EC17	144.46'	179.00'	046°14'26"	N86°37'06"E	140.57'
EC18	17.78'	12.50'	081°28'29"	S29°31'26"E	16.31'
EC19	48.29'	223.50'	012°22'46"	S05°01'26"W	48.20'
EC20	138.04'	176.50'	044°48'42"	S21°14'24"W	134.55'
EC21	190.56'	279.00'	039°07'58"	S63°12'44"W	186.87'
EC22	161.21'	223.50'	041°19'37"	S62°06'55"W	157.74'
EC23	37.34'	25.00'	085°34'25"	N09°19'01"E	33.96'
EC24	23.39'	223.50'	005°59'43"	N49°06'22"E	23.38'
EC25	60.46'	176.50'	019°37'32"	N55°55'16"E	60.16'
EC26	138.58'	223.50'	035°31'38"	N47°58'13"E	136.38'
EC27	167.80'	219.00'	043°54'00"	N85°28'53"E	163.72'
EC28	110.11'	481.00'	013°06'56"	N70°03'21"E	109.87'
EC29	822.41'	219.00'	215°09'43"	N30°58'02"W	417.54'
EC30	132.36'	183.50'	041°19'37"	S62°06'55"W	129.51'
EC31	217.88'	319.00'	039°07'58"	S63°12'44"W	213.67'
EC32	169.33'	216.50'	044°48'42"	S21°14'24"W	165.04'
EC33	214.26'	183.50'	066°53'59"	S32°17'03"W	202.29'
EC34	74.16'	216.50'	019°37'32"	S55°55'16"W	73.80'
EC35	43.82'	25.00'	100°25'19"	N83°40'50"W	38.42'



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REV	DATE	DESCRIPTION	DR	CK

TAX MAP 242 LOT 4
EASEMENT PLAN
PEVERLY HILL ROAD
83 PEVERLY HILL ROAD
PORTSMOUTH, NEW HAMPSHIRE
COUNTY OF ROCKINGHAM

OWNED BY
STELLA B. STOKEL 1993 TRUST, NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL

SCALE: 1" = 100' (22x84)
1" = 200' (11x17)

JULY 21, 2021

Seacoast Division
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

TFM

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
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47388-11
DR ID FD
CK BK CADFILE
S-08

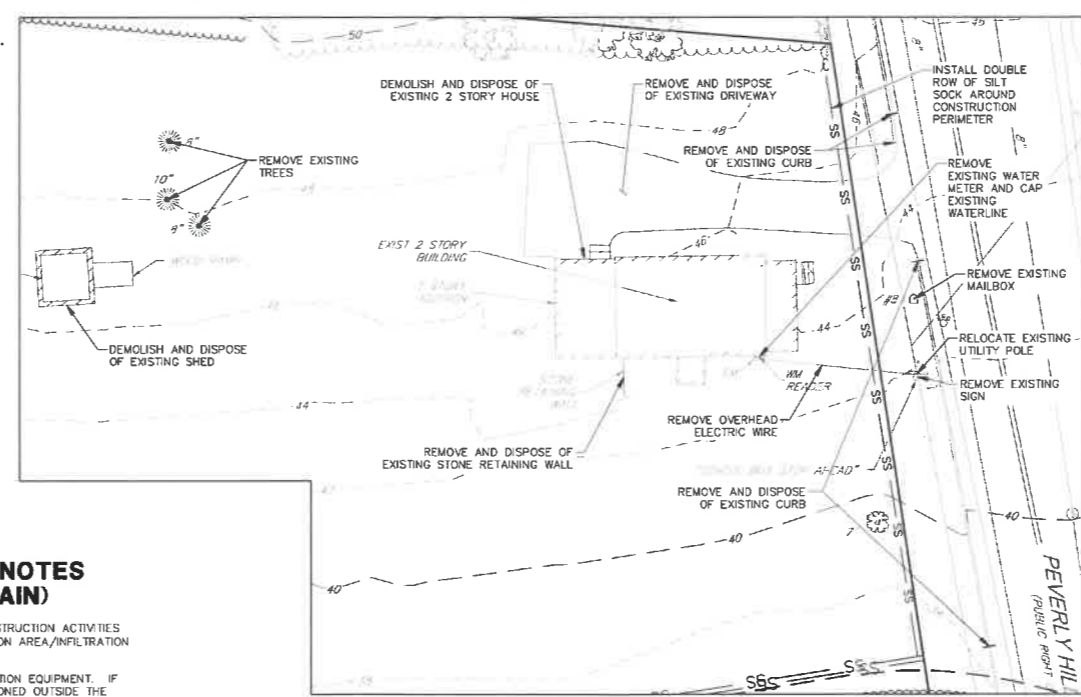
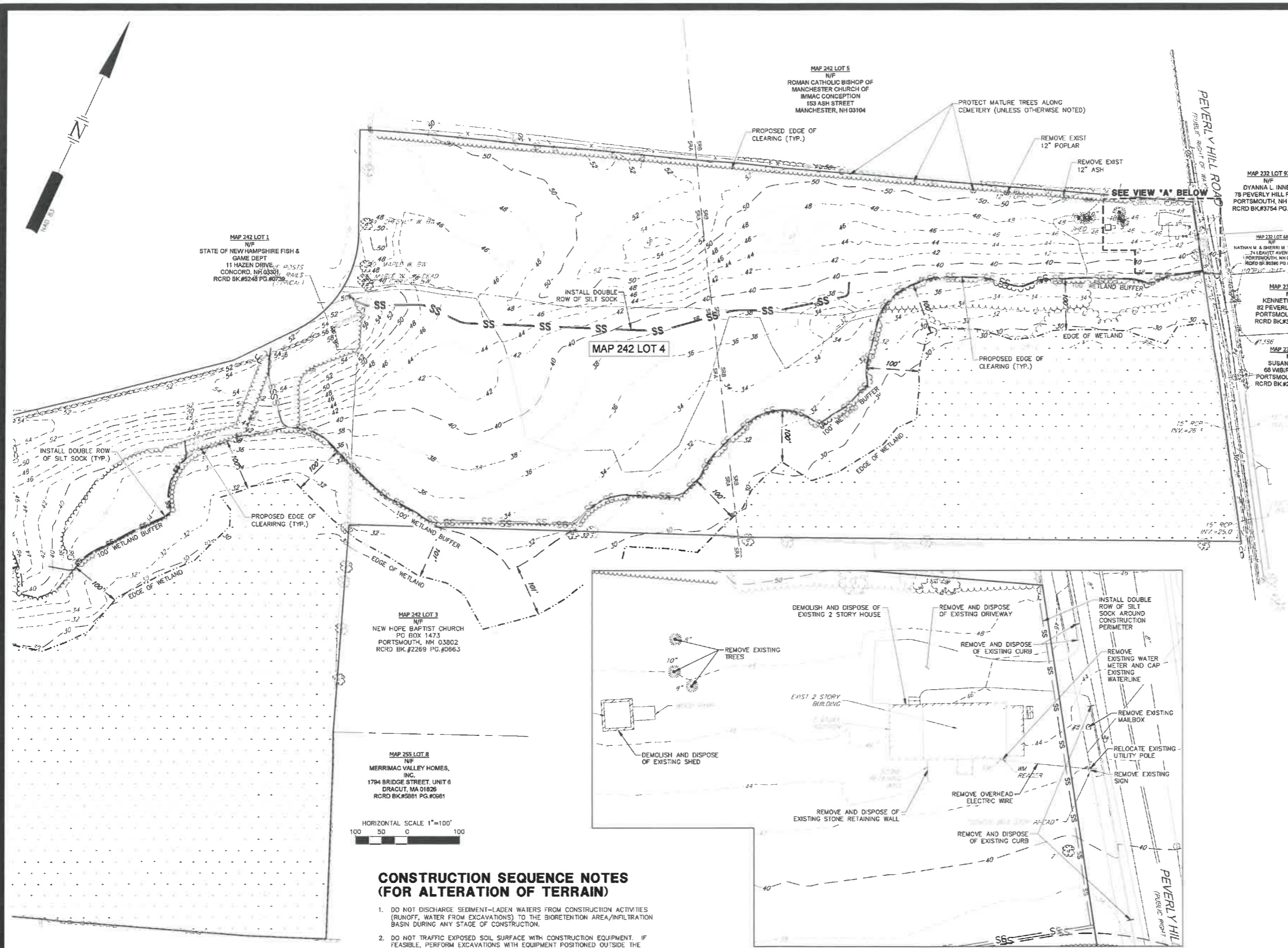
Jul 21, 2021 - 4:13pm F:\MISC Projects\47388-11 Green and Co. - 83 Peverly Hill Rd. - Portsmouth\47388-11 Easement Plan.dwg

NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
3. THE CONTRACTOR SHALL VERIFY ALL SURVEY INFORMATION IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
4. EXISTING UTILITY SERVICES TO BE DISCONTINUED ARE TO BE CAPPED AS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES.
5. CONSTRUCTION DEBRIS AND INVASIVE SPECIES SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER.
6. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL PLACE ORANGE CONSTRUCTION FENCING AROUND EACH TREE TO BE RETAINED THROUGHOUT CONSTRUCTION. NO STOCKPILES OF MATERIAL ARE PERMITTED WITHIN THE DRIP LINE OF THE TREES TO BE SAVED.
7. CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY IF ANY TREES ARE DAMAGED DURING CONSTRUCTION.

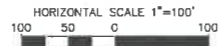
CONSTRUCTION SEQUENCE NOTES

- TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.
- MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.
- THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 72 HOURS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.
- THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AIR 3800 RELATIVE TO INVASIVE SPECIES.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE OF INFILTRATION SYSTEMS WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION SYSTEM. STORMWATER RUNOFF MUST BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- AFTER THE INFILTRATION SYSTEM IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE THE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
 2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
 3. PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
 4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
 5. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED. (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
 6. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEED WITHIN 72 HOURS AFTER GRADING.
 7. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
 8. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING CONSTRUCTION.
 9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
 10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
 11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
 12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
 13. CONSTRUCT PROPOSED ROADWAY, RAIN GARDENS, GRAVEL WETLANDS AND DRAINAGE SWALES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
 14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
 15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
 16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
 17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS, AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
 18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

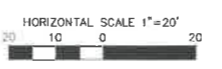


CONSTRUCTION SEQUENCE NOTES (FOR ALTERATION OF TERRAIN)

1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA/INFILTRATION BASIN DURING ANY STAGE OF CONSTRUCTION.
2. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
3. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
4. DO NOT PLACE THE BIORETENTION AREA/INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
5. DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



VIEW 'A'



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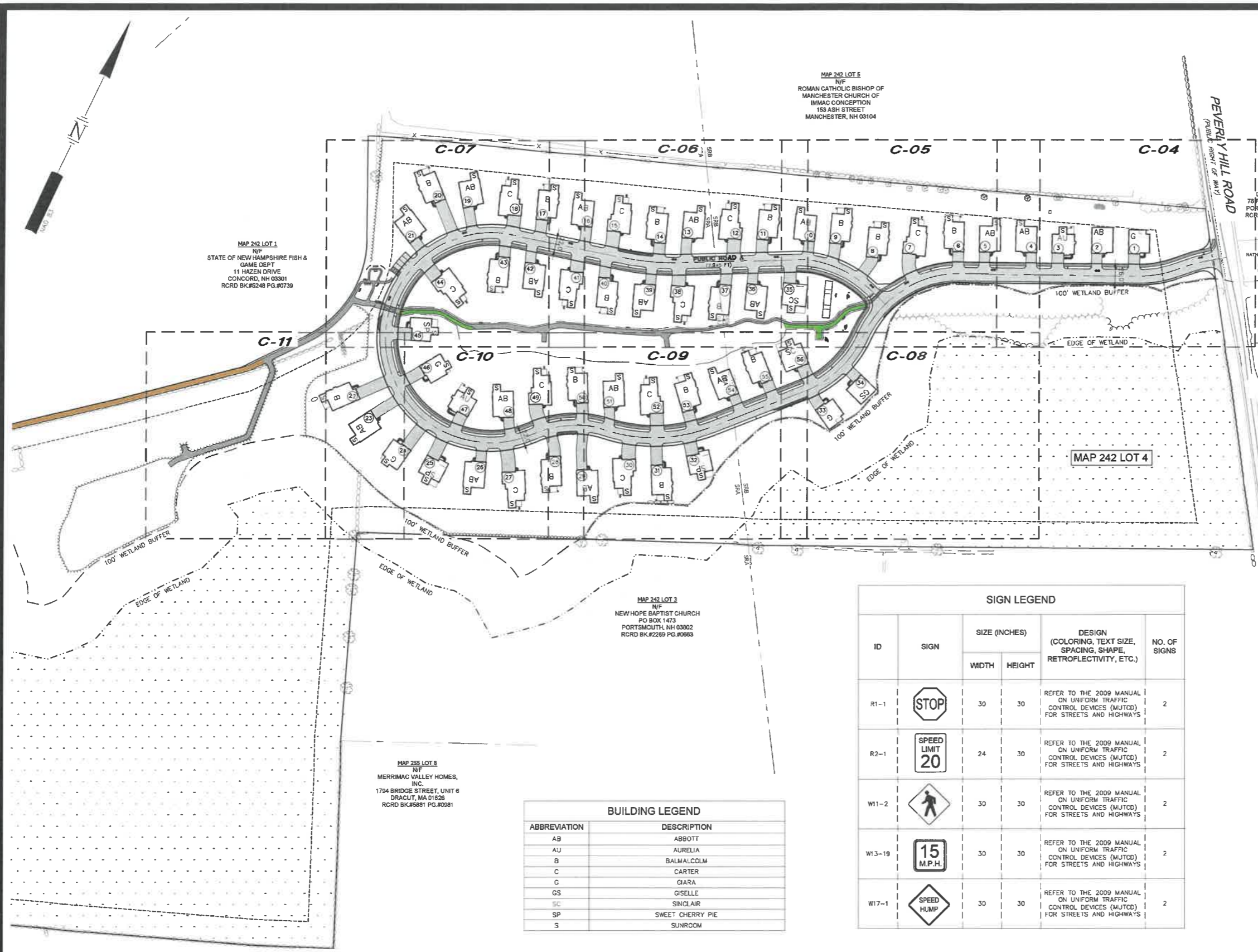
SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
SITE PREPARATION & DEMOLITION PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 SCALE: AS SHOWN APRIL 19, 2021

Seacoast Division
TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists
 170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com
 47388.11 OR JSM FB
 CK JSM CADFILE 47388-11_SITEPREP C-02

REV.	DATE	DESCRIPTION	DP	CK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

Jul 21, 2021 - 5:09pm F:\MISC Projects\47388 - Peverly Hill Rd. - Portsmouth\47388-11 Green and Co. - 83 Peverly Hill Rd. - Condo Project\Design\Production Drawings\47388-11_SitePrep.dwg

Jul 21, 2021 - 4:19pm
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SITE DATA

OWNER OF RECORD OF MAP 242 LOT 4:
 STELLA B. STOKEL 1993 TRUST
 NANCY A. STOKEL 1993 TRUST & PHILIP J. STOKEL
 83 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801

DEED REFERENCE TO PARCEL IS BK 5086 PG 1603
 AREA OF PARCEL = 4,801.500± SF OR 110± ACRES

ZONED: SINGLE RESIDENCE A (SRA) & SINGLE RESIDENCE B (SRB)
 EXISTING USE: RESIDENTIAL (SINGLE FAMILY DWELLING)
 PROPOSED USE: RESIDENTIAL (OPEN SPACE PLANNED UNIT CONDOMINIUM DEVELOPMENT)

THE PURPOSE OF THIS PLAN IS TO DEPICT A DEVELOPMENT OF 56 SINGLE FAMILY CONDOMINIUM UNITS WITH ASSOCIATED ROADWAY, UTILITIES, AND SITE IMPROVEMENTS.

BASE RESIDENTIAL DENSITY CALCULATIONS:

REQUIRED BASE RESIDENTIAL DENSITY:
 SRA: DEVELOPABLE AREA = TOTAL AREA - WETLANDS - 15% SLOPES = 3,338,561 SF - 1,684,960 SF = 1,653,601 SF
 = 2,096,674 SF
 MINIMUM LOT AREA PER DWELLING = 1 AC = 43,560 SF
 SRB: DEVELOPABLE AREA = TOTAL AREA - WETLANDS - 15% SLOPE = 665,948 SF - 285,452 SF = 380,496 SF
 = 378,279 SF
 MINIMUM LOT AREA PER DWELLING = 15,000 SF

MAXIMUM UNITS FOR DEVELOPMENT = DEVELOPABLE AREA / MINIMUM LOT AREA PER DWELLING
 (SRA) 2,096,674 SF / 43,560 SF = 48.1 UNITS
 (SRB) 378,279 SF / 15,000 SF = 25.2 UNITS
 TOTAL = 74 UNITS
 PROPOSED UNITS FOR OS-PUD = 56 UNITS

PARKING CALCULATIONS:
 REQUIRED: 1.3 SPACES/UNIT PLUS ONE (1) VISITOR SPACE FOR EVERY 5 DWELLING UNITS.
 TOTAL REQUIRED = 84 SPACES
 PROPOSED: 224 SPACES (2 GARAGE SPACES PER UNIT, PLUS 2 PRIVATE DRIVEWAY SPACES PER UNIT)

EFFECTIVE IMPERVIOUS SURFACE CALCULATIONS:
 IMPERVIOUS AREA/TOTAL LOT AREA = 509,454 SF / 4,832,250 SF = 0.011
 TOTAL EFFECTIVE IMPERVIOUS SURFACE = 1.10%

NOTES

- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
- SEE GENERAL NOTES ON NOTES & LEGEND SHEET (C-01).
- LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY ZONING ORDINANCE AND SITE PLAN REGULATIONS.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THE 2-FOOT PANEL ALONG THE EDGE OF THE ROADWAY TO BE USED FOR SNOW STORAGE.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- BUILDING SIZE, STYLE, AND LOCATION SHOWN ARE APPROXIMATE AND FOR DEMONSTRATIVE PURPOSES ONLY. FINAL BUILDING LOCATION, SIZE, AND STYLES TO BE DETERMINED PRIOR TO ISSUANCE OF A BUILDING PERMIT, AND SHALL MEET ALL APPLICABLE CITY AND STATE REGULATIONS.
- SETBACKS ARE BASED ON THE BUILDING WALLS NOT OVERHANGS. SEPARATION (BUILDING SEPARATION) IS BASED ON THE DEFINITION OF BUILDING COVERAGE IN THE PORTSMOUTH ZONING REGULATIONS, ARTICLE 15, DEFINITIONS. THIS EXEMPTS OVERHANGS LESS THAN 30" FROM THE VERTICAL WALL, TYING THE SETBACK TO THE VERTICAL WALL.

BUILDING LEGEND

ABBREVIATION	DESCRIPTION
AB	ABBOTT
AU	AURELIA
B	BALMALCOLM
C	CARTER
G	GIARA
GS	GISELLE
SC	SINCLAIR
SP	SWEET CHERRY PIE
S	SUNROOM

SIGN LEGEND

ID	SIGN	SIZE (INCHES)		DESIGN (COLORING, TEXT SIZE, SPACING, SHAPE, RETROFLECTIVITY, ETC.)	NO. OF SIGNS
		WIDTH	HEIGHT		
R1-1		30	30	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	2
R2-1		24	30	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	2
W11-2		30	30	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	2
W13-19		30	30	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	2
W17-1		30	30	REFER TO THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS	2

SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
OVERALL SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=40' (11"X17")
 SCALE: 1"=20' (22"X34") APRIL 19, 2021

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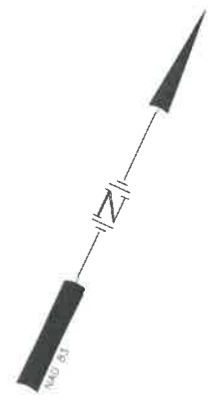


REV.	DATE	DESCRIPTION	DR	CHK
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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JLM

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 CK JLM CADFILE 47388-11_SITELAYOUT
 C-03

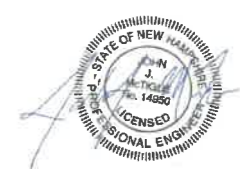
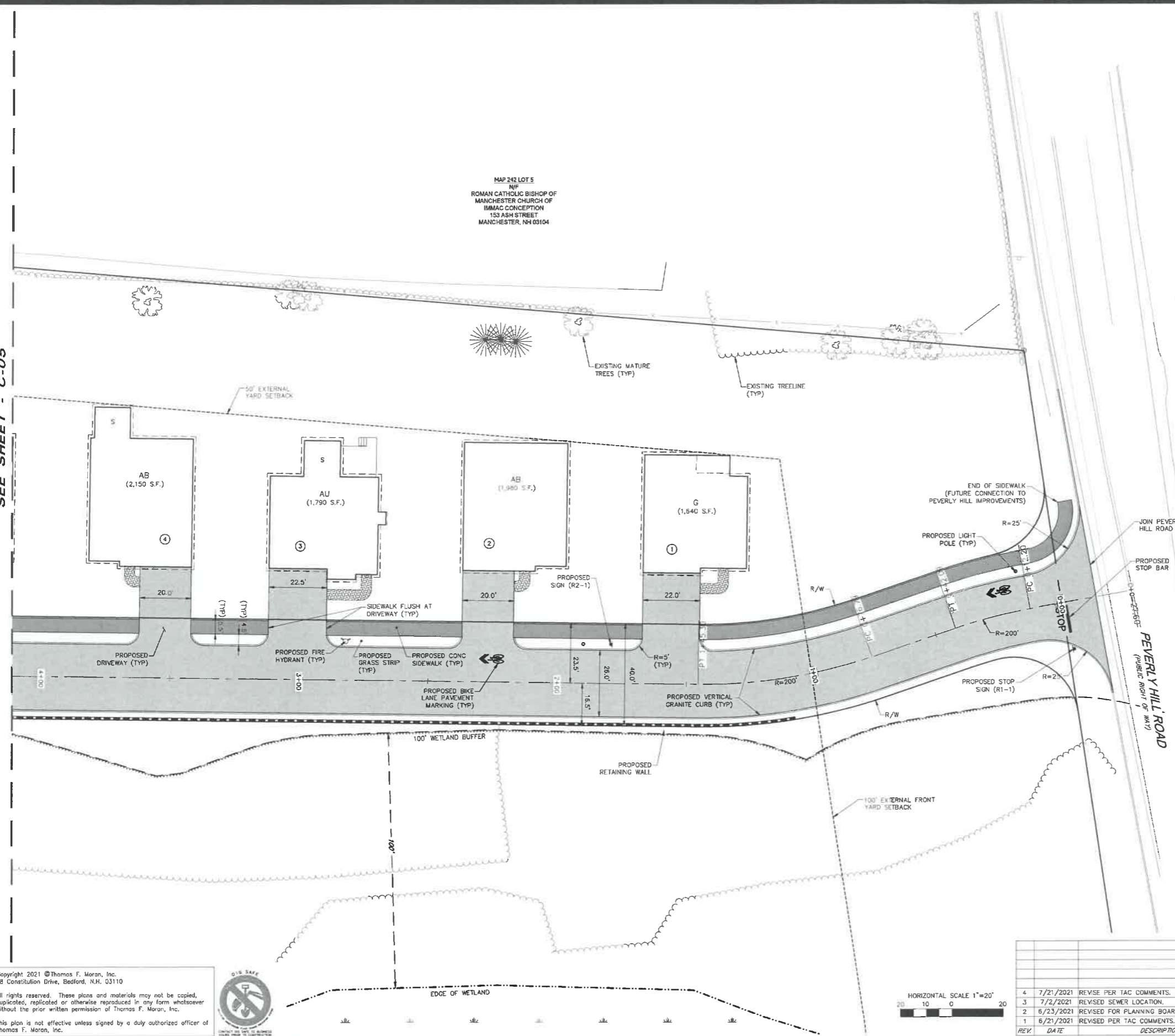


MAP 242 LOT 5
N/P
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
133 ASH STREET
MANCHESTER, NH 03104

MAP 232 LOT 92
N/P
DYANNA L INNES
78 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK/R754 PG.R0099

MAP 232 LOT 88
N/P
NATHAN M. & SHERI M. TARTLETON
74 LEAVITT AVENUE
PORTSMOUTH, NH 03801
RCRD BK/R589 PG.81471

SEE SHEET - C-05



SITE DEVELOPMENT PLANS
TAX MAP 242 LOT 4
SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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STOKEL SB & NA TRUST, PHILIP J 25% INT
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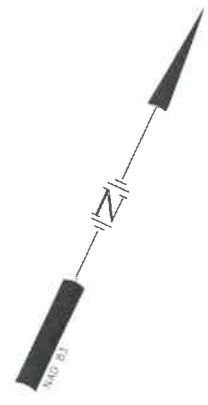


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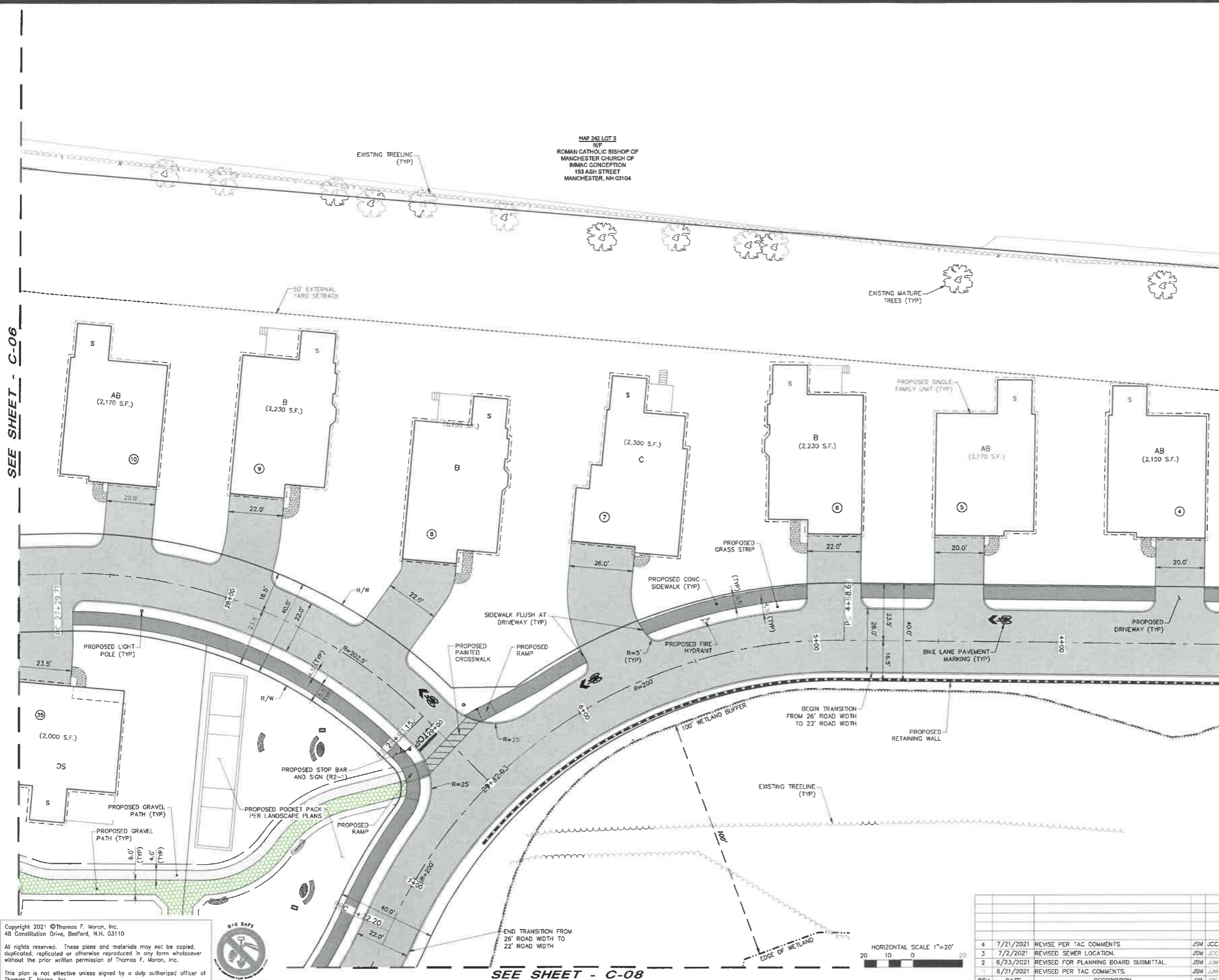
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MAP 242 LOT 5
 N/F
 ROMAN CATHOLIC BISHOP OF
 MANCHESTER CHURCH OF
 IMMAC CONCEPTION
 153 ASH STREET
 MANCHESTER, NH 03104

SEE SHEET - C-06

SEE SHEET - C-04

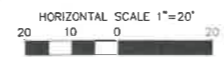


SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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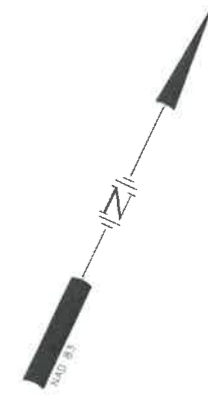
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SEE SHEET - C-07

SEE SHEET - C-05

SEE SHEET - C-09



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 TAX MAP 242 LOT 4
SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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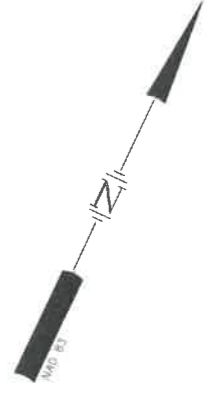
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MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RC RD BK#5248 PG.#0739



SEE SHEET - C-06



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

SITE LAYOUT PLAN

PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH

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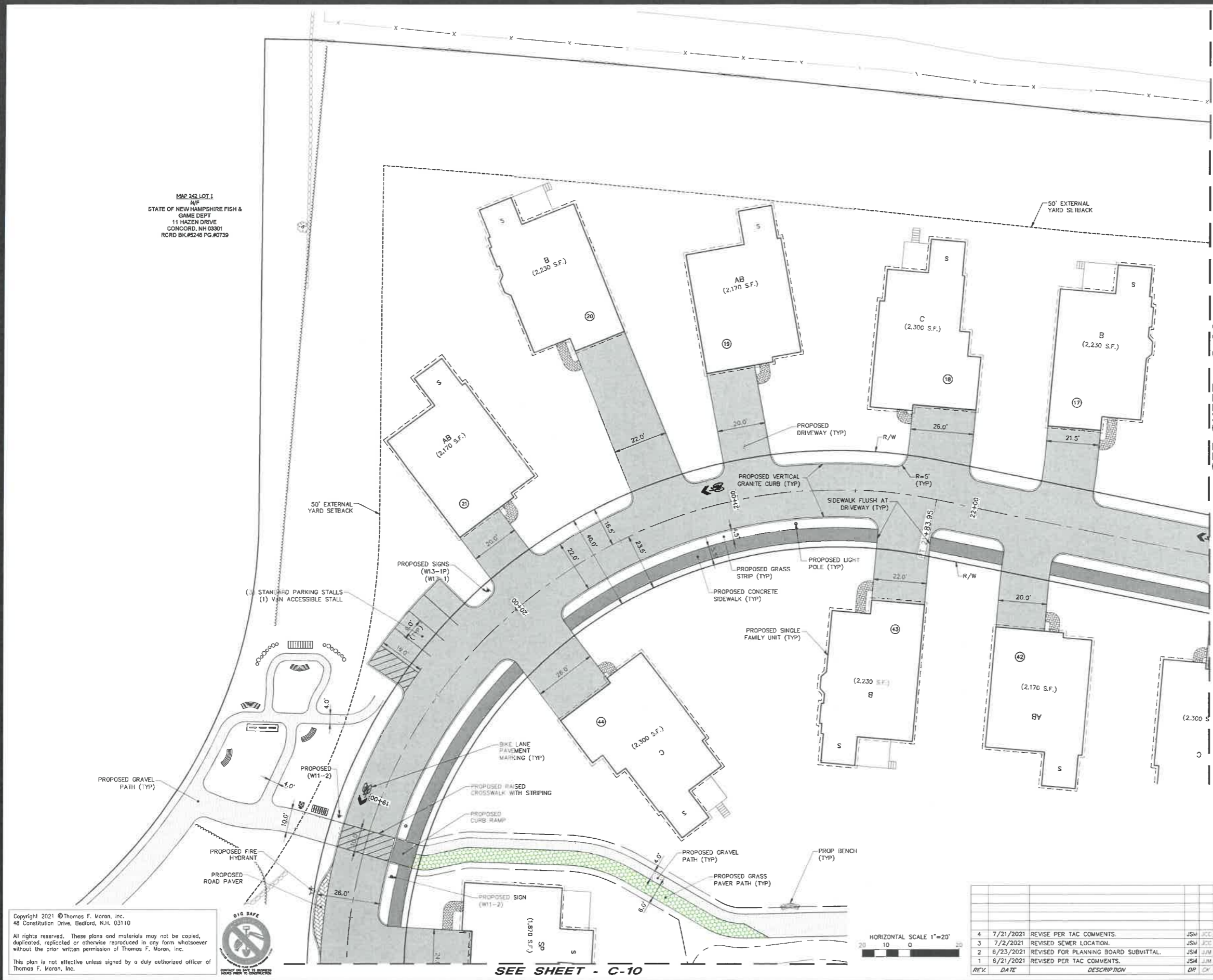
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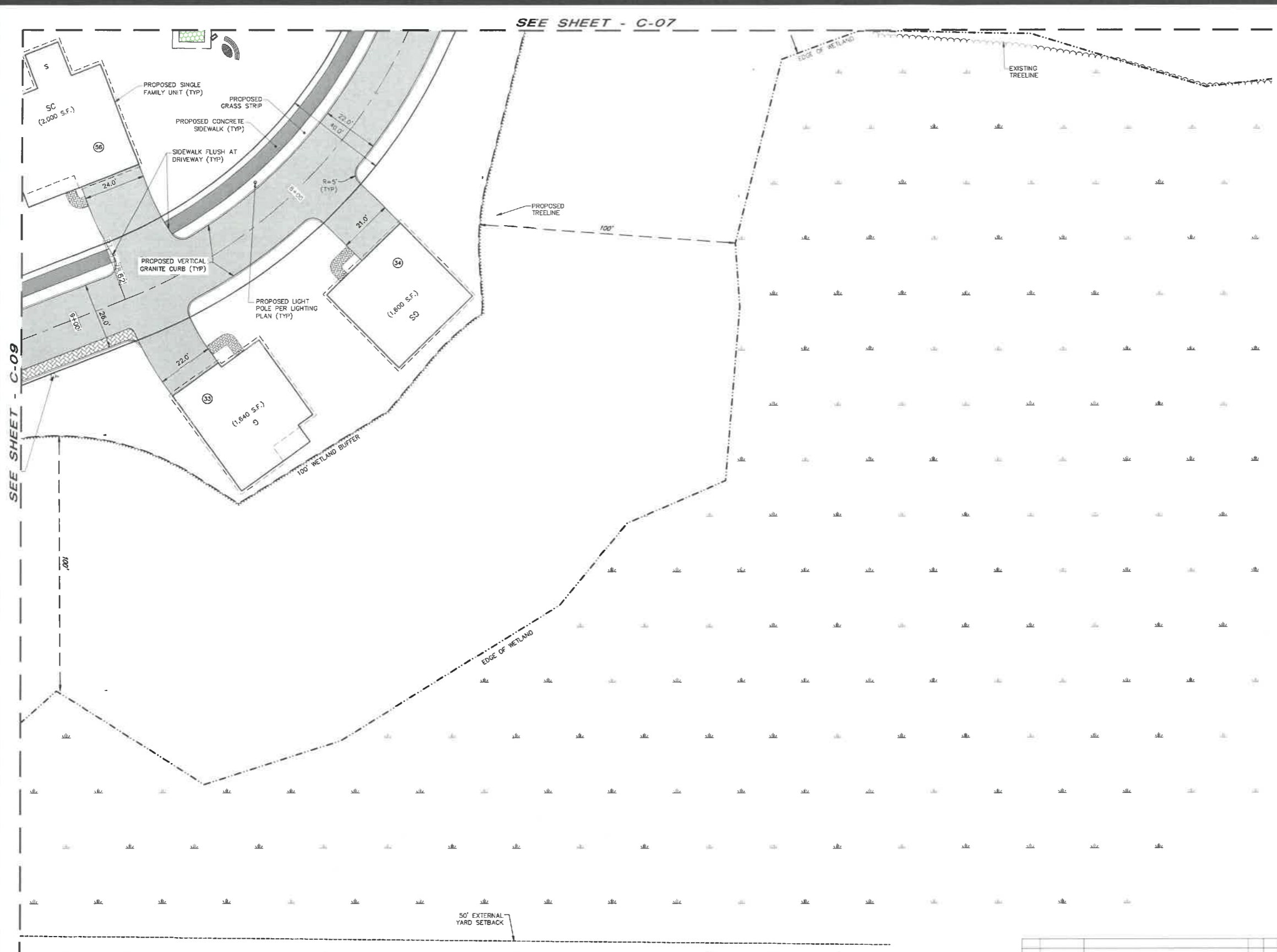
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SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
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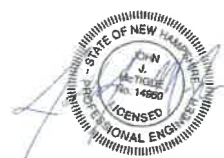
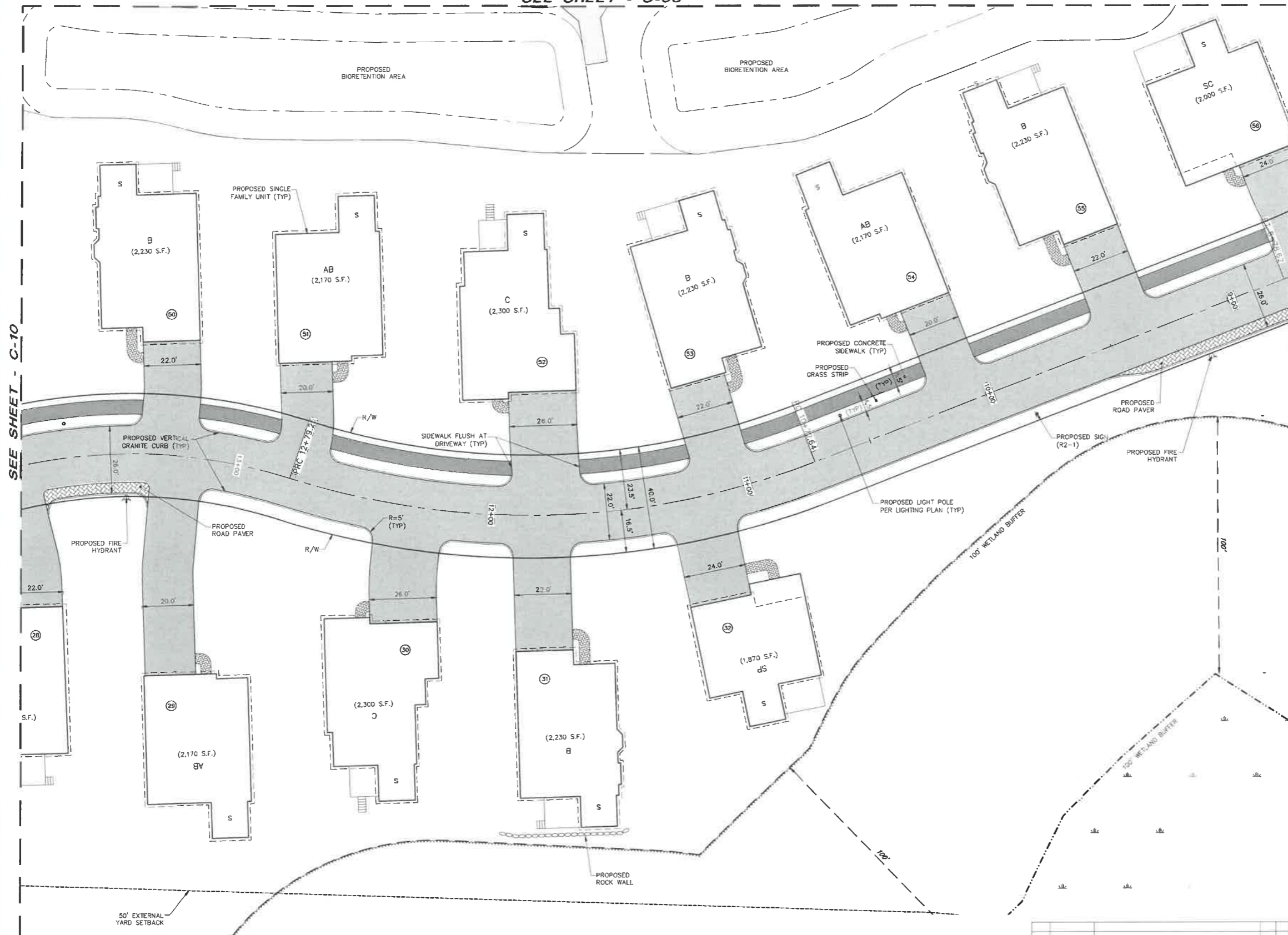
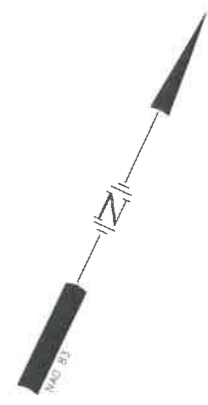
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C-08

SEE SHEET - C-08

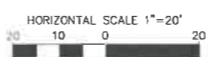
SEE SHEET - C-10

SEE SHEET - C-08



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
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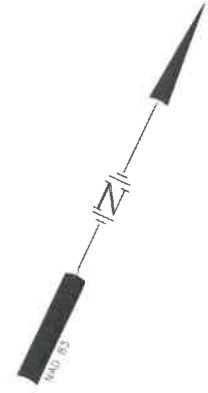
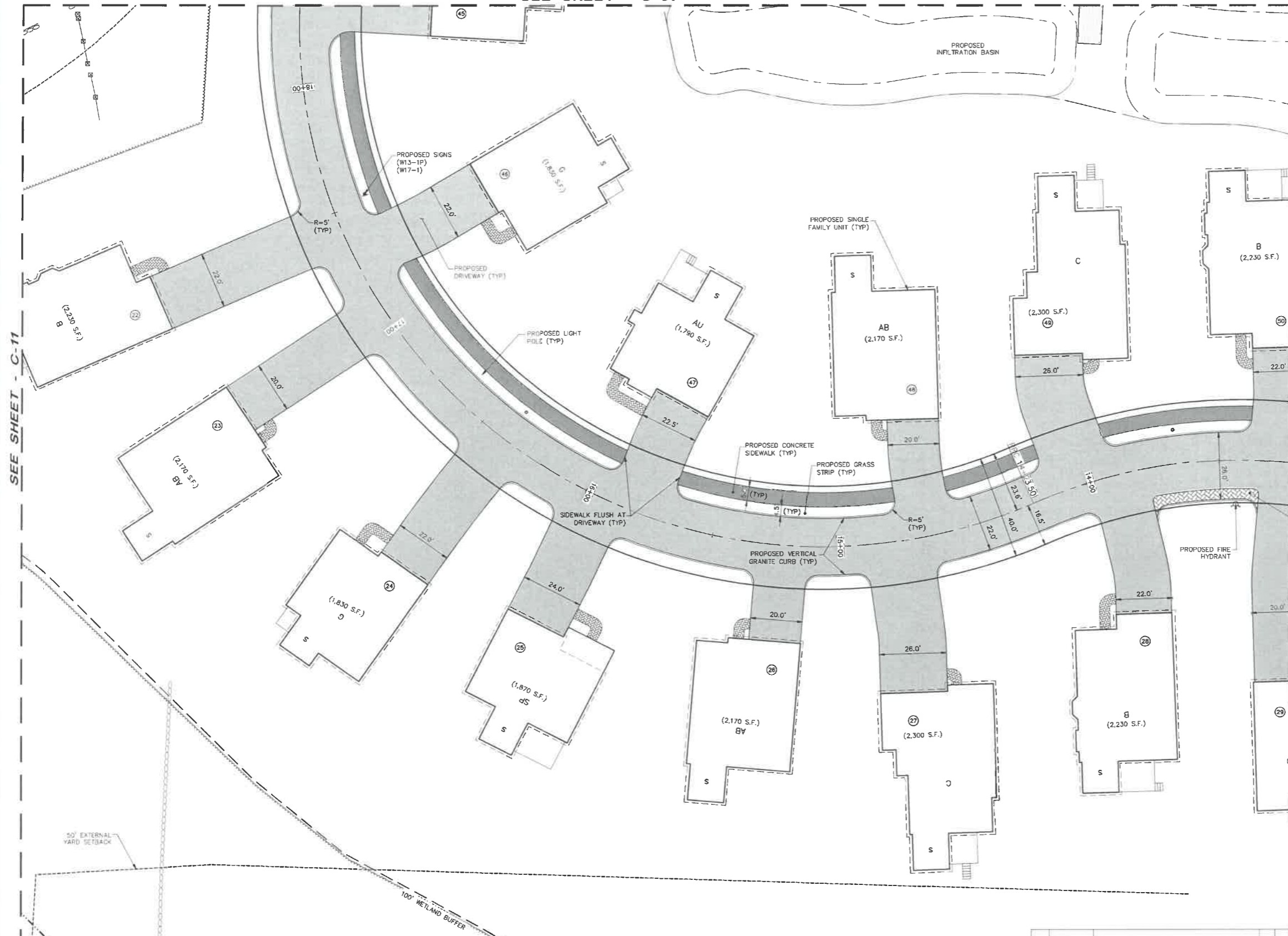
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SEE SHEET - C-11

SEE SHEET - C-09



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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HORIZONTAL SCALE 1"=20'
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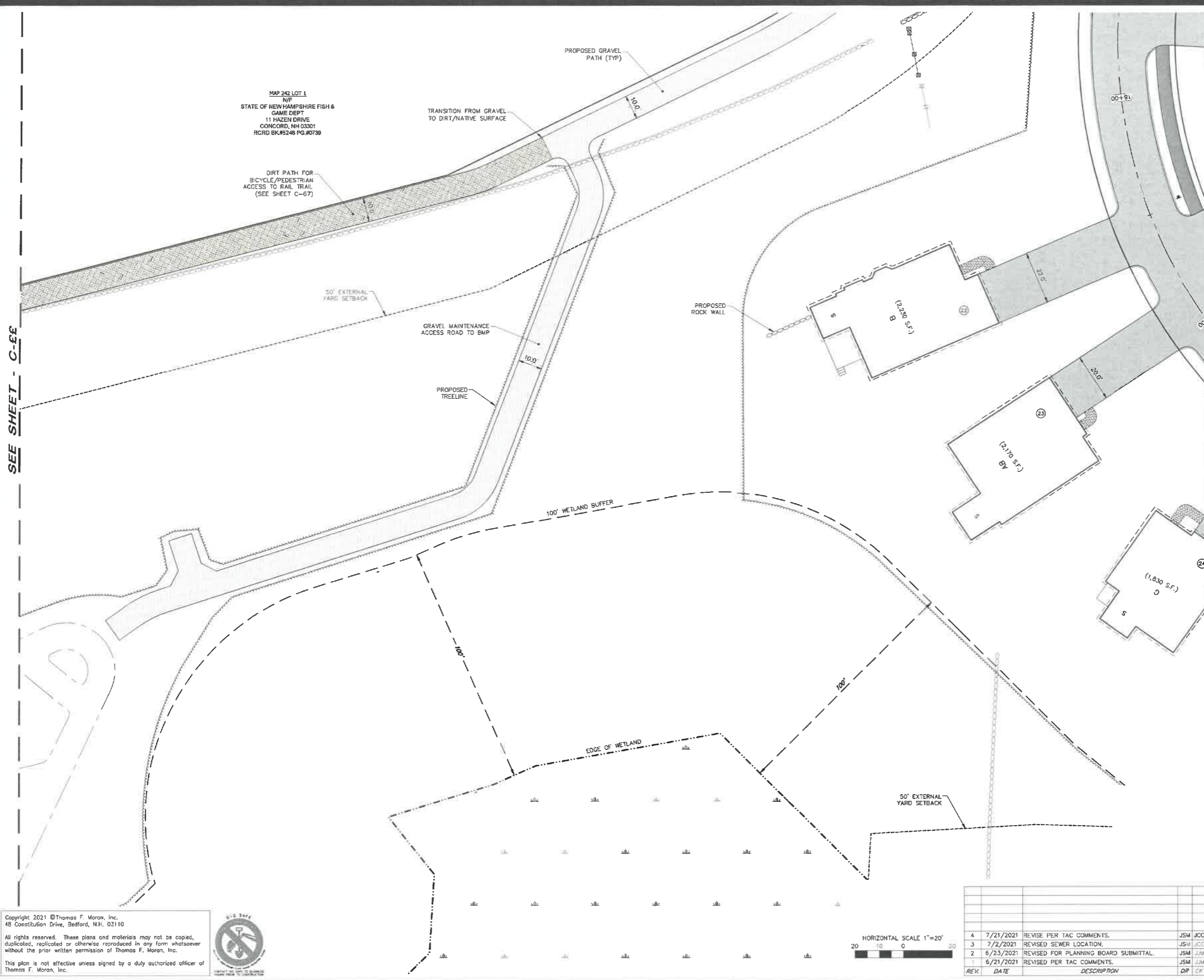
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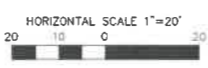
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SITE LAYOUT PLAN
PARSON WOODS CONDOMINIUM LLC
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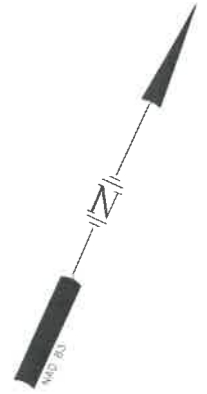
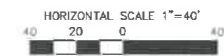
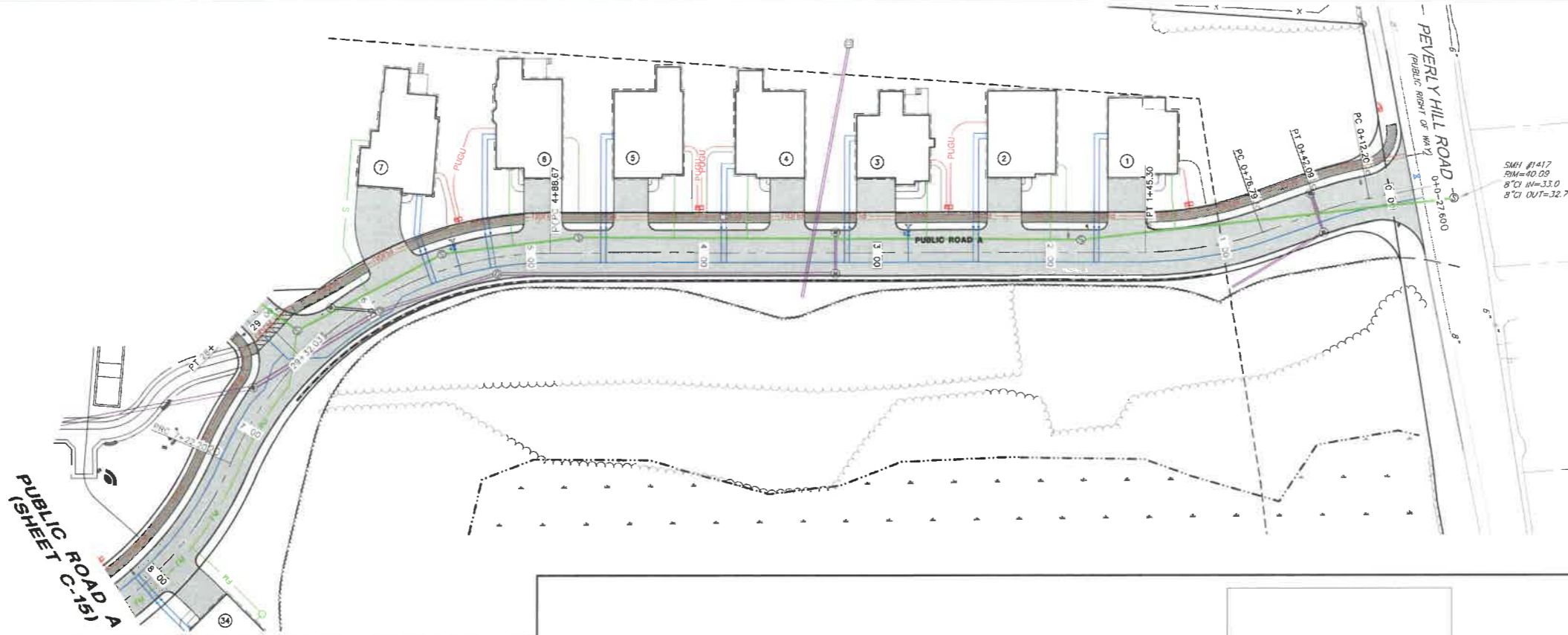
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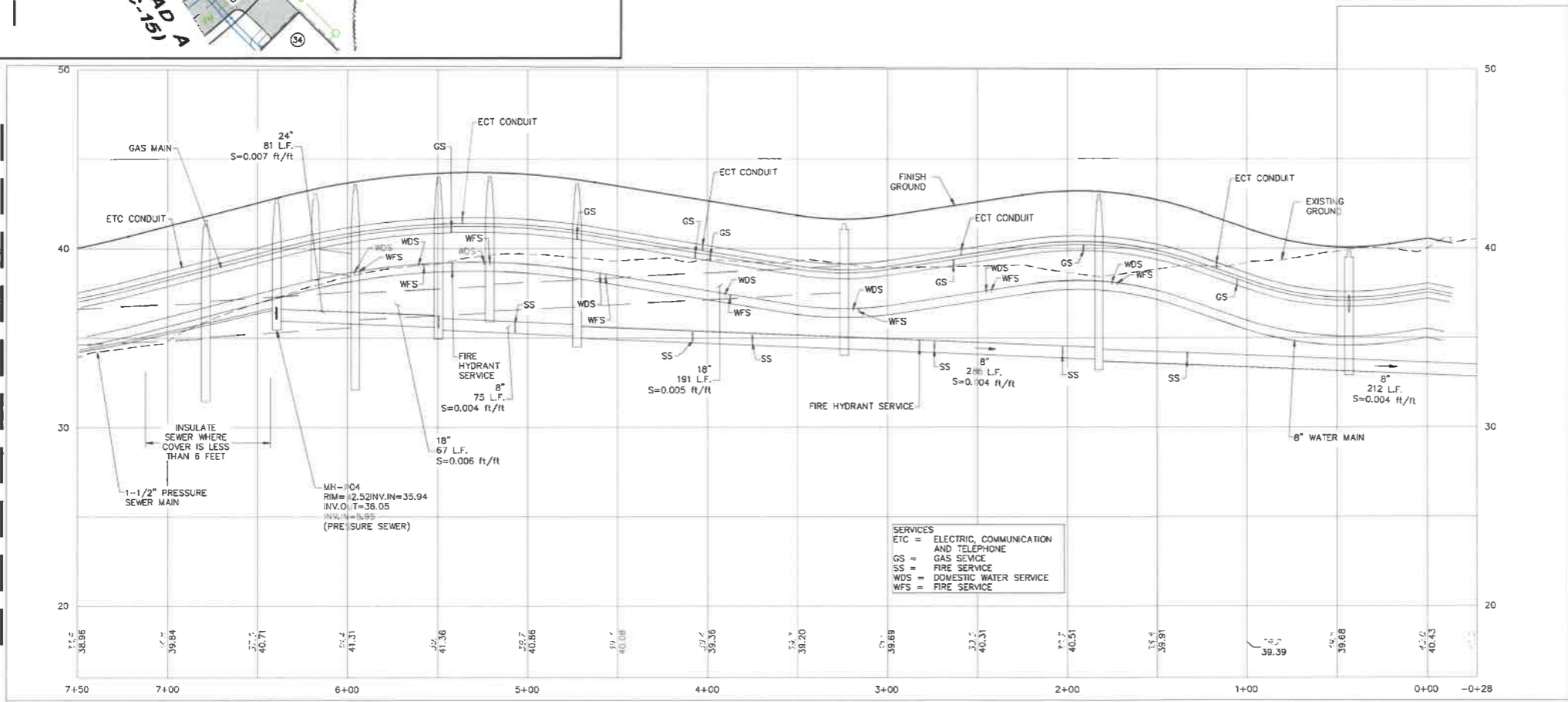


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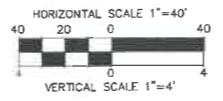
MATCHLINE PUBLIC ROAD A (SHEET C-13)



MATCHLINE PUBLIC ROAD A (SHEET C-13)



SERVICES
 ETC = ELECTRIC, COMMUNICATION AND TELEPHONE
 GS = GAS SERVICE
 SS = FIRE SERVICE
 WDS = DOMESTIC WATER SERVICE
 WFS = FIRE SERVICE



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
ROAD-A PLAN & PROFILE
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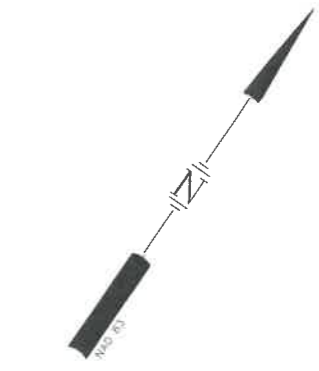
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	CK	JJM	CADFILE	47388-11_PLANPROFILE	C-12

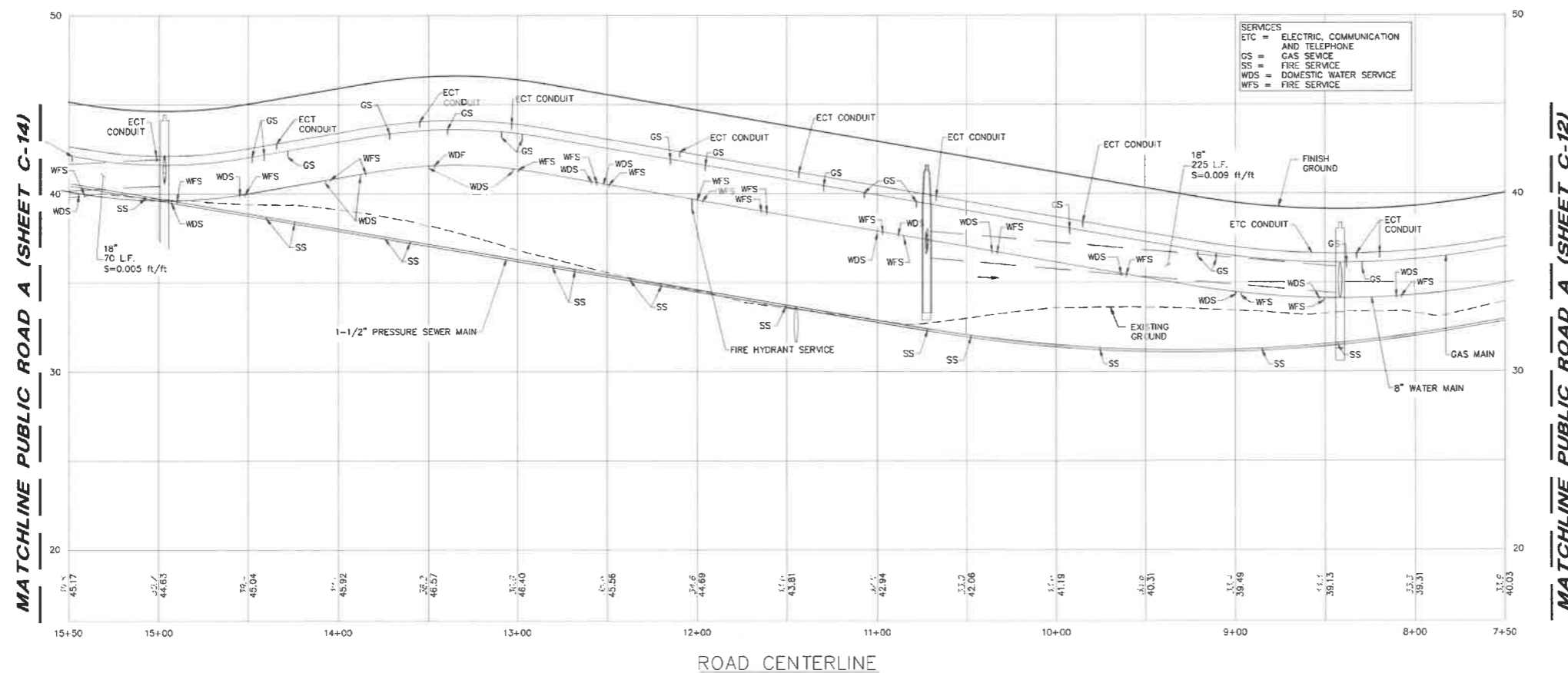
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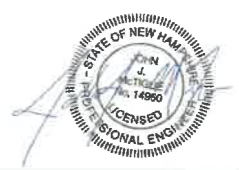


HORIZONTAL SCALE 1"=40'

0 20 40



SERVICES
 ETC = ELECTRIC, COMMUNICATION AND TELEPHONE
 GS = GAS SERVICE
 SS = FIRE SERVICE
 WDS = DOMESTIC WATER SERVICE
 WFS = FIRE SERVICE



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
ROAD-A PLAN & PROFILE
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=80' (11"X17")
 SCALE: 1"=40' (22"X34") APRIL 19, 2021

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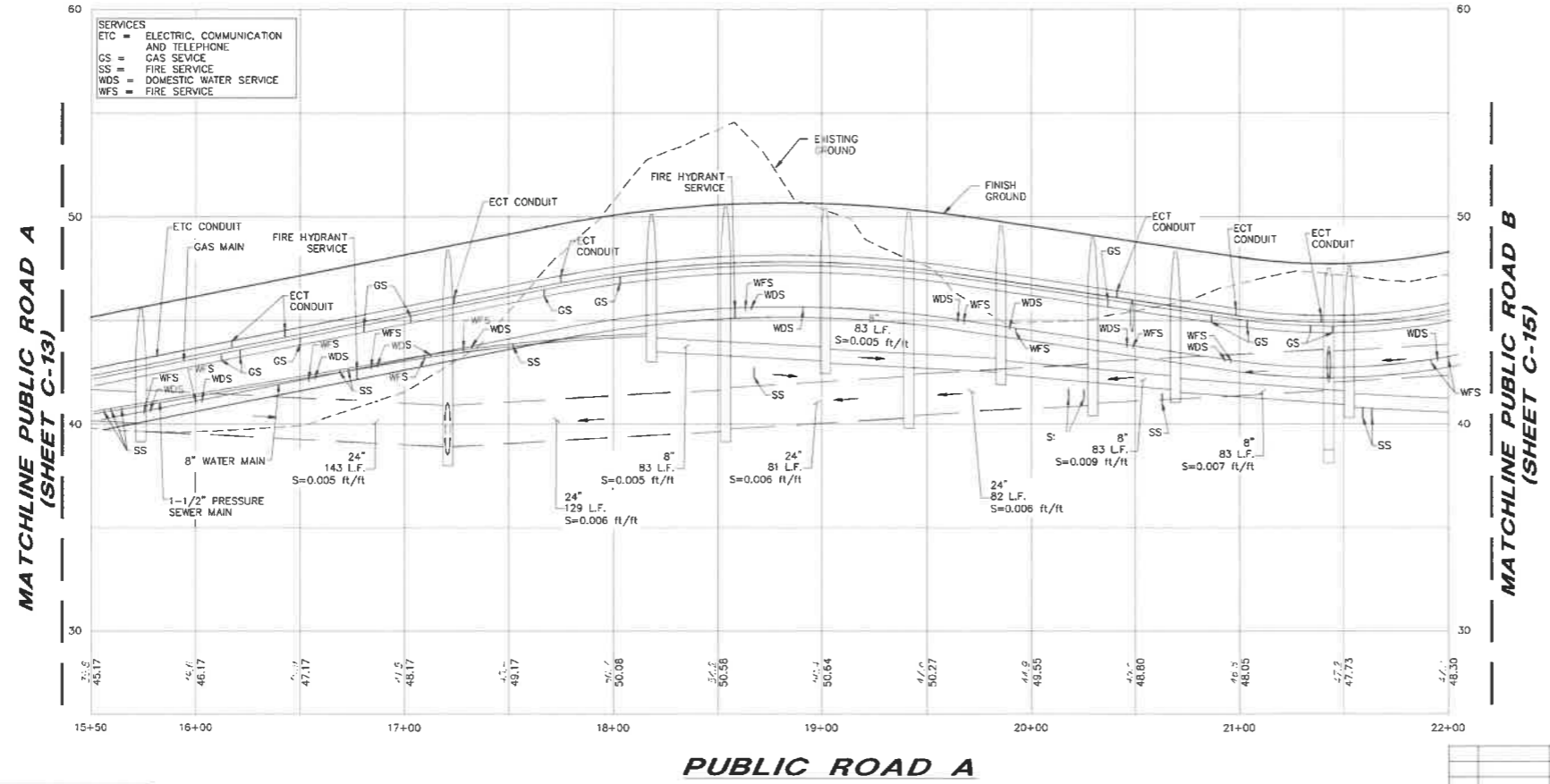
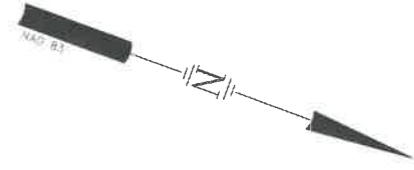
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DR JSM FB
 CK JJM CADFILE 47388-11_PLANPROFILE

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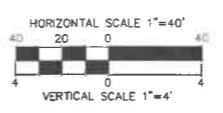
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MATCHLINE PUBLIC ROAD A (SHEET C-13)

MATCHLINE PUBLIC ROAD B (SHEET C-15)

PUBLIC ROAD A



SITE DEVELOPMENT PLANS

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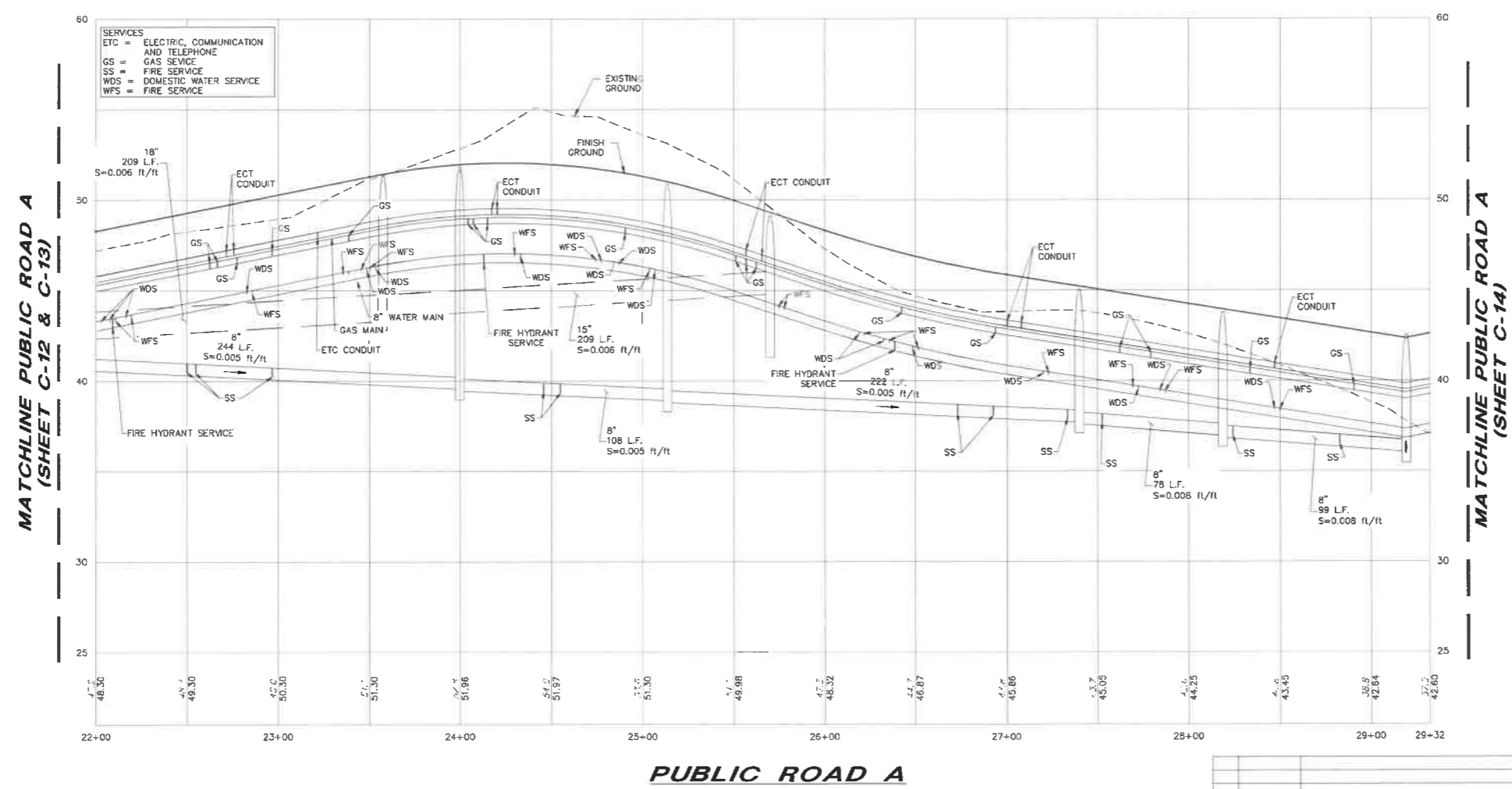
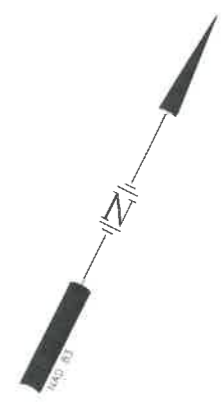
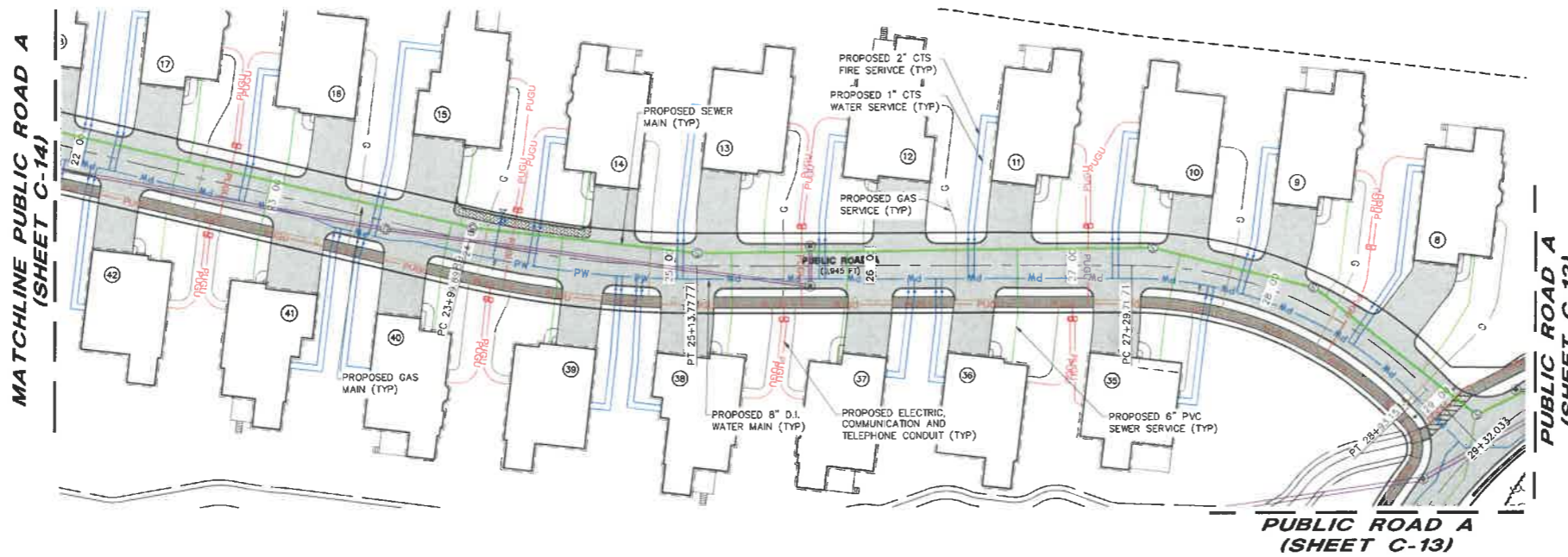
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 CK JUM CAOFILE

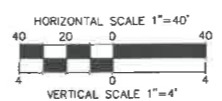
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PUBLIC ROAD A



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BEST MANAGEMENT PRACTICES FOR BLASTING

1. PURPOSE. THE PURPOSE OF THIS PART IS TO ESTABLISH BEST MANAGEMENT PRACTICES FOR BLASTING TO MINIMIZE THE POTENTIAL FOR GROUNDWATER CONTAMINATION, TO ENSURE THAT THE GROUNDWATER CAN BE USED FOR EXISTING AND FUTURE DRINKING WATER SUPPLY SOURCES. (SEE RNS AT P. V) #12342, EFF 8-15-17
2. LOADING PRACTICES. THE FOLLOWING BLAST HOLE LOADING PRACTICES SHALL BE IMPLEMENTED:
 - A. THE DRILLER SHALL MAINTAIN DRILLING LOGS TO DOCUMENT:
 - i. THE DEPTHS AND LENGTHS OF VOIDS, CAVITIES, AND FAULT ZONES OR OTHER WEAK ZONES ENCOUNTERED; AND
 - ii. GROUNDWATER CONDITIONS;
 - B. THE DRILLER SHALL COMMUNICATE THE CONTENTS OF THE DRILLING LOGS DIRECTLY TO THE BLASTER;
 - C. EXPLOSIVE PRODUCTS SHALL BE MANAGED ON SITE SUCH THAT THEY ARE:
 - i. USED IN THE BOREHOLE;
 - ii. RETURNED TO THE DELIVERY VEHICLE; OR
 - iii. PLACED IN SECURE CONTAINERS FOR OFF-SITE DISPOSAL;
 - D. SPILLAGE AROUND THE BOREHOLE SHALL BE:
 - i. PLACED IN THE BOREHOLE; OR
 - ii. CLEANED UP AND RETURNED TO AN APPROPRIATE VEHICLE FOR HANDLING OR PLACEMENT IN SECURED CONTAINERS FOR OFF-SITE DISPOSAL;
 - E. LOADED EXPLOSIVES SHALL BE DETONATED AS SOON AS POSSIBLE AND NOT LEFT IN THE BLAST HOLES OVERNIGHT, UNLESS WEATHER OR OTHER SAFETY CONCERNS REASONABLY DICTATE THAT DETONATION SHOULD BE POSTPONED;
 - F. LOADING EQUIPMENT SHALL BE CLEANED IN AN AREA WHERE WASTEWATER CAN BE PROPERLY CONTAINED AND HANDLED IN A MANNER THAT PREVENTS RELEASE OF CONTAMINANTS TO THE ENVIRONMENT; AND
 - G. EXPLOSIVES SHALL BE LOADED IN ACCORDANCE WITH INDUSTRY STANDARD PRACTICES FOR PRIMING, STEMMING, DECKING AND COLUMN RISE TO MAINTAIN GOOD CONTINUITY IN THE COLUMN LOAD TO PROMOTE COMPLETE DETONATION. SOURCE: (SEE RNS AT P. V) #12342, EFF 8-15-17
3. EXPLOSIVE SELECTION. EXPLOSIVE PRODUCTS SHALL BE SELECTED THAT ARE:
 - A. APPROPRIATE FOR SITE CONDITIONS AND SAFE BLAST EXECUTION; AND
 - B. HAVE THE APPROPRIATE WATER RESISTANCE FOR THE SITE CONDITIONS PRESENT.
4. PREVENTION OF MISFIRES. INDUSTRY-STANDARD PRACTICES SHALL BE IMPLEMENTED TO PREVENT MISFIRES.
5. MUCK AND ROCK MANAGEMENT.
 - A. FOR PURPOSES OF THIS PART, THE FOLLOWING DEFINITIONS APPLY:
 - i. "BLASTED MATERIAL" MEANS ALL OF THE EARTH MATERIAL LOOSENED AS A RESULT OF THE BLASTING;
 - ii. "MUCK" MEANS THE BLASTED MATERIAL REMAINING AFTER THE ROCKS HAVE BEEN REMOVED; AND
 - iii. "ROCKS" MEANS THE LARGER PIECES OF BLASTED MATERIAL THAT ARE SEPARATED FROM THE MUCK FOR USE ELSEWHERE, INCLUDING FOR FEEDSTOCK OF A ROCK CRUSHING OPERATION.
 - B. MUCK AND ROCKS SHALL BE REMOVED FROM THE BLAST AREA AS SOON AS REASONABLY POSSIBLE.
 - C. ROCKS SHALL BE MANAGED SO AS TO PREVENT WATER SUPPLY WELLS OR SURFACE WATERS FROM BEING CONTAMINATED BY RUNOFF.
6. SPILL PREVENTION MEASURES AND SPILL MITIGATION.
 - A. FUEL AND OTHER REGULATED SUBSTANCES SHALL BE MANAGED AS REQUIRED BY ENV-WO 401.04.
 - B. PERSONNEL WORKING AT THE BLAST SITE SHALL BE TRAINED IN HOW TO RESPOND TO A SPILL OF THE REGULATED SUBSTANCES BEING USED AT THE SITE.
7. FUELING AND MAINTENANCE OF CONSTRUCTION EQUIPMENT.
 - A. IF ANY CONSTRUCTION EQUIPMENT, INCLUDING BUT NOT LIMITED TO EARTHMOVING, EXCAVATION, AND BORING EQUIPMENT, WILL BE FUELED FROM A TANK TRUCK OR OTHER CONTAINER THAT IS MOVED AROUND THE SITE, THE FOLLOWING SHALL APPLY:
 - i. PORTABLE CONTAINMENT EQUIPMENT THAT IS SIZED TO CONTAIN THE MOST LIKELY VOLUME OF FUEL TO BE SPILLED DURING A FUEL TRANSFER SHALL BE USED, WHERE THE MOST LIKELY VOLUME TO BE SPILLED IS DETERMINED BASED ON THE FUEL TRANSFER RATE, THE AMOUNT OF FUEL BEING TRANSFERRED, THE DISTANCE BETWEEN THE HOSE NOZZLE AND PUMP SHUT OFF SWITCH, AND THE RESPONSE TIME OF PERSONNEL AND EQUIPMENT AVAILABLE AT THE FACILITY;
 - ii. THE CONTAINMENT EQUIPMENT SHALL BE POSITIONED TO CATCH ANY FUEL SPILLS DUE TO OVERFILLING THE EQUIPMENT AND ANY OTHER SPILLS THAT MIGHT OCCUR AT OR NEAR THE FUEL FILLER PORT TO THAT EQUIPMENT;
 - iii. THE TYPE OF CONTAINMENT EQUIPMENT USED AND ITS POSITIONING AND USE SHALL ACCOUNT FOR ALL OF THE DRIP POINTS ASSOCIATED WITH THE FUEL FILLING PORT AND THE HOSE FROM THE FUEL DELIVERY TRUCK; AND
 - iv. PERSONNEL SHALL NOT LEAVE THE IMMEDIATE AREA WHILE FUEL IS BEING TRANSFERRED, TO ENSURE THAT ANY SPILLS WILL BE OF LIMITED VOLUME.
 - B. IF THE SITE WILL HAVE A FIXED LOCATION FOR FUELING CONSTRUCTION EQUIPMENT, THE FOLLOWING SHALL APPLY:
 - i. ALL FUEL CONTAINERS, INCLUDING BUT NOT LIMITED TO SKID-MOUNTED TANKS, DRUMS, AND FIVE GALLON CANS, SHALL HAVE SECONDARY CONTAINMENT THAT:
 1. IS CAPABLE OF CONTAINING 110% OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER; AND
 2. HAS AN IMPERVIOUS FLOOR;
 - ii. SECONDARY CONTAINMENT FOR TANKS MAY COMPRISE A METAL, PLASTIC, POLYMER OR PRECAST CONCRETE VAULT PROVIDING 110 PERCENT OF THE VOLUME OF THE LARGEST FUEL STORAGE CONTAINER;
 - iii. FOR FUEL CONTAINERS, SECONDARY CONTAINMENT MAY COMPRISE CONTAINMENT PALLETS;
 - iv. THE AREA WHERE FUEL IS TRANSFERRED SHALL BE A FLAT, IMPERVIOUS AREA THAT:
 1. IS ADJACENT TO THE FUEL CONTAINER(S); AND
 2. EXTENDS BEYOND THE FUEL REACH, OR LENGTH, OF THE FUEL HOSE; AND
 - v. SECONDARY CONTAINMENT AREAS MAY BE IN THE FORM OF A BASIN THAT IS:
 1. SLOPED DOWN TO A CENTRAL LOW POINT OR BERMED ALONG THE PERIMETER;
 2. LINED WITH A CONTINUOUS SHEET OF 20 MIL OR THICKER POLYMER MATERIAL OR APPROPRIATE GEOMEMBRANE LINER; AND
 3. BACKFILLED WITH AT LEAST 6 INCHES OF SAND.

- NOTES:**
1. A THIRD PARTY SHALL INSPECTOR SHALL BE ON SITE TO INSPECT THE INSTALLATION OF THE STORM DRAINAGE SYSTEMS.
 2. SEE GRADING NOTES ON NOTES & LEGEND SHEET (C-01).
 3. LOT GRADING SHOWN IS APPROXIMATE AND MAY VARY DEPENDING ON HOUSE SIZE, STYLE, AND LOCATION. STORMWATER SHALL BE DIRECTED TO AREAS SHOWN ON THIS PLAN.

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
OVERALL GRADING & DRAINAGE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE

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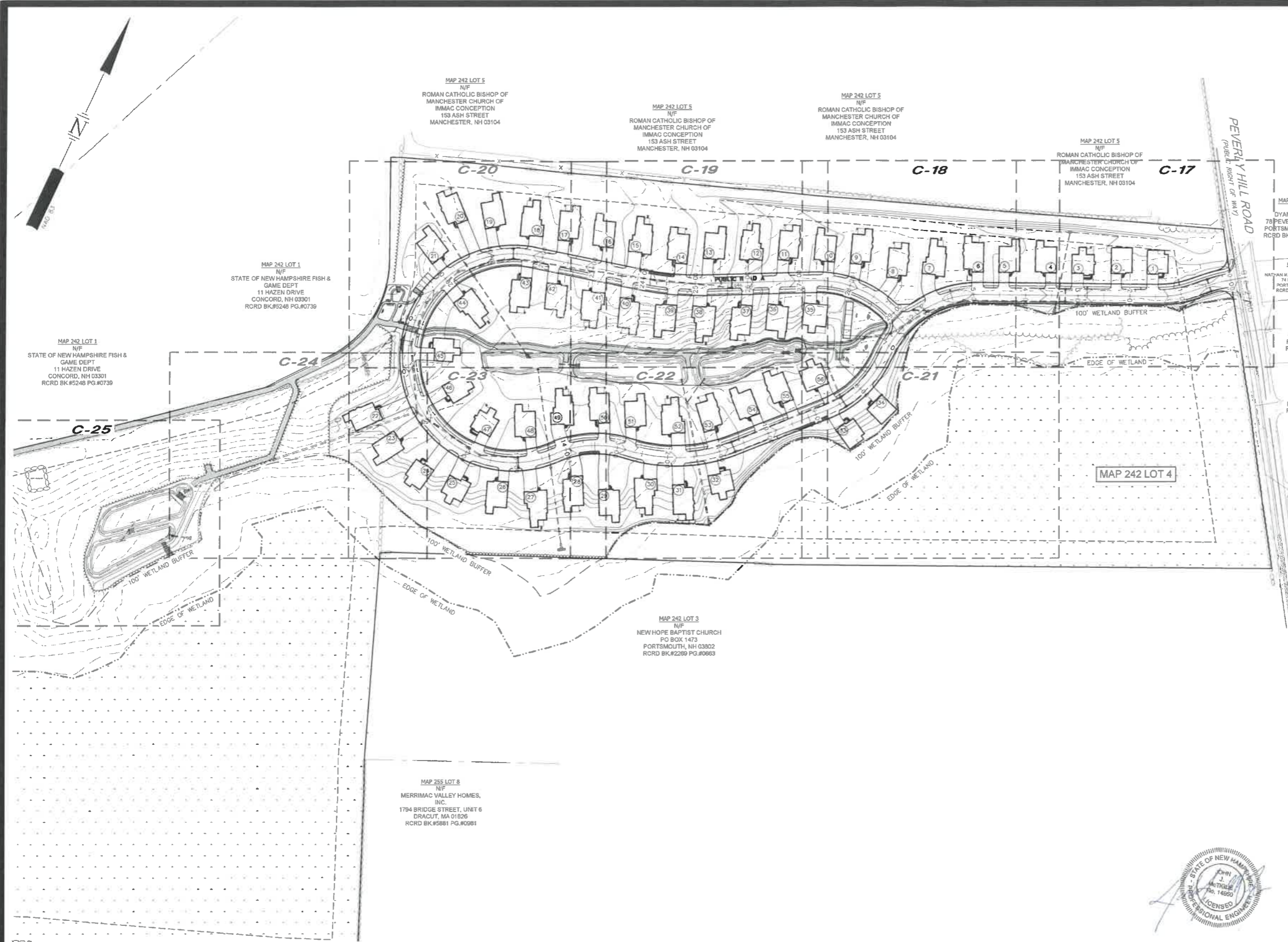
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47388.11 OR JSM FB
CK JUM CADFILE 47388-11_GRADINGDRAINAGE

C-16



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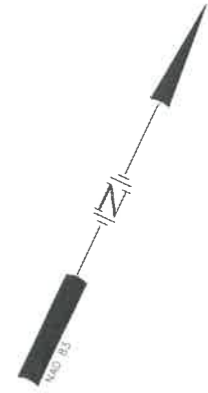
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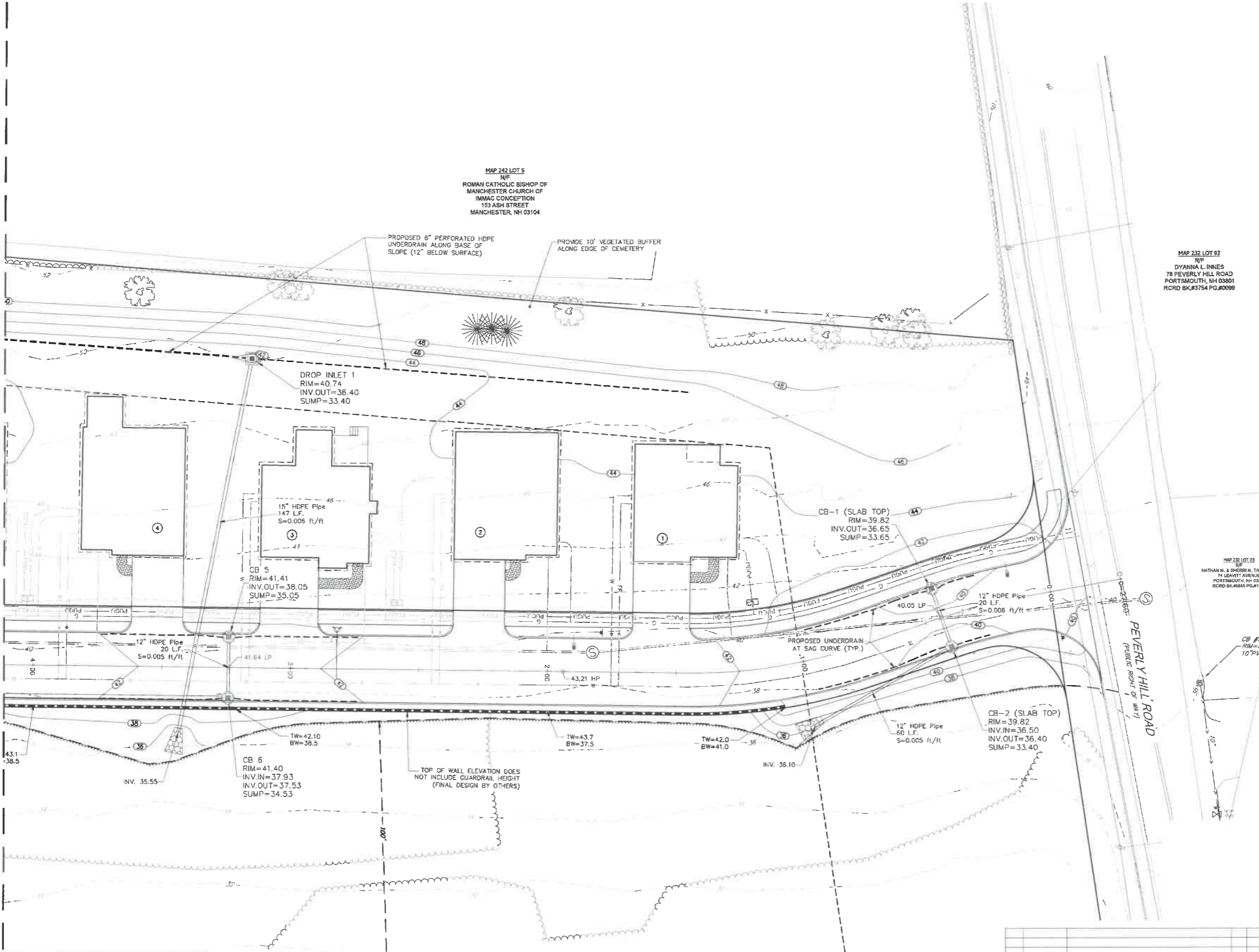
MAP 242 LOT 5
N/F
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

MAP 232 LOT 92
N/F
DYANNA L. INKES
78 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK#3754 PG.#0099

MAP 232 LOT 83
N/F
NATHAN H. & SHERRI M. TAR
74 LEAVITT AVENUE
PORTSMOUTH, NH 03801
RCRD BK#3655 PG.#141



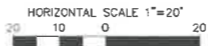
MATCHLINE SEE SHEET - C-18



SITE DEVELOPMENT PLANS

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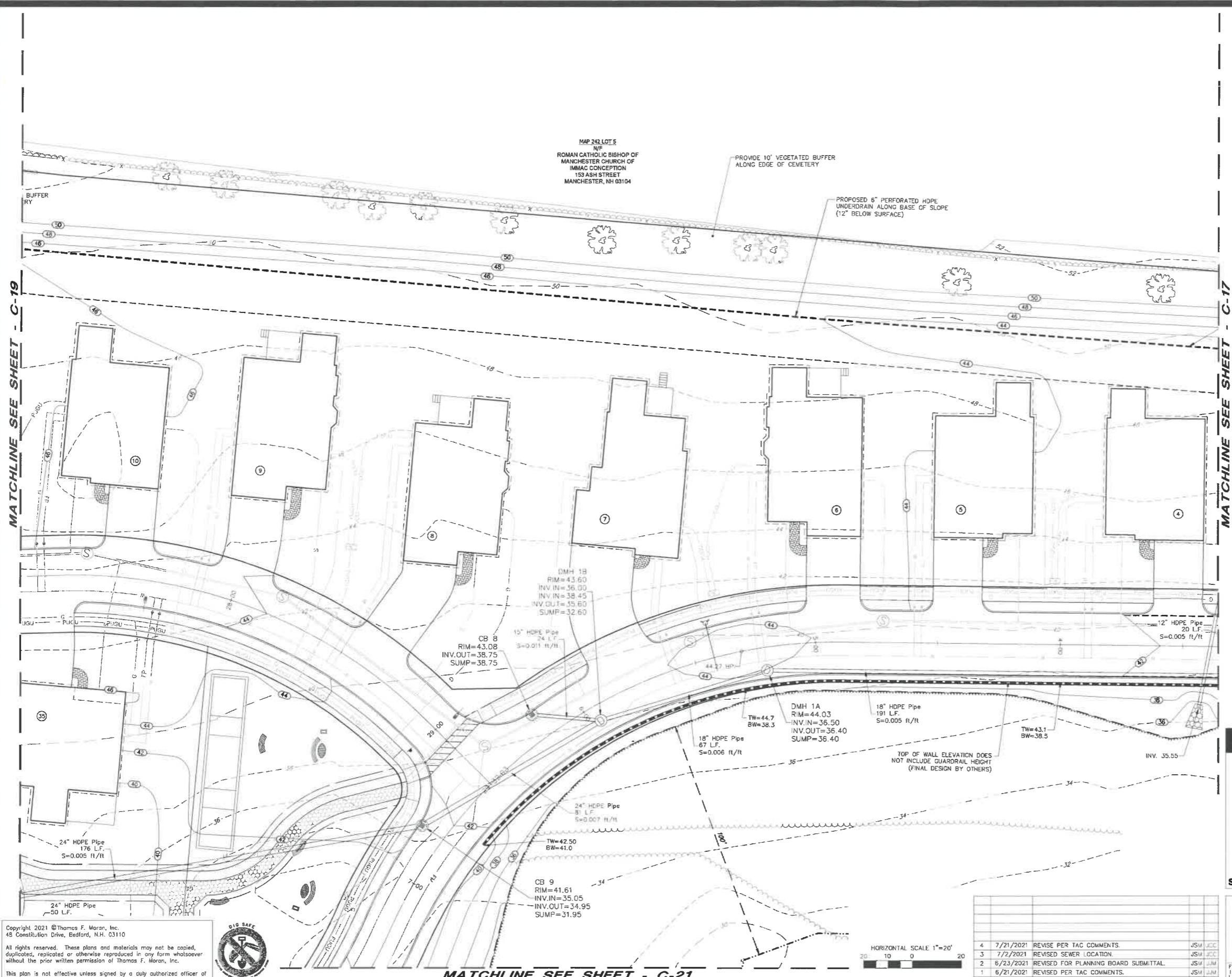
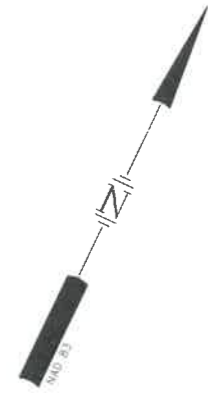


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MATCHLINE SEE SHEET - C-19

MATCHLINE SEE SHEET - C-17

MATCHLINE SEE SHEET - C-21

MAP 242 LOT 5
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ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

PROVIDE 10' VEGETATED BUFFER
ALONG EDGE OF CEMETERY

PROPOSED 6" PERFORATED HDPE
UNDERDRAIN ALONG BASE OF SLOPE
(12" BELOW SURFACE)

DMH 1B
RIM=43.60
INV.IN=36.00
INV.IN=38.45
INV.OUT=35.60
SUMP=32.60

CB 8
RIM=43.08
INV.OUT=38.75
SUMP=38.75

DMH 1A
RIM=44.03
INV.IN=36.50
INV.OUT=36.40
SUMP=36.40

CB 9
RIM=41.61
INV.IN=35.05
INV.OUT=34.95
SUMP=31.95

HORIZONTAL SCALE 1"=20'
20 10 0 20



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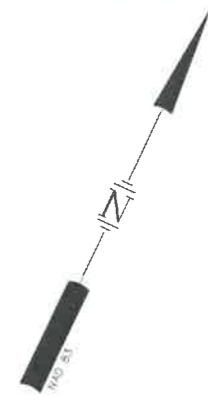
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MATCHLINE SEE SHEET - C-20

MATCHLINE SEE SHEET - C-18



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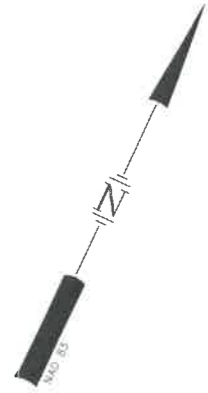
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C-19

MAP 242 LOT 1
N/F
STATE OF NEW HAMPSHIRE FISH &
GAME DEPT
11 HAZEN DRIVE
CONCORD, NH 03301
RCRD BK.#5248 PG.#0739



MATCHLINE SEE SHEET - C-19



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
GRADING & DRAINAGE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE

1"=40' (11"X17")
SCALE: 1"=20' (22"X34") APRIL 19, 2021

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MATCHLINE SEE SHEET - C-23

HORIZONTAL SCALE 1"=20'
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3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	5/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JUM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JUM

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Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

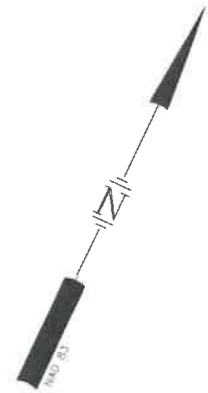
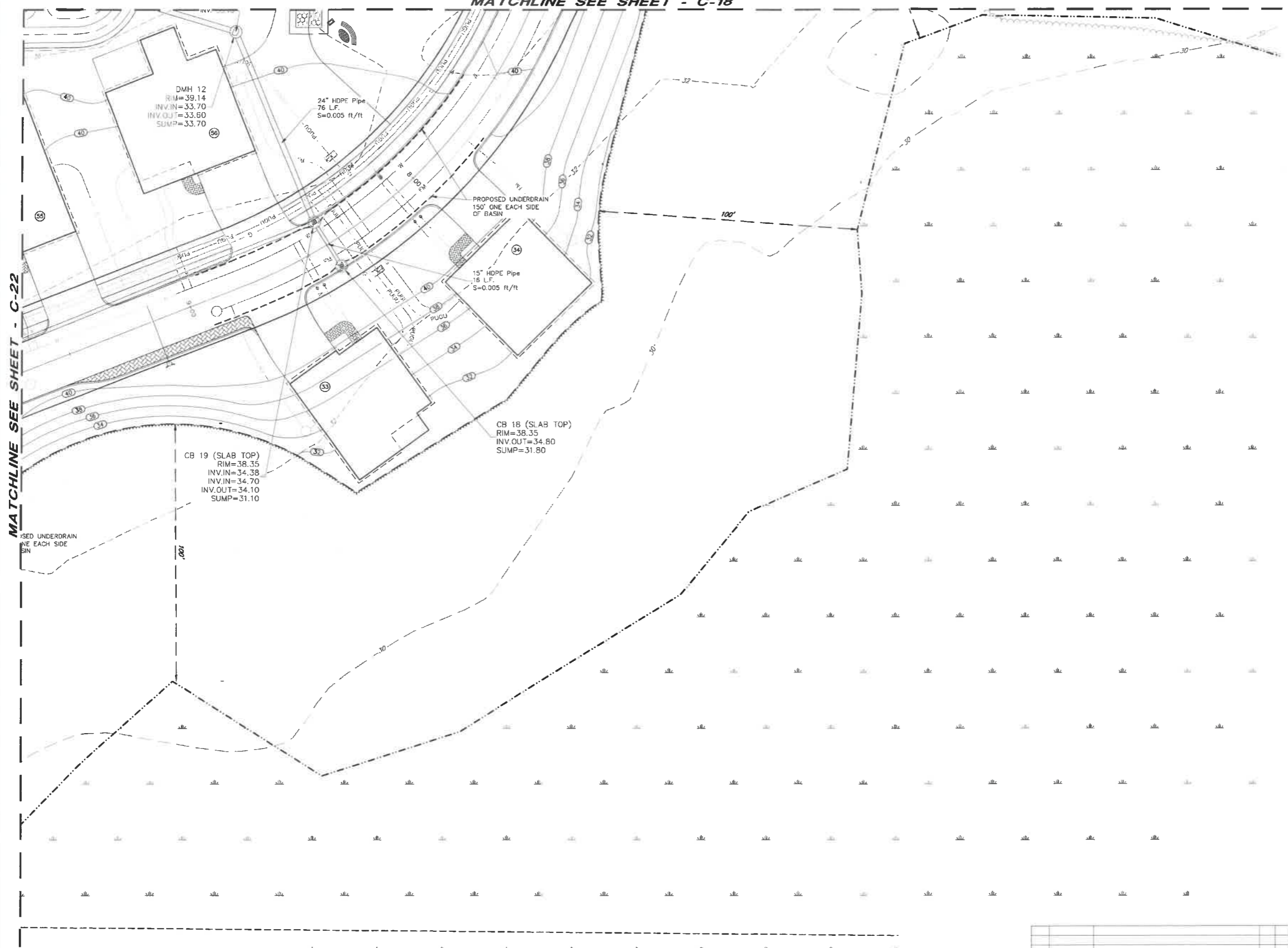
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

47388.11
DR JSM FB
CK JUM CADFILE 47388-11_GRADINGDRAINAGE

C-20

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MATCHLINE SEE SHEET - C-18

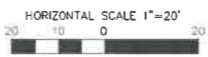


MATCHLINE SEE SHEET - C-22



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
GRADING & DRAINAGE PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
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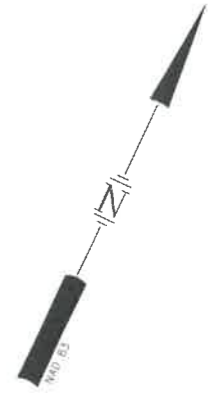
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2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

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47388.11
 DR JSM FB
 CK JJM CADFILE 47388-11_GRADINGRAINAGE
 C-21

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MATCHLINE SEE SHEET - C-21



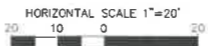
MATCHLINE SEE SHEET - C-23

MATCHLINE SEE SHEET - C-21



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
GRADING & DRAINAGE PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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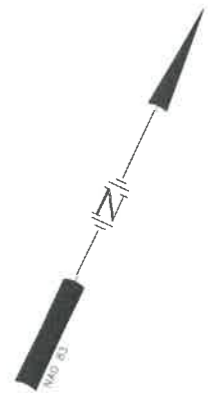
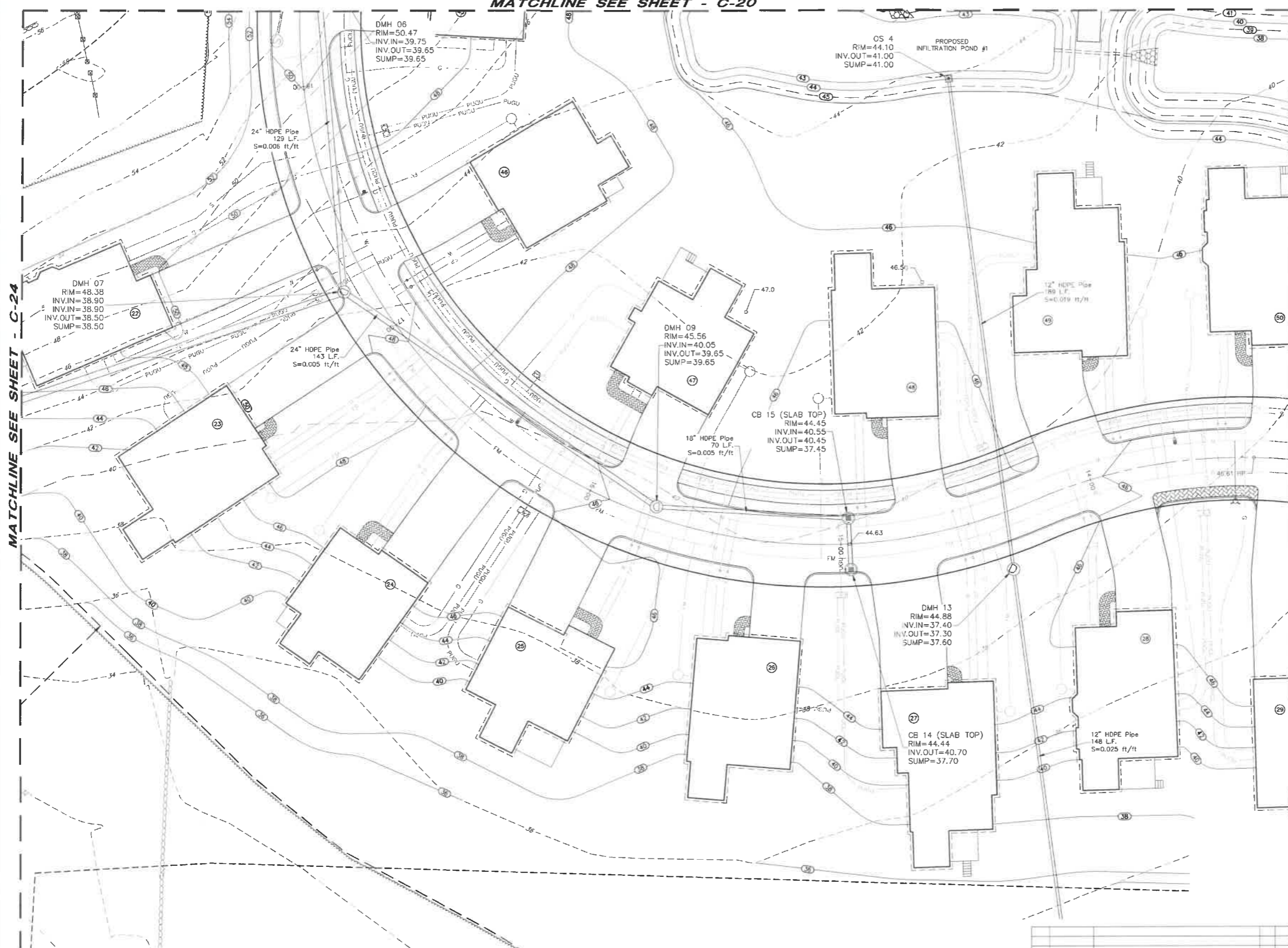
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2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	5/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

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47388.11
 DR JSM FB
 CK JJM CADFILE 47388-11_GRADINGDRAINAGE
 C-22

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MATCHLINE SEE SHEET - C-20



MATCHLINE SEE SHEET - C-24

MATCHLINE SEE SHEET - C-22

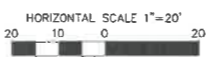


SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
GRADING & DRAINAGE PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
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MAP 242 LOT 3
 NEW HOPE BAPTIST CHURCH
 PORTSMOUTH, NH 03802



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4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

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47388.11
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 CK: JSM, CADFILE
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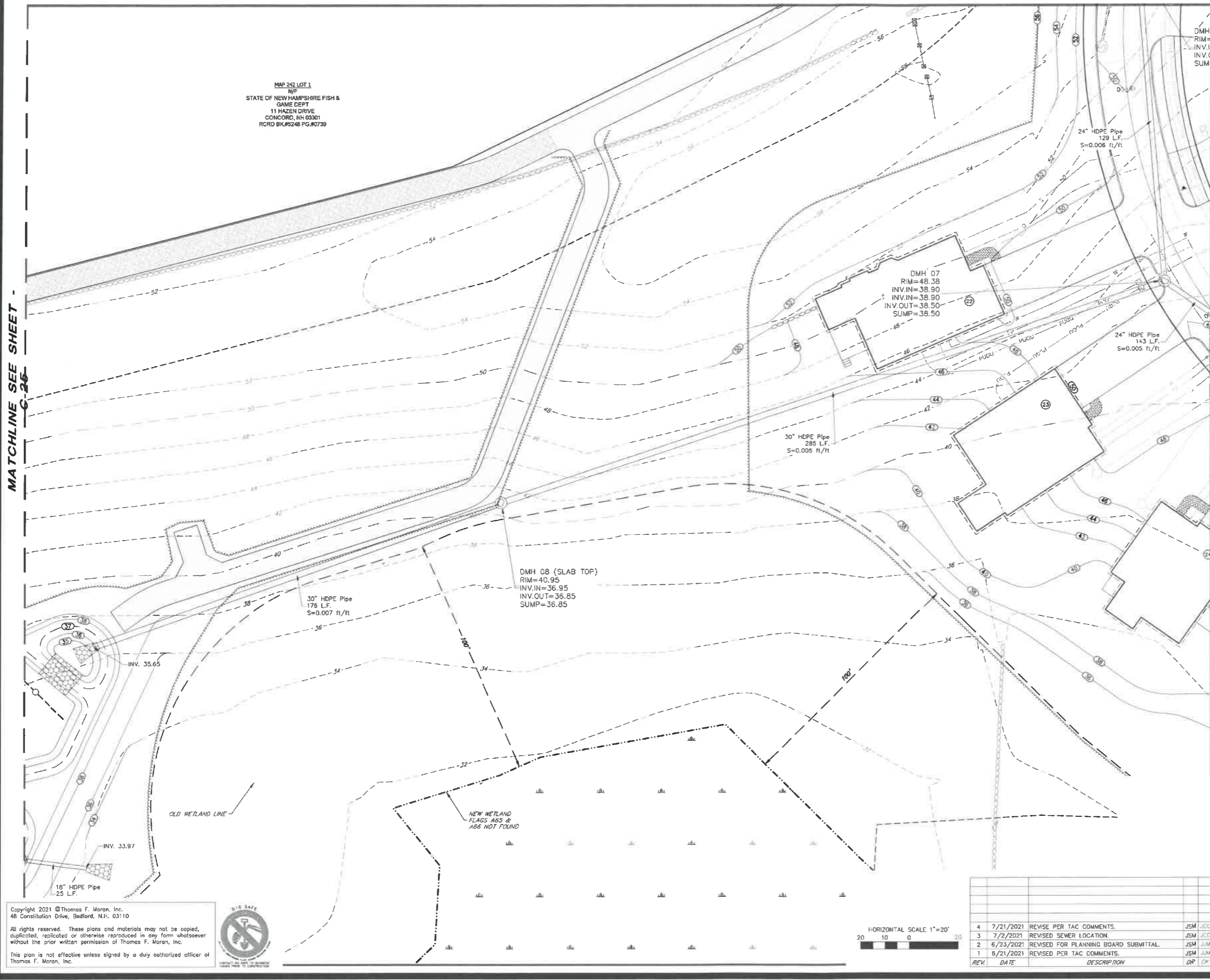
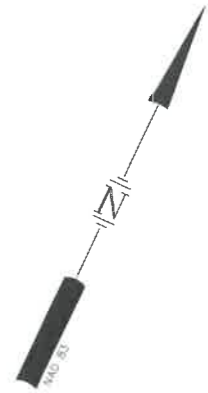
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MAP 242 LOT 1
N/P
STATE OF NEW HAMPSHIRE FISH &
GAME DEPT
11 HAZEN DRIVE
CONCORD, NH 03301
RCRD BK#5248 PG.#0739

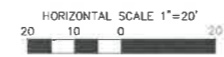
MATCHLINE SEE SHEET - C-26

MATCHLINE SEE SHEET - C-23



SITE DEVELOPMENT PLANS
TAX MAP 242 LOT 4
GRADING & DRAINAGE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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PREPARED FOR
GREEN & COMPANY REAL ESTATE
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2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

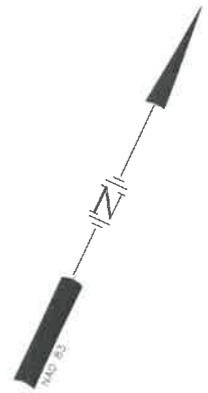
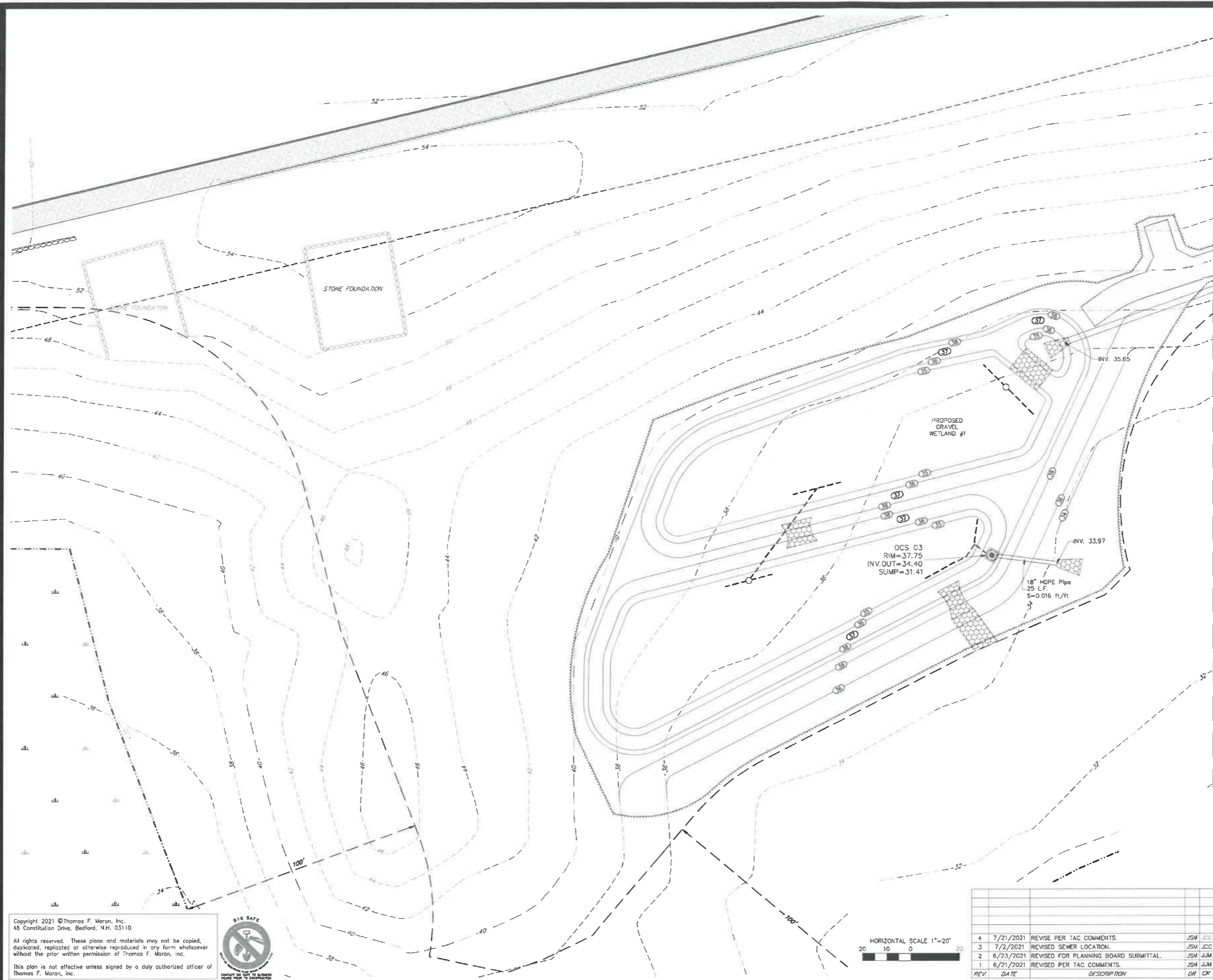
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FILE 47388.11 DR JSM FB - CK JSM CADFILE 47388-11_GRADINGDRAINAGE C-24

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MATCHLINE SEE SHEET - C-24



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
GRADING & DRAINAGE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
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 DR JSM FB
 CK JSM CADFILE 47388-11_GRADINGDRAINAGE

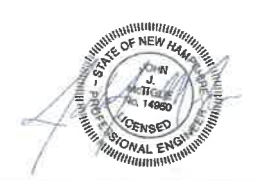
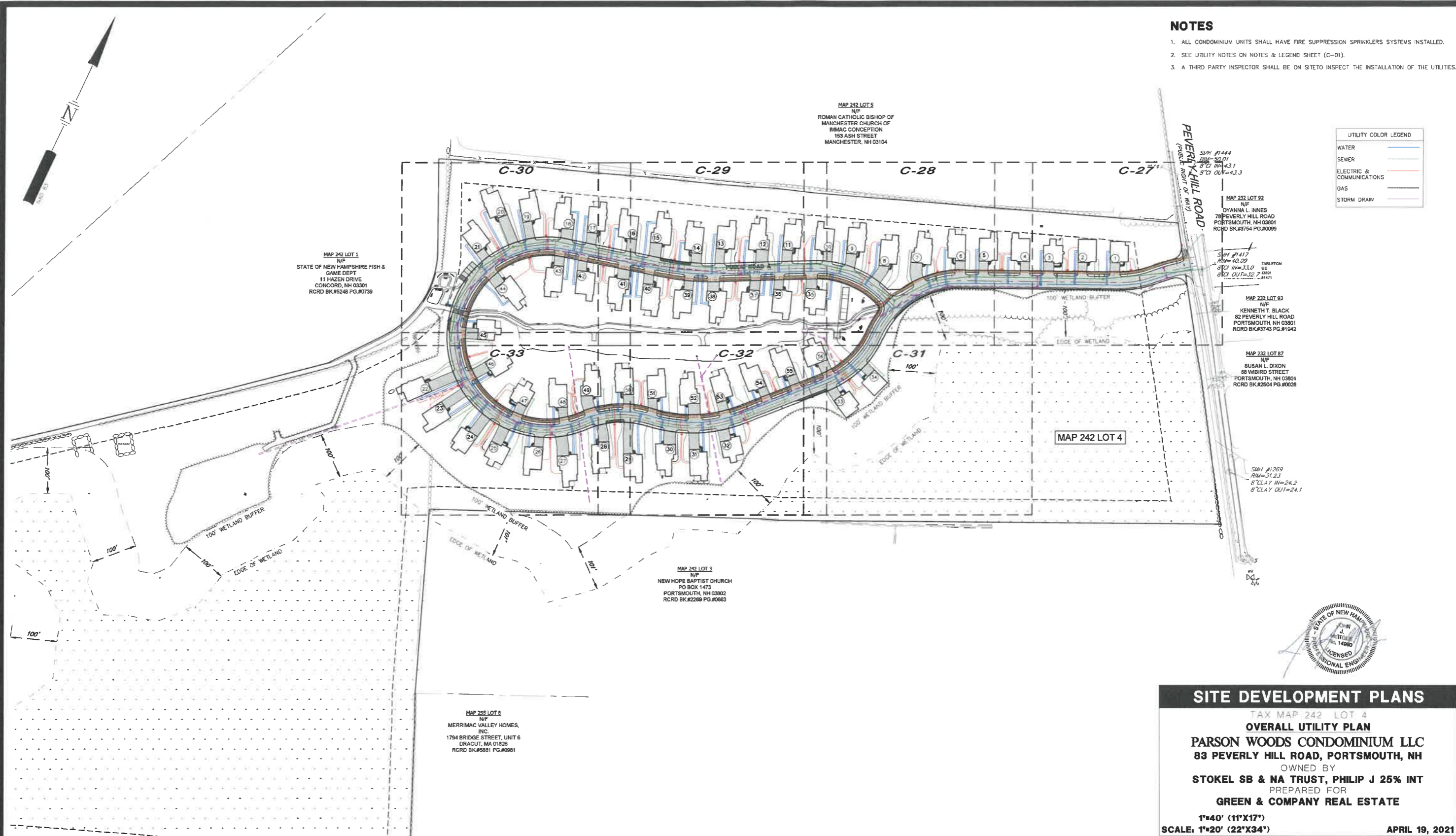
C-25

NOTES

1. ALL CONDOMINIUM UNITS SHALL HAVE FIRE SUPPRESSION SPRINKLERS SYSTEMS INSTALLED.
2. SEE UTILITY NOTES ON NOTES & LEGEND SHEET (C-01).
3. A THIRD PARTY INSPECTOR SHALL BE ON SITE TO INSPECT THE INSTALLATION OF THE UTILITIES.

UTILITY COLOR LEGEND

WATER	
SEWER	
ELECTRIC & COMMUNICATIONS	
GAS	
STORM DRAIN	



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
OVERALL UTILITY PLAN

PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE

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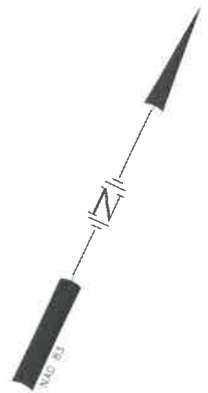
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C-26

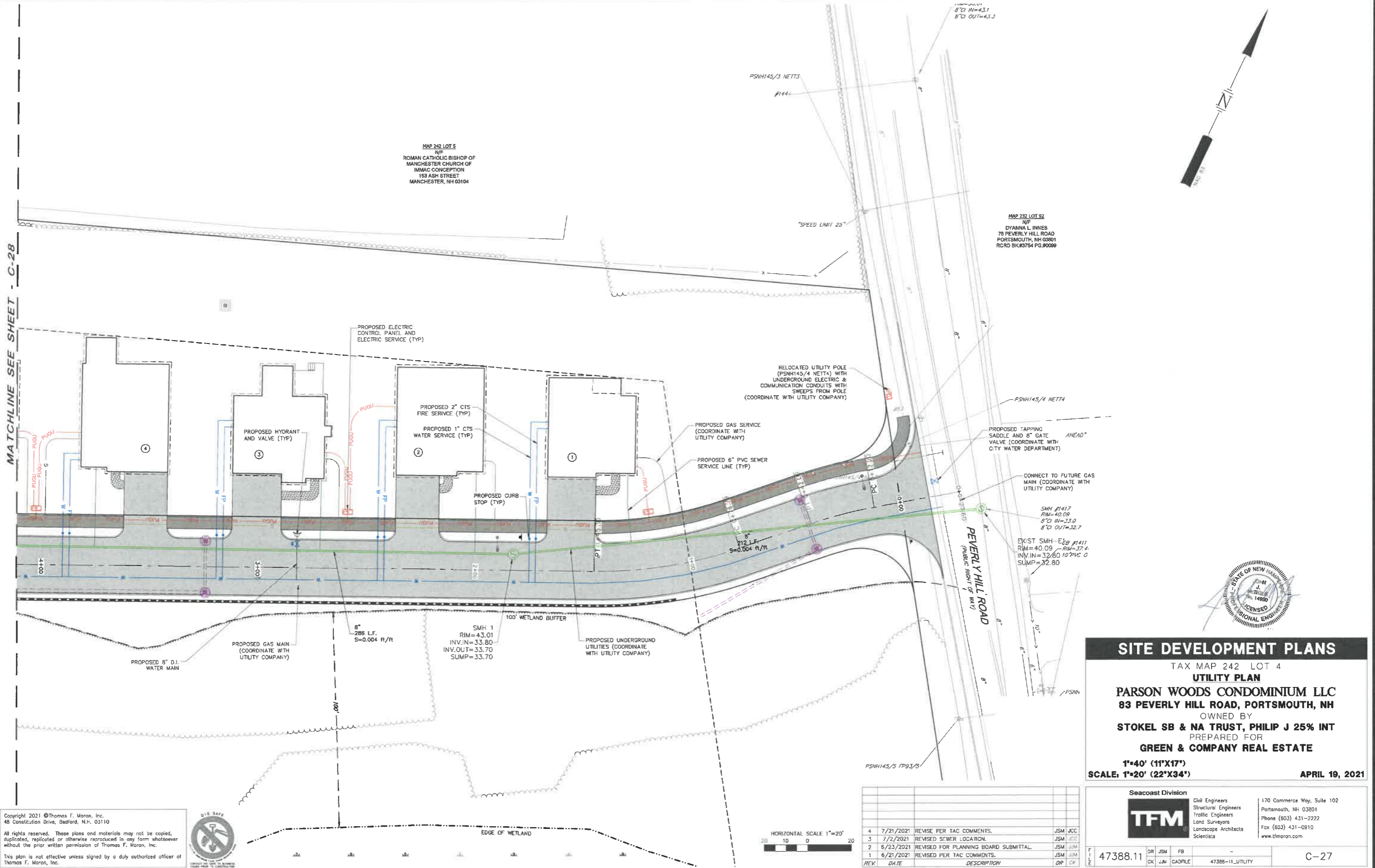
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MAP 242 LOT 5
N/P
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

MAP 232 LOT 92
N/P
DYANNA L. INNES
78 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK#3754 PG.#00099



MATCHLINE SEE SHEET - C-28



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
UTILITY PLAN

PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT

PREPARED FOR
GREEN & COMPANY REAL ESTATE

1"=40' (11"X17")
SCALE: 1"=20' (22"X34")

APRIL 19, 2021

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47388.11

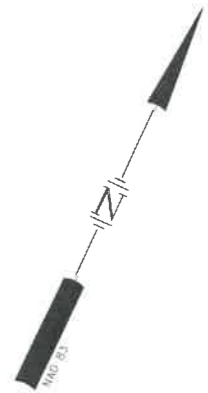
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47386-11_UTILITY

C-27

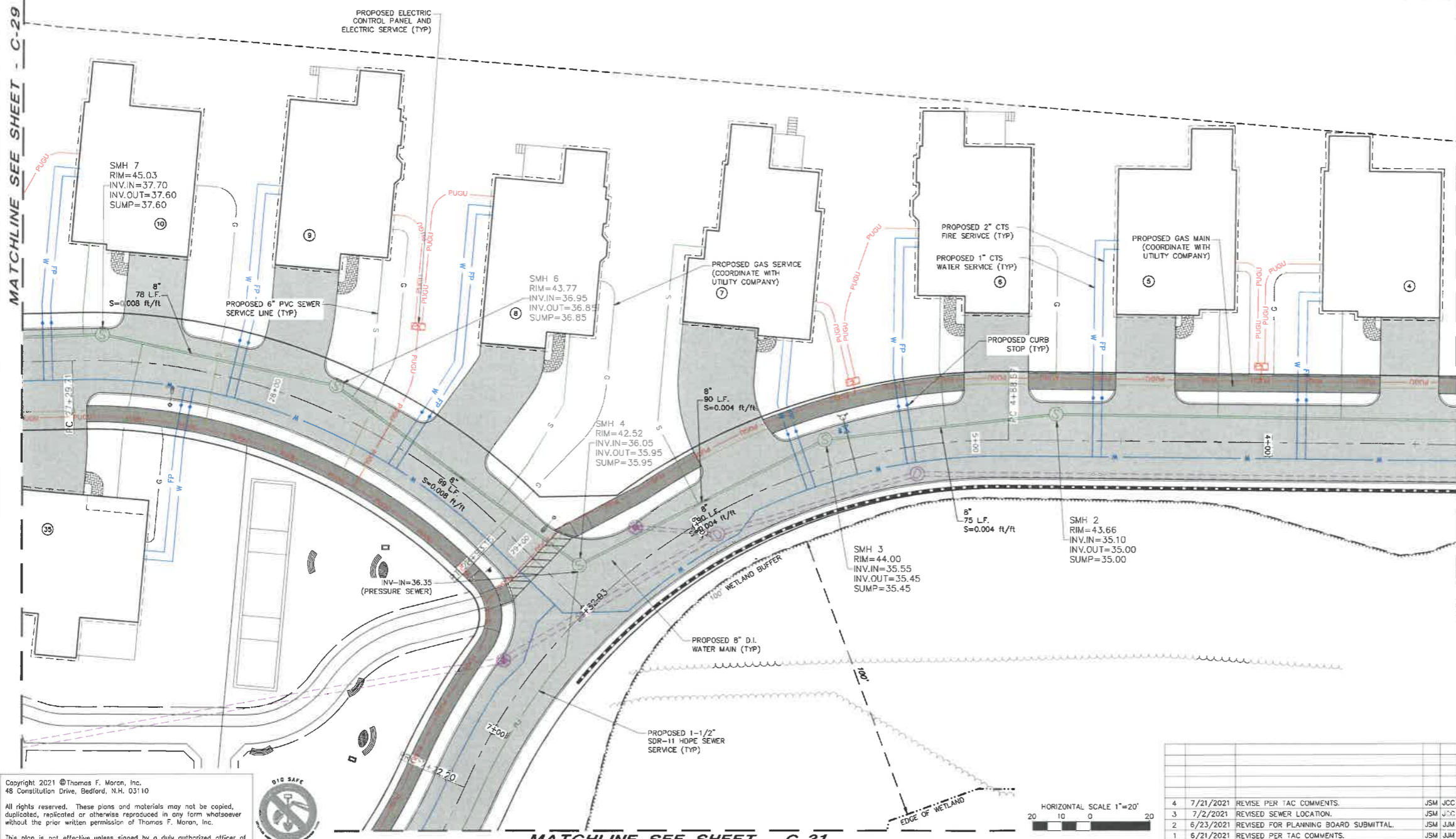
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MAP 242 LOT 5
 N.P.
 ROMAN CATHOLIC BISHOP OF
 MANCHESTER CHURCH OF
 IMMAC CONCEPTION
 153 ASH STREET
 MANCHESTER, NH 03104



MATCHLINE SEE SHEET - C-29

MATCHLINE SEE SHEET - C-27

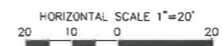


SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
UTILITY PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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MATCHLINE SEE SHEET - C-31



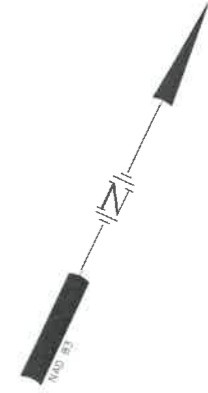
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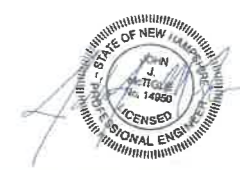
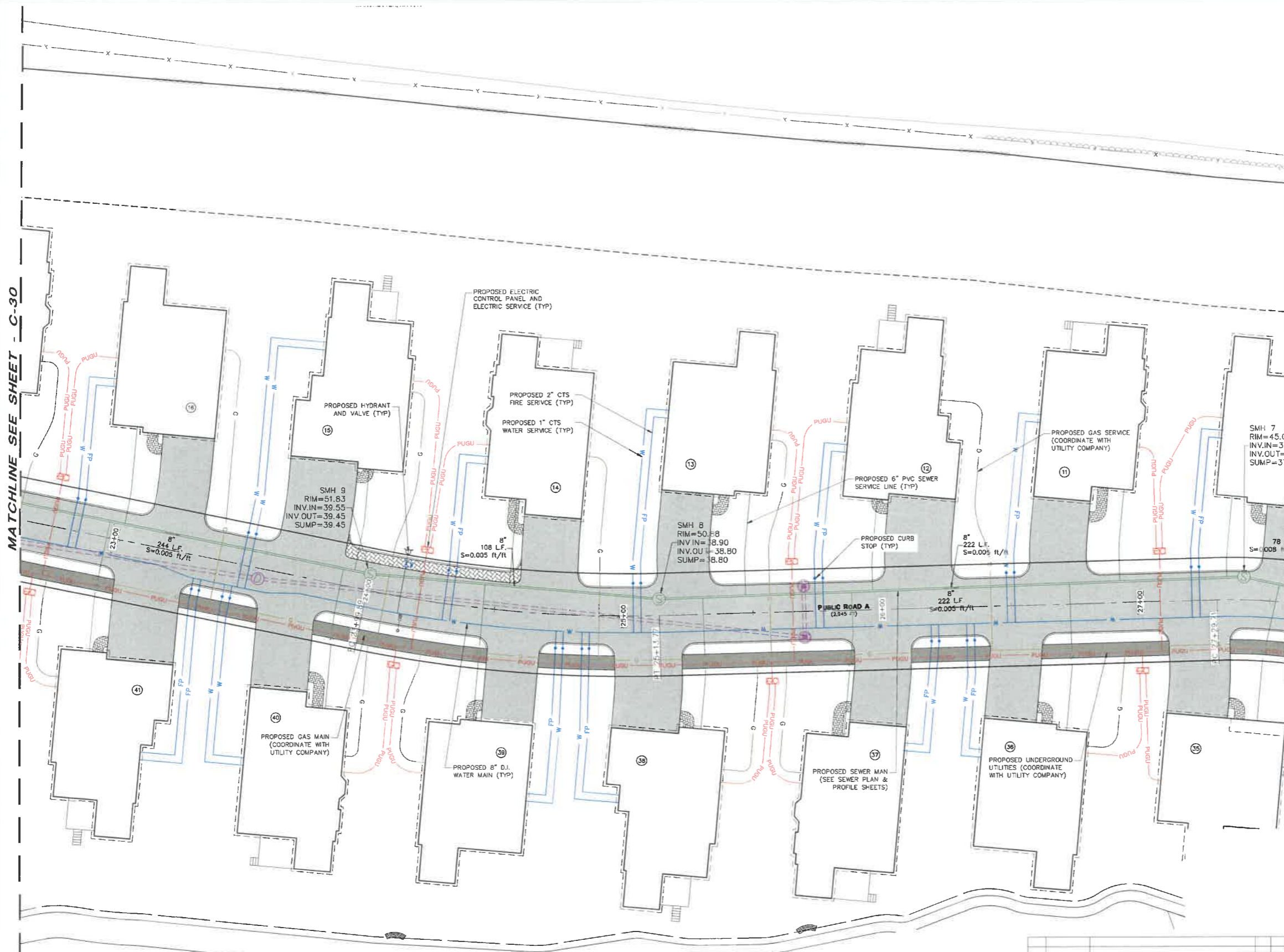
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 C-28

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MATCHLINE SEE SHEET - C-30

MATCHLINE SEE SHEET - C-28



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
UTILITY PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=40' (11"X17")
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2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

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47388.11

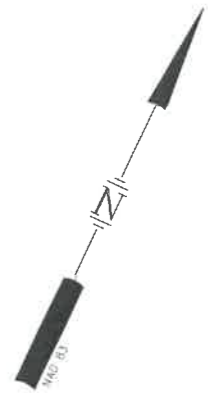
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47388-11_UTILITY

C-29

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MAP 242 LOT 1
N/F
STATE OF NEW HAMPSHIRE FISH &
GAME DEPT
11 HAZEN DRIVE
CONCORD, NH 03301
RCRD BK#5248 PG.#0730



MATCHLINE SEE SHEET - C-29

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INV.IN=42.50
INV.OUT=42.40
SUMP=42.40

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INV.IN=43.05
INV.OUT=42.95
SUMP=42.95

SMH 11
RIM=48.33
INV.IN=41.55
INV.OUT=41.55
SUMP=41.55

SMH 10
RIM=47.62
INV.IN=40.90
INV.OUT=40.80
SUMP=40.80

PROPOSED 1" WATER SERVICE LINE TO WATER REFILL STATION
PROPOSED HYDRANT AND VALVE

PROPOSED 6" PVC SEWER SERVICE LINE (TYP)

PROPOSED ELECTRIC CONTROL PANEL AND ELECTRIC SERVICE (TYP)

PROPOSED 8" D.I. WATER MAIN (TYP)

PROPOSED GAS SERVICE (COORDINATE WITH UTILITY COMPANY)

PROPOSED UNDERGROUND UTILITIES (COORDINATE WITH UTILITY COMPANY)

PROPOSED CURB STOP (TYP)

PROPOSED 2" CTS FIRE SERVICE (TYP)

PROPOSED 1" CTS WATER SERVICE (TYP)

8" 83 L.F. S=0.005 ft/ft

8" 83 L.F. S=0.005 ft/ft

PROPOSED GAS MAIN (COORDINATE WITH UTILITY COMPANY)



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MATCHLINE SEE SHEET - C-33

HORIZONTAL SCALE 1"=20'
20 10 0 20

REV	DATE	DESCRIPTION	DR	CHK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
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SITE DEVELOPMENT PLANS
TAX MAP 242 LOT 4
UTILITY PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11"X17")
SCALE: 1"=20' (22"X34") **APRIL 19, 2021**

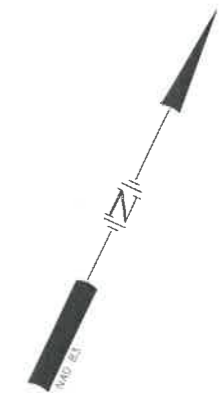
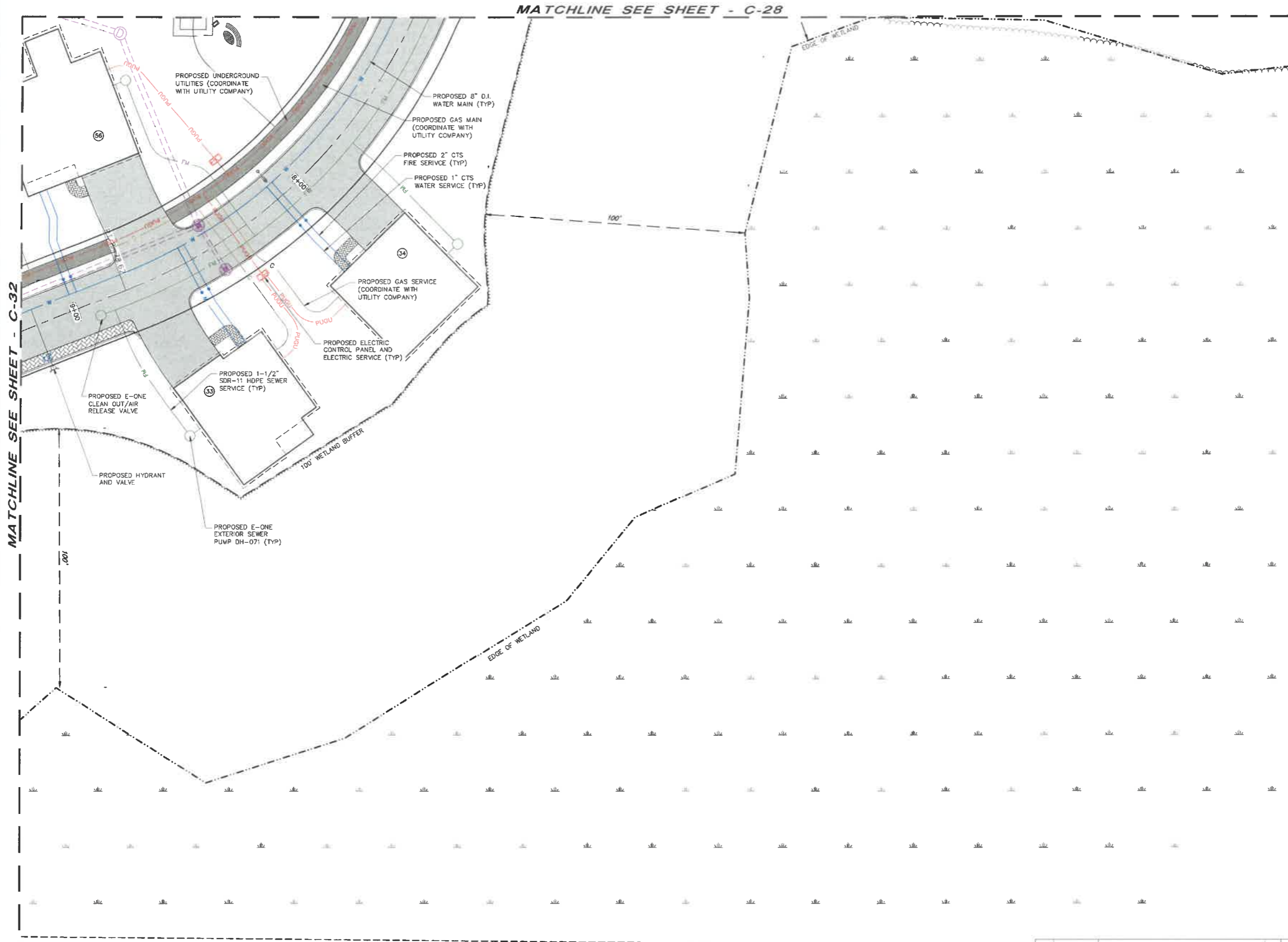
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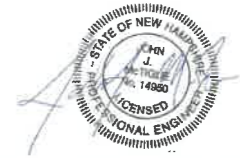
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DR JSM FB
CK JUM CADFILE 47388-11_UTILITY
C-30

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MATCHLINE SEE SHEET - C-28



MATCHLINE SEE SHEET - C-32



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
UTILITY PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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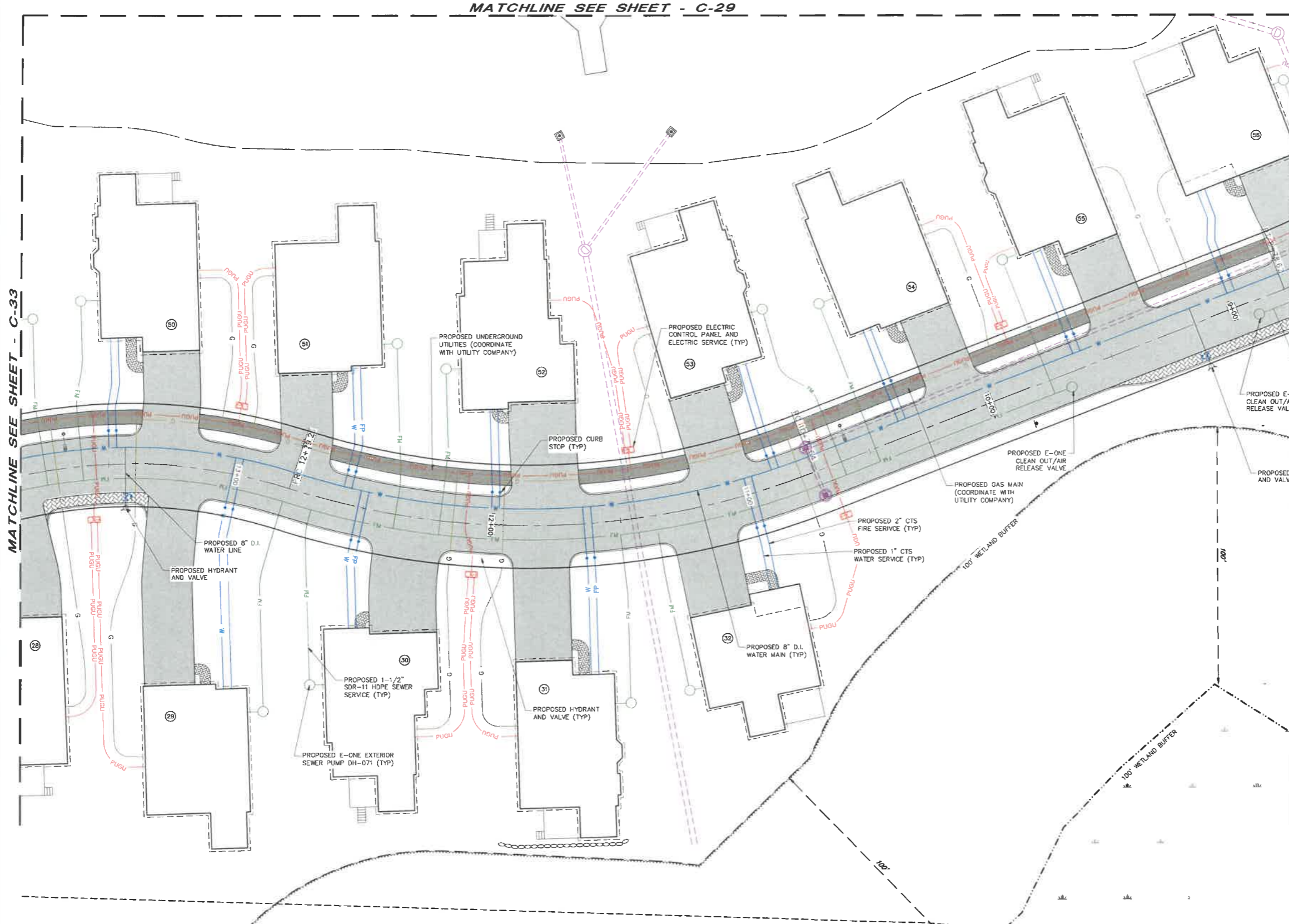
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CK	JJM	CADFILE	47388-11_UTILITY

C-31

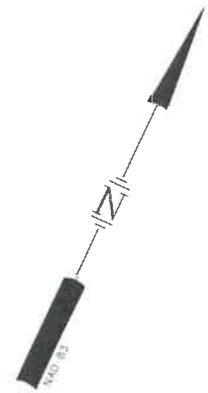
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MATCHLINE SEE SHEET - C-29



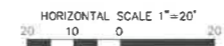
MATCHLINE SEE SHEET - C-33

MATCHLINE SEE SHEET - C-31



SITE DEVELOPMENT PLANS
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PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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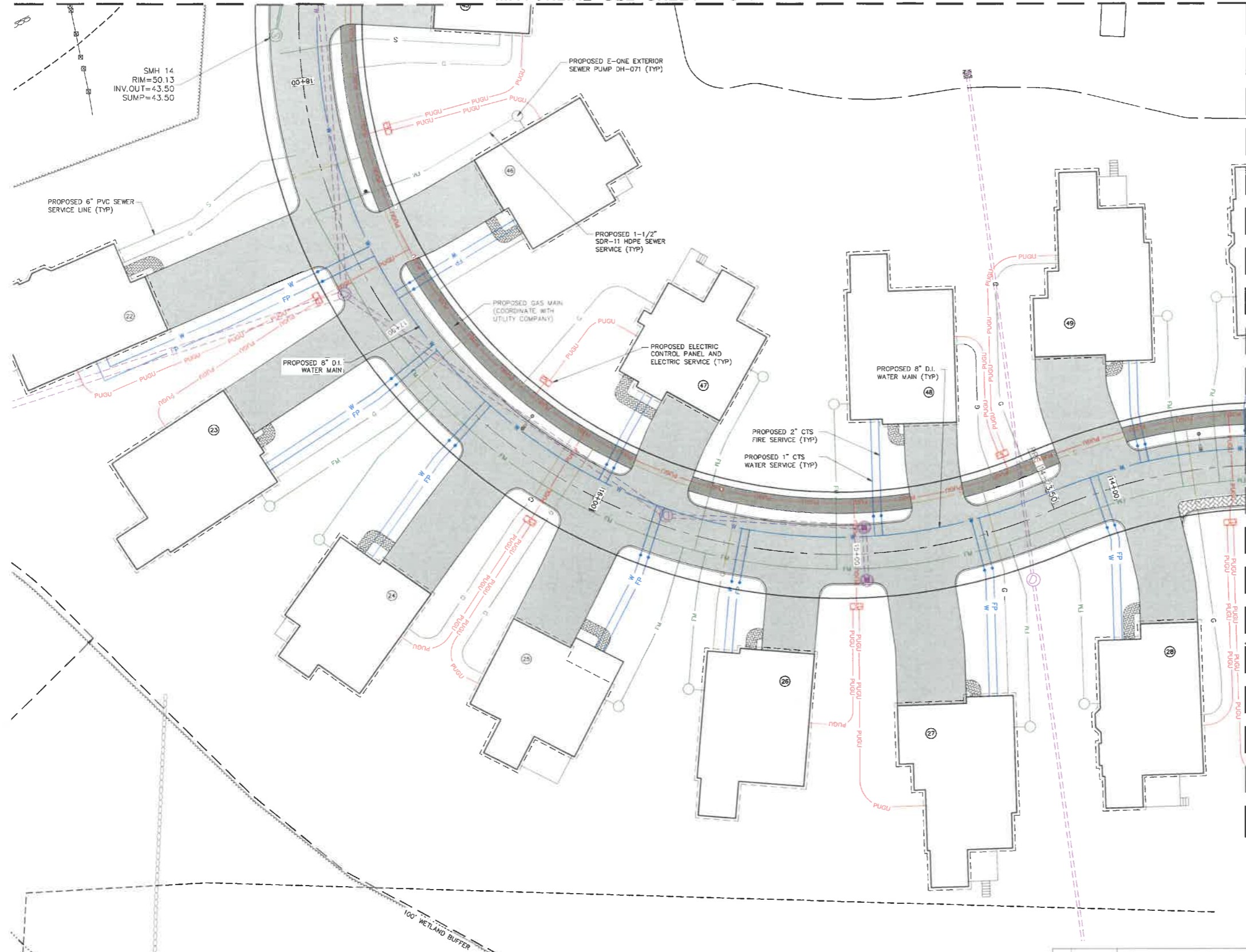
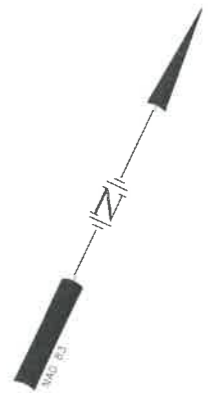
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47388.11 C-32

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MATCHLINE SEE SHEET - C-30



MATCHLINE SEE SHEET - C-32

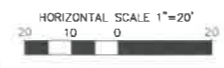


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 TAX MAP 242 LOT 4
UTILITY PLAN
PARSON WOODS CONDOMINIUM LLC
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MAP 242 LOT 3
 NEW HOPE BAPTIST CHURCH
 PORTSMOUTH, NH 03802
 83 PEVERLY HILL ROAD



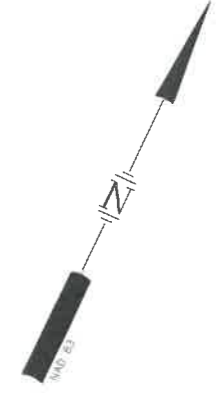
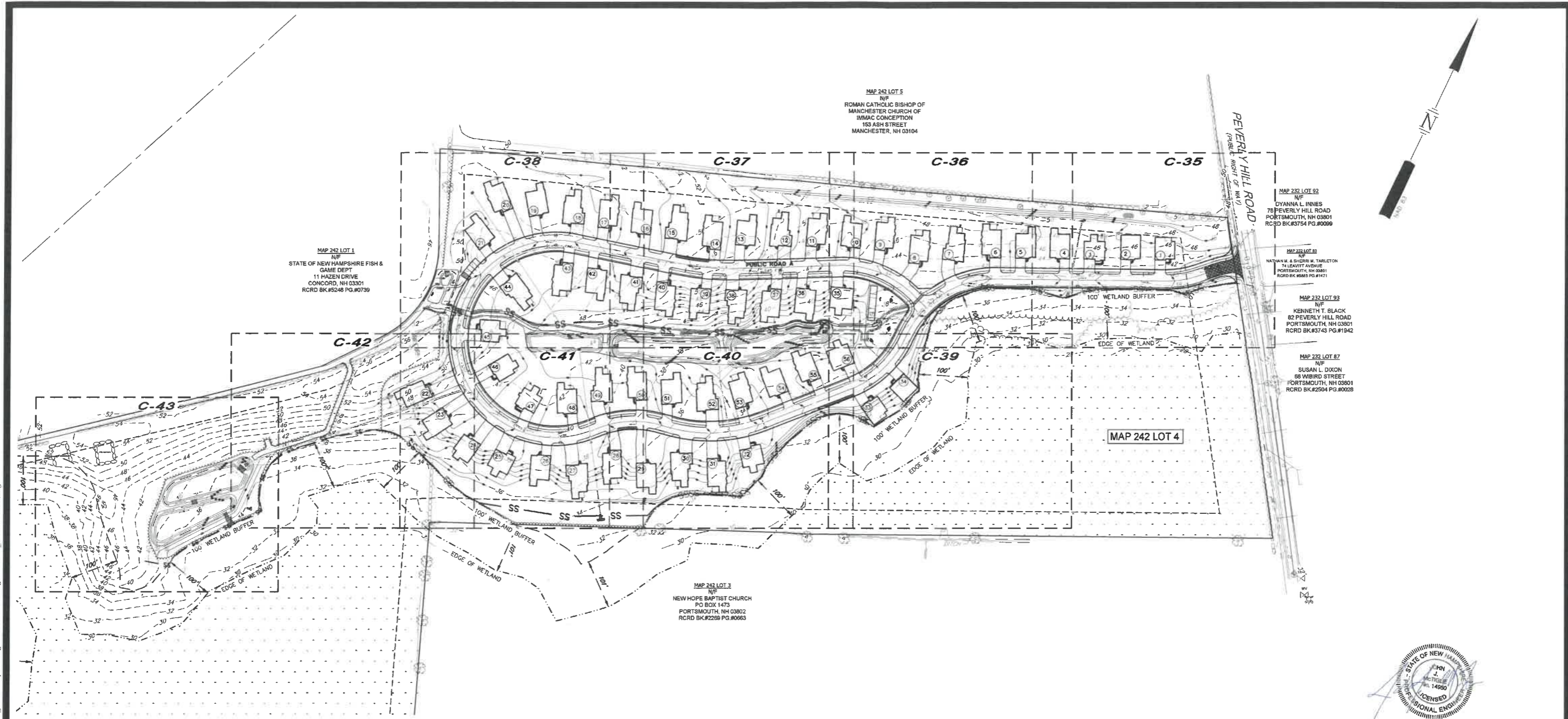
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47388.11
 DR JSM FB
 CK JUM CADFILE
 47388-11_UTILITY
 C-33

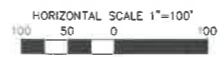
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SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
OVERALL EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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STOKEL SB & NA TRUST, PHILIP J 25% INT
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47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_EROSIONCONTROL C-34

MAP 242 LOT 5
N/P
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

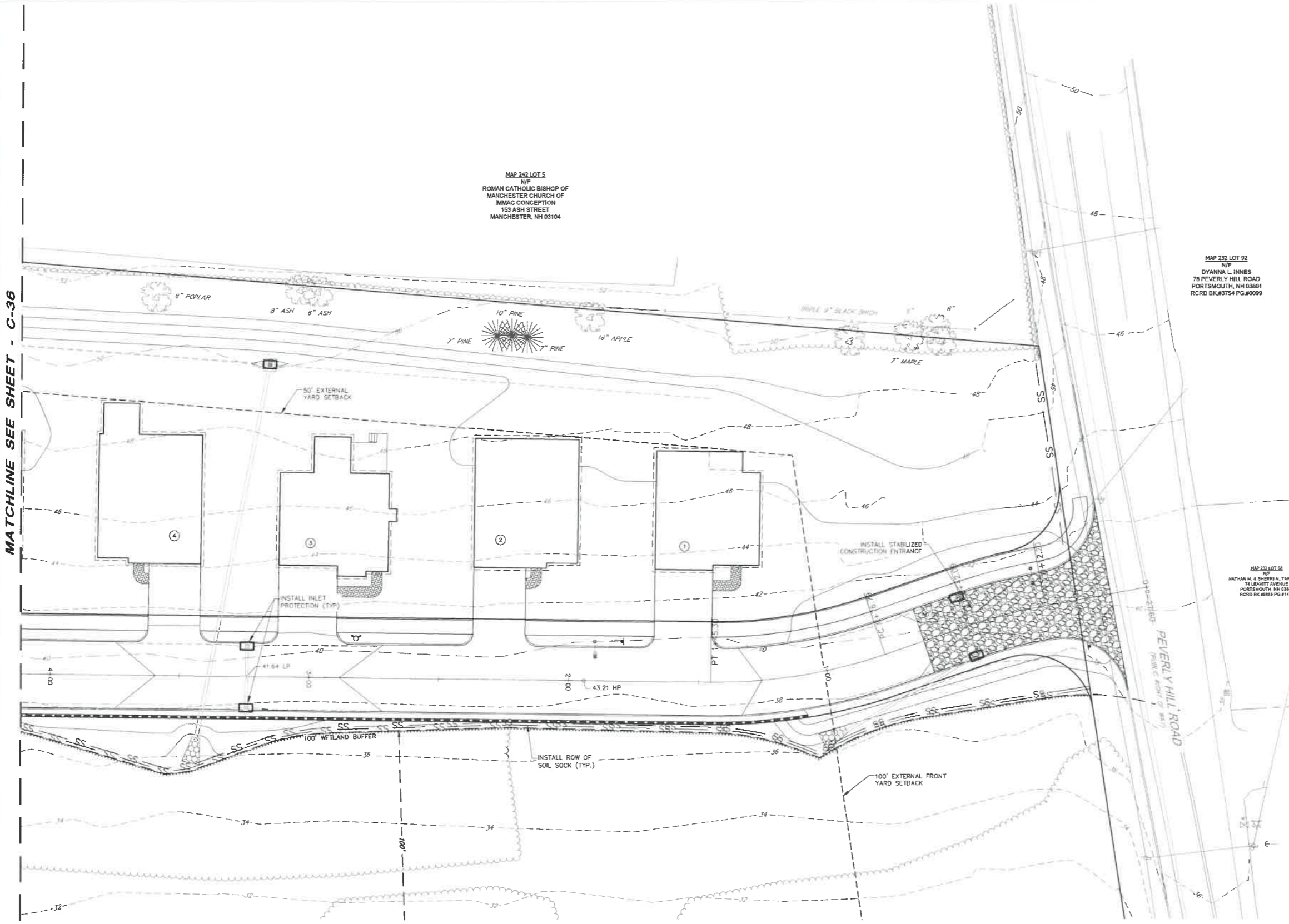
MAP 232 LOT 92
N/P
DYANNA L INNES
78 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK#3754 PG.#0099

NOTES

- SEE GENERAL EROSION CONTROL NOTES ON THE EROSION CONTROL DETAIL SHEET AND THE APPROVED SWPPP.
- INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
- PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
- DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
- THE SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN WHOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE, FOR WHICH THE PERMITTEE IS RESPONSIBLE, OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
- CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1. DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
- INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10" OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
- PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
- ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
- THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.
- EROSION CONTROL BERM MAY BE USED IN PLACE OF ONE LAYER OF SILT SOCK.
- TURBIDITY CURTAIN TO BE USED IN PLACE OF DOUBLE LAYER OF SILT SOCK WHEN STANDING WATER IS ENCOUNTERED.

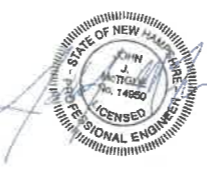
MAP 232 LOT 92
N/P
NATHAN M. A. SHERRILL, TAC
74 LEAVITT AVENUE
PORTSMOUTH, NH 03801
RCRD BK#6885 PG.#141

MATCHLINE SEE SHEET - C-36



SITE DEVELOPMENT PLANS
TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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PREPARED FOR
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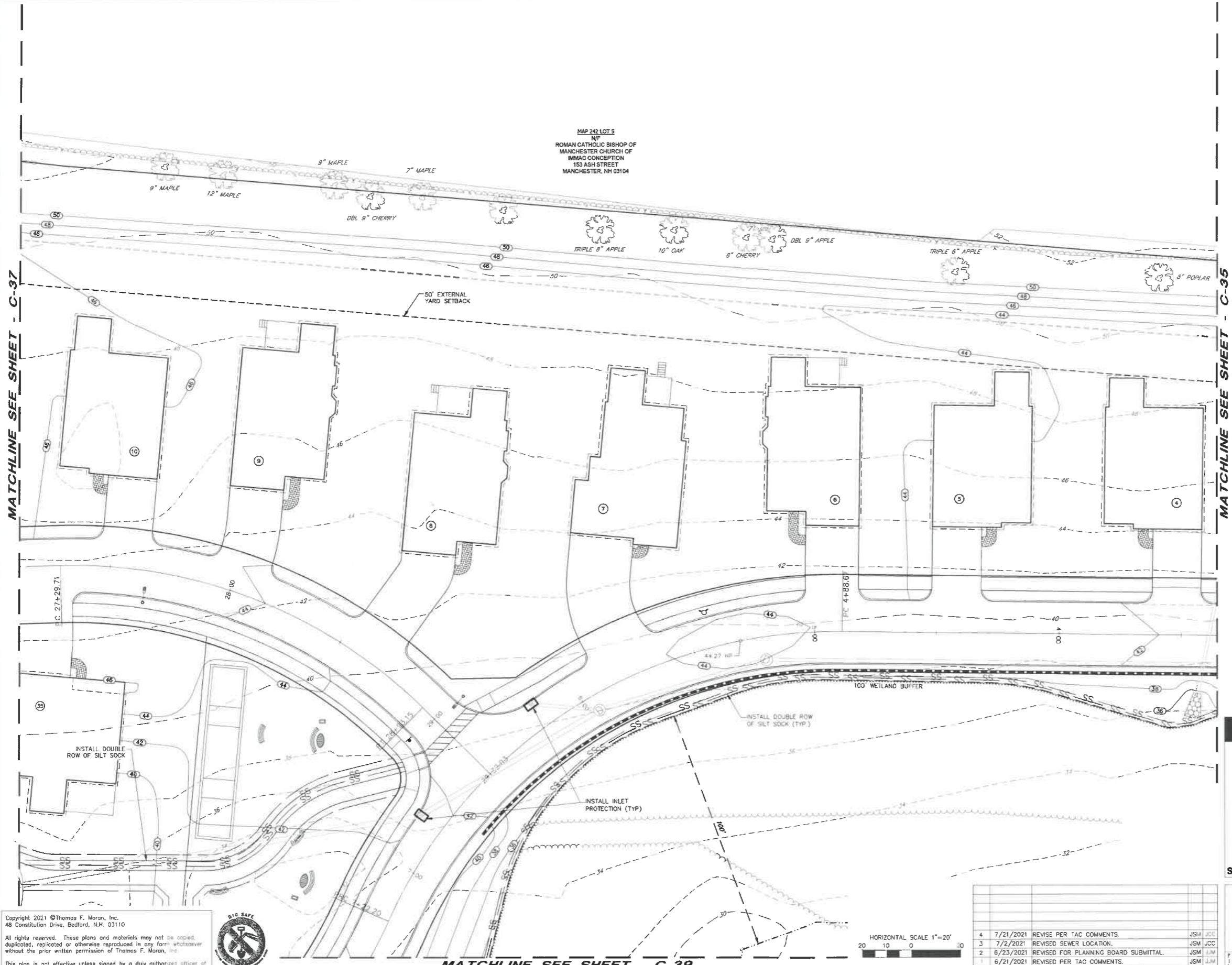
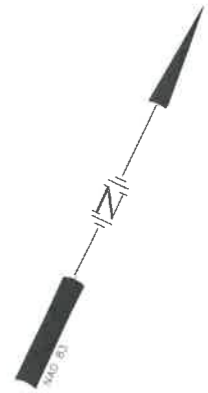


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47388.11 DR JSM FB
CK JJM CAD/FE 47388-11_EROSIONCONTROL
C-35

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MAP 242 LOT 5
 NE
 ROMAN CATHOLIC BISHOP OF
 MANCHESTER CHURCH OF
 IMMAC CONCEPTION
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 MANCHESTER, NH 03104

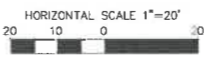
MATCHLINE SEE SHEET - C-37

MATCHLINE SEE SHEET - C-35



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PARSON WOODS CONDOMINIUM LLC
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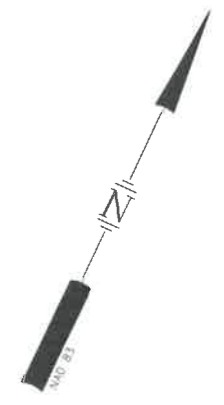
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 DR JSM FB
 CK JJM CADFILE 47388-11_EROSIONCONTROL

C-36

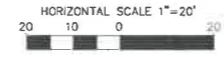
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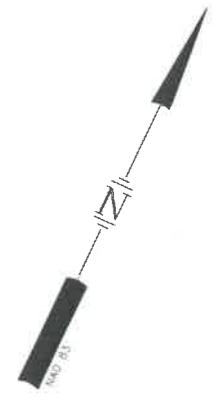
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 CK JJM CADFILE 47388-11_EROSIONCONTROL C-37

MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRD BK#5249 PG.#0739



MATCHLINE SEE SHEET - C-37



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HORIZONTAL SCALE 1"=20'
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4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	5/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

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47388.11
 DR JSM FB
 CK JIM CAD/LE 47388-11_EROSIONCONTROL

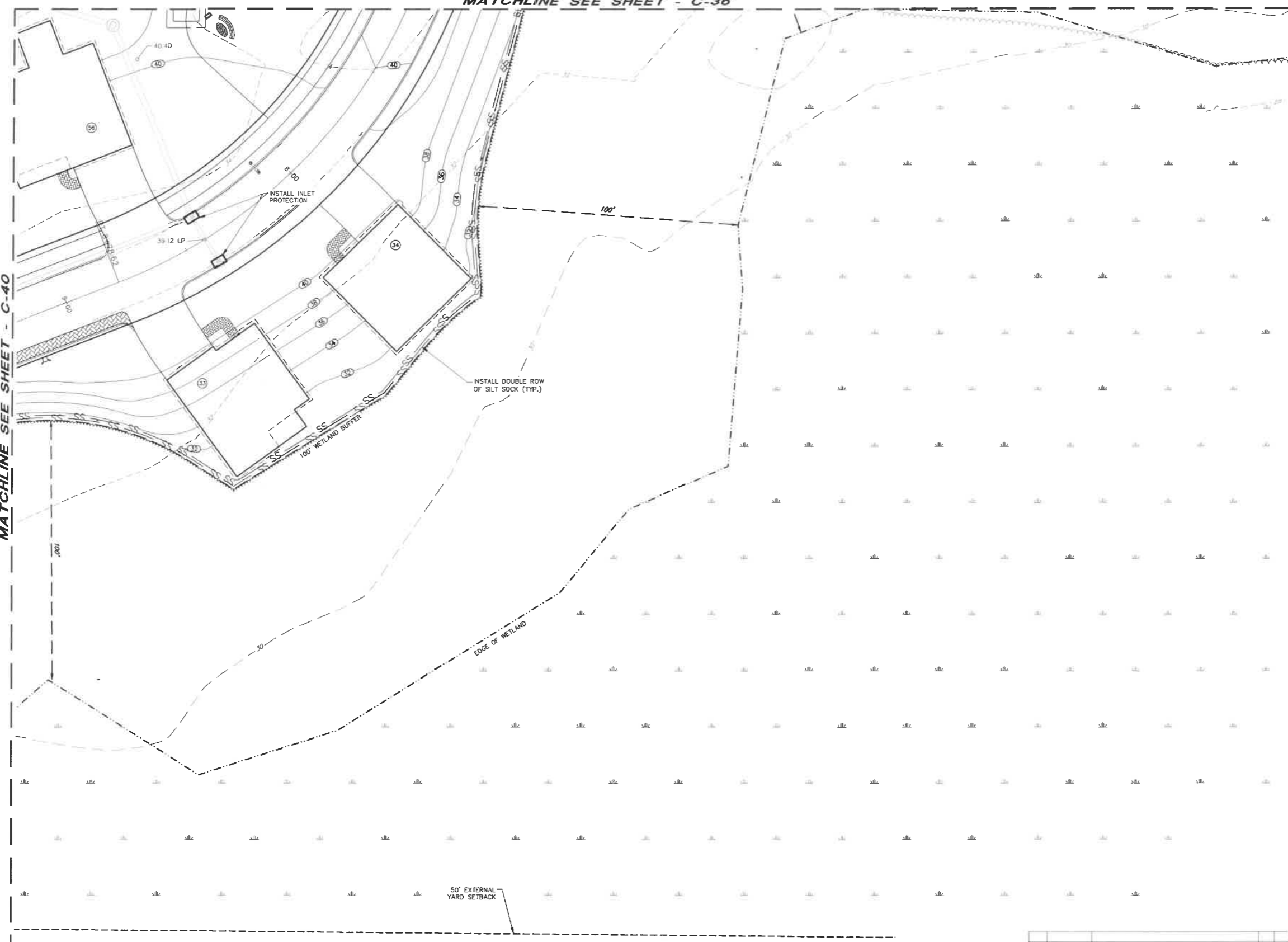
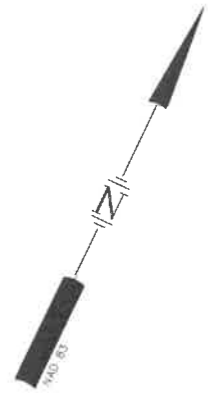
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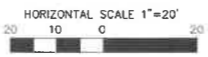
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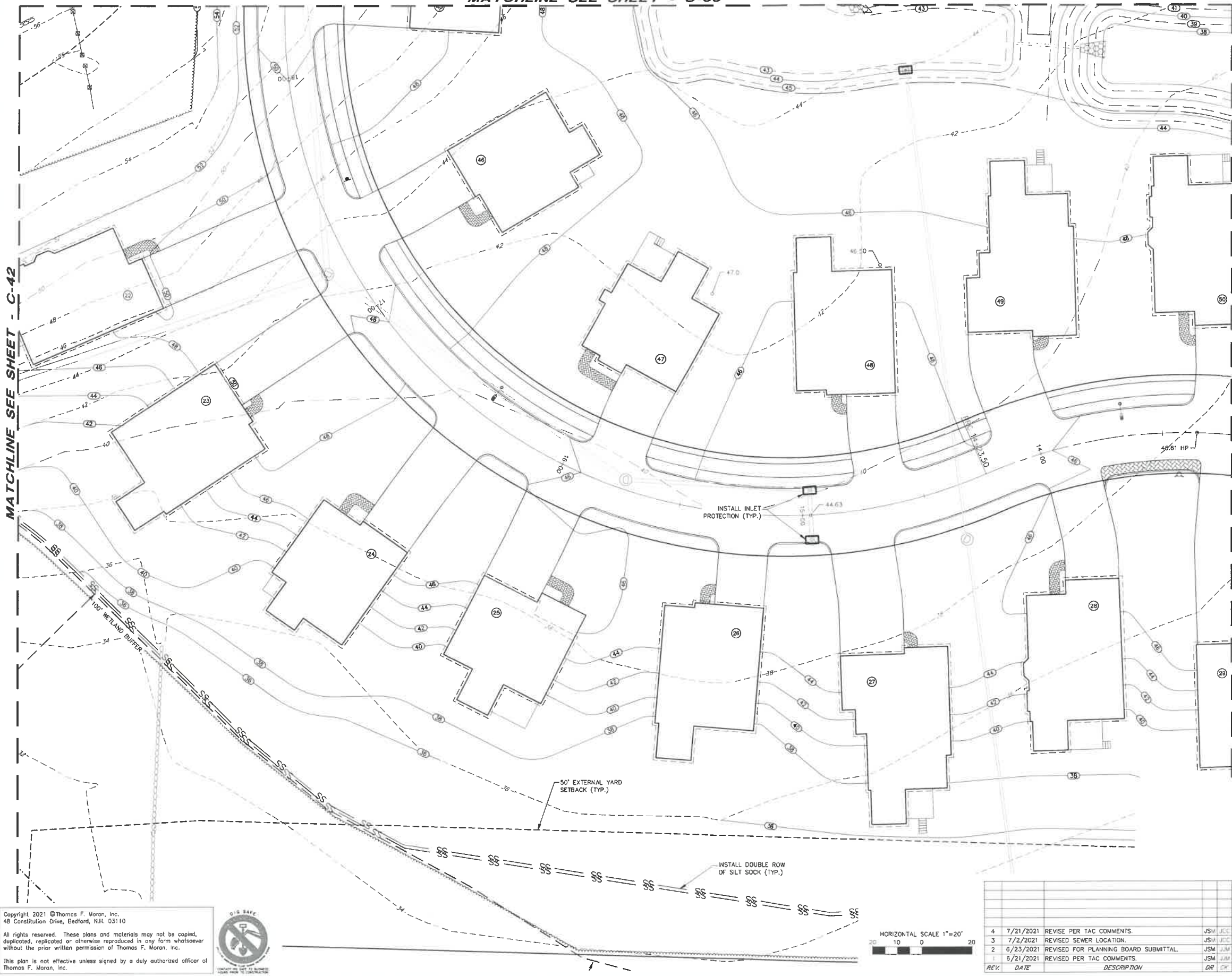
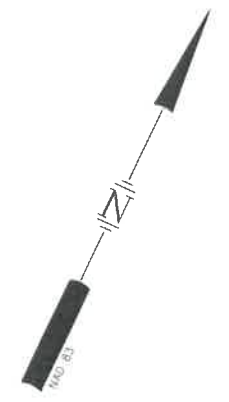
SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=40' (11"X17")
 SCALE: 1"=20' (22"X34") APRIL 19, 2021

 TFM	Seacoast Division Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists		170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com
	47388.11	DR JSM FB CK JAM CADFILE	47388-11_EROSIONCONTROL

MATCHLINE SEE SHEET - C-38

MATCHLINE SEE SHEET - C-42

MATCHLINE SEE SHEET - C-40



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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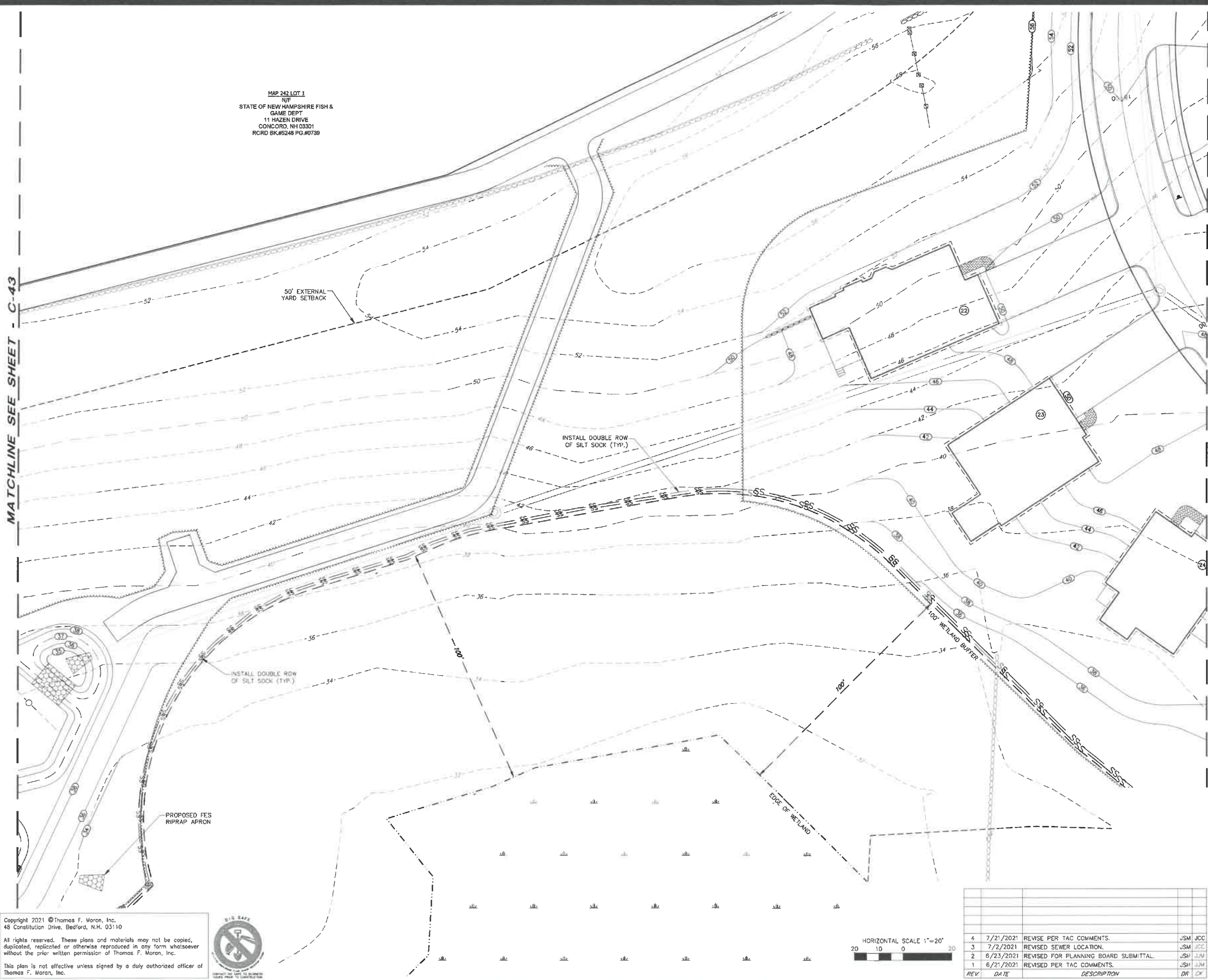


HORIZONTAL SCALE 1"=20'
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MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRO BK.#5248 PG.#0739

50' EXTERNAL YARD SETBACK

INSTALL DOUBLE ROW OF SILT SOCK (TYP.)

INSTALL DOUBLE ROW OF SILT SOCK (TYP.)

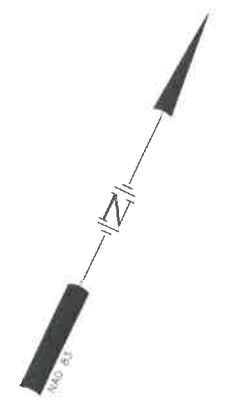
PROPOSED FES RIPRAP APRON

EDGE OF WETLAND

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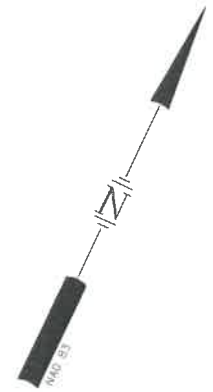
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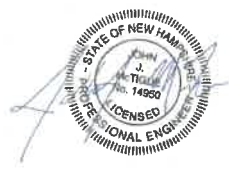
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 TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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STOKEL SB & NA TRUST, PHILIP J 25% INT
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	47388.11	DR: JSM CK: JJM	FB: - CADFILE: 47388-11.EROSIONCONTROL

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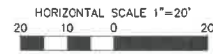
MATCHLINE SEE SHEET - C-42



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
EROSION CONTROL PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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 C-43

LANDSCAPE NOTES

- 1. CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWNWORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
2. CONTRACTOR WILL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
3. SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
4. PLANT TYPES MAY VARY BASED ON AVAILABILITY AND SUPPLY. THIS LAYOUT REPRESENTS THE INTENT OF THE PLANTING AND APPROXIMATE NUMBERS OF PLANTS TO BE PROVIDED.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE APPROPRIATE ARRANGEMENTS TO PROVIDE ALL PLANTS AND MATERIALS TO ACCOMMODATE PLANTING WITHIN THE TIME ALLOWED BY THE CONSTRUCTION SCHEDULE.
6. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
7. ALL PLANTS WILL BE NURSERY GROWN.
8. PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
9. TREES WILL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 PART 1, "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".
10. PLANTS MATERIAL IS SUBJECT TO APPROVAL / REJECTION BY THE LANDSCAPE ARCHITECT AT THE SITE AND AT THE NURSERY.
11. ALL PLANTS WILL BE MOVED WITH ROOT SYSTEMS AS SOLID UNITS AND WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT WILL BE ACCEPTED WHEN BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE WILL BE HEEL-D-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS WILL BE WRAPPED WITH WIND PROOF COVERING.
12. NEWLY PLANTED MATERIAL WILL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADE OF THE PLANT PRIOR TO DIGGING.
13. PROPOSED TREES OVERHANGING SIDEWALKS, ROADS OR PARKING WILL BEGIN BRANCHING NATURALLY (NOT PRUNED) AT 6' HEIGHT.
14. MULCH FOR PLANTED AREAS (NOT INCLUDING RAIN GARDENS) WILL BE AGED SHREDDED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS UNLESS OTHERWISE SHOWN.
15. PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIP LINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
16. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, WILL RECEIVE SIX (6) INCH LOAM AND SEED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
17. ALL PLANT GROUPINGS WILL BE IN MULCH BEDS UNLESS OTHERWISE SPECIFIED OR NOTED ON PLANS. WHERE MULCHED PLANT BED ADJUTS LAWN, PROVIDE TURF CUT EDGE.

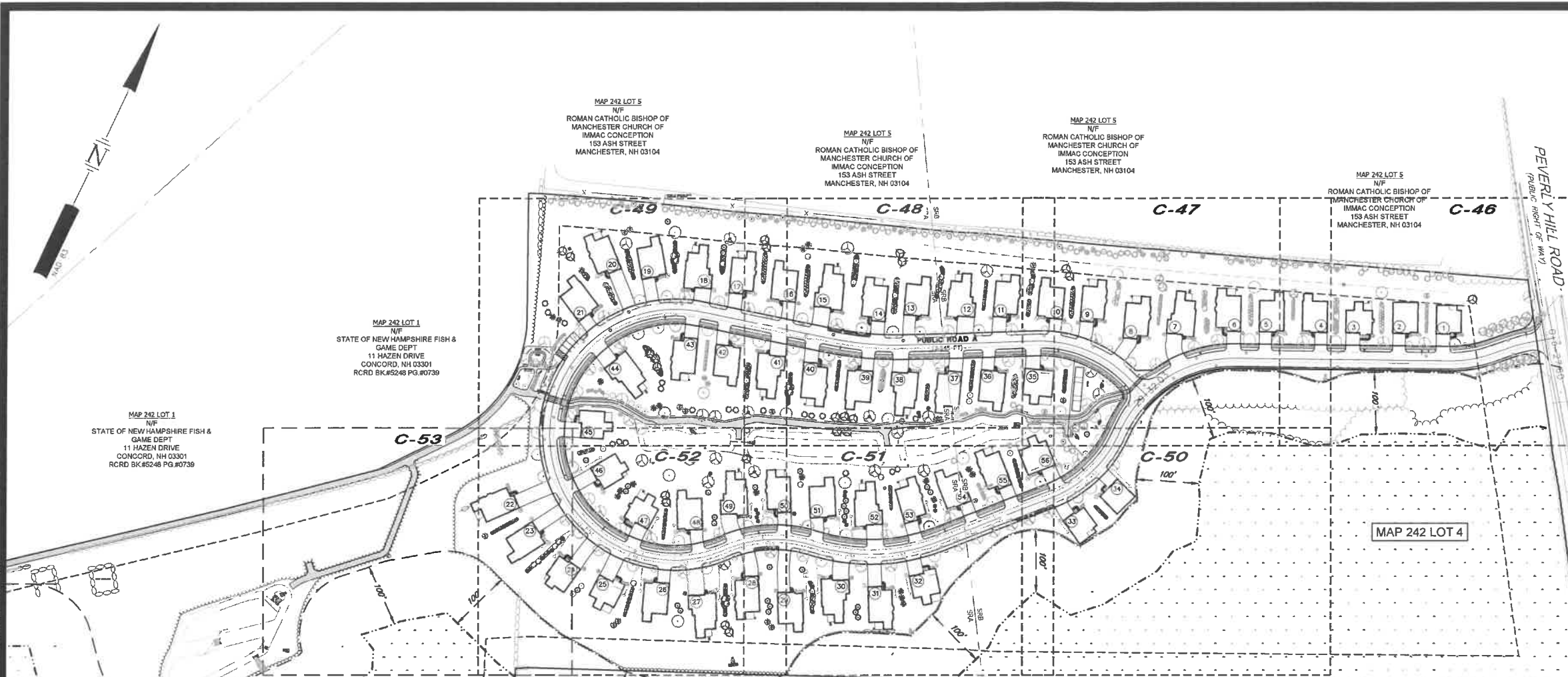
LANDSCAPE GUARANTEE AND MAINTENANCE NOTES

- 1. CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF WATERING.
2. CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR.
3. WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
4. ALL NEW LAWNS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE REQUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNTIL ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IS ISSUED IN WRITING.
5. THE CONTRACTOR WILL MAINTAIN AND GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHOWING LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
6. DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.
7. EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWTH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
OVERALL LANDSCAPE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
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1"=200'(11"x17")
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C-45



SEEDING NOTES

- 1. GENERAL SEED WILL BE NH-DOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.
2. SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
3. THE NEW ENGLAND CONSERVATION/WILDLIFE MIX FROM NEW ENGLAND WETLAND PLANTS, INC OR EQUIVALENT (SEE SHEET C-17, FOR LOCATION.) APPLICATION RATE OF 25LBS/ACRE (1,750 SQ FT/LB). SPECIES INCLUDED ARE: VIRGINIA WILD RYE (ELYMUS VIRGINICUS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (Panicum virgatum), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), FANLEAFED TICK TREFOL (DESMODIUM ANICULATUM), INDIAN GRASS (SORGHASTRUM NUTANS), BLUE VERVAIN (VERBENA HASTATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), BLACK EYED SUSAN (RUDBECKIA HIRTA), COMMON SNEEZEWEED (HELIENIUM AUTUNALE), HEATH ASTER (ASTERILOPUS/SYMPHYOTRICHUM PILOSUM), EARLY GOLDENROD (SOLIDAGO JUNCEA), UPLAND BENTGRASS (AGROSTIS PERENNANS).
4. THE NEW ENGLAND WETMIX (WETLAND SEED MIX) FROM NEW ENGLAND WETLAND PLANTS, INC OR EQUIVALENT, SHALL BE APPLIED TO ALL AREAS OF THE SITE WHERE THE DISTURBANCE OCCURS WITHIN 25' OF WETLAND, EXCEPT WHERE NEW ENGLAND CONSERVATION MIX IS SPECIFIED (SEE SHEET C-17). APPLICATION RATE OF 25LBS/ACRE (1,750 SQ FT/LB). SPECIES INCLUDED ARE: FOX SEDGE (CAREX VULPINOIDEA), LURID SEDGE (CAREX LURIDA), BLUNT BROOM SEDGE (CAREX SCOPARIA), BLUE VERVAIN (VERBENA HASTATA), FOWL BLUEGRASS (POA PALUSTRIS), HOP SEDGE (CAREX LUPULINA), GREEN BULRUSH (SORPUS ATROVIRENS), CREEPING SPIKE RUSH (ELEOCHARIS PALUSTRIS), FRINGED SEDGE (CAREX CRINITA), SOFT RUSH (JUNCUS EFFUSUS), SPOTTED JOE PYE WEED (EUPATORIUM MACULATUM), RATTLESNAKE GRASS (OLYRIA CANADENSIS), SWAMP ASTER (ASTER PUNICEUS), BLUEFLAG (IRIS VERSICOLOR), SWAMP MILKWEED (ASCLEPIAS INCARNATA), SQUARE STEMMED MONKEY FLOWER (MIMULUS RINGENS).

HYDROSEEDING NOTES

- 1. HYDROSEEDING MAY BE USED AS AN ALTERNATE METHOD OF SEEDING. THE APPLICATION OF LIMESTONE AS NECESSARY, FERTILIZER AND GRASS SEED MAY BE ACCOMPLISHED IN ONE OPERATION BY THE USE OF A SPRAYING MACHINE APPROVED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER. THE MATERIALS SHALL BE MIXED WITH WATER IN THE MACHINE AND SHALL CONFORM TO RELATIVE REQUIREMENTS OF SECTION 644 OF NH. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
2. (FOR MASSACHUSETTS PROJECTS PLUG IN - SECTION 785.65 OF MASS. DPW CURRENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES).

INVASIVE PLANT NOTES

- 1. EXISTING NON-NATIVE, INVASIVE PLANT SPECIES WILL BE IDENTIFIED, REMOVED, DESTROYED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE LATEST UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION METHODS OF DISPOSING NON-NATIVE INVASIVE PLANTS. SEE "MANAGE AND CONTROL INVASIVES" AND PROPERLY DISPOSE OF INVASIVE PLANTS.

PRICING & CONSTRUCTION DOCUMENT NOTES

- 1. CONTRACTOR WILL PRICE PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE PLANTINGS GRAPHICALLY SHOWN ON THESE DRAWINGS OR IN PLANT LIST, WHICHEVER IS GREATER. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
2. CONTRACTOR WILL VERIFY PRIOR TO PRICING IF SITE SOILS ARE VERY POORLY DRAINING OR IF LEDGE IS PRESENT. IF CONTRACTOR ENCOUNTERS VERY POORLY DRAINING SOILS (BATH TUB EFFECT) OR LEDGE THAT IMPACTS PROPOSED PLANTING PLAN, NOTIFY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE FOR DIRECTION PRIOR TO PRICING AND AGAIN PRIOR TO PERFORMING ANY WORK.

- 3. CONTRACTOR WILL STAKE OR PLACE ON GROUND ALL PROPOSED PLANT MATERIALS PER PLAN, CONTACT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
4. COORDINATE WITH LANDSCAPE ARCHITECT'S CONTRACTED NUMBER OF SITE VISITS WHEN PLANNING FOR INSPECTION. NOTIFY LANDSCAPE ARCHITECT 72 HOURS MINIMUM IN ADVANCE OF REQUESTED SITE VISIT.
5. CONTRACTOR WILL DEVELOP A WRITTEN WATERING SCHEDULE AND WILL SUBMIT WATERING SCHEDULE TO OWNERS' REPRESENTATIVE. CONTRACTOR WILL WATER ALL NEW PLANTS INCLUDING LAWNS THAT ARE NOT "IRRIGATED" VIA A PERMANENT IRRIGATION SYSTEM FOR THE FIRST 12 MONTHS.

PORTSMOUTH NOTES

- 1. THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNER'S WILL BE RESPONSIBLE FOR THE MAINTENANCE AND OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS INDICATED ON THESE PLANS.
2. ALL REQUIRED PLANT MATERIAL SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY.
3. ALL REQUIRED FENCES AND WALLS WILL BE MAINTAINED IN GOOD REPAIR.
4. THE PROPERTY OWNER WILL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
5. ALL IMPROVEMENTS SHOWN ON THIS PLAN WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THIS PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES WILL BE MADE TO THIS PLAN WITHOUT THE WRITTEN APPROVAL OF THE PORTSMOUTH PLANNING BOARD OR PLANNING DIRECTOR.
6. THE LANDSCAPE PLAN WILL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
7. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
8. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.



Revision table with columns: REV, DATE, DESCRIPTION, and initials. Includes entries for 7/21/2021, 7/2/2021, 6/23/2021, and 6/21/2021.

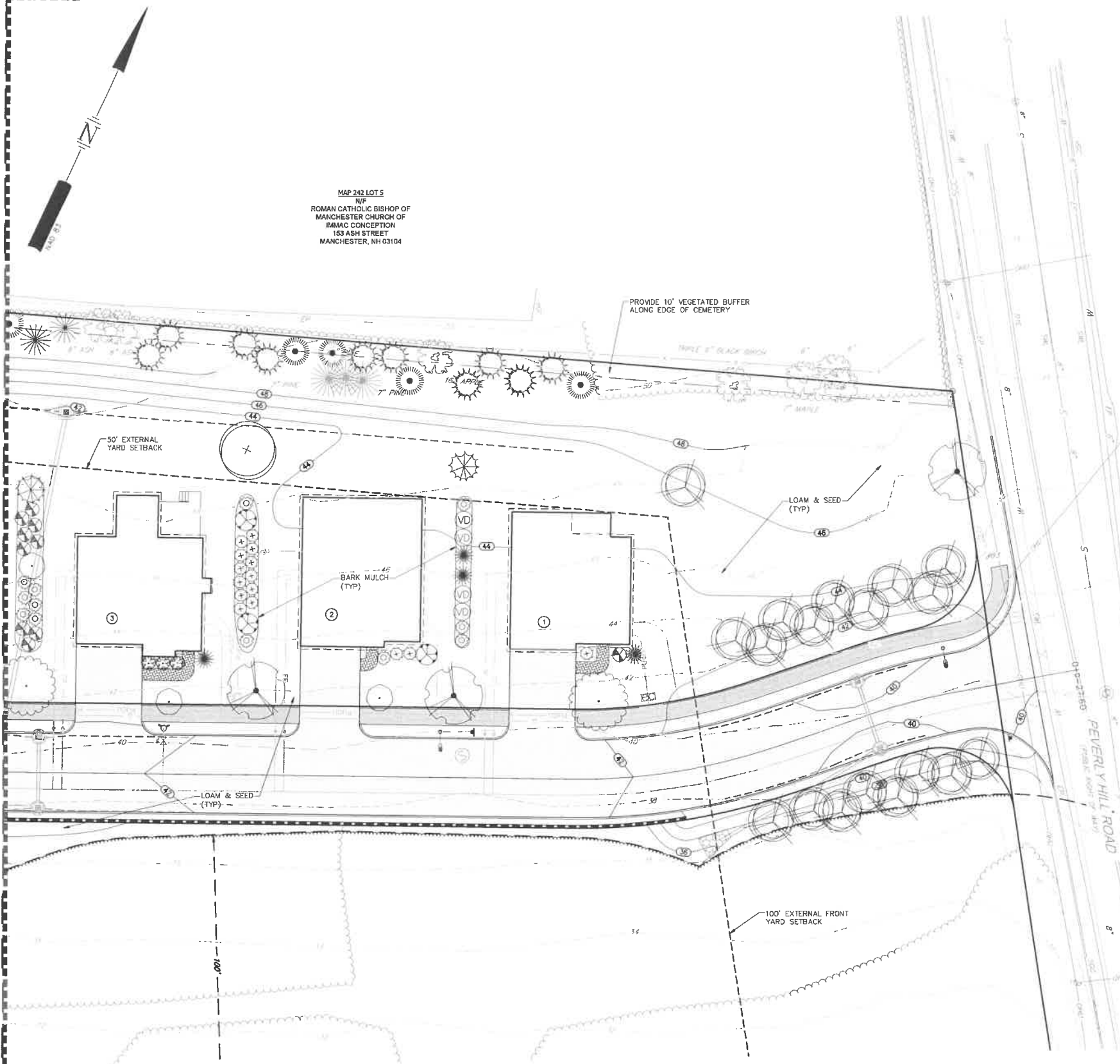
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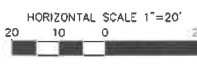
LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
SHADE TREES				
	38	ACER RUBRUM 'OCTOBER GLORY' **OCTOBER GLORY RED MAPLE	3" TO 3 1/2" CAL.	B&B
	30	ACER SACCHARUM 'COMMEMORATION' **COMMEMORATION SUGAR MAPLE	3" TO 3 1/2" CAL.	B&B
	44	BETULA N. 'HERITAGE' "RIVER BIRCH"	12" TO 14" CLUMP	B&B
	24	NYSSA SYLVATICA "BLACK GUM"	2 1/2 TO 3" CAL.	B&B
	21	QUERCUS ALBA "WHITE OAK"	3" TO 3 1/2" CAL.	B&B
	24	PLATANUS X A. 'EXCLAMATION' EXCLAMATION PLANETREE	3" TO 3 1/2" CAL.	B&B
EVERGREEN TREES				
	35	ABIES BALSAMAE "BALSAM FIR"	6' TO 7' 7' TO 8'	B&B
	21	JUNIPERUS VIRGINIANA "EASTERN RED CEDAR"	6' TO 7'	B&B
	30	PICEA GLAUCA "WHITE SPRUCE"	6' TO 7' 7' TO 8'	B&B
	46	PINUS STROBUS "WHITE PINE"	5' TO 6' 6' TO 7'	B&B

SMALL/FLOWERING TREES				
	45	CRATAEGUS CRUSGALLI INERMIS **THORNLESS COCKSPUR HAWTHORN	2" TO 2 1/2" CAL.	B&B
	23	PRUNUS VIRGINIANA 'SCHUBERT' "CANADA RED CHERRY"	2" TO 2 1/2" CAL.	B&B
DECIDUOUS SHRUB				
	53	AMELANCHIER CANADENSIS "SHAD-BLOW SERVICEBERRY"	5' TO 6' CLUMP	B&B
	86	CLETHRA ALNIFOLIA 'COMPACTA' **COMPACT SUMMERSWEET	7 GAL.	CONT.
	50	CORNUS SERICEA 'ALLEMANS COMPACTA' **ALLEMAN'S COMPACT RED-OSIER DOGWOOD	3' TO 4'	CONT.
	42	VIBURNUM DENTATUM "ARROWWOOD VIBURNUM"	4' TO 5'	B&B
	18	VIBURNUM TRILOBUM "AMERICAN CRANBERRY VIBURNUM"	4' TO 5'	B&B
EVERGREEN SHRUB				
	145	ILEX GLABRA 'COMPACTA' **COMPACT INKBERRY	3 GAL.	CONT.
	160	JUNIPERUS G. 'PFTIZERIANA COMPACTA' COMPACT PFTIZER JUNIPER	3 GAL.	CONT.
	155	THUJA O. NIGRA "DARK AMERICAN ARBORVITAE"	5' TO 6'	B&B

- *NATIVE
** IMPROVED NATIVE
- NOTES**
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
 - PLANT TYPES MAY VARY BASED ON AVAILABILITY AND SUPPLY. THIS LAYOUT IS FOR ILLUSTRATIVE PURPOSES ONLY AND REPRESENTS THE INTENT, BUT PLANT SIZES, SPECIES, AND AMOUNTS MAY VARY.

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REV.	DATE	DESCRIPTION	DR	CHK
4	7/21/2021	REVISED PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	5/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
LANDSCAPE PLAN

PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE

1"=40'
SCALE: 1"=20'

APRIL 19, 2021

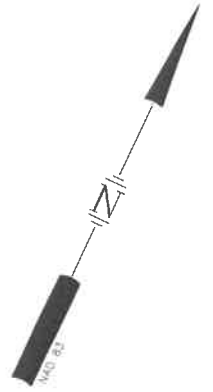
Seacoast Division

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 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
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FILE	47388.11	DR	JSM	FB	-	CADFILE	47388-11_LANDSCAPE	C-46
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Jul 21, 2021 - 4:23pm
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MATCHLINE SEE SHEET - C-51

HORIZONTAL SCALE 1"=20'
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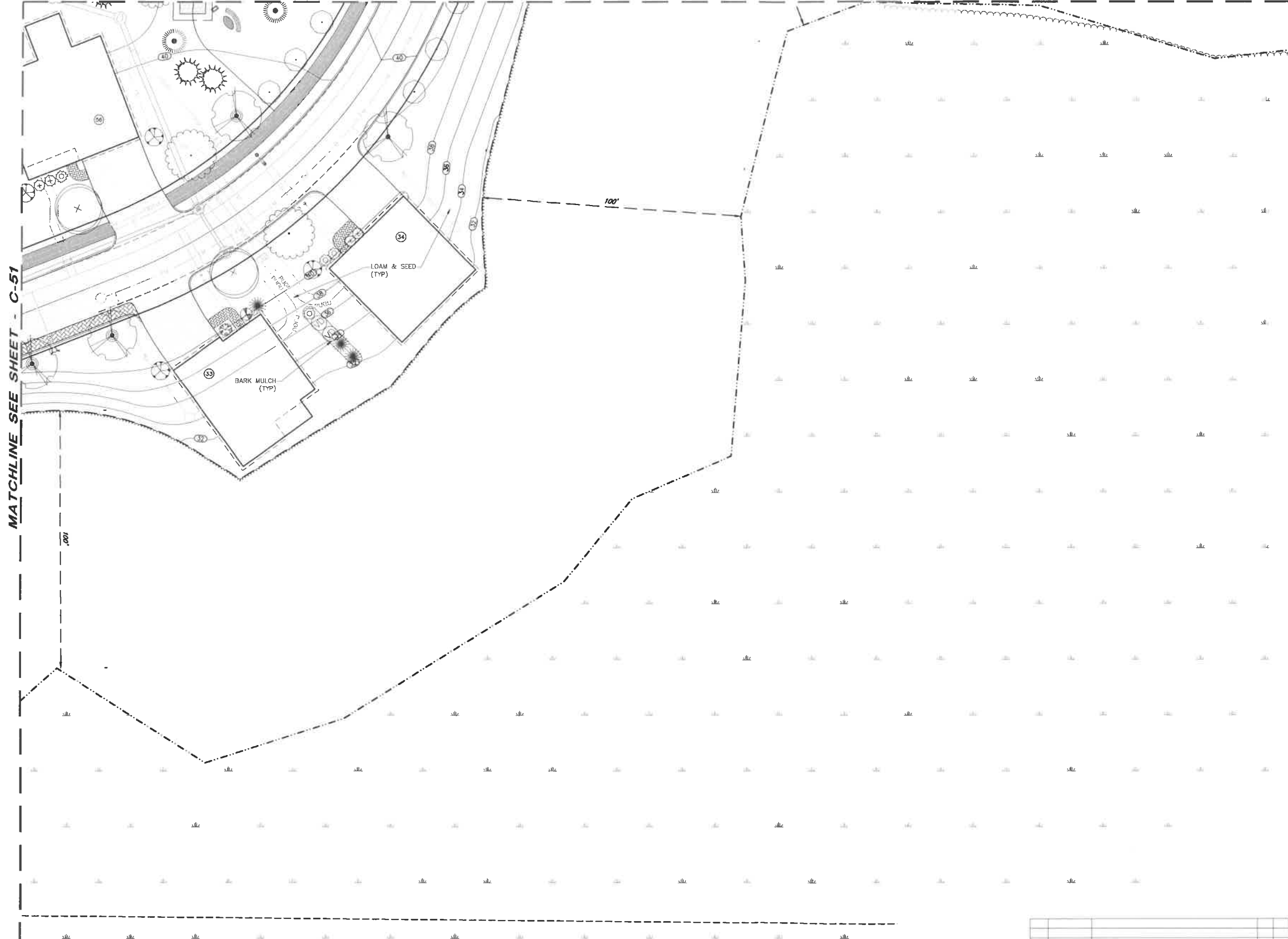
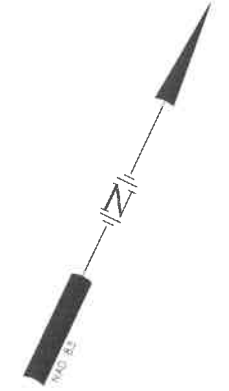
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4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
LANDSCAPE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=40'
 SCALE: 1"=20' APRIL 19, 2021

	Seacoast Division Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com
	47388.11 DR JSM FB CK JLM CADFILE 47388-11_LANDSCAPE	C-48

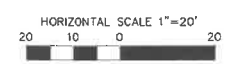
MATCHLINE SEE SHEET - C-47

MATCHLINE SEE SHEET - C-51



Jul 21, 2021 - 4:23pm
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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JLM

SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
LANDSCAPE PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=40'
 SCALE: 1"=20' APRIL 19, 2021

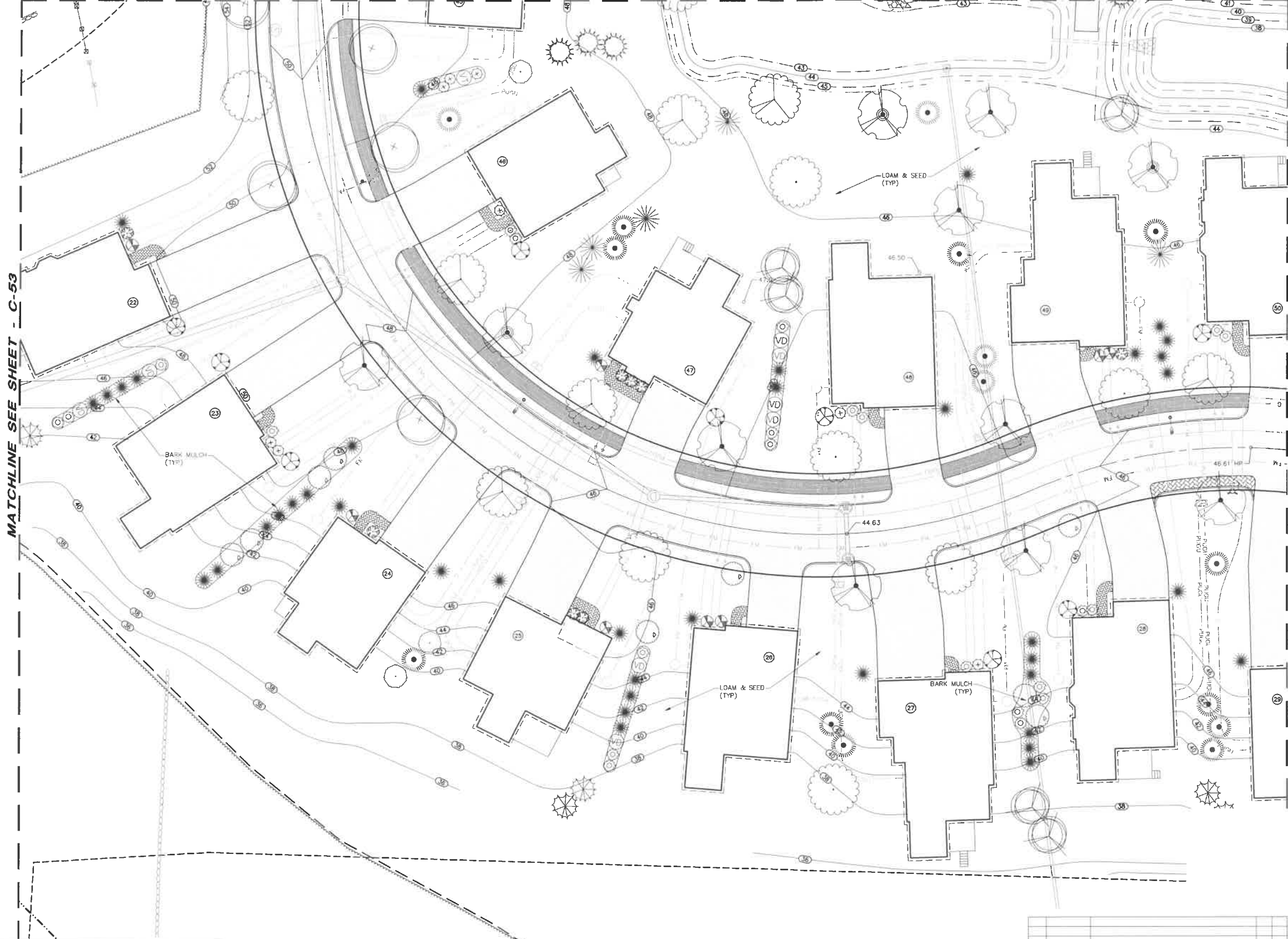
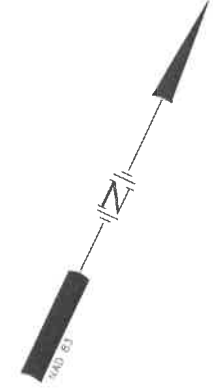
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47388.11 DR JSM FB
 CK JLM CADFILE 47388-11_LANDSCAPE C-50

MATCHLINE SEE SHEET - C-49

MATCHLINE SEE SHEET - C-53

MATCHLINE SEE SHEET - C-51



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
LANDSCAPE PLAN
PARSON WOODS CONDOMINIUM LLC
 83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=40'
 SCALE: 1"=20' APRIL 19, 2021

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699.69'
 566' 4.3' 10" W

MAP 242 LOT 3
 NEW HOPE BAPTIST CHURCH
 PORTSMOUTH, NH 03802

HORIZONTAL SCALE 1"=20'
 20 10 0 30

REV.	DATE	DESCRIPTION	DR	CK
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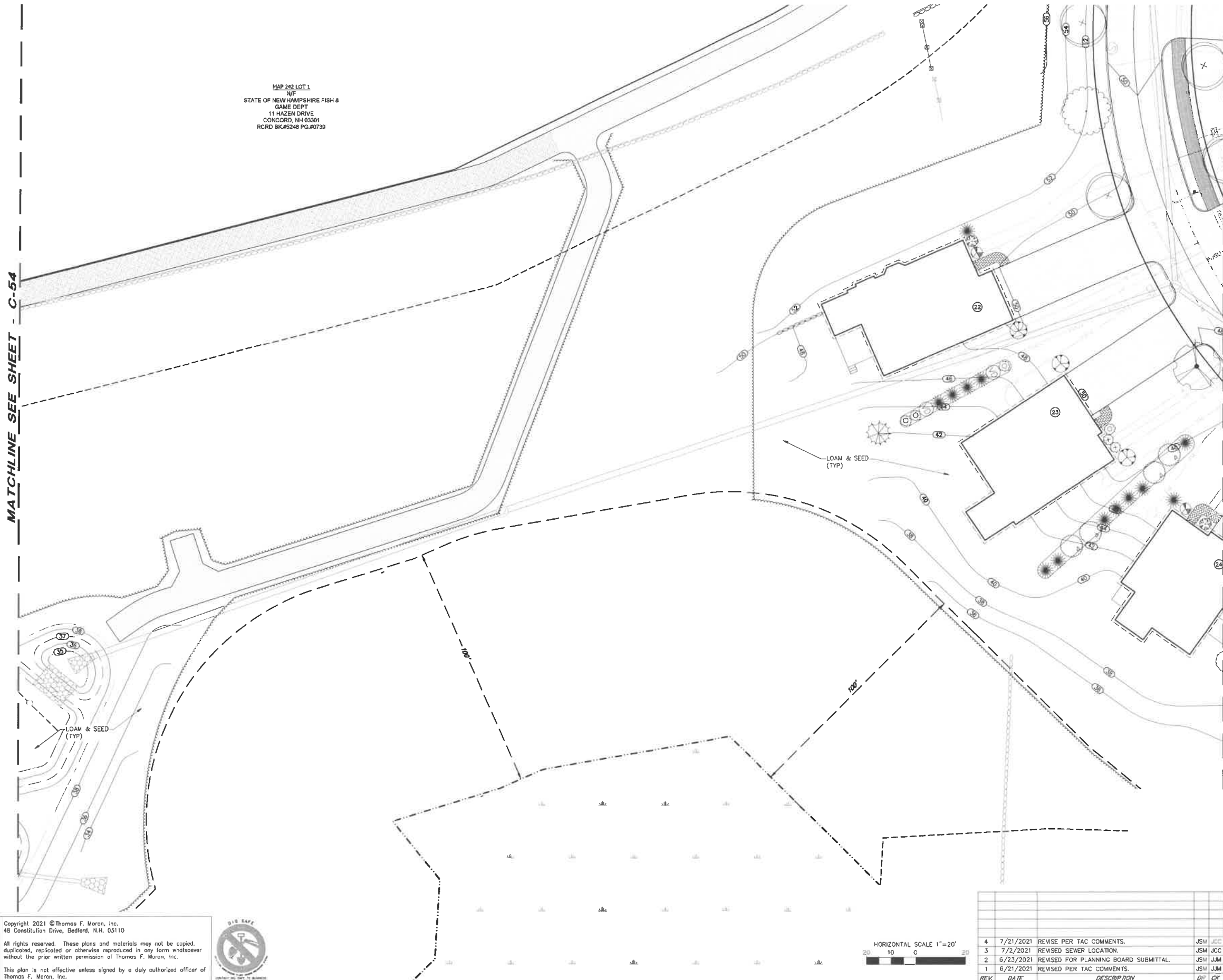
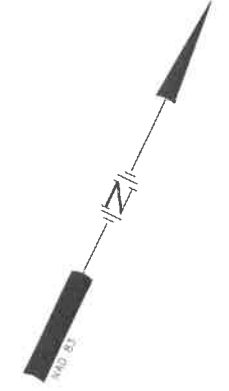
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Jul 21, 2021 - 4:23pm
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MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRD BK#5248 PG.#0739

MATCHLINE SEE SHEET - C-54

MATCHLINE SEE SHEET - C-52



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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
LANDSCAPE PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE

1"=40'
SCALE: 1"=20' **APRIL 19, 2021**

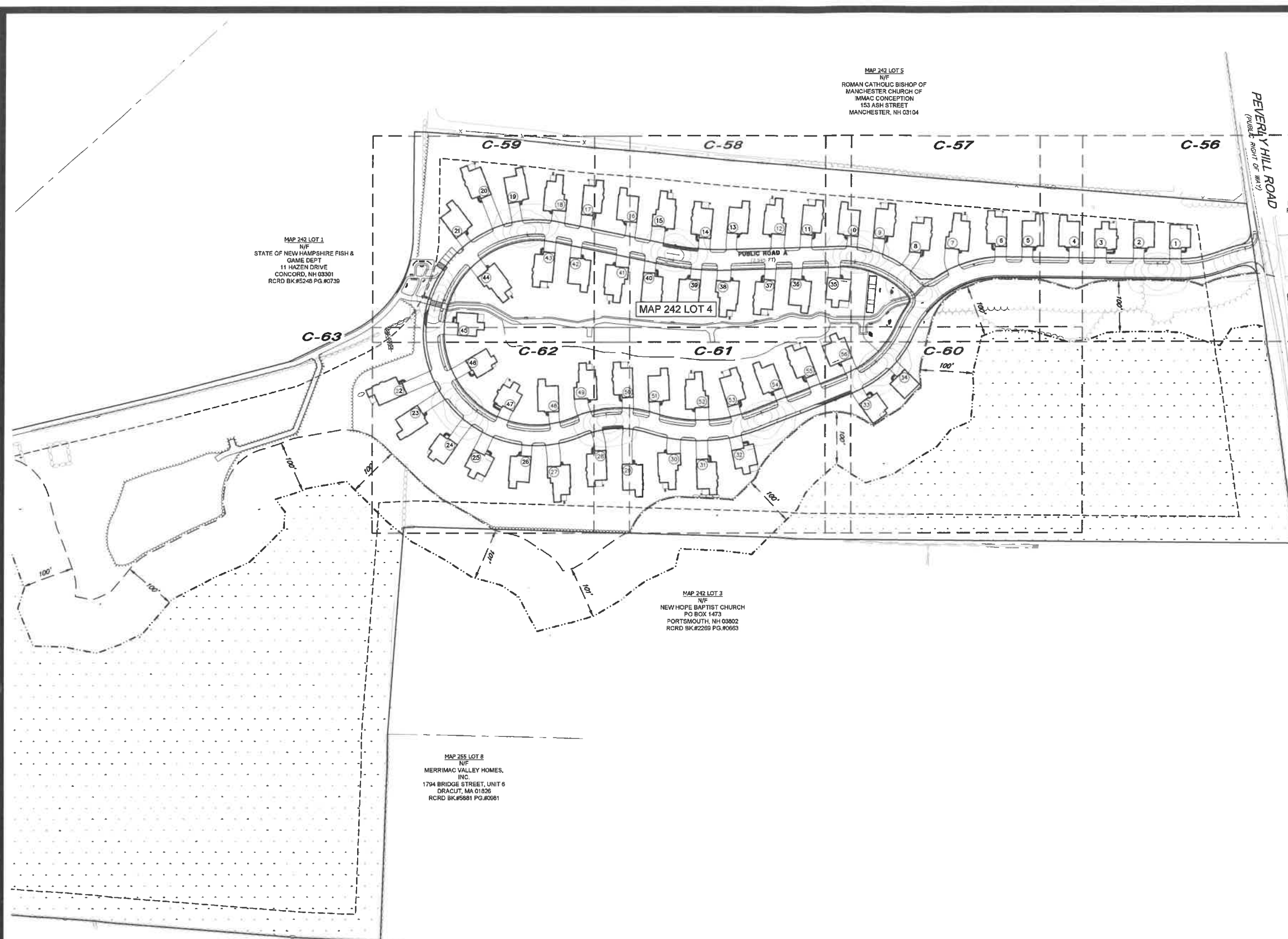


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FILE 47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_LANDSCAPE C-53

Jul 21, 2021 - 4:23pm F:\MISC Projects\M7388 - Peverly Hill Rd. - Portsmouth\47388-11 Green and Co - 83 Peverly Rd. Condo Project\Design\Production Drawings\47388-11_Landscape.dwg

Jul 21, 2021 - 4:24pm
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MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRD BK#5248 PG.#0738

MAP 242 LOT 5
 N/F
 ROMAN CATHOLIC BISHOP OF
 MANCHESTER CHURCH OF
 IMMAC CONCEPTION
 153 ASH STREET
 MANCHESTER, NH 03104

MAP 232 LOT 92
 N/F
 DYANNA L. INNES
 78 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 RCRD BK#3754 PG.#0099

MAP 232 LOT 61
 N/F
 NATHAN M. & SHEWELI J. TARLETON
 74 LEAVITT AVENUE
 PORTSMOUTH, NH 03801
 RCRD BK#6885 PG.#1411

MAP 232 LOT 93
 N/F
 KENNETH T. BLACK
 82 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 RCRD BK#6743 PG.#1042

MAP 232 LOT 87
 N/F
 SUSAN L. DIXON
 88 WILBIRD STREET
 PORTSMOUTH, NH 03801
 RCRD BK#2504 PG.#0028

MAP 242 LOT 4

MAP 242 LOT 3
 N/F
 NEW HOPE BAPTIST CHURCH
 PO BOX 1473
 PORTSMOUTH, NH 03802
 RCRD BK#2289 PG.#0663

MAP 255 LOT 8
 N/F
 MERRIMAC VALLEY HOMES,
 INC.
 1704 BRIDGE STREET, UNIT 6
 DRACUT, MA 01826
 RCRD BK#5881 PG.#0561

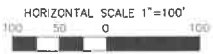
NOTES

- SEE SHEET C-63 FOR LIGHTING DETAILS.

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
OVERALL LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11"X17')
SCALE: 1"=20' (22"X34') **APRIL 19, 2021**

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3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM



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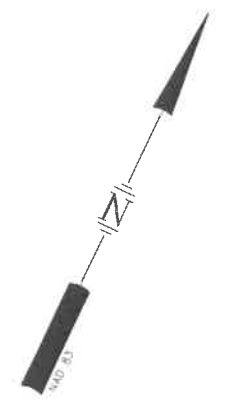
47388.11 DR JSM FB
 CK JJM CADFILE 47388-11_LIGHTING C-55

MAP 242 LOT 5
N/P
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104

MAP 232 LOT 92
N/P
DYANNA L. INNES
78 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
RCRD BK#3754 PG.#0099

MAP 232 LOT 82
N/P
WALTER W. & SUSAN M. TAR
74 LEWIS AVENUE
PORTSMOUTH, NH 03801
RCRD BK#3754 PG.#14

MATCHLINE SEE SHEET - C-57



PEVERLY HILL ROAD
(Public Right of Way)

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

LIGHTING PLAN

PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY

STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR

GREEN & COMPANY REAL ESTATE

1"=40' (11"X17")

SCALE: 1"=20' (22"X34")

APRIL 19, 2021

Seacoast Division



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Structural Engineers
Traffic Engineers
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Landscape Architects
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HORIZONTAL SCALE 1"=20'



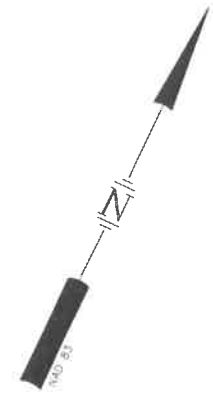
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3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

47388.11 DR JSM FB
CK JJM CADFILE 47388-11_LIGHTING

C-56

JUL 21, 2021 - 4:24pm F:\MISC Projects\47388 - Peverly Hill Rd. - Portsmouth\47388-11 Green and Co. - 83 Peverly Hill Rd. - Comb. Project\Design\Production Drawings\47388-11_Lighting.dwg

MAP 242 LOT 5
N/P
ROMAN CATHOLIC BISHOP OF
MANCHESTER CHURCH OF
IMMAC CONCEPTION
153 ASH STREET
MANCHESTER, NH 03104



MATCHLINE SEE SHEET - C-58

MATCHLINE SEE SHEET - C-56



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HORIZONTAL SCALE 1"=20'
20 10 0 20

MATCHLINE SEE SHEET - C-60

REV	DATE	DESCRIPTION	DR	CHK
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1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

SITE DEVELOPMENT PLANS

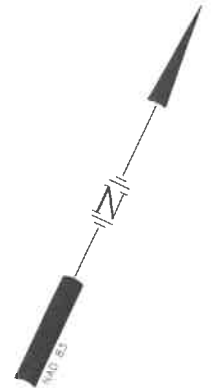
TAX MAP 242 LOT 4
LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11"X17")
SCALE: 1"=20' (22"X34") **APRIL 19, 2021**



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Civil Engineers
Structural Engineers
Traffic Engineers
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Landscape Architects
Scientists
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Portsmouth, NH 03801
Phone (603) 431-2222
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47388.11	DR JSM	FB	-	C-57
	CK JJM	CADFILE	47388-11_LIGHTING	

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MATCHLINE SEE SHEET - C-59

MATCHLINE SEE SHEET - C-57

MATCHLINE SEE SHEET - C-61

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=40' (11'X17")
 SCALE: 1"=20' (22'X34") APRIL 19, 2021



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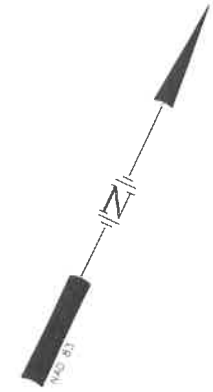


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2	6/23/2021	REWSE FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REWSE PER TAC COMMENTS.	JSM	JJM

47388.11	DR	JSM	FB	-		
	CK	JM	CADFILE	47388-11_LIGHTING		C-58

July 21, 2021 4:24pm
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MAP 242 LOT 1
 N/F
 STATE OF NEW HAMPSHIRE FISH &
 GAME DEPT
 11 HAZEN DRIVE
 CONCORD, NH 03301
 RCRD BK#5248 PG.#0739



MATCHLINE SEE SHEET - C-58

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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STOKEL SB & NA TRUST, PHILIP J 25% INT
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47388.11 DR JSM FB - C-59
 CK JIM CADFILE 47388-11_LIGHTING

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HORIZONTAL SCALE 1"=20'
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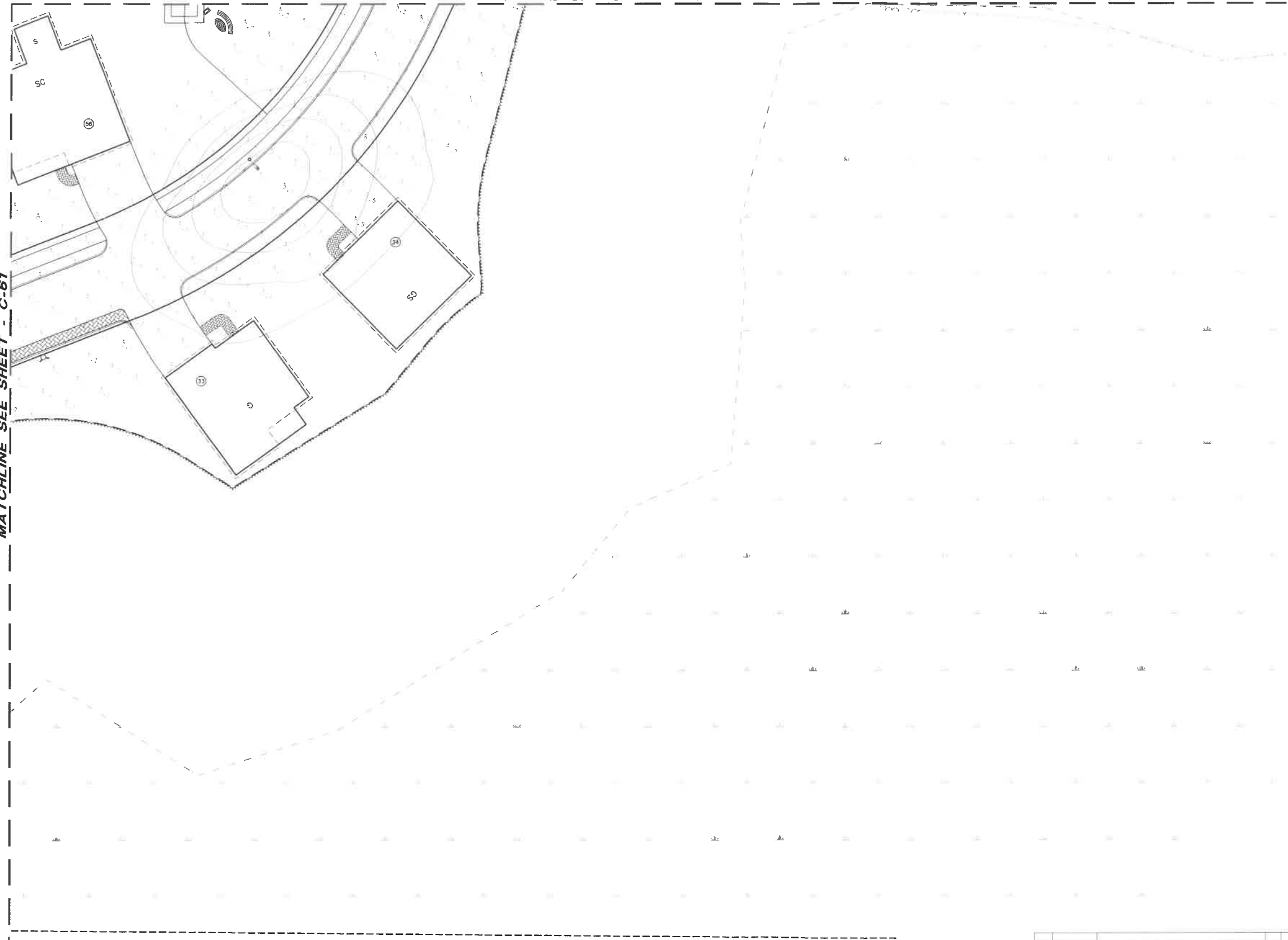
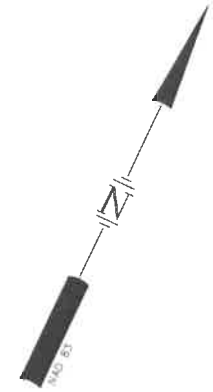
REV	DATE	DESCRIPTION	DR	CK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
3	7/2/2021	REVISED SEWER LOCATION.	JSM	JCC
2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
1	6/21/2021	REVISED PER TAC COMMENTS.	JSM	JJM

MATCHLINE SEE SHEET - C-62

Jul 21, 2021 - 4:24pm F:\MSC Projects\7388 - Peverly Hill Rd - Portsmouth\7388-11 Green and Co - 83 Peverly Hill Rd - Portsmouth\7388-11 Production Drawings\7388-11 Lighting.dwg

MATCHLINE SEE SHEET - C-57

MATCHLINE SEE SHEET - C-61



Jul 21, 2021 - 4:24pm F:\MSC Projects\47388 - Peaverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peaverly Hill Rd_Cadda Project\Design\Production Drawings\47388-11_Lighting.dwg

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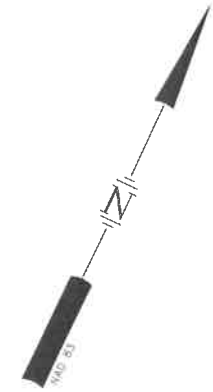
SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1\"/>

	Seacoast Division Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com
	47388.11	DR JSM FB CK JSM CADFILE

MATCHLINE SEE SHEET - C-58

MATCHLINE SEE SHEET - C-62

MATCHLINE SEE SHEET - C-60



Jul 21, 2021 - 4:24pm
F:\WISC Projects\47388 - Peaverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peaverly Rd_Condo Project\Design\Production Drawings\47388-11 Lighting.dwg

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HORIZONTAL SCALE 1"=20'
20 10 0 20

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SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
LIGHTING PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11"X17")
SCALE: 1"=20' (22"X34")

APRIL 19, 2021



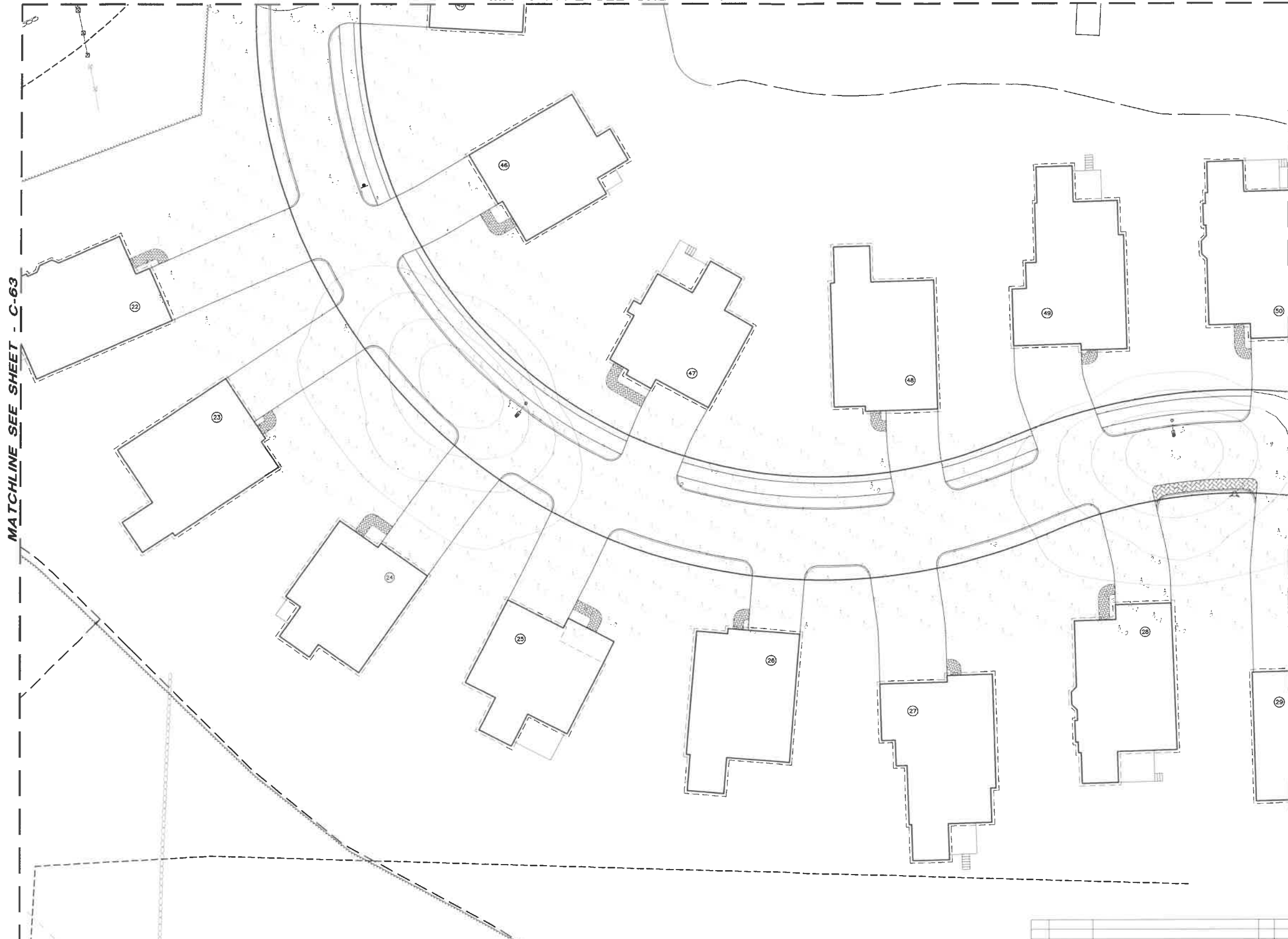
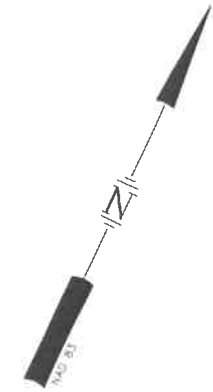
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.tfmoran.com

47388.11 DR JSM FB
CK JJM CADFILE 47388-11_LIGHTING C-61

MATCHLINE SEE SHEET - C-59

MATCHLINE SEE SHEET - C-63

MATCHLINE SEE SHEET - C-61



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

LIGHTING PLAN

**PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH**

OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT

PREPARED FOR
GREEN & COMPANY REAL ESTATE

**1"=40' (11'X17')
SCALE: 1"=20' (22'X34')**

APRIL 19, 2021

Seacoast Division



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

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MAP 242 LOT 3
N/F
NEW HOPE BAPTIST CHURCH
201 BOX 187
PORTSMOUTH, NH 03802
PHONE (603) 431-2222



REV.	DATE	DESCRIPTION	DR	CK
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47388.11 DR JSM FB
CK JJM CADFILE 47388-11_LIGHTING

C-62

Jul 21, 2021 - 4:24pm
F:\MISC Projects\47388 - Peverly Hill Rd - Portsmouth\47388-11 Green and Co - 83 Peverly Rd. Condo Project\Design\Production Drawings\47388-11_Lighting.dwg



FIRE TUCK TURNING FROM ROAD-A SOUTHEAST ONTO PEVERLY HILL ROAD



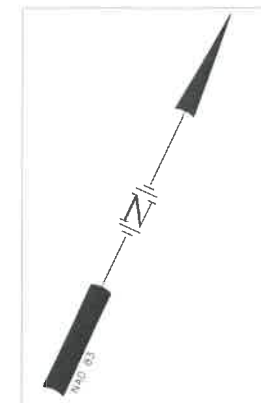
FIRE TUCK TURNING FROM PEVERLY HILL ROAD NORTHWEST ONTO ROAD-A



FIRE TUCK TURNING FROM ROAD-A NORTHEAST ONTO PEVERLY HILL ROAD



FIRE TUCK TURNING FROM ROAD-A SOUTHWEST ONTO PEVERLY HILL ROAD



PORTSMOUTH FIRE TRUCK
NTS



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
FIRE TRUCK MOVEMENT PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=80' (11"X17")
 SCALE: 1"=40' (22"X34") APRIL 19, 2021

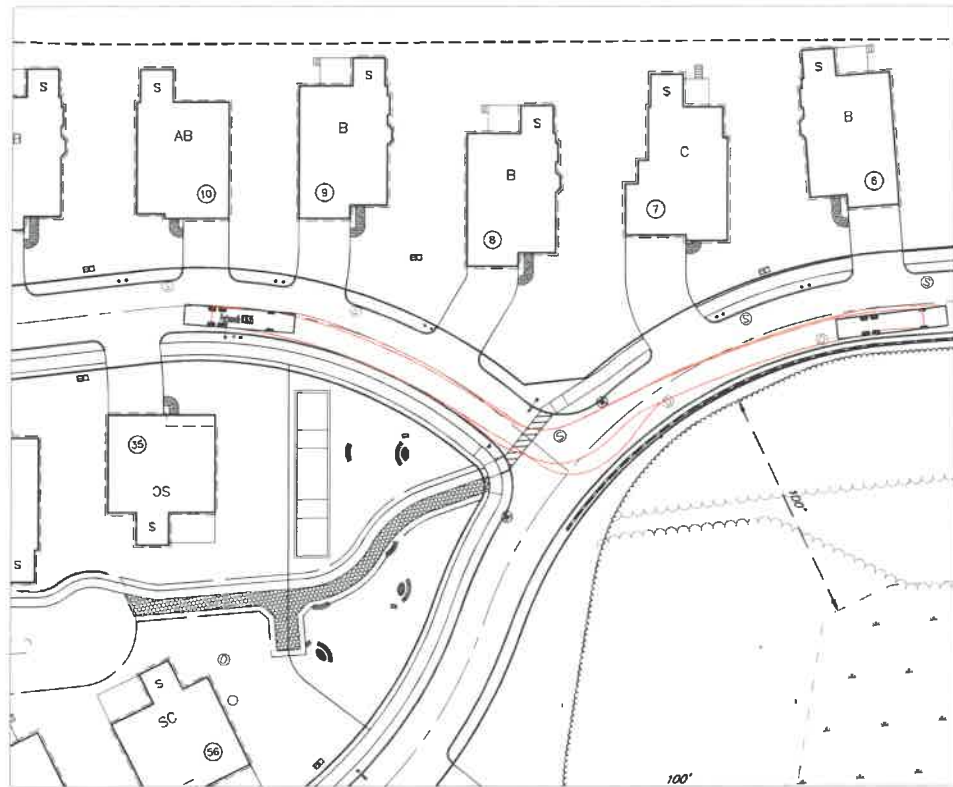
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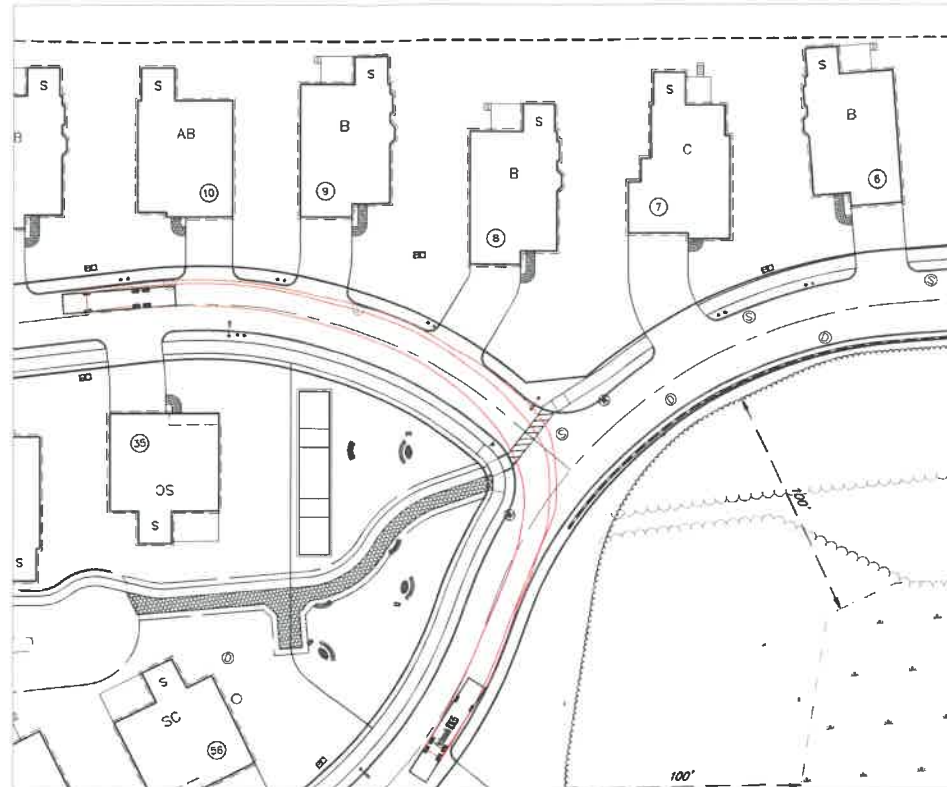
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 170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com
 47388.11 DR JSM FB - C-64
 CK JJM CADFILE 47388-11_TRUCKMOVEMENT

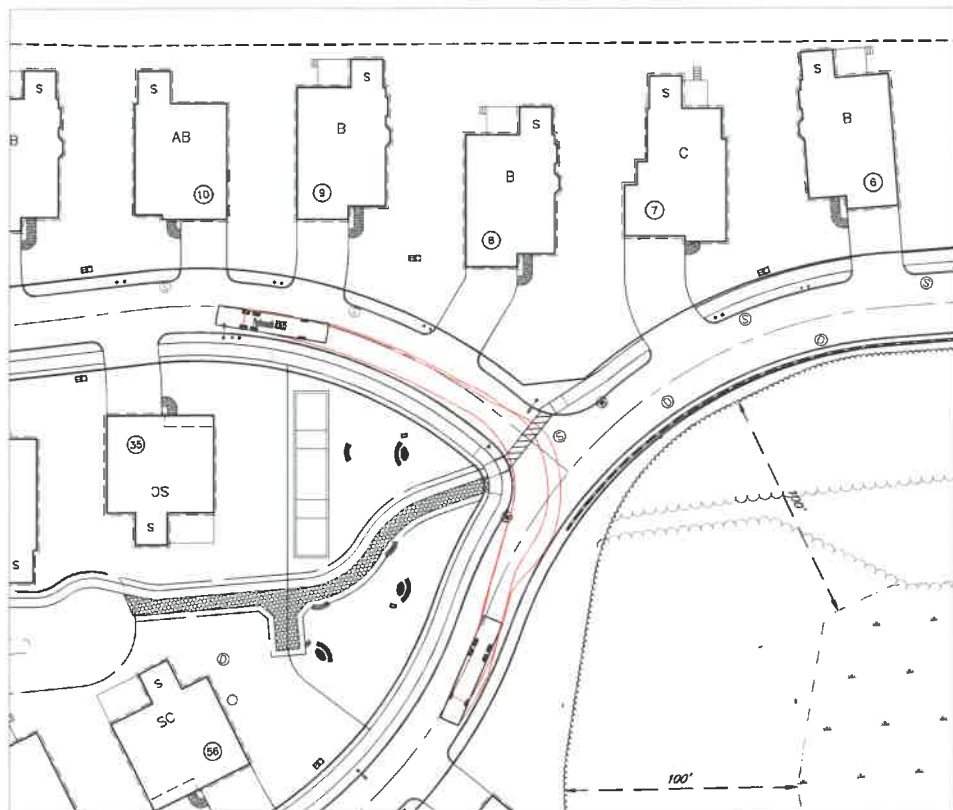
Jul 21, 2021 - 4:26pm
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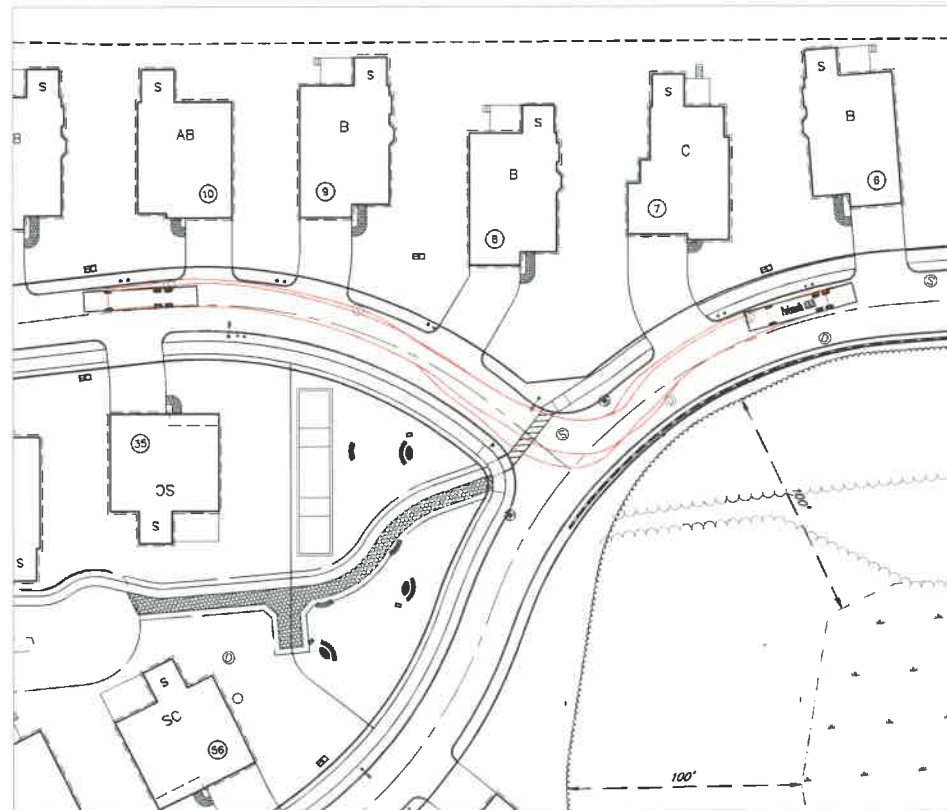
FIRE TUCK TURNING FROM ROAD-A SOUTHEAST ONTO ROAD-A



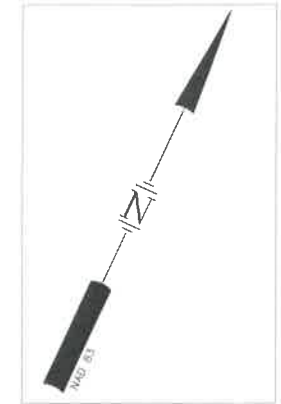
FIRE TUCK TURNING FROM ROAD-A NORTHWEST ONTO ROAD-A



FIRE TUCK TURNING FROM ROAD-A SOUTHWEST ONTO ROAD-A



FIRE TUCK TURNING FROM ROAD-A NORTHEAST ONTO ROAD-A



PORTSMOUTH FIRE TRUCK
NTS

SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
FIRE TRUCK MOVEMENT PLAN
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 1"=80' (11"X17")
 SCALE: 1"=40' (22"X34") APRIL 19, 2021

Seacoast Division



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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 Portsmouth, NH 03801
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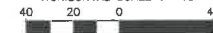
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HORIZONTAL SCALE 1"=40'



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FILE 47388.11

DR JSM FB
 CK JJM CADFILE

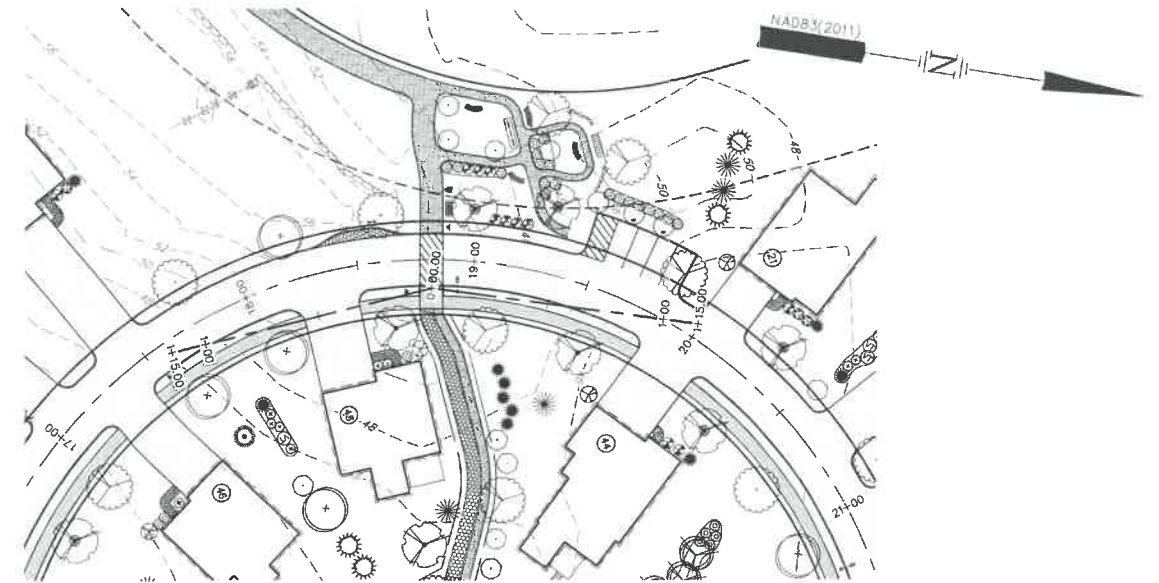
47388-11_TRUCKMOVEMENT

C-65

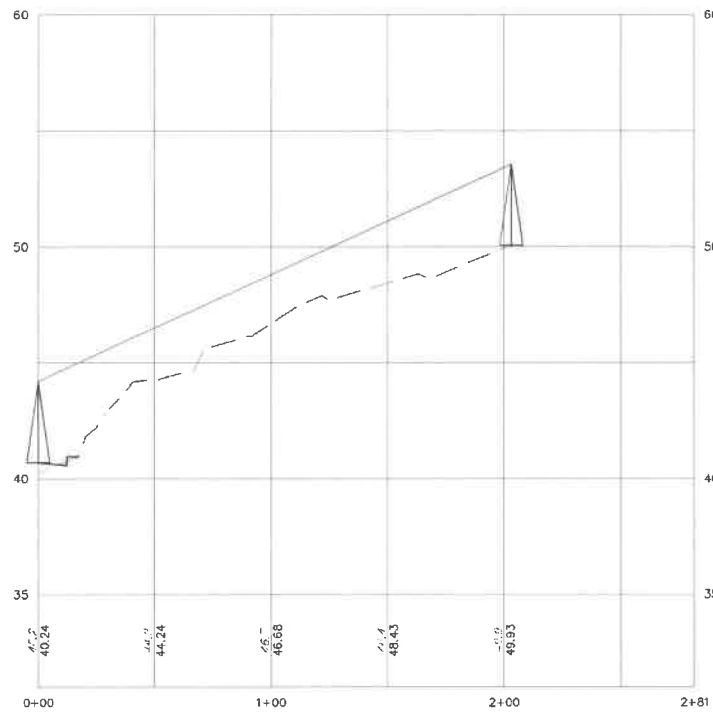
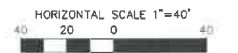
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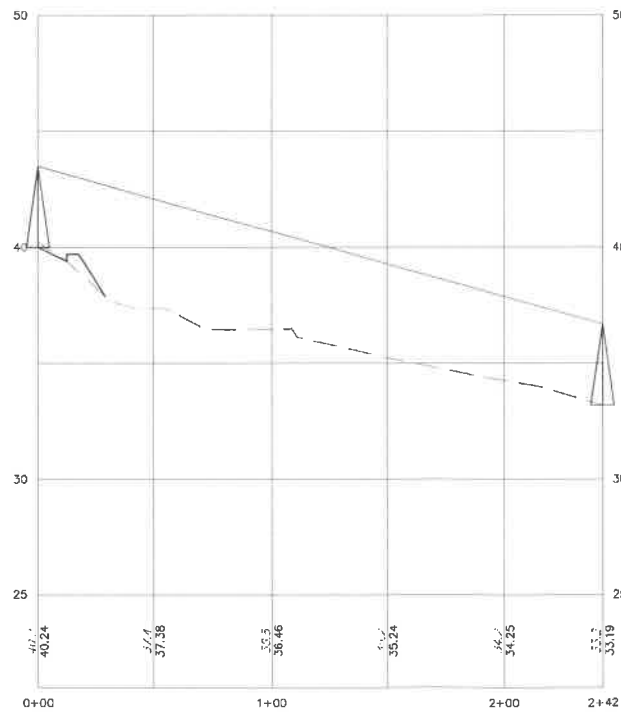
**PEVERLY HILL ROAD INTERSECTION
SITE DISTANCE**



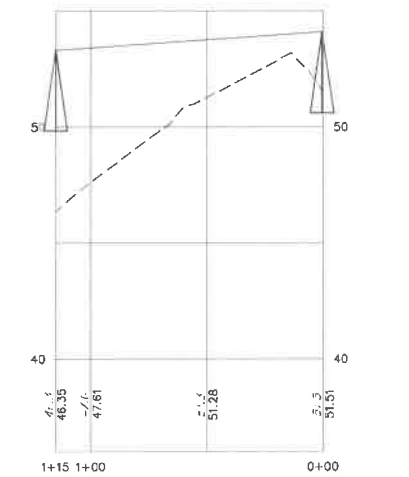
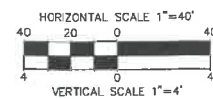
**PEVERLY HILL ROAD INTERSECTION
SITE DISTANCE**



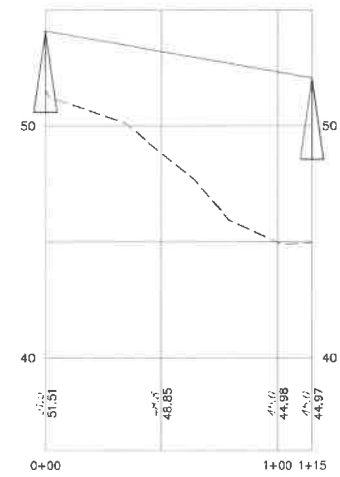
**LOOKING LEFT (NORTH)
ONTO PEVERLY HILL ROAD**



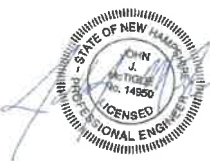
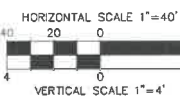
**LOOKING RIGHT (SOUTH)
ONTO PEVERLY HILL ROAD**



**FROM CROSSWALK,
LOOKING LEFT**



**FROM CROSSWALK,
LOOKING RIGHT**



SITE DEVELOPMENT PLANS
 TAX MAP 242 LOT 4
SITE DISTANCE PLAN & PROFILE
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 (11"x17")
SCALE, AS SHOWN (3/4") **APRIL 19, 2021**

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47388.11
 DR: JSM, FB
 CK: JSM, CADFILE
 47388-11_SITEDISTANCE
 C-66

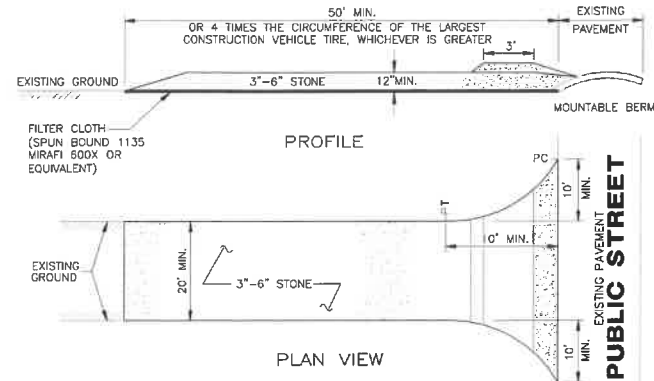
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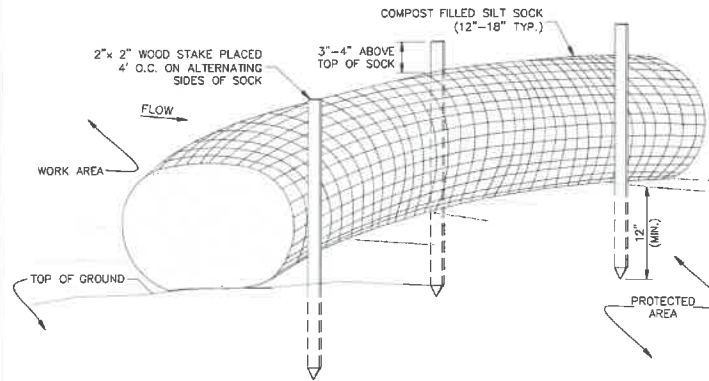
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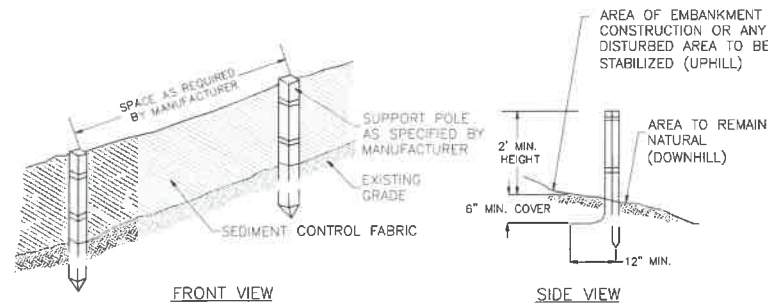
- NOTES**
1. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
 2. WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 4. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE



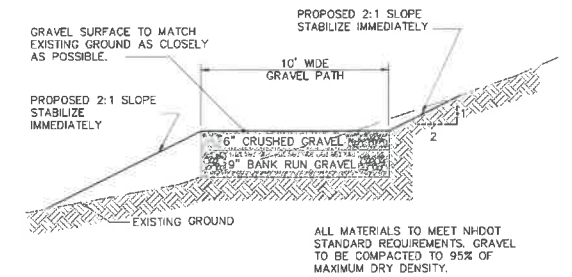
- NOTES**
1. SILT SOCK SHALL BE FILTREXX™ SILT SOCK™ OR APPROVED EQUIVALENT.
 2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
 3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
 4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

SILT FENCE
NOT TO SCALE



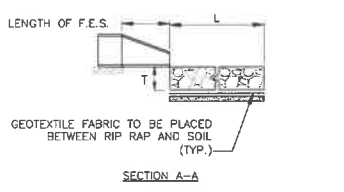
- NOTES**
1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR BEST MANAGEMENT PRACTICE FOR SILT FENCES, OF THE NEW HAMPSHIRE STORMWATER MANUAL, DECEMBER 2008.
 2. THE HEIGHT OF THE BARRIER SHALL NOT EXCEED 36 INCHES.
 3. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED. SEE MANUFACTURER'S RECOMMENDATIONS.
 4. POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 16 INCHES), WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL BE AS MANUFACTURER RECOMMENDS.
 5. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER IN ACCORDANCE WITH RECOMMENDATIONS.
 6. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE, AND WILL EXTEND TO A MINIMUM OF 8 INCHES INTO THE TRENCH. FILTER FABRIC SHALL NOT BE STAPLED INTO EXISTING TREES.
 7. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
 8. FILTER BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
 9. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL, ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
 10. SHOULD THE FABRIC DECOMPOSE, OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
 11. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
 12. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED, SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

SILT FENCE
NOT TO SCALE



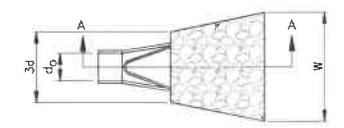
GRAVEL PATH CROSS-SECTION (FOR DRAINAGE MAINTENANCE ACCESS)
NOT TO SCALE

MAINTENANCE:
THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.



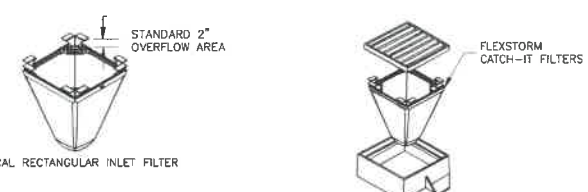
- CONSTRUCTION SPECIFICATIONS:**
1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 2. THE ROCK OR GRAVEL USED FOR FILTER OR RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12\".
 4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 5. ADD ANIMAL SCREEN TO FLARED END SECTION OUTLET.

% OF WEIGHT SMALLER THAN THE GIVEN SIZE (INCHES)	SIZE OF STONE (INCHES)	4.50 TO 6.00
100	4.50 TO 6.00	
85	3.90 TO 5.40	
50	3.00 TO 4.50	
15	0.90 TO 1.50	



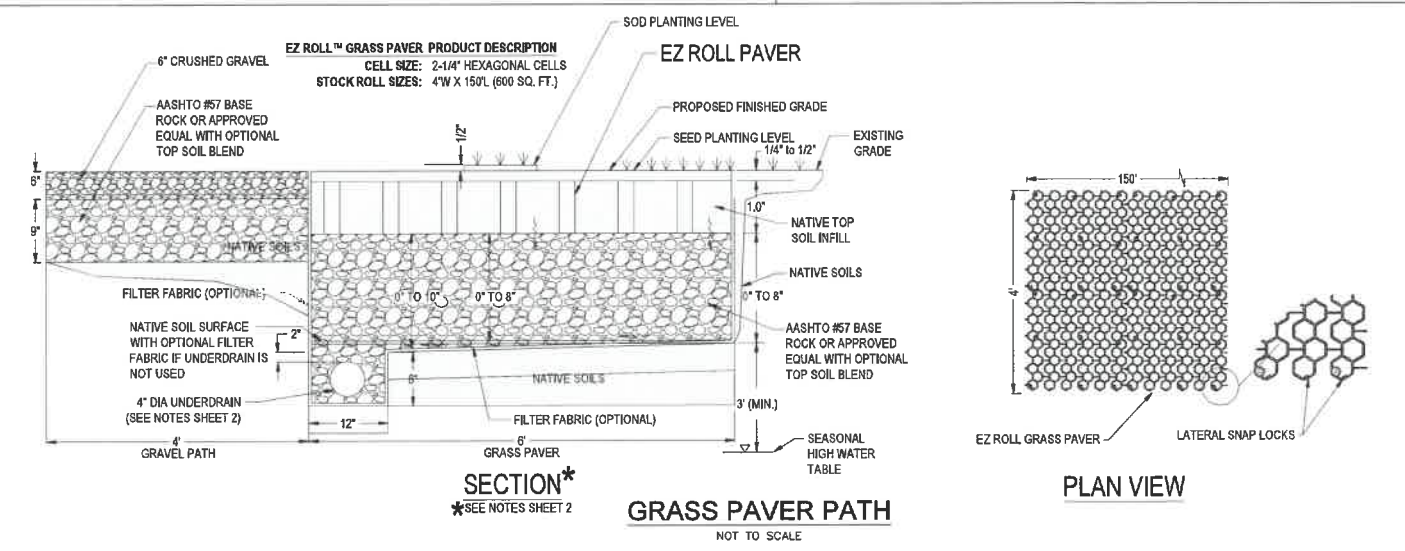
RIP RAP AND FLARED END SECTION WITH OUTLET PROTECTION
NOT TO SCALE

LOCATION	FES01	FES02	FES03	FES04	FES05	FES06	FES07	FES08
Q50 STONE SIZE (IN)								
L - LENGTH OF APRON (FT)								
W - WIDTH OF APRON (FT)								
T - DEPTH OF APRON (IN)								

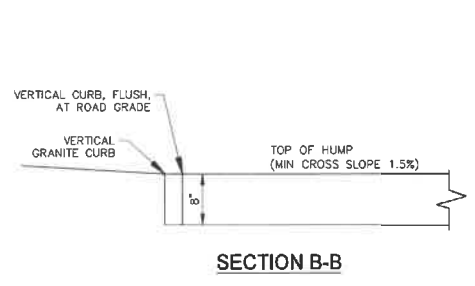


- NOTES:**
1. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 2. INSPECTION SHOULD OCCUR FOLLOWING ANY RAIN EVENT > 1/2\".
 3. EMPTY THE SEDIMENT BAG PER MANUFACTURER'S SPECIFICATIONS.
 4. REMOVED CAKED ON SILT FROM SEDIMENT BAG AND FLUSH WITH MEDIUM SPRAY WITH OPTIMAL FILTRATION.
 5. REPLACE BAG IF TORN OR PUNCTURED TO > 1/2\" diameter on lower half of bag.
- ALL PRODUCTS MANUFACTURED BY INLET & PIPE PROTECTION, INC. A DIVISION OF ADS, INC. WWW.INLETFILTERS.COM (866) 287-8655 INFO@INLETFILTERS.COM

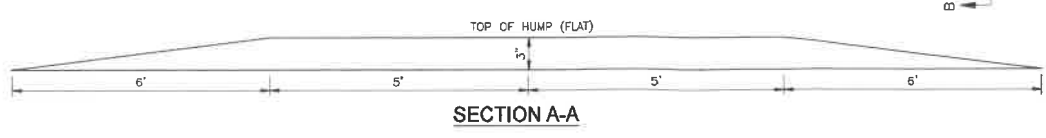
INLET PROTECTION
NOT TO SCALE



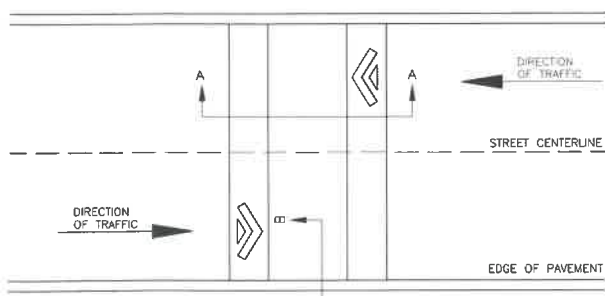
GRASS PAVER PATH
NOT TO SCALE



SECTION B-B



SECTION A-A



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2	6/23/2021	REVISED FOR PLANNING BOARD SUBMITTAL.	JSM	JJM
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SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4
DETAILS
PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE

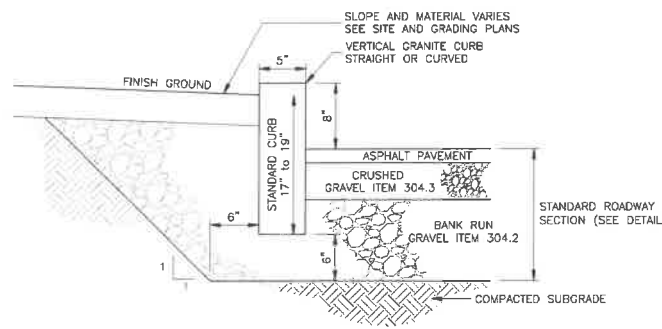
SCALE: AS SHOWN APRIL 19, 2021



Seacoast Division
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
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Portsmouth, NH 03801
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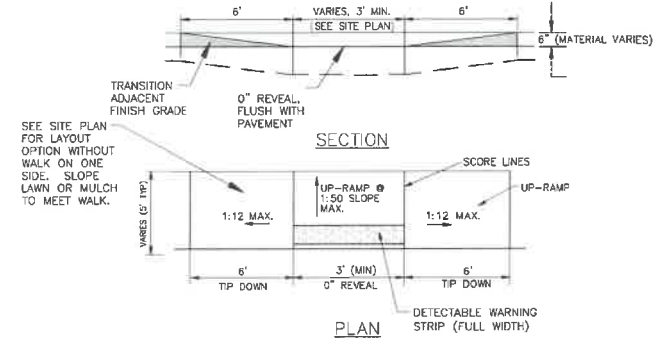
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	CK JSM CADFILE	47388-11_DETAILS		C-68

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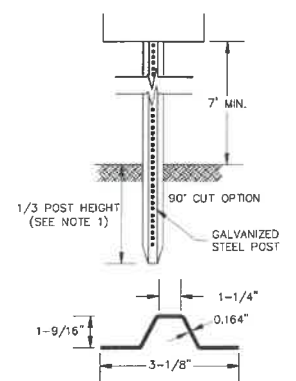
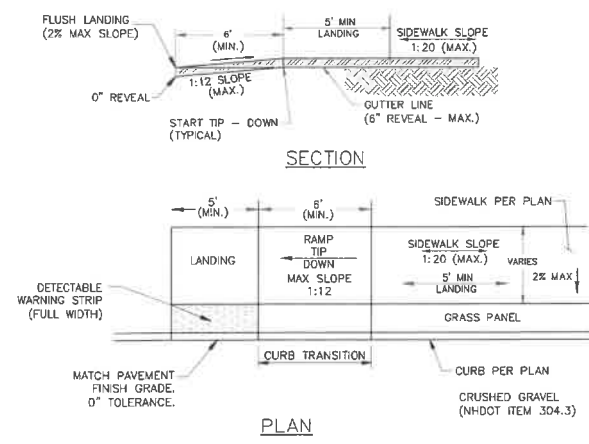
- NOTES
1. MORTAR JOINTS AND OTHER INSTALLATION TO BE AS SPECIFIED IN NHDOT SECTION 609.
 2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 3. PROVIDE TRANSITIONS & RAMPS PER A.D.A.

VERTICAL GRANITE CURB
NOT TO SCALE



- NOTE
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION.

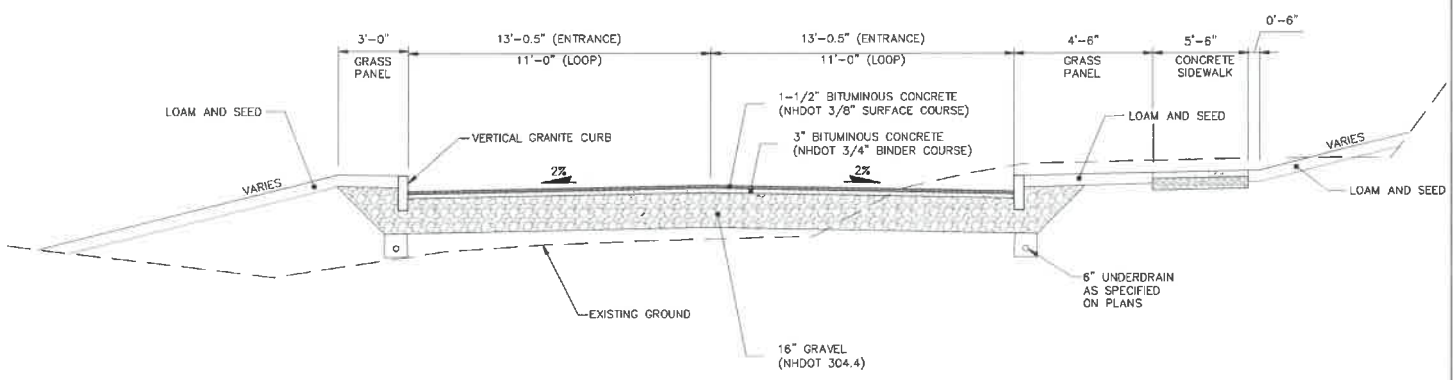
SIDEWALK TIP DOWN RAMP (TYPE D)
NOT TO SCALE



- LENGTH: AS REQUIRED
WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN)
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)
FINISH: SHALL BE PAINTED WITH 2 COATS OF AN APPROVED MEDIUM GREEN BAKED-ON OR AIR-DRIED PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

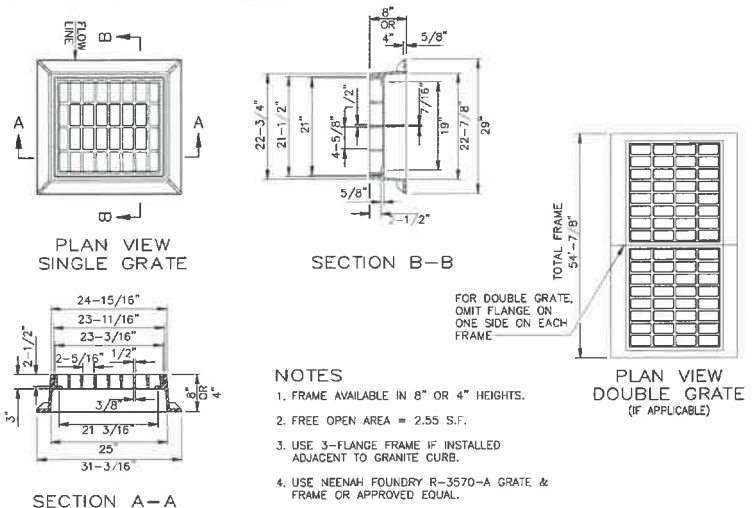
- NOTES
1. WHERE LEDGE APPLICATION EXISTS, DRILL & CROUT TO A MINIMUM OF 2".
 2. ALL SIGNAGE SHALL FOLLOW THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS AND NHDOT STANDARDS.
 3. SIGN, HARDWARE, AND INSTALLATION SHALL CONFORM TO THE LATEST NHDOT STANDARD SPECIFICATIONS.

SIGN POST
NOT TO SCALE



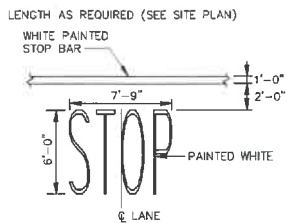
- NOTES:
1. SEE GRADING & DRAINAGE PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 2. PROVIDE CLEAN BUTT TO EXISTING PAVEMENT- USE TACK COAT. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
 3. REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
 4. ALL ROADWAY TO CONFORM TO THE STREET DESIGN AND CONSTRUCTION REQUIREMENTS IN THE TOWN OF PORTSMOUTH, NH SUBDIVISION REGULATIONS.
 5. BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92.5% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041 OR AASHTO T209. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
 6. PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.4 AND COMPACTED TO A MINIMUM OF 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY.
 7. PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% MODIFIED PROCTOR MAXIMUM DRY DENSITY.
 8. THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.

ROADWAY TYPICAL SECTION
NOT TO SCALE



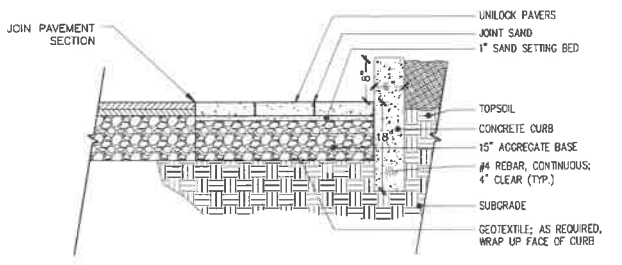
- NOTES
1. FRAME AVAILABLE IN 8" OR 4" HEIGHTS.
 2. FREE OPEN AREA = 2.55 S.F.
 3. USE 3-FLANGE FRAME IF INSTALLED ADJACENT TO GRANITE CURB.
 4. USE NEEENAH FOUNDRY R-3570-A GRATE & FRAME OR APPROVED EQUAL.

FRAME & GRATE (TYPE B)
NOT TO SCALE



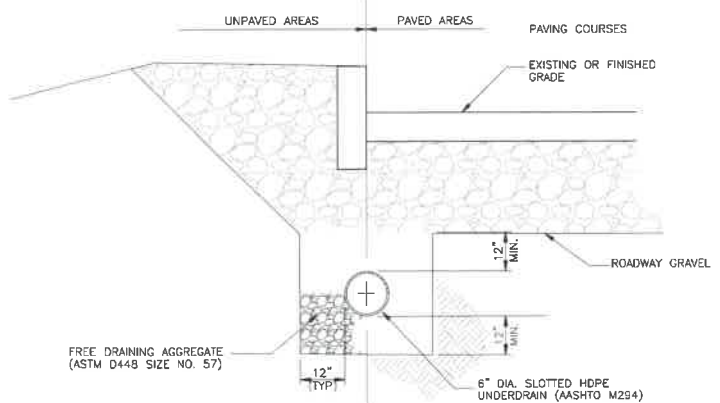
- NOTES
1. TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
 2. SYMBOLS AND PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

STOP BAR & LEGEND
NOT TO SCALE



- NOTES:
1. PAVER TO BE UNILOCK COMMERCIAL APPLICATION DESIGN OR APPROVED EQUAL

ROADWAY PAVER DETAIL
NOT TO SCALE



UNDERDRAIN TRENCH DETAIL
NOT TO SCALE



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SITE DEVELOPMENT PLANS

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83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

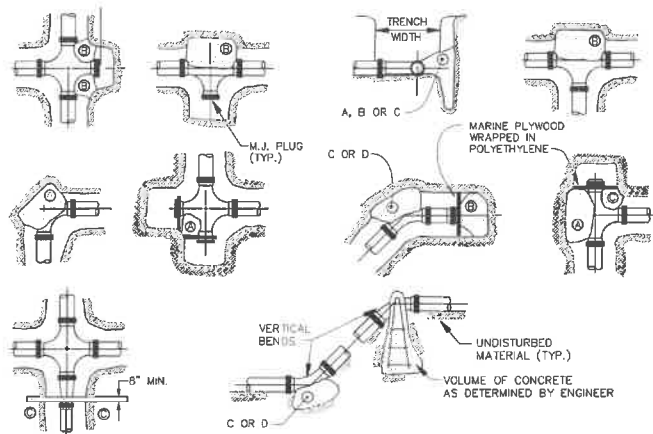
170 Commerce Way, Suite 102
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 CK JJM CADFILE 47388-11-DETAILS C-69

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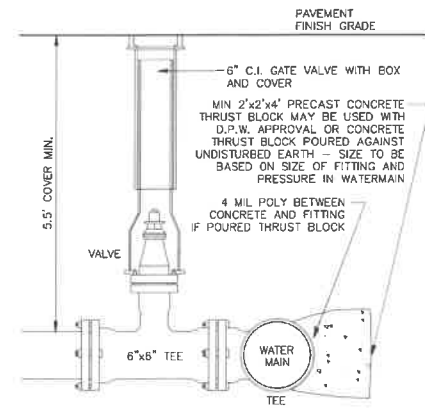




- NOTES**
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL WHERE TRENCH WALL HAS BEEN DISTURBED. EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO PIPE JOINTS SHALL BE COVERED WITH CONCRETE.
 - ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
 - PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
 - WHERE MECHANICAL JOINT PIPE IS USED, MECHANICAL JOINT PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
 - INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE CITY/TOWN ESTABLISHED RULES AND PROCEDURES.

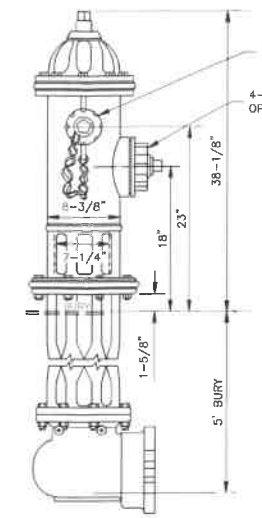
TEST PRESSURE	REACTION TYPE	PIPE SIZE				
		4"	6"	8"	10"	12"
A	90°	0.89	2.19	3.82	11.14	17.24
B	180°	0.65	1.55	2.78	8.38	12.00
C	45°	0.48	1.19	2.12	6.02	9.32
D	22-1/2°	0.25	0.60	1.06	3.08	4.74
E	11-1/4°	0.13	0.30	0.54	1.54	2.38

THRUST BLOCKS
NOT TO SCALE



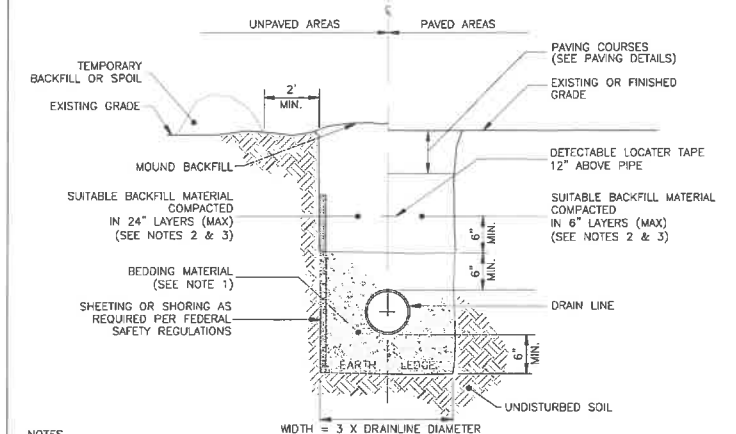
- NOTES:**
- VALVE TO OPEN RIGHT.

BURIED GATE VALVE
NOT TO SCALE



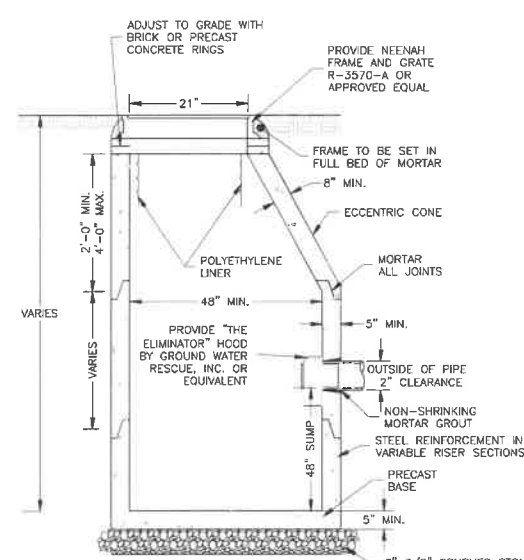
- SPECIFICATIONS**
- 150 PSI WORKING PRESSURE
 - 300 PSI TEST PRESSURE
 - HYDRANT DRAIN SHALL BE PLUGGED
 - DRY TOP DESIGN VALVE SHALL OPEN WHEN OPERATING NUT IS TURNED CLOCKWISE AND BE SO INDICATED ON HYDRANT
 - OPERATING NUT SHALL BE STANDARD AWWA PENTAGON OPERATING NUT WITH 1 1/2" POINT TO FLAT DIMENSION
 - THREADS SHALL BE NATIONAL STANDARD HOSE THREAD NOZZLES
 - HYDRANT TO OPEN RIGHT.

PORTSMOUTH FIRE HYDRANT
NOT TO SCALE



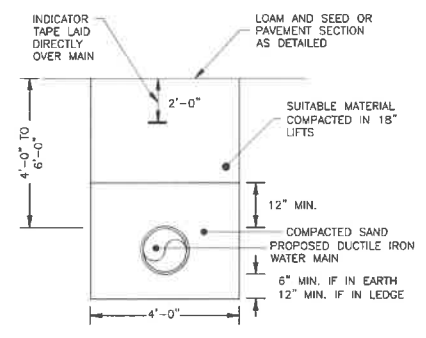
- NOTES**
- BEDDING - BEDDING FOR PIPES SHALL CONSIST OF PREPARING THE BOTTOM OF THE TRENCH TO SUPPORT THE ENTIRE LENGTH OF THE PIPE AT A UNIFORM SLOPE AND ALIGNMENT. CRUSHED STONE SHALL BE USED TO BED THE PIPE TO THE ELEVATION SHOWN ON THE DRAWINGS. NORMAL PIPE BEDDING IS CRUSHED STONE TO THE HAUNCH OF THE PIPE AND SAND BEDDING 6" ABOVE THE CROWN. IF THE TOP OF THE PIPE IS LESS THAN 30" FROM FINISH GRADE, BED PIPE COMPLETELY IN STONE UP TO 6" ABOVE PIPE CROWN. UNDERDRAIN TO HAVE 4" MINIMUM OF STONE OVER PIPE OR AS NECESSARY TO BE IN CONTACT WITH GRAVEL LAYER OF SELECTS ABOVE.
 - COMPACTION - ALL BACKFILL SHALL BE COMPACTED AT OR NEAR OPTIMUM MOISTURE CONTENT BY PNEUMATIC TAMPERS, VIBRATORY COMPACTORS OR OTHER APPROVED MEANS. BACKFILL BENEATH PAVED SURFACES SHALL BE COMPACTED TO NOT LESS THAN 95% OF AASHTO 199, METHOD C.
 - SUITABLE MATERIAL - IN ROADS, ROAD SHOULDERS, WALKWAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS; PIECES OF PAVEMENT; ORGANIC MATTER; TOP SOIL; ALL WET OR SOFT MUCK; PEAT, OR CLAY; ALL EXCAVATED LEDGE MATERIAL; ROCKS OVER 6" IN LARGEST DIMENSION; FROZEN EARTH AND ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION.
 - BASE COURSE AND PAVEMENT - SHALL MEET THE REQUIREMENT OF THE NHDOT LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES DIVISION 300 AND 400 RESPECTIVELY.

TRENCH FOR DRAIN LINE
NOT TO SCALE

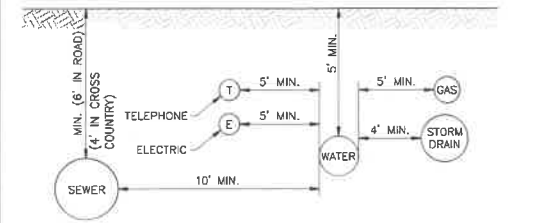


- NOTES**
- ALL SECTIONS SHALL BE PRECAST CONCRETE NHDOT CLASS AA, 4,000 PSI.
 - ALL COMPONENTS OF CATCH BASINS SHALL MEET NHDOT SPECIFICATIONS.
 - ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 - LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.
 - ALL CASTINGS SHALL BE MADE IN THE USA.
 - POLYETHYLENE LINER SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
 - TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).

ECCENTRIC CATCH BASIN WITH HOODED OUTLET
NOT TO SCALE

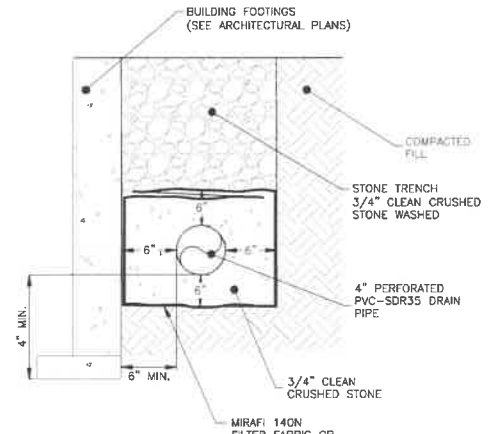


WATER MAIN TRENCH
NOT TO SCALE



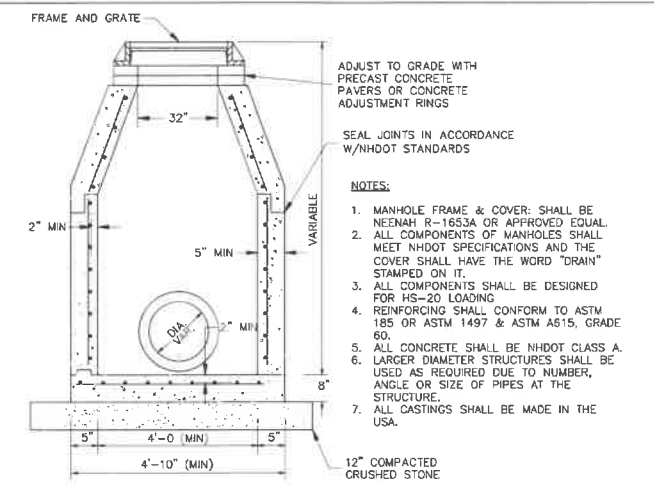
- NOTES:**
- ALL MATERIALS AND INSTALLATION PROCEDURES WILL CONFORM TO EXETER DPW TECHNICAL SPECIFICATIONS.
 - ALL WATER MAIN SHOULD HAVE A MINIMUM DEPTH OF 5' FROM TOP OF PIPE TO FINISH GRADE.
 - GAS MAIN SHALL HAVE A TYPICAL DEPTH OF 3' FROM THE TOP OF PIPE TO FINISH GRADE.
 - DETAIL REPRESENTS LATERAL SEPARATION ONLY UNLESS OTHERWISE NOTED. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANY FOR DEPTHS FOR GAS, TELEPHONE, AND ELECTRIC.

TYPICAL UTILITY LATERAL SEPARATION
NOT TO SCALE



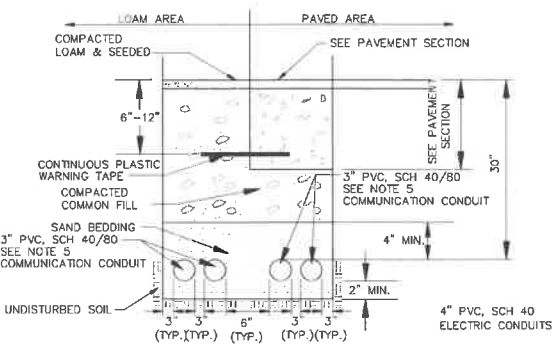
- NOTES:**
- FOR MINIMUM DIMENSIONAL REQUIREMENT REFER TO THE GEOTECHNICAL REPORT PREPARED BY JOHN TURNER CONSULTING, INC. ON JULY 3, 2013.

FOUNDATION DRAIN LINES
NOT TO SCALE



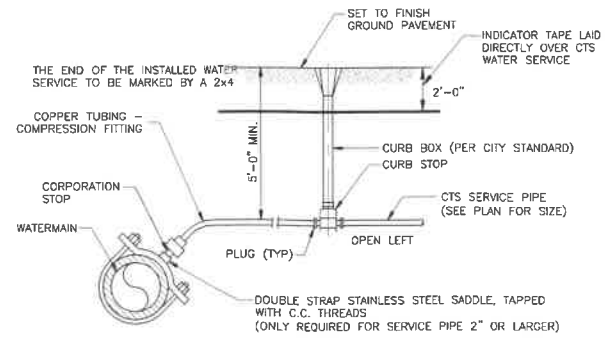
- NOTES:**
- MANHOLE FRAME & COVER: SHALL BE NEENAH R-1653A OR APPROVED EQUAL.
 - ALL COMPONENTS OF MANHOLES SHALL MEET NHDOT SPECIFICATIONS AND THE COVER SHALL HAVE THE WORD "DRAIN" STAMPED ON IT.
 - ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 - REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
 - ALL CONCRETE SHALL BE NHDOT CLASS A. LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.
 - ALL CASTINGS SHALL BE MADE IN THE USA.

DRAIN MANHOLE
NOT TO SCALE



- NOTES**
- ELECTRIC SERVICE INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES.
 - COMMUNICATION SERVICE INSTALLATION SHALL MEET ALL CONSTRUCTION REQUIREMENTS.
 - ACTUAL NUMBER OF CONDUITS TO BE DETERMINED BY RESPECTIVE COMPANIES.
 - VERIFY INSTALLATION REQUIREMENTS WITH RESPECTIVE COMPANIES.
 - SCHEDULE 80 CONDUIT TO BE USED UNDER TRAFFIC SITUATIONS (PRIMARY AND SECONDARY LINES).
 - ALL 90 DEGREE SWEEPS MUST BE STEEL AND THE FIRST 10' STICK OUT OF THE 90 MUST BE STEEL ON ALL PRIMARY CONDUIT RUNS

ELECTRIC/COMMUNICATIONS CONDUIT
NOT TO SCALE



- NOTES:**
- CURB STOPS TO OPEN TO THE RIGHT.

WATER SERVICE CONNECTION
NOT TO SCALE

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83 PEVERLY HILL ROAD, PORTSMOUTH, NH
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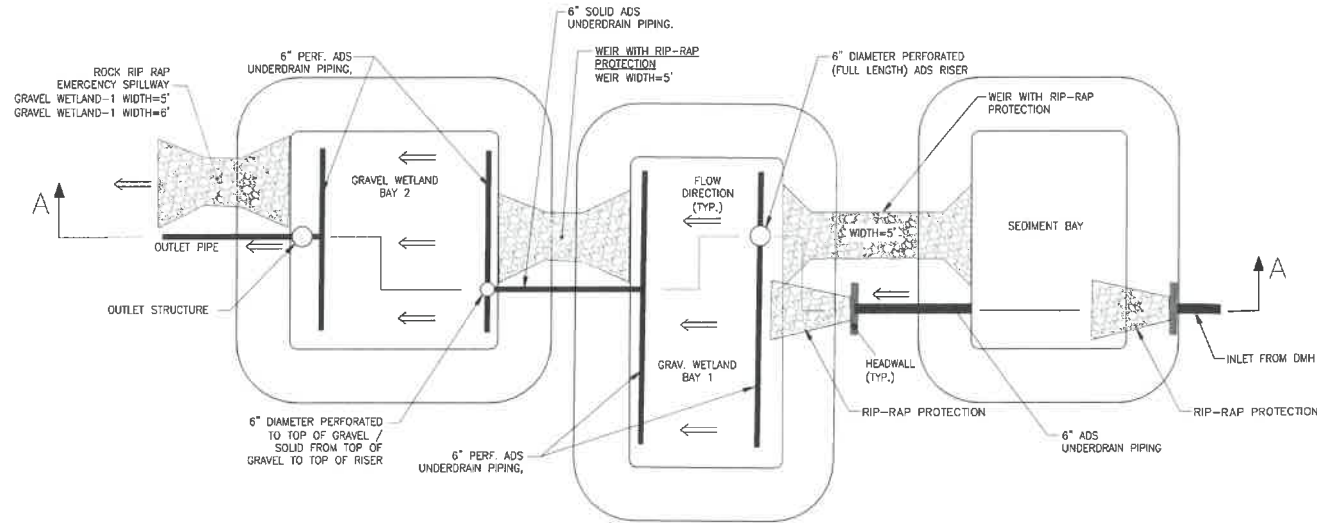
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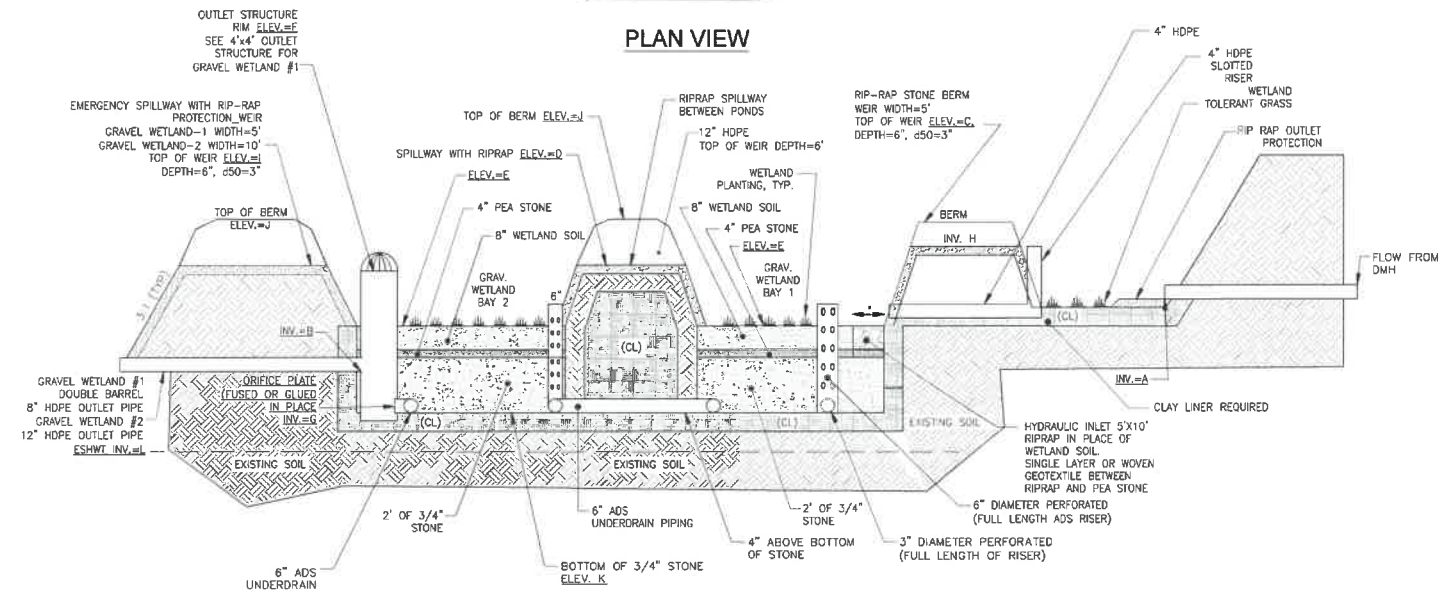
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47388.11 DR JSM FB
CK JJM CADFILE 47388-11-DETAILS C-70

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PLAN VIEW



SECTION A-A

INV. ID	GRAVEL WETLAND 1
A	37.85
B	34.41
C	38.25
D	37.75
E	35.00
F	37.00
G	UNDERDRAIN INV.=32.33 (1.75' ORIFICE INV.=32.53)
I	37.75
J	38.25
K	32.00
L	33.00

NOTE:

- GRAVEL WETLAND TO BE SEEDED WITH NEW ENGLAND WETMIX APPLICATION RATE: 18 LBS PER ACRE OR 1 LB PER 2,500 S.F.

INSPECTION AND MAINTENANCE.

FOREBAYS: INSPECT FOREBAYS FOR SEDIMENT ACCUMULATION TWICE PER YEAR MINIMUM AND REMOVE WHEN LEVEL REACHES 4 INCHES OR MORE. INSPECT FOR AND REMOVE ACCUMULATED DEBRIS TWICE PER YEAR MINIMUM. MOW FOREBAY SIDES AND BOTTOM WEEKLY TO PREVENT WOODY GROWTH AND PROMOTE GRASS GROWTH.

WETLANDS: INSPECT WETLANDS FOR AREAS OF DEAD OR STRESSED WETLAND GRASSES, REEDS, HERBACEOUS PLANTS, OR SHRUBS A MINIMUM OF TWICE PER YEAR AND REPLANT AS NECESSARY. MOW GRASSES SIDESLOPES ON A REGULAR BASIS TO KEEP HEIGHT OF VEGETATION BELOW 4 INCHES. INSPECT FOR AND REMOVE ACCUMULATED DEBRIS TWICE PER YEAR MINIMUM.

DESIGN LIFE: FOLLOWING THE MINIMAL MAINTENANCE PROCEDURES ABOVE, STUDIES CONDUCTED AT UNH INDICATE THE SYSTEM WILL CONTINUE TO DEVELOP INTO A HEALTHY DIVERSE WETLAND WITH NO QUANTIFIABLE DESIGN LIFE EXTENT.

SUBSURFACE GRAVEL WETLAND MATERIAL LAYERS

THE SURFACE INFILTRATION RATES OF THE GRAVEL WETLAND SOIL SHOULD BE SIMILAR TO A LOW HYDRAULIC CONDUCTIVITY WETLAND SOIL (0.1-0.01 FT/DAY = 3.5 X 10-5 CM/SEC TO 3.5 X 10-6 CM/SEC). THIS SOIL MAY BE MANUFACTURED USING A COMBINATION OF LOAM, SAND, AND SOME FINE SOILS BLENDED TO A HIGH PERCENT ORGANIC MATTER CONTENT SOIL (>15% ORGANIC MATTER). FINAL WETLAND SOIL MIX WITH CLAY CONTENT NOT TO EXCEED 15% THAT MAY RESULT IN DRYING AND CRACKING AND POTENTIAL MIGRATION OF FINES INTO THE SUBSURFACE GRAVEL LAYER. DO NOT USE GEOTEXTILES BETWEEN THE HORIZONTAL LAYERS OF THIS SYSTEM AS THEY WILL CLOG DUE TO FINES AND MAY RESTRICT ROOT GROWTH.

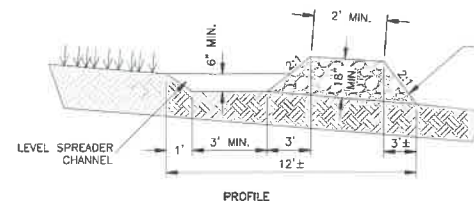
THE PROPOSED PARTICLE SIZE DISTRIBUTION (PSD) FOR WETLAND SOIL IS PROVIDED IN THE TABLE BELOW AND REFLECTS A POORLY DRAINED SOIL WITH A MEDIAN PARTICLE SIZE (D50) OF 0.15 MM AND IS A CLAY OR SILT LOAM IN THE USDA SOIL TEXTURAL TRIANGLE. THIS WETLAND SOIL MUST EXCLUDE ANY STICKS, ROOTS, STONES, ETC. THAT VIOLATE THE SUGGESTED PSD. ON-SITE MATERIALS SHOULD BE EVALUATED BY THE CONSTRUCTION ENGINEER TO ENSURE APPLICABILITY.

SIEVE SIZE	% PASSING BY WEIGHT	% PASSING TESTING TOLERANCE
0.5/12.5	100%	± 10.0%
#10/2.00	90-75%	± 5.0%
#100/0.15	40-50%	± 5.0%
#200/0.15	25-50%	± 5.0%

SEE UNHSC SUBSURFACE GRAVEL WETLAND DESIGN SPECIFICATIONS, JUNE 2016 FOR MORE DETAIL.

TYPICAL GRAVEL WETLAND

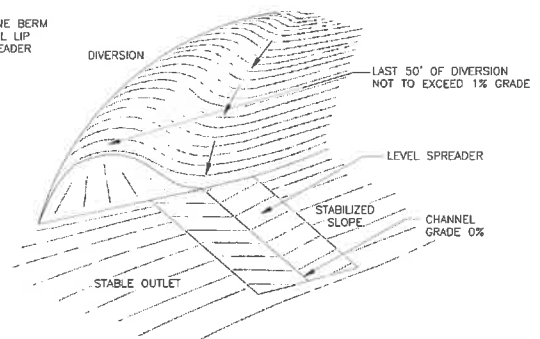
NOT TO SCALE



PROFILE

CONSTRUCTION SPECIFICATIONS

- CONSTRUCT THE LEVEL SPREADER LIP ON A ZERO PERCENT GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
- LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
- AN EROSION STOP SHALL BE PLACED VERTICALLY A MINIMUM OF SIX INCHES DEEP IN A SILT TRENCH ONE FOOT BACK OF THE LEVEL LIP AND PARALLEL TO THE LIP. EROSION STOP SHALL EXTEND THE ENTIRE LENGTH OF THE LEVEL LIP.
- THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING TWO STRIPS OF JUTE OR EXCELSIOR MATTING ALONG THE LIP. EACH STRIP SHALL OVERLAP THE EROSION STOP AT LEAST SIX INCHES.
- THE ENTRANCE CHANNEL TO THE LEVEL SPREADER SHALL NOT EXCEED ONE PERCENT GRADE FOR AT LEAST FIFTY FEET BEFORE ENTERING INTO THE SPREADER.
- THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RECONCENTRATE IMMEDIATELY BELOW THE SPREADER.
- PERIODIC INSPECTION AND REQUIRED MAINTENANCE SHALL BE PERFORMED.



NOTES:

- GRADE ALONG PROFILE OF BOTTOM OF SPREADER TO BE 0%.
- SLOPES DOWN GRADIENT OF LEVEL SPREADER TO BE FULLY STABILIZED BEFORE DIRECTING STORM WATER FLOWS ONTO IT.
- STONE TO BE 3/4" TO 3" IN DIAMETER. SIZE GRADIENT.

LEVEL SPREADER

NOT TO SCALE



SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

DETAILS

PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH
 OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
 PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: AS SHOWN

APRIL 19, 2021

Seacoast Division



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
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	CK JAM CADFILE	47388-11_DETAILS		C-71

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BIORETENTION FILTER MEDIA MIXTURES			
COMPONENT MATERIAL	% OF MIXTURE BY VOLUME	GRADATION OF MATERIAL	
		SEIVE NO.	% BY WEIGHT PASSING STANDARD SEIVE
BIORETENTION FILTER MEDIA OPTION A			
ASTM C-33 CONCRETE SAND	50-55		
LOAMY SAND TOPSOIL WITH FINES AS INDICATED	20-30	200	15 TO 25
MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH WITH FINES AS INDICATED	20-30	200	<5

3/8" WASHED CRUSHED STONE*		3/4" WASHED CRUSHED STONE*	
SEIVE SIZE	% PASSING BY WEIGHT	SEIVE SIZE	% PASSING BY WEIGHT
1/2"	100	1"	100
3/8"	95-100	3/4"	90-100
#4	22-55	1/2"	15-55
#8	0-10	#10	0-5

HYBRID BIORETENTION AREA MIX:

THE GRASS THAT IS PLANTED WITHIN A BIO-FILTRATION SYSTEM WITHIN THE BIO-MEDIA MUST CONSIST OF A COMBINATION OF WARM SEASON GRASS SEED AND COLD SEASON GRASS SEED IN ORDER FOR THE GRASS TO START GROWING FOR STABILIZATION AND CONTINUE GROWING IN THE SANDY WELL-DRAINED ENVIRONMENT. PLANTING SPECIFICATION WILL MEET REQUIREMENTS AS OUTLINED IN "VEGETATION NEW HAMPSHIRE SAND AND GRAVEL PITS" MIX 1 (WARM SEASON GRASSES) (15 LBS/AC) AND INCLUDE ANNUAL AND PERENNIAL RYE GRASS SEED (15 LBS/AC), THE NEW ENGLAND NATIVE WARM SEASON GRASS MIX (23 LBS/AC) BY NEW ENGLAND WETLAND PLANTS, INC.; RAIN GARDEN MIX 180 (15 LBS/AC & 15 LBS/AC OF RYE)/RAIN GARDEN GRASS MIX 180 (20 LBS/AC & 10 LBS/AC OF RYE) BY ERNST CONSERVATION SEEDS, OR APPROVED EQUAL.

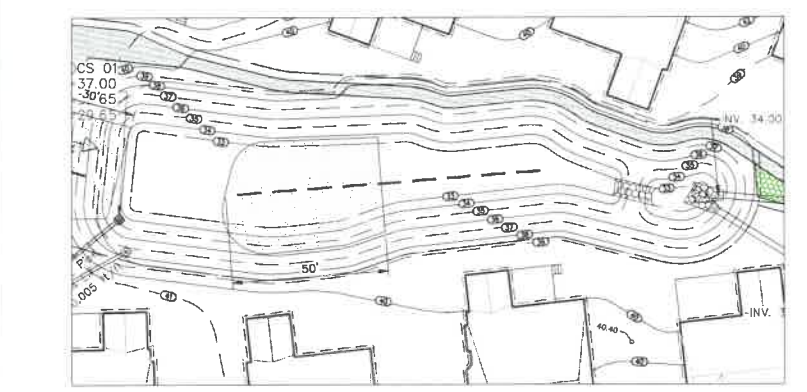
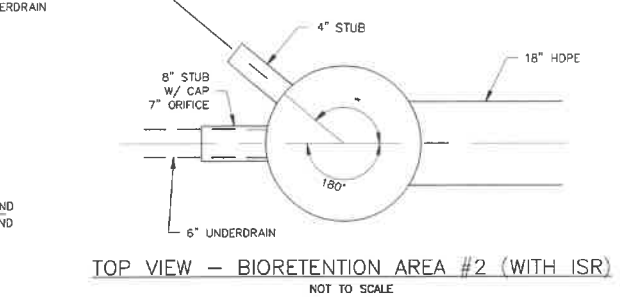
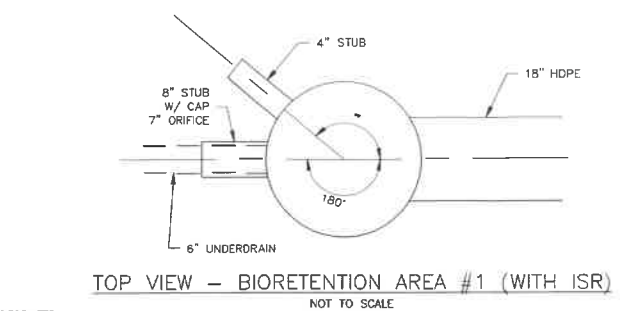
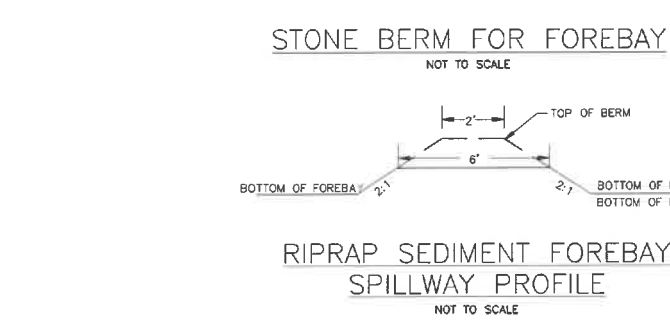
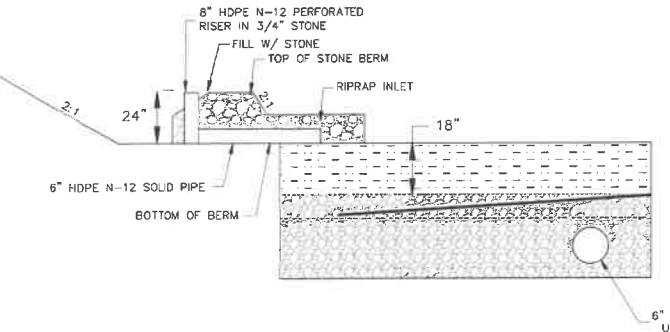
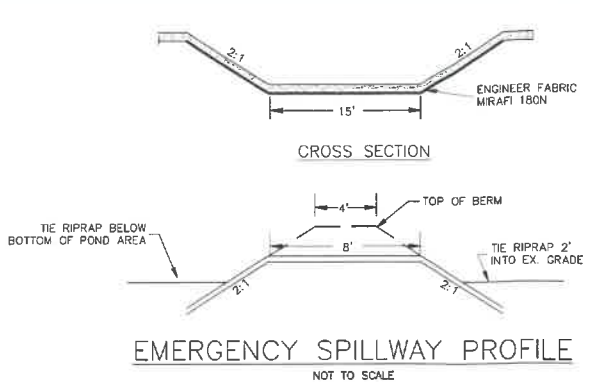
- NOTES**
- WHEN CONTRACTOR EXCAVATES BIORETENTION AREA TO SUBGRADE, DESIGN ENGINEER SHALL PERFORM SUBSURFACE EVALUATION PRIOR TO THE PLACEMENT OF ANY SELECT MATERIAL OR OTHER BACKFILL.
 - SOIL BIORETENTION FILTER MEDIA SHALL BE AS SHOWN ABOVE. "BIO-MEDIA" MEANS BIORETENTION FILTER MEDIA.
 - DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 - DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF WATER FROM EXCAVATION) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
 - DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF INFILTRATION COMPONENTS OF THE SYSTEM.
 - A PROFESSIONAL ENGINEER SHALL BE PRESENT DURING THE CONSTRUCTION OF THE RAIN GARDENS TO ENSURE THAT ALL OF THE CRITERIA ARE MET AND THAT A REPORT BE SUBMITTED TO NHDES WHEN CONSTRUCTION OF THE BIORETENTION AREAS ARE COMPLETED.

- MAINTENANCE REQUIREMENTS**
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EXCEEDING 2.5 INCHES IN A 24-HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS A WARRANTED SUCH INSPECTION.
 - PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
 - AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAINAGE TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THAN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION, INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF FILTER MEDIA.
 - VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL, AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

- DESIGN REFERENCES:**
- UNH STORMWATER CENTER
 - NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 2, DECEMBER 2008 AS UHSC - WWW.UNH.EDU/UNHSC/NEWS/UNHSC-INNOVATIVE-BIORETENTION-TEMPLATE-POLLUTION-REDUCTIONS-GREATBAY-ESTUARY-WATERSHEDS

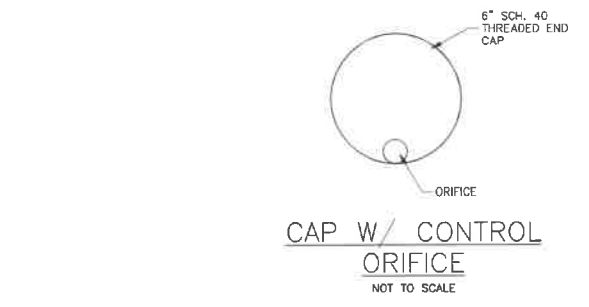
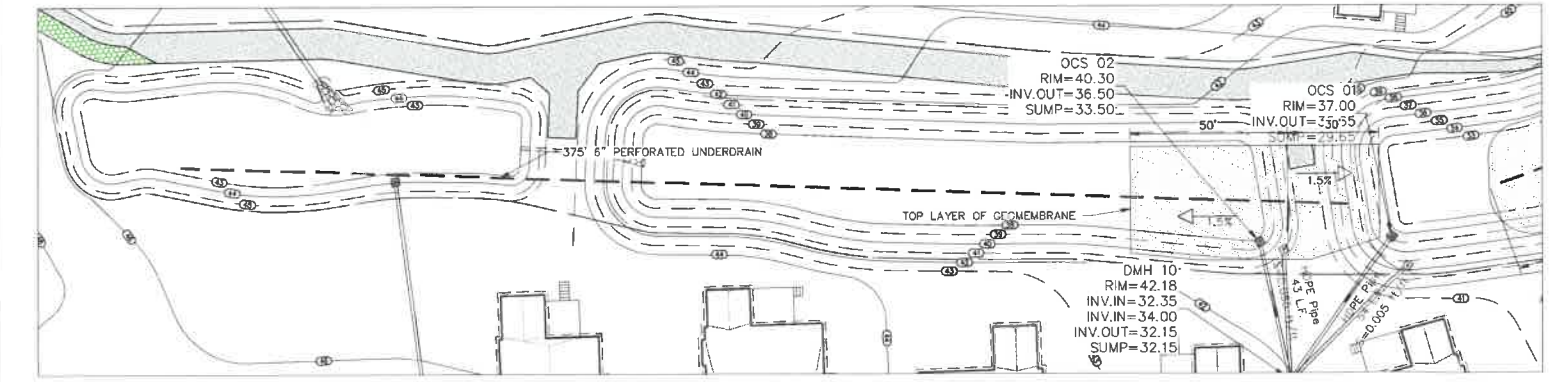
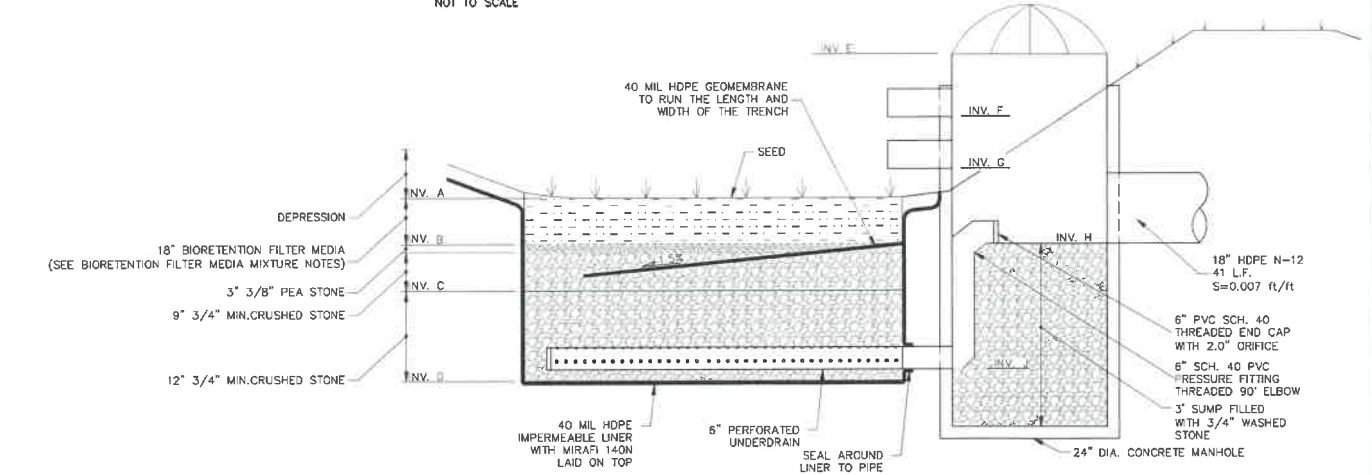
ENHANCED BIO-FILTRATION WITH INTERNAL STORAGE RESERVOIR (ISR):

- THE INTERNAL STORAGE RESERVOIR (ISR) WILL PROVIDE A RETENTION TIME OF AT LEAST 24 HOURS IN THE SYSTEM TO ALLOW FOR SUFFICIENT TIME FOR DENITRIFICATION AND NITROGEN REDUCTION TO OCCUR PRIOR TO DISCHARGE. THE FILTER MEDIA HAS BEEN AUGMENTED WITH MATERIALS DESIGNED AND/OR KNOWN TO BE EFFECTIVE AT CAPTURING PHOSPHORUS. THE TOP TWELVE INCHES OF THE BIO-MEDIA WILL BE AMENDED WITH EITHER 5% BY VOLUME ELEMENTAL IRON FILINGS; 5% BY VOLUME CONTECH IMBRIUM SORPTIVE MEDIA, ABS MATERIALS BIOMAX MEDIA, OR APPROVED EQUAL OR 5% BY WEIGHT WATER TREATMENT RESIDUALS (WTR). THE COLUMN OF THE ISR WILL EXCEED 25% OF THE WATER QUALITY VOLUME (WQV).



ELEVATION TABLE

INV.	BIO-01	BIO-02
	ELEV	ELEV
A	32.75	35.00
B	31.25	33.50
C	30.25	32.50
D	29.25	31.50
E	36.00	37.00
F	35.00	36.00
G	NA	NA
H	32.70	34.00
J	29.58	31.83



LINER NOTES

ACCEPTABLE OPTIONS INCLUDE:

- 6-12" IN CLAY SOIL (MINIMUM 15% PASSING #200 SIEVE AND A MAXIMUM PERMEABILITY OF 1X10⁻⁵ CM/S)
- A 40 MIL PVC LINER WITH SAND BEDDING AND NON-WOVEN GEOTEXTILE

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SITE DEVELOPMENT PLANS

TAX MAP 242 LOT 4

DETAILS

PARSON WOODS CONDOMINIUM LLC
83 PEVERLY HILL ROAD, PORTSMOUTH, NH

OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT

PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: AS SHOWN APRIL 19, 2021

Seacoast Division

TFM

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

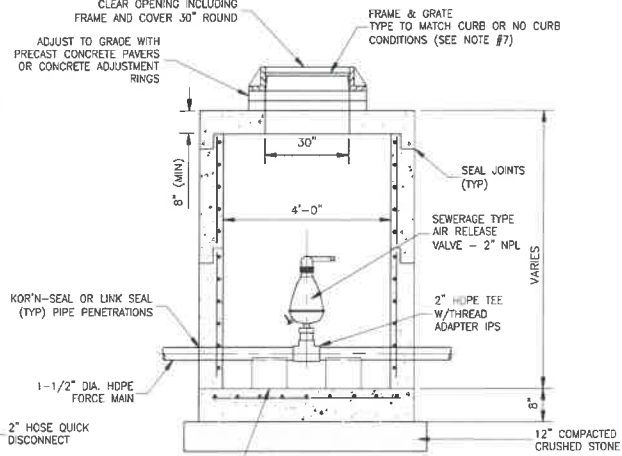
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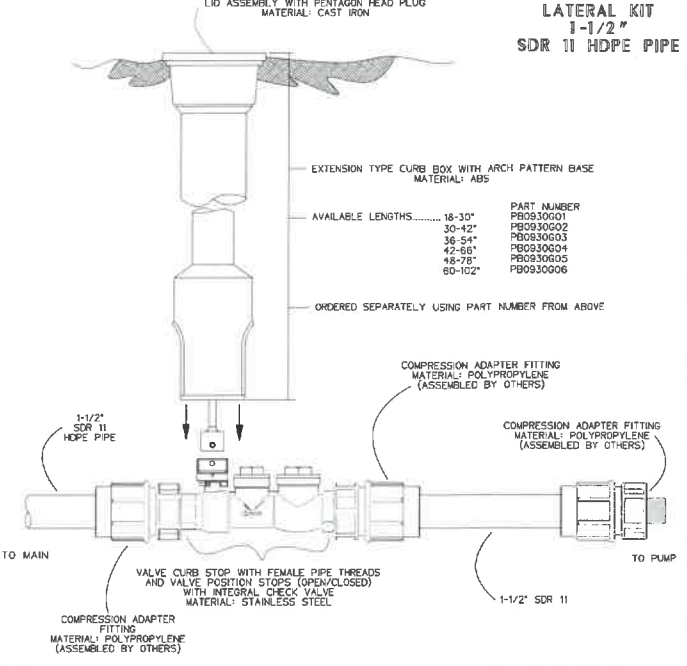
REV.	DATE	DESCRIPTION	DR	CK
4	7/21/2021	REVISE PER TAC COMMENTS.	JSM	JCC
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- NOTES:**
- CATCHBASIN FRAME & GRATE SHALL BE NEENAH R-3589-A OR APPROVED EQUAL.
 - ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 - REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
 - ALL CONCRETE SHALL BE NHDOT CLASS A.
 - LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ORIENTATION OR SIZE OF PIPES AT THE STRUCTURE.
 - "CL" USED AT ALL LOCATIONS WITHOUT CURB AND "C" TO BE USED AT ALL TO NUMBER, SIZE OR ORIENTATION OF PIPES AT THE BASIN.
 - ALL CASTINGS SHALL BE MADE IN THE USA.



E-ONE CLEANOUT AND AIR VACUUM DETAIL
NOT TO SCALE

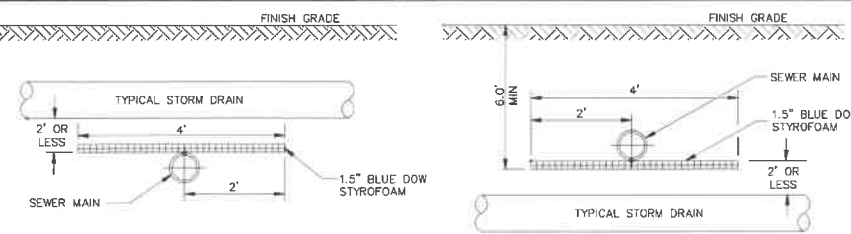


STAINLESS STEEL LATERAL KIT 1-1/2" SDR 11 HDPE PIPE

- NOTES:**
- SS CURB STOP/CHECK VALVE AND FITTINGS ARE PROVIDED SEPARATELY, TO BE ASSEMBLED BY OTHERS.
 - TO ASSEMBLE, APPLY A DOUBLE LAYER OF TEFLON TAPE, AND A LAYER OF PIPE DOPE (SUPPLIED BY OTHERS) TO THE THREADS ON THE PLASTIC FITTINGS AND INSTALL PER THE MANUFACTURER'S INSTRUCTIONS.
 - FOR SS FITTING INTO SS THREAD, USE EITHER PIPE DOPE OR TEFLON TAPE, NOT BOTH.
 - ASSEMBLY IS TO BE PRESSURE TESTED (BY OTHERS).
 - ASSEMBLY IS TO BE USED WITH SDR11 HDPE PIPE.
 - TO ORDER SS LATERAL KIT, USE PART NUMBER NCO93G02.
 - CURB BOX IS TO BE ORDERED SEPARATELY. SEE ABOVE.

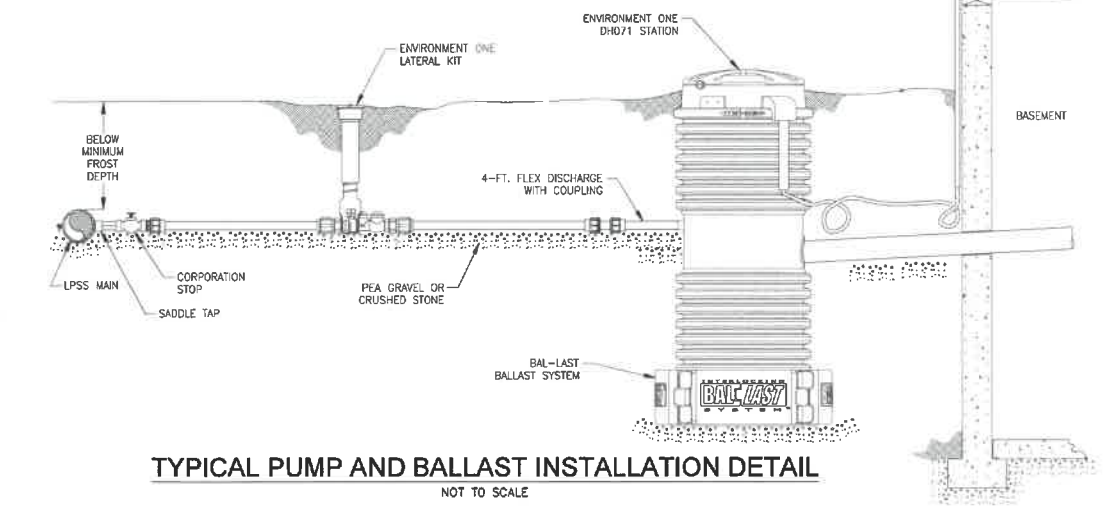
KIT PARTS ARE NOT ASSEMBLED

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DR BY	CHK'D	DATE	ISSUE	SCALE
eone SEWER SYSTEMS				
STAINLESS STEEL LATERAL KIT 1-1/2" SDR 11 HDPE PIPE				
NA0330P03				

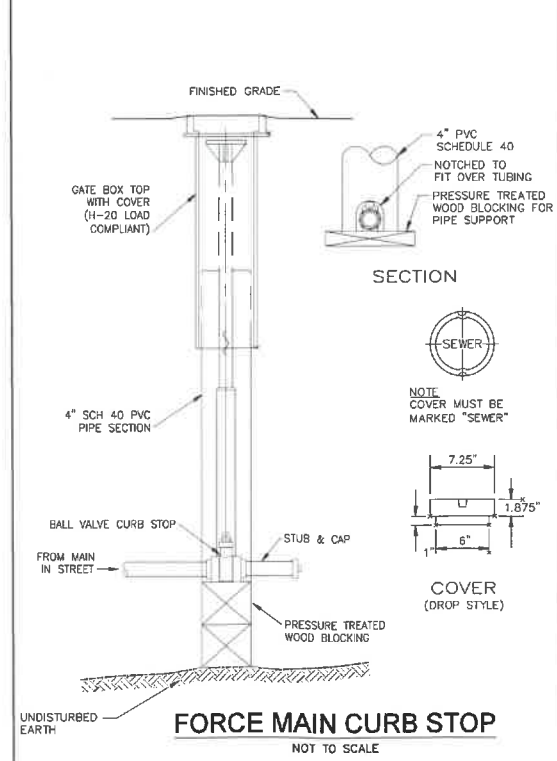


INSULATION AT STORM DRAIN AND SEWER MAIN INTERSECTING RUNS
NOT TO SCALE

- NOTES:**
- THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1 STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
 - ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1" PIECE OF INSULATION CENTERED OVER SEAM.



TYPICAL PUMP AND BALLAST INSTALLATION DETAIL
NOT TO SCALE

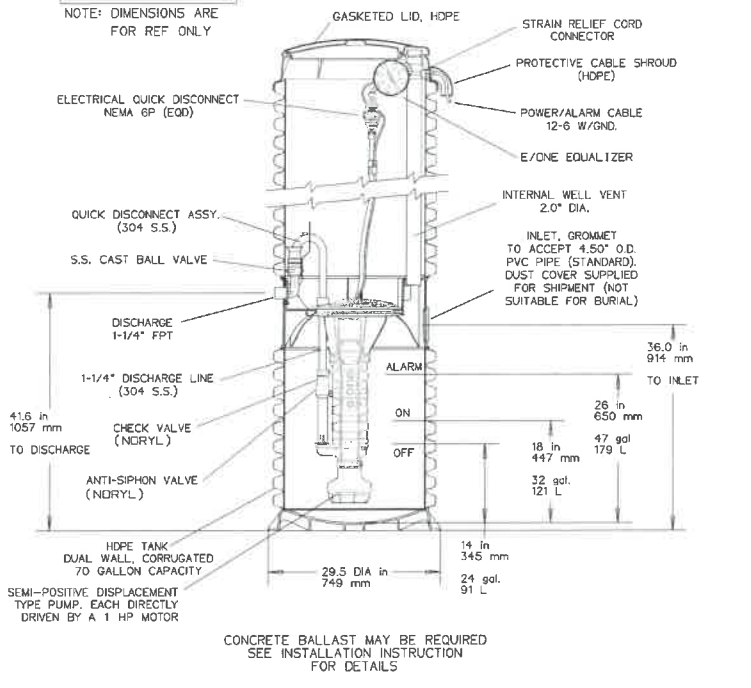


FORCE MAIN CURB STOP
NOT TO SCALE

FIELD JOINT REQUIRED FOR MODELS: DH071-129 / DR071-129 & DH071-160 / DR071-160

NOTE: DIMENSIONS ARE FOR REF ONLY

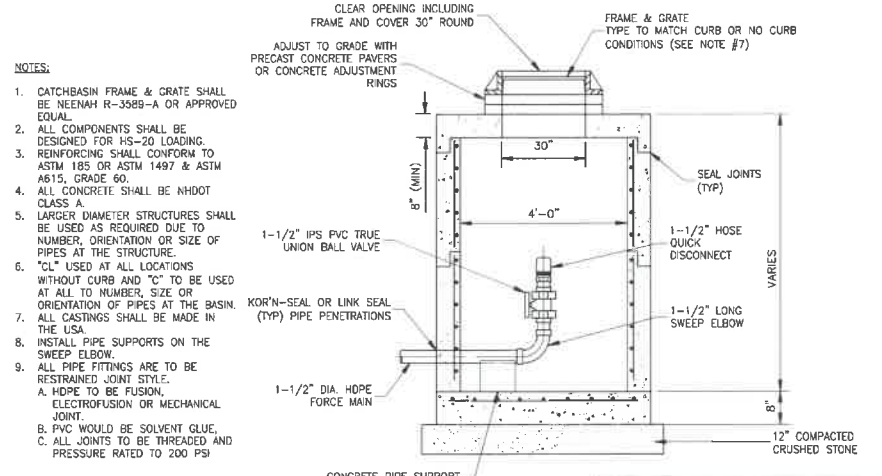
OPTIONS: DH071 (HARD WIRED LEVEL CONTROLS) DR071 (WIRELESS LEVEL CONTROLS)



E-ONE GRINDER PUMP
NOT TO SCALE

- NOTES:**
- THE PUMP CORE CONTAINS BUILT IN CHECK AND ANTI-SIPHON VALVES. IN ADDITION, THERE IS A REDUNDANT UNILATERAL CHECK AND ISOLATION VALVE AT THE LOT LINE WITH THE STAINLESS STEEL ASSEMBLY.
 - THE STATION MONITOR CONTAINS A HIGH LEVEL ALARM. THE HIGH LEVEL ALARM IS RUN OFF A REDUNDANT RUN SWITCH THAT OVERRIDES THE RUN SWITCH IF IT SHOULD SEE A POWER FAILURE.
 - THE ALARM PANEL HAS THE OPTION TO CONNECT A PORTABLE GENERATOR WITH A 20 AMP, 240 VOLT SUPPLY. POWER TRANSFERS AUTOMATICALLY IF THE PUMP IS CALLING TO RUN.
 - THE PUMP IS RATED TO CONTINUOUS DUTY HEADS OF 185-FEET. THE SYSTEM AS DESIGNED WILL OPERATE AT 14.92 GPM AT 5.64-FEET TDH.
 - THE PUMP RATED TO 700 GPD.
 - THE TANK HAS A 70-GAL VOLUME AND ALLOWS FOR 43 GALLONS ABOVE THE "ON" LEVEL.
 - A BACKUP GENERATOR WILL BE PROVIDED THAT SHALL BE AMPL ENOUGH TO SUPPLY POWER TO RUN THE GRINDER PUMP AND ALARM SYSTEM. THERE SHALL BE ENOUGH FUEL ON SITE TO RUN THE GENERATOR FOR A MINIMUM OF 6 HRS.
 - IN CASE OF A POWER FAILURE, A BATTERY BACKUP REMOTE SENTRY ALARM PANEL SHALL BE USED IN CONJUNCTION WITH THE E-ONE PUMP SYSTEM.

AD	CH	10/20/10	D
DR BY	CHK'D	DATE	ISSUE
eone SEWER SYSTEMS			
MODEL DH071 / DR071 DETAIL SHEET			
NA0050P02			



E-ONE TERMINAL FLUSHING MANHOLE
NOT TO SCALE

PRESSURE SEWER TESTING NOTES

- 1. FORCE MAINS AND PRESSURE SEWERS SHALL BE TESTED IN ACCORDANCE WITH SECTION 5 OF THE AWWA C600. INSTALLATION OF CAST IRON WATER MAINS AND THEIR APPURTENANCES STANDARD IN EFFECT WHEN THE TEST IS CONDUCTED, AVAILABLE AS NOTED IN APPENDIX D, AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.**

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83 PEVERLY HILL ROAD, PORTSMOUTH, NH
OWNED BY
STOKEL SB & NA TRUST, PHILIP J 25% INT
PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=40' (11"X17")
SCALE: 1"=20' (22"X34") **APRIL 19, 2021**

Seacoast Division		170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.tfmoran.com
TFM	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	
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