

December 16, 2020

## **Stormwater Management Report**

### **Property location:**

**239 Northwest Street  
Tax Map 122, Lot 3  
Portsmouth, NH**

### **Prepared for:**

**Michael Petrin, Katie Marie Laverriere,  
and Nathan Laverriere  
268 Dennett Street  
Portsmouth, NH 03801**

The Stormwater Management has been reviewed on the above-referenced property with regards to the NHDES Shoreland Permit Application requirements within the protected shoreland buffer. The rules require that “for any project proposing that the impervious area be greater than 20% within the protected shoreland, plans [are required] for a stormwater management system that will infiltrate increased stormwater from the development.” Since the proposed plan exceeds the 20% impervious area, appropriate measures are proposed.

### ***Existing conditions:***

The subject property is located at the end of Northwest Street adjacent to US Route 1 in Portsmouth. The property is within the shoreland buffer of North Mill Pond. North Mill Pond is tributary to the Piscataqua River, and both are subject to the tide. The total area of the property is 3,722 s.f. or 0.085 ac. There is an existing house and separate garage on the property and a short single drive to the garage. The total impervious area on the property is approximately 1,898 s.f. or 51% of the total lot area. The remaining area is mostly lawn. The NRCS Web Soil Survey indicates that the soils on the property are Urban Land – Canton complex. Canton soils are a hydrologic Group B soil consisting of moderately well drained to well drained soils with moderate infiltration rates

The property generally slopes very gently from Northwest Street in the front of the house toward the back northerly side of the property and to a lesser extent toward the westerly side of the property. Most stormwater runoff would flow toward the back of the property to a low point between the house and Route 1. A small portion of the lot area in the front of the property drains in a westerly direction toward an existing catch basin in Northwest Street. This basin flows directly into North Mill Pond. It appears that the stormwater draining to back yard area would naturally infiltrate into the underlying soils.

### ***Proposed Improvements:***

The proposed plan includes removing a small ell on the back of the house and constructing a two-story addition on the back with a new deck in the location of ell. The deck in the front of the house would be removed and steps to the front door would be built. The total impervious area as a result of the improvements would increase by 112 sf to a total impervious area of 2010 s.f. or

54% of the total lot area. There are no proposed changes to the grades or the drainage patterns on the site.

In order to improve the stormwater management and improve the infiltration on the site, a dripline trench is proposed under all roof eaves on the front and the back of the house. These trenches will collect and store roof runoff until it infiltrates into the underlying soils.

***Summary:***

There is very little stormwater runoff leaving the site. A small portion of the southwest corner of the site drains toward the catch basin in Northwest Street. Most of the stormwater runoff is directed to the back of the property to a low point between the house and Route 1 and infiltrates into the ground. Dripline trenches are proposed in the front and back of the house in order to collect and store roof runoff until it infiltrates into the underlying soils. This proposed best management practice will enhance the property and improve the stormwater management.

No stormwater calculations are necessary since all the stormwater stays on the subject property. There will be no increase in stormwater runoff leaving the site as a result of the proposed improvements.

A copy of the NRCS Web Soil Survey Map is attached.



Soil Map—Rockingham County, New Hampshire  
(239 Northwest Street)



Soil Map may not be valid at this scale.

Map Scale: 1:1,500 if printed on A landscape (11" x 8.5") sheet.








































Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84



Natural Resources  
Conservation Service

Web Soil Survey  
National Cooperative Soil Survey

## MAP LEGEND

-  Area of Interest (AOI)
-  Area of Interest (AOI)
- Soils**
-  Soil Map Unit Polygons
-  Soil Map Unit Lines
-  Soil Map Unit Points
- Special Point Features**
-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot
-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features
- Water Features**
-  Streams and Canals
- Transportation**
-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads
- Background**
-  Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Rockingham County, New Hampshire  
Survey Area Data: Version 22, May 29, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Sep 9, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

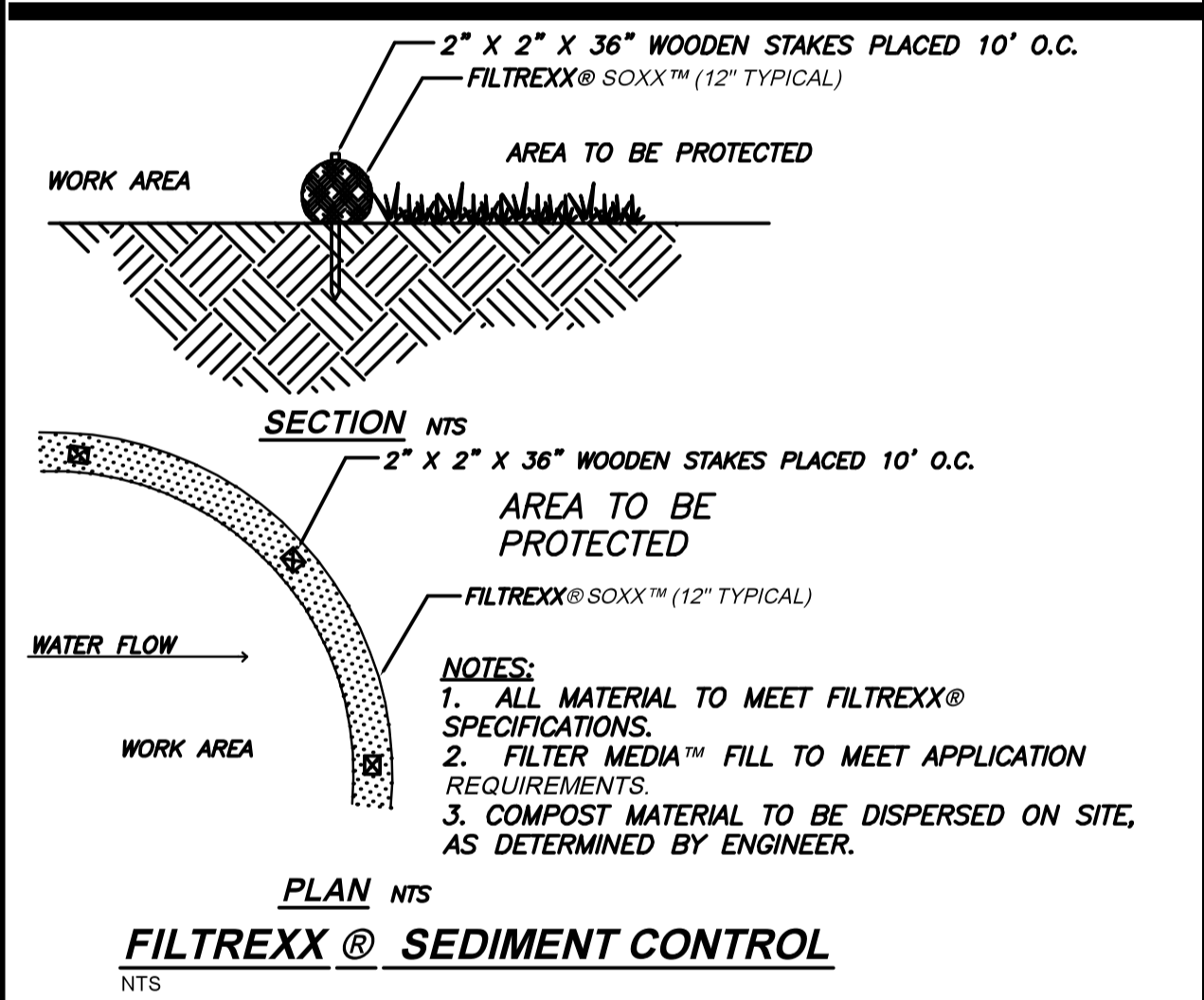
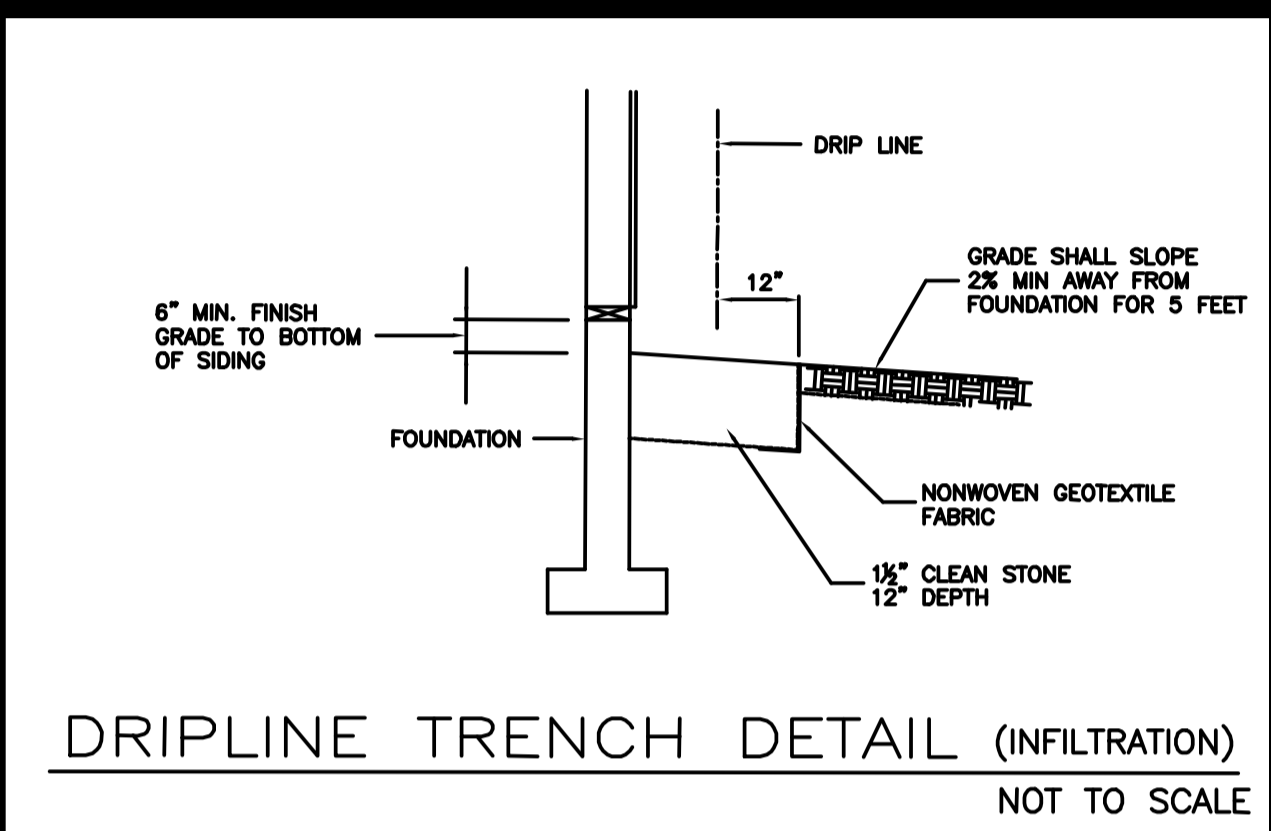
## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
799	Urban land-Canton complex, 3 to 15 percent slopes	0.1	100.0%
<b>Totals for Area of Interest</b>		<b>0.1</b>	<b>100.0%</b>

REFERENCE PLANS:  
 1. "STANDARD PROPERTY SURVEY - AND - CONDOMINIUM SITE PLAN OF LAND - OF - LOT 4 TAX MAP U-22 - 250 NORTHWEST STREET - PORTSMOUTH, NH, SCALE:1"=10' DATED 9/9/1996, BY CIVILWORKS, R.C.R.D. PLAN #24961.  
 2. "STATE OF NEW HAMPSHIRE - DEPARTMENT OF TRANSPORTATION - RIGHT OF WAY PLANS - X5379(025) - NH PROJECT NO. 13455 - US ROUTE 1 BYPASS OVER PISCATAQUA RIVER - BRIDGE NO. 251/108" SCALE:1"=100', BY GM2 ASSOCIATES, REVISED SEPTEMBER 11, 2020 ON FILE WITH GM2 ASSOCIATES TO BE RECORDED.

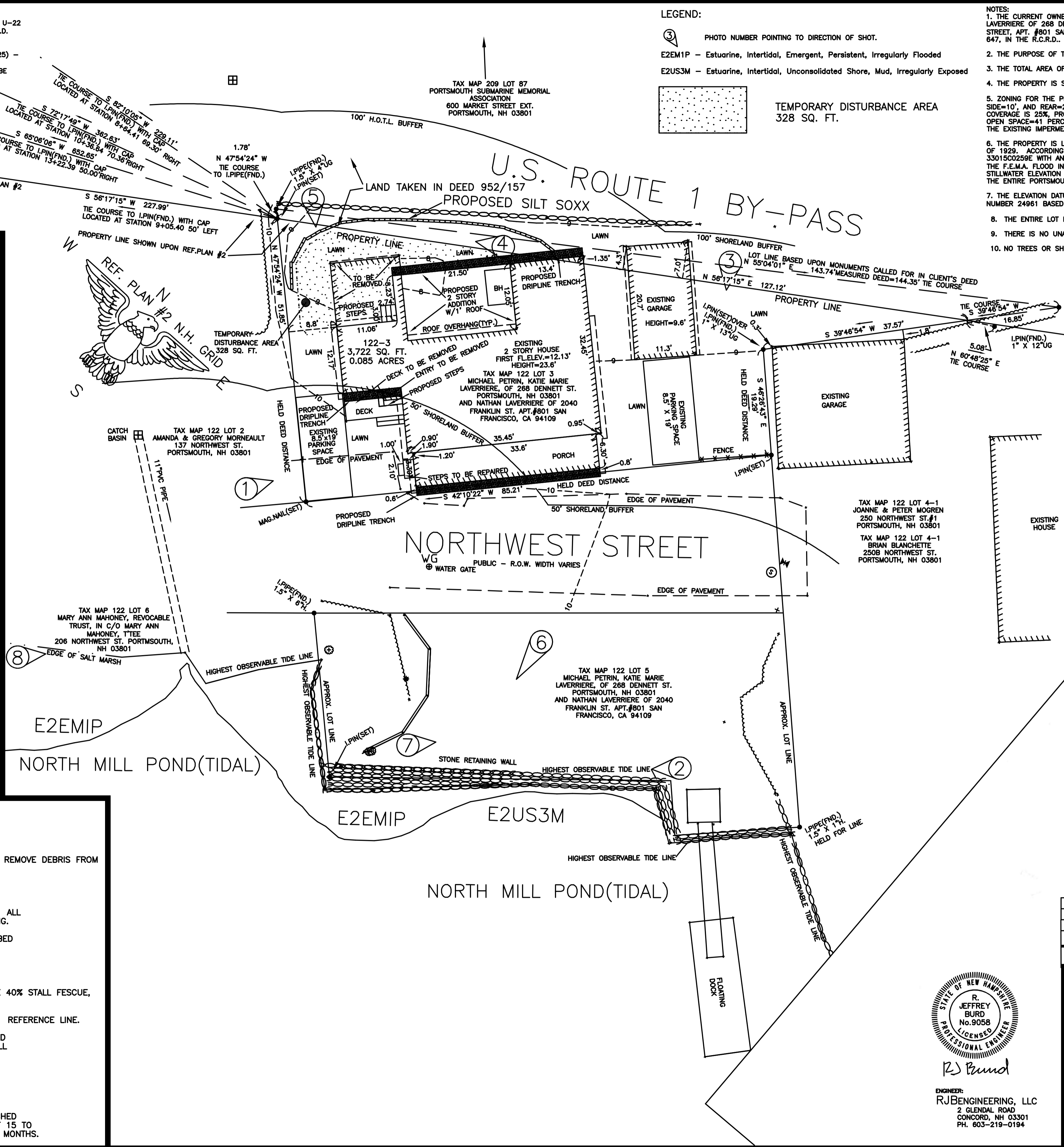
LEGEND:  
 PHOTO NUMBER POINTING TO DIRECTION OF SHOT.  
 E2EM1P - Estuarine, Intertidal, Emergent, Persistent, Irregularly Flooded  
 E2US3M - Estuarine, Intertidal, Unconsolidated Shore, Mud, Irregularly Exposed

NOTES:  
 1. THE CURRENT OWNERS OF RECORD OF TAX MAP 122 LOT 3 ARE MICHAEL GEORGE PETRIN AND KATIE MARIE LAVERRIERE OF 268 DENNETT STREET, PORTSMOUTH, NH 03801, AND NATHAN LAVERRIERE OF 2040 FRANKLIN STREET, APT. #801 SAN FRANCISCO, CA 94109. THE DEED REFERENCE TO THE PROPERTY IS BOOK 6138, PAGE 647, IN THE R.C.R.D..  
 2. THE PURPOSE OF THIS PLAN IS SHOW THE PROPOSED ADDITION.  
 3. THE TOTAL AREA OF TAX MAP 122, LOT 3 IS 0.085 ACRES, OR 3,722 SQUARE FEET.  
 4. THE PROPERTY IS SERVICED BY MUNICIPAL SEWER AND WATER.  
 5. ZONING FOR THE PROPERTY IS GRA (GENERAL RESIDENCE A). BUILDING SETBACKS ARE: FRONT=15', SIDE=10', AND REAR=20'. MAXIMUM BUILDING HEIGHT IS 35' FOR A SLOPED ROOF. MAXIMUM BUILDING COVERAGE IS 25%. PROPOSED BUILDING COVERAGE IS 44 PERCENT, MINIMUM OPEN SPACE=30%, PROPOSED OPEN SPACE=41 PERCENT. THE EXISTING IMPERMEABLE SURFACES IS 51 PERCENT. THE PROPOSED IMPERMEABLE SURFACES IS 52 PERCENT.  
 6. THE PROPERTY IS LOCATED IN FLOOD ZONE AE WITH A BASE FLOOD ELEVATION OF 9 BASED UPON N.G.V.D. OF 1929. ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR ROCKINGHAM COUNTY, NH, MAP NUMBER 3301500259E WITH AN EFFECTIVE DATE OF MAY 17, 2005 PREPARED BY THE FEMA. THE F.E.M.A. FLOOD INSURANCE STUDY #330150001A, DATED MAY 17, 2005, MORE ACCURATELY DEFINES THE STILLWATER ELEVATION OF THE 100 YEAR FLOOD ZONE ELEVATION OF THE ATLANTIC OCEAN SHORELINE, ALONG THE ENTIRE PORTSMOUTH SHORE, AS BEING AT ELEVATION 8.9.  
 7. THE ELEVATION DATUM OF THIS PLAN IS BASED UPON THE FLOOR ELEVATIONS SHOWN UPON RECORDED PLAN NUMBER 24961 BASED UPON N.G.V.D. OF 1929 DATUM, AND VERIFIED BY TYING INTO USGS DISC #R61.  
 8. THE ENTIRE LOT IS WITHIN THE H.O.T.L.(HIGHEST OBSERVABLE TIDE LINE) 100 FT. BUFFER.  
 9. THERE IS NO UNALTERED AREA ON THIS LOT.  
 10. NO TREES OR SHRUBS WILL BE REMOVED FROM THIS LOT AS A RESULT OF THIS PROJECT.



CONSTRUCTION SEQUENCE & EROSION CONTROL:

1. INSTALL SILTATION CONTROL IN LOCATIONS SHOWN ON PLAN. SILTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION.
2. REMOVE PORTION OF THE EXISTING HOUSE, EXCAVATE FOR NEW FOUNDATION AND REMOVE DEBRIS FROM THE SITE. POUR NEW FOUNDATION AND BACKFILL.
3. INSPECT AND MAINTAIN EROSION AND SILTATION CONTROL MEASURES ON A DAILY BASIS AND AFTER ANY STORMS.
4. FINISH GRADING THE SITE TO PREPARE FOR LOAMING, SEEDING AND PLANTINGS. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING.
5. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
6. EXISTING VEGETATION IS TO REMAIN UN DISTURBED WHERE EVER POSSIBLE.
7. ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4.5" OF LOAM INSTALLED WITH NOT LESS THAN 1.1 POUNDS OF SEED MIX PER 1,000 S.F. SEED MIX SHALL BE 40% STALL FESCUE, 40% CTREeping RED FESCUE AND 20% BIRDSFOOT TREFOLI.
8. NO FERTILIZER SHALL BE APPLIED TO VEGETATION OR SOILS WITHIN 25' OF THE REFERENCE LINE.
9. LIME AND LOW PHOSPHOROUS SLOW RELEASE FERTILIZER SHALL BE INCORPORATED INTO THE SOIL BEFORE OR AT THE TIME OF SEEDING. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA NATURAL RESOURCES CONSERVATION SERVICES RECOMMENDATIONS. LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER IS TO CONTAIN NO MORE THAN 2% PHOSPHOROUS AND A MINIMUM 50% SLOW RELEASE NITROGEN COMPONENTS.
10. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED PLANTINGS SHALL BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 15 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.

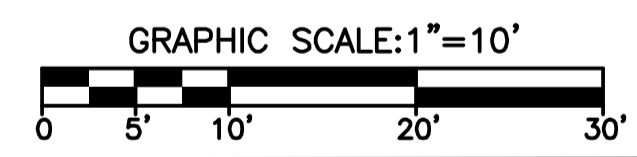
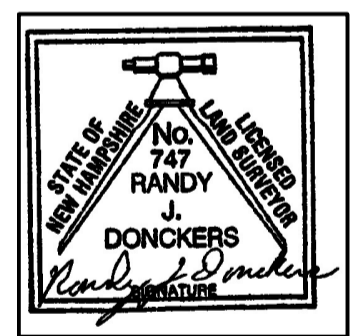


THERE ARE NO SPECIAL AQUATIC SITES ON THIS PROPERTY

WETLANDS WERE DELINEATED ACCORDING TO THE ARMY CORPS OF ENGINEERS WETLAND DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 AND THE NORTHEAST REGIONAL SUPPLEMENT, VERSION 2.0, JANUARY 2012. THE WETLANDS WERE DELINEATED ON NOVEMBER 19, 2020 BY TIMOTHY FERWERDA, NH CERTIFIED WETLAND SCIENTIST #039.  
 WETLANDS HAVE BEEN CLASSIFIED IN ACCORDANCE WITH THE "CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES, FDEC-STD-004-2013, SECOND EDITION, WETLAND SUBCOMMITTEE, FEDERAL GEOGRAPHIC DATA COMMITTEE AND US FISH AND WILDLIFE SERVICE, WASHINGTON, DC."



"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND, AND MEETS OR EXCEEDS THE MINIMUM PRECISION AND ACCURACY MEASUREMENT REQUIREMENTS FOR AN URBAN CLASSIFICATION SURVEY AS SPECIFIED IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY."



REV.	DATE	DESCRIPTION	BY
3.	1/05/21	EROSION CNTRL, BLDG. SOIL LINE, NOTES, PHOTOS	RJD
2.	12/01/20	REVISED NOTES, MINOR REVISIONS	RJD
1.	10/29/20	ADDED PARKING SPACE SIZES, AND BUILDING HEIGHT	RJD

20058.DWG SHEET NO. 1 OF 1

PROPOSED PLOT PLAN  
 PREPARED FOR  
 MICHAEL PETRIN, KATIE MARIE LAVERRIERE  
 AND NATHAN LAVERRIERE  
 239 NORTHWEST STREET  
 PORTSMOUTH, NEW HAMPSHIRE  
 TAX MAP 122 LOT 3  
 SCALE: 1" = 10' SEPTEMBER 30, 2020  
 AMERISITE LAND SURVEY, L.L.C.  
 RANDY J. DONCKERS, MANAGER  
 25 OAKTREE ROAD, AUBURN, NH 03032  
 603-483-5880 AMERISITELANDSURVEY.COM

ENGINEER:  
 RJBENGINEERING, LLC  
 2 GLENDALE ROAD  
 CONCORD, NH 03301  
 PH. 603-219-0194

NOTE: ALL DIMENSIONS AND CONDITIONS ARE TAKEN FROM DATA SUPPLIED BY THE CITY OF PORTSMOUTH, MAPGEO AND FIELD MEASUREMENTS.

NOTE: THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION PURPOSES.

MARTIN RYAN ARCHITECT  
 227 Westbury Ave  
 Portsmouth, NH 03801  
 603-832-8632

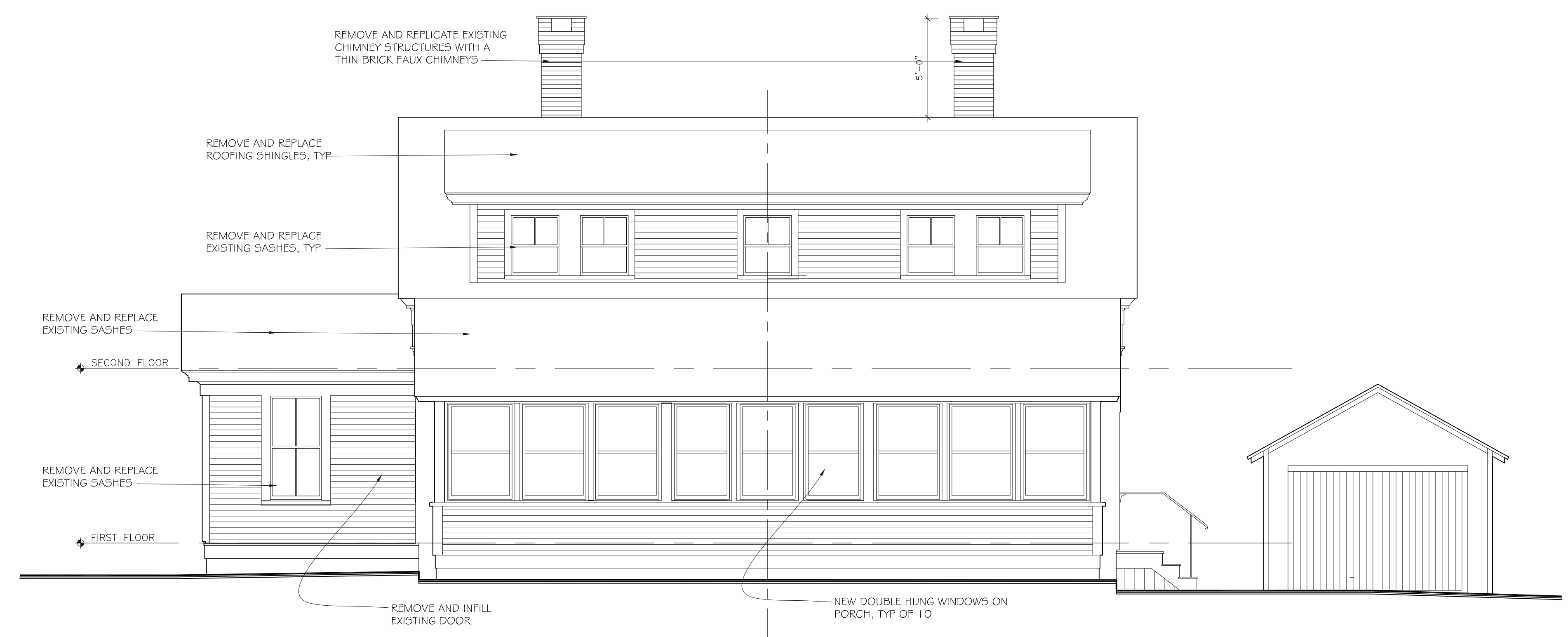
PERMIT SET  
 15 SEP 2020

239 NORTHWEST STREET  
 PORTSMOUTH  
 NEW HAMPSHIRE

DATE: --
DESIGN: --
DRAWN: MLR
CHECKED: XX
SCALE:
JOB:

EAST  
 ELEVATION

A1



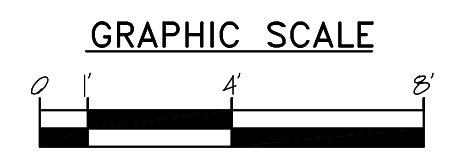
PROPOSED ELEVATION- EAST

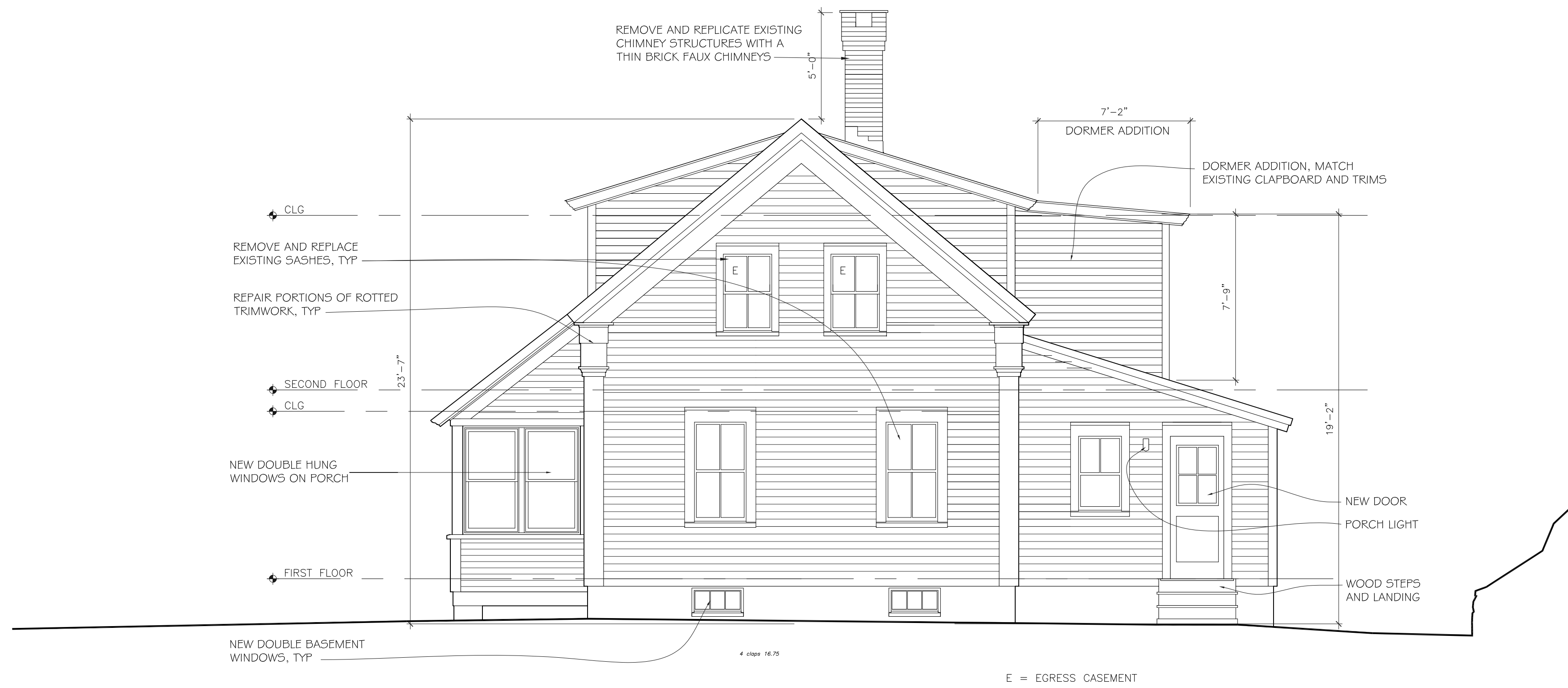


EXISTING ELEVATION- EAST



PHOTO- EAST ELEVATION





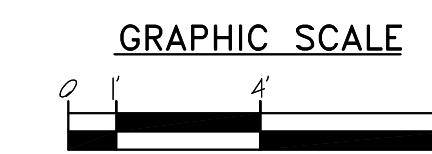
PROPOSED ELEVATION- NORTH



EXISTING ELEVATION- NORTH



PHOTO- LOOKING AT NORTHWEST CORNER



NOTE: ALL DIMENSIONS AND CONDITIONS ARE TAKEN FROM DATA SUPPLIED BY THE CITY OF PORTSMOUTH, MAPGEO AND FIELD MEASUREMENTS.  
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MARTIN RYAN ARCHITECT  
221 Westbury Ave  
Portsmouth, NH 03801  
603-832-8633

PERMIT SET  
15 SEP 2020

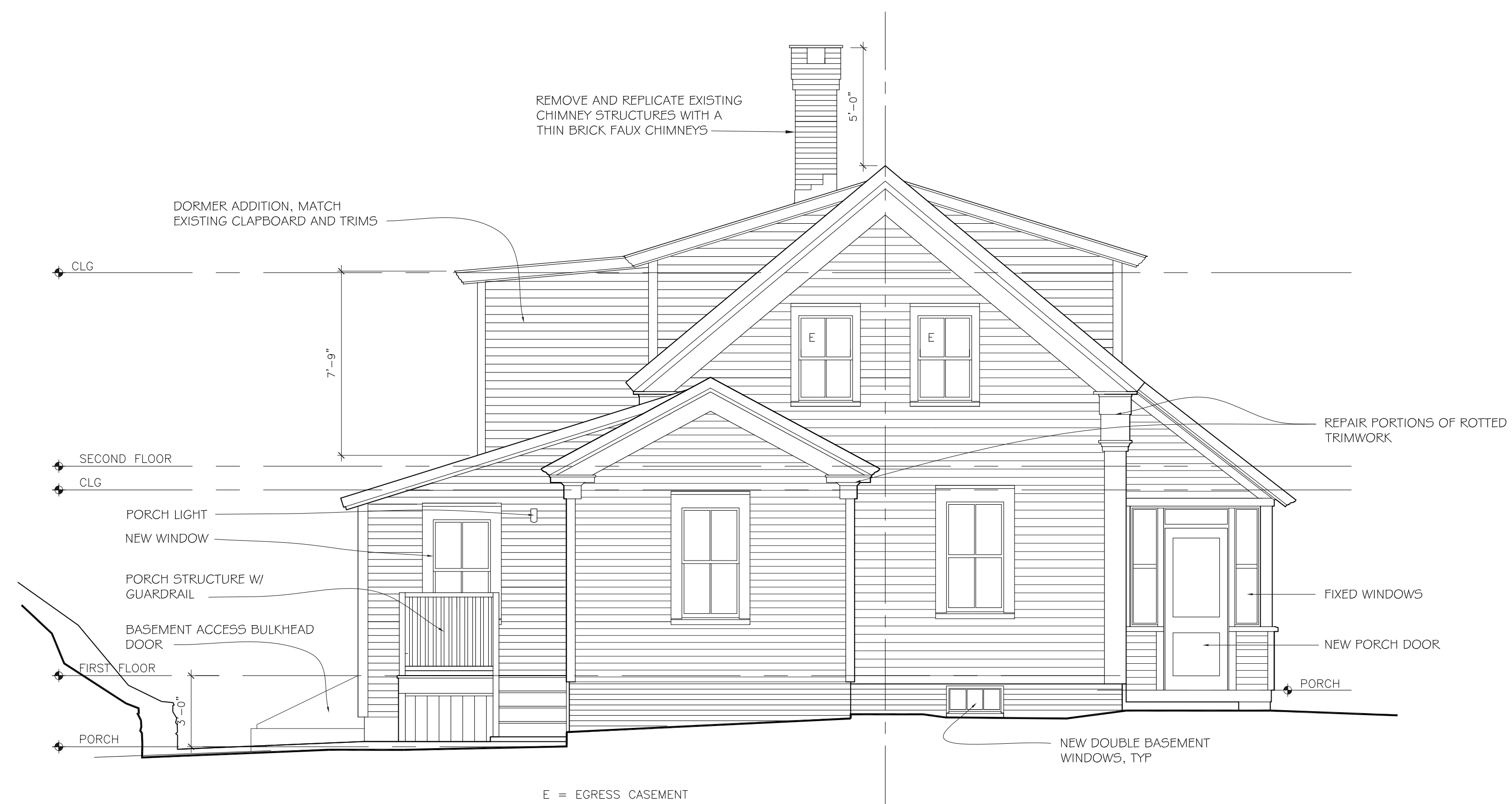
239 NORTHWEST STREET  
PORTSMOUTH  
NEW HAMPSHIRE

DATE: --
DESIGN: --
DRAWN: MLR
CHECKED: XX
SCALE:
JOB:

NORTH  
ELEVATION

A2





PROPOSED ELEVATION- SOUTH



EXISTING ELEVATION- SOUTH



PHOTO- LOOKING NORTH

NOTE: ALL DIMENSIONS AND CONDITIONS ARE TAKEN FROM DATA SUPPLIED BY THE CITY OF PORTSMOUTH, MAPGEO AND FIELD MEASUREMENTS.  
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Portsmouth, NH 03801  
603-832-8633

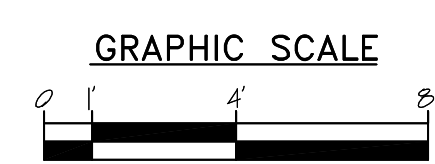
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15 SEP 2020

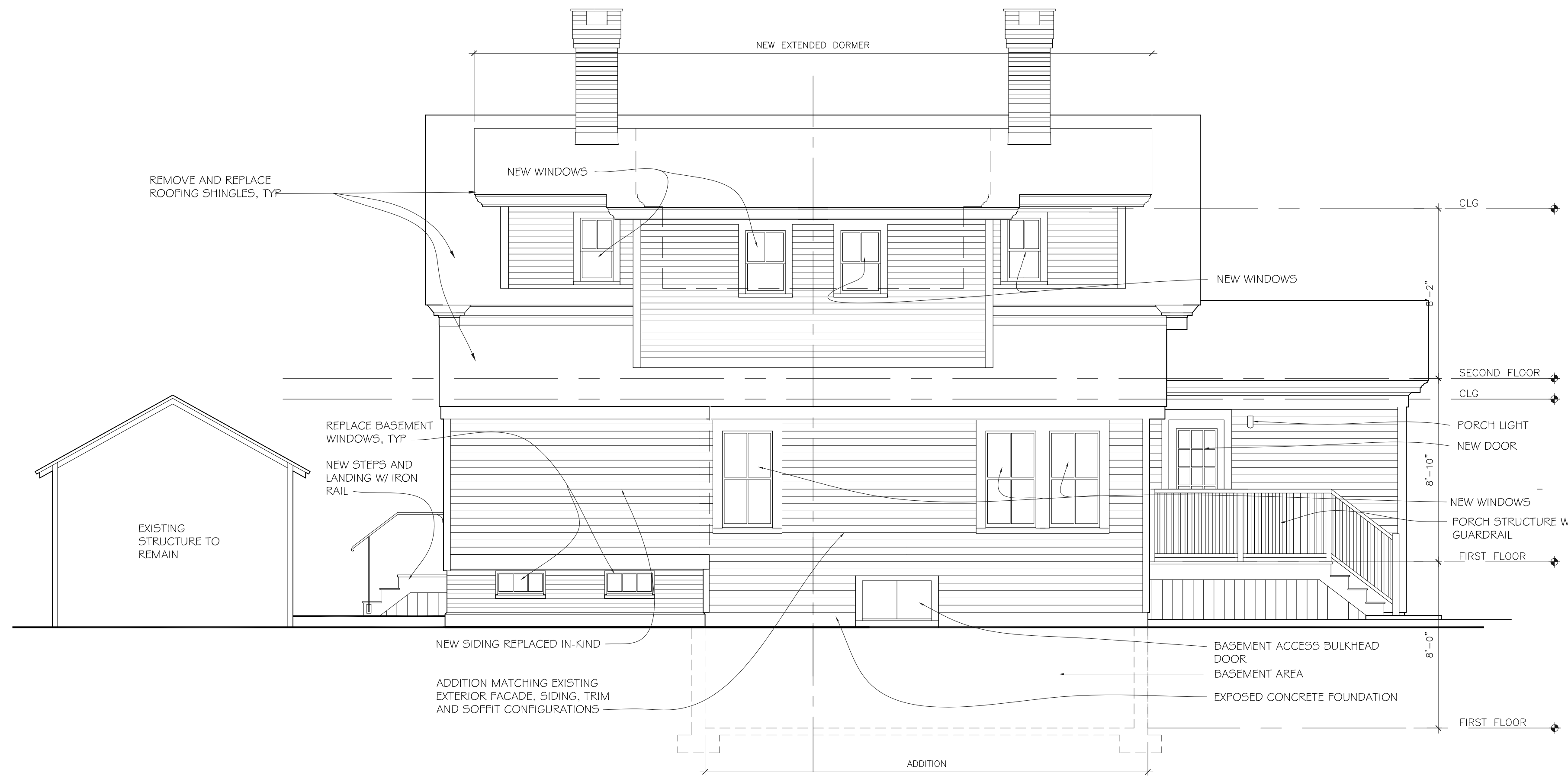
239 NORTHWEST STREET  
PORTSMOUTH  
NEW HAMPSHIRE

DATE:	—
DESIGN:	—
DRAWN:	MLR
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SCALE:	—
JOB:	—

SOUTH  
ELEVATION

A3

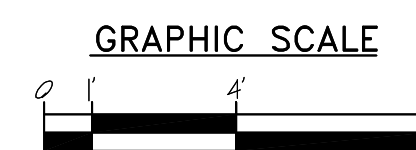




PROPOSED ELEVATION- WEST



EXISTING ELEVATION- WEST



NOTE: ALL DIMENSIONS AND CONDITIONS ARE TAKEN FROM DATA SUPPLIED BY THE CITY OF PORTSMOUTH, MAPGEO AND FIELD MEASUREMENTS.  
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PHOTO- FROM ROUTE 1

MARTIN RYAN ARCHITECT  
227 Westbury Ave  
Portsmouth, NH 03801  
603-832-8633

PERMIT SET  
15 SEP 2020

239 NORTHWEST STREET  
PORTSMOUTH  
NEW HAMPSHIRE

DATE: --
DESIGN: --
DRAWN: MLR
CHECKED: XX
SCALE:
JOB:

WEST  
ELEVATION

A4

# FERWERDA MAPPING<sup>LLC</sup>

SOIL & WETLAND MAPPING

43 BARTLETT HILL ROAD, DEERING NH 03244

EMAIL - [tfwrda@gmail.com](mailto:tfwrda@gmail.com)

PHONE - 603-554-0792

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## **Abutters List Tax Map 122 Parcel -3 239 Northwest Street, Portsmouth**

122-4

Brian Blanchette  
250 B Northwest Street  
Portsmouth, NH 03801

122-4

Peter & Joanne Mogren  
250 A Northwest Street  
Portsmouth, NH 03801

122-2

Gregory & Amanda Morneault  
137 Northwest Street  
Portsmouth, NH 03801

7020 1810 0001 3004 5451

U.S. Postal Service™  
CERTIFIED MAIL® RECEIPT  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

PORTSMOUTH NH 03801  
**OFFICIAL USE**

Certified Mail Fee	\$3.55
\$	\$2.85
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
\$	\$6.95
Total Postage and Fees	\$6.95
\$	

0244  
91  
Postmark  
Here  
01/11/2021

Sent To **BRIAN BLANCHARD**  
Street and Apt. No., or PO Box No.  
**250 D NORTHWEST ST**  
City, State, ZIP+4®  
**PORTSMOUTH NH 03801**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 1810 0001 3004 5444

U.S. Postal Service™  
CERTIFIED MAIL® RECEIPT  
Domestic Mail Only

For delivery information, visit our website at [www.usps.com](http://www.usps.com)®.

PORTSMOUTH NH 03801  
**OFFICIAL USE**

Certified Mail Fee	\$3.55
\$	\$2.85
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
\$	\$6.95
Total Postage and Fees	\$6.95
\$	

0244  
91  
Postmark  
Here  
01/11/2021

Sent To **DEAN + BOANNE MORROW**  
Street and Apt. No., or PO Box No.  
**250 D NORTHWEST ST**  
City, State, ZIP+4®  
**PORTSMOUTH NH 03801**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 1810 0001 3004 5264

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PORTSMOUTH NH 03801  
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Certified Mail Fee	\$3.55
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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
\$	\$6.95
Total Postage and Fees	\$6.95
\$	

0244  
91  
Postmark  
Here  
01/11/2021

Sent To **GREGORY + AMANDA MURPHY**  
Street and Apt. No., or PO Box No.  
**137 NORTHWEST ST**  
City, State, ZIP+4®  
**PORTSMOUTH NH 03801**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**F**ERWERDA  
**M**APPING<sup>LLC</sup>

SOIL & WETLAND MAPPING

43 BARTLETT HILL ROAD, DEERING NH 03244

EMAIL - tjferwda@gmail.com

PHONE - 603-554-0792

---

January 9, 2021

Brian Blanchette  
250B Northwest Street  
Portsmouth, NH 03801

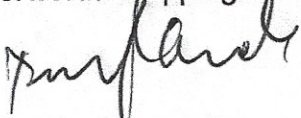
RE: 239 Northwest St  
Map 122 Lot 3

Dear Brian Blanchette,

This letter is being sent to you as required by the New Hampshire Department of Environmental Services, Water Division, Wetlands Bureau to inform you that Michael Petrin & Katie & Nathan Laverriere are applying to the Department for a wetland permit to remove a deck and a portion of the existing building and construct a 12 ft by 21.5 ft. addition at the rear of the existing structure on the property referenced above to which you are an abutter.

If you have any questions feel free to contact me at the above contact information or you may contact the NHDES Shoreland Program when the permit gets submitted.

Sincerely,  
Ferwerda Mapping LLC



Timothy Ferwerda  
NH Certified Wetland Scientist #039

**F**ERWERDA  
**M**APPING<sup>LLC</sup>

SOIL & WETLAND MAPPING

43 BARTLETT HILL ROAD, DEERING NH 03244

EMAIL - [tjferwda@gmail.com](mailto:tjferwda@gmail.com)

PHONE - 603-554-0792

---

January 9, 2021

Gregory & Amanda Morneault  
137 Northwest Street  
Portsmouth, NH 03801

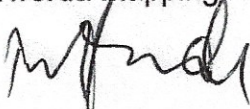
RE: 239 Northwest St  
Map 122 Lot 3

Dear Amanda & Gregory Morneault,

This letter is being sent to you as required by the New Hampshire Department of Environmental Services, Water Division, Wetlands Bureau to inform you that Michael Petrin & Katie & Nathan Laverriere are applying to the Department for a wetland permit to remove a deck and a portion of the existing building and construct a 12 ft by 21.5 ft. addition at the rear of the existing structure on the property referenced above to which you are an abutter.

If you have any questions feel free to contact me at the above contact information or you may contact the NHDES Shoreland Program when the permit gets submitted.

Sincerely,  
Ferwerda Mapping LLC



Timothy Ferwerda  
NH Certified Wetland Scientist #039

**F**ERWERDA  
**M**APPING<sup>LLC</sup>

SOIL & WETLAND MAPPING

43 BARTLETT HILL ROAD, DEERING NH 03244  
EMAIL - tjferwda@gmail.com      PHONE - 603-554-0792

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January 9, 2021

Peter & Joanne Mogren  
250A Northwest Street  
Portsmouth, NH 03801

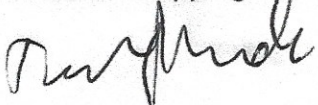
RE: 239 Northwest St  
Map 122 Lot 3

Dear Peter & Joanne Mogren,

This letter is being sent to you as required by the New Hampshire Department of Environmental Services, Water Division, Wetlands Bureau to inform you that Michael Petrin & Katie & Nathan Laverriere are applying to the Department for a wetland permit to remove a deck and a portion of the existing building and construct a 12 ft by 21.5 ft. addition at the rear of the existing structure on the property referenced above to which you are an abutter.

If you have any questions feel free to contact me at the above contact information or you may contact the NHDES Shoreland Program when the permit gets submitted.

Sincerely,  
Ferwerda Mapping LLC

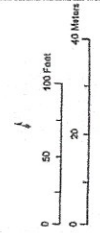


Timothy Ferwerda  
NH Certified Wetland Scientist #039

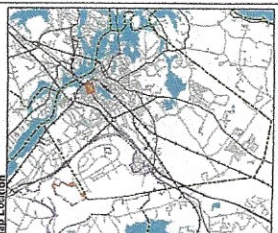


**Partial Legend**  
 See the cover sheet for the complete legend.  
 126 Lot or parcel number  
 23 Parcel area in acres (ac) or square feet (sq ft)  
 24 Address number  
 25 Parcel number from a neighboring map  
 26 Parcel street name

- Parcel/Street boundary
- Parcel/Street boundary
- Water
- Structure (100% data)
- Forest covered by this map
- Forest covered by other maps (see other maps for boundary lines)



This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels mapped as of April 1, 2019. Parcel boundaries shown on this map may not represent current structures. Street numbering on this map may be paper street numbers. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.



Portsmouth, New Hampshire  
 2019  
**Tax Map 122**





## New Hampshire Natural Heritage Bureau

---

**To:** Timothy Ferwerda  
43 Bartlett Hill Road  
Deering, NH 03244

**Date:** 11/25/2020

**From:** NH Natural Heritage Bureau

**Re:** Review by NH Natural Heritage Bureau of request dated 11/25/2020

VALID ONLY FOR NOTIFICATION OR MINIMUM EXPEDITED APPLICATIONS SUBMITTED TO  
THE NHDES WETLANDS BUREAU

NHB File ID: NHB20-3525

Applicant: Timothy Ferwerda

Location: Tax Map(s)/Lot(s): 122-3  
Portsmouth

**Project Description:** This project is to remove a deck and add a stairway and  
an addition to the north side of an existing house.

The NH Natural Heritage database has been checked for records of rare species and exemplary natural communities near the area mapped below. The species considered include those listed as Threatened or Endangered by either the state of New Hampshire or the federal government. We currently have no recorded occurrences for sensitive species near this project area.

A negative result (no record in our database) does not mean that a sensitive species is not present. Our data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to our office. However, many areas have never been surveyed, or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.

This report is valid through 11/24/2021.



MAP OF PROJECT BOUNDARIES FOR NHB FILE ID: NHB20-3525



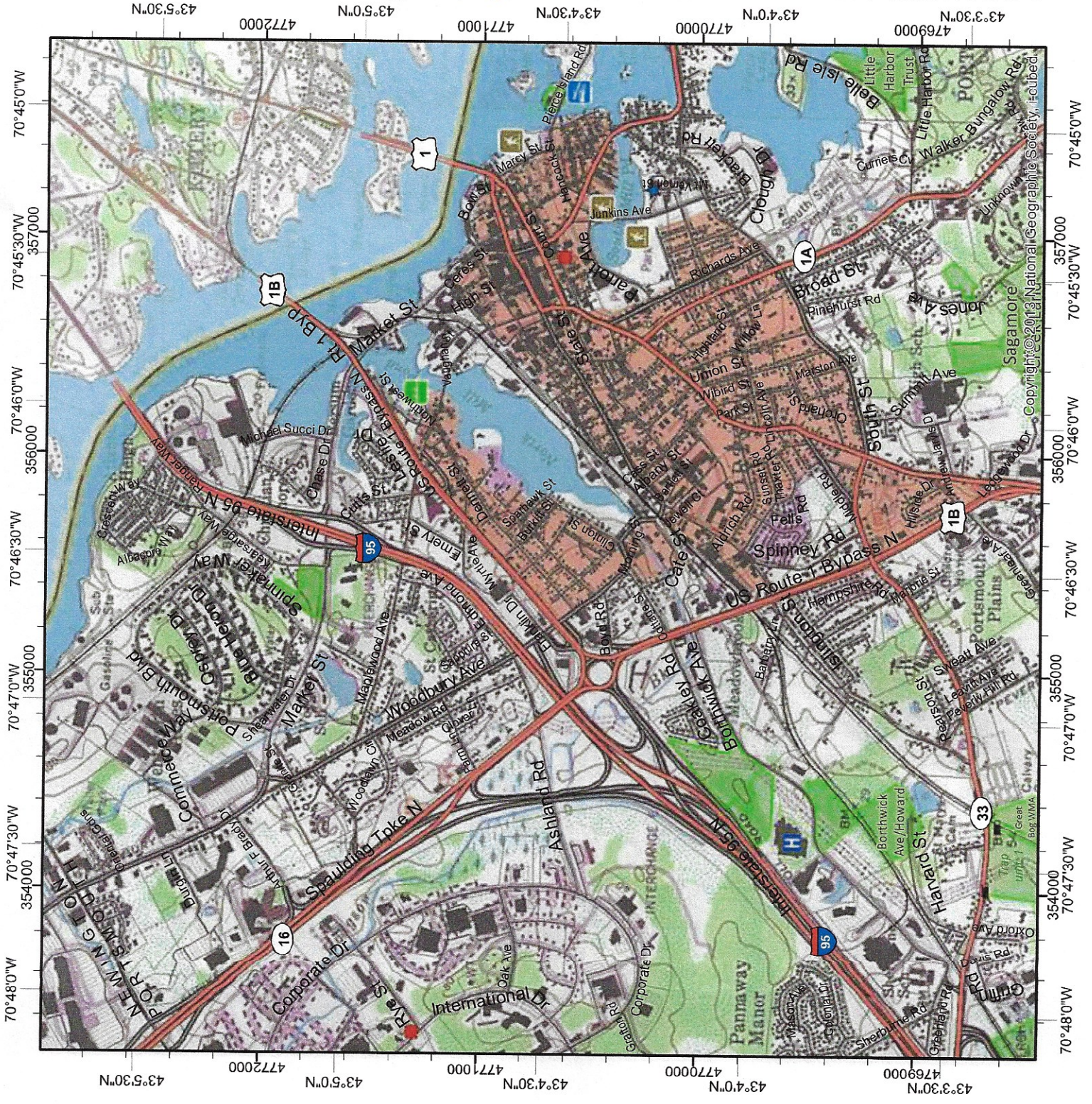
**MapID: 17006**  
**USGS quad: PORTSMOUTH 6**

- Canoe/Cartop water access
- Boat ramp
- Shorebank access
- Parking area
- Gate
- Route/highway
- Road or Street
- Gravel or Not Maintained
- Trail
- Town boundary
- Wildlife Mgt Unit boundary
- Stream/River
- Lake/Pond
- Wetland
- Conservation
- Parcel boundary (approx.)

Magnetic declination approximately 15° West of north

Forest  
 Contour  
 Building  
 Source: USGS and Open Street Map data

Map prepared by NHFG 7/15/2019  
 (NAD\_1983\_UTM\_Zone\_19N\_meters)  
 Data from NH GRANIT at Earth Systems Research Center UNH, Open Street Map contributors, and NHFG. NH GRANIT and cooperating agencies make no claim to validity or reliability or to any implied uses of the data. Access and/or activities may be Restricted. Trails and roads may be maintained for management access - not for recreational use. Not all land is open to hunting. NHFG recommends each hunter contact landowners when possible and seek permission.





**US Army Corps  
of Engineers**®  
New England District

**New Hampshire General Permits (GPs)  
Appendix B - Corps Secondary Impacts Checklist  
(for inland wetland/waterway fill projects in New Hampshire)**

1. Attach any explanations to this checklist. Lack of information could delay a Corps permit determination.
2. All references to “work” include all work associated with the project construction and operation. Work includes filling, clearing, flooding, draining, excavation, dozing, stumping, etc.
3. See GC 5, regarding single and complete projects.
4. Contact the Corps at (978) 318-8832 with any questions.

1. Impaired Waters	Yes	No
1.1 Will any work occur within 1 mile upstream in the watershed of an impaired water? See <a href="http://des.nh.gov/organization/divisions/water/wmb/section401/impaired_waters.htm">http://des.nh.gov/organization/divisions/water/wmb/section401/impaired_waters.htm</a> to determine if there is an impaired water in the vicinity of your work area.*	X	
2. Wetlands	Yes	No
2.1 Are there are streams, brooks, rivers, ponds, or lakes within 200 feet of any proposed work?	X	
2.2 Are there proposed impacts to SAS, special wetlands. Applicants may obtain information from the NH Department of Resources and Economic Development Natural Heritage Bureau (NHB) DataCheck Tool for information about resources located on the property at <a href="https://www2.des.state.nh.us/nhb_datacheck/">https://www2.des.state.nh.us/nhb_datacheck/</a> . The book <a href="#">Natural Community Systems of New Hampshire</a> also contains specific information about the natural communities found in NH.		X
2.3 If wetland crossings are proposed, are they adequately designed to maintain hydrology, sediment transport & wildlife passage?	N/A	
2.4 Would the project remove part or all of a riparian buffer? (Riparian buffers are lands adjacent to streams where vegetation is strongly influenced by the presence of water. They are often thin lines of vegetation containing native grasses, flowers, shrubs and/or trees that line the stream banks. They are also called vegetated buffer zones.)		X
2.5 The overall project site is more than 40 acres?		X
2.6 What is the area of the previously filled wetlands?	0	
2.7 What is the area of the proposed fill in wetlands?	0	
2.8 What is the % of previously and proposed fill in wetlands to the overall project site?	0	
3. Wildlife	Yes	No
3.1 Has the NHB & USFWS determined that there are known occurrences of rare species, exemplary natural communities, Federal and State threatened and endangered species and habitat, in the vicinity of the proposed project? (All projects require an NHB ID number & a USFWS IPAC determination.) NHB DataCheck Tool: <a href="https://www2.des.state.nh.us/nhb_datacheck/">https://www2.des.state.nh.us/nhb_datacheck/</a> USFWS IPAC website: <a href="https://ecos.fws.gov/ipac/location/index">https://ecos.fws.gov/ipac/location/index</a>		X

3.2 Would work occur in any area identified as either “Highest Ranked Habitat in N.H.” or “Highest Ranked Habitat in Ecological Region”? (These areas are colored magenta and green, respectively, on NH Fish and Game’s map, “2010 Highest Ranked Wildlife Habitat by Ecological Condition.”) Map information can be found at: <ul style="list-style-type: none"> <li>• PDF: <a href="https://wildlife.state.nh.us/wildlife/wap-high-rank.html">https://wildlife.state.nh.us/wildlife/wap-high-rank.html</a>.</li> <li>• Data Mapper: <a href="http://www.granit.unh.edu">www.granit.unh.edu</a>.</li> <li>• GIS: <a href="http://www.granit.unh.edu/data/downloadfreedata/category/databycategory.html">www.granit.unh.edu/data/downloadfreedata/category/databycategory.html</a>.</li> </ul>			X
3.3 Would the project impact more than 20 acres of an undeveloped land block (upland, wetland/waterway) on the entire project site and/or on an adjoining property(s)?			X
3.4 Does the project propose more than a 10-lot residential subdivision, or a commercial or industrial development?			X
3.5 Are stream crossings designed in accordance with the GC 21?		N/A	
<b>4. Flooding/Floodplain Values</b>	Yes	No	
4.1 Is the proposed project within the 100-year floodplain of an adjacent river or stream?			X
4.2 If 4.1 is yes, will compensatory flood storage be provided if the project results in a loss of flood storage?			X
<b>5. Historic/Archaeological Resources</b>			
For a minimum, minor or major impact project - a copy of the Request for Project Review (RPR) Form ( <a href="http://www.nh.gov/nhdhr/review">www.nh.gov/nhdhr/review</a> ) with your DES file number shall be sent to the NH Division of Historical Resources as required on Page 11 GC 8(d) of the GP document**			X

\*Although this checklist utilizes state information, its submittal to the Corps is a Federal requirement.

\*\* If your project is not within Federal jurisdiction, coordination with NH DHR is not required under Federal law.

Please mail the completed form and required material to:

New Hampshire Division of Historical Resources  
State Historic Preservation Office  
Attention: Review & Compliance  
19 Pillsbury Street, Concord, NH 03301-3570

DHR Use Only	
R&C #	_____
Log In Date	___ / ___ / ___
Response Date	___ / ___ / ___
Sent Date	___ / ___ / ___

## Request for Project Review by the New Hampshire Division of Historical Resources

- This is a new submittal  
 This is additional information relating to DHR Review & Compliance (R&C) #:

### GENERAL PROJECT INFORMATION

Project Title Michael Petrin, Katie & Nathan Laverriere

Project Location 239 Northwest Street

City/Town Portsmouth Tax Map 122 Lot # 3

NH State Plane - Feet Geographic Coordinates: Easting 1225162 Northing 213641  
(See RPR Instructions and R&C FAQs for guidance.)

Lead Federal Agency and Contact (if applicable) ACOE  
(Agency providing funds, licenses, or permits)  
Permit Type and Permit or Job Reference # wetland

State Agency and Contact (if applicable) NHDES Wetlands Bureau  
Permit Type and Permit or Job Reference # wetland permit

### APPLICANT INFORMATION

Applicant Name Michael petrin, Katie & Nathan Laverriere

Mailing Address 268 Dennett St Phone Number

City Portsmouth State NH Zip 03801 Email

### CONTACT PERSON TO RECEIVE RESPONSE

Name/Company Ferwerda Mapping LLc - Timothy Ferwerda

Mailing Address 43 Bartlett Hill Road Phone Number -5540792

City Deering State NH Zip 03244 Email tjfwrda@gmail.com

*This form is updated periodically. Please download the current form at [www.nh.gov/nhdhr/review](http://www.nh.gov/nhdhr/review). Please refer to the Request for Project Review Instructions for direction on completing this form. Submit one copy of this project review form for each project for which review is requested. Include a self-addressed stamped envelope to expedite review response. Project submissions will not be accepted via facsimile or e-mail. This form is required. Review request form must be complete for review to begin. Incomplete forms will be sent back to the applicant without comment. Please be aware that this form may only initiate consultation. For some projects, additional information will be needed to complete the Section 106 review. All items and supporting documentation submitted with a review request, including photographs and publications, will be retained by the DHR as part of its review records. Items to be kept confidential should be clearly identified. For questions regarding the DHR review process and the DHR's role in it, please visit our website at: [www.nh.gov/nhdhr/review](http://www.nh.gov/nhdhr/review) or contact the R&C Specialist at [marika.labash@dncr.nh.gov](mailto:marika.labash@dncr.nh.gov) or 603.271.3558.*

**PROJECTS CANNOT BE PROCESSED WITHOUT THIS INFORMATION**

Project Boundaries and Description

- Attach the Project Mapping *using EMMIT or relevant portion of a 7.5' USGS Map.* (See RPR Instructions and R&C FAQs for guidance.)
- Attach a detailed narrative description of the proposed project.
- Attach a site plan. The site plan should include the project boundaries and areas of proposed excavation.
- Attach photos of the project area (overview of project location and area adjacent to project location, and specific areas of proposed impacts and disturbances.) (Informative photo captions are requested.)
- A DHR records search must be conducted to identify properties within or adjacent to the project area. Provide records search results via EMMIT or in **Table 1.** (Blank table forms are available on the DHR website.)  
EMMIT or in-house records search conducted on 12/21/2020.

Architecture

Are there any buildings, structures (bridges, walls, culverts, etc.) objects, districts or landscapes within the project area?  Yes  No  
If no, skip to Archaeology section. If yes, submit all of the following information:

Approximate age(s): 190 yrs.

- Photographs of *each* resource or streetscape located within the project area, with captions, along with a mapped photo key. (Digital photographs are accepted. All photographs must be clear, crisp and focused.)
- If the project involves rehabilitation, demolition, additions, or alterations to existing buildings or structures, provide additional photographs showing detailed project work locations. (i.e. Detail photo of windows if window replacement is proposed.)

Archaeology

Does the proposed undertaking involve ground-disturbing activity?  Yes  No  
If yes, submit all of the following information:

- Description of current and previous land use and disturbances.
- Available information concerning known or suspected archaeological resources within the project area (such as cellar holes, wells, foundations, dams, etc.)

**Please note that for many projects an architectural and/or archaeological survey or other additional information may be needed to complete the Section 106 process.**

**DHR Comment/Finding Recommendation** *This Space for Division of Historical Resources Use Only*

- Insufficient information to initiate review.**  Additional information is needed in order to complete review.
- No Potential to cause Effects  No Historic Properties Affected  No Adverse Effect  Adverse Effect

Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*If plans change or resources are discovered in the course of this project, you must contact the Division of Historical Resources as required by federal law and regulation.*

Authorized Signature: \_\_\_\_\_ Date: \_\_\_\_\_

# Search Results

[Back to Search](#)

[Export Results](#)

[Go to Home](#)

[Historic & Project Areas](#) 2

[Historical Properties](#) 0

[Archaeology Reports](#) 0

[Archaeological Sites](#) 0

	Area ID Code	Area Name	Eligibility	DOE Dat
<a href="#">View</a>   <a href="#">Zoom</a>	POR-00CS	Portsmouth, Christian Shore	NR Eligible	01/10/20
<a href="#">View</a>   <a href="#">Zoom</a>	POR-SMLP	Portsmouth, Sarah Mildred Long Project	Not Reviewed For Eligibility	11/14/20



Project Areas



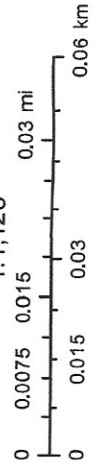
# 239 Northwest Street



December 21, 2020

- Historic Districts
- Project Areas
- Towns
- Countries

1:1,128



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

NH Division of Historical Resources  
Determination of Eligibility (DOE)

Date received:

Inventory #:

Date of group review: 11/14/2012; 1/23/13 Area: POR-SMLP Sarah Mildred Long Bridge Project

DHR staff: Nadine

Property Name: Sarah Mildred Long Bridge Project Area

Town/City: Portsmouth

Address:

County: Rockingham

Reviewed for: R&C PTI NR SR Survey Other  
Agency, if appropriate: FHWA/DOT

Individual Properties

NR SR  
 Not evaluated for individual eligibility  
 Eligible  
 Eligible, also in district  
 Eligible, in district  
 Not eligible  
 Incomplete information or evaluation

Districts

NR SR  
 Not evaluated @ district  
 Eligible  
 Not eligible  
 Incomplete information or evaluation

Integrity:  ALL ASPECTS  Location  Design  Setting  Materials  
 Workmanship  Feeling  Association

Criteria:  A. Event  B. Person  C. Architecture/Engineering  
 D. Archaeology  E. Exception

Level:  Local  State  National

IF THIS PROPERTY IS REVIEWED IN THE FUTURE, ADDITIONAL DOCUMENTATION IS NEEDED.

STATEMENT OF SIGNIFICANCE:

The Sarah Mildred Long Bridge project area encompasses a large portion of Portsmouth. The area extends as far north as a neighborhood adjacent to the Route 1 bypass and as far south as downtown Portsmouth with Congress, Daniel, and Islington streets forming the southern border. Cutts Street and Maplewood Avenue are the western boundary, while the New Hampshire-Maine state line and the Piscataqua River serve as the eastern boundary. Interstate 95 runs north of the project area, while to the south and west are historically residential and commercial areas of Portsmouth. The area has a long and varied history, starting in the early 1600s when London merchants secured a land grant near the mouth of the Piscataqua River. The project area form provides a chronological history of the area, architectural overview, and highlights resources that have been previously surveyed. A table and accompanying map show some of the properties. The area form highlights those areas that have lost integrity and are not recommended for future survey (Vaughan Street Urban Renewal Project) and areas that warrant future survey (Bersum Gardens).

ENTERED INTO DATABASE

ACREAGE: +/- 302 acres

PERIOD OF SIGNIFICANCE: N/A

AREA OF SIGNIFICANCE: N/A

BOUNDARY: from a residential neighborhood located north of the Route 1 bypass south to northern portion of downtown Portsmouth, restrained by Maplewood Avenue to the west and Piscataqua River to east.

SURVEYOR: Amanda Taylor and Kate Willis/Kleinfelder

**NH Division of Historical Resources  
Determination of Eligibility (DOE)**

Date received: 12/22/06

Inventory #: POR0099-POR0107

Date of group review: 1/10/07

Area: Christian Shore Historic District (CS)

DHR staff: Beth

Town/City: Portsmouth

Property name: --

County: Rockingham

Address: Maplewood Avenue, Dennett Street, Northwest Street and smaller side streets

Reviewed for: R&C PTI NR SR Survey Other  
FHWA/DOT

**Individual Properties**

NR	SR
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Eligible (two NR listed)
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Eligible, also in district
<input type="checkbox"/>	<input type="checkbox"/> Eligible, in district
<input type="checkbox"/>	<input type="checkbox"/> Not eligible
<input type="checkbox"/>	<input type="checkbox"/> More information needed
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Not evaluated for individual eligibility

**Districts**

NR	SR
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Eligible
<input type="checkbox"/>	<input type="checkbox"/> Not eligible
<input type="checkbox"/>	<input type="checkbox"/> More information needed
<input type="checkbox"/>	<input type="checkbox"/> Not evaluated @ district

Integrity: Location Design Setting Materials  
Workmanship Feeling Association

Criteria: A. Event B. Person C. Architecture/Engineering  
D. Archaeology E. Exception

Level: Local State National

**STATEMENT OF SIGNIFICANCE:**

IF THIS PROPERTY IS REVIEWED IN THE FUTURE, ADDITIONAL DOCUMENTATION WILL BE NEEDED.

In this area form, the history and development of the Christian Shore neighborhood is assembled from the written records of its residents from the late 17<sup>th</sup> century to the mid 20<sup>th</sup> century. These research materials include census, directory, tax and deeds records, along with town histories and other secondary sources. The architectural description summarizes the major stylistic and building trends from the same period in Portsmouth and gives examples in Christian Shore for each stylistic period. The text is supplemented with historic and current photos (taken in 2003 and 2006) and copies of historic maps. The surveyor concludes that Christian Shore, with its densely constructed and well-preserved building stock, is eligible for the National Register under criteria A and C. A ten-page property table lists each contributing and non-contributing resource in the district. The DHR concurs with these findings, but it is important to note that this area form does not conform the state's current guidance on completing historic district area forms. The detailed descriptions of each property provide starting points for research on individual houses, but it is almost impossible to understand the district's broader patterns of history and development within Portsmouth among so much detail. Many of the details should be summarized and then synthesized into a more thematic chronological history of Christian Shore. If the consultant wishes to include this level of research detail or notes in future submissions, it could be compiled in an appendix. Please also refer to current guidance (NHDHR 5/18/04) as to how the architectural section should be presented in a historic district area form, the need for a contextual evaluation, and correlation between the text and photos.

ENTERED INTO DATABASE

ACREAGE: 29.5 acres

PERIOD OF SIGNIFICANCE: 1664-1940

AREA OF SIGNIFICANCE: architecture, community planning and development

BOUNDARY: as described and mapped on pages 51-55

SURVEYOR: Kari Laprey, Preservation Company, for FHWA/DOT

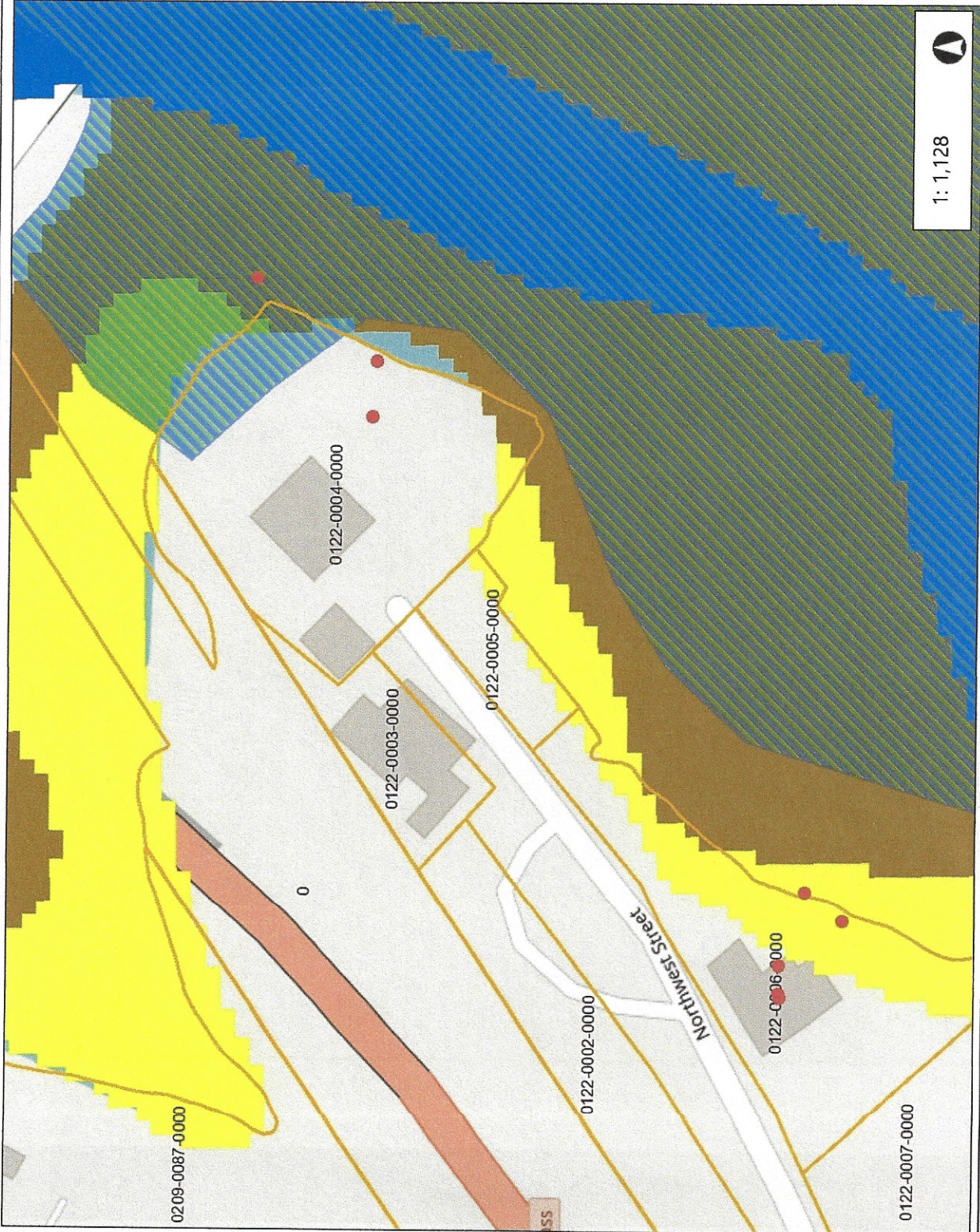
FOLLOW-UP: Notify surveyor and agencies.

Final DOE approved by:

*E J Muzzey*



# Your Organization | Priority Resource Areas - 239 Northwest St, Portsmouth



1: 1,128

## Legend

- Aquaculture Sites - 2015
- NHDES Wetland and Shoreland
- NH Parcel Mosaic
- Flood Plain Wetlands Adjacent
- Prime Wetlands with 100 ft Buffer
- Prime Wetlands
- Peatlands
- Designated Rivers
  - Subject to SWQPA
  - Not Subject to SWQPA
- Sand Dunes
  - backdune
  - foredune
  - interdune
  - other
- Tidal Waters / Tidal Wetlands
  - Tidal wetland
  - Transitional salt marsh
  - Salt marsh
  - Mud flat
  - Tidal water

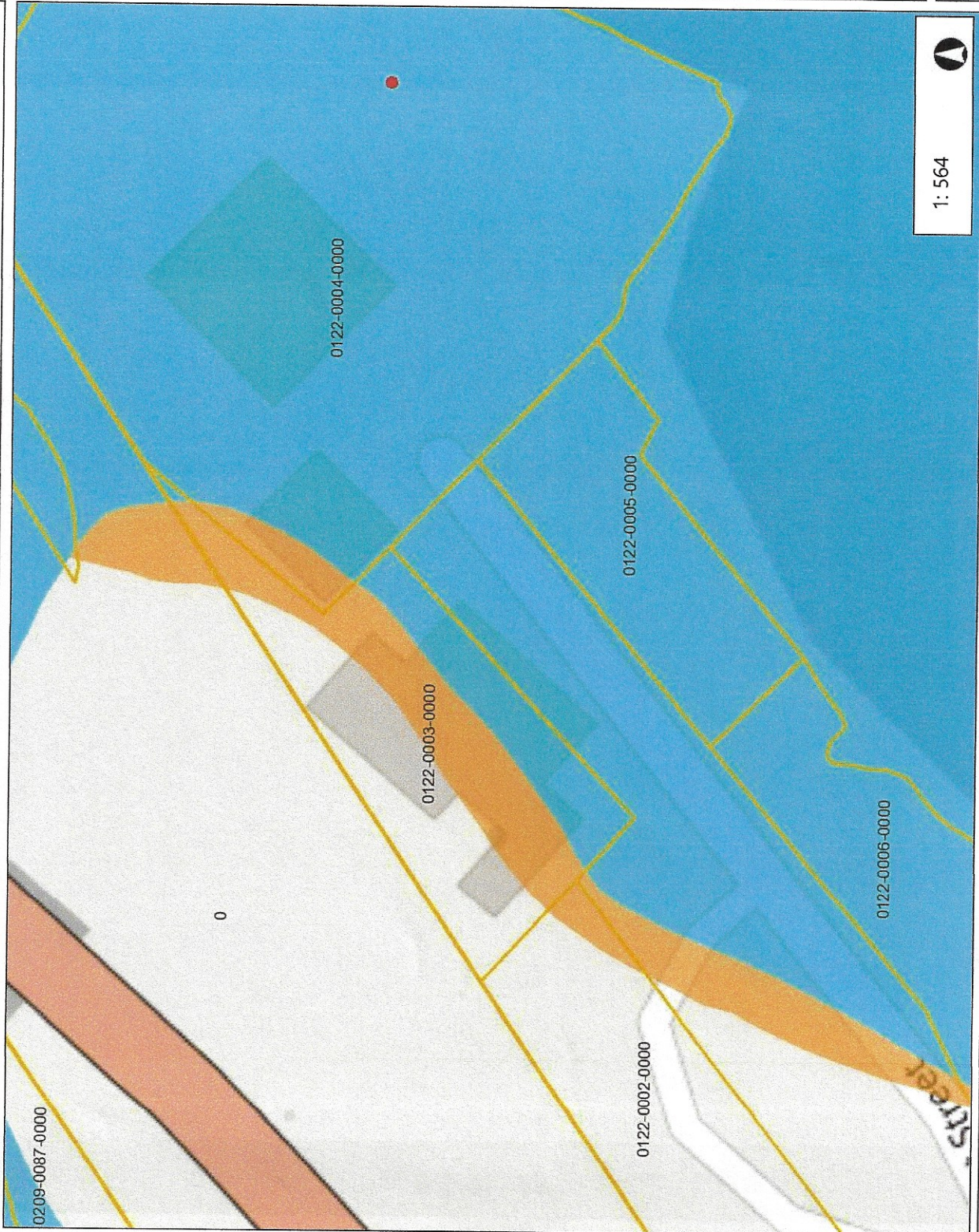
## Notes

Michael Petrin

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 © Latitude Geographics Group Ltd.



1: 564

- Legend**
- NHDES Wetland and Shoreland
  - NH Parcel Mosaic
  - Designated Rivers
  - Subject to SWQPA
  - Not Subject to SWQPA
  - FEMA Floodplains
    - 1 pct. Annual Chance Flood Hazard
    - Floodway
    - 0.2 pct. Annual Chance Flood Hazard
    - Area of Undetermined Flood Hazard
    - Area Protected by Levee

Notes

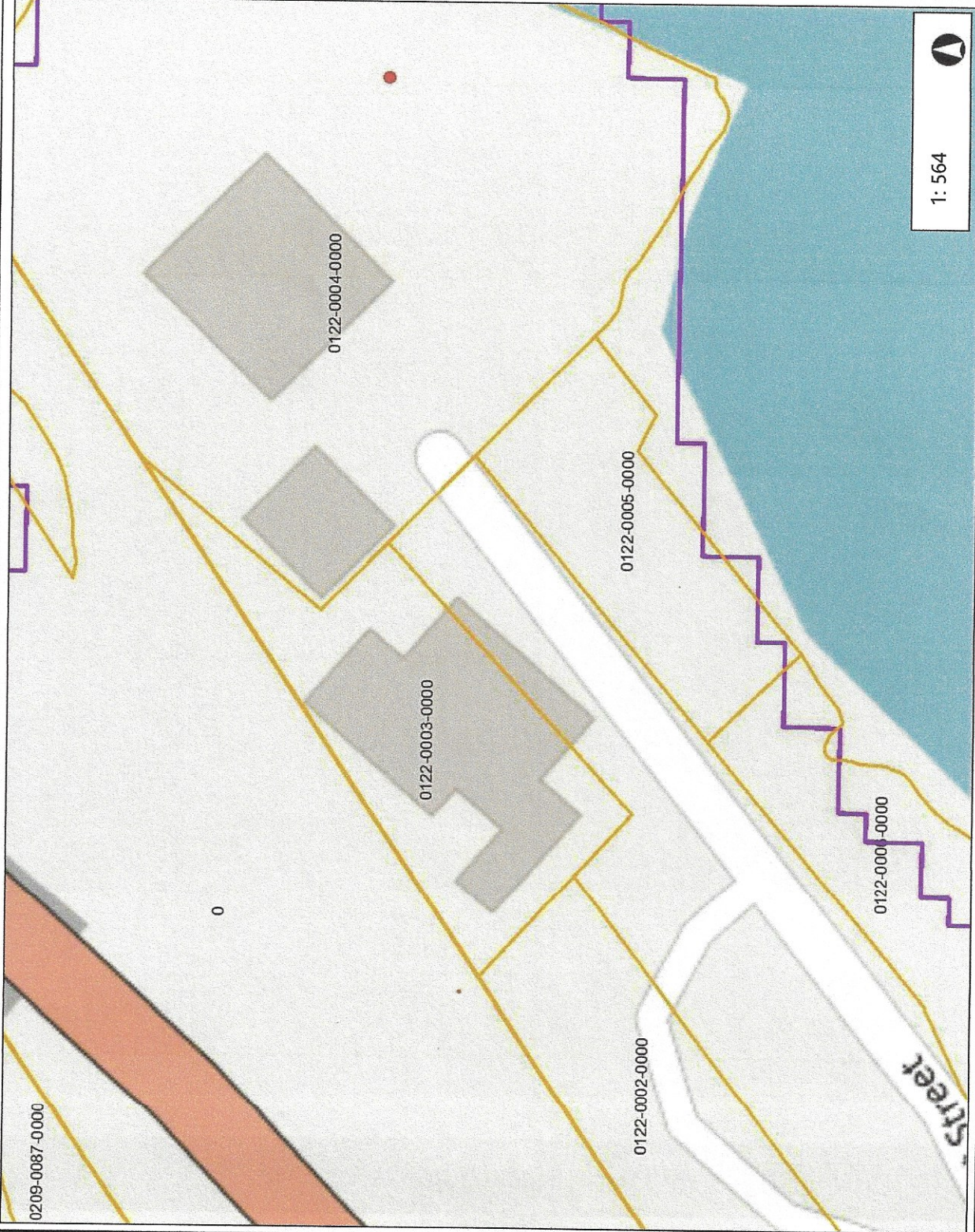
239 Northwest St

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



Your Organization | MHHW baseline



1: 564



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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 © Latitude Geographics Group Ltd.

Legend

- NHDES Wetland and Shoreland
- NH Parcel Mosaic
- MHHW Baseline

Notes

239 Northwest St



# Your Organization | MHHW baseline + 1 Ft SLR



## Legend

- NHDES Wetland and Shoreland
- NH Parcel Mosaic
- MHHW Baseline
- MHHW + 1-ft SLR
  - 0-2
  - 2-4
  - 4-6
  - 6-8
  - 8-10

## Notes

239 Northwest St

1: 564

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0.0 Miles

0.01

0



# Your Organization | MHHW baseline + 2 Ft SLR



1: 564

### Legend

- NHDES Wetland and Shoreland
  - NH Parcel Mosaic
  - MHHW Baseline
  - MHHW + 2-ft SLR
- |      |
|------|
| 0-2  |
| 2-4  |
| 4-6  |
| 6-8  |
| 8-10 |
| 10+  |

### Notes

239 Northwest St

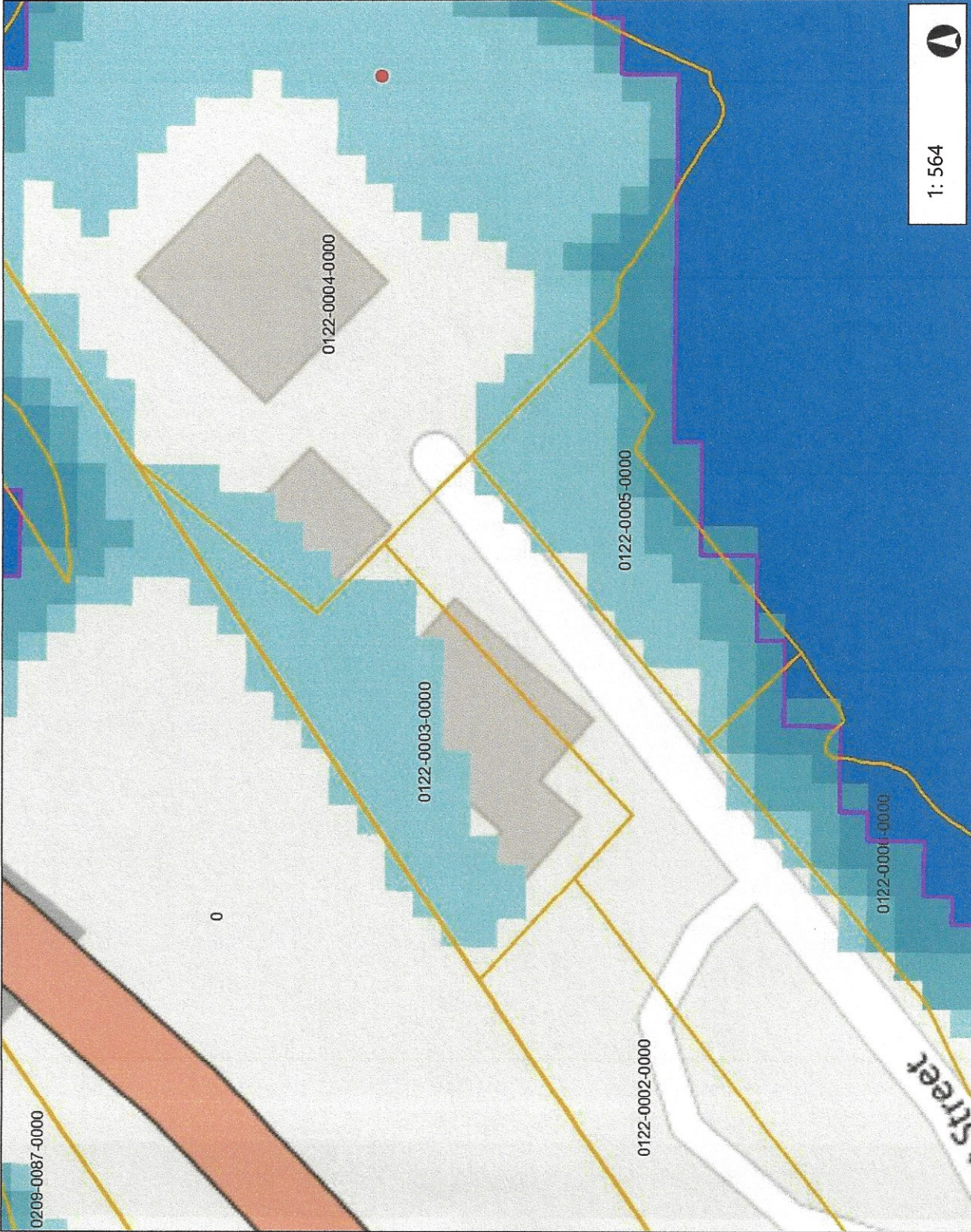
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**





Your Organization | MHHW baseline + 4 Ft SLR



1: 564

Legend

- NHDES Wetland and Shoreland
- NH Parcel Mosaic
- MHHW Baseline
- MHHW + 4-ft SLR
  - 0-2
  - 2-4
  - 4-6
  - 6-8
  - 8-10
  - 10+

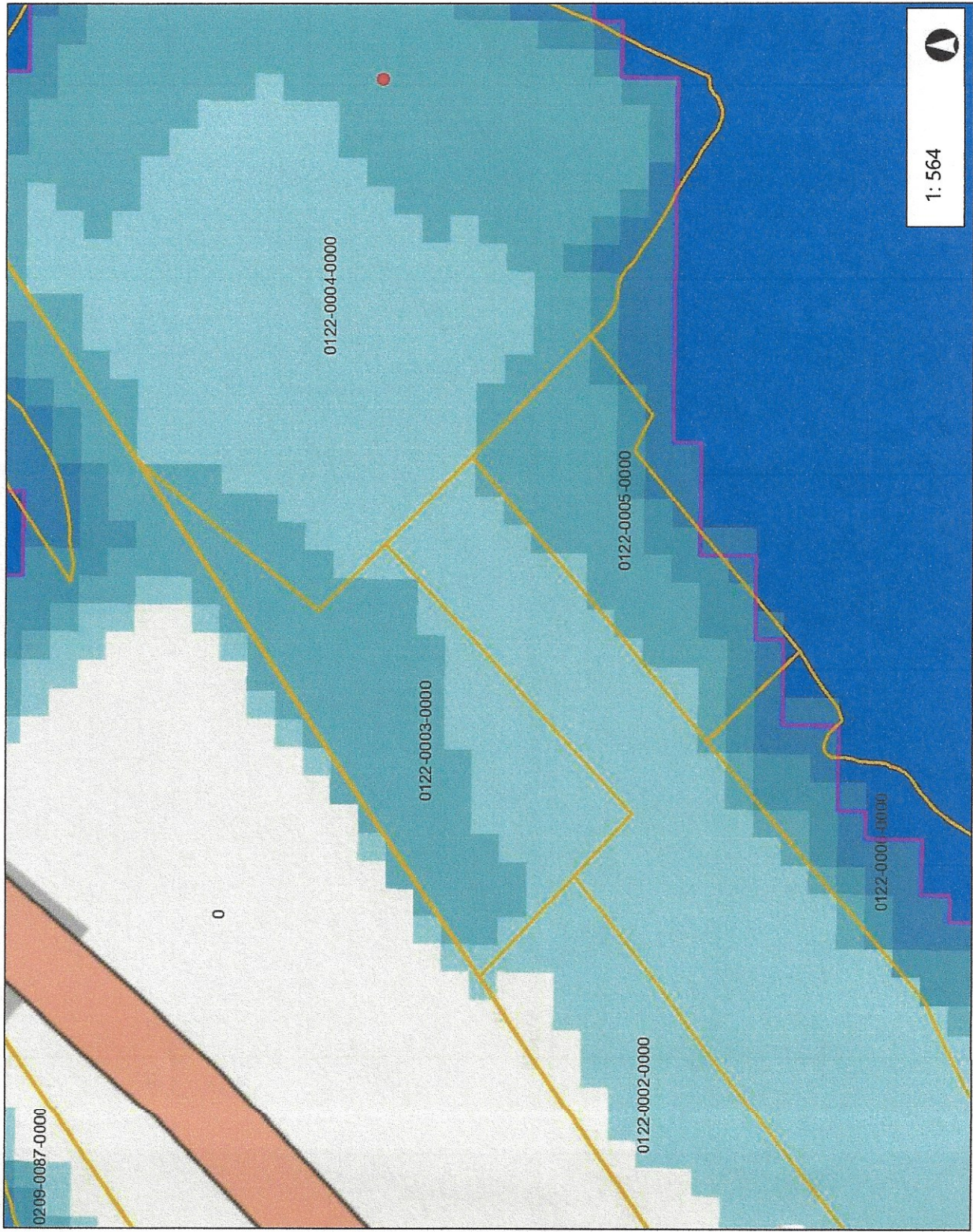
Notes

239 Northwest St

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1: 564

Legend

- NHDES Wetland and Shoreland
  - NH Parcel Mosaic
  - MHHW Baseline
  - MHHW + 6-ft SLR
- |      |
|------|
| 0-2  |
| 2-4  |
| 4-6  |
| 6-8  |
| 8-10 |
| 10+  |

Notes

239 Northwest St

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0.0 Miles





(<https://www.noaa.gov/>)

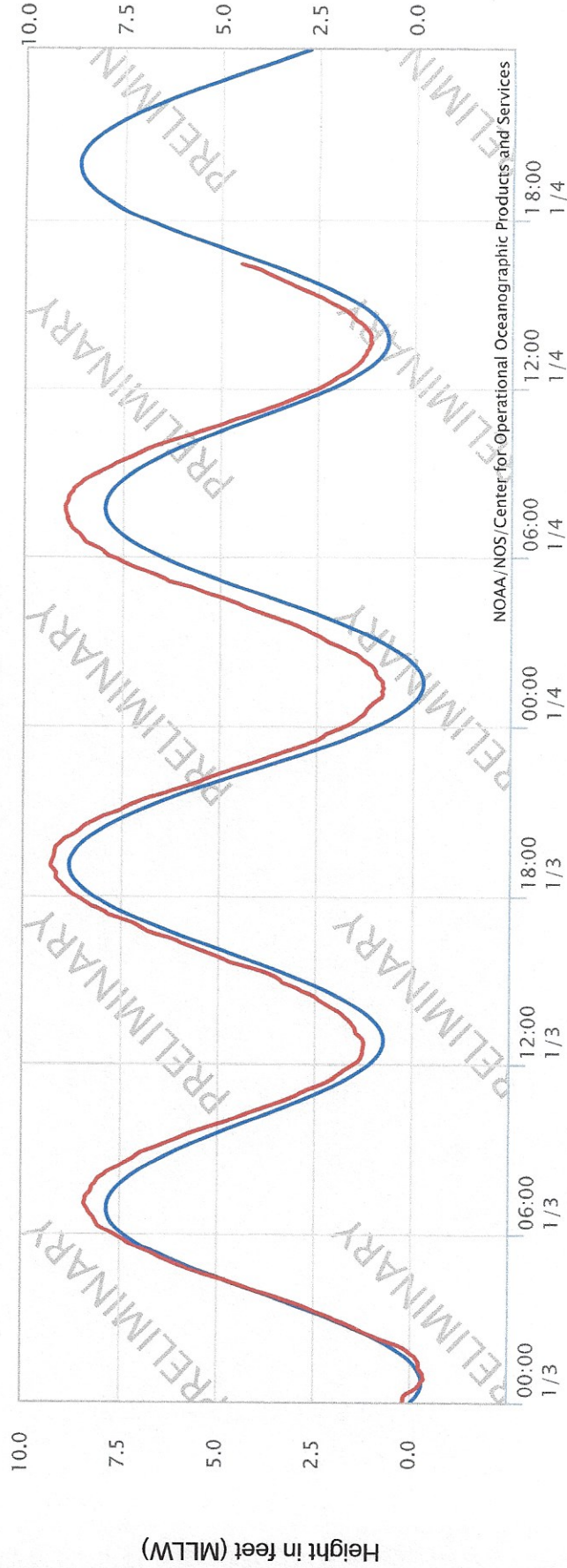


Home (/) / Products (products.html) / Water Levels (stations.html?type=Water+Levels) / 8419870 Seavey Island, ME  
Favorite Stations

Station Info | Tides/Water Levels | Meteorological Obs. | Phys. Oceanography | PORTS® (/ports/ports.html?id=8419870)

OFS (/o/s/ofs\_station.shtml?stname=Seavey+Island&ofs=gom&stnid=8419870&subdomain=0)

NOAA/NOS/CO-OPS  
Observed Water Levels at 8419870, Seavey Island ME  
From 2021/01/03 00:00 GMT to 2021/01/04 23:59 GMT



Options for



Zoom:      Extent:      Location

Help:

DDD: 43.251 lat, -74.031 long

EFH View Tool		Data Query Tool	
			Juvenile
			Eggs Larvae Juvenile
			Adult Juvenile
			Adult

**HAPCs**

No Habitat Areas of Particular Concern (HAPC) were identified at the report location.

**FFH Areas Protected from Fishing**

# FERWERDA MAPPING LLC

SOIL & WETLAND MAPPING

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EMAIL - tjfrwrda@gmail.com

PHONE - 603-554-0792

Photo 1 – 11/18/20



Photo 2 – 11/18/20



Photo 3 – 11/18/20

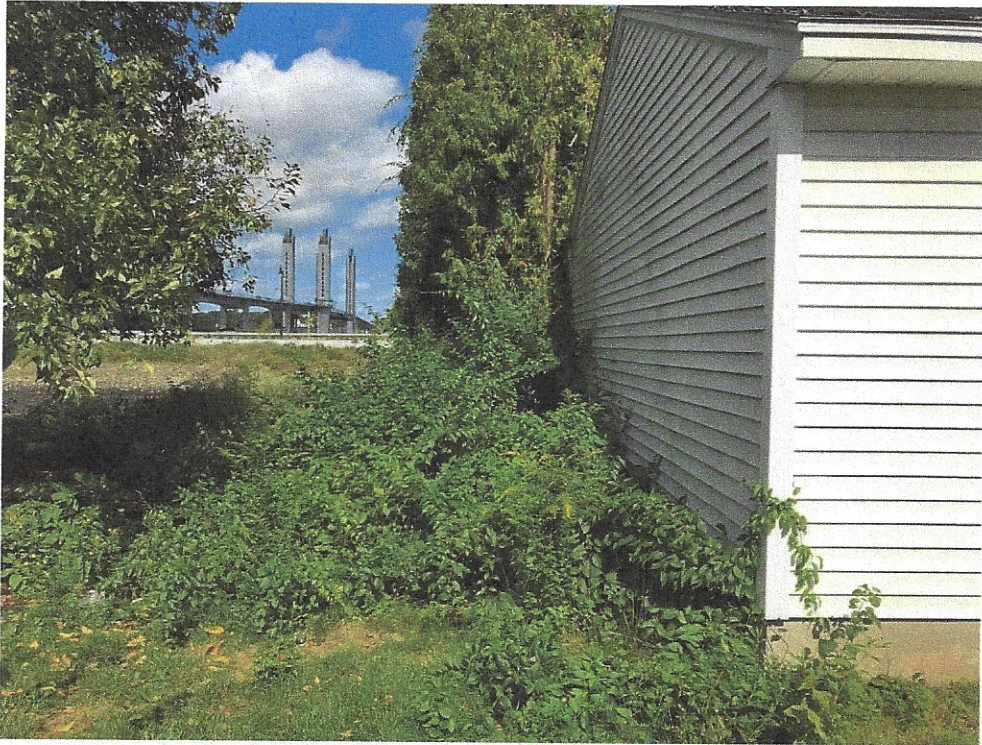


Photo 4 – 11/18/20



Photo 5 – 11/18/20



Photo 6 – 11/18/20



Photo 7 – 11/18/20



Photo 8 – 11/18/20

