

**AMBIT ENGINEERING, INC.** CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

1 March 2021

Mr. Dexter Legg, Chair  
City of Portsmouth Planning Board  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Portsmouth Maple Masjid, 686 Maplewood Avenue, Site Plan Approval  
Request for Additional One Year extension**

Chairman Legg and Planning Board Members;

On behalf of the Portsmouth Maple Masjid, we hereby submit a request for an additional one year extension of the Site Plan Approval granted April 18, 2019 for property located at 686 Maplewood Avenue. Covid has impacted many of our Client's activities and projects, in particular the ability to get the Mosque project started. Most of their activities last year and earlier this year centered around getting contractors bids reviewed and negotiated and they are in the process of selecting a contractor for the site development and building to start later this year. As you are probably aware, the pandemic has not slowed the workflow for construction projects, rather there has been an increase in demand for contractors. The extension is necessary for the applicant to be able to begin the project.

Please let me know if you have any questions about the project.

Sincerely,

*John Chagnon*

John R. Chagnon, PE  
Ambit Engineering

CC: ISSA, Bosen and Associates

**AMBIT ENGINEERING, INC.** CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

22 March, 2021

Juliet Walker, Chair  
City of Portsmouth Technical Advisory Committee  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Portsmouth Maple Masjid, 686 Maplewood Avenue, Site Plan Approval  
Request for Additional One Year extension**

Dear Ms. Walker and Technical Advisory Committee members:

On behalf of the Portsmouth Maple Masjid, we hereby submit a request for an additional one year extension of the Site Plan Approval granted April 18, 2019 for property located at 686 Maplewood Avenue. Covid has impacted many of our Client's activities and projects, in particular the ability of this Client to get the Mosque project started. Most of their activities last year and earlier this year centered around getting contractors bids reviewed and negotiated and they are in the process of selecting a contractor for the site development and building to start later this year. As you are probably aware, the pandemic has not slowed the workflow for construction projects, rather there has been an increase in demand for contractors. The extension is necessary for the applicant to be able to begin the project.

Work has been progressing on Maplewood Avenue in front of the project site. The site has been used by the contractor for staging. The utility stubs have been installed to the property; so there will not be a need to disturbed the completed roadway for the project; except to coordinate the driveway. A copy of the contractor's utility locations is attached.

The Plan Set submitted is unchanged from the approved plans, with the following edits:

- The Cover Sheet Date has been updated
- The Recording Site Plan has been added
- The Architectural Plans have been updated

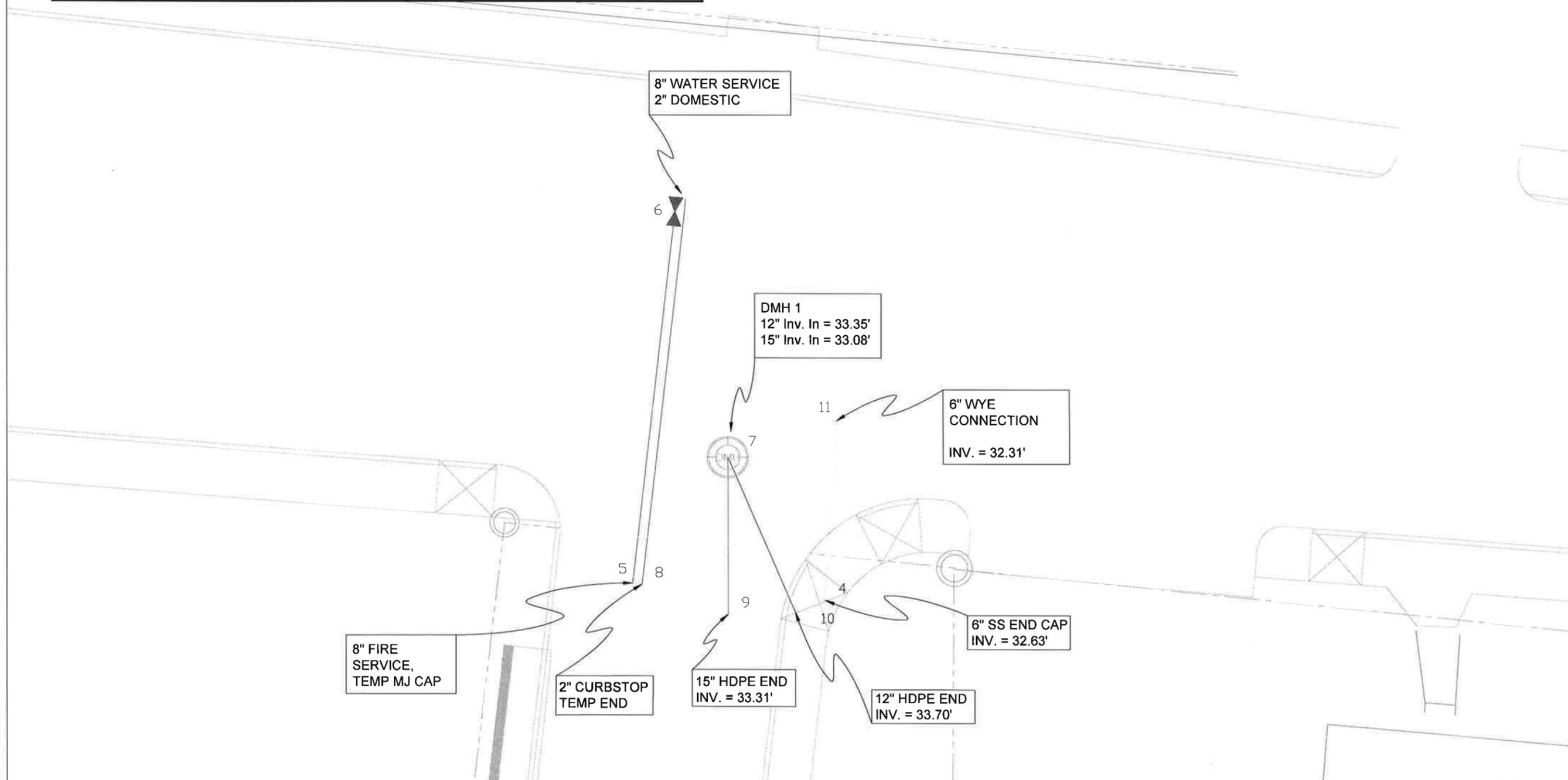
We look forward to reviewing the project at the April 6, 2021 Technical Advisory Committee Meeting.

Sincerely,

*John Chagnon*

John Chagnon, PE  
Ambit Engineering, Inc.  
CC: ISSA

Point Number	Northing	Easting	Description
4	213001.62	1222698.32	Temp End Cap 6" PVC Sewer
5	213003.37	1222678.16	MJ End Cap 8" Fire
6	213042.09	1222682.67	8" Gate Valve
7	213016.47	1222688.17	Drain Manhole
8	213003.25	1222679.15	2" Curbstop
9	213000.15	1222688.19	Temp End 15" SD
10	213000.4	1222695.21	Temp End 12" SD
11	213020.29	1222699.53	Top 6" Wye at Sewer Connection



NO.	REVISION	DATE

**SARGENT CORPORATION**  
 578 BENNOCK ROAD  
 STILLWATER, MAINE



**Utility As-Builts**  
 Portsmouth, Maple Mead  
 888 Maplewood Avenue  
 Portsmouth, NH

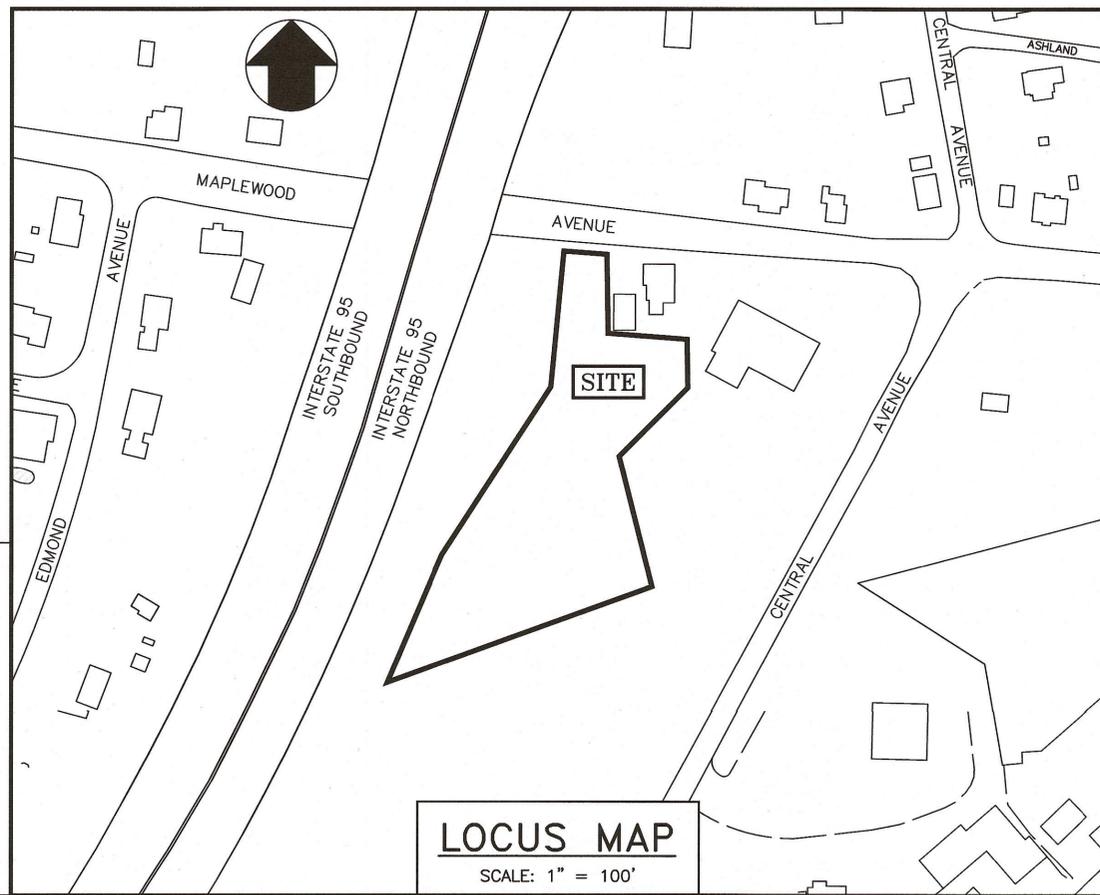
DRAWN BY:	AH
CHECKED BY:	AH
DATE:	08/22/19
SCALE:	1" = 5'

# PROPOSED SITE PLAN PORTSMOUTH MAPLE MASJID 686 MAPLEWOOD AVENUE

PORTSMOUTH, NEW HAMPSHIRE  
PERMIT PLAN

**LEGEND:**

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	---	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
100	100	CONTOUR
97x3	98x0	SPOT ELEVATION
⊙	⊙	UTILITY POLE
⊙	⊙	WALL MOUNTED EXTERIOR LIGHTS
⊙	⊙	TRANSFORMER ON CONCRETE PAD
⊙	⊙	ELECTRIC HANDHOLD
⊙	⊙	SHUT OFFS (WATER/GAS)
⊙	⊙	GATE VALVE
⊙	⊙	HYDRANT
⊙	⊙	CATCH BASIN
⊙	⊙	SEWER MANHOLE
⊙	⊙	DRAIN MANHOLE
⊙	⊙	TELEPHONE MANHOLE
⊙	⊙	PARKING SPACE COUNT
⊙	⊙	PARKING METER
LSA	LSA	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	AC	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



**LOCUS MAP**  
SCALE: 1" = 100'



**Legend**

**Character Districts**

- Character-Based Zoning Area (Refer to Zoning Map Sheet 2 of 2 Character Districts Regulating Plan)

**Residential Districts**

- R Rural
- SRA Single Residence A
- SRB Single Residence B
- GRA General Residence A
- GRB General Residence B
- GRC General Residence C
- GAMH Garden Apartment/Mobile Home Park

**Mixed Residential Districts**

- MRO Mixed Residential Office
- MRB Mixed Residential Business

## INDEX OF SHEETS

DWG No.	Description
-	EXISTING CONDITIONS AND TOPOGRAPHY PLAN
-	SITE PLAN (RECORDING)
C1	DEMOLITION PLAN
C2	SITE LAYOUT PLAN
C3	UTILITY PLAN
C4	GRADING, DRAINAGE & EROSION CONTROL PLAN
S1	STORMWATER INSPECTION PLAN
LT	LIGHTING PLAN
L1	LANDSCAPE PLAN
D1	EROSION CONTROL NOTES AND DETAILS
D2-D7	DETAILS
ARCH. 1-7	ELEVATIONS AND FLOOR PLANS

## UTILITY CONTACTS

**ELECTRIC:**  
EVERSOURCE  
1700 LAFAYETTE ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 436-7708, Ext. 555.5678  
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 294-5144  
ATTN: DAVE BEAULIEU

**CABLE:**  
COMCAST  
155 COMMERCE WAY  
PORTSMOUTH, N.H. 03801  
Tel. (603) 679-5695 (X1037)  
ATTN: MIKE COLLINS

**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 766-1438 ATTN: JIM TOW

**COMMUNICATIONS:**  
FAIRPOINT COMMUNICATIONS  
JOE CONSIDINE  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525

**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

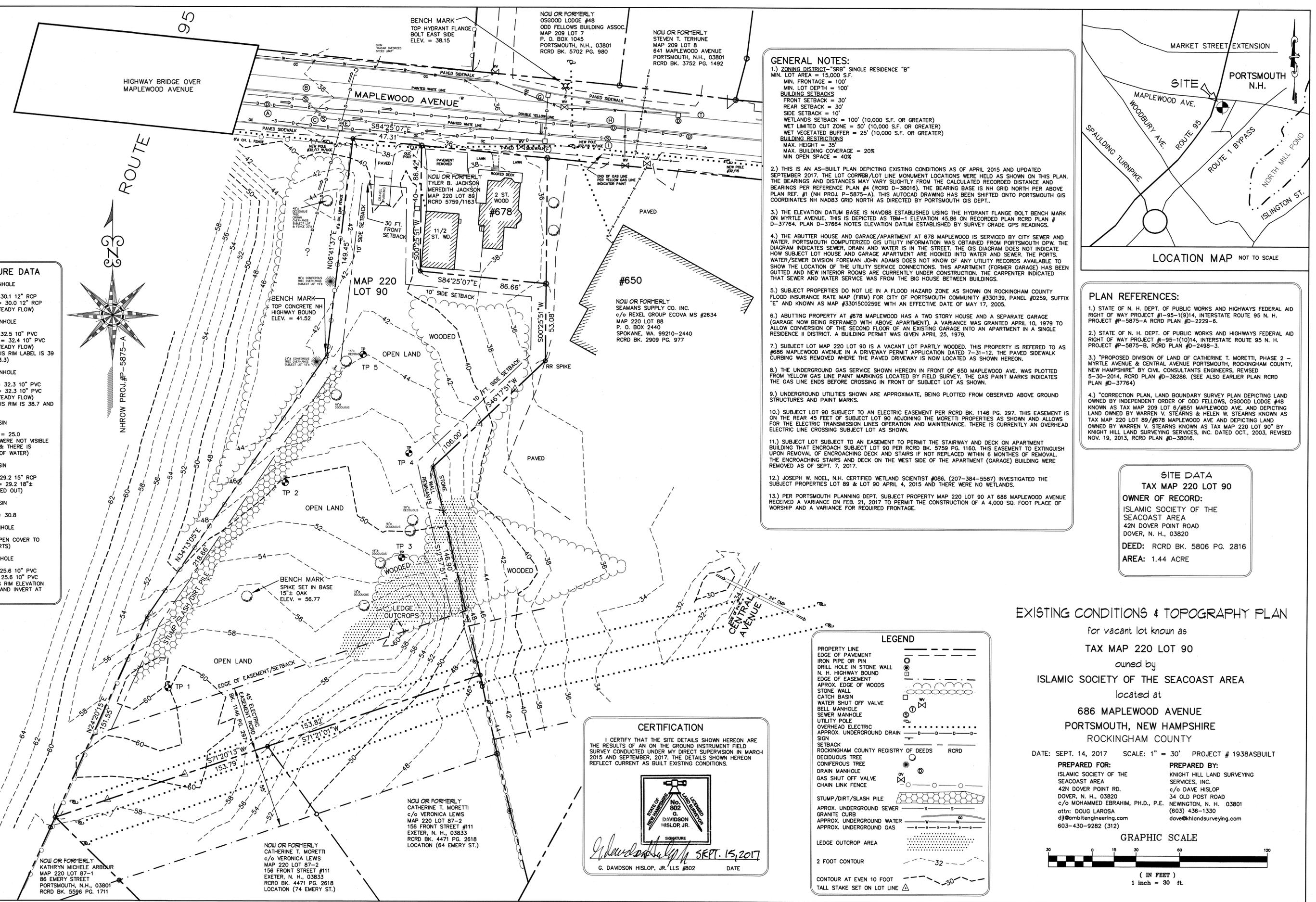
APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

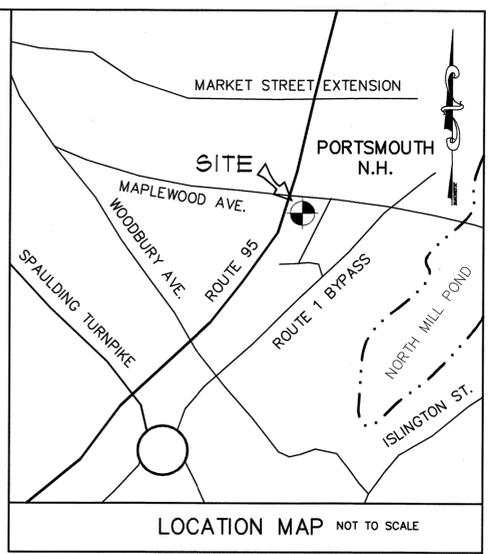
PROPOSED SITE PLAN  
PORTSMOUTH MAPLE MASJID  
686 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H.

**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 22 MARCH 2021



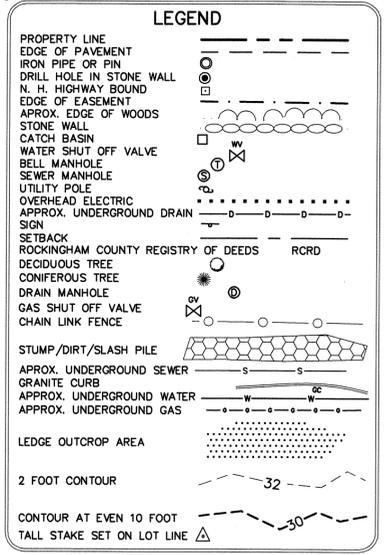
- GENERAL NOTES:**
- 1.) ZONING DISTRICT-"SRB" SINGLE RESIDENCE "B"  
 MIN. LOT AREA = 15,000 S.F.  
 MIN. FRONTAGE = 100'  
 MIN. LOT DEPTH = 100'  
**BUILDING SETBACKS**  
 FRONT SETBACK = 30'  
 REAR SETBACK = 30'  
 SIDE SETBACK = 10'  
 WETLANDS SETBACK = 100' (10,000 S.F. OR GREATER)  
 WET LIMITED CUT ZONE = 50' (10,000 S.F. OR GREATER)  
 WET VEGETATED BUFFER = 25' (10,000 S.F. OR GREATER)  
**BUILDING RESTRICTIONS**  
 MAX. HEIGHT = 35'  
 MAX. BUILDING COVERAGE = 20%  
 MIN OPEN SPACE = 40%
  - 2.) THIS IS AN AS-BUILT PLAN DEPICTING EXISTING CONDITIONS AS OF APRIL 2015 AND UPDATED SEPTEMBER 2017. THE LOT CORNER/LOT LINE MONUMENT LOCATIONS WERE HELD AS SHOWN ON THIS PLAN. THE BEARINGS AND DISTANCES MAY VARY SLIGHTLY FROM THE CALCULATED RECORDED DISTANCE AND BEARINGS PER REFERENCE PLAN #4 (RCRD D-38016). THE BEARING BASE IS NH GRID NORTH PER ABOVE PLAN REF. #1 (NH PROJ. P-5875-A). THIS AUTOCAD DRAWING HAS BEEN SHIFTED ONTO PORTSMOUTH GIS COORDINATES NH NAD83 GRID NORTH AS DIRECTED BY PORTSMOUTH GIS DEPT.
  - 3.) THE ELEVATION DATUM BASE IS NAVD88 ESTABLISHED USING THE HYDRANT FLANGE BOLT BENCH MARK ON MYRTLE AVENUE. THIS IS DEPICTED AS "BM-1" ELEVATION 45.86 ON RECORDED PLAN RCRD PLAN # D-37764. PLAN D-37664 NOTES ELEVATION DATUM ESTABLISHED BY SURVEY GRADE GPS READINGS.
  - 4.) THE ABUTTER HOUSE AND GARAGE/APARTMENT AT 678 MAPLEWOOD IS SERVICED BY CITY SEWER AND WATER. PORTSMOUTH COMPUTERIZED GIS UTILITY INFORMATION WAS OBTAINED FROM PORTSMOUTH DPW. THE DIAGRAM INDICATES SEWER, DRAIN AND WATER IS IN THE STREET. THE GIS DIAGRAM DOES NOT INDICATE HOW SUBJECT LOT HOUSE AND GARAGE/APARTMENT ARE HOOKED INTO WATER AND SEWER. THE PORTS. WATER/SEWER DIVISION FOREMAN JOHN ADAMS DOES NOT KNOW OF ANY UTILITY RECORDS AVAILABLE TO SHOW THE LOCATION OF THE UTILITY SERVICE CONNECTIONS. THIS APARTMENT (FORMER GARAGE) HAS BEEN GUTTED AND NEW INTERIOR ROOMS ARE CURRENTLY UNDER CONSTRUCTION. THE CARPENTER INDICATED THAT SEWER AND WATER SERVICE WAS FROM THE BIG HOUSE BETWEEN BUILDINGS.
  - 5.) SUBJECT PROPERTIES DO NOT LIE IN A FLOOD HAZARD ZONE AS SHOWN ON ROCKINGHAM COUNTY FLOOD INSURANCE RATE MAP (FIRM) FOR CITY OF PORTSMOUTH COMMUNITY #330139, PANEL #0259, SUFFIX "E" AND KNOWN AS MAP #33015C0259E WITH AN EFFECTIVE DATE OF MAY 17, 2005.
  - 6.) ABUTTING PROPERTY AT #678 MAPLEWOOD HAS A TWO STORY HOUSE AND A SEPARATE GARAGE (GARAGE NOW BEING REFRAMED WITH ABOVE APARTMENT). A VARIANCE WAS GRANTED APRIL 10, 1979 TO ALLOW CONVERSION OF THE SECOND FLOOR OF AN EXISTING GARAGE INTO AN APARTMENT IN A SINGLE RESIDENCE II DISTRICT. A BUILDING PERMIT WAS GIVEN APRIL 25, 1979.
  - 7.) SUBJECT LOT MAP 220 LOT 90 IS A VACANT LOT PARTLY WOODED. THIS PROPERTY IS REFERRED TO AS #686 MAPLEWOOD AVENUE IN A DRIVEWAY PERMIT APPLICATION DATED 7-31-12. THE PAVED SIDEWALK CURBING WAS REMOVED WHERE THE PAVED DRIVEWAY IS NOW LOCATED AS SHOWN HEREON.
  - 8.) THE UNDERGROUND GAS SERVICE SHOWN HEREON IN FRONT OF 650 MAPLEWOOD AVE. WAS PLOTTED FROM YELLOW GAS LINE PAINT MARKINGS LOCATED BY FIELD SURVEY. THE GAS PAINT MARKS INDICATES THE GAS LINE ENDS BEFORE CROSSING IN FRONT OF SUBJECT LOT AS SHOWN.
  - 9.) UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE, BEING PLOTTED FROM OBSERVED ABOVE GROUND STRUCTURES AND PAINT MARKS.
  - 10.) SUBJECT LOT 90 SUBJECT TO AN ELECTRIC EASEMENT PER RCRD BK. 1146 PG. 297. THIS EASEMENT IS ON THE REAR 45 FEET OF SUBJECT LOT 90 ADJOINING THE MORETTI PROPERTIES AS SHOWN AND ALLOWS FOR THE ELECTRIC TRANSMISSION LINES OPERATION AND MAINTENANCE. THERE IS CURRENTLY AN OVERHEAD ELECTRIC LINE CROSSING SUBJECT LOT AS SHOWN.
  - 11.) SUBJECT LOT SUBJECT TO AN EASEMENT TO PERMIT THE STAIRWAY AND DECK ON APARTMENT BUILDING THAT ENCROACH SUBJECT LOT 90 PER RCRD BK. 5759 PG. 1160. THIS EASEMENT TO EXTINGUISH UPON REMOVAL OF ENCROACHING DECK AND STAIRS IF NOT REPLACED WITHIN 6 MONTHS OF REMOVAL THE ENCROACHING STAIRS AND DECK ON THE WEST SIDE OF THE APARTMENT (GARAGE) BUILDING WERE REMOVED AS OF SEPT. 7, 2017.
  - 12.) JOSEPH W. NOEL, N.H. CERTIFIED WETLAND SCIENTIST #086. (207-384-5587) INVESTIGATED THE SUBJECT PROPERTIES LOT 89 & LOT 90 APRIL 4, 2015 AND THERE WERE NO WETLANDS.
  - 13.) PER PORTSMOUTH PLANNING DEPT. SUBJECT PROPERTY MAP 220 LOT 90 AT 686 MAPLEWOOD AVENUE RECEIVED A VARIANCE ON FEB. 21, 2017 TO PERMIT THE CONSTRUCTION OF A 4,000 SQ. FOOT PLACE OF WORSHIP AND A VARIANCE FOR REQUIRED FRONTAGE.



- PLAN REFERENCES:**
- 1.) STATE OF N. H. DEPT. OF PUBLIC WORKS AND HIGHWAYS FEDERAL AID RIGHT OF WAY PROJECT #1-95-(19)14, INTERSTATE ROUTE 95 N. H. PROJECT #P-5875-A RCRD PLAN #D-2229-6.
  - 2.) STATE OF N. H. DEPT. OF PUBLIC WORKS AND HIGHWAYS FEDERAL AID RIGHT OF WAY PROJECT #1-95-(10)14, INTERSTATE ROUTE 95 N. H. PROJECT #P-5875-B, RCRD PLAN #D-2498-3.
  - 3.) "PROPOSED DIVISION OF LAND OF CATHERINE T. MORETTI, PHASE 2 - MYRTLE AVENUE & CENTRAL AVENUE PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE" BY CIVIL CONSULTANTS ENGINEERS, REVISED 5-30-2014, RCRD PLAN #D-38286. (SEE ALSO EARLIER PLAN RCRD PLAN #D-37764)
  - 4.) "CORRECTION PLAN, LAND BOUNDARY SURVEY PLAN DEPICTING LAND OWNED BY INDEPENDENT ORDER OF ODD FELLOWS, OSGOOD LODGE #48 KNOWN AS TAX MAP 209 LOT 6/#51 MAPLEWOOD AVE. AND DEPICTING LAND OWNED BY WARREN V. STEARNS & HELEN W. STEARNS KNOWN AS TAX MAP 220 LOT 89/#678 MAPLEWOOD AVE AND DEPICTING LAND OWNED BY WARREN V. STEARNS KNOWN AS TAX MAP 220 LOT 90" BY KNIGHT HILL LAND SURVEYING SERVICES, INC. DATED OCT., 2003, REVISED NOV. 19, 2013, RCRD PLAN #D-38016.

**SITE DATA**  
 TAX MAP 220 LOT 90  
 OWNER OF RECORD:  
 ISLAMIC SOCIETY OF THE SEACOAST AREA  
 42N DOVER POINT ROAD  
 DOVER, N. H., 03820  
 DEED: RCRD BK. 5806 PG. 2816  
 AREA: 1.44 ACRE

- STRUCTURE DATA**
- "A" DRAIN MANHOLE  
 RIM = 38.81  
 INV. IN (W) = 30.1 12" RCP  
 INV. OUT (E) = 30.0 12" RCP  
 (MEASURED)(STEADY FLOW)
  - "B" SEWER MANHOLE  
 RIM = 38.25  
 INV. IN (W) = 32.5 10" PVC  
 INV. OUT (SE) = 32.4 10" PVC  
 (MEASURED)(STEADY FLOW)  
 (THE PORTS. GIS RIM LABEL IS 39 AND INVERT 33.3)
  - "C" SEWER MANHOLE  
 RIM = 37.75  
 INV. IN (NW) = 32.3 10" PVC  
 INV. OUT (E) = 32.3 10" PVC  
 (MEASURED)(STEADY FLOW)  
 (THE PORTS. GIS RIM IS 38.7 AND INVERT 33.2)
  - "E" CATCH BASIN  
 RIM = 37.23  
 BOTTOM ELEV. = 25.0  
 (THE INVERTS WERE NOT VISIBLE UNDER SHELF & THERE IS STEADY FLOW OF WATER)
  - "F" CATCH BASIN  
 RIM = 35.27  
 INV. IN (N) = 29.2 15" RCP  
 INV. OUT (W) = 29.2 18" ±  
 (GRILL IS RUSTED OUT)
  - "G" CATCH BASIN  
 RIM = 35.29  
 INV. OUT (S) = 30.8
  - (H) DRAIN MANHOLE  
 RIM = 35.17  
 (COULD NOT OPEN COVER TO MEASURE INVERTS)
  - "I" SEWER MANHOLE  
 RIM = 34.96  
 INV. IN (W) = 25.6 10" PVC  
 INV. OUT (E) = 25.6 10" PVC  
 (CITY GIS HAS RIM ELEVATION LABELED 35.6 AND INVERT AT 26.5)



**CERTIFICATION**

I CERTIFY THAT THE SITE DETAILS SHOWN HEREON ARE THE RESULTS OF AN ON THE GROUND INSTRUMENT FIELD SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION IN MARCH 2015 AND SEPTEMBER, 2017. THE DETAILS SHOWN HEREON REFLECT CURRENT AS BUILT EXISTING CONDITIONS.

*G. Davidson Hislop, Jr.*  
 G. DAVIDSON HISLOP, JR. LLS #802 DATE: SEPT. 15, 2017

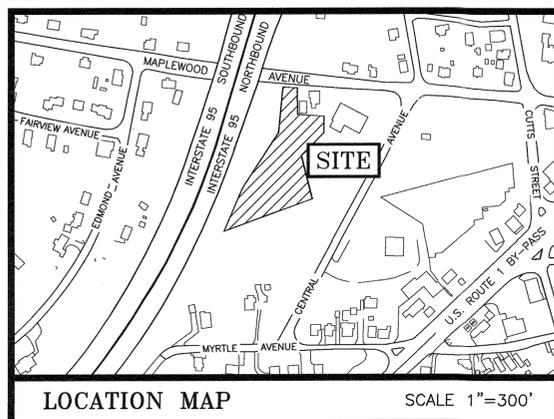
**EXISTING CONDITIONS & TOPOGRAPHY PLAN**  
 for vacant lot known as  
 TAX MAP 220 LOT 90  
 owned by  
 ISLAMIC SOCIETY OF THE SEACOAST AREA  
 located at  
 686 MAPLEWOOD AVENUE  
 PORTSMOUTH, NEW HAMPSHIRE  
 ROCKINGHAM COUNTY

DATE: SEPT. 14, 2017 SCALE: 1" = 30' PROJECT # 1938ASBUILT

PREPARED FOR:  
 ISLAMIC SOCIETY OF THE SEACOAST AREA  
 42N DOVER POINT RD.  
 DOVER, N. H., 03820  
 c/o MOHAMMED EBRAHIM, PH.D., P.E.  
 (603) 436-1330  
 d3@ambitengineering.com  
 603-430-9282 (312)

PREPARED BY:  
 KNIGHT HILL LAND SURVEYING SERVICES, INC.  
 c/o DAVE HISLOP  
 34 OLD POST ROAD  
 NEWINGTON, N. H. 03801  
 (603) 436-1330  
 dave@khillandsurveying.com

**GRAPHIC SCALE**  
 ( IN FEET )  
 1 inch = 30 ft.



LOCATION MAP

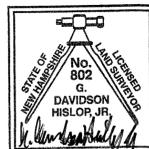
SCALE 1"=300'

**LEGEND**

- 124 21 MAP 124 / LOT 21
- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- REGISTRY OF DEEDS
- DRILL HOLE FOUND
- CONC BOUND FOUND
- IP FND IRON PIPE / IRON ROD FOUND
- S SEWER LINE
- G GAS LINE
- W STORM DRAIN
- POTABLE WATER LINE
- OVERHEAD WIRES
- CONTOUR LINE
- EDGE OF PAVEMENT
- UTILITY POLE (w/ GUY) (w/ LIGHT)
- SHUTOFF/CURB STOP (WATER, GAS, SEWER)
- HYD. HYDRANT
- CB CATCH BASIN
- SEWER MANHOLE
- EL. ELEVATION
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- INV. INVERT
- TBM TEMPORARY BENCHMARK
- TYP. TYPICAL
- LSA LANDSCAPE AREA
- VGC/SGC VERTICAL / SLOPED GRANITE CURB
- PVC POLYVINYL CHLORIDE PIPE

"I CERTIFY THAT THE BOUNDARY DETAILS WERE PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY PER REFERENCE PLAN AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000." MONUMENTS WHERE HELD.

G. Davidson Hislop, Jr. LLS #802



MAY 15, 2019

DATE

**APPROVAL NOTES:**

- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- THE OWNER OF RECORD AND SUBSEQUENTLY THE CONDOMINIUM UNIT ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**REFERENCE PLAN:**

- EXISTING CONDITIONS & TOPOGRAPHY PLAN FOR VACANT LOT KNOWN AS TAX MAP 220 LOT 90 OWNED BY ISLAMIC SOCIETY OF THE SEACOAST AREA LOCATED AT 686 MAPLEWOOD AVENUE, PORTSMOUTH NH ROCKINGHAM COUNTY DATE: SEPT. 14, 2017, SCALE: 1" = 30' PREPARED BY: KNIGHT HILL LAND SURVEYING SERVICES, INC. C/O DAVE HISLOP 34 OLD POST ROAD, NEWINGTON NH 03801 (603) 436-1330, dave@khlansurveying.com

**VARIANCES GRANTED (2/21/2017):**

\*CASE #2-4: "THE BOARD VOTED, IN SEPARATE MOTIONS, TO GRANT THE SPECIAL EXCEPTION AND VARIANCE AS PRESENTED AND ADVERTISED."

1) A SPECIAL EXCEPTION FOR SECTION 10.440 TO ALLOW A RELIGIOUS PLACE OF ASSEMBLY IN A DISTRICT WHERE THE USE IS ONLY ALLOWED BY SPECIAL EXCEPTION.

2) A VARIANCE FROM SECTION 10.521 TO ALLOW 47± OF CONTINUOUS STREET FRONTAGE WHERE 100' IS REQUIRED.

**DIMENSIONAL REQUIREMENTS:**

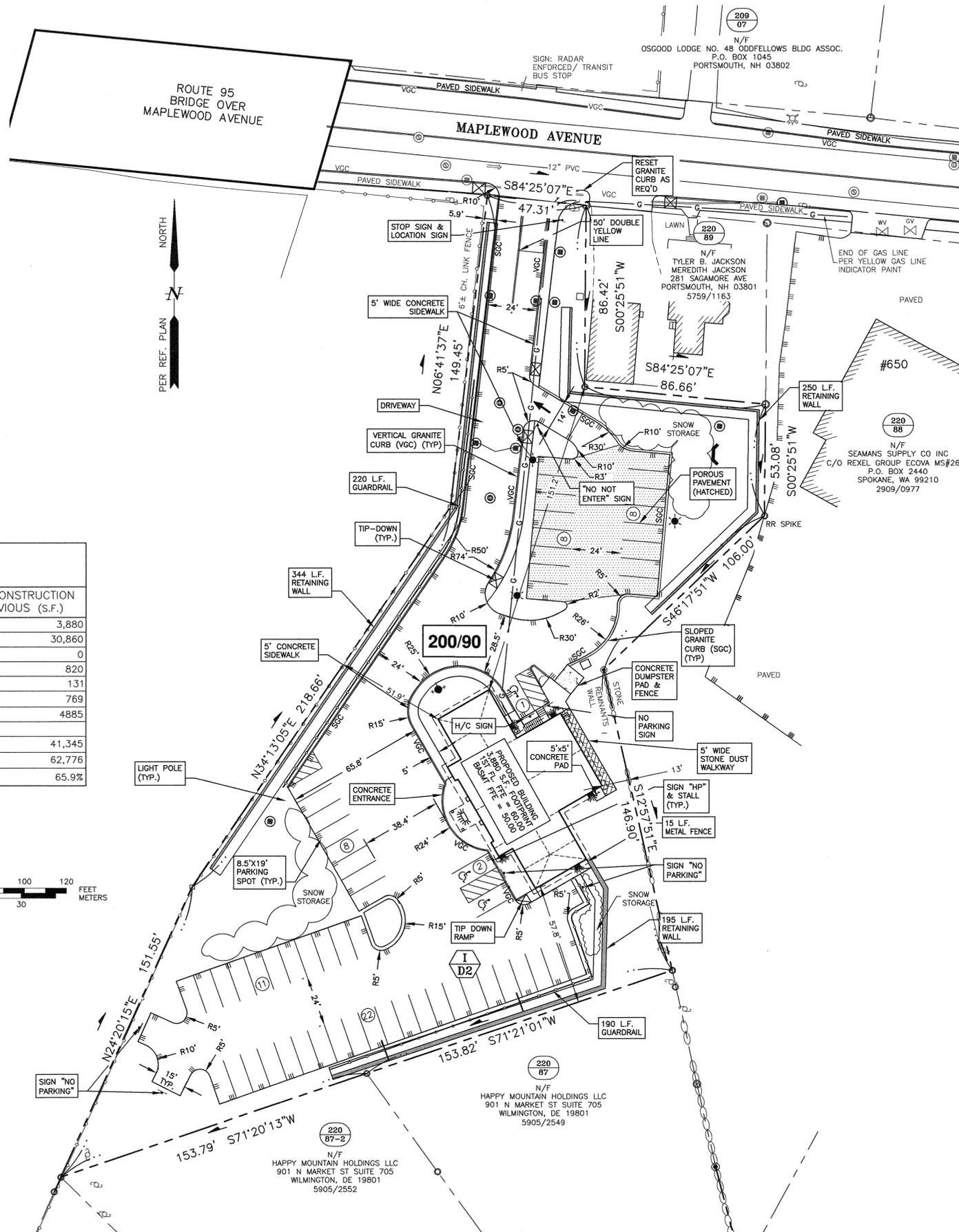
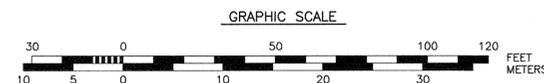
SRB: SINGLE RESIDENCE "B"	REQUIRED	EXISTING	PROPOSED
MIN. FRONT YARD:	30 FEET	NA	151.2 FEET
MIN. SIDE YARD:	10 FEET	NA	13.0 FEET
MIN. REAR YARD:	30 FEET	NA	57.8 FEET
CONTINUAL STREET FRONTAGE:	100 FEET	47.2 FEET	*47.2 FEET
DEPTH:	100 FEET	>100 FEET	>100 FEET
MAX. STRUCTURE HEIGHT:	35 FEET	0 FEET	<35 FEET
ROOF APPURTENANCE:	8 FEET	0 FEET	8 FEET
MAX. BUILDING COVERAGE:	20%	0%	6.2%
MIN. LOT AREA:	15,000 SF	62,776 SF	62,776 SF
MIN. OPEN SPACE COVERAGE:	40%	99.6%	40.3%*

\*SIDEWALKS COUNTED AS OPEN SPACE.

**IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)**

STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	0	3,880
PAVEMENT	306	30,860
GRAVEL	219	0
RETAINING WALLS	0	820
STEPS AND LANDINGS	0	131
ENTRANCE PAD & PADS	0	769
5' WIDE SIDEWALK*	0	4885
TOTAL	525	41,345
LOT SIZE	62,776	62,776
% LOT COVERAGE*	0.8%	65.9%

\* SIDEWALKS COUNTED AS OPEN SPACE



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
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Tel (603) 430-9282  
Fax (603) 436-2315

**NOTES:**

- PARCEL LOCATED ON 686 MAPLEWOOD AVENUE IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 220 AS LOT 90.
- OWNER OF RECORD: ISLAMIC SOCIETY OF SEACOAST AREA, PO BOX 684, DOVER, NH 03821, 5806/2816
- SITE AREA IS 62,776 S.F. (1.44 ACRES)
- PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
- PARCEL ARE LOCATED IN THE SINGLE RESIDENCE "B" (SRB) ZONING DISTRICT.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED LAYOUT OF SITE DEVELOPMENT ON TAX MAP 220 LOT 90. SEE COMPLETE SET OF PLANS ON FILE WITH THE CITY OF PORTSMOUTH.
- VERTICAL DATUM IS MEAN SEA LEVEL NAVD83. SEE PLAN REFERENCE #1.
- BUILDING NUMBERING TO BE COORDINATED WITH 911.
- EXCESS SNOW SHALL BE TRUCKED FROM SITE
- THE PLAN FOR SOLID WASTE REMOVAL IS TO PROVIDE DUMPSTERS FOR WEEKLY PICKUP.
- STORMWATER MANAGEMENT INSTALLATIONS SHALL BE INSPECTED BY DPW DURING CONSTRUCTION AND AN ANNUAL REPORT SHALL BE SUBMITTED TO THE DPW DEPARTMENT REGARDING THE FUNCTION OF THE DESIGN.

**PARKING ANALYSIS:**

A PARKING DEMAND ANALYSIS WAS PERFORMED INDICATING THAT 71 SPACES ARE REQUIRED FOR THIS SITE.  
A CONDITIONAL USE PERMIT TO ALLOW 60 PARKING SPACES WHERE 71 ARE REQUIRED BY A PARKING DEMAND ANALYSIS WAS GRANTED BY THE PLANNING BOARD ON JANUARY 17, 2019 WITH CONDITION THAT THE ACTUAL MAXIMUM PARKING BE REPORTED IN 6 MONTHS AND 1 YEAR FROM THE DATE OF OCCUPANCY.

**PROPOSED PARKING:**

REGULAR SPACES = 57 SPACES  
HANDICAP SPACES = 3 SPACES  
TOTAL SPACES = 60 TOTAL SPACES



**PORTSMOUTH  
MAPLE MASJID  
686 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H.**

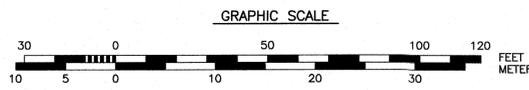
NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	5/9/19

**SITE PLAN  
TAX MAP 220 - LOT 90**  
OWNER:  
**ISLAMIC SOCIETY OF  
SEACOAST AREA**  
686 MAPLEWOOD AVENUE  
CITY OF PORTSMOUTH  
COUNTY OF ROCKINGHAM  
STATE OF NEW HAMPSHIRE

SCALE: 1"=30' MAY 2019

**DEMOLITION NOTES**

- a) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- b) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- c) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- d) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- e) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- f) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- g) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- h) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ANY EXISTING DOMESTIC / IRRIGATION SERVICE WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER FOR PROPER CAPPING / RE-USE. ANY EXISTING MONITORING WELLS IN THE PROJECT AREA IDENTIFIED DURING THE CONSTRUCTION AND NOT CALLED OUT ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER TO COORDINATE MONITORING WELL REMOVAL AND/OR RELOCATION WITH NHDES AND OTHER AUTHORITY WITH JURISDICTION PRIOR TO CONSTRUCTION.
- i) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- j) REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL SLUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- k) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- l) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- m) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- n) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS



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- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
  - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
  - 4) ALL SEWER CONSTRUCTION SHALL COMPLY WITH THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES) STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWERAGE AND WASTEWATER TREATMENT FACILITIES, LATEST EDITION.
  - 5) ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH AND THE N.H.D.O.T STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE, LATEST EDITION. THE MORE STRINGENT SPECIFICATIONS SHALL GOVERN.
  - 6) CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF DEMOLITION DEBRIS.
  - 7) CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH BITUMEN EMULSION RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
  - 8) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
  - 9) COORDINATE ANY DEMOLITION WORK WITHIN CITY RIGHT-OF-WAY WITH THE CITY OF PORTSMOUTH.
  - 10) OWNER SHALL ARRANGE FOR LAND SURVEYOR TO SET ADDITIONAL BENCHMARKS PRIOR TO ANY SITE CONSTRUCTION.

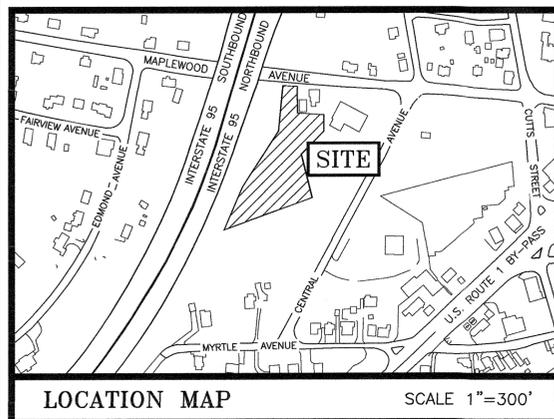
**PORTSMOUTH  
MAPLE MASJID  
686 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	10/15/18
REVISIONS		



SCALE: 1" = 30' MARCH 2018

**DEMOLITION PLAN** **C1**



LOCATION MAP

SCALE 1"=300'

LEGEND

- 124 21 MAP 124 / LOT 21
- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- REGISTRY OF DEEDS
- DRILL HOLE FOUND
- OH FND CONC BOUND FOUND
- IP FND IRON PIPE / IRON ROD FOUND
- S SEWER LINE
- G GAS LINE
- D STORM DRAIN
- W POTABLE WATER LINE
- OVERHEAD WIRES
- CONTOUR LINE
- EDGE OF PAVEMENT
- UTILITY POLE (w/ GUY) (w/ LIGHT)
- SHUTOFF/CURB STOP (WATER, GAS, SEWER)
- HYD. HYDRANT
- CB CATCH BASIN
- SEWER MANHOLE
- ELEVATION
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- INV. INVERT
- TBM TEMPORARY BENCHMARK
- TYP. TYPICAL
- LSA LANDSCAPE AREA
- VGC/SGC VERTICAL/ SLOPED GRANITE CURB
- PVC POLYVINYL CHLORIDE PIPE

VARIANCES GRANTED (2/21/2017):

- \*CASE #2-4: "THE BOARD VOTED, IN SEPARATE MOTIONS, TO GRANT THE SPECIAL EXCEPTION AND VARIANCE AS PRESENTED AND ADVERTISED."
- 1) A SPECIAL EXCEPTION FOR SECTION 10.440 TO ALLOW A RELIGIOUS PLACE OF ASSEMBLY IN A DISTRICT WHERE THE USE IS ONLY ALLOWED BY SPECIAL EXCEPTION.
- 2) A VARIANCE FROM SECTION 10.521 TO ALLOW 47'± OF CONTINUOUS STREET FRONTAGE WHERE 100' IS REQUIRED.

DIMENSIONAL REQUIREMENTS:

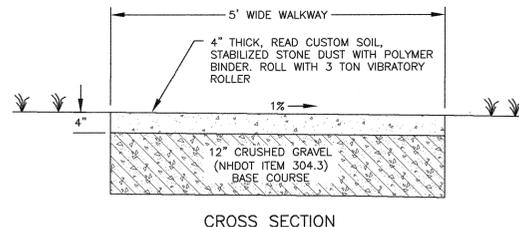
SRB: SINGLE RESIDENCE "B"	REQUIRED	EXISTING	PROPOSED
MIN. FRONT YARD:	30 FEET	NA	151.2 FEET
MIN. SIDE YARD:	10 FEET	NA	13.0 FEET
MIN. REAR YARD:	30 FEET	NA	57.8 FEET
CONTINUAL STREET FRONTAGE:	100 FEET	47.2 FEET	*47.2 FEET
DEPTH:	100 FEET	>100 FEET	>100 FEET
MAX. STRUCTURE HEIGHT:	35 FEET	0 FEET	<35 FEET
ROOF APPURTENANCE:	8 FEET	0 FEET	8 FEET
MAX. BUILDING COVERAGE:	20%	0%	6.2%
MIN. LOT AREA:	15,000 SF	62,776 SF	62,776 SF
MIN. OPEN SPACE COVERAGE:	40%	99.6%	40.3%*

\*SIDEWALKS COUNTED AS OPEN SPACE.

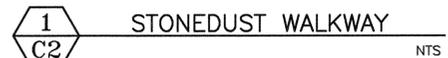
IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)

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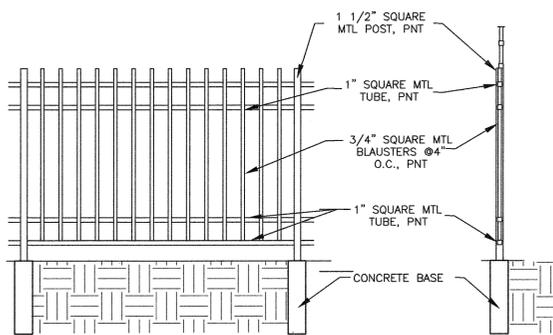
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CROSS SECTION



1 STONEDUST WALKWAY

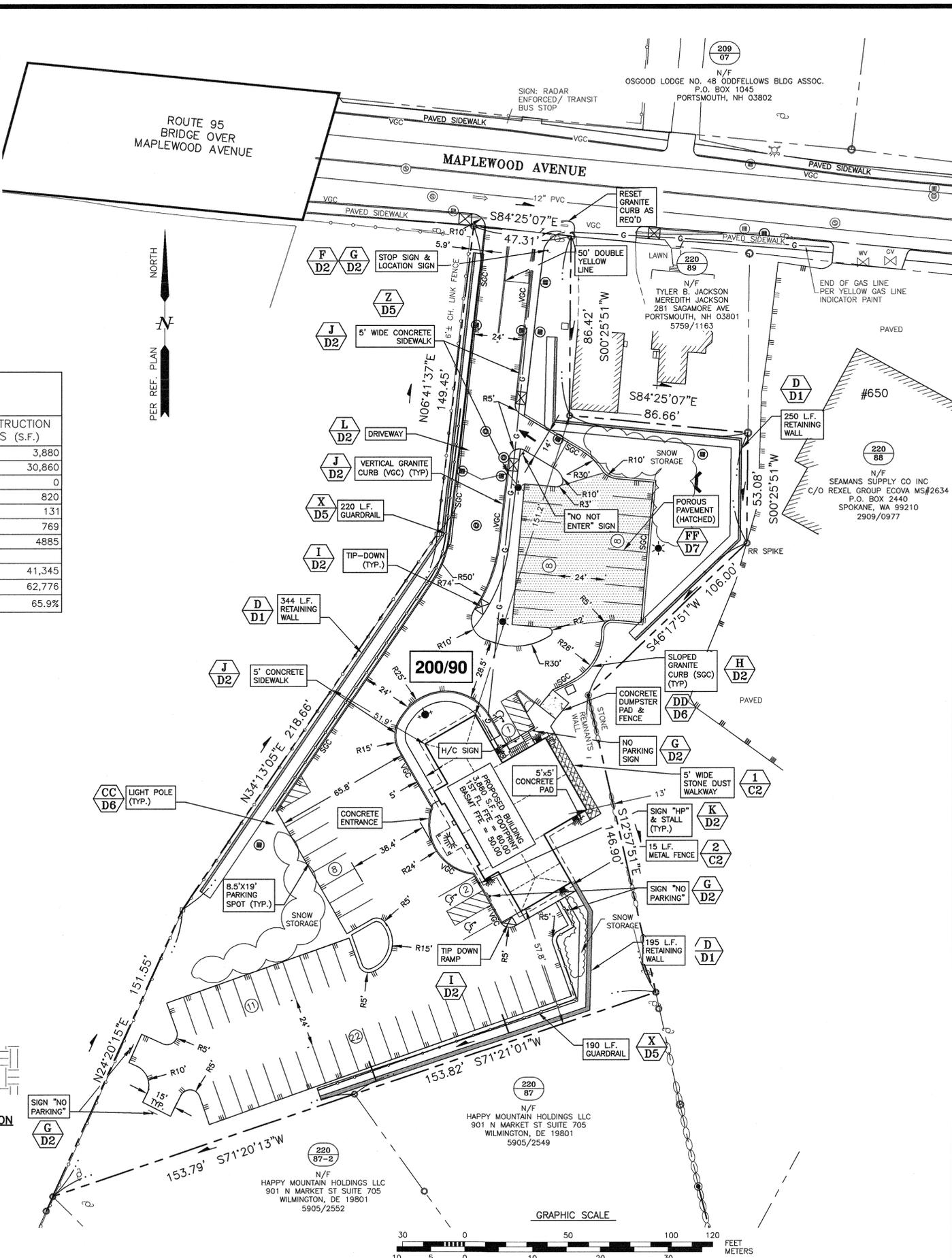


ELEVATION

SECTION



2 METAL FENCE DETAILS



APPROVAL NOTES:

- 1) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- 2) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- 3) THE OWNER OF RECORD AND SUBSEQUENTLY THE CONDOMINIUM UNIT ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- 4) ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- 5) THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
- 6) ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

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- NOTES:
- 1) PARCEL LOCATED ON 686 MAPLEWOOD AVENUE IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 220 AS LOT 90.
  - 2) OWNER OF RECORD: ISLAMIC SOCIETY OF SEACOAST AREA  
PO BOX 684  
DOVER, NH 03821  
5806/2816
  - 3) SITE AREA IS 62,776 S.F. (1.44 ACRES)
  - 4) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
  - 5) PARCEL ARE LOCATED IN THE SINGLE RESIDENCE "B" (SRB) ZONING DISTRICT.
  - 6) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED LAYOUT OF SITE DEVELOPMENT ON TAX MAP 220 LOT 90. SEE COMPLETE SET OF PLANS ON FILE WITH THE CITY OF PORTSMOUTH.
  - 7) VERTICAL DATUM IS MEAN SEA LEVEL NAVD88. SEE PLAN REFERENCE #1.
  - 8) BUILDING NUMBERING TO BE COORDINATED WITH 911.
  - 9) EXCESS SNOW SHALL BE TRUCKED FROM SITE
  - 10) THE PLAN FOR SOLID WASTE REMOVAL IS TO PROVIDE DUMPSTERS FOR WEEKLY PICKUP.
  - 11) STORMWATER MANAGEMENT INSTALLATIONS SHALL BE INSPECTED BY DPW DURING CONSTRUCTION AND AN ANNUAL REPORT SHALL BE SUBMITTED TO THE DPW DEPARTMENT REGARDING THE FUNCTION OF THE DESIGN.

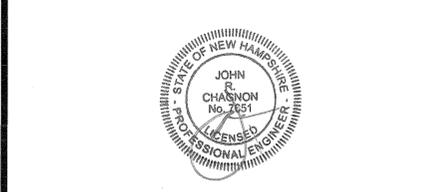
**PARKING ANALYSIS:**  
A PARKING DEMAND ANALYSIS WAS PERFORMED INDICATING THAT 71 SPACES ARE REQUIRED FOR THIS SITE.  
A CONDITIONAL USE PERMIT TO ALLOW 60 PARKING SPACES WHERE 71 ARE REQUIRED BY A PARKING DEMAND ANALYSIS WAS GRANTED BY THE PLANNING BOARD ON JANUARY 17, 2019 WITH CONDITION THAT THE ACTUAL MAXIMUM PARKING BE REPORTED IN 6 MONTHS AND 1 YEAR FROM THE DATE OF OCCUPANCY.

PROPOSED PARKING:  
REGULAR SPACES = 57 SPACES  
HANDICAP SPACES = 3 SPACES  
TOTAL SPACES = 60 TOTAL SPACES

**REFERENCE PLAN:**  
1) "EXISTING CONDITIONS & TOPOGRAPHY PLAN FOR VACANT LOT KNOWN AS TAX MAP 220 LOT 90 OWNED BY ISLAMIC SOCIETY OF THE SEACOAST AREA LOCATED AT 686 MAPLEWOOD AVENUE PORTSMOUTH NH ROCKINGHAM COUNTY" DATE: SEPT. 14, 2017, SCALE: 1" = 30' PREPARED BY: KNIGHT HILL LAND SURVEYING SERVICES, INC. C/O DAVE HISLOP 34 OLD POST ROAD, NEWINGTON NH 03801 (603) 436-1330, dave@khlansurveying.com

**PORTSMOUTH  
MAPLE MASJID  
686 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	5/9/19



SCALE: 1" = 30' AUGUST 2018

SITE PLAN **C2**

**UTILITY NOTES:**

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) SEE GRADING AND DRAINAGE PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVED AREAS.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.
- 23) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 24) CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH UTILITY COMPANY AND AFFECTED ABUTTER.
- 25) SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER IN COORDINATION WITH THE SITE CIVIL ENGINEER.
- 26) CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.
- 27) THE CONTRACTOR SHALL INSTALL THE SEWER LINE AND MANHOLE IN CONSULTATION AND COORDINATION WITH DEPARTMENT OF PUBLIC WORKS.
- 28) BRASS WEDGES FOR CONTINUITY OF SIGNAL MUST BE INSTALLED ON WATER MAINS PER THE PORTSMOUTH WATER DEPARTMENT.
- 29) FINAL REVIEW OF ALL UTILITIES SHALL BE MADE DURING THE REQUIRED SEWER CONNECTION PERMIT PROCESS IN COORDINATION WITH DEPARTMENT OF PUBLIC WORKS.
- 30) ALL WORK PERFORMED IN THE PUBLIC RIGHT-OF-WAY SHALL BE BUILT TO DEPARTMENT OF PUBLIC WATER WORKS STANDARDS.
- 31) THIRD PARTY UTILITY INSTALLATION INSPECTIONS SHALL BE REQUIRED ON WATER MAIN, SEWER, AND DRAINAGE SYSTEM CONSTRUCTION, AS WELL AS CONSTRUCTION AND REPAIRS TO CITY STREETS.



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  - 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
  - 5) A JOINT USE AGREEMENT WITH EVERSOURCE REQUIRED FOR PARKING WITHIN THE 45'/55' ELECTRIC EASEMENT (R17715).
  - 6) UTILITY CONNECTIONS IN MAPLEWOOD AVENUE SHALL BE MADE AT LEAST 3 MONTHS PRIOR TO FINAL OVERLAYS OR A MILL AND FILL WILL BE REQUIRED.
  - 7.) ALL WATER MAIN SERVICE WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH STANDARDS.

**PORTSMOUTH  
 MAPLE MASJID  
 686 MAPLEWOOD AVENUE  
 PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
5	ADDED WALKWAY AND PAD IN BACK	4/11/19
4	REV DRAIN STRUCTURES	4/2/19
3	ADD DRAIN STRUCTURES	3/19/19
2	REV. 1" WATER, ADD DRAIN STRUCTURES	1/22/19
1	ADDED HYDRANT, TAPPING, NOTE #7	11/19/18
0	ISSUED FOR COMMENT	10/15/18

REVISIONS

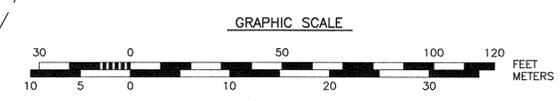
SCALE: 1" = 30' MAY 2018

**UTILITY PLAN**

**C3**

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_









**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) POLE MOUNTED LIGHTS SHALL HAVE A MAXIMUM FIXTURE OF HEIGHT OF 14 FEET, EXCEPT WHERE NOTED.
- 5) ALL LIGHTING SHALL BE SHIELDED TO MINIMIZE LIGHT TRESPASS AND DIRECT GLARE BEYOND THE PROPERTY.
- 6) LIGHTING PLAN PREPARED USING AGI32 SOFTWARE. LIGHTING DESIGN BASED ON .IES FILES THAT WERE LAB-TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY DEPENDING ON FIELD CONDITIONS, AREA GEOMETRY OR CHANGES IN ELECTRICAL SUPPLY VOLTAGE.
- 7) LIGHTS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- 8.) LIGHTING SHALL HAVE CUT-OFF FEATURES TO SHIELD LIGHT GLARE ONTO THE 678 MAPLEWOOD PROPERTY.

**PORTSMOUTH  
MAPLE MASJID  
686 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
4	ADDED LIGHT TO 1ST FL EGRESS	4/11/19
3	ADDED LIGHT TO PAD IN BACK	4/3/19
2	REVISED POLES AND TABLE	1/22/19
1	REVISED LIGHTS ON POLES & NOTE #8	11/19/18
0	ISSUED FOR COMMENT	10/15/18

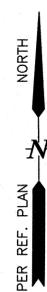


SCALE: 1" = 30' MAY 2018

**LIGHTING PLAN**

**LT**

POLE	QTY.	CATALOG NUMBER	HEIGHT	LAMP	NUMBER LAMPS	LUMENS PER LAMP	LIGHT LOSS FACTOR	WATTAGE
A	2	PRV_A15-D-UNIV-T3-BZ	14 FT	LED	1	6139	0.9	57
B	1	PRV_A15-D-UNIV-T3-BZ-HSS	12 FT	LED	1	5681	0.9	57
C	1	OLWX1-LED-20W-40K-DOB_1	10 FT	LED	1	1841	0.9	21.77
D	5	OLWX1-LED-20W-40K-DOB	SEE PLAN FOR MOUNTING HEIGHTS	LED	1	1841	0.9	21.77



APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

# LANDSCAPE SCHEDULE

Quantity	Botanical Name	Common Name	Size
1	Acer palmatum (Palmatum Group) 'Bloodgood'	BLOODGOOD JAPANESE MAPLE	7-8'
2	Acer rubrum 'Fransred' (Red Sunsets®)	FRANKSRED (RED SUNSETS®) RED MAPLE	2.5-3' cal
12	Betula nigra 'Cully' (Heritage®)	CULLY (HERITAGE®) RIVER BIRCH	10-12'
18	Calamagrostis x scutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	2gal
1	Cornus florida 'Cherokee Princess'	CHEROKEE PRINCESS FLOWERING DOGWOOD	2.5-3' cal
3	Echinacea purpurea 'Kim's Knee High'	KIM'S KNEE HIGH PURPLE CONEFLOWER	1gal
7	Hemerocallis 'Happy Returns'	HAPPY RETURNS DAYLILY	1gal
6	Hosta 'Sum & Substance'	SUM & SUBSTANCE HOSTA	1gal
5	Hydrangea macrophylla 'Bailmer' (Endless Summer®)	BAILMER (ENDLESS SUMMER®) BIGLEAF HYDRANGEA	3gal
3	Hydrangea paniculata 'LVOBO' pp#22,782, cor#4910 (Proven Winners)	BOBO® HARDY HYDRANGEA (Proven Winners)	3gal
3	Hydrangea quercifolia 'Brother Edward' pp#25,413, coraf (Proven Winners)	GATSBY MOON™ OAKLEAF HYDRANGEA (Proven Winners)	3gal
9	Ilex crenata 'Heller'	HELLER JAPANESE HOLLY	5gal
4	Ilex x meserveae 'Blue Princess'	BLUE PRINCESS® MESERVE HOLLY	4-5'
3	Malus x 'Prairie Fire'	PRAIRIE FIRE FLOWERING CRABAPPLE	2.5-3' cal
8	Microbiota decussata	SIBERIAN CYPRESS	2gal
11	Nepeta x faassenii 'Walker's Low'	WALKER'S LOW CATMINT	1gal
10	Pennisetum alopecuroides 'Hamelin'	HAMELIN CHINESE FOUNTAIN GRASS	2gal
6	Picea abies	NORWAY SPRUCE	7-8'
2	Picea omorika	SERBIAN SPRUCE	7-8'
3	Picea pungens 'Fat Albert'	FAT ALBERT COLORADO SPRUCE	7-8'
6	Pieris japonica 'Mt. Fire'	MT. FIRE JAPANESE PIERIS	5gal
9	Rhododendron (subgenus Rhododendron) 'FJM'	FJM RHODODENDRON	5gal
3	Rhododendron dogranianum ssp. yakushimanum 'Yaku Princess'	YAKU PRINCESS RHODODENDRON	5gal
6	Rosa 'Radrazz' (Knock Out®)	RADRAZZ (KNOCK OUT®) ROSE	3gal
5	Salvia nemorosa 'Mainacht' (May Night)	MAINACHT (MAY NIGHT) HEADOW SAGE	1gal
9	Syringa reticulata 'Ivory Silk'	IVORY SILK JAPANESE TREE LILAC	2.5-3' cal
9	Thuja occidentalis 'Nigra'	NIGRA AMERICAN ARBORVITAE	7-8'
3	Viburnum plicatum f. tomentosum 'Mariesii'	MARIESII DOUBLEFILE VIBURNUM	3-4'

### APPROVAL NOTES:

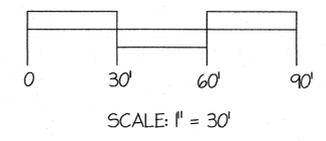
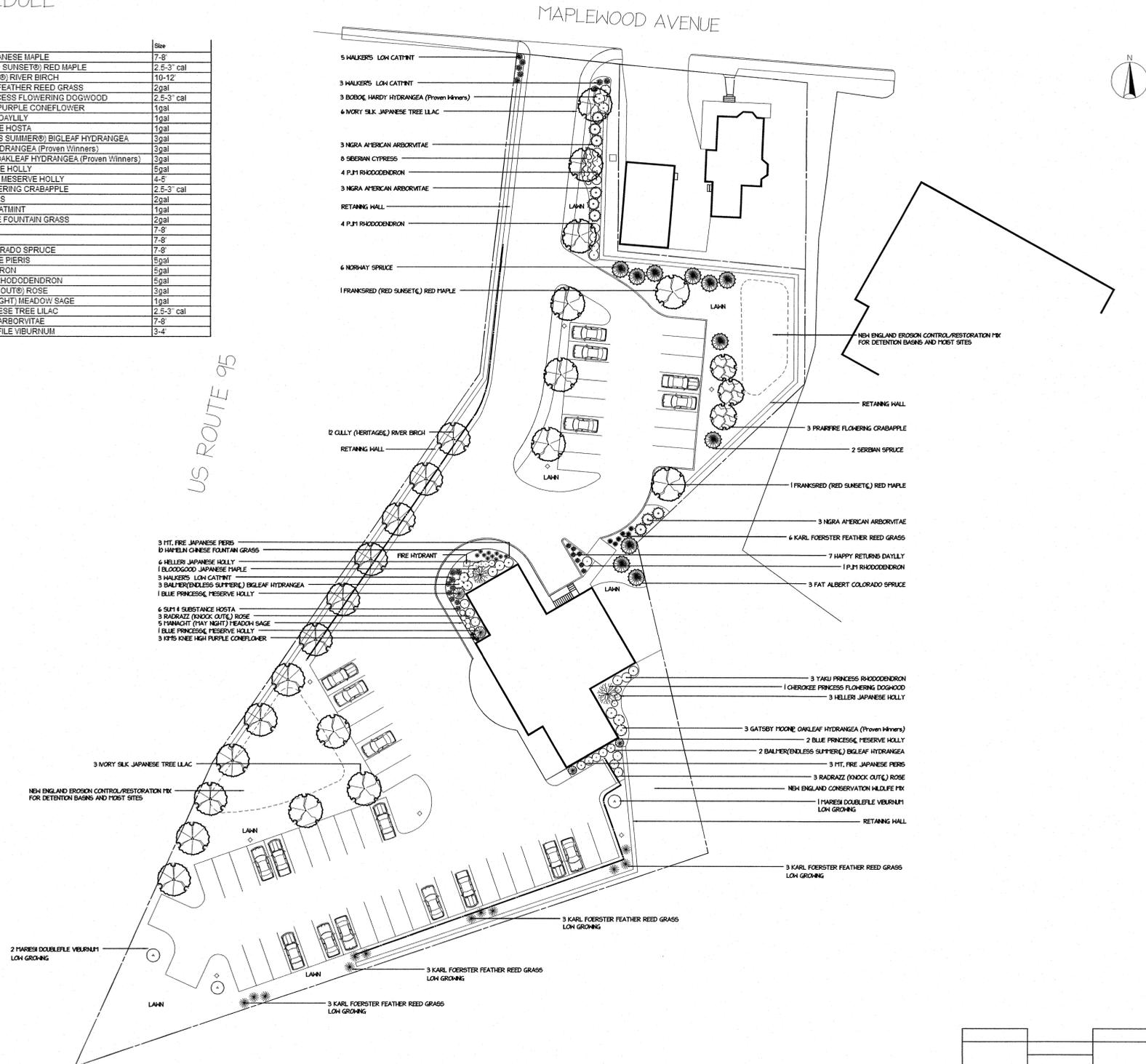
1) THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

2) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

3) THE OWNER OF RECORD AND SUBSEQUENTLY THE CONDOMINIUM UNIT ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.

4) ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.

5) THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.



### NOTES

BASE PLANS PROVIDED ELECTRONICALLY BY ENGINEER OF RECORD:

AMBIT ENGINEERING SHEET C4 DATED: 9/17/18

No.	Date	Description
	10/10/18	
	REV 11/20/18	

MAPLE MASJID  
686 MAPLEWOOD AVE  
PORTSMOUTH, NH

## LANDSCAPE PLAN

KRIS ROMANIK  
LANDSCAPE DESIGN  
20 BRADFORD ST DERRY, NH 03038  
617-756-2129

SCALE: 1" = 30'	PROJECT NO.
DRAWN BY: KRIS ROMANIK	SHEET NO.
CHECKED BY: KR	L-1
DATE: 8-9-18	
DATE OF PRINT: 8-9-18	

# EROSION CONTROL NOTES

## CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

THE CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (N.O.I.) BEFORE BEGINNING CONSTRUCTION AND SHALL HAVE ON SITE A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) AVAILABLE FOR INSPECTION BY THE PERMITTING AUTHORITY DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARRYING OUT THE S.W.P.P.P. AND INSPECTING AND MAINTAINING ALL BMP'S CALLED FOR BY THE PLAN. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (N.O.T.) FORM TO THE REGIONAL EPA OFFICE WITHIN 30 DAYS OF FINAL STABILIZATION OF THE ENTIRE SITE OR TURNING OVER CONTROL OF THE SITE TO ANOTHER OPERATOR.

INSTALL PERIMETER CONTROLS, I.E., SILT FENCING OR SILTSOXX AROUND THE LIMITS OF DISTURBANCE BEFORE ANY EARTH MOVING OPERATIONS. THE USE OF HAYBALES IS NOT ALLOWED.

CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.

PERFORM DEMOLITION.

CUT AND GRUB ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND REMOVE OTHER DEBRIS AND RUBBISH AS REQUIRED.

BULLDOZE TOPSOIL INTO STOCKPILES, AND CIRCLE WITH SILT FENCING OR SILTSOXX. IF EROSION IS EXCESSIVE, THEN COVER WITH MULCH.

CONSTRUCT FILTRATION BASINS AND OUTLET, BUT DO NOT ALLOW INFLOW UNTIL ALL CONTRIBUTING AREAS ARE STABILIZED AND EROSION-FREE. ROUGH GRADE SITE. REMOVE AND CRUSH LEDGE, THEN BACKFILL WITH ON-SITE SOILS OR GRAVEL IN 12" LIFTS, TYP. ROUGH GRADE SITE. IN LANDSCAPED AREAS OUT OF THE WAY OF SUBSEQUENT CONSTRUCTION ACTIVITY, INSTALL TOPSOIL, MULCH, SEED AND FERTILIZER. STABILIZE STEEPER SLOPES PER DETAILS.

CONSTRUCT FOUNDATIONS.

CONSTRUCT WALLS.

LAYOUT AND INSTALL ALL BURIED UTILITIES AND SERVICES TO THE PROPOSED BUILDING FOUNDATIONS. CAP AND MARK TERMINATIONS OR LOG SWING TIES.

CONSTRUCT BUILDING FRAMES.

FINISH GRADE SITE, BACKFILL DRIVEWAY & PARKING SUBBASE GRAVEL IN TWO, COMPACTED LIFTS. PROVIDE TEMPORARY EROSION PROTECTION TO DITCHES AND SWALES IN THE FORM OF MULCHING, JUTE MESH OR DITCH DAMS.

BUILDING EXTERIOR WORK: LIGHT FIXTURES

INSTALL EXTERIOR LIGHT POLE BASES, AND MAKE FINAL CONNECTIONS TO CONDUIT.

ALL PERMANENT FILTRATION BASINS, DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.

PLACE BINDER LAYER OF PAVEMENT, THEN RAISE CATCH BASIN FRAMES TO FINAL GRADE. REINSTALL BASIN INLET PROTECTION.

PLANT LANDSCAPING IN AREAS OUT OF WAY OF BUILDING CONSTRUCTION. PREPARE AND STABILIZE FINAL SITE GRADING BY ADDING TOPSOIL, SEED, MULCH AND FERTILIZER.

AFTER BUILDINGS ARE COMPLETED, FINISH ALL REMAINING LANDSCAPED WORK.

CONSTRUCT ASPHALT WEARING COURSE.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF FINAL STABILIZATION OF THE SITE.

LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.

## GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT FENCES AND SILTSOXX SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT FENCES AND SILTSOXX SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

ADDITIONAL TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS—CONSTRUCT SILT FENCE OR SILTSOXX AROUND TOPSOIL STOCKPILE.

AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL. STUMPS SHALL BE DISPOSED OF IN AN APPROVED FACILITY.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:  
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED  
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED  
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED  
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED

## VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEDED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER	PROPORTION	SEEDING RATE
CREeping RED FESCUE	50%	100 LBS/ACRE
KENTUCKY BLUEGRASS	50%	

SLOPE SEED (USED ON ALL SLOPES GREATER THAN OR EQUAL TO 3:1)

CREeping RED FESCUE	42%	
TALL FESCUE	42%	48 LBS/ACRE
BIRDSFOOT TREFOIL	16%	

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS:  
 MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:  
 PERENNIAL RYE: 0.7 LBS/1,000 S.F.  
 MULCH: 1.5 TONS/ACRE

## MAINTENANCE AND PROTECTION

THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEDED BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.

THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.  
 TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.

SEEDED AREAS WILL BE FERTILIZED AND RESEDED AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.

THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.

THE SILT FENCE OR SILTSOXX BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

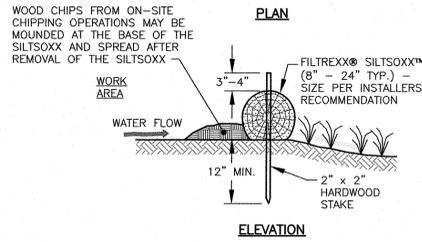
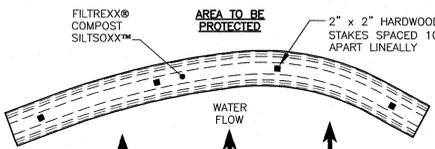
SILT FENCING AND SILTSOXX SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE AND SILTSOXX REMOVAL SHALL BE PERMANENTLY SEEDED.

## WINTER NOTES

ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

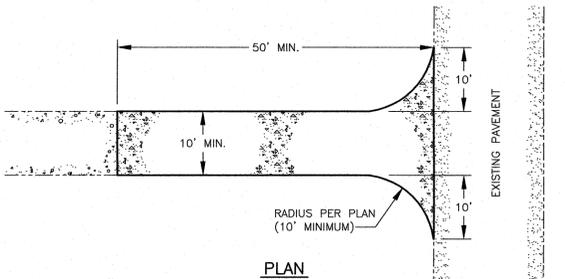
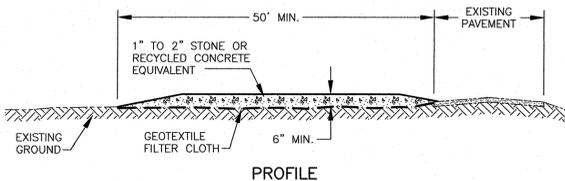
ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.



- NOTES:
1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
  2. FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
  3. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
  4. SILTSOXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
  5. THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

## A C4 AS NEEDED NTS



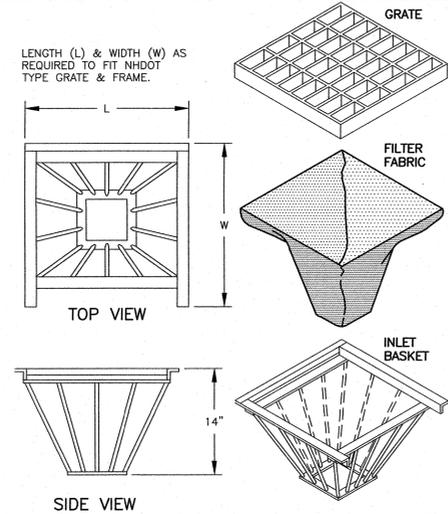
## MAINTENANCE

- 1) MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOP DRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
- 2) IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

## CONSTRUCTION SPECIFICATIONS

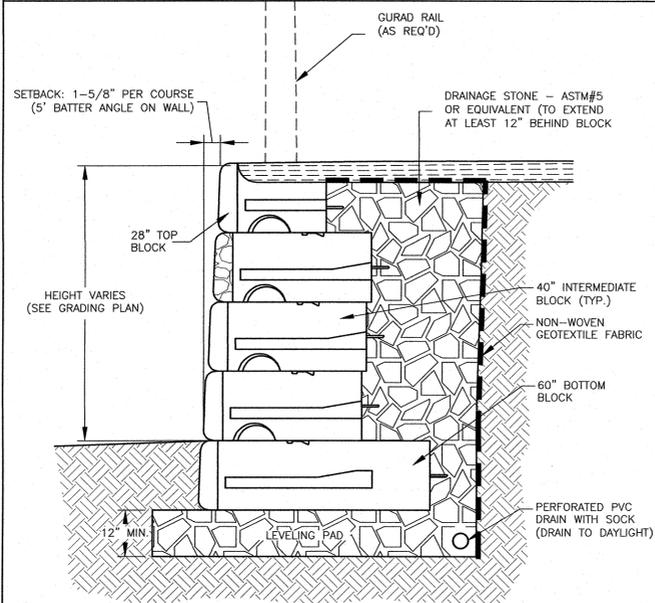
- 1) STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- 2) THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- 3) THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- 4) THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- 5) GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- 6) ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- 7) THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- 8) WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY, WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

## B C4 AS NEEDED NTS



- 1) INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- 2) FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6" PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
- 3) THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC, POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:  
 -RAB STRENGTH: 45 LB. MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1682)  
 -MULLEN BURST STRENGTH: MIN. 60 psi (ASTM D774)
- 4) THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 gpm/s.f. (MULTIPLY THE PERMITTIVITY IN SEC.-1 FROM ASTM 54491-85 CONSTANT HEAD TEST USING THE CONVERSION FACTOR OF 74.)
- 5) THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- 6) SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

## C C4 CATCH BASIN INLET BASKET NTS



NOTE:  
 FINAL STAMPED WALL DESIGN PLANS SHALL BE SUBMITTED TO THE CITY FOR APPROVAL BEFORE CONSTRUCTION. THE DESIGN SHALL ACCOUNT FOR HYDROSTATIC WALL PRESSURE.

## D C2 28" REDI ROCK WALL (OR APPROVED EQUAL) NTS

**AMBIT ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 200 Griffin Road - Unit 3  
 Portsmouth, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2315

## NOTES:

- 1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

PORTSMOUTH  
 MAPLE MASJID  
 686 MAPLEWOOD AVENUE  
 PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	DETAIL D	11/19/18
0	ISSUED FOR COMMENT	10/15/18

REVISIONS



SCALE AS NOTED MAY 2018

EROSION CONTROL  
 NOTES & DETAILS

D1

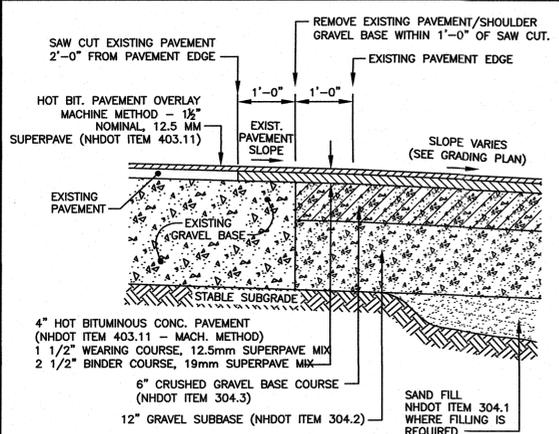


**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors

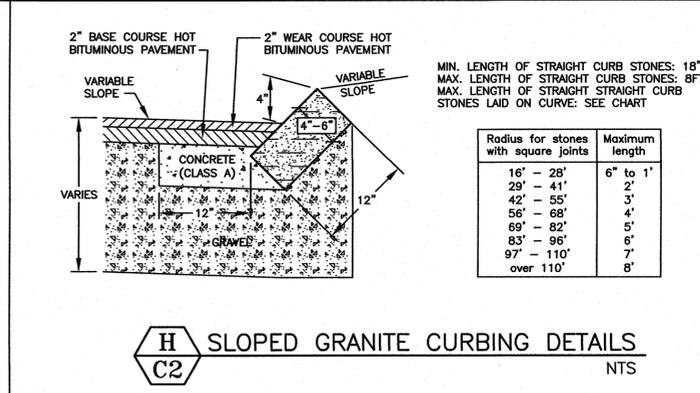
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

**NOTES:**

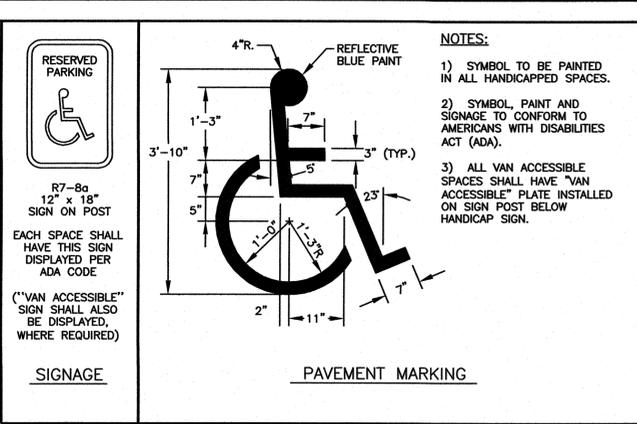
- 1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
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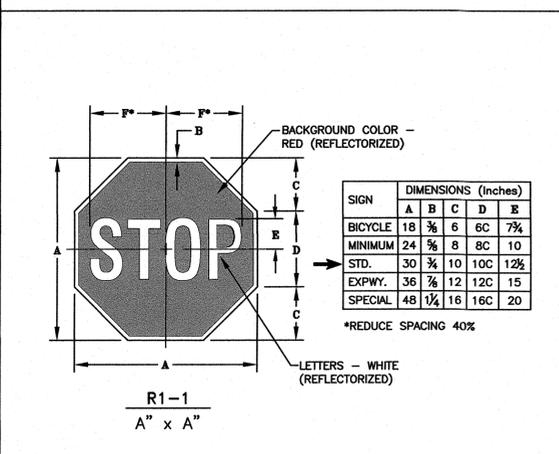
**E** FULL DEPTH PAVEMENT SECTION AND PAVEMENT JOINT DETAIL  
C1 NTS



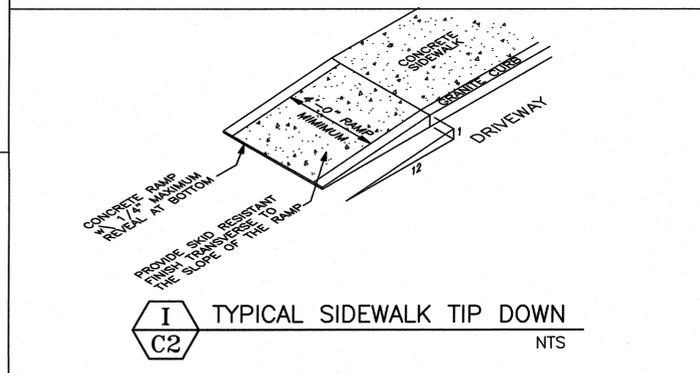
**H** SLOPED GRANITE CURBING DETAILS  
C2 NTS



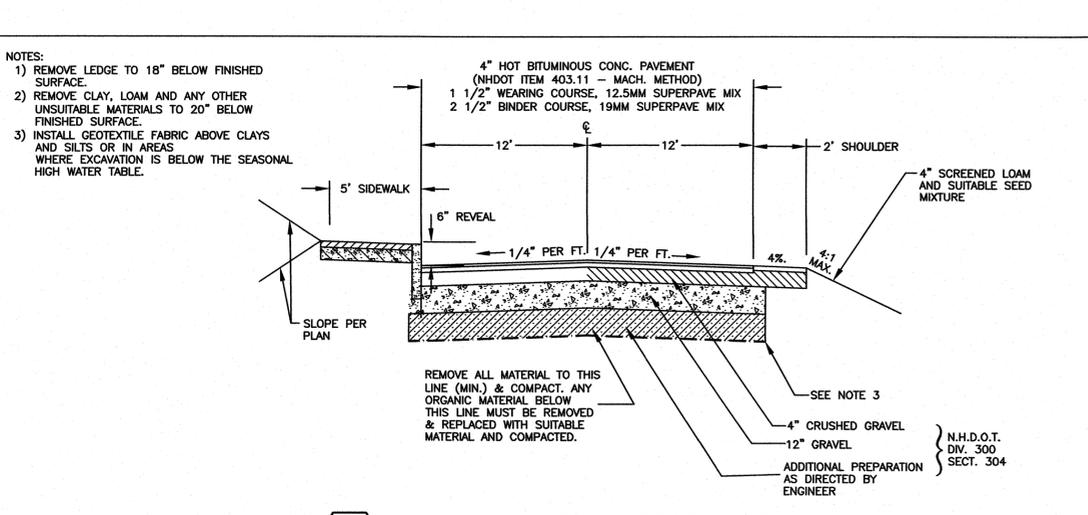
**K** HANDICAP STALL & HANDICAP SYMBOL  
C2 NTS



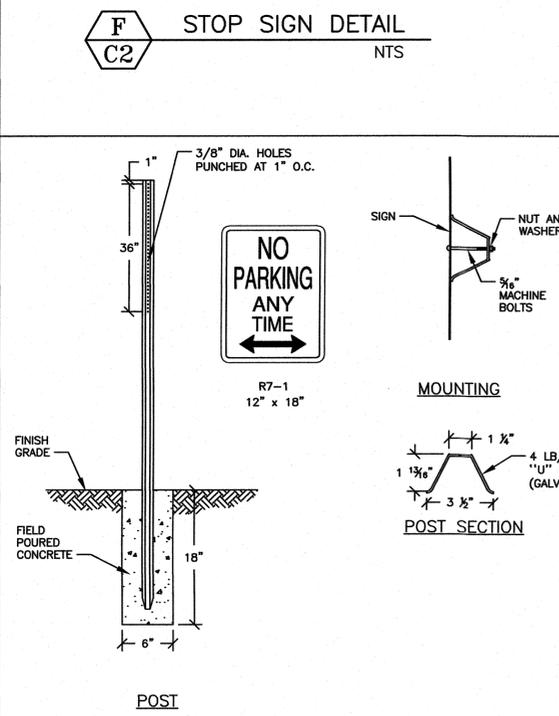
**F** STOP SIGN DETAIL  
C2 NTS



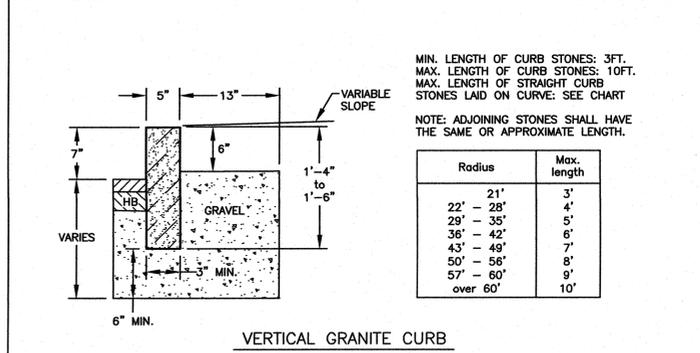
**I** TYPICAL SIDEWALK TIP DOWN  
C2 NTS



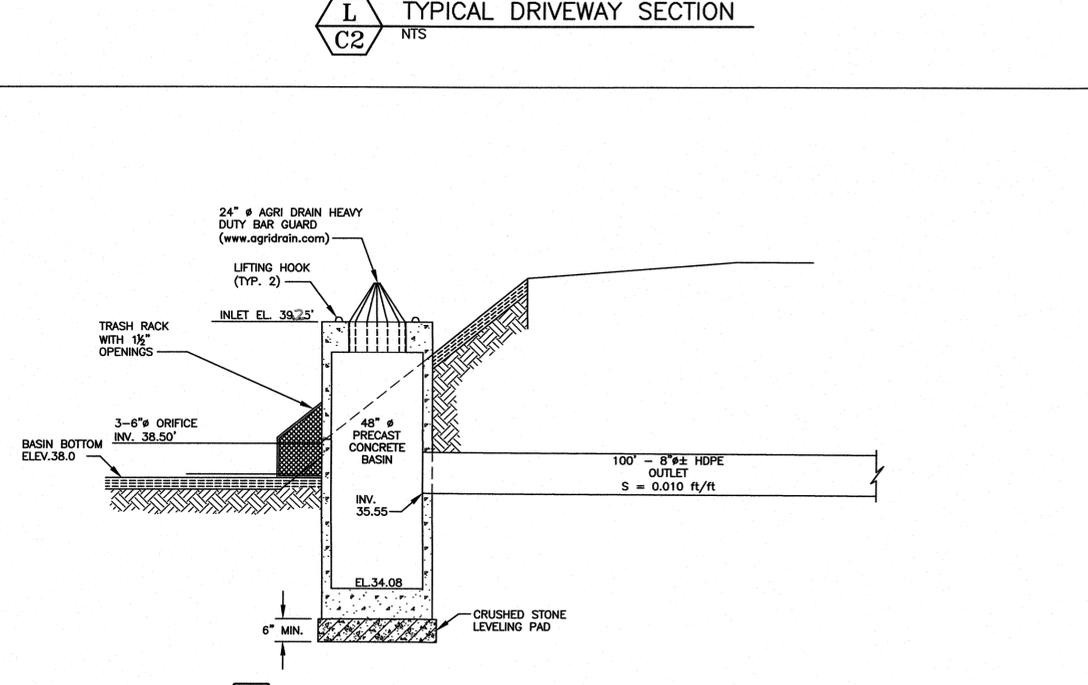
**L** TYPICAL DRIVEWAY SECTION  
C2 NTS



**G** SIGN & POST DETAIL  
C2 NTS



**J** PORTLAND CEMENT CONCRETE SIDEWALK (WITH VERTICAL GRANITE CURB)  
C2 NTS



**KK** OUTLET CONTROL STRUCTURE DETAIL BASIN PS1b  
C4 NTS

PORTSMOUTH  
MAPLE MASJID  
686 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
2	ADDED DETAIL KK	3/19/19
1	REVISED DETAIL L WITH SIDEWALK	11/19/18
0	ISSUED FOR COMMENT	10/15/18



SCALE AS NOTED  
MAY 2018

DETAILS  
**D2**

J:\JOBS2\UN2300a\IN\_2360\2017\_Site Plan\Plans & Specs\Site\23600101.dwg, D2 DETAILS

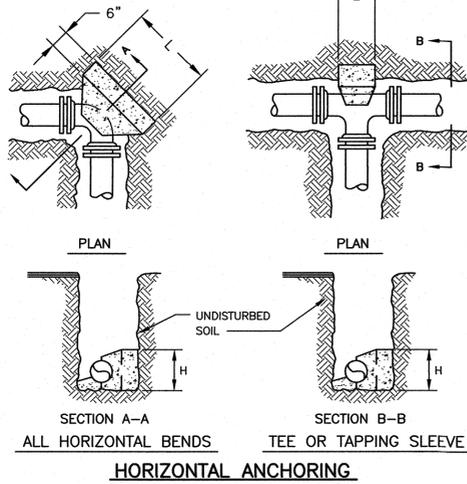
**HORIZONTAL ANCHOR DIMENSIONS FOR PIPE INSTALLATION IN ROCK**  
UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	H	L	H	L	H	L	H	L	H	L
4"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
6"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
8"	1'-2"	1'-2"	1'-2"	1'-2"	1'-0"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
10"	1'-4"	1'-4"	1'-4"	1'-4"	1'-0"	1'-0"	0'-9"	1'-0"	0'-9"	1'-0"
12"	1'-8"	1'-8"	1'-8"	1'-8"	1'-3"	1'-3"	1'-0"	1'-0"	0'-9"	1'-0"

**HORIZONTAL ANCHOR DIMENSIONS FOR AVERAGE SOIL CONDITIONS**  
UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	TEE OR TAP SLEEVE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	H	L	H	L	H	L	H	L	H	L
4"	1'-0"	2'-0"	1'-0"	2'-0"	1'-0"	1'-4"	0'-9"	1'-0"	0'-6"	1'-0"
6"	1'-0"	2'-0"	1'-0"	2'-0"	1'-0"	1'-4"	0'-9"	1'-0"	0'-6"	1'-0"
8"	1'-4"	2'-8"	1'-4"	2'-8"	1'-4"	1'-6"	1'-0"	1'-0"	0'-9"	1'-0"
10"	1'-8"	3'-4"	1'-8"	3'-4"	1'-8"	2'-0"	1'-3"	1'-3"	1'-0"	1'-0"
12"	2'-0"	4'-0"	2'-0"	4'-0"	2'-0"	2'-2"	1'-6"	1'-6"	1'-3"	1'-3"

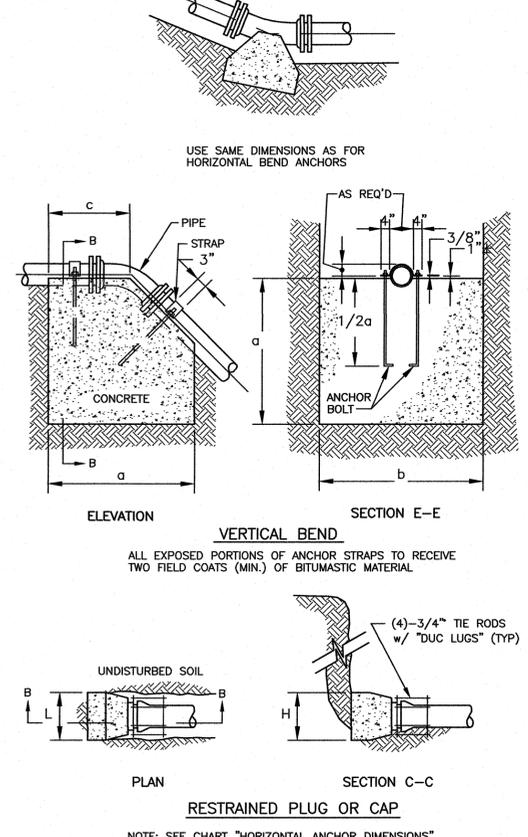
NOTES:  
1) TABLES ARE BASED ON AN ALLOWABLE SOIL PRESSURE OF 3000 PSF ON UNDISTURBED EARTH BEHIND THE ANCHOR BLOCK. WHERE SOIL HAS BEEN DISTURBED BY ADJACENT EXCAVATIONS OR WHERE SOIL CANNOT WITHSTAND SUCH A PRESSURE, THE TABLE DOES NOT APPLY.  
2) WHERE ENTIRE DEPTH OF PIPE IS BELOW THE TOP SURFACE OF SOUND ROCK, USE "HORIZONTAL ANCHOR DIMENSIONS FOR PIPE INSTALLATION IN ROCK" TABLE.



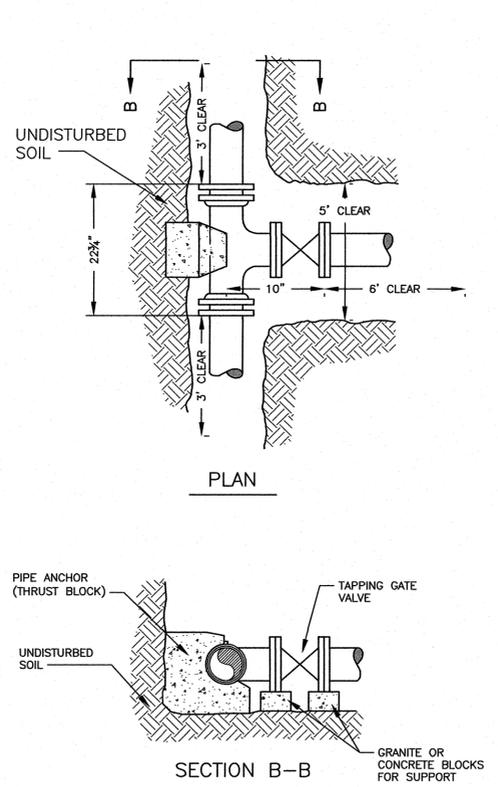
**M C3** PRESSURE PIPE ANCHORING DETAILS  
INSTALL PER PORTSMOUTH REQUIREMENTS NTS

**VERTICAL ANCHOR DIMENSIONS**  
UP TO 150 P.S.I. WORKING PRESSURE

PIPE SIZE	45° BEND			22 1/2° BEND			11 1/4° BEND			
	a	b	c	a	b	c	a	b	c	
4"	3'-0"	3'-0"	2'-0"	3/4"	2'-6"	2'-3"	1'-6"	3/4"	2'-0"	2'-0"
6"	3'-0"	3'-0"	2'-0"	3/4"	2'-6"	2'-3"	1'-6"	3/4"	2'-0"	2'-0"
8"	3'-6"	3'-6"	2'-6"	3/4"	3'-0"	3'-0"	1'-9"	3/4"	2'-6"	2'-6"
10"	4'-3"	4'-3"	3'-0"	3/4"	3'-6"	3'-3"	2'-0"	3/4"	2'-9"	2'-9"
12"	4'-9"	4'-6"	3'-3"	3/4"	4'-0"	3'-9"	2'-6"	3/4"	3'-3"	3'-3"



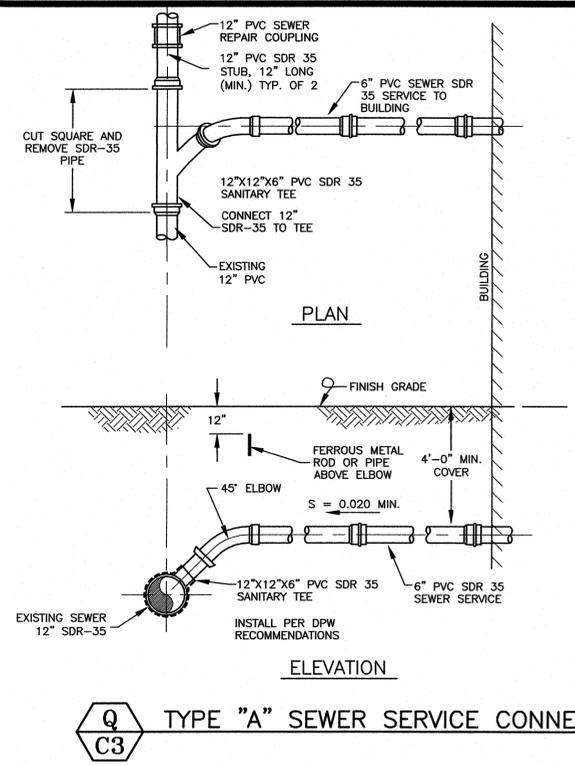
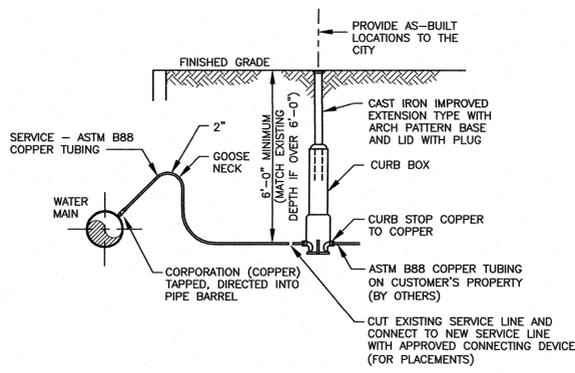
**VERTICAL ANCHORING**



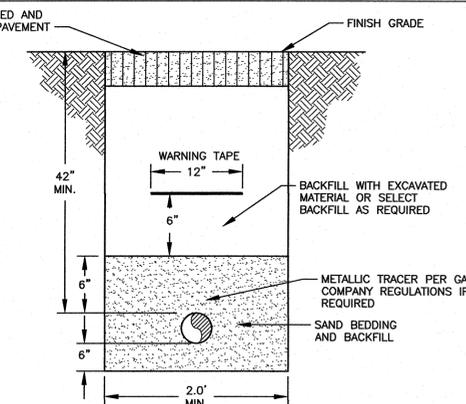
**O C3** TAPPING SLEEVE AND GATE  
INSTALL PER PORTSMOUTH REQUIREMENTS NTS

NOTES:  
1) ALL MATERIALS SHALL BE APPROVED BY THE PORTSMOUTH WATER DEPARTMENT PRIOR TO INSTALLATION AND USE.  
2) ALL JOINTS SHALL BE MECHANICAL.  
3) "CLEAR" DIMENSIONS SHOWN ARE REQUIRED FOR WORKSPACE. NO JOINTS ON PIPE BEING TAPPED WITHIN "CLEAR" AREA.  
4) FORD TYPE STAINLESS STEEL TAPPING SADDLES OR APPROVED EQUAL ARE ALSO ACCEPTABLE.

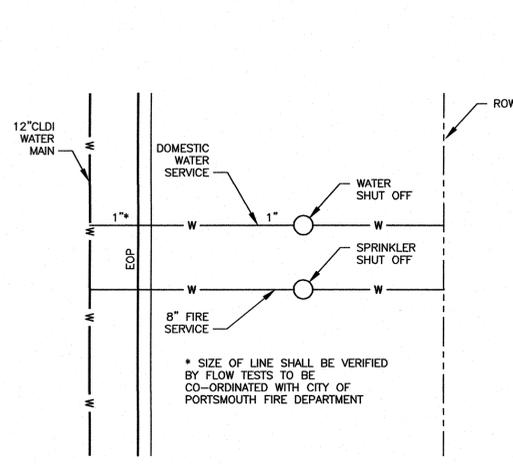
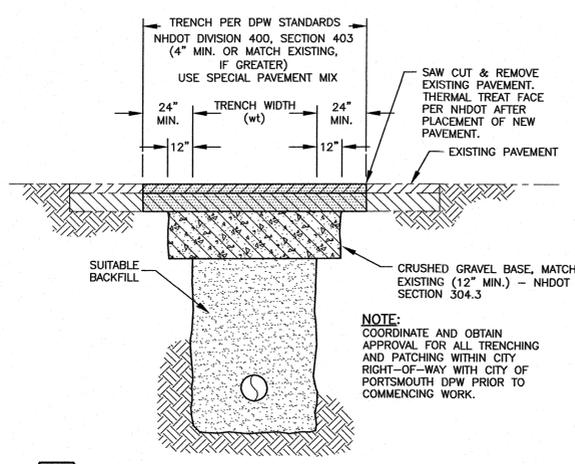
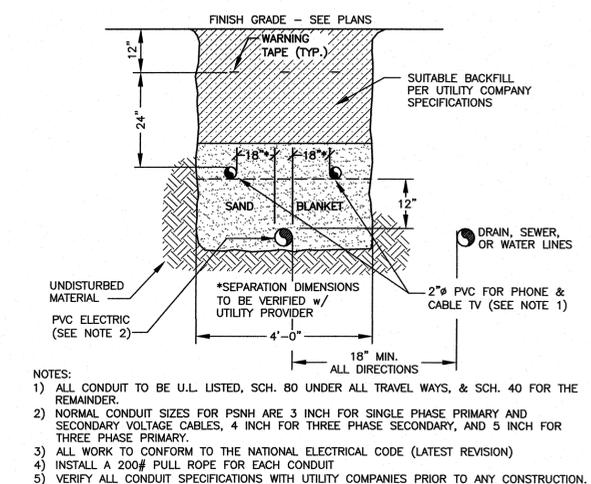
**P C3** TYPICAL WATER SERVICE CONNECTION  
NTS



**R1 C3** GAS SERVICE TRENCH  
NTS



**R2 C3** UTILITY TRENCH  
ELECTRIC/PHONE/CABLE  
NTS



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4) ALL WATER LINE INSTALLATION WORK SHALL BE TO CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS. DETAILS MAY OR MAY NOT BE UP-TO-DATE.

**PORTSMOUTH MAPLE MASJID**  
686 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
1	REVISED DETAIL Q (NO FERNCO FITTINGS)	11/19/18
0	ISSUED FOR COMMENT	10/15/18



SCALE AS NOTED MAY 2018

DETAILS **D3**

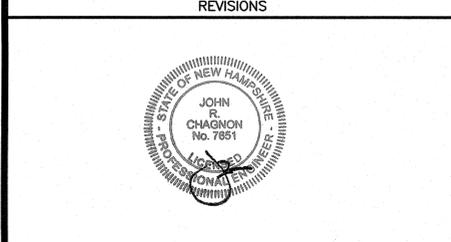
J:\JOB52\_UN23005\_UN\_2360\_2017 Site Plan\Plans & Specs\Site\2360D01.dwg, D3 DETAILS

**NOTES:**

- 1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
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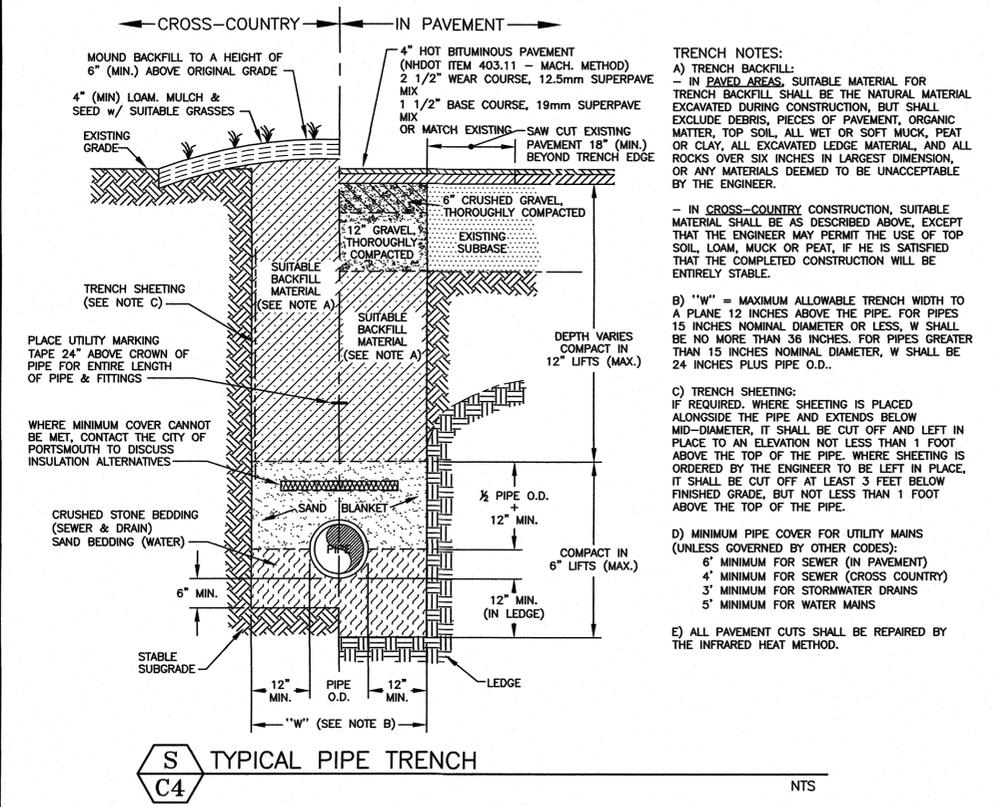
**PORTSMOUTH  
MAPLE MASJID  
686 MAPLEWOOD AVENUE  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	ADDED KSAT TEST DETAIL U	3/19/19
2	ADDED FIRE HYDRANT DETAIL W	11/19/18
1	ISSUED FOR APPROVAL	10/15/18
0	ISSUED FOR COMMENT	5/8/18

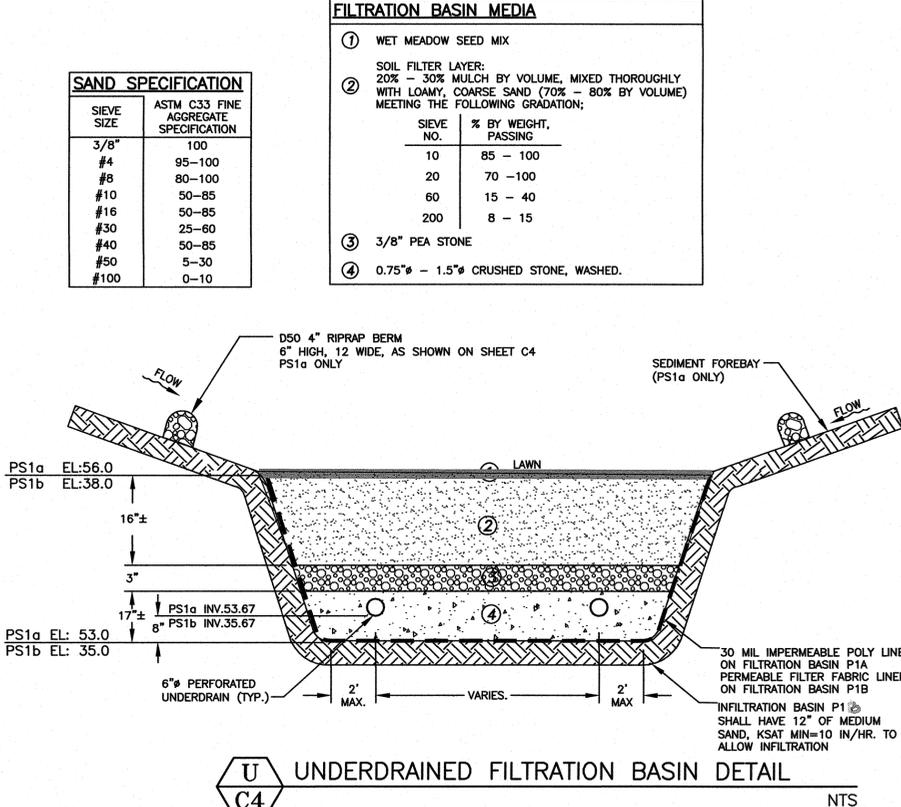


AS NOTED MAY 2018

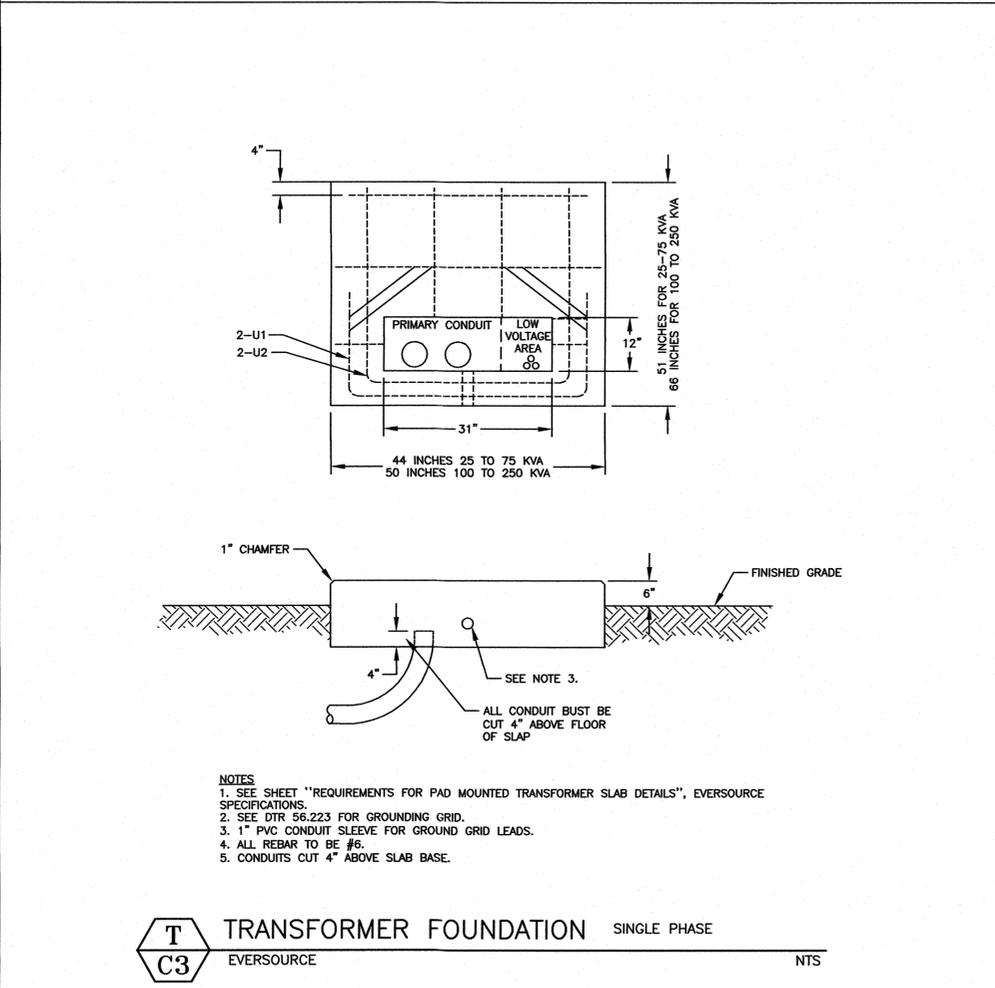
**DETAILS** **D4**



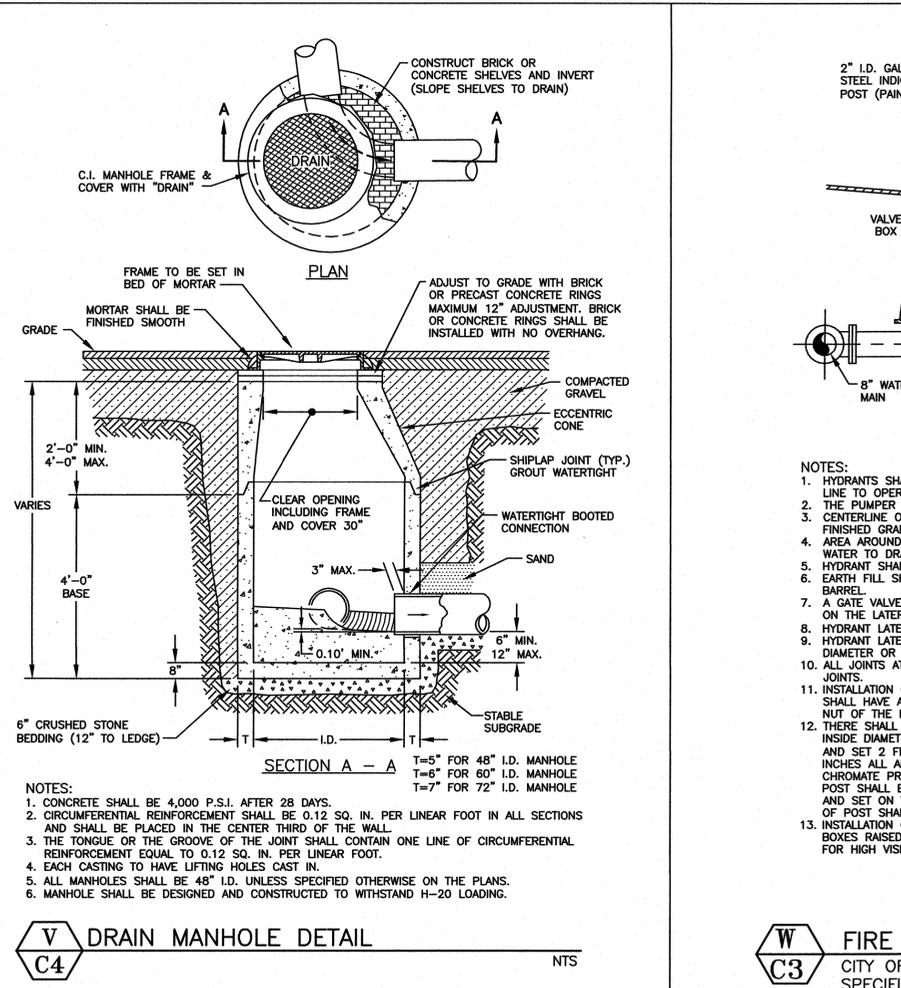
**S C4** TYPICAL PIPE TRENCH NTS



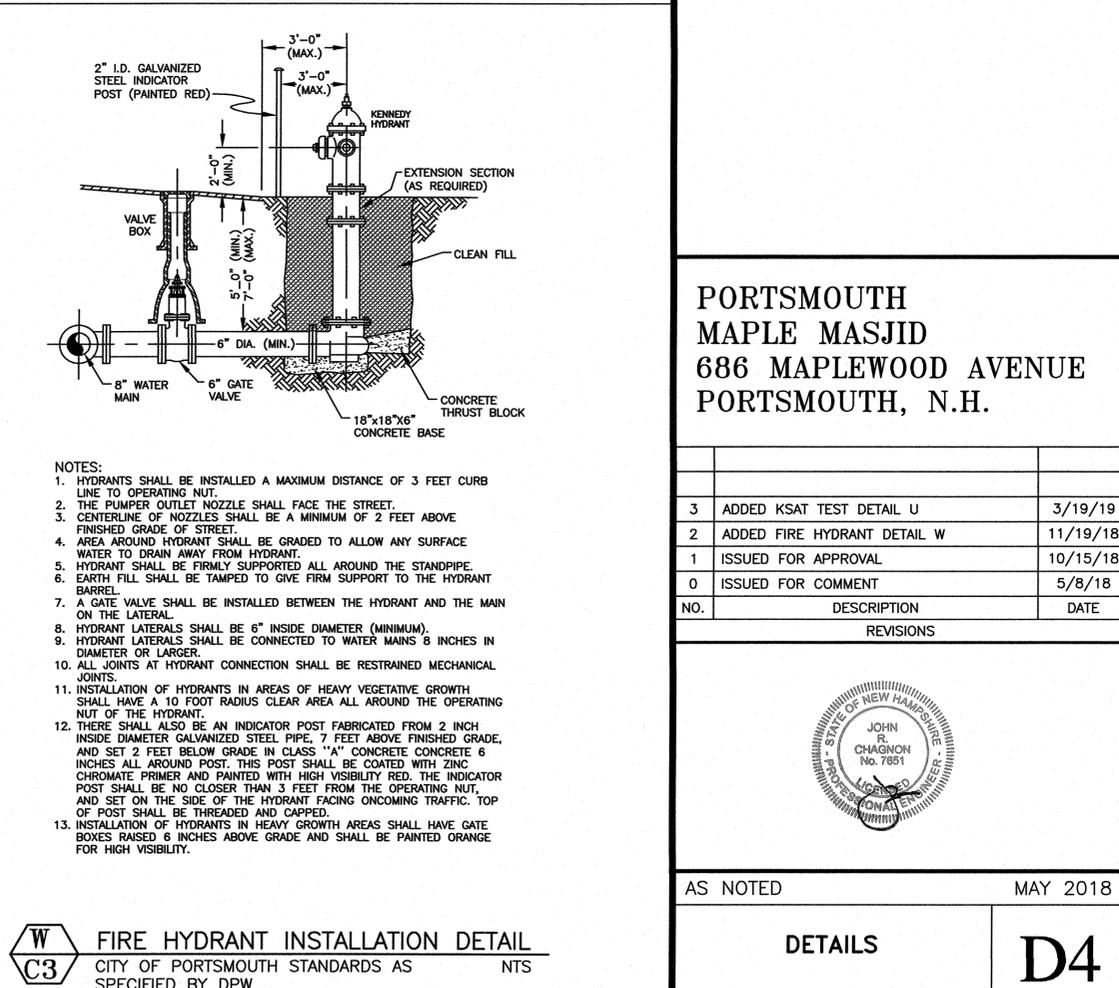
**U C4** UNDERDRAINED FILTRATION BASIN DETAIL NTS



**T C3** TRANSFORMER FOUNDATION SINGLE PHASE EVERSOURCE NTS



**V C4** DRAIN MANHOLE DETAIL NTS



**W C3** FIRE HYDRANT INSTALLATION DETAIL CITY OF PORTSMOUTH STANDARDS AS SPECIFIED BY DPW NTS

J:\0852\UN23005\IN 2360\2017 Site Plan\Plans & Specs\Site\2360D01.dwg, D4 DETAILS

**NOTES:**  
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**Z** LOCATION SIGN DETAIL  
 C2 NTS

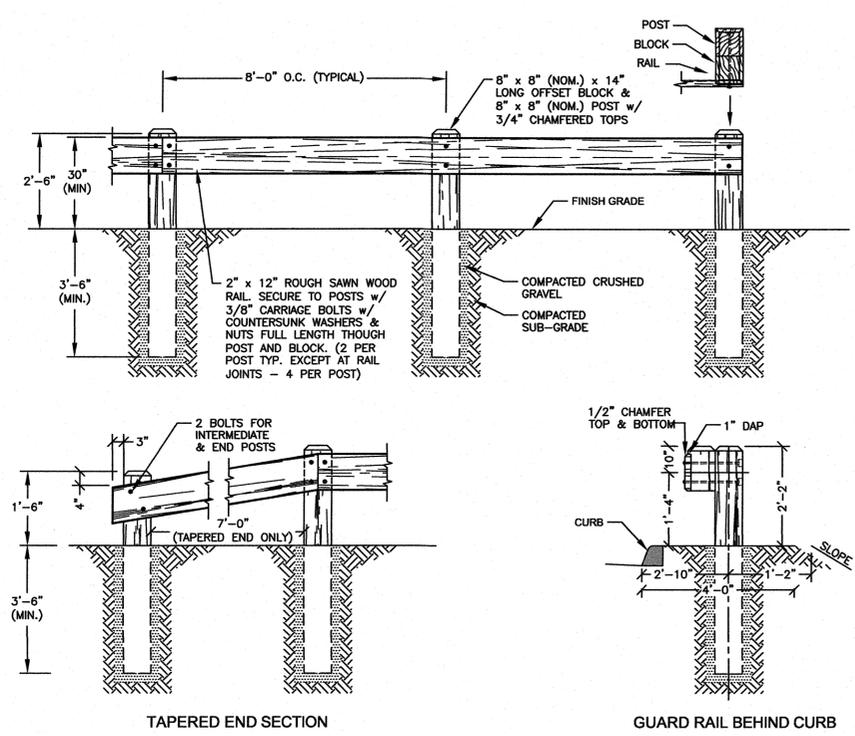
**PORTSMOUTH MAPLE MASJID**  
 686 MAPLEWOOD AVENUE  
 PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
4	DETAIL BB	4/2/19
3	DETAIL BB	3/19/19
2	DETAIL BB	2/19/19
1	DETAIL Z	11/19/18
0	ISSUED FOR COMMENTS	10/15/18

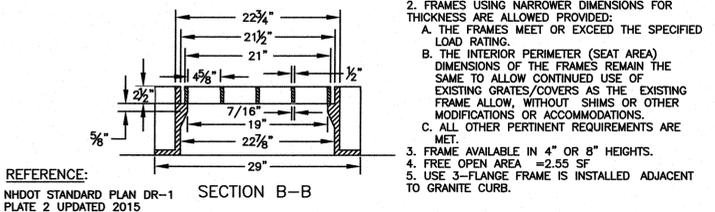
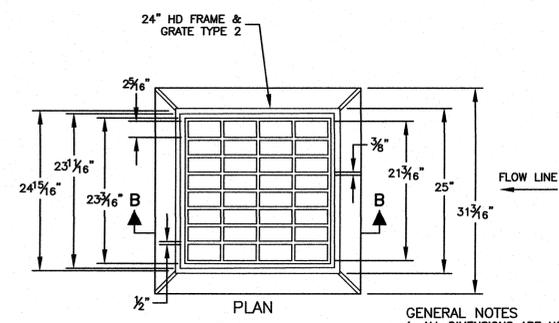


AS NOTED MAY 2018

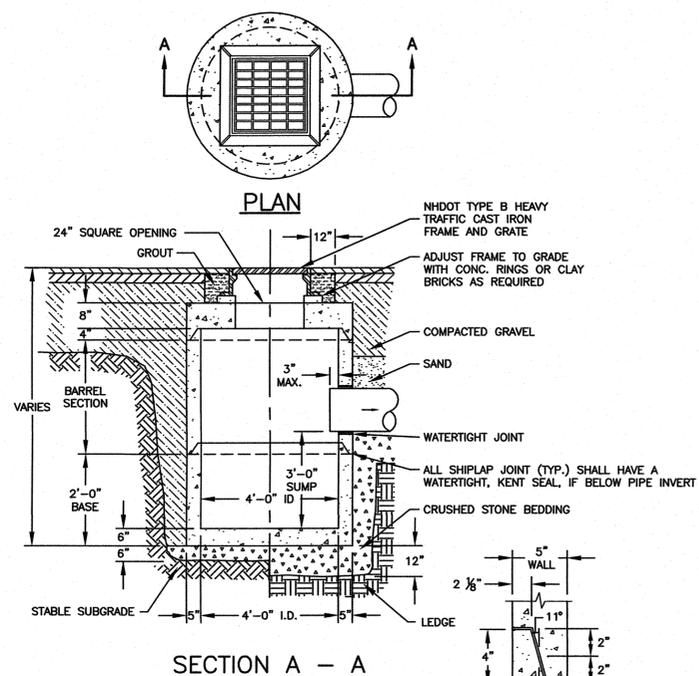
**DETAILS** **D5**



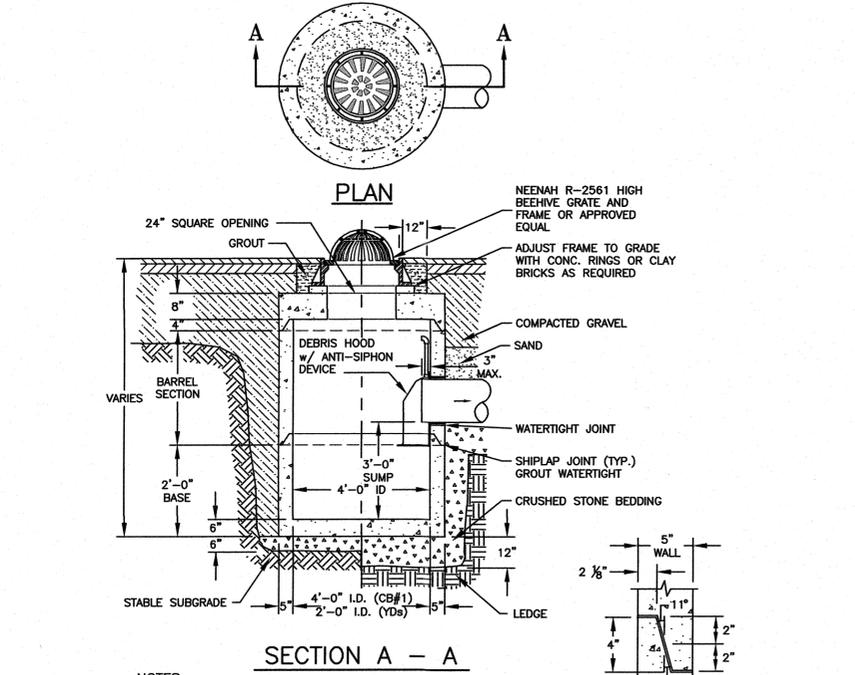
**X** WOOD BEAM GUARD RAIL DETAIL  
 C2 NTS



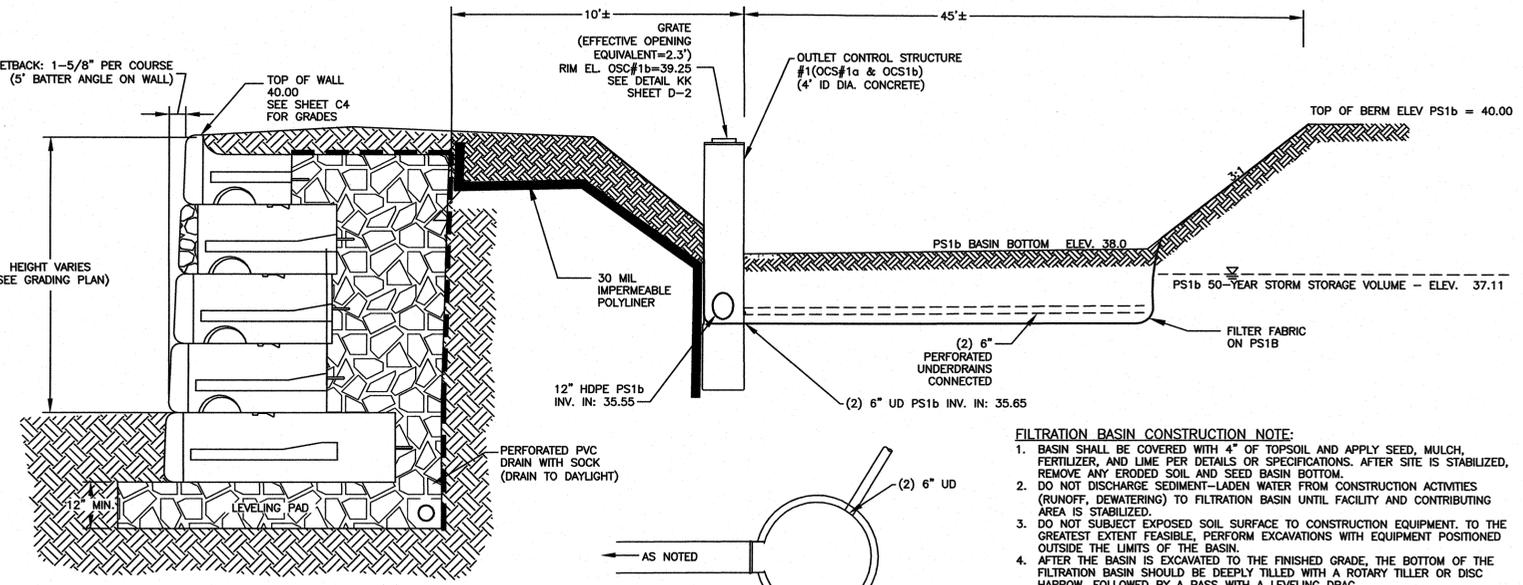
**AA** NHDOT GRATE TYPE B  
 C4 EJPRESGOTT, INC. NTS



**AA** CATCH BASIN  
 C4 NTS



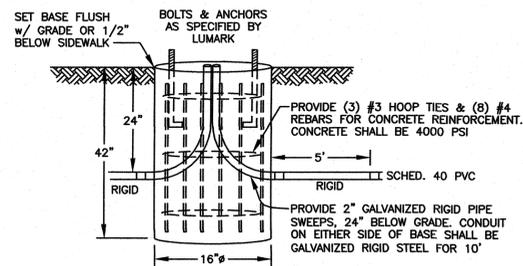
**Y** CATCH BASIN w/ BEEHIVE GRATE  
 C4 NTS



**BB** UNDERDRAINED FILTRATION BASIN DETAIL (GRADING & OUTLET)  
 C4 PROFILE VIEW NTS

**FILTRATION BASIN CONSTRUCTION NOTE:**  
 1. BASIN SHALL BE COVERED WITH 4" OF TOPSOIL AND APPLY SEED, MULCH, FERTILIZER, AND LIME PER DETAILS OR SPECIFICATIONS. AFTER SITE IS STABILIZED, REMOVE ANY ERODED SOIL AND SEED BASIN BOTTOM.  
 2. DO NOT DISCHARGE SEDIMENT-LADEN WATER FROM CONSTRUCTION ACTIVITIES (RUNOFF, DEWATERING) TO FILTRATION BASIN UNTIL FACILITY AND CONTRIBUTING AREA IS STABILIZED.  
 3. DO NOT SUBJECT EXPOSED SOIL SURFACE TO CONSTRUCTION EQUIPMENT. TO THE GREATEST EXTENT FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE BASIN.  
 4. AFTER THE BASIN IS EXCAVATED TO THE FINISHED GRADE, THE BOTTOM OF THE FILTRATION BASIN SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW, FOLLOWED BY A PASS WITH A LEVELING DRAG.  
 5. FOR ANY FILL REQUIRED FOR BASIN CONSTRUCTION, USE CLEAN, WASHED, WELL-SORTED AGGREGATE.  
**STRUCTURE NOTES:**  
 1. CONCRETE SHALL BE 4,000 P.S.I. AFTER 28 DAYS.  
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS & SHALL BE PLACED IN THE CENTER THIRD OF WALL.  
 3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.  
 4. EACH CASTING TO HAVE LIFTING HOLES CAST IN.

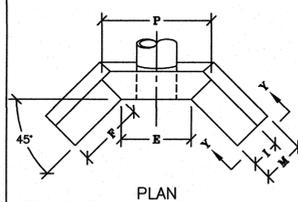
I:\JOB2 UN23005\IN 2360\2017 Site Plan\Plans & Specs\Site\2360D01.dwg, 05 DETAILS



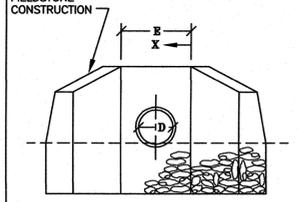
LIGHT POLE BASE DETAIL

- NOTES:
- ELECTRICAL INSTALLATION SHALL BE BY A LICENSED ELECTRICIAN.
  - LIGHTS SHALL BE WIRED IN ACCORDANCE WITH NEC AND CITY OR PORTSMOUTH ORDINANCES.
  - AN ELECTRICAL PERMIT IS REQUIRED FOR ALL CONDUIT AND ELECTRICAL WORK.

CC C2 LIGHT POLE BASE DETAILS NTS



PLAN



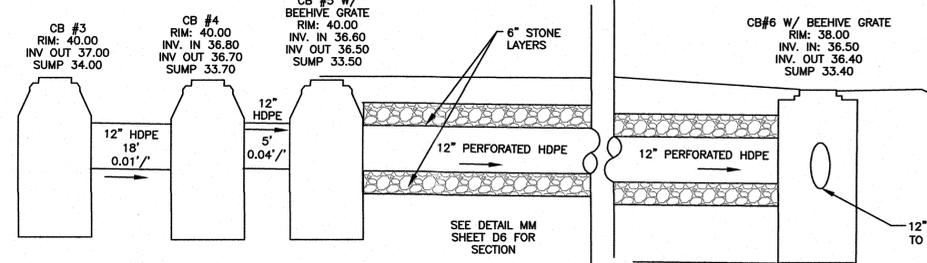
ELEVATION

D	E	F	G	H	I
12"	30"	28"	48"	60"	12"
15"	33"	32"	48"	60"	12"
18"	36"	36"	48"	60"	12"
24"	42"	44"	48"	66"	12"
30"	48"	52"	48"	72"	12"

D	J	K	L	M	P
12"	36"	24"	16"	18"	47"
15"	36"	24"	18"	18"	50"
18"	36"	24"	20"	18"	53"
24"	42"	24"	24"	18"	60"
30"	48"	24"	28"	18"	65"

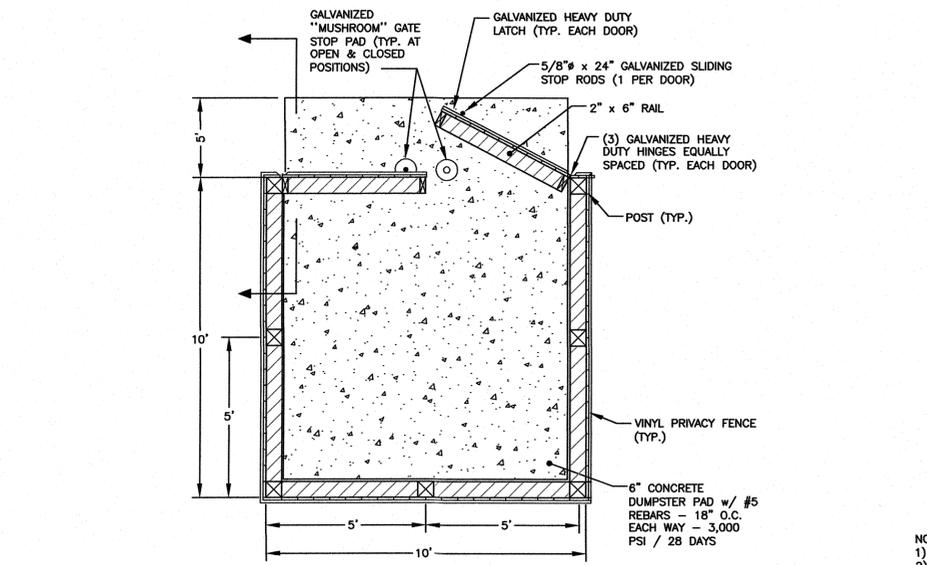
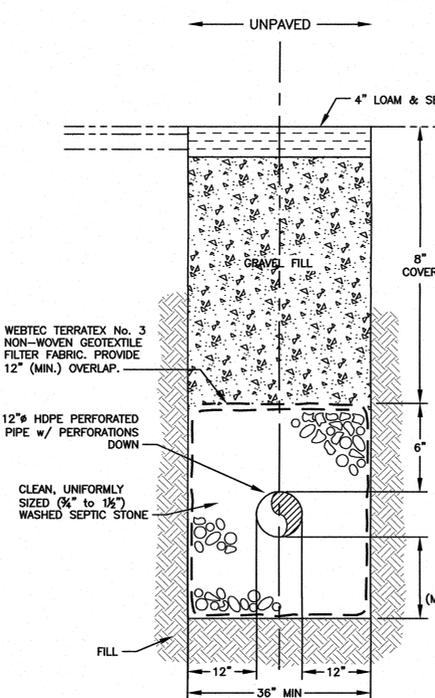
EE C4 HEADWALL DETAIL NTS



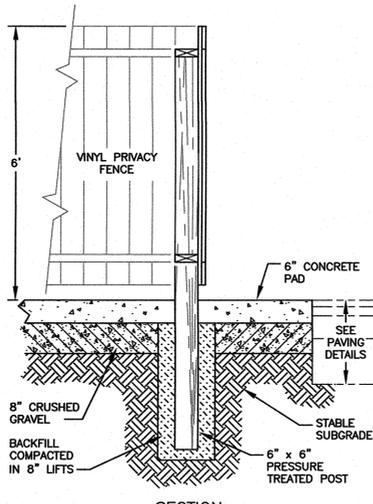
LL C4 INFILTRATION TRENCH DETAIL NTS

FILL BELOW INFILTRATION TRENCH  
 SOILS: SOILS PLACED BELOW INFILTRATION TRENCH SHALL BE BANK RUN GRAVEL, MANUFACTURED SAND OR MODIFIED 304.1 BEDDING. THE MATERIAL SHALL BE TESTED FOR HYDRAULIC CONDUCTIVITY IN TWO PLACES BY A EITHER BOREHOLE TESTING, DOUBLE RING INFILTRMETER TEST, OR AN AMMOZEMETER IN ACCORDANCE WITH NHDES REGULATIONS ENV-WQ 1500 TO ENSURE THE MIN. KSAT = 10 IN/HR.

MM C5 INFILTRATION PIPE DETAIL NTS  
 (BETWEEN CB#5 AND CB #6)  
 (SEE DETAIL LL FOR PROFILE SHEET D6)



DD C2 DUMPSTER ENCLOSURE DETAILS NTS



- NOTES:
- FENCING SHALL BE VINYL PRIVACY FENCE
  - ALL METAL FITTINGS AND FASTENERS SHALL BE HOT DIP GALVANIZED.
  - ALTERNATE DESIGNS & MATERIALS MAY BE USED IF CONSTRUCTION DRAWINGS ARE PROVIDED TO, AND APPROVED BY, THE BUILDING INSPECTOR.

INSPECTION AND MAINTENANCE PLAN  
 FOR  
 MAPLE MAJID SITE REDEVELOPMENT  
 686 MAPLEWOOD AVENUE, PORTSMOUTH NH

INTRODUCTION

THE INTENT OF THIS IS TO PROVIDE MAPLE MAJID AND THE ISLAMIC SOCIETY OF THE SEACOAST AREA WITH A LIST OF PROCEDURES THAT DOCUMENT THE INSPECTION AND MAINTENANCE REQUIREMENTS OF THE STORMWATER MANAGEMENT SYSTEM FOR THIS DEVELOPMENT. SPECIFICALLY, THE FILTRATION BASINS AND ASSOCIATED STRUCTURES ON THE PROJECT SITE (COLLECTIVELY REFERRED TO THE "STORMWATER MANAGEMENT SYSTEM")

THE FOLLOWING INSPECTION AND MAINTENANCE PROGRAM IS NECESSARY TO KEEP THE STORMWATER MANAGEMENT SYSTEM FUNCTIONING PROPERLY. THESE MEASURES WILL ALSO HELP MINIMIZE POTENTIAL ENVIRONMENTAL IMPACTS. BY FOLLOWING THE ENCLOSED PROCEDURES, THE OWNER WILL BE ABLE TO MAINTAIN THE FUNCTIONAL DESIGN OF THE STORMWATER MANAGEMENT SYSTEM AND MAXIMIZED ITS ABILITY TO REMOVE SEDIMENT AND OTHER CONTAMINANTS FROM THE SITE GENERATED STORMWATER RUNOFF.

ANNUAL REPORT

THE OWNER SHALL PREPARE AN ANNUAL INSPECTION & MAINTENANCE REPORT. THE REPORT SHALL INCLUDE A SUMMARY OF THE SYSTEMS MAINTENANCE AND REPAIR BY TRANSMISSION OF THE INSPECTION & MAINTENANCE LOG AND OTHER INFORMATION AS REQUIRED. A COPY OF THE REPORT SHALL BE DELIVERED ANNUALLY TO THE CITY OF PORTSMOUTH BUILDING INSPECTOR.

STORMWATER MANAGEMENT SYSTEM COMPONENTS

THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED TO MITIGATE BOTH THE QUANTITY AND QUALITY OF SITE-GENERATED RUNOFF. AS THE RESULT, THE DESIGN INCLUDES THE FOLLOWING ELEMENTS:

NON-STRUCTURAL BMP'S

NON-STRUCTURAL BEST MANAGEMENT PRACTICES (BMP'S) INCLUDE TEMPORARY AND PERMANENT MEASURES THAT TYPICALLY REQUIRE LESS LABOR AND CAPITAL INPUTS AND ARE INTENDED TO PROVIDE PROTECTION AGAINST EROSION OF SOILS. EXAMPLES OF NON-STRUCTURAL BMP'S ON THIS PROJECT INCLUDE BUT ARE NOT LIMITED TO: TEMPORARY AND PERMANENT MULCHING, TEMPORARY AND PERMANENT GRASS COVER, TREES, SHRUBS AND GROUND COVERS, MISCELLANEOUS LANDSCAPE PLANTINGS, DUST CONTROL, TREE PROTECTION, TOPSOILING, SEDIMENT BARRIERS, AND DURING CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE.

STRUCTURAL BMP'S

STRUCTURAL BMP'S REQUIRE MORE SPECIALIZED PERSONNEL TO INSTALL. EXAMPLES ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO: STORM DRAINS, THE DETENTION POND, AND ASSOCIATED OUTLET CONTROL STRUCTURES, AND INFILTRATION TRENCH DETAIL.

INSPECTION AND MAINTENANCE REQUIREMENTS

THE FOLLOWING SUMMARIZES THE INSPECTION AND MAINTENANCE REQUIREMENTS FOR THE VARIOUS BMP'S THAT MAY BE FOUND ON THIS PROJECT:

- GRASSED AREAS: AFTER EACH RAIN EVEN OF 0.5" OR MORE DURING A 24 HOUR PERIOD, INSPECT GRASSED AREAS FOR SIGNS OF DISTURBANCE, SUCH AS EROSION. IF DAMAGED AREAS ARE DISCOVERED, IMMEDIATELY REPAIR THE DAMAGE. REPAIRS MAY INCLUDE ADDING NEW TOPSOIL, LIME, SEED, FERTILIZER AND MULCH.
- PLANTINGS: PLANTING AND LANDSCAPING (TREES, SHRUBS) SHALL BE MONITORED BI-MONTHLY DURING THE FIRST YEAR TO INSURE VIABILITY AND VIGOROUS GROWTH. REPLACE DEAD OR DYING VEGETATION WITH NEW STOCK AND MAKE ADJUSTMENTS TO THE CONDITIONS THAT CAUSED THE DEAD OR DYING VEGETATION. DURING DRYER TIMES OF THE YEAR, PROVIDED WEEKLY WATERING OR IRRIGATION DURING THE ESTABLISHMENT PERIOD OF THE FIRST YEAR. MAKE NECESSARY ADJUSTMENTS TO ENSURE LONG-TERM HEALTH OF VEGETATED COVER, I.E. PROVIDE MORE PERMANENT MULCH OR COMPOST OR OTHER MEANS OF PROTECTION.
- STORM DRAIN OUTLETS AND OUTLET CONTROL STRUCTURES: MONITOR DRAIN INLETS AND OUTLET APRONS FOR EXCESSIVE ACCUMULATION OF SEDIMENTS OR MISSING STONE/RIPRAP. REMOVE SEDIMENTS AS REQUIRED TO MAINTAIN FILTERING CAPABILITIES OF THE STONE. REPLACE MISSING RIPRAP
- FILTRATION BASIN: AFTER ACCEPTANCE OF THE FILTRATION BASIN, PERFORM THE FOLLOWING INSPECTIONS ON A SEMI-ANNUAL BASIS OR AFTER SIGNIFICANT RAINFALL EVENTS (10 YEAR, 24 HR STORMS, OR BACK TO BACK 2 YEAR, 24 HOUR STORMS):
  - MONITOR FOR EXCESSIVE OR CONCENTRATED ACCUMULATIONS OF DEBRIS, OR EXCESSIVE EROSION. REMOVE DEBRIS AS REQUIRED.
  - MONITOR THE OUTFALL STRUCTURE FOR PROBLEMS WITH CLOGGED PIPES. REPAIR OR REMOVE CLOGS AS REQUIRED, AND DETERMINE CAUSE OF CLOGGING. PIPES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR RAINSTORM. BROKEN OR DAMAGE PIPES SHOULD BE REPAIRED OR REPLACED AS NECESSARY.
  - MONITOR SIDE SLOPES OF POND FOR DAMAGES OR EROSION - REPAIR AS NECESSARY.
  - MONITOR TURF HEALTH AND KEEP PROTECTED FROM FIRE, GRAZING, TRAFFIC AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY TO PROMOTE GOOD GROWTH AS DETERMINED BY SOIL TESTS. MOWING THE VEGETATED AREAS OF THE BASIN SHOULD BE CARRIED OUT AS NECESSARY.
  - SEDIMENT ACCUMULATION SHOULD BE CONTINUALLY CHECKED IN THE BASIN. SEDIMENT SHOULD BE REMOVED AS IT IS DISCOVERED PARTICULARLY IF IT HAS ACCUMULATED NEAR THE OUTLET OF THE BASIN.
  - THE OUTLET CONTROL STRUCTURE SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR RAINSTORM. THE OUTLET CONTROL STRUCTURE HAS WITHIN IT A WIER STRUCTURE WITH VARIOUS SIZE ORIFICES FOR CONTROLLING FLOW OUT OF BASIN. THESE ORIFICES SHOULD BE KEPT CLEAR AND UNBLOCKED. ANY SEDIMENT OR DEBRIS THAT HS BUILT UP INSIDE THE OUTLET CONTROL STRUCTURE SHOULD BE REMOVED WHEN DISCOVERED.

5. POROUS PAVEMENT:

POROUS PAVEMENT: AFTER PLACEMENT OF THE FINAL SURFACE OF POROUS ASPHALT PAVEMENT, INSPECT THE AREA FOR SIGNS THAT RAINFALL IS FLOWING THROUGH THE SURFACE AND NOT RUNNING OFF OF THE SURFACE. SWEEP AND / OR VACUUM AS NEEDED.

6. INVASIVE SPECIES

MONITOR STORMWATER MANAGEMENT SYSTEM FOR SIGNS OF INVASIVE SPECIES GROWTH. IF CAUGHT EARLIER ENOUGH, THEIR ERADICATION IS MUCH EASIER. THE MOST LIKELY PLACES WHERE INVASIONS START ARE IN WETTER, DISTURBED SOILS OR DETENTION PONDS. SPECIES SUCH AS PHRAGMITES AND PURPLE LOOSE-STRIPE ARE COMMON INVADERS IN THESE WETTER AREAS. IF THEY ARE FOUND THEN THE OWNER SHALL CONTACT A WETLAND SCIENTIST WITH EXPERIENCE IN INVASIVE SPECIES CONTROL TO IMPLEMENT A PLAN OF ACTION TO ERADICATE THE INVADERS. MEASURES THAT DO NOT REQUIRE THE APPLICATION OF CHEMICAL HERBICIDES SHOULD BE THE FIRST LINE OF DEFENSE.

**AMBIT ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 200 Griffin Road - Unit 3  
 Portsmouth, N.H. 03801-7114  
 Tel (603) 430-9282  
 Fax (603) 436-2315

NOTES:

- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

PORTSMOUTH  
 MAPLE MASJID  
 686 MAPLEWOOD AVENUE  
 PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
4	REV. DETAIL EE	4/2/19
3	ADDED DETAIL LL & MM	3/19/19
2	REVISED DETAIL EE, I & M PLAN	2/19/19
1	REVISED DETAIL CC	11/19/18
0	ISSUED FOR COMMENT	10/15/18

REVISIONS



AS NOTED MAY 2018

DETAILS D6

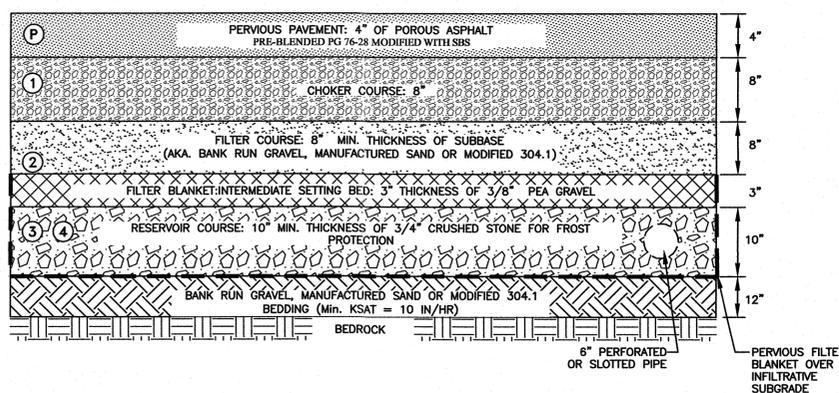


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**AASHTO GRADATION TABLE**

①		②		③		④	
CHOKER COURSE AASHTO NO. 57/67*		FILTER COURSE (MANUFACTURED SAND/MODIFIED NHDOT 304.1)		RESERVOIR COURSE (AASHTO NO.3)		RESERVOIR COURSE ALTERNATIVE (AASHTO NO.5)	
SIEVE SIZE	PASSING BY WEIGHT (%)	SIEVE SIZE	PASSING BY WEIGHT (%)	SIEVE SIZE	PASSING BY WEIGHT (%)	SIEVE SIZE	PASSING BY WEIGHT (%)
1.5" (37.5 mm)	100	6" (150 mm)	100	2.5" (63mm)	100	1.5" (37.5 mm)	100
1" (25 mm)	95-100	No. 4 (4.75mm)	70-100	2" (50mm)	90-100	1" (25 mm)	90-100
1/2" (12.5mm)	10-30	No. 200 (.075mm)	0+6***	1-1/2" (37.5mm)	35-70	3/4" (19 mm)	20-55
No. 4 (4.75mm)	0-10			1" (25 mm)	0-15	1/2" (12.5mm)	0-10
No. 8 (2.36mm)	0-5			1/2" (12.5mm)	0-5	3/8" (9.5 mm)	0-5

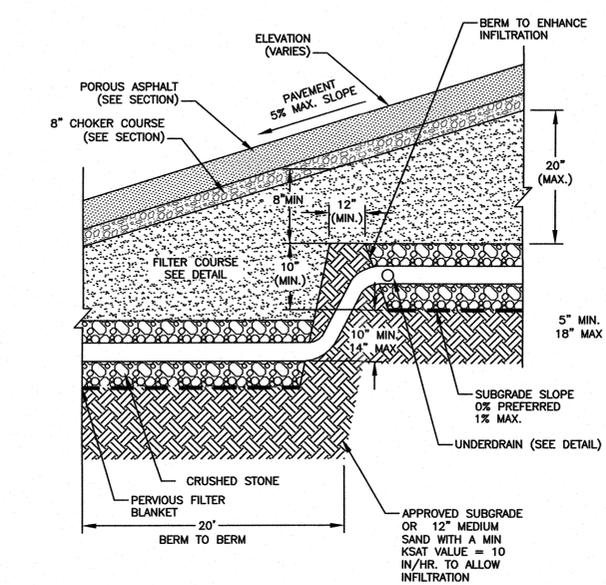
\* ALTERNATE GRADATIONS (E.G. AASHTO NO. 37) MAY BE ACCEPTED UPON ENGINEER'S APPROVAL  
 \*\* ALTERNATE GRADATIONS (E.G. AASHTO NO. 6) MAY BE ACCEPTED UPON ENGINEER'S APPROVAL  
 \*\*\* PREFERABLE LESS THAN 4% FINES



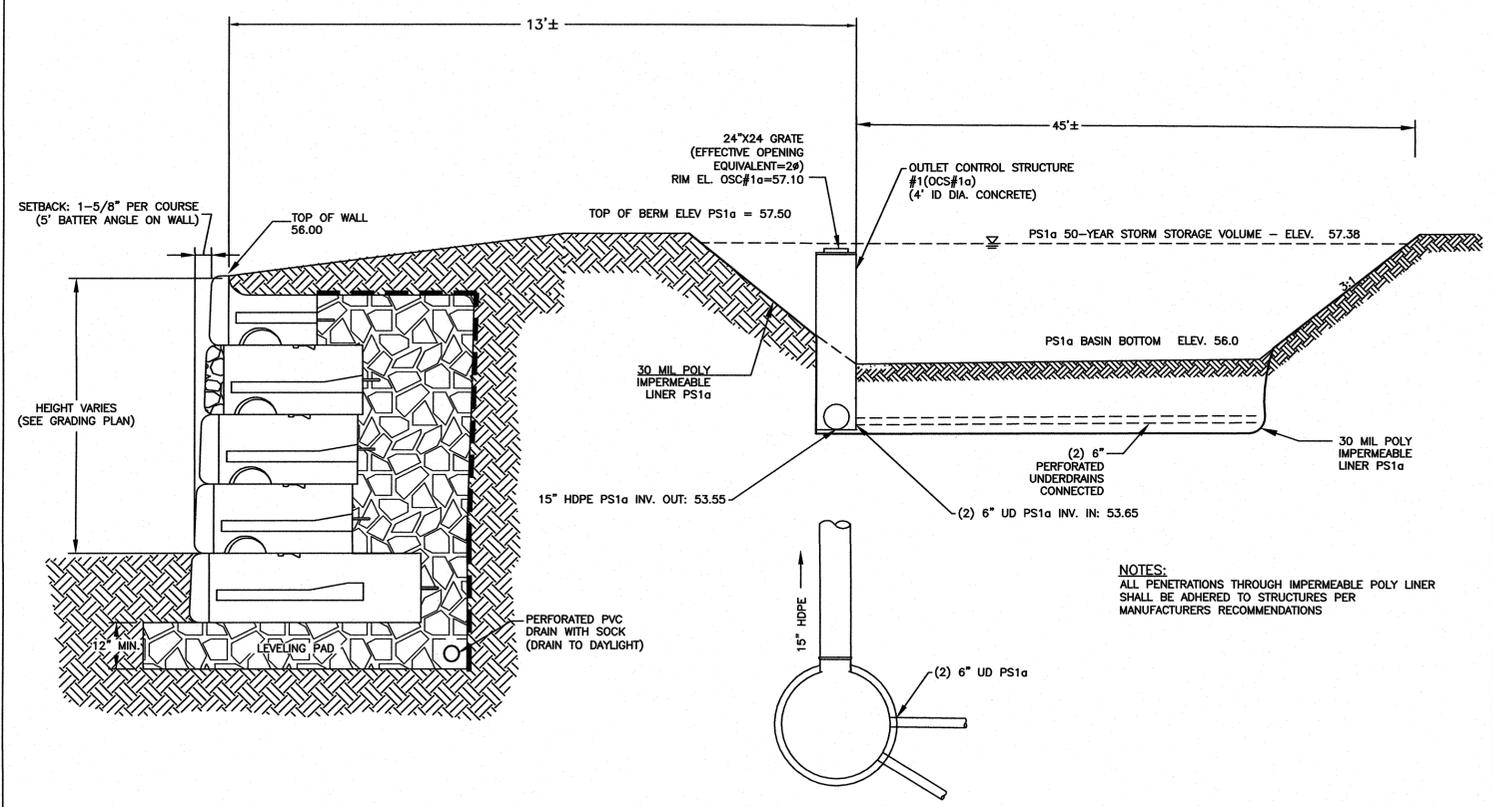
**FF C2** POROUS PAVEMENT SYSTEM DETAILS WITH IMPERVIOUS LINER NTS

MATERIAL FOR THE CHOKER COURSE AND RESERVOIR COURSE SHALL HAVE THE AASHTO NO.57 AND AASHTO NO.3 GRADATIONS, RESPECTIVELY, AS SPECIFIED IN TABLE. IF THE AASHTO NO.3 GRADATION CANNOT BE MET, AASHTO NO. 5 IS ACCEPTABLE WITH APPROVAL OF THE ENGINEER. AASHTO NO. 3 IS ALSO SUITABLE FOR THE CHOKER COURSE.

**FILL BELOW POROUS PAVEMENT**  
 SOILS: SOILS PLACED BELOW POROUS PAVEMENT SHALL BE BANK RUN GRAVEL, MANUFACTURED SAND OR MODIFIED 304.1 BEDDING. THE MATERIAL SHALL BE TESTED FOR HYDRAULIC CONDUCTIVITY IN TWO PLACES BY A EITHER BOREHOLE TESTING, DOUBLE RING INFILTRMETER TEST, OR AN AMMOZEMETER IN ACCORDANCE WITH NHDES REGULATIONS ENV-WQ 1500 TO ENSURE THE MIN. Ksat = 10 IN/HR).



**FF C2** SLOPED POROUS PAVEMENT PROFILE SLOPED SECTIONS WITH PERVIOUS LINER NTS

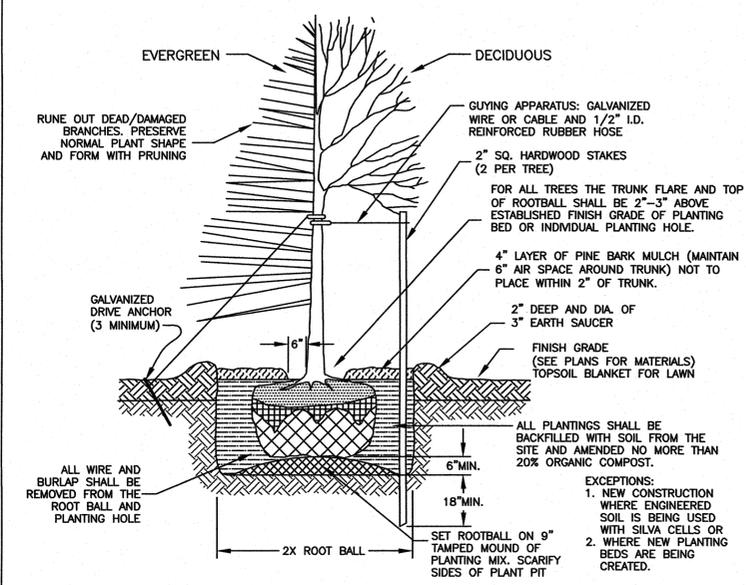


**HH C4** WALL SECTION & FILTRATION BASIN PS1a NTS

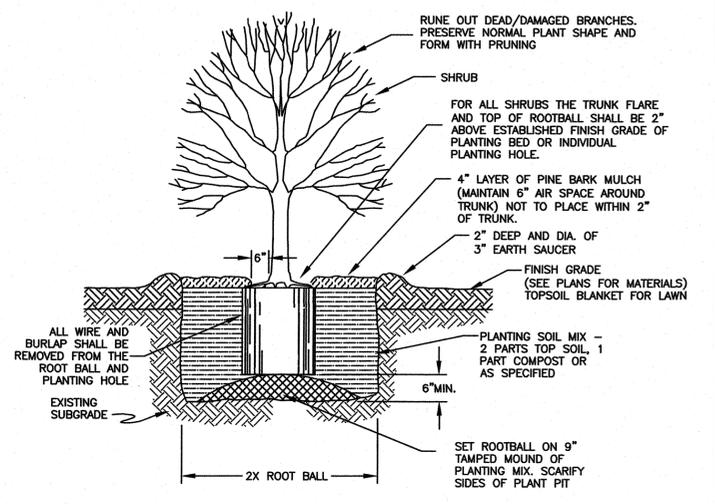
NOTE: PROVIDE STAMPED WALL DRAWINGS TO BUILDING INSPECTION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

- NOTES:**
- 1) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
  - 2) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
  - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**NOTES:**  
 ALL PENETRATIONS THROUGH IMPERMEABLE POLY LINER SHALL BE ADHERED TO STRUCTURES PER MANUFACTURERS RECOMMENDATIONS



**II L1** TREE PLANTING DETAIL (TREE PLANTING DETAIL APPLIES TO EVERGREEN AND DECIDUOUS SHRUBS) NTS



**JJ L1** SHRUB PLANTING DETAIL (SHRUB PLANTING DETAIL APPLIES TO EVERGREEN AND DECIDUOUS SHRUBS) NTS

**PORTSMOUTH MAPLE MASJID**  
 686 MAPLEWOOD AVENUE  
 PORTSMOUTH, N.H.

NO.	DESCRIPTION	DATE
4	REVISED PLANTING DETAILS II, JJ, FF, HH	3/19/19
3	ADDED PLANTING DETAILS II, JJ	2/28/19
2	REVISED DETAIL HH, EE, FF	2/19/19
1	ISSUED FOR COMMENT	1/22/19



AS NOTED MAY 2018

**DETAILS D7**

J:\UOBSS2\JN2300a\JN\_2360a\2017\_Site\_Plan\Plans & Specs\Site\2360D01.dwg, D7 DETAILS



- EXTERIOR TRIM NOTES:**
- SIDING DETAIL:** 1" STUCCO
  - ROOFING:** SLATLINE GAF SHINGLE w/ GRACE TRI-FLEX UNDERLAYMENT. METAL ROOF @ SIDE TOWER & LOWER REAR DOOR ROOF (SEE ELEVATIONS)
  - FASCIA DETAIL:** 1x2
  - SOFFIT DETAILS:** 1x12, OR (2) 1x12 NON-VENTED
  - FRIEZE DETAIL:** 5/4x8 w/ 1x8 SUB FRIEZE & 3/8" CROWN (NO CROWN @ DORMER)
  - RAKE DETAIL:** 1x10, 1x2 RAKE (MAIN ROOF) 1x8, 1x2 RAKE (DORMER ROOF)
  - RAKE SOFFIT DETAILS:** (2) 1x12 (FRONT MAIN ROOF) NONE (REAR MAIN ROOF & DORMER)
  - RAKE FRIEZE DETAIL:** 5/4x10 w/ 1x10 SUB FRIEZE & CORBEL BLOCKS (FRONT MAIN ROOF ONLY)
  - WINDOW TRIM:** 5/4x8 CASING w/ 1x4 SUB BOARD TYP. 3/8" CROWN w/ CAP & DENTIL BOARDS BELOW (SEE ELEVATION FOR LOCATIONS)
  - DOOR TRIM:** 5/4x8 CASING w/ 1x4 SUB BOARD
  - CORNER BOARDS:** 5/4x8 w/ 1x6 SUB BOARD TYP. BROWNSTONE PRECAST VENEER QUINGS w/ 1x SUB BOARDS AS REQUIRED (SEE ELEVATIONS FOR LOCATIONS)
  - SKIRT BOARD:** 5/4x8 w/ 1x8 SUB BOARD
  - STONE VENEER:** NONE
  - DECKING:** COMPOSITE
  - RAILINGS:** COMPOSITE
- NOTE:** AZEK TRIM

**FRONT ELEVATION**  
1/4" = 1'-0"

LOC.	SIZE / UNIT #	ROUGH OFNG.	COMMENTS
<b>FIRST FLOOR</b>			
(A)	C-2646	2'-6 1/2" x 4'-6 3/4"	CASEMENT
(B)	F-2660***	2'-6 1/2" x 6'-0 3/4"	PICTURE WINDOW MULLED
	F-2676***	2'-6 1/2" x 1'-6 3/4"	CUSTOM PICTURE WINDOW
<b>SECOND FLOOR</b>			
(C)	COSTUM***	8'-0 1/2" x 10'-1 1/8"	CUSTOM PICTURE WINDOW
(D)	COSTUM***	8'-0 1/2" x 13'-1 1/8"	CUSTOM PICTURE WINDOW
(E)	A-2620-2W	5'-0 1/2" x 2'-0 3/4"	DBL ALIING
(F)	COSTUM***	8'-6 1/2" x 3'-3"	CUSTOM PICTURE WINDOW
(G)	COSTUM***	8'-6 1/2" x 3'-11 1/2"	CUSTOM PICTURE WINDOW
(H)	COSTUM***	8'-6 1/2" x 3'-11 1/2"	CUSTOM PICTURE WINDOW
(I)	COSTUM***	8'-6 1/2" x 3'-3"	CUSTOM PICTURE WINDOW
(J)	A-2020	2'-0 1/2" x 2'-0 3/4"	DBL ALIING
(K)	COSTUM***	2'-6 1/2" x 5'-8 1/2"	CUSTOM PICTURE WINDOW
<b>BASEMENT</b>			
(L)	C-2640-2W	2'-6 1/2" x 4'-0 3/4"	DBL CASEMENT

**NOTES:**  
 1. REFER TO FLOOR PLANS & ELEV. FOR CASEMENT WINDOW OPERATION  
 2. REFER TO ELEVATIONS FOR GRILLE PATTERNS  
 3. REFER TO FLOOR PLANS & ELEV. FOR MULLED WINDOW LOCATIONS  
 \*\*\* NON OPERATIONAL WINDOW  
 \*\*\*\* SEE ELEVATIONS FOR CUSTOM WINDOW SHAPE AND DIMENSIONS  
 5. VERIFY ALL WINDOW SIZES AND R.O.'S WITH MANUFACTURE BEFORE ORDERING.  
 BRING ANY WINDOW DISCREPANCIES TO LIVING SPACES, INC. ATTENTION IMMEDIATELY.

LOC.	UNIT # / SIZE	ROUGH OFNG.	MANUFACTURER
<b>FIRST FLOOR</b>			
(A)	1 / 2020	8'-0" x 8'-0"	
(B)	1 / 2020	8'-0" x 8'-0"	(NONOPERATING)
(C)	1 / 3068	3'-2 1/2" x 6'-10 1/2"	
(D)	1 / 3068	3'-2 1/2" x 6'-10 1/2"	

**NOTES:**  
 1. REFER TO FLOOR PLANS & ELEV. FOR DOOR OPERATION  
 2. REFER TO ELEVATIONS FOR GRILLE PATTERNS  
 3. VERIFY ALL DOOR SIZES AND R.O.'S WITH MANUFACTURE BEFORE ORDERING.  
 BRING ANY DOOR DISCREPANCIES TO LIVING SPACES, INC. ATTENTION IMMEDIATELY.

Reduced Size  
Not to Scale

**GENERAL NOTES:**  
 1. THESE CONSTRUCTION DOCUMENTS ARE BUILT TO FOLLOW THE 2015 IBC BUILDING CODE AS ADMINSTRATED BY THE CITY OF PORTSMOUTH, NH.  
 2. ALL DIMENSIONS ARE FRAMING DIMENSIONS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO EXCAVATION.  
 3. DO NOT SCALE DRAWING, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

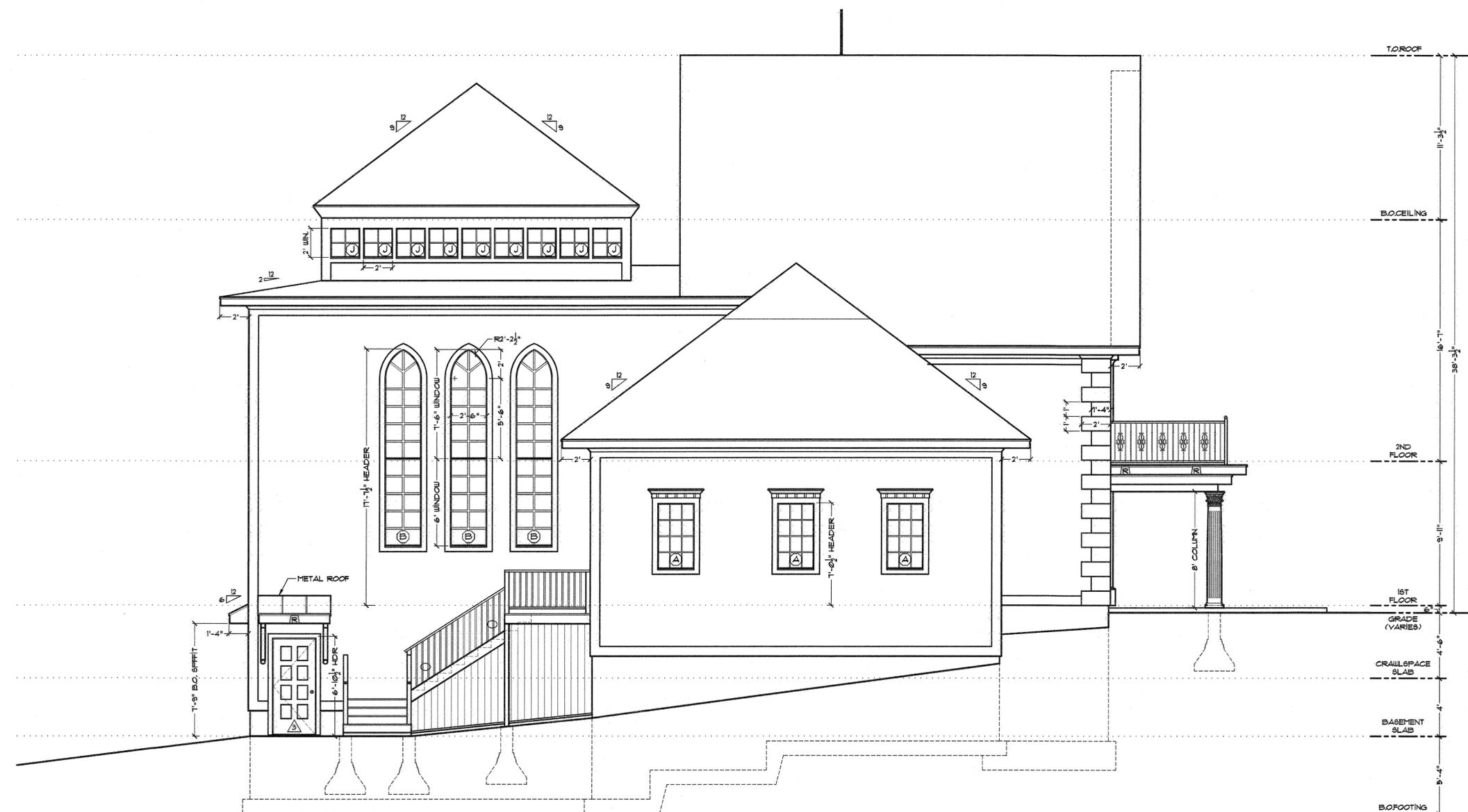


**ATTAR ENGINEERING, INC.**  
 CIVIL + STRUCTURAL + MARINE  
 1284 STATE ROAD - ELIOT, MAINE 03903  
 PHONE: (207)439-6023 FAX: (207)439-2128

PROJECT: **Maple Masjid of Portsmouth**  
**686 Maplewood Ave., Portsmouth, NH**

DATE: **12-11-19**  
 REVISED:  
 DWG. NO. **1**

Enail: livingspaces@comcast.net  
 1241 Washington Road Rye NH 03870



LEFT ELEVATION

1/4" = 1'-0"

**EXTERIOR TRIM NOTES:**

- SIDING DETAIL**  
1" STUCCO
- ROOFING**  
SLATELINE GAF SHINGLE  
W/ GRACE TRI-FLEX UNDERLAYMENT  
METAL ROOF # SIDE TOWER & LOUVER  
REAR DOOR ROOF (SEE ELEVATIONS)
- FASCIA DETAIL**  
1x8, 1x2
- SOFFIT DETAILS**  
1x2, OR (2) 1x2 NON-VENTED
- FRIEZE DETAIL**  
5/4x8 w/ 1x8 SUB FRIEZE & 3/8" CROWN  
(NO CROWN # DORMER)
- RAKE DETAIL**  
1x2, 1x2 RAKE (MAIN ROOF)  
1x8, 1x2 RAKE (DORMER ROOF)
- RAKE SOFFIT DETAILS**  
(2) 1x2 (FRONT MAIN ROOF)  
NONE (REAR MAIN ROOF & DORMER)
- RAKE FRIEZE DETAIL**  
5/4x12 w/ 1x8 SUB FRIEZE & CORBEL BLOCKS  
(FRONT MAIN ROOF ONLY)
- WINDOW TRIM**  
5/4x5 CASING w/ 1/4 SUB BOARD TYP.  
3/8" CROWN w/ CAP & DENTIL BOARDS  
(SEE ELEVATION FOR LOCATIONS)
- DOOR TRIM**  
5/4x5 CASING w/ 1/4 SUB BOARD
- CORNER BOARDS**  
5/4x8 w/ 1x6 SUB BOARD TYP.  
BROWNSTONE PRECAST VENEER QUINS  
w/ 1x SUB BOARDS AS REQUIRED  
(SEE ELEVATIONS FOR LOCATIONS)
- SKIRT BOARD**  
5/4x8 w/ 1x8 SUB BOARD
- STONE VENEER**  
NONE
- DECKING**  
COMPOSITE
- RAILINGS**  
COMPOSITE

**NOTE:**  
AZEK TRIM

WINDOW SCHEDULE			
LOC.	SIZE / UNIT #	ROUGH OPNG.	COMMENTS
<b>FIRST FLOOR</b>			
(A)	C-2646	2'-6 1/2" x 4'-6 1/2"	CASEMENT
(B)	F-2660***	2'-6 1/2" x 6'-0 1/4"	PICTURE WINDOW MULLED
	F-2676***	2'-6 1/2" x 1'-6 3/4"	CUSTOM PICTURE WINDOW
<b>SECOND FLOOR</b>			
(C)	COSTUM***	8'-0 1/2" x 10'-1 1/8"	CUSTOM PICTURE WINDOW
(D)	COSTUM***	8'-0 1/2" x 13'-1 1/8"	CUSTOM PICTURE WINDOW
(E)	A-2620-2W	5'-0 1/2" x 2'-0 1/4"	DBL ALIING
(F)	COSTUM***	8'-6 1/2" x 3'-3"	CUSTOM PICTURE WINDOW
(G)	COSTUM***	8'-6 1/2" x 3'-11 1/2"	CUSTOM PICTURE WINDOW
(H)	COSTUM***	8'-6 1/2" x 3'-11 1/2"	CUSTOM PICTURE WINDOW
(I)	COSTUM***	8'-6 1/2" x 3'-3"	CUSTOM PICTURE WINDOW
(J)	A-2020	2'-0 1/2" x 2'-0 1/4"	DBL ALIING
(K)	COSTUM***	2'-6 1/2" x 5'-8 1/2"	CUSTOM PICTURE WINDOW
<b>BASEMENT</b>			
(L)	C-2640-2W	2'-6 1/2" x 4'-0 1/4"	DBL CASEMENT

EXTERIOR DOOR SCHEDULE			
LOC.	UNIT # / SIZE	ROUGH OPNG.	MANUFACTURER
<b>FIRST FLOOR</b>			
1	1 / 3000	8'-0" x 8'-0"	
2	1 / 3000	8'-0" x 8'-0"	(NONOPERATING)
3	1 / 3068	3'-2 1/2" x 6'-10 1/2"	
4	1 / 3068	3'-2 1/2" x 6'-10 1/2"	

- NOTES:**  
 1. REFER TO FLOOR PLANS & ELEV. FOR DOOR OPERATION  
 2. REFER TO ELEVATIONS FOR GRILLE PATTERNS  
 3. VERIFY ALL DOOR SIZES AND R.O.'S WITH MANUFACTURE BEFORE ORDERING.  
 BRING ANY DOOR DISCREPANCIES TO LIVING SPACES, INC. ATTENTION IMMEDIATELY.

- NOTES:**  
 1. REFER TO FLOOR PLANS & ELEV. FOR CASEMENT WINDOW OPERATION  
 2. REFER TO ELEVATIONS FOR GRILLE PATTERNS  
 3. REFER TO FLOOR PLANS & ELEV. FOR MULLED WINDOW LOCATIONS  
 \*\* NON OPERATIONAL WINDOW  
 \*\*\* SEE ELEVATIONS FOR CUSTOM WINDOWS SHAPE AND DIMENSIONS  
 4. VERIFY ALL WINDOW SIZES AND R.O.'S WITH MANUFACTURE BEFORE ORDERING.  
 BRING ANY WINDOW DISCREPANCIES TO LIVING SPACES, INC. ATTENTION IMMEDIATELY.

Reduced Size  
Not to Scale

**GENERAL NOTES:**

1. THESE CONSTRUCTION DOCUMENTS ARE BUILT TO FOLLOW THE 2015 IBC BUILDING CODE AS ADMINSTRATED BY THE CITY OF PORTSMOUTH, NH.
2. ALL DIMENSIONS ARE FRAMING DIMENSIONS, CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO EXCAVATION.
3. DO NOT SCALE DRAWING, WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.



**ATTAR ENGINEERING, INC.**  
 CIVIL • STRUCTURAL • MARINE  
 1284 STATE ROAD - ELIOT, MAINE 03903  
 PHONE: (207)439-6023 FAX: (207)439-2128

PROJECT:  
**Maple Masjid of Portsmouth**  
 686 Maplewood Ave., Portsmouth, NH

Phone: 603-964-5100  
 Fax: 603-964-2020

**Living Spaces, Inc.**  
 Email: livingspaces@comcast.net  
 1241 Washington Road  
 Rye NH 03870

DATE: 12-11-19  
 REVISED:  
 DWG. NO. 2



- EXTERIOR TRIM NOTES:**
- SIDING DETAIL:**  
1" STUCCO
  - ROOFING:**  
SLATELINE GAF SHINGLE  
W/ GRACE TRI-FLEX UNDERLAYMENT.  
METAL ROOF # SIDE TOWER & LOWER REAR DOOR ROOF (SEE ELEVATIONS)
  - FASCIA DETAIL:**  
1x8, 1x2
  - SOFFIT DETAILS:**  
1x12, OR (2) 1x12 NON-VENTED
  - FRIZE DETAIL:**  
5/4x8 w/ 1x8 SUB FRIZE & 3/8" CROWN (NO CROWN # DORMER)
  - RAKE DETAIL:**  
1x12, 1x2 RAKE (MAIN ROOF)  
1x8, 1x2 RAKE (DORMER ROOF)
  - RAKE SOFFIT DETAILS:**  
(2) 1x12 (FRONT MAIN ROOF)  
NONE (REAR MAIN ROOF & DORMER)
  - RAKE FRIZE DETAIL:**  
5/4x12 w/ 1x12 SUB FRIZE & CORBEL BLOCKS (FRONT MAIN ROOF ONLY)
  - WINDOW TRIM:**  
5/4x5 CASING w/ 1x4 SUB BOARD TYP.  
3/8" CROWN w/ CAP & DENTIL BOARDS BELOW (SEE ELEVATION FOR LOCATIONS)
  - DOOR TRIM:**  
5/4x5 CASING w/ 1x4 SUB BOARD
  - CORNER BOARDS:**  
5/4x5 w/ 1x8 SUB BOARD TYP.  
BROWNSTONE PRECAST VENEER QUINS w/ 1x SUB BOARDS AS REQUIRED (SEE ELEVATIONS FOR LOCATIONS)
  - SKIRT BOARD:**  
5/4x5 w/ 1x8 SUB BOARD
  - STONE VENEER:**  
NONE
  - DECKING:**  
COMPOSITE
  - RAILINGS:**  
COMPOSITE
- NOTE:**  
AZEK TRIM

**RIGHT ELEVATION**  
1/4" = 1'-0"

LOC.	SIZE / UNIT *	ROUGH OFNG.	COMMENTS
<b>FIRST FLOOR</b>			
(A)	C-2646	2'-6 1/2" x 4'-6 3/4"	CASEMENT
(B)	F-2660***	2'-6 1/2" x 6'-0 3/4"	PICTURE WINDOW MULLED
	F-2676***	2'-6 1/2" x 1'-6 3/4"	CUSTOM PICTURE WINDOW
<b>SECOND FLOOR</b>			
(C)	COSTUM***	8'-0 1/2" x 10'-1 3/8"	CUSTOM PICTURE WINDOW
(D)	COSTUM***	8'-0 1/2" x 13'-1 3/8"	CUSTOM PICTURE WINDOW
(E)	A-2620-2IU	5'-0 1/2" x 2'-0 3/4"	DBL AWNING
(F)	COSTUM***	8'-6 1/2" x 3'-3"	CUSTOM PICTURE WINDOW
(G)	COSTUM***	8'-6 1/2" x 3'-11 1/2"	CUSTOM PICTURE WINDOW
(H)	COSTUM***	8'-6 1/2" x 3'-11 1/2"	CUSTOM PICTURE WINDOW
(I)	COSTUM***	8'-6 1/2" x 3'-3"	CUSTOM PICTURE WINDOW
(J)	A-2020	2'-0 1/2" x 2'-0 3/4"	DBL AWNING
(K)	COSTUM***	2'-6 1/2" x 5'-0 1/2"	CUSTOM PICTURE WINDOW
<b>BASEMENT</b>			
(L)	C-2640-2IU	2'-6 1/2" x 4'-0 3/4"	DBL CASEMENT

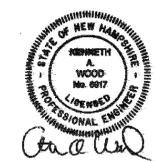
LOC.	UNIT * / SIZE	ROUGH OFNG.	MANUFACTURER
<b>FIRST FLOOR</b>			
(1)	1 / 8080	8'-0" x 8'-0"	
(2)	1 / 8080	8'-0" x 8'-0"	(NONOPERATING)
(3)	1 / 3065	3'-2 1/2" x 6'-10 1/2"	
(4)	1 / 3065	3'-2 1/2" x 6'-10 1/2"	

**NOTES:**  
 1. REFER TO FLOOR PLANS & ELEV. FOR DOOR OPERATION  
 2. REFER TO ELEVATIONS FOR GRILLE PATTERNS  
 3. VERIFY ALL DOOR SIZES AND R.O.'S WITH MANUFACTURE BEFORE ORDERING. BRING ANY DOOR DISCREPANCIES TO LIVING SPACES, INC. ATTENTION IMMEDIATELY.

**NOTES:**  
 1. REFER TO FLOOR PLANS & ELEV. FOR CASEMENT WINDOW OPERATION  
 2. REFER TO ELEVATIONS FOR GRILLE PATTERNS  
 3. REFER TO FLOOR PLANS & ELEV. FOR MULLED WINDOW LOCATIONS  
 \* NON OPERATIONAL WINDOW  
 \*\*\* SEE ELEVATIONS FOR CUSTOM WINDOWS SHAPE AND DIMENSIONS  
 3. VERIFY ALL WINDOWS SIZES AND R.O.'S WITH MANUFACTURE BEFORE ORDERING. BRING ANY WINDOW DISCREPANCIES TO LIVING SPACES, INC. ATTENTION IMMEDIATELY.

Reduced Size  
Not to Scale

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 3. DO NOT SCALE DRAWING. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.



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 CIVIL • STRUCTURAL • MARINE  
 1284 STATE ROAD - ELIOT, MAINE 03903  
 PHONE: (207)439-6023 FAX: (207)439-2128

PROJECT:  
**Maple Masjid of Portsmouth**  
**686 Maplewood Ave., Portsmouth, NH**

Phone: 603-964-5100  
 Fax: 603-964-2008

**Living Spaces, Inc.**  
 Email: livingspaces@comcast.net  
 1241 Washington Road Rye NH 03870

DATE: 12-11-19  
 REVISED:  
 DWG. NO: 3

C:\LS1\2019\_MasqueB0



- EXTERIOR TRIM NOTES:**
- SIDING DETAIL**  
1" STUCCO
  - ROOFING**  
SLATELINE GAP SHINGLE  
w/ GRACE TRI-FLEX UNDERLAYMENT.  
METAL ROOF # SIDE TOWER & LOUVER  
REAR DOOR ROOF (SEE ELEVATIONS)
  - FASCIA DETAIL**  
1x8, k2
  - SOFFIT DETAILS**  
1x12 OR (2) 1x12 NON-VENTED
  - FRIEZE DETAIL**  
5/4x8 w/ 1x8 SUB FRIEZE & 3/8" CROWN  
(NO CROWN # DORMER)
  - RAKE DETAIL**  
1x12, k2 RAKE (MAIN ROOF)  
1x8, k2 RAKE (DORMER ROOF)
  - RAKE SOFFIT DETAILS**  
(2) 1x12 (FRONT MAIN ROOF)  
NONE (REAR MAIN ROOF & DORMER)
  - RAKE FRIEZE DETAIL**  
5/4x8 w/ 1x8 SUB FRIEZE & CORBEL BLOCKS  
(FRONT MAIN ROOF ONLY)
  - WINDOW TRIM**  
5/4x8 CASING w/ 1x4 SUB BOARD TYP.  
3/8" CROWN w/ CAP & DENTIL BOARDS BELOW  
(SEE ELEVATION FOR LOCATIONS)
  - DOOR TRIM**  
5/4x8 CASING w/ 1x4 SUB BOARD
  - CORNER BOARDS**  
5/4x8 w/ 1x6 SUB BOARD TYP.  
BROWNSTONE PRECAST VENEER QUONS  
w/ 1x SUB BOARDS AS REQUIRED  
(SEE ELEVATIONS FOR LOCATIONS)
  - SKIRT BOARD**  
5/4x8 w/ 1x8 SUB BOARD
  - STONE VENEER**  
NONE
  - DECKING**  
COMPOSITE
  - RAILINGS**  
COMPOSITE
- NOTE:**  
AZEK TRIM

**REAR ELEVATION**  
1/4" = 1'-0"

LOC.	SIZE / UNIT #	ROUGH OPNG.	COMMENTS
<b>FIRST FLOOR</b>			
(A)	C-2646	2'-6 1/2" x 4'-6 3/4"	CASEMENT
(B)	F-2660***	2'-6 1/2" x 6'-0 3/4"	PICTURE WINDOW MULLED
	F-2676***	2'-6 1/2" x 7'-6 3/4"	CUSTOM PICTURE WINDOW
<b>SECOND FLOOR</b>			
(C)	COSTUM***	8'-0 1/2" x 10'-1 3/8"	CUSTOM PICTURE WINDOW
(D)	COSTUM***	8'-0 1/2" x 13'-1 3/8"	CUSTOM PICTURE WINDOW
(E)	A-2620-2U	5'-0 1/2" x 2'-0 3/4"	DBL AWNING
(F)	COSTUM***	8'-6 1/2" x 3'-3"	CUSTOM PICTURE WINDOW
(G)	COSTUM***	8'-6 1/2" x 3'-11 1/2"	CUSTOM PICTURE WINDOW
(H)	COSTUM***	8'-6 1/2" x 3'-11 1/2"	CUSTOM PICTURE WINDOW
(I)	COSTUM***	8'-6 1/2" x 3'-3"	CUSTOM PICTURE WINDOW
(J)	A-2020	2'-0 1/2" x 2'-0 3/4"	DBL AWNING
(K)	COSTUM***	2'-6 1/2" x 5'-0 1/2"	CUSTOM PICTURE WINDOW
<b>BASEMENT</b>			
(L)	C-2640-2U	2'-6 1/2" x 4'-0 3/4"	DBL CASEMENT

LOC.	UNIT # / SIZE	ROUGH OPNG.	MANUFACTURER
<b>FIRST FLOOR</b>			
(1)	1 / 8020	8'-0" x 8'-0"	
(2)	1 / 8020	8'-0" x 8'-0"	(NONOPERATING)
(3)	1 / 3068	3'-2 1/2" x 6'-10 1/2"	
(4)	1 / 3068	3'-2 1/2" x 6'-10 1/2"	

**NOTES:**  
 1. REFER TO FLOOR PLANS & ELEV. FOR DOOR OPERATION  
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**NOTES:**  
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 3. REFER TO FLOOR PLANS & ELEV. FOR MULLED WINDOW LOCATIONS  
 \* NON OPERATIONAL WINDOW  
 \*\*\* SEE ELEVATIONS FOR CUSTOM WINDOWS SHAPE AND DIMENSIONS  
 4. VERIFY ALL WINDOW SIZES AND R.O.'S WITH MANUFACTURE BEFORE ORDERING.  
 BRING ANY WINDOW DISCREPANCIES TO LIVING SPACES, INC. ATTENTION IMMEDIATELY.

Reduced Size  
Not to Scale

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 CIVIL • STRUCTURAL • MARINE  
 1284 STATE ROAD - ELIOT, MAINE 03903  
 PHONE: (207)439-6023 FAX: (207)439-2128

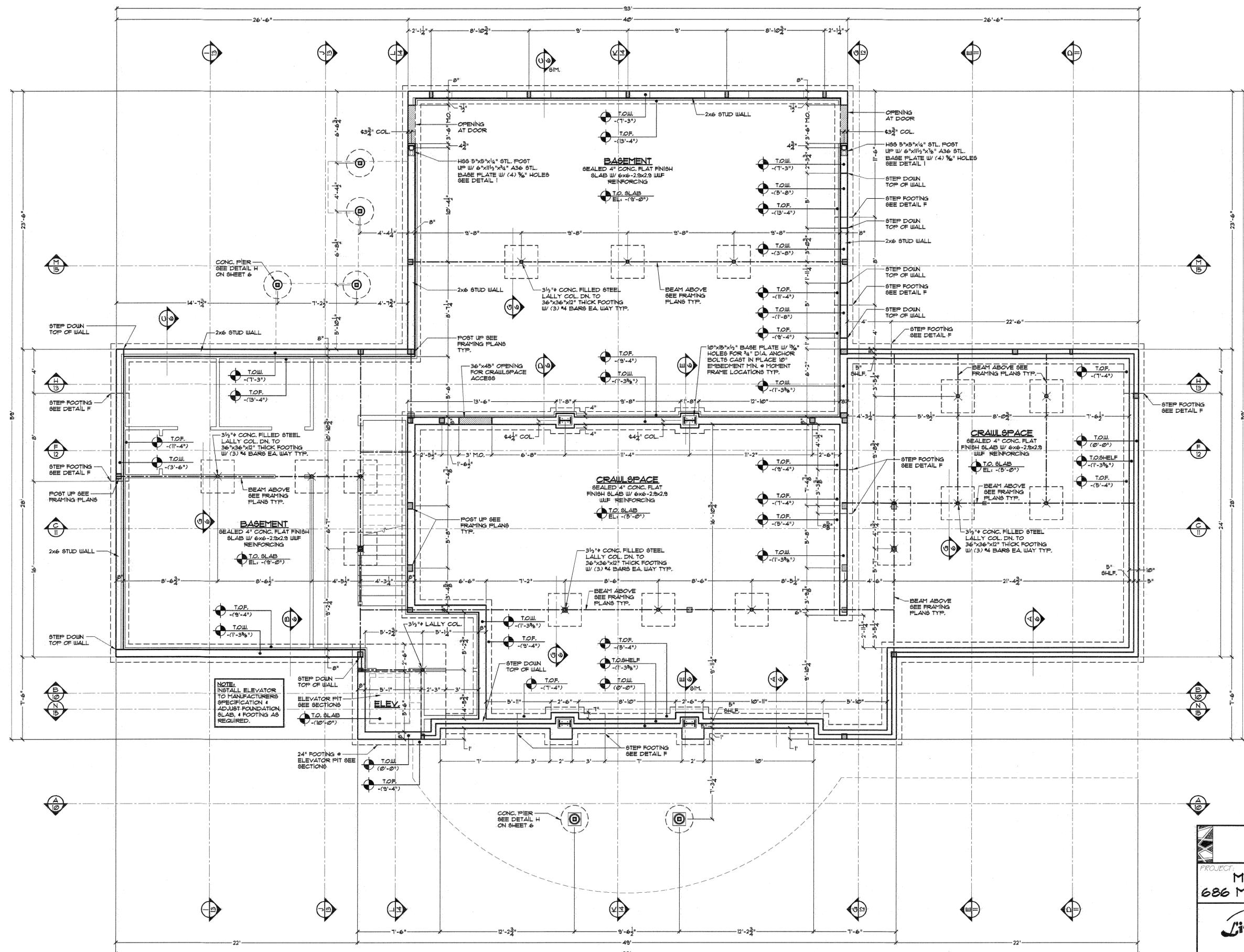
PROJECT: **Maple Masjid of Portsmouth**  
**686 Maplewood Ave., Portsmouth, NH**

Phone: 603-964-5100  
 Fax: 603-964-2008

**Living Spaces, Inc.**  
 Email: livingspaces@comcast.net  
 1247 Washington Road Rye NH 03870

DATE: **12-11-19**  
 REVISED:  
 DWG. NO. **4**

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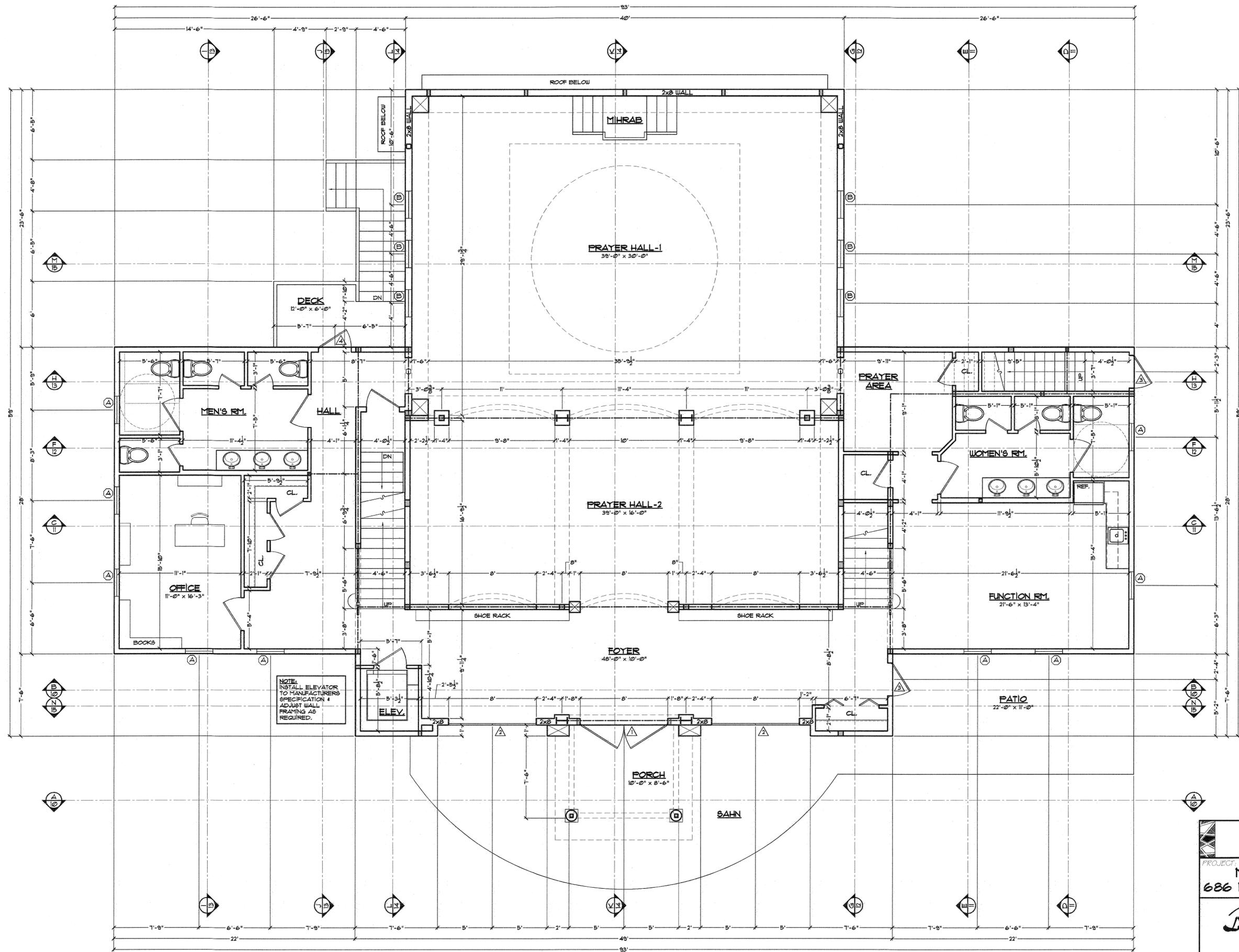
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Not to Scale



- FOUNDATION NOTES:**
1. FOOTINGS: 20"x12" CONTINUOUS W/ 3-#4 REBAR HORIZONTAL & 1-#4 (18") REBAR VERT. @ 24" O.C.
  2. WALL: 8" CONC. WALL W/ PERIMETER #4 REBAR 4" BELOW TOP & BOTTOM OF WALL
  3. CONCRETE MIX - 3000 FSI
  4. ANCHOR BOLTS 1/2"x8" 6'-0" O.C. 1 FT. FROM CORNERS W/ 2x6 P.T. SILL W/ SILL SEAL

**FOUNDATION PLAN**  
1/4" = 1'-0"

<b>ATTAR ENGINEERING, INC.</b> CIVIL • STRUCTURAL • MARINE 1284 STATE ROAD - ELIOT, MAINE 03903 PHONE: (207)439-6023 FAX: (207)439-2128	
PROJECT: <b>Maple Masjid of Portsmouth</b> 686 Maplewood Ave., Portsmouth, NH	DATE: <b>12-11-19</b>
Phone: 603-964-5100 Fax: 603-964-2008	REVISED:
<b>Living Spaces, Inc.</b> Email: livingspaces@comcast.net 1247 Washington Road Rye, NH 03070	DWG. NO. <b>5</b>



NOTE:  
INSTALL ELEVATOR  
TO MANUFACTURERS  
SPECIFICATION &  
ADJUST WALL  
FRAMING AS  
REQUIRED.

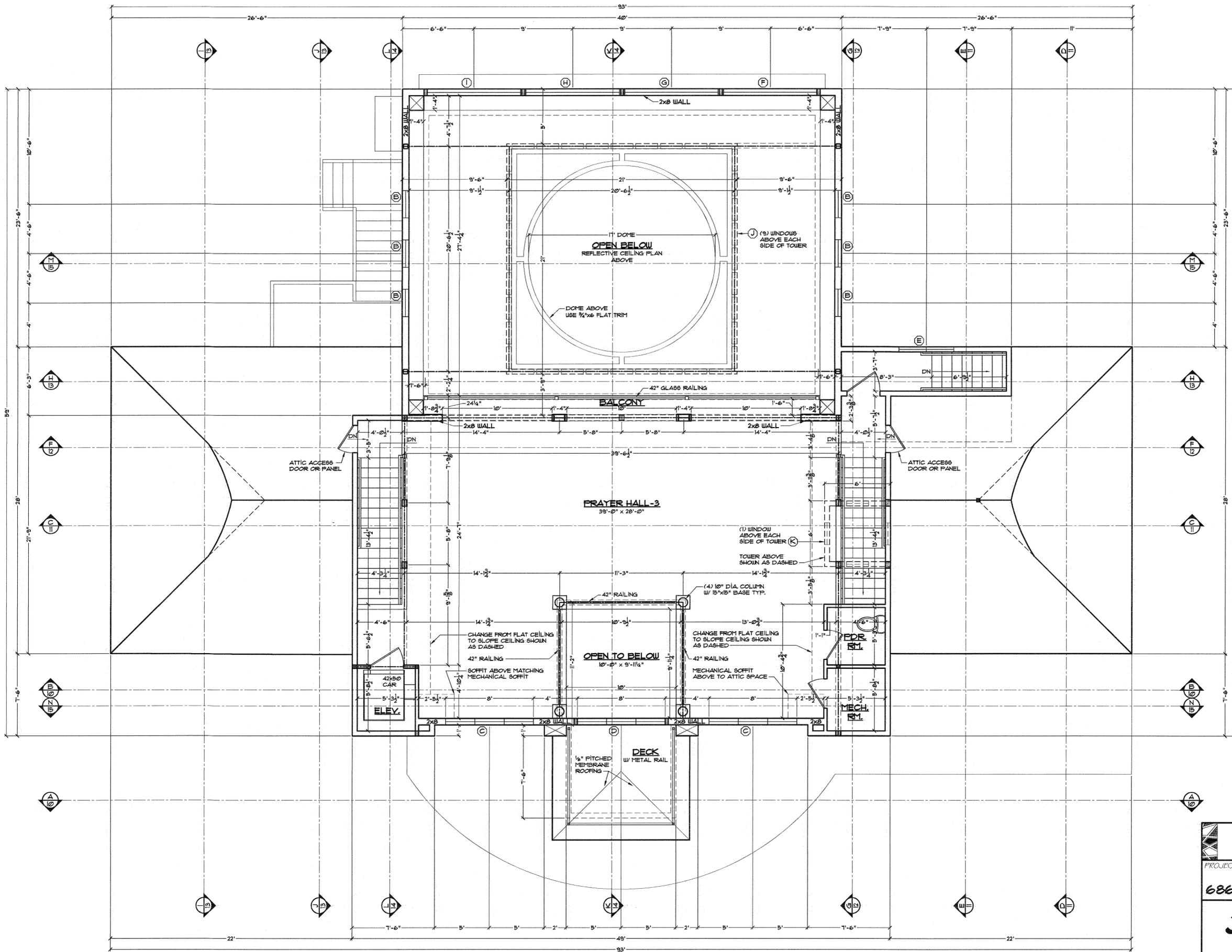
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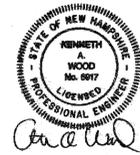
TOTAL FINISHED S.F.  
FIRST FLOOR = 3,818 S.F.  
SECOND FLOOR = 1,455 S.F.  
5,333 S.F.

**FIRST FLOOR PLAN**  
1/4" = 1'-0"

<b>ATTAR ENGINEERING, INC.</b> CIVIL • STRUCTURAL • MARINE 1284 STATE ROAD - ELIOT, MAINE 03903 PHONE: (207)439-6023 FAX: (207)439-2128	
PROJECT: <b>Maple Masjid of Portsmouth</b> <b>686 Maplewood Ave., Portsmouth, NH</b>	DATE: <b>12-11-19</b>
Phone: 603-964-5100 Fax: 603-964-2000	REVISED:
<b>Living Spaces, Inc.</b> Email: livingspaces@comcast.net 1241 Washington Road Rye NH 03870	
DWG. NO. <b>7</b>	



Reduced Size  
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**SECOND FLOOR PLAN**  
1/4" = 1'-0"

<b>ATTAR ENGINEERING, INC.</b> CIVIL • STRUCTURAL • MARINE 1284 STATE ROAD - ELLOT, MAINE 03903 PHONE: (207)439-6023 FAX: (207)439-2128	
PROJECT: <b>Maple Masjid of Portsmouth</b> <b>686 Maplewood Ave., Portsmouth, NH</b>	DATE: <b>9-10-2020</b> REVISED:
Phone: 603-964-5100 Fax: 603-964-2000	
<b>Living Spaces, Inc.</b> Email: livingpaces@comcast.net 1247 Washington Road Rye NH 03870	
DWG. NO. <b>8</b>	

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