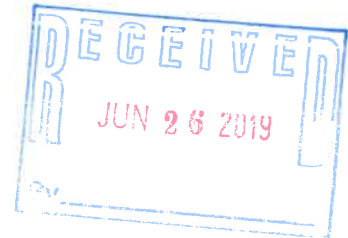


Date: 6/11/19

Profile Homes NH
953 Islington St, Unit 22C
Portsmouth, NH 03801
603-433-2464

Portsmouth Planning Department

RE: 88 Lincoln Ave



Dear members of the Zoning Board of Adjustment:

Attached is the application for zoning relief for Section 10.321 for expansion of nonconforming structure. for the property located at 88 Lincoln Ave. A single family residence.

The home was recently purchased by Alex and Kathleen Grenier to relocate their family to Portsmouth. The home was purchased by them with expectation that they would use the plan that was previously granted zoning relief for setbacks, lot coverage. Upon evaluation of the previous owners design we discovered that the design to put the master bedroom on the 3rd floor did not leave ample headroom for the design originally presented. In addition the design relied on the space above the garage to allow for more family room space that the owners wished to use in place of this as their master bedroom but the original design for the home required that the home that was approved by this board would require the parents to walk entirely through the home in order to reach the children's bedrooms that are on the same floor do to head height restrictions. In order to alleviate this issue our design has required the the height of the garage be raised by 4'11". In our design we worked to accommodate an even lower number of lot coverage by reducing this than the previous design has done in working to make the most sensible approach to what is needed by the Grenier's and their family.

The Grenier's have family size dictates the number of bedrooms they require and the space of the home set to accommodate that they each adult works out of the home. The original proposal presented to this board was not designed accurately and misunderstood the head height for the location of the master bedroom without completely taking the entire roof off of the main house to adjust the finished head height of the main structure. An option available to them if denied, and still able to stay under the required maximum building height for this district, but less than idea.

Requested Relief:

To accommodate the needs of the homeowners, having requested that our firm, apply to this board to request a variance relief of Section 10.321 for expansion of nonconforming structure.

In the following Paragraphs I will outline the information to the board about why we feel as though the variance relief exception would be justified in this case.

- 1- The Specific site is appropriate for variance relief and Granting of the Variance Relief will not be contrary to the public interest or the spirit of the ordinance under the following:

It is our feeling that since the plan is to accommodate the new structure within the footprint of the existing approved location which was based originally on the existing single car garage on the property. The boundary of the structure in the existing version, the previously approved version and the newest version remains at 3'7" from the property line and increasing its height from 21'1" to 26' without interfering or exceeding any setbacks in any location is not contrary and privacy on this side of the building to the neighbors will be maintained . The benefits of replacing the structure with one built to code protects the health, welfare and improvement far outweighs any concerns of public interest, as we see it to a location where an existing structure is so close to the property line to the south. In addition our new design in this method reduces the amount of lot coverage required on the site in total as well as removing structures not required that remain on the property.

Approval of this will not in fact create a standard which has not already been set in this area of the city and has been commonly accepted among many surrounded properties

To not grant a variance relief in this case will result in exceeded cost to the client to rehab the building where is stands which is unsuitable for a standard family size home and increase the height of the main structure of the building.

The loss to the Geiner family not being able to construct the home they desire on this property to accommodate their goal is not offset by any gain to the interest of the public.

Additionally, to maintain the character found in other residences in this part of the town this home is designed this way to remain tasteful to the surrounding properties and character of the neighborhood.

- 2- By granting the Variance, substantial Justice will be done because:

Approval of this will not in fact create a standard which has not already been set in this area of the city primarily in relation to improvements of the exiting homes which surround it.



- 4- The Granting of the Variance Relief will not result in diminution in value of the surrounding properties:

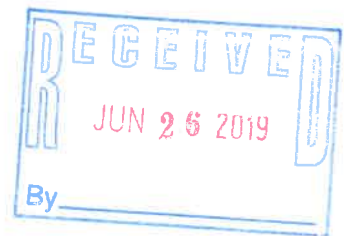
The property lies on an undersized corner lot compared to those that surround it. As this city often recognizes this brings with it some advantages and disadvantages to how yard setbacks and locations on the property can be viewed. In this case the property has very little room at which to expand in additional directions without impacting neighboring properties to locations that would in fact impact surrounding properties if required to present an alternative plan. This rebuild will in fact improve the value of the surrounding properties by having the ability to build something in kind to the other properties located near it. No alternative to what we see as a sensible plan seems to be present to create the size of home the clients desire and fits the norm currently built in this area of the city that is popular to families.

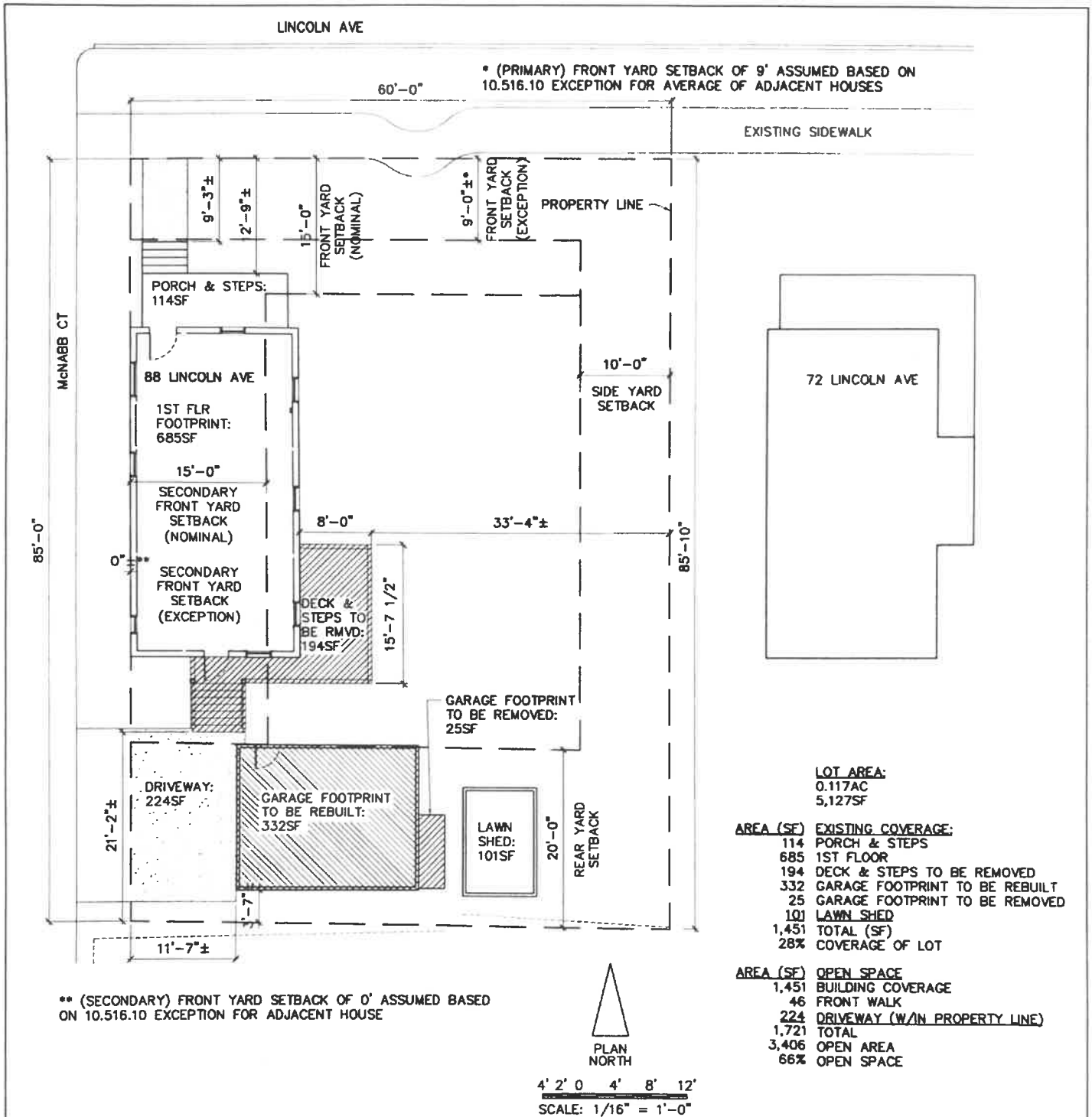
The improvements made to the new plan in the footprint is attractive to help improve the resale value of the surrounding properties without effecting their suggested value by the town. It has been designed to be tasteful matching the home.

Approval for this structure would not harm the value nor will it set a tone at which the city would be establishing or required to follow in future and falls within the spirit of the ordinance, in our opinion as it was previously approved, but for 4'11" lower

- 5- Literal Enforcement of the Provision of the ordinance would result in unnecessary hardship:

A hardship of maintaining the previous plan would require substantial unexpected cost to the homeowner to increase the head height to the maximum of the existing building in order to avoid the homeowners from having to create a scenario where they would have to travel from the 2nd floor master bedroom and through the main home to enter back into the remaining bedrooms of the main house. Unideal in any circumstance for a family with children.





* (PRIMARY) FRONT YARD SETBACK OF 9' ASSUMED BASED ON 10.516.10 EXCEPTION FOR AVERAGE OF ADJACENT HOUSES

** (SECONDARY) FRONT YARD SETBACK OF 0' ASSUMED BASED ON 10.516.10 EXCEPTION FOR ADJACENT HOUSE

- LOT AREA:**
0.117AC
5,127SF
- AREA (SF) EXISTING COVERAGE:**
114 PORCH & STEPS
685 1ST FLOOR
194 DECK & STEPS TO BE REMOVED
332 GARAGE FOOTPRINT TO BE REBUILT
25 GARAGE FOOTPRINT TO BE REMOVED
101 LAWN SHED
1,451 TOTAL (SF)
28% COVERAGE OF LOT
- AREA (SF) OPEN SPACE:**
1,451 BUILDING COVERAGE
46 FRONT WALK
224 DRIVEWAY (W/IN PROPERTY LINE)
1,721 TOTAL
3,406 OPEN AREA
66% OPEN SPACE

GENERAL RESIDENCE A	REQUIRED	EXISTING	COMMENTS ON EXISTING
LOT AREA	7,500sf	5,127sf	NON-CONFORMING
LOT AREA / DWELLING	7,500sf	5,127sf	NON-CONFORMING
CONTINUOUS STREET FRONTAGE	100'	145'	60' LINCOLN+85' McNABB
DEPTH	70'	85'	
FRONT YARD-PRIMARY (LINCOLN)	15'/9'*	9'	EXISTING ASSUMED TO COMPLY BASED ON 10.516.10 EXCEPTION
FRONT YARD-SECONDARY (McNABB)	15'/0'**	0'	EXISTING ASSUMED TO COMPLY BASED ON 10.516.10 EXCEPTION
SIDE YARD	10'	33'-4"	MEASURED TO PRINCIPAL BUILDING (DECK)
REAR YARD	20'	21'-2"	MEASURED TO PRINCIPAL BUILDING (BACK STEPS)
HEIGHT-SLOPED ROOF	35'	32'	
ROOF APPURTENANCE	8'	<8'	EXISTING CHIMNEY
BUILDING COVERAGE	25%	28%	NON-CONFORMING
MINIMUM OPEN SPACE	30%	66%	

88 LINCOLN AVE

SITE-EXISTING

1

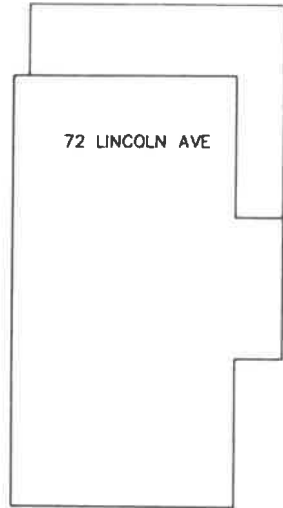
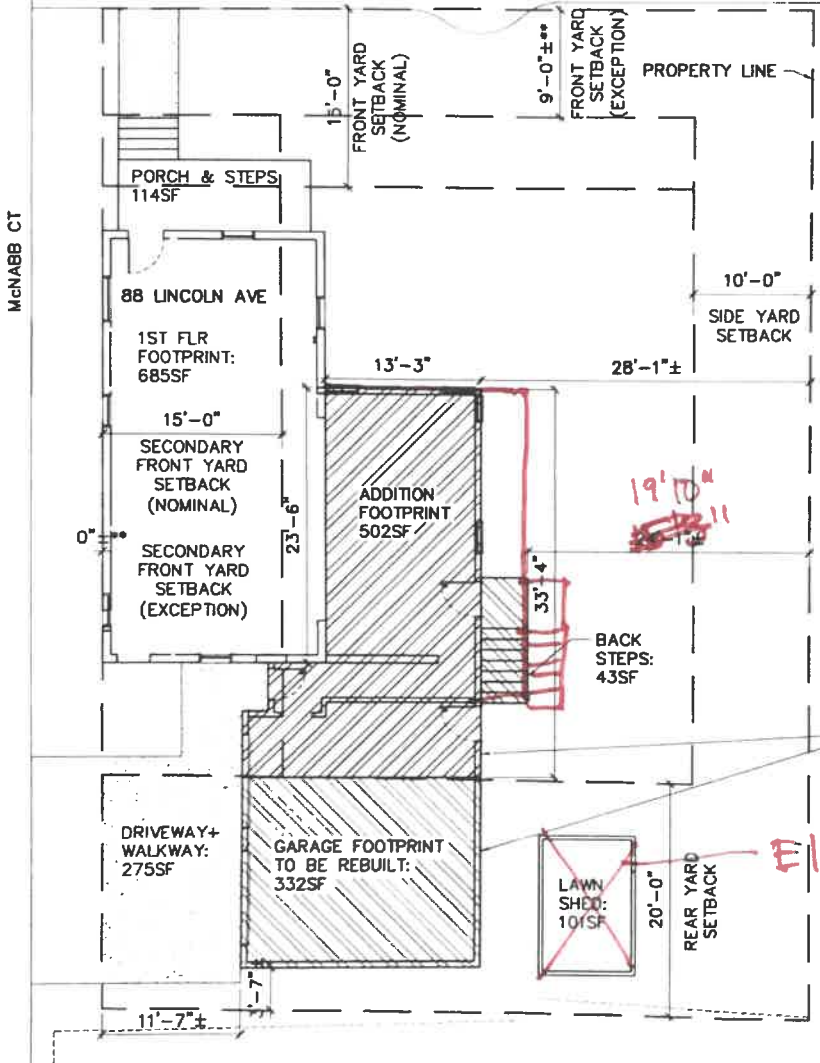
November 25, 2018

of 8

LINCOLN AVE

** ASSUMED PRIMARY FRONT YARD SETBACK OF 9' ON LINCOLN BASED ON 10.516.10 AVERAGE OF ADJACENT HOUSES

EXISTING SIDEWALK



INTENT: REBUILD ON EXISTING GARAGE FOOTPRINT, EXTENDING NORTHWARD TO CONNECT TO HOUSE

LOT AREA:
0.117AC
5,127SF

AREA (SF)	PROPOSED COVERAGE:
114	PORCH & STEPS
685	1ST FLOOR
502	ADDITION
332	GARAGE (REBUILT FOOTPRINT)
43	BACK STEPS
101	LAWN SHED
1,777	TOTAL
35%	COVERAGE OF LOT

326 NET ADDED AREA
7% COVERAGE OF LOT

AREA (SF)	OPEN SPACE
1,777	BUILDING COVERAGE
46	FRONT WALK
275	DRIVEWAY (W/IN PROPERTY LINE)
2,098	TOTAL
3,029	OPEN AREA
59%	OPEN SPACE

** (SECONDARY) FRONT YARD SETBACK OF 0' ASSUMED BASED ON 10.516.10 EXCEPTION FOR ADJACENT HOUSE



PLAN NORTH

4' 2' 0 4' 8' 12'
SCALE: 1/16" = 1'-0"

GENERAL RESIDENCE A	REQUIRED	EXISTING	PROPOSED	COMMENTS ON PROPOSED
LOT AREA	7,500sf	5,127sf	5,127sf	UNCHANGED
LOT AREA / DWELLING	7,500sf	5,127sf	5,127sf	UNCHANGED
CONTINUOUS STREET FRONTAGE	100'	145'	145'	
DEPTH	70'	85'	85'	
FRONT YARD-PRIMARY (LINCOLN)	15' 9"	9'	9'	UNCHANGED
FRONT YARD-SECONDARY (McNABB)	15' 0"	0'	0' / 11'-7"	EXIST UNCHANGED / ADDITION ENCROACHES NO CLOSER THAN EXIST GARAGE
SIDE YARD	10'	33'-4"	24'-1"	
REAR YARD	20'	21'-2"	3'-7"	ADDITION ENCROACHES NO CLOSER THAN EXISTING GARAGE
HEIGHT-SLOPED ROOF	35'	32'	32'	
ROOF APPURTENANCE	8'	<8'	<8'	
BUILDING COVERAGE	25%	28%	35%	NET INCREASE OF 7% (326 SF)
MINIMUM OPEN SPACE	30%	66%	59%	

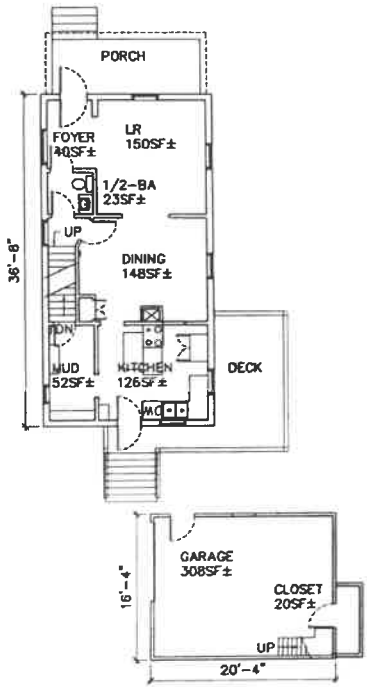
88 LINCOLN AVE

SITE-PROPOSED

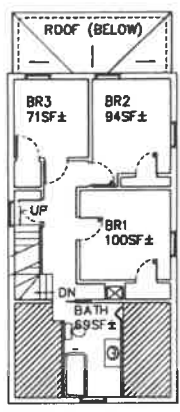
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November 25, 2018

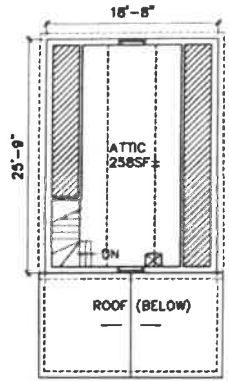
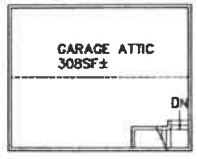
of 8



EXISTING 1ST FLOOR PLAN
685 GSF± INTERIOR
665 GSF± PORCH, DECK AND GARAGE
1350 GSF± TOTAL

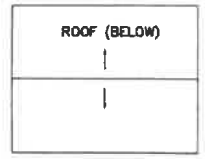


EXISTING 2ND FLOOR PLAN
685 GSF± INTERIOR
332 GSF± GARAGE ATTIC
1017 GSF± TOTAL

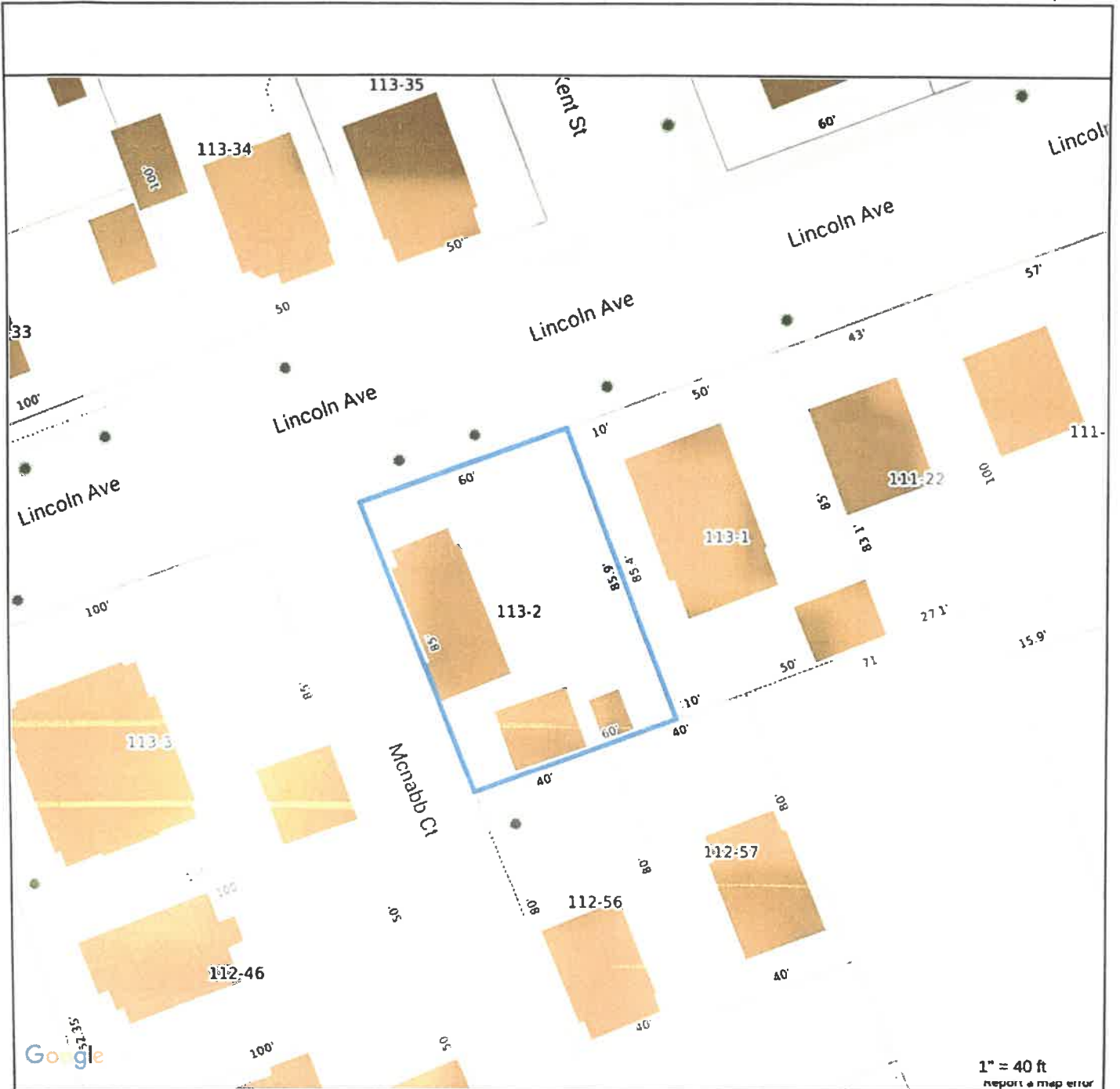


EXISTING ATTIC FLOOR PLAN
481 GSF±

ALL FLOORS
1851 GSF± INTERIOR
997 GSF± EXTERIOR
2848 GSF± TOTAL



PLAN NORTH
4' 2' 0 4' 8' 12'
SCALE: 1/16" = 1'-0"



1" = 40 ft
report a map error

Property Information

Property ID 0113-0002-0000
Location 88 LINCOLN AVE
Owner KARLIN JASON R



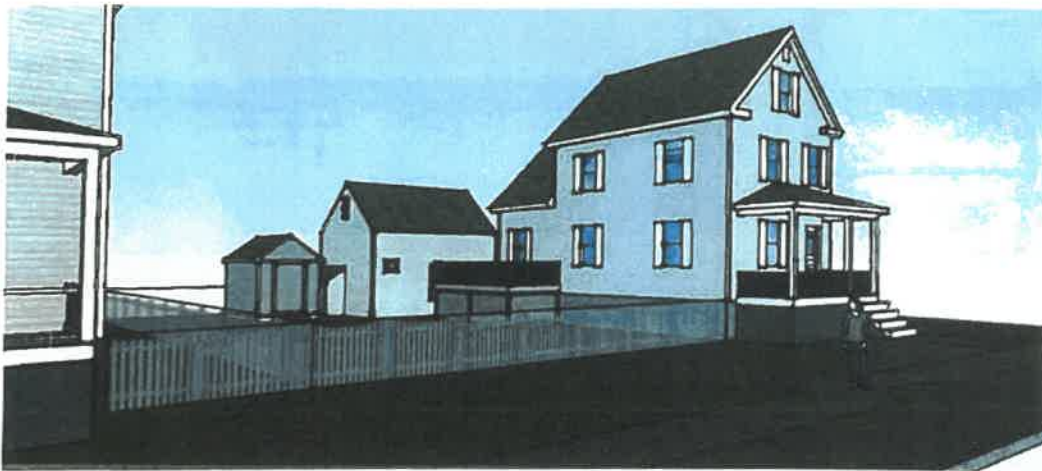
MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated 01/04/2018
Properties updated 06/26/2018



PROPOSED CONDITIONS – VIEWED FROM NORTHEAST



EXISTING CONDITIONS – VIEWED FROM NORTHEAST

GREINER RESIDENCE

88 LINCOLN AVE., PORTSMOUTH, NEW HAMPSHIRE

DRAWING INDEX

ARCHITECTURAL:

- TITLE SHEET
- AB-1.0 EXISTING FIRST FLOOR PLAN
& EXISTING BASEMENT PLAN
- AB-1.1 EXT. SECOND FLOOR PLAN
& EXISTING ATTIC PLAN
- AB-2.0 EXISTING ELEVATIONS
- A-1.0 FIRST FLOOR PLAN
- A-1.1 SECOND FLOOR PLAN
- A-1.2 ATTIC FLOOR PLAN
- A-2.0 ELEVATIONS
- A-2.1 ELEVATIONS

NEW ADDITION & REMODEL



CONSULTANTS

ARCHITECTURAL DESIGNER:

JEREMY SHEAFF
PH: 603-793-8431

STRUCTURAL ENGINEER:

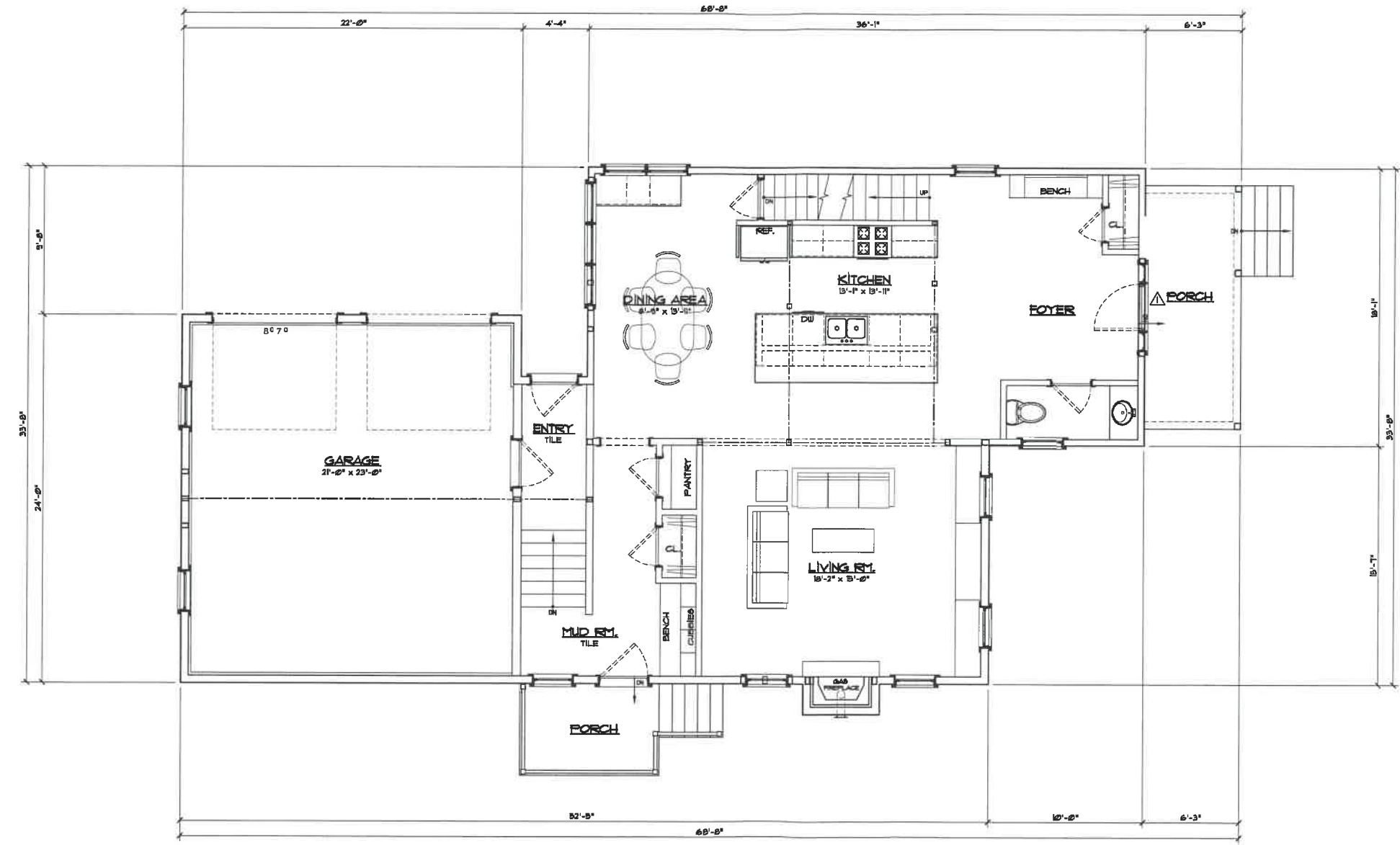


NET-ZERO ENERGY BUILDING
www.profilehomesnh.com
Ph: 603-765-6648

ISSUED FOR SCHEMATIC DESIGN #2
JUNE 13, 2019

GREINER RESIDENCE

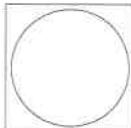
ISSUED DATES & REVISIONS:
ISSUED FOR DESIGN REVIEW #1
JUNE 10, 2019
ISSUED FOR DESIGN REVIEW #2
JUNE 13, 2019



GENERAL NOTES:
General Contractor shall make all subcontractors and suppliers aware of the requirements of these notes.
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General Contractor shall lay out in the field the entire work to verify dimensional relationships before constructing any part, and shall verify all existing conditions and locations before proceeding.
Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the expense removal of completed work at General Contractor's cost, if a discrepancy which could have been discovered cause modifications to the plans.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensional, existing conditions or any apparent error in the identifying or specifying of a product, material or amount of assembly is to be pointed out to Profile Homes immediately.
Deviation shall not be made for dimensions and/or sizes. Profile Homes assumes no responsibility for use of incorrect plans.
Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.

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REGISTRATION:



FIRST FLOOR PLAN

ISSUE DATE: 6/13/19
JOB NUMBER: N/A
DRAWN BY: Jeremy Sheaff
CHECKED BY: Matt Silva
SCALE: As Noted

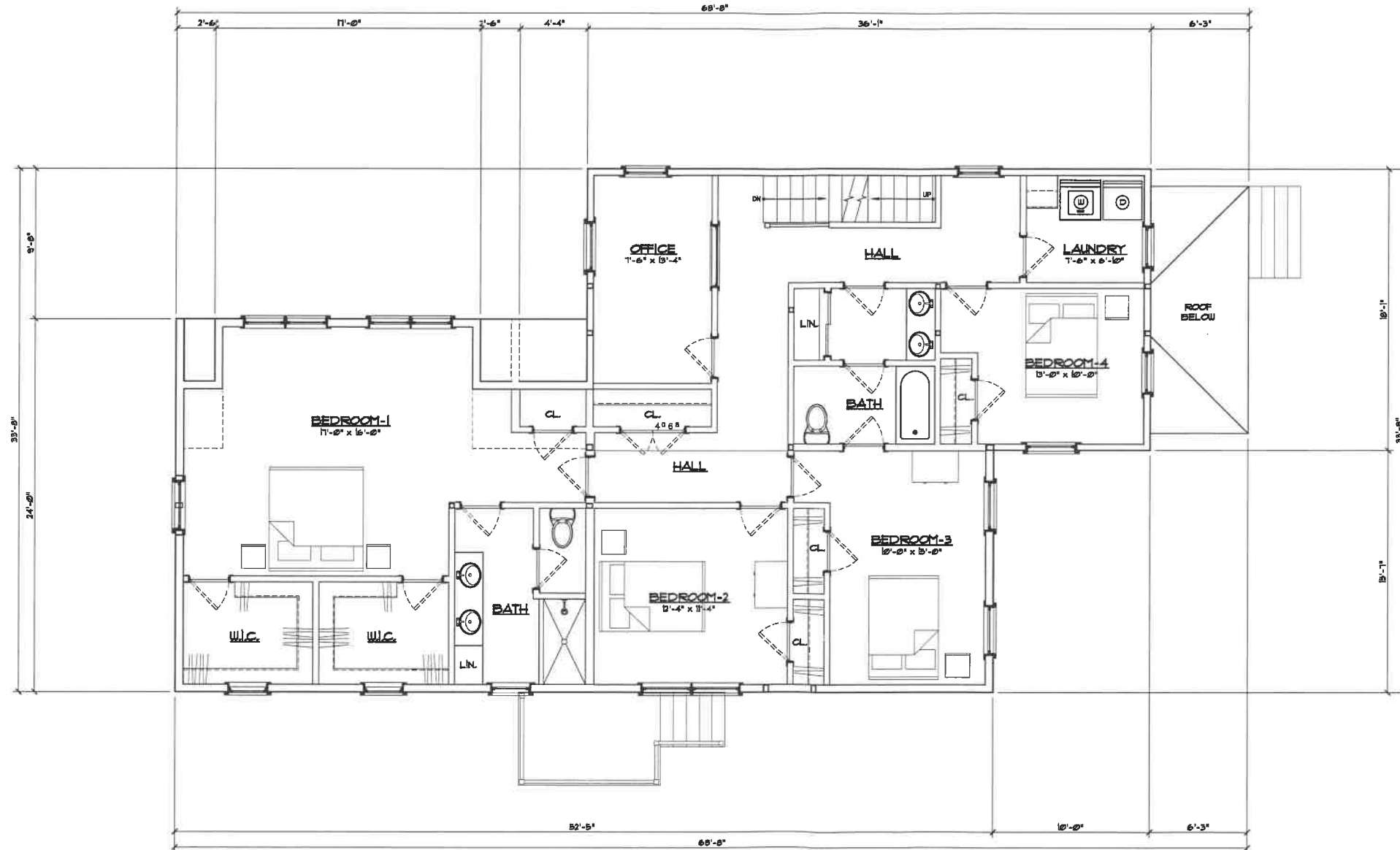
SQUARE FOOT NOTES:

1. FIRST FLOOR *	= 156 SF
2. SECOND FLOOR *	= 1654 SF
3. ATTIC FLOOR *	= 769 SF
4. PORCH & STAIRS	= 128 SF
5. GARAGE	= 528 SF
TOTAL AREA *	= 3,579 SF

A-1.0

GREINER RESIDENCE

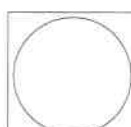
ISSUED DATES & REVISIONS:
ISSUED FOR DESIGN REVIEW #1
JUNE 10, 2019
ISSUED FOR DESIGN REVIEW #2
JUNE 13, 2019



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General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found to the plans, dimensional existing conditions or any apparent error in the clarifying or specifying of a product, material or means of assembly is to be pointed out to Profile Homes immediately.
Contract shall not be liable for dimensional and/or plan. Profile Homes assumes no responsibility for type of incorrect work.
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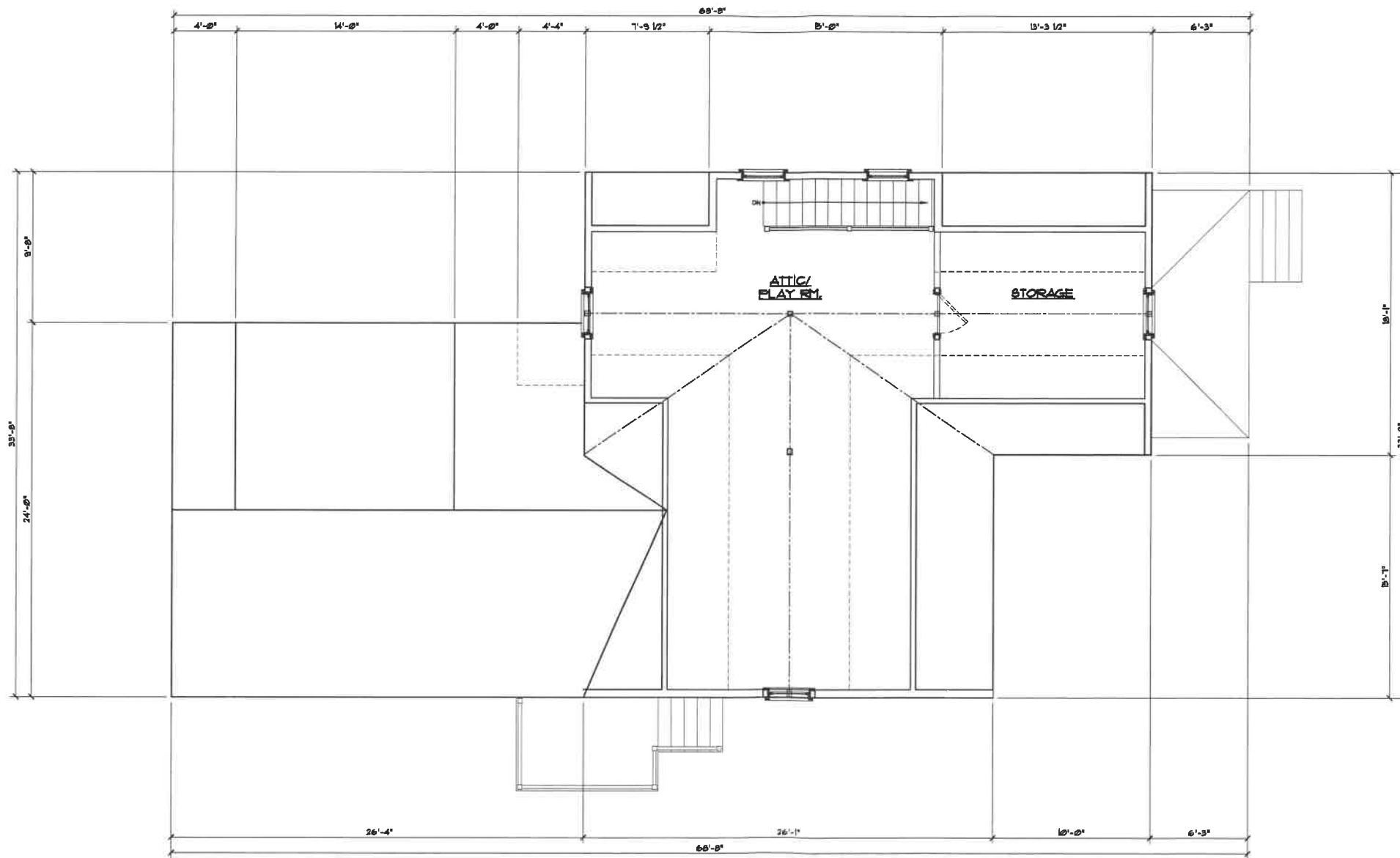
SECOND FLOOR PLAN

ISSUE DATE: 6/13/19
JOB NUMBER: N/A
DRAWN BY: Jeremy Sheaff
CHECKED BY: Matt Silva
SCALE: As Noted

A-1.1

**GREINER
RESIDENCE**

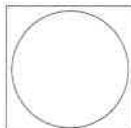
ISSUED DATES & REVISIONS:
ISSUED FOR DESIGN REVIEW #1
JUNE 10, 2019
ISSUED FOR DESIGN REVIEW #2
JUNE 13, 2019



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All work shall be performed in compliance with all applicable local, state and National Building, Life Safety and Electrical codes.
General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.
General Contractor shall be responsible for the required removal of completed work at General Contractor's cost; if a discrepancy which could have been discovered exists notwithstanding to the plans.
Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor's cost; if a discrepancy which could have been discovered exists notwithstanding to the plans.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plan, dimension, existing conditions or any apparent error in the identifying or specifying of a product, material or source of assembly, it to be pointed out to Profile Homes immediately.
Drawings shall not be scaled for dimension and/or show. Profile Homes reserves its responsibility for use of incorrect scale.
Regardless of whether or not an item is shown or specified, General Contractor shall provide and install it if it is necessary for the proper installation or function of an item shown or specified. Suppliers and subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.

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REGISTRATION:



**ATTIC
PLAN**

ISSUE DATE: 6/13/19
JOB NUMBER: N/A
DRAWN BY: Jeremy Sheaff
CHECKED BY: Matt Silva
SCALE: As Noted

A-1.2

GREINER RESIDENCE

ISSUED DATES & REVISIONS:
ISSUED FOR DESIGN REVIEW #1
JUNE 10, 2019
ISSUED FOR DESIGN REVIEW #2
JUNE 13, 2019

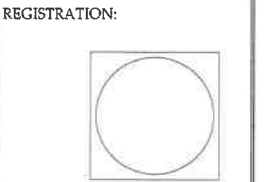


② REAR ELEVATION

DRAWING SCALE: 1/4" = 1'-0"

GENERAL NOTES:
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All work shall be performed in compliance with all applicable Local, State and National Building, Life Safety and Electrical codes.
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General Contractor shall lay out in the field the entire work to verify dimensional relationship before constructing any part, and shall verify all existing conditions and locations before proceeding.
Before to verify dimensions and conditions before proceeding may subject the General Contractor to the removal of any part of the work at General Contractor's risk; if a discrepancy which could have been discovered cause modification to the plans.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensional existing conditions or any apparent error in the drawings or specifications of a product, material or amount of quantity to be pointed out to Profile Homes immediately.
Drawings shall not be scaled for dimension and/or area. Profile Homes assumes no responsibility for use of incorrect scale.
Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.

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ELEVATIONS

ISSUE DATE: 6/13/19
JOB NUMBER: N/A
DRAWN BY: Jeremy Sheuff
CHECKED BY: Matt Silva
SCALE: As Noted

A-2.0



① FRONT ELEVATION

DRAWING SCALE: 1/4" = 1'-0"

④ WINDOW & DOOR SCHEDULE

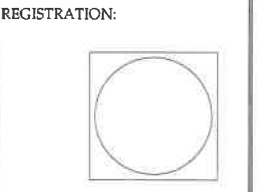
③ MATERIAL NOTES



GREINER RESIDENCE

ISSUED DATES & REVISIONS:
 ISSUED FOR DESIGN REVIEW #1
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 JUNE 13, 2019

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 General Contractor shall coordinate the dimensional requirements between the work of the various trades.
 Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the scheduling or specifying of a product, material or amount of quantity to be indicated on the Plans shall be immediately.
 Drawings shall not be scaled for dimensions and/or sizes. Profile Homes assumes no responsibility for use of incorrect scale.
 Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall follow the General Contractor's requirements for the work of other trades, which may not be indicated prior to bidding.
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ELEVATIONS

ISSUE DATE: 6/13/19
 JOB NUMBER: N/A
 DRAWN BY: Jeremy Sherff
 CHECKED BY: Matt Silva
 SCALE: As Noted

A-2.1



② LEFT ELEVATION

DRAWING SCALE: 1/4" = 1'-0"



① RIGHT ELEVATION

DRAWING SCALE: 1/4" = 1'-0"

⑥ WINDOW & DOOR SCHEDULE

DRAWING SCALE: NONE

⑤ MATERIAL NOTES

DRAWING SCALE: NONE



GREINER RESIDENCE

ISSUED DATES & REVISIONS:
 ISSUED FOR DESIGN REVIEW #1
 JUNE 10, 2019
 ISSUED FOR DESIGN REVIEW #2
 JUNE 13, 2019

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 Any discrepancies found in the plans, dimensional, existing conditions or any apparent error in the identifying or specifying of a product, material or method of assembly to be pointed out to Profile Homes immediately.
 Drawings shall not be deemed for dimensional and/or other items unless otherwise specified.
 Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and subcontractors shall inform the General Contractor of their requirements for the work of other trades, which may not be indicated, prior to bidding.

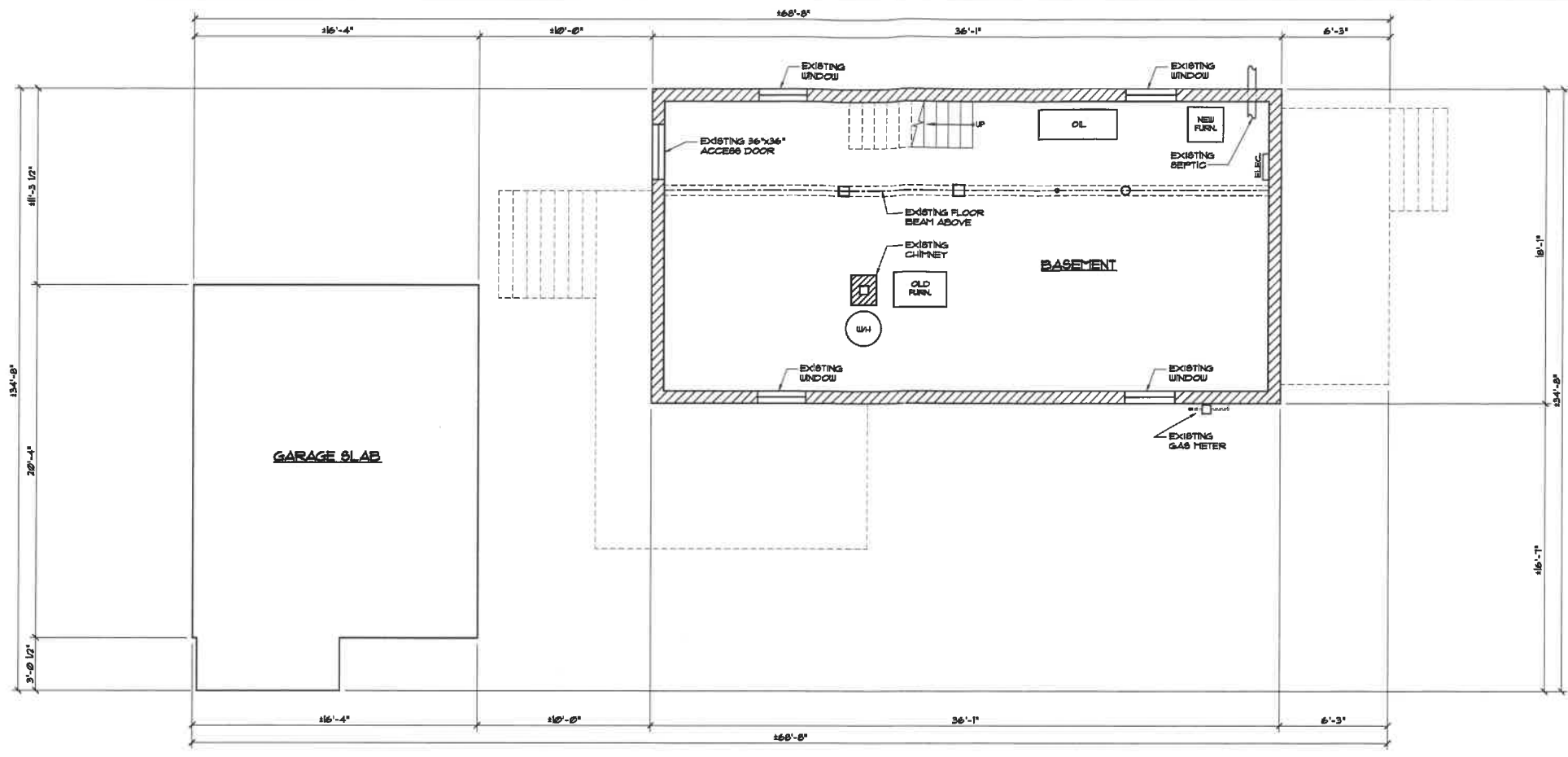
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EXISTING FLOOR PLANS

REGISTRATION:
 ISSUE DATE: 6/13/19
 JOB NUMBER: N/A
 DRAWN BY: Jeremy Sheaff
 CHECKED BY: Matt Silva
 SCALE: As Noted

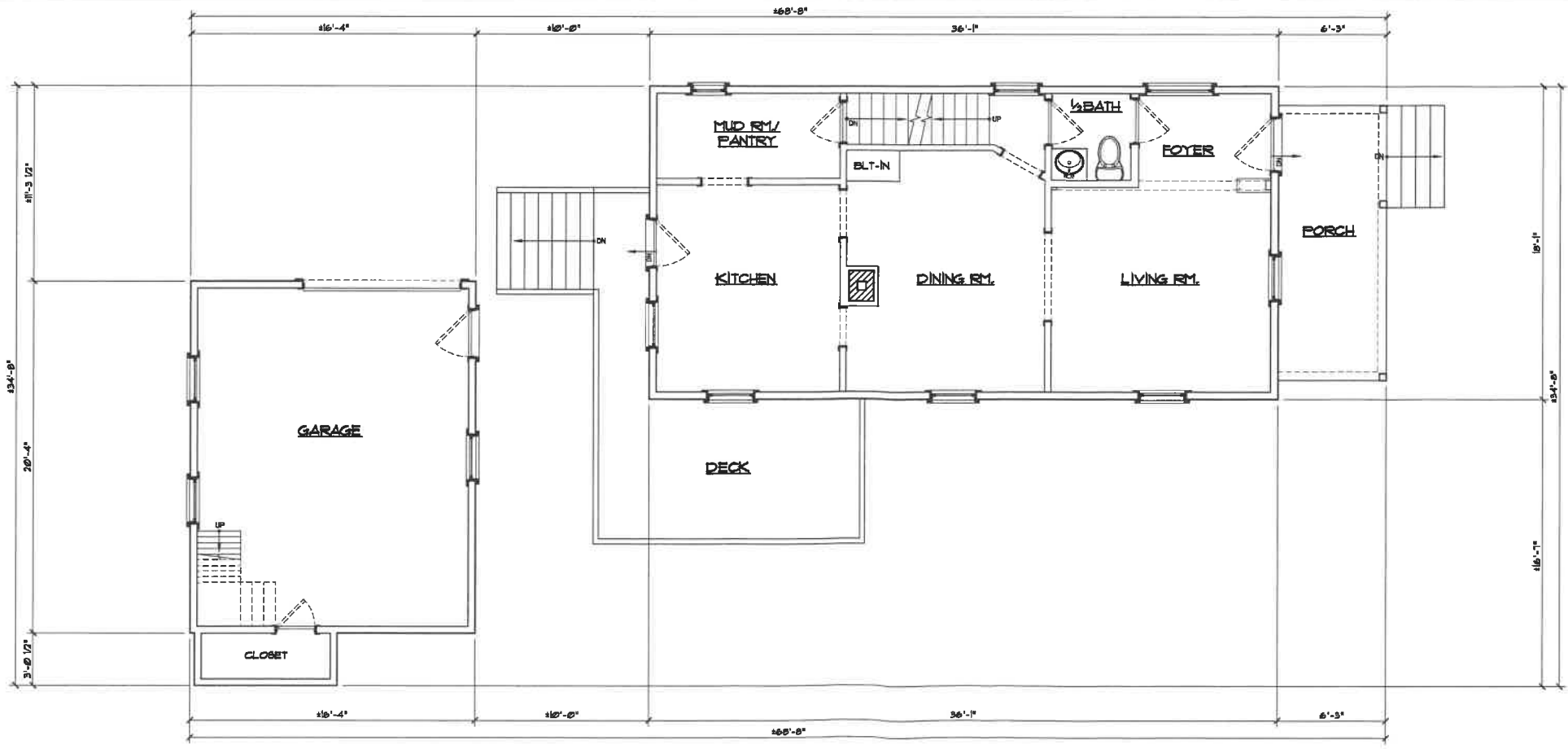
SQUARE FOOT NOTES:

L. FIRST FLOOR	• 653 SF
2. SECOND FLOOR	• 532 SF
3. ATTIC FLOOR	• 312 SF
4. PORCH/DECKS & STAIRS	• 323 SF
B. GARAGE	• 552 SF
TOTAL AREA	• 1,491 SF



2 EXISTING BASEMENT PLAN

DRAWING SCALE: 1/4" = 1'-0"



1 EXISTING FIRST FLOOR PLAN

DRAWING SCALE: 1/4" = 1'-0"

AB-1.0

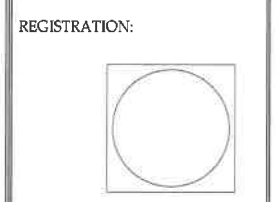


GREINER RESIDENCE

ISSUED DATES & REVISIONS:
ISSUED FOR DESIGN REVIEW #1
JUNE 10, 2019
ISSUED FOR DESIGN REVIEW #2
JUNE 13, 2019

GENERAL NOTES:
General Contractor shall make all subcontractors and suppliers aware of the requirements of these notes.
All work shall be performed in accordance with all applicable Local, State and National Building, Fire, Safety and Electrical codes.
General Contractors shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.
General Contractor shall lay out in the field the entire work to verify dimensional relationships before commencing any part, and shall verify all existing conditions and locations before proceeding.
Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor's risk, if a discrepancy which could have been discovered exists modifications to the plans.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any approval given in the clarifying or specifying of a product, material or amount of assembly is to be printed out to Profile Homes immediately.
Drawings shall not be scaled for dimensions and/or sizes. Profile Homes assumes no responsibility for use of incorrect scale.
Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and Subcontractors shall follow the General Contractor of their requirements for the work of other trades which may not be indicated, prior to bidding.

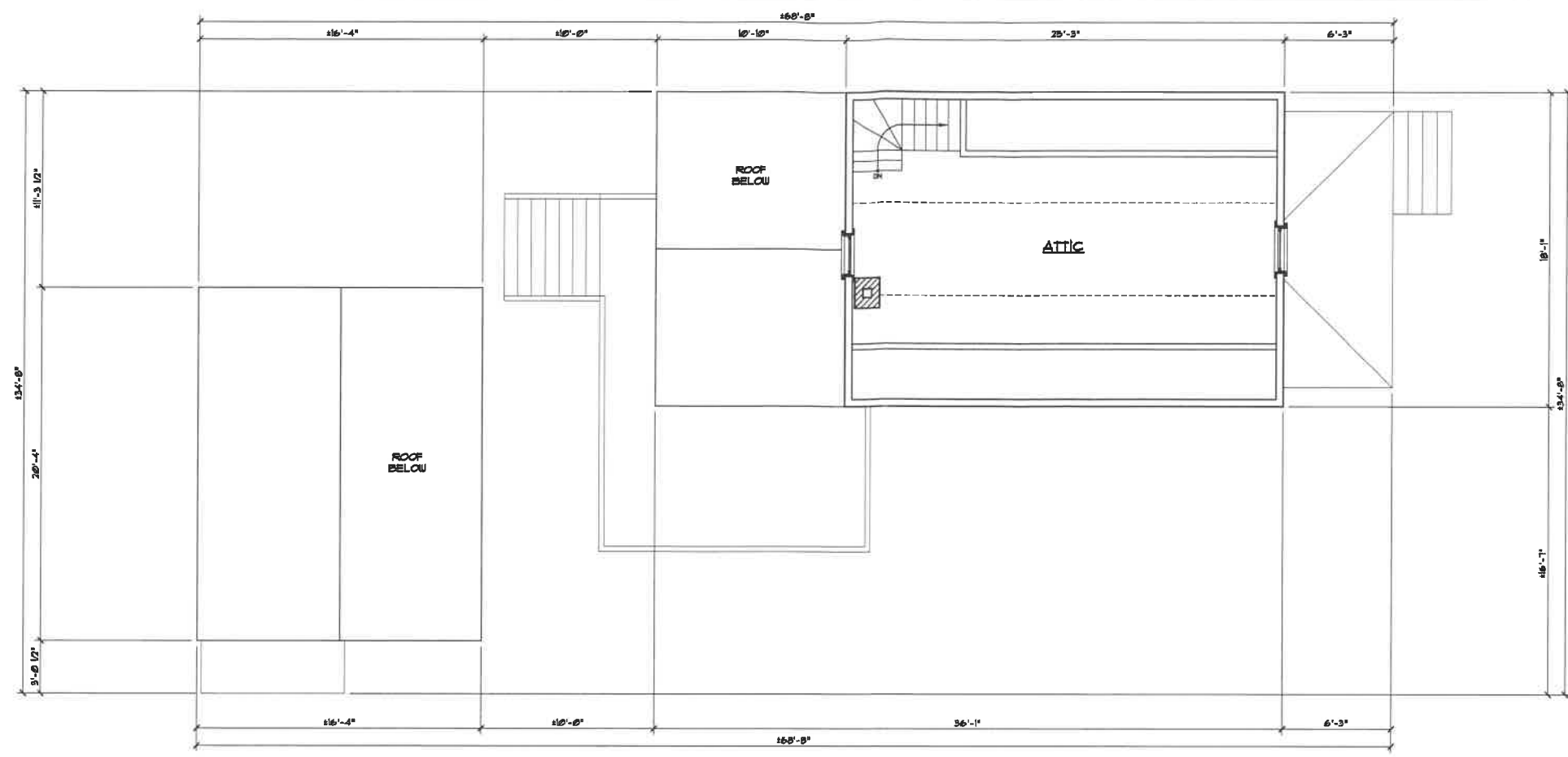
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EXISTING FLOOR PLANS

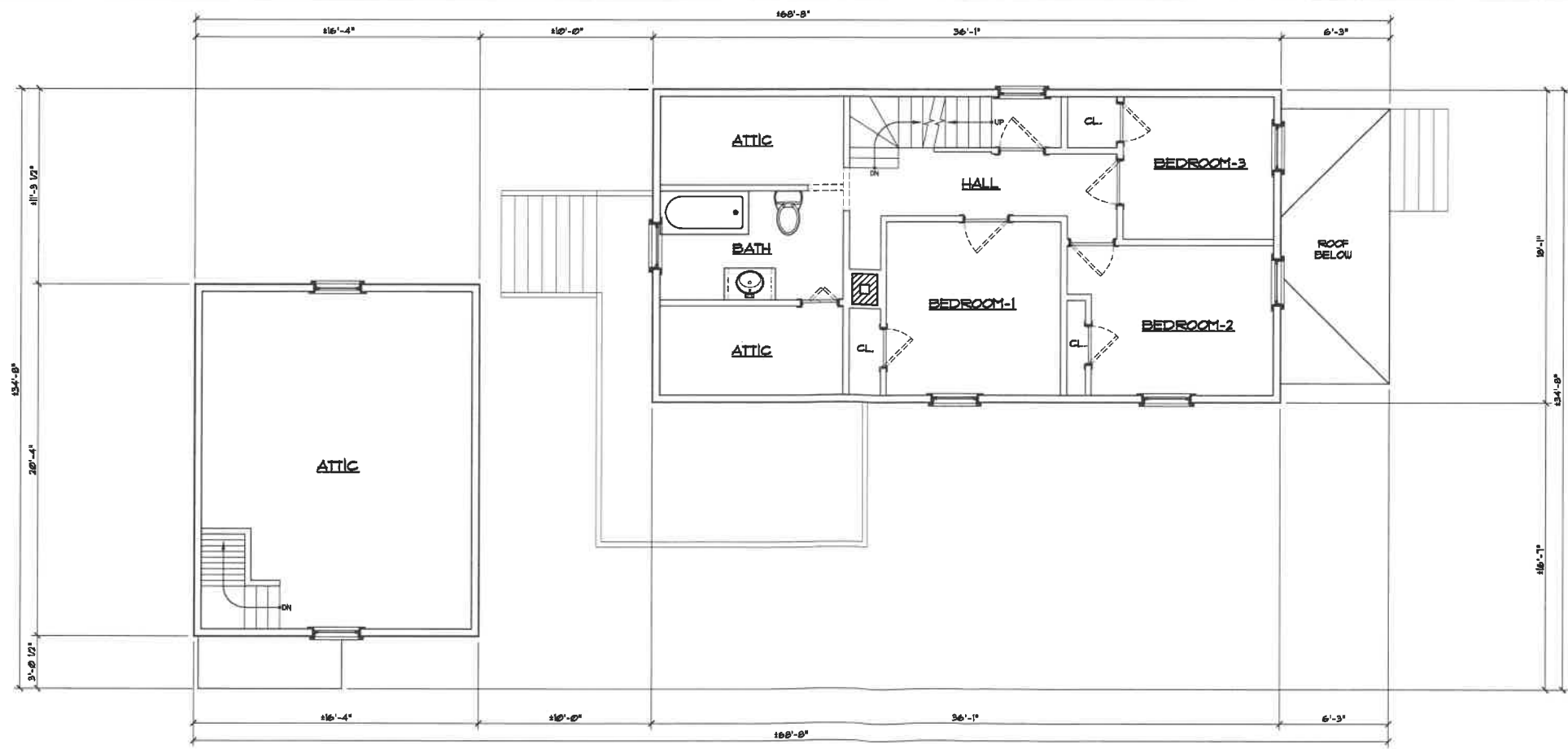
ISSUE DATE: 6/13/19
JOB NUMBER: N/A
DRAWN BY: Jeremy Sheaff
CHECKED BY: Matt Silva
SCALE: As Noted

AB-1.1



2 EXISTING ATTIC FLOOR PLAN

DRAWING SCALE: 1/4" = 1'-0"



1 EXISTING SECOND FLOOR PLAN

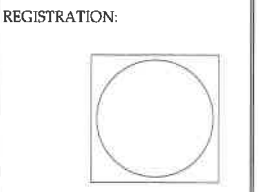
DRAWING SCALE: 1/4" = 1'-0"

GREINER RESIDENCE

ISSUED DATES & REVISIONS:
ISSUED FOR DESIGN REVIEW #1
JUNE 10, 2019
ISSUED FOR DESIGN REVIEW #2
JUNE 13, 2019

GENERAL NOTES:
General Contractor shall make all subcontractors and suppliers aware of the requirements of these notes.
All work shall be performed in accordance with all applicable Local, State and National Building, Life Safety and Electrical codes.
General Contractor shall be responsible for securing all permits as necessary for the completion of work shown throughout the Contract Documents.
General Contractor shall lay out in the field the entire work to verify dimensional relationships before constructing any part, and shall verify all existing conditions and locations before proceeding.
Failure to verify dimensions and conditions before proceeding may subject the General Contractor to the required removal of completed work at General Contractor's risk, if a discrepancy which could have been discovered causes modifications to the plans.
General Contractor shall coordinate the dimensional requirements between the work of the various trades.
Any discrepancies found in the plans, dimensions, existing conditions or any apparent error in the drawing or specifying of a product, material or amount of quantity to be printed out to Profile Homes immediately.
Drawings shall not be scaled for dimensions and/or sizes. Profile Homes assumes no responsibility for use of incorrect scale.
Regardless of whether or not an item is shown or specified, General Contractor shall provide said item if it is necessary for the proper installation or function of an item shown or specified. Suppliers and subcontractors shall follow the General Contractor's instructions for the work of other trades which may not be indicated, prior to starting.

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EXISTING ELEVATIONS

ISSUE DATE: 6/13/19
JOB NUMBER: N/A
DRAWN BY: Jeremy Sheaff
CHECKED BY: Matt Silva
SCALE: As Noted

AB-2.0



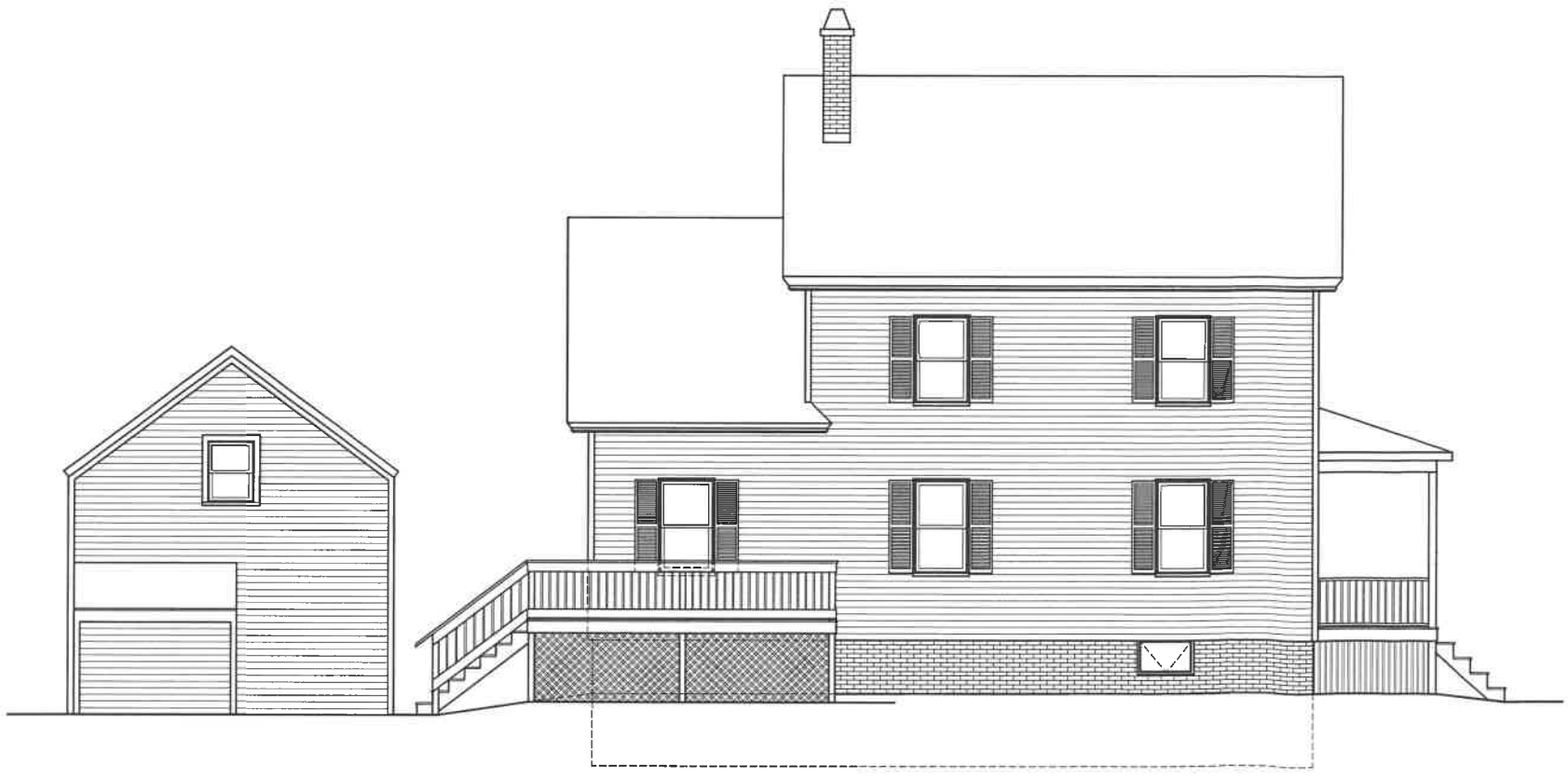
④ EXISTING RIGHT ELEVATION

DRAWING SCALE: 1/4" = 1'-0"



③ EXISTING REAR ELEVATION

DRAWING SCALE: 1/4" = 1'-0"



② EXISTING LEFT ELEVATION

DRAWING SCALE: 1/4" = 1'-0"



① EXISTING FRONT ELEVATION

DRAWING SCALE: 1/4" = 1'-0"