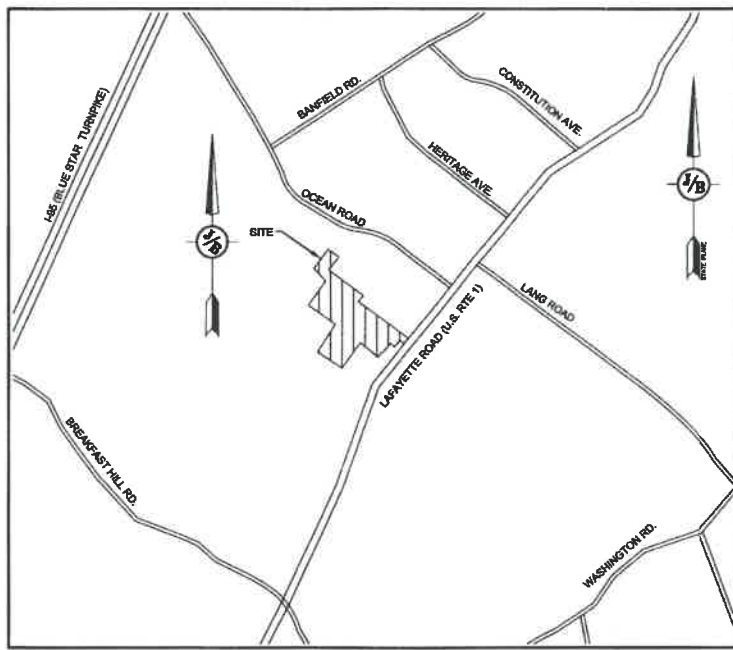


RESIDENTIAL CONDOMINIUMS TAX MAP 297, LOT 11 3400 LAFAYETTE ROAD, PORTSMOUTH, NH

GENERAL LEGEND

| EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|----------------------------------|
| --- | --- | PROPERTY LINES |
| --- | --- | SETBACK LINES |
| --- | --- | CENTERLINE |
| --- | --- | FRESHWATER WETLANDS LINE |
| --- | --- | TIDAL WETLANDS LINE |
| --- | --- | STREAM CHANNEL |
| --- | --- | TREE LINE |
| --- | --- | STONEWALL |
| --- | --- | BARBED WIRE |
| --- | --- | FENCE |
| --- | --- | STOCKADE FENCE |
| --- | --- | SOIL BOUNDARY |
| --- | --- | AQUIFER PROTECTION LINE |
| --- | --- | FLOOD PLAIN LINE |
| --- | --- | ZONELINE |
| --- | --- | EASEMENT |
| --- | --- | MAJOR CONTOUR |
| --- | --- | MINOR CONTOUR |
| --- | --- | EDGE OF PAVEMENT |
| --- | --- | VERTICAL GRANITE CURB |
| --- | --- | SLOPE GRANITE CURB |
| --- | --- | CAPE COD BEAM |
| --- | --- | POURED CONCRETE CURB |
| --- | --- | SILT FENCE |
| --- | --- | DRAINAGE LINE |
| --- | --- | SEWER LINE |
| --- | --- | SEWER FORCE MAIN |
| --- | --- | GAS LINE |
| --- | --- | WATER LINE |
| --- | --- | WATER SERVICE |
| --- | --- | OVERHEAD ELECTRIC |
| --- | --- | UNDERGROUND ELECTRIC |
| --- | --- | GUARDRAIL |
| --- | --- | UNDERDRAIN |
| --- | --- | FIRE PROTECTION LINE |
| --- | --- | THRUST BLOCK |
| --- | --- | IRON PIPE/IRON ROD |
| --- | --- | DRILL HOLE |
| --- | --- | IRON ROD/DRILL HOLE |
| --- | --- | STONE/GRANITE BOUND |
| --- | --- | SPOT GRADE |
| --- | --- | PAVEMENT SPOT GRADE |
| --- | --- | CURB SPOT GRADE |
| --- | --- | BENCHMARK (TBM) |
| --- | --- | DOUBLE POST SIGN |
| --- | --- | SINGLE POST SIGN |
| --- | --- | WELL |
| --- | --- | TEST PIT |
| --- | --- | FAILED TEST PIT |
| --- | --- | MONITORING WELL |
| --- | --- | FENCE TEST |
| --- | --- | PHOTO LOCATION |
| --- | --- | TREES AND BUSHES |
| --- | --- | UTILITY POLE |
| --- | --- | LIGHT POLES |
| --- | --- | DRAIN MANHOLE |
| --- | --- | SEWER MANHOLE |
| --- | --- | HYDRANT |
| --- | --- | WATER GATE |
| --- | --- | WATER SHUT OFF |
| --- | --- | REDUCER |
| --- | --- | SINGLE GRATE CATCH BASIN |
| --- | --- | DOUBLE GRATE CATCH BASIN |
| --- | --- | TRANSFORMER |
| --- | --- | CULVERT W/ WINGWALLS |
| --- | --- | CULVERT W/ FLARED END SECTION |
| --- | --- | CULVERT W/ STRAIGHT HEADWALL |
| --- | --- | STONE CHECK DAM |
| --- | --- | DRAINAGE FLOW DIRECTION |
| --- | --- | 4K SEPTIC AREA |
| --- | --- | WETLAND IMPACT |
| --- | --- | VEGETATED FILTER STRIP |
| --- | --- | RIPRAP |
| --- | --- | OPEN WATER |
| --- | --- | FRESHWATER WETLANDS |
| --- | --- | TIDAL WETLANDS |
| --- | --- | STABILIZED CONSTRUCTION ENTRANCE |
| --- | --- | CONCRETE |
| --- | --- | GRAVEL |
| --- | --- | SNOW STORAGE |
| --- | --- | RETAINING WALL |



LOCUS MAP
SCALE 1" = 2000'

SHEET INDEX

| | |
|--------|--------------------------------------|
| CS | COVER SHEET |
| A1 | BOUNDARY PLAN |
| EXOVR | OVERVIEW EXISTING CONDITIONS PLAN |
| C1 | EXISTING CONDITIONS PLAN |
| OVR | OVERVIEW SITE PLAN |
| C2 | SITE PLAN |
| C3 | GRADING AND DRAINAGE PLAN |
| C4-C5 | UTILITY PLAN |
| L1 | LIGHTING PLAN |
| P1-P3 | ROAD PLAN AND PROFILE |
| P4-P6 | SEWER PROFILES |
| D1-D6 | DETAIL SHEETS |
| E1 | EROSION AND SEDIMENT CONTROL DETAILS |
| T1 | TRUCK TURNING PLAN |
| TR1 | STORMWATER TREATMENT PLAN |
| LS-1-4 | LANDSCAPE PLANS |

CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
 85 PORTSMOUTH AVENUE
 PO BOX 219
 STRATHAM, NH 03885
 (603) 772-4746
 CONTACT: JOSEPH CORONATI
 EMAIL: JCORONATI@JONESANDBEACH.COM

WETLAND CONSULTANT
GZA ENVIRONMENTAL
 5 COMMERCE PARK NORTH
 SUITE 201
 BEDFORD, NH 03110
 603-623-3600
 CONTACT: JAMES LONG

APPLICANT
GREEN & COMPANY
 11 LAFAYETTE ROAD
 PO BOX 1297
 NORTH HAMPTON, NH 03862
 603-964-7572
 CONTACT: MICHAEL GREEN
 MPG114@GMAIL.COM

LANDSCAPE ARCHITECT
TF MORAN, INC.
 48 CONSTITUTION DRIVE
 BEDFORD, NH 03110
 603-472-4488
 CONTACT: MIKE KRZEMINSKI
 MKRZEMINSKI@TFMORAN.COM

ARCHITECT:
STONEARCH DEVELOPMENT
 (603) 817-5758
 CONTACT: MICHAEL MACNEIL

ELECTRIC
EVERSOURCE ENERGY
 74 OLD DOVER ROAD
 ROCHESTER, NH 03867
 (603) 555-5334
 CONTACT: NICHOLAI KOSKO

TELEPHONE
FAIRPOINT COMMUNICATIONS
 1575 GREENLAND ROAD
 GREENLAND, NH 03840
 (603) 427-5525
 CONTACT: JOE CONSIDINE

CABLE TV
COMCAST COMMUNICATION CORPORATION
 334-B CALEF HIGHWAY
 EPPING, NH 03042-2325
 (603) 679-5695

PROJECT PARCEL
 CITY OF PORTSMOUTH
 TAX MAP 297, LOT 11

TOTAL LOT AREA
 1,831,721 SQ. FT. ±
 41.85 ACRES ±

APPROVED — PORTSMOUTH, NH
 PLANNING BOARD

DATE: _____

| | | |
|---|-----------------|--------------------|
| Design: JAC | Draft: LAZ | Date: 3/3/21 |
| Checked: JAC | Scale: AS NOTED | Project No.: 20737 |
| Drawing Name: 20737-PLAN.dwg | | |
| THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE. | | |



| REV. | DATE | REVISION | BY |
|------|---------|---------------------------|-----|
| 7 | 7/20/21 | REVISIONS PER CITY REVIEW | LAZ |
| 6 | 6/22/21 | REVISIONS PER CITY REVIEW | LAZ |
| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/9/21 | ADDED SURVEY INFO | LAZ |

Designed and Produced in NH

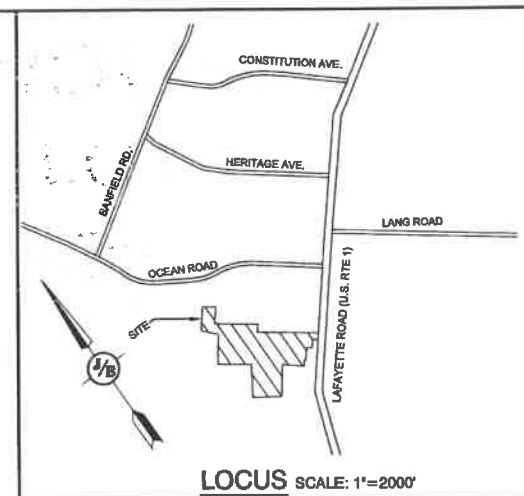
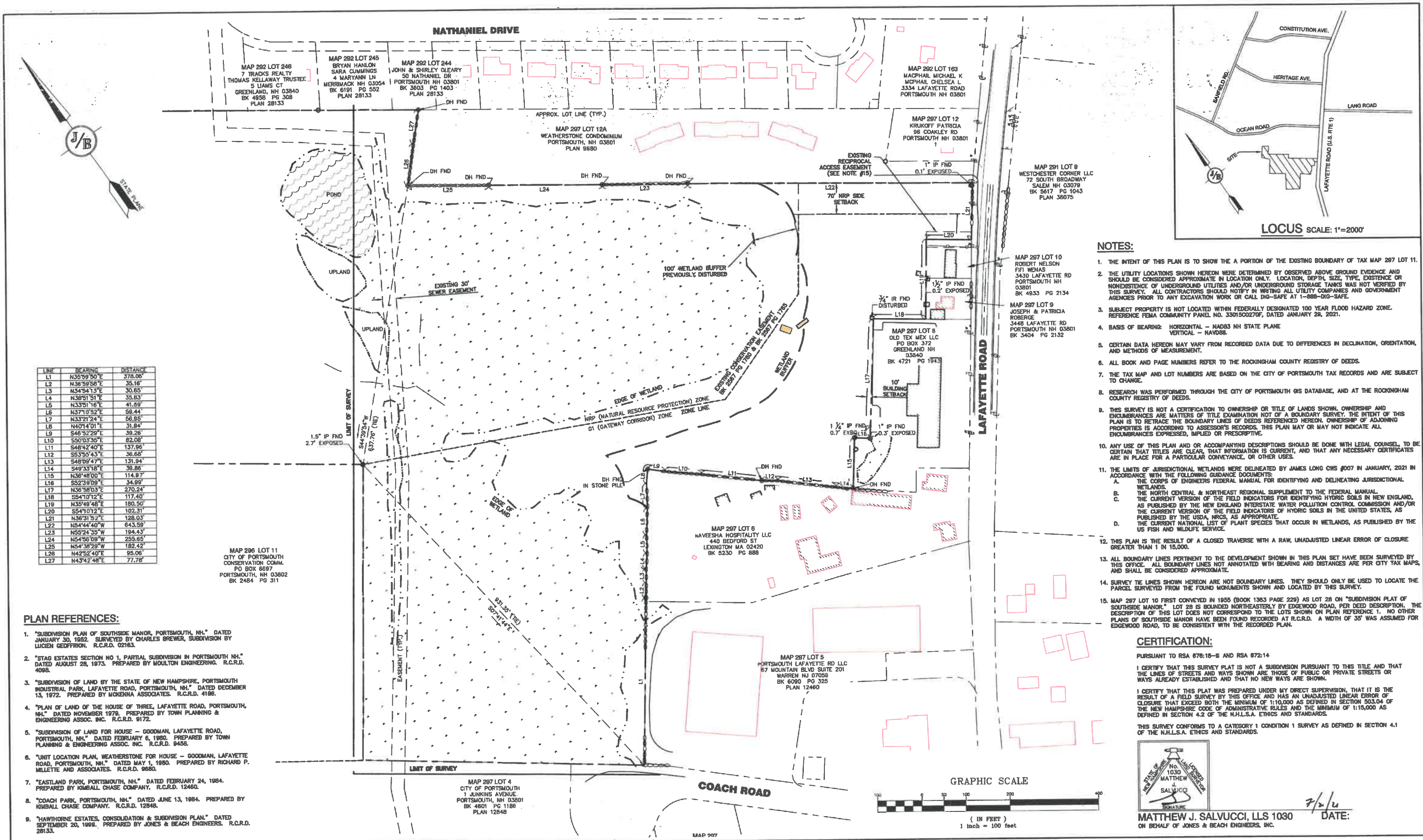
J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Stratham, NH 03885
 Civil Engineering Services
 PO Box 219
 E-MAIL: JBE@JONESANDBEACH.COM
 603-772-4746
 FAX: 603-772-0227

| | |
|------------------|---|
| Plan Name: | COVER SHEET |
| Project: | 3400 LAFAYETTE ROAD PORTSMOUTH, NH |
| Owner of Record: | RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229 |

| | |
|---------------|-----------------------|
| DRAWING No. | CS |
| SHEET 1 OF 28 | JBE PROJECT NO. 20737 |

PROJECT NAME AND LOCATION
 JBE # 20737



| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | N35°59'50"E | 378.06' |
| L2 | N36°59'58"E | 35.16' |
| L3 | N34°54'13"E | 30.83' |
| L4 | N36°51'51"E | 35.83' |
| L5 | N33°21'18"E | 41.59' |
| L6 | N37°10'52"E | 58.44' |
| L7 | N33°21'24"E | 56.55' |
| L8 | N40°14'01"E | 31.84' |
| L9 | S46°52'29"E | 39.26' |
| L10 | S90°03'35"E | 82.08' |
| L11 | S48°42'40"E | 137.95' |
| L12 | S53°55'43"E | 36.68' |
| L13 | S48°09'47"E | 131.94' |
| L14 | S49°33'18"E | 39.86' |
| L15 | N36°48'00"E | 114.97' |
| L16 | S52°39'09"E | 34.99' |
| L17 | N36°58'03"E | 270.24' |
| L18 | S54°10'12"E | 117.40' |
| L19 | N35°49'48"E | 180.50' |
| L20 | S54°10'12"E | 102.31' |
| L21 | N36°31'52"E | 128.03' |
| L22 | N54°44'40"W | 643.59' |
| L23 | N55°24'35"W | 194.43' |
| L24 | N54°56'09"W | 255.65' |
| L25 | N54°38'29"W | 182.42' |
| L26 | N42°52'40"E | 95.06' |
| L27 | N43°42'48"E | 77.78' |

MAP 286 LOT 11
CITY OF PORTSMOUTH
CONSERVATION COMM.
PO BOX 6697
PORTSMOUTH, NH 03802
BK 2484 PG 311

PLAN REFERENCES:

- "SUBDIVISION PLAN OF SOUTHSIDE MANOR, PORTSMOUTH, NH," DATED JANUARY 30, 1952. SURVEYED BY CHARLES BREWER, SUBDIVISION BY LUCIEN GEOFFRION. R.C.R.D. 02183.
- "STAG ESTATES SECTION NO 1, PARTIAL SUBDIVISION IN PORTSMOUTH NH," DATED AUGUST 28, 1973. PREPARED BY MOULTON ENGINEERING. R.C.R.D. 4088.
- "SUBDIVISION OF LAND BY THE STATE OF NEW HAMPSHIRE, PORTSMOUTH INDUSTRIAL PARK, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED DECEMBER 13, 1972. PREPARED BY MCKENNA ASSOCIATES. R.C.R.D. 4188.
- "PLAN OF LAND OF THE HOUSE OF THREE, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED NOVEMBER 1978. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9172.
- "SUBDIVISION OF LAND FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED FEBRUARY 6, 1980. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9458.
- "UNIT LOCATION PLAN, WEATHERSTONE FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED MAY 1, 1980. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 9880.
- "EASTLAND PARK, PORTSMOUTH, NH," DATED FEBRUARY 24, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12460.
- "COACH PARK, PORTSMOUTH, NH," DATED JUNE 13, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12848.
- "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN," DATED SEPTEMBER 20, 1999. PREPARED BY JONES & BEACH ENGINEERS. R.C.R.D. 28133.

NOTES:

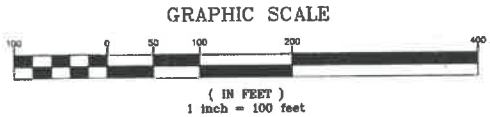
- THE INTENT OF THIS PLAN IS TO SHOW THE A PORTION OF THE EXISTING BOUNDARY OF TAX MAP 297 LOT 11.
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 3301500270F, DATED JANUARY 29, 2021.
- BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLANE
VERTICAL - NAVD83.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED THROUGH THE CITY OF PORTSMOUTH GIS DATABASE, AND AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JAMES LONG CHS #007 IN JANUARY, 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYBRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYBRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- ALL BOUNDARY LINES PERTINENT TO THE DEVELOPMENT SHOWN IN THIS PLAN SET HAVE BEEN SURVEYED BY THIS OFFICE. ALL BOUNDARY LINES NOT ANNOTATED WITH BEARING AND DISTANCES ARE PER CITY TAX MAPS, AND SHALL BE CONSIDERED APPROXIMATE.
- SURVEY THE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- MAP 297 LOT 10 FIRST CONVEYED IN 1955 (BOOK 1383 PAGE 229) AS LOT 28 ON "SUBDIVISION PLAT OF SOUTHSIDE MANOR." LOT 28 IS BOUNDED NORTHEASTERLY BY EDGEWOOD ROAD. PER DEED DESCRIPTION, THE DESCRIPTION OF THIS LOT DOES NOT CORRESPOND TO THE LOTS SHOWN ON PLAN REFERENCE 1. NO OTHER PLANS OF SOUTHSIDE MANOR HAVE BEEN FOUND RECORDED AT R.C.R.D. A WIDTH OF 35' WAS ASSUMED FOR EDGEWOOD ROAD, TO BE CONSISTENT WITH THE RECORDED PLAN.

CERTIFICATION:

PURSUANT TO RSA 678:16-B AND RSA 672:14
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC. DATE: 7/2/24



Design: JAC Draft: LAZ Date: 9/9/21
Checked: JAC Scale: AS SHOWN Project No.: 20737
Drawing Name: 20737-PLAN.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



| REV. | DATE | REVISION | BY |
|------|---------|---------------------------|-----|
| 7 | 7/20/21 | REVISIONS PER CITY REVIEW | LAZ |
| 6 | 8/22/21 | REVISIONS PER CITY REVIEW | LAZ |
| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |
| | | REVISION | |

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **BOUNDARY PLAN**
Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **A1**
SHEET 2 OF 28
JBE PROJECT NO. 20737

ADDITIONAL ABUTTERS

TAX MAP 292 LOT 222
FRENCH FAMILY REVOCABLE TRUST OF 1999
FRENCH JAMES H & HEIDI B TRUSTEES
9 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 236
HERNANDEZ EMMANUEL
HERNANDEZ KAREN
130 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 237
GORONSKI RICHARD C
GORONSKI ALICJA K
120 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 223
DIEMER FREDERICK C REVO TRUST
DIEMER FREDERICK C TRUSTEE
31 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 224
BARSTOW ERIC T
BARSTOW JENNIFER J
41 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 225
LE RYAN NGHIEM
NGO HELEN
53 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 234
GARDNER JR C WESLEY REVO TRUST
GARDNER JR C WESLEY TRUSTEE
150 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 235
YAEGER SUSAN
140 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 238
KARUNAKAREN SUBRAMANIAN TRUSTEE
SHANMUKHANTHAN NAGHDEV TRUSTEE
110 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 239
REDDY LAXMINARAYAN N
REDDY DHANALAKSHI L
100 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 240
MCCARTHY KAREN A
BEAUVAIS AUDRA E
80 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 241
GALLAGHER PAUL J
80 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 242
WERRY WILLIAM A
DOWD-WERRY DIANA M
72 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 292 LOT 243
HASSAN KERR
HASSAN COREY
60 NATHANIEL DR
PORTSMOUTH NH 03801

TAX MAP 293 LOT 1
RICHARDSON SCOTT A
35 MARIETTE DR
PORTSMOUTH NH 03801

TAX MAP 293 LOT 3
CAHILL JEROME J
CAHILL ERIC G
37 MARIETTE DR
PORTSMOUTH NH 03801

TAX MAP 293 LOTS-1
DANFORTH FAMILY NOMINEE TRUST
DANFORTH RICHARD K TRUSTEE
377 OCEAN BLVD
PORTSMOUTH, NH 03801

TAX MAP 293 LOT 5-2
TRAN THEM T
YU MINH D
378 OCEAN BLVD
PORTSMOUTH, NH 03801

TAX MAP 293 LOT 5-3
COUTURIER FAN REV TST OF 2020
COUTURIER MICHAEL & KELLY TRUSTEES
381 OCEAN BLVD
PORTSMOUTH, NH 03801

TAX MAP 293 LOT 5-5
PHAM CUC
BUI TONY
385 OCEAN BLVD
PORTSMOUTH, NH 03801

TAX MAP 293 LOT 8
GRAVEL TYLER
409 OCEAN RD
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-1
SEAWARD DANIEL O III
3370 LAFAYETTE RD #1
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-2
LAROUCHE NOAH
3370 LAFAYETTE RD UNIT 2
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-3
SALMON CAROLYN M REVO TRUST
SALMON CAROLYN M TRUSTEE
3370 LAFAYETTE RD #5
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-4
PERCHENSKI FAN REV TST
LEHOUX NEIL M & RAYMOND J ROY TIEES
3370 LAFAYETTE RD UNIT 4
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-5
SLATTERY & DUMONT LLC
65 OLD CONCORD TURNPIKE #10
BARRINGTON NH 03825

TAX MAP 297 LOT 12A-6
RAMSAY STEVEN J
RAMSAY SARAH B
2 INDIAN TR
EXETER NH 03833

TAX MAP 297 LOT 12A-7
GUTIERREZ NOEL E
GUTIERREZ MYRNA M
3370 LAFAYETTE RD #7
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-8
NEVEU CHRISTOPHER PAUL
3370 LAFAYETTE RD UNIT 9
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-9
CERAMI KRISTEN A REV TST OF 2020
CERAMI KRISTEN A TRUSTEE
3370 LAFAYETTE RD #9
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-10
BOGARDUS KIRK W
11 WINTER ST APT 6
FRANKLIN MA 02038

TAX MAP 297 LOT 12A-11
BOURQUE ALICIA K
TIPPING KYLE T
83 SAINT MATTHEW'S DR
BARRINGTON NH 03825

TAX MAP 297 LOT 12A-12
HUBBARD CHARLOTTE
3370 LAFAYETTE RD UNIT 12
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-13
MCCOURT TREVOR
MCCOURT KELSEY A
3370 LAFAYETTE RD UNIT #13
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-14
MORGAN ROBERT E
3370 LAFAYETTE RD #14
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-15
SHULTZ KEVIN J
3370 LAFAYETTE RD #15
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-16
AIKENS PETER J SR
AIKENS JEAN P
3370 LAFAYETTE RD #16
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-17
FREIERMUTH CONSTANCE K REVO LTV
FREIERMUTH CONSTANCE K TRUSTEE
3370 LAFAYETTE RD UNIT 17
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-18
OURINOES
CARLOS M JR 1/4 INT
POMBO LOREN DAVILA
REVO TRST 05 1/4 INT
75 HIGH ST APT E4
EXETER NH 03833-2928

TAX MAP 297 LOT 12A-19
KALMUTHU MANKANDAN
3370 LAFAYETTE RD #19
PORTSMOUTH NH 03801

TAX MAP 297 LOT 12A-20
MILLER GEORGE R JR REVO TRUST 09
MILLER PATRICIA I REVO TRUST 09
3370 LAFAYETTE RD #20
PORTSMOUTH NH 03801



MAP 293 LOT 6-1
IVILO & EDNA RENZULLO
2959 MUIR RD
YUBA CITY CA 95991
BK 2298 PG 941

TAX MAP 293 LOT 2
CITY OF PORTSMOUTH DPW
PO BOX 628
PORTSMOUTH NH 03801
BK 2660 PG 2419

MAP 292 LOT 221
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
BK 3481 PG 288
PLAN 28133

MAP 292 LOT 246
7 TRACKS REALTY
THOMAS KELLAWAY TRUSTEE
5 LIAMS CT
GREENLAND, NH 03840
BK 4955 PG 308
PLAN 28133

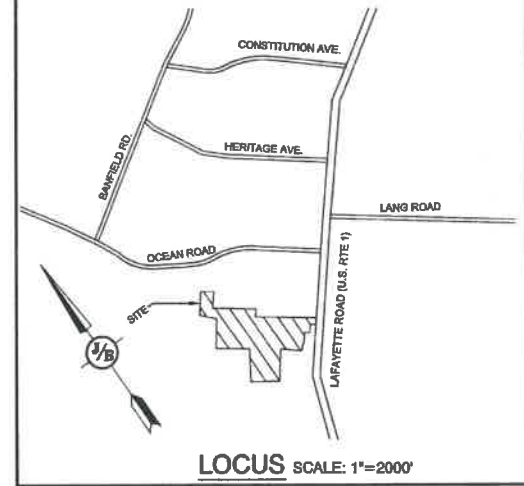
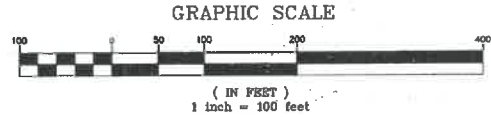
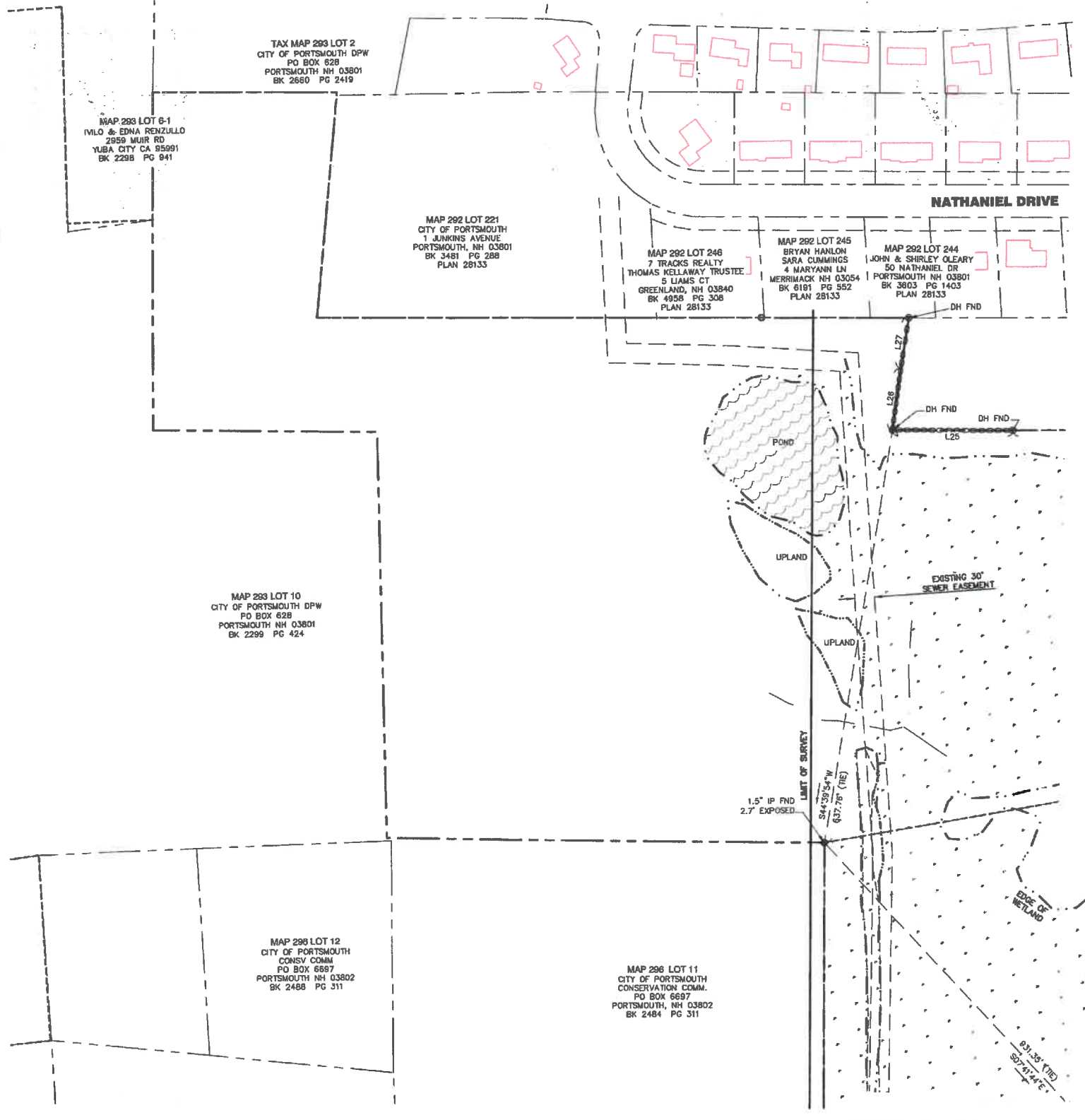
MAP 292 LOT 245
BRYAN HANLON
SARA CUMMINGS
4 MARYANN LN
MERRIMACK NH 03054
BK 6181 PG 582
PLAN 28133

MAP 292 LOT 244
JOHN & SHIRLEY OLEARY
50 NATHANIEL DR
PORTSMOUTH NH 03801
BK 3803 PG 1403
PLAN 28133

MAP 293 LOT 10
CITY OF PORTSMOUTH DPW
PO BOX 628
PORTSMOUTH NH 03801
BK 2299 PG 424

MAP 298 LOT 12
CITY OF PORTSMOUTH
CONSV COMM
PO BOX 6687
PORTSMOUTH NH 03802
BK 2488 PG 311

MAP 296 LOT 11
CITY OF PORTSMOUTH
CONSERVATION COMM.
PO BOX 6697
PORTSMOUTH, NH 03802
BK 2484 PG 311



CERTIFICATION:

PURSUANT TO RSA 678:18-II AND RSA 672:14
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 7/2/21

Design: JAC | Draft: LAZ | Date: 3/3/21
Checked: JAC | Scale: AS SHOWN | Project No.: 20737
Drawing Name: 20737-PLAN.dwg
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| REV. | DATE | REVISION | BY |
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| 7 | 7/20/21 | REVISIONS PER CITY REVIEW | LAZ |
| 6 | 6/22/21 | REVISIONS PER CITY REVIEW | LAZ |
| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |

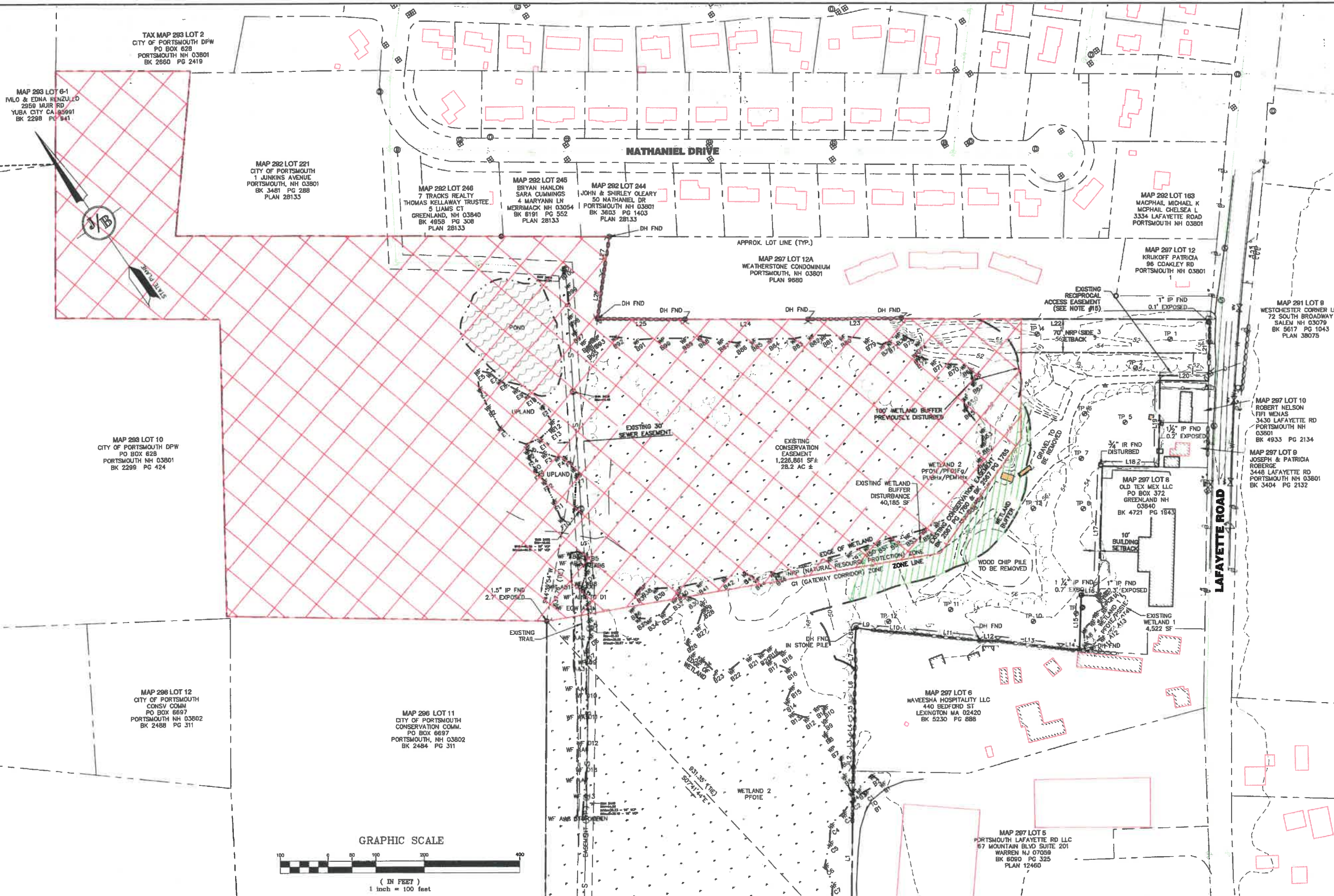
Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **BOUNDARY PLAN**
Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **A2**
SHEET 8 OF 28
JBE PROJECT NO. 20737

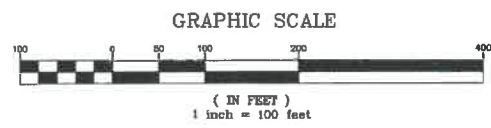
ADDITIONAL ABUTTERS

- TAX MAP 292 LOT 222 FRENCH FAMILY REVOCABLE TRUST OF 1999 FRENCH JAMES H & HEDI B TRUSTEES 9 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 236 HERNANDEZ EMMANUEL HERNANDEZ KAREN 130 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 237 GORONSKI RICHARD C GORONSKI ALICIA K 120 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 223 DIEMER FREDERICK C REVO TRUST DIEMER FREDERICK C TRUSTEE 31 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 224 BARSTOW ERIC T BARSTOW JENNIFER J 41 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 225 LE RYAN NGHEM NGO HELEN 53 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 234 GARDNER JR C WESLEY REVO TRUST GARDNER JR C WESLEY TRUSTEE 150 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 235 YAEGER SUSAN 140 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 238 KARUNAKAREN FAM REV TST O 2021 KARUNAKAREN SUBRAMANIAN TRUSTEE SHANMUKHANTHAN NAGHDEV TRUSTEE 110 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 239 REDDY LAXMINARAYAN N REDDY DHANALAKSHI L 100 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 240 MCCARTHY KAREN A BEAUVAIS AUDRA E 90 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 241 GALLAGHER PAUL J 80 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 242 WERRY WILLIAM A DOWD-WERRY DIANA M 72 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 243 HASSAN KERRI HASSAN COREY 60 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 293 LOT 1 RICHARDSON SCOTT A 35 MARIETTE DR PORTSMOUTH NH 03801
- TAX MAP 293 LOT 3 CAHILL JEROME J CAHILL ERIN G 37 MARIETTE DR PORTSMOUTH NH 03801
- TAX MAP 293 LOTS - 1 DANFORTH FAMILY NOMINEE TRUST DANFORTH RICHARD K TRUSTEE 377 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-2 TRAN THEM T VU MINH D 379 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-3 COUTURIER FAM REV TST OF 2020 COUTURIER MICHAEL & KELLY TRUSTEES 381 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-5 PHAM CUJ BUI TONY 385 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 6 GRAVEL TYLER 409 OCEAN RD PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-1 SEAWARD DANIEL O III 3370 LAFAYETTE RD #1 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-2 LAROCHE NOAH 3370 LAFAYETTE RD UNIT 2 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-3 SALMON CAROLYN M REVO TRUST SALMON CAROLYN M TRUSTEE 3370 LAFAYETTE RD #3 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-4 PERCHENSIS FAM REV TST LEHOUX NEIL M & RAYMOND J ROY TIEES 3370 LAFAYETTE RD UNIT 4 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-5 SLATTERY & DUMONT LLC 66 OLD CONCORD TURNPIKE #10 BARRINGTON NH 03825
- TAX MAP 297 LOT 12A-6 RAMSAY STEVEN J RAMSAY SARAH B 2 INDIAN TR EXETER NH 03833
- TAX MAP 297 LOT 12A-7 GUTIERREZ NOEL E GUTIERREZ MYRNA M 3370 LAFAYETTE RD #7 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-8 NEVEU CHRISTOPHER PAUL 3370 LAFAYETTE RD UNIT 9 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-9 CERAMI KRISTEN A REV TST OF 2020 CERAMI KRISTEN A TRUSTEE 3370 LAFAYETTE RD #9 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-10 BOGARDUS KIRK W 11 WINTER ST APT 6 FRANKLIN MA 02038
- TAX MAP 297 LOT 12A-11 BOURQUE ALICIA K TIPPING KYLE T 83 SAINT MATTHEW'S DR BARRINGTON NH 03825
- TAX MAP 297 LOT 12A-12 HUBBARD CHARLOTTE 3370 LAFAYETTE RD UNIT 12 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-13 MCCOURT TREVOR MCCOURT KELSEY A 3370 LAFAYETTE RD UNIT #13 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-14 MORGAN ROBERT E 3370 LAFAYETTE RD #14 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-15 SHULTZ KEVIN J 3370 LAFAYETTE RD #15 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-16 AIKENS PETER J SR AIKENS JEAN P 3370 LAFAYETTE RD #16 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-17 FRIERMUTH CONSTANCE K REVO LIV FRIERMUTH CONSTANCE K TRUSTEE 3370 LAFAYETTE RD UNIT 17 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-18 QUINONES CARLOS M JR INT POMBO LOREN DAVILA REVO TRST 06 1/2 INT 75 HIGH ST APT E4 EXETER NH 03833-2928
- TAX MAP 297 LOT 12A-19 KALIMUTHU MANIKANDAN 3370 LAFAYETTE RD #19 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-20 MILLER GEORGE R JR REVO TRUST 08 MILLER PATRICIA I REVO TRUST 09 3370 LAFAYETTE RD #20 PORTSMOUTH NH 03801



MAP 298 LOT 10
CITY OF PORTSMOUTH DPW
PO BOX 628
PORTSMOUTH NH 03801
BK 2298 PG 424

MAP 296 LOT 11
CITY OF PORTSMOUTH
CONSERVATION COMM.
PO BOX 6697
PORTSMOUTH, NH 03802
BK 2484 PG 311



Desigr: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS SHOWN Project No.: 20737
Drawing Name: 20737-PLAN.dwg
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| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |
| | | | |

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

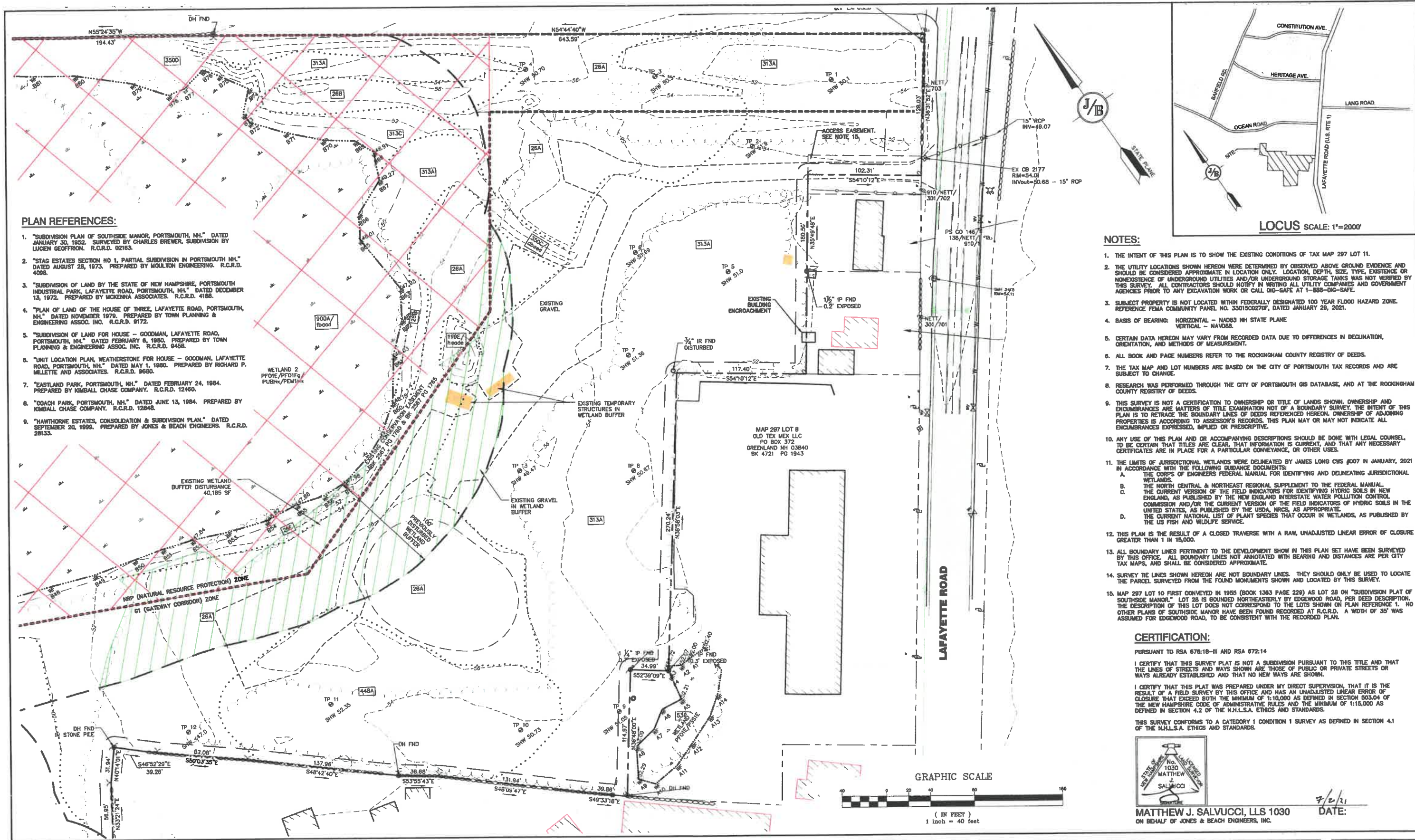
Plan Name: **OVERVIEW EXISTING CONDITIONS PLAN**

Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**

Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **EXOVR**

SHEET 4 OF 26
JBE PROJECT NO. 20737



PLAN REFERENCES:

- "SUBDIVISION PLAN OF SOUTHSIDE MANOR, PORTSMOUTH, NH," DATED JANUARY 30, 1952. SURVEYED BY CHARLES BREWER, SUBDIVISION BY LUCIEN GEOFFRION. R.C.R.D. 02163.
- "STAG ESTATES SECTION NO 1, PARTIAL SUBDIVISION IN PORTSMOUTH NH," DATED AUGUST 28, 1973. PREPARED BY MOUTON ENGINEERING. R.C.R.D. 4028.
- "SUBDIVISION OF LAND BY THE STATE OF NEW HAMPSHIRE, PORTSMOUTH INDUSTRIAL PARK, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED DECEMBER 13, 1972. PREPARED BY MCKENNA ASSOCIATES. R.C.R.D. 4188.
- "PLAN OF LAND OF THE HOUSE OF THREE, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED NOVEMBER 1979. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9172.
- "SUBDIVISION OF LAND FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED FEBRUARY 8, 1980. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9468.
- "UNIT LOCATION PLAN, WEATHERSTONE FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED MAY 1, 1980. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 9680.
- "EASTLAND PARK, PORTSMOUTH, NH," DATED FEBRUARY 24, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12460.
- "COACH PARK, PORTSMOUTH, NH," DATED JUNE 13, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12848.
- "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN," DATED SEPTEMBER 20, 1999. PREPARED BY JONES & BEACH ENGINEERS. R.C.R.D. 28133.

NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 297 LOT 11.
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0270F, DATED JANUARY 29, 2021.
- BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLANE
VERTICAL - NAVD83
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED THROUGH THE CITY OF PORTSMOUTH GIS DATABASE, AND AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESUMPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL. TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JAMES LONG CWS #007 IN JANUARY, 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
A. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
B. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
C. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
D. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
- ALL BOUNDARY LINES PERTINENT TO THE DEVELOPMENT SHOWN IN THIS PLAN SET HAVE BEEN SURVEYED BY THIS OFFICE. ALL BOUNDARY LINES NOT ANNOTATED WITH BEARING AND DISTANCES ARE PER CITY TAX MAPS, AND SHALL BE CONSIDERED APPROXIMATE.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- MAP 297 LOT 10 FIRST CONVEYED IN 1955 (BOOK 1363 PAGE 229) AS LOT 28 ON "SUBDIVISION PLAN OF SOUTHSIDE MANOR." LOT 28 IS BOUNDED NORTHEASTERLY BY EDGEWOOD ROAD, PER DEED DESCRIPTION. THE DESCRIPTION OF THIS LOT DOES NOT CORRESPOND TO THE LOTS SHOWN ON PLAN REFERENCE 1. NO OTHER PLANS OF SOUTHSIDE MANOR HAVE BEEN FOUND RECORDED AT R.C.R.D. A WIDTH OF 35' WAS ASSUMED FOR EDGEWOOD ROAD, TO BE CONSISTENT WITH THE RECORDED PLAN.

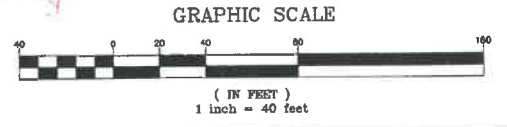
CERTIFICATION:

PURSUANT TO RSA 676:18-III AND RSA 672:14
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I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 7/2/21



| | | |
|---|-----------------|--------------------|
| Design: JAC | Draft: LAZ | Date: 3/3/21 |
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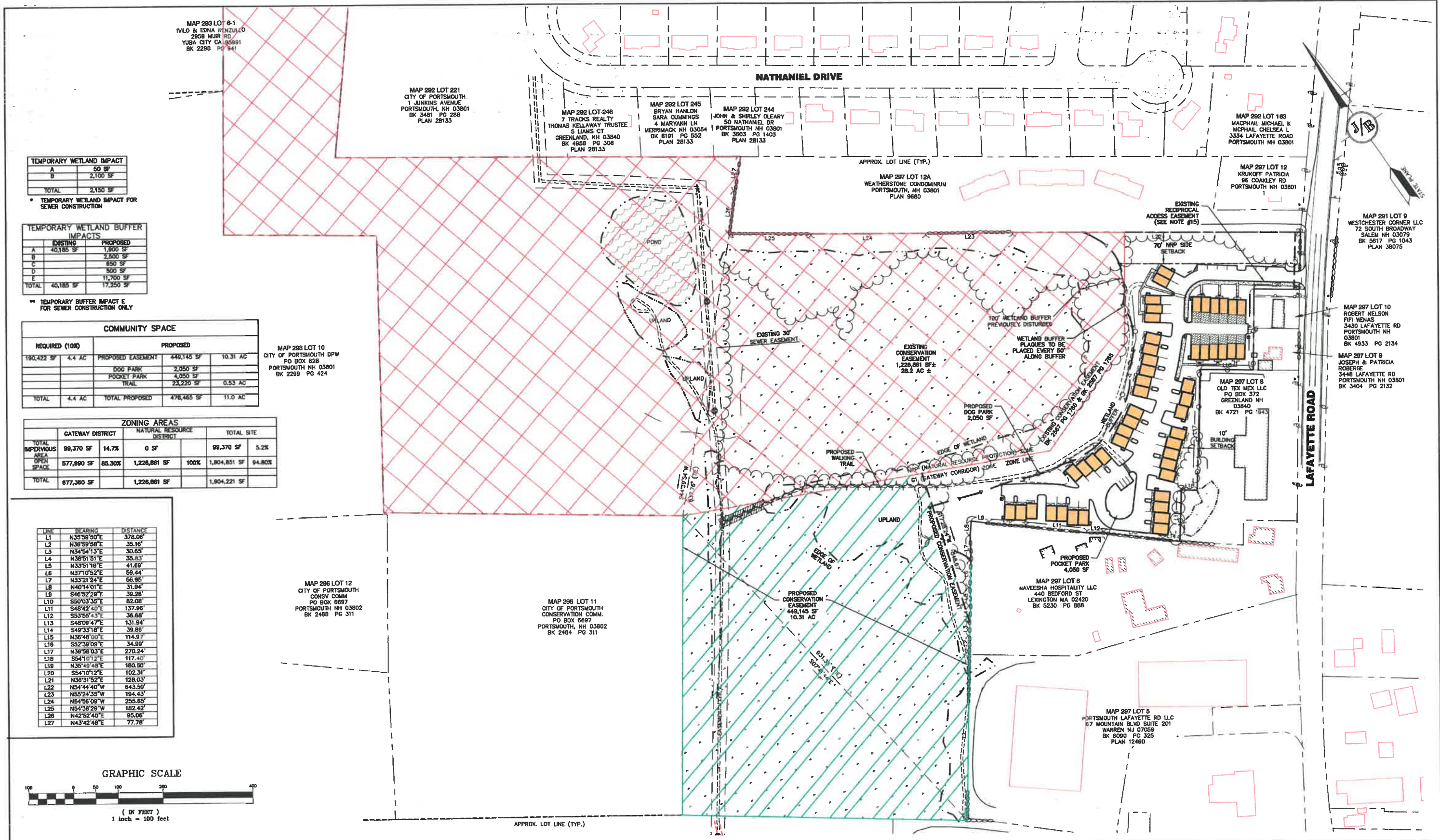
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Civil Engineering Services

603-772-4748
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

| | |
|------------------|---|
| Plan Name: | EXISTING CONDITIONS PLAN |
| Project: | 3400 LAFAYETTE ROAD PORTSMOUTH, NH |
| Owner of Record: | RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229 |

| | |
|---------------|-----------------------|
| DRAWING No. | C1 |
| SHEET 5 OF 28 | JBE PROJECT NO. 20737 |



| TEMPORARY WETLAND IMPACT | |
|--------------------------|----------|
| A | 50 SF |
| B | 2,100 SF |
| TOTAL | 2,150 SF |

• TEMPORARY WETLAND IMPACT FOR SEWER CONSTRUCTION

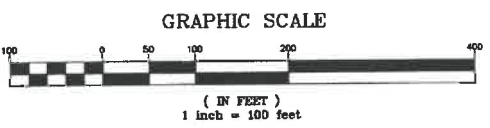
| TEMPORARY WETLAND BUFFER IMPACTS | |
|----------------------------------|-----------|
| EXISTING | PROPOSED |
| A | 1,800 SF |
| B | 2,500 SF |
| C | 650 SF |
| D | 500 SF |
| E | 11,700 SF |
| TOTAL | 17,250 SF |

** TEMPORARY BUFFER IMPACT E FOR SEWER CONSTRUCTION ONLY

| COMMUNITY SPACE | | | |
|-----------------|--------|-------------------|------------|
| REQUIRED (10%) | | PROPOSED | |
| 190,422 SF | 4.4 AC | PROPOSED EASEMENT | 449,145 SF |
| | | DOG PARK | 2,050 SF |
| | | POCKET PARK | 4,050 SF |
| | | TRAIL | 23,220 SF |
| TOTAL | 4.4 AC | TOTAL PROPOSED | 478,465 SF |
| | | | 11.0 AC |

| ZONING AREAS | | | | |
|-----------------------|------------------|--------|---------------------------|------|
| | GATEWAY DISTRICT | | NATURAL RESOURCE DISTRICT | |
| TOTAL IMPERVIOUS AREA | 99,370 SF | 14.7% | 0 SF | 0% |
| OPEN SPACE | 577,990 SF | 85.30% | 1,226,861 SF | 100% |
| TOTAL | 677,360 SF | | 1,226,861 SF | |

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | N35°59'50"E | 378.06' |
| L2 | N36°59'58"E | 35.16' |
| L3 | N34°54'13"E | 30.65' |
| L4 | N38°51'51"E | 35.83' |
| L5 | N33°51'16"E | 41.69' |
| L6 | N37°10'52"E | 59.44' |
| L7 | N33°21'24"E | 56.95' |
| L8 | N40°14'01"E | 31.94' |
| L9 | S46°52'29"E | 39.28' |
| L10 | S50°03'35"E | 82.08' |
| L11 | S48°42'40"E | 137.96' |
| L12 | S53°58'43"E | 36.68' |
| L13 | S48°09'47"E | 131.94' |
| L14 | S49°33'18"E | 39.88' |
| L15 | N36°48'00"E | 114.97' |
| L16 | S52°39'09"E | 34.99' |
| L17 | N36°58'03"E | 270.24' |
| L18 | S54°10'12"E | 117.40' |
| L19 | N35°49'48"E | 180.50' |
| L20 | S54°10'12"E | 102.31' |
| L21 | N38°31'52"E | 128.03' |
| L22 | N54°44'40"W | 643.59' |
| L23 | N55°24'35"W | 194.43' |
| L24 | N54°56'09"W | 256.65' |
| L25 | N54°38'29"W | 182.42' |
| L26 | N42°32'40"E | 95.06' |
| L27 | N43°42'48"E | 77.78' |



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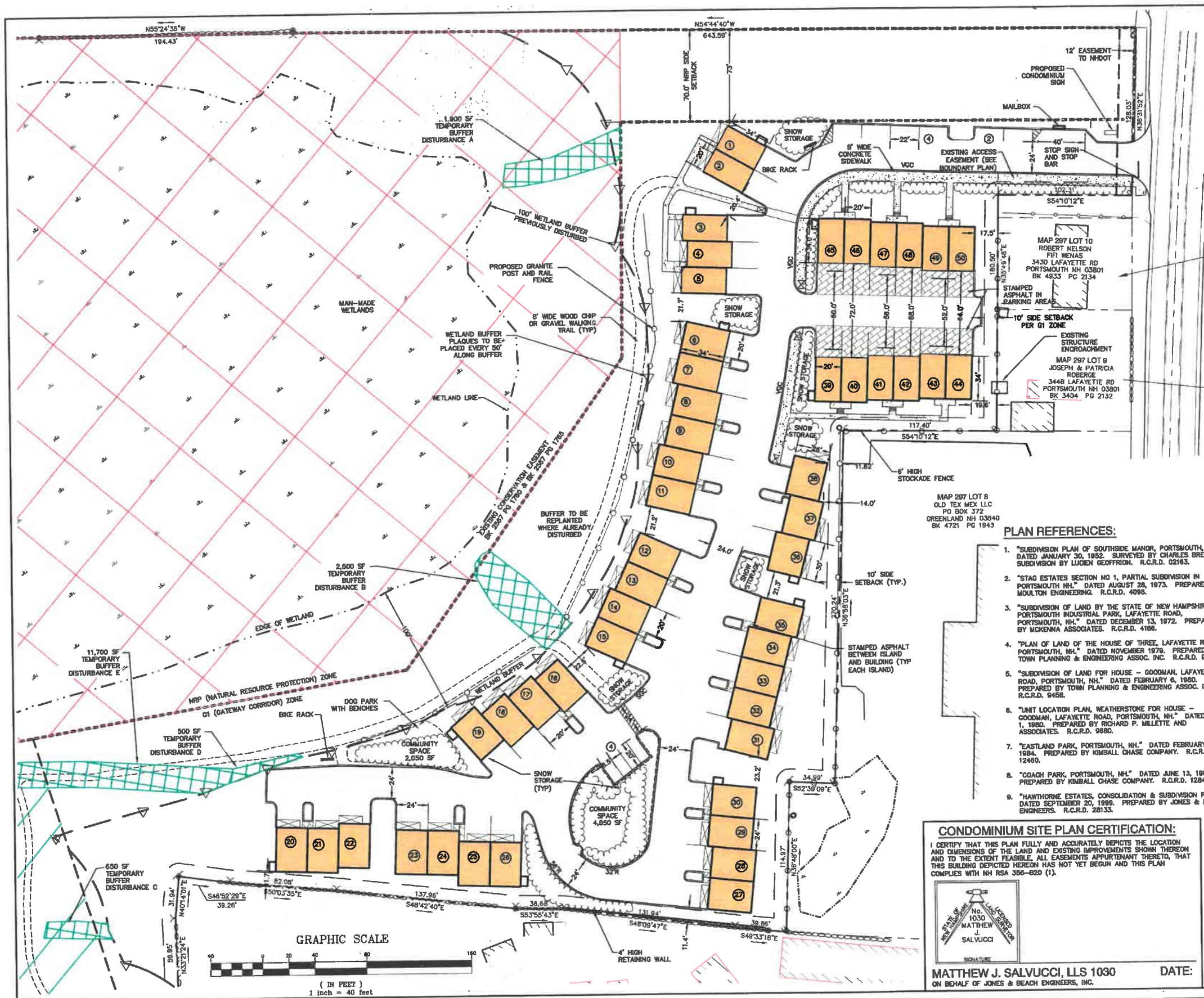


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| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |
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Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave., PO Box 219, Stratham, NH 03885
 603-772-4746 | FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OVERVIEW SITE PLAN**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC.**
 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No. **OVR**
 SHEET 6 OF 26
 JBE PROJECT NO. 20737



SITE NOTES:

- THE INTENT OF THIS PLAN IS SHOW THE SITE LAYOUT FOR A 50-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT ON TAX MAP 287 LOT 11.
- ZONING DISTRICT: GATEWAY CORRIDOR (G1), USE: GATEWAY TOWNHOUSE
 LOT AREA MINIMUM = NO REQUIREMENT FOUND
 LOT FRONTAGE MINIMUM = 100'
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 70' FROM CENTERLINE OF LAFAYETTE ROAD
 SIDE SETBACK = 10'
 REAR SETBACK = 15'
 NETLAND SETBACK = 100'
 MAX. BUILDING HEIGHT = 35'
 AREA OF LOT WITHIN G1 DISTRICT = 677,360 S.F. = 15.55 AC
 MIN. OPEN SPACE = 200'
 OPEN SPACE PROPOSED WITHIN G1 DISTRICT = 577,990 S.F. = 85.3% ±
 MAX. BUILDING COVERAGE = 500'
 BUILDING COVERAGE PROPOSED WITHIN G1 DISTRICT = 38,168 S.F. = 5.6%
 DENSITY ALLOWED = 16 UNITS/ACRE = 18 X 15.55 AC = 248 UNITS ALLOWED
- ZONING DISTRICT: NATURAL RESOURCE PROTECTION (NRP)
 LOT AREA MINIMUM = NO REQUIREMENT
 LOT FRONTAGE MINIMUM = NO REQUIREMENT
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 70'
 SIDE SETBACK = 70'
 REAR SETBACK = 70'
 MAX. BUILDING HEIGHT = 35'
 MAX. BUILDING COVERAGE = NO REQUIREMENT
 AREA OF LOT WITHIN NRP DISTRICT = 1,228,861 S.F. ± = 28.2 AC
 MIN. OPEN SPACE = 65%
 OPEN SPACE PROPOSED = 1,228,861 S.F. = 28.2 AC - 100% WITHIN NRP DISTRICT
- EXISTING CONSERVATION EASEMENT = 28.16 AC = 64.4% OF SITE
 PROPOSED CONSERVATION EASEMENT = 10.3 AC = 23.6% OF SITE
 TOTAL CONSERVATION EASEMENT = 38.5 AC = 88.0% OF SITE
- TOTAL IMPERVIOUS AREA = 99,370 SF = 5.2% OF SITE
 TOTAL DISTURBED AREA = 211,700 SF = 4.8 AC = 11.1% OF SITE
- PARKING CALCULATIONS:
 1.3 SPACES PER UNIT > 750 S.F.
 TOTAL NUMBER OF UNITS = 50, EACH UNIT HAS 2 SPACES IN GARAGE.
 10 OUTDOOR PARKING SPACES PROVIDED.
 TOTAL SPACES REQUIRED = 65, TOTAL SPACES PROVIDED = 110

PLAN REFERENCES:

- "SUBDIVISION PLAN OF SOUTHSIDE MANOR, PORTSMOUTH, NH," DATED JANUARY 30, 1982, SURVEYED BY CHARLES BREWER, SUBDIVISION BY LUCIEN GEORFFROY, R.C.R.D. 02163.
- "STAG ESTATES SECTION NO 1, PARTIAL SUBDIVISION IN PORTSMOUTH NH," DATED AUGUST 28, 1973, PREPARED BY MOULTON ENGINEERING, R.C.R.D. 4088.
- "SUBDIVISION OF LAND BY THE STATE OF NEW HAMPSHIRE, PORTSMOUTH INDUSTRIAL PARK, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED DECEMBER 13, 1972, PREPARED BY MCKENNA ASSOCIATES, R.C.R.D. 4188.
- "PLAN OF LAND OF THE HOUSE OF THREE, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED NOVEMBER 1979, PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9172.
- "SUBDIVISION OF LAND FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED FEBRUARY 6, 1980, PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9458.
- "UNIT LOCATION PLAN, WEATHERSTONE FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED MAY 4, 1980, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, R.C.R.D. 9880.
- "EASTLAND PARK, PORTSMOUTH, NH," DATED FEBRUARY 24, 1984, PREPARED BY KIMBALL CHASE COMPANY, R.C.R.D. 12460.
- "COACH PARK, PORTSMOUTH, NH," DATED JUNE 13, 1984, PREPARED BY KIMBALL CHASE COMPANY, R.C.R.D. 12468.
- "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN," DATED SEPTEMBER 20, 1998, PREPARED BY JONES & BEACH ENGINEERS, R.C.R.D. 28133.

CONDOMINIUM SITE PLAN CERTIFICATION:

I CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE LAND AND EXISTING IMPROVEMENTS SHOWN THEREON AND TO THE EXTENT FEASIBLE, ALL EASEMENTS APPURTENANT THERETO, THAT THIS BUILDING DEPICTED HEREON HAS NOT YET BEGUN AND THIS PLAN COMPLIES WITH NH RSA 356-B(2) (1).



MATTHEW J. SALVUCCI, ILS 1030
 ON BEHALF OF JONES & BEACH ENGINEERS, INC. DATE:

PROJECT PARCEL
 CITY OF PORTSMOUTH
 TAX MAP 287, LOT 11

TOTAL LOT AREA
 1,831,721 SQ. FT. ±
 44.35 ACRES ±

Design: JAC Draft: LAZ Date: 8/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

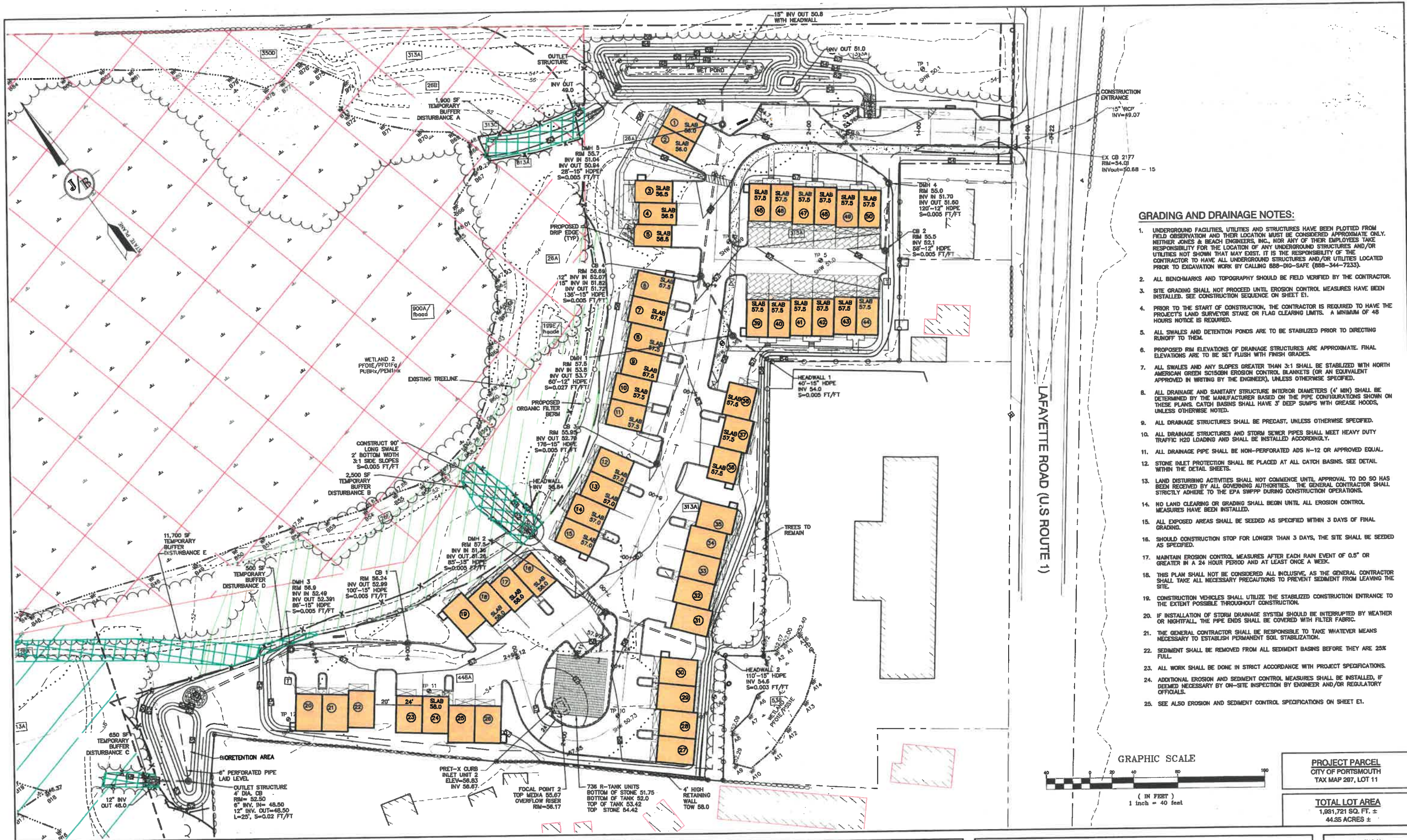


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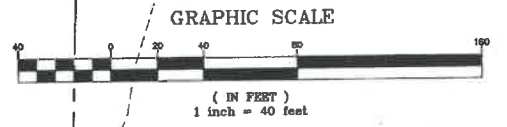
Plan Name: **CONDOMINIUM SITE PLAN**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC.**
 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.
C2
 SHEET 7 OF 28
 JBE PROJECT NO. 20737



- GRADING AND DRAINAGE NOTES:**
- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
 - ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
 - SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
 - ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
 - PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
 - ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN SCISSOR EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
 - ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
 - ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
 - ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
 - ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
 - STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
 - LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
 - NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
 - ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
 - SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
 - MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
 - THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
 - IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
 - SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
 - ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
 - ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
 - SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.

LAFAYETTE ROAD (U.S. ROUTE 1)



PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 287, LOT 11

TOTAL LOT AREA
1,981,721 SQ. FT. ±
44.35 ACRES ±

Design: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS SHOWN Project No.: 20737
Drawing Name: 20737-PLAN.dwg

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85 Portsmouth Ave.
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E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **GRADING AND DRAINAGE PLAN**

Project: **3400 LAFAYETTE ROAD
PORTSMOUTH, NH**

Owner of Record: **RICCI CONSTRUCTION CO., INC.
225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1830 PG 0229**

DRAWING No. **C3**

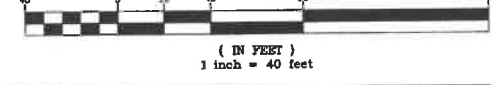
SHEET 8 OF 28
JBE PROJECT NO. 20737



UTILITY NOTES:

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
- THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITIES COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE CITY STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
- INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF SHALL CONSIST OF BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H20 LOADS.
- CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
- SANITARY SEWER FLOW CALCULATIONS:
50 - THREE BEDROOM UNITS @ 150 GPD/BEDROOM =
TOTAL FLOW = 22,500 GPD
- ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
- PROPOSED RM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
- ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
- WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATER MAINS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 800. WATER MAINS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
- DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
- THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
- CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- EXISTING UTILITIES SHALL BE DISASSED BEFORE CONSTRUCTION.
- ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
- ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700, ADOPTED ON 10-15-14.
- ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-B-6. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% OF AVERAGE INSIDE PIPE DIAMETER. A RIGID BALL OR MANHOLE WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
- ENV-WQ 704.17 SEWER MANHOLE TESTING: SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST PRIOR TO BACKFILLING AND PLACEMENT OF SHELVES AND INVERTS.
- SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
- SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
- THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE CITY SEWER DEPARTMENT.
- LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.

GRAPHIC SCALE



Design: JAC Draft: LAZ Date: 3/3/21
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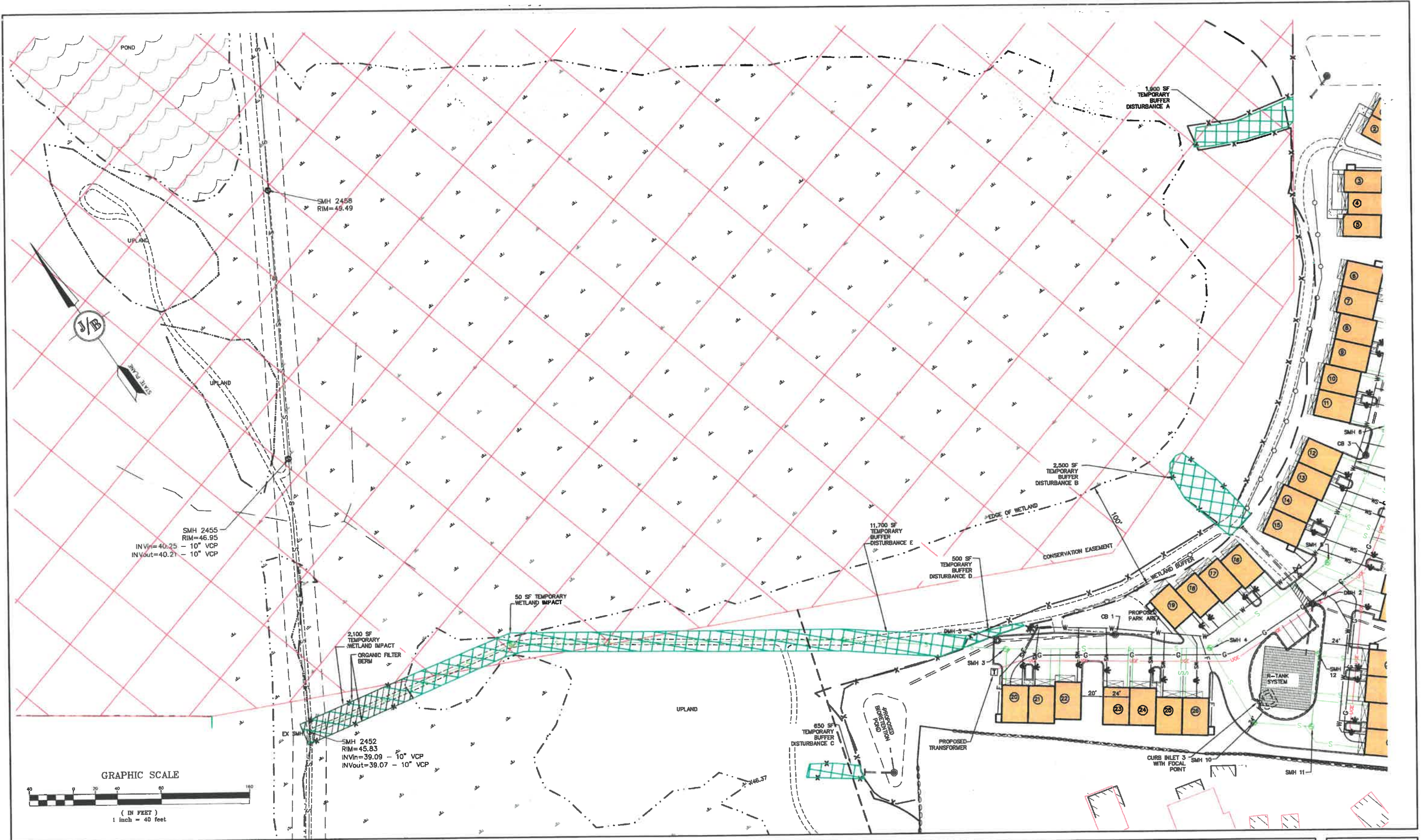
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 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
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Plan Name: **UTILITY PLAN**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **C4**
 SHEET 9 OF 28
 JBE PROJECT NO. 20737



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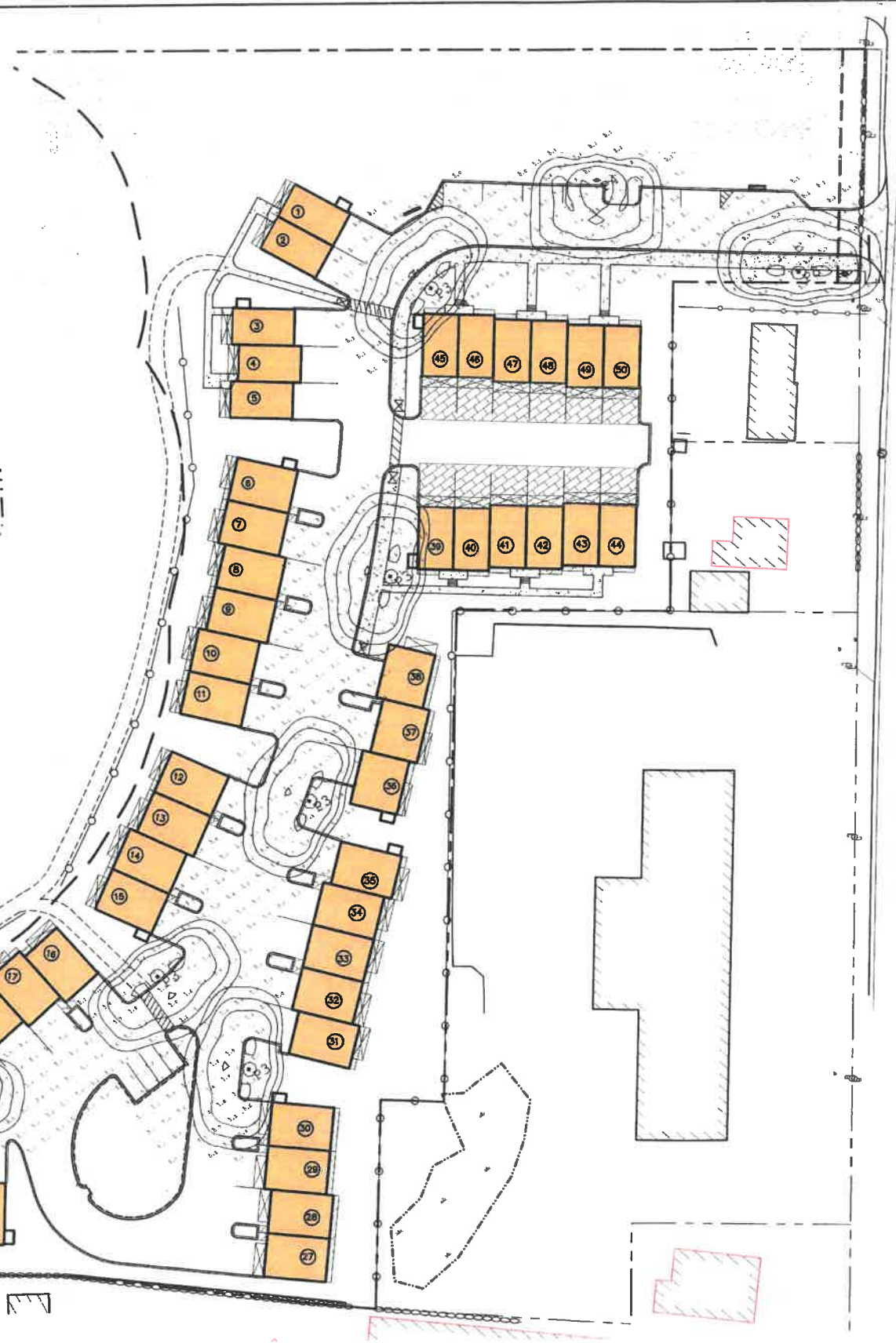
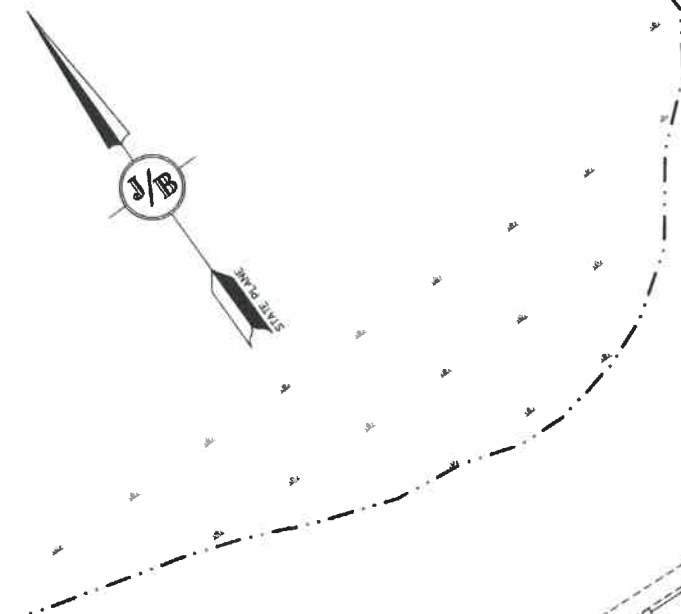
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Plan Name: **UTILITY PLAN**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC.**
 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No. **C5**
 SHEET 10 OF 26
 JBE PROJECT NO. 20737

LIGHTING AND ELECTRICAL NOTES:

- SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
- CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO CITY REGULATIONS.
- ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER CITY REGULATIONS.
- LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
- ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDLES.
- LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
- ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
- THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03106, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL. LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.



DESCRIPTION

The Traditional LED outdoor luminaire displays the old-fashioned charm of traditional area lighting, enhancing any setting with distinctive styling. As a decorative luminaire, the Traditional LED tastefully complements the architectural and environmental design of parks and roadways. The high-lumen downlight configuration uses Cooper Lighting Solutions' patented LightBAR™ technology to deliver uniform and efficient illumination to pedestrian and roadway applications.

SPECIFICATION FEATURES

Construction
Hinged (stainless steel hinge pins) die-cast aluminum housing and cover with cupola. 3G vibration tested to ensure strength of construction and longevity in application.

Optics
Choice of six patented, high-efficiency AccuLED Optic™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT. For the ultimate level of spill

light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2 or SL3 optics.

Electrical
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common - and differential - mode surge protection. LightBARs feature an IP68 enclosure rating and

maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21.

Mounting
Self-aligning pole-top filter for 3" O.D. pole tops or vertical tenons. Square headed 1-1/4" polymer coated mounting bolts with a lock nut.

Finish
Cast components finished in a super durable black TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Optional colors include: bronze, grey and white. RAL and custom color matches available.

Warranty
Five-year warranty.

Streetworks

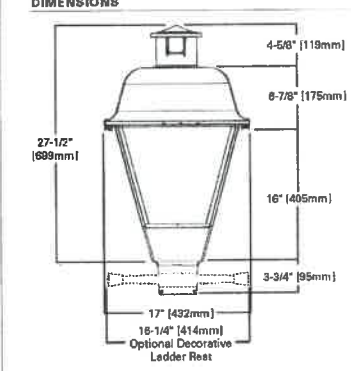
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| Catalog # | Type |
| Project | Date |
| Comments | |
| Prepared by | |



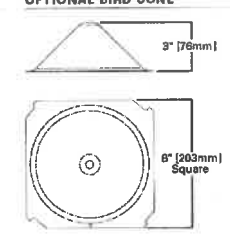
UTLD TRADITIONAIRE LED DOWNLIGHT

1 - 3 LightBARs
Solid State LED
DECORATIVE POST TOP LUMINAIRE

DIMENSIONS



OPTIONAL BIRD CONE



CERTIFICATION DATA

ULcUL Listed
LM78 / LM80 Compliant
3G Vibration Rated
IP68 LightBARs
ISO 9001

ENERGY DATA

Electronic LED Driver
+0.9 Power Factor
-20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

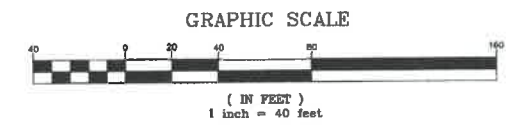
EPA

Effective Projected Area: (Sq. Ft.)
2.3

SHIPPING DATA

Approximate Net Weight:
37 lbs. (17 kgs.)

| Symbol | Qty | Label | Arrangement | Description |
|--------|-----|-------|-------------|---------------------------------------|
| 1 | 24 | SL2 | STANDARD | DRY-5-POD-168-8-0-SL2/ STD ON A 3\"/> |
| 2 | 12 | SL3 | OPTIONAL | DRY-5-POD-168-8-0-SL3/ STD ON A 3\"/> |



| | | |
|---|-----------------|--------------------|
| Design: JAC | Draft: LAZ | Date: 3/3/21 |
| Checked: JAC | Scale: AS SHOWN | Project No.: 20737 |
| Drawing Name: 20737-PLAN.dwg | | |
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|------|---------|---------------------------|-----|
| 7 | 7/20/21 | REVISIONS PER CITY REVIEW | LAZ |
| 6 | 6/22/21 | REVISIONS PER CITY REVIEW | LAZ |
| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |
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| 1 | | | |

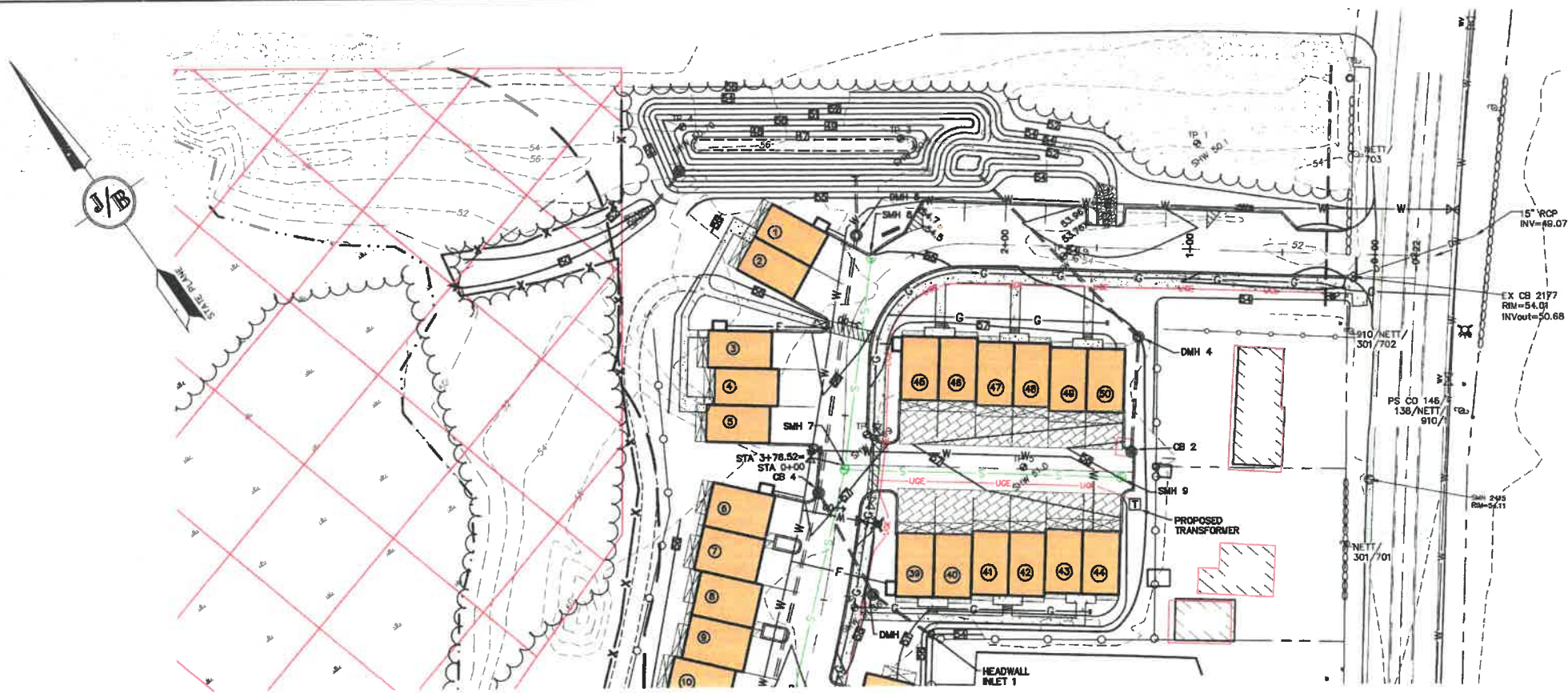
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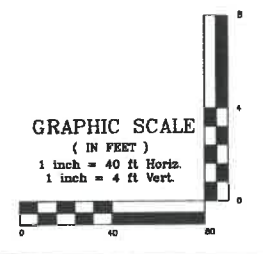
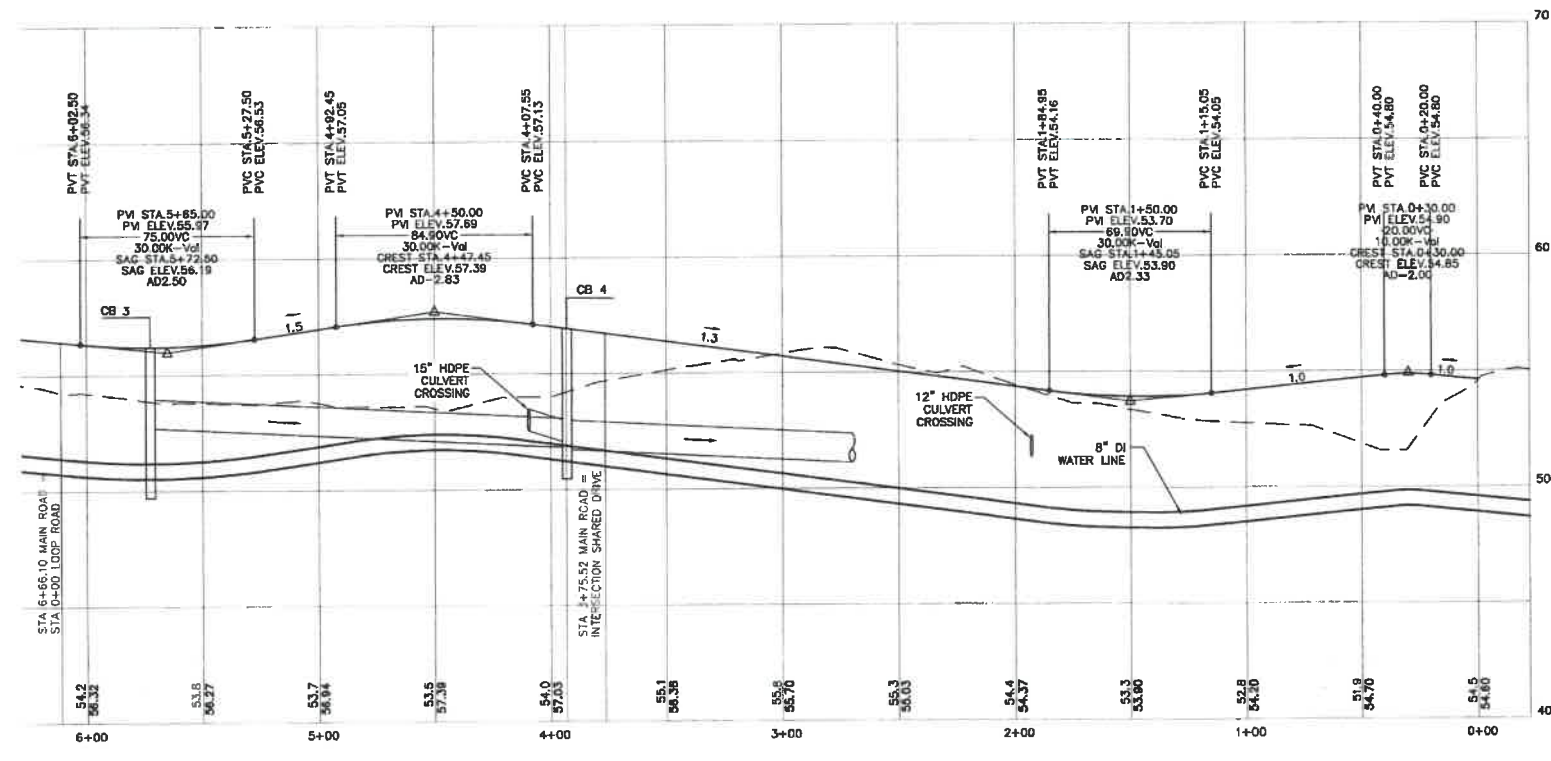
85 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 218 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

| | |
|------------------|---|
| Plan Name: | LIGHTING PLAN |
| Project: | 3400 LAFAYETTE ROAD PORTSMOUTH, NH |
| Owner of Record: | RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0228 |

| | |
|-----------------------|-----------|
| DRAWING No. | L1 |
| SHEET 11 OF 26 | |
| JBE PROJECT NO. 20737 | |



- NOTES:**
- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE CONSTRUCTION SITE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND BE MADE ACCESSIBLE TO THE PUBLIC. THE CONSTRUCTION SITE OPERATOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA REGIONAL OFFICE SEVEN DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. EPA WILL POST THE NOI AT [HTTP://CFPUB.EPA.GOV/NPDES/STORMWATER/AND/NOTICEOFINTENT.CFM](http://cfpub.epa.gov/npdes/stormwater/and/noticeofintent.cfm). AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE" STATUS ON THIS WEBSITE. A COMPLETED NOTICE OF TERMINATION SHALL BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR
 - ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. PROVIDE DPW WITH A COPY OF THE NOTICE OF TERMINATION (NOT).
 - ALL ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE CITY, AND NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
 - AS-BUILT PLANS TO BE SUBMITTED TO THE CITY PRIOR TO ACCEPTANCE OF THE ROADWAY.
 - DEVELOPER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 - CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION AND/OR INSTALLATION OF ELECTRIC, CATV, TELEPHONE, AND FIRE ALARM PER UTILITY DESIGN AND STANDARDS. LOCATIONS SHOWN ARE APPROXIMATE. LOW PROFILE STRUCTURES SHALL BE USED TO THE GREATEST EXTENT POSSIBLE.
 - THIS PLAN HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 - SILTATION AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN UNTIL SITE HAS BEEN STABILIZED WITH PERMANENT VEGETATION. SEE DETAIL SHEET E1 FOR ADDITIONAL NOTES ON EROSION CONTROL.
 - ALL DISTURBED AREAS NOT STABILIZED BY NOVEMBER 1st SHALL BE COVERED WITH AN EROSION CONTROL BLANKET. PRODUCT TO BE SPECIFIED BY THE ENGINEER.
 - FINAL DRAINAGE, GRADING AND EROSION PROTECTION MEASURES SHALL CONFORM TO REGULATIONS OF THE PUBLIC WORKS DEPARTMENT.
 - CONTRACTOR TO VERIFY EXISTING UTILITIES AND TO NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
 - ROADWAY INTERSECTIONS WITH SLOPE GRANITE CURB SHALL EXTEND AROUND RADIUS WITH 6' STRAIGHT PIECE ALONG TANGENT.
 - 6" PERFORATED ADS UNDER DRAIN PLACEMENT TO BE DETERMINED BY THE ENGINEER DURING TIME OF SUBGRADE INSPECTION. CONTRACTOR TO ADJUST LOCATION IN THE FIELD ONLY WITH PRIOR APPROVAL OF PROJECT ENGINEER OR PUBLIC WORKS DEPARTMENT. CONTRACTOR TO INCLUDE 3000 LF IN BID PRICE.
 - ALL DRIVEWAYS TO BE CONSTRUCTED MAXIMUM 10% SLOPE. SEE DETAIL SHEET.
 - ENGINEER TO INSTALL PERMANENT BENCHMARK (REINFORCED GRANITE MARKER) AT LOCATIONS SHOWN ON PLANS. BENCH MARKS TO BE TIED TO STATE PLANE COORDINATE SYSTEM.
 - DRAINAGE INSPECTION AND MAINTENANCE SCHEDULE: ORGANIC FILTER BERM WILL BE INSPECTED DURING AND AFTER STORM EVENTS TO ENSURE THAT THE BERM STILL HAS INTEGRITY AND IS NOT ALLOWING SEDIMENT TO PASS. SEDIMENT BUILD UP IN SWALES WILL BE REMOVED IF IT IS DEEPER THAN SIX INCHES, AND IS TO BE REMOVED FROM SUMPS BELOW THE INLET OF CULVERTS SEMIANNUALLY, AS WELL AS FROM CATCH BASINS. FOLLOWING MAJOR STORM EVENTS, THE STAGE DISCHARGE OUTLET STRUCTURES ARE TO BE INSPECTED AND ANY DEBRIS REMOVED FROM THE ORIFICE. TRASH TRACK AND EMERGENCY SPILL WAY, INFREQUENTLY, SEDIMENT MAY ALSO HAVE TO BE REMOVED FROM THE SUMP OF THE STRUCTURE.
 - ALL DRAINAGE INFRASTRUCTURE SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO IT.
 - DETENTION PONDS REQUIRE TIMELY MAINTENANCE AND SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT, AS WELL AS FREQUENTLY DURING THE FIRST YEAR OF OPERATION, AND ANNUALLY THEREAFTER, EVERY FIVE YEARS. THE SERVICES OF A PROFESSIONAL ENGINEER SHOULD BE RETAINED TO PERFORM A THOROUGH INSPECTION OF THE DETENTION POND AND ITS INFRASTRUCTURE. ANY DEBRIS AND SEDIMENT ACCUMULATIONS SHOULD BE REMOVED FROM THE OUTLET STRUCTURE(S) AND EMERGENCY SPILLWAY(S) AND DISPOSED OF PROPERLY. DETENTION POND BERMS SHOULD BE MOWED AT LEAST ONCE ANNUALLY SO AS TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION. TREES SHOULD NEVER BE ALLOWED TO GROW ON A DETENTION POND BERM, AS THEY MAY DESTABILIZE THE STRUCTURE AND INCREASE THE POTENTIAL FOR FAILURE. AREAS SHOWING SIGNS OF EROSION OR THIN OR DYING VEGETATION SHOULD BE REPAIRED IMMEDIATELY BY WHATEVER MEANS NECESSARY, WITH THE EXCEPTION OF FERTILIZER. RODENT BORROWS SHOULD BE REPAIRED IMMEDIATELY AND THE ANIMALS SHOULD BE TRAPPED AND RELOCATED IF THE PROBLEM PERSISTS.
 - THE DETENTION PONDS ARE TO BE CONSTRUCTED PRIMARILY THROUGH EXCAVATION. IN THOSE AREAS WHERE THE BERMS MUST BE CONSTRUCTED BY THE PLACEMENT OF FILL, THE ENTIRE EMBANKMENT AREA OF THE DETENTION PONDS SHALL BE EXCAVATED TO PROPOSED GRADE, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 95% AND SCARIFIED PRIOR TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. IN THE EVENT THE FOUNDATION MATERIAL EXPOSED DOES NOT ALLOW THE SPECIFIED COMPACTION AN ADDITIONAL ONE FOOT (1') OF EXCAVATION AND THE PLACEMENT OF A ONE FOOT (1') THICK, TWELVE FOOT (12') WIDE PAD OF THE MATERIAL DESCRIBED IN THE NOTE BELOW, COMPACTED TO 95% OF ASTM D-1557 MAY BE NECESSARY. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED WITHIN FOR ANY REASON.
 - EMBANKMENT MATERIAL FOR THE BERMS SHALL BE CLEAN MINERAL SOIL WITH A CLAY COMPONENT FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER FOUR INCHES (4") IN DIAMETER. THIS MATERIAL SHOULD BE INSTALLED IN 6" LIFTS AND COMPACTED TO 95% OS ASTM D-1557, AND SHOULD MEET THE FOLLOWING SPECIFICATIONS: #2 PASSING 100%, #4 SIEVE 25-70%, #200 SIEVE 10-25% (IN TOTAL SAMPLE).
 - EMBANKMENT IS TO HAVE 3:1 SIDE SLOPES (MAX.) AND IS TO BE BROUGHT TO SPECIFIED GRADES PRIOR TO THE ADDITION OF LOAM (4" MINIMUM) SO AS TO ALLOW FOR THE COMPACTION OF THE STRUCTURE OVER TIME WHILE MAINTAINING THE PROPER BERM ELEVATION.
 - COMPACTION TESTING SERVICES (I.E. NUCLEAR DENSITY TESTS) ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR FOR ROADWAY CONSTRUCTION, AND ON THE FOUNDATION OF THE BERM AND ON EVERY LIFT OF NEWLY PLACED MATERIAL.
 - ORNAMENTAL STREET LIGHTING SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE HOME OWNER'S ASSOCIATION. LIGHTING SHALL NOT BE OWNED OR MAINTAINED BY THE CITY.
 - SLOPED GRANITE CURB TO BE TIPPED DOWN AT ALL DRIVEWAY ENTRANCES BY THE CONTRACTOR. ALL DRIVEWAY LOCATIONS SHALL BE REVIEWED AND APPROVED BY PUBLIC WORKS PRIOR TO ISSUANCE OF BUILDING PERMIT.



Design: JAC Draft: LAZ Date: 3/3/21
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 Drawing Name: 20737-PLAN.dwg
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| 7 | 7/20/21 | REVISIONS PER CITY REVIEW | LAZ |
| 6 | 6/22/21 | REVISIONS PER CITY REVIEW | LAZ |
| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/16/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |
| REV. | DATE | REVISION | BY |

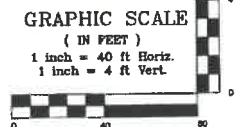
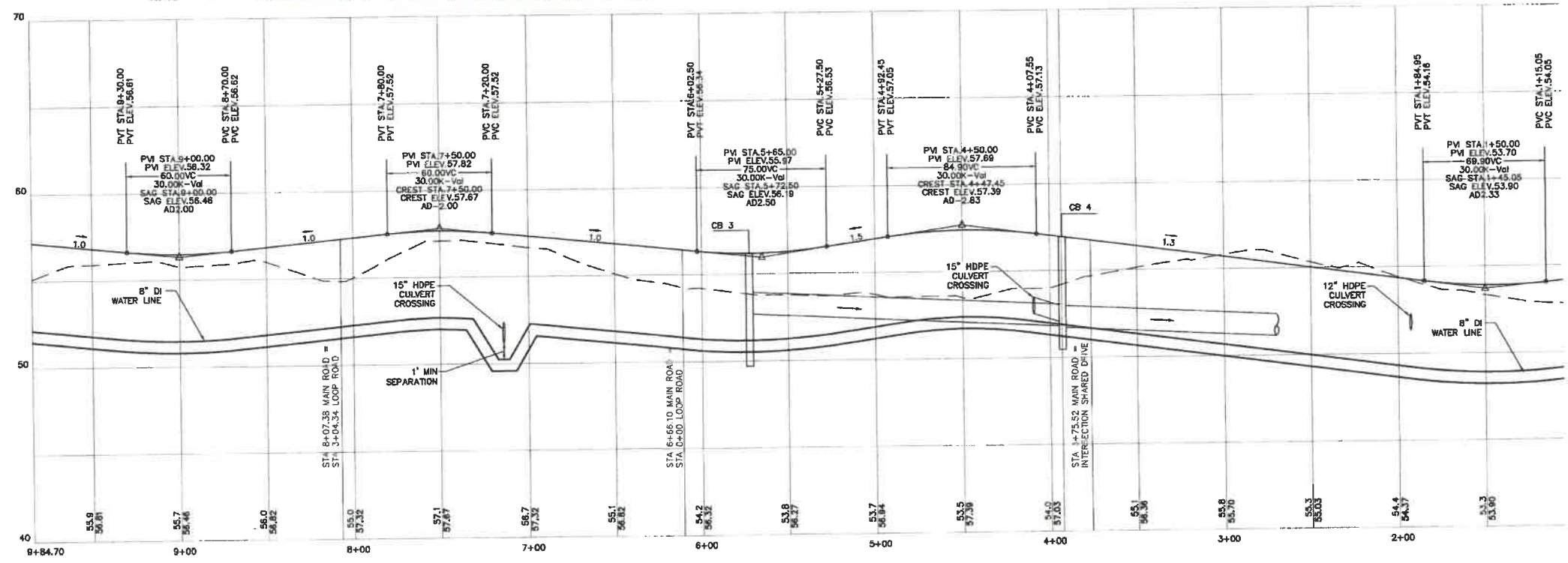
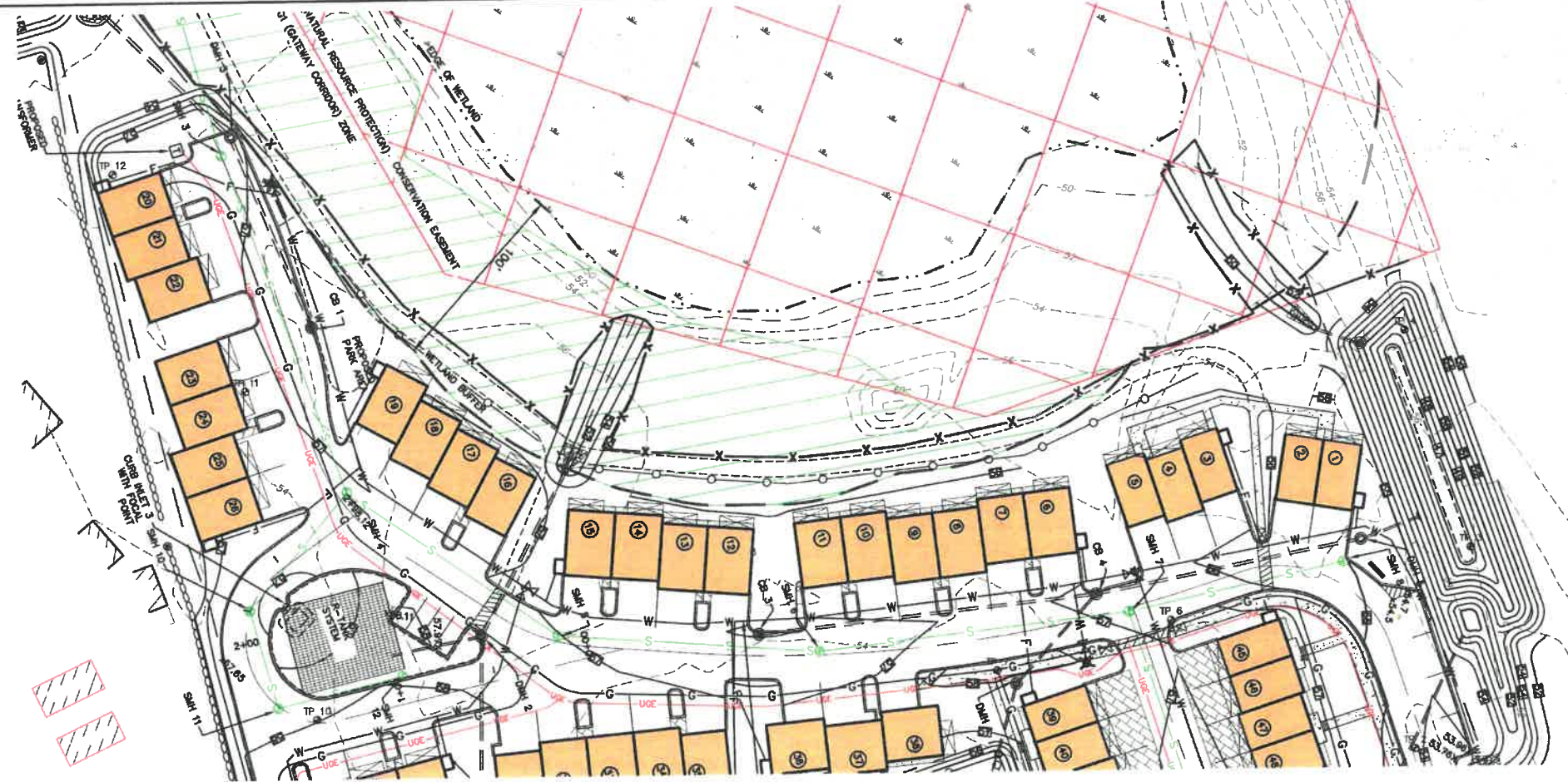
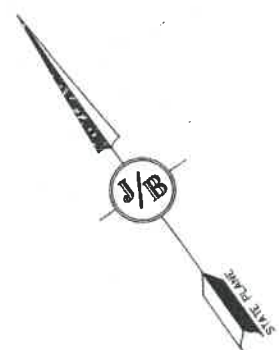
Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

| | |
|------------------|---|
| Plan Name: | PLAN AND PROFILE |
| Project: | 3400 LAFAYETTE ROAD PORTSMOUTH, NH |
| Owner of Record: | RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229 |

DRAWING No. **P1**
 SHEET 12 OF 26
 JBE PROJECT NO. 20737



Design: JAC Draft: LAZ Date: 3/3/21
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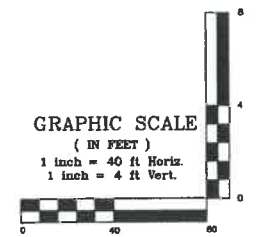
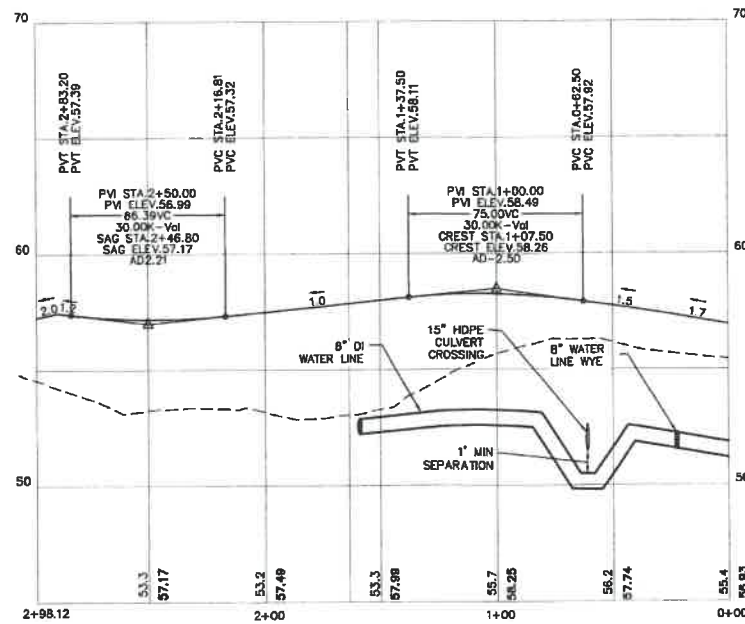
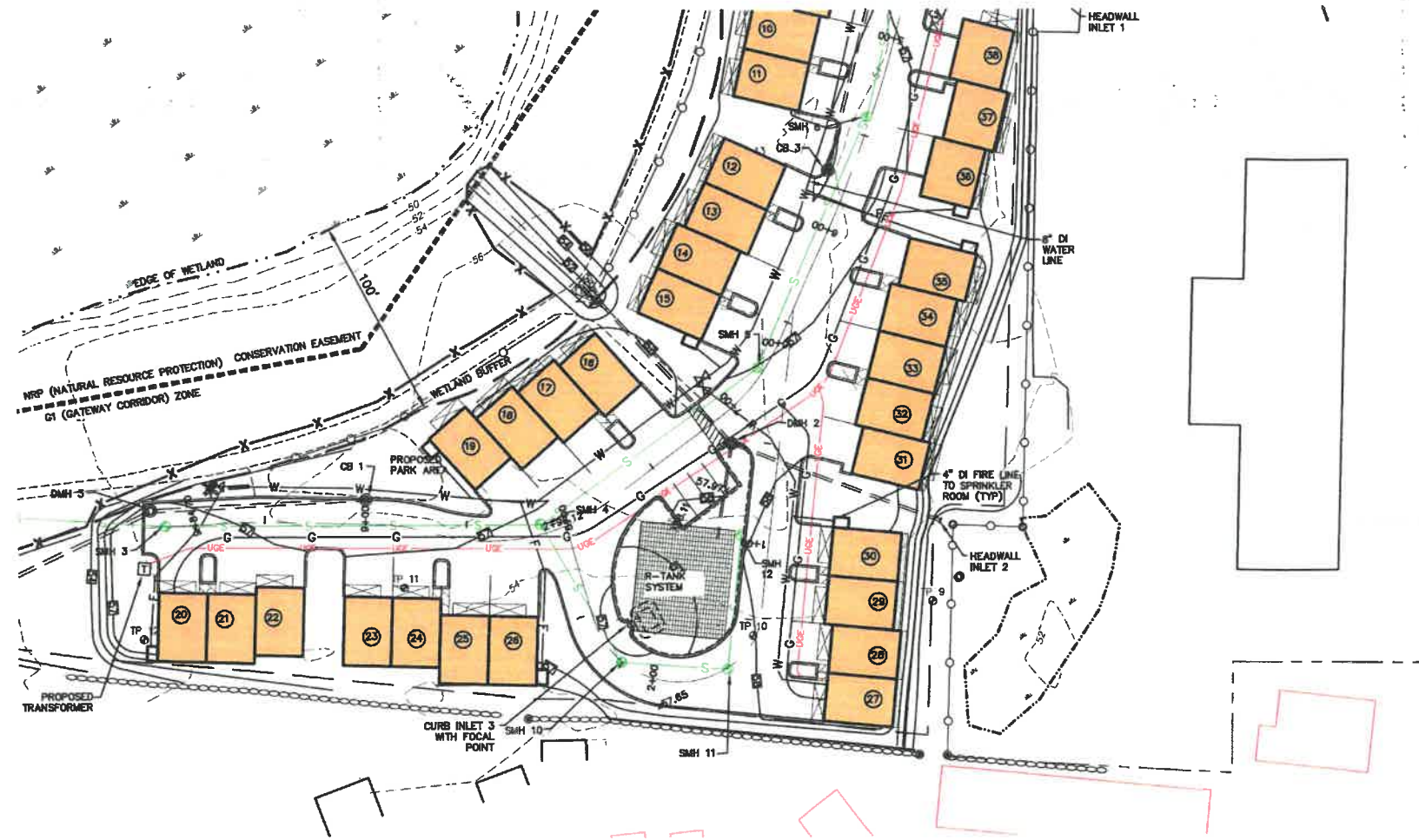
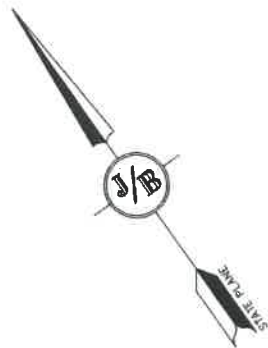


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| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |

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Plan Name: **PLAN AND PROFILE**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **P2**
 SHEET 18 OF 28
 JBE PROJECT NO. 20737



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| Checked: JAC | Scale: AS SHOWN | Project No.: 20737 |
| Drawing Name: 20737-PLAN.dwg | | |
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| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |

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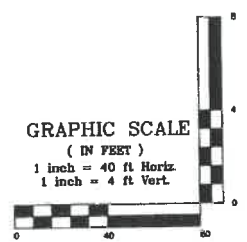
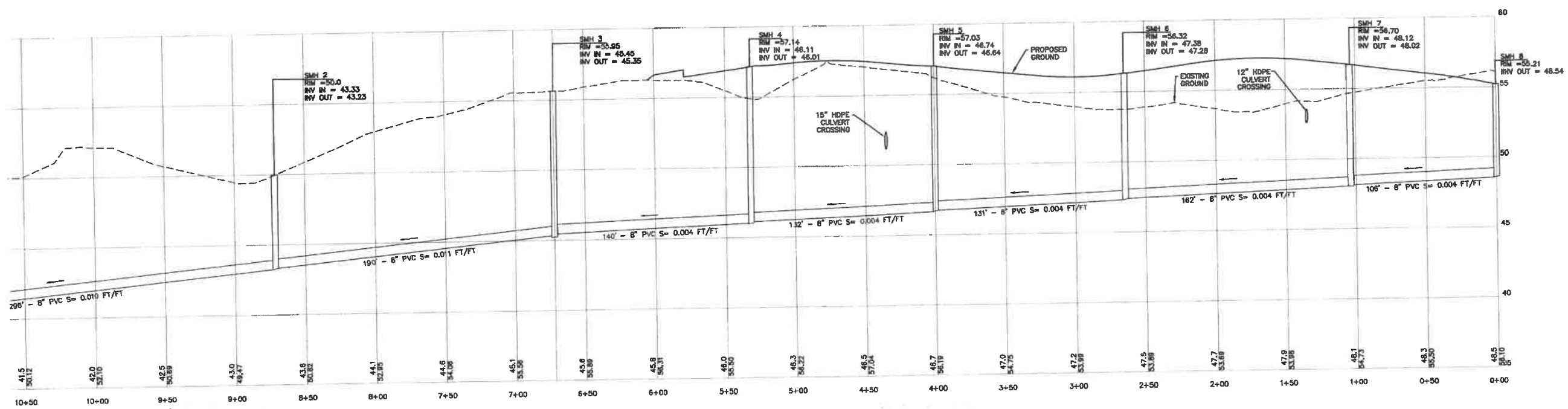
J/B Jones & Beach Engineers, Inc.

Civil Engineering Services

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 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

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| Plan Name: | PLAN AND PROFILE |
| Project: | 3400 LAFAYETTE ROAD PORTSMOUTH, NH |
| Owner of Record: | RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229 |

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| DRAWING No. | P3 |
| SHEET 14 OF 26 | |
| JBE PROJECT NO. 20737 | |



Design: JAC Draft: LAZ Date: 9/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
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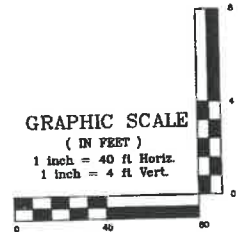
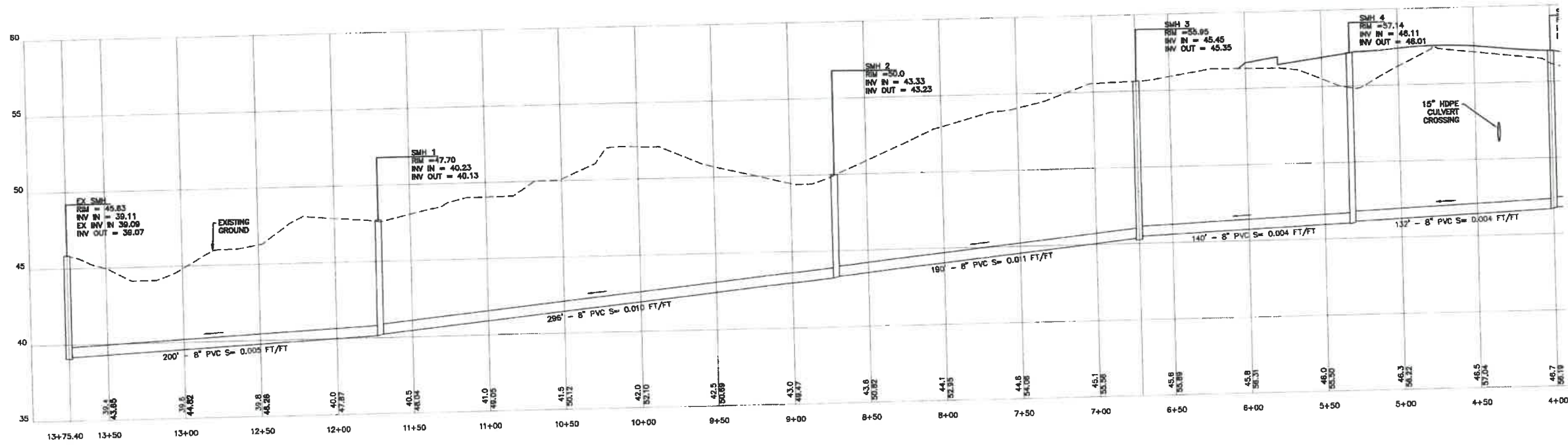
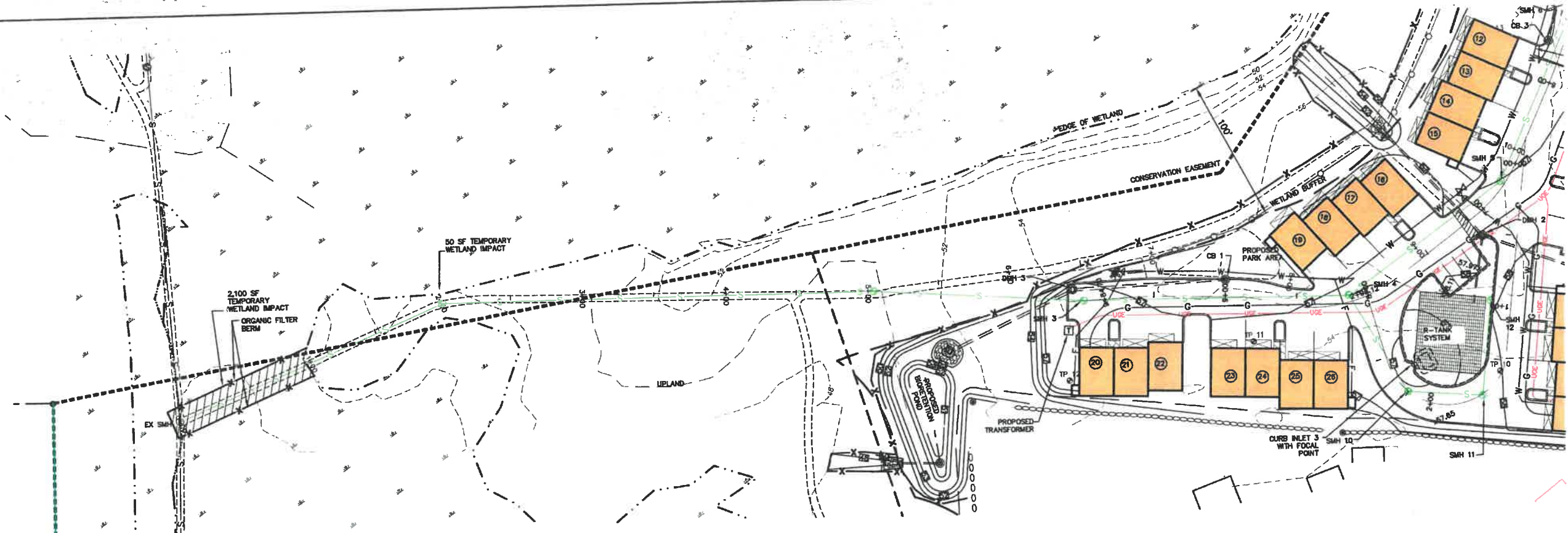


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| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |
| REV. | DATE | REVISION | BY |

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SEWER PROFILE**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **P4**
 SHEET 15 OF 26
 JBE PROJECT NO. 20737



Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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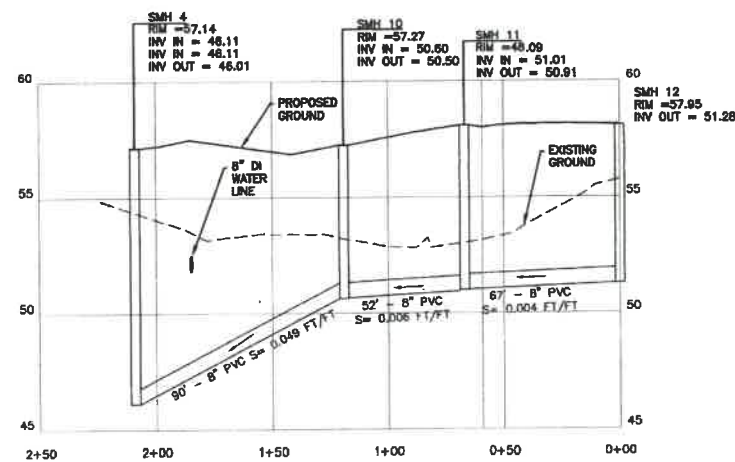
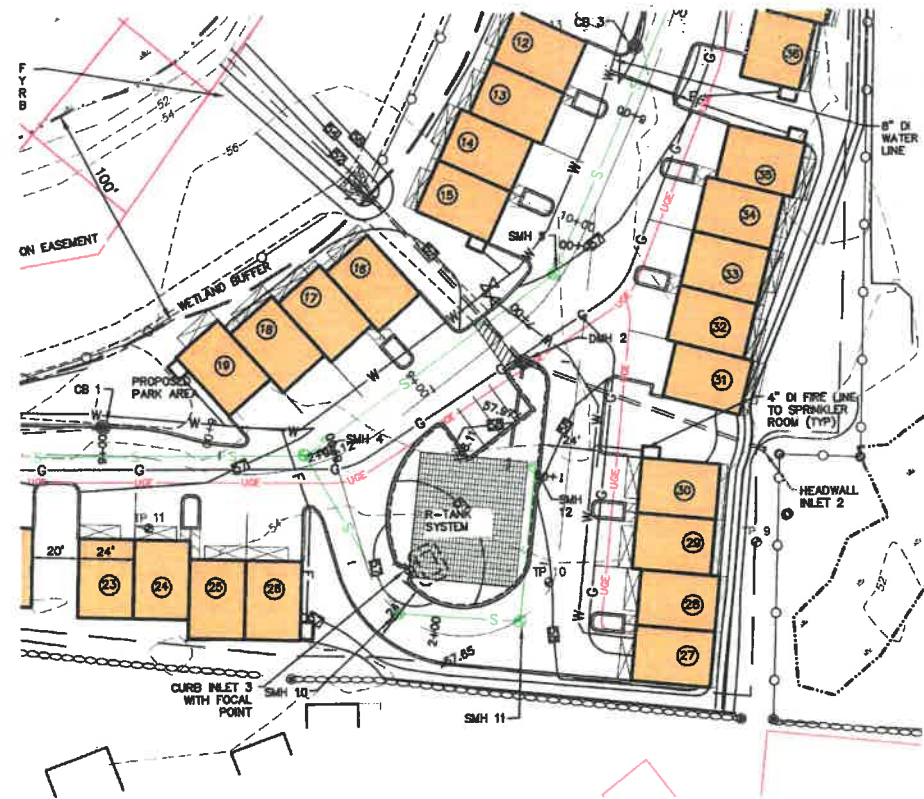


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| 7 | 7/20/21 | REVISIONS PER CITY REVIEW | LAZ |
| 6 | 6/22/21 | REVISIONS PER CITY REVIEW | LAZ |
| 5 | 5/5/21 | REVISIONS | LAZ |
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| | | REVISION | |

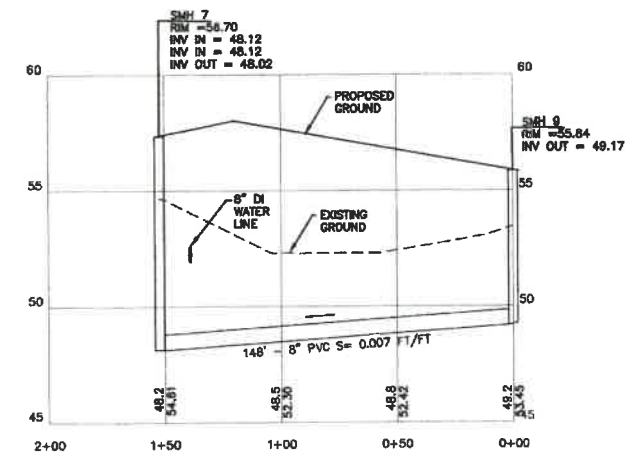
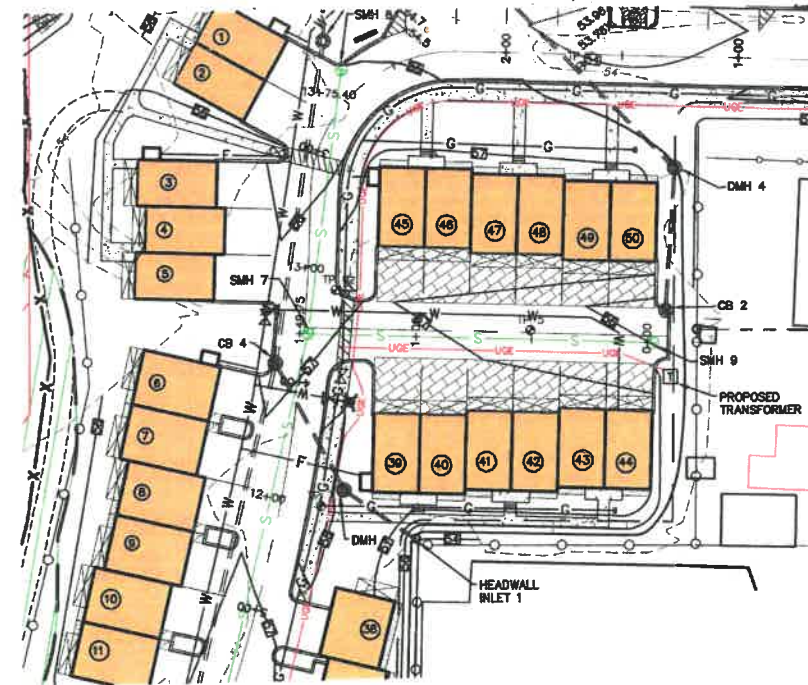
Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SEWER PROFILE**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **P5**
 SHEET 16 OF 26
 JBE PROJECT NO. 20737

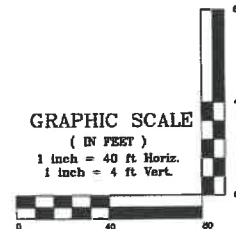


LOOP ROAD



SHARED DRIVEWAY

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft Horiz.
1 inch = 4 ft Vert.



Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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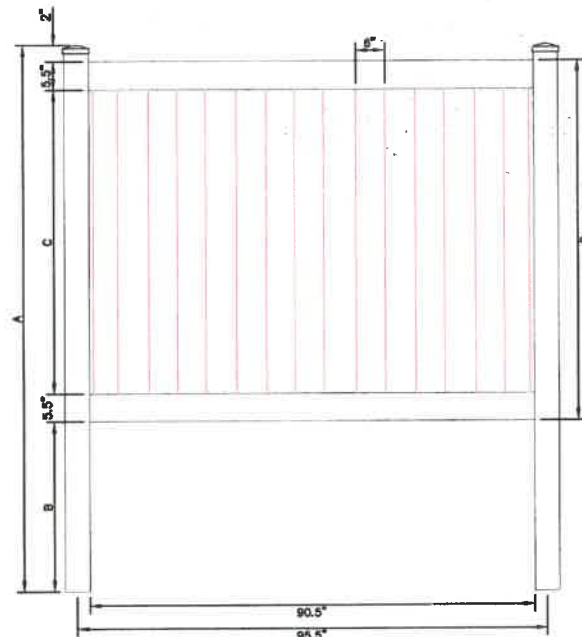


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| 6 | 6/22/21 | REVISIONS PER CITY REVIEW | LAZ |
| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/19/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |
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Plan Name: **SEWER PROFILE**
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DRAWING No.
P5
 SHEET 17 OF 26
 JBE PROJECT NO. 20737



FRONT ELEVATION

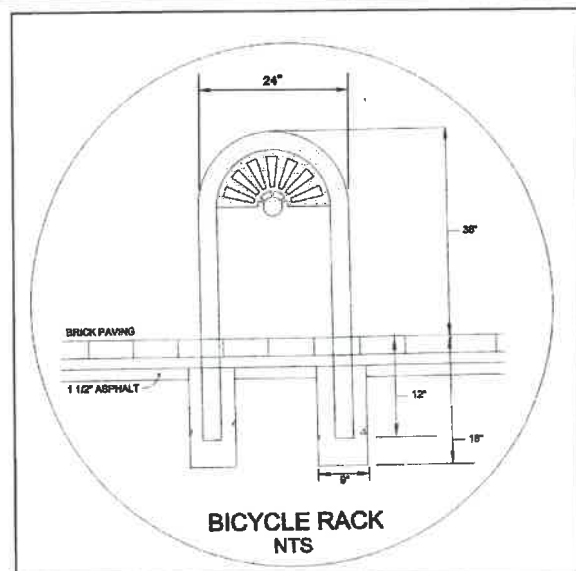
| | A | B | C | D |
|--------------|-------|------|------|------|
| H(FT) INCHES | 3 60 | 3 22 | 3 25 | 3 36 |
| | 4 84 | 4 34 | 4 37 | 4 48 |
| | 5 96 | 5 34 | 5 49 | 5 60 |
| | 6 108 | 6 34 | 6 61 | 6 72 |

NOTES:

1. CONTRACTOR TO PROVIDE FENCE SPEC TO ENGINEER FOR REVIEW PRIOR TO INSTALLATION.
2. VINYL FENCE SHALL MEET ASTM F964-09 STANDARDS.

6' VINYL STOCKADE FENCE

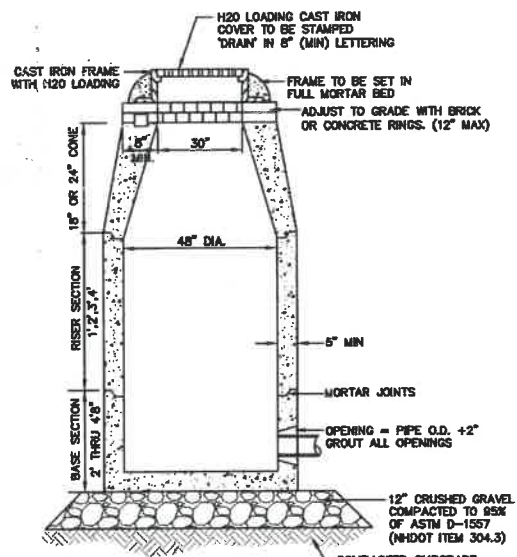
NOT TO SCALE



BICYCLE RACK
NTS

PORTSMOUTH BICYCLE RACK

NOT TO SCALE

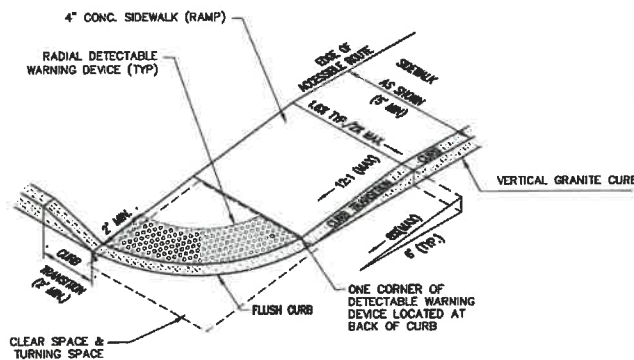


NOTES:

1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE 1 CEMENT.
4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
5. PROVIDE "Y" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
7. ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NHDOT TYPE MH-1, OR NEENAH R-1788 OR APPROVED EQUAL (30" DIA. TYPICAL).
8. STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".

DRAIN MANHOLE

NOT TO SCALE

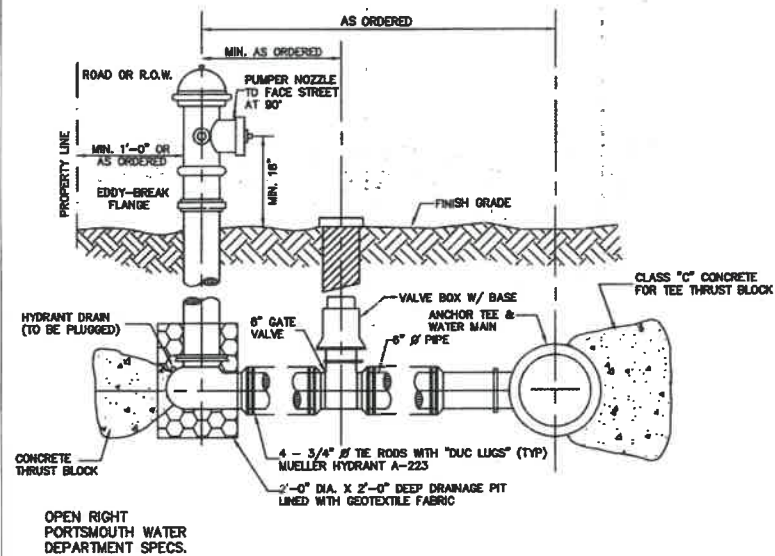


NOTES:

1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1:8X.
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMP SHALL BE 0.3%.
4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.
8. WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED AT THE BASE AND/OR THE TOP OF THE CURB RAMP. TURNING SPACES SHALL BE PERMITTED TO OVERLAP CLEAR SPACES.
9. TURNING SPACE MAXIMUM CROSS SLOPE IS 2% IN ANY DIRECTION.
10. BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4'1/4" MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN CROSSWALK, AND OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. THE CLEAR SPACE MAY OVERLAP TURNING SPACES, DETECTABLE WARNING SURFACES AND DROP CURBS.

ACCESSIBLE CURB RAMP (NHDOT OPTION 3)

NOT TO SCALE

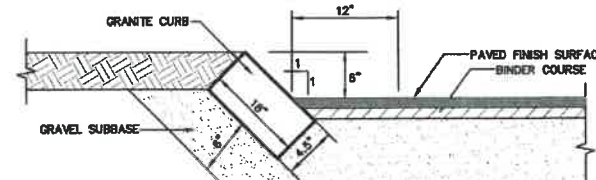


NOTES:

1. ALL PIPE FITTINGS TO BE D.I. PRESSURE CLASS 350, THICKNESS CLASS 52.
2. HYDRANT TO BE PAINTED RED WITH WHITE "REFLECTOR" PAINT ON BONNET.
3. MECHANICAL JOINTS SHALL HAVE MEGALUG RETAINING GLANDS AS MADE BY EBBA OR APPROVED EQUAL.
4. STEAMER NOZZLE TO BE "STORCH" TYPE.
5. NATIONAL STANDARD THREAD.

HYDRANT INSTALLATION

NOT TO SCALE

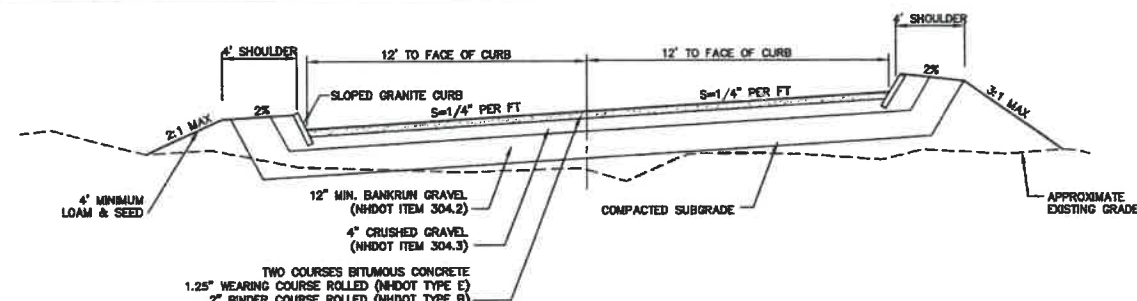


NOTES:

1. CURB TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
2. JOINTS BETWEEN STONES SHALL BE MORTARED.

SLOPE GRANITE CURB

NOT TO SCALE

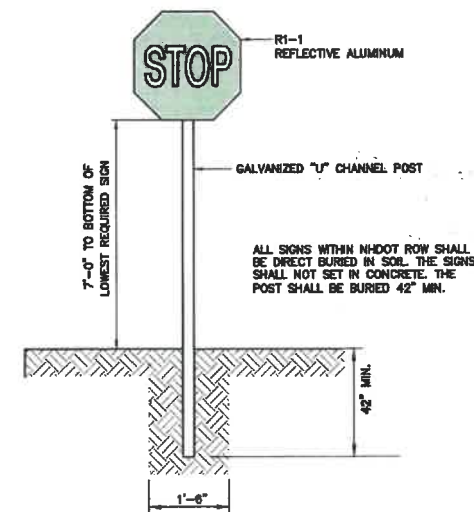


NOTES:

1. REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBGRADE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
2. ALL MATERIALS TO BE AS SPECIFIED PER TOWN STANDARDS AND NHDOT, WHICHEVER IS MOST STRINGENT. GRADATION AND COMPACTION TEST RESULTS (95% MIN.) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
3. TOWN MAY REQUIRE UNDERDRAIN AND/OR ADDITIONAL DRAINAGE IF SOIL CONDITIONS WARRANT.

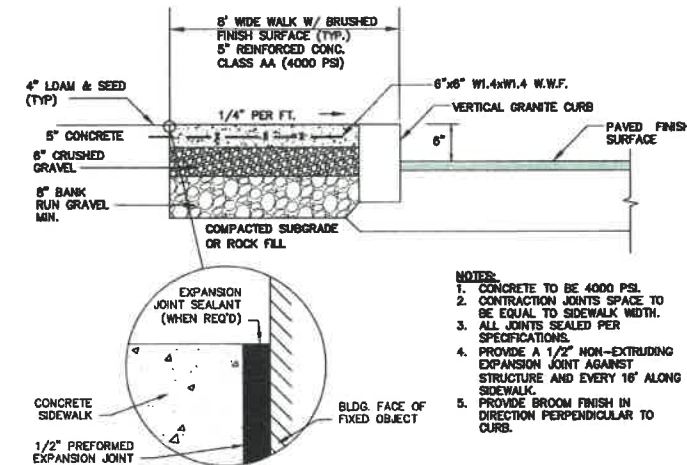
TYPICAL ROADWAY SECTION W/CURBING

NOT TO SCALE



STOP SIGN (R1-1)

NOT TO SCALE



NOTES:

1. CONCRETE TO BE 4000 PSI.
2. CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH.
3. ALL JOINTS SEALED PER SPECIFICATIONS.
4. PROVIDE A 1/2" NON-EXTRUDING EXPANSION JOINT SEALANT AGAINST STRUCTURE AND EVERY 16' ALONG SIDEWALK.
5. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

CONCRETE SIDEWALK W/ VERTICAL GRANITE CURB

NOT TO SCALE

Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS NOTED Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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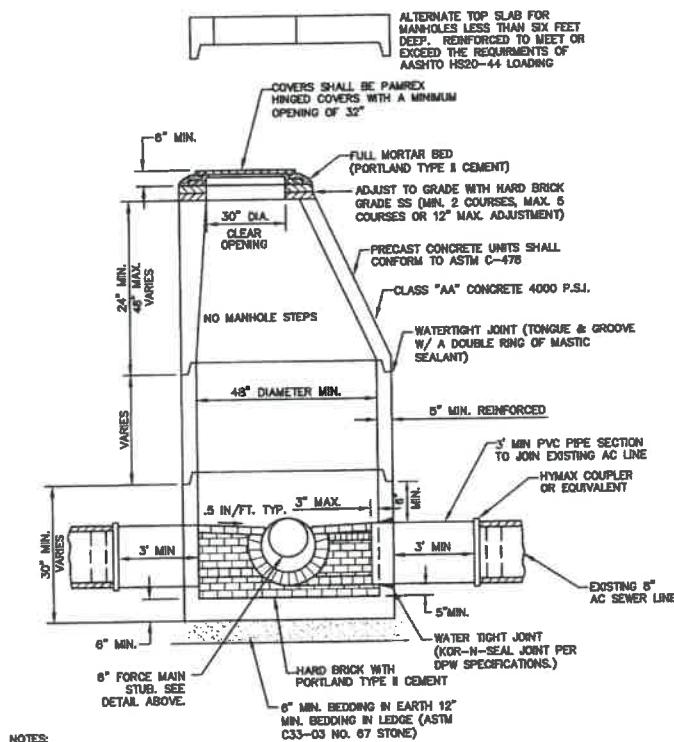
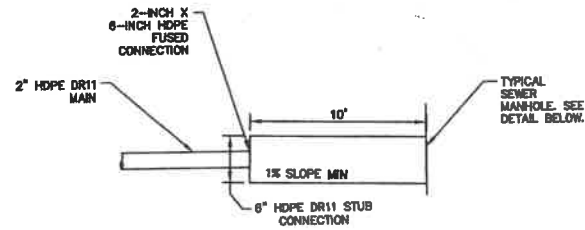


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| 6 | 6/22/21 | REVISIONS PER CITY REVIEW | LAZ |
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| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |
| REV. | DATE | REVISION | BY |

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Plan Name: **DETAIL SHEET**
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 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1830 PG 0229**

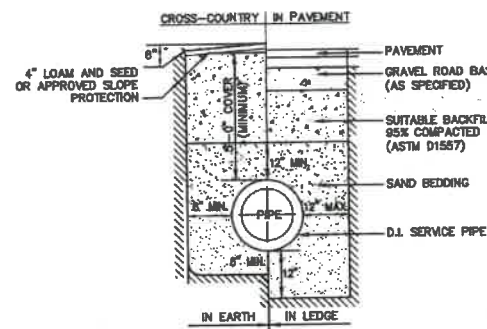
DRAWING No. **D1**
 SHEET 18 OF 28
 JBE PROJECT NO. 20737



- NOTES:**
- PER NHDES ENV-WQ 704.13(C), THE MORTAR SPECIFICATION SHALL BE AS FOLLOWS:
1. MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION;
2. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:
A. 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
B. 4.5 PARTS SAND, ONE PART CEMENT AND 0.5 PART HYDRATED LIME;
3. CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05;
4. HYDRATED LIME SHALL BE TYPE S CONFORMING TO THE ASTM C207-06 STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES;
5. SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO THE ASTM C33-03 STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES;
 - SHelves SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL IN ACCORDANCE WITH ENV-WQ 704.12 (K).
 - ALL MANHOLES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH ENV-WQ 704.17 (c) THROUGH (e).
 - SEWER MANHOLE COVERS SHALL CONFORM TO ASTM A48 WITH A CASTING EQUAL TO CLASS 30 IN ACCORDANCE WITH ENV-WQ 704.13 (c).
 - ALL ASBESTOS CONTAINING WASTE MATERIALS MUST BE PROPERLY IDENTIFIED, PACKAGED AND DELIVERED TO A LANDFILL LICENSED BY THE NHDES SOLID WASTE MANAGEMENT PROGRAM FOR DISPOSAL. CALL (603) 271-2925 FOR MORE INFORMATION.
 - PORTSMOUTH STANDARD SEWER MANHOLE SHALL BE USED.
 - CONTRACTOR TO PURCHASE SEWER MANHOLE COVERS FROM THE CITY OF PORTSMOUTH DIRECTLY.
 - MANHOLE BASE SECTIONS SHALL BE MONOLITHIC TO A POINT AT LEAST 6" ABOVE THE HIGHEST INCOMING SEWER PIPE PER ENV-WQ 704.12 (e).
 - MANHOLE CASTINGS SHALL CONFORM TO ASTM A48 PER ENV-WQ 704.13 (c) (8).

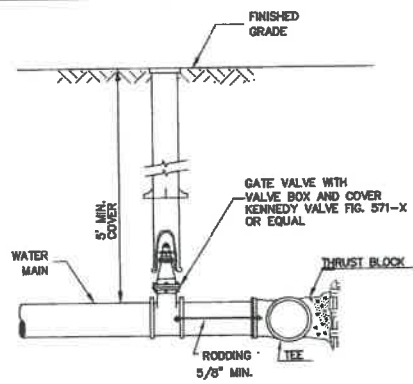
PORTSMOUTH SEWER MANHOLE

NOT TO SCALE



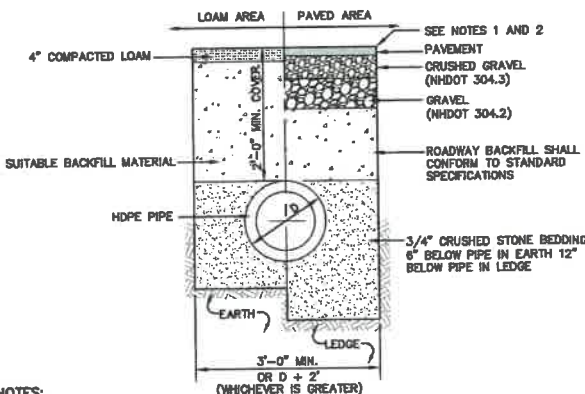
WATER SYSTEM TRENCH

NOT TO SCALE



BURIED GATE VALVE DETAIL

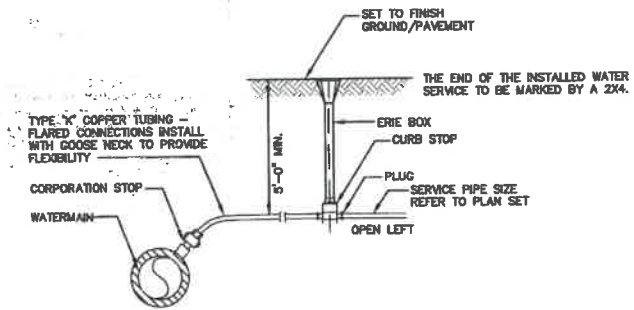
NOT TO SCALE



- NOTES:**
- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 - NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
 - ALL MATERIALS ARE TO BE COMPACTED TO 93% OF ASTM D-1557.

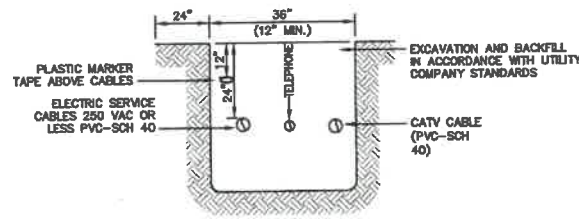
DRAINAGE TRENCH

NOT TO SCALE



WATER SERVICE CONNECTION-COPPER PIPE

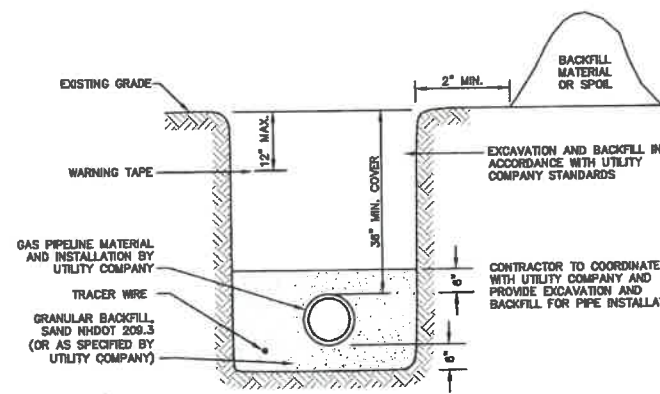
NOT TO SCALE



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

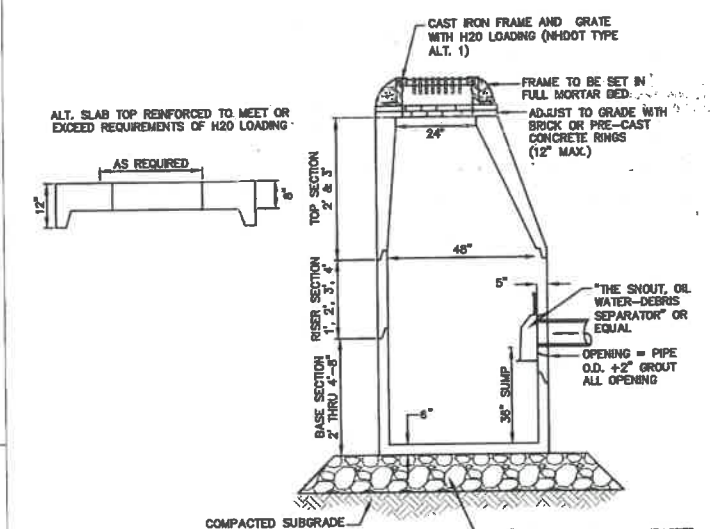
UTILITY TRENCH

NOT TO SCALE



GAS TRENCH

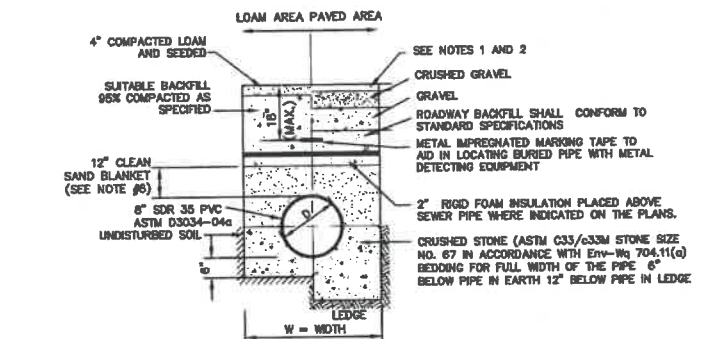
NOT TO SCALE



- NOTES:**
- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
 - ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 - FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATER TIGHT.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 - ALL CATCH BASIN FRAMES AND GRATES SHALL BE MHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEDHAW R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
 - STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".
 - ALL CATCH BASINS ARE TO BE FITTED WITH GREASE HOODS.

CATCH BASIN WITH GREASE HOOD

NOT TO SCALE



- NOTES:**
- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO PAVEMENT DETAILS.
 - NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
 - TRENCH BACKFILL SHALL CONFORM WITH ENV. WQ 704.11(h) AND BE FREE OF DEBRIS, PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE OR ROCKS OVER SIX INCHES.
 - W= MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, WIDTH SHALL BE NO MORE THAN 36"; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, WIDTH SHALL BE 24 INCHES PLUS PIPE O.D. WIDTH SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
 - RIGID FOAM INSULATION TO BE PROVIDED WHERE COVER IN THE ROADWAY IS LESS THAN 6" AND CROSS COUNTRY IS LESS THAN 4" WHERE INDICATED ON THE DES APPROVED PLANS.
 - PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND, FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100% PASSES A 1/2" SIEVE AND A MAXIMUM OF 15% PASSES A #200 SIEVE IN ACCORDANCE WITH ENV-WQ 704.11(b).
 - JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL AND CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE ASTM D3212 STANDARD IN EFFECT WHEN THE JOINT SEALS WERE MANUFACTURED, AND SHALL BE PUSH-ON, BELL-AND-SPOUT TYPE PER ENV-WQ 704.05 (e).

SEWER TRENCH

NOT TO SCALE

| | | |
|---|-----------------|--------------------|
| Design: JAC | Draft: LAZ | Date: 9/3/21 |
| Checked: JAC | Scale: AS NOTED | Project No.: 20737 |
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| 3 | 3/9/21 | ADDED SURVEY INFO | LAZ |
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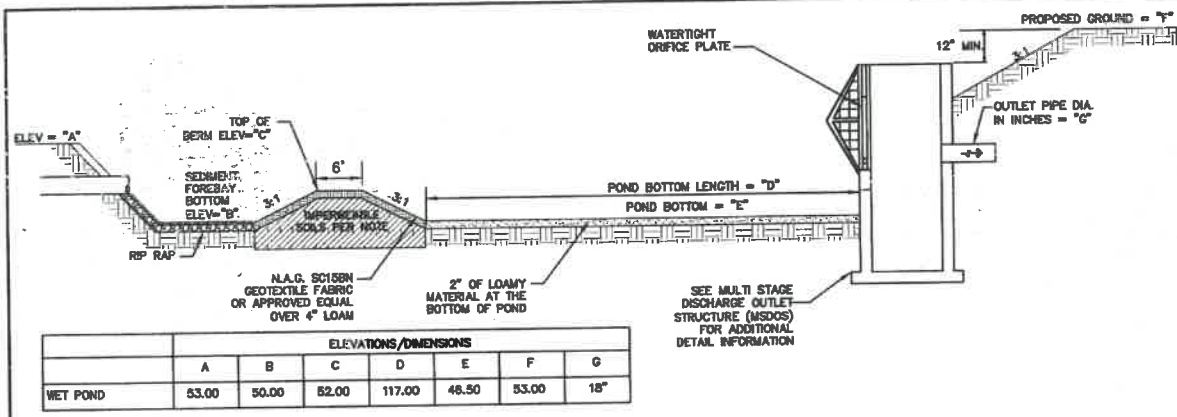
65 Portsmouth Ave. Civil Engineering Services 603-772-4746
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| | |
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DRAWING No.

D2

SHEET 10 OF 28
 JBE PROJECT NO. 20737



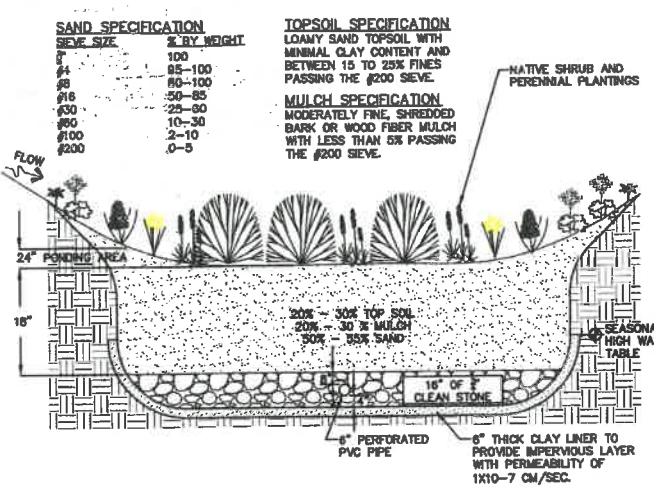
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|-----------------------|-------|-------|-------|--------|-------|-------|-----|
| | A | B | C | D | E | F | G |
| WET POND | 53.00 | 50.00 | 52.00 | 117.00 | 48.50 | 53.00 | 18" |

WET POND SECTION

NOT TO SCALE

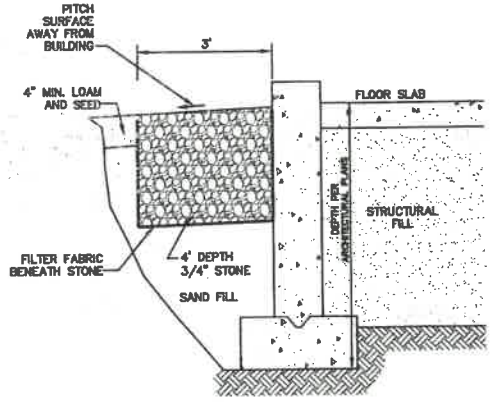
WET POND CONSTRUCTION CRITERIA

- FOUNDATION PREPARATION --- THE FOUNDATION AREA SHALL BE CLEARED OF TREES LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOIL, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOIL SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED, IF NECESSARY, SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS. THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL. EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPENED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT. FILL PLACEMENT --- THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOIL, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATTER.
- SELECTED BACK FILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS AND ANTI SEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES, TO PREVENT DAMAGE FROM UNEQUAL LOADING. THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONAL FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3:1. THE HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
- MOISTURE CONTROL --- THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
- COMPACTION --- CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY. FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTI SEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPER, FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTI SEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPER OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE IS STRONG ENOUGH TO SUPPORT THE LOAD.
- PROTECTION --- A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS SUCH AS MULCHES OR GRAVEL MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.
- SEEDING PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMP'S.
- CONCRETE --- THE MIX DESIGN AND TESTING OF CONCRETE SHALL BE CONSISTENT WITH THE STRENGTH REQUIREMENTS OF THE JOB. MIX REQUIREMENTS OR NECESSARY STRENGTH SHALL BE SPECIFIED. THE TYPE OF CEMENT, AIR ENTRAINMENT, SLUMP, AGGREGATE, OR OTHER PROPERTIES SHALL BE SPECIFIED IF NECESSARY. ALL CONCRETE IS TO CONSIST OF A WORKABLE MIX THAT CAN BE PLACED AND FINISHED IN AN ACCEPTABLE MANNER. NECESSARY CURING SHALL BE SPECIFIED. REINFORCING STEEL SHALL BE PLACED AS INDICATED ON THE PLANS AND SHALL BE HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT. SUB GRADES AND FORMS SHALL BE INSTALLED TO LINE AND GRADE, AND THE FORMS SHALL BE MORTAR TIGHT AND UNYIELDING AS THE CONCRETE IS PLACED.
- THE CONTRACTOR WILL NOTIFY JONES AND BEACH ENGINEERS AFTER EACH OF THE GRAVEL WETLAND PONDS HAVE BEEN EXCAVATED TO THE BOTTOM OF THE SYSTEM FOR A MANDATORY INSPECTION PRIOR TO BUILDING BERMS, PLACING STONE OR INSTALLING PIPE SYSTEM.
- BERMS AND WEIRS SEPARATING THE FOREBAY AND TREATMENT CELLS SHOULD BE CONSTRUCTED WITH CLAY, OR NON-CONDUCTIVE SOILS, AND/OR A FINE GEOTEXTILE, OR SOME COMBINATION THEREOF, TO AVOID WATER SEEPAGE AND SOIL PIPING THROUGH THESE EARTHEN DIVIDERS.



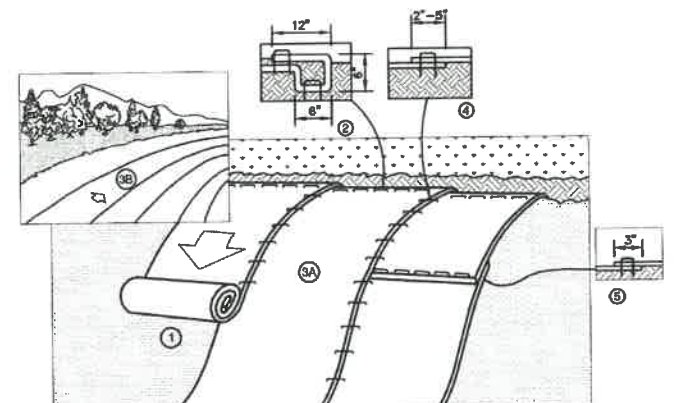
BIORETENTION SYSTEM (with clay bottom and pipe)

NOT TO SCALE



DRIP EDGE DETAIL

NOT TO SCALE



- NOTES:
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-0-SEED DO NOT SEED PREPARED AREA. CELL-0-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

NORTH AMERICAN GREEN
 14649 HIGHWAY 41 NORTH
 EVANSVILLE, INDIANA 47725
 1-800-772-2040

EROSION CONTROL BLANKET SLOPE INSTALLATION
 NORTH AMERICAN GREEN (800) 772-2040

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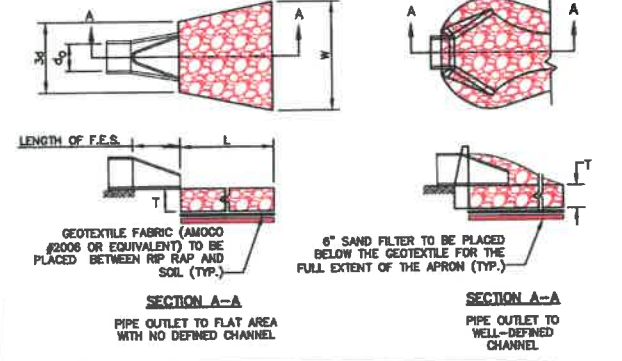


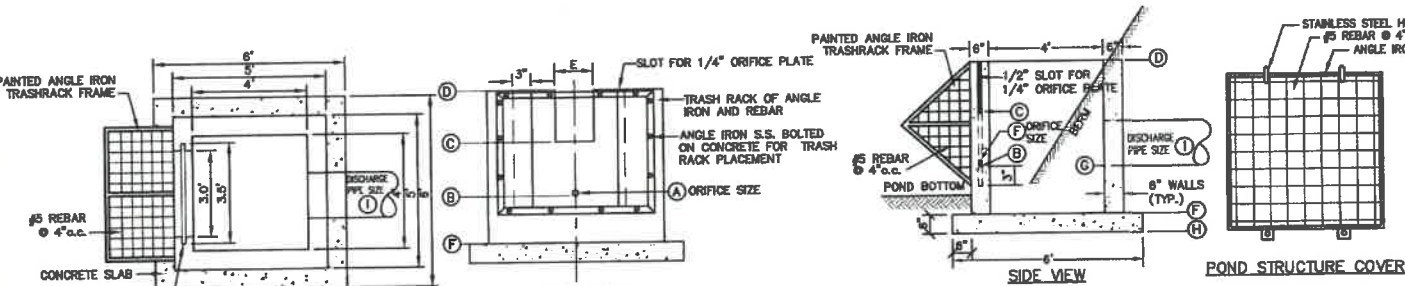
TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

| THICKNESS OF RIP RAP = 1.5 FEET | FEET | | 6 INCHES | |
|---|------|------|----------|--------|
| d50 SIZE= | 0.50 | FEET | 6 | INCHES |
| % OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE | FROM | | TO | |
| 100% | 9 | | | 12 |
| 85% | 8 | | | 11 |
| 50% | 6 | | | 9 |
| 15% | 2 | | | 3 |

- NOTES:
- THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 - STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 - OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
 - MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TALL-WATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

RIP RAP OUTLET PROTECTION APRON

NOT TO SCALE



| | A | B | C | D | E | F | G | H | I |
|----------|----|-------|-------|-------|-----|-------|-------|-------|-----|
| WET POND | 8" | 51.00 | 52.25 | 52.75 | 36" | 48.00 | 51.00 | 47.50 | 18" |

- APPROXIMATE LIST OF MATERIALS
- 1.3 C.Y. - 5000 PSI CONCRETE
 - 15 ANGLE IRONS @ 4' LENGTH
 - REQUIRED S.S. BOLTS AND FASTENERS
 - 1/4" STEEL PLATE WITH DRILLED ORIFICES
 - 1 C.Y. - CRUSHED STONE FOR BASE
 - 48 #5 REBARS @ 1', 2' AND 3' LENGTHS
 - 32 #4 REBARS @ 4.5' LENGTH
- ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
 - TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HENNIKER, N.H., (1-603-428-3218) OR EQUAL.
 - STRUCTURE TO HAVE TEMPORARY PLYWOOD INSTALLED IN THE ORIFICE PLATE SLOT UNTIL THE SITE IS STABILIZED.
 - STRUCTURE IS TO BE DESIGNED FOR H20 LOADING.
 - SOIL UNDERLYING THE STRUCTURE IS TO BE COMPACTED TO 95% MODIFIED PROCTOR.

MULTI-STAGE DISCHARGE OUTLET STRUCTURE (MSDOS)

NOT TO SCALE

| | | |
|---|-----------------|--------------------|
| Design: JAC | Draft: LAZ | Date: 3/3/21 |
| Checked: JAC | Scale: AS NOTED | Project No.: 20737 |
| Drawing Name: 20737-PLAN.dwg | | |
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| REV. | DATE | REVISION | BY |
|------|---------|---------------------------|-----|
| 7 | 7/20/21 | REVISIONS PER CITY REVIEW | LAZ |
| 6 | 6/22/21 | REVISIONS PER CITY REVIEW | LAZ |
| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |
| | | REVISION | |

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

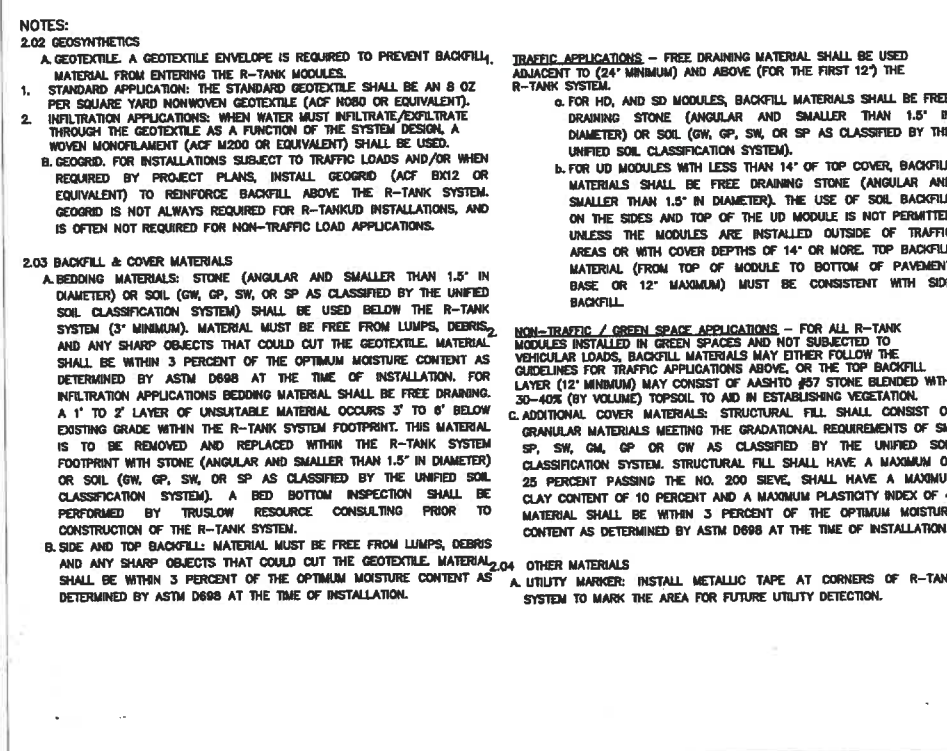
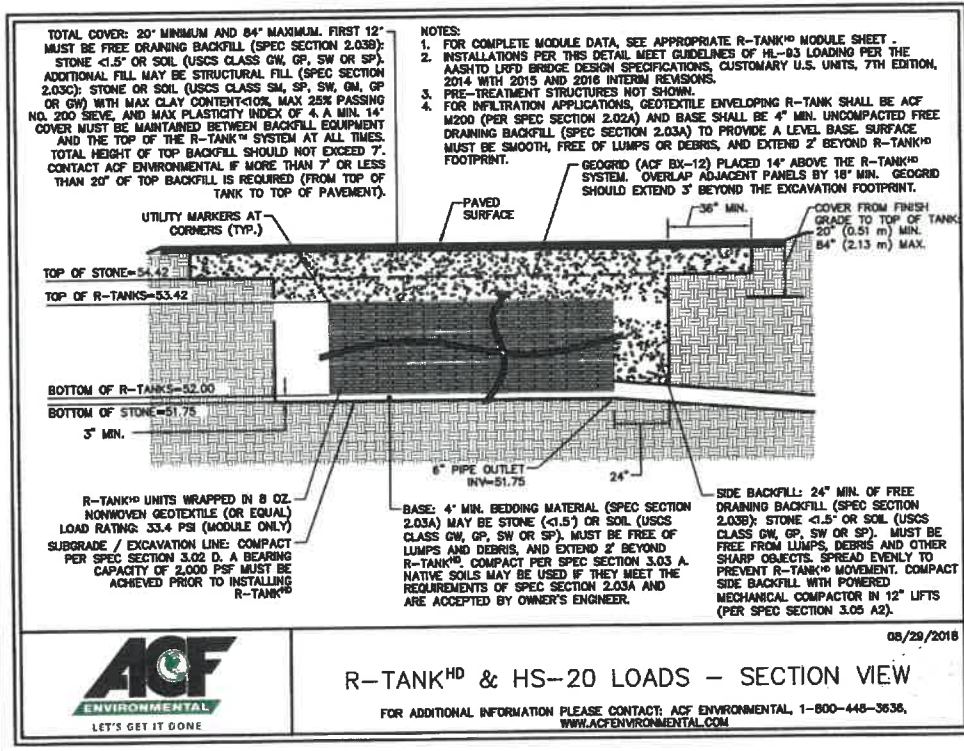
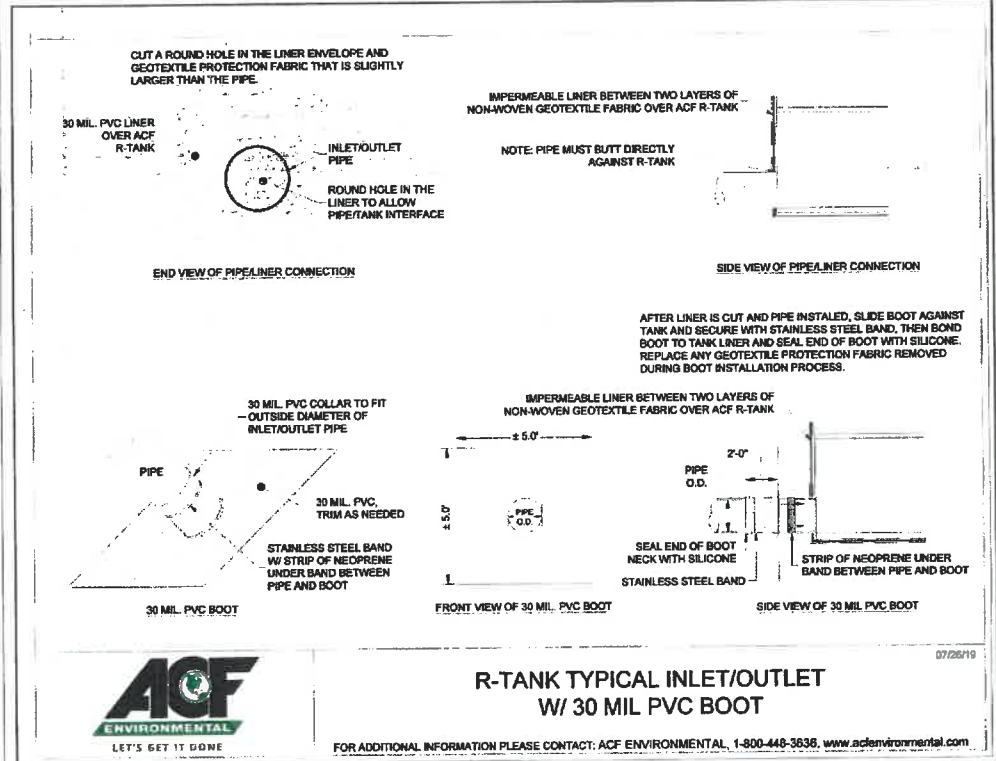
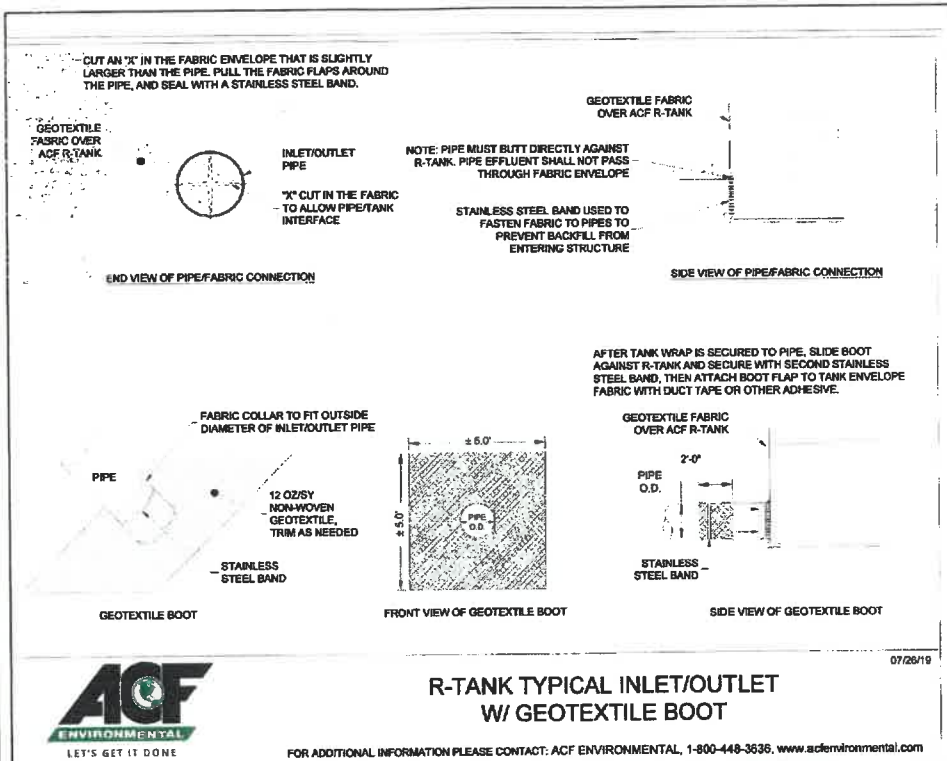
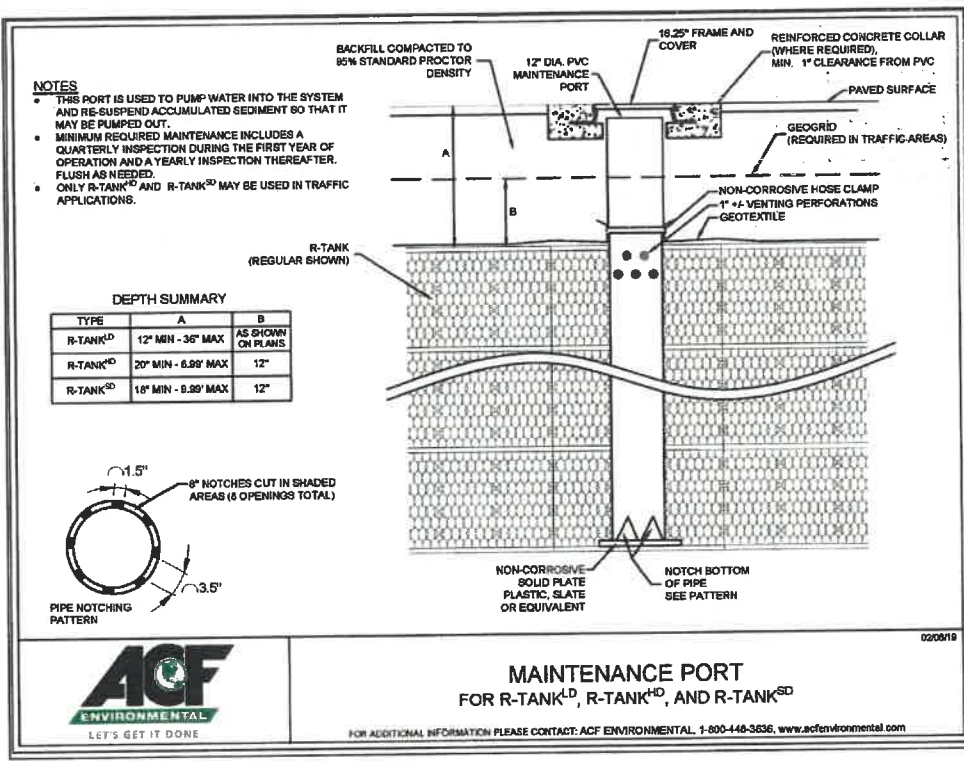
Plan Name: **DETAIL SHEET**

Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**

Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **D3**

SHEET 20 OF 28
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Design: JAC Draft: LAZ Date: 3/3/21

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|------|---------|---------------------------|-----|
| 7 | 7/20/21 | REVISIONS PER CITY REVIEW | LAZ |
| 6 | 8/22/21 | REVISIONS PER CITY REVIEW | LAZ |
| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |
| | | REVISION | |

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. Civil Engineering Services 603-772-4746
 PO Box 219 E-MAIL: JBE@JONESANDBEACH.COM FAX: 603-772-0227
 Stratham, NH 03885

Plan Name: **DETAIL SHEET**

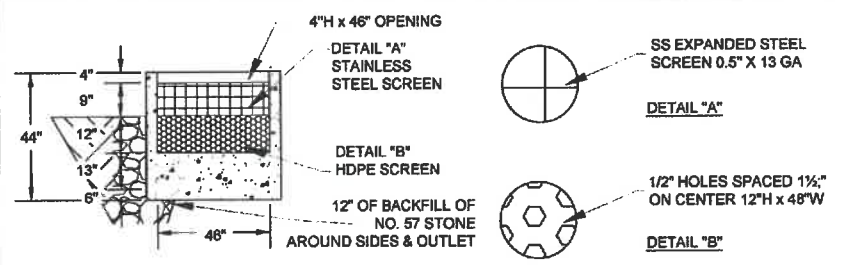
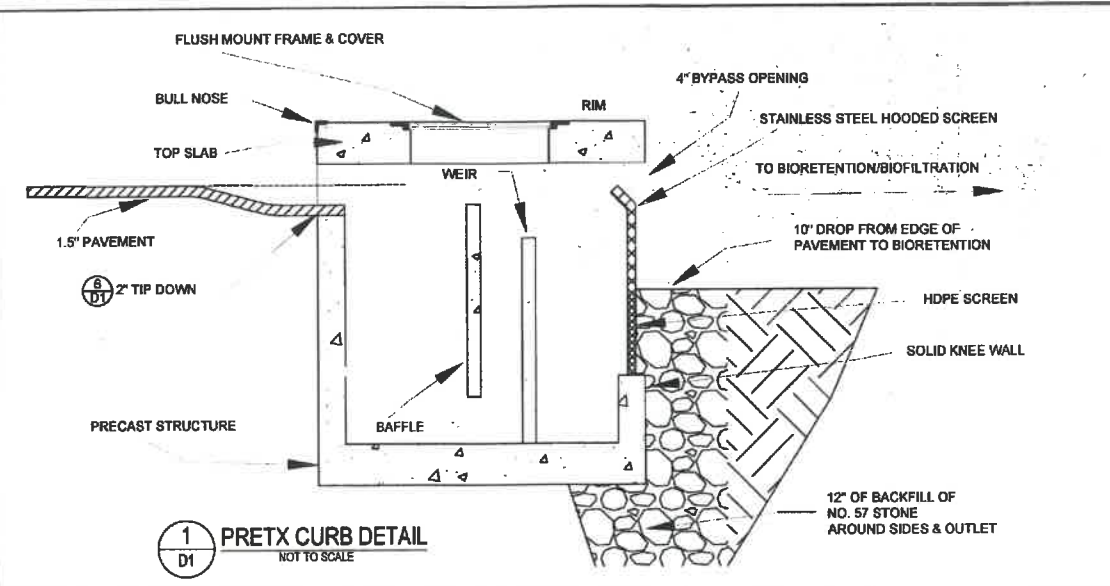
Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**

Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

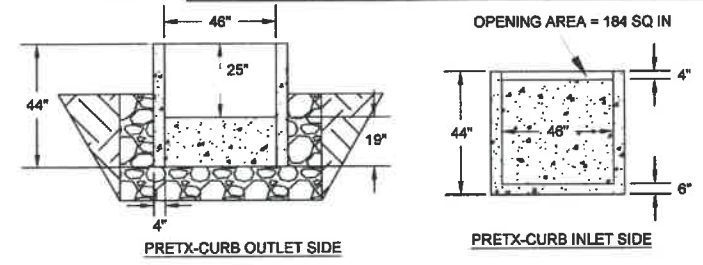
DRAWING No. **D4**

SHEET 21 OF 26
 JBE PROJECT NO. 20737

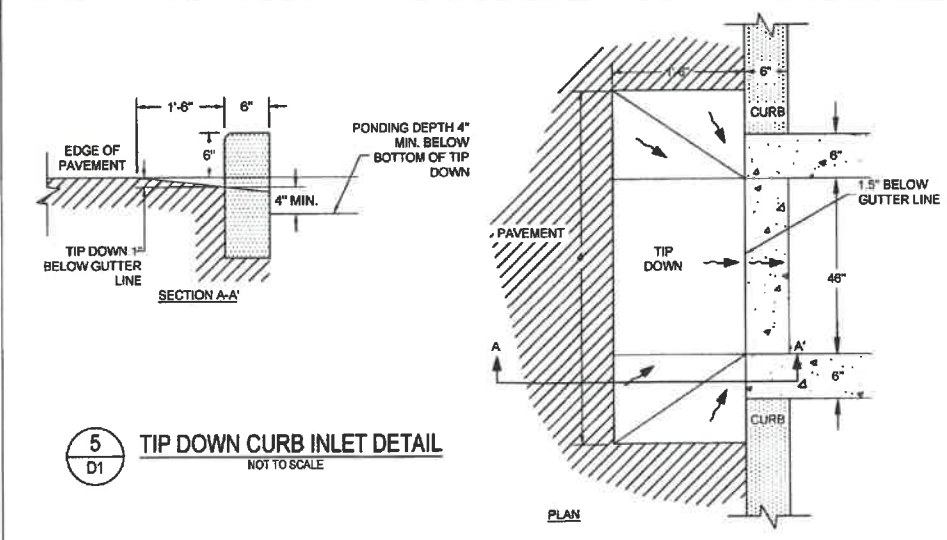
- PRETX SPECIFICATIONS**
- A. GENERAL**
- PRETX SYSTEMS ARE A PRE-FILTER AND CRITICAL MAINTENANCE DEVICE THAT EXTENDS THE OPERATING LIFE AND REDUCES THE MAINTENANCE BURDEN OF BIORETENTION SYSTEMS, RAIN GARDENS, BIOSWALES AND OTHER TYPES OF SURFACE BEST MANAGEMENT PRACTICES BY FILTERING OUT SEDIMENT, TRASH AND DEBRIS AT THE INLET.
- B. PRODUCTS**
- PRETX IS AVAILABLE IN 3 MODELS THAT MANAGE MOST BIORETENTION INLET CONFIGURATIONS: CURB, DROP, AND INLINE.
 - PRETX CURB IS FOR EDGE OF PAVEMENT RUNOFF AT A CURB CUT IN LIEU OF A STONE SPREADER.
 - PRETX DROP IS FOR USE AS A DROP INLET CONFIGURATION ALONG A CURB LINE AND WOULD BE INSTALLED WITH A STANDARD DROP INLET GRATE.
 - PRETX-INLINE IS FOR USE WITH SUBSURFACE INLET AND OUTLET PIPE.
 - PRETX IS SIZED TO PRETREAT WATER QUALITY FLOWS AND BYPASS LARGER FLOWS THAT HAVE MINIMAL TRASH AND DEBRIS. PRETX CAN BE USED BOTH IN RETROFIT OR NEW INSTALLATIONS.
- C. ACCEPTABLE SYSTEM SUPPLIER:**
 CONVERGENT WATER TECHNOLOGIES, INC. OR ITS AUTHORIZED VALUE-ADDED RESELLER
 (800) 711-5428
 WWW.CONVERGENTWATER.COM
- C. SUBMITTALS**
- SUBMIT PROPOSED LAYOUT DRAWINGS. DRAWINGS SHALL INCLUDE TYPICAL SECTION DETAILS ANNOTED WITH SYSTEM ELEVATIONS (E.G. RIM, PIPE INVERTS, OUTSIDE BOTTOM OF STRUCTURE, ETC.).
 - SUBMIT MATERIAL CERTIFICATES FOR FRAMES AND COVERS.
 - ANY PROPOSED EQUAL ALTERNATE PRODUCT SUBSTITUTION TO THIS SPECIFICATION MUST BE SUBMITTED FOR REVIEW AND APPROVED PRIOR TO BID OPENING.
- D. EXECUTION**
- ALL PUBLIC STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS AND ACCORDING TO LOCAL MUNICIPAL ORDINANCES.
 - ALL STORM DRAINAGE SYSTEM CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER.
 - THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER A MINIMUM OF TWO FULL BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTING AND OBTAINING APPROVAL FROM DIG-SAFE AND DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION EXCAVATION AND SHALL NOTIFY THE PROJECT ENGINEER OF ANY POTENTIAL CONFLICTS.
 - TO PROTECT STORMWATER FLOW CONTROL AND QUALITY TREATMENT FACILITIES FROM SEDIMENTATION, THEY SHALL BE CONNECTED TO THE STORM CONVEYANCE SYSTEM ONLY AFTER ALL SITE WORK, ROAD CONSTRUCTION, UTILITY WORK AND LANDSCAPING ARE IN PLACE IN ALL AREAS ABOVE AND UPSTREAM OF THE FACILITY.
 - THE EXISTING STORM SEWER SYSTEM SHALL STAY ISOLATED FROM THE NEW SYSTEM UNTIL THE NEW SYSTEM IS CLEANED, AND APPROVED FOR USE. THERE SHALL BE NO DEBRIS IN THE LINES OR FURTHER CLEANING WILL BE REQUIRED PRIOR TO ACCEPTANCE.
 - PROVIDE A 1/2" MINIMUM GAP BETWEEN THE KNOCKOUT WALL AND THE OUTSIDE OF THE PIPE. AFTER THE PIPE IS INSTALLED, FILL THE GAP WITH JOINT MORTAR.
 - THE OPENING SHALL BE MEASURED AT THE TOP OF THE PRECAST BASE SECTION.
 - AT PICKUP HOLES SHALL BE GROUTED FULL AFTER THE BASKET HAS BEEN PLACED.
 - STANDARD CURB INLETS AND TIPDOWNS SHALL BE PRECAST CONCRETE OR ASPHALT.
 - PIPE ENDS SHALL BE FLUSH WITH THE INNER WALL OR 1" MAXIMUM INTRUSION. MASONRY, CINDER BLOCKS, OR SIMILAR MATERIALS MAY BE USED TO ADJUST THE RISERS TO GRADE PRIOR TO GROUTING.
 - GROUTING SHALL BE SUFFICIENT TO PREVENT LEAKS BETWEEN THE PRECAST COMPONENTS OF THE COMPLETED STRUCTURE & SHALL BE PERFORMED INSIDE BETWEEN & OUTSIDE OF ALL RISERS, JOINTS & PIPE PENETRATIONS.
 - MANHOLES TO BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M-198 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE STANDARD SPECIFICATIONS.
 - ALL REINFORCED CAST IN PLACE CONCRETE SHALL BE CLASS 4000. ALL PRECAST CONCRETE SHALL BE CLASS 4000.
 - RECAST BASES SHALL BE FURNISHED WITH CUTDOLTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM.
 - MATING SURFACES OF MANHOLE RINGS AND COVERS SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITIONS.
- E. CONSTRUCTION AND SEQUENCING**
- EXAMINATION**
 - VERIFY LAYOUT AND ORIENTATION OF PRE-TX SYSTEM AREA INCLUDING EDGE OF PAVEMENT, TIP DOWN, CURBS AND SIDEWALK, BIOFILTRATION SYSTEM, AND CONNECTIONS.
 - VERIFY EXCAVATION BASE IS READY TO RECEIVE WORK AND EXCAVATIONS, DIMENSIONS, AND ELEVATIONS ARE AS INDICATED ON DRAWINGS.
 - PREPARATION**
 - CALL DIG SAFE AND RECEIVE APPROVAL BEFORE PERFORMING WORK.
 - REQUEST UNDERGROUND UTILITIES TO BE LOCATED AND MARKED WITHIN AND SURROUNDING CONSTRUCTION AREAS.
 - IDENTIFY REQUIRED LINES, LEVELS, CONTOURS, AND DATUM.
 - CLEAR AND GRUB THE PROPOSED PRE-TX SYSTEM AREA.
 - EXCAVATION AND INSTALLATION**
 - THE FOLLOWING CONSTRUCTION SEQUENCE IS TO BE USED AS A GENERAL GUIDELINE. COORDINATE WITH THE OWNER, AND ENGINEERS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - INSTALL TEMPORARY EROSION AND SEDIMENT CONTROLS TO DIVERT STORM WATER AWAY FROM THE PRE-TX SYSTEM AREA.
 - EXCAVATE TO THE BOTTOM INVERT OF THE SYSTEM.
 - TO MINIMIZE COMPACTION OF ADJACENT BIOFILTRATION SYSTEMS, WORK EXCAVATORS OR BACKHOES FROM THE SIDES TO EXCAVATE THE PRE-TX SYSTEM AREA TO ITS APPROPRIATE DESIGN DEPTH AND DIMENSIONS.
 - ROUGH GRADE THE PRE-TX SYSTEM AREA DURING GENERAL CONSTRUCTION. EXCAVATE THE PRE-TX SYSTEM FACILITIES TO WITHIN 1 FOOT OF STRUCTURE BOTTOM.
 - PLACE 1 FOOT BED OF COARSE STONE TO ELEVATION OF BASE OF STRUCTURE.
 - ESTABLISH ELEVATIONS FOR ADJACENT CURBS, EDGE OF PAVEMENT AND TIP DOWN, SIDEWALK, PIPE INVERTS FOR INLETS AND OUTLETS AS INDICATED ON DRAWINGS.
 - INSTALLATION**
 - PLACE THE PRECAST SYSTEM TO NECESSARY ELEVATION.
 - VERIFY ELEVATIONS FOR ADJACENT CURBS, EDGE OF PAVEMENT, PAVEMENT GRADING FOR INLET GRATE FOR PRETX-DROP, SIDEWALK, PIPE INVERTS FOR INLETS AND OUTLETS, OUTLET INVERT FOR KNEE WALL.
 - FOR PRETX-SURFACE:**
 - VERIFY ELEVATIONS FOR ADJACENT CURBS.
 - VERIFY EDGE OF PAVEMENT TIP DOWN GRADING FOR INLET GRATE.
 - VERIFY CURB ELEVATION IN RELATION TO PAVEMENT AND TIP DOWN.
 - VERIFY OUTLET INVERT FOR KNEE WALL IN RELATION TO FILTER MEDIA.
 - FOR PRETX-DROP:**
 - VERIFY ALL INLET PIPES ENTER THE STRUCTURE UPSTREAM OF BAFFLE.
 - VERIFY FRAME AND GRATE OFFSET ON INLET SIDE AND UPSTREAM OF BAFFLE.
 - VERIFY CURB LOCATION WITH RESPECT TO FRAME AND GRATE ORIENTATION.
 - INSTALL BAFFLES, WEIR, AND SCREENS AS INDICATED ON DRAWINGS.
 - VERIFY MAINTENANCE ACCESS THROUGH GRATE OR COVER AND CLEARANCE FOR VEHICLE.
 - INSTALL TOP OF STRUCTURE LEVEL WITH ADJACENT CURB OR SIDEWALK AS PER MANUFACTURERS SPECIFICATIONS. ENGINEER FIELD VISIT REQUIRED PRIOR TO BACKFILLING.
- BACKFILLING**
 - BACKFILL WITH APPROVED SOIL AND STONE TO THE DESIGN GRADE AS SPECIFIED IN THE DRAWINGS.
 - BACKFILL WITH 12" OF NO. 57 STONE AROUND REAR, LEFT, AND RIGHT SIDES TO LEVEL WITH TOP OF HDPE SCREEN.
 - BACKFILL WITH BIORETENTION SOIL MIX BEYOND STONE BACKFILL TO EQUAL ELEVATION OF THE TOP OF HDPE SCREEN.
 - DO NOT BACKFILL SOIL OR STONE AGAINST STAINLESS SCREEN.
 - DO NOT COMPACT ADJACENT FILTRATION SYSTEM SOIL WITH MECHANICAL EQUIPMENT.
 - STABILIZE ALL REMAINING DISTURBED AREAS AND SIDE SLOPES WITH SEEDING, HYDROSEEDING, AND/OR EROSION CONTROL BLANKETS AS INDICATED ON DRAWINGS.
- CLEAN UP**
 - AFTER COMPLETION OF THE WORK, REMOVE AND PROPERLY DISPOSE ALL DEBRIS, CONSTRUCTION MATERIALS, RUBBISH, EXCESS SOIL, ETC., FROM THE PROJECT SITE. REPAIR PROMPTLY ANY IDENTIFIED DEFICIENCIES AND LEAVE THE PROJECT SITE IN A CLEAN AND SATISFACTORY CONDITION.



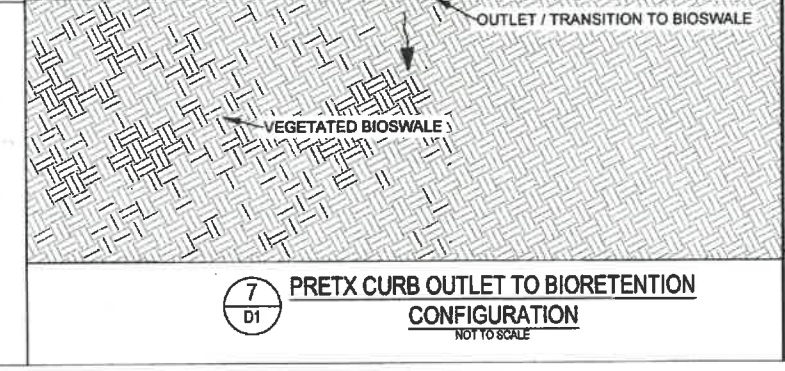
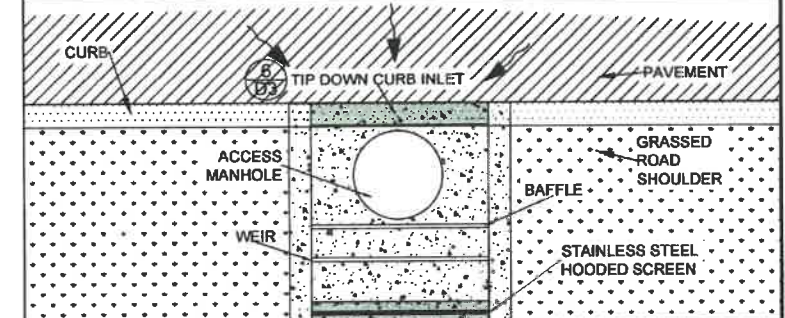
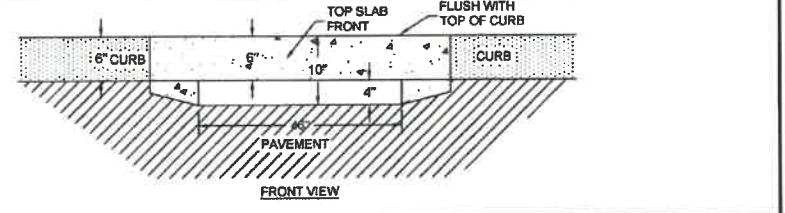
3 D1 PRETX CURB OUTLET SIDE NOT TO SCALE



4 D1 PRETX CURB SIDE DETAIL NOT TO SCALE

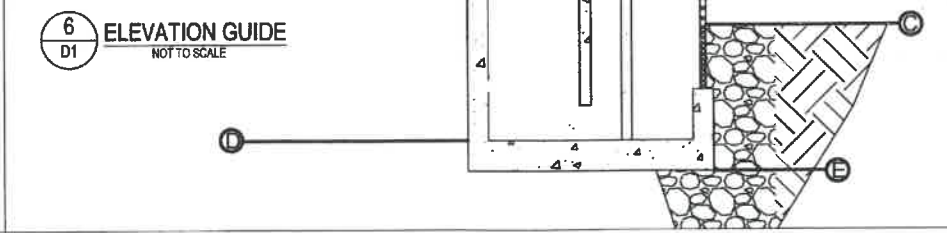


5 D1 TIP DOWN CURB INLET DETAIL NOT TO SCALE



7 D1 PRETX CURB OUTLET TO BIORETENTION CONFIGURATION NOT TO SCALE

| PRETX-CURB ELEVATION GUIDE | | |
|----------------------------|---------------------|------------------------------|
| POINT | DESCRIPTION | HEIGHT IN REFERENCE TO PT. A |
| A | EDGE OF PAVEMENT | 0 INCHES |
| B | OUTSIDE TOP SLAB | 8 INCHES |
| C | TOP OF BIORETENTION | 12 INCHES |
| D | SUMP INVERT | 36 INCHES |
| E | OUTSIDE BOTTOM | 42 INCHES |



6 D1 ELEVATION GUIDE NOT TO SCALE

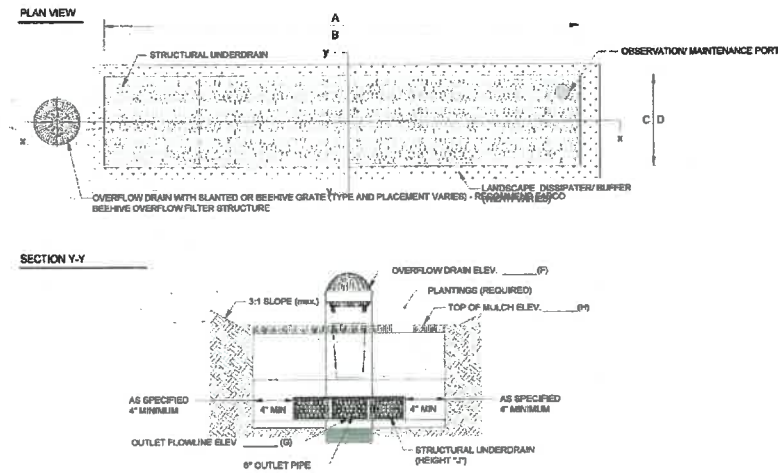
D-1 PRETX™ CURB INLET PRETREATMENT DETAIL



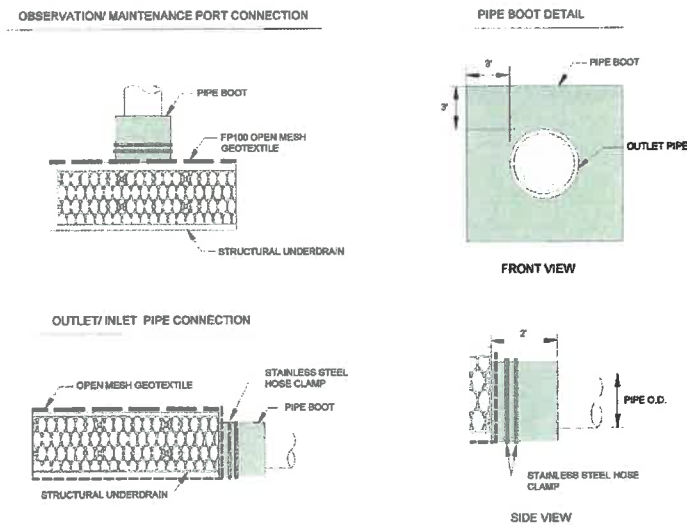
TO FIND A VALUE ADDED RESELLER IN YOUR AREA VISIT
 WWW.CONVERGENTWATER.COM/STORMWATER-PRODUCTS
 OR CONTACT CONVERGENT WATER TECHNOLOGIES AT
 1-800-711-5428



REVISED 11/2018; ELEVATION DETAILS ADDED; CHECKED BY RR

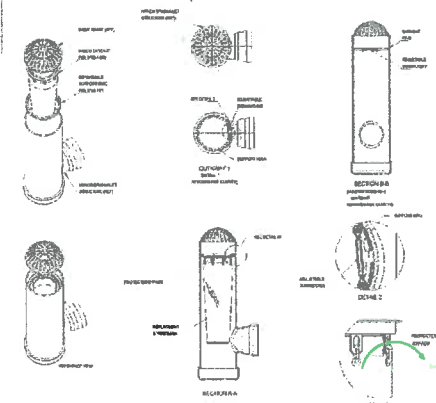


1 TYPICAL LAYOUT AND SECTION Y-Y

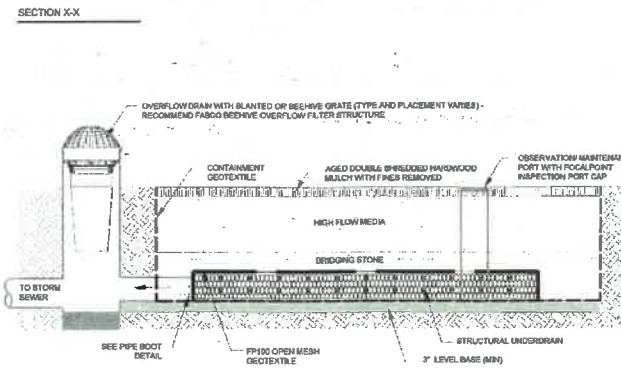


4 PIPE CONNECTION DETAIL

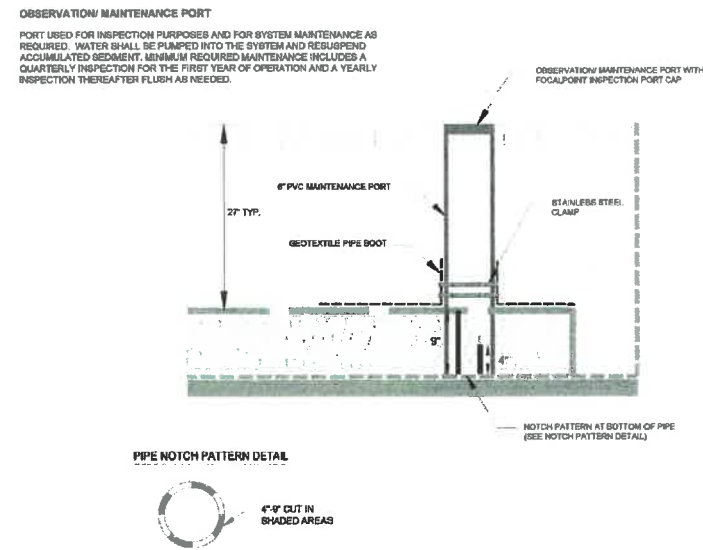
| STRUCTURE DIAMETER (INCHES) | GRASS CAPACITY (GAL) | FILTERED FLOW RATE (GPM) | SPRINKLE FLOW RATE (GPM) | TOTAL SYSTEM FLOW RATE (GPM) |
|-----------------------------|----------------------|--------------------------|--------------------------|------------------------------|
| 12 | 377 | 22 | 12 | 34 |
| 18 | 146 | 26 | 10 | 36 |
| 24 | 340 | 43 | 24 | 73 |
| 30 | 610 | 43 | 24 | 73 |



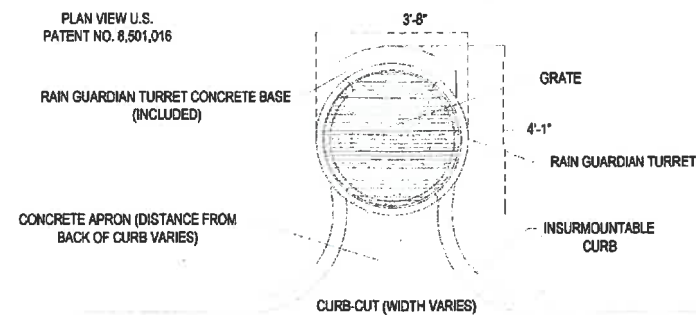
7 R-TANK[®] TYPICAL TANK INLET/OUTLET DETAIL



2 SECTION X-X

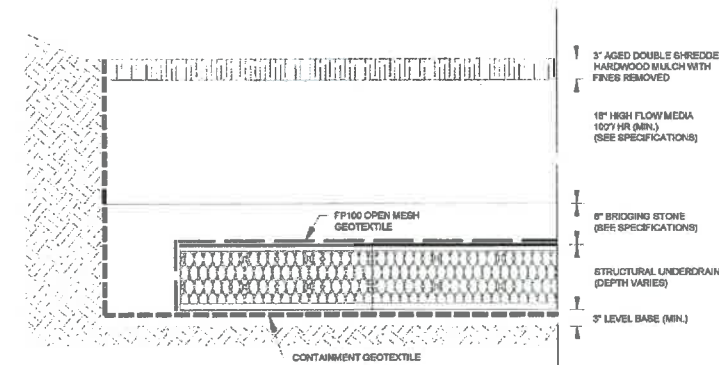


5 INSPECTION PORT DETAIL

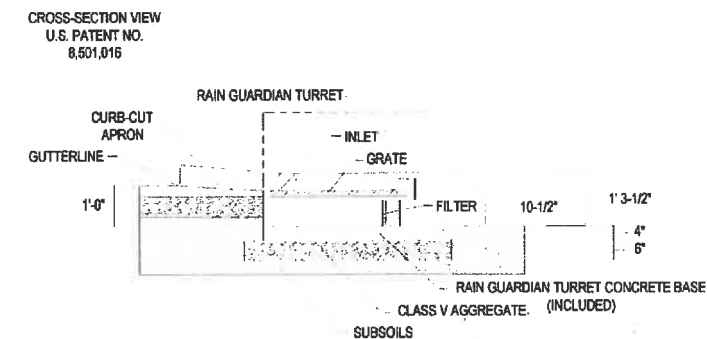


8 RAIN GUARDIAN TURRET (PLAN)

FOCALPOINT HP PERFORMANCE SPECIFICATION:
 HIGH PERFORMANCE MEDIA
 HIGH PERFORMANCE MEDIA MUST MEET A MINIMUM OF 100" PER HOUR INFILTRATION RATE. FIELD HYDRAULIC CONDUCTIVITY TESTING MUST BE CONDUCTED WITHIN 30 DAYS OF INSTALLATION. FIELD TEST MUST BE CONDUCTED WITH PROCScribed INFILTRMETER AND SOP (SEE SPECIFICATION). FAILURE TO MEET FIELD TESTING WILL RESULT IN THE REMOVAL OF MEDIA AND REPLACEMENT FROM ALTERNATE BATCH.
 HIGH PERFORMANCE STRUCTURAL UNDERDRAIN
 MUST HAVE A MINIMUM OF 10 SQUARE INCHES OF ORIFICE OPENING PER SQUARE FOOT. MUST MEET H20 LOADING REQUIREMENTS. MUST BE MODULAR IN NATURE AND ASSEMBLED ON SITE. MUST HAVE MINIMUM 80% INTERIOR VOID SPACE.
 PLANT COMPONENT
 SUPPLIER SHALL PROVIDE LIST OF ACCEPTABLE PLANTS. IF PLANTS ARE NOT INCLUDED IN THE LANDSCAPE CONTRACT/PLANS, SITE CONTRACTOR SHALL PROVIDE PLANTS. PLANTS SHALL BE INSTALLED AT THE TIME OF THE SYSTEM IS COMMISSIONED FOR USE. PLANTING OUTSIDE THIS TIME REQUIRES APPROVAL BY THE ENGINEER OF RECORD. SEE FOCALPOINT INSTALLATION GUIDE FOR PLANT SPACING, PLANTING PROCEDURES, ETC.



6 DETAILED CROSS SECTION



9 RAIN GUARDIAN TURRET (SECTION)

FOR ADDITIONAL INFORMATION PLEASE CONTACT
 ACF ENVIRONMENTAL 1-800-448-3633
 www.acfenvironmental.com

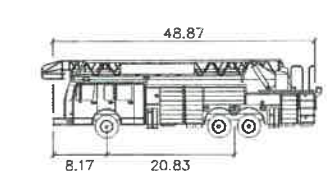
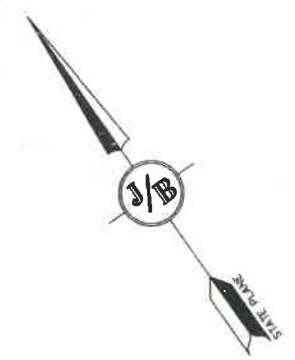
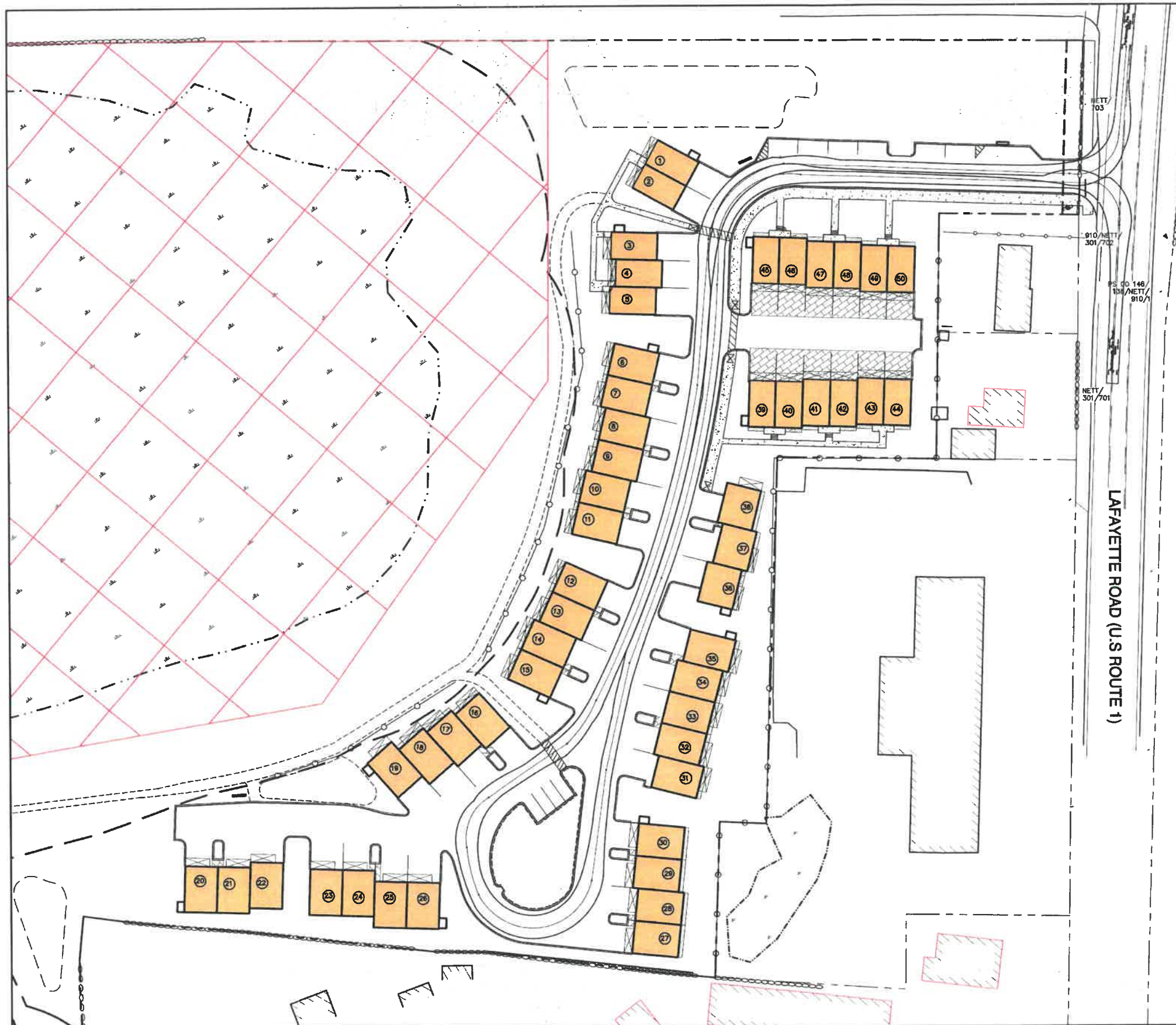


FOCALPOINT DETAILS

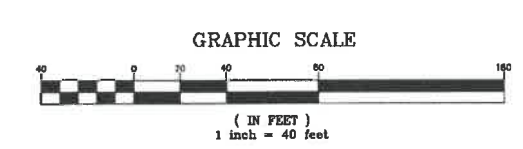
PROJECT NO.
 35.336
 DATE
 AUG 15, 2019
 SHEET NO.

FP-1

NOTE: ENGINEER OF RECORD TO REVIEW, APPROVE AND ENDORSE FINAL SITE SPECIFIC DESIGN.



Portsmouth Fire Truck
 (IN FEET)
 Width : 8.50
 Track : 6.91
 Lock to Lock Time : 6.0
 Steering Angle : 38.7



Design: JAC | Draft: LAZ | Date: 3/3/21
 Checked: JAC | Scale: AS SHOWN | Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



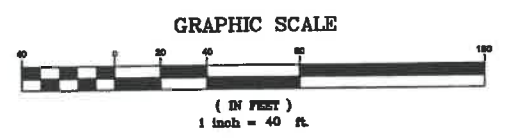
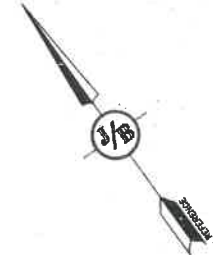
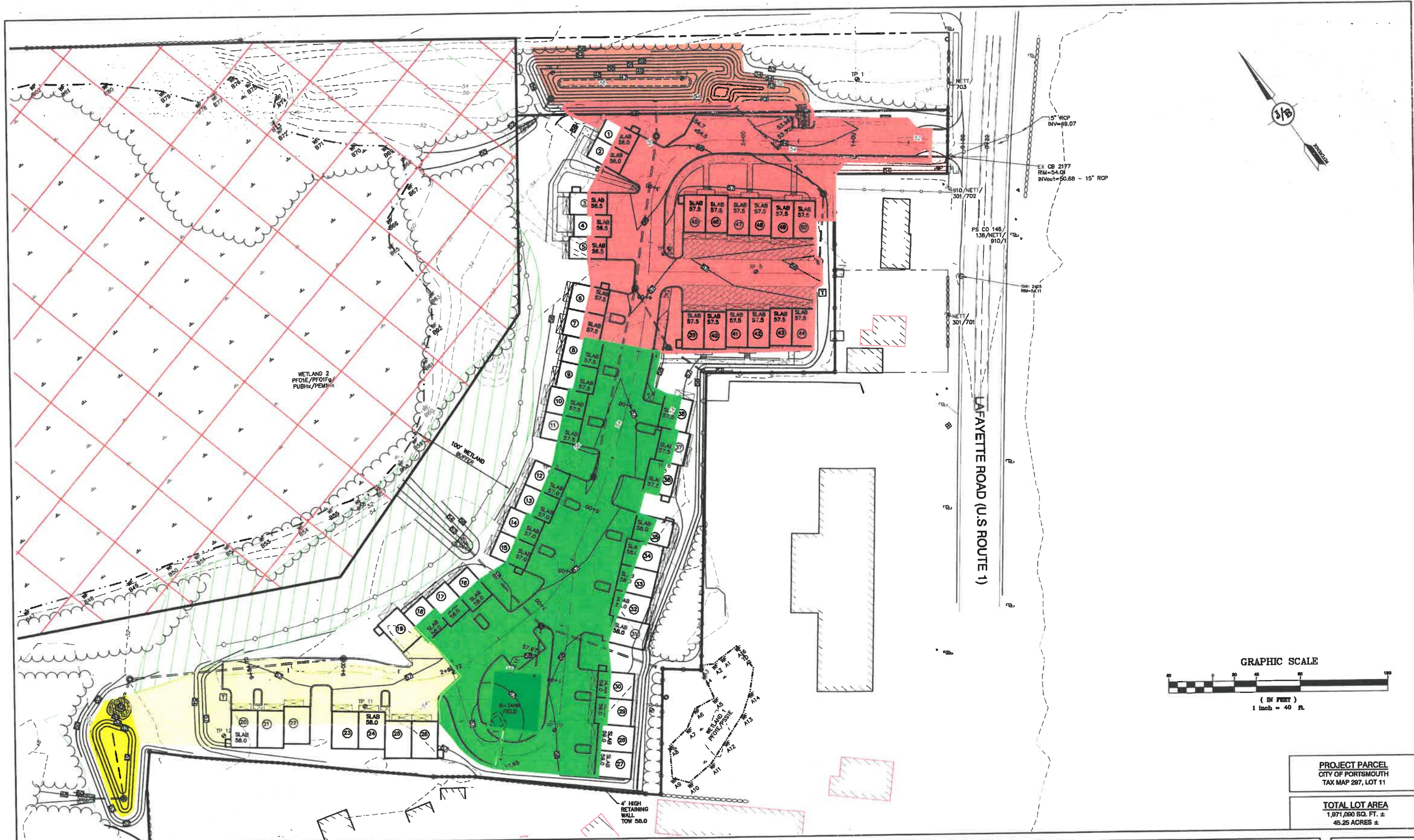
| REV. | DATE | REVISION | BY |
|------|---------|---------------------------|-----|
| 7 | 7/20/21 | REVISIONS PER CITY REVIEW | LAZ |
| 6 | 6/22/21 | REVISIONS PER CITY REVIEW | LAZ |
| 5 | 5/5/21 | REVISIONS | LAZ |
| 4 | 3/18/21 | ADDED DETAIL | LAZ |
| 3 | 3/3/21 | ADDED SURVEY INFO | LAZ |

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. | 603-772-4748
 PO Box 219 | FAX: 603-772-0227
 Stratham, NH 03885 | E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **TRUCK TURNING PLAN**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No.
T1
 SHEET 25 OF 28
 JBE PROJECT NO. 20737



PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 287, LOT 11

TOTAL LOT AREA
1,971,090 SQ. FT. ±
45.25 ACRES ±

Design: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS SHOWN Project No.: 20737
Drawing Name: 20737-PLAN.dwg

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



| REV. | DATE | REVISION | BY |
|------|---------|-------------------|-----|
| 0 | 5/17/21 | ISSUED FOR REVIEW | MJK |

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

65 Portsmouth Ave. PO Box 219 Stratham, NH 03885

603-772-4748
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PROPOSED TREATMENT PLAN**

Project: **3400 LAFAYETTE ROAD
PORTSMOUTH, NH**

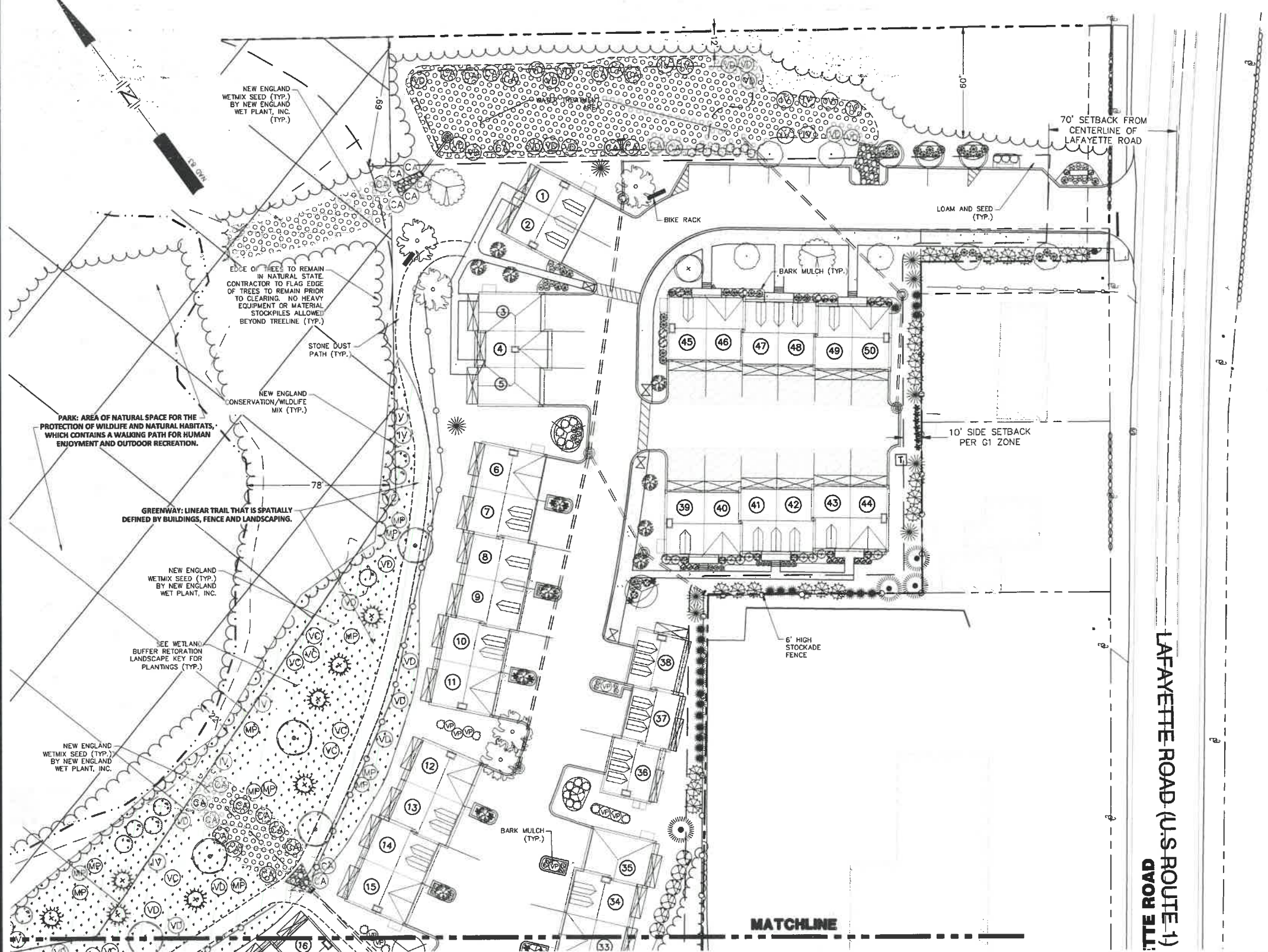
Owner of Record: **225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1830 PG 0229**

DRAWING No.
TR1

SHEET 26 OF 26
JBE PROJECT NO. 20737

NOTE

1. SEE DETAIL SHEET FOR LANDSCAPE RELATED NOTES AND DETAILS.



LANDSCAPE LEGEND

| SYMBOL | QTY | BOTANICAL NAME COMMON NAME | SIZE | REMARKS | GROWTH HABIT |
|------------------------|-----|---|----------------------|---------|-------------------|
| SHADE TREES | | | | | |
| | 8 | ACER RUBRUM 'REDPOINTE' **REDPOINTE RED MAPLE | 2 1/2" TO 3" CAL. | B&B | PYRAMIDAL |
| | 7 | ACER SACCHARUM 'COMMEMORATION' **COMMEMORATION SUGAR MAPLE | 3" TO 3 1/2" CAL. | B&B | ROUNDED |
| | 7 | MAACKIA AMURENSIS AMUR MAACKIA | 2 1/2" TO 3" CAL. | B&B | ROUNDED |
| | 12 | NYSSA SYLVATICA *BLACK GUM | 2 1/2" TO 3" CAL. | B&B | PYRAMIDAL |
| | 13 | QUERCUS P. 'GREEN PILLAR' **GREEN PILLAR GREEN OAK | 2 1/2" TO 3" CAL. | B&B | COLUMNAR |
| | 4 | ULMUS AMERICANA 'VALLEY FORGE' **VALLEY FORGE AMERICAN ELM | 2 1/2" TO 3" CAL. | B&B | SPREADING-VASE |
| EVERGREEN TREES | | | | | |
| | 9 | ABIES BALSAMAE *BALSAM FIR | 6' TO 7' | B&B | PYRAMIDAL |
| | 28 | JUNIPERUS VIRGINIANA *EASTERN RED CEDAR | 6' TO 7' | B&B | UPRIGHT-PYRAMIDAL |
| | 18 | PICEA GLAUCA *WHITE SPRUCE | 7' TO 8' | B&B | PYRAMIDAL |
| | 3 | PINUS STROBUS *WHITE PINE | 6' TO 7' | B&B | PYRAMIDAL |
| DECIDUOUS SHRUB | | | | | |
| | 16 | AMELANCHEIR ALNIFOLIA 'REGENT' *REGENT SERVICEBERRY | 5 GAL. | CONT. | ROUNDED |
| | 4 | CLETHRA ALNIFOLIA 'COMPACTA' **COMPACT SUMMERSWEET | 7 GAL. | CONT. | ROUNDED |
| | 15 | CORNUS SERICEA 'ARCTIC FIRE' **ARCTIC FIRE RED-OSIER DOGWOOD | 7 GAL. | CONT. | ROUNDED |
| | 20 | FORSYTHIA 'GOLD TIDE' GOLD TIDE FORSYTHIA | 3 GAL. | CONT. | LOW-SPREADING |
| | 32 | HYDRANGEA ARBORESCENS 'INCREDIBALL' INCREDIBALL SMOOTH HYDRANGEA | 5 GAL. | CONT. | ROUNDED |
| | 9 | PHYSOCARPUS O. 'BURGUNDY CANDY' **BURGUNDY CANDY NINEBARK | 2 GAL. | CONT. | ROUNDED |
| | 16 | VIBURNUM P.T. 'SUMMER SNOWFLAKE' SUMMER SNOWFLAKE VIBURNUM | 3' TO 4' | B&B | ROUNDED |
| EVERGREEN SHRUB | | | | | |
| | 45 | AZALEA 'GIRARD'S CRIMSON' GIRARD'S CRIMSON AZALEA | 3 GAL. | CONT. | ROUNDED |
| | 16 | RHODODENDRON 'ROSEUM PINK' **ROSEUM PINK RHODODENDRON | 7 GAL. | CONT. | ROUNDED |
| | 9 | ILEX GLABRA 'COMPACTA' **COMPACT INKBERRY | 3 GAL. | CONT. | ROUNDED |
| | 37 | JUNIPERUS CHINENSIS 'SEAGREEN' SEAGREEN JUNIPER | 3 GAL. | CONT. | ARCHING |
| | 7 | JUNIPERUS H. 'BAR HARBOR' *BAR HARBOR JUNIPER | 3 GAL. | CONT. | LOW-SPREADING |
| | 11 | PINUS M. 'MUGS' MUGS MUGO PINE | 3 GAL. | CONT. | ROUNDED |
| | 65 | THUJA O. NIGRA *DARK AMERICAN ARBORVITAE | 5' TO 6' | B&B | UPRIGHT-PYRAMIDAL |
| GRASSES | | | | | |
| | 65 | PANICUM VIRGATUM 'CLOUD NINE' **CLOUD NINE SWITCH GRASS | 3 GAL. | CONT. | UPRIGHT |

*NATIVE, ** IMPROVED NATIVE
NOTE: ALL PLANTS CONTAINED IN LEGEND HAVE BEEN LOCATED ON SITE TO REFLECT A PROPER GROWING ENVIRONMENT AND MEET THE HARDINESS ZONE OF 6a AS DETERMINED BY THE U.S. DEPT. OF AGRICULTURE.

SITE DEVELOPMENT PLANS

TAX MAP 297 LOT 11
LANDSCAPE PLAN
3400 LAFAYETTE ROAD
PORTSMOUTH, NH
 OWNED BY
RICCI CONSTRUCTION CO., INC.
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=60' (11"X17")
SCALE: 1"=30' (22"X34") **MARCH 8, 2021**

NOTES

- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- PLANT TYPES MAY VARY BASED ON AVAILABILITY AND SUPPLY. THIS LAYOUT IS FOR ILLUSTRATIVE PURPOSES ONLY AND REPRESENTS THE INTENT, BUT PLANT SIZES, SPECIES, AND AMOUNTS MAY VARY.

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| REV | DATE | DESCRIPTION | DR | CK |
|-----|-----------|-------------------------------------|-----|-----|
| 3 | 7/27/2021 | REVISE PER SITE LAYOUT REVISIONS | MSK | JCC |
| 2 | 6/18/2021 | REVISE PER SITE LAYOUT REVISIONS | MSK | JCC |
| 1 | 5/13/2021 | REVISE PER GRADING & UTILITY LAYOUT | MSK | JCC |

TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

48 Constitution Drive
 Bedford, NH 03110
 Phone (603) 472-4488
 Fax (603) 472-9747
 www.tfmoran.com

45407.110 DR ARJ FB
 CK MSK CADFILE 45407-110 LANDSCAPE LS-1

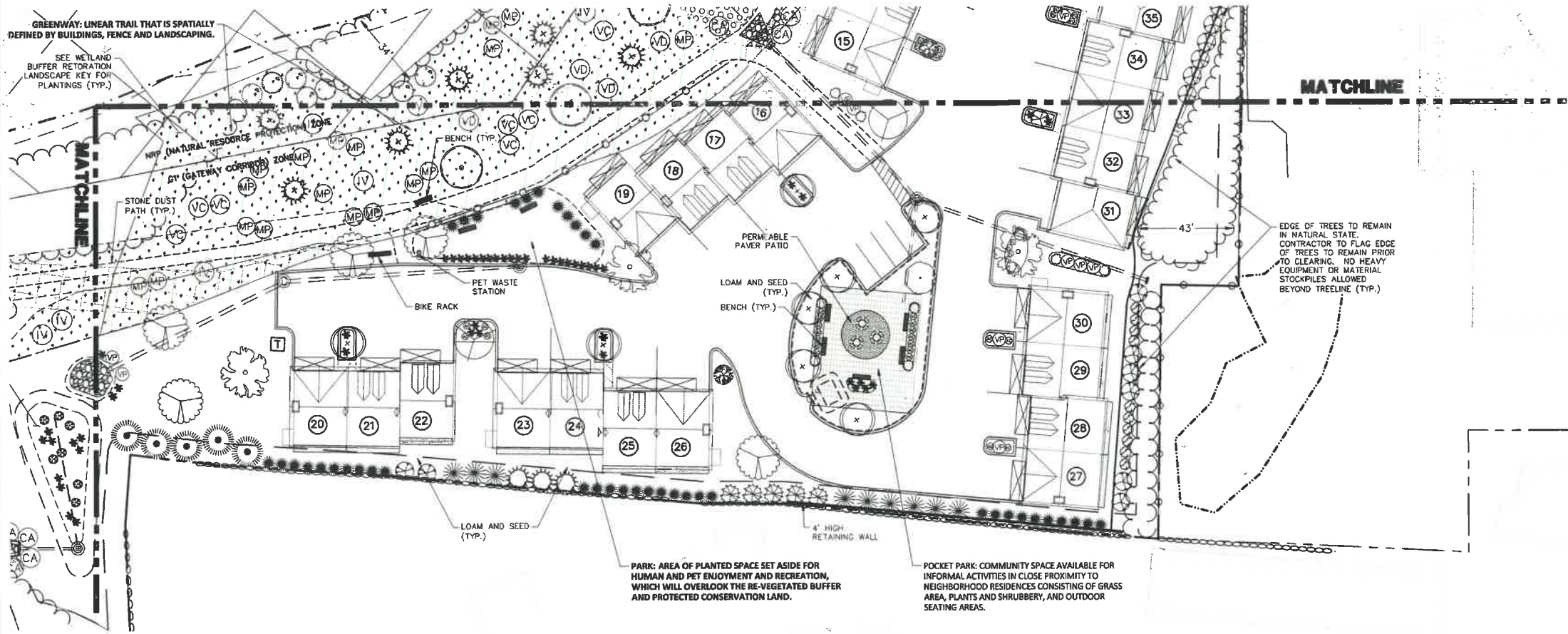
Jul 27, 2021 - 4:24pm
 F:\MISC Projects\45407 - Lafayette Rd - Portsmouth\45407-110 - Green and Co. - 3400 Lafayette Rd\Design\PRODUCTION DRAWINGS\45407-110 Landscape.dwg

NOTE

1. SEE DETAIL SHEET FOR LANDSCAPE RELATED NOTES AND DETAILS.

GREENWAY: LINEAR TRAIL THAT IS SPATIALLY DEFINED BY BUILDINGS, FENCE AND LANDSCAPING.

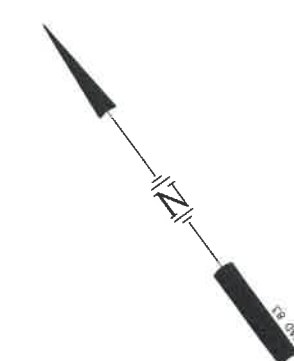
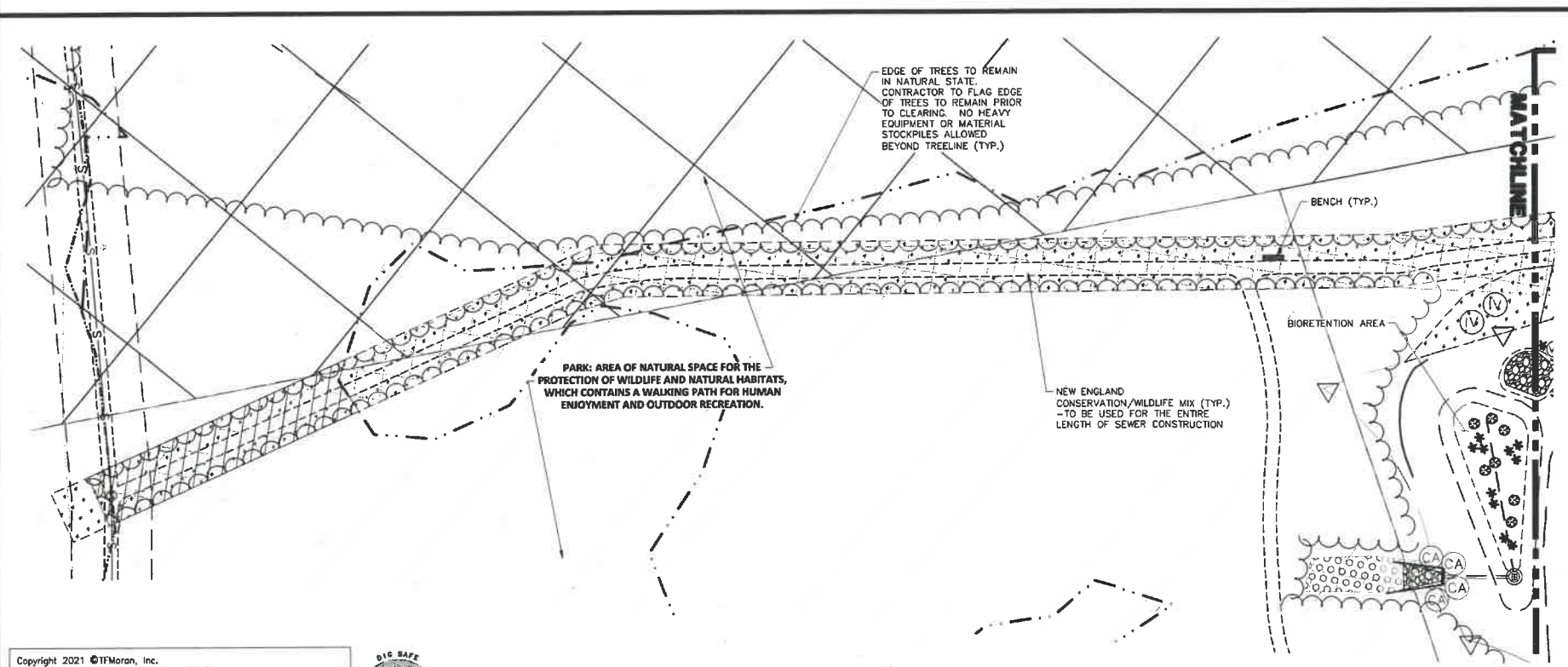
SEE WETLAND BUFFER RESTORATION LANDSCAPE KEY FOR PLANTINGS (TYP.)



WETLAND BUFFER RESTORATION KEY

| SYMBOL | QTY | BOTANICAL NAME COMMON NAME | SIZE | REMARKS | GROWTH HABIT |
|-------------------------------------|-----------|---|-------------------|----------|----------------|
| (Symbol: Circle with dot) | 6 | QUERCUS ALBA *WHITE OAK | 2" TO 2 1/2" CAL. | B&B | UP-RIGHT BROAD |
| (Symbol: Circle with vertical line) | 14 | RHUS TYPHINA *STAGHORN SUMAC | 3 GAL. | CONT. | CLUMPING |
| (Symbol: Circle with 'CA') | 34 | CORNUS AMOMUM *SILKY DOGWOOD | 3 GAL. | CONT. | ROUNDED |
| (Symbol: Circle with 'MP') | 26 | MYRICA PENNSYLVANICA *NORTHERN BAYBERRY | 3 GAL. | CONT. | ROUNDED |
| (Symbol: Circle with 'VD') | 24 | VIBURNUM DENTATUM *ARROWWOOD | 3 GAL. | CONT. | ROUNDED |
| (Symbol: Circle with 'IV') | 16/3 | ILEX VERTICILLATA *WINTERBERRY/**JIM DANDY WINTERBERRY | 3 GAL. | CONT. | ROUNDED |
| (Symbol: Circle with 'VC') | 13 | VACCINIUM CORYMBOSUM *Highbush BLUEBERRY | 3 GAL. | CONT. | ROUNDED |
| (Symbol: Circle with star) | 11 | PINUS STROBUS *WHITE PINE | 4' TO 5' | B&B | PYRAMDAL |
| (Symbol: Dotted pattern) | 5,980 SF | **NEW ENGLAND CONSERVATION/WILDLIFE MIX NEW ENGLAND WETLAND PLANT INC. | BAGS | BULK LBS | |
| (Symbol: Patterned pattern) | 16,400 SF | **NEW ENGLAND WETWIX NEW ENGLAND WETLAND PLANT INC. | BAGS | BULK LBS | |

*NATIVE, ** IMPROVED NATIVE



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HORIZONTAL SCALE 1"=30'
30 15 0 30

| REV | DATE | DESCRIPTION | DR | CK |
|-----|-----------|-------------------------------------|-----|-----|
| 3 | 7/27/2021 | REVISE PER SITE LAYOUT REVISIONS | MSK | JCC |
| 2 | 6/18/2021 | REVISE PER SITE LAYOUT REVISIONS | MSK | JCC |
| 1 | 5/13/2021 | REVISE PER GRADING & UTILITY LAYOUT | MSK | JCC |

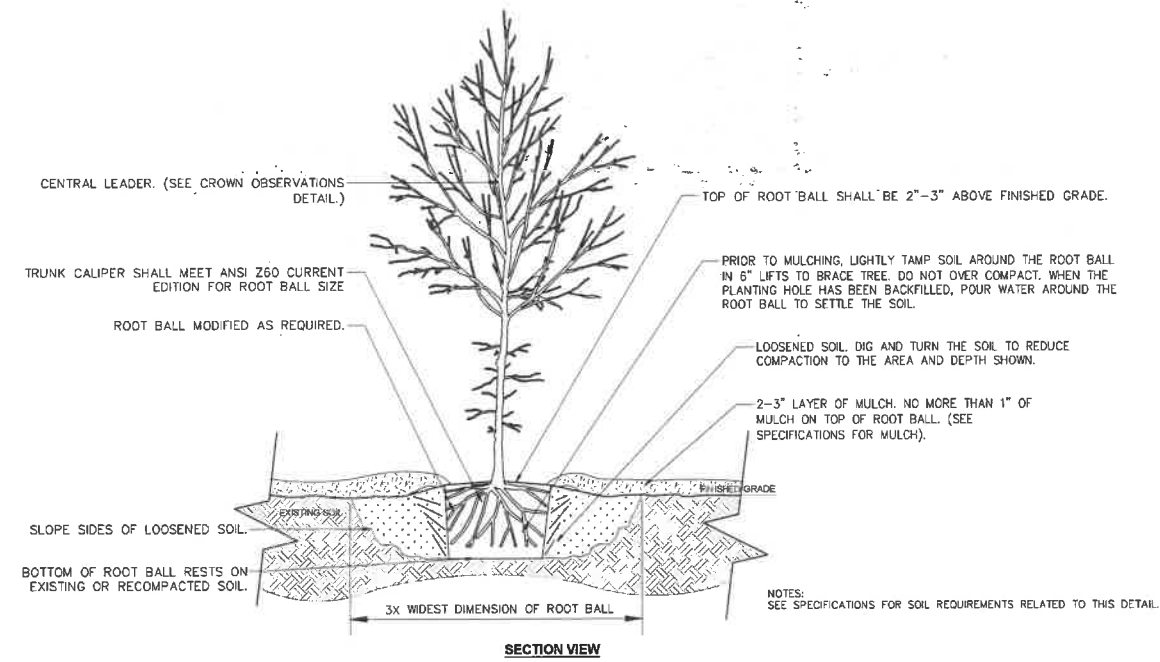
SITE DEVELOPMENT PLANS
TAX MAP 297 LOT 11
LANDSCAPE PLAN
3400 LAFAYETTE ROAD
PORTSMOUTH, NH
OWNED BY
RICCI CONSTRUCTION CO, INC.
PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=60' (11"X17")
SCALE: 1"=30' (22"X34") **MARCH 8, 2021**

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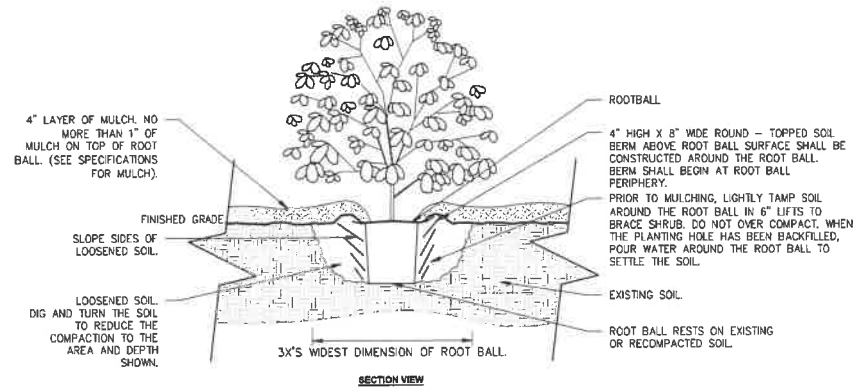
45407.110 DR ARJ FB
CK MSK CADFILE 45407-110 LANDSCAPE LS-2

Jul 27, 2021 - 4:25pm F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-10 - Green and Co - 3400 Lafayette Rd\Design\PRODUCTION DRAWING\45407-110 Landscape.dwg



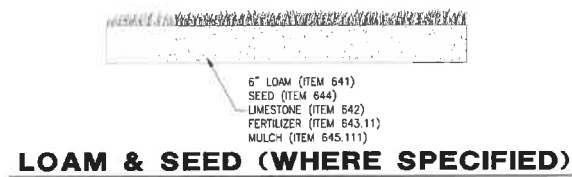
TREE WITH BERM

NOT TO SCALE



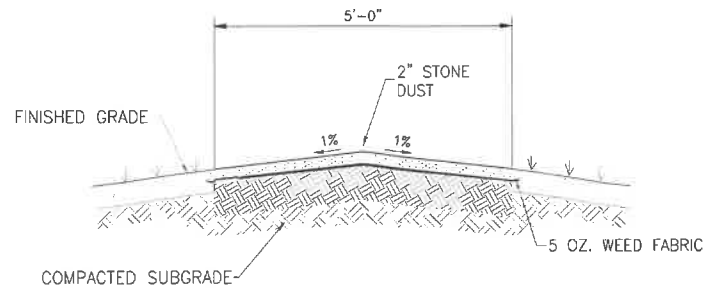
SHRUB PLANTING

NOT TO SCALE



LOAM & SEED (WHERE SPECIFIED)

NOT TO SCALE



STONE DUST PATH

NOT TO SCALE

LANDSCAPE NOTES

- CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWNWORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- CONTRACTOR WILL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
- SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE APPROPRIATE ARRANGEMENTS TO PROVIDE ALL PLANTS AND MATERIALS TO ACCOMMODATE PLANTING WITHIN THE TIME ALLOWED BY THE CONSTRUCTION SCHEDULE.
- PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
- ALL PLANTS WILL BE NURSERY GROWN.
- PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
- TREES WILL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 PART 1, "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".
- PLANTS MATERIAL IS SUBJECT TO APPROVAL / REJECTION BY THE LANDSCAPE ARCHITECT AT THE SITE AND AT THE NURSERY.
- ALL PLANTS WILL BE MOVED WITH ROOT SYSTEMS AS SOLID UNITS AND WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT WILL BE ACCEPTED WHEN BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE WILL BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS WILL BE WRAPPED WITH WIND PROOF COVERING.
- NEWLY PLANTED MATERIAL WILL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADE OF THE PLANT PRIOR TO DIGGING.
- MULCH FOR PLANTED AREAS (NOT INCLUDING RAIN GARDENS) WILL BE AGED SHREDDED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS UNLESS OTHERWISE SHOWN.
- PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIP LINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, WILL RECEIVE SIX (6) INCH LOAM AND SEED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ALL PLANT GROUPINGS WILL BE IN MULCH BEDS UNLESS OTHERWISE SPECIFIED OR NOTED ON PLANS. WHERE MULCHED PLANT BED ADJUTS LAWN, PROVIDE TURF CUT EDGE.
- ALL PLANT BEDS WILL INTERSECT WITH PAVEMENT AT 90 DEGREES UNLESS OTHERWISE NOTED ON PLANS.
- ALL PLANT BED EDGES WILL BE SMOOTH AND CONSISTENT IN LAYOUT OF RADII AND TANGENTS. IRREGULAR, WAVY EDGES WILL NOT BE ACCEPTED.

LANDSCAPE GUARANTEE AND MAINTENANCE NOTES

- CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF WATERING.
- CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR FROM TIME OF INSTALLATION.
- WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
- ALL NEW LAWNS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE REQUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNTIL ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IN WRITING.
- THE CONTRACTOR WILL MAINTAIN AND GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHOWING LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
- DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL THE FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.
- EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWTH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL THE FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

INVASIVE PLANT NOTES

- EXISTING NON-NATIVE, INVASIVE PLANT SPECIES WILL BE IDENTIFIED, REMOVED, DESTROYED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE LATEST UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION METHODS OF DISPOSING NON-NATIVE INVASIVE PLANTS. SEE "MANAGE AND CONTROL INVASIVES" AND PROPERLY DISPOSE OF INVASIVE PLANTS.

PORTSMOUTH NOTES

- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNER'S WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS INDICATED ON THESE PLAN(S).
- ALL REQUIRED PLANT MATERIAL WILL BE TENDED TO AND KEPT FREE OF REFUSE AND DEBRIS.
- ALL REQUIRED FENCES AND WALLS WILL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER WILL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.
- ALL IMPROVEMENTS SHOWN ON THIS PLAN WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THIS PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES WILL BE MADE TO THIS PLAN WITHOUT THE WRITTEN APPROVAL OF THE PORTSMOUTH PLANNING BOARD OR PLANNING DIRECTOR.
- THE LANDSCAPE PLAN WILL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

SEEDING NOTES

- SLOPES UP TO AND INCLUDING 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA.
- SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
- GENERAL SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.

SITE DEVELOPMENT PLANS

TAX MAP 297 LOT 11

LANDSCAPE DETAIL SHEET

**3400 LAFAYETTE ROAD
PORTSMOUTH, NH**

OWNED BY
RICCI CONSTRUCTION CO, INC.
PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: NOT TO SCALE

MARCH 8, 2021



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
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| 1 | 5/13/2021 | NO REVISIONS THIS SHEET | MSK | JCC | | |

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| 45407.110 | DR | ARJ | FB | - | LS-3 |
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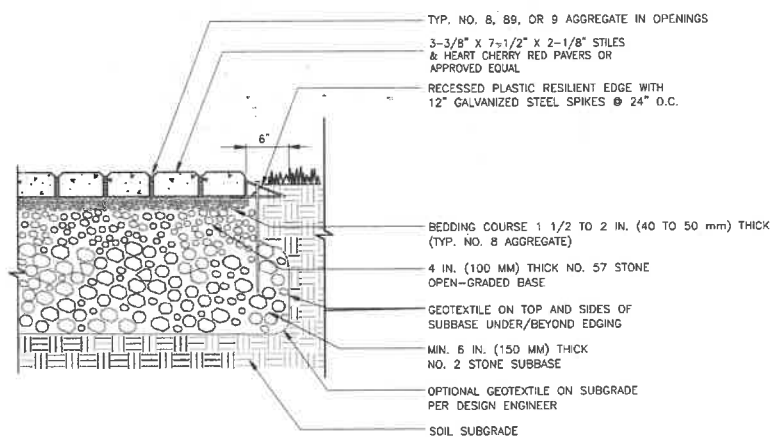
Jul 27, 2021 - 4:19pm F:\MSC Projects\45407 - Portsmouth Road - Lafayette Road - Portsmouth\45407-110 - Green and Co - 3400 Lafayette Rd\Design\PRODUCTION DRAWINGS\45407-110 Landscape.dwg

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SELECT DESIRED COLOR:

- CEDAR
- GREEN
- DESERT TAN
- BLACK
- BROWN
- GRAY

SELECT DESIRED FRAME COLOR:

- CEDAR
- GREEN
- DESERT TAN
- BLACK
- BROWN
- GRAY

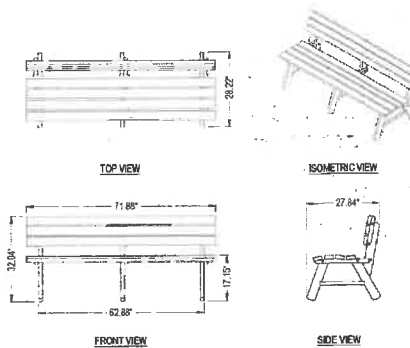
SELECT DESIRED MOUNT:

- PORTABLE

NOTES:

1. ALL MATERIAL RECYCLED HDPE.
2. ALL HARDWARE STAINLESS STEEL.
3. SHIPPED PARTIALLY ASSEMBLED.
4. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
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LEGEND A-FRAME BENCHES
ABC1020 - 5' LEGEND A-FRAME BENCH
OR APPROVED EQUAL



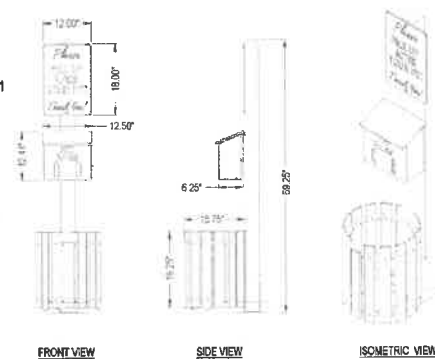
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SELECT DESIRED COLOR:

- CEDAR
- GREEN
- DESERT TAN
- BLACK
- BROWN
- GRAY

SELECT DESIRED MOUNT:

- SURFACE
- IN-GROUND



NOTES:

1. ALL MATERIAL RECYCLED HDPE.
2. ALL HARDWARE STAINLESS STEEL.
3. SHIPPED PARTIALLY ASSEMBLED.
4. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
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8. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 1177-206.

STANDARD ROLL BAG PET WASTE STATIONS

APW1220APW1215 - STANDARD ROLL BAG PET WASTE STATION AND SIGN (BAG DISPENSER, 5 GALLON RECEPTACLE, POST, SIGN) - SURFACE MOUNT OR IN-GROUND OR APPROVED EQUAL

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SITE DEVELOPMENT PLANS

TAX MAP 297 LOT 11
LANDSCAPE DETAIL SHEET
3400 LAFAYETTE ROAD
PORTSMOUTH, NH

OWNED BY
RICCI CONSTRUCTION CO, INC.
PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: NOT TO SCALE

MARCH 8, 2021

| REV | DATE | DESCRIPTION | BY | CHK |
|-----|-----------|----------------------------------|-----|-----|
| 2 | 6/18/2021 | REVISE PER SITE LAYOUT REVISIONS | MSK | JCC |

| | | | | | | | | |
|--|--|---|-----------|-----|---------|---------------------|---|------|
| | Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists | 48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com | 45407.110 | DR | ARJ | FB | - | LS-4 |
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WETLAND FUNCTION VALUE ASSESSMENT REPORT

**Lafayette Road Site Development
Portsmouth, NH**

July 2021
04.0191186.00



PREPARED FOR:
Stonearch Development Corporation
42J Dover Point Road
Dover, New Hampshire

GZA GeoEnvironmental, Inc.
5 Commerce Park North, Suite 201 | Bedford, NH 03110-6984
603-623-3600

Offices Nationwide
www.gza.com

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Via Email

July 9, 2021
File No. 04.0191186.00

Mr. John O'Neil
42J Dover Point Road
Dover, New Hampshire 03820

Re: Wetland Function-Value Assessment Report
Lafayette Road, Tax Map 297, Lot 11
Portsmouth, New Hampshire

Dear Mr. O'Neil:

GZA GeoEnvironmental, Inc. (GZA) is pleased to submit the attached Wetland Function-Value Assessment Report for the proposed Site development located off Lafayette Road in Portsmouth, New Hampshire (i.e. the Site). This report summarizes the results of the field work completed by GZA on May 26, 2021 and June 28, 2021 to document wetland functions and values assessment and impact evaluation results for the Site. Wetland delineation field work and wetland function and value assessments were performed by Mr. Peter Petkauskos, Mr. James Long, State of New Hampshire Certified Wetland Scientist (CWS #007) and Certified Soil Scientist (CSS #015) and Ms. Tracy Tarr (CWS #281) on January 20, 2021, May 26, 2021, and June 28, 2021. Additional wildlife observations were completed by Logan Young on June 11, 2021 and incorporated into the wetland function-value assessment.

Please feel free to contact Lindsey White at 603-232-8753 or lindsey.white@gza.com if you have any questions regarding this Wetland Function-Value Assessment Report.

Very truly yours,

GZA GEOENVIRONMENTAL, INC.

Lindsey White, Wetland Scientist Apprentice
Project Manager

Deborah M. Zarta Gier, CNRP
Consultant / Reviewer

Tracy L. Tarr, CWS, CESSWI
Associate Principal

LEW/TLT/DMZ:

Attachment: Wetland Function-Value Assessment Report



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1.0 INTRODUCTION

This report presents the results of the wetland function-value assessment and an impact evaluation conducted by GZA GeoEnvironmental, Inc. (GZA) for the proposed Site development of the parcel identified as Tax Map 297, Lot 11, located off Lafayette Road in Portsmouth, New Hampshire. The parcel is approximately 45 acres and is bordered to the east by Lafayette Road, to the south by Coach Road, to the west by City of Portsmouth owned land, and to the north by Ocean Road and Nathaniel Drive.

This report was prepared to provide a wetland function-value assessment and an impact evaluation based on the current project concept (refer to **Site Plan Figure C2** prepared by Jones & Beach Engineers, inc. dated 5/5/2021). On Site wetlands were delineated by Mr. James Long of GZA, State of New Hampshire Certified Wetland Scientist (#007) and Certified Soil Scientist (#015), on January 20, 2021. An additional Site walk to evaluate wetlands and conduct preliminary wetland function and value assessments was conducted by Mr. James Long and Ms. Tracy Tarr (CWS #281) of GZA on May 26, 2021. Wildlife assessment field work was conducted by Mr. Logan Young of GZA on June 11, 2021. Additional wetland function and value assessment was conducted by Mr. Peter Petkauskos of GZA (Wetland Scientist Apprentice) on June 28, 2021. GZA understands that the data from the function-value assessment will be used in permit applications for the construction of a proposed condominium development. This report is subject to the Limitations in **Appendix A**.

2.0 PROJECT DESCRIPTION

2.1 SCOPE OF WORK

Professional services provided by GZA within the work area described below included:

- **Assessment of Wetland Functions and Values.** As part of this assessment, GZA reviewed the regional natural resource significance of the property and natural resource maps prepared by the City of Portsmouth including the City of Portsmouth Prime Wetlands Analysis Report prepared by West Environmental, Inc. (West Environmental), dated 2006, the City of Portsmouth Public Undeveloped Land Assessment Comprehensive Baseline Inventory and Natural Resource Inventory prepared by West Environmental, dated 2010, and the City of Portsmouth Vernal Pool Inventory prepared by West Environmental, dated 2008.
- For additional context, GZA reviewed data available through the New Hampshire Geographically Referenced Analysis and Information Transfer System (NHGRANIT) including 2015 aerial photography, United States Geologic Service (USGS) topography, and New Hampshire Wildlife Action Plan data published by the New Hampshire Fish and Game Department (NHF&G).
- Wetland function-value assessment field work was conducted by Peter Petkauskos, Wetland Scientist Apprentice and Tracy L. Tarr, Certified Wetland Scientist (CWS #281) on May 26, 2021 and June 28, 2021

2.2 DESCRIPTION OF WORK AREA



The site consists of 45 acres and is located off Lafayette Road in Portsmouth, New Hampshire and identified by the City of Portsmouth as Lot 11 on Tax Map 297. The Site is located off an existing gravel access road abutting Lafayette Road. The eastern portion of the Site off of Lafayette Road (approximately three acres) is the current location and headquarters of Cornerstore Tree Care, a wood processing operation. Currently, the eastern portion of the Site contains compacted gravel for access and vehicle/trailer and equipment parking, as well as woodchip stockpiles. There is approximately 11,400 sq. ft. of existing disturbance to the 100-ft prime wetland buffer as a result of the compacted gravel and woodchip stockpiles. The remainder of the Site to the west is undeveloped forested wetland and upland. The Site is bordered to the east by Lafayette Road, to the south by Coach Road, to the west by City of Portsmouth owned land, and to the north by Ocean Road and Nathaniel Drive.

3.0 METHODOLOGY

3.1 WETLAND FUNCTION-VALUE ASSESSMENT

The functions and values of wetlands were assessed by GZA utilizing the ACOE Highway Methodology Workbook Supplement (ACOE September 1999). The functions and values assessed included: groundwater recharge/discharge, floodflow alteration, fish/shellfish habitat, sediment/toxicant retention, nutrient removal, production export, sediment/shoreline stabilization, wildlife habitat, recreation, education/scientific value, visual quality/aesthetics, uniqueness/heritage, and endangered species habitat. Functions and values are considered “principal” if they are determined to be an important physical component of a wetland ecosystem, and/or are considered of special value to society, from a local, regional, and/or national perspective. Functions and values may be considered “capable” if a wetland can provide any given function or value on a limited basis. The rationale for the assignment of functions as principal or capable is based upon professional judgment with guidance provided in a list of considerations outlined in the ACOE methodology.

4.0 RESULTS

4.1 RARE SPECIES AND IMPACT ASSESSMENT

GZA queried the Natural Heritage Bureau (NHB) to determine if there any known records of rare species or exemplary communities near or on the Site. According to the NHB, the Site is approximately 0.13 miles southeast of the following exemplary communities: Atlantic white cedar - yellow birch - pepperbush - swamp and red maple - sensitive fern swamp. These communities are not mapped by NHB on the Site.

4.2 REGIONAL NATURAL RESOURCE SIGNIFICANCE OF THE SITE

GZA reviewed publicly available natural resource information published by the NH Fish and Game Department, the Rockingham Planning Commission, GRANIT, and the City of Portsmouth (e.g. Natural Resource Chapter in the Master Plan). Based on 2020 Wildlife Action Plan (WAP) maps, prepared by NHF&G, the western portion of the Site is part of the “highest ranked habitat in the region” (see **Figure 3**, Wildlife Action Plan Habitats). In addition, there are no areas mapped as “flood hazard areas” on the Site based on the 2015 Regional Master Plan – Natural Resources Chapter dated April 2015, prepared by the Rockingham Regional Planning Commission. However, based on the “Conservation and Other Public Land Map”, the Site is considered a Conservation Priority Area.



In addition, GZA reviewed the regional natural resource significance of the property and natural resource maps prepared by the City of Portsmouth including the City of Portsmouth Prime Wetlands Analysis Report prepared by West Environmental, Inc. (West Environmental), dated 2006, the City of Portsmouth Public Undeveloped Land Assessment Comprehensive Baseline Inventory and Natural Resource Inventory prepared by West Environmental, dated 2010, and the City of Portsmouth Vernal Pool Inventory prepared by West Environmental, dated 2008. Wetland 2 is designated as a Prime Wetland in the City of Portsmouth and has a designated 100-ft Prime Wetland buffer. In accordance with the Prime Wetlands Analysis (2006), a Prime Wetland must meet the following minimum criteria:

- 1) The wetland shall have the presence of hydric soils, hydrophytic vegetation, and wetlands hydrology; and
- 2) At least 50% of the prime wetland shall have very poorly drained soils and the remaining soils shall be poorly drained soils.

A total of 27 wetlands were evaluated in the City of Portsmouth and further evaluated for prime wetland designation consideration based on soils, changes in wetland classification since 2002, wetland boundary verification, land use changes within the wetland buffer, potential water quality impacts, invasive species, information on rare plants and wildlife, wildlife habitat, education/scientific values, restoration potential, results of functional analysis, and justification for prime wetland designation. Wetland 2 (i.e. Wetland 001 as defined by the City) was identified as a prime wetland candidate based on its proximity to Berry's Brook wetland complex, Atlantic White Cedar stands, and because it is the sixth largest wetland in the City.

Based on the Portsmouth Vernal Pool Inventory (2008), two vernal pool focus areas were identified approximately 0.66 miles northwest of the Site within the same prime wetland complex as Wetland 2. These two vernal pools are identified as Focus Areas 5C and 5D (refer to **City of Portsmouth Vernal Pool Inventory** report, dated 2008). Both areas were noted within Atlantic white cedar and red maple forest stands and mosquito larvae and water striders were observed at the time of the assessment, and were noted to be capable of supporting vernal pool activity. These areas are located off-site.

In accordance with the Natural Resource Inventory (2010), parcels of land closest to the Site, identified as Public Undeveloped Land Assessment (PULA) ID 6, 7, 8, 15, 16, 18, 19, 20, were evaluated for overall stewardship suggestions based on access, recreation, wildlife habitat, stormwater management opportunities, invasive species control, wetland restoration, education potential, forest management, alternative energy, community gardens, and stewardship clean-up. Site specific management suggestions for each of the above referenced PULA ID's included protection as wildlife habitat, and several areas were suggested to consider conservation protection in perpetuity. PULA ID 15, located just west of the Site, suggested maintaining a trail along the southern property boundary.

4.3 WETLAND FUNCTION-VALUE ASSESSMENT

Two wetland systems were identified by GZA on the Site (see **Table 1**, Wetland Classification Summary Table and **Figure 2**, Aerial Overview). Wetland 1 is a small, isolated wetland system located on the southern portion of the Site near existing residential properties off Lafayette Road. Wetland 2 is a large emergent and forested wetland system located in the northern, western, and southern portions of the Site, and located west of the proposed development. Wetland 2 contains several ponded areas and emergent marsh habitat that GZA understands was intentionally created as part of a wetland mitigation project conducted as part of the construction of the Portsmouth Regional Hospital. Wetland 2 has also been designated as a prime wetland by the City of Portsmouth and has a designated 100-ft prime wetland buffer.



TABLE 1
Wetland Classification Summary Table

| Wetland Description | Wetland Classification |
|---------------------|---------------------------|
| Wetland 1 | PFO1/PSS1E |
| Wetland 2 | PFO1E/PFO1Fg/PUBHx/PEM1Hx |

4.3.1 Wetland 1

Wetland 1 is located in the eastern portion of the Site near Lafayette Road and is demarcated by the A-line wetland flag series (refer to previously submitted **Wetland Delineation Report** prepared by GZA dated February 4, 2021). Wetland 1 is approximately 5,600 sq. ft. and is classified as a palustrine forested and scrub-shrub wetland system dominated by broad leaved deciduous vegetation that is seasonally saturated (PFO1/PSS1E). Dominant vegetation in the wetland includes sensitive fern (*Onoclea sensibilis*), golden rod (*Solidago spp.*), soft rush (*Juncus effusus*), meadowsweet (*Spiraea latifolia*), silky dogwood (*Cornus amomum*), red osier dogwood (*Cornus sericea*), glossy buckthorn (*Frangula alnus*), northern arrowwood (*Viburnum dentatum*), red maple (*Acer rubrum*), and American elm (*Ulmus americana*). Wetland hydrology is seasonally saturated and does not appear to be adequate to support vernal pool species.

The principal functions of the wetland system include floodflow alteration and sediment/toxicant retention. This wetland is an isolated scrub-shrub and forested wetland system to the west of an existing parking lot for a residential apartment building. This wetland appears to accept runoff for the existing parking lot and has evidence a localized flood storage capability. The wetland is located in close proximity to an existing hotel development (“Wren’s Nest Village Inn”) and commercial development (“A Southern Girl Bakery”) and the wetland may receive sediment/toxicants from the surrounding landscape. Wetland 1 is also capable of groundwater recharge/discharge, nutrient removal, and wildlife habitat, albeit on a small, localized scale. The wetland may provide partial habitat requirements for disturbance-tolerant species, but small size, limited hydrology, and proximity to existing development limit overall potential use of the wetland by wetland-dependent species. The project does not propose any temporary or permanent wetland impacts to this system.



View of Wetland 1 looking southerly.

4.3.2 Wetland 2

Wetland 2 is located in the center of the Site just west of Lafayette Road and Wetland 1. The exterior of the wetland is classified as a palustrine forested wetland system dominated by broad leaved deciduous vegetation that is seasonally saturated (PFO1E). The interior of the wetland is classified as a palustrine forested wetland system dominated by broad leaved deciduous vegetation that is semi-permanently flooded/saturated (PFO1Fg).

The southeastern portion of the wetland is classified as a palustrine forested wetland system dominated by broad-leaved deciduous vegetation and is seasonally saturated (PFO1E). The eastern and northeastern portion of the wetland is classified as a palustrine wetland system with unconsolidated bottom and is semi-permanently flooded and has been excavated (PUBHx), and a palustrine emergent wetland system dominated by broad leaved deciduous vegetation and is semi-permanently flooded and has been excavated (PEM1Hx). Dominant vegetation in the forested wetland includes sensitive fern, cinnamon fern (*Osmundastrum cinnamomeum*), bristly dewberry (*Rubus hispidus*), skunk cabbage (*Symplocarpus foetidus*), sphagnum moss (*Sphagnum spp.*), American hornbeam (*Carpinus caroliniana*), American witch hazel (*Hamamelis virginiana*), highbush blueberry (*Vaccinium corymbosum*), common winterberry (*Ilex verticillata*), gray birch (*Betula populifolia*), red maple, black gum (*Nyssa sylvatica*), American elm, yellow birch (*Betula alleghaniensis*), black cherry (*Prunus serotina*), eastern hemlock (*Tsuga canadensis*), and white pine (*Pinus strobus*). Dominant vegetation in the emergent wetland includes broad-leaf cattail (*Typha latifolia*), narrow-leaf cattail (*T. angustifolia*), tussock sedge (*Carex stricta*), and multiflora rose (*Rosa multiflora*).

Wildlife observed in the emergent portion of Wetland 2 during the June 11, 2021 site visit included black-capped chickadee (*Poecile atricapillus*), red-winged blackbird (*Agelaius phoeniceus*), song sparrow (*Melospiza melodia*), gray catbird (*Dumetella carolinensis*), northern cardinal (*Cardinalis cardinalis*), green frog (*Lithobates clamitans*), and American beaver (*Castor canadensis*). Additional species noted in the uplands and proposed development area included American goldfinch (*Spinus tristis*), gray catbird, eastern chipmunk (*Dumetella carolinensis*), and American robin (*Turdus migratorius*). Pondered portions of the wetland also likely support waterfowl such as mallard and amphibians and reptiles including painted turtle (*Chrysemys picta*), snapping turtle (*Chelydra serpentina*), and green frog (*Lithobates clamintans*).



The principal functions of the wetland system include groundwater recharge/discharge, floodflow alteration, sediment/toxicant retention, nutrient removal, production export, wildlife habitat, and uniqueness/heritage. Wetland 2 contains a well-stratified herbaceous, shrub, and tree layer. In addition, Wetland 2 is capable of fish and shellfish habitat, sediment/shoreline stabilization, recreation, endangered species habitat, and visual quality/aesthetics. The presence of several ponded areas, as well as forested cover, supports common woodland wildlife species such as white-tailed deer (*Odocoileus virginianus*) and pileated woodpecker (*Dryocopus pileatus*), which were observed during field work in June. In addition, the wetland is contiguous with other forested areas off-Site, which provided connectivity for species with large home ranges. The ponded and emergent portions of Wetland 2 provide breeding and foraging habitat for semi-aquatic and aquatic species. Wetland 2 is contiguous with other wetland systems connected to various conservation lands and drains to the south via Berry's Brook which leads into the Piscataqua River. The wetland is designated as a prime wetland and contains exemplary communities identified by the New Hampshire Natural Heritage Bureau (see NHB memo NHB21-1722) approximately 0.13 miles west of the Site.



View of Wetland 2 looking northwesterly.

4.3.3 Impact Evaluation

The proposed project includes the development of 13 separate buildings, with a total of 50 condo units and associated parking areas (refer to **Site Plan Figure C2** prepared by Jones & Beach Engineers, inc. dated 5/5/2021). The project does not propose permanent or temporary wetland impacts, and this is a notable aspect of the design. Proposed project impacts have been substantially reduced from earlier concepts. An earlier concept of the project included sewer main replacement in the prime wetland and this portion of the scope was removed from the project design, thereby avoiding temporary and permanent wetland impacts. Further, the footprint of the project is intentionally sited in the location of an existing wood processing operation, to limit new impacts to undeveloped areas. To be protective of the on-site prime wetland, larger landscape, and exemplary communities known to occur off-Site, the project includes a large conservation area that includes a mix of wetland and upland habitat. This supports the goals of the larger Conservation Focus Area that overlaps the Site. The project design includes a proposal to construct a walking trail, which has potential to increase visual aesthetics and recreation values of the



wetland by improving access. The addition of the trail supports goals outlined in the City of Portsmouth Public Undeveloped Land Assessment.

The proposed project includes a planting plan to restore and re-vegetate the 100-ft prime wetland buffer where it is currently disturbed as a result of the existing land use (refer to **Site Presentation Plan** and **Site Landscape Plan** prepared by TF Moran dated June 18, 2021 and March 8, 2021, respectively). In accordance with the City of Portsmouth Natural Resource Inventory management suggestions of surrounding parcels, the proposed project will serve to improve wildlife habitat by restoring the currently impacted 100-ft prime wetland buffer with native plantings. Restoration and planting within the 100-ft prime wetland buffer will also serve to improve the wetlands standing as a designated prime wetland in accordance with the City's Prime Wetland Analysis Report since land use changes within the wetland buffer are part of the prime wetland designation analysis. The project also includes secondary measures to protect the features of the wetland buffer including downward facing lighting, dog waste stations, and trails to protect vegetative growth in the buffer, by focusing and guiding foot traffic.

Consistent with a purpose of the prime wetland buffer (i.e. to aid in the control of nonpoint source pollution and to provide vegetative cover for filtration of runoff), two drainage swales are proposed within the 100-ft prime wetland buffer just west of the proposed development to treat stormwater prior to discharge to the wetland. These swales are relatively small features totaling approximately 7,000 square feet, and are proposed to be vegetated. Proposed building and parking construction is located outside of the 100' wetland buffer, and this has reduced proposed buffer impacts over previously proposed impacts. In its current condition, the 100-ft prime wetland buffer is sparsely vegetated, and vehicles are parked within the buffer. In some locations, the 100-ft prime wetland buffer is disturbed due to compacted gravel and woodchip stockpiles. As a result, as part of the proposed project, the 100-ft prime wetland buffer adjacent to the proposed access will be restored by planting native tree species including red maple (*Acer rubrum*), sugar maple (*Acer saccharum*), black gum (*Nyssa sylvatica*), American elm (*Ulmus americana*), red-osier dogwood (*Cornus sericea*), as well as other tree and shrub species (refer to **Site Landscape Plan** prepared by TF Moran, Inc., dated March 8, 2021). Therefore, the proposed project will serve to restore the prime wetland buffer by providing natural vegetation, ultimately improving the functions and values of the associated wetland system. Due to the reduction of proposed wetland and upland buffer impact, location of an existing commercial business in the proposed project area, inclusion of additional conservation land, and the proposed improvement of the 100-ft prime wetland buffer, it is not anticipated that the proposed development will have significant impacts to the functions and values of Wetland 2. As designed, the project proposed to improve the visual aesthetics and recreation values of the wetland. The project represents a re-development that includes buffer restoration and measures to limit potential secondary impacts in the wetland buffer.

5.0 FINDINGS AND CONCLUSIONS

GZA has completed a wetland function-value assessment and impact evaluation for Stonearch Development Corporation's proposed condo development project. The following is a summary of our findings and conclusions:

- Two wetland systems were identified on the Site. The wetlands consist of a Wetland 1 (PFO1/PSS1E) and Wetland 2 (PFO1E/PFO1Fg/PUBHx/PEM1Hx).
- Wetland 1 is directly adjacent to an existing development while Wetland 2 contains mainly forested cover with an emergent wetland with several ponds to the northeast as a result of a prior wetland mitigation project.



- Wetland 1 provides floodflow alteration and sediment/toxicant retention as principal functions, while Wetland 2 provides groundwater recharge/discharge, floodflow alteration, sediment/toxicant retention, nutrient removal, production export, wildlife habitat, and uniqueness/heritage as principal functions.
- GZA reviewed the City of Portsmouth Prime Wetlands Analysis Report prepared by West Environmental, Inc. (West Environmental), dated 2006, the City of Portsmouth Public Undeveloped Land Assessment Comprehensive Baseline Inventory and Natural Resource Inventory prepared by West Environmental, dated 2010, and the City of Portsmouth Vernal Pool Inventory prepared by West Environmental, dated 2008. Resources identified in these assessments and reports will not be impacted as a result of the proposed project. In addition, the planting plan which is proposed to be implemented as part of the project would serve to help improve the condition of the 100-ft prime wetland buffer.
- GZA reviewed state-wide mapping efforts to assess the regional importance of the Site from a natural resource perspective. According to 2020 WAP maps, a majority of the undeveloped portion of the Site not proposed to be developed is mapped as highest ranked habitat in the region. However, the portion of the Site to be developed is primarily not ranked, with a portion of the site northwest of the proposed development ranked as Supporting Landscapes. No Highest Ranked Habitat in New Hampshire is mapped on the Site.
- NHB identified two exemplary natural communities near the Site including Atlantic white cedar - yellow birch - pepperbush - swamp and red maple - sensitive fern swamp.
- The project includes the proposed construction of 13 separate buildings, with a total of 50 condo units and associated parking areas, predominantly in the footprint of an existing wood processing operation.
- The project was designed to avoid temporary and permanent wetland impacts. No wetland impacts are proposed as part of the access and buildings associated with the project. In addition, the proposed sewer replacement portion of the project was removed from the concept.
- The project includes measures to reduce potential secondary impacts in the wetland buffer including downward facing lighting in the development, trails to direct foot traffic, and dog waste stations.
- The project includes a large, proposed conservation area, bordering existing conservation land in support of a Conservation Focus Area and goals identified in the Public Undeveloped Land Assessment.
- A substantial buffer planting plan has been developed, to restore and re-plant a portion of the 100-ft prime wetland buffer. In addition, the two proposed swales in the buffer will be planted with a native seed mix, consistent with maintaining the buffer, in a natural, vegetated condition.
- The project has been designed to avoid impacts to wetland functions and values and provides potential to improve visual aesthetics and recreation values of Wetland 2.



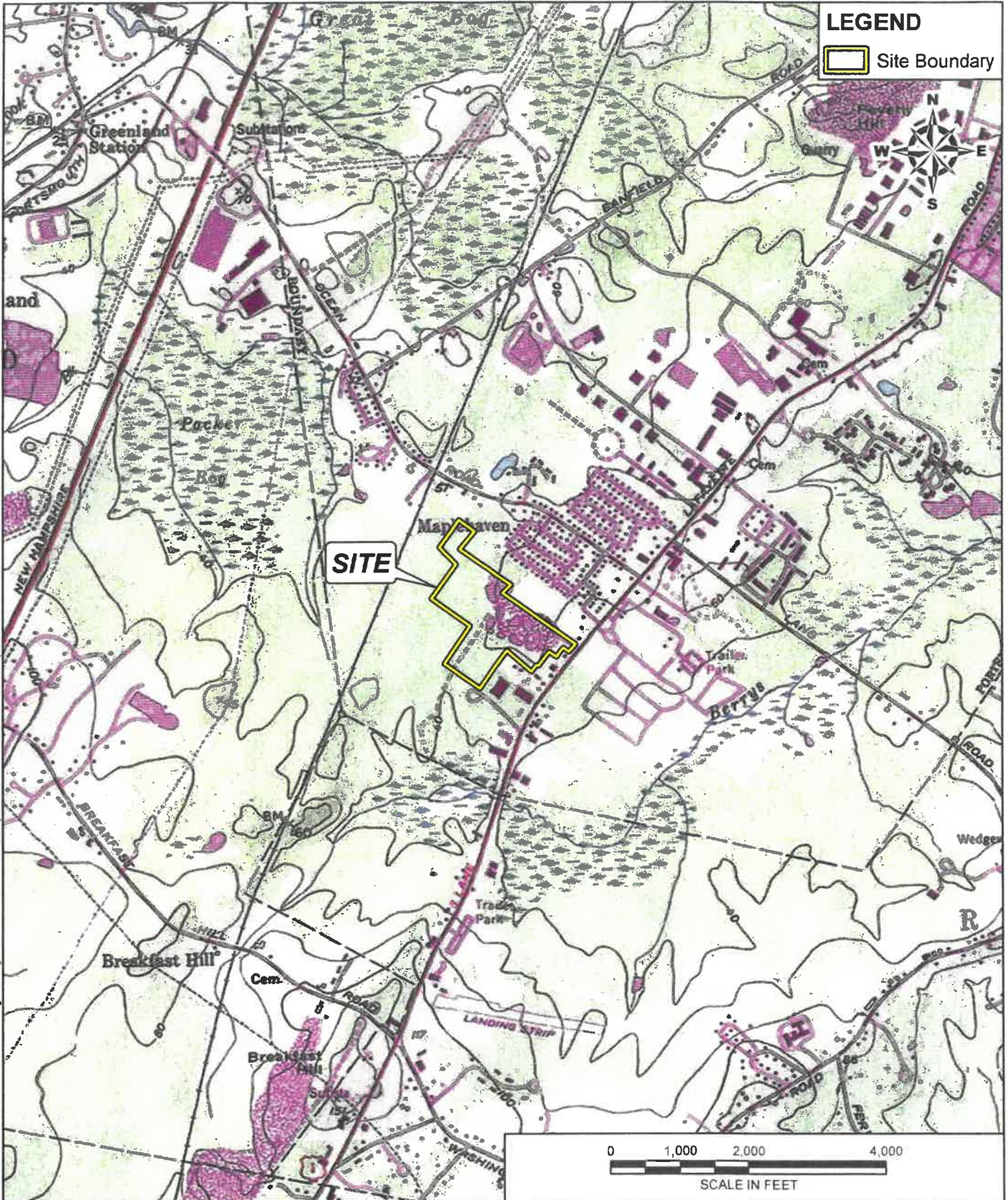
REFERENCES

- Degraaf, R. M. and M. Yamasaki. 2001. *New England Wildlife: Habitat, Natural History, and Distribution*. University Press of New England, Hanover, NH.
- Sperduto, D. D. and W. F. Nichols. 2012. *Natural Communities of New Hampshire*, 2nd edition. The New Hampshire Natural Heritage Bureau, Concord, NH. Pub. UNH Cooperative Extension, Durham, NH.
- U.S. Army Corps of Engineers, New England District. 1999. *Wetland Functions and Values: A Descriptive Approach*. NAEEP-360-1-30a.



Figure 1 - Site Locus

© 2021 - GZA Geo-Environmental, Inc. P:\04.Jobs\0191100s\04.0191186.dwg\Figures\Figure 1 - Locus 10-7.mxd, July 09, 2021 - 10:54:38 AM, lindsey.white



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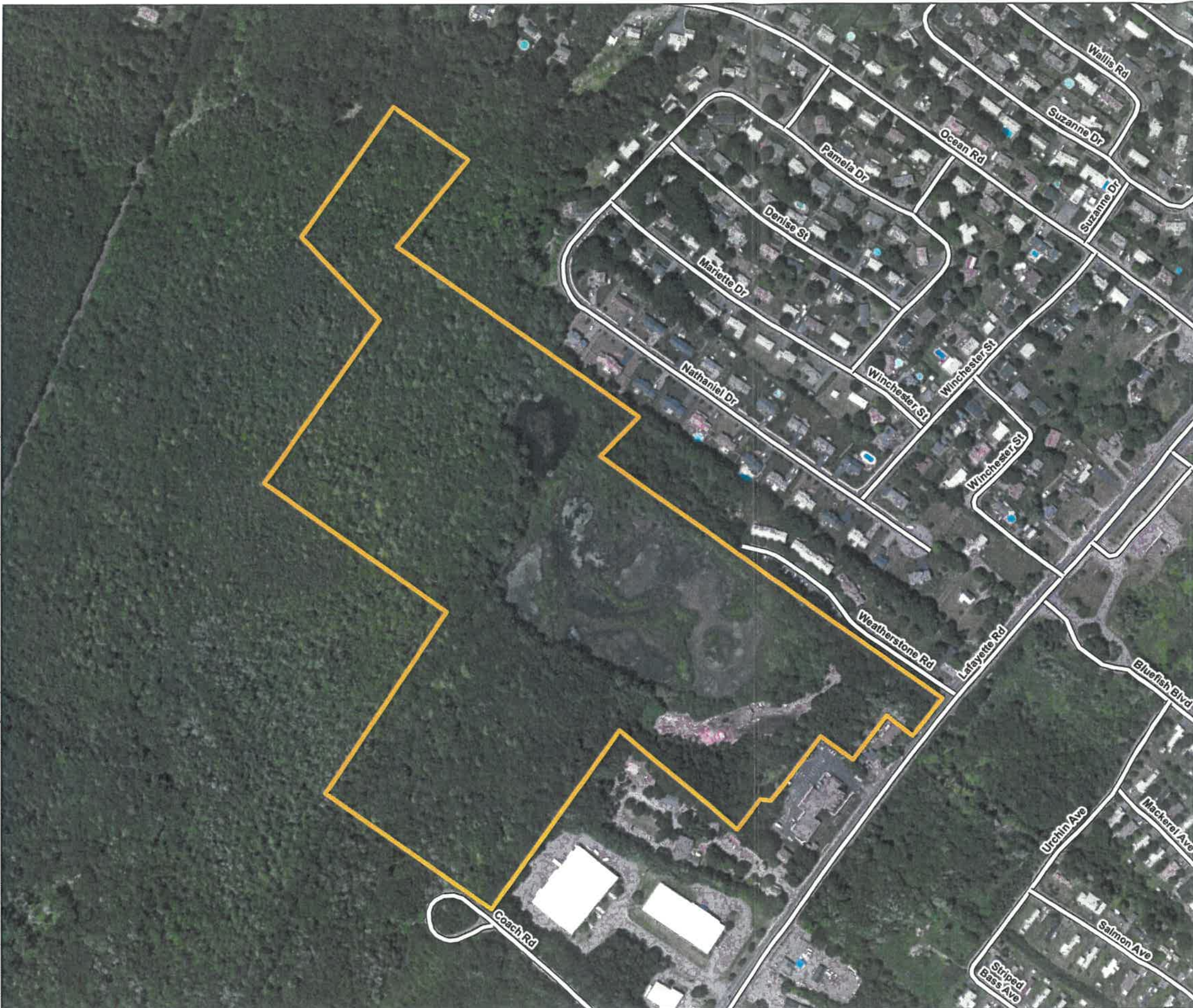
TAX MAP 297 LOT 11
408 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

LOCUS PLAN

| | | | | | | | | |
|---|---------------------|--------------|-------------|--|-----------------|--------------|------------------|------|
| 0 | | 1,000 | | 2,000 | | 4,000 | | |
| SCALE IN FEET | | | | | | | | |
| NO. | ISSUE / DESCRIPTION | | | | | | BY | DATE |
| PREPARED BY: GZA GeoEnvironmental, Inc. Engineers and Scientists www.gza.com | | | | PREPARED FOR: STONEARCH DEVELOPMENT CORPORATION | | | | |
| PROJ MGR: | LTY | REVIEWED BY: | TLT | CHECKED BY: | DMZ | FIG | | |
| DESIGNED BY: | MJD | DRAWN BY: | MJD | SCALE: | 1 in = 2,000 ft | | | |
| DATE: | 07/09/2021 | | PROJECT NO: | 04.0191186.00 | | REVISION NO: | | |
| | | | | | | 1 | SHEET NO: 1 OF 4 | |

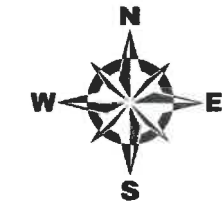


Figure 2 - Site Aerial Overview



LEGEND

- Site Boundary
- DOT Roads



- NOTES:**
1. AERIAL IMAGERY FROM ESRI WORLD IMAGERY BASEMAP.
 2. DOT ROADS WERE OBTAINED FROM THE UNH GRANIT GIS CLEARINGHOUSE AND SHOULD BE CONSIDERED APPROXIMATE.
 3. SITE BOUNDARY WAS APPROXIMATED BASED ON PARCEL DATA OBTAINED FROM THE UNH GRANIT GIS CLEARINGHOUSE AND SHOULD BE CONSIDERED APPROXIMATE.

| NO | ISSUE / DESCRIPTION | BY | DATE |
|----|---------------------|----|------|
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**TAX MAP 297 LOT 11
408 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE**

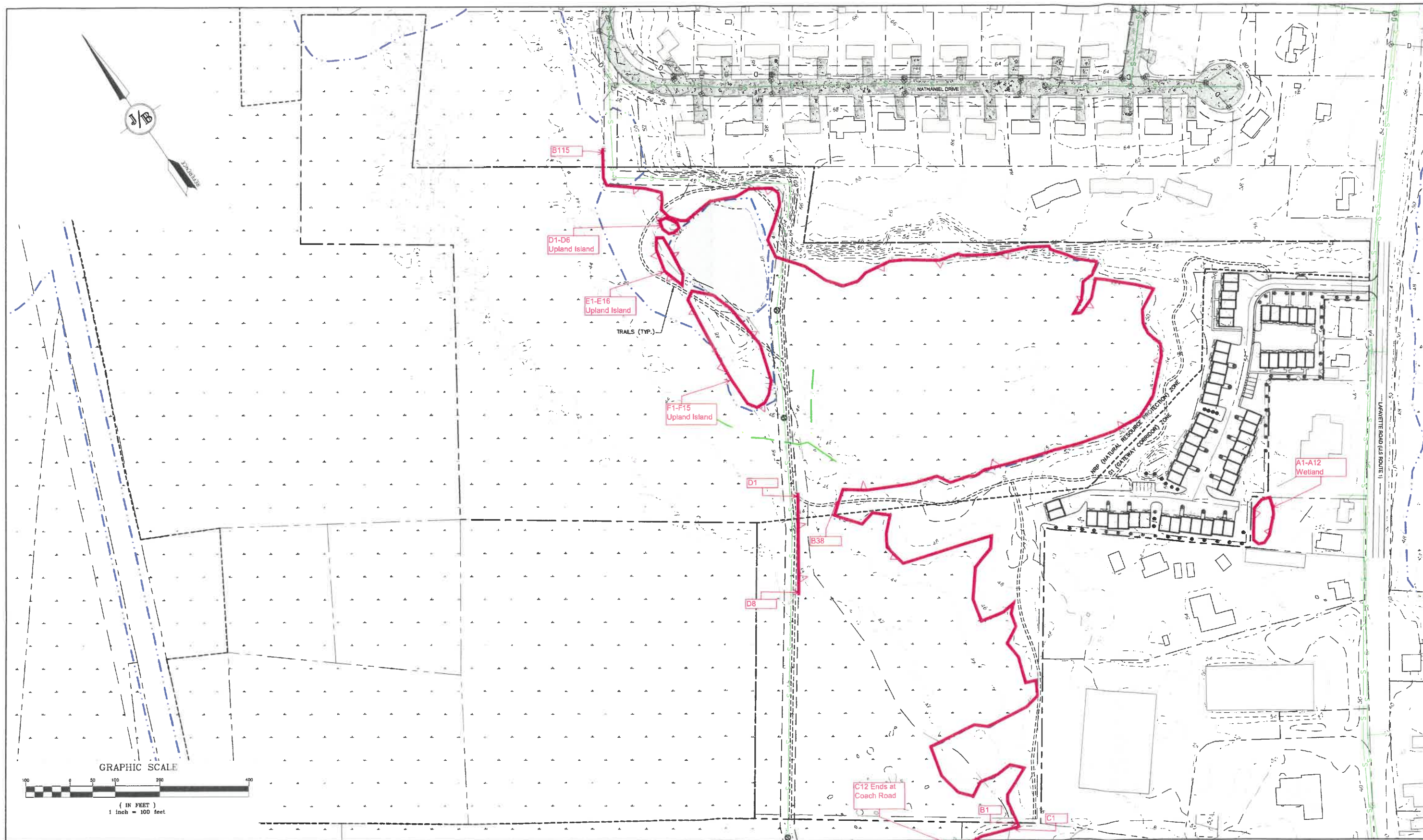
AERIAL OVERVIEW

| | |
|---|---|
| PREPARED BY: GZA GeoEnvironmental, Inc. Engineers and Scientists www.gza.com | PREPARED FOR: STONEARCH DEVELOPMENT CORPORATION |
|---|---|

| | | | |
|------------------|---------------------------|----------------------|----------|
| PROJ MGR: LTY | REVIEWED BY: TLT | CHECKED BY: DMZ | FIG |
| DESIGNED BY: MJD | DRAWN BY: MJD | SCALE: 1 in = 300 ft | 2 |
| DATE: 07/09/2021 | PROJECT NO: 04.0191186.00 | REVISION NO: | |



Figure 3 – Wetland Delineation Sketch



Design: AMJ | Draft: AMJ | Date: 10/23/2020
 Checked: JAC | Scale: AS SHOWN | Project No.: 20737
 Drawing Name: 20737-CONCEPT.dwg
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

| REV. | DATE | REVISION | BY |
|------|----------|--------------------|-----|
| 1 | 11/23/20 | REVISED PER CLIENT | DJM |
| D | 11/09/20 | ISSUED FOR REVIEW | DJM |
| | | | |

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services

85 Portsmouth Ave. | 603-772-4746
 PO Box 219 | FAX: 603-772-0227
 Stratham, NH 03885 | E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OVERVIEW CONCEPT SITE PLAN**

Project: **3400 LAFAYETTE ROAD
PORTSMOUTH, NH**

Owner of Record: **RICCI CONSTRUCTION CO., INC.
225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **CON1**

SHEET 1 OF 2
 JBE PROJECT NO. 20737



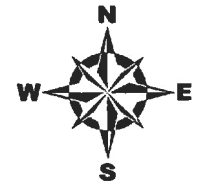
Figure 4 – Wildlife Action Plan Habitats

© 2021 - GZA GeoEnvironmental, Inc. P:\04\bbba\0191186\001\Figures\Figure 5 - WAP Tiers 10-7.mxd, July 09, 2021 - 10:25:20 AM, lindsay.white



LEGEND

- DOT Roads
- Site Boundary
- Wildlife Action Plan (WAP) 2020 Habitat Tiers**
 - 1 Highest Ranked Habitat in New Hampshire
 - 2 Highest Ranked Habitat in Biological Region
 - 3 Supporting Landscapes



NOTES:
 1. AERIAL IMAGERY FROM ESRI WORLD IMAGERY BASEMAP.
 2. DOT ROADS WERE OBTAINED FROM THE UNH GRANIT GIS CLEARINGHOUSE AND SHOULD BE CONSIDERED APPROXIMATE.
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| NO | ISSUE / DESCRIPTION | BY | DATE |
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**TAX MAP 297 LOT 11
 408 LAFAYETTE ROAD
 PORTSMOUTH, NEW HAMPSHIRE**
**2020 WILDLIFE ACTION PLAN
 HABITAT TIERS**

| | | | |
|---|--|---|---|
| PREPARED BY: GZA GeoEnvironmental, Inc. Engineers and Scientists www.gza.com | | PREPARED FOR: STONEARCH DEVELOPMENT CORPORATION | |
| PROJ. MGR: LTY DESIGNED BY: MJD DATE: 07/09/2021 | REVIEWED BY: TLT DRAWN BY: MJD PROJECT NO: 04.0191186.00 | CHECKED BY: DMZ SCALE: 1 in = 300 ft REVISION NO: | FIG <div style="font-size: 2em; font-weight: bold; text-align: center;">4</div> SHEET NO: 4 OF 4 |



USE OF REPORT

1. GZA GeoEnvironmental, Inc. (GZA) has prepared this report on behalf of, and for the exclusive use of John O'Neil ("Client") for the stated purpose(s) and location(s) identified in the report. Use of this report, in whole or in part, at other locations, or for other purposes, may lead to inappropriate conclusions; and we do not accept any responsibility for the consequences of such use(s). Further, reliance by any party not identified in the agreement, for any use, without our prior written permission, shall be at that party's risk, and without any liability to GZA.

STANDARD OF CARE

2. GZA's findings and conclusions are based on the work conducted as part of the Scope of Services set forth in the Report and/or proposal, and reflect our professional judgment. These findings and conclusions must be considered not as scientific or engineering certainties, but rather as our professional opinions concerning the data gathered and observations made during the course of our work. Conditions other than described in this report may be found at the subject location(s).
3. GZA's services were performed using the degree of skill and care ordinarily exercised by qualified professionals performing the same type of services, at the same time, under similar conditions, at the same or a similar property. No warranty, expressed or implied, is made.

LIMITS TO OBSERVATIONS

4. Natural resource characteristics are inherently variable. Biological community composition and diversity can be affected by seasonal, annual or anthropogenic influences. In addition, soil conditions are reflective of subsurface geologic materials, the composition and distribution of which vary spatially.
5. The observations described in this report were made on the dates referenced and under the conditions stated therein. Conditions observed and reported by GZA reflect the conditions that could be reasonably observed based upon the visual observations of surface conditions and/or a limited observation of subsurface conditions at the specific time of observation. Such conditions are subject to environmental and circumstantial alteration and may not reflect conditions observable at another time.
6. The conclusions and recommendations contained in this report are based upon the data obtained from a limited number of surveys performed during the course of our work on the site, as described in the Report. There may be variations between these surveys and other past or future surveys due to inherent environmental and circumstantial variability.

RELIANCE ON INFORMATION FROM OTHERS

7. Preparation of this Report may have relied upon information made available by Federal, state and local authorities; and/or work products prepared by other professionals as specified in the report. Unless specifically stated, GZA did not attempt to independently verify the accuracy or completeness of that information.

COMPLIANCE WITH REGULATIONS AND CODES

8. GZA's services were performed to render an opinion on the presence and/or condition of natural resources as described in the Report. Standards used to identify or assess these resources as well as regulatory jurisdiction, if any, are stated in the Report. Standards for identification of jurisdictional resources and regulatory control over them may vary between governmental agencies at Federal, state and local levels and are subject to change over time which may affect the conclusions and findings of this report.



NEW INFORMATION

9. In the event that the Client or others authorized to use this report obtain information on environmental regulatory compliance issues at the site not contained in this report, such information shall be brought to GZA's attention forthwith. GZA will evaluate such information and, on the basis of this work, may modify the conclusions stated in this report.

ADDITIONAL SERVICES

10. GZA recommends that we be retained to provide further investigation, if necessary, which would allow GZA to (1) observe compliance with the concepts and recommendations contained herein; (2) evaluate whether the manner of implementation creates a potential new finding; and (3) evaluate whether the manner of implementation affects or changes the conditions on which our opinions were made.



Appendix B – Wetland Function-Value Assessment Forms



**LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE**

| File No: 04.0191186.00 | | WETLAND FUNCTION – VALUE EVALUATION FORM | | Date: 5/26/2021 and 6/28/2021 | |
|-------------------------------------|----------------------|--|--|---|--|
| Wetland ID: Wetland 1 PFO1/PSS1E | | | | GZA Personnel: Peter Petkauskos and Tracy Tarr | |
| Function/Value | Capability Y N | Rationale (Reference #) | Summary | Principal Yes/No | |
| Groundwater Recharge/Discharge | Y | 4, | Wetland hydrology is supported by runoff and a seasonally high-water table. The wetland contains sandy soils (see NRCS Soils Overlay). The wetland is directly underlain by an aquifer (see Aquifer Transmissivity Overlay). | N | |
| Floodflow Alteration | Y | 3, 4, 5, 6, 9 | The wetland receives and retains overland sheet flow. | Y | |
| Fish and Shellfish Habitat | N | Not Applicable | No streams or permanently flooded habitat are present in the assessment area. | N | |
| Sediment/Toxicant Retention | Y | 1, 2 | The wetland receives direct stormwater flow from Lafayette Road and surrounding residences. | Y | |
| Nutrient Removal | Y | 3, 8, 9 | Dense vegetation is present. | N | |
| Production Export | N | 7 | The wetland is isolated and export is likely limited to wildlife use of the wetland. | N | |
| Sediment/Shoreline Stabilization | N | Not Applicable | No streams or shoreline edges are associated with the wetland. | N | |
| Wildlife Habitat | Y | 7 | The wetland provides partial habitat requirements to common wildlife species. The wetland is not located in an area being mapped as "highest ranked habitat" or "supporting landscape" (see Wildlife Action Plan overlay). | N | |
| Recreation | N | 5 | No water-based recreational opportunities are present. | N | |
| Educational/Scientific Value | N | 5, 10 | The wetland is located on private property and parking suitable for school buses is not present. | N | |
| Uniqueness/Heritage | N | Not Applicable | The wetland is not known to contain exemplary communities and is not designated as a prime wetland. | N | |
| Visual Quality/Aesthetics | N | Not Applicable | The wetland does not contain open water or emergent marsh vistas. | N | |
| ES Endangered Species Habitat | N | 1, 2 | The NHB does not have records of rare species (see NHB memo dated NHB 21-1722). | N | |

Notes:

Plants within the herbaceous layer include sensitive fern, goldenrod, and soft rush.

Plants within the shrub/sapling and tree layer include meadowsweet, silky dogwood, red-osier dogwood, northern arrowwood, glossy buckthorn, red maple, and American elm.



**LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE**

| File No: 04.0191186.00 | | Date: 5/26/2021 and 6/28/2021 | | Principal Yes/No |
|--|----------------------|--|--|------------------|
| Wetland ID: Wetland 2 PFO1E/PFO1Fg/PUBHx/PEM1Hx | | | | |
| WETLAND FUNCTION – VALUE EVALUATION FORM | | | | |
| Function/Value | Capability Y N | Rationale (Reference #) | Summary | Principal Yes/No |
| Groundwater Recharge/Discharge | Y | 1, 2, 3, 4, 7, 15 | Wetland hydrology is supported by runoff and a high-water table. A portion of the wetland contains sandy soils (see NRCS Soils Overlay). The wetland is directly underlain by an aquifer (see Aquifer Transmissivity Overlay). | Y |
| Floodflow Alteration | Y | 1, 3, 4, 5, 7, 8, 9, 10, 11, 18 | The wetland receives and retains overland sheet flow from surrounding residential and commercial properties to the southeast. The wetland drains into Berry's Brook a perennial stream and contains permanently flooded habitat. | Y |
| Fish and Shellfish Habitat | Y | 1, 2, 5, 10, 16 | Permanently flooded habitat is present in the assessment area. | N |
| Sediment/Toxicant Retention | Y | 1, 2, 3, 4, 5 | The wetland receives stormwater from Lafayette Road, Nathaniel Drive, and surrounding residences. | Y |
| Nutrient Removal | Y | 1, 2, 3, 4, 5, 6, 7, 8, 9 | Dense vegetation is present within the emergent and scrub shrub wetland. | Y |
| Production Export | Y | 1, 4, 5, 7, 8, 12, 13, 14 | The wetland contains dense vegetation and export is occurring through wildlife use in the wetland. | Y |
| Sediment/Shoreline Stabilization | Y | 1, 2, 3, 6, 10, 12, 15 | A defined bank is present along the areas of impounded water. | N |
| Wildlife Habitat | Y | 6, 7, 8, 9, 10, 13, 15, 17, 18, 19, 20, 21 | The wetland is located in "highest ranked habitat in the region" and "supporting landscape" (see Wildlife Action Plan overlay). White-tailed deer and several bird species were observed in the emergent, scrub shrub, and open water wetland. | Y |
| Recreation | Y | 5, 12 | Some open water is present. There is potential for views of the wetland and this value may increase with the construction of trails. | N |
| Educational/Scientific Value | N | 3, 5, 6 | The wetland is located on private property and parking suitable for school buses is not present. | N |
| Uniqueness/Heritage | Y | 2, 4, 12, 13, 19, 26, 27, 30 | The wetland is known to contain exemplary communities off-Site and is designated as a prime wetland. | Y |
| Visual Quality/Aesthetics | Y | 1, 2, 5, 7, 8, 12 | The wetland contains areas of open water and emergent marsh vistas. This value will improve with the construction of trails by improving access for visual aesthetics. | N |
| Endangered Species Habitat | Y | 1, 2 | The NHB does not have records of rare species (see NHB memo dated NHB21-1722). However potential species that may use this wetland include Blanding's turtle, little brown bat, smooth green snake, sora, and spotted turtle. | N |

Notes: Dominant plants within the herbaceous layer include cinnamon fern, sensitive fern, tussock sedge, broad-leaf cattail, narrow-leaf cattail, skunk cabbage, and sphagnum moss. Dominant plants within the shrub/sapling/tree layer include highbush blueberry, common winterberry, speckled alder, red maple, yellow birch, American hornbeam, and gray birch.



Appendix C – Natural Heritage Bureau Memo

Memo

NH Natural Heritage Bureau NHB DataCheck Results Letter

Please note: portions of this document are confidential.
Maps and NHB record pages are confidential and should be redacted from public documents.

To: Michael Kerivan
PO Box 146
Strafford, NH 03884

From: Jessica Bouchard, NH Natural Heritage Bureau
Date: 5/25/2021 (valid until 05/25/2022)
Re: Review by NH Natural Heritage Bureau
Permits: NHDES - Alteration of Terrain Permit

NHB ID: NHB21-1722 **Town:** Portsmouth **Location:** 3400 Lafayette Road
Description: Building a 50-unit multi-family residential development at the front of the property closest to Lafayette Road. There will be approximately 206,600 square feet of disturbance with construction to begin summer/fall 2021.

As requested, I have searched our database for records of rare species and exemplary natural communities, with the following results.

Comments **NHB: The proposed project site is adjacent to a few exemplary natural community types. Is the project expected to impact wetlands? Please provide a proposed conditions plan overlain on aerial imagery.**
F&G: No Comments At This Time

| Natural Community | State ¹ | Federal | Notes |
|---|--------------------|---------|--|
| Atlantic white cedar - yellow birch - pepperbush swamp* | -- | -- | Changes to the hydrology of the wetland are the greatest threat facing the cedar swamp. Damming which causes pooling for extended periods can flood and drown existing trees, and drainage that results in lower water levels can lead to invasion by other species that can out compete -- and eventually eliminate -- Atlantic white cedar trees. Increased nutrient input from stormwater runoff could also deleteriously impact this acidic, low-nutrient plant community. |
| Red maple - sensitive fern swamp* | -- | -- | These swamps are influenced by ground water seepage and springs which moderate water fluctuations and maintain conditions favorable for the accumulation of organic matter. The primary threats are changes to the hydrology of the wetland complex, particularly raising or lowering the water levels, and increased nutrient and pollutant input carried in by stormwater runoff. |
| Seasonally flooded Atlantic white cedar swamp* | -- | -- | The primary threat to this community is changes in the water level of adjacent |

Department of Natural and Cultural Resources
Division of Forests and Lands
(603) 271-2214 fax: 271-6488

DNCR/NHB
172 Pembroke Rd.
Concord, NH 03301

Memo

NH Natural Heritage Bureau NHB DataCheck Results Letter

Please note: portions of this document are confidential.

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streams or open water. Increased nutrient input from stormwater runoff could also deleteriously impact this acidic, low-nutrient plant community.

¹Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "-." = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list. An asterisk (*) indicates that the most recent report for that occurrence was more than 20 years ago.

A negative result (no record in our database) does not mean that a sensitive species is not present. Our data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to our office. However, many areas have never been surveyed, or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.



Appendix D – Photo Log

PHOTO LOG
Lafayette Road
Portsmouth, New Hampshire

Photos Taken: June 28, 2021



Photograph No. 1: Looking southerly into Wetland 1.



Photograph No. 2: Looking at dense vegetation in the easterly portion of Wetland 1.

PHOTO LOG
Lafayette Road
Portsmouth, New Hampshire

Photos Taken: June 28, 2021



Photograph No. 3: Looking northerly into the ponded and emergent portion of Wetland 2.



Photograph No. 4: Looking at dense vegetation in the northern portion of Wetland 2.

PHOTO LOG
Lafayette Road
Portsmouth, New Hampshire

Photos Taken: June 28, 2021



Photograph No. 5: Looking westerly into the forested portion of Wetland 2.



Photograph No. 6: Looking southerly at dense vegetation within Wetland 2.

PHOTO LOG
Lafayette Road
Portsmouth, New Hampshire

Photos Taken: June 28, 2021



Photograph No. 7: Looking easterly towards woodchip stockpile and compacted gravel access area. A portion of the woodchip stockpile is located within the 100-ft prime wetland buffer. This portion of the Site is proposed to be developed and the impacted wetland buffer will be restored.



Photograph No. 8: View of compacted gravel parking and access area used for storage equipment. A portion of this area is located within the 100-ft prime wetland buffer. This portion of the Site is proposed to be developed and the impacted wetland buffer will be restored.



GZA GeoEnvironmental, Inc.