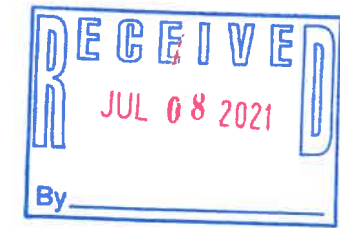
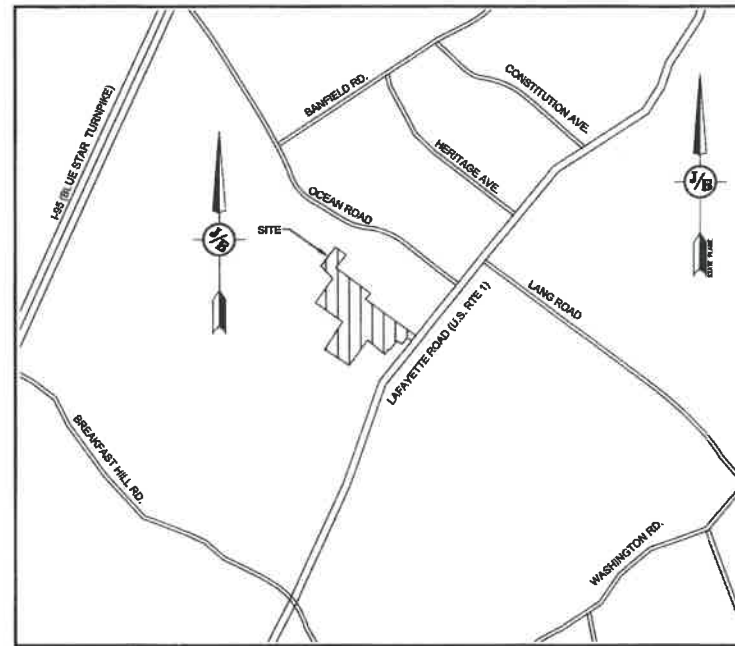


RESIDENTIAL CONDOMINIUMS TAX MAP 297, LOT 11 3400 LAFAYETTE ROAD, PORTSMOUTH, NH



EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCE
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	FLOOD PLAIN LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	IRON ROD/DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	BENCHMARK (TBM)
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/WRINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL



LOCUS MAP
SCALE 1" = 2000'

SHEET INDEX

CS	COVER SHEET
A1	BOUNDARY PLAN
EXOVR	OVERVIEW EXISTING CONDITIONS PLAN
C1	EXISTING CONDITIONS PLAN
OVR	OVERVIEW SITE PLAN
C2	SITE PLAN
C3	GRADING AND DRAINAGE PLAN
C4-C5	UTILITY PLAN
L1	LIGHTING PLAN
P1-P3	ROAD PLAN AND PROFILE
P4-P6	SEWER PROFILES
D1-D6	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS
T1	TRUCK TURNING PLAN
LS-1-4	LANDSCAPE PLANS

CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
 85 PORTSMOUTH AVENUE
 PO BOX 219
 STRATHAM, NH 03885
 (603) 772-4746
 CONTACT: JOSEPH CORONATI
 EMAIL: JCORONATI@JONESANDBEACH.COM

WETLAND CONSULTANT
GZA ENVIRONMENTAL
 5 COMMERCE PARK NORTH
 SUITE 201
 BEDFORD, NH 03110
 603-623-3600
 CONTACT: JAMES LONG

APPLICANT
GREEN & COMPANY
 11 LAFAYETTE ROAD
 PO BOX 1297
 NORTH HAMPTON, NH 03862
 603-964-7572
 CONTACT: MICHAEL GREEN
 MPG114@GMAIL.COM

LANDSCAPE ARCHITECT
TF MORAN, INC.
 48 CONSTITUTION DRIVE
 BEDFORD, NH 03110
 603-472-4488
 CONTACT: MIKE KRZEMINSKI
 MKRZEMINSKI@TFMORAN.COM

ARCHITECT:
STONEARCH DEVELOPMENT
 (603) 817-5758
 CONTACT: MICHAEL MACNEIL

ELECTRIC
EVERSOURCE ENERGY
 74 OLD DOVER ROAD
 ROCHESTER, NH 03867
 (603) 555-5334
 CONTACT: NICHOLAI KOSKO

TELEPHONE
FAIRPOINT COMMUNICATIONS
 1575 GREENLAND ROAD
 GREENLAND, NH 03840
 (603) 427-5525
 CONTACT: JOE CONSIDINE

CABLE TV
COMCAST COMMUNICATION CORPORATION
 334-B CALEF HIGHWAY
 EPPING, NH 03042-2325
 (603) 679-5695

PROJECT PARCEL
 CITY OF PORTSMOUTH
 TAX MAP 297, LOT 11

TOTAL LOT AREA
 1,831,721 SQ. FT. ±
 41.35 ACRES ±

APPROVED – PORTSMOUTH, NH
 PLANNING BOARD

DATE: _____

Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS NOTED Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
 THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM

Designed and Produced in NH

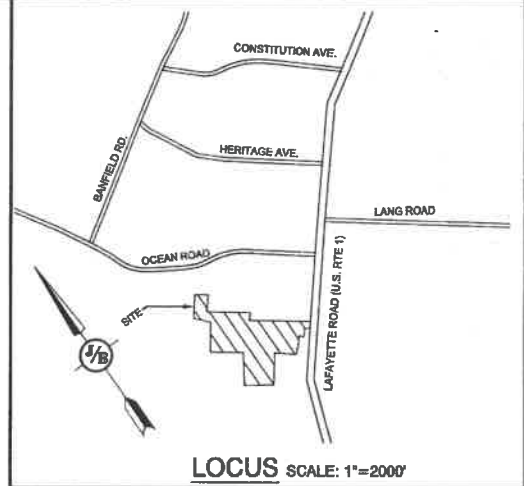
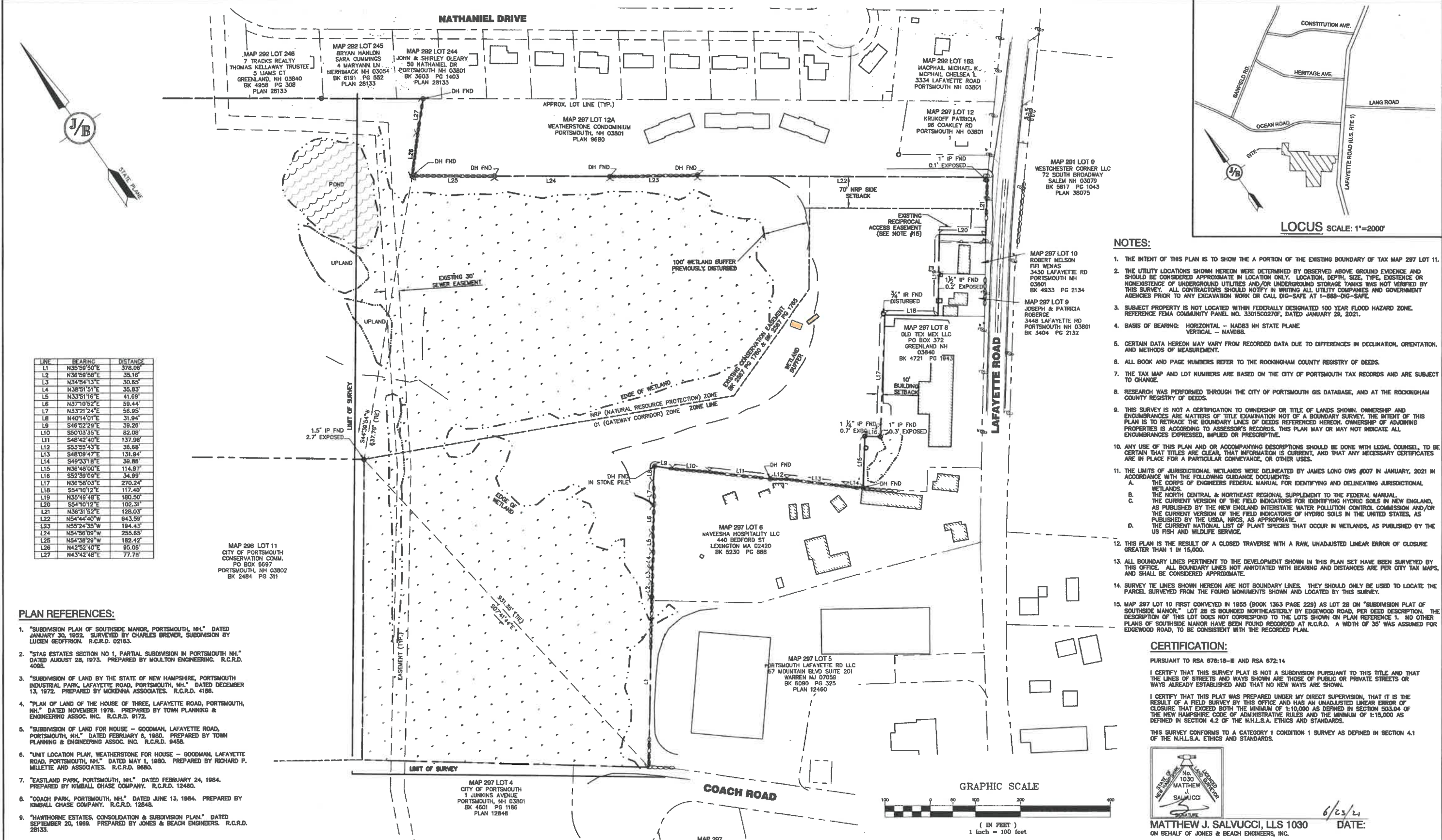
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885 603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.
CS
 SHEET 1 OF 25
 JBE PROJECT NO. 20737

PROJECT NAME AND LOCATION REVISION SIZE



LINE	BEARING	DISTANCE
L1	N35°59'50"E	378.06'
L2	N36°56'56"E	35.16'
L3	N34°54'13"E	30.85'
L4	N38°51'51"E	35.83'
L5	N33°51'16"E	41.69'
L6	N37°10'52"E	59.44'
L7	N33°21'24"E	56.95'
L8	N40°14'01"E	31.94'
L9	S46°52'29"E	39.28'
L10	S50°03'35"E	82.08'
L11	S48°42'40"E	137.96'
L12	S53°56'43"E	36.68'
L13	S48°09'47"E	131.84'
L14	S49°33'18"E	39.88'
L15	N36°48'00"E	114.97'
L16	S52°39'09"E	34.99'
L17	N36°58'03"E	270.24'
L18	S54°10'12"E	117.40'
L19	N35°49'48"E	180.50'
L20	S54°10'12"E	102.31'
L21	N36°31'52"E	128.03'
L22	N54°44'40"W	643.59'
L23	N55°24'35"W	194.43'
L24	N54°56'09"W	255.85'
L25	N54°38'29"W	182.42'
L26	N42°52'40"E	95.06'
L27	N43°42'48"E	77.78'

- NOTES:**
- THE INTENT OF THIS PLAN IS TO SHOW THE A PORTION OF THE EXISTING BOUNDARY OF TAX MAP 297 LOT 11.
 - THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
 - SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0270F, DATED JANUARY 29, 2021.
 - BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLANE
VERTICAL - NAVD83.
 - CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
 - ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
 - RESEARCH WAS PERFORMED THROUGH THE CITY OF PORTSMOUTH GIS DATABASE, AND AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
 - THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESRIPTIVE.
 - ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
 - THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JAMES LONG CWS (#007 IN JANUARY, 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
 - THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
 - ALL BOUNDARY LINES PERTINENT TO THE DEVELOPMENT SHOWN IN THIS PLAN SET HAVE BEEN SURVEYED BY THIS OFFICE. ALL BOUNDARY LINES NOT ANNOTATED WITH BEARING AND DISTANCES ARE PER CITY TAX MAPS, AND SHALL BE CONSIDERED APPROXIMATE.
 - SURVEY THE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
 - MAP 297 LOT 10 FIRST CONVEYED IN 1955 (BOOK 1363 PAGE 228) AS LOT 28 ON "SUBDIVISION PLAT OF SOUTHSIDE MANOR." LOT 28 IS BOUNDED NORTHEASTERLY BY EDGWOOD ROAD, PER DEED DESCRIPTION. THE DESCRIPTION OF THIS LOT DOES NOT CORRESPOND TO THE LOTS SHOWN ON PLAN REFERENCE 1. NO OTHER PLANS OF SOUTHSIDE MANOR HAVE BEEN FOUND RECORDED AT R.C.R.D. A WIDTH OF 36' WAS ASSUMED FOR EDGWOOD ROAD, TO BE CONSISTENT WITH THE RECORDED PLAN.

- PLAN REFERENCES:**
- "SUBDIVISION PLAN OF SOUTHSIDE MANOR, PORTSMOUTH, NH." DATED JANUARY 30, 1952. SURVEYED BY CHARLES BREWER, SUBDIVISION BY LUCIEN GEOFFRON. R.C.R.D. 02163.
 - "STAG ESTATES SECTION NO 1, PARTIAL SUBDIVISION IN PORTSMOUTH NH." DATED AUGUST 28, 1973. PREPARED BY MOULTON ENGINEERING. R.C.R.D. 4098.
 - "SUBDIVISION OF LAND BY THE STATE OF NEW HAMPSHIRE, PORTSMOUTH INDUSTRIAL PARK, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED DECEMBER 13, 1972. PREPARED BY MCKENNA ASSOCIATES. R.C.R.D. 4188.
 - "PLAN OF LAND OF THE HOUSE OF THREE, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED NOVEMBER 1978. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9172.
 - "SUBDIVISION OF LAND FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED FEBRUARY 6, 1980. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9458.
 - "UNIT LOCATION PLAN, WEATHERSTONE FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED MAY 1, 1980. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 9860.
 - "EASTLAND PARK, PORTSMOUTH, NH." DATED FEBRUARY 24, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12460.
 - "COACH PARK, PORTSMOUTH, NH." DATED JUNE 13, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12848.
 - "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN." DATED SEPTEMBER 20, 1989. PREPARED BY JONES & BEACH ENGINEERS. R.C.R.D. 28133.

CERTIFICATION:

PURSUANT TO RSA 676:15-II AND RSA 672:14

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE: 6/23/21

Design: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS SHOWN Project No.: 20737
Drawing Name: 20737-PLAN.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USERS SOLE RISK AND WITHOUT LIABILITY TO JBE.



REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/9/21	MINOR REVISIONS	DJM

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

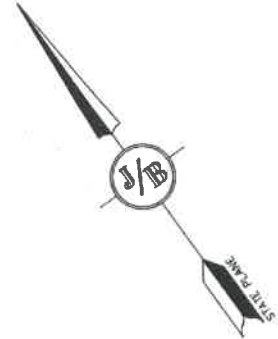
65 Portsmouth Ave. Civil Engineering Services 603-772-4746
PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **BOUNDARY PLAN**
Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **A1**
SHEET 2 OF 25
JBE PROJECT NO. 20737

ADDITIONAL ABUTTERS

- TAX MAP 292 LOT 222 FRENCH FAMILY REVOCABLE TRUST OF 1999 FRENCH JAMES H & HEDI B TRUSTEES 9 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 236 HERNANDEZ EMMANUEL HERNANDEZ KAREN 130 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 237 GORONSKI RICHARD C GORONSKI ALICJA K 120 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 223 DIEMER FREDERICK C REVO TRUST DIEMER FREDERICK C TRUSTEE 31 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 224 BARSTOW ERIK T BARSTOW JENNAFER J 41 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 225 LE RYAN NGHIEM NGO HELEN 53 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 234 GARDNER JR C WESLEY REVO TRUST GARDNER JR C WESLEY TRUSTEE 150 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 235 YAEGER SUSAN 140 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 236 KARUNAKAREN FAM REV TST 0 2021 KARUNAKAREN SUBRAMANIAN TRUSTEE SHANMUGHANATHAN NAGHDEVI TRUSTEE 110 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 239 REDDY LAXMINARAYAN N REDDY DHANALAKMI L 100 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 240 MCCARTHY KAREN A BEAUVAS AUDRA E 80 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 241 GALLAGHER PAUL J 80 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 242 WERRY WILLIAM A DOWD-WERRY DIANA M 72 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 243 HASSAN KERRI HASSAN COREY 60 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 293 LOT 1 RICHARDSON SCOTT A 35 MARIETTE DR PORTSMOUTH NH 03801
- TAX MAP 293 LOT 3 CAHILL JEROME J CAHILL ERIN G 37 MARIETTE DR PORTSMOUTH NH 03801
- TAX MAP 293 LOTS- 1 DANFORTH FAMILY NOMINEE TRUST DANFORTH RICHARD K TRUSTEE 377 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-2 TRAN THEM T WU MINH D 379 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-3 COUTURIER FAM REV TST OF 2020 COUTURIER MICHAEL & KELLY TRUSTEES 381 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-5 PHAM CUC BUI TONY 385 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 6 GRAVEL TYLER 409 OCEAN RD PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-1 SEAWARD DANIEL O III 3370 LAFAYETTE RD #1 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-2 LAROCHE NOAH 3370 LAFAYETTE RD UNIT 2 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-3 SALMON CAROLYN M REVO TRUST SALMON CAROLYN M TRUSTEE 3370 LAFAYETTE RD #3 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-4 PERCHENSIS FAM REV TST LEHOUX NEIL M & RAYMOND J ROY TIEES 3370 LAFAYETTE RD UNIT 4 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-5 SLATTERY & DUMONT LLC 66 OLD CONCORD TURNPIKE #10 BARRINGTON NH 03825
- TAX MAP 297 LOT 12A-6 RAMSAY STEVEN J RAMSAY SARAH B 2 INDIAN TR EXETER NH 03833
- TAX MAP 297 LOT 12A-7 GUTIERREZ NOEL E GUTIERREZ MYRNA M 3370 LAFAYETTE RD #7 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-8 NEVEU CHRISTOPHER PAUL 3370 LAFAYETTE RD UNIT 9 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-9 CERAMI KRISTEN A REV TST OF 2020 CERAMI KRISTEN A TRUSTEE 3370 LAFAYETTE RD #9 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-10 BOGAROUS KIRK W 11 WINTER ST APT 6 FRANKLIN MA 02038
- TAX MAP 297 LOT 12A-11 BOURQUE ALICIA K TIPPING KYLE T 83 SAINT MATTHEWS DR BARRINGTON NH 03825
- TAX MAP 297 LOT 12A-12 HUBBARD CHARLOTTE 3370 LAFAYETTE RD UNIT 12 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-13 MCCOURT TREVOR MCCOURT KELSEY A 3370 LAFAYETTE RD UNIT #13 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-14 MORGAN ROBERT E 3370 LAFAYETTE RD #14 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-15 SHULTZ KEVIN J 3370 LAFAYETTE RD #15 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-16 AIKENS PETER J SR AIKENS JEAN P 3370 LAFAYETTE RD #16 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-17 FRIERMUTH CONSTANCE K REVO LIV FRIERMUTH CONSTANCE K TRUSTEE 3370 LAFAYETTE RD UNIT 17 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-18 QUINONES CARLOS M JR 1/2 INT POMBO LOREN DAVILA REVO TRST 66 1/2 INT 75 HIGH ST APT E4 EXETER NH 03833-2928
- TAX MAP 297 LOT 12A-19 KALMUTHU MANKANDAN 3370 LAFAYETTE RD #19 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-20 MILLER GEORGE R JR REVO TRUST 09 MILLER PATRICIA I REVO TRUST 09 3370 LAFAYETTE RD #20 PORTSMOUTH NH 03801



MAP 293 LOT 6-1
IMLO & EDNA RENZULLO
2859 MUIR RD
YUBA CITY CA 95991
BK 2298 PG 941

TAX MAP 293 LOT 2
CITY OF PORTSMOUTH DPW
PO BOX 828
PORTSMOUTH NH 03801
BK 2860 PG 2419

MAP 292 LOT 221
CITY OF PORTSMOUTH
1 JUNKINS AVENUE
PORTSMOUTH, NH 03801
BK 3481 PG 288
PLAN 28133

MAP 292 LOT 246
THOMAS KELLAWAY TRUSTEE
5 LIAMS CT
GREENLAND, NH 03840
BK 4958 PG 308
PLAN 28133

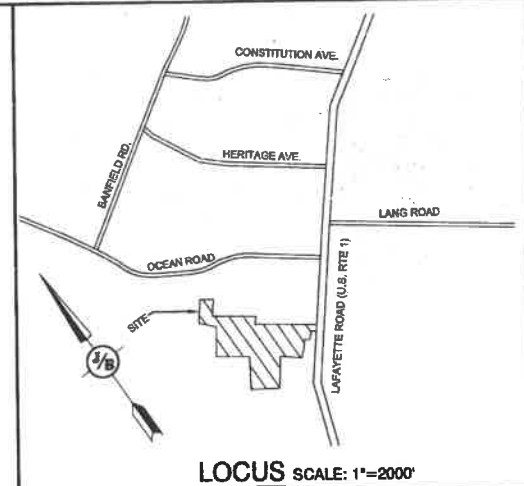
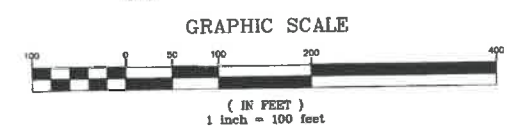
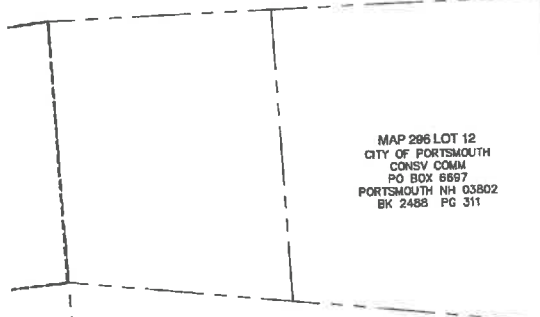
MAP 292 LOT 245
BRYAN HANLON
SARA CUMMINGS
4 MARYANN LN
MERRIMACK NH 03054
BK 6181 PG 552
PLAN 28133

MAP 292 LOT 244
JOHN & SHIRLEY OLEARY
80 NATHANIEL DR
PORTSMOUTH NH 03801
BK 3603 PG 1403
PLAN 28133

MAP 293 LOT 10
CITY OF PORTSMOUTH DPW
PO BOX 828
PORTSMOUTH NH 03801
BK 2299 PG 424

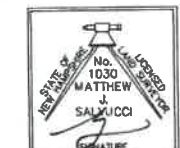
MAP 296 LOT 12
CITY OF PORTSMOUTH
CONSV COMM
PO BOX 6897
PORTSMOUTH NH 03802
BK 2485 PG 311

MAP 298 LOT 11
CITY OF PORTSMOUTH
CONSERVATION COMM.
PO BOX 6897
PORTSMOUTH, NH 03802
BK 2484 PG 311



CERTIFICATION:

PURSUANT TO RSA 676:18-B AND RSA 672:14
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.
THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030
ON BEHALF OF JONES & BEACH ENGINEERS, INC.

DATE:

Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS SHOWN	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

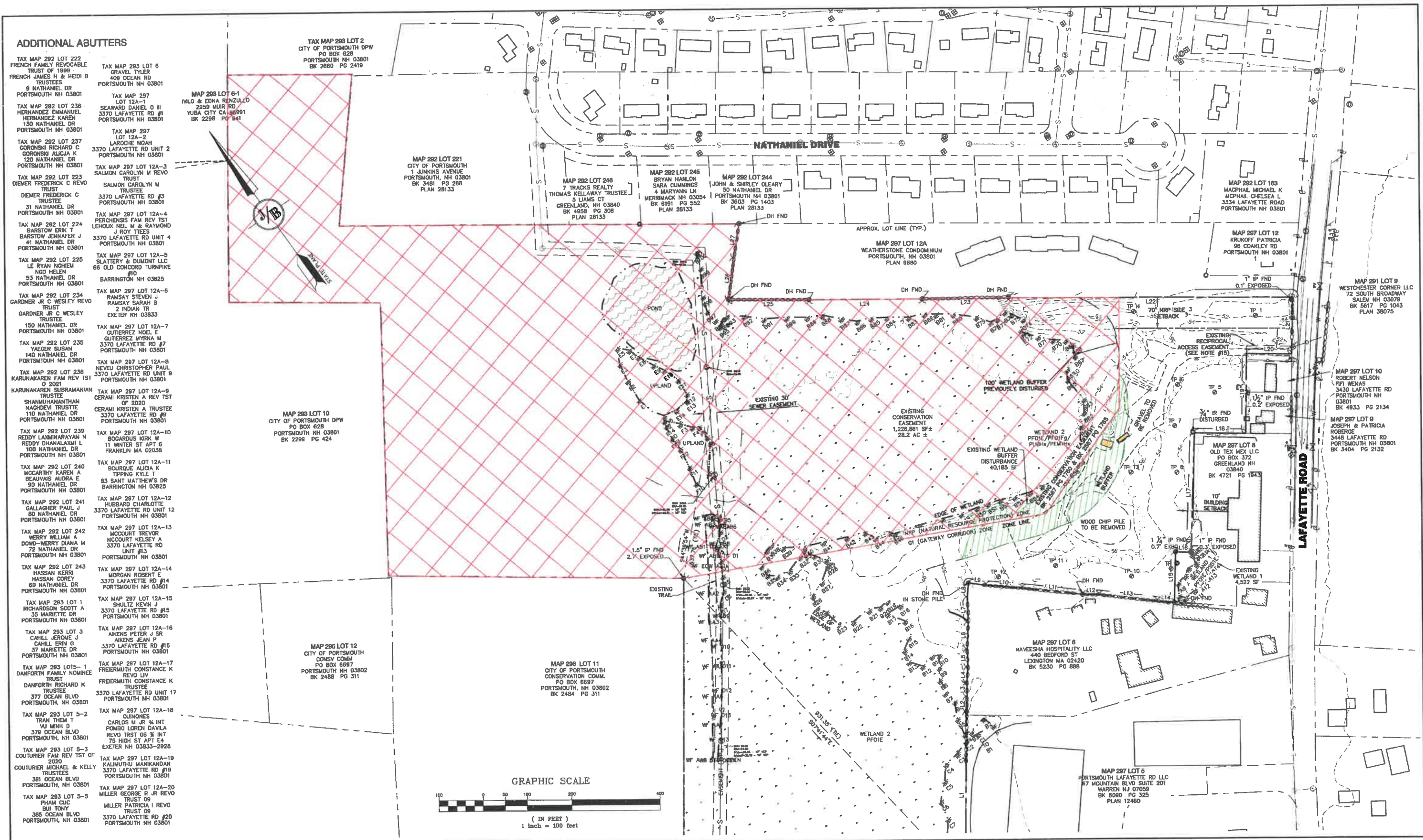


REV.	DATE	REVISION	BY
6	8/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/8/21	MINOR REVISIONS	DJM

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	BOUNDARY PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.
A2
 SHEET 3 OF 25
 JBE PROJECT NO. 20737



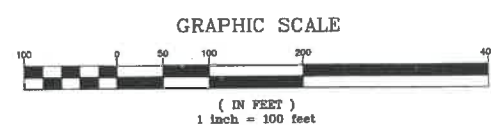
ADDITIONAL ABUTTERS

- TAX MAP 292 LOT 222 FRENCH FAMILY REVOCABLE TRUST OF 1989 FRENCH JAMES H & HEIDI B TRUSTEES 9 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 236 HERNANDEZ EMANUEL HERNANDEZ KAREN 130 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 237 GORONSKI RICHARD C GORONSKI ALICIA K 120 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 223 DIEMER FREDERICK C REVO TRUST DIEMER FREDERICK C TRUSTEE 31 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 224 BARSTOW ERIC T BARSTOW JENNAFER J 41 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 225 LE RYAN NGHIEM NGO HELEN 53 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 234 GARDNER JR C WESLEY REVO TRUST GARDNER JR C WESLEY TRUSTEE 150 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 235 YAEGER SUSAN 140 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 236 KARUNAKAREN FAM REV TST O 2021 KARUNAKAREN SUBRAMANIAN TRUSTEE SHANMUHANANTHAN NAGHDEV TRUSTEE 110 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 239 REDDY LAKSHMIBHARANYAN N REDDY DHANALAXMI L 100 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 240 MCCARTHY KAREN A BEAUVAIS AUDRA E 80 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 241 GALLAGHER PAUL J 80 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 242 WERRY WILLIAM A DOWD-WERRY DIANA M 72 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 292 LOT 243 HASSAN KERRI HASSAN COREY 60 NATHANIEL DR PORTSMOUTH NH 03801
- TAX MAP 293 LOT 1 RICHARDSON SCOTT A 35 MARIETTE DR PORTSMOUTH NH 03801
- TAX MAP 293 LOT 3 CAHILL JEROME J CAHILL ERIN G 37 MARIETTE DR PORTSMOUTH NH 03801
- TAX MAP 293 LOTS- 1 DANFORTH FAMILY NOMINEE TRUST DANFORTH RICHARD K TRUSTEE 377 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-2 TRAN THEM T VU MINH 379 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-3 COUTURIER FAM REV TST OF 2020 COUTURIER MICHAEL & KELLY TRUSTEES 381 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 5-5 PHAM CLC BUI TONY 385 OCEAN BLVD PORTSMOUTH, NH 03801
- TAX MAP 293 LOT 6 GRAVEL TYLER 409 OCEAN RD PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-1 SEAWARD DANIEL O III 3370 LAFAYETTE RD #1 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-2 LAROCHE ANDREW 3370 LAFAYETTE RD UNIT 2 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-3 SALMON CAROLYN M REVO TRUST SALMON CAROLYN M TRUSTEE 3370 LAFAYETTE RD #3 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-4 PERCHENISS FAM REV TST LEHOUX NEIL M & RAYMOND J ROY TRUSTEES 3370 LAFAYETTE RD UNIT 4 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-5 SLATTERY & DUMONT LLC 66 OLD CONCORD TURNPIKE #10 BARRINGTON NH 03825
- TAX MAP 297 LOT 12A-6 RAMSAY STEVEN J RAMSAY SARAH B 2 INDIAN TR EXETER NH 03833
- TAX MAP 297 LOT 12A-7 GUTERREZ NOEL E GUTERREZ MYRNA M 3370 LAFAYETTE RD #7 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-8 NEVEU CHRISTOPHER PAUL 3370 LAFAYETTE RD UNIT 9 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-9 CERAMI KRISTEN A REV TST OF 2020 CERAMI KRISTEN A TRUSTEE 3370 LAFAYETTE RD #9 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-10 BOGARDUS KIRK W 11 WINTER ST APT 6 FRANKLIN MA 02038
- TAX MAP 297 LOT 12A-11 BOURQUE ALICIA K TIPPING KYLE T 83 SAINT MATTHEWS DR BARRINGTON NH 03825
- TAX MAP 297 LOT 12A-12 HUBBARD CHARLOTTE 3370 LAFAYETTE RD UNIT 12 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-13 MCCOURT TREVOR MCCOURT KELSEY A 3370 LAFAYETTE RD UNIT #13 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-14 MORGAN ROBERT E 3370 LAFAYETTE RD #14 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-15 SHULTZ KEVIN J 3370 LAFAYETTE RD #15 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-16 AIKENS PETER J SR AIKENS JEAN P 3370 LAFAYETTE RD #16 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-17 FRIEDMUTH CONSTANCE K REVO LIV FRIEDMUTH CONSTANCE K TRUSTEE 3370 LAFAYETTE RD UNIT 17 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-18 QUINONES CARLOS M JR 1/2 INT POMBO LOREN DAVILA REVO TRST 06 1/2 INT 76 HIGH ST APT E4 EXETER NH 03833-2928
- TAX MAP 297 LOT 12A-19 KALUMUTHU MANKANDAN 3370 LAFAYETTE RD #19 PORTSMOUTH NH 03801
- TAX MAP 297 LOT 12A-20 MILLER GEORGE R JR REVO TRUST 09 MILLER PATRICIA I REVO TRUST 09 3370 LAFAYETTE RD #20 PORTSMOUTH NH 03801

MAP 298 LOT 10 CITY OF PORTSMOUTH DPW PO BOX 628 PORTSMOUTH NH 03801 BK 2299 PG 424

MAP 296 LOT 12 CITY OF PORTSMOUTH CONSV COMM PO BOX 6697 PORTSMOUTH NH 03802 BK 2488 PG 311

MAP 296 LOT 11 CITY OF PORTSMOUTH CONSERVATION COMM PO BOX 6697 PORTSMOUTH, NH 03802 BK 2484 PG 311



Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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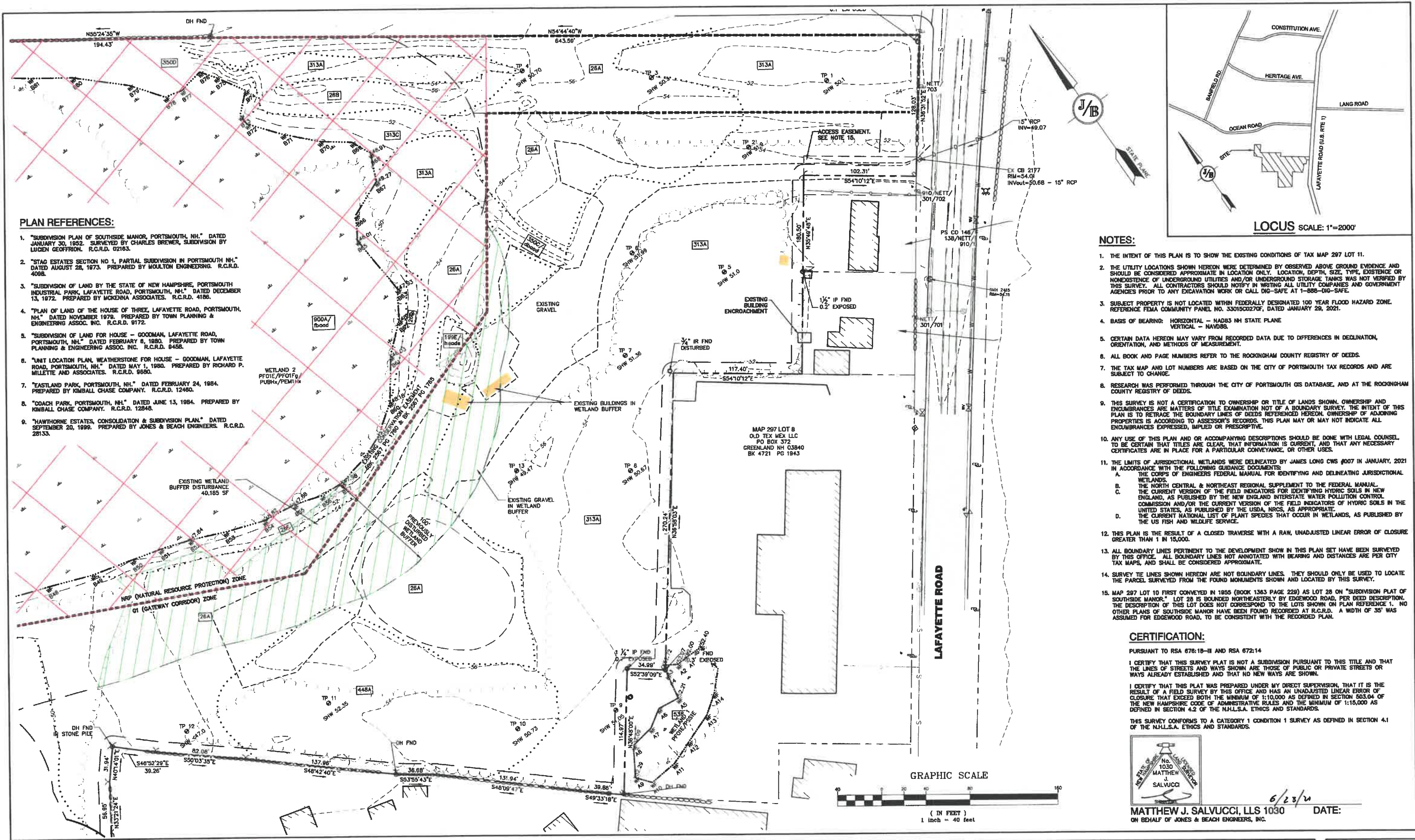
REV.	DATE	REVISION	BY
6	8/22/21	REVISIONS PER TOWN REVIEW	LAZ
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4	3/18/21	ADDED DETAIL	LAZ
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2	1/8/21	MINOR REVISIONS	DJM

Designed and Produced In NH

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 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4748
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **OVERVIEW EXISTING CONDITIONS PLAN**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1830 PG 0229**

DRAWING No. **EXOVR**
 SHEET 4 OF 25
 JBE PROJECT NO. 20737



PLAN REFERENCES:

1. "SUBDIVISION PLAN OF SOUTHSIDE MANOR, PORTSMOUTH, NH." DATED JANUARY 30, 1952. SURVEYED BY CHARLES BREWER, SUBDIVISION BY LUCIEN GEORFFRON. R.C.R.D. 02103.
2. "STAG ESTATES SECTION NO 1, PARTIAL SUBDIVISION IN PORTSMOUTH NH." DATED AUGUST 28, 1973. PREPARED BY MOULTON ENGINEERING. R.C.R.D. 4088.
3. "SUBDIVISION OF LAND BY THE STATE OF NEW HAMPSHIRE, PORTSMOUTH INDUSTRIAL PARK, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED DECEMBER 13, 1972. PREPARED BY MCKENNA ASSOCIATES. R.C.R.D. 4186.
4. "PLAN OF LAND OF THE HOUSE OF THREE, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED NOVEMBER 1976. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9172.
5. "SUBDIVISION OF LAND FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED FEBRUARY 8, 1980. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 6485.
6. "UNIT LOCATION PLAN, WEATHERSTONE FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH." DATED MAY 1, 1980. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 9880.
7. "EASTLAND PARK, PORTSMOUTH, NH." DATED FEBRUARY 24, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12846.
8. "COACH PARK, PORTSMOUTH, NH." DATED JUNE 13, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12848.
9. "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN." DATED SEPTEMBER 20, 1999. PREPARED BY JONES & BEACH ENGINEERS. R.C.R.D. 28133.

NOTES:

1. THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 297 LOT 11.
2. THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-386-3463.
3. SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 3301SC0270F, DATED JANUARY 29, 2021.
4. BASIS OF BEARING: HORIZONTAL - NAD83 NH STATE PLANE
VERTICAL - NAVD83
5. CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
6. ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
7. THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF PORTSMOUTH TAX RECORDS AND ARE SUBJECT TO CHANGE.
8. RESEARCH WAS PERFORMED THROUGH THE CITY OF PORTSMOUTH GIS DATABASE, AND AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
9. THIS SURVEY IS NOT A CERTIFICATION OF OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PREScriptive.
10. ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL. TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
11. THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JAMES LONG CWS #007 IN JANUARY, 2021 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - A. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - B. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - C. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - D. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
12. THIS PLAN IS THE RESULT OF A CLOSED TRAVERSE WITH A RAW, UNADJUSTED LINEAR ERROR OF CLOSURE GREATER THAN 1 IN 15,000.
13. ALL BOUNDARY LINES PERTINENT TO THE DEVELOPMENT SHOWN IN THIS PLAN SET HAVE BEEN SURVEYED BY THIS OFFICE. ALL BOUNDARY LINES NOT ANNOTATED WITH BEARING AND DISTANCES ARE PER CITY TAX MAPS, AND SHALL BE CONSIDERED APPROXIMATE.
14. SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
15. MAP 297 LOT 10 FIRST CONVEYED IN 1955 (BOOK 1363 PAGE 229) AS LOT 28 ON "SUBDIVISION PLAN OF SOUTHSIDE MANOR." LOT 28 IS BOUNDED NORTHEASTERLY BY EDGWOOD ROAD, PER DEED DESCRIPTION. THE DESCRIPTION OF THIS LOT DOES NOT CORRESPOND TO THE LOTS SHOWN ON PLAN REFERENCE 1. NO OTHER PLANS OF SOUTHSIDE MANOR HAVE BEEN FOUND RECORDED AT R.C.R.D. A WIDTH OF 35' WAS ASSUMED FOR EDGWOOD ROAD, TO BE CONSISTENT WITH THE RECORDED PLAN.

CERTIFICATION:

PURSUANT TO RSA 676:16-II AND RSA 672:14
 I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
 I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 603.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.
 THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030 DATE: 6/23/24
 ON BEHALF OF JONES & BEACH ENGINEERS, INC.

Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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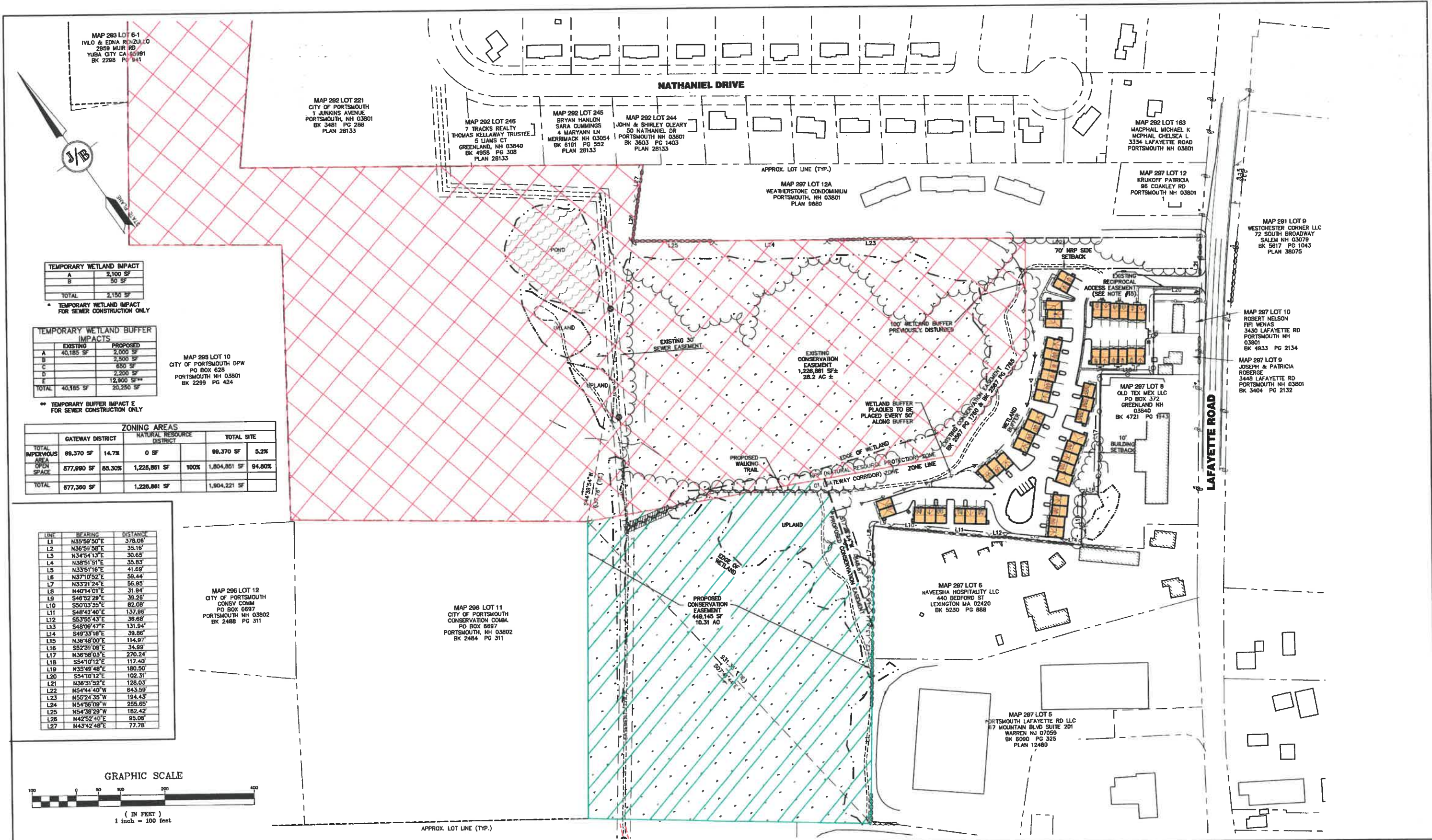


REV.	DATE	REVISION	BY
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Plan Name:	EXISTING CONDITIONS PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.
C1
 SHEET 5 OF 25
 JBE PROJECT NO. 20737



TEMPORARY WETLAND IMPACT

A	2,100 SF
B	50 SF
TOTAL	2,150 SF

* TEMPORARY WETLAND IMPACT FOR SEWER CONSTRUCTION ONLY

TEMPORARY WETLAND BUFFER IMPACTS

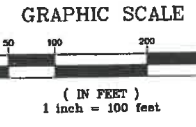
	EXISTING	PROPOSED
A	40,185 SF	2,000 SF
B		2,500 SF
C		650 SF
D		2,200 SF
E		12,900 SF**
TOTAL	40,185 SF	20,250 SF

** TEMPORARY BUFFER IMPACT E FOR SEWER CONSTRUCTION ONLY

ZONING AREAS

	GATEWAY DISTRICT		NATURAL RESOURCE DISTRICT		TOTAL SITE	
TOTAL IMPERVIOUS AREA	89,370 SF	14.7%	0 SF		89,370 SF	5.2%
OPEN SPACE	577,890 SF	85.30%	1,228,861 SF	100%	1,804,851 SF	94.80%
TOTAL	677,360 SF		1,228,861 SF		1,904,221 SF	

LINE	BEARING	DISTANCE
L1	N35°59'50"E	378.08'
L2	N36°59'58"E	35.16'
L3	N34°54'13"E	30.65'
L4	N38°51'51"E	35.83'
L5	N33°51'16"E	41.69'
L6	N37°0'52"E	59.44'
L7	N33°21'24"E	56.83'
L8	N40°14'01"E	31.94'
L9	S46°52'28"E	39.26'
L10	S50°03'35"E	82.08'
L11	S48°42'40"E	137.86'
L12	S53°55'43"E	38.68'
L13	S48°09'47"E	131.94'
L14	S49°33'18"E	38.86'
L15	N36°48'00"E	114.87'
L16	S52°30'09"E	34.59'
L17	N36°58'03"E	270.24'
L18	S54°10'12"E	117.40'
L19	N35°48'48"E	180.50'
L20	S54°10'12"E	102.31'
L21	N38°31'52"E	128.03'
L22	N54°44'40"W	643.59'
L23	N55°24'35"W	194.43'
L24	N54°56'09"W	255.65'
L25	N54°38'29"W	182.42'
L26	N42°52'40"E	95.08'
L27	N43°42'48"E	77.78'



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4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
		REVISION	

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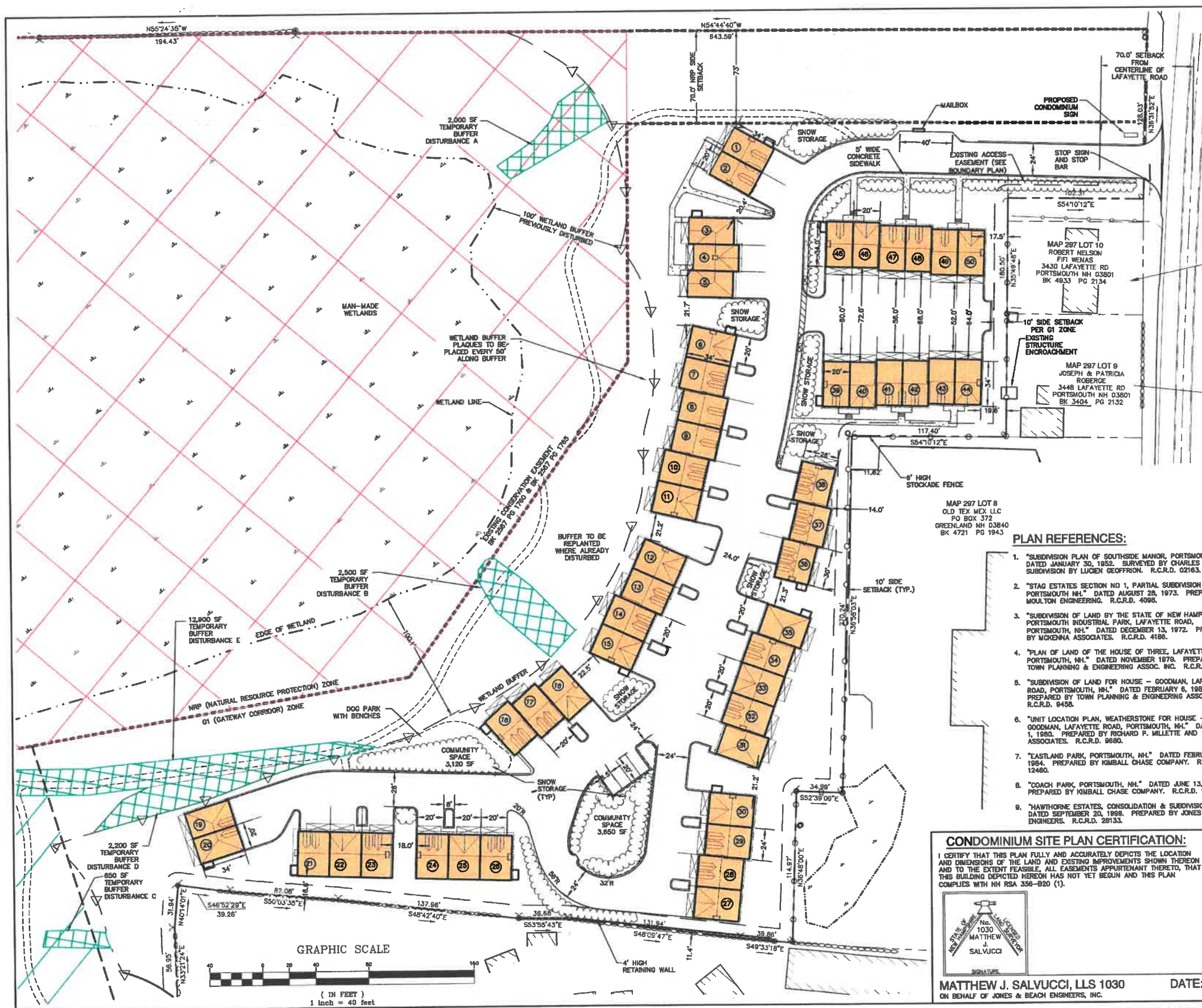
Plan Name: **OVERVIEW SITE PLAN**

Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**

Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1830 PG 0229**

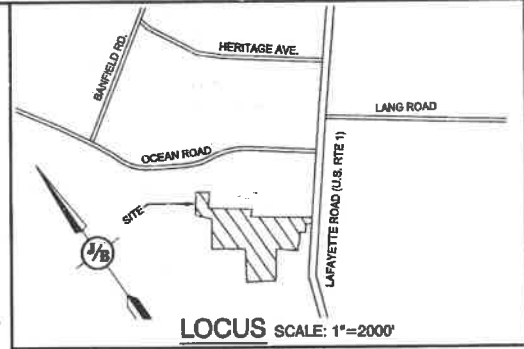
DRAWING No. **OVR**

SHEET 6 OF 25
 JBE PROJECT NO. 20737



SITE NOTES:

- THE INTENT OF THIS PLAN IS SHOW THE SITE LAYOUT FOR A 50-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT ON TAX MAP 297 LOT 11.
- ZONING DISTRICT: GATEWAY CORRIDOR (G1), USE: GATEWAY TOWNHOUSE
 LOT AREA MINIMUM = NO REQUIREMENT FOUND
 LOT FRONTAGE MINIMUM = 100'
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 70' FROM CENTERLINE OF LAFAYETTE ROAD
 SIDE SETBACK = 10'
 REAR SETBACK = 15'
 WETLAND SETBACK = 100'
 MAX. BUILDING HEIGHT = 35'
 AREA OF LOT WITHIN G1 DISTRICT = 677,360 S.F. = 15.55 AC
 MIN. OPEN SPACE = 20%
 OPEN SPACE PROPOSED WITHIN G1 DISTRICT = 577,990 S.F. = 85.3% ±
 MAX. BUILDING COVERAGE = 50%
 BUILDING COVERAGE PROPOSED WITHIN G1 DISTRICT = 38,108 S.F. = 5.6%
 DENSITY ALLOWED = 16 UNITS/ACRE = 16 X 15.55 AC = 248 UNITS ALLOWED
- ZONING DISTRICT: NATURAL RESOURCE PROTECTION (NRP)
 LOT AREA MINIMUM = NO REQUIREMENT
 LOT FRONTAGE MINIMUM = NO REQUIREMENT
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 70'
 SIDE SETBACK = 70'
 REAR SETBACK = 70'
 MAX. BUILDING HEIGHT = 35'
 MAX. BUILDING COVERAGE = NO REQUIREMENT
 AREA OF LOT WITHIN NRP DISTRICT = 1,228,861 S.F. ±
 MIN. OPEN SPACE = 85%
 OPEN SPACE PROPOSED = 1,228,861 S.F. = 100% WITHIN NRP DISTRICT
- EXISTING CONSERVATION EASEMENT = 28.15 AC = 64.4% OF SITE
 PROPOSED CONSERVATION EASEMENT = 10.3 AC = 23.6% OF SITE
 TOTAL CONSERVATION EASEMENT = 38.5 AC = 88.0% OF SITE
- TOTAL IMPERVIOUS AREA = 99,370 SF = 5.2% OF SITE
 TOTAL DISTURBED AREA = 211,700 SF = 4.8 AC = 11.1% OF SITE
- PARKING CALCULATIONS:
 1.5 SPACES PER UNIT > 750 S.F.
 TOTAL NUMBER OF UNITS = 50. EACH UNIT HAS 2 SPACES IN GARAGE.
 4 OUTDOOR PARKING SPACES PROVIDED.
 TOTAL SPACES REQUIRED = 65, TOTAL SPACES PROVIDED = 104
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ON-SITE OR OFF-SITE TO ENSURE SAFETY AND OBEY THE LAW.
- ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 3301500270E, DATED MAY 17, 2005.
- LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ON-SITE AT ALL TIMES AND UPDATED AS REQUIRED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED. ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE CITY ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
- ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYD BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE. ALL STOP BARS SHALL BE 18" IN WIDTH; NO TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
- THERE SHALL BE NO PARKING ALONG THE ACCESS ROAD.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PROVIDED BY THE OWNER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER PRIOR TO THE START OF CONSTRUCTION. BUILDING DIMENSIONS AND AREAS TO BE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THE SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- EACH UNIT TO HAVE TRASH CANS STIPED INSIDE THE UNITS AND TO BE PICKED UP BY A PRIVATE TRASH HAULER.
- SNOW TO BE TRUCKED OFFSITE WHEN DESIGNATED SNOW STORAGE AREA ARE FULL. GREEN SNOW PRO TECHNIQUES TO BE UTILIZED ON THIS SITE.
- THE FOLLOWING STATE PERMITS ARE REQUIRED FOR THIS PROJECT:
 HIDES ALTERNATION OF TERRAIN PERMIT
 HIDES WETLAND PERMIT
 HIDES SEWER CONNECTION PERMIT
 NHDOT DRIVEWAY PERMIT



PLAN REFERENCES:

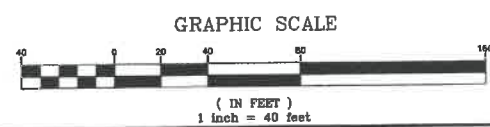
- "SUBDIVISION PLAN OF SOUTHSIDE MANOR, PORTSMOUTH, NH," DATED JANUARY 30, 1952. SURVEYED BY CHARLES BREWER, SUBDIVISION BY LUCIEN GEOFFRON. R.C.R.D. 02163.
- "STAG ESTATES SECTION NO. 1, PARTIAL SUBDIVISION IN PORTSMOUTH, NH," DATED AUGUST 28, 1973. PREPARED BY MOULTON ENGINEERING. R.C.R.D. 4098.
- "SUBDIVISION OF LAND BY THE STATE OF NEW HAMPSHIRE, PORTSMOUTH INDUSTRIAL PARK, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED DECEMBER 13, 1972. PREPARED BY MCKENNA ASSOCIATES. R.C.R.D. 4188.
- "PLAN OF LAND OF THE HOUSE OF THREE, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED NOVEMBER 1979. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9172.
- "SUBDIVISION OF LAND FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED FEBRUARY 6, 1980. PREPARED BY TOWN PLANNING & ENGINEERING ASSOC. INC. R.C.R.D. 9458.
- "UNIT LOCATION PLAN, WEATHERSTONE FOR HOUSE - GOODMAN, LAFAYETTE ROAD, PORTSMOUTH, NH," DATED MAY 1, 1980. PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. 9880.
- "EASTLAND PARK, PORTSMOUTH, NH," DATED FEBRUARY 24, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12480.
- "COACH PARK, PORTSMOUTH, NH," DATED JUNE 13, 1984. PREPARED BY KIMBALL CHASE COMPANY. R.C.R.D. 12848.
- "HAWTHORNE ESTATES, CONSOLIDATION & SUBDIVISION PLAN," DATED SEPTEMBER 20, 1989. PREPARED BY JONES & BEACH ENGINEERS. R.C.R.D. 28133.

CONDOMINIUM SITE PLAN CERTIFICATION:

I CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE LAND AND EXISTING IMPROVEMENTS SHOWN THEREON AND TO THE EXTENT FEASIBLE, ALL EASEMENTS APPURTENANT THERETO, THAT THIS BUILDING DEPICTED HEREON HAS NOT YET BEGUN AND THIS PLAN COMPLIES WITH NH RSA 356-820 (1).



MATTHEW J. SALVUCCI, LLS 1030
 ON BEHALF OF JONES & BEACH ENGINEERS, INC. DATE:



Design: JAC Draft: LAZ Date: 9/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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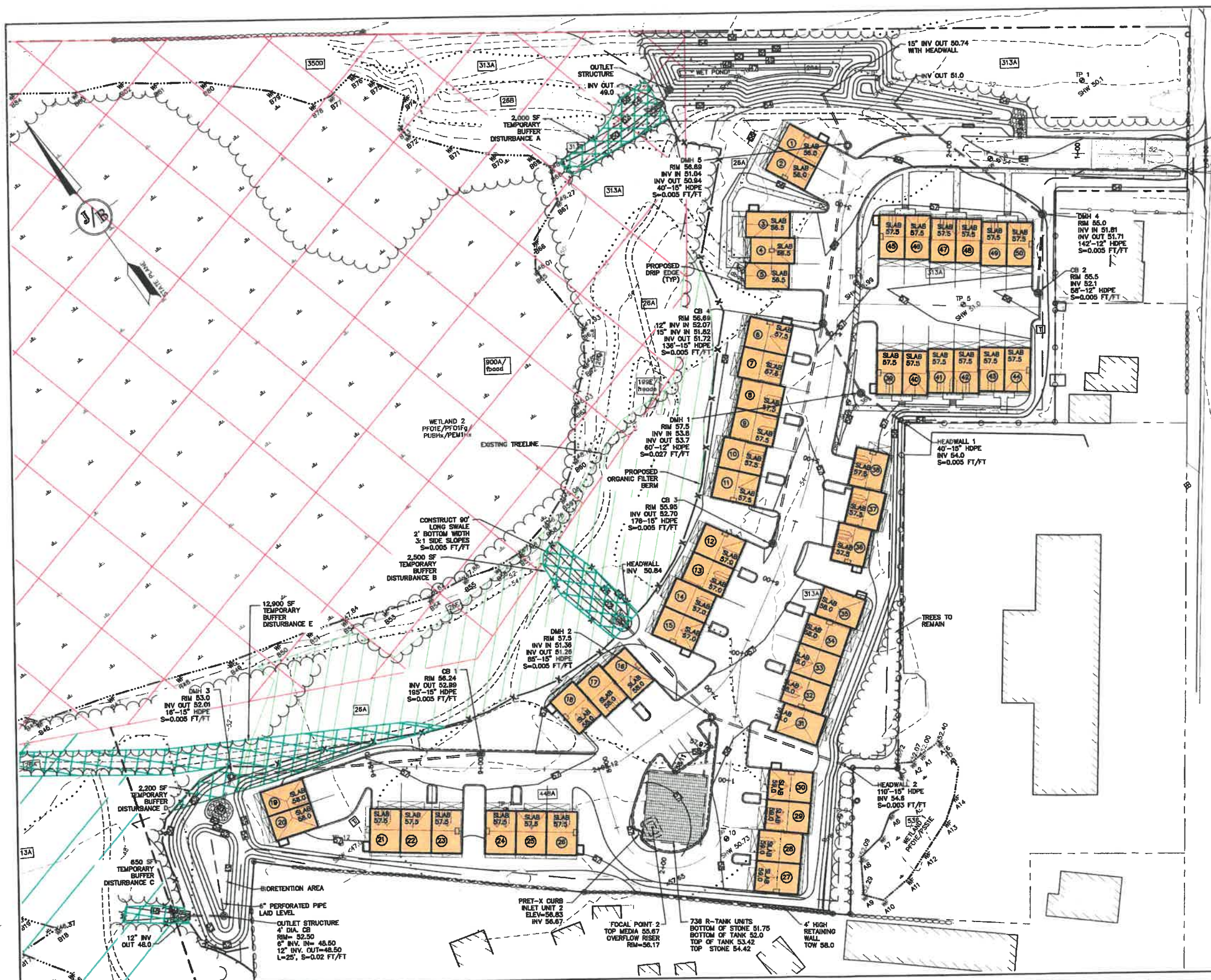
REV.	DATE	REVISION	BY
8	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/16/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
		REVISION	

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 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **CONDOMINIUM SITE PLAN**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **C2**
 SHEET 7 OF 25
 JBE PROJECT NO. 20737

PROJECT PARCEL
 CITY OF PORTSMOUTH
 TAX MAP 297, LOT 11
 TOTAL LOT AREA
 1,931,721 SQ. FT. ±
 44.35 ACRES ±

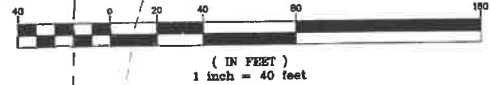


LAFAYETTE ROAD (U.S. ROUTE 1)

GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL SWALES AND DETENTION PONDS ARE TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- PROPOSED RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN SCI508N EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS. CATCH BASINS SHALL HAVE 3" DEEP SLUMPS WITH GREASE HOODS, UNLESS OTHERWISE NOTED.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST, UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL WITHIN THE DETAIL SHEETS.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- TOTAL DISTURBANCE = 211,700 SF = 4.9 AC

GRAPHIC SCALE



PROJECT PARCEL
CITY OF PORTSMOUTH
TAX MAP 287, LOT 11

TOTAL LOT AREA
1,831,721 SQ. FT. ±
44.95 ACRES ±

Design: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS SHOWN Project No.: 20737
Drawing Name: 20737-PLAN.dwg
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REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
REV.	DATE	REVISION	BY

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E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	GRADING AND DRAINAGE PLAN
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.
C3
SHEET 8 OF 25
JBE PROJECT NO. 20737



UTILITY NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
4. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO THE CITY STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT, UNLESS OTHERWISE SPECIFIED.
6. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
7. BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
9. AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
10. INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF SHALL CONSIST OF BRICK MASONRY.
11. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
12. SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING H20 LOADS.
13. CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
14. SANITARY SEWER FLOW CALCULATIONS:
50 - THREE BEDROOM UNITS @ 150 GPD/BEDROOM =
TOTAL FLOW = 22,500 GPD
15. ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
16. PROPOSED RIM ELEVATIONS OF DRAINAGE AND SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE AS SHOWN ON THE GRADING AND DRAINAGE PLAN.
17. ALL WATER MAINS AND SERVICE PIPES SHALL HAVE A MINIMUM 12" VERTICAL AND 24" HORIZONTAL SEPARATION TO MANHOLES, OR CONTRACTOR SHALL INSTALL BOARD INSULATION FOR FREEZING PROTECTION.
18. WATER MAINS SHALL BE HYDROSTATICALLY PRESSURE TESTED FOR LEAKAGE PRIOR TO ACCEPTANCE. WATERMANS SHALL BE TESTED AT 1.5 TIMES THE WORKING PRESSURE OR 150 PSI, WHICHEVER IS GREATER. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH SECTION 4 OF AWWA STANDARD C 800. WATERMANS SHALL BE DISINFECTED AFTER THE ACCEPTANCE OF THE PRESSURE AND LEAKAGE TESTS ACCORDING TO AWWA STANDARD C 651.
19. THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, MECHANICAL JOINTS AND FIRE HYDRANTS.
20. DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
21. THE CONTRACTOR SHALL HAVE THE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER FIRE PROTECTION SYSTEM PRIOR TO INSTALLATION.
22. CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
23. EXISTING UTILITIES SHALL BE DISINFECTED BEFORE CONSTRUCTION.
24. ALL WATER LINES SHOULD HAVE TESTABLE BACKFLOW PREVENTERS AT THE ENTRANCE TO EACH BUILDING.
25. ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS SHALL BE TESTED ACCORDING TO NHDES STANDARD FOR DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WO 700, ADOPTED ON 10-15-14.
26. ENV-WO 704.08 GRAVITY SEWER PIPE TESTING: GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UN-BELL PVC PIPE ASSOCIATION UNI-B-6. LINES SHALL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS SHALL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION AND THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 1% OF AVERAGE INSIDE PIPE DIAMETER. A RIGID BALL OR MANHOLE WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
27. ENV-WO 704.17 SEWER MANHOLE TESTING: SHALL BE TESTED FOR LEAKAGE USING A VACUUM TEST PRIOR TO BACKFILLING AND PLACEMENT OF SHELVES AND INVERTS.
28. SANITARY SEWER LINES SHALL BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM AN EXISTING OR PROPOSED WATER LINE. WHEN A SEWER LINE CROSSES UNDER A WATER LINE, THE SEWER PIPE JOINTS SHALL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATERMAIN. THE SEWER LINE SHALL ALSO MAINTAIN A VERTICAL SEPARATION OF NOT LESS THAN 18 INCHES.
29. SEWERS SHALL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A WAIVER FROM THE DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER ENGINEERING BUREAU IS REQUIRED PRIOR TO INSTALLING SEWER AT LESS THAN MINIMUM COVER.
30. THE CONTRACTOR SHALL MINIMIZE THE DISRUPTIONS TO THE EXISTING SEWER FLOWS AND THOSE INTERRUPTIONS SHALL BE LIMITED TO FOUR (4) HOURS OR LESS AS DESIGNATED BY THE CITY SEWER DEPARTMENT.
31. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
32. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.

GRAPHIC SCALE



Design: JAC Draft: LAZ Date: 9/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
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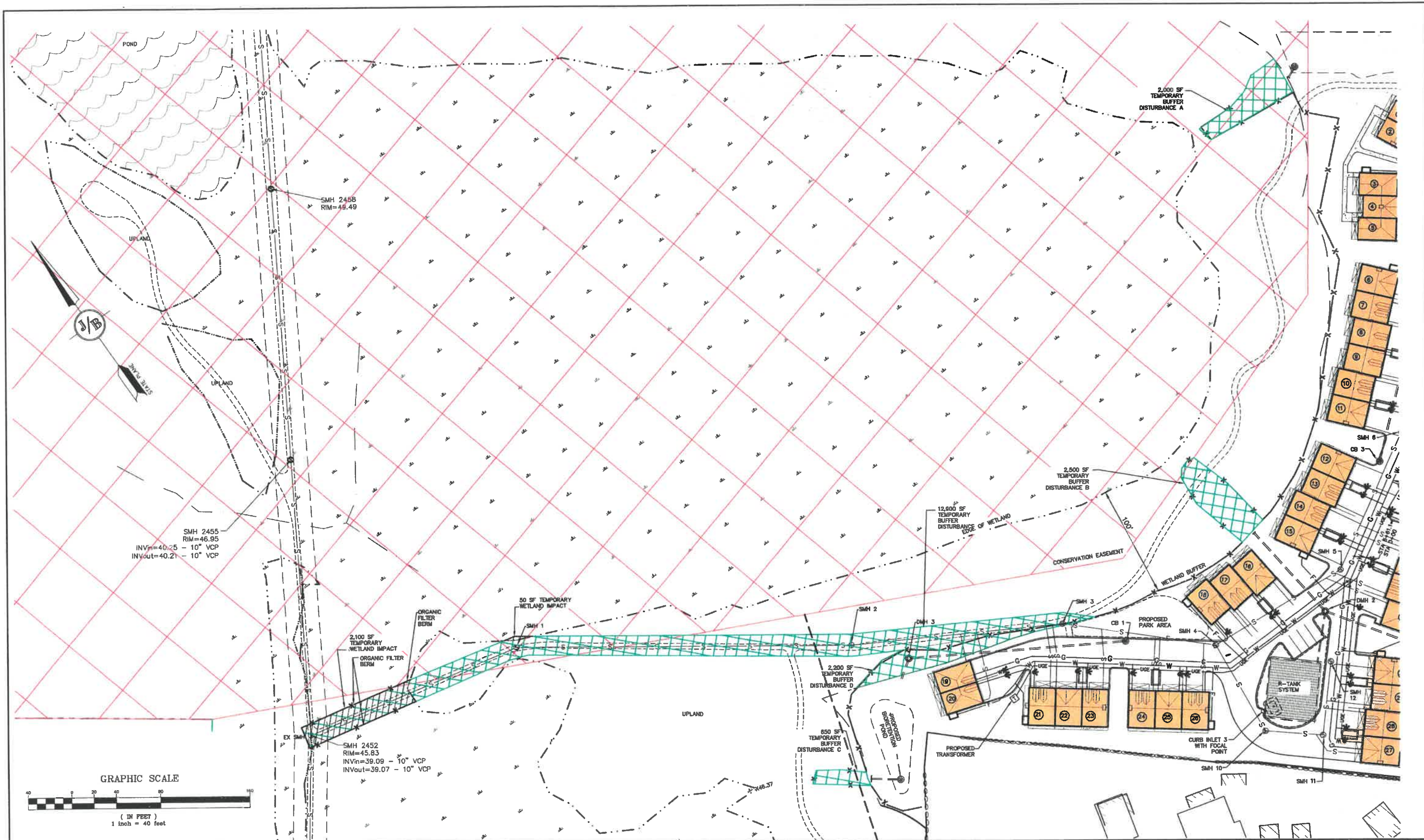


REV.	DATE	REVISION	BY
8	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/6/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
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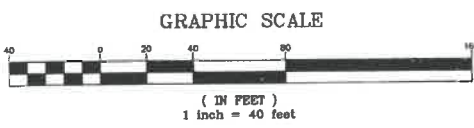
Plan Name: **UTILITY PLAN**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0220**

DRAWING No. **C4**
 SHEET 9 OF 25
 JBE PROJECT NO. 20737



SMH 2455
RIM=46.95
INV_{in}=40.25 - 10" VCP
INV_{out}=40.21 - 10" VCP

SMH 2452
RIM=45.83
INV_{in}=39.09 - 10" VCP
INV_{out}=39.07 - 10" VCP



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Plan Name: **UTILITY PLAN**
3400 LAFAYETTE ROAD
PORTSMOUTH, NH

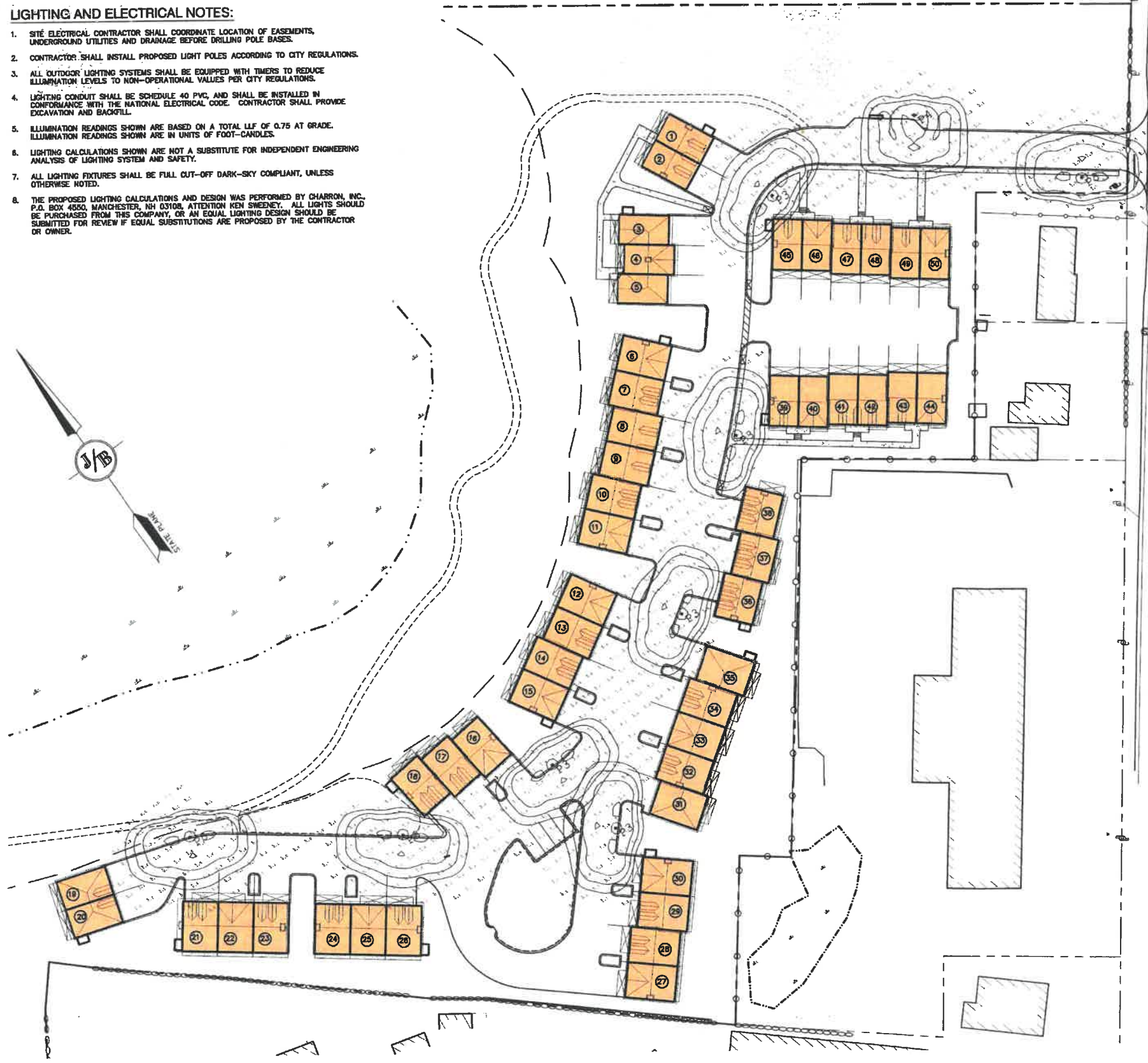
Project:

Owner of Record: **RICCI CONSTRUCTION CO., INC.**
225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No. **C5**
SHEET 10 OF 25
JBE PROJECT NO. 20737

LIGHTING AND ELECTRICAL NOTES:

1. SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
2. CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO CITY REGULATIONS.
3. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER CITY REGULATIONS.
4. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
5. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDLES.
6. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
7. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
8. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4850, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY, OR AN EQUAL LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.



DESCRIPTION

The Traditionaire LED outdoor luminaire displays the old-fashioned charm of traditional area lighting, enhancing any setting with distinctive styling. As a decorative luminaire, the Traditionaire LED tastefully complements the architectural and environmental design of parks and roadways. The high-lumen downlight configuration uses Cooper Lighting Solutions' patented LightBAR™ technology to deliver uniform and efficient illumination to pedestrian and roadway applications.

SPECIFICATION FEATURES

Construction
Hinged (stainless steel hinge pins) die-cast aluminum housing and cover with cupola. 3G vibration tested to ensure strength of construction and longevity in application.

Optics
Choice of six patented, high-efficiency AccuLED Optic™ technology manufactured from injection-molded acrylic. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology, creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in 4000K (4+275K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 6700K CCT. For the ultimate level of spill

light control, an optional house-side shield accessory can be field or factory installed. The house-side shield is designed to seamlessly integrate with the SL2 or SL3 optics.

Electrical
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common - and differential - mode surge protection. LightBARs feature an IP68 enclosure rating and

maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21.

Mounting
Self-aligning pole-top fitter for 3" O.D. pole tops or vertical tenons. Square headed 1-1/4" polymer coated mounting bolts with a lock nut.

Finish
Cast components finished in a super durable black TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Optional colors include: bronze, grey and white. RAL and custom color matches available.

Warranty
Five-year warranty.

Streetworks

Catalog #	Type
Project	Date
Comments	
Prepared by	

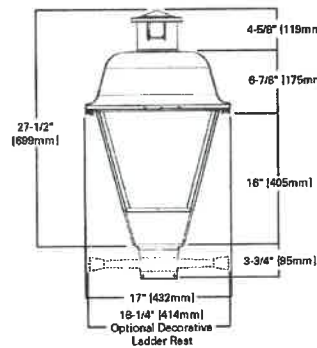


UTLD TRADITIONAIRE LED DOWNLIGHT

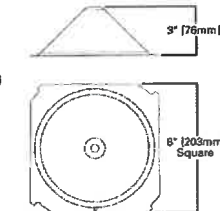
1 - 3 LightBARs
Solid State LED

DECORATIVE POST TOP LUMINAIRE

DIMENSIONS



OPTIONAL BIRD CONE



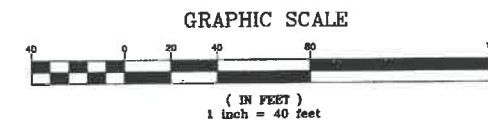
CERTIFICATION DATA
UL/cUL Listed
LM79 / LM80 Compliant
3G Vibration Rated
IP68 LightBARs
ISO 9001

ENERGY DATA
Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
<40°C Minimum Temperature
<40°C Ambient Temperature Rating

EPA
Effective Projected Area: (Sq. Ft.)
2.3

SHIPPING DATA
Approximate Net Weight:
37 lbs. (17 kgs.)

Revised	By	Description
1	JAC	UTLD-F02-LED-E-0-014' H/D ON 1 1/2" POLE TUB
2	JAC	UTLD-F02-LED-E-0-014' H/D ON A 1 1/2" POLE TUB



Design: JAC Draft: LAZ Date: 3/3/21
Checked: JAC Scale: AS SHOWN Project No.: 20737
Drawing Name: 20737-PLAN.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

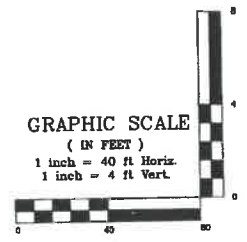
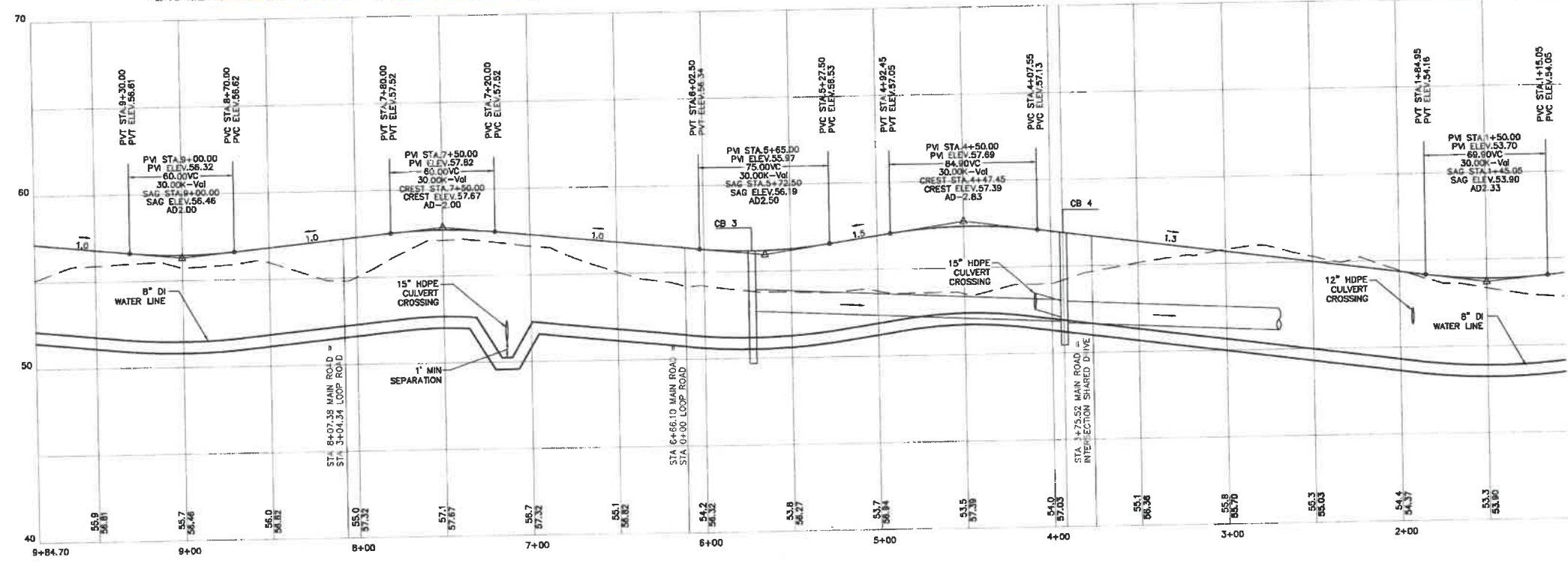
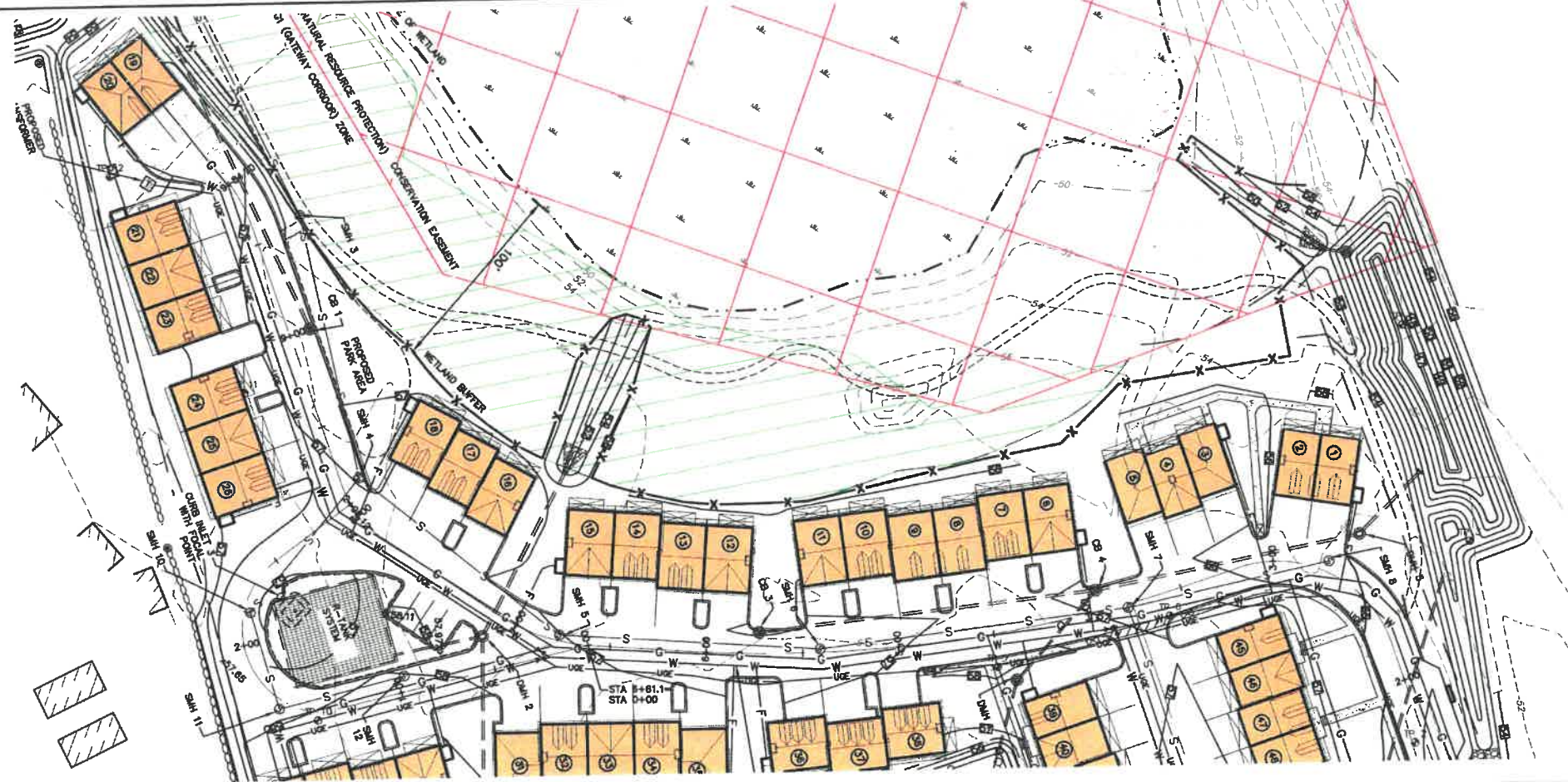


REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM

Designed and Produced In NH
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LIGHTING PLAN**
Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1830 PG 0229**

DRAWING No. **L1**
SHEET 11 OF 25
JBE PROJECT NO. 20737



Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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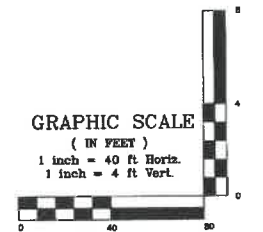
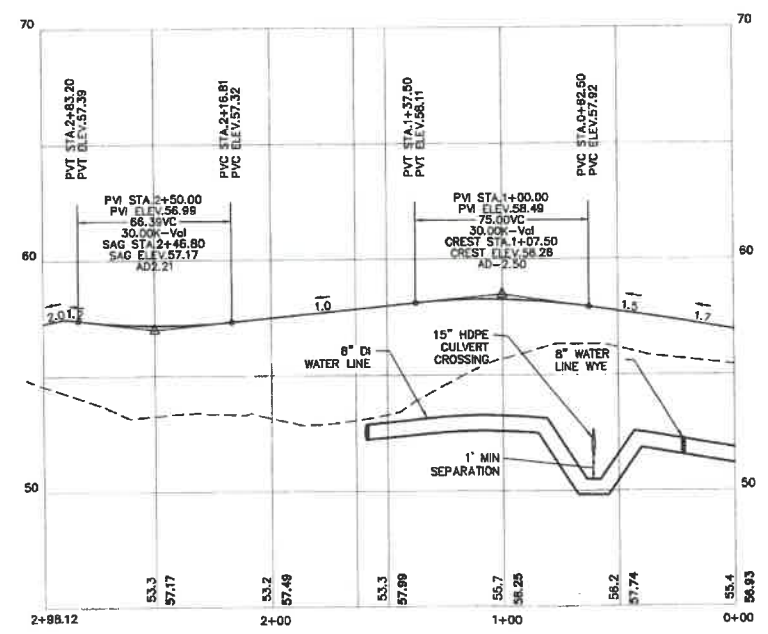
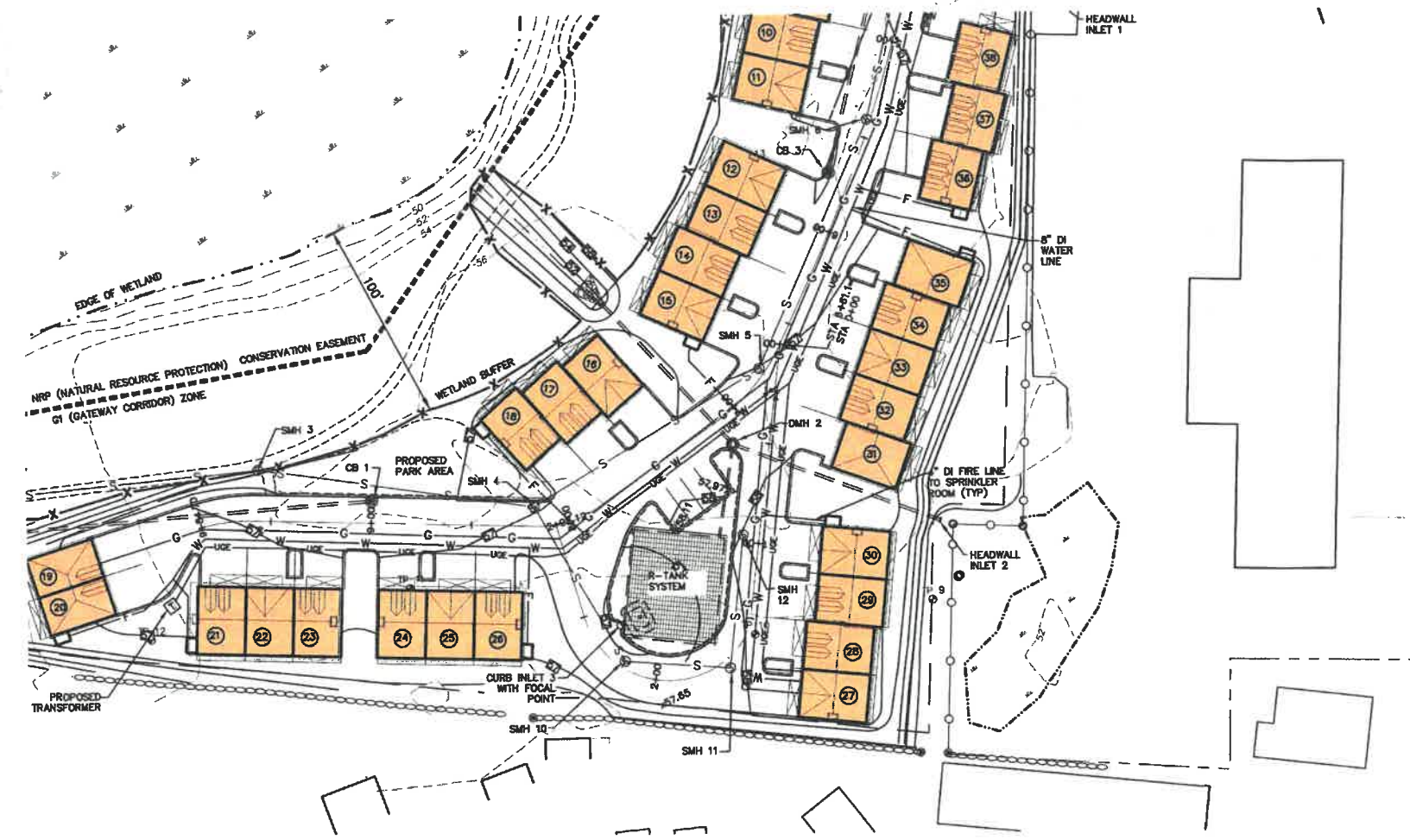
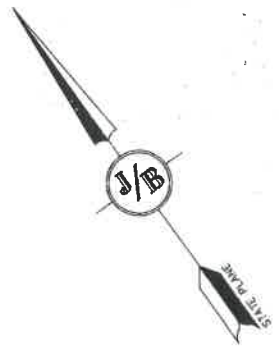


REV.	DATE	REVISION	BY
6	8/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM
1			

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 85 Portsmouth Ave. Civil Engineering Services 603-772-4748
 PO Box 219 Stratham, NH 03885 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN AND PROFILE**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **P2**
 SHEET 18 OF 25
 JBE PROJECT NO. 20737



Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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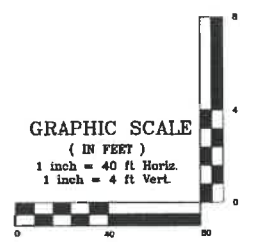
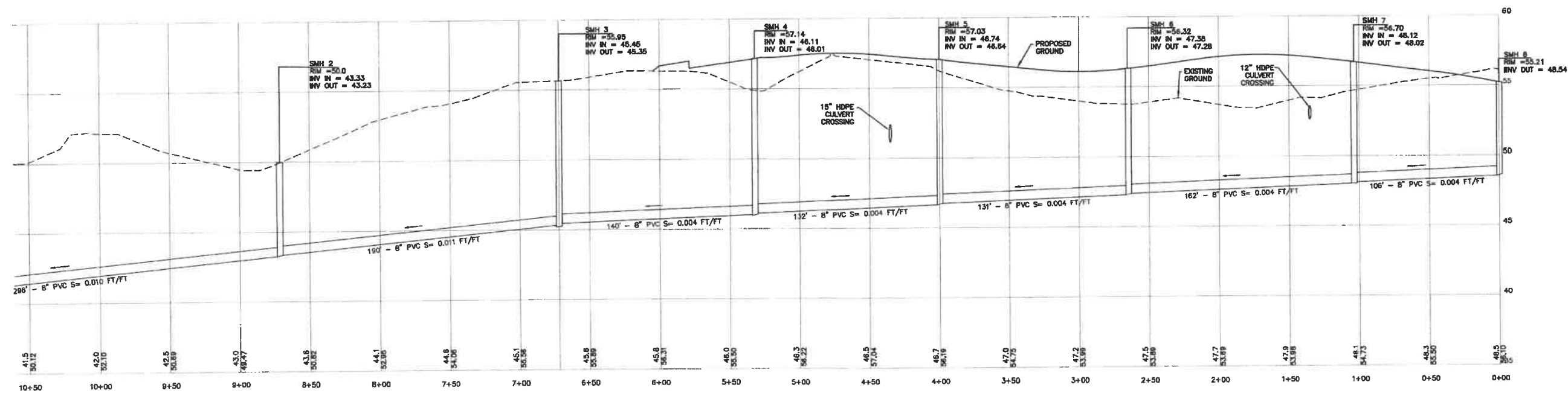


REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/8/21	MINOR REVISIONS	DJM
1			

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J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746
 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **PLAN AND PROFILE**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **P3**
 SHEET 14 OF 25
 JBE PROJECT NO. 20737



Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/8/21	MINOR REVISIONS	DJM
1			

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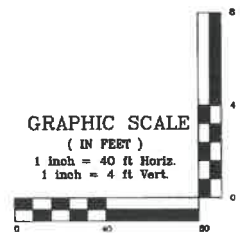
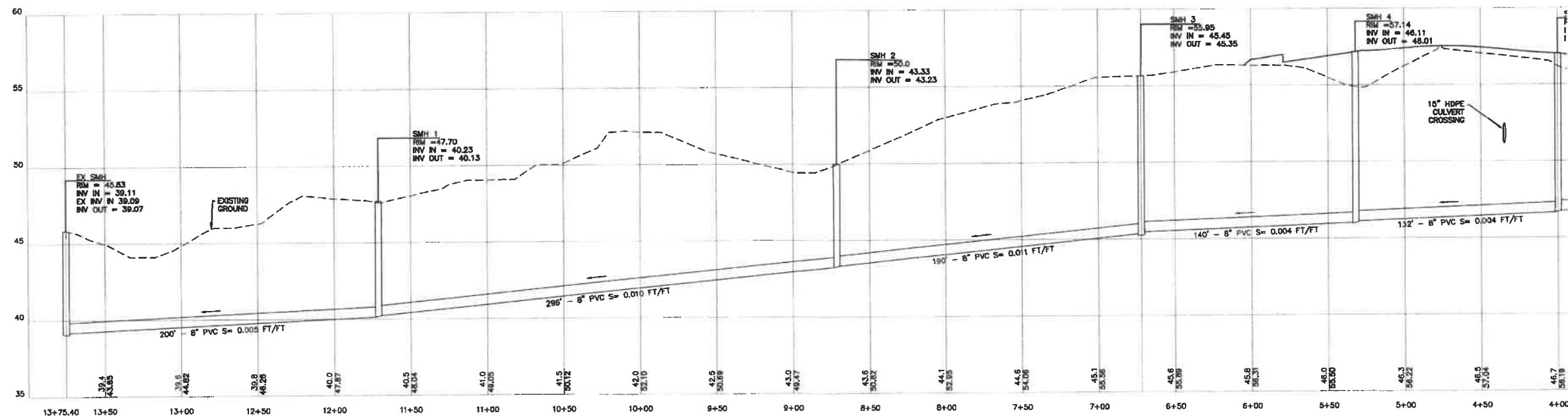
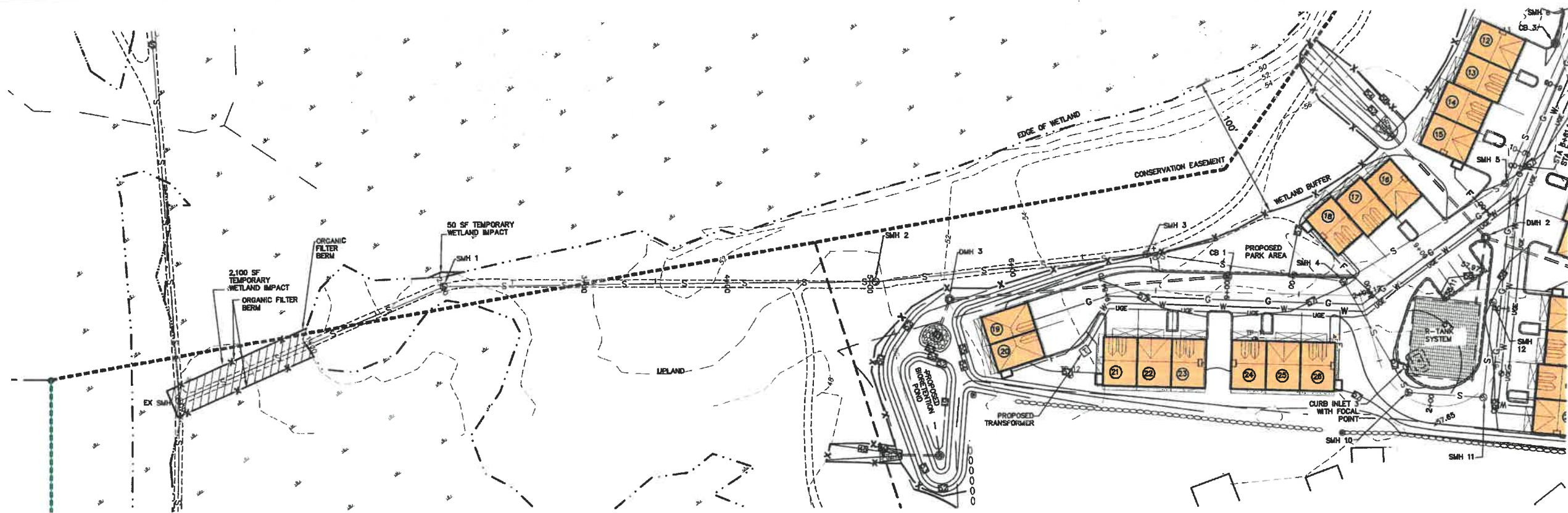
Plan Name: **SEWER PROFILE**
 3400 LAFAYETTE ROAD
 PORTSMOUTH, NH

Project: **RICCI CONSTRUCTION CO., INC.**
 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1830 PG 0228

Owner of Record:

DRAWING No. **P4**

SHEET 15 OF 25
 JBE PROJECT NO. 20737



Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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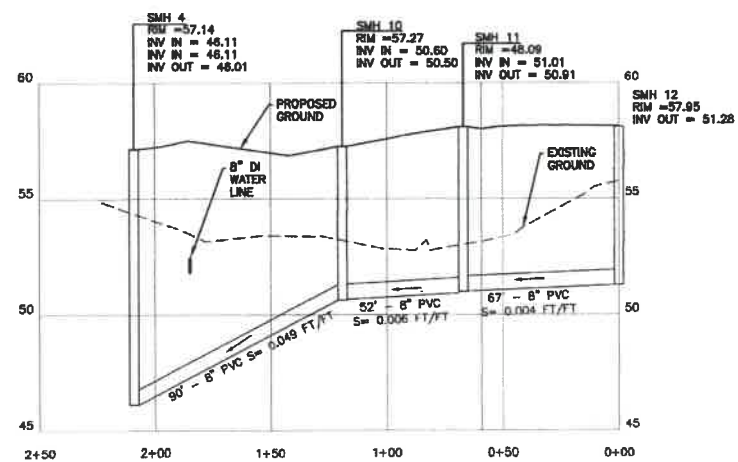


REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/8/21	MINOR REVISIONS	DJM

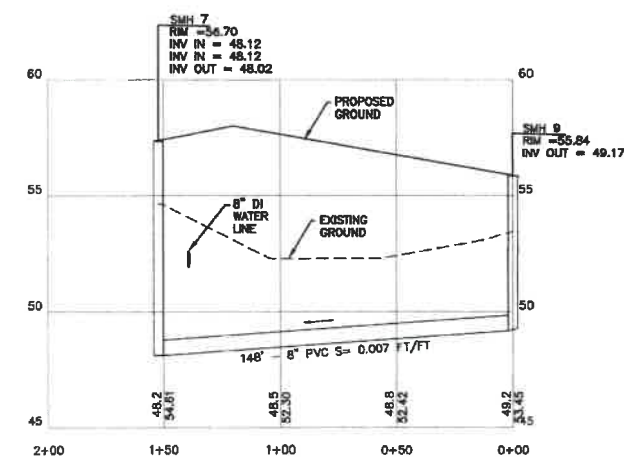
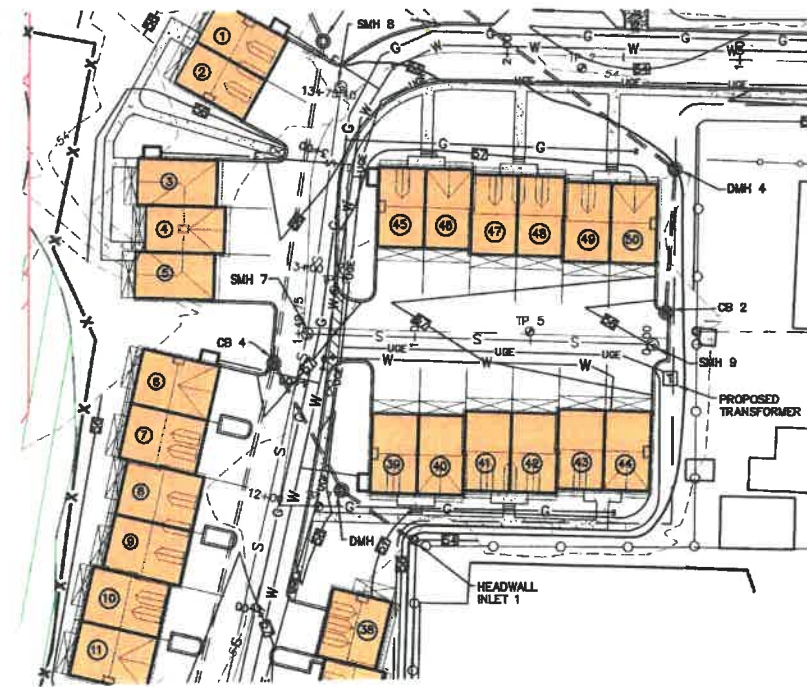
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 Civil Engineering Services
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	SEWER PROFILE
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1830 PG 0229

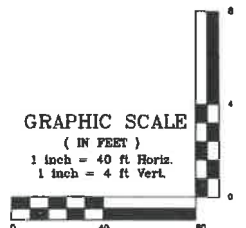
DRAWING No.
P5
 SHEET 16 OF 25
 JBE PROJECT NO. 20737



LOOP ROAD



SHARED DRIVEWAY



Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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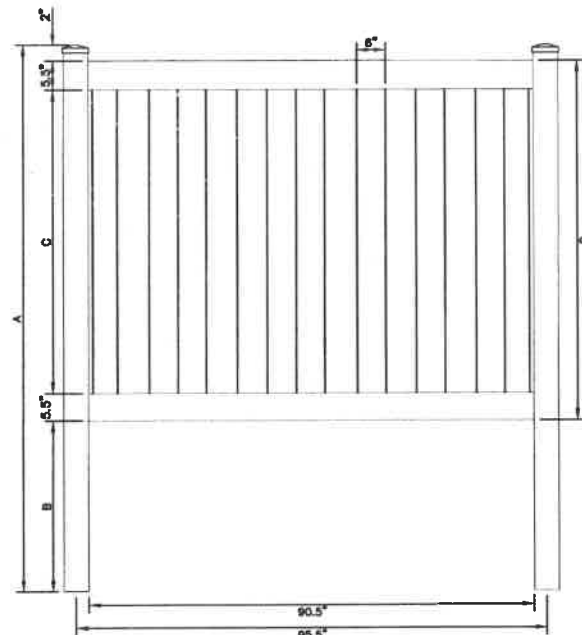


REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	6/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/8/21	MINOR REVISIONS	DJM

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J/B Jones & Beach Engineers, Inc.
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 Civil Engineering Services
 603-772-4748 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SEWER PROFILE**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **P5**
 SHEET 17 OF 25
 JBE PROJECT NO. 20737



FRONT ELEVATION

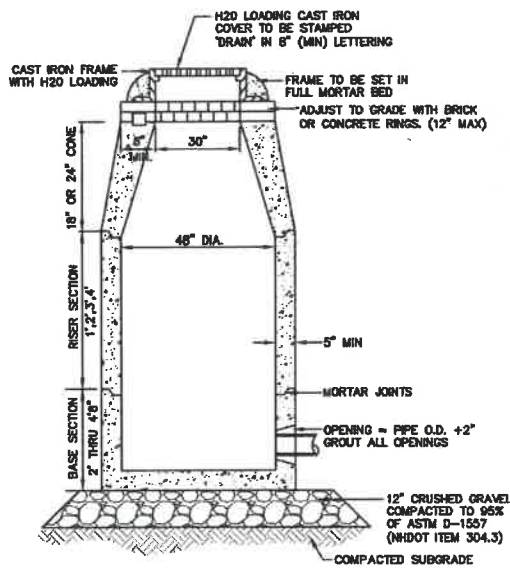
	A	B	C	D			
H(FT)	INCHES	H(FT)	INCHES	H(FT)	INCHES		
3	60	3	22	3	25	3	36
4	84	4	34	4	37	4	48
5	96	5	34	5	49	5	60
6	108	6	34	6	61	6	72

NOTES:

- CONTRACTOR TO PROVIDE FENCE SPEC TO ENGINEER FOR REVIEW PRIOR TO INSTALLATION.
- VINYL FENCE SHALL MEET ASTM F964-09 STANDARDS.

6' VINYL STOCKADE FENCE

NOT TO SCALE

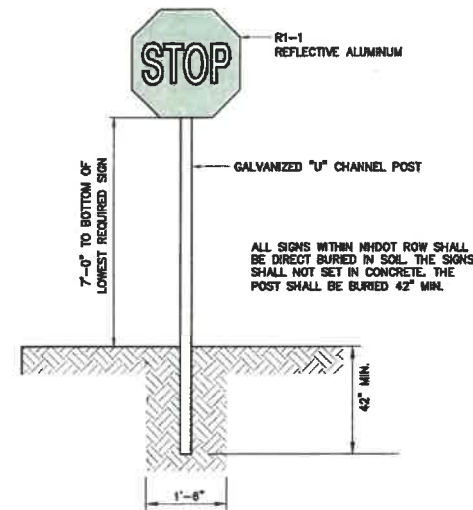


NOTES:

- BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
- ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
- CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
- FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
- PROVIDE 1/2" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
- JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
- ALL DRAIN MANHOLE FRAMES AND GRATES SHALL BE NHDOT TYPE MH-1, OR MEEMAN R-1798 OR APPROVED EQUAL (30" DIA. TYPICAL).
- STANDARD FRAME(S) AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE 'DONUTS'.

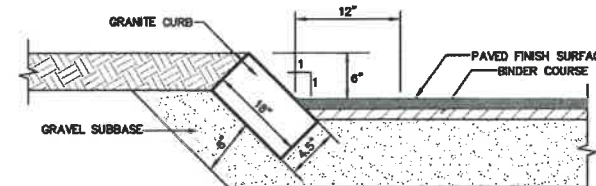
DRAIN MANHOLE

NOT TO SCALE



STOP SIGN (R1-1)

NOT TO SCALE

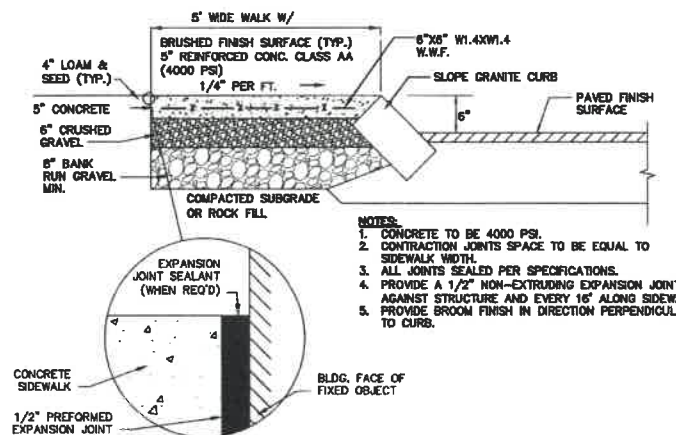


NOTES:

- CURB TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
- JOINTS BETWEEN STONES SHALL BE MORTARED.

SLOPE GRANITE CURB

NOT TO SCALE

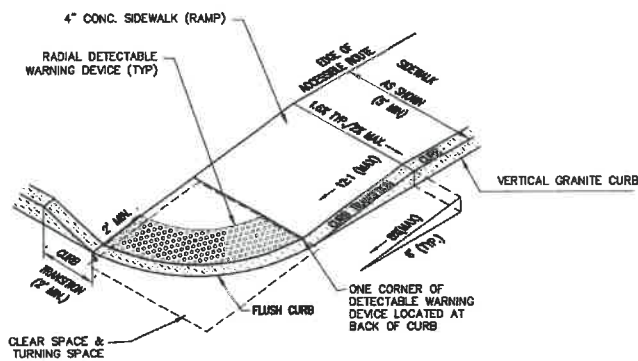


NOTES:

- CONCRETE TO BE 4000 PSI.
- CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH.
- ALL JOINTS SEALED PER SPECIFICATIONS.
- PROVIDE A 1/2" NON-EXTRUDING EXPANSION JOINT AGAINST STRUCTURE AND EVERY 16' ALONG SIDEWALK.
- PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

CONCRETE SIDEWALK W/ SLOPE GRANITE CURB

NOT TO SCALE

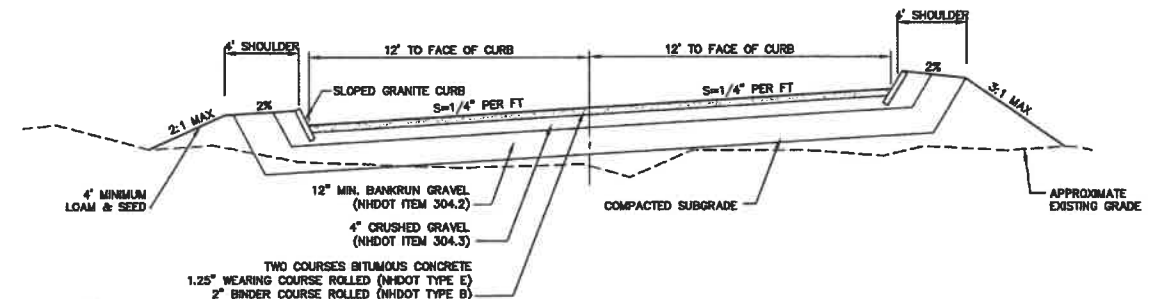


ACCESSIBLE CURB RAMP (NHDOT OPTION 3)

NOT TO SCALE

NOTES:

- THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
- THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 0.3%.
- A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (i.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
- CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
- BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
- SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.
- WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED AT THE BASE AND/OR THE TOP OF THE CURB RAMP. TURNING SPACES SHALL BE PERMITTED TO OVERLAP CLEAR SPACES.
- TURNING SPACE MAXIMUM CROSS SLOPE IS 2% IN ANY DIRECTION.
- BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4' MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PEDESTRIAN CROSSWALK, AND OUTSIDE THE PARALLEL VEHICLE TRAVEL LANE. THE CLEAR SPACE MAY OVERLAP TURNING SPACES, DETECTABLE WARNING SURFACES AND DROP CURBS.



NOTES:

- REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36" BELOW FINISH GRADE AND BE REPLACED WITH GRAVEL COMPACTED TO 95%.
- ALL MATERIALS TO BE AS SPECIFIED PER TOWN STANDARDS AND NHDOT, WHICHEVER IS MOST STRINGENT. GRADATION AND COMPACTION TEST RESULTS (95% MIN.) SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
- TOWN MAY REQUIRE UNDERDRAIN AND/OR ADDITIONAL DRAINAGE IF SOIL CONDITIONS WARRANT.

TYPICAL ROADWAY SECTION W/CURBING

NOT TO SCALE

Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS NOTED	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

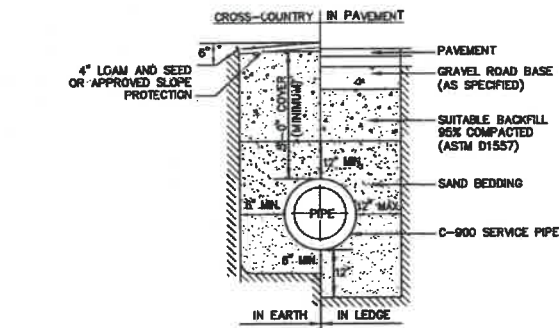
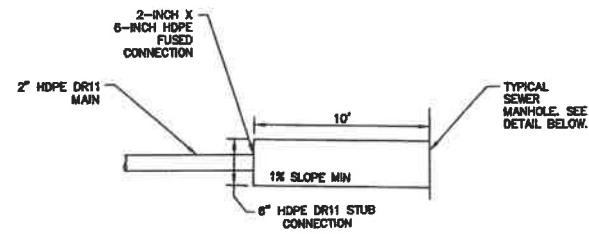
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

803-772-4746 FAX: 803-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

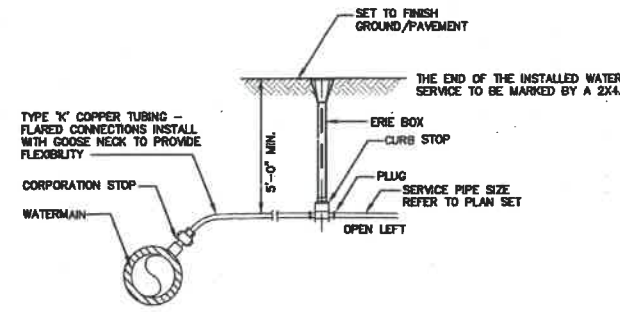
Plan Name:	DETAIL SHEET
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	D1
SHEET 18 OF 25	JBE PROJECT NO. 20737



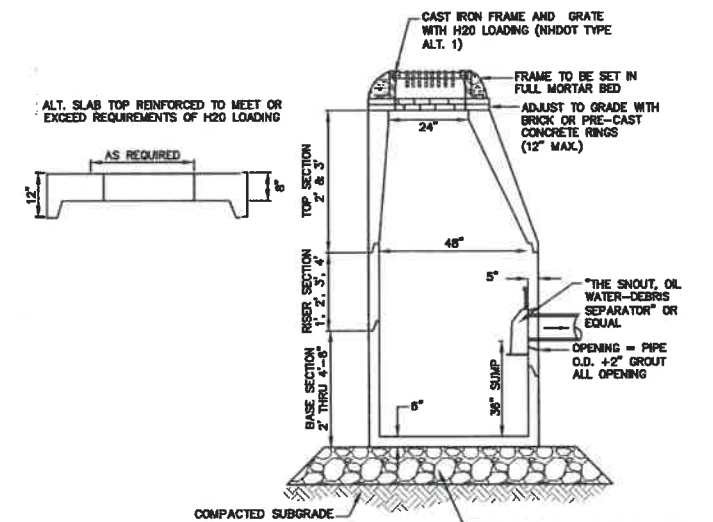
WATER SYSTEM TRENCH

NOT TO SCALE



WATER SERVICE CONNECTION-COPPER PIPE

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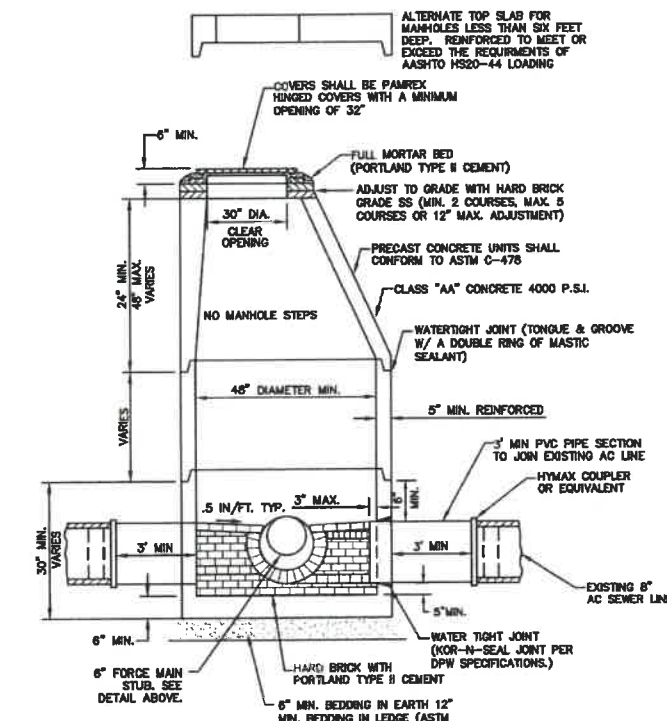


NOTES:

1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING.
5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
7. ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
8. STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".
9. ALL CATCH BASINS ARE TO BE FITTED WITH GREASE HOODS.

CATCH BASIN WITH GREASE HOOD

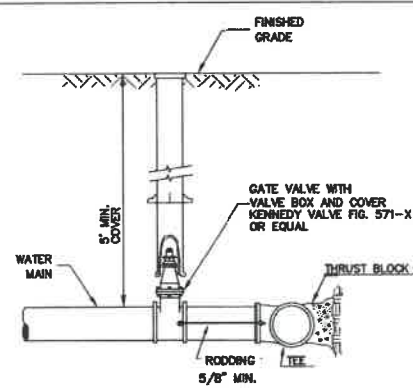
NOT TO SCALE



- NOTES:**
1. PER NHDES ENV-WQ 704.13(C), THE MORTAR SPECIFICATION SHALL BE AS FOLLOWS:
 1. MORTAR SHALL BE COMPOSED OF PORTLAND CEMENT AND SAND WITH OR WITHOUT HYDRATED LIME ADDITION;
 2. PROPORTIONS IN MORTAR OF PARTS BY VOLUMES SHALL BE:
 A. 4.5 PARTS SAND AND 1.5 PARTS CEMENT; OR
 B. 4.5 PARTS SAND, ONE PART CEMENT AND 0.5 PART HYDRATED LIME;
 3. CEMENT SHALL BE TYPE II PORTLAND CEMENT CONFORMING TO ASTM C150-05;
 4. HYDRATED LIME SHALL BE TYPE S CONFORMING TO THE ASTM C207-06 STANDARD SPECIFICATIONS FOR HYDRATED LIME FOR MASONRY PURPOSES;
 5. SAND SHALL CONSIST OF INERT NATURAL SAND CONFORMING TO THE ASTM C33-03 STANDARD SPECIFICATIONS FOR CONCRETE, FINE AGGREGATES;
 2. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE HIGHEST PIPE CROWN AND SLOPED TO DRAIN TOWARD THE FLOWING THROUGH CHANNEL IN ACCORDANCE WITH ENV-WQ 704.12 (K).
 3. ALL MANHOLES SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH ENV-WQ 704.17 (c) THROUGH (e).
 4. SEWER MANHOLE COVERS SHALL CONFORM TO ASTM A48 WITH A CASTING EQUAL TO CLASS 30 IN ACCORDANCE WITH ENV-WQ 704.13 (c).
 5. ALL ASBESTOS CONTAINING WASTE MATERIALS MUST BE PROPERLY IDENTIFIED, PACKAGED AND DELIVERED TO A LANDFILL LICENSED BY THE NHDES SOLID WASTE MANAGEMENT PROGRAM FOR DISPOSAL. CALL (603) 271-2925 FOR MORE INFORMATION.
 6. PORTSMOUTH STANDARD SEWER MANHOLE SHALL BE USED.
 7. CONTRACTOR TO PURCHASE SEWER MANHOLE COVERS FROM THE CITY OF PORTSMOUTH DIRECTLY.
 8. MANHOLE BASE SECTIONS SHALL BE MONOLITHIC TO A POINT AT LEAST 6" ABOVE THE HIGHEST INCOMING SEWER PIPE PER ENV-WQ 704.12 (e).
 9. MANHOLE CASTINGS SHALL CONFORM TO ASTM A48 PER ENV-WQ 704.13 (c) (8).

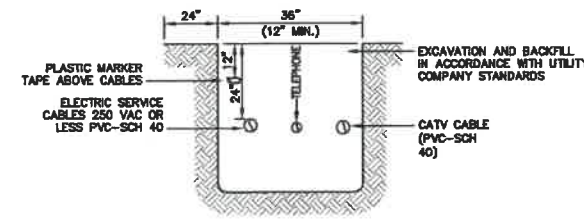
PORTSMOUTH SEWER MANHOLE

NOT TO SCALE



BURIED GATE VALVE DETAIL

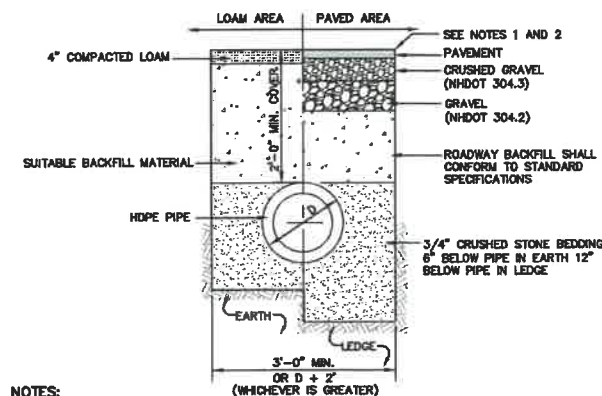
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NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

UTILITY TRENCH

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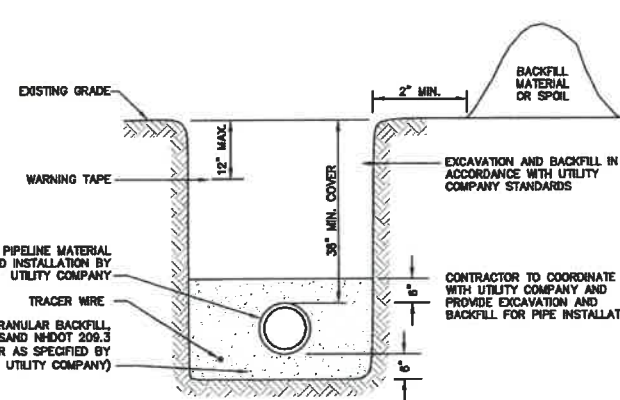


NOTES:

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
3. ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

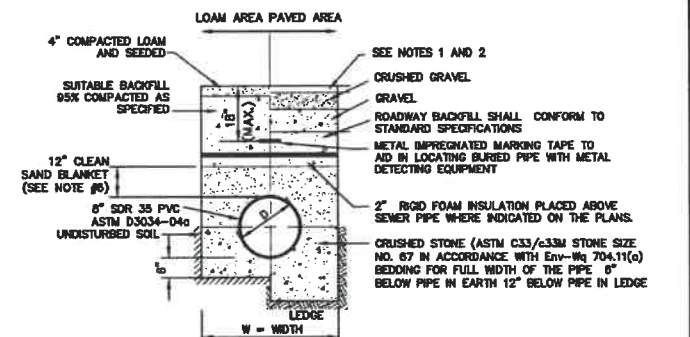
DRAINAGE TRENCH

NOT TO SCALE



GAS TRENCH

NOT TO SCALE



NOTES:

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO PAVEMENT DETAILS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPECIFICATIONS.
3. TRENCH BACKFILL SHALL CONFORM WITH ENV. Wq 704.11(h) AND BE FREE OF DEBRIS, PAVEMENT, ORGANIC MATTER, TOP SOIL, WET OR SOFT MUCK, PEAT OR CLAY, EXCAVATED LEDGE OR ROCKS OVER SIX INCHES.
4. W= MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12" INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, WIDTH SHALL BE NO MORE THAN 36"; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, WIDTH SHALL BE 24 INCHES PLUS PIPE O.D. WIDTH SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE.
5. RIGID FOAM INSULATION TO BE PROVIDED WHERE COVER IN THE ROADWAY IS LESS THAN 6" AND CROSS COUNTRY IS LESS THAN 4' WHERE INDICATED ON THE DES APPROVED PLANS.
6. PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND, FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100% PASSES A 1/2" SIEVE AND A MAXIMUM OF 15% PASSES A #200 SIEVE IN ACCORDANCE WITH ENV-Wq 704.11(b).
7. JOINT SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL AND CERTIFIED BY THE MANUFACTURER AS CONFORMING TO THE ASTM D3212 STANDARD IN EFFECT WHEN THE JOINT SEALS WERE MANUFACTURED, AND SHALL BE PUSH-ON, BELL-AND-SPIGOT TYPE PER ENV-Wq 704.05 (e).

SEWER TRENCH

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Checked: JAC	Scale: AS NOTED	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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REV.	DATE	REVISION	BY
6	8/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/8/21	MINOR REVISIONS	DJM

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

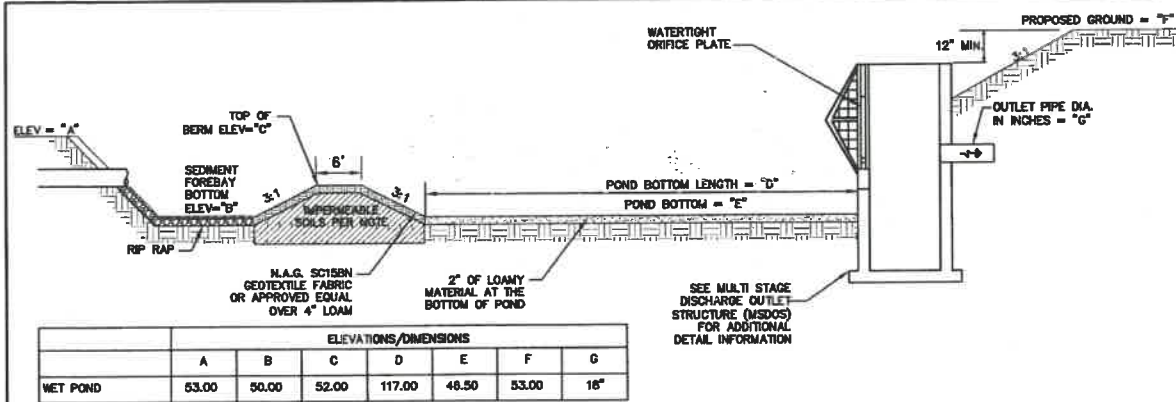
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4748 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.	D2
SHEET 18 OF 25	JBE PROJECT NO. 20737



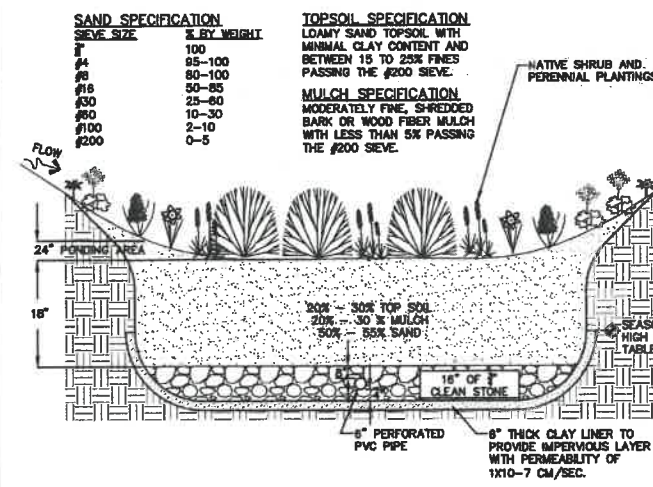
ELEVATIONS/DIMENSIONS							
	A	B	C	D	E	F	G
WET POND	53.00	50.00	52.00	117.00	49.50	53.00	16"

WET POND SECTION

NOT TO SCALE

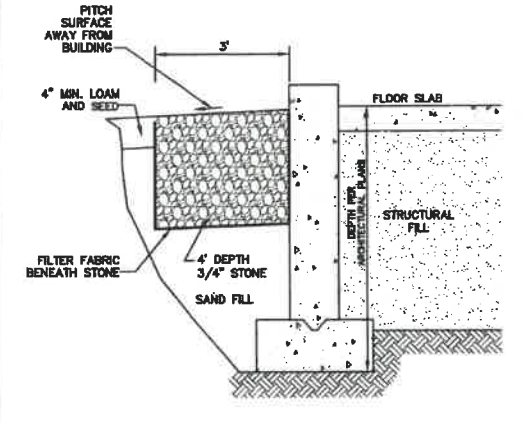
WET POND CONSTRUCTION CRITERIA

- FOUNDATION PREPARATION** — THE FOUNDATION AREA SHALL BE CLEARED OF TREES LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOG, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOG SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED, IF NECESSARY, SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS. THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL. EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPENED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT. FILL PLACEMENT — THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOG, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATTER.
- SELECTED BACK FILL MATERIAL** SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS AND ANTI SEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES, TO PREVENT DAMAGE FROM UNEQUAL LOADING. THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL. THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
- MOISTURE CONTROL** — THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
- COMPACTION** — CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION. IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY. FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTI SEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE IS STRONG ENOUGH TO SUPPORT THE LOAD.
- PROTECTION** — A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS SUCH AS MULCHES OR GRAVEL MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.
- SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING** SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMP'S.
- CONCRETE** — THE MIX DESIGN AND TESTING OF CONCRETE SHALL BE CONSISTENT WITH THE STRENGTH REQUIREMENTS OF THE JOB. MIX REQUIREMENTS OR NECESSARY STRENGTH SHALL BE SPECIFIED. THE TYPE OF CEMENT, AIR ENTRAINMENT, SLUMP, AGGREGATE, OR OTHER PROPERTIES SHALL BE SPECIFIED IF NECESSARY. ALL CONCRETE IS TO CONSIST OF A WORKABLE MIX THAT CAN BE PLACED AND FINISHED IN AN ACCEPTABLE MANNER. NECESSARY CURING SHALL BE SPECIFIED. REINFORCING STEEL SHALL BE PLACED AS INDICATED ON THE PLANS AND SHALL BE HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT. SUB GRADES AND FORMS SHALL BE INSTALLED TO LINE AND GRADE, AND THE FORMS SHALL BE MORTAR TIGHT AND UNYIELDING AS THE CONCRETE IS PLACED.
- THE CONTRACTOR WILL NOTIFY JONES AND BEACH ENGINEERS AFTER EACH OF THE GRAVEL WETLAND PONDS HAVE BEEN EXCAVATED TO THE BOTTOM OF THE SYSTEM FOR A MANDATORY INSPECTION PRIOR TO BUILDING BERMS, PLACING STONE OR INSTALLING PIPE SYSTEM.
- BERMS AND WEIRS SEPARATING THE FOREBAY AND TREATMENT CELLS SHOULD BE CONSTRUCTED WITH CLAY, OR NON-CONDUCTIVE SOILS, AND/OR A FINE GEOTEXTILE, OR SOME COMBINATION THEREOF, TO AVOID WATER SEEPAGE AND SOIL PIPING THROUGH THESE EARTHEN DIVIDERS.



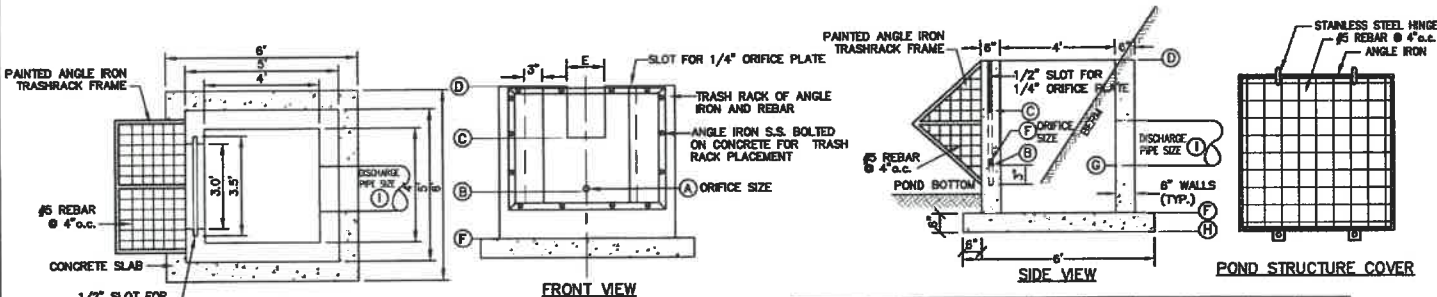
BIORETENTION SYSTEM (with clay bottom and pipe)

NOT TO SCALE



DRIP EDGE DETAIL

NOT TO SCALE



- APPROXIMATE LIST OF MATERIALS**
- 3 C.Y. - 5000 PSI CONCRETE
 - 15 ANGLE IRONS @ 4' LENGTH
 - REQUIRED S.S. BOLTS AND FASTENERS
 - 1/4" STEEL PLATE WITH DRILLED ORIFICES
 - 1 C.Y. - CRUSHED STONE FOR BASE
 - 48 #5 REBARS @ 1', 2' AND 3' LENGTHS
 - 32 #4 REBARS @ 4.5' LENGTH

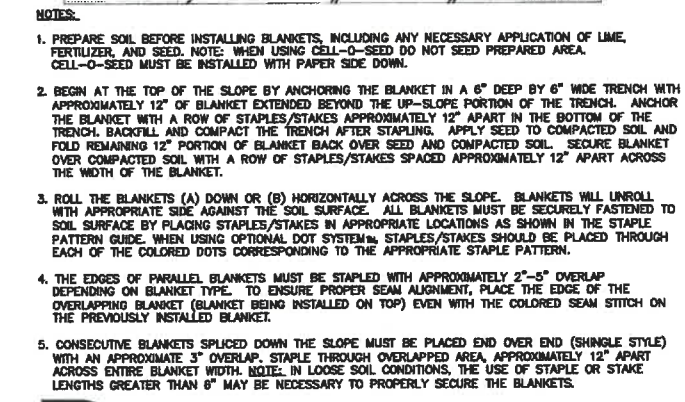
	A	B	C	D	E	F	G	H	I
WET POND	6"	51.00	52.25	52.75	36"	48.00	51.00	47.50	18"

- NOTES:**
- REINFORCING STEEL SHALL CONSIST OF A SINGLE LAYER OF HORIZONTAL AND VERTICAL PLACED #4 REBAR @ 12" O.C.
 - CONCRETE BOX TO BE CONSTRUCTED OR PRECAST OF EQUAL DIMENSIONS AND REINFORCING.
 - CONCRETE SLAB TO BE CONSTRUCTED ALONG WITH BASE. FOR PRECAST BOX, A SLOTTED CONCRETE SLAB TO BE USED.
 - SECTION JOINTS AND PIPE OPENING SHALL BE SEALED WATERTIGHT WITH MORTAR BY CONTRACTOR.

- ALL EXPOSED REBAR TO BE PAINTED WITH RUST-RESISTANT PAINT, COLOR AT CONTRACTOR'S DISCRETION.
- TO BE SUPPLIED BY CAPITAL CONCRETE PRODUCTS OF HENRIKER, N.H., (1-803-428-3218) OR EQUAL.
- STRUCTURE TO HAVE TEMPORARY PLYWOOD INSTALLED IN THE ORIFICE PLATE SLOT UNTIL THE SITE IS STABILIZED.
- STRUCTURE IS TO BE DESIGNED FOR H20 LOADING.
- SOIL UNDERLYING THE STRUCTURE IS TO BE COMPACTED TO 95% MODIFIED PROCTOR.

MULTI-STAGE DISCHARGE OUTLET STRUCTURE (MSDOS)

NOT TO SCALE



NOTES:

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FILL REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-3" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

NORTH AMERICAN GREEN
 14649 HIGHWAY 41 NORTH
 EVANSVILLE, INDIANA 47725
 1-800-772-2040

EROSION CONTROL BLANKET SLOPE INSTALLATION

NORTH AMERICAN GREEN (800) 772-2040

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TABLE 7-24—RECOMMENDED RIP RAP GRADATION RANGES

THICKNESS OF RIP RAP = 1.5 FEET	FEET		6 INCHES	
d50 SIZE=	0.50			
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	FROM	SIZE OF STONE (INCHES)	TO	
100%	9	12		
85%	8	11		
50%	6	9		
15%	2	3		

- NOTES:**
- THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
 - GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
 - STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
 - OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL. BOTTOM THROUGH THE LENGTH OF THE APRON.
 - MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

RIP RAP OUTLET PROTECTION APRON

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 Checked: JAC Scale: AS NOTED Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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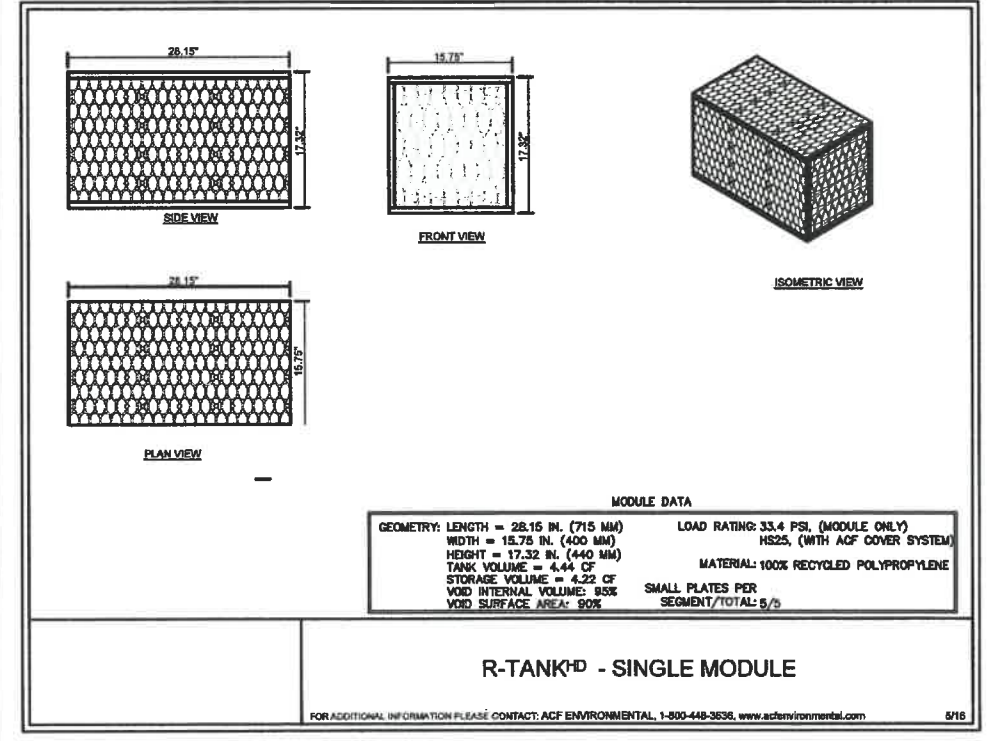
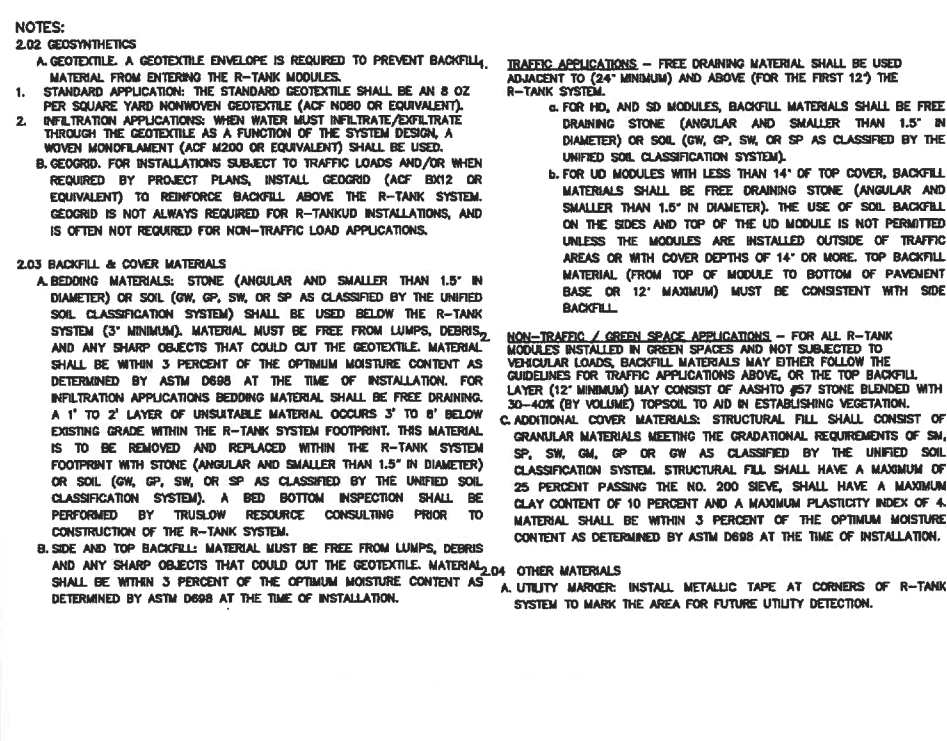
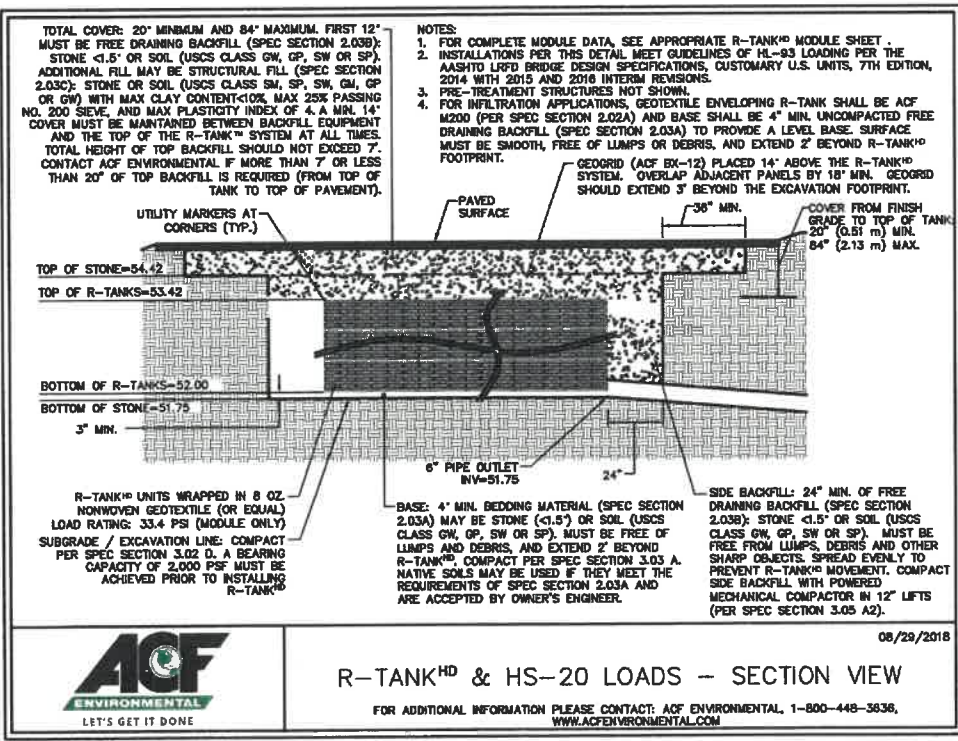
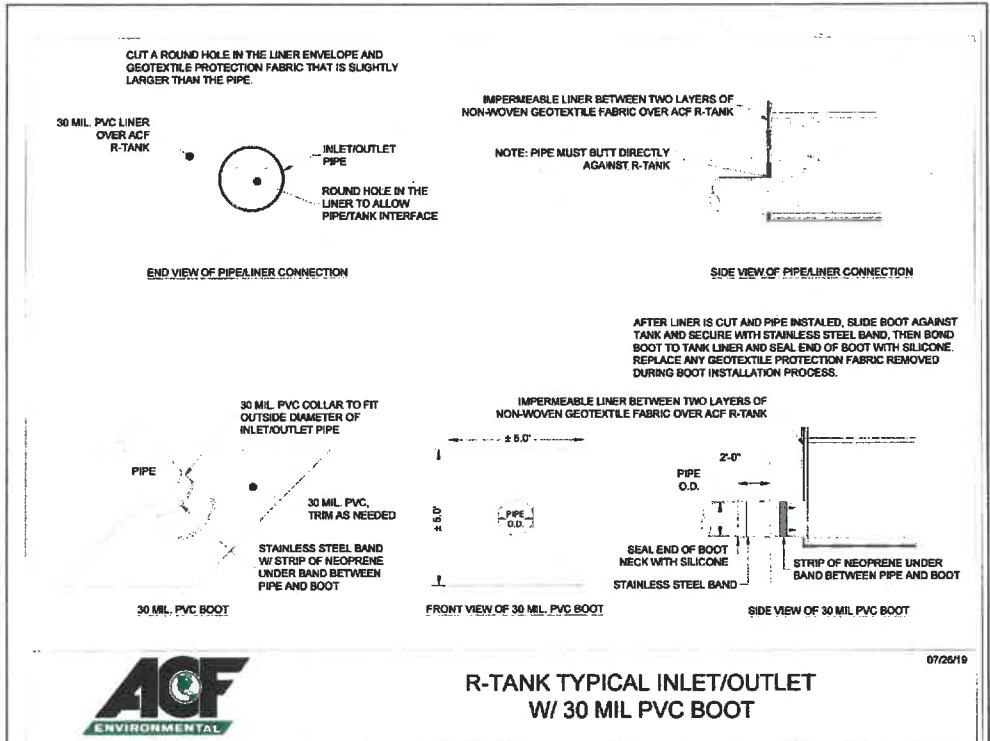
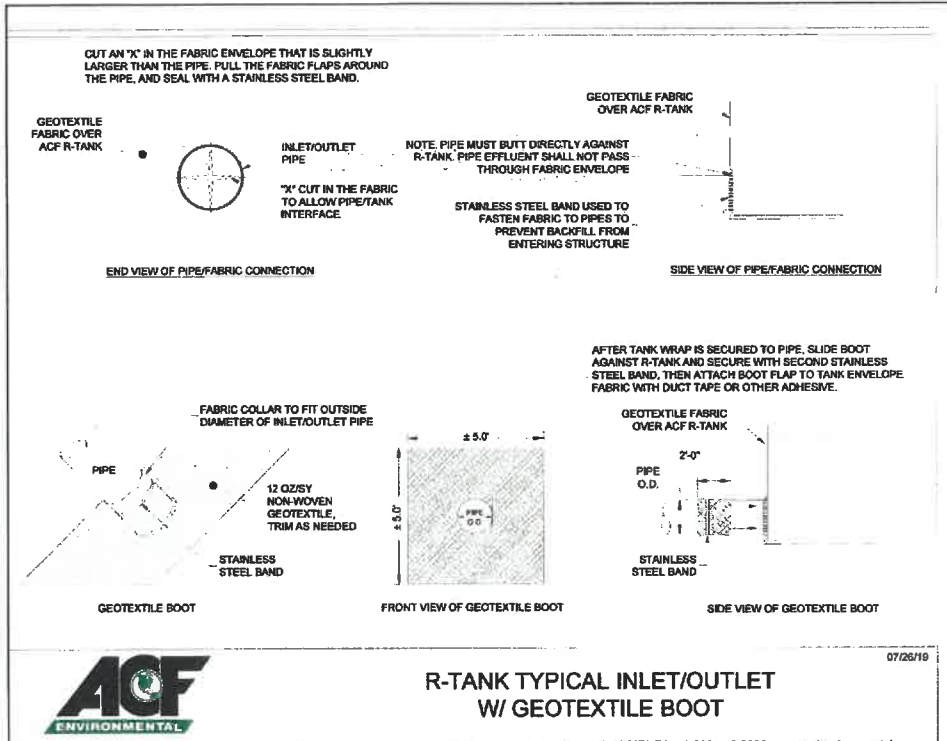
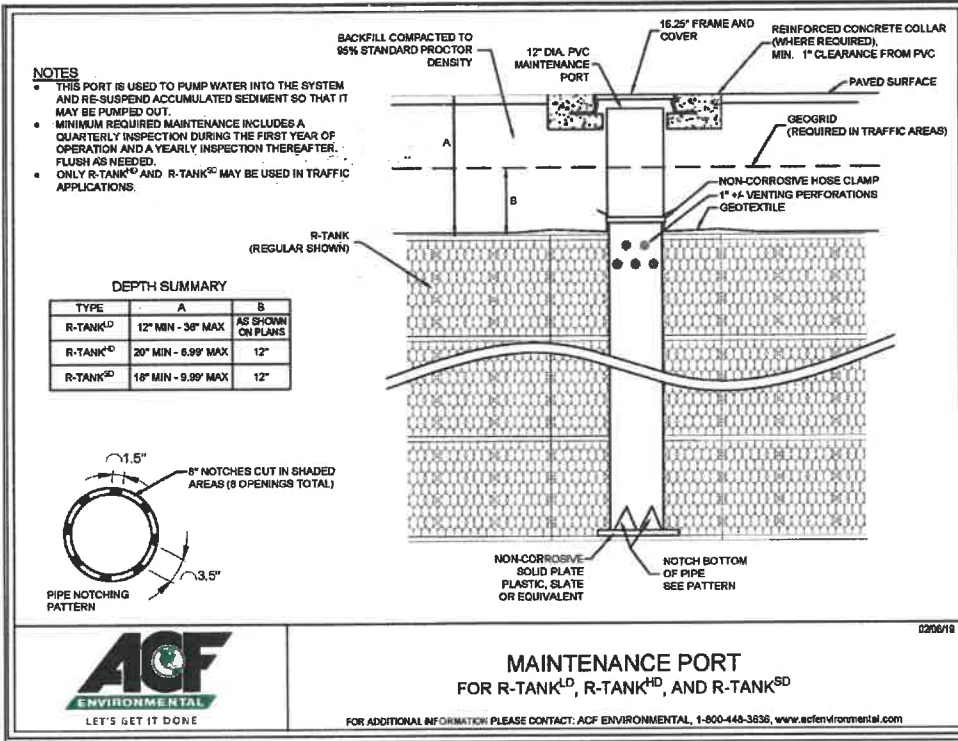


REV.	DATE	REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/8/21	MINOR REVISIONS	DJM

Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
 85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 Civil Engineering Services
 603-772-4746 FAX: 603-772-0227
 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **DETAIL SHEET**
 Project: **3400 LAFAYETTE ROAD PORTSMOUTH, NH**
 Owner of Record: **RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229**

DRAWING No. **D3**
 SHEET 26 OF 26
 JBE PROJECT NO. 20737



Design: JAC	Draft: LAZ	Date: 3/3/21
Checked: JAC	Scale: AS NOTED	Project No.: 20737
Drawing Name: 20737-PLAN.dwg		
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REV.	DATE	MECHANICAL REVISION	BY
6	6/22/21	REVISIONS PER TOWN REVIEW	LAZ
5	5/5/21	REVISIONS	LAZ
4	3/18/21	ADDED DETAIL	LAZ
3	3/3/21	ADDED SURVEY INFO	LAZ
2	1/6/21	MINOR REVISIONS	DJM

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

65 Portsmouth Ave. Civil Engineering Services 603-772-4746
 P.O. Box 219 FAX: 603-772-0227
 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	3400 LAFAYETTE ROAD PORTSMOUTH, NH
Owner of Record:	RICCI CONSTRUCTION CO., INC. 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

DRAWING No.

D4

SHEET 21 OF 25
 JBE PROJECT NO. 20737

- PRETX SPECIFICATIONS**
A. GENERAL
- PRETX SYSTEMS ARE A PRE-FILTER AND CRITICAL MAINTENANCE DEVICE THAT EXTENDS THE OPERATING LIFE AND REDUCES THE MAINTENANCE BURDEN OF BIORETENTION SYSTEMS, RAIN GARDENS, BIOSWALES AND OTHER TYPES OF SURFACE BEST MANAGEMENT PRACTICES BY FILTERING OUT SEDIMENT, TRASH AND DEBRIS AT THE INLET.
 - PROPOSED**
 - PRETX IS AVAILABLE IN 3 MODELS THAT MANAGE MOST BIORETENTION INLET CONFIGURATIONS: CURB, DROP, AND IN-LINE.
 - PRETX-CURB IS FOR EDGE OF PAVEMENT RUNOFF AT A CURB CUT IN LIEU OF A STONE SPREADER.
 - PRETX-DROP IS FOR USE AS A DROP INLET CONFIGURATION ALONG A CURB LINE AND WOULD BE INSTALLED WITH A STANDARD DROP INLET GRATE.
 - PRETX-IN-LINE IS FOR USE WITH SUBSURFACE INLET AND OUTLET PIPE.
 - PRETX IS SIZED TO PRETREAT WATER QUALITY FLOWS AND BYPASS LARGER FLOWS THAT HAVE MINIMAL TRASH AND DEBRIS. PRETX CAN BE USED BOTH IN RETROFIT OR NEW INSTALLATIONS.
 - ACCEPTABLE SYSTEM SUPPLIER:
 CONVERGENT WATER TECHNOLOGIES, INC. OR ITS AUTHORIZED VALUE-ADDED RESSELLER
 (800) 711-5428
 WWW.CONVERGENTWATER.COM

- C. SUBMITTALS**
- SUBMIT PROPOSED LAYOUT DRAWINGS. DRAWINGS SHALL INCLUDE TYPICAL SECTION DETAILS ANNOTED WITH SYSTEM ELEVATIONS (E.G., RIM, PIPE INVERTS, OUTSIDE BOTTOM OF STRUCTURE, ETC.).
 - SUBMIT MATERIAL CERTIFICATES FOR FRAMES AND COVERS.
 - ANY PROPOSED EQUAL ALTERNATE PRODUCT SUBSTITUTION TO THIS SPECIFICATION MUST BE SUBMITTED FOR REVIEW AND APPROVED PRIOR TO BID OPENING.
- D. EXECUTION**
- ALL PUBLIC STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS AND ACCORDING TO LOCAL MUNICIPAL REGULATIONS.
 - ALL STORM DRAINAGE SYSTEM CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE PROJECT ENGINEER.
 - THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER A MINIMUM OF TWO FULL BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND OBTAINING APPROVAL FROM DIG-SAFE AND DETERMINING THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION EXCAVATION AND SHALL NOTIFY THE PROJECT ENGINEER OF ANY POTENTIAL CONFLICTS.
 - TO PROTECT STORMWATER FLOW CONTROL AND QUALITY TREATMENT FACILITIES FROM SEDIMENTATION, THEY SHALL BE CONNECTED TO THE STORM CONVEYANCE SYSTEM ONLY AFTER ALL SITE WORK, ROAD CONSTRUCTION, UTILITY WORK AND LANDSCAPING ARE IN PLACE IN ALL AREAS ABOVE AND UPSTREAM OF THE FACILITY.
 - THE EXISTING STORM SEWER SYSTEM SHALL STAY ISOLATED FROM THE NEW SYSTEM UNTIL THE NEW SYSTEM IS CLEANED, AND APPROVED FOR USE. THERE SHALL BE NO DEBRIS IN THE LINES OR FURTHER CLEANING WILL BE REQUIRED PRIOR TO ACCEPTANCE.
 - PROVIDE A 1/2" MINIMUM GAP BETWEEN THE KNOCKOUT WALL AND THE OUTSIDE OF THE PIPE. AFTER THE PIPE IS INSTALLED, FILL THE GAP WITH JOINT MORTAR.
 - THE OPENING SHALL BE MEASURED AT THE TOP OF THE PRECAST BASE SECTION.
 - ALL PICKUP HOLES SHALL BE GROUTED FULL AFTER THE BASIN HAS BEEN PLACED.
 - STANDARD CURB INLETS AND TIPDOWNS SHALL BE PRECAST CONCRETE OR ASPHALT.
 - PIPE ENDS SHALL BE FLUSH WITH THE INNER WALL OR 1" MAXIMUM INTRUSION. MASONRY, CINDER BLOCKS, OR SIMILAR MATERIALS MAY BE USED TO ADJUST THE RISERS TO GRADE PRIOR TO GROUTING.
 - GROUTING SHALL BE SUFFICIENT TO PREVENT LEAKS BETWEEN THE PRECAST COMPONENTS OF THE COMPLETED STRUCTURE & SHALL BE PERFORMED INSIDE, BETWEEN & OUTSIDE OF ALL RISERS, JOINTS & PIPE PENETRATIONS.
 - MANHOLES TO BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M-199 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE STANDARD SPECIFICATIONS.
 - ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000. ALL PRECAST CONCRETE SHALL BE CLASS 4000.
 - PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS, KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM.
 - MATING SURFACES OF MANHOLE RINGS AND COVERS SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITIONS.

- E. CONSTRUCTION AND SEQUENCING**
- 1. EXAMINATION**
- VERIFY LAYOUT AND ORIENTATION OF PRE-TX SYSTEM AREA INCLUDING EDGE OF PAVEMENT, TIP DOWN, CURBS AND SIDEWALK, BIOFILTRATION SYSTEM, AND CONNECTIONS.
 - VERIFY EXCAVATION BASE IS READY TO RECEIVE WORK AND EXCAVATIONS, DIMENSIONS, AND ELEVATIONS ARE AS INDICATED ON DRAWINGS.
- 2. PREPARATION**
- CALL DIG SAFE AND RECEIVE APPROVAL BEFORE PERFORMING WORK.
 - REQUEST UNDERGROUND UTILITIES TO BE LOCATED AND MARKED WITHIN AND SURROUNDING CONSTRUCTION AREAS.
 - IDENTIFY REQUIRED LINES, LEVELS, CONTOURS, AND DATUM.
 - CLEAR AND GRUB THE PROPOSED PRE-TX SYSTEM AREA.
- 3. EXCAVATION AND INSTALLATION**
- THE FOLLOWING CONSTRUCTION SEQUENCE IS TO BE USED AS A GENERAL GUIDELINE. COORDINATE WITH THE OWNER, AND ENGINEERS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 - INSTALL TEMPORARY EROSION AND SEDIMENT CONTROLS TO DIVERT STORM WATER AWAY FROM THE PRE-TX SYSTEM AREA.
 - EXCAVATE TO THE BOTTOM INVERT OF THE SYSTEM.
 - TO MINIMIZE COMPACTION OF ADJACENT BIOFILTRATION SYSTEMS, WORK EXCAVATORS OR BACKHOES FROM THE SIDES TO EXCAVATE THE PRE-TX SYSTEM AREA TO ITS APPROPRIATE DESIGN DEPTH AND DIMENSIONS.
 - ROUGH GRADE THE PRE-TX SYSTEM AREA DURING GENERAL CONSTRUCTION. EXCAVATE THE PRE-TX SYSTEM FACILITIES TO WITHIN 1 FOOT OF STRUCTURE BOTTOM.
 - PLACE 1 FOOT BED OF COARSE STONE TO ELEVATION OF BASE OF STRUCTURE.
 - ESTABLISH ELEVATIONS FOR ADJACENT CURBS, EDGE OF PAVEMENT AND TIP DOWN, SIDEWALK, PIPE INVERTS FOR INLETS AND OUTLETS AS INDICATED ON DRAWINGS.

- 4. INSTALLATION**
- PLACE THE PRECAST SYSTEM TO NECESSARY ELEVATION.
 - VERIFY ELEVATIONS FOR ADJACENT CURBS, EDGE OF PAVEMENT, PAVEMENT GRADING FOR INLET GRATE FOR PRETX-DROP, SIDEWALK, PIPE INVERTS FOR INLETS AND OUTLETS, OUTLET INVERT FOR KNEE WALL.
- C. FOR PRETX-SURFACE:**
- VERIFY ELEVATIONS FOR ADJACENT CURBS.
 - VERIFY EDGE OF PAVEMENT TIP DOWN PAVEMENT GRADING FOR INLET GRATE.
 - VERIFY CURB ELEVATION IN RELATION TO PAVEMENT AND TIP DOWN.
 - VERIFY OUTLET INVERT FOR KNEE WALL IN RELATION TO FILTER MEDIA.
- D. FOR PRETX-DROP:**
- VERIFY ALL INLET PIPES ENTER THE STRUCTURE UPSTREAM OF BAFFLE.
 - VERIFY FRAME AND GRATE OFFSET ON INLET SIDE AND UPSTREAM OF BAFFLE.
 - VERIFY CURB LOCATION WITH RESPECT TO FRAME AND GRATE ORIENTATION.
- E. INSTALL BAFFLES, WEIR, AND SCREENS AS INDICATED ON DRAWINGS.**
- F. VERIFY MAINTENANCE ACCESS THROUGH GRATE OR COVER AND CLEARANCE FOR VEHICLE.**
- G. INSTALL TOP OF STRUCTURE LEVEL WITH ADJACENT CURB OR SIDEWALK AS PER MANUFACTURERS SPECIFICATIONS. ENGINEER FIELD VISIT REQUIRED PRIOR TO BACKFILLING.**

- 5. BACKFILLING**
- BACKFILL WITH APPROVED SOIL AND STONE TO THE DESIGN GRADE AS SPECIFIED IN THE DRAWINGS.
 - BACKFILL WITH 12" OF NO. 57 STONE AROUND REAR, LEFT, AND RIGHT SIDES TO LEVEL WITH TOP OF HDPE SCREEN.
 - BACKFILL WITH BIORETENTION SOIL MIX BEYOND STONE BACKFILL TO EQUAL ELEVATION OF THE TOP OF HDPE SCREEN.
 - DO NOT COMPACT ADJACENT FILTRATION SYSTEM SOIL WITH MECHANICAL EQUIPMENT.
 - STABILIZE AS REMAINING DISTURBED AREAS AND SLOPES WITH SEEDING, HYDROSEEDING, AND/OR EROSION CONTROL BLANKETS AS INDICATED ON DRAWINGS.
- 6. CLEAN UP**
- AFTER COMPLETION OF THE WORK, REMOVE AND PROPERLY DISPOSE ALL DEBRIS, CONSTRUCTION MATERIALS, RUBBISH, EXCESS SOIL, ETC., FROM THE PROJECT SITE. REPAIR PROMPTLY ANY IDENTIFIED DEFICIENCIES AND LEAVE THE PROJECT SITE IN A CLEAN AND SATISFACTORY CONDITION.

- 7. EXCAVATION AND INSTALLATION**
- THE FOLLOWING CONSTRUCTION SEQUENCE IS TO BE USED AS A GENERAL GUIDELINE. COORDINATE WITH THE OWNER, AND ENGINEERS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
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 - ROUGH GRADE THE PRE-TX SYSTEM AREA DURING GENERAL CONSTRUCTION. EXCAVATE THE PRE-TX SYSTEM FACILITIES TO WITHIN 1 FOOT OF STRUCTURE BOTTOM.
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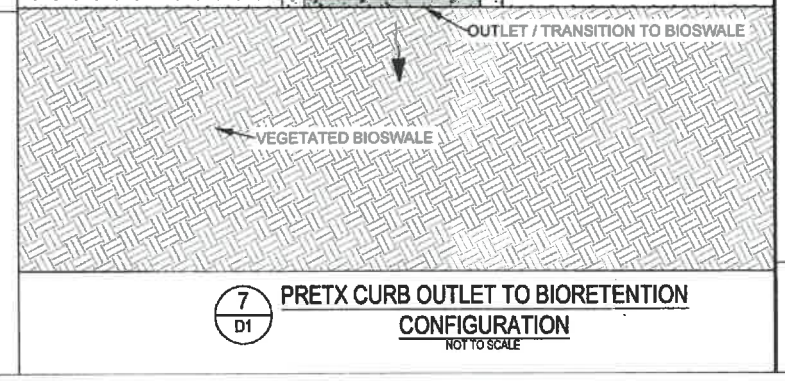
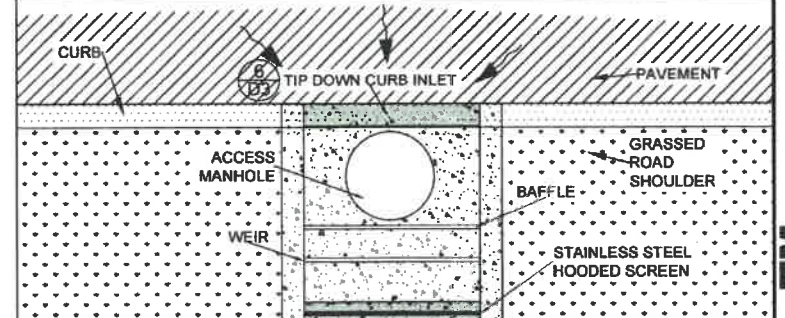
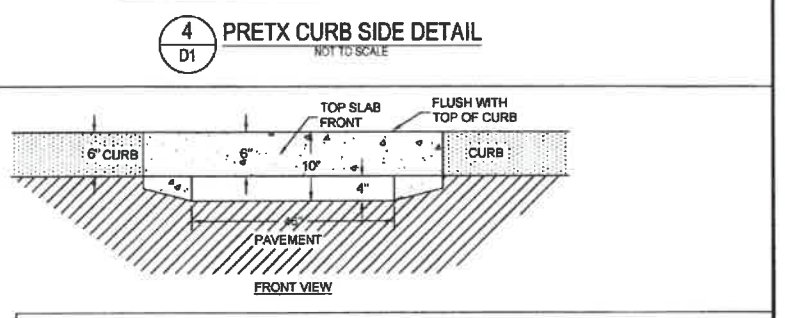
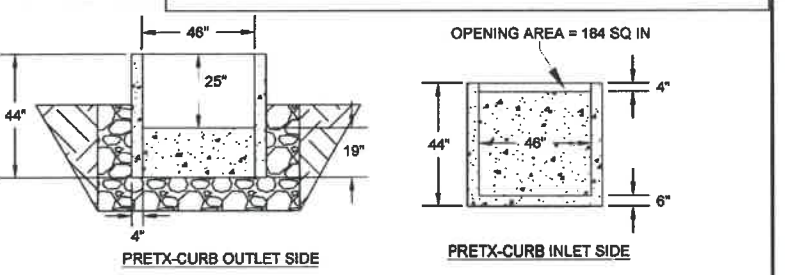
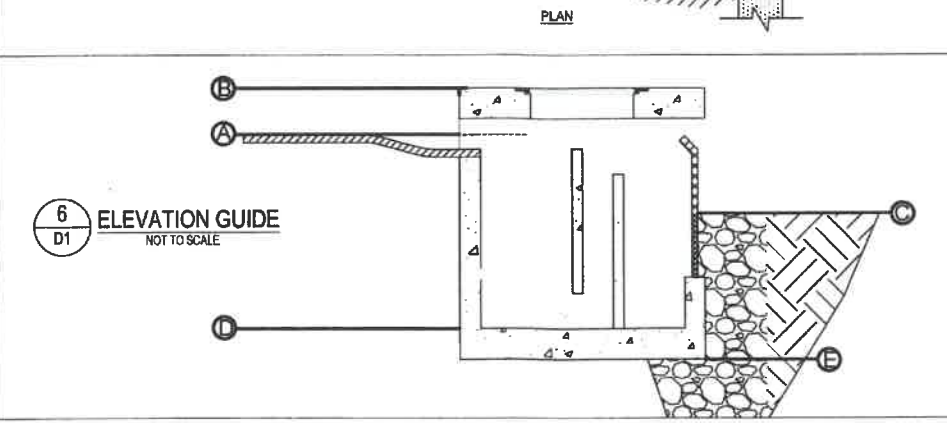
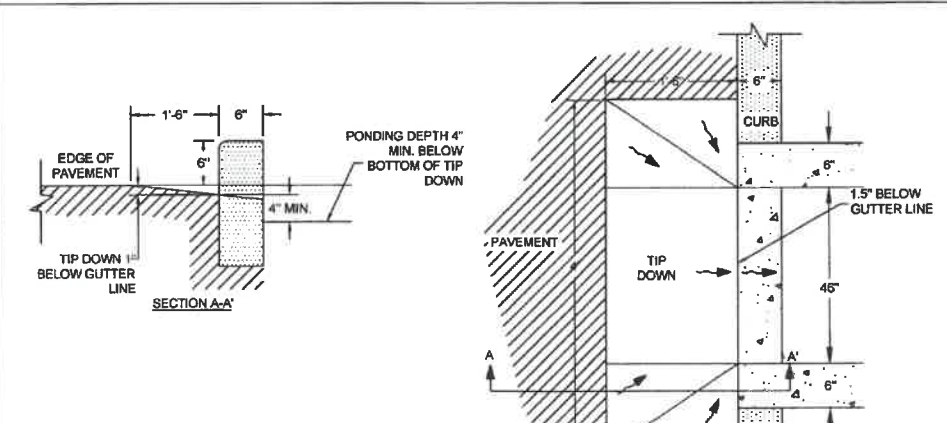
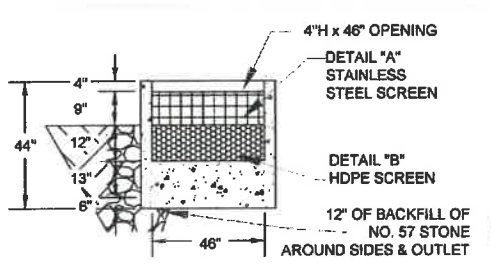
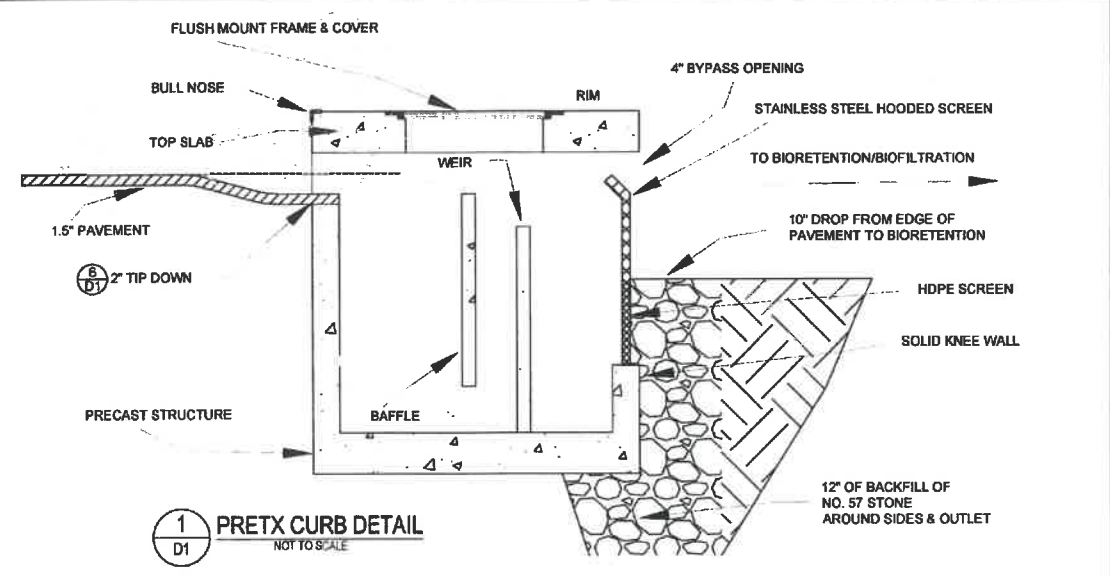
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PRETX-CURB ELEVATION GUIDE		
POINT	DESCRIPTION	HEIGHT IN REFERENCE TO PT. A
A	EDGE OF PAVEMENT	0 INCHES
B	OUTSIDE TOP SLAB	8 INCHES
C	TOP OF BIORETENTION	12 INCHES
D	SUMP INVERT	36 INCHES
E	OUTSIDE BOTTOM	42 INCHES



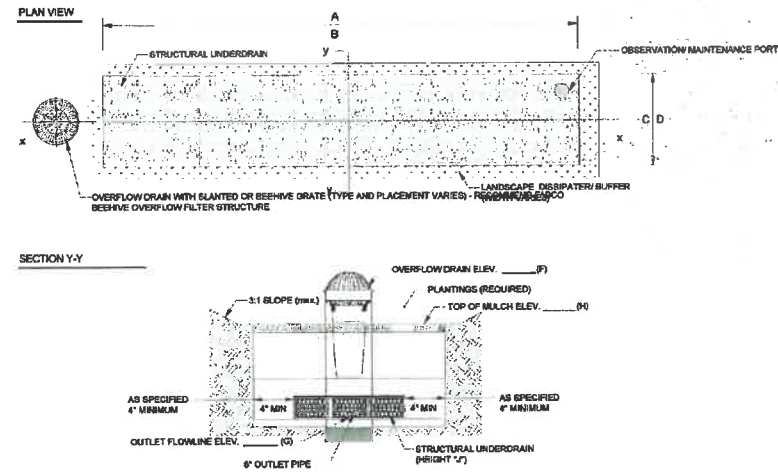
D-1 PRETX™ CURB INLET PRETREATMENT DETAIL



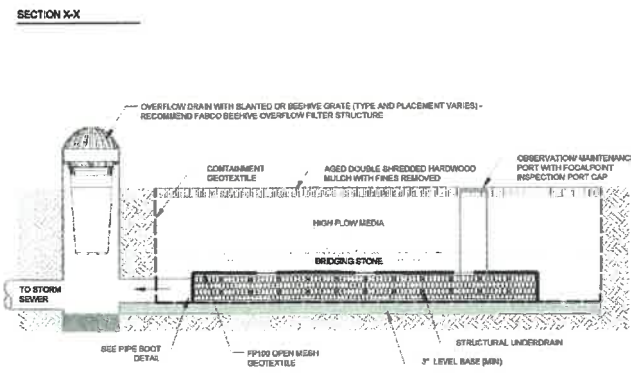
TO FIND A VALUE ADDED RESELLER IN YOUR AREA VISIT
 WWW.CONVERGENTWATER.COM/STORMWATER-PRODUCTS
 OR CONTACT CONVERGENT WATER TECHNOLOGIES AT
 1.800.711.5428



REVISED 11/2018: ELEVATION DETAILS ADDED, CHECKED BY RR

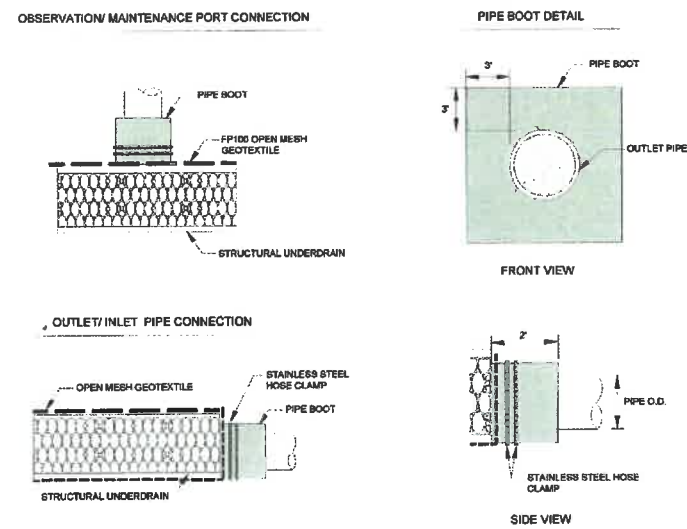


1 TYPICAL LAYOUT AND SECTION Y-Y

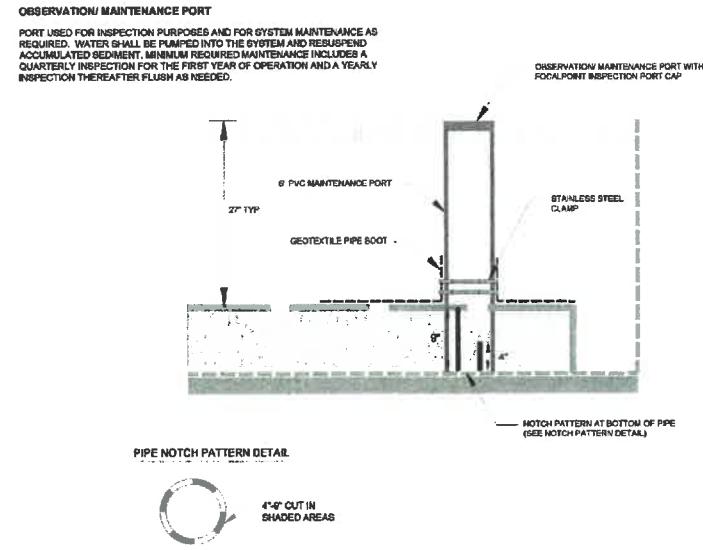


2 SECTION X-X

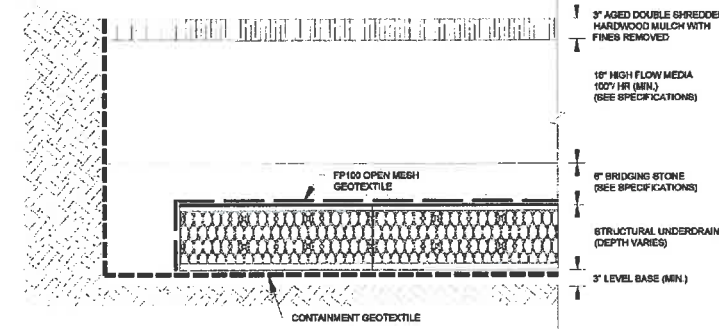
FOCALPOINT HP PERFORMANCE SPECIFICATION:
HIGH PERFORMANCE MEDIA
 HIGH PERFORMANCE MEDIA MUST MEET A MINIMUM OF 100" PER HOUR INFILTRATION RATE. FIELD HYDRAULIC CONDUCTIVITY TESTING MUST BE CONDUCTED WITHIN 30 DAYS OF INSTALLATION. FIELD TEST MUST BE CONDUCTED WITH PROScribed INFILTRMETER AND SOP (SEE SPECIFICATION). FAILURE TO MEET FIELD TESTING WILL RESULT IN THE REMOVAL OF MEDIA AND REPLACEMENT FROM ALTERNATE BATCH.
HIGH PERFORMANCE STRUCTURAL UNDERDRAIN
 MUST HAVE A MINIMUM OF 10 SQUARE INCHES OF ORIFICE OPENING PER SQUARE FOOT. MUST MEET ALL LEAKING REQUIREMENTS. MUST BE MODULAR IN NATURE AND ASSEMBLED ON SITE. MUST HAVE MINIMUM 90% INTERIOR VOID SPACE.
PLANT COMPONENT
 SUPPLIER SHALL PROVIDE LIST OF ACCEPTABLE PLANTS. IF PLANTS ARE NOT INCLUDED IN THE LANDSCAPE CONTRACT/PLANS, SITE CONTRACTOR SHALL PROVIDE PLANTS. PLANTS SHALL BE INSTALLED AT THE TIME OF THE SYSTEM IS COMMISSIONED FOR USE. PLANTING OUTSIDE THIS TIME REQUIRES APPROVAL BY THE ENGINEER OF RECORD. SEE FOCALPOINT INSTALLATION GUIDE FOR PLANT SPACING, PLANTING PROCEDURES, ETC.



4 PIPE CONNECTION DETAIL



5 INSPECTION PORT DETAIL

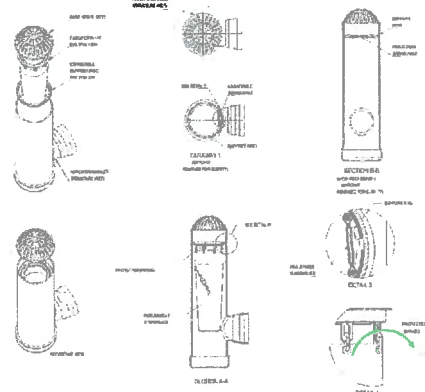


6 DETAILED CROSS SECTION

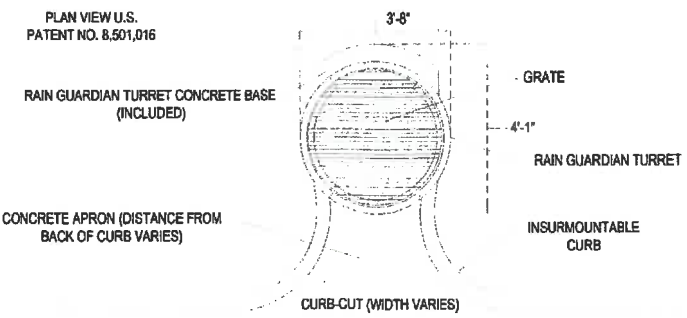
FOR ADDITIONAL INFORMATION PLEASE CONTACT
 ACF ENVIRONMENTAL 1-800-448-3633
 www.acfenvironmental.com

FOCALPOINT DETAILS

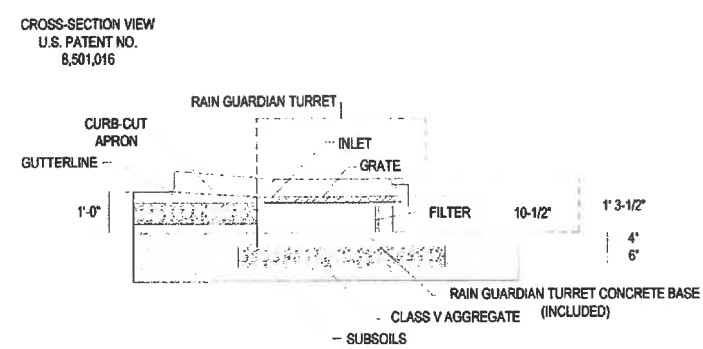
STRUCTURE DIAMETER (INCHES)	SEDIMENT CAPACITY (GAL)	FILTERED FLOWRATE (GPM)	BYPASS FLOWRATE (GPM)	TOTAL SYSTEM FLOWRATE (GPM)
15	817	2.7	1.2	3.9
18	1,087	2.8	1.3	4.1
24	1,460	2.9	1.4	4.3
30	2,025	3.0	1.4	4.4



7 R-TANK TYPICAL TANK INLET/OUTLET DETAIL



8 RAIN GUARDIAN TURRET (PLAN)

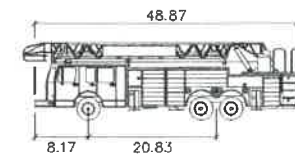
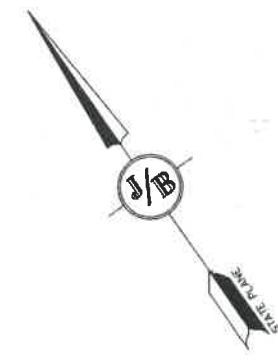
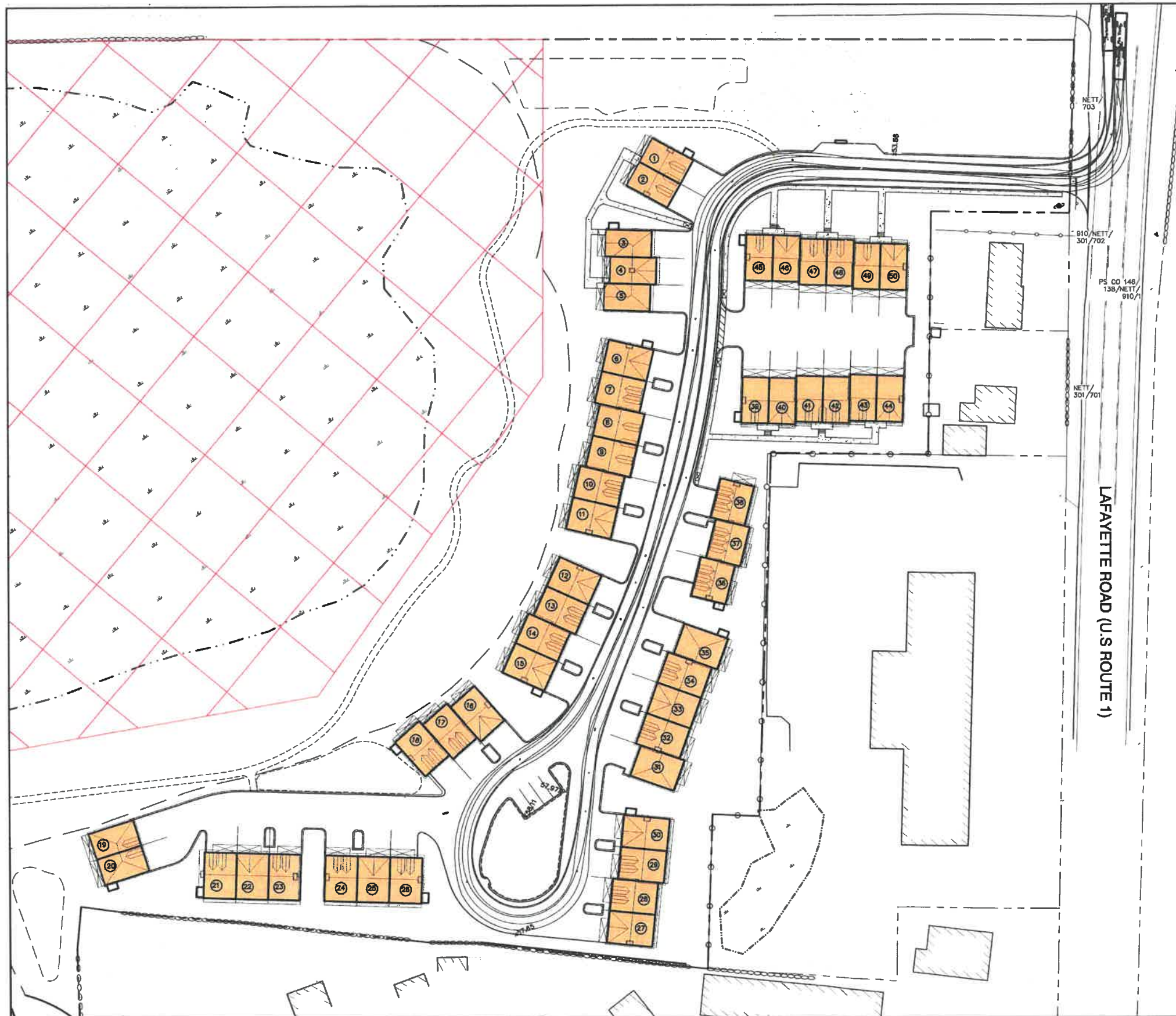


9 RAIN GUARDIAN TURRET (SECTION)

NOTE: ENGINEER OF RECORD TO REVIEW, APPROVE AND ENDORSE FINAL SITE SPECIFIC DESIGN.

PROJECT NO.
 35.336
 DATE
 AUG 15, 2019
 SHEET NO.

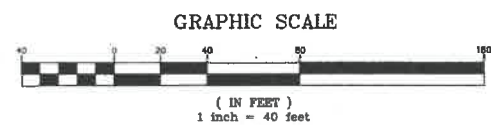
FP-1



Portsmouth Fire Truck

feet

Width : 8.50
 Track : 6.91
 Lock to Lock Time : 6.0
 Steering Angle : 38.7



Design: JAC Draft: LAZ Date: 3/3/21
 Checked: JAC Scale: AS SHOWN Project No.: 20737
 Drawing Name: 20737-PLAN.dwg
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Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
 Civil Engineering Services

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **TRUCK TURNING PLAN**
 3400 LAFAYETTE ROAD
 PORTSMOUTH, NH

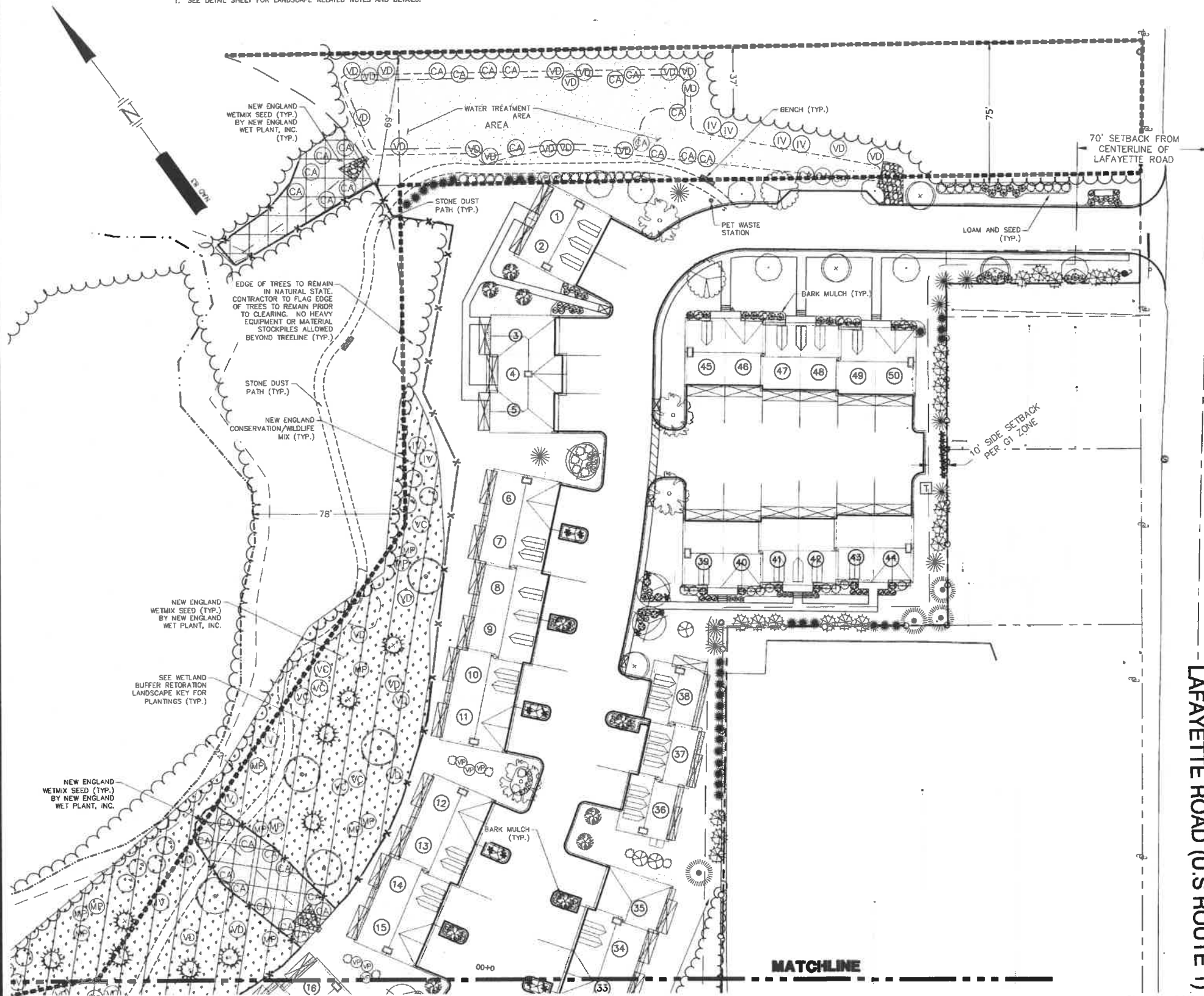
Project: **RICCI CONSTRUCTION CO., INC.**
 225 BANFIELD ROAD, PORTSMOUTH, NH 03801 BK 1930 PG 0229

Owner of Record:

DRAWING No. **T1**
 SHEET 25 OF 25
 JBE PROJECT NO. 20737

NOTE

1. SEE DETAIL SHEET FOR LANDSCAPE RELATED NOTES AND DETAILS.



LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS	GROWTH HABIT
SHADE TREES					
	9	ACER RUBRUM 'REDPOINTE' **REDPOINTE RED MAPLE	2 1/2" TO 3" CAL.	B&B	PYRAMIDAL
	5	ACER SACCHARUM 'COMMEMORATION' **COMMEMORATION SUGAR MAPLE	3" TO 3 1/2" CAL.	B&B	ROUNDED
	10	MAACKIA AMURENSIS AMUR MAACKIA	2 1/2" TO 3" CAL.	B&B	ROUNDED
	5	NYSSA SYLVATICA *BLACK GUM	2 1/2" TO 3" CAL.	B&B	PYRAMIDAL
	X	QUERCUS P. 'GREEN PILLAR' **GREEN PILLAR GREEN OAK	2 1/2" TO 3" CAL.	B&B	COLUMNAR
	6	ULMUS AMERICANA 'VALLEY FORGE' **VALLEY FORGE AMERICAN ELM	2 1/2" TO 3" CAL.	B&B	SPREADING-VASE
EVERGREEN TREES					
	17	ABIES BALSAMAE *BALSAM FIR	6' TO 7'	B&B	PYRAMIDAL
	24	JUNIPERUS VIRGINIANA *EASTERN RED CEDAR	6' TO 7'	B&B	UPRIGHT-PYRAMIDAL
	21	PICEA GLAUCA *WHITE SPRUCE	7' TO 8'	B&B	PYRAMIDAL
	3	PINUS STROBUS *WHITE PINE	6' TO 7'	B&B	PYRAMIDAL
DECIDUOUS SHRUB					
	13	AMELANCHIER ALNIFOLIA 'REGENT' *REGENT SERVICEBERRY	5 GAL.	CONT.	ROUNDED
	4	CLETHRA ALNIFOLIA 'COMPACTA' **COMPACT SUMMERSWEET	7 GAL.	CONT.	ROUNDED
	17	CORNUS SERICEA 'ARCTIC FIRE' **ARCTIC FIRE RED-OSIER DOGWOOD	7 GAL.	CONT.	ROUNDED
	25	FORSYTHIA 'GOLD TIDE' GOLD TIDE FORSYTHIA	3 GAL.	CONT.	LOW-SPREADING
	23	HYDRANGEA ARBORESCENS 'INCREDIBALL' INCREDIBALL SMOOTH HYDRANGEA	5 GAL.	CONT.	ROUNDED
	9	PHYSOCARPUS O. 'BURGUNDY CANDY' **BURGUNDY CANDY NINEBARK	2 GAL.	CONT.	ROUNDED
	6	VIBURNUM P.T. 'SUMMER SNOWFLAKE' SUMMER SNOWFLAKE VIBURNUM	3' TO 4'	B&B	ROUNDED
EVERGREEN SHRUB					
	45	AZALEA 'GIRARD'S CRIMSON' GIRARD'S CRIMSON AZALEA	3 GAL.	CONT.	ROUNDED
	4	RHODODENDRON 'ROSEUM PINK' **ROSEUM PINK RHODODENDRON	7 GAL.	CONT.	ROUNDED
	9	ILEX GLABRA 'COMPACTA' **COMPACT INKBERRY	3 GAL.	CONT.	ROUNDED
	34	JUNIPERUS CHINENSIS 'SEAGREEN' SEAGREEN JUNIPER	3 GAL.	CONT.	ARCHING
	8	JUNIPERUS H. 'BAR HARBOR' *BAR HARBOR JUNIPER	3 GAL.	CONT.	LOW-SPREADING
	11	PINUS M. 'MOPS' MOPS MUGO PINE	3 GAL.	CONT.	ROUNDED
	54	THUJA O. NIGRA *DARK AMERICAN ARBORVITAE	5' TO 6'	B&B	UPRIGHT-PYRAMIDAL
GRASSES					
	66	PANICUM VIRGATUM 'CLOUD NINE' **CLOUD NINE SWITCH GRASS	3 GAL.	CONT.	UPRIGHT

*NATIVE, ** IMPROVED NATIVE
NOTE: ALL PLANTS CONTAINED IN LEGEND HAVE BEEN LOCATED ON SITE TO REFLECT A PROPER GROWING ENVIRONMENT AND MEET THE HARDINESS ZONE OF 6a AS DETERMINED BY THE U.S. DEPT. OF AGRICULTURE.

SITE DEVELOPMENT PLANS

TAX MAP 297 LOT 11
LANDSCAPE PLAN
3400 LAFAYETTE ROAD
PORTSMOUTH, NH
 OWNED BY
RICCI CONSTRUCTION CO, INC.
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=60' (11"X17')
SCALE: 1"=30' (22"X34') **MARCH 8, 2021**

NOTES

- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- PLANT TYPES MAY VARY BASED ON AVAILABILITY AND SUPPLY. THIS LAYOUT IS FOR ILLUSTRATIVE PURPOSES ONLY AND REPRESENTS THE INTENT, BUT PLANT SIZES, SPECIES, AND AMOUNTS MAY VARY.

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REV	DATE	DESCRIPTION	DR	CHK
2	5/18/2021	REVISE PER SITE LAYOUT REVISIONS	MSK	JCC
1	5/13/2021	REVISE PER GRADING & UTILITY LAYOUT	MSK	JCC

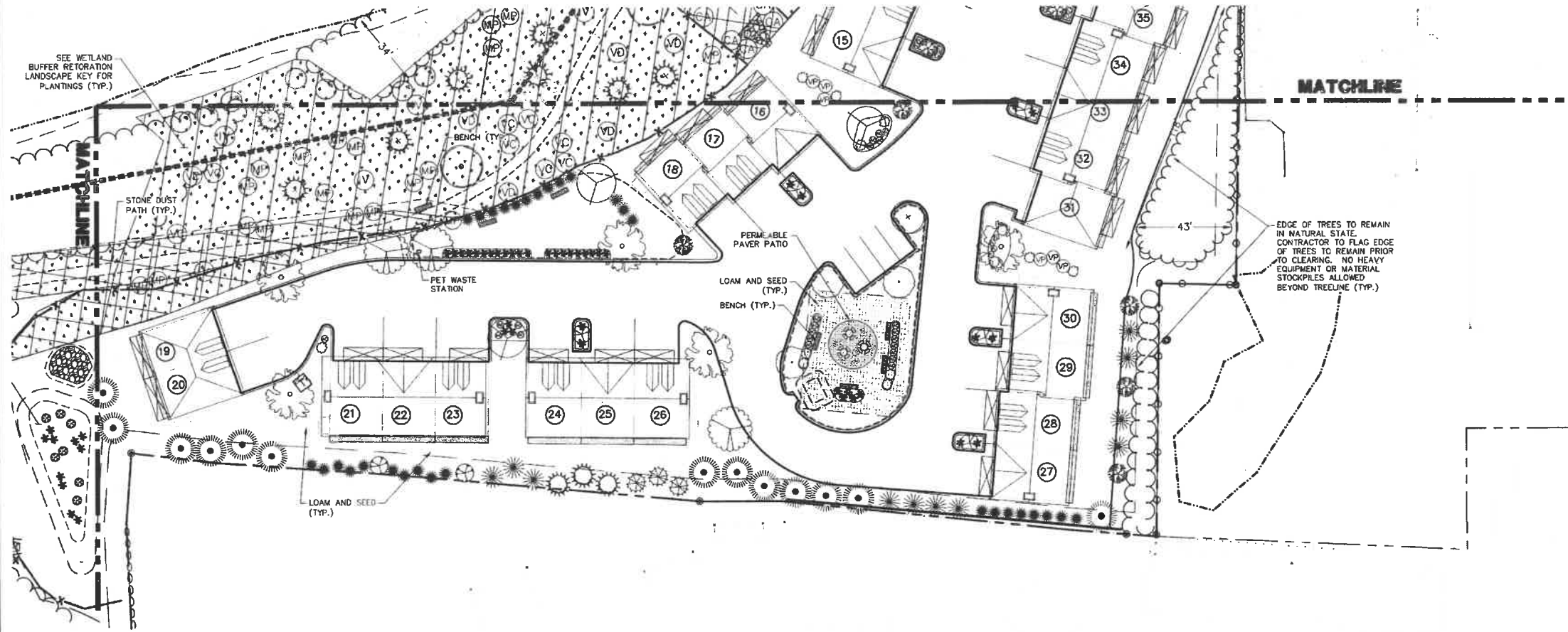
TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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45407.110 DR ARJ FB
 CK MSK CADFILE 45407-110 LANDSCAPE LS-1

Jun 18, 2021 - 2:06pm F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-110 - Green and Co. - 3400 Lafayette Rd\Design\PRODUCTION DRAWINGS\45407-110 Landscape.dwg

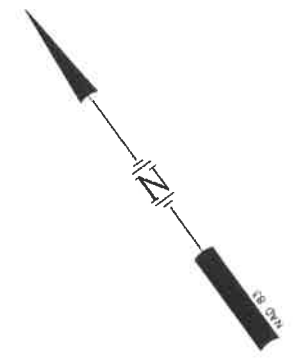
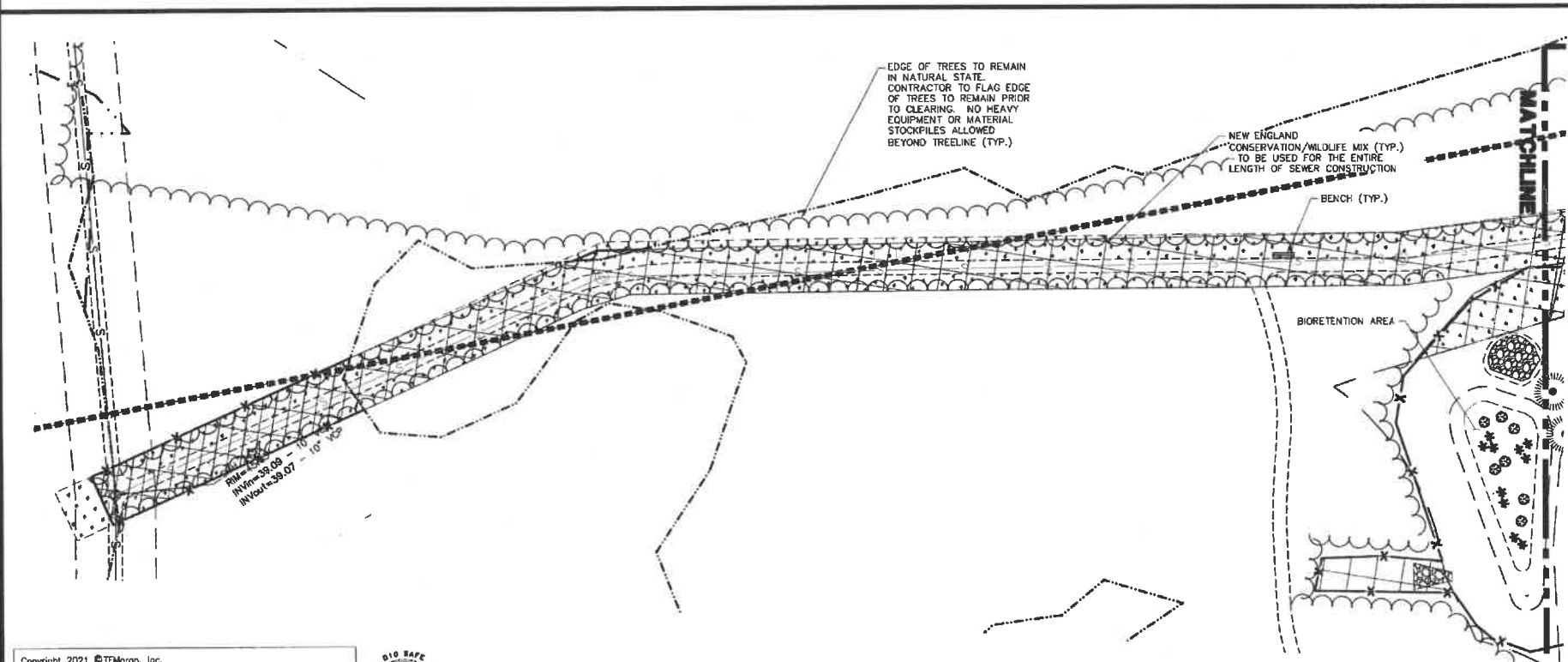
NOTE
1. SEE DETAIL SHEET FOR LANDSCAPE RELATED NOTES AND DETAILS.



WETLAND BUFFER RESTORATION KEY

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS	GROWTH HABIT
(6)	6	QUERCUS ALBA *WHITE OAK	2" TO 2 1/2" CAL.	B&B	UP-RIGHT BROAD
(14)	14	RHUS TYPHINA *STAGHORN SUMAC	3 GAL.	CONT.	CLUMPING
(33)	33	CORNUS AMOMUM *SILKY DOGWOOD	3 GAL.	CONT.	ROUNDED
(27)	27	MYRICA PENNSYLVANICA *NORTHERN BAYBERRY	3 GAL.	CONT.	ROUNDED
(29)	29	VIBURNUM DENTATUM *ARROWWOOD VIBURNUM	3 GAL.	CONT.	ROUNDED
(10/3)	10/3	ILEX VERTICILLATA *WINTERBERRY/**JIM DANDY WINTERBERRY	3 GAL.	CONT.	ROUNDED
(15)	15	VACCINIUM CORYMBOSUM *HIGHBUSH BLUEBERRY	3 GAL.	CONT.	ROUNDED
(12)	12	PINUS STROBUS *WHITE PINE	4' TO 5'	B&B	PYRAMIDAL
(Pattern)	55,980±	*NEW ENGLAND CONSERVATION/WILDLIFE MIX NEW ENGLAND WETLAND PLANT INC.	BAGS	BULK LBS	
(Pattern)	16,400±	*NEW ENGLAND WETMIX NEW ENGLAND WETLAND PLANT INC.	BAGS	BULK LBS	

*NATIVE, ** IMPROVED NATIVE



SITE DEVELOPMENT PLANS
TAX MAP 297 LOT 11
LANDSCAPE PLAN
3400 LAFAYETTE ROAD
PORTSMOUTH, NH
OWNED BY
RICCI CONSTRUCTION CO, INC.
PREPARED FOR
GREEN & COMPANY REAL ESTATE
1"=60' (11"X17")
SCALE: 1"=30' (22"X34") **MARCH 8, 2021**

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HORIZONTAL SCALE 1"=30'
30 15 0 30

REV	DATE	DESCRIPTION	DR	CHK
2	6/18/2021	REVISE PER SITE LAYOUT REVISIONS	MSK	JCC
1	5/13/2021	REVISE PER GRADING & UTILITY LAYOUT	MSK	JCC

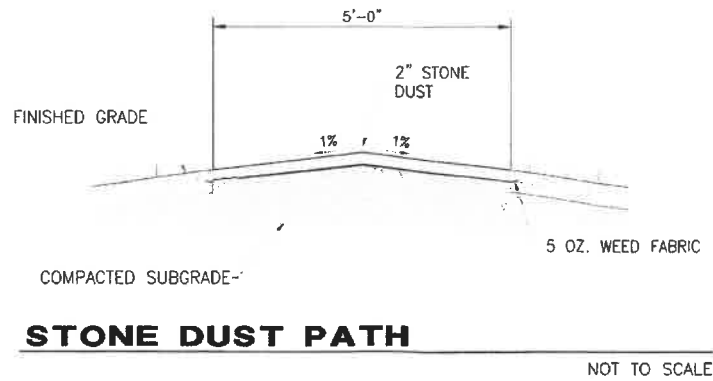
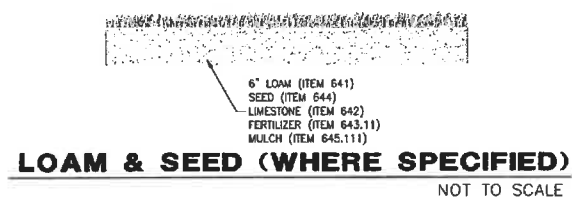
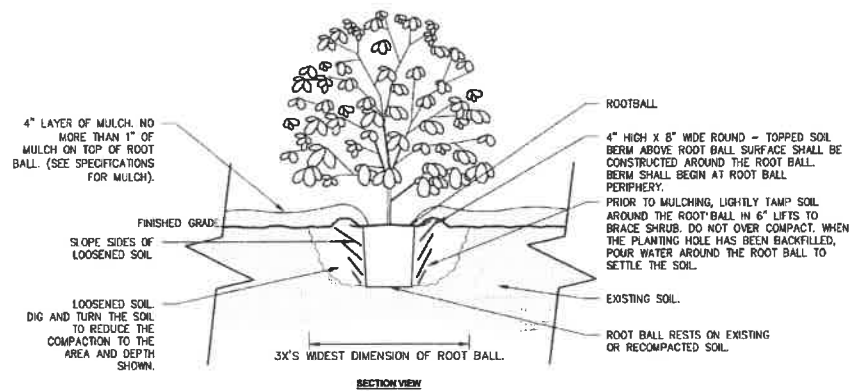
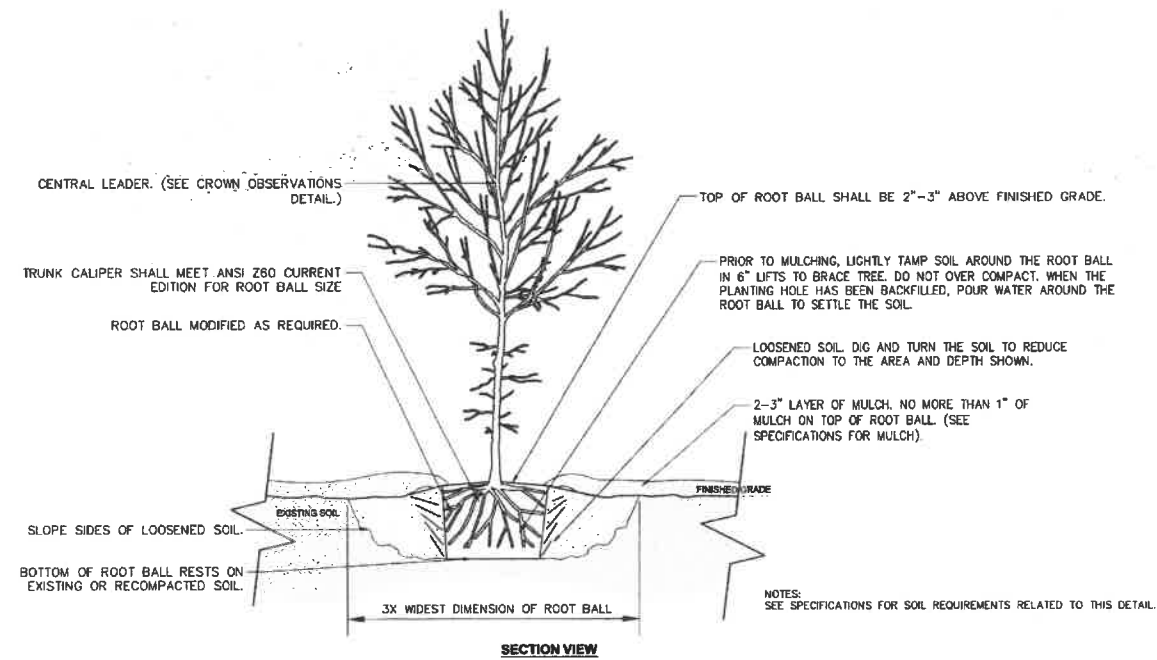
TFM Civil Engineers
Structural Engineers
Traffic Engineers
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Landscape Architects
Scientists

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FILE 45407.110 DR ARJ FB
CK MSK CADFILE 45407-110 LANDSCAPE LS-2

Jun 18, 2021 - 1:58pm F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-110 - Green and Co - 3400 Lafayette Rd\Design\PRODUCTION DRAWINGS\45407-110 Landscape.dwg

Jun 18, 2021 - 2:01pm
F:\MSO Projects\45407 - Lafayette Road - Portsmouth\45407-10 - Green and Co. - 3400 Lafayette Road\Design\PRODUCTION DRAWINGS\45407-10 Landscape.rvt



LANDSCAPE NOTES

- CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWNWORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- CONTRACTOR WILL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
- SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE THE APPROPRIATE ARRANGEMENTS TO PROVIDE ALL PLANTS AND MATERIALS TO ACCOMMODATE PLANTING WITHIN THE TIME ALLOWED BY THE CONSTRUCTION SCHEDULE.
- PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
- ALL PLANTS WILL BE NURSERY GROWN.
- PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
- TREES WILL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 PART 1, "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".
- PLANTS MATERIAL IS SUBJECT TO APPROVAL / REJECTION BY THE LANDSCAPE ARCHITECT AT THE SITE AND AT THE NURSERY.
- ALL PLANTS WILL BE MOVED WITH ROOT SYSTEMS AS SOLID UNITS AND WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT WILL BE ACCEPTED WHEN BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE WILL BE HELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS WILL BE WRAPPED WITH WIND PROOF COVERING.
- NEWLY PLANTED MATERIAL WILL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADE OF THE PLANT PRIOR TO DIGGING.
- MULCH FOR PLANTED AREAS (NOT INCLUDING BAIN GARDENS) WILL BE AGED SHREDDED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS UNLESS OTHERWISE SHOWN.
- PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIPLINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, WILL RECEIVE SIX (6) INCH LOAM AND SEED AT THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ALL PLANT GROUPINGS WILL BE IN MULCH BEDS UNLESS OTHERWISE SPECIFIED OR NOTED ON PLANS. WHERE MULCHED PLANT BED ADJUTS LAWN, PROVIDE TURF CUT EDGE.
- ALL PLANT BEDS WILL INTERSECT WITH PAVEMENT AT 90 DEGREES UNLESS OTHERWISE NOTED ON PLANS.
- ALL PLANT BED EDGES WILL BE SMOOTH AND CONSISTENT IN LAYOUT OF RADI AND TANGENTS. IRREGULAR, WAVY EDGES WILL NOT BE ACCEPTED.

LANDSCAPE GUARANTEE AND MAINTENANCE NOTES

- CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF WATERING.
- CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR FROM TIME OF INSTALLATION.
- WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
- ALL NEW LAWNS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE REQUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNTIL ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IS ISSUED IN WRITING.
- THE CONTRACTOR WILL MAINTAIN AND GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHOWING LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
- DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL THE FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.
- EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWTH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL THE FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

INVASIVE PLANT NOTES

- EXISTING NON-NATIVE, INVASIVE PLANT SPECIES WILL BE IDENTIFIED, REMOVED, DESTROYED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE LATEST UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION METHODS OF DISPOSING NON-NATIVE INVASIVE PLANTS. SEE "MANAGE AND CONTROL INVASIVES" AND PROPERLY DISPOSE OF INVASIVE PLANTS.

PORTSMOUTH NOTES

- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNER'S WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS INDICATED ON THESE PLAN(S).
- ALL REQUIRED PLANT MATERIAL WILL BE TENDED TO AND KEPT FREE OF REFUSE AND DEBRIS.
- ALL REQUIRED FENCES AND WALLS WILL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER WILL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD, OR PLANNING DIRECTOR.
- ALL IMPROVEMENTS SHOWN ON THIS PLAN WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THIS PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES WILL BE MADE TO THIS PLAN WITHOUT THE WRITTEN APPROVAL OF THE PORTSMOUTH PLANNING BOARD OR PLANNING DIRECTOR.
- THE LANDSCAPE PLAN WILL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

SEEDING NOTES

- SLOPES UP TO AND INCLUDING 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA.
- SLOPES STEEPER THAN 3:1 GRADE, SEED WILL BE NEW ENGLAND EROSION CONTROL & RESTORATION MIX PER NEW ENGLAND WETLANDS PLANTS INC., AMHERST, MA. SEE CIVIL FOR ADDITIONAL EROSION CONTROL MEASURES.
- GENERAL SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3.

SITE DEVELOPMENT PLANS

TAX MAP 297 LOT 11
LANDSCAPE DETAIL SHEET
3400 LAFAYETTE ROAD
PORTSMOUTH, NH

OWNED BY
RICCI CONSTRUCTION CO, INC.
 PREPARED FOR
GREEN & COMPANY REAL ESTATE

SCALE: NOT TO SCALE

MARCH 8, 2021



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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DR ARJ FB
CK MSK CADFILE

45407-110 LANDSCAPE

LS-3

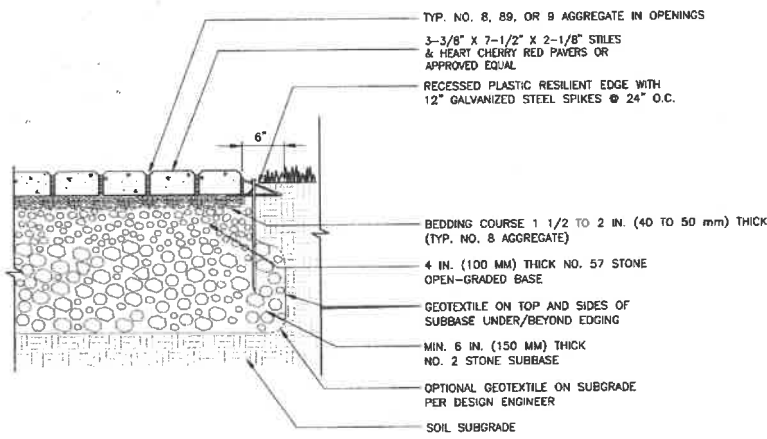
REV	DATE	DESCRIPTION	MSK	JCC
1	5/13/2021	NO REVISIONS THIS SHEET	MSK	JCC

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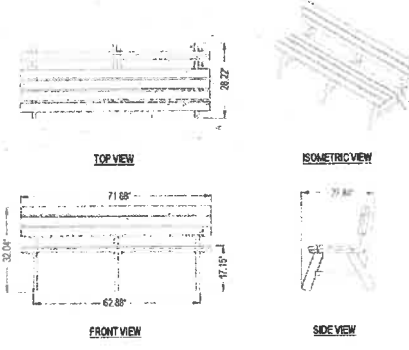




PERMEABLE PAVER DETAIL
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 222 STATE ST.
 BATAVIA, IL 00510
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 FAX: (830) 879-8887
 www.kirbybuilt.com

- SELECT DESIRED COLOR:
 CEDAR BLACK
 GREEN BROWN
 DESERT TAN GRAY
 SELECT DESIRED FRAME COLOR:
 CEDAR BLACK
 GREEN BROWN
 DESERT TAN GRAY
 SELECT DESIRED MOUNT:
 PORTABLE

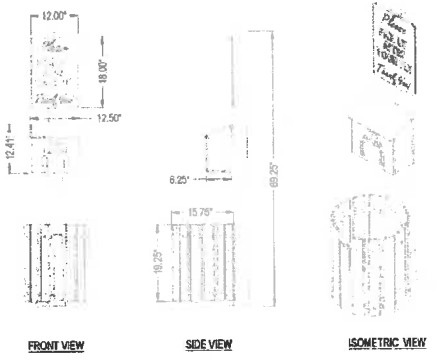


- NOTES
 1. ALL MATERIAL RECYCLED HOPE
 2. ALL HARDWARE STAINLESS STEEL
 3. SHIPPED PARTIALLY ASSEMBLED
 4. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
 5. DO NOT SCALE DRAWING
 6. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 7. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 8. CONTRACTOR'S NOTE FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 1177-008

LEGEND A-FRAME BENCHES
 ASC1020 - 6 LEGEND A-FRAME BENCH
 OR APPROVED EQUAL

KIRBYBUILT
 222 STATE ST.
 BATAVIA, IL 00510
 TOLL FREE: 1-855-888-7481
 PHONE: (855) 888-7481
 FAX: (830) 879-8887

- SELECT DESIRED COLOR:
 CEDAR BLACK
 GREEN BROWN
 DESERT TAN GRAY
 SELECT DESIRED MOUNT:
 SURFACE
 IN-GROUND



- NOTES
 1. ALL MATERIAL RECYCLED HOPE
 2. ALL HARDWARE STAINLESS STEEL
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 8. CONTRACTOR'S NOTE FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 1177-208

STANDARD ROLL BAG PET WASTE STATIONS
 APW1220APW1215 - STANDARD ROLL BAG PET WASTE STATION AND SIGN (BAG DISPENSER, 5 GALLON RECEPTACLE, POST, SIGN) - SURFACE MOUNT OR IN-GROUND
 OR APPROVED EQUAL

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SITE DEVELOPMENT PLANS
 TAX MAP 297 LOT 11
LANDSCAPE DETAIL SHEET
 3400 LAFAYETTE ROAD
 PORTSMOUTH, NH
 OWNED BY
RICCI CONSTRUCTION CO, INC.
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 SCALE: NOT TO SCALE MARCH 8, 2021

REV	DATE	DESCRIPTION	DR	CK
2	6/18/2021	REVISE PER SITE LAYOUT REVISIONS	MSK	JCC

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45407.110 DR ARJ FB
 CK MSK CADFILE 45407-110 LANDSCAPE LS-4

Jun 18, 2021 - 2:03pm
 F:\MS-C-Projects\45407-110 - Green and Co - 3400 Lafayette Rd - Portsmouth\45407-110 Landscape.dwg

SITE NOTES:

- THE INTENT OF THIS PLAN IS SHOW THE SITE LAYOUT FOR A 50-UNIT MULTI-FAMILY RESIDENTIAL DEVELOPMENT ON TAX MAP 297 LOT 11.
- ZONING DISTRICT: GATEWAY CORRIDOR (G1), USE: GATEWAY TOWNHOUSE**
 LOT AREA MINIMUM = NO REQUIREMENT FOUND
 LOT FRONTAGE MINIMUM = 100'
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 70' FROM CENTERLINE OF LAFAYETTE ROAD
 SIDE SETBACK = 10'
 REAR SETBACK = 10'
 WETLAND SETBACK = 100'
 MAX. BUILDING HEIGHT = 35'
 MIN. OPEN SPACE = 300'
 MAX. BUILDING COVERAGE = 60%
 AREA OF LOT WITHIN OF DISTRICT = 877,266 S.F. = 20.05 AC
 OPEN SPACE PROVIDED = 57,646 S.F. = 1.31 AC & WITHIN OF DISTRICT
 BUILDING COVERAGE PROPOSED = 38,108 S.F. = 8.6% & WITHIN OF DISTRICT
 DENSITY ALLOWED = 18 UNITS/AC = 18 X 10.05 AC = 181 UNITS ALLOWED
- ZONING DISTRICT: NATURAL RESOURCE PROTECTION (NRP)**
 LOT AREA MINIMUM = NO REQUIREMENT
 LOT FRONTAGE MINIMUM = NO REQUIREMENT
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 70'
 SIDE SETBACK = 70'
 REAR SETBACK = 70'
 MAX. BUILDING HEIGHT = 35'
 MIN. OPEN SPACE = 300'
 MAX. BUILDING COVERAGE = NO REQUIREMENT
 AREA OF LOT WITHIN NRP DISTRICT = 1,228,061 S.F. = 28.05 AC
 OPEN SPACE PROVIDED = 1,228,061 S.F. = 100% WITHIN NRP DISTRICT
 EXISTING CONSERVATION EASEMENT = 88.16 AC = 84.6% OF SITE
 PROPOSED CONSERVATION EASEMENT = 10.3 AC = 2.3% OF SITE
 TOTAL CONSERVATION EASEMENT = 98.5 AC = 86.9% OF SITE
- PARKING CALCULATIONS:**
 1.5 SPACES PER UNIT = 750 S.F.
 TOTAL NUMBER OF UNITS = 50, EACH UNIT HAS 2 SPACES IN GARAGE
 OUTDOOR PARKING SPACES PROVIDED = 104
 TOTAL SPACES REQUIRED = 65, TOTAL SPACES PROVIDED = 104
- PAVEMENT AREA 81,882 SF = 18% OF SITE**



LAFAYETTE ROAD (U.S. ROUTE 1)

SITE DEVELOPMENT PLANS
 TAX MAP 297 LOT 11
PRESENTATION PLAN
3400 LAFAYETTE ROAD
PORTSMOUTH, NH
 OWNED BY
RICCI CONSTRUCTION CO, INC.
 PREPARED FOR
GREEN & COMPANY REAL ESTATE
 SCALE: 1"=30' (30"X42") JUNE 16, 2021

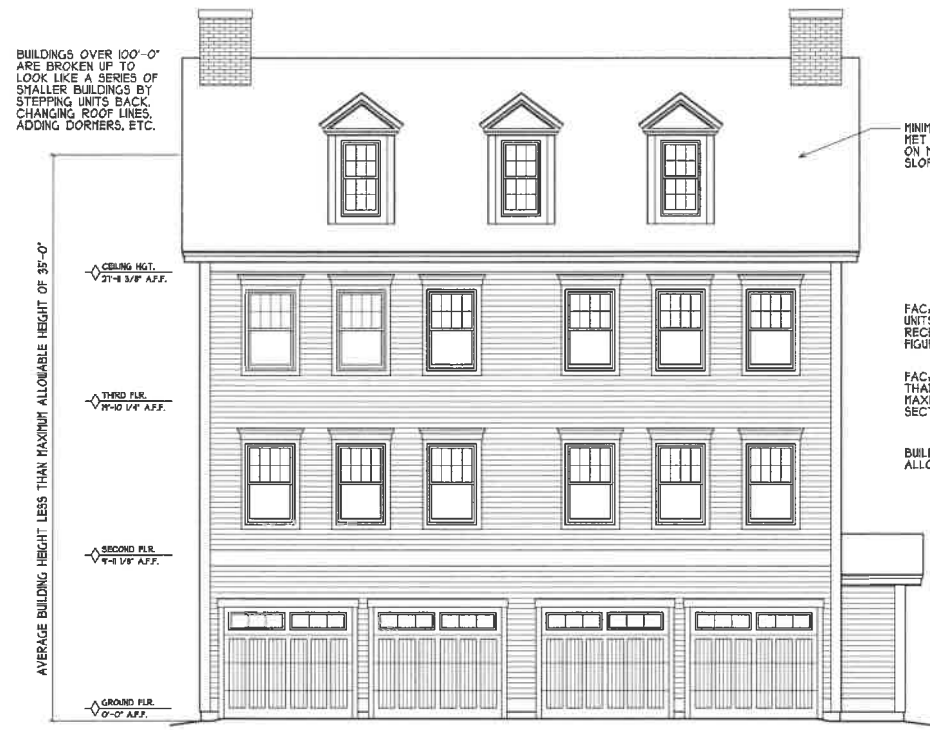
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 This plan is not effective unless signed by a duly authorized officer of TFM, Inc.

REV.	DATE	DESCRIPTION	APP.	CHK.

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists

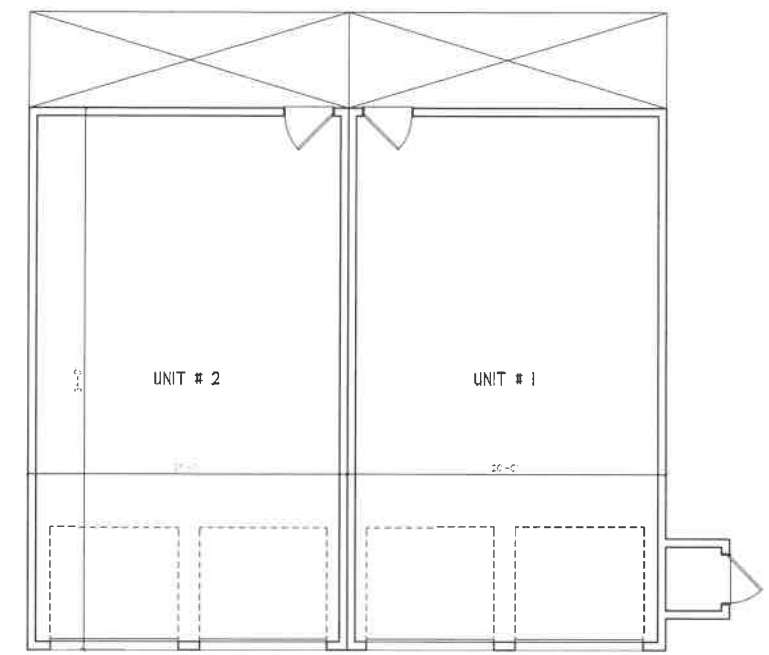
48 Constitution Drive, Bedford, NH 03110
 Phone (603) 472-4400
 Fax (603) 472-9747
 www.tfmcorp.com

45407.110

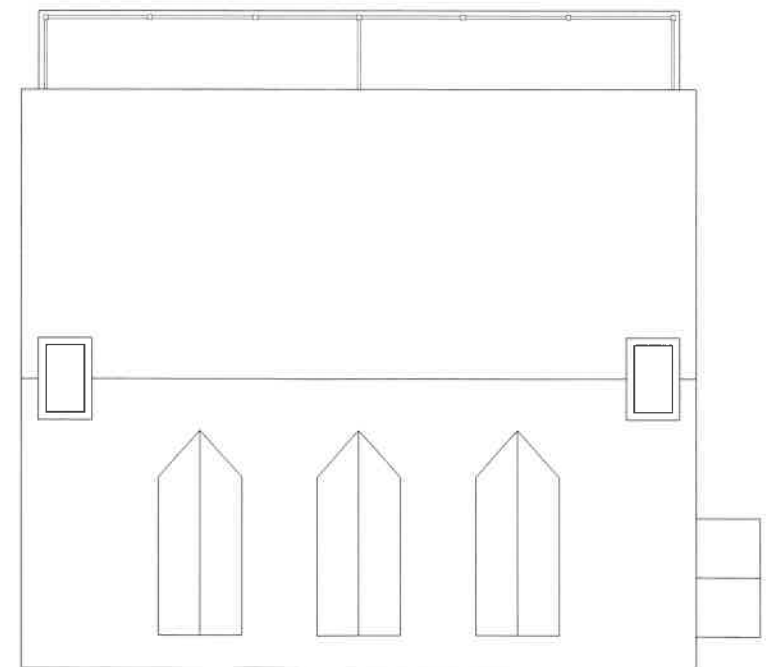


FRONT ELEVATION SCALE 1/4" = 1'-0"

GATEWAY TOWNHOUSE: SMALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW MASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS. EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.



BUILDING # 1



BUILDING # 1



GATEWAY TOWNHOUSE SHALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW PASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS, EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.

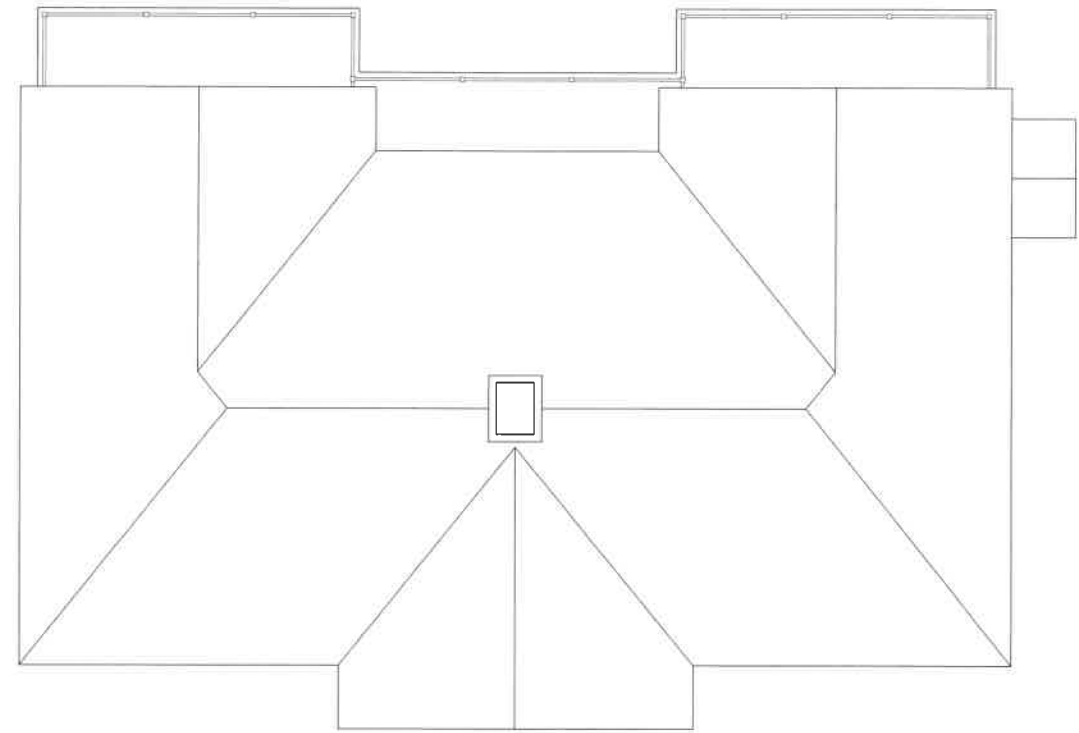
FRONT ELEVATION

SCALE 1/4" = 1'-0"

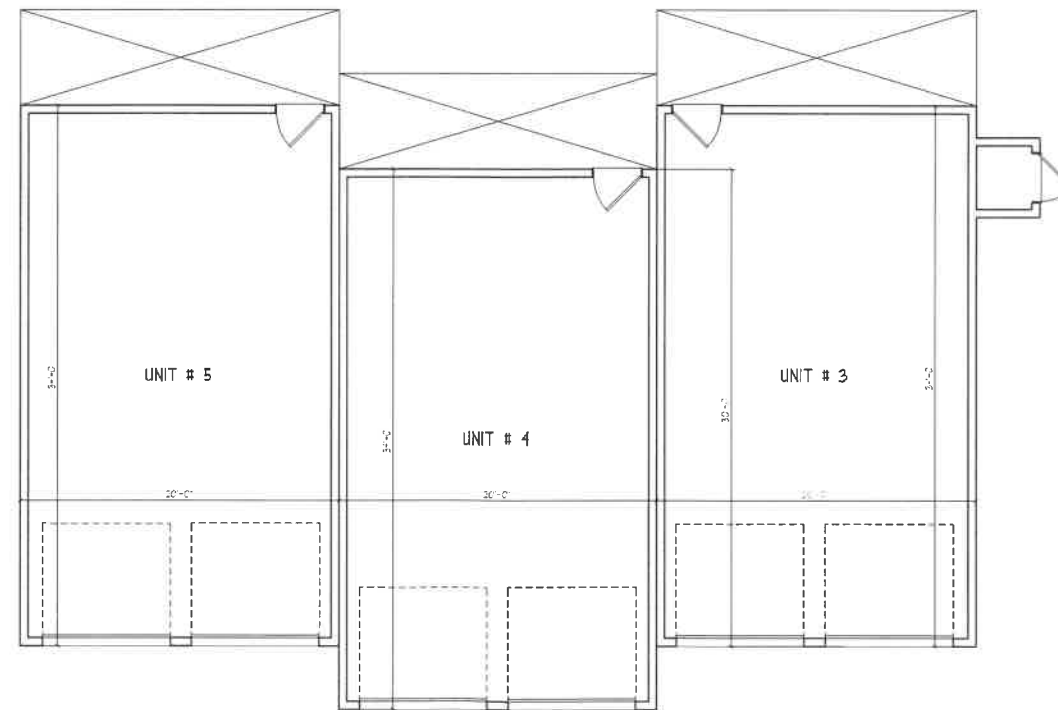
FACADE MODULATION MET BY STEPPING UNITS, THE USE OF DECKS AND RECESSED / COVERED ENTRIES PER FIGURE 10.5B23.30.

FACADE MODULATION OCCURS LESS THAN EVERY FOURTH UNIT MEETING MAXIMUM ALLOWABLE LENGTH PER SECTION 10.5A43.20.

BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS



BUILDING # 2



BUILDING # 2



AVERAGE BUILDING HEIGHT LESS THAN MAXIMUM ALLOWABLE HEIGHT OF 38'-0"

CEILING HGT. 27'-6" AFF.

THRD. FLR. 11'-4" AFF.

SECOND FLR. 9'-8" AFF.

GROUND FLR. 0'-0" AFF.

BUILDINGS OVER 100'-0" ARE BROKEN UP TO LOOK LIKE A SERIES OF SMALLER BUILDINGS BY STEPPING UNITS BACK, CHANGING ROOF LINES, ADDING DORMERS, ETC.

MINIMUM ROOF SLOPE GUIDELINES MET BY USING 8:12 ROOF SLOPE ON MAIN ROOF AND 10:12 ROOF SLOPE ON GABLES

FACADE MODULATION MET BY STEPPING UNITS, THE USE OF DECKS AND RECESSED / COVERED ENTRIES PER FIGURE 10.5B23.30.

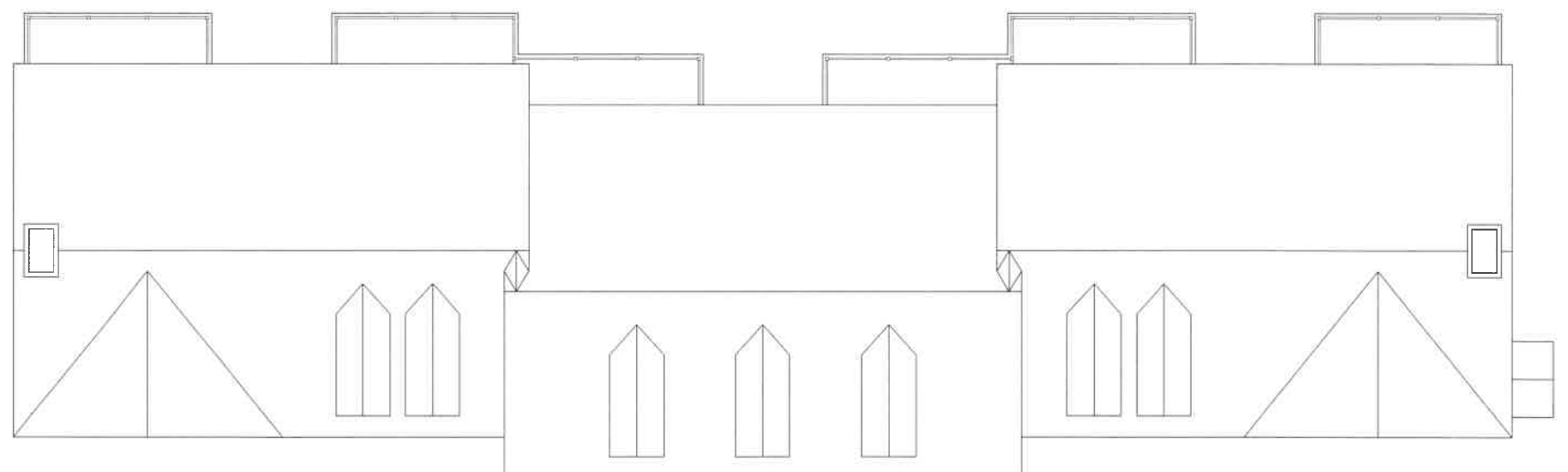
FACADE MODULATION OCCURS LESS THAN EVERY FOURTH UNIT MEETING MAXIMUM ALLOWABLE LENGTH PER SECTION 10.5A43.20.

BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS

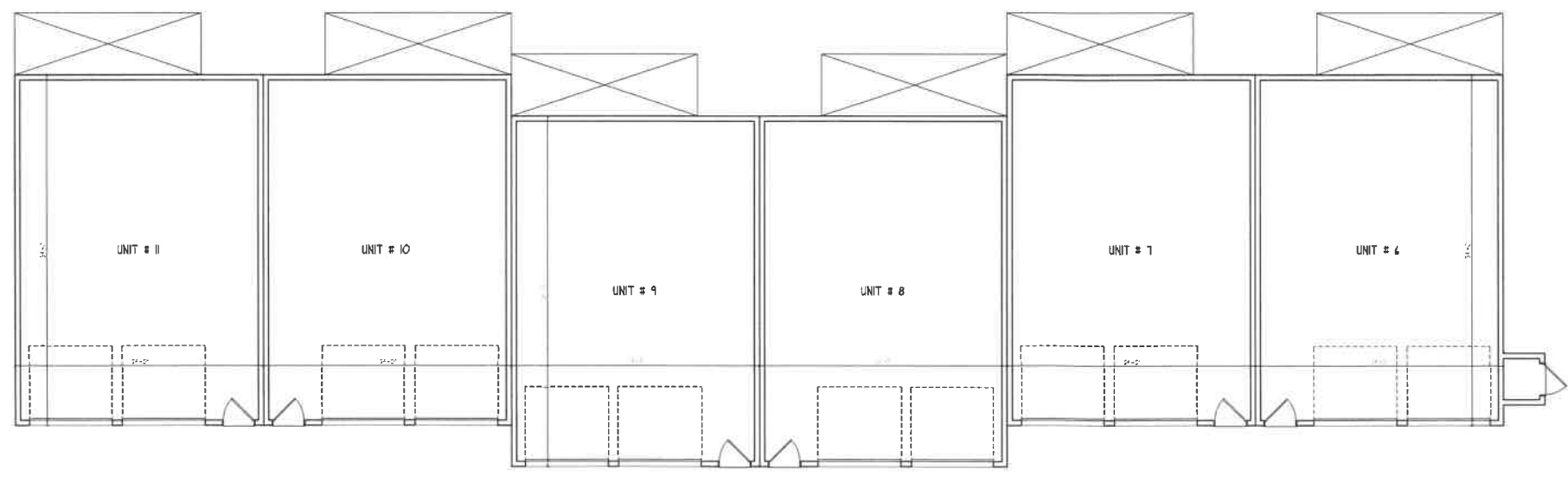
GATEWAY TOWNHOUSE. SMALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW PASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS. EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.

FRONT ELEVATION

SCALE 1/4" = 1'-0"



BUILDING # 3

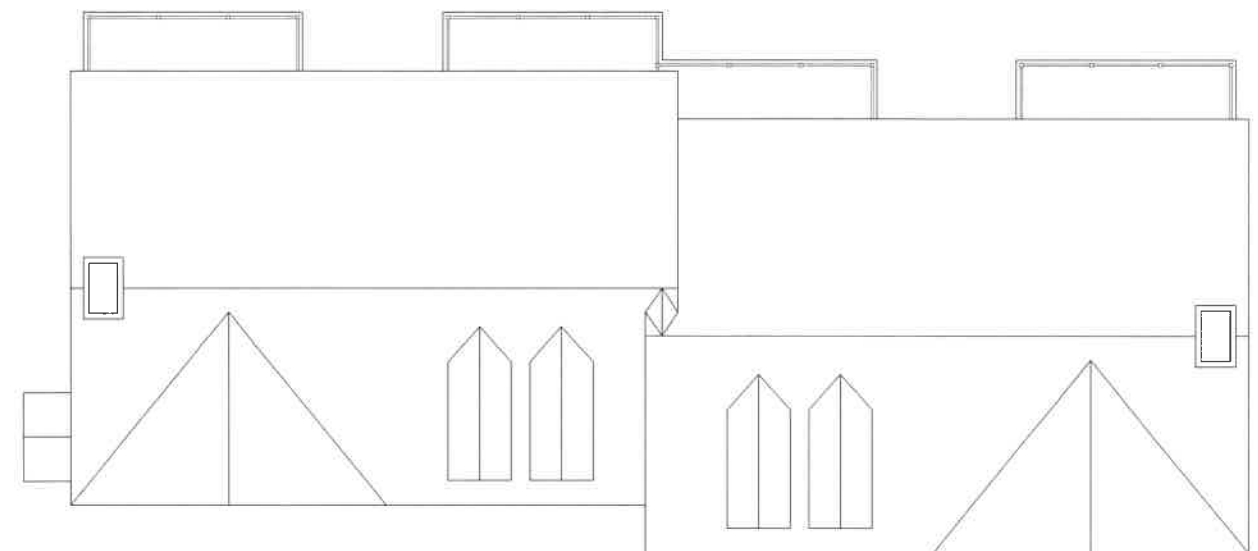


BUILDING # 3

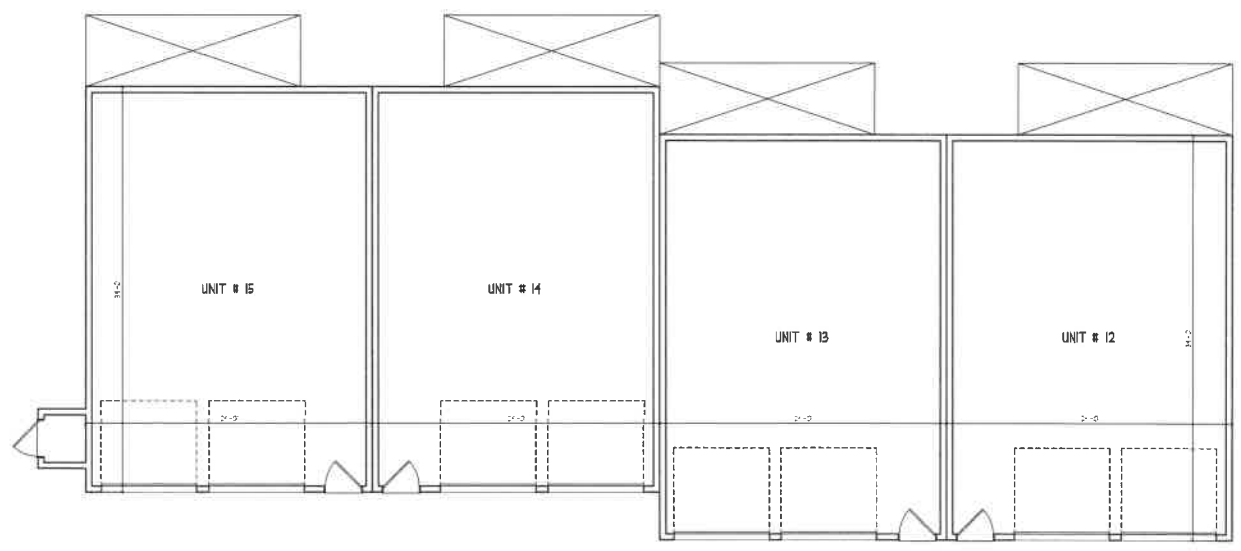


GATEWAY TOWNHOUSE SHALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW PASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS. EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING # 4



BUILDING # 4



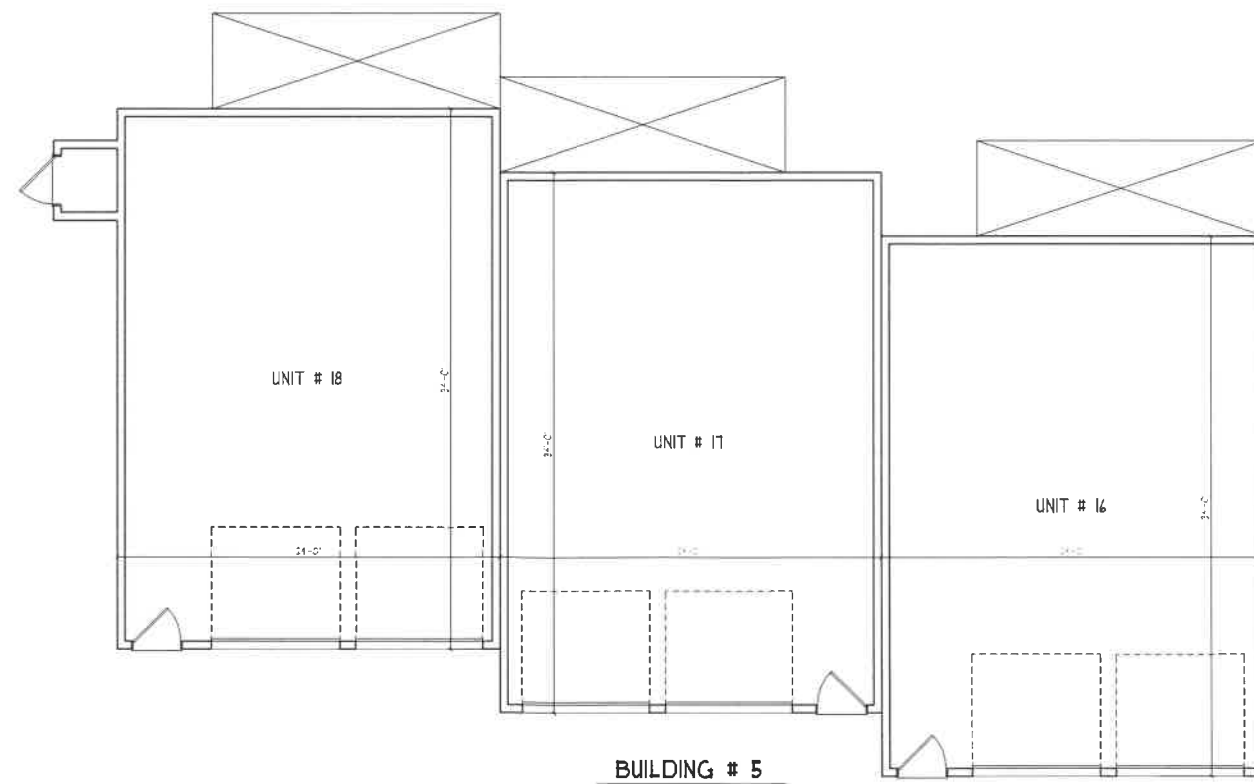
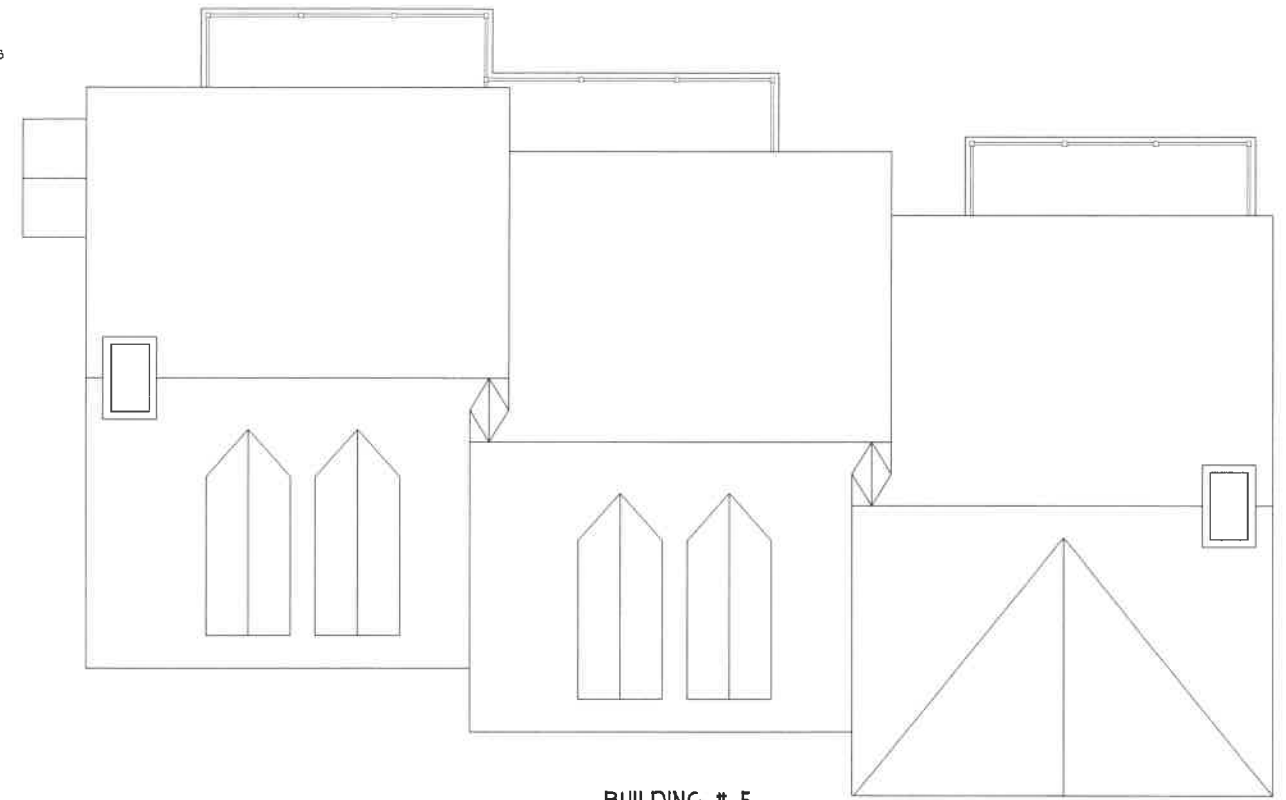
FRONT ELEVATION
SCALE 1/8" = 1'-0"

GATEWAY TOWNHOUSE:
SMALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW PASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS. EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.

FACADE MODULATION MET BY STEPPING UNITS, THE USE OF DECKS AND RECESSED / COVERED ENTRIES PER FIGURE 10.5B23.30.

FACADE MODULATION OCCURS LESS THAN EVERY FOURTH UNIT MEETING MAXIMUM ALLOWABLE LENGTH PER SECTION 10.5A43.20.

BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS



BUILDINGS OVER 100'-0" ARE BROKEN UP TO LOOK LIKE A SERIES OF SMALLER BUILDINGS BY STEPPING UNITS BACK, CHANGING ROOF LINES, ADDING DORMERS, ETC.

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FACADE MODULATION OCCURS LESS THAN EVERY FOURTH UNIT MEETING MAXIMUM ALLOWABLE LENGTH PER SECTION 10.5A13.20.

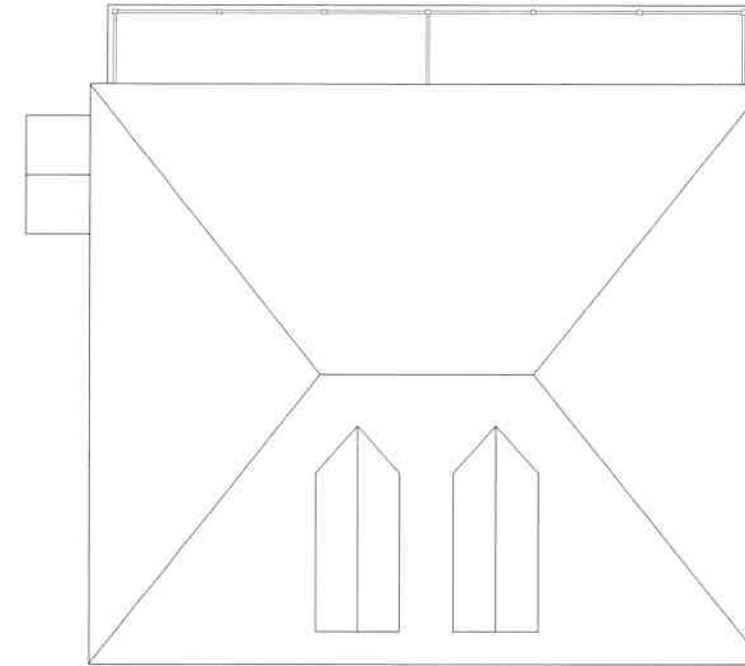
BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS



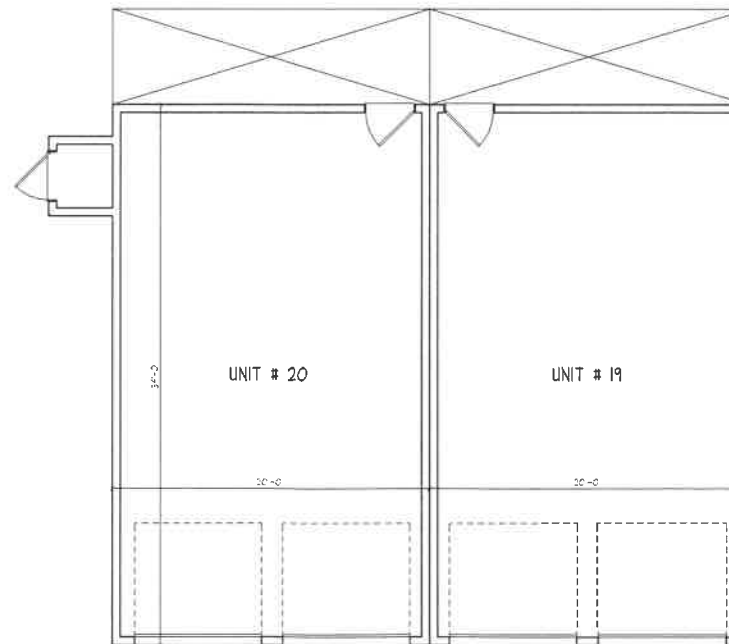
FRONT ELEVATION

SCALE 1/4" = 1'-0"

GATEWAY TOWNHOUSE:
SMALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW MASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS. EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.



BUILDING # 6



BUILDING # 6



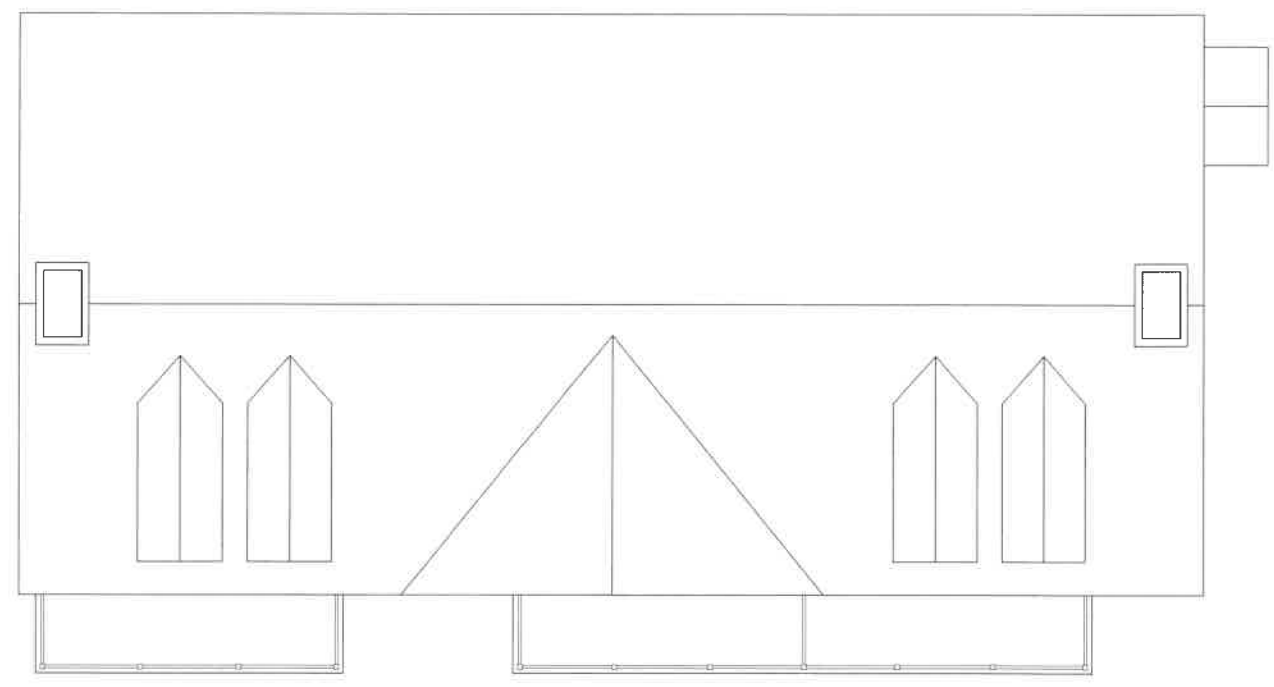
GATEWAY TOWNHOUSE:
SMALL FOOTPRINT ATTACHED SINGLE
FAMILY RESIDENTIAL BUILDINGS HAVE
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LOCATED ON INDIVIDUAL OR COMMON
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HORIZONTALLY BY A COMMON WALL.

FRONT ELEVATION
SCALE 1/4" = 1'-0"

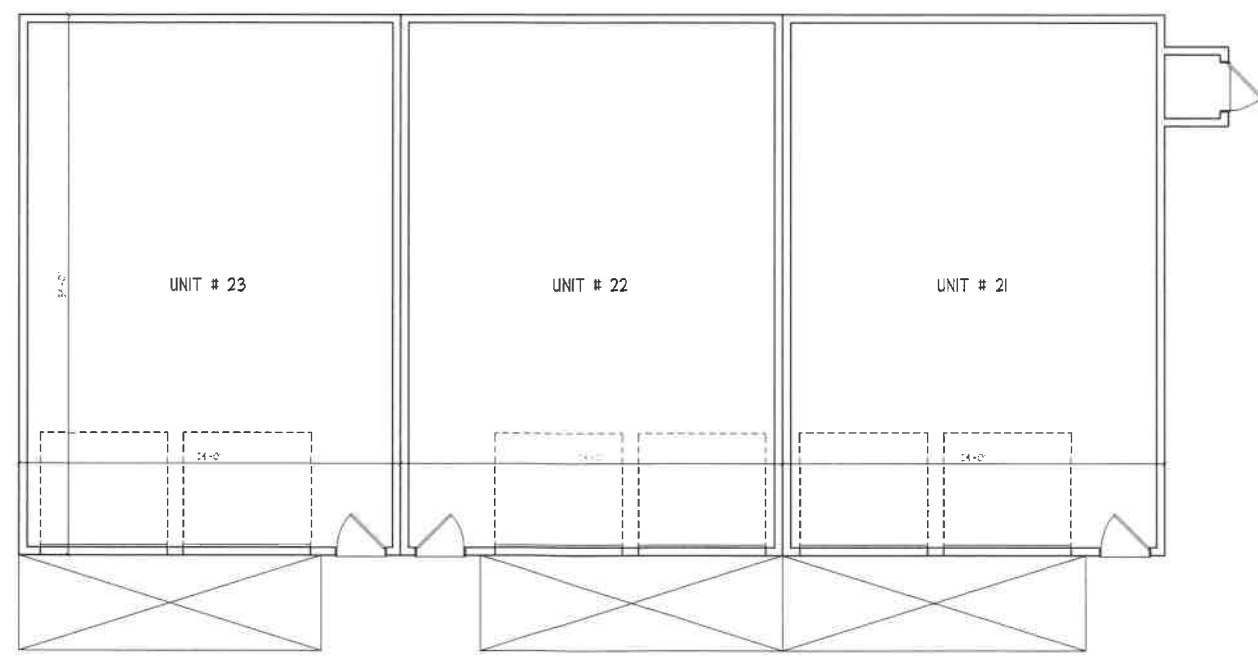
FACADE MODULATION MET BY STEPPING
UNITS, THE USE OF DECKS AND
RECESSED / COVERED ENTRIES PER
FIGURE 10.5B23.30.

FACADE MODULATION OCCURS LESS
THAN EVERY FOURTH UNIT MEETING
MAXIMUM ALLOWABLE LENGTH PER
SECTION 10.5A43.20.

BUILDINGS DO NOT EXCEED MAXIMUM
ALLOWANCE OF 8 UNITS



BUILDING # 1



BUILDING # 1



FRONT ELEVATION

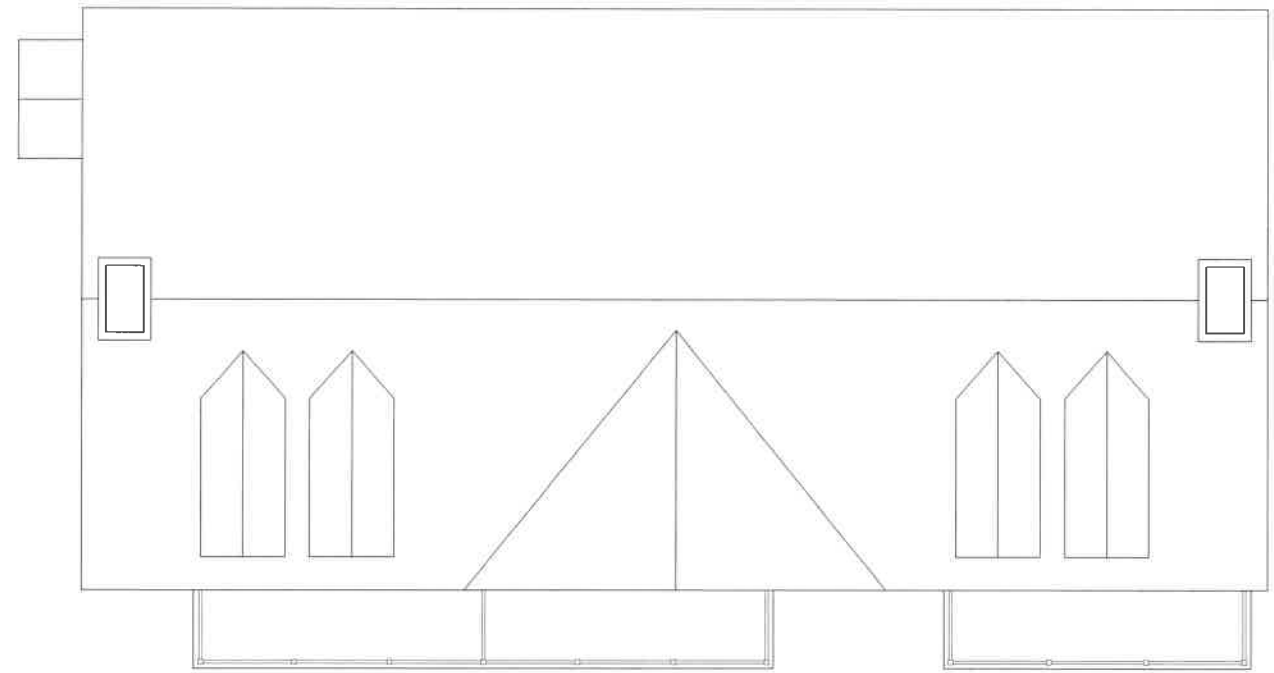
SCALE: 1/4" = 1'-0"

GATEWAY TOWNHOUSE:
SHALL FOOTPRINT ATTACHED SINGLE
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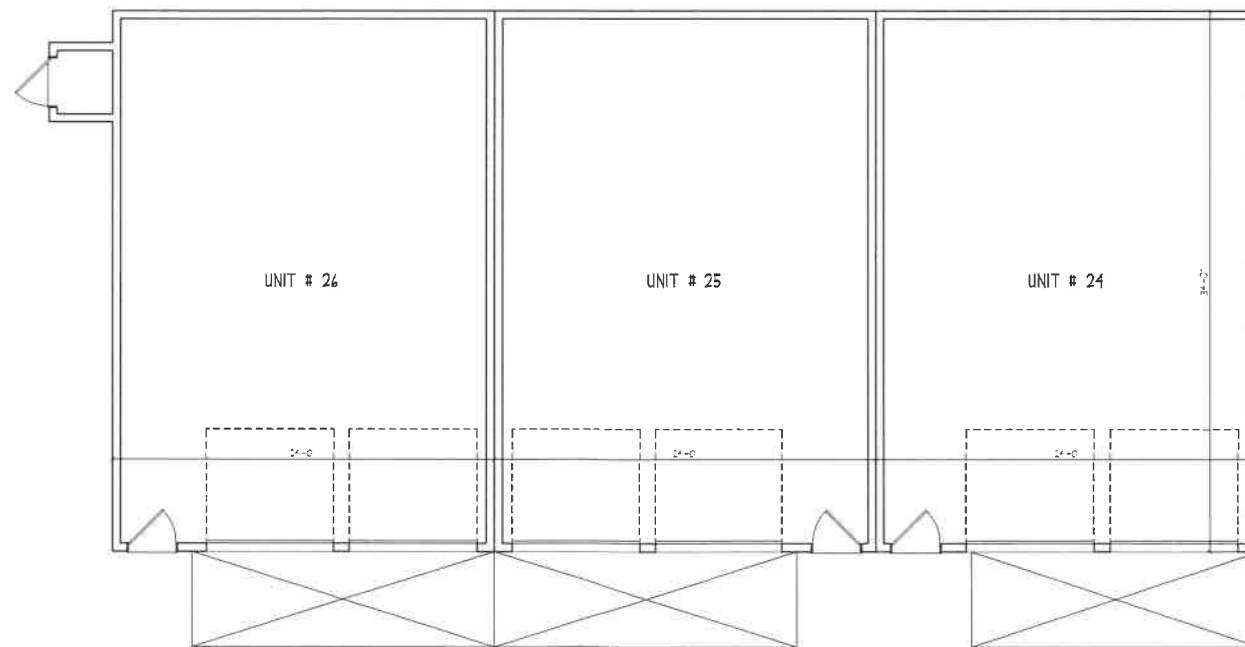
FACADE MODULATION MET BY STEPPING
UNITS. THE USE OF DECKS AND
RECESSED / COVERED ENTRIES PER
FIGURE 10.5B23.30.

FACADE MODULATION OCCURS LESS
THAN EVERY FOURTH UNIT MEETING
MAXIMUM ALLOWABLE LENGTH PER
SECTION 10.5A43.20.

BUILDINGS DO NOT EXCEED MAXIMUM
ALLOWANCE OF 8 UNITS



BUILDING # 8



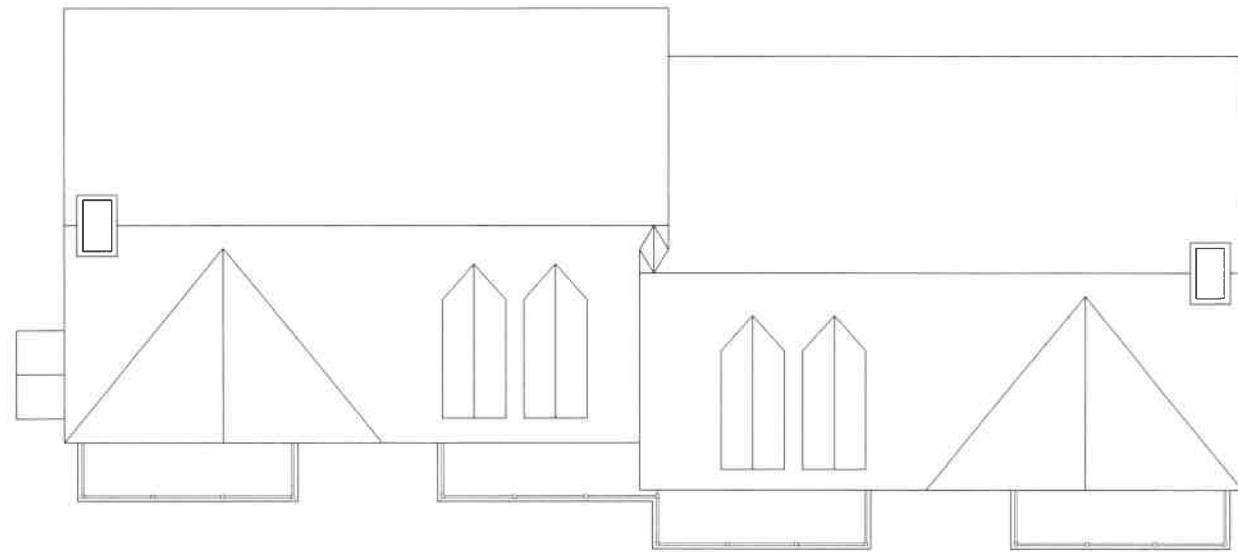
BUILDING # 8



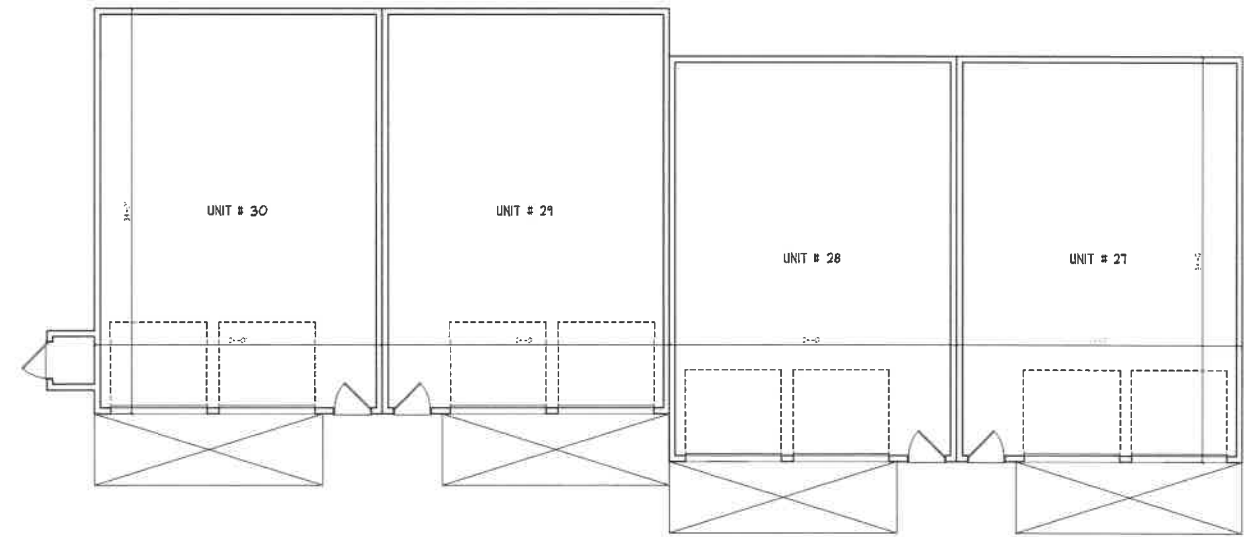
GATEWAY TOWNHOUSE: SMALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW PASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS. EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.

FRONT ELEVATION

SCALE: 1/4" = 1'-0"



BUILDING # 1



BUILDING # 1

MINIMUM ROOF SLOPE GUIDELINES MET BY USING 6:12 ROOF SLOPE ON MAIN ROOF AND 10:12 ROOF SLOPE ON GABLES

FACADE MODULATION MET BY STEPPING UNITS, THE USE OF DECKS AND RECESSED / COVERED ENTRIES PER FIGURE 10.5B23.30.

FACADE MODULATION OCCURS LESS THAN EVERY FOURTH UNIT MEETING MAXIMUM ALLOWABLE LENGTH PER SECTION 10.5A43.20.

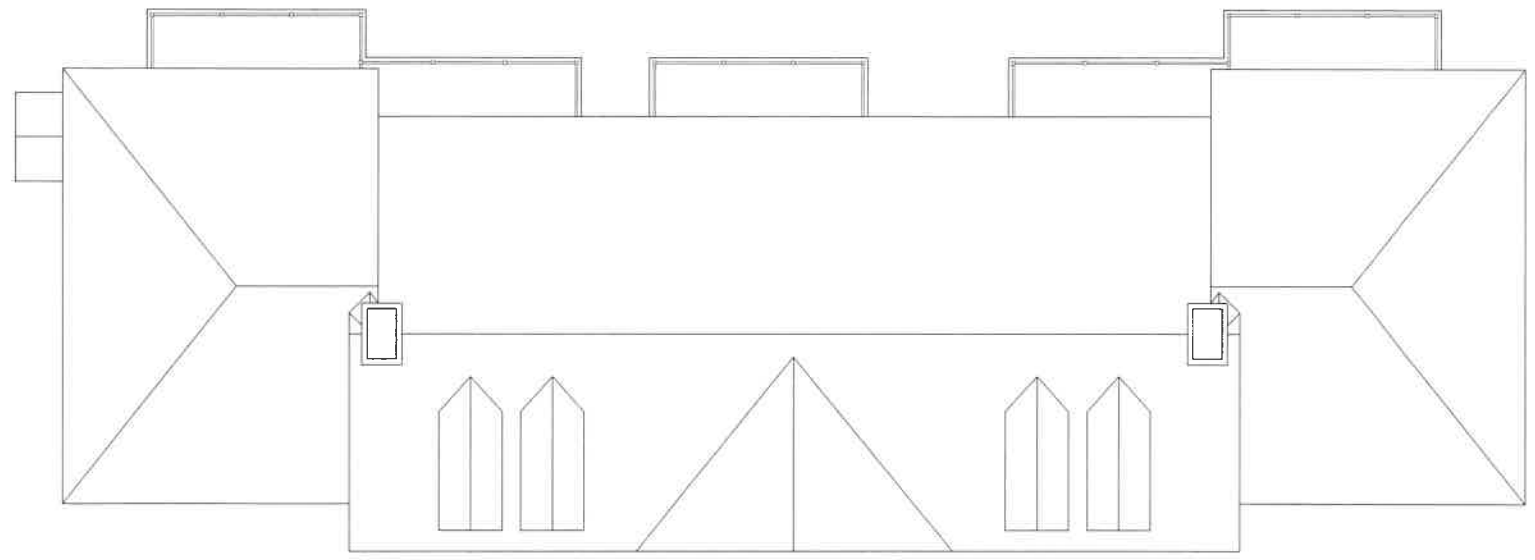
BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS

BUILDINGS OVER 100'-0" ARE BROKEN UP TO LOOK LIKE A SERIES OF SMALLER BUILDINGS BY STEPPING UNITS BACK, CHANGING ROOF LINES, ADDING DORNERS, ETC.

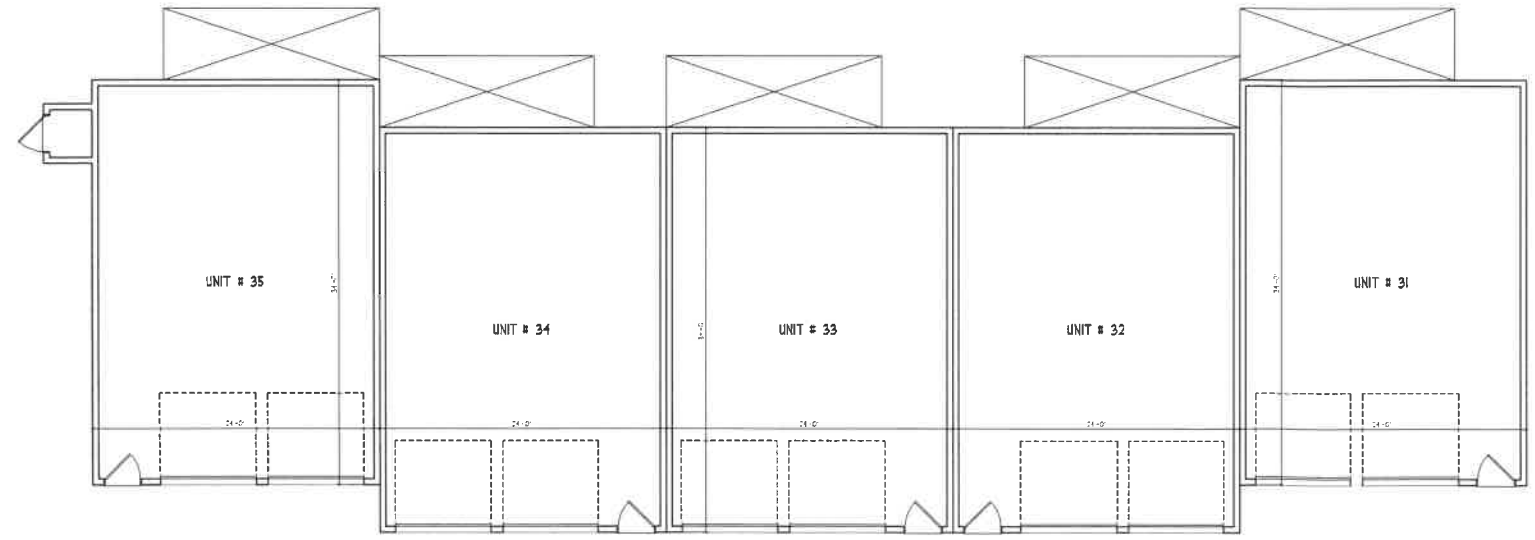


GATEWAY TOWNHOUSE. SMALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW PASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS. EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.

FRONT ELEVATION
SCALE 1/4" = 1'-0"



BUILDING # 10



BUILDING # 10

BUILDINGS OVER 100'-0" ARE BROKEN UP TO LOOK LIKE A SERIES OF SMALLER BUILDINGS BY STEPPING UNITS BACK, CHANGING ROOF LINES, ADDING CORNERS, ETC.

AVERAGE BUILDING HEIGHT LESS THAN MAXIMUM ALLOWABLE HEIGHT OF 35'-0"

CEILING HGT. 27'-1 1/2" AFF.

THIRD FLR. 7'-0" AFF.

SECOND FLR. 7'-0" AFF.

GROUND FLR. 0'-0" AFF.



MINIMUM ROOF SLOPE GUIDELINES MET BY USING 8:12 ROOF SLOPE ON MAIN ROOF AND 10:12 ROOF SLOPE ON GABLES

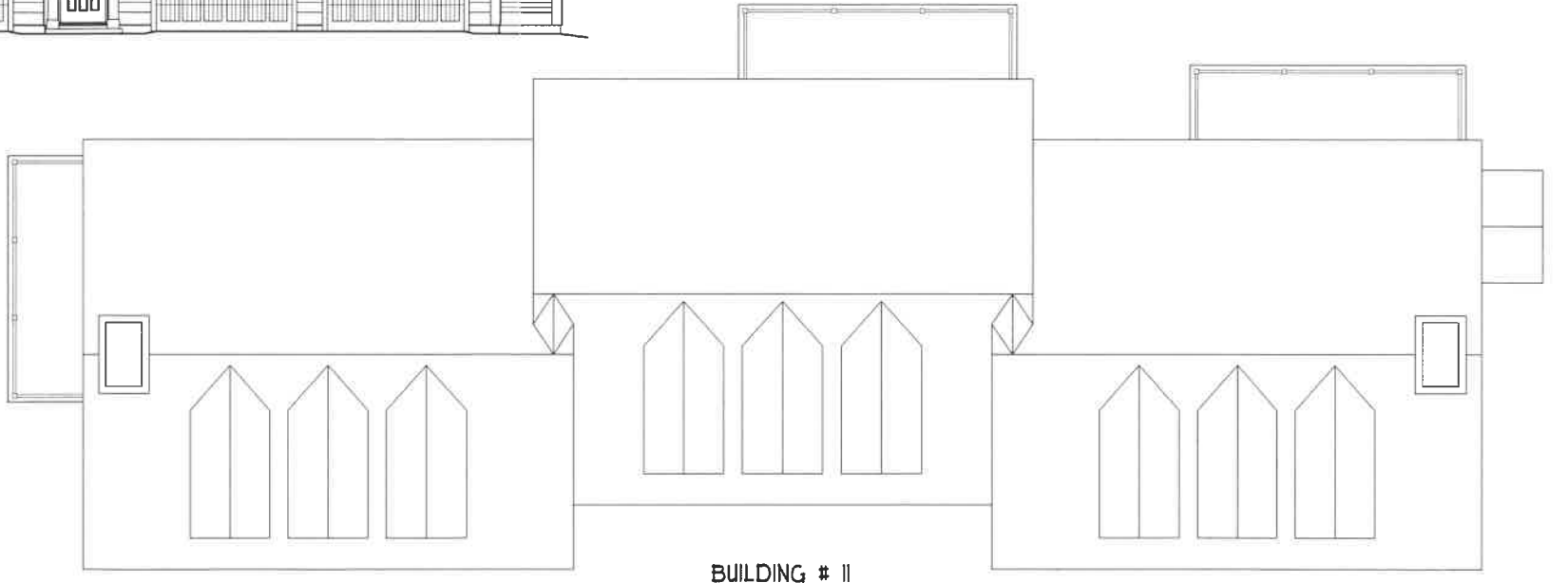
FACADE MODULATION MET BY STEPPING UNITS, THE USE OF DECKS AND RECESSED / COVERED ENTRIES PER FIGURE 10.5B23.30.

FACADE MODULATION OCCURS LESS THAN EVERY FOURTH UNIT MEETING MAXIMUM ALLOWABLE LENGTH PER SECTION 10.5A43.20.

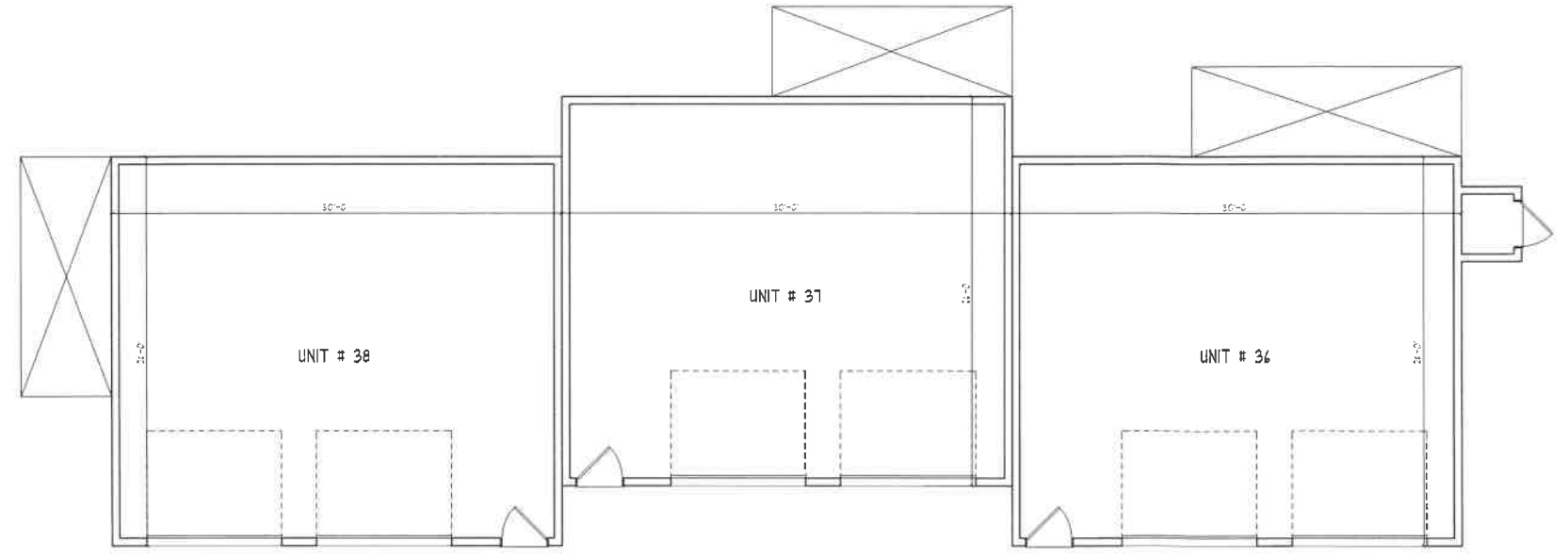
BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS

GATEWAY TOWNHOUSE. SMALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW PASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS. EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.

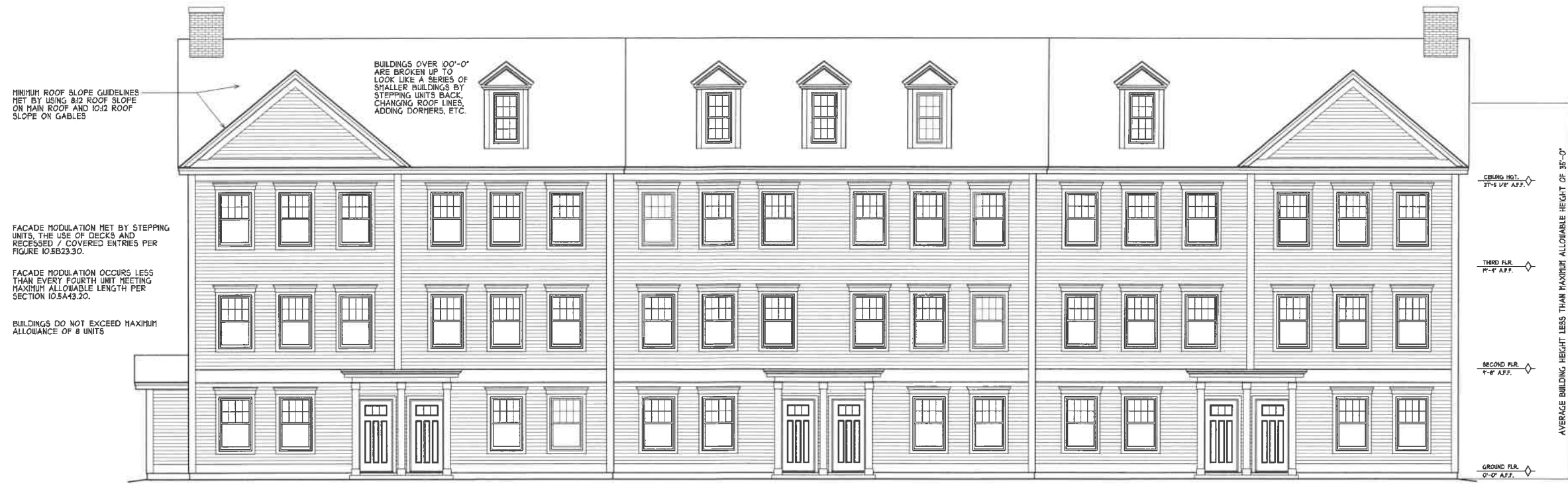
FRONT ELEVATION SCALE 1/4" = 1'-0"



BUILDING # II



BUILDING # II



MINIMUM ROOF SLOPE GUIDELINES MET BY USING 8:12 ROOF SLOPE ON MAIN ROOF AND 10:12 ROOF SLOPE ON GABLES

BUILDINGS OVER 100'-0\"/>

FACADE MODULATION MET BY STEPPING UNITS, THE USE OF DECKS AND RECESSED / COVERED ENTRIES PER FIGURE 10.5B23.30.

FACADE MODULATION OCCURS LESS THAN EVERY FOURTH UNIT MEETING MAXIMUM ALLOWABLE LENGTH PER SECTION 10.5A43.20.

BUILDINGS DO NOT EXCEED MAXIMUM ALLOWANCE OF 8 UNITS

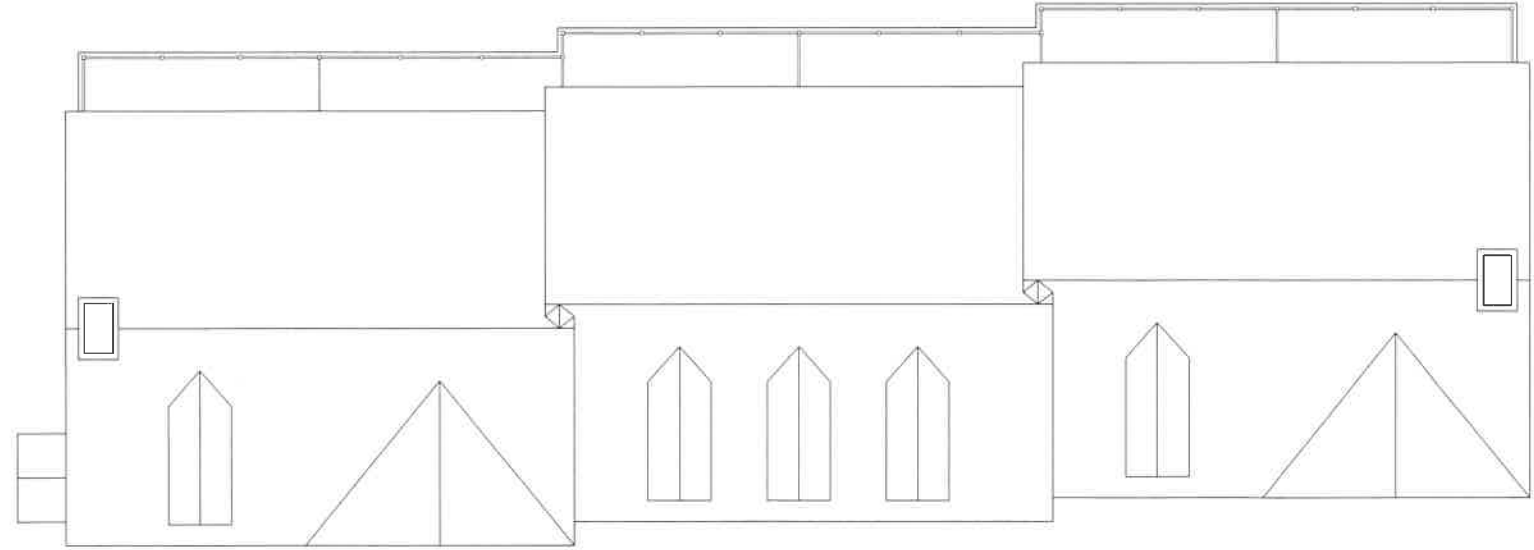
CEILING HGT. 21'-4\"/>

AVERAGE BUILDING HEIGHT LESS THAN MAXIMUM ALLOWABLE HEIGHT OF 35'-0\"/>

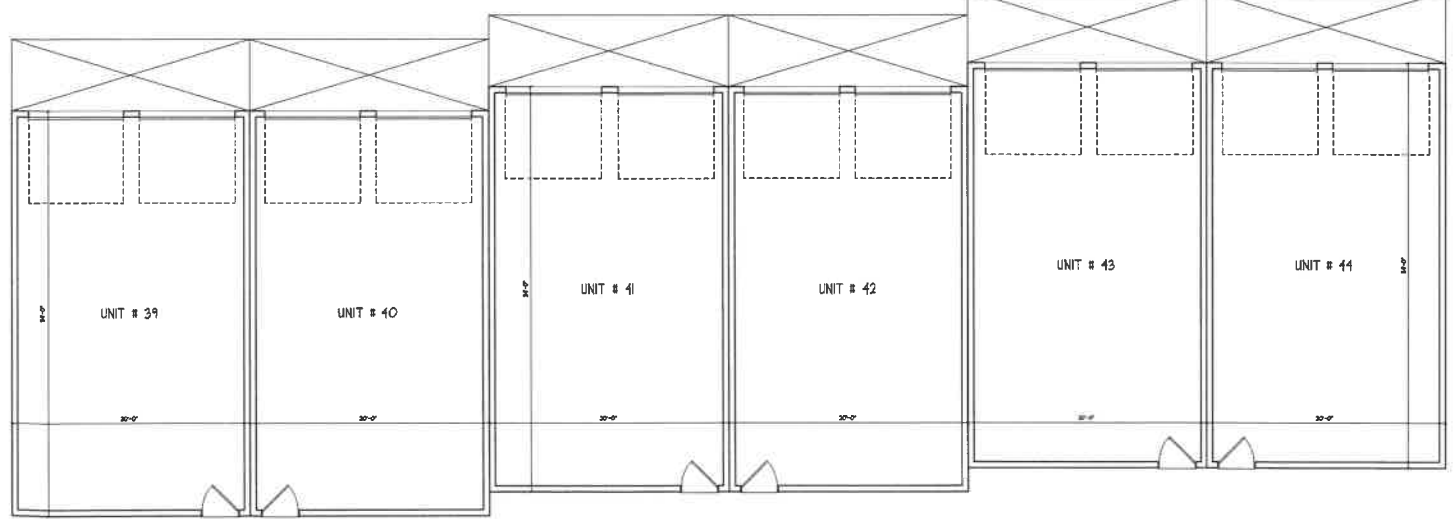
GATEWAY TOWNHOUSE SHALL FOOTPRINT ATTACHED SINGLE FAMILY RESIDENTIAL BUILDINGS HAVE A NARROW MASSING AND MAY BE LOCATED ON INDIVIDUAL OR COMMON LOTS. EACH UNIT IS SEPARATED HORIZONTALLY BY A COMMON WALL.

FRONT ELEVATION

SCALE: 1/4\"/>



BUILDING # 12

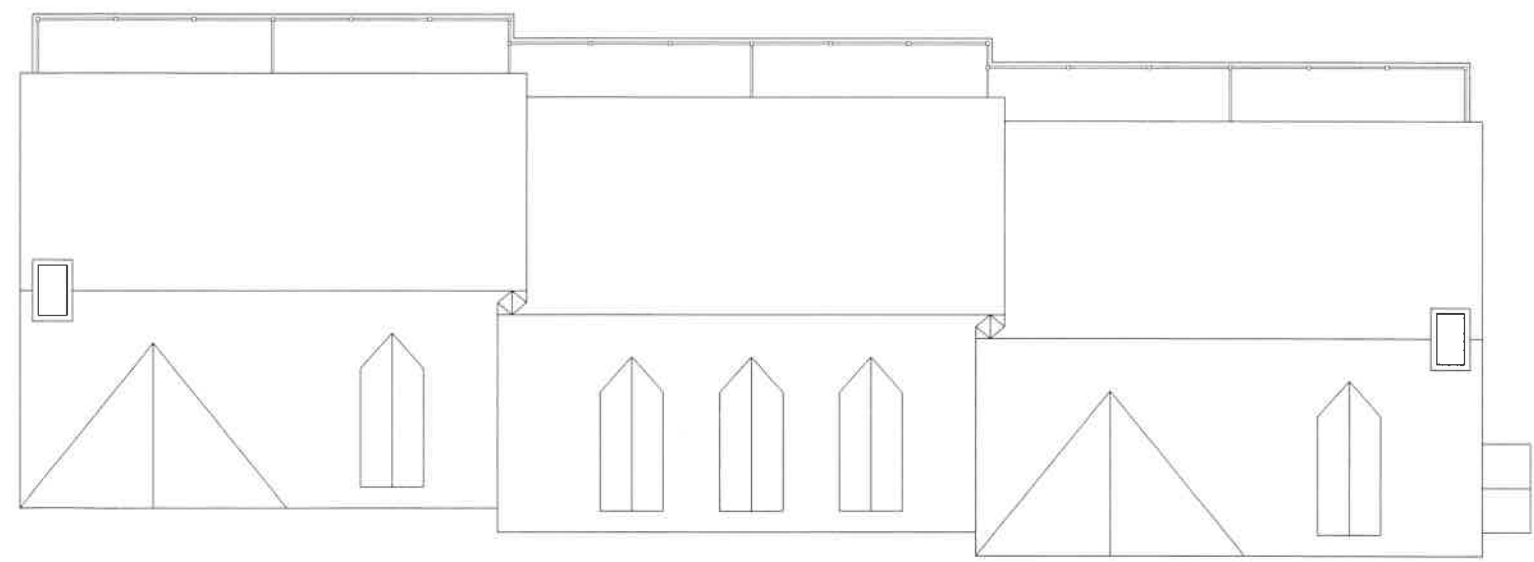


BUILDING # 12

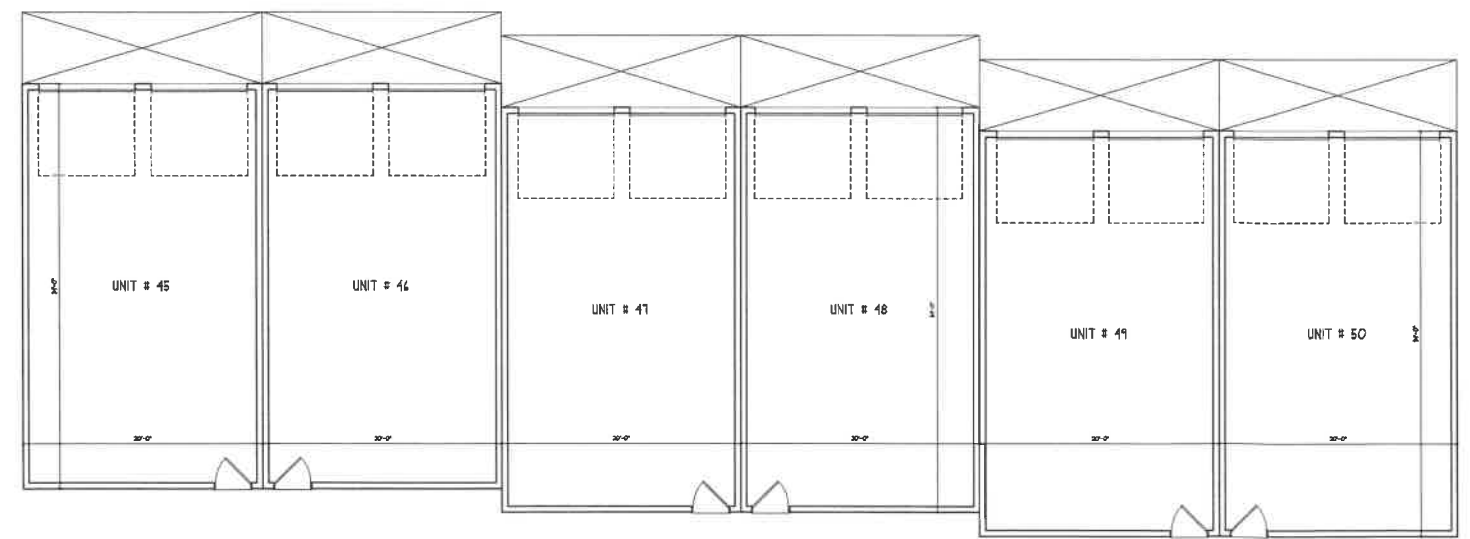


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FRONT ELEVATION
 SCALE 1/4" = 1'-0"



BUILDING # 13



BUILDING # 13