

LONGMEADOW ROAD EXTENSION

LONGMEADOW ROAD AND LANG ROAD AT US ROUTE 1

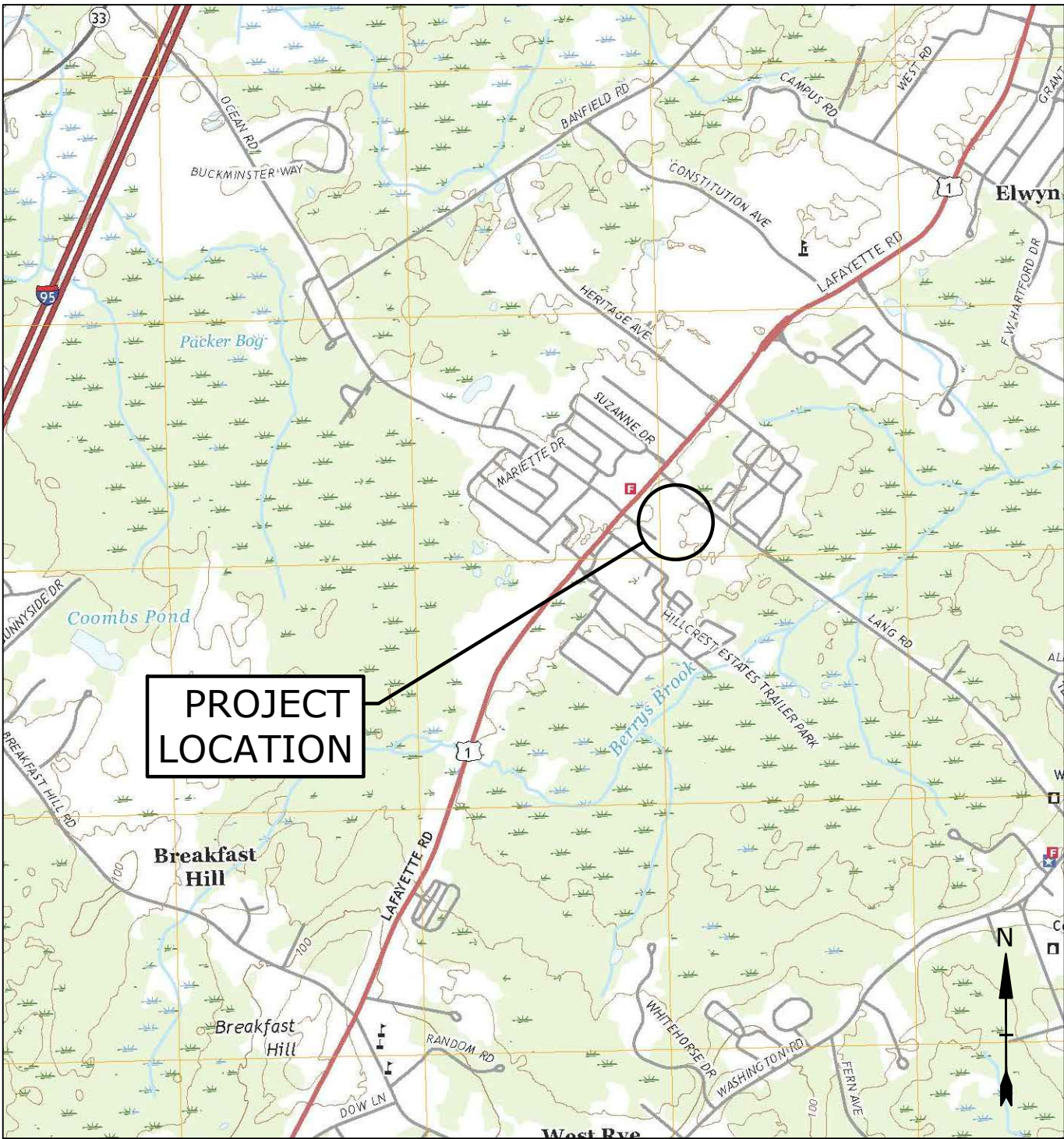
PORTSMOUTH, NEW HAMPSHIRE

PROJECT NO: P-0714-005

JANUARY 7, 2019

LAST REVISED: FEBRUARY 12, 2019

| LIST OF DRAWINGS |   |              |
|------------------|---|--------------|
| SHEET NO.        | SHEET TITLE                               | LAST REVISED |
|                  | COVER SHEET                               | 2/12/2019    |
| 1 OF 3           | SUBDIVISION PLAN                          | 1/10/2019    |
| 2 OF 3           | SUBDIVISION PLAN                          | 1/10/2019    |
| 3 OF 3           | SUBDIVISION PLAN                          | 1/10/2019    |
| C-100            | GENERAL NOTES, LEGEND & ABBREVIATIONS     | 1/7/2019     |
| C-101            | EXISTING CONDITIONS PLAN                  | 1/7/2019     |
| C-102            | DEMOLITION PLAN                           | 1/7/2019     |
| C-103            | OVERALL ROADWAY PLAN                      | 1/7/2019     |
| C-104            | GRADING, DRAINAGE, & EROSION CONTROL PLAN | 1/7/2019     |
| C-105            | UTILITIES PLAN                            | 2/12/2019    |
| C-106            | LONGMEADOW ROAD PLAN & PROFILE            | 1/7/2019     |
| C-107            | LONGMEADOW ROAD EXTENSION PLAN & PROFILE  | 1/7/2019     |
| C-108            | LONGMEADOW ROAD EXTENSION PLAN & PROFILE  | 1/7/2019     |
| C-109            | LANG ROAD PLAN & PROFILE                  | 1/7/2019     |
| C-110            | LANG ROAD SIGHT DISTANCE PLAN & PROFILE   | 1/7/2019     |
| C-501            | EROSION CONTROL NOTES & DETAILS SHEET     | 1/7/2019     |
| C-502            | DETAILS SHEET                             | 1/7/2019     |
| C-503            | DETAILS SHEET                             | 1/7/2019     |
| C-504            | DETAILS SHEET                             | 1/7/2019     |

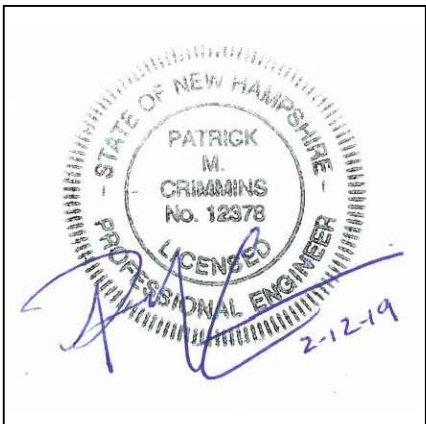


LOCATION MAP  
SCALE: 1" = 2,000'

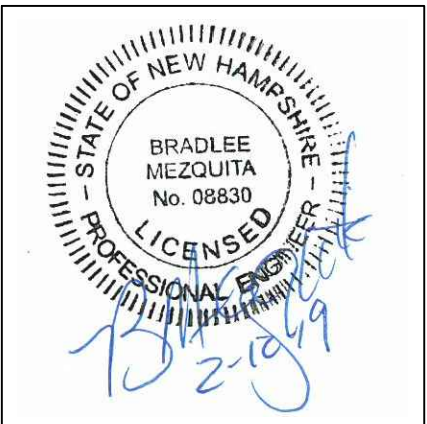
PREPARED BY:

**Tighe&Bond**

Engineers | Environmental Specialists  
177 Corporate Drive  
Portsmouth, NH 03801  
(603) 433-8818



PATRICK M. CRIMMINS, PE



BRAD MEZQUITA, PE

APPLICANT:

City Of Portsmouth  
1 Junkins Ave,  
Portsmouth, NH 03801

SURVEYOR:

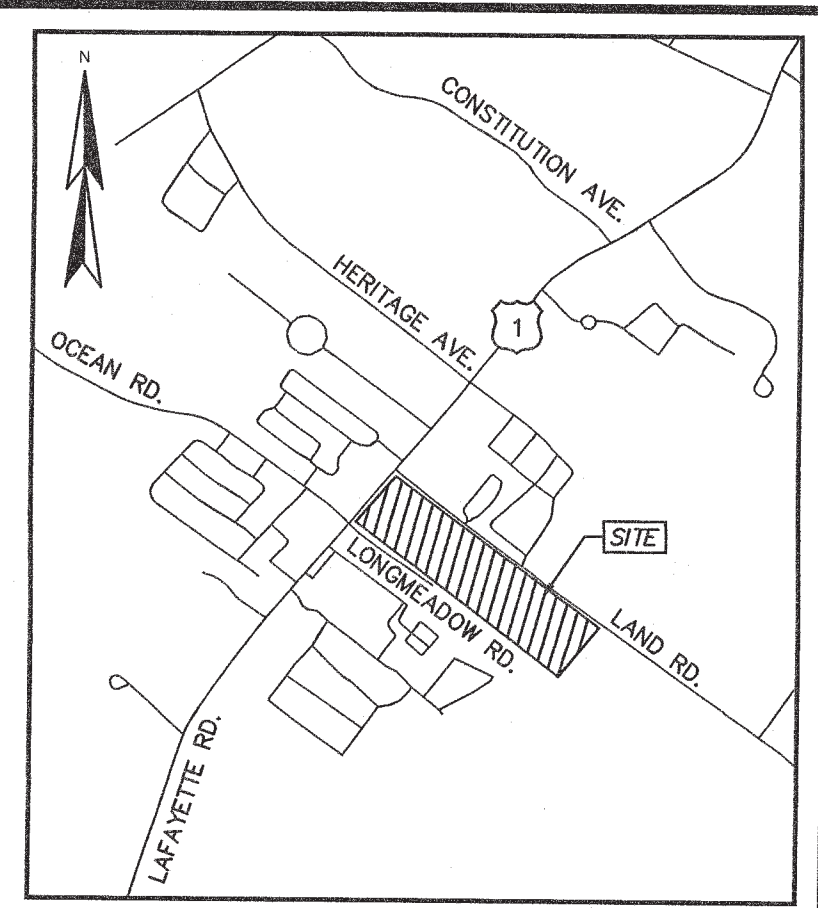
Doucet Survey, Inc.  
102 Kent Place  
Newmarket, NH 03857

OWNER:

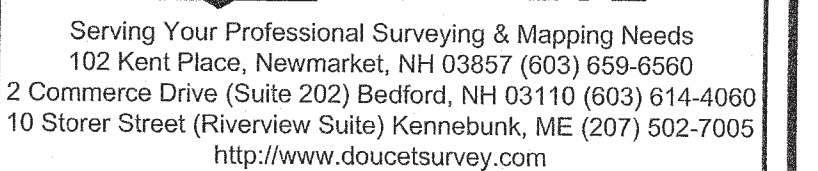
Service Credit Union  
3003 Lafayette Road,  
Portsmouth, NH 03801

PLANNING BOARD SUBMISSION  
COMPLETE SET 19 SHEETS



[illegible]

|                    |                        |
|--------------------|------------------------|
| DRAWN BY: M.T.L.   | DATE: JANUARY 10, 2019 |
| CHECKED BY: W.J.D. | DRAWING NO.: 5539B     |
| JOB NO.: 5539      | SHEET 1 OF 3           |



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN-1:15,000.

[Signature] L.L.S. #824  
1-10-19 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET  
REGISTRY OF DEED REQUIREMENTS AND ARE NOT A  
CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN.  
OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO  
CURRENT TOWN ASSESSORS RECORDS.

| CURVE TABLE |            |         |             |               |              |
|-------------|------------|---------|-------------|---------------|--------------|
| CURVE       | ARC LENGTH | RADIUS  | DELTA ANGLE | CHORD BEARING | CHORD LENGTH |
| C1          | 29.25'     | 20.00'  | 083°48'25"  | S75°49'23"E   | 26.72'       |
| C2          | 176.73'    | 363.00' | 027°53'42"  | N76°13'15"E   | 174.99'      |
| C3          | 22.02'     | 15.00'  | 084°06'37"  | N48°06'48"E   | 20.10'       |
| C4          | 90.47'     | 188.00' | 027°34'14"  | N07°29'03"W   | 89.60'       |
| C5          | 444.72'    | 303.00' | 084°05'41"  | N75°43'00"W   | 405.87'      |

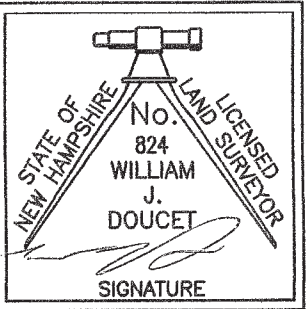
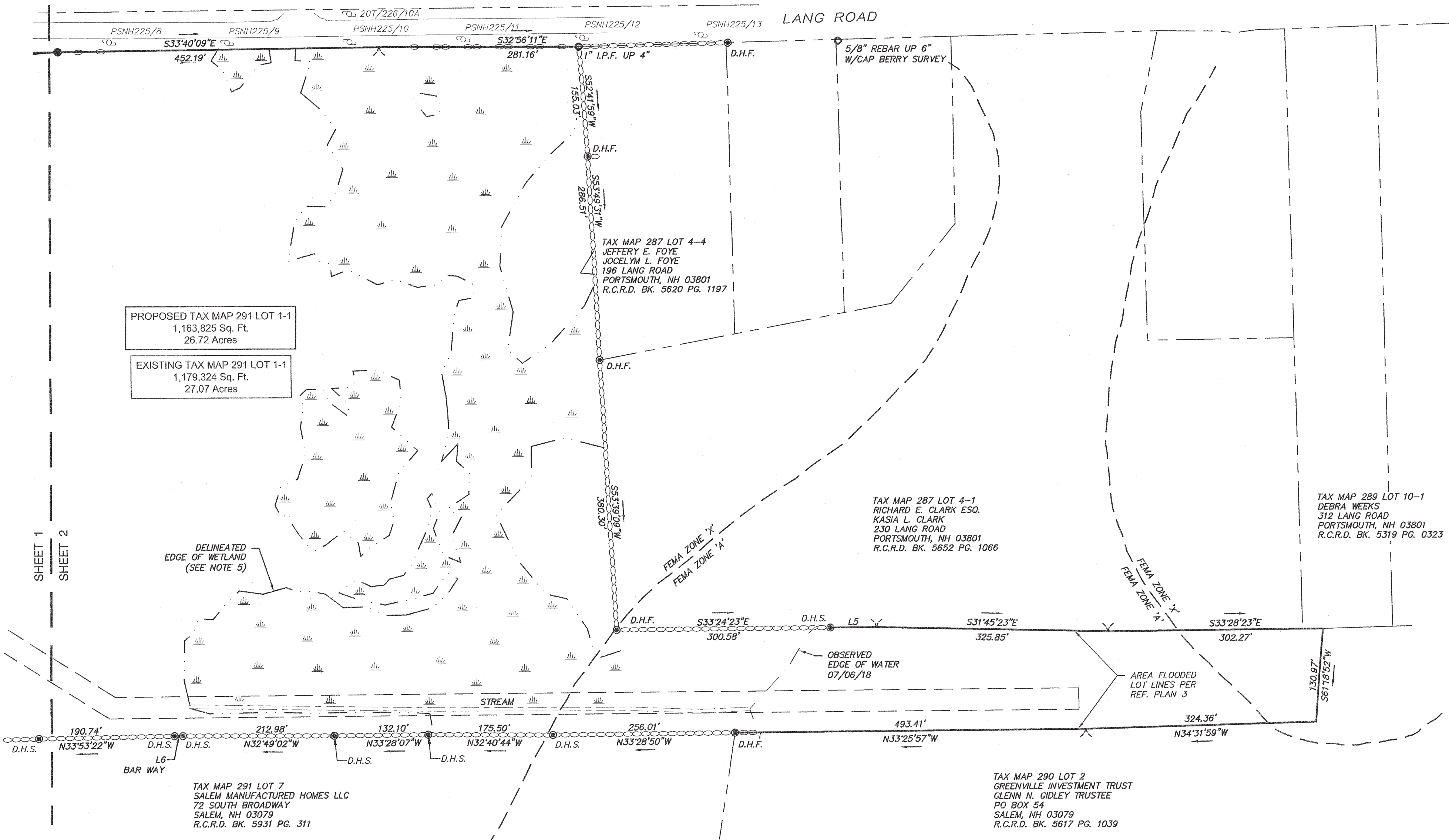
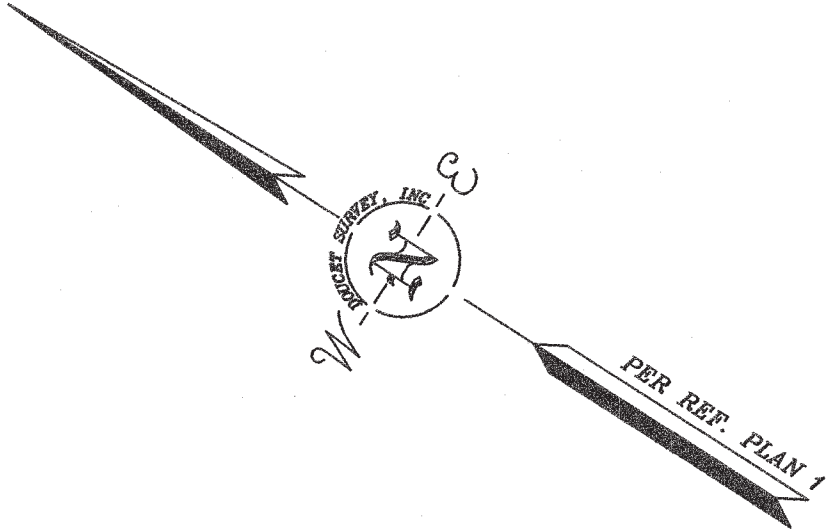
5. MANMADE AND NATURAL JURISDICTIONAL BOUNDARIES WERE DELINEATED BY MARC JACOBS, CERTIFIED WETLAND SCIENTISTS NUMBER 090, IN NOVEMBER 2015 ACCORDING TO THE STANDARD OF THE U.S. ARMY CORPS OF ENGINEERS - WETLAND DELINEATION MANUAL, TECHNICAL REPORT T-87-1, JANUARY 1987; THE REGIONAL STANDARD OF THE U.S. ARMY CORPS OF ENGINEERS - WETLAND DELINEATION MANUAL: NORTHERN AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012; NH RSA 482-A; 482-B; 482-C; 482-D; 482-E; 482-F; 482-G; 482-H; 482-I; 482-J; 482-K; 482-L; 482-M; 482-N; 482-O; 482-P; 482-Q; 482-R; 482-S; 482-T; 482-U; 482-V; 482-W; 482-X; 482-Y; 482-Z; 482-AA; 482-AB; 482-AC; 482-AD; 482-AE; 482-AF; 482-AG; 482-AH; 482-AI; 482-AJ; 482-AL; 482-AM; 482-AN; 482-AO; 482-AP; 482-AQ; 482-AR; 482-AS; 482-AT; 482-AU; 482-AV; 482-AW; 482-AX; 482-AY; 482-AZ; 482-BA; 482-BB; 482-BC; 482-BD; 482-BE; 482-BF; 482-BG; 482-BH; 482-BI; 482-BJ; 482-BL; 482-BM; 482-BN; 482-BO; 482-BP; 482-BQ; 482-BR; 482-BS; 482-BT; 482-BU; 482-BV; 482-BW; 482-BX; 482-BY; 482-BZ; 482-CA; 482-CC; 482-CD; 482-CE; 482-CF; 482-CG; 482-CH; 482-CI; 482-CJ; 482-CL; 482-CM; 482-CN; 482-CO; 482-CP; 482-CQ; 482-CR; 482-CS; 482-CT; 482-CU; 482-CV; 482-CW; 482-CX; 482-CY; 482-CZ; 482-DA; 482-DB; 482-DC; 482-DD; 482-DE; 482-DF; 482-DG; 482-DH; 482-DI; 482-DJ; 482-DL; 482-DM; 482-DN; 482-DO; 482-DP; 482-DQ; 482-DR; 482-DS; 482-DT; 482-DU; 482-DV; 482-DW; 482-DX; 482-DY; 482-DZ; 482-EA; 482-EB; 482-EC; 482-ED; 482-EE; 482-EF; 482-EG; 482-EH; 482-EI; 482-EJ; 482-EL; 482-EM; 482-EN; 482-EO; 482-EP; 482-EQ; 482-ER; 482-ES; 482-ET; 482-EU; 482-EV; 482-EW; 482-EX; 482-EY; 482-EZ; 482-FA; 482-FC; 482-FD; 482-FE; 482-FG; 482-FH; 482-FI; 482-FJ; 482-FL; 482-FM; 482-FN; 482-FO; 482-FP; 482-FQ; 482-FR; 482-FS; 482-FT; 482-FU; 482-FV; 482-FW; 482-FX; 482-FY; 482-FZ; 482-GA; 482-GB; 482-GC; 482-GD; 482-GE; 482-GF; 482-GG; 482-GH; 482-GI; 482-GJ; 482-GL; 482-GM; 482-GN; 482-GO; 482-GP; 482-GQ; 482-GR; 482-GS; 482-GT; 482-GU; 482-GV; 482-GW; 482-GX; 482-GY; 482-GZ; 482-HA; 482-HB; 482-HC; 482-HD; 482-HE; 482-HF; 482-HG; 482-HI; 482-HJ; 482-HL; 482-HM; 482-HN; 482-HO; 482-HP; 482-HQ; 482-HR; 482-HS; 482-HT; 482-HU; 482-HV; 482-HW; 482-HX; 482-HY; 482-HZ; 482-IA; 482-IB; 482-IC; 482-ID; 482-IE; 482-IF; 482-IG; 482-IH; 482-II; 482-IL; 482-IM; 482-IN; 482-IO; 482-IP; 482-IQ; 482-IR; 482-IS; 482-IT; 482-IU; 482-IV; 482-IW; 482-IX; 482-IY; 482-IZ; 482-JA; 482-JB; 482-JC; 482-JD; 482-JE; 482-JF; 482-JG; 482-JH; 482-JI; 482-JL; 482-JM; 482-JN; 482-JO; 482-JP; 482-JQ; 482-JR; 482-JS; 482-JT; 482-JU; 482-JV; 482-JW; 482-JX; 482-JY; 482-JZ; 482-KA; 482-KB; 482-KC; 482-KD; 482-KE; 482-KF; 482-KG; 482-KH; 482-KI; 482-KL; 482-KM; 482-KN; 482-KO; 482-KP; 482-KQ; 482-KR; 482-KS; 482-KT; 482-KU; 482-KV; 482-KW; 482-KX; 482-KY; 482-KZ; 482-LA; 482-LB; 482-LC; 482-LD; 482-LE; 482-LF; 482-LG; 482-LH; 482-LI; 482-LJ; 482-LK; 482-LM; 482-LN; 482-LO; 482-LP; 482-LQ; 482-LR; 482-LS; 482-LT; 482-LU; 482-LV; 482-LW; 482-LX; 482-LY; 482-LZ; 482-MA; 482-MB; 482-MC; 482-MD; 482-ME; 482-MF; 482-MG; 482-MH; 482-MI; 482-MJ; 482-MK; 482-ML; 482-MN; 482-MO; 482-MP; 482-MQ; 482-MR; 482-MS; 482-MT; 482-MU; 482-MV; 482-MW; 482-MX; 482-MY; 482-MZ; 482-NA; 482-NB; 482-NC; 482-ND; 482-NE; 482-NF; 482-NG; 482-NH; 482-NI; 482-NJ; 482-NK; 482-NL; 482-NN; 482-NO; 482-NP; 482-NQ; 482-NR; 482-NS; 482-NT; 482-NU; 482-NV; 482-NW; 482-NX; 482-NY; 482-NZ; 482-OA; 482-OB; 482-OC; 482-OD; 482-OE; 482-OF; 482-OG; 482-OH; 482-OI; 482-OJ; 482-OK; 482-OL; 482-OM; 482-ON; 482-OO; 482-OP; 482-OQ; 482-OR; 482-OS; 482-OT; 482-OU; 482-OV; 482-OW; 482-OX; 482-OY; 482-OZ; 482-PA; 482-PB; 482-PC; 482-PD; 482-PE; 482-PF; 482-PG; 482-PH; 482-PI; 482-PJ; 482-PK; 482-PL; 482-PM; 482-PN; 482-PO; 482-PP; 482-PQ; 482-PR; 482-PS; 482-PT; 482-PU; 482-PV; 482-PW; 482-PX; 482-PY; 482-PZ; 482-QA; 482-QB; 482-QC; 482-QD; 482-QE; 482-QF; 482-QG; 482-QH; 482-QI; 482-QJ; 482-QK; 482-QL; 482-QM; 482-QN; 482-QO; 482-QP; 482-QQ; 482-QR; 482-QS; 482-QT; 482-QU; 482-QV; 482-QW; 482-QX; 482-QY; 482-QZ; 482-RA; 482-RB; 482-RC; 482-RD; 482-RE; 482-RF; 482-RG; 482-RH; 482-RI; 482-RJ; 482-RK; 482-RL; 482-RM; 482-RN; 482-RO; 482-RP; 482-RQ; 482-RR; 482-RS; 482-RT; 482-RU; 482-RV; 482-RW; 482-RX; 482-RY; 482-RZ; 482-SA; 482-SB; 482-SC; 482-SD; 482-SE; 482-SF; 482-SG; 482-SH; 482-SI; 482-SJ; 482-SK; 482-SL; 482-SM; 482-SN; 482-SO; 482-SP; 482-SQ; 482-SR; 482-SS; 482-ST; 482-SU; 482-SV; 482-SW; 482-SX; 482-SY; 482-SZ; 482-TA; 482-TB; 482-TC; 482-TD; 482-TE; 482-TF; 482-TG; 482-TH; 482-TI; 482-TJ; 482-TK; 482-TL; 482-TM; 482-TN; 482-TO; 482-TP; 482-TQ; 482-TR; 482-TS; 482-TT; 482-TU; 482-TV; 482-TW; 482-TX; 482-TY; 482-TZ; 482-UA; 482-UB; 482-UC; 482-UD; 482-UE; 482-UF; 482-UG; 482-UH; 482-UI; 482-UJ; 482-UK; 482-UL; 482-UM; 482-UN; 482-UO; 482-UP; 482-UQ; 482-UR; 482-US; 482-UT; 482-UY; 482-UZ; 482-VA; 482-VB; 482-VC; 482-VD; 482-VE; 482-VF; 482-VG; 482-VH; 482-VI; 482-VJ; 482-VK; 482-VL; 482-VM; 482-VN; 482-VO; 482-VP; 482-VQ; 482-VR; 482-VS; 482-VT; 482-VU; 482-VV;

6. HORIZONTAL DATUM BASED ON PLAN REFERENCE 1.
7. VERTICAL DATUM IS BASED ON NGVD 29 (SURVEY DISK "GPS ROBE, 379-0870").
8. FLOOD HAZARD ZONE: "X" & "A", PER FIRM MAP 33015C00270E, DATED 5/17/05.
9. THE INTENT OF THIS PLAN IS TO CREATE A NEW RIGHT OF WAY TO CONNECT U.S. ROUTE 1 TO LANG ROAD BY CONNECTING THROUGH LONGMEADOW ROAD.
10. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCLUSIVE, OBSOLETE, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF THE ROAD(S) AS DEPICTED HEREON IS/ARE BASED ON RESEARCH CONDUCTED AT THE ROCKINGHAM REGISTRY OF DEEDS.
11. FINAL MONUMENTATION MAY BE DIFFERENT THAN THE PROPOSED MONUMENTATION SHOWN HEREON, DUE TO THE FACT THAT SITE CONDITIONS WILL DICTATE THE ACTUAL LOCATION AND TYPE OF MONUMENTS INSTALLED IN THE FIELD. PLEASE REFER TO EITHER THE "MONUMENTATION LOCATION PLAN" TO BE RECORDED OR CONTACT DOUCET SURVEY, INC. FOR CLARIFICATION OF MONUMENTS SET. (A RECORDED PLAN WILL BE PRODUCED AT THE DISCRETION OF DOUCET SURVEY, LLC).
12. ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
13. BUILDING LOCATION, PARKING LOT AND SIDEWALKS ON SERVICE CREDIT UNION SITE ARE BASED ON DATA PROVIDED BY TIGHE & BOND. THE LOCATIONS THEREOF WERE NOT FIELD VERIFIED BY DOUCET SURVEY UNLESS FALLING WITHIN THE SPECIFIED TOPOGRAPHIC SURVEY LIMITS.
14. RIGHTS MAY EXIST FOR CONSTRUCTION OF A DAM PER NHDES ORDER "DAM #19.06" DATED FEBRUARY 15, 1977. R.C.R.D. BOOK 2307, PAGE 1852.

1. "TOPOGRAPHIC PLAN FOR SERVICE CREDIT UNION OF 2995 LAFAYETTE ROAD/US ROUTE 1, PORTSMOUTH, NEW HAMPSHIRE" DATED JANUARY 8, 2010 BY DOUCET SURVEY, INC.
2. "LOT LINE RELOCATION PLAN FOR RALPH'S TRUCK SALES, INC., ET AL" DATED AUGUST 26, 1999 BY MILLETTE, SPRAGUE & COLWELL, INC. R.C.R.D. PLAN D-27623.
3. "EASEMENT PLAN FOR RALPH'S TRUCK SALES INC., SIEGEL LEADOW PARTNERSHIP, OCEAN CASTLE LIMITED PARTNERSHIP, AND LANG & LONG MEADOW DEVELOPMENT LLC, LANG AND LONG MEADOW ROAD, COUNTY OF ROCKINGHAM, PORTSMOUTH, NH" DATED AUGUST 26, 2003 AND REVISED THROUGH 7/08/04 BY MILLETTE, SPRAGUE & COLWELL, INC. . R.C.R.D. PLAN D-31845.
4. "PLAN OF PORTSMOUTH FG-F--001(5) - P--3844" DATED 4-13--84. R.C.R.D. PLAN D-17184. TAKINGS ALONG THE SUBJECT PREMISES ARE PER R.C.R.D. BK. 2592 PG. 213 & BK. 2908 PG. 014.
5. "SUBDIVISION PLAN FOR RALPH'S TRUCK SALES, INC. 2995 LAFAYETTE ROAD, COUNTY OF ROCKINGHAM, PORTSMOUTH, NH" DATED JANUARY 14, 1999 WITH A REVISION OF 4/7/97 BY RICHARD P. MILLETTE AND ASSOCIATES. R.C.R.D. PLAN D-25389.
6. "SUBDIVISION OF LAND PORTSMOUTH, NH FOR LONGMEADOW, INC." DATED DECEMBER 1976 BY JOHN W. DURGIN. R.C.R.D. PLAN D-7743.
7. "BOUNDARY PLAN FOR THE CITY OF PORTSMOUTH OF TAX MAP 291 LOT 1 & LOT 1-1 LAFAYETTE ROAD (US ROUTE 1), LONGMEADOW ROAD & LANG ROAD PORTSMOUTH, NEW HAMPSHIRE" DATED SEPTEMBER 6, 2018 BY DOUCET SURVEY, INC.



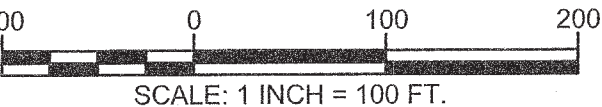
| LINE TABLE |             |          |
|------------|-------------|----------|
| LINE       | BEARING     | DISTANCE |
| L5         | S33°24'23"E | 64.81'   |
| L6         | N34°14'26"W | 11.86'   |



I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

1-10-15 DATE

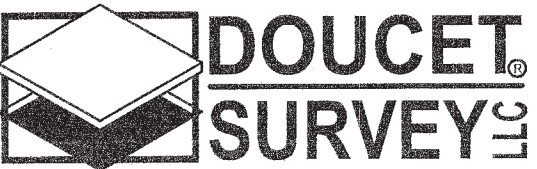
THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



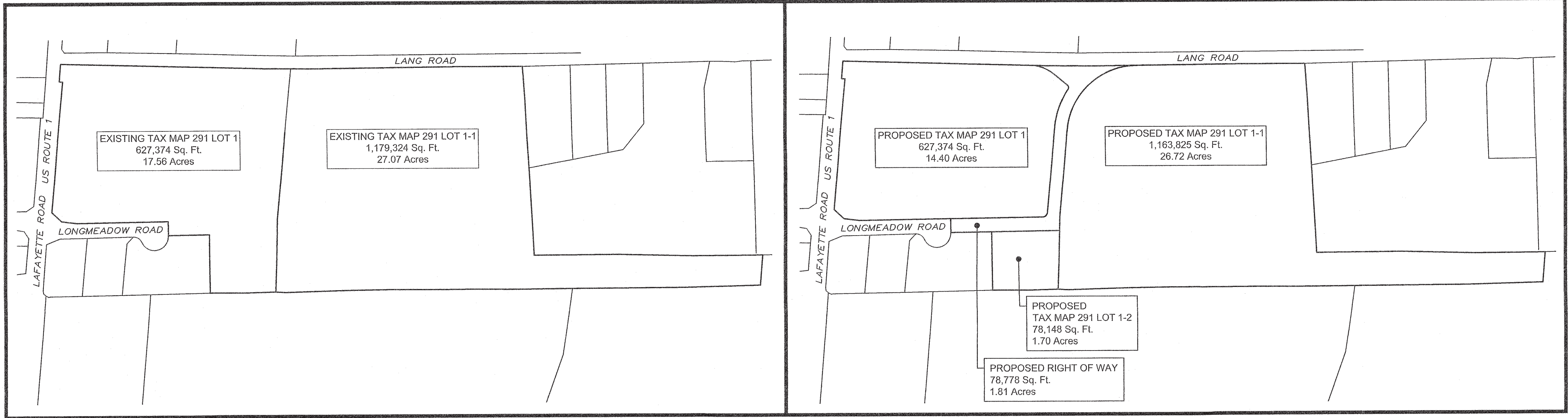
SUBDIVISION PLAN  
OF  
SERVICE CREDIT UNION  
(TAX MAP 291 LOT 1 & LOT 1-1)  
FOR THE  
CITY OF PORTSMOUTH  
LAFAYETTE ROAD (US ROUTE 1),  
LONGMEADOW ROAD & LANG ROAD  
PORTSMOUTH, NEW HAMPSHIRE

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
|     |      |             |    |
|     |      |             |    |
|     |      |             |    |
|     |      |             |    |

|             |        |              |                  |
|-------------|--------|--------------|------------------|
| DRAWN BY:   | M.T.L. | DATE:        | JANUARY 10, 2019 |
| CHECKED BY: | W.J.D. | DRAWING NO.: | 5539B            |
| JOB NO.:    | 5539   | SHEET        | 2 OF 3           |

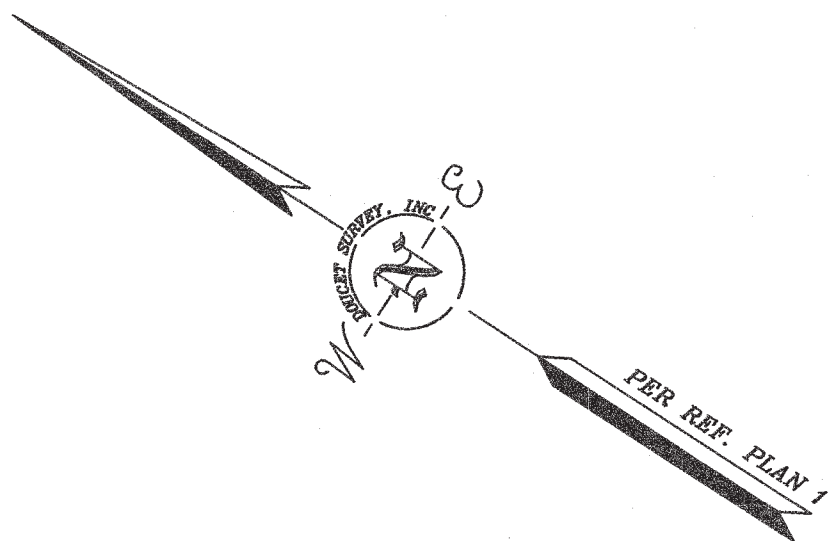


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<http://www.doucetsurvey.com>

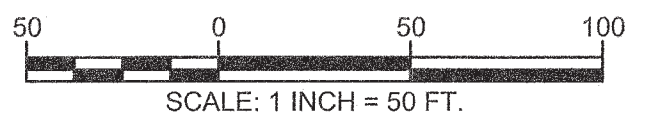


KEY PLAN  
SCALE: 1" = 300'



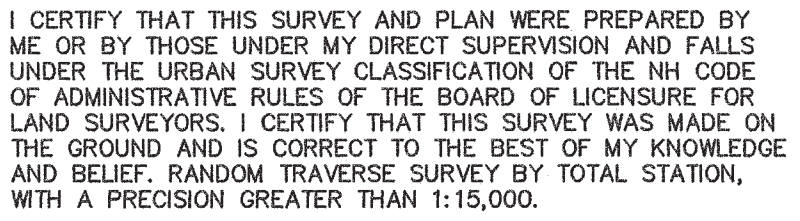


| LINE TABLE |             |          | LINE TABLE |             |          |
|------------|-------------|----------|------------|-------------|----------|
| LINE       | BEARING     | DISTANCE | LINE       | BEARING     | DISTANCE |
| L1         | S31°28'20"E | 48.92'   | L22        | N06°03'30"E | 1.25'    |
| L2         | S32°36'05"E | 113.31'  | L23        | N33°07'59"W | 27.84'   |
| L3         | S32°35'33"E | 87.54'   | L24        | S33°55'11"E | 37.20'   |
| L4         | S33°40'09"E | 185.58'  | L25        | S45°50'29"W | 15.00'   |
| L8         | N56°04'49"E | 60.00'   | L26        | N09°24'20"E | 15.00'   |
| L11        | N06°03'30"E | 72.39'   | L27        | S33°50'11"E | 15.01'   |
| L13        | S57°43'18"W | 53.10'   | L28        | N57°43'18"E | 13.28'   |
| L16        | S57°50'04"W | 6.93'    |            |             |          |



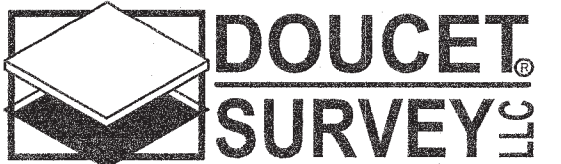
CITY OF PORTSMOUTH  
AFAYETTE ROAD (US ROUTE 1),  
NGMEADOW ROAD & LANG ROAD  
ORTSMOUTH, NEW HAMPSHIRE

|                    |                        |
|--------------------|------------------------|
| DRAWN BY: M.T.L.   | DATE: JANUARY 10, 2019 |
| CHECKED BY: W.J.D. | DRAWING NO.: 5539B     |
| JOB NO.: 5539      | SHEET 3 OF 3           |



1-10-19 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET  
REGISTRY OF DEED REQUIREMENTS AND ARE NOT A  
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OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO  
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<http://www.doucetsurvey.com>



1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
2. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
3. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
4. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES AND COMPLY WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR AND COMPLY WITH ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
7. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO AFFECTED UTILITIES WITH THE UTILITY COMPANY AND AFFECTED BUTTER.
8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
9. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
10. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
11. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
2. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
3. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
4. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
7. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY AND CITY OF PORTSMOUTH STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
9. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
10. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
11. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
12. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
13. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
14. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
15. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
16. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB FOR REUSE.

1. PAVEMENT MARKINGS SHALL BE INSTALLED AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, FIRE LANES, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES. ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE PAVEMENT MARKINGS. ALL THERMOPLASTIC PAVEMENT MARKINGS INCLUDING LEGENDS, ARROWS, CROSSWALKS AND STOP BARS SHALL MEET THE REQUIREMENTS OF AASHTO M249. ALL PAINTED PAVEMENT MARKINGS INCLUDING CENTERLINES, LANE LINES AND PAINTED MEDIANS SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
3. SEE DETAILS FOR PAVEMENT MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES.
5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
6. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE, WHITE THERMOPLASTIC AND CONFORM TO CURRENT MUTCD STANDARDS.

7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
8. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
9. ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING RETAINING WALL DESIGN FROM STRUCTURAL ENGINEER AND/OR WALL MANUFACTURER. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO CONSTRUCT WALL IN ACCORDANCE WITH DESIGN APPROVED BY THE ENGINEER. RETAINING WALL SHALL BE SEGMENTAL BLOCK WALL SYSTEM AS OUTLINED IN THE DETAILS.
11. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

1. COMPACTION REQUIREMENTS:  
 BELOW PAVED OR CONCRETE AREAS 95%  
 TRENCH BEDDING MATERIAL AND  
 SAND BLANKET BACKFILL 95%  
 BELOW LOAM AND SEED AREAS 90%
- \* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557 METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
3. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
4. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
5. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
6. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
7. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4 SUMPS.

1. SEE SHEET C-501 FOR GENERAL EROSION CONTROL NOTES AND DETAILS.













1. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
  - WATER - CITY OF PORTSMOUTH
  - ELECTRIC - EVERSOURCE
  - COMMUNICATIONS - FAIRPOINT & COMCAST
2. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
3. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT.
4. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO THE CITY OF PORTSMOUTH STANDARDS.
5. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
6. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
7. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
8. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
9. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
10. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
11. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
4. PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
9. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED.
10. LANDSCAPING SHALL BE LOCATED WITHIN 150 FT OF EXTERIOR HOSE ATTACHMENT OR SHALL BE PROVIDED WITH AN IRRIGATION SYSTEM.
11. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
12. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
13. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 1ST. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
14. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
15. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.

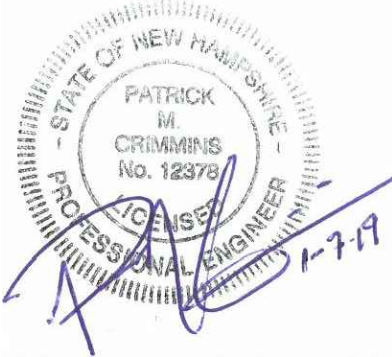
16. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
17. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB.
18. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
19. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
21. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

1. "TOPOGRAPHIC WORKSHEET" PREPARED BY DOUCET SURVEY, INC., DATED JULY 20, 2018.

|  |   |
|--|---|
|  | APPROXIMATE LIMIT OF PROPOSED SAW CUT       |
|  | LIMIT OF WORK                               |
|  | EXISTING STORM DRAIN                        |
|  | EXISTING PROPERTY LINE                      |
|  | EXISTING DRAINAGE EASEMENT                  |
|  | EXISTING SANITARY SEWER                     |
|  | EXISTING OVERHEAD UTILITY                   |
|  | PROPOSED STORM DRAIN                        |
|  | PROPOSED WATER                              |
|  | PROPOSED SEWER FORCE MAIN SLEEVE            |
|  | PROPERTY LINE                               |
|  | PROPOSED R.O.W.                             |
|  | PROPOSED EDGE OF PAVEMENT                   |
|  | PROPOSED CURB                               |
|  | PROPOSED GRAVEL DRIVE                       |
|  | PROPOSED STONEWALL                          |
|  | PROPOSED MAJOR CONTOUR LINE                 |
|  | PROPOSED MINOR CONTOUR LINE                 |
|  | PROPOSED SILT SOCK                          |
|  | EXISTING EDGE OF WETLAND                    |
|  | APPROXIMATE LIMIT OF PAVEMENT TO BE REMOVED |
|  | APPROXIMATE LIMIT OF CLEARING AND GRUBBING  |
|  | PROPOSED PAVEMENT SECTION                   |
|  | PROPOSED PAVEMENT TO BE RESURFACED          |
|  | PROPOSED GRAVEL SECTION                     |
|  | PROPOSED RIPRAP                             |

- |   |                            |
|---|----------------------------|
|  | EXISTING CATCHBASIN        |
|  | EXISTING DRAIN MANHOLE     |
|  | EXISTING SEWER MANHOLE     |
|  | EXISTING HYDRANT           |
|  | EXISTING WATER VALVE       |
|  | PROPOSED CATCHBASIN        |
|  | PROPOSED DRAIN MANHOLE     |
|  | INLET PROTECTION SILT SACK |
|  | PROPOSED WATER VALVE       |
|  | PROPOSED HYDRANT           |
|  | PROPOSED LIGHT POLE BASE   |
|  | PROPOSED SPOT GRADE        |

|       |                                |
|-------|--------------------------------|
| TBR   | TO BE REMOVED                  |
| TYP   | TYPICAL                        |
| COORD | COORDINATE                     |
| VIF   | VERIFY IN FIELD                |
| CONST | CONSTRUCT                      |
| 30'R  | PROPOSED CURB RADIUS           |
| VGC   | PROPOSED VERTICAL GRANITE CURB |
| SGC   | PROPOSED SLOPED GRANITE CURB   |
| DSYL  | DOUBLE SOLID YELLOW LINE       |
| SSWL  | SINGLE SOLID WHITE LINE        |



City of  
Portsmouth

# Portsmouth, New Hampshire

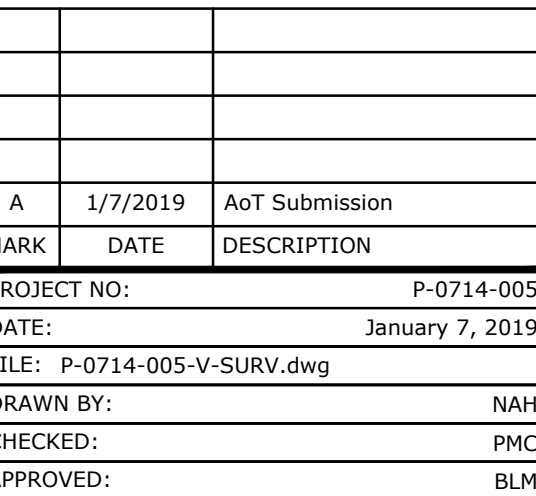
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| MARK                        | DATE     | DESCRIPTION     |
| PROJECT NO:                 |          | P-0714-005      |
| DATE:                       |          | January 7, 2019 |
| FILE: P-0714-005-C-DSGN.dwg |          |                 |
| DRAWN BY:                   |          | NAH             |
| CHECKED:                    |          | PMC             |
| APPROVED:                   |          | BLM             |

## GENERAL NOTES, LEGEND & ABBREVIATIONS

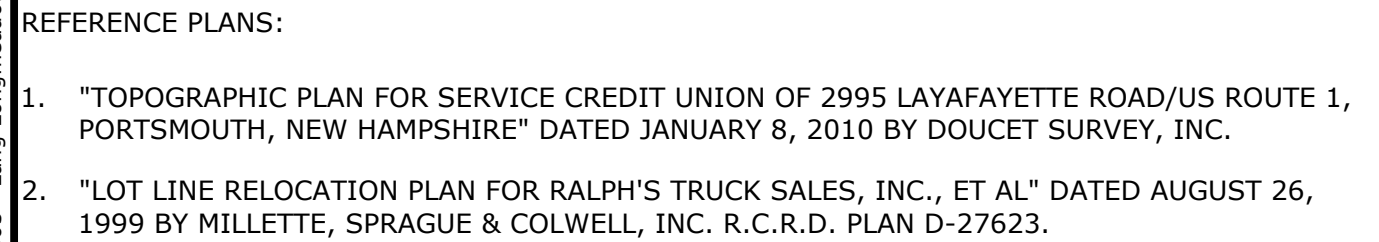
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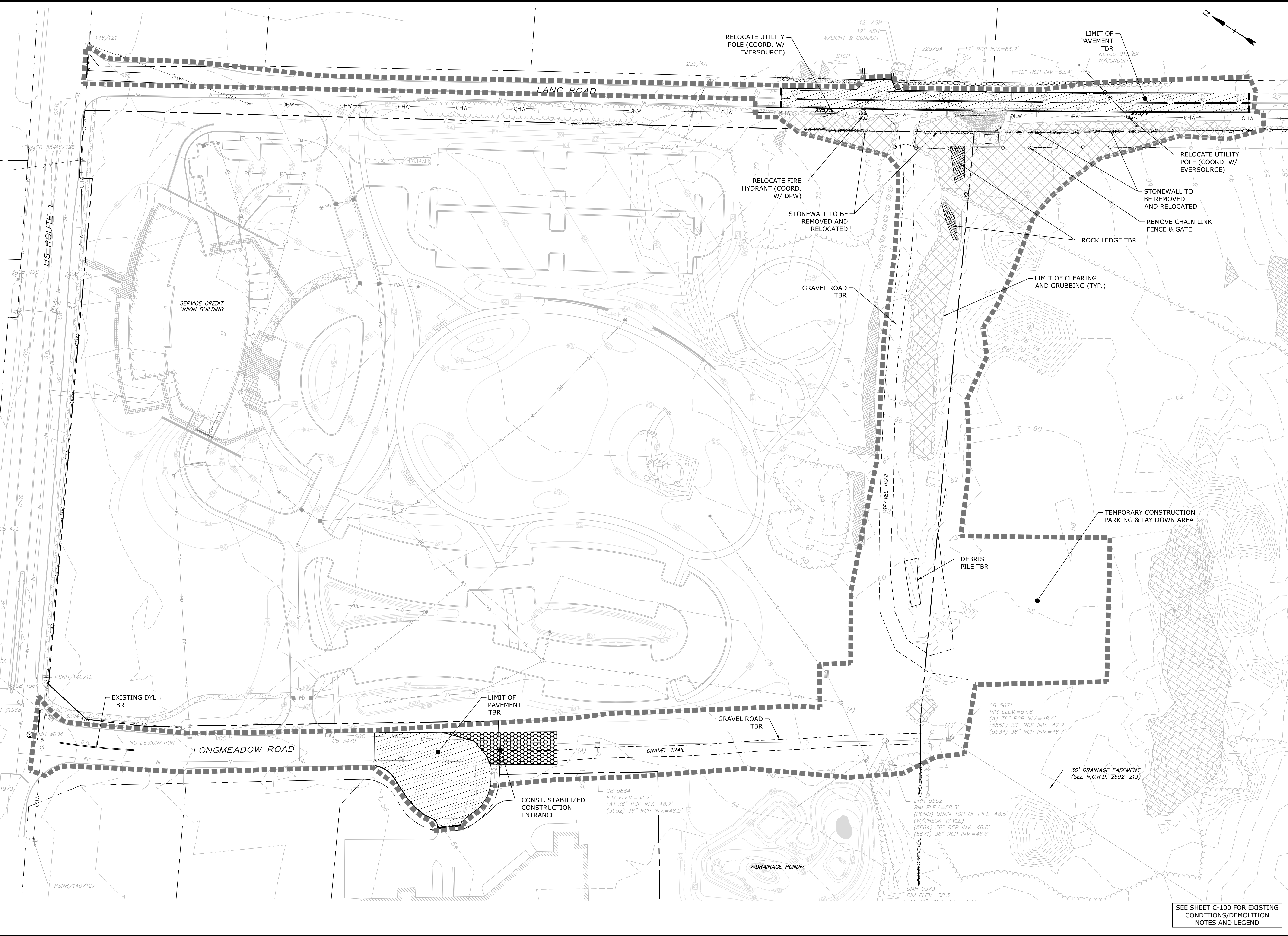


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By: W Hansen  
Tighe & Bond  
Longmeadow Road Extension (005 - Lang Longmeadow Road Extension) Drawings: Figures AutoCAD Ver P-0714-005-C-DSGN.dwg



**Tighe&Bond**  
Engineers | Environmental Specialists

0 50' 100'  
SCALE IN FEET  
GRAPHIC SCALE

**Longmeadow Road Extension**

City of Portsmouth

Portsmouth, New Hampshire

| MARK | DATE     | DESCRIPTION    |
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DATE: January 7, 2019  
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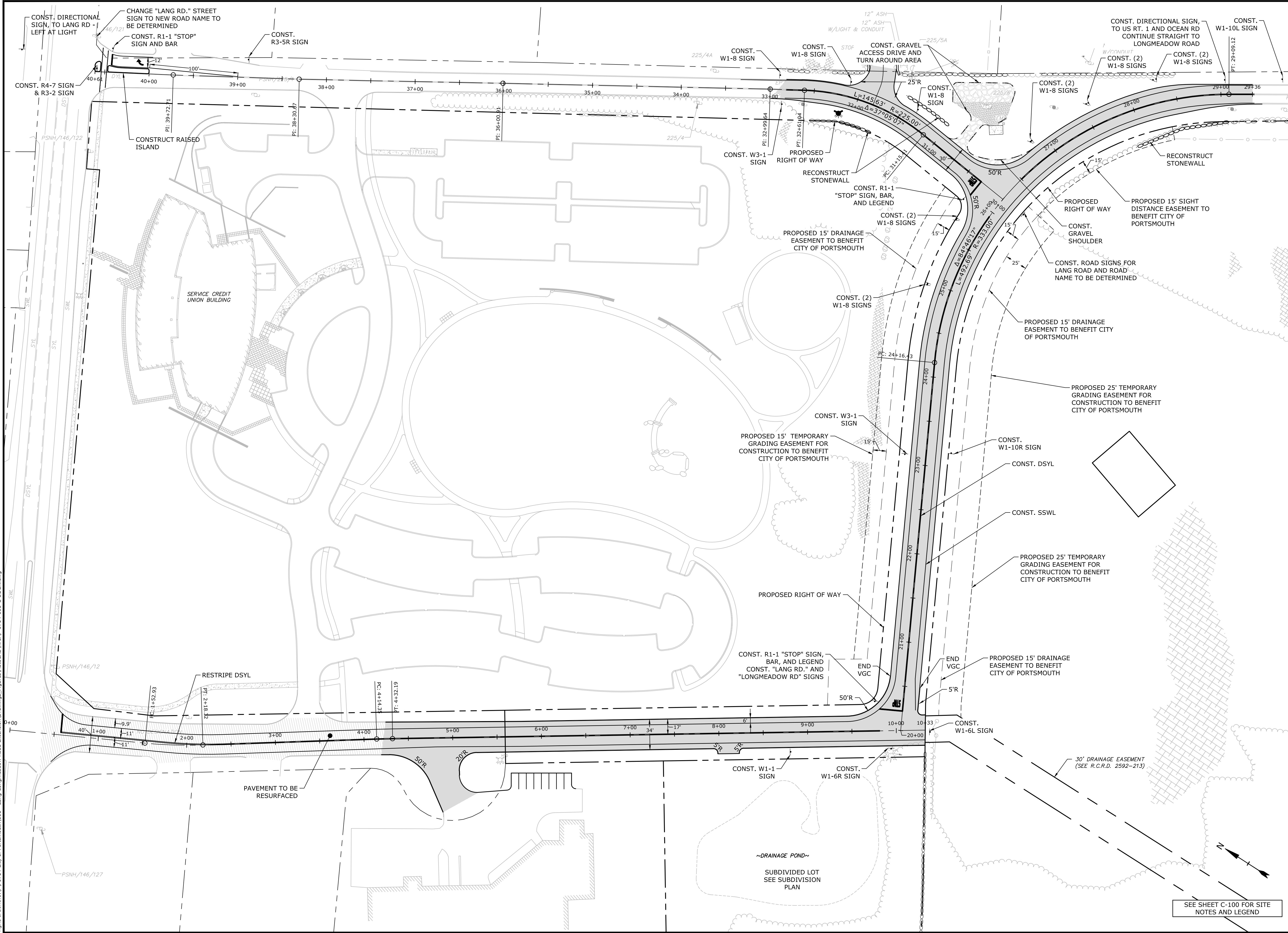
DEMOLITION PLAN

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SEE SHEET C-100 FOR EXISTING CONDITIONS/DEMOLITION NOTES AND LEGEND



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Tighe & Bond 211 Main St Portsmouth NH 03801  
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**Tighe & Bond**  
Engineers | Environmental Specialists

STATE OF NEW HAMPSHIRE  
GRADUATE  
MECHANICAL  
No. 08530  
1-7-19

STATE OF NEW HAMPSHIRE  
PATRICK  
IN  
CRIMINALS  
No. 12378  
1-7-19

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**Longmeadow Road Extension**

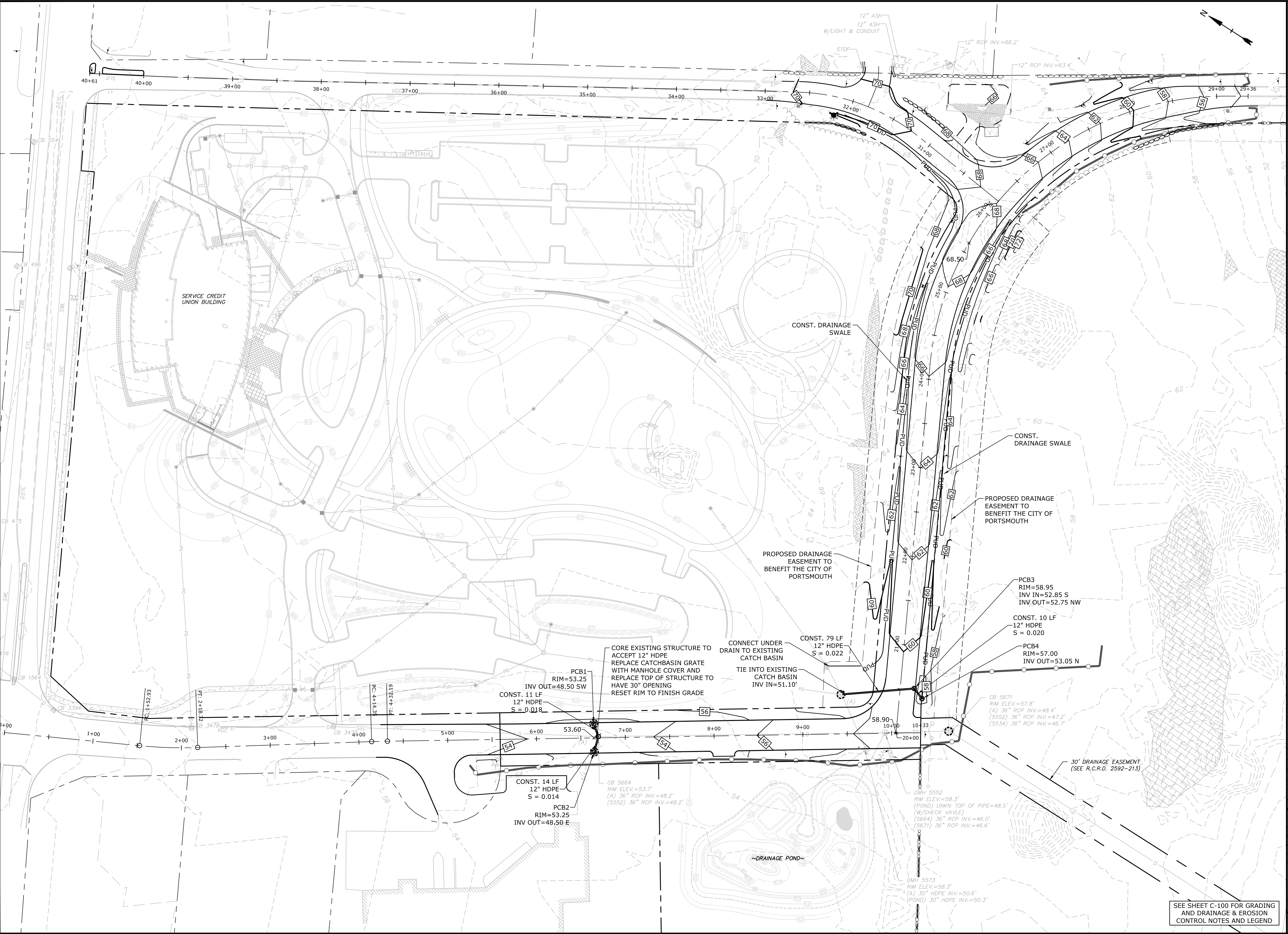
City of Portsmouth

Portsmouth, New Hampshire

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| OVERALL ROADWAY PLAN        |          |                |
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| C-103                       |          |                |



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**Tighe&Bond**  
Engineers | Environmental Specialists

STATE OF NEW HAMPSHIRE  
GRADLEE  
MEZZADITA  
No. 08530  
LICENSED  
Professional Engineer

STATE OF NEW HAMPSHIRE  
PATRICK  
IN  
CRIVINIS  
No. 12378  
LICENSED  
Professional Engineer

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SCALE IN FEET  
GRAPHIC SCALE

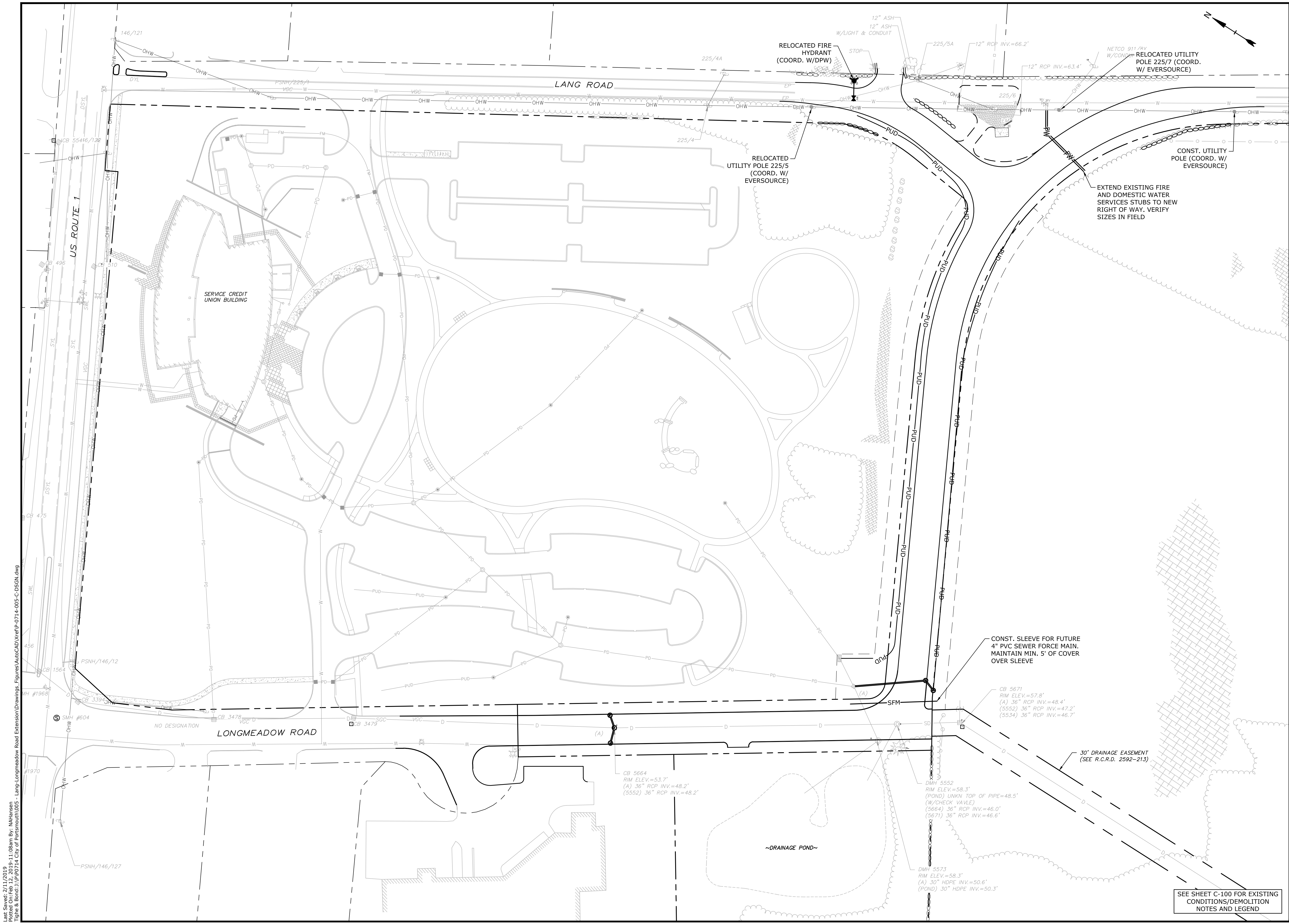
**Longmeadow  
Road  
Extension**

City of  
Portsmouth

Portsmouth, New  
Hampshire

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| DATE: January 7, 2019                        |          |                |
| FILE: P-0714-005-C-DSGN.dwg                  |          |                |
| DRAWN BY: NAH                                |          |                |
| CHECKED: PMC                                 |          |                |
| APPROVED: BLM                                |          |                |
| GRADING, DRAINAGE, &<br>EROSION CONTROL PLAN |          |                |
| SCALE: AS SHOWN                              |          |                |
| C-104  |          |                |





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**Tighe & Bond**  
 Engineers | Environmental Specialists

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SCALE IN FEET

GRAPHIC SCALE

## Longmeadow Road Extension

City of Portsmouth

Portsmouth, New Hampshire

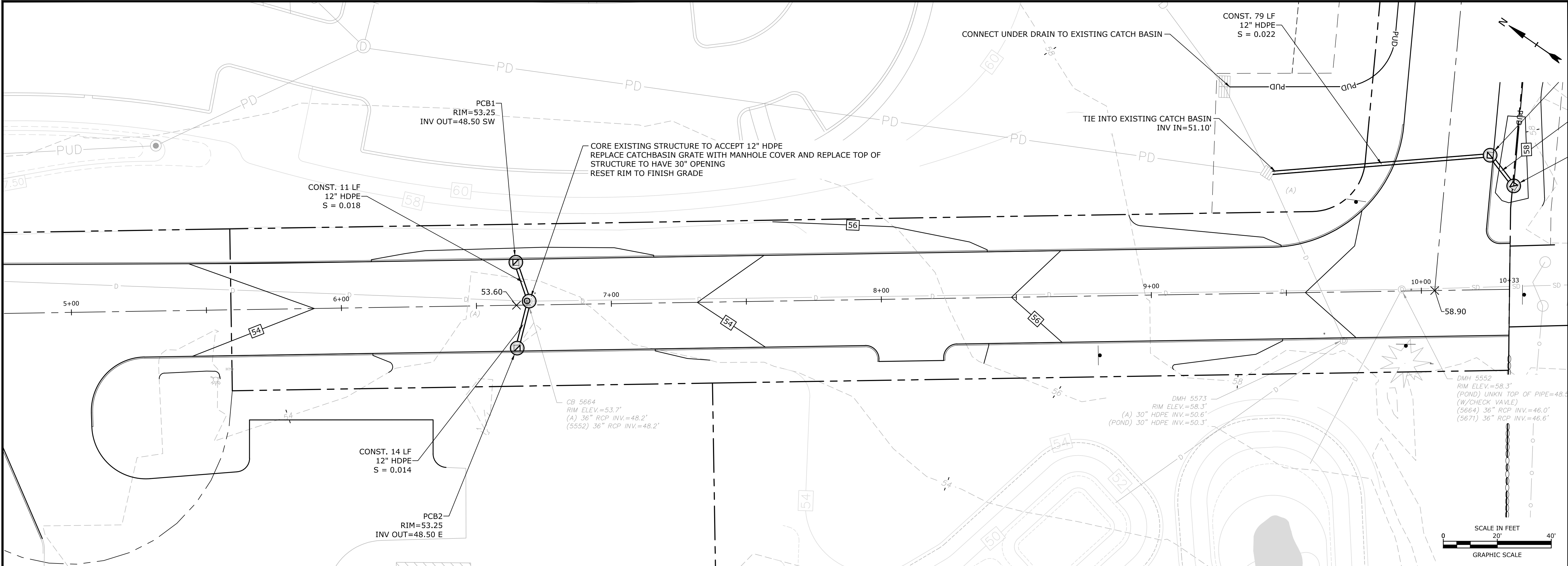
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| B           | 1/7/2019  | P.D. Submission       |
| A           | 1/7/2019  | AsT Submission        |
| MARK        | DATE      | DESCRIPTION           |
| PROJECT NO: |           | P-0714-005            |
| DATE:       |           | January 7, 2019       |
| FILE:       |           | P-0714-005-C-DSGN.dwg |
| DRAWN BY:   |           | NAH                   |
| CHECKED:    |           | PMC                   |
| APPROVED:   |           | BLM                   |

UTILITIES PLAN

SCALE: AS SHOWN

**C-105**

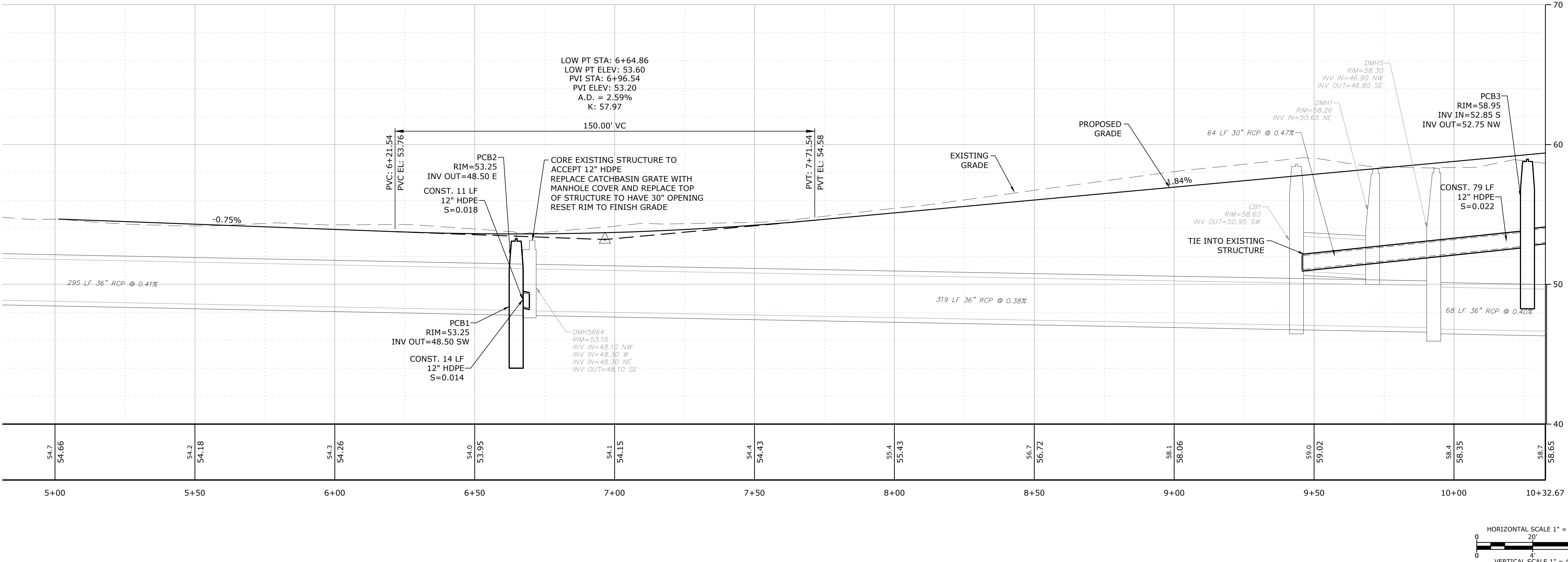




**Tighe&Bond**  
Engineers | Environmental Specialists

STATE OF NEW HAMPSHIRE  
BRADLEE  
MEZZOUTA  
No. 08630  
LICENSED PROFESSIONAL ENGINEER

STATE OF NEW HAMPSHIRE  
PATRICK  
M CRIMMINS  
No. 12378  
LICENSED PROFESSIONAL ENGINEER



**Longmeadow Road Extension**

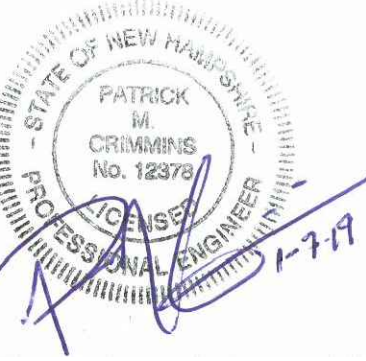
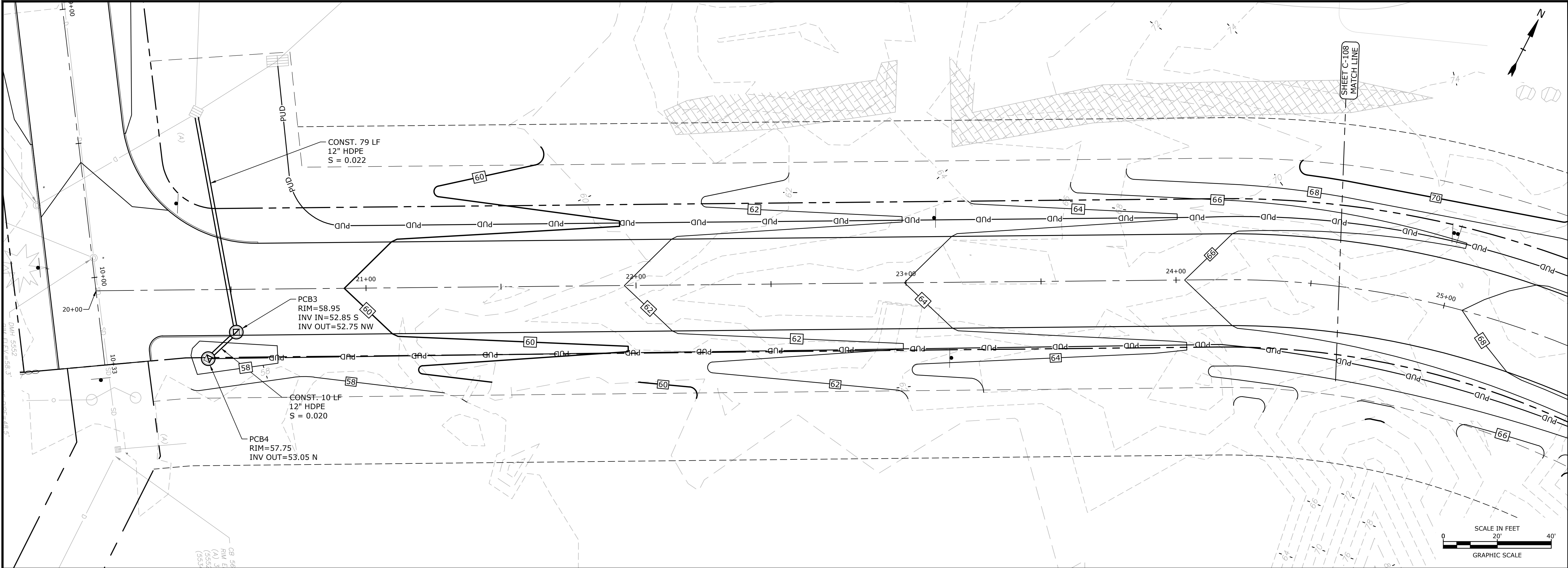
City of Portsmouth

Portsmouth, New Hampshire

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| MARK                           | DATE     | DESCRIPTION    |
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| DATE: January 7, 2019          |          |                |
| FILE: P-0714-005-C-DSGN.dwg    |          |                |
| DRAWN BY: NAH                  |          |                |
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| APPROVED: BLM                  |          |                |
| LONGMEADOW ROAD PLAN & PROFILE |          |                |
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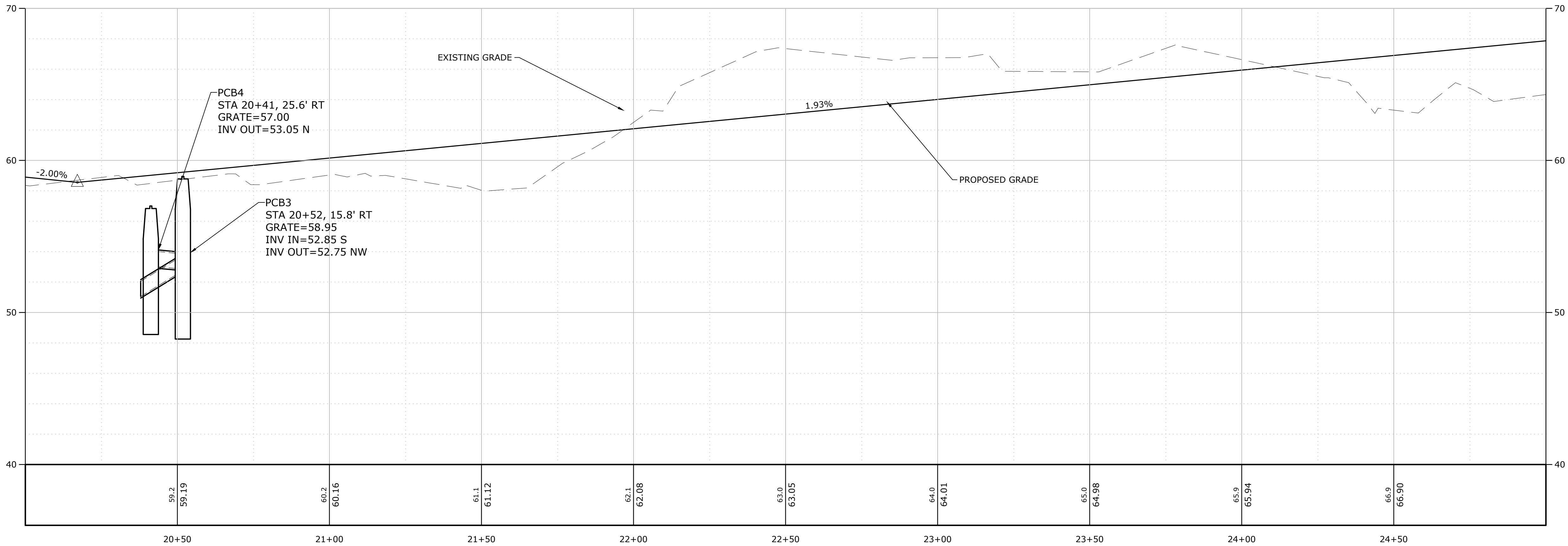




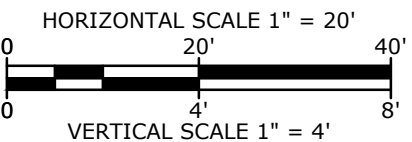
## Longmeadow Road Extension

City of Portsmouth

Portsmouth, New Hampshire



LONGMEADOW ROAD EXTENSION



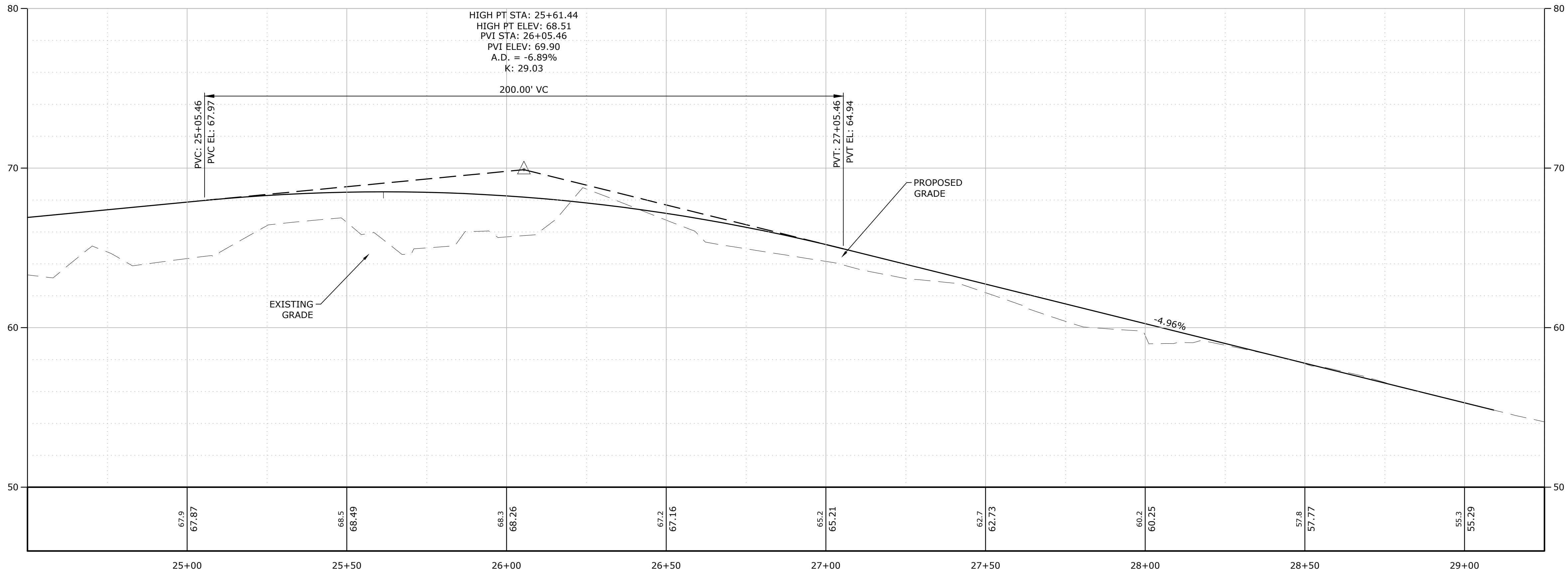
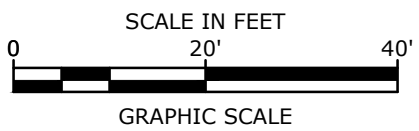
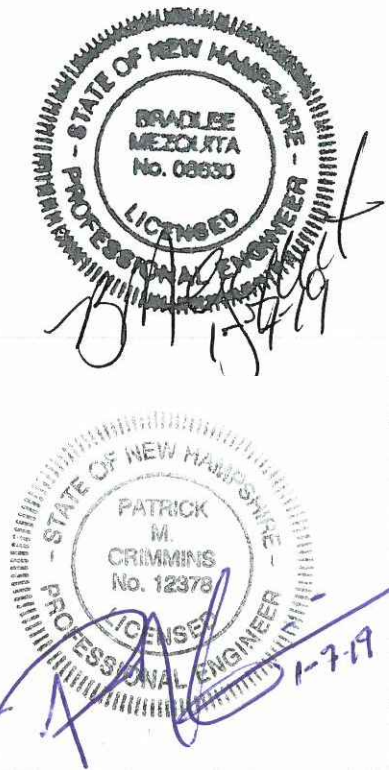
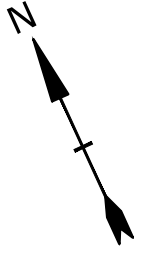
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LONGMEADOW ROAD  
EXTENSION PLAN & PROFILE

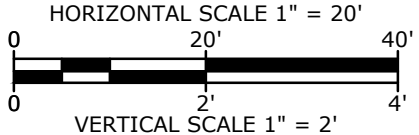
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LONGMEADOW ROAD EXTENSION - LANG ROAD



## Longmeadow Road Extension

City of Portsmouth

Portsmouth, New Hampshire

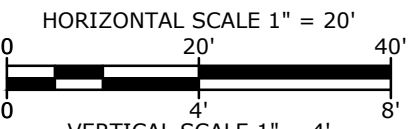
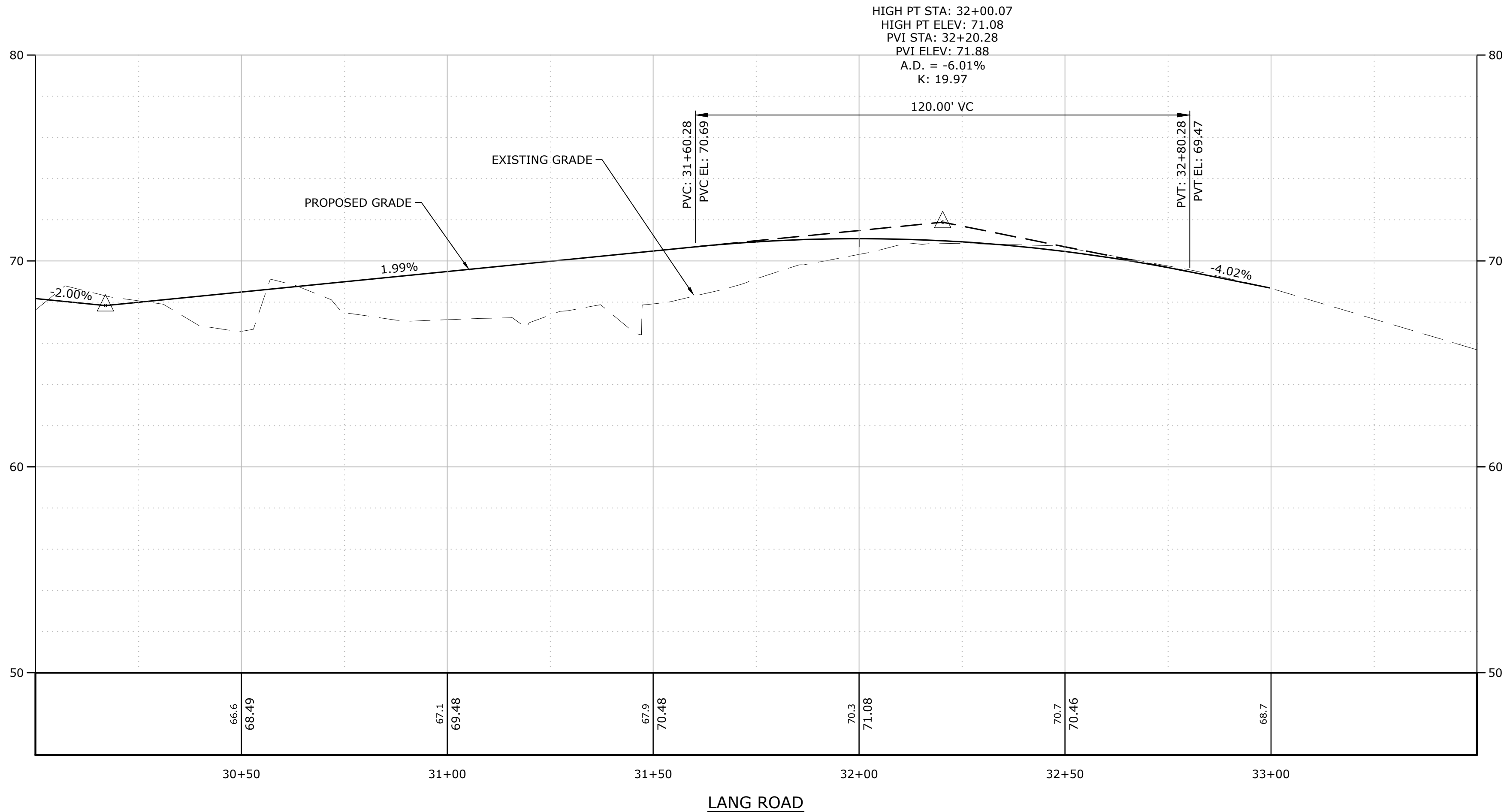
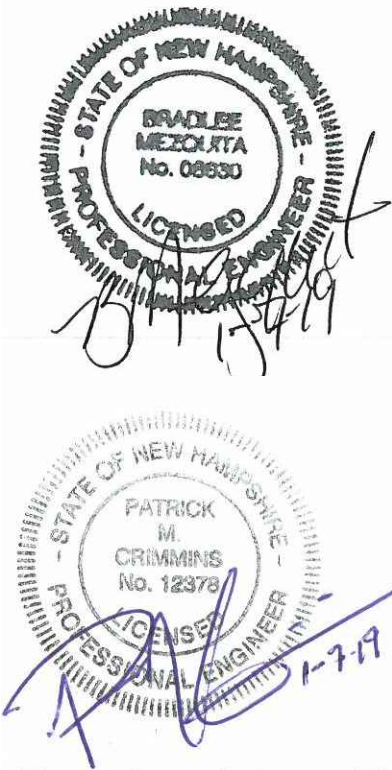
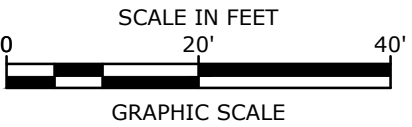
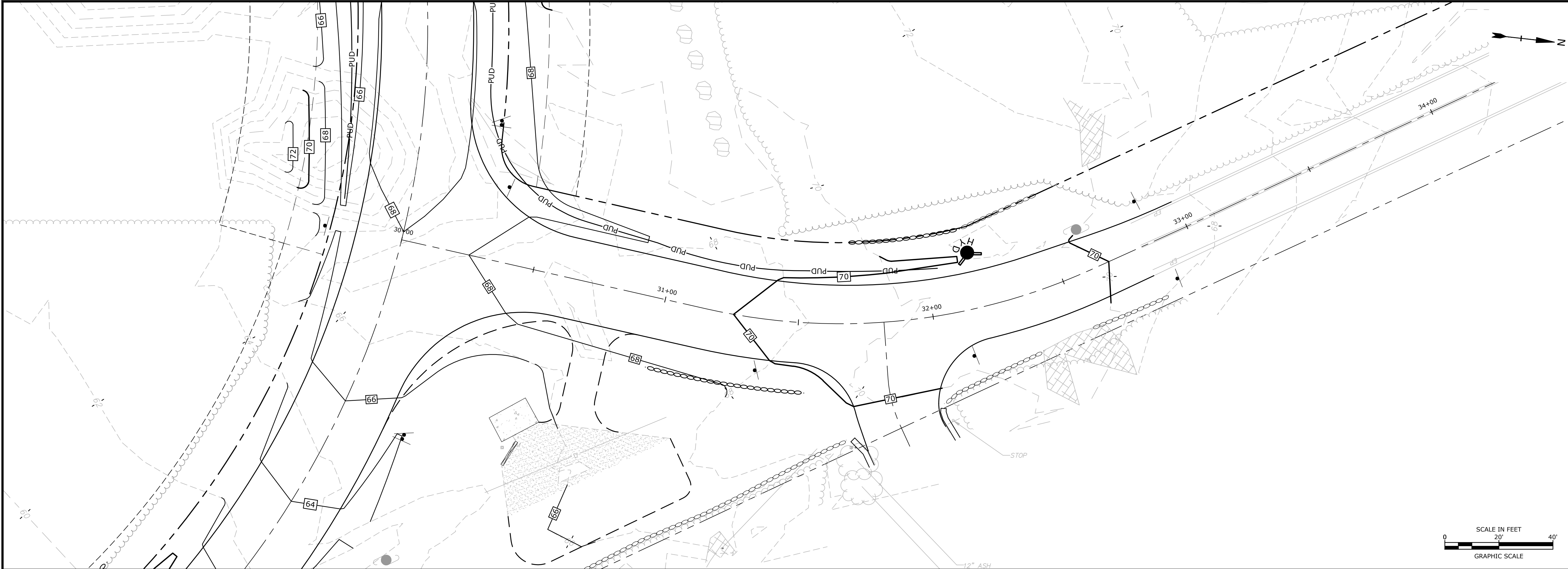
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### LONGMEADOW ROAD EXTENSION PLAN & PROFILE

SCALE: AS SHOWN

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## Longmeadow Road Extension

City of Portsmouth

Portsmouth, New Hampshire

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LANG ROAD PLAN & PROFILE

SCALE: AS SHOWN

C-109







|                    |  |
|--------------------|--|
| PROJECT OWNER:     | CITY OF PORTSMOUTH<br>1 JUNKINS AVENUE<br>PORTSMOUTH, NH 03801 |
| PROJECT NAME:      | LONGMEADOW ROAD EXTENSION                                      |
| PROJECT ADDRESS:   | LONGMEADOW ROAD<br>PORTSMOUTH, NH 03801                        |
| PROJECT LATITUDE:  | 43°-01'-27.5"N   |
| PROJECT LONGITUDE: | 70°-47'-24.9"W   |

THE PROJECT CONSISTS OF THE CLEARING AND GRUBBING OF FOREST, REGRADING OF LAND, AND CONSTRUCTION OF A ROAD CONNECTING LONGMEADOW ROAD TO LANG ROAD. THE WORK IS ANTICIPATED TO START IN FALL 2019, AND BE COMPLETED BY SPRING 2020.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 4.0 ACRES.

BASED ON THE USCS SITE SPECIFIC SOIL SURVEY CONDUCTED BY MERIDIAN LAND SERVICES, INC., ON AUGUST 26, 2010 THE SOILS ON SITE CONSIST OF WELL DRAINED SOILS WITH HYDROLOGIC SOIL GROUP RATINGS OF B.

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA OVERLAND FLOW TO AN UNNAMED WETLAND AND ULTIMATELY FLOWS TO BERRY'S BROOK.

1. CUT AND CLEAR TREES.
2. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:

- NEW CONSTRUCTION
  - CONTROL OF DUST
  - CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
3. ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPs PRIOR TO DIRECTING RUNOFF TO THEM.
4. CLEAR AND DISPOSE OF DEBRIS.
5. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
6. GRADE AND GRAVEL ROADWAYS AND PARKING AREAS - ALL ROADS AND PARKING AREA SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
7. BEGIN PERMANENT SEEDING AND MULCHING DURING THE CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
8. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
9. SEDIMENT TRAPS AND/OR BASINS SHALL BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.
10. FINISH PAVING ALL ROADWAYS AND PARKING LOTS.
11. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

1. THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.
2. THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

1. ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.
2. PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL.
3. CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALES, SILT FENCES, MULCH BERMS, SILT SACKS AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
4. SILT SACK INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
5. PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
6. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
7. ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND FERTILIZER.
8. INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
9. CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

1. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
  - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
  - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED;
  - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.;
  - E. IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.
2. WINTER STABILIZATION PRACTICES:
  - A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
  - B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;
  - C. AFTER NOVEMBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
3. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
  - A. TEMPORARY SEEDING;
  - B. MULCHING.
4. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
5. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET

6. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY NOVEMBER 15.

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJACENT AREAS.

1. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

1. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

1. TEMPORARY GRASS COVER:

- A. SEEDBED PREPARATION:
  - a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
- B. SEEDING:
  - a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
  - b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;
  - c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING;
- C. MAINTENANCE:
  - a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHALL BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).

2. VEGETATIVE PRACTICE:

- A. FOR PERMANENT MEASURES AND PLANTINGS:
  - a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;
  - b. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 FERTILIZER;
  - c. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH;
  - d. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A COLD, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
  - e. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE;
  - f. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED;
  - g. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED;
  - h. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.

3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL):

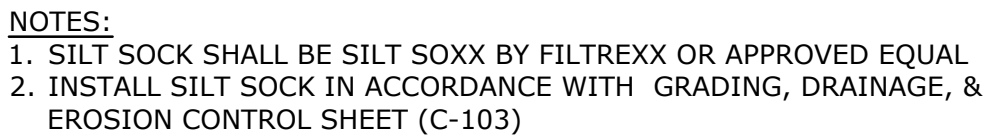
A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

1. THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:
  - A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
  - B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
  - C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
  - D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

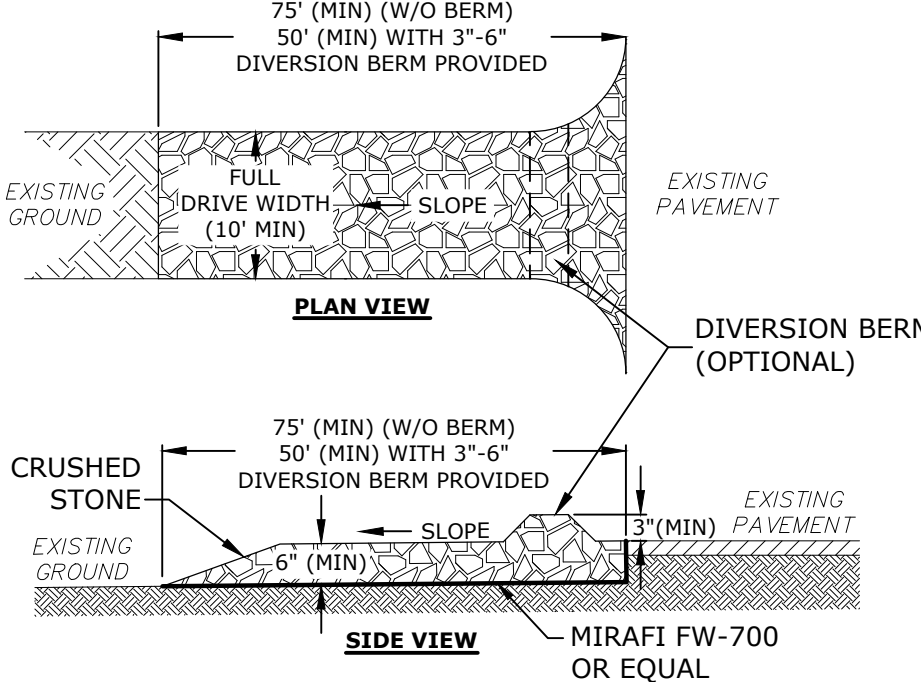
1. FIRE-FIGHTING ACTIVITIES;
2. FIRE HYDRANT FLUSHING;
3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
4. WATER USED TO CONTROL DUST;
5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
6. ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
9. UNCONTAMINATED GROUND WATER OR SPRING WATER;
10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
11. UNCONTAMINATED EXCAVATION DEWATERING;
12. LANDSCAPE IRRIGATION.

1. WASTE MATERIAL:
  - A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
  - B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
  - C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE:
  - A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
  - B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE:
  - A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

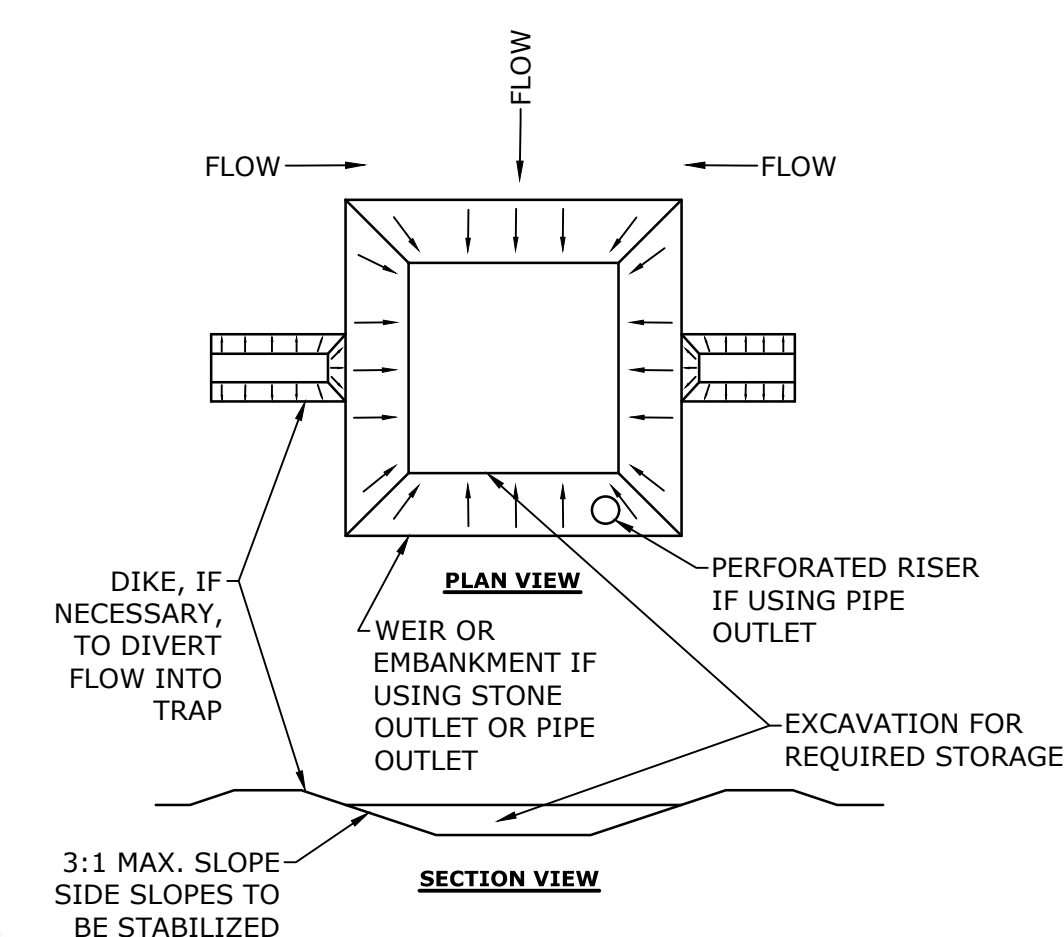
1. CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
  - A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE FOLLOWED ON SITE DURING CONSTRUCTION:
    - a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
    - b. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;
    - c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
    - d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS;
    - e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
    - f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
  - B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
    - g. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
    - h. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION;
    - i. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
  - C. PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:



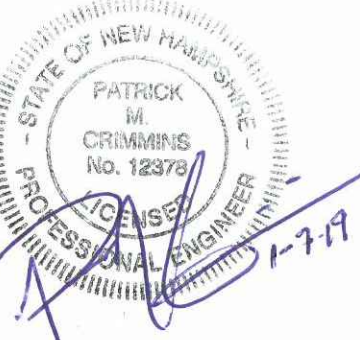
NO SCALE



NO SCALE



NO SCALE



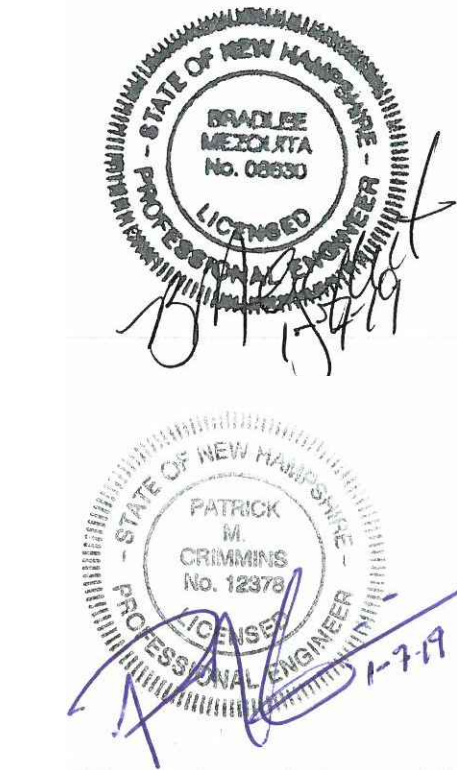
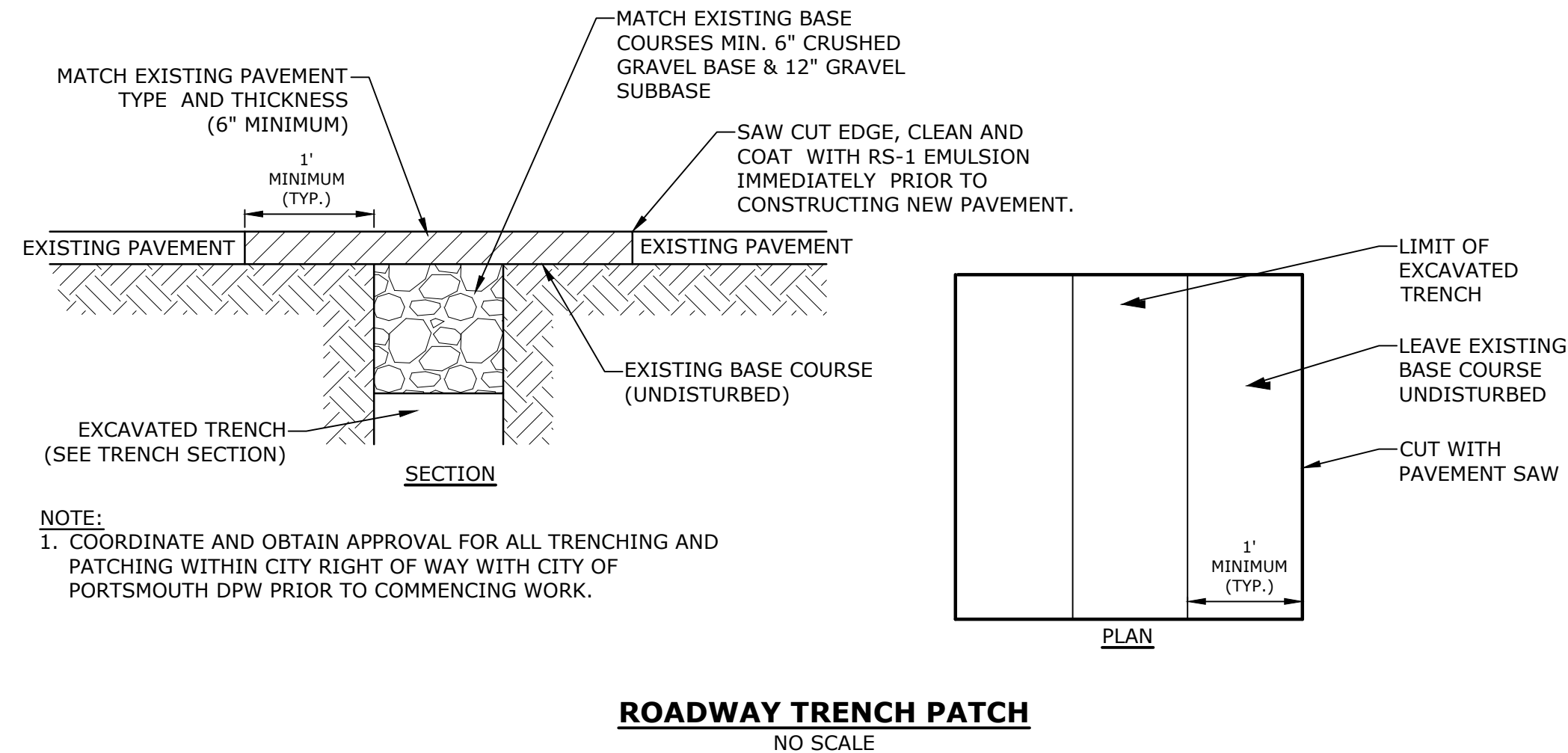
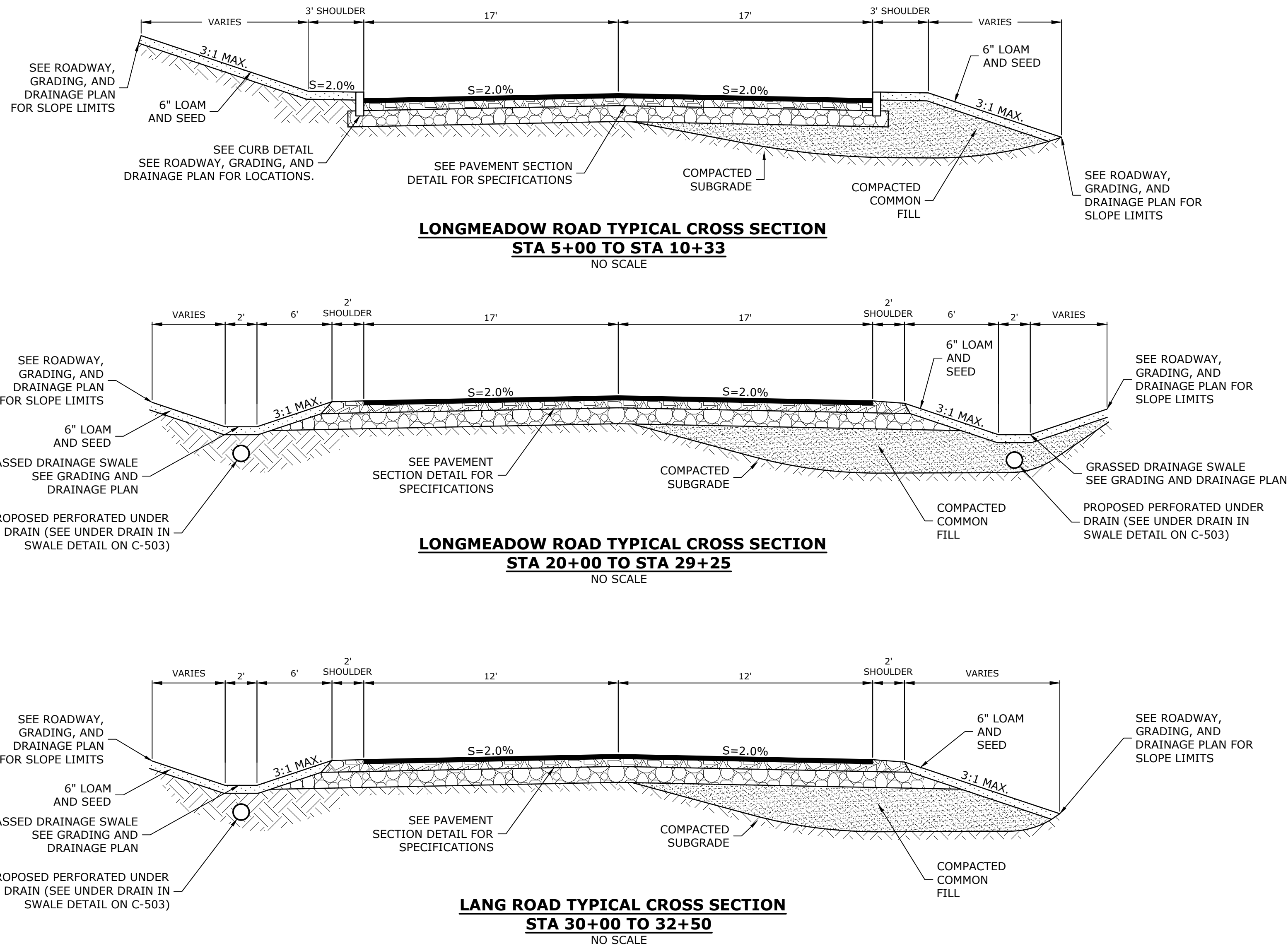
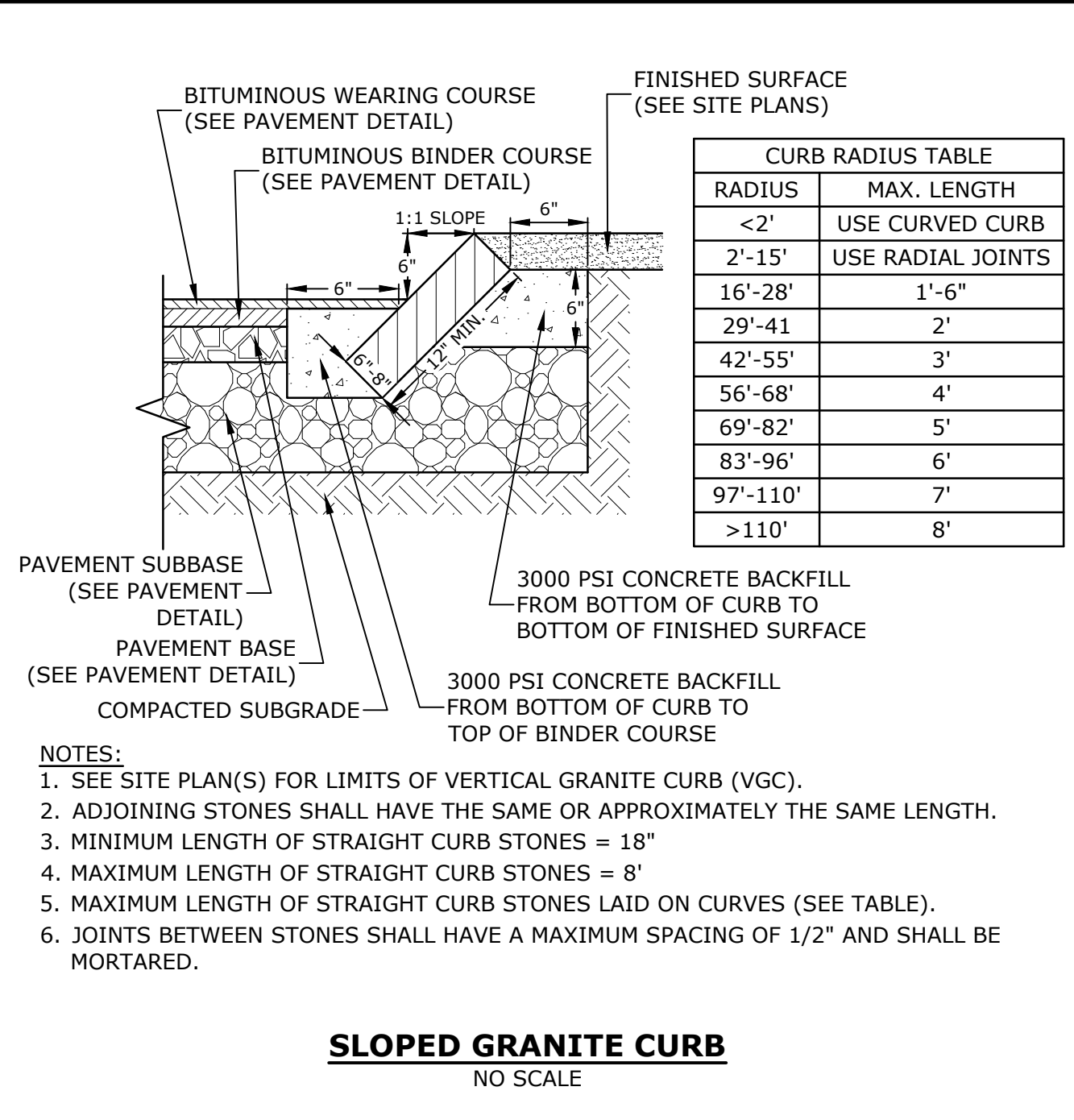
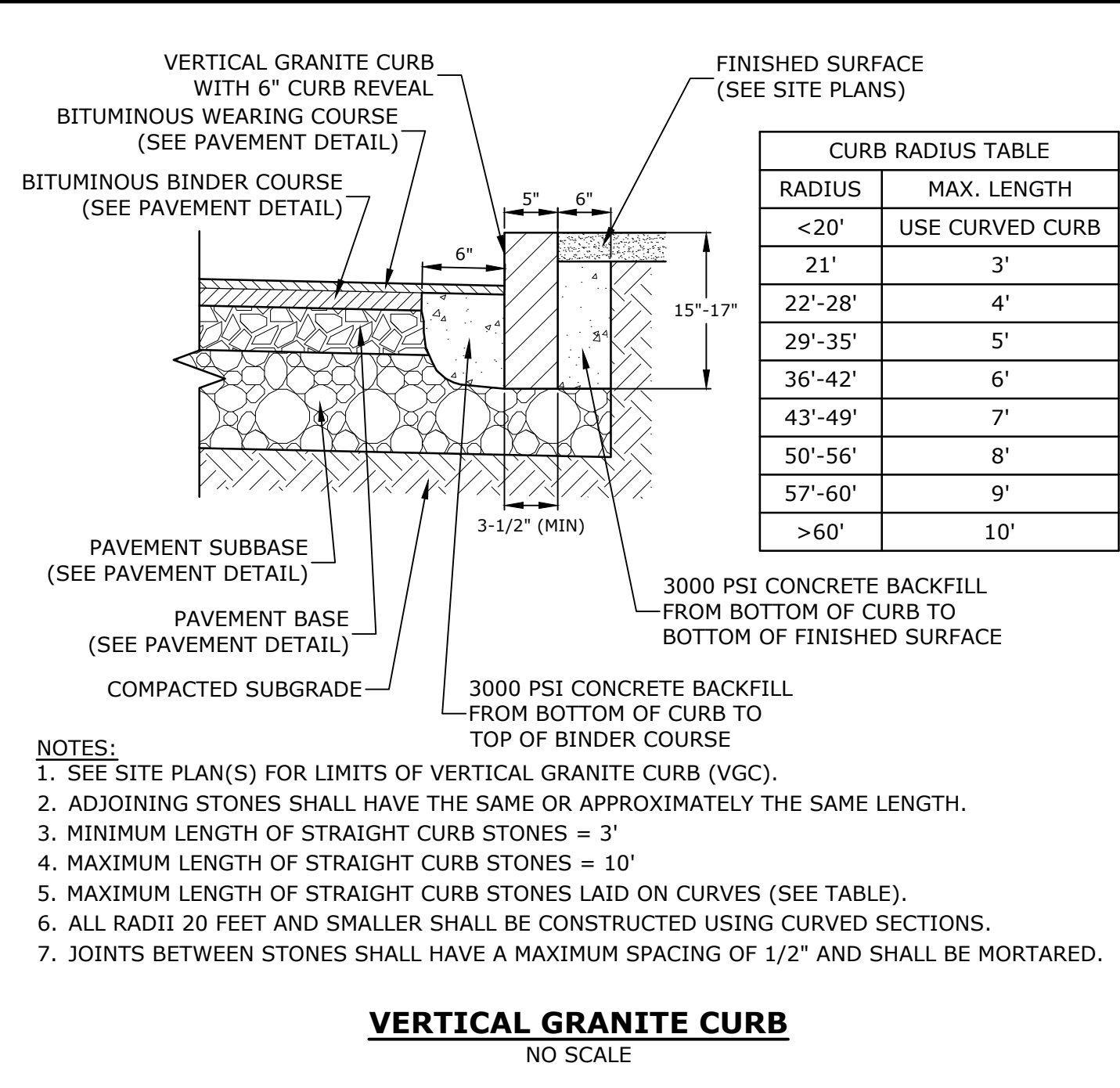
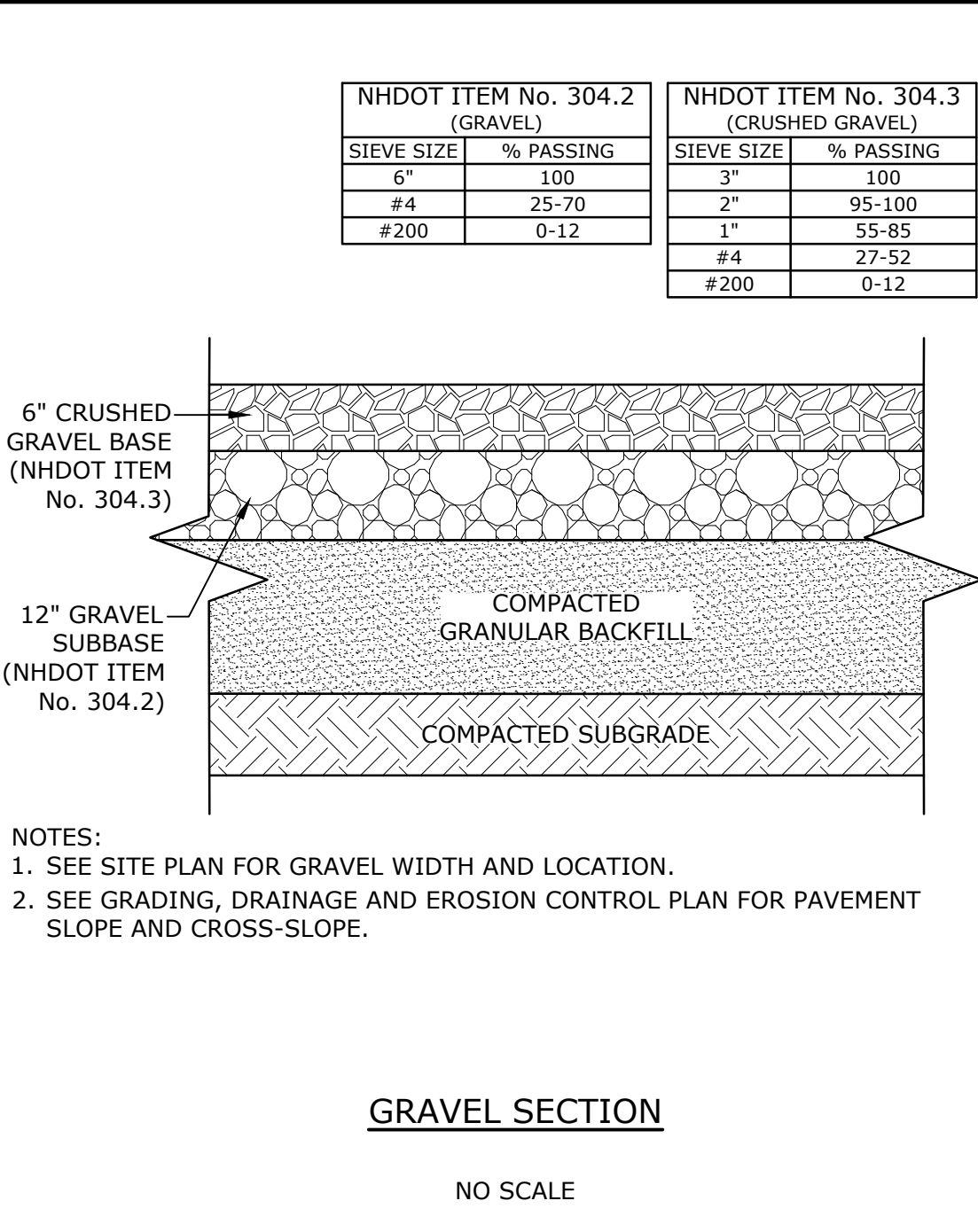
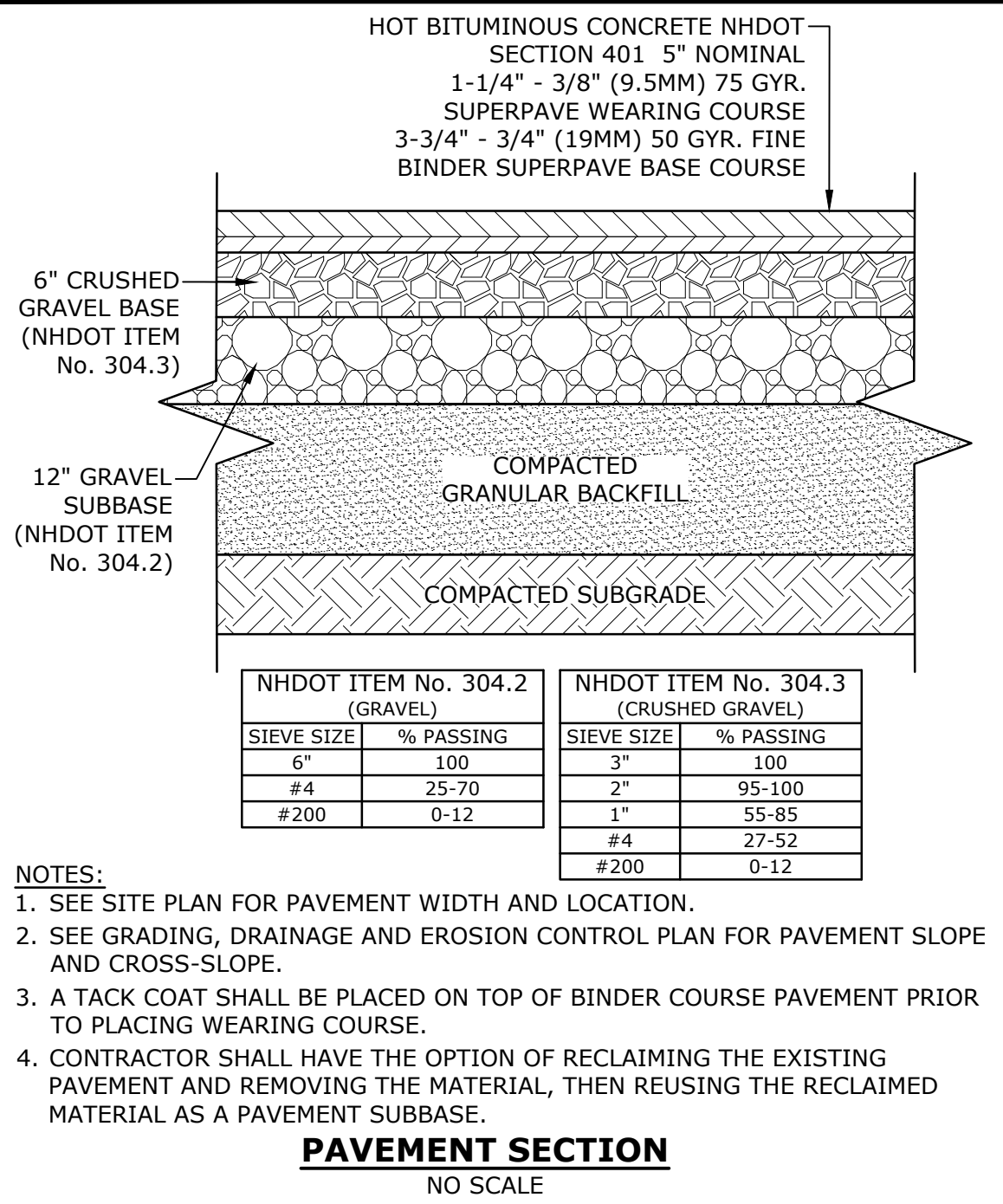
|                             |          |                 |
|-----------------------------|----------|-----------------|
|                             |          |                 |
|                             |          |                 |
|                             |          |                 |
| A                           | 1/7/2019 | AoT Submission  |
| MARK                        | DATE     | DESCRIPTION     |
| PROJECT NO:                 |          | P-0714-005      |
| DATE:                       |          | January 7, 2019 |
| FILE: P-0714-005-C-DTLS.dwg |          |                 |
| DRAWN BY:                   |          | NAH             |
| CHECKED:                    |          | PMC             |
| APPROVED:                   |          | BLM             |

## SCALE: AS SHOWN

C-501



Last Saved: 1/7/2019 4:09pm By: Mahanen  
Printed On: Jan 10, 2019 4:09pm  
Figure & Detail: P-0714-005-C-DTLS.dwg  
Lang-Longmeadow Road Extension Drawings



## Longmeadow Road Extension

City of Portsmouth

Portsmouth, New Hampshire

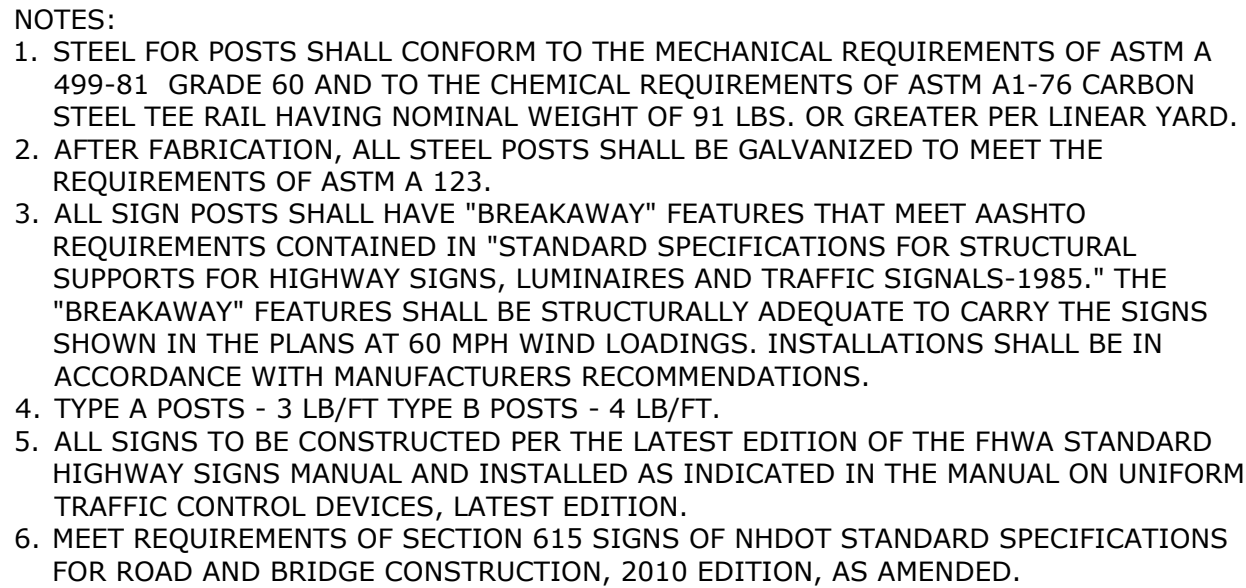
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|                             |          |                |
| A                           | 1/7/2019 | AsT Submission |
| MARK                        | DATE     | DESCRIPTION    |
| PROJECT NO: P-0714-005      |          |                |
| DATE: January 7, 2019       |          |                |
| FILE: P-0714-005-C-DTLS.dwg |          |                |
| DRAWN BY: NAH               |          |                |
| CHECKED: PMC                |          |                |
| APPROVED: BLM               |          |                |

DETAILS SHEET

SCALE: AS SHOWN

C-502





| WT.   | A                                       | B                                      | C                 |
|-------|---|--|-------------------|
| 3 LBS | 1 $\frac{5}{8}$ " OR 1 $\frac{5}{16}$ " | 1 $\frac{3}{4}$ " OR 1 $\frac{7}{8}$ " | 3 $\frac{1}{2}$ " |
| 4 LBS | 1 $\frac{5}{8}$ "                       | 1 $\frac{3}{4}$ "                      | 3 $\frac{1}{2}$ " |

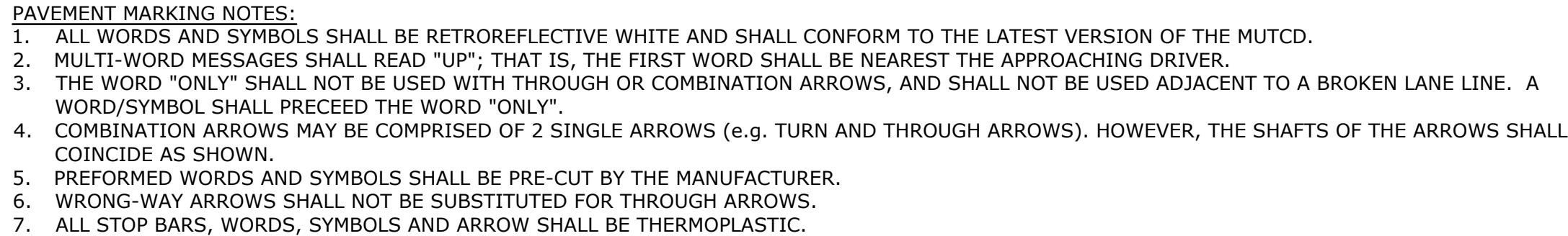
\* IN LEDGE DRILL & GROUT TO A MIN OF 2'

SIGN POST TO COMPLY WITH ALL ASPECTS OF  
NHDOT SECTION 615.

LENGTH: AS REQUIRED  
WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.)  
HOLES: 3/8" DIAMETER, 1" C-C FULL LENGTH  
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASSTM A-576 (GRADE 1070 - 1080)  
FINISH: SHALL BE GALVANIZED IN ACCORDANCE WITH AASHTO M111.

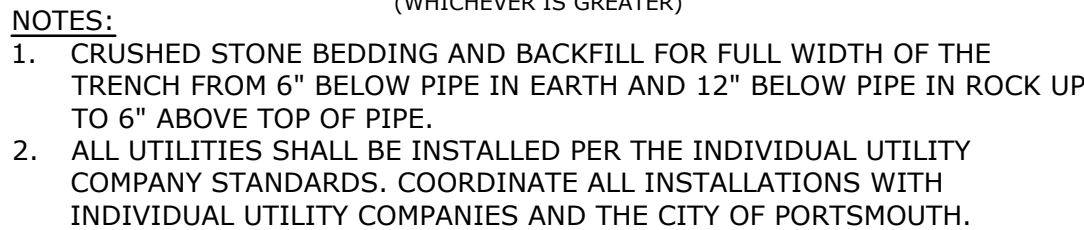
## SIGN POST

NO SCALE



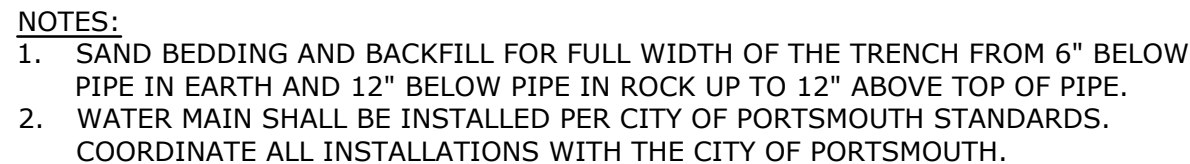
## PAVEMENT MARKINGS

NO SCALE



## STORM DRAIN TRENCH

NO SCALE

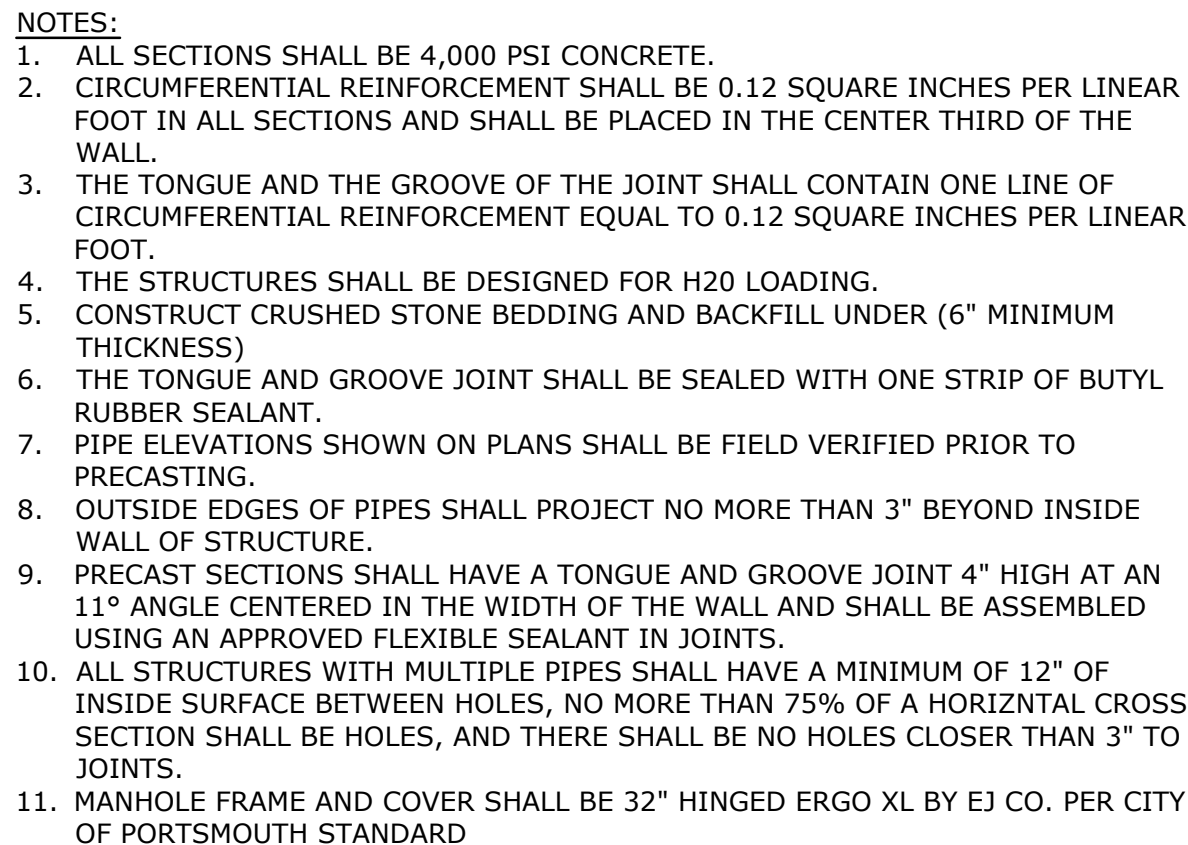


## WATER TRENCH

NO SCALE



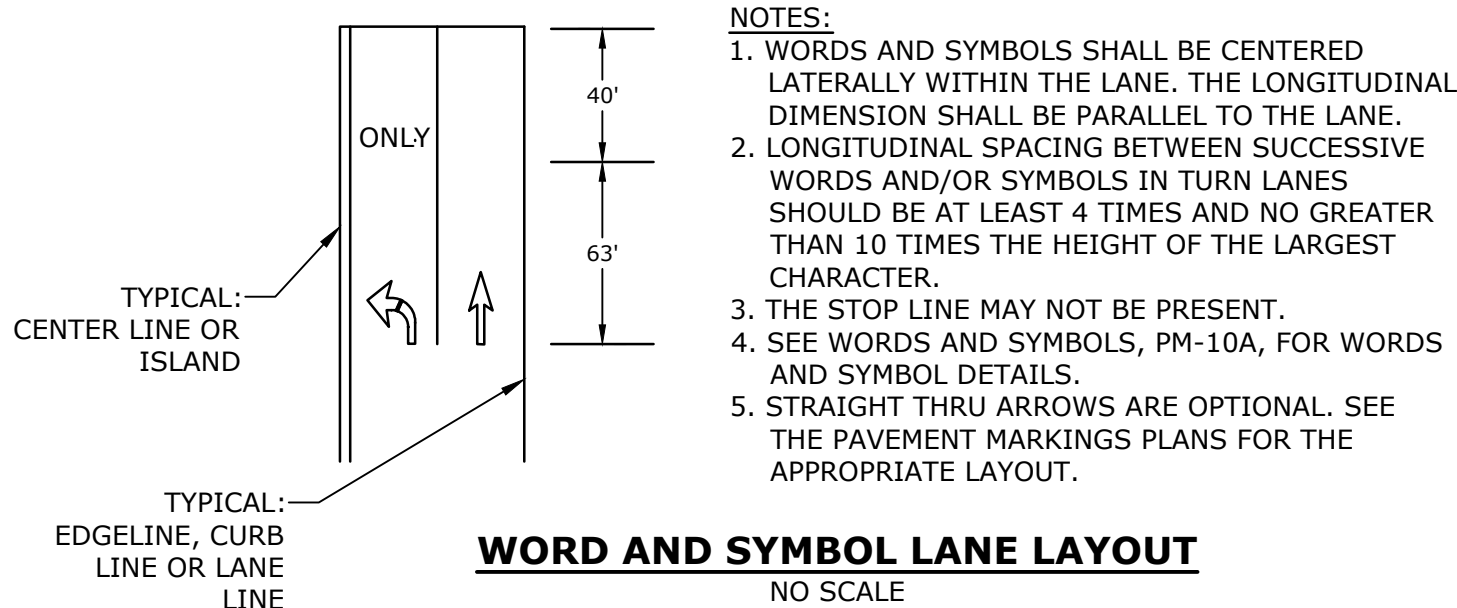
NO SCALE



| DIAMETER | WALL THICKNESS (MIN.) | FLOOR THICKNESS (MIN.) |
|----------|-----------------------|------------------------|
| 4'       | 5"                    | 6"                     |
| 5'       | 6"                    | 8"                     |
| 6'       | 7"                    | 8"                     |
| 8'       | 9"                    | 10"                    |

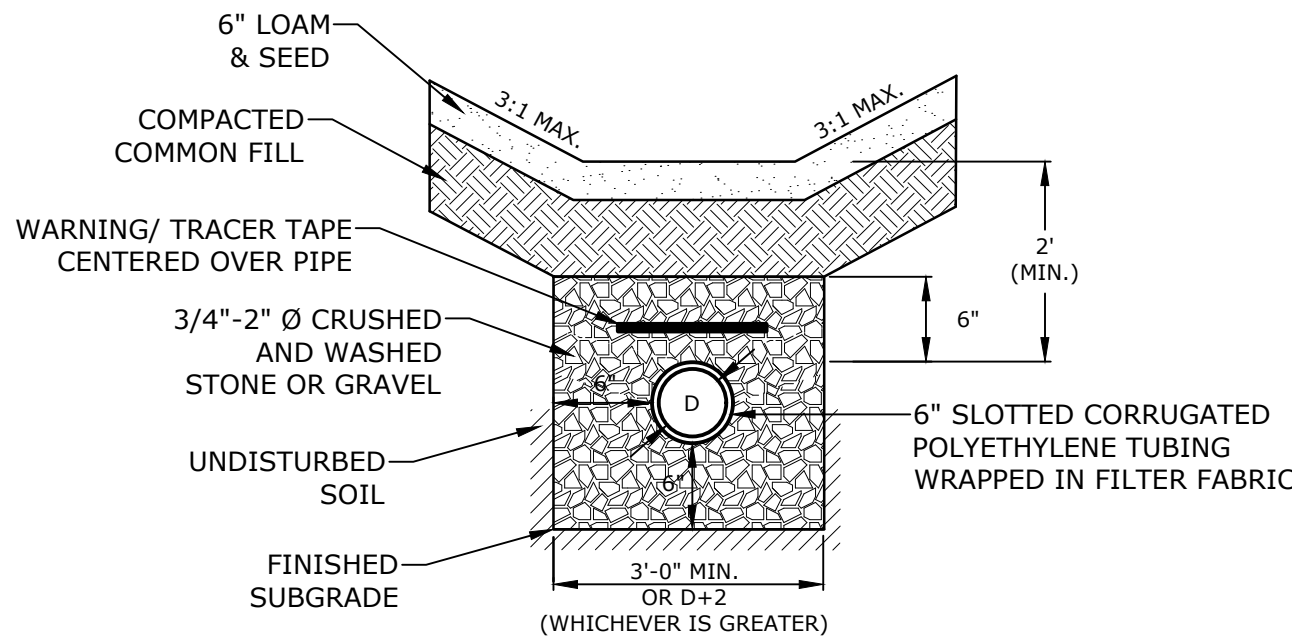
### 4' DIAMETER DRAIN MANHOLE

NO SCALE



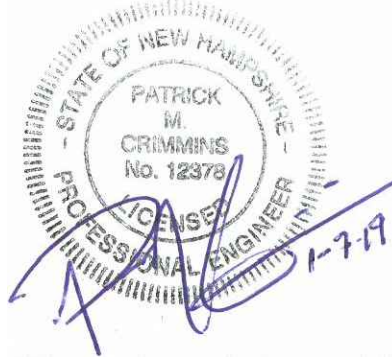
## WORD AND SYMBOL LANE LAYOUT

NO SCALE



## UNDERDRAIN TRENCH IN SWALE

NO SCALE



# Longmeadow Road Extension

City of  
Portsmouth

Portsmouth, New  
Hampshire

|                             |          |                 |
|-----------------------------|----------|-----------------|
|                             |          |                 |
|                             |          |                 |
|                             |          |                 |
| A                           | 1/7/2019 | AoT Submission  |
| MARK                        | DATE     | DESCRIPTION     |
| PROJECT NO:                 |          | P-0714-005      |
| DATE:                       |          | January 7, 2019 |
| FILE: P-0714-005-C-DTLS.dwg |          |                 |
| DRAWN BY:                   |          | NAH             |
| CHECKED:                    |          | PMC             |
| APPROVED:                   |          | BLM             |

## DETAILS SHEET

SCALE: AS SHOWN

C-503









# City of Portsmouth, New Hampshire

## *Subdivision Application Checklist*

This subdivision application checklist is a tool designed to assist the applicant in the planning process and for preparing the application for Planning Board review. A pre-application conference with a member of the planning department is strongly encouraged as additional project information may be required depending on the size and scope. The applicant is cautioned that this checklist is only a guide and is not intended to be a complete list of all subdivision review requirements. Please refer to the Subdivision review regulations for full details.

**Applicant Responsibilities (Section III.C):** Applicable fees are due upon application submittal along with required number of copies of the Preliminary or final plat and supporting documents and studies. Please consult with Planning staff for submittal requirements.

Owner: \_\_\_\_\_ Date Submitted: \_\_\_\_\_

Applicant: \_\_\_\_\_

Phone Number: \_\_\_\_\_ E-mail: \_\_\_\_\_

Site Address 1: \_\_\_\_\_ Map: \_\_\_\_\_ Lot: \_\_\_\_\_

Site Address 2: \_\_\_\_\_ Map: \_\_\_\_\_ Lot: \_\_\_\_\_

| Application Requirements            |   |  |                     |
|-------------------------------------|---|--|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal  | Item Location<br>(e.g. Page or<br>Plan Sheet/Note #) | Waiver<br>Requested |
| <input type="checkbox"/>            | Completed Application form.<br>(III.C.2-3)  |  | N/A                 |
| <input type="checkbox"/>            | All application documents, plans, supporting documentation and other materials provided in digital Portable Document Format (PDF) on compact disc, DVD or flash drive.<br>(III.C.4) |  | N/A                 |

| Requirements for Preliminary/Final Plat |   |   |  |                     |
|---|---|---|--|---------------------|
| <input checked="" type="checkbox"/>     | Required Items for Submittal  | Item Location<br>(e.g. Page/line or<br>Plan Sheet/Note #) | Required for<br>Preliminary / Final<br>Plat  | Waiver<br>Requested |
| <input type="checkbox"/>                | Name and address of record owner, any<br>option holders, descriptive name of<br>subdivision, engineer and/or surveyor or<br>name of person who prepared the plat.<br>(Section IV.1/V.1) |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat | N/A                 |



| Requirements for Preliminary/Final Plat |   |   |  |                     |
|---|---|---|--|---------------------|
| <input checked="" type="checkbox"/>     | Required Items for Submittal  | Item Location<br>(e.g. Page/line or<br>Plan Sheet/Note #) | Required for<br>Preliminary / Final<br>Plat  | Waiver<br>Requested |
| <input type="checkbox"/>                | <b>Preliminary Plat</b><br>Names and addresses of all adjoining property owners. <b>(Section IV.2)</b><br><b>Final Plat</b><br>Names and addresses of all abutting property owners, locations of buildings within one hundred (100) feet of the parcel, and any new house numbers within the subdivision. <b>(Section V.2)</b>  |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat | N/A                 |
| <input type="checkbox"/>                | North point, date, and bar scale. <b>(Section IV.3/V3)</b>  | Required on all Plan Sheets                               | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat | N/A                 |
| <input type="checkbox"/>                | Zoning classification and minimum yard dimensions required. <b>(Section IV.4/V.4)</b>   |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat | N/A                 |
| <input type="checkbox"/>                | <b>Preliminary Plat</b><br>Scale (not to be smaller than one hundred (100) feet = 1 inch) and location map (at a scale of 1" = 1000'). <b>(Section IV.5)</b><br><b>Final Plat</b><br>Scale (not to be smaller than 1"=100'), Location map (at a scale of 1"=1,000') showing the property being subdivided and its relation to the surrounding area within a radius of 2,000 feet. Said location map shall delineate all streets and other major physical features that may either affect or be affected by the proposed development. <b>(Section V.5)</b> |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat | N/A                 |
| <input type="checkbox"/>                | Location and approximate dimensions of all existing and proposed property lines including the entire area proposed to be subdivided, the areas of proposed lots, and any adjacent parcels in the same ownership. <b>(Section IV.6)</b>  |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat |                     |
| <input type="checkbox"/>                | Dimensions and areas of all lots and any and all property to be dedicated or reserved for schools, parks, playgrounds, or other public purpose. Dimensions shall include radii and length of all arcs and calculated bearing for all straight lines. <b>(Section V.6/ IV.7)</b>   |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat | N/A                 |
| <input type="checkbox"/>                | Location, names, and present widths of all adjacent streets, with a designation as to whether public or private and approximate location of existing utilities to be used. Curbs and sidewalks shall be shown. <b>(Section IV.8/V.7)</b>  |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat |                     |



| Requirements for Preliminary/Final Plat |  |   |  |                     |
|---|--|---|--|---------------------|
| <input checked="" type="checkbox"/>     | Required Items for Submittal   | Item Location<br>(e.g. Page/line or<br>Plan Sheet/Note #) | Required for<br>Preliminary / Final<br>Plat  | Waiver<br>Requested |
| <input type="checkbox"/>                | Location of significant physical features, including bodies of water, watercourses, wetlands, railroads, important vegetation, stone walls and soils types that may influence the design of the subdivision.<br><b>(Section IV.9/V.8)</b>  |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat |                     |
| <input type="checkbox"/>                | <b>Preliminary Plat</b><br>Proposed locations, widths and other dimensions of all new streets and utilities, including water mains, storm and sanitary sewer mains, catch basins and culverts, street lights, fire hydrants, sewerage pump stations, etc. <b>(Section IV.10)</b><br><b>Final Plat</b><br>Proposed locations and profiles of all proposed streets and utilities, including water mains, storm and sanitary sewer mains, catchbasins and culverts, together with typical cross sections. Profiles shall be drawn to a horizontal scale of 1"=50' and a vertical scale of 1"=5', showing existing centerline grade, existing left and right sideline grades, and proposed centerline grade.<br><b>(Section V.9)</b> |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat |                     |
| <input type="checkbox"/>                | When required by the Board, the plat shall be accompanied by profiles of proposed street grades, including extensions for a reasonable distance beyond the subject land; also grades and sizes of proposed utilities.<br><b>(Section IV.10)</b>  |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat |                     |
| <input type="checkbox"/>                | Base flood elevation (BFE) for subdivisions involving greater than five (5) acres or fifty (50) lots.<br><b>(Section IV.11)</b>  |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat |                     |
| <input type="checkbox"/>                | For subdivisions of five (5) lots or more, or at the discretion of the Board otherwise, the preliminary plat shall show contours at intervals no greater than two (2) feet. Contours shall be shown in dotted lines for existing natural surface and in solid lines for proposed final grade, together with the final grade elevations shown in figures at all lot corners. If existing grades are not to be changed, then the contours in these areas shall be solid lines.<br><b>(Section IV.12/ V.12)</b>   |   | <input checked="" type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat |                     |



| Requirements for Preliminary/Final Plat |   |   |   |                     |
|---|---|---|---|---------------------|
| <input checked="" type="checkbox"/>     | Required Items for Submittal  | Item Location<br>(e.g. Page/line or<br>Plan Sheet/Note #) | Required for<br>Preliminary / Final<br>Plat   | Waiver<br>Requested |
| <input type="checkbox"/>                | Dates and permit numbers of all necessary permits from governmental agencies from which approval is required by Federal or State law.<br><b>(Section V.10)</b>                                      |   | <input type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat |                     |
| <input type="checkbox"/>                | For subdivisions involving greater than five (5) acres or fifty (50) lots, the final plat shall show hazard zones and shall include elevation data for flood hazard zones.<br><b>(Section V.11)</b> |   | <input type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat |                     |
| <input type="checkbox"/>                | Location of all permanent monuments.<br><b>(Section V.12)</b>   |   | <input type="checkbox"/> Preliminary Plat<br><input checked="" type="checkbox"/> Final Plat |                     |



| General Requirements <sup>1</sup>   |  |   |                     |
|-------------------------------------|--|---|---------------------|
| <input checked="" type="checkbox"/> | Required Items for Submittal                         | Item Location<br>(e.g. Page/line or<br>Plan Sheet/Note #) | Waiver<br>Requested |
| <input type="checkbox"/>            | <b>1. Basic Requirements: (VI.1)</b>                 |   |                     |
| <input type="checkbox"/>            | a. Conformity to Official Plan or Map                |   |                     |
| <input type="checkbox"/>            | b. Hazards   |   |                     |
| <input type="checkbox"/>            | c. Relation to Topography                            |   |                     |
| <input type="checkbox"/>            | d. Planned Unit Development                          |   |                     |
| <input type="checkbox"/>            | <b>2. Lots: (VI.2)</b>                               |   |                     |
| <input type="checkbox"/>            | a. Lot Arrangement                                   |   |                     |
| <input type="checkbox"/>            | b. Lot sizes   |   |                     |
| <input type="checkbox"/>            | c. Commercial and Industrial Lots                    |   |                     |
| <input type="checkbox"/>            | <b>3. Streets: (VI.3)</b>                            |   |                     |
| <input type="checkbox"/>            | a. Relation to adjoining Street System               |   |                     |
| <input type="checkbox"/>            | b. Street Rights-of-Way                              |   |                     |
| <input type="checkbox"/>            | c. Access  |   |                     |
| <input type="checkbox"/>            | d. Parallel Service Roads                            |   |                     |
| <input type="checkbox"/>            | e. Street Intersection Angles                        |   |                     |
| <input type="checkbox"/>            | f. Merging Streets                                   |   |                     |
| <input type="checkbox"/>            | g. Street Deflections and Vertical Alignment         |   |                     |
| <input type="checkbox"/>            | h. Marginal Access Streets                           |   |                     |
| <input type="checkbox"/>            | i. Cul-de-Sacs                                       |   |                     |
| <input type="checkbox"/>            | j. Rounding Street Corners                           |   |                     |
| <input type="checkbox"/>            | k. Street Name Signs                                 |   |                     |
| <input type="checkbox"/>            | l. Street Names                                      |   |                     |
| <input type="checkbox"/>            | m. Block Lengths                                     |   |                     |
| <input type="checkbox"/>            | n. Block Widths                                      |   |                     |
| <input type="checkbox"/>            | o. Grade of Streets                                  |   |                     |
| <input type="checkbox"/>            | p. Grass Strips                                      |   |                     |
| <input type="checkbox"/>            | <b>4. Curbing: (VI.4)</b>                            |   |                     |
| <input type="checkbox"/>            | <b>5. Driveways: (VI.5)</b>                          |   |                     |
| <input type="checkbox"/>            | <b>6. Drainage Improvements: (VI.6)</b>              |   |                     |
| <input type="checkbox"/>            | <b>7. Municipal Water Service: (VI.7)</b>            |   |                     |
| <input type="checkbox"/>            | <b>8. Municipal Sewer Service: (VI.8)</b>            |   |                     |
| <input type="checkbox"/>            | <b>9. Installation of Utilities: (VI.9)</b>          |   |                     |
| <input type="checkbox"/>            | a. All Districts                                     |   |                     |
| <input type="checkbox"/>            | b. Indicator Tape                                    |   |                     |
| <input type="checkbox"/>            | <b>10. On-Site Water Supply: (VI.10)</b>             |   |                     |
| <input type="checkbox"/>            | <b>11. On-Site Sewage Disposal Systems: (VI.11)</b>  |   |                     |
| <input type="checkbox"/>            | <b>12. Open Space: (VI.12)</b>                       |   |                     |
| <input type="checkbox"/>            | a. Natural Features                                  |   |                     |
| <input type="checkbox"/>            | b. Buffer Strips                                     |   |                     |
| <input type="checkbox"/>            | c. Parks   |   |                     |
| <input type="checkbox"/>            | d. Tree Planting                                     |   |                     |
| <input type="checkbox"/>            | <b>13. Flood Hazard Areas: (VI.13)</b>               |   |                     |
| <input type="checkbox"/>            | a. Permits   |   |                     |
| <input type="checkbox"/>            | b. Minimization of Flood Damage                      |   |                     |
| <input type="checkbox"/>            | c. Elevation and Flood-Proofing Records              |   |                     |
| <input type="checkbox"/>            | d. Alteration of Watercourses                        |   |                     |
| <input type="checkbox"/>            | <b>14. Erosion and Sedimentation Control (VI.14)</b> |   |                     |



| <input checked="" type="checkbox"/> | Required Items for Submittal     | Item Location<br>(e.g. Page/line or<br>Plan Sheet/Note #) | Waiver<br>Requested |
|-------------------------------------|----------------------------------|---|---------------------|
| <input checked="" type="checkbox"/> | <b>15. Easements (VI.15)</b>     |   |                     |
| <input type="checkbox"/>            | a. Utilities                     |   |                     |
| <input checked="" type="checkbox"/> | b. Drainage                      | Subdivision Plan,<br>Sheet 3 of 3                         |                     |
| <input checked="" type="checkbox"/> | <b>16. Monuments: (VI.16)</b>    | Subdivision Plan, Sheet 1 of 3 & Sheet 2 of 3             |                     |
| <input checked="" type="checkbox"/> | <b>17. Benchmarks: (VI.17)</b>   | Subdivision Plan, Sheet 1 of 3 & Sheet 2 of 3             |                     |
| <input type="checkbox"/>            | <b>18. House Numbers (VI.18)</b> | N/A   |                     |

| Design Standards                    |  |   |                     |
|-------------------------------------|--|---|---------------------|
|                                     | Required Items for Submittal   | Indicate compliance and/or<br>provide explanation as to<br>alternative design                   | Waiver<br>Requested |
| <input checked="" type="checkbox"/> | <b>1. Streets have been designed according to the design standards required under Section (VII.1).</b><br>a. Clearing<br>b. Excavation<br>c. Rough Grade and Preparation of Sub-Grade<br>d. Base Course<br>e. Street Paving<br>f. Side Slopes<br>g. Approval Specifications<br>h. Curbing<br>i. Sidewalks<br>j. Inspection and Methods | Street has been designed per AASHTO requirements under the direction of NHDOT                   |                     |
| <input checked="" type="checkbox"/> | <b>2. Storm water Sewers and Other Drainage Appurtenances have been designed according to the design standards required under Section (VII.2).</b><br>a. Design<br>b. Standards of Construction  | Stormwater management has been design to NHDES Alteration of Terrain standards                  |                     |
| <input type="checkbox"/>            | <b>3. Sanitary Sewers have been designed according to the design standards required under Section (VII.3).</b><br>a. Design<br>b. Lift Stations<br>c. Materials<br>d. Construction Standards   | N/A   |                     |
| <input checked="" type="checkbox"/> | <b>4. Water Mains and Fire Hydrants have been designed according to the design standards required under Section (VII.4).</b><br>a. Connections to Lots<br>b. Design and Construction<br>c. Materials<br>d. Notification Prior to Construction  | Fire hydrant and water service stub extension has been designed to City of Portsmouth standards |                     |

Applicant's/Representative's Signature: \_\_\_\_\_

Date: 1/18/2019

<sup>1</sup> See City of Portsmouth, NH Subdivision Rules and Regulations for details.  
Subdivision Application Checklist/January 2018



# CITY OF PORTSMOUTH NEW HAMPSHIRE

# SUBDIVISION APPLICATION FOR LOT LINE REVISION

Case Number \_\_\_\_\_

Property #1

Map \_\_\_\_\_ Lot \_\_\_\_\_ Zone \_\_\_\_\_ Wetlands: Inland \_\_\_\_\_ Coastal \_\_\_\_\_ Lot Area \_\_\_\_\_

Property #2

Map \_\_\_\_\_ Lot \_\_\_\_\_ Zone \_\_\_\_\_ Wetlands: Inland \_\_\_\_\_ Coastal \_\_\_\_\_ Lot Area \_\_\_\_\_

## Date of Approvals (Indicate if Pending)

Conservation Commission \_\_\_\_\_ Conditional Use \_\_\_\_\_ Board of Adjustment \_\_\_\_\_

Historic District Commission \_\_\_\_\_ Subdivision \_\_\_\_\_ Other \_\_\_\_\_

Street Address Property #1 \_\_\_\_\_

Street Address Property #2 \_\_\_\_\_

Number of total existing lots \_\_\_\_\_ Number of total proposed lots \_\_\_\_\_

Lot area of existing lot(s) \_\_\_\_\_ Lot area of proposed lots \_\_\_\_\_

Print Information Below

**Property #1 Owner's Name** \_\_\_\_\_

Street Address \_\_\_\_\_ City/Town \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone # \_\_\_\_\_ Cell Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ Email Address \_\_\_\_\_

Print Information Below

**Property #2 Owner's Name** \_\_\_\_\_

Street Address \_\_\_\_\_ City/Town \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone # \_\_\_\_\_ Cell Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ Email Address \_\_\_\_\_

Print Information Below

Check One: Attorney for Owner ☐ Attorney for Applicant ☐ Engineer ☒ Surveyor ☐ Other ☐ If other state relationship \_\_\_\_\_

**Representative's Name** \_\_\_\_\_

Street Address \_\_\_\_\_ City/Town \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Telephone # \_\_\_\_\_ Cell Phone # \_\_\_\_\_ Fax # \_\_\_\_\_ Email Address \_\_\_\_\_

Property Owner #1 Signature \_\_\_\_\_ Print Owner's Name \_\_\_\_\_ Date \_\_\_\_\_

Property Owner #2 Signature \_\_\_\_\_ Print Owner's Name \_\_\_\_\_ Date \_\_\_\_\_

Representative's Name \_\_\_\_\_ Print Representative's Name \_\_\_\_\_ Date \_\_\_\_\_

**Note** - This application, together with twelve (12) stamped and folded copies of the subdivision plan, the application fee, and any required State or Federal Permits and/or copies of Applications must be filed with the Planning Department. Refer to Subdivision Rules and Regulations, Section VII for digital submission requirements. The signed mylar will be held by the Planning Department for filing at the Registry of Deeds. A Memo from the Planning Department is submitted to the Planning Board prior to the meeting explaining your request. A copy can be obtained from the Planning Department.