

T-5047-001 August 5, 2021

Mr. Dexter Legg, Chairman City of Portsmouth Planning Department 1 Junkins Avenue Portsmouth, New Hampshire 03801

Re: Preliminary Conceptual Consultation & Design Review Phase
Proposed Multifamily Development, 2454 Lafayette Road, Portsmouth, NH

Dear Chairman Legg:

On behalf of 2422 Lafayette Road Associates, LLC (owner), and Torrington Properties Inc (applicant), we are pleased to submit the following information to support a Preliminary Conceptual Consultation and a request for Design Review with the Planning Board for the above referenced project:

- One (1) full size copy of the Site Plan Set, dated August 5, 2021;
- One (1) copy of the Architectural Concept Package by Embarc, dated May 24, 2021

The property in question is the former Cinemagic movie theater located at 2454 Lafayette Road which is located in the Gateway Neighborhood Mixed Use Corridor, G1 District. The proposed project consists of the construction of a 5-story, 100-unit multifamily condominium building located in the northern corner of the Portsmouth Green Plaza, with ground floor parking, upper floor residential units, and associated site improvements. The proposed 41,000 SF footprint will be located in the area of the existing 29,000 SF, 1,264 seat cinema that will be demolished. Also, the previously approved 5,000 SF restaurant pad proposed for this area will not be constructed.

The units will be modestly priced and will also contain 20% workforce housing units which will meet the Density Bonus Incentives of section 10.5B70 of the City of Portsmouth Zoning Ordinance. A Conditional Use Permit for the modification of standards will be required for the project, as permitted in section 10.5B74.30 and detailed on the enclosed Site Plan. The project will need to amend the existing Conditional Use Permit for parking that was granted by the Planning Board in August 2019.

Under a separate cover, a Preliminary Conceptual Consultation application fee check of \$200 and a Design Review application fee check of \$500 have been submitted to the Planning Department by the applicant.

As per Section 2.4.2.1 of the Site Plan Regulations, the proposed project is required to meet with the Planning Board for Preliminary Conceptual Consultation Phase. Thus, the applicant respectfully requests to be placed on the August 19, 2021 Planning Board meeting agenda for the Preliminary Conceptual Consultation Phase. In addition, the applicant is seeking to meet with the Planning Board for Design Review Phase. As such, the applicant also respectfully requests a vote from the Planning Board at the August 19, 2021 meeting to accept a request for Design Review Phase so that public hearing can be scheduled for the September 16, 2021 Planning Board meeting.



If you have any questions or need any additional information, please contact Patrick Crimmins by phone at (603) 433-8818 or by email at pmcrimmins@tighebond.com.

Sincerely,

TIGHE & BOND, INC.

Patrick M. Crimmins, PE Senior Project Manager Neil A. Hansen, PE Project Engineer

Copy: 2422 Lafayette Road Associates, LLC (via e-mail)

Torrington Properties Inc (via e-mail)

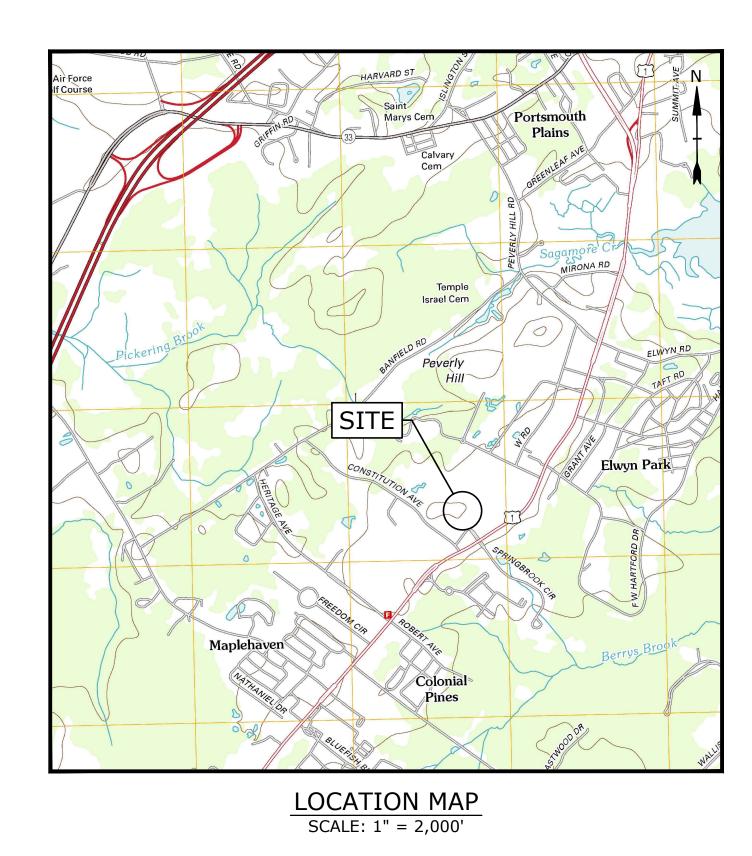
Gregg Mikolaities, August Consulting, PLLC (via e-mail) John Bosen, Bosen & Associates, PLLC (via e-mail)

PROPOSED MULTI-FAMILY DEVELOPMENT PORTSMOUTH GREEN

2454 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE AUGUST 5, 2021

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	8/5/2021
C-101	OVERALL EXISTING CONDITIONS PLAN	8/5/2021
C-101.1	EXISTING CONDITIONS AND DEMOLITION PLAN	8/5/2021
C-102	OVERALL SITE PLAN	8/5/2021
C-102.1	SITE PLAN	8/5/2021
C-103.1	GRADING, DRAINAGE AND EROSION CONTROL PLAN	8/5/2021
C-104	UTILITIES PLAN	8/5/2021
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	8/5/2021
C-502	DETAILS SHEET	8/5/2021
C-503	DETAILS SHEET	8/5/2021
C-504	DETAILS SHEET	8/5/2021
C-505	DETAILS SHEET	8/5/2021

LIST OF PERMIT	TS	
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT		
CONDITIONAL USE PERMIT		
STATE		
NHDES - ALTERATION OF TERRAIN PERMIT		
NHDES - SEWER CONNECTION PERMIT		
NHDOT - DRIVEWAY PERMIT		



PREPARED BY:

177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

OWNERS:

2422 LAFAYETTE ROAD ASSOCIATES, LLC C/O WATERSTONE RETAIL DEVELOPMENT 322 RESERVOIR STREET, 2ND FLOOR NEEDHAM, MASSACHUSETTS 02494

APPLICANT:

TORRINGTON PROERTIES INC 11 ELKINS STREET, SUITE 420 BOSTON, MASSACHUSETTS 02127

SURVEYOR:

DOUCET SURVEY, LLC 102 KENT PLACE NEWMARKET, NH 03857

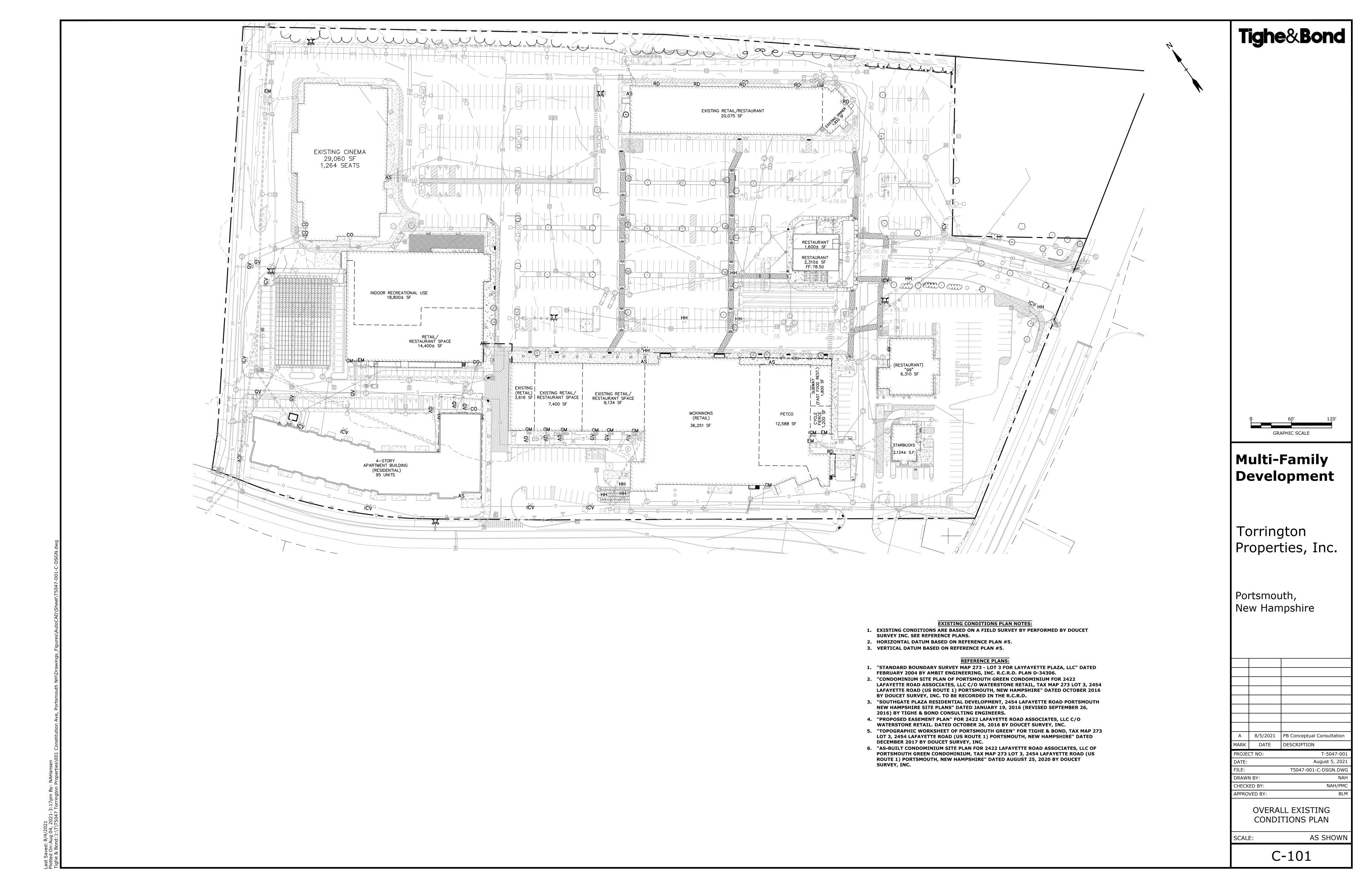
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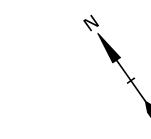
EMBARC STUDIO

580 HARRISON AVENUE, SUITE 2W BOSTON, MASSACHUSETTS 02118

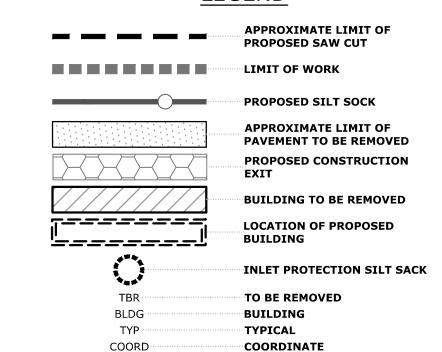
PB CONCEPTUAL CONSULTATION COMPLETE SET 12 SHEETS

T & B PROJECT NO: T-5047-001





LEGEND



DEMOLITION NOTES:

- 1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- 2. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- 3. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
- 4. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- 5. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/
 DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL
 EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 6. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- 8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY
- INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.

 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- 10. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK.
- 11. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
- 12. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE.
 ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE
 CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT
- 13. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
- 14. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- 15. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- 16. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
- 17. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
- PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- 19. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- 20. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- 21. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN



GRAPHIC SCALE

Tighe&Bond

Multi-Family Development

Torrington Properties, Inc.

Portsmouth, New Hampshire

Α	8/5/2021	PB Conceptual Consultation
ARK	DATE	DESCRIPTION
ROJECT NO:		T-5047-00
ATE:		August 5, 202

EXISTING CONDITIONS AND

DEMOLITION PLAN

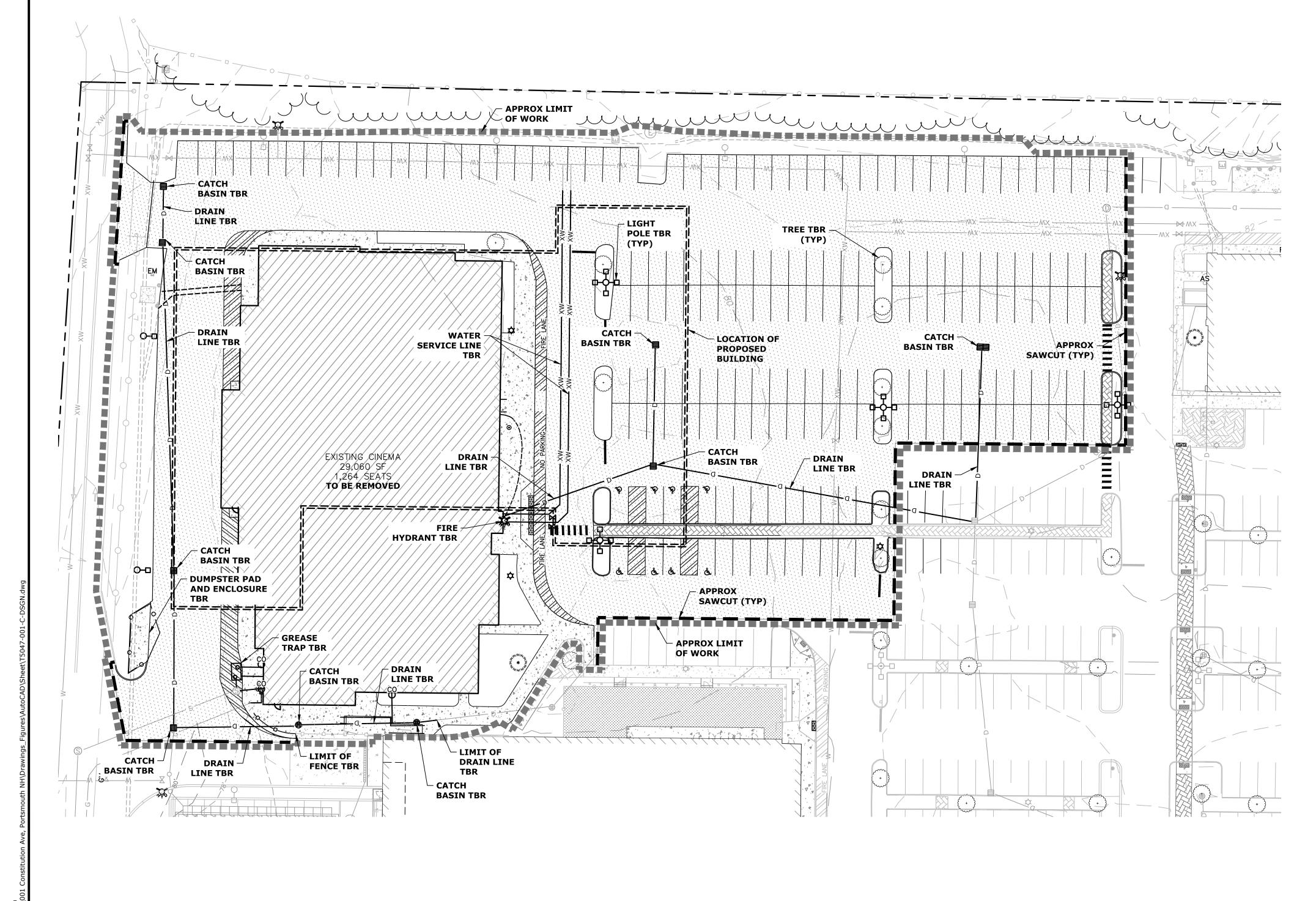
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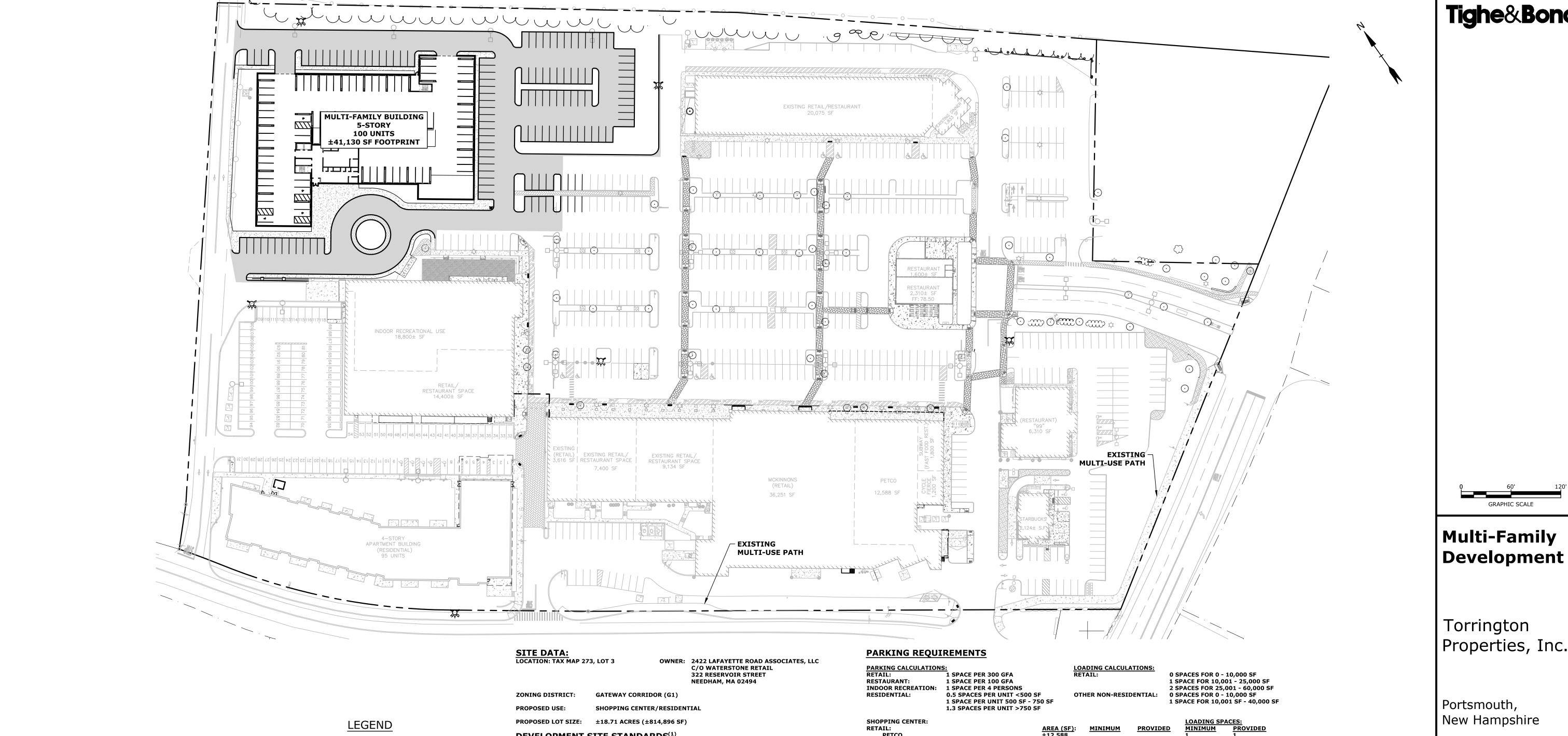
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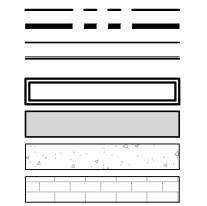
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PROPERTY LINE PROPOSED PROPERTY LINE PROPOSED EDGE OF PAVEMENT PROPOSED CURB

PROPOSED BUILDING PROPOSED PAVEMENT SECTION

PROPOSED CONCRETE SIDEWALK PROPOSED BRICK SIDEWALK

PROPOSED BOLLARD BLDG BUILDING **TYPICAL** TYP COORD COORDINATE 30'R PROPOSED CURB RADIUS PROPOSED VERTICAL GRANITE CURB PROPOSED SLOPED GRANITE CURB

DEVELOPMENT SITE STANDARDS(1) **DEVELOPMENT STANDARDS (MIXED USE):**

PLUS 1-STORY, MAX 10 FT

COMMUNITY SPACE:

MINIMUM DEVELOPMENT SITE AREA	20,000 SF	±814,896 SF
MINIMUM SITE WIDTH:	100 FT	±721 FT
MINIMUM SITE DEPTH:	100 FT	±1,137 FT
MINIMUM PERIMETER BUFFER FROM RESIDENTIAL,		•
MIXED RESIDENTIAL, OR CD4-L1 DISTRICTS:	75 FT	N/A
MAXIMUM DEVELOPMENT BLOCK DIMENSIONS:		•
BLOCK LENGTH:	800 FT	±1,137 FT ⁽²⁾
BLOCK PERIMETER:	2,200 LF	±3,780 LF ⁽²⁾
MAXIMUM BUILDING COVERAGE:	70 %	25.4%
MINIMUM OPEN SPACE COVERAGE:	20%	±20.6%
FRONT LOT LINE BUILDOUT:	75%	0% ⁽²⁾
ILDING DESIGN STANDARDS:		
MAXIMUM BUILDING HEIGHT:	5 STORIES ⁽⁴⁾	5 STORIES
	60 FT ⁽⁴⁾	<60 FT
MINIMUM STREET FACING FACADE HEIGHT:	24 FT	>24 FT
MAXIMUM FINISHED FLOOR SURFACE OF		
GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36 IN
MAXIMUM BUILDING FOOTPRINT:	NR	
MAXIMUM FACADE MODULATION LENGTH:	50 FT	<50 FT
MINIMUM STREET FACING FACADE GLAZING:	20% GROUND FLOOR	>20%
NSITY THRESHOLDS AND BONUSES:		
DWELLING UNITS PER ACRE:	20 UNITS	10.4 UNITS
DWELLING UNITS PER BUILDING:	36 UNITS	100 UNITS ⁽³⁾
	(1)	

<u>REQUIRED</u>

5 STORIES⁽⁴⁾

81,490 SF

5 STORIES

<60 FT

0 SF

(1) - USE OF DEVELOPMENT SITE STANDARDS ALLOWED BY CONDITIONAL USE PERMIT PER 10.5B41.10

WITH APPROVAL FROM THE PLANNING BOARD. (2) - EXISTING NON-CONFORMING CONDITION, MODIFICATION OF STANDARDS ALLOWED BY

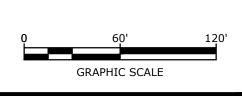
(3) - MODIFICATION OF STANDARDS ALLOWED BY CONDITIONAL USE PERMIT PER 10.5B74.30 FOR THE DEVELOPMENT TO PROVIDE WORKFORCE HOUSING.

(4) - ALLOWED BY CONDITIONAL USE PERMIT PER 10.5B73.10 FOR PROVIDING 20% WORKFORCE

HOPPING CENTER:				LOADING SP.	ACES:
ETAIL:	<u>AREA (SF)</u> :	<u>MINIMUM</u>	<u>PROVIDED</u>	<u>MINIMUM</u>	PROVIDED
PETCO	±12,588			1	1
CYCLE FIERCE	±1,200			0	1
EXISTING RETAIL/RESTAURANT	±20,075			0	1
EXISTING RETAIL/RESTAURANT (MUSE)	±3,616			0	1
EXISTING RETAIL/RESTAURANT (SHIO JAPANESE)	±7,400			0	1
PROPOSED RESTAURANT (OLD BIG LOTS)	±14,400			1	1
INDOOR RECREATIONAL (PINZ)	±18,800			1	1
SUBWAY	±1,800			0	0
THE 99	±6,310			0	1
McKINNON'S	±36,251			2	3
RETAIL	±9,134			0	1
DINER	±1,833			0	1
PROPOSED RESTAURANT	±1,600			1	0
PROPOSED RESTAURANT	±2,310			0	0
STARBUCKS	±2,124			0	1
TOTAL SHOPPING CENTER	±139,441	406 SPACES		8	15
ESIDENTIAL:					
PROPOSED DWELLING UNITS	100 UNITS				
EXISTING DWELLING UNITS	95 UNITS				
VISITOR PARKING					

(1) - PER PARKING DEMAND ANALYSIS PERFORMED BY TIGHE & BOND DATED JULY 18, 2021		
	REQUIRED	PROVIDED
ACCESSIBLE SPACES (2% OF TOTAL): VAN ACCESSIBLE SPACES	15	32
(1 PER 6 ACCESSIBLE SPACES):	2	24
PARKING STALL SIZE:	8.5 FT X 19 FT	8.5 FT X 19 FT
DRIVE AISLE:	24 FT	24 FT, 26 FT
BIKE SPACES REQUIRED:		
DINE OF HOLD REQUIRED.	REQUIRED	PROVIDED
SHOPPING CENTER:		
1 BIKE SPACE / 10 PARKING SPACES		
MAXIMUM OF 30 SPACES	30 SPACES	42 SPACES
RESIDENTIAL:		
EXISTING 95 DWELLING UNITS	19 SPACES	30 SPACES
PROPOSED 100 DWELLING UNITS	20 SPACES	20 SPACES

Tighe&Bond



Torrington Properties, Inc.

Portsmouth, New Hampshire

Α	8/5/2021	PB Conceptual Consultation
ARK	DATE	DESCRIPTION
ROJE	CT NO:	T-5047-003
ATE:		August 5, 2021
ILE:		T5047-001-C-DSGN.DW0

APPROVED BY:

OVERALL SITE PLAN

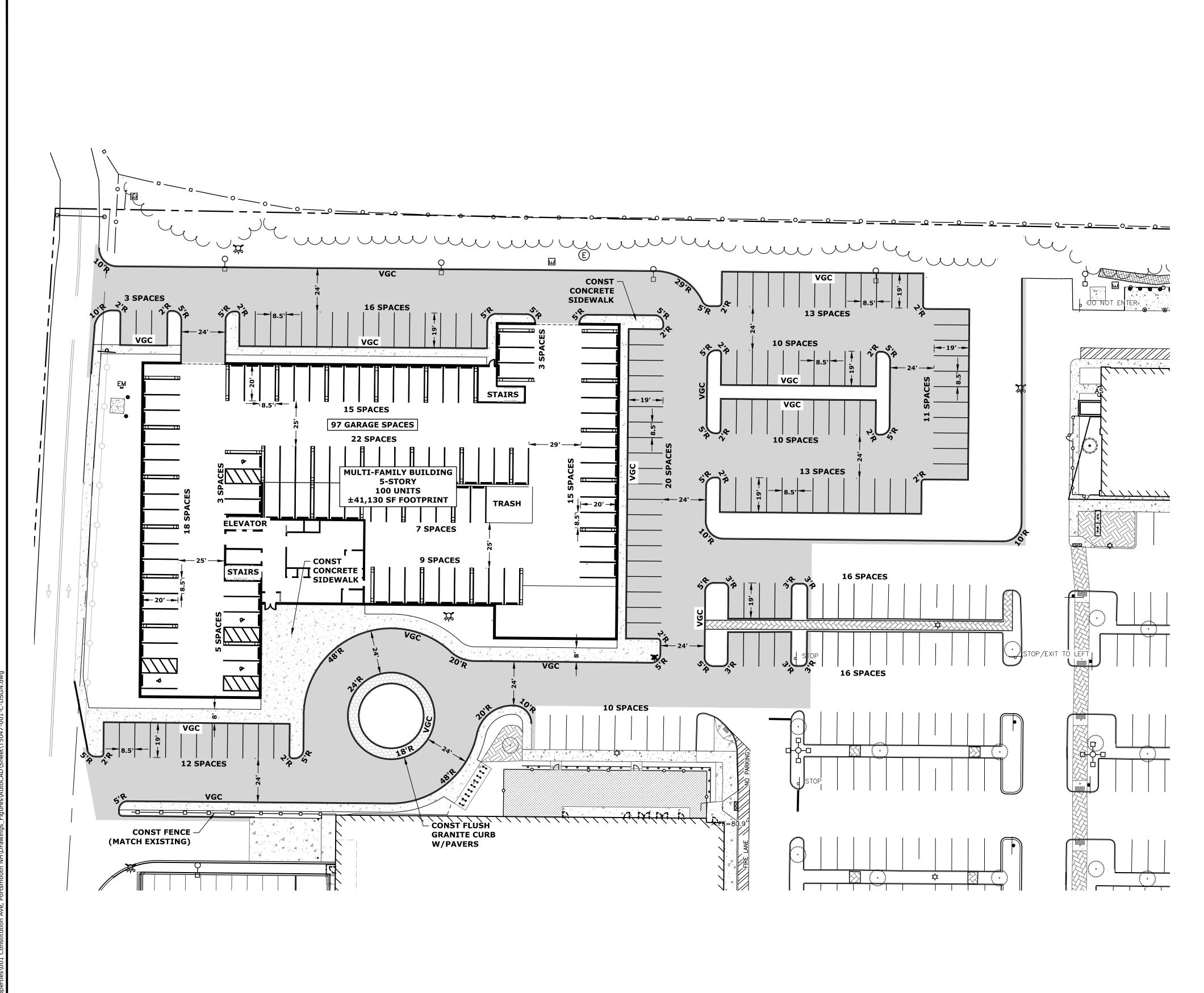
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AS SHOWN

C-102



LEGEND

PROPERTY LINE PROPOSED PROPERTY LINE PROPOSED EDGE OF PAVEMENT **PROPOSED CURB** PROPOSED BUILDING PROPOSED PAVEMENT SECTION PROPOSED CONCRETE SIDEWALK PROPOSED BRICK SIDEWALK PROPOSED BOLLARD BLDG BUILDING TYP **TYPICAL** COORD COORDINATE PROPOSED CURB RADIUS PROPOSED VERTICAL GRANITE CURB PROPOSED SLOPED GRANITE CURB

SITE NOTES:

- 1. STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES SHALL BE THERMOPLASTIC MATERIAL. THERMOPLASTIC MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO AASHTO M249. (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
- 2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- 3. SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- 4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- 5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- 7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- 8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
- 9. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE CITY OF
- 10. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND
- 11. SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS
- 12. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE
- CONSTRUCTION", CURRENT EDITION.

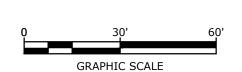
 13. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR
- 14. ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
- 15. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
- 16. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

 17. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO
- THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

 18. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO
- COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.

 19. PROPERTY MANAGEMENT SHALL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM
- ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. SNOW SHALL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF WHEN NECESSARY TO MAINTAIN ADEQUATE SNOW STORAGE AREAS.
- 20. THE APPLICANT SHALL PREPARE A CONSTRUCTION MANAGEMENT AND MITIGATION PLAN (CMMP) FOR REVIEW AND APPROVAL BY THE CITY'S LEGAL AND PLANNING





Multi-Family Development

Torrington Properties, Inc.

Portsmouth, New Hampshire

Α	8/5/2021	PB Conceptual Consultation
MARK	DATE	DESCRIPTION
PROJECT NO:		T-5047-0
DATE:		August 5, 20
FILE:		T5047-001-C-DSGN.DV
DRAWN BY:		

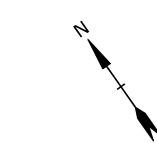
SITE PLAN

CHECKED BY:
APPROVED BY:

NAH/PMC

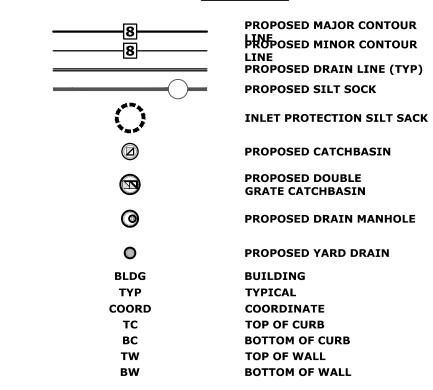
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C-102.1



Tighe&Bond

LEGEND



GRADING AND DRAINAGE NOTES

 COMPACTION REQUIREMENTS:	
BELOW PAVED OR CONCRETE AREAS	95%
TRENCH BEDDING MATERIAL AND	
SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREAS	90%

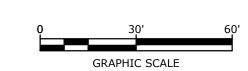
- * ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
- 2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
- 3. SEE UTILITY PLAN FOR ALL SITE UTILITY INFORMATION.
 4. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO
- FINISH GRADE.

 5. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND DONDING AREAS CRITICAL AREAS INCLUDE BUILDING ENTRANCES.
- LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.

 6. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES,
- WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- 7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
- 9. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
- 10. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
- 11. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
- 12. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES)
 ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT.
 AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND
- 13. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

EROSION CONTROL NOTES:

- INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
 SEE GENERAL EROSION CONTROL NOTES ON "EROSION CONTROL NOTES & DETAILS
- SHEET".
- 3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. MAINTAIN FOR THE DURATION OF THE PROJECT.
- 4. INSTALL STABILIZED CONSTRUCTION EXIT(S).
- 5. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
- 6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
- 7. CONSTRUCT EROSION CONTROL BLANKET ON ALL SLOPES STEEPER THAN 3:1.
- 8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
- 9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
- 10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- 11. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL
- SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN FULLY PAVED.
- 12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED WITH PERIMETER CONTROLS AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLANDS.
- 13. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.
 14. CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) SHOOTS ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE



Multi-Family Development

Torrington
Properties, Inc.

Portsmouth, New Hampshire

Α	8/5/2021	PB Conceptual Consultation
1ARK	DATE	DESCRIPTION
PROJECT NO:		T-5047-001

PROJECT NO: T-5047-001

DATE: August 5, 2021

FILE: T5047-001-C-DSGN.DWG

DRAWN BY: NAH

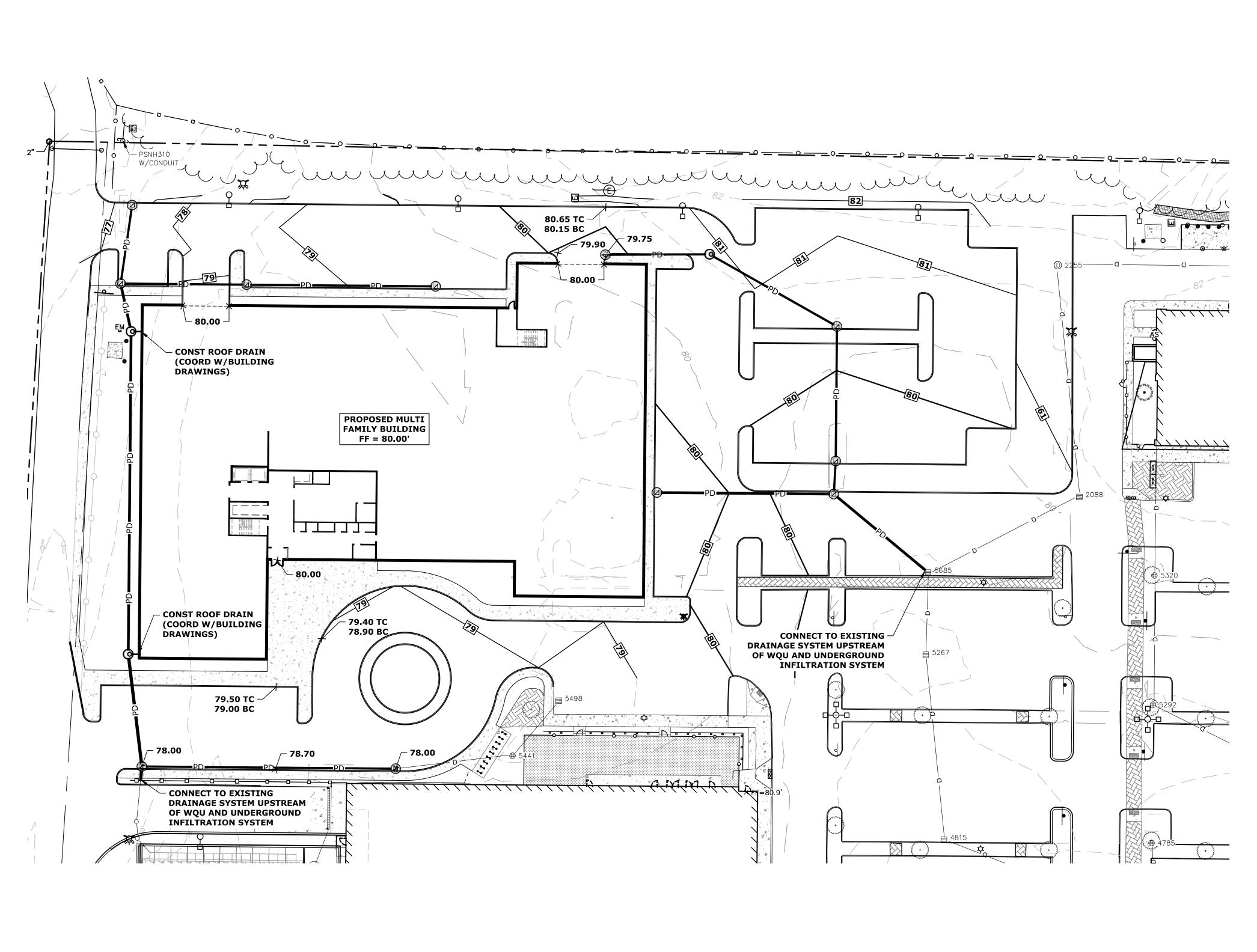
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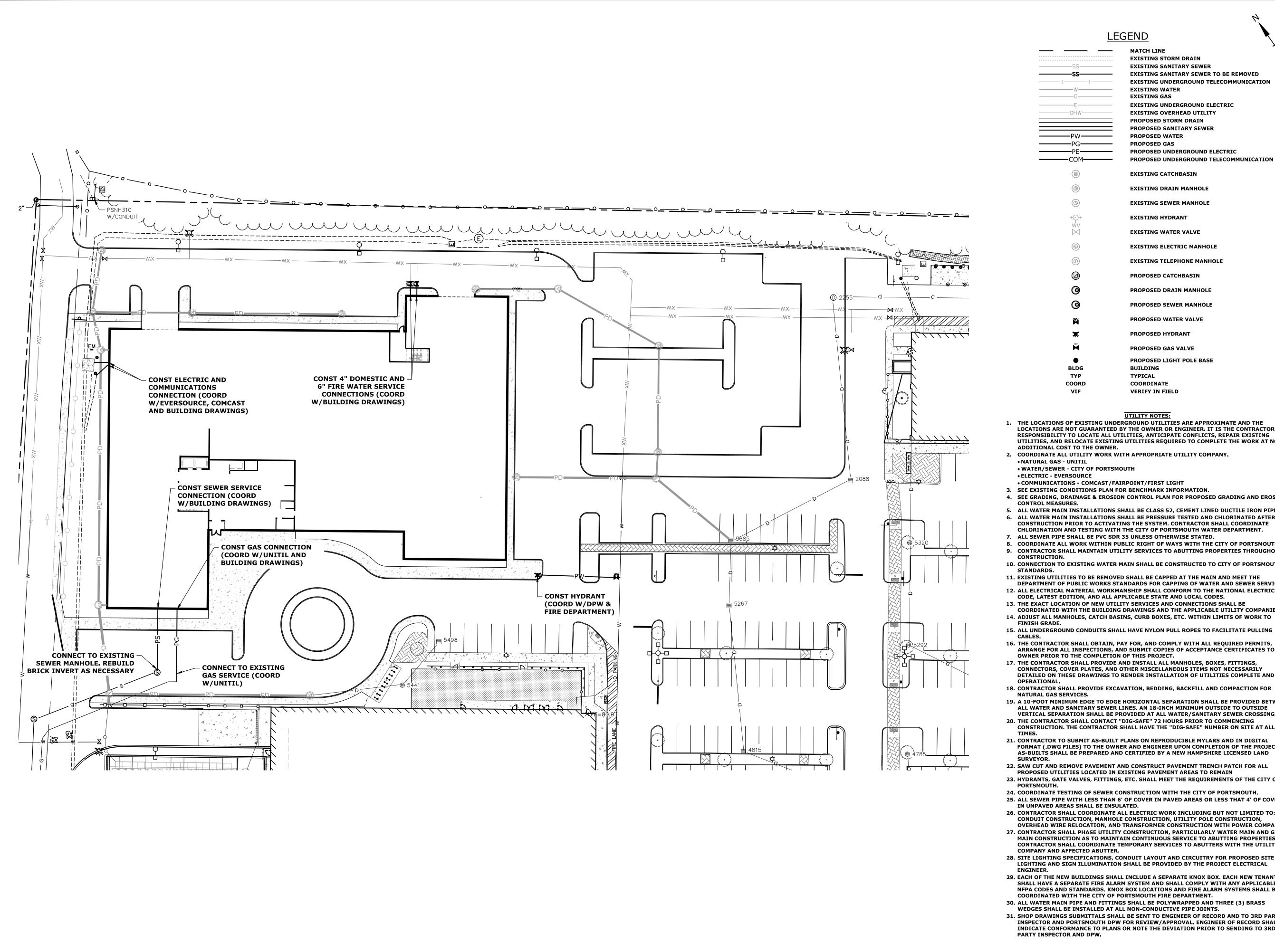
GRADING, DRAINAGE & EROSION CONTROL PLAN

SCALE: AS SHOWN

APPROVED BY:

C-103.1





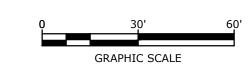
LEGEND

	×
	MATCH LINE
	EXISTING STORM DRAIN
SS	EXISTING SANITARY SEWER
SS	EXISTING SANITARY SEWER TO BE REMOVED
TT	EXISTING UNDERGROUND TELECOMMUNICATION
	EXISTING WATER EXISTING GAS
G	
E	EXISTING UNDERGROUND ELECTRIC
OHW	EXISTING OVERHEAD UTILITY
	PROPOSED STORM DRAIN
	PROPOSED SANITARY SEWER
PW	PROPOSED WATER
———PG———	PROPOSED GAS
PE——	PROPOSED UNDERGROUND ELECTRIC
COM	PROPOSED UNDERGROUND TELECOMMUNICATION
	EXISTING CATCHBASIN
	EXISTING DRAIN MANHOLE
(S)	EXISTING SEWER MANHOLE
+⊙+ WV	EXISTING HYDRANT
×	EXISTING WATER VALVE
©	EXISTING ELECTRIC MANHOLE
(1)	EXISTING TELEPHONE MANHOLE
	PROPOSED CATCHBASIN
©	PROPOSED DRAIN MANHOLE
©	PROPOSED SEWER MANHOLE
×	PROPOSED WATER VALVE
X	PROPOSED HYDRANT
ev M	PROPOSED GAS VALVE
-	PROPOSED LIGHT POLE BASE
BLDG	BUILDING
TYP	TYPICAL
COORD	COORDINATE
VIF	VERIFY IN FIELD

UTILITY NOTES:

- 1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- 2. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY • NATURAL GAS - UNITIL
- WATER/SEWER CITY OF PORTSMOUTH
- ELECTRIC EVERSOURCE
- COMMUNICATIONS COMCAST/FAIRPOINT/FIRST LIGHT 3. SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 4. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION
- 5. ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE. 6. ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE
- CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT. 7. ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 8. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH 9. CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 10. CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH
- STANDARDS. 11. EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE
- DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES. 12. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC
- CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES. 13. THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
- 14. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 15. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING
- ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT. 17. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS,
- CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND 18. CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR
- NATURAL GAS SERVICES.
- 19. A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE
- VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS. 20. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL
- 21. CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND
- 22. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN
- 23. HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF
- 24. COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH. 25. ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER
- IN UNPAVED AREAS SHALL BE INSULATED. 26. CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO:
- CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY. 27. CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS
- MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER. 28. SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE
- LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL 29. EACH OF THE NEW BUILDINGS SHALL INCLUDE A SEPARATE KNOX BOX. EACH NEW TENANT SHALL HAVE A SEPARATE FIRE ALARM SYSTEM AND SHALL COMPLY WITH ANY APPLICABLE
- NFPA CODES AND STANDARDS. KNOX BOX LOCATIONS AND FIRE ALARM SYSTEMS SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH FIRE DEPARTMENT. 30. ALL WATER MAIN PIPE AND FITTINGS SHALL BE POLYWRAPPED AND THREE (3) BRASS
- WEDGES SHALL BE INSTALLED AT ALL NON-CONDUCTIVE PIPE JOINTS. 31. SHOP DRAWINGS SUBMITTALS SHALL BE SENT TO ENGINEER OF RECORD AND TO 3RD PARTY INSPECTOR AND PORTSMOUTH DPW FOR REVIEW/APPROVAL. ENGINEER OF RECORD SHALL INDICATE CONFORMANCE TO PLANS OR NOTE THE DEVIATION PRIOR TO SENDING TO 3RD PARTY INSPECTOR AND DPW.

Tighe&Bond



Multi-Family Development

Torrington Properties, Inc.

Portsmouth, New Hampshire

Α	8/5/2021	PB Conceptual Consultation
ARK	DATE	DESCRIPTION
ROJECT NO:		T-5047-00
ΔΤΕ·		August 5, 202

DRAWN BY: CHECKED BY: NAH/PMC PPROVED BY:

T5047-001-C-DSGN.DWG

UTILITIES PLAN

AS SHOWN

C-104

PROJECT OWNER: 2422 LAFAYETTE ROAD ASSOC LLC C/O WATERSTONE RETAIL 322 RESERVOIR STREET

PROJECT NAME: PORTSMOUTH GREEN - MULTI-FAMILY DEVELOPMENT

NEEDHAM, MA 02494

2454 LAFAYETTE ROAD PROJECT ADDRESS: PORTSMOUTH, NH 03801

PROJECT MAP / LOT: MAP 273 / LOT 3 PROJECT LATITUDE: 43.036120 N PROJECT LONGITUDE: -70.784829 W

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF DEMOLITION OF THE EXISTING CINEMA AND THE CONSTRUCTION OF A PROPOSED 100-DWELLING UNIT MULTI-FAMILY RESIDENTIAL BUILDING

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 3.5 ACRES.

SOIL CHARACTERISTICS

BASED ON THE NRCS WEB SOIL SURVEY FOR ROCKINGHAM COUNTY - NEW HAMPSHIRE THE SOILS ON SITE CONSIST OF MOSTLY URBAN SOILS WHICH HAVE UNKNOWN DRAINAGE PROPERTIES.

NAME OF RECEIVING WATERS

THE STORMWATER RUNOFF WILL BE COLLECTED IN A CLOSED DRAINAGE SYSTEM WHICH ULTIMATELY DISCHARGES TO THE LITTLE HARBOR.

CONSTRUCTION SEQUENCE OF MAJOR ACTIVITIES:

- CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
- NEW CONSTRUCTION CONTROL OF DUST
- NEARNESS OF CONSTRUCTION SITE TO RECEIVING WATERS
- CONSTRUCTION DURING LATE WINTER AND EARLY SPRING ALL PERMANENT DITCHES, SWALES, DETENTION, RETENTION AND SEDIMENTATION BASINS TO BE STABILIZED USING THE VEGETATIVE AND NON-STRUCTURAL BMPS PRIOR TO DIRECTING
- RUNOFF TO THEM. CLEAR AND DISPOSE OF DEBRIS.
- CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
- GRADE AND GRAVEL ROADWAYS AND PARKING AREAS ALL ROADS AND PARKING AREA SHALL
- BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, PERIMETER EROSION CONTROL MEASURES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
- FINISH PAVING ALL ROADWAYS AND PARKING LOTS INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES
- COMPLETE PERMANENT SEEDING AND LANDSCAPING. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

SPECIAL CONSTRUCTION NOTES:

- THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE. THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF
- RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
- LIMIT THE LENGTH OF EXPOSURE OF UNSTABILIZED SOIL TO 45 DAYS OR LESS.

EROSION CONTROL NOTES:

- ALL EROSION CONTROL MEASURES AND PRACTICES SHALL CONFORM TO THE "NEW HAMPSHIRE STORMWATER MANUAL VOLUME 3: EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION" PREPARED BY THE NHDES.
- PRIOR TO ANY WORK OR SOIL DISTURBANCE, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR EROSION CONTROL MEASURES AS REQUIRED IN THE PROJECT MANUAL. CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL BARRIERS, INCLUDING HAY BALE,
- SILT FENCES, MULCH BERMS, INLET PROTECTION AND SILT SOCKS AS SHOWN IN THESE DRAWINGS AS THE FIRST ORDER OF WORK.
- INLET PROTECTION SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AND BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- PERIMETER CONTROLS INCLUDING SILT FENCES, MULCH BERM, SILT SOCK, AND/OR HAY BALE BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT UNTIL NON-PAVED AREAS HAVE BEEN STABILIZED.
- THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
- ALL DISTURBED AREAS NOT OTHERWISE BEING TREATED SHALL RECEIVE 6" LOAM, SEED AND
- FERTILIZER. INSPECT ALL INLET PROTECTION AND PERIMETER CONTROLS WEEKLY AND AFTER EACH RAIN
- STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT. CONSTRUCT EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 3:1.

- AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
- A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED; C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN
- INSTALLED;
- D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED. WINTER STABILIZATION PRACTICES:
- A. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS
- OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS; B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR
- THE DESIGN FLOW CONDITIONS; C. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;
- STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
- A. TEMPORARY SEEDING; B. MULCHING.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT FENCES, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
- DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE

FILTERED THROUGH SILT FENCES, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY NOVEMBER 15.

- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE
- CONSTRUCTION PERIOD. 2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY
- 3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

. LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND

MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

- CULVERTS. 2. ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES
- PRIOR TO THE ONSET OF PRECIPITATION. 3. PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO

ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE

INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY. 4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT

OFF SITE VEHICLE TRACKING:

1. THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) PRIOR TO ANY EXCAVATION ACTIVITIES.

- TEMPORARY GRASS COVER:
- A. SEEDBED PREPARATION: a. APPLY FERTILIZER AT THE RATE OF 600 POUNDS PER ACRE OF 10-10-10. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE;
- a. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE;
- b. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED;
- c. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY
- INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING; C. MAINTENANCE:
- a. TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
- VEGETATIVE PRACTICE:
- A. FOR PERMANENT MEASURES AND PLANTINGS:
- a. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5;
- FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 800 POUNDS PER ACRE OF 10-20-20 **FERTILIZER**
- c. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH
- SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH;
- e. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE; THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED;
- THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED; h. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE
- APPLIED AT THE INDICATED RATE:
 - APPLICATION RATE CREEPING RED FESCUE 20 LBS/ACRE TALL FESCUE 20 LBS/ACRE
- 2 LBS/ACRE IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
- 3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL): A. FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

CONCRETE WASHOUT AREA:

REDTOP

- THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:
- A. THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
- B. IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
- C. CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS; D. INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN

ALLOWABLE NON-STORMWATER DISCHARGES:

MATERIALS NEED TO BE REMOVED.

- FIRE-FIGHTING ACTIVITIES;
- . FIRE HYDRANT FLUSHING; 3. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- 4. WATER USED TO CONTROL DUST;
- 5. POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING; ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- 7. PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- 8. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- UNCONTAMINATED GROUND WATER OR SPRING WATER; 10. FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- 11. UNCONTAMINATED EXCAVATION DEWATERING;
- 12. LANDSCAPE IRRIGATION.

WASTE DISPOSAL

- WASTE MATERIAL ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
- NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
- C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.

- 2. HAZARDOUS WASTE:
- A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
- B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE:
- A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION:

- CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
- THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
- A. GOOD HOUSEKEEPING THE FOLLOWING GOOD HOUSEKEEPING PRACTICE SHALL BE
- FOLLOWED ON SITE DURING CONSTRUCTION: a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE;
- b. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;
- c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED;
- d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE
- f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE
- B. HAZARDOUS PRODUCTS THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS | 3.
- ASSOCIATED WITH HAZARDOUS MATERIALS: g. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT
- h. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION; i. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO
- THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL PRODUCT SPECIFIC PRACTICES - THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
- a. PETROLEUM PRODUCTS: a.1. ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE;
- a.2. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- b. FERTILIZERS: b.1. FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS;
- b.2. ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER;
- b.3. STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- c. PAINTS: c.1. ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR
- c.2. EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM c.3. EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S
- INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
- a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES; b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT

BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER,

SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE; ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;

d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR

- APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE: e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE
- LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED; f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
- VEHICLE FUELING AND MAINTENANCE PRACTICE: a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPTMENT/VEHICAL FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY;
- b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY;
- c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED;
- d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA;
- e. CONTRACTOR SHALL REGULARLY INSPECT VEHICLES FOR LEAKS AND DAMAGE; f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES

THE ENGINEER, THE OWNER, AND THE CONTRACTOR;

- 1. THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS REQUIRES A SWPPP. THE SWPPP SHALL BE PREPARED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ONSITE AT ALL TIMES.
- 2. THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT: A. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE
- CONTRACTOR AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR

B. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO

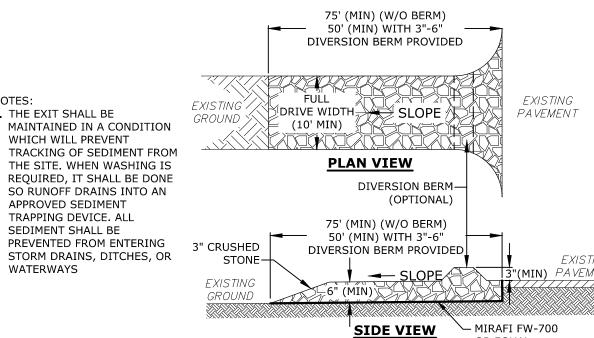
C. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES;

D. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

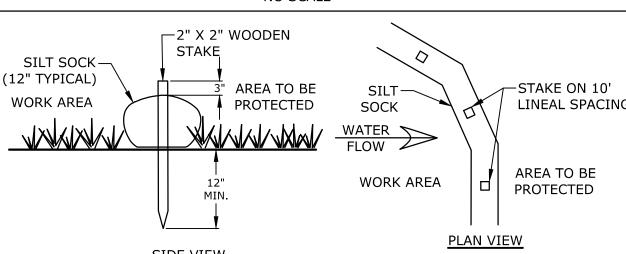
PERFORATED RISER DIKE, IF **PLAN VIEW** IF USING PIPE NECESSARY, WEIR OR OUTLET TO DIVERT EMBANKMENT IF FLOW INTO USING STONE -EXCAVATION FOR OUTLET OR PIPE REQUIRED STORAGE OUTLET 3:1 MAX. SLOPE SIDE SLOPES TO SECTION VIEW BE STABILIZED

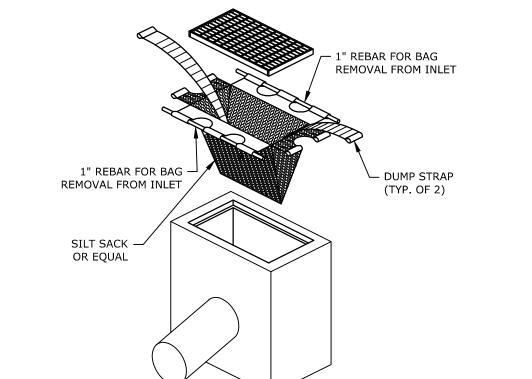
- THE TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE THE MAXIMUM CONTRIBUTING AREA TO A SINGLE TRAP SHALL BE LESS THAN 5
- THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600 CUBIC FEET OF STORAGE FOR EACH ACRE OF DRAINAGE AREA.
- TRAP OUTLET SHALL BE MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP. TRAP SHALL DISCHARGE TO A STABILIZED AREA.
- TRAP SHALL BE CLEANED WHEN 50 PERCENT OF THE ORIGINAL VOLUME IS FILLED. MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED
- SEDIMENT TRAPS MUST BE USED AS NEEDED TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED.

SEDIMENT TRAP NO SCALE



STABILIZED CONSTRUCTION EXIT NO SCALE





INLET PROTECTION BARRIER SHALL BE SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INLET PROTECTION BARRIER SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASINS LOCATE

WITHIN THE LIMIT OF WORK SILT SACK SHALL BE INSPECTED REGULARLY AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER

INLET PROTECTION BARRIER

Multi-Family Development

Torrington Properties, Inc.

Portsmouth,

A 8/5/2021 PB Conceptual Consultation MARK DATE DESCRIPTION PROJECT NO: T-5047-00 August 5, 202 T5047-001-C-DTLS.DW0 DRAWN BY: CHECKED BY NAH/PMC APPROVED BY:

EROSION CONTROL NOTES

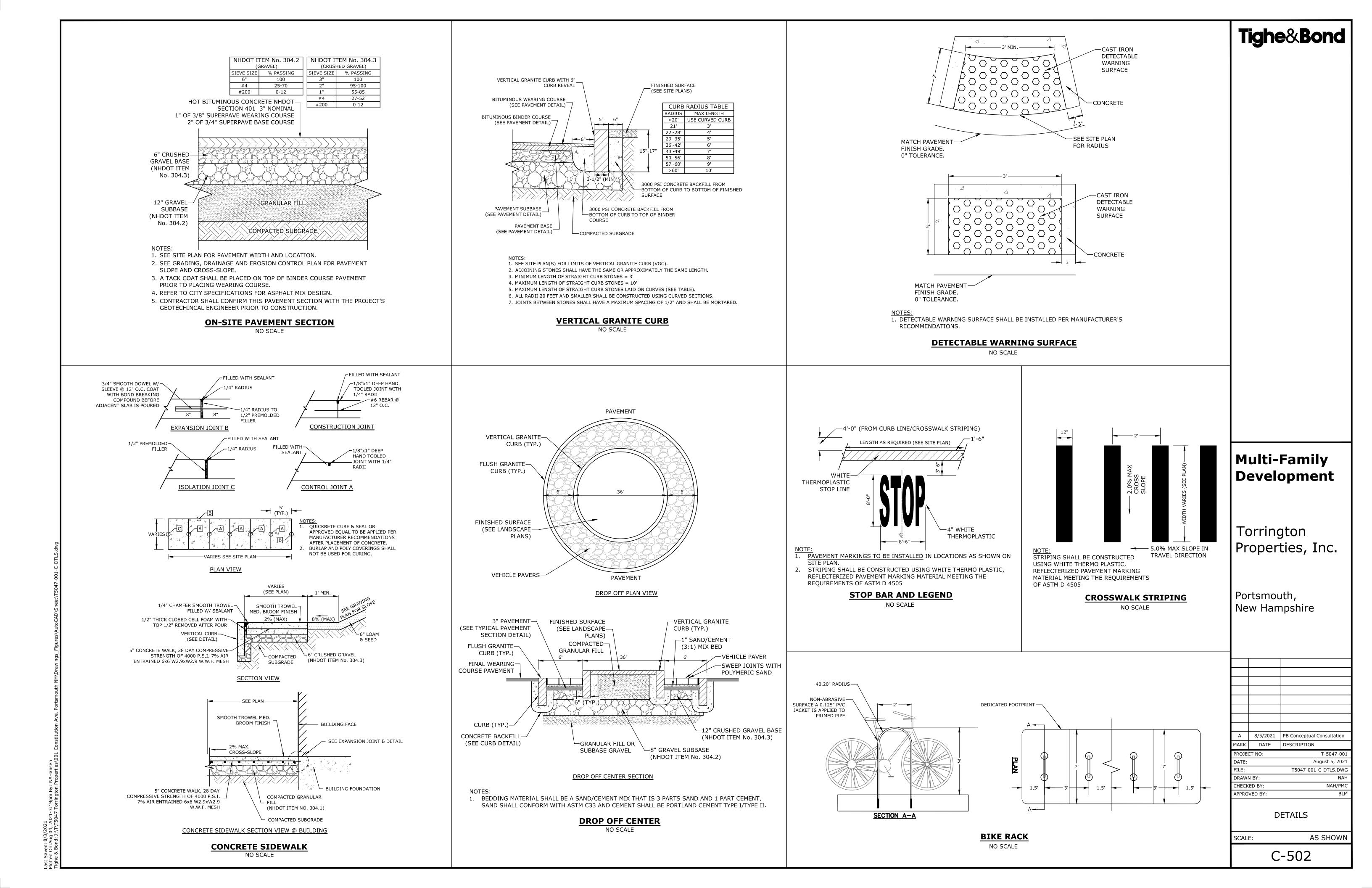
AS SHOWN

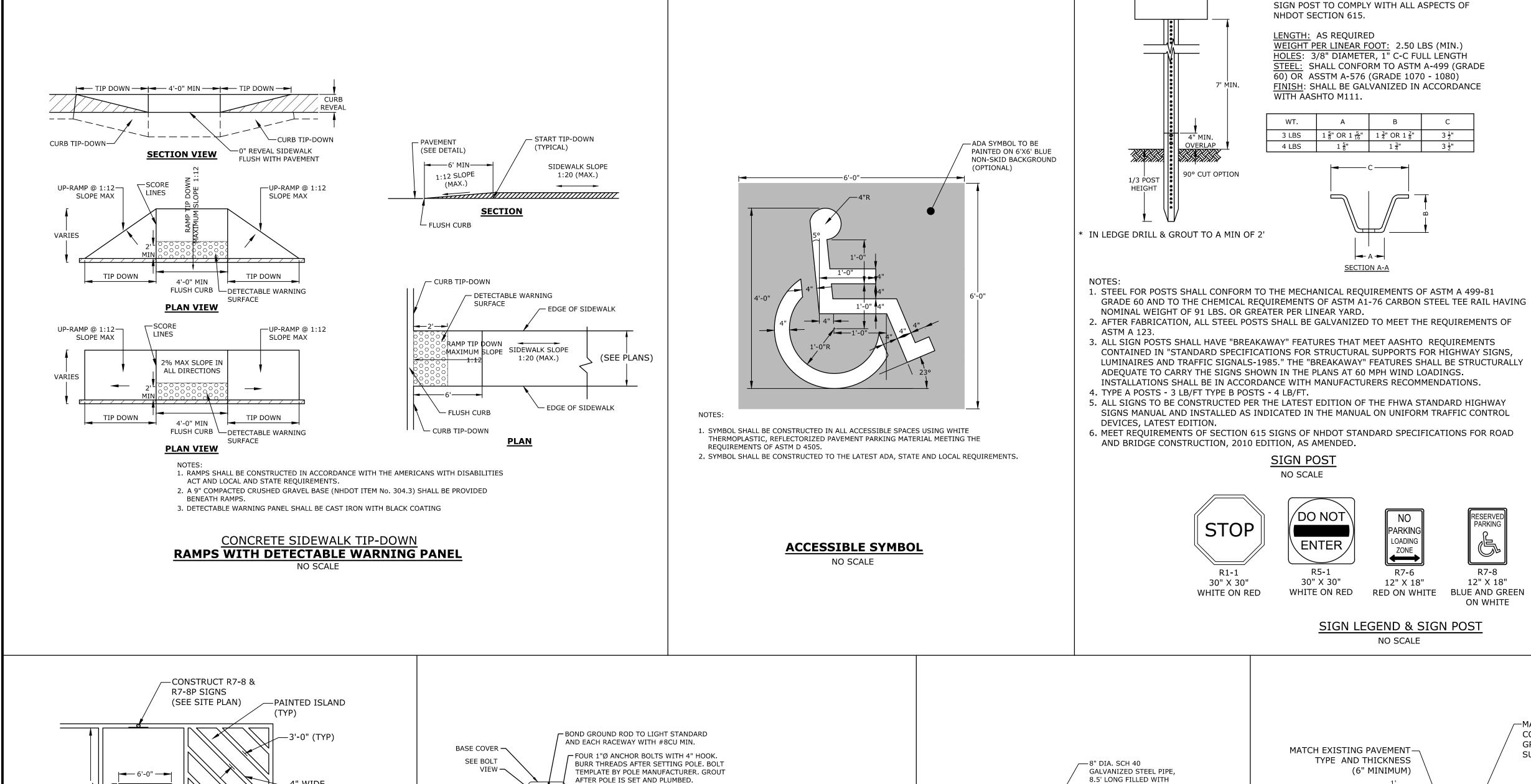
SCALE: C-501

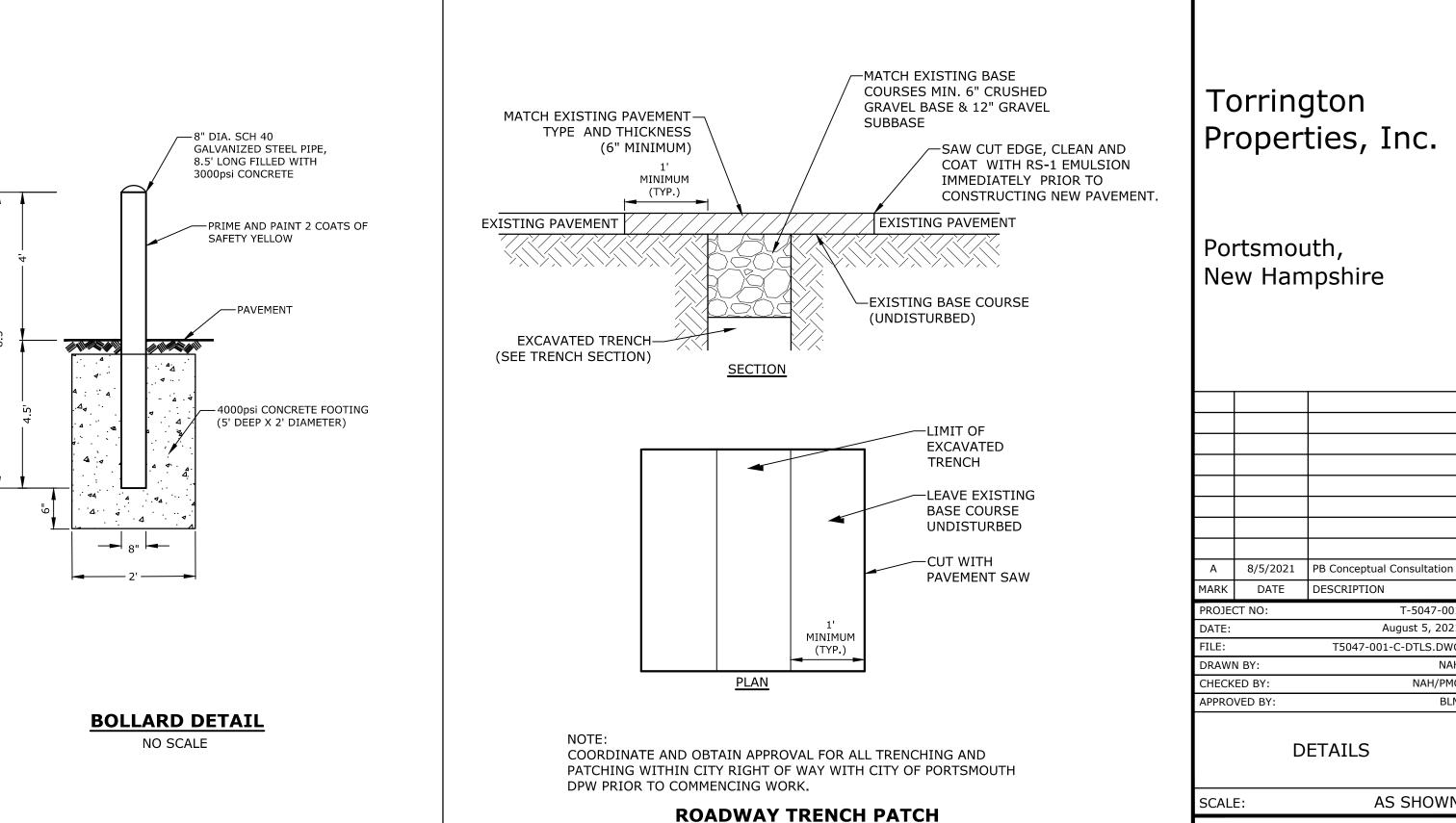
SIDE VIEW 1. SILT SOCK SHALL BE SILT SOXX BY FILTREXX OR APPROVED EQUAL. 2. SILT SOCK SHALL BE FILLED WITH FILTERMEDIA BY FILTREXX OR APPROVED EQUAL 3. WHERE TWO SILT SOCKS ARE JOINED, A MINIMUM OF 2 FEET OF OVERLAP SHALL BE MAINTAINED. 4. SILT SOCKS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. 5. CONTRACTOR TO INSTALL SILT SOCK IN J-HOOK OR SMILE CONFIGURATION TO LIMIT CONCENTRATION OF STORMWATER RUNOFF AT A SINGLE DISCHARGE POINT. SILT SOCK NO SCALE

OR EQUAL

New Hampshire







NO PARKING

OADING ZONE

R7-6

12" X 18"

NO SCALE

R7-8

12" X 18"

BLUE AND GREEN

ON WHITE

NO SCALE

3 1 "

Tighe&Bond

Multi-Family

Development

T-5047-00

NAH/PMC

August 5, 202

AS SHOWN

C-503

T5047-001-C-DTLS.DW0

-SIGN

-SIGN POST

-8" DIA. SCH 40

STEEL PIPE, 8.5'

-PRIME AND

OF SAFETY

YELLOW

BOLLARD MOUNTED

SIGN DETAIL

NO SCALE

ACCESSIBLE

R7-8P

18" X 9"

GREEN ON WHITE

LONG FILLED WITH

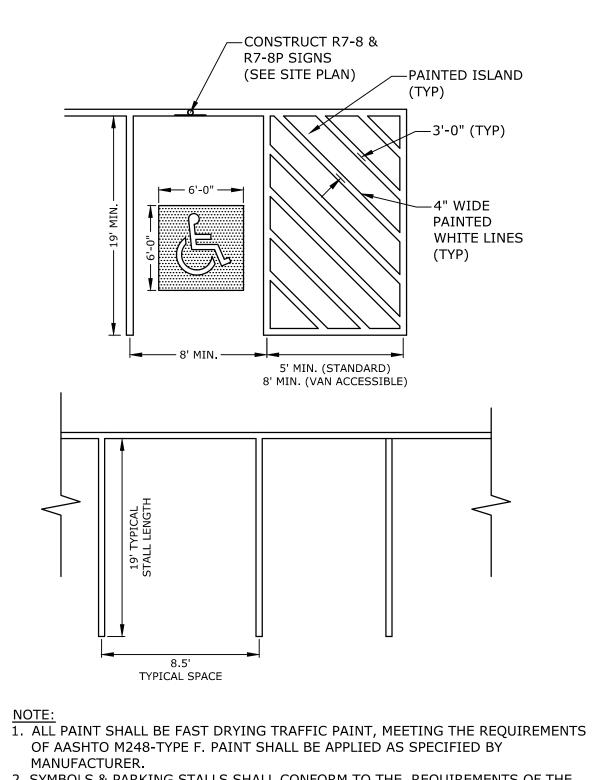
3000psi CONCRETE

PAINT 2 COATS

—PAVEMENT

-4000psi

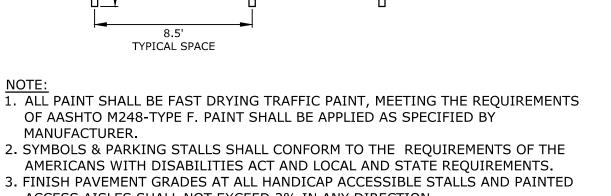
CONCRETE FOOTING (5' DEEP X 2' DIAMETER)

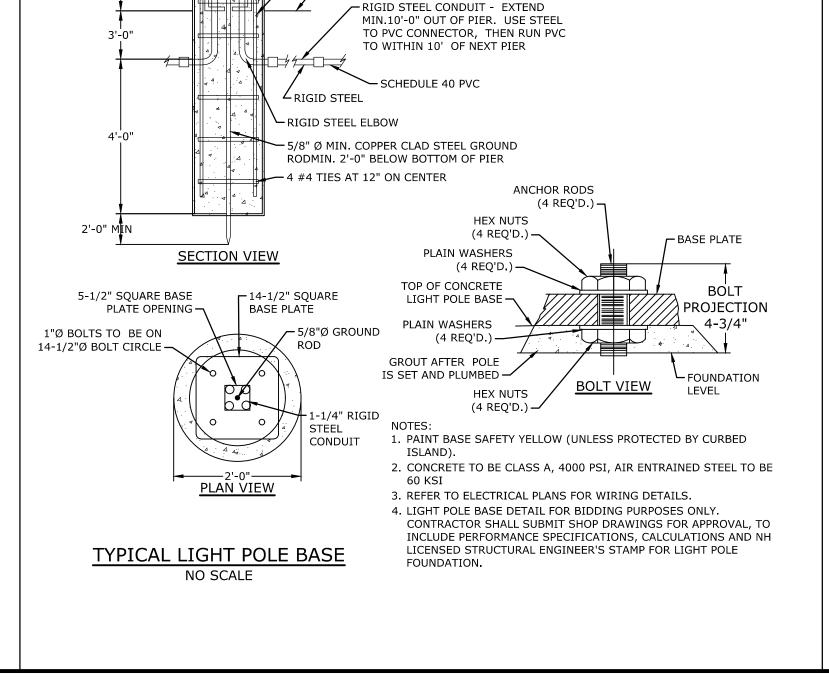


STALL STRIPING

NO SCALE

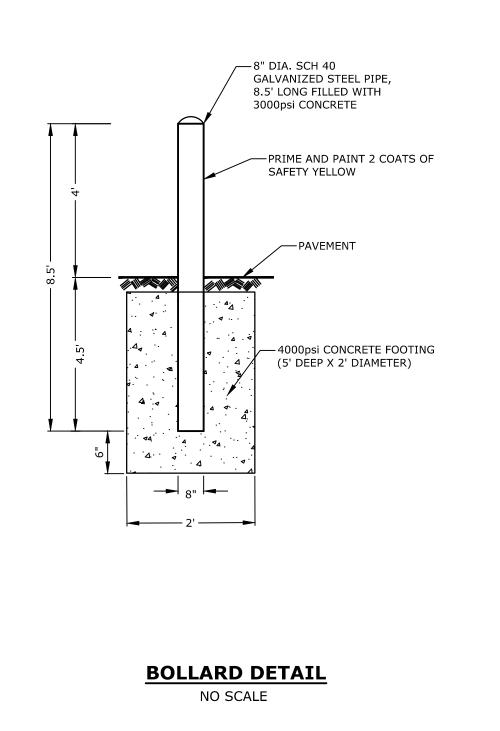
ACCESS AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.

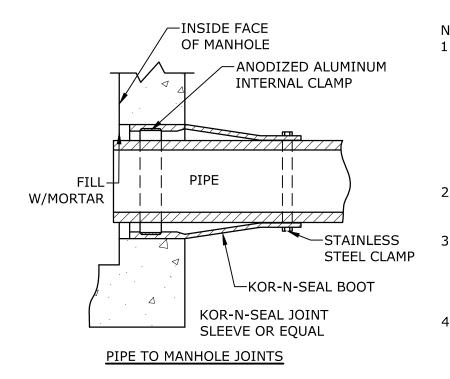




- 4 #4 TIES AT 6" ON CENTER

→ 6 #8 VERTICAL TIES FINISH GRADE





NOTES:

1. HORIZONTAL JOINTS BETWEEN
THE SECTIONS OF PRECAST
CONCRETE BARRELS SHALL BE
PER CITY OF PORTSMOUTH DPW
STANDARD AND SHALL BE
SEALED FOR WATERTIGHTNESS
USING A DOUBLE ROW

ELASTOMERIC OR MASTIC-LIKE

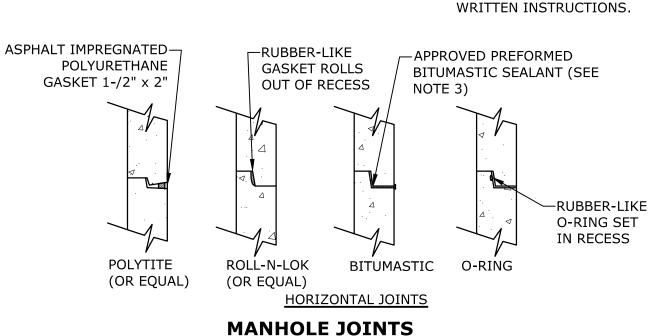
GASKET.

2. PIPE TO MANHOLE JOINTS
SHALL BE PER CITY OF
PORTSMOUTH STANDARD.

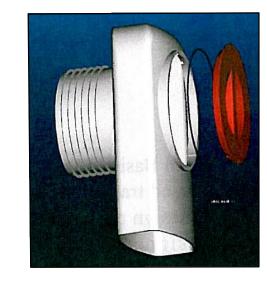
3. FOR BITUMASTIC TYPE JOINTS
THE AMOUNT OF SEALANT
SHALL BE SUFFICIENT TO FILL
AT LEAST 75% OF THE JOINT

CAVITY.

4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS'



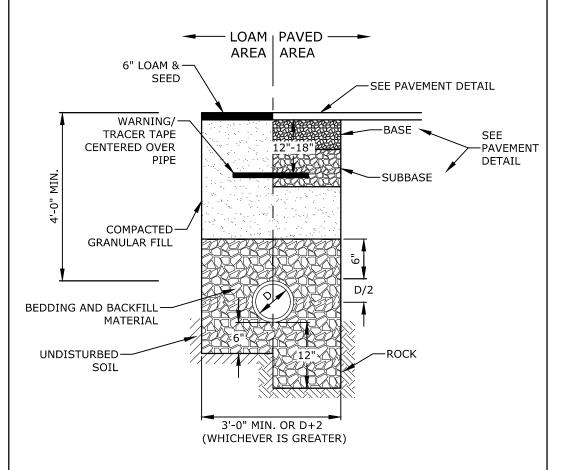
NO SCALE



NOTES:

- 1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)
- 2. INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
- 3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

"ELIMINATOR" OIL FLOATING
DEBRIS TRAP
NO SCALE



NOTE:

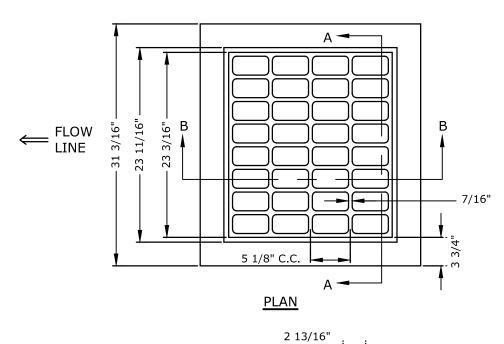
1. CRUSHED STONE BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6"
BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 6" ABOVE TOP OF PIPE.

2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY

STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY
COMPANIES AND THE CITY OF PORTSMOUTH.

ORAIN LINE SHALL BE INSULATED WHERE THERE IS LESS THAN 6' OF COVER IN PAVED AREAS AND LESS THAN 4' OF COVER IN NON-PAVED AREAS.

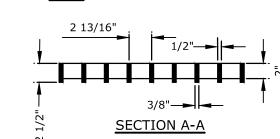
STORM DRAIN TRENCH

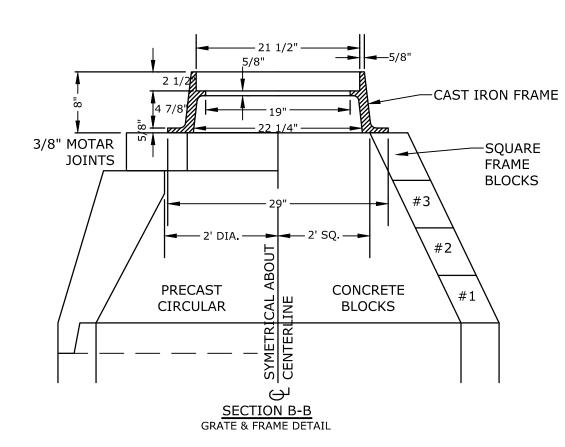


NOTE:

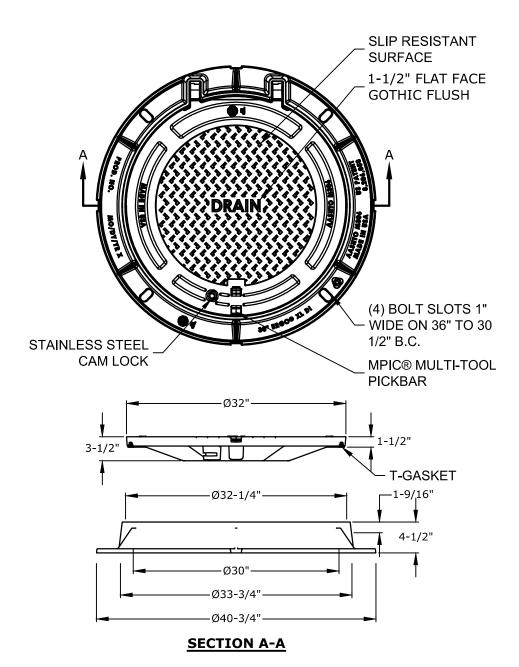
1. GRATE TO BE CAST IRON
(NHDOT TYPE B)

2. FRAME AND GRATE TO BE
MANUFACTURED IN THE USA





CATCH BASIN FRAME & GRATE
NO SCALE

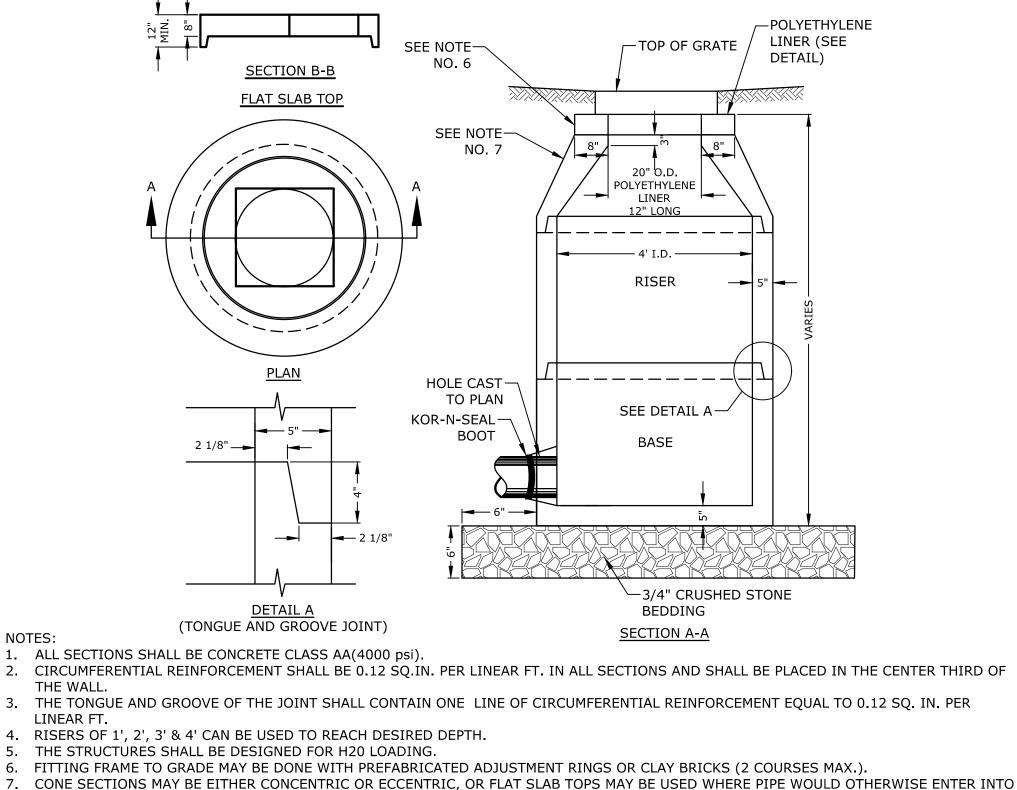


NOTES:

- 1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL
- BY EJ CO.
 2. ALL DIMENSIONS ARE NOMINAL.
- . FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
- A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
 B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR
- ACCOMMODATIONS.

 C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
- 4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN HE CENTER OF THE COVER.

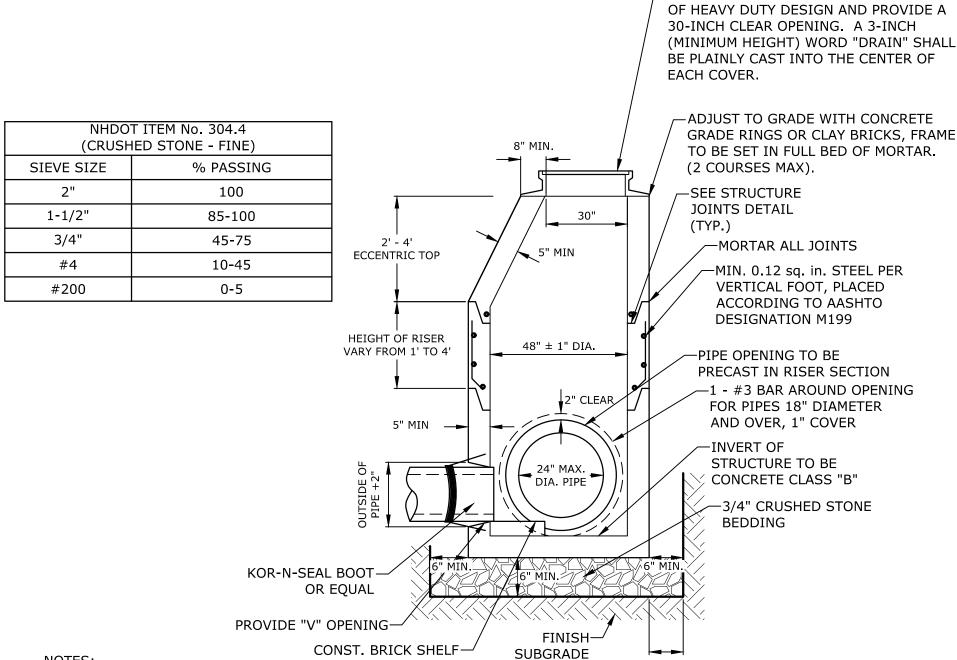
DRAIN MANHOLE FRAME & COVER NO SCALE



11. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT

4' DIAMETER CATCHBASIN

10. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL



NOTES:
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.

THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED.

BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.

8. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.

9. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.

- CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
- 3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
- 4. THE STRUCTURES SHALL BE DESIGNED FOR H20 LOADING.
- 5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS)
- 6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
- PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
- 9. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
- 10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZNTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

4' DIAMETER DRAIN MANHOLE

NO SCALE

Multi-Family Development

-MANHOLE FRAMES AND COVERS SHALL BE

Tighe&Bond

Torrington
Properties, Inc.

Portsmouth, New Hampshire

Α	8/5/2021	PB Conceptual Consultation	
1ARK	DATE	DESCRIPTION	
PROJE	CT NO:	T-5047-001	
DATE:		August 5, 2021	
FILE:		T5047-001-C-DTLS.DWG	
ORAWN BY:		NAH	

DETAILS

NAH/PMC

SCALE: AS SHOWN

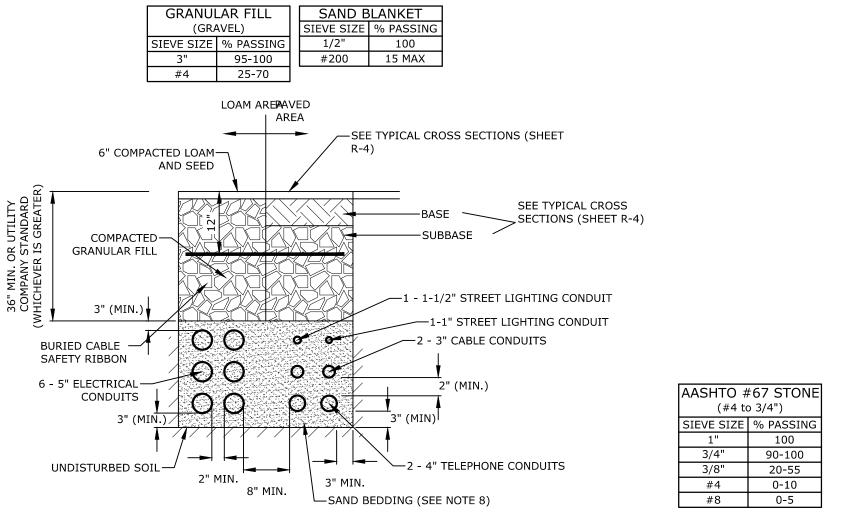
CHECKED BY:

APPROVED BY:

C-504

Last Saved: 8/3/2021 Plotted On: Aug 04, 2021-3:19pm By: NAHansen

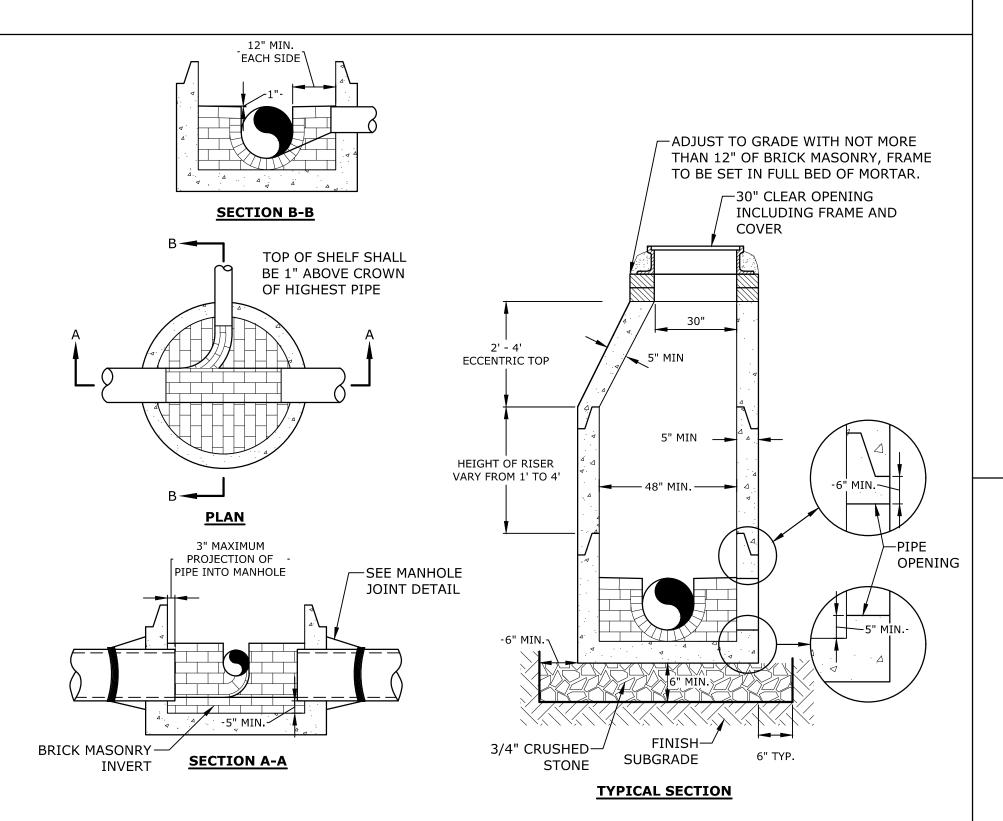
IO SCALE



- 1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS.
- CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING. 2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY
- STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
- 3. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS. 4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO
- 5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL
- REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER. 6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES
- AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE. 7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.
- 8. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR
- WHERE SHOWN ON THE UTILITIES PLAN.

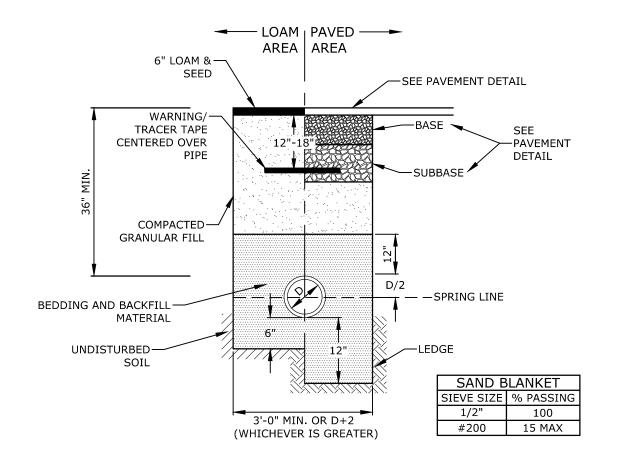
ELECTRICAL AND COMMUNICATION CONDUIT

NO SCALE



- 1. INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
- 2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
- 3. INVERT BRICKS SHALL BE LAID ON EDGE.
- 4. TWO (2) COATS OF BITUMINOUS WATERPROOF COATING SHALL BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE 5. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY EJ. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A
- 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER. 6. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT. 7. BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H20 LOADING, AND CONFORMING TO

SEWER MANHOLE

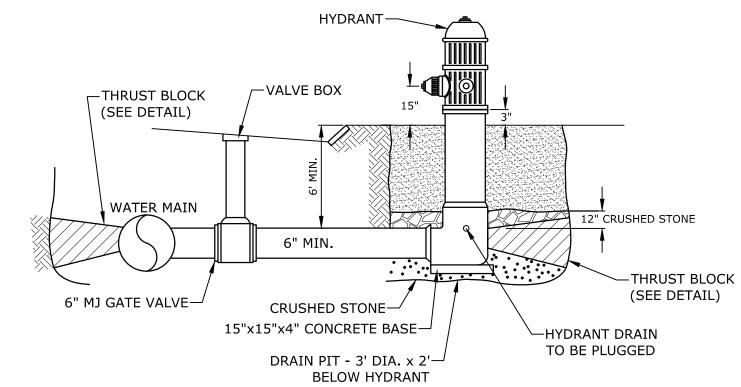


- 1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE
- 2. GAS LINE SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY/TOWN OF ????.

GAS TRENCH

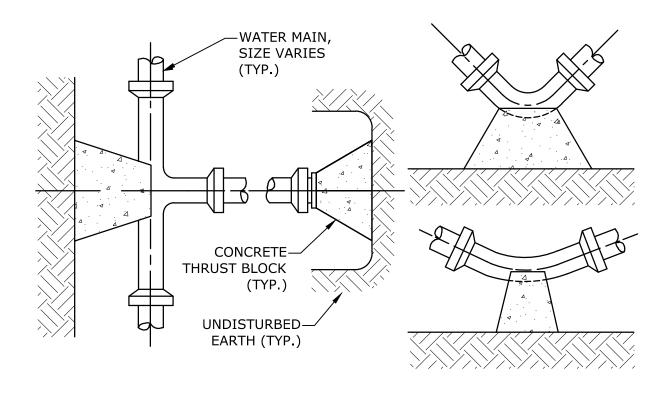
NO SCALE





- 1. HYDRANT TO BE KENNEDY TYPE K-81, RIGHT OPEN (NO EQUAL). COORDINATE WITH CITY OF PORTSMOUTH
- WATER DEPARTMENT AND CITY OF PORTSMOUTH FIRE DEPARTMENT. 2. PAINT HYDRANT IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS AFTER INSTALLATION AND TESTING.

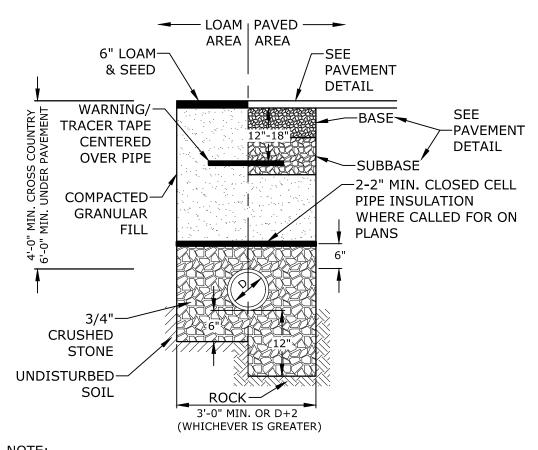
FIRE HYDRANT



200psi	SQUARE FEET OF CONCRETE THRUST BLOCKING BEARING ON UNDISTURBED MATERIAL					
	REACTION TYPE	PIPE SIZE				
PRESSURE =		4"	6"	8"	10"	12"
	A 90°	0.89	2.19	3.82	11.14	17.24
RES	B 180°	0.65	1.55	2.78	8.38	12.00
	C 45°	0.48	1.19	2.12	6.02	9.32
TEST	D 22-1/2°	0.25	0.60	1.06	3.08	4.74
	E 11-1/4°	0.13	0.30	0.54	1.54	2.38

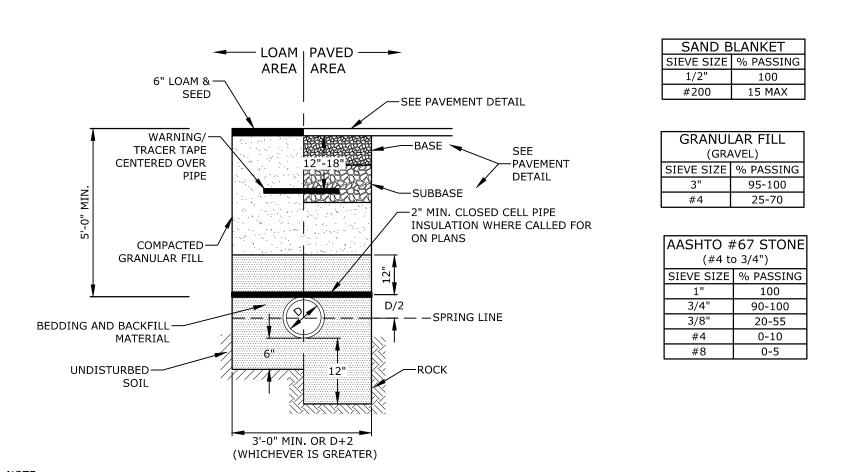
- POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
- ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
- PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
- 4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END
- 5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

THRUST BLOCKING DETAIL



- 1. CRUSHED STONE BEDDING FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK. CRUSHED STONE SHALL ALSO COMPLETELY ENCASE THE PIPE AND COVER THE PIPE TO A GRADE 6" OVER THE TOP OF THE PIPE FOR THE ENTIRE WIDTH OF THE TRENCH.
- 2. COORDINATE ALL INSTALLATIONS WITH THE CITY OF PORTSMOUTH.

SEWER SERVICE TRENCH NO SCALE



- 1. SAND BEDDING AND BACKFILL FOR FULL WIDTH OF THE TRENCH FROM 6" BELOW PIPE IN EARTH AND 12" BELOW PIPE IN ROCK UP TO 12" ABOVE
- 2. ALL UTILITIES SHALL BE INSTALLED PER THE INDIVIDUAL UTILITY COMPANY STANDARDS. COORDINATE ALL INSTALLATIONS WITH INDIVIDUAL UTILITY COMPANIES AND THE CITY OF PORTSMOUTH.

WATER TRENCH NO SCALE

Multi-Family Development

Torrington Properties, Inc.

Portsmouth, New Hampshire

	8/5/2021	PB Conceptual Consultation
RK	DATE	DESCRIPTION
)JE(CT NO:	T-5047-001
TE:		August 5, 2021
E:		T5047-001-C-DTLS.DWG

DETAILS

NAH/PMC

AS SHOWN SCALE:

DRAWN BY:

CHECKED BY:

APPROVED BY:

C-505

ASTM C478-06.

NO SCALE

70 CONSTITUTION AVE

PORTSMOUTH, NH



TORRINGTON PROPERTIES

CONCEPT PACKAGE MAY 24, 2021

CONTEXT PHOTOS









CONTEXT PHOTOS



1- SITE FROM BACKROAD - SOUTHWEST



3- SITE AND CONTEXT - NORTHEAST

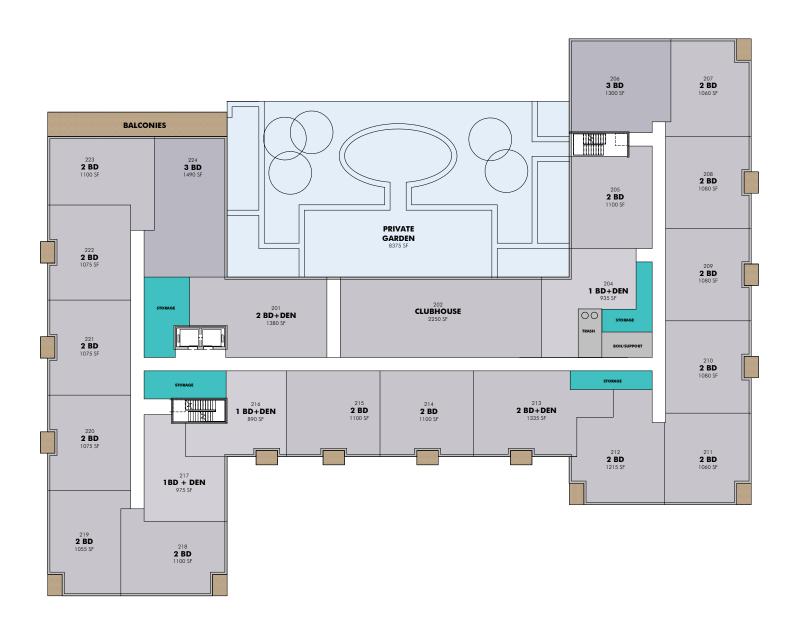


2- SITE FROM ABUTTER - SOUTHEAST



4- CONTEXT - NORTHWEST

PROJECT PLANS



2ND FLOOR



PROJECT PLANS

TORRINGTON PROPERTIES



96 UNITS

1,190 SF AVG

TOTAL BUILDING (WITH PARKING)

179,012 GSF

TOTAL SELLABLE

114,240 GSF

TOTAL UNITS: 96

TYPICAL FLOOR TOTAL

31,752 GSF

2BD - 65 2BD+DEN - 8

3BD - 11

1BD+DEN - 12

TYPICAL FLOOR SELLABLE

28,659 GSF

90% EFFICIENCY

99 GARAGE PARKING

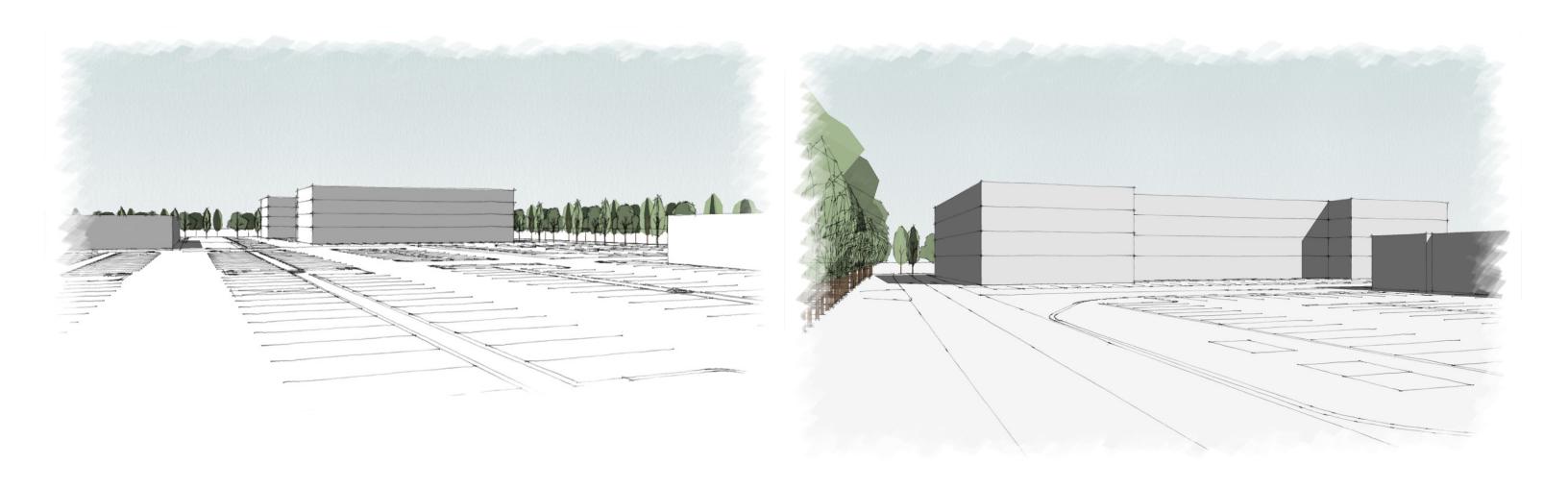
105 SURFACE PARKING

3-5TH FLOOR



70 CONSTITUTION AVE | CONCEPT PACKAGE | 05.24.21 | A8

MASSING



70 CONSTITUTION AVE | CONCEPT PACKAGE | 05.24.21 | A9



70 CONSTITUTION AVE | CONCEPT PACKAGE | 05.24.21 | A10 TORRINGTON PROPERTIES



Owner's Letter of Authorization

This letter is to authorize	Torrington Properties	(Applicant) to repr	esent the interest of 2422
Lafayette Road Associates	<u>, LLC</u> (owner) in	all site design and pe	ermitting matters for the
proposed multifamily deve	lopment project l	ocated at 2454 Lafaye	ette Road in Portsmouth,
New Hampshire on the pare	cel of land identifie	ed as Tax Map 273 Lot	3. This authorization shall
include any required signat	ures for local, stat	e and federal permit a	pplications.
	Joseph Bisogr	ano	08/05/2021
Signature		Print Name	Date
Signature		· · · · · · · · · · · · · · · · · · ·	Bate
* 11			
OH	Dana Ha	alsey	08/05/2021
Witness		Print Name	Date

(Owner Authorization Form.docx)

Agent Letter of Authorization

I, Joseph Bisonano ,	ofTorrington Properties	_ (Applicant) hereby give <u>Tighe &</u>			
Bond, Inc. (site/civil Engineer)		in all site design and permitting			
matters for the proposed multifamily development project located at 2454 Lafayette Road in					
Portsmouth, New Hampshire on the parcel of land identified as Tax Map 273 Lot 3. This					
authorization shall include any required signatures for local, state and federal permit					
applications.					
	Joseph Bisognano	08/05/2021			
Ciara taur					
Signature	Print Name	Date			
NU					
Oit	Dana Halsey	08/05/2021			
Witness	Print Name	Date			