

T-5047-001
August 5, 2021

Mr. Dexter Legg, Chairman
City of Portsmouth Planning Department
1 Junkins Avenue
Portsmouth, New Hampshire 03801

Re: **Preliminary Conceptual Consultation & Design Review Phase
Proposed Multifamily Development, 2454 Lafayette Road, Portsmouth, NH**

Dear Chairman Legg:

On behalf of 2422 Lafayette Road Associates, LLC (owner), and Torrington Properties Inc (applicant), we are pleased to submit the following information to support a Preliminary Conceptual Consultation and a request for Design Review with the Planning Board for the above referenced project:

- One (1) full size copy of the Site Plan Set, dated August 5, 2021;
- One (1) copy of the Architectural Concept Package by Embarc, dated May 24, 2021

The property in question is the former Cinemagic movie theater located at 2454 Lafayette Road which is located in the Gateway Neighborhood Mixed Use Corridor, G1 District. The proposed project consists of the construction of a 5-story, 100-unit multifamily condominium building located in the northern corner of the Portsmouth Green Plaza, with ground floor parking, upper floor residential units, and associated site improvements. The proposed 41,000 SF footprint will be located in the area of the existing 29,000 SF, 1,264 seat cinema that will be demolished. Also, the previously approved 5,000 SF restaurant pad proposed for this area will not be constructed.

The units will be modestly priced and will also contain 20% workforce housing units which will meet the Density Bonus Incentives of section 10.5B70 of the City of Portsmouth Zoning Ordinance. A Conditional Use Permit for the modification of standards will be required for the project, as permitted in section 10.5B74.30 and detailed on the enclosed Site Plan. The project will need to amend the existing Conditional Use Permit for parking that was granted by the Planning Board in August 2019.

Under a separate cover, a Preliminary Conceptual Consultation application fee check of \$200 and a Design Review application fee check of \$500 have been submitted to the Planning Department by the applicant.

As per Section 2.4.2.1 of the Site Plan Regulations, the proposed project is required to meet with the Planning Board for Preliminary Conceptual Consultation Phase. Thus, the applicant respectfully requests to be placed on the August 19, 2021 Planning Board meeting agenda for the Preliminary Conceptual Consultation Phase. In addition, the applicant is seeking to meet with the Planning Board for Design Review Phase. As such, the applicant also respectfully requests a vote from the Planning Board at the August 19, 2021 meeting to accept a request for Design Review Phase so that public hearing can be scheduled for the September 16, 2021 Planning Board meeting.

If you have any questions or need any additional information, please contact Patrick Crimmins by phone at (603) 433-8818 or by email at pmcrimmins@tighebond.com.

Sincerely,

TIGHE & BOND, INC.

A handwritten signature in blue ink, appearing to read 'P. Crimmins'.

Patrick M. Crimmins, PE
Senior Project Manager

A handwritten signature in blue ink, appearing to read 'Neil Hansen'.

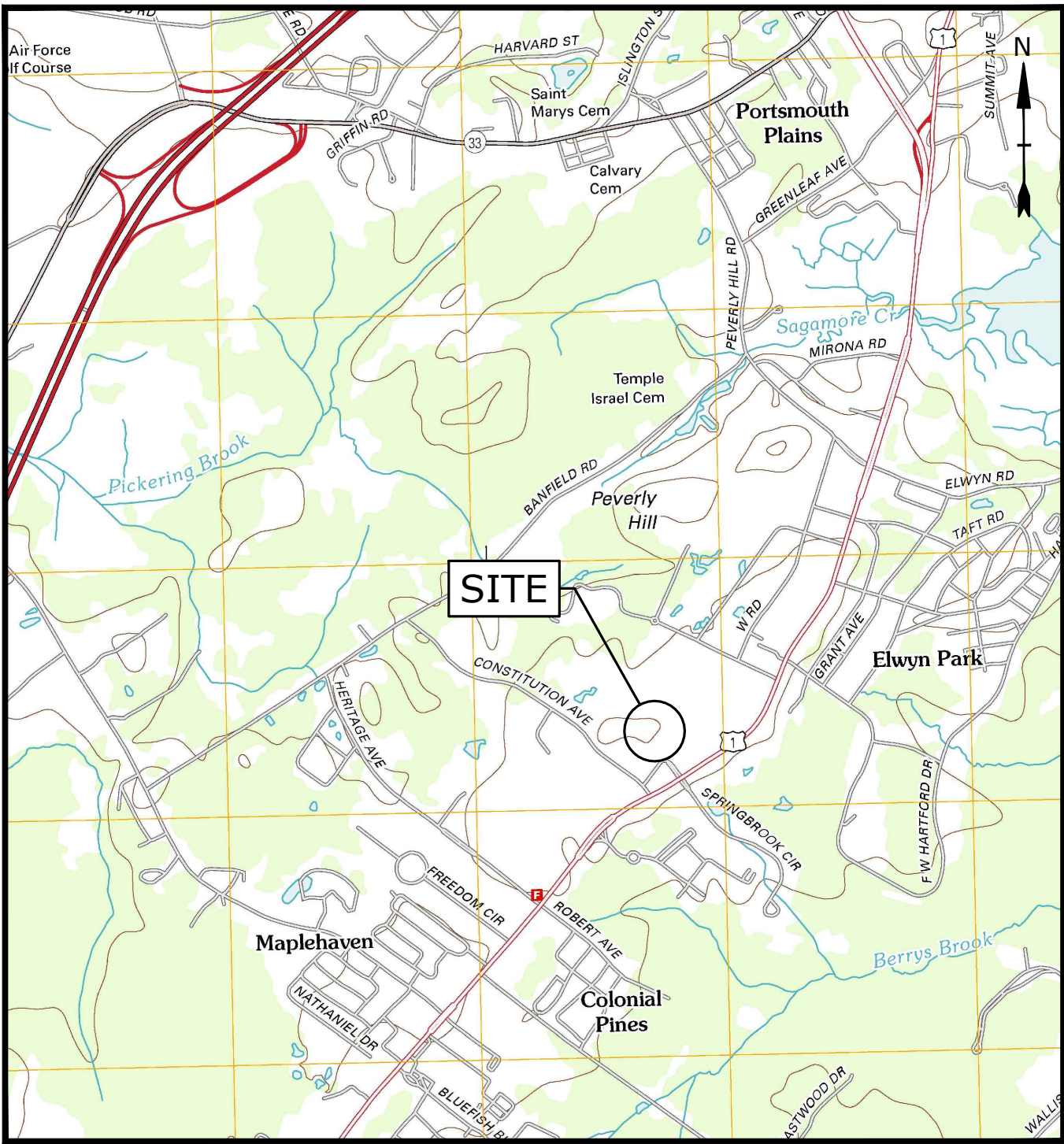
Neil A. Hansen, PE
Project Engineer

Copy: 2422 Lafayette Road Associates, LLC (via e-mail)
Torrington Properties Inc (via e-mail)
Gregg Mikolaities, August Consulting, PLLC (via e-mail)
John Bosen, Bosen & Associates, PLLC (via e-mail)

PROPOSED MULTI-FAMILY DEVELOPMENT
PORTSMOUTH GREEN
2454 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE
AUGUST 5, 2021

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	8/5/2021
C-101	OVERALL EXISTING CONDITIONS PLAN	8/5/2021
C-101.1	EXISTING CONDITIONS AND DEMOLITION PLAN	8/5/2021
C-102	OVERALL SITE PLAN	8/5/2021
C-102.1	SITE PLAN	8/5/2021
C-103.1	GRADING, DRAINAGE AND EROSION CONTROL PLAN	8/5/2021
C-104	UTILITIES PLAN	8/5/2021
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	8/5/2021
C-502	DETAILS SHEET	8/5/2021
C-503	DETAILS SHEET	8/5/2021
C-504	DETAILS SHEET	8/5/2021
C-505	DETAILS SHEET	8/5/2021

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT		
CONDITIONAL USE PERMIT		
STATE		
NHDES - ALTERATION OF TERRAIN PERMIT		
NHDES - SEWER CONNECTION PERMIT		
NHDOT - DRIVEWAY PERMIT		



LOCATION MAP
SCALE: 1" = 2,000'

PREPARED BY:
Tighe & Bond
177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

OWNERS:
2422 LAFAYETTE ROAD ASSOCIATES, LLC
C/O WATERSTONE RETAIL DEVELOPMENT
322 RESERVOIR STREET, 2ND FLOOR
NEEDHAM, MASSACHUSETTS 02494

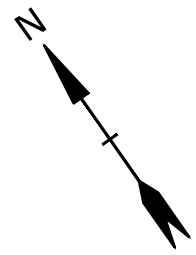
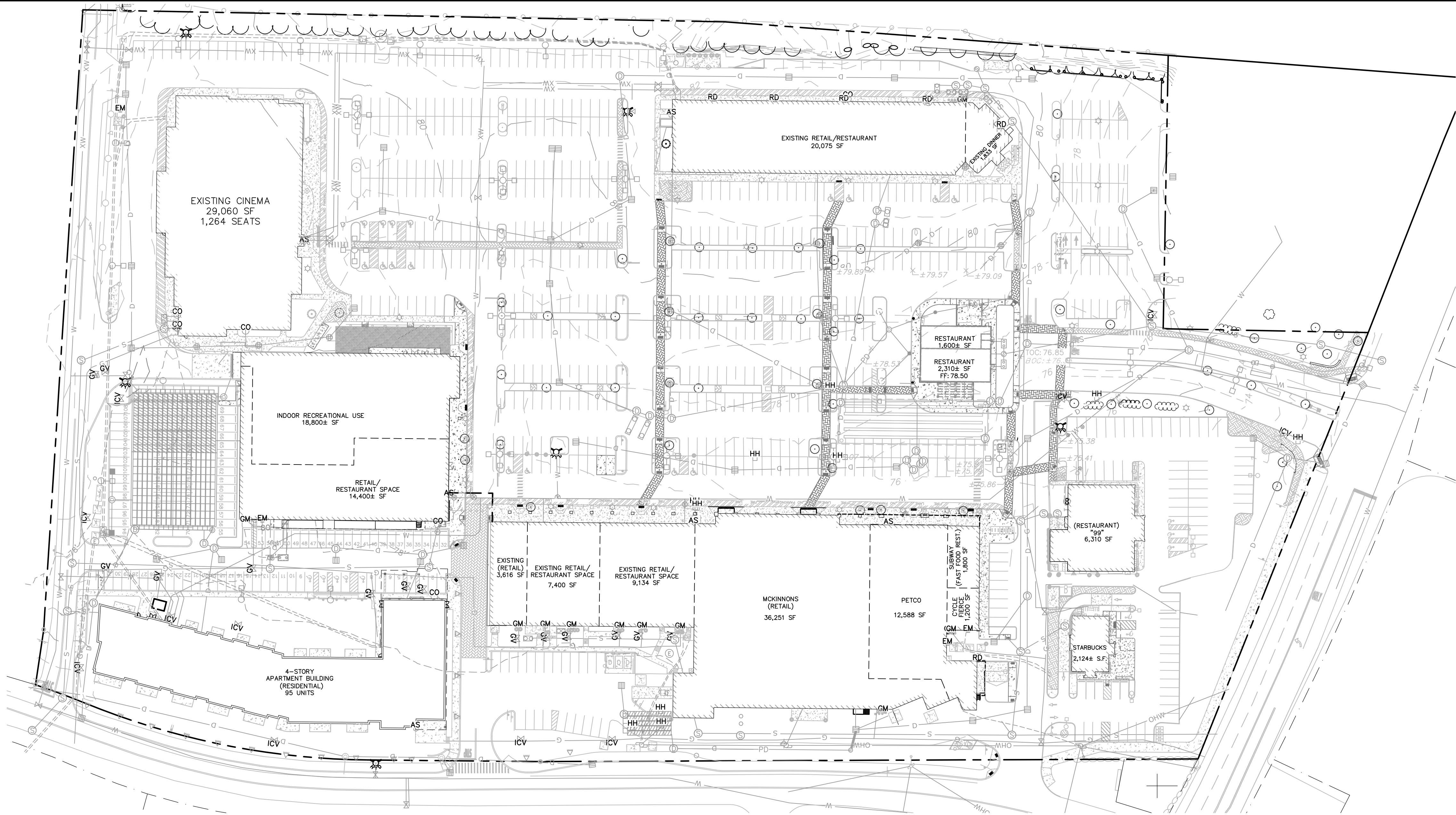
APPLICANT:
TORRINGTON PROERTIES INC
11 ELKINS STREET, SUITE 420
BOSTON, MASSACHUSETTS 02127

SURVEYOR:
DOUCET SURVEY, LLC
102 KENT PLACE
NEWMARKET, NH 03857

ARCHITECT:
EMBARC STUDIO
580 HARRISON AVENUE, SUITE 2W
BOSTON, MASSACHUSETTS 02118

PB CONCEPTUAL CONSULTATION
COMPLETE SET 12 SHEETS

Last Saved: 8/4/2021 3:17pm By: AMHansen
Plotted On: Aug 04, 2021 3:17pm By: AMHansen
Tighe & Bond 231115047 Torrington Properties 001 Constitution Ave, Portsmouth NH Drawings Figures AutoCAD Sheet\T5047-001-C-DSGN.dwg



EXISTING CONDITIONS PLAN NOTES:

1. EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY BY PERFORMED BY DOUCET SURVEY INC. SEE REFERENCE PLANS.
2. HORIZONTAL DATUM BASED ON REFERENCE PLAN #5.
3. VERTICAL DATUM BASED ON REFERENCE PLAN #5.

REFERENCE PLANS:

1. "STANDARD BOUNDARY SURVEY MAP 273 - LOT 3 FOR LAYFAYETTE PLAZA, LLC" DATED FEBRUARY 2004 BY AMBIT ENGINEERING, INC. R.C.R.D. PLAN D-34306.
2. "CONDOMINIUM SITE PLAN OF PORTSMOUTH GREEN CONDOMINIUM FOR 2422 LAFAYETTE ROAD ASSOCIATES, LLC C/O WATERSTONE RETAIL, TAX MAP 273 LOT 3, 2454 LAFAYETTE ROAD (US ROUTE 1) PORTSMOUTH, NEW HAMPSHIRE" DATED OCTOBER 2016 BY DOUCET SURVEY, INC. TO BE RECORDED IN THE R.C.R.D.
3. "SOUTHGATE PLAZA RESIDENTIAL DEVELOPMENT, 2454 LAFAYETTE ROAD PORTSMOUTH NEW HAMPSHIRE SITE PLANS" DATED JANUARY 19, 2016 (REVISED SEPTEMBER 26, 2016) BY TIGHE & BOND CONSULTING ENGINEERS.
4. "PROPOSED EASEMENT PLAN" FOR 2422 LAFAYETTE ROAD ASSOCIATES, LLC C/O WATERSTONE RETAIL. DATED OCTOBER 26, 2016 BY DOUCET SURVEY, INC.
5. "TOPOGRAPHIC WORKSHEET OF PORTSMOUTH GREEN" FOR TIGHE & BOND, TAX MAP 273 LOT 3, 2454 LAFAYETTE ROAD (US ROUTE 1) PORTSMOUTH, NEW HAMPSHIRE" DATED DECEMBER 2017 BY DOUCET SURVEY, INC.
6. "AS-BUILT CONDOMINIUM SITE PLAN FOR 2422 LAFAYETTE ROAD ASSOCIATES, LLC OF PORTSMOUTH GREEN CONDOMINIUM, TAX MAP 273 LOT 3, 2454 LAFAYETTE ROAD (US ROUTE 1) PORTSMOUTH, NEW HAMPSHIRE" DATED AUGUST 25, 2020 BY DOUCET SURVEY, INC.

Multi-Family Development

Torrington Properties, Inc.

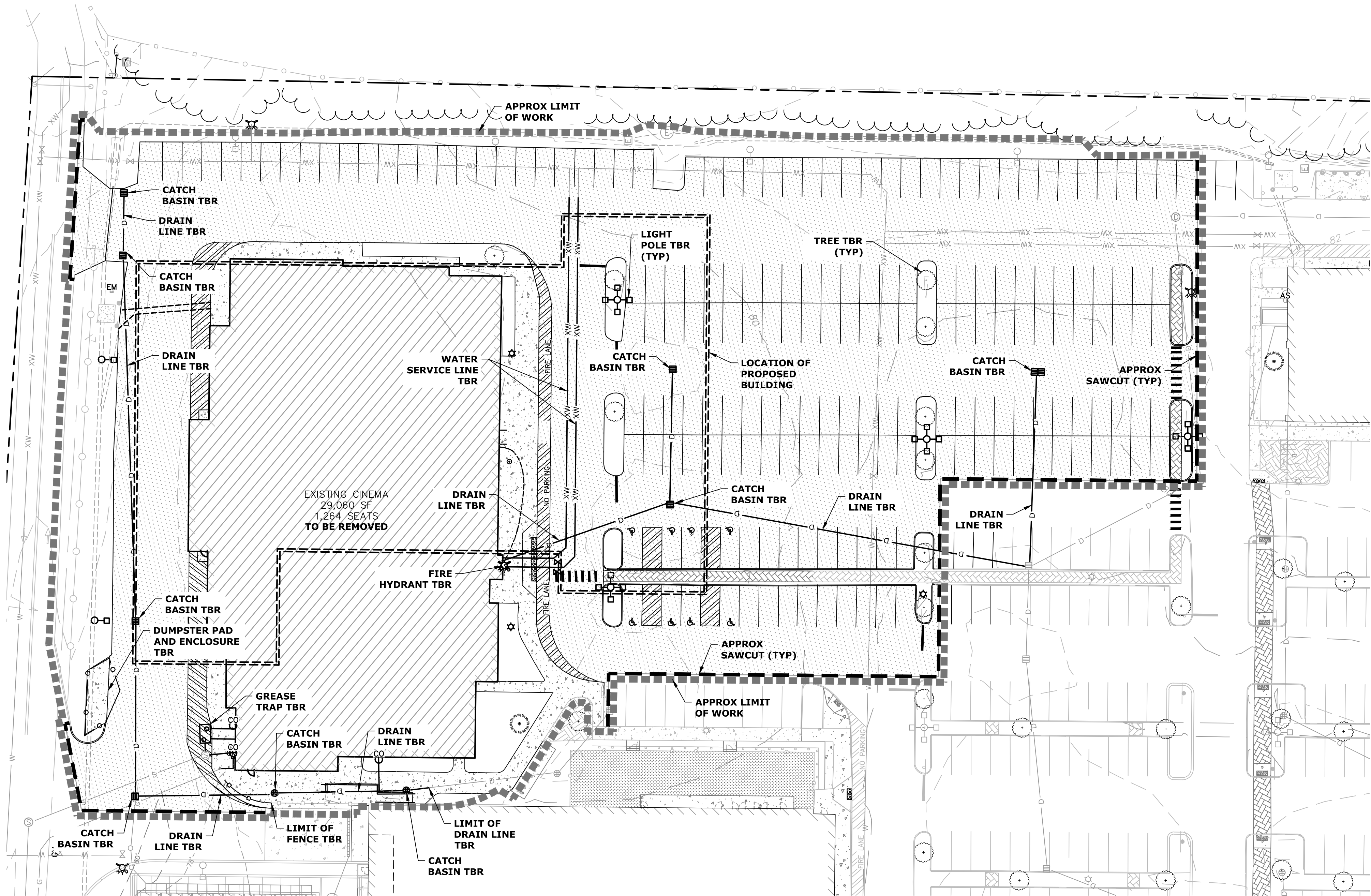
Portsmouth, New Hampshire

A	8/5/2021	PB Conceptual Consultation
MARK	DATE	DESCRIPTION
PROJECT NO: T-5047-001		
DATE: August 5, 2021		
FILE: T5047-001-C-DSGN.DWG		
DRAWN BY: NAH		
CHECKED BY: NAH/PMC		
APPROVED BY: BLM		

OVERALL EXISTING CONDITIONS PLAN

SCALE: AS SHOWN

Last Saved: 8/4/2021
Plotted On: Aug 04, 2021, 3:18pm By: M.Hansen
Title & Content: T5047-001-Torrington Properties001 Constitution Ave, Portsmouth NH Drawings - Figures AutoCAD Sheet T5047-001 - C-DSGN.dwg

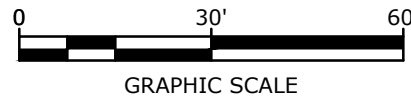


LEGEND

- APPROXIMATE LIMIT OF PROPOSED SAW CUT
- LIMIT OF WORK
- PROPOSED SILT SOCK
- APPROXIMATE LIMIT OF PAVEMENT TO BE REMOVED
- PROPOSED CONSTRUCTION EXIT
- BUILDING TO BE REMOVED
- LOCATION OF PROPOSED BUILDING
- INLET PROTECTION SILT SACK
- TBR TO BE REMOVED
- BLDG BUILDING
- TYP TYPICAL
- COORD COORDINATE

DEMOLITION NOTES:

- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
- COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
- UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK.
- CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL A PERMANENT SOLUTION IS IN PLACE.
- PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, PAVEMENT, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
- CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
- PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
- THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES, TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.



Multi-Family Development

Torrington Properties, Inc.

Portsmouth, New Hampshire

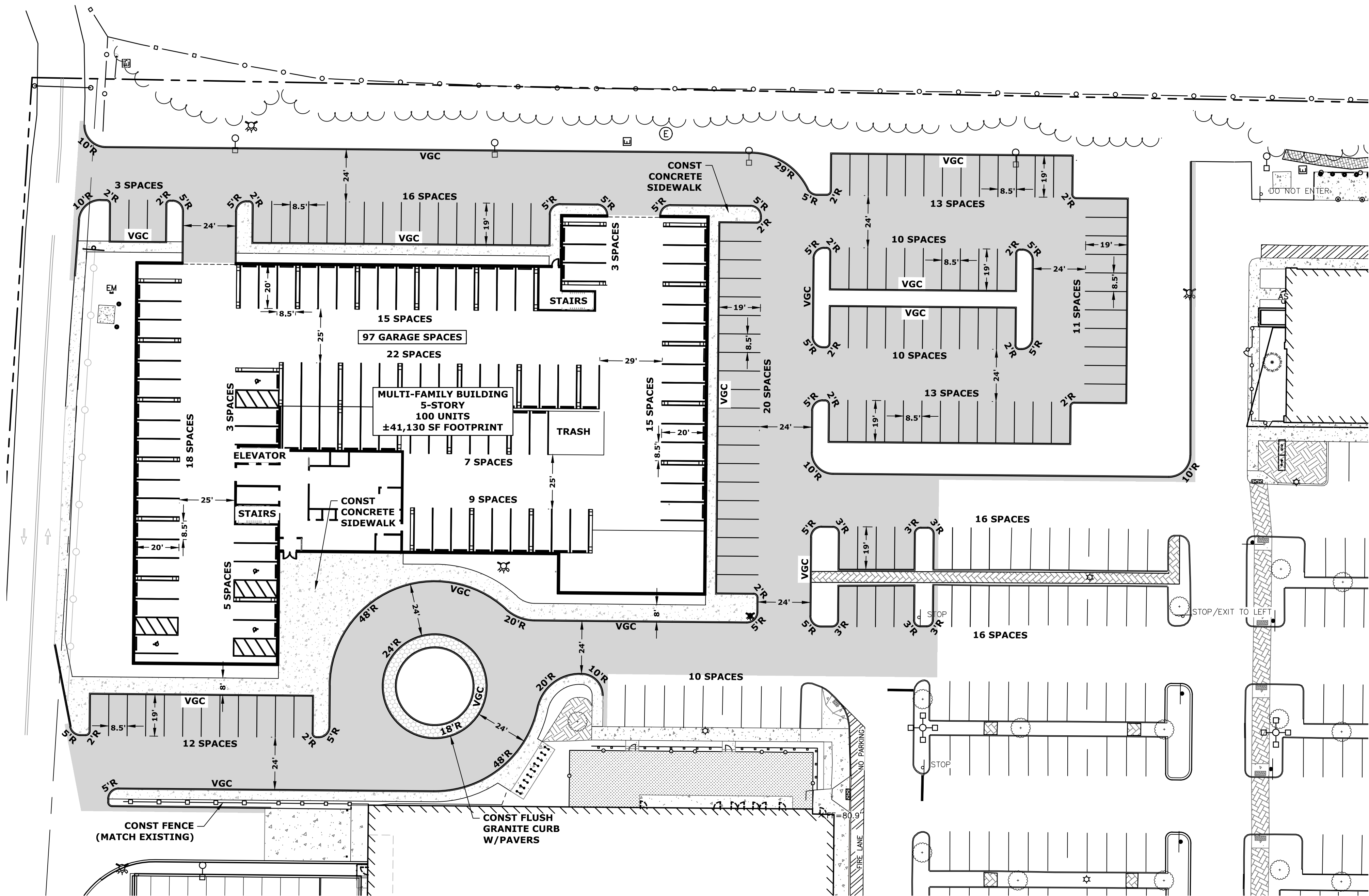
A	8/5/2021	PB Conceptual Consultation
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DRAWN BY:	NAH	
CHECKED BY:	NAH/PMC	
APPROVED BY:	BLM	

EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: AS SHOWN

C-101.1

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Plotted On: Aug 04, 2021 3:18pm By: M.Hansen
Title & Content: T5047-001-01 Constitution Ave, Portsmouth NH Drawings - Figures Assoc CAD Sheet T5047-001-C-DSGN.dwg
Torrington Properties 001 Constitution Ave, Portsmouth NH Drawings - Figures Assoc CAD Sheet T5047-001-C-DSGN.dwg

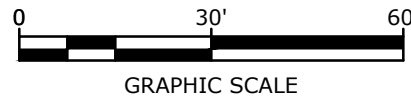


LEGEND

	PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED BUILDING
	PROPOSED PAVEMENT SECTION
	PROPOSED CONCRETE SIDEWALK
	PROPOSED BRICK SIDEWALK
	PROPOSED BOLLARD
	BUILDING
	TYPICAL
	COORDINATE
	PROPOSED CURB RADIUS
	PROPOSED VERTICAL GRANITE CURB
	PROPOSED SLOPED GRANITE CURB

SITE NOTES:

1. STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES SHALL BE THERMOPLASTIC MATERIAL. THERMOPLASTIC MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO AASHTO M249. (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
3. SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
6. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
9. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE CITY OF PORTSMOUTH.
10. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
11. SEE ARCHITECTURAL/BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
12. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
13. CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
14. ALL LIGHT POLE BASES NOT PROTECTED BY A RAISED CURB SHALL BE PAINTED YELLOW.
15. COORDINATE ALL WORK ADJACENT TO BUILDING WITH BUILDING CONTRACTOR.
16. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
17. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
18. THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
19. PROPERTY MANAGEMENT SHALL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. SNOW SHALL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF WHEN NECESSARY TO MAINTAIN ADEQUATE SNOW STORAGE AREAS.
20. THE APPLICANT SHALL PREPARE A CONSTRUCTION MANAGEMENT AND MITIGATION PLAN (CMMP) FOR REVIEW AND APPROVAL BY THE CITY'S LEGAL AND PLANNING DEPARTMENTS.



Multi-Family Development

Torrington Properties, Inc.

Portsmouth, New Hampshire










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APPROVED BY:	BLM	

SITE PLAN

SCALE: AS SHOWN

C-102.1



- | | |
|---|----------------------------------|
|  | PROPOSED MAJOR CONTOUR |
|  | PROPOSED MINOR CONTOUR |
|  | PROPOSED DRAIN LINE (TYP) |
|  | PROPOSED SILT SOCK |
|  | INLET PROTECTION SILT SACK |
|  | PROPOSED CATCHBASIN |
|  | PROPOSED DOUBLE GRATE CATCHBASIN |
|  | PROPOSED DRAIN MANHOLE |
|  | PROPOSED YARD DRAIN |
| BLDG | BUILDING |
| TYP | TYPICAL |
| COORD | COORDINATE |
| TC | TOP OF CURB |
| BC | BOTTOM OF CURB |
| TW | TOP OF WALL |
| BW | BOTTOM OF WALL |

GRADING AND DRAINAGE NOTES

- GRADING AND DRAINAGE NOTES:**
1. COMPACTION REQUIREMENTS:
- | | |
|---|-----|
| PAVED PAVED OR CONCRETE AREAS | 95% |
| TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL | 95% |
| LOWE LOAM AND SEED AREAS | 90% |
- * ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1557, METHOD C.
10. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL) OR RCP CLASS IV, UNLESS OTHERWISE SPECIFIED.
3. SEE UTILITY PLAN FOR ALL SITE UTILITY INFORMATION.
4. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
5. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF ALL DEBRIS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMPS AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
6. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE "G" LOAM, SEED FERTILIZER AND MULCH.
9. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
10. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4" SUMPS.
11. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
12. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG AND .PDF FILES) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
13. SEE EXISTING CONDITIONS PORTION FOR BENCH MARK INFORMATION.

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON "DISCUSS EROSION CONTROL NOTES & DETAILS SHEET".
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. MAINTAIN FOR THE DURATION OF THE PROJECT.
4. INSTALL STABILIZED CONSTRUCTION EXIT(S).
5. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN THE SEDIMENT IS 1/2 INCH OR GREATER IN HEIGHT.
6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
7. CONSTRUCT EROSION CONTROL BLANKET ON ALL SLOPES STEEPER THAN 3:1.
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
11. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN FULLY PAVED.
12. TEMPORARY SOIL STOCKPILES SHALL BE SURROUNDED WITH PERIMETER CONTROLS AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLANDS.
13. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.
14. CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) SHOOTS ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE ALLOWED.



Torrington
Properties, Inc.

Portsmouth,
New Hampshire

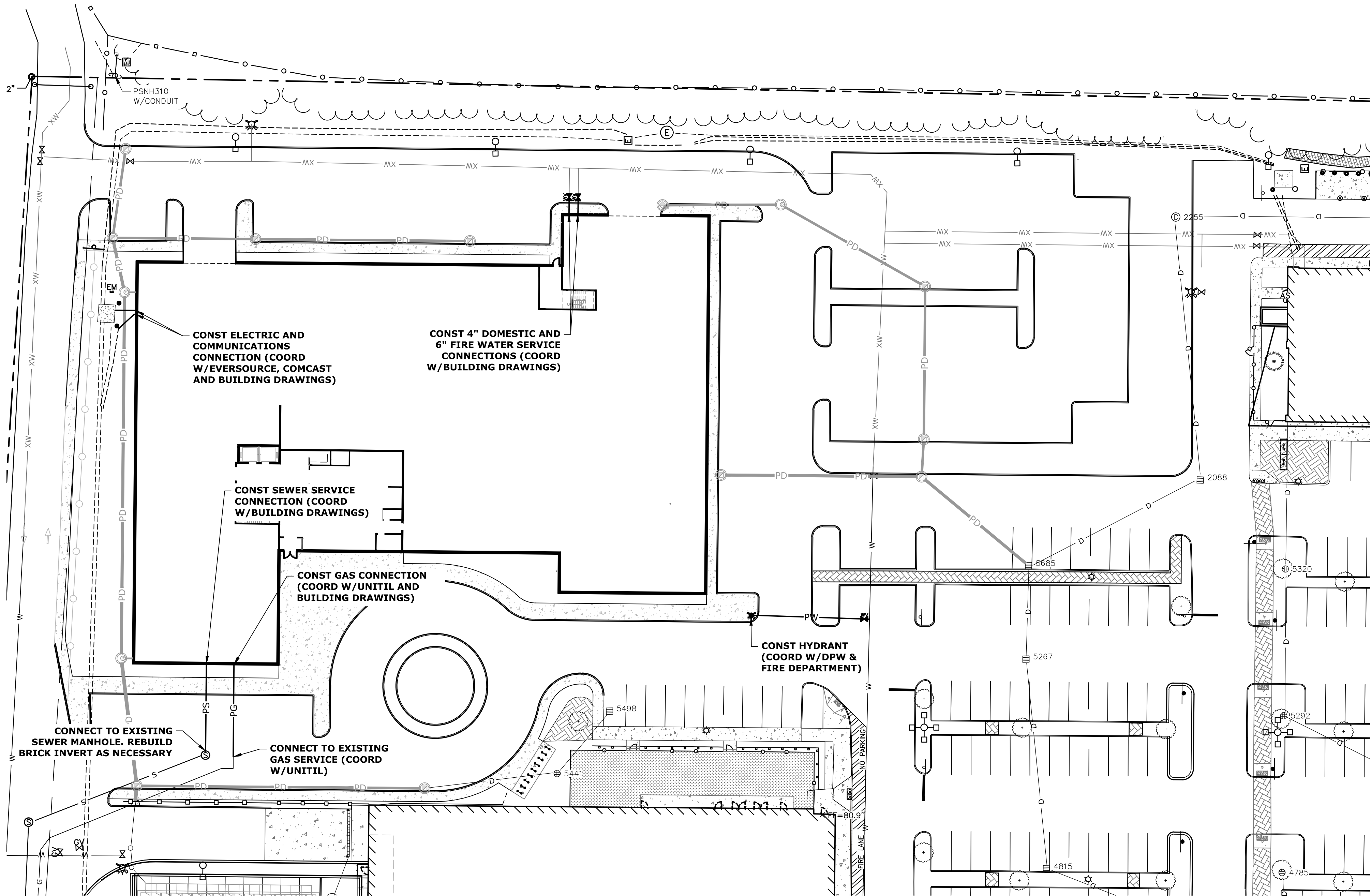
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MARK	DATE	DESCRIPTION	
PROJECT NO:		T-5047-001	
DATE:		August 5, 2021	
FILE:		T5047-001-C-DSGN.DWG	
DRAWN BY:		NAH	
CHECKED BY:		NAH/PM	
APPROVED BY:		BL	

GRADING, DRAINAGE & EROSION CONTROL PLAN

SCALE: AS SHOWN

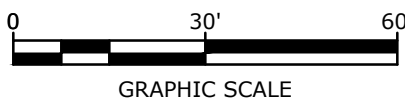
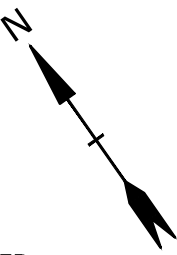
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Plotted On: Aug 04, 2021 3:19pm By: M Hansen
Title & Content: T5047-001-Torrington Properties 001 Constitution Ave, Portsmouth NH Drawings Figures AuccAD Sheet T5047-001-C-DSGN.dwg



LEGEND	
	MATCH LINE
	EXISTING STORM DRAIN
	EXISTING SANITARY SEWER
	EXISTING SANITARY SEWER TO BE REMOVED
	EXISTING UNDERGROUND TELECOMMUNICATION
	EXISTING WATER
	EXISTING GAS
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD UTILITY
	PROPOSED STORM DRAIN
	PROPOSED SANITARY SEWER
	PROPOSED GAS
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND TELECOMMUNICATION
	EXISTING CATCHBASIN
	EXISTING DRAIN MANHOLE
	EXISTING SEWER MANHOLE
	EXISTING HYDRANT
	EXISTING WATER VALVE
	EXISTING ELECTRIC MANHOLE
	EXISTING TELEPHONE MANHOLE
	PROPOSED CATCHBASIN
	PROPOSED DRAIN MANHOLE
	PROPOSED SEWER MANHOLE
	PROPOSED WATER VALVE
	PROPOSED HYDRANT
	PROPOSED GAS VALVE
	PROPOSED LIGHT POLE BASE
	BLDG
	TYP
	COORD
	VIF

- UTILITY NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
 - COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
 - NATURAL GAS - UNITIL
 - WATER/SEWER - CITY OF PORTSMOUTH
 - ELECTRIC - EVERSOURCE
 - COMMUNICATIONS - COMCAST/FAIRPOINT/FIRST LIGHT
 - SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
 - SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
 - ALL WATER MAIN INSTALLATIONS SHALL BE CLASS S2, CEMENT LINED DUCTILE IRON PIPE.
 - ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE CITY OF PORTSMOUTH WATER DEPARTMENT.
 - ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
 - COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
 - CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
 - CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
 - EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
 - ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
 - THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
 - ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
 - ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
 - THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
 - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS TO REMAIN DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
 - CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
 - A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
 - THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
 - CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR.
 - SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
 - HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
 - COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
 - ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAT 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
 - CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
 - CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ADJUTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.
 - SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
 - EACH OF THE NEW BUILDINGS SHALL INCLUDE A SEPARATE KNOX BOX. EACH NEW TENANT SHALL HAVE A SEPARATE FIRE ALARM SYSTEM AND SHALL COMPLY WITH ANY APPLICABLE NFPA CODES AND STANDARDS. KNOX BOX LOCATIONS AND FIRE ALARM SYSTEMS SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH FIRE DEPARTMENT.
 - ALL WATER MAIN PIPE AND FITTINGS SHALL BE POLYWRAPPED AND THREE (3) BRASS WEDGES SHALL BE INSTALLED AT ALL NON-CONDUCTIVE PIPE JOINTS.
 - SHOP DRAWINGS SUBMITTALS SHALL BE SENT TO ENGINEER OF RECORD AND TO 3RD PARTY INSPECTOR AND PORTSMOUTH DPW FOR REVIEW/APPROVAL. ENGINEER OF RECORD SHALL INDICATE CONFORMANCE TO PLANS OR NOTE THE DEVIATION PRIOR TO SENDING TO 3RD PARTY INSPECTOR AND DPW.



Multi-Family Development

Torrington Properties, Inc.

Portsmouth, New Hampshire

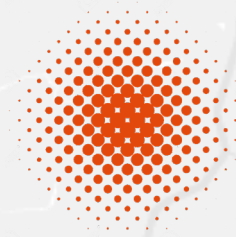
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APPROVED BY:		BLM

UTILITIES PLAN

SCALE: AS SHOWN

70 CONSTITUTION AVE

PORTSMOUTH, NH



TORRINGTON PROPERTIES

CONCEPT PACKAGE
MAY 24, 2021

EMBARC

CONTEXT PHOTOS



CONTEXT PHOTOS



1- SITE FROM BACKROAD - SOUTHWEST



2- SITE FROM ABUTTER - SOUTHEAST

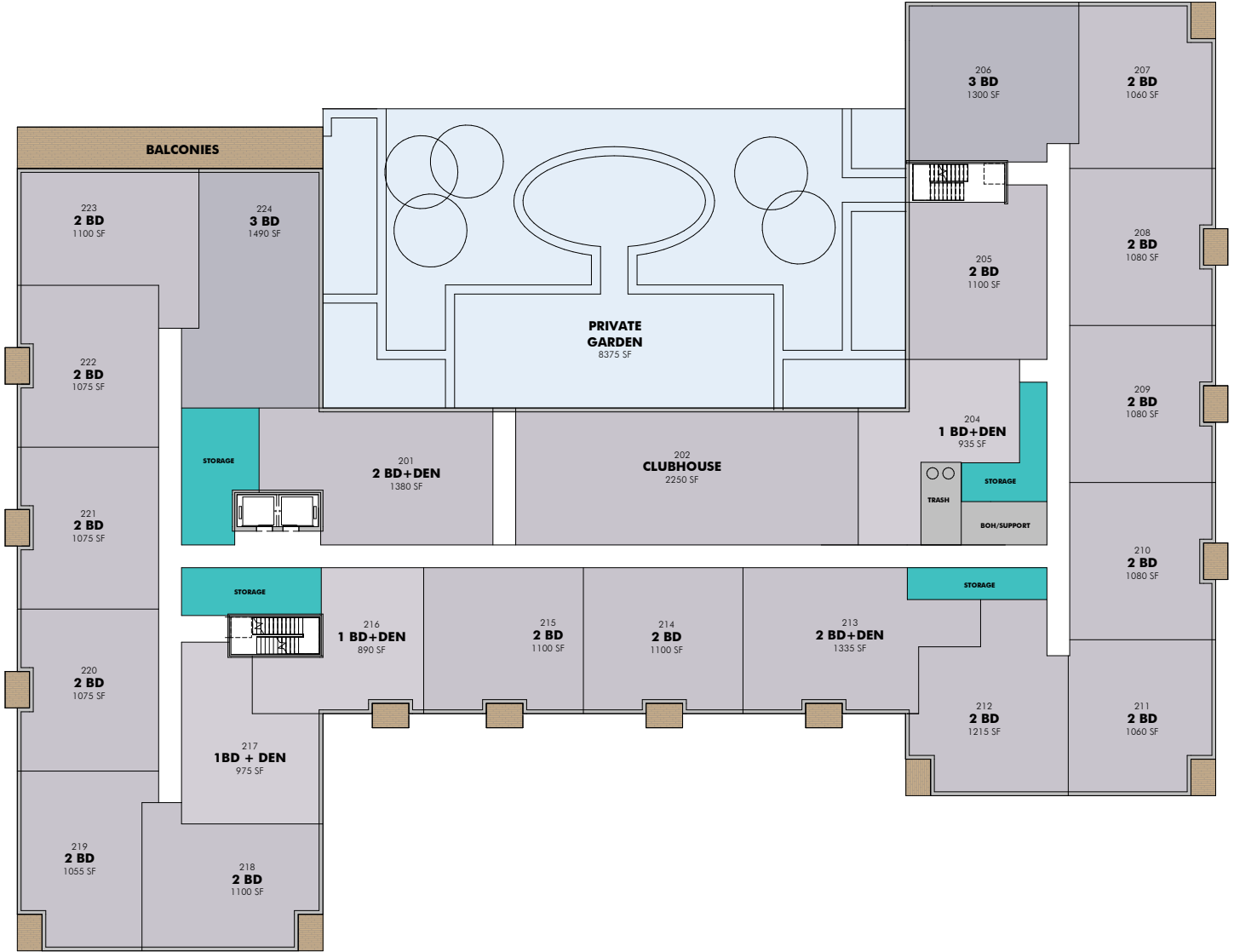


3- SITE AND CONTEXT - NORTHEAST



4- CONTEXT - NORTHWEST

PROJECT PLANS



2ND FLOOR



PROJECT PLANS



96 UNITS
1,190 SF AVG

TOTAL BUILDING (WITH PARKING)
179,012 GSF

TOTAL SELLABLE
114,240 GSF

TYPICAL FLOOR TOTAL
31,752 GSF

TYPICAL FLOOR SELLABLE
28,659 GSF

90% EFFICIENCY

99 GARAGE PARKING
105 SURFACE PARKING

TOTAL UNITS : 96

1BD+DEN - 12

2BD - 65

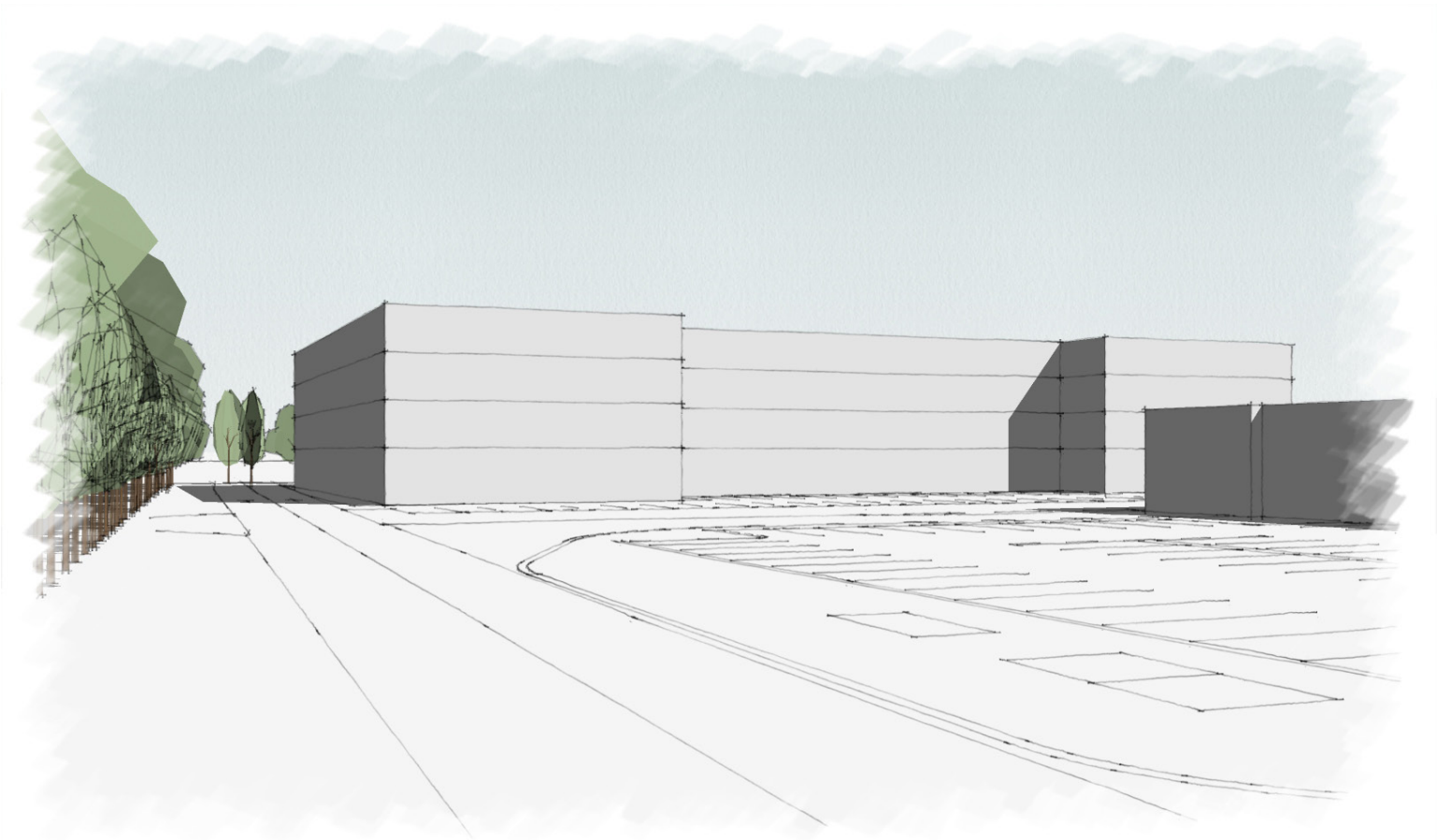
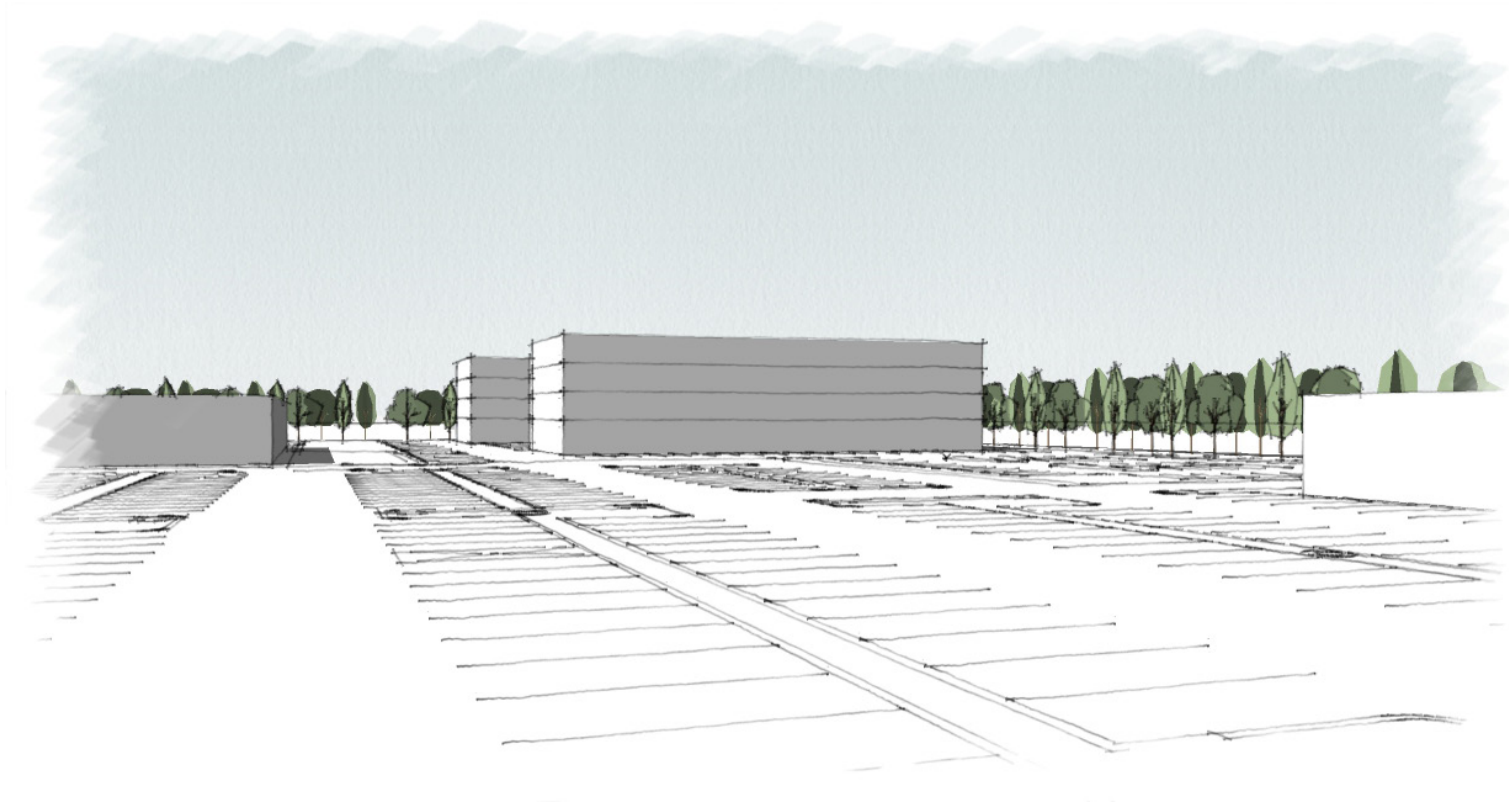
2BD+DEN - 8

3BD - 11

3-5TH FLOOR



MASSING

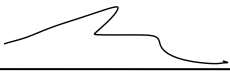






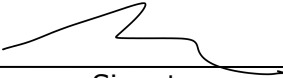
Owner's Letter of Authorization

This letter is to authorize Torrington Properties (Applicant) to represent the interest of 2422 Lafayette Road Associates, LLC (owner) in all site design and permitting matters for the proposed multifamily development project located at 2454 Lafayette Road in Portsmouth, New Hampshire on the parcel of land identified as Tax Map 273 Lot 3. This authorization shall include any required signatures for local, state and federal permit applications.

 _____ Signature	<u>Joseph Bisognano</u> _____ Print Name	<u>08/05/2021</u> _____ Date
<u>DH</u> _____ Witness	<u>Dana Halsey</u> _____ Print Name	<u>08/05/2021</u> _____ Date

Agent Letter of Authorization

I, Joseph Bisonano, of Torrington Properties (Applicant) hereby give Tighe & Bond, Inc. (site/civil Engineer) permission to be my agent in all site design and permitting matters for the proposed multifamily development project located at 2454 Lafayette Road in Portsmouth, New Hampshire on the parcel of land identified as Tax Map 273 Lot 3. This authorization shall include any required signatures for local, state and federal permit applications.



Signature

Joseph Bisognano

Print Name

08/05/2021

Date

DH

Witness

Dana Halsey

Print Name

08/05/2021

Date