

**GENERAL INFORMATION**

**OWNER**

ANTHONY DILORENZO  
549 US HIGHWAY 1 BY-PASS  
PORTSMOUTH, NH 03801

**APPLICANT**

2219 LAFAYETTE ROAD LLC  
549 US HIGHWAY 1 BY-PASS  
PORTSMOUTH, NH 03801

**PREPARED FOR**

2219 LAFAYETTE ROAD LLC  
549 US HIGHWAY 1 BY-PASS  
PORTSMOUTH, NH 03801

**RESOURCE LIST**

PLANNING/ ZONING DEPARTMENT  
1 JUNKINS AVENUE, 3RD FLOOR  
PORTSMOUTH, NH 03801  
(603) 610-7296  
JULIET WALKER, PLANNING DIRECTOR

**BUILDING DEPARTMENT**

1 JUNKINS AVENUE, 3RD FLOOR  
PORTSMOUTH, NH 03801  
(603) 610-7261  
ROBERT MARSILIA, CHIEF BUILDING INSPECTOR

**PUBLIC WORKS**

680 PEVERLY HILL ROAD  
PORTSMOUTH, NH 03801  
(603) 427-1530  
PETER RICE, DIRECTOR

**POLICE DEPARTMENT**

3 JUNKINS AVENUE  
PORTSMOUTH, NH 03801  
(603) 427-1512  
ROBERT MERNER, CHIEF

**FIRE DEPARTMENT**

170 COURT STREET  
PORTSMOUTH, NH 03801  
(603) 427-1515  
STEVEN E. ACHILLES, CHIEF

**ARCHITECT**

TJW DESIGNS LLC  
254 DRAKE HILL ROAD  
STRAFFORD, NH 03884  
VISIONS@TW-DESIGNS.COM  
(603) 664-2181  
JOHN TUTTLE, PRINCIPAL

**LAND SURVEYORS**

MSC ENGINEERS a division of TFMORAN  
170 COMMERCE WAY, SUITE 102  
PORTSMOUTH, NH 03801  
(603) 431-2222  
J. COREY COLWELL, LSS

# KEY ACURA OF PORTSMOUTH

PORTSMOUTH, NEW HAMPSHIRE

APRIL 24, 2019

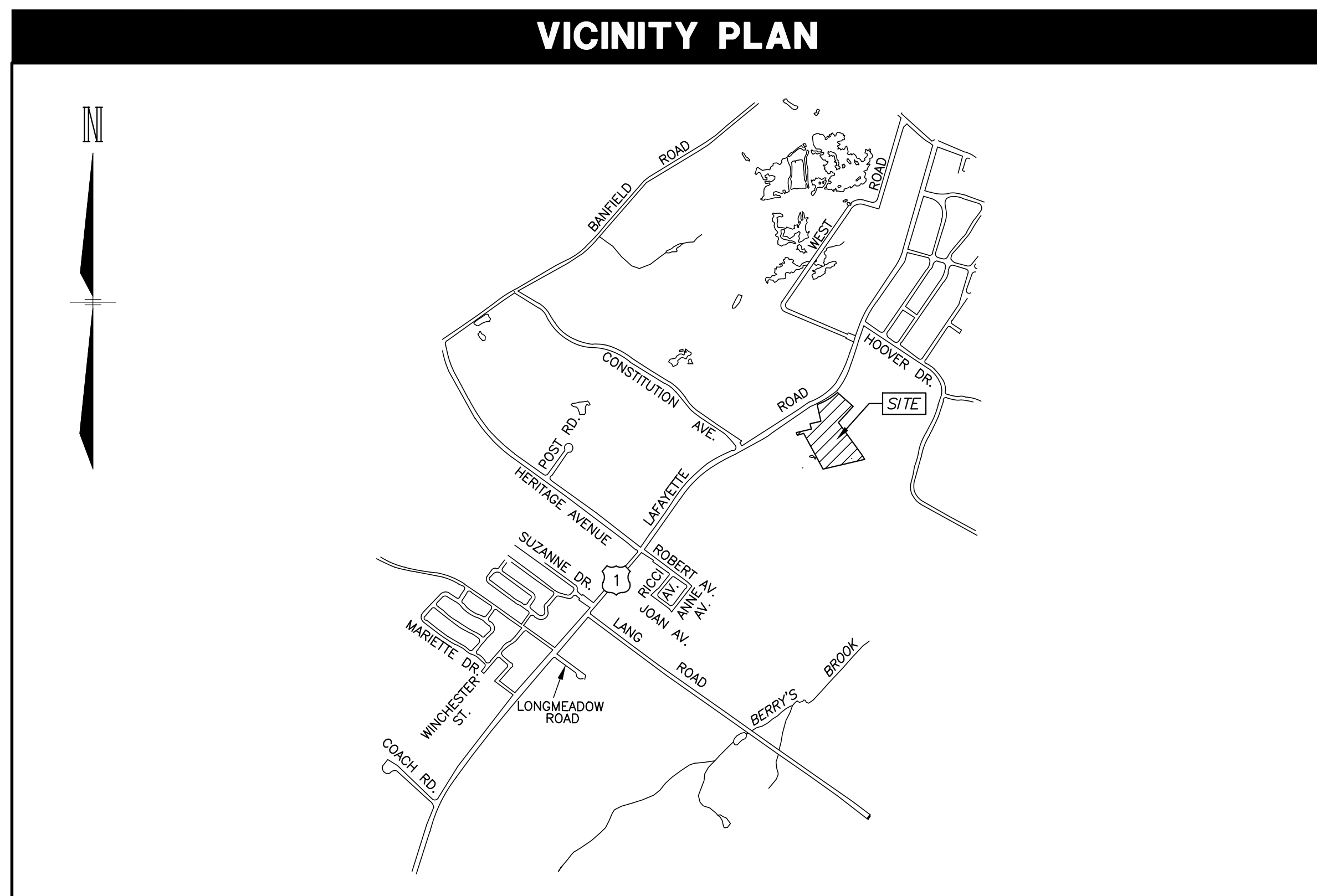
**INDEX OF SHEETS**

SHEET	SHEET TITLE
C-01	COVER
C-02	EXISTING CONDITIONS PLAN
C-03	NOTES SHEET
C-04	SITE PREPARATION AND DEMOLITION PLAN
C-05	SITE & LAYOUT PLAN
C-06	GRADING AND DRAINAGE PLAN
C-07	UTILITY PLAN
C-08	LANDSCAPE PLAN
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C-10	LIGHTING PLAN
C-11	EROSION CONTROL PLAN
C-12	EROSION CONTROL NOTES AND DETAILS
C-13 TO C-14	DETAIL SHEET

**PERMITS/APPROVALS**

	NUMBER	APPROVED	EXPIRES
ZBA APPROVAL	PENDING	PENDING	PENDING
TOWN SITE PLAN	PENDING	PENDING	PENDING
NHDOT DRIVEWAY	PENDING	PENDING	PENDING

**VICINITY PLAN**



Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

170 Commerce Way, Suite 102  
Portsmouth, NH 03801  
Phone (603) 431-2222  
Fax (603) 431-0910  
www.TFMoran.com

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

**SITE DEVELOPMENT PLANS**

TAX MAP 272 LOT 1  
**COVER SHEET**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

MAY 7, 2019

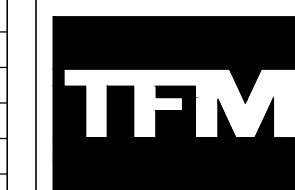
PLANNING BOARD FILE #

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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

REV.	DATE	DESCRIPTION	DR	CK



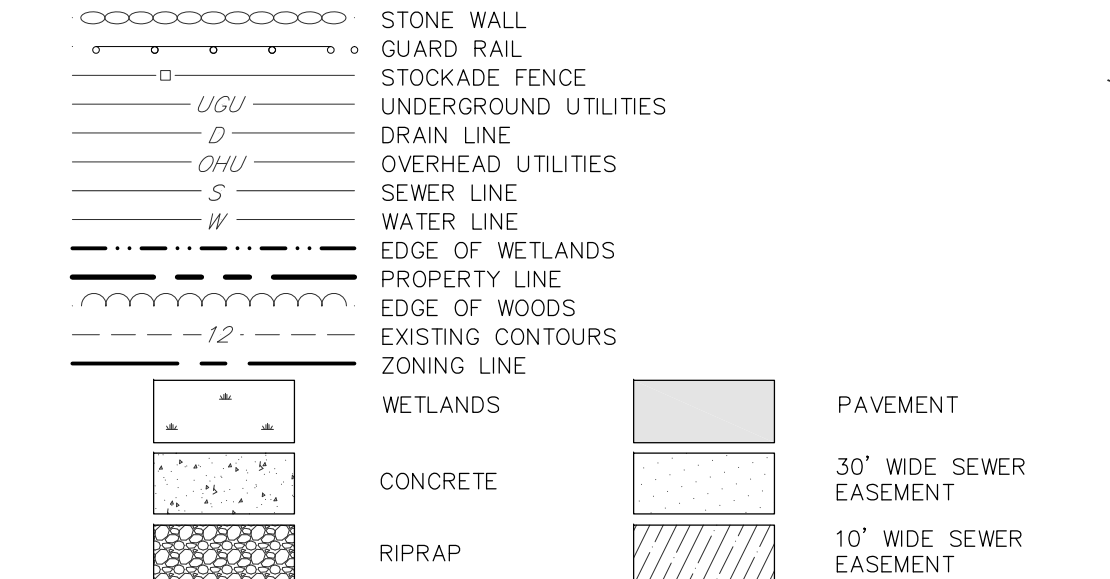
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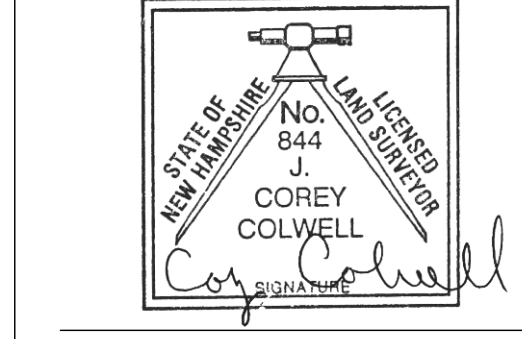
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	CK	CRR	CADFILE	45407-80_Cover.dwg	C-01

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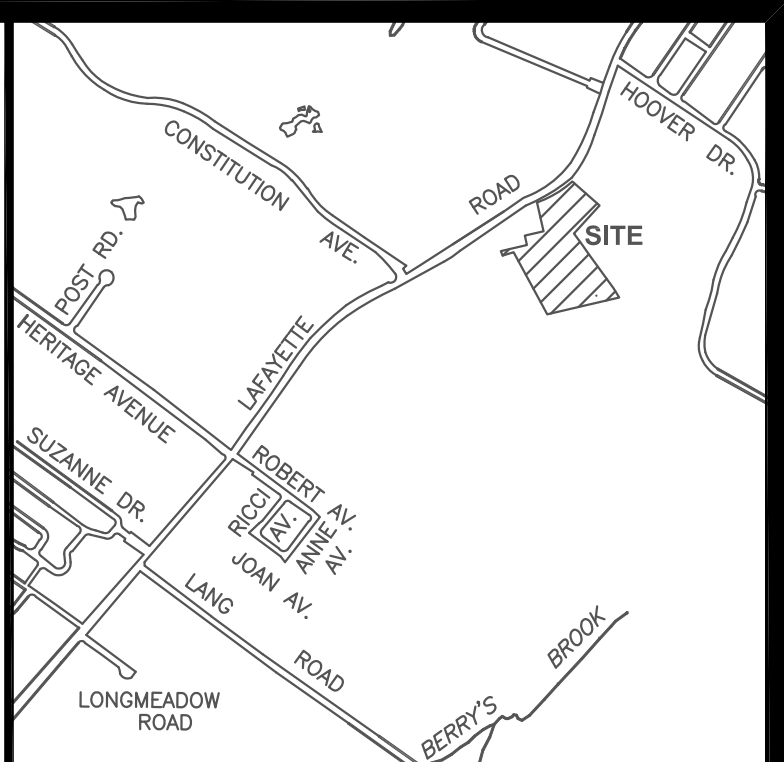
- MAP 272 LOT 3**
- AC ASSESSORS MAP & PARCEL NUMBER
  - AG ASBESTOS-CEMENT PIPE
  - BK/BK PAGE BOOK/PAGE
  - CB CATCH BASIN
  - CHB CHORD BEARING
  - CHL CHORD LENGTH
  - CI CAST IRON PIPE
  - CMP CORRUGATED METAL PIPE
  - CO CLEAN OUT
  - CONC CONCRETE
  - EL ELEVATION
  - EP EDGE OF PAVEMENT
  - FF FINISHED FLOOR
  - GM GAS METER
  - HC HANDICAP
  - HDPE HIGH DENSITY POLYETHYLENE PIPE
  - INV INVERT
  - L LENGTH
  - LP LIGHT POST
  - LSA LANDSCAPED AREA
  - N/F NOW OR FORMERLY
  - NAD83 NORTH AMERICAN 1983 DATUM
  - PSNH PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
  - PVC POLYVINYL CHLORIDE
  - R RADIUS
  - RCP REINFORCED CONCRETE PIPE
  - RCD ROCKINGHAM COUNTY REGISTRY OF DEEDS
  - S.F. SQUARE FEET
  - SGC SLOPED GRANITE CURB
  - SMH SEWER MANHOLE
  - UGU UNDERGROUND UTILITIES
  - VCC VERTICAL CONCRETE CURB
  - W CENTER ANGLE
  - WV SEWER MANHOLE
  - HYDRAN HYDRANT
  - GUY POLE GUY POLE
  - UTILITY POLE UTILITY POLE
  - LIGHT POLE LIGHT POLE
  - WATER VALVE WATER VALVE
  - GAS VALVE GAS VALVE
  - MONITORING WELL MONITORING WELL
  - DECIDUOUS TREE DECIDUOUS TREE
  - CATCH BASIN CATCH BASIN
  - WALL LIGHT WALL LIGHT
  - SIGN SIGN
  - HANDICAP HANDICAP
  - WATER METER WATER METER
  - ELECTRIC METER ELECTRIC METER
  - FIRE WATER SPRINKLER FIRE WATER SPRINKLER



PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:18, II, III AND IV AND 672:14:  
 I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.  
 I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN MARCH, 2019. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.  
 A COPY OF THIS PLAN HAS BEEN FILED WITH THE LOCAL PLANNING BOARD.



5-06-19  
DATE

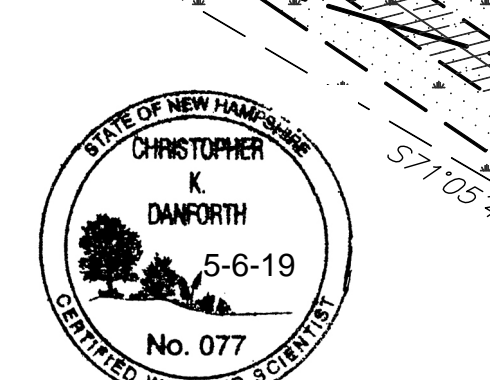
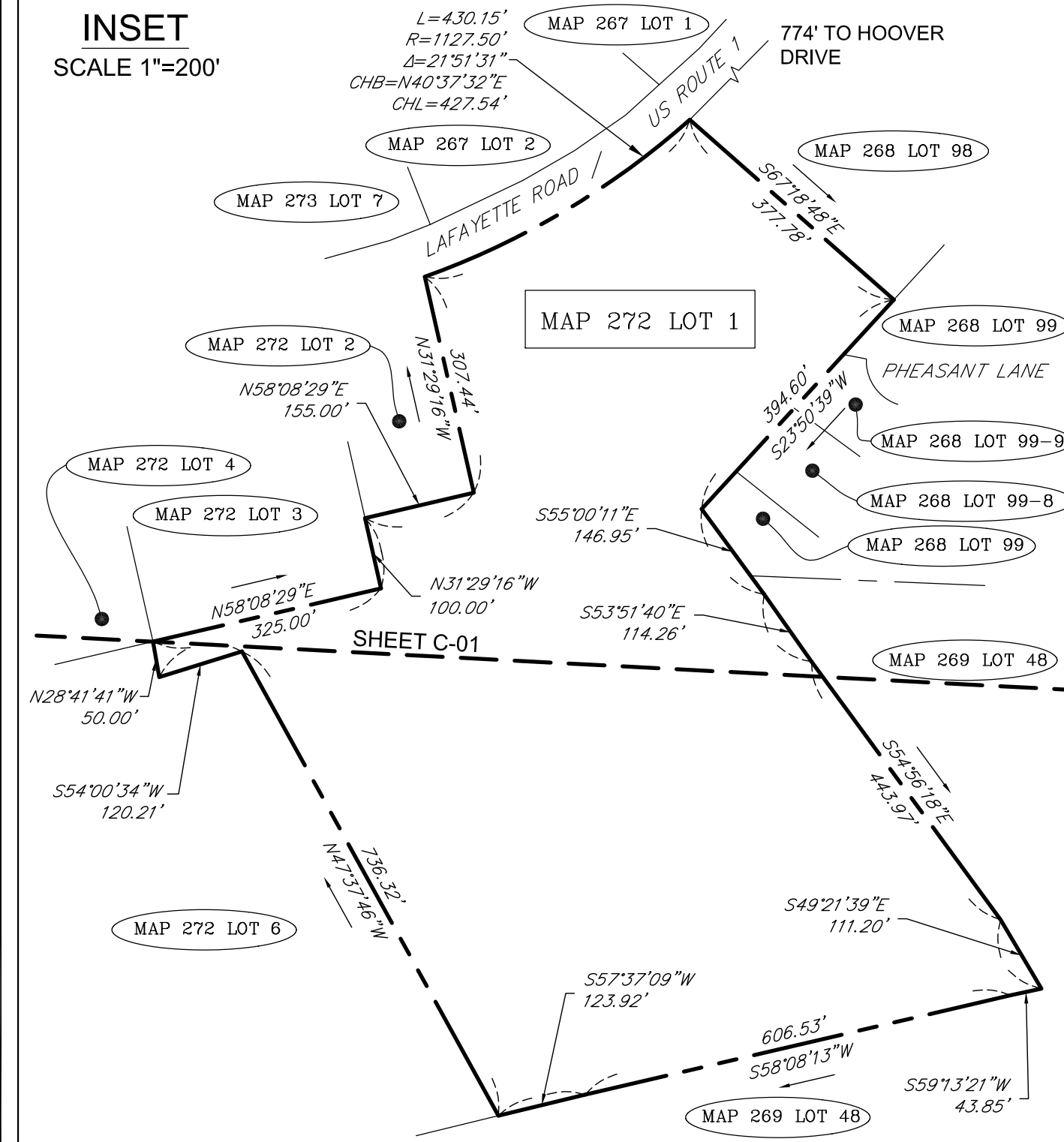


**LOCATION PLAN**

- NOTES:**
- THE PARCEL IS LOCATED IN THE GATEWAY CORRIDOR (G1) AND THE SINGLE RESIDENCE A (SRA) ZONING DISTRICTS.
  - THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 272 AS LOT 1.
  - THE PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 33015C0270E, EFFECTIVE DATE: MAY 17, 2005.
  - OWNER OF RECORD:  
 2219 LAFAYETTE ROAD, LLC  
 549 US HIGHWAY 1 BYPASS  
 PORTSMOUTH, NH 03801  
 RCRD BK.#5900 PG.#1408
  - ZONING REQUIREMENTS:  
 MINIMUM LOT DIMENSIONS  
 LOT AREA PER DWELLING UNIT  
 CONTINUOUS STREET FRONTAGE  
 DEPTH  
 MINIMUM YARD DIMENSIONS  
 FRONT  
 SIDE  
 REAR  
 MAXIMUM STRUCTURE DIMENSIONS  
 BUILDING FOOTPRINT  
 STRUCTURE HEIGHT  
 ROOF PURTENANCE HEIGHT  
 BUILDING COVERAGE  
 MINIMUM OPEN SPACE  
 DESIGN STANDARDS  
 MINIMUM STREET FACING FACADE HEIGHT  
 MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE  
 MAXIMUM FACADE MODULATION LENGTH  
 MINIMUM STREET FACING FACADE GLAZING  
 STREET FACING ENTRANCE

	ZONE G1*	ZONE SRA
MINIMUM LOT DIMENSIONS	NA	1 ACRE
LOT AREA PER DWELLING UNIT	NA	1 ACRE
CONTINUOUS STREET FRONTAGE	100'*	150'
DEPTH	NR	200'
MINIMUM YARD DIMENSIONS		
FRONT	70-90'***	30'
SIDE	15'	20'
REAR	15'	40'
MAXIMUM STRUCTURE DIMENSIONS		
BUILDING FOOTPRINT	40,000 S.F.	NA
STRUCTURE HEIGHT	4 STORIES/50'	35'
ROOF PURTENANCE HEIGHT	NA	8'
BUILDING COVERAGE	70%	10%
MINIMUM OPEN SPACE	10%	50%
DESIGN STANDARDS		
MINIMUM STREET FACING FACADE HEIGHT	18'	NA
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE	24"	NA
MAXIMUM FACADE MODULATION LENGTH	100'	NA
MINIMUM STREET FACING FACADE GLAZING	50% GROUND FLOOR	NA
STREET FACING ENTRANCE	REQUIRED	NA

PER THE CITY OF PORTSMOUTH, NEW HAMPSHIRE ZONING ORDINANCE \* REQUIREMENTS FOR THE G-1 DISTRICT ARE DICTATED BY BUILDING TYPES AND DEVELOPMENT SITE DESIGNATION. IN ADDITION, SPECIAL SETBACK REQUIREMENTS APPLY TO LOTS WITH FRONTAGE ON LAFAYETTE ROAD. ZONING REQUIREMENTS FOR ZONE G-1 SHOWN ABOVE ARE PER SECTION 10.5B34.70 LARGE COMMERCIAL BUILDING. SEE ARTICLE 5B GATEWAY NEIGHBORHOOD MIXED USE DISTRICTS FOR FULL DETAILS.  
 \*\* SEE SECTION 10.5B32.30 SPECIAL FRONTAGE REQUIREMENTS: "LOTS WITH BOTH FRONTAGE ON AND DRIVEWAY ACCESS FROM LAFAYETTE ROAD...MUST HAVE A MINIMUM OF 100 FEET OF STREET FRONTAGE."  
 \*\*\* SECTION 10.5B22.40 SPECIAL SETBACK REQUIREMENTS ON LAFAYETTE ROAD: "...BUILDINGS SHALL BE SETBACK A MINIMUM OF 70 FEET AND A MAXIMUM OF 90 FEET FROM THE CENTER LINE OF LAFAYETTE ROAD" (SECTION 10.533 IS SUPERSEDED PER SECTION 10.5B13).  
 6. WETLANDS CERTIFICATION NOTE  
 JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON MARCH 6, 2019 BY CHRISTOPHER K. DANFORTH CWS #077 OF TFMORAN, INC. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012.  
 DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING EITHER FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, (VERSION 3), NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION (NEWIPCC), APRIL 2004 OR FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS, 2010.  
 DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE NORTHCENTRAL AND NORTHEAST 2013 REGIONAL WETLAND PLANT LIST, US ARMY CORPS OF ENGINEERS, 2013, (VER. 3.1).  
 7. HORIZONTAL DATUM IS NAD83(2011) PER STATIC GPS OBSERVATIONS. VERTICAL DATUM IS NAVD88 PER STATIC GPS OBSERVATIONS. THE CONTOUR INTERVAL IS 2 FEET.  
 8. FIELD SURVEY COMPLETED BY TODD C. EMERSON AND MARINUS VANDER POOL III IN MARCH, 2019 USING A TOPCON DS103, HIPER-V, HIPER-SR AND A TOPCON FC-5000 DATA COLLECTOR.  
 9. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.  
 10. THE PURPOSE OF THIS PLAN IS TO SHOW THE CURRENT SITE FEATURES AND TOPOGRAPHY OF TAX MAP 272 LOT 1.  
 11. UTILITIES SHOWN HEREON ARE BASED ON OBSERVED EVIDENCE AND DESIGN PLANS. THEY ARE APPROXIMATE LOCATIONS ONLY. CONTACT DIGSAFE @-888-DIGSAFE TO VERIFY UTILITIES.



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**DRAINAGE TABLE**

STRUCTURE#	RIM	INVERT IN	INVERT OUT
CB1	66.2		8" HDPE TO CB2 INV.= 62.7
CB2	66.4	8" HDPE FROM CB1 INV.= 62.5	12" RCP TO CB3 INV.= 62.4
CB3	66.7	12" RCP FROM CB2 INV.= 61.9	12" RCP TO CB4 INV.= 61.8
CB4	66.5	12" RCP FROM CB3 INV.= 61.8	15" RCP TO CB6 INV.= 61.4
CB5	67.5		12" RCP TO CB6 INV.= 60.3
CB6	67.1	12" RCP FROM CB5 INV.= 62.6	24" RCP TO OUTFALL INV.= 60.4
		15" RCP FROM CB4 INV.= 60.4	8" HDPE INV.= 60.5

**SEWER TABLE**

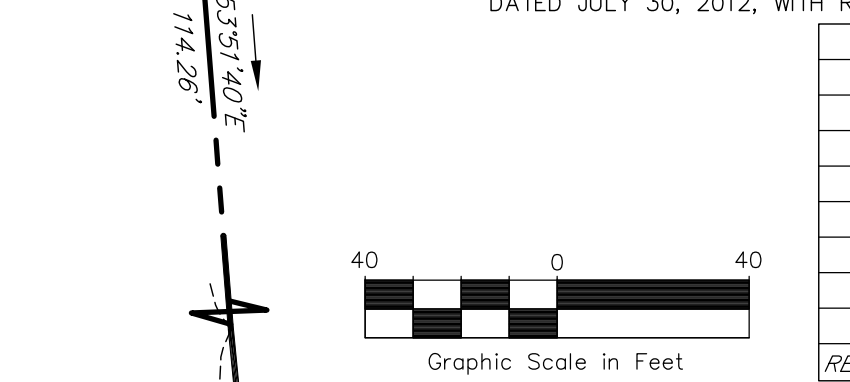
STRUCTURE#	RIM	INVERT IN	INVERT OUT
SMH1	68.3	8" PVC FROM BLDG INV.= 60.9	8" PVC TO SMH2 INV.= 60.8
SMH2	67.7	8" PVC FROM SMH1 INV.= 58.4	8" PVC TO SMH3 INV.= 55.3
		CHIMNEY DOWN TO 55.3	
		8" PVC INV.= 59.5	
		CHIMNEY DOWN TO 55.3	
SMH3	51.5	8" PVC FROM SMH2 INV.= 43.3	12" PVC INV.= 40.8
		12" PVC INV.= 40.9	

**ABUTTERS**

MAP 267 LOT 1	MAP 272 LOT 4
N/F 2200 LAFAYETTE RD LLC C/O LEONARD KOVIT 401 CHANDLERS WHARF PORTLAND, ME 04101 RCRD BK.#4092 PG.#2384	N/F RYE PORT PROPERTIES LLC PO BOX 345 STRATHAM, NH 03885 RCRD BK.#5083 PG.#763
MAP 267 LOT 2	MAP 272 LOT 6
N/F KSC LLC C/O KEN S. CHEN PO BOX 6808 PORTSMOUTH, NH 03802 RCRD BK.#5761 PG.#1292	N/F SPRINGBROOK CONDOMINIUM PORTSMOUTH, NH 03801 RCRD BK.#2622 PG.#1831
MAP 269 LOT 48	MAP 273 LOT 7
N/F WOODLANDS HOMEOWNERS ASSOCIATION, INC PO BOX 8191 PORTSMOUTH, NH 03802 RCRD BK.#2839 PG.#1705	N/F FESTIVAL FUN PARKS, LLC C/O PROPERTY TAX SERVICE CO. PO BOX 543185 DALLAS, TX 75354 RCRD BK.#3471 PG.#2972

- EASEMENT NOTES:**
- THIS PARCEL IS SUBJECT TO A 30' WIDE EASEMENT FOR SEWER PURPOSES FOR THE BENEFIT OF THE CITY OF PORTSMOUTH AS DESCRIBED IN RCRD BK.#2055 PG.#266.
  - THIS PARCEL IS SUBJECT TO A 10' WIDE EASEMENT AND RIGHTS FOR SEWER PURPOSES FOR THE BENEFIT OF GENE R. COHEN AS DESCRIBED IN RCRD BK.#2312 PAGES #590 AND #592.
  - THIS PARCEL IS SUBJECT TO A 10' WIDE SEWER EASEMENT FOR THE BENEFIT OF THE CITY OF PORTSMOUTH AS DESCRIBED IN RCRD BK.#3186 PG.#2659.

- PLAN REFERENCES:**
- "SUBDIVISION PLAN ERIN FOOD SERVICES INC. PORTSMOUTH N.H." BY THOMAS F. MORAN INC. CIVIL ENGINEERS & SURVEYORS, DATED NOVEMBER 14, 1972. RCRD PLAN #C-3702.
  - "SUBDIVISION PLAN FOR JOHN E. STEF LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE" BY WARD B. WILLIAMS ASSOC., DATED DECEMBER 1977. RCRD PLAN #C-7649.
  - "SUBDIVISION OF LAND FOR THE HOUSE OF THREE OFF HOOPER DRIVE COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY TOWN PLANNING AND ENGINEERING ASSOCIATES, INC., DATED MAY 1978. RCRD PLAN #D-8018.
  - "SUBDIVISION OF THE CEDARS OF PORTSMOUTH OWNER: PAUL MACK INC. LOCATION: US ROUTE 1 LAFAYETTE ROAD PORTSMOUTH N.H" SURVEY BY: RICHARD D. BARTLETT L.L.S., DATED DECEMBER 4, 1984. RCRD PLAN #D-14691.
  - "SITE PLAN OF SPRING BROOK CONDOMINIUMS LOCATION: US ROUTE 1 LAFAYETTE ROAD PORTSMOUTH N.H." SURVEY BY: RICHARD D. BARTLETT L.L.S., DATED DECEMBER 4, 1984, WITH LAST REVISION DATED 7/21/86. RCRD PLAN #D-15310.
  - "TITLE INSURANCE PLAN (LOT 3 MAP R72) LAFAYETTE RD. PORTSMOUTH, NEW HAMPSHIRE PREPARED FOR BURGER KING CORPORATION" BY ALLAN H. SWANSON, INC., DATED 5 JUNE 1990. RCRD PLAN #D-20705.
  - "SITE PLAN PHEASANT LANE, A PLANNED UNIT DEVELOPMENT (PUD) FOR PHEASANT LANE REALTY TRUST 4 HOOPER DRIVE COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY MILLETTE, SPRAGUE & COLWELL, INC., DATED JANUARY 30, 1998 WITH REVISION 5 DATED 6/08/98. RCRD PLAN #D-26342.
  - "SUBDIVISION PLAT PROJECT: PRIMAX PROPERTIES, LLC PROPOSED "ADVANCE AUTO PARTS" STORE" BY BOHLER ENGINEERING, P.C., DATED 12/23/04, WITH REVISION 3 DATED 09/20/05. RCRD PLAN #D-33166.
  - "ALTA-ACSM LAND TITLE SURVEY ANTHONY DILORENZO ROUTE 1 - LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE" BY TRITECH ENGINEERING CORPORATION, DATED DECEMBER 30, 2005. RCRD PLAN #D-33422.
  - "ALTA/ACSM LAND TITLE SURVEY TAX MAP 272 LOT 1 PROPERTY OF ANTHONY DILORENZO 2219 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE" BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC., DATED JULY 30, 2012, WITH REVISION 1 DATED 08/01/12. PLAN IS NOT RECORDED.



**REVISIONS**

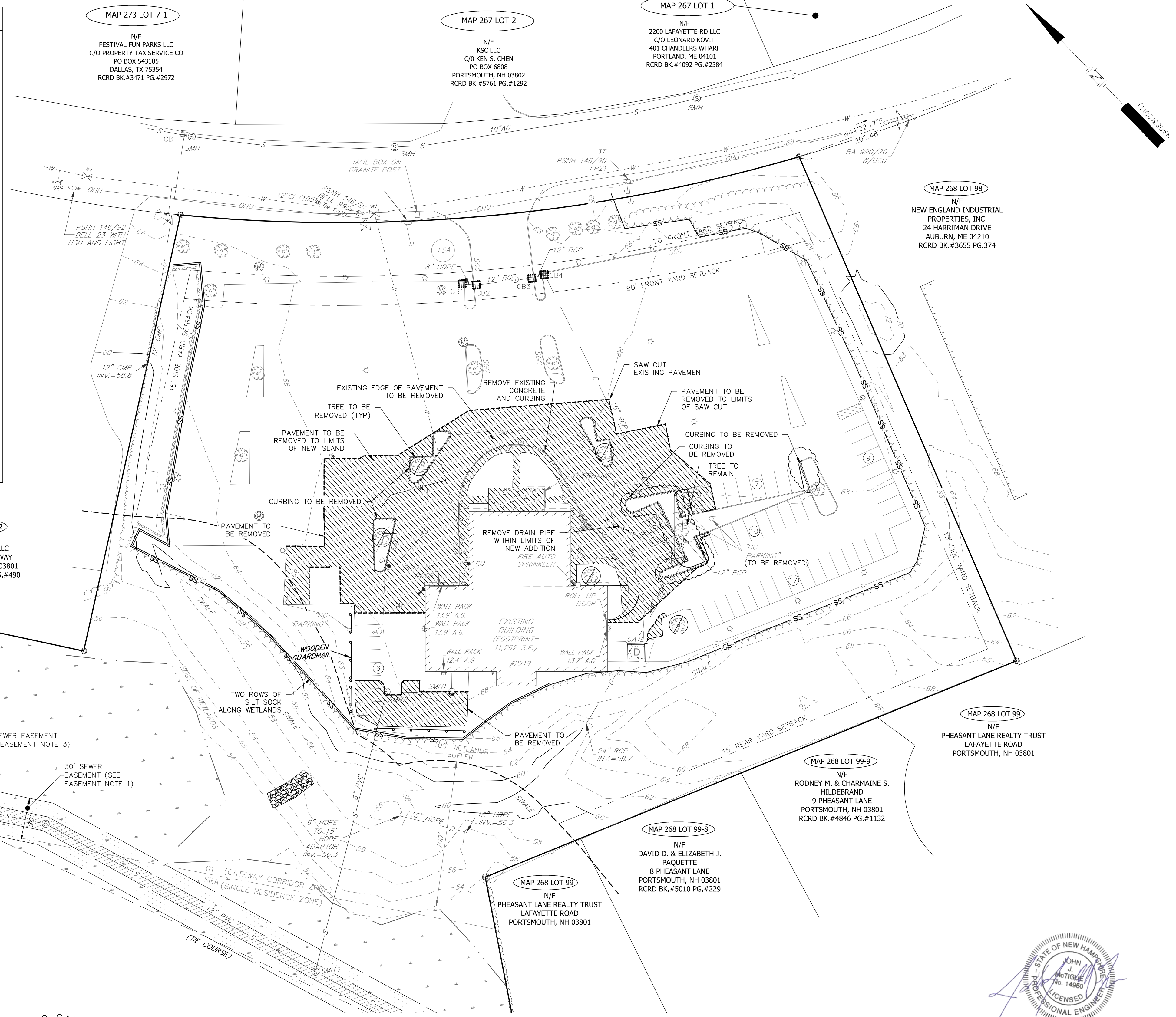
REV.	DATE	DESCRIPTION	DR	CK

**TAX MAP 272 LOT 1**  
**EXISTING CONDITIONS PLAN**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**  
**COUNTY OF ROCKINGHAM**  
 OWNED BY  
**2219 LAFAYETTE ROAD, LLC**  
 SCALE: 1" = 40' (22x34)  
 1" = 80' (11x17)  
 May 6, 2019

**TFM** & **MSC**  
 A division of TFMoran, Inc.  
 Civil Engineers  
 Structural Engineers  
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 Fax (603) 431-0910  
 www.tfmoran.com  
 45407.80  
 DR MFP FB 555  
 CK BMK CADFILE  
 C-02



LEGEND	
EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
(H)	HANDICAP PARKING
OHU	OVERHEAD UTILITIES
S	EXISTING SEWER
---	EDGE OF WETLANDS
---	PROPERTY LINE
---	WOODEN GUARD RAIL
---	TREE LINE
---	BUSH LINE
---	FREE STANDING SIGN
WV	WATER VALVE
GUY	GUY POLE
LP	LIGHT POST AND BASE
UP	UTILITY POLE
W	WETLAND
SM	SEWER MANHOLE
CB	CATCH BASIN
DT	DECIDUOUS TREE
GV	GAS VALVE
PS	PEA STONE
AC	ASPHALT AND CONCRETE TO BE REMOVED
TR	TREE TO BE REMOVED
CR	CURBING TO BE REMOVED



- ### DEMOLITION NOTES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY DEMOLITION. THE LOCATIONS SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
  - CURBING TO BE SALVAGED FOR RE-USE ON SITE.
  - ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER CITY/GOVERNMENTAL REGULATIONS.
  - CONTRACTOR TO SWEEP AS NEEDED TO PREVENT ANY VEHICLE TRACKING ON CITY STREETS.

## SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1  
**SITE PREPARATION AND DEMOLITION PLAN**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

SCALE: 1" = 40' (22X34)  
 1" = 80' (11X17) MAY 7, 2019

PLANNING BOARD FILE #

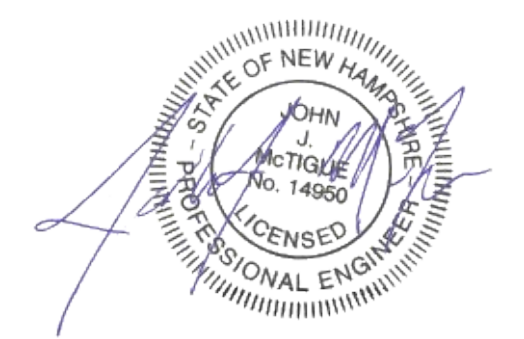
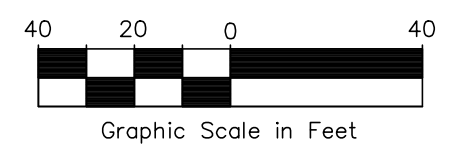
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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



REV.	DATE	DESCRIPTION	DR	CK

		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.TFMoran.com

May 07, 2019 - 2:26pm F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407.80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407.80\_Site-Prep.dwg

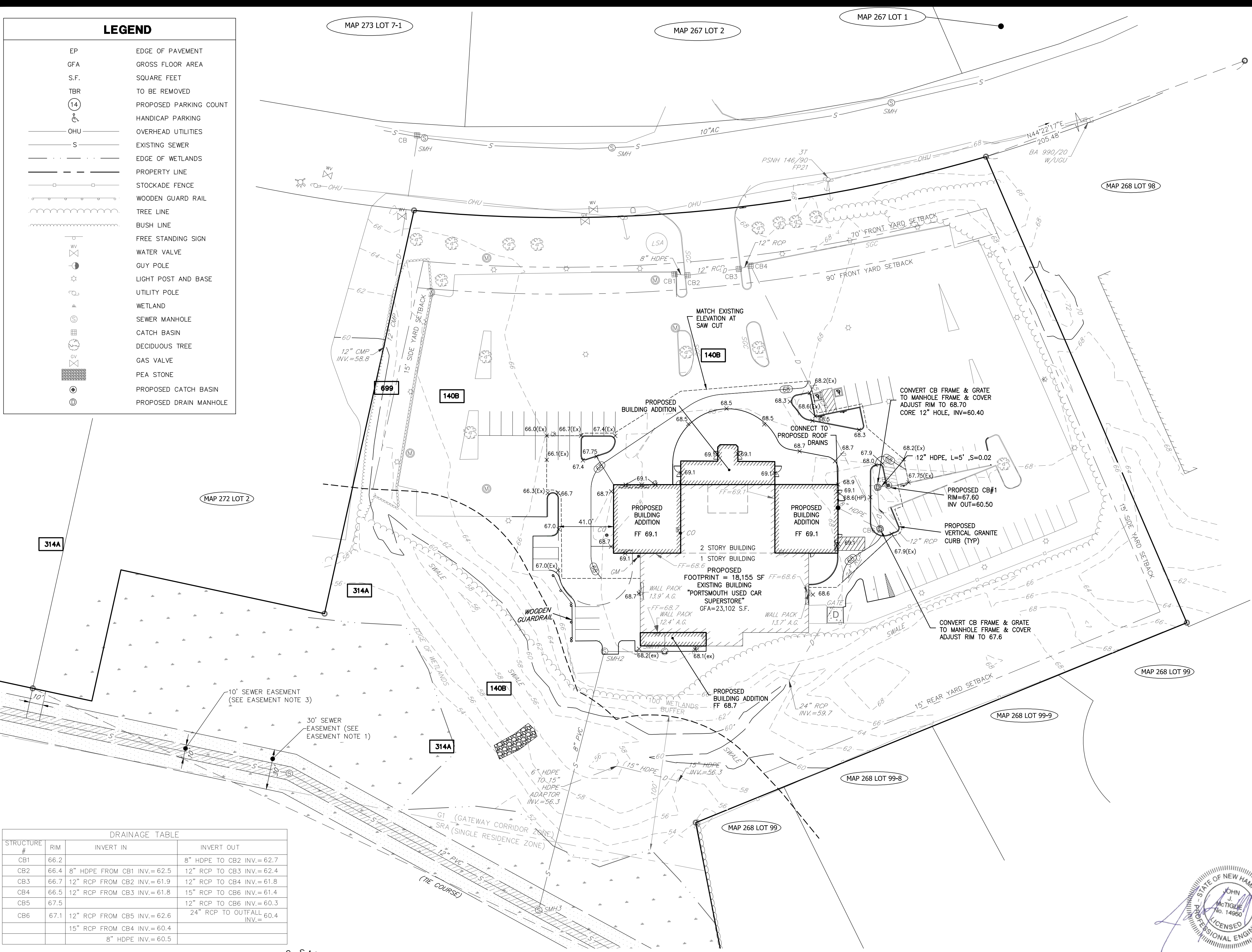


**LEGEND**

EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
(H)	HANDICAP PARKING
OHU	OVERHEAD UTILITIES
S	EXISTING SEWER
---	EDGE OF WETLANDS
---	PROPERTY LINE
---	STOCKADE FENCE
---	WOODEN GUARD RAIL
---	TREE LINE
---	BUSH LINE
---	FREE STANDING SIGN
---	WATER VALVE
---	GUY POLE
---	LIGHT POST AND BASE
---	UTILITY POLE
---	WETLAND
---	SEWER MANHOLE
---	CATCH BASIN
---	DECIDUOUS TREE
---	GAS VALVE
---	PEA STONE
---	PROPOSED CATCH BASIN
---	PROPOSED DRAIN MANHOLE

- DRAINAGE NOTES**
- ALL STORM DRAIN LINES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR "HIQ", ADS "N-12", OR APPROVED EQUAL) UNLESS OTHERWISE NOTED FOR ROOF DRAINS & CANOPY LEADERS.
  - ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
  - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY/TOWN, COUNTY, AND STATE CODES.
  - LENGTH OF PIPE IS PROVIDED FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
  - COORDINATE ROOF AND CANOPY DRAINS WITH BUILDING PLANS.
  - ALL PROPOSED MANHOLES, CATCH BASINS AND OTHER STORMWATER STRUCTURES SHALL BE SUBJECT TO REVIEW AND APPROVAL UNDER SUBMITTAL REQUIREMENTS.
  - WHERE EXISTING MANHOLES AND CATCH BASINS ARE TO BE RETROFITTED TO ACCEPT NEW PIPES, CONTRACTOR SHALL MAKE ALL NEW PENETRATIONS WITH CONCRETE CORE. THE CONNECTION BETWEEN THE STRUCTURE AND PIPE SHALL BE MADE WATERTIGHT WITH NON-SHRINK GROUT. CONTRACTOR SHALL VERIFY SIZE OF STRUCTURE AND INVERT ELEVATIONS PRIOR TO COMPLETING WORK AND REPORT ANY DISCREPANCIES TO ENGINEER.
  - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
  - STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
  - ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
  - ALL CATCH BASINS IN PAVEMENT SHALL HAVE GRATES SET 1" BELOW FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.

- GRADING NOTES**
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
  - DENSITY REQUIREMENTS:  
MINIMUM DENSITY\* LOCATION  
95% BELOW PAVED OR CONCRETE AREAS  
95% TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL  
90% BELOW LOAM AND SEED AREAS  
\*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.
  - ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
  - CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
  - SEE EXISTING FEATURES PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
  - ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
  - THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4 INCH FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
  - THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/8".
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
  - NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
  - ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
  - ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
  - COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
  - COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
  - LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
  - THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.



**DRAINAGE TABLE**

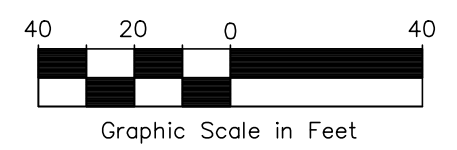
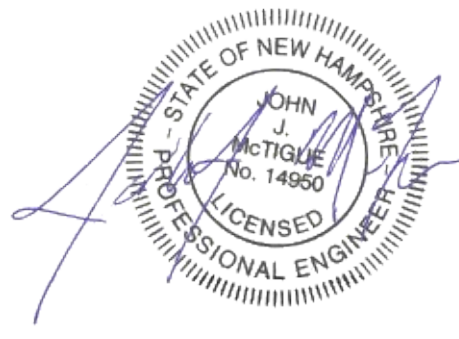
STRUCTURE #	RIM	INVERT IN	INVERT OUT
CB1	66.2	8" HDPE TO CB2 INV.=62.7	8" HDPE TO CB2 INV.=62.7
CB2	66.4	8" HDPE FROM CB1 INV.=62.5	12" RCP TO CB3 INV.=62.4
CB3	66.7	12" RCP FROM CB2 INV.=61.9	12" RCP TO CB4 INV.=61.8
CB4	66.5	12" RCP FROM CB3 INV.=61.8	15" RCP TO CB6 INV.=61.4
CB5	67.5		12" RCP TO CB6 INV.=60.3
CB6	67.1	12" RCP FROM CB5 INV.=62.6	24" RCP TO OUTFALL INV.=60.4
		15" RCP FROM CB4 INV.=60.4	8" HDPE INV.=60.5

**PLANNING BOARD FILE #**

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REV.	DATE	DESCRIPTION	DR	CK

**SITE DEVELOPMENT PLANS**

TAX MAP 272 LOT 1  
**GRADING AND DRAINAGE PLAN**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

SCALE: 1" = 40'(22X34)  
1" = 80'(11X17) **MAY 7, 2019**

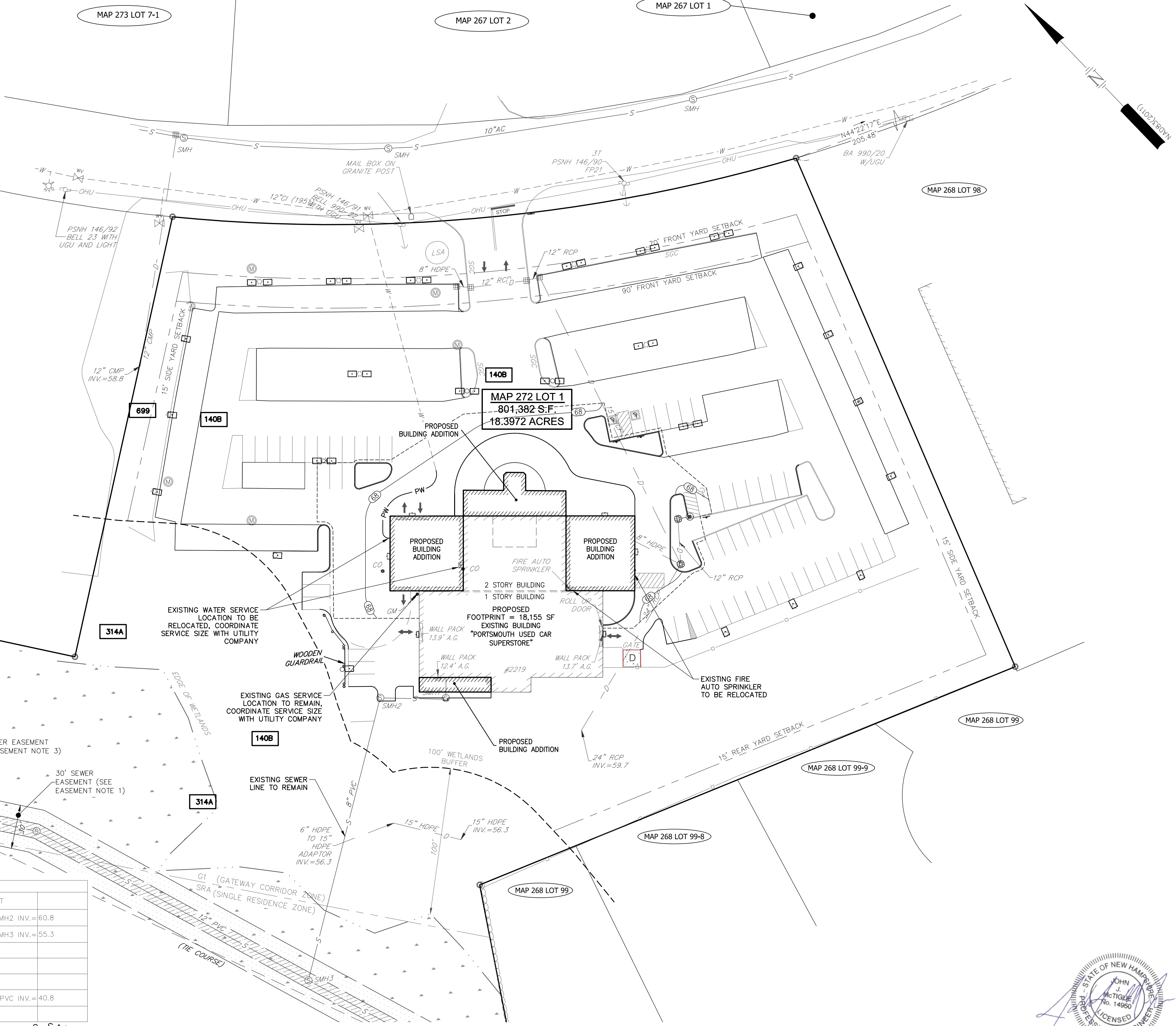
<b>TFM</b>	Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.TFMoran.com
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FILE # 45407.80 DR RCK FB CK CRR CADFILE 45407-80\_Grading.dwg C-06

May 07, 2019 - 2:37pm F:\MISC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - AcuraDesign\Production Drawings\45407-80\_Grading.dwg

### LEGEND

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GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
(H)	HANDICAP PARKING
OHU	OVERHEAD UTILITIES
S	EXISTING SEWER
---	EDGE OF WETLANDS
---	PROPERTY LINE
---	STOCKADE FENCE
---	WOODEN GUARD RAIL
---	TREE LINE
---	BUSH LINE
---	FREE STANDING SIGN
WV	WATER VALVE
GP	GUY POLE
LPPB	LIGHT POST AND BASE
UP	UTILITY POLE
W	WETLAND
SMH	SEWER MANHOLE
CB	CATCH BASIN
DT	DECIDUOUS TREE
GV	GAS VALVE
PS	PEA STONE
ELP	EXISTING LIGHT POLE
EWPL	EXISTING WALL PACK LIGHT
PWPL	PROPOSED WALL PACK LIGHT
ELPF	PROPOSED LIGHT POLE FUTURE



- ### UTILITY NOTES
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE TOWN, COUNTY AND/OR STATE AGENCY.
  - ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS.
  - EXCEPT FOR THE RELOCATION OF THE EXISTING WATER SERVICE, ALL UTILITY CONNECTIONS FOR THE PROPOSED ADDITIONS ARE FROM THE EXISTING BUILDING. NO NEW SEWER CONNECTIONS ARE PROPOSED. (SEE ARCHITECTURAL PLANS FOR MORE DETAIL).
  - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
  - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
  - PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
  - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
  - SEE EXISTING FEATURES PLAN FOR ANY KNOWN EXISTING UTILITY EASEMENTS. CONTACT ALL EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENT.
  - ALL UTILITY STRUCTURES IN PAVEMENT SHALL BE SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
  - LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
  - UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
  - THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
  - COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
  - THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY AND/OR PRIVATE UTILITY COMPANY.
  - SANITARY SEWER FOR PROPOSED ADDITIONS WILL CONNECT INTERNALLY TO THE EXISTING STRUCTURE, AND USE EXISTING SEWER SERVICE.
  - ON-SITE WATER DISTRIBUTION SHALL BE TO THE CITY OF PORTSMOUTH STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5 FEET COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, ENCASE THE SANITARY LINE IN 6" THICK CONCRETE FOR A DISTANCE OF 10' EITHER SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 3' HORIZONTALLY TO THE WATER LINE.
  - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
  - ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
  - ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
  - THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.
  - SDR-11 PIPE SHALL CONFORM WITH ASTM 3035 PER ENV-WQ 704.08 (D).

DRAINAGE	PRIVATE
SEWER	MUNICIPAL
WATER	MUNICIPAL
GAS	UNIL
ELECTRIC	EVERSOURCE
TELEPHONE	CONSOLIDATED COMMUNICATIONS FKA FAIRPOINT COMMUNICATIONS
CABLE	COMCAST

### SEWER TABLE

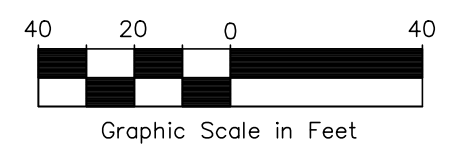
STRUCTURE #	RIM	INVERT IN	INVERT OUT
SMH1	68.3	8" PVC FROM BLDG INV.=60.9	8" PVC TO SMH2 INV.=60.8
SMH2	67.7	8" PVC FROM SMH1 INV.=59.4	8" PVC TO SMH3 INV.=55.3
		CHIMNEY DOWN TO 55.3	
		8" PVC INV.=59.5	
		CHIMNEY DOWN TO 55.3	
SMH3	51.5	8" PVC FROM SMH2 INV.=43.3	12" PVC INV.=40.8
		12" PVC INV.=40.9	

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REV.	DATE	DESCRIPTION	DR	CK

## SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1  
**UTILITY PLAN**  
KEY ACURA OF PORTSMOUTH  
2219 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

SCALE: 1" = 40' (22X34)  
1" = 80' (11X17) MAY 7, 2019

FILE #	45407.80	DR	RCK	FB		
		CK	CRR	CADFILE	45407-80_Utility.dwg	C-07

TFM

MSC  
A division of TFMoran, Inc.

Civil Engineers  
Structural Engineers  
Traffic Engineers  
Land Surveyors  
Landscape Architects  
Scientists

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LEGEND	
	PROPOSED DECIDUOUS TREE
	EXISTING DECIDUOUS TREE
	PROPOSED EVERGREEN TREE
	PROPOSED ORNAMENTAL DECIDUOUS TREE
	NATIVE OR IMPROVED NATIVE PLANT
	EDGE OF WETLANDS
	PROPERTY LINE
	STOCKADE FENCE
	TREE LINE
	BUSH LINE
	EXISTING PLANTING BED
	SPREAD
	CALIPER
	BALLED AND BURLAPPED
	HEIGHT
	CONTAINER
	SQUARE FEET
	ON CENTER
	NOT INCLUDED
	TYPICAL
	EXISTING
	PKG.
	DUMPSTER
	TRANSFORMER

**C-08 NOTE**

1. SEE C-09 FOR LANDSCAPE NOTES AND DETAILS

**RECORDING NOTES**

- THIS LANDSCAPE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR, AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE, AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED, AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

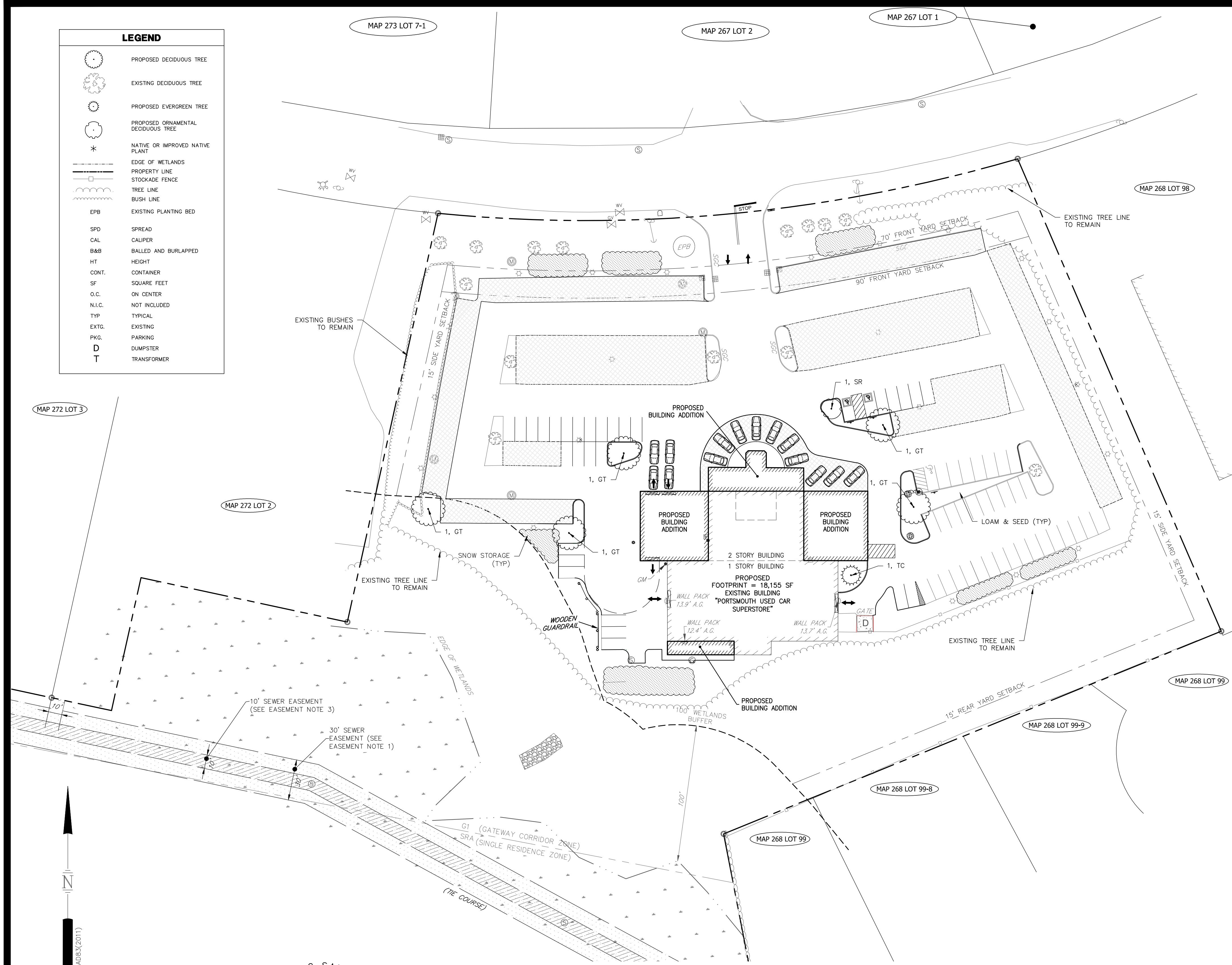
**PLANT LIST**

DECIDUOUS TREES:

KEY	QTY/S.F.	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
GT	5	GLEDTISIA TRIACANTHOS INERMIS 'SKYLINE' SKYLINE SEEDLESS HONEYLOCUST * (BEGIN BRANCHING AT 6' HT.)	3" CAL.	B&B FULL, BUSHY, SYMMETRICAL CROWN STRAIGHT CENTRAL TRUNK
SR	1	SYRINGA RETICULATA JAPANESE LILAC TREE (BEGIN BRANCHING AT 6' HT.)	2 1/2" CAL.	B&B FULL, BUSHY, SYMMETRICAL CROWN STRAIGHT CENTRAL TRUNK

EVERGREEN TREES:

KEY	QTY/S.F.	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
TC	1	TSUGA CANADENSIS CANADIAN HEMLOCK *	6' HT.	B-B FULL & BUSHY, SYMMETRICAL



**SITE DEVELOPMENT PLANS**

TAX MAP 272 LOT 1  
**LANDSCAPE PLAN**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

SCALE: 1" = 40'  
 1" = 80'

MAY 7, 2019



Civil Engineers  
 Structural Engineers  
 Traffic Engineers  
 Land Surveyors  
 Landscape Architects  
 Scientists

170 Commerce Way, Suite 102  
 Portsmouth, NH 03801  
 Phone (603) 431-2222  
 Fax (603) 431-0910  
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REV.	DATE	DESCRIPTION	DR	CK

FILE #	45407.80	DR	ETP	FB	45407-80_Landscape.dwg	C-08
CK	CRR	CA/FILE				

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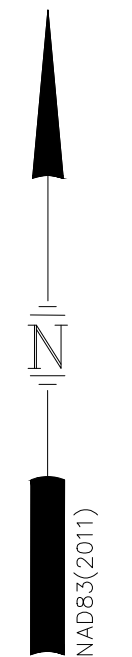
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 NAD83(2011)





**LEGEND**

EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
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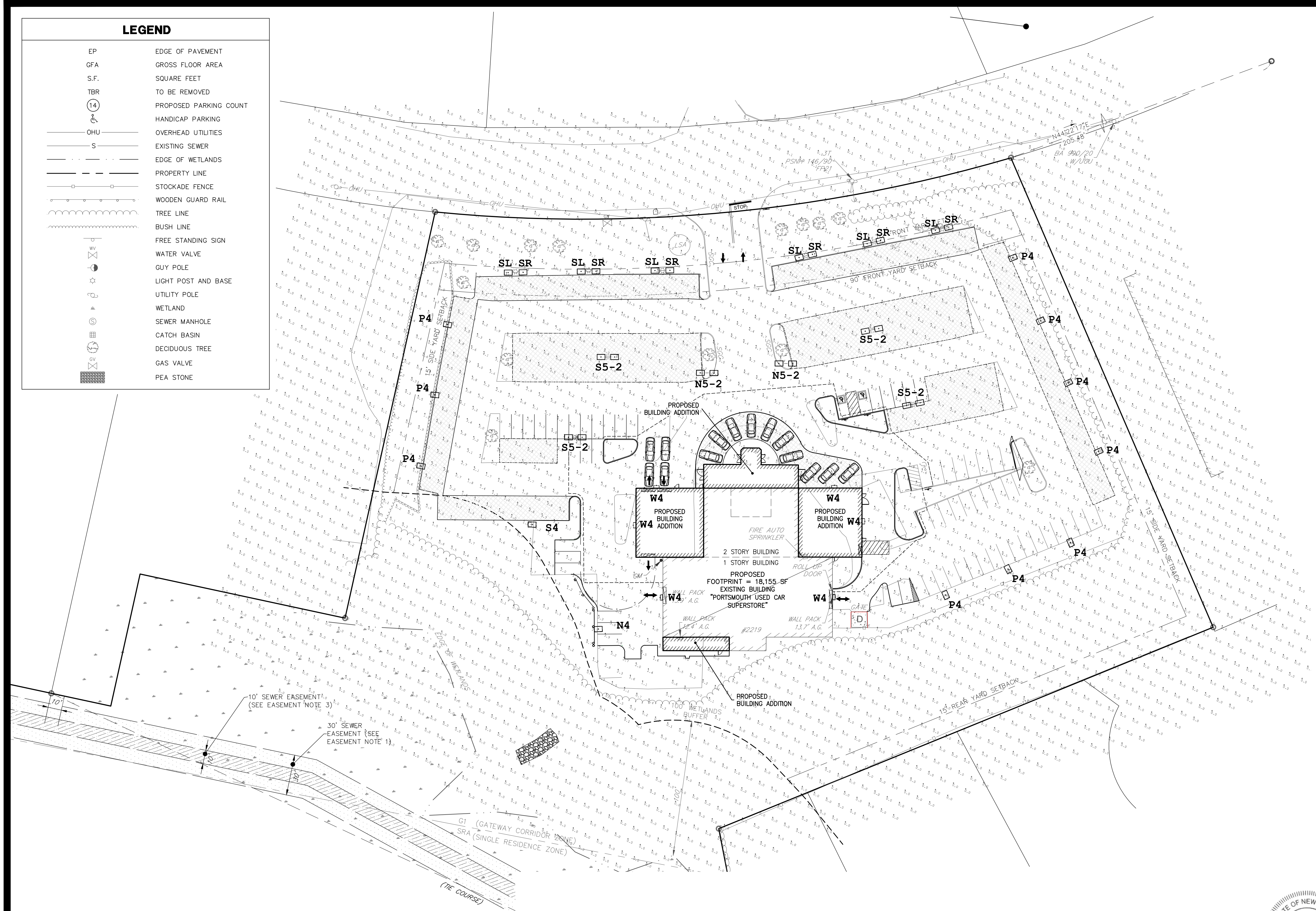
LIGHT POLE FIXTURE  
(N4, N5-2, P4, S5-2, SLR, SLL)



WALL MOUNTED FIXTURE  
W4

**LIGHTING NOTES**

1. ALL FIXTURES SHALL BE LED FIXTURES MEETING FULL CUT-OFF, DARK SKY COMPLIANCE.
2. ALL EXTERIOR CONDUITS FOR LIGHTING SHALL BE A MINIMUM 1 1/2" DIAMETER SCHEDULE 40 PVC. ALL CONDUITS UNDER ROADWAYS AND PARKING AREAS SHALL HAVE A MINIMUM COVER OF 24".
3. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPE.
4. ALL WORK SHALL MEET REQUIREMENTS OF NATIONAL ELECTRIC CODE.
5. ALL POLE MOUNTED LIGHT FIXTURES SHALL BE RECESSED TO SHIELD THE ILLUMINATION SOURCE FROM THE VIEW OF ABUTTING PROPERTIES.
6. LUMINAIRES AND FIXTURE MOUNTING HEIGHT SHALL BE SET AT A MAXIMUM OF 20' HIGH (SEE LUMINAIRE SCHEDULE).
7. PROVIDE SHIMS AS REQUIRED AND SET ALL POLES PLUMB. PROVIDE FULL ANCHOR BOLT COVERS.
8. POLES SHALL BE FACTORY CUT AS REQUIRED TO PROVIDE REQUIRED FIXTURE MOUNTING HEIGHT.
9. ALL LIGHT BASES TO BE SQUARE.
10. LIGHTING DESIGN, CALCULATIONS, AND PHOTOMETRICS PROVIDED BY CHARRON, INC.

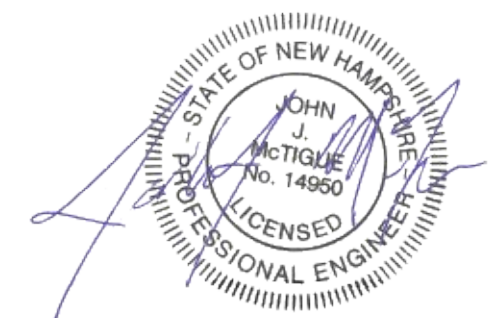


**SITE DEVELOPMENT PLANS**

TAX MAP 272 LOT 1  
**LIGHTING PLAN**  
**KEY ACURA OF PORTSMOUTH**  
**2219 LAFAYETTE ROAD**  
**PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY  
**2219 LAFAYETTE ROAD LLC**

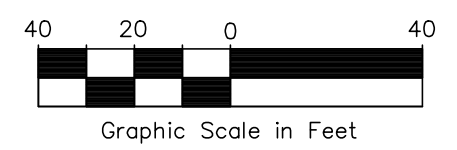
SCALE: 1" = 40' (22X34)  
 1" = 80' (11X17) MAY 7, 2019



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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

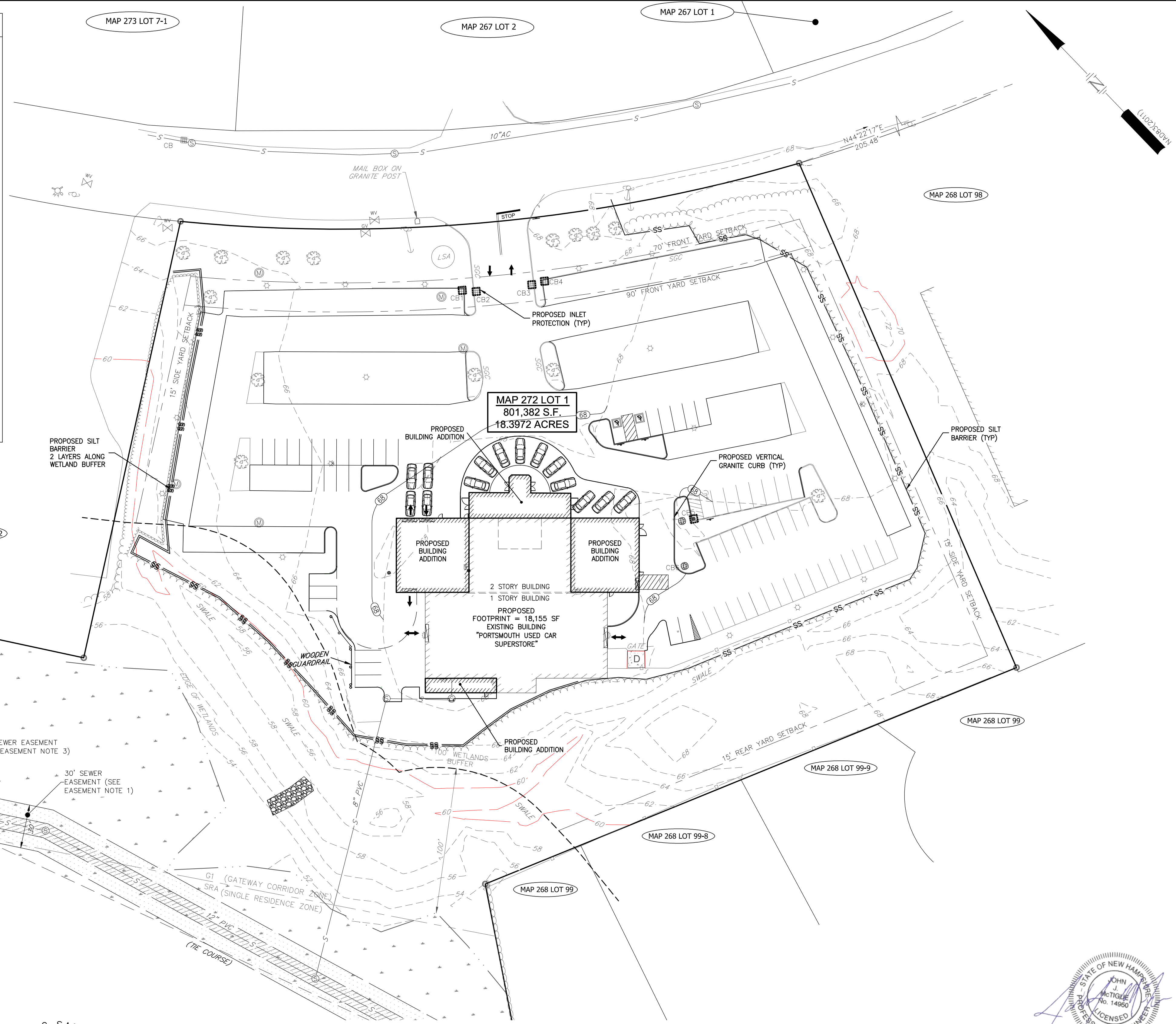


REV.	DATE	DESCRIPTION	DR	CK

		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.TFMoran.com

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LEGEND	
EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
	HANDICAP PARKING
OHU	OVERHEAD UTILITIES
S	EXISTING SEWER
	EDGE OF WETLANDS
	PROPERTY LINE
	STOCKADE FENCE
	WOODEN GUARD RAIL
	TREE LINE
	BUSH LINE
	FREE STANDING SIGN
	WATER VALVE
	GUY POLE
	LIGHT POST AND BASE
	UTILITY POLE
	WETLAND
	SEWER MANHOLE
	CATCH BASIN
	DECIDUOUS TREE
	GAS VALVE
	PEA STONE
	SILT BARRIER
	INLET PROTECTION



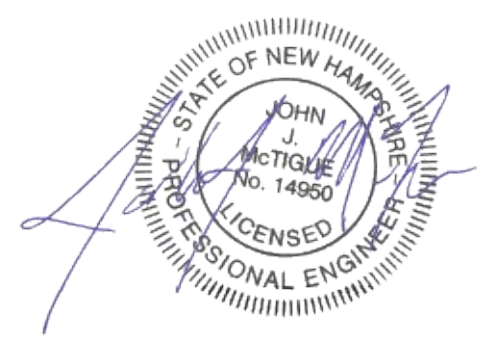
- ### EROSION CONTROL NOTES
- SEE GENERAL EROSION CONTROL NOTES ON THE EROSION CONTROL DETAIL SHEET AND THE APPROVED SWPPP.
  - INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
  - PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
  - DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
  - SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
  - CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1. DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
  - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10 INCH OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
  - PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
  - ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
  - ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
  - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
    - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED
    - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
    - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
    - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
  - ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
  - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
  - THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.

## SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1  
**EROSION CONTROL PLAN**  
 KEY ACURA OF PORTSMOUTH  
 2219 LAFAYETTE ROAD  
 PORTSMOUTH, NEW HAMPSHIRE

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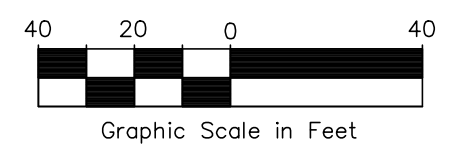


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SOIL CHARACTERISTICS

THE SOIL IN THE VICINITY OF THE SITE CONSIST OF CHATFIELD-HOLLIS-CANTON, PIPESTONE SAND, AND URBAN LEND, THE MAJORITY OF THE SOIL IN THE DISTURBED AREA IS HSG TYPE B.

DISTURBED AREA

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 24,000 SQUARE FEET (0.55 ACRES).

CRITICAL NOTE: THIS DRAWING IS PROVIDED FOR GENERAL GUIDANCE. ALL SPECIAL EROSION CONTROL MEASURES MUST BE EXECUTED IN ACCORDANCE WITH CURRENT STATE AND LOCAL REGULATIONS, APPROVED SWPPP AND PERMIT REQUIREMENTS.

SEQUENCE OF MAJOR ACTIVITIES

- 1. INSTALL TEMPORARY EROSION CONTROL MEASURES.
2. DEMOLISH EXISTING SITE WORK DESIGNATED FOR REMOVAL.
3. COMPLETE MAJOR GRADING OF SITE.
4. CONSTRUCT BUILDING PAD, STORMWATER SYSTEM, AND SITE UTILITIES.
5. CONSTRUCT PARKING LOT.
6. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE ALL INLET PROTECTION, SILT BARRIERS AND SEDIMENT THAT HAS BEEN TRAPPED BY THESE DEVICES.

EROSION AND SEDIMENT CONTROLS AND STABILIZATION PRACTICES

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL NOT OCCUR FOR MORE THAN TWENTY ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA.

- 1. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT BARRIERS.

OFF SITE VEHICLE TRACKING

CONTRACTOR TO SWEEP AS NEEDED TO PREVENT ANY VEHICLES TRACKING ON CITY STREETS

INSTALLATION, MAINTENANCE AND INSPECTION OF EROSION AND SEDIMENT CONTROLS

A. GENERAL

THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.

- 1. STABILIZATION OF ALL SWALES, DITCHES AND PONDS IS REQUIRED PRIOR TO DIRECTING FLOW TO THEM.
2. THE SMALLEST PRACTICAL PORTION OF THE SITE WILL BE DENUDED AT ONE TIME. (5 AC MAX)
3. ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.10 INCHES OR GREATER.
4. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
5. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT BARRIER WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE BARRIER.
6. ALL DIVERSION DIKES WILL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
7. TEMPORARY SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND UNHEALTHY GROWTH.
8. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION.
9. THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.

B. FILTERS / BARRIERS

- 1. SILT SOCKS
A. KNOTTED MESH NETTING MATERIAL SHALL BE DELIVERED TO SITE IN A 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" MATERIAL, FILLED WITH COMPOST CONFORMING TO THE FOLLOWING REQUIREMENTS:
PHYSICAL PROPERTY TEST REQUIREMENTS
PH TMECC 04.11-A 5.0 TO 8.0
PARTICLE SIZE TMECC 02.02-B 2" SIEVE AND MIN. 60% GREATER THAN THE 1/2" SIEVE
MOISTURE CONTENT STND TESTING < 60%
MATERIAL SHALL BE RELATIVELY FREE OF INERT OR FOREIGN MAN-MADE MATERIALS
MATERIAL SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER, FREE FROM ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH.

- B. SEDIMENT COLLECTED AT THE BASE OF THE SILT SOCK SHALL BE REMOVED ONCE IT HAS REACHED 1/3 OF THE EXPOSED HEIGHT OF THE SILT SOCK.
C. SILT BARRIER SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREAS HAS BEEN PERMANENTLY STABILIZED.
2. SEQUENCE OF INSTALLATION
SEDIMENT BARRIERS SHALL BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM.
3. MAINTENANCE

- A. SILT BARRIERS SHALL BE INSPECTED WEEKLY AND IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. THEY SHALL BE REPAIRED IF THERE ARE ANY SIGNS OF EROSION OR SEDIMENTATION BELOW THEM. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. IF THERE ARE SIGNS OF UNDERCUTTING AT THE CENTER OR THE EDGES, OR IMPOUNDING OF LARGE VOLUMES OF WATER BEHIND THEM, SEDIMENT BARRIERS SHALL BE REPLACED WITH A TEMPORARY CHECK DAM.
B. SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL IS NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
C. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD (1/3) THE HEIGHT OF THE BARRIER.
D. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFIRM WITH THE EXISTING GRADE, PREPARED AND SEEDDED.

C. MULCHING
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- 1. TIMING
IN ORDER FOR MULCH TO BE EFFECTIVE, IT MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO (2) TYPES OF STANDARDS WHICH SHALL BE USED TO ASSURE THIS:
A. APPLY MULCH PRIOR TO ANY STORM EVENT.
THIS IS APPLICABLE WHEN WORKING WITHIN 100 FEET OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER PREDICTIONS, USUALLY BY CONTACTING THE NATIONAL WEATHER SERVICE, TO HAVE ADEQUATE WARNING OF SIGNIFICANT STORMS.
B. REQUIRED MULCHING WITHIN A SPECIFIED TIME PERIOD.
THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY ON AN AREA, WHERE THE LENGTH OF TIME VARIES WITH SITE CONDITIONS. PROFESSIONAL JUDGMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS (SOIL ERODIBILITY, SEASON OF YEAR, EXTENT OF DISTURBANCE, PROXIMITY TO SENSITIVE RESOURCES, ETC.) AND THE POTENTIAL IMPACT OF EROSION ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.
2. GUIDELINES FOR WINTER MULCH APPLICATION.
WHEN MULCH IS APPLIED TO PROVIDE PROTECTION OVER WINTER (PAST THE GROWING SEASON) IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER MAY BE ADDED TO THE MULCH.
3. MAINTENANCE
ALL MULCHES MUST BE INSPECTED PERIODICALLY, IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. IF LESS THAN 90% OF THE SOIL SURFACE IS COVERED BY MULCH, ADDITIONAL MULCH SHALL BE IMMEDIATELY APPLIED.

D. VEGETATIVE PRACTICE

- 1. AFTER ROUGH GRADING OF THE SUBGRADE HAS BEEN COMPLETED AND APPROVED, THE SUB GRADE SURFACE SHALL BE SCARIFIED TO A DEPTH OF FOUR INCHES, THEN, FURNISH AND INSTALL A LAYER OF LOAM PROVIDING A ROLLED THICKNESS AS SPECIFIED IN THESE PLANS. ANY DEPRESSIONS WHICH MAY OCCUR DURING ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM, REGRADED AND REROLLED UNTIL THE SURFACE IS TRUE TO THE FINISHED LINES AND GRADES. ALL LOAM NECESSARY TO COMPLETE THE WORK UNDER THIS SECTION SHALL BE SUPPLIED BY THE SITE SUBCONTRACTOR.
2. ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, DEBRIS, GLASS, STUMPS, LITTER AND OTHER FOREIGN MATERIAL, AS WELL AS STONES OVER ONE INCH IN DIAMETER, SHALL BE REMOVED FROM THE LOAM AND DISPOSED OF OFF SITE. THE LOAM SHALL BE RAKED SMOOTH AND EVEN.
3. THE LOAM SHALL BE PREPARED TO RECEIVE SEED BY REMOVING STONES, FOREIGN OBJECTS AND GRADING TO ELIMINATE WATER POCKETS AND IRREGULARITIES PRIOR TO PLACING SEED. FINISH GRADING SHALL RESULT IN STRAIGHT UNIFORM GRADES AND SMOOTH, EVEN SURFACES WITHOUT IRREGULARITIES TO LOW POINTS.
4. SHAPE THE AREAS TO THE LINES AND GRADES REQUIRED. THE SITE SUBCONTRACTOR'S ATTENTION IS DIRECTED TO THE SCHEDULING OF LOAMING AND SEEDING OF GRADED AREAS TO PERMIT SUFFICIENT TIME FOR THE STABILIZATION OF THESE AREAS. IT SHALL BE THE SITE SUBCONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE AREAS DURING THE CONSTRUCTION PERIOD AND REGRADE, LOAM AND RESEED ANY DAMAGED AREAS.
5. ALL AREAS DISTURBED BY CONSTRUCTION WITHIN THE PROPERTY LINES AND NOT COVERED BY STRUCTURES, PAVEMENT, OR MULCH SHALL BE LOAMED AND SEEDDED.
6. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
7. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.
8. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4 1/2 POUNDS AND 5 1/2 POUNDS PER INCH OF WIDTH.
9. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.
10. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE. MULCH THAT BLOWS OR WASHES AWAY SHALL BE REPLACED IMMEDIATELY AND ANCHORED USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.
11. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDDED, AND ALL NOXIOUS WEEDS REMOVED.
12. THE SITE SUBCONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDDED AREAS UNTIL ACCEPTED, INCLUDING CUTTING, AS SPECIFIED HEREIN AFTER UNDER MAINTENANCE AND PROTECTION.
13. UNLESS OTHERWISE APPROVED, SEEDING SHALL BE DONE DURING THE APPROXIMATE PERIODS OF EARLY SPRING TO SEPTEMBER 30, WHEN SOIL CONDITIONS AND WEATHER ARE SUITABLE FOR SUCH WORK. IN NO CASE SHALL THE WEED CONTENT EXCEED 1 PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. FOR TEMPORARY PLANTINGS AFTER SEPTEMBER 30, TO EARLY SPRING AND FOR TEMPORARY PROTECTION OF DISTURBED AREAS:
A. FOLLOW ABOVE SLOPE, LOAM DEPTH AND GRADING REQUIREMENTS.
B. FERTILIZER SHALL BE SPREAD AND WORKED INTO THE SURFACE AT A RATE OF 300 POUNDS PER ACRE.
MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING RATES:
WINTER RYE (FALL SEEDING) 2.5 LBS/1,000 SF
OATS (SPRING SEEDING) 2.0 LBS/1,000 SF
MULCH 1.5 TONS/ACRE

E. CATCH BASIN INLET PROTECTION

- 1. INLET BASKET STRUCTURE
A. INLET PROTECTION SHALL BE INSTALLED IMMEDIATELY PRIOR TO DISTURBING PAVEMENT AND SHALL REMAIN IN PLACE AND MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
B. MOLD 6X6, 42 LB. WIRE SUPPORT AROUND INLET FRAME AND GRATE AND EXTEND 6" BEYOND SIDES. SECURE FILTER FABRIC TO WIRE SUPPORT.
C. THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC; POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
GRAB STRENGTH: 45 LB. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682)
MULLEN BURST STRENGTH: MIN. 60PSI (ASTM D774)
D. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 GPM.
E. THE INLET PROTECTION SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
F. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

F. WINTER CONSTRUCTION SEQUENCE

- 1. ALL PROPOSED POST-DEVELOPMENT LANDSCAPED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENT.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER OCTOBER 15TH, ALL TRAVEL SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOWFALL AFTER EACH STORM EVENT.

TIMING OF CONTROLS/MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, SILT BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCING ANY CLEARING OR GRADING OF THE SITE. STRUCTURAL CONTROLS SHALL BE INSTALLED CONCURRENTLY WITH THE APPLICABLE ACTIVITY. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN TWENTY ONE (21) DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN FOURTEEN (14) DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, SILT BARRIERS AND ANY EARTH/DIKES WILL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

WASTE DISPOSAL

- 1. WASTE MATERIALS
ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN A DUMPSTER. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE
ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE
ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

SPILL PREVENTION

- 1. MATERIAL MANAGEMENT PRACTICES
THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
GOOD HOUSEKEEPING:
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:
A. AN EFFORT WILL BE MADE TO STORE ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB.
B. ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
C. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
D. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
E. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
F. WHENEVER POSSIBLE ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.

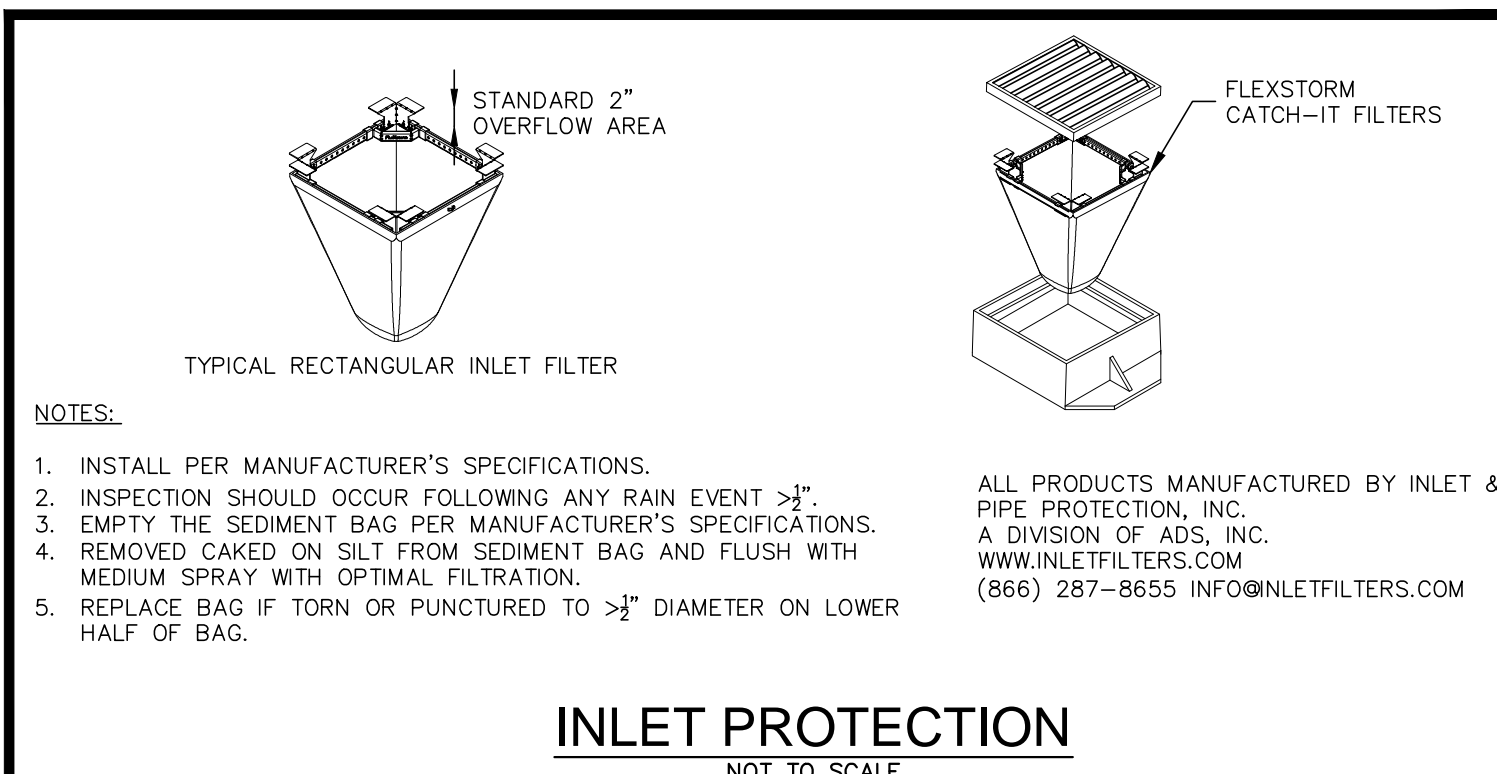
- HAZARDOUS PRODUCTS:
THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
A. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
B. ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
C. SURPLUS PRODUCT THAT MUST BE DISPOSED OF WILL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
2. PRODUCT SPECIFICATION PRACTICES
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

PETROLEUM PRODUCTS:
ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS:
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS. ONCE APPLIED FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER. STORAGE WILL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS:
CONCRETE TRUCKS WILL DISCHARGE AND WASH OUT SURPLUS CONCRETE OR DRUM WASH WATER IN A CONTAINED AREA DESIGNATED ON SITE.



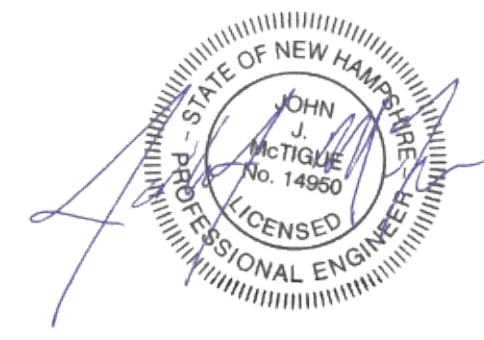
SPILL CONTROL PRACTICES

IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- A. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
B. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
C. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
D. THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
E. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
F. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEANUP THE SPILL IF IT RECURS. A DESCRIPTION OF THE SPILL, ITS CAUSE, AND THE CLEANUP MEASURES WILL BE INCLUDED.
G. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

DUST CONTROL

THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL METHODS SHALL INCLUDE, BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

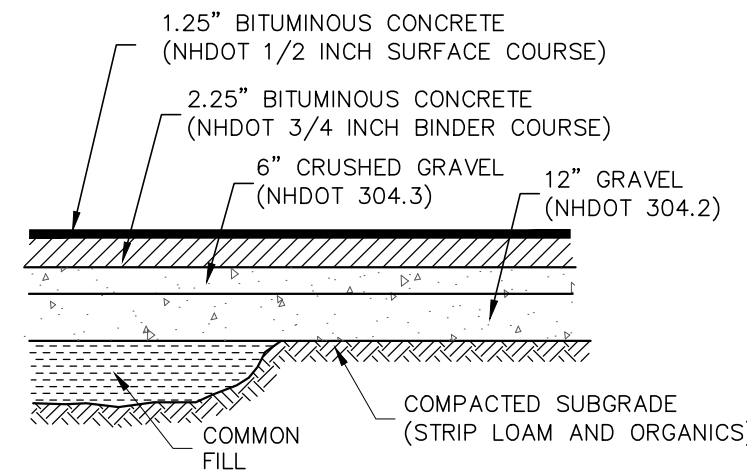


Site Development Plans
TAX MAP 272 LOT 1
EROSION CONTROL NOTES AND DETAILS
KEY ACURA OF PORTSMOUTH
2219 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE
OWNED BY
2219 LAFAYETTE ROAD LLC
MAY 7, 2019

TFM logo
MSC logo
Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
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FILE 45407.80 DR FB CK CRR CADFILE 45407-80\_Details.dwg C-12

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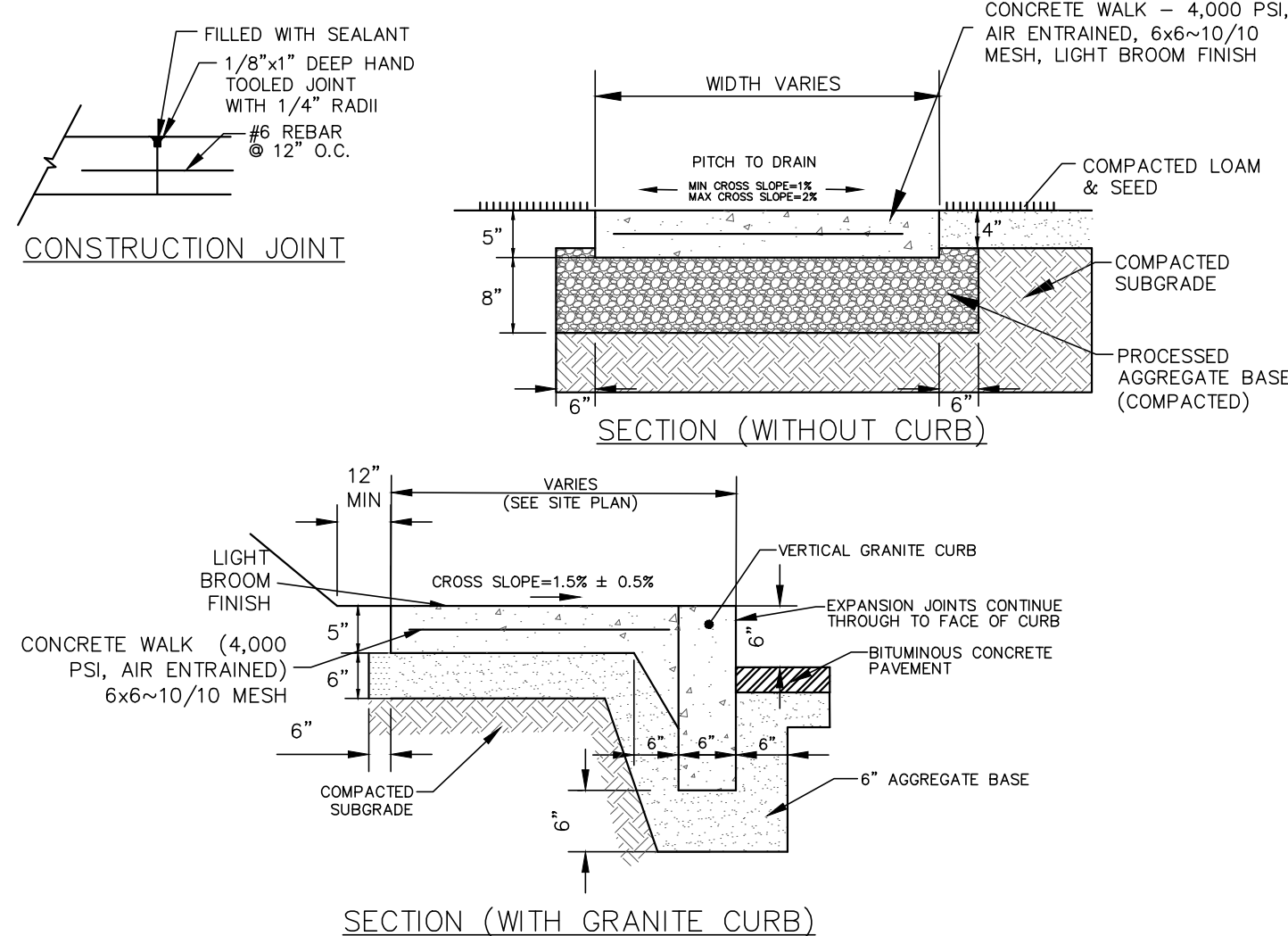
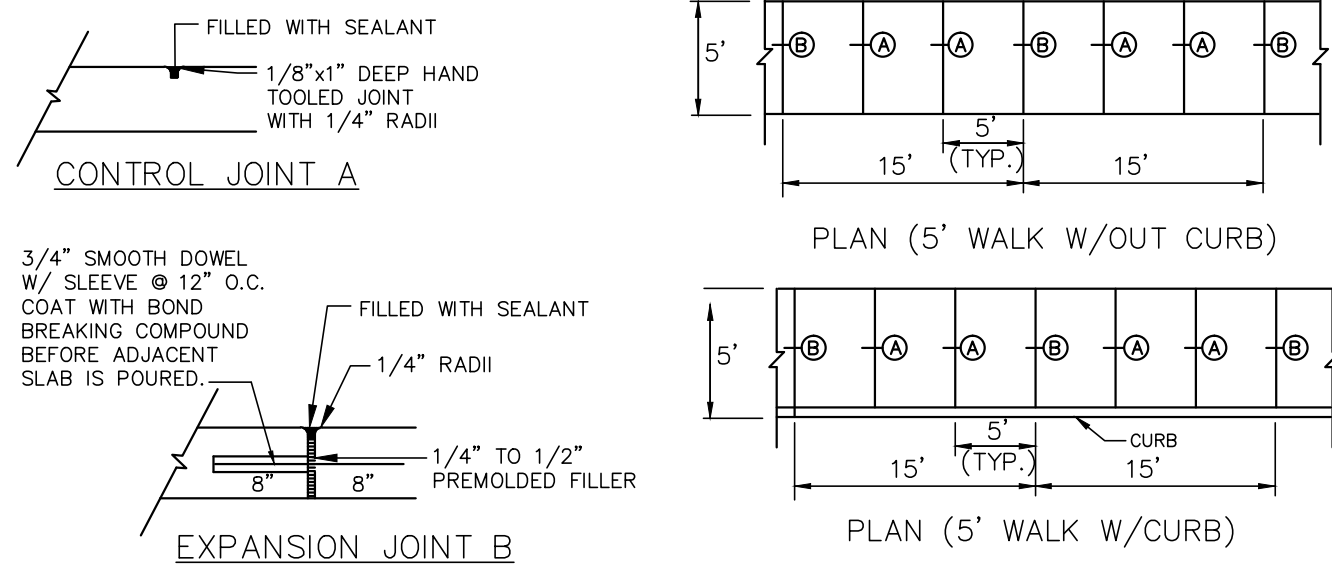


**NOTES**

- SEE GRADING & EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
- PROVIDE CLEAN BUTT TO EXISTING PAVEMENT- USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
- REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
- BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SECTION 401.
- BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92-97% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
- PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557.
- PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% OF ASTM D-1557.
- THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.
- LOCATION OF HEAVY DUTY PAVEMENT SHALL BE AS SHOWN ON THE LAYOUT PLAN. ALL OTHER LOCATIONS SHALL BE STANDARD DUTY PAVEMENT.
- EXACT AREAS TO RECEIVE FULL-DEPTH PAVEMENT SECTION BASE AND SUB-BASE SHALL BE DETERMINED IN FIELD AT THE TIME OF CONSTRUCTION.

**PAVEMENT SECTION**

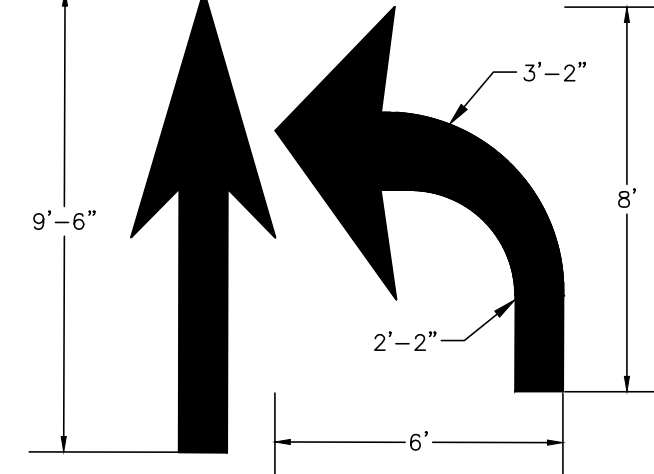
NOT TO SCALE



**CONCRETE SIDEWALK**

NOT TO SCALE

- NOTE**  
1. SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION.

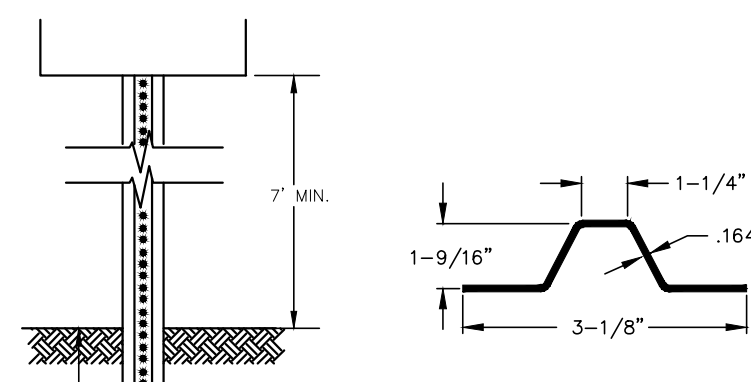


**NOTES**

- TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.

**PAINTED ARROW**

NOT TO SCALE

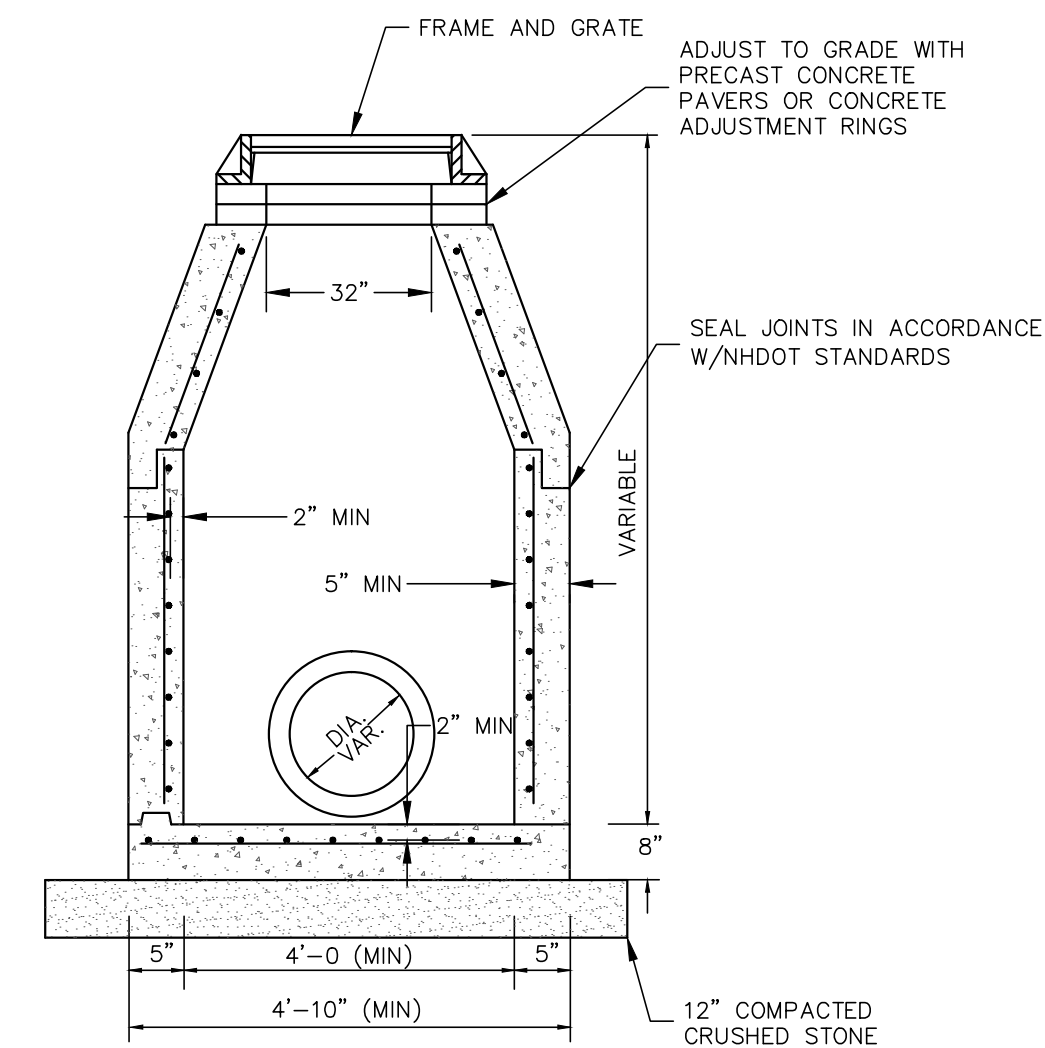


- LENGTH:** AS REQUIRED  
**WEIGHT PER LINEAR FOOT:** 2.50 LBS (MIN.)  
**HOLES:** 3/8" DIAMETER, 1" C-C FULL LENGTH  
**STEEL:** SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)  
**FINISH:** SHALL BE PAINTED WITH 2 COATS OF AN APPROVED MEDIUM GREEN BAKED-ON OR AIR-DRYED PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.

- NOTE:**  
1. WHERE LEDGE APPLICATION EXISTS, DRILL & GROUT TO A MINIMUM OF 2'.

**SIGN POST**

NOT TO SCALE

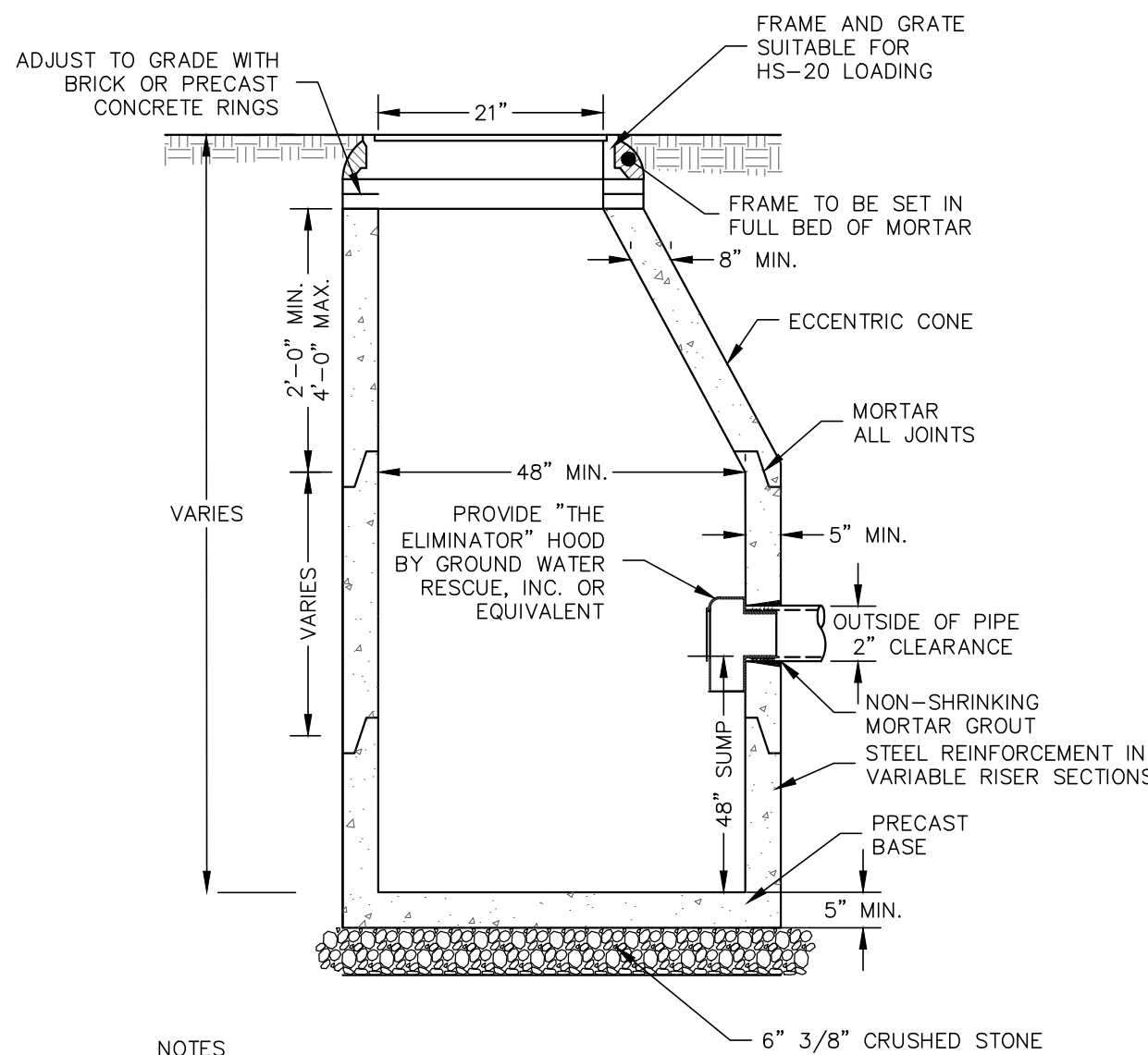


**NOTES**

- MANHOLE FRAME & COVER: SHALL BE NEENAH R-1653-A OR APPROVED EQUAL.
- MANHOLES SHALL MEET NHDOT SPECIFICATIONS.
- ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING
- REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
- ALL CONCRETE SHALL BE NHDOT CLASS A. LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.

**DRAIN MANHOLE**

NOT TO SCALE

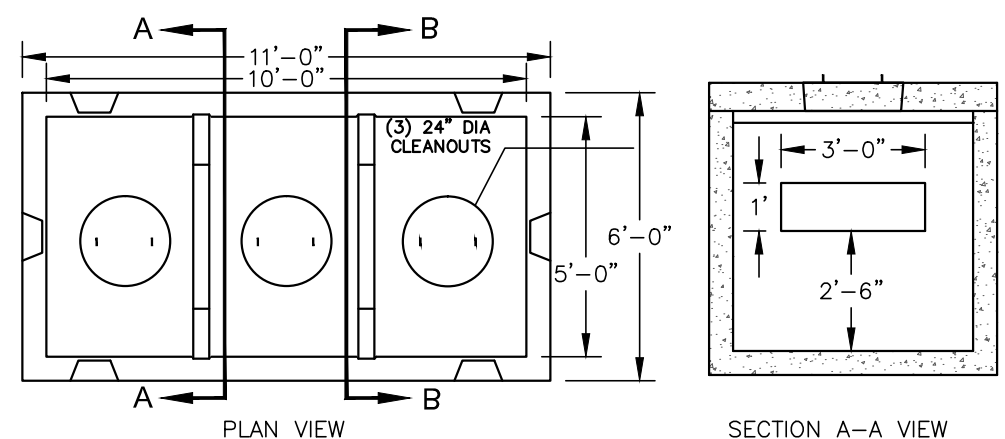


**NOTES**

- ALL SECTIONS SHALL BE PRECAST CONCRETE NHDOT CLASS AA, 4,000 PSI.
- CATCH BASINS SHALL MEET NHDOT SPECIFICATIONS.
- ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
- LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.

**ECCENTRIC CATCH BASIN WITH SNOOT**

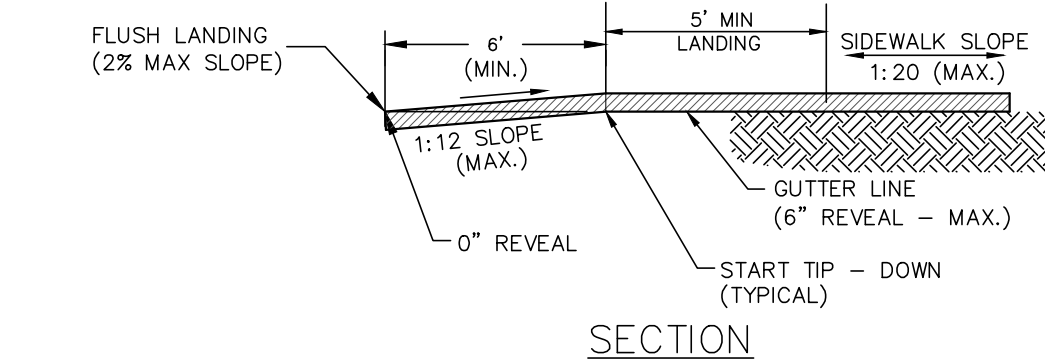
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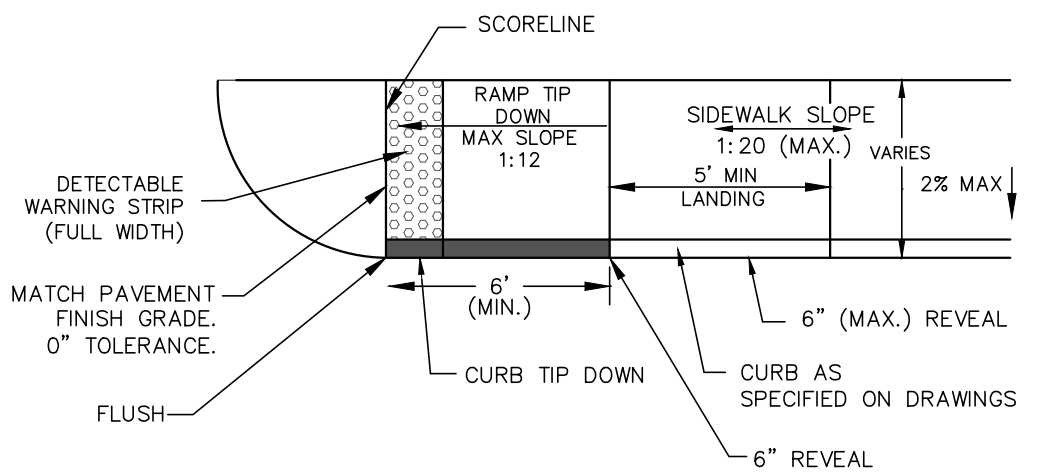
**Filtrex SiltSoxx Staking**

NOT TO SCALE

- NOTES:**  
1. All material to meet Filtrex specifications  
2. FilterSoxx compost/soil/rock/seed fill to meet application requirements.  
3. Compost material to be dispersed on site, as determined by Engineer.



**SECTION**

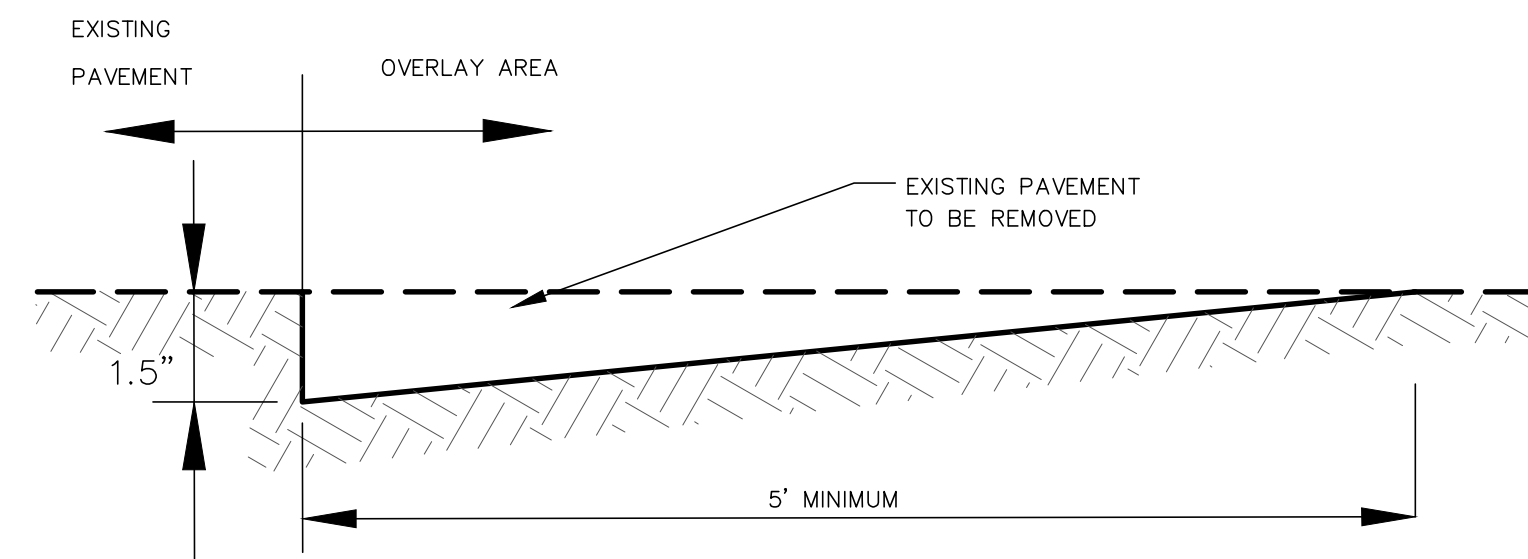


**PLAN**

- NOTE**  
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION.

**SIDEWALK TIP DOWN RAMP**

NOT TO SCALE



**NOTES**

- USE KEY JOINT AT ALL LOCATIONS WHERE OVERLAY MEETS EXISTING PAVEMENT.
- NEW PAVEMENT SHALL BE FLUSH WITH EXISTING PAVEMENT AND SHALL MEET OVERLAY GRADE WHERE IT ABUTS EXISTING PAVEMENT TO BE OVERLAYED.

**KEY JOINT DETAIL**

NOT TO SCALE

**SITE DEVELOPMENT PLANS**

TAX MAP 272 LOT 1

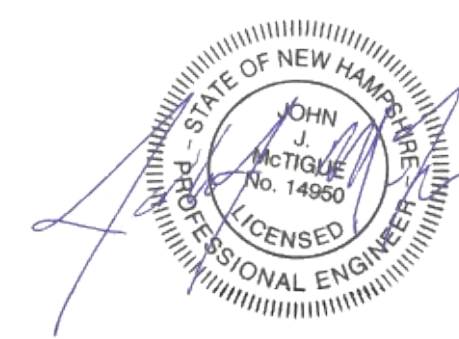
**DETAIL SHEET**

**KEY ACURA OF PORTSMOUTH  
2219 LAFAYETTE ROAD  
PORTSMOUTH, NEW HAMPSHIRE**

OWNED BY

**2219 LAFAYETTE ROAD LLC**

**MAY 7, 2019**



**PLANNING BOARD FILE #**

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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

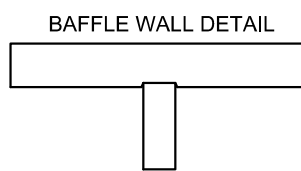
DETAIL PROVIDED BY SHEA CONCRETE PRODUCTS  
87 HAVERHILL ROAD AMESBURY, MA  
(800) 696-7432

**NOTES:**

- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
- DESIGNED FOR H-20 LOADING
- TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.

**1,500 GALLON SEDIMENT & OIL SEPARATOR**

NOT TO SCALE



**BAFFLE WALL DETAIL**

REV.	DATE	DESCRIPTION	DR	CK

<b>TFM</b>	<b>MSC</b> A division of TFMoran, Inc.	Civil Engineers	170 Commerce Way, Suite 102
		Structural Engineers	Portsmouth, NH 03801
		Traffic Engineers	Phone (603) 431-2222
		Land Surveyors	Fax (603) 431-0910
		Landscape Architects	www.TFMoran.com
		Scientists	

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