

GENERAL INFORMATION

OWNER
 ANTHONY DILORENZO
 549 US HIGHWAY 1 BY-PASS
 PORTSMOUTH, NH 03801
 (603) 319-0440

APPLICANT
 2219 LAFAYETTE ROAD LLC
 549 US HIGHWAY 1 BY-PASS
 PORTSMOUTH, NH 03801
 (603) 319-0440

PREPARED FOR
 2219 LAFAYETTE ROAD LLC
 549 US HIGHWAY 1 BY-PASS
 PORTSMOUTH, NH 03801
 (603) 319-0440

RESOURCE LIST
 PLANNING/ ZONING DEPARTMENT
 1 JUNKINS AVENUE, 3RD FLOOR
 PORTSMOUTH, NH 03801
 (603) 610-7296
 JULIE WALKER, PLANNING DIRECTOR

BUILDING DEPARTMENT
 1 JUNKINS AVENUE, 3RD FLOOR
 PORTSMOUTH, NH 03801
 (603) 610-7261
 ROBERT MARSILIA, CHIEF BUILDING INSPECTOR

PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, NH 03801
 (603) 427-1530
 PETER RICE, DIRECTOR

POLICE DEPARTMENT
 3 JUNKINS AVENUE
 PORTSMOUTH, NH 03801
 (603) 427-1512
 ROBERT MERNER, CHIEF

FIRE DEPARTMENT
 170 COURT STREET
 PORTSMOUTH, NH 03801
 (603) 427-1515
 STEVEN E. ACHILLES, CHIEF

ARCHITECT
 TJW DESIGNS LLC
 254 DRAKE HILL ROAD
 STRAFFORD, NH 03884
 VISIONS@TW-DESIGNS.COM
 (603) 664-2181
 JOHN TUTTLE, PRINCIPAL

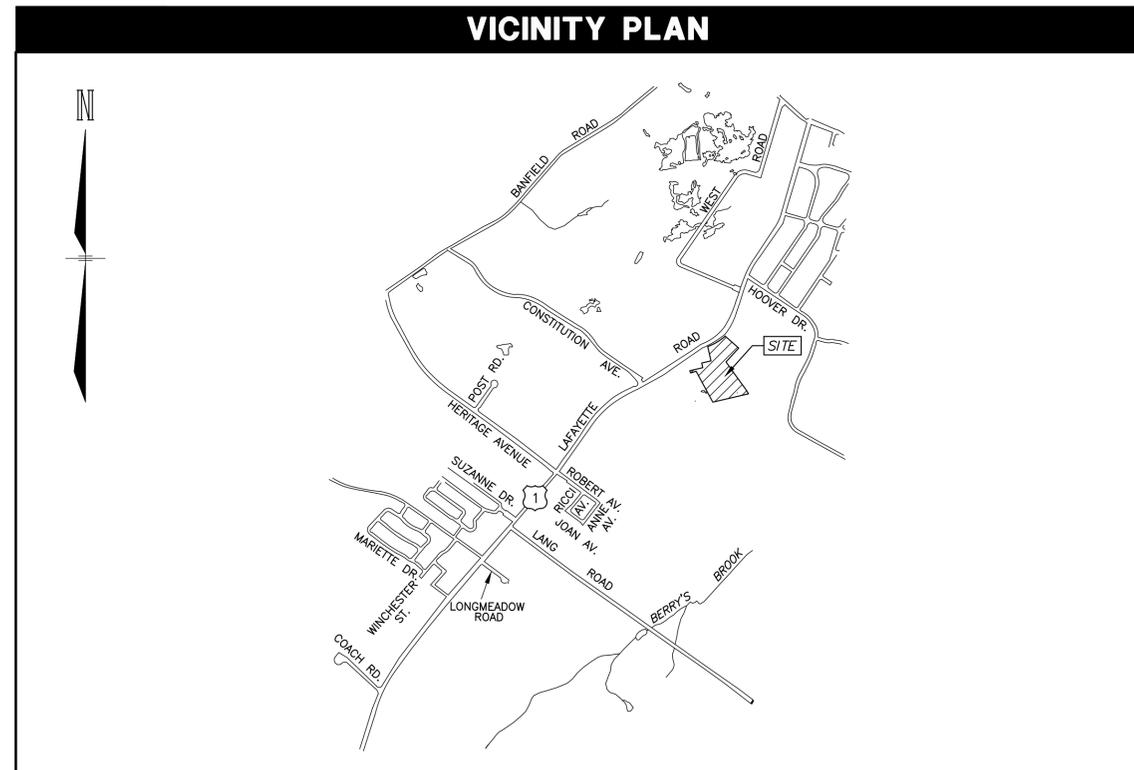
LAND SURVEYORS
 MSC ENGINEERS a division of TFMORAN
 170 COMMERCE WAY, SUITE 102
 PORTSMOUTH, NH 03801
 (603) 431-2222
 J. COREY COLWELL, LSS

KEY ACURA OF PORTSMOUTH

PORTSMOUTH, NEW HAMPSHIRE

MAY 7, 2019
 LAST REVISED JULY 9, 2019

VICINITY PLAN



Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists
 170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.TFMoran.com

INDEX OF SHEETS

SHEET	SHEET TITLE
C-01	COVER
C-02	EXISTING CONDITIONS PLAN
C-03	NOTES SHEET
C-04	SITE PREPARATION AND DEMOLITION PLAN
C-05	SITE & LAYOUT PLAN
C-06	GRADING AND DRAINAGE PLAN
C-07	UTILITY PLAN
C-08	LANDSCAPE PLAN
C-09	LANDSCAPE NOTES, DETAILS AND SCHEDULES
C-10	LIGHTING PLAN
C-11	EROSION CONTROL PLAN
C-12	EROSION CONTROL NOTES AND DETAILS
C-13	TRUCK MOVEMENT
C-14 TO C-15	DETAIL SHEET
A1.1 TO A4.1	ARCHITECTURAL PLANS (TJW DESIGNS)

PERMITS/APPROVALS

	NUMBER	APPROVED	EXPIRES
ZBA APPROVAL	PENDING	PENDING	PENDING
TOWN SITE PLAN	PENDING	PENDING	PENDING
NHDOT DRIVEWAY	PENDING	PENDING	PENDING

THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1
COVER SHEET
KEY ACURA OF PORTSMOUTH
2219 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

OWNED BY
2219 LAFAYETTE ROAD LLC

MAY 7, 2019

TFM **MSC**
 Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists
 170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.TFMoran.com



REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR

FILE	DR	RCK	FB	DESCRIPTION	NO.
45407.80	DR	RCK	FB	45407-80_Cover.dwg	C-01



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

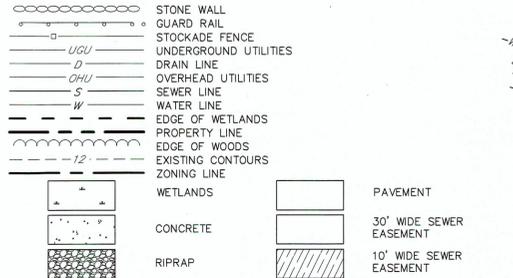
PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.
 48 Constitution Drive, Bedford, N.H. 03110
 All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

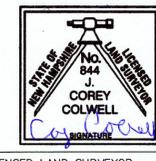
Jul 09, 2019 - 1:07pm F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80_Cover.dwg

LEGEND

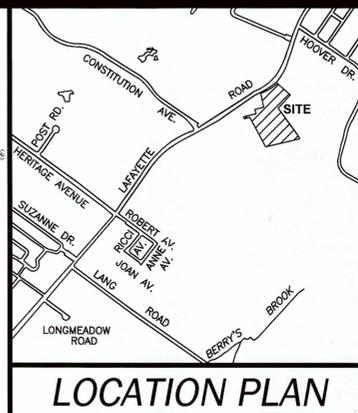
- MAP 272 LOT 3
- AC ASSESSORS MAP & PARCEL NUMBER
- A.G. ABOVE GRADE
- BOOK/PAGE BOOK/PAGE
- CB CATCH BASIN
- CHB CHORD BEARING
- CHL CHORD LENGTH
- CI CAST IRON PIPE
- CM CORRUGATED METAL PIPE
- CO CLEAN OUT
- CONC CONCRETE
- EL ELEVATION
- EP EDGE OF PAVEMENT
- FF FINISHED FLOOR
- GM GAS METER
- HC HANDICAP
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- INV. INVERT
- L LENGTH
- LP LIGHT POST
- LSA LANDSCAPED AREA
- N/F NOW OR FORMERLY
- NAD83 NORTH AMERICAN 1983 DATUM
- PSNH PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE
- PVC POLYVINYL CHLORIDE
- R RADIUS
- RCP REINFORCED CONCRETE PIPE
- RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
- S.F. SQUARE FEET
- SGC SLOPED GRANITE CURB
- SMH SEWER MANHOLE
- UGU UNDERGROUND UTILITIES
- VCC VERTICAL CONCRETE CURB
- WCC CENTRAL ANGLE
- WV WATER VALVE
- WV WATER VALVE
- WV GAS VALVE
- WV MONITORING WELL
- WV DECIDUOUS TREE
- WV CATCH BASIN
- WV WALL LIGHT
- WV SIGN
- WV HANDICAP
- WV WATER METER
- WV ELECTRIC METER
- WV FIRE WATER SPRINKLER



PURSUANT TO NEW HAMPSHIRE REVISED STATUTES ANNOTATED 676:18, II, III AND IV AND 672:14:
 I CERTIFY THAT THIS SURVEY PLAN IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
 I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY THOSE UNDER MY DIRECT SUPERVISION AND ARE THE RESULT OF A FIELD SURVEY CONDUCTED IN MARCH, 2019. THIS SURVEY CONFORMS TO THE ACCURACY REQUIREMENTS OF AN URBAN SURVEY OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I FURTHER CERTIFY THAT THIS SURVEY IS CORRECT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, AND THE FIELD TRAVERSE SURVEY EXCEEDS A PRECISION OF 1:15,000.
 A COPY OF THIS PLAN HAS BEEN FILED WITH THE LOCAL PLANNING BOARD.



6-14-19
 DATE



NOTES:

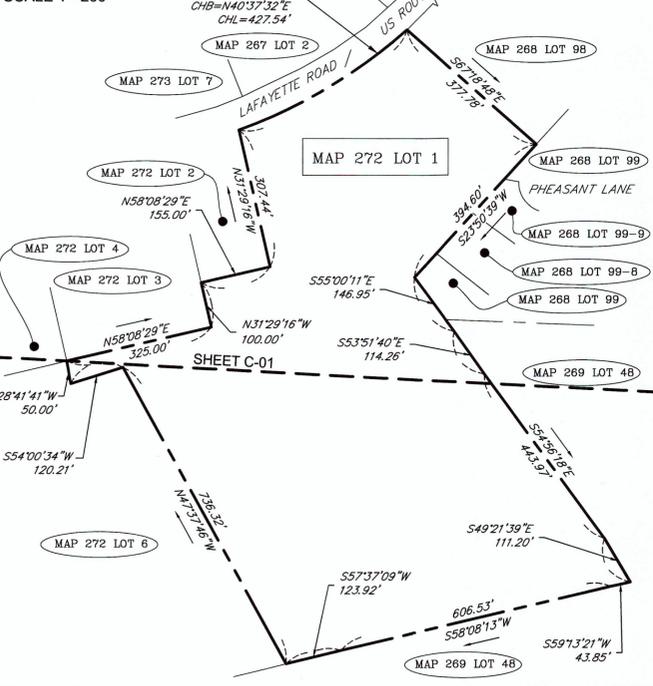
- THE PARCEL IS LOCATED IN THE GATEWAY CORRIDOR (G1) AND THE SINGLE RESIDENCE A (SRA) ZONING DISTRICTS.
- THE PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 272 AS LOT 1.
- THE PARCEL IS LOCATED IN FLOOD ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP, ROCKINGHAM COUNTY, NEW HAMPSHIRE, PANEL 270 OF 681, MAP NUMBER 33015C0270E, EFFECTIVE DATE: MAY 17, 2005.
- OWNER OF RECORD:
 2219 LAFAYETTE ROAD, LLC
 549 US HIGHWAY 1 BYPASS
 PORTSMOUTH, NH 03801
 RCRD BK.#5900 PG.#1408
- ZONING REQUIREMENTS:

MINIMUM LOT DIMENSIONS	ZONE G1*	ZONE SRA
LOT AREA	NA	1 ACRE
LOT AREA PER DWELLING UNIT	NA	1 ACRE
CONTINUOUS STREET FRONTAGE	100'***	150'
DEPTH	NR	200'
MINIMUM YARD DIMENSIONS		
FRONT	70-90'***	30'
SIDE	15'	20'
REAR	15'	40'
MAXIMUM STRUCTURE DIMENSIONS		
BUILDING FOOTPRINT	40,000 S.F.	NA
STRUCTURE HEIGHT	4 STORIES/50'	35'
ROOF APPURTENANCE HEIGHT	NA	8'
BUILDING COVERAGE	70%	10%
MINIMUM OPEN SPACE	10%	50%
DESIGN STANDARDS		
MINIMUM STREET FACING FACADE HEIGHT	18'	NA
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE	24"	NA
MAXIMUM FACADE MODULATION LENGTH	100'	NA
MINIMUM STREET FACING FACADE GLAZING	50% GROUND FLOOR	NA
STREET FACING ENTRANCE	REQUIRED	NA

PER THE CITY OF PORTSMOUTH, NEW HAMPSHIRE ZONING ORDINANCE * REQUIREMENTS FOR THE G-1 DISTRICT ARE DICTATED BY BUILDING TYPES AND DEVELOPMENT SITE DESIGNATION. IN ADDITION, SPECIAL SETBACK REQUIREMENTS APPLY TO LOTS WITH FRONTAGE ON LAFAYETTE ROAD. ZONING REQUIREMENTS FOR ZONE G-1 SHOWN ABOVE ARE PER SECTION 10.5B34.70 LARGE COMMERCIAL BUILDING. SEE ARTICLE 5B GATEWAY NEIGHBORHOOD MIXED USE DISTRICTS FOR FULL DETAILS.
 ** SEE SECTION 10.5B32.30 SPECIAL FRONTAGE REQUIREMENTS: "LOTS WITH BOTH FRONTAGE ON AND DRIVEWAY ACCESS FROM LAFAYETTE ROAD...MUST HAVE A MINIMUM OF 100 FEET OF STREET FRONTAGE."
 *** SECTION 10.5B22.40 SPECIAL SETBACK REQUIREMENTS ON LAFAYETTE ROAD: "BUILDINGS SHALL BE SETBACK A MINIMUM OF 70 FEET AND A MAXIMUM OF 90 FEET FROM THE CENTER LINE OF LAFAYETTE ROAD" (SECTION 10.533 IS SUPERSEDED PER SECTION 10.5B13).
 6. WETLANDS CERTIFICATION NOTE
 JURISDICTIONAL WETLANDS SHOWN ON THIS PLAN WERE DELINEATED ON MARCH 6, 2019 BY CHRISTOPHER K. DANFORTH CWS #077 OF TFMORAN, INC. THE WETLANDS WERE DELINEATED ACCORDING TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL (1987) AND THE REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2, JANUARY 2012. DOMINANT HYDRIC SOILS WITHIN THE WETLAND(S) WERE IDENTIFIED USING EITHER FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, (VERSION 3), NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION (NEWPCO), APRIL 2004 OR FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0, USDA, NRCS, IN COOPERATION WITH THE NATIONAL TECHNICAL COMMITTEE FOR HYDRIC SOILS, 2010.
 DOMINANCE OF HYDROPHYTIC VEGETATION WAS DETERMINED USING THE NORTHCENTRAL AND NORTHEAST 2013 REGIONAL WETLAND PLANT LIST, US ARMY CORPS OF ENGINEERS, 2013, (VER. 3.1).
 7. HORIZONTAL DATUM IS NAD83(2011) PER STATIC GPS OBSERVATIONS. VERTICAL DATUM IS NAVD83 PER STATIC GPS OBSERVATIONS. THE CONTOUR INTERVAL IS 2 FEET.
 8. FIELD SURVEY COMPLETED BY TODD C. EMERSON AND MARINUS VANDER POL III IN MARCH, 2019 USING A TOPCON DS103, HIPER-V, HIPER-SR AND A TOPCON FC-5000 DATA COLLECTOR.
 9. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH THE CURRENT LEGAL DESCRIPTIONS. IT IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP OR DEFINE THE LIMITS OF TITLE.
 10. THE PURPOSE OF THIS PLAN IS TO SHOW THE CURRENT SITE FEATURES AND TOPOGRAPHY OF TAX MAP 272 LOT 1 ON OBSERVED EVIDENCE AND DESIGN PLANS. THEY ARE APPROXIMATE LOCATIONS ONLY. CONTACT DIGSAFE @1-888-DIGSAFE TO VERIFY UTILITIES.



INSET SCALE 1"=200'



Copyright 2019 © Thomas F. Moran, Inc.
 48 Constitution Drive, Bedford, N.H. 03110
 All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

DRAINAGE TABLE

STRUCTURE#	RIM	INVERT IN	INVERT OUT
CB1	66.2		8" HDPE TO CB2 INV.= 62.7
CB2	66.4	8" HDPE FROM CB1 INV.= 62.5	12" RCP TO CB3 INV.= 62.4
CB3	66.7	12" RCP FROM CB2 INV.= 61.9	12" RCP TO CB4 INV.= 61.8
CB4	66.5	12" RCP FROM CB3 INV.= 61.8	15" RCP TO CB6 INV.= 61.4
CB5	67.5		12" RCP TO CB6 INV.= 60.3
CB6	67.1	12" RCP FROM CB5 INV.= 62.6	24" RCP TO OUTFALL INV.= 60.4
		15" RCP FROM CB4 INV.= 60.4	8" HDPE INV.= 60.5

SEWER TABLE

STRUCTURE#	RIM	INVERT IN	INVERT OUT
SMH1	68.3	8" PVC FROM BLDG INV.= 60.9	8" PVC TO SMH2 INV.= 60.8
SMH2	67.7	8" PVC FROM SMH1 INV.= 59.4	8" PVC TO SMH3 INV.= 55.3
		CHIMNEY DOWN TO 55.3	
		8" PVC INV.= 59.5	
		CHIMNEY DOWN TO 55.3	
SMH3	51.5	8" PVC FROM SMH2 INV.= 43.3	12" PVC INV.= 40.8
		12" PVC INV.= 40.9	

ABUTTERS

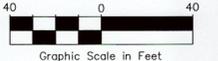
MAP 267 LOT 1	MAP 272 LOT 4
N/F 2200 LAFAYETTE RD LLC C/O LEONARD KOVIT 401 CHANDERS WHARF PORTLAND, ME 04101 RCRD BK.#4092 PG.#2384	N/F RYE PORT PROPERTIES LLC PO BOX 345 STRATHAM, NH 03885 RCRD BK.#5083 PG.#763
MAP 267 LOT 2	MAP 272 LOT 6
N/F KSC LLC C/O KEN S. CHEN PO BOX 6808 PORTSMOUTH, NH 03802 RCRD BK.#5761 PG.#1292	N/F SPRINGBROOK CONDOMINIUM PORTSMOUTH, NH 03801 RCRD BK.#2622 PG.#1831
MAP 269 LOT 48	MAP 273 LOT 7
N/F WOODLANDS HOMEOWNERS ASSOCIATION, INC PO BOX 8191 PORTSMOUTH, NH 03802 RCRD BK.#2839 PG.#1705	N/F FESTIVAL FUN PARKS, LLC C/O PROPERTY TAX SERVICE CO. PO BOX 543185 DALLAS, TX 75354 RCRD BK.#3471 PG.#2972

EASEMENT NOTES:

- THIS PARCEL IS SUBJECT TO A 30' WIDE EASEMENT FOR SEWER PURPOSES FOR THE BENEFIT OF THE CITY OF PORTSMOUTH AS DESCRIBED IN RCRD BK.#2055 PG.#266.
- THIS PARCEL IS SUBJECT TO A 10' WIDE EASEMENT AND RIGHTS FOR SEWER PURPOSES FOR THE BENEFIT OF GENE R. COHEN AS DESCRIBED IN RCRD BK.#2312 PAGES #590 AND #592.
- THIS PARCEL IS SUBJECT TO A 10' WIDE SEWER EASEMENT FOR THE BENEFIT OF THE CITY OF PORTSMOUTH AS DESCRIBED IN RCRD BK.#3186 PG.#2659.

PLAN REFERENCES:

- "SUBDIVISION PLAN ERIN FOOD SERVICES INC. PORTSMOUTH N.H." BY THOMAS F. MORAN INC. CIVIL ENGINEERS & SURVEYORS, DATED NOVEMBER 14, 1972. RCRD PLAN #C-3702.
- "SUBDIVISION PLAN FOR JOHN E. STEF LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE" BY WARD B. WILLIAMS ASSOC, DATED DECEMBER 1977. RCRD PLAN #C-7649.
- "SUBDIVISION OF LAND FOR THE HOUSE OF THREE OFF HOOPER DRIVE COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY TOWN PLANNING AND ENGINEERING ASSOCIATES, INC., DATED MAY 1978. RCRD PLAN #D-8018.
- "SUBDIVISION OF THE CEDARS OF PORTSMOUTH OWNER: PAUL MACK INC. LOCATION: US ROUTE 1 LAFAYETTE ROAD PORTSMOUTH N.H." SURVEY BY: RICHARD D. BARTLETT L.L.S., DATED DECEMBER 4, 1984. RCRD PLAN #D-14691.
- "SITE PLAN OF SPRING BROOK CONDOMINIUMS LOCATION: US ROUTE 1 LAFAYETTE ROAD PORTSMOUTH N.H." SURVEY BY: RICHARD D. BARTLETT L.L.S., DATED DECEMBER 4, 1984, WITH LAST REVISION DATED 7/21/86. RCRD PLAN #D-15310.
- "TITLE INSURANCE PLAN (LOT 3 MAP R72) LAFAYETTE RD, PORTSMOUTH, NEW HAMPSHIRE PREPARED FOR BURGER KING CORPORATION" BY ALLAN H. SWANSON, INC., DATED 5 JUNE 1990. RCRD PLAN #D-20705.
- "SITE PLAN PHEASANT LANE, A PLANNED UNIT DEVELOPMENT (PUD) FOR PHEASANT LANE REALTY TRUST 4 HOOPER DRIVE COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY MILLETTE, SPRAGUE & COLWELL, INC., DATED JANUARY 30, 1998 WITH REVISION 5 DATED 6/08/98. RCRD PLAN #D-26342.
- "SUBDIVISION PLAT PROJECT: PRIMAX PROPERTIES, LLC PROPOSED "ADVANCE AUTO PARTS" STORE" BY BOHLER ENGINEERING, P.C., DATED 12/23/04, WITH REVISION 3 DATED 09/20/05. RCRD PLAN #D-33166.
- "ALTA-ACSM LAND TITLE SURVEY ANTHONY DILORENZO ROUTE 1 - LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE" BY TRIECH ENGINEERING CORPORATION, DATED DECEMBER 30, 2005. RCRD PLAN #D-33422.
- "ALTA/ACSM LAND TITLE SURVEY TAX MAP 272 LOT 1 PROPERTY OF ANTHONY DILORENZO 2219 LAFAYETTE ROAD PORTSMOUTH, NEW HAMPSHIRE" BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC., DATED JULY 30, 2012, WITH REVISION 1 DATED 08/01/12. PLAN IS NOT RECORDED.



**TAX MAP 272 LOT 1
 EXISTING CONDITIONS PLAN
 KEY ACURA OF PORTSMOUTH
 2219 LAFAYETTE ROAD
 PORTSMOUTH, NEW HAMPSHIRE
 COUNTY OF ROCKINGHAM
 OWNED BY
 2219 LAFAYETTE ROAD, LLC**

SCALE: 1" = 40' (22x34)
 1" = 80' (11x17)
 May 6, 2019

TFM & **MSC**
 A division of TFMoran, Inc.
 Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists
 170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.tfmoran.com

45407.80	DR	MVP	FB	555	
	CK	BMK	CADFILE		C-02

SITE NOTES

1. THESE PLANS ARE PERMIT DRAWINGS ONLY AND HAVE NOT BEEN DETAILED FOR CONSTRUCTION OR BIDDING.
2. PRIOR TO COMMENCING ANY SITE WORK ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
3. AN ALTERATION OF TERRAIN PERMIT IS NOT REQUIRED SINCE THE DISTURBANCE IS LESS THAN 100,000 SF. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WO 1500 AS APPLICABLE.
4. CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
5. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
6. ALL WORK TO CONFORM TO CITY OF PORTSMOUTH, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS.
7. ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER CITY/GOVERNMENTAL REGULATIONS.
8. REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
9. SNOW SHALL NOT BE STOCKPILED IN SEDIMENT FOREBAYS, WETLAND BUFFERS OR WETLANDS. SEE SNOW STORAGE LOCATIONS. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH NHDES REGULATION. IF SNOW IS STORED WITHIN PARKING AREA, KEEP CATCH BASINS CLEAR.
10. TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
11. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
12. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
13. CONTRACTOR TO NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND EXISTING FEATURES.
14. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. MSC A DIVISION OF TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
15. MSC A DIVISION OF TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
16. AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
17. IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWING STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.
18. THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY OF REGISTRY OF DEEDS.
19. ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
20. CONTRACTOR'S RESPONSIBILITIES:
 - A. TO NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
 - B. THE CONTRACTOR SHALL EMPLOY A LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
 - C. EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
 - D. PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
 - E. PROTECTING NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - F. TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS.
 - G. COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIOSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
 - H. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MSC A DIVISION OF TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - I. VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
 - J. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
 - K. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - L. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
21. ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

PAVEMENT NOTES

1. WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE SEAM SHALL BE A SAW CUT EDGE AND TREATED WITH EMULSION.
2. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, MONITORING WELL BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF SURFACE PAVEMENT LAYER.
3. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE STOREFRONT, ACCESSIBLE PARKING, LOADING AREA AND FRONT ENTRANCE.
4. WHERE EXISTING PAVEMENT THAT IS OVERLAID MEETS EXISTING PAVEMENT TO REMAIN, THE LIMITS SHALL BE MILLED TO CREATE A 5" WIDE BY 1.5" DEEP KEY JOINT (SEE DETAIL).
5. THE GRADE SURFACE TOLERANCE AT THE INTERFACE BETWEEN EXISTING PAVEMENT TO REMAIN AND PROPOSED NEW PAVEMENT SHALL NOT VARY MORE THEN 3/8" FROM A 10' STRAIGHT EDGE, MEASURED IN ANY DIRECTION PLACED AT ANY LOCATION ALONG THE INTERFACE.
6. THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
7. COMPLETE PERMANENT PAVEMENT TRENCH PATCH FOR UTILITY INSTALLATION PRIOR TO OVERLAY.

VARIANCES

ZONING RELIEF HAS BEEN GRANTED FROM THE FOLLOWING ARTICLES OF THE CITY OF PORTSMOUTH ZONING ORDINANCE:

1. SECTION 10.1114.20--PARKING STALL LAYOUT; REQUIRED: 19 FEET, PROVIDED; 18 FEET.

CONSTRUCTION SEQUENCE

TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, CONSTRUCTION SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE.

MODIFICATIONS TO THE SEQUENCE NECESSARY DUE TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.

THE CONTRACTOR SHALL SCHEDULE WORK SUCH THAT ANY CONSTRUCTION AREA IS STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE EXCEPT AS NOTED BELOW. NO MORE THAN 5 ACRES OF DISTURBED LAND SHALL BE UNSTABILIZED AT ANY ONE TIME.

THE PROJECT SHALL BE MANAGED SO THAT IT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER ARG 3800 RELATIVE TO INVASIVE SPECIES.

1. NOTIFY EASEMENT OWNERS PRIOR TO COMMENCEMENT OF WORK.
2. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. PONDS AND SWALES SHALL BE INSTALLED BEFORE ROUGH GRADING THE SITE.
4. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUNOFF QUALITY.
5. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT BARRIERS, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED (TEMPORARY SEED MIXTURE OF WINTER RYE APPLIED AT A RATE OF 2.5 LBS/1000 SF SHALL BE USED).
6. CONDUCT MAJOR EARTHWORK, INCLUDING CLEARING AND GRUBBING, WITHIN THE LIMITS OF WORK. ALL CUT AND FILL SLOPES SHALL BE SEEDED WITHIN 72 HOURS AFTER GRADING.
7. ALL STRIPPED TOPSOIL AND OTHER EARTH MATERIALS SHALL BE STOCKPILED OUTSIDE THE IMMEDIATE WORK AND WETLAND AREAS. A SILT BARRIER SHALL BE CONSTRUCTED AROUND THESE PILES IN A MANNER TO PROVIDE ACCESS AND AVOID SEDIMENT OUTSIDE OF THE WORK AREA.
8. CONSTRUCT BUILDING PAD AND COMMENCE NEW BUILDING ADDITIONS CONSTRUCTION.
9. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS AS REQUIRED.
10. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH.
11. PERFORM EARTHWORK NECESSARY TO ESTABLISH ROUGH GRADING AROUND PARKING FIELDS AND ACCESS DRIVES. MANAGE EXPOSED SOIL SURFACES TO AVOID TRANSPORTING SEDIMENTS INTO WETLANDS. PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. INSTALL SUBSURFACE UTILITIES (WATER, SEWER, GAS, ELECTRIC, COMMUNICATIONS, DRAINAGE, DRAINAGE FACILITIES, ETC.).
13. CONSTRUCT PROPOSED PARKING AREAS, DISPLAY AREAS, AND AISLES. ALL DITCHES, SWALES, AND GRAVEL WETLANDS SHALL BE FULLY STABILIZED PRIOR TO DIRECTING FLOW TO THEM.
14. COMPLETE BUILDING AND ALL OFF-SITE IMPROVEMENTS.
15. COMPLETE SEEDING AND MULCHING. SEED TO BE APPLIED WITH BROADCAST SPREADER OR BY HYDRO-SEEDING, THEN ROLLED, RAKED OR DRAGGED TO ASSURE SEED/SOIL CONTACT.
16. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE.
17. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, INCLUDING CATCH BASINS AND SUMPS, DRAIN PIPES AND DITCHES, CURB LINES, ALONG SILT BARRIERS, ETC. RESULTING FROM SOIL AND/OR CONSTRUCTION OPERATIONS.
18. SEE WINTER CONSTRUCTION SEQUENCE FOR WORK CONDUCTED AFTER OCTOBER 15TH.

CITY NOTES

1. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
2. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY PLANNING DIRECTOR.

LAYOUT & MATERIAL NOTES

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY, STATE, AND FEDERAL CODES.
2. ALL ON-SITE CURBING SHALL BE VERTICAL GRANITE CURBING. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
3. ALL SIDEWALK AND OTHER CURB REVEALS NOT IDENTIFIED TO BE FLUSH SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8".
4. CURBING ALIGNMENT SHALL BE MODIFIED TO AVOID CONFLICTS WITH ALL UTILITY MANHOLES OR POLES AND OTHER CASTINGS. ALL CONFLICTS SHALL BE REVIEWED WITH THE OWNER PRIOR TO PLACEMENT OF CURB FOR APPROVAL OF MODIFIED ALIGNMENT.
5. WHERE NEW CURB MEETS EXISTING CURB OR CURBING OF A DIFFERENT MATERIAL OR CONFIGURATION, A TRANSITION PIECE SHALL BE INCLUDED SO THAT CONNECTION IS FLUSH IN ALIGNMENT, WIDTH AND REVEAL.
6. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F".
7. ALL PAINTED ISLANDS SHALL BE 4" WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY 4" WIDE LINES.
8. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO THE LATEST EDITIONS OF "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
9. REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS AND PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
10. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.

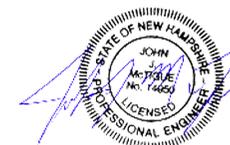
SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1

NOTES SHEET
KEY ACURA OF PORTSMOUTH
2219 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

OWNED BY
2219 LAFAYETTE ROAD LLC

MAY 7, 2019



PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.
 48 Constitution Drive, Bedford, N.H. 03110
 All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR

		Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.TFMoran.com

LEGEND

- EP EDGE OF PAVEMENT
- GFA GROSS FLOOR AREA
- S.F. SQUARE FEET
- TBR TO BE REMOVED
- (14) PROPOSED PARKING COUNT
- Handicap symbol HANDICAP PARKING
- OHU OVERHEAD UTILITIES
- S EXISTING SEWER
- EDGE OF WETLANDS
- PROPERTY LINE
- STOCKADE FENCE
- WOODEN GUARD RAIL
- TREE LINE
- BUSH LINE
- Free standing sign symbol FREE STANDING SIGN
- Water valve symbol WATER VALVE
- Guy pole symbol GUY POLE
- Light post and base symbol LIGHT POST AND BASE
- Utility pole symbol UTILITY POLE
- Wetland symbol WETLAND
- Sewer manhole symbol SEWER MANHOLE
- Catch basin symbol CATCH BASIN
- Deciduous tree symbol DECIDUOUS TREE
- Gas valve symbol GAS VALVE
- Pea stone symbol PEA STONE
- Asphalt and concrete to be removed symbol ASPHALT AND CONCRETE TO BE REMOVED
- Tree to be removed symbol TREE TO BE REMOVED
- Curbing to be removed symbol CURBING TO BE REMOVED

DEMOLITION NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATIONS, SIZE AND ELEVATIONS OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DEMOLITION TO DETERMINE APPROPRIATE ACTION TO BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE CONFLICTS AND REPAIR EXISTING UTILITIES AS NECESSARY TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
2. CURBING TO BE SALVAGED FOR RE-USE ON SITE.
3. ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER CITY/GOVERNMENTAL REGULATIONS.
4. CONTRACTOR TO SWEEP AS NEEDED TO PREVENT ANY VEHICLE TRACKING ON CITY STREETS.

MAP 273 LOT 7-1

MAP 267 LOT 2

MAP 267 LOT 1

MAP 268 LOT 98

MAP 272 LOT 2

MAP 268 LOT 99

MAP 268 LOT 99-9

MAP 268 LOT 99-8

MAP 268 LOT 99

N/F
FESTIVAL FUN PARKS LLC
C/O PROPERTY TAX SERVICE CO
PO BOX 543185
DALLAS, TX 75354
RCRD BK.#3471 PG.#2972

N/F
KSC LLC
C/O KEN S. CHEN
PO BOX 6808
PORTSMOUTH, NH 03802
RCRD BK.#5761 PG.#1292

N/F
2200 LAFAYETTE RD LLC
C/O LEONARD KOVIT
401 CHANDLERS WHARF
PORTLAND, ME 04101
RCRD BK.#4092 PG.#2384

N/F
NEW ENGLAND INDUSTRIAL
PROPERTIES, INC.
24 HARRIMAN DRIVE
AUBURN, ME 04210
RCRD BK.#3655 PG.374

N/F
BRIAN SHORT LLC
373 SHATTUCK WAY
NEWINGTON, NH 03801
RCRD BK.#3685 PG.#490

N/F
PHEASANT LANE REALTY TRUST
LAFAYETTE ROAD
PORTSMOUTH, NH 03801

N/F
RODNEY M. & CHARMAINE S.
HILDEBRAND
9 PHEASANT LANE
PORTSMOUTH, NH 03801
RCRD BK.#4846 PG.#1132

N/F
DAVID D. & ELIZABETH J.
PAQUETTE
8 PHEASANT LANE
PORTSMOUTH, NH 03801
RCRD BK.#5010 PG.#229

N/F
PHEASANT LANE REALTY TRUST
LAFAYETTE ROAD
PORTSMOUTH, NH 03801

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1
SITE PREPARATION AND DEMOLITION PLAN
KEY ACURA OF PORTSMOUTH
2219 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

OWNED BY
2219 LAFAYETTE ROAD LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17)

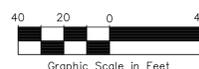
MAY 7, 2019



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR

FILE #	45407.80	DR	RCK	FB	45407-80_Site-Prep.dwg	C-04
		CK	CRR	CADFILE		

TFM **MSC**
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

LEGEND

EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
SF	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
(H)	HANDICAP PARKING
OHU	OVERHEAD UTILITIES
S	EXISTING SEWER
---	EDGE OF WETLANDS
---	PROPERTY LINE
---	STOCKADE FENCE
---	WOODEN GUARD RAIL
---	TREE LINE
---	BUSH LINE
---	FREE STANDING SIGN
---	WATER VALVE
---	GUY POLE
---	LIGHT POST AND BASE
---	UTILITY POLE
---	WETLAND
---	SEWER MANHOLE
---	CATCH BASIN
---	DECIDUOUS TREE
VGC	PROPOSED VERTICAL GRANITE CURB

SITE DATA

ZONED: GATEWAY NEIGHBORHOOD MIXED USE CORRIDOR (G1) / SINGLE RESIDENCE A (SRA)
 EXISTING USE: CAR DEALERSHIP
 PROPOSED USE: CAR DEALERSHIP
 NOTE: PROPOSED WORK ALL IN ZONE G1

THE PURPOSE OF THIS PLAN IS TO ADD PROPOSED BUILDING ADDITIONS TO AN EXISTING BUILDING AND TO REVISE EXISTING PARKING LOT. TOTAL AREA OF PROPOSED BUILDING ADDITIONS IS 18,095 SQUARE FEET.

DIMENSIONAL REQUIREMENTS (CURRENT G1 ZONING)

	REQUIRED:	PROVIDED:
MINIMUM LOT DIMENSIONS:		
LOT AREA	10,000 SF	18 AC
STREET FRONTAGE	100 FT	>100 FT
WIDTH	75 FT	>75 FT
DEPTH	100 FT	>100 FT
PERIMETER BUFFER	100 FT TO RESIDENTIAL	>100 FT
OPEN SPACE	10 %	
MINIMUM YARD DIMENSIONS:		
FRONT	0-50 FT	>50 FT
SIDE	15 FT	>15 FT
REAR	15 FT	>15 FT
MAXIMUM STRUCTURE DIMENSIONS:		
STRUCTURE HEIGHT	50 FT	<50 FT
BUILDING COVERAGE	70 %	2.3 %

PARKING REQUIREMENTS

	64 SPACES	64 SPACES (+188 DISPLAY SPACES)
PARKING SPACES (SEE CALCULATION)	64 SPACES	64 SPACES (+188 DISPLAY SPACES)
ACCESSIBLE SPACES (REQ'D BY ADA)	3 SPACES	3 SPACES
PARKING SPACE SIZE	8.5 FT x 19 FT	8.5 FT x 18 FT
aisle WIDTH	24 FT	24 FT

PARKING CALCULATIONS

SALES:
 1 PER 600 SF GFA PLUS
 1 PER 2,000 SF OF OUTSIDE DISPLAY OR STORAGE AREA

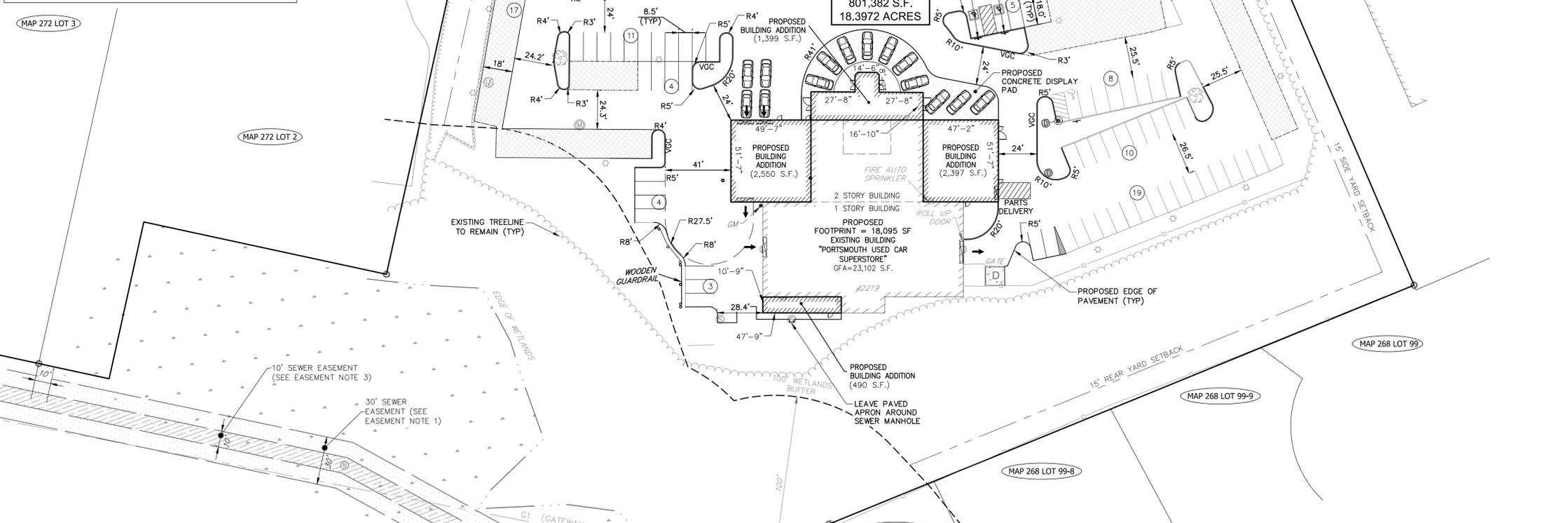
MOTOR VEHICLE REPAIR:
 2 + 1 PER 400 SF GFA

PROPOSED SALES: 9,177 SF GFA BUILDING * 1/600 SF = 15.3 SPACES
 VEHICLE STORAGE SPACE ON LOT = 30,173 SF * 1/2,000 SF = 15.1 SPACES
 SERVICE: 2 + 13,313 SF GFA * 1/400 SPACES + 2 = 36.6 SPACES
 TOTAL = 67.0 SPACES

TOTAL PARKING REQUIRED = 67 SPACES
 TOTAL PARKING PROVIDED = 67 SPACES (INCLUDES 3 HC ACCESSIBLE SPACES)

OPEN SPACE CALCULATION:
 PERVIOUS AREA/IMPERVIOUS AREA = 685,849 SF/801,382 SF = 85.6%

VARIANCES:
 THE FOLLOWING VARIANCE WERE APPROVED BY THE CITY OF PORTSMOUTH ON 5/28/19:
 ZONING ORDINANCE 10.1114.20 STALL LAYOUT; REQUIRED: 19 FEET, PROVIDED: 18 FEET.



GROSS FLOOR FOOTAGE

	EXISTING:	PROPOSED:
TOTAL FOOTPRINT:	14,512 SF	23,102 SF
TOTAL SALES:	6,609 SF	9,177 SF
TOTAL SERVICE:	7,903 SF	13,925 SF

DIRECTIONAL SIGN LEGEND

SIGN	NO/SIZE/COLOR
A	R7-8 12" x 18" GREEN LETTERS, BORDER & ARROWS, WHITE BACKGROUND & BLUE LOGO
B	R7-8P 12" x 6" GREEN LETTERS AND BORDER & WHITE BACKGROUND
C	R1-1 30" x 30" WHITE LETTERS AND BORDER & RED BACKGROUND

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1
SITE & LAYOUT PLAN
KEY ACURA OF PORTSMOUTH
2219 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

OWNED BY
2219 LAFAYETTE ROAD LLC

SCALE: 1" = 40'(22X34)
 1" = 80'(11X17) **MAY 7, 2019**

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.TFMoran.com

TFM
MSC
 A Division of TFMoran, Inc.

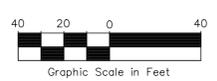
FILE: 45407.80
 DR: RCK
 CK: CRR
 FB: CADFILE
 DESCRIPTION: 45407-80_Site.dwg
 C-05

PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.
 48 Constitution Drive, Bedford, N.H. 03110
 All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



- SITE NOTES**
- THE SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY OF REGISTRY OF DEEDS.
 - ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
 - PROPOSED BUILDING ADDITIONS WILL HAVE NEW FOUNDATIONS.
 - SITE IS INTENDED TO BE OPEN DURING CONSTRUCTION: A LIFE-SAFETY PLAN WILL BE REQUIRED PRIOR TO BUILDING PERMIT APPLICATION.
 - SEE SHEET C-03 FOR ADDITIONAL SITE NOTES.



REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR

Jul 09, 2019 - 1:07pm F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80_Site.dwg

LEGEND

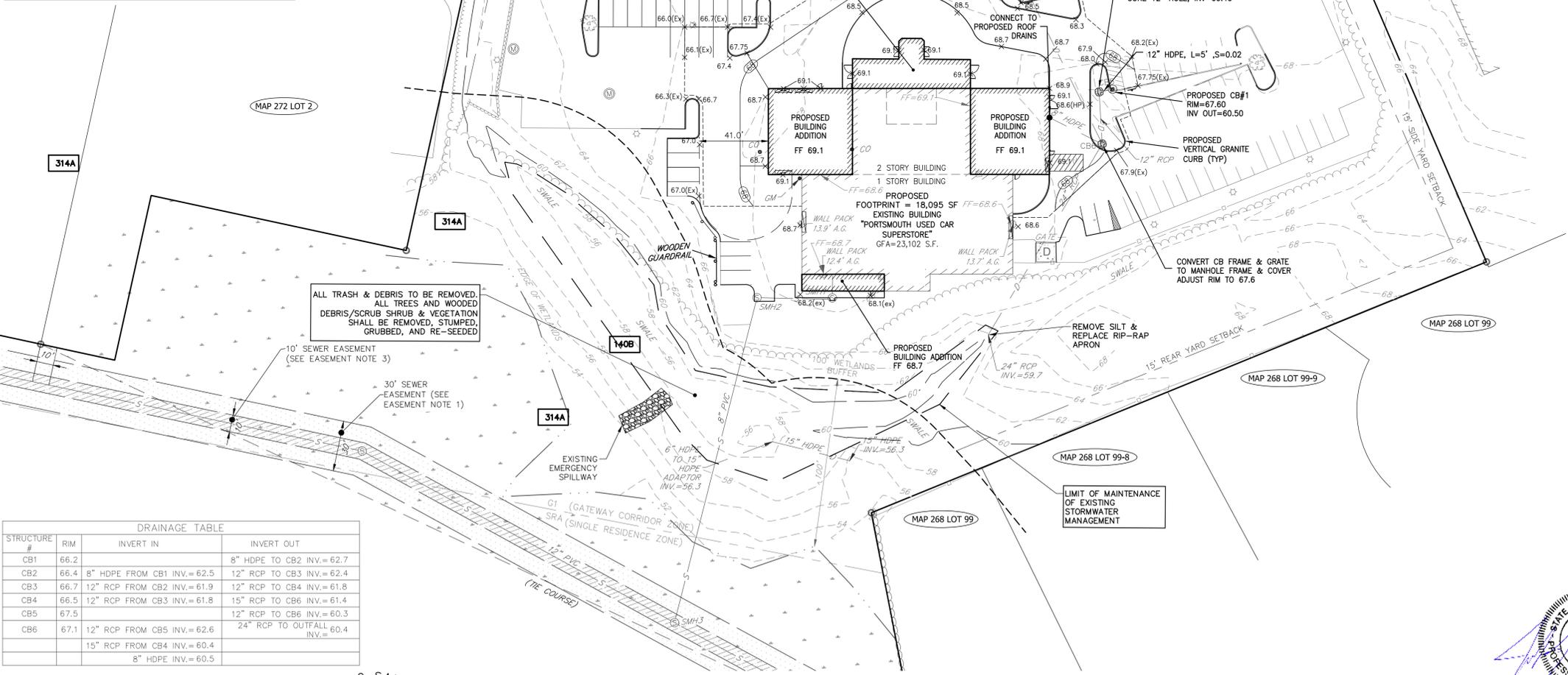
EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
(H)	HANDICAP PARKING
DHU	OVERHEAD UTILITIES
S	EXISTING SEWER
---	EDGE OF WETLANDS
---	PROPERTY LINE
---	STOCKADE FENCE
---	WOODEN GUARD RAIL
---	TREE LINE
---	BUSH LINE
---	FREE STANDING SIGN
---	WATER VALVE
---	GUY POLE
---	LIGHT POST AND BASE
---	UTILITY POLE
---	WETLAND
---	SEWER MANHOLE
---	CATCH BASIN
---	DECIDUOUS TREE
---	GAS VALVE
---	PEA STONE
---	PROPOSED CATCH BASIN
---	PROPOSED DRAIN MANHOLE

- ### DRAINAGE NOTES
- ALL STORM DRAIN LINES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR "HQ", ADS "N-12", OR APPROVED EQUAL) UNLESS OTHERWISE NOTED FOR ROOF DRAINS & CANOPY LEADERS.
 - ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
 - ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE CITY/TOWN, COUNTY, AND STATE CODES.
 - LENGTH OF PIPE IS PROVIDED FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
 - COORDINATE ROOF AND CANOPY DRAINS WITH BUILDING PLANS.
 - ALL PROPOSED MANHOLES, CATCH BASINS AND OTHER STORMWATER STRUCTURES SHALL BE SUBJECT TO REVIEW AND APPROVAL UNDER SUBMITTAL REQUIREMENTS.
 - WHERE EXISTING MANHOLES AND CATCH BASINS ARE TO BE RETROFITTED TO ACCEPT NEW PIPES, CONTRACTOR SHALL MAKE ALL NEW PENETRATIONS WITH CONCRETE CORE. THE CONNECTION BETWEEN THE STRUCTURE AND PIPE SHALL BE MADE WATERTIGHT WITH NON-SHRINK GROUT. CONTRACTOR SHALL VERIFY SIZE OF STRUCTURE AND INVERT ELEVATIONS PRIOR TO COMPLETING WORK AND REPORT ANY DISCREPANCIES TO ENGINEER.
 - ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
 - STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
 - ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
 - ALL CATCH BASINS IN PAVEMENT SHALL HAVE GRATES SET 1" BELOW FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
 - STORMWATER AREAS SHALL BE MAINTAINED TWICE A YEAR (JULY & NOVEMBER). THIS INCLUDES TRASH PICK-UP AND MOWING OF ALL VEGETATION.

- ### GRADING NOTES
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
 - DENSITY REQUIREMENTS:

MINIMUM DENSITY*	LOCATION
95%	BELOW PAVED OR CONCRETE AREAS
95%	TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL
90%	BELOW LOAM AND SEED AREAS

*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.
 - ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
 - CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS AND LOADING AREAS.
 - SEE EXISTING FEATURES PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
 - ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
 - THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4 INCH FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
 - THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
 - NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
 - ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
 - ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 - COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
 - COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
 - LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
 - THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.



DRAINAGE TABLE

STRUCTURE #	RIM	INVERT IN	INVERT OUT
CB1	66.2		8" HDPE TO CB2 INV.=62.7
CB2	66.4	8" HDPE FROM CB1 INV.=62.5	12" RCP TO CB3 INV.=62.4
CB3	66.7	12" RCP FROM CB2 INV.=61.9	12" RCP TO CB4 INV.=61.8
CB4	66.5	12" RCP FROM CB3 INV.=61.8	15" RCP TO CB6 INV.=61.4
CB5	67.5		12" RCP TO CB6 INV.=60.3
CB6	67.1	12" RCP FROM CB5 INV.=62.6	24" RCP TO OUTFALL INV.=60.4
		15" RCP FROM CB4 INV.=60.4	
		8" HDPE INV.=60.5	

PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR
			DR	CK

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1
GRADING AND DRAINAGE PLAN
KEY ACURA OF PORTSMOUTH
2219 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

OWNED BY
2219 LAFAYETTE ROAD LLC

SCALE: 1" = 40' (22X34)
1" = 80' (11X17) MAY 7, 2019

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

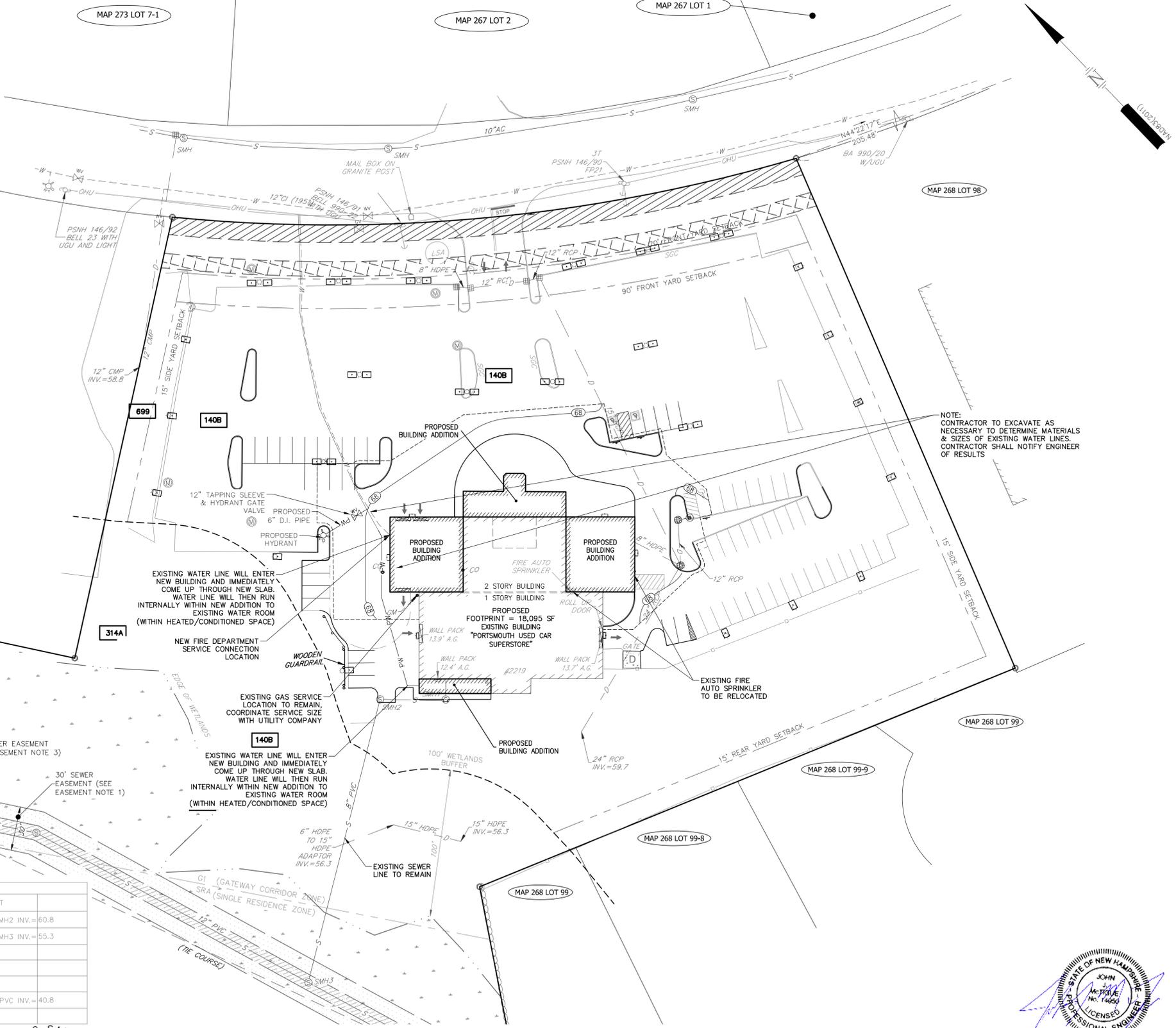
A Division of TFMoran, Inc.

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

Jul 09, 2019 - 1:08pm F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - AcuraDesign\Production Drawings\45407-80_Grading.dwg

LEGEND

EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
(H)	HANDICAP PARKING
OHU	OVERHEAD UTILITIES
S	EXISTING SEWER
---	EDGE OF WETLANDS
---	PROPERTY LINE
---	STOCKADE FENCE
---	WOODEN GUARD RAIL
---	TREE LINE
---	BUSH LINE
---	FREE STANDING SIGN
---	WATER VALVE
---	GUY POLE
---	LIGHT POST AND BASE
---	UTILITY POLE
---	WETLAND
---	SEWER MANHOLE
---	CATCH BASIN
---	DECIDUOUS TREE
---	GAS VALVE
---	PEA STONE
---	EXISTING LIGHT POLE
---	EXISTING WALL PACK LIGHT
---	PROPOSED WALL PACK LIGHT
---	PROPOSED LIGHT POLE FUTURE



- ### UTILITY NOTES
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF PORTSMOUTH, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. COORDINATE ALL WORK WITH THE RIGHT-OF-WAY WITH APPROPRIATE TOWN, COUNTY AND/OR STATE AGENCY.
 - ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS.
 - EXCEPT FOR THE RELOCATION OF THE EXISTING WATER SERVICE, ALL UTILITY CONNECTIONS FOR THE PROPOSED ADDITIONS ARE FROM THE EXISTING BUILDING. NO NEW SEWER CONNECTIONS ARE PROPOSED. (SEE ARCHITECTURAL PLANS FOR MORE DETAIL).
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
 - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
 - PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
 - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
 - SEE EXISTING FEATURES PLAN FOR ANY KNOWN EXISTING UTILITY EASEMENTS. CONTACT ALL EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENT.
 - ALL UTILITY STRUCTURES IN PAVEMENT SHALL BE SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
 - LENGTH OF PIPE IS FOR CONVENIENCE ONLY. ACTUAL PIPE LENGTH SHALL BE DETERMINED IN THE FIELD.
 - UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
 - THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
 - COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
 - THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY AND/OR PRIVATE UTILITY COMPANY.
 - SANITARY SEWER FOR PROPOSED ADDITIONS WILL CONNECT INTERNALLY TO THE EXISTING STRUCTURE, AND USE EXISTING SEWER SERVICE.
 - ON-SITE WATER DISTRIBUTION SHALL BE TO THE CITY OF PORTSMOUTH STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5 FEET COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM. WHERE A SANITARY LINE CROSSES A WATER LINE, ENCASE THE SANITARY LINE IN 6" THICK CONCRETE FOR A DISTANCE OF 10' EITHER SIDE OF THE CROSSING, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 3' HORIZONTALLY TO THE WATER LINE.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
 - ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
 - ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
 - THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.
 - SDR-11 PIPE SHALL CONFORM WITH ASTM 3035 PER ENV-WQ 704.08 (D).

THE PROPERTY WILL CONTINUE TO BE SERVICED BY THE FOLLOWING:

DRAINAGE	PRIVATE	
SEWER	MUNICIPAL	(603) 427-1530
WATER	MUNICIPAL	(603) 427-1530
GAS	UNIL	(603) 772-0775
ELECTRIC	EVERSOURCE	(800) 682-7764
TELEPHONE	CONSOLIDATED COMMUNICATIONS	(800) 240-5019
CABLE	COMCAST	(800) 266 2278

SEWER TABLE

STRUCTURE #	RIM	INVERT IN	INVERT OUT
SMH1	68.3	8" PVC FROM BLDG INV.=60.9	8" PVC TO SMH2 INV.=60.8
SMH2	67.7	8" PVC FROM SMH1 INV.=59.4	8" PVC TO SMH3 INV.=55.3
		CHIMNEY DOWN TO 55.3	
		8" PVC INV.=59.5	
		CHIMNEY DOWN TO 55.3	
SMH3	51.5	8" PVC FROM SMH2 INV.=43.3	12" PVC INV.=40.8
		12" PVC INV.=40.9	

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1
UTILITY PLAN
KEY ACURA OF PORTSMOUTH
2219 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

OWNED BY
2219 LAFAYETTE ROAD LLC

SCALE: 1" = 40'(22X34)
 1" = 80'(11X17) **MAY 7, 2019**

PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.
 48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CKR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CKR

FILE #	45407.80	DR	RCK	FB					
		CK	CKR	CADFILE	45407-80_Utility.dwg				C-07

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.TFMoran.com

Jul 09, 2019 - 1:43pm F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - AcuralDesign\Production Drawings\45407-80_Utility.dwg

LANDSCAPE NOTES

- CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES FOR IMPLEMENTATION OF PLANTING PLAN.
- CONTRACTOR WILL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWNWORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES WILL IMMEDIATELY BE REPORTED TO THE LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE, SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
- CONTRACTOR WILL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON THIS PLAN. IN CASES OF DISCREPANCY BETWEEN PLAN AND LIST CLARIFY WITH LANDSCAPE ARCHITECT PRIOR TO PLACING PURCHASE ORDER AND AGAIN PRIOR TO PLANTING.
- SEE PLANTING DETAILS AND IF INCLUDED, SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH UNLESS OTHERWISE NOTED IN SPECIFICATIONS. THERE WILL BE NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT BY PROVIDING ADDITIONAL WATERING.
- ALL PLANTS WILL BE NURSERY GROWN.
- PLANTS WILL BE IN ACCORDANCE, AT A MINIMUM, WITH CURRENT EDITION OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION.
- TREES WILL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 PART 1, "TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE STANDARD PRACTICES".
- PLANTS MATERIAL IS SUBJECT TO APPROVAL / REJECTION BY THE LANDSCAPE ARCHITECT AT THE SITE AND AT THE NURSERY.
- ALL PLANTS WILL BE MOVED WITH ROOT SYSTEMS AS SOLID UNITS AND WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. NO PLANT WILL BE ACCEPTED WHEN BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN BEFORE PLANTING. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE WILL BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL AND THEN WATERING. DURING TRANSPORT, ALL PLANT MATERIALS WILL BE WRAPPED WITH WIND PROOF COVERING.
- PROPOSED TREES OVERHANGING SIDEWALKS, ROADS OR PARKING WILL BEGIN BRANCHING NATURALLY (NOT PRUNED) AT 6' HEIGHT.
- MULCH FOR PLANTED AREAS (NOT INCLUDING RAIN GARDENS) WILL BE AGED SHREDDED PINE BARK, PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS UNLESS OTHERWISE SHOWN.
- PLANT MATERIAL WILL BE LOCATED OUTSIDE BUILDING DRIP LINES AND ROOF VALLEY POINTS OF CONCENTRATION TO PREVENT DAMAGE TO PLANTS. CLARIFY RELOCATION WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, WILL RECEIVE FIVE (5) INCH LOAM AND SEED.
- TREE STAKES AND WRAP WILL REMAIN IN PLACE FOR NO MORE THAN 1 YEAR. CONTRACTOR WILL REMOVE.
- ALL PLANT GROUPINGS WILL BE IN MULCH BEDS UNLESS OTHERWISE SPECIFIED OR NOTED ON PLANS. WHERE MULCHED PLANT BED ABUTS LAWN, PROVIDE TURF CUT EDGE.
- ALL PLANT BEDS WILL INTERSECT WITH PAVEMENT AT 90 DEGREES UNLESS OTHERWISE NOTED ON PLANS.
- ALL PLANT BED EDGES WILL BE SMOOTH AND CONSISTENT IN LAYOUT OF RADII AND TANGENTS. IRREGULAR, WAVY EDGES WILL NOT BE ACCEPTED.
- CONTRACTOR WILL VERIFY PRIOR TO PRICING IF SITE SOILS ARE VERY POORLY DRAINING OR IF LEDGE IS PRESENT. IF CONTRACTOR ENCOUNTERS VERY POORLY DRAINING SOILS (BATH TUB EFFECT) OR LEDGE THAT IMPACTS PROPOSED PLANTING PLAN, NOTIFY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE FOR DIRECTION PRIOR TO PRICING AND AGAIN PRIOR TO PERFORMING ANY WORK.
- PARKING AREA PLANTED ISLANDS WILL HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
- EXISTING TREES SHOWN ON THE PLAN WILL REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN WILL BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK.
- CONTRACTOR WILL STAKE OR PLACE ON GROUND ALL PROPOSED PLANT MATERIALS PER PLAN. CONTACT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR WILL BE RESPONSIBLE FOR ALL MEANS, METHODS AND TECHNIQUES OF WATERING.
- CONTRACTOR WILL BEGIN WATERING IMMEDIATELY AFTER PLANTING. ALL PLANTS WILL BE THOROUGHLY WATERED TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS WILL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON BUT NOT LESS THAN ONE YEAR.
- WATER ALL LAWNS AS REQUIRED. DO NOT LET NEWLY PLANTED LAWNS DRY OUT DURING THE FIRST FOUR WEEKS MINIMUM.
- ALL GENERAL LAWN SEEDING AREAS WILL BE MAINTAINED AND MOWED A MINIMUM THREE (3) TIMES BEFORE REQUESTING REVIEW BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR ACCEPTANCE. MAINTENANCE AND MOWING WILL CONTINUE UNTIL ACCEPTED BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE IS ISSUED IN WRITING.
- THE CONTRACTOR WILL MAINTAIN AND GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR OR TWO (2) GROWING SEASONS, WHICHEVER IS GREATER, BEGINNING AT THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHOWING LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE (1) YEAR PERIOD WILL BE IMMEDIATELY REPLACED BY THE CONTRACTOR.
- DECIDUOUS PLANT MATERIAL INSTALLED AFTER SEPTEMBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO STAGE OF LEAF PHYSIOLOGY. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.
- EVERGREEN PLANT MATERIAL INSTALLED AFTER OCTOBER 30 AND BEFORE APRIL 15 WILL NOT BE REVIEWED THAT SEASON FOR ACCEPTANCE DUE TO END OF GROWTH SEASON. THIS PLANT MATERIAL WILL NOT BE REVIEWED UNTIL FOLLOWING GROWING SEASON. GUARANTEE PERIOD WILL BEGIN ONLY AFTER ACCEPTANCE BY LANDSCAPE ARCHITECT OR OWNERS' REPRESENTATIVE.

SEEDING NOTES

- GENERAL LAWN SEED WILL BE NHDOT SPECIFICATION SECTION 644, TABLE 644-1-PARK SEED TYPE 15, INCLUDING NOTES TO TABLE 1, 2 & 3 OR APPROVED EQUAL.

PLANNING BOARD FILE #

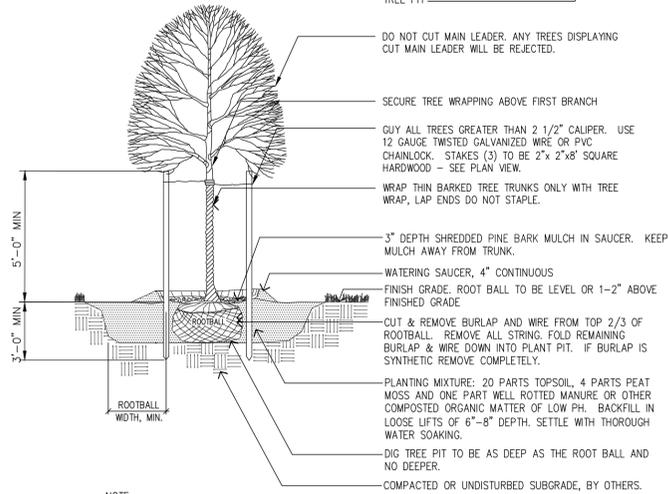
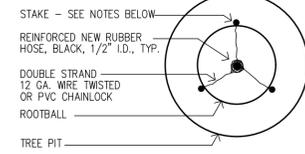
Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

RECORDING NOTES

- THIS LANDSCAPE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND REPLACEMENT OF ALL REQUIRED SCREENING AND LANDSCAPE MATERIALS.
- ALL REQUIRED PLANT MATERIALS SHALL BE TENDED AND MAINTAINED IN A HEALTHY GROWING CONDITION, REPLACED WHEN NECESSARY, AND KEPT FREE OF REFUSE AND DEBRIS. ALL REQUIRED FENCES AND WALLS SHALL BE MAINTAINED IN GOOD REPAIR.
- THE PROPERTY OWNER SHALL BE RESPONSIBLE TO REMOVE AND REPLACE DEAD OR DISEASED PLANT MATERIALS IMMEDIATELY WITH THE SAME TYPE, SIZE AND QUANTITY OF PLANT MATERIALS AS ORIGINALLY INSTALLED, UNLESS ALTERNATIVE PLANTINGS ARE REQUESTED, JUSTIFIED AND APPROVED BY THE PLANNING BOARD OR PLANNING DIRECTOR.

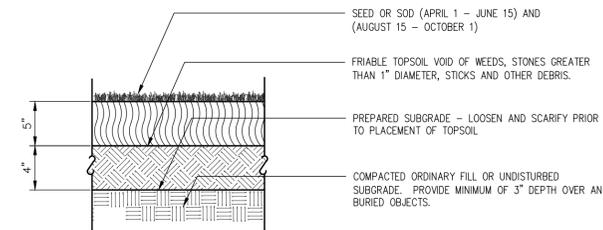


NOTE:

- PROVIDE ALL DECIDUOUS TREES WITH "IRRIGATOR" 20 GALLON IRRIGATION BAGS OR APPROVED EQUAL.

DECIDUOUS TREE PLANTING

NOT TO SCALE



NOTE:

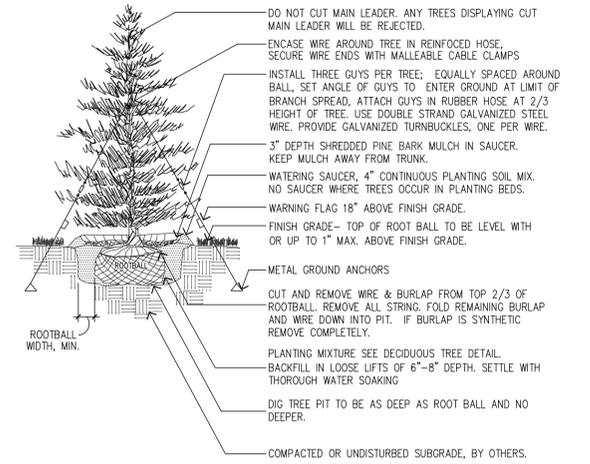
- IF SEEDING OPERATIONS ARE COMPLETED TOO LATE IN THE FALL FOR ADEQUATE GERMINATION AND GROWTH OF GRASS, MAINTENANCE SHALL CONTINUE INTO FOLLOWING SPRING AND UNTIL FINAL ACCEPTANCE BY THE LAND. ARCH. AT NO ADDITIONAL COST TO OWNER.

LOAM AND SEED

NOT TO SCALE

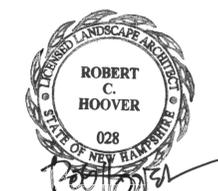
C-09 NOTE

- SEE C-08 FOR LANDSCAPE PLAN.



EVERGREEN TREE PLANTING

NOT TO SCALE



SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1
LANDSCAPE NOTES, DETAILS, AND SCHEDULES
KEY ACURA OF PORTSMOUTH
2219 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

OWNED BY
2219 LAFAYETTE ROAD LLC

SCALE: 1" = 40'
1" = 80'

MAY 7, 2019

TFM	MSC A division of TFMoran, Inc.	Civil Engineers	170 Commerce Way, Suite 102
		Structural Engineers	Portsmouth, NH 03801
		Traffic Engineers	Phone (603) 431-2222
		Land Surveyors	Fax (603) 431-0910
		Landscape Architects	www.TFMoran.com
		Scientists	

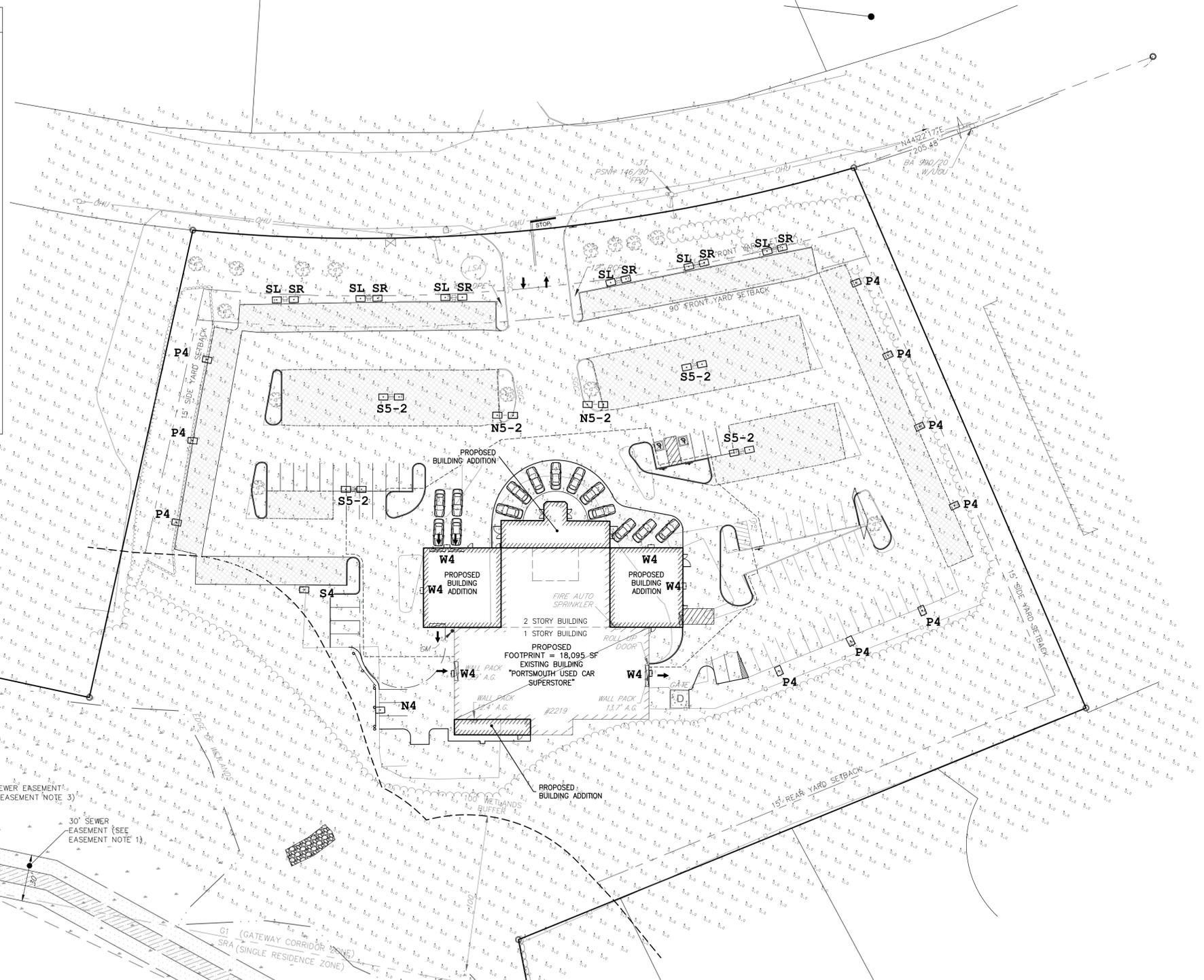
REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CKR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CKR

45407.80	DR	ETP	FB	45407-80_Landscape.dwg	C-09
	CK	CKR	CKADFILE		

Jul 09, 2019 - 1:08pm F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80_Landscape.dwg

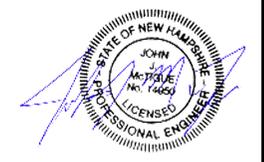
LEGEND

EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
(H)	HANDICAP PARKING
OHU	OVERHEAD UTILITIES
S	EXISTING SEWER
---	EDGE OF WETLANDS
---	PROPERTY LINE
---	STOCKADE FENCE
---	WOODEN GUARD RAIL
---	TREE LINE
---	BUSH LINE
---	FREE STANDING SIGN
WV	WATER VALVE
GUY	GUY POLE
LP	LIGHT POST AND BASE
UP	UTILITY POLE
W	WETLAND
SM	SEWER MANHOLE
CB	CATCH BASIN
DT	DECIDUOUS TREE
GV	GAS VALVE
PS	PEA STONE



LIGHTING NOTES

1. ALL FIXTURES SHALL BE LED FIXTURES MEETING FULL CUT-OFF, DARK SKY COMPLIANCE.
2. ALL EXTERIOR CONDUITS FOR LIGHTING SHALL BE A MINIMUM 1 1/2" DIAMETER SCHEDULE 40 PVC. ALL CONDUITS UNDER ROADWAYS AND PARKING AREAS SHALL HAVE A MINIMUM COVER OF 24".
3. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPE.
4. ALL WORK SHALL MEET REQUIREMENTS OF NATIONAL ELECTRIC CODE.
5. ALL POLE MOUNTED LIGHT FIXTURES SHALL BE RECESSED TO SHIELD THE ILLUMINATION SOURCE FROM THE VIEW OF ABUTTING PROPERTIES.
6. LUMINAIRES AND FIXTURE MOUNTING HEIGHT SHALL BE SET AT A MAXIMUM OF 20' HIGH (SEE LUMINAIRE SCHEDULE).
7. PROVIDE SHIMS AS REQUIRED AND SET ALL POLES PLUMB. PROVIDE FULL ANCHOR BOLT COVERS.
8. POLES SHALL BE FACTORY CUT AS REQUIRED TO PROVIDE REQUIRED FIXTURE MOUNTING HEIGHT.
9. ALL LIGHT BASES TO BE SQUARE.
10. LIGHTING DESIGN, CALCULATIONS, AND PHOTOMETRICS PROVIDED BY CHARRON, INC.



SITE DEVELOPMENT PLANS

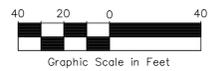
TAX MAP 272 LOT 1
LIGHTING PLAN
KEY ACURA OF PORTSMOUTH
2219 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

OWNED BY
2219 LAFAYETTE ROAD LLC

SCALE: 1" = 40' (22X34)
 1" = 80' (11X17) MAY 7, 2019

Symbol	Qty	Label	Arrangement	Description
(N4)	1	N4	SINGLE	GLEON-AF-02-LED-E1-SL4-QM / NEW 20' POLE
(N5-2)	2	N5-2	BACK-BACK	2-GLEON-AF-02-LED-E1-5WQ-QM / NEW 20' POLE
(P4)	11	P4	SINGLE	GLEON-AF-02-LED-E1-SL4-QM / EXISTING 20' POLE
(S5-2)	4	S5-2	BACK-BACK	2-GLEON-AF-02-LED-E1-5WQ-QM / EXISTING 20' POLE
(SL)	6	SL	SINGLE	GLEON-AF-04-LED-E1-SLL-QM / EXISTING 20' POLE
(SR)	6	SR	SINGLE	GLEON-AF-04-LED-E1-SLR-QM / EXISTING 20' POLE
(W4)	6	W4	SINGLE	GWC-AF-01-LED-E1-SL4/ WALL MTD 15' AFG

StatArea 1 FRONT LINE Illuminance (Fc) Average = 13.70 Maximum = 22.8 Minimum = 4.6 Avg/Min Ratio = 2.98 Max/Min Ratio = 4.96	StatArea 2 PAVED LOT - LESS FRONT LINE Illuminance (Fc) Average = 4.03 Maximum = 22.3 Minimum = 0.8 Avg/Min Ratio = 5.04 Max/Min Ratio = 27.88
--	---



REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CKR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CKR

PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.
 48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.

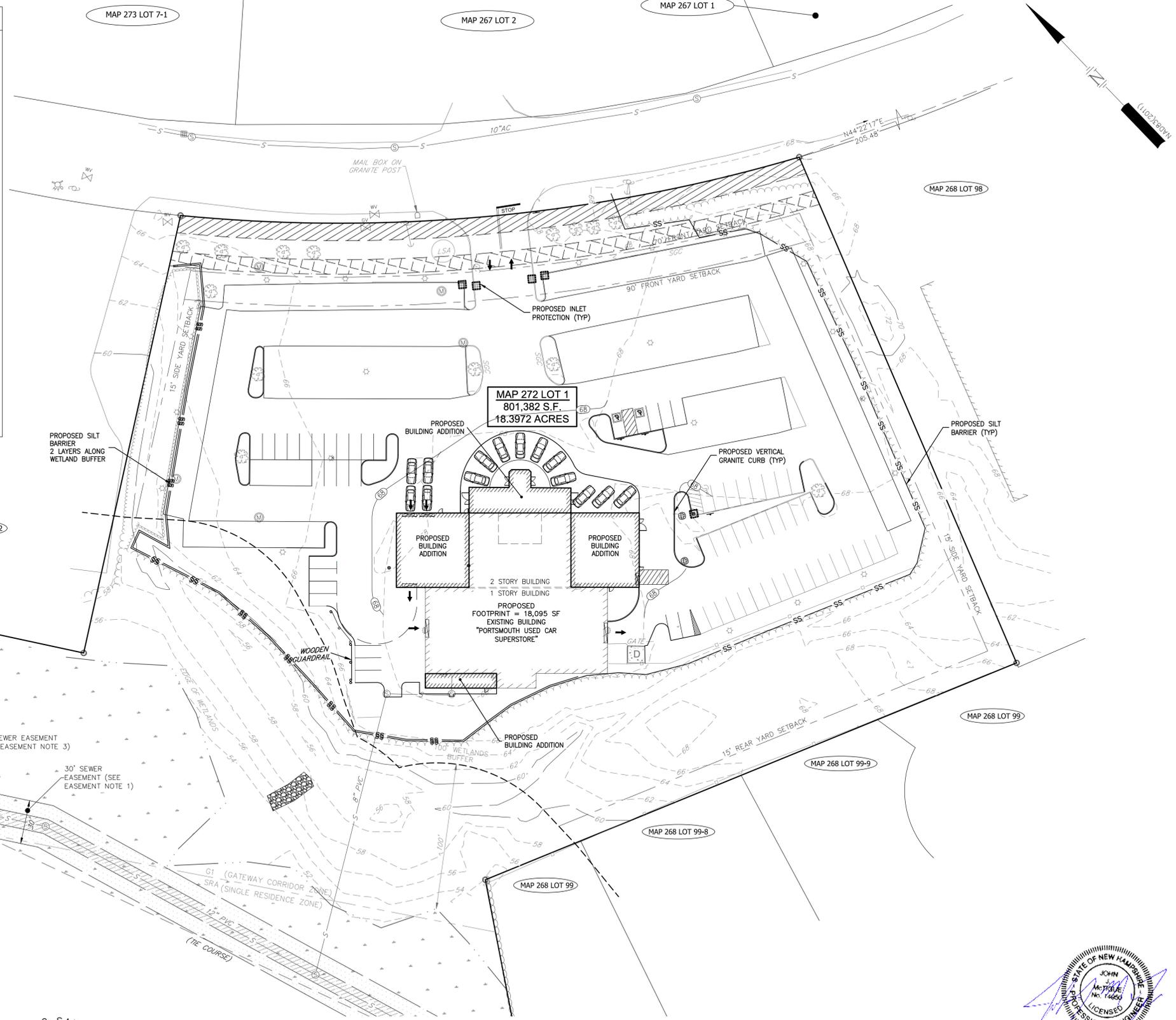
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



Jul 09, 2019 - 1:09pm F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80_Lighting.dwg

FILE #	45407.80	DR	ETP	FB	170 Commerce Way, Suite 102 Portsmouth, NH 03801 Phone (603) 431-2222 Fax (603) 431-0910 www.TFMoran.com
		CK	CKR	CKADFILE	
					C-10

LEGEND	
EP	EDGE OF PAVEMENT
GFA	GROSS FLOOR AREA
S.F.	SQUARE FEET
TBR	TO BE REMOVED
(14)	PROPOSED PARKING COUNT
	HANDICAP PARKING
OHU	OVERHEAD UTILITIES
S	EXISTING SEWER
	EDGE OF WETLANDS
	PROPERTY LINE
	STOCKADE FENCE
	WOODEN GUARD RAIL
	TREE LINE
	BUSH LINE
	FREE STANDING SIGN
	WATER VALVE
	GUY POLE
	LIGHT POST AND BASE
	UTILITY POLE
	WETLAND
	SEWER MANHOLE
	CATCH BASIN
	DECIDUOUS TREE
	GAS VALVE
	PEA STONE
	SILT BARRIER
	INLET PROTECTION



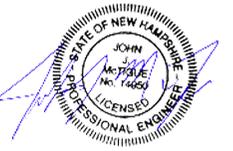
- ### EROSION CONTROL NOTES
- SEE GENERAL EROSION CONTROL NOTES ON THE EROSION CONTROL DETAIL SHEET AND THE APPROVED SWPPP.
 - INSTALL SILT BARRIER ALONG THE PERIMETER OF THE AREA TO BE DISTURBED AS FIRST ORDER OF WORK.
 - PROVIDE INLET PROTECTION BARRIERS AROUND ALL EXISTING AND PROPOSED STORM DRAINAGE INLETS WITHIN THE WORK LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED. INLET PROTECTION BARRIERS SHALL BE IN PLACE AT ALL CATCH BASINS PRIOR TO THE DISTURBANCE OF SOIL.
 - DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. IT SHALL BE ACCOMPLISHED BY THE UNIFORM APPLICATION OF CALCIUM CHLORIDE AT THE RATE OF 1-1/2 POUNDS PER SQUARE YARD BY MEANS OF A LIME SPREADER OR OTHER APPROVED METHOD. WATER MAY ALSO BE USED FOR DUST CONTROL, AND APPLIED BY SPRINKLING WITH WATER TRUCK DISTRIBUTORS, AS REQUIRED.
 - SILT PROTECTION MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS CONTAINED IN THIS PLAN SET.
 - CONSTRUCT JUTE MATTING ON ALL SLOPES STEEPER THAN 3:1. DISTURBED AREAS SLOPING TOWARDS WETLANDS AND ALL LOCATIONS SHOWN ON PLAN.
 - INSPECT EROSION CONTROL MEASURES WEEKLY AND AFTER EACH RAIN STORM OF 0.10 INCH OR GREATER. REPAIR/MODIFY SILT BARRIER AS NECESSARY TO MAXIMIZE FILTER EFFICIENCY. REMOVE SEDIMENT WHEN SEDIMENT IS 1/3 THE STRUCTURE HEIGHT.
 - PROVIDE SILT BARRIERS AT THE BASE OF CUT AND FILL SLOPES UNTIL COMPLETION OF THE PROJECT OR UNTIL VEGETATION BECOMES ESTABLISHED ON SLOPES. EROSION PROTECTION BELOW FILL SLOPES SHALL BE PLACED IMMEDIATELY AFTER CLEARING, PRIOR TO EMBANKMENT CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE REVEGETATED AS QUICKLY AS POSSIBLE. ALL CUT AND FILL SLOPES SHALL BE SEEDDED WITHIN 72 HOURS AFTER GRADING.
 - ALL WORK AREAS TO BE STABILIZED AT THE END OF EACH WORK DAY AND PRIOR TO ANY PREDICTED SIGNIFICANT RAIN EVENT.
 - AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
 - ALL CATCH BASINS, MANHOLES, AND DRAIN LINES SHALL BE THOROUGHLY CLEANED OF ALL SEDIMENT AND DEBRIS AFTER ALL AREAS HAVE BEEN STABILIZED.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SLOPE STABILITY DURING CONSTRUCTION.
 - THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1
EROSION CONTROL PLAN
 KEY ACURA OF PORTSMOUTH
 2219 LAFAYETTE ROAD
 PORTSMOUTH, NEW HAMPSHIRE

OWNED BY
2219 LAFAYETTE ROAD LLC

SCALE: 1" = 40' (22X34)
 1" = 80' (11X17) MAY 7, 2019

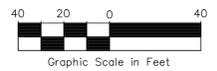


PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.
 48 Constitution Drive, Bedford, N.H. 03110

All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.

This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

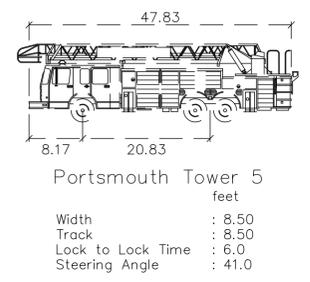
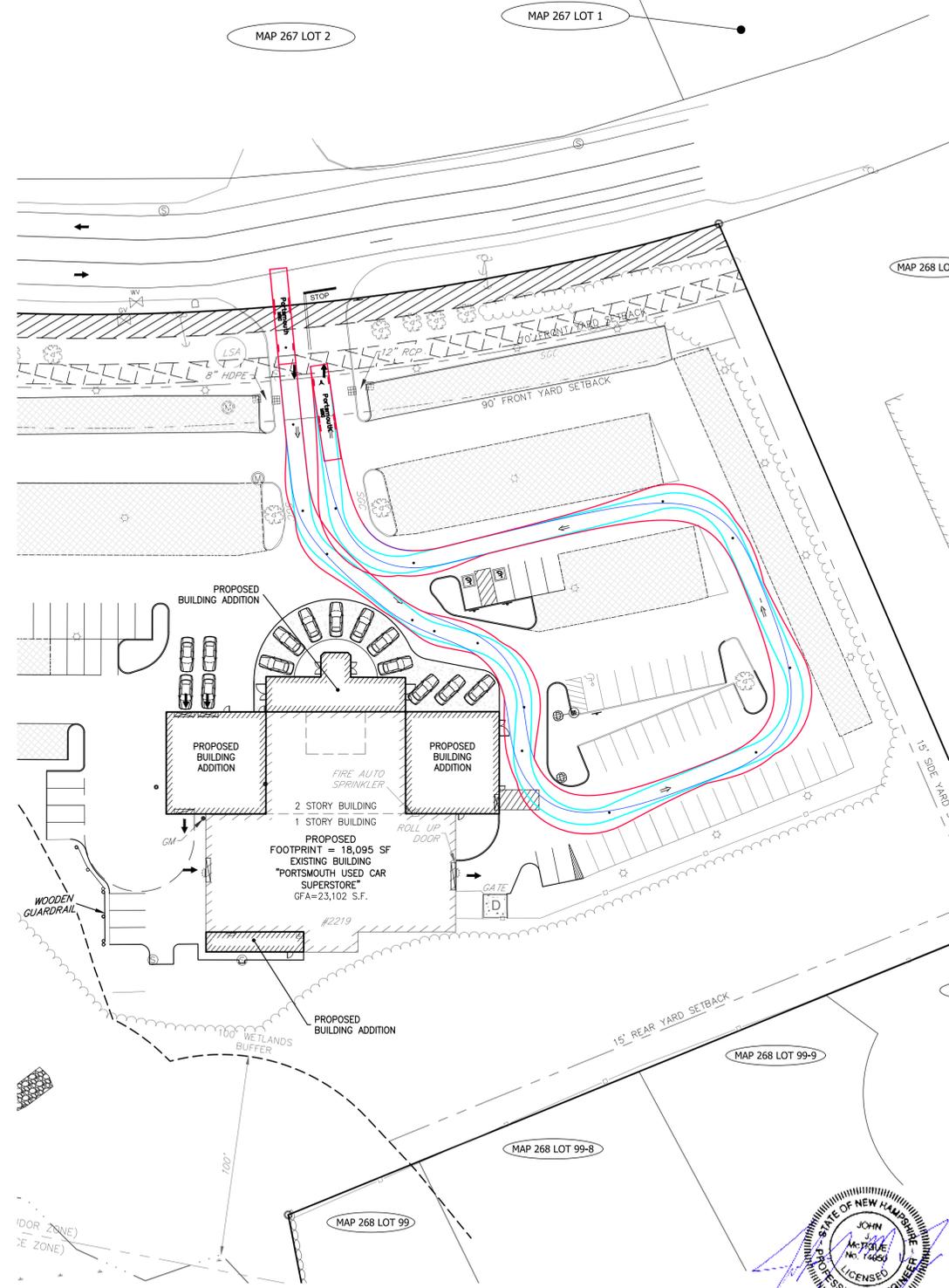
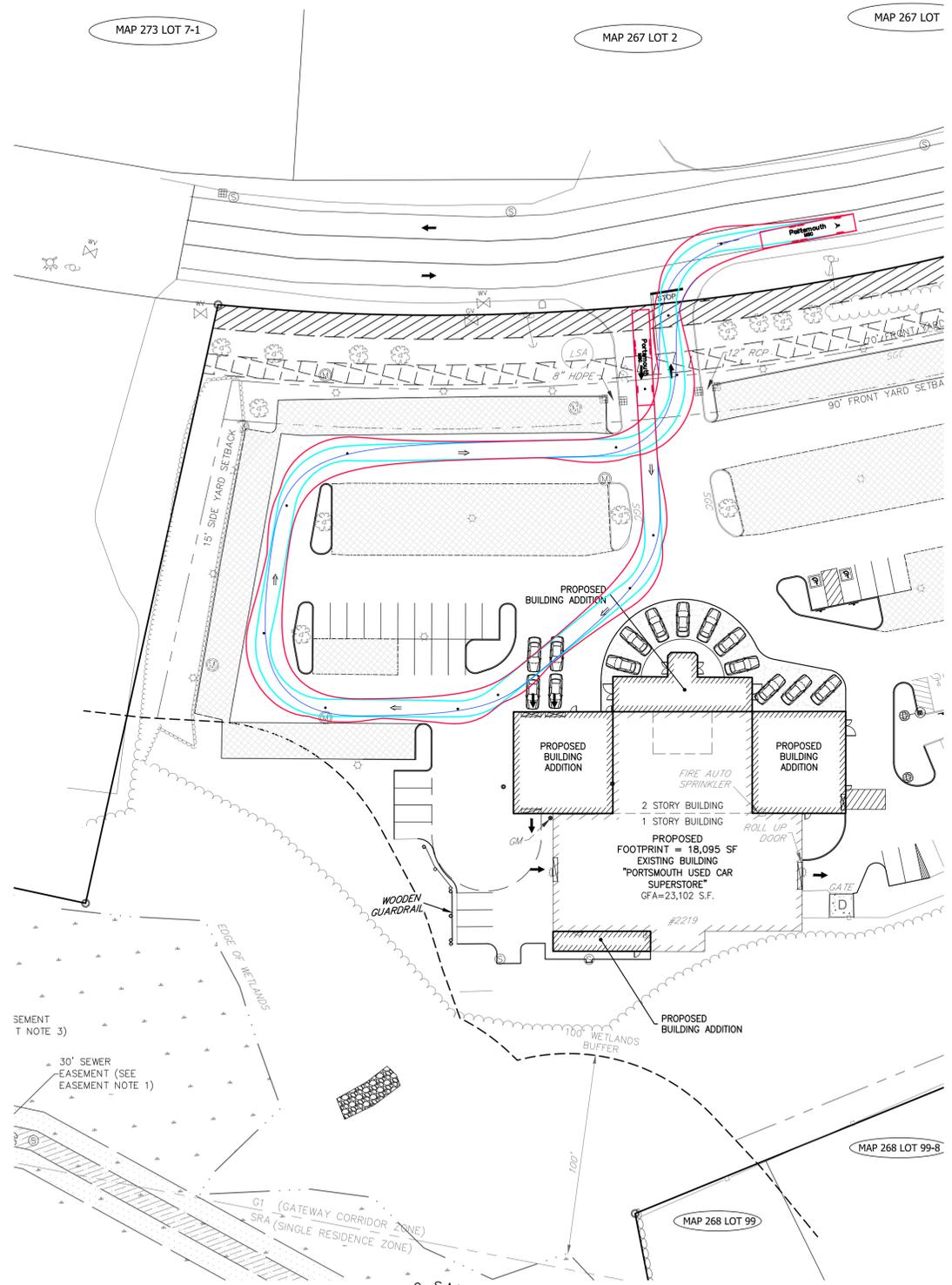


REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CCR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CCR

		Civil Engineers	170 Commerce Way, Suite 102
		Structural Engineers	Portsmouth, NH 03801
		Traffic Engineers	Phone (603) 431-2222
		Land Surveyors	Fax (603) 431-0910
		Landscape Architects	www.TFMoran.com
		Scientists	

Jul 09, 2019 - 1:09pm F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80_Erosion.dwg

Jul 09, 2019 - 11:10am
 F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80_Truck.dwg



Portsmouth Tower 5
 feet
 Width : 8.50
 Track : 8.50
 Lock to Lock Time : 6.0
 Steering Angle : 41.0

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1
TRUCK MOVEMENT
 KEY ACURA OF PORTSMOUTH
 2219 LAFAYETTE ROAD
 PORTSMOUTH, NEW HAMPSHIRE

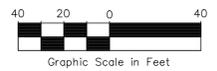
OWNED BY
2219 LAFAYETTE ROAD LLC

SCALE: 1" = 40' (22X34)
 1" = 80' (11X17) MAY 7, 2019

TFM	MSC A Division of TFMoran, Inc.	Civil Engineers	170 Commerce Way, Suite 102
		Structural Engineers	Portsmouth, NH 03801
		Traffic Engineers	Phone (603) 431-2222
		Land Surveyors	Fax (603) 431-0910
		Landscape Architects	www.TFMoran.com
		Scientists	

FILE #	45407.80	DR	RCK	FB		
		CK	CRR	CADFILE	45407-80_Truck.dwg	
						C-13

REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CRR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CRR

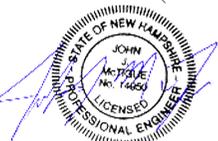


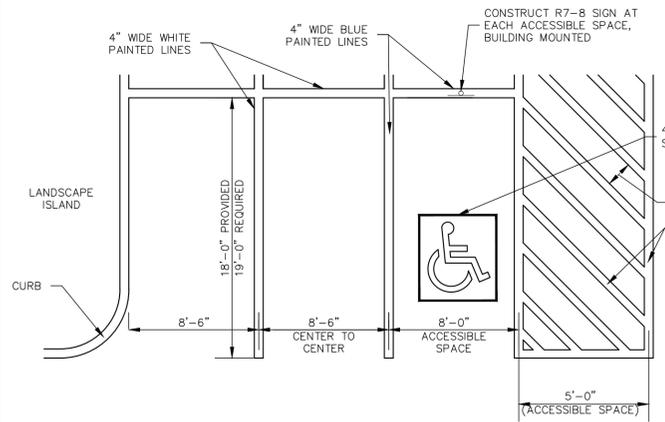
PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.
 48 Constitution Drive, Bedford, N.H. 03110
 All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



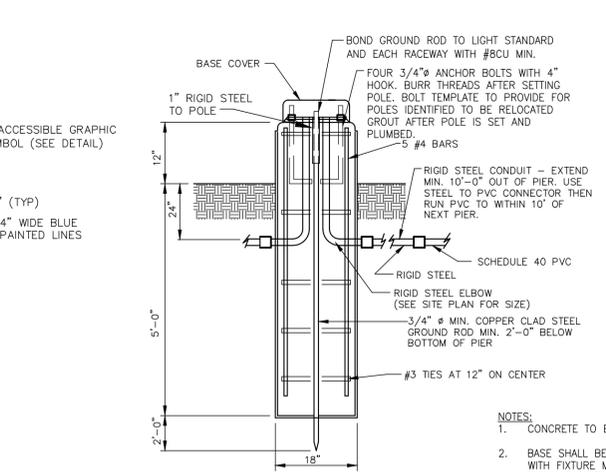
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION





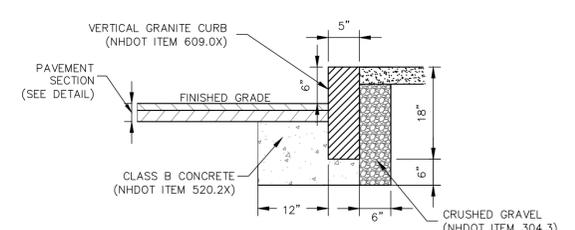
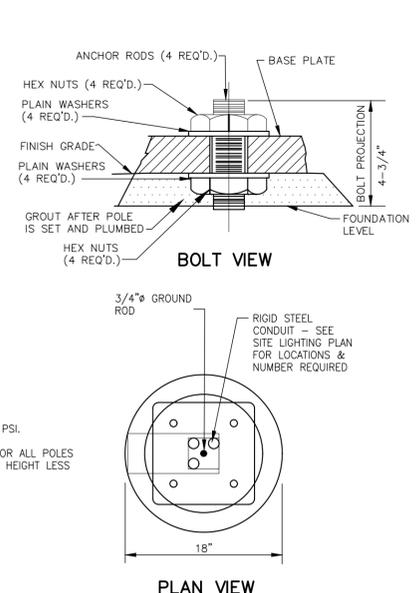
- NOTE**
- TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
 - SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.
 - 2% MAXIMUM CROSS SLOPE ALLOWED IN ACCESSIBLE PARKING SPACES AND ACCESS AISLES.

TYPICAL PARKING LAYOUT
NOT TO SCALE



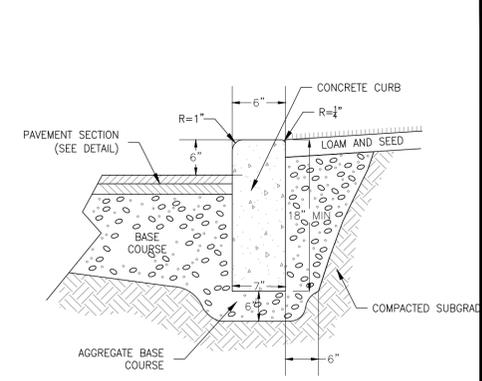
- NOTES**
- CONCRETE TO BE 4000 PSI.
 - BASE SHALL BE USED FOR ALL POLES WITH FIXTURE MOUNTING HEIGHT LESS THAN 16- FEET.

LIGHT POLE BASE (24" MOUNTING HEIGHT)
NOT TO SCALE

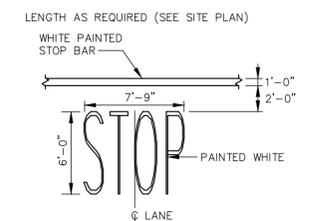


- NOTES**
- MORTAR JOINTS AND OTHER INSTALLATION TO BE AS SPECIFIED IN NHDOT SECTION 609.
 - ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

VERTICAL GRANITE CURB
NOT TO SCALE

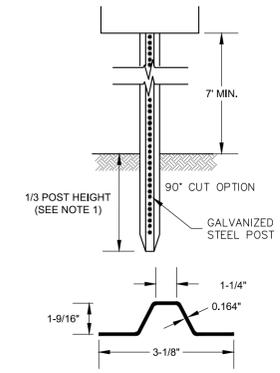


CAST-IN-PLACE CONCRETE CURB
NOT TO SCALE



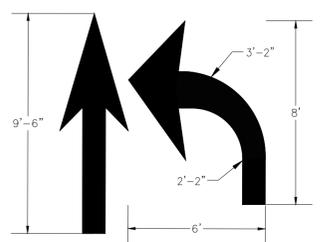
- NOTES**
- TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.

STOP BAR & LEGEND
NOT TO SCALE



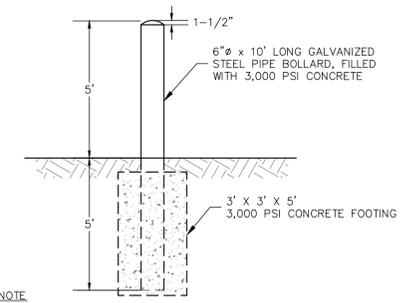
- LENGTH:** AS REQUIRED
WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN)
HOLE: 3/8" DIAMETER, 1" C-C FULL LENGTH
STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070 - 1080)
FINISH: SHALL BE PAINTED WITH 2 COATS OF AN APPROVED MEDIUM GREEN BAKED-ON OR AIR-DRIED PAINT OF WEATHER RESISTANT QUALITY. ALL FABRICATION SHALL BE COMPLETE BEFORE PAINTING.
- NOTE:**
- WHERE LEDGE APPLICATION EXISTS, DRILL & GROUT TO A MINIMUM OF 2".
 - ALL SIGNAGE SHALL FOLLOW THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES STANDARDS AND NHDOT STANDARDS.
 - SIGN, HARDWARE, AND INSTALLATION SHALL CONFORM TO THE LATEST NHDOT STANDARD SPECIFICATIONS.

SIGN POST
NOT TO SCALE



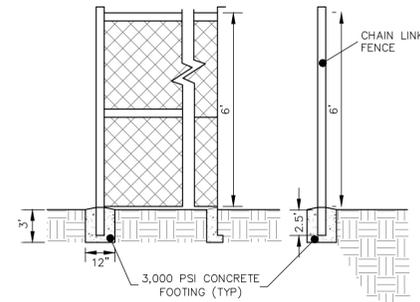
- NOTES**
- TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
 - SYMBOLS AND PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

PAINTED ARROW
NOT TO SCALE



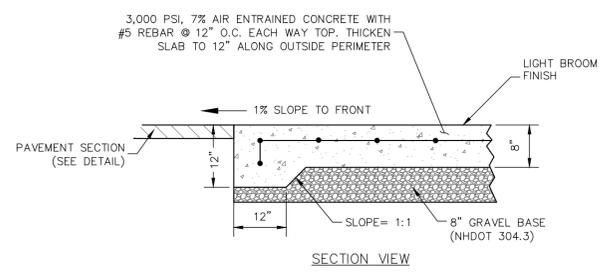
- NOTE**
- BOLLARD SHALL BE PAINTED WITH PRIMER & 2 COATS OF SAFETY YELLOW PAINT.

BOLLARD
NOT TO SCALE



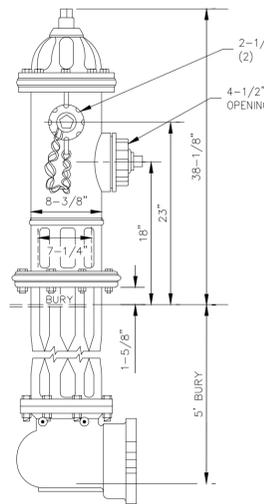
- NOTES:**
- 2" MESH FABRIC, 9 GAUGE WIRE FOR FENCE. LINE POSTS ARE TO BE A 2 1/2" DIAMETER 14 GAUGE. TOP RAIL SHOULD BE 1 1/2" DIAMETER 16 GAUGE. ALL PER ASTM SPECIFICATIONS.
 - INSTALL DARK BROWN VINYL PRIVACY SLATS IN FENCE & GATES WHERE INDICATED.
 - BARB WIRE SHALL BE PROVIDED ALONG TOP OF FENCE.

CHAIN LINK FENCE
NOT TO SCALE



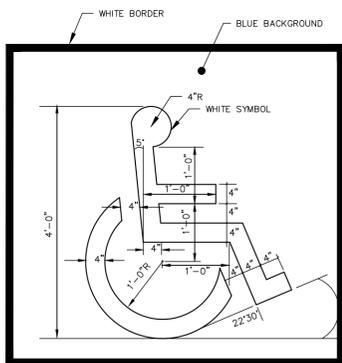
- NOTES**
- PROVIDE CLEAN BUTT TO EXISTING PAVEMENT - USE TACK COAT.

CONCRETE PAD
NOT TO SCALE



- THREE-WAY HYDRANT KENNEDY K-81A
GUARDIAN
ELMIRA, N.Y.
- SPECIFICATIONS**
- 150 PSI WORKING PRESSURE
 - 300 PSI TEST PRESSURE
 - HYDRANT DRAIN SHALL BE PLUGGED
 - DRY TOP DESIGN VALVE SHALL OPEN WHEN OPERATING NUT IS TURNED CLOCKWISE AND BE SO INDICATED ON HYDRANT
 - OPERATING NUT SHALL BE STANDARD AWWA PENTAGON OPERATING NUT WITH 1 1/2" POINT TO FLAT DIMENSION
 - THREADS SHALL BE NATIONAL STANDARD HOSE THREAD NOZZLES

PORTSMOUTH FIRE HYDRANT
NOT TO SCALE



- NOTES**
- TRAFFIC PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER AND SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F". APPLY TWO COATS.
 - SYMBOLS AND PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT, LATEST EDITION.

ACCESSIBLE GRAPHIC SYMBOL
NOT TO SCALE



PLANNING BOARD FILE #

Copyright 2019 © Thomas F. Moran, Inc.
 48 Constitution Drive, Bedford, N.H. 03110
 All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
 This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.
 CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CKR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CKR

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1
DETAIL SHEET
KEY ACURA OF PORTSMOUTH
2219 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

OWNED BY
2219 LAFAYETTE ROAD LLC

MAY 7, 2019

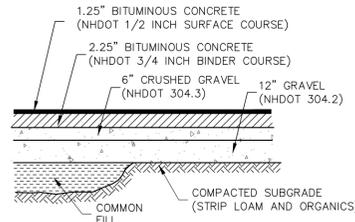
TFM **MSC**
 A division of TFMoran, Inc.

Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

170 Commerce Way, Suite 102
 Portsmouth, NH 03801
 Phone (603) 431-2222
 Fax (603) 431-0910
 www.TFMoran.com

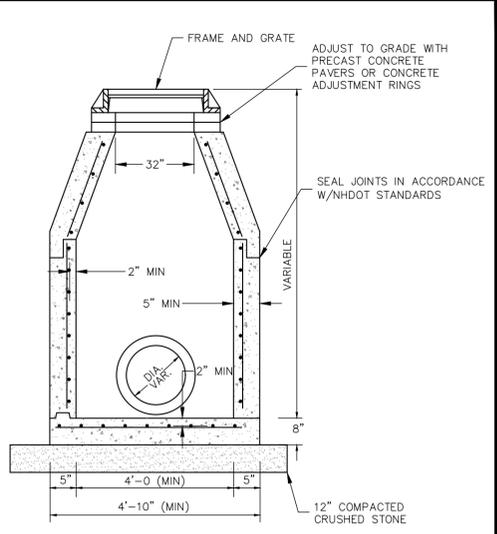
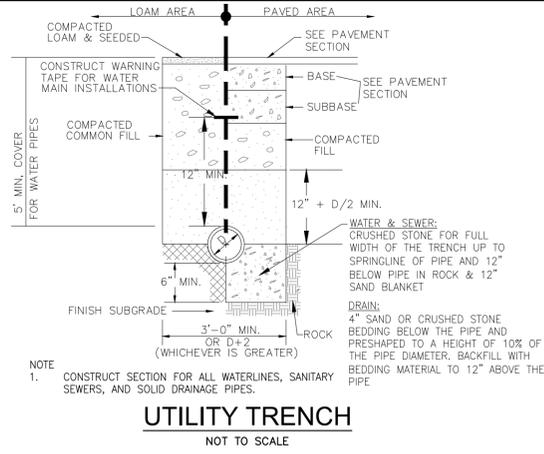
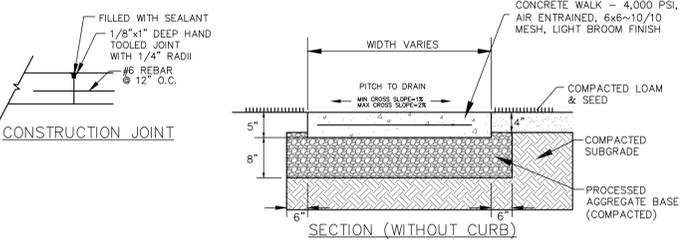
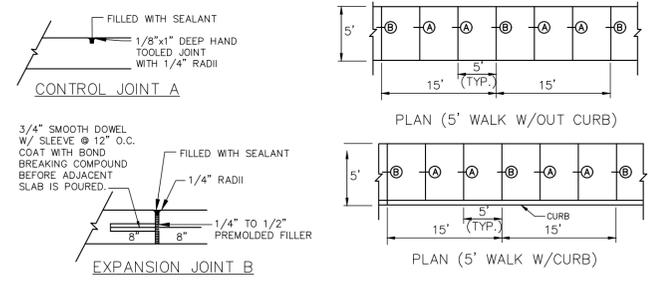
FILE #	45407.80	DR	XXX	FB	
		CK	XXX	CADFILE	45407-80_Details.dwg
					C-14

Jul 09, 2019 - 1:10pm F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407-80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80_Details.dwg



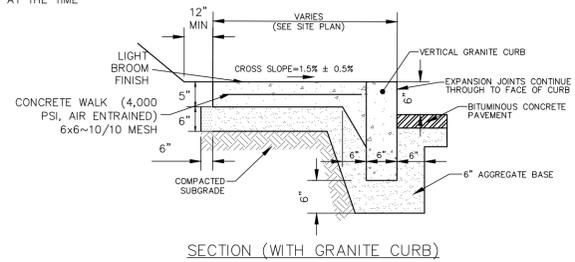
- NOTES**
- SEE GRADING & EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 - PROVIDE CLEAN BUTT TO EXISTING PAVEMENT- USE TACK COAT. A TACK COAT SHALL ALSO BE PLACED BETWEEN GRAVEL COURSE AND SUCCESSIVE LAYERS OF BITUMINOUS CONCRETE. SPECIFICALLY, A TACK COAT SHALL BE PLACED ATOP THE BINDER COURSE PAVEMENT PRIOR TO PLACING THE WEARING COURSE.
 - REMOVE ALL LOAM AND/OR YIELDING MATERIAL BELOW PAVEMENT.
 - BITUMINOUS MATERIALS SHALL CONFORM TO NHDOT SPECIFICATION SECTION 401.
 - BITUMINOUS CONCRETE SHALL BE COMPACTED TO AT LEAST 92-97% OF THEORETICAL MAXIMUM DENSITY AS DETERMINED BY ASTM D2041. PLACEMENT TEMPERATURES OF BITUMINOUS CONCRETE MIXES, IN GENERAL, RANGE BETWEEN 270 AND 310 DEGREES FAHRENHEIT.
 - PAVEMENT BASE COURSE AGGREGATE SHALL CONFORM TO NHDOT SPECIFICATION SECTION 304, ITEM 304.3 AND COMPACTED TO A MINIMUM OF 95% OF ASTM D-1557.
 - PAVEMENT SUBBASE COURSE AGGREGATE AND AGGREGATE FOR SUBGRADE REPAIR AREAS SHALL BE SUITABLE FOR USE AS STRUCTURAL FILL AND BE PROOF ROLLED AND COMPACTED TO 95% OF ASTM D-1557.
 - THE EXPOSED SOIL SUBGRADE SHOULD BE PROOF ROLLED PRIOR TO THE PLACEMENT OF SUBBASE GRAVEL, AND SOFT AREAS SHOULD BE REPAIRED AND REPLACED.
 - LOCATION OF HEAVY DUTY PAVEMENT SHALL BE AS SHOWN ON THE LAYOUT PLAN. ALL OTHER LOCATIONS SHALL BE STANDARD DUTY PAVEMENT.
 - EXACT AREAS TO RECEIVE FULL-DEPTH PAVEMENT SECTION BASE AND SUB-BASE SHALL BE DETERMINED IN FIELD AT THE TIME OF CONSTRUCTION.

PAVEMENT SECTION
NOT TO SCALE



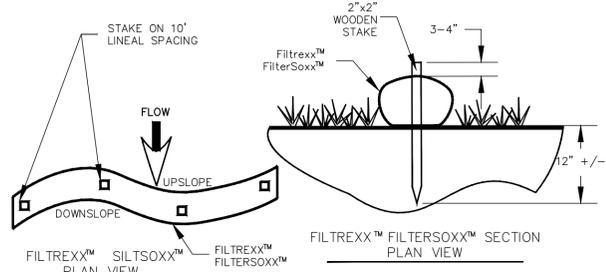
- NOTES**
- MANHOLE FRAME & COVER: SHALL BE NEENAH R-1653-A OR APPROVED EQUAL.
 - MANHOLES SHALL MEET NHDOT SPECIFICATIONS.
 - ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING
 - REINFORCING SHALL CONFORM TO ASTM 185 OR ASTM 1497 & ASTM A615, GRADE 60.
 - ALL CONCRETE SHALL BE NHDOT CLASS A.
 - LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.

DRAIN MANHOLE
NOT TO SCALE

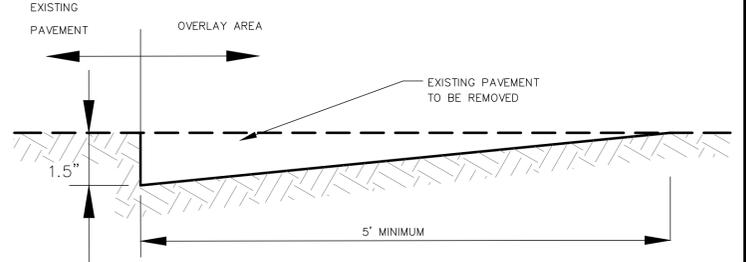


NOTE
1. SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION.

CONCRETE SIDEWALK
NOT TO SCALE

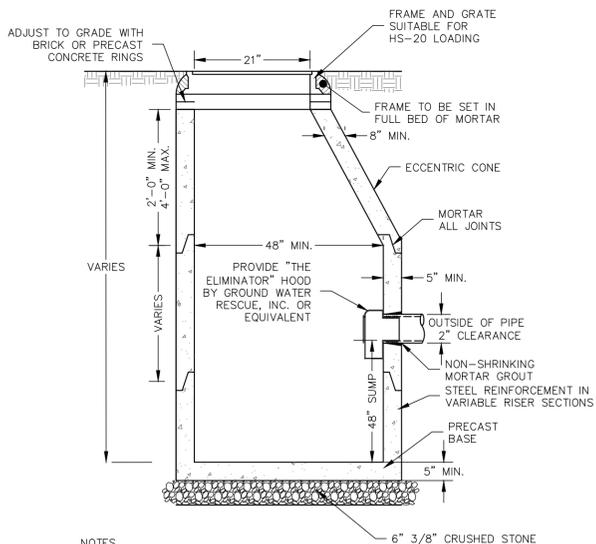


- NOTES:**
- ALL MATERIAL TO MEET FILTRExx™ SPECIFICATIONS
 - FILTRExx™ COMPOST/SOIL/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS.
 - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
- FILTRExx™ FILTERSOXX™ STAKING**
NOT TO SCALE



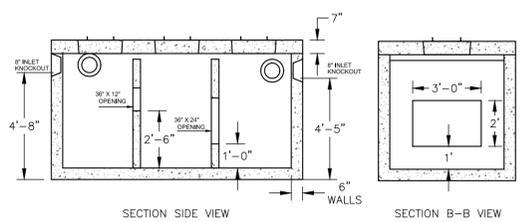
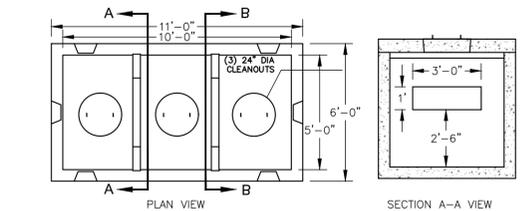
- NOTES:**
- USE KEY JOINT AT ALL LOCATIONS WHERE OVERLAY MEETS EXISTING PAVEMENT.
 - NEW PAVEMENT SHALL BE FLUSH WITH EXISTING PAVEMENT AND SHALL MEET OVERLAY GRADE WHERE IT ABUTS EXISTING PAVEMENT TO BE OVERLAYED.

KEY JOINT DETAIL
NOT TO SCALE



- NOTES**
- ALL SECTIONS SHALL BE PRECAST CONCRETE NHDOT CLASS AA, 4,000 PSI.
 - CATCH BASINS SHALL MEET NHDOT SPECIFICATIONS.
 - ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 - LARGER DIAMETER STRUCTURES SHALL BE USED AS REQUIRED DUE TO NUMBER, ANGLE OR SIZE OF PIPES AT THE STRUCTURE.

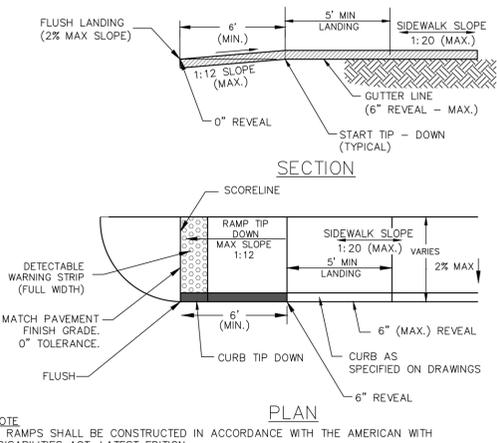
ECCENTRIC CATCH BASIN WITH SNOOT
NOT TO SCALE



DETAIL PROVIDED BY SHEA CONCRETE PRODUCTS
87 HAVERHILL ROAD AMESBURY, MA
(800) 696-7432

- NOTES:**
- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 - DESIGNED FOR H-20 LOADING
 - TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.

1,500 GALLON SEDIMENT & OIL SEPARATOR
NOT TO SCALE



NOTE
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT, LATEST EDITION.

SIDEWALK TIP DOWN RAMP
NOT TO SCALE



REV.	DATE	DESCRIPTION	DR	CK
2	7/8/19	REVISED PER TAC COMMENTS	RCK	CKR
1	6/17/19	REVISED PER TAC COMMENTS	RCK	CKR

SITE DEVELOPMENT PLANS

TAX MAP 272 LOT 1
DETAIL SHEET
KEY ACURA OF PORTSMOUTH
2219 LAFAYETTE ROAD
PORTSMOUTH, NEW HAMPSHIRE

OWNED BY
2219 LAFAYETTE ROAD LLC

MAY 7, 2019



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

170 Commerce Way, Suite 102
Portsmouth, NH 03801
Phone (603) 431-2222
Fax (603) 431-0910
www.TFMoran.com

FILE	DR	XXX	FB	FILE	DR	CK
45407.80	CK	XXX	CADFILE	45407-80_Details.dwg		

PLANNING BOARD FILE #

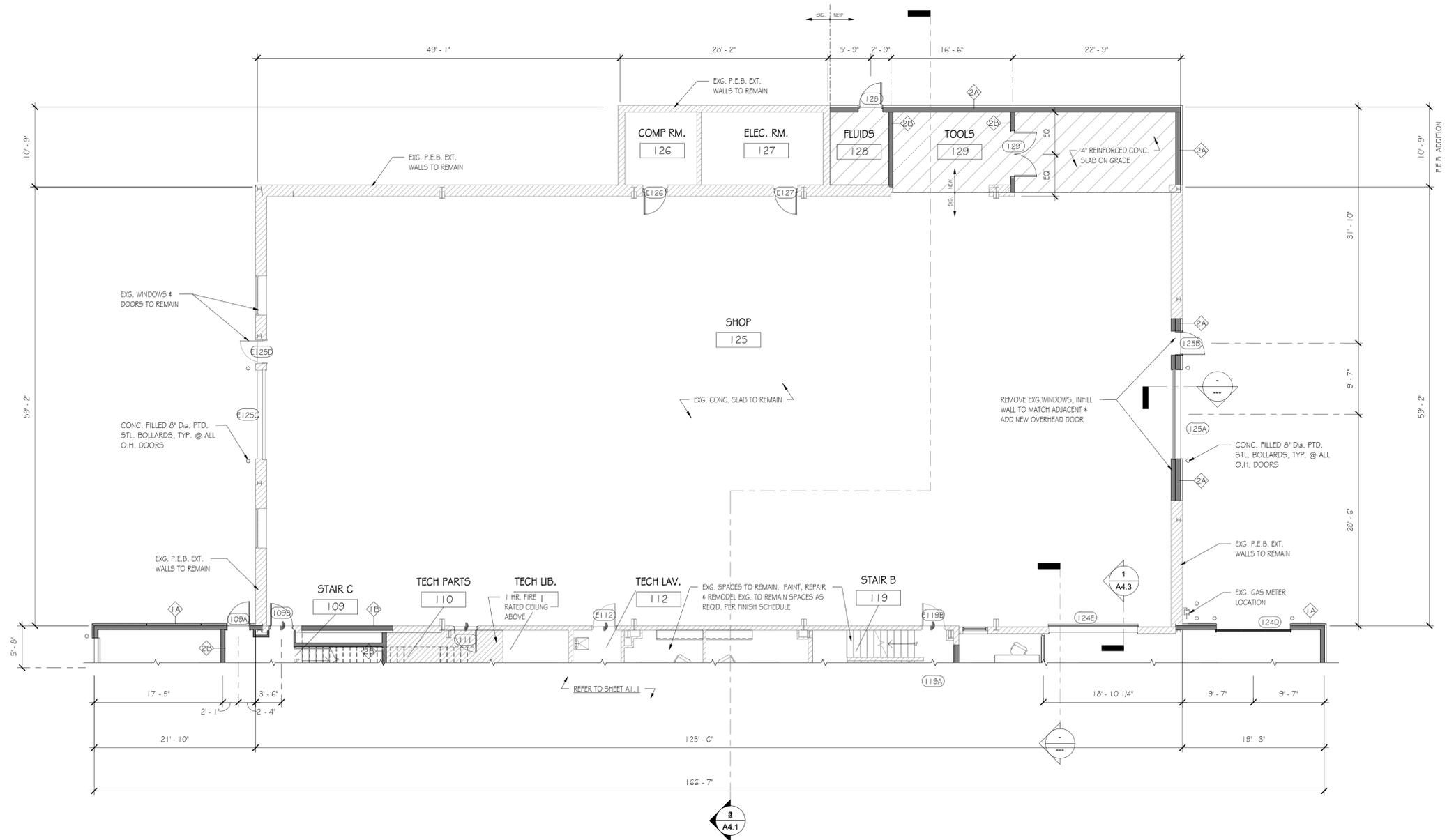
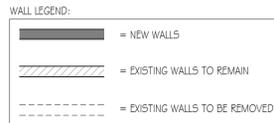
Copyright 2019 © Thomas F. Moran, Inc.
48 Constitution Drive, Bedford, N.H. 03110
All rights reserved. These plans and materials may not be copied, duplicated, replicated or otherwise reproduced in any form whatsoever without the prior written permission of Thomas F. Moran, Inc.
This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.



CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

Jul 09, 2019 - 11:10am F:\MSC Projects\45407 - Lafayette Road - Portsmouth\45407.80 - 2219 Lafayette Road - Acura\Design\Production Drawings\45407-80_Details.dwg

- FLOOR PLAN GENERAL NOTES:**
- 1) REFER TO SHEETS A4.0 FOR WALL TYPE INFORMATION
 - 2) REFER TO SHEETS A6.2 FOR ROOM FINISH SCHEDULE
 - 3) REFER TO SHEETS A6.1 FOR DOOR & WINDOW SCHEDULE
 - 4) REFER TO SHEETS A1.4 & A1.5 FOR REFLECTED CEILING PLAN & LIGHTING FIXTURE SCHEDULE
 - 5) REFER TO STRUCTURAL DRAWINGS FOR ALL CONCRETE SLAB THICKNESSES & REINFORCEMENT PLACEMENT LOCATIONS
 - 6) REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COLUMN SIZES & LOCATIONS
 - 7) GRID IS TO OUTSIDE FACE OF WALL OR CENTER LINE OF MAIN FRAME @ P.E.B. GRID IS TO CENTER LINE OF STEEL COLUMNS @ STRUCTURAL STEEL BUILDING
 - 8) ALL INTERIOR WALL DIMENSIONS ARE FROM CENTER OF WALL & OUTSIDE FACE OF EXT. WALL FOR NEW PARTITIONS
 - 9) REFER TO COVER SHEET FOR TYPICAL ABBREVIATIONS
 - 10) ALL UNDIMENSIONED DOORS TO MAINTAIN A MINIMUM JAMB DISTANCE OF 4" @ HINGE, U.N.O. OR SHOWN CENTERED IN WALL
 - 11) TOP OF FOUNDATION WALL @ ALL NEW EXTERIOR DOORS TO BE DROPPED 8" TO EL. 99'-4" REFER TO STRUCTURAL DRAWINGS
 - 12) REFER TO SHEET CR.2 FOR ALL NEW PLUMBING FIXTURE DIMENSIONAL CRITERIA. FIXTURE TAGS REFERENCE PARTICULAR FIXTURE
 - 13) REFER TO CIVIL DWGS. FOR SIDE WALK & PARKING LAYOUT
 - 14) REFER TO SHEET A1.2 FOR TECHNICIAN BAY FLOOR PLAN



No.	Description	Date
	Revision Schedule	

Project Info:
Key Acura of Portsmouth
2219 Lafayette Rd.
Portsmouth, NH

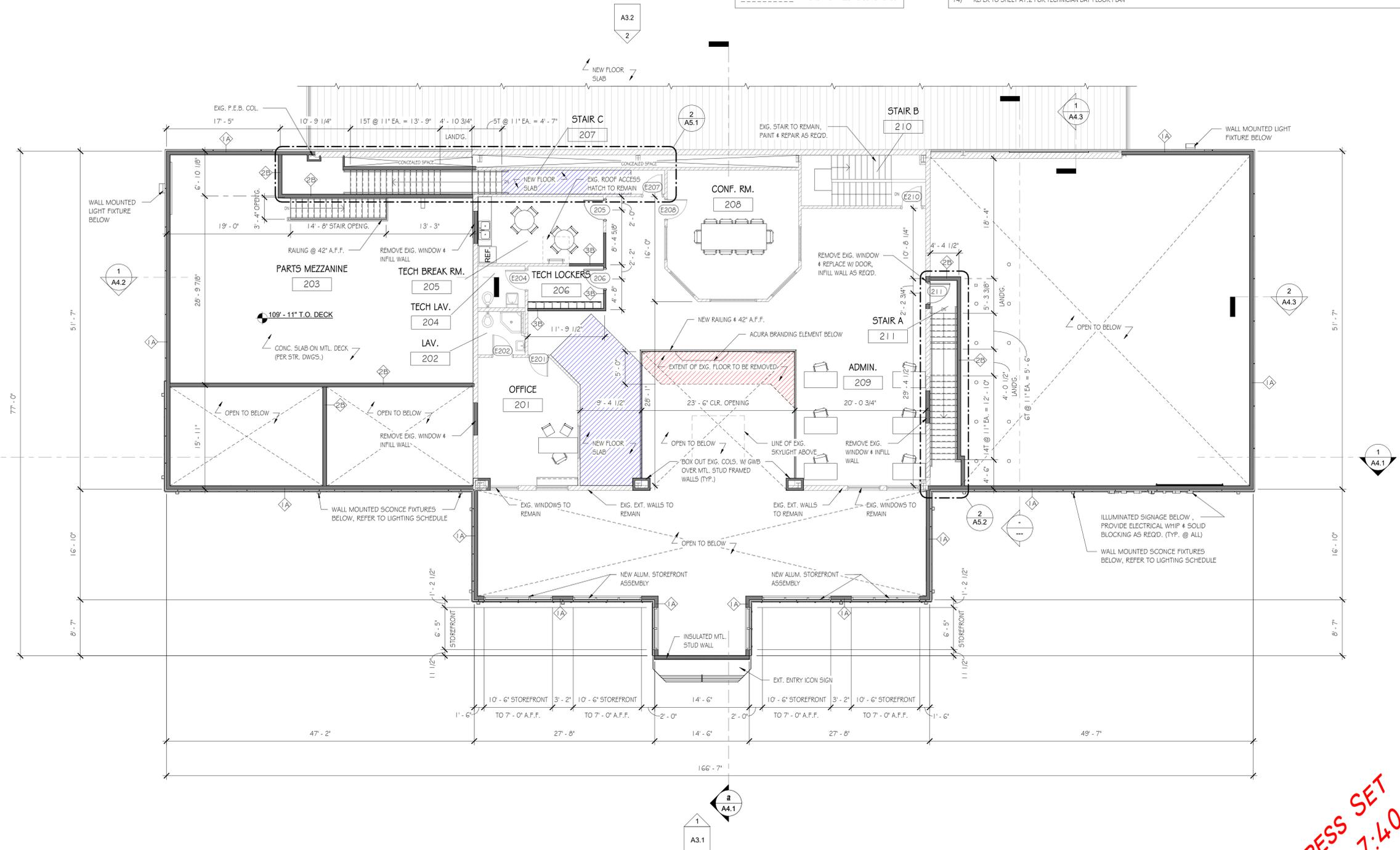
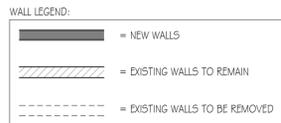
Sheet Status:
Latest Release:
Issued For: Progress Set
Org. Issue Date: N.F.C.
JOB NO:
DRAFTED: MLN
CHECKED: JMT
SCALE: As indicated
Sheet Title:
Shop Floor Plan

Sheet Number:
A1.2

PROGRESS SET
4/11/2019 7:40:49 AM

1 SHOP FLOOR PLAN
1/8" = 1'-0"

- FLOOR PLAN GENERAL NOTES:**
- 1) REFER TO SHEETS A4.0 FOR WALL TYPE INFORMATION
 - 2) REFER TO SHEETS A6.2 FOR ROOM FINISH SCHEDULE
 - 3) REFER TO SHEETS A6.1 FOR DOOR & WINDOW SCHEDULE
 - 4) REFER TO SHEETS A1.4 & A1.5 FOR REFLECTED CEILING PLAN & LIGHTING FIXTURE SCHEDULE
 - 5) REFER TO STRUCTURAL DRAWINGS FOR ALL CONCRETE SLAB THICKNESSES & REINFORCEMENT PLACEMENT LOCATIONS
 - 6) REFER TO STRUCTURAL DRAWINGS FOR ALL STRUCTURAL COLUMN SIZES & LOCATIONS
 - 7) GRID IS TO OUTSIDE FACE OF WALL GIRT OR CENTER LINE OF MAIN FRAME @ P.E.B. GRID IS TO CENTER LINE OF STEEL COLUMNS @ STRUCTURAL STEEL BUILDING
 - 8) ALL INTERIOR WALL DIMENSIONS ARE FROM CENTER OF WALL & OUTSIDE FACE OF EXT. WALL FOR NEW PARTITIONS
 - 9) REFER TO COVER SHEET FOR TYPICAL ABBREVIATIONS
 - 10) ALL UNDIMENSIONED DOORS TO MAINTAIN A MINIMUM JAMB DISTANCE OF 4" @ HINGE, U.N.O. OR SHOWN CENTERED IN WALL
 - 11) TOP OF FOUNDATION WALL @ ALL NEW EXTERIOR DOORS TO BE DROPPED 8" TO EL. 99'-4" REFER TO STRUCTURAL DRAWINGS
 - 12) REFER TO SHEET CR.2 FOR ALL NEW PLUMBING FIXTURE DIMENSIONAL CRITERIA. FIXTURE TAGS REFERENCE PARTICULAR FIXTURE
 - 13) REFER TO CIVIL DWGS. FOR SIDE WALK & PARKING LAYOUT
 - 14) REFER TO SHEET A1.2 FOR TECHNICIAN BAY FLOOR PLAN



1 SECOND FLOOR
1/8" = 1'-0"

PROGRESS SET
4/11/2019 7:40:52 AM

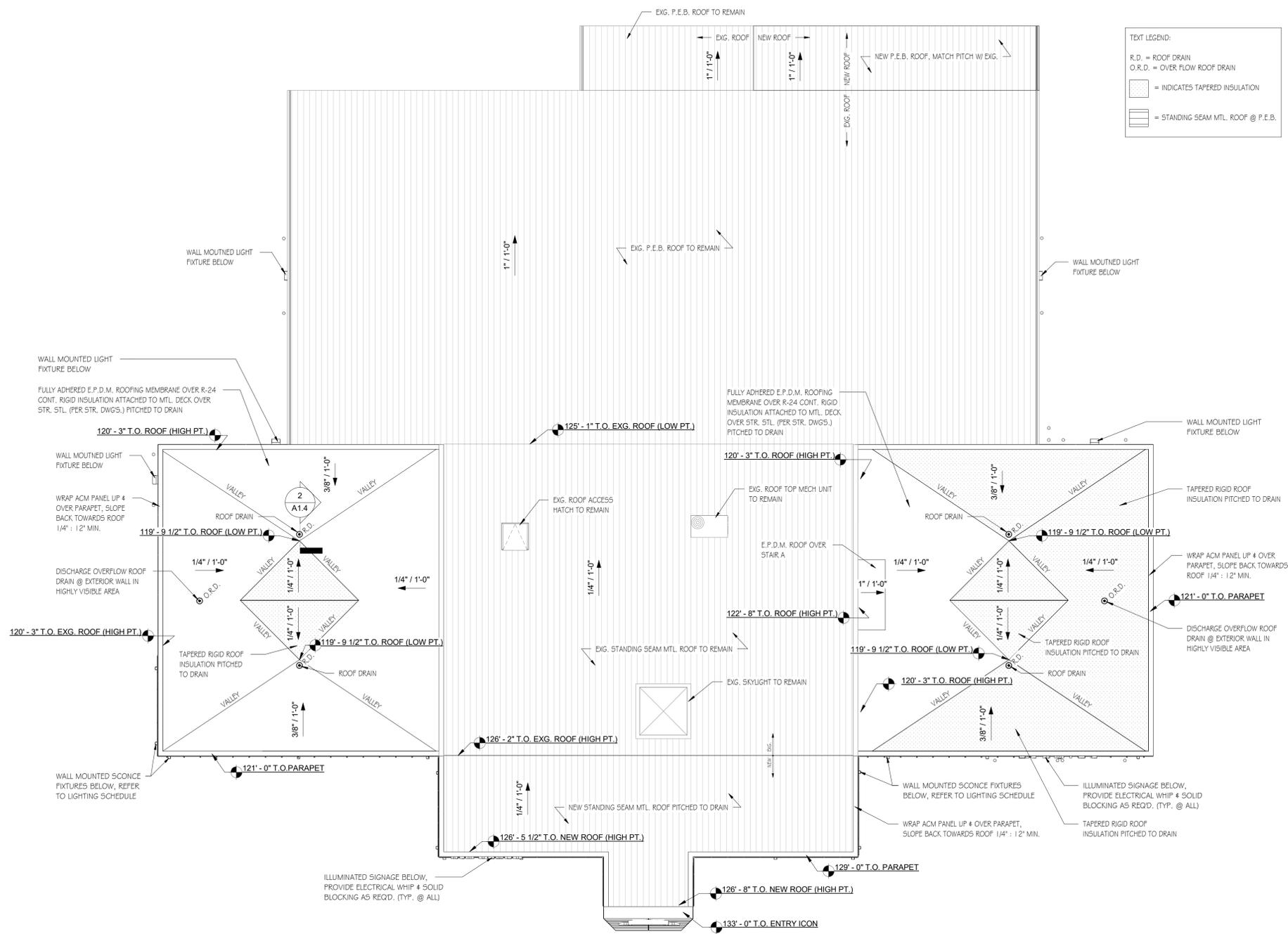
No.	Description	Date
	Revision Schedule	

Project Info:
Key Acura of Portsmouth
2219 Lafayette Rd.
Portsmouth, NH

Sheet Status:
Latest Release:
Issued For: Progress Set
Org. Issue Date: N.F.C.
JOB NO:
DRAFTED: MLN
CHECKED: JMT
SCALE: As indicated

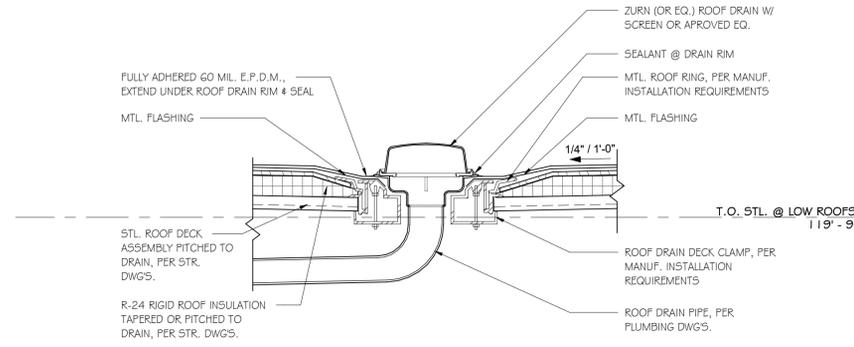
Sheet Title:
Second Floor Plan

Sheet Number:
A1.3



TEXT LEGEND:
 R.D. = ROOF DRAIN
 O.R.D. = OVER FLOW ROOF DRAIN
 [Pattern] = INDICATES TAPERED INSULATION
 [Pattern] = STANDING SEAM MTL. ROOF @ P.E.B.

- GENERAL ROOF PLAN NOTES:**
- 1) ALL ROOF SLOPES @ E.P.D.M. ROOFS ARE 1/4" PER FOOT MIN.
 - 2) PITCH STEEL AS REQD. TO ACHIEVE ROOF SLOPES INDICATED ON DWGS.
 - 3) HATCH INDICATES EXTENT OF SLOPED ROOF INSULATION
 - 4) ALL E.P.D.M. ROOFS TO BE 60 MIL FULLY ADHERED E.P.D.M.
 - 5) MIN. ROOF INSULATION THICKNESS SHALL BE 3"
 - 6) WRAP ACM PANELS UP & OVER T.O. PARAPET. SLOPED BACK TOWARDS ROOF @ 1/4" : 12" MIN., REFER TO SECTIONS FOR MORE DETAILS
 - 7) NEW P.E.B. ROOF # NEW STANDING SEAM MTL. ROOF OVER SHOWROOM ADDITION TO MATCH PITCH OF EXG. ADJACENT ROOF



2 ROOF DRAIN SECTION DETAIL
1" = 1'-0"

A3.2 1

2 A3.1

1 PROPOSED ROOF PLAN
1" = 10'-0"

1
A3.1

No.	Description	Date
2	Revision	Schedule

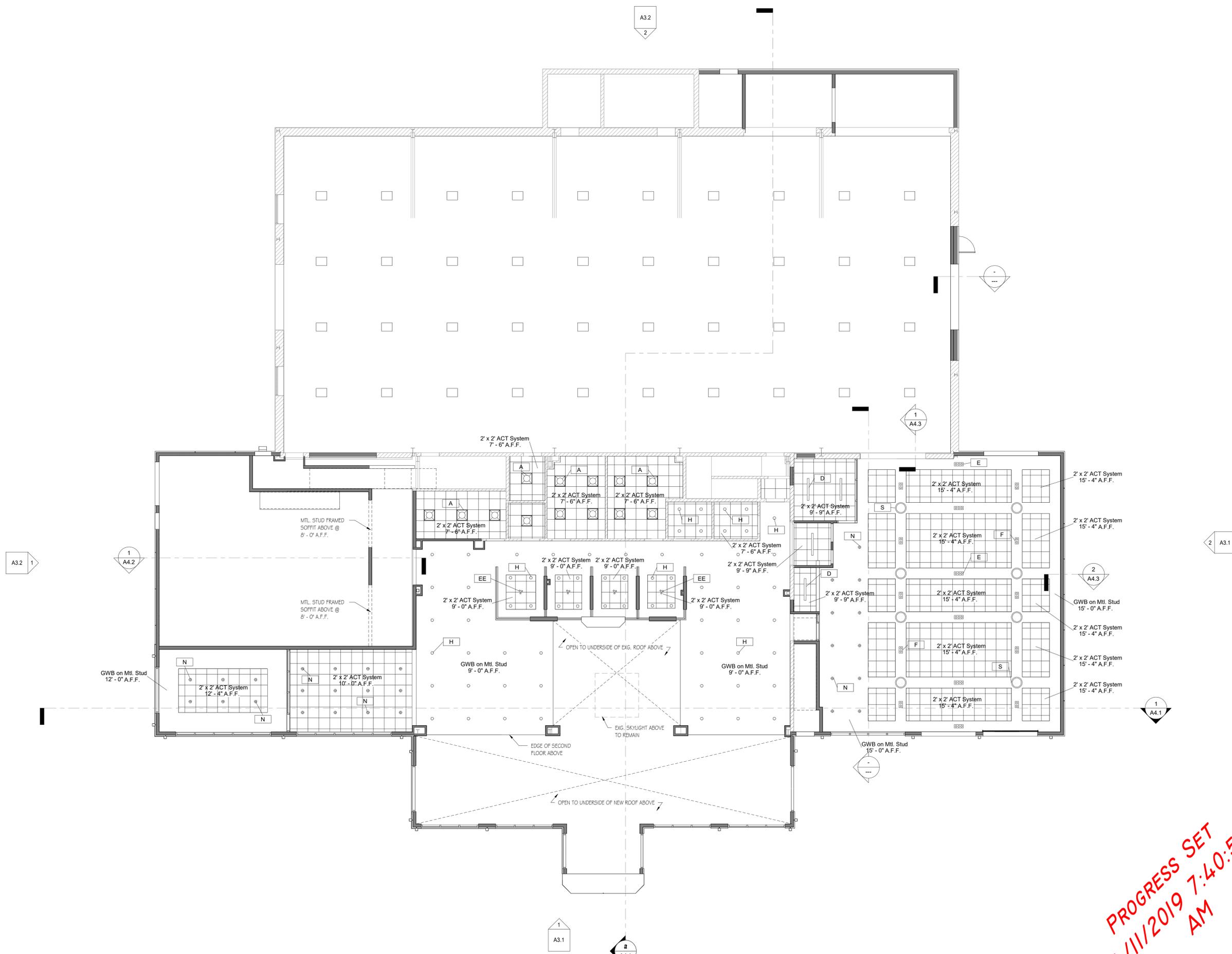
Project Info:
Key Acura of Portsmouth
 2219 Lafayette Rd.
 Portsmouth, NH

Sheet Status:
 Latest Release:
 Issued For: Progress Set
 Org. Issue Date: N.F.C.
 JOB NO:
 DRAFTED: MLN
 CHECKED: JMT
 SCALE: As indicated

Sheet Title:
Roof Plan

Sheet Number:
A1.4

PROGRESS SET
 4/11/2019 7:40:53 AM



FIRST FLOOR REFLECTED CEILING
 PLAN
 1/8" = 1'-0"

No.	Description	Date
	Revision Schedule	

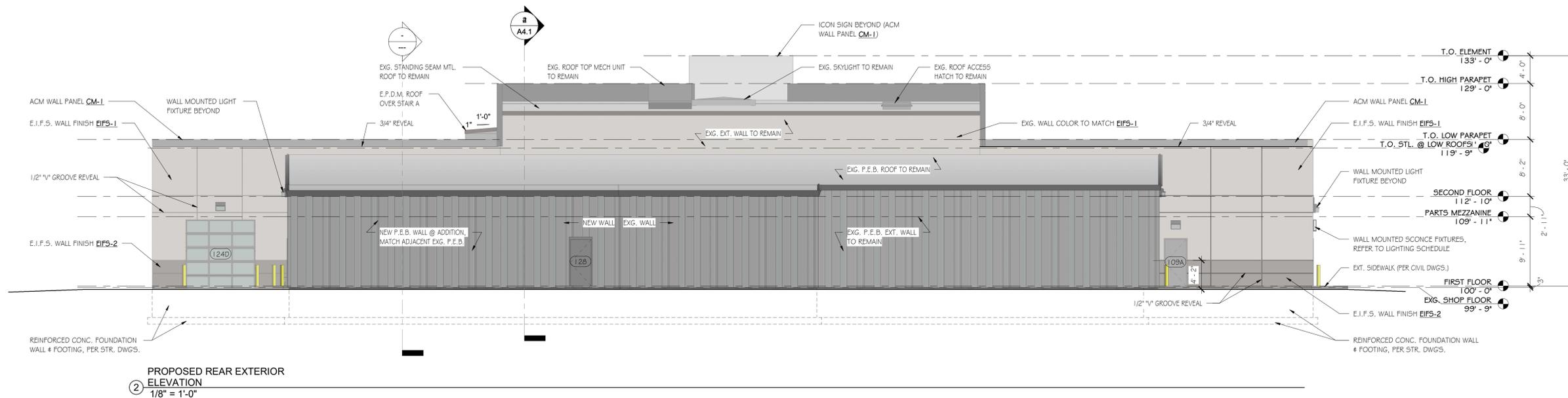
Project Info:
Key Acura of Portsmouth
 2219 Lafayette Rd.
 Portsmouth, NH

Sheet Status:
 Latest Release:
 Issued For: Progress Set
 Org. Issue Date: N.F.C.
 JOB NO:
 DRAFTED: MLN
 CHECKED: JMT
 SCALE: 1/8" = 1'-0"

Sheet Title:
First Floor Reflected Ceiling Plan

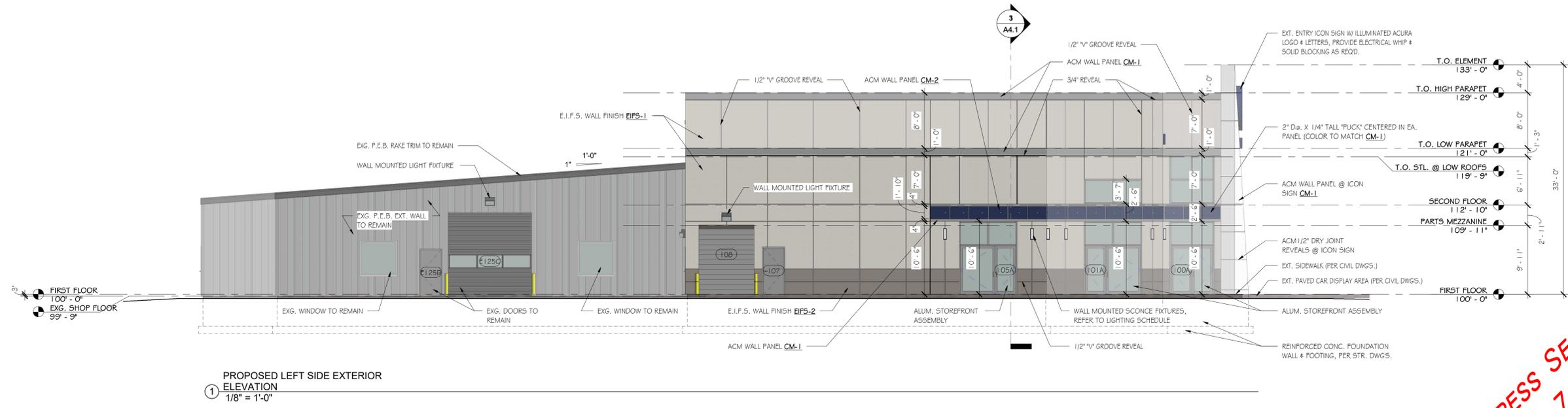
Sheet Number:
A2.1

PROGRESS SET
4/11/2019 7:40:56 AM



- ELEVATION NOTES:**
- 1) REFER TO SHEET A3.3 FOR ALL LOCATIONS OF E.I.F.S. 3/4" REVEALS & 1/2" GROOVES
 - 2) REFER TO SHEET A3.3 FOR ALL CURTAIN WALL & STOREFRONT MULLION GRID DIMENSIONS
 - 3) REFER TO SHEET A4.1 FOR DOOR & WINDOW SCHEDULES & LEGENDS
 - 4) REFER TO FLOOR PLANS FOR ALL EXTERIOR WALL TYPES
 - 5) REFER TO SHEET A4.0 FOR ALL WALL TYPES
 - 6) ALL EXTERIOR FINISH MATERIALS & COLORS ARE PER ACURA DESIGN STANDARDS
 - 7) LIGHTING LAYOUT FOR DESIGN INTENT ONLY. ALL FIXTURE PLACEMENTS TO BE BY ELECTRICAL CONTRACTORS DESIGN / BUILD ENGINEER
 - 8) ALL ALPOUC ACM PANELS TO BE DRY-JOINT SYSTEM

- EXTERIOR FINISH SCHEDULE**
1. CM-1 = COMPOSITE METAL PANEL - "CHAMPAGNE METALLIC" COLOR (ALPOUC OR APPROVED EQ.)
 2. CM-2 = COMPOSITE METAL PANEL - "AUB BLUE" COLOR (ALPOUC OR APPROVED EQ.)
 3. EIFS-1 = EXTERIOR INSULATING FINISH SYSTEM - "WHITE ASH" COLOR (DRYVIT AMERISTONE SERIES)
 4. EIFS-2 = EXTERIOR INSULATING FINISH SYSTEM - "KING'S GRAY" COLOR (DRYVIT QUARZPUTZ SERIES)



No.	Description	Date
	Revision Schedule	

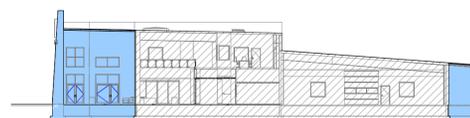
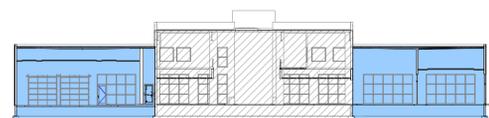
Project Info:
Key Acura of Portsmouth
 2219 Lafayette Rd.
 Portsmouth, NH

Sheet Status:
 Latest Release: Progress Set
 Issued For: N.F.C.
 Org. Issue Date:
 JOB NO:
 DRAFTED: MLN
 CHECKED: JMT
 SCALE: 1/8" = 1'-0"

Sheet Title:
Proposed Exterior Elevations

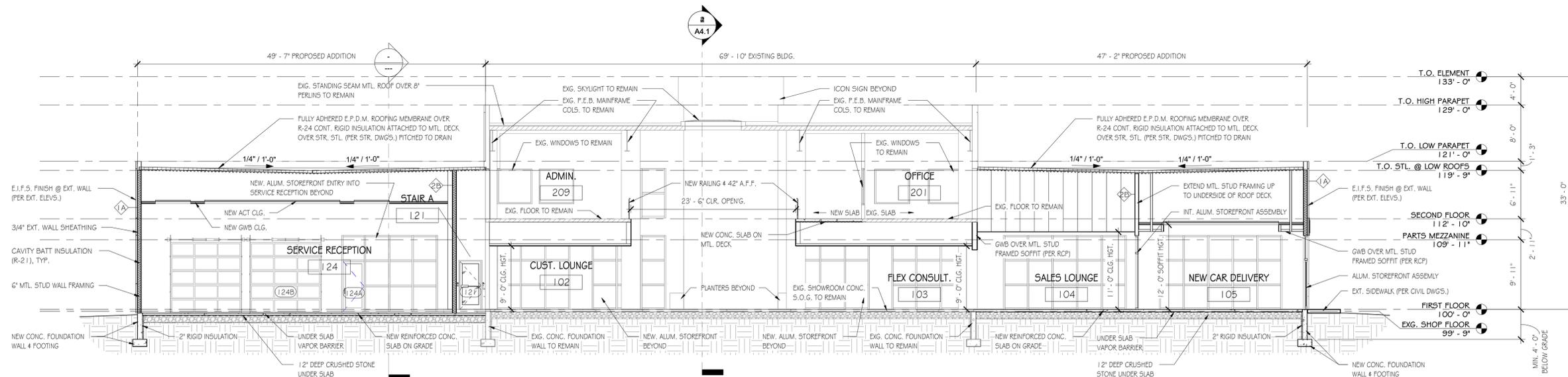
Sheet Number:
A3.2

PROGRESS SET
4/11/2019 7:41:39 AM

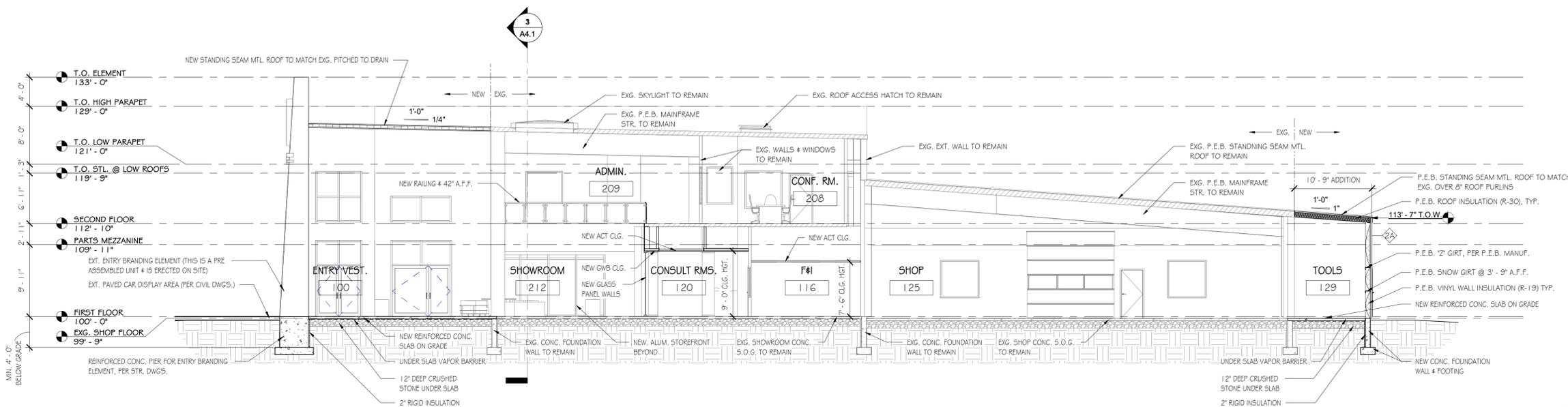


3 NEW VS. EXISTING KEY SECTION "A"
 1" = 30'-0"

4 NEW VS. EXISTING KEY SECTION "B"
 1" = 30'-0"



1 BUILDING SECTION "A"
 1/8" = 1'-0"



2 BUILDING SECTION "B"
 1/8" = 1'-0"

No.	Description	Date
	Revision Schedule	

Project Info:
Key Acura of Portsmouth
 2219 Lafayette Rd.
 Portsmouth, NH

Sheet Status:
 Latest Release: Progress Set
 Issued For: N.F.C.
 Org. Issue Date:
 JOB NO:
 DRAFTED: MLN
 CHECKED: JMT
 SCALE: As indicated

Sheet Title:
Building Sections

Sheet Number:
A4.1

PROGRESS SET
4/11/2019 7:41:46 AM