



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801
(603) 610-7216

PLANNING BOARD

June 24, 2019

Borthwick Forest, LLC
210 Commerce Way, Suite 300
Portsmouth, NH 03801

RE: Amended Site Plan Application for properties located on Borthwick Avenue and Islington Street

Dear Applicant:

The Planning Board, at its regularly scheduled meeting of Thursday, June 20, 2019, considered your application for Amended Site Plan Review approval for the conversion of a ground level parking garage to office space and associated parking lot expansion and stormwater management improvements. Said property is shown on Assessor Map 241 Lots 25 & 26 and lies within the Office Research District. As a result of said consideration, the Board voted to grant Amended Site Plan Review Approval with the following stipulations:

- 1) Prior to construction of the reserve parking area in the future, the plans shall be submitted to the Conservation Commission for review.
- 2) The required note referencing the stormwater maintenance plan and annual inspection and maintenance schedule shall be included on the recordable plan sheet.
- 3) The Stormwater Maintenance Plan shall be updated to revise Section 1.3.3 to note that any updates to the plan (and deed) will require further review and approval as required by the Site Plan Review Regulations.
- 4) The site plan shall be reviewed for pre-approval by the Rockingham County Registry of Deeds and subsequently recorded, as deemed appropriate by the Planning Department.

The Board's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Board's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

This site plan approval shall not be effective until a site plan agreement has been signed satisfying the requirements of Section 2.12 of the City's Site Review Approval Regulations.

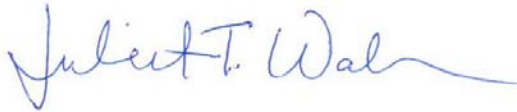
Unless otherwise indicated above, applicant is responsible for applying for and securing a building permit from the Inspection Department prior to starting any project work.

The Planning Director must certify that all stipulations of approval have been completed prior to issuance of a building permit unless otherwise indicated above.

This site plan approval shall expire unless a building permit is issued within a period of one (1) year from the date granted by the Planning Board unless an extension is granted by the Planning Board in accordance with Section 2.14 of the Site Review Regulations.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

A handwritten signature in blue ink that reads "Juliet T. Walker". The signature is fluid and cursive, with a long horizontal flourish extending to the right.

Juliet T. H. Walker, AICP, Planning Director
for Dexter Legg, Chairman of the Planning Board

cc:

Patrick Crimmins, PE, Tighe & Bond
Rosann Maurice-Lentz, City Assessor
Robert Marsilia, Building Inspector
Peter Rice, Director of Public Works