

# AMBIT ENGINEERING, INC.

CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

7 October 2021

Dexter Legg, Planning Board Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

## **RE: Request for Design Review at 181 Hill Street, Proposed Housing Development**

Dear Mr. Legg and Planning Board Members:

On behalf of Hill Hanover Group, LLC we are pleased to submit the attached plan set for **Design Review** for the above-mentioned project and request that we be placed on the agenda for your **October 21, 2021** Planning Board Meeting. The project includes the demolition of three existing buildings and construction of a 3 story residential building containing 12 units with the associated and required site improvements. The Site Plans show the proposed future construction on the Deer Street Associates Lot 6, for reference. Parking is provided on the Lot 6 property under a deeded right; this project plans to provide some parking in a basement level accessed from Autumn Street.

### Site Specifics of Development:

Green Building: the new construction will comply with Green Building Requirements

Stormwater Runoff: the design will not increase impervious surface areas from existing. The design will comply with the required stormwater treatment practices shall be adequately sized to treat the Water Quality Volume (WQV) or Water Quality Flow (WQF) in order to minimize pollutant discharges. Design will include in line roof leader treatment.

Utility Services: The project is surrounded by streets with public utilities.

Flood Hazard / Resource: the project is not in a flood hazard zone or in any resource buffer area.

Lighting: will be building mounted; subject to future design.

Solid Waste Management: will be handled internal to the building.

The following plans are included in our submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- Existing Conditions Plan C1 – This plan shows the existing site conditions in detail.
- Demolition Plan C2 – This plan shows the existing building which will be removed.
- Site Plan C3 – This plan shows the site development in detail with the associated Zoning Development Standards calculations.
- Utility Plan C5 – This plan shows the site utilities in detail.
- Erosion Control Notes and Details D1 – This plan shows sequence of construction and details.
- Detail Sheets D 2 – D 3 – These plans show associated details for construction.
- Exterior Elevation Plans – This plan shows the proposed building exterior elevations.

We look forward to the Planning Board's review of this submission and feedback on the proposed design.

Sincerely,

*John Chagnon*

John R. Chagnon, PE

CC: JPK Properties, CJ Architects



# PROPOSED RESIDENTIAL BUILDING

OWNER:

HILL HANOVER GROUP, LLC  
C/O JPK PROPERTIES, LLC  
1 NEW HAMPSHIRE AVENUE #125  
PORTSMOUTH, NH 03801  
TEL. (603) 766-4933

CIVIL ENGINEER/LAND  
SURVEYOR:

**AMBIT ENGINEERING, INC.**  
200 GRIFFIN ROAD, UNIT 3  
PORTSMOUTH, N.H. 03801  
Tel. (603) 430-9282  
Fax (603) 436-2315

ARCHITECT:

**CJ ARCHITECTS**  
233 VAUGHAN STREET  
SUITE 101  
PORTSMOUTH, NH 03801  
TEL. (603) 431-2808

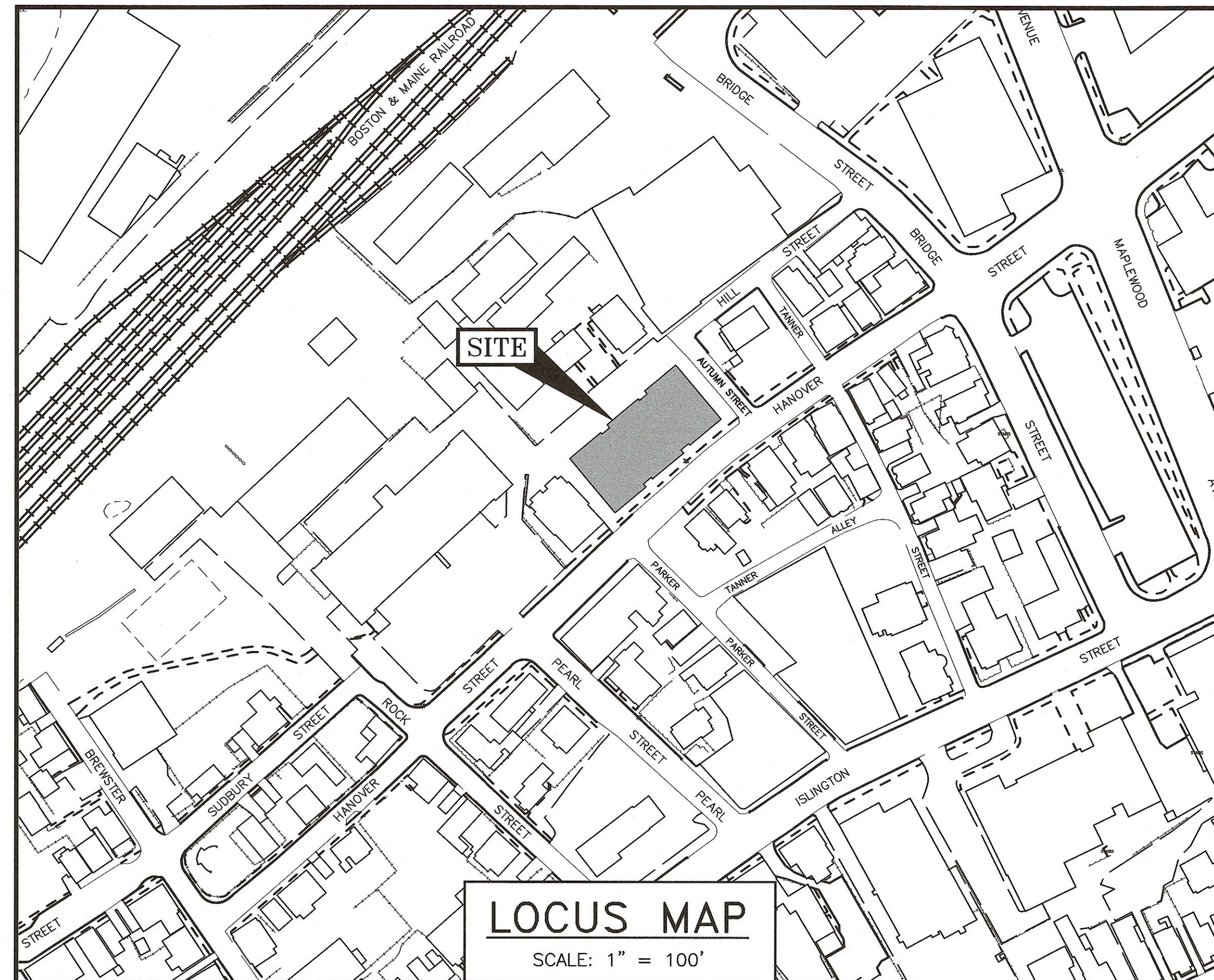
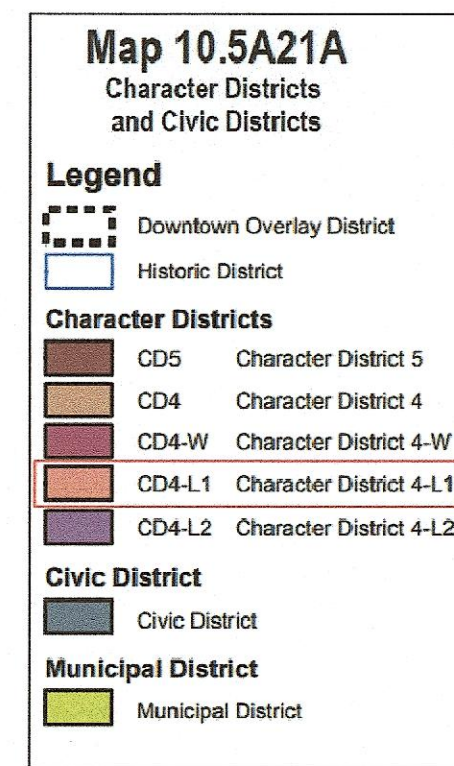
181 HILL STREET  
PORTSMOUTH, NEW HAMPSHIRE  
**DESIGN REVIEW APPLICATION PLANS**

PERMIT LIST:

PORTSMOUTH HDC: PENDING  
PORTSMOUTH ZONING BOARD: TBD  
PORTSMOUTH SITE REVIEW: TO BE FILED  
PORTSMOUTH CONDITIONAL USE PERMIT: TBD

**LEGEND:**

<u>EXISTING</u>	<u>PROPOSED</u>	
		PROPERTY LINE
		SETBACK
		SEWER PIPE
		SEWER LATERAL
		GAS LINE
		STORM DRAIN
		WATER LINE
		WATER SERVICE
		UNDERGROUND ELECTRIC
		OVERHEAD ELECTRIC/WIRES
		FOUNDATION DRAIN
		EDGE OF PAVEMENT (EP)
		CONTOUR
		SPOT ELEVATION
		UTILITY POLE
		WALL MOUNTED EXTERIOR LIGHTS
		TRANSFORMER ON CONCRETE PAD
		ELECTRIC HANDHOLD
		SHUT OFFS (WATER/GAS)
		GATE VALVE
		HYDRANT
		CATCH BASIN
		SEWER MANHOLE
		DRAIN MANHOLE
		TELEPHONE MANHOLE
		PARKING SPACE COUNT
		PARKING METER
		LANDSCAPED AREA
		TO BE DETERMINED
		CAST IRON PIPE
		COPPER PIPE
		DUCTILE IRON PIPE
		POLYVINYL CHLORIDE PIPE
		REINFORCED CONCRETE PIPE
		ASBESTOS CEMENT PIPE
		VITRIFIED CLAY PIPE
		EDGE OF PAVEMENT
		ELEVATION
		FINISHED FLOOR
		INVERT
		SLOPE FT/FT
		TEMPORARY BENCH MARK
		TYPICAL



## UTILITY CONTACTS

**ELECTRIC:**  
EVERSOURCE  
1700 LAFAYETTE ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 436-7708, Ext. 555.5678  
ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**NATURAL GAS:**  
UNITIL  
325 WEST ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 294-5144  
ATTN: DAVE BEAULIEU

**CABLE:**  
COMCAST  
155 COMMERCE WAY  
PORTSMOUTH, N.H. 03801  
Tel. (603) 679-5695 (X1037)  
ATTN: MIKE COLLINS

## INDEX OF SHEETS

<u>DWG NO.</u>	
C1	EXISTING CONDITIONS PLAN
C2	DEMOLITION PLAN
C3	SITE PLAN
C4	UTILITY PLAN
D1-D3	DETAILS
A1.0	ARCHITECTURAL PLANS

**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN

DATE \_\_\_\_\_

**SEWER & WATER:**  
PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
680 PEVERLY HILL ROAD  
PORTSMOUTH, N.H. 03801  
Tel. (603) 427-1530  
ATTN: JIM TOW

**COMMUNICATIONS:**  
FAIRPOINT COMMUNICATIONS  
JOE CONSIDINE  
1575 GREENLAND ROAD  
GREENLAND, N.H. 03840  
Tel. (603) 427-5525



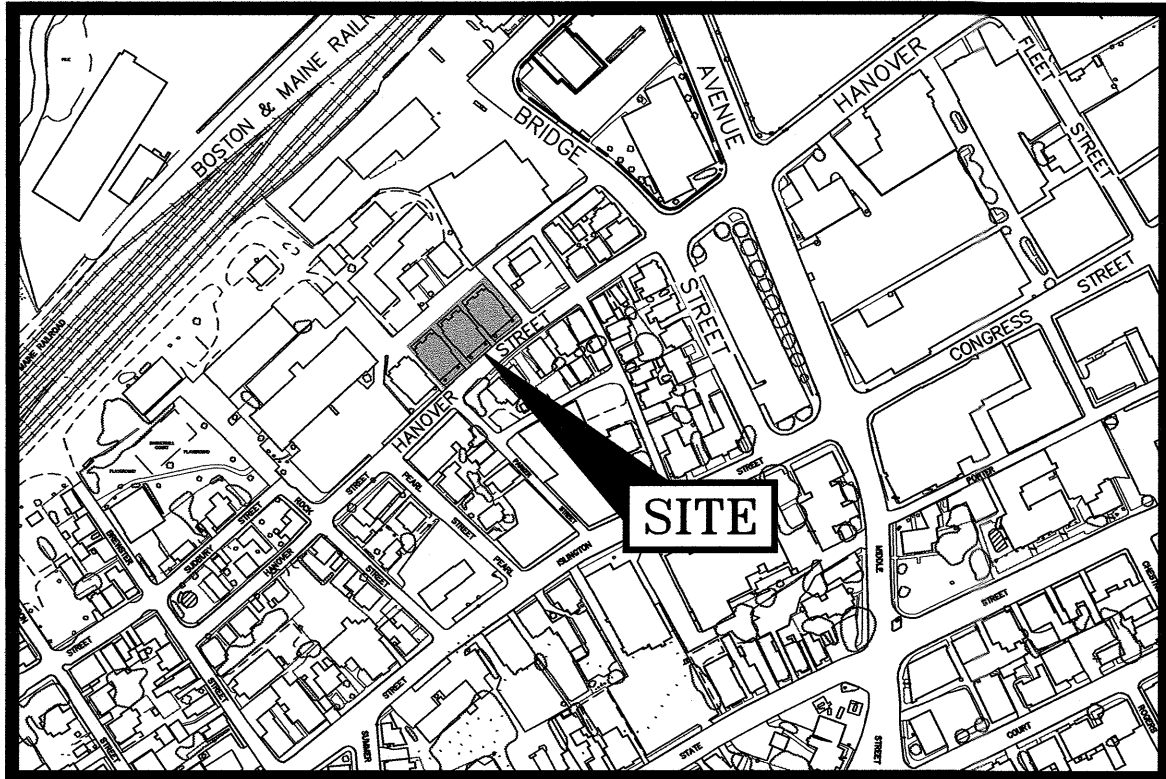
**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors

---

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

PLAN SET SUBMITTAL DATE: 29 SEPTEMBER 2021





LOCATION MAP

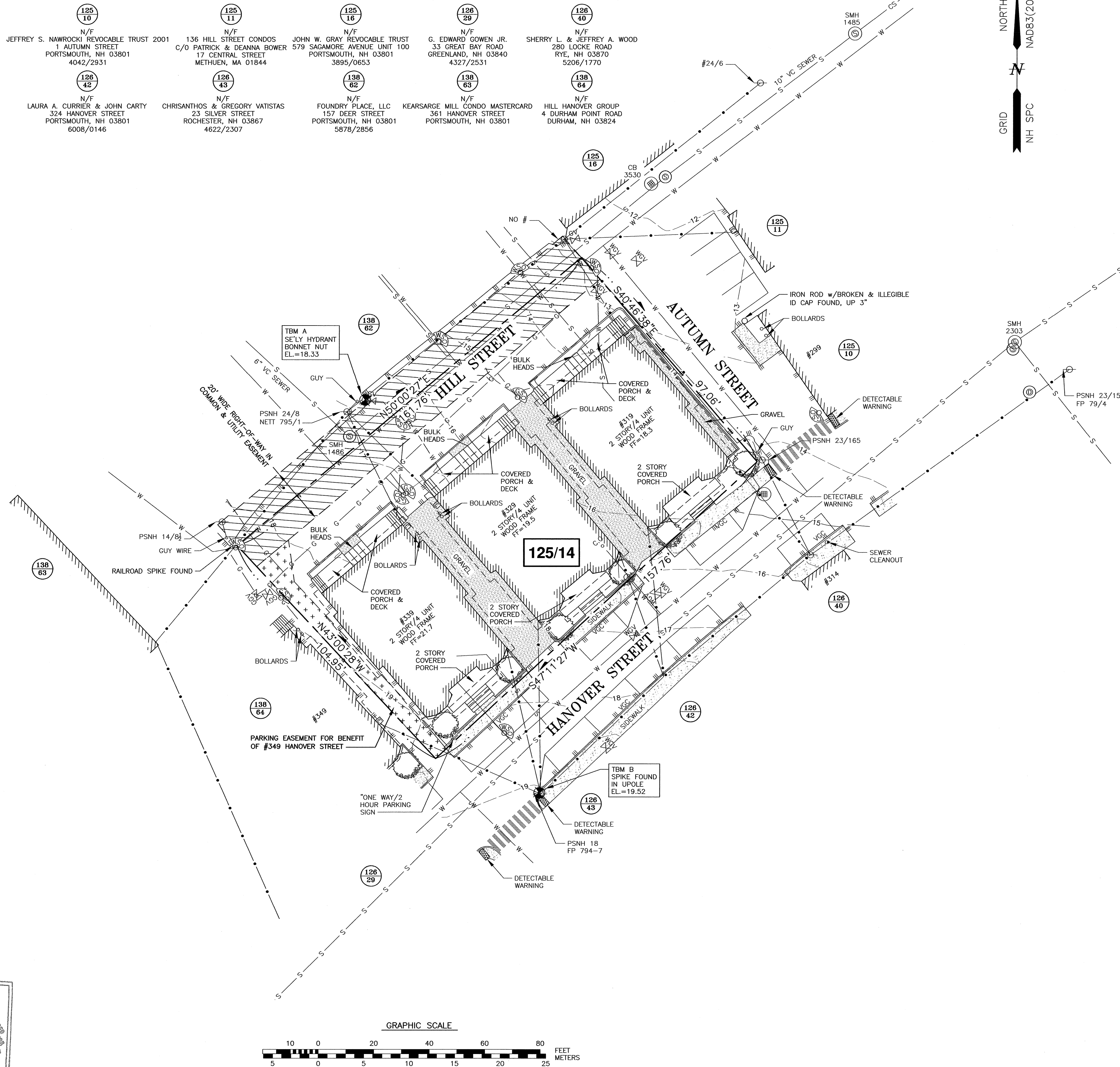
SCALE: 1" = 300'

PLAN REFERENCES:

- 1) LOT LINE RELOCATION PLAN TAX MAP 125, LOT 14 & TAX MAP 138, LOT 62, OWNERS OF RECORD: HILL HANOVER GROUP, LLC c/o JPK PROPERTIES, LLC 1 NEW HAMPSHIRE AVENUE. #125 FOR DEER STREET ASSOCIATES, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED NOVEMBER 2013, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D-38162.
- 2) UTILITY EASEMENT PLAN TAX MAP 125 - LOT 14 & TAX MAP 138 - LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES TO THE CITY OF PORTSMOUTH, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 6, 2014. R.C.R.D. PLAN D-38163.
- 3) PARKING EASEMENT PLAN TAX MAP 125 - LOT 14 & TAX MAP 138 - LOT 62, OWNERS: HILL HANOVER GROUP, LLC & DEER STREET ASSOCIATES, 159-181 HILL STREET & 317-339 HANOVER STREET, CITY OF PORTSMOUTH, COUNTY OF ROCKINGHAM, STATE OF NEW HAMPSHIRE. PREPARED BY AMBIT ENGINEERING, INC. DATED MARCH 2014, FINAL REVISION DATE MARCH 12, 2014. R.C.R.D. PLAN D-38164.

ABUTTERS:

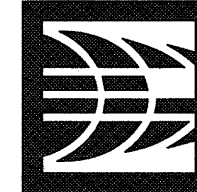
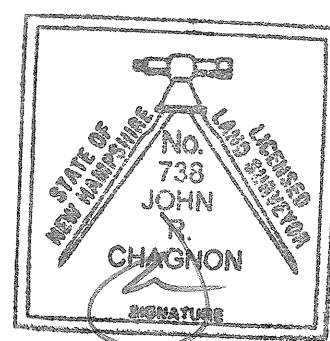
- |   |   |  |   |  |
|---|---|--|---|--|
| <p>125<br/>10<br/>N/F<br/>JEFFREY S. NAWROCKI REVOCABLE TRUST 2001<br/>1 AUTUMN STREET<br/>PORTSMOUTH, NH 03801<br/>4042/2931</p> | <p>125<br/>11<br/>N/F<br/>136 HILL STREET CONDOS<br/>C/O PATRICK &amp; DEANNA BOWER<br/>17 CENTRAL STREET<br/>METHUEN, MA 01844</p> | <p>125<br/>16<br/>N/F<br/>JOHN W. GRAY REVOCABLE TRUST<br/>579 SAGAMORE AVENUE UNIT 100<br/>PORTSMOUTH, NH 03801<br/>3895/0653</p> | <p>128<br/>29<br/>N/F<br/>G. EDWARD GOWEN JR.<br/>33 GREAT BAY ROAD<br/>GREENLAND, NH 03840<br/>4327/2531</p> | <p>128<br/>40<br/>N/F<br/>SHERRY L. &amp; JEFFREY A. WOOD<br/>280 LOCKE ROAD<br/>RYE, NH 03870<br/>5206/1770</p> |
| <p>128<br/>42<br/>N/F<br/>LAURA A. CURRIER &amp; JOHN CARTY<br/>324 HANOVER STREET<br/>PORTSMOUTH, NH 03801<br/>6008/0146</p>     | <p>128<br/>43<br/>N/F<br/>CHRISANTHOS &amp; GREGORY VATISTAS<br/>23 SILVER STREET<br/>ROCHESTER, NH 03867<br/>4622/2307</p>         | <p>138<br/>62<br/>N/F<br/>FOUNDRY PLACE, LLC<br/>157 DEER STREET<br/>PORTSMOUTH, NH 03801<br/>5878/2856</p>                        | <p>138<br/>63<br/>N/F<br/>KEARSARGE MILL CONDO MASTERCARD<br/>361 HANOVER STREET<br/>PORTSMOUTH, NH 03801</p> | <p>138<br/>64<br/>N/F<br/>HILL HANOVER GROUP<br/>4 DURHAM POINT ROAD<br/>DURHAM, NH 03824</p>                    |



"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS

DATE



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

NOTES:

- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 14.
- 2) OWNER OF RECORD:  
HILL-HANOVER GROUP, LLC  
c/o JPK PROPERTIES, LLC  
1 NEW HAMPSHIRE AVENUE, #125  
PORTSMOUTH, NH 03801  
4356/10  
R.C.R.D. PLANS D-38162, D-38163, & D-38164
- 3) PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L1 (LIMITED 1).
- 4) DIMENSIONAL REQUIREMENTS:  
CHARACTER DISTRICT 4-L1 (CD4-L1):  
MIN. LOT AREA: 3,000 S.F.  
FRONTAGE: NO REQUIREMENT  
SETBACKS:  
FRONT (MAX.) 15 FEET (PRIMARY)  
FRONT (MAX.) 12 FEET (SECONDARY)  
SIDE 5-20 FEET (MAX)  
REAR 5/10  
MAXIMUM STRUCTURE HEIGHT: 2-3 STORIES  
40 FEET  
MAXIMUM STRUCTURE COVERAGE: 60%  
MAXIMUM BUILDING FOOTPRINT: 2,500 S.F.  
MINIMUM OPEN SPACE: 25%  
MINIMUM FRONT LOT LINE BUILDOUT: 60-80%
- 5) LOT AREA: 16,127 S.F., 0.3702 ACRES.
- 6) PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
- 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON TAX MAP 125, LOT 14 IN PORTSMOUTH, NH.
- 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS NGS PID 0C0290 - B 2 1923.
- 9) PARCEL IS SUBJECT TO A 20' WIDE UTILITY EASEMENT. SEE R.C.R.D. 5518/2759.
- 10) PARCEL IS SUBJECT TO AND BENEFITED BY A 20' WIDE RIGHT-OF-WAY IN COMMON. SEE R.C.R.D. 829/130.
- 11) PARCEL BENEFITS FROM AN EASEMENT FOR PARKING. SEE R.C.R.D. 5518/2747, SEE ALSO PARTIAL RELEASE R.C.R.D. 5751/1463.

RESIDENTIAL BUILDING  
HILL-HANOVER GROUP, LLC  
181 HILL STREET  
PORTSMOUTH, N.H.

0	ISSUED FOR COMMENT	9/29/21
NO.	DESCRIPTION	DATE
REVISIONS		

SCALE 1" = 20' SEPTEMBER 2021

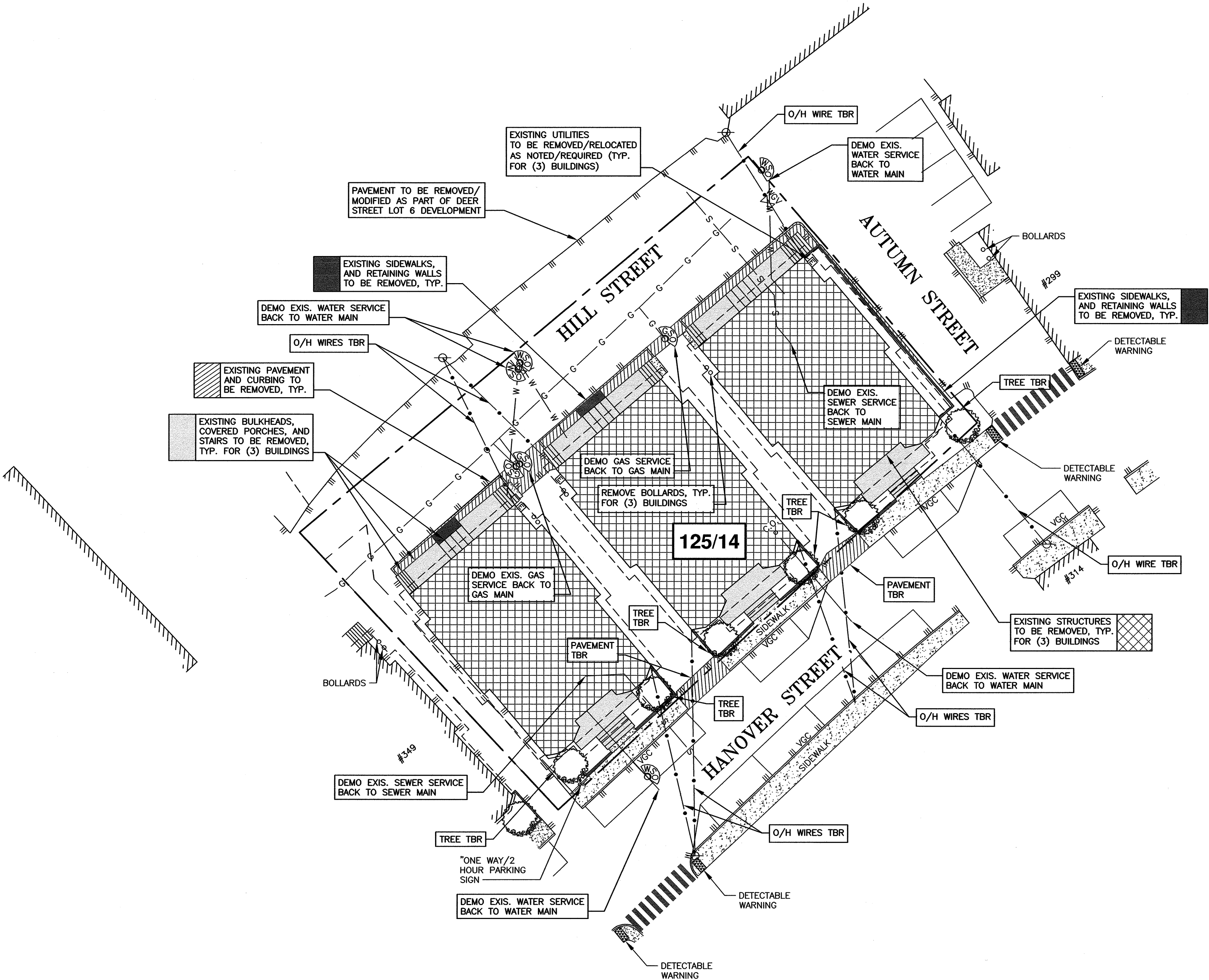
EXISTING CONDITIONS  
PLAN

C1



DEMOLITION NOTES:

- A) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE DESIGNER. IT IS THE CONTRACTORS' RESPONSIBILITY TO LOCATE UTILITIES AND ANTICIPATE CONFLICTS. CONTRACTOR SHALL REPAIR EXISTING UTILITIES DAMAGED BY THEIR WORK AND RELOCATE EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED PRIOR TO COMMENCING ANY WORK IN THE IMPACTED AREA OF THE PROJECT.
- B) ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- C) ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- D) THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- E) SAWCUT AND REMOVE PAVEMENT ONE FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
- F) IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- G) THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- H) THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE, UTILITIES, VEGETATION, PAVEMENT, AND CONTAMINATED SOIL WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN.
- I) ALL WORK WITHIN THE CITY OF PORTSMOUTH RIGHT OF WAY SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS (DPW).
- J) CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED, THE CONTRACTOR SHALL EMPLOY A NH LICENSED LAND SURVEYOR TO REPLACE THEM.
- K) PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS WITHIN CONSTRUCTION LIMITS AND MAINTAIN FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE HIGH FLOW SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF WARRANTED OR FABRIC BECOMES CLOGGED. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
- L) THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- M) ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH NHDES REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS.



NORTH  
NAD83(2011)  
GRD  
NH SPC



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

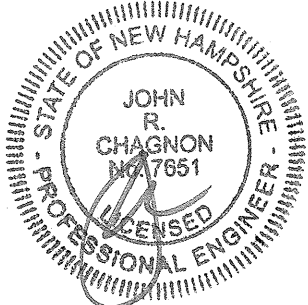
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE 'NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) COORDINATE ACCESS IN STREET/ROW AREAS ADJACENT TO DEMOLITION TO INSURE SAFE PASSAGE. UTILIZE DETOURS IF NEEDED.
- 5) EXISTING UTILITIES TO BE ABANDONED SHALL BE REMOVED TO THE UTILITY MAIN AND CAPPED PER THE UTILITY COMPANY REQUIREMENT.

**RESIDENTIAL BUILDING  
HILL-HANOVER GROUP, LLC  
181 HILL STREET  
PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	9/29/21
NO.	DESCRIPTION	DATE

REVISIONS



SCALE 1" = 20' SEPTEMBER 2021

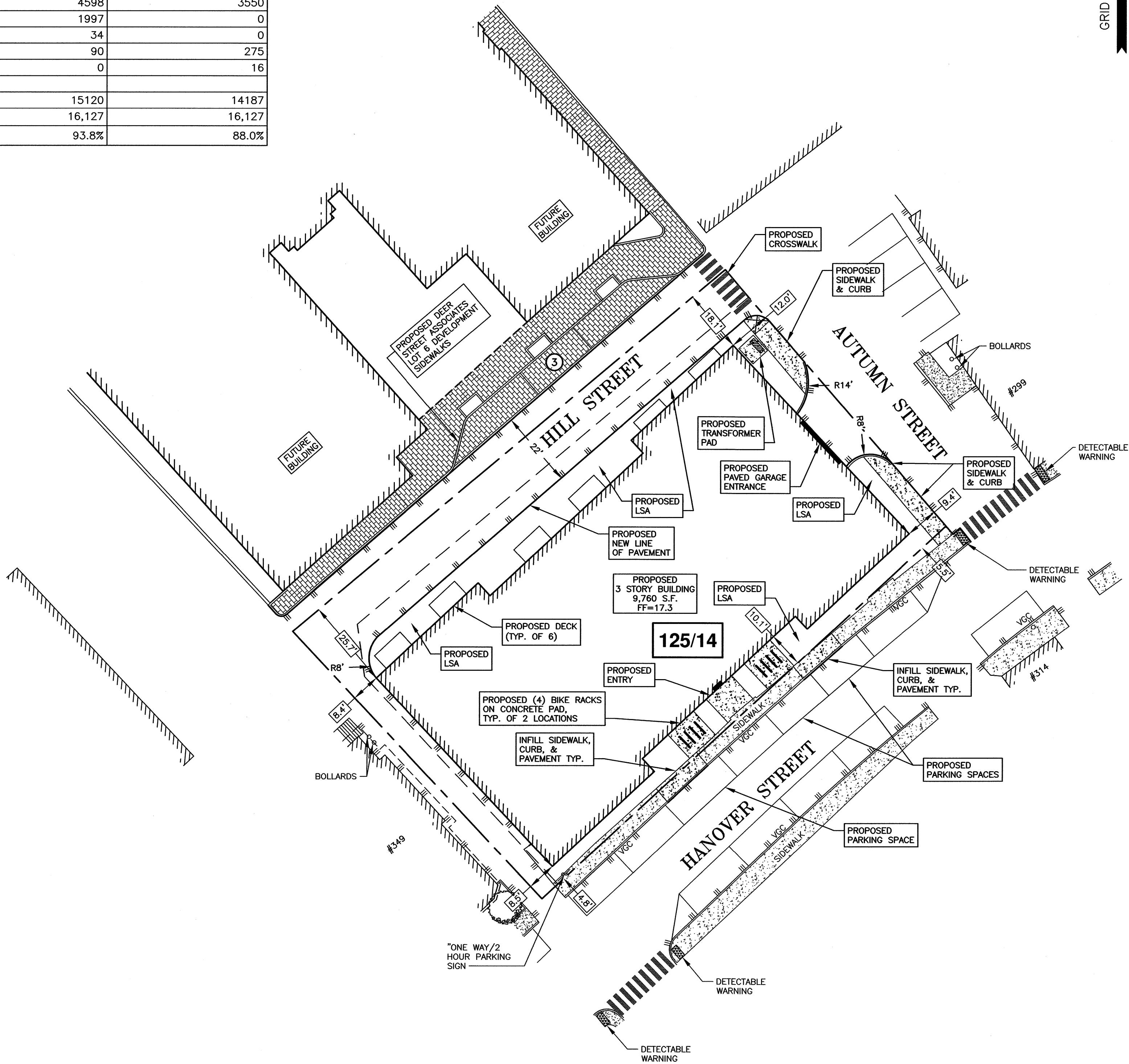
**DEMOLITION  
PLAN**

**C2**



ZONING DEVELOPMENT STANDARD			
CD4-L1: CHARACTER DISTRICT 4-L1			
BUILDING PLACEMENT (PRINCIPAL):			
	181 HILL STREET		
	REQUIRED	EXISTING	PROPOSED
MAX. PRINCIPLE FRONT YARD:	15 FEET	10.0'	10.1'
MAX. SECONDARY FRONT YARD:	12 FEET	5.0'	12.0'
MIN. SIDE YARD:	5 FEET MIN. TO 20' MAX.	7'	8.4'
MIN. REAR YARD:	GREATER OF 5 FEET FROM REAR LOT LINE OR 10 FEET FROM CENTERLINE OF ALLEY	26.0'	18.1'
FRONT LOT LINE BUILDOUT:	60% MIN. TO 80% MAX.	76%	89%
BUILDING TYPES:			
ALLOWED BUILDING TYPES: HOUSE, DUPLEX, ROWHOUSE, APARTMENT BUILDING, LIVE/WORK BUILDING, PAIRED HOUSE, MIXED-USE BUILDING, FLEX SPACE BUILDING, COMMUNITY BUILDING.			
ALLOWED FACADE TYPE: PORCH, STOOP, FORECOURT, RECESSED-ENTRY, DOORYARD.			
BUILDING FORM:			
	REQUIRED	EXISTING	PROPOSED
MAX. STRUCTURE HEIGHT:	40 FEET	-	40'
MAX. FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 INCHES	38"	18"
MIN. GROUND STORY HEIGHT:	13 FEET	-	TBD
MIN. SECOND STORY HEIGHT:	N/A	-	TBD
FACADE GLAZING (WINDOW/PERIMETER):	70% SHOP 20-40% OTHER	-	TBD
ROOF TYPE ALLOWED: FLAT, GABLE, HIP, GAMBREL, MANSARD			
LOT OCCUPATION:			
	REQUIRED	EXISTING	PROPOSED
MAX. BUILDING BLOCK:	80 FEET	-	140.0'
MAX. FACADE MOD. LENGTH:	50 FEET	-	60.0'
MAX. BUILDING COVERAGE:	60%	43.4%	60%
MAX. BUILDING FOOTPRINT:	2,500 S.F.	2,342 S.F.	9,760 S.F.
MIN. LOT AREA:	3,000 S.F.	16,127 S.F.	16,127 S.F.
MIN. LOT AREA/DWELLING (LOT AREA/# OF UNITS):	3,000 S.F.	-	1,344 S.F.
MIN. OPEN SPACE :	25%	6.2%	13.7%

IMPERVIOUS SURFACE AREAS (TO PROPERTY LINE)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
BUILDINGS	7,007	9,760
PORCHES/DECKS	863	264
STAIRS	249	0
CONCRETE	282	322
PAVEMENT	4598	3550
GRAVEL	1997	0
RETAINING WALL	34	0
SIDEWALK	90	275
CURBING	0	16
TOTAL	15120	14187
LOT SIZE	16,127	16,127
% LOT COVERAGE	93.8%	88.0%




**PORTSMOUTH APPROVAL CONDITIONS NOTE:**  
ALL CONDITIONS ON THIS PLAN SET SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE CITY OF PORTSMOUTH SITE PLAN REVIEW REGULATIONS.

A. THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.

B. ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_



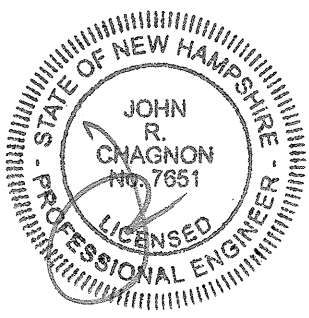
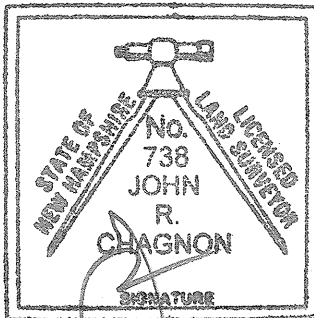
**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

- NOTES:**
- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSORS MAP 125 AS LOT 14.
  - OWNER OF RECORD:  
HILL-HANOVER GROUP, LLC  
c/o JPK PROPERTIES, LLC  
1 NEW HAMPSHIRE AVENUE, #125  
PORTSMOUTH, NH 03801  
4356/10  
R.C.R.D PLANS D-38162, D-38163, & D-38164
  - PARCEL IS LOCATED IN THE CHARACTER DISTRICT 4-L1 (LIMITED 1).
  - DIMENSIONAL REQUIREMENTS:  
CHARACTER DISTRICT 4-L1 (CD4-L1):  
MIN. LOT AREA: 3,000 S.F.  
FRONTAGE: NO REQUIREMENT  
SETBACKS:  
FRONT (MAX.) 15 FEET (PRIMARY)  
FRONT (MAX.) 12 FEET (SECONDARY)  
SIDE 5-20 FEET (MAX)  
REAR 5/10  
MAXIMUM STRUCTURE HEIGHT: 2-3 STORIES  
40 FEET  
MAXIMUM STRUCTURE COVERAGE: 60%  
MAXIMUM BUILDING FOOTPRINT: 2,500 S.F.  
MINIMUM OPEN SPACE: 25%  
MINIMUM FRONT LOT LINE BUILDOUT: 60-80%
  - LOT AREA: 16,127 S.F., 0.3702 ACRES.
  - PARCEL IS NOT IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 33015C0259F, EFFECTIVE JANUARY 29, 2021
  - THE PURPOSE OF THIS PLAN IS A PROPOSED REPLACEMENT STRUCTURE ON TAX MAP 125, LOT 14 IN PORTSMOUTH, NH.

**RESIDENTIAL BUILDING  
HILL-HANOVER GROUP, LLC  
181 HILL STREET  
PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	9/29/21
NO.	DESCRIPTION	DATE

REVISIONS



SCALE 1" = 20' SEPTEMBER 2021

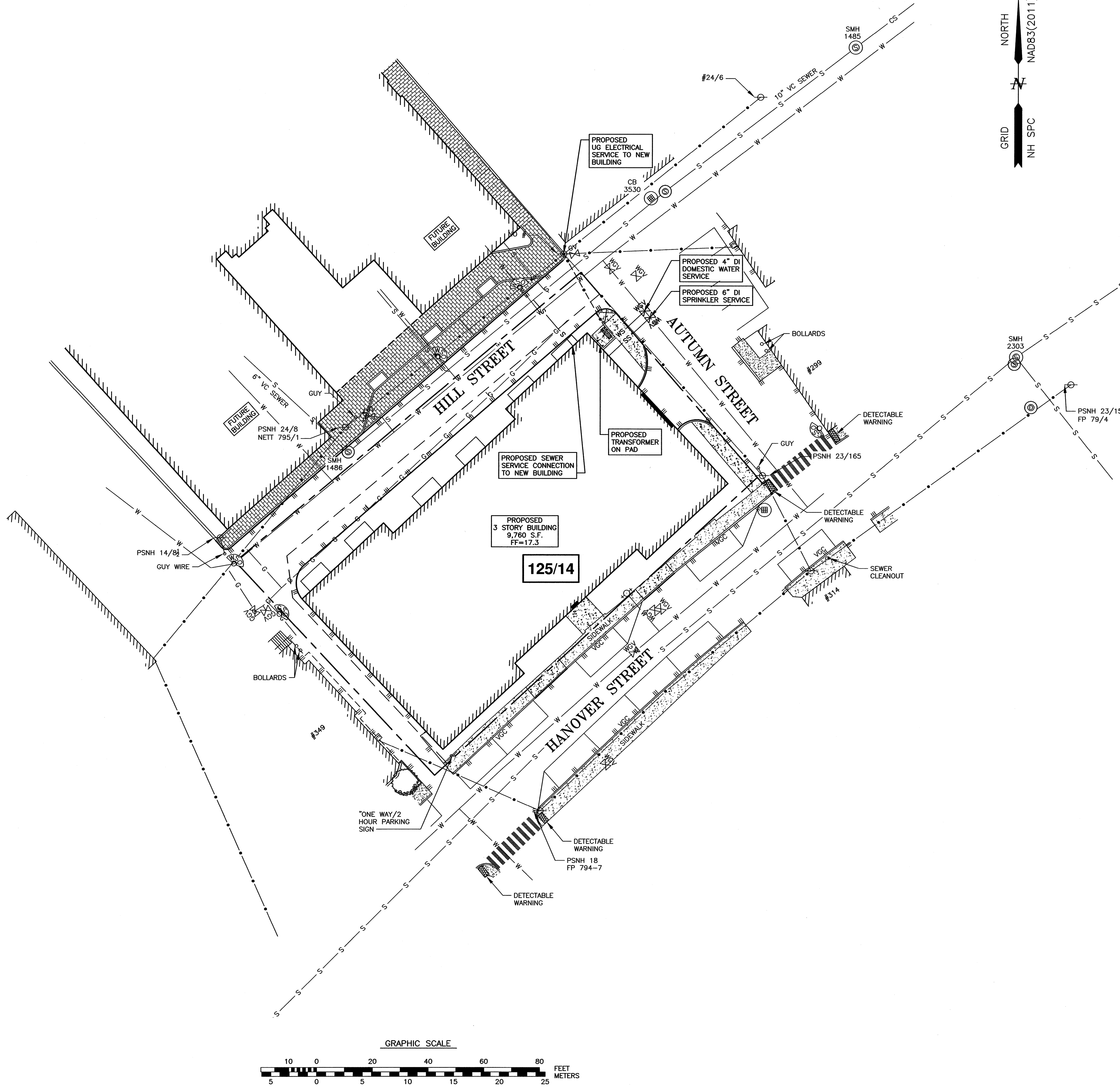
SITE  
PLAN

C3



UTILITY NOTES:

- 1) SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- 2) COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY.
- 3) CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- 4) ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, POLYWRAPPED, CEMENT LINED DUCTILE IRON PIPE.
- 5) ALL WATERMAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION AND BEFORE ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORTSMOUTH.
- 6) ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- 7) ALL WORK WITHIN CITY R.O.W. SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- 8) CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJUTING PROPERTIES THROUGHOUT CONSTRUCTION.
- 9) ANY CONNECTION TO EXISTING WATERMAIN SHALL BE CONSTRUCTED BY THE CITY OF PORTSMOUTH.
- 10) EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- 11) ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- 12) THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH BUILDING DRAWINGS AND UTILITY COMPANIES.
- 13) ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- 14) ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- 15) THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATED TO THE OWNER PRIOR TO THE COMPLETION OF PROJECT.
- 16) THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED IN THESE DRAWING TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- 17) CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- 18) A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS WATER ABOVE SEWER.
- 19) SAWCUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- 20) GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- 21) COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- 22) ALL SEWER PIPES WITH LESS THAN 6' COVER SHALL BE INSULATED.



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

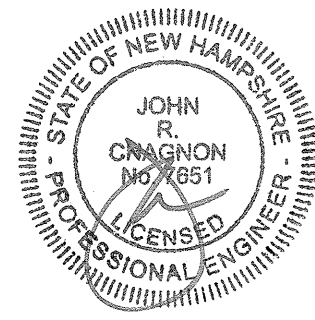
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG-SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) INSTALL CATCH BASIN INLET PROTECTION ON ALL EXISTING AND PROPOSED CATCH BASINS (IN THE PROJECT VICINITY) UNTIL CONSTRUCTION IS COMPLETED AND THE SITE IS STABILIZED.
- 5) ALL WATER MAIN AND SANITARY SEWER WORK SHALL MEET THE STANDARDS OF THE NEW HAMPSHIRE STATE PLUMBING CODE AND CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS.
- 6) UTILITY AS-BUILTS SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS UPON COMPLETION OF THE PROJECT.
- 7) EVERSOURCE WORK ORDER #XXXXXX
- 8) PROPOSED SEWER FLOW:  
12 UNITS X 170 GPD/UNITS = 2,040 GPD  
TOTAL FLOW: 2,040 GPD
- 9) THE APPLICANT SHALL HAVE A COMMUNICATIONS SITE SURVEY CONDUCTED BY A MOTOROLA COMMUNICATIONS CARRIER APPROVED BY THE PORTSMOUTH'S COMMUNICATIONS DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE PORTSMOUTH POLICE AND FIRE RADIO SYSTEMS CONFIGURATION. IF THE SITE SURVEY INDICATES THAT IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE PROPERTY OWNER WILL BE REQUIRED TO MAINTAIN ANY INSTALLED EQUIPMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES THAT EQUIPMENT IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR PORTSMOUTH. THE SURVEY SHALL BE COMPLETED AND ANY REQUIRED EQUIPMENT INSTALLED, TESTED, AND ACCEPTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 10) FINAL CONDUIT LOCATION SUBJECT TO CONFIRMATION FROM UTILITY PROVIDERS.
- 11) EXISTING UTILITIES TO BE ABANDONED SHALL BE REMOVED TO THE UTILITY MAIN AND CAPPED PER THE UTILITY COMPANY REQUIREMENT.

**RESIDENTIAL BUILDING**  
**HILL-HANOVER GROUP, LLC**  
**181 HILL STREET**  
**PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	9/29/21
NO.	DESCRIPTION	DATE

REVISIONS



SCALE 1" = 20' SEPTEMBER 2021

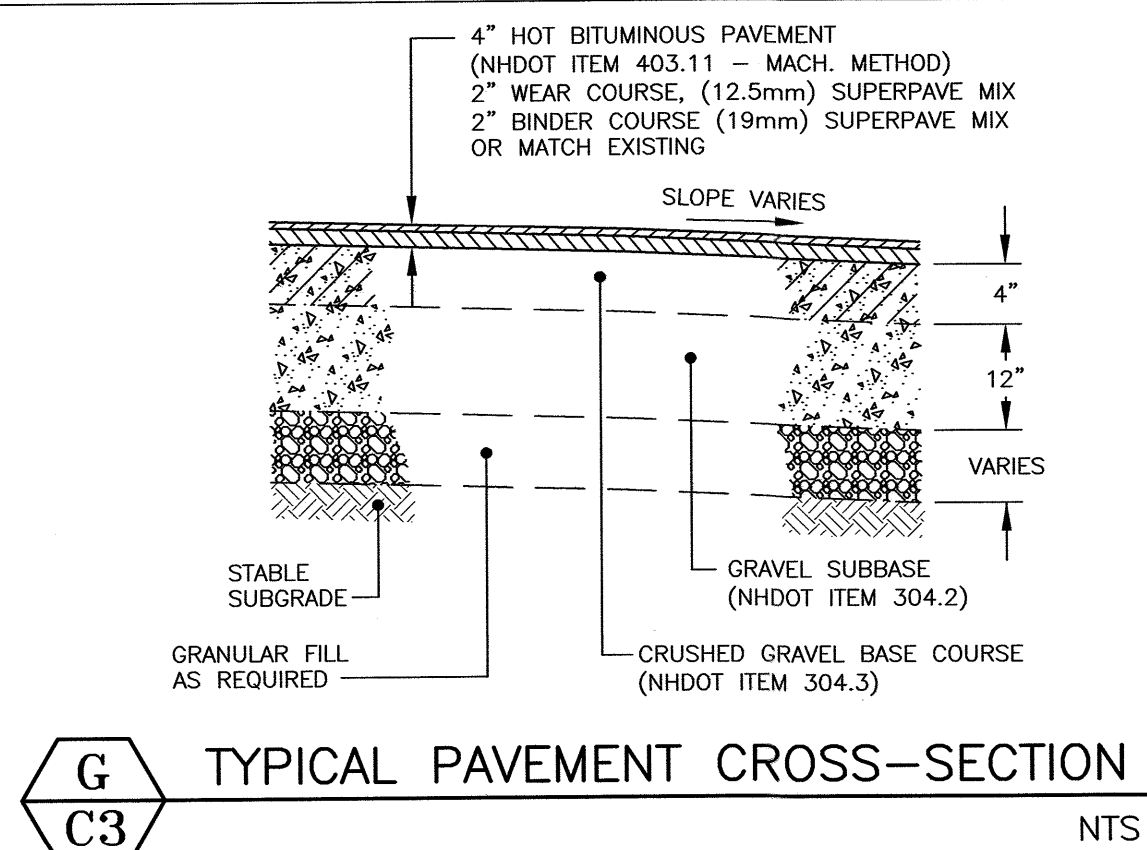
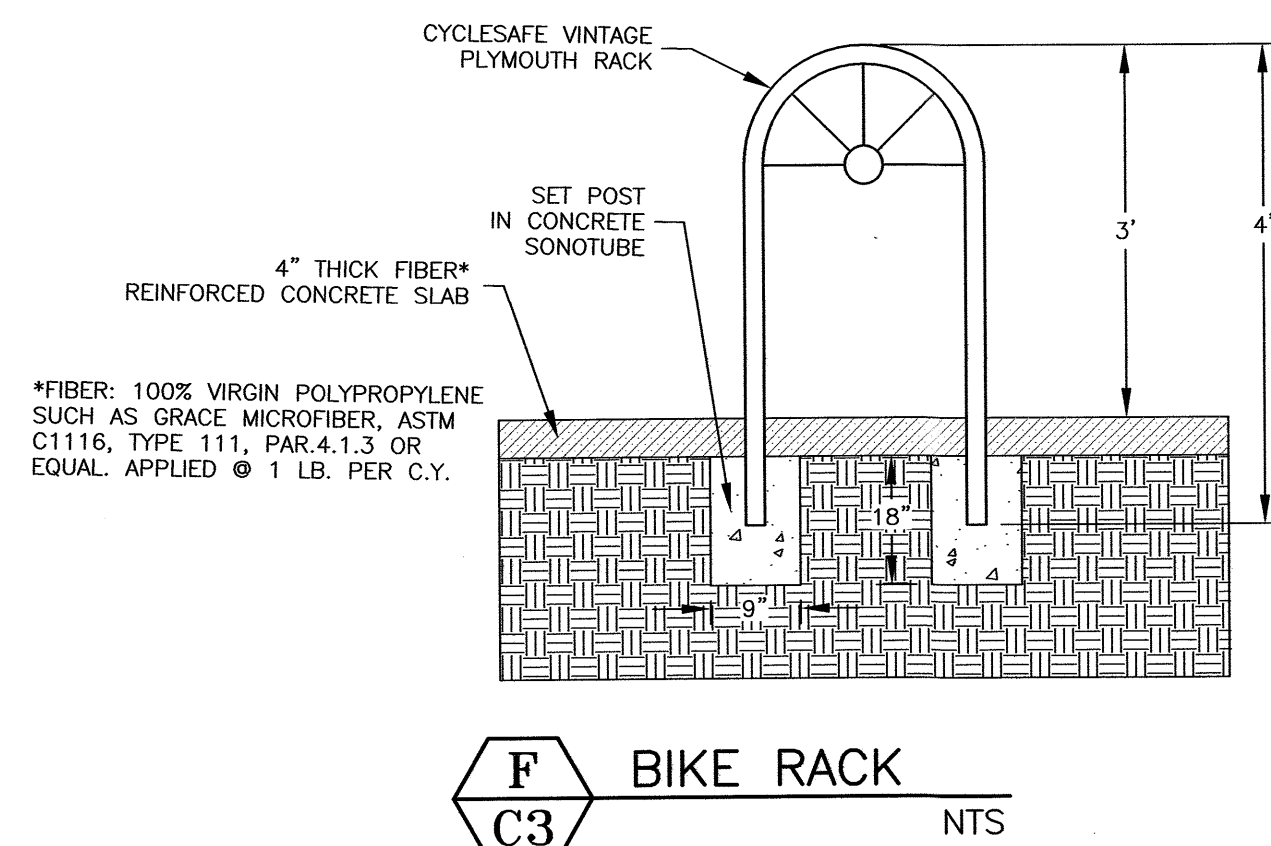
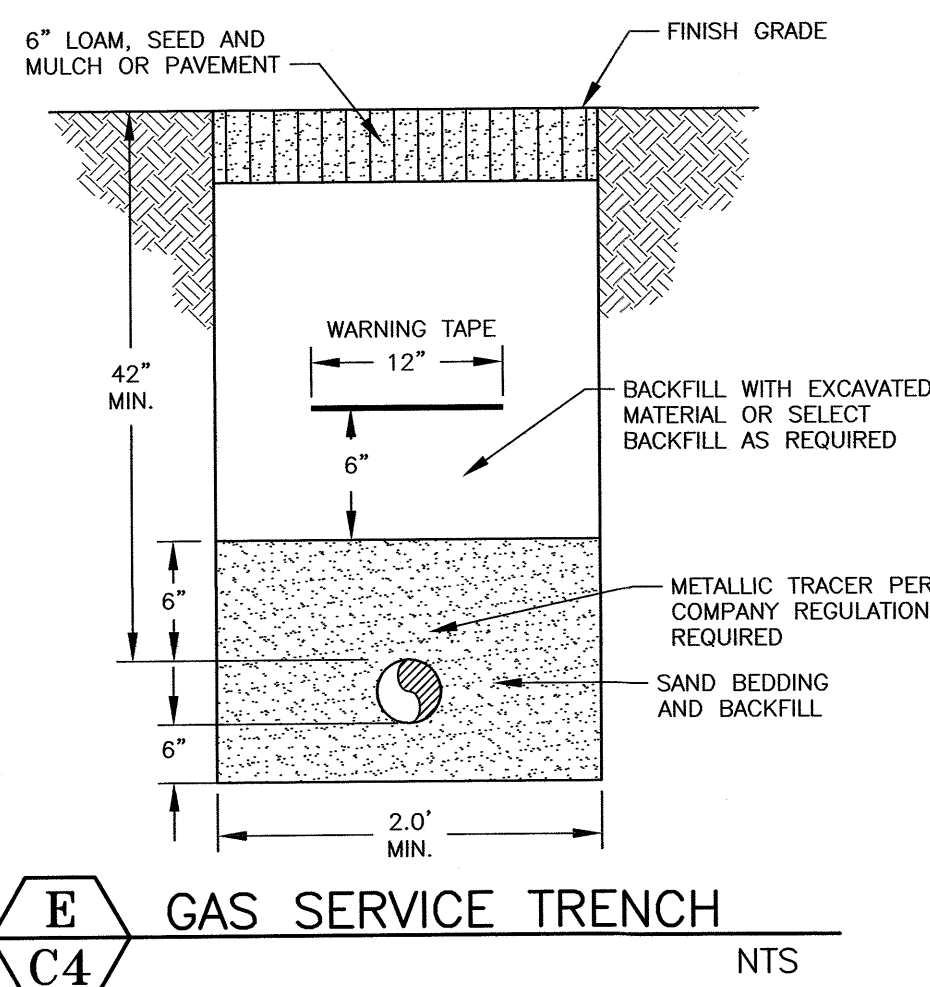
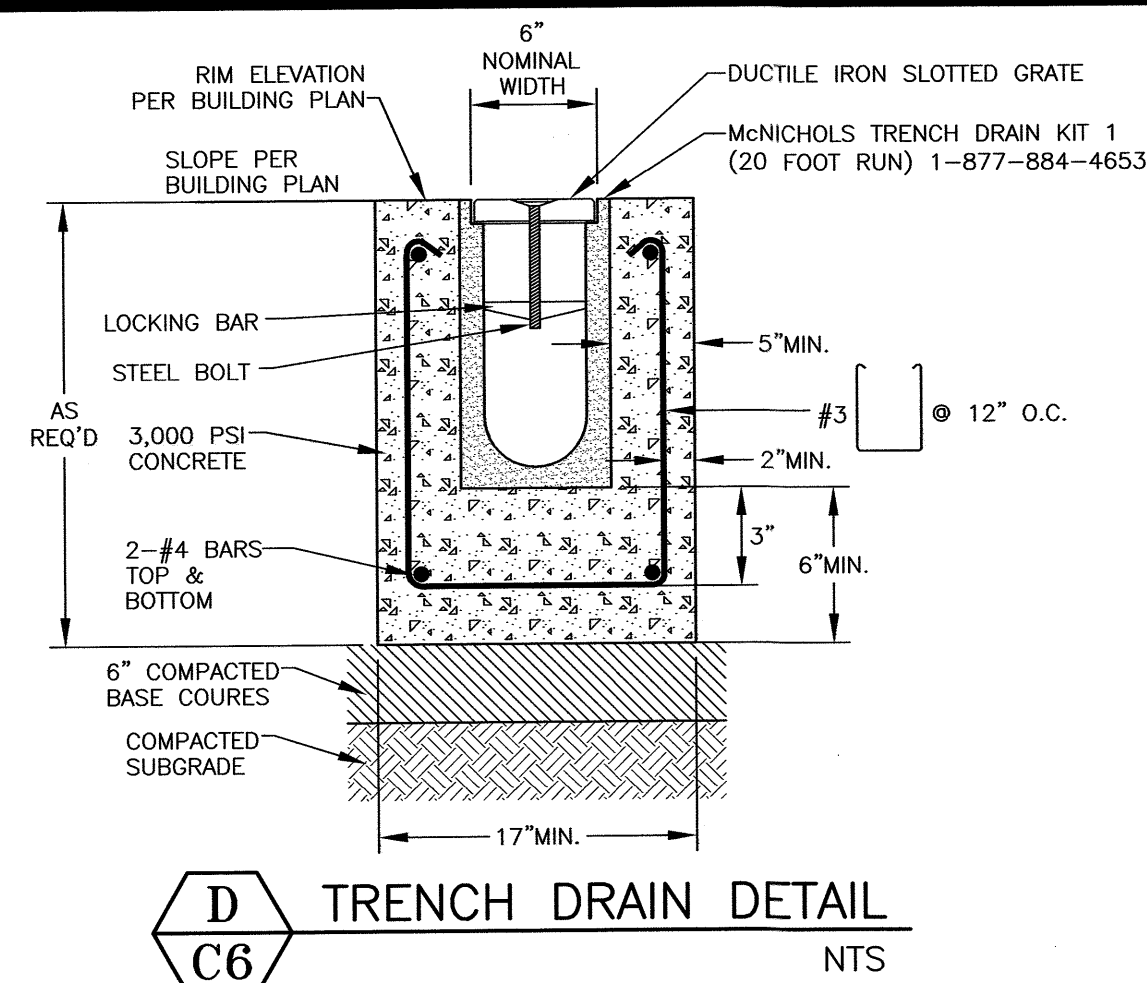
UTILITY  
PLAN

C4



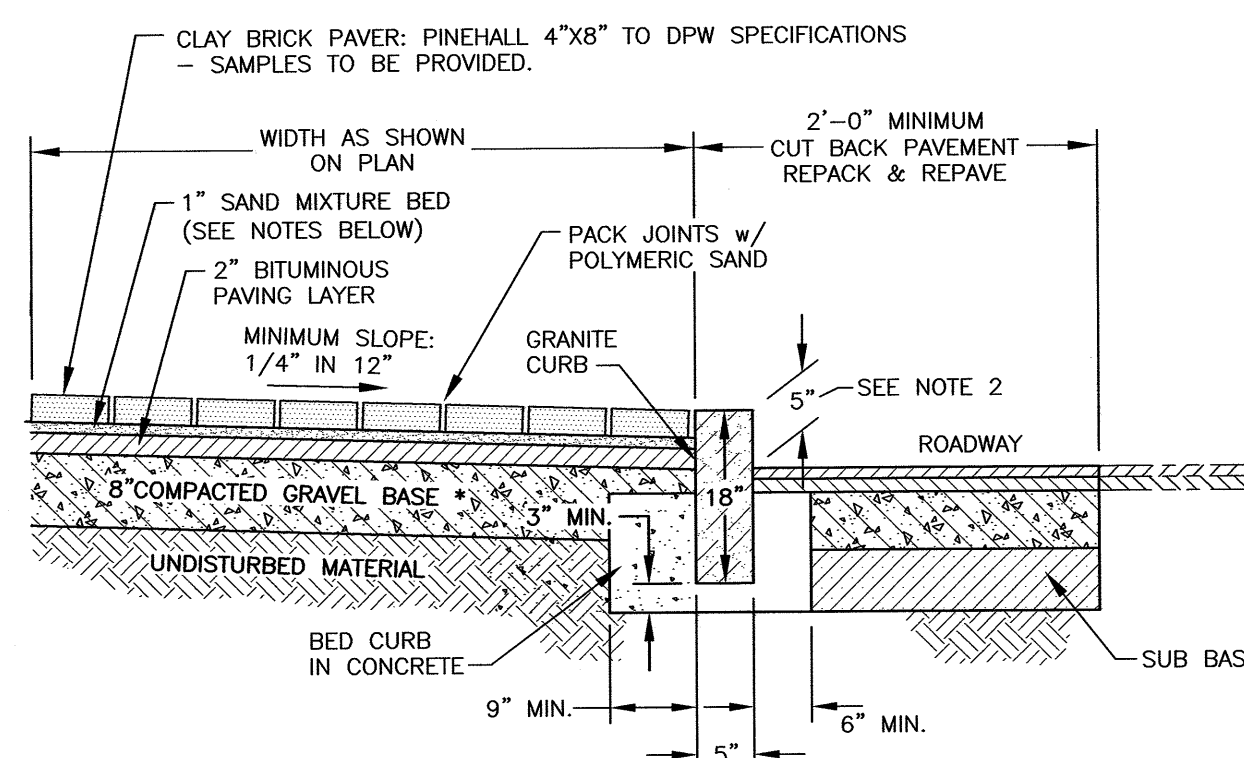






CONSTRUCTION NOTE:

EXISTING GRANITE CURB  
DISTURBED BY CONSTRUCTION  
SHALL BE REUSED AND ANY  
MISSING CURB SHALL BE  
REPLACED WITH NEW CURB  
MATCHING EXISTING CURB  
SIZE. NO CURB LESS THAN  
3' IN LENGTH WILL BE  
ALLOWED.



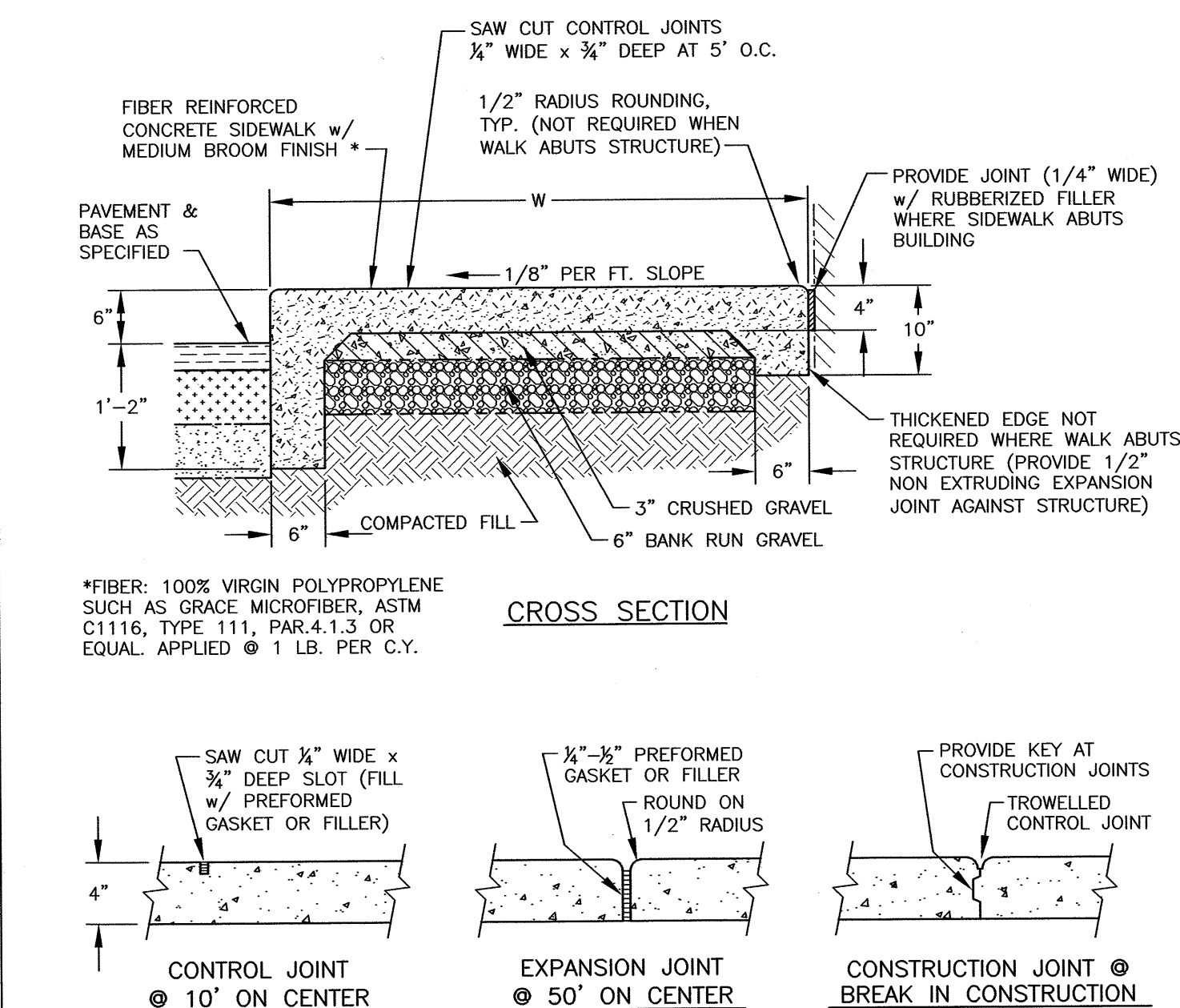
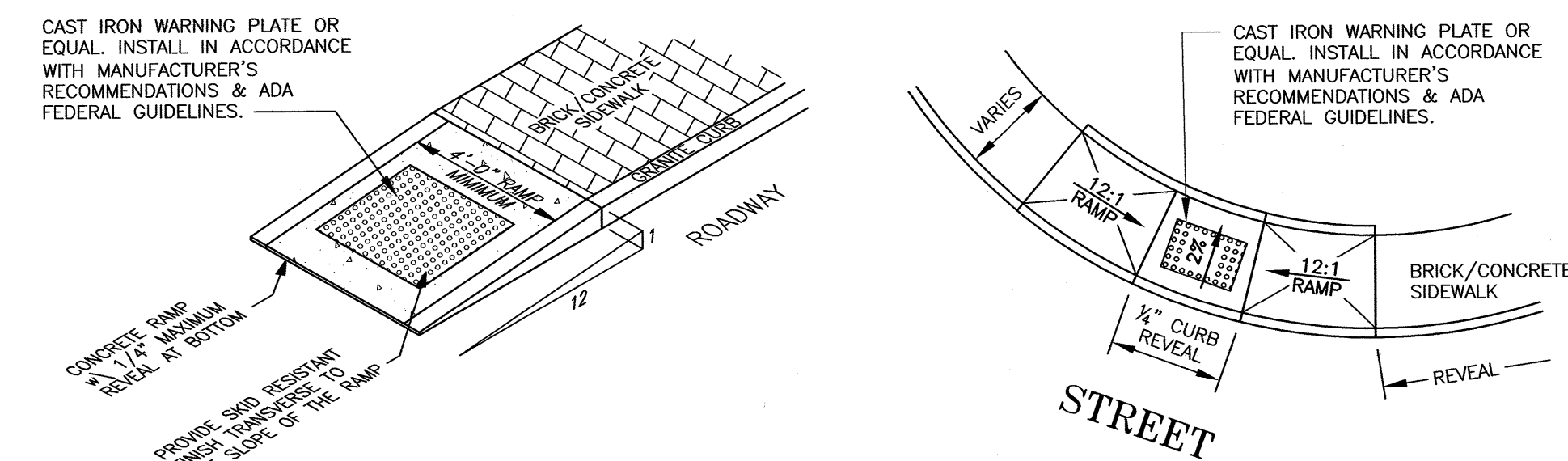
## BRICK PAVEMENT NOTES

## SCOPE OF WORK:

- 1) THE WORK SHALL CONSIST OF CONSTRUCTING/RECONSTRUCTING THE SUB-BASE AND CONSTRUCTING A NEW BRICK SIDEWALK AS DIRECTED IN THE FIELD BY THE ENGINEER.
- 2) REVEAL SHALL BE 5" (COORDINATE WITH PORTSMOUTH DPW).

METHODS OF CONSTRUCTION:

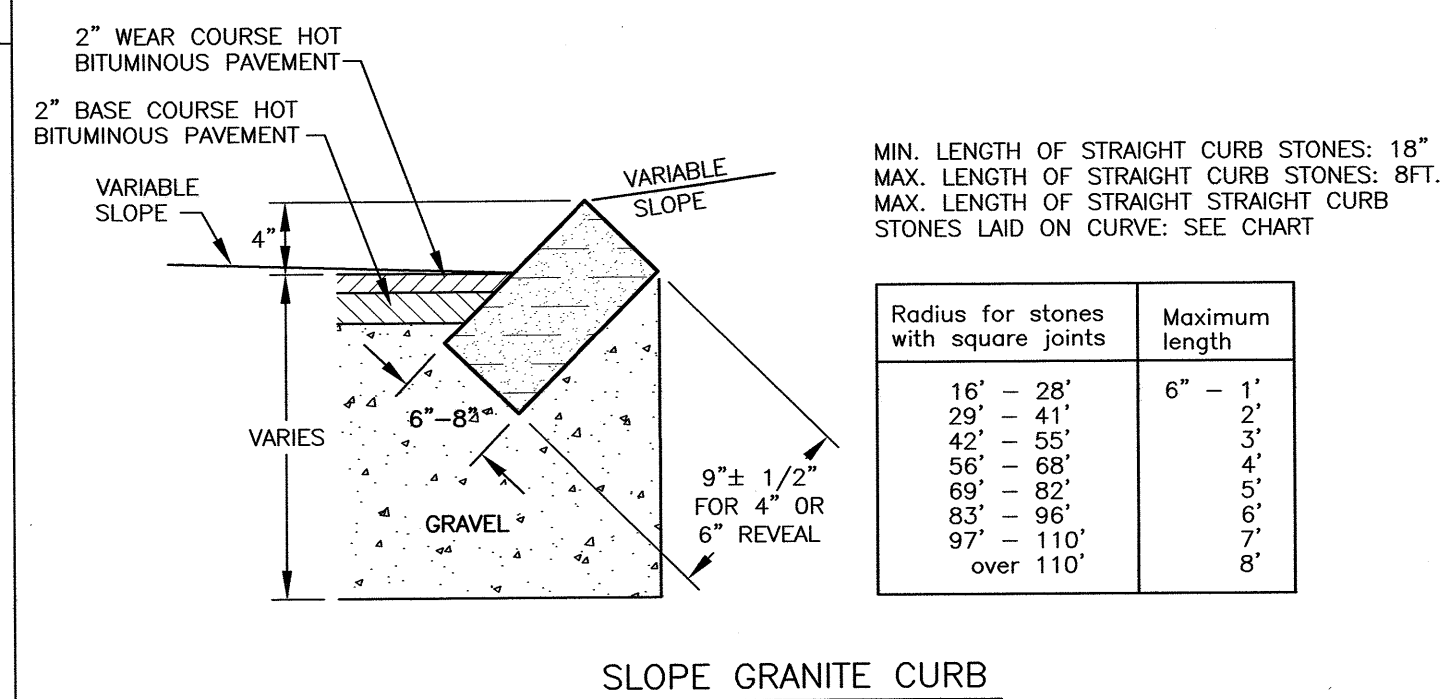
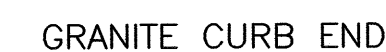
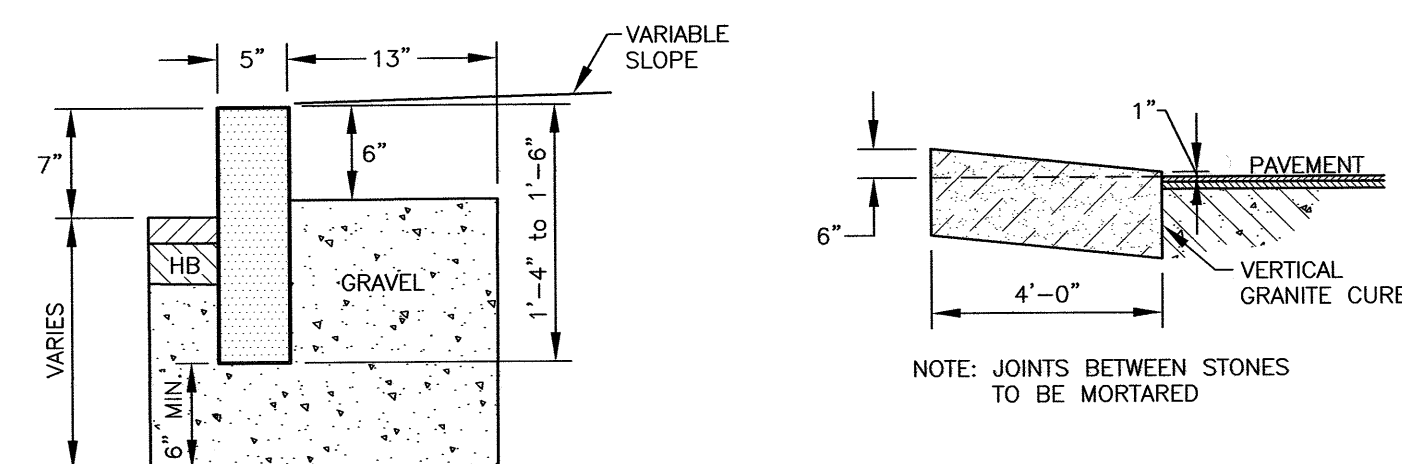
- A) ALL LABOR AND MATERIALS SHALL CONFORM TO THE STATE OF NEW HAMPSHIRE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 608, AND CITY OF PORTSMOUTH SPECIFICATIONS FOR NEW BRICK SIDEWALK, SECTION 6.
- B) ALL BRICKS SHALL CONFORM TO THE REQUIREMENTS OF ASTM STANDARD SPECIFICATIONS FOR BUILDING BRICKS: CLASS SX, TYPE 1, APPLICATION PX. THE BRICKS SHALL BE NO. 1, WIRE CUT TYPE FOR PAVING, WITH A COMPRESSIVE STRENGTH OF NOT LESS THAN 6,000 POUNDS PER SQUARE INCH. THE BRICKS SHALL NOT BE CORED OR HAVE FROGS AND SHALL BE OF A STANDARD SIZE (2.25" X 4 X 8").
- C) EXCAVATION FOR SIDEWALKS SHALL BE AT A DEPTH OF 10 INCHES BELOW FINISH GRADE. IN AREAS NOT BUTTING CURBING OR BUILDINGS, THE EXCAVATION SHALL BE 6 INCHES WIDER THAN THE FINISHED SIDEWALK WIDTH. AT ALL DRIVE CROSSINGS, THE DEPTH OF EXCAVATION SHALL BE INCREASED ACCORDINGLY. THE CONTRACTOR SHALL PROVIDE NEAT AND SQUARE CUTTING OF EXISTING ASPHALT ROAD SURFACE AS NEEDED. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT THE CONTRACTOR'S OWN EXPENSE.
- D) THE BASE MATERIAL SHALL CONSIST OF A MIXTURE OF STONES OR ROCK FRAGMENTS AND PARTICLES WITH 100% PASSING THE 3 INCH SIEVE, 85% TO 100% PASSING THE 2 INCH SIEVE, 55% TO 85% PASSING THE 1 INCH SIEVE, AND 27% TO 52% PASSING THE NO. 4 SIEVE. AT LEAST 50% OF THE MATERIALS RETAINED ON THE 1 INCH SIEVE SHALL HAVE A FRACTURED FACE. THE BASE MATERIAL SHALL BE THOROUGHLY COMPACTED TO THE DEPTH SPECIFIED OR DIRECTED. IN THE WAY OF ALL DRIVE CROSSINGS THE BASE WILL BE INCREASED TO A COMPACTED DEPTH OF 12 INCHES. GRAVEL REQUIREMENTS FOR RECONSTRUCTION WILL BE AS DIRECTED, BASED ON SITE CONDITIONS. THE WORK INCLUDES BACKFILL UP ANY AND ALL CURB BEING INSTALLED BY OTHERS ON BOTH SIDES.
- E) THE CLAY BRICK PAVERS SHALL BE LAID IN A 1 INCH BED OF A SAND MIXTURE COMPRISED OF: 3 PARTS SAND MIXED WITH 1 PART PORTLAND CEMENT.
- F) THE CONTRACTOR SHALL LAY THE BRICKS SO THAT APPROXIMATELY 4.5 BRICKS SHALL COVER ONE SQUARE FOOT.
- G) THE SIDEWALK SHALL FIGHT TOWARDS THE STREET AS SHOWN ON THE GRADING PLAN.
- H) IN AREAS WHERE THE FRONT OF THE BRICK SIDEWALK IS NOT ADJACENT TO GRANITE CURBING, THE CONTRACTOR SHALL INSTALL EDGING TO HOLD THE BRICKS IN PLACE. SUCH EDGING SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- I) THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE BRICKS FOR APPROVAL BY THE CITY BEFORE BRICKS ARE INSTALLED.



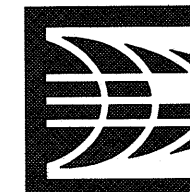
Radius	Max. length
22' – 21'	3'
22' – 28'	4'
29' – 35'	5'
36' – 42'	6'
43' – 49'	7'
50' – 56'	8'
57' – 60'	9'
over 60'	10'

MIN. LENGTH OF CURB STONES 3FT.  
MAX. LENGTH OF CURB STONES 10FT.  
MAX. LENGTH OF STRAIGHT CURB STONES  
LAID ON CURVES SEE CHART

NOTE: ADJOINING STONES SHALL HAVE  
THE SAME OR APPROXIMATE LENGTH.



Radius for stones with square joints	Maximum length
16' - 28'	6" - 1'
29' - 41'	2'
42' - 55'	3'
56' - 68'	4'
69' - 82'	5'
83' - 96'	6'
97' - 110'	7'
over 110'	8'



**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors

200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

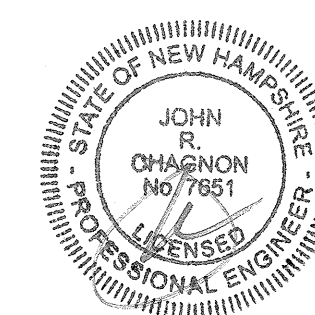
NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).

**RESIDENTIAL BUILDING  
HILL-HANOVER GROUP, LLC  
181 HILL STREET  
PORTSMOUTH, N.H.**

0	ISSUED FOR COMMENT	9/29/21
NO.	DESCRIPTION	DATE

## REVISIONS



SCALE: AS SHOWN      SEPTEMBER 2020

## DETAILS

D2



NTS







1 FRONT ELEVATION  
1/8" = 1'-0"



2 BACK ELEVATION  
1/8" = 1'-0"



3 RIGHT ELEVATION  
1/8" = 1'-0"



4 LEFT ELEVATION  
1/8" = 1'-0"

NOT FOR CONSTRUCTION

REVISIONS:	

HILL-HANOVER GROUP, LLC.  
181 HILL STREET  
PORTSMOUTH, NEW HAMPSHIRE 03801



BUILDING  
ELEVATIONS

DATE:	10/06/21
DRAWN BY:	RLD
APPROVED BY:	CJG
SCALE:	1/8" = 1'-0"
JOB NUMBER:	22009

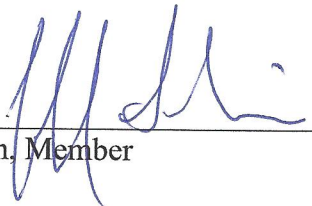
A1.0



AUTHORIZATION  
181 Hill Street, Portsmouth, New Hampshire

I, Jeff Sabin of JPK Properties, LLC - Owners Manager for Hill Hanover Group, LLC, (Owner), hereby authorize representatives of Ambit Engineering, Inc. and CJ Architects to represent our interests before land use boards of the City of Portsmouth and any other State and / or federal agency necessary to obtain permits from for the above referenced property, and to submit any and all applications and materials related thereto on our behalf.

Date: 10/7/21

  
\_\_\_\_\_  
Jeff Sabin, Member