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HIGH ST., PORTSMOUTH, NH.**

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**PROPOSED REMODEL, ADDITION AND CHANGES TO #127 & #137 HIGH ST.,
PORTSMOUTH, NH. 12.11.2017.**

NARRATIVE

Tax card information suggests that #127 was built (or placed) in this location in 1820. The structure is clearly of Historic importance as evidenced by its front wall plaque. A building of its size appears on the 1813 map, but with a different orientation.

Tax card information on #137 suggests it dates from 1860.

Both buildings appear on the 1892 map in their current placement. Further research will be undertaken, principally in regard to a more original window and exterior configuration for #127. The exterior of #137 appears to be very original, although the windows and doors have been replaced.

#127 is a Single Family Residence, while #137 has been divided into (3) Units.

Both properties are owned by James and Kimberley Lucy. The Lucy's now live in Greenland but #137 was their primary residence. They appeared before you in 2016 (using a different designer) with a proposal that involved combining the (2) properties, restoring #127, with a minor addition, changing the rear of #137, and adding a (2) family "Townhouse" at the rear of the joined properties. This proposal was not approved by the BOA.

In consultation with the Planning Department we have now assembled a different, more "limited" approach. This involves the following;

-the properties are combined, as previously proposed. The combined properties existing use is (4) Residential Dwelling Units. The Proposed configuration is (3) Dwelling Units and (1) Commercial/Office Unit. The area of the New Dwelling Unit at the rear of #137 (832sf) is less than that of the converted Office Area (1,138sf).

-#127 (Unit #3), is to be restored generally and returned to a more "original" window configuration. As part of this we propose a slight enlargement of the existing rear addition along with the creation of a 2nd Floor deck.

-the main house structure of #137 would be fully restored, but the existing rear shed roof portion would be demolished to 2st Floor level, while preserving the rear Kitchen fireplace and chimney. A 28' x22', 1 ½ story addition (+/- 3'6" knee walls) would be built at the rear of this structure and incorporated to the main house as shown on the plans included. The general appearance of this is to be that of an attached "Coach House" off the rear "Kitchen" to the main house. It is our intention that this structure is clearly, visually, subservient to the main house structure. It will contain a (2) car Garage with Living space in the "roof" above. The First Floor of the original building will be converted into an Office (Unit #1), to more align with the zoning requirements. The Garage and Second Floor space would be dedicated to (1) Residential Unit (Unit #2).

-a new Single Family Dwelling (Unit #4), is proposed to be built across the rear of #137. This 20'x38' structure with 6'x12', Sunroom bump out, is to assume the appearance of a Stable and Service Building. Essentially an "out building" to the Main House of #137. This would be a 2-story, hip roofed, structure, keeping it as low as possible, while still providing amenable space for the occupants.

This approach endeavors to create a descending order of buildings from front to rear, primary, secondary and tertiary. Main house, Kitchen/Coach House, Stable/Service Building. The Driveway and Turnaround would assume the appearance of a "Coach Yard". All other available open space would be utilized as lawn and garden areas. The elements of these would reflect the nature of a Colonial Garden. That is in homage to the Moffat-Ladd House, but subservient to it. Pruned hedge rows and climbing vines would be used to create as much privacy as possible between the units, and to the adjoining properties.

Other than to meet non-combustible requirements of the Building Department, the (3) buildings would be restored and built having all wood exteriors, including Western Red Cedar rooves. Traditional, all-wood, Green Mountain Windows and Doors would be used.



VIEW FROM
HIGH STREET



VIEW FROM
HIGH STREET



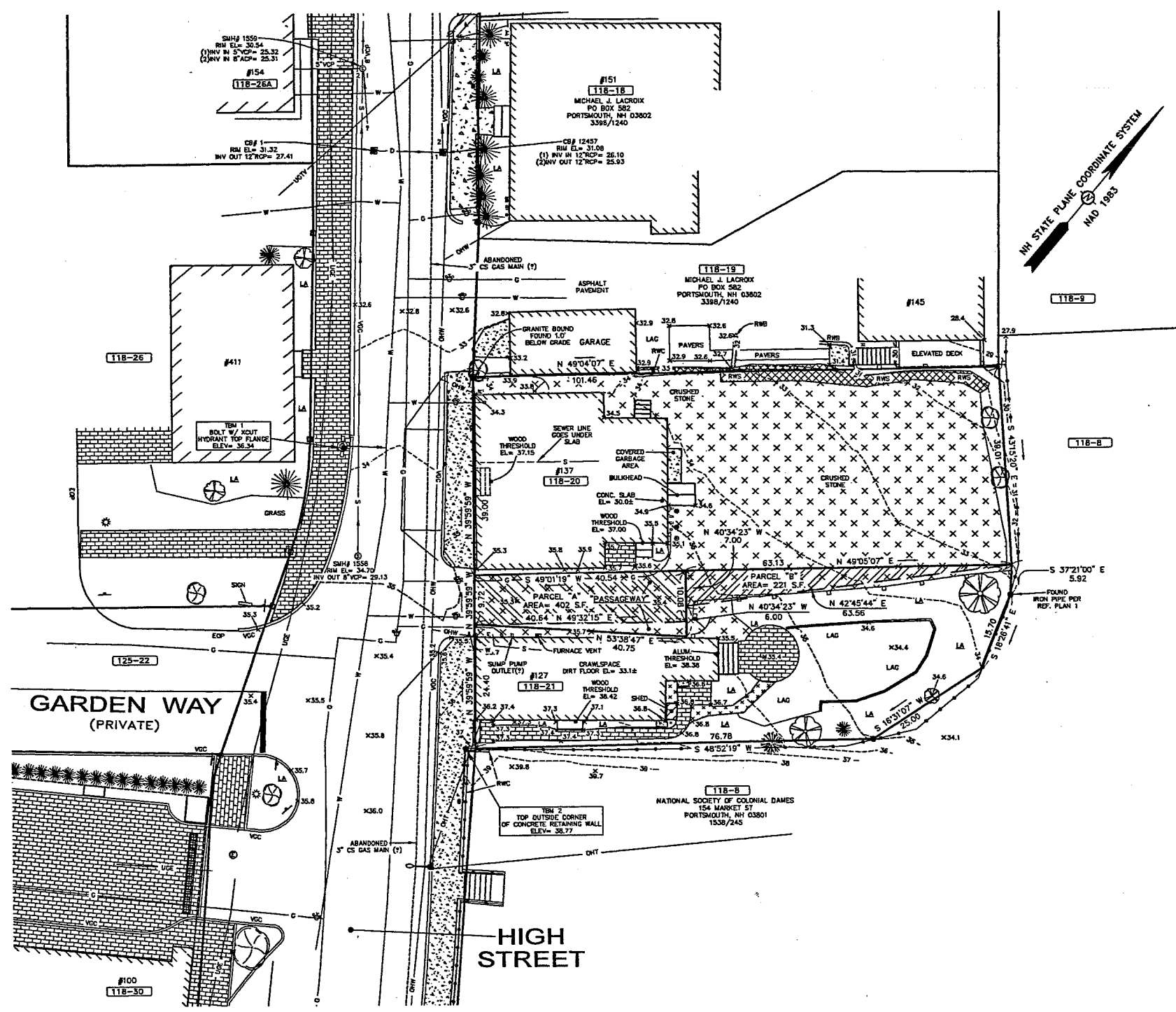
VIEW FROM
REAR



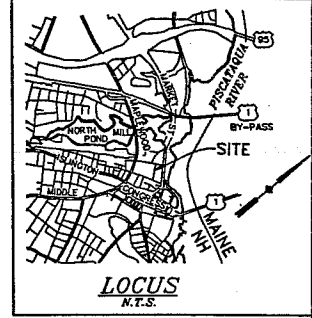
VIEW FROM
REAR

TITLE: PHOTOGRAPHS, EXISTING
CONDITIONS
DATE : 7.24.2018

REMODEL & ADDITION
at #127 & #137 HIGH STREET
PORTSMOUTH, NH.



- LEGEND:**
- IRON ROD
 - IRON PIPE
 - BOUND AS DESCRIBED
 - ▲ RAILROAD SPIKE
 - ▲ PORTSMOUTH HOUSING AUTHORITY
 - CHAIN LINK FENCE
 - WOOD FENCE
 - 110-5 TAX SHEET - LOT NUMBER
 - RCRD ROCKINGHAM COUNTY REGISTRY OF DEEDS
 - EOP EDGE OF PAVEMENT
 - VCC VERTICAL FACED GRANITE CURB
 - RWC CONCRETE RETAINING WALL
 - RWS STONE RETAINING WALL
 - RWG GRANITE RETAINING WALL
 - PARKING METER
 - BOLLARD
 - SIGN
 - UTILITY POLE
 - UTILITY POLE W/TRANSFORMER
 - LIGHT POLE
 - UTILITY POLE WITH ARM & LIGHT
 - ELECTRICAL CONDUIT
 - ELECTRIC METER
 - GAS METER
 - GAS SHUT OFF
 - GAS VALVE
 - WATER GATE VALVE
 - WATER SHUT OFF VALVE
 - HYDRANT
 - CATCH BASIN
 - CATCH BASIN
 - DRAIN MANHOLE
 - SEWER MANHOLE
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - CONIFEROUS SHRUB
 - DECIDUOUS SHRUB
 - WATER LINE
 - SEWER LINE
 - DRAIN LINE
 - GAS LINE
 - OVERHEAD WIRES
 - OVERHEAD ELECTRIC
 - OVERHEAD TELEPHONE
 - CEMENT CONCRETE
 - BRICK PAVERS
 - 12.5 SPOT GRADE



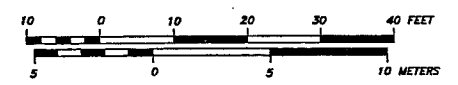
NW STATE PLANE COORDINATE SYSTEM
NAD 1983

- NOTES:**
- OWNER OF RECORD.....KIMBERLEY A. LUCY REV. LIVING TRUST
ADDRESS.....17 WINDSOR GREEN RD, GREENLAND, NH 03840
DEED REFERENCE.....5198/598
TAX SHEET / LOT.....118-20
TRUSTEES.....KIMBERLEY A. LUCY & JAMES C. LUCY
PARCEL AREA.....5,997 S.F.
 - OWNER OF RECORD.....JAMES C. LUCY REV. LIVING TRUST
ADDRESS.....17 WINDSOR GREEN RD, GREENLAND, NH 03840
DEED REFERENCE.....5198/600
TAX SHEET / LOT.....118-21
TRUSTEES.....JAMES C. LUCY & KIMBERLEY A. LUCY
PARCEL AREA.....2,792 S.F.
 - PASSAGEWAY AREA.....461 S.F.
 - ZONED.....CBS FRONT YARD SETBACK.....0'
MINIMUM LOT AREA 2,000 S.F. SIDE YARD SETBACK.....0'
FRONTAGE.....NR REAR YARD SETBACK.....0'
 - PARCELS ARE SUBJECT TO THE DOWNTOWN OVERLAY DISTRICT AND THE HISTORIC OVERLAY DISTRICT.
 - CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE SETTING OR ESTABLISHMENT OF ANY GRADES/ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOC., INC.
 - HORIZONTAL DATUM: NAD 1983 (2011) (EPOCH: 2010.0000)
VERTICAL DATUM: NAVD 1988
PRIMARY B.M. CITY CONTROL POINT "ALBA"
 - NO SOURCE DEED CONVEYING THE "PASSAGEWAY" INTO PARCEL 118-20 OR PARCEL 118-21 WAS FOUND. SEE RCRD BOOK 2657, PAGE 2212 FOR THE QUITCLAIM DEED OF PARCEL "A" TO PARCEL 118-21.
 - PARCEL 118-20 HAS AN EASEMENT FOR INGRESS & EGRESS OVER PARCELS "A" & "B" SHOWN HEREON AND ON REFERENCE PLAN 1. PARCEL 118-21 IS TO HAVE THE BENEFIT OF 2 DESIGNATED PARKING SPOTS ON PARCEL 118-20. SEE THE REFERENCED DOCUMENT FOR OTHER STIPULATED CONDITIONS.
 - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.

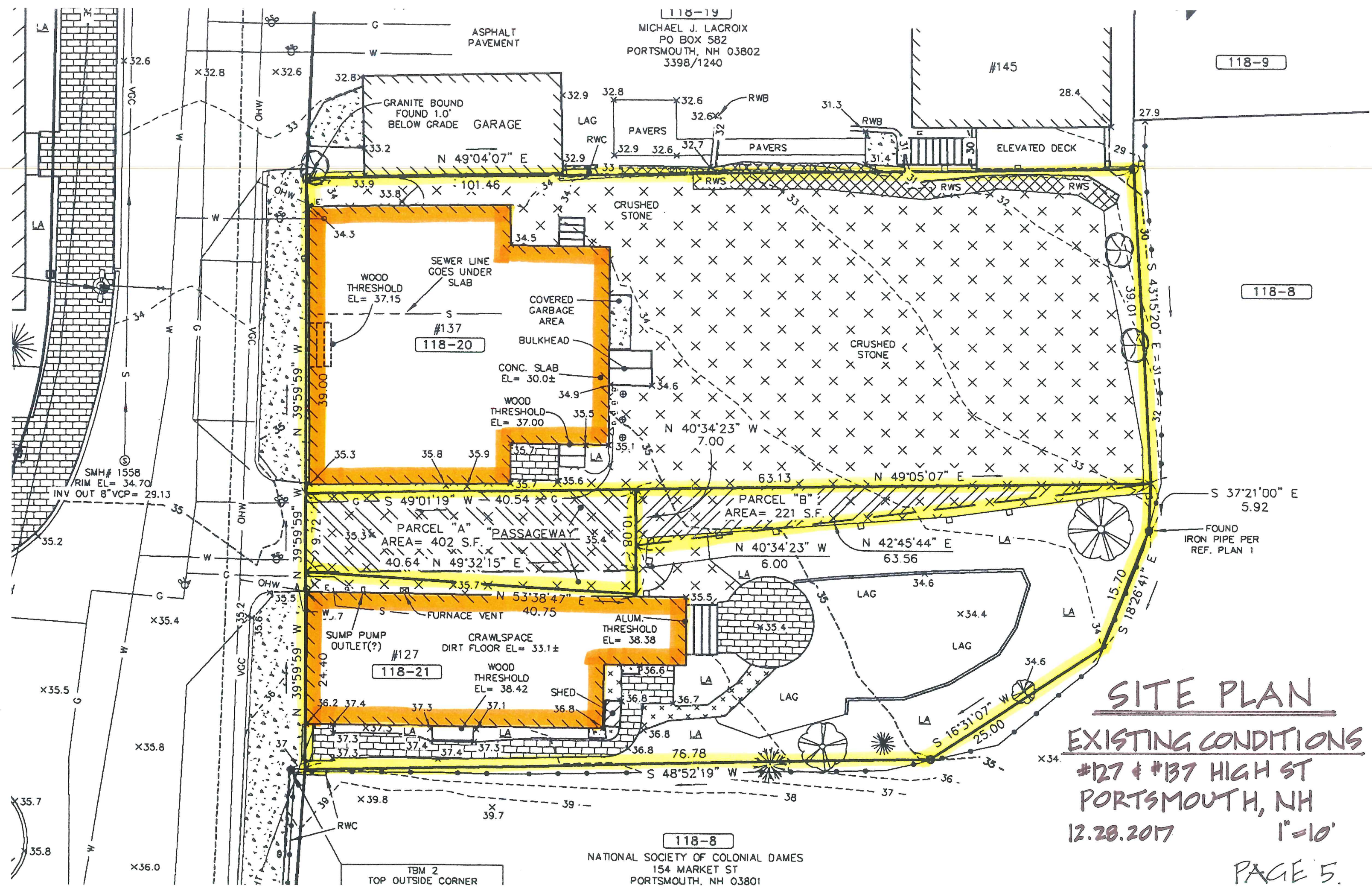
GARDEN WAY
(PRIVATE)

HIGH STREET

- REFERENCE PLANS:**
- BOUNDARY SURVEY & LOT LINE VERIFICATION OF LAND OWNED BY BUSINESS ASSETS MANAGEMENT, INC., 137 HIGH STREET, PORTSMOUTH, N.H., REVISED TO 10/8/1984, RCRD PLAN D-13069.
 - LOT LINE ADJUSTMENT PLAN, TAX MAP 118 LOTS 18 & 19, HIGH STREET, PORTSMOUTH, N.H., PREPARED FOR MICHAEL J. LACROIX, DATED 12/11/2006, RCRD PLAN D-34594.
 - PLAT OF LAND, MARKET STREET & HIGH STREET, PORTSMOUTH, N.H., FOR NATIONAL SOCIETY OF COLONIAL DAMES, DATED 10/10/1997, BY JAMES VERRA AND ASSOC., INC., NOT RECORDED.



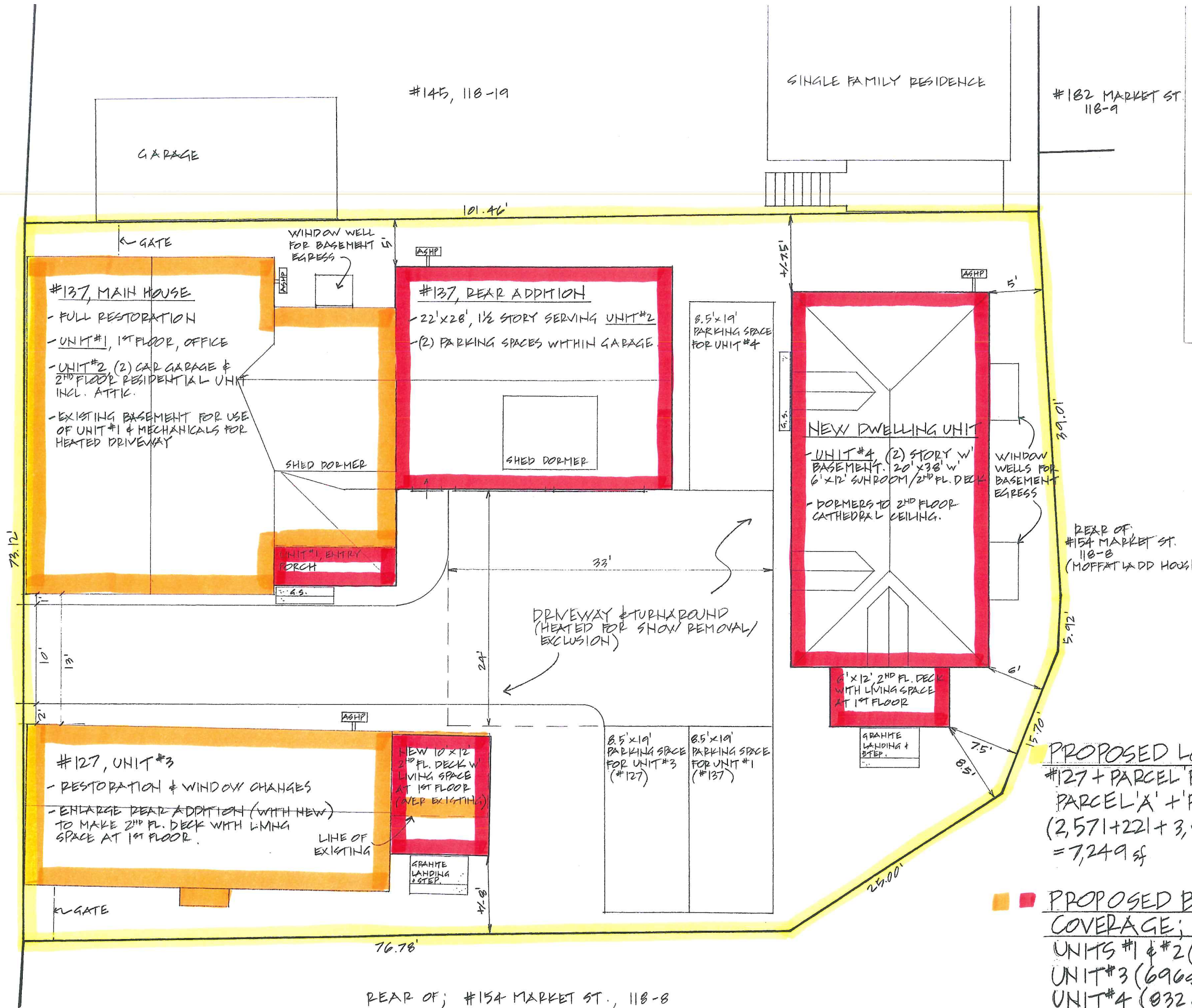
REV. NO.	DATE	DESCRIPTION	APPROV.
EXISTING CONDITIONS PLAN			
127 & 137 HIGH STREET			
PORTSMOUTH, NEW HAMPSHIRE			
ASSESSOR'S PARCELS 118-21 & 118-20			
for			
JAMES C. LUCY & KIMBERLEY A. LUCY, TRUSTEES			
JAMES VERRA and ASSOCIATES, INC.			
101 SHATTRUCK WAY			
NEWINGTON, N.H. 03801-7876			
603-436-3537			
DATE: 12-30-2014		JOB NO: 23575	
SCALE: 1" = 10'		DWC NAME: C-23575	
PROJECT MGR: [Signature]		DRAWN BY: [Signature]	
COPYRIGHT © 2014 by JAMES VERRA and ASSOCIATES, INC.		PLAN NO: 23575	
		SHEET: 1 of 1	



SITE PLAN
EXISTING CONDITIONS
 #127 & #137 HIGH ST
 PORTSMOUTH, NH
 12.28.2017

1"=10'
 PAGE 5.

HIGH STREET



Brendan McNamara
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 Eliot, ME 03903
 207 439 3521 Phone & Fax
 brendan@BrendanMcNamara.com
 BrendanMcNamara.com



TITLE: PROPOSED SITE PLAN (LOTS COMBINED)
 SCALE: 1" = 10'
 DATE: 7.24.2018

REVISIONS:

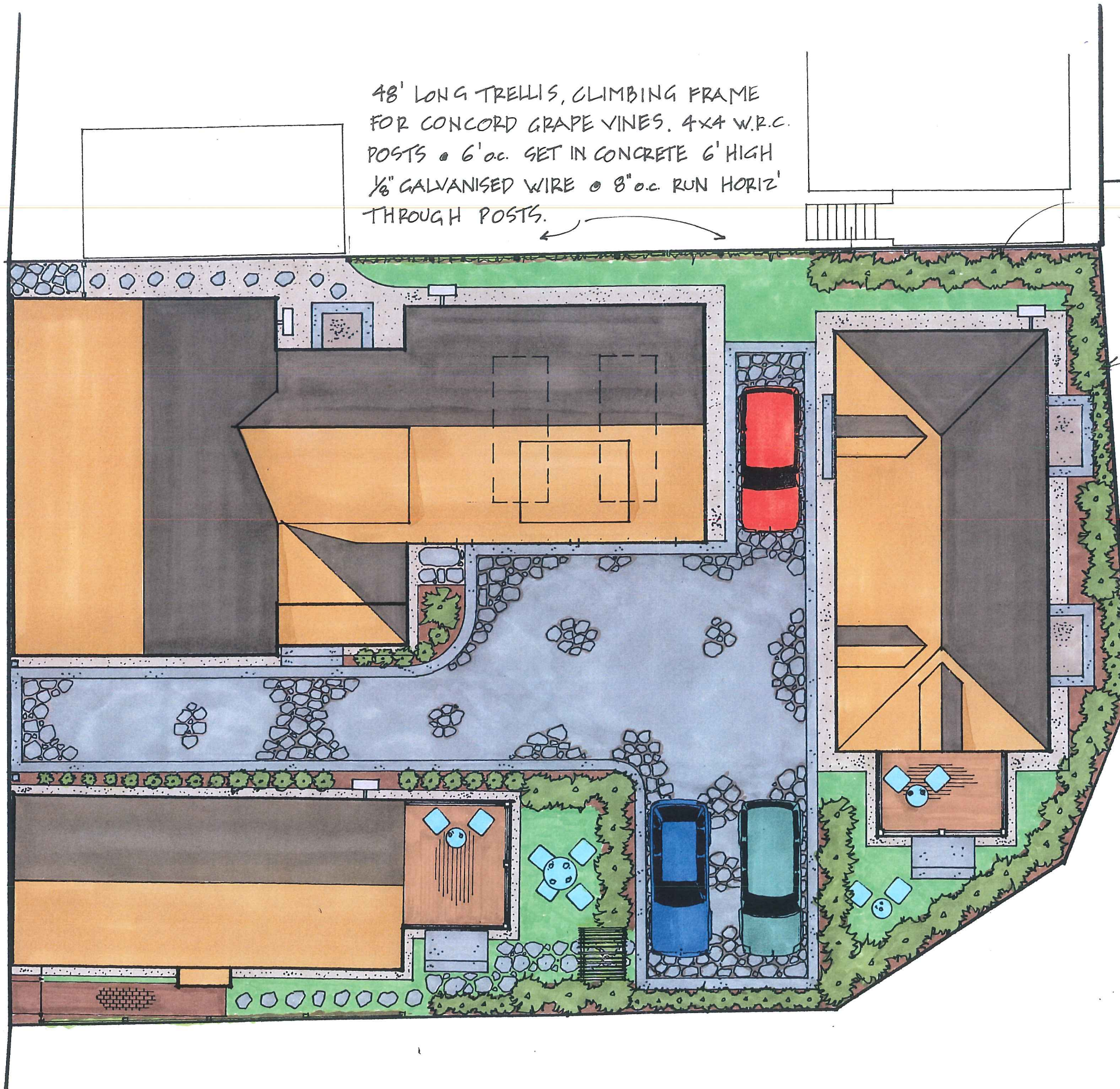
PROPOSED LOT SIZE;
 #127 + PARCEL B' + #137 +
 PARCEL 'A' + PASSAGEWAY
 (2,571 + 221 + 3,997 + 461)
 = 7,249 sf

PROPOSED BUILDING
 COVERAGE;
 UNITS #1 & #2 (1,797sf) +
 UNIT #3 (696sf) +
 UNIT #4 (832sf) = 3,325sf
 THEREFORE, 45.9%

#127 & #137 HIGH ST.,
 PORTSMOUTH, NH

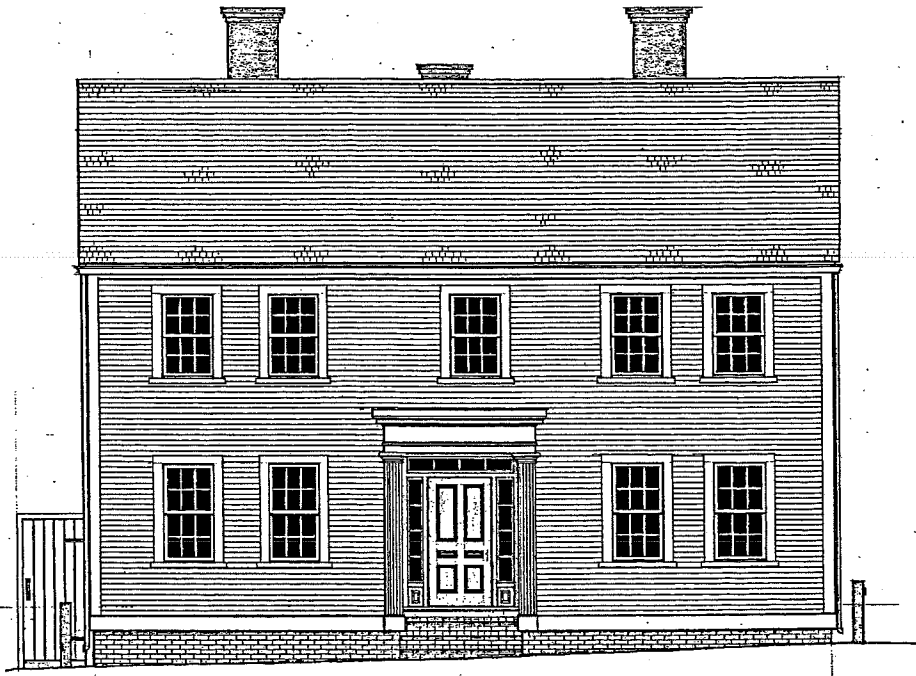
48' LONG TRELLIS, CLIMBING FRAME FOR CONCORD GRAPE VINES. 4x4 W.P.C. POSTS @ 6'oc. SET IN CONCRETE 6' HIGH 1/8" GALVANISED WIRE @ 8"oc RUN HORIZ THROUGH POSTS.

'HEDGE ROW' 'INKBERRY HOLLY' (EVERGREEN) PLANTED AT 1/2 3'6"oc. GROWS TO 4' HT.

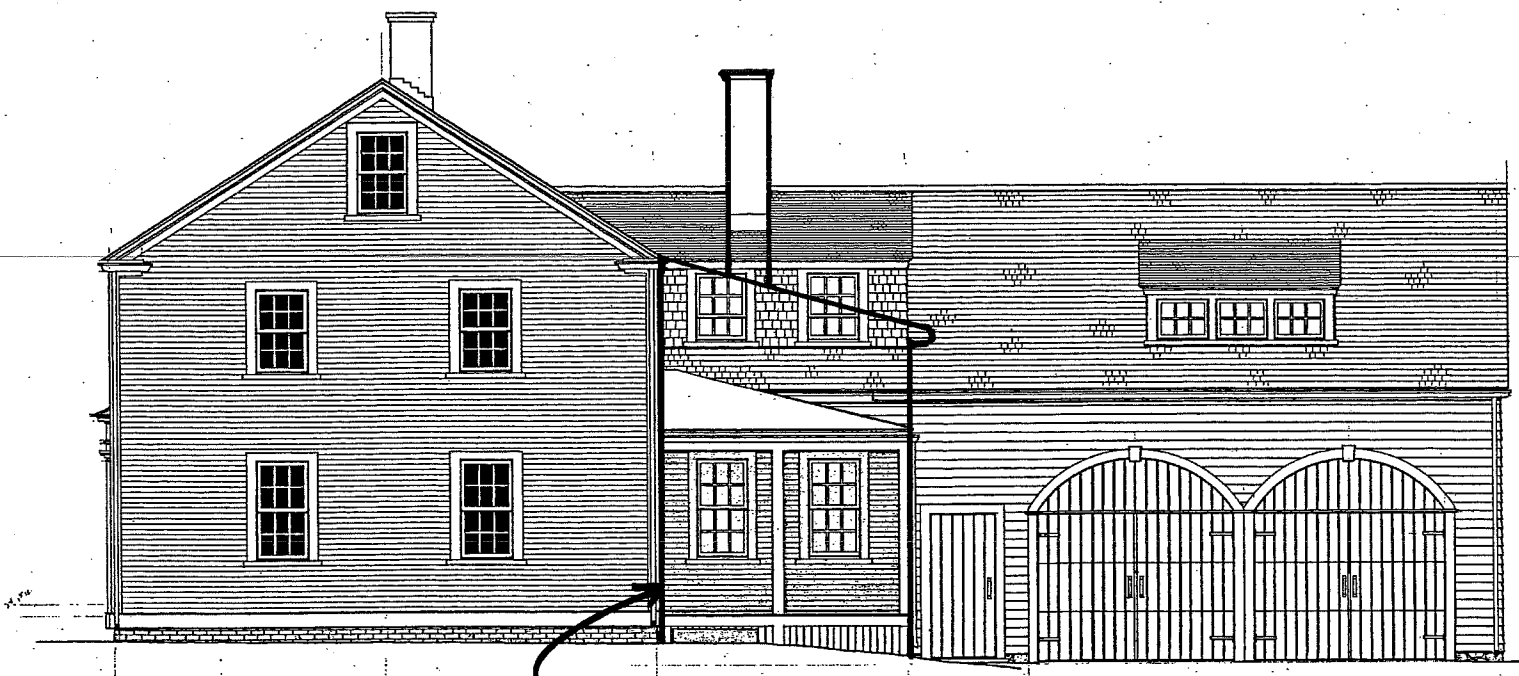


PROPOSED LANDSCAPING
PLAN

*127 & *137 (LOTS COMBINED)
HIGH ST., PORTSMOUTH, NH
1"=10' 1228.2017

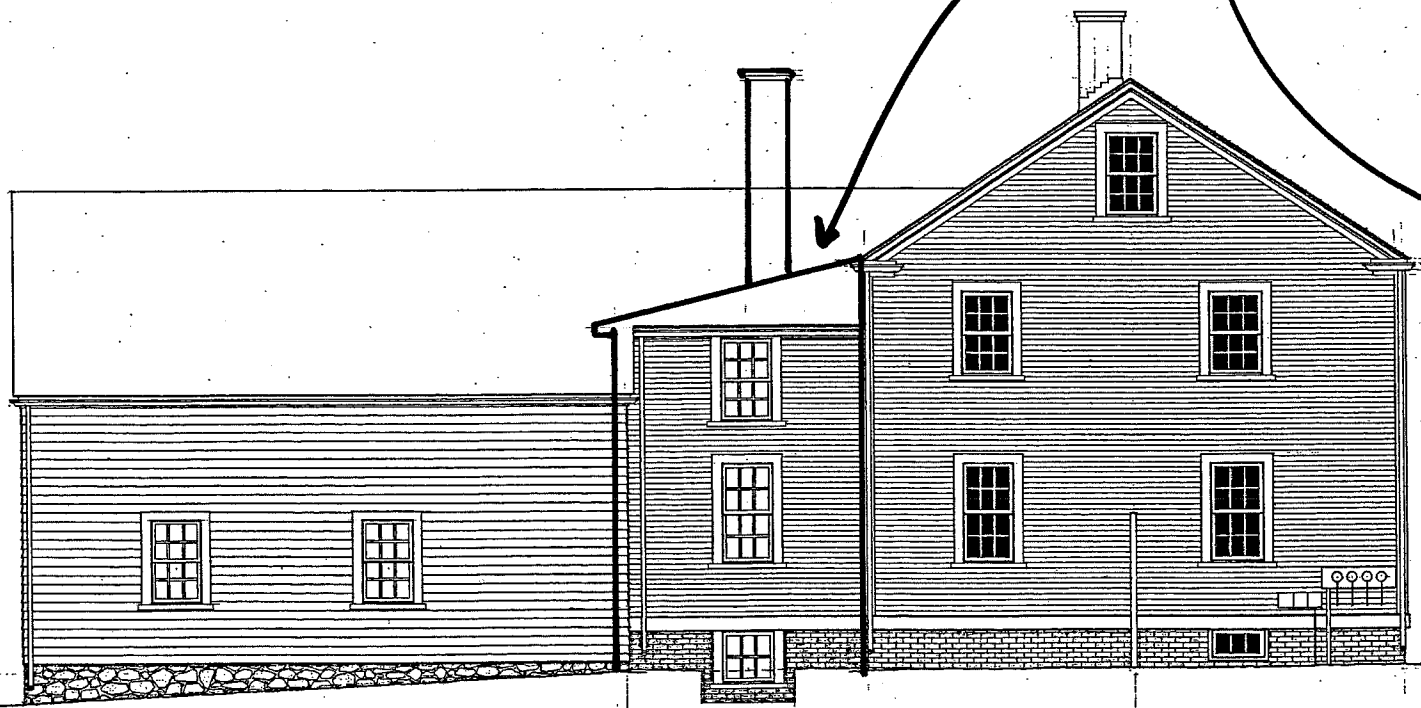


PROPOSED FRONT (SOUTH) ELEVATION

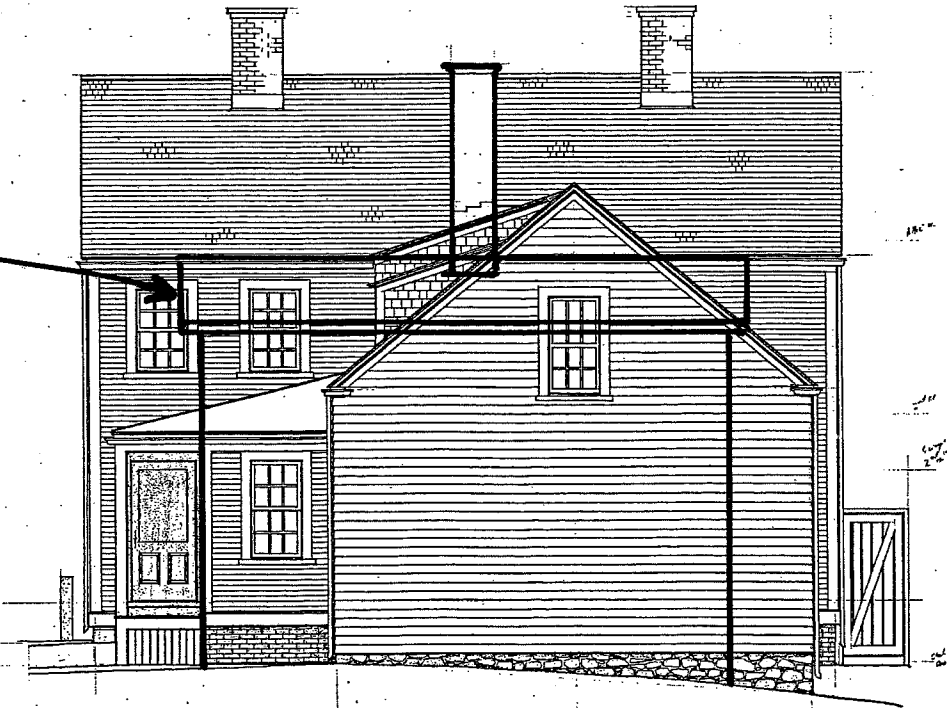


PROPOSED RIGHT SIDE (EAST) ELEVATION

EXISTING REAR ADDITION



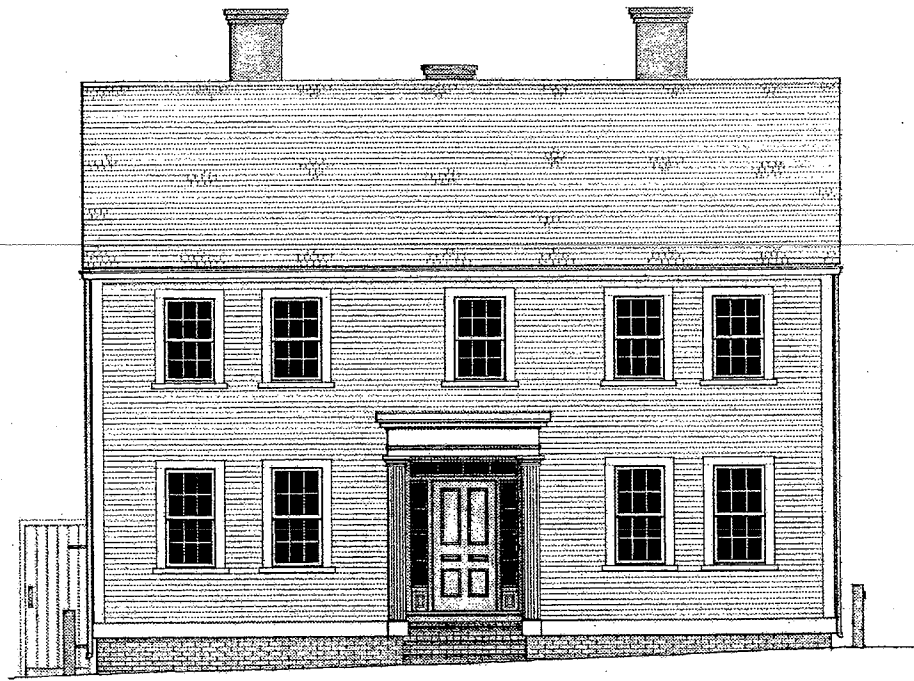
PROPOSED LEFT SIDE (WEST) ELEVATION *REDUCED TO FIT 11 X 17



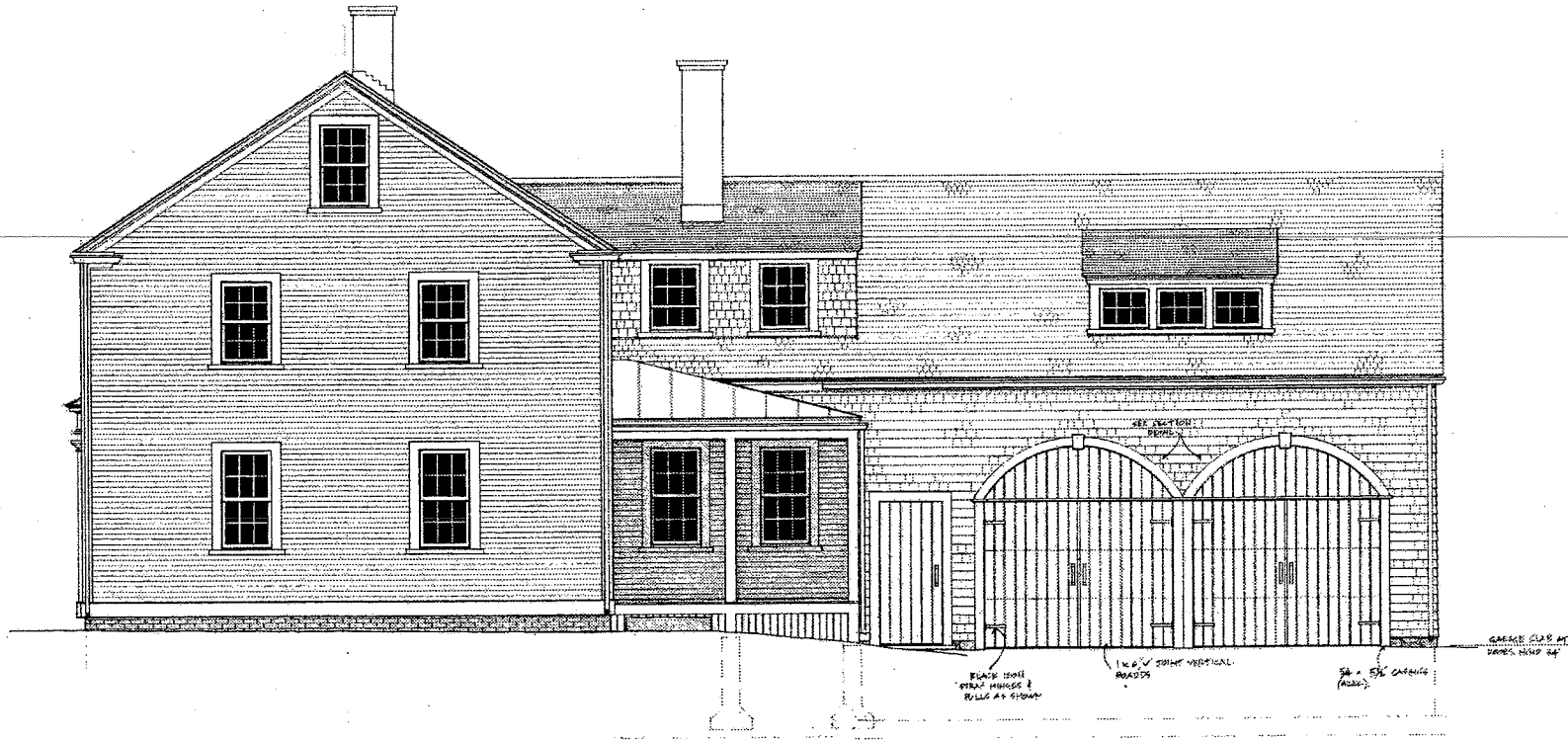
PROPOSED REAR (NORTH) ELEVATION

EXISTING CONDITIONS OVERLAYED TO PROPOSED

REMODEL & ADDITION TITLE: PROPOSED ELEVATIONS
EXISTING STRUCTURE # SCALE: 1/4"=1'-0" * REDUCED TO FIT 11 X 17
#137 HIGH ST. DATE: 1.26.2018
PORTSMOUTH, NH REVISIONS

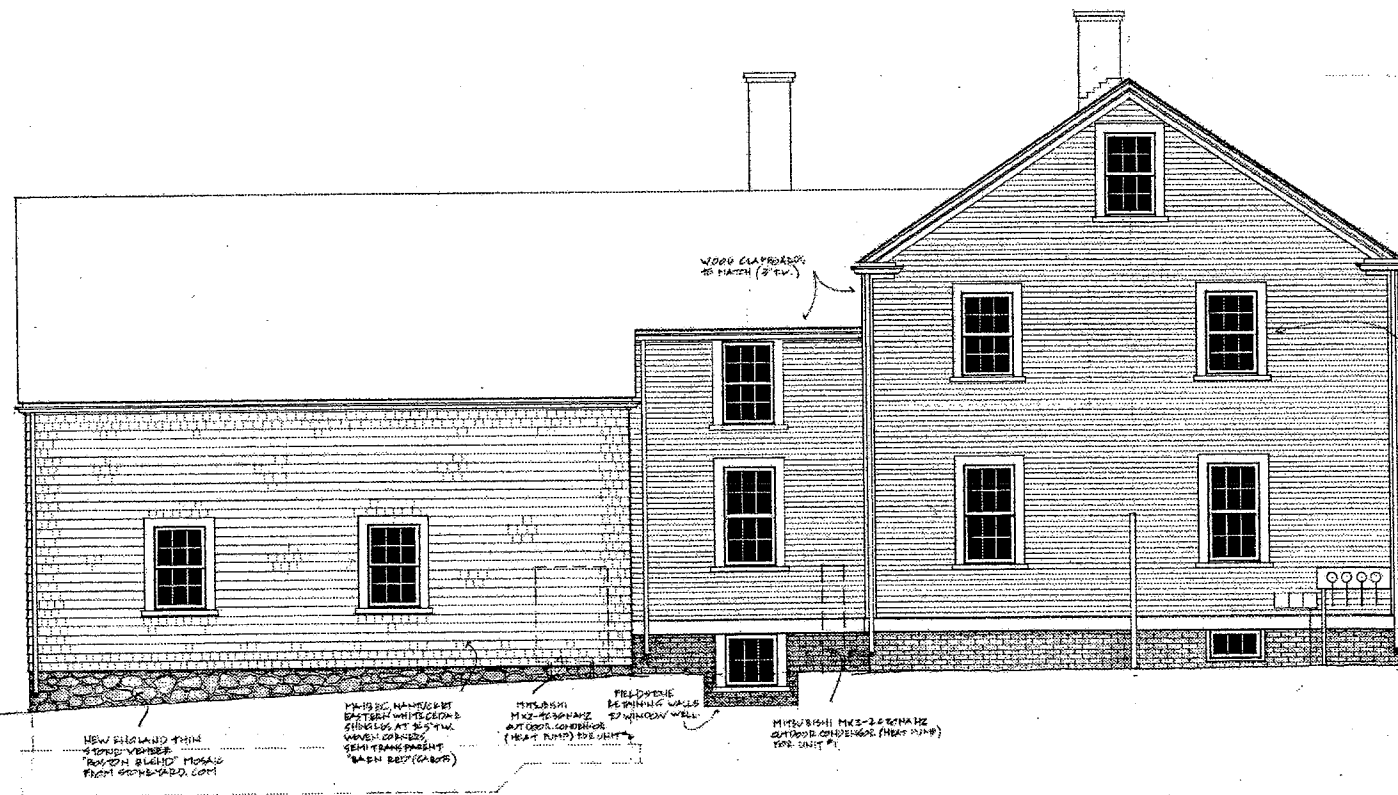


PROPOSED FRONT (SOUTH) ELEVATION

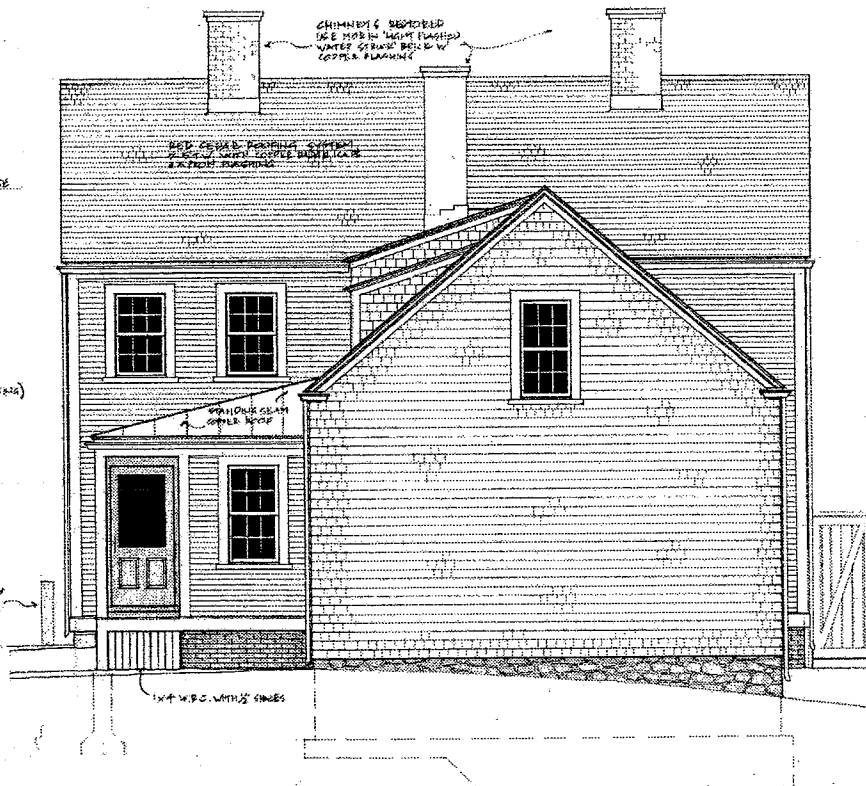


PROPOSED RIGHT SIDE (EAST) ELEVATION

* REMOVE & REPLACE ALL
TRIM & EXTERIOR DETAILS TO MATCH
EXISTING USING ICE-FRAME WESTERN
RED CEDAR (MANUFACTURER FOR CORNER
BOARDS)



PROPOSED LEFT SIDE (WEST) ELEVATION



PROPOSED REAR (NORTH) ELEVATION

- EXISTING RIDGE HEIGHT
- NEW GARAGE DOOR BRIDGE
- APRX. 1/2" PL.
- 6" HALF ROUND COPPER
GUTTERS WITH 1/2" DOWNSPOUTS
(16')
- TRIM & ALL WOOD
CORNER MOLDINGS WINDOWS
& DOORS WITH 3/4" x 5" (1/2")
CORNERS & 1" (1/2") SILL &
1/2" (1/2") MOLDINGS (REMOVED GARAGE)
- 3" PL. SUB. PL.
- GARAGE 2 1/2" PL. SUB. PL.
- 1 1/2" PL. SUB. PL.
WOOD SP.
- GARAGE SLAB AT DOWNS
WOOD SP.
- BACKSTOP SLAB

NEW ENGLAND TRIM
& FINISHES
"BOSTON BLEND" FINISH
FROM GET-BY-GARDO.COM

MARBLE HANDBOOK
BATTER WITH CEDAR
SHINGLES AT 5/8" x 1/2"
W/ 1/2" (1/2")
W/ 1/2" (1/2")

MISLEASH
1/2" x 1/2" SQUARE
OUTDOOR COVERING
(NEAR RAMP) 1/2" x 1/2"

PRELIMINARY
REPAIRING WALL
BY WINDOW WELL

MISLEASH MKS-24 FINISH
OUTDOOR COVERING (NEAR RAMP)
1/2" x 1/2"

Brandon McNamee
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BrandonMcNamee.com

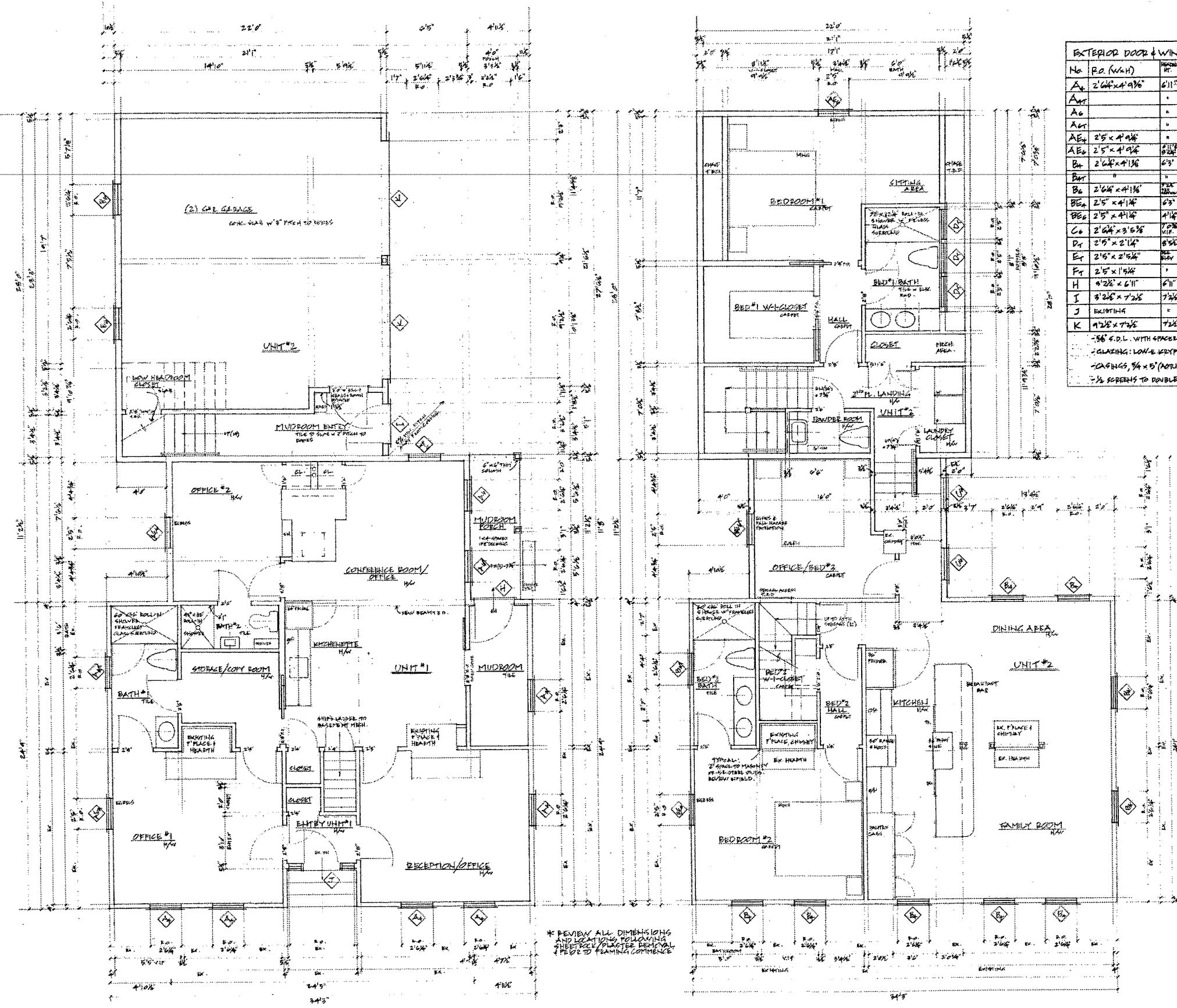
TITLE: PROPOSED ELEVATIONS
SCALE: 1/4"=1'-0"
DATE: 1.26.2018
REVISIONS: 10.30.2018 12.12.2018

REMODEL & ADDITION
EXISTING STRUCTURE #
#197 HIGH ST.,
PORTSMOUTH, NH

EXTERIOR DOOR & WINDOW SCHEDULE (GREEN MOUNTAIN WINDOWS) (#137)

No.	R.O. (WxH)	HEIGHT	TYPE	CONV. MATERIAL	NOTES	QTY
A ₁	2'6" x 4'9"	6'11"	MDH 2424		1 ST FLOOR DOUBLE HUNG TO EXISTING WALLS	4%
A ₂	"	"	"	"	"	1
A ₃	"	"	"	"	"	1
A ₄	2'5" x 4'9"	6'3"	MDH 2424		EXCESS CASHEMENT (RH) TO MATCH APPEARANCE OF 'A'	4%
A ₅	2'5" x 4'9"	6'3"	MDH 2424		"	1
B ₁	2'6" x 4'13"	6'3"	MDH 2420		2 ND FLOOR DOUBLE HUNG TO EXISTING WALLS	4%
B ₂	"	"	"	"	"	1
B ₃	2'6" x 4'13"	6'3"	MDH 2420		"	2
B ₄	2'5" x 4'14"	6'3"	MDH 2420		EXCESS CASHEMENT (RH) TO MATCH APPEARANCE OF 'B'	4%
B ₅	2'5" x 4'14"	6'3"	MDH 2420		EXCESS CASHEMENT (RH) W/ BALL HAZARD PROTECTION	4%
C ₁	2'6" x 3'6"	6'3"	MDH 2409M		6 PANEL DOUBLE HUNG, ALIGN R.O. SILL TO DWINDOWS	2
D ₁	2'5" x 2'14"	6'3"	MDH 2424		BATHROOM AVANTAGES (TEMPERED) W/ CONT SILL	3
E ₁	2'5" x 2'5"	6'3"	MDH 2424		BATHROOM BAYES CASHEMENT	4%
F ₁	2'5" x 1'5"	6'3"	MDH 2424		EXCESS CASHEMENT	1
H	8'2 1/2" x 6'11"	6'11"	MDH 2424		BH PORCH DOOR (HAWKING)	6%
I	8'2 1/2" x 7'2 1/2"	7'2 1/2"	MDH 2424		LH UNIT 2 MUDROOM ENTRY DOOR (HAWKING)	1
J	EXISTING	"	"	"	EXISTING FRONT DOOR & SIDELIGHTS TO BE REPEATED	1
K	4'2 1/2" x 7'2 1/2"	7'2 1/2"	"	"	CUSTOM 4 PANEL DOORS, SEE ELEVATION & SECTION DETAIL	6%

- 3/8" x D.L. WITH GRACE BARS. - EXTERIOR: FRAME, CASINGS & SILL, PAINTED "BATH RED", SASHES: WHITE HONEY.
 - GLAZING: LOW-E KEYTONE. - INTERIOR: PAINTED "WHITE".
 - CASINGS: 3/4" x 5" (ACTUAL), FLAT. - SILLS: "HISTORIC", 3", NOTE: CONTINUOUS SILL TO DWINDOWS & 1/2" EXTENSIONS.
 - 1/2" SCREENS TO DOUBLE HUNGS. - OIL RUBBED BRONZE HARDWARE THROUGHOUT.



PROPOSED FIRST FLOOR PLAN

PROPOSED SECOND FLOOR PLAN

INSULATION SCHEDULE:

USE "VALUE ENGINEERING" FRAMING TECHNIQUES WHERE POSSIBLE TO ENSURE ACCESSIBILITY FOR SPRAYFOAM APPLICATION, ESPECIALLY AT EXTERIOR CORNERS. NOTE 1" RIGID FOAM AS HEADER SHIMS AND 3/4" TO 5/8" LVL HEADERS, FILL ANY VOIDS IN FRAMING THAT OCCUR WITH RIGID FOAM TO ELIMINATE ANY AIRSPACE. CAULK GANGED FRAMING MEMBERS AND PLATE/FLOOR CONNECTIONS. SEE SECTIONS FOR GRAPHICAL DESCRIPTION.

EXTERIOR: CLOSED CELL, POLYURETHANE SPRAYFOAM, RATED TO 6.8R/INCH MINIMUM. ALLOW 21 DAYS BEFORE COVERING WITH SHEETROCK TO MONITOR SHRINKAGE.

ROOF: R42, "FLASH", .75", 2X RAFTER MEMBERS LOWER EDGES, WHERE POSSIBLE, TO CREATE THERMAL BREAK. ALL ROOF SPRAY FOAM WILL BE COVERED BY 3/4" SHEETROCK, INCLUDING ATTIC STORAGE/MECHANICAL AREA.

FROST WALLS AND MUDROOM ENTRY SLAB: R20, TYPICALLY (2) LAYERS OF 2" RIGID FOAM. SEE SECTIONS FOR DETAIL AT STEM WALL/SLAB SHELVES AND GRAPHICAL DESCRIPTION.

GARAGE CEILING (TO 2ND FLOOR HEATED SPACE): R40. SEE SECTION DETAIL.

GARAGE: R21 TO WALLS, SEE SECTIONS FOR DETAIL AT STEM WALL/SLAB SHELVES.

FOUNDATION WALLS: R21. ENSURE SILLS AT TOP OF FOUNDATION WALL ARE COVERED TO TOP OF MASONRY. APPLY SUITABLE FLAME RETARDANT BARRIER TO EXPOSED SPRAY FOAM. SEE SECTION DETAIL.

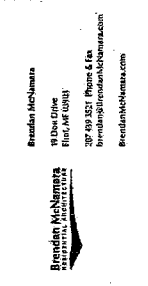
WALLS AND RIMJOISTS: R24. ENSURE SILLS AT TOP OF FOUNDATION WALL ARE COVERED TO TOP OF MASONRY/STONE AND SPRAY INSULATION IS CONTINUOUS TO CONCRETE SLAB FLOOR.

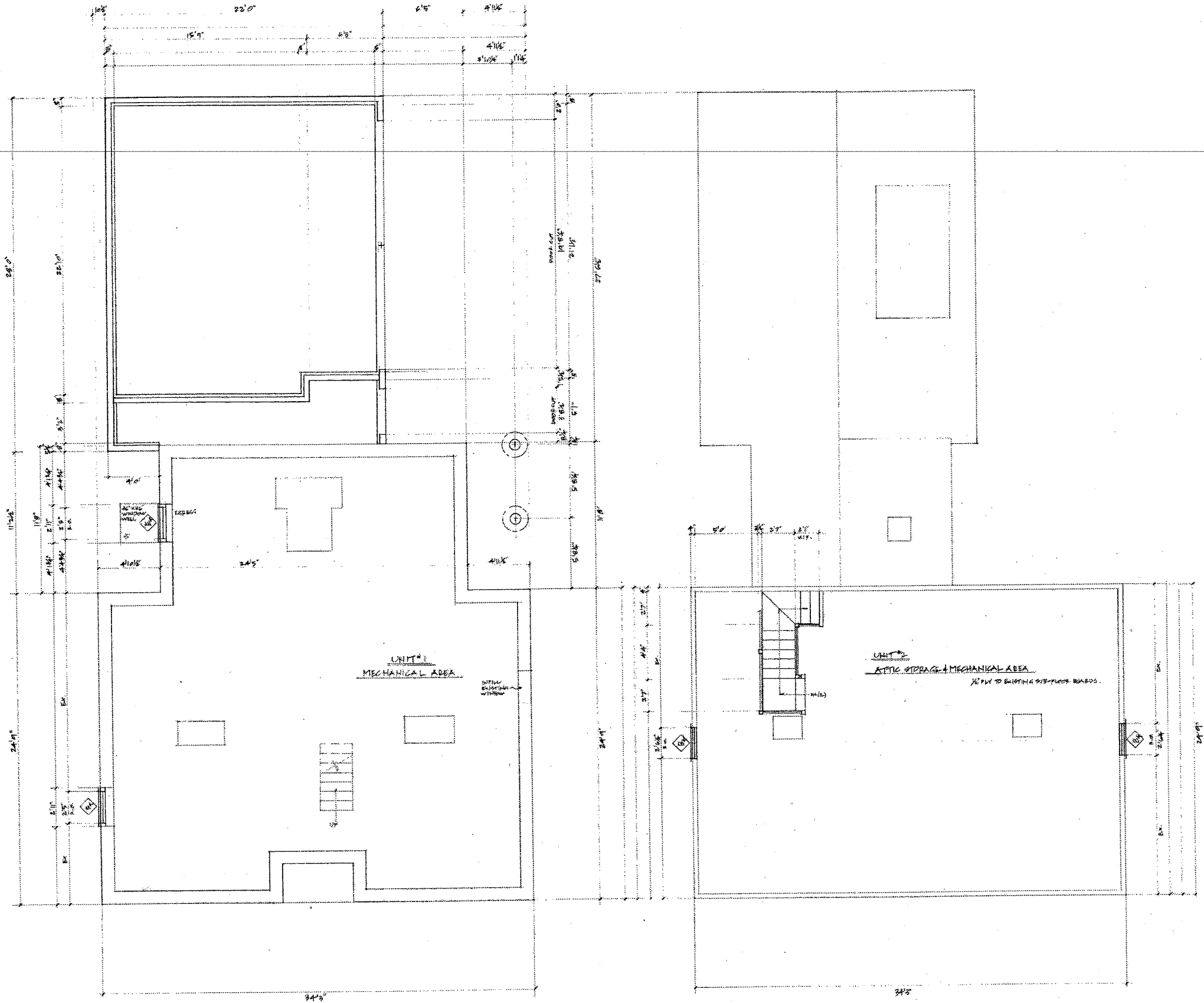
WINDOWS AND DOORS: LOW EXPANSION FOAM TO ALL OPENINGS. ENSURE COMPLETE FILL (4 9/16"), WITHOUT EFFECTING WINDOW/DOOR OPERATION.

INTERIOR: R11 AND R19 ROXUL (OR SIMILAR, OR BETTER) TO ALL INTERIOR WALLS FOR SOUND. USE TO SUIT 2X4 AND 2X6 WALL THICKNESS. R19 TO 1ST, 2ND FLOOR JOIST SYSTEMS.

AIR INFILTRATION: FROM BLOWER DOOR TEST, THE BUILDING MUST ACHIEVE A MINIMUM OF 0.25 ACH. CAULK ALL "GANGED" FRAMING MEMBERS AND PLATE/FLOOR CONNECTIONS. SEAL ALL PENETRATIONS AS PER MANUFACTURERS REQUIREMENTS. AN ENERGY RECOVERY VENTILATION SYSTEM WILL BE INSTALLED AND UTILIZED FOR BATHROOM VENTILATION WHERE PRACTICAL.

TITLE: PROPOSED 1ST & 2ND FLOOR PLANS & SCHEDULES
 SCALE: 1/4" = 1'-0"
 DATE: 12.12.2018
 REVISIONS:
 REMODEL & ADDITION
 of
 EXISTING STRUCTURE at
 #137 HIGH ST.,
 PORTSMOUTH, NH





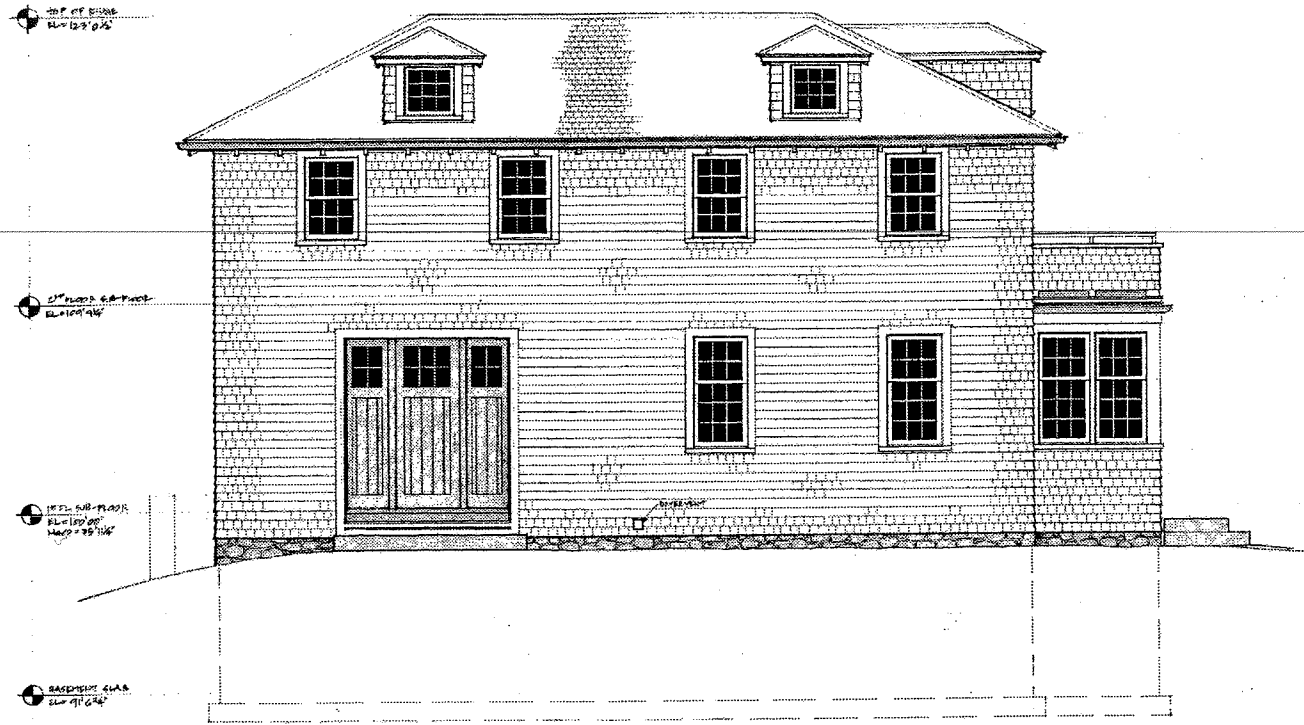
PROPOSED BASEMENT/FOUNDATION PLAN

PROPOSED ATTIC FLOOR PLAN

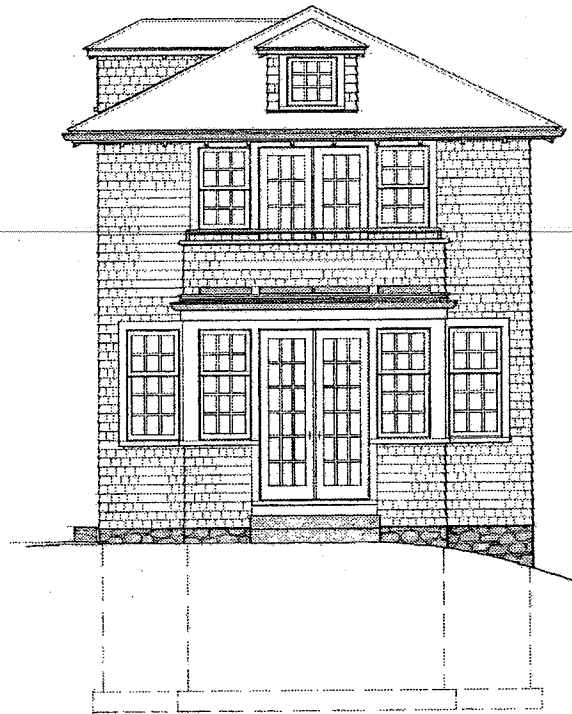
REMODEL & ADDITION
 of EXISTING STRUCTURE
 # 197 HIGH ST.,
 PORTSMOUTH, NH

TITLE : PROPOSED BASEMENT/FOUNDATION & ATTIC FLOOR PLANS
 SCALE : 1/4"=1'-0"
 DATE : 12.12.2018
 REVISIONS :

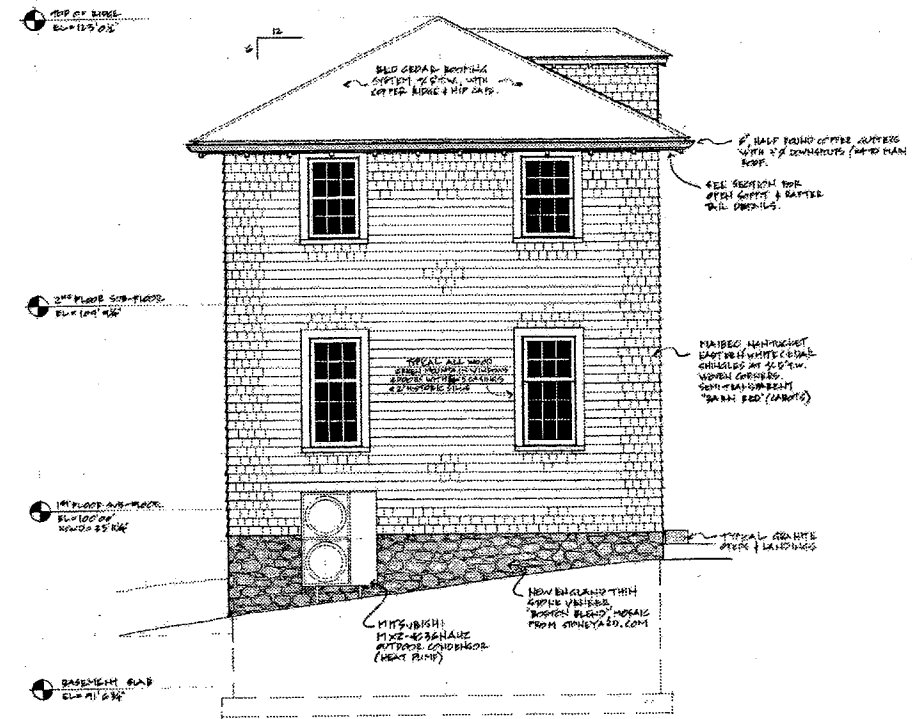




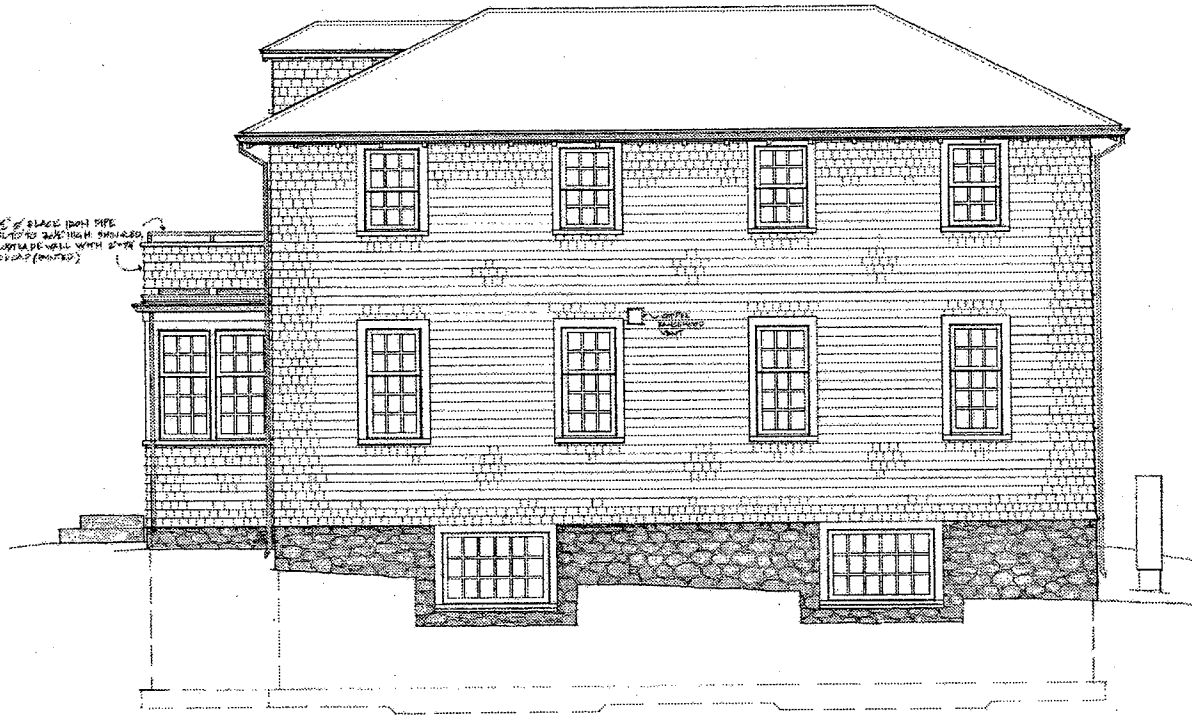
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

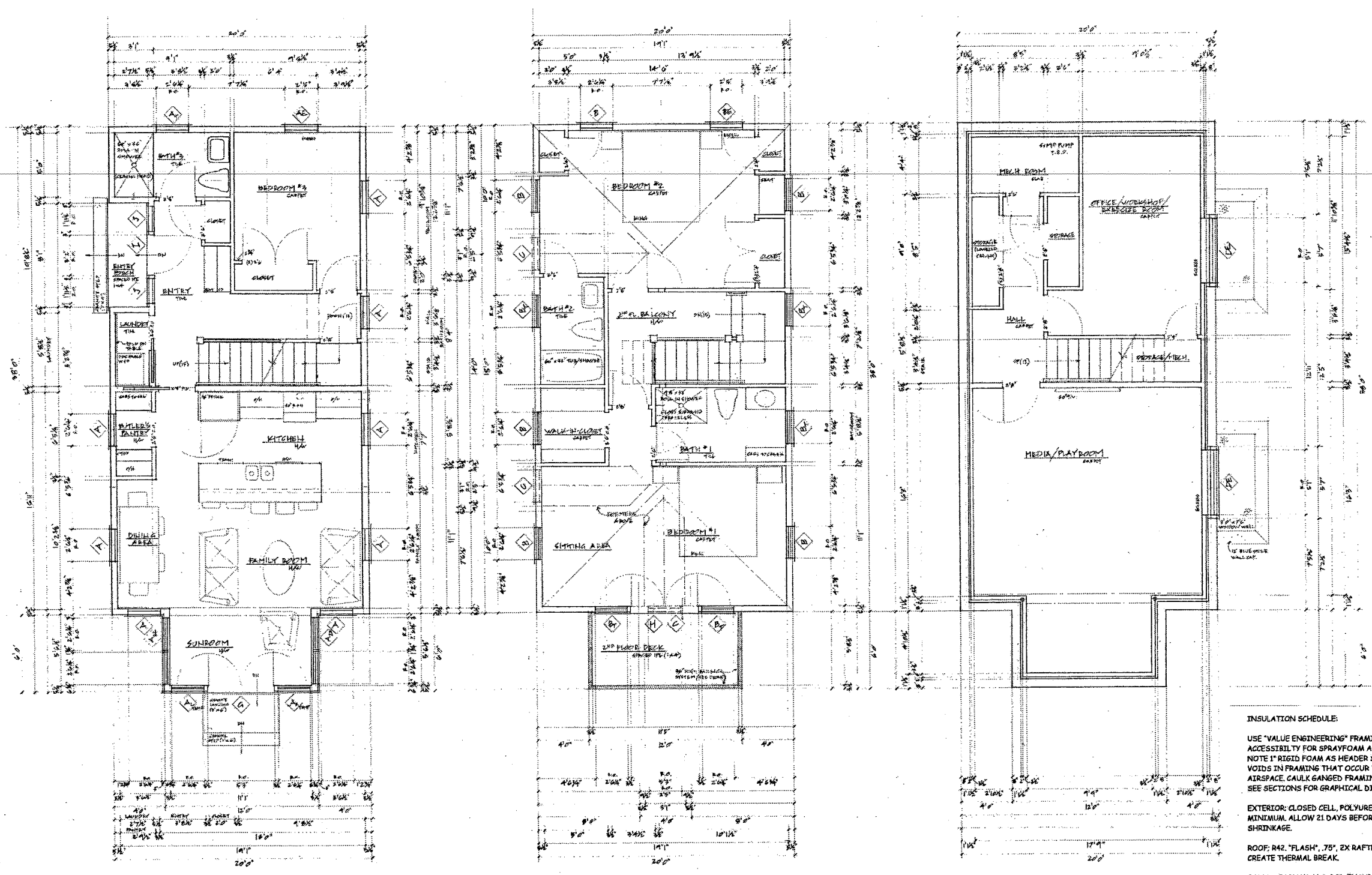


NORTH ELEVATION

Brendan McNamee
19 Oak Drive
Ellis, ME 03923
Brendan@brendanmcnamee.com
BrendanMcNamee.com

TITLE : ELEVATIONS
SCALE : 1/4"=1'-0"
DATE : 12.12.2018
REVISIONS:

NEW DWYELLING
at REAR OF
#137 HIGH ST.,
PORTSMOUTH, NH



FIRST FLOOR PLAN

SECOND FLOOR PLAN

BASEMENT FLOOR PLAN

No.	RD (WxH)	MANUFACTURER	TYPE	NOTES	QTY
A	2'6" x 5'3 1/2"	MON 2420 CS	CS	CORNER STYLE BALCONES w CASINGS & SILL	6
A1	"	"	"	"	1
A2	5'2 1/2" x 4'5 1/2"	"	"	"	2
A3	2'6" x 5'3 1/2"	"	"	"	2
AE	2'5" x 5'3 1/2"	MON 2420	CS	CASING WINDOW TO MATCH APPEARANCE OF "A"	1
B	2'6" x 4'1 1/2"	MON 2420	CS	DOUBLE WINGS w CASINGS & SILL	6
B1	"	"	"	"	1
BE	2'5" x 4'1 1/2"	"	"	"	1
C	2'5" x 2'5 1/2"	MAN 2420	CS	AWNINGS	3
DE	5'1" x 3'3 1/2"	MAN 2420	CS	CASING AS FINISHING SPECIAL FOR BASEMENT EXPOS ONLY	2
E	5'3" x 4'2 1/2"	MAN 2420	CS	CASING IN FINISH COLOR, RH ACTIVE	1
H	5'3" x 4'2 1/2"	MAN 2420	CS	BRIDGEMAN	1
I	3'2" x 4'2 1/2"	MAN 2420	CS	AND FRONT DOOR FRONT DOOR & FIXED SIDE LIGHTS, SEE SCHEDULE, AND SW	1
J	1'11 1/2" x 6'3 1/2"	MAN 2420	CS	"	2

- 5/8" S.D.L. WITH ANGLE BARS. - EXTERIOR: PRIME, CASINGS & SILL PAINTED 'BARK RED', SHADING: BURNT HICKORY.
 - GLAZING: LOW-E, 1/2" MIN. - INTERIOR: PAINTED 'WHITE'.
 - CASINGS: 5/8" x 3", FLAT. - SILL: HISTORIC, 2" NOTE SUNROOM.
 - ALL SCREENS TO DOUBLE WINGS - ALL RUBBER GROMMET HOLLOWWARE THROUGHOUT.

INSULATION SCHEDULE:
 USE "VALUE ENGINEERING" FRAMING TECHNIQUES WHERE POSSIBLE TO ENSURE ACCESSIBILITY FOR SPRAYFOAM APPLICATION, ESPECIALLY AT EXTERIOR CORNERS. NOTE 1" RIGID FOAM AS HEADER SHIMS AND 1/2" TO 5/8" LVL HEADERS. FILL ANY VOIDS IN FRAMING THAT OCCUR WITH RIGID FOAM TO ELIMINATE ANY AIRSPACE. CAULK GANGED FRAMING MEMBERS AND PLATE/FLOOR CONNECTIONS. SEE SECTIONS FOR GRAPHICAL DESCRIPTION.
 EXTERIOR: CLOSED CELL, POLYURETHANE SPRAYFOAM, RATED TO 6.8R/INCH MINIMUM. ALLOW 21 DAYS BEFORE COVERING WITH SHEETROCK TO MONITOR SHRINKAGE.
 ROOF: R42 "FLASH", .75", 2X RAFTER MEMBERS LOWER EDGES, WHERE POSSIBLE, TO CREATE THERMAL BREAK.
 FOUNDATION WALLS: R21, ENSURE SILLS AT TOP OF FOUNDATION WALL ARE COVERED TO TOP OF CONCRETE AND SPRAY INSULATION IS "CONNECTED" TO 2"X12" RIGID INSULATION (R10) AGAINST FOUNDATION WALL AT BOTTOM, (this is acting as a thermal insulator for the Basement slab). 2" RIGID FOAM (R10) IS TO BE PLACED BELOW BASEMENT SLAB. SEE SECTION DETAIL.
 WALLS AND RIMJOISTS: R24, ENSURE SILLS AT TOP OF FOUNDATION WALL ARE COVERED TO TOP OF CONCRETE AND SPRAY INSULATION IS CONTINUOUS TO CONCRETE.
 WINDOWS AND DOORS: LOW EXPANSION FOAM TO ALL OPENINGS, ENSURE COMPLETE FILL (4 9/16"), WITHOUT EFFECTING WINDOW/DOOR OPERATION.
 INTERIOR: R11 AND R19 ROXUL (OR SIMILAR, OR BETTER) TO ALL INTERIOR WALLS FOR SOUND. USE TO SUIT 2X4 AND 2X6 WALL THICKNESS. R19 TO 1", 2" FLOOR JOIST SYSTEMS.
 ATR INFILTRATION: FROM BLOWER DOOR TEST, THE BUILDING MUST ACHIEVE A MINIMUM OF 0.25 ACH. CAULK ALL "GANGED" FRAMING MEMBERS AND PLATE/FLOOR CONNECTIONS. SEAL ALL PENETRATIONS AS PER MANUFACTURERS REQUIREMENTS. AN ENERGY RECOVERY VENTILATION SYSTEM WILL BE INSTALLED AND UTILIZED FOR BATHROOM VENTILATION WHERE PRACTICAL.

TITLE: FLOOR PLANS & SCHEDULES
 SCALE: 1/4" = 1'-0"
 DATE: 12.12.2018
 REVISIONS:

NEW DWELLING
 at REAR OF
 #137 HIGH ST.,
 PORTSMOUTH, NH

37'
34'
33'
32'
31'
30'
29'



REAR LOT LINE

GRADE AT LOT LINE

GRADE AT COURTYARD

EXISTING GRADE AT PROPOSED BUILDING LINE

48' LONG TRELLIS, CLIMBING FRAME FOR CONCORD GRAPE VINES 4x4 x 6' HIGH POSTS @ 6' o.c. GALV. WIRE @ 8" o.c.

PROPOSED WEST ELEVATION

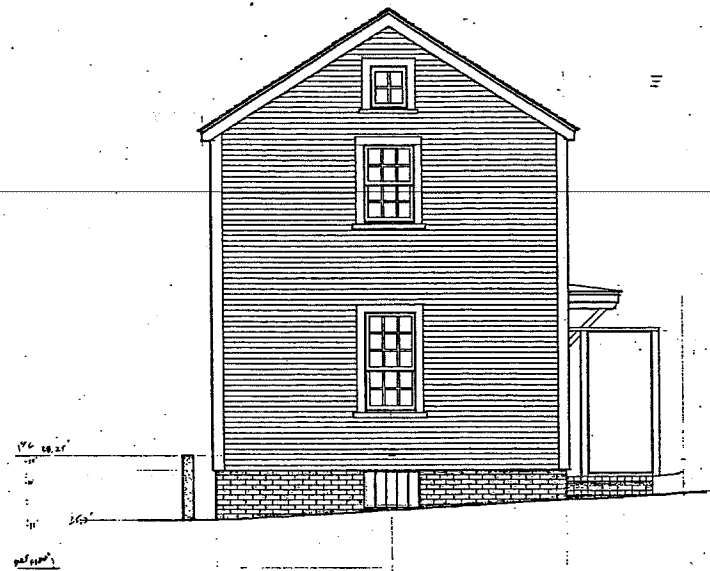
12.28.2017

1/8" = 1'0"

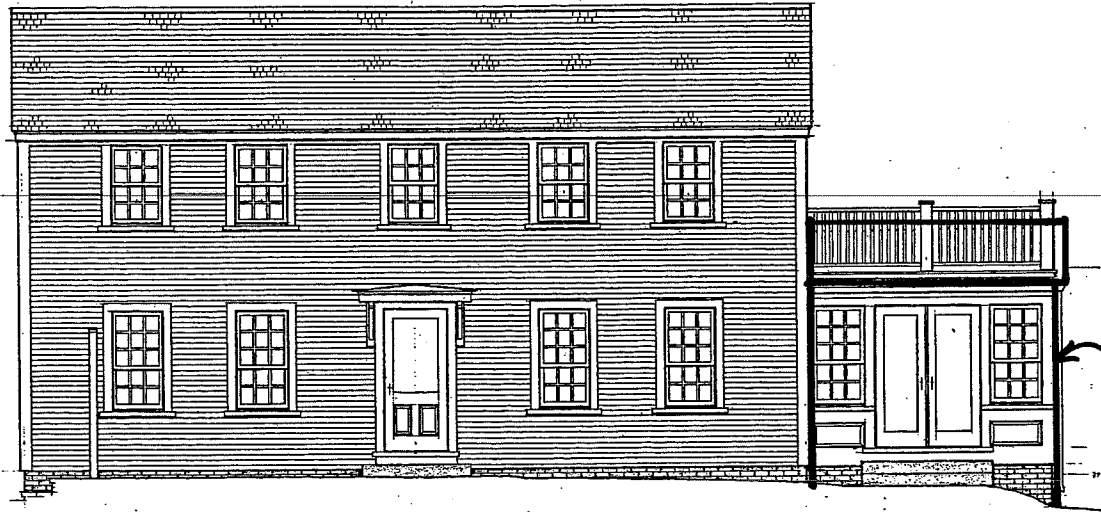
101.46'

FRONT LOT LINE

TITLE: PROPOSED WEST ELEVATION AT LOT LINE
SCALE: 1/8" = 1'0"
DATE: 12.28.2017
REVISIONS:
REMODEL & ADDITION
at #137 HIGH STREET,
PORTSMOUTH, NH



PROPOSED FRONT (SOUTH)
ELEVATION



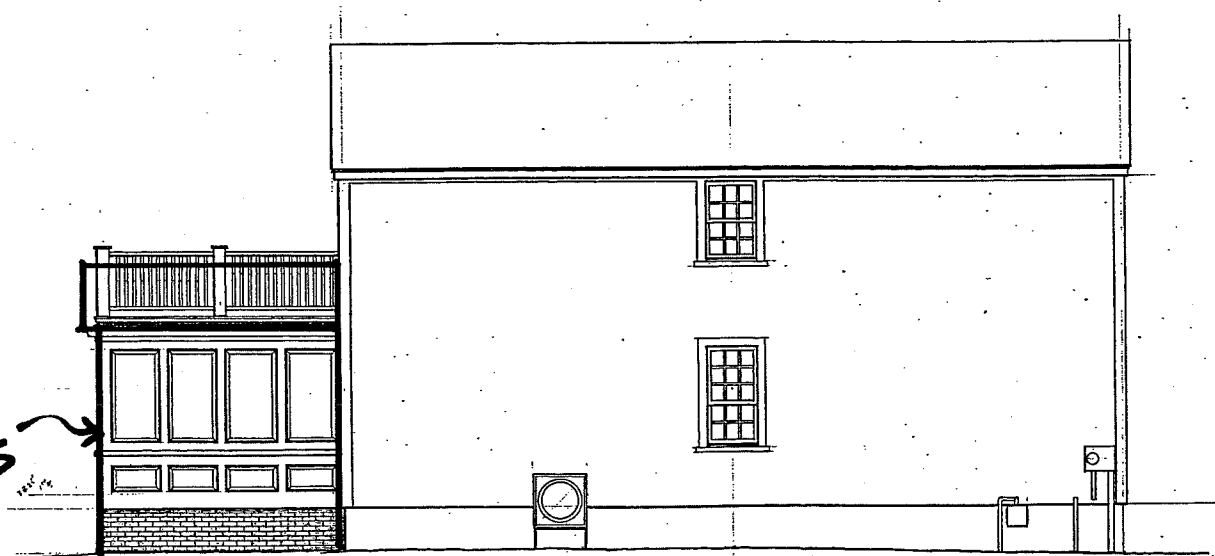
PROPOSED RIGHT SIDE (EAST) ELEVATION

EXISTING CONDITIONS

EXISTING CONDITIONS OVERLAYED TO PROPOSED

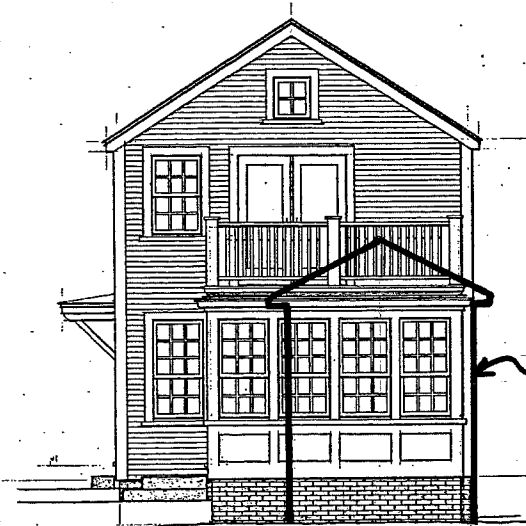
TITLE : PROPOSED ELEVATIONS
SCALE : 1/4" = 1'-0" * REDUCED TO FIT 11 X 17
DATE : 1.26.2018
REVISIONS

REMODEL & ADDITION
at #127 HIGH ST.,
PORTSMOUTH, NH



PROPOSED LEFT SIDE (WEST) ELEVATION

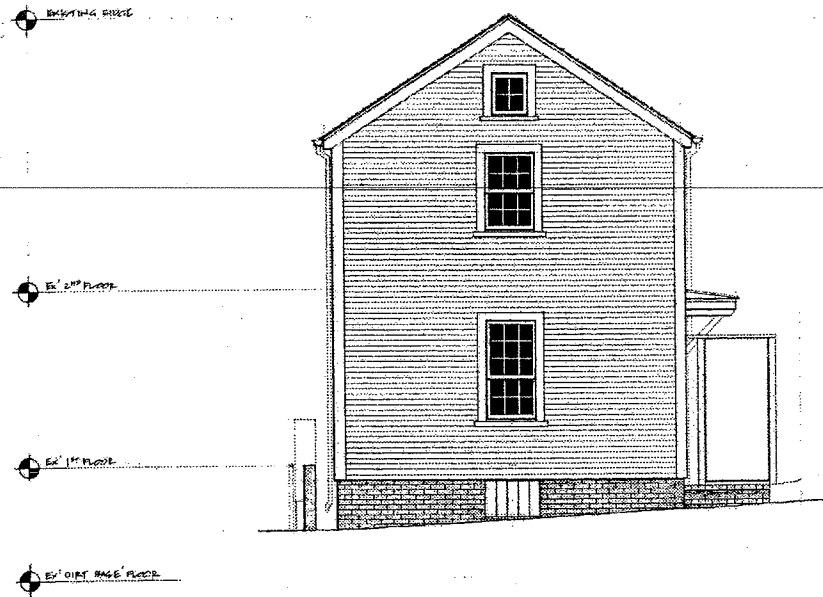
EXISTING CONDITIONS



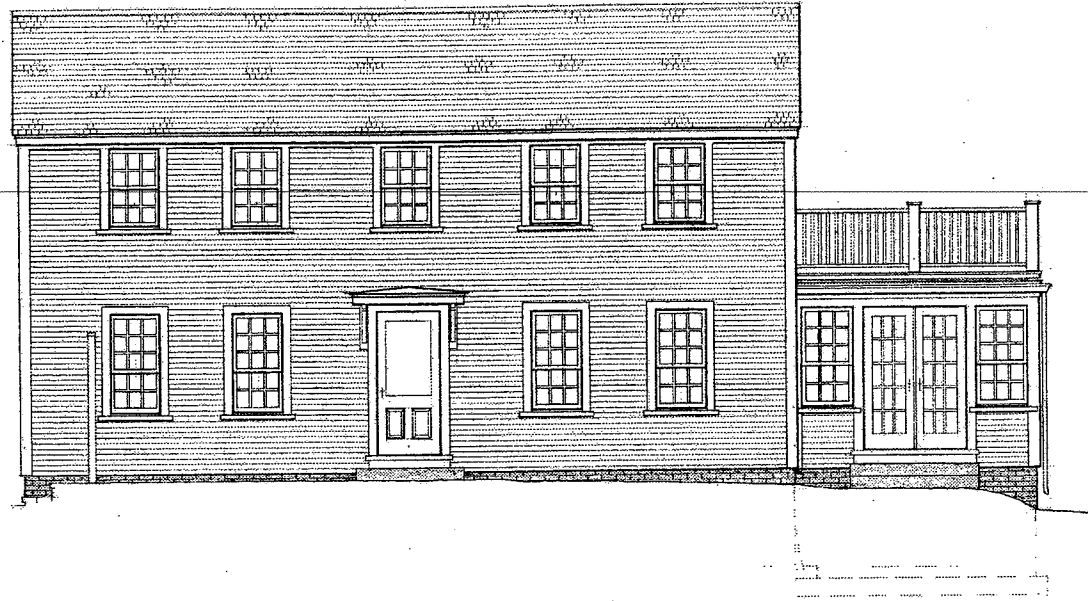
PROPOSED REAR (NORTH)
ELEVATION

EXISTING CONDITIONS

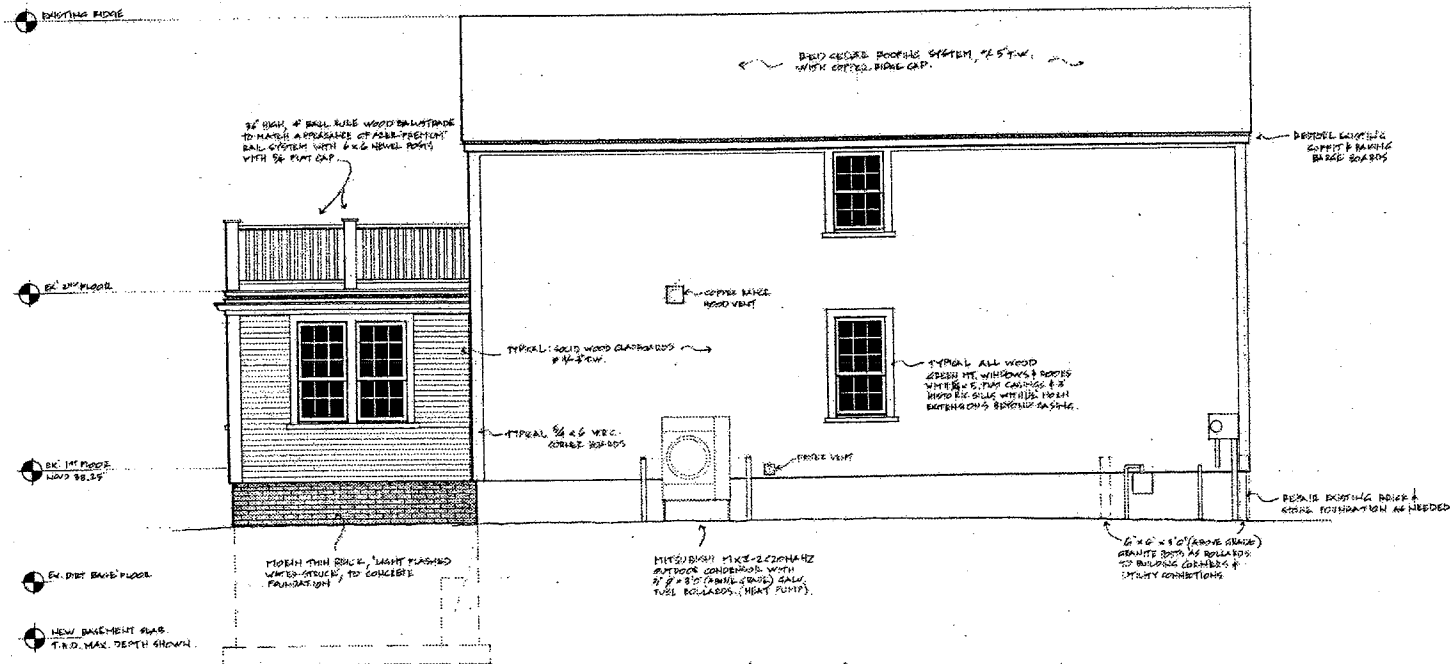
* REDUCED TO FIT 11 X 17



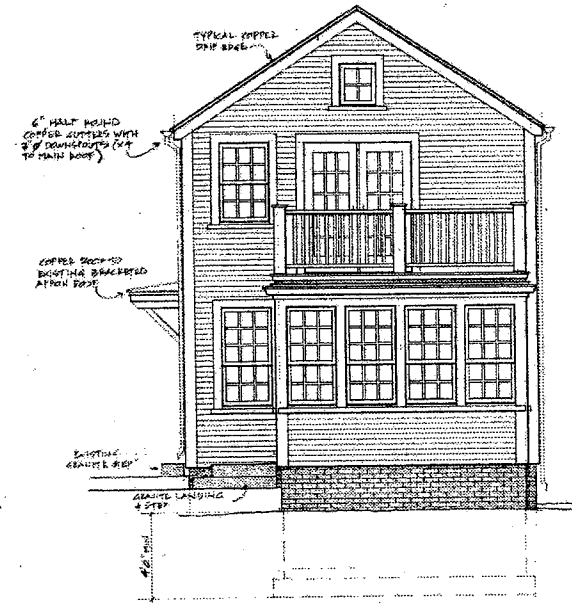
PROPOSED FRONT (SOUTH)
ELEVATION



PROPOSED RIGHT SIDE (EAST) ELEVATION



PROPOSED LEFT SIDE (WEST) ELEVATION

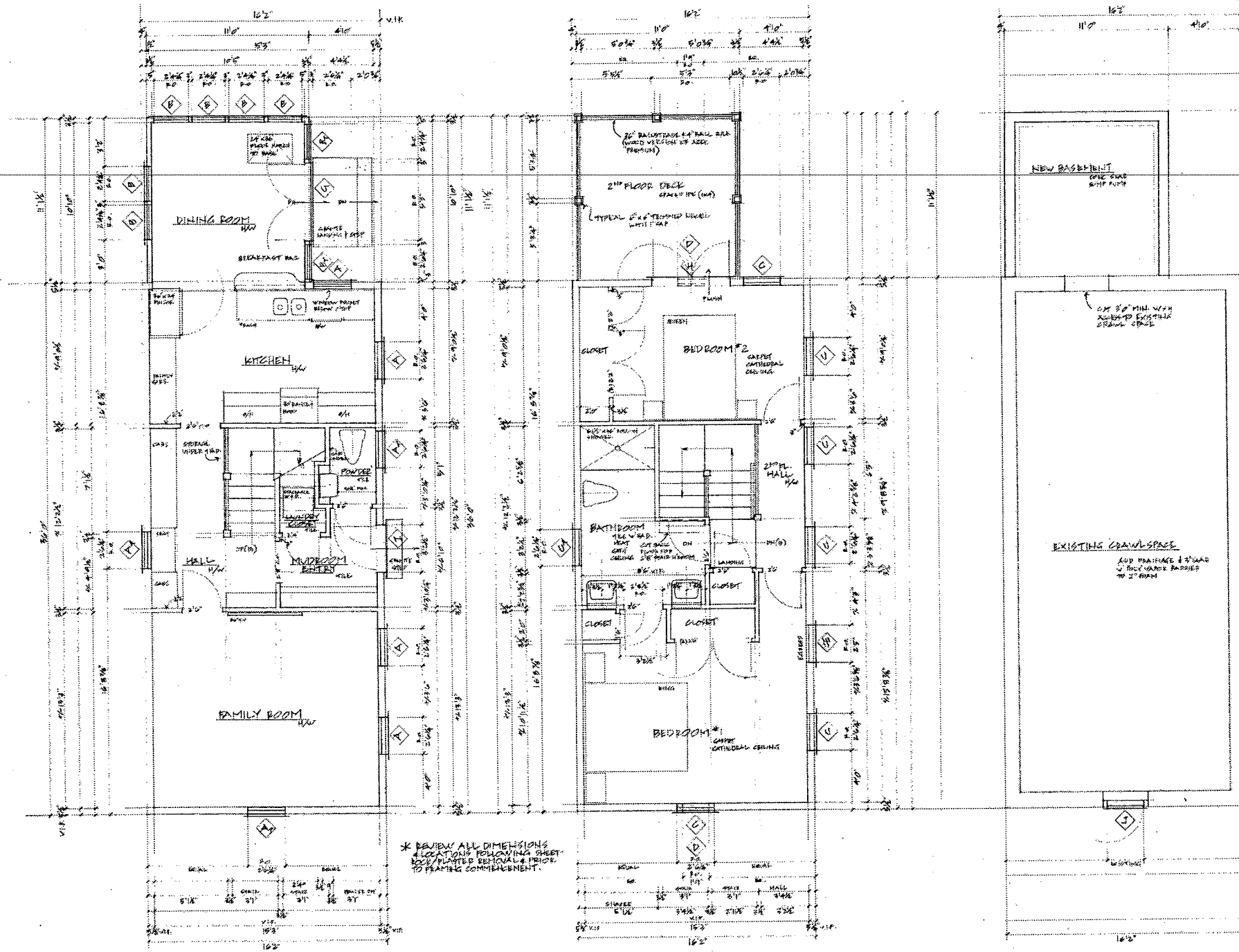


PROPOSED REAR (NORTH)
ELEVATION

Brendan McNamee
19 Deer Drive
Brenton, ME 04915
207.487.9741 Phone & Fax
brendan@brendanmcnamee.com
BrendanMcNamee.com

TITLE : PROPOSED ELEVATIONS
SCALE : 1/4"=1'-0"
DATE : 1.26.2018
REVISIONS 12.12.2018

REMODEL & ADDITION
#127 HIGH ST.,
PORTSMOUTH, NH.



PROPOSED
FIRST FLOOR PLAN

PROPOSED
SECOND FLOOR PLAN

PROPOSED
BASEMENT/CRAWL SPACE

EXTERIOR DOOR & WINDOW SCHEDULE (GREEN MOUNTAIN WINDOWS) (#127)

No.	Ro. (WxH)	GRID	TYPE	NOTES	SWG	RT
A	2'6 1/2" x 4'9 1/2"	6'11"	MDH2424 RCL	DOUBLE HUNG W REVERSE COFFEE STYLE	6%	4
A _T	"	"	"	"	"	5
B	2'4 1/2" x 4'9 1/2"	"	MDH2424 RCL	"	4%	6
B _T	"	"	"	"	4%	2
C	2'6 1/2" x 3'9 1/2"	8'3"	MDH2410	"	6%	6
C _T	"	"	"	"	"	1
CE	2'5" x 9'9 1/2"	"	MEM2044	LH CASERMENT (KERS) TO MATCH APPEARANCE OF 'C'	"	1
D	1'9" x 2'1 1/4"	"	MEM2024	LH CASERMENT	"	2
G	5'3" x 6'11"	"	MDH2424 RCL	FRENCH DOORS, RH ACTIVE	4%	1
H	4'3" x 6'3"	"	MDH2424 RCL	FRENCH DOORS, LH ACTIVE, OUTSWING	6%	1
I	3'2 1/2" x 6'11"	"	MDH2424 RCL	FRONT DOOR, SEE ELEVATION (PH)	"	1
J	EXISTING	"	"	REMOVE EXISTING BASEMENT/CRAWL SPACE DOOR	"	1

- 3/8" S.D.L. WITH SPACE BARS.
- FLASHING: LOWE'S KEYTON
- CASINGS, 3/4" x 5, PLAT
- 3/8" SCREWS TO DOUBLE HUNG
- EXTERIOR: FRAME, CASINGS & SILL, PAINTED WHITE. SASHES WHITE.
- INTERIOR: PAINTED WHITE.
- SILLS, "HISTORIC," 3", NOTE CONTIGUOUS SILL TO 1/2" & 1/2" NORTH EXT. EXTENSIONS.
- 2" OIL RUBBED BRONZE HARDWARE THROUGHOUT.

INSULATION SCHEDULE:

USE "VALUE ENGINEERING" FRAMING TECHNIQUES WHERE POSSIBLE TO ENSURE ACCESSIBILITY FOR SPRAYFOAM APPLICATION, ESPECIALLY AT EXTERIOR CORNERS. NOTE 1" RIGID FOAM AS HEADER SHIMS AND 1/2" TO 5/8" 'LV' HEADERS. FILL ANY VOIDS IN FRAMING THAT OCCUR WITH RIGID FOAM TO ELIMINATE ANY AIRSPACE. CAULK GANGED FRAMING MEMBERS AND PLATE/FLOOR CONNECTIONS. SEE SECTIONS FOR GRAPHICAL DISCRPTION.

EXTERIOR: CLOSED CELL, POLYURETHANE SPRAYFOAM, RATED TO 6 BR/INCH MINIMUM. ALLOW 21 DAYS BEFORE COVERING WITH SHEETROCK TO MONITOR SHRINKAGE.

ROOF: R42 "FLASH", 7/8", 2X RAFTER MEMBERS LOWER EDGES, WHERE POSSIBLE, TO CREATE THERMAL BREAK. ALL ROOF SPRAY FOAM WILL BE COVERED BY 1/2" SHEETROCK.

NEW BASEMENT AND CRAWL SPACE SLABS: 2"X12" R10 TO BOTTOM OF WALLS AND R10 TO UNDER SLABS.

EXISTING CRAWL SPACE AND NEW FOUNDATION WALLS: R21, ENSURE SILLS AT TOP OF FOUNDATION WALL ARE COVERED TO TOP OF MASONRY. APPLY SUITABLE FLAME RETARDENT BARRIER TO EXPOSED SPRAY FOAM. SEE SECTION DETAIL.

WALLS AND RIMJOISTS (NEW AND THOSE EXPOSED BY REMODEL/ADDITION): R21, ENSURE SILLS AT TOP OF FOUNDATION WALL ARE COVERED TO TOP OF MASONRY/STONE AND SPRAY INSULATION IS CONTIGUOUS TO CONCRETE SLAB FLOOR.

WINDOWS AND DOORS: LOW EXPANSION FOAM TO ALL OPENINGS, ENSURE COMPLETE FILL (4 9/16"), WITHOUT EFFECTING WINDOW/DOOR OPERATION.

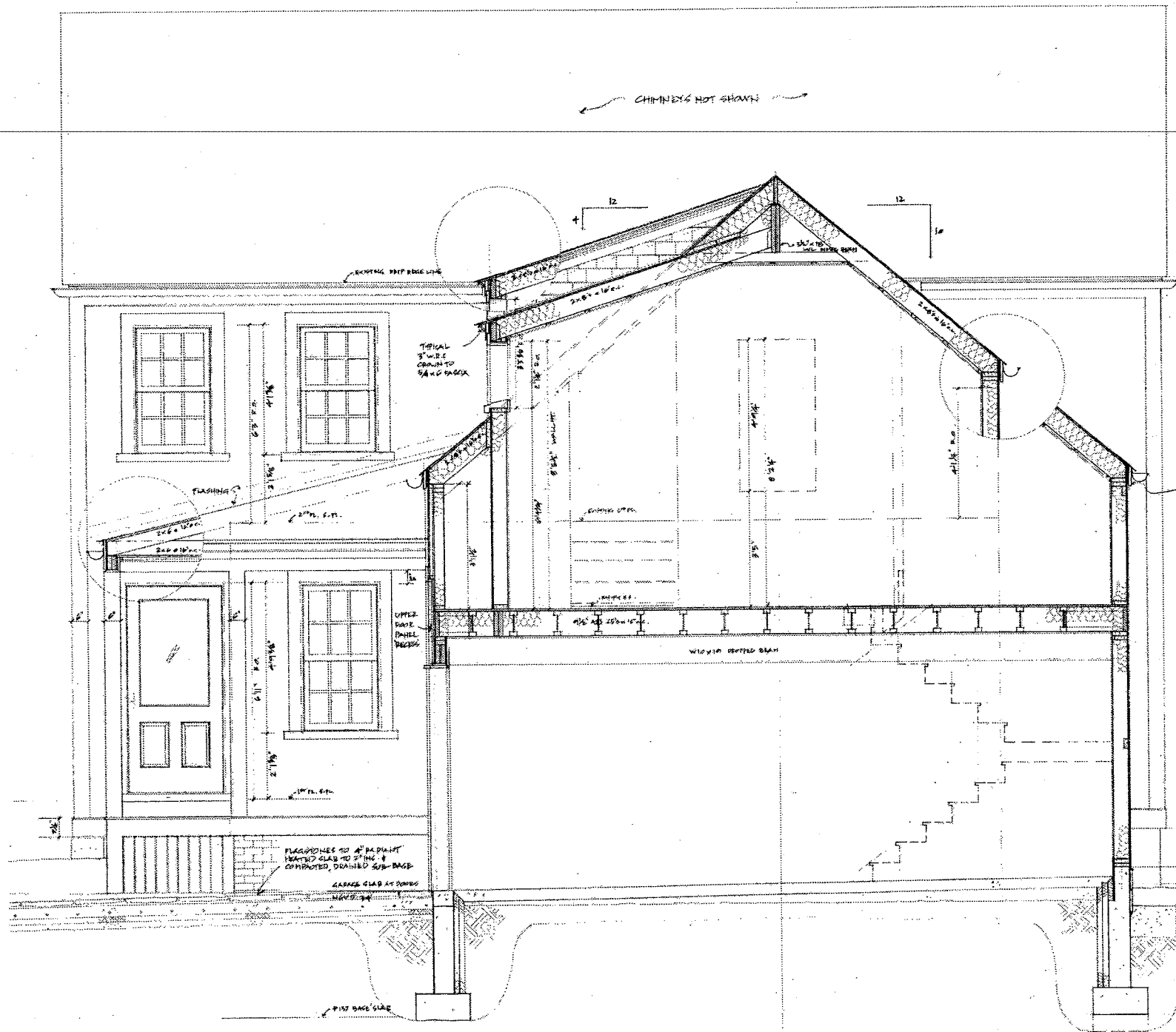
INTERIOR: R11 AND R19 ROXUL (OR SIMILAR, OR BETTER) TO ALL INTERIOR WALLS FOR SOUND. USE TO SUIT 2X4 AND 2X6 WALL THICKNESS. R19 TO 1", 2" FLOOR JOIST SYSTEMS, WHERE POSSIBLE.

AIR INFILTRATION: FROM BLOWER DOOR TEST, THE BUILDING MUST ACHIEVE A MINIMUM OF 0.25 ACH. CAULK ALL "GANGED" FRAMING MEMBERS AND PLATE/FLOOR CONNECTIONS. SEAL ALL PENETRATIONS AS PER MANUFACTURERS REQUIREMENTS. AN ENERGY RECOVERY VENTILATION SYSTEM WILL BE INSTALLED AND UTILIZED FOR BATHROOM VENTILATION WHERE PRACTICAL.

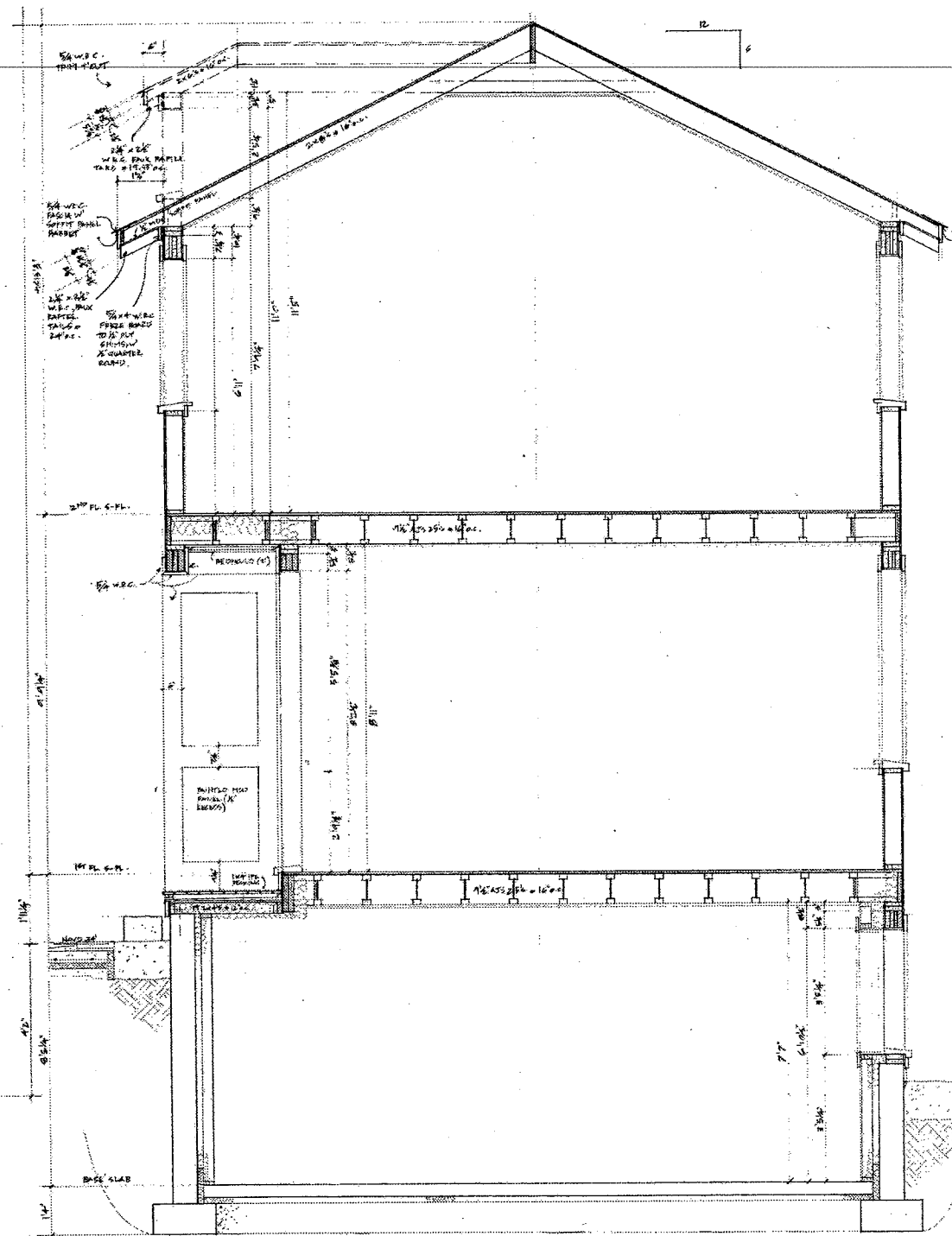
Frederick McNamee
10 Deane Drive
Box A/E 03101
252-493-8271 Phone & Fax
fmcnamee@frederickmcm.com
www.frederickmcm.com

TITLE: PROPOSED FLOOR PLANS & SCHEDULES
SCALE: 1/8" = 1'-0"
DATE: 12.12.2018
REVISIONS:

REMODEL & ADDITION
at #127 HIGH ST,
PORTSMOUTH, NH

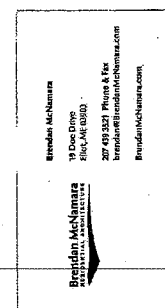


① SECTIONAL VIEW, ADDITION TO #137 (EAST/WEST)



② SECTIONAL VIEW, UNIT #4 (SOUTH/NORTH)
1/2"=10'

ADDITION & NEW DWELLING AT
#127 #137 HIGH ST., PORTSMOUTH
NEW HAMPSHIRE
TITLE : PROPOSED SECTIONAL VIEWS, ADDITION TO #137 + UNIT #4
SCALE : 1/2"=10'
DATE : 10.30.2016
REVISIONS:

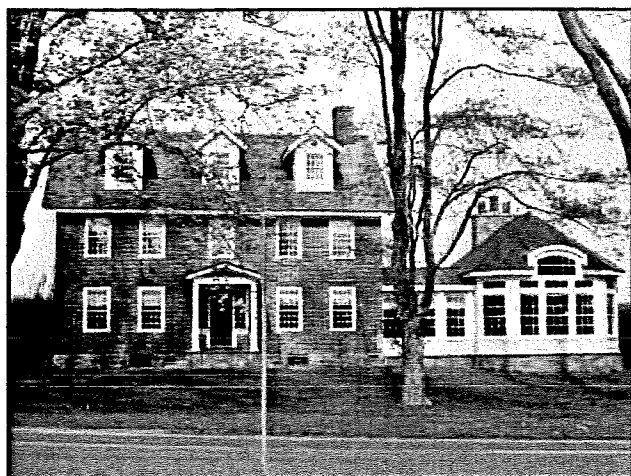


Green Mountain Window Co.

92 Park St, Rutland, Vermont

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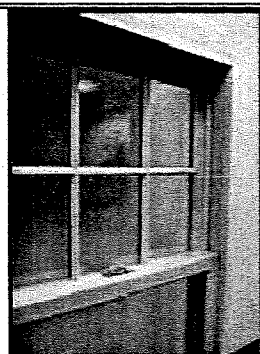
The Green Mountain Window Milestone Series



"We realized that if we could create a window with historical aesthetics and energy performance, the result would truly be a milestone."

A.K., President, Green Mountain Window Co.

Green Mountain Window Milestone Double Hung



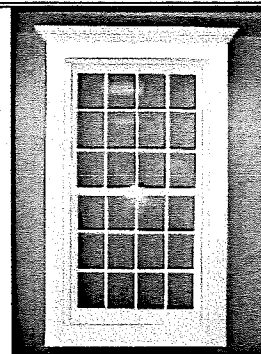
Interior Features

Frame:

- No vinyl jamb liner (also known as vinyl tracks).
- Virtually no vinyl or weather-strip visible.
- Concealed block and tackle balance system.

Sash:

- Tilts in easily with concealed latches.
- High quality Truth® brand hardware in brown or white. Options: "Colonial" sweep lock in oil rubbed bronze and "Arts and



Exterior Features

Frame:

- No jamb liner allows entire exterior to be painted one color (no un-paintable vinyl tracks).
- Pediment head option shown comes factory applied.

- Thick sill nose option shown comes factory applied.
- Virtually any casing option or wood species available.

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- [Cabot Colors](#)
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- [Doors](#)
- [Help Wanted](#)
- [Milestone](#)
- [Classic](#)
- [The Green Mountain Window Advantage](#)

- Crafts" brass pivot lock (shown above).
- Historic aesthetics with wide rails and profiled edges.
- Weather-stripped on all edges.

Divided Lights:

- 5/8" wide Simulated Divided Lite (S.D.L.) has ogee pattern.
- 7/8" wide S.D.L. has bead pattern.
- Many profile options available, including custom.
- S.D.L. available with or without divider between glass.



Glazing & Energy Options:

- Overall insulated glass thickness of 1/2" preserves historic look (thicker units look more modern).
- Warm edge spacer and double strength glass used all insulating units.
- Low E glass with Krypton gas fill option achieves Energy Star rating.
- Restoration and antique wavy glass available.

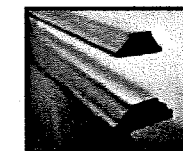
	U-Factor		R-Factor		SHGC		VT	
ENERGY DATA	Res	Cm	Res	Cm	Res	Cm	Res	Cm
1/2" Clear Insul	.54	.54	1.85	1.85	.55	.55	.57	.59
1/2" Low E / Argon	.41	.40	2.44	2.50	.47	.48	.53	.55
1/2" Low E / Krypton	.35	.34	2.86	2.94	.47	.48	.53	.55

Sash:

- Historic aesthetics.
- Exterior glazed for historical accuracy.

Divided Lights:

- 5/8" wide S.D.L. has putty glazed look.
- 7/8" wide S.D.L. has wood bead glazed look.



Milestone - vs - Standard G.M.W.

- The Milestone™ series double hung is a higher end, more historically correct window than the "standard" Green Mountain Window.
- The most pronounced aesthetic features that set it apart from the standard GMW (and from the competition) are the concealed balance system and hidden tilt-in mechanism.
- The air infiltration rating on the Milestone double hung is .11 scfm/ft2, one of – if not the – best in the industry. The overall "Design Pressure" rating is DP35 with an option of DP40 with a slightly taller sill stop. The standard G.M.W. has an air infiltration rating of .20 scfm/ft2, with an overall rating of DP30.
- The Milestone double hung must be installed carefully and accurately to assure optimum performance. In order to operate correctly the unit must be plumb, square and the jambs must be straight.
- For a more through description of the standard GMW window please see our green brochure or contact your dealer.

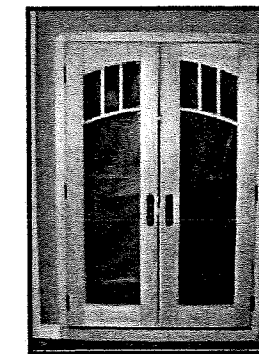
Green Mountain Window Milestone Door



Door Features

Panel:

- Historic aesthetics throughout. 6 3/8" bottom rail, 4 9/16" top rail and side stiles. Custom available.



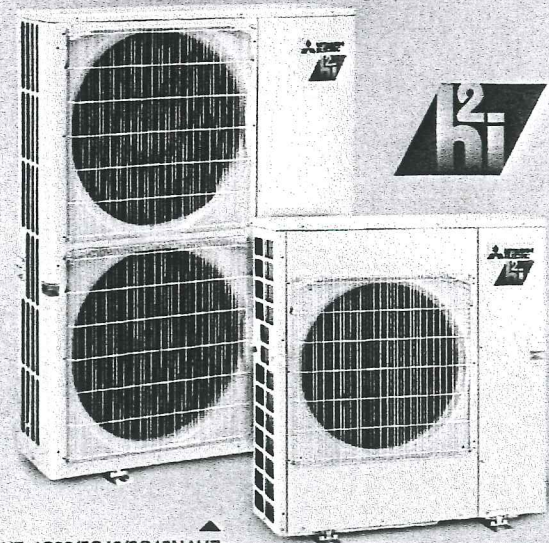
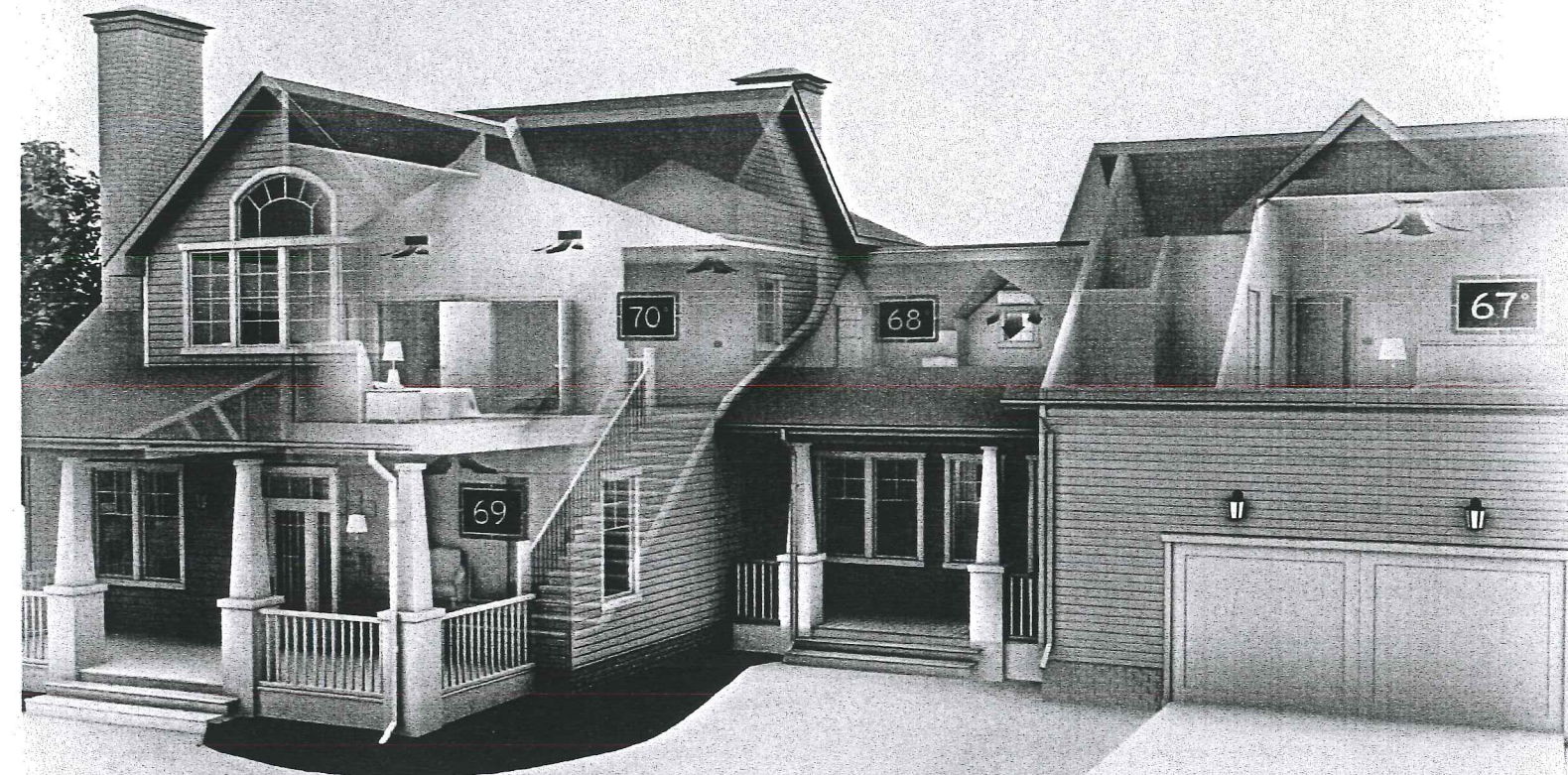
Other Features

Hardware:

- Standard hardware is brass with multipoint lock system. Other finishes include: brushed chrome, oil rubbed bronze, polished chrome,



MULTI-ZONE SYSTEMS



M-SERIES HIGH PERFORMANCE HYPER-HEATING MULTI-ZONE SYSTEMS

©2014 MITSUBISHI ELECTRIC US, INC.

Product Description	Reviews ³	Product Q&A ¹	Recommended Accessories	How-To Articles	Manuals
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Features

For over 50 years, Mitsubishi has remained at the forefront of the mini split industry thanks to their dedication to providing efficient, user-friendly comfort solutions. The MXZ-4C36NAHZ is an H2i hyper-heating outdoor condenser for multi-zone mini split applications in freezing climates. It supports up to four indoor units, allowing you to create a custom zoned heating and cooling system based entirely around the specific needs of your home. With a broad range of compatible indoor units, efficiency-boosting inverter technology, and heating capabilities that withstand some of the coldest conditions, the MXZ-4C36NAHZ is a smart addition for nearly any home.

H2i Technology

- Low and negative ambient temperatures don't bother the MXZ-4C36NAHZ. It is rated for 100% heating capacity at 5 degrees F and continues to provide heating in outdoor conditions as low as -13 degrees F.

Precision Temperature Control Technology

- This outdoor condenser is equipped with inverter technology and an electronic linear expansion valve. By adjusting compressor speed and refrigerant flow, these components provide precise temperature control and incredible efficiency.

Integrated Base Pan Heater

- MXZ-C outdoor condensers have a factory-installed base pan heater in the drain pan. This prevents condensate from freezing and damaging the unit in frigid climates.

Mix and Match

- The MXZ-4C36NAHZ is compatible with more than two dozen different indoor units. It even works with the advanced MSZ-FH indoor units. This makes it easy to design a system that suits your home, no matter how it is arranged.

Product Compatible With

- Mitsubishi MSZ-GE Wall Mounted Mini Split Indoor Units
- Mitsubishi MSZ-FE Wall Mounted Hyper-Heating Mini Split Indoor Units
- Mitsubishi MSZ-FH Wall Mounted Hyper-Heating Mini Split Indoor Units
- Mitsubishi MFZ-KA Floor Standing Mini Split Indoor Units
- Mitsubishi SEZ-KD Concealed Duct Mini Split Indoor Units
- Mitsubishi SLZ-KA Ceiling Cassette Mini Split Indoor Units
- Mitsubishi PLA-A12BA4 Ceiling Cassette Mini Split Indoor Units
- Mitsubishi PLA-A18BA4 Ceiling Cassette Mini Split Indoor Units
- Mitsubishi PLA-A24BA4 Ceiling Cassette Mini Split Indoor Units
- Mitsubishi PEAD-A24AA4 Concealed Duct Mini Split Indoor Units

Product Note

Specifications

General Information

Type	Outdoor Condenser
Product Line	M-Series H2i
Operating Mode [?]	Cooling + Heating
Maximum Number of Zones	4
Multi-Zone Compatible	Yes
Installation Location	Outdoor
Branch Box Required [?]	Yes

Performance

Nominal Capacity	36000 BTU
Maximum Sound Level [?]	53 dB
Minimum Outdoor Temperature for Heating [?]	-13 F
Minimum Outdoor Temperature for Cooling	23 F

Electrical Data

Voltage	208/230 Volts
Phase	1
Frequency	60 Hz
Minimum Circuit Ampacity	42 Amps
Recommended Breaker Size	50 Amps

Dimensions

Maximum Line Length	492 Feet
Liquid Connection Size	0.375 Inches
Gas Connection Size	0.625 Inches
Product Height	52.6875 Inches <i>4' 4 3/8"</i>
Product Width	41.34375 Inches <i>3' 5 3/8"</i>
Product Depth	14 Inches <i>1' 2"</i>
Product Weight	276 Pounds

Certifications

Energy Star Listed	Yes
ETL Listed	Yes

New England Thin Stone Veneer

STONEYARD



Boston Blend™ LedgeStone*



Boston Blend™ Ashlar*



Boston Blend™ Mosaic*



Boston Blend™ Square & Rec*



Boston Blend™ Round*



Colonial Tan™ LedgeStone*



Colonial Tan™ Ashlar*



Colonial Tan™ Mosaic*



Colonial Tan™ Square & Rec*



Colonial Tan™ Round*



Rustic Tan™ LedgeStone*



Rustic Tan™ Ashlar*



Rustic Tan™ Mosaic*



Rustic Tan™ Square & Rec*



Newport Mist™ LedgeStone*



Newport Mist™ Ashlar*



Newport Mist™ Mosaic*



Newport Mist™ Square & Rec*



Portsmouth Granite™ LedgeStone*



Portsmouth Granite™ Ashlar*



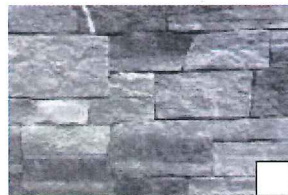
Portsmouth Granite™ Mosaic*



Portsmouth Granite™ Square & Rec*



Oyster Bay™ LedgeStone*



Oyster Bay™ Ashlar*



Oyster Bay™ Mosaic*



Oyster Bay™ Square & Rec*



Vineyard Granite™ LedgeStone*



Vineyard Granite™ Ashlar*



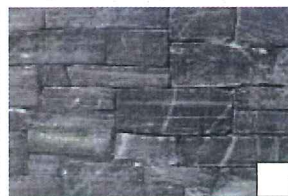
Vineyard Granite™ Mosaic*



Vineyard Granite™ Square & Rec*



Greenwich Gray™ LedgeStone*



Greenwich Gray™ Ashlar*



Greenwich Gray™ Mosaic*



Greenwich Gray™ Square & Rec*

Corners are available in all colors and shapes.

Stones in photos have been field-trimmed. Depending on preference, more or less trimming may be required to achieve the desired look.

Natural stone varies in color, veining, and pattern from piece to piece. STONEYARD® is not responsible for photos used in color literature, on websites, or in emails to accurately reflect actual material. Photos are used to create a general idea or feel for the material and cannot be used for color matching.

**This product is HCA (Harsh Climate Approved). It has been subjected to numerous freeze-thaw cycles and can withstand the harshest climates (both hot and cold). Perfect for interior and exterior use in any region including applications below grade. Also suitable for use in water features, near salt water, and in areas where blowing sand is a concern. Visit www.stoneyard.com/hca for more details.*

FOR PRICING

Call 978.742.9800
or Email
sales@stoneyard.com

WWW.STONEYARD.COM

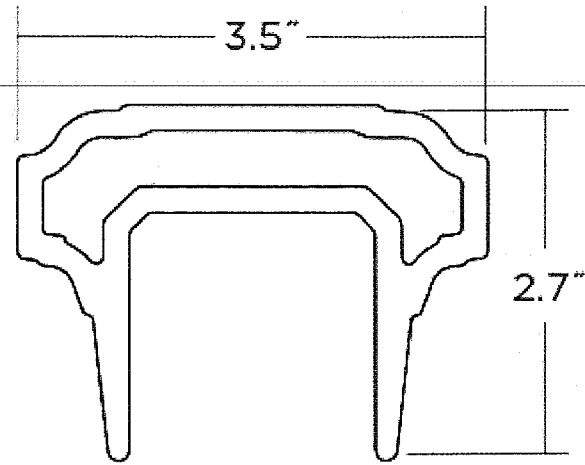
265 Foster Street, Littleton, MA 01460

Phone: 800.231.2200

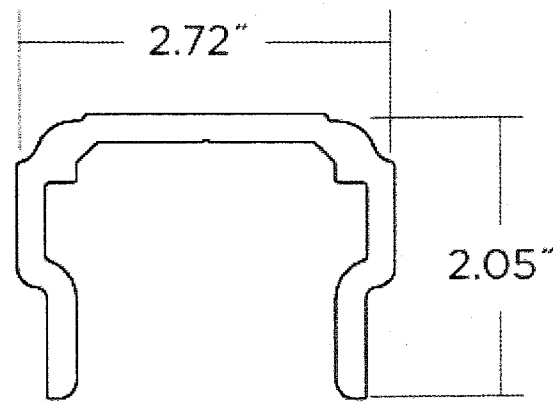
Fax: 978.742.9898

sales@stoneyard.com

RAIL DETAIL

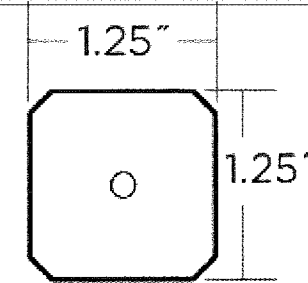


Premier Top Rail

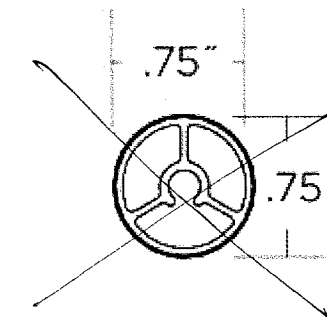


Premier Bottom Rail

INFILL DETAIL



Square Composite Baluster



Round Aluminum Baluster