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Durbin Law Offices, P.L.L.C.

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**Also admitted in MA*

VIA VIEWPOINT

May 26, 2020

City of Portsmouth
Zoning Board of Adjustment
Attn: David Rheume, Chairman
1 Junkins Avenue
Portsmouth, NH 03801

**RE: Variance/Special Exception Application of Raleigh Way Holding Group LLC
Off Saratoga Way, Tax Map 212, Lots 112-113**

Dear Chairman Rheume,

Our Office represents Raleigh Way Holding Group LLC, owner of two (2) lots located off of Saratoga Way in Portsmouth, for which zoning relief is being applied for. Attached herewith, please find the following materials for submission to the Zoning Board of Adjustment for consideration at its next regularly scheduled meeting:

- 1) Landowner Letter of Authorization;
- 2) Narrative to Variance Application with Exhibits A-D;
- 3) 3-Sheet Plan Set;
- 4) Floor Plans and Elevations; and
- 5) Photographs of the Property (Lots 112 and 113).

Should you have any questions or concerns regarding the enclosed application materials, do not hesitate to contact me at your convenience.

Sincerely,

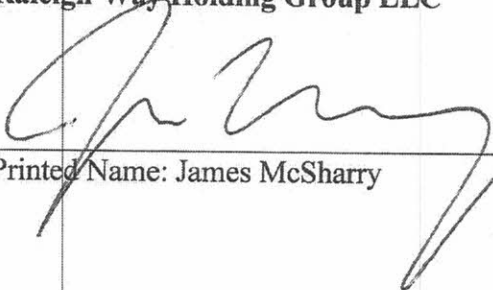
A handwritten signature in blue ink, appearing to read 'Derek Durbin', with a large, looping flourish at the end.

Derek R. Durbin, Esq.

LETTER OF AUTHORIZATION

Raleigh Way Holding Group LLC, owner of property located off of Albacore and Saratoga Ways, identified on Portsmouth Tax Map 212, as Lot 112-113 (the "Property"), hereby authorizes Durbin Law Offices PLLC, of 144 Washington Street, Portsmouth, New Hampshire 03801, to act as its agent and representative in connection with the filing of any building, zoning, planning or other municipal permit applications with the City of Portsmouth for said Property. This Letter of Authorization shall be valid until expressly revoked in writing.

Raleigh Way Holding Group LLC



Printed Name: James McSharry

May 25, 2020

**CITY OF PORTSMOUTH
ZONING BOARD OF ADJUSTMENT
APPLICATION NARRATIVE**

Raleigh Way Holding Group LLC
1 Middle Street, Suite 1
Portsmouth, NH 03801
(Applicant/Owner)

Lots Off Saratoga Way
Tax Map 212, Lots 112-113

INTRODUCTORY STATEMENT

Raleigh Way Holding Group LLC (the “Applicant”) is the owner of two (2) contiguous lots located at the intersection of Saratoga Way and Albacore Way identified on Tax Map 212, as Lots 112-113 (hereinafter “Lot 112” and “Lot 113” and collectively the “Property”). The Property is located in the General Residence B (“GRB”) Zoning District. Lot 113, which primarily fronts on Saratoga Way is 0.07 acres (3,263 sf.) and is unimproved except for an asphalt paved area that the Applicant intends to remove. Lot 112, which has a small amount of frontage on Albacore Way is 0.27 acres (11,682 sf.), is mostly unimproved except for an existing garage and shed that the Applicant intends to demolish.

The Applicant is proposing to merge Lot 112 and Lot 113 into one (1) parcel consisting of 14,944 sf. (0.34 acres) for the purpose of developing a four (4) unit residential building that is consistent in architectural design and appearance with other homes in the Atlantic Heights neighborhood.

BACKGROUND ON THE PROPERTY

Lot 112 consists of four (4) involuntarily merged parcels first shown on a subdivision plan from 1925 recorded in the Rockingham County Registry of Deeds (“RCRD”) as Plan #0273. **Exhibit A**. The 4 lots are identified on the Plan as parcels 13, 14, 15 and 16. Lot 113 has always been one (1) parcel of land identified as 17. *Id.* It is unclear when the City merged the 4 parcels comprising Lot 112, but it appears to have occurred several decades ago. In their unmerged state, the parcels are of similar dimension to many other properties throughout Atlantic Heights.

ATLANTIC HEIGHTS

The development of Atlantic Heights began in 1919 as one of the first federally funded housing projects in the nation, aimed at providing attractive affordable housing to low income workers. **Exhibit B**. It was designed in the architectural style of the English Garden-City Movement. At the time, Atlantic Heights was considered a “bold experiment in community design.” *Id.* Today, Atlantic Heights is still one of the more affordable option for housing in the City, which has experienced an incredible appreciation in real estate value.

SUMMARY OF ZONING RELIEF

1. Variance from Section 10.521 (Table of Dimensional Requirements) to allow lot area per dwelling unit of 3,736 sf. where 5,000 sf. is the minimum required in the GRB Zoning District; and
2. Special Exception pursuant to Section 10.440 to allow four (4) dwelling units where only two (2) is permitted by right.

VARIANCE CRITERIA

Granting the variances will not be contrary to the public interest and will observe the spirit of the Ordinance.

“There are two methods of ascertaining whether granting a variance would violate an ordinance’s basic zoning objectives: (1) examining whether granting the variance would alter the essential character of the neighborhood or, in the alternative; and (2) examining whether granting the variance would threaten the public health, safety, or welfare.” *Harborside Assoc v. Parade Residence Hotel*, 162 N.H. 508, 514 (2011).

Section 10.410 of the Ordinance indicates that the purpose of GRB Zoning is to provide areas for single-family, two family and multifamily dwellings, with appropriate accessory uses, at moderate to high densities (ranging from approximately 5 to 12 dwelling units per acre), together with appropriate accessory uses and limited.

In September 2005, the Board ruled on a variance application for property off of Falkland Place and Ranger Way in Atlantic Heights. **Exhibit C**. The application involved the construction of a building containing four (4) dwelling units and a building containing two (2) dwelling units on one (1) lot. The Applicant sought a variance to allow 3,254 sf. of lot area per dwelling unit where 7,500 sf. was required.¹ The Board granted the relief. In its written decision, the Board found as follows:

1. It will not be contrary to the public interest to add needed housing.
2. Literal enforcement of the ordinance results in a hardship due to the unique setting in Atlantic Heights where 75% of the lots have less square footage per dwelling unit than the proposed units.
3. No fair and substantial relationship between the purposes of the ordinance and the restriction on the property, as in this neighborhood, 7,500 s.f. of lot area per dwelling unit would be out of place and the number of units is well suited for the neighborhood.

¹ The Property was located within the Mixed Residential Business (“MRB”) Zoning District where 7,500 sf of lot area is required per dwelling unit.

4. The variances will not injury the public or private rights of others as the applicant has attempted to preserve the style and scale of area properties.
5. The variances are consistent with the spirit of the ordinance as there is an acknowledgment in the ordinance of the uniqueness of the Atlantic Heights area and this project is in keeping with the area.
6. Substantial justice is done as the petitioners will be able to appropriately develop their property while providing additional parking for the neighborhood.
7. The value of surrounding properties will, if anything, be enhanced by building attractive well-designed buildings.

The Falkland Place / Ranger Way application shares many similarities to the instant application being considered by the Board, except that even less density relief is being applied for in the present case (3,736 sf. v. 3,254 sf.). It is fair to presume, based on the City's current assessing records, and assuming that the Board's assessment of Atlantic Heights was accurate in 2005 when it rendered its decision, that 75% or more of the properties in that neighborhood still have less lot area per dwelling unit than what the Applicant has proposed with the instant application. The tax map and assessing records for many of the properties immediately surrounding Lots 112 and 113 evidence this. **Exhibit D**. Many of the lots remain in their original configuration of 25' x 90', more or less, and contain one (1) dwelling unit.

The proposed architecture of the four (4) unit building would also conform in appearance to buildings on surrounding properties as demonstrated by the elevations submitted to the Board. The building is designed to have the appearance of a large converted Carriage House or Barn with a gambrel roof and architectural detailing that is in keeping with the original style of the period. The Applicant further intends to install solar panels on the building to take advantage of the southern exposure and to provide an alternative energy source for the Property. In addition, the Applicant has designed a detailed stormwater plan to alleviate any concerns about the grade of the Property in relation to surrounding properties.

The proposed building will comply with all required building setbacks and have a consistent height to surrounding structures, thus there will be no negative impact upon the light, air and space of abutting properties. The Applicant is creating adequate off-street parking to accommodate the proposed dwelling units, which will mitigate any concerns about on-street congestion in the neighborhood.

The Applicant will be cleaning up and improving two (2) derelict lots and creating something that will add value to the Atlantic Heights neighborhood. It will be creating new affordable housing where demand far exceeds supply within the City. The application before the Board is a detailed, well thought-out plan that reflects this intention.

For the foregoing reasons, granting the variances requested will not alter the essential character of the neighborhood nor will it create any undue demand upon municipal services or threat to surrounding property owners or the public's health, safety or welfare.

Substantial justice will be done by granting the variance relief.

Any loss to the individual that is not outweighed by a gain to the general public is an injustice. *New Hampshire Office of State Planning, The Board of Adjustment in New Hampshire, A Handbook for Local Officials* (1997); *Malachy Glen Assocs., Inc. v. Town of Chichester*, 155 N.H. 102 (2007).

The Applicant has proposed an appropriate development and use of the Property that can only serve to enhance the character of the neighborhood. As such, there is no conceivable gain to the public in denying the relief sought. To the contrary, granting the variance relief will add value to the neighborhood and create new affordable housing for the community. Alternative development plans for the property with a lesser unit count would either create something that is architecturally inconsistent and out-of-character with the rest of the neighborhood and/or would be financially infeasible given the costs to acquire the land and develop it.

The values of surrounding properties will not be diminished by granting the variance relief.

The proposed four (4) unit residential building is consistent in style and scale with other buildings in the Atlantic Heights neighborhood. In fact, it is quite similar, albeit more aesthetically appealing, than what the Board approved off of Falkland Place and Ranger Way in 2005. Improving two (2) derelict lots that serve little purpose to the neighborhood with an attractive development can only serve to enhance surrounding property values.

Literal enforcement of the provisions of the Ordinance would result in an unnecessary hardship.

The Property is distinguishable from surrounding properties for the following reasons:

- (1) It is significantly larger than most other properties within the Atlantic Heights neighborhood;
- (2) The Property consists of five (5) lots of record, four (4) of which were involuntarily merged and can be un-merged by statutory right and potentially developed for single-family purposes. Each lot on its own is consistent in dimension to many other single-family properties in Atlantic Heights;
- (3) The development of four (4) residential units on the Property will result in greater conformity with the Ordinance than what exists with most other properties in Atlantic Heights, which have less than 3,736 square feet per dwelling unit.

As a result of these unique conditions, there is no fair and substantial relationship between the general purposes of the Ordinance provisions and their application to the Property.

In the case of *Belanger v. Nashua*, the New Hampshire Supreme Court recognized that municipalities have an obligation to have their zoning ordinances reflect current characteristics of

the neighborhood. 121 N.H. 389 (1981). In the present instance, the GRB density standard does not reflect the prevailing character of the Atlantic Heights neighborhood

The proposed use is reasonable.

The creation of a four (4) unit residential building of consistent architecture to surrounding properties that meets the off-street parking requirements and contains more lot area per dwelling unit than the majority of other properties in Atlantic Heights is an objectively reasonable use of the Property.

SPECIAL EXCEPTION CRITERIA

The criteria for granting a special exception relative to the four (4) dwelling unit use of the Property under Section 10.440 is addressed as follows:

Sec. 10.232.21

The four (4) unit residential use of the Property is permitted by Special Exception.

Sec. 10.232.22

There will be no hazard to the public or adjacent property on account of potential fire, explosion or release of toxic materials. The building will be built to current code requirements, thus providing a safer structure than what exists with many older multi-family buildings in the area.

Sec. 10.232.23

There will be no detriment to surrounding property values in the vicinity or change in the essential characteristics of the surrounding area. *See* Pages 2-4 of Narrative.

Sec. 10.232.24

There will be no creation of a traffic safety hazard or substantial increase in the level of traffic congestion in the area resulting from the proposed four (4) unit residential use of the Property. The Property will meet the Ordinance's parking space requirements and will not result in any substantial increase in vehicular traffic to the area.

Sec. 10.232.25

The proposed use of the Property will not result in any excessive demand on municipal services. The development of the Property will be offset and compensated for by the permit-related fees and improvements that the City will require of the Applicant. It is fair to assume that families of four (4) or less, couples, or individuals, will occupy the residences, which will contain approximately 2,120 square feet of living space, three (3) bedrooms and (2) bathrooms. This will certainly not result in any demand upon the school system or municipal utilities or other services that will not be offset by the tax revenue received and opportunities created by the additional housing created.

Sec. 10.232.26

There will be no significant increase of stormwater runoff onto adjacent properties or streets.

Drainage for a large portion of this block of the neighborhood is collected and flows through an existing 18" culvert which flows to a drain manhole structure in Albacore way. This parcel is low in elevation and thus it does not negatively impact abutting parcels.

Alex Ross, from Ross Engineering, tested the soils and their percolation rate. The tests indicate that the soils have a fast rate of permeability. Alex and his staff have also visited the site during after several rainfall events and there was no standing water found on the Property. The Applicant intends to control the roof and asphalt runoff by directing it into infiltration swales and raingardens. This will allow the stormwater to be detained the resulting runoff rate that is directed towards the 18" culvert will be the same or decreased post-development compared to pre-development. It is important to note that if the zoning relief is successful, the Applicant will be required to go through TAC and Planning Board review, where certain aspects of the stormwater management plan may be modified.

CONCLUSION

In conclusion, the Applicant has demonstrated that it satisfies all the criteria for granting the variance and special exception relief requested. Accordingly, the Applicant respectfully requests that the Board approve the its application as presented.

Respectfully Submitted,

Dated: May 26, 2020

Raleigh Way Holding Group LLC

By and Through Their Attorneys,

Durbin Law Offices PLLC



By: _____
Derek R. Durbin, Esq.
144 Washington Street
Portsmouth, NH 03801
(603)-287-4764
derek@durbinlawoffices.com

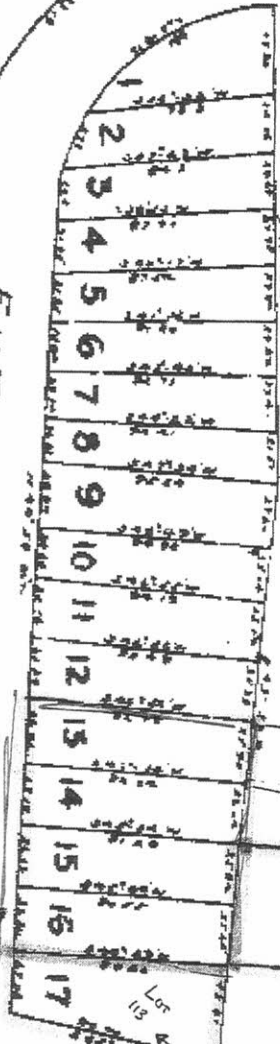
T 8

PLOT 7

PLOT 6

BLOCK 6

FUTURE FAIRLAND WAY



Raleigh Way

Parcel 1

Parcel 3

SARATOGA WAY

Parcel 2
Lot 112

Portion of
RD #0273

CITY OF PORTSMOUTH
SCHOOL HOUSE LOT



Seacoast History

- HISTORY
- Historical Societies
- As I Please
- Jesse James Films
- History Matters

Maritime History

- Famous People
- Black History
- Places & Events
- Timeline

SEACOASTNH

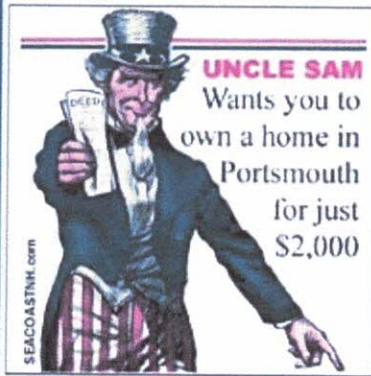
- Who We Are
- Talk With Us

TOP LOCAL LINKS

- Seacoast News
- Events Calendar
- Dining Guide
- Discover Portsmouth
- The Daily Portsmouth

KEEP HISTORY ALIVE

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LIVING IN THE SEACOAST

The brainstorm was to build affordable housing that low income workers actually liked. The result in 1919 was one of the first federally funded housing projects in the nation. When Uncle Sam sold off these "garden city" movement houses, poor renters were offered a deal. But

things rarely go the way Uncle Sam plans.

It looks vaguely like an English village poised above the dark Piscataqua River, and with good reason. Atlantic Heights, a Portsmouth neighborhood of red brick dwellings, was supposed to break the mold of drab homes for working-class families. Designed in 1918 in just ten days, built in eight months, the nation's first federally funded housing project was a bold experiment in community design. And the experiment is still bubbling.

"I remember we were coming across the I-95 bridge from Maine," Atlantic Heights homeowner Jacqueline Scarpetti recalls. "It was January and I looked down and saw this lovely little neighborhood. It sort of reminded me of Georgetown in Washington."



Only one road, Kearsage Way, leads to and from "The Heights" huddled beneath the towering Interstate halfway between the city's bustling Market Square and the malls of Newington. Ken and Jacqueline Scarpetti did not find the inroad easily on their first visit. Kearsage Way, named for a famous Portsmouth ship built in the Civil War, leads to a cluster of roads named for other ships – Ranger, Porpoise, Raleigh, Preble, Falkland, Saratoga. Many lifetime Portsmouth residents have never seen the crisp rows of small homes created in the architectural style of the English Garden-City Movement.

That design concept evolved from the work of English town planner Sir



tabbles

EXHIBIT

B

LEARN MORE

PISCATAQUA SAVINGS BANK

Explore

Star Island

NEW ENGLAND'S UNIQUE SUMMER ISLAND

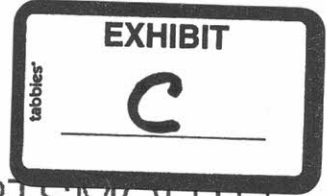
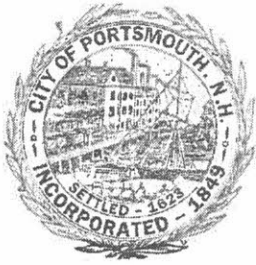
The Music Hall

MAREN DIDN'T DO IT

Smellynose Website (click)

Maine Harbors

hair studio
603-433-2772
sanctuary



CITY OF PORTSMOUTH

Community Development Department
(603) 431-2006, ext. 232

Planning Department
(603) 431-2006, ext.216

PLANNING DEPARTMENT

September 22, 2005

Frank Perrone & John Giacalone
10 Webster Street
Winchester, Massachusetts 01890

Re: Property at **off Falkland Place and off Ranger Way**
Assessor Plan 212, Lot 26-1

Dear Messrs. Perrone and Giacalone:

The Board of Adjustment, at its regular meeting of September 20, 2005, completed its consideration of your application wherein the following were requested in conjunction with the construction of a building with 4 dwelling units and a building with 2 dwelling units on a combined lot: 1) a Variance from Article III, Section 10-301(A)(2) to allow two separate residential buildings on one lot where all dwelling units are required to be in one building, 2) a Variance from Article III, Section 10-303(A) to allow 3,254+ sf of lot area per dwelling unit where 7,500 sf of lot area per dwelling unit is the minimum required, 3) a Variance from Article II, Section 10-207(13) to allow 6 dwelling units on a lot where the maximum allowed is 4 dwelling units; and, 4) a Variance from Article II, Section 10-211 to allow dwelling units on private property in a municipal district. Said property is shown on Assessor Plan 212 as Lots 26-1, 27, Alley No. 1 and Alley No.2 (all to be combined) and lie within the Mixed Residential Business and Municipal districts.

After consideration, the Board voted to **grant** the petition, as presented and advertised for the following reasons:

- It will not be contrary to the public interest to add needed housing.
- Literal enforcement of the ordinance results in a hardship due to the unique setting in Atlantic Heights where 75% of the lots have less square footage per dwelling unit than the proposed units.
- No fair relationship exists between the purposes of the ordinance and the restriction on the property as, in this neighborhood, 7,500 s. f. of lot area per dwelling unit would be out of place and the number of units is well suited for the neighborhood.
- The variances will not injure the public or private rights of others as the applicant has attempted to preserve the style and scale of area properties.
- The variances are consistent with the spirit of the ordinance as there is acknowledgement in the ordinance of the uniqueness of the Atlantic Heights area and this project is in keeping with the area.
- Substantial justice is done as the petitioners will be able to appropriately develop their property while providing additional parking for the neighborhood.

Messrs. Perrone and Giacalone
Page Two
September 22, 2005

- The value of surrounding properties will, if anything, be enhanced by building attractive, well-designed buildings.

Prior to the issuance of a building permit, the Building Inspector will need to review and approve construction drawings/sketches. Contact the Inspector at 603-610-7243 between the hours of 8:00 –10:00 a.m. Applicants should note that approvals may also be required from other Committees and/or Boards prior to the issuance of a Building Permit.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Very truly yours,

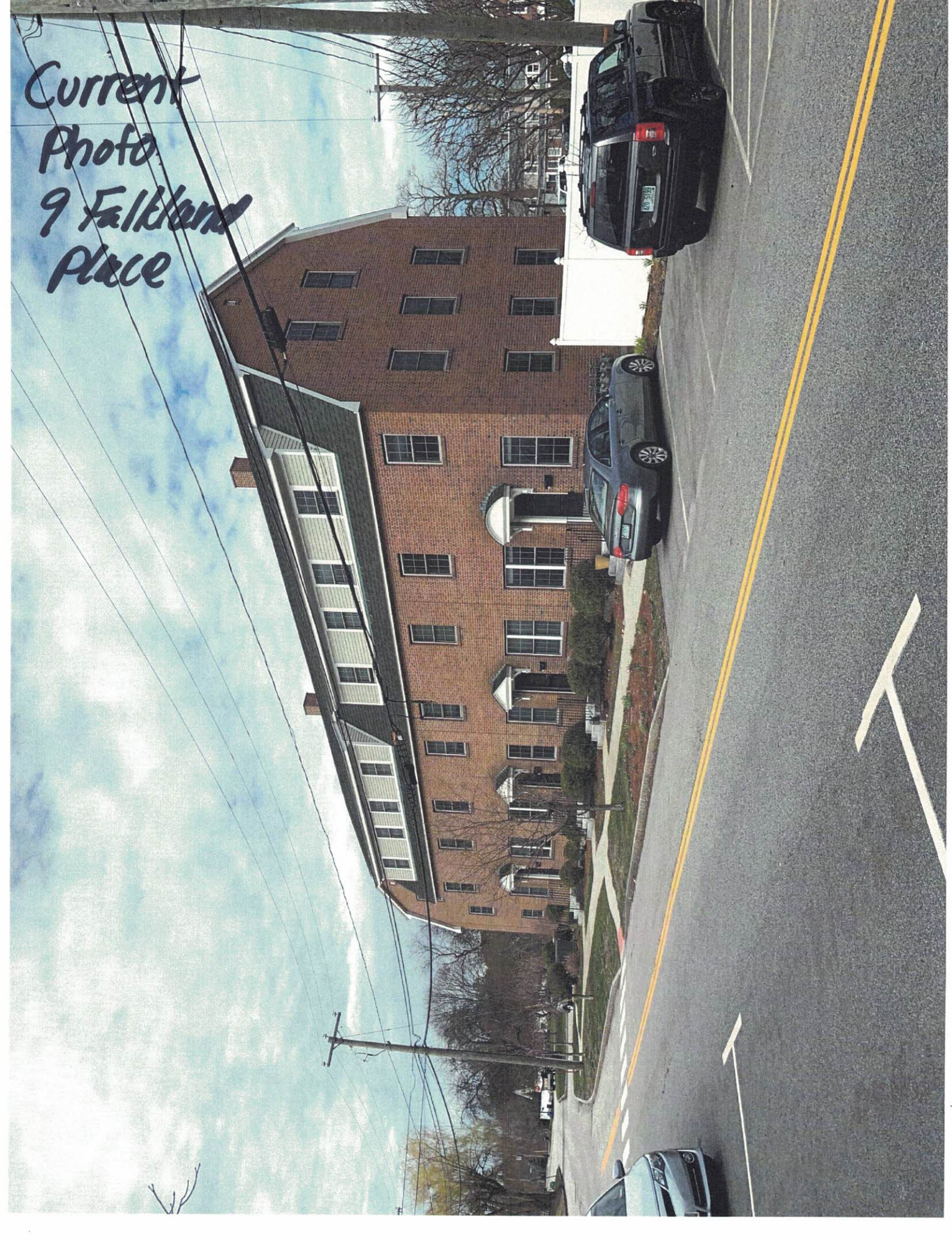


Charles A. Le Blanc, Chairman
Board of Adjustment

mek

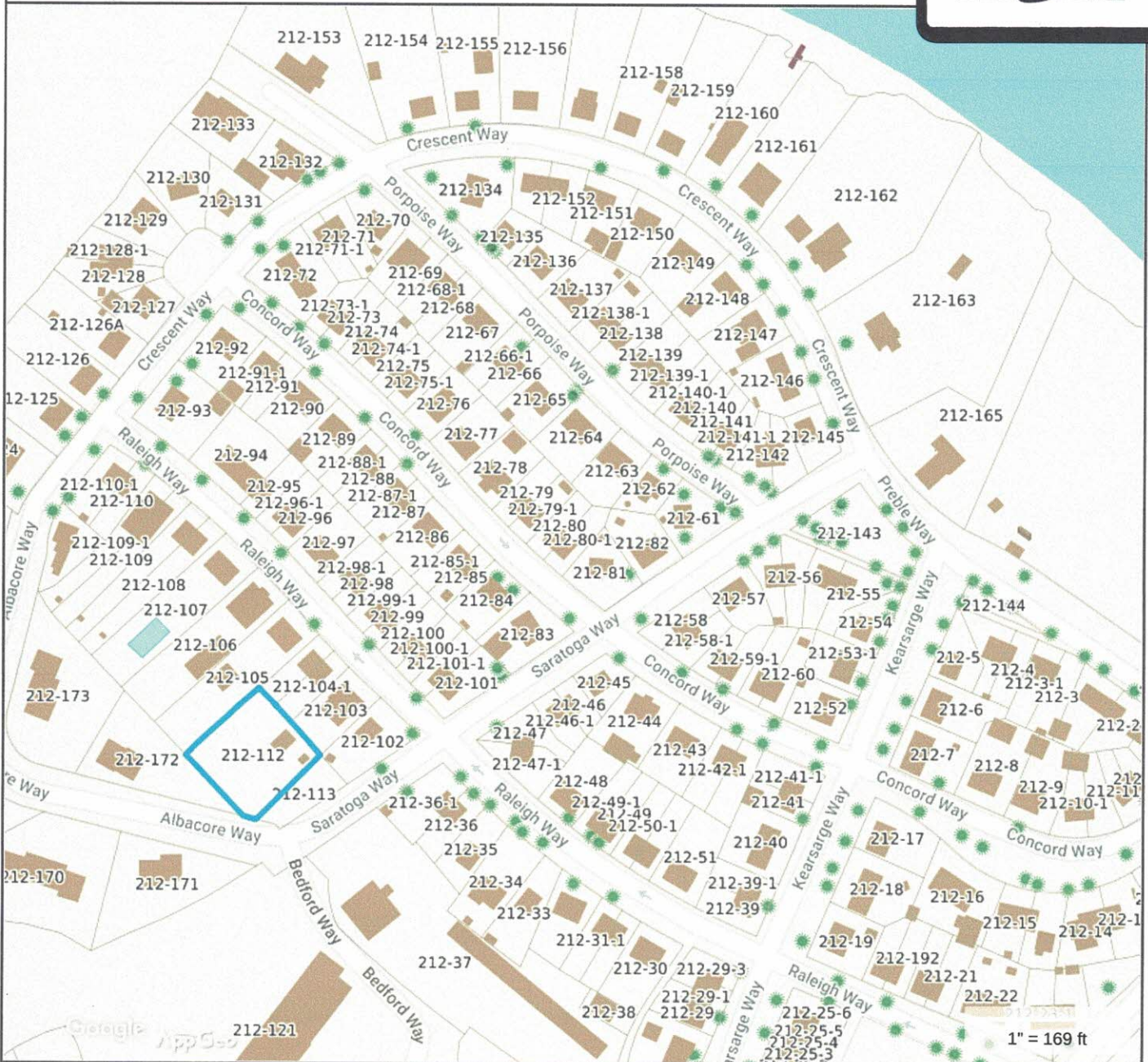
c: Richard A. Hopley, Building Inspector
Bernard W. Pelech, Esq.

Current
Photo
9 Falkland
Place




Tax Map Image - Atlantic Heights - Version 2

EXHIBIT
D



Property Information	
Property ID	0212-0112-0000
Location	FALKLAND WAY
Owner	RALEIGH WAY HOLDING GROUP LLC



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019
Data updated 7/17/2019

1" = 169 ft

Tax Map Image - Atlantic Heights - Version 1



Property Information

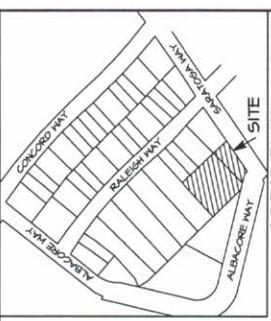
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NOT A LEGAL DOCUMENT**

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Geometry updated 4/1/2019
Data updated 7/17/2019



**LOCUS PLAN
N.T.S.**

NOTES
 1) OWNER OF RECORD:
 RALEIGH WAY HOLDING GROUP LLC
 1000 RALEIGH WAY, SUITE 1
 FORTSMOUTH, NH 03801
 RCRD. 6025-1036
 TAX MAP 212, LOTS 105, 112 & 113
 2) BASIS OF BEARING HELD FROM PLAN REFERENCE 3.
 3) PARCEL IS IN GENERAL RESIDENCE B ZONE (GRB),
 MINIMUM LOT AREA: 5,000 SF
 MIN. LOT AREA PER DWELLING UNIT: 3,000 SF
 MINIMUM FRONTAGE: 60 FT
 MINIMUM DEPTH: 60 FT
 SETBACKS:
 FRONT: 5 FT
 REAR: 10 FT
 SIDE: 10 FT
 MAXIMUM BUILDING HEIGHT:
 REAR: 35 FT
 SIDE: 35 FT
 FLAT ROOF:
 MAXIMUM BUILDING COVERAGE: 50%
 MINIMUM OPEN SPACE: 25%
 4) THE PARCEL IS NOT WITHIN A FEMA FLOOD ZONE AS
 PER FLOOD INSURANCE RATE MAP MB05020254E,
 PANEL 254 OF 691, DATED MAY 11, 2005.
 5) AS PER FORTSMOUTH ZONING ORDINANCE IF A LOT
 FORKS A POINT AT THE REAR, THE REAR SETBACK LINE
 SHALL BE DEEMED A LINE 10 FEET IN LENGTH WITHIN
 THE LOT, PARALLEL TO AND AT THE MAXIMUM
 DISTANCE FROM THE FRONT LOT LINE.

BOUNDARY SURVEY
 EXISTING & CONDITIONS
 FORTSMOUTH, NH 03801
 TAX MAP 212, LOTS 105, 112 & 113
 & 113

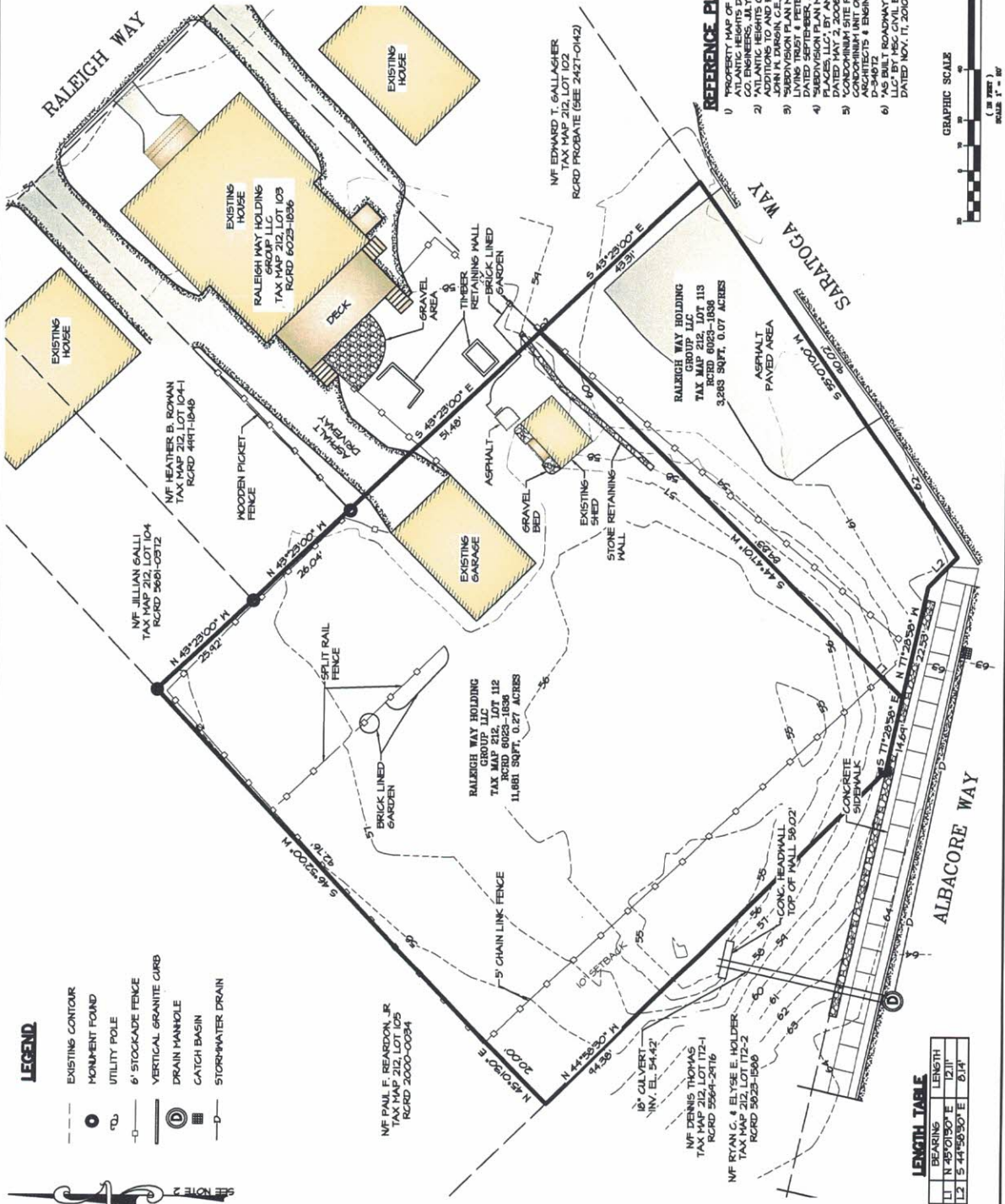
ROSS ENGINEERING
 CIVIL ENGINEERING & SURVEYING
 1000 RALEIGH WAY, SUITE 1
 FORTSMOUTH, NH 03801
 TEL: 603-883-1330

RALEIGH WAY HOLDING GROUP, LLC
 1 MIDDLE ST., SUITE 1
 FORTSMOUTH, NH 03801
 TEL: 603-883-1330

PROPERTY MAP OF ATLANTIC HEIGHTS DEVELOPERS' BY LOGANWOOD, GREENE & CO. ENGINEERS, J.L.P., INC., RCRD 0241
CONDOMINIUM UNIT OWNERS ASSOCIATION, BY JOHN N. DARGAN, C.E., DATED MAY, 1925, RCRD 0275
CONDOMINIUM UNIT OWNERS ASSOCIATION, BY JOHN N. DARGAN, C.E., DATED MAY, 1925, RCRD 0275
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CONDOMINIUM UNIT OWNERS ASSOCIATION, BY JOHN N. DARGAN, C.E., DATED MAY, 1925, RCRD 0275

RALEIGH WAY HOLDING GROUP, LLC
 1 MIDDLE ST., SUITE 1
 FORTSMOUTH, NH 03801
 TEL: 603-883-1330

GRAPHIC SCALE
 1" = 20'
 1" = 80'



LEGEND

- EXISTING CONTOUR
- MONUMENT FOUND
- UTILITY POLE
- 6" STOCKADE FENCE
- VERTICAL GRANITE CURB
- DRAIN MANHOLE
- CATCH BASIN
- STORMWATER DRAIN

LENGTH TABLE

LINE	BEARING	LENGTH
L1	N 45°15'00" E	12.11'
L2	S 44°58'50" E	8.14'

NOTES

1) OWNER OF RECORD:
 RALEIGH WAY HOLDING GROUP LLC
 100 STATE STREET, SUITE 1
 PORTSMOUTH, NH 03801
 RC RD: 6023-1836

2) TAX MAP 212, LOTS 103, 102 & 101
 LOTS 102 & 101 ARE LISTED AS HAVING FRONTAGE ON A
 PAPER STRIP OF LAND (SEE TAX ID CARD). THIS LAND MAY
 BE GRANTED TO ADJUTERS ON EACH SIDE OF THE PAPER
 STRIP AS PER PLAN 84, FRONTAGE FOR BOTH LOTS 101
 & 102 ON SARATOGA WAY.
 AREA: 14,944 SF, 0.34 ACRES

3) COVERAGES:
 EXISTING BUILDING COVERAGE
 BUILDING COVERAGE 3917 SF
 SHED 100 SF
 EXISTING STRUCTURE 447 SF
 BUILDING COVERAGE 447 / 14,944 = 3.3%
 PROPOSED BUILDING COVERAGE
 HOUSE 3640 SF
 PORCH 206 SF
 BUILDING COVERAGE 4126 SF
 BUILDING COVERAGE 4126 / 14,944 = 27.6%

4) OPEN SPACE
 EXISTING OPEN SPACE 447 SF
 BUILDING COVERAGE 1244 SF
 RETAINING WALL 35 SF
 GRAVEL 15 SF
 TOTAL LOT COVERAGE 1746 SF
 EXISTING OPEN SPACE 14,944 - 1746 = 13,198 SF
 EXISTING OPEN SPACE = 13,198 / 14,944 = 88.2%

5) PROPOSED OPEN SPACE
 BUILDING COVERAGE 4126 SF
 PORCH COVERING 4'30" 3204 SF
 RETAINING WALL 102 SF
 DECK 232 SF
 TOTAL LOT COVERAGE 6188 SF
 EXISTING OPEN SPACE 14,944 - 6188 = 8756 SF
 PROPOSED OPEN SPACE = 8756 / 14,944 = 58.6%

6) SETBACKS:
 FRONT 5 FT
 SIDE 10 FT
 REAR 25 FT
 MAXIMUM BUILDING HEIGHT: 35 FT
 SLOPED ROOF 35 FT
 FLAT ROOF 30 FT
 MAXIMUM BUILDING COVERAGE 50%
 MINIMUM OPEN SPACE 20%

7) PARCEL IS IN GENERAL RESIDENCE B ZONE (GRB);
 MINIMUM LOT AREA 5000 SF
 MIN. LOT AREA PER DWELLING UNIT 5000 SF
 MINIMUM FRONTAGE 60 FT
 MINIMUM DEPTH 60 FT
 SETBACKS:
 FRONT 5 FT
 SIDE 10 FT
 REAR 25 FT
 MAXIMUM BUILDING HEIGHT: 35 FT
 SLOPED ROOF 35 FT
 FLAT ROOF 30 FT
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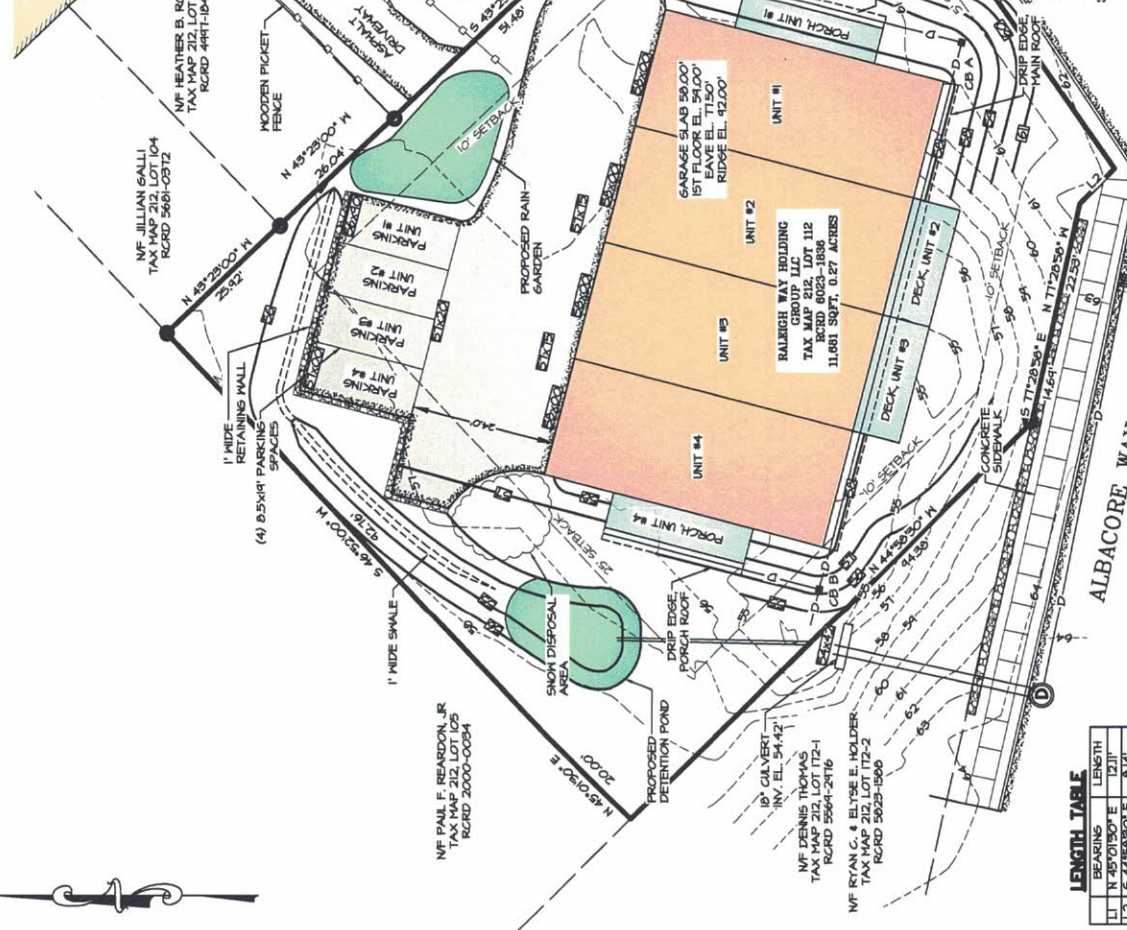
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 PORCH 206 SF
 BUILDING COVERAGE 4126 SF
 BUILDING COVERAGE 4126 / 14,944 = 27.6%

9) OPEN SPACE
 EXISTING OPEN SPACE 447 SF
 BUILDING COVERAGE 1244 SF
 RETAINING WALL 35 SF
 GRAVEL 15 SF
 TOTAL LOT COVERAGE 1746 SF
 EXISTING OPEN SPACE 14,944 - 1746 = 13,198 SF
 EXISTING OPEN SPACE = 13,198 / 14,944 = 88.2%

10) PROPOSED OPEN SPACE
 BUILDING COVERAGE 4126 SF
 PORCH COVERING 4'30" 3204 SF
 RETAINING WALL 102 SF
 DECK 232 SF
 TOTAL LOT COVERAGE 6188 SF
 EXISTING OPEN SPACE 14,944 - 6188 = 8756 SF
 PROPOSED OPEN SPACE = 8756 / 14,944 = 58.6%

11) OWNER OF RECORD:
 RALEIGH WAY HOLDING GROUP LLC
 100 STATE STREET, SUITE 1
 PORTSMOUTH, NH 03801
 RC RD: 6023-1836

12) TAX MAP 212, LOTS 103, 102 & 101
 LOTS 102 & 101 ARE LISTED AS HAVING FRONTAGE ON A
 PAPER STRIP OF LAND (SEE TAX ID CARD). THIS LAND MAY
 BE GRANTED TO ADJUTERS ON EACH SIDE OF THE PAPER
 STRIP AS PER PLAN 84, FRONTAGE FOR BOTH LOTS 101
 & 102 ON SARATOGA WAY.
 AREA: 14,944 SF, 0.34 ACRES



LEGEND

- EXISTING CONTOUR
- MONUMENT FOUND
- UTILITY POLE
- 6" STOCKADE FENCE
- VEHICLE GRANITE CURB
- DRAIN MANHOLE
- CATCH BASIN
- STORMWATER DRAIN

LENGTH TABLE

BEARING	LENGTH
N 45°30'00" E	1231'
S 44°30'00" E	814'

GRAPHIC SCALE
 (1" = 50')

OWNER OF RECORD:
 RALEIGH WAY HOLDING GROUP LLC
 100 STATE STREET, SUITE 1
 PORTSMOUTH, NH 03801
 RC RD: 6023-1836

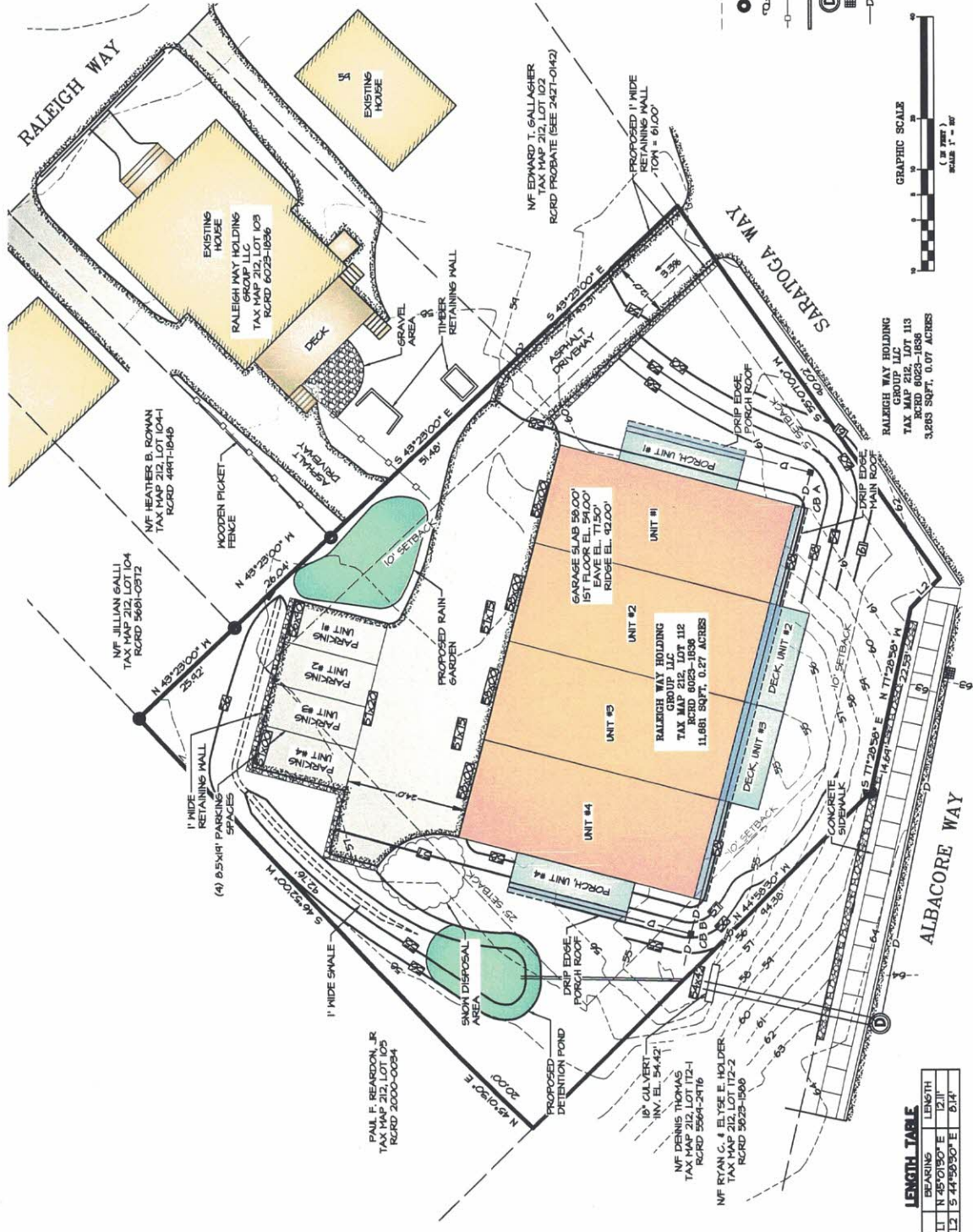
DATE: 10/20/20
SCALE: 1" = 50'
PROJECT: 19-087
SHEET: 2 OF 3

OWNER OF RECORD:
 RALEIGH WAY HOLDING GROUP LLC
 100 STATE STREET, SUITE 1
 PORTSMOUTH, NH 03801
 RC RD: 6023-1836

DATE: 10/20/20
SCALE: 1" = 50'
PROJECT: 19-087
SHEET: 2 OF 3

NOTES

- 1) THE FOLLOWING STORMWATER MANAGEMENT IMPROVEMENTS ARE PROPOSED:
 - A) RAIN GARDEN CONSTRUCTED IN THE NE OF THE PROPERTY TO COLLECT WATER FROM THE PROPOSED ASPHALT DRIVEWAY AND PARKING AREA.
 - B) DRIP EDGES ALONG THE PERIMETER OF THE BUILDING COLLECTING WATER FROM THE ROOFS.
 - C) DETENTION POND LOCATED IN THE NW OF THE PROPERTY TO COLLECT WATER FROM THE ASPHALT PARKING AREA AND WATER FROM DRAINAGE LINES COMING FROM THE DRIP EDGES LISTED ABOVE.
- 2) THE ASS-ALD 18" CULVERT REMAINS THE SOLE DISCHARGE POINT FROM THE SITE THROUGH ANALYSIS, THE RATE OF RUNOFF HAS DECREASED FOR THE 2, 10, 25, & 50 YEAR STORMS.



LEGEND

- EXISTING CONTOUR
- MONUMENT FOUND
- UTILITY POLE
- 6" STORAGE FENCE
- VERTICAL GRANITE CURB
- DRAIN MANHOLE
- CATCH BASIN
- STORMWATER DRAIN



LENGTH TABLE

LINE	BEARING	LENGTH
L1	N 25°01'30" E	12.11'
L2	S 44°50'30" E	8.14'

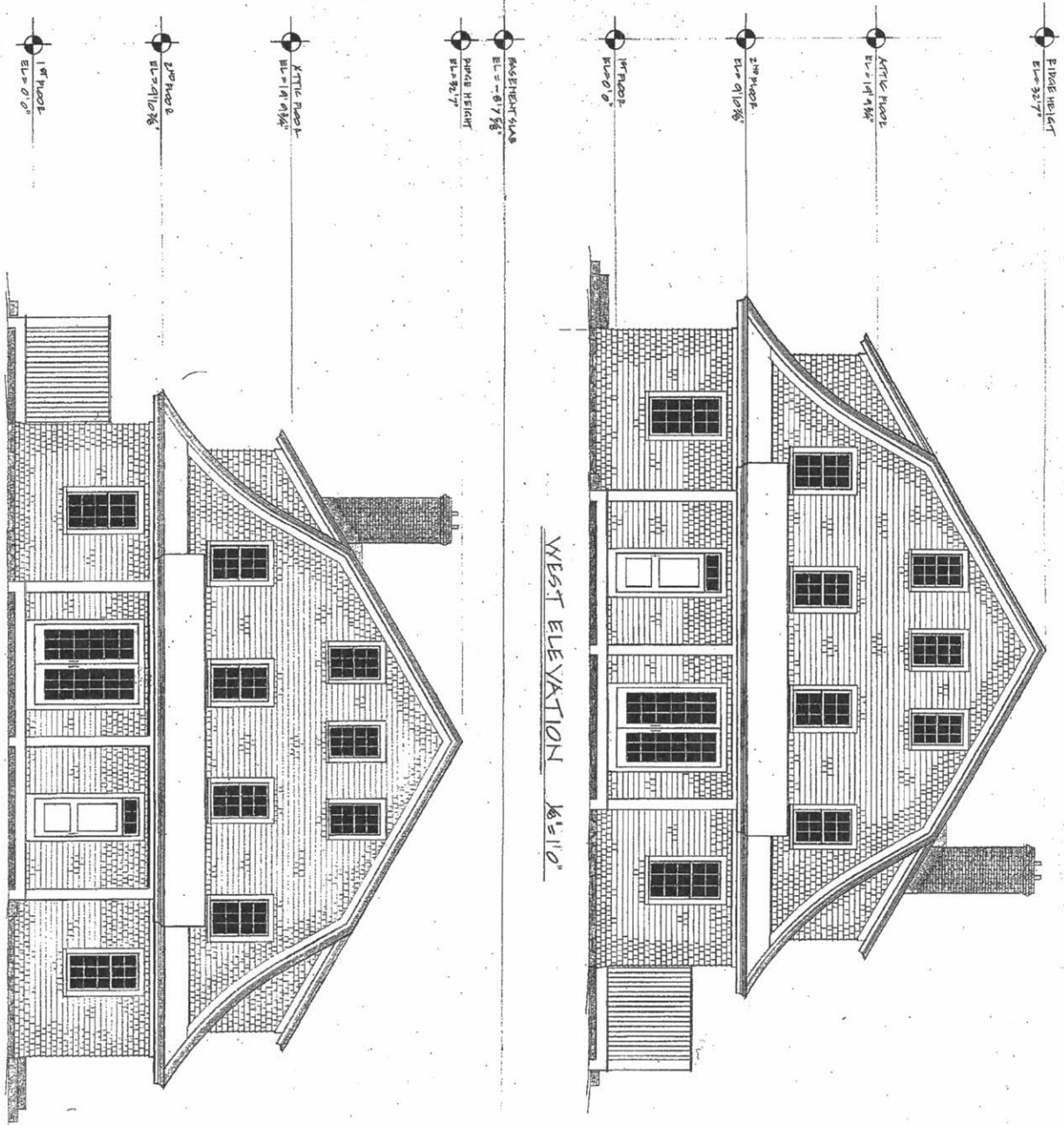
DATE	12/20/20	DRAWN	SKETCH
BY	DATE	DESCRIPTION OF WORK	
PROJECT	ADDRESS		
OWNER			
DESIGNER			

ROSS ENGINEERING
 Civil, Mechanical, Electrical, & Stormwater Engineering
 10001 D3-2500
 FARMINGTON, NH 03825

RALEIGH WAY HOLDING GROUP, LLC
 1 MIDDLE ST. SUITE 1
 PORTSMOUTH, NH 03801

STORMWATER MANAGEMENT
 SARATOGA WAY
 PORTSMOUTH, NH 03801
 TAX MAP 212, LOTS 112 & 113

DATE: 12-20-20
 SHEET NO.: 3 OF 3



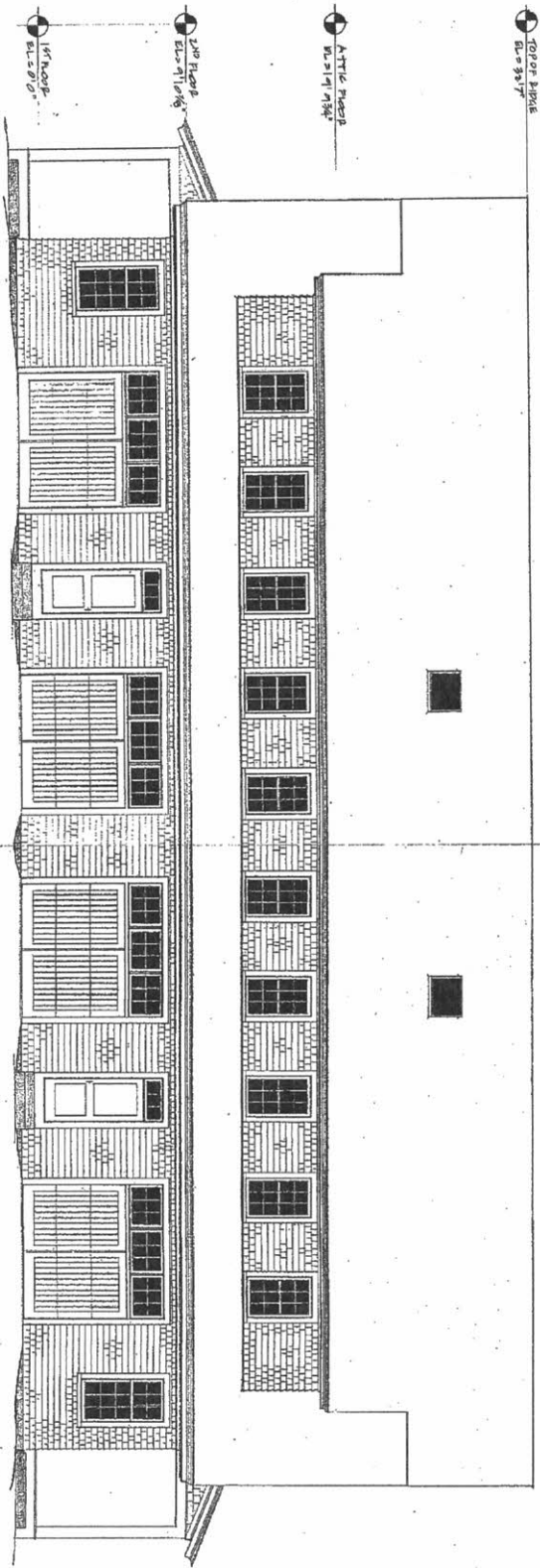
PAGE A.1.

PROPOSED BUILDING AT
 185-187 RALEIGH WAY
 PORTSMOUTH, NH

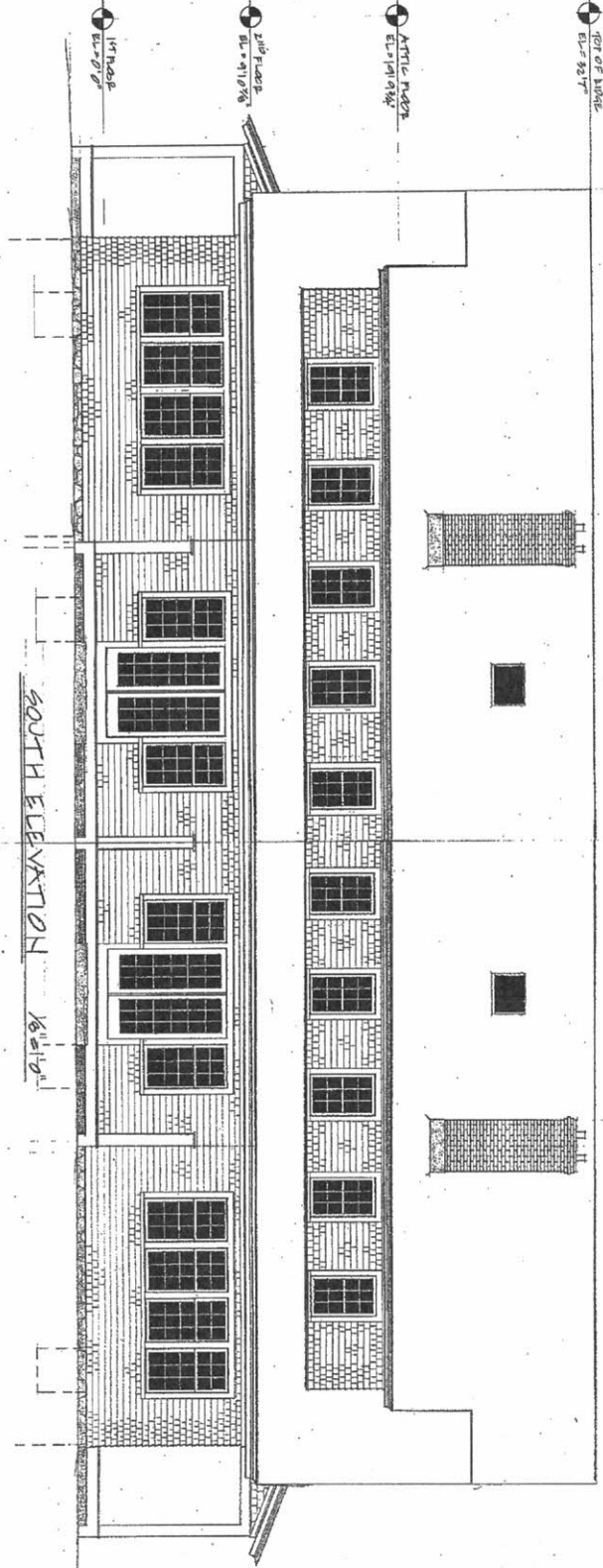
TITLE: PROP' WEST & EAST ELEV'
 SCALE: 1/8" = 1'-0"
 DATE: 3.30.2020

REVISIONS:

NORTH ELEVATION 1/8"=1'-0"



SOUTH ELEVATION 1/8"=1'-0"

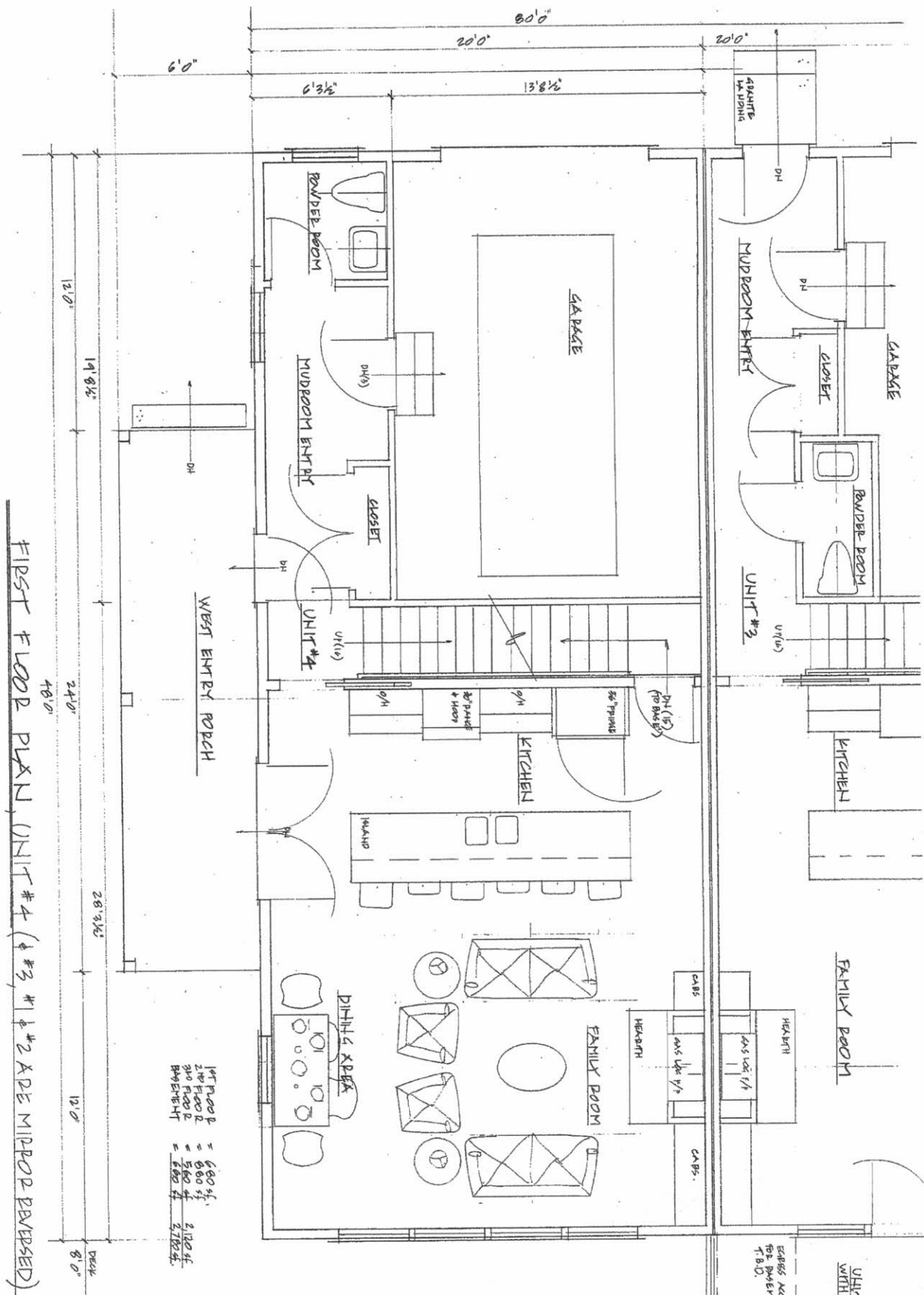


PAGE A.2.

PROPOSED BUILDING AT
185-187 PALEIGH WAY
PORTSMOUTH, NH

TITLE: PROP' SOUTH & NORTH ELEV
SCALE: 1/8"=1'-0"
DATE : 3.30.2020

REVISIONS:



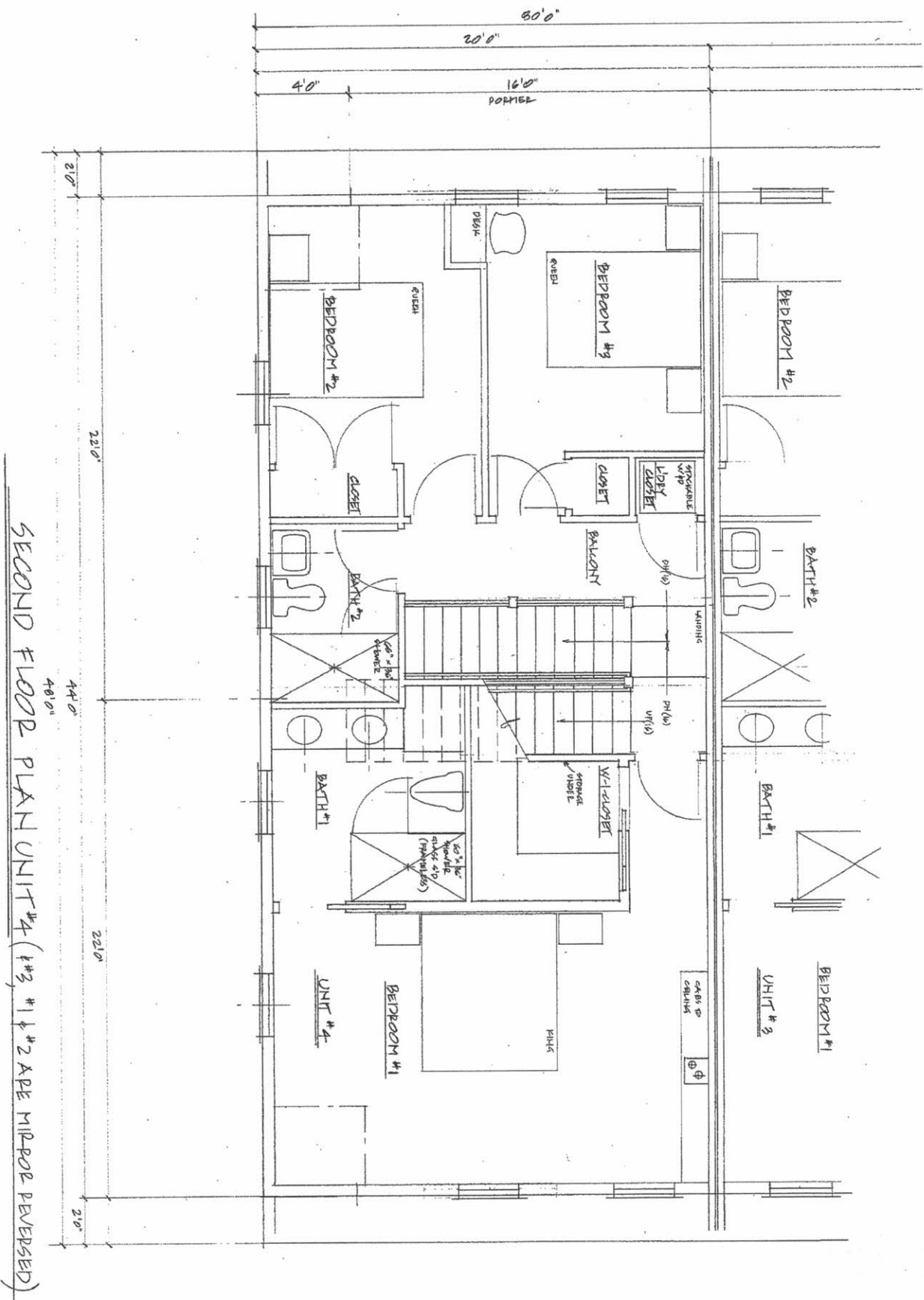
FIRST FLOOR PLAN, UNIT #4 (UNIT #3, #1 & #2 ARE MIRROR REVERSED)

HLs. = 680sf

PROPOSED BUILDING AT
 185-187 RALEIGH WAY
 PORTSMOUTH, NH

TITLE: 1ST FL. PLAN
 SCALE: 1/4" = 1'-0"
 DATE: 3.30.2020

REVISIONS:



SECOND FLOOR PLAN UNIT #4 (#3, #1, #2 ARE MIRROR REVERSED)

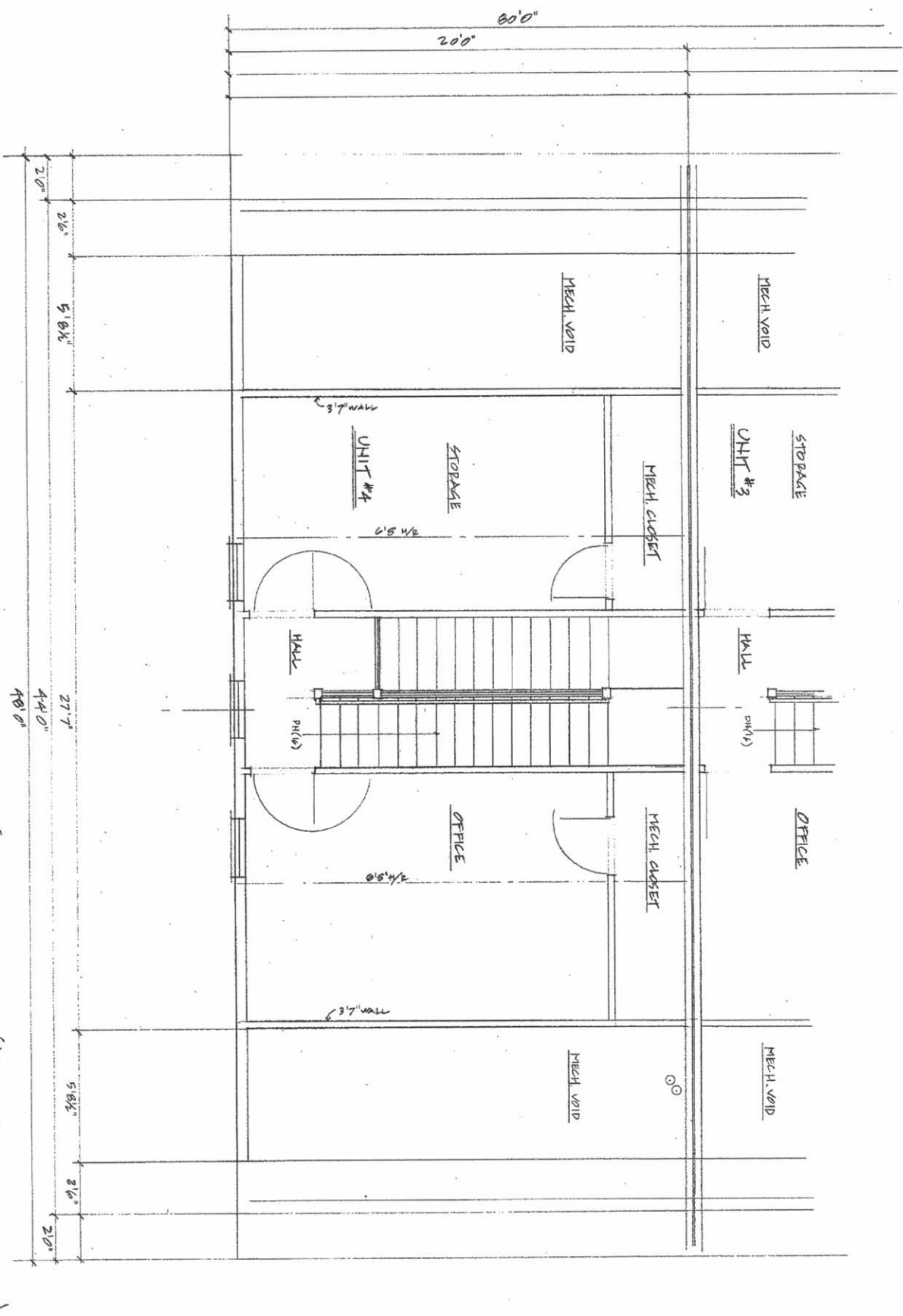
H.S. = 000 of

PAGE A.4

PROPOSED BUILDING AT
185-187 RALEIGH WAY
PORTSMOUTH, NH

TITLE: 2ND FLOOR PLAN
SCALE: 1/4"=1'0"
DATE: 3.30.2020

REVISIONS:



THIRD FLOOR PLAN (ATTIC) UNIT #4 (1st 3, 1st 2 ARE MIRROR DEV)

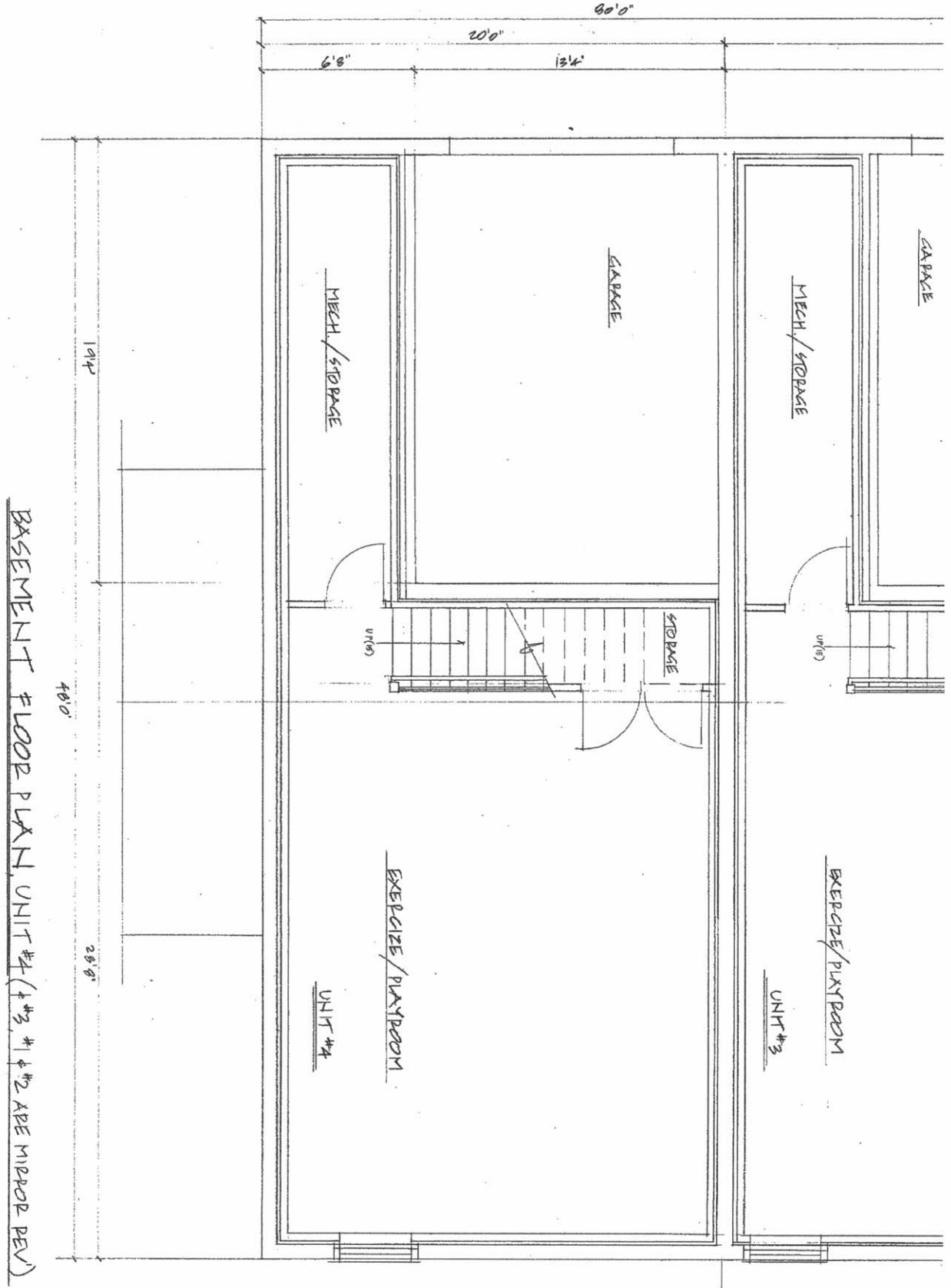
WITH 6'8" HEADROOM = 3204', TO RISE WALLS = 5004'

PAGE A.5

PROPOSED BUILDING AT
185-187 RALEIGH WAY
PORTSMOUTH, NH

TITLE: 3RD FLOOR (ATTIC) PLAN
SCALE: 1/4" = 1'0"
DATE: 3.30.2020

REVISIONS:



HLs = 1/2 6604.

BASEMENT FLOOR PLAN, UNIT #4 (1#3, #1#2 ARE MIRROR REV)

PAGE A. 6.

PROPOSED BUILDING AT
185-187 PALEIGH WAY
PORTSMOUTH, NH

TITLE: BASEMENTS FLOOR PLAN
SCALE: 1/4" = 1'0"

DATE: 3.30.2020

REVISIONS:

View of Property from Intersection of Saratoga Way and Albacore Way



View of Property from Saratoga Way



View of Property from Saratoga Way



View of Garage and Shed on Lot 113



Alternate View of Garage and Shed



View of Lot 113 from Albacore Way



View of Lot 112 from Paved Area

