

**AMBIT ENGINEERING, INC.** CIVIL ENGINEERS AND LAND SURVEYORS

200 Griffin Road, Unit 3, Portsmouth, NH 03801  
Phone (603) 430-9282 Fax 436-2315

18 October 2021

Peter Britz, Acting Planning Department Chair  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

**RE: Application for Site Plan Approval, Tax Map 106, Lot 54, 99 Bow Street**

Dear Peter and TAC Members:

On behalf of Martingale, LLC we submit herewith the attached for Technical Advisory Committee review. The project consists of two separate decks which will be attached to the east and west ends of the existing over water deck located at 99 Bow Street, Portsmouth, and commonly referred to as the Martingale. The West Deck expansion (public wharf deck) will provide the general public with handicap accessible access to the Piscataqua River Waterfront for the enjoyment of the active Inner Harbor of Portsmouth, the Sarah Mildred Long Bridge, the Memorial Bridge, the Moran Tug Boats, the NH State Port Authority Pier and the working waterfront of Kittery Maine. The East Deck expansion will be for an expansion of the existing outside dining for the Martingale Wharf Restaurant, which is open to the public.

Martingale Wharf is the only restaurant open to the general public located on the Inner Harbor of downtown Portsmouth that provides full handicap accessibility via on street parking located on Bow Street and a passenger elevator to the waterfront. Martingale Wharf also has handicap accessible bathrooms located on the waterfront as part of the restaurant. The northern, or "waterside" limit of the building is synonymous with a seawall, which is also the landward limit of the Highest Observable Tide Line for the majority of the shoreline frontage associated with the property. At the time of construction in 2010, Martingale was one of only two projects to receive an Urban Exemption to Shoreland Zoning which permitted the construction and improvements as seen today, including approval for public dining on the existing deck. The West Deck expansion (public wharf deck) is the only waterfront deck with handicap accessibility to the general public. The deck also has additional public access via a continuous easement that connects the Martingale with Ceres Street and Bow Street (See Existing Conditions Plan-Sheet C1).

The public wharf deck and the public dining deck will each display an educational bas relief sculpture installed on the walls of the deck expansion. Each sculpture will depict seamen in the age of sail, while weaving in images of the Portsmouth seaport history. These and other specialized landscaped features will provide the public with a unique experience in a unique space (See McHenry Architecture Terra Firma Plans attached).

Please find the following plans in this submission:

- Cover Sheet – This shows the Development Team, Legend, Site Location, and Site Zoning.
- As – Built Plan, Martingale Wharf – This shows the property dimensions of the lot.
- Existing Conditions Plan C1 – This plan shows the current improvements on the property.
- NHDES Permit Plan C2 – This plan shows the proposed deck expansion(s) and layout of the proposed features.
- Site Sections C3 – C5 – These plan shows the on-site and adjacent underwater topography / bathymetry as well as the proposed pile locations.
- Details D1 – This plan shows the Deck Details as well as erosion control and project construction sequence.
- Perspective View of Deck Expansion A4 – This plan shows the rendered views of the proposed deck expansion. Please note the Public Space on the left side of the plan.
- Perspectives of East and West Mural A8 – This plan shows the rendered views of the proposed murals at each end of the decks, with relevant details.
- Deck Expansion Plan A9 – The plan show the dimensions of the proposed deck expansion and proposed deck seating.
- Deck Expansion North Elevation Plan A10 – This plan shows the deck in elevation view.
- Elevations at East and West Murals A11 – This plan shows the site elevations at the mural locations.
- Enlarged Plans, Elevations, and Details A12 – These details show the detailed construction at the proposed deck.
- Cut Sheets and Material Selections A13 – This plans show additional details of the proposed deck expansion and the proposed lighting.
- Landscape Details L1 – The plan show landscape details for the proposed deck expansion and murals.

Also please find attached additional information regarding the application to assist in your review.

We ask that we be placed on the Agenda for the **November 2 Technical Advisory Committee Meeting**. We look forward to your review of this submission.

Sincerely,

*John Chagnon*

John R. Chagnon, PE  
CC: 99 Bow Street Team

## Green Building Statement

The project proposes to construct an overwater deck expansion including a public wharf deck resulting in permanent impact to the tidal area requiring NH DES approvals. Since the proposed structures are additions to existing structures, and the purpose of the expansion is tied to the use and enjoyment of waterfront area of the property by the patrons and the general public, practicable alternatives along the 190+/-feet of shoreline are severely reduced.

The proposed structure will be constructed on piles within the tidal area reducing permanent impacts to the tidal wetland resource. Since the structures will be constructed on piles, the structures will not impede tidal flow or alter hydrology, and will not deter use by wildlife species that currently use the tidal area, and it will not impede any migrational fish movement. The proposed structures have been designed to not impede recreation, public commerce, and navigation. The docking structure does not extend into any federal or local navigation channel. The project does not propose any impacts to floodplain wetlands as the dock will be constructed on piles therefore providing no significant decrease in flood storage potential.

The project does not propose any impacts to exemplary natural communities or vernal pools. Per the Natural Heritage Bureau Review, shortnose sturgeon (*Acipenser brevirostrum*) and Atlantic sturgeon (*Acipenser oxyrinchus*) have been identified as sensitive species on or near the project site. Coordination with New Hampshire Fish & Game in regards to the above protected species will be a part of the NH DES approval process.

# **Wetland Functions and Values Assessment**

**Prepared for:**

**Martingale LLC  
99 Bow Street  
Portsmouth, New Hampshire 03801**

**Prepared By:**

**Ambit Engineering, Inc  
200 Griffin, Unit 3  
Portsmouth, New Hampshire 03801**



**Date: June 14, 2021**

Revised 10-18-21 to Eliminate Dock Expansion from Scope



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## INTRODUCTION

The applicant is proposing the construction of an overwater deck expansion with a public wharf deck at 99 Bow Street, Portsmouth, New Hampshire. The project site is identified on Portsmouth Tax Map 106 as Lot 54 and is approximately 9,769 sq. ft. in size. As currently designed, the proposed project would require impacts to tidal wetlands associated within the Piscataqua River.

The purpose of this report is to present the existing functions and values of the tidal wetlands and to assess any impacts the proposed project may have on their ability to continue to perform these functions and values. The tidal wetlands being impacted were assessed with consideration to their association with the Piscataqua River and the larger marine ecosystem and was not limited to the tidal wetlands immediately on-site.

## METHODS

### DATA COLLECTION

The tidal wetlands associated with this project area were identified and characterized through field survey and review of existing information. Ambit Engineering, Inc. (Ambit) conducted a site visit in April of 2021 to characterize the tidal wetlands and collect the necessary information to complete a functions and values assessment. In addition, Ambit contacted the New Hampshire Natural Heritage Bureau (NHB) regarding existing information of documented rare species or natural communities within the vicinity of the project site.

### WETLAND FUNCTIONS AND VALUES ASSESSMENT

Ambit assessed the ability of the tidal wetlands to provide certain functions and values and analyzed the potential affects the proposed project may have on their ability to continue to provide those functions and values. Wetland functions and values were assessed using the *Highway Methodology Workbook, Wetland Functions and Values: A Descriptive Approach*.<sup>1</sup> This method bases function and value determinations on the presence or absence of specific criteria for each of the 13 wetland functions and values (see definitions below). These criteria are assessed through direct field observations and a review of existing resource maps and databases. As part of the evaluation, the most important functions and values associated with the on-site wetlands are identified. In addition, the ecological integrity of the wetlands is evaluated based on the existing levels of disturbance and the overall significance of the wetlands within the local watershed.

#### ° **Groundwater Interchange (Recharge/Discharge)**

*This function considers the potential for the project area wetlands to serve as groundwater recharge and/or discharge areas. It refers to the fundamental interaction between wetlands and aquifers, regardless of the size or importance of either.*

#### ° **Floodwater Alteration (Storage and Desynchronization)**

*This function considers the effectiveness of the wetlands in reducing flood damage by attenuating floodwaters for prolonged periods following precipitation and snow melt events.*

#### ° **Fish and Shellfish Habitat**

*This function considers the effectiveness of seasonally or permanently flooded areas within the subject wetlands for their ability to provide fish and shellfish habitat.*

#### ° **Sediment/Toxicant Retention**

*This function reduces or prevents degradation of water quality. It relates to the effectiveness of the wetland to function as a trap for sediments, toxicants, or pathogens, and is generally related to factors such as the type of soils, the density of vegetation, and the position in the landscape.*

#### ° **Nutrient Removal/Retention/Transformation**

*This wetland function relates to the effectiveness of the wetland to prevent or reduce the adverse effects of excess nutrients entering aquifers or surface waters such as ponds, lakes, streams, rivers, or estuaries.*

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<sup>1</sup> U.S. Army Corps of Engineers. 1999. *The Highway Methodology Workbook Supplement, Wetland Functions and Values: A Descriptive Approach*. U.S. Army Corps of Engineers. New England Division. 32pp. NAEPP-360-1-30a.

◦ **Production Export (Nutrient)**

*This function relates to the effectiveness of the wetland to produce food or usable products for humans or other living organisms.*

◦ **Sediment/Shoreline Stabilization**

*This function considers the effectiveness of a wetland to stabilize stream banks and shorelines against erosion, primarily through the presence of persistent, well-rooted vegetation.*

◦ **Wildlife Habitat**

*This function considers the effectiveness of the wetland to provide habitat for various types and populations of animals typically associated with wetlands and the wetland edge. Both resident and/or migrating species must be considered.*

◦ **Recreation (Consumptive and Non-Consumptive)**

*This value considers the suitability of the wetland and associated watercourses to provide recreational opportunities such as hiking, canoeing, boating, fishing, hunting, and other active or passive recreational activities.*

◦ **Educational/Scientific Value**

*This value considers the effectiveness of the wetland as a site for an "outdoor classroom" or as a location for scientific study or research.*

◦ **Uniqueness/Heritage**

*This value relates to the effectiveness of the wetland or its associated water bodies to provide certain special values such as archaeological sites, unusual aesthetic quality, historical events, or unique plants, animals, or geologic features.*

◦ **Visual Quality/Aesthetics**

*This value relates to the visual and aesthetic qualities of the wetland.*

◦ **Endangered Species Habitat**

*This value considers the suitability of the wetland to support threatened or endangered species.*

## **FUNCTIONS AND VALUES ASSESSMENT**

Results of the wetland functions and values assessment are presented below. This assessment includes a discussion of potential changes to existing wetland functions and values that may occur as a result of the proposed project:

### **Groundwater Interchange (Recharge/Discharge)**

Because there is no identified sand and gravel aquifer underlying the project area, and the wetlands are not underlain by sands or gravel, it is unlikely that significant groundwater recharge is occurring within the tidal wetlands.

### **Floodwater Alteration (Storage and Desynchronization)**

The tidal wetlands associated with the Piscataqua River receive floodwaters from the surrounding watershed and connected waterways; therefore, is considered a principal function considering the large size of the combined waterways.

### **Fish and Shellfish Habitat**

The tidal wetland does provide fish and shellfish habitat, is associated with the Piscataqua River and the Atlantic Ocean; therefore, is considered a principal function.

### **Sediment/Toxicant Retention**

The tidal wetland and greater marine wetland system associated with the Piscataqua River contains dense vegetation and a significant source of sediments or toxicants; therefore, is considered a principal function.

### **Nutrient Removal/Retention/Transformation**

The tidal wetland and greater marine wetland system associated with the Piscataqua River contains dense vegetation and a significant source of sediments or toxicants; therefore, is considered a principal function.

**Production Export (Nutrient)**

Production export is a wetland function that typically occurs in the form of nutrient or biomass transport via watercourses, foraging by wildlife species, and removal of timber and other natural products. Because the tidal wetland provides fish and wildlife habitat, commercial and recreational fisheries opportunities, and nutrients are transferred over several trophic levels in the marine ecosystem, this is considered a principal function.

**Sediment/Shoreline Stabilization**

Due to the tidal nature and wave action of this wetland; sediment/shoreline stabilization is considered a principal function.

**Wildlife Habitat**

The greater tidal wetland and the Piscataqua River provide a variety of coastal and marine habitats, therefore would be considered a principal function.

**Recreation (Consumptive and Non-Consumptive)**

The greater tidal wetland and the Piscataqua River provides a variety of consumptive and non-consumptive recreational opportunities including hunting, fishing and bird watching; therefore, would be considered a principal function.

**Education/Scientific Value**

The greater tidal wetland and the Piscataqua River are part of a larger marine ecosystem with multiple areas of public access making this a principal value.

**Uniqueness/Heritage**

The tidal wetland and the Piscataqua River are unique to the seacoast area. Additionally, there are pre and post-colonial historical components associated with the Piscataqua River and the surrounding areas making this a principal value.

**Visual Quality/Aesthetics**

The Piscataqua River provides aesthetically pleasing coastal views that are viewable from surrounding uplands as well as from the water, making this a principal function.

**Endangered Species Habitat**

An online inquiry with the NHB resulted in the potential for Atlantic sturgeon (*Acipenser oxyrinchus*), and short nose sturgeon (*Acipenser brevirostrum*) to potentially occur near the project area. Ambit Engineering will provide specific project information to NHF & G and comments/recommendations will be provided to NH DES upon receipt.

**PROPOSED IMPACTS**

This report is accompanying a New Hampshire Department of Environmental Services (NHDES) Major Impact Wetland Permit Application request to propose 2,910 sq. ft. of permanent impact to tidal wetland for the construction of an overwater deck expansion with a public wharf deck (overall structure length 43.5' as measured from MHW) along 190+/- feet of frontage along the Piscataqua River.

**SUMMARY AND CONCLUSIONS**

The jurisdictional tidal wetland is part of a larger marine system and provides eleven principal functions and values when evaluated as a whole. These functions and values include: floodflow alteration, fish and shellfish habitat, production export, sediment/shoreline stabilization, wildlife habitat, recreation, education/scientific value, uniqueness/heritage, and visual quality aesthetics. While the entire marine system provides these principal functions and values, the proposed impacts associated with the dock modification will not have any effect on its ability to continue to provide them.

The proposed impacts have been minimized to the greatest extent practicable, while allowing reasonable use of the property. The proposed structures will be constructed on piles within the tidal wetland further reducing permanent impacts. The structures will not contribute to additional storm water or pollution. It is anticipated that there will be no effect on any fish or wildlife species that currently use the site for food, cover, and/or habitat. The structure will not impede tidal flow or alter hydrology, it will not deter use by wildlife species that currently use the wetland area, and it will not impede any migrational fish movement.

The structures have been designed to provide expanded use of the property and the businesses that are located on site. There is no grading of the shoreline required to construct the dock. There will be no construction activity that will disturb the area adjacent to the use. All work will be performed from a crane barge at low tide. The barge floats into position and the piles are driven by the crane equipped with a vibratory hammer. This method eliminates any contact of construction equipment with the protected resource. Portions of the structures will be pre-fabricated off site and transported to the site via crane barge.













Based on our assessment of the current functions and values and the proposed structures; it is our belief that the proposed project will have no significant impact on the tidal wetlands or greater marine systems ability to continue to provide their functions and values.

## **APPENDIX A**

### **WETLAND FUNCTION - VALUE EVALUATION FORM**

## Wetland Function – Value Evaluation Form

<b>Wetland Description:</b> Wetland A is a tidal wetland associated with the Piscataqua River.		<b>File number:</b> 3308	
		<b>Wetland identifier:</b> Wetland A	
		Latitude:X:1,227,494.49	Longitude:Y:212,344.
		<b>Preparer(s):</b> Ambit Engineering, Inc.	
		200 Griffin Road	
		<b>Date:</b> April 5, 2021	

Function/Value	Capability		Summary	Principal Yes/No
	Y	N		
 Groundwater Recharge/Discharge		X	This wetland does not possess the characteristics needed to provide this function as there are no identified underlying sand or gravel aquifers.	—
 Floodwater Alteration	X		The tidal wetland and the Piscataqua River do receive floodwater from the surrounding watershed and connected waterways; therefore, this would be considered a principal function.	Y
 Fish and Shellfish Habitat	X		The tidal wetland and the Piscataqua River are part of a larger coastal marine system and provide both fish and shellfish habitat. This is considered a Principal Function.	Y
 Sediment/Toxicant Retention	X		The greater tidal wetland contains dense vegetation and a source of sediments and toxicants, therefore a principal function.	Y
 Nutrient Removal	X		The greater tidal wetland contains dense vegetation and a source of nutrients, therefore a principal function.	Y
 Production Export	X		Because the tidal wetland provides fish and wildlife habitat, commercial and recreational fishing opportunities, and nutrients are transferred over several trophic levels in the marine ecosystem, this is considered a principal function.	Y
 Sediment/Shoreline Stabilization	X		Due to the tidal nature and wave action of this wetland; sediment/shoreline stabilization is considered a principal function.	Y
 Wildlife Habitat	X		The greater tidal wetland and the Piscataqua River provides a variety of coastal and marine habitat, therefore would be considered a principal function.	Y
 Recreation	X		The greater tidal wetland provides a variety of consumptive and non-consumptive recreational opportunities including hunting, fishing and bird watching; therefore, would be considered a principal function.	Y
 Education/Scientific Value	X		The tidal wetland and the Piscataqua River are part of a larger marine ecosystem with multiple areas of public access making this a principal value.	Y
 Uniqueness/Heritage	X		The tidal wetland and the Piscataqua River are unique to the seacoast area. Additionally, there are pre and post-colonial historical components associated with the Piscataqua River and the surrounding areas making this a principal value.	Y
 Visual Quality/Aesthetics	X		The Piscataqua River provides aesthetically pleasing coastal views that are viewed from surrounding uplands as well as from the water, making this a principal function.	Y
<b>ES</b> Endangered Species Habitat	X		An online inquiry with the NH Natural Heritage Bureau resulted in an occurrence of a sensitive species near the project area. Ambit Engineering will coordinate with NHB and NHF & G and will forward comment to NH DES upon receipt.	—
Other				

Notes:

\* Attach list of considerations.

## **APPENDIX B**

### **PHOTO LOG**



Site Photograph #1

April 2021



Site Photograph #2

April 2021





Site Photograph #3

April 2021



Site Photograph #4

April 2021





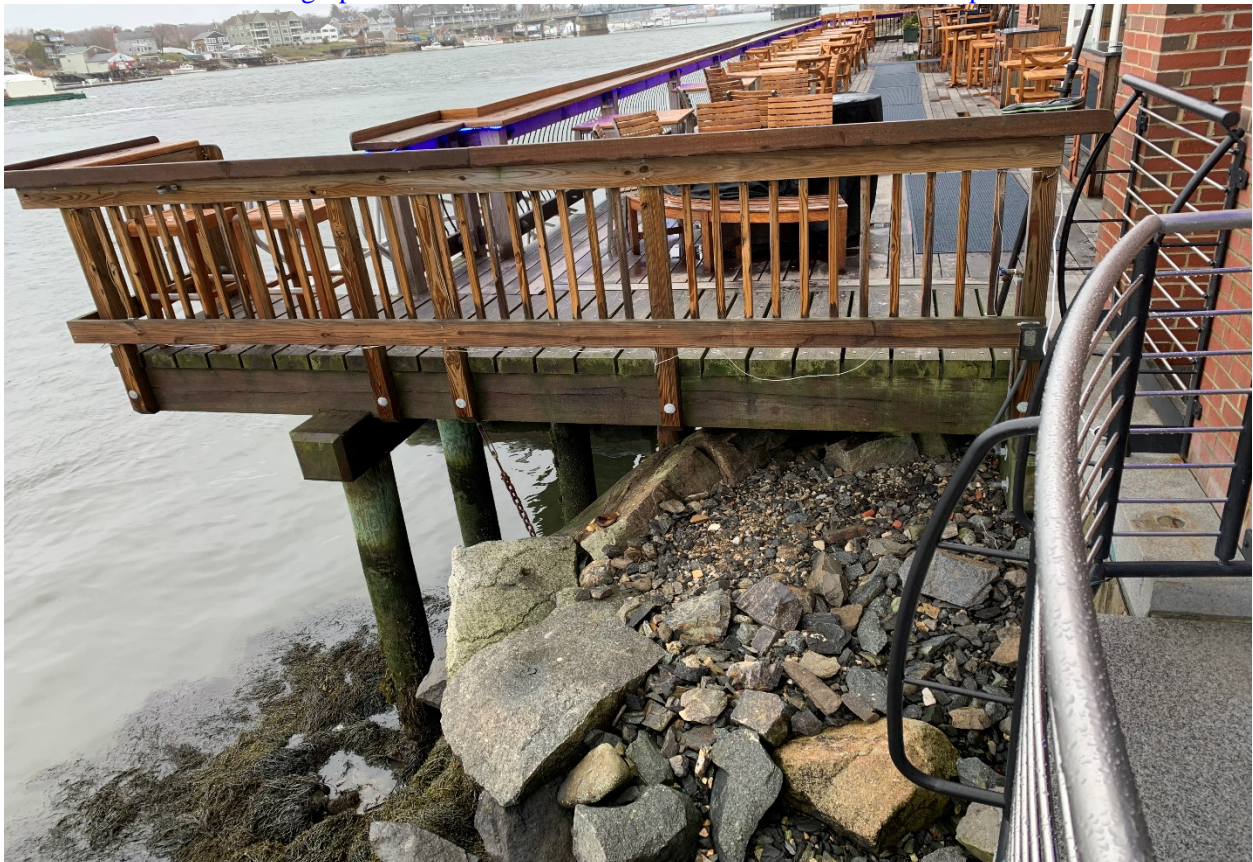
Site Photograph #5

April 2021



Site Photograph #6

April 2021





Site Photograph #7

April 2021



Site Photograph #8

April 2021





Site Photograph #9

April 2021



Site Photograph #10

April 2021







## **APPENDIX C**

### **NEW HAMPSHIRE NATURAL HERITAGE BUREAU CORRESPONDENCE**

# Memo

## NH Natural Heritage Bureau NHB DataCheck Results Letter

**To:** John Chagnon, Ambit Engineering, Inc.  
200 Griffin Road  
Unit 3  
Portsmouth, NH 03801

**From:** Amy Lamb, NH Natural Heritage Bureau

**Date:** 5/10/2021 (valid until 05/10/2022)

**Re:** Review by NH Natural Heritage Bureau

**Permits:** MUNICIPAL POR - Portsmouth, NHDES - Wetland Standard Dredge & Fill - Major, USACE - General Permit

**NHB ID:** NHB21-1524      Town: Portsmouth      Location: 99 Bow Street  
**Description:** The project proposes an expansion of the existing overwater structure (deck used for outdoor dining) and expansion of the existing tidal docking structure.

**cc:** Kim Tuttle

As requested, I have searched our database for records of rare species and exemplary natural communities, with the following results.

**Comments** NHB: No Comments At This Time

**F&G:** Please provide construction schedule so that we can evaluate for potential noise disturbance to Sturgeon species.

Vertebrate species	State <sup>1</sup>	Federal	Notes
Atlantic Sturgeon ( <i>Acipenser oxyrinchus oxyrinchus</i> )	T	T	Contact the NH Fish & Game Dept and the US Fish & Wildlife Service (see below).
Shortnose Sturgeon ( <i>Acipenser brevirostrum</i> )	E	E	Contact the NH Fish & Game Dept and the US Fish & Wildlife Service (see below).

<sup>1</sup>Codes: "E" = Endangered, "T" = Threatened, "SC" = Special Concern, "--" = an exemplary natural community, or a rare species tracked by NH Natural Heritage that has not yet been added to the official state list. An asterisk (\*) indicates that the most recent report for that occurrence was more than 20 years ago.

Contact for all animal reviews: Kim Tuttle, NH F&G, (603) 271-6544.

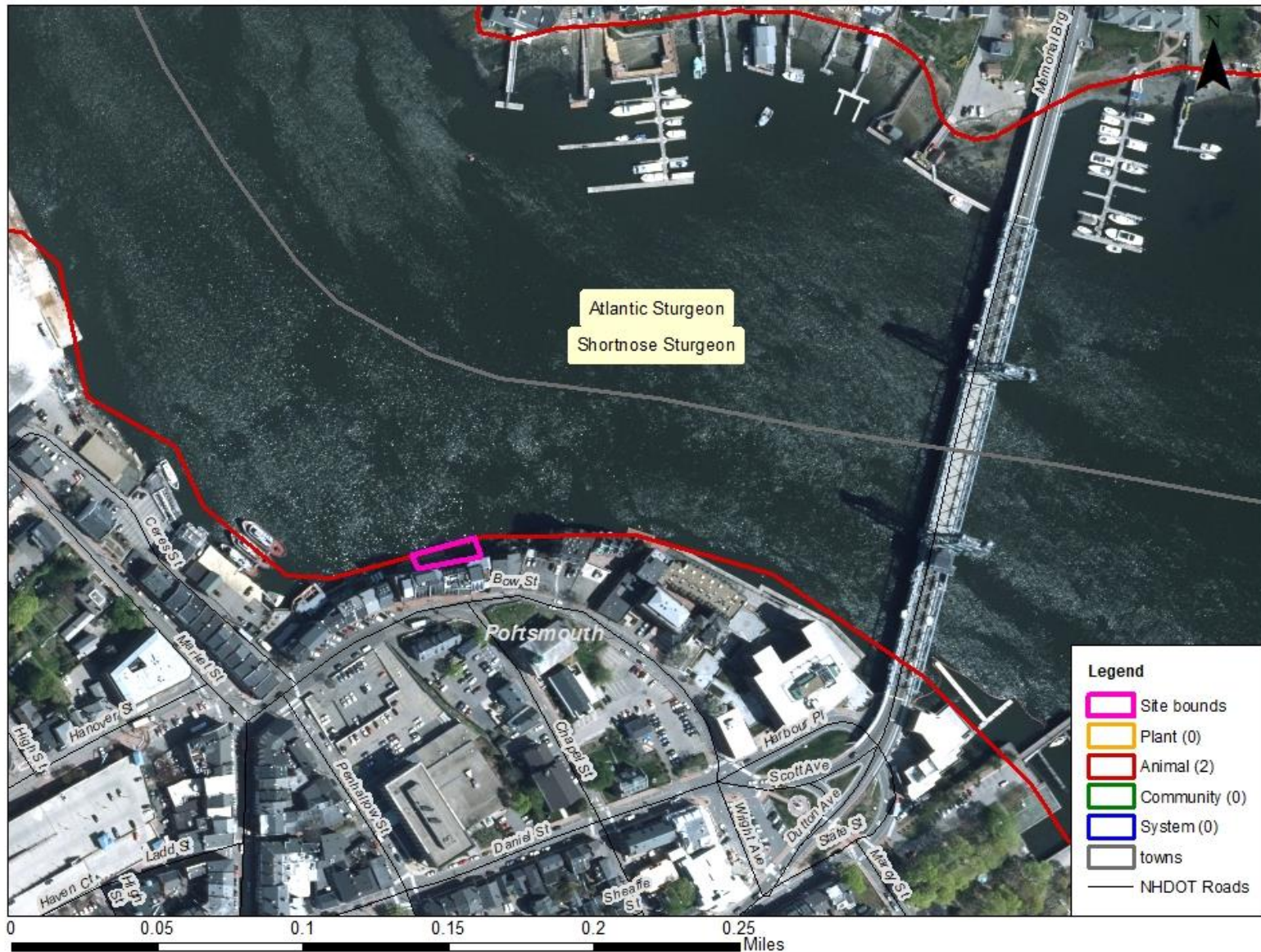
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A negative result (no record in our database) does not mean that a sensitive species is not present. Our data can only tell you of known occurrences, based on information gathered by qualified biologists and reported to our office. However, many areas have never been surveyed, or have only been surveyed for certain species. An on-site survey would provide better information on what species and communities are indeed present.



CONFIDENTIAL – NH Dept. of Environmental Services review

NHB21-1524



## New Hampshire Natural Heritage Bureau - Animal Record

### Atlantic Sturgeon (*Acipenser oxyrinchus oxyrinchus*)

#### Legal Status

Federal: Listed Threatened  
State: Listed Threatened

#### Conservation Status

Global: Rare or uncommon  
State: Critically imperiled due to rarity or vulnerability

#### Description at this Location

Conservation Rank: Not ranked  
Comments on Rank: --

Detailed Description: 2016: 1 individual, sex unknown, detected in the lower Piscataqua River. 2015: 1 individual, sex unknown, detected in Portsmouth Harbor. 2012: 1 individual, sex unknown, detected in Little Bay.

General Area: 2016: Tidal waters in Portsmouth Harbor, Little Bay, and the Piscataqua River.

General Comments: --

Management: --

Comments:

#### Location

Survey Site Name: Piscataqua River

Managed By:

County:

Town(s): Out-Of-State

Size: 7749.3 acres

Elevation:

Precision: Within 1.5 miles of the area indicated on the map (location information is vague or uncertain).

Directions: 2016: Tidal waters of Portsmouth Harbor, Little Bay, and the Piscataqua River.

#### Dates documented

First reported: 2012-06-02

Last reported: 2016-05-27

The U.S. Fish & Wildlife Service has jurisdiction over Federally listed species. Please contact them at 70 Commercial Street, Suite 300, Concord NH 03301 or at (603) 223-2541.

## New Hampshire Natural Heritage Bureau - Animal Record

### Shortnose Sturgeon (*Acipenser brevirostrum*)

<b>Legal Status</b>	<b>Conservation Status</b>
Federal: Listed Endangered	Global: Rare or uncommon
State: Listed Endangered	State: Critically imperiled due to rarity or vulnerability

<b>Description at this Location</b>	
Conservation Rank:	Not ranked
Comments on Rank:	--
Detailed Description:	2016: 2 individuals, 1 female and 1 sex unknown, detected in Portsmouth Harbor and the lower Piscataqua River. 2015: 3 females and 2 other individuals, sex unknown detected in Portsmouth Harbor. 2014: 1 female detected moving from Portsmouth Harbor up the Piscataqua River to the mouth of the Cocheco River. 2012: 1 female detected in Little Bay. 2011: 1 female detected in Little Bay. 2010: 1 female detected in Little Bay.
General Area:	2016: Tidal waters in Portsmouth Harbor, Little Bay, and the Piscataqua River.
General Comments:	--
Management	--
Comments:	

<b>Location</b>
Survey Site Name: Piscataqua River
Managed By:

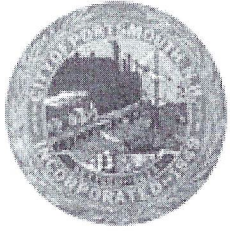
County:  
 Town(s): Out-Of-State  
 Size: 7749.3 acres Elevation:

Precision: Within 1.5 miles of the area indicated on the map (location information is vague or uncertain).

Directions: 2016: Tidal waters of Portsmouth Harbor, Little Bay, and the Piscataqua River.

<b>Dates documented</b>			
First reported:	2010-11-03	Last reported:	2016-10-20

The U.S. Fish & Wildlife Service has jurisdiction over Federally listed species. Please contact them at 70 Commercial Street, Suite 300, Concord NH 03301 or at (603) 223-2541.



# City of Portsmouth Building Permit

Inspection Department  
1 Junkins Avenue  
Portsmouth, NH 03801  
603-610-7243

**Permit Number:**  
44  
**Date of Issue:**  
April 07, 2017  
**Expires:**  
04/07/2018  
**Const. Cost:**  
\$50000

**Owner:** MARTINGALE WHARF LIMITED PARTNERSHIP  
**Applicant:** Mark McNabb  
**Contractor:** Mark A. McNabb, McNabb Properties, Ltd. **Phone #:** (603)427-0725  
**Location:** 99 BOW ST

**Description of Work:** Construction of new interior stair to connect Martingale Wharf Restaurant to Bow Street which will provide a third means of egress out of Martingale Wharf Restaurant.

**Zoning:** CD5  
**Map/Lot:** 0106--0054--0000-  
**Design Occupant Load:**

**Min Constr. Type:**  
**Bldg. Code:**                   **Edition:**

**Remarks:**

- \* Separate electrical, plumbing and mechanical permits required.
- \* Issuance of this permit does not authorize any increase to existing max. occupant load. Separate permit application required which includes a detailed seating and life safety plan along with all details necessary to justify any requested increase.
- \* Per 4/6/17 email response from designer and revised drawings dated 4/6/17.
- \* Illuminated exit signs and emergency lighting are required throughout the space to illuminate the exit access and front & rear exit discharges.

The PERMIT HOLDER has read this permit, the permit application, and the Building Official's marked-up plans and agrees to perform the work authorized including any conditions or requirements indicated thereon; and any stipulations imposed by a Land Use Board in conjunction with the project. The CONTRACTOR shall be responsible for notifying the Inspection Department 48 hours in advance, for FOUNDATION, FRAMING, and FINAL inspections. A Certificate of Occupancy is required for all Building Permits. Buildings shall not be occupied until ALL inspections (BUILDING, ELECTRICAL, PLUMBING, MECHANICAL, and FIRE) are complete and Occupancy has been issued. By signing this permit, the owner or his/her representative (Permit Holder), authorizes property access by city officials to conduct interior and exterior inspections and property tax assessments during and/or after the construction process.

**The Permit Card Shall Be Posted and Visible From the Street During Construction.**

**Code Official:**

This is an e-permit. To learn more, scan this barcode or visit [portsmouthnh.viewpointcloud.com/#/records/44](http://portsmouthnh.viewpointcloud.com/#/records/44)





**City of Portsmouth**  
**Planning & Inspection Departments**  
**1 Junkins Ave**  
**Portsmouth, NH 03801**  
**Phone: 603-610-7216**

Receipt #: 118278

Date: 4/07/2017

INSPECT

**Paid By:**

**Transaction Receipt**

Martingale, LLC

----- Bills Paid -----				
Invoice #	Principal	Costs	Interest	Amount Applied
Description / Location				Balance Due
2017 OC-BLDGPORTS-MS-45364	500.00	0.00	0.00	500.00
44/Building Permits	0			0.00
<b>Total Applied:</b>		<b>500.00</b>	<b>0.00</b>	<b>500.00</b>

----- Payments -----				
Type	Reference	Fees	Amount	Total Paid
CHECK	14049	0.00	500.00	500.00
				0.00

Received

# City of Portsmouth, NH

1 Junkins Ave, (603) 610-7243  
FAX: (603) 610-4040

[www.cityofportsmouth.com](http://www.cityofportsmouth.com)

BOA \_\_\_\_\_  
HDC \_\_\_\_\_  
SPR \_\_\_\_\_  
CC \_\_\_\_\_

## Building Permit Application -- MINOR CONSTRUCTION / RENOVATION and MISCELLANEOUS ACTIVITIES

Form Updated May 2016

**Office Use:** Cost of All Construction: \$ \_\_\_\_\_ Fee: \$ \_\_\_\_\_ Chk #: \_\_\_\_\_ Cash: \_\_\_\_\_  
 Zoning District: \_\_\_\_\_ HD: \_\_\_\_\_ DOD: \_\_\_\_\_ Map #: \_\_\_\_\_ Lot #: \_\_\_\_\_ Building Permit #: \_\_\_\_\_

*Print in Ink or Type. Complete all blanks or indicate "N/A" if not applicable.*

PROPERTY OWNER	
Name:	Martingale, LLC
Address:	99 Bow Street
City:	Portsmouth
State:	NH
Zip:	03801
Phone:	603-427-0725
Cell Phone:	603-235-2918
E-mail:	mark@mcnabbgroup.com

PERMIT APPLICANT	
Name:	SAME
Address:	_____
City:	_____
State:	_____
Zip:	_____
Phone:	_____
Cell Phone:	_____
E-mail:	_____

**Street Address of Property/Project:** 99 Bow Street **Unit #:** \_\_\_\_\_  
**Contractor Name:** TBD **Phone:** \_\_\_\_\_

**Existing Use of Property:** Mixed Use - Office / Restaurant

### Description of Work (Check all that apply)

**Cost of All Construction:** \$ 50,000.00

<input type="checkbox"/> Reroofing in Historic District	<input type="checkbox"/> Remodel _____	<input checked="" type="checkbox"/> Commercial Renovation (Plans Required)
<input type="checkbox"/> Siding	<input type="checkbox"/> Remodel Kitchen (Floor Plans)	<input type="checkbox"/> Electrical Work (Separate Permit)
<input type="checkbox"/> Replacement Windows/Doors	<input type="checkbox"/> Remodel Bathroom (Floor Plans)	<input type="checkbox"/> Plumbing Work (Separate Permit)
<input type="checkbox"/> Buried Tank(s)-Removal	<input type="checkbox"/> New Interior Room(s) (Floor Plans)	<input type="checkbox"/> Other Activity - <b>Explain Fully Below</b>

Expanded Description of Work: Construction of new stair and corridor to provide an additional exit to wharf level restaurant.

When doing remodeling, provide sketch of work area.

If structural work is involved, provide framing information in sketch format, in plan view or with cross section(s).

I certify that the information given is true and correct to the best of my knowledge. **No change from the above information will be made without approval of the Building Inspector.** Construction activities shall not commence until the Building Permit is issued. I realize that when all necessary approvals have been acquired, a Building Permit may be granted by the Building Inspector to allow construction or remodeling in conformance with this application and the plans/specifications submitted in support of said construction or remodeling only.

Painting and remodeling in dwellings and commercial child care occupancies built before 1978 require all work to be in conformance with Federal EPA rules concerning lead paint. All contractors shall be certified as required by these rules.

I further acknowledge that the proposed structure or improvements shall not be occupied or otherwise utilized without the issuance of a Building Certificate of Occupancy and only after all necessary inspections have been requested and completed. I am also aware that the disposal of waste generated from this project is my responsibility and not part of the City's Trash/Recycling Program.

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

\_\_\_\_\_  
If Not Owner, State Relationship

Permit Issuance Approved by Building Inspector: \_\_\_\_\_ Date \_\_\_\_\_



# MARTINGALE WHARF RESTAURANT: NEW EGRESS STAIR

PORTSMOUTH, NEW HAMPSHIRE

MARTINGALE WHARF RESTAURANT  
NEW EGRESS STAIR

99 BOW STREET  
PORTSMOUTH, NEW HAMPSHIRE

## PROJECT DESCRIPTION:

THE GOAL OF THIS PROJECT IS TO ADD A THIRD MEANS OF EGRESS FROM THE MARTINGALE WHARF RESTAURANT. THE CURRENT RESTAURANT UTILIZES ONE INTERIOR STAIR AND ONE EXTERIOR STAIR AS IT'S TWO MEANS OF EGRESS. THE EXISTING MEANS OF EGRESS ALLOWS FOR THE MAX OCCUPANCY OF 322 PEOPLE, AND THE ADDITION OF A NEW INTERIOR STAIR WILL ALLOW AN INCREASE IN OCCUPANT LOAD UP TO 475 PEOPLE.

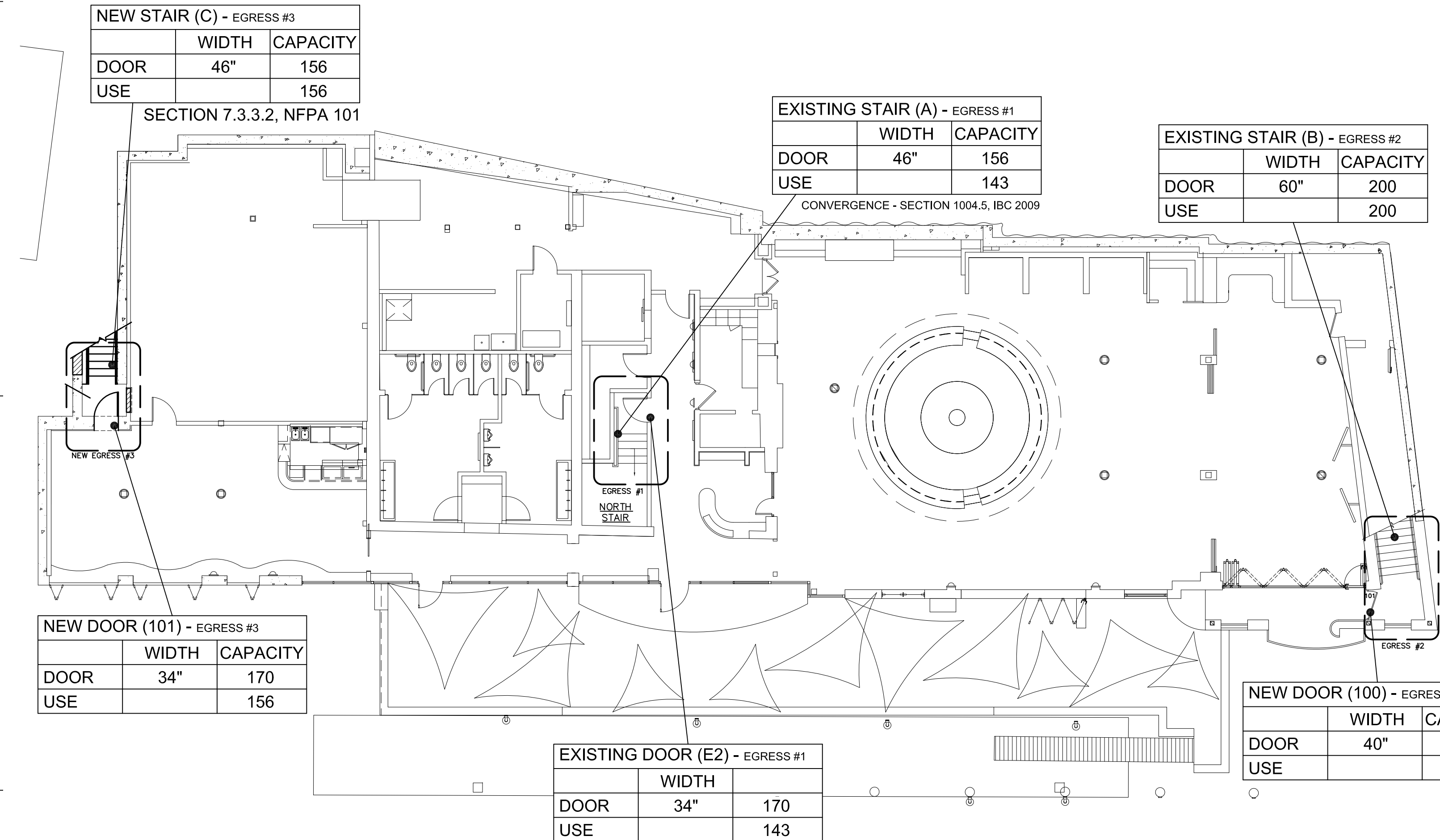
## BUILDING CODE REVIEW:

BUILDING DATA	
FOOTPRINT GROSS AREA	8,544 SF
NUMBER OF STORIES ABOVE GRADE	FIVE STORIES
BUILDING HEIGHT	49'-9" (AVG. GRADE TO MID-SLOPE OF ROOF)
CONSTRUCTION TYPE	2A (TABLE 601 IBC 2009)
SPRINKLER SYSTEM	SUPERVISED NFPA-13 SYSTEM (903.2.9.1 IBC 2009)
OCCUPANCY USE GROUP	A2 - RESTUARANTS + B - BUSINESS (CHAPTER 3, IBC 2009)
MEANS OF EGRESS REQUIREMENTS	
OCCUPANT LOAD	SEE OCCUPANT LOAD CHART - (TABLE 7.3.1.2, NFPA 101)
MINIMUM NUMBER OF EXITS REQUIRED	2 PER STORY (7.4.1, NFPA 101)
REQUIRED CLEAR EGRESS WIDTH AT DOORS	32" MIN. / 34" PROVIDED (A.7.2.1.2.3.2 NFPA 101)
REQUIRED CLEAR EGRESS WIDTH AT STAIR	44" MIN. / 44" PROVIDED (7.2.2.1.2(B) NFPA 101)
FIRE RATINGS	
	TYPE 2A CONSTRUCTION
EXTERIOR BEARING WALLS	1 HOUR (TABLE 601, IBC 2009)
INTERIOR BEARING WALLS	1 HOUR (TABLE 601, IBC 2009)
NON-BEARING INTERIOR WALLS	0 HOUR (TABLE 601, IBC 2009)
FLOOR CONSTRUCTION	1 HOUR (TABLE 601, IBC 2009)
ROOF CONSTRUCTION	1 HOUR (TABLE 601, IBC 2009)
STRUCTURAL FRAME	1 HOUR (TABLE 601, IBC 2009)
EXIT ENCLOSURES	2 HOUR (1022.1, IBC 2009)
CORRIDOR SEPARATION	0 HOUR (TABLE 1018.1, IBC 2009)

## OCCUPANT LOAD/CONVERGENCE CHART:

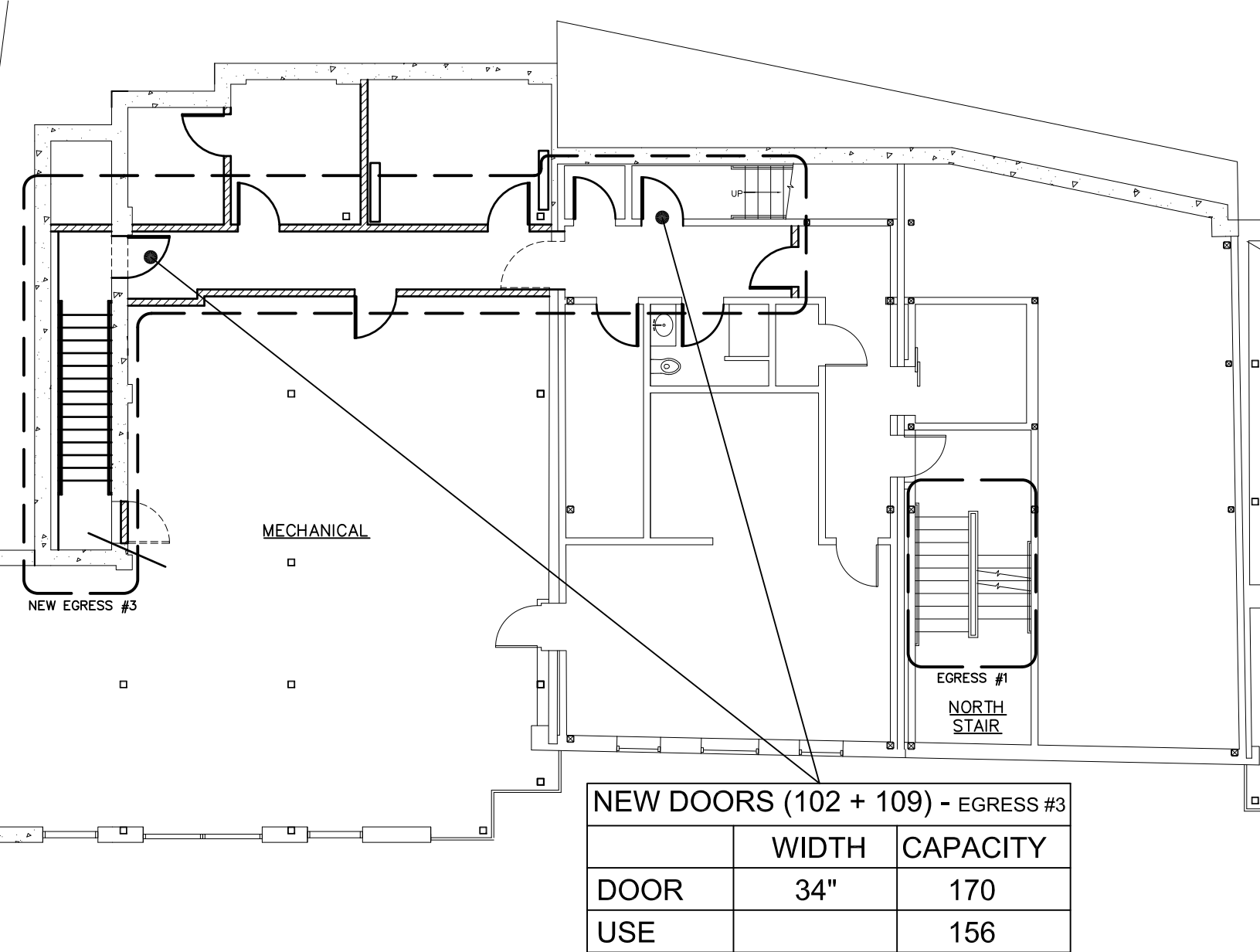
LEVEL	OCCUPANTS
FIFTH LEVEL (NOT SHOWN)	+3 53
FOURTH LEVEL (NOT SHOWN)	+2 77
THIRD LEVEL (NOT SHOWN)	+1 77
SECOND LEVEL (EXITS/BOW STREET)	0 282
FIRST LEVEL (NOT SHOWN)	-1 76
MECHANICAL MEZZANINE	-2 12
WHARF LEVEL	-3 475

CONVERGENCE - THE TWO INTERIOR EXIT ENCLOSURES AT THE MARTINGALE BOTH EXIT AT BOW STREET AT WHAT IS CALLED THE SECOND LEVEL. THERE ARE THREE LEVELS ABOVE THE EXIT LEVEL AND THREE LEVELS BELOW THE EXIT LEVEL. SECTION 1004.5, IBC 2009 STATES THAT CONVERGENCE OCCURS WHEN "OCCUPANTS OF ONE FLOOR TRAVEL DOWN AND OCCUPANTS OF A LOWER FLOOR TRAVEL UP AND MEET AT A COMMON, INTERMEDIATE EGRESS COMPONENT." IN THIS SITUATION THE NEW EXIT IS BEING CREATED FROM THE WHARF LEVEL WHICH IS -3 FROM THE LEVEL OF DISCHARGE AND OCCUPANTS EXITING THE WHARF WILL MEET UP AT STREET LEVEL WITH THE OCCUPANTS FROM THE FIFTH LEVEL. THEREFORE THE FIFTH LEVEL OCCUPANT LOAD OF 53 MUST BE ACCOUNTED FOR WITHIN THE CAPACITY OF ANY PERTINENT EGRESS COMPONENT.



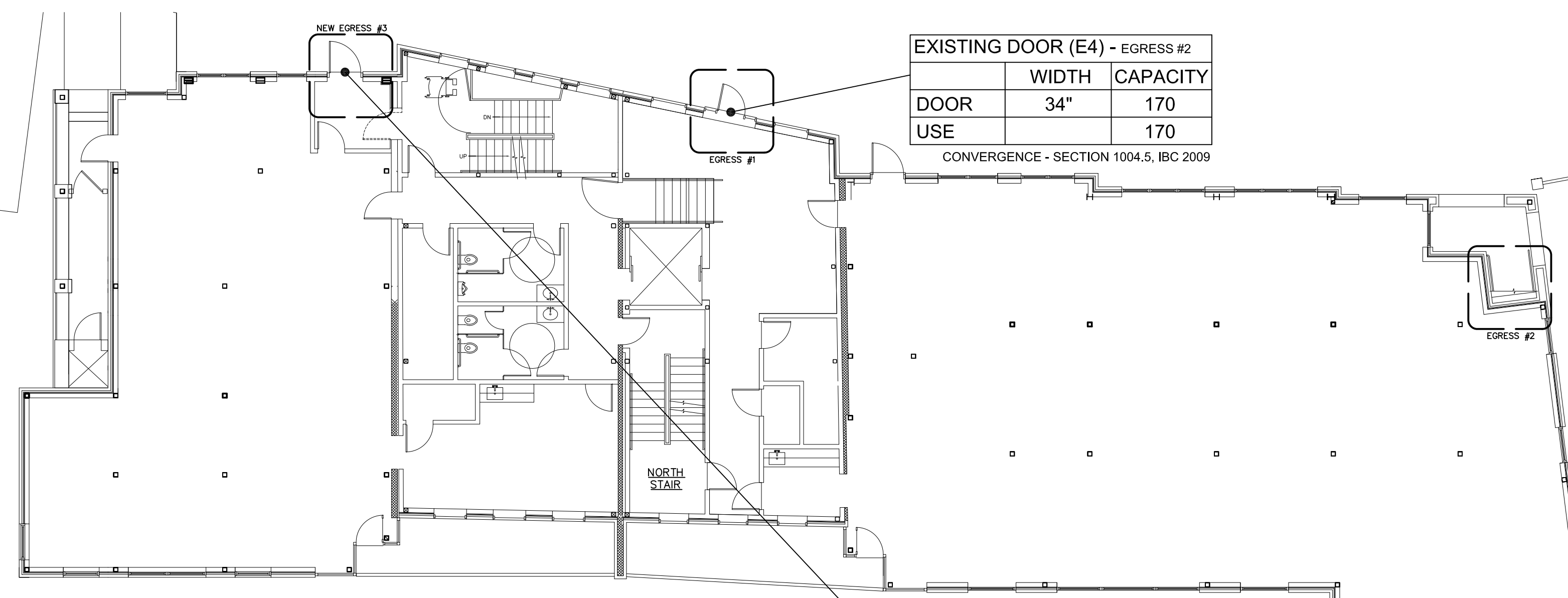
1 WHARF LEVEL EGRESS PLAN (LEVEL -3)

A1 SCALE: 3/32"=1'-0"



2 MECHANICAL LEVEL EGRESS PLAN (LEVEL -2)

A1 SCALE: 3/32"=1'-0"



3 BOW STREET LEVEL EGRESS PLAN (LEVEL 0)

A1 SCALE: 3/32"=1'-0"

## EGRESS CAPACITY/USE:

TO DETERMINE THE ALLOWABLE INCREASE IN OCCUPANTS TO THE WHARF LEVEL DUE TO THE ADDITION OF A THIRD EGRESS SYSTEM THE CAPACITY OF EACH EGRESS COMPONENT WITHIN THE SYSTEM MUST BE EVALUATED USING OCCUPANT LOAD COUNTS AND APPLICABLE CONVERGENCE FACTORS.

EGRESS #1 - 170 OCCUPANTS (DOOR E4) - 27 OCCUPANTS (FIFTH LEVEL CONVERGENCE FACTOR) = 143 OCCUPANTS (MORE STRINGENT)  
OR 156 OCCUPANTS (STAIR A) = 156 OCCUPANTS

EGRESS #2 - 200 OCCUPANTS (DOOR 100) OR  
200 OCCUPANTS (STAIR B) = 200 OCCUPANTS

EGRESS #3 - 200 OCCUPANTS (DOOR E3) - 27 OCCUPANTS (FIFTH LEVEL CONVERGENCE FACTOR) = 173 OCCUPANTS OR  
156 OCCUPANTS (STAIR C) = 156 OCCUPANTS (MORE STRINGENT)

MARTINGALE WHARF OCCUPANT LOAD = 499 TOTAL

## LIST OF DRAWINGS:

### ARCHITECTURAL

- A1.1 LIST OF DRAWINGS, CODE REVIEW, & EGRESS PLANS
- A1.2 GENERAL NOTES, FLOOR PLANS, WALL TYPES, & DOOR SCHEDULE

PROJECT:

McHENRY  
ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire  
603.430.0274

STAMP:

CONSULTANT:

REVISIONS:

06APRIL2017

PROJECT NAME:

MARTINGALE WHARF RESTAURANT  
NEW EGRESS STAIR

PROJECT NO.: 15024

DRAWN BY: JJ

APPROVED BY: JJ

ISSUE DATE: 10MARCH2017

DRAWING NAME:

LIST OF DRAWINGS,  
CODE REVIEW,  
&  
EGRESS PLANS

SCALE: AS NOTED

DRAWING NO.:

A1.1

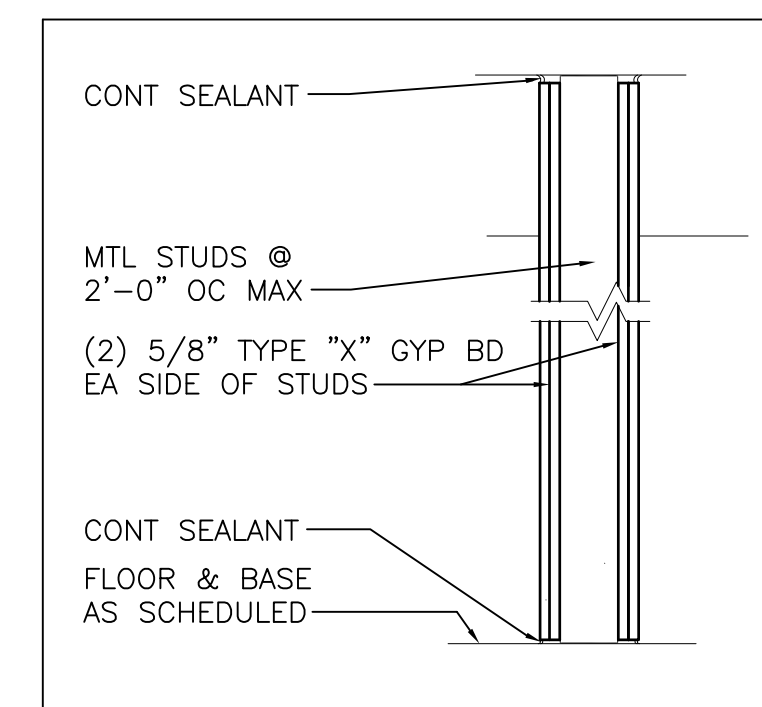
**GENERAL CONSTRUCTION NOTES:**

1. WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO THE STATE, NATIONAL, AND OTHER CODES AND ORDINANCES THAT APPLY TO THIS PROJECT.
2. DO NOT SCALE DRAWINGS OR DIMENSIONS. FOR MISSING DIMENSIONS OR DIMENSIONAL CONFLICTS, CONTACT THE ARCHITECT IMMEDIATELY BEFORE CONTINUING WITH THE WORK.
3. BRING ANY DISCREPANCIES IN THESE PLANS TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
4. REFER TO MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DRAWINGS AND SPECIFICATIONS FOR LOCATIONS OF ALL BLOCK OUTS, INSERTS, OPENINGS, CURBS, BASES, AND PADS THAT ARE NOT DIMENSIONED OR SHOWN ON ARCHITECTURAL OR STRUCTURAL DRAWINGS, TYP.
5. STRUCTURAL STEEL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS AND SPECIFICATIONS SHALL BE PROVIDED AND ARE THE RESPONSIBILITY OF THEIR RESPECTIVE SUBCONTRACTORS AND THEIR DESIGN BUILD ENGINEER.
6. DIMENSIONS ARE FROM FACE OF FRAMING TO FACE OF FRAMING UNLESS NOTED OTHERWISE. DIMENSIONS INDICATED AS "CLEAR" SHALL MAINTAIN A CLEAR OPENING WIDTH FROM FACE OF FINISHES. DIMENSIONS TO EXISTING CONSTRUCTION ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE.
7. WORK FROM GIVEN DIMENSIONS AND LARGE SCALE DETAILS ONLY. DO NOT SCALE DRAWINGS.
8. ROOM NUMBERS ON PLANS ARE FOR REFERENCE ONLY AND MAY NOT CORRESPOND TO ACTUAL ROOM NUMBERS AT THE SITE.
9. BEFORE PENETRATING JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS, OBTAIN APPROVAL FROM THE ARCHITECT.
10. THE LOCATION OF DOOR OPENINGS NOT DIMENSIONED SHALL BE 6" FROM ADJACENT WALL (FACE OF FRAMING TO ROUGH OPENING).
11. PROVIDE BLOCKING BEHIND SURFACE APPLIED FIXTURES, TRIM, GRAB BARS, SHELVING, CHAIR RAILS, PICTURE RAILS, WOOD TRIM AND BASE, AND OTHER ACCESSORIES WHEN MOUNTED ON STUD WALLS.
12. WHERE WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, TAPE AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTINUOUS. USE METAL TRIM WHERE GYPSUM BOARD INTERSECTS OTHER MATERIALS.
13. PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH PHASING AND WITH THE LOCAL BUILDING COMMISSIONER.
14. DURING THE ENTIRE CONTRACT PERIOD, MAINTAIN THE CONSTRUCTION SITE IN A SECURE, NEAT, CLEAN, AND SAFE MANNER.
15. DISPOSE OF AND/OR RECYCLE CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE CONTRACT AND AS INSTRUCTED BY THE OWNER. OBTAIN DISPOSAL PERMITS AS REQUIRED.
16. PROVIDE AND COORDINATE TEMPORARY UTILITY CONNECTIONS WITH THE OWNER.
17. WORK SHALL BE COMPLETED IN COMPLIANCE WITH INDUSTRY STANDARDS AND PERFORMED IN A WORKMANLIKE PROFESSIONAL MANNER.

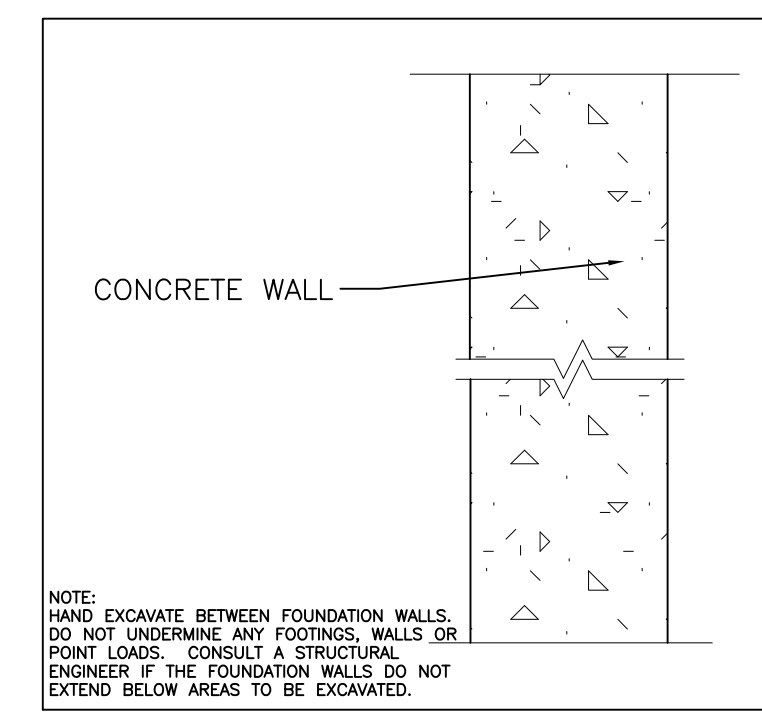
**GENERAL DEMO NOTES:**

1. ANY REFERENCE TO DEMOLITION IS BASED ON EXISTING WORKING DRAWINGS AND EXAMINATION OF THE EXISTING STRUCTURE AND ARE INTENDED TO SHOW THE GENERAL CONDITIONS WHICH ARE EXPECTED TO OCCUR. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY SITUATIONS, DIMENSIONS, OR OTHER CONDITIONS OF THE EXISTING STRUCTURE WHICH MAY ARISE DURING DEMOLITION OR CONSTRUCTION.
2. VERIFY ALL CONDITIONS BEFORE PROCEEDING WITH THE DEMOLITION WORK IN ANY AREA. DEMOLITION OF DOORS, WINDOWS, CABINETRY, FINISHES, PARTITIONS, OR ANY OTHER NON-STRUCTURAL ITEMS MAY PROCEED AS INDICATED. WHERE DISCREPANCIES INVOLVE STRUCTURAL ITEMS, REPORT SUCH DIFFERENCES TO THE ARCHITECT IMMEDIATELY AND SECURE INSTRUCTIONS BEFORE PROCEEDING WITH WORK IN THAT AREA.
3. DASHED LINES INDICATE WALLS, DOORS, WINDOWS, CABINETRY, AND OTHER ITEMS TO BE DEMOLISHED.
4. CUT WORK BY METHODS LEAST LIKELY TO DAMAGE EXISTING WORK TO REMAIN AND ANY NEW WORK. THE CONTRACTOR SHALL REPAIR ALL DAMAGES CAUSED TO THE ADJACENT WORK CAUSED BY THE DEMOLITION.
5. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY FORMS OF PROTECTION.
6. THE CONTRACTOR SHALL FOLLOW ALL OSHA REQUIREMENTS.
7. WHERE APPLICABLE PATCH AND REPAIR ALL FLOORING, WALLS, WALL BASE, AND CEILINGS TO MATCH EXISTING ADJACENT MATERIALS.

**WALL TYPES:**



**3 5/8" METAL STUD FULL HEIGHT, 2 HOUR RATED UL U411**

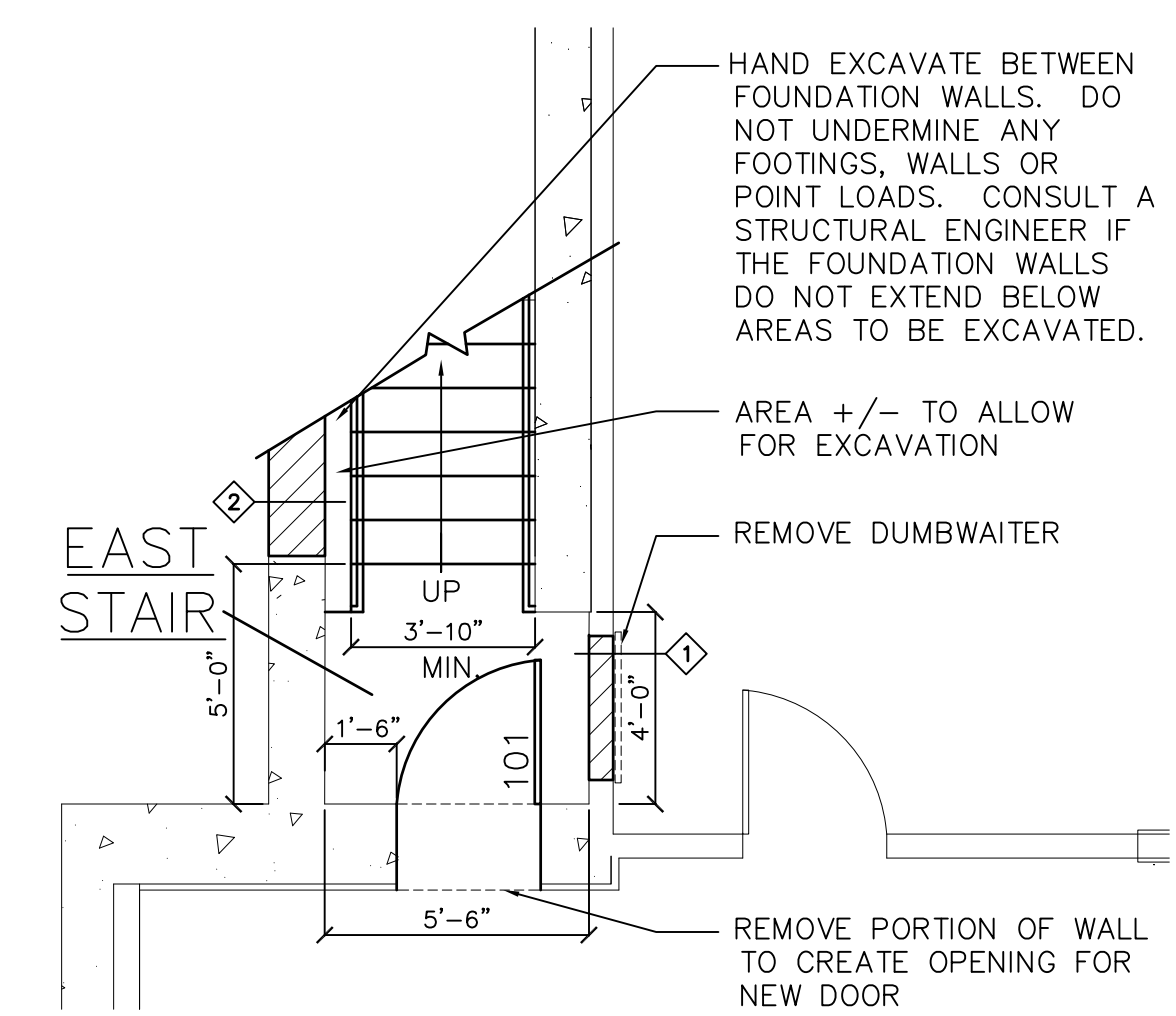


**CONCRETE INFILL WALL: TO MATCH EXISTING ADJACENT WALL**

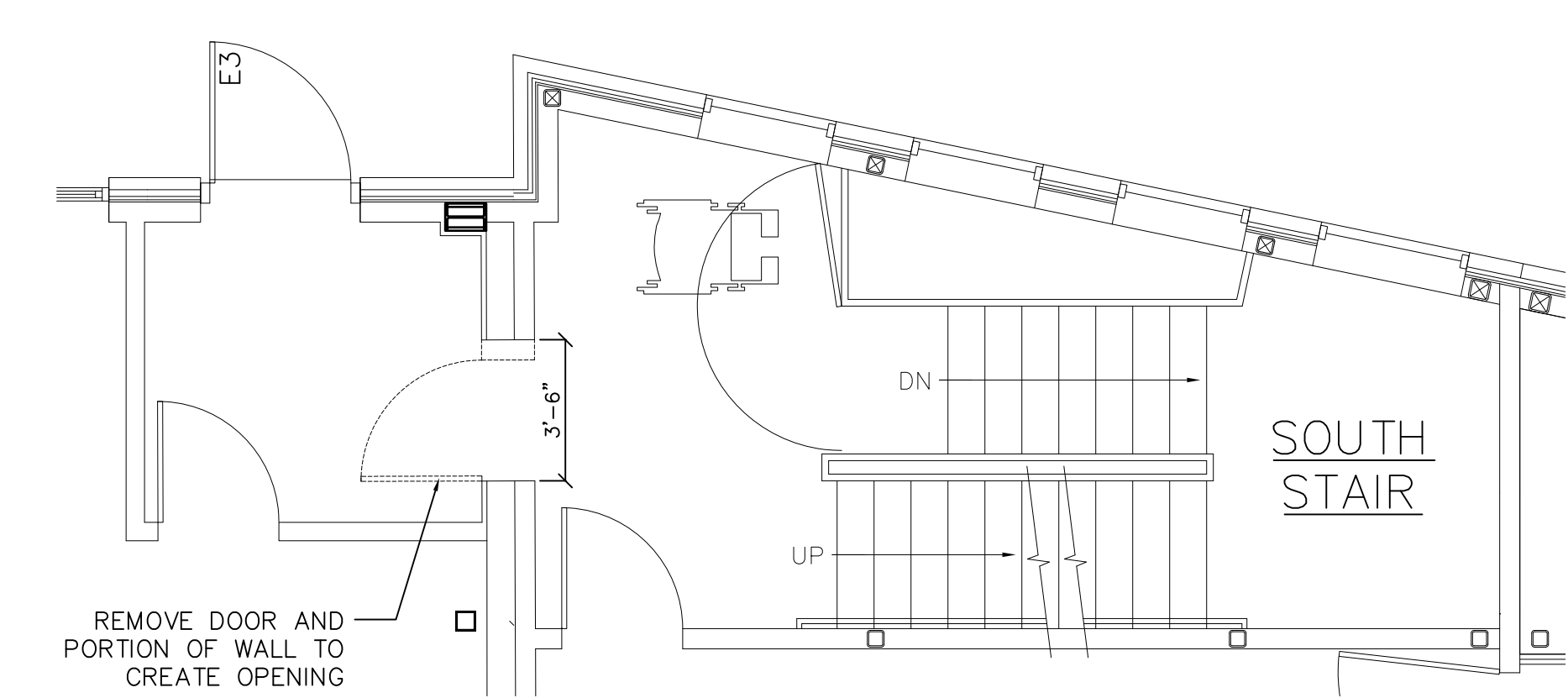
NOTE:  
THE FLOOR/CEILING ASSEMBLIES OF THE NEW CORRIDOR AT THE MECHANICAL LEVEL HAVE A 1HR FIRE RESISTANCE RATING AS CONSTRUCTED. SINCE THIS CORRIDOR WILL BE AN "EXIT PASSAGEWAY" THE FIRE RESISTANCE RATING OF THE FLOOR/CEILING ASSEMBLIES WILL NEED TO BE INCREASED TO 2HR. THIS WILL BE ACHIEVED WITH EITHER A SPRAY APPLIED FIRE RESISTIVE COATING OR AN INTUMESCENT PAINT COATING. DETAILS TO BE DETERMINED ON-SITE ONCE THESE AREAS CAN BE EXPOSED.

**DOOR SCHEDULE:**

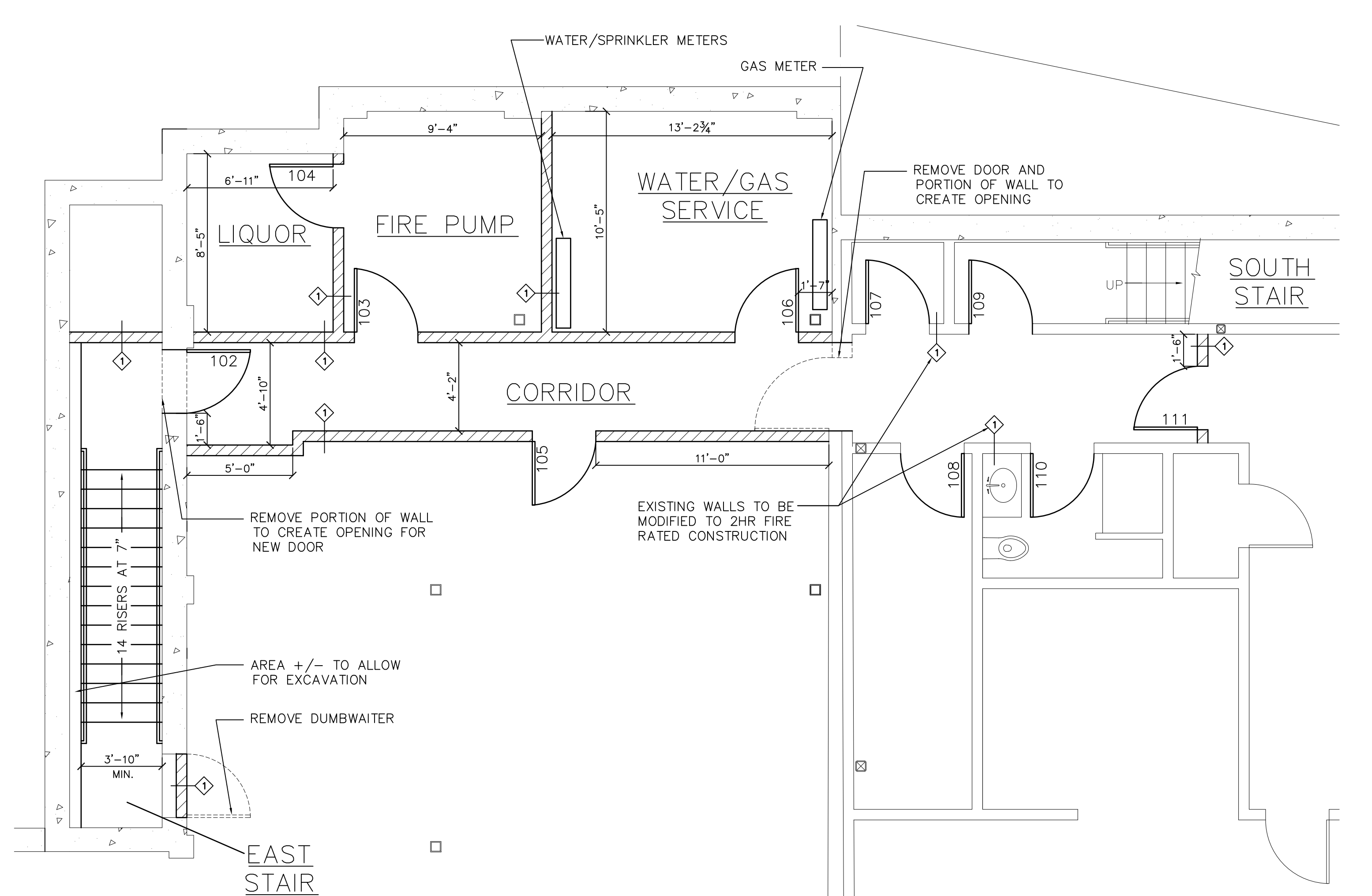
NO.	RATING	SIZE	NOTES
100	-	3'-4" WIDE	NEW GATE IN LARGER OPENING
101	90 MIN	3'-0" x 6'-8"	NEW DOOR IN NEW OPENING
102	90 MIN	3'-0" x 6'-8"	NEW DOOR IN NEW OPENING
103	90 MIN	3'-0" x 6'-8"	NEW DOOR IN NEW OPENING
104	90 MIN	3'-0" x 6'-8"	NEW DOOR IN NEW OPENING
105	90 MIN	3'-0" x 6'-8"	NEW DOOR IN NEW OPENING
106	90 MIN	3'-0" x 6'-8"	NEW DOOR IN NEW OPENING
107	90 MIN	3'-0" x 6'-8"	NEW DOOR IN EXISTING OPENING
108	90 MIN	3'-0" x 6'-8"	NEW DOOR IN EXISTING OPENING
109	90 MIN	3'-0" x 6'-8"	NEW DOOR IN EXISTING OPENING
110	90 MIN	3'-0" x 6'-8"	NEW DOOR IN EXISTING OPENING
111	90 MIN	3'-0" x 6'-8"	NEW DOOR IN NEW OPENING



**1 NEW EGRESS #3 - WHARF LEVEL**  
A1.2 SCALE: 1/4"=1'-0"



**3 NEW EGRESS #3 - BOW STREET LEVEL**  
A1.2 SCALE: 1/4"=1'-0"



**2 NEW EGRESS #3 - MECHANICAL LEVEL**  
A1.2 SCALE: 1/4"=1'-0"

PROJECT:  
**McHENRY ARCHITECTURE**  
 4 Market Street  
 Portsmouth, New Hampshire  
 603.430.0274

STAMP:

CONSULTANT:

REVISIONS:  
 06APRIL2017

PROJECT NAME:  
 MARTINGALE WHARF RESTAURANT  
 NEW EGRESS STAIR

PROJECT NO.: 15024  
 DRAWN BY: JJ  
 APPROVED BY: JJ  
 ISSUE DATE: 10MARCH2017

DRAWING NAME:  
 GENERAL NOTES,  
 FLOOR PLANS,  
 WALL TYPES, &  
 DOOR SCHEDULE

SCALE: AS NOTED  
 DRAWING NO.:



# PUBLIC ACCESS IMPROVEMENTS

## MARTINGALE WHARF

### 99 BOW STREET, PORTSMOUTH, NEW HAMPSHIRE

# PERMIT PLANS

**OWNER & APPLICANT:**  
**MARTINGALE, LLC**  
**MCNABB PROPERTIES, LTD**  
 3 PLEASANT STREET, SUITE 400  
 PORTSMOUTH, NH 03801  
 (603) 427-0725

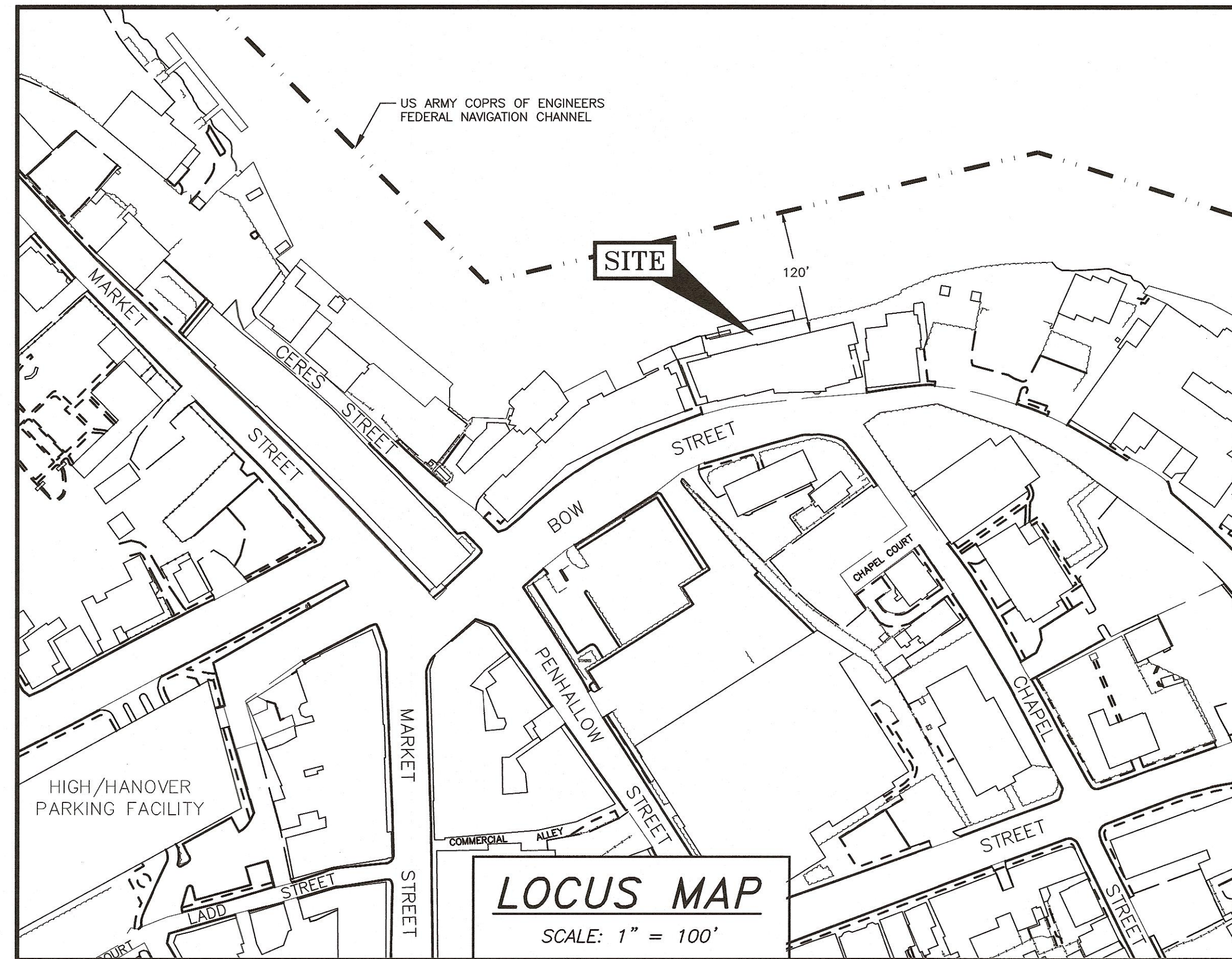
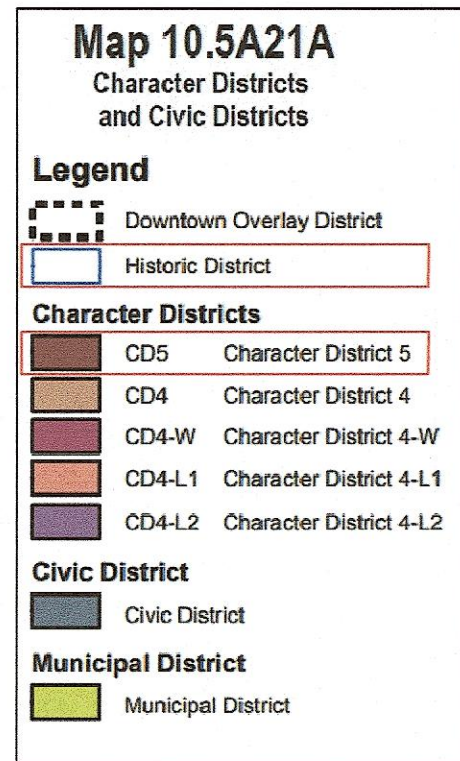
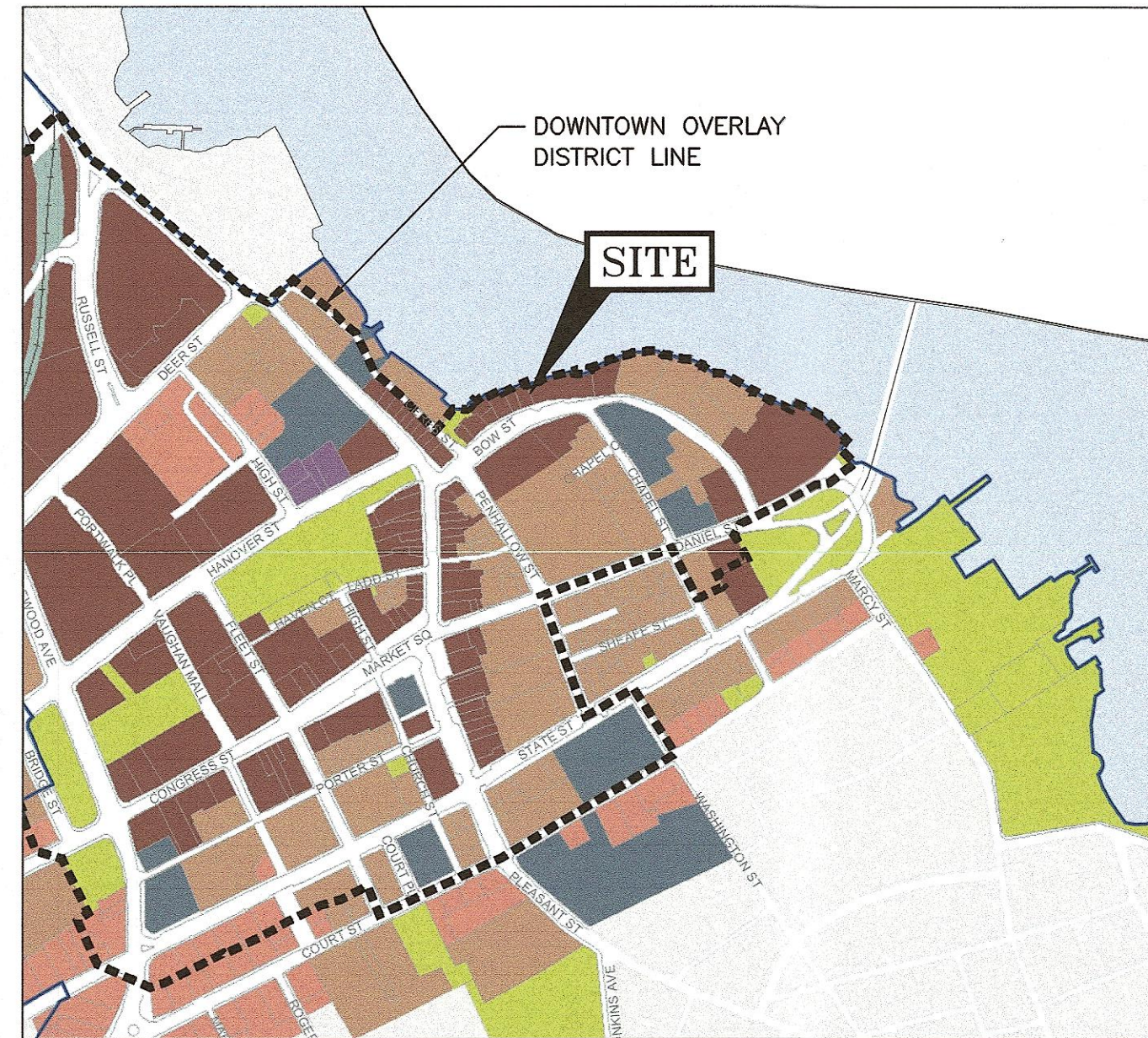
**LANDSCAPE ARCHITECT:**  
**TERRA FIRMA LANDSCAPE**  
**ARCHITECTURE**  
 163A COURT STREET  
 PORTSMOUTH NH 03801  
 TEL. (603) 430-8388

**CIVIL ENGINEER & LAND**  
**SURVEYOR:**  
**AMBIT ENGINEERING, INC.**  
 200 GRIFFIN ROAD, UNIT 3  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 430-9282  
 Fax (603) 436-2315

**ARCHITECT:**  
**McHENRY ARCHITECTURE, PLLC**  
 4 MARKET STREET  
 PORTSMOUTH NH 03801  
 TEL. (603) 430-0274

**ATTORNEY:**  
**RATH, YOUNG, AND PIGNATELLI, P.C.**  
 ONE CAPITAL PLAZA  
 CONCORD NH 03302-1500  
 (603) 226-2600

**PERMIT LIST:**  
 PORTSMOUTH HDC: PENDING  
 NHDES: PENDING



**LEGEND:**

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	SETBACK
S	S	SEWER PIPE
SL	SL	SEWER LATERAL
G	G	GAS LINE
D	D	STORM DRAIN
W	W	WATER LINE
WS	WS	WATER SERVICE
UGE	UGE	UNDERGROUND ELECTRIC
OHW	OHW	OVERHEAD ELECTRIC/WIRES
---	---	FOUNDATION DRAIN
---	---	EDGE OF PAVEMENT (EP)
---	---	CONTOUR
---	---	SPOT ELEVATION
---	---	UTILITY POLE
---	---	WALL MOUNTED EXTERIOR LIGHTS
---	---	TRANSFORMER ON CONCRETE PAD
---	---	ELECTRIC HANDHOLD
---	---	SHUT OFFS (WATER/GAS)
---	---	GATE VALVE
---	---	HYDRANT
---	---	CATCH BASIN
---	---	SEWER MANHOLE
---	---	DRAIN MANHOLE
---	---	TELEPHONE MANHOLE
---	---	PARKING SPACE COUNT
---	---	PARKING METER
---	---	LANDSCAPED AREA
TBD	TBD	TO BE DETERMINED
CI	CI	CAST IRON PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
AC	AC	ASBESTOS CEMENT PIPE
VC	VC	VITRIFIED CLAY PIPE
EP	EP	EDGE OF PAVEMENT
EL	EL	ELEVATION
FF	FF	FINISHED FLOOR
INV	INV	INVERT
S =	S =	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL



**INDEX OF SHEETS**

DWG No.	Description
-	AS-BUILT PLAN
C1	EXISTING CONDITIONS PLAN
C2	DES PERMIT PLAN
C3-C5	SITE SECTIONS
D1	DETAILS
-	ARCHITECTURAL PLANS
-	PERSPECTIVE VIEWS
-	DECK EXPANSION PLAN
-	ELEVATIONS AND DETAILS
-	CUT SHEETS
-	LANDSCAPE DETAILS

**UTILITY CONTACTS**

**ELECTRIC:**  
 EVERSOURCE  
 1700 LAFAYETTE ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 436-7708, Ext. 555.5678  
 ATTN: MICHAEL BUSBY, P.E. (MANAGER)

**NATURAL GAS:**  
 UNITIL  
 325 WEST ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 294-5144  
 ATTN: DAVE BEAULIEU

**CABLE:**  
 COMCAST  
 155 COMMERCE WAY  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 679-5695 (X1037)  
 ATTN: MIKE COLLINS

**SEWER & WATER:**  
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS  
 680 PEVERLY HILL ROAD  
 PORTSMOUTH, N.H. 03801  
 Tel. (603) 427-1530  
 ATTN: JIM TOW

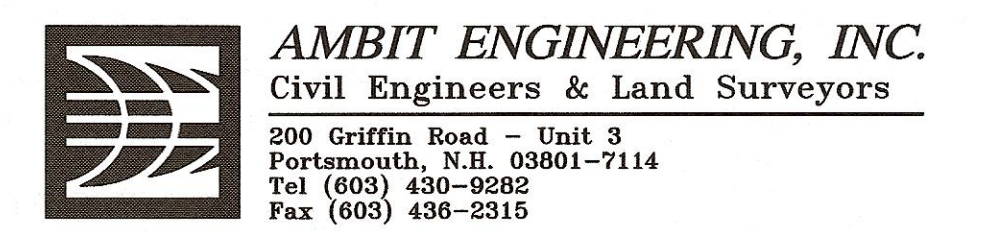
**COMMUNICATIONS:**  
 FAIRPOINT COMMUNICATIONS  
 JOE CONSIDINE  
 1575 GREENLAND ROAD  
 GREENLAND, N.H. 03840  
 Tel. (603) 427-5525

\*ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

**PUBLIC ACCESS IMPROVEMENTS**  
**MARTINGALE WHARF**  
**99 BOW STREET**  
**PORTSMOUTH, N.H.**



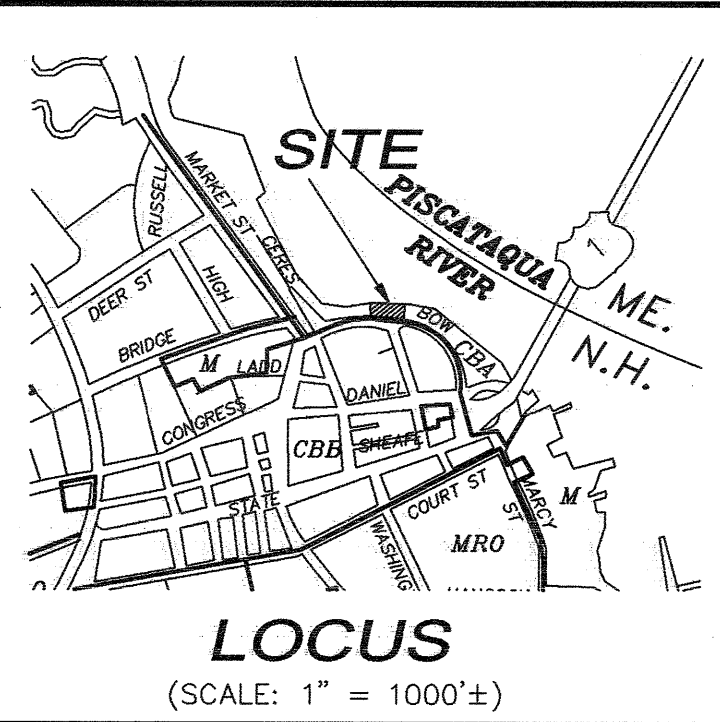
PLAN SET SUBMITTAL DATE: 18 OCTOBER 2021



# PISCATAQUA RIVER

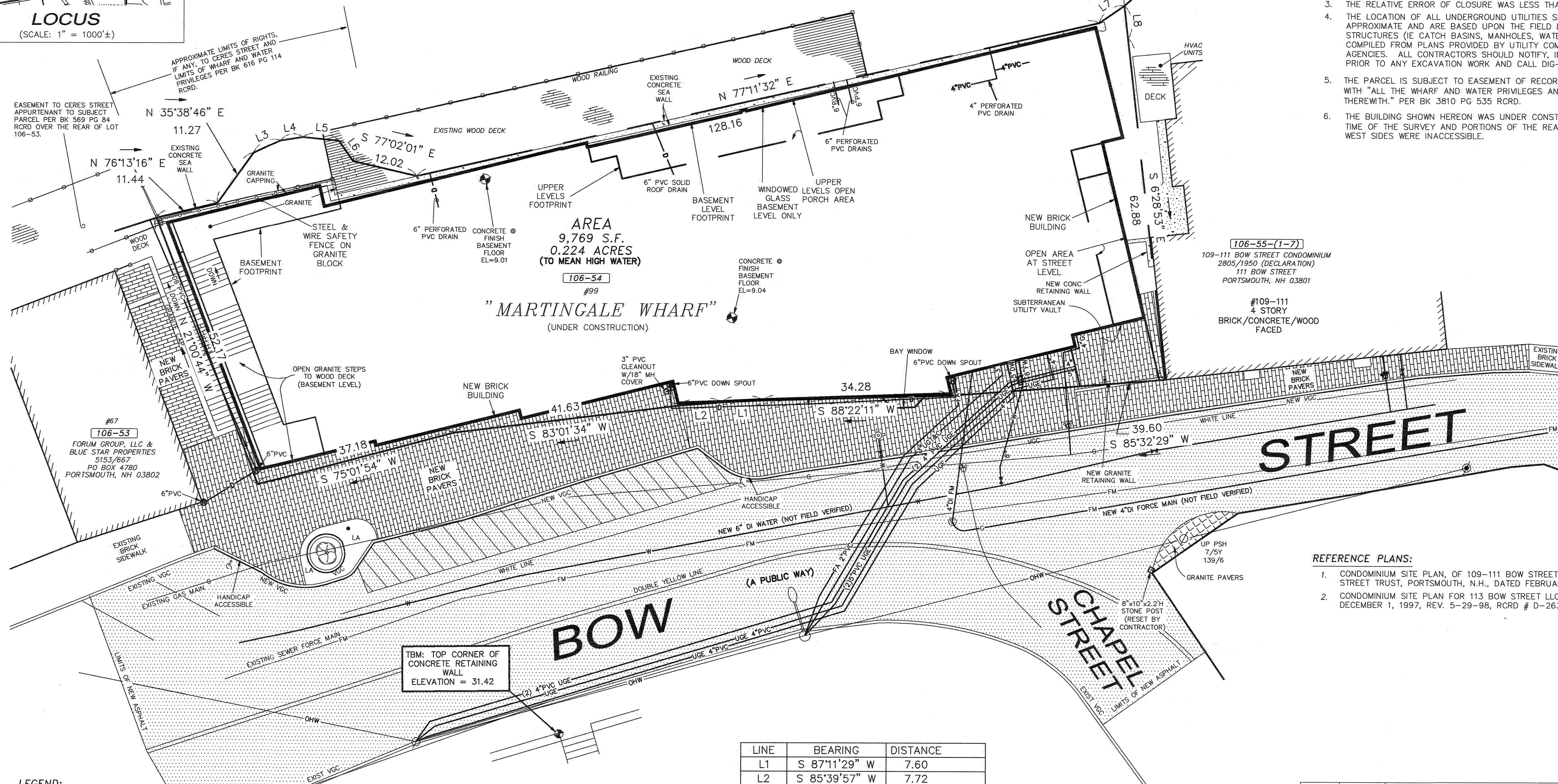
(AN ARM OF THE SEA)

EBB  
FLOW

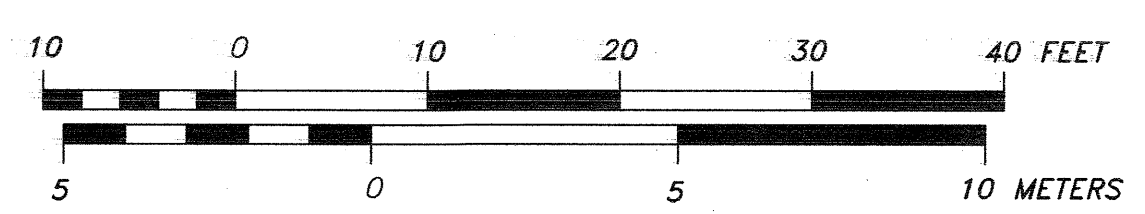


**NOTES:**

- OWNER OF RECORD..... MARTINGALE WHARF LIMITED PARTNERSHIP  
ADDRESS..... POB 930, PORTSMOUTH, NH 03802  
DEED REFERENCE..... 5068/1241 (3810/535)  
TAX SHEET / LOT..... 106-054
- ZONED..... CBA (CENTRAL BUSINESS A) FRONT YARD SETBACK..... 0'  
MINIMUM LOT AREA 1,500 S.F. SIDE YARD SETBACK..... 0'  
FRONTAGE..... N/A REAR YARD SETBACK..... 0'  
ZONE OVERLAY..... DOD (DOWNTOWN OVERLAY DISTRICT)
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- THE PARCEL IS SUBJECT TO EASEMENT OF RECORD AND IS CONVEYED TOGETHER WITH "ALL THE WHARF AND WATER PRIVILEGES AND RIPARIAN PRIVILEGES THEREWITH." PER BK 3810 PG 535 RCRD.
- THE BUILDING SHOWN HEREON WAS UNDER CONSTRUCTION AT THE TIME OF THE SURVEY AND PORTIONS OF THE REAR (RIVER), EAST AND WEST SIDES WERE INACCESSIBLE.



LINE	BEARING	DISTANCE
L1	S 87°11'29" W	7.60
L2	S 85°39'57" W	7.72
L3	N 64°32'22" E	5.46
L4	N 81°19'31" E	4.13
L5	S 84°27'22" E	6.62
L6	S 35°26'01" E	4.56
L7	N 55°18'29" E	5.60
L8	S 6°28'53" E	6.00

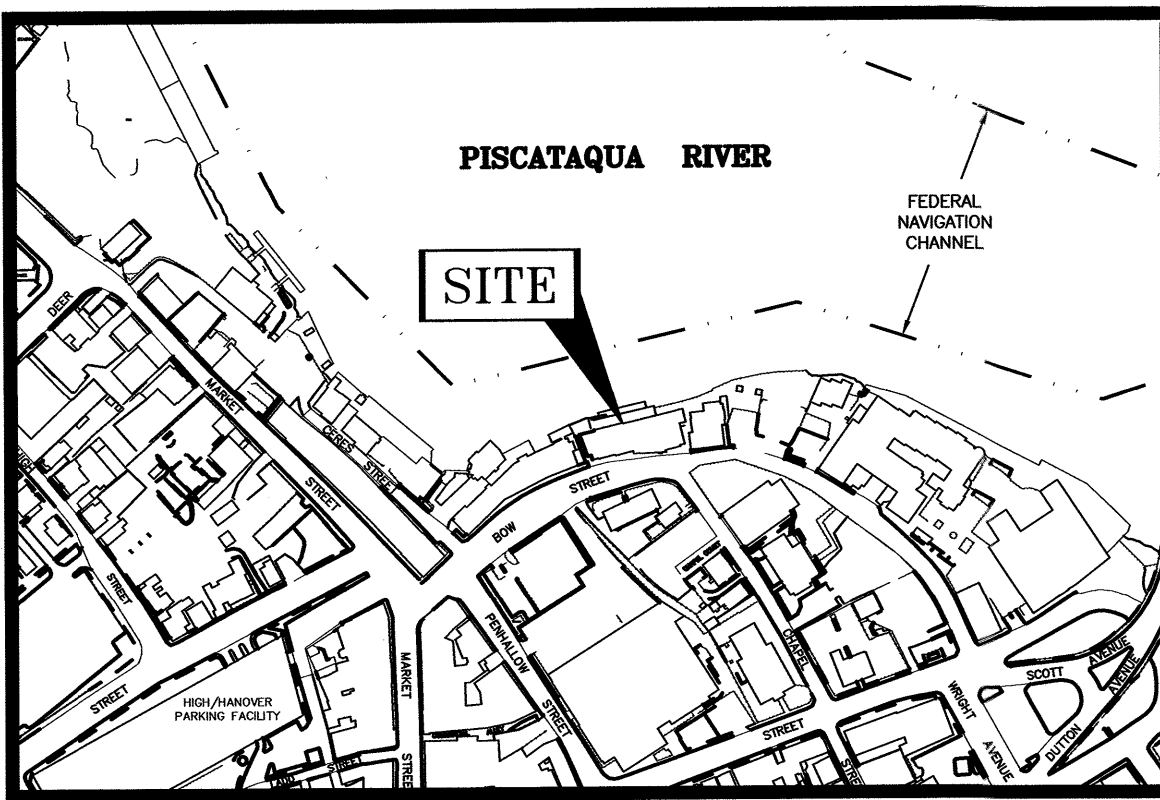


**REFERENCE PLANS:**

- CONDOMINIUM SITE PLAN, OF 109-111 BOW STREET CONDOMINIUM FOR 111 BOW STREET TRUST, PORTSMOUTH, N.H., DATED FEBRUARY 1989, RCRD # D-1960.
- CONDOMINIUM SITE PLAN FOR 113 BOW STREET LLC, PORTSMOUTH, NH, DATED DECEMBER 1, 1997, REV. 5-29-98, RCRD # D-26386.

REV. NO.	DATE	DESCRIPTION	APPR'D
<b>AS-BUILT PLAN</b> <b>MARTINGALE WHARF - 99 BOW STREET</b> <b>PORTSMOUTH, NH</b> <b>ASSESSOR'S PARCEL: 106 - 54</b> <b>for: MARTINGALE WHARF LIMITED PARTNERSHIP</b>			
<b>JAMES VERRA and ASSOCIATES, INC.</b> 101 SHATTUCK WAY SUITE # 8 NEWINGTON, NH 03801-7876 603.436.3557			DATE: 5-3-2011 JOB NO: 21889-C SCALE: 1" = 10' DWG NAME: 21889-C PLAN NO: 21889-C-1 SHEET: 1 OF 1
HRM PROJECT MGR COPYRIGHT © 2011 by JAMES VERRA and ASSOCIATES, INC.			HRM DRAWN BY





**PLAN REFERENCE:**

- AS-BUILT PLAN MARTINGALE WHARF - 99 BOW STREET PORTSMOUTH, NH, ASSESSOR'S PARCEL 106-54, FOR MARTINGALE WHARF LIMITED PARTNERSHIP, SCALE 1" = 10', PREPARED BY JAMES VERRA AND ASSOCIATES, INC., DATED 5-3-2011, NOT RECORDED
- AS-BUILT EASEMENT PLAT 67 & 99 BOW STREET PORTSMOUTH, NH HAMPSHIRE, ASSESSOR'S PARCELS 106-053 & 106-054, OWNERS FORUM GROUP, LLC & BLUE STAR PROPERTIES MARTINGALE WHARF LIMITED PARTNERSHIP, SCALE 1" = 5', PREPARED BY JAMES VERRA AND ASSOCIATES, INC., DATED 12 MAY 2011, RCRD D-37137
- AS-BUILT PLAN MARTINGALE WHARF - 99 BOW STREET PORTSMOUTH, NH, ASSESSOR'S PARCEL 106-54, FOR MARTINGALE WHARF LIMITED PARTNERSHIP, SCALE 1" = 10', PREPARED BY JAMES VERRA AND ASSOCIATES, INC., DATED 5-3-2011, REVISED 3-5-2012, RCRD D-37138

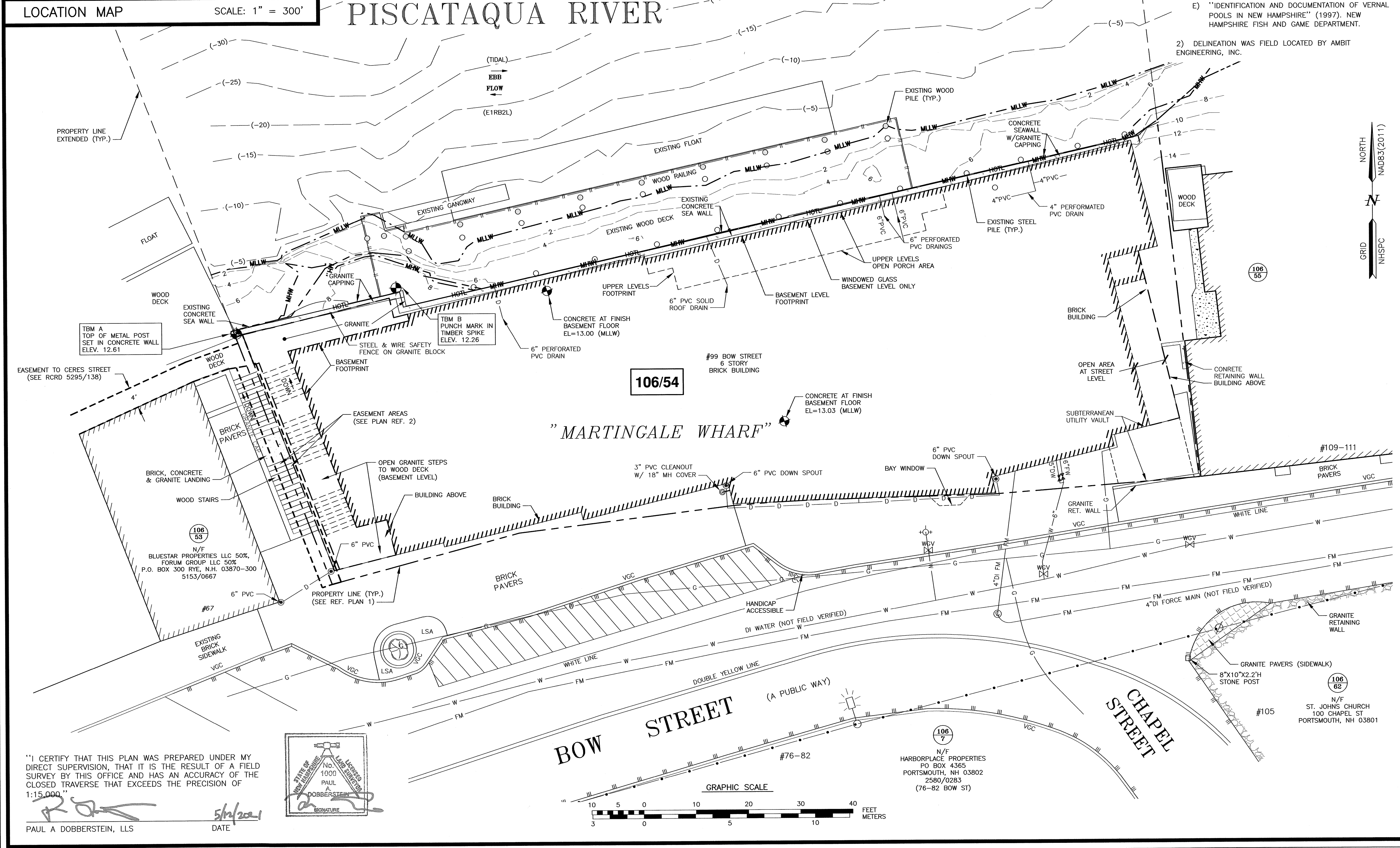
- 106-55 N/F 111 BOW STREET CONDO ASSOCIATION 111 BOW STREET PORTSMOUTH, N.H. 03801 2805/1950
- 106-55-1 N/F ASRT LLC 266 MIDDLE ST PORTSMOUTH, N.H. 03801 5720/0499 (109-111 BOW ST #1)
- 106-55-2 N/F BOWPORTS EV CORPORATION C/O KATY SHERMAN 25 WEST RD, RYE, NH 03870 3008/0951 (109-111 BOW ST #2)
- 106-55-3 N/F GEORGE B. GLIDDEN REVOCABLE TRUST 1/2 INT, FRANK MARJAN REVOCABLE TRUST 1/2 INT PO BOX 729 PORTSMOUTH, NH 03802-0729 5050/2061 (109-111 BOW ST #3)
- 106-55-4 N/F ASRT LLC 111 BOW STREET PORTSMOUTH, N.H. 03801 5634/0949 (109-111 BOW ST #4)
- 106-55-5 N/F MONTGOMERY PORTSMOUTH TRUST, BRUCE D. MONTGOMERY TRUSTEE 111 BOW STREET #6 PORTSMOUTH, NH 03801 5712/0640 (109-111 BOW ST #5)
- 106-55-6 N/F ASRT LLC 111 BOW STREET PORTSMOUTH, N.H. 03801 5634/0949 (109-111 BOW ST #6)
- 106-55-7 N/F JOHN SAMONAS 33 CAPE ROAD NEWCASTLE, NH 03854 6095/71 (109-111 BOW ST #7)

**WETLAND NOTES:**

- HIGHEST OBSERVABLE TIDE LINE DELINEATED BY STEVEN D. RIKER, CWS ON 04/5/2021 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
  - U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN. 1987), AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
  - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2, USDA-NRCS, 2018 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEWPPC WETLANDS WORK GROUP (2019).
  - NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
  - CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFWS MANUAL FWS/OBS-79/31 (1997).
  - "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.
- DELINEATION WAS FIELD LOCATED BY AMBIT ENGINEERING, INC.

**AMBIT ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

- NOTES:**
- PARCEL IS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSOR'S MAP 106 AS LOT 54.
  - OWNERS OF RECORD:  
MARTINGALE LLC  
3 PLEASANT ST, 4TH FLOOR  
PORTSMOUTH, NH 03801  
5868/2627
  - PARCEL IS PARTIALLY IN A FLOOD HAZARD ZONE (ZONE AE EL. 8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.
  - EXISTING LOT AREA:  
9,769 S.F. TO MEAN HIGH WATER (PER PLAN REF. 3)  
0.224 ACRES TO MEAN HIGH WATER (PER PLAN REF. 3)
  - PARCEL IS LOCATED IN THE DOWNTOWN OVERLAY DISTRICT, CDS (CHARACTER DISTRICT 5), HISTORIC DISTRICT.
  - DIMENSIONAL REQUIREMENTS: SEE CITY ZONING REQUIREMENTS.
  - THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSORS MAP TAX MAP 106 LOT 54 IN THE CITY OF PORTSMOUTH.
  - BOUNDARY LINES SHOWN HEREON ARE BASED SOLELY ON PLAN REFERENCE 3. EASEMENTS, RIGHTS OF OTHERS, ETC., HAVE NOT BEEN RESEARCHED OR NOTED HEREON.
  - VERTICAL DATUM IS MEAN LOWER LOW WATER (MLLW). MLLW REFERENCED ON NOAA STATION 8423005 T14A PORTSMOUTH, MLLW BEING 3.99 FEET LOWER THAN 0.0 NAVD83. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.



**PUBLIC ACCESS IMPROVEMENTS BOW STREET PORTSMOUTH, N.H.**

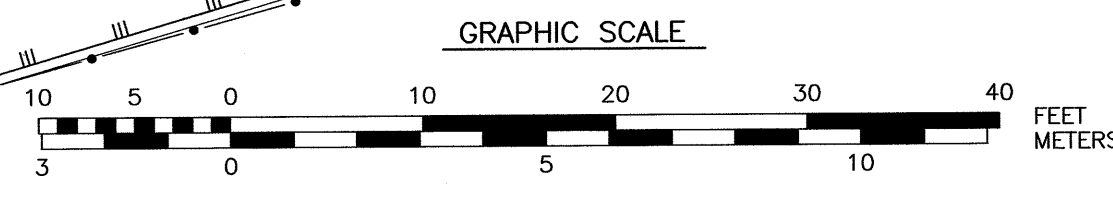
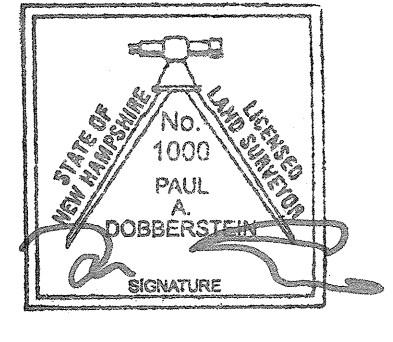
NO.	DESCRIPTION	DATE
1	UPDATE EASEMENT	5/12/21
0	ISSUED FOR COMMENT	4/23/21

STATE OF NEW HAMPSHIRE  
STEVEN D. RIKER  
REGISTERED WETLAND SCIENTIST  
No. 219

SCALE: 1" = 10'  
MARCH 2021  
EXISTING CONDITIONS PLAN  
**C1**

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000"

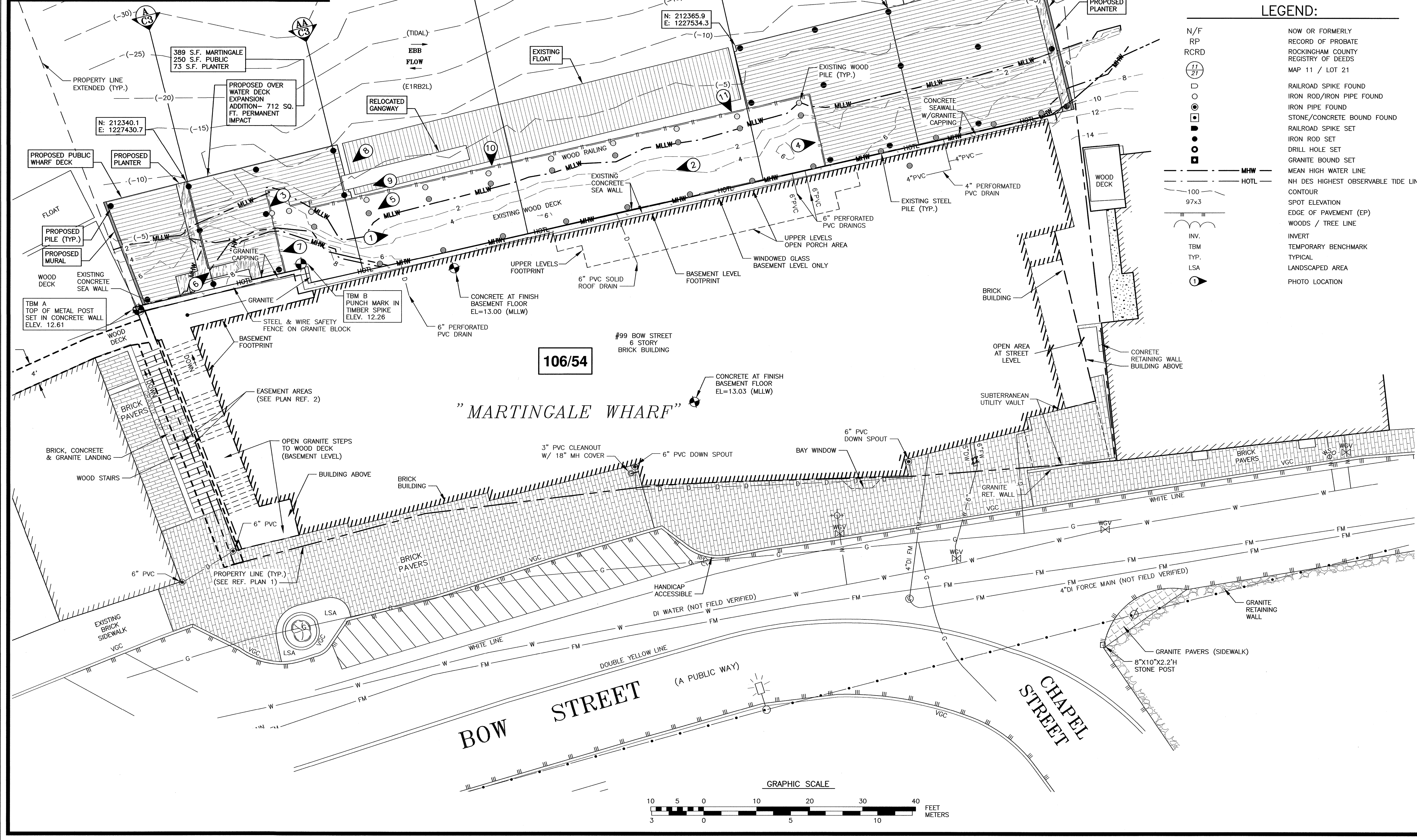
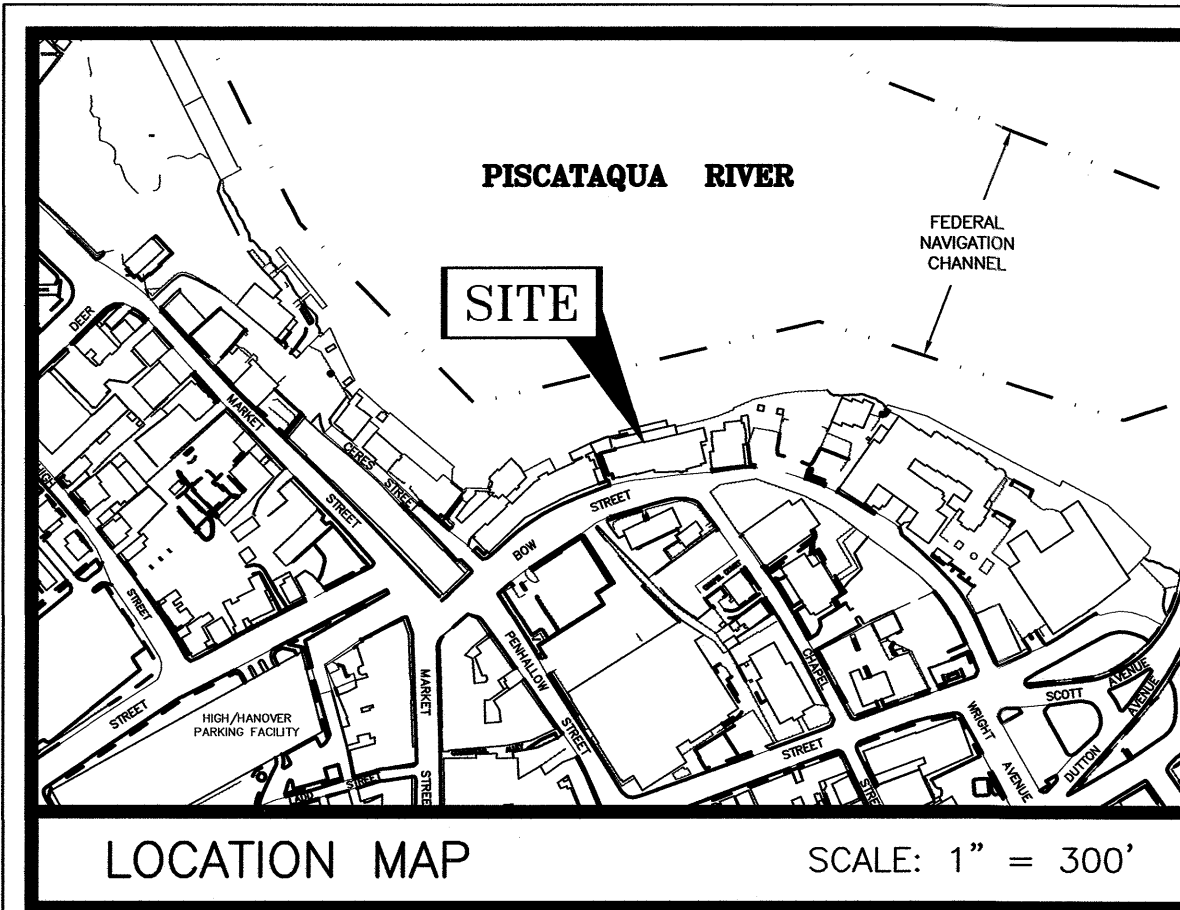
PAUL A DOBBERSTEIN, LLS  
DATE 5/12/21



106-7 N/F HARBORPLACE PROPERTIES PO BOX 4365 PORTSMOUTH, NH 03802 2580/0283 (76-82 BOW ST)

106-82 N/F ST. JOHN'S CHURCH 100 CHAPEL ST PORTSMOUTH, NH 03801





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Civil Engineers & Land Surveyors  
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Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
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- NOTES:**
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  - 2) OWNERS OF RECORD:  
MARTINGALE LLC  
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5868/2627
  - 3) PARCEL IS PARTIALLY IN A FLOOD HAZARD ZONE (ZONE AE EL. 8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.
  - 4) EXISTING LOT AREA:  
9,769 S.F. TO MEAN HIGH WATER (PER PLAN REF. 3)  
0,224 ACRES TO MEAN HIGH WATER (PER PLAN REF. 3)
  - 5) PARCEL IS LOCATED IN THE DOWNTOWN OVERLAY DISTRICT, CDS (CHARACTER DISTRICT 5), HISTORIC DISTRICT.
  - 6) DIMENSIONAL REQUIREMENTS: SEE CITY ZONING REQUIREMENTS.
  - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED IMPROVEMENTS ON ASSESSORS MAP TAX MAP 106 LOT 54 IN THE CITY OF PORTSMOUTH.
  - 8) BOUNDARY LINES SHOWN HEREON ARE BASED SOLELY ON PLAN REFERENCES, EASEMENTS, RIGHTS OF OTHERS, ETC., HAVE NOT BEEN RESEARCHED OR NOTED HEREON.
  - 9) VERTICAL DATUM IS MEAN LOWER LOW WATER (MLLW). MLLW REFERENCED ON NOAA STATION 8423005 T14A PORTSMOUTH, MLLW BEING 3.99 FEET LOWER THAN 0.0 NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.

**IMPACT REDUCED:**  
2,191 S.F. PREVIOUS (7/13/21 PLAN SET)  
2,127 S.F. CURRENT  
= 64 S.F. REDUCTION

**PUBLIC ACCESS IMPROVEMENTS BOW STREET PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	REVISE DECK	9/10/21
2	ELIMINATE ADDED DOCK	7/13/21
1	ISSUED FOR APPROVAL	6/29/21
0	ISSUED FOR COMMENT	6/8/21

SCALE: 1" = 10' MARCH 2021

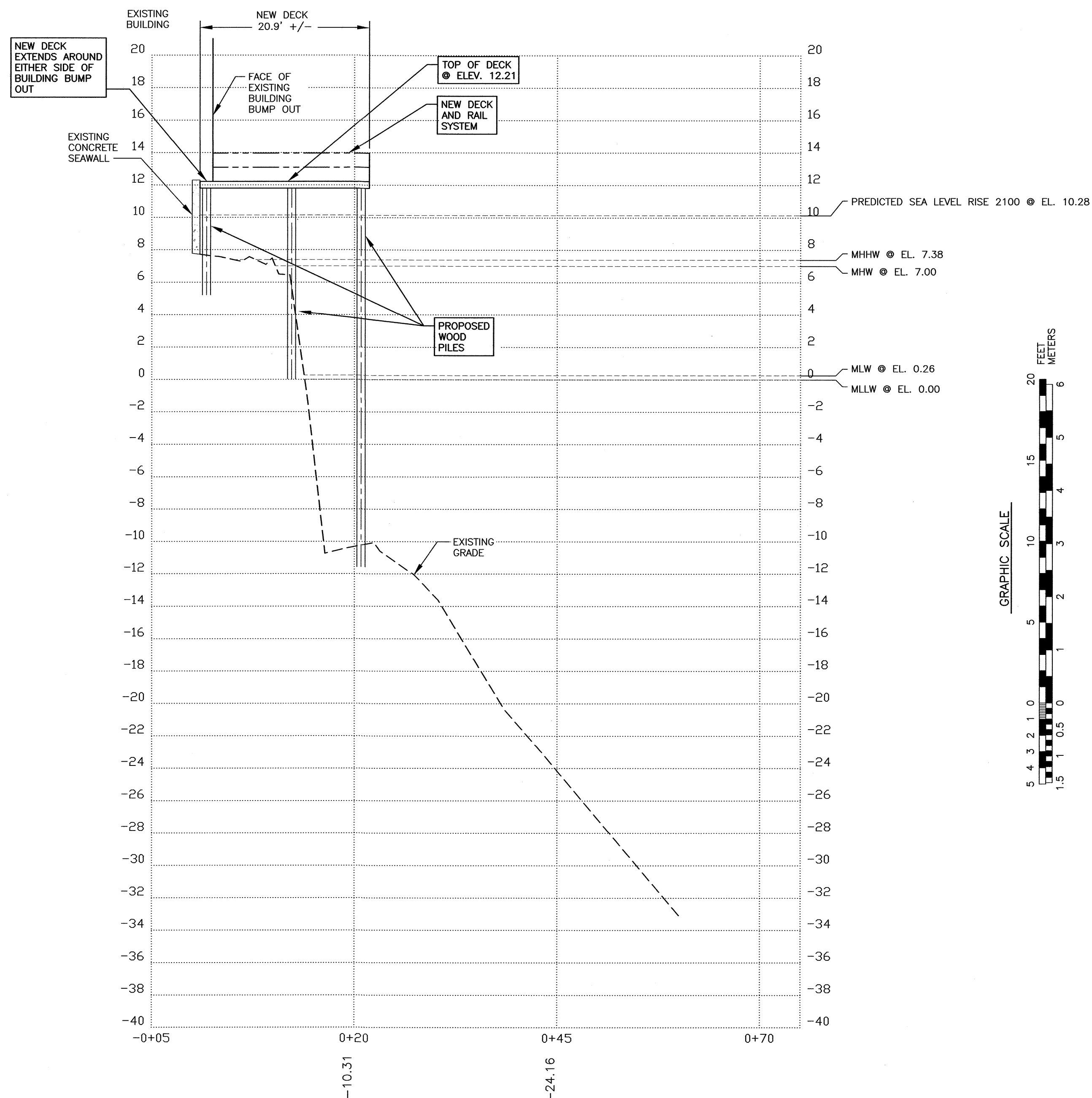
NHDES PERMIT PLAN **C2**





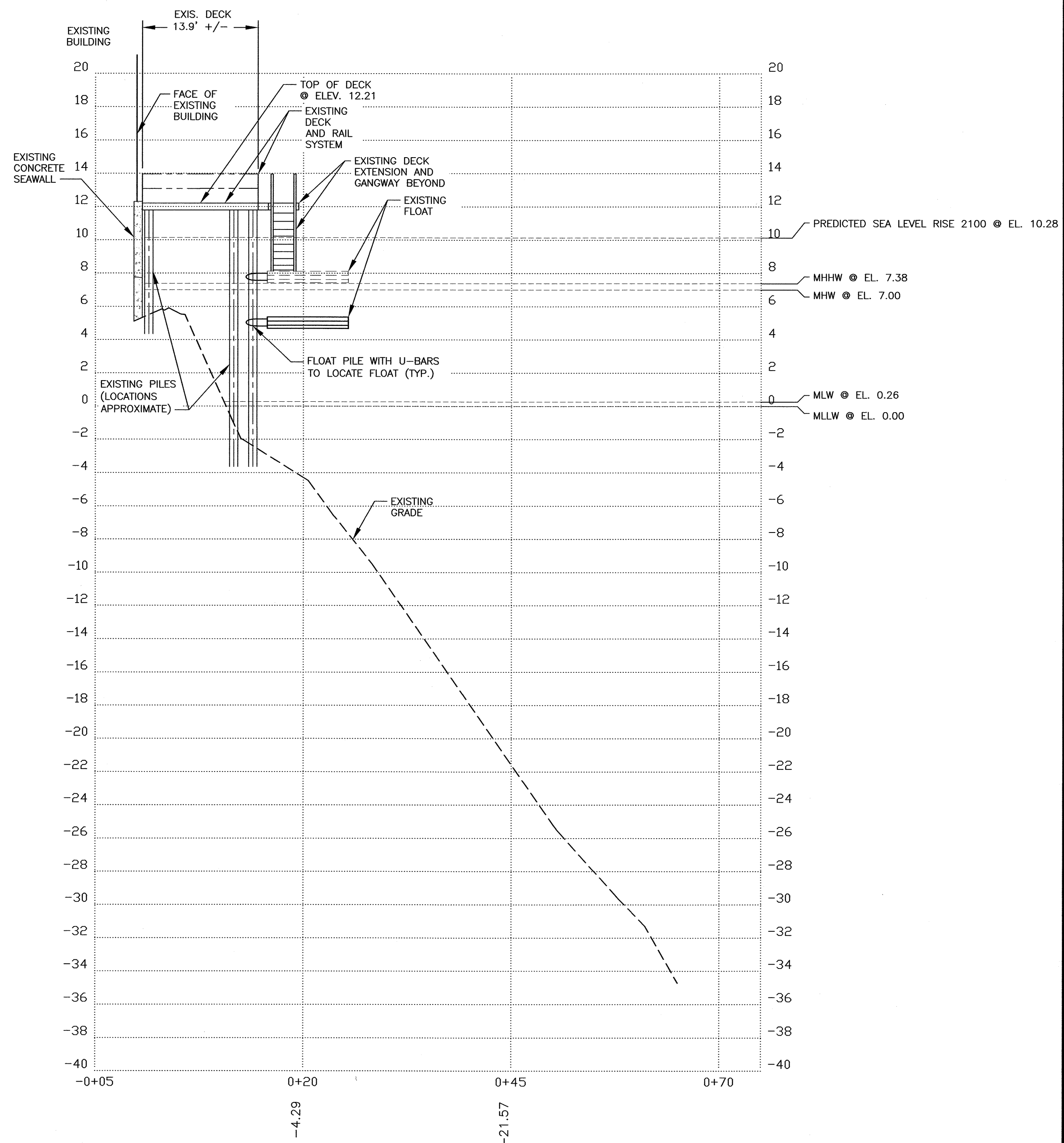
**NOTES:**

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- 4) NUMBER OF PILES TO BE DRIVEN FOR DECK & DOCKING STRUCTURE NOT TO EXCEED 25 AS DEPICTED ON PLANS. ALSO NOTE TIME OF YEAR AND NOISE RESTRICTIONS FOR DRIVING OF PILES.
- 5) VERTICAL DATUM IS MEAN LOWER LOW WATER (MLLW). MLLW REFERENCED ON NOAA STATION 8423005 T14A PORTSMOUTH, MLLW BEING 3.99 FEET LOWER THAN 0.0 NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.



**SECTION A**

SCALE: 1" = 10' (HOR.)  
1" = 5' (VERT.)



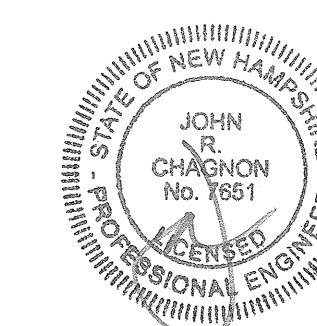
**SECTION B**

SCALE: 1" = 10' (HOR.)  
1" = 5' (VERT.)

**PUBLIC ACCESS  
IMPROVEMENTS  
BOW STREET  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
3	REVISED DECK LAYOUT	9/10/21
2	REVISED PILE LOCATIONS	8/12/21
1	ISSUED FOR APPROVAL	6/29/21
0	ISSUED FOR COMMENT	6/8/21

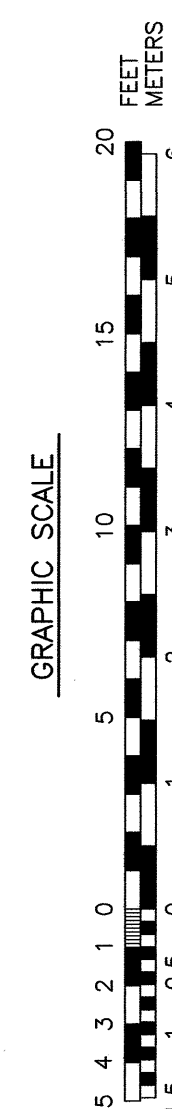
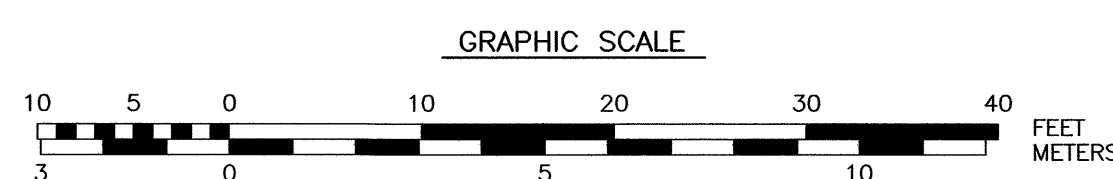
REVISIONS

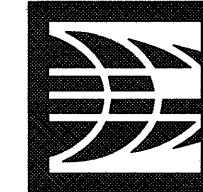


SCALE: AS NOTED MARCH 2021

SITE SECTIONS

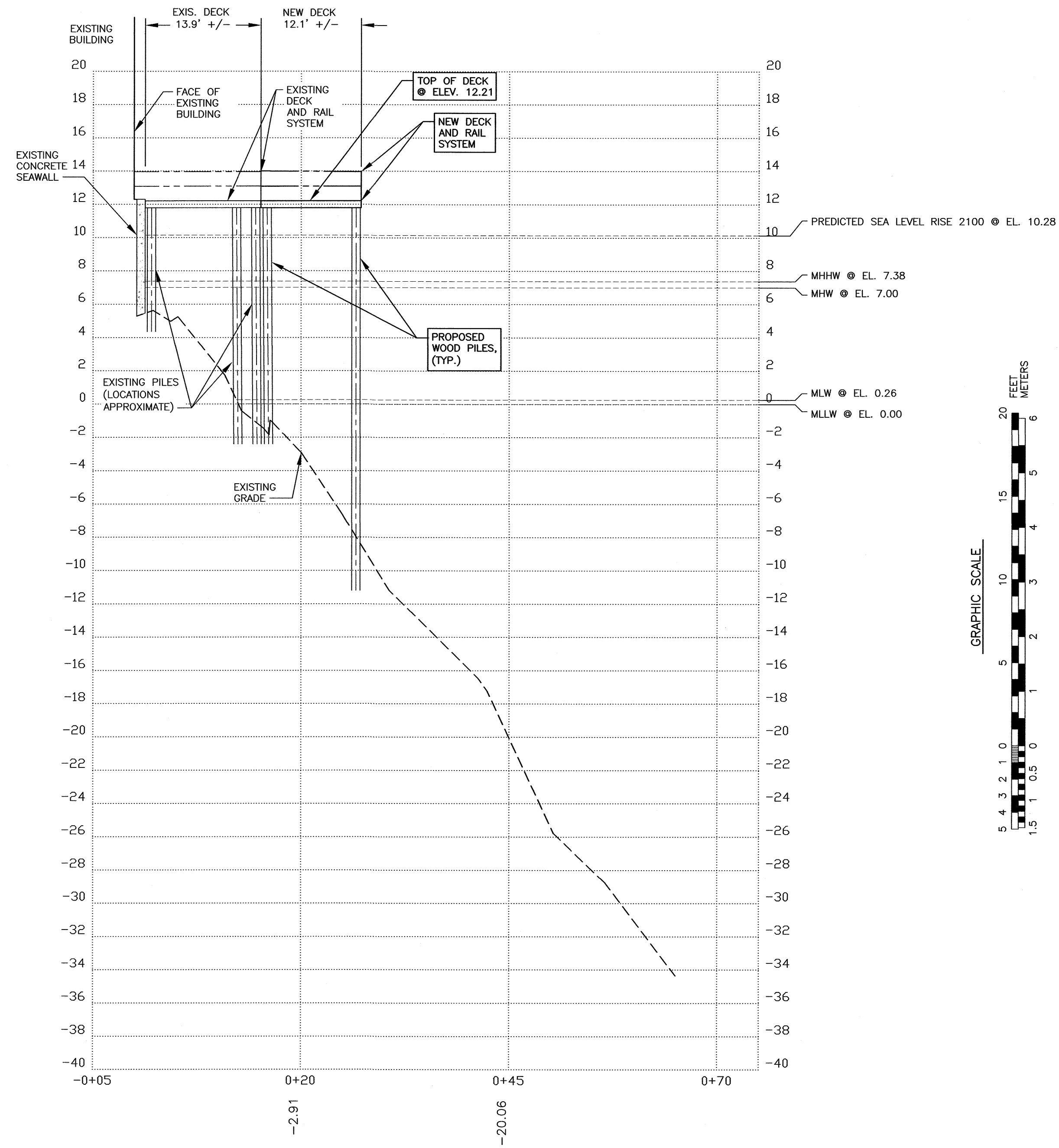
**C3**





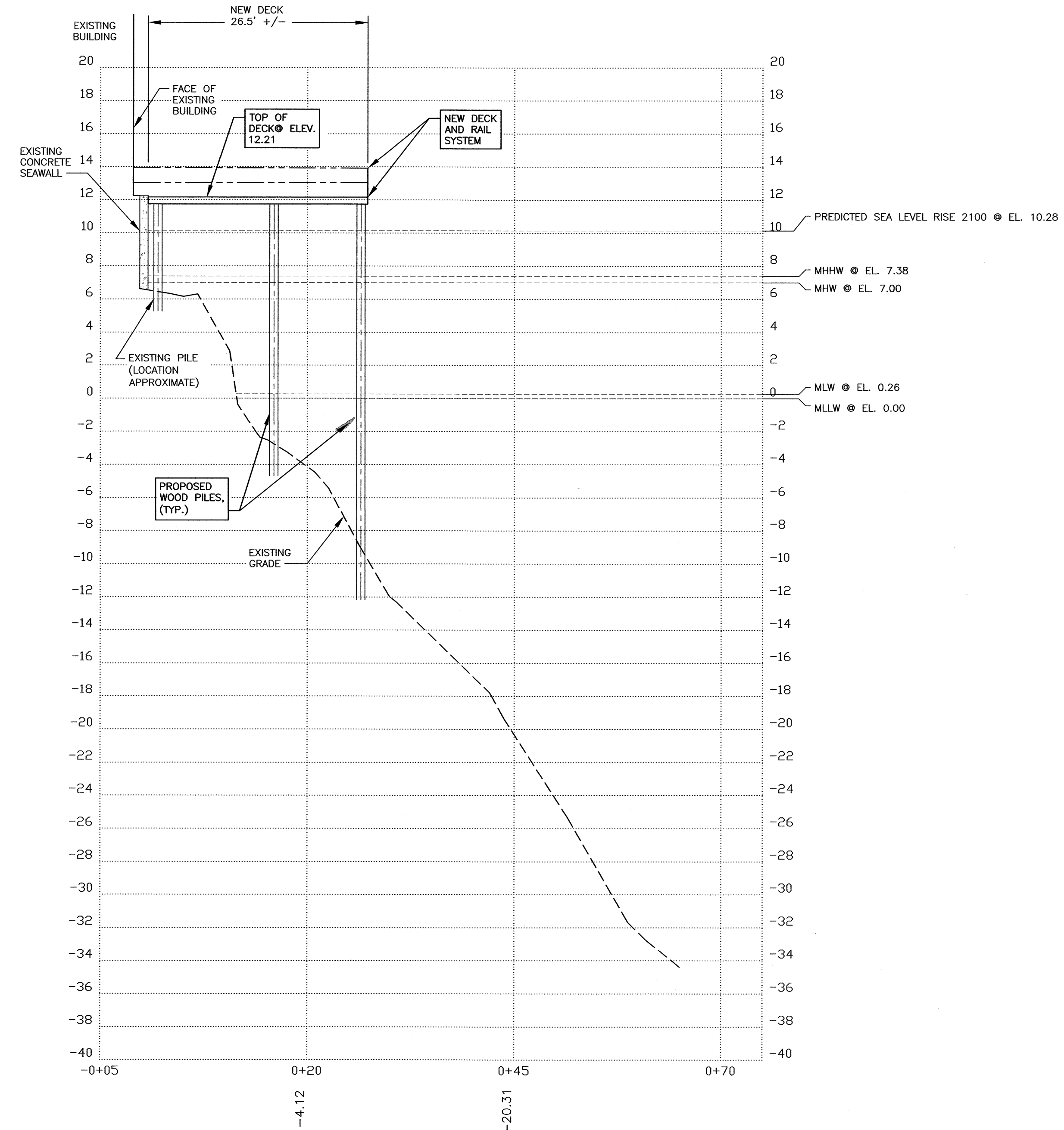
**NOTES:**

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- 4) NUMBER OF PILES TO BE DRIVEN FOR DECK & DOCKING STRUCTURE NOT TO EXCEED 25 AS DEPICTED ON PLANS. ALSO NOTE TIME OF YEAR AND NOISE RESTRICTIONS FOR DRIVING OF PILES.
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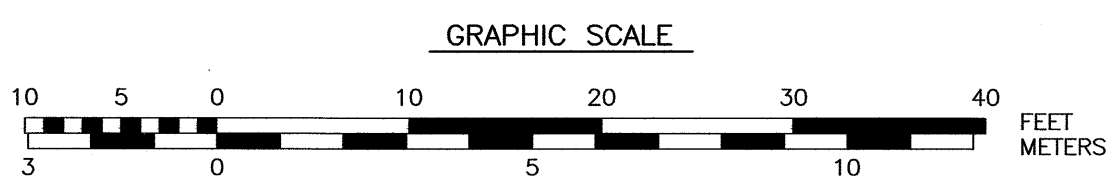
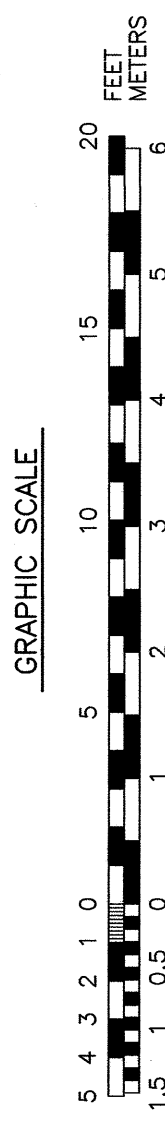
**SECTION C**

SCALE: 1" = 10' (HOR.)  
1" = 5' (VERT.)



**SECTION D**

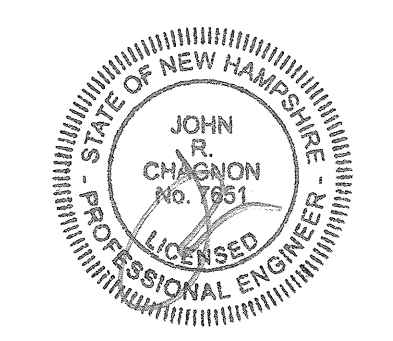
SCALE: 1" = 10' (HOR.)  
1" = 5' (VERT.)



**PUBLIC ACCESS  
IMPROVEMENTS  
BOW STREET  
PORTSMOUTH, N.H.**

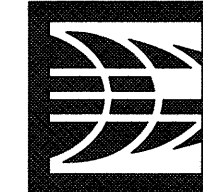
NO.	DESCRIPTION	DATE
3	REVISED DECK LAYOUT	9/10/21
2	REVISE PILES. REMOVE PROPOSED FLOAT	8/12/21
1	ISSUED FOR APPROVAL	6/29/21
0	ISSUED FOR COMMENT	6/8/21

**REVISIONS**



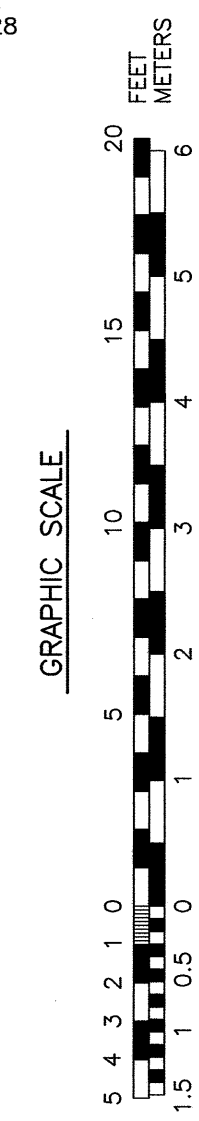
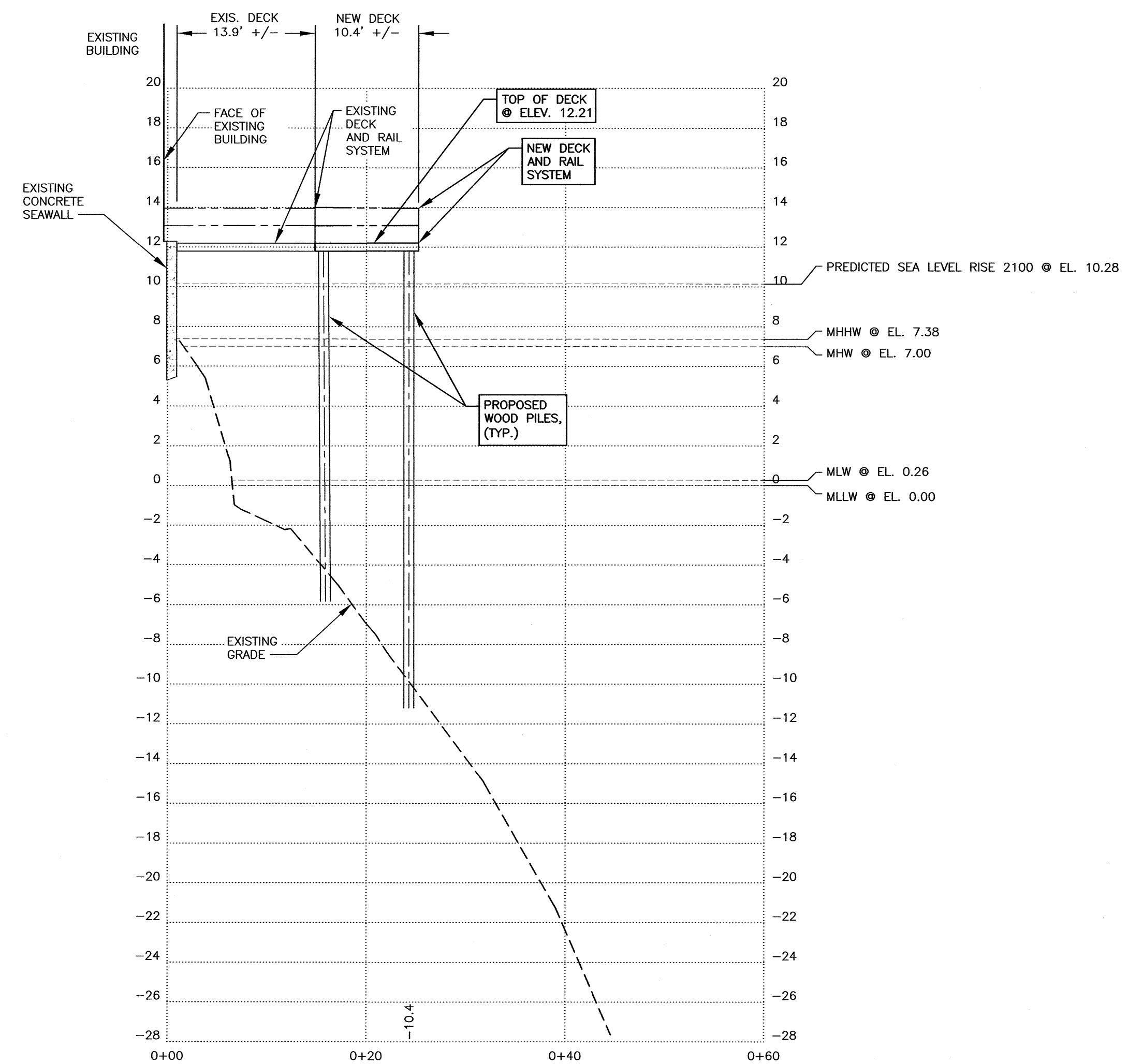
SCALE: AS NOTED MARCH 2021

**SITE SECTIONS C4**



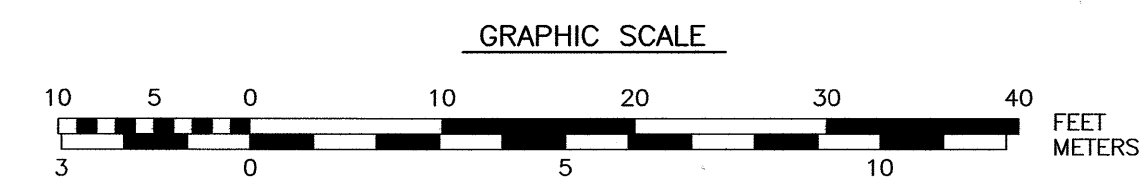
**NOTES:**

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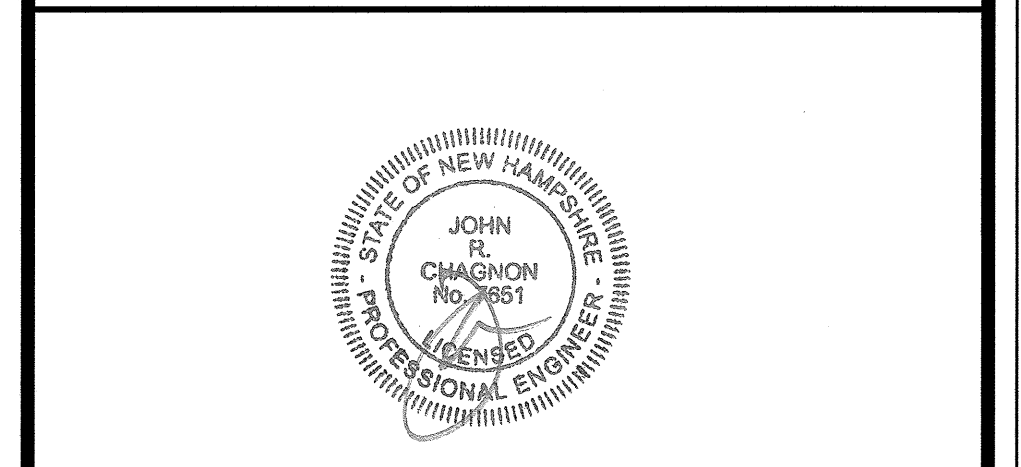
**SECTION AA**

SCALE: 1" = 10' (HOR.)  
1" = 5' (VERT.)



**PUBLIC ACCESS  
IMPROVEMENTS  
BOW STREET  
PORTSMOUTH, N.H.**

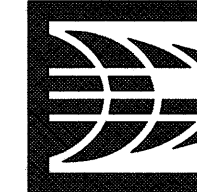
NO.	DESCRIPTION	DATE
0	ISSUED FOR COMMENT	9/10/21



SCALE: AS NOTED MARCH 2021

**SITE SECTIONS** **C5**





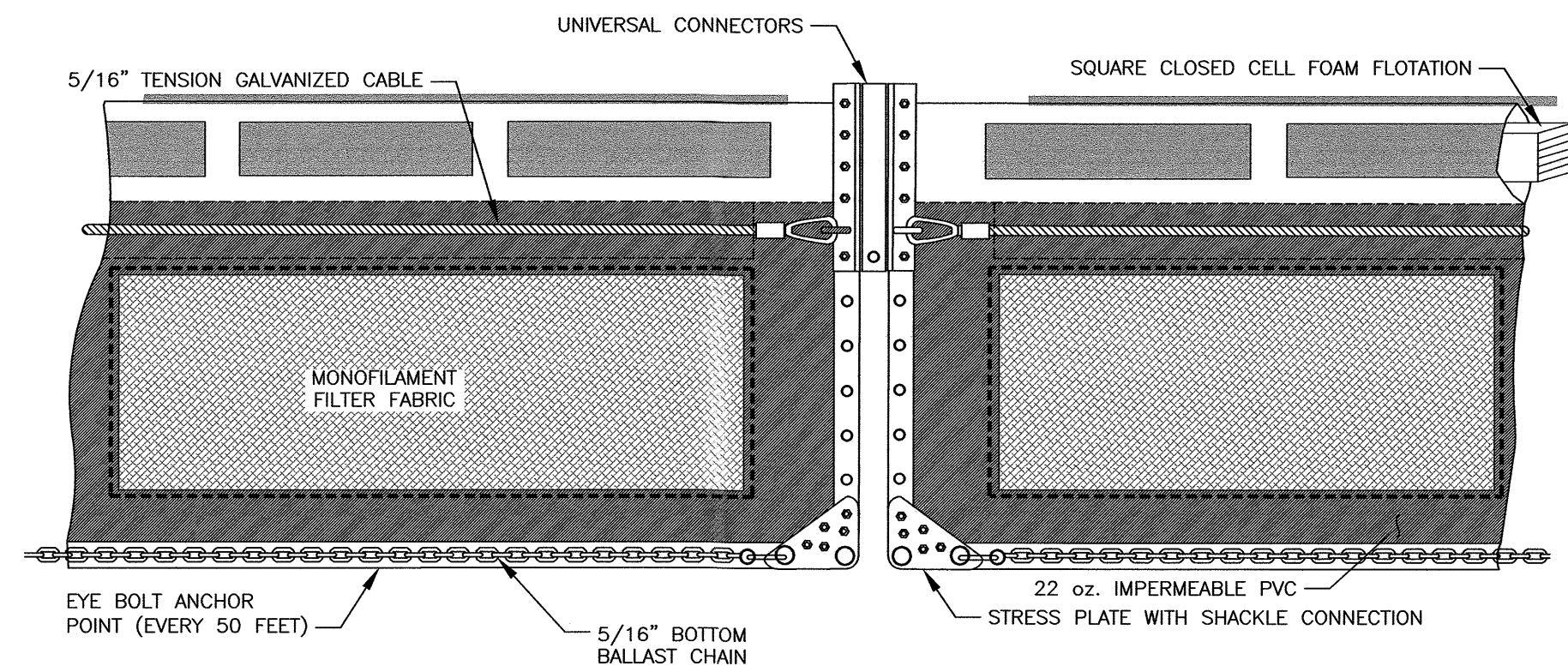
**AMBIT ENGINEERING, INC.**

Civil Engineers & Land Surveyors

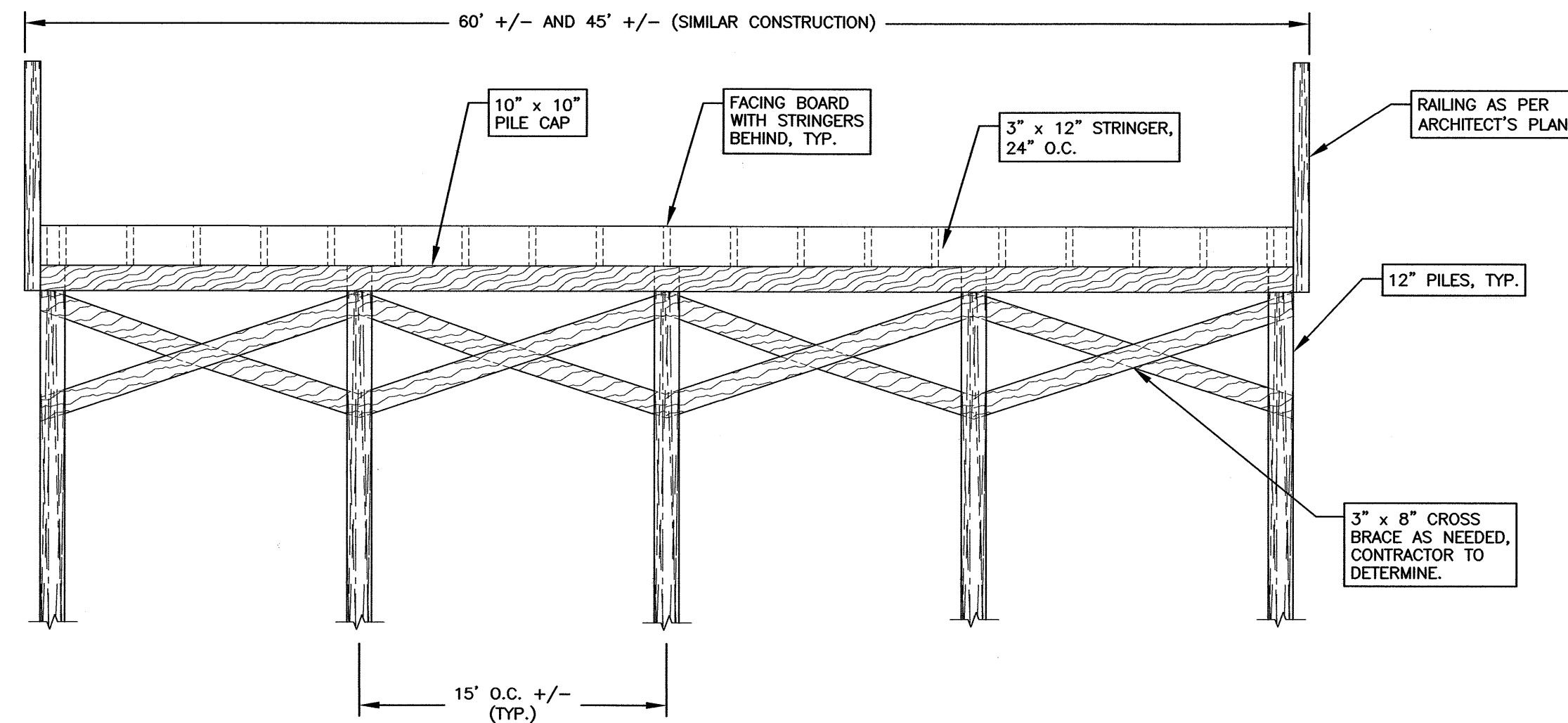
200 Griffin Road - Unit 3  
Portsmouth, N.H. 03801-7114  
Tel (603) 430-9282  
Fax (603) 436-2315

**NOTES:**

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**1**  
**D1** TURBIDITY CURTAIN DETAIL  
(DEPLOY AS NEEDED) NTS



**2**  
**D1** PROPOSED DECK DETAIL NTS

**SEQUENCE OF CONSTRUCTION**

- 1) MOBILIZATION OF A CRANE BARGE, PUSH BOAT, WORK SKIFF, MATERIALS AND PREFABRICATED COMPONENTS SUCH AS THE GANGWAY AND FLOAT TO THE SITE VIA APPROVED ACCESS.
- 2) MOBILIZATION OF EQUIPMENT TRUCKS TO THE SITE.
- 3) THE BARGE WILL BE POSITIONED ALONGSIDE THE PROPOSED LOCATION OF THE NEW DOCK AND WATERWARD OF ANY EMERGENT VEGETATION TO MINIMIZE IMPACTS.
- 4) INSTALLATION OF THE SUB STRUCTURE WILL BE PERFORMED FROM A CRANE BARGE OR SKIFF TO REDUCE THE AMOUNT OF FOOT TRAFFIC IN THE INTERTIDAL AREA.
- 5) ALL WORK WILL BE PERFORMED AT LOW TIDE TO MINIMIZE SEDIMENTATION.
- 6) PILING WILL BE MECHANICALLY DRIVEN BY A CRANE ELIMINATING ANY EXCAVATION FOR INSTALLATION OF THE PILING. PILING ARE DRIVEN TO REFUSAL.
- 7) PILING ARE CUT AND BEAM CAPS ARE INSTALLED AND THE SUPER STRUCTURE OF THE PIER IS BUILT. MATERIALS ARE LIFTED FROM THE BARGE AND SET INTO POSITION BY THE CRANE.
- 8) ONCE THE PIER IS COMPLETE, THE GANGWAY AND FLOAT ARE BROUGHT INTO POSITION AND INSTALLED.

**DISCHARGES, AVOIDANCE, MINIMIZATION AND MITIGATION**

DISCHARGES OF DREDGED OR FILL MATERIAL INTO WATERS OF THE U.S. AND ANY SECONDARY IMPACTS SHALL BE AVOIDED AND MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE. PERMITTEES MAY ONLY FILL THOSE JURISDICTIONAL WETLANDS AND WATERWAYS THAT THE CORP AND NHDES AUTHORIZES TO BE FILLED AND IMPACT THOSE AREAS THAT THE CORPS AND NHDES AUTHORIZES AS SECONDARY IMPACTS. IF NOT SPECIFICALLY AUTHORIZED BY USACE AND NHDES, ANY UNAUTHORIZED FILL OR SECONDARY IMPACT TO WETLANDS MAY BE CONSIDERED AS A VIOLATION OF THE CWA.

UNLESS SPECIFICALLY AUTHORIZED USACE AND NHDES, NO WORK SHALL DRAIN A WATER OF THE U.S. BY PROVIDING A CONDUIT FOR WATER ON OR BELOW THE SURFACE.

**HEAVY EQUIPMENT IN FRESH WATER WETLANDS**

HEAVY EQUIPMENT OTHER THAN FIXED EQUIPMENT (DRILL RIGS, FIXED CRANES, ETC.) WORKING IN WETLANDS SHALL NOT BE STORED, MAINTAINED OR REPAIRED IN WETLANDS, UNLESS IT IS LESS ENVIRONMENTALLY DAMAGING OTHERWISE, AND AS MUCH AS POSSIBLE SHALL NOT BE OPERATED WITHIN THE INTERTIDAL ZONE. WHERE CONSTRUCTION REQUIRES HEAVY EQUIPMENT OPERATION IN WETLANDS, THE EQUIPMENT SHALL EITHER HAVE LOW GROUND PRESSURE (<3 PSI), OR SHALL NOT BE LOCATED DIRECTLY ON WETLAND SOILS AND VEGETATION; IT SHALL BE PLACED ON SWAMP MATS THAT ARE ADEQUATE TO SUPPORT THE EQUIPMENT IN SUCH A WAY AS TO MINIMIZE DISTURBANCE OF WETLAND SOIL AND VEGETATION. SWAMP MATS ARE TO BE PLACED IN THE WETLAND FROM THE UPLAND OR FROM EQUIPMENT POSITIONED ON SWAMP MATS IF WORKING WITHIN A WETLAND. DRAGGING SWAMP MATS INTO POSITION IS PROHIBITED. OTHER SUPPORT STRUCTURES THAT ARE LESS IMPACTING AND ARE CAPABLE OF SAFELY SUPPORTING EQUIPMENT MAY BE USED WITH WRITTEN CORPS AND NHDES AUTHORIZATION. SIMILARLY, NOT USING MATS DURING FROZEN, DRY OR OTHER CONDITIONS MAY BE ALLOWED WITH WRITTEN CORPS AND NHDES AUTHORIZATION. AN ADEQUATE SUPPLY OF SPILL CONTAINMENT EQUIPMENT SHALL BE MAINTAINED ON SITE. CORDUROY ROADS AND SWAMP/CONSTRUCTION MATS ARE CONSIDERED AS FILL WHETHER THEY'RE INSTALLED TEMPORARILY OR PERMANENTLY.

**TIME OF YEAR WORK WINDOW AND NOISE RESTRICTIONS**

- I. PILES INSTALLED IN-THEDRY DURING LOW WATER OR IN-WATER BETWEEN NOV. 8TH - APR. 9TH, OR
  - II. MUST BE DRILLED AND PINNED TO LEDGE, OR
  - III. VIBRATORY HAMMERS USED TO INSTALL ANY SIZE AND QUANTITY OF WOOD, CONCRETE OR STEEL PILES, OR
  - IV. IMPACT HAMMERS LIMITED TO ONE HAMMER AND <50 PILES INSTALLED/DAY WITH THE FOLLOWING: WOOD PILES OF ANY SIZE, CONCRETE PILES ≤18-INCHES DIAMETER, STEEL PILES 12-INCHES DIAMETER IF THE HAMMER IS ≤3000 LBS. AND A WOOD CUSHION IS USED BETWEEN THE HAMMER AND STEEL PILE.
- FOR II-IV ABOVE:
- I. IN-WATER NOISE LEVELS SHALL NOT >187dB SEL RE  $1\mu Pa$  OR 206dB PEAK RE  $1\mu Pa$  AT A DISTANCE >10M FROM THE PILE BEING INSTALLED, AND
  - II. IN-WATER NOISE LEVELS >155dB PEAK RE  $1\mu Pa$  SHALL NOT EXCEED 12 CONSECUTIVE HOURS ON ANY GIVEN DAY AND A 12 HOUR RECOVERY PERIOD (I.E., IN-WATER NOISE BELOW 155dB PEAK RE  $1\mu Pa$ ) MUST BE PROVIDED BETWEEN WORK DAYS.

**WORK SITE RESTORATION**

1) UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED WETLAND AREAS SHALL BE PROPERLY STABILIZED. ANY SEED MIX SHALL CONTAIN ONLY PLANT SPECIES NATIVE TO NEW ENGLAND.

2) THE INTRODUCTION OR SPREAD OF INVASIVE PLANT SPECIES IN DISTURBED AREAS IS PROHIBITED.

3) IN AREAS OF AUTHORIZED TEMPORARY DISTURBANCE, IF TREES ARE CUT THEY SHALL BE CUT AT GROUND LEVEL AND NOT UPROOTED IN ORDER TO PREVENT DISRUPTION TO THE WETLAND SOIL STRUCTURE AND TO ALLOW STUMP SPROUTS TO REVEGETATE THE WORK AREA, UNLESS OTHERWISE AUTHORIZED.

4) WETLAND AREAS WHERE PERMANENT DISTURBANCE IS NOT AUTHORIZED SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND ELEVATION, WHICH UNDER NO CIRCUMSTANCES SHALL BE HIGHER THAN THE PRE-CONSTRUCTION ELEVATION. ORIGINAL CONDITION MEANS CAREFUL PROTECTION AND/OR REMOVAL OF EXISTING SOIL AND VEGETATION, AND REPLACEMENT BACK TO THE ORIGINAL LOCATION SUCH THAT THE ORIGINAL SOIL LAYERING AND VEGETATION SCHEMES ARE APPROXIMATELY THE SAME, UNLESS AUTHORIZED.

**SEDIMENTATION AND EROSION CONTROL**

ADEQUATE SEDIMENTATION AND EROSION CONTROL MANAGEMENT MEASURES, PRACTICES AND DEVICES, SUCH AS PHASED CONSTRUCTION, VEGETATED FILTER STRIPS, GEOTEXTILE SILT FENCES, STORMWATER DETENTION AND INFILTRATION SYSTEMS, SEDIMENT DETENTION BASINS, OR OTHER DEVICES SHALL BE INSTALLED AND PROPERLY MAINTAINED TO REDUCE EROSION AND RETAIN SEDIMENT ON-SITE DURING AND AFTER CONSTRUCTION. THEY SHALL BE CAPABLE OF PREVENTING EROSION, OF COLLECTING SEDIMENT, SUSPENDED AND FLOATING MATERIALS, AND OF FILTERING FINE SEDIMENT. THE DISTURBED AREAS SHALL BE STABILIZED AND THESE DEVICES SHALL BE REMOVED UPON COMPLETION OF WORK. THE SEDIMENT COLLECTED BY THESE DEVICES SHALL BE REMOVED AND PLACED AT AN UPLAND LOCATION, IN A MANNER THAT WILL PREVENT ITS LATER EROSION INTO A WATERWAY OR WETLAND. ALL EXPOSED SOIL AND OTHER FILLS SHALL BE PERMANENTLY STABILIZED AT THE EARLIEST PRACTICABLE DATE.

**SPAWNING AREAS**

DISCHARGES OF DREDGED OR FILL MATERIAL, AND/OR SUSPENDED SEDIMENT PRODUCING ACTIVITIES IN FISH AND SHELLFISH SPAWNING OR NURSERY AREAS, OR AMPHIBIAN AND MIGRATORY BIRD BREEDING AREAS, DURING SPAWNING OR BREEDING SEASONS SHALL BE AVOIDED. IMPACTS TO THESE AREAS SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE DURING ALL TIMES OF THE YEAR. INFORMATION ON SPAWNING HABITAT FOR SPECIES MANAGED UNDER THE MAGNUSON-STEVENS FISHERY CONSERVATION AND MANAGEMENT ACT (I.E., EFH FOR SPAWNING ADULTS) CAN BE OBTAINED FROM THE NMFS WEBSITE AT: [WWW.NERO.NOAA.GOV/HCD](http://WWW.NERO.NOAA.GOV/HCD).

**STORAGE OF SEASONAL STRUCTURES**

COASTAL STRUCTURES SUCH AS PIER SECTIONS, FLOATS, ETC., THAT ARE REMOVED FROM THE WATERWAY FOR A PORTION OF THE YEAR (OFTEN REFERRED TO AS SEASONAL STRUCTURES) SHALL BE STORED IN AN UPLAND LOCATION, LOCATED ABOVE HIGHEST OBSERVABLE TIDE LINE (HOTL) AND NOT IN TIDAL WETLANDS. THESE SEASONAL STRUCTURES MAY BE STORED ON THE FIXED, PILE-SUPPORTED PORTION OF THE STRUCTURE THAT IS SEAWARD OF HOTL. THIS IS INTENDED TO PREVENT STRUCTURES FROM BEING STORED ON THE MARSH SUBSTRATE AND THE SUBSTRATE SEAWARD OF MHW.

**ENVIRONMENTAL FUNCTIONS AND VALUES**

THE PERMITTEE SHALL MAKE EVERY REASONABLE EFFORT TO 1) CARRY OUT THE CONSTRUCTION OR OPERATION OF THE WORK AUTHORIZED BY USACE AND NHDES HEREIN IN A MANNER THAT MINIMIZES ADVERSE IMPACTS ON FISH, WILDLIFE AND NATURAL ENVIRONMENTAL VALUES, AND 2) PROHIBIT THE ESTABLISHMENT OR SPREAD OF PLANT SPECIES IDENTIFIED AS NON-NATIVE INVASIVE SPECIES BY ANY FEDERAL OR STATE AGENCY. SEE THE SECTION ON INVASIVE SPECIES AT [HTTP://WWW.NAE.USACE.ARMY.MIL/REGULATORY/](http://WWW.NAE.USACE.ARMY.MIL/REGULATORY/) FOR CONTROL METHODS.

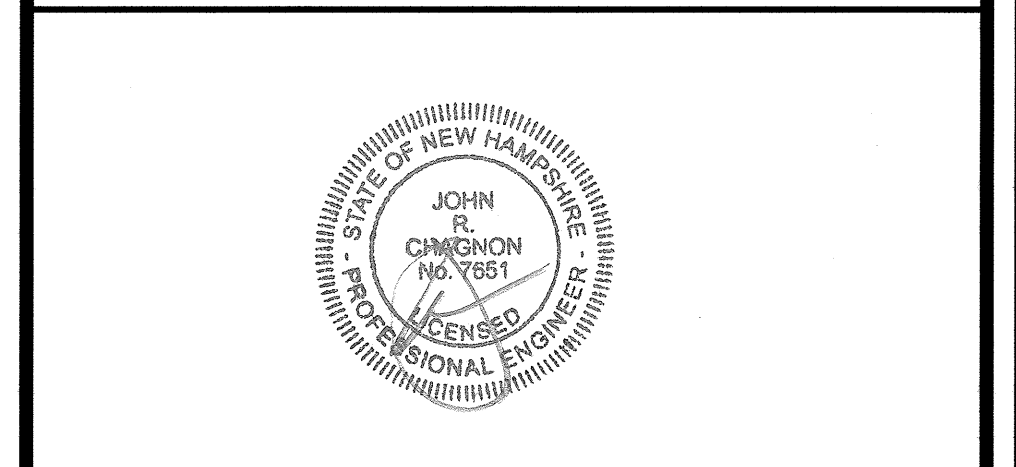
**INSPECTIONS**

THE PERMITTEE SHALL ALLOW THE CORPS AND NHDES TO MAKE PERIODIC INSPECTIONS AT ANY TIME DEEMED NECESSARY IN ORDER TO ENSURE THAT THE WORK IS BEING OR HAS BEEN PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT. THE CORPS AND NHDES MAY ALSO REQUIRE POST-CONSTRUCTION ENGINEERING DRAWINGS FOR COMPLETED WORK, AND POST-DREDGING SURVEY DRAWINGS FOR ANY DREDGING WORK.

**PUBLIC ACCESS  
IMPROVEMENTS  
BOW STREET  
PORTSMOUTH, N.H.**

NO.	DESCRIPTION	DATE
2	DETAIL 2	9/10/21
1	ISSUED FOR APPROVAL	6/29/21
0	ISSUED FOR COMMENT	6/8/21

**REVISIONS**



SCALE: NTS MARCH 2021

**DETAILS** **D1**





TANGRAM 3DS





EAST MURAL AT MARTINGALE WHARF DECK

**MARTINGALE RESTAURANT: NARRATIVE FOR THE EAST END BAS RELIEF SCULPTURAL MURAL**

THE CITY OF PORTSMOUTH AND THE PISCATAQUA RIVER HAS A 400-YEAR HISTORY AS AN ACTIVE HARBOR AND PORT OF CALL, AND AS A VITAL SHIP BUILDING COMMUNITY.

THE PROPOSED EAST AND WEST IMAGES ON EITHER END OF THIS DOCK EXTENSION HAVE BEEN CONCEIVED AS 'BAS RELIEF' SCULPTURES. THE DESIGN IS BASED, IN PART, ON INFORMATION ABOUT THE HISTORY OF SAILORS, BOTH WHITE AND BLACK, THAT I CULLED FROM A BOOK CALLED, **BLACK JACKS** BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER.

THIS BAS RELIEF SCULPTURE HAS NUMEROUS SYMBOLIC ELEMENTS:

- BLACK SAILORS WERE CALLED 'BLACK JACKS', AND THEY WERE ABOUT 20% OF ALL AMERICAN SAILORS. BLACK JACKS SOUGHT SAILING AND WHALING AS A MEANS TO ACHIEVE FREEDOM FROM SLAVERY AND TO MAKE A LIVING.
- THE SAILOR CLOTHING IS A MIX OF THE VARIOUS STYLES OF HATS AND DRESS OF THE SAILORS THROUGH THE DECADES, INCLUDING CIVIL WAR SAILORS AND THOSE ON WHALING SHIPS.
- THE WHALE REPRESENTS THE SAILOR'S PURSUIT OF FREEDOM AND THE ECONOMY OF OIL.
- THE ROPE REPRESENTS THE SAILOR'S STRUGGLE AND THE COOPERATION AMONG SAILORS OF ALL WALKS OF LIFE IN COMBINED PURSUIT OF THEIR INDIVIDUAL INDEPENDENCE. THE FOCUS OF THAT STRUGGLE, THE WHALE, SEEMINGLY SWIMS AWAY SUGGESTING AN OUTCOME THAT IS NOT KNOWN.
- THE TURBULENCE OF THE WATER REPRESENTS THE INSTABILITY AND DANGERS INHERENT IN THE LIVELIHOOD OF SAILING. THE SAILORS IN THIS IMAGE ARE SEEN STANDING ON THE WATER, AND THE HINT OF A DECK, SUGGESTING THEIR FATE AND SAFETY WERE ALWAYS IN QUESTION.
- THE SHIP IS A TYPICAL AMERICAN COMMERCIAL SCHOONER OF THE 1800'S WITH NUMEROUS SAILS AND RIGGING.
- THE TOWER OF THE BRIDGE IN THE BACKGROUND IS THE CURRENT SAILORS MEMORIAL BRIDGE. INSERTING THE CONCEPT OF 'HISTORIC DISSONANCE' WITH THE IMAGE OF THE CONTEMPORARY BRIDGE SUGGESTS THAT HISTORY IS NOT STATIC, THE STRUGGLES OF SAILORS REMAIN, AND PORTSMOUTH IS STILL A VITAL SEAPORT. THE BRIDGE WILL ALSO BE SEEN FROM THIS VIEW.

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT

**PUBLIC DECK: NARRATIVE FOR THE WEST END BAS RELIEF SCULPTURAL MURAL**

JUST AS WITH THE PROPOSED EAST IMAGE, THE IMAGE ON THE WEST END OF THE DOCK EXTENSION HAS BEEN CONCEIVED AS A 'BAS RELIEF' SCULPTURE. THIS DESIGN IS ALSO BASED, IN PART, ON INFORMATION ABOUT THE HISTORY SAILORS, BOTH WHITE AND BLACK, CULLED FROM A BOOK CALLED, **BLACK JACKS** BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER

THE WEST SCULPTURE WILL HAVE DIRECT ACCESS BY THE PUBLIC FROM A STAIR SYSTEM THAT EXTENDS FROM BOW STREET ONTO A PUBLIC DECK THAT LOOKS NORTH UP THE PISCATAQUA RIVER. THERE WILL OVER 32 LINEAR FEET OF BUILT-IN BENCHES ON THIS DECK. IN THIS IMAGE, A PROPOSED BENCH IS IN THE FOREGROUND AND RUNS THE LENGTH OF THE DOCK ABOUT 16'. THE SAILOR FIGURES ARE LIFE-SIZE AND STAND BEHIND THE BENCH AS THE TOURISTS SIT ON THE BENCH. A PERFECT 'SELFIE' OPPORTUNITY.

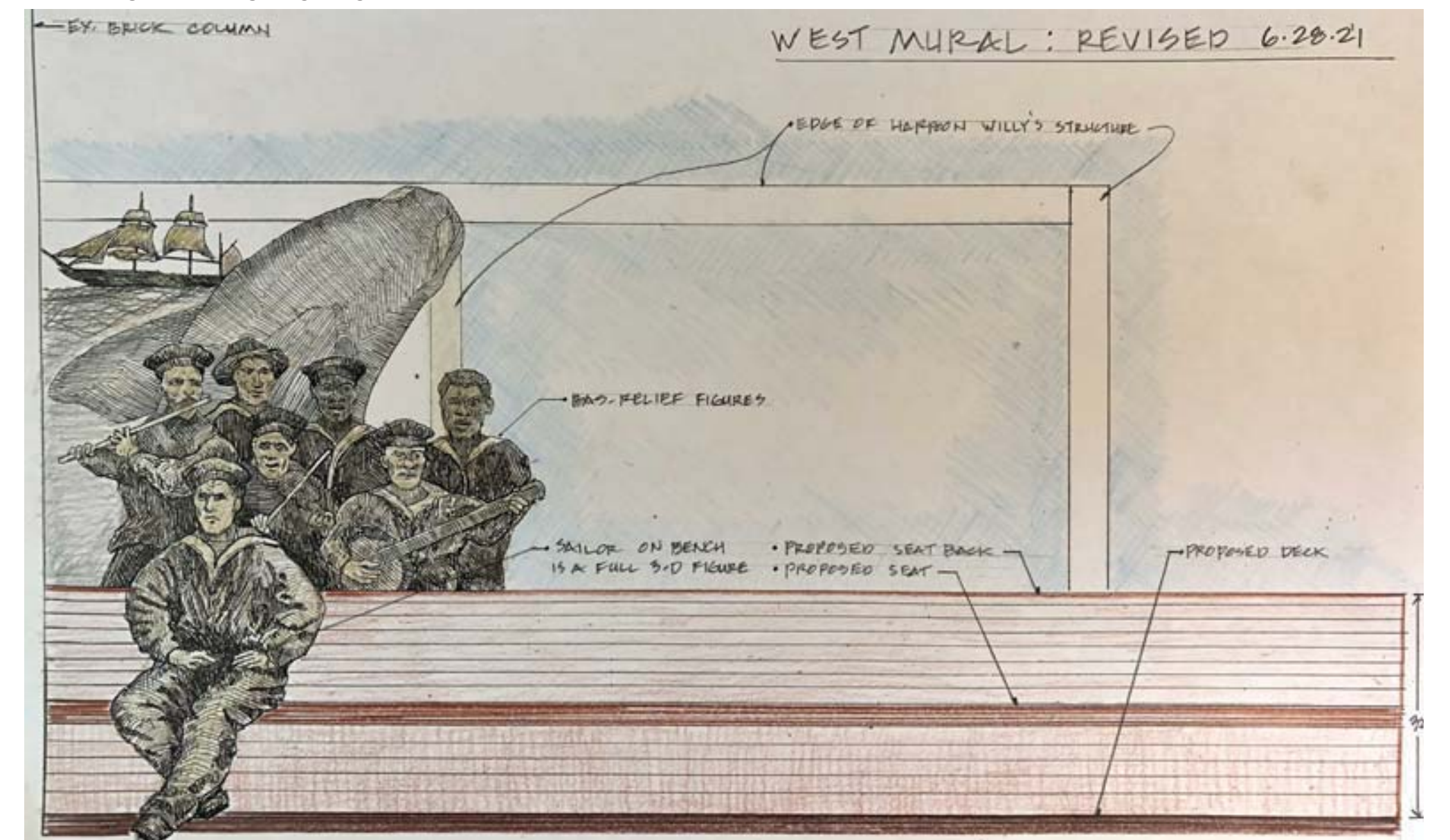
THE THEME OF THIS BAS RELIEF IS THAT OF SAILORS AT REST AND PLAY, THE OPPOSITE THEME OF THE EAST SCULPTURE. AS HARD AS SAILORS WORKED IN THIS DANGEROUS OCCUPATION, THERE WERE TIMES OF SLACK WIND OR EXTENDED PORT STAYS THAT ALLOWED SAILORS TIME TO RELAX. MUSIC WAS IMPORTANT TO SAILORS AND CONSEQUENTLY THEY INVENTED THE SHANTI WORK SONGS, SUNG TO AID IN COOPERATIVE TASKS SUCH AS LOADING AND UNLOADED THE VESSELS.

THE HISTORIC BOAT IN THE BACKGROUND IS ONE OF THE QUINTESSENTIAL VESSELS OF THE SHIPYARD, THE KEARSARGE, ORIGINALLY BUILT DURING THE CIVIL WAR HAS HAD NUMEROUS NAMESAKES BUILT SINCE THEN. AND FINALLY, EVEN THE WHALE, UNLIKE THE ONE BEING PURSUED IN THE EAST IMAGE, CAN BE SEEN FREE OF ENCUMBRANCES AS IT LEAPS OUT OF THE WATER HEADING OUT TO SEA.

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT



WEST MURAL AT PUBLIC DECK

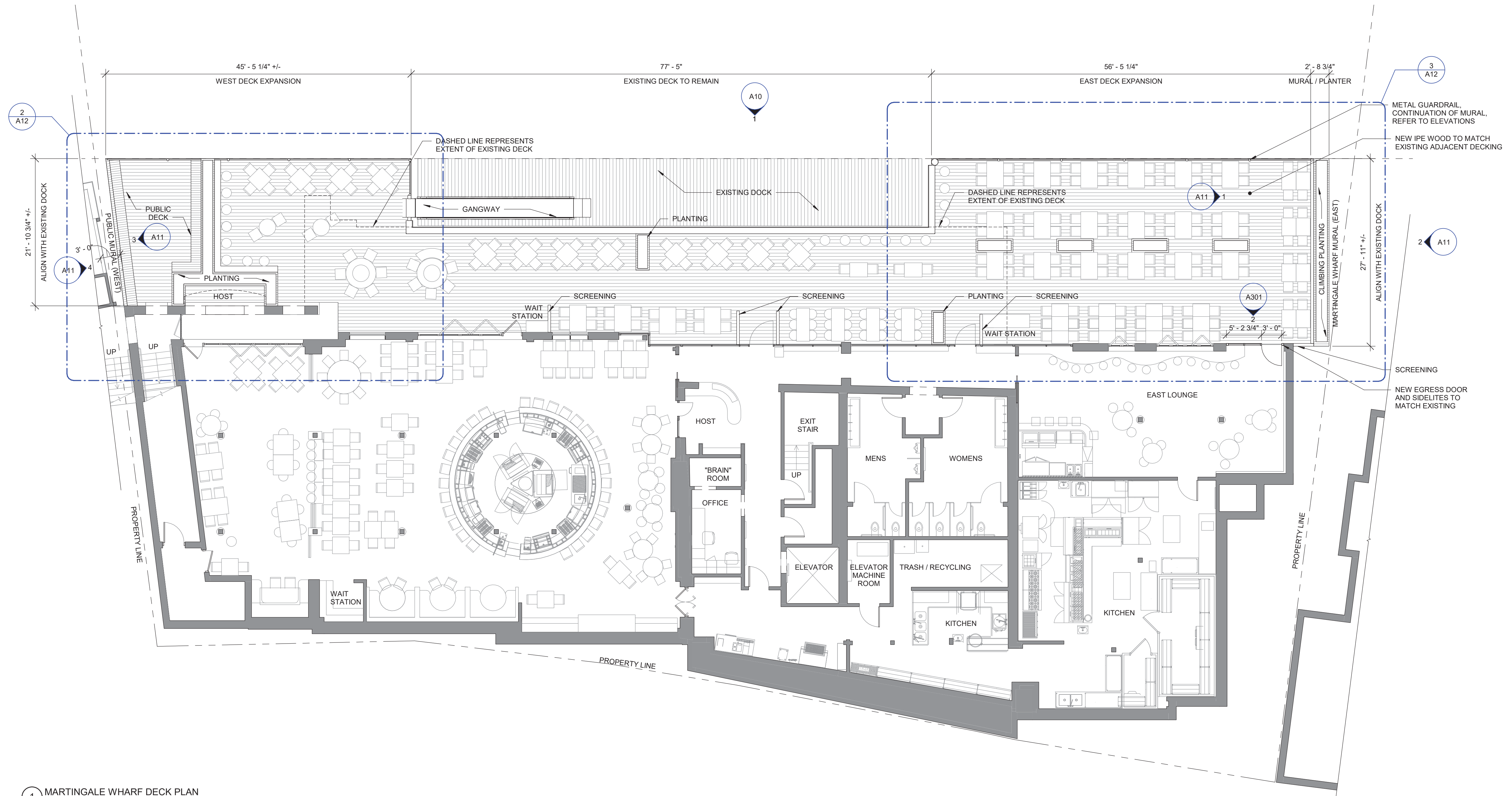


WEST MURAL AT PUBLIC DECK - SKETCH



EAST MURAL AT MARTINGALE WHARF DECK - SKETCH





1 MARTINGALE WHARF DECK PLAN  
1/8" = 1'-0"





LINEAR WALL  
SCONCE, TYP.  
REFER TO A11

DECK SCONCE, TYP.  
REFER TO A11

METAL GUARD RAIL,  
CONTINUATION OF MURAL,  
REFER TO L1 AND A11

DESIGN OF PILINGS AND  
DOCK TBD, SHOWN FOR  
GRAPHIC REFERENCE ONLY

DECK  
9' - 6"

DECK PERIMETER LIGHTING,  
TYP. REFER TO A11

REPLACE EXISTING DECK WALL  
SCONCES, REFER TO A11

1 PROPOSED NORTH ELEVATION  
1/8" = 1'-0"

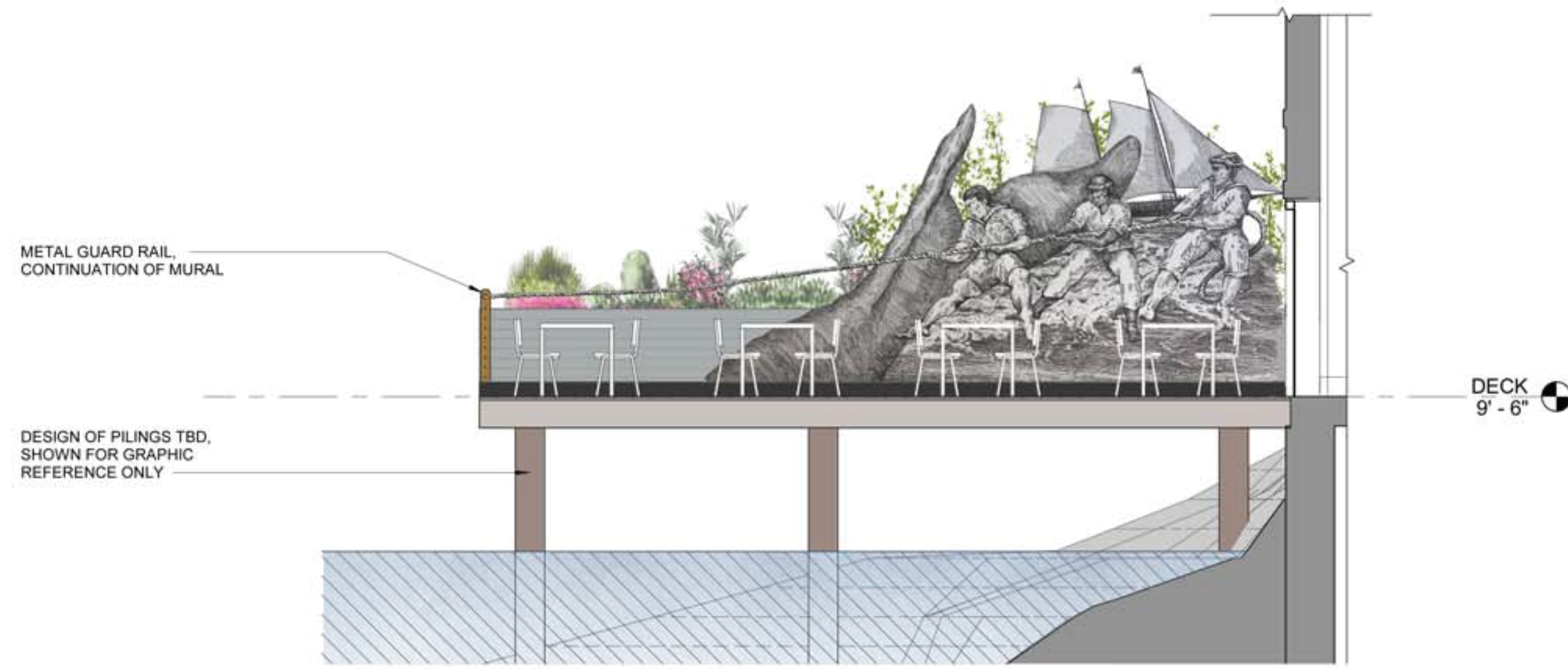
59' - 2" +/-  
EAST DECK EXPANSION

77' - 5" +/-  
EXISTING DECK TO REMAIN

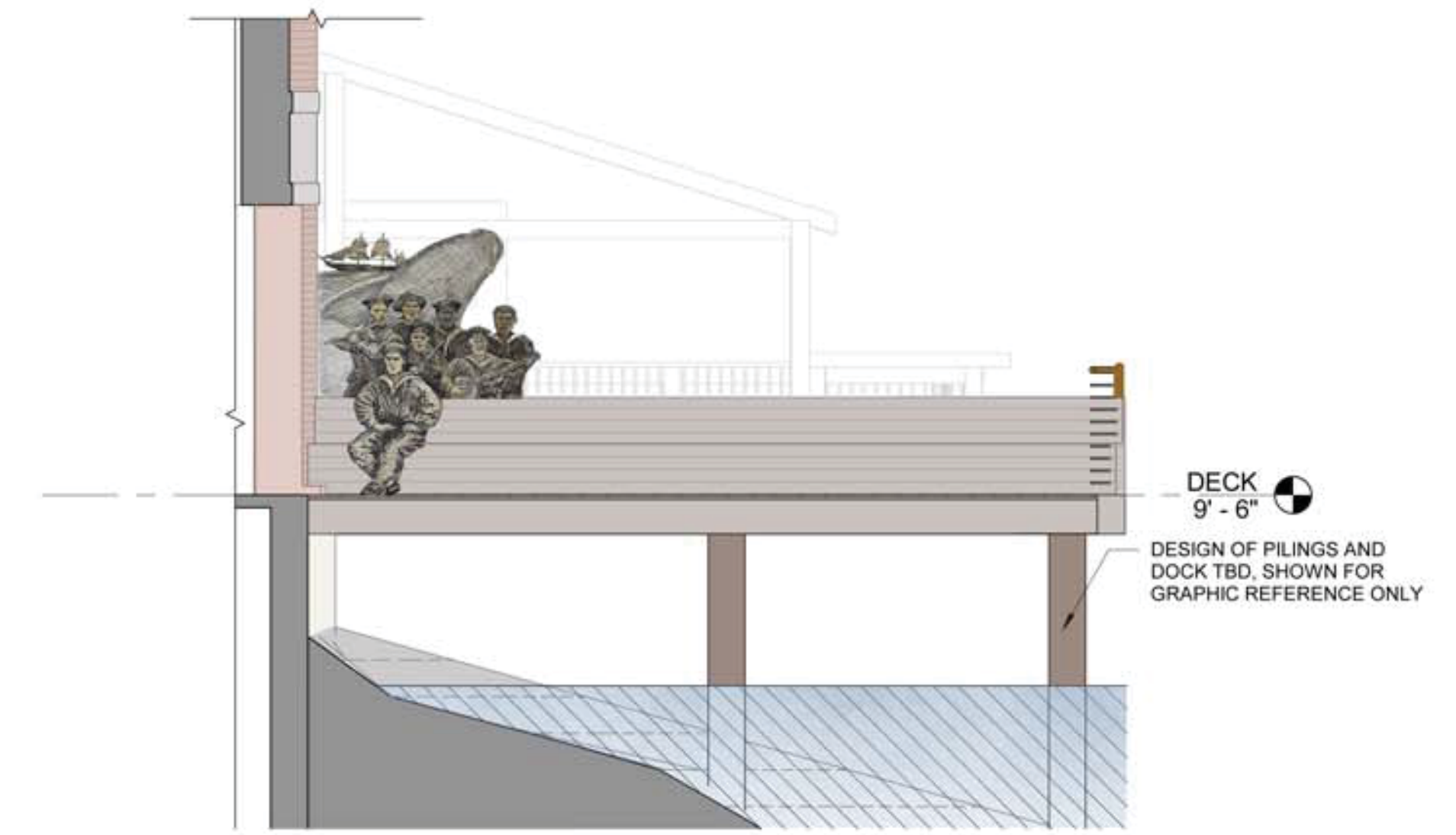
45' - 5 1/4" +/-  
WEST DECK EXPANSION

PRINTED AT 1/2 SCALE ON 11X17 PAPER

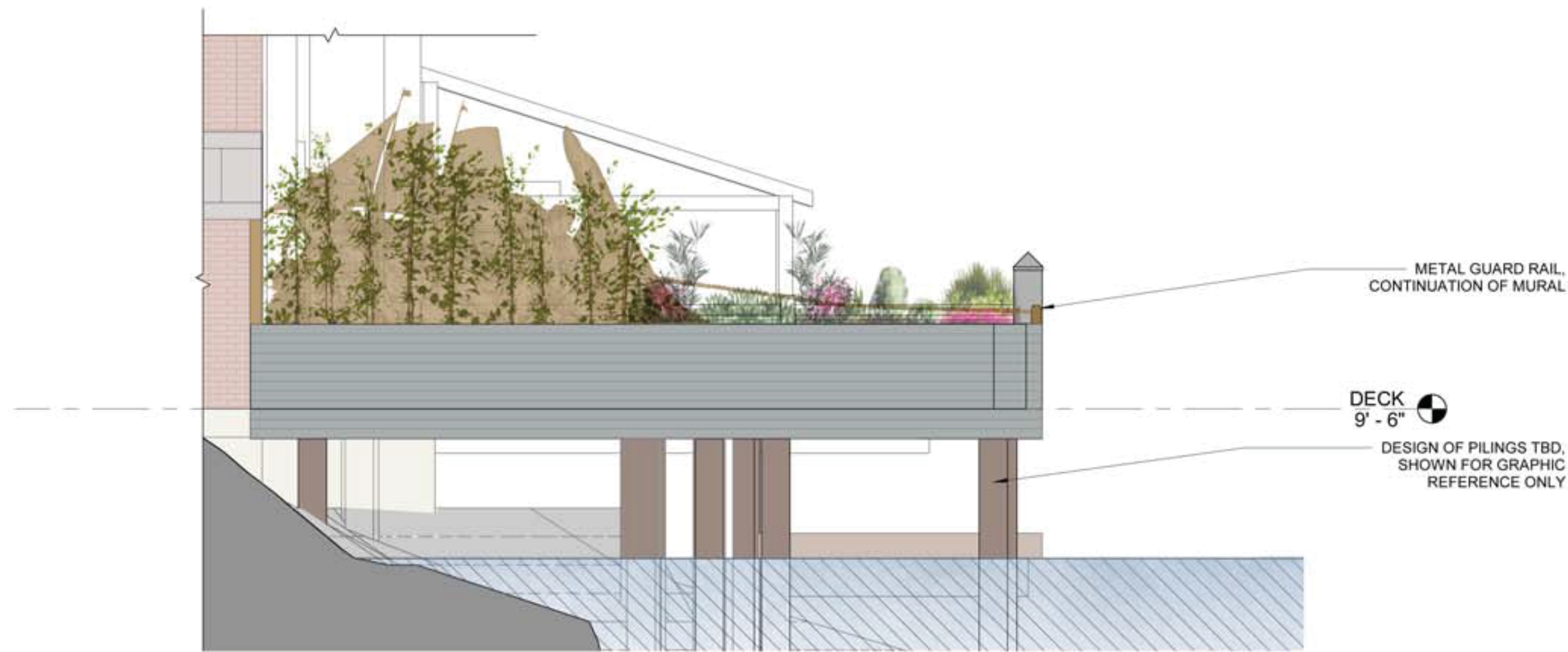




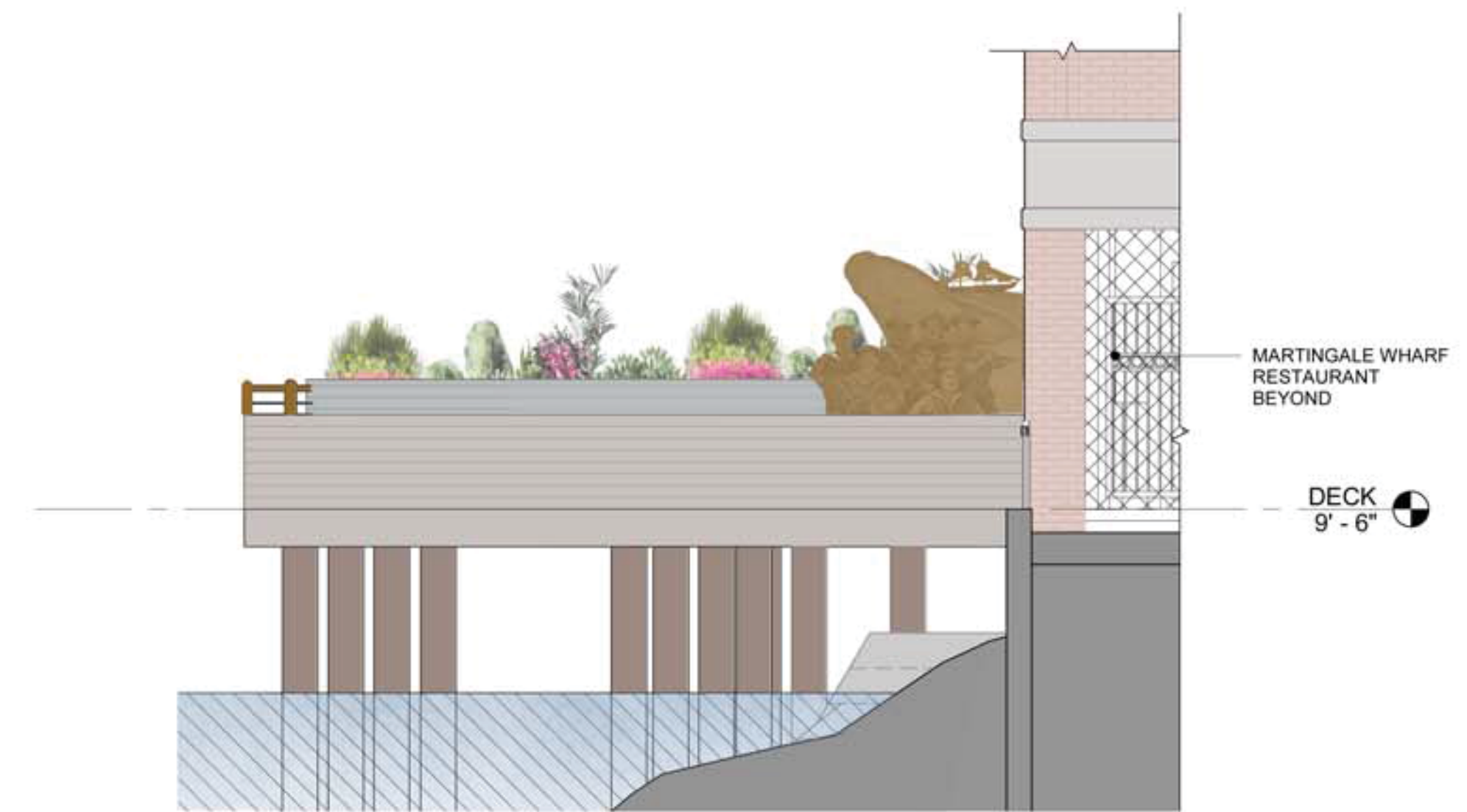
1 ELEVATION AT MARTINGALE WHARF MURAL (LOOKING EAST)  
1/4" = 1'-0"



3 ELEVATION AT PUBLIC MURAL (LOOKING WEST)  
1/4" = 1'-0"

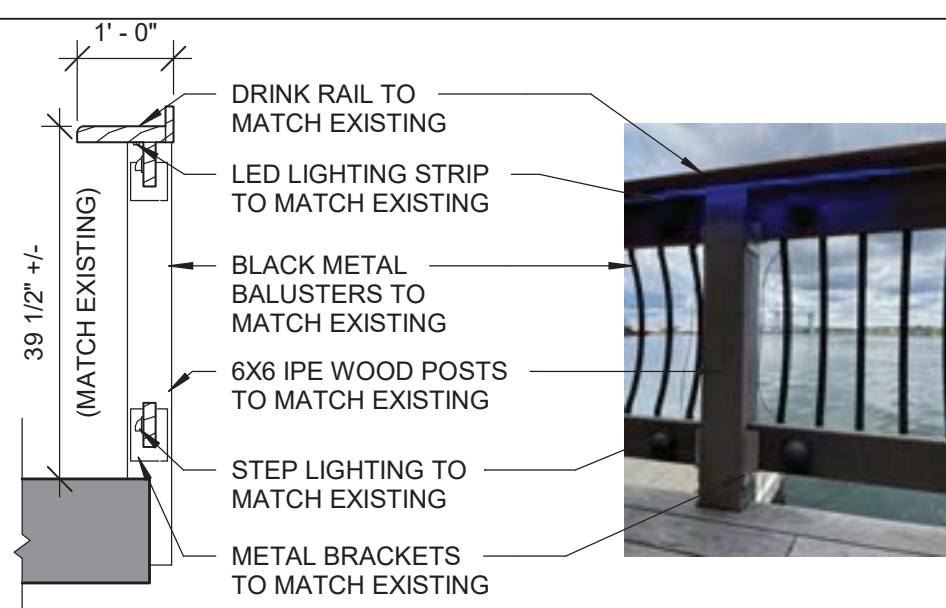


2 EAST ELEVATION (BACKSIDE OF MARTINGALE WHARF MURAL)  
1/4" = 1'-0"

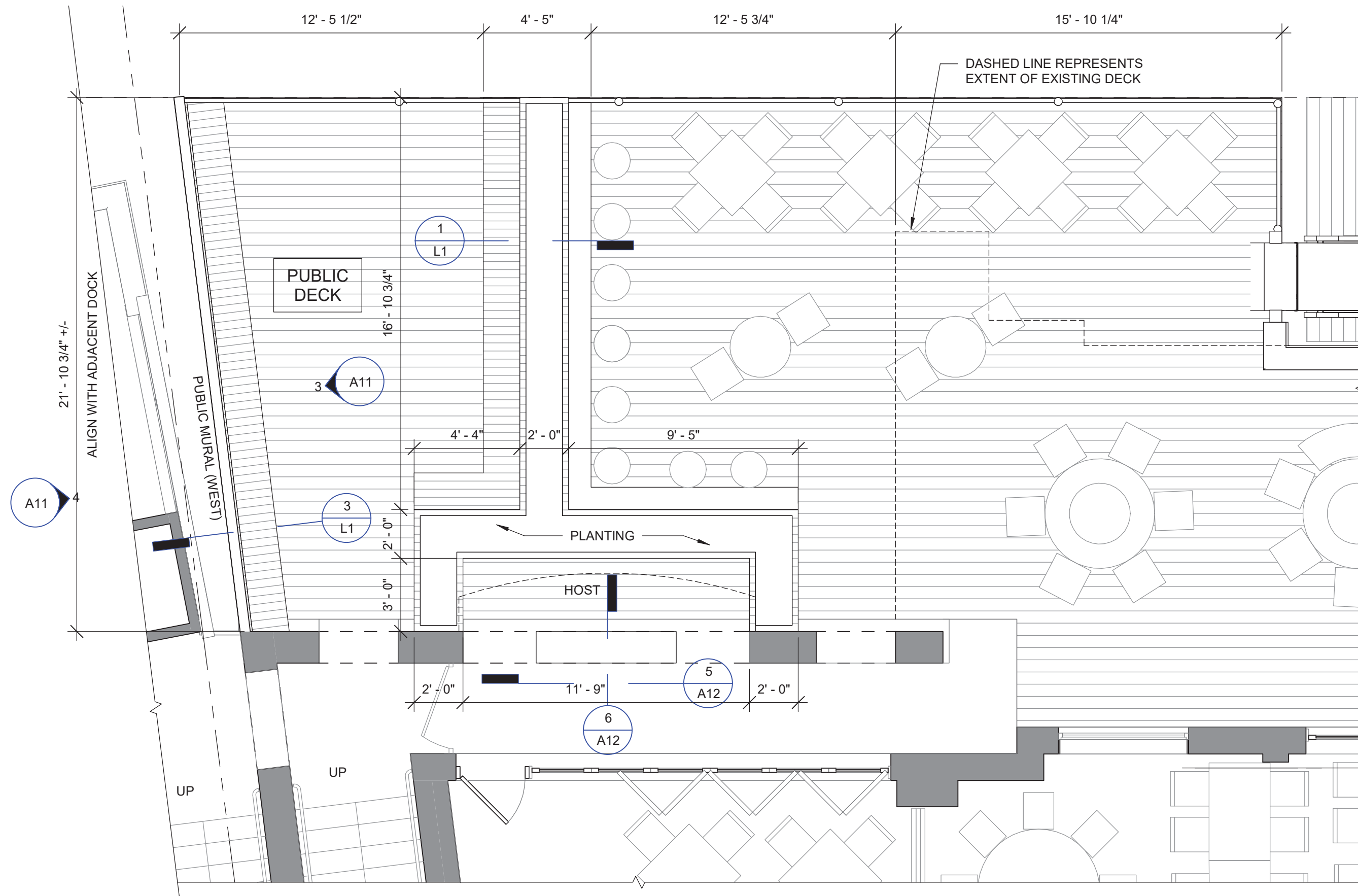


4 WEST ELEVATION (BACKSIDE OF PUBLIC DECK MURAL)  
1/4" = 1'-0"

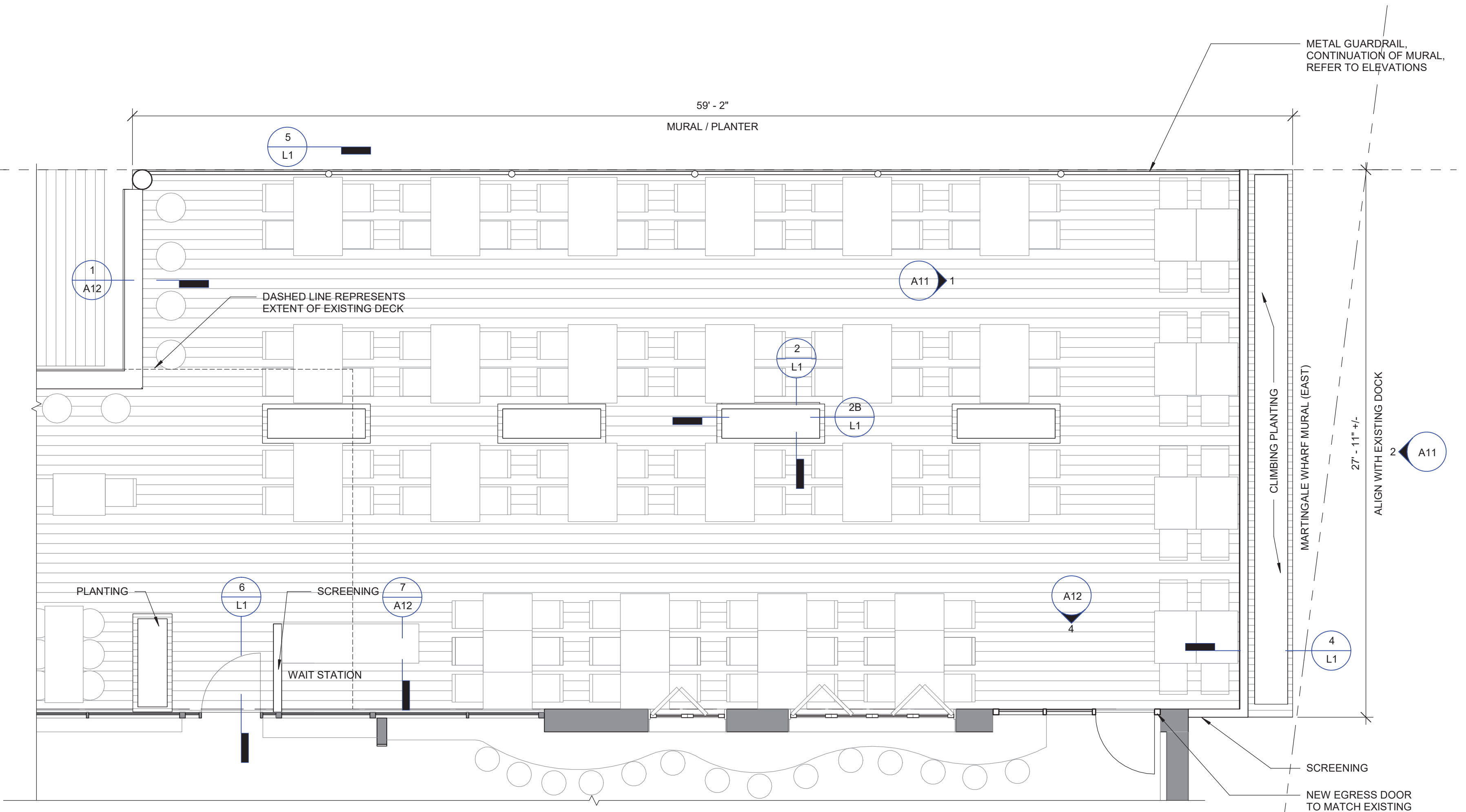




1 EXISTING DRINK RAIL EXTENSION SECTION DETAIL  
1/2" = 1'-0"



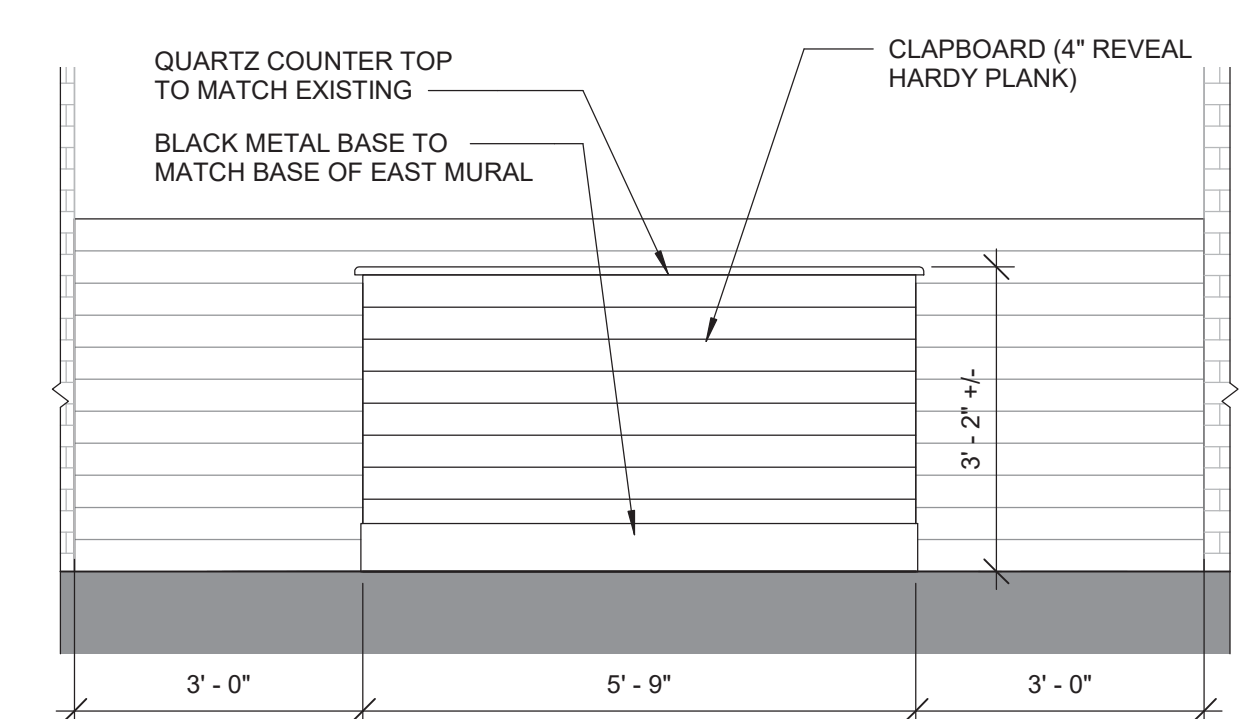
2 ENLARGED PUBLIC DECK PLAN  
1/4" = 1'-0"



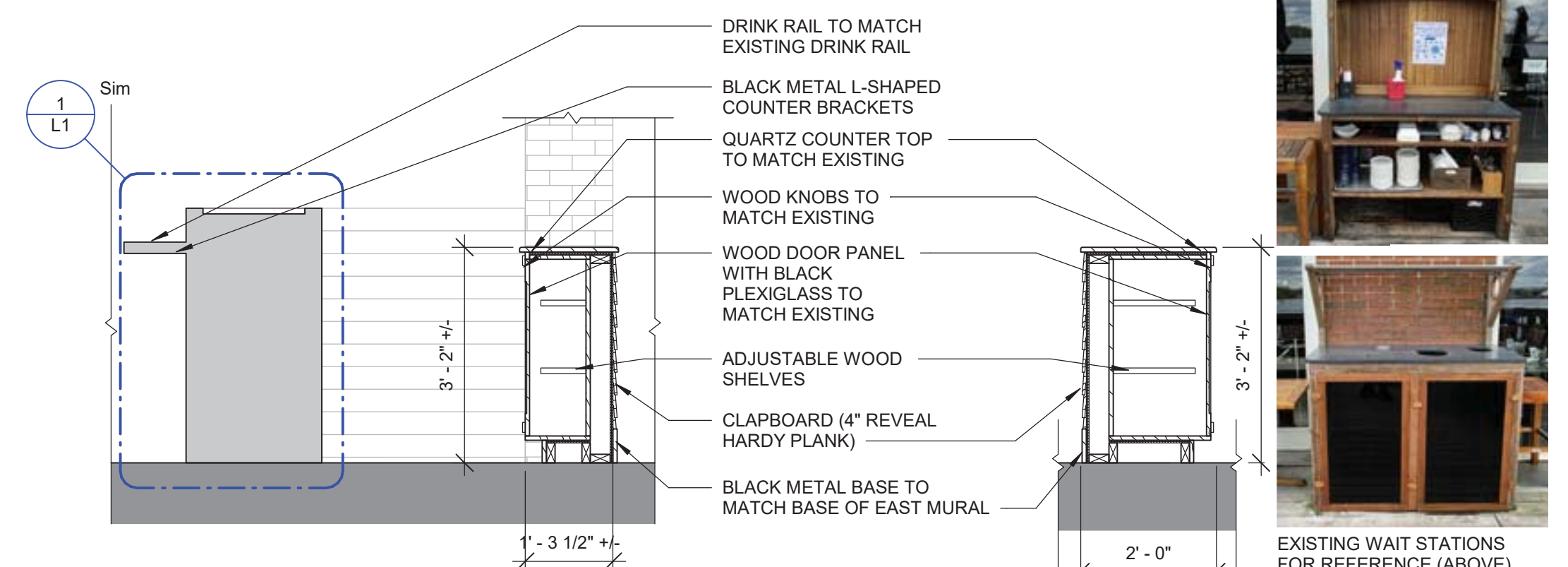
3 ENLARGED MARTINGALE WHARF DECK EXPANSION PLAN  
1/4" = 1'-0"



4 EGRESS DOOR ELEVATION  
1/4" = 1'-0"



5 ELEVATION AT HOST STATION  
1/2" = 1'-0"



6 SECTION THROUGH HOST STATION  
1/2" = 1'-0"

7 SECTION THROUGH TYPICAL WAIT STATION  
1/2" = 1'-0"



**Pitch LED Indoor/Outdoor Wall Sconce**  
By Tech Lighting



**Product Options**

Finish: Bronze  
Voltage: 120 Volt / 277 Volt

**Details**

- May be mounted up or down
- Marine-grade powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing
- Material: Die-Cast Metal
- ADA compliant, Dark Sky compliant, Title 24 compliant
- ETL Listed Wet
- Marine Grade
- Warranty: 5 years
- Made In China

**Dimensions**

120 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs  
277 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs

**Lighting**

- 120 Volt Option: 26.1 Watt (823 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 3000K Lifespan: 70000 hours
- 277 Volt Option: 26.1 Watt (823 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 3000K Lifespan: 70000 hours

**Additional Details**

Product URL: <https://www.lumens.com/pitch-led-indoor-outdoor-wall-sconce-by-tech-lighting-TECP90024.html>  
Rating: ETL Listed Wet

Product ID: TECP90024

Notes:  
OR EQUAL



WALL SCONCE AT DECK PERIMETER - OR EQUAL

**Norfolk Outdoor Wall Sconce**  
By Troy Lighting



**Product Options**

Size: Small / Medium / Large

**Details**

- Finish: Marine Bronze
- Material: Solid Brass
- Shade Material: Frosted Pressed Prismatic glass
- ADA compliant
- UL Listed Wet
- Made In China

**Dimensions**

Small Option Fixture: Depth 3", Diameter 8"  
Medium Option Fixture: Depth 3.5", Diameter 10"  
Large Option Fixture: Depth 4.5", Diameter 13"

**Lighting**

- Small Option: One 40 Watt (384 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)
- Medium Option: Two 40 Watt (384 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)
- Large Option: Two 60 Watt (672 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)

**Additional Details**

Product URL: <https://www.lumens.com/norfolk-outdoor-wall-sconce-by-troy-lighting-uu466059.html>  
Rating: UL Listed Wet

Product ID: uu466059

Notes:  
OR EQUAL



WALL SCONCE AT BUILDING - OR EQUAL

**Thin-Line LED Wall Bar**  
By SONNEMAN Lighting



**Product Options**

Finish: Black / White  
Size: 1, 2, 3, 4, 5, 6, 8  
Lighting Option: Indirect / One-Sided / Two-Sided

**Details**

- One-sided configuration can be installed as a downlight or uplight
- Can be mounted horizontally or vertically
- Removable when used with TSMC or E12 (downlight only)
- Dump value for indoor use only
- Designed by Robert Sonneman in 2018
- Material: Metal
- Lens Material: Optical Acrylic
- ADA Compliant
- UL Listed
- Warranty: Limited 1 Year
- Made In China

**Dimensions**

- 1 Option Backplate: Width 1", Height 1"
- 1 Option Shade: Width 30", Height 3.5", Depth 3.5", Weight 4Lbs
- 1 Option Backplate: Width 30", Height 1", Depth 0.75"
- 2 Option Backplate: Width 15", Height 1", Depth 3.5", Weight 7Lbs
- 4 Option Shade: Width 48", Height 1", Depth 3.5", Weight 7Lbs
- 4 Option Backplate: Width 15", Height 1", Depth 0.75"
- 8 Option Shade: Width 72", Height 3.5", Weight 14Lbs
- 8 Option Backplate: Width 15", Height 1", Depth 0.75"
- 16 Option Shade: Width 96", Height 3.5", Weight 18Lbs
- 16 Option Backplate: Width 15", Height 1", Depth 0.75"

**Lighting**

- 1 Option: 18 Watt (180 Lumens) 120 Volt Integrated LED: Color Temp: 3000K
- 2 Option: 36 Watt (360 Lumens) 120 Volt Integrated LED: Color Temp: 3000K
- 4 Option: 72 Watt (720 Lumens) 120 Volt Integrated LED: Color Temp: 3000K
- 8 Option: 144 Watt (1440 Lumens) 120 Volt Integrated LED: Color Temp: 3000K
- 16 Option: 288 Watt (2880 Lumens) 120 Volt Integrated LED: Color Temp: 3000K

**Additional Details**

Product URL: <https://www.lumens.com/thin-line-led-wall-bar-by-sonneman-lighting-snpn202253.html>  
Rating: UL Listed

Product ID: SNNP202253

Notes:  
EXTERIOR RATED EQUAL



LINEAR WALL MOUNTED LIGHTING AT BUILDING TO MATCH EXISTING



EXISTING LINEAR WALL MOUNTED LIGHTING AT BUILDING

**PL23DM Outdoor LED Path Light**  
By Focus Industries



**Product Options**

Finish: Black Texture / Bronze Texture

**Details**

- LED Lifespan: 50000 hours
- Driver is included
- Material: Aluminum
- ETL Listed Wet
- Warranty: Limited 5 Year
- Made In USA

**Dimensions**

Fixture: Width 2.25", Height 18", Depth 2.25", Weight 2.1Lbs

**Lighting**

- 4 Watt (300 Lumens) 12 Volt Integrated LED: CRI: 90 Color Temp: 3000K

**Additional Details**

Product URL: <https://www.lumens.com/pl23dm-outdoor-led-path-light-by-focus-industries-FOCP309793.html>  
Rating: ETL Listed Wet

Product ID: FOCP309793

Notes:  
OR EQUAL



AMBIENT PLANTER DOWNLIGHTS - OR EQUAL



IPE WOOD DECKING - MATCH EXISTING

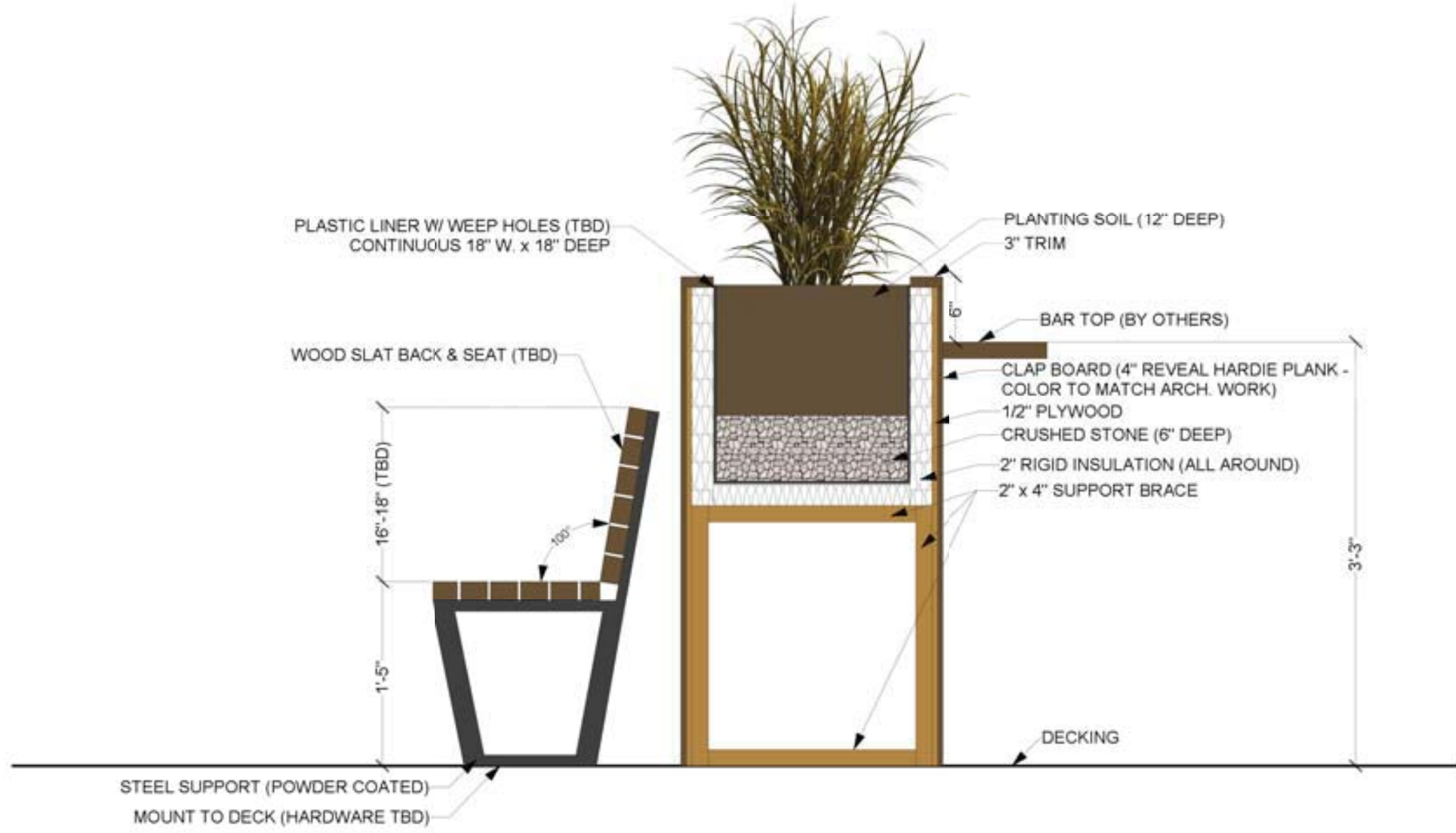


HARDIE PLANK - 4" EXPOSURE - BOOTHBAY BLUE

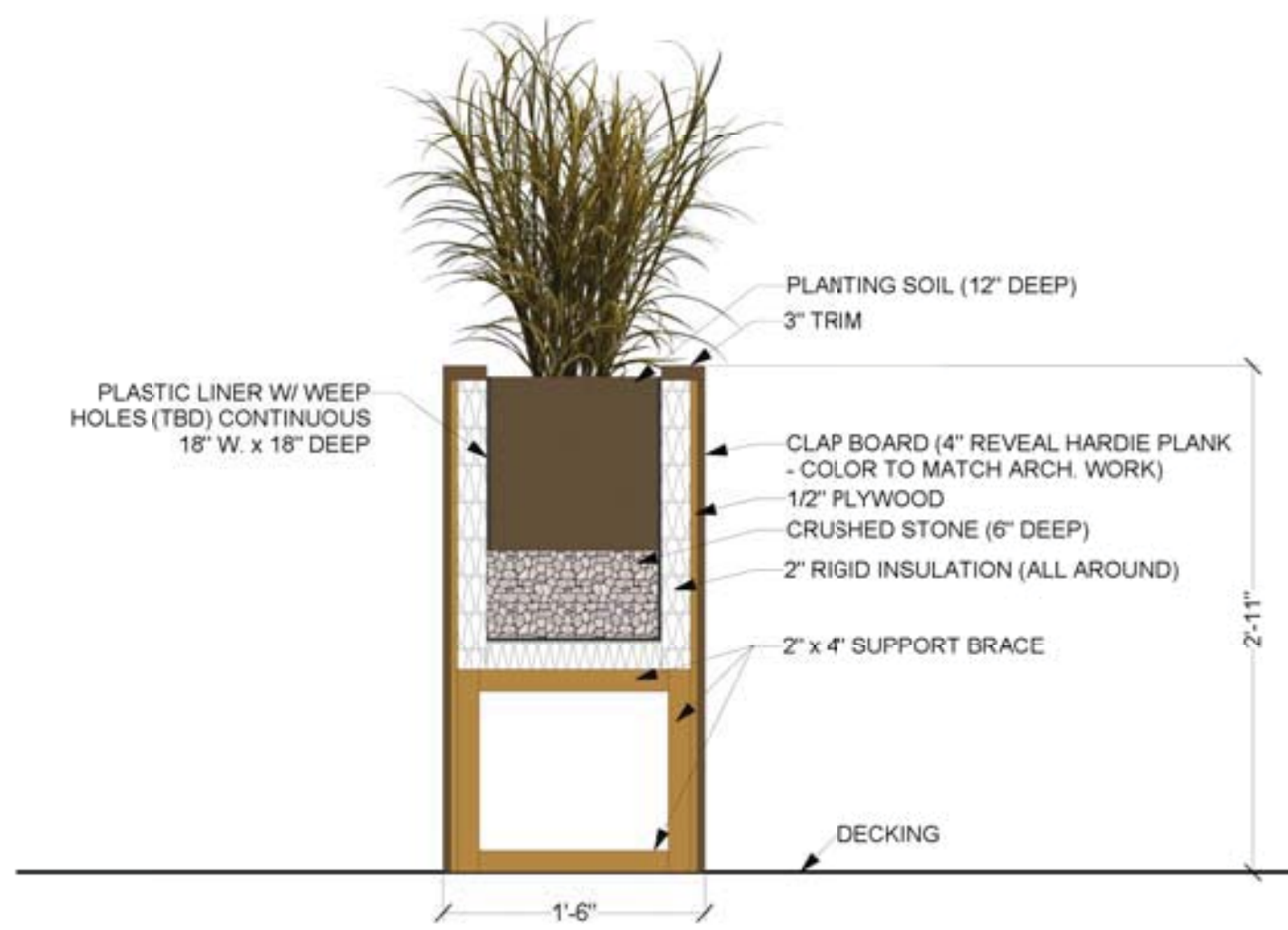


METAL GUARDRAIL BALUSTRADES AT EAST DECK EXPANSION - SIMILAR TO EXISTING (BLACK)

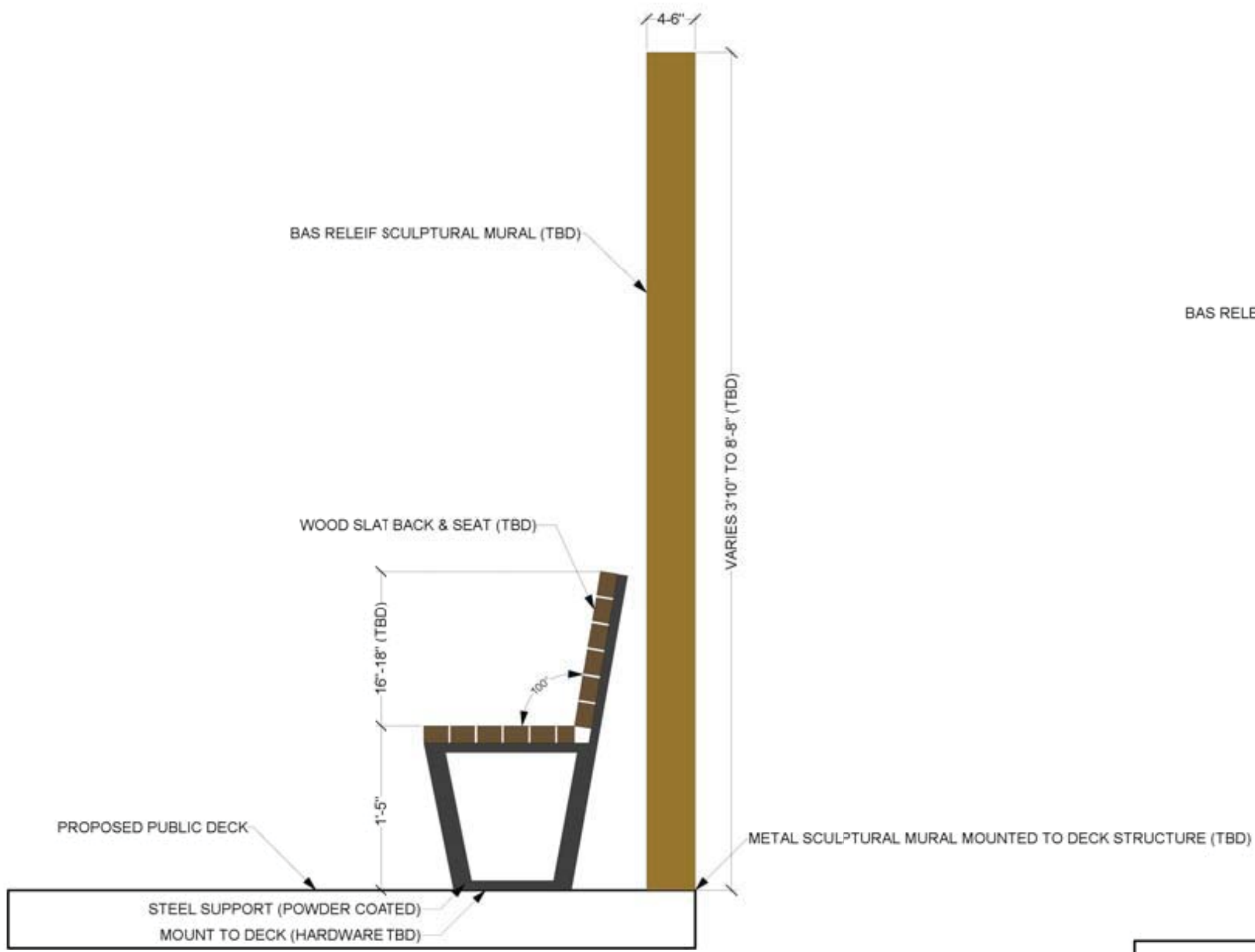
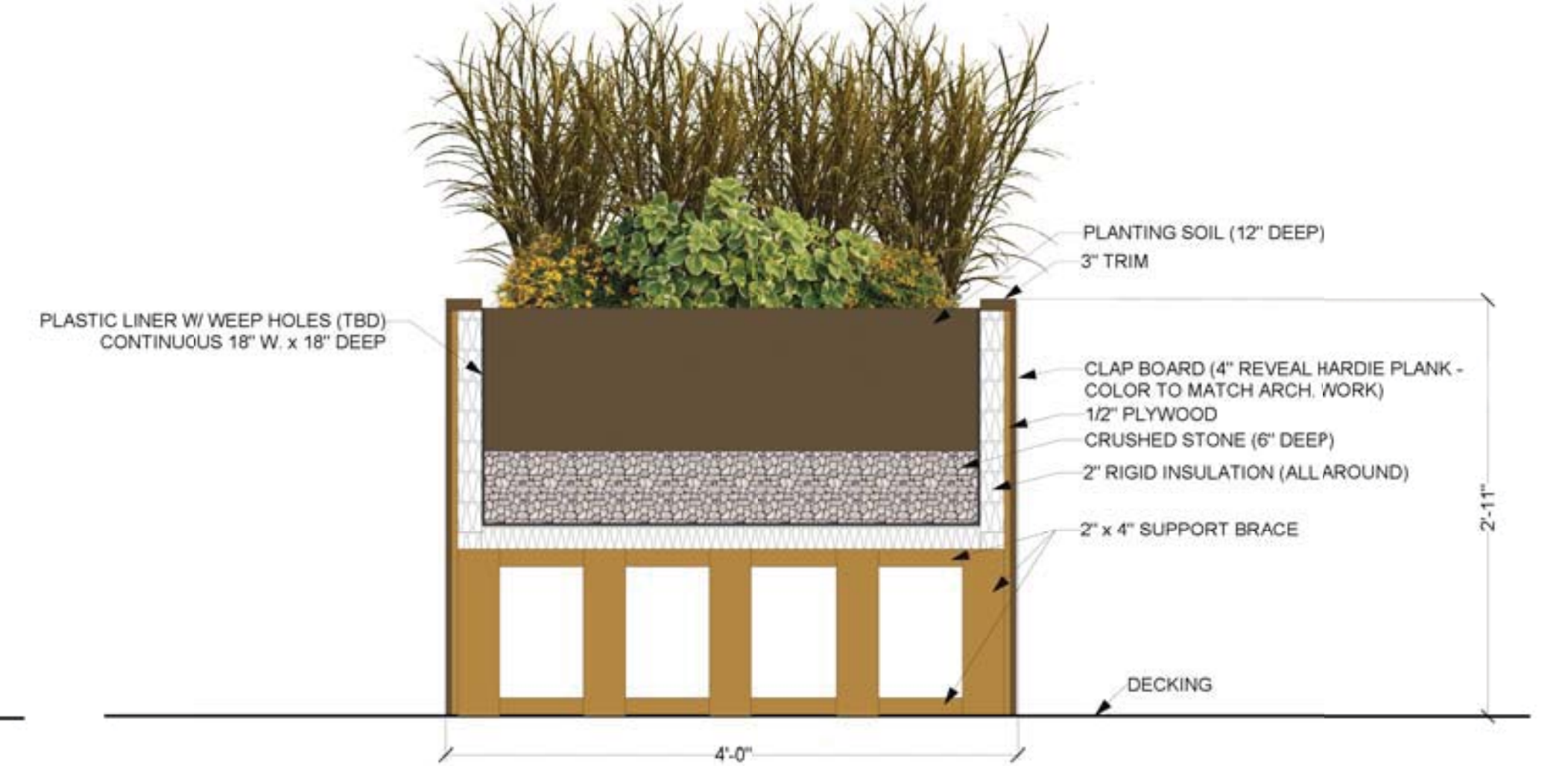




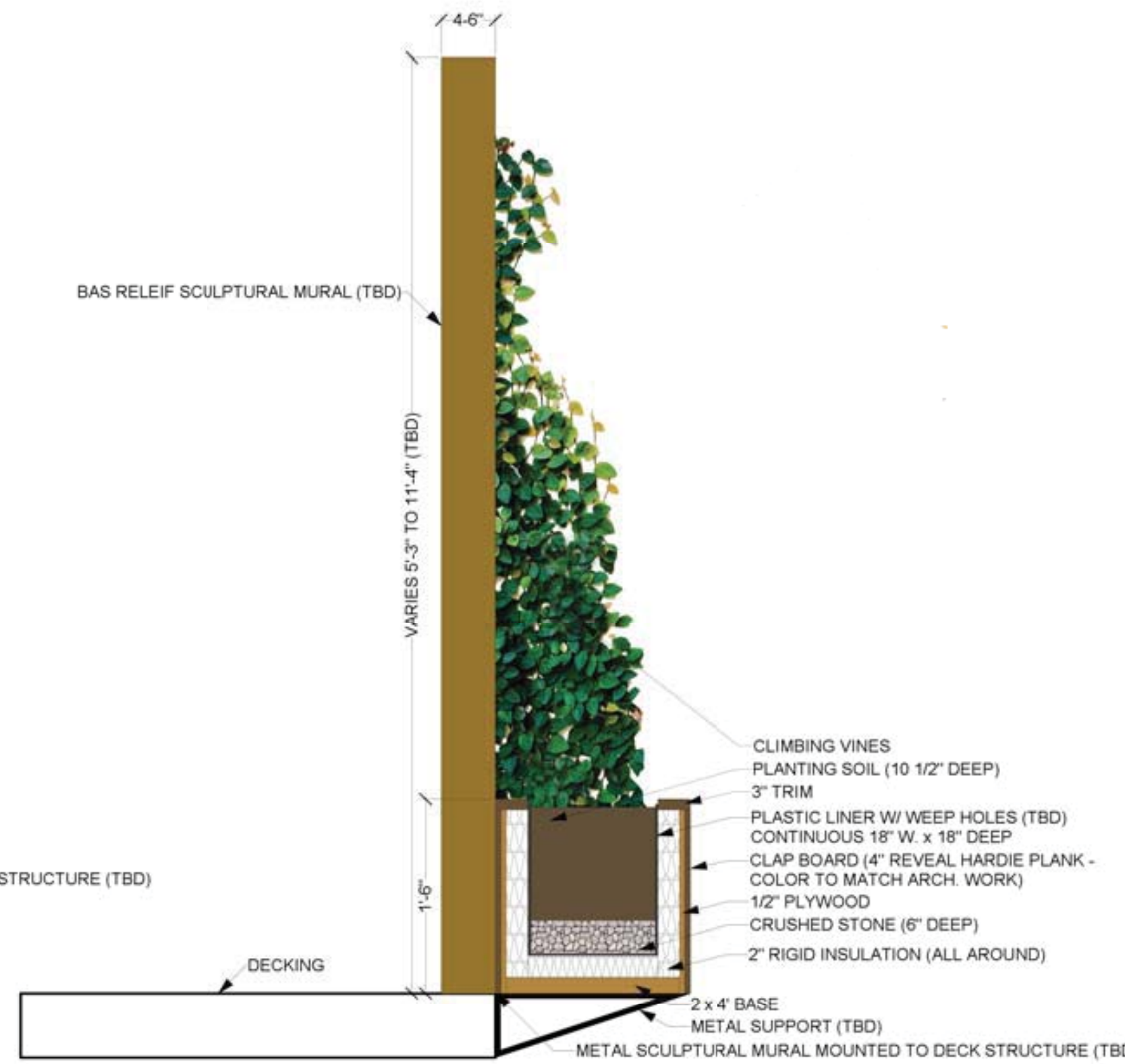
1 PLANTING BOX AND BAR DETAIL  
L-1 SCALE: 1"=1'-0"



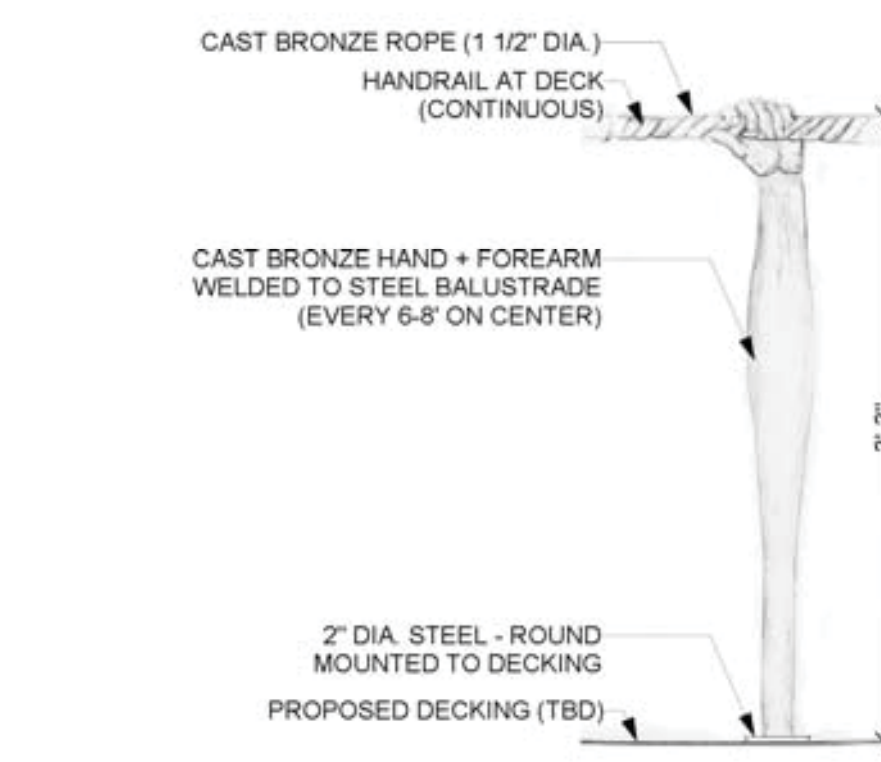
2 SOLITARY PLANTER (18" W. x 48" L. x 35" HT.)  
L-1 SCALE: 1"=1'-0"



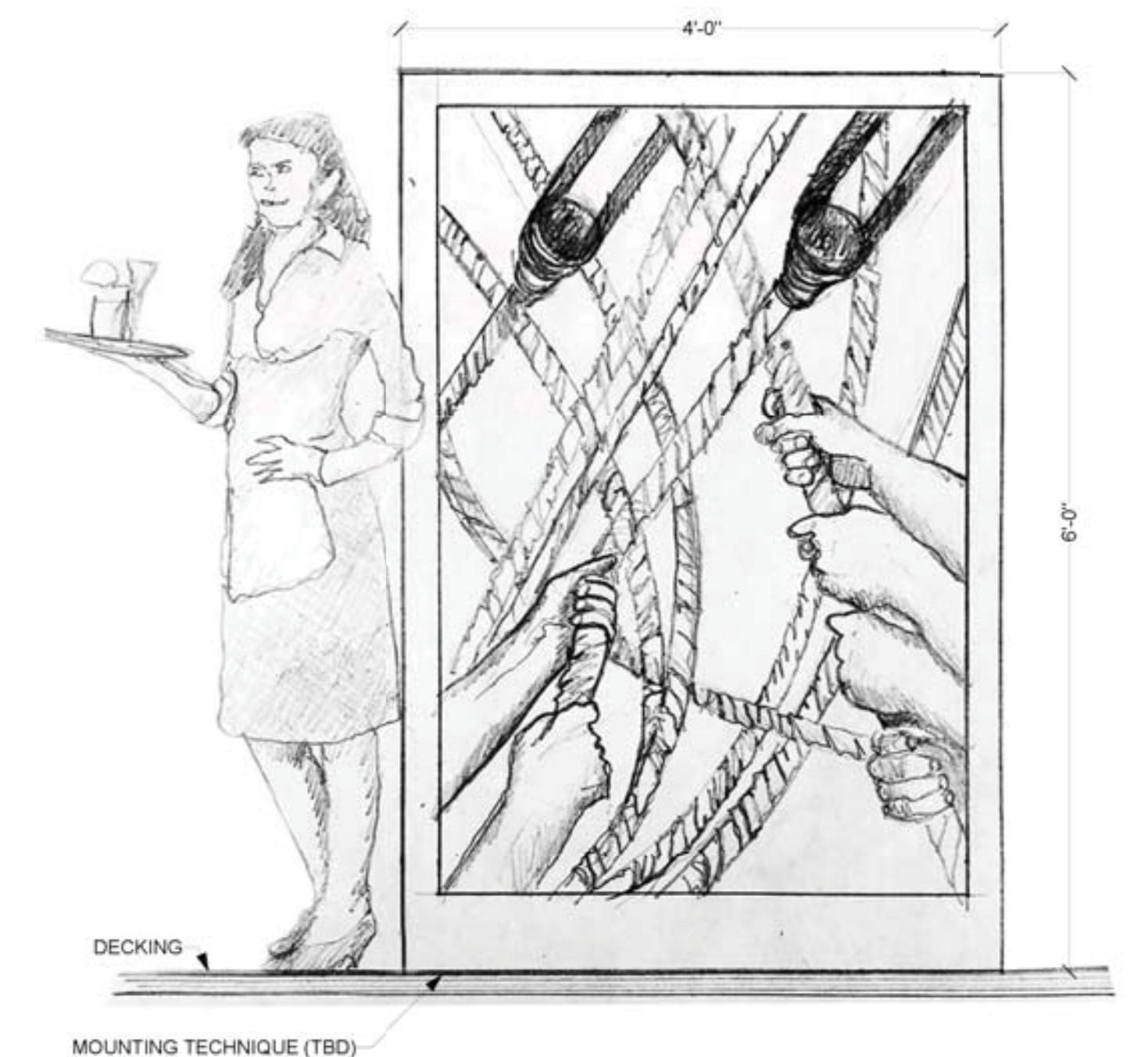
3 WEST BENCH AND MURAL DETAIL  
L-1 SCALE: 1"=1'-0"



4 EAST BENCH AND MURAL DETAIL  
L-1 SCALE: 1"=1'-0"



5 BALUSTRADE DETAIL  
L-1 SCALE: 1"=1'-0"



6 METAL SCREEN PARTITION AT WAITRESS STAND  
L-1 SCALE: 1"=1'-0"