

June 25, 2019

City of Portsmouth Board of Adjustment  
1 Junkins Ave  
Portsmouth, NH 03801

**RE: City of Portsmouth for Variance  
Map Lot 0162-0054-0001  
346 Bartlett St  
Portsmouth, NH 03801**

This letter transmits a formal request to be placed on the July 16<sup>th</sup> agenda of the Portsmouth Planning Board meeting regarding a Variance in accordance with Section 10.520 of the Zoning Ordinance for construction of a single-family home at the above noted address.

Included in this application, please find the following:

- Written statement
- Professional survey, includes Map Lot 0162-0054-0000 and Map Lot 0162-0054-0001
- Aerial photos showing existing conditions (note, highlights show lot line and pins)
- Site plan showing proposed conditions
- Proposed building plans and interior floor plans


In the Summer of 2017, we restored our two lots that had been involuntarily merged over the years. Map Lot 0162-0054-0001, currently vacant, is .12 acres (5,026 sq. ft) in the GRA district with 53.87 street frontage on Bartlett Street.

We are proposing to build a home on the vacant lot, therefore we are requesting the following waivers on Table 10.521:

1. Minimum lot dimensions
  - Lot area and lot area per dwelling of 5,026 sq. ft lot size where 7,500 is required
  - Continuous street frontage of 53.87 where 100 is required
2. Minimum yard dimensions
  - 7 feet or more from border on the right side of lot

We have already spoken to our neighbors about our desire to build on this lot and have gotten favorable responses during those discussions. We respectfully request that the Board of Adjustment grant the requested variances and approve this as a conforming buildable lot.

Thank you,



John Byron

## Written Statement

According to the City of Portsmouth Zoning Ordinance, *Article 2 Section 10.233.20*, the proposal shall comply with the following criteria:

**1. The variance is not contrary to the public interest and the spirit of the ordinance is observed.**

The proposal is to construct a single-family home on a lot that is similar to the other lots in the neighborhood. According to the Zone Ordinance, a building lot requires 7,500 sq. ft, 100' of continuous road frontage, and 10 feet from the abutting properties. We are requesting a variance for 5,026' lot area and lot area per dwelling, 53.87' continuous street frontage, and at least 7' feet minimum side yard (one the right side).

Other than the 3 variances we are requesting for approval, our proposed plan meets all other requirements for a conforming lot. Most notably, even with a smaller lot we are still proposing to build a structure that is under the 25% building coverage requirement (1,184 sq. ft area of footprint or structure coverage / 5,026 sq. ft lot area = 23.56%)

Regarding the minimum side coverage, as noted earlier, we have a long and narrow lot which makes it more challenging to create a conforming lot without having a long and narrow house. Therefore, we designed the home to be 40 feet wide, which leaves 20 feet collectively on the sides of the lot. However, we have proposed to place the house closer to the right side of the lot since the abutting properties on that side have no structures on the abutting lot lines. And to respect the neighbor to the left side, we are proposing to have the house 13 feet from that side, since their home is relatively close to the lot line.

The newly constructed home will not alter the essential character of the neighborhood. It will be similar in nature to the other homes. And the spirit of the ordinance is observed by building a modestly sized home in the neighborhood.

**2. Substantial justice is done.**

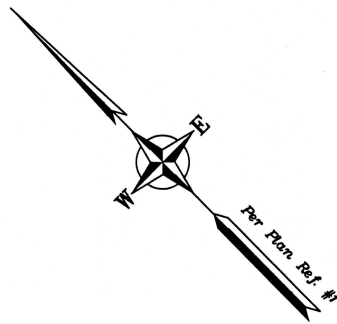
There will be no harm to the public by making this a buildable lot. Currently, the lot gets limited use, so this will give it a purpose. Also, since the home will include a garage and be placed 30' from the street, there will be plenty of parking for both homeowners and visitors.

**3. The values of surrounding properties are not diminished.**

The values of the surrounding properties will not be diminished. In fact, by having a newer home on the street, it may even help increase the value of neighboring homes.

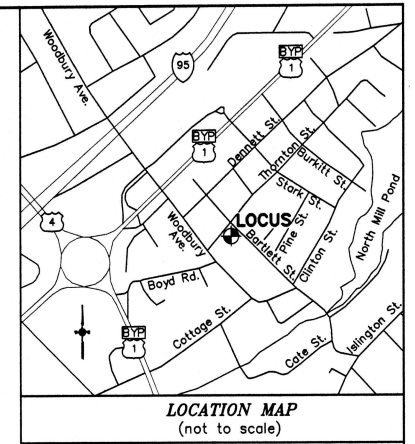
**4. Liberal enforcement of the ordinance**

As noted previously, the lot in question is similar to the other lots in the neighborhood. In fact, many of the neighboring lots are half the size. More specifically, it is slightly larger than the neighboring lot to the left and has more continuous road frontage.

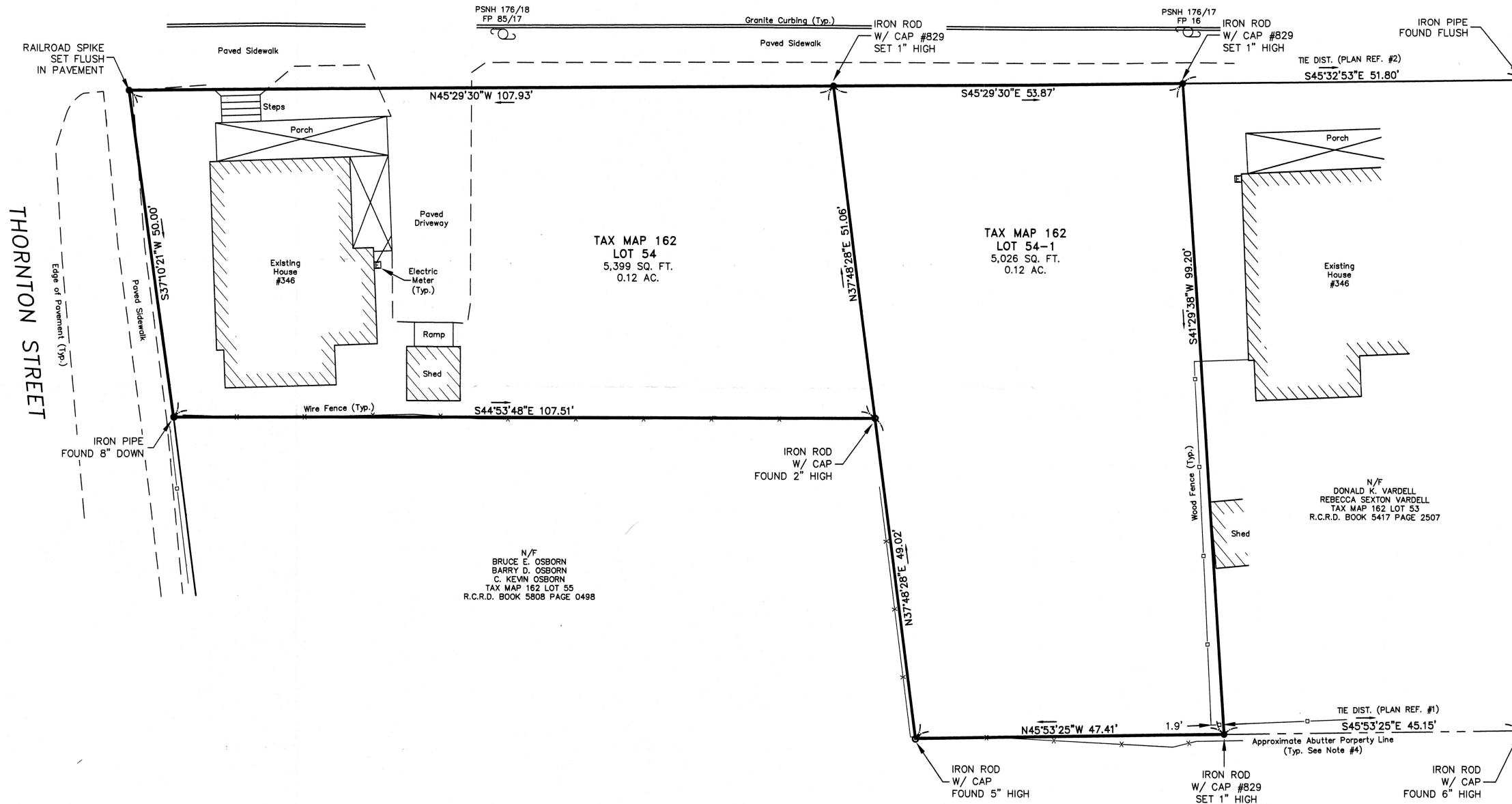


**PLAN REFERENCES:**

1. "LOT LINE REVISION PLAN, 187 WOODBURY AVE. & 377 THORNTON ST. PORTSMOUTH, NEW HAMPSHIRE, ASSESSOR'S PARCELS 162-56 & 162-55 FOR BRUCE E. OSBORN & ESTATE OF PETER MELVIN OSBORN", PREPARED BY JAMES VERA AND ASSOCIATES, INC., DATED FEBRUARY 24, 2016, AND RECORDED AT THE R.C.R.D. AS PLAN No. D-40054.
2. "PLAN OF LOTS Nos. 302-314 BARTLETT ST., PORTSMOUTH, N.H.", PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, DATED DECEMBER 1950, FILE No. 1239, PLAN No. 6339, NOT RECORDED.
3. "SURVEY OF PORTION OF BILBRUCK EST., PORTSMOUTH, N.H.", PREPARED BY E.O. PRAY, DATED MAY 11, 1911, NOT RECORDED.



**BARTLETT STREET**



**PURPOSE OF PLAN:**

THE PURPOSE OF THIS PLAN IS TO RETRACE TWO INVOLUNTARILY MERGED LOTS. THE LOTS WERE DESCRIBED AS TWO SEPARATE PARCELS IN R.C.R.D. BOOK 0666 PAGE 0418, DATED AUGUST 14, 1908. THIS DEED REFERS TO THE TWO LOTS AS LOTS 9 & 11 ON PLAN REFERENCE #3.

THE PORTSMOUTH CITY COUNCIL APPROVED THE UN-MERGER ON NOVEMBER 20, 2017 PER CORRESPONDENCE BETWEEN THE RECORD OWNER, JOHN A. BYRON AND THE PLANNING DIRECTOR JULIET T.H. WALKER DATED NOVEMBER 14, 2018.

**NOTES:**

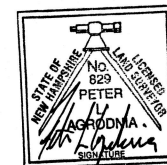
1. OWNER OF RECORD:  
TAX MAP 162 LOTS 54 & 54-1  
JOHN A. BYRON  
R.C.R.D. BOOK 5017 PAGE 0460  
DATED JUNE 1, 2009
2. TOTAL EXISTING PARCEL AREA:  
TAX MAP 162 LOT 54  
0.12 AC.  
TAX MAP 162 LOT 54-1  
0.12 AC.
3. BASIS OF BEARING IS PER PLAN REFERENCE #1.
4. APPROXIMATE ABUTTER'S LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE RELIED UPON AS BOUNDARY INFORMATION.
5. EASEMENTS OR OTHER UNWRITTEN RIGHTS MAY EXIST THAT ENCUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREON.
6. ZONING INFORMATION AND SETBACKS SHOWN HEREON ARE FOR REFERENCE PURPOSES. CONFIRM CURRENT ZONING REQUIREMENTS WITH THE TOWN OF YORK PRIOR TO DESIGN OR CONSTRUCTION.
7. THE BOUNDARY SHOWN HEREON IS DETERMINED FROM WRITTEN RECORDS AND FIELD EVIDENCE RECOVERED AT THE TIME OF SURVEY AND MAY BE SUBJECT TO CHANGE IF OTHER EVIDENCE BECOMES AVAILABLE.

N/F  
BRUCE E. OSBORN  
BARRY D. OSBORN  
C. KEVIN OSBORN  
TAX MAP 162 LOT 55  
R.C.R.D. BOOK 5808 PAGE 0498

N/F  
DONALD K. VARDELL  
REBECCA SEXTON VARDELL  
TAX MAP 162 LOT 53  
R.C.R.D. BOOK 5417 PAGE 2507

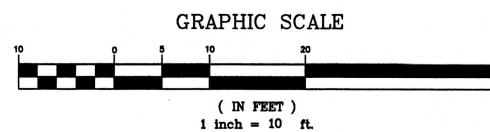
**CERTIFICATION**

"I certify that this survey plat is not a subdivision pursuant to this title and that the lines of streets and ways shown are those of public or private streets or ways already established and that no new ways are shown."



*Peter L. Agrodina*  
Peter L. Agrodina, L.L.S. #829

1/29/19  
Date

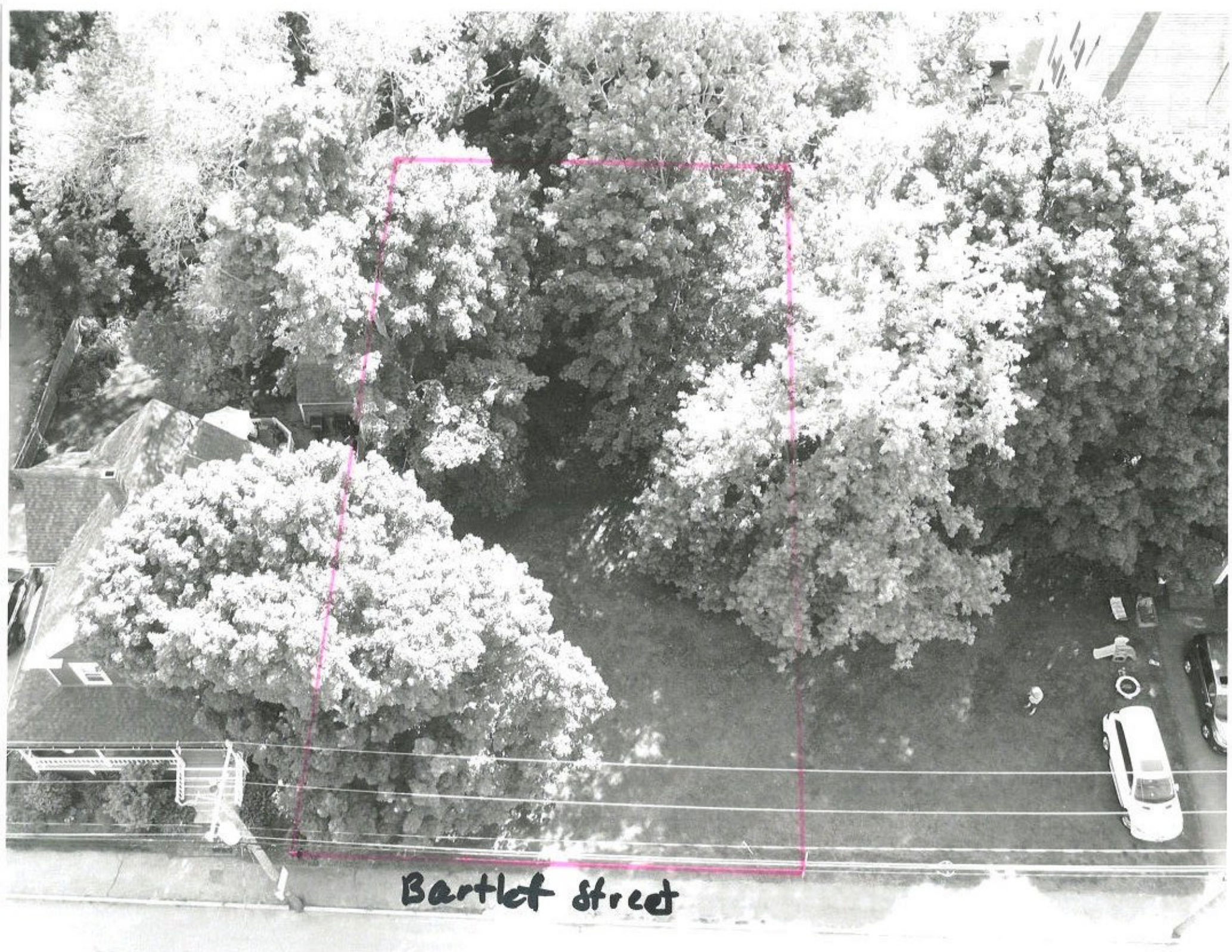


**STANDARD PROPERTY SURVEY**  
FOR PROPERTY AT  
**346 Bartlett Street**  
Portsmouth, Rockingham County, New Hampshire  
OWNED BY  
**John A. Byron**  
346 Bartlett Street  
Portsmouth, NH 03801

North  
W EASTERLY  
SURVEYING, Inc.  
SURVEYORS IN N.H. & MAINE 191 STATE ROAD, SUITE #1  
(207) 439-6333 KITTERY, MAINE 03904

SCALE: 1" = 10'	PROJECT NO. 18743	DATE: 1/29/19	SHEET: 1 OF 1	DRAWN BY: A.H.P.	CHECKED BY: P.L.A.
DRAWING No: 18743 Boundary FIELD BOOK No: "Portsmouth #17"			Tax Map 162 Lot 54-1 Tax Map 162 Lot 54		

REV.	DATE	STATUS	BY	CHKD	APPD.

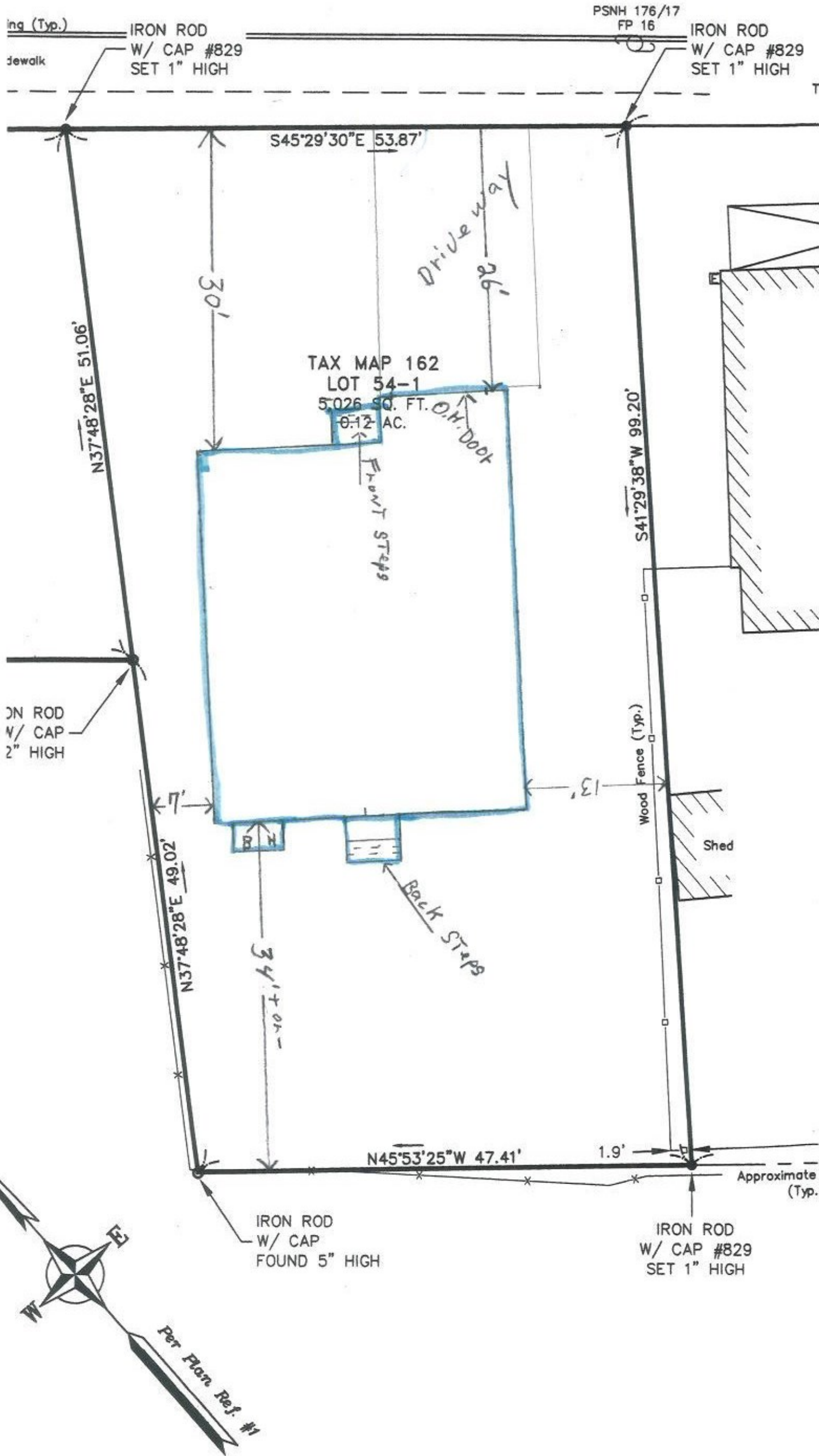


Bartlet Street



view from Bartlett Street

# BARTLETT STREET



GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.

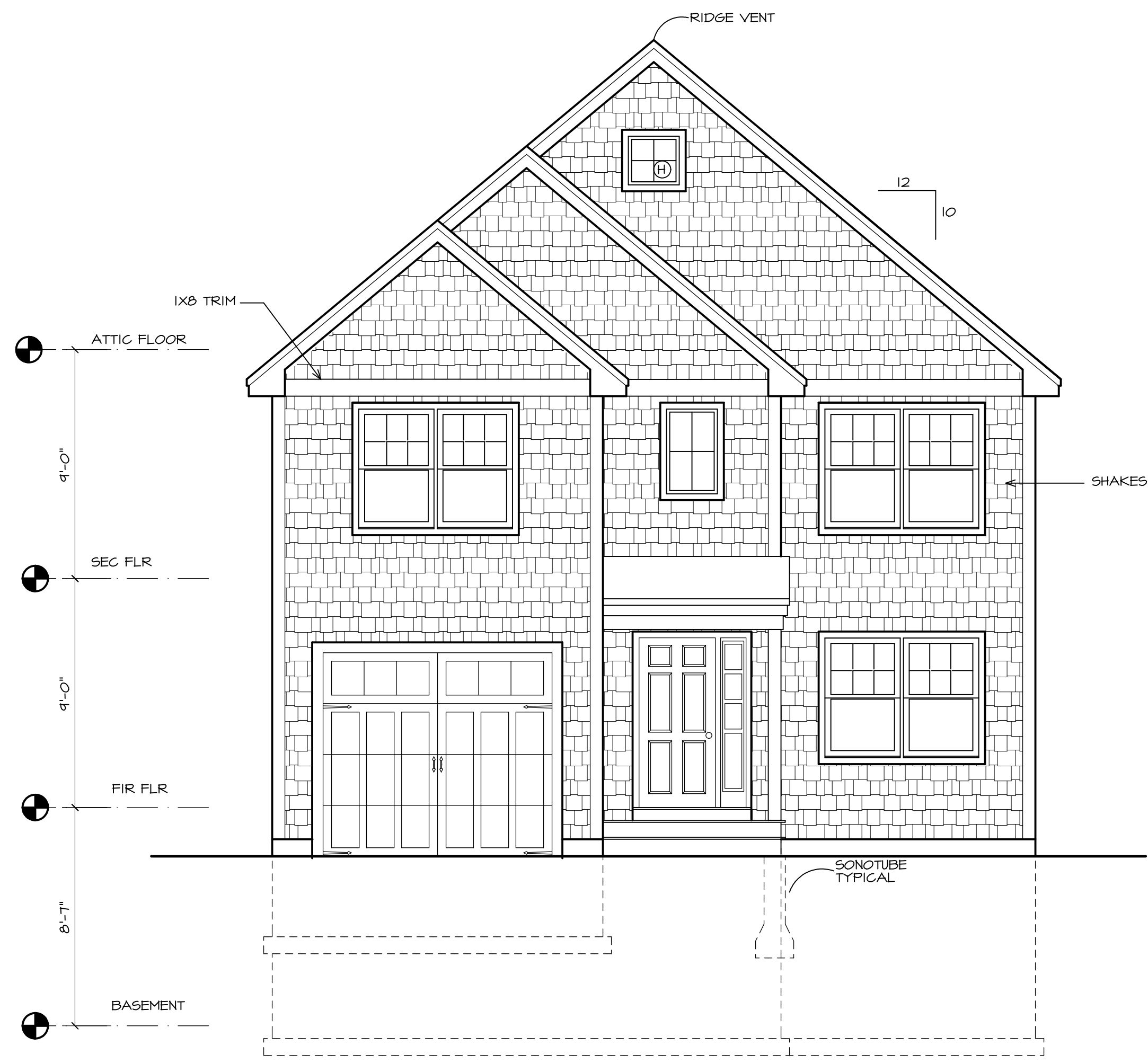


**Alternative Designs Inc.**  
**19-048**

FIRST FLOOR	859 S.F.
SECOND FLOOR	1130 S.F.
<b>TOTAL</b>	<b>1989 S.F.</b>



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94 Old Granite Street  
Manchester, NH 03101  
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fax: (603) 645-6010



**1** FRONT ELEVATION  
A1 SCALE: 1/4" = 1'-0"

**CODE:**

- ALL CONSTRUCTION SHALL FOLLOW LOCAL STATE BUILDING CODE, MANUFACTURERS' SPECIFICATIONS, AND WELL KNOWN INDUSTRY STANDARDS. IF ANY QUESTIONS SHALL ARISE, THE DESIGNER OR ENGINEER ON RECORD SHALL BE CONTACTED.
- INTERNATIONAL RESIDENTIAL CODE 2009 (IRC 2009) AND THE REFERENCED STANDARDS INCLUDED THEREIN. AHJ = AUTHORITY HAVING JURISDICTION.  
A. NUMBER OF UNITS: 1 (1 OR 2)  
B. NUMBER OF STORIES: 2 (MAX. 3)

**DESIGN LOADS:**

- UNIFORM FLOOR LIVE LOAD (NON-BEDROOM):  
A. NON-BEDROOM 40PSF  
B. BEDROOM 30PSF  
C. ATTIC 20PSF
- UNIFORM FLOOR DEAD LOAD: 10PSF
- ROOF SNOW LOAD (AHJ):  
A. GROUND SNOW LOAD: 50 PSF (TOWN, STATE SPECIFIC)
- WIND DESIGN:  
A. EXPOSURE CATEGORY B (A-D, R301.2.1.4) (B IS NORMAL)  
B. WIND SPEED ZONE (AHJ) 100 (90 - 120, MOST OF NORTHERN AND WESTERN NH AND WESTERN MA=90, CENTRAL AND SOUTH NH AND MA = 100, NH COAST, BOSTON AND SOUTH = 110, CAPE COD AND ISLANDS = 120, R301.2.4)  
C. TOPOGRAPHIC EFFECTS (AHJ): NO (YES/NO)

**5. SEISMIC**

A. DESIGN CATEGORY (AHJ) (A-E, R301.2.2), (C FOR MOST OF SOUTH AND CENTRAL NH AND B FOR MA)

**6. DAMAGE:**

A. WEATHERING: SEVERE (CONCRETE) (R301.2(3))  
B. TERMITE INFESTATION PROBABILITY: SLIGHT (NORTHERN NH), MODERATE (SOUTHERN NH), HEAVY (MA)

**7. DESIGN FROST DEPTH OF**

4 FEET BELOW FINISHED GRADE (4' IS TYPICAL; VERIFY AS NEEDED WITH AHJ)

**8. WINTER DESIGN TEMP:**

NH: 0 DEG. F., MA 10 DEG. F. (PER 301.2(1))

**9. FLOOD HAZARD (AHJ):**

NO

**GENERAL NOTES:**

- THESE DRAWINGS REPRESENT AN OVERALL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO DEMONSTRATE THE OVERALL DESIGN ARRANGEMENT AND METHODS OF ASSEMBLY TO THE VARIOUS COMPONENTS. THE DRAWINGS DO NOT INDICATE EXTENSIVE DETAILS. THE CONTRACTOR SHALL HAVE REVIEWED THESE PLANS, SEEN THE SUBJECT PROPERTY, AND BE CAPABLE OF EXECUTING THE DETAIL WORK AS NECESSARY TO ACHIEVE THE INTENDED RESULT, IN A MANNER CONSISTENT WITH QUALITY WORKMANSHIP WITHIN THE REGION.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL STATE AND LOCAL CODES, REGULATIONS AND FHAVA MPS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ALTERNATIVE DESIGNS INC. FOR JUSTIFICATION AND OR CORRECTION BEFORE PROCEEDING WITH WORK.

4. THE OWNER AND CONTRACTOR SHALL HOLD HARMLESS THE DESIGNER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES (INCLUDING LEGAL FEES) ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK BY THE CONTRACTOR.

5. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.

6. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR STRUCTURAL ENGINEER BEFORE PROCEEDING.

7. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE DESIGNER OR STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CONSULTATION. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN, THE DESIGNER OR STRUCTURAL ENGINEER SHALL BE NOTIFIED BEFORE ANY WORK IS PROCEEDED WITH.

8. ALTERNATIVE DESIGN ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE DESIGNER OR ENGINEER ON RECORD.

9. ALTERNATIVE DESIGN ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER ON RECORD.

10. REPRODUCTION OF DESIGNER PLANS AND STRUCTURAL DRAWINGS FOR SHOP DRAWINGS IS NOT PERMITTED.

11. SECTIONS, DETAILS, NOTES, METHODS, OR MATERIALS SHOWN AND/OR NOTED ON ANY PLAN, SECTION, OR ELEVATION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS NOTED OTHERWISE.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED DURING CONSTRUCTION. TEMPORARY SUPPORTS REQUIRED FOR STABILITY DURING ALL INTERMEDIATE STAGES OF CONSTRUCTION SHALL BE REMOVED AFTER CONSTRUCTION AND ARE THE RESPONSIBILITY OF THE CONTRACTOR.

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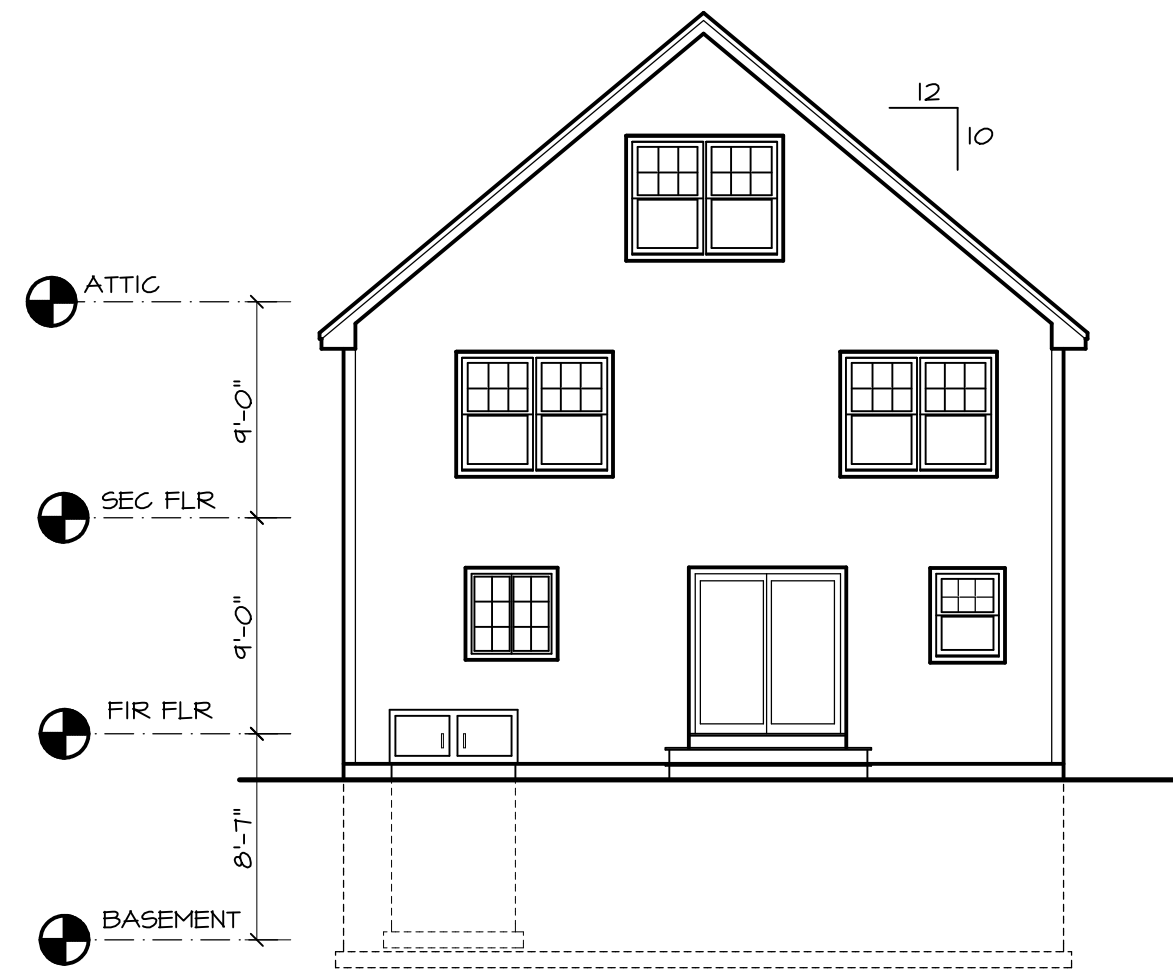
**BYRON RESIDENCE**  
NEW HOUSE TO BE BUILT IN PORTSMOUTH, NH

Contractor to check & verify all dimensions & structural members before construction. All construction shall be in strict compliance with the State of New Hampshire or Massachusetts Building Codes, whichever applicable.

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**A1**



1 REAR ELEVATION  
A3 SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE				
MARK	QTY	MODEL NUMBER	RSO	NOTES
A		244DH3049		DBL HUNG
B		(2)-244DH3049		MULLION
C		CN235		3'5 X 3'5 CASEMENT
D		244DH2836		DBL. HUNG
E		A31		3'0 X 2'0 AWNING
F		C135		2'0 X 3'5 CASEMENT
G		244DH2849		DBL HUNG
H		2424		2'0 X 2'0 FIXED
J		244DH2036		DBL. HUNG

NOTES:

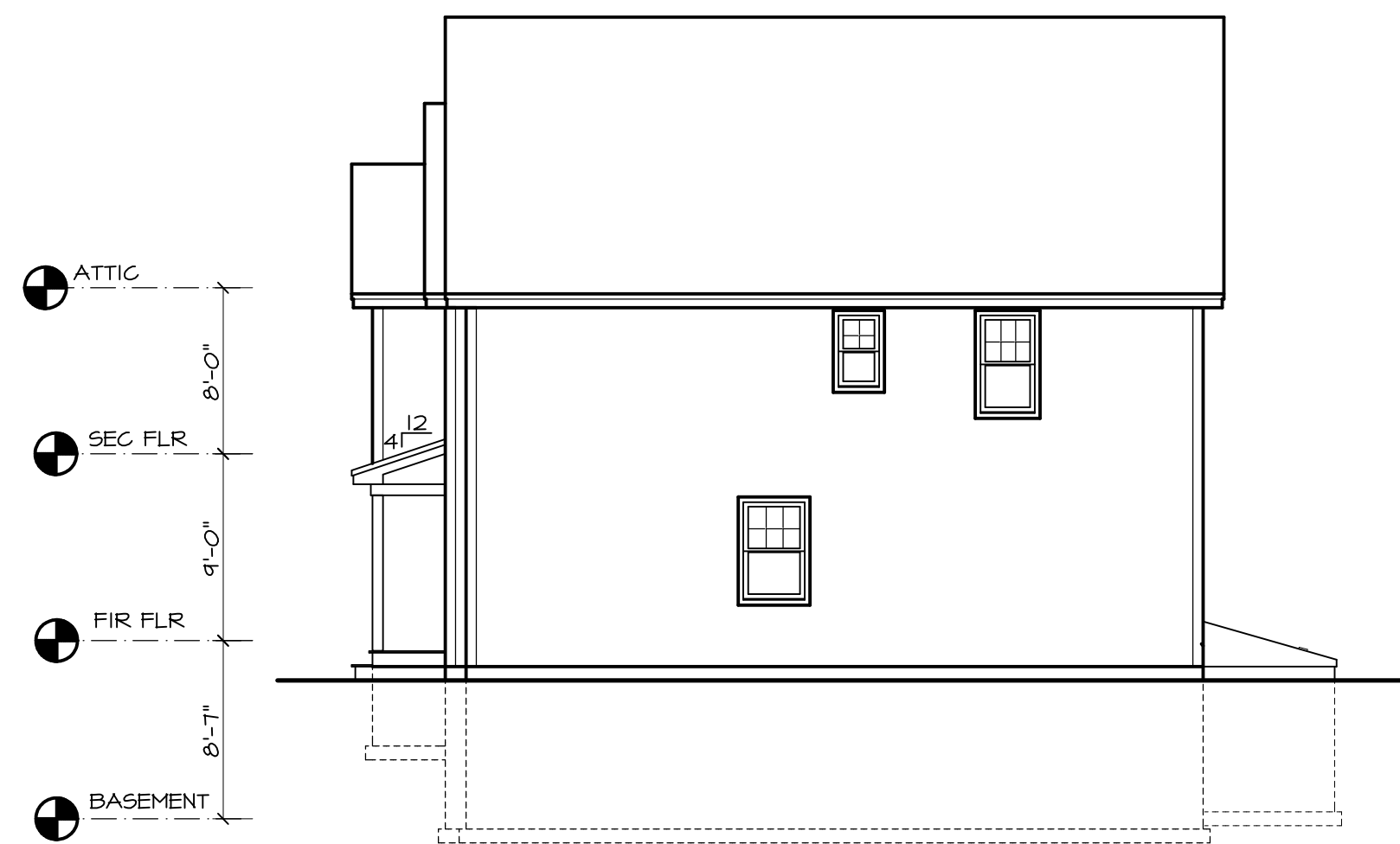
1. RSO TO BE DETERMINED BY WINDOW MANUFACTURER.
2. BEDROOM WINDOWS TO MEET EGRESS
3. IN ACCORDANCE WITH I.R.C.(2009)-R612.2, WHERE THE OPENING OF AN OPERABLE WINDOW IS MORE THAN 72" ABOVE THE EXT. FINISHED GRADE OR EXT. DECK BELOW, THE LOWEST PART OF THE CLEAR OPENING IS TO BE A MIN. OF 24" ABV. THE FIN. FLR.
4. WINDOWS ARE BASED ON ANDERSEN 200 SERIES TILT-WASH MODEL NUMBERS

DOOR SCHEDULE				
MARK	QTY	SIZE	RSO	NOTES
1		3'0 X 6'8		EXT. DOOR W/ SINGLE SDLT
2		2'8 X 6'8		FIRERATED DOOR
3		2'6 X 6'8		INTERIOR
4		2'4 X 6'8		INTERIOR
5		2'8 X 6'8		4-LITE
6		6'0 X 6'8		EXT. SLIDER DOOR
7		2'8 X 6'6		STEEL INSUL.
8		4'0 X 6'8		BIFOLD
9		5'0 X 6'8		BIFOLD
10		1'4 X 6'8		INTERIOR
11				

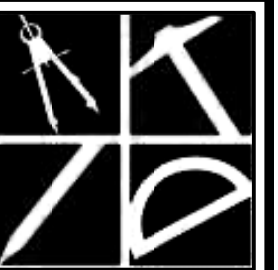
RSO TO BE DETERMINED BY DOOR MANUFACTURER.



2 LEFT SIDE ELEVATION  
A3 SCALE: 1/8" = 1'-0"



3 RIGHT SIDE ELEVATION  
A3 SCALE: 1/8" = 1'-0"



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Contractor to check & verify all dimensions & structural members before construction. All construction shall be in strict compliance with The State of New Hampshire or Massachusetts Building Codes, whichever applicable.

REVISIONS

NO.	DATE
1	4/16/19

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A3



## GENERAL NOTES

- |   |   |
|---|---|
| <p>A. 2X12 RIDGE BOARD</p> <p>B. 2X10 RAFTERS 16" O/C (UNLESS OTHERWISE NOTED) PLYWOOD SHEATHING, 15# BUILDING PAPER, &amp; 235# ASPHALT SHINGLES W ICE SHIELD AT RAFTER TAILS AND VALLEYS.</p> <p>C. 2X6 COLLAR TIES AT 32" O/C (TYPICAL)</p> <p>D. 2X8 CEILING JOISTS AT 16" O/C WITH R-30 FIBERGLASS BATT INSULATION (TYPICAL)</p> <p>E. METAL DRIP EDGE, 1X4 PINE BLOCKING (SUB-FASCIA) 1X8 PINE BOARD FASCIA, &amp; 3/8" EXTERIOR, AC PLYWOOD SOFFIT WITH 2" CONTINUOUS LOUVERED VENTS (TYPICAL)</p> <p>F. 2X6 STUDS 16" O/C, R-21 FIBERGLASS BATT INSULATION IN BETWEEN, 1/2" PLYWOOD SHEATHING &amp; EXTERIOR SIDING W "TYVEK" OR EQUAL (OPTIONAL) AND 1/2" GYP. BD. ON THE INTERIOR.</p> <p>G. 2-2X6 TOP PLATES AND 1-2X6 SHOE (BOTTOM PLATE)</p> <p>H. 2X12 FLOOR JOISTS 16" O/C (UNLESS OTHERWISE NOTED) WITH 3/4" T&amp;G SUBFLOOR (GLUED &amp; NAILED) R-30 FIBERGLASS BATT INSULATION AT FIRST FLOOR ONLY.</p> | <p>J. 8" CONCRETE FOUNDATION WALL WITH 1-2X6 PRESSURE TREATED SILL PLATE W SILL SEALER; ANCHOR BOLTS @ 4'-0" O.C. (TYPICAL)</p> <p>K. 4" CONCRETE SLAB FLOOR OVER (MIN. 6") COMPACTED GRAVEL</p> <p>L. 8" CONCRETE FROST WALL TO BE 48" MIN. BELOW FINISHED GRADE WITH 1-2X4 PRESSURE TREATED SILL PLATE W SILL SEALER; ANCHOR BOLTS @ 4'-0" O.C. (TYPICAL)</p> <p>M. 1'-4" X 8" CONTINUOUS CONCRETE FOOTING (TYPICAL)</p> <p>N. 4-2X12 BUILT-UP BEAM OVER 3 1/2" DIAM. STEEL LALLY COLUMN WITH TOP AND BOTTOM END PLATES, OVER 24"X24"X12" CONCRETE FOOTINGS.</p> <p>O. 1X3 STRAPPING AT 16" O/C &amp; 1/2" GYP. BD. (TYPICAL)</p> <p>P. 3-2X12 STAIR STRINGERS</p> <p>Q. CONTINUOUS RIDGE VENT</p> <p>R. 2X4 STUD WALL @ 16" O.C.</p> <p>S. HURRICANE CLIPS AND FRAMING ANCHORS AS REQ'D.</p> <p>T. 2" RIGID INSULATION INSIDE FACE OF CONCRETE WALL TO TOP OF SLAB</p> |
|---|---|

## DESIGN LOADS

LIVE LOAD AT LIVING SPACES: 40 PSF  
 LIVE LOAD AT SLEEPING SPACES: 30 PSF  
 GROUND SNOW LOAD: 50 PSF

FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALLS PARALLEL TO JOIST DIRECTION.

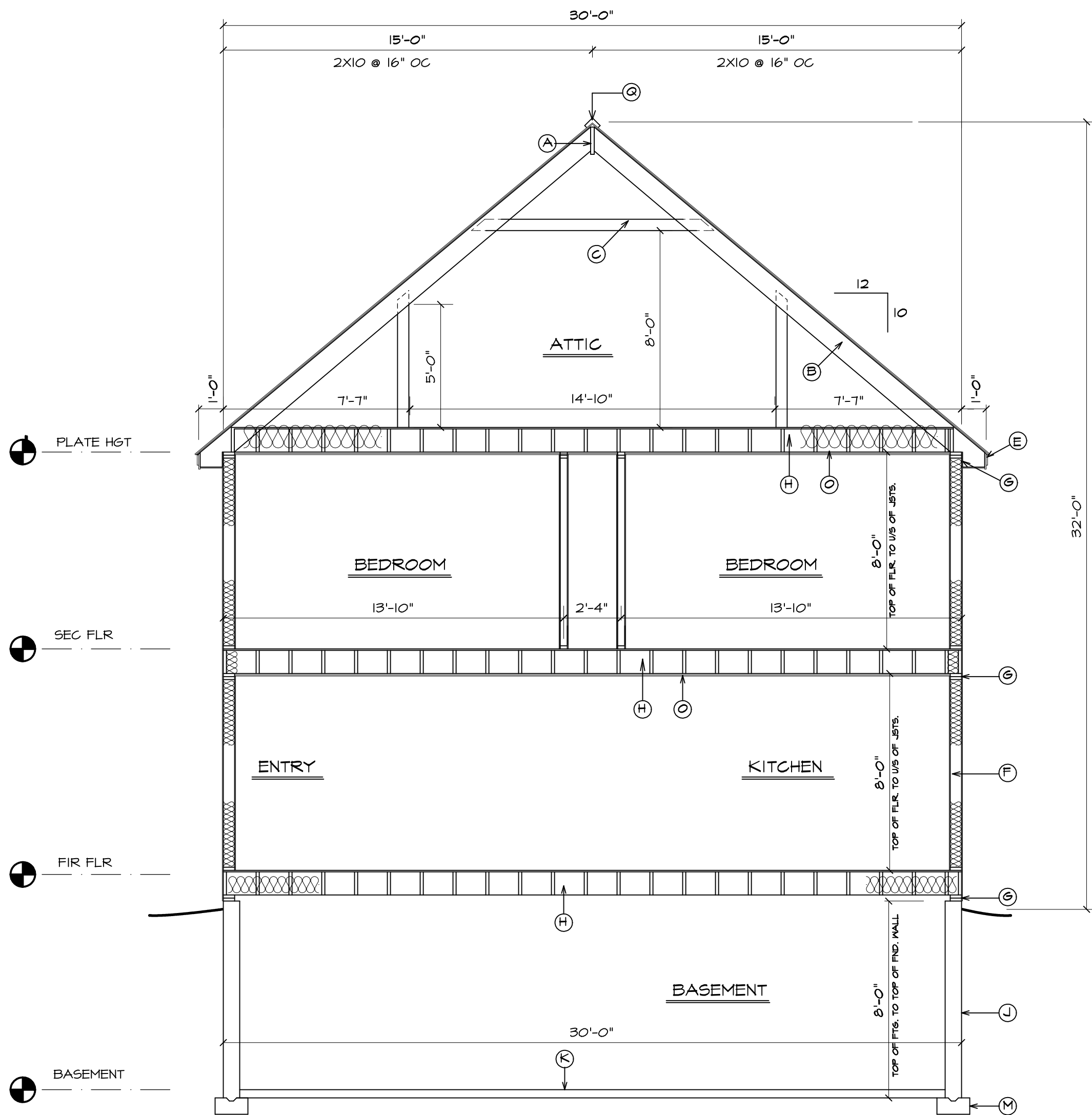
PROVIDE 1X4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0" O.C. MAXIMUM IN ALL FLOORS.

WHERE PREENGINEERED FLOOR OR ROOF TRUSSES ARE USED, TRUSS MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.

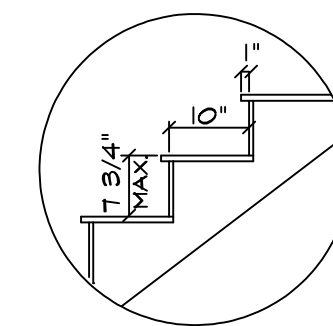
ALL LUMBER MUST BE NO. 2 OR BETTER, SPRUCE - PINE - FIR.

PROVIDE MOISTURE VAPOR RETARDERS IN ALL FRAMED WALLS, FLOORS AND ROOF/CEILINGS IN ACCORDANCE WITH I.R.C. SECTIONS R-506.2.3 AND R601.3

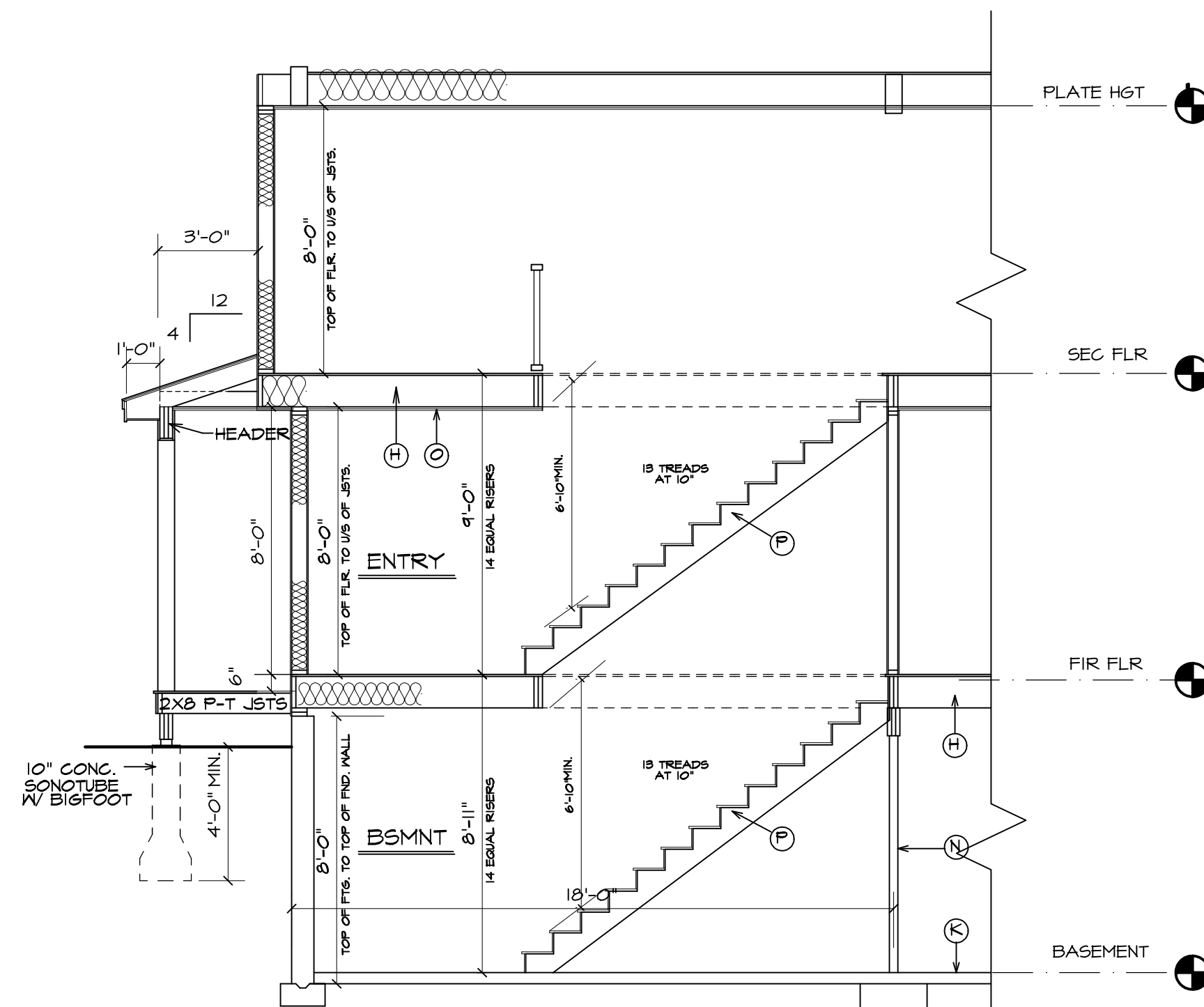
ATTIC ACCESS (MIN 22" X 30") LOCATION TO BE DETERMINED BY CONTRACTOR



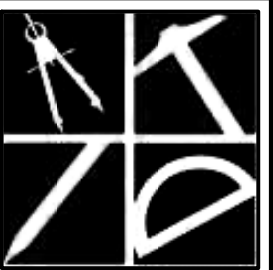
**A** TYP SECTION  
 A7 SCALE: 1/4" = 1'-0"



STAIR CODE  
 NOT TO SCALE



**B** PARTIAL STAIR SECTION  
 A7 SCALE: 1/4" = 1'-0"



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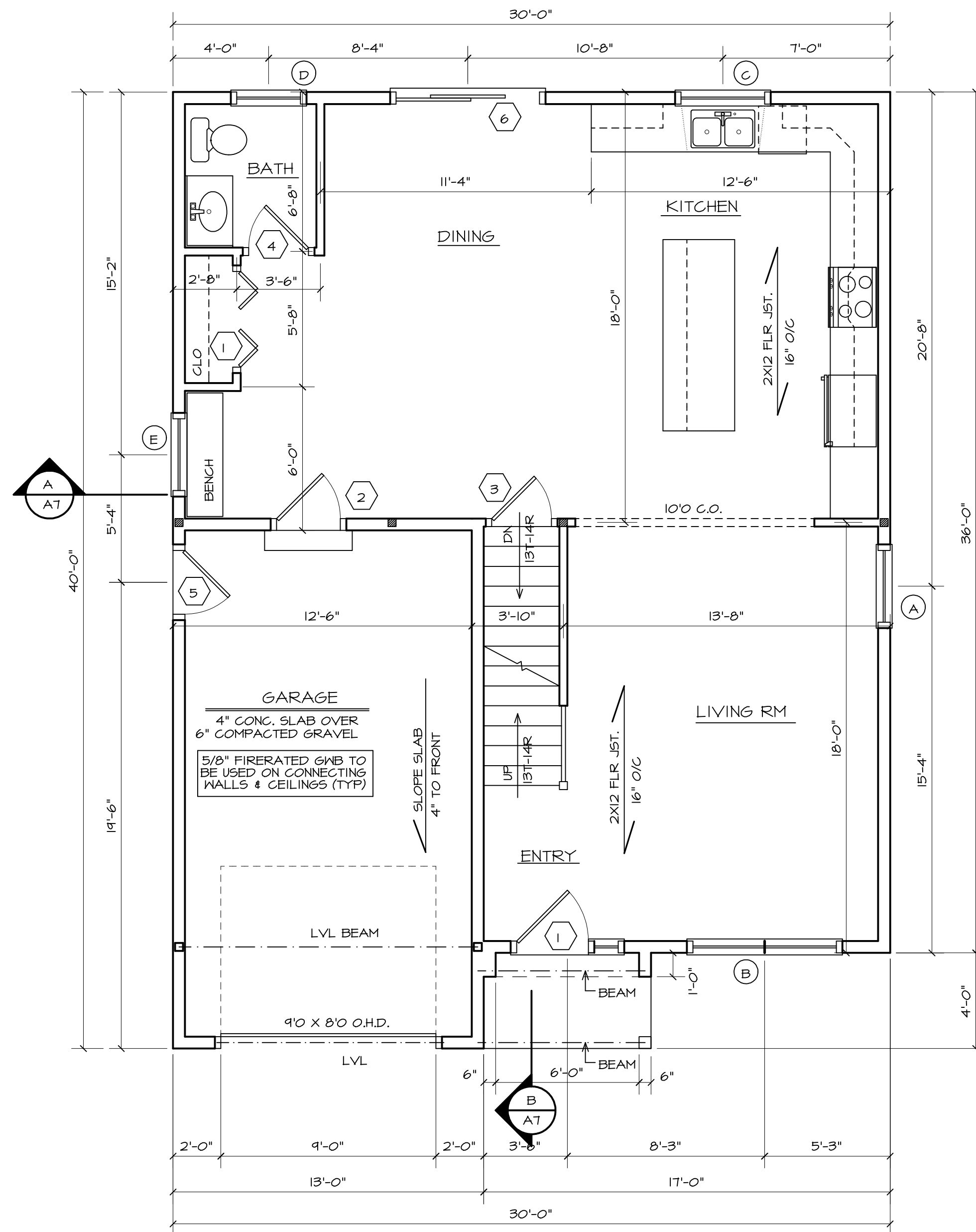
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### REVISIONS

1	4-16-14
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 MAR 2014  
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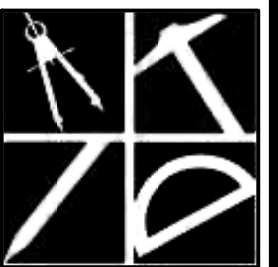
# A7



1 FIRST FLOOR PLAN  
A4 SCALE: 1/4" = 1'-0"

NOTE:  
1. PROVIDE HANDRAIL AT EACH STAIRWAY WITH 4 OR MORE RISERS

WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.3.3.



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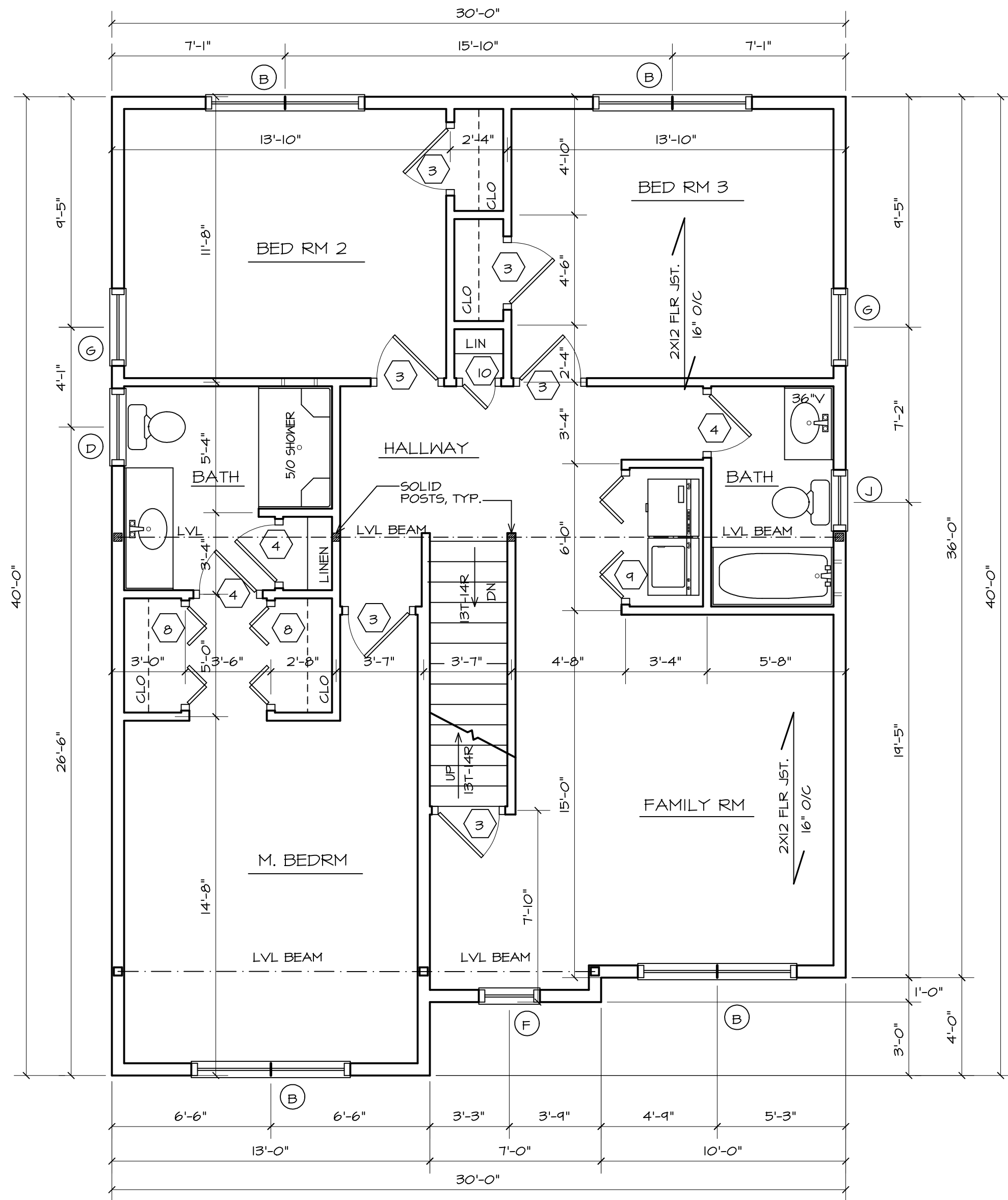
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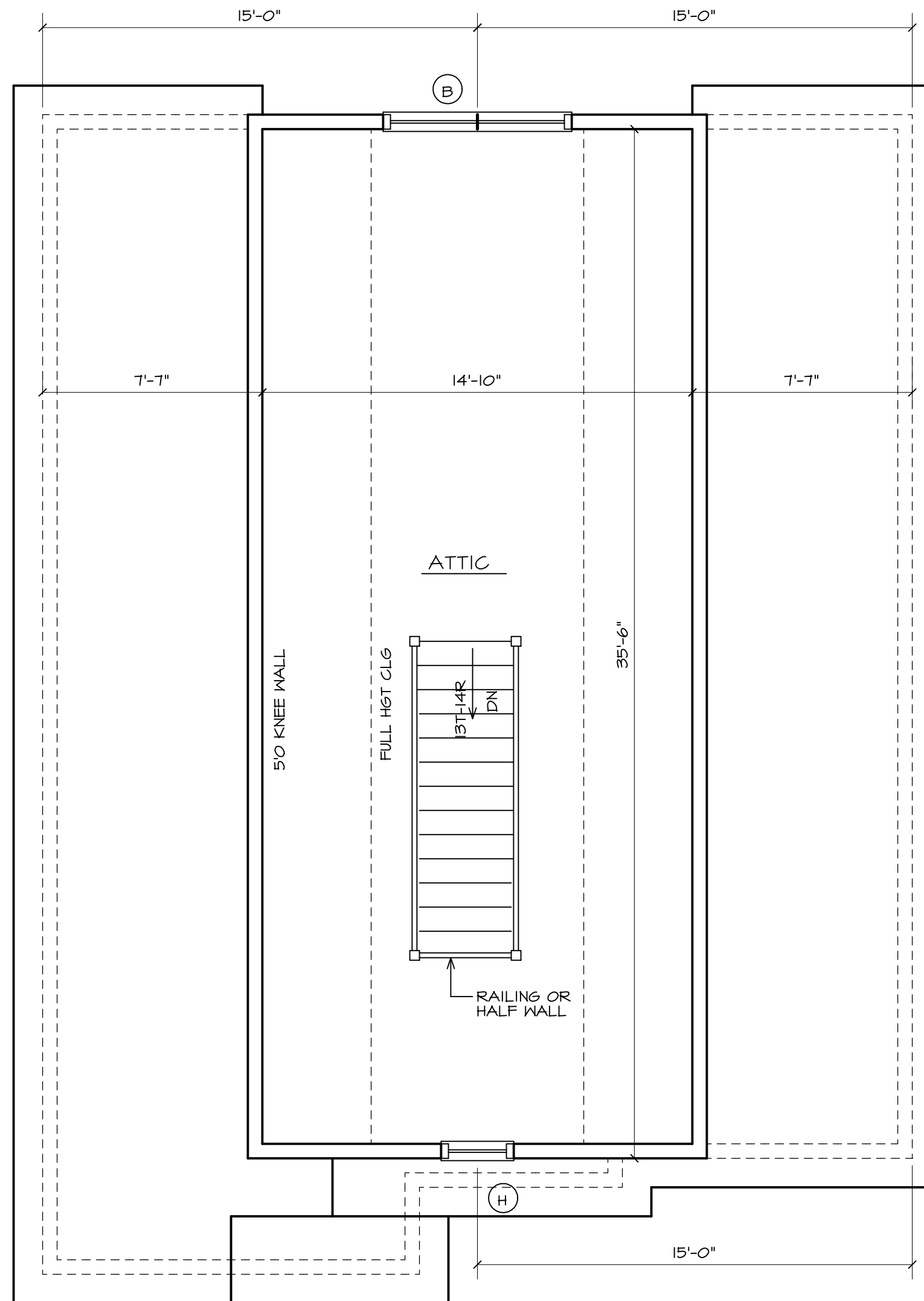
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A4



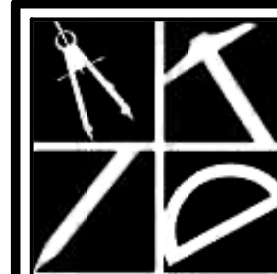
1 SECOND FLOOR PLAN  
A5 SCALE: 1/4" = 1'-0"

NOTE:  
1. PROVIDE HANDRAIL AT EACH STAIRWAY WITH 4 OR MORE RISERS



2 ATTIC PLAN  
A5 SCALE: 1/4" = 1'-0"

WIND BRACING NOTE: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE FIGURE R602.10.3.3.



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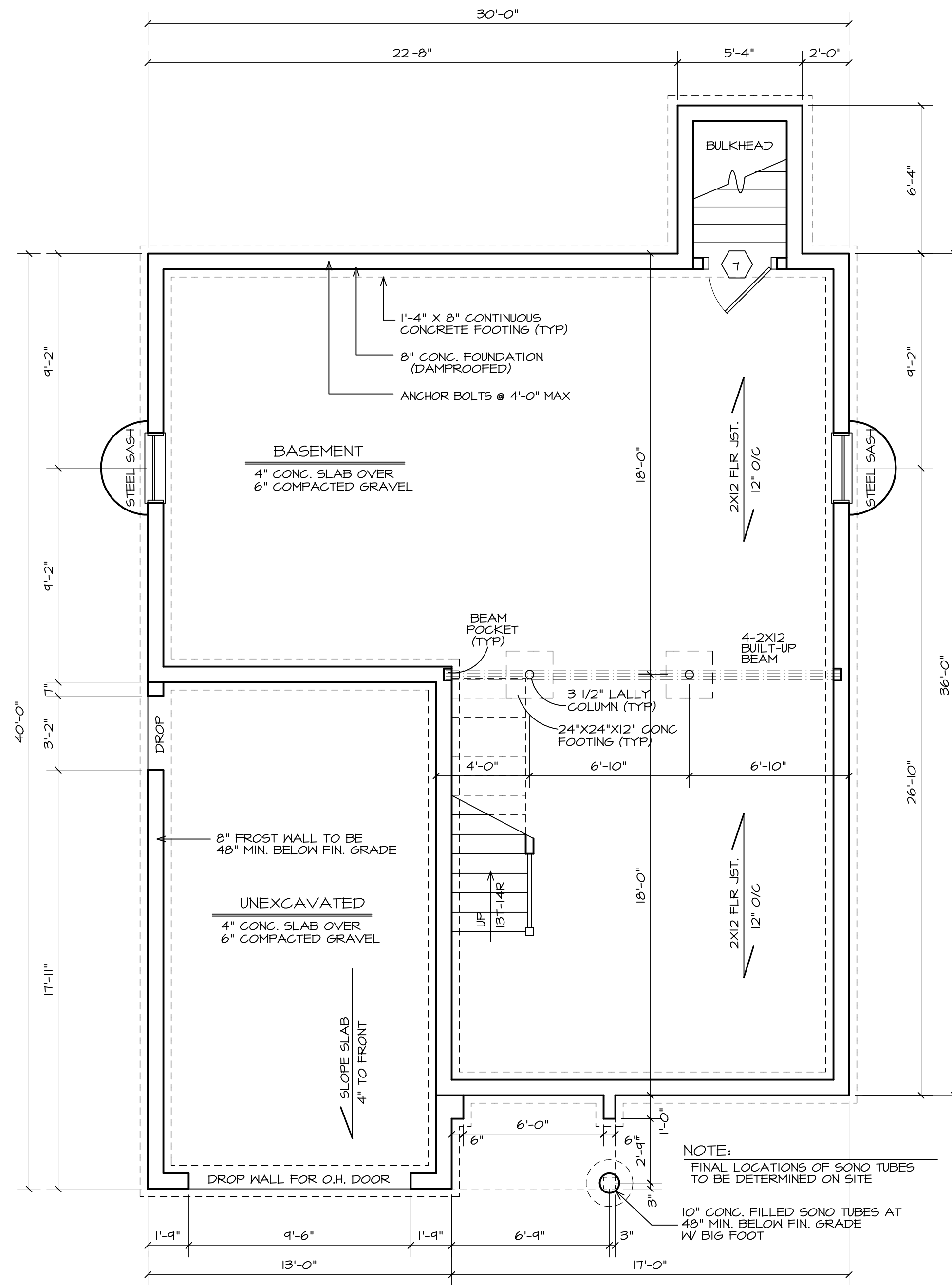
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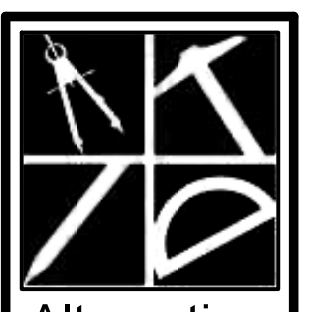
A5



1 FOUNDATION PLAN  
 A6 SCALE: 1/4" = 1'-0"

GENERAL NOTES

- CONC BULKHEAD SIZE AND LOCATION TO BE DETERMINED BY SITE CONDITIONS AND/OR CONTRACTOR
- WALKOUTS AS PER SITE CONDITIONS AND CONTRACTOR
- STEEL SASH WINDOW SIZES AND LOCATIONS TO BE DETERMINED BY CONTRACTOR



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**A6**

**NOTE: SEE DRAWING A2 FOR CONCRETE NOTES AND ADDITIONAL INFORMATION**

**FOUNDATIONS:**

- FOUNDATIONS CONSIST OF CONTINUOUS FOOTINGS ASSUMED TO BEAR ON COMPACTED STRUCTURAL FILL PLACED ON UNDISTURBED NATURAL SOIL HAVING AN ASSUMED ALLOWABLE BEARING PRESSURE OF 2,500 PSF (TO BE VERIFIED BY BUILDER). IF THE SOIL AT BEARING DEPTH IS DISTURBED OR THE ACTUAL ALLOWABLE BEARING PRESSURE IS LESS THAN 2,500 PSF, THEN A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE CONSULTED.
- UNLESS OTHERWISE NOTED, FOOTINGS SHALL BE CENTERED UNDER SUPPORTED MEMBERS.
- THE BOTTOM PERIMETER FOUNDATIONS SHALL BE DESIGN FROST DEPTH BELOW FINISHED GRADE.
- THE BOTTOM 3 INCHES OF FOOTING EXCAVATIONS SHALL BE FINISHED BY HAND SHOVEL.
- FINISH EXTERIOR GRADE SHALL BE AT LEAST 8" BELOW TOP OF FOUNDATION WALL.
- PLACE BACKFILL SIMULTANEOUSLY ON BOTH SIDES OF WALLS TO THE GRADES INDICATED.
- UNBRACED/UNBALANCED FOUNDATION WALLS: MAXIMUM UNBALANCED FILL: 24" WITHOUT DESIGN/ENGINEER INPUT/APPROVAL. (EXAMPLE GARAGE SLAB ON GRADE WHERE BACKFILL WILL BE MORE THAN 24" BELOW TOP OF SLAB) (SEE R404.1.2) (ENGINEER DESIGN REQUIRED WHEN >48")
- WE RECOMMEND THAT WALKOUT AND KNEEWALL STYLE BASEMENTS BE REVIEWED. (IE. WHENEVER PERIMETER FOUNDATION WALLS ARE NOT FULL HEIGHT). PROVIDE FORMWORK FOR ALL FOOTINGS, WALLS, AND PIERS. EARTH FORMED FOUNDATIONS ARE NOT ALLOWED.
- SUB-SOIL SHALL HAVE 3/4" MAXIMUM AGGREGATE WITHIN 12" OF SLAB ON GRADE
- ANCHOR BOLTS: 1/2" X 4" (MIN. 1" EMBEDMENT) @ 4' OC AND BETWEEN 6"-12" OF EACH END. (R403.1.6)
- DAMP PROOFING METHODS REQUIRED BELOW GRADE WHEN INTERIOR SPACE IS CREATED (PER R406)
- WATERPROOFING REQUIRED WHEN INTERIOR SPACE CREATED AND HIGH WATER TABLE OR OTHER CONDITIONS. (PER R406)

**CONCRETE:**

- CONCRETE SHALL BE A MIX DESIGNED FOR ULTIMATE STRENGTH IN ACCORDANCE WITH ACI 211.I TO ACHIEVE THE DESIRED COMPRESSIVE STRENGTH. STANDARD MINIMUM 3,000 PSI FOR FOOTINGS AND INTERIOR FLOOR, 3,500 PSI FOR WALLS AND GARAGE SLAB. (R402.2)
- CONCRETE SHALL NOT BE CAST IN WATER OR ON FROZEN GROUND. CONCRETE SHALL NOT BE EXPOSED TO WATER (I.E. RAIN) DURING SETTING PERIOD.
- CONCRETE FLOORS SHALL BE PLACED OVER MIN. 4" THICK POROUS LAYER (SUCH AS CRUSHED STONE) WITH DRAINAGE AND APPROVED VAPOR BARRIER. (R405.2.2)
- TOP OF FOUNDATION WALLS AND SLABS SHALL BE SMOOTH AND LEVEL.
- NO PIPE GREATER THAN 4" DIAMETER WITH APPROPRIATE SLEEVE SHALL PASS THROUGH CONCRETE WITHOUT ENGINEER APPROVAL. PIPE SLEEVES SHALL BE PROVIDED AND SPACED A MINIMUM THREE DIAMETERS APART.
- KEYS SHALL BE 2"x4", WITH BEVELED SIDES, UNLESS OTHERWISE NOTED
- CONSTRUCTION JOINTS SHALL BE FORMED WITH A KEY, AND REINFORCING SHALL BE LAPPED TO DEVELOP THE FULL TENSION CAPACITY OF THE (SMALLER) BAR.
- EXPOSED CONCRETE SHALL BE RUBBED IMMEDIATELY AFTER REMOVAL OF FORMS AND SNAP TIES REMOVED TO FLUSH.
- OPENINGS IN CONCRETE WALLS SHALL BE LOCATED, SIZED, AND REINFORCED (WITH THE EXCEPTION OF SMALL OPENINGS AND/OR SLEEVES OF A SIZE THAT WILL NOT DISPLACE OR INTERRUPT THE CONTINUITY OF THE REINFORCING) AS SHOWN ON RESPECTIVE DETAILS. ANY ALTERATIONS REQUIRE APPROVAL OF THE STRUCTURAL ENGINEER.
- DO NOT BACKFILL FOUNDATION WALLS UNTIL THE CONCRETE HAS BEEN IN PLACE FOR SEVEN (7) DAYS AND ATTAINED 75% OF ITS DESIGN COMPRESSIVE STRENGTH, AND FLOOR DIAPHRAGMS ARE IN PLACE. (R404.1.7)

**REINFORCING STEEL:**

- REINFORCING STEEL SHALL BE NEW STEEL BAR, FREE FROM LOOSE RUST AND SCALE, AND CONFORMING TO ASTM A615, GR 60.
- STANDARD MINIMUM FOUNDATION FOOTING: 16" WIDE X 8" HIGH WITH NO REINFORCING.
- STANDARD MINIMUM VERTICAL FOUNDATION WALL REINFORCING FOR COMMON CONDITIONS:

WALL HEIGHT	MAX. BACKFILL	WALL THICKNESS	HORIZONTAL REINFORCING (R404.1.2)	VERTICAL * REINFORCING
8'	7'	8"	1 #4 WITHIN 12" OF TOP AND 1 #4 AT MID-HEIGHT	#6 @ 36" OC *
9'	8'	10"	1 #4 WITHIN 12" OF TOP AND #4 BARS AT THIRD HEIGHTS	#6 @ 30" OC *
10'	9'	10"	1 #4 WITHIN 12" OF TOP AND #4 BARS AT THIRD HEIGHTS	#6 @ 30" OC **

TABLE ABOVE ASSUMES BEST SOIL CLASS GM, GP, SW AND SP.  
 \* AT 8' AND 9' WALLS, VERTICAL REINFORCING NOT REQUIRED IF 75% DESIGN COMPRESSIVE STRENGTH AND 7 DAYS BEFORE BACKFILL IS ATTAINED  
 \*\* AT 10' WALLS, ADDITIONAL ENGINEERING REQUIRED IF BACKFILLED BEFORE 75% DESIGN COMPRESSIVE STRENGTH IS ATTAINED

- FLATWORK: WELDED WIRE FABRIC (WWF 6"x6" X NO. 10) RECOMMENDED IN ALL FLATWORK. IT SHALL CONFORM TO ASTM A105. LAP TWO SQUARES AT JOINTS AND TIE AT 3'-0" O.C. FURNISH WWF IN FLAT SHEETS.
- PLAN CONTROL JOINTS AT 10'-12" OC BOTH DIRECTIONS. WWF MUST NOT CROSS CONTROL JOINTS.
- DECOUPLE FLATWORK FROM WALLS.
- WELDED WIRE FABRIC SHALL BE SUPPORTED ON CONCRETE BRICKS SP. AT 24" OC EACH DIRECTION ON GRADE. WELDED WIRE FABRIC SHALL BE SUPPORTED ON ELEVATED DECK WITH CONTINUOUS BOLSTERS LOCATED OVER JOISTS AND BEAMS.
- CLEAR CONCRETE COVER OVER BARS SHALL BE IN ACCORDANCE WITH ACI 318.
- ACCESSORIES SHALL HAVE UPTURNED LEGS AND BE PLASTIC-DIPPED AFTER FABRICATION. ACCESSORIES FOR REINFORCING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT ACI EDITION.
- LAP REINFORCING TO DEVELOP THE FULL TENSION CAPACITY OF THE (SMALLER) BAR.

- NO BARS SHALL BE CUT OR OMITTED IN THE FIELD BECAUSE OF SLEEVES, DUCT OPENINGS, OR RECESSES. BARS MAY BE MOVED ASIDE WITHOUT CHANGE IN LEVEL WITH THE PRIOR APPROVAL OF STRUCTURAL ENGINEER.
- ANCHOR BOLT MATERIAL SHALL CONFORM TO ASTM A36, A307, OR BETTER, AND MEET IRC 2009 CODE.

**WOOD:**

- WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL, ANSI/AF&PA, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION 2012 (NDS)" INCLUDING "DESIGN VALUES FOR WOOD CONSTRUCTION", NATIONAL FOREST PROTECTION ASSOCIATION.
- ALL LUMBER SHALL BE NEW AND STRAIGHT AS DESCRIBED IN "STANDARD GRADING RULES FOR NORTHEASTERN LUMBER" BY NORTHEASTERN LUMBER MANUFACTURERS ASSOCIATION.
- NEW WOOD FOR STRUCTURAL USE SHALL HAVE A MOISTURE CONTENT AS SPECIFIED IN THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
- WOOD CONSTRUCTION SHALL CONFORM TO IBC 2009 CHAPTER 23 AND SECTION 2308 "CONVENTIONAL LIGHT -FRAME CONSTRUCTION."
- FRAMING FOR WALLS AND JOISTS SHALL BE SPRUCE/PINE -FIR NO. 1/NO. 2 OR BETTER, UNLESS NOTED OTHERWISE, DIMENSIONAL LUMBER REPRESENTS NOMINAL SIZES.
- SHEATHING PANELS SHALL BE MARKED WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) TRADEMARK AND SHALL MEET THE LATEST US PRODUCT STANDARD PS 1 OR APA PRP -108 PERFORMANCE STANDARDS.
- ALL WALL SHEATHING PANELS SHALL BE NOMINAL 1/2" THICK APA RATED, UNLESS OTHERWISE NOTED, FASTEN WITH 8D COMMON NAIL SPACED AT 6" OC AT PANEL PERIMETER SUPPORTED EDGES AND 12" OC AT INTERIOR INTERMEDIATE SUPPORTS (FIELD). 1 3/8" MIN. FASTENER PENETRATION. LAY WALL WITH REQUIREMENTS OF IRC 604.
- ALL ROOF SHEATHING PANELS SHALL BE 5/8" THICK UNLESS NOTED OTHERWISE, C -D EXTERIOR GRADE, APA RATED EXPOSURE 1 MEETING DOC P51 OR P52. FASTEN WITH 8D COMMON NAILS SPACED AT 6" OC AT PANEL PERIMETER SUPPORTED EDGES AND 6" OC AT INTERIOR INTERMEDIATE SUPPORTS (FIELD). 1 3/8" MIN. FASTENER PENETRATION. LAY ROOF SHEATHING WITH LONG DIMENSION PERPENDICULAR TO SUPPORT MEMBERS.
- WOOD TO STEEL AND WOOD TO WOOD BOLTED CONNECTORS SHALL BE MADE WITH ASTM A307 BOLTS WITH FLAT WASHERS. BOLT HOLES IN WOOD SHALL BE 1/32" LARGER THAN THE BOLT. WOOD NAILERS SHALL BE FASTENED WITH 3/8" DIA. BOLTS STAGGERED AT 20" OC UNLESS OTHERWISE NOTED.
- FASTENING SCHEDULE (SEE ALSO R602.3(1)):
  - PLATE TO STUD, DIRECT: 2 - 16D
  - STUD TO PLATE, TOENAIL: 4 - 8D
- WOOD IN CONTACT WITH SOIL, MOISTURE, WEATHER, CONCRETE, OR MASONRY SHALL BE PRESSURE TREATED SOUTHERN PINE NO. 2, OR BETTER AND APPROVED FOR THE APPLICATION.
- BRACING: THE PERMANENT LATERAL BRACING SYSTEM INCLUDES PLYWOOD, WALL AND ROOF SHEATHING WITH FASTENING AND LAYOUT AS DEFINED BY: SECTION 602. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AS REQUIRED TO LATERALLY SUPPORT THE STRUCTURE DURING CONSTRUCTION.
- ENGINEERED LUMBER (LVL, ETC.) SHALL MATCH MANUFACTURER AND SERIES LISTED OR APPROVED EQUIVALENT. PROVIDE LATERAL SUPPORT AT ALL BEARING POINTS AND ALONG COMPRESSION EDGES AT INTERVALS OF 24" OC, OR CLOSER.
- MINIMUM SECTION WIDTH = 1-3/4", 3-1/2", 5-1/4" AND 7" MEMBERS MAY BE COMBINATIONS OF 1-3/4" MEMBERS. FOLLOW MANUFACTURER'S GUIDELINES FOR MULTIPLE MEMBER CONNECTIONS AND FOR SIDE LOADED BEAMS.
- WOOD CONSTRUCTION CONNECTORS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE CO., INC., OR APPROVED EQUAL, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, INCLUDING FASTENERS.
- ALL FLUSH FRAMING TO HAVE APPROPRIATELY SIZED METAL JOIST HANGERS.
- LATERAL RESTRAINT REQUIRED AT ENDS OF FLOOR FRAMING SOLID BLOCK OF SAME MATERIAL (R502.7)
- BRIDGING OR CONT. 1X3 BRACE NAILED TO UNDERSIDE OF FLOOR FRAMING REQUIRED AT 8' INTERVALS (R502.7.1)
- HEADERS: DEFAULT (MAX. 48" SPAN UNLESS POINT LOAD FROM ABOVE OR LATERAL BRACING REQUIREMENTS. SEE R502.5) :
  - INTERIOR: (2) 2X8
  - EXTERIOR: (2) 2X10 (WITH 2-1/2" RIGID FOAM INSULATION).
 HEADERS: DEFAULT (MAX. 12" SPAN) 3-2X12 FOR 2 FLOORS CEILING AND ROOF
- WIND BRACING: PROVIDE DIAGONAL WIND BRACING AT ALL OUTSIDE CORNERS. AT CORNERS WITH LESS THAN 48" OF PANEL WALL, USE ALTERNATE BRACING PANELS IN ACCORDANCE WITH R602.10.3.3. (GENERAL REFERENCE: R602)
- RAFTER/CEILING JOIST HEEL CONNECTIONS (VAULTED CLGS @ 1/3) TABLE R802.5.1(9)

**PRE -ENGINEERED WOOD TRUSSES:**

- ALL PRE-ENGINEERED WOOD TRUSSES SHALL CONFORM TO ANSI/TPII -2002 "NATIONAL DESIGN STANDARDS FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION"
- THE MANUFACTURER OF THE PRE -ENGINEERED TRUSSES SHALL BE A TRUSS PLATE INSTITUTE (TPI) CERTIFIED PLANT. PROOF OF CERTIFICATION SHALL BE SUBMITTED TO THE DESIGNER/ENGINEER PRIOR TO FABRICATION OF THE WOOD TRUSSES.
- THE CONTRACTOR SHALL ENSURE PROPER HANDLING, BRACING, AND LATERAL RESTRAINT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL TEMPORARY AND PERMANENT TRUSS BRACING (INDIVIDUAL AND OVERALL) SHALL BE DESIGNED BY THE TRUSS MANUFACTURER AND INSTALLED BY THE CONTRACTOR. ALL PERMANENT TRUSS BRACING/LATERAL RESTRAINT REQUIREMENTS AND LOCATIONS SHALL BE DETAILED AND SUBMITTED PRIOR TO CONSTRUCTION TO THE ENGINEER OF RECORD BY THE TRUSS MANUFACTURER. ALTERNATIVELY, THE TRUSS DESIGNER MAY DESIGN ALL TRUSSES SUCH THAT NO PERMANENT LATERAL RESTRAINT IS REQUIRED.

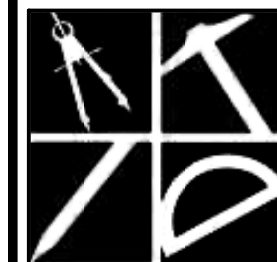
- ALL ROOF TRUSSES SHALL BE DESIGN FOR THE FOLLOWING UNIFORM LOADS WITH 5/12"OR 3/12"MAX BEARING. COORDINATE TRUSS BEARING WITH BEARING WALL FRAMING WIDTH:
  - SNOW LIVE LOAD: GROUND SNOW LOAD X 0.7= .XX PSF
  - BOTTOM CHORD LIVE LOAD (ATTIC): 20 PSF
  - TOP CHORD DEAD LOAD: 10 PSF
  - BOTTOM CHORD DEAD LOAD: 10 PSF
- TRUSS SHALL BE DESIGNED FOR AN UNBALANCED UNIFORM SNOW LOADING AS WELL AS ANY DRIFTED VALLEY SNOW LOADING CONDITIONS, AND WIND LOADING AS SPECIFIED IN THE PROJECT BUILDING CODE.
- PRE-ENGINEERED ROOF TRUSSES TO BE APPROVED BY THE STRUCTURAL ENGINEER. TRUSS SHOP DRAWINGS SHALL BE DESIGNED, STAMPED, AND SUBMITTED BY A LICENSED PROFESSIONAL ENGINEER QUALIFIED TO PERFORM THE WORK IN THE STATE WHERE THE PROJECT IS LOCATED. SUBMITTAL SHALL INCLUDE ALL LOADING COMBINATIONS, A FULL REPORT FOR EACH TRUSS, AND TEMPORARY AND PERMANENT LATERAL TRUSS RESTRAINT LAYOUT AND DETAILS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL VENTS, STACKS, RISERS, DRAINS, ETC. BEFORE TRUSSES ARE FIXED IN PLACE.
- ALL TRUSSES SHALL HAVE HURRICANE CLIPS INSTALLED AT EACH END OF EACH TRUSS IN ORDER TO PREVENT LIFT.
- ALL TRUSS TO TRUSS CONNECTION DESIGNS ARE RESPONSIBILITY OF THE TRUSS MANUFACTURER.
- ALL TEMPORARY AND PERMANENT TRUSS BRACING (INDIVIDUAL AND OVERALL) IS THE RESPONSIBILITY OF THE TRUSS DESIGNER. BRACING AND LATERAL TRUSS RESTRAINT (INCLUDING DETAILS) SHALL BE SHOWN ON TRUSS DESIGN DRAWINGS AND TRUSS ERECTION DRAWINGS.

**MASONRY:**

- CONCRETE MASONRY UNITS (CMU) SHALL BE NOMINAL THICKNESS UNLESS NOTED OTHERWISE.
- MASONRY CONSTRUCTION SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE 5/TMS 402)
- SPECIFIED MASONRY COMPRESSIVE STRENGTH, F'M = 1500PSI.
- HOLLOW LOAD BEARING CMU SHALL HAVE THE FOLLOWING PROPERTIES: ASTM C90, TYPE I, GRADE N-1 (NORMAL WEIGHT) WITH A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI ACCORDING TO ASTM C140, OVEN DRY WEIGHT OVER 125PCF AND MAXIMUM MOISTURE ABSORPTION OF 13PCF.
- MORTAR SHALL BE ASTM C270, TYPE S WITH 28 DAY COMPRESSIVE STRENGTH OF 2000PSI. MIX MORTAR MATERIALS TO PRODUCE MORTAR CUBES HAVING A 2000PSI COMPRESSIVE STRENGTH WHEN TESTED IN ACCORDANCE WITH COMPRESSIVE STRENGTH TEST ASTM C780.
- GROUT SHALL BE ASTM C476, FINE GROUT WITH MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2000PSI.
- VERTICAL AND HORIZONTAL DEFORMED REINFORCEMENT SHALL BE ASTM A615 GR 60 AND HORIZONTAL JOINT REINFORCEMENT SHALL BE ASTM A82, GALVANIZED ACCORDING TO ASTM A641 CLASS 1 AS SPECIFIED.
- PRISM TESTS ACCORDING TO ASTM E446 ARE REQUIRED PRIOR TO WORK.
- GROUT CMU SOLID AT EXPANSION ANCHOR LOCATIONS.
- CORES AND BOND BEAMS WITH REINFORCING SHALL BE FILLED SOLIDLY WITH GROUT. FILLING SUCH CORES AND BOND BEAMS WITH MORTAR IS STRICTLY PROHIBITED. IN ADDITION, CARE SHALL BE EXERCISED IN KEEPING CORES FREE FROM MORTAR DROPPINGS.
- MINIMUM REINFORCING REQUIREMENTS FOR REINFORCED CMU WALLS SHALL CONFORM TO THE SCHEDULE SHOWN ON THE CONTRACT DRAWINGS AND THE APPLICABLE BUILDING CODE REQUIREMENTS.
- GROUT SHALL BE PLACED USING LOW OR HIGH LIFT GROUTING PROCEDURES CONFORMING TO ACI/ASCE. TERMINATE GROUT POURS 1-1/2" BELOW TOP COURSE OF PLACEMENT. REINFORCING SHALL BE SPLICED A MINIMUM OF 40 BAR DIAMETERS.
- VERTICAL REINFORCING SHALL BE SECURELY HELD IN PROPER ALIGNMENT AND POSITION DURING GROUTING OPERATIONS BY USING "REBAR POSITIONERS," AS MANUFACTURED BY WIRE BOND OR APPROVED EQUIVALENT. THE PRODUCT, IN ADDITION, SHALL ALLOW FOR GUIDING THE SPLICED REINFORCING DROPPED FROM THE TOP OF THE LIFT.
- MASONRY SHALL BE BRACED DURING CONSTRUCTION. BRACE SPACING SHALL NOT EXCEED TEN TIMES THE WALL THICKNESS BUT NOT LESS THAN THE PROCEDURES LISTED UNDER NCMA-TEK 12
- PROVIDE FULL HEIGHT VERTICAL REINFORCEMENT AT EACH SIDE OF CONTROL JOINTS, WINDOWS, DOORS, AND WALL OPENINGS, AT ALL ENDS OF WALLS AND CORNERS. REINFORCING SHALL BE GROUTED SOLID AND MATCH THE DIAMETER OF THE TYPICAL WALL REINFORCING.

**FIRE RESISTANT CONSTRUCTION**

- FOLLOW SECTION 302. A FEW COMMON CRITICAL LOCATIONS FOLLOW:
  - GARAGE/RESIDENCE OR GARAGE/ATTIC SEPARATION 5/8" TYPE X GYPSUM DRYWALL AT GARAGE SIDE WHEN ADJACENT TO LIVING SPACE. 5/8" TYPE X DRYWALL REQUIRED AT CEILING WHEN LIVING SPACE ABOVE. (TABLE R302.6)
  - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS REQUIRES MIN. " GYPSUM (R302.7)
  - FIREBLOCKING IS REQUIRED TO ISOLATE EACH FLOOR LEVEL. 2X BLOCKING AND " GYPSUM AND FIBERGLASS/MINERAL WOOL IF SECURE ARE ALL ACCEPTABLE (R302.11.1)
- DUPLEX/2 FAMILY STANDARD SEPARATION IS 5/8" TYPE X BOTH SIDES. (R302.3)



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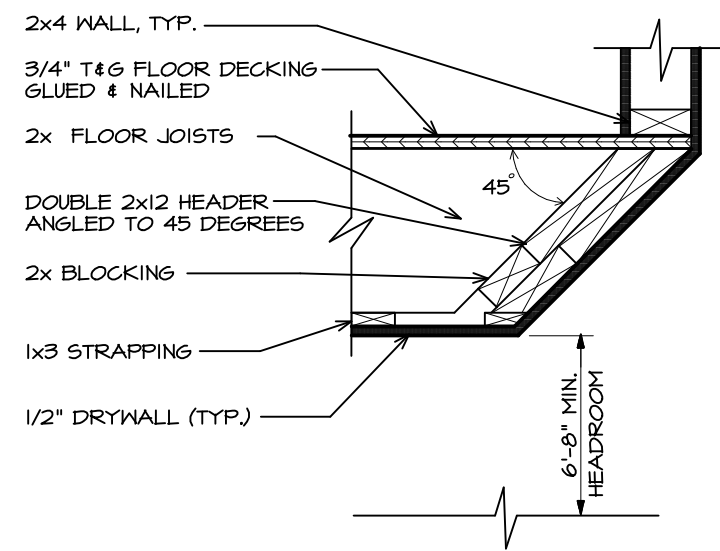
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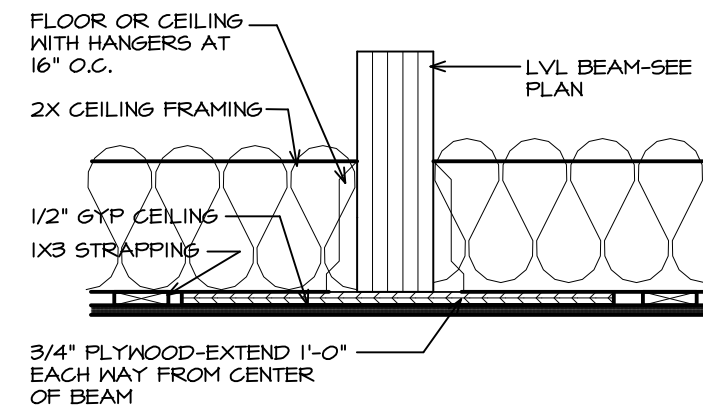
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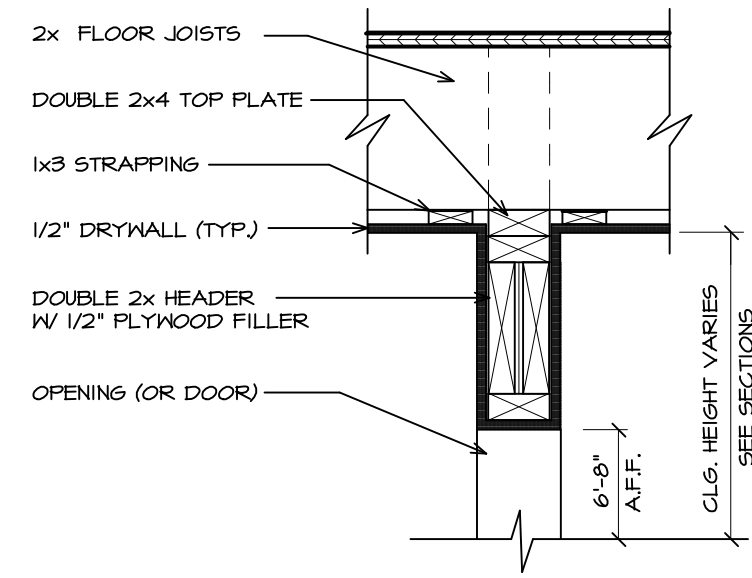
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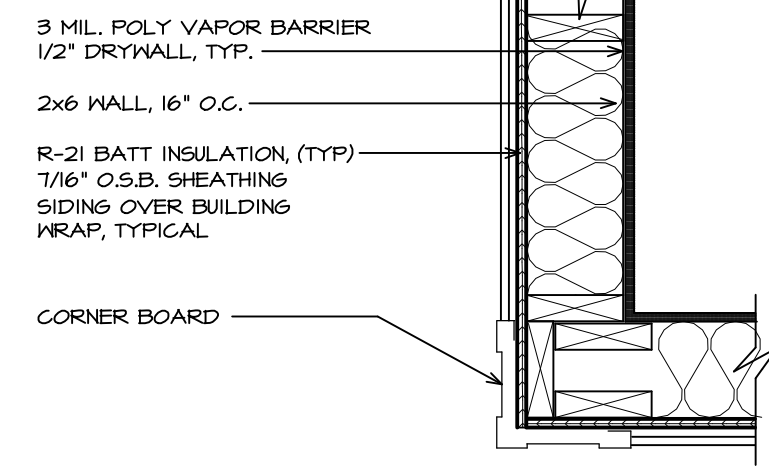
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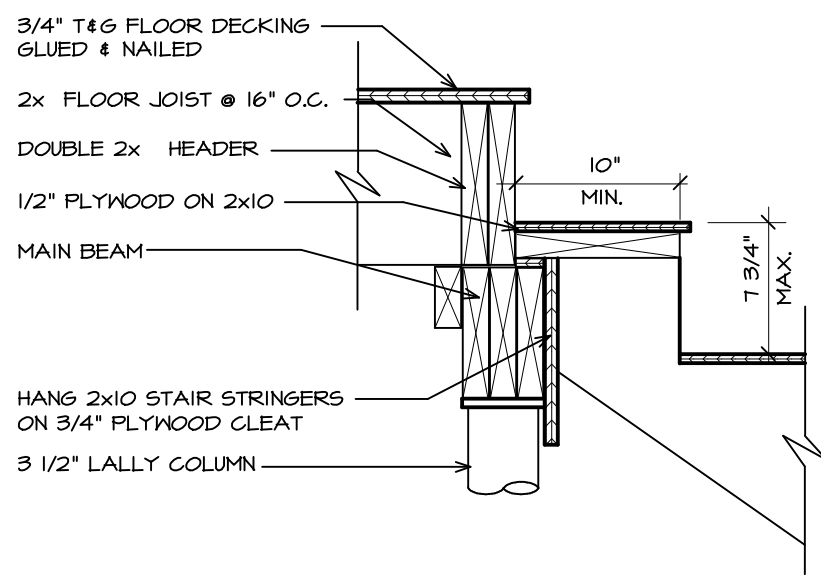
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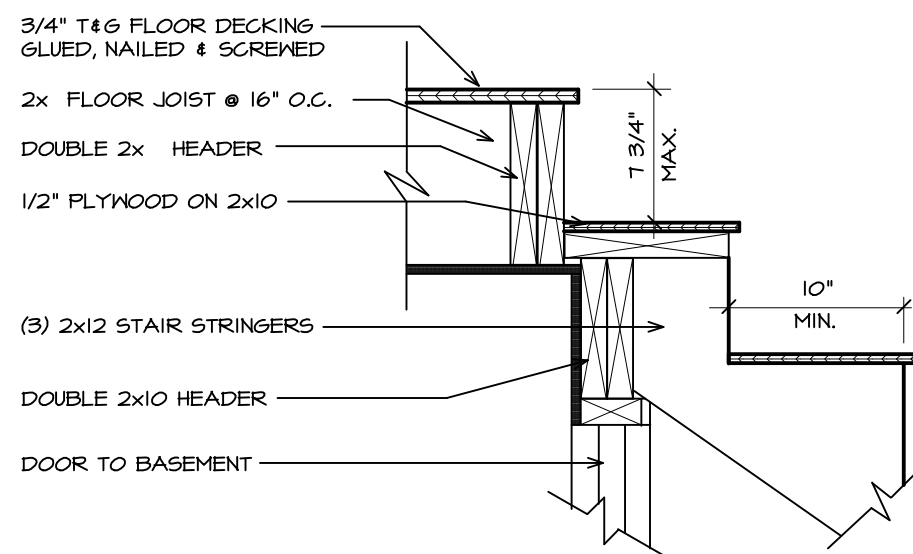
3 INTERIOR HEADER DTL.  
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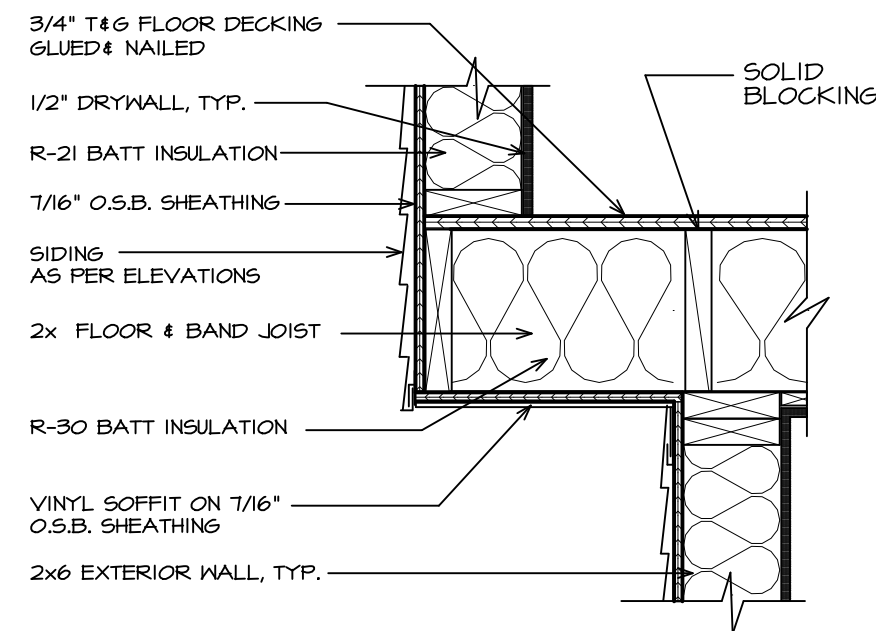
4 CORNER DETAIL  
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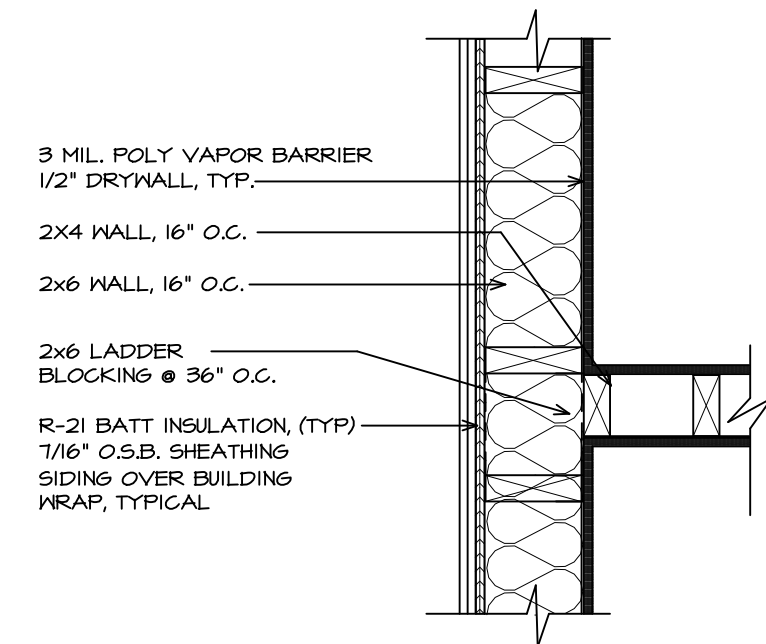
5 STAIRWELL BEAM  
SCALE: 1" = 1'-0"



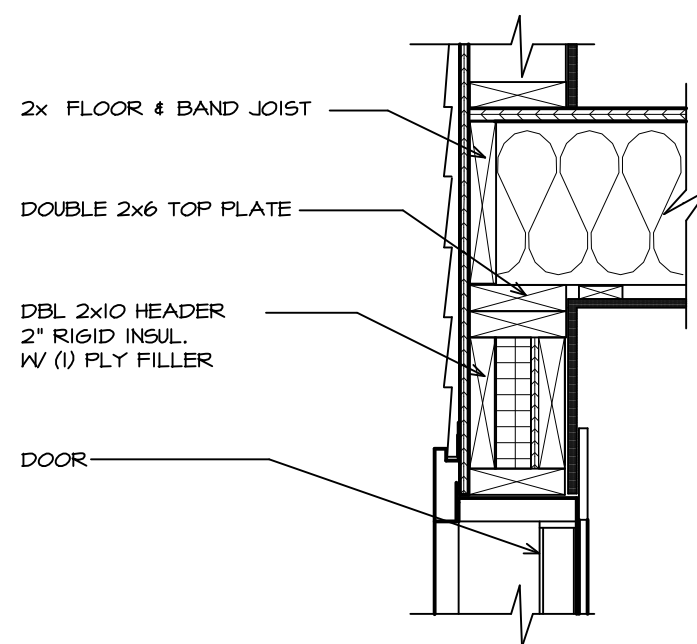
6 STAIR OVER HEADER  
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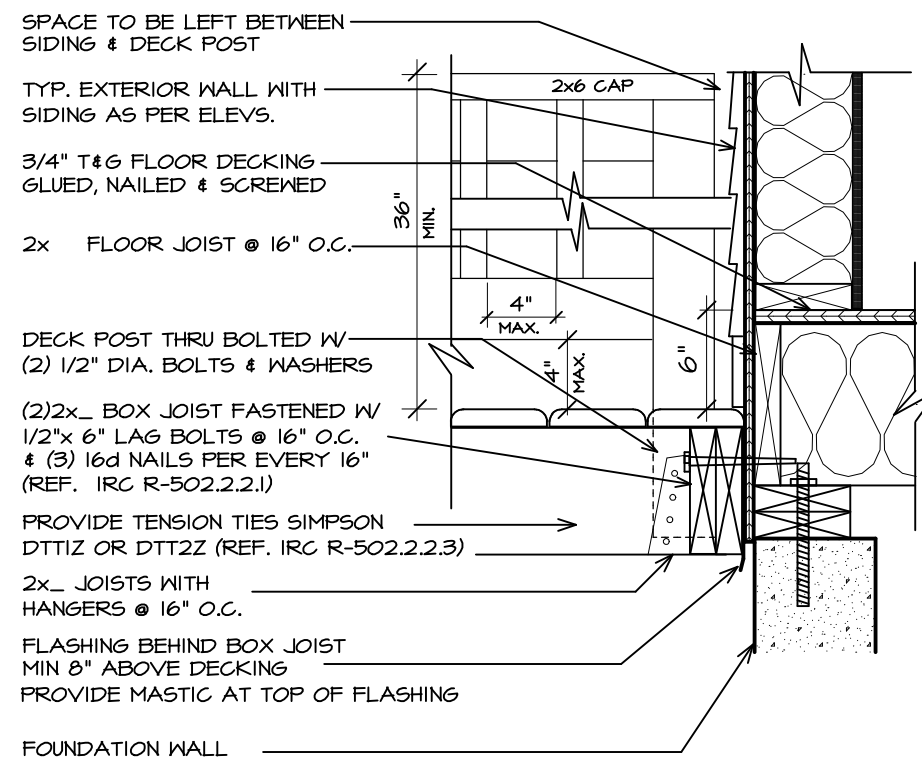
7 CANTILEVER DETAIL  
SCALE: 1" = 1'-0"



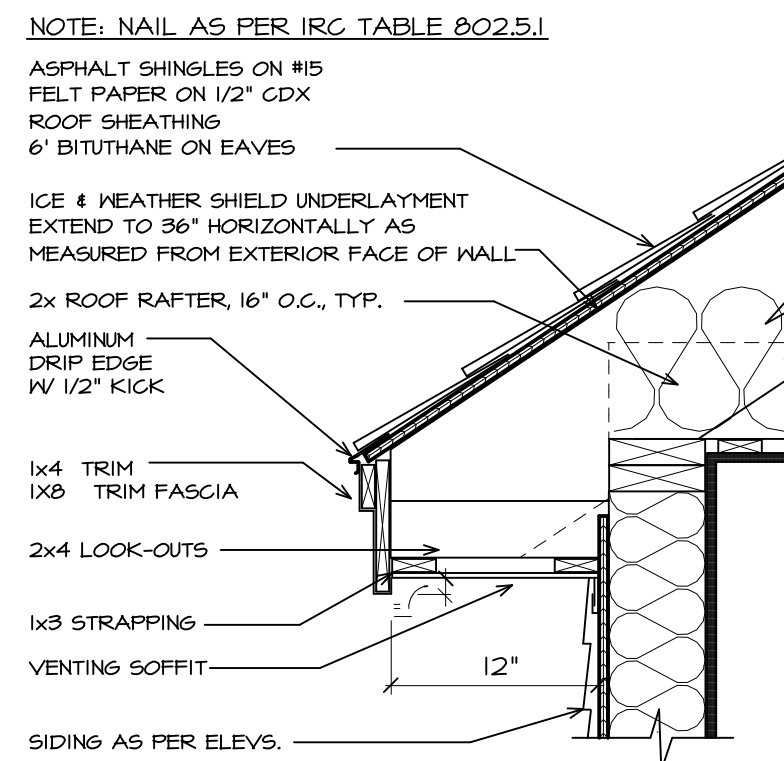
8 INT. WALL TO EXT. WALL  
SCALE: 1" = 1'-0"



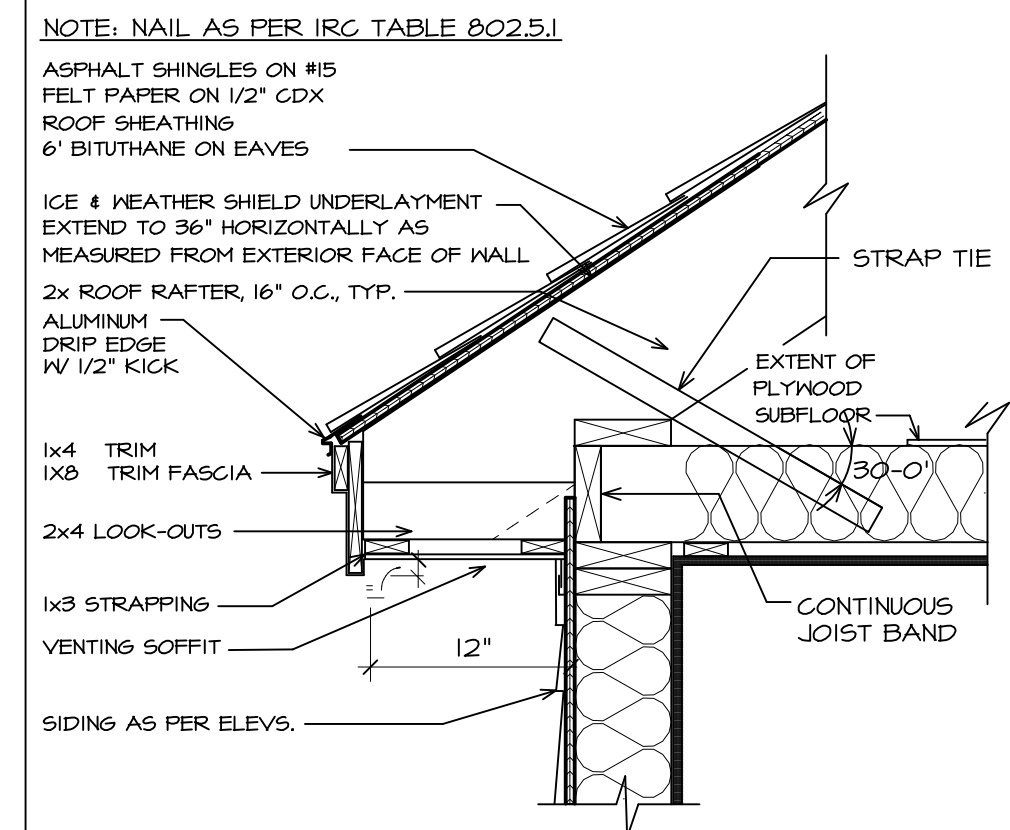
9 EXT. DOOR HEADER DTL  
SCALE: 1" = 1'-0"



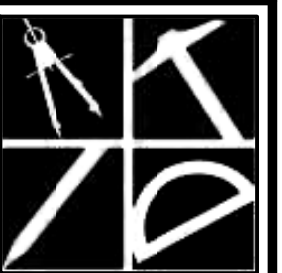
10 DECK TO HOUSE DETAIL  
SCALE: 1" = 1'-0"



11 SOFFIT DETAIL (LOW EAVE)  
SCALE: 1" = 1'-0"



12 SOFFIT DETAIL (HIGH EAVE)  
SCALE: 1" = 1'-0"



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Contractor to check & verify all  
dimensions & structural members  
before construction.  
All construction shall be in strict  
compliance with The State of  
New Hampshire or Massachusetts  
Building Codes, whichever applicable.

REVISIONS

19-048  
MAR 2019  
SHEET 8 OF 8

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