

C0960-006
February 6, 2020

Mr. Dexter Legg, Chair
City of Portsmouth Planning Board
1 Junkins Avenue
Portsmouth, New Hampshire 03801

**Re: Request for Preliminary Conceptual Consultation & Design Review Phases
Proposed Multi-Family Development, 105 Bartlett Street, Portsmouth, NH**

Dear Chairman Legg:

On behalf of Iron Horse Properties, LLC, we are pleased to submit the following information to support a request for a Preliminary Conceptual Consultation and a request for Design Review with the Planning Board for the above referenced project:

- Design Review Site Plan Set dated February 6, 2020
- Subdivision Exhibit dated December 18, 2020

The proposed project consists of constructing two (2) multi-family apartment buildings with basement level parking, one (1) mixed used building with first floor office and amenity space, and upper story apartments. The project will include a total of 174 dwelling units. The project will include associated site improvements that consist of a private road with cul-de-sac, parking, utilities, stormwater management, landscaping and lighting. The project will also include community space along the North Mill Pond. The land from North Mill Pond's mean high water (MHW) line to the 50ft wetland buffer will be designated as community space for the City's North Mill Pond Trail project. In addition, the project will construct a greenway park between the proposed buildings and North Mill Pond trail.

As per Section 2.4.2.1 of the Site Plan Regulations, the proposed project is required to meet with the Planning Board for Preliminary Conceptual Consultation Phase. Thus, the applicant respectfully requests to be placed on the February 20, 2020 Planning Board meeting agenda for the Preliminary Conceptual Consultation Phase. In addition, the applicant is seeking to meet with the Planning Board for Design Review Phase. As such, the applicant also respectfully requests a vote from the Planning Board at the February 20, 2020 meeting to accept a request for Design Review Phase so that public hearing can be scheduled for the March 19, 2020 Planning Board meeting. If you have any questions or need any additional information, please contact Patrick Crimmins by phone at (603) 433-8818 or by email at pmcrimmins@tighebond.com.

Sincerely,
TIGHE & BOND, INC.



Patrick M. Crimmins, PE
Senior Project Manager



Neil A. Hansen, PE
Project Engineer

Cc: Clipper Traders, LLC
Iron Horse Properties, LLC
Portsmouth Lumber & Hardware, LLC



PROPOSED MULTI-FAMILY DEVELOPMENT

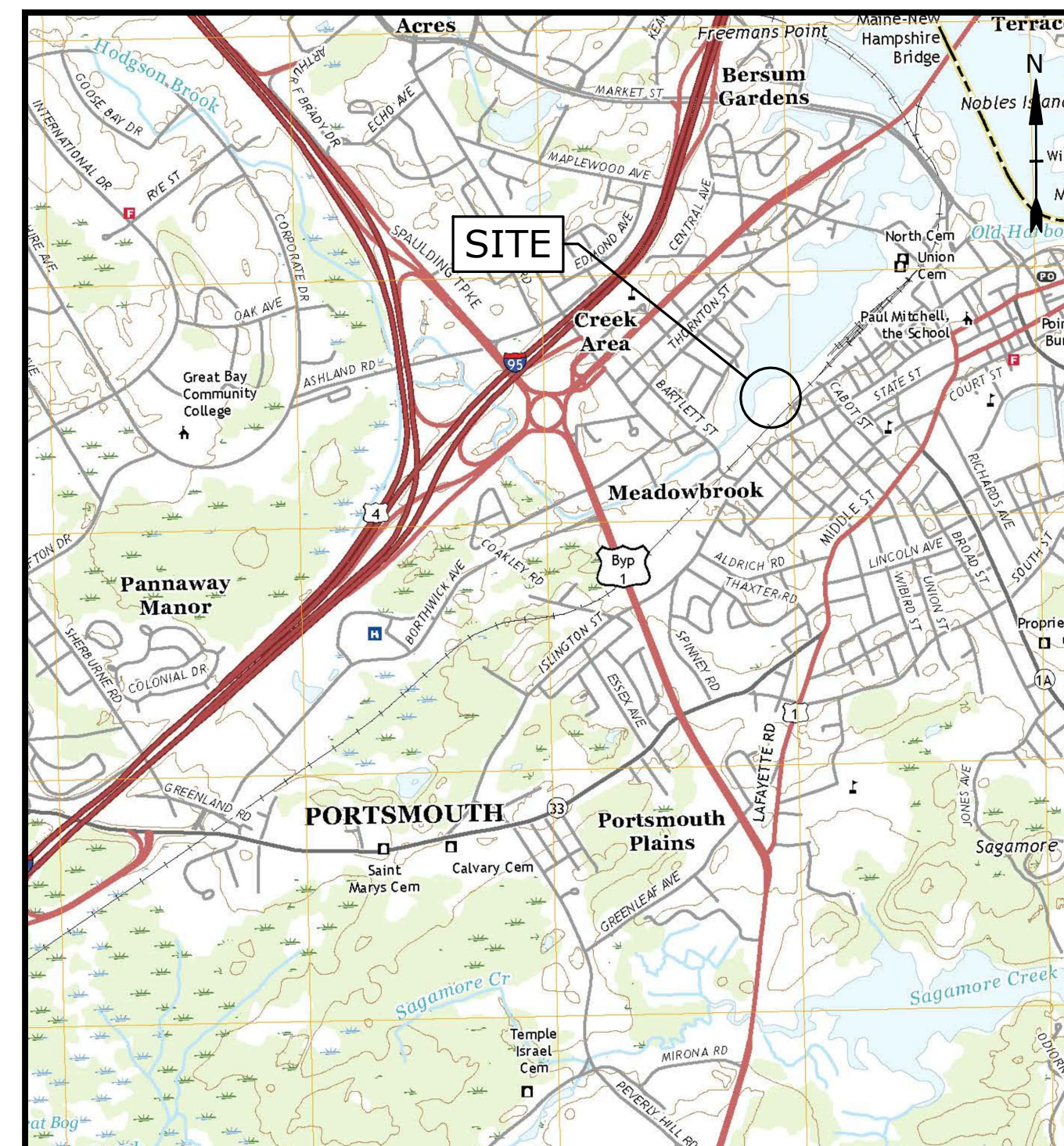
105 BARTLETT STREET
PORTSMOUTH, NEW HAMPSHIRE

JANUARY 2, 2020

LAST REVISED: FEBRUARY 6, 2020

LIST OF DRAWINGS		
SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	02/06/2020
C-101	OVERALL EXISTING CONDITIONS AND DEMOLITION PLAN	02/06/2020
C-101.1	EXISTING CONDITIONS AND DEMOLITION PLAN	02/06/2020
C-101.2	EXISTING CONDITIONS AND DEMOLITION PLAN	02/06/2020
C-102	OVERALL SITE PLAN	02/06/2020
C-102.1	SITE PLAN	02/06/2020
C-102.2	SITE PLAN	02/06/2020
C-102.3	SITE PLAN	02/06/2020
C-103.1	GRADING, DRAINAGE, AND EROSION CONTROL PLAN	02/06/2020
C-103.2	GRADING, DRAINAGE, AND EROSION CONTROL PLAN	02/06/2020
C-104.1	UTILITIES PLAN	02/06/2020
C-104.2	UTILITIES PLAN	02/06/2020
C-501	EROSION CONTROL NOTES AND DETAILS SHEET	02/06/2020
C-502	DETAILS SHEET	02/06/2020
C-503	DETAILS SHEET	02/06/2020
C-504	DETAILS SHEET	02/06/2020
C-505	DETAILS SHEET	02/06/2020

LIST OF PERMITS		
LOCAL	STATUS	DATE
SITE PLAN REVIEW PERMIT		
LOT LINE REVISION PERMIT		
CONDITIONAL USE PERMIT - SHARED PARKING		
CONDITIONAL USE PERMIT - WETLAND BUFFER		
STATE		
NHDES - ALTERATION OF TERRAIN PERMIT		
NHDES - WETLAND PERMIT		
NHDES - SHORELAND PERMIT		
NHDES - SEWER CONNECTION PERMIT		
FEDERAL		
EPA - NPDES CGP		



LOCATION MAP
SCALE: 1" = 2000'

PREPARED BY:

Tighe & Bond

177 CORPORATE DRIVE
PORTSMOUTH, NEW HAMPSHIRE 03801
603-433-8818

APPLICANT:

IRON HORSE PROPERTIES, LLC
105 BARTLETT STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

OWNERS:

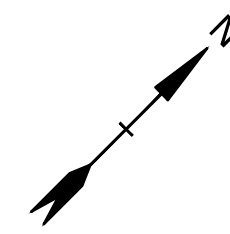
TAX MAP 157, LOT 1
CLIPPER TRADERS, LLC
105 BARTLETT STREET
PORTSMOUTH, NEW HAMPSHIRE 03801

TAX MAP 164, LOT 1 & 2
PORTSMOUTH HARDWARE
& LUMBER, LLC
105 BARTLETT STREET
PORTSMOUTH, NH 03801

TAX MAP 164, LOT 4-2
IRON HORSE PROPERTIES, LLC
105 BARTLETT STREET
PORTSMOUTH, NH 03801

TAX MAP 157, LOT 2-1
CLIPPER TRADERS, LLC,
PORTSMOUTH HARDWARE & LUMBER, LLC,
& IRON HORSE PROPERTIES, LLC
105 BARTLETT STREET
PORTSMOUTH, NH 03801

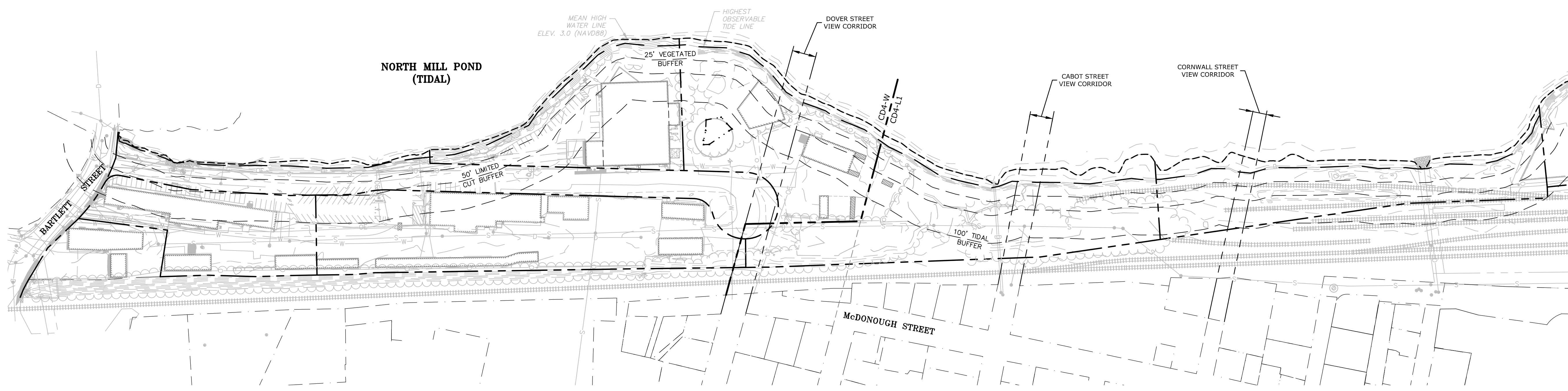
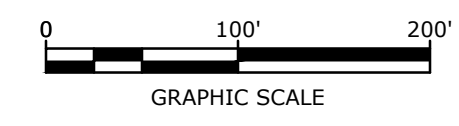
**DESIGN REVIEW SUBMISSION
COMPLETE SET 17 SHEETS**



LEGEND

- BUILDING
- BUILDING OVERHANG
- BUILDING HATCH/TEXT
- CURB
- EDGE OF PAVEMENT
- RETAINING WALL
- STONE WALL
- CHAIN LINK FENCE
- FENCE LINE
- TREELINE
- PAVEMENT MARKING
- TRAFFIC SIGN
- MAJOR CONTOURS
- MINOR CONTOURS
- STORM DRAIN LINE
- SANITARY SEWER LINE
- WATER LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND GAS LINE
- DRAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- HYDRANT
- WATER GATE VALVE
- UTILITY POLE
- TELEPHONE STRUCTURE
- GAS GATE VALVE
- BOLLARD
- GAS SHUTOFF
- WATER SHUTOFF

- EXISTING CONDITIONS PLAN NOTES:**
- EXISTING CONDITIONS ARE BASED ON A FIELD SURVEY BY AMBIT ENGINEERING, INC., DATED 3/5/2018.
 - WETLAND DELINEATION BY STEVEN D. RIKER, CWS, ON 8/8/2017, AND FIELD LOCATED BY AMBIT ENGINEERING, INC. ON 8/9/2017
- REFERENCE PLANS:**
- "PROPOSED SUBDIVISION PLANS, CLIPPER TRADERS, LLC" PREPARED BY AMBIT ENGINEERING, INC., DATED DECEMBER 14, 2018.



Proposed Multi-Family Development

Iron Horse Properties, LLC

105 Bartlett Street
Portsmouth,
New Hampshire

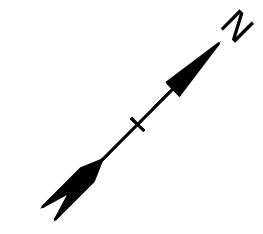
MARK	DATE	DESCRIPTION
B	2/6/2020	Design Review Submission
A	1/2/2020	ZBA Submission

PROJECT NO:	C-0960-006
DATE:	January 2, 2020
FILE:	C-0960-006_C-SITE.DWG
DRAWN BY:	NAH
CHECKED BY:	PMC
APPROVED BY:	BML

OVERALL EXISTING CONDITIONS PLAN

SCALE: AS SHOWN

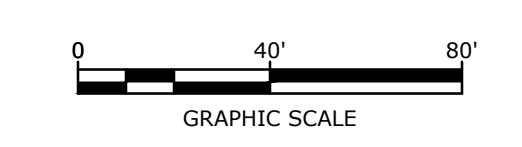
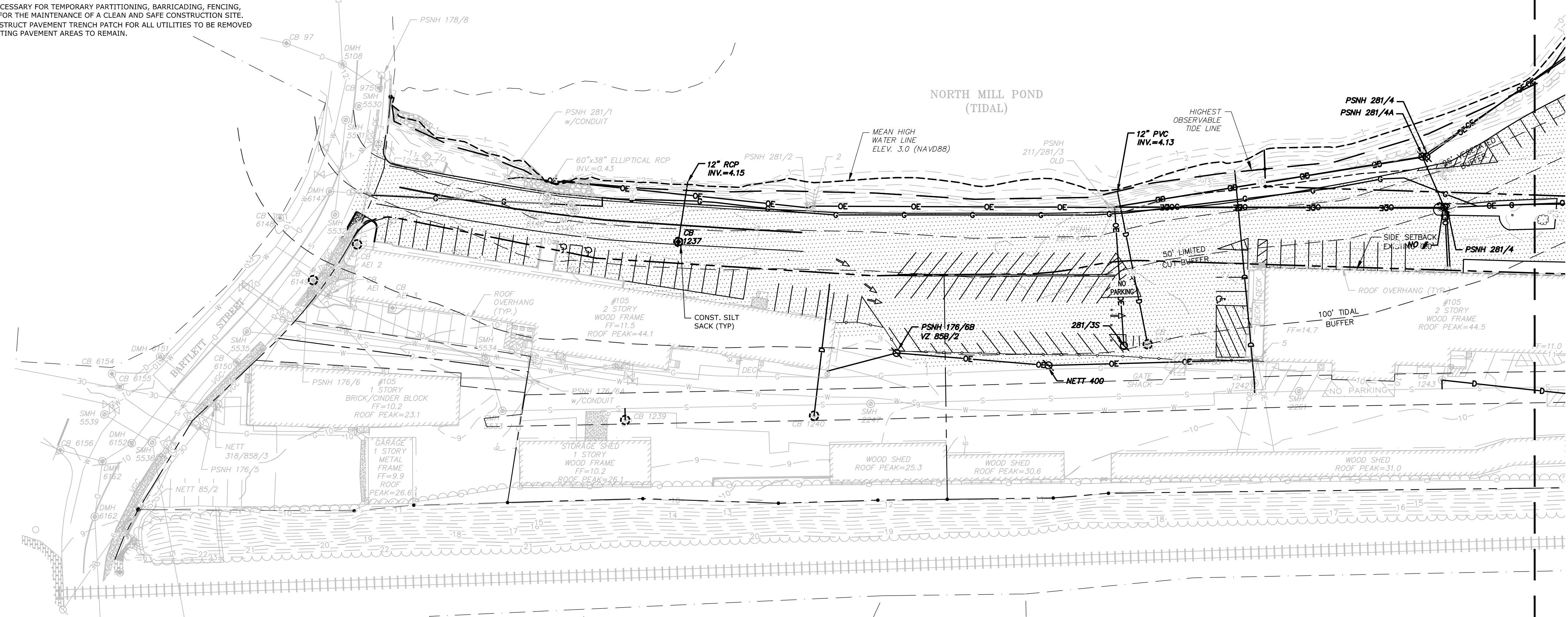
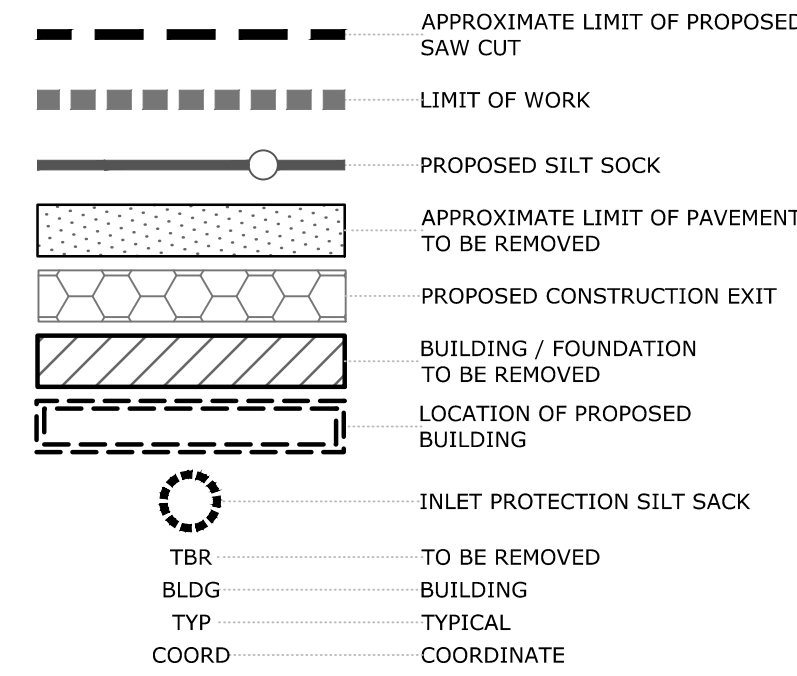
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 Plotted On: Feb 06, 2020 2:24pm
 Tighe & Bond: J:\C:\Users\MAHansen\CAD\Drawings - Figures\AutoCAD\Sheet\C-0960-006_C-SITE.DWG



DEMOLITION NOTES:

1. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
2. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
3. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
4. COORDINATE REMOVAL, RELOCATION, DISPOSAL OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
5. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
6. SAW CUT AND REMOVE PAVEMENT ONE (1) FOOT OFF PROPOSED EDGE OF PAVEMENT OR EXISTING CURB LINE IN ALL AREAS WHERE PAVEMENT TO BE REMOVED ABUTS EXISTING PAVEMENT OR CONCRETE TO REMAIN.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
8. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK, EXCEPT FOR WORK NOTED TO BE COMPLETED BY OTHERS.
10. UTILITIES SHALL BE TERMINATED AT THE MAIN LINE PER UTILITY COMPANY STANDARDS. THE CONTRACTOR SHALL REMOVE ALL ABANDONED UTILITIES LOCATED WITHIN THE LIMITS OF WORK.
11. CONTRACTOR SHALL VERIFY ORIGIN OF ALL DRAINS AND UTILITIES PRIOR TO REMOVAL/TERMINATION TO DETERMINE IF DRAINS OR UTILITY IS ACTIVE, AND SERVICES ANY ON OR OFF-SITE STRUCTURE TO REMAIN. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY SUCH UTILITY FOUND AND SHALL MAINTAIN THESE UTILITIES UNTIL PERMANENT SOLUTION IS IN PLACE.
12. PAVEMENT REMOVAL LIMITS ARE SHOWN FOR CONTRACTOR'S CONVENIENCE. ADDITIONAL PAVEMENT REMOVAL MAY BE REQUIRED DEPENDING ON THE CONTRACTOR'S OPERATION. CONTRACTOR TO VERIFY FULL LIMITS OF PAVEMENT REMOVAL PRIOR TO BID.
13. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING STRUCTURES, CONCRETE PADS, UTILITIES AND PAVEMENT WITHIN THE WORK LIMITS SHOWN UNLESS SPECIFICALLY IDENTIFIED TO REMAIN. ITEMS TO BE REMOVED INCLUDE BUT ARE NOT LIMITED TO: CONCRETE, PAVEMENT, CURBS, LIGHTING, MANHOLES, CATCH BASINS, UNDER GROUND PIPING, POLES, STAIRS, SIGNS, FENCES, RAMPS, WALLS, BOLLARDS, BUILDING SLABS, FOUNDATION, TREES AND LANDSCAPING.
14. COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
15. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
16. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
17. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.
18. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES AND SHALL COORDINATE TEMPORARY SERVICES TO ADJUTERS WITH THE UTILITY COMPANY AND AFFECTED ADJUTER.
19. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
20. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
21. SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL UTILITIES TO BE REMOVED AND PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.

LEGEND



Proposed Multi-Family Development

Iron Horse Properties, LLC

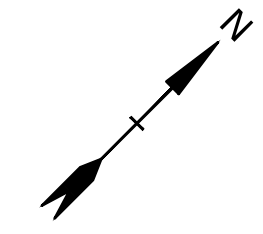
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Portsmouth,
New Hampshire

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EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: AS SHOWN

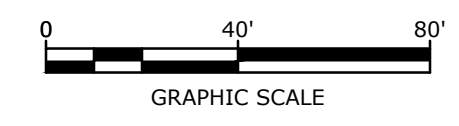
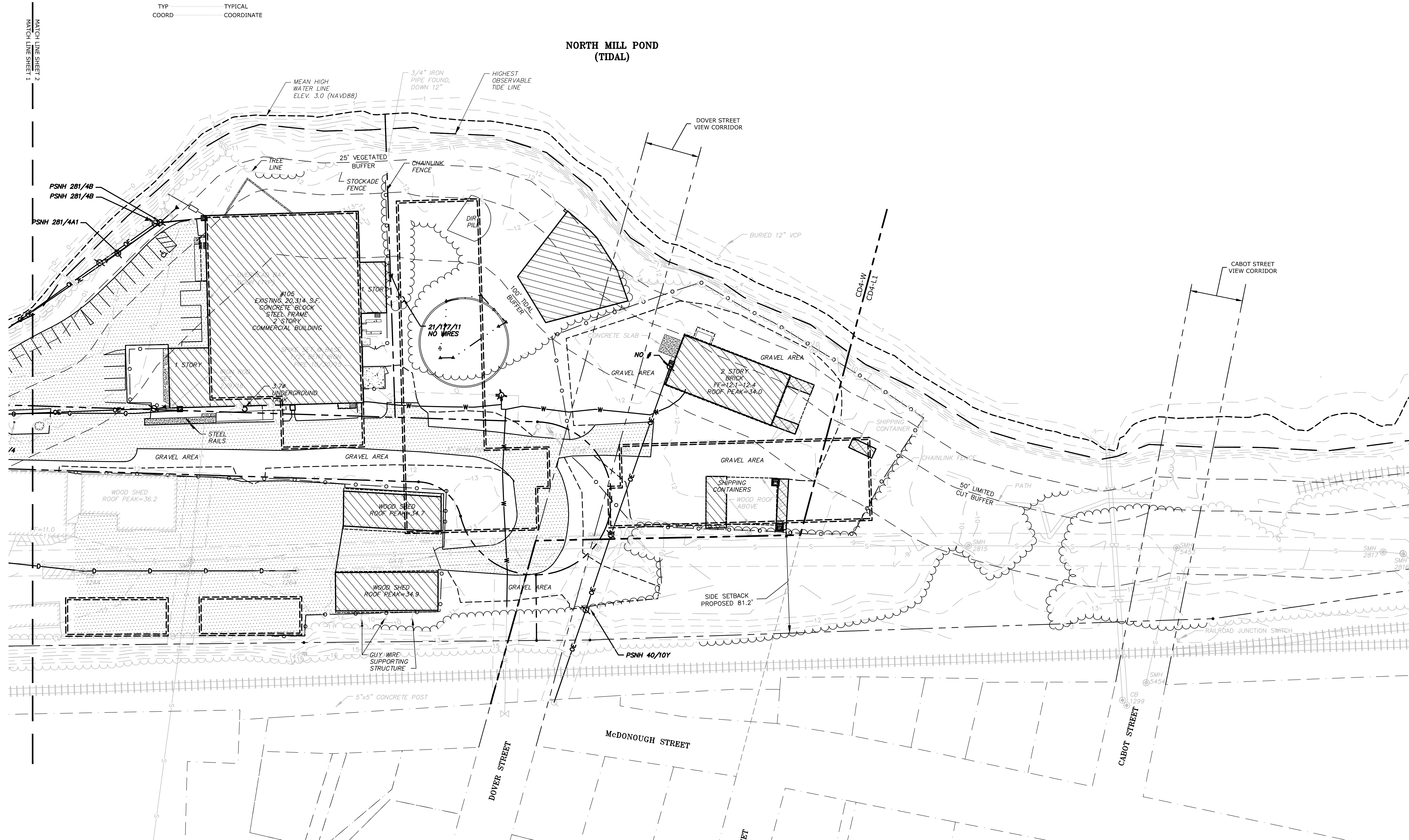
C-101.1



LEGEND

- APPROXIMATE LIMIT OF PROPOSED SAW CUT
- LIMIT OF WORK
- PROPOSED SILT SOCK
- APPROXIMATE LIMIT OF PAVEMENT TO BE REMOVED
- PROPOSED CONSTRUCTION EXIT
- BUILDING / FOUNDATION TO BE REMOVED
- LOCATION OF PROPOSED BUILDING
- INLET PROTECTION SILT SACK
- TBR TO BE REMOVED
- BLDG BUILDING
- TYP TYPICAL
- COORD COORDINATE

NORTH MILL POND (TIDAL)



Proposed Multi-Family Development

Iron Horse Properties, LLC

105 Bartlett Street
Portsmouth,
New Hampshire

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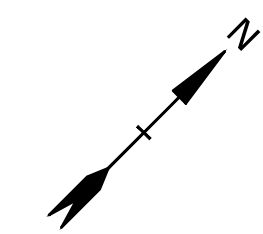
PROJECT NO:	C-0960-006
DATE:	January 2, 2020
FILE:	C-0960-006_C-SITE.DWG
DRAWN BY:	NAH
CHECKED:	PMC
APPROVED:	BML

EXISTING CONDITIONS AND DEMOLITION PLAN

SCALE: AS SHOWN

C-101.2

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SITE DATA:
 PROJECT LOCATION: TAX MAP 157, LOT 1
 TAX MAP 157, LOT 2
 TAX MAP 164, LOT 1
 TAX MAP 164, LOT 4
 TAX MAP 164, LOT 4-2

SITE ZONING DISTRICT: 105 BARTLETT STREET
 PORTSMOUTH, NEW HAMPSHIRE
 CHARACTER DISTRICT 4 (CD4-W)
 CHARACTER DISTRICT 4 (CD4-L1)
 WEST END INCENTIVE OVERLAY DISTRICT

ALLOWED USE ON SITE: PROFESSIONAL OFFICE, BUSINESS OFFICE, RETAIL SALES, RESTAURANT,
 MULTIFAMILY DWELLING

DEVELOPMENT STANDARDS

BUILDING PLACEMENT (PRINCIPAL BUILDING):	REQUIRED (CD4-W)	PROPOSED (CD4-W)	REQUIRED (CD4-L1)	PROPOSED (CD4-L1)
MAX PRINCIPAL FRONT YARD:	10 FT	0 FT	15 FT	N/A
MINIMUM SIDE YARD:	15 FT ⁽¹⁾	<6 FT ⁽²⁾	15 FT ⁽¹⁾	86 FT
MINIMUM REAR YARD:	5 FT	269 FT	5 FT	269 FT
FRONT LOT LINE BUILDOUT:	50% MIN	69%	60% MIN, 80% MAX	N/A

BUILDING AND LOT OCCUPATION:	REQUIRED (CD4-W)	PROPOSED (CD4-W)	REQUIRED (CD4-L1)	PROPOSED (CD4-L1)
MAXIMUM BUILDING BLOCK LENGTH:	200 FT	196 FT	100 FT ⁽³⁾	34 FT
MAXIMUM FACADE MODULATION LENGTH:	80 FT	<80 FT	50 FT	<50 FT
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT	NR	NR
MAXIMUM BUILDING COVERAGE:	80% ⁽⁴⁾	±24.0%	80% ⁽⁴⁾	±1.3%
MAXIMUM BUILDING FOOTPRINT:	20,000 SF ⁽⁵⁾	20,000 SF	3,500 SF ⁽⁶⁾	2,852 SF
MINIMUM LOT AREA:	5,000 SF	220,768 SF	3,000 SF	220,768 SF
MINIMUM LOT AREA PER DWELLING UNIT:	NR ⁽⁷⁾	NR ⁽⁷⁾	NR ⁽⁷⁾	NR ⁽⁷⁾
MINIMUM OPEN SPACE:	15%	48%	25%	48%
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF	10,300 SF	NR	NR

- (1) - PER 10.516.20, MINIMUM SIDE YARD SETBACK ADJOINING A RAILROAD RIGHT OF WAY SHALL BE 15FT
- (2) - VARIANCE GRANTED BY ZONING BOARD OF ADJUSTMENT ON JANUARY 22, 2020
- (3) - MAXIMUM BLOCK LENGTH ALLOWED IN WEST END INCENTIVE OVERLAY DISTRICT FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE.
- (4) - MAXIMUM BUILDING COVERAGE ALLOWED IN THE WEST END INCENTIVE OVERLAY DISTRICT FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE.
- (5) - ADDITIONAL 5,000 SF OF GFA (INCREASED FROM 15,000 SF) ALLOWED FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE.
- (6) - ADDITIONAL 1,000 SF OF GFA (INCREASED FROM 2,500 SF) ALLOWED FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE.
- (7) - NO MINIMUM LOT AREA PER DWELLING UNIT REQUIRED IN THE WEST END INCENTIVE OVERLAY DISTRICT FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE.

BUILDING FORM (PRINCIPAL BUILDING):	REQUIRED (CD4-W)	PROPOSED (CD4-W)	REQUIRED (CD4-L1)	PROPOSED (CD4-L1)
BUILDING HEIGHT:	4 STORIES ⁽¹⁾ 50' MAX ⁽²⁾	54 STORY, 50' (BLDG B & C)	2 STORIES ⁽¹⁾ 30' MAX ⁽²⁾	2 STORY, 30' (BLDG A)
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36 IN	36 IN	<36 IN
MINIMUM GROUND STORY HEIGHT:	9 FT ⁽³⁾	12 FT	9 FT ⁽³⁾	11 FT
MINIMUM SECOND STORY HEIGHT:	N/A	N/A	N/A	N/A
FACADE GLAZING:				
SHOPFRONT FACADE:	70% MIN	>70%	70% MIN	>70%
OTHER FACADE TYPES:	20% TO 50%		20% TO 40%	
ALLOWED ROOF TYPES:	FLAT, GABLE, HIP, GAMBREL, OR MANSARD	FLAT	FLAT, GABLE, HIP, GAMBREL, OR MANSARD	FLAT
ROOF PITCH, IF ANY:				
GABLE:	6:12 - 12:12		6:12 - 12:12	
HIP:	3:12 MIN		3:12 MIN	
MANSARD/GAMBREL:	6:12 - 30:12		6:12 - 30:12	
ALLOWED BUILDING TYPES:	APARTMENT BUILDING	APARTMENT BUILDING		TBD
ALLOWED FACADE TYPES:				

- (1) - ADDITIONAL 1 STORY (INCREASED FROM 1 AND 3 RESPECTIVELY) ALLOWED FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE.
- (2) - ADDITIONAL 10' OF BUILDING HEIGHT (INCREASED FROM 20' AND 40' RESPECTIVELY) ALLOWED FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE.
- (3) - MINIMUM GROUND STORY HEIGHT ALLOWED IN WEST END INCENTIVE OVERLAY DISTRICT FOR PROVIDING AT LEAST 20% OF THE SITE TO BE ASSIGNED AS COMMUNITY SPACE.

COMMUNITY SPACE:	44,154 SF 20%	55,192 SF 25%
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ZONING VARIANCES:	SECTION:	GRANTED:
REQUIREMENT:		
(1) - MINIMUM SIDE YARD SETBACK FROM RAILROAD:	10.516.20	1/22/2020

OFF-STREET PARKING REQUIREMENTS:

PARKING SPACES REQUIRED:

DWELLING UNITS:		
0 SF TO 500 SF 0.5 SPACES PER UNIT	BUILDING A, 1 UNITS BUILDING B, 1 UNITS BUILDING C, 3 UNITS	0.5 SPACES 0.5 SPACES 1.5 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED =		3 SPACES
500 SF TO 750 SF 1.0 SPACES PER UNIT	BUILDING A, 24 UNITS BUILDING B, 41 UNITS BUILDING C, 26 UNITS	24 SPACES 41 SPACES 26 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED =		91 SPACES
OVER 750 SF 1.3 SPACES PER UNIT	BUILDING A, 21 UNITS BUILDING B, 36 UNITS BUILDING C, 21 UNITS	27.3 SPACES 46.8 SPACES 27.3 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED =		102 SPACES

OFFICE:

1 SPACE PER 350 SF	10,300 SF	23 SPACES
MINUS 25% FOR WEST END INCENTIVE		

VISITORS:

1 SPACE FOR EVERY 5 DWELLING UNITS	174 UNITS	35 SPACES
TOTAL MINIMUM PARKING SPACES REQUIRED =		254 SPACES

TOTAL PARKING SPACES PROVIDED:

TOTAL PARKING SPACES PROVIDED =	134 SPACES (SURFACE PARKING) 66 SPACES (BUILDING A, UNDERGROUND) 44 SPACES (BUILDING B, UNDERGROUND) 24 SPACES ⁽¹⁾
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(1) - CONDITIONAL USE PERMIT REQUIRED FOR SHARED PARKING

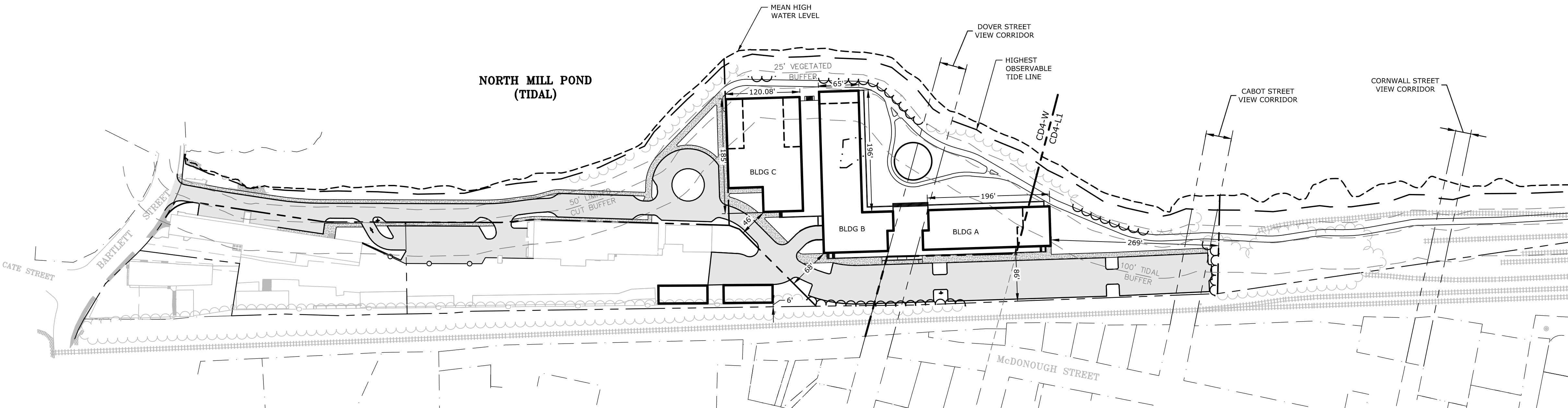
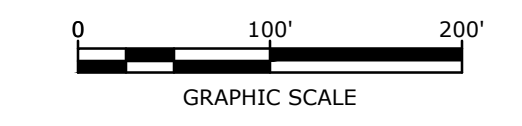
	REQUIRED	PROPOSED
PARKING STALL LAYOUT:	8.5' X 19'	8.5' X 19'
DRIVE AISLE WIDTH:	24 FT	24 FT

BIKE SPACES REQUIRED:

1 BIKE SPACE / 5 DWELLING UNITS, MAXIMUM OF 30 SPACES	30 SPACES	30 SPACES
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LEGEND

	PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED BUILDING
	PROPOSED PAVEMENT SECTION
	PROPOSED CONCRETE SIDEWALK
	PROPOSED BOLLARD
	BLDG TYP
	COORD
	30'R
	VGC
	SGC
	PROPOSED CURB RADIUS
	PROPOSED VERTICAL GRANITE CURB
	PROPOSED SLOPED GRANITE CURB



Proposed Multi-Family Development

Iron Horse Properties, LLC

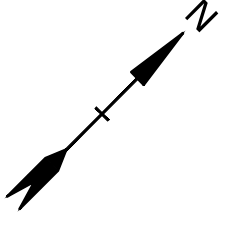
105 Bartlett Street
 Portsmouth,
 New Hampshire

MARK	DATE	DESCRIPTION
B	2/6/2020	Design Review Submission
A	1/2/2020	ZBA Submission

PROJECT NO: C-0960-006
 DATE: January 2, 2020
 FILE: C-0960-006_C-SITE.DWG
 DRAWN BY: NAH
 CHECKED: PMC
 APPROVED: BML

OVERALL SITE PLAN

SCALE: AS SHOWN

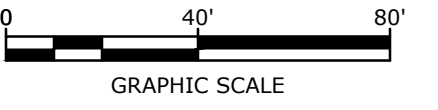
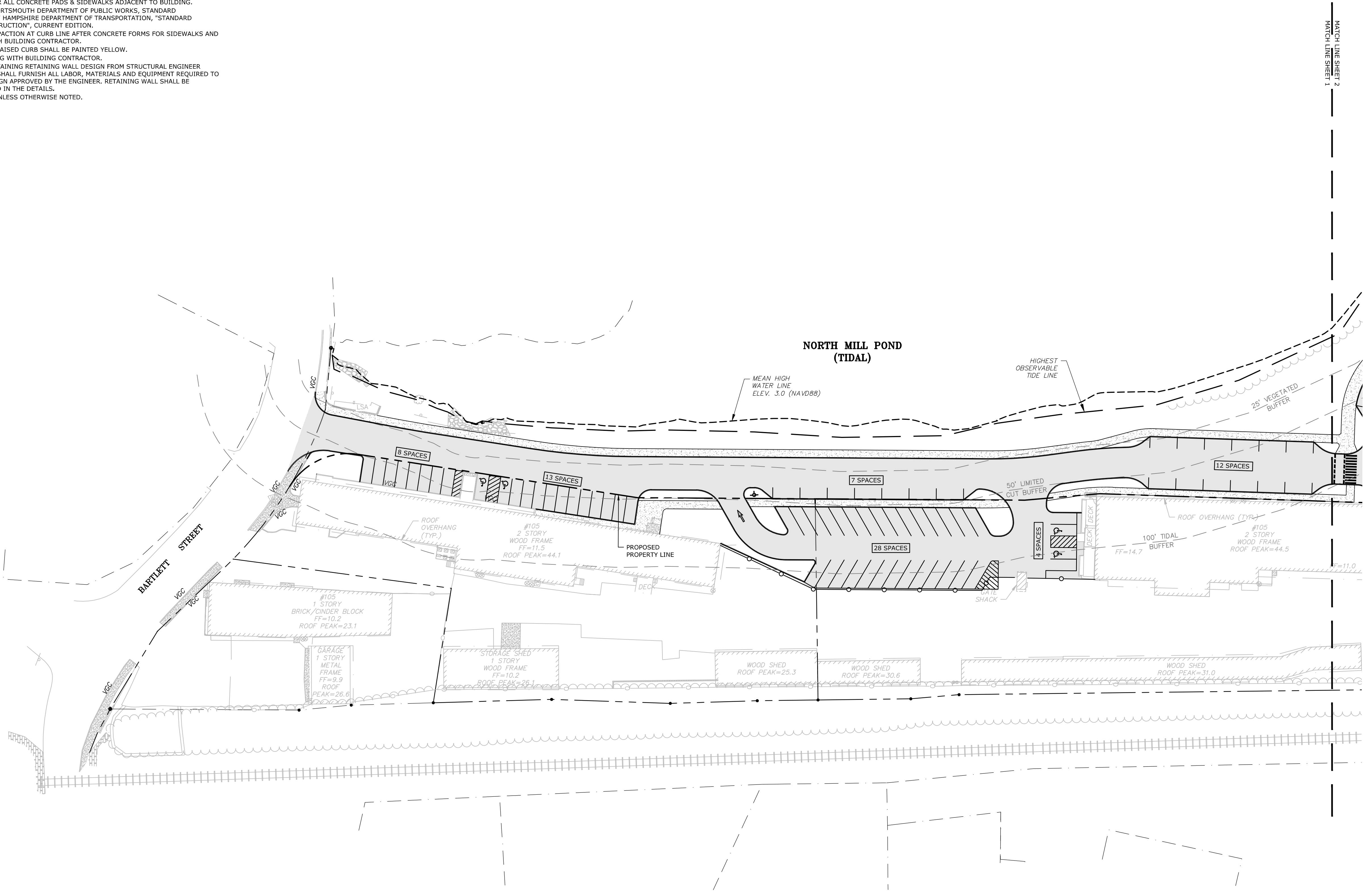


SITE NOTES:

1. STRIPE PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES SHALL BE THERMOPLASTIC MATERIAL. THERMOPLASTIC MATERIAL SHALL MEET THE REQUIREMENTS OF AASHTO M249. (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT. CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M248 TYPE "F").
2. ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
3. SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
4. CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
5. PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
6. THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED LAND SURVEYOR TO DETERMINE ALL LINES AND GRADES.
7. CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAW CUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
8. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES & SPECIFICATIONS.
9. COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAY WITH THE CITY OF PORTSMOUTH.
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LEGEND

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- BLDG BUILDING
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Proposed Multi-Family Development

Iron Horse Properties, LLC

105 Bartlett Street
Portsmouth,
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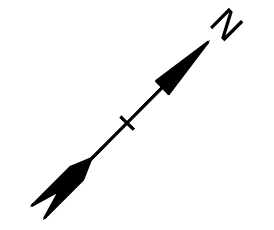
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SITE PLAN

SCALE: AS SHOWN

C-102.1

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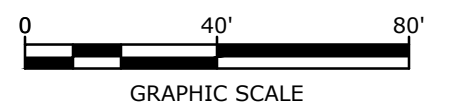
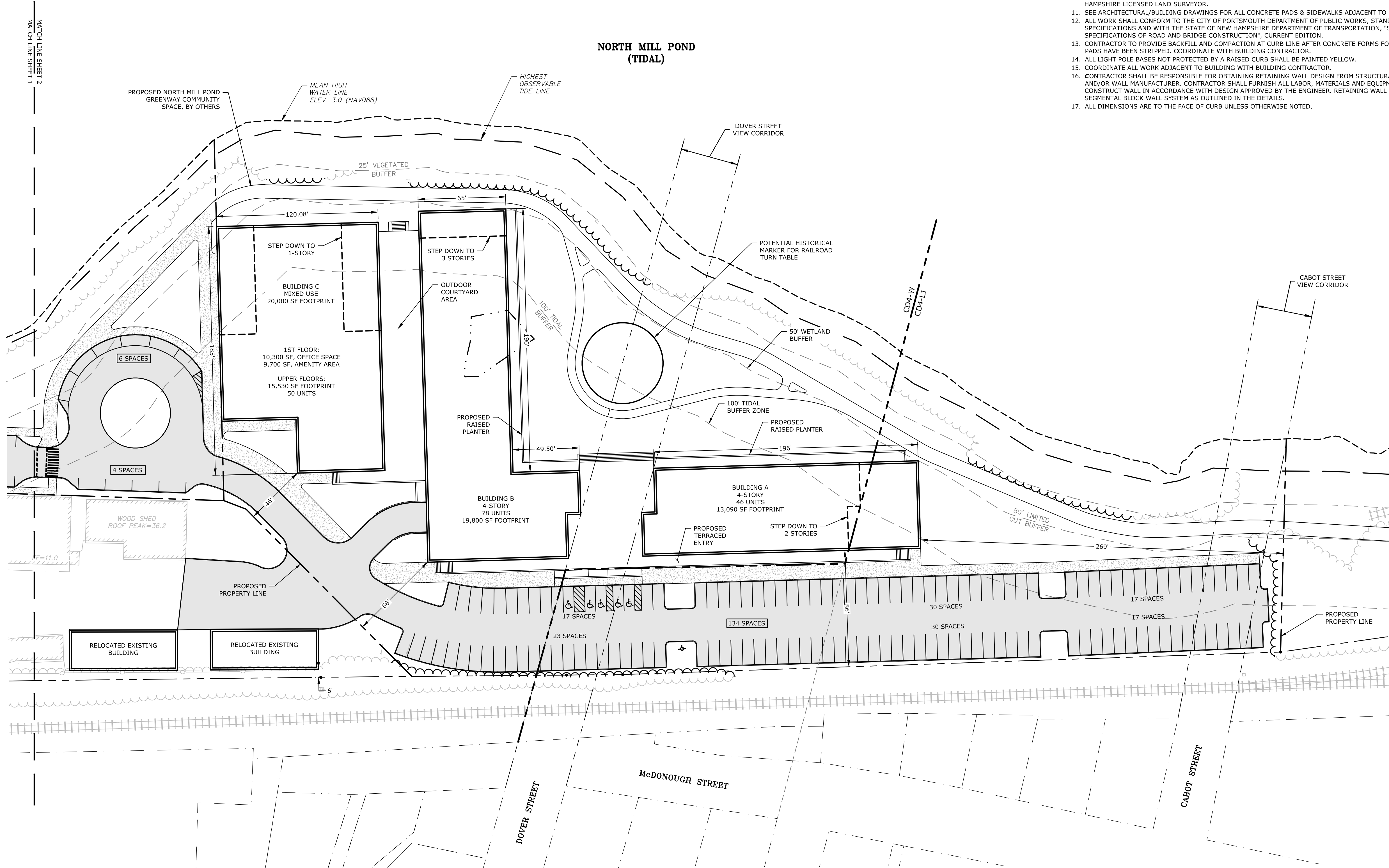
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NORTH MILL POND (TIDAL)



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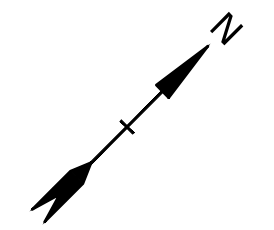
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SITE PLAN

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C-102.2



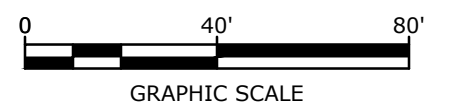
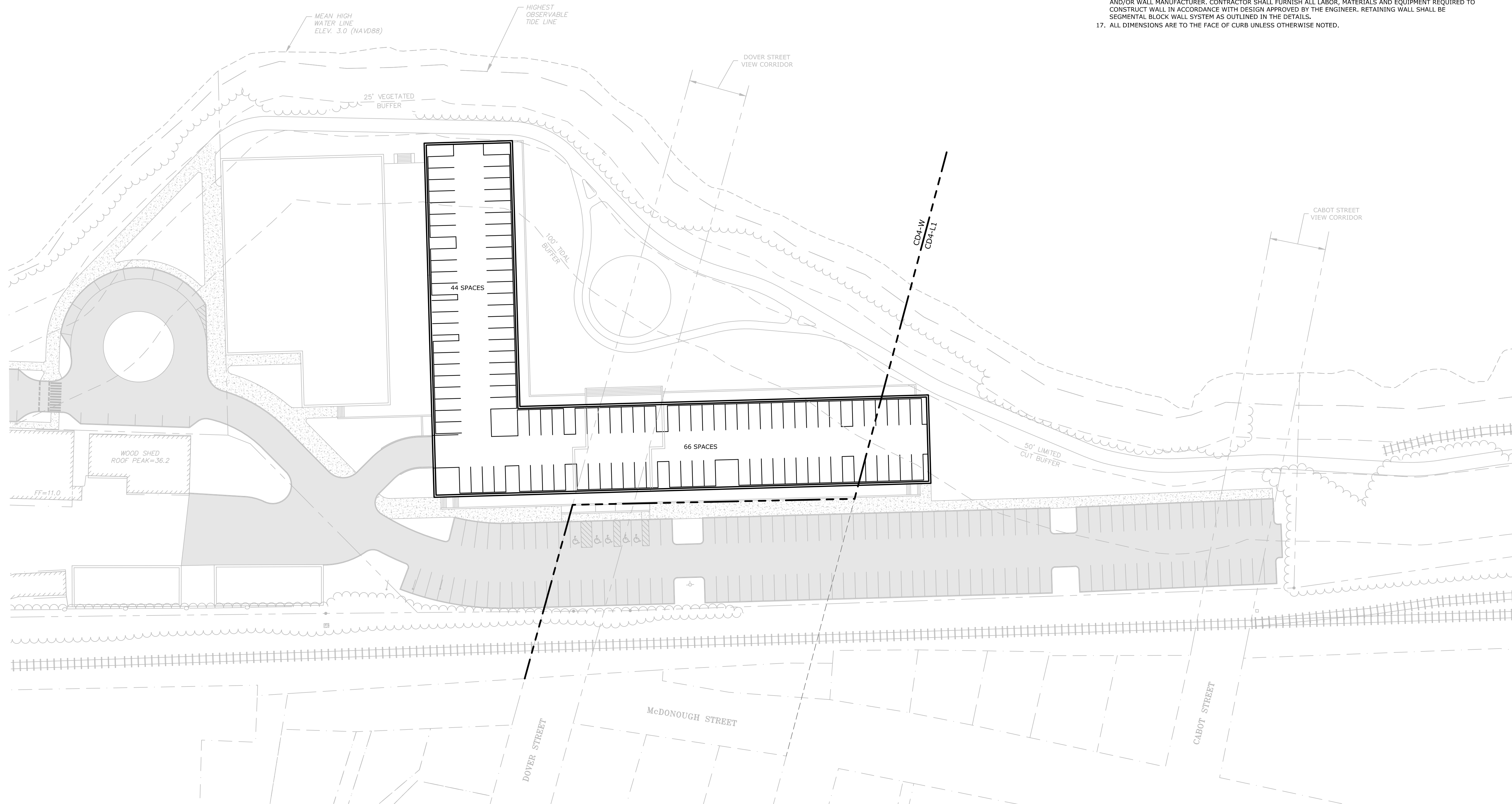
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NORTH MILL POND (TIDAL)



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Iron Horse Properties, LLC

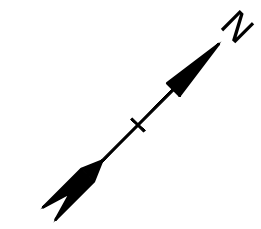
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BASEMENT LEVEL SITE PLAN

SCALE: AS SHOWN

C-102.3



GRADING AND DRAINAGE NOTES:

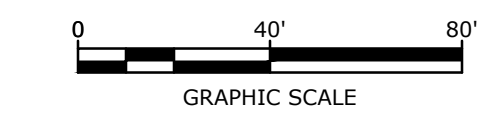
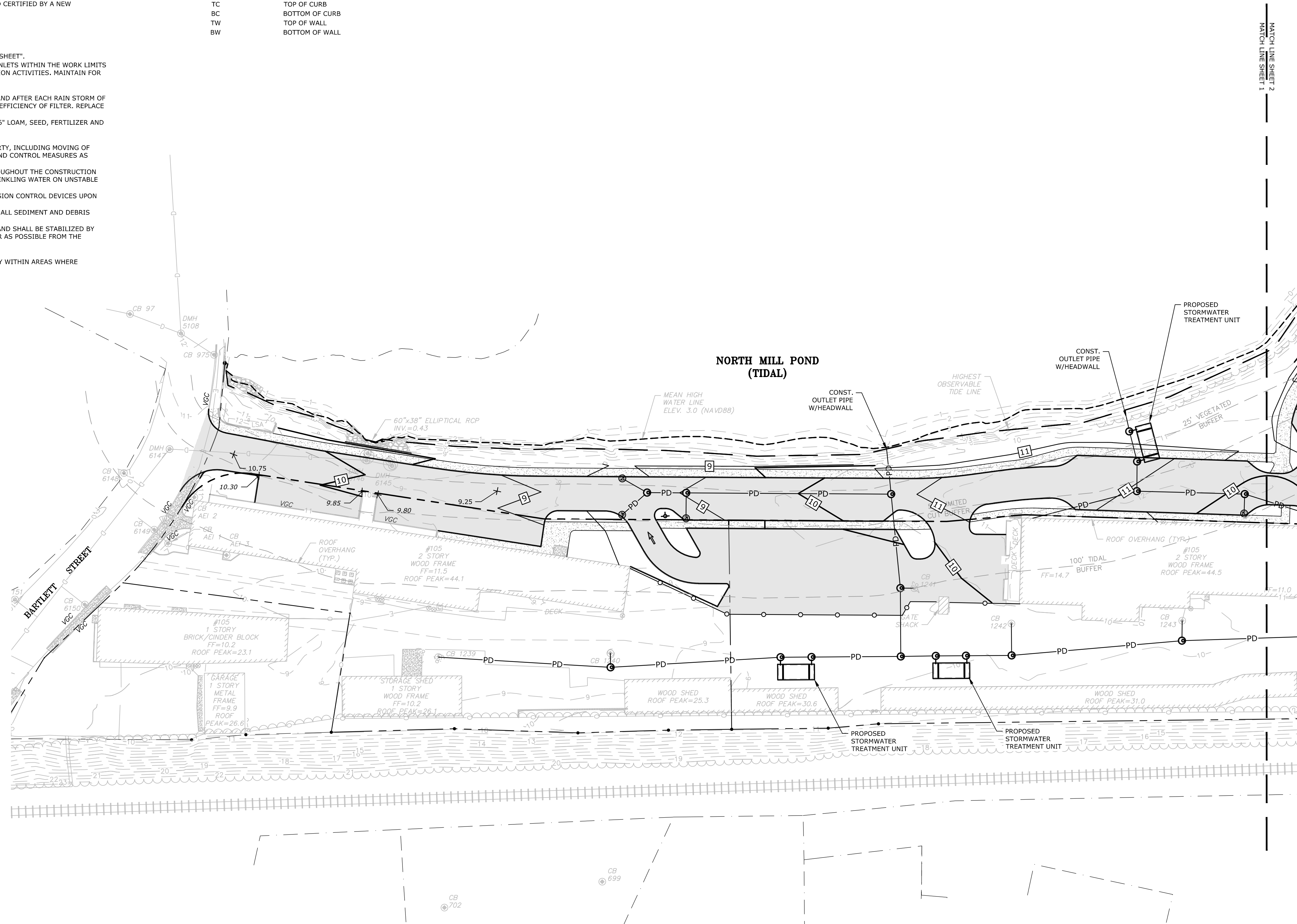
1. COMPACTION REQUIREMENTS:
BELOW PAVED OR CONCRETE AREAS 95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL 95%
BELOW LOAM AND SEED AREAS 90%
* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.
2. ALL STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE (HANCOR HI-Q, ADS N-12 OR EQUAL), UNLESS OTHERWISE SPECIFIED.
3. SEE UTILITY PLAN FOR ALL SITE UTILITY INFORMATION.
4. ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
5. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCES, EXITS, RAMP AND LOADING DOCK AREAS ADJACENT TO THE BUILDING.
6. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCH BASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
7. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED FERTILIZER AND MULCH.
9. ALL STORM DRAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NHDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
10. ALL PROPOSED CATCH BASINS SHALL BE EQUIPPED WITH OIL/GAS SEPARATOR HOODS AND 4' SUMPS.
11. ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS AND WITH THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, "STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION", CURRENT EDITION.
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13. SEE EXISTING CONDITIONS PLAN FOR BENCH MARK INFORMATION.

LEGEND

- PROPOSED MAJOR CONTOUR LINE
- PROPOSED MINOR CONTOUR LINE
- PROPOSED DRAIN LINE (TYP)
- PROPOSED SILT SOCK
- INLET PROTECTION SILT SACK
- PROPOSED CATCHBASIN
- PROPOSED DOUBLE GRATE CATCHBASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED YARD DRAIN
- BLDG
- TYP
- COORD
- TC
- BC
- TW
- BW

EROSION CONTROL NOTES:

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN AS FIRST ORDER OF WORK.
2. SEE GENERAL EROSION CONTROL NOTES ON "EROSION CONTROL NOTES & DETAILS SHEET".
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCH BASIN INLETS WITHIN THE WORK LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. MAINTAIN FOR THE DURATION OF THE PROJECT.
4. INSTALL STABILIZED CONSTRUCTION EXIT(S).
5. INSPECT INLET PROTECTION AND PERIMETER EROSION CONTROL MEASURES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
6. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
7. CONSTRUCT EROSION CONTROL BLANKET ON ALL SLOPES STEEPER THAN 3:1.
8. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
9. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
10. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
11. ALL CATCH BASIN SUMPS AND PIPING SHALL BE THOROUGHLY CLEANED TO REMOVE ALL SEDIMENT AND DEBRIS AFTER THE PROJECT HAS BEEN FULLY PAVED.
12. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED WITH PERIMETER CONTROLS AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLANDS.
13. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.
14. CONCRETE TRUCKS WILL BE REQUIRED TO WASH OUT (IF NECESSARY) SHOOTS ONLY WITHIN AREAS WHERE CONCRETE HAS BEEN PLACED. NO OTHER WASH OUT WILL BE ALLOWED.



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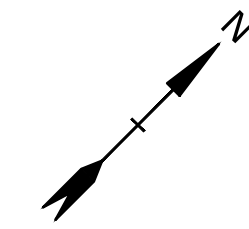
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GRADING, DRAINAGE, AND EROSION CONTROL PLAN

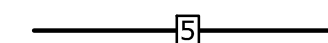
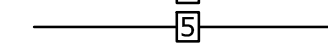
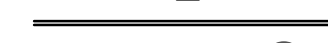









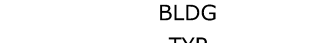
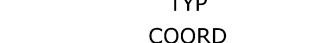
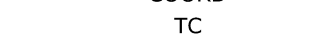
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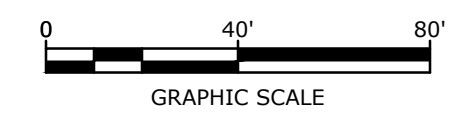
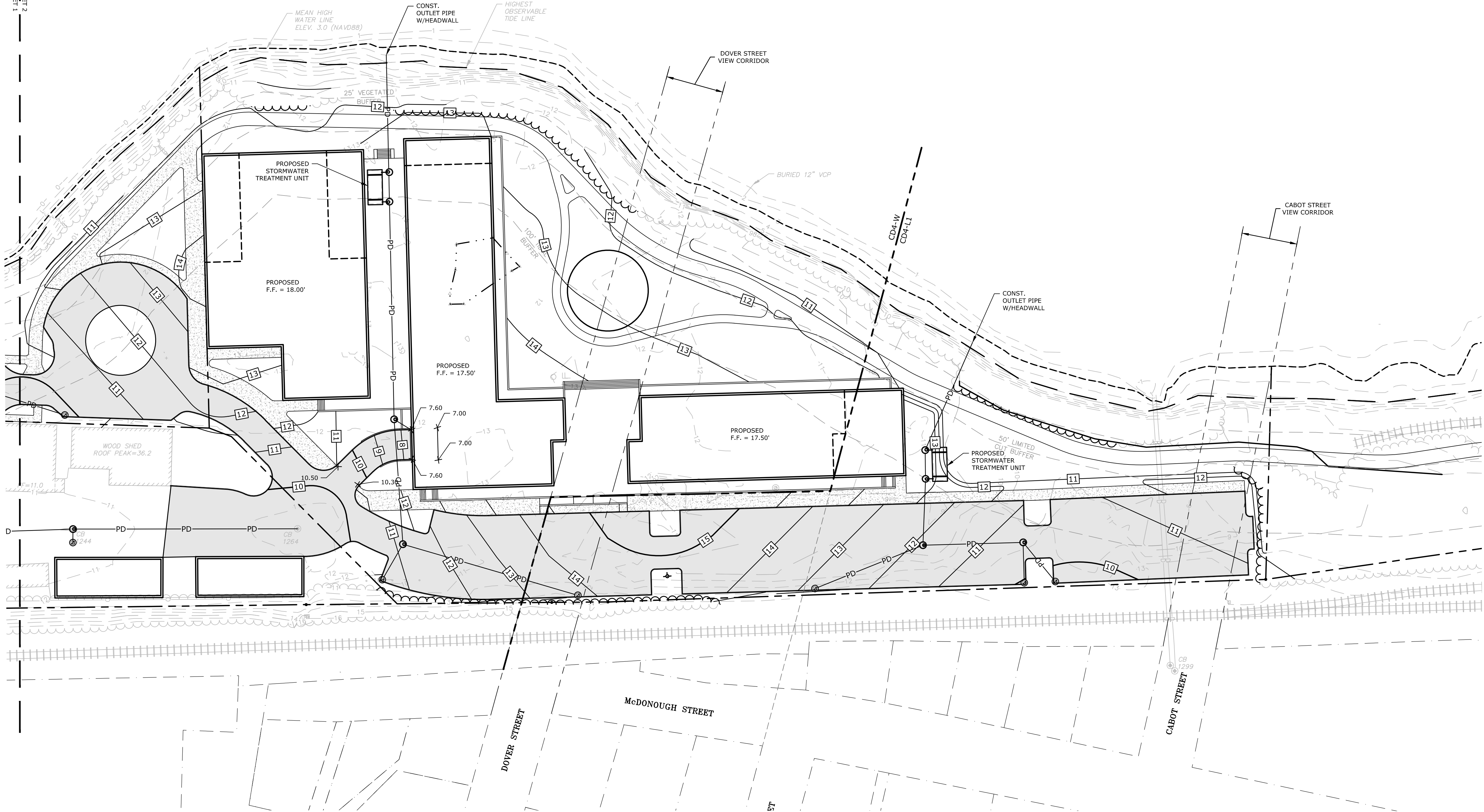


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MATCH LINE SHEET 2
MATCH LINE SHEET 1

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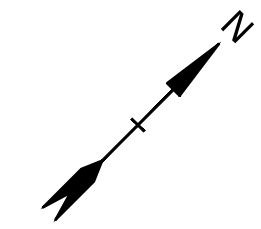
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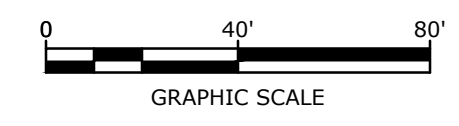
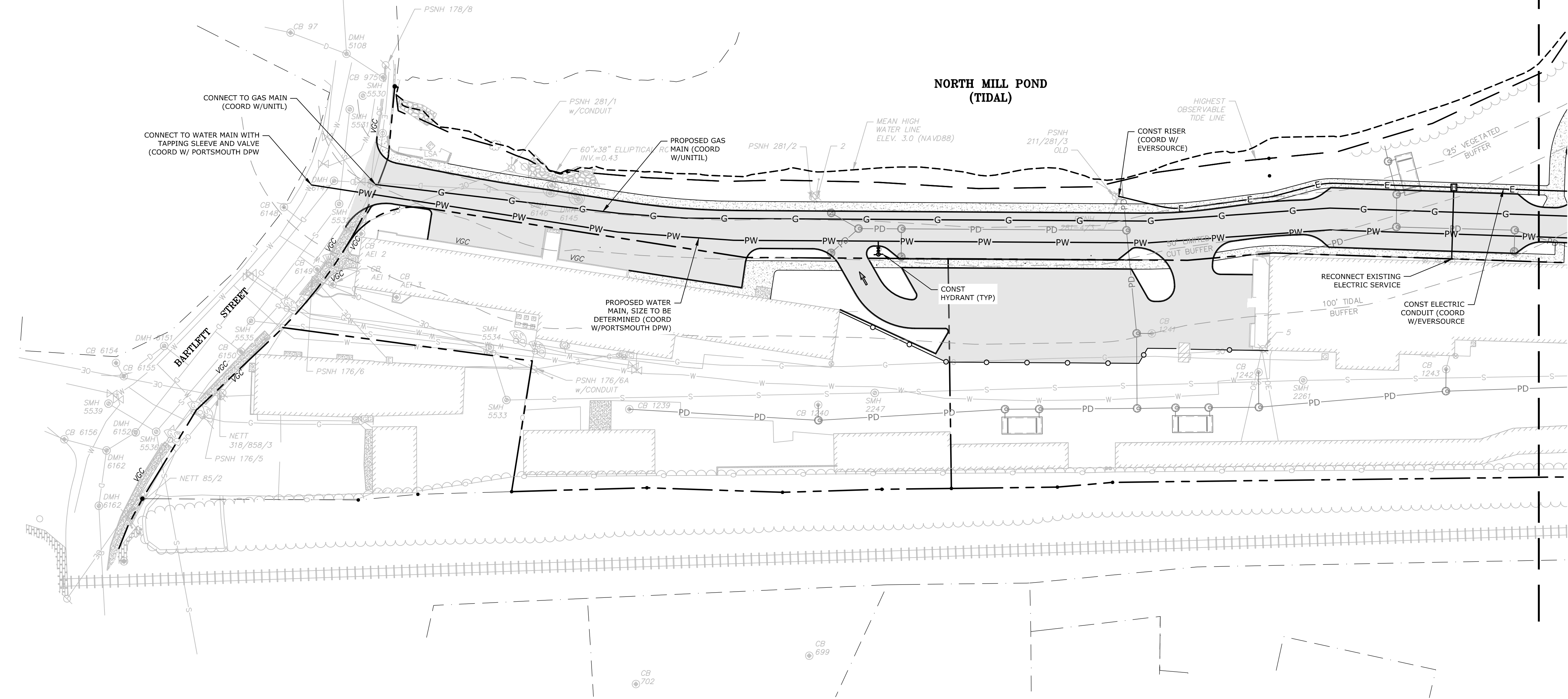


UTILITY NOTES:

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES, AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
 - NATURAL GAS - UNITIL
 - WATER/SEWER - CITY OF PORTSMOUTH
 - ELECTRIC - EVERSOURCE
 - COMMUNICATIONS - CONSOLIDATED COMMUNICATIONS & COMCAST
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION.
- SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR PROPOSED GRADING AND EROSION CONTROL MEASURES.
- ALL WATER MAIN INSTALLATIONS SHALL BE CLASS 52, CEMENT LINED DUCTILE IRON PIPE.
- ALL WATER MAIN INSTALLATIONS SHALL BE PRESSURE TESTED AND CHLORINATED AFTER CONSTRUCTION PRIOR TO ACTIVATING THE SYSTEM. CONTRACTOR SHALL COORDINATE CHLORINATION AND TESTING WITH THE WATER DEPARTMENT.
- ALL SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE STATED.
- COORDINATE ALL WORK WITHIN PUBLIC RIGHT OF WAYS WITH THE CITY OF PORTSMOUTH.
- CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ABUTTING PROPERTIES THROUGHOUT CONSTRUCTION.
- CONNECTION TO EXISTING WATER MAIN SHALL BE CONSTRUCTED TO CITY OF PORTSMOUTH STANDARDS.
- EXISTING UTILITIES TO BE REMOVED SHALL BE CAPPED AT THE MAIN AND MEET THE DEPARTMENT OF PUBLIC WORKS STANDARDS FOR CAPPING OF WATER AND SEWER SERVICES.
- ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
- THE EXACT LOCATION OF NEW UTILITY SERVICES AND CONNECTIONS SHALL BE COORDINATED WITH THE BUILDING DRAWINGS AND THE APPLICABLE UTILITY COMPANIES.
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
- ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES TO FACILITATE PULLING CABLES.
- THE CONTRACTOR SHALL OBTAIN, PAY FOR, AND COMPLY WITH ALL REQUIRED PERMITS, ARRANGE FOR ALL INSPECTIONS, AND SUBMIT COPIES OF ACCEPTANCE CERTIFICATES TO THE OWNER PRIOR TO THE COMPLETION OF THIS PROJECT.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.
- CONTRACTOR SHALL PROVIDE EXCAVATION, BEDDING, BACKFILL AND COMPACTION FOR NATURAL GAS SERVICES.
- A 10-FOOT MINIMUM EDGE TO EDGE HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN ALL WATER AND SANITARY SEWER LINES. AN 18-INCH MINIMUM OUTSIDE TO OUTSIDE VERTICAL SEPARATION SHALL BE PROVIDED AT ALL WATER/SANITARY SEWER CROSSINGS.
- THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 72 HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL HAVE THE "DIG-SAFE" NUMBER ON SITE AT ALL TIMES.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (.DWG FILES) TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SAW CUT AND REMOVE PAVEMENT AND CONSTRUCT PAVEMENT TRENCH PATCH FOR ALL PROPOSED UTILITIES LOCATED IN EXISTING PAVEMENT AREAS TO REMAIN.
- HYDRANTS, GATE VALVES, FITTINGS, ETC. SHALL MEET THE REQUIREMENTS OF THE CITY OF PORTSMOUTH.
- COORDINATE TESTING OF SEWER CONSTRUCTION WITH THE CITY OF PORTSMOUTH.
- ALL SEWER PIPE WITH LESS THAN 6' OF COVER IN PAVED AREAS OR LESS THAN 4' OF COVER IN UNPAVED AREAS SHALL BE INSULATED.
- CONTRACTOR SHALL COORDINATE ALL ELECTRIC WORK INCLUDING BUT NOT LIMITED TO: CONDUIT CONSTRUCTION, MANHOLE CONSTRUCTION, UTILITY POLE CONSTRUCTION, OVERHEAD WIRE RELOCATION, AND TRANSFORMER CONSTRUCTION WITH POWER COMPANY.
- CONTRACTOR SHALL PHASE UTILITY CONSTRUCTION, PARTICULARLY WATER MAIN AND GAS MAIN CONSTRUCTION AS TO MAINTAIN CONTINUOUS SERVICE TO ABUTTING PROPERTIES. CONTRACTOR SHALL COORDINATE TEMPORARY SERVICES TO ABUTTERS WITH THE UTILITY COMPANY AND AFFECTED ABUTTER.
- SITE LIGHTING SPECIFICATIONS, CONDUIT LAYOUT AND CIRCUITRY FOR PROPOSED SITE LIGHTING AND SIGN ILLUMINATION SHALL BE PROVIDED BY THE PROJECT ELECTRICAL ENGINEER.
- CONTRACTOR SHALL CONSTRUCT ALL UTILITIES AND DRAINS TO WITHIN 10' OF THE FOUNDATION WALLS AND CONNECT THESE TO SERVICE STUBS FROM THE BUILDING.

LEGEND

- MATCH LINE
- EXISTING STORM DRAIN
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER TO BE REMOVED
- EXISTING UNDERGROUND TELECOMMUNICATION
- EXISTING WATER
- EXISTING GAS
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD UTILITY
- PROPOSED STORM DRAIN
- PROPOSED SANITARY SEWER
- PROPOSED WATER
- PROPOSED GAS
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND TELECOMMUNICATION
- EXISTING CATCHBASIN
- EXISTING DRAIN MANHOLE
- EXISTING SEWER MANHOLE
- EXISTING HYDRANT
- EXISTING WATER VALVE
- EXISTING ELECTRIC MANHOLE
- EXISTING TELEPHONE MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED SEWER MANHOLE
- PROPOSED WATER VALVE
- PROPOSED HYDRANT
- PROPOSED GAS VALVE
- PROPOSED ELECTRIC MANHOLE
- PROPOSED LIGHT POLE BASE
- BUILDING
- TYPICAL
- COORDINATE
- VERIFY IN FIELD



Proposed Multi-Family Development

Iron Horse Properties, LLC

105 Bartlett Street
Portsmouth,
New Hampshire

B	2/6/2020	Design Review Submission
A	1/2/2020	ZBA Submission
MARK	DATE	DESCRIPTION

PROJECT NO: C-0960-006
DATE: January 2, 2020
FILE: C-0960-006_C-SITE.DWG
DRAWN BY: NAH
CHECKED: PMC
APPROVED: BML

UTILITIES PLAN

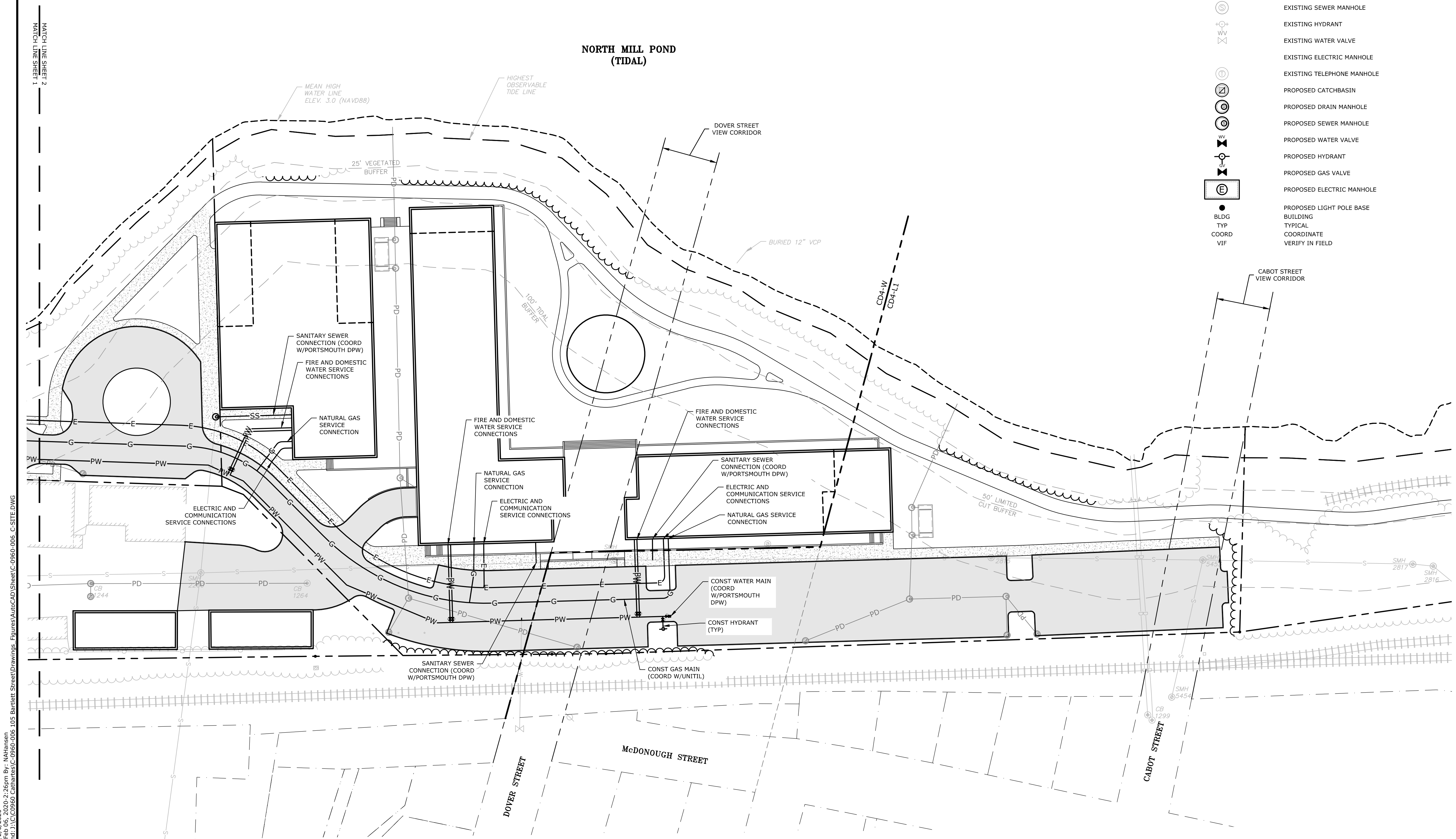
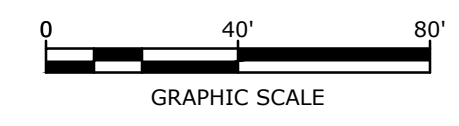
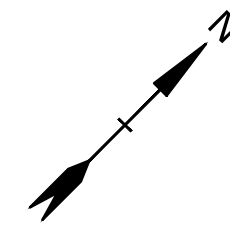
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LEGEND

- CH — MATCH LINE
 - SS — EXISTING STORM DRAIN
 - SS — EXISTING SANITARY SEWER
 - SS — EXISTING SANITARY SEWER TO BE REMOVED
 - T — EXISTING UNDERGROUND TELECOMMUNICATION
 - W — EXISTING WATER
 - G — EXISTING GAS
 - OHW — EXISTING OVERHEAD UTILITY
 - CD4-W — PROPOSED STORM DRAIN
 - CD4-LI — PROPOSED SANITARY SEWER
 - PW — PROPOSED WATER
 - G — PROPOSED GAS
 - E — PROPOSED UNDERGROUND ELECTRIC
 - COM — PROPOSED UNDERGROUND TELECOMMUNICATION
-
- ⊞ EXISTING CATCHBASIN
 - ⊙ EXISTING DRAIN MANHOLE
 - ⊙ EXISTING SEWER MANHOLE
 - ⊙ EXISTING HYDRANT
 - ⊙ EXISTING WATER VALVE
 - ⊙ EXISTING ELECTRIC MANHOLE
 - ⊙ EXISTING TELEPHONE MANHOLE
 - ⊙ PROPOSED CATCHBASIN
 - ⊙ PROPOSED DRAIN MANHOLE
 - ⊙ PROPOSED SEWER MANHOLE
 - ⊙ PROPOSED WATER VALVE
 - ⊙ PROPOSED HYDRANT
 - ⊙ PROPOSED GAS VALVE
 - ⊙ PROPOSED ELECTRIC MANHOLE
 - PROPOSED LIGHT POLE BASE
 - ▭ BLDG
 - TYP BUILDING
 - COORD TYPICAL
 - VIF VERIFY IN FIELD



Proposed Multi-Family Development

Iron Horse Properties, LLC

105 Bartlett Street
Portsmouth,
New Hampshire

MARK	DATE	DESCRIPTION
B	2/6/2020	Design Review Submission
A	1/2/2020	ZBA Submission

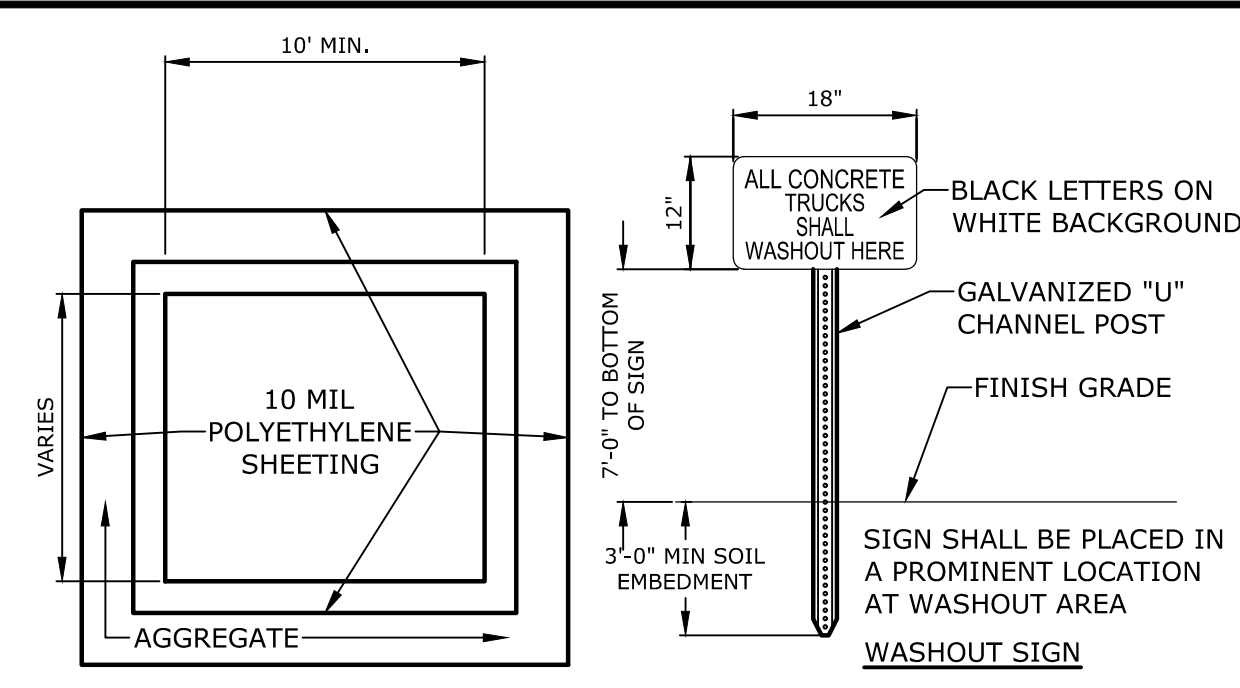
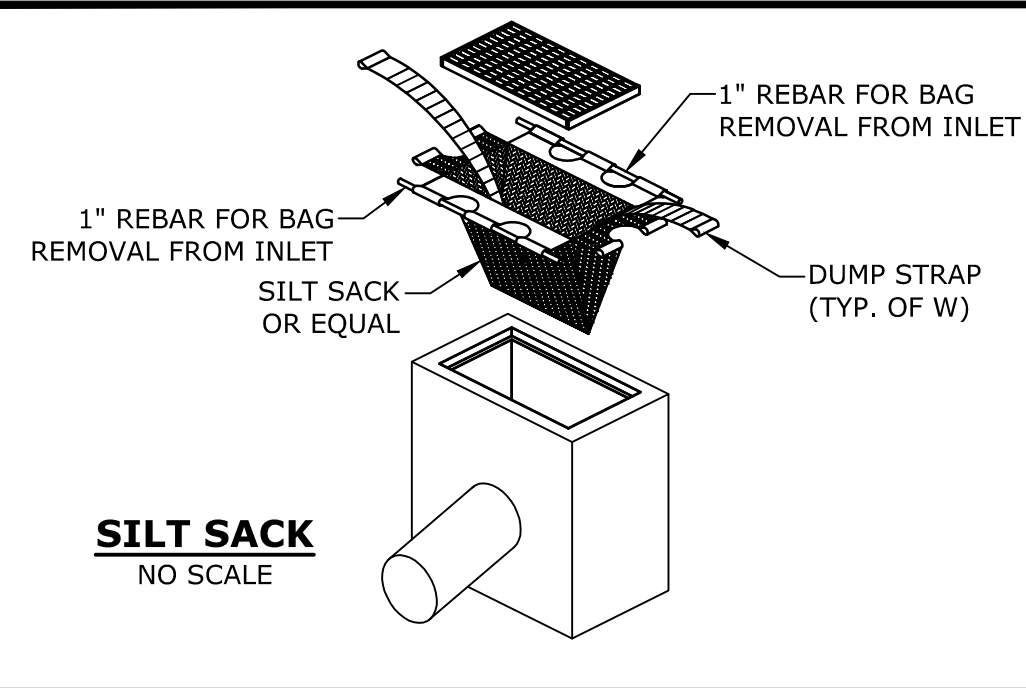
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DATE:	January 2, 2020
FILE:	C-0960-006_C-SITE.DWG
DRAWN BY:	NAH
CHECKED:	PMC
APPROVED:	BML

UTILITIES PLAN

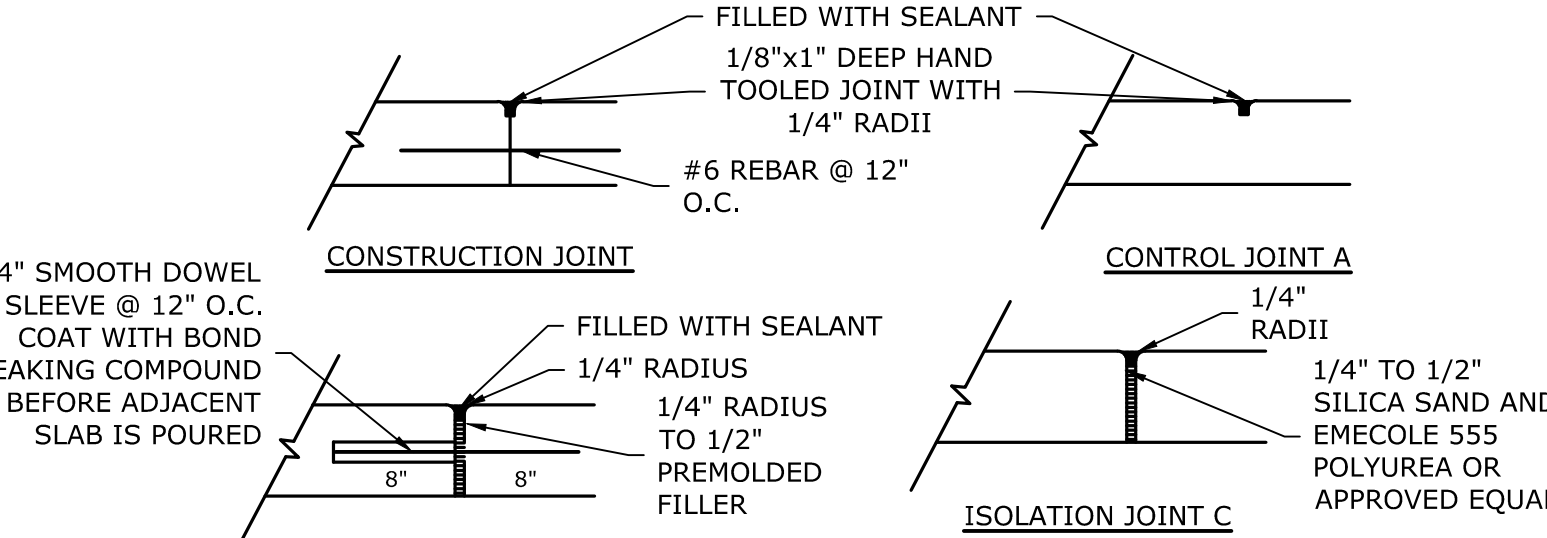
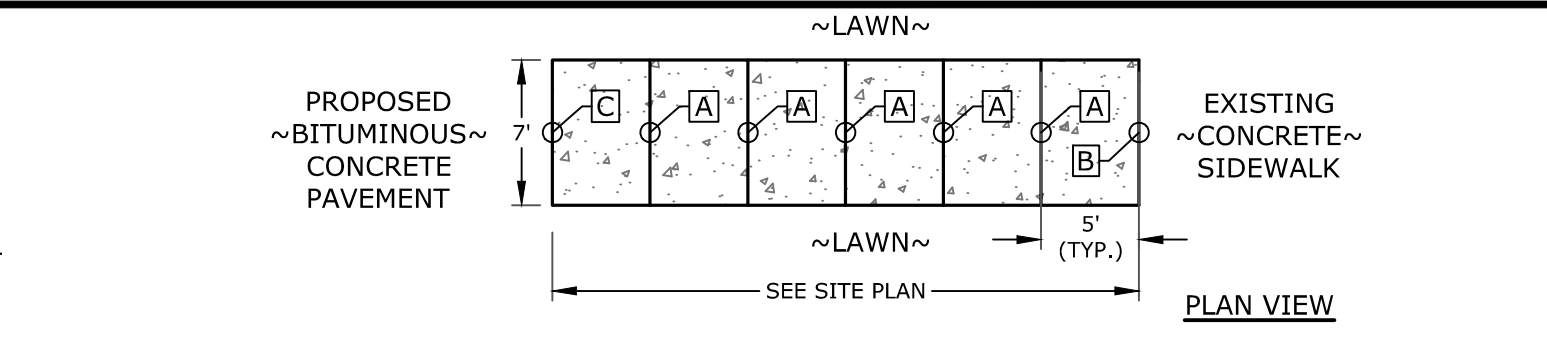
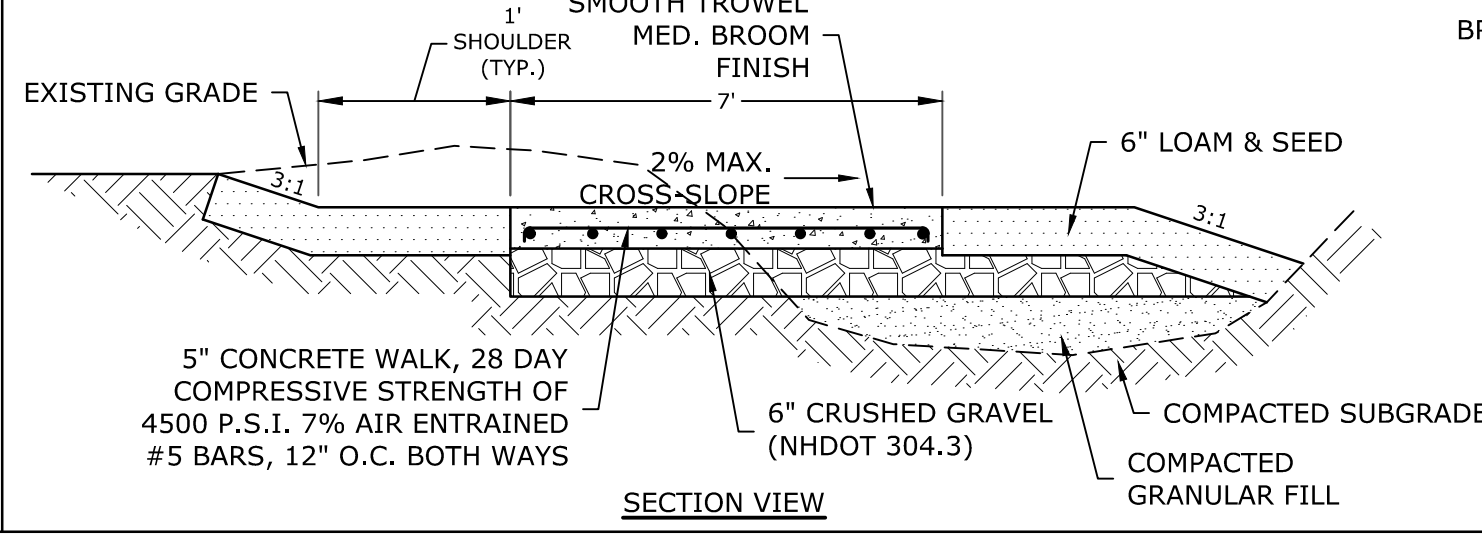
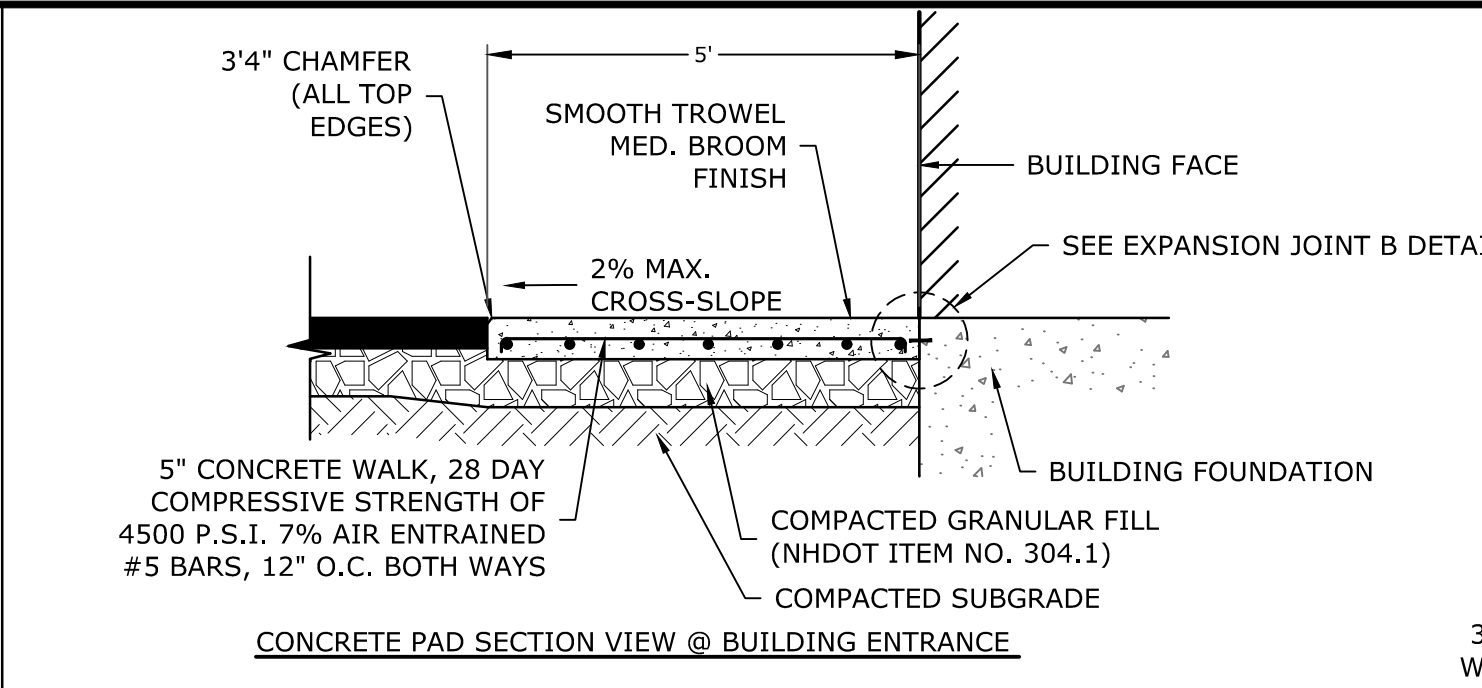
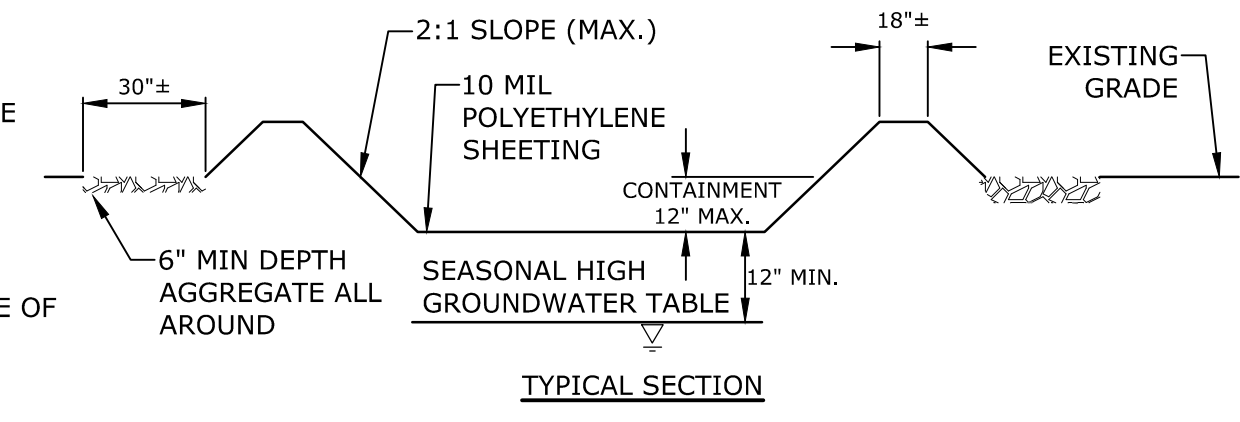
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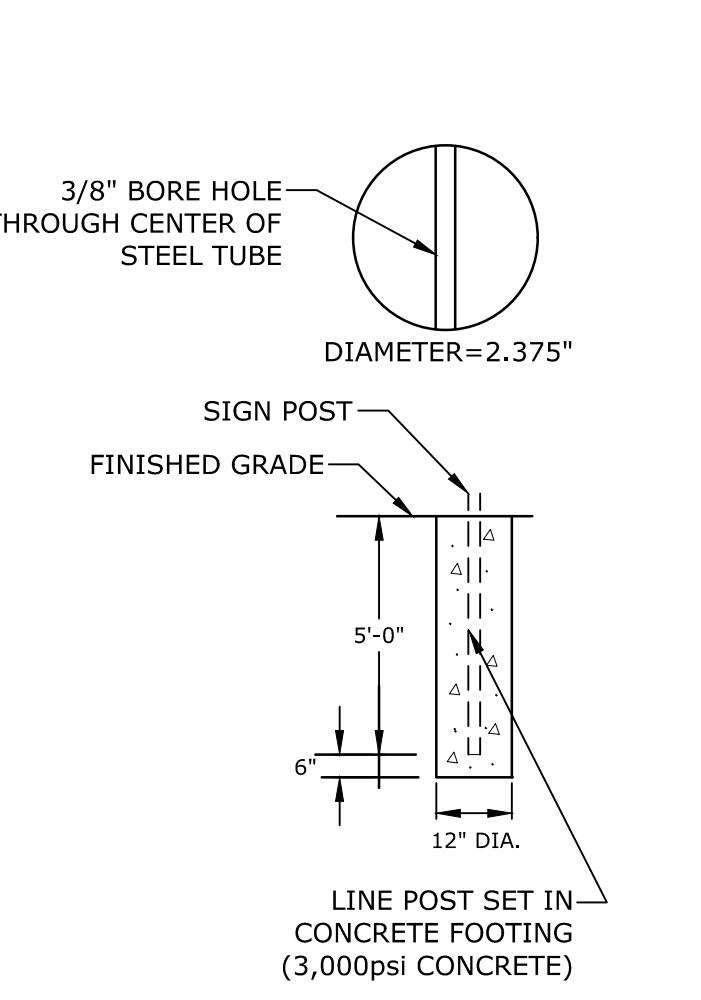
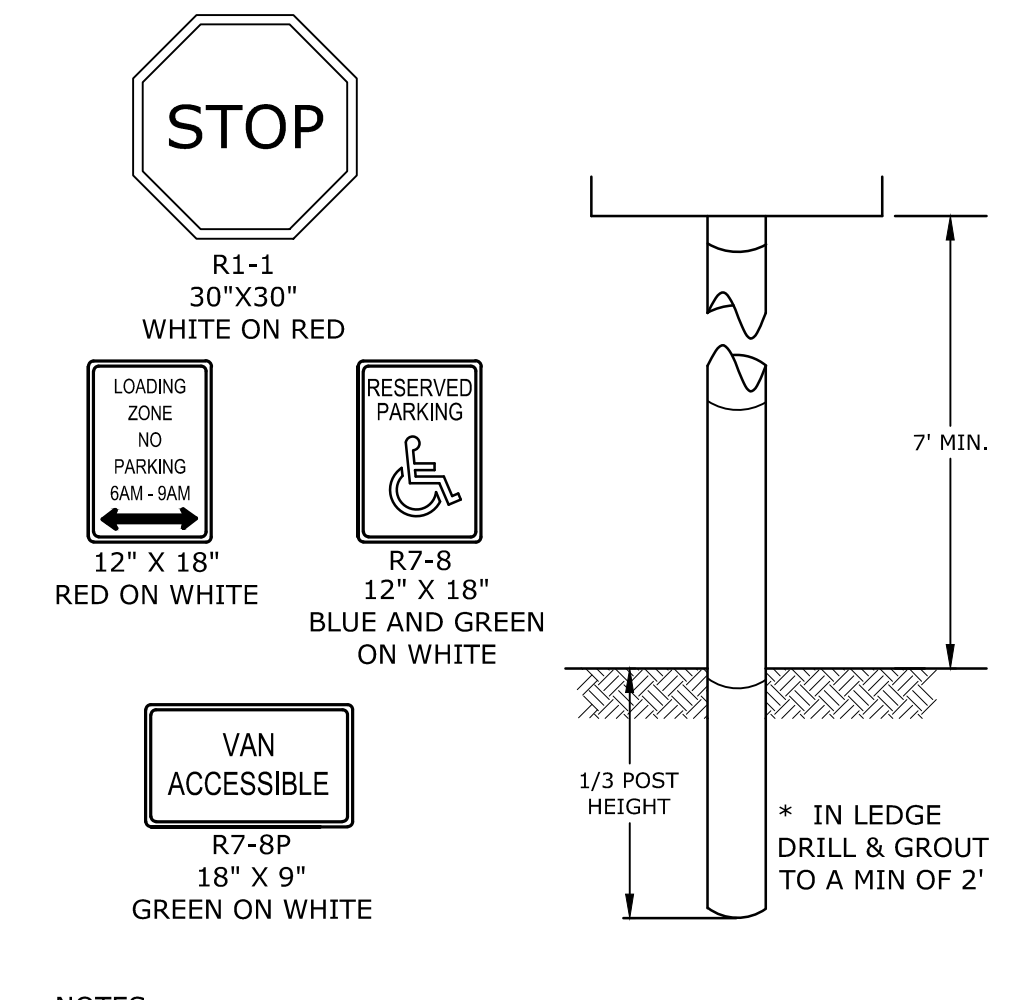


- NOTES:**
1. CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
 2. CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
 3. WASHOUT MUST BE CLEANED OR NEW FACILITIES CONSTRUCTED AND READY TO USE ONCE WASHOUT IS 75% FULL.
 4. WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
 5. ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.
 6. AT LEAST WEEKLY REMOVE ACCUMULATION OF SAND AND AGGREGATE AND DISPOSE OF PROPERLY.



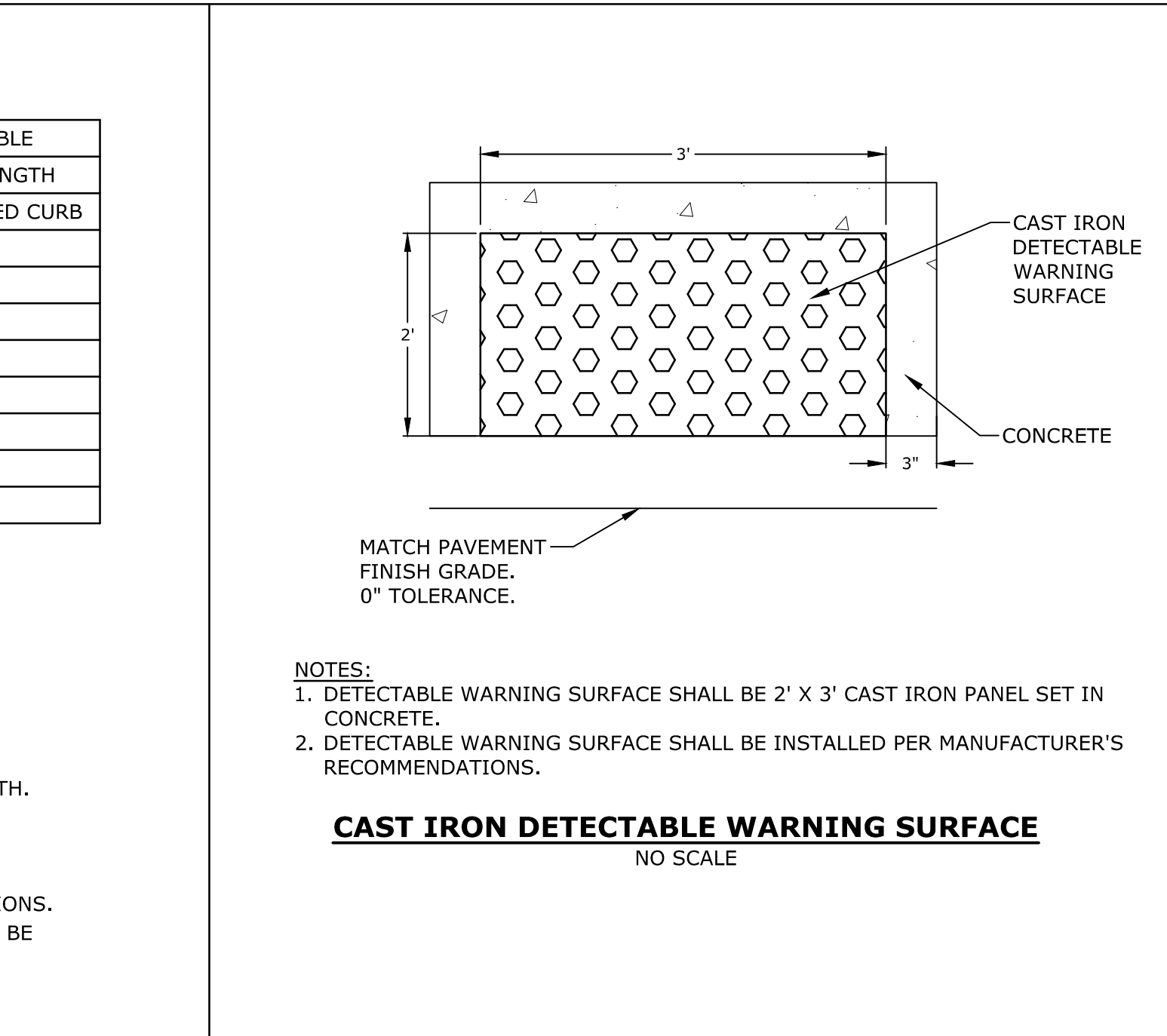
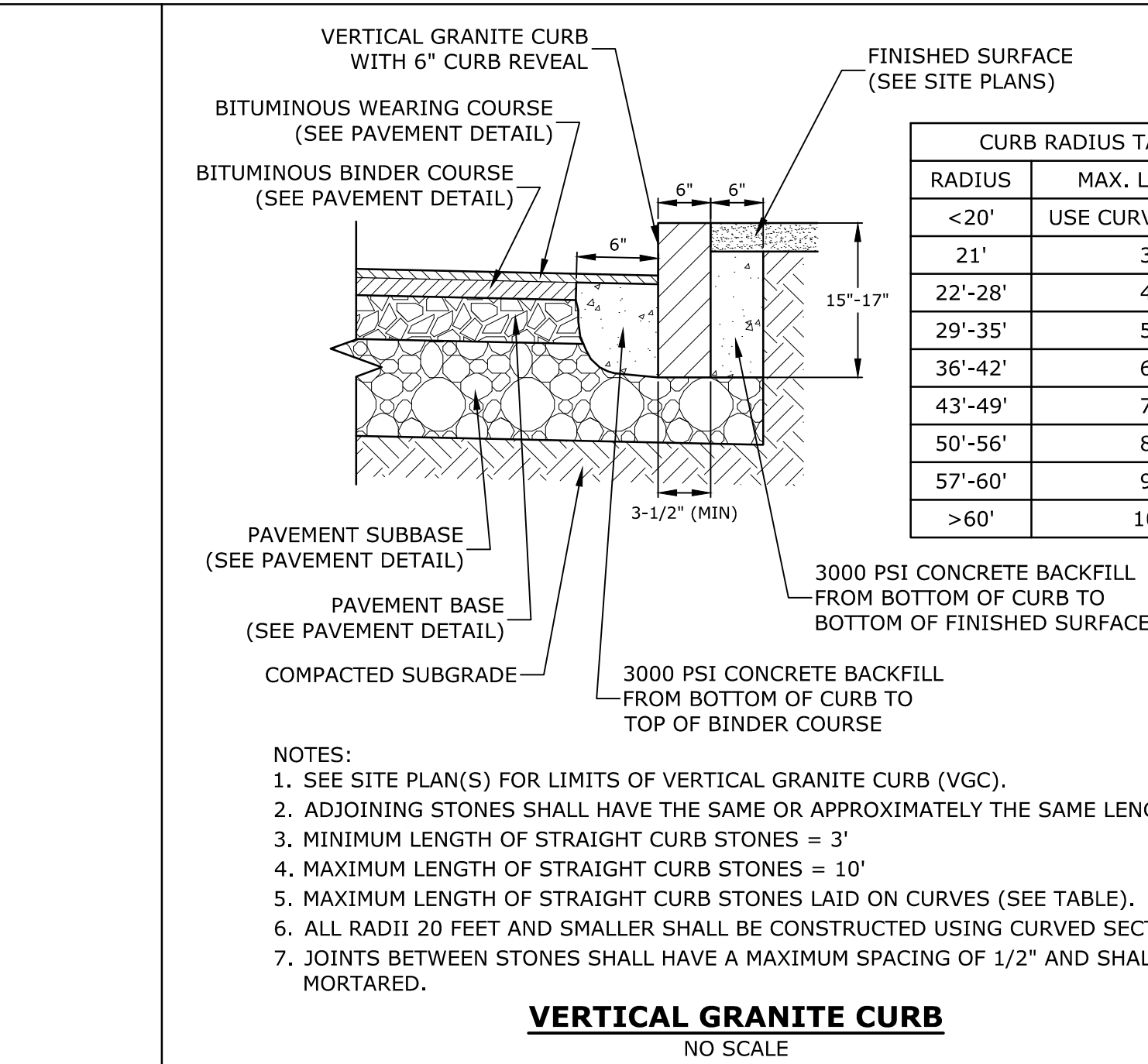
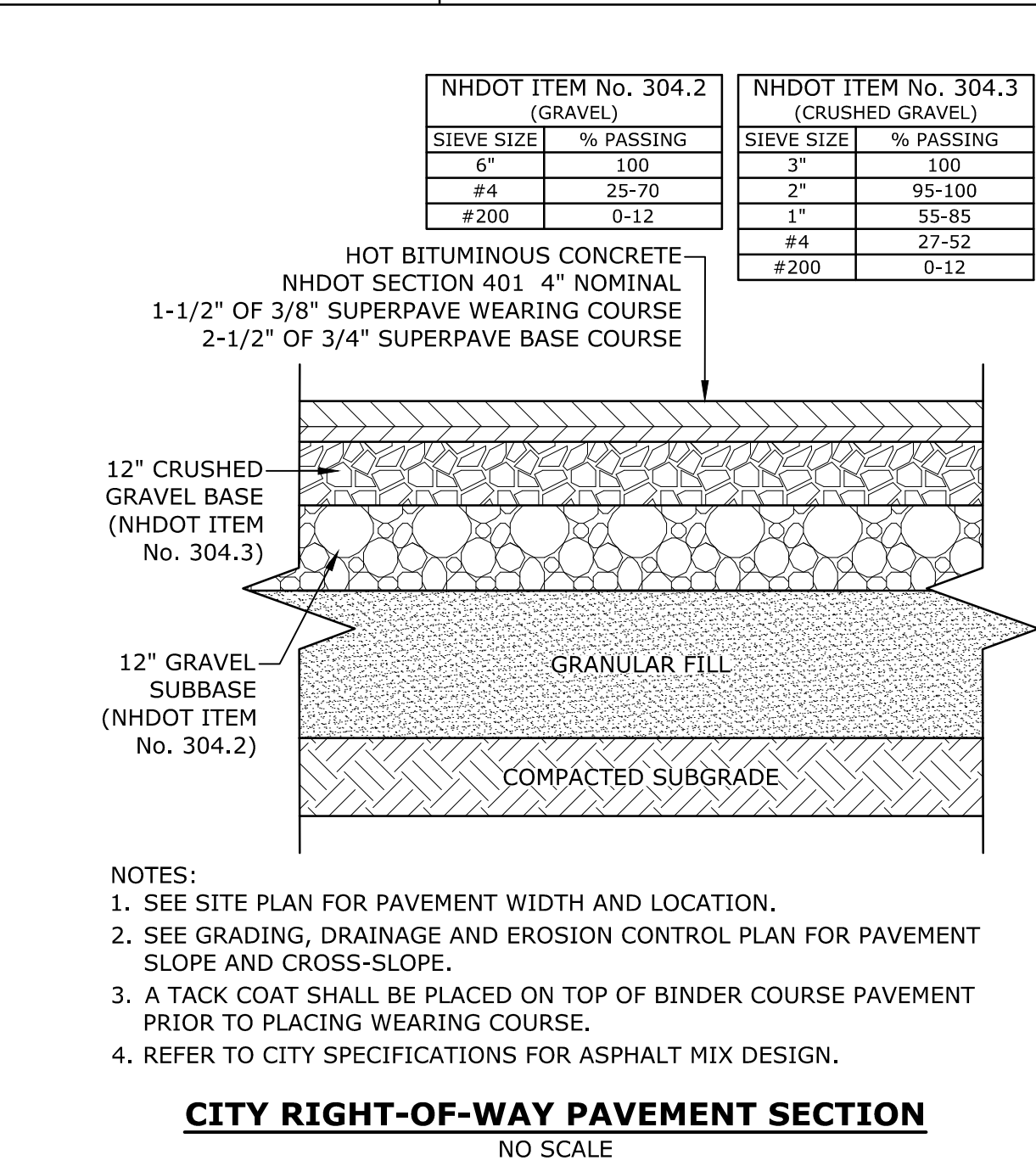
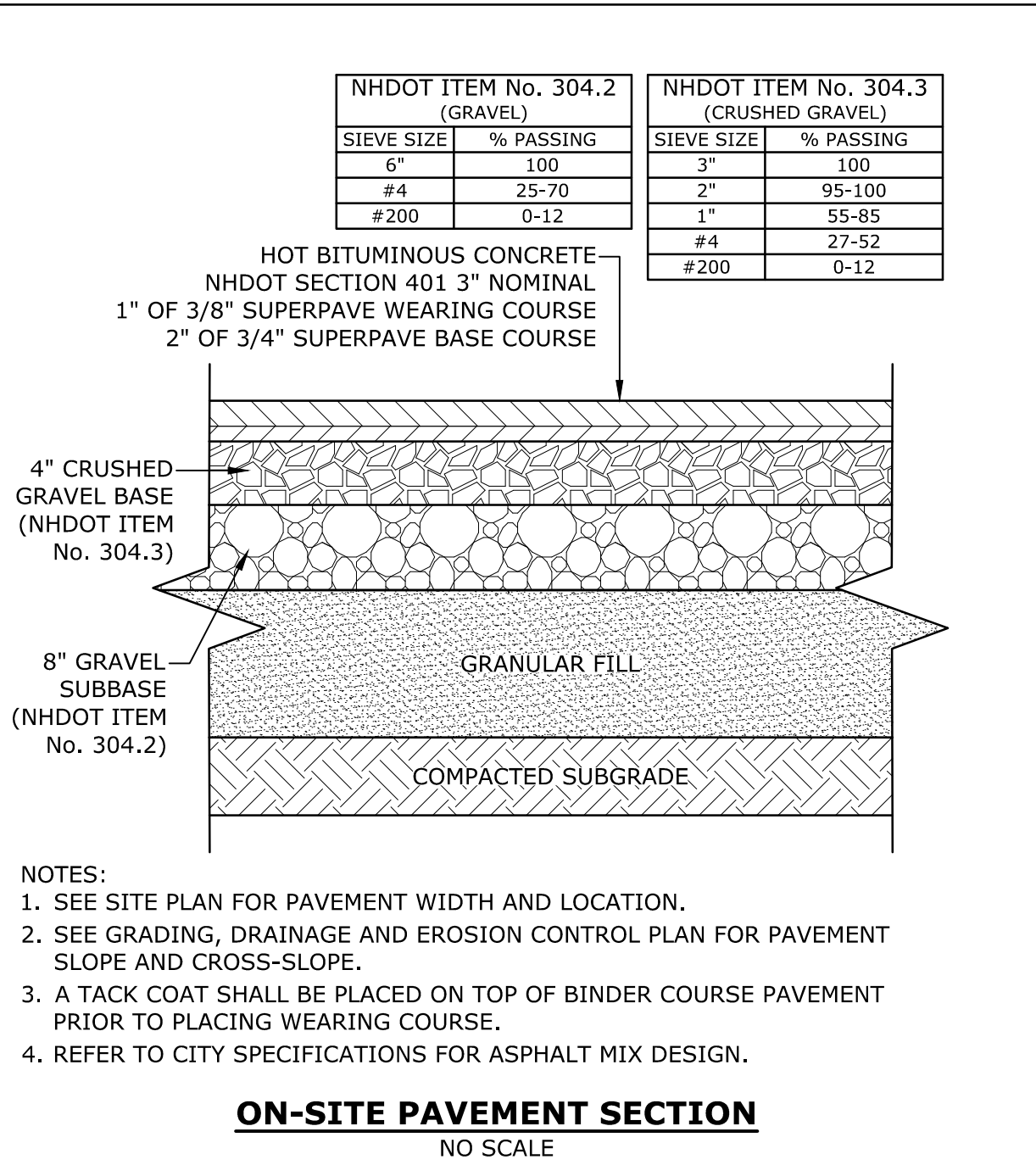
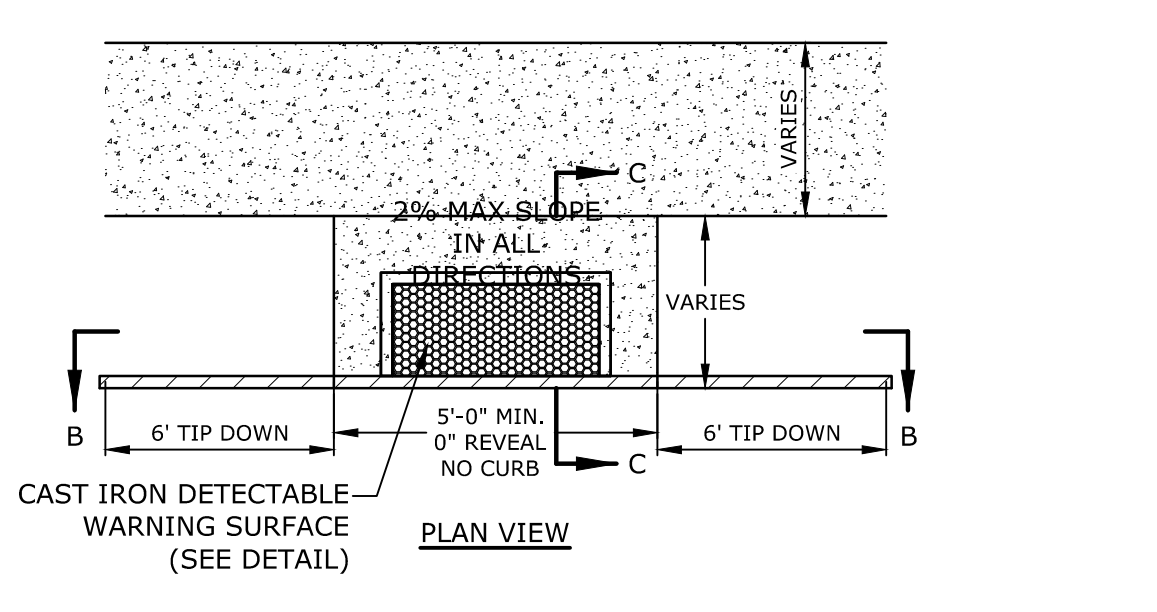
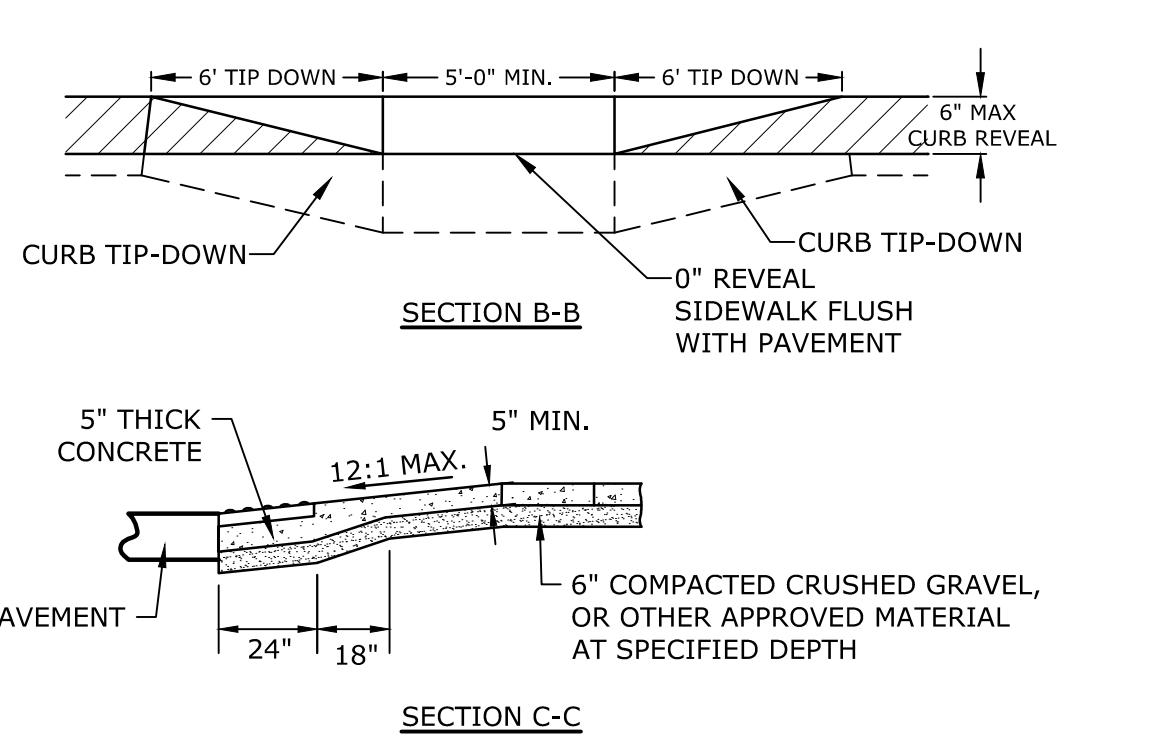
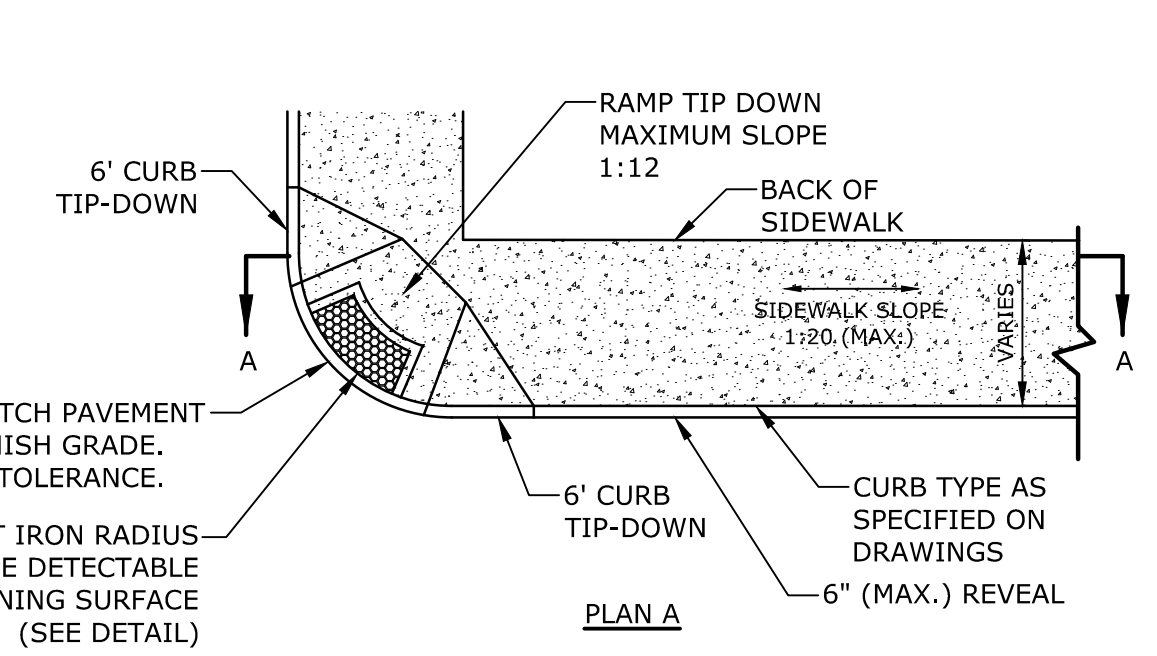
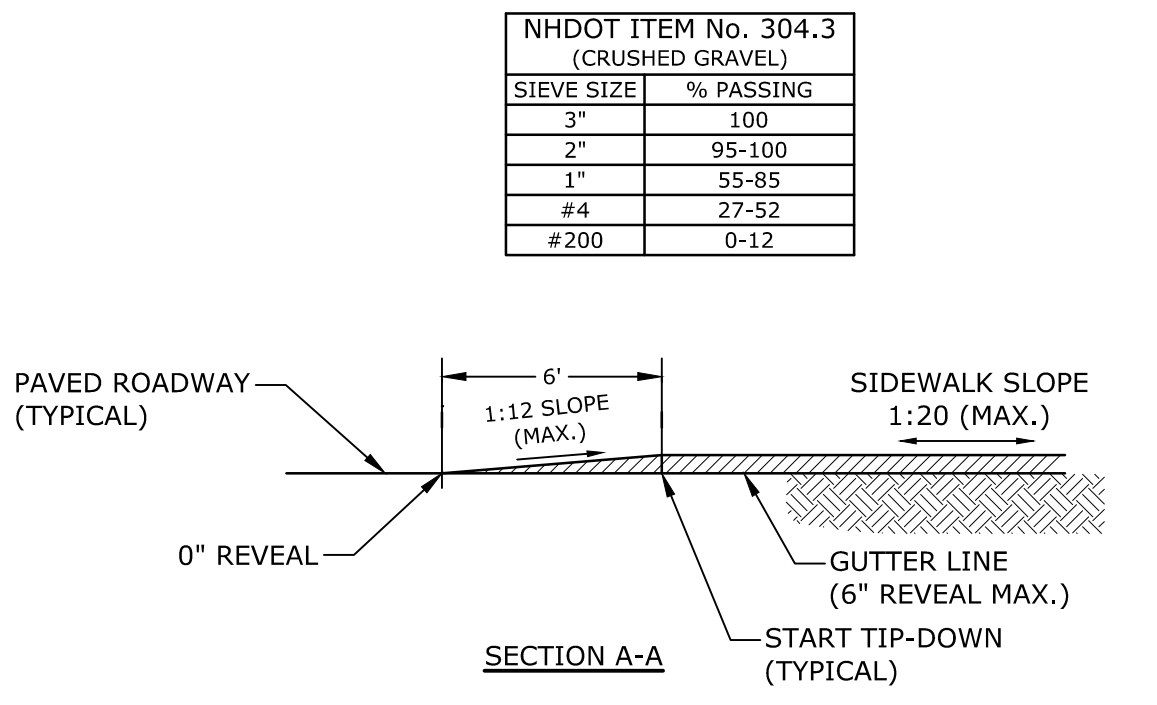
- NOTES:**
1. SEE SITE PLAN FOR SIDEWALK WIDTH AND LOCATIONS.
 2. SEE GRADING, DRAINAGE & EROSION CONTROL PLAN FOR WALK AND SIDE SLOPE GRADES.

NHDOT ITEM No. 304.2 (GRAVEL)		NHDOT ITEM No. 304.3 (CRUSHED GRAVEL)	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
6"	100	3"	100
#4	25-70	2"	95-100
#200	0-12	1"	55-85
		#4	27-52
		#200	0-12



- NOTES:**
1. ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 2. POST: SCHEDULE 40 GALVANIZED STEEL PIPE (OUTSIDE DIA. = 2.375").
 3. FINISH: POST TO BE POWDER COATED GLOSS BLACK
 4. LENGTH: AS REQUIRED
 5. WEIGHT PER LINEAR FOOT: 2.50 LBS (MIN.)
 6. HOLES: 3/8" DIAMETER (AS REQUIRED)
 7. STEEL: SHALL CONFORM TO ASTM A-499 (GRADE 60) OR ASTM A-576 (GRADE 1070-1080)

- NOTES:**
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
 2. A 6" COMPACTED CRUSHED GRAVEL BASE (NHDOT ITEM No. 304.3) SHALL BE PROVIDED BENEATH RAMPS.
 3. DETECTABLE WARNING PANEL SHALL BE CAST IRON SET IN CONCRETE (SEE DETAIL.)
 4. PROVIDE DETECTABLE WARNING SURFACES ANYTIME THAT A CURB RAMP, BLENDED TRANSITION, OR LANDING CONNECTS TO A STREET.
 5. LOCATE THE DETECTABLE WARNING SURFACES AT THE BACK OF THE CURB ALONG THE EDGE OF THE LANDING.
 6. THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 12:1, THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION.
 7. TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMPS SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FT. FROM THE ROADWAY CURBLINE.
 8. THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS.
 9. DETECTABLE WARNING PANELS SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION, OR LANDING AND THE STREET.
 10. THE TEXTURE OF THE DETECTABLE WARNING FEATURE MUST CONTRAST VISUALLY WITH THE SURROUNDING SURFACES (EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT).



CURB RADIUS TABLE

RADIUS	MAX. LENGTH
<20'	USE CURVED CURB
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
>60'	10'

- NOTES:**
1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 4. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

- NOTES:**
1. SEE SITE PLAN FOR PAVEMENT WIDTH AND LOCATION.
 2. SEE GRADING, DRAINAGE AND EROSION CONTROL PLAN FOR PAVEMENT SLOPE AND CROSS-SLOPE.
 3. A TACK COAT SHALL BE PLACED ON TOP OF BINDER COURSE PAVEMENT PRIOR TO PLACING WEARING COURSE.
 4. REFER TO CITY SPECIFICATIONS FOR ASPHALT MIX DESIGN.

- NOTES:**
1. SEE SITE PLAN(S) FOR LIMITS OF VERTICAL GRANITE CURB (VGC).
 2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
 3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
 4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
 5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
 6. ALL RADIUS 20 FEET AND SMALLER SHALL BE CONSTRUCTED USING CURVED SECTIONS.
 7. JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.

- NOTES:**
1. DETECTABLE WARNING SURFACE SHALL BE 2' X 3' CAST IRON PANEL SET IN CONCRETE.
 2. DETECTABLE WARNING SURFACE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

Proposed Multi-Family Development
Iron Horse Properties, LLC

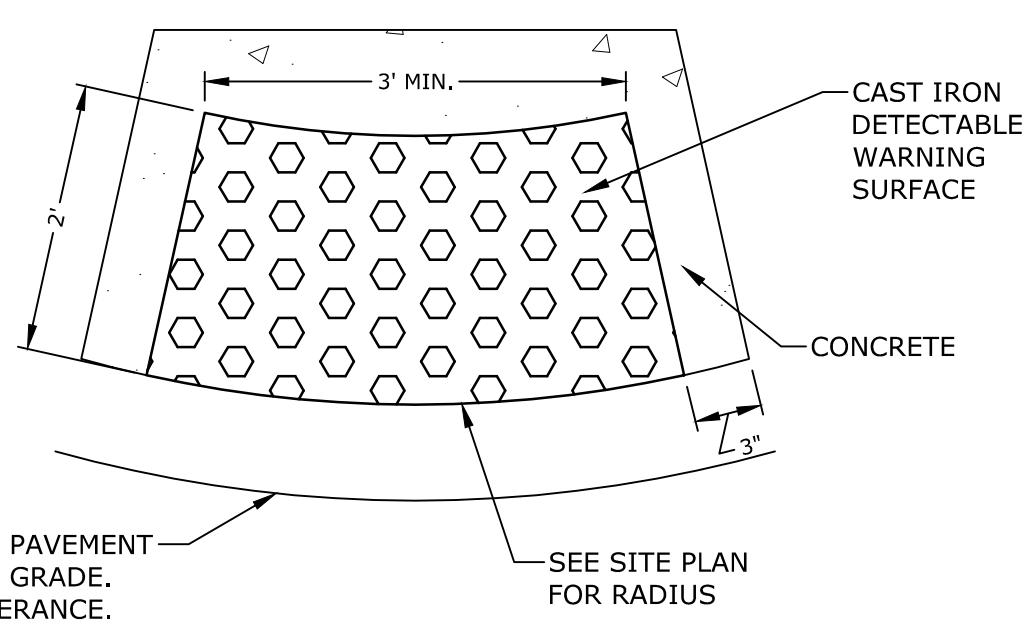
105 Bartlett Street
Portsmouth,
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EROSION CONTROL NOTES AND DETAILS SHEET

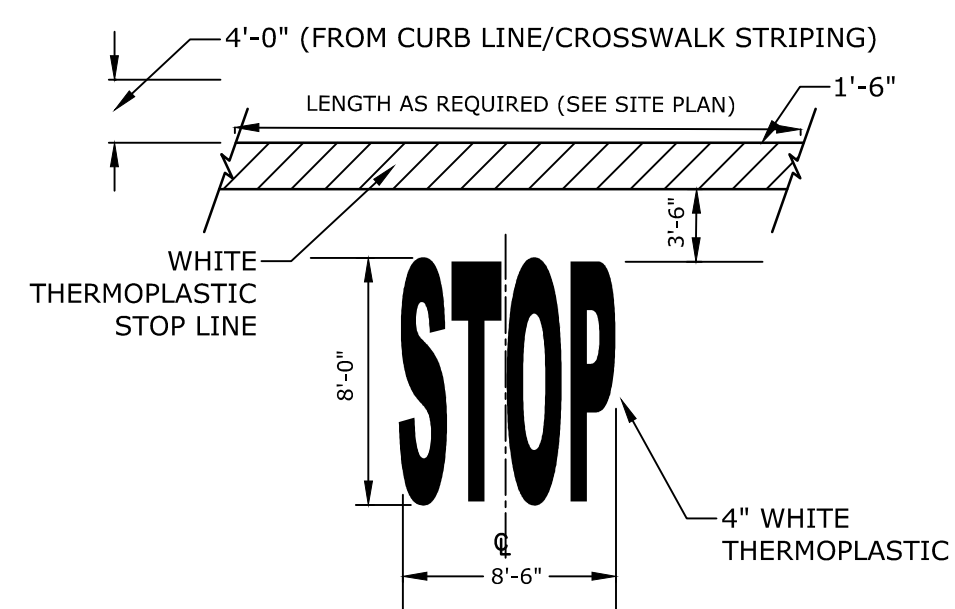
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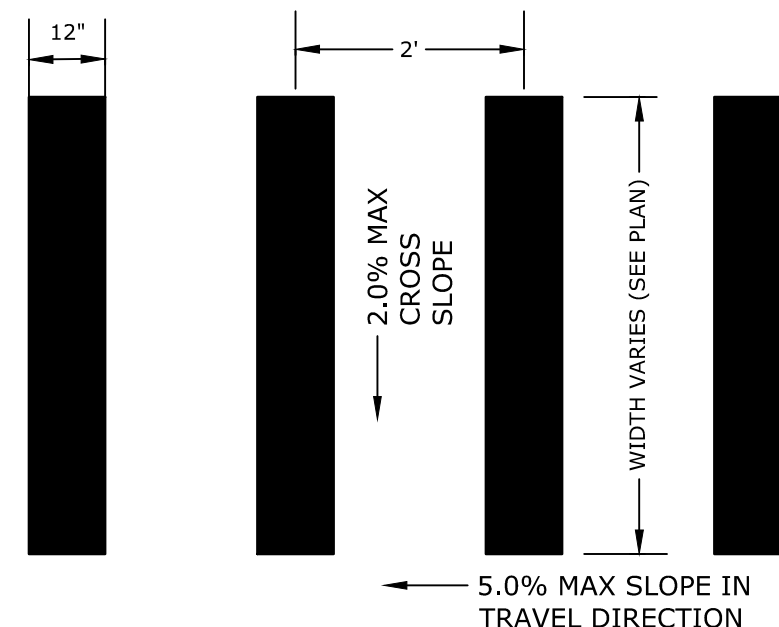
- NOTES:**
1. DETECTABLE WARNING SURFACE SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

RADIUS TYPE CAST IRON DETECTABLE WARNING SURFACE
NO SCALE



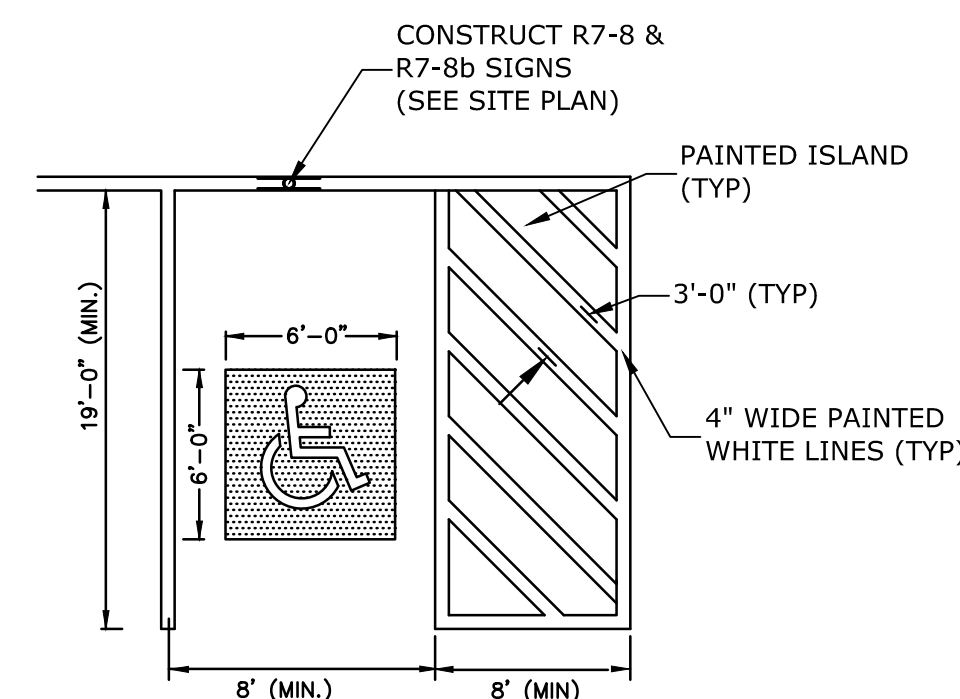
- NOTE:**
1. PAVEMENT MARKINGS TO BE INSTALLED IN LOCATIONS AS SHOWN ON SITE PLAN.
 2. STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

STOP BAR AND LEGEND
NO SCALE



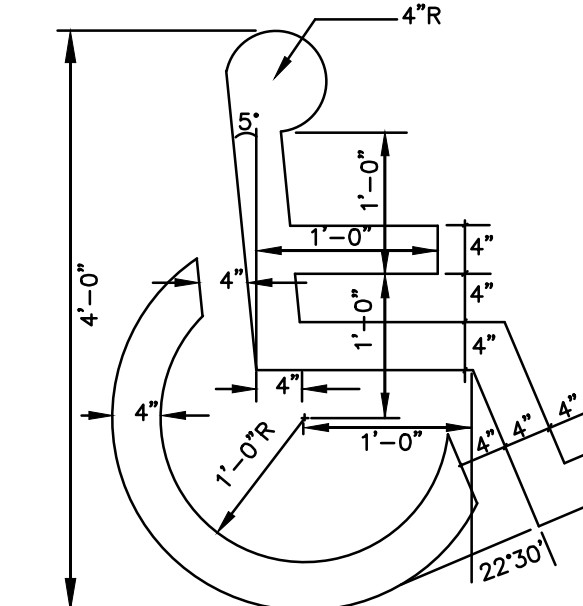
- NOTE:**
- STRIPING SHALL BE CONSTRUCTED USING WHITE THERMO PLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505

CROSSWALK STRIPING
NO SCALE



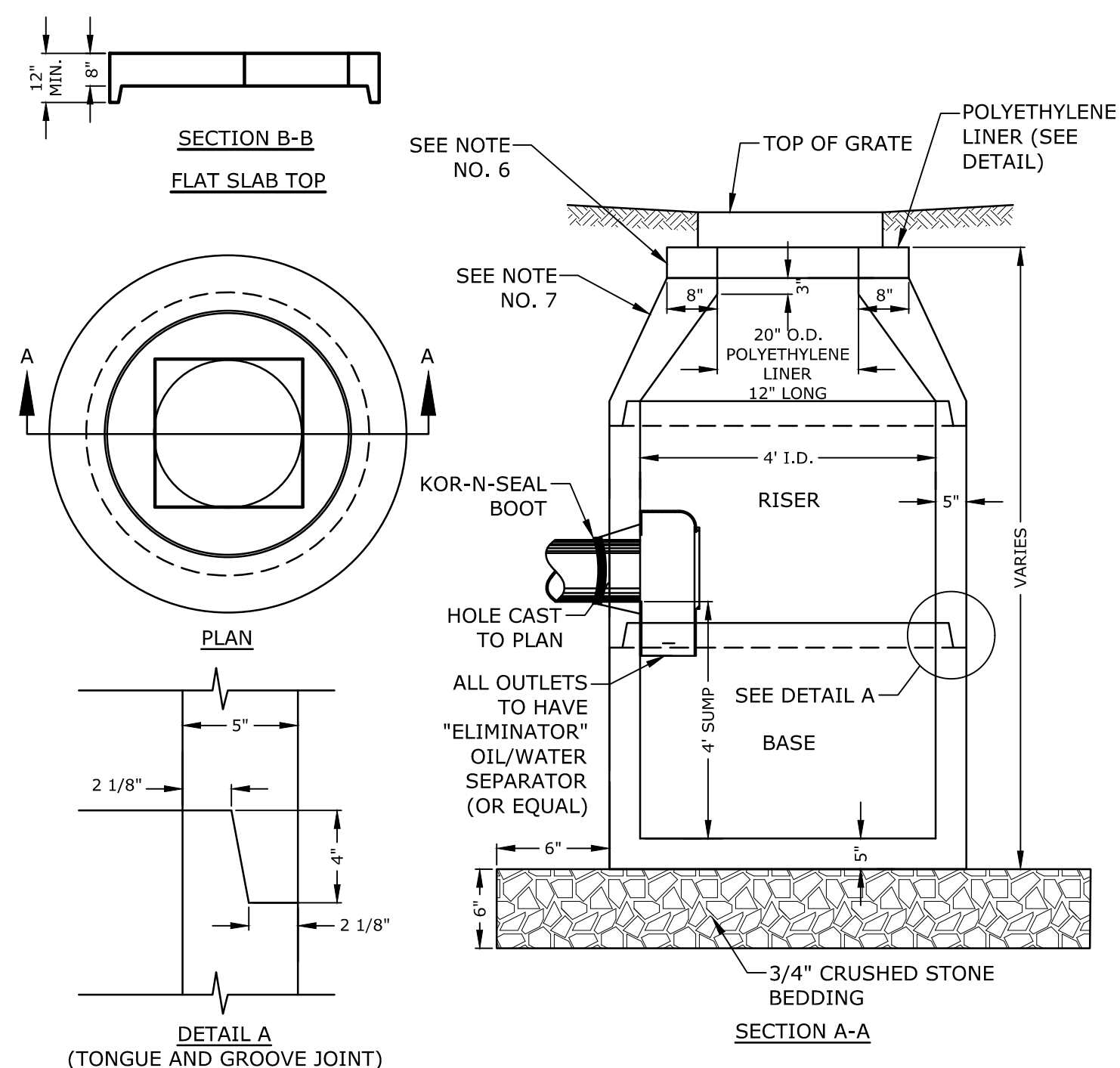
- NOTES:**
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN W/DISABILITIES ACT.

ACCESSIBLE PARKING STALL
NO SCALE



- NOTES:**
1. SYMBOL SHALL BE CONSTRUCTED IN ALL ACCESSIBLE SPACES USING WHITE THERMOPLASTIC, REFLECTORIZED PAVEMENT MARKING MATERIAL MEETING THE REQUIREMENTS OF ASTM D 4505.
 2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE LATEST ADA, STATE AND LOCAL REQUIREMENTS.

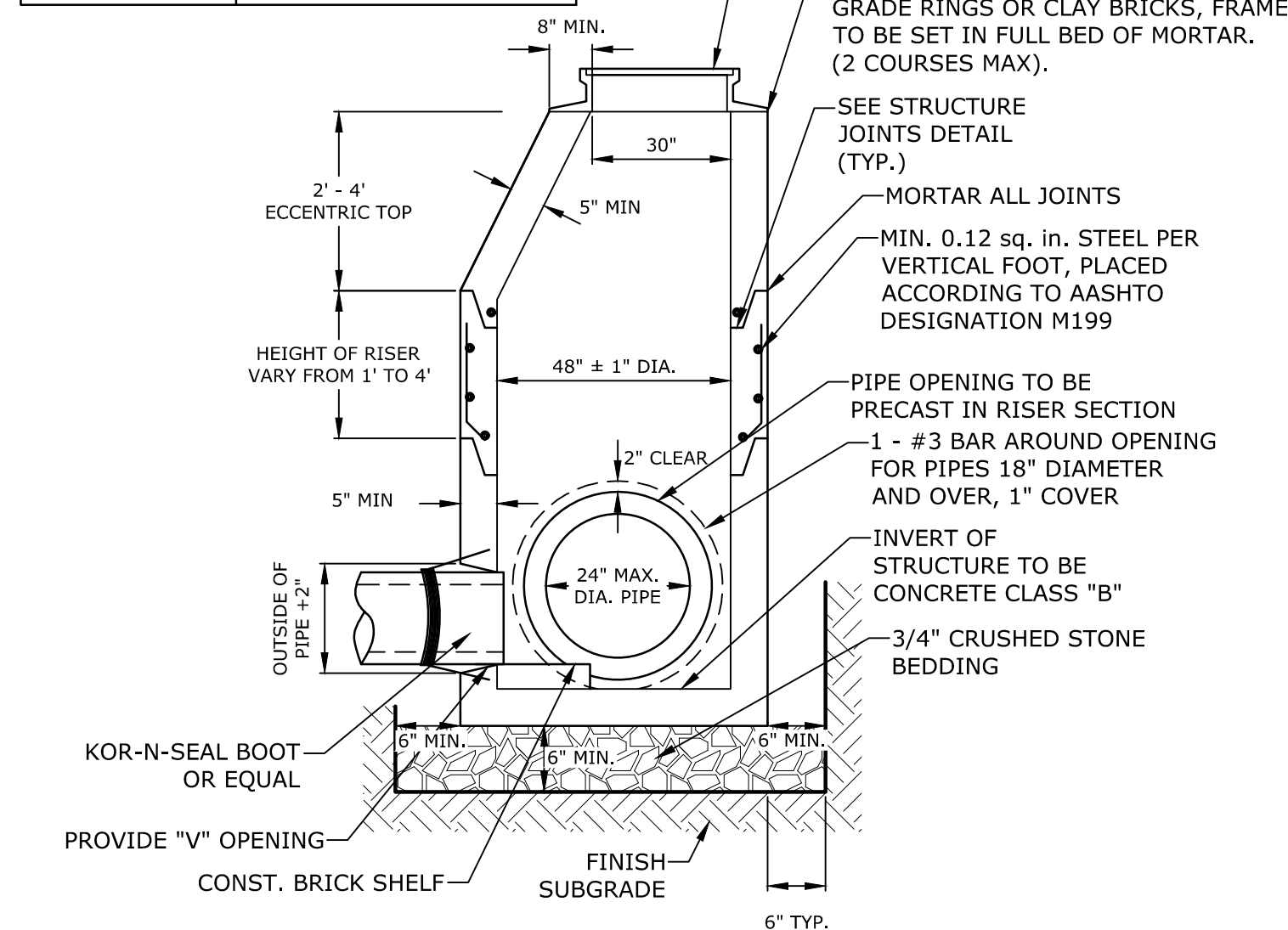
ACCESSIBLE SYMBOL
NO SCALE



- NOTES:**
1. ALL SECTIONS SHALL BE CONCRETE CLASS AA(4000 psi). CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ.IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 2. THE TONGUE AND GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
 3. RISERS OF 1', 2', 3' & 4' CAN BE USED TO REACH DESIRED DEPTH.
 4. THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
 5. FITTING FRAME TO GRADE MAY BE DONE WITH PREFABRICATED ADJUSTMENT RINGS OR CLAY BRICKS (2 COURSES MAX.).
 6. CONE SECTIONS MAY BE EITHER CONCENTRIC OR ECCENTRIC, OR FLAT SLAB TOPS MAY BE USED WHERE PIPE WOULD OTHERWISE ENTER INTO THE CONE SECTION OF THE STRUCTURE AND WHERE PERMITTED.
 7. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 8. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
 9. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
 10. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
 11. "ELIMINATOR" OIL/WATER SEPARATOR SHALL BE INSTALLED TIGHT TO INSIDE OF CATCHBASIN.
 12. "ELIMINATOR" OIL/WATER SEPARATOR SHALL BE INSTALLED TIGHT TO INSIDE OF CATCHBASIN.

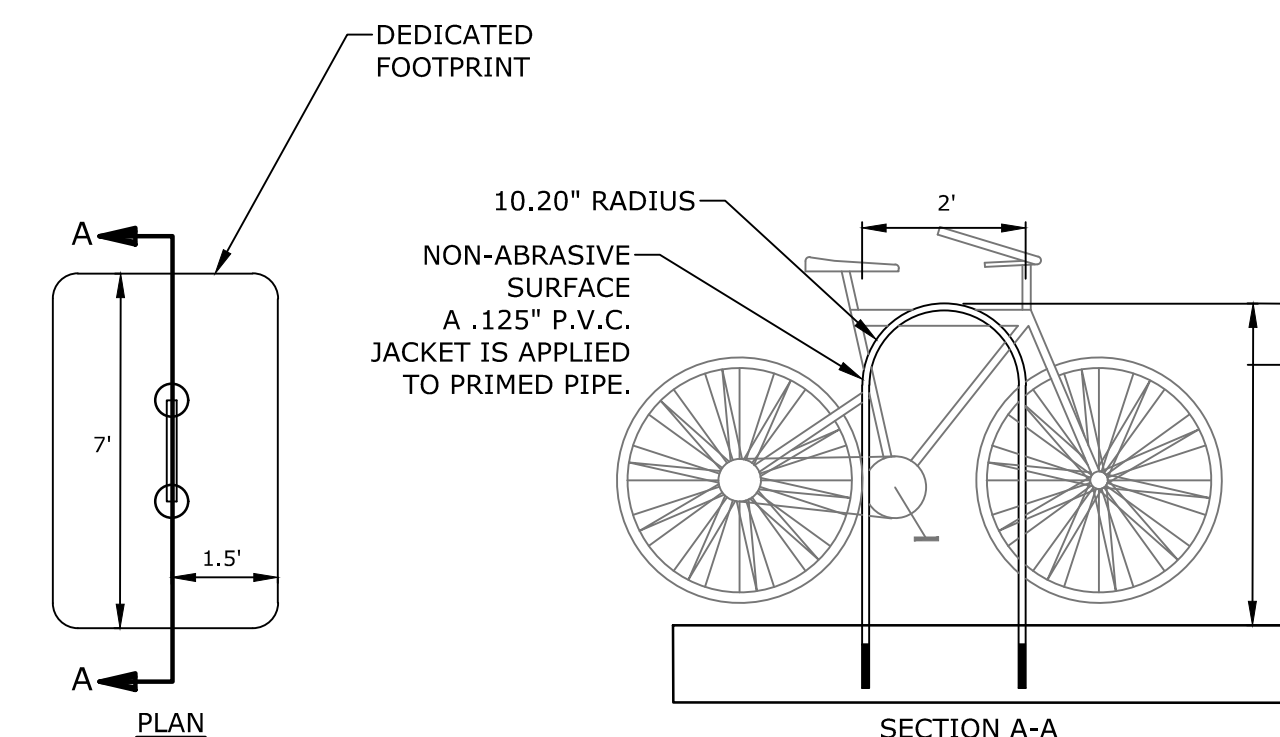
4' DIAMETER CATCHBASIN
NO SCALE

NHDOT ITEM No. 304.4 (CRUSHED STONE - FINE)	
SIEVE SIZE	% PASSING
2"	100
1-1/2"	85-100
3/4"	45-75
#4	10-45
#200	0-5

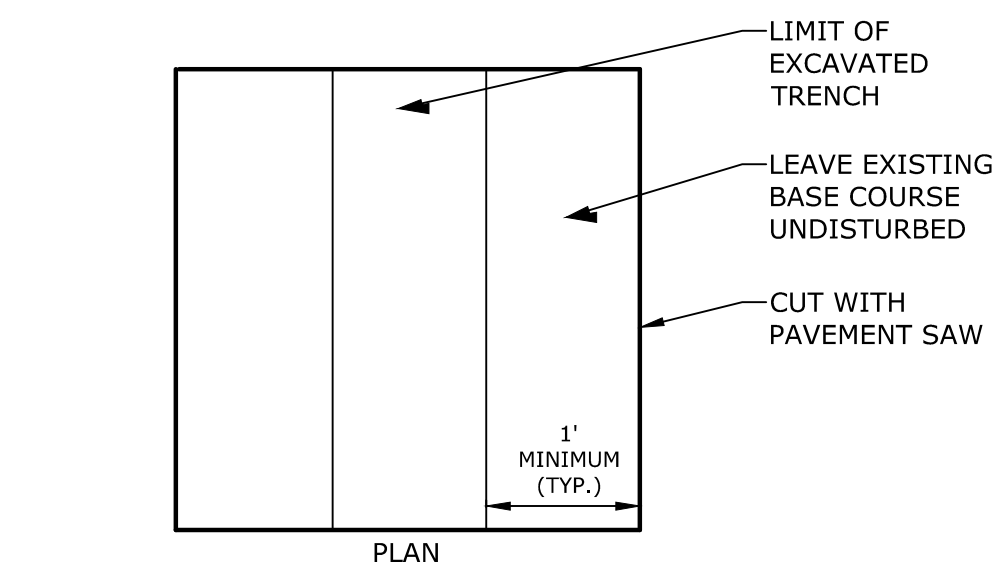
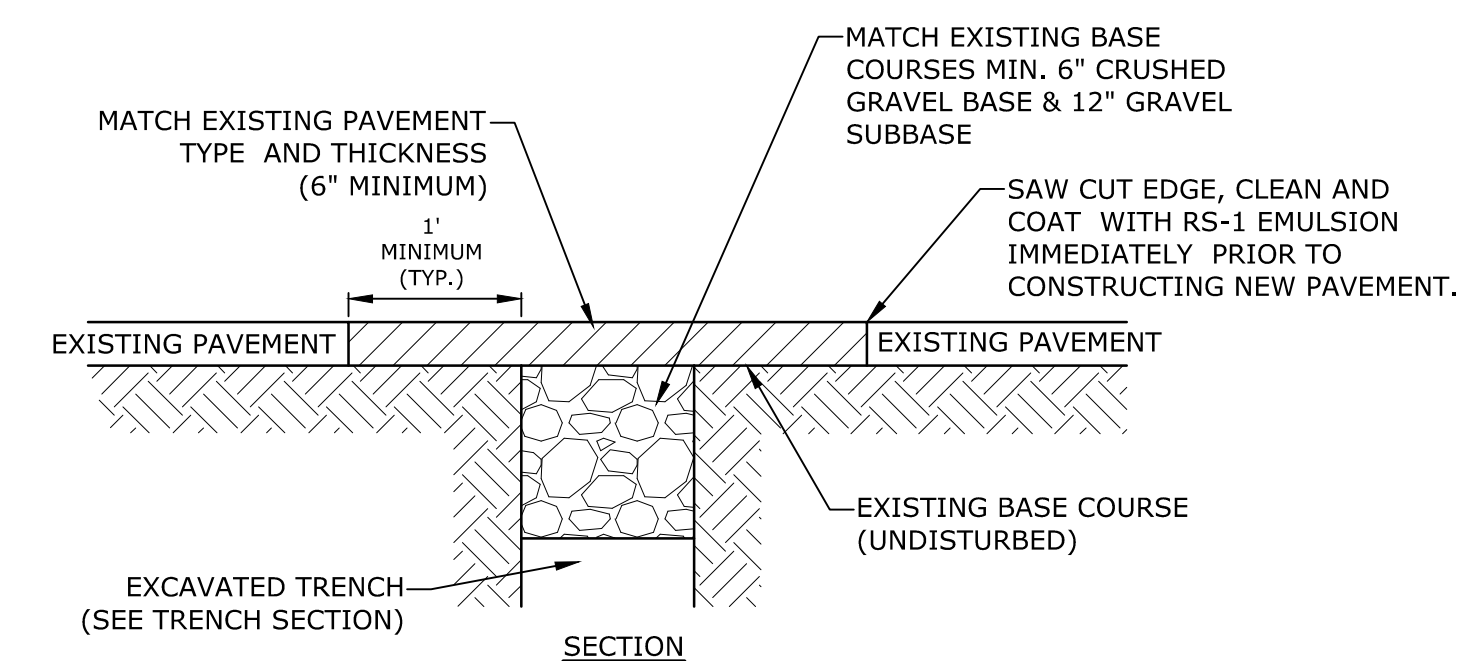


- NOTES:**
1. ALL SECTIONS SHALL BE 4,000 PSI CONCRETE.
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQUARE INCHES PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 3. THE TONGUE AND THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQUARE INCHES PER LINEAR FOOT.
 4. THE STRUCTURES SHALL BE DESIGNED FOR H2O LOADING.
 5. CONSTRUCT CRUSHED STONE BEDDING AND BACKFILL UNDER (6" MINIMUM THICKNESS)
 6. THE TONGUE AND GROOVE JOINT SHALL BE SEALED WITH ONE STRIP OF BUTYL RUBBER SEALANT.
 7. PIPE ELEVATIONS SHOWN ON PLANS SHALL BE FIELD VERIFIED PRIOR TO PRECASTING.
 8. OUTSIDE EDGES OF PIPES SHALL PROJECT NO MORE THAN 3" BEYOND INSIDE WALL OF STRUCTURE.
 9. PRECAST SECTIONS SHALL HAVE A TONGUE AND GROOVE JOINT 4" HIGH AT AN 11° ANGLE CENTERED IN THE WIDTH OF THE WALL AND SHALL BE ASSEMBLED USING AN APPROVED FLEXIBLE SEALANT IN JOINTS.
 10. ALL STRUCTURES WITH MULTIPLE PIPES SHALL HAVE A MINIMUM OF 12" OF INSIDE SURFACE BETWEEN HOLES, NO MORE THAN 75% OF A HORIZONTAL CROSS SECTION SHALL BE HOLES, AND THERE SHALL BE NO HOLES CLOSER THAN 3" TO JOINTS.

4' DIAMETER DRAIN MANHOLE
NO SCALE



BIKE RACK
NO SCALE



- NOTE:**
- COORDINATE AND OBTAIN APPROVAL FOR ALL TRENCHING AND PATCHING WITHIN CITY RIGHT OF WAY WITH CITY OF PORTSMOUTH DPW PRIOR TO COMMENCING WORK.

ROADWAY TRENCH PATCH
NO SCALE

Proposed Multi-Family Development

Iron Horse Properties, LLC

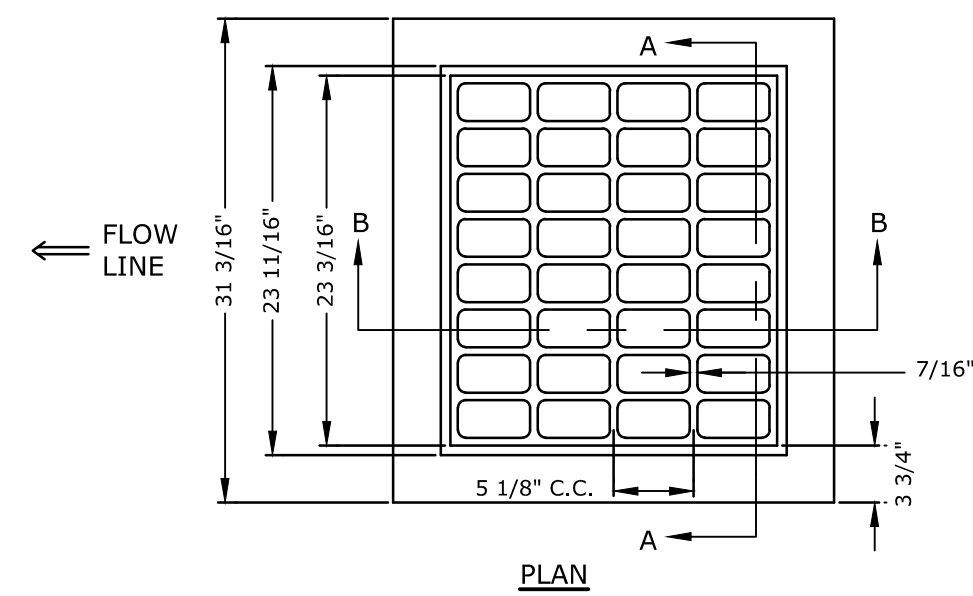
105 Bartlett Street
Portsmouth,
New Hampshire

MARK	DATE	DESCRIPTION
B	2/6/2020	Design Review Submission
A	1/2/2020	ZBA Submission
MARK	DATE	DESCRIPTION

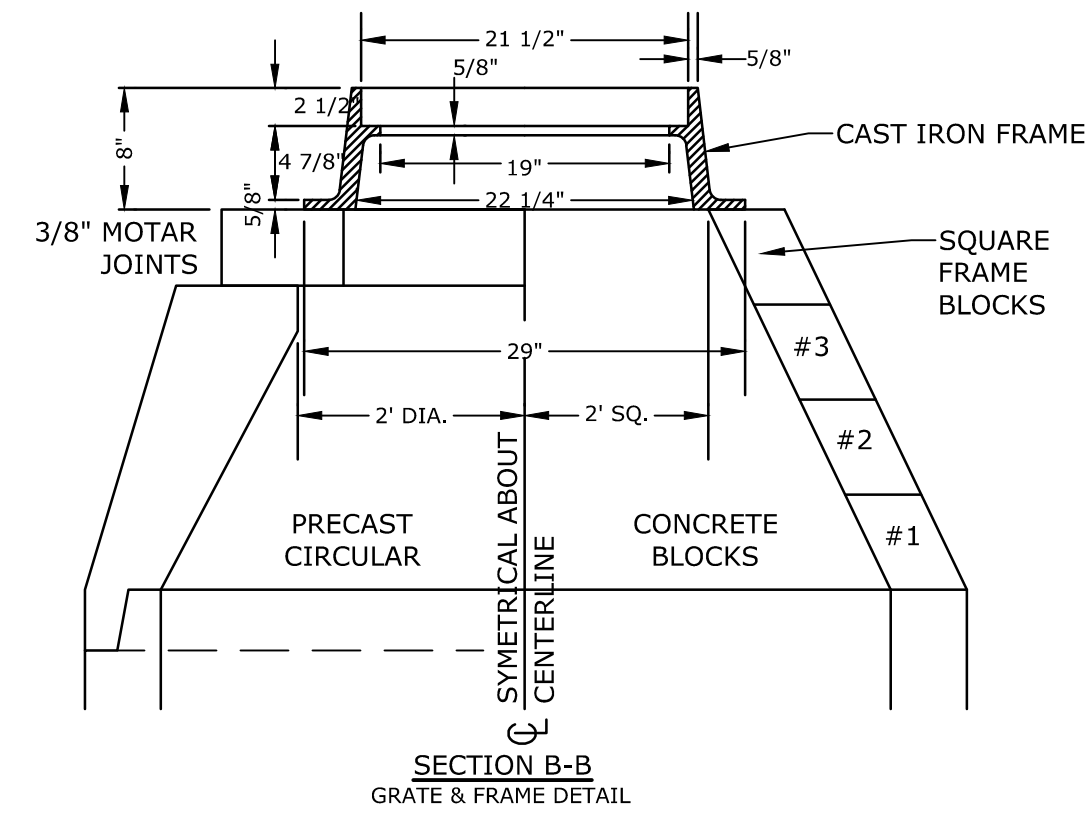
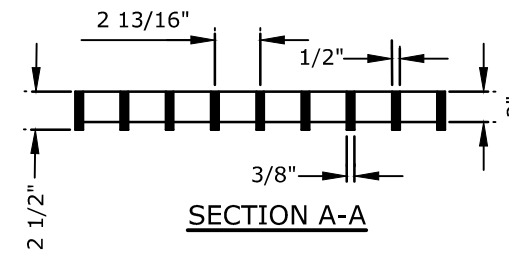
PROJECT NO: C-0960-006
DATE: January 2, 2020
FILE: C-0960-006_C-DTLS.DWG
DRAWN BY: NAH
CHECKED: PMC
APPROVED: BML

EROSION CONTROL NOTES AND DETAILS SHEET

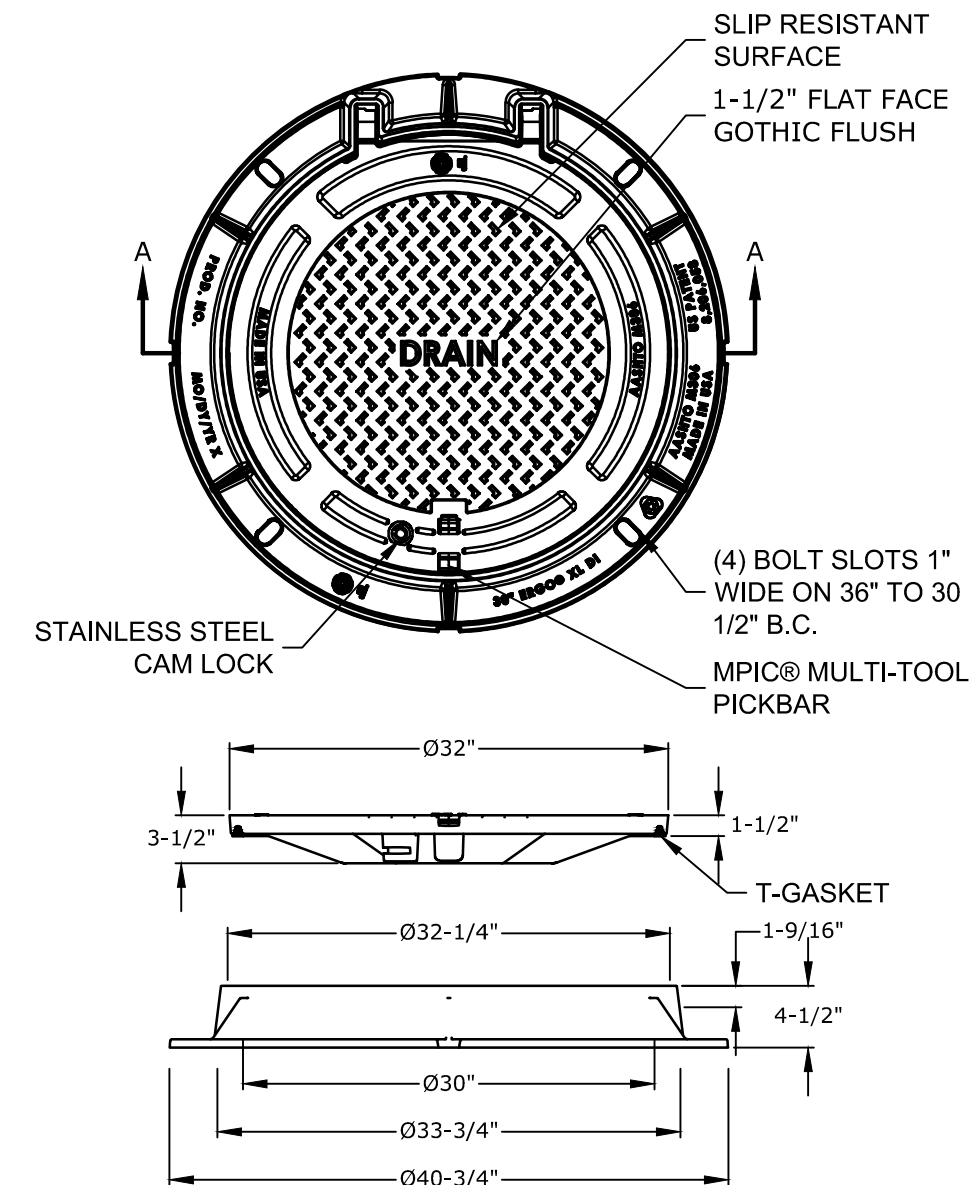
SCALE: AS SHOWN



- NOTE:**
1. GRATE TO BE CAST IRON (NHDOT TYPE B ALTERNATE 1)
 2. FRAME AND GRATE TO BE MANUFACTURED IN THE USA

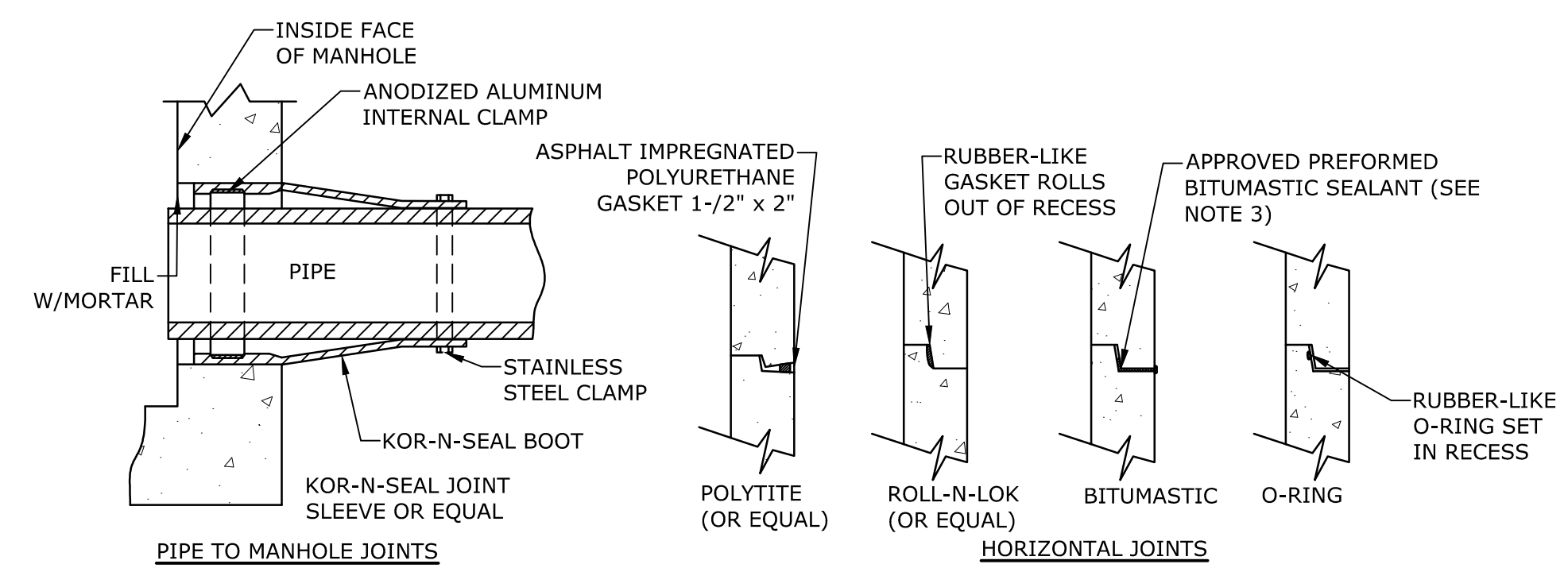


CATCH BASIN FRAME & GRATE
NO SCALE



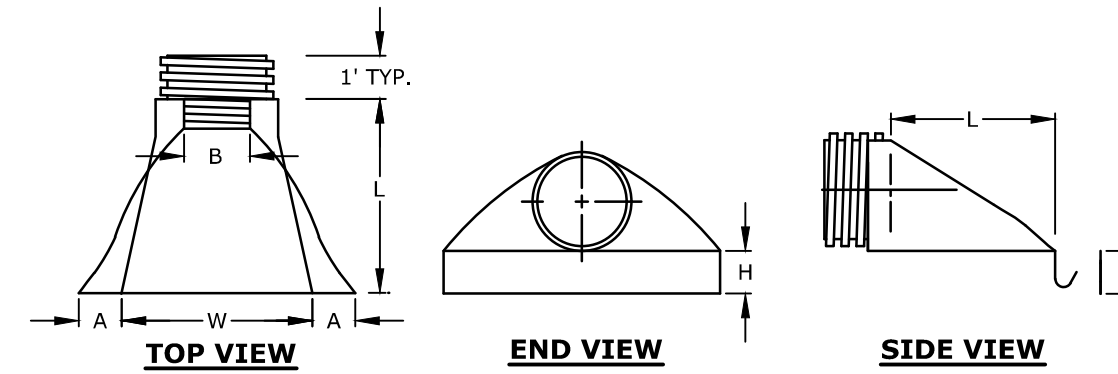
- NOTES:**
1. MANHOLE FRAME AND COVER SHALL BE 32" HINGED ERGO XL BY EJ CO.
 2. ALL DIMENSIONS ARE NOMINAL.
 3. FRAMES USING NARROWER DIMENSIONS FOR THICKNESS ARE ALLOWED PROVIDED:
 - A. THE FRAMES MEET OR EXCEED THE SPECIFIED LOAD RATING.
 - B. THE INTERIOR PERIMETER (SEAT AREA) DIMENSIONS OF THE FRAMES REMAIN THE SAME TO ALLOW CONTINUED USE OF EXISTING GRATES/COVERS AS THE EXISTING FRAMES ALLOW, WITHOUT SHIMS OR OTHER MODIFICATIONS OR ACCOMMODATIONS.
 - C. ALL OTHER PERTINENT REQUIREMENTS OF THE SPECIFICATIONS ARE MET.
 4. LABEL TYPE OF MANHOLE WITH 3" HIGH LETTERS IN THE CENTER OF THE COVER.

DRAIN MANHOLE FRAME & COVER
NO SCALE



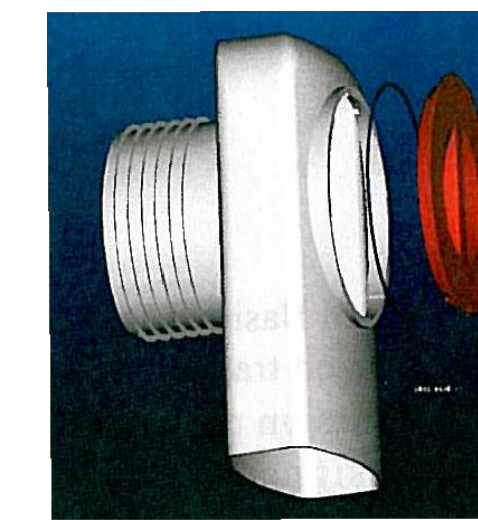
- NOTES:**
1. HORIZONTAL JOINTS BETWEEN THE SECTIONS OF PRECAST CONCRETE BARRELS SHALL BE PER CITY OF PORTSMOUTH DPW STANDARD AND SHALL BE SEALED FOR WATERTIGHTNESS USING A DOUBLE ROW ELASTOMERIC OR MASTIC-LIKE GASKET.
 2. PIPE TO MANHOLE JOINTS SHALL BE PER CITY OF PORTSMOUTH STANDARD.
 3. FOR BITUMASTIC TYPE JOINTS THE AMOUNT OF SEALANT SHALL BE SUFFICIENT TO FILL AT LEAST 75% OF THE JOINT CAVITY.
 4. ALL GASKETS, SEALANTS, MORTAR, ETC. SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS' WRITTEN INSTRUCTIONS.

MANHOLE JOINTS
NO SCALE



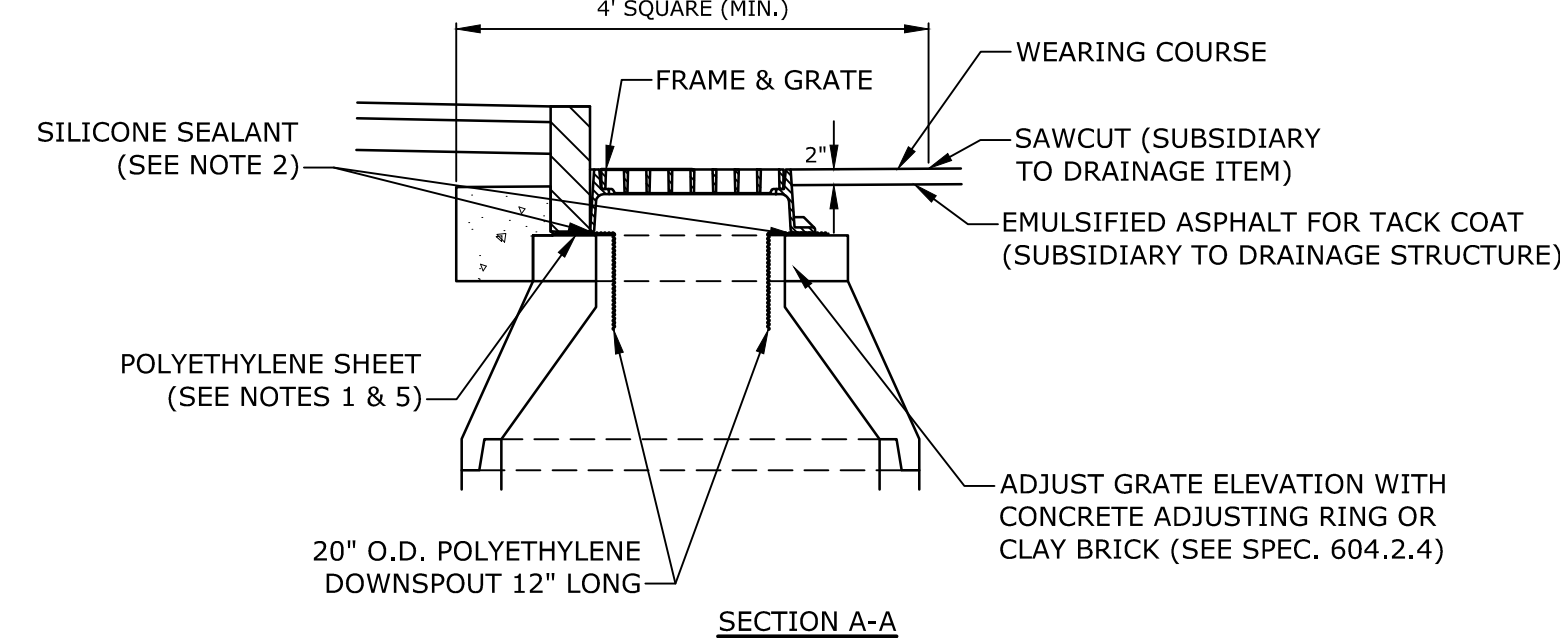
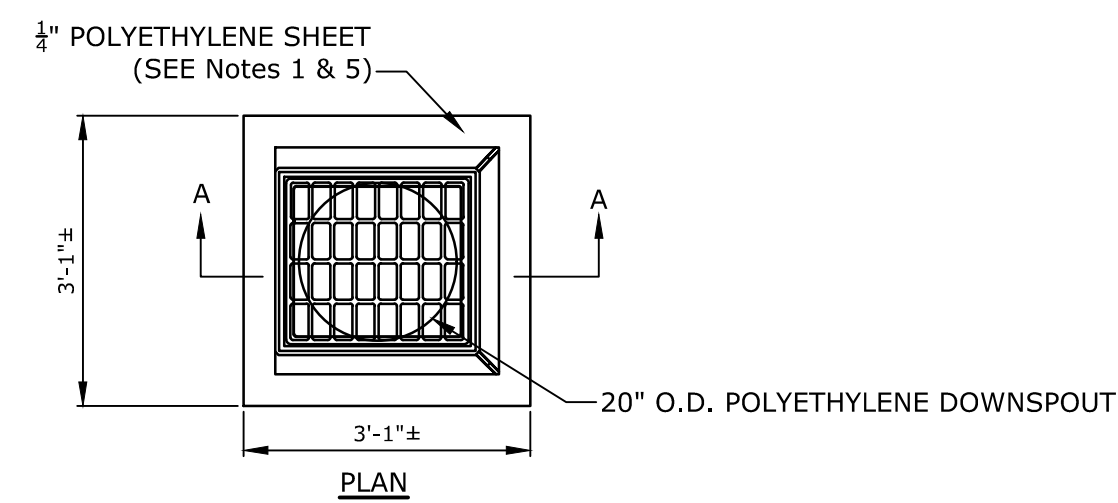
PIPE Ø	DIMENSION (INCHES)					
	PART NO.	A(1±)	B MAX	H(1±)	L(1/2±)	W(2±)
12" & 15"	1210 NP	6.5	10	6.5	25	29
18"	1810 NP	7.5	15	6.5	32	35
24"	2410 NP	7.5	18	6.5	36	45
36"	3610 NP	10.5	NA	7.0	53	68

HDPE END SECTION DIMENSIONS
NO SCALE



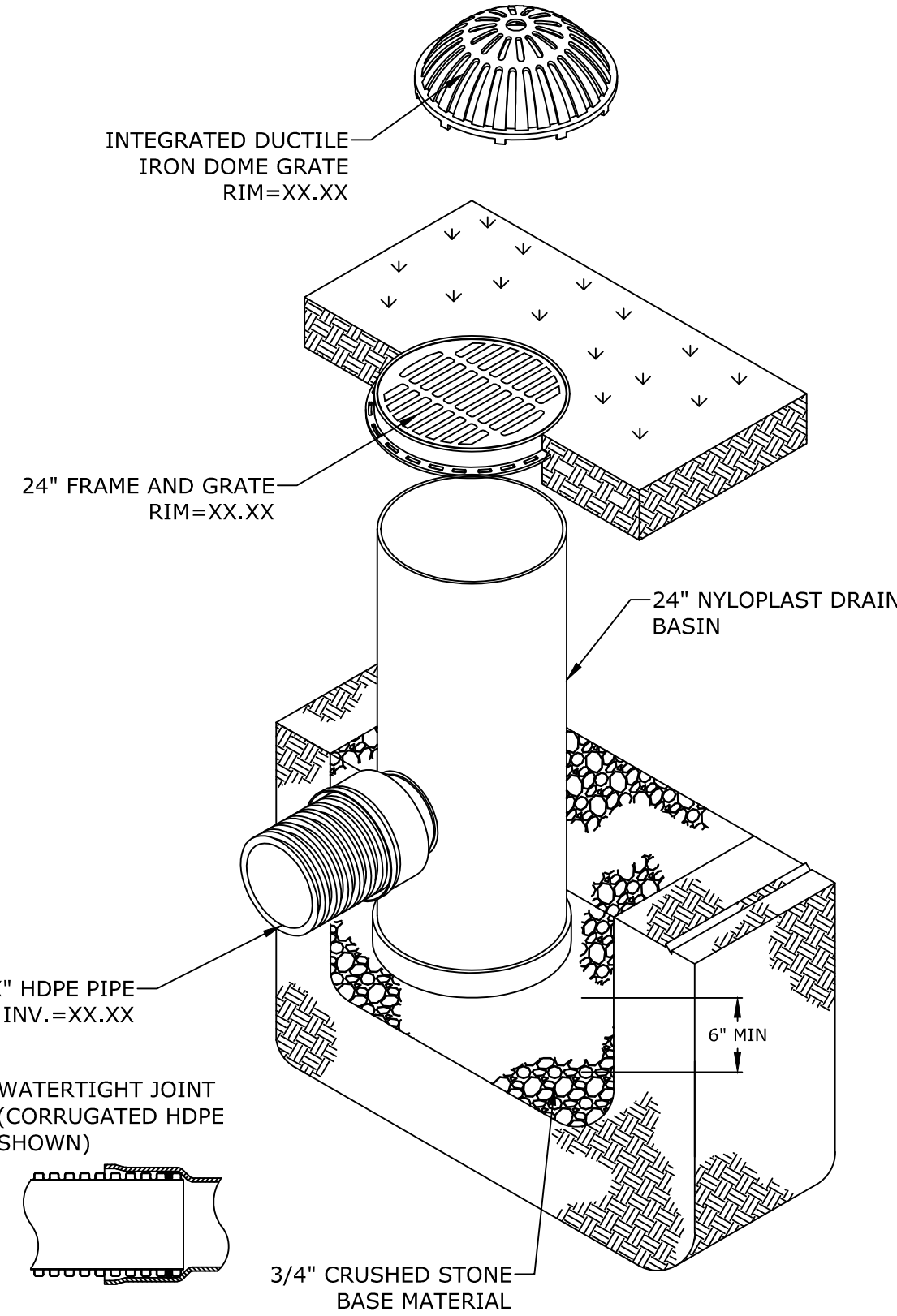
- NOTES:**
1. ALL CATCH BASIN OUTLETS TO HAVE "ELIMINATOR" OIL AND FLOATING DEBRIS TRAP MANUFACTURED BY KLEANSTREAM (NO EQUAL)
 2. INSTALL DEBRIS TRAP TIGHT TO INSIDE OF STRUCTURE.
 3. 1/4" HOLE SHALL BE DRILLED IN TOP OF DEBRIS TRAP

"ELIMINATOR" OIL FLOATING DEBRIS TRAP
NO SCALE



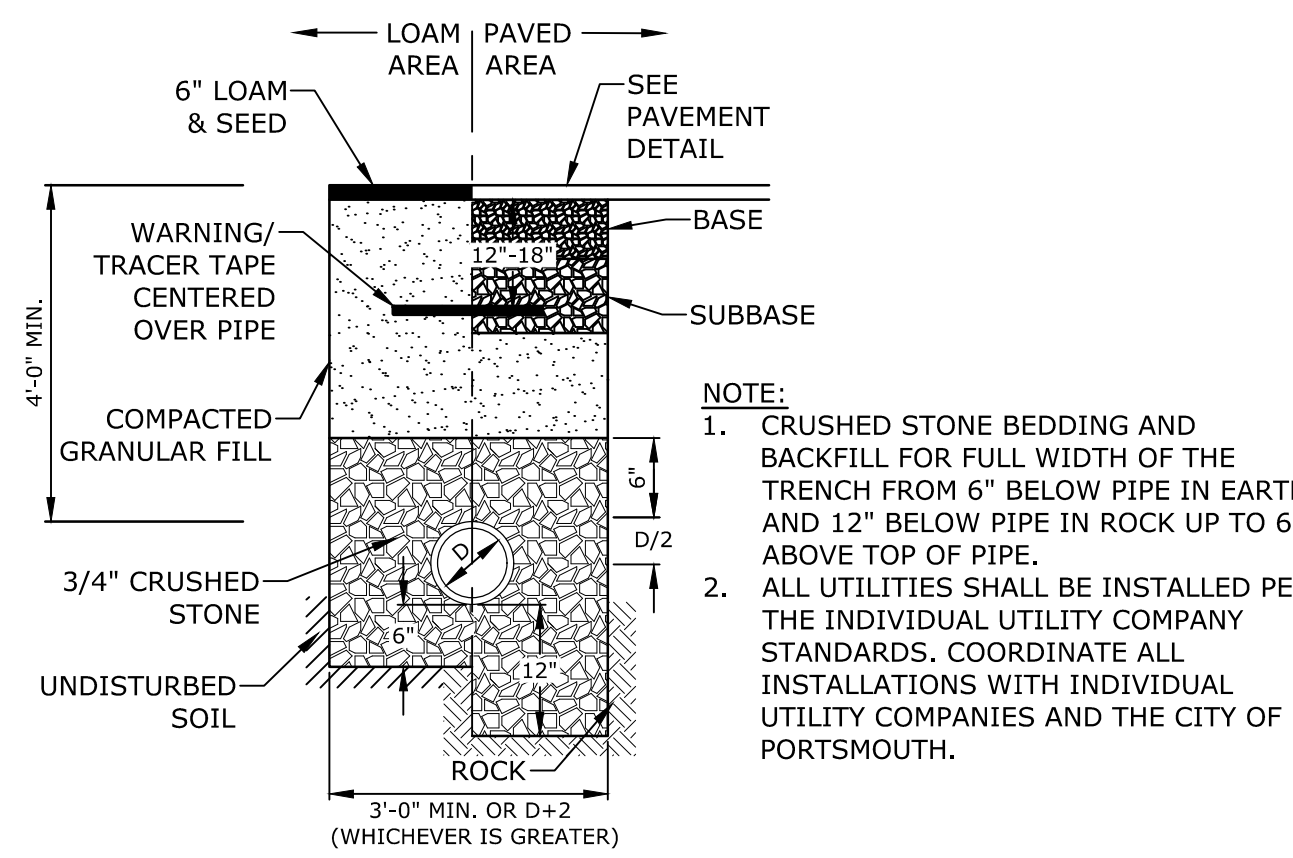
- NOTES:**
1. POLYETHYLENE LINER (ITEM 604.0007) SHALL BE FABRICATED AT THE SHOP. DOWNSPOUT SHALL BE EXTRUSION FILLET WELDED TO THE POLYETHYLENE SHEET.
 2. PLACE A CONTINUOUS BEAD OF AN APPROVED SILICONE SEALANT (SUBSIDIARY TO ITEM 604.0007) BETWEEN FRAME AND POLYETHYLENE SHEET.
 3. PLACE CLASS AA CONCRETE TO 2" BELOW THE TOP OF THE GRATE ELEVATION (SUBSIDIARY TO DRAINAGE STRUCTURE).
 4. USE ON DRAINAGE STRUCTURES 4" MIN. DIAMETER ONLY.
 5. TRIM POLYETHYLENE SHEET A MAXIMUM OF 4" OUTSIDE THE FLANGE ON THE FRAME FOR THE CATCH BASIN BEFORE PLACING CONCRETE (EXCEPT AS SHOWN WHEN USED WITH 3-FLANGE FRAME AND CURB).
 6. THE CENTER OF THE GRATE & FRAME MAY BE SHIFTED A MAXIMUM OF 6" FROM THE CENTER OF THE DOWNSPOUT IN ANY DIRECTION.
 7. PLACED ONLY IN DRAINAGE STRUCTURES IN PAVEMENT.
 8. SEE NHDOT DR-04, "DI-DB, UNDERDRAIN FLUSHING BASIN AND POLYETHYLENE LINER DETAILS", FOR ADDITIONAL INFORMATION.
 9. CATCHBASINS WITHIN CITY RIGHT OF WAY SHALL HAVE A POLYETHYLENE LINER

POLYETHYLENE LINER
NO SCALE

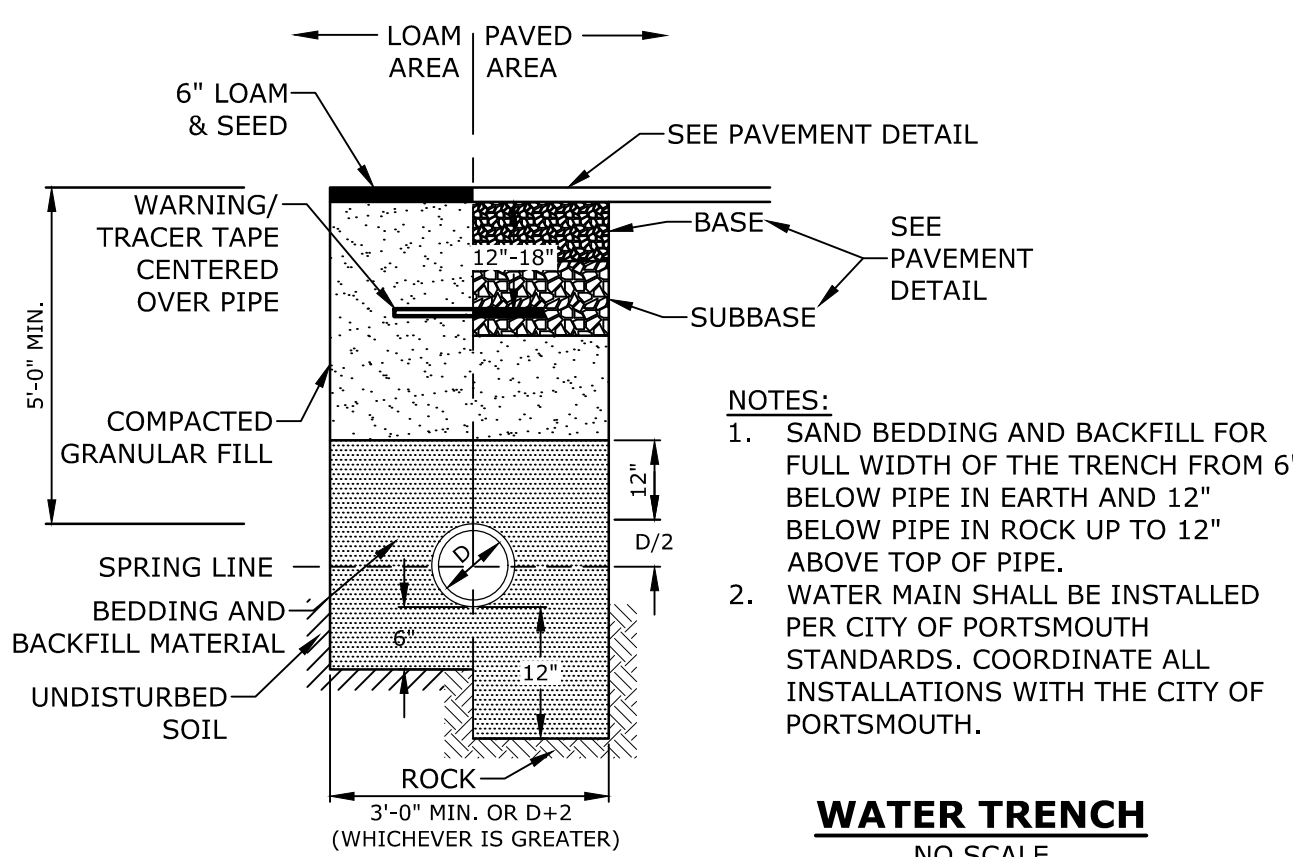


- NOTES:**
1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
 2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
 3. SEE GRADING, DRAINAGE, AND EROSION CONTROL PLAN FOR LOCATIONS.

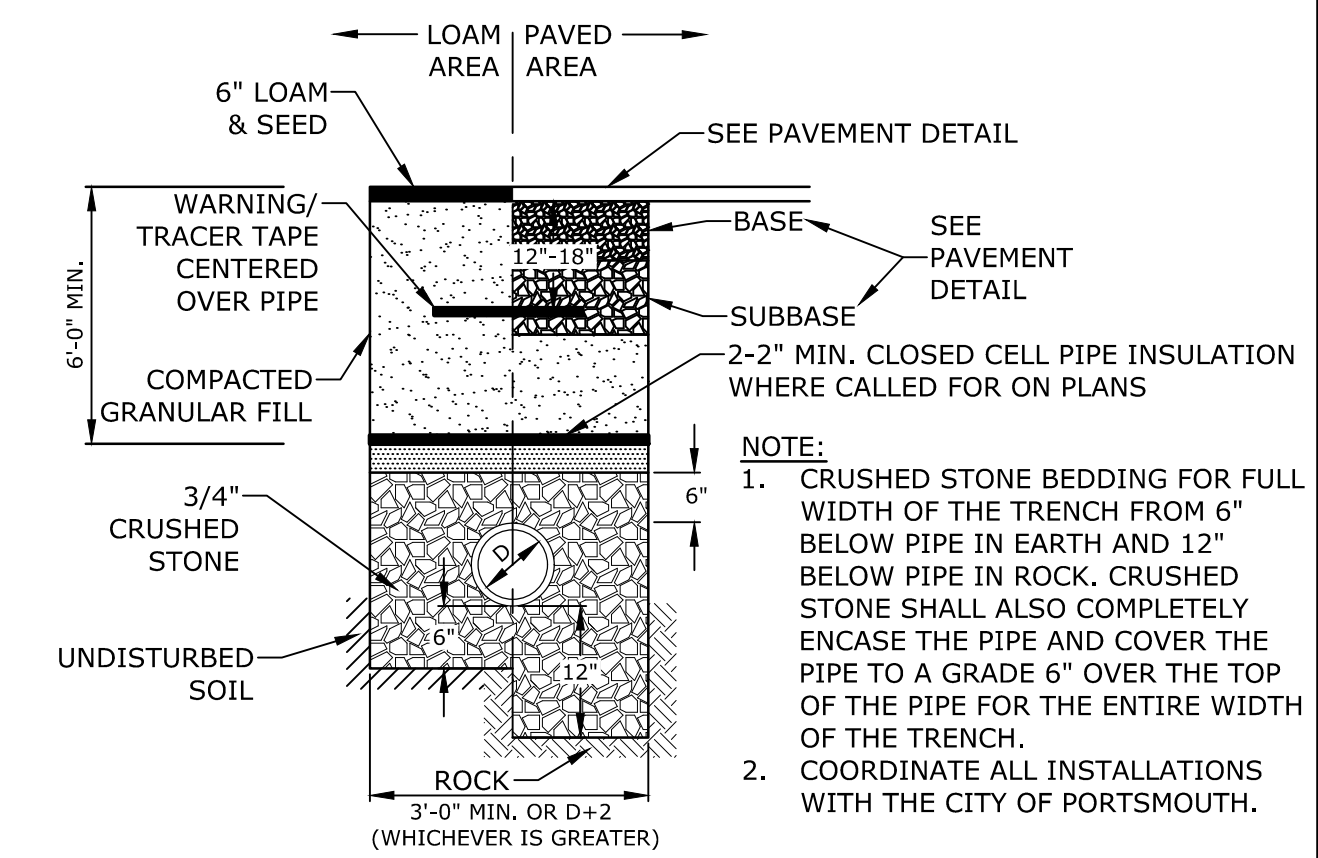
YARD DRAIN
NO SCALE



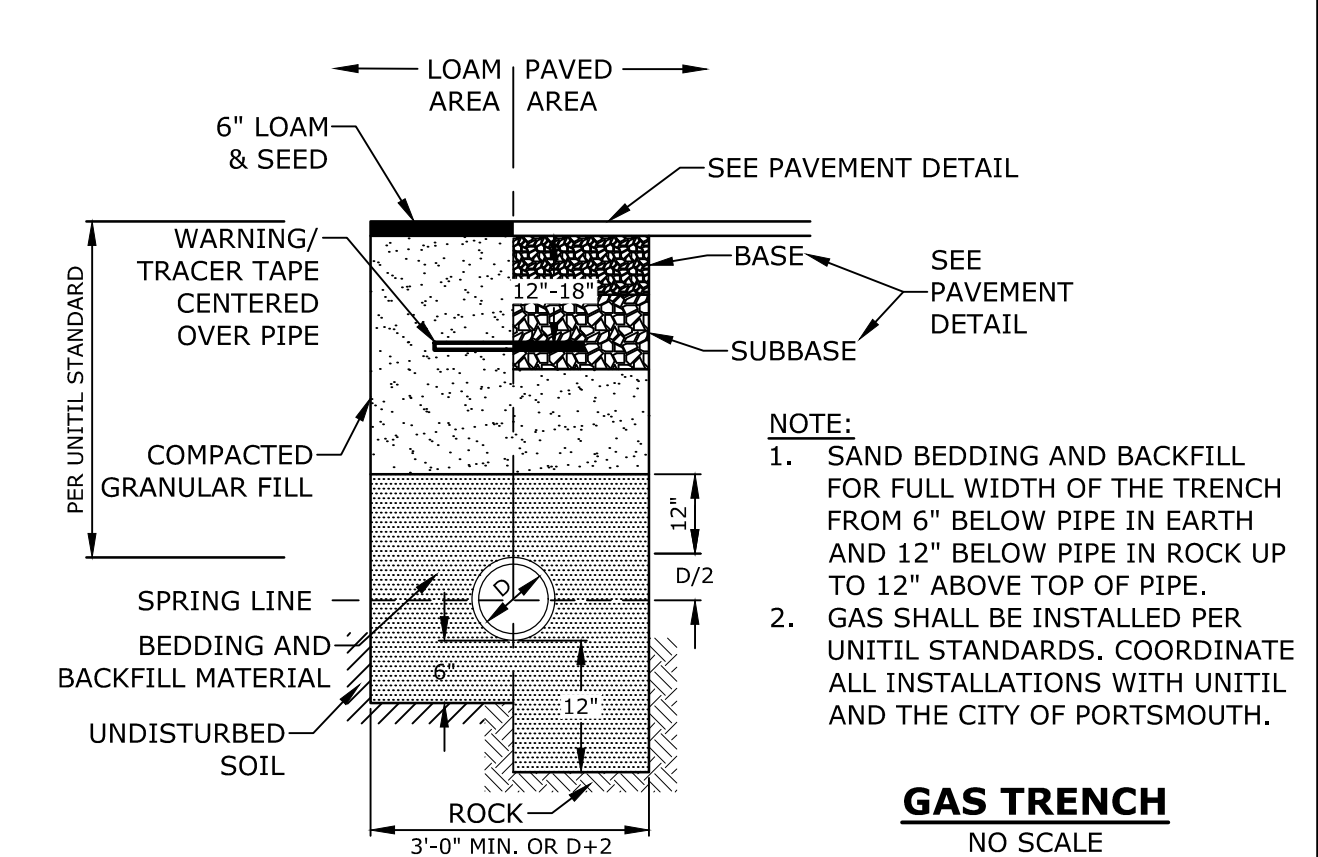
STORM DRAIN TRENCH
NO SCALE



WATER TRENCH
NO SCALE



SEWER SERVICE TRENCH
NO SCALE



GAS TRENCH
NO SCALE

Proposed Multi-Family Development

Iron Horse Properties, LLC

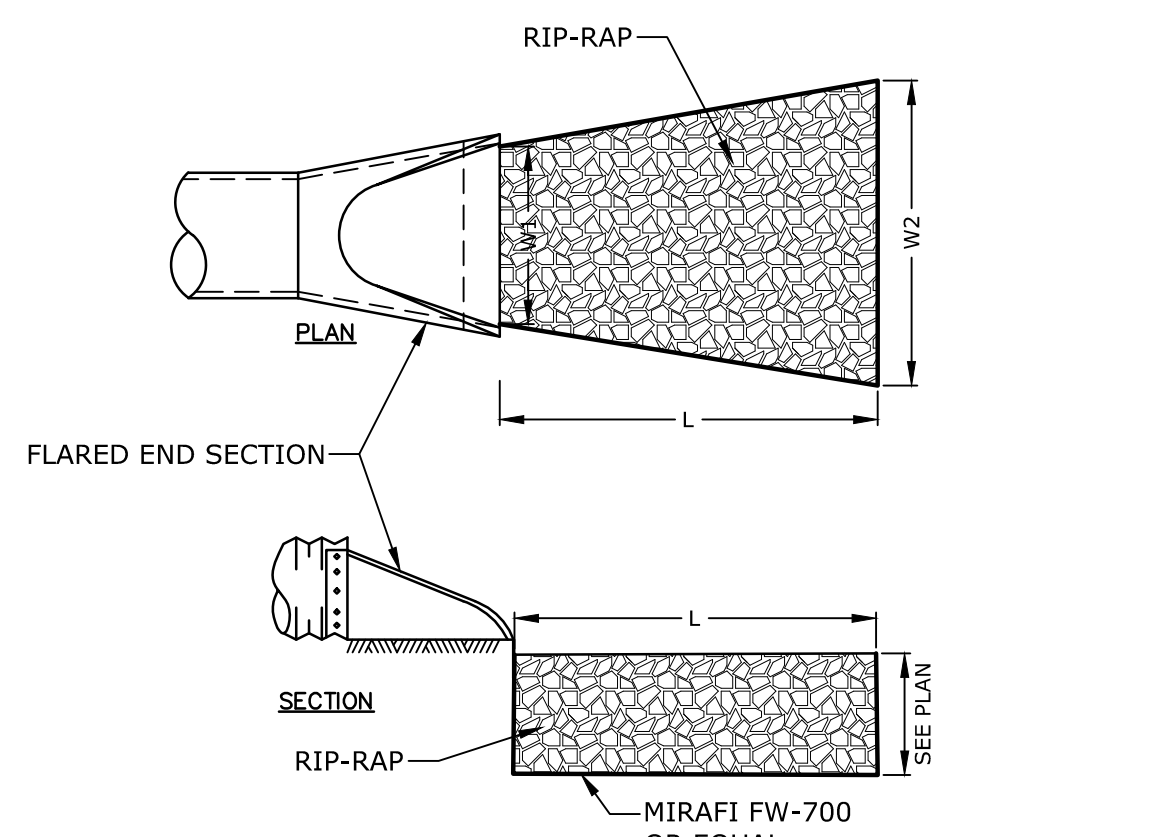
105 Bartlett Street
Portsmouth,
New Hampshire

B	2/6/2020	Design Review Submission
A	1/2/2020	ZBA Submission
MARK	DATE	DESCRIPTION

PROJECT NO:	C-0960-006
DATE:	January 2, 2020
FILE:	C-0960-006_C-DTLS.DWG
DRAWN BY:	NAH
CHECKED:	PMC
APPROVED:	BML

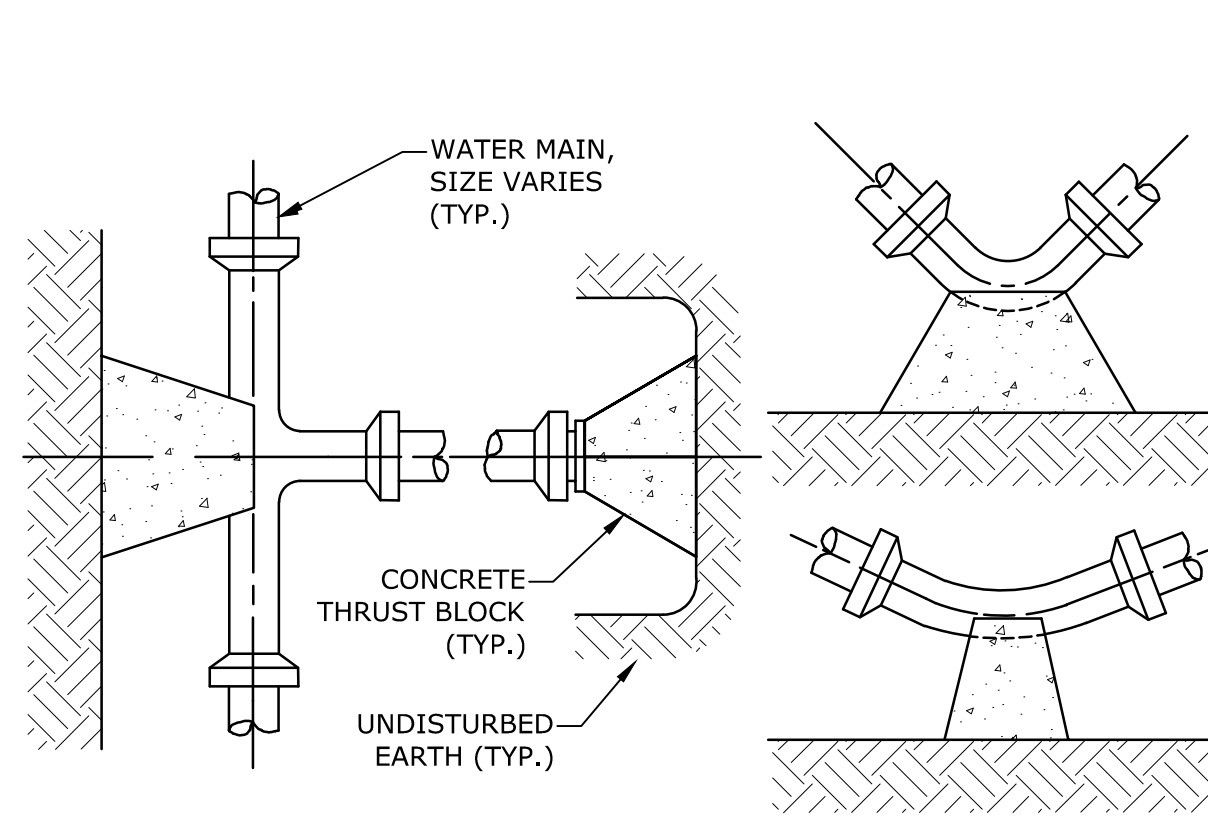
EROSION CONTROL NOTES AND DETAILS SHEET

SCALE: AS SHOWN



- NOTES:**
1. STONE SIZE AND MAT DIMENSIONS DETAILED ON PLANS.
 2. STONE SHALL CONSIST OF SUB-ANGULAR FIELD STONE OR ROUGH UNHEWN QUARRY STONE OF APPROXIMATELY RECTANGULAR SHAPE. FLAT OR ROUND ROCKS ARE NOT ACCEPTABLE. THE STONE SHALL BE HARD AND OF SUCH QUALITY THAT IT WILL NOT DISINTEGRATE ON EXPOSURE TO WATER OR WEATHERING, BE CHEMICALLY STABLE AND IT SHALL BE SUITABLE IN ALL OTHER RESPECTS FOR THE PURPOSE INTENDED. THE BULK SPECIFIC GRAVITY (SATURATED SURFACE-DRY BASIS) OF THE INDIVIDUAL STONES SHALL BE AT LEAST 2.5.
 3. THE STONE SHALL BE COMPOSED OF A WELL-GRADED MIXTURE DOWN TO THE ONE-INCH SIZE PARTICLE SUCH THAT 50 PERCENT OF THE MIXTURE BY WEIGHT SHALL BE LARGER THAN THE D50 SIZE SPECIFIED. A WELL-GRADED MIXTURE IS DEFINED AS A MIXTURE COMPOSED PRIMARILY OF THE LARGER STONE SIZE BUT WITH A SUFFICIENT MIXTURE OF OTHER SIZES TO FILL THE PROGRESSIVELY SMALLER VOIDS BETWEEN THE STONES. THE DIAMETER OF THE LARGEST STONE SIZE IN SUCH A MIXTURE SHALL BE 1.5 TIMES THE D50 SIZE.

RIPRAP APRON
NO SCALE

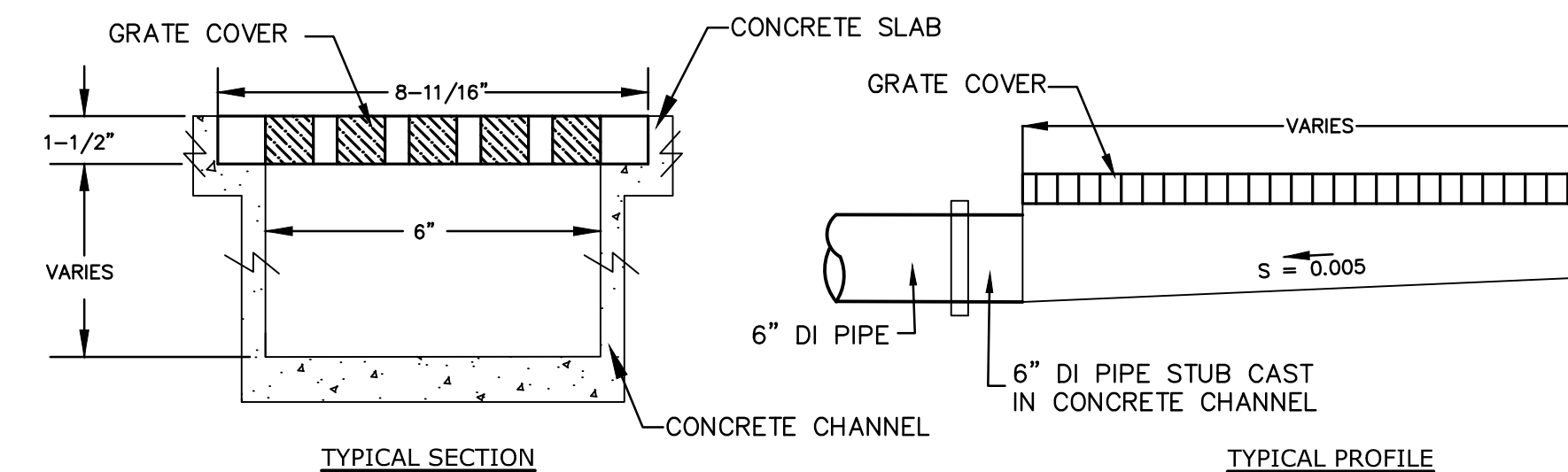


THRUST BLOCKING DETAIL
NO SCALE

REACTION TYPE	PIPE SIZE				
	4"	6"	8"	10"	12"
A 90°	0.89	2.19	3.82	11.14	17.24
B 180°	0.65	1.55	2.78	8.38	12.00
C 45°	0.48	1.19	2.12	6.02	9.32
D 22-1/2°	0.25	0.60	1.06	3.08	4.74
E 11-1/4°	0.13	0.30	0.54	1.54	2.38

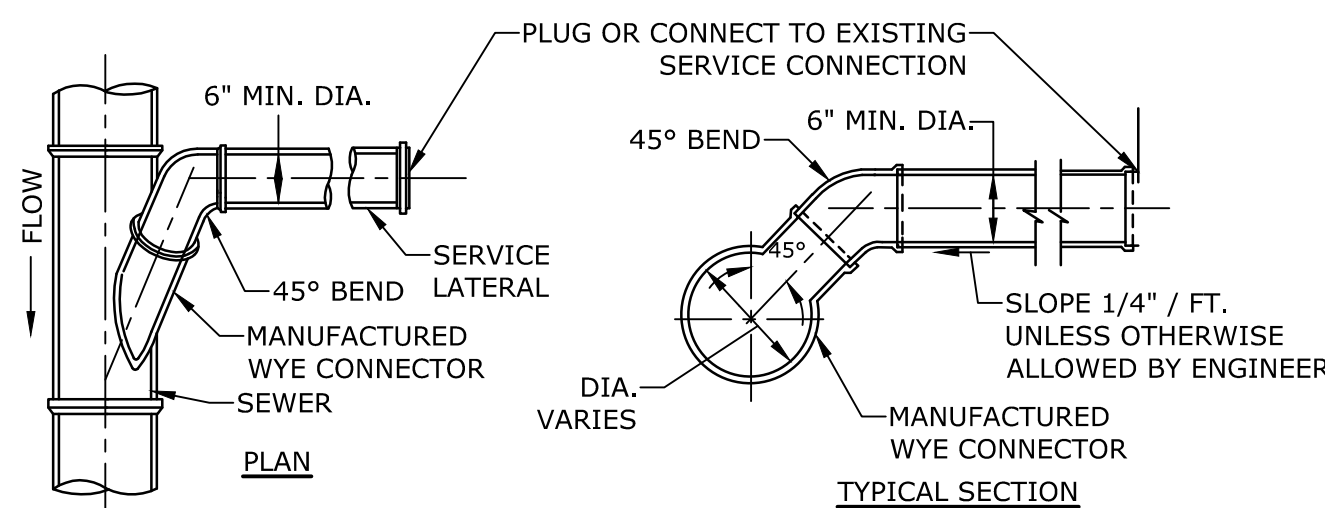
TEST PRESSURE = 200psi

- NOTES:**
1. POUR THRUST BLOCKS AGAINST UNDISTURBED MATERIAL, WHERE TRENCH WALL HAS BEEN DISTURBED, EXCAVATE LOOSE MATERIAL AND EXTEND THRUST BLOCK TO UNDISTURBED MATERIAL. NO JOINTS SHALL BE COVERED WITH CONCRETE.
 2. ON BENDS AND TEES, EXTEND THRUST BLOCKS FULL LENGTH OF FITTING.
 3. PLACE BOARD IN FRONT OF ALL PLUGS BEFORE POURING THRUST BLOCKS.
 4. WHERE M.J. PIPE IS USED, M.J. PLUG WITH RETAINER GLAND MAY BE SUBSTITUTED FOR END BLOCKINGS.
 5. INSTALLATION AND STANDARD DIMENSIONAL REQUIREMENTS SHALL BE WITH CITY OF PORTSMOUTH WATER DEPARTMENT STANDARDS.

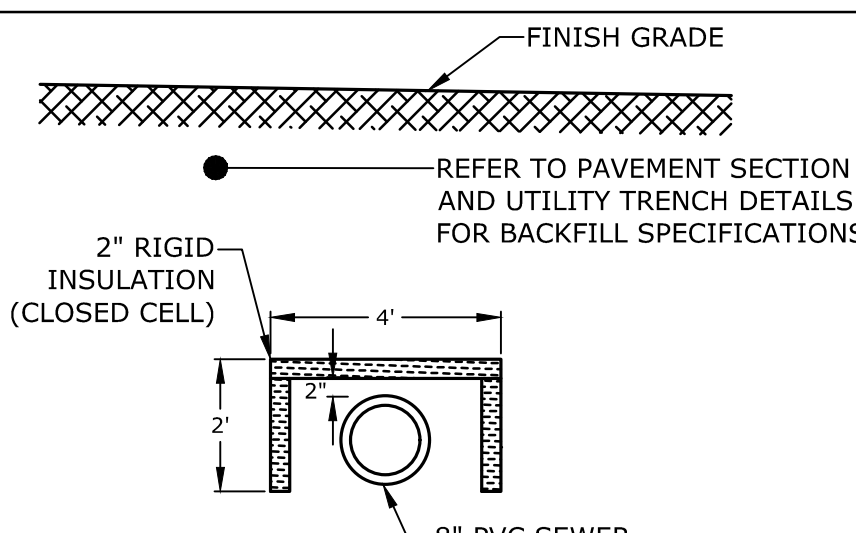


- NOTES:**
1. TRENCH DRAIN FRAME AND GRATE SHALL BE MULTIDRAIN ECONODRAIN SERIES #6 OR EQUAL WITH ADA COMPLIANT GRATE.
 2. CONCRETE CHANNEL TO BE CAST AS PART OF STAIR SLAB (COORDINATE WITH BUILDING DRAWINGS).

TRENCH DRAIN DETAIL
NOT TO SCALE

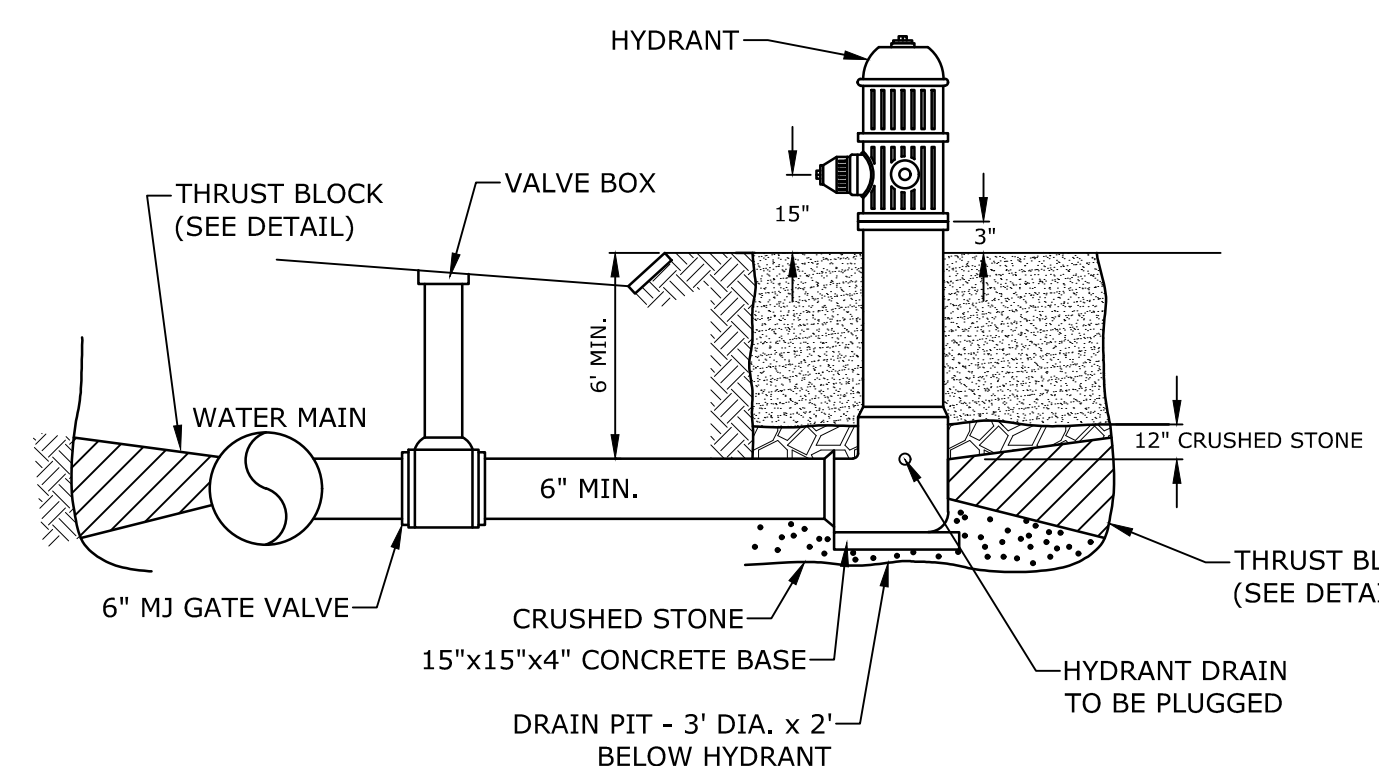


STANDARD SERVICE LATERAL CONNECTION
NO SCALE



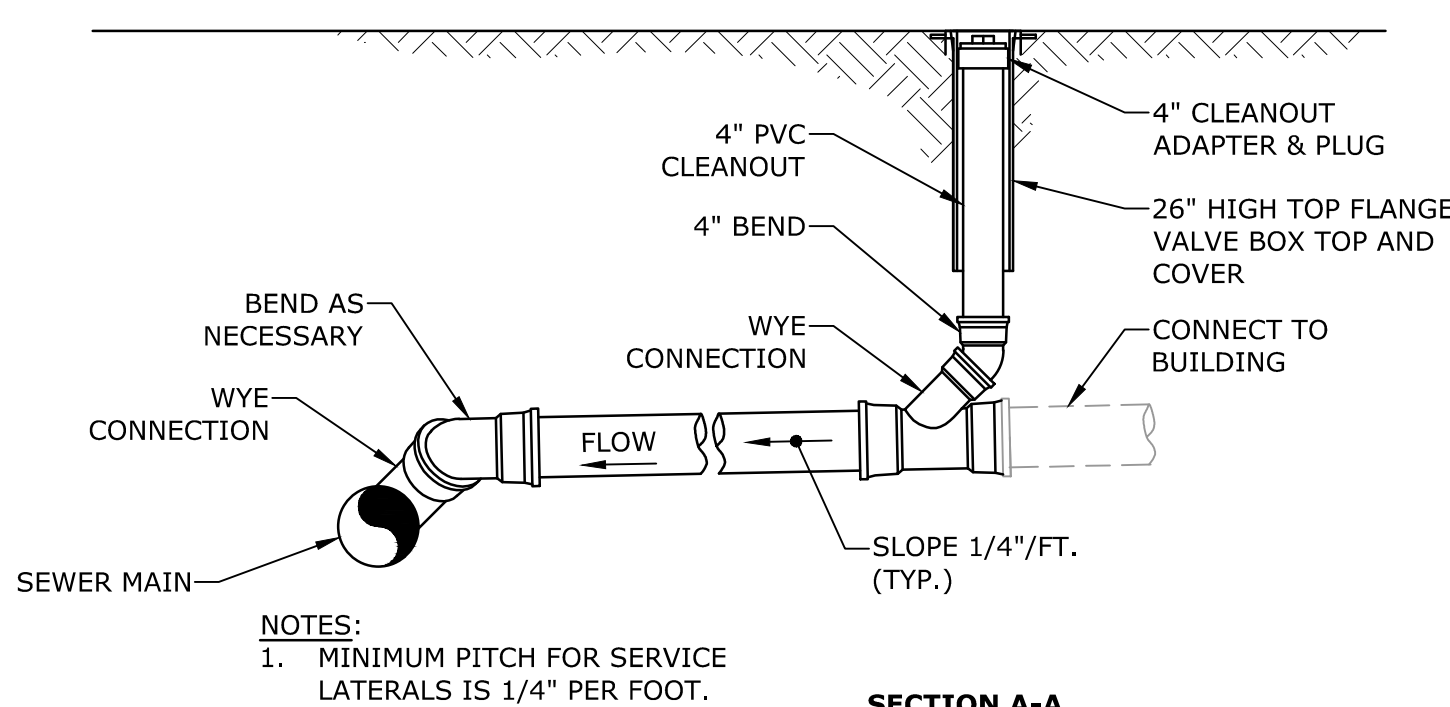
- NOTE:**
1. INSTALLATION SHALL MEET THE STANDARDS OF THE CITY OF PORTSMOUTH.

SEWER INSULATION DETAIL
NO SCALE

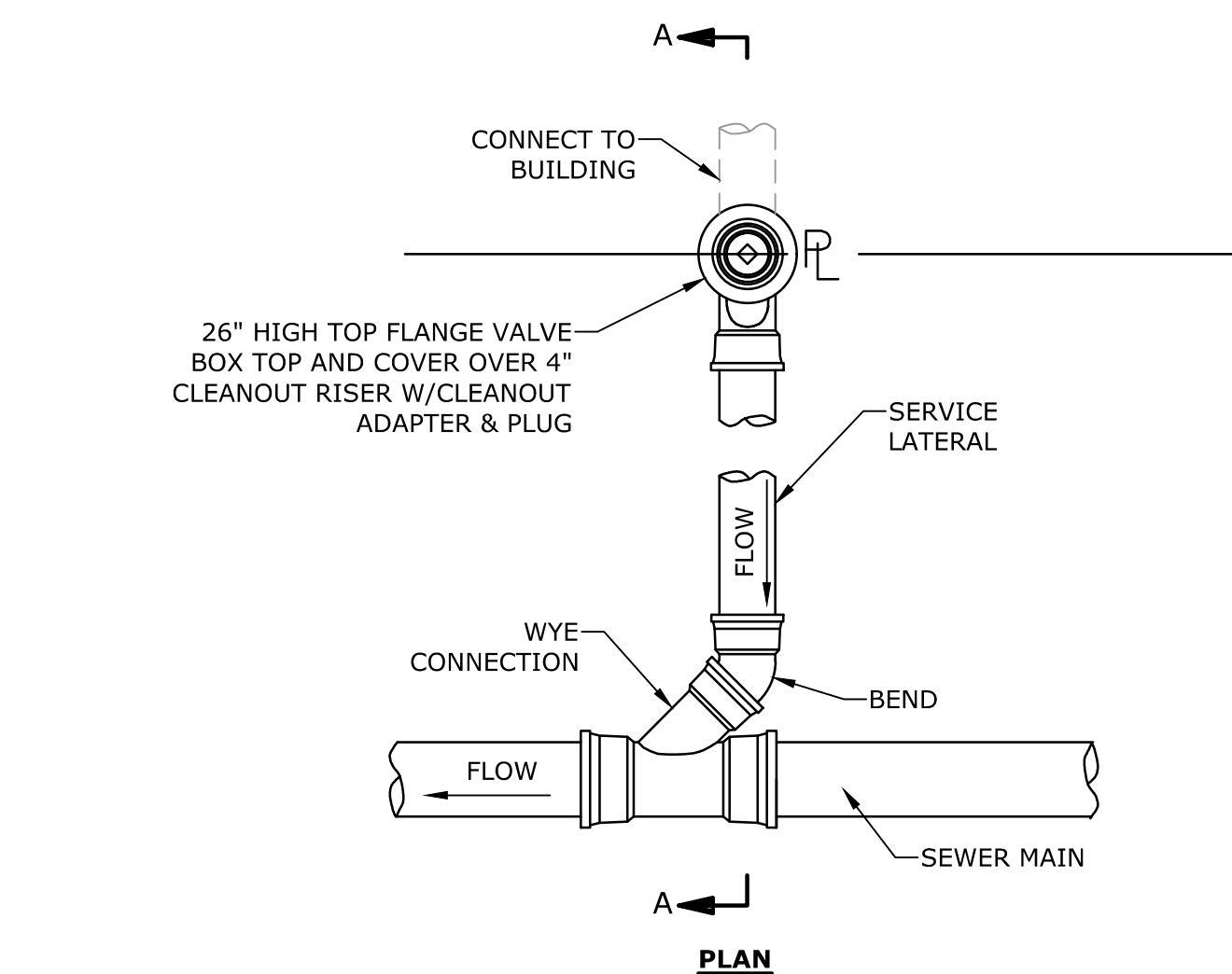


- NOTE:**
1. HYDRANT TO BE KENNEDY TYPE K-81, RIGHT OPEN (NO EQUAL). COORDINATE WITH CITY OF PORTSMOUTH WATER DEPARTMENT AND CITY OF PORTSMOUTH FIRE DEPARTMENT.
 2. PAINT HYDRANT IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS AFTER INSTALLATION AND TESTING.

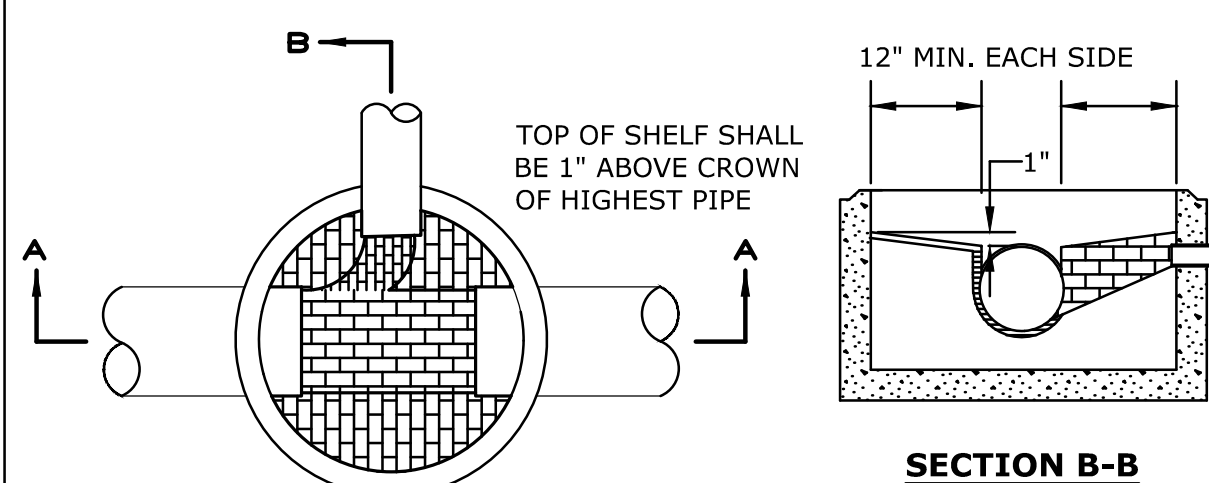
FIRE HYDRANT
NO SCALE



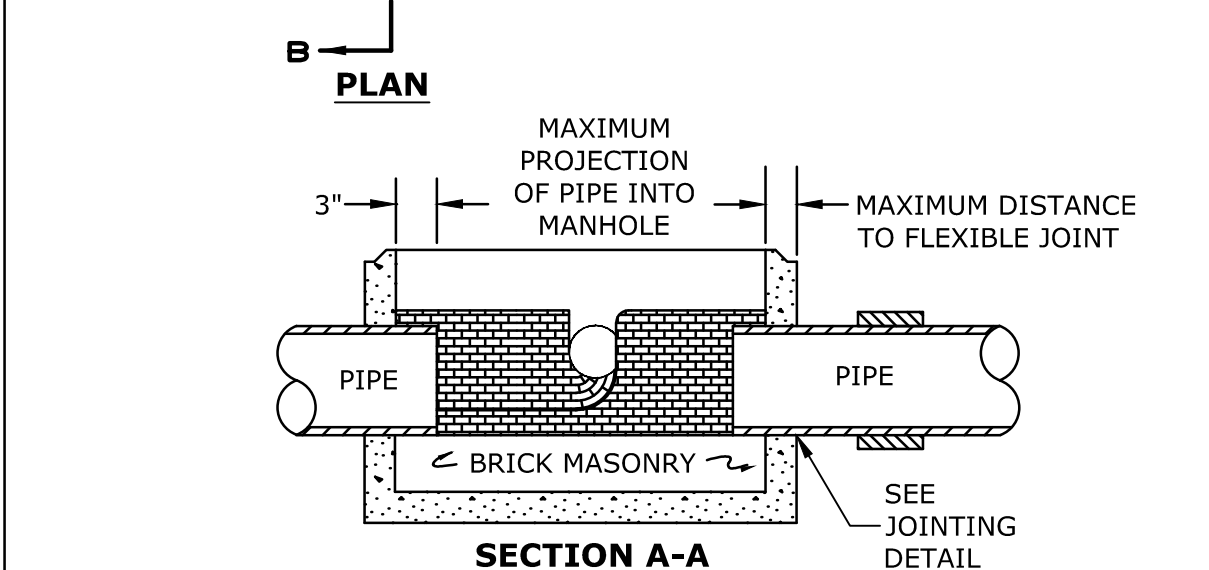
SECTION A-A



SANITARY SERVICE LATERAL WITH CLEANOUT
NO SCALE



SECTION B-B

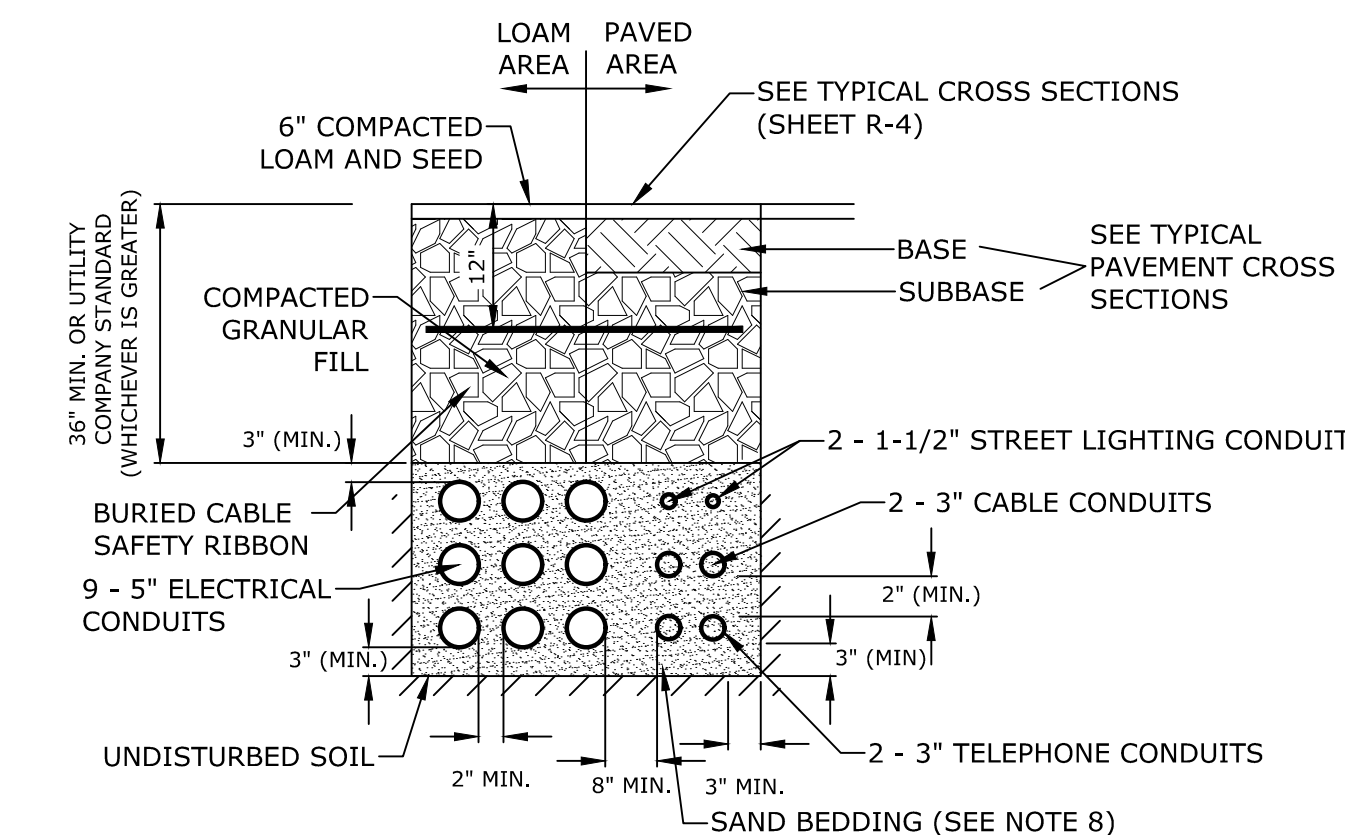


SECTION A-A

TYPICAL SECTION

- NOTES:**
1. INVERT AND SHELF TO BE PLACED AFTER EACH LEAKAGE TEST.
 2. CARE SHALL BE TAKEN TO INSURE THAT THE BRICK INVERT IS A SMOOTH CONTINUATION OF THE SEWER INVERT.
 3. INVERT BRICKS SHALL BE LAID ON EDGE.
 4. BITUMINOUS WATERPROOF COATING TO BE APPLIED TO ENTIRE EXTERIOR OF MANHOLE.
 5. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WITHIN CITY RIGHT OF WAY SHALL BE CITY STANDARD HINGE COVERS MANUFACTURED BY E.J. FRAMES AND COVERS WILL BE PURCHASED FROM THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS. ALL OTHER MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30-INCH CLEAR OPENING. A 3-INCH (MINIMUM HEIGHT) WORD "SEWER" SHALL BE PLAINLY CAST INTO THE CENTER OF EACH COVER.
 6. HORIZONTAL JOINTS SHALL BE SEALED FOR WATER TIGHTNESS USING A DOUBLE ROW OF ELASTOMERIC OR MASTIC-LIKE SEALANT.
 7. BARREL AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE DESIGNED FOR H2O LOADING, AND CONFORMING TO ASTM C478-06.

SEWER MANHOLE
NO SCALE



- NOTES:**
1. NUMBER, MATERIAL, AND SIZE OF UTILITY CONDUITS TO BE DETERMINED BY LOCAL UTILITY OR AS SHOWN ON ELECTRICAL DRAWINGS. CONTRACTOR TO PROVIDE ONE SPARE CONDUIT FOR EACH UTILITY TO BUILDING.
 2. DIMENSIONS SHOWN REPRESENT OWNERS MINIMUM REQUIREMENTS. ACTUAL DIMENSIONS MAY BE GREATER BASED ON UTILITY COMPANY STANDARDS, BUT SHALL NOT BE LESS THAN THOSE SHOWN.
 3. NO CONDUIT RUN SHALL EXCEED 360 DEGREES IN TOTAL BENDS.
 4. A SUITABLE PULLING STRING, CAPABLE OF 200 POUNDS OF PULL, MUST BE INSTALLED IN THE CONDUIT BEFORE UTILITY COMPANY IS NOTIFIED TO INSTALL CABLE. THE STRING SHOULD BE BLOWN INTO THE CONDUIT AFTER THE RUN IS ASSEMBLED TO AVOID BONDING THE STRING TO THE CONDUIT.
 5. UTILITY COMPANY MUST BE GIVEN THE OPPORTUNITY TO INSPECT THE CONDUIT PRIOR TO BACKFILL. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS SHOULD THE UTILITY COMPANY BE UNABLE TO INSTALL ITS CABLE IN A SUITABLE MANNER.
 6. ALL CONDUIT INSTALLATIONS MUST CONFORM TO THE CURRENT EDITION OF THE NATIONAL ELECTRIC SAFETY CODE, STATE AND LOCAL CODES AND ORDINANCES, AND, WHERE APPLICABLE, THE NATIONAL ELECTRIC CODE.
 7. ALL 90° SWEEPS WILL BE MADE USING RIGID GALVANIZED STEEL. SWEEPS WITH A 36 TO 48 INCH RADIUS.
 8. SAND BEDDING TO BE REPLACED WITH CONCRETE ENCASEMENT WHERE COVER IS LESS THAN 3 FEET, WHEN LOCATED BELOW PAVEMENT, OR WHERE SHOWN ON THE UTILITIES PLAN.

ELECTRICAL AND COMMUNICATION CONDUIT
NO SCALE

Proposed Multi-Family Development

Iron Horse Properties, LLC

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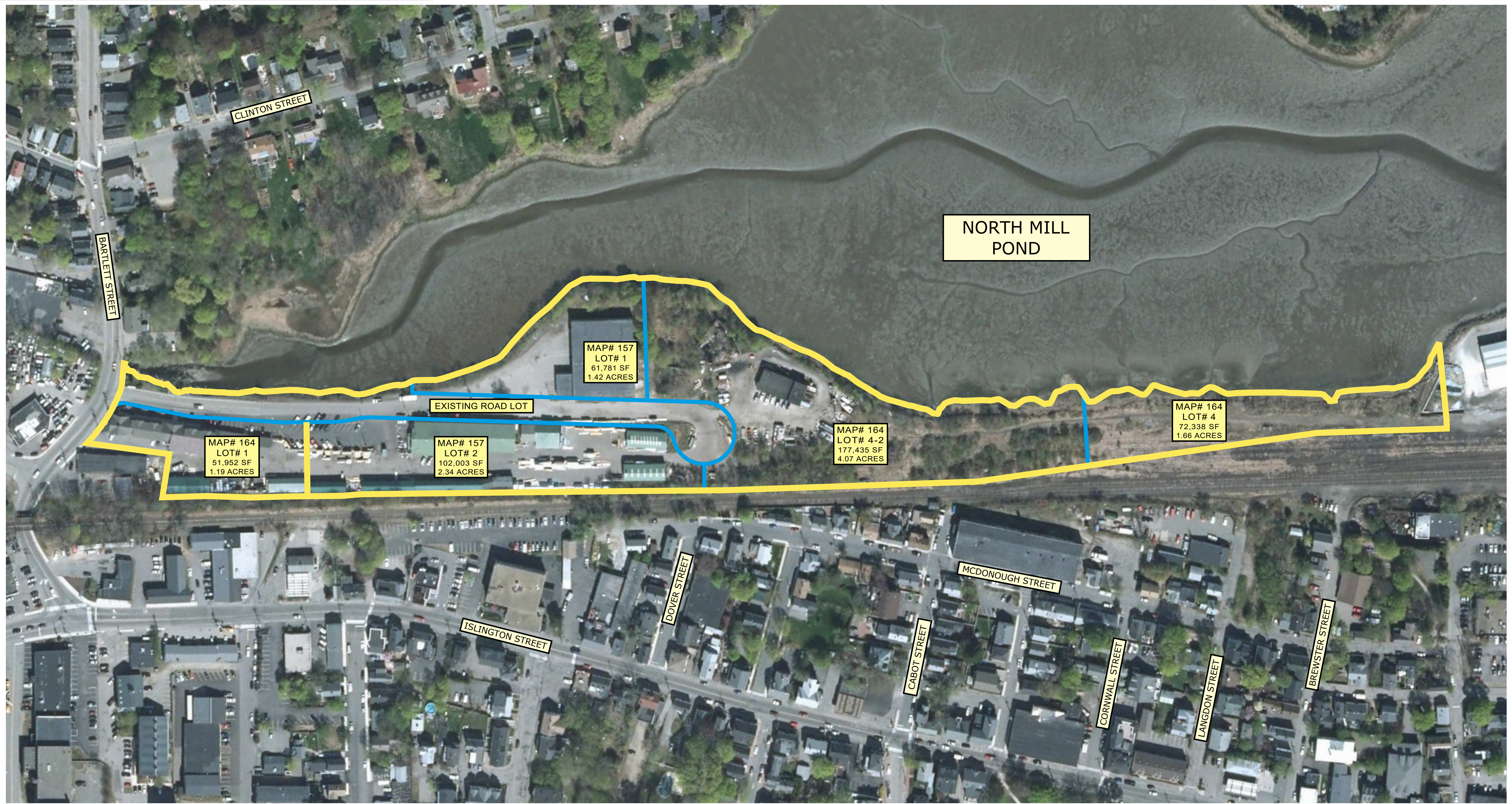
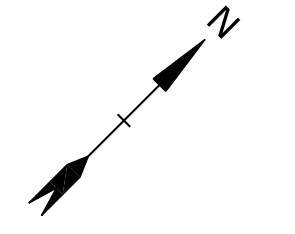
SCALE: AS SHOWN

BARTLETT STREET LENDER, LLC
PORTSMOUTH, NH

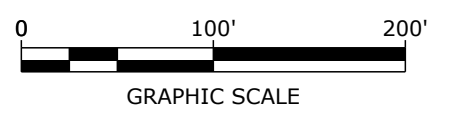
PROPOSED SUBDIVISION PLAN

LEGEND

- EXISTING PROPERTY LINE
- EXISTING PROPERTY LINE TO BE ABANDONED
- PROPOSED PROPERTY LINE



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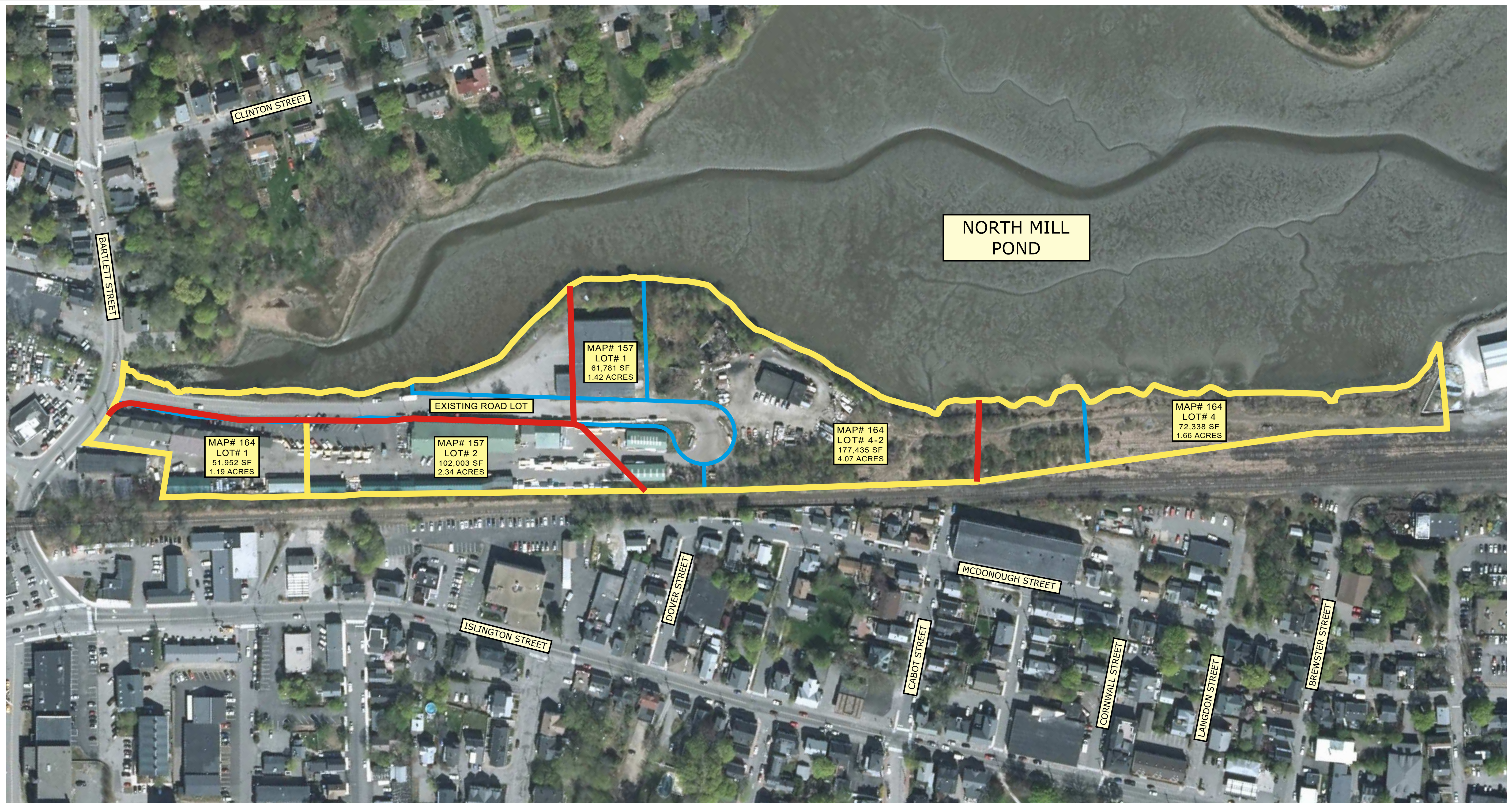
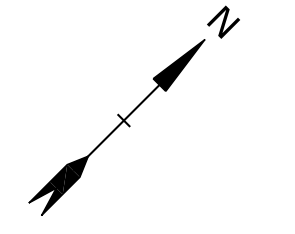
Tighe & Bond
Engineers | Environmental Specialists
177 Corporate Drive
Portsmouth, New Hampshire 03801
(603) 433-8818
December 18, 2019

BARTLETT STREET LENDER, LLC
PORTSMOUTH, NH

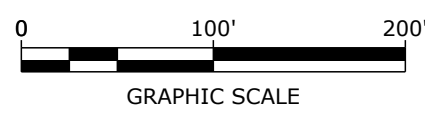
PROPOSED SUBDIVISION PLAN

LEGEND

- EXISTING PROPERTY LINE
- EXISTING PROPERTY LINE TO BE ABANDONED
- PROPOSED PROPERTY LINE



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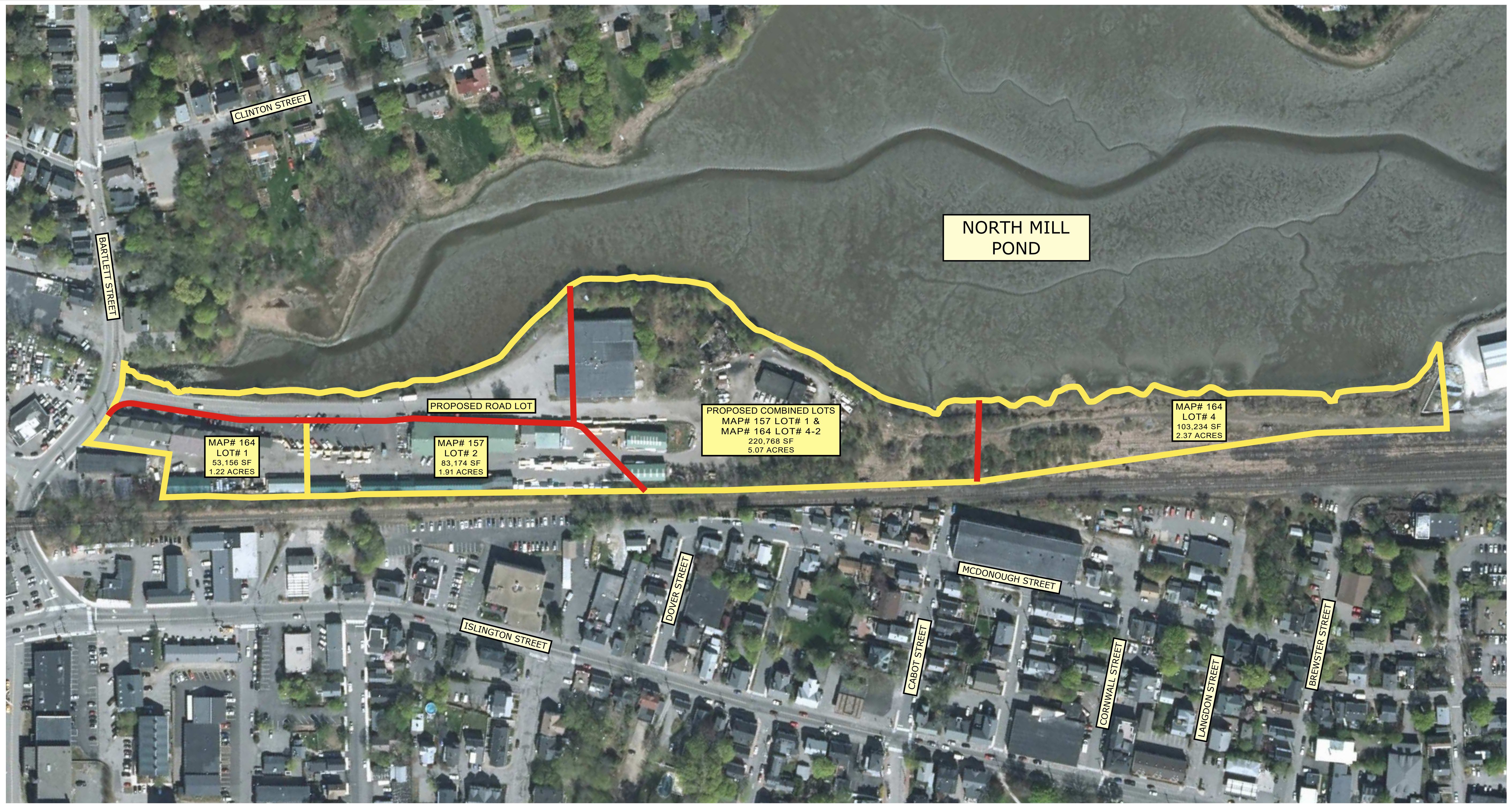
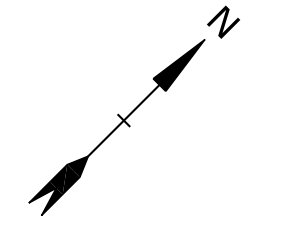
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December 18, 2019

BARTLETT STREET LENDER, LLC
PORTSMOUTH, NH

PROPOSED SUBDIVISION PLAN

LEGEND

- EXISTING PROPERTY LINE
- EXISTING PROPERTY LINE TO BE ABANDONED
- PROPOSED PROPERTY LINE



C:\0961\006_C-BOUNDARY.DWG Date Plotted: Dec 18, 2019 - 11:40am Plotted By: MAHANSEN

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December 18, 2019

