

Article 11 Site Development Standards

- Section 10.1110 Off-Street Parking
- Section 10.1120 Off-Street Loading
- Section 10.1130 Landscaping and Screening
- Section 10.1140 Outdoor Lighting

Section 10.1110 Off-Street Parking

10.1111 General

- 10.1111.10 All new **buildings** and **structures**, as well as additions to or changes in **use** or intensification of **use** in existing **buildings** and **structures**, shall be provided with **off-street parking** spaces in accordance with this Section.
- 10.1111.20 A **use** that is **nonconforming** as to the requirements for **off-street parking** shall not be enlarged or altered unless **off-street parking** is provided for the original **building, structure** or **uses** and all expansions, intensifications or additions sufficient to satisfy the requirements of this Section.

10.1112 Number of Required Parking Spaces

10.1112.10 General Requirements and Interpretation

- 10.1112.11 The number of required **off-street parking** spaces shall be based on the **uses** on the **lot**, as specified in Section 10.1112.30.
- 10.1112.12 For any permitted **use** not covered by Section 10.1112.30, the **Code Official** shall determine the closest similar **use** listed in that table and require **off-street parking** accordingly.
- 10.1112.13 Specially designated parking spaces for the physically disabled shall be provided in compliance with the **Building Code** (see **International Building Code**, Section 1106).

10.1112.20 Calculation of Number of Required Spaces

- 10.1112.21 The number of required **off-street parking** spaces shall be the sum of the requirements for the various individual **uses** on a **lot** computed separately, except that a **development** designed as a **shopping center** shall comply with the specific requirements of Section 10.1112.30 for said **use**.
- 10.1112.22 Where the computation of required **off-street parking** spaces results in a fractional number, ~~a fraction of less than one-half may be disregarded and a fraction of one-half or~~

~~more shall be counted as one space~~ the computation shall be rounded up to the next whole number.

10.1112.30 Table of Off-Street Parking Requirements

Use	Required Parking Spaces
1. Residential Uses	
<p>Single-family dwelling; Two-family dwelling, or Townhouse Multifamily dwelling (three or more dwelling units) Age-restricted housing or Elderly housing Manufactured housing or Manufactured housing park Live/work unit Micro-unit Workforce Housing unit</p>	<p>2 spaces per dwelling unit</p> <p>4 spaces plus 1.5 spaces per dwelling unit over 2 units 1.25 spaces per dwelling unit</p> <p>2 spaces per dwelling unit</p> <p>2 spaces per live/work unit 0.5 space per unit</p> <p>1 space per unit</p>
2. Institutional Residence or Care Facilities	
<p>Hospital</p> <p>Assisted living facility (including assisted living center and assisted living home) Residential care facility</p>	<p>1 space per bed of licensed capacity, plus 1 space per 400 sq. ft. GFA of clinics, emergency room, laboratories, outpatient services, pharmacy, X-ray, and similar areas 0.5 space per assisted living unit or bed</p> <p>1 space per 2 residents</p>
3. Educational, Religious, Charitable and Cultural Uses	
<p>Place of assembly, place of worship Club / Lodge (non-profit; no overnight facilities) Museum:</p> <ul style="list-style-type: none"> • Exhibit, assembly and office space, and retail or food service areas • Caretaker dwelling unit • Storage and other accessory areas <p>Private school:</p> <ul style="list-style-type: none"> • Primary (grades K-8) • Secondary (grades 9-12) • College, University, Trade School, Business School 	<p>1 space per 4 persons of rated capacity 1 space per 4 persons of rated capacity</p> <p>1 space per 400 sq. ft.</p> <p>1 space</p> <p>No requirement</p> <p>0.3 space per student rated capacity 0.5 space per student rated capacity 0.3 space per student rated capacity</p>
4. Recreational Uses	
<p>Amusement park (including water park or theme park)</p>	<p>1 space per 350 sq. ft. of land area or 1 space per 2 persons of rated capacity; whichever is greater, plus additional spaces for ancillary facilities (e.g., restaurants) based on this table</p>

Use	Required Parking Spaces
Tennis court	3 spaces per court
Driving range	2 spaces per tee
Golf course	4 spaces per hole, plus additional spaces for ancillary facilities (e.g., restaurant, function room) based on this table
Skating rink	1 space per 250 sq. ft. GFA
Team sports or multi-use playing field	10 spaces per field
Commercial outdoor recreation (not otherwise specified)	5 spaces per acre
Health club	1 space per 120 sq. ft. GFA
Indoor recreation, no fixed seating	1 space per 2 persons of rated capacity
5. Office Uses, Non-Medical	
Business office, Professional office	1 space per 250 sq. ft. GFA
Call center	1 space per 150 sq. ft. GFA
Conference center	1 space per 100 sq. ft. GFA
6. Medical Services and Health Care	
Medical or dental office	1 space per 250 sq. ft. GFA
Clinic, outpatient	1 space per 200 sq. ft. GFA
Clinic, inpatient	1 space per person capacity for overnight care, plus 1 space per 200 sq. ft. GFA of other areas
7. Services, Other Than Health Care	
Family day care facility	2 spaces for dwelling unit , plus 0.4 space per client licensed capacity
Group day care facility or Nursery school	0.5 space per client licensed capacity
Personal services	1 space per 200 sq. ft. GFA
Consumer services	1 space per 300 sq. ft. GFA
8. Retail Trade	
Retail use not in a shopping center :	
• Convenience store	1 space per 350 sq. ft. GFA
• Grocery store/supermarket	1 space per 300 sq. ft. GFA
• General retail sales	1 space per 250 sq. ft. GFA up to 50,000 sq. ft., plus 1 space per 350 sq. ft. GFA over 50,000 sq. ft.
• Furniture and home furnishing store (furniture, carpets, mattresses, etc.)	1 space per 600 sq. ft. GFA
Shopping center	1 space per 300 sq. ft. GFA up to 50,000 sq. ft., plus 1 space per 400 sq. ft. GFA over 50,000 sq. ft.
9. Eating And Drinking Places	
Bar or Nightclub	1 space per 100 sq. ft. GFA
Restaurant	1 space per 100 sq. ft. GFA
Restaurant, take-out	1 space per 100 sq. ft. GFA

Use	Required Parking Spaces
10.—Lodging Establishments	
Boarding house	2 spaces for dwelling unit , plus 1 space per room for rent
Inn, hotel or motel	1 space per guest room, plus 1 space per 500 sq. ft. of common area, plus number of spaces required for amenity uses
Bed and breakfast	2 spaces for dwelling unit , plus 1 space per room for rent
11.—Motor Vehicle-Related Uses	
Motor vehicle accessory sales and service (audio, alarm, navigation systems)	1 space per 300 sq. ft. GFA
Motor vehicle service I (no service bays or convenience store)	3 spaces
Motor vehicle service II (with service bays, no convenience store)	2 spaces, plus 1 space per 400 sq. ft.
Motor vehicle service III (with convenience store)	1 space per 300 sq. ft. GFA
Motor vehicle repair (engine repair, oil change, body repair, painting)	1 space per 400 sq. ft. GFA
Motor vehicle painting or body work	1 space per 400 sq. ft. GFA
Truck fueling facility	4 spaces, plus number of spaces required for other uses
Truck terminal	1 space per 2,000 sq. ft. GFA, plus 3 spaces per loading dock
Motor vehicle and equipment sales, leasing, rental or distribution	1 space per 600 sq. ft. GFA, plus 1 space per 2,000 sq. ft. outside area for product display or storage
12.—Marine Craft Related Uses	
Boat yard or marina	1 space per 2,000 sq. ft. of lot area, plus 1 space per 2,000 cu. ft. of interior storage capacity, plus 0.6 space per slip or mooring
Commercial excursion boat, or Commercial fishing boat	1 space per 2 persons of rated capacity
Marine craft and equipment sales, leasing, rental, distribution	1 space per 600 sq. ft. GFA, plus 1 space per 2,000 sq. ft. of outdoor area for product display or storage
13.—Wholesale Trade, Warehousing and Distribution	
Wholesale use	1 space per 2,000 sq. ft. GFA
Warehouse	1 space per 2,000 sq. ft. GFA
14.—Industrial Uses	
General manufacturing	1 space per 1,000 sq. ft. GFA
Light industry	1 space per 1,000 sq. ft. GFA
Research and development	1 space per 500 sq. ft. GFA

Use	Required Parking Spaces
15.—Transportation and Utilities	
Aircraft repair facility (hanger)	1 space per 1,000 sq. ft. GFA
Aircargo	1 space per 2,000 sq. ft. GFA
Transportation terminal	1 space per 200 sq. ft. GFA
17.—Agricultural Uses	
Nursery / greenhouse	1 space per 1,000 sq. ft. of display/sales area (indoor and outdoor)
Produce stand	1 space per 350 sq. ft. of display/sales area (indoor and outdoor)

10.1112.31 Parking Requirements for Residential Uses

The required minimum number of **off-street parking** spaces for **uses** 1.10 through 1.90, including **dwelling units** in mixed-use developments, shall be based on the gross floor area of each **dwelling unit**, as follows:

Dwelling Unit Floor Area	Required Parking Spaces
Less than 500 sq. ft.	0.5 spaces per unit
500-750 sq. ft.	1.0 space per unit
750-1,200 sq. ft.	1.5 spaces per unit
Over 1,200 sq. ft.	2.0 spaces per unit

10.1112.32 Parking Requirements for Nonresidential Uses

10.1112.321 The required minimum number of **off-street parking** spaces for **uses** other than 1.10 through 1.90 shall be based on the following table.

Table of Minimum Off-Street Parking Requirements for Nonresidential Uses

Use No.	Use	Requirement
<u>2. Institutional Residence or Care Facilities</u>		
<u>2.10-2.20</u>	<u>Assisted living facility or Residential care facility</u>	<u>0.5 per bed or resident</u>
<u>3. Educational, Religious, Charitable, Cultural and Public Uses</u>		
<u>3.10</u>	<u>Place of assembly</u>	<u>0.4 per seat (fixed seating), or 1 per 4 persons maximum occupancy of assembly area, or Parking demand analysis</u>
<u>3.20</u>	<u>School</u>	<u>Parking demand analysis</u>
<u>3.30</u>	<u>Historic preservation building</u>	<u>No requirement</u>
<u>3.40</u>	<u>Museum</u>	<u>Parking demand analysis</u>

<u>Use No.</u>	<u>Use</u>	<u>Requirement</u>
<u>3.50</u>	Performance facility	<u>0.4 per seat (fixed seating), or Parking demand analysis</u>
<u>3.60</u>	<u>Cemetery</u>	<u>No requirement</u>
<u>3.70</u>	Club, fraternal or service organization	Greater of: - 1 per 4 persons maximum occupancy - 1 per 200 sf GFA
<u>3.80</u>	<u>Municipally operated park and related activities</u>	<u>No requirement</u>
4. Recreational Uses		
<u>4.10</u>	<u>Religious, sectarian or private non-profit recreational use</u>	<u>Parking demand analysis</u>
<u>4.20</u>	<u>Cinema or similar indoor amusement use with no live performance</u>	<u>0.4 per seat, or Parking demand analysis</u>
<u>4.30</u>	<u>Indoor recreation use, such as bowling alley or arcade</u>	<u>1 per 4 persons maximum occupancy</u>
<u>4.40</u>	<u>Health club, yoga studio, martial arts school, or similar use</u>	<u>1 per 250 sf GFA</u>
<u>4.50</u>	Outdoor recreation use	<u>Parking demand analysis</u>
<u>4.60</u>	Amusement park, water park or theme park	<u>NA – Prohibited Use</u>
5. Office Uses, Non-Medical		
<u>5.10-5.30</u>	<u>Professional, business and financial services</u>	<u>1 per 350 sf GFA</u>
<u>5.40</u>	Social service campus	<u>Apply standards for component uses</u>
<u>5.50</u>	<u>Media studio</u>	<u>1 per 1,000 sf GFA</u>
<u>5.60</u>	<u>Publishing facility or similar electronic production operation</u>	<u>1 per 1,000 sf GFA</u>
<u>5.70</u>	Call Center	<u>1 per 250 sf GFA</u>
6. Medical Services and Health Care		
<u>6.10</u>	Hospital	<u>Parking demand analysis</u>
<u>6.20</u>	Medical offices and clinics (outpatient only)	<u>1 per 250 sf GFA</u>
<u>6.30</u>	Clinics with inpatient care	Greater of: - 2 per bed - 1 per 250 sf GFA
<u>6.40</u>	<u>Ambulatory surgical center</u>	<u>1 per 250 sf GFA</u>

<u>Use No.</u>	<u>Use</u>	<u>Requirement</u>
<u>6.50</u>	Substance abuse treatment facility	<u>Parking demand analysis</u>
<u>6.60</u>	<u>Psychiatric hospital for the criminally insane</u>	<u>NA – Prohibited Use</u>
7. Services, Other Than Health Care		
<u>7.11</u>	Family day care facility	<u>4 spaces (including 2 for the single-family dwelling)</u>
<u>7.12</u>	Group day care facility including private preschool and kindergarten	<u>0.5 per client or student based on licensed enrollment capacity</u>
<u>7.20-7.40</u>	Personal services , Consumer services, and Trade, craft and general services	<u>1 per 400 sf GFA</u>
<u>7.50-7.60</u>	Veterinary care and Laundry and dry cleaning establishments	<u>1 per 500 sf GFA</u>
<u>7.70</u>	<u>Undertaking establishment</u> , funeral parlor or mortuary chapel, excluding crematorium	<u>1 per 25 sf of floor area for public occupancy</u>
8. Retail Trade		
<u>8.10-8.90</u>	<u>All retail trade uses</u>	<u>1 per 300 sf GFA</u>
9. Eating and Drinking Places		
<u>9.10-9.50</u>	<u>All eating and drinking places</u>	<u>1 per 75 sf GFA</u>
10. Lodging Establishments		
<u>10.10-10.20</u>	Boarding house or Bed and breakfast	<u>2 + 1 per room for rent</u>
<u>10.30-10.40</u>	Inn, hotel or motel	<u>1.25 per guest room + 1 per 100 sf of lounge or restaurant area + 1 per 25 sf of conference or banquet facilities</u>
<u>10.50-10.60</u>	Conference hotel or Conference center	<u>Parking demand analysis</u>
11. Motor Vehicle-Related Uses		
<u>11.10, 11.30</u>	<u>Sales, renting or leasing of vehicles, marine craft, power equipment, etc.</u>	<u>1 per 600 sf GFA + 1 per 2000 sf outside display or storage area</u>
<u>11.20</u>	Motor vehicle service station, motor vehicle repair or washing facility for passenger cars and light trucks	<u>2 + 1 per 400 sf GFA</u>
<u>11.40</u>	Impound lot (principal or accessory use)	<u>No requirement</u>
<u>11.50</u>	Truck fueling facility	<u>4 spaces</u>

<u>Use No.</u>	<u>Use</u>	<u>Requirement</u>
<u>11.60</u>	Truck terminal	<u>1 per 2000 sf GFA + 3 per loading dock</u>
<u>12. Marine Craft Related Uses</u>		
<u>12.11</u>	<u>Non-commercial boat landings, boat docks, boathouses, etc.</u>	<u>No requirement</u>
<u>12.12</u>	Fishing boat landing 1	<u>4 spaces</u>
<u>12.13</u>	Fishing boat landing 2	<u>Parking demand analysis</u>
<u>12.20-12.40</u>	Marina, repair of commercial marine craft and <u>marine-related structures</u>, or <u>landside support facility for commercial passenger vessel</u>	<u>Parking demand analysis</u>
<u>13. Wholesale Trade, Warehousing and Distribution</u>		
<u>13.10</u>	Wholesale use	<u>1 per 2000 sf GFA</u>
<u>13.20</u>	Wholesale sales devoted to, and in the same establishment as, a permitted retail use	<u>1 per 2000 sf area devoted to wholesale</u>
<u>13.30</u>	<u>Wholesale lumber yards, lumber and contractor sales</u>	<u>No requirement</u>
<u>13.40</u>	<u>Warehousing or distribution of non-flammable, non-hazardous materials, not classified as a high hazard use</u>	<u>1 per 2000 sf GFA</u>
<u>14. Industrial Uses</u>		
<u>14.10-14.20</u>	Light industry or Research and development	<u>1 per 500 sf GFA</u>
<u>14.30-14.50</u>	Food processing, Electronics manufacturing, General manufacturing	<u>1 per 1000 sf GFA</u>
<u>14.60</u>	<u>Biological or chemical laboratory</u>	<u>1 per 500 sf GFA</u>
<u>14.70</u>	Recycling facility or recycling plant	<u>No requirement</u>
<u>14.80</u>	High hazard use , including other uses listed in this section but not including uses described in 14.90	<u>Parking demand analysis</u>
<u>14.90</u>	<u>Storage (other than normal accessory use), processing, disposal, or transfer of petroleum, petrochemicals, natural gas and liquid petroleum products, coal, alcohol, wood pulp, solid or liquid waste, junk or hazardous waste as classified by Federal or State law</u>	<u>NA – Prohibited Use</u>

<u>Use No.</u>	<u>Use</u>	<u>Requirement</u>
<u>15. Transportation and Utilities</u>		
<u>15.10</u>	<u>Public or private transformer station, substation, pumping station or automatic telephone exchange, not including any business office, storage yard or storage building</u>	<u>No requirement</u>
<u>15.20</u>	<u>Heliport or helipad</u>	<u>No requirement</u>
<u>16. Wireless Telecommunications Facilities</u>		
<u>16.10-16.40</u>	<u>All wireless telecommunications facilities</u>	<u>No requirement</u>
<u>17. Agricultural Uses</u>		
<u>17.10-17.20</u>	<u>All agricultural use</u>	<u>No requirement</u>
<u>18. Temporary Uses</u>		
<u>18.10</u>	<u>Construction trailer</u>	<u>No requirement</u>
<u>18.20</u>	<u>Temporary structure</u>	<u>No requirement</u>
<u>18.30</u>	<u>Manufactured housing not on a foundation, as temporary replacement housing for a dwelling on the same lot destroyed by natural causes</u>	<u>2 spaces (single-family dwelling)</u>
<u>18.40</u>	<u>Carts or trailers, including outdoor display area, used for the seasonal sale of dry goods, Christmas trees, flowers, fruits, vegetables, seasonal products and prepared food</u>	<u>No requirement</u>
<u>19. Accessory Uses</u>		
<u>19.10</u>	<u>Accessory use to a permitted principal use (not otherwise specified in this section), but not including any outdoor storage</u>	<u>No requirement</u>
<u>19.20</u>	<u>Home occupation</u>	<u>No minimum requirement (maximum 1 space for the home occupation)</u>
<u>19.30</u>	<u>Concessions and services located within the principal building</u>	<u>No requirement</u>
<u>19.40</u>	<u>Drive-through facility, as accessory use to a permitted principal use</u>	<u>No requirement</u>

<u>Use No.</u>	<u>Use</u>	<u>Requirement</u>
<u>20. Accessory Storage</u>		
<u>20.10 – 20.60</u>	<u>All accessory storage uses</u>	<u>No requirement</u>

10.1112.322 Where the table lists a general **use** category without the subcategories, the parking ratio shall apply to all subcategories within that category (for example, the parking ratio shown for **use** number 2.10 applies to **uses** 2.11 and 2.22).

10.1112.323 Where the table indicates that the minimum required number of **off-street parking** spaces shall be based on a parking demand analysis, the applicant shall submit such analysis for review by the Planning Board through the Site Plan Review process. Where the table indicates that a parking demand analysis is an alternative to a specified ratio, the applicant may submit such analysis to justify a ratio different from that listed in the table. In either case, the Planning Board may approve the number of parking spaces proposed by the analysis, or may approve a greater or lesser minimum number of parking spaces based on its review.

10.1112.324 Where the minimum number of **off-street parking** spaces is based on **maximum occupancy**, the applicant shall submit a code analysis showing the occupant load for the proposed **use** determined in accordance with the Building Code.

10.1112.40 Reserve Parking Area

When Section 10.1112.30 requires the provision of 20 or more **off-street parking** spaces, the Planning Board may approve the construction of fewer **off-street parking** spaces than required, subject to the following:

10.1112.41 A “Reserve Parking Area” shall be designated that is sufficient to accommodate the difference between the number of spaces required and the lesser number actually provided.

10.1112.42 The site plan shall clearly delineate the Reserve Parking Area and shall demonstrate that it is sufficient to accommodate the additional parking spaces in accordance with the requirements of this Section.

10.1112.43 The Reserve Parking Area shall be landscaped with grass, ground covers and/or other plant materials, but shall not be counted toward any minimum **open space** requirement.

10.1112.44 The Reserve Parking Area shall not be used as snow storage area and shall not contain any **structure** or mechanical equipment.

10.1112.50 Maximum Number of Parking Spaces

10.1112.51 The number of **off-street parking** spaces for any **building** or **use** shall not exceed the following amounts:

Minimum Number of Spaces Required by Section 10.1112.30	Maximum Number of Spaces Allowed
10 -20	No maximum
21-50	120 percent of minimum
51 <u>21</u> or more	110 <u>120</u> percent of minimum

10.1112.52 The Planning Board may grant a conditional use permit to allow a **building** or **use** to exceed the maximum permitted number of **off-street parking** spaces. The application for the conditional use permit shall include a parking demand analysis demonstrating the need for additional parking. In granting a conditional use permit, the Planning Board may accept, deny or modify the findings of the parking demand analysis.

10.1112.60 Shared Parking

10.1112.61 Methodology

Developments that contain a mix of uses on the same parcel shall reduce the number of off-street parking spaces in accordance with the following methodology:

- (1) Determine the minimum number of off-street parking spaces for each land use within the development in accordance with Sections 10.1112.10 through 10.1112.50.
- (2) Multiply the minimum parking requirement for each land use by the corresponding parking occupancy rates for each of the five time periods set forth in Columns (B) through (F) of the Parking Occupancy Rates table below.

Parking Occupancy Rates

<u>(A)</u> <u>Land Use</u>	<u>Weekday</u>		<u>Weekend</u>		<u>(F)</u> <u>Nighttime</u> <u>(Midnight–</u> <u>6:00 AM)</u>
	<u>(B)</u> <u>Daytime</u> <u>(8:00 AM–</u> <u>5:00 PM)</u>	<u>(C)</u> <u>Evening</u> <u>(6:00 PM–</u> <u>Midnight)</u>	<u>(D)</u> <u>Daytime</u> <u>(8:00 AM–</u> <u>5:00 PM)</u>	<u>(E)</u> <u>Evening</u> <u>(6:00 PM–</u> <u>Midnight)</u>	
<u>Residential</u>	<u>60%</u>	<u>100%</u>	<u>80%</u>	<u>100%</u>	<u>100%</u>
<u>Office/</u> <u>Industrial</u>	<u>100%</u>	<u>20%</u>	<u>10%</u>	<u>5%</u>	<u>5%</u>
<u>Retail/Service</u>	<u>60%</u>	<u>90%</u>	<u>100%</u>	<u>70%</u>	<u>5%</u>
<u>Hotel/Motel</u>	<u>70%</u>	<u>100%</u>	<u>75%</u>	<u>100%</u>	<u>100%</u>
<u>Restaurant</u>	<u>70%</u>	<u>100%</u>	<u>80%</u>	<u>100%</u>	<u>10%</u>
<u>Entertainment</u>	<u>40%</u>	<u>100%</u>	<u>80%</u>	<u>100%</u>	<u>10%</u>
<u>Conference/</u> <u>Convention</u>	<u>100%</u>	<u>100%</u>	<u>100%</u>	<u>100%</u>	<u>5%</u>
<u>Place of</u> <u>Worship*</u>	<u>10%</u>	<u>5%</u>	<u>100%</u>	<u>50%</u>	<u>5%</u>
<u>Other</u> <u>Institutional</u>	<u>100%</u>	<u>20%</u>	<u>10%</u>	<u>10%</u>	<u>5%</u>

* For a religious use that holds its principal services on a weekday, the weekday and weekend ratios shall be reversed.

- (3) Add the resulting shared parking requirements for each time period to determine the minimum parking requirement for that period.

The required minimum number of parking spaces for the development shall be the highest of the five time period totals.

10.1112.62 Shared Parking on Separate Lots

The Planning Board may grant a conditional use permit to allow a reduction in the number of required off-street parking spaces for uses on separate lots, whether in common or separate ownership, subject to the following:

- (1) The shared parking requirement may be determined using the methodology in Section 10.1112.61, or by another method approved or required by the Planning Board.
- (2) The shared parking arrangement shall be secured by a covenant acceptable to the City and recorded at the Rockingham County Registry of Deeds.

10.1113 Location of Vehicular Use Facilities

10.1113.10 Proximity to Principal Use

- 10.1113.11 All required **off-street parking** spaces shall be located on the same **lot** as the **principal use** they are required to serve except as follows:
- 10.1113.111 Required parking spaces may be located on a separate **lot** from the **principal use** which they serve where a municipally owned or operated covered parking facility is constructed as part of the overall **development**.
- 10.1113.112 The Board of Adjustment may authorize a special exception for the provision of required parking on another **lot** in the same ownership as the **lot** in question and within 300 feet of the property line of the **lot** in question.
- 10.1113.12 In no case shall parking be permitted within any Residential or Mixed Residential District other than that which is accessory to a **principal use** allowed within the district.

10.1113.20 Location of Parking Facilities on a Lot

Required **off-street parking** spaces shall not be located in any required **front yard**, or between a **principal building** and a **street** (including on a **corner lot**). This restriction shall not apply to required **off-street parking** for a **single-family dwelling** or **two-family dwelling**.

10.1113.30 Minimum Distance from Residential and Mixed Residential Zoning Districts

- 10.1113.31 **Off-street parking** areas, **accessways**, maneuvering areas and traffic aisles serving **uses** in a Business or Industrial district shall be set back from all Residential and Mixed Residential districts as follows:

District	Minimum Distance from Residential or Mixed Residential District
B	50 feet
GB, GW	100 feet
I, OR, WI	100 feet

- 10.1113.32 **Off-street parking** areas, **accessways**, maneuvering areas and traffic aisles serving a nonresidential **use** on a **lot** in a Mixed Residential district that abuts a Residential district shall be set back at least 10 feet from the Residential district boundary and shall be screened in accordance with the screening standards of the Planning Board's Site Plan Review Regulations.

10.1113.40 Setback from Lot Lines

10.1113.41 **Off-street parking** areas, **accessways**, maneuvering areas and traffic aisles serving **uses** in a Business or Industrial district shall be set back from **front lot lines** as follows:

District	Minimum Setback from Front Lot Line
B	20 feet
GB, GW	40 feet
I, OR, WI	50 feet

10.1113.42 In a Residential zoning district, **off-street parking** spaces for a **home occupation use**, including **family day care** and **group day care**, shall be set back at least 10 feet from side and rear property lines and shall be screened in accordance with the screening standards of the Planning Board’s Site Plan Review Regulations.

10.1113.43 All required **setbacks** of **off-street parking** areas from front property lines shall be landscaped in accordance with the **landscaping** and screening standards of the Planning Board’s Site Plan Review Regulations.

10.1114 Design of Off-Street Parking Facilities

10.1114.10 Applicability

The provisions of this Section 10.1114 shall apply to all **off-street parking** facilities, whether in parking **structures** or surface **lots**, and whether or not the parking spaces are required or in excess of the requirements for a **use**, except as specifically exempted herein.

10.1114.20 Stall Layout

| 10.1114.21 Parking spaces and **accessways**~~maneuvering aisles~~ shall be laid out in compliance with the minimum dimensions set forth in the Table of **Off-Street Parking** Dimensions.

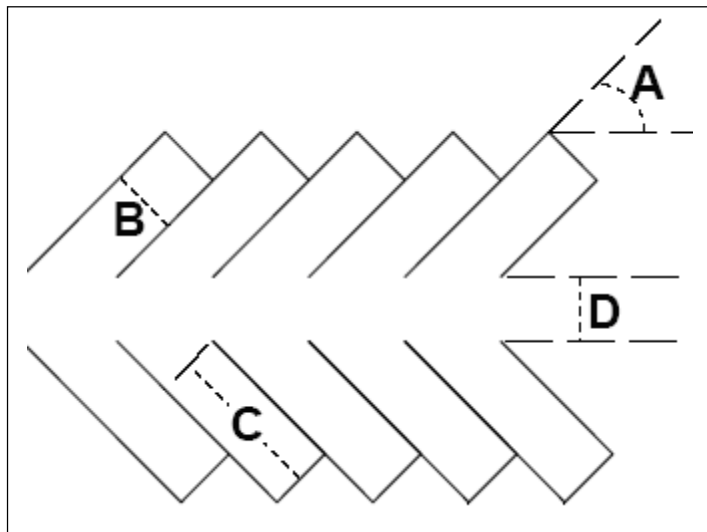
Table of Off-Street Parking Dimensions

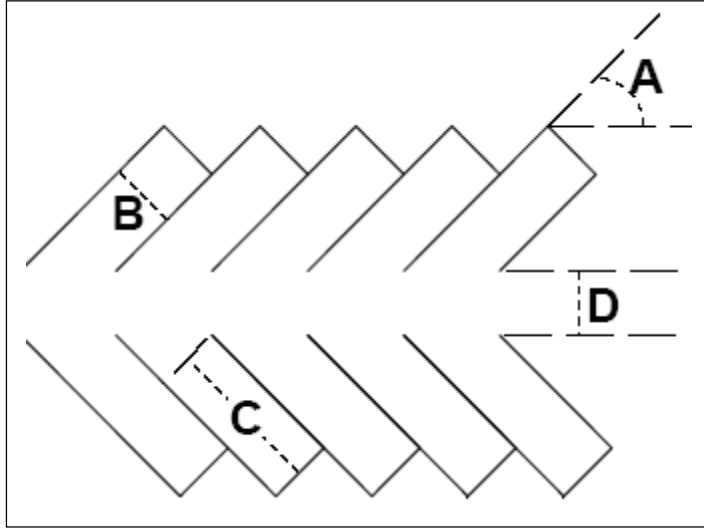
A Angle of Parking (degrees)	B Width of Parking Space	C Depth of Parking Space	D Width of Maneuvering Aisle*	
			1-way traffic	2-way traffic
0°	8.5'	20'	14'	24'
45°	8.5'	19'	16'	24'
60°	8.5'	19'	18'	24'
90°	8.5'	19'	24'	24' **

** The required minimum widths of maneuvering aisles does not apply to an aisle providing access to fewer than 7 parking spaces.

**For a parking structure with 90 degree parking, the minimum width of a two-way maneuvering aisle shall be 22 feet.

Key to Table of Off-Street Parking Dimensions





10.1114.22 Parking areas shall include parking spaces for the physically disabled in compliance with the **Building Code** and *Accessible and Usable Buildings and Facilities* (ICC/ANSI A117.1 latest edition).

10.1114.23 Parking spaces located within four feet of an abutting **structure**, **sidewalk**, or public **street** shall be designed with suitable bumper stops.

10.1114.24 Parking areas and access drives shall be surfaced with a durable surface that meets the load bearing ~~capacity~~ **maximum occupancy** of the project; minimizes dust, material tracking and erosion; and facilitates snow removal. Examples of such materials include, but are not limited to, bituminous binder, concrete, asphalt, compacted gravel and crushed stone. Pervious surfaces may be used provided that they meet the above objectives and provide equivalent protection of surface and groundwater resources.

10.1114.25 Except for **one-family** and **two-family dwellings**, all **off-street parking** spaces shall be marked and maintained to provide delineation between parking stalls and aisles.

10.1114.30 Vehicular Circulation

10.1114.31 Access to and egress from all parking areas shall be only via **driveways** which meet the standards for “General Accessway and Driveway Design” in the Site Plan Review Regulations.

10.1114.32 ~~Except for one-family and two-family dwellings,~~ All **off-street parking** areas shall be designed so that:

- (a) Vehicles can enter and leave each parking space without passing over any other parking space or requiring the moving of any other vehicle, and

- (b) Vehicles can enter and leave the parking area without backing into or from a public **street** or way.

10.1114.33 Notwithstanding the previous provision, tandem parking spaces may be provided for required **off-street parking** spaces serving **dwelling units** in residential and mixed-use developments, subject to the following requirements:

- (a) Tandem spaces shall be assigned to the same **dwelling unit**.
- (b) Tandem parking shall not be used to provide guest parking.
- (c) Two parking spaces in tandem shall have a combined minimum dimension of 9 feet in width by 38 feet in length.

10.1114.40 Pedestrian Circulation

Except for **one-family** and **two-family dwellings**, all **off-street parking** areas shall incorporate the following provisions for pedestrian circulation:

- 10.1114.41 A minimum 5-foot wide pedestrian path shall be provided throughout the site, connecting **adjacent streets**, **accessways**, **sidewalks** and parking areas to the entrances of all **structures**.
- 10.1114.42 Pedestrian areas shall be clearly distinguished from vehicular and bicycle traffic areas through the use of paving materials, **landscaping** buffers, or other means.
- 10.1114.43 Continuous off-**street** vehicle routes shall be no more than 200 feet in length before interruption by pedestrian crosswalks over speed tables, T-intersections or other design elements to calm vehicle movement on site.

10.1115 Off-Street Parking Provisions in the Downtown Overlay District

10.1115.10 Purpose

10.1115.11 This Section 10.1115 establishes modified **off-street parking** standards for **lots** in the Downtown Overlay District in recognition of the availability of municipal on-**street** and **off-street parking** facilities, private shared parking facilities, and public transit, and the pedestrian-oriented pattern of **lots** and **uses**.

10.1115.12 Except as specifically modified by this Section 10.1115, **lots** in the Downtown Overlay District shall comply with all other provisions of Section 10.1110.

10.1115.20 Number of Required Off-Street Parking Spaces

10.1115.21 The following requirements shall apply in the Downtown Overlay District in lieu of the requirements in Section 10.1112.30:

Use	Required Parking Spaces
Residential use (dwelling)	1.5 space per dwelling unit As specified in Section 10.1112.31
Hotel or motel	0.75 space per guest room
Other nonresidential use	No requirement

- 10.1115.22 The requirements in Section 10.1115.21 shall be applied to all **uses** on a **lot**, and not to individual **uses**.
- 10.1115.23 For any **lot**, the number of **off-street parking** spaces that would be required by applying the ratios in Section 10.1115.21 shall be reduced by 4 spaces. (Therefore, any **lot** that would be required to provide 4 or fewer **off-street parking** spaces shall not be required to provide any spaces.)
- 10.1115.24 The provisions of Section 10.1112.50, Maximum Number of Parking Facilities, shall not apply to **buildings** and **uses** within the Downtown Overlay District.

10.1116 Bicycle Parking

10.1116.10 Number of Bicycle Parking Spaces Required

10.1116.11 Off-street parking of bicycles shall be provided as follows, up to a maximum of 30 bicycle spaces:

<u>Multifamily dwellings</u>	<u>1 bicycle space for each 5 dwelling units or portion thereof</u>
<u>Elementary, middle and high schools</u>	<u>1 bicycle space for each 4 students</u>
<u>All other uses, except as exempted in Section 10.1116.14</u>	<u>1 bicycle space for each 10 automobile parking spaces or fraction thereof required by Section 10.1112.30 or Section 10.1115.21, as applicable</u>

- 10.1116.12 When the Planning Board approves the construction of fewer off-street parking spaces than would normally be required under Section 10.1112.30 or Section 10.1115.21 (for example, when a Reserve Parking Area is provided under Section 10.1112.40), or when Board of Adjustment grants a variance from the required number of off-street parking spaces, the required number of bicycle parking spaces shall be based on the number of such spaces that would be required without such reduction or variance.
- 10.1116.13 In addition to the number of bicycle parking spaces required under Section 10.1116.11 and 10.1116.12, any nonresidential use may substitute bicycle parking spaces for up to 5 percent of the required automobile parking

spaces at the following ratios: 1 required automobile space may be replaced by 6 bicycle spaces or by 2 bicycle lockers.

10.1116.14 The following uses are exempt from providing bicycle parking spaces:

<u>Use No.</u>	<u>Use</u>
<u>1.10</u>	<u>Single-family dwelling</u>
<u>1.20</u>	<u>Accessory dwelling unit</u>
<u>1.25</u>	<u>Garden cottage</u>
<u>1.30</u>	<u>Two-family dwelling</u>
<u>2.10</u>	<u>Assisted living facility</u>
<u>2.20</u>	<u>Residential care facility</u>
<u>7.10</u>	<u>Day care</u>
<u>7.70</u>	<u>Undertaking establishment</u>
<u>11.10-11.60</u>	<u>Motor vehicle related uses</u>
<u>12.10-12.40</u>	<u>Marine craft related uses</u>
<u>13.10-13.40</u>	<u>Wholesale trade, warehousing and distribution</u>
<u>14.70</u>	<u>Recycling facility or recycling plant</u>
<u>14.80</u>	<u>High hazard use</u>
<u>17.10-17.20</u>	<u>Agricultural uses</u>
<u>19.10-19.40</u>	<u>Accessory uses</u>

10.1116.15 Bicycle parking spaces shall be designed in accordance with standards set forth in the Site Plan Review Regulations.