

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details)\**

**6:30 p.m.**

**January 05, 2022**

**AGENDA**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. APPROVAL OF MINUTES**

1. December 01, 2021
2. December 15, 2021

**II. ADMINISTRATIVE APPROVALS**

1. 99 Bow Street
2. 462 Middle Street
3. 160 Court Street
4. 442-444 Middle Street
5. 80 Fleet Street

**III. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of **John C. and Jane C. Angelopoulos, owners**, for property located at **36 State Street**, wherein permission is requested to allow renovations to an existing structure (replacement windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 9 and lies within the Character District 4 (CD4) and Historic Districts.

**IV. PUBLIC HEARINGS (OLD BUSINESS)**

- A. **REQUEST TO POSTPONE-** Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow modifications to a previously approved plan (add rooftop atrium and masonry changes to the brick wall and front wall of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

**V. WORK SESSIONS (OLD BUSINESS)**

A. **REQUEST TO POSTPONE-** Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

B. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

C. Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

D. Work Session requested by **Steve & Cathy Ann Henson, owners**, for property located at **0 Maplewood Avenue**, wherein permission is requested to allow the construction of a new single family dwelling as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 3 and lies within the General Resident A (GRA) and Historic Districts.

## VI. WORK SESSIONS (NEW BUSINESS)

1. **REQUEST TO POSTPONE-** Work Session requested by **129 State Street, LLC, owner**, for property located at **129 State Street**, wherein permission is requested to allow renovations and new construction to an existing structure (removal of shutters, addition of dormers, and roof and siding changes) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) and Historic Districts.

2. Work Session requested by **Mill Pond View, LLC, owner**, for property located at **179 Pleasant Street**, wherein permission is requested to allow changes to a previously approved design (changes to the sunroom and roof design) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 15 and lies within the Mixed Research Office (MRO) and Historic Districts.

## VII. ADJOURNMENT

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

[https://us06web.zoom.us/webinar/register/WN\\_6C1x4wtATPO5jCFzZBRbRw](https://us06web.zoom.us/webinar/register/WN_6C1x4wtATPO5jCFzZBRbRw)

**MINUTES  
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

**6:30 p.m.**

**December 01, 2021**

**MEMBERS PRESENT:** Acting Chairman Jon Wyckoff; Acting Vice-Chair Margot Doering; City Council Representative Paige Trace; Members Reagan Ruedig, Martin Ryan, and Dan Brown; Alternate Karen Bouffard

**MEMBERS EXCUSED:** David Adams, Alternate Heinz Sauk-Schubert

**ALSO PRESENT:** Nick Cracknell, Principal Planner, Planning Department

.....  
Alternate Karen Bouffard took a voting seat for all petitions.

**I. APPROVAL OF MINUTES**

1. November 03, 2021

The November 3 minutes were approved as amended.

**II. ADMINISTRATIVE APPROVALS**

*Note: The Commission addressed Item 3, 239 Northwest Street, first because Mr. Ryan recused himself from it.*

**1. 33 Holmes Court**

The request was to place the vent on the rear of the building and paint it the color of the siding.

**2. 37 South Street**

The request was to replace an existing door with a 3-part window of the same size on the rear elevation. Mr. Cracknell said there would be limited visibility from the street and pond view. Ms. Ruedig asked that the window be simulated divided lights (SDLs).

**Stipulation:** The applicant shall use a simulated divided light (SDL) window.

**3. 239 Northwest Street**

The request was to replace the bulkhead with a condenser and add a sump pump discharge.

*Ms. Ruedig moved to **grant** the request, and Vice-Chair Doering seconded. Ms. Ruedig said the condenser wouldn't be seen. The motion **passed** unanimously, 5-0.*

**4. 33 Northwest Street**

The request was to place a cedar fence on top of the retaining wall along the side property line.

**5. 401 State Street, Unit M502**

Mr. Cracknell said he discovered that the Commission gave a blanket approval for the windows in the building two years before that covered the 5-story Rockingham Building and the 3-story mansard building closer to Porter Street. He said the windows were original on the fifth floor but the blanket approval allowed them to be replaced if Andersen Pella windows or similar windows were used. He said the applicant chose the Andersen windows.

**6. 175 Fleet Street**

The request was for a new HVAC unit. Mr. Cracknell said the conduit would be painted to match the siding but no screening was proposed because the location was set back halfway down the diner. Acting Vice-Chair Doering said she preferred that it be screened. Acting Chair Wyckoff suggested a 15" wall or fin that would cover the side of it. Mr. Cracknell recommended that the applicant install the unit with the stipulation that he would return with a proposal for screening.

**Stipulation:** The applicant shall return with a proposal to screen the A/C condenser before final inspection.

**7. 129 Daniel Street**

Mr. Cracknell said the Pella windows were previously approved but it was unclear whether they would be clad or not. He said they were aluminum clad with wood trim. He said the condenser was placed behind the bumpout and wasn't visible, and the vents on Chapel Street were moved from the left of the chimney to the right, with the termination vents run through the chimney. City Council Representative asked if the condenser would be seen by anyone else, and Mr. Cracknell said the people in the back could see it because there wasn't any screening. The applicant's architect Tim Giguere was present and said there was a fence that went around the exposed alleyway, and the bumpout blocked the condenser from the street front. Mr. Ryan said it was a back alley, so he had no objections to it, and the rest of the Commission agreed.

*Acting Vice-Chair Doering moved to **approve** Administrative Approval Items 1, 2, and 4-7, and City Council Representative Trace seconded. The motion **passed** unanimously, 6-0.*

**III. CERTIFICATE OF APPROVAL EXTENSION REQUESTS**

1. Petition of **PNF Trust of 2013, owner**, for properties located at **266-278 State Street and 84 Pleasant Street**, wherein permission was requested to allow a 1-year extension of the Certificate of Approval originally granted on January 06, 2021 for exterior renovations to an existing structure (278 State Street) and new construction to an existing structure (4-5 story addition at 266 & 270 State Street) and exterior renovations to an existing structure (renovate wood structure fronting Pleasant Street and allow the partial demolition and replacement of the Church Street masonry addition at 84 Pleasant Street) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 107 as Lots 77, 78, 79, and 80 and all lie within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

The project architect Michael Keane was present and said they needed the one-year extension to solve an infrastructure issue. Ms. Ruedig asked if the applicant had plans during the interim to re-protect the building, seeing that the tarps had blown away and the building was open to the elements. Mr. Cracknell suggested stipulating it.

#### **DECISION OF THE COMMISSION**

*Ms. Ruedig moved to **grant** the one-year extension with the following **stipulation**:*

- 1. The applicant shall re-install the previous protection for the roof, windows, walls and other openings of the existing structure prior to the original date of expiration (January 06, 2022).*

*City Council Representative Trace seconded. The motion **passed** unanimously, 6-0.*

#### **IV. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of **Friends of the Music Hall, owner**, for property located at **131 Congress Street**, wherein permission was requested to allow renovations to an existing structure (update existing store front) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 6 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

#### **SPEAKING TO THE PETITION**

Project architect Rob Harbeson was present on behalf of the applicant and reviewed the petition, stating that the Music Hall wanted to update the exterior of the Music Hall Loft building by removing the front awning and the left exterior door and enclosing the space on the left to create a vestibule. He said the signage hadn't been fully designed but that the new lighting would be located above the doors in the existing storefront windows. He said the storefront glass would be moved forward to the street's plane and the mullions would match adjacent storefront windows.

Mr. Ryan asked about the lighting conduit. Mr. Harbeson said it would still come through the wall. Acting Vice-Chair Wyckoff asked why the recess on the right side would be left open. Mr. Harbeson said the center two doors were actually service doors and the real entry was to the right. Ms. Ruedig said the removal of the awning would be a loss because it was part of a line of continuous awnings along the storefront. Mr. Harbeson said the existing black box would be much more open and that there was a tree right in front of it.

Acting Chair Wyckoff opened the public hearing.

### **SPEAKING TO FOR, OR, AGAINST THE PETITION**

No one spoke, and Acting Chair Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, and Acting Vice-Chair Doering seconded.*

Mr. Ryan said the project would preserve the integrity of the District and would be consistent with the special and defining character of the surrounding properties.

*The motion **passed** unanimously, 6-0.*

## **V. PUBLIC HEARINGS (OLD BUSINESS)**

A. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission was requested to allow modifications to a previously approved plan (add rooftop atrium and masonry changes to the brick wall and front wall of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

### **SPEAKING TO THE PETITION**

The owner Steve Wilson was present and said the project was no longer a mixed-use one because it would have only a single owner, which caused changes to the building façade. He said the changes included eliminating the balconies on the east, south and north elevations; modifying the corner element on Hanover Street; and making modifications to the residential entrance, to the storefronts on the east elevation, and to the roof deck and skylight area. He noted that the rooftop would be reconfigured because only eight condensers were now needed.

Ms. Ruedig said she couldn't approve the façade's drastic change. She said Mr. Wilson originally convinced the Commission of a building restoration, but by changing the façade and entrance and moving the windows and so on, it was no longer a restoration but a total renovation, and the visible history of the building's evolution was lost. She said she could only support the façade's original layout. She pointed out that no person walking down Vaughan Mall could ever get that view of it to appreciate whether or not it was fully symmetrical because one could only get so far away from the building to really view it. She didn't think it would be appreciated that much to have a whole new symmetrical layout. In response to Mr. Brown's question, Mr. Wilson said the original building was completed around 1903, the first addition was done in the early 1930s, and the later addition was done in the early 1950s, and that the new storefront would be more consistent with what used to be there. He said the recessed balconies on the north elevation were proposed to be double hung windows and three vertical mullions were added at the storefronts. He said the blank space would be left for an art space or whatever the new owner wanted to do with it. Acting Chair Wyckoff said the Commission would want to see it.

Mr. Wilson said there were three levels of balconies above the garage door on Hanover Street, and the building was pulled out to capture them as interior space and to use a triple version of the double hung windows. He said there would no longer be metal railings and the residential space would be replaced by a storefront. Acting Vice-Chair Doering asked if the new owner would use the storefront as a real one or if it would be fake. Mr. Wilson said it would be the corporate entrance and reception area as well as a museum to showcase the owner's products. He said the Vaughan Mall side would be an employee entrance and meeting rooms, and the Worth Lot side entrance would be a subordinate entrance for employees. He said they replaced the screened openings with storefronts and a stone façade and eliminated the far left opening and would place four new windows on that side. He said the corner at the lower levels was stepped back to enhance the main entrance, but instead of balcony railings and openings, there would be double hung windows, and two portal windows on the mansard top were added to match the two on the alleyway and one window was added on the driveway side. He said the eight mechanical units would be tucked back and wouldn't be visible except to the top floor of the hotel across the street. He said the new owner would address the roof deck at a future time. Acting Chair Wyckoff said the roof deck issue would be excluded from the petition for now.

The design was further discussed. Ms. Ruedig said the new design was similar to the original storefront design but it was no longer in the same location, whereas the current layout of the storefront retained the exact footprint of the original layout of the storefront. She said the original door was still there and she couldn't see rearranging and moving the whole thing. She said the existing layout could be kept and have only one door, and it was a main entry central to the original building, which was an important language and vestige of the building's history and development to retain. Mr. Wilson said the central entrance was important to the new owner. Mr. Ryan said he thought it was a better-looking building and more historically appropriate because the balconies, railings, and so on didn't have to be accommodated anymore. He didn't think the Vaughan Street side needed to retain the storefront. He said it was a strong front façade and liked the fact that there would be only one door instead of three. He said the building had improved and that he had no objections to any of the proposed changes.

City Council Representative Trace said she understood what Ms. Ruedig was saying because it was obvious that the new door would shift the original historic footprint over into the middle of the building. She said the original door was under the single windows and now it was proposed to stick it under double windows. She said she preferred to have that façade kept the way it was and to have just one door, otherwise the building's rhythm on that side and its historic footprint would be lost. Mr. Wilson said moving the entrance to the right would change the inside emergency egress stair. It was further discussed. Acting Chair Wyckoff said the photos didn't show the left-hand addition, so a storefront was being created where there wasn't one before. Acting Vice-Chair Doering said she agreed with Ms. Ruedig that the proposed changes lost the story that the storefront told now, and that there was two-thirds of the building on to which they added another third. She suggested looking at whether it was going to be something part way between the before and the after so that there wasn't an entrance on the three left windows and that the right two-thirds would be kept as one unit instead of having the doors and then the windows to the right. She said the story would continue to be told that there was the Margeson Building and then there was an addition by having those broken up into two unequal sides as

opposed to having one in the center and two flanking. She said it would help reflect the history Ms. Ruedig spoke of yet still allow the applicant to work around the interior configurations. She said the muntins in the lower granite section looked thin and asked if it was because of the photos or the elevation renderings. Mr. Wilson said it was an optical illusion on the renderings.

The brick was discussed. Acting Chair Wyckoff said the front of the building had a lot of bad brick and a good portion of it would have to be rebuilt on the east side. He asked if the new bricks would be continuous across the 70 feet or if there would be a division showing the progress that the building had made in the last 120 years. Mr. Wilson said the original building was built three inches out of skew, and when the addition was added, it was intended to look like the original building. It was further discussed. Ms. Ruedig asked if the original storefront door could be saved. Mr. Wilson agreed and said he intended to use it as the entry door

Acting Chair Wyckoff opened the public hearing.

### **SPEAKING IN FAVOR OF THE PETITION**

Allison Griffin of 25 Maplewood Avenue said the changes looked wonderful, although she wondered why one corner of the new addition was set in and the other wasn't.

Kevin Schmidt of 41 Harborview Drive, Rye said it was important to preserve the building's brick and slate heritage.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one else spoke, and Acting Chair Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition, with the following stipulation:*

- 1. The storefront shall come back the way it was originally approved.*

Mr. Wilson said that wouldn't work because the new owner wanted the façade changes. He said if he pulled the storefront back to the right side, it wouldn't meet building code. Mr. Ryan said if the Commission previously approved the three entrances, he would move to approve the petition as presented. City Council Representative Trace asked for a stipulation that the original door be used, and Mr. Ryan agreed. Mr. Cracknell also noted that the atrium and roof deck would be excluded from the approval.

The **amended** motion was as follows:

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition, with the following stipulations:*

- 1. The original antique door shall be used and replicated for the proposed entryway.*



*2. The atrium and rood deck shall be excluded from the approval and reconsidered in a subsequent submission.*

Mr. Ryan said the project would preserve the integrity of the District and would be consistent with the special and defining character of the surrounding properties.

*The motion **passed** by a vote of 4-2, with Ms. Ruedig and Acting Vice-Chair Doering voting in opposition.*

## **VI. WORK SESSIONS (OLD BUSINESS)**

Acting Chair Wyckoff stated that there were requests to postpone Work Sessions A and C. Acting Vice-Chair Doering asked if the abutters were being re-notified. Mr. Cracknell said there was only a new notice for a public hearing but not for another work session, and that there was usually a limit for postponements and that the current applicant was getting close to that.

*Ms. Ruedig moved to **postpone** Work Sessions A and C, and Mr. Brown seconded. The motion **passed** by a vote of 5-1, with Acting Vice-Chair Doering voting in opposition.*

A. **REQUEST TO POSTPONE-** Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

The work session was **postponed**.

B. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

## **WORK SESSION**

Project team architect Carla Goodnight and Eben Tormey were present on behalf of the applicant. Ms. Goodnight reviewed the updated Maplewood Avenue elevation changes, which included the following:

- The top floor was set back on all sides and all units were removed, so it was now a penthouse structure accessed by units below;
- Vertical design elements were introduced to modulate the façade, including deeper recessed balconies instead of Juliet ones; and
- A roof trellis was proposed above the single-story commercial space as a floating element.

Ms. Goodnight discussed some material changes, including using a different material across the penthouse. She said canopies highlighted the entrances, the storefront glass was updated, and a masonry brick look and wood element for the tan section were considered. She said the balconies would be screened by a solid rail and the 38-ft view corridor would go through to the water to create a view to the pond. She showed context and massing views. Mr. Tormey described the puzzle parking system and said it would eliminate a lot of surface parking. He said the lot was regraded to create a berm to hide the buildings from the path and the pond. Acting Chair Wyckoff asked if the garage doors would hide the machinery. Mr. Tormey said it was a gate, and he further explained the system.

Ms. Goodnight asked for feedback on the trellis and recessed balconies. Ms. Bouffard said she didn't like the balconies that protruded on the upper corners. Acting Vice-Chair Doering said she liked the drama of certain balconies and that the trellis could have more presence. Ms. Ruedig said it was a nice articulation to the roof. City Council Representative Trace said the more drama given to the trellis, the better, but thought that both buildings were too tall and too big. Acting Chair Wyckoff said it was time to have a clearly defined entryway on the Maplewood Avenue side and perhaps have it in the center instead of on one side and that it could also go up to the second floor. He said Maplewood Avenue should have more traditional styling. He said the Commission had spent a lot of time discussing the same trellis idea on the building across Raynes Avenue and that he didn't even notice it when he drove by. He said the building was massive and that it should be brought down a bit. It was further discussed. The impacts to the buffers were discussed. Ms. Goodnight said they were committed to staying out to the 100-ft buffer and had tried many strategies to remove the parking and step the massing back on the top floor. She said it was a plus to have the whole building be fifty more feet away from the pond.

The view corridor, massing, and setbacks were discussed. Mr. Ryan said the building mass and all the public elements fronted Raynes Avenue, so the back of the building addressed the best part of the water side. He suggested putting less emphasis on the Raynes Avenue side and creating more of a public side on the natural green side. He said the parking could feed in from Raynes Avenue and the fire path could be more pedestrian friendly by being a cobbled pathway. He said all the storefronts and so on could relate more to the waterfront. He said it was a huge flip but would be a more successful approach to making it more of a human environment. Ms. Goodnight said it would require several variances. City Council Representative Trace asked if the mixed-use building was still within the 100-ft buffer zone on the Maplewood Avenue side. Mr. Tormey said the zoning setback requirement was that they build within 14 feet of the property line. Ms. Ruedig said a strong frontage would be more inviting and the proposed restaurant or bar on Maplewood Avenue would be a positive thing because it would be active. She said the garage would be very apparent and that the wall would be a challenge because it would face someone coming into town. Mr. Brown said he appreciated getting rid of the surface parking and thought the stepping went a long way to hide the building's height. He said he liked the front and thought it made more sense than stepping it up from the pond, and he was impressed with the awning trellis idea on the front. Ms. Bouffard said it was a waterfront building and that the focus should be to the back.

Acting Vice-Chair Doering said she agreed with Mr. Ryan that the back of the building looked like the back and was actually the most beautiful view. She asked if the entrance was on Raynes

Avenue or on Maplewood Avenue or on in the back. Ms. Goodnight said they wanted to create an active streetfront and that she wanted to make a stronger connection to the park path to minimize the roadway, which could be made less prominent so that people weren't brought into the vehicular management area. She said the parking gates could have some sort of art installation to make them interesting. Acting Chair Wyckoff said he disagreed with minimizing the Raynes Avenue Side because it was important that it be kept attractive. He suggested incorporating a one-story café between the two buildings that connected to the path so that people on the path could get a cup of coffee and look at the pond view. It was further discussed. The number of parking spaces was discussed. Mr. Ryan suggested driving under a portion of the hotel at the Maplewood Avenue section instead of having a large asphalt band across the back of the building. He agreed that it would be nice to have a connection between the path and the building by having a café to enjoy the waterfront and park views.

### **PUBLIC COMMENT**

Rick Becksted of 1391 Islington Street said he was speaking as a resident. He asked what happened to the zoning charettes, noting that it was agreed back then that the highest point would be the inward section, which was where the AC Hotel was. He said the Commission was unique and could say no if they felt that the mass, scale, and size of the project were not appropriate. He said the building's massing had to decrease, regardless of the incentives.

Esther Kennedy of 41 Pickering Avenue said people spent a lot of time looking at charettes and asked that the buildings in that area be 2-1/2 stories. She said the building had to be made smaller and moved out of the buffer zone. She asked what the city was really getting for incentives for the height.

Petra Huda of 280 South Street asked how the contemporary building in a historic district could be approved by the Commission. She said the items being discussed were all on the other side and had nothing to do with the historic aspects of the community, and that it was important to adhere to the buffer and bring the massing back to the original Master Plan.

No one else spoke, and Acting Chair Wyckoff closed the public comment.

Ms. Ruedig said the building needed to step back more. She said the HDC part of it was with the surrounding historic buildings that were being demolished, including the 31 Raynes Avenue building that was a great example of a midcentury design. She said the buildings were worthy of attention and proper documentation before being taken down, even though they weren't contributing buildings to the District. Mr. Ryan said he didn't mind the building's scale and massing as long as it was good architecture.

### **DECISION OF THE COMMISSION**

*It was moved, seconded, and passed unanimously to **continue** the work session to the January 5, 2022 meeting.*

C. **REQUEST TO POSTPONE-** Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

**The work session was postponed.**

D. Work Session requested by **Steve & Cathy Ann Henson, owners**, for property located at **0 Maplewood Avenue**, wherein permission is requested to allow the construction of a new single family dwelling as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 3 and lies within the General Resident A (GRA) and Historic Districts.

## **WORK SESSION**

Project architect Michael Keane, designer Mike Brown, and owner Steve Henson were present. Mr. Keane reviewed the changes made to the carriage house, noting that it went to a story and a half, a cupola was added to the garage portion, it was kept closer to Prospect Street because of grading concerns, and the windows and garage doors were removed from the shed portion. He said the back gable remained and a door was added for access to the backyard. He said the three windows on the Maplewood Avenue elevation were replaced by a bay picture window that aligned better with the second-floor windows.

Acting Vice-Chair Doering said the carriage house looked like it had grown three times its original size. She said the cupola was too much and looked like it was trying to turn a simple carriage house into a Victorian gingerbread house. She suggested bringing the carriage house down to the previous level. City Council Representative Trace agreed. She said the cupola was out of proportion with the structure, as was the pitch of the roof. She said the carriage barn was disproportionate to every 18<sup>th</sup> Century carriage barn she had even seen. She said the roof on the lean-to addition for a car wasn't pitched properly and that the addition wasn't high enough to be a geometrically-correct lean-to third addition. She said the carriage barn was too close to the house and thought the upper third of the roof could be taken down on the carriage house. She noted that the cupola was higher than the pitch of the house's roof. Ms. Bouffard agreed.

Ms. Ruedig said it was a fantasy recreation of a historic property. She said the house that was attached looked like an earlier 19<sup>th</sup> Century farmhouse, which didn't match the other historic homes on Middle Street. She suggested bring the pitch of the carriage house's roof down to make it smaller. She said the main house was fine because it was simple and traditional, but thought the way the slope on the Maplewood Avenue side went off might end up making the house look much taller. Mr. Ryan said he had no problem with it but thought the cupola could be minimalized. He said the School Street elevation, in relationship to the main house, wasn't competing with the house. He said the structure was proud and appropriate for the big lot. Mr. Brown said the carriage house was a great idea and looked like it fit in town. He didn't think the proportions were a bit off, especially from Prospect Street, but thought the carriage house could

be shortened a little. Acting Chair Wyckoff said the main house itself was too simple and almost didn't deserve a carriage house because it didn't have a grand feeling to it. He said it could be corrected without changing the floor plan by making it look more important to match up to the carriage house by reducing the height two feet or so. He said reducing the roof pitch a bit might also help. He said it didn't need the cupola because it was almost too grand. He thought the third garage door with the shingles was wonderful because it was subordinate. He recommended giving the main house more importance and taking about 15 or 20 percent off the carriage house. Mr. Ryan said the main house didn't have a chimney, unlike the other houses on the street. Ms. Bouffard said the cupola would be appropriate if it was resized. Mr. Keane said they would try to save the mature trees in the back of the carriage house but couldn't save the ones in the front.

Acting Chair Wyckoff asked the applicant to draw the carriage house with a shorter cupola and without one for the next work session. Mr. Cracknell suggested bumping up the finish on the main house and putting in a larger attic window, bumping up other trim details, having a faux chimney and granite steps, and a more formal door and door surround.

There was no public comment.

#### **DECISION OF THE COMMISSION**

The applicant said he would return for another work session at the January 3 meeting.

#### **VII. ADJOURNMENT**

The meeting was adjourned at 9:45 p.m.

Respectfully submitted,

Joann Breault  
HDC Recording Secretary

**MINUTES  
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

**6:30 p.m.**

**December 15, 2021**

**MEMBERS PRESENT:** Acting Chairman Jon Wyckoff; Acting Vice-Chair Margot Doering; Members Reagan Ruedig, Martin Ryan, David Adams and Dan Brown, Karen Bouffard and Alternate Heinz Sauk-Schubert

**MEMBERS EXCUSED:** City Council Representative Paige Trace

**ALSO PRESENT:** Nick Cracknell, Principal Planner, Planning Department

.....

Mr. Cracknell said the meeting was to discuss items that came before the Commission that involved more time than they should because there wasn't an HDC standard or design guideline in place. He presented a few tables to the Commission that tracked what happened in former meetings and the methods used to decrease the number of meetings a year, like exemptions and administrative approvals.

(Note: some items were discussed out of the agenda's order and are listed as such).

**I. MODIFICATIONS TO THE EXEMPTIONS:**

- HVAC Equipment (esp. exposed conduit, vents, and screening requirements)
- Fences or gates (minor design changes)
- Accent, string or step lighting
- Steps
- Storm windows

**HVAC Equipment**

Mr. Cracknell said the requirement to screen HVAC equipment had to be firmed up. Acting Chair Wyckoff said he didn't think the Commission should have the same guidelines for screening HVAC equipment on the back of the house, even if a neighbor could see it. Ms. Ruedig said there had always been an informal back-of-the-house rule with less rigid standards, and that looking at every aspect of the house where equipment might be visible opened the door to a lot of other things that the Commission didn't need to address. Mr. Cracknell suggested stating in the performance standards that if applicants chose to screen a condenser in the back of the house, they wouldn't have to come before the Commission for an administrative approval. Acting Vice-Chair Doering noted that some of the houses by the North Mill Pond were visible to

the public, and it was further discussed. Ms. Ruedig said the back-of-the-house rule applied in practice to something that wasn't visible to the public and was different if it was visible. Acting Vice-Chair Doering said she thought it would be back-of-the house if someone had a yard fence that was quite forward of their house and the condenser was placed behind it. Mr. Cracknell said that was still a case of getting an administrative approval because it was still potentially visible.

Mr. Cracknell said Portsmouth had a lot of condominiums and that every three months or so, the Commission saw a request for a mini-split that made a mess on the outside. He said some of the burden should be placed on the condo association on how to figure out how which plane of the building should be used and whether conduits could be run from the interior. Acting Chair Wyckoff said he'd rather see the lines on the outside if they were painted the siding color, especially on a house of quality, rather than know someone was drilling holes through the floor and putting the conduit up to a second or third floor. Ms. Ruedig agreed and said it could be unsightly on the outside of the building but was more reversible than ruining the inside. Mr. Cracknell said many buildings already had internal chases that the condo association could be in charge of but that the Commission had to ensure that the association did their due diligence. He also suggested exploring solutions that more sophisticated cities had done. Mr. Adams said every building that was converted to hot water heat or steam had pipes drilled up to every primary room and that it came down to money and will. He said just stapling stuff on the exterior of buildings was a lack of will, and people were drilling holes through cornice work and so on and imposing on the space of the people below them. He said it was a tough argument to put the onus on the condo residents rather than have them appear before the Commission. Acting Vice-Chair Doering said applicants were asked to go to an expert to see if old windows could be refurbished instead of replaced, and she thought asking people to do the same for HVAC equipment was reasonable. She said the Commission couldn't do anything about people ripping up the inside of their houses. Mr. Cracknell said the preferred solution was an inside chase and that it should be the default position. He said contractors would eventually learn what the Commission needed and that he could make sure the design guideline material was readily available in the Inspection Department in case the contractor needed more information.

Acting Chair Wyckoff said a small guidelines document should be printed up for the contractor to make sure it was read. Mr. Ryan said the applicant should also be aware that they were in the historic district so they knew what they were up against. Mr. Cracknell said he couldn't think of an example in the past few years where an applicant hadn't known they were in the historic district if they applied for a permit because it got reviewed by several land boards. He said the real problem was how to figure out what the solution was and then market it to get in on the street proactively. Ms. Ruedig said she would look into it.

### **Steps**

Granite steps were briefly discussed.

### **Accent, string or step lighting**

Mr. Cracknell said everyone seemed to be putting up string lighting and that it could be good or bad depending on how it was done. Ms. Ruedig said it was temporary and wasn't in the

Commission's purview. Mr. Cracknell said the Commission had to start addressing how temporary items could impact the district because there were several things that might not be appropriate in a particular location in the District. He said the ordinance could be changed if necessary. Acting Chair Wyckoff said the Commission should primarily address what was being done to historic structures on a permanent basis. He said a neighbor looking at something they didn't like wasn't in the Commission's purview. He said something visible from the street was very important but he was hesitant about getting into people's backyards. Ms. Ruedig said the purpose of the Commission was to protect the city's historic fabric. She said bird feeders, swing sets, hot tubs, and so on were temporary, but someone could want to park an RV on their property. Mr. Sauk-Schubert thought the danger was when the Commission began to determine what behavior was appropriate. Ms. Bouffard said some buyers didn't want to be in the District because they had heard horror stories, and if the Commission started determining play equipment and so on, it wouldn't be favorable. It was further discussed. Mr. Adams said the Commission made a pact suggesting publicly that the community's architecture was unique and out of normal activity and that it should be enacted to protect and preserve those properties, but that it should also be known that it came at a cost. He said the cost of maintenance provided a privilege of living in the District, and the lifestyle-focused issues made life easier or affordable in the District or maintained a higher level of property values so that people felt safer with their investment.

Mr. Cracknell asked how the Commission could preserve historic settings as well as architecture and how they could do a better job in balancing the more permanent things from the more temporal things. Mr. Ryan said fixed equipment could be part of the Commission's purview, but not string lights. Acting Chair Wyckoff said the Commission either had purview on temporary items or it didn't. Mr. Adams said he thought that the Commission would subject people to costs that some people couldn't afford, and trying to provide them with a security blanket from those higher costs for living in the District was compensated by controlling what took place with the neighbors. He said there was more to trying to preserve the architecture.

### **Storm windows**

Mr. Cracknell said the Commission had an exemption for storm windows and that their performance standards only allowed replacing a storm window if it was wood, but that there should be a standard to allow the replacement of an aluminum storm. Ms. Ruedig said there should also be a list of recommended storm window companies. Mr. Cracknell said the windows should look right regardless of who made them because window manufacturers came and went, and it was further discussed.

## **II. ADMINISTRATIVE APPROVALS AND DESIGN STANDARDS FOR:**

- Small Garden Sheds
- Public Art (Murals, sculpture...)
- Use of clad windows
- Use of cementitious siding
  
- New Design Standards:
  - Elevating buildings in flood-prone areas
  - Centralized HVAC and other mechanical systems



- Faux chimneys
- Formal Review Process:
  - Managing blanket approvals
  - Downtown sign review
  - 4-Step Design Process (Context/Massing/Style/Details)

### **Small garden sheds**

Mr. Cracknell said applicants should appear before the Commission because small garden sheds could be very different.

### **Public art (murals, sculptures)**

Mr. Cracknell said he strongly believed that, despite public art being temporary, it was important for the Commission to look at proposed art in the District because it had such a profound impact on the building it was placed in front of or stuck on. Ms. Ruedig said public art should go before the Commission as a public hearing rather than an administrative approval because it could damage surrounding property values and the District. Mr. Cracknell advocated adding to the ordinance that the Commission have a purview on public art. Mr. Sauk-Schubert said he was appalled at the proposed art for a recent project but everyone else on the Commission liked it. Ms. Ruedig said there was a difference between subjective art opinions and what the Commission as a whole agreed would not be appropriate for the District. It was further discussed. Acting Vice-Chair Doering said someone's graffiti was someone else's art and that the Commission could use some of their existing standards when looking at 3D art, like screening pieces to hide certain things, and at the context of where the art was being placed to see whether it was too small or out of context with what was next to it. Mr. Cracknell suggested using an independent group like Art-Speak who could filter the art or give the Commission recommendations of whether the art was suitable or not, but that the Commission had to first establish whether they had jurisdiction over art. Acting Chair Wyckoff agreed that Art-Speak or a similar group could be used, or perhaps Portsmouth needed another committee to address public art as part of a permit. Mr. Cracknell said if an applicant needed a variance for signage, they first came to the Commission before going to the Board of Adjustment, which he felt was an oddity, and that the Commission got the murals because they were treated as signs.

### **Downtown Signs**

Mr. Cracknell said the Commissioners should spend some time looking at signs around downtown to see how many weren't very sympathetic despite being temporary features because they could damage the look and feel of a building. He said there were some bad signs that met code only because the code was dimensional. He said that sign requests could be administrative approvals and that the Commission would ensure that they were appropriately designed for the building. Acting Chair Wyckoff agreed. Ms. Bouffard said she had seen a lot of neon signs downtown. Mr. Cracknell said they weren't legal and that it was an enforcement issue. He suggested that the Commission consider regulating signs and said he would find out the number of signs in the District that came before the Commission. Mr. Adams said he was concerned about removing a sign and leaving a 2"x4" on the building that was put into the masonry as an

anchor because the material rusted over time and damaged the building. It was further discussed. Acting Vice-Chair Doering suggested basic guidelines for specific materials, interior-lit signs, and so on. Mr. Cracknell said the list should include what was acceptable and eliminate the extremes, like internally-lit plastic signs.

### **Elevating buildings in flood-prone areas**

Mr. Cracknell said there were properties in the south end that were very vulnerable to sea level rise and storm surges and that the City had developed a higher floor elevation than FEMA to protect new construction. He said there would probably be one or two king tides a year, so the Commission had to think of a way to get ahead of it and how to retrofit some of the lower homes so that their character wasn't affected. Ms. Ruedig suggested recirculating the sea level rise presentation that was shown to the Commission a few years before. Acting Chair Wyckoff said a building's steps could be part of the building code if someone had to lift their house and the steps had to be higher and shallower. Mr. Cracknell suggested that the Commission read Charleston, South Carolina's design guidelines so the issue could be revisited.

### **Use of cementitious siding/Use of clad windows**

Ms. Bouffard asked if cementitious siding was approved on downtown alleyways. Mr. Cracknell said it was possible. He noted that HardiePlank had gone from the back to the sides of buildings and sometimes to the front, depending on whether the structure was contributing or if the siding was so beat up that it needed to be replaced whether it had visibility or not. He said the cultural trend of Portsmouth, plus the shift of membership on the Commission and the chemistry created as individuals, played itself out in determining how to deal with those situations. He said HardiePlank was fluid through time, like Azek, and was finding its way to the front of the house and that it was worth discussing. Acting Chair Wyckoff said the Commission reviewed siding in context and as to how visible the home's sides were. Acting Vice-Chair Doering said a key factor was whether the building was contributing or not, and she said she couldn't imagine allowing cementitious siding on some of the beautiful homes on Middle Street. She said people argued that it would be less maintenance, but she thought wood would be fine if a building were maintained well. Mr. Cracknell said it wasn't any different than removing or replacing chimneys and could be a steady erosion of what was trying to be protected. He said it was a good forum to discuss how to tell applicants to use authentic material. Mr. Ryan said cementitious siding required fire rating. Mr. Cracknell said the Commission had to research techniques that could be utilized to avoid the building code ruining the District.

Acting Chair Wyckoff said egress windows were happening too because the inspector was allowing casement windows. Mr. Cracknell said some double hungs were allowed to remain because they met the code measurements. Acting Chair Wyckoff said exceptions were made for older homes before but now there were fire code considerations. Mr. Cracknell said the highest quality of casement window was required and that it looked like a double hung. It was further discussed. Mr. Martin said composite materials were getting better, so the Commission needed to be open-minded and judge it on a case-by-case basis.

### **Faux Chimneys**

Mr. Cracknell said that lately, three or four homes had chimneys removed, and he noted that architect Anne Whitney came up with a gold standard for building a faux chimney. Mr. Cracknell said the details for building a faux chimney should be in the design guidelines because it was a character-defining feature. Acting Vice-Chair Doering suggested that the first step was asking if the existing chimney could be repaired, noting that applicants usually said the chimney wasn't an active one and was causing leaks and so on. She said the Commission should be asking the applicant if they had looked into what needed to be done to repair the chimney instead of asking whether the chimney was special or contributed to the building. Mr. Cracknell said chimneys were being removed left and right, but that faux chimneys were wrong to a preservationist. He said a recent applicant decided to abandon a project to remove a tall skinny chimney to get more floor space because he understood that the time to remove historic chimneys was over. Mr. Cracknell said the design guidelines should indicate that chimneys were going from an era of removal to one of sparing them. It was further discussed. Mr. Cracknell asked that the language in the design guidelines be strengthened and discussed at a future meeting. Mr. Ryan said he didn't mind a chimney being removed if it wasn't original to the house or serving a boiler or in the middle of a floor plan. Mr. Cracknell said chimney removals usually disrupted floor plans.

### **Solar panels**

Acting Chair Wyckoff said solar panels shouldn't be located on the front of a single home in the District but should be used in the central business district, where it was common to see appurtenances coming up from a roof. He said solar panels should be encouraged on downtown flat-roofed buildings. Ms. Ruedig said the Commission had approved solar panels when they came before them and had done a good job of keeping true to their standard that they not be on the building's façade or its main viewing portion. Mr. Cracknell said there were several large buildings in the business district that had flat roofs but didn't have solar panels. He said he had seen the mechanicals on several buildings and that there was plenty of room for panels, but that there needed to be a performance standard so that it didn't get out of control. Mr. Ryan said the only good solar panels were the ones that weren't visible, and he disliked them because they were cheaply made, full of chemicals, and inefficient. He also noted that a lot of applicants overpromised and undelivered them. Mr. Adams said solar panels were semi-permanent and intrusive and hoped an acceptable solar panel came along in the near future. Ms. Ruedig said she was happy to encourage solar panels on flat roofs and that they would be more easily hidden than the mechanicals. Mr. Cracknell said solar panels could be a way to mitigate and soften the clutter of mechanicals on roofs, and he suggested that the Commission look into it further.

### **Managing blanket approvals**

Mr. Cracknell said the sunset clause wasn't a bad idea because it wasn't forever. Mr. Adams said he was on the Commission when blanket approvals were started and one was placed on the Rockingham Hotel, but he had no idea that people would still be swapping out windows and that the manufacturer who was given blanket approval would be gone.

### **Four-step Design Process**

Acting Vice-Chair Doering said a lot of the massing that came before the Commission was a fait accompli, with trees and so on. She said one applicant in particular gave the Commission an opportunity to react to different massing sizes and shapes, but too many applicants were allowed to skip over that and locked themselves and the Commission in by talking about trellises and so on. She suggested setting a standard in the renderings, with or without landscaping, because in the first few years, trees were small and half of them didn't survive. She noted that the Maplewood Avenue project's plaza looked fantastic with the proposed landscaping but that the landscaping hid a lot of things. Ms. Ruedig said renderings shown with all the landscaping in the beginning was a tactic developers used to show a pretty picture of what the building would look like. She said the Commission had to set a standard stating that renderings like that couldn't be shown at the beginning of a work session. Mr. Sauk-Schubert said it was eye candy and that there should be schematic designs showing the massing at first. Mr. Ryan said a blank white block was misleading and didn't tell him anything. Mr. Adams said white blocks were good at showing how the mass would fit if they were done right. It was further discussed.

Mr. Cracknell said the Commission needed to be firmer about the design process so that there were less meetings. He suggested that Acting Chair Wyckoff summarize everything each Commissioner said about massing at the end of a work session so that it was clear to the applicant. Mr. Ryan said sometimes the Commission said the massing was okay and then the applicant came back to the next work session with more language and architecture. He said Commissioners also needed to let the applicant know early in the process whether they supported the mass or not instead of saying at the 4<sup>th</sup> or 6<sup>th</sup> work session that the massing was too big. It was further discussed. Mr. Cracknell said what mattered to the applicant was the outcome of the process and that he hadn't known any applicant yet that was left with a denial because the members said they didn't like the project at the end of six months. Mr. Ryan said the Commission had to get better at giving feedback, and Mr. Sauk-Schubert said the Commission had to be tougher and see through the advertisement. A straw vote situation was discussed. Mr. Cracknell said a work session was an informal straw vote because the Commission was asking for input and it wasn't a decision-making process or binding.

Mr. Cracknell said he would talk to the Legal Department about a disclosure form. He also suggested discussing historic plaques in the future. Mr. Adams noted that the City's 400-year celebration was coming up.

### **III. AFFILIATIONS:**

- Certified Local Government
- New Hampshire Preservation Alliance

#### **Certified Local Government**

Mr. Adams said the State had a program to encourage the formation of historic districts in New Hampshire called the Certified Local Government. He said ten percent of the State money received from the Federal Government was for historic properties and had to be sent off to communities to do work with. He said the program could help finance projects and programs and was a lot of matching money. He said most of it were things that the Commission already did. He

said the Commission should get the person who ran the program to speak to them at a meeting. Ms. Ruedig said it was a good idea and that she would contact the person.

Ms. Ruedig said a zoning change would be required to clarify the boundaries of the District along Middle Street because the boundaries of a historic district should go along lot lines. She said when Middle Street was created, straight lines were done that caused confusion because a small corner of someone's parcel got cut by a boundary line, and she suggested that it be redrawn so that it captured everyone who fronts Middle Street. Mr. Cracknell said there were many anomalies of lot lines and he encouraged everyone to think about areas that abut the District that perhaps should be in it instead.

### **New Hampshire Preservation Alliance**

Mr. Cracknell suggested that the Commissioners attend a few meetings to learn more about the NH Preservation Alliance. He also recommended that the Commission explore having Portsmouth be a sister city with Charleston because they had many things in common. He said they had a mature historic district and had constraints like rising sea levels and climate change and that the cities could learn from one another.

### **IV. ADJOURNMENT**

The meeting was adjourned at 9:30 p.m.

Respectfully submitted,

Joann Breault  
HDC Recording Secretary

# HDC

## ADMINISTRATIVE APPROVALS

January 05, 2022

1. 99 Bow Street (LUHD-421) - TBD
2. 462 Middle Street (LUHD-413) - Recommended Approval
3. 160 Court Street (LUHD-415) - TBD
4. 442-444 Middle Street (LUHD-419) - Recommended Approval
5. 80 Fleet Street (LUHD-418) - Recommended Approval

**1. 99 Bow Street - TBD**

**Background:** The applicant is seeking approval for an art installation as part of a previously approved project.

**Staff Comment:** TBD

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



12/30/2021

### LUHD-412

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active

**Date Created:** Dec 13, 2021

#### Applicant

Terrence Parker  
terrence@terrafirmalandarch.com  
163a Court Street  
Portsmouth, NH 03801  
6035319109

#### Location

99 BOW ST  
Portsmouth, NH 03801

#### Owner:

MARTINGALE LLC  
3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

#### Application Type

**Please select application type from the drop down menu below**

Administrative Approval

#### Alternative Project Address

--

#### Project Information

##### Brief Description of Proposed Work

Approval is requested for the bas relief murals at the Martingale Wharf about black sailors in the 1700 and 1800's based on the book 'Black Jacks' by historian Jeffrey Bolster and designed by Terrence Parker.

##### Description of Proposed Work (Planning Staff)

--

#### Project Representatives

##### Relationship to Project

Other

**If you selected "Other", please state relationship to project.**

artist

##### Full Name (First and Last)

Terrence Parker

##### Business Name (if applicable)

--

##### Mailing Address (Street)

163a Court Street

##### City/Town

Portsmouth

##### State

NH

##### Zip Code

03801

##### Phone

6035319109

##### Email Address

terrence@terrafirmalandarch.com

#### Acknowledgement

**I certify that the information given is true and correct to the best of my knowledge.**



**By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction**



**I hereby certify that as the applicant for permit, I am**





12.7.21

Jonathan Wyckoff, Chairman  
Historic District Commission  
1 Junkins Avenue  
Portsmouth, New  
Hampshire 03801

RE: Bas Relief Murals at the Martingale Wharf

Dear Mr. Wyckoff,

On October 6, 2021, the Historic District Commission approved an expansion of the waterfront decks of Martingale Wharf at 99 Bow Street. The HDC approval omitted the Bas Relief sculptural murals, based on the book by Portsmouth resident and historian W. Jeffrey Bolster called 'Black Jacks', which is about the history of black sailors in the 1700 and 1800's. As support for the removal of the murals, some members of the HDC stated that the whaling industry in Portsmouth was not significantly successful enough to warrant the inclusion of a whale in an artist's concept of the maritime history in Portsmouth and they further suggested we consider 'shipbuilding' as a theme. With the HDC's rejection of any reference to whales in the sculptural submission at the Martingale wharf, the HDC has inappropriately expanded its role from that of reviewing the historic fabric of buildings to that of arbiters of art. The City of Portsmouth and the HDC specifically has no defined process for the review of art.

I would like to address the two issues I see here.

The first is the process of approving art in the City of Portsmouth. Since the disbanding of Art Speak some years ago, there is no appropriate sanctioning body to ensure that the city gets well thought out and well executed art. I am an advocate for thought provoking art that is also well-built. Toward that end, I would like to now encourage the City to develop whatever ordinance it needs to streamline the approval process and to re-employ the guidelines Art Speak produced. Perhaps the City needs an advisory art committee to review and make recommendations like the way TAC functions now.

Art in the historic District ought to be challenging and of sound quality, the point of a vetting body therefore is to ensure the quality of the art but not instill a whitewashing of ideas.



My second objective is to rebut the decision the HDC made in addressing the bas relief murals at the Martingale Wharf. The HDC decision was not well conceived because the board took a literal and narrow view of the maritime history of Portsmouth. The HDC got stuck on the whale and missed the ocean it swims in.

Yes, Portsmouth had a whaling industry in 1832 to 1839 and continued to process whale oil until 1849. Charles Cushing made a half million dollars before the market panic of 1837 and the Ladd Brothers made 1.2 million in today's value. Whale oil was the chief source of heating and industrial lubricants in America for over a century and was only banned for sale in the early 1970's. The inclusion of whales in the bas relief mural at the Martingale Wharf is not to suggest that Portsmouth was ever a whaling town like New Bedford or Nantucket but to provide the context for that which drew men out to the sea including black sailors.

In my perspective, whales in art are not just whales.

Art is not a field for literal interpretation, it is a vehicle for allegory and symbolism. When viewing this same sculptural mural, one should have also noticed that the sailors with the whale were standing not on a solid deck but only on turbulent waters--a metaphor for the instability and risk these men took for freedom and a livelihood. And the rope they are pulling suggests pursuit and cooperation. Wasn't Melville's 'Moby Dick' an allegory about pursuit and obsession? Was Moby really white?

The intent of including a whale in the Martingale bas relief mural is to suggest that a whale, the most majestic of all mammals can serve to represent all the wildlife in the sea.

It is well known that our oceans are overfished. With less than 400 Right Whales left in the world that pass through the Gulf of Maine seasonally, isn't it an artist's responsibility to reference their plight in our waters especially when we have a present-day controversy of lobster gear ensnaring and injuring Right Whales? Is the pursuit of the beloved lobster part of the problem?

To omit a whale, as not a viable symbol of our connection to the sea, because their harvest was not thought to be enough of an economic success in Portsmouth, is to suggest that we can eliminate other industries from artistic interpretation.

- If a whale does not pass the standard of inclusion how will any reference to Portsmouth's brothel industry of the late 1890's stand that same test?
- Could the HDC also have rendered an opinion on the percentage or presence of black sailors also depicted in the proposed image, who sought freedom on the seas, might they think that there just weren't enough black sailors to justify inclusion in an artwork in Portsmouth?



*t e r r a f i r m a*  
l a n d s c a p e a r c h i t e c t u r e

Conceptual art asks questions. This episode of the HDC arbitrariness sets a disturbing precedent and proves that the City of Portsmouth is sorely lacking in a process to sanction art.

What would have been a gift of public art to the city by the Martingale owner has been shuttered by a flawed process and a narrow view of cultural interpretation.

As requested in the HDC approval letter of October 20, 2021, we have considered the theme of shipbuilding and found it not as compelling of an inspiration to the freedom seeking spirit of the Black Jacks as the liberating possibilities of seafaring.

We therefore are now requesting an ‘administrative approval’ for the bas relief murals as they have been presented to date.

Respectfully,

Terrence Parker, Landscape Architect

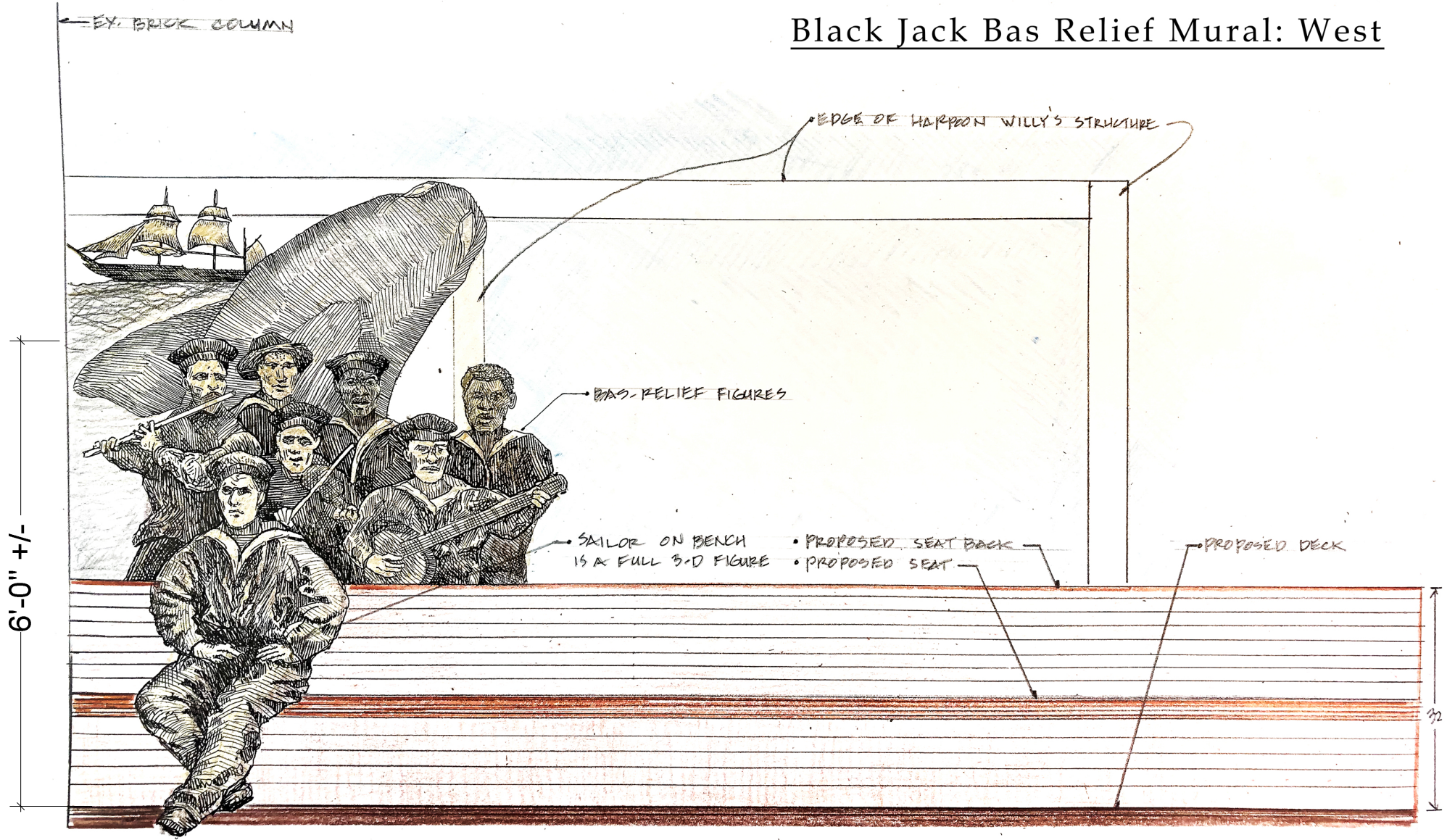
cc: Nicholas J. Cracknell, AICP, Principal Planner

enclosed: East and West Mural Sketches  
‘Black Jack’ book cover and back cover

Black Jack Bas Relief Mural: East



# Black Jack Bas Relief Mural: West



*W. Jeffrey Bolster*



# BLACK JACKS



*African American Seamen  
in the Age of Sail*

NEW YORK TIMES BOOK REVIEW NOTABLE BOOK OF THE YEAR

CO-WINNER OF THE WESLEY-LOGAN PRIZE OF THE  
AMERICAN HISTORICAL ASSOCIATION

SELECTED AS THE ASSOCIATION OF AMERICAN PUBLISHERS  
PROFESSIONAL AND SCHOLARLY PUBLISHING DIVISION  
BEST BOOK IN HISTORY

W. Jeffrey Bolster, master mariner and historian, shatters the myth that black seafaring in the age of sail was limited to the Middle Passage. Rescuing African American seamen from obscurity, this stirring account reveals the critical role sailors played in helping forge new identities for black people in America. An epic tale of the rise and fall of black seafaring, *Black Jacks* is African Americans' freedom story presented from a fresh perspective.

"[A] first-rate contribution. Bolster . . . spent a decade pulling together for the first time two centuries of seaborne black history . . . The book crackles with enough drama for many novels or plays."

—CARLA DAVIDSON, *NEW YORK TIMES BOOK REVIEW*

"For the past ten years, W. Jeffrey Bolster . . . has labored obsessively to unearth the rich and long-forgotten history of America's black mariners. His newly published book . . . may prove the most instructive historical offering of the year. It reminds Americans that black seamen, like black cowboys, labored long and to great effect at one of the cultural linchpins of American history . . . What's most remarkable about Bolster's book is both the numbers of black sailors he found in the past and the extraordinary wealth of evidence documenting their lives."

—KEN RINGLE, *WASHINGTON POST*

"*Black Jacks* is a work of energy, imagination, and deep knowledge of a central experience in African American history. It exudes Jeffrey Bolster's engagement with the subject, imbuing the history of black sailors with something of the mildewed stench of the forecabin and the bracing aromas of the open sea, the harsh realities of shipboard tyranny and the liberating possibilities of the sea. It will quickly become a central work in African American history."

—IRA BERLIN, UNIVERSITY OF MARYLAND AT COLLEGE PARK

"*Black Jacks* places sailors of color squarely at the center of Atlantic maritime culture. W. Jeffrey Bolster deserves our thanks for recovering an exciting, essential chapter in African American history."

—CHARLES JOHNSON, AUTHOR OF *MIDDLE PASSAGE*

W. Jeffrey Bolster is Hortense Cavis Shepherd Associate Professor and Director of the Graduate Studies Program of the History Department at the University of New Hampshire.

**HARVARD UNIVERSITY PRESS**

Cambridge, Massachusetts  
London, England  
[www.hup.harvard.edu](http://www.hup.harvard.edu)



## 2. 462 Middle Street - Recommended Approval

**Background:** The applicant is seeking approval for a change in design of shutters from a louvered style to a solid wood raised panel shutter.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





12/30/2021

**LUHD-413**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Dec 15, 2021**Applicant**

David Canada  
 canadafamily@comcast.net  
 47 Bunker Hill Avenue  
 Stratham, NH 03885  
 6037724982

**Location**

462 MIDDLE ST  
 Portsmouth, NH 03801

**Owner:**

DAVID A CANADA  
 47 Bunker Hill Avenue 47 BUNKER HILL AVE Stratham, NH 03885

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Change existing approved louvered shutters to solid wood raised panel shutters with the same hardware.

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

--

**Planning Staff Comments**

--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

**Owner Addressee Prefix and Last Name**

--

**Owner Organization / Business Name****Owner Contact Street Address**

David Canada  
47 Bunker Hill Avenue  
Stratham, NH 03885

462-464 shutter application  
December 15, 2021

Specifications:

Solid mahogany wood

Painted black

Size various, commensurate with window size.



**3. 160 Court Street - TBD**

**Background:** The applicant is seeking approval for new sloped roof insulation & roofing membrane, brake metal trim, gutters, downspouts and other associated items.

**Staff Comment:** TBD

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



12/30/2021

**LUHD-415**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Dec 17, 2021**Applicant**

Carla Goodknight  
 carla@cjarchitects.net  
 233 Vaughan Street  
 Suite 101  
 Portsmouth, NH 03801  
 6034312808

**Location**

160 COURT ST  
 Portsmouth, NH 03801

**Owner:**

PORTSMOUTH HOUSING AUTHORITY  
 245 MIDDLE ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

140 Court Street

**Project Information****Brief Description of Proposed Work**

Install new sloped roof insulation &amp; roofing membrane, brake metal trim, gutters, downspouts, and associated accessories.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives**

<b>Relationship to Project</b>	
Architect	
<b>If you selected "Other", please state relationship to project.</b>	
--	
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Carla Goodknight	CJ Architects
<b>Mailing Address (Street)</b>	<b>City/Town</b>
233 Vaughan Street, Suite 101	Portsmouth
<b>State</b>	<b>Zip Code</b>
New Hampshire	03801
<b>Phone</b>	<b>Email Address</b>
603 431 2808	carla@cjarchitects.net

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



#### LETTER OF AGENDA

We respectfully submit this Application for Administrative Approval to install new sloped roof insulation & roofing membrane, brake metal trim, gutters, downspouts, and associated accessories.

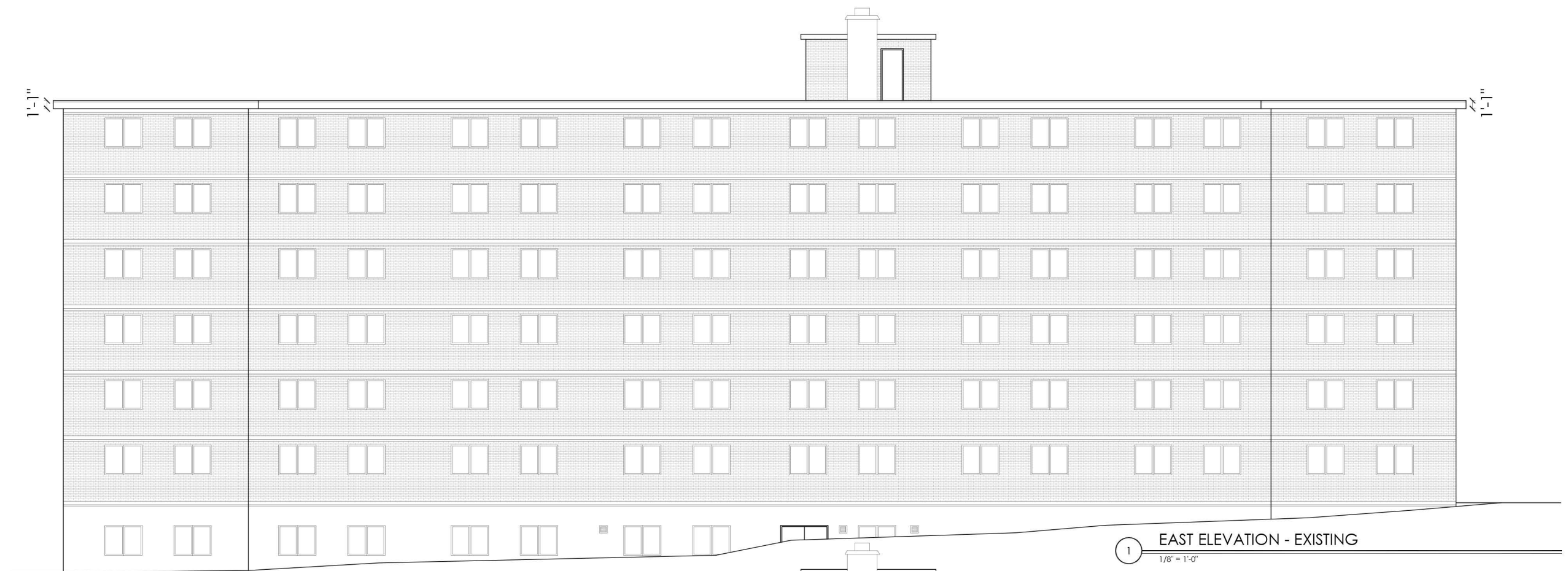
The Portsmouth Housing Authority is seeking permission to replace their existing internal roof drainage system with a new roof system installed over tapered insulation directing runoff collection to a new perimeter gutter and downspout system.

This redesign of the Feaster Apartments roof drainage system was initiated by a requirement to direct the Feaster Building roof drainage to the Court Street storm drain. The current internal drainage system is directed toward Parrott Ave.

Thank you for your consideration.  
Sincerely,

Carla Goodknight, AIA, NCARB  
Principal, CJ Architects





FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

EAST ELEVATION

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JANUARY 5, 2022



PORTSMOUTH  
HOUSING





1 WEST ELEVATION - EXISTING  
1/8" = 1'-0"



2 WEST ELEVATION - PROPOSED  
1/8" = 1'-0"

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

WEST ELEVATION

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JANUARY 5, 2022



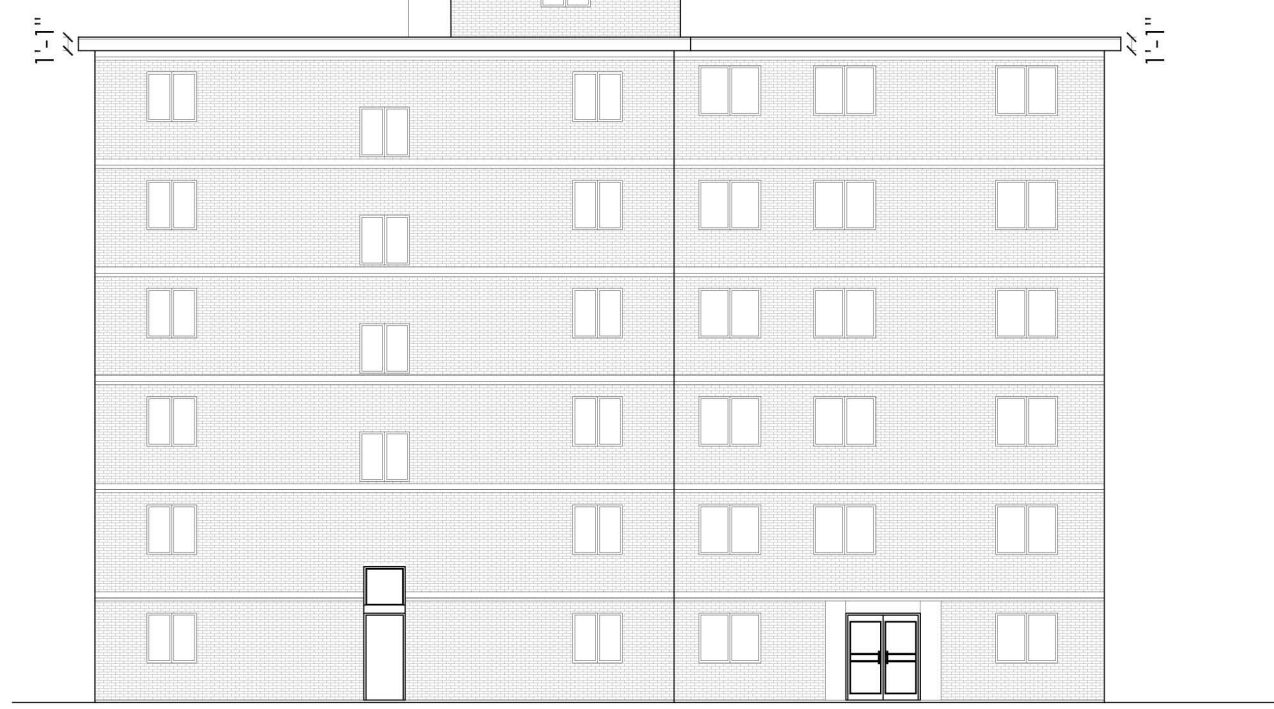
PORTSMOUTH  
HOUSING



CJ ARCHITECTS



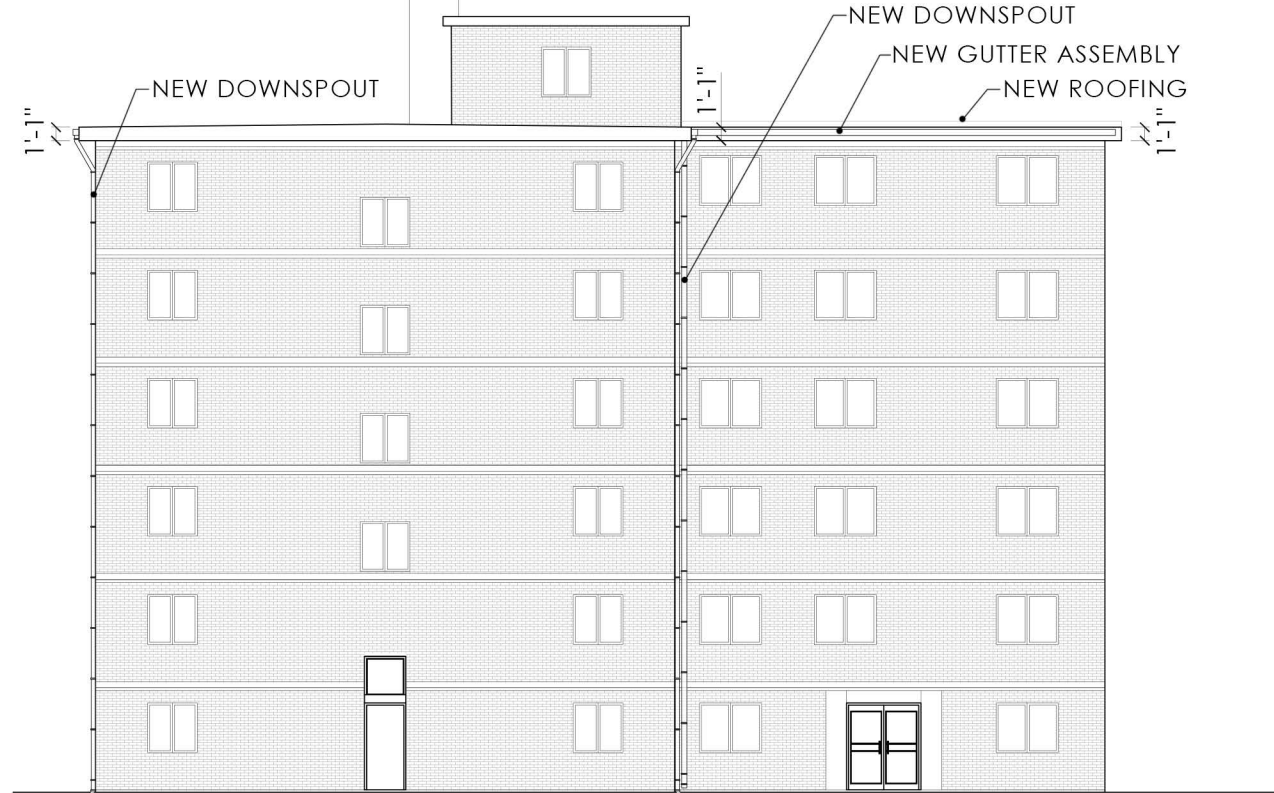
1 SOUTH ELEVATION - EXISTING  
1/8" = 1'-0"



2 NORTH ELEVATION - EXISTING  
1/8" = 1'-0"



3 SOUTH ELEVATION - PROPOSED  
1/8" = 1'-0"



4 NORTH ELEVATION - PROPOSED  
1/8" = 1'-0"

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

NORTH & SOUTH ELEVATIONS  
HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JANUARY 5, 2022



PORTSMOUTH  
HOUSING



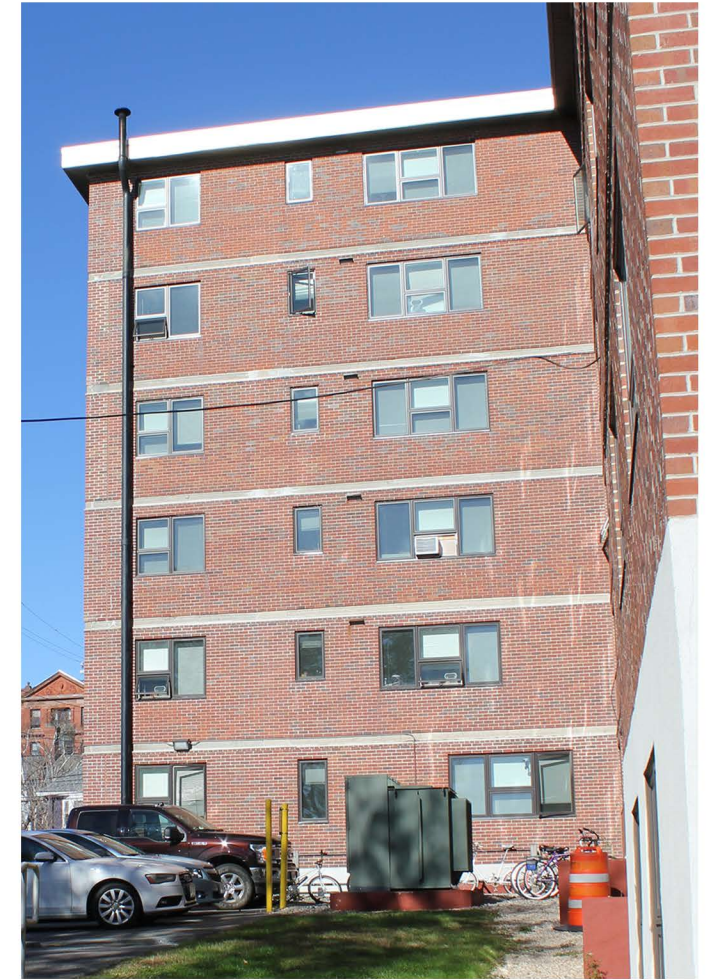




1 EAST ELEVATION - EXISTING  
1/8" = 1'-0"



2 NORTH & WEST ELEVATION - EXISTING  
1/8" = 1'-0"



3 SOUTH ELEVATION - EXISTING  
1/8" = 1'-0"

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

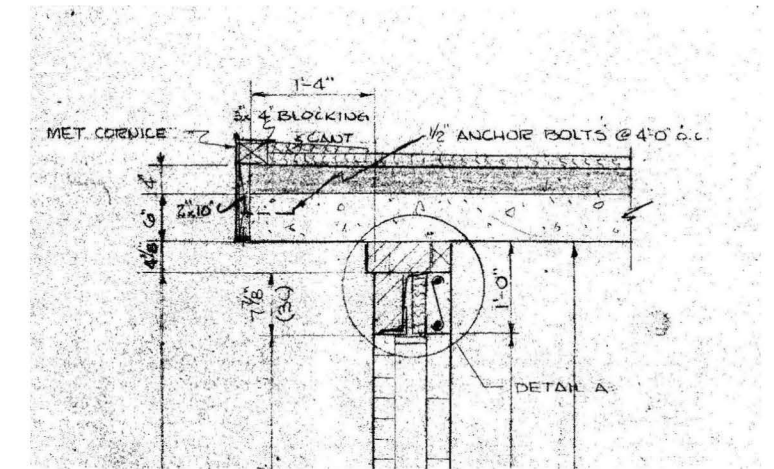
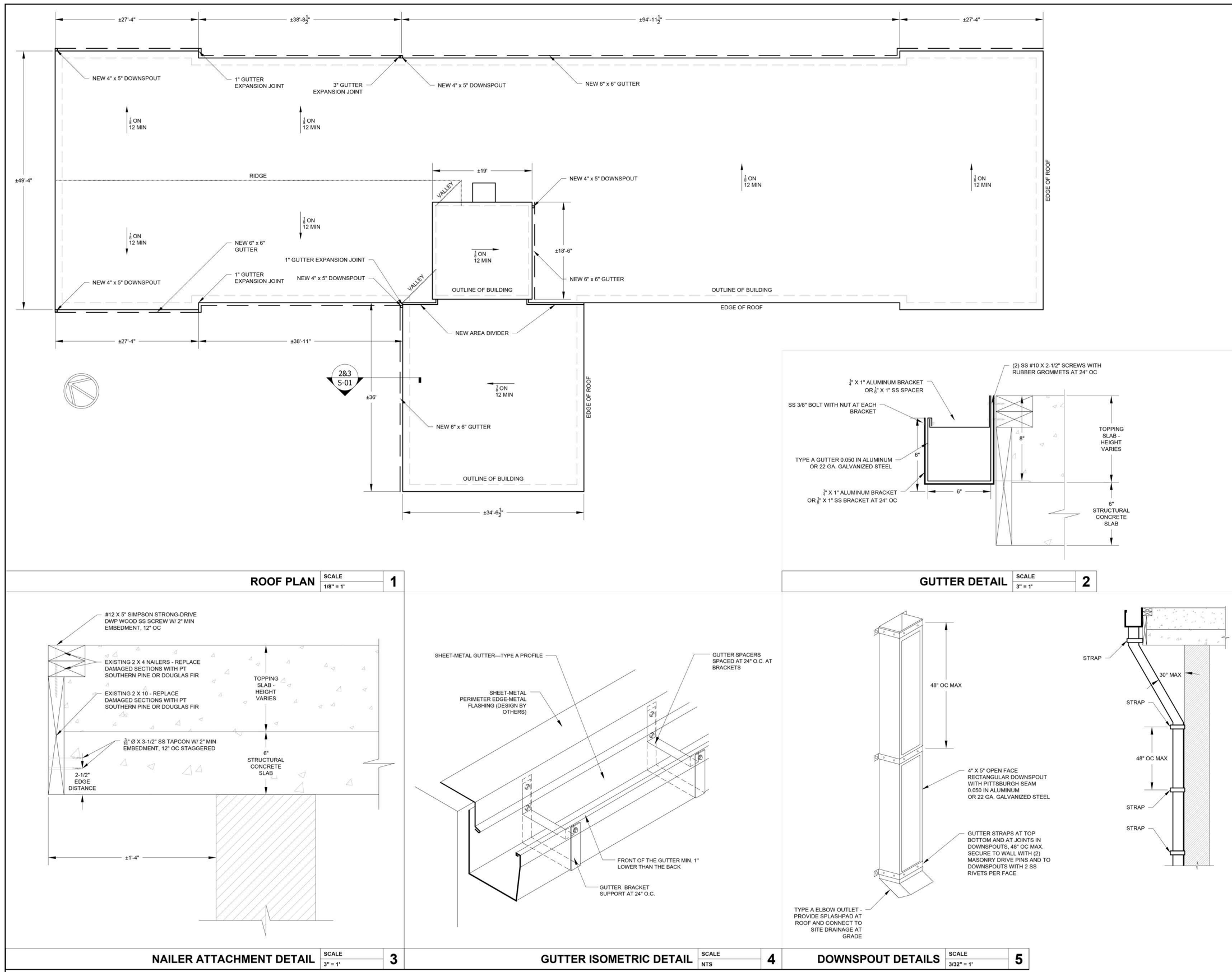
EXISTING ELEVATION PHOTOS

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JANUARY 5, 2022



PORTSMOUTH  
HOUSING





EXISTING CORNICE DETAIL

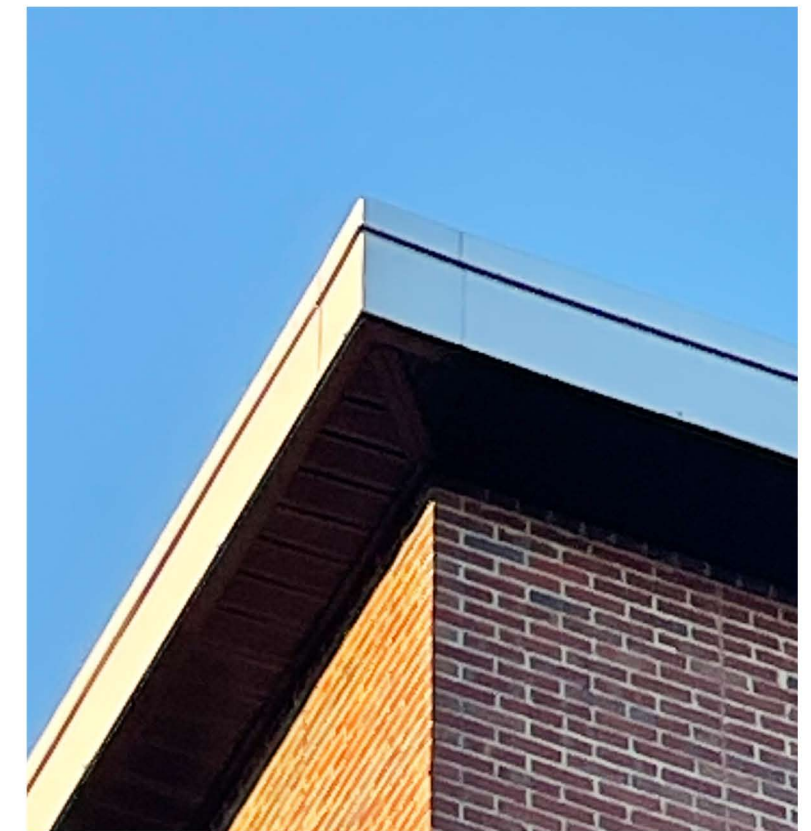


PHOTO OF EXISTING CORNICE BRAKE METAL AND VINYL SOFFIT (EXISTING VINYL SOFFIT TO REMAIN)

# INDUSTRIAL DOWNSPOUT (Open)

The Industrial Downspout is available in a variety of standard sizes, or it can be fabricated to meet specific job requirements. The open face design makes clearing out debris an easy task. Downspouts are manufactured with simple connection configurations and include three attachment straps per 12' section, which enables fast and easy installation.

## CUSTOM CAPABILITIES

Specially fabricated products are available to meet the unique needs of each project.

## COLORS

Choose among a wide range of standard colors and finishes that meet your job requirements. A 30-Year Kynar 500® Finish Warranty is included on coil-coated standard colors. Custom post-coated Kynar 500® colors are available (on aluminum substrate only) with an included 10-Year Kynar 500® Finish Warranty or a 20-Year Kynar 500® Finish Warranty is available upon request.

Anodized finishes are also available. Please email Technical Services regarding pricing for Anodized finishes.

## ACCESSORIES

Factory fabricated accessories provide a cleaner, more aesthetically pleasing appearance. This eliminates the need for field fabrication, providing time and labor savings.

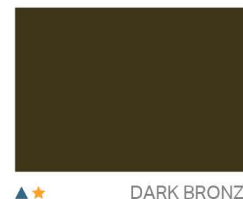
## ALSO INCLUDED

All straps are included and will arrive to the job site with the product.

### MATERIAL

Downspouts can be manufactured in the following materials.

- ▶ 24 ga. steel
- ▶ .040" aluminum
- ▶ .050" aluminum
- ▶ .063" aluminum

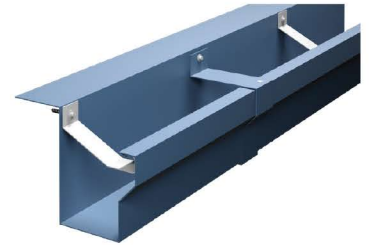


NOTE: BRAKE METAL CORNICE TO BE DARK BRONZE

# PAC-TITE GOLD GUTTER IGG-1

## SUPERIOR ROOF DRAINAGE WITH GT-1 TESTING

PAC-Tite Gold Gutters are top-of-the-line, offering easy installation, outstanding performance and an attractive appearance. They include a 2" wide external wind strap to be installed every 6' and gutter straps every 24" O.C. to comply with the ANSI/SPRI GT-1 Standard. They also feature a unique, heavy aluminum gutter strap design that eliminates the need for drilling and riveting. The free-floating, hook-in strap allows for full thermal movement of the gutter. Offered with an optional roof flange or slotted drain bars for ballast retention, PAC-Tite Gold Gutters offer maximum roof drainage and application time in half with this one-of-a-kind edge metal solution.



## PAC-TITE GOLD GUTTER BENEFITS

- ▶ ANSI/SPRI GT-1 tested to comply with the Standard for Gutter Systems
- ▶ FM Approved for wind uplift protection
- ▶ Variety of colors, sizes and materials
- ▶ Easy installation and decreased labor costs
- ▶ Prefabricated miters and accessories to eliminate the need for field fabrication
- ▶ Specially fabricated products are available to meet the unique needs of each project
- ▶ Factory fabricated miters provide a cleaner, more aesthetically pleasing appearance. This eliminates the need for field fabrication, providing time and labor savings
- ▶ All gutter straps are included and will arrive to the job site with the product

## COLORS

Choose among a wide range of standard colors and finishes that meet your job requirements. A 30-Year Kynar 500® Finish Warranty is included on coil-coated standard colors. Custom post-coated Kynar 500® colors are available (on aluminum substrate only) with an included 10-Year Kynar 500® Finish Warranty or a 20-Year Kynar 500® Finish Warranty is available upon request.

Anodized finishes are also available. Please email Technical Services regarding pricing for Anodized finishes.

## EFFICIENT DESIGN

- ▶ Wind straps to be installed every 6 feet and gutter hangars to be installed every 24" on center
- ▶ Its heavy gauge gutter straps securely support larger volumes of water, as well as extreme snow and icing conditions and is manufactured to rigid tolerances and furnished per required drainage capacity/size
- ▶ Adapts easily to optional drainage bars or flow through gravel stops
- ▶ Pre-punch holes in the gutter eliminate the need for drilling; making for easier installation which accommodates the thermal expansion/contraction of the gutter
- ▶ Provided in 12'-0" lengths for quicker installation and lower labor costs.
- ▶ Fastening holes are slotted to allow for proper thermal movement of the materials and ensure correct fastener placement and spacing

## TESTING

- ▶ ANSI/SPRI GT-1 tested to comply with the Standard for Gutter Systems
- ▶ Factory Mutual approved for wind uplift protection.

### MATERIAL

Gutters can be manufactured in the following materials.

- ▶ 24 ga. steel
- ▶ .040" aluminum
- ▶ .050" aluminum
- ▶ .063" aluminum

### SIZES

Gutters can be manufactured in the following sizes. Sizes vary by material.

- ▶ 6", 7", 8", 9"



800 PAC CLAD | PAC-CLAD.COM

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800 PAC CLAD | PAC-CLAD.COM

©2021 Petersen Aluminum

FEASTER APARTMENTS  
PORTSMOUTH, NEW HAMPSHIRE

## DOWNSPOUT & GUTTER SPECIFICATIONS

HDC APPLICATION FOR ADMINISTRATIVE APPROVAL: JANUARY 5, 2022



PORTSMOUTH  
HOUSING



1.6

**4. 442-444 Middle Street - Recommended Approval**

**Background:** The applicant is seeking approval for removal and rebuilding of the (2) chimneys from the roof line up.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



12/30/2021

**LUHD-419**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Dec 22, 2021**Applicant**

Michael Schwartz  
 mike.schwartz@ymail.com  
 21 Fernald Court  
 Portsmouth, NH 03801  
 6035488898

**Location**

442 MIDDLE ST  
 Portsmouth, NH 03801

**Owner:**

POTTER-SCHWARTZ FAMILY REVOCABLE TRUST & SCHWARTZ  
 MICHAEL AND POTTER SHARYN TTEES  
 21 FERNALD CT PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Rebuild Chimneys

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives**

<b>Relationship to Project</b>	
Owner	
<b>If you selected "Other", please state relationship to project.</b>	
--	
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Michael Schwartz	--
<b>Mailing Address (Street)</b>	<b>City/Town</b>
21 Fernald Court	Portsmouth
<b>State</b>	<b>Zip Code</b>
NH	03801
<b>Phone</b>	<b>Email Address</b>
6035488898	mike.schwartz@ymail.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Both chimneys at 442-444 Middle Street will be rebuilt from roofline up to exact current dimensions and specifications using morin restoration brick (which has been previously approved by HDC for other projects) and white lime mortar. Please see photo of house and quote from contractor below.

Thank you! -Mike Schwartz (603) 548-8898



**Great Escapes Patio & Stonework, Inc.**

Page No. 1 of \_\_\_\_\_



43 Wallace Dr Dover, NH 03820  
 Chris Parker (cell) (603) 948-2835  
 John Prince (cell) (207) 206-4683  
 E-mail: [Chris@greatescapespatio.com](mailto:Chris@greatescapespatio.com)  
 Website: [www.greatescapespatio.com](http://www.greatescapespatio.com)

**Estimate**

PROPOSAL SUBMITTED TO		TODAY'S DATE	Approximate Start Date
Justin Marone (Marone Building Company)		10/27/2021	Winter 2021
PHONE NUMBER	E-mail	JOB NAME	
603-234-1159	<a href="mailto:Justin@maronebuildingcompany.com">Justin@maronebuildingcompany.com</a>	Historic Chimney Restorations	
ADDRESS, CITY, STATE, ZIP		JOB LOCATION	
498 6 <sup>th</sup> street Dover, NH 03820		Middle Rd Portsmouth	

We propose hereby to furnish material and labor necessary for the completion of:

- Chimney 1: Install roof staging and tent in chimney. Demo and take down existing chimney to roof line. Remove all stucco/wash coat from chimney inside attic. Clean up brick in attic and tuck point where necessary with white lime historic reproduction mortar. Structure skin inside attic. Rebuild above roof line to exact current dimensions and specifications using morin restoration brick (has been previously approved by HDC for other projects) and white lime mortar. \$8,200.00
  
- Chimney 2: Install roof staging and tent in chimney. Demo and take down existing chimney to roof line. Remove all stucco/wash coat from chimney inside attic. Rebuild above roof line to exact current dimensions and specifications using morin restoration brick (has been previously approved by HDC for other projects) and white lime mortar. \$7,600.00

We propose hereby to furnish material and labor – complete in accordance with above specifications for the sum of:  
Fifteen Thousand Eight Hundred and 00/100 dollars ( \$ 15,800.00 )

Payment as follows: 1/3 payment due upon signing, 1/3 due day we start work, balance due upon completion

All material is guaranteed to be as specified. All work to be completed in a substantial workmanlike manner according to specifications submitted, per standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance. If either party commences legal action to enforce its rights pursuant to this agreement, the prevailing party in said legal action shall be entitled to recover its reasonable attorney's fees and costs of litigation relating to said legal action, as determined by a court of competent jurisdiction.

**Authorized  
Signature** \_\_\_\_\_

Note: this proposal may be withdrawn by us  
if not accepted within 30 days.

**ACCEPTANCE OF PROPOSAL** The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature \_\_\_\_\_

Signature \_\_\_\_\_

Date of Acceptance \_\_\_\_\_

## 5. 80 Fleet Street - Recommended Approval

**Background:** The applicant is seeking approval for the replacement of the existing flat roofing material.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





12/30/2021

### LUHD-418

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active

**Date Created:** Dec 22, 2021

#### Applicant

Jacob Stanley  
jms.roofing@yahoo.com  
3 JUNE BUG LANE  
WOLFEBORO, NH 03894  
6033933666

#### Location

80 FLEET ST  
Portsmouth, NH 03801

#### Owner:

Donald Coker  
80 fleet PORTSMOUTH, nh 03801

#### Application Type

Please select application type from the drop down menu below

Administrative Approval

#### Alternative Project Address

--

#### Project Information

##### Brief Description of Proposed Work

Flat roof section replacement

##### Description of Proposed Work (Planning Staff)

--

#### Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

contractor

#### INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted



HDC Approval Date

--

#### Planning Staff Comments

--

#### INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

Owner Organization / Business Name

Owner Contact Street Address

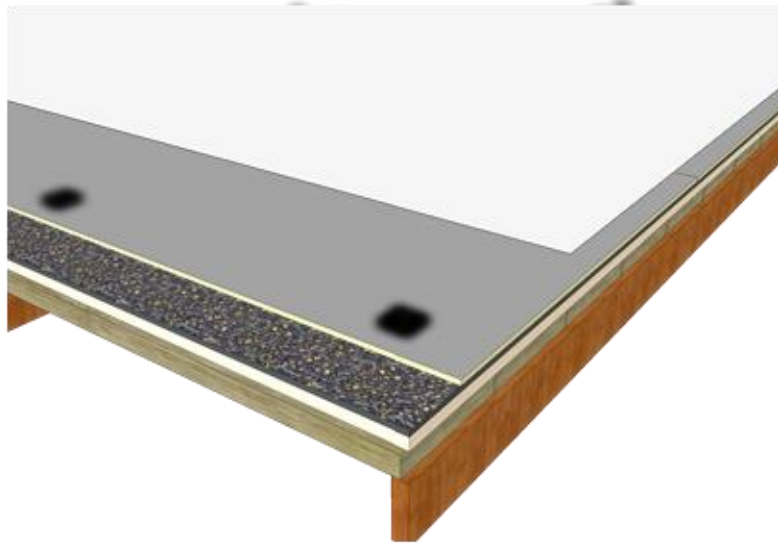
## **Macintosh Condo Association**

80-90 Fleet St.  
Portsmouth , NH

### **Upper Roof**

Prepared For: Don Coker

Prepared By: Jake Stanley  
JMS ROOFING LLC



### **Duro-Last Roof Assembly Description**

- **Duro-Last® PVC thermoplastic membrane**  
Membrane Thickness: 50 mil  
Color: White  
Attachment:
- **Duro-Guard® ISO HD**  
Thickness: ½ inch  
Attachment:
- **BUR: Smooth Surface**
- **Wood Plank Roof Deck**

## **PART 1 GENERAL**

### **1.1 SECTION INCLUDES**

- A. Overlay BUR: Smooth Surface.
- B. Duro-Last® PVC thermoplastic membrane .
- C. Duro-Guard® ISO HD, .
- D. Prefabricated flashings, corners, parapets, stacks, vents, and related details.
- E. Fasteners, adhesives, and other accessories required for a complete roofing installation.
- F. Traffic Protection.

### **1.2 REFERENCES**

- A. NRCA - The NRCA Roofing and Waterproofing Manual.
- B. ASCE 7 - Minimum Design Loads For Buildings And Other Structures.
- C. UL - Roofing Materials and Systems Directory, Roofing Systems (TGFU.R10128).
- D. ASTM C 1289 - Standard Specification for Faced Rigid Cellular Polyisocyanurate Thermal Insulation Board.
- E. ASTM D 751 - Standard Test Methods for Coated Fabrics.
- F. ASTM D 4434 - Standard Specification for Poly(Vinyl Chloride) Sheet Roofing.
- G. ASTM E 108 - Standard Test Methods for Fire Tests of Roof Coverings.
- H. ASTM E 119 - Standard Test Methods for Fire Tests of Building Construction and Materials.

### **1.3 SYSTEM DESCRIPTION**

- A. General: Provide installed roofing membrane and base flashings that remain watertight; do not permit the passage of water; and resist specified uplift pressures, thermally induced movement, and exposure to weather without failure.
- B. Material Compatibility: Provide roofing materials that are compatible with one another under conditions of service and application required, as demonstrated by roofing membrane manufacturer based on testing and field experience.
- C. Physical Properties:
  - 1. Roof product must meet the requirements of Type III PVC sheet roofing as defined by ASTM D 4434 and must meet or exceed the following physical properties.
  - 2. Thickness: 50 mil, nominal, in accordance with ASTM D 751.
  - 3. Thickness Over Scrim:  $\geq 28$  mil in accordance with ASTM D 751.
  - 4. Breaking Strengths:  $\geq 390$  lbf. (MD) and  $\geq 438$  lbf. (XMD) in accordance with ASTM D 751, Grab Method.
  - 5. Elongation at Break:  $\geq 31\%$  (MD) and  $\geq 31\%$  (XMD) in accordance with ASTM D 751, Grab Method.
  - 6. Heat Aging in accordance with ASTM D 3045: 176 °F for 56 days. No sign of cracking, chipping or crazing. (In accordance with ASTM D 4434).

**3-Part Specification**  
Division 07 54 19 - Polyvinyl-Chloride Roofing

7. Factory Seam Strength:  $\geq 417$  lbf. in accordance with ASTM D 751, Grab Method.
8. Tearing Strength:  $\geq 132$  lbf. (MD) and  $\geq 163$  lbf. (XMD) in accordance with ASTM D 751, Procedure B.
9. Low Temperature Bend (Flexibility): Pass at  $-40$  °F in accordance with ASTM D 2136.
10. Accelerated Weathering: No cracking, checking, crazing, erosion or chalking after 5,000 hours in accordance with ASTM G 154.
11. Linear Dimensional Change:  $< 0.5\%$  in accordance with ASTM D 1204 at  $176 \pm 2$  °F for 6 hours.
12. Water Absorption:  $< 1.7\%$  in accordance with ASTM D 570 at  $158$  °F for 166 hours.
13. Static Puncture Resistance:  $\geq 56$  lbs. in accordance with ASTM D 5602.
14. Dynamic Puncture Resistance:  $\geq 14.7$  ft-lbf. in accordance with ASTM D 5635.

D. Cool Roof Rating Council (CRRC):

1. Membrane must be listed on CRRC website.
  - a. Initial Solar Reflectance:  $\geq 88\%$
  - b. Initial Solar Reflective Index (SRI):  $\geq 111$
  - c. 3-Year Aged Solar Reflectance:  $\geq 68\%$
  - d. 3-Year Aged Thermal Emittance:  $\geq 84\%$
  - e. 3-Year Aged Solar Reflective Index (SRI):  $\geq 82$

#### 1.4 SUBMITTALS

- A. Submit under provisions of Section 01300.
- B. Duro-Last data sheets on each product to be used, including:
  1. Preparation instructions and recommendations.
  2. Storage and handling requirements and recommendations.
  3. Installation methods.
  4. Maintenance requirements.
- C. Shop Drawings: Indicate insulation pattern, overall membrane layout, field seam locations, joint or termination detail conditions, and location of fasteners.
- D. Verification Samples: For each product specified, two samples, representing actual product, color, and finish.
  1. 4 inch by 6 inch sample of roofing membrane, of color specified.
  2. 4 inch by 6 inch sample of walkway pad.
  3. Termination bar, fascia bar with cover, drip edge and gravel stop if to be used.
  4. Each fastener type to be used for installing membrane, insulation/recover board, termination bar and edge details.

- E. Installer Certification: Certification from the roofing system manufacturer that Installer is approved, authorized, or licensed by manufacturer to install roofing system.
- F. Manufacturer's warranties.

#### 1.5 QUALITY ASSURANCE

- A. Perform work in accordance with manufacturer's installation instructions.
- B. Manufacturer Qualifications: A manufacturer specializing in the production of PVC membranes systems and utilizing a Quality Control Manual during the production of the membrane roofing system that has been approved by and is inspected by Underwriters Laboratories.
- C. Installer Qualifications: Company specializing in installation of roofing systems similar to those specified in this project and approved by the roofing system manufacturer.
- D. Source Limitations: Obtain components for membrane roofing system from roofing membrane manufacturer.
- E. There shall be no deviations from the roof membrane manufacturer's specifications or the approved shop drawings without the prior written approval of the manufacturer.

#### 1.6 REGULATORY REQUIREMENTS

- A. Conform to applicable code for roof assembly wind uplift and fire hazard requirements.
- B. Fire Exposure: Provide membrane roofing materials with the following fire-test-response characteristics. Materials shall be identified with appropriate markings of applicable testing and inspecting agency.
  - 1. Exterior Fire-Test Exposure:
    - a. Class A; ASTM E 108, for application and roof slopes indicated.
  - 2. Fire-Resistance Ratings: Comply with ASTM E 119 for fire-resistance-rated roof assemblies of which roofing system is a part.
  - 3. Conform to applicable code for roof assembly fire hazard requirements.
- C. Wind Uplift:
  - 1. Roofing System Design: Provide a roofing system designed to resist uplift pressures calculated according to the current edition of the ASCE-7 Specification *Minimum Design Loads for Buildings And Other Structures*.

#### 1.7 PRE-INSTALLATION MEETING

- A. Convene meeting not less than one week before starting work of this section.
- B. Review methods and procedures related to roof deck construction and roofing system including, but not limited to, the following.
  - 1. Meet with Owner, Architect, Owner's insurer if applicable, testing and inspecting agency representative, roofing installer, roofing system manufacturer's representative, deck installer, and installers whose work interfaces with or affects roofing including installers of roof accessories and roof-mounted equipment.

**3-Part Specification**  
Division 07 54 19 - Polyvinyl-Chloride Roofing

2. Review and finalize construction schedule and verify availability of materials, installer's personnel, equipment, and facilities needed to make progress and avoid delays.
3. Examine deck substrate conditions and finishes for compliance with requirements, including flatness and fastening.
4. Review structural loading limitations of roof deck during and after roofing.
5. Review base flashings, special roofing details, roof drainage, roof penetrations, equipment curbs, and condition of other construction that will affect roofing system.
6. Review governing regulations and requirements for insurance and certificates if applicable.
7. Review temporary protection requirements for roofing system during and after installation.
8. Review roof observation and repair procedures after roofing installation.

#### 1.8 DELIVERY, STORAGE AND HANDLING

- A. Deliver roofing materials to Project site in original containers with seals unbroken and labeled with manufacturer's name, product brand name and type, date of manufacture, and directions for storing and mixing with other components.
- B. Store liquid materials in their original undamaged containers in a clean, dry, protected location and within the temperature range required by roofing system manufacturer. Protect stored liquid material from direct sunlight.
- C. Protect roof insulation materials from physical damage and from deterioration by sunlight, moisture, soiling, and other sources. Store in a dry location. Comply with insulation manufacturer's written instructions for handling, storing, and protecting during installation.
- D. Store roof materials and place equipment in a manner to avoid permanent deflection of deck.
- E. Store and dispose of solvent-based materials, and materials used with solvent-based materials, in accordance with requirements of local authorities having jurisdiction.

#### 1.9 WARRANTY

- A. Contractor's Warranty: The contractor shall warrant the roof application with respect to workmanship and proper application for two (2) years from the effective date of the warranty issued by the manufacturer.
- B. Manufacturer's Warranty: Must be no-dollar limit type and provide for completion of repairs, replacement of membrane or total replacement of the roofing system at the then-current material and labor prices throughout the life of the warranty. In addition the warranty must meet the following criteria:
  1. Warranty Period: 20 years from date issued by the manufacturer.
  2. Must provide positive drainage.
  3. No exclusion for damage caused by biological growth.
  4. Issued direct from and serviced by the roof membrane manufacturer.
  5. Transferable for the full term of the warranty.

## **PART 2 PRODUCTS**

### 2.1 MANUFACTURER

**3-Part Specification**  
Division 07 54 19 - Polyvinyl-Chloride Roofing

- A. Manufacturer: Duro-Last Roofing, Inc., which is located at: 525 Morley Drive, Saginaw, MI 48601. Telephone: 800-248-0280.
- B. All roofing system components to be provided or approved by Duro-Last Roofing, Inc.
- C. Substitutions: Not permitted.

## 2.2 ROOFING SYSTEM COMPONENTS

- A. Roofing Membrane: Duro-Last® PVC thermoplastic membrane conforming to ASTM D 4434, type III, fabric-reinforced, PVC, NSF/ANSI 347 Gold or Platinum Certification, and a product-specific third-party verified Environmental Product Declaration. Membrane properties as follows:
  - 1. Thickness:
    - a. 50 mil.
  - 2. Exposed Face Color:
    - a. White.
  - 3. Minimum recycle content 7% post-industrial and 0% post-consumer.
  - 4. Recycled at end of life into resilient flooring or concrete expansion joints.
- B. Accessory Materials: Provide accessory materials supplied by or approved for use by Duro-Last Roofing, Inc.
  - 1. Sheet Flashing: Manufacturer's standard reinforced PVC sheet flashing.
  - 2. Duro-Last Factory Prefabricated Flashings: manufactured using Manufacturer's standard reinforced PVC membrane.
    - a. Stack Flashings.
    - b. Curb Flashings.
    - c. Inside and Outside Corners.
  - 3. Sealants and Adhesives: Compatible with roofing system and supplied by Duro-Last Roofing, Inc.
    - a. Duro-Caulk® Plus.
    - b. Strip Mastic.
  - 4. Slip Sheet: Compatible with roofing system and supplied by Duro-Last Roofing, Inc.
  - 5. Fasteners and Plates: Factory-coated steel fasteners and metal or plastic plates meeting corrosion-resistance provisions in FMG 4470, designed for fastening membrane and insulation to substrate. Supplied by Duro-Last Roofing, Inc.
  - 6. PV Anchors
  - 7. Termination and Edge Details: Supplied by Duro-Last Roofing, Inc.
    - a. Universal 2-Piece Compression Metal System.
  - 8. Vinyl Coated Metal: Supplied by Duro-Last Roofing, Inc. 24 gauge, hot-dipped galvanized, grade 90 metal with a minimum of 17 mil of Duro-Last membrane laminated to one side.
- C. Substrate Board:
  - 1. Duro-Guard® ISO HD. High density polyisocyanurate board supplied by Duro-Last Roofing, Inc.

- a. ½ inch thick.
- D. Walkways:
  - 1. Provide non-skid, maintenance-free walkway pads in areas of heavy foot traffic and around mechanical equipment.
    - a. Duro-Last Roof Trak® III Walkway Pad.
  - 1.

## **PART 3 EXECUTION**

### **3.1 EXAMINATION**

- A. Verify that the surfaces and site conditions are ready to receive work.
- B. Verify that the deck is supported and secured.
- C. Verify that the deck is clean and smooth, free of depressions, waves, or projections, and properly sloped to drains, valleys, eaves, scuppers or gutters.
- D. Verify that the deck surfaces are dry and free of standing water, ice or snow.
- E. Verify that all roof openings or penetrations through the roof are solidly set.
- F. If substrate preparation is the responsibility of another contractor, notify Architect of unsatisfactory preparation before proceeding.
- G. Prior to re-covering an existing roofing system, conduct an inspection of the roof system accompanied by a representative of the membrane manufacturer or an authorized contractor.
  - 1. Determine required fastener type, length, and spacing.
  - 2. Verify that moisture content of existing roofing is within acceptable limits.
  - 3. Identify damaged areas requiring repair before installation of new roofing.
  - 4. Conduct core cuts as required to verify information required.

### **3.2 PREPARATION**

- A. Clean surfaces thoroughly prior to installation.
- B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.
- C. Surfaces shall be clean, smooth, free of fins, sharp edges, loose and foreign material, oil, grease, and bitumen.
- D. Re-Roofing Over Existing Single-Ply System:
  - 1. Remove all loose or high fasteners.
  - 2. Membrane contaminated with bitumen must be immediately cleaned. If cleaning does not remove the bitumen, the contaminated membrane must be replaced, or covered with both a slip sheet and new membrane.
  - 3. Blisters, buckles and other surface irregularities must be repaired or removed. If the damage is extensive, an approved rigid board insulation or a cover board must be installed.
  - 4. When the system is smooth or granular-surfaced, any approved slip sheet, insulation or cover board may be used to provide separation of the roof system and new membrane. Duro-Guard fan folds may be used if the surface is pea gravel or crushed stone which is ¼ to 3/8 inch in size and has been leveled and maintained at 4 psf. For larger rock/gravel, utilize an approved



- rigid insulation or cover board.
5. If rock/gravel surfacing is removed, an approved fan fold, rigid insulation or cover board must be used. If embedded rock/gravel remains that protrudes out of the deck more than ¼ inch, do not use fan fold board. Instead, use an approved cover board or rigid insulation.
  6. When installing polystyrene insulation over coal tar pitch or asphalt-based roof systems, a slip sheet must be used between the insulation and existing roof.

### 3.3 INSTALLATION

- A. Install insulation in accordance with the roof manufacturer's requirements.
- B. Separation Board: Duro-Guard® ISO HD.
- C. Roof Membrane: 50 mil, Duro-Last® PVC thermoplastic membrane.
- D. Seaming:
  1. Weld overlapping sheets together using hot air. Minimum weld width is 1-1/2 inches.
  2. Check field welded seams for continuity and integrity and repair all imperfections by the end of each work day.
- E. Membrane Termination/Securement: All membrane terminations shall be completed in accordance with the membrane manufacturer's requirements.
  1. Provide securement at all membrane terminations at the perimeter of each roof level, roof section, curb flashing, skylight, expansion joint, interior wall, penthouse, and other similar condition.
  2. Provide securement at any angle change where the slope or combined slopes exceeds two inches in one horizontal foot.
- F. Flashings: Complete all flashings and terminations as indicated on the drawings and in accordance with the membrane manufacturer's requirements.
  1. Provide securement at all membrane terminations at the perimeter of each roof level, roof section, curb flashing, skylight, expansion joint, interior wall, penthouse, and other similar condition.
    - a. Do not apply flashing over existing thru-wall flashings or weep holes.
    - b. Secure flashing on a vertical surface before the seam between the flashing and the main roof sheet is completed.
    - c. Extend flashing membrane a minimum of 6 inches (152 mm) onto the main roof sheet beyond the mechanical securement.
    - d. Use care to ensure that the flashing does not bridge locations where there is a change in direction (e.g. where the parapet meets the roof deck).
  2. Penetrations:
    - a. Flash all pipes, supports, soil stacks, cold vents, and other penetrations passing through the roofing membrane as indicated on the Drawings and in accordance with the membrane manufacturer's requirements.
    - b. Utilize custom prefabricated flashings supplied by the membrane manufacturer.
    - c. Existing Flashings: Remove when necessary to allow new flashing to terminate directly to the penetration.
  3. Pipe Clusters and Unusual Shapes:

**3-Part Specification**  
Division 07 54 19 - Polyvinyl-Chloride Roofing

- a. Clusters of pipes or other penetrations which cannot be sealed with prefabricated membrane flashings shall be sealed by surrounding them with a prefabricated vinyl-coated metal pitch pan and sealant supplied by the membrane manufacturer.
- b. Vinyl-coated metal pitch pans shall be installed, flashed and filled with sealant in accordance with the membrane manufacturer's requirements.
- c. Pitch pans shall not be used where prefabricated or field fabricated flashings are possible.

**G. Roof Drains:**

1. Coordinate installation of roof drains and vents specified in Section 15146 - Plumbing Specialties.
2. Remove existing flashing and asphalt at existing drains in preparation for sealant and membrane.
3. Provide a smooth clean surface on the mating surface between the clamping ring and the drain base.

**H. Edge Details:**

1. Provide edge details as indicated on the Drawings. Install in accordance with the membrane manufacturer's requirements.
2. Join individual sections in accordance with the membrane manufacturer's requirements.
3. Coordinate installation of metal flashing and counter flashing specified in Section 07620.
4. Manufactured Roof Specialties: Coordinate installation of copings, counter flashing systems, gutters, downspouts, and roof expansion assemblies specified in Section 07710.

**I. Walkways:**

1. Install walkways in accordance with the membrane manufacturer's requirements.
2. Provide walkways where indicated on the Drawings.
3. Install walkway pads at roof hatches, access doors, rooftop ladders and all other traffic concentration points regardless of traffic frequency. Provided in areas receiving regular traffic to service rooftop units or where a passageway over the surface is required.
4. Do not install walkways over flashings or field seams until manufacturer's warranty inspection has been completed.

**J. Water cut-offs:**

1. Provide water cut-offs on a daily basis at the completion of work and at the onset of inclement weather.
2. Provide water cut-offs to ensure that water does not flow beneath the completed sections of the new roofing system.
3. Remove water cut-offs prior to the resumption of work.
4. The integrity of the water cut-off is the sole responsibility of the roofing contractor.
5. Any membrane contaminated by the cut-off material shall be cleaned or removed.

### 3.4 FIELD QUALITY CONTROL

- A. The membrane manufacturer's representative shall provide a comprehensive final inspection after completion of the roof system. All application errors shall be addressed and final punch list completed.

### 3.5 PROTECTION

- A. Protect installed roofing products from construction operations until completion of project.
- B. Where traffic is anticipated over completed roofing membrane, protect from damage using durable materials that are compatible with membrane.
- C. Repair or replace damaged products after work is completed.

END OF SECTION

# Historic District Commission

## Staff Report – January 5<sup>th</sup>, 2022

### January 5<sup>th</sup> MEETING

#### Administrative Approvals:

- |                                  |                      |
|----------------------------------|----------------------|
| 1. 99 Bow St. (LUHD-412)         | - TBD                |
| 2. 462 Middle St. (LUHD-413)     | - Recommend Approval |
| 3. 160 Court St. (LUHD-415)      | - TBD                |
| 4. 442-444 Middle St. (LUHD-419) | - Recommend Approval |
| 5. 80 Fleet St. (LUHD-418)       | - Recommend Approval |
|                                  | - Recommend Approval |

#### PUBLIC HEARINGS – NEW BUSINESS:

1. 36 State Street (LU-21-212) (new porch windows)

#### PUBLIC HEARINGS – OLD BUSINESS:

1. 64 Vaughan St. (LU-21-214) (roof)

#### WORK SESSIONS – OLD BUSINESS:

- A. 137 Northwest St. (LUHD-296) (new single family)
- B. 1 Raynes Ave. (LUHD-234) (two new mixed-use buildings)
- C. 2 Russell / 0 Deer St. (LUHD-366) (2 new buildings)
- D. 0 Maplewood Ave. (LUHD-390) (new single family)

#### WORK SESSIONS – NEW BUSINESS:

1. 129 State St. (LUHD-414) (façade alterations & dormers)
2. 179 Pleasant St. (LUHD-416) (modifications to previous)



LOCATOR MAP

# HISTORIC DISTRICT COMMISSION

MEETING DATE: January 5<sup>th</sup>  
APPLICATIONS: 14

# Historic District Commission

**Project Evaluation Form:** 36 STATE STREET  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** PUBLIC HEARING #1

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4
- Land Use: Mixed-Use
- Land Area: 1,417 SF +/-
- Estimated Age of Structure: c.1815
- Building Style: Federal
- Number of Stories: 3
- Historical Significance: Contributing
- Public View of Proposed Work: View from Marcy Street
- Unique Features: Rear Porch
- Neighborhood Association: Downtown

**B. Proposed Work:** Replace porch windows.

**C. Other Permits Required:**

- Board of Adjustment       Planning Board       City Council

**D. Lot Location:**

- Terminal Vista       Gateway       Mid-Block  
 Intersection / Corner Lot       Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- Principal       Accessory       Significant Demolition

**F. Sensitivity of Context:**

- Highly Sensitive       Sensitive       Low Sensitivity       "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)  
 Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- The building is located in the terminus of federal building along the south side of lower State Street. It is surrounded by a wide variety of contributing residential structures and new mixed-use structures at the foot of State Street.

**J. Staff Comments and/ or Suggestions for Consideration:**

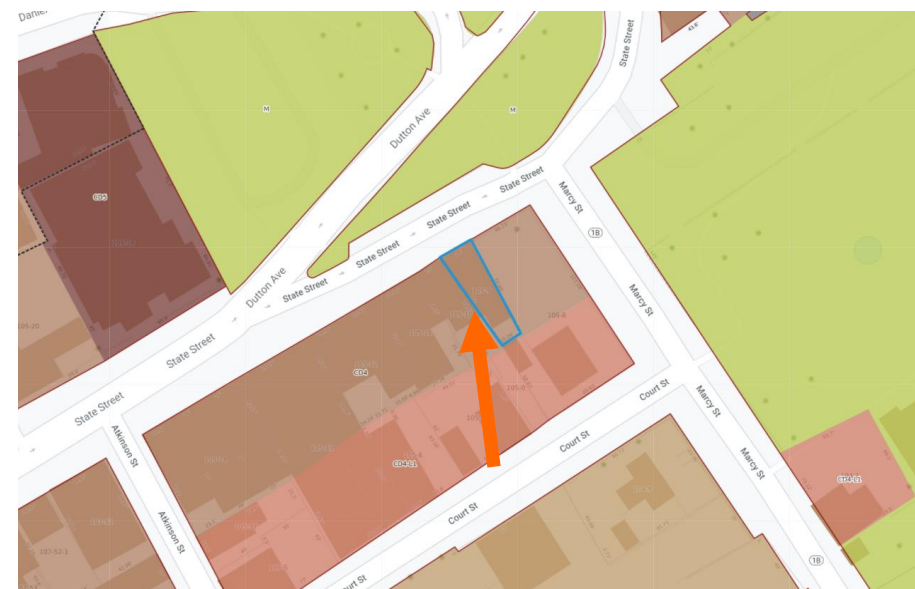
- The applicant is proposing to:
  - i. Replace porch windows.
- Note that I have recommended the applicant provide additional information on the age and condition of the existing windows. This information will be required in order to evaluate the appropriateness of the proposed replacement windows. The overall design intent is not to change the appearance of the porch.

**Design Guideline Reference – Guidelines for Windows & Doors (08).**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Streetview Images



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**

### 36 STATE STREET – PUBLIC HEARING #1 (MINOR)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
<b>STAFF</b>	No	<b>GENERAL BUILDING INFORMATION</b>		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)		<h2 style="margin: 0;">MINOR PROJECT</h2> <h3 style="margin: 0;">– INSTALL NEW PORCH WINDOWS ONLY –</h3>			
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
<b>HISTORIC DISTRICT COMMISSION MEMBERS</b>	CONTEXT	8	<b>Scale</b> (i.e. height, volume, coverage...)	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
	BUILDING DESIGN & MATERIALS	9	<b>Placement</b> (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	<b>Massing</b> (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	<b>Architectural Style</b> (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	<b>Roofs</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	<b>Cornice Line</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	<b>Walls</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	<b>Doors and Windows</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	<b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	<b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	<b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	<b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	<b>Decks</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	<b>Garages/ Barns / Sheds</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		35	<b>Fence / Walls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	<b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	<b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	<b>Driveways</b> (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	<b>Parking</b> (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	<b>Accessory Buildings</b> (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 36 STATE STREET Case No.: 1 Date: 1-5-22

Decision:  Approved  Approved with Stipulations  Denied  Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure:       | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties:     | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 64 VAUGHAN MALL (LU-20-214)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** PUBLIC HEARING #A

**Existing Conditions:**

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 15,242 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: Vernacular Commercial
- Historical Significance: C
- Public View of Proposed Work: View from the Vaughan Mall and Hanover St.
- Unique Features: NA
- Neighborhood Association: Downtown

**B. Proposed Work:** To revise roof atrium and deck.

**C. Other Permits Required:**

- Board of Adjustment       Planning Board       City Council

**D. Lot Location:**

- Terminal Vista       Gateway       Mid-Block  
 Intersection / Corner Lot       Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- Principal       Accessory       Demolition

**F. Sensitivity of Context:**

- Highly Sensitive       Sensitive       Low Sensitivity       "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)  
 Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- The building is located along the Vaughan Mall. The building is surrounded with many 2-5 story historic and contemporary structures with little to no setbacks. The building is currently being renovated to support a commercial office use.

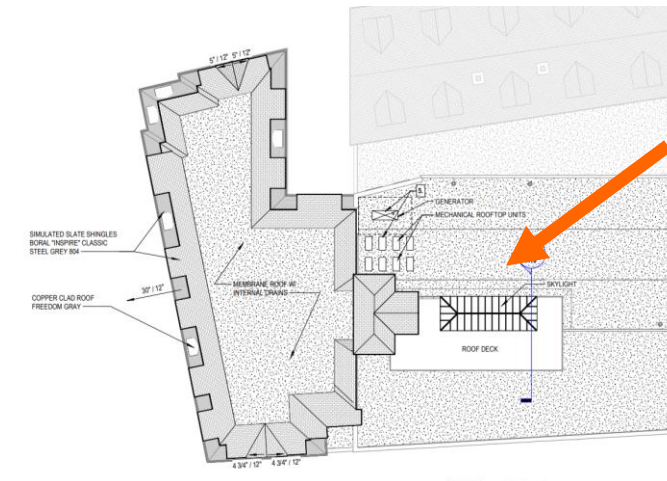
**J. Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to:

- Revise the rooftop atrium and deck.
- **Note that detailed drawings we not available at the time of this report but will either be included in the meeting packet or this item will need to be continued to the February 2<sup>nd</sup> meeting.**

**• Design Guideline Reference – Guidelines for Roofing (4) and Porches, Stoops and Decks (6).**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**



**64 VAUGHAN MALL (LU-21-214) – PUBLIC HEARING #A (MAJOR PROJECT)**

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<b>MAJOR PROJECT</b> <b>- MODIFY ROOFTOP ATRIUM AND DECK ONLY -</b>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

**PROPERTY EVALUATION FORM**  
**PORTSMOUTH HISTORIC DISTRICT COMMISSION**  
**PROPERTY: 64 VAUGHAN MALL Case No.: A Date: 1-5-22**  
**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 137 NORTHWEST ST. (LUHD-296)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #A

**Existing Conditions:**

- Zoning District: GRA
- Land Use: Single Family
- Land Area: 23,522 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Queen Anne
- Historical Significance: C
- Public View of Proposed Work: View from Northwest Street & the Rte.1 Bypass.
- Unique Features: NA
- Neighborhood Association: Christian Shore

**B. Proposed Work:** To construct a new single family house on the lot.

**C. Other Permits Required:**

- Board of Adjustment       Planning Board       City Council

**D. Lot Location:**

- Terminal Vista       Gateway       Mid-Block  
 Intersection / Corner Lot       Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- Principal       Accessory       Demolition

**F. Sensitivity of Context:**

- Highly Sensitive       Sensitive       Low Sensitivity       "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)  
 Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- The building lot is located along Northwest Street. It is surrounded with many 1.5-2 story wood-sided historic structures with small rear and side yards with garden areas. The proposed lot is very narrow which limits the potential for landscape screening along the Rte. 1 Bypass.

**J. Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to:

- Construct a new single-family residence on the north eastern portion of the property.
- Note that a variance was granted to support this application.
- **Note that the applicant has requested to withdraw this application as they will refile when completed with the Planning Board review.**

**Design Guideline Reference – Guidelines for New Construction (02-09).**

**K. Aerial Image, Street View and Zoning Map:**



Proposed Alterations and Existing Conditions



Zoning Map

## HISTORIC SURVEY RATING

-

**137 NORTHWEST ST. (LUHD-296) – WORK SESSION #A (MODERATE)**

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p><b>MODERATE PROJECT</b>  <b>- Construct a New Single-Family Structure Only -</b></p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 <b>Scale</b> (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9 <b>Placement</b> (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10 <b>Massing</b> (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11 <b>Architectural Style</b> (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12 <b>Roofs</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 <b>Cornice Line</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 <b>Walls</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 <b>Doors and Windows</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casings/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 <b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 <b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 <b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 <b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 <b>Decks</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 <b>Garages/ Barns / Sheds</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 <b>Fence / Walls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 <b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 <b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 <b>Driveways</b> (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 <b>Parking</b> (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 <b>Accessory Buildings</b> (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

**PROPERTY EVALUATION FORM**  
**PORTSMOUTH HISTORIC DISTRICT COMMISSION**  
**PROPERTY: 137 Northwest St. Case No.: A Date: 1-5-22**  
**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 1 & 31 RAYNES AVE. (LUHD-234)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #B

**Existing Conditions:**

- Zoning District: CD4
- Land Use: Vacant / Gym
- Land Area: 2.4 Acres +/-
- Estimated Age of Structure: c.1960s
- Building Style: Contemporary
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood and Raynes Ave.
- Unique Features: NA
- Neighborhood Association: Downtown

**B. Proposed Work:** To construct a 4-5 story mixed-use building(s).

**C. Other Permits Required:**

- Board of Adjustment       Planning Board       City Council

**D. Lot Location:**

- Terminal Vista       Gateway       Mid-Block  
 Intersection / Corner Lot       Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- Principal       Accessory       Demolition

**F. Sensitivity of Context:**

- Highly Sensitive       Sensitive       Low Sensitivity       "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

a. The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

**J. Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to:

- Demolish the existing buildings.
- Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
- The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
- **Note that the applicant has submitted revised massing model images as requested by the HDC. The primary focus of this meeting is the proposed hotel building on Raynes Ave.**

**Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**

**1 & 31 RAYENES AVE. (LUHD-234) – WORK SESSION #B (MAJOR)**

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)	<p><b>MAJOR PROJECT</b>  <b>- Construct two 5-Story Mixed-Use Buildings Only -</b></p>					
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
7	Building Coverage (% Building on the Lot)							
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	<b>Scale</b> (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	<b>Placement</b> (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
BUILDING DESIGN & MATERIALS		10	<b>Massing</b> (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		11	<b>Architectural Style</b> (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12	<b>Roofs</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	<b>Cornice Line</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	<b>Walls</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	<b>Doors and Windows</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	<b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	<b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	<b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	<b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33	<b>Decks</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34	<b>Garages/ Barns / Sheds</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN		35	<b>Fence / Walls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				36	<b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
				37	<b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
38	<b>Driveways</b> (i.e. location, material, screening...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
39	<b>Parking</b> (i.e. location, access, visibility...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	<b>Accessory Buildings</b> (i.e. sheds, greenhouses...)					<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

**PROPERTY EVALUATION FORM**  
**PORTSMOUTH HISTORIC DISTRICT COMMISSION**  
**PROPERTY: 1 & 31 Raynes Ave. Case No.: B Date: 1-5-22**  
**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 2 RUSSELL & 0 DEER ST (LUHD-366)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #C

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD5
- Land Use: Vacant /Parking
- Land Area: 85,746 SF +/-
- Estimated Age of Structure: NA
- Building Style: NA
- Number of Stories: NA
- Historical Significance: NA
- Public View of Proposed Work: View from Deer & Russell Streets & Maplewood Ave.
- Unique Features: Surface Parking Lot
- Neighborhood Association: North End

**B. Proposed Work:** To construct 4-5 story, mixed-use buildings.

**C. Other Permits Required:**

- Board of Adjustment       Planning Board       City Council

**D. Lot Location:**

- Terminal Vista       Gateway       Mid-Block  
 Intersection / Corner Lot       Rear Lot

**E. Existing Building to be Altered/ Demolished / Constructed:**

- Principal       Accessory       Demolition

**F. Sensitivity of Context:**

- Highly Sensitive       Sensitive       Low Sensitivity       "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

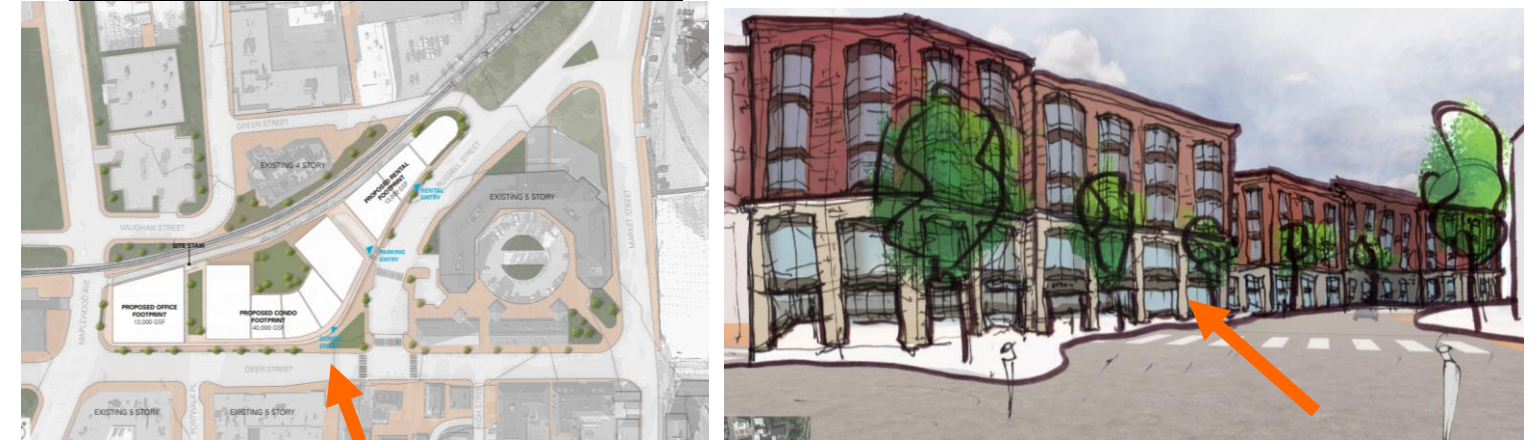
**I. Neighborhood Context:**

- The new building is located along Maplewood Ave., Russell and Deer Streets. It is surrounded with many new and proposed infill buildings ranging from 2.5 to 5 stories in height. The neighborhood is predominantly made up of newer, 4-5 story brick structures on large lots with little to no setback from the sidewalk.

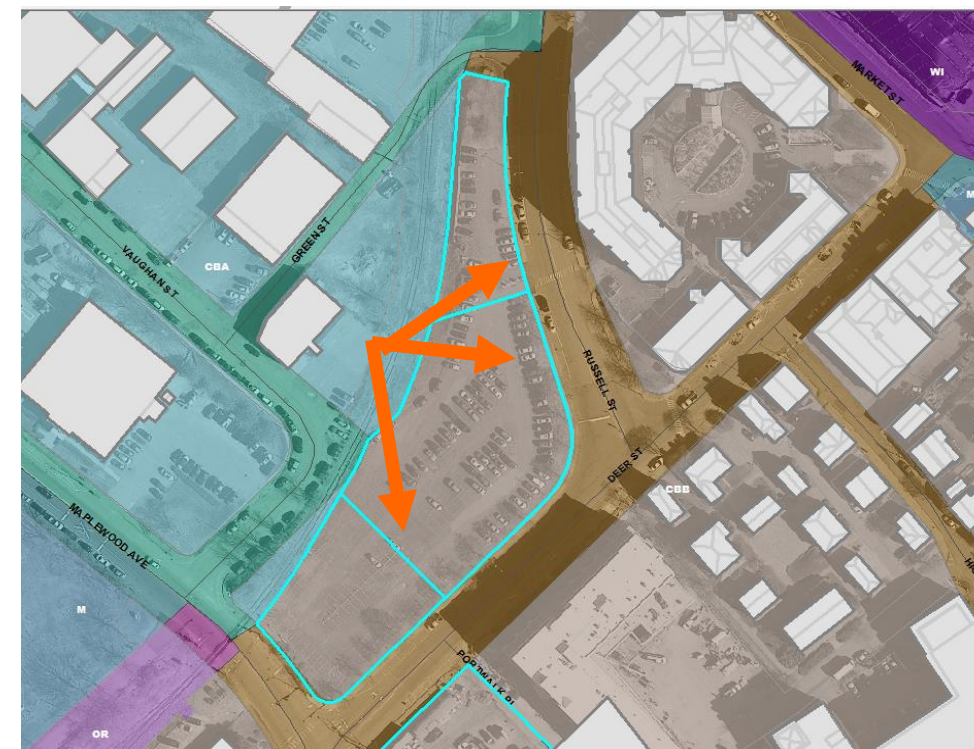
**J. Staff Comments and/ or Suggestions for Consideration:**

- Note – The revised massing model indicate that the applicant is seeking to fully separate the three building forms into discrete structures. Based on the average grade plane and exposure of the basement parking level above grade a final determination will need to be made as to zoning compliance. Additionally a CUP will be required is any building footprint is great than 30,000 SF.

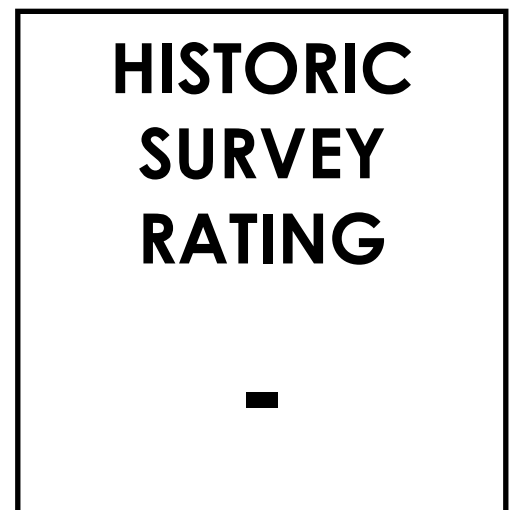
**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map



**2 RUSSELL & 0 DEER STREET (LUHD-366) – WORK SESSION #C (MAJOR PROJECT)**

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<b>MAJOR PROJECT</b> <b>- CONSTRUCT 4-5-STORY, MIXED-USE BUILDINGS ONLY -</b>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
		8	<b>Scale</b> (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	<b>Placement</b> (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	<b>Massing</b> (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	11	<b>Architectural Style</b> (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	<b>Roofs</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	<b>Cornice Line</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	<b>Walls</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	<b>Doors and windows</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	<b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	<b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	<b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	<b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	<b>Decks</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	<b>Garages / Barns / Sheds</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	35	<b>Fence / Walls / Screenwalls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	<b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	<b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	<b>Driveways</b> (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
39	<b>Parking</b> (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	<b>Accessory Buildings</b> (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

**PROPERTY EVALUATION FORM**

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 2 RUSSELL & 0 DEER ST. Case No.: C Date: 1-5-22

Decision:  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 0 MAPLEWOOD AVE. (LUHD-390)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #D

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: GRA
- Land Use: Single Family
- Land Area: 10,890 SF +/-
- Estimated Age of Structure: NA
- Building Style: Contemporary
- Number of Stories: 2.5
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood Ave.
- Unique Features: NA
- Neighborhood Association: Christian Shore

**B. Proposed Work:** To construct a new single family structure.

**C. Other Permits Required:**

- Board of Adjustment       Planning Board       City Council

**D. Lot Location:**

- Terminal Vista       Gateway       Mid-Block  
 Intersection / Corner Lot       Rear Lot

**E. Existing Building to be Altered/ Demolished / Constructed:**

- Principal       Accessory       Demolition

**F. Sensitivity of Context:**

- Highly Sensitive       Sensitive       Low Sensitivity       "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)  
 Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- The new building is located along Maplewood Ave. and North School Street in the Christian Shore neighborhood. It is surrounded with many contributing historic structures on a narrow street with buildings along the street with no front yard setbacks, shallow side yards and deeper rear yards.

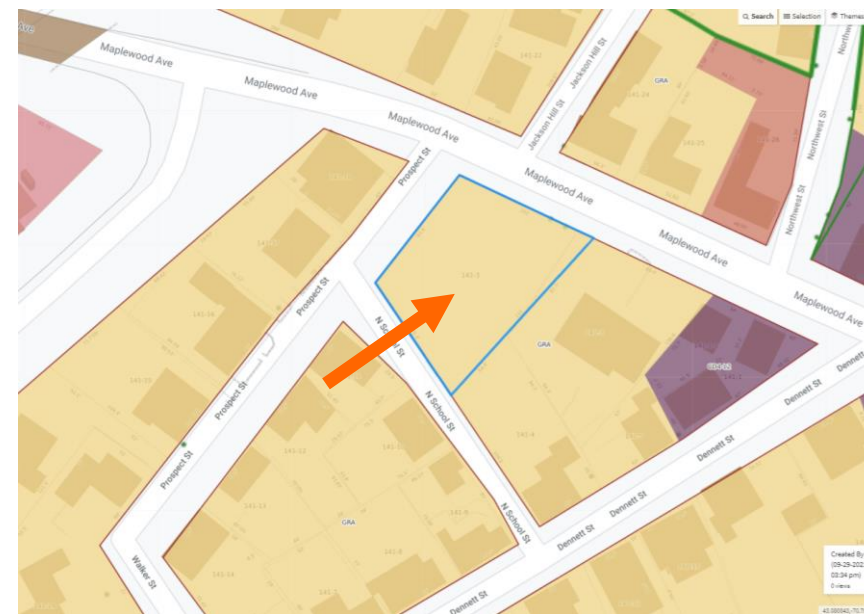
**J. Staff Comments and/ or Suggestions for Consideration:**

- The applicant is proposing to:
  - Construct a new single family house on a vacant lot.
  - As requested, the applicant has revised the building elevations to addressing the massing and detail concerns expressed at the previous work session. The cupola has been reduced in scale, a chimney added, entryway revised and lighting added.

**L. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

C



**0 MAPLEWOOD AVE. (LUHD-390) – WORK SESSION #D (MODERATE PROJECT)**

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<b>MODERATE PROJECT</b> <b>- CONSTRUCT A NEW SINGLE FAMILY RESIDENCE ONLY -</b>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

**PROPERTY EVALUATION FORM**

**PORTSMOUTH HISTORIC DISTRICT COMMISSION**  
**PROPERTY: 0 MAPLEWOOD AVE. Case No.: D Date: 1-5-22**

**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Address:** 129 STATE ST. (LUHD-414)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #1

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD4
- Land Use: Single Family
- Land Area: 3,050 SF +/-
- Estimated Age of Structure: c1815
- Building Style: Federal
- Number of Stories: 3.0
- Historical Significance: NA
- Public View of Proposed Work: View from State and Sheafe Streets
- Unique Features: NA
- Neighborhood Association: Downtown

**B. Proposed Work:** To add dormers, modify rear additions and rooflines.

**C. Other Permits Required:**

- Board of Adjustment       Planning Board       City Council

**D. Lot Location:**

- Terminal Vista       Gateway       Mid-Block  
 Intersection / Corner Lot       Rear Lot

**E. Existing Building to be Altered/ Demolished / Constructed:**

- Principal       Accessory       Demolition

**F. Sensitivity of Context:**

- Highly Sensitive       Sensitive       Low Sensitivity       "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)  
 Major Project (i.e. very large alternations, additions or expansions)

**K. Neighborhood Context:**

- The new building is located along lower State Street and is surrounded with many contributing historic structures with uniform cornice heights and federal architectural design. The buildings are fronting directly along the street with no front yard setbacks and, where available, have shallow side or rear yards.

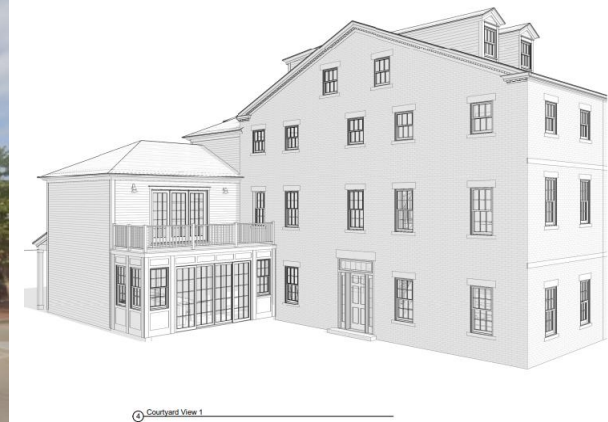
**L. Staff Comments and/ or Suggestions for Consideration:**

- The applicant is proposing to:
  - Add dormers to the main historic building.
  - Make significant modifications to the rear additions.

**M. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**C**

**129 STATE ST. (LUHD-414) – WORK SESSION #1 (MODERATE PROJECT)**

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<b>MODERATE PROJECT</b> <b>- ADD DORMERS AND MODIFY REAR ADDITIONS &amp; ROOFLINES ONLY -</b>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	<b>Scale</b> (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	<b>Placement</b> (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	<b>Massing</b> (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	<b>Architectural Style</b> (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	<b>Roofs</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	<b>Cornice Line</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	<b>Walls</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	<b>Doors and windows</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	<b>Porches and Balconies</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	<b>Lighting</b> (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	<b>Signs</b> (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	<b>Mechanicals</b> (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	<b>Decks</b>			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	<b>Garages / Barns / Sheds</b> (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	<b>Fence / Walls / Screenwalls</b> (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	<b>Grading</b> (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	<b>Landscaping</b> (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	<b>Driveways</b> (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
39			<b>Parking</b> (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
40	<b>Accessory Buildings</b> (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

**PROPERTY EVALUATION FORM**

**PORTSMOUTH HISTORIC DISTRICT COMMISSION**  
**PROPERTY: 0 MAPLEWOOD AVE. Case No.: 1 Date: 1-5-22**

**Decision:**  Approved  Approved with Stipulations  Denied  
 Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

**I. Review Criteria / Findings of Fact:**

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

# Historic District Commission

**Project Evaluation Form:** 179 PLEASANT STREET  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #2

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: MRO
- Land Use: Single-Family
- Land Area: 32,410 SF +/-
- Estimated Age of Structure: c.1860
- Building Style: Georgian
- Number of Stories: 2.5
- Historical Significance: Focal
- Public View of Proposed Work: View from Pleasant Street
- Unique Features: Thomas Thompson House
- Neighborhood Association: South End

**B. Proposed Work:** To modify prior approval from 10-2-19.

**C. Other Permits Required:**

- Board of Adjustment     Planning Board     City Council

**D. Lot Location:**

- Terminal Vista     Gateway     Mid-Block  
 Intersection / Corner Lot     Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- Principal     Accessory     Significant Demolition

**F. Sensitivity of Context:**

- Highly Sensitive     Sensitive     Low Sensitivity     "Back-of-House"

**G. Design Approach (for Major Projects):**

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- Consent Agenda (i.e. very small alterations, additions or expansions)  
 Minor Project (i.e. small alterations, additions or expansions)  
 Moderate Project (i.e. significant additions, alterations or expansions)  
 Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- This focal historic structure is located along Pleasant Street and sits at the terminal vista of Junkins Ave. The structure is surrounded with many wood-sided, 2.5-3 story contributing structures. Most buildings have a shallow front- and side-yard setbacks and deep rear yards.

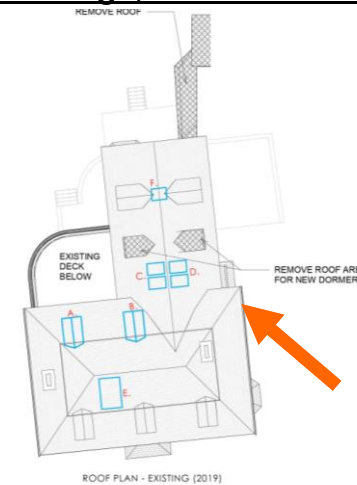
**J. Staff Comments and Suggestions for Consideration:**

- The applicant proposes to revise the previous approval for the following items:
  - Renovate and expand the existing connector buildings between the main house and the Carriage house.
  - Modifying and repairing the windows and dormers
  - Extensive internal structure work is expected given the current condition of the building.

**Note, in light of the current condition of the structure, the Applicant is also requesting a site visit which will be scheduled for the first or second week of January.**

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small-Scale New Construction and Additions (10)**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

C

## 179 PLEASANT STREET – WORK SESSION #2 (MODERATE)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
<b>STAFF</b>	No	<b>GENERAL BUILDING INFORMATION</b>		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<h3 style="margin: 0;">MODERATE PROJECT</h3> <h4 style="margin: 0;">– MODIFICATIONS TO THE PRIOR APPROVAL ONLY –</h4>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
	7	Building Coverage (% Building on the Lot)							
<b>HISTORIC DISTRICT COMMISSION MEMBERS</b>	8	<b>PROJECT REVIEW ELEMENT</b>		<b>HDC COMMENTS</b>		<b>HDC SUGGESTIONS</b>		<b>APPROPRIATENESS</b>	
	9	<b>Scale</b> (i.e. height, volume, coverage...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	<b>Placement</b> (i.e. setbacks, alignment...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	<b>Massing</b> (i.e. modules, banding, stepbacks...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	<b>Architectural Style</b> (i.e. traditional – modern)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	<b>Roofs</b>						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Style and Slope						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Projections (i.e. chimneys, vents, dormers...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Roof Materials						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	<b>Cornice Line</b>						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Eaves, Gutters and Downspouts						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	<b>Walls</b>						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Siding / Material						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Projections (i.e. bays, balconies...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	<b>Doors and windows</b>						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Openings and Proportions						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Casings / Trim						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Window Shutters / Hardware						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Awnings						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Doors						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	<b>Porches and Balconies</b>						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Projections (i.e. porch, portico, canopy...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Landings/ Steps / Stoop / Railings						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	<b>Lighting</b> (i.e. wall, post...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	<b>Signs</b> (i.e. projecting, wall...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	<b>Mechanicals</b> (i.e. HVAC, generators)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	<b>Decks</b>						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	35	<b>Garages</b> (i.e. doors, placement...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	<b>Fence / Walls</b> (i.e. materials, type...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	<b>Grading</b> (i.e. ground floor height, street edge...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	<b>Landscaping</b> (i.e. gardens, planters, street trees...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	<b>Driveways</b> (i.e. location, material, screening...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	<b>Parking</b> (i.e. location, access, visibility...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	<b>Accessory Buildings</b> (i.e. sheds, greenhouses...)						<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 179 PLEASANT STREET Case No.: 2 Date: 1-5-22

Decision:  Approved  Approved with Stipulations  Denied  Continued  Postponed  Withdrawn



**H. Purpose and Intent:**

- |  |   |  |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No          | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No   |  |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No       | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No                                |  |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No |  |

**L. Review Criteria / Findings of Fact:**

- |   |   |  |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No |  |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No                      | Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No  |  |

**36 State Street**

**LU-21-212**

**Public Hearing**



12/30/2021

**LU-21-212**

Land Use Application

**Status:** Active**Date Created:** Dec 7, 2021**Applicant**

John Angelopoulos  
 johnangel57@yahoo.com  
 36 Statest  
 Portsmouth, NH 03801  
 6034752699

**Location**

36 STATE ST  
 Portsmouth, NH 03801

**Owner:**

John Angelopoulos  
 36 Statest 36 STATE ST Portsmouth, NH 03801

**Applicant Information****Please indicate your relationship to this project**

A. Property Owner

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

**Request for Extension of Previously Granted Land Use Approval**







# WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

400 Series  
Woodwright® Double-Hung  
Full-Frame Windows

## SECTION REFERENCE

Tables of Sizes .....	50-56
Specifications .....	54-61
Custom Sizing .....	62
Grille Patterns .....	63
Window Details .....	63-64
Joining Details .....	65
Combination Designs .....	181
Product Performance .....	194

### CUSTOM SIZING

in  $\frac{1}{8}$ " (3) increments



Dimensions in parentheses are in millimeters.

# WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

## FEATURES

### Frame

**A** Perma-Shield® exterior cladding protects the frame — beautifully. Best of all, it's low maintenance and never needs painting.

**B** For exceptional long-lasting\* performance, sill members are constructed with a wood core and a Fibrex® material exterior.

**C** Natural wood stops are available in pine, oak, maple and prefinished white. Wood jamb liners add beauty and authenticity to the window interior.

**D** A factory-applied rigid vinyl flange on the head, sill and sides of the outer frame helps secure the unit to the structure.

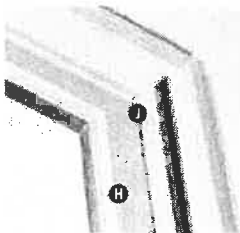
**E** Multiple weatherstrip systems help provide a barrier against wind, rain and dust. The combination of spring tension vinyl, rigid vinyl and flexible bulb weatherstrip is efficient and effective.

**F** For units with white exterior color, exterior jamb liner is white. For all other units, the exterior jamb liner is gray.

### Sash

**G** Balancers in the sash enable contractors to screw through the jamb during installation without interfering with the window's operation.

### Wood Jamb Liner



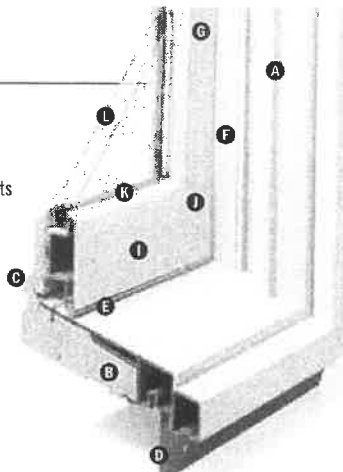
**H** Natural wood sash interior with classic chamfer detailing. Available in pine, oak, maple or prefinished white.

**I** Low-maintenance sash exterior provides long-lasting\* protection and performance. Sash exteriors on most units include Fibrex material.

**J** Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.

### Glass

**K** Silicone bed glazing provides superior weathertightness and durability.



**L** High-Performance glass options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 Sun glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSun HeatLock glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

### Patterned Glass

Patterned glass options are available. See page 12 for more details.

### Hardware



Standard lock and keeper design provides an easy tilt-to-clean feature integrated into the lock.

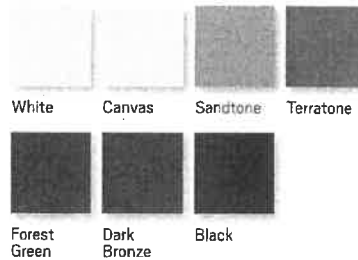


### Performance Grade (PG) Upgrade

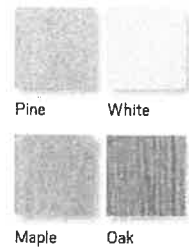
Performance upgrades are available for select sizes allowing these units to achieve higher performance ratings. Performance Grade (PG) Ratings are more comprehensive than Design Pressure (DP) Ratings for measuring product performance. Use of this option will subtract 3/8" (16) from clear opening height. Contact your Andersen supplier for availability. For up-to-date performance information of individual products, visit [andersenwindows.com](http://andersenwindows.com).

Visit [andersenwindows.com/coastal](http://andersenwindows.com/coastal) for more information on Stormwatch Protection.

## EXTERIOR

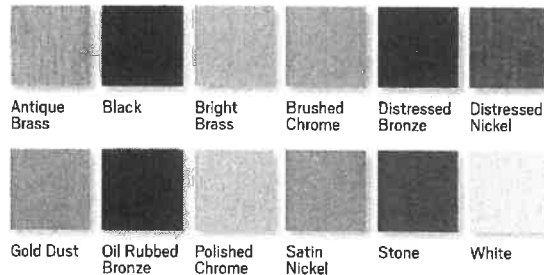


## INTERIOR



Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless prefinished white is specified.

## HARDWARE FINISHES



Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

## DOUBLE-HUNG HARDWARE

### STANDARD Lock & Keeper



Antique Brass | **Black** | Bright Brass  
Brushed Chrome | Distressed Bronze  
Distressed Nickel | Gold Dust | Oil Rubbed Bronze  
Polished Chrome | Satin Nickel | Stone | White

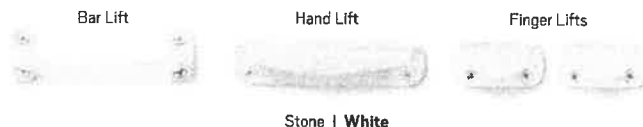
## OPTIONAL DOUBLE-HUNG HARDWARE\*\*

### TRADITIONAL



Antique Brass | Black | Bright Brass | Brushed Chrome | Distressed Bronze | Distressed Nickel  
Gold Dust | **Oil Rubbed Bronze** | Polished Chrome | Satin Nickel | Stone | White

### CLASSIC SERIES™



Stone | White

### CONTEMPORARY



Antique Brass | Black | Bright Brass  
Brushed Chrome | Distressed Bronze  
**Distressed Nickel** | Gold Dust  
Oil Rubbed Bronze | Polished Chrome  
Satin Nickel | Stone | White

### ESTATE™



Antique Brass | Bright Brass  
Brushed Chrome | Distressed Bronze  
Distressed Nickel | Oil Rubbed Bronze  
Polished Chrome | **Satin Nickel**

Bold name denotes finish shown.

\* Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

\*\* Hardware sold separately.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

**Shapes**

Woodwright® windows are available in the following shapes.



Double-Hung



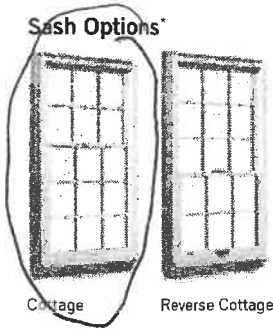
Arch Double-Hung



Unequal Leg Arch Double-Hung



Springline® Single-Hung



Cottage

Reverse Cottage

For more information about glass, patterned glass, grilles and TruScene insect screens, see pages 12-14.

For more information about combination designs, product performance, installation instructions and accessories, see pages 181-211 or visit [andersenwindows.com](http://andersenwindows.com).

**ACCESSORIES** Sold Separately

**Frame**

**Extension Jamb**



Standard jamb depth is 4 1/2" (114). Extension jambs are available in unfinished pine or prefinished white. Some sizes may be veneered.

Factory-applied and non-applied interior extension jambs are available in 1/8" (1.5) increments between 5 1/4" (133) and 7 1/8" (181). Extension jambs can be factory-applied to either three sides (stool and apron application) or four sides (picture frame casing).

**Pine Stool**



A clear pine stool is available and ready for finishing. The Woodwright stool is available in 4 3/8" (116) for use in wall depths up to 5 1/4" (133), and 6 3/8" (167) for use in wall depths up to 7 1/4" (181). Works with 2 1/4" (57) and 2 1/2" (64) wide casings. Shown on 400 Series tilt-wash double-hung window.

**Hardware**

**Window Opening Control Device Kit**



A Window Opening Control Device Kit is available, which limits sash travel to less than 4" (102) when the window is first opened. Available factory applied or field applied in stone and white.

**Security Sensors**

**Open/Closed Sensors**

Wireless open/closed sensors are available in four colors. See page 15 for details.

**Storm/Insect Screen Combination Unit\*\***



A self-storing storm window combined with an insect screen provides greater energy efficiency, while allowing ventilation when needed.

Constructed with an aluminum frame, single-pane upper and lower glass panels and charcoal powder-coated aluminum screen mesh. Available in white, Sandtone and Terratone to match product exteriors. Canvas, forest green, dark bronze and black available by special order.

Combination units can improve Sound Transmission Class (STC) and Outdoor Indoor Transmission Class (OITC) ratings. Ideal for projects near airports, busy roadways or other noisy environments. For example, adding a combination unit to a 400 Series tilt-wash double-hung (3862) unit with Low-E4® glass will improve its STC rating from 26 to 32. Contact your Andersen supplier for additional STC and OITC rating information.

**Insect Screens**

**Insect Screen Frames**



Choose full insect screen or half insect screen. Half insect screen (shown above) allows ventilation without affecting the view through the upper sash. Frames are available in colors to match product exteriors.

**TruScene® Insect Screen**

Exclusive Andersen TruScene insect screens provide over 50% more clarity than our conventional insect screens for a beautiful unobstructed view. They allow more fresh air and sunlight in, while doing a better job of keeping out small insects.

**Conventional Insect Screen**

Conventional insect screens have charcoal powder-coated aluminum screen mesh.

**Grilles**

Grilles are available in a variety of configurations and widths. For double-hung grille patterns, see page 62.

**Exterior Trim**

This product is available with Andersen exterior trim. See pages 175-180 for details.

**CAUTION:**

- Painting and staining may cause damage to rigid vinyl.
- Do not paint 400 Series windows with white, canvas, Sandtone, forest green, dark bronze or black exterior colors.
- Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces.
- 400 Series windows in Terratone color may be painted any color lighter than Terratone color using quality oil-based or latex paint.
- For vinyl painting instructions and preparation, contact your Andersen supplier.
- Do not paint weatherstrip.
- Creosote-based stains should not come in contact with Andersen products.
- Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products.

400 Series Woodwright® Double-Hung Full-Frame Windows

\* Shown on 400 Series tilt-wash double-hung windows.  
\*\* Do not add combination units to windows with Low-E4 Sun glass, unless window glass is tempered. Combination units may also reduce the overall clear operable area of the window. See your local code official for egress requirements in your area. Dimensions in parentheses are in millimeters.

# WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

**Table of Woodwright® Double-Hung Window Sizes**

Scale 1/8" (3) = 1'-0" (305) – 1:96

Notes on the next page also apply to this page.

Window Dimension	1'-9 5/8" (549)	2'-1 5/8" (651)	2'-5 5/8" (752)	2'-7 5/8" (803)	2'-9 5/8" (854)	2'-11 5/8" (905)	3'-1 5/8" (956)	3'-5 5/8" (1057)	3'-9 5/8" (1159)
<b>Minimum Rough Opening</b>	1'-10 1/8" (562)	2'-2 1/8" (664)	2'-6 1/8" (765)	2'-8 1/8" (816)	2'-10 1/8" (867)	3'-0 1/8" (917)	3'-2 1/8" (968)	3'-6 1/8" (1070)	3'-10 1/8" (1172)
Unobstructed Glass (lower sash only)	15 5/8" (397)	19 5/8" (498)	23 5/8" (600)	25 5/8" (651)	27 5/8" (702)	29 5/8" (752)	31 5/8" (803)	35 5/8" (905)	39 5/8" (1006)

**CUSTOM WIDTHS – 16 1/2" to 45 5/8"**

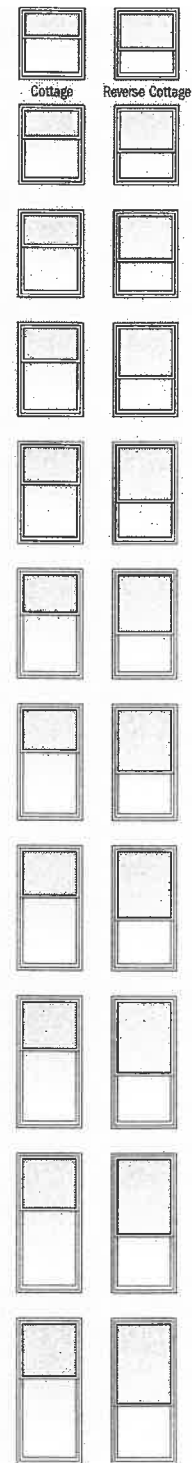
**CUSTOM HEIGHTS – 32" to 76 7/8"**

3'-0 7/8" (937)	WDH18210	WDH20210	WDH24210	WDH26210	WDH28210	WDH210210	WDH30210	WDH34210	WDH38210
3'-4 7/8" (1038)	WDH1832	WDH2032	WDH2432	WDH2632	WDH2832	WDH21032	WDH3032	WDH3432	WDH3832
3'-8 7/8" (1140)	WDH1836	WDH2036	WDH2436	WDH2636	WDH2836	WDH21036	WDH3036	WDH3436	WDH3836
4'-0 7/8" (1241)	WDH18310	WDH20310	WDH24310	WDH26310	WDH28310	WDH210310	WDH30310	WDH34310	WDH38310
4'-4 7/8" (1343)	WDH1842	WDH2042	WDH2442	WDH2642	WDH2842	WDH21042	WDH3042	WDH3442	WDH3842
4'-8 7/8" (1445)	WDH1846	WDH2046	WDH2446	WDH2646	WDH2846	WDH21046	WDH3046 <sup>o</sup>	WDH3446 <sup>o</sup>	WDH3846 <sup>o</sup>
5'-0 7/8" (1546)	WDH18410	WDH20410	WDH24410	WDH26410	WDH28410	WDH210410 <sup>o</sup>	WDH30410 <sup>o</sup>	WDH34410 <sup>o</sup>	WDH38410 <sup>o</sup>
5'-4 7/8" (1648)	WDH1852	WDH2052	WDH2452	WDH2652	WDH2852 <sup>o</sup>	WDH21052 <sup>o</sup>	WDH3052 <sup>o</sup>	WDH3452 <sup>o</sup>	WDH3852 <sup>o</sup>
5'-8 7/8" (1749)	WDH1856	WDH2056	WDH2456	WDH2656 <sup>o</sup>	WDH2856 <sup>o</sup>	WDH21056 <sup>o</sup>	WDH3056 <sup>o</sup>	WDH3456 <sup>o</sup>	WDH3856 <sup>o</sup>
6'-0 7/8" (1851)	WDH18510	WDH20510	WDH24510 <sup>o</sup>	WDH26510 <sup>o</sup>	WDH28510 <sup>o</sup>	WDH210510 <sup>o</sup>	WDH30510 <sup>o</sup>	WDH34510 <sup>o</sup>	WDH38510 <sup>o</sup>
6'-4 7/8" (1953)	WDH1862	WDH2062	WDH2462 <sup>o</sup>	WDH2662 <sup>o</sup>	WDH2862 <sup>o</sup>	WDH21062 <sup>o</sup>	WDH3062 <sup>o</sup>	WDH3462 <sup>o</sup>	WDH3862 <sup>o</sup>

2:3 cottage or 3:2 reverse cottage sash ratio available for all widths and heights. Size tables for windows with cottage or reverse cottage sash are available at [andersenwindow.com/sizing](http://andersenwindow.com/sizing).

**CUSTOM WIDTHS –**  
1'-4 1/2" (419) to 3'-9 1/2" (1159)

**CUSTOM HEIGHTS –**  
3'-0 1/4" (937) to 6'-4 1/4" (1953)



**Table of Woodwright® Springline™ Single-Hung Window Sizes**  
Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	2'-1 5/8"	2'-5 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"	3'-1 5/8"	3'-5 5/8"	3'-9 5/8"
	(651)	(752)	(803)	(854)	(905)	(956)	(1057)	(1159)
<b>Minimum Rough Opening</b>	2'-2 1/8"	2'-6 1/8"	2'-8 1/8"	2'-10 1/8"	3'-0 1/8"	3'-2 1/8"	3'-6 1/8"	3'-10 1/8"
	(664)	(765)	(816)	(867)	(917)	(968)	(1070)	(1172)
Unobstructed Glass (lower sash only)	19 5/8"	23 5/8"	25 5/8"	27 5/8"	29 5/8"	31 5/8"	35 5/8"	39 5/8"
	(498)	(600)	(651)	(702)	(752)	(803)	(905)	(1006)
<b>CUSTOM WIDTHS – 25 5/8" to 45 5/8"</b>								
Unobstructed Glass (lower sash only)	12 13/16" (325)	14 13/16" (376)	15 13/16" (402)	16 13/16" (427)	17 13/16" (452)	18 13/16" (478)	20 13/16" (529)	22 13/16" (579)
Side Height	12 13/16" (325)	14 13/16" (376)	15 13/16" (402)	16 13/16" (427)	17 13/16" (452)	18 13/16" (478)	20 13/16" (529)	22 13/16" (579)
Radius and Chord Height	12 13/16" (325)	14 13/16" (376)	15 13/16" (402)	16 13/16" (427)	17 13/16" (452)	18 13/16" (478)	20 13/16" (529)	22 13/16" (579)
<b>CUSTOM HEIGHTS – 32 1/8" to 76 3/8"</b>	4'-4 13/16" (1341)	4'-6 13/16" (1392)	4'-7 13/16" (1418)	4'-8 13/16" (1443)	4'-9 13/16" (1468)	4'-10 13/16" (1494)	5'-0 13/16" (1545)	5'-2 13/16" (1595)
21 3/8" (543)	WS2042	WS2442	WS2642	WS2842	WS21042	WS3042	WS3442	WS3842
23 3/8" (594)	4'-7 13/16" (1418)	4'-9 13/16" (1468)	4'-10 13/16" (1494)	4'-11 13/16" (1519)	5'-0 13/16" (1545)	5'-1 13/16" (1570)	5'-3 13/16" (1621)	5'-5 13/16" (1672)
3'-7" (1092)	WS2046	WS2446	WS2646	WS2846	WS21046	WS3046	WS3446	WS3846
25 3/8" (645)	4'-10 13/16" (1494)	5'-0 13/16" (1545)	5'-1 13/16" (1570)	5'-2 13/16" (1595)	5'-3 13/16" (1621)	5'-4 13/16" (1646)	5'-6 13/16" (1697)	5'-8 13/16" (1748)
3'-10" (1188)	WS20410	WS24410	WS26410	WS28410	WS210410	WS30410	WS34410	WS38410
27 3/8" (695)	5'-1 13/16" (1570)	5'-3 13/16" (1621)	5'-4 13/16" (1646)	5'-5 13/16" (1672)	5'-6 13/16" (1697)	5'-7 13/16" (1722)	5'-9 13/16" (1773)	5'-11 13/16" (1824)
4'-1" (1245)	WS2052	WS2452	WS2652	WS2852	WS21052	WS3052	WS3452	WS3852
29 3/8" (746)	5'-9 13/16" (1774)	5'-11 13/16" (1825)	6'-0 13/16" (1850)	6'-1 13/16" (1875)	6'-2 13/16" (1901)	6'-3 13/16" (1926)	6'-5 13/16" (1977)	6'-7 13/16" (2028)
4'-9" (1449)	WS2056	WS2456	WS2656	WS2856	WS21056	WS3056	WS3456	WS3856
31 3/8" (797)	6'-1 13/16" (1859)	6'-3 3/16" (1910)	6'-4 3/16" (1935)	6'-5 3/16" (1961)	6'-6 3/16" (1986)	6'-7 3/16" (2011)	6'-9 3/16" (2062)	6'-11 3/16" (2113)
5'-0 3/8" (1534)	WS20510	WS24510	WS26510	WS28510	WS210510	WS30510	WS34510	WS38510
33 3/8" (848)	6'-4 1/2" (1943)	6'-6 1/2" (1994)	6'-7 1/2" (2019)	6'-8 1/2" (2045)	6'-9 1/2" (2070)	6'-10 1/2" (2096)	7'-0 1/2" (2146)	7'-2 1/2" (2197)
5'-3 11/16" (1618)	WS2062	WS2462	WS2662	WS2862	WS21062	WS3062	WS3462	WS3862



Custom-size windows are available in 1/8" (3) increments. See page 62 for custom sizing.

Grille patterns shown on page 63.

**Woodwright Springline Single-Hung only:** Minimum rough opening height is the same as the window dimension height. Upper sash does not operate and lower sash travel is limited by the radius of the upper sash. Contact your Andersen supplier for cottage and reverse cottage sash availability. **Side-by-side joining is not recommended.**

400 Series  
Woodwright® Double-Hung  
Full-Frame Windows

\* "Window Dimension" always refers to outside frame to frame dimension.  
 \* "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See pages 210-211 for more details.  
 \* Dimensions in parentheses are in millimeters.  
 \* Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m<sup>2</sup>, clear opening width of 20" (508) and clear opening height of 24" (210). See tables on pages 57-58.

# WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

Table of Woodwright Arch Double-Hung Window Sizes

Scale 1/8" (3) = 1'-0" (305) - 1:96

Notes on the next page also apply to this page.

Window Dimension	1'-9 5/8"	2'-1 5/8"	2'-5 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"	3'-1 5/8"	3'-5 5/8"	3'-9 5/8"
Minimum Rough Opening	1'-10 1/8" (562)	2'-2 1/8" (664)	2'-6 1/8" (765)	2'-8 1/8" (816)	2'-10 1/8" (867)	3'-0 1/8" (917)	3'-2 1/8" (968)	3'-6 1/8" (1070)	3'-10 1/8" (1172)
Unobstructed Glass (lower sash only)	15 5/8" (397)	19 5/8" (498)	23 5/8" (600)	25 5/8" (651)	27 5/8" (702)	29 5/8" (752)	31 5/8" (803)	35 5/8" (905)	39 5/8" (1006)

CUSTOM WIDTHS - 21 5/8" to 45 5/8"

Radius	21 5/8" (549)	25 5/8" (651)	29 5/8" (752)	31 5/8" (803)	33 5/8" (854)	35 5/8" (905)	37 5/8" (956)	41 5/8" (1057)	45 5/8" (1159)
Chord Height	2 15/16" (75)	3 7/16" (87)	4" (102)	4 1/4" (108)	4 1/2" (114)	4 13/16" (122)	5 1/16" (129)	5 9/16" (141)	6 1/8" (156)

Side Height	3'-0 7/8"	3'-4 7/8"	3'-8 7/8"	4'-0 7/8"	4'-4 7/8"	4'-8 7/8"	5'-0 7/8"	5'-4 7/8"	5'-8 7/8"	6'-0 7/8"
3'-0 7/8"	WA18210 (837)	WA1832 (1038)	WA1836 (1140)	WA18310 (1241)	WA1842 (1343)	WA1846 (1445)	WA18410 (1546)	WA1852 (1648)	WA1856 (1749)	WA18510 (1851)
3'-4 7/8"	WA2032 (951)	WA2036 (1063)	WA20310 (1167)	WA2042 (1268)	WA2046 (1370)	WA20410 (1472)	WA2052 (1573)	WA2056 (1675)	WA20510 (1776)	WA2062 (1878)
3'-8 7/8"	WA2432 (937)	WA2436 (1038)	WA2442 (1140)	WA2446 (1241)	WA2452 (1343)	WA2456 (1445)	WA2462 (1546)	WA2466 (1648)	WA2472 (1749)	WA2482 (1851)
4'-0 7/8"	WA2632 (930)	WA2636 (1032)	WA2642 (1133)	WA2646 (1235)	WA2652 (1337)	WA2656 (1438)	WA2662 (1539)	WA2666 (1641)	WA2672 (1743)	WA2682 (1845)
4'-4 7/8"	WA2836 (1026)	WA28310 (1127)	WA2842 (1229)	WA2846 (1330)	WA2852 (1432)	WA2856 (1534)	WA2862 (1635)	WA2866 (1737)	WA2872 (1838)	WA2882 (1939)
4'-8 7/8"	WA30310 (1119)	WA3042 (1221)	WA3046 (1322)	WA3052 (1424)	WA3056 (1526)	WA3062 (1627)	WA3066 (1729)	WA3072 (1830)	WA3076 (1931)	WA3082 (2032)
5'-0 7/8"	WA34310 (1100)	WA3442 (1202)	WA3446 (1303)	WA3452 (1405)	WA3456 (1507)	WA3462 (1608)	WA3466 (1710)	WA3472 (1811)	WA3476 (1912)	WA3482 (2013)
5'-4 7/8"	WA3842 (1187)	WA3846 (1289)	WA3852 (1391)	WA3856 (1492)	WA3862 (1594)	WA3866 (1695)	WA3872 (1797)	WA3876 (1898)	WA3882 (1999)	WA3886 (2100)
5'-8 7/8"	WA3842 (1187)	WA3846 (1289)	WA3852 (1391)	WA3856 (1492)	WA3862 (1594)	WA3866 (1695)	WA3872 (1797)	WA3876 (1898)	WA3882 (1999)	WA3886 (2100)
6'-0 7/8"	WA3842 (1187)	WA3846 (1289)	WA3852 (1391)	WA3856 (1492)	WA3862 (1594)	WA3866 (1695)	WA3872 (1797)	WA3876 (1898)	WA3882 (1999)	WA3886 (2100)

Side-by-side joining of arch double-hung windows is not recommended.

### Table of Woodwright® Unequal Leg Arch Double-Hung Window Sizes

Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	1'-9 5/8" (549)	2'-1 5/8" (651)	2'-5 5/8" (752)	2'-7 5/8" (803)	2'-9 5/8" (854)	2'-11 5/8" (905)	3'-1 5/8" (956)	3'-5 5/8" (1057)	3'-9 5/8" (1159)
<b>Minimum Rough Opening</b>	1'-10 1/8" (562)	2'-2 1/8" (664)	2'-6 1/8" (765)	2'-8 1/8" (816)	2'-10 1/8" (867)	3'-0 1/8" (917)	3'-2 1/8" (968)	3'-6 1/8" (1070)	3'-10 1/8" (1172)
Unobstructed Glass (lower sash only)	15 5/8" (397)	19 5/8" (498)	23 5/8" (600)	25 5/8" (651)	27 5/8" (702)	29 5/8" (752)	31 5/8" (803)	35 5/8" (905)	39 5/8" (1006)
<b>CUSTOM WIDTHS – 21 5/8" to 45 5/8"</b>									
Radius	45 5/8" (1159)	45 5/8" (1159)	45 5/8" (1159)	45 5/8" (1159)	45 5/8" (1159)	96" (2438)	96" (2438)	96" (2438)	96" (2438)
Chord Height	5 7/16" (138)	7 7/8" (200)	10 15/16" (279)	12 3/4" (324)	14 13/16" (376)	6 13/16" (173)	7 11/16" (195)	9 1/2" (241)	11 9/16" (284)
<b>CUSTOM HEIGHTS – 44 7/8" to 76 7/8"</b>									
Side Height									
3'-8 7/8" (1140)									
3'-8 7/8" (1140)									
3'-8 7/8" (1140)									
4'-0 7/8" (1241)									
4'-0 7/8" (1241)									
4'-0 7/8" (1241)									
4'-4 7/8" (1343)									
4'-4 7/8" (1343)									
4'-4 7/8" (1343)									
4'-8 7/8" (1445)									
4'-8 7/8" (1445)									
4'-8 7/8" (1445)									
5'-0 7/8" (1546)									
5'-0 7/8" (1546)									
5'-0 7/8" (1546)									
5'-4 7/8" (1648)									
5'-4 7/8" (1648)									
5'-4 7/8" (1648)									
5'-8 7/8" (1749)									
5'-8 7/8" (1749)									
5'-8 7/8" (1749)									
6'-0 7/8" (1851)									
6'-0 7/8" (1851)									
6'-0 7/8" (1851)									
6'-4 7/8" (1953)									
6'-4 7/8" (1953)									
6'-4 7/8" (1953)									
33 3/8" (848)									
33 3/8" (848)									
33 3/8" (848)									
3'-3 7/8" (1002)									
3'-3 7/8" (1002)									
3'-3 7/8" (1002)									
3'-7 7/8" (1103)									
3'-7 7/8" (1103)									
3'-7 7/8" (1103)									
3'-11 7/8" (1205)									
3'-11 7/8" (1205)									
3'-11 7/8" (1205)									
3'-8" (1118)									
3'-8" (1118)									
3'-8" (1118)									
3'-9 15/16" (1167)									
3'-9 15/16" (1167)									
3'-9 15/16" (1167)									
4'-3 7/8" (1307)									
4'-3 7/8" (1307)									
4'-3 7/8" (1307)									
4'-7 7/8" (1408)									
4'-7 7/8" (1408)									
4'-7 7/8" (1408)									
4'-1 15/16" (1288)									
4'-1 15/16" (1288)									
4'-1 15/16" (1288)									
4'-0 1/8" (1322)									
4'-0 1/8" (1322)									
4'-0 1/8" (1322)									
4'-11 7/8" (1510)									
4'-11 7/8" (1510)									
4'-11 7/8" (1510)									
4'-9" (1448)									
4'-9" (1448)									
4'-9" (1448)									
4'-5 15/16" (1370)									
4'-5 15/16" (1370)									
4'-5 15/16" (1370)									
4'-4 1/8" (1324)									
4'-4 1/8" (1324)									
4'-4 1/8" (1324)									
4'-2 1/16" (1272)									
4'-2 1/16" (1272)									
4'-2 1/16" (1272)									
4'-10 1/16" (1475)									
4'-10 1/16" (1475)									
4'-10 1/16" (1475)									
4'-6 1/16" (1373)									
4'-6 1/16" (1373)									
4'-6 1/16" (1373)									
4'-2 1/16" (1373)									
4'-2 1/16" (1373)									
4'-2 1/16" (1373)									
5'-2 1/16" (1576)									
5'-2 1/16" (1576)									
5'-2 1/16" (1576)									
5'-10 1/16" (1779)									
5'-10 1/16" (1779)									
5'-10 1/16" (1779)									
5'-9 3/16" (1757)									
5'-9 3/16" (1757)									
5'-9 3/16" (1757)									
5'-11 3/8" (1808)									
5'-11 3/8" (1808)									
5'-11 3/8" (1808)									
5'-7 3/8" (1610)									
5'-7 3/8" (1610)									
5'-7 3/8" (1610)									
5'-5 5/16" (1659)									
5'-5 5/16" (1659)									
5'-5 5/16" (1659)									
5'-1 5/16" (1557)									
5'-1 5/16" (1557)									
5'-1 5/16" (1557)									
4'-9 5/16" (1456)									
4'-9 5/16" (1456)									
4'-9 5/16" (1456)									
4'-5 5/16" (1354)									
4'-5 5/16" (1354)									
4'-5 5/16" (1354)									
4'-3 3/8" (1305)									
4'-3 3/8" (1305)									
4'-3 3/8" (1305)									
4'-1 3/8" (1407)									
4'-1 3/8" (1407)									
4'-1 3/8" (1407)									
4'-5 5/16" (1456)									
4'-5 5/16" (1456)									
4'-5 5/16" (1456)									
4'-1 3/8" (1407)									
4'-1 3/8" (1407)									
4'-1 3/8" (1407)									

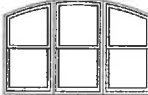


Custom-size windows are available in 1/8" (3) increments. See page 62 for custom sizing.

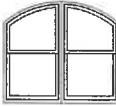
Lower sash travel is limited by the radius of the upper sash. Contact your Andersen supplier for cottage and reverse cottage sash availability.



Choose left facing or right facing as viewed from the exterior.



Arch double-hung with flanking unequal leg arch double-hungs.



Joining long sides creates a smooth arc. **Joining short sides is not recommended.**

400 Series Woodwright® Double-Hung Full-Frame Windows

\* "Window Dimension" always refers to outside frame to frame dimension.  
 \* "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See pages 210-211 for more details.  
 † Dimensions in parentheses are in millimeters.  
 ‡ Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m<sup>2</sup>, clear opening width of 20" (508) and clear opening height of 24" (210). See tables on pages 59-61.



# WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

**Table of Woodwright® Transom Window Sizes**

Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	1'-9 5/8"	2'-1 5/8"	2'-5 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"	3'-1 5/8"	3'-5 5/8"	3'-9 5/8"	3'-11 5/8"
	(549)	(651)	(752)	(803)	(854)	(905)	(956)	(1057)	(1159)	(1202)
<b>Minimum Rough Opening</b>	1'-10 1/8"	2'-2 1/8"	2'-6 1/8"	2'-8 1/8"	2'-10 1/8"	3'-0 1/8"	3'-2 1/8"	3'-6 1/8"	3'-10 1/8"	3'-11 7/8"
	(562)	(664)	(765)	(816)	(867)	(917)	(968)	(1070)	(1172)	(1215)
<b>Unobstructed Glass</b>	15 5/8"	19 5/8"	23 5/8"	25 5/8"	27 5/8"	29 5/8"	31 5/8"	35 5/8"	39 5/8"	41 1/4"
	(397)	(498)	(600)	(651)	(702)	(752)	(803)	(905)	(1006)	(1048)

**CUSTOM WIDTHS – 12" to 25 5/8"**

**CUSTOM HEIGHTS – 12" to 39 5/8"**

Window Dimension	1'-0"	1'-7 5/8"	1'-9 5/8"	2'-1 5/8"	2'-3 5/8"	2'-5 5/8"	2'-9 5/8"	3'-3 5/8"
	(305)	(491)	(541)	(643)	(694)	(745)	(846)	(999)
	1'-0 1/2"	1'-7 1/8"	1'-9 7/8"	2'-1 7/8"	2'-3 7/8"	2'-5 7/8"	2'-9 7/8"	3'-3 7/8"
	(318)	(504)	(555)	(657)	(707)	(758)	(860)	(1012)
	6 13/16"	14 1/8"	16 1/8"	20 1/8"	22 1/8"	24 1/8"	28 1/8"	34 1/8"
	(173)	(359)	(410)	(511)	(562)	(613)	(714)	(867)

Window Model	WTR1810	WTR2010	WTR2410	WTR2610	WTR2810	WTR21010	WTR3010	WTR3410	WTR3810	WTR31010
1'-0"	WTR1810	WTR2010	WTR2410	WTR2610	WTR2810	WTR21010	WTR3010	WTR3410	WTR3810	WTR31010
1'-7 5/8"	WTR1815	WTR2015	WTR2415	WTR2615	WTR2815	WTR21015	WTR3015	WTR3415	WTR3815	WTR31015
1'-9 5/8"	WTR1817	WTR2017	WTR2417	WTR2617	WTR2817	WTR21017	WTR3017	WTR3417	WTR3817	WTR31017
2'-1 5/8"	WTR18111	WTR20111	WTR24111	WTR26111	WTR28111	WTR210111	WTR30111	WTR34111	WTR38111	WTR310111
2'-3 5/8"	WTR1821	WTR2021	WTR2421	WTR2621	WTR2821	WTR21021	WTR3021	WTR3421	WTR3821	WTR31021
2'-5 5/8"	WTR1823	WTR2023	WTR2423	WTR2623	WTR2823	WTR21023	WTR3023	WTR3423	WTR3823	WTR31023
2'-9 5/8"	WTR1827	WTR2027	WTR2427	WTR2627	WTR2827	WTR21027	WTR3027	WTR3427	WTR3827	WTR31027
3'-3 5/8"	WTR1831	WTR2031	WTR2431	WTR2631	WTR2831	WTR21031	WTR3031	WTR3431	WTR3831	WTR31031

\*"Window Dimension" always refers to outside frame to frame dimension.  
 \*"Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See pages 210-211 for more details.  
 \*Dimensions in parentheses are in millimeters.

## Woodwright® Transom Window Area Specifications

Window Number	Glass Area Sq. Ft./ (m <sup>2</sup> )	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
WTR1810	0.74 (0.07)	1.80 (0.17)
WTR1815	1.53 (0.14)	2.90 (0.27)
WTR1817	1.75 (0.16)	3.20 (0.30)
WTR18111	2.18 (0.20)	3.80 (0.35)
WTR1821	2.40 (0.22)	4.10 (0.38)
WTR1823	2.62 (0.24)	4.40 (0.41)
WTR1827	3.05 (0.28)	5.00 (0.46)
WTR1831	3.70 (0.34)	5.90 (0.55)
WTR2010	0.93 (0.09)	2.14 (0.20)
WTR2015	1.93 (0.18)	3.44 (0.32)
WTR2017	2.20 (0.20)	3.79 (0.35)
WTR20111	2.74 (0.25)	4.50 (0.42)
WTR2021	3.02 (0.28)	4.86 (0.45)
WTR2023	3.29 (0.31)	5.22 (0.48)
WTR2027	3.83 (0.36)	5.93 (0.55)
WTR2031	4.65 (0.43)	7.00 (0.65)
WTR2410	1.12 (0.10)	2.47 (0.23)
WTR2415	2.32 (0.22)	3.97 (0.37)
WTR2417	2.65 (0.25)	4.38 (0.41)
WTR24111	3.30 (0.31)	5.21 (0.48)

Window Number	Glass Area Sq. Ft./ (m <sup>2</sup> )	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
WTR2421	3.63 (0.34)	5.62 (0.52)
WTR2423	3.96 (0.37)	6.03 (0.56)
WTR2427	4.61 (0.43)	6.85 (0.64)
WTR2431	5.60 (0.52)	8.09 (0.75)
WTR2610	1.21 (0.11)	2.64 (0.24)
WTR2615	2.51 (0.23)	4.24 (0.39)
WTR2617	2.87 (0.27)	4.68 (0.43)
WTR26111	3.58 (0.33)	5.56 (0.52)
WTR2621	3.94 (0.37)	6.00 (0.56)
WTR2623	4.29 (0.40)	6.44 (0.60)
WTR2627	5.00 (0.46)	7.32 (0.68)
WTR2631	6.07 (0.56)	8.63 (0.80)
WTR2810	1.31 (0.12)	2.80 (0.26)
WTR2815	2.71 (0.25)	4.51 (0.42)
WTR2817	3.09 (0.29)	4.98 (0.46)
WTR28111	3.86 (0.36)	5.91 (0.55)
WTR2821	4.24 (0.39)	6.38 (0.59)
WTR2823	4.63 (0.43)	6.84 (0.64)
WTR2827	5.40 (0.50)	7.78 (0.72)
WTR2831	6.55 (0.61)	9.18 (0.85)

Window Number	Glass Area Sq. Ft./ (m <sup>2</sup> )	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
WTR21010	1.40 (0.13)	2.97 (0.28)
WTR21015	2.91 (0.27)	4.78 (0.44)
WTR21017	3.32 (0.31)	5.27 (0.49)
WTR210111	4.14 (0.38)	6.26 (0.58)
WTR21021	4.55 (0.42)	6.76 (0.63)
WTR21023	4.96 (0.46)	7.25 (0.67)
WTR21027	5.79 (0.54)	8.24 (0.77)
WTR21031	7.02 (0.65)	9.73 (0.90)
WTR3010	1.50 (0.14)	3.14 (0.29)
WTR3015	3.10 (0.29)	5.95 (0.47)
WTR3017	3.54 (0.33)	5.67 (0.52)
WTR30111	4.42 (0.41)	6.61 (0.61)
WTR3021	4.86 (0.45)	7.14 (0.66)
WTR3023	5.30 (0.49)	7.66 (0.71)
WTR3027	6.18 (0.57)	8.70 (0.81)
WTR3031	7.49 (0.70)	10.27 (0.95)
WTR3410	1.69 (0.16)	3.47 (0.32)
WTR3415	3.49 (0.32)	5.58 (0.52)

\* Dimensions in parentheses are in square meters.

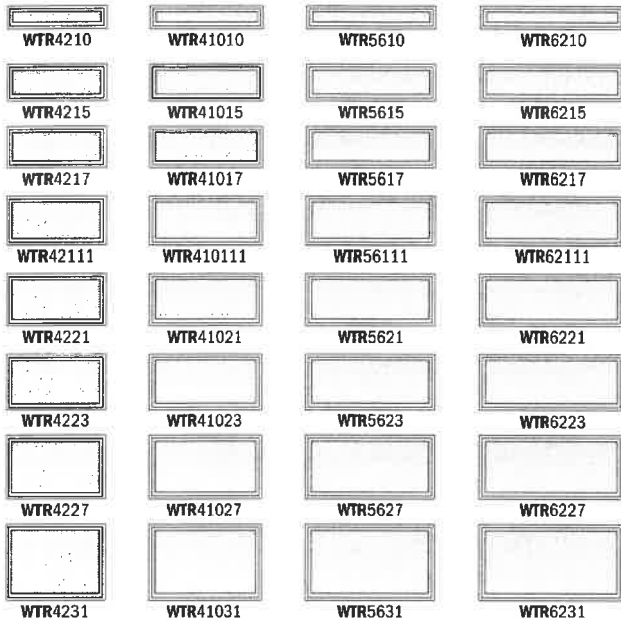
continued on next page

4'-3 5/16" (1303)	4'-11 5/16" (1506)	5'-7 5/16" (1710)	6'-3 5/16" (1913)
4'-3 7/8" (1317)	4'-11 7/8" (1520)	5'-7 7/8" (1724)	6'-3 7/8" (1927)
45 1/4" (1149)	53 1/4" (1353)	61 1/4" (1556)	69 1/4" (1745)



Custom-size windows are available in 1/8" (3) increments. See page 62 for custom sizing.

Grille patterns shown on page 63.



- \*"Window Dimension" always refers to outside frame to frame dimension.
- \*"Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See pages 210-211 for more details.
- \*Dimensions in parentheses are in millimeters.

400 Series  
Woodwright® Double-Hung  
Full-Frame Windows

### Woodwright® Transom Window Area Specifications *(continued)*

Window Number	Glass Area Sq. Ft./ (m <sup>2</sup> )	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
WTR3417	3.99 (0.37)	6.26 (0.57)
WTR34111	4.98 (0.46)	7.32 (0.68)
WTR3421	5.47 (0.51)	7.90 (0.73)
WTR3423	5.97 (0.55)	8.47 (0.79)
WTR3427	6.96 (0.65)	9.63 (0.89)
WTR3431	8.44 (0.78)	11.36 (1.06)
WTR3810	1.87 (0.17)	3.88 (0.35)
WTR3815	3.89 (0.36)	6.12 (0.57)
WTR3817	4.44 (0.41)	6.75 (0.63)
WTR38111	5.54 (0.51)	8.02 (0.75)
WTR3821	6.09 (0.57)	8.65 (0.80)
WTR3823	6.64 (0.62)	9.29 (0.86)
WTR3827	7.74 (0.72)	10.55 (0.98)
WTR3831	9.39 (0.87)	12.46 (1.16)
WTR31010	1.95 (0.18)	3.94 (0.37)
WTR31015	4.05 (0.38)	6.35 (0.59)
WTR31017	4.63 (0.43)	7.00 (0.65)
WTR310111	5.77 (0.54)	8.32 (0.77)
WTR31021	6.35 (0.59)	8.97 (0.83)
WTR31023	6.92 (0.64)	9.63 (0.89)

Window Number	Glass Area Sq. Ft./ (m <sup>2</sup> )	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
WTR31027	8.07 (0.75)	10.95 (1.02)
WTR31031	9.79 (0.91)	12.92 (1.20)
WTR4210	2.14 (0.20)	4.28 (0.40)
WTR4215	4.44 (0.41)	6.88 (0.64)
WTR4217	5.07 (0.47)	7.59 (0.71)
WTR42111	6.33 (0.59)	9.02 (0.84)
WTR4221	6.96 (0.65)	9.73 (0.90)
WTR4223	7.59 (0.71)	10.45 (0.97)
WTR4227	8.85 (0.82)	11.87 (1.10)
WTR4231	10.74 (1.00)	14.01 (1.30)
WTR41010	2.52 (0.23)	4.94 (0.46)
WTR41015	5.23 (0.49)	7.95 (0.74)
WTR41017	5.97 (0.55)	8.78 (0.82)
WTR410111	7.45 (0.69)	10.43 (0.97)
WTR41021	8.19 (0.76)	11.25 (1.05)
WTR41023	8.93 (0.83)	12.07 (1.12)
WTR41027	10.41 (0.97)	13.72 (1.27)
WTR41031	12.63 (1.17)	16.19 (1.50)
WTR5610	2.90 (0.27)	5.81 (0.52)
WTR5615	6.01 (0.56)	9.03 (0.84)

Window Number	Glass Area Sq. Ft./ (m <sup>2</sup> )	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
WTR5617	6.87 (0.64)	9.98 (0.93)
WTR56111	8.57 (0.80)	11.83 (1.10)
WTR5621	9.42 (0.88)	12.77 (1.19)
WTR5623	10.27 (0.95)	13.70 (1.27)
WTR5627	11.98 (1.11)	15.57 (1.45)
WTR5631	14.53 (1.35)	18.38 (1.71)
WTR6210	3.28 (0.30)	6.28 (0.58)
WTR6215	6.80 (0.63)	10.10 (0.94)
WTR6217	7.76 (0.72)	11.15 (1.04)
WTR62111	9.69 (0.90)	13.24 (1.23)
WTR6221	10.65 (0.99)	14.28 (1.33)
WTR6223	11.61 (1.08)	15.33 (1.42)
WTR6227	13.54 (1.26)	17.42 (1.62)
WTR6231	16.43 (1.53)	20.56 (1.91)

\*Dimensions in parentheses are in square meters.

# WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

**Table of Woodwright® Picture Window Sizes**

Scale 1/8" (3) = 1'-0" (305) – 1:96

Window Dimension	1'-0"	3'-1 5/8"	3'-5 5/8"	3'-11 5/16"	4'-3 5/16"	4'-11 5/16"	5'-7 5/16"
	(305)	(956)	(1057)	(1202)	(1303)	(1507)	(1710)
<b>Minimum Rough Opening</b>	1'-0 1/2"	3'-2 1/8"	3'-6 3/8"	3'-11 7/8"	4'-3 7/8"	4'-11 7/8"	5'-7 7/8"
	(318)	(968)	(1070)	(1216)	(1318)	(1521)	(1724)
<b>Unobstructed Glass</b>	6"	31 5/8"	35 5/8"	41 1/4"	45 1/4"	53 1/4"	61 1/4"
	(152)	(803)	(905)	(1048)	(1149)	(1353)	(1556)



Custom-size windows are available in 1/8" (3) increments. See page 62 for custom sizing.

Grille patterns shown on page 63.

**CUSTOM WIDTHS – 12" to 67 5/16"**

**CUSTOM HEIGHTS – 14 1/2" to 76 7/8"**

4'-0 7/8" (1241)	WPW10310	WPW30310	WPW34310	WPW310310	WPW42310	WPW410310	WPW56310
4'-4 7/8" (1343)	WPW1042	WPW3042	WPW3442	WPW31042	WPW4242	WPW41042	WPW5642
4'-8 7/8" (1445)	WPW1046	WPW3046	WPW3446	WPW31046	WPW4246	WPW41046	WPW5646
5'-0 7/8" (1547)	WPW10410	WPW30410	WPW34410	WPW310410	WPW42410	WPW410410	WPW56410
5'-4 7/8" (1648)	WPW1052	WPW3052	WPW3452	WPW31052	WPW4252	WPW41052	WPW5652
5'-8 7/8" (1749)	WPW1056	WPW3056	WPW3456	WPW31056	WPW4256	WPW41056	WPW5656
6'-0 7/8" (1851)	WPW10510	WPW30510	WPW34510	WPW310510	WPW42510	WPW410510	WPW56510
6'-4 7/8" (1953)	WPW1062	WPW3062	WPW3462	WPW31062	WPW4262	WPW41062	WPW5662

\* "Window Dimension" always refers to outside frame dimension.  
 \*\* "Minimum Rough Opening" dimensions may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See pages 210-211 for more details.  
 • Dimensions in parentheses are in millimeters.

### Woodwright® Double-Hung Window Opening and Area Specifications

Window Number	Clear Opening Area Sq. Ft./ (m <sup>2</sup> )	Clear Opening in Full Open Position		Glass Area Sq. Ft./ (m <sup>2</sup> )	Vent Area Sq. Ft./ (m <sup>2</sup> )	Top of Subfloor to Top of Inside Sill Stop Inches/(mm)	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
		Width Inches/(mm)	Height Inches/(mm)				
WDH18210	1.73 (0.16)	17 1/8" (454)	14 1/4" (362)	2.96 (0.27)	1.78 (0.17)	48 1/2" (1231)	5.53 (0.51)
WDH1832	1.98 (0.18)	17 7/8" (454)	16 1/4" (412)	3.32 (0.31)	2.03 (0.19)	44 1/2" (1130)	6.14 (0.57)
WDH1836	2.23 (0.21)	17 1/8" (454)	18 1/4" (463)	3.74 (0.35)	2.28 (0.21)	40 1/2" (1028)	6.74 (0.63)
WDH18310	2.48 (0.23)	17 7/8" (454)	20 1/4" (514)	4.15 (0.39)	2.53 (0.24)	36 1/2" (926)	7.34 (0.68)
WDH1842	2.73 (0.25)	17 7/8" (454)	22 1/4" (565)	4.57 (0.43)	2.78 (0.26)	32 1/2" (825)	7.94 (0.74)
WDH1846	2.90 (0.27)	17 7/8" (454)	24 1/4" (616)	4.98 (0.46)	3.02 (0.28)	28 1/2" (723)	8.54 (0.79)
WDH18410	3.22 (0.30)	17 7/8" (454)	26 1/4" (666)	5.40 (0.50)	3.27 (0.30)	24 1/2" (622)	9.14 (0.85)
WDH1852	3.47 (0.32)	17 7/8" (454)	28 1/4" (717)	5.81 (0.54)	3.52 (0.33)	20 1/2" (520)	9.74 (0.91)
WDH1856	3.72 (0.35)	17 7/8" (454)	30 1/4" (768)	6.23 (0.58)	3.02 (0.28)	16 1/2" (418)	10.34 (0.96)
WDH18510	3.97 (0.37)	17 7/8" (454)	32 1/4" (819)	6.65 (0.62)	4.02 (0.37)	12 1/2" (317)	10.94 (1.02)
WDH1862	4.22 (0.39)	17 7/8" (454)	34 1/4" (870)	7.06 (0.66)	4.26 (0.40)	8 1/2" (215)	11.54 (1.07)
WDH20210	2.12 (0.20)	21 7/8" (556)	14 1/4" (362)	3.68 (0.34)	2.18 (0.20)	48 1/2" (1231)	6.56 (0.61)
WDH2032	2.42 (0.23)	21 7/8" (556)	16 1/4" (412)	4.24 (0.39)	2.48 (0.23)	44 1/2" (1130)	7.27 (0.68)
WDH2036	2.73 (0.25)	21 7/8" (556)	18 1/4" (463)	4.73 (0.44)	2.79 (0.26)	40 1/2" (1028)	7.98 (0.74)
WDH20310	3.03 (0.28)	21 7/8" (556)	20 1/4" (514)	5.26 (0.49)	3.09 (0.29)	36 1/2" (926)	8.69 (0.81)
WDH2042	3.34 (0.31)	21 7/8" (556)	22 1/4" (565)	5.79 (0.54)	3.40 (0.32)	32 1/2" (825)	9.41 (0.87)
WDH2046	3.55 (0.33)	21 7/8" (556)	24 1/4" (616)	6.31 (0.59)	3.70 (0.34)	28 1/2" (723)	10.12 (0.94)
WDH20410	3.94 (0.37)	21 7/8" (556)	26 1/4" (666)	6.84 (0.64)	4.00 (0.37)	24 1/2" (622)	10.83 (1.01)
WDH2052	4.25 (0.39)	21 7/8" (556)	28 1/4" (717)	7.37 (0.69)	4.31 (0.40)	20 1/2" (520)	11.54 (1.07)
WDH2056	4.55 (0.42)	21 7/8" (556)	30 1/4" (768)	7.89 (0.73)	3.70 (0.34)	16 1/2" (418)	12.25 (1.14)
WDH20510	4.86 (0.45)	21 7/8" (556)	32 1/4" (819)	8.42 (0.78)	4.92 (0.46)	12 1/2" (317)	12.96 (1.20)
WDH2062	5.16 (0.48)	21 7/8" (556)	34 1/4" (870)	8.95 (0.83)	5.22 (0.49)	8 1/2" (215)	13.68 (1.27)
WDH24210	2.51 (0.23)	25 7/8" (657)	14 1/4" (362)	4.46 (0.41)	2.58 (0.24)	48 1/2" (1231)	7.58 (0.70)
WDH2432	2.86 (0.27)	25 7/8" (657)	16 1/4" (412)	5.09 (0.47)	2.94 (0.27)	44 1/2" (1130)	8.40 (0.78)
WDH2436	3.22 (0.30)	25 7/8" (657)	18 1/4" (463)	5.73 (0.53)	3.30 (0.31)	40 1/2" (1028)	9.23 (0.86)
WDH24310	3.59 (0.33)	25 7/8" (657)	20 1/4" (514)	6.37 (0.59)	3.66 (0.34)	36 1/2" (926)	10.05 (0.93)
WDH2442	3.95 (0.37)	25 7/8" (657)	22 1/4" (565)	7.01 (0.65)	4.02 (0.37)	32 1/2" (825)	10.87 (1.01)
WDH2446	4.19 (0.39)	25 7/8" (657)	24 1/4" (616)	7.65 (0.71)	4.38 (0.41)	28 1/2" (724)	11.70 (1.09)
WDH24410	4.66 (0.43)	25 7/8" (657)	26 1/4" (666)	8.28 (0.77)	4.74 (0.44)	24 1/2" (622)	12.52 (1.16)
WDH2452	5.02 (0.47)	25 7/8" (657)	28 1/4" (717)	8.92 (0.83)	5.10 (0.47)	20 1/2" (520)	13.34 (1.24)
WDH2456	5.38 (0.50)	25 7/8" (657)	30 1/4" (768)	9.56 (0.89)	4.38 (0.41)	16 1/2" (418)	14.17 (1.32)
WDH24510	5.74 (0.53)	25 7/8" (657)	32 1/4" (819)	10.20 (0.95)	5.81 (0.54)	12 1/2" (317)	14.99 (1.39)
WDH2462	6.10 (0.57)	25 7/8" (657)	34 1/4" (870)	10.84 (1.01)	6.17 (0.57)	8 1/2" (215)	15.81 (1.47)
WDH26210	2.71 (0.25)	27 7/8" (708)	14 1/4" (362)	4.84 (0.45)	2.78 (0.26)	48 1/2" (1231)	8.09 (0.75)
WDH2632	3.09 (0.29)	27 7/8" (708)	16 1/4" (412)	5.54 (0.52)	3.17 (0.30)	44 1/2" (1130)	8.97 (0.83)
WDH2636	3.48 (0.32)	27 7/8" (708)	18 1/4" (463)	6.23 (0.58)	3.55 (0.33)	40 1/2" (1028)	9.85 (0.92)
WDH26310	3.86 (0.36)	27 7/8" (708)	20 1/4" (514)	6.92 (0.64)	3.94 (0.37)	36 1/2" (926)	10.73 (1.00)
WDH2642	4.25 (0.40)	27 7/8" (708)	22 1/4" (565)	7.62 (0.71)	4.33 (0.40)	32 1/2" (825)	11.61 (1.08)
WDH2646	4.52 (0.42)	27 7/8" (708)	24 1/4" (616)	8.31 (0.77)	4.71 (0.44)	28 1/2" (723)	12.49 (1.16)
WDH26410	5.02 (0.47)	27 7/8" (708)	26 1/4" (666)	9.01 (0.84)	5.10 (0.47)	24 1/2" (622)	13.36 (1.24)
WDH2652	5.41 (0.50)	27 7/8" (708)	28 1/4" (717)	9.70 (0.90)	5.49 (0.51)	20 1/2" (520)	14.24 (1.32)
WDH2656	5.80 (0.54)	27 7/8" (708)	30 1/4" (768)	10.39 (0.96)	4.71 (0.44)	16 1/2" (418)	15.12 (1.41)
WDH26510	6.19 (0.57)	27 7/8" (708)	32 1/4" (819)	11.09 (1.03)	6.26 (0.58)	12 1/2" (317)	16.00 (1.49)
WDH2662	6.58 (0.61)	27 7/8" (708)	34 1/4" (870)	11.78 (1.09)	6.65 (0.62)	8 1/2" (215)	16.88 (1.57)
WDH28210	2.90 (0.27)	29 7/8" (759)	14 1/4" (362)	5.23 (0.49)	2.98 (0.28)	48 1/2" (1231)	8.61 (0.80)
WDH2832	3.31 (0.31)	29 7/8" (759)	16 1/4" (412)	5.98 (0.56)	3.39 (0.32)	44 1/2" (1130)	9.54 (0.89)
WDH2836	3.73 (0.35)	29 7/8" (759)	18 1/4" (463)	6.73 (0.63)	3.81 (0.35)	40 1/2" (1028)	10.47 (0.97)
WDH28310	4.14 (0.38)	29 7/8" (759)	20 1/4" (514)	7.48 (0.70)	4.22 (0.39)	36 1/2" (926)	11.41 (1.06)
WDH2842	4.56 (0.42)	29 7/8" (759)	22 1/4" (565)	8.23 (0.77)	4.64 (0.43)	32 1/2" (825)	12.34 (1.15)
WDH2846	4.85 (0.45)	29 7/8" (759)	24 1/4" (616)	8.98 (0.83)	5.05 (0.47)	28 1/2" (723)	13.28 (1.23)
WDH28410	5.38 (0.50)	29 7/8" (759)	26 1/4" (666)	9.73 (0.90)	5.47 (0.51)	24 1/2" (622)	14.21 (1.32)
WDH2852	5.80 (0.54)	29 7/8" (759)	28 1/4" (717)	10.48 (0.97)	5.88 (0.55)	20 1/2" (520)	15.14 (1.41)
WDH2856	6.22 (0.58)	29 7/8" (759)	30 1/4" (768)	11.22 (1.04)	5.05 (0.47)	16 1/2" (418)	16.08 (1.49)
WDH28510	6.63 (0.62)	29 7/8" (759)	32 1/4" (819)	11.97 (1.11)	6.71 (0.62)	12 1/2" (317)	17.01 (1.58)
WDH2862	7.05 (0.66)	29 7/8" (759)	34 1/4" (870)	12.72 (1.18)	7.13 (0.66)	8 1/2" (215)	17.95 (1.67)
WDH210210	3.09 (0.29)	31 7/8" (809)	14 1/4" (362)	5.62 (0.52)	3.18 (0.30)	48 1/2" (1231)	9.12 (0.85)
WDH21032	3.53 (0.33)	31 7/8" (809)	16 1/4" (412)	6.42 (0.60)	3.62 (0.34)	44 1/2" (1130)	10.11 (0.94)
WDH21036	3.97 (0.37)	31 7/8" (809)	18 1/4" (463)	7.23 (0.67)	4.06 (0.38)	40 1/2" (1028)	11.10 (1.03)
WDH210310	4.42 (0.41)	31 7/8" (809)	20 1/4" (514)	8.03 (0.75)	4.51 (0.42)	36 1/2" (926)	12.09 (1.12)
WDH21042	4.86 (0.45)	31 7/8" (809)	22 1/4" (565)	8.84 (0.82)	4.95 (0.46)	32 1/2" (825)	13.08 (1.22)
WDH21046	5.17 (0.48)	31 7/8" (809)	24 1/4" (616)	9.64 (0.90)	5.39 (0.50)	28 1/2" (723)	14.07 (1.31)

For cottage and reverse cottage sash opening specifications, visit [andersenwindows.com/openingspecs](http://andersenwindows.com/openingspecs).

400 Series  
Woodwright® Double-Hung  
Full-Frame Windows

\* Top of Subfloor to Top of Inside Sill Stop" is calculated based upon a structural header height of 6'-10 1/2" (2096).  
\* Dimensions in parentheses are in millimeters or square meters.  
◊ Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m<sup>2</sup>, clear opening width of 20" (508) and clear opening height of 24" (610).

continued on next page

# WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

## Woodwright® Double-Hung Window Opening and Area Specifications (continued)

Window Number	Clear Opening Area Sq. Ft./ (m <sup>2</sup> )	Clear Opening in Full Open Position		Glass Area Sq. Ft./ (m <sup>2</sup> )	Vent Area Sq. Ft./ (m <sup>2</sup> )	Top of Subfloor to Top of Inside Sill Stop Inches/(mm)	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
		Width Inches/(mm)	Height Inches/(mm)				
WDH210410	5.74 (0.53)	31 1/8" (809)	26 1/4" (666)	10.46 (0.97)	5.83 (0.54)	24 1/2" (622)	15.05 (1.40)
WDH21052	6.18 (0.57)	31 1/8" (809)	28 1/4" (717)	11.26 (1.05)	6.28 (0.58)	26 1/2" (673)	16.04 (1.49)
WDH21056	6.63 (0.62)	31 1/8" (809)	30 1/4" (768)	12.06 (1.12)	5.39 (0.50)	18 1/2" (468)	17.03 (1.59)
WDH210510	7.07 (0.66)	31 1/8" (809)	34 1/4" (819)	12.86 (1.20)	7.16 (0.67)	12 1/2" (317)	18.02 (1.67)
WDH21062	7.52 (0.70)	31 1/8" (809)	34 1/2" (870)	13.67 (1.27)	7.60 (0.71)	8 1/2" (215)	19.01 (1.77)
WDH30210	3.29 (0.31)	33 1/8" (860)	14 1/4" (362)	6.01 (0.56)	3.38 (0.31)	48 1/2" (1231)	9.63 (0.90)
WDH3032	3.75 (0.35)	33 1/8" (860)	16 1/4" (412)	6.87 (0.64)	3.85 (0.36)	44 1/2" (1130)	10.67 (0.99)
WDH3036	4.22 (0.39)	33 1/8" (860)	18 1/2" (463)	7.73 (0.72)	4.32 (0.40)	40 1/2" (1028)	11.72 (1.09)
WDH30310	4.69 (0.44)	33 1/8" (860)	20 1/4" (514)	8.59 (0.80)	4.79 (0.45)	36 1/2" (926)	12.76 (1.19)
WDH3042	5.17 (0.48)	33 1/8" (860)	22 1/4" (565)	9.45 (0.88)	5.26 (0.49)	32 1/2" (825)	13.81 (1.28)
WDH3046	5.75 (0.53)	33 1/8" (860)	24 1/2" (616)	10.31 (0.96)	5.73 (0.53)	28 1/2" (723)	14.85 (1.38)
WDH30410	6.10 (0.57)	33 1/8" (860)	26 1/4" (666)	11.17 (1.04)	6.20 (0.58)	24 1/2" (622)	15.90 (1.48)
WDH3052	6.57 (0.61)	33 1/8" (860)	28 1/4" (717)	12.03 (1.12)	6.67 (0.62)	20 1/2" (520)	16.95 (1.58)
WDH3056	7.04 (0.65)	33 1/8" (860)	30 1/4" (768)	12.89 (1.20)	5.73 (0.53)	16 1/2" (418)	17.99 (1.67)
WDH30510	7.52 (0.70)	33 1/8" (860)	32 1/4" (819)	13.75 (1.28)	7.61 (0.71)	12 1/2" (317)	19.04 (1.77)
WDH3062	7.99 (0.74)	33 1/8" (860)	34 1/4" (870)	14.61 (1.36)	8.08 (0.75)	8 1/2" (215)	20.08 (1.87)
WDH34210	3.68 (0.34)	37 1/8" (962)	14 1/4" (362)	6.79 (0.63)	3.78 (0.35)	48 1/2" (1231)	10.65 (0.99)
WDH3432	4.19 (0.39)	37 1/8" (962)	16 1/4" (412)	7.76 (0.72)	4.30 (0.40)	44 1/2" (1130)	11.81 (1.10)
WDH3436	4.72 (0.44)	37 1/8" (962)	18 1/4" (463)	8.73 (0.81)	4.83 (0.45)	40 1/2" (1028)	12.97 (1.21)
WDH34310	5.25 (0.49)	37 1/8" (962)	20 1/4" (514)	9.70 (0.90)	5.35 (0.50)	36 1/2" (926)	14.12 (1.31)
WDH3442	5.78 (0.54)	37 1/8" (962)	22 1/4" (565)	10.67 (0.99)	5.88 (0.55)	32 1/2" (825)	15.28 (1.42)
WDH3446	6.14 (0.57)	37 1/8" (962)	24 1/4" (616)	11.64 (1.08)	6.41 (0.60)	28 1/2" (723)	16.43 (1.53)
WDH34410	6.82 (0.63)	37 1/8" (962)	26 1/4" (666)	12.61 (1.17)	6.93 (0.64)	24 1/2" (622)	17.59 (1.63)
WDH3452	7.35 (0.68)	37 1/8" (962)	28 1/4" (717)	13.58 (1.26)	7.46 (0.69)	20 1/2" (520)	18.75 (1.74)
WDH3456	7.88 (0.73)	37 1/8" (962)	30 1/4" (768)	14.55 (1.36)	6.41 (0.60)	16 1/2" (418)	19.90 (1.85)
WDH34510	8.41 (0.78)	37 1/8" (962)	32 1/4" (819)	15.53 (1.44)	8.51 (0.79)	12 1/2" (317)	21.06 (1.96)
WDH3462	8.94 (0.83)	37 1/8" (962)	34 1/4" (870)	16.50 (1.53)	9.04 (0.84)	8 1/2" (215)	22.22 (2.06)
WDH38210	4.07 (0.38)	41 1/8" (1064)	14 1/4" (362)	7.56 (0.70)	4.17 (0.39)	48 1/2" (1231)	11.68 (1.09)
WDH3832	4.64 (0.43)	41 1/8" (1064)	16 1/4" (412)	8.64 (0.80)	4.76 (0.44)	44 1/2" (1130)	12.94 (1.20)
WDH3836	5.22 (0.49)	41 1/8" (1064)	18 1/4" (463)	9.72 (0.90)	5.34 (0.50)	40 1/2" (1028)	14.21 (1.32)
WDH38310	5.81 (0.54)	41 1/8" (1064)	20 1/4" (514)	10.81 (1.00)	5.92 (0.55)	36 1/2" (926)	15.48 (1.44)
WDH3842	6.39 (0.59)	41 1/8" (1064)	22 1/4" (565)	11.89 (1.11)	6.50 (0.60)	32 1/2" (825)	16.75 (1.56)
WDH3846	6.79 (0.63)	41 1/8" (1064)	24 1/4" (616)	12.97 (1.21)	7.08 (0.66)	28 1/2" (723)	18.01 (1.67)
WDH38410	7.55 (0.70)	41 1/8" (1064)	26 1/4" (666)	14.05 (1.31)	7.66 (0.71)	24 1/2" (622)	19.28 (1.79)
WDH3852	8.13 (0.76)	41 1/8" (1064)	28 1/4" (717)	15.14 (1.41)	8.25 (0.77)	20 1/2" (520)	20.55 (1.91)
WDH3856	8.72 (0.81)	41 1/8" (1064)	30 1/4" (768)	16.22 (1.51)	7.08 (0.66)	16 1/2" (418)	21.62 (2.01)
WDH38510	9.30 (0.86)	41 1/8" (1064)	32 1/4" (819)	17.30 (1.61)	9.41 (0.87)	12 1/2" (317)	23.08 (2.14)
WDH3862	9.88 (0.92)	41 1/8" (1064)	34 1/4" (870)	18.38 (1.71)	9.99 (0.93)	8 1/2" (215)	24.35 (2.26)

For cottage and reverse cottage sash opening specifications visit [andersenwindows.com/openingspecs](http://andersenwindows.com/openingspecs).

## Woodwright® Springline™ Single-Hung Window Opening and Area Specifications

Window Number	Clear Opening Area Sq. Ft./ (m <sup>2</sup> )	Clear Opening in Full Open Position		Glass Area Sq. Ft./ (m <sup>2</sup> )	Vent Area Sq. Ft./ (m <sup>2</sup> )	Top of Subfloor to Top of Inside Sill Stop Inches/(mm)	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
		Width Inches/(mm)	Height Inches/(mm)				
WS2042	1.39 (0.13)	21 1/8" (556)	9 1/16" (231)	5.48 (0.51)	1.39 (0.13)	32 1/16" (828)	8.90 (0.83)
WS2046	1.54 (0.14)	21 1/8" (556)	10 1/16" (257)	5.88 (0.55)	1.54 (0.14)	29 1/16" (751)	9.44 (0.88)
WS20410	1.69 (0.16)	21 1/8" (556)	11 1/16" (282)	6.29 (0.59)	1.69 (0.16)	26 1/16" (675)	9.97 (0.93)
WS2052	1.84 (0.17)	21 1/8" (556)	12 1/16" (308)	6.70 (0.62)	1.84 (0.17)	23 1/16" (599)	10.51 (0.98)
WS2056	2.76 (0.26)	21 1/8" (556)	18 1/16" (461)	7.80 (0.72)	2.76 (0.26)	15 1/16" (395)	11.94 (1.11)
WS20510	2.96 (0.28)	21 1/8" (556)	19 1/2" (495)	8.25 (0.77)	2.96 (0.28)	12 1/16" (310)	12.53 (1.16)
WS2062	3.16 (0.29)	21 1/8" (556)	20 1/16" (529)	8.71 (0.81)	3.16 (0.29)	8 1/16" (226)	13.12 (1.22)
WS2442	1.64 (0.15)	25 1/8" (658)	9 1/16" (231)	6.85 (0.64)	1.64 (0.15)	30 1/16" (777)	10.62 (0.99)
WS2446	1.82 (0.17)	25 1/8" (658)	10 1/16" (257)	7.34 (0.68)	1.82 (0.17)	27 1/16" (701)	11.23 (1.04)
WS24410	2.00 (0.19)	25 1/8" (658)	11 1/16" (282)	7.83 (0.73)	2.00 (0.19)	24 1/16" (624)	11.85 (1.10)
WS2452	2.18 (0.20)	25 1/8" (658)	12 1/16" (308)	8.33 (0.77)	2.18 (0.20)	21 1/16" (548)	12.47 (1.16)
WS2456	3.26 (0.30)	25 1/8" (658)	18 1/16" (461)	9.85 (0.90)	3.26 (0.30)	13 1/16" (344)	14.12 (1.31)
WS24510	3.50 (0.33)	25 1/8" (658)	19 1/2" (495)	10.19 (0.95)	3.50 (0.33)	10 1/16" (259)	14.81 (1.38)
WS2462	3.74 (0.35)	25 1/8" (658)	20 1/16" (529)	10.74 (1.00)	3.74 (0.35)	6 1/16" (175)	15.49 (1.44)
WS2642	1.76 (0.16)	27 1/8" (708)	9 1/16" (231)	7.57 (0.70)	1.76 (0.16)	29 1/16" (751)	11.51 (1.07)
WS2646	1.96 (0.18)	27 1/8" (708)	10 1/16" (257)	8.10 (0.75)	1.96 (0.18)	26 1/16" (675)	12.17 (1.13)
WS26410	2.15 (0.20)	27 1/8" (708)	11 1/16" (282)	8.64 (0.80)	2.15 (0.20)	23 1/16" (599)	12.82 (1.19)
WS2652	2.35 (0.22)	27 1/8" (708)	12 1/16" (308)	9.17 (0.85)	2.35 (0.22)	20 1/16" (523)	13.48 (1.25)
WS2656	3.52 (0.33)	27 1/8" (708)	18 1/16" (461)	10.69 (0.99)	3.52 (0.33)	12 1/16" (319)	15.25 (1.42)

\* "Top of Subfloor to Top of Inside Sill Stop" is calculated based upon a structural header height of 6'-10 1/2" (2096).  
 \* Dimensions in parentheses are in millimeters or square meters.  
 † Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m<sup>2</sup>, clear opening width of 20" (508) and clear opening height of 24" (610).

continued on next page

### Woodwright® Springline™ Single-Hung Window Opening and Area Specifications *(continued)*

Window Number	Clear Opening Area Sq. Ft./ (m²)	Clear Opening in Full Open Position		Glass Area Sq. Ft./ (m²)	Vent Area Sq. Ft./ (m²)	Top of Subfloor to Top of Inside Sill-Stop Inches/(mm)	Overall Window Area Sq. Ft./ (m²)
		Width Inches/(mm)	Height Inches/(mm)				
WS26510	3.77 (0.35)	27 1/8" (708)	19 1/2" (495)	11.19 (1.04)	3.77 (0.35)	9 3/8" (234)	15.98 (1.49)
WS2662	4.03 (0.38)	27 1/8" (708)	20 13/16" (529)	11.79 (1.10)	4.03 (0.38)	5 1/8" (149)	16.71 (1.55)
WS2842	1.89 (0.18)	29 1/8" (759)	9 1/8" (231)	8.34 (0.77)	1.89 (0.18)	28 3/16" (726)	12.42 (1.15)
WS2846	2.10 (0.20)	29 1/8" (759)	10 1/8" (257)	8.89 (0.83)	2.10 (0.20)	26 3/16" (660)	13.12 (1.22)
WS28410	2.31 (0.21)	29 1/8" (759)	11 1/8" (282)	9.46 (0.88)	2.31 (0.21)	22 3/16" (574)	13.82 (1.28)
WS2852	2.51 (0.23)	29 1/8" (759)	12 1/8" (308)	10.04 (0.93)	2.51 (0.23)	19 3/16" (497)	14.52 (1.35)
WS2856	3.77 (0.35)	29 1/8" (759)	18 1/8" (461)	11.58 (1.08)	3.77 (0.35)	11 3/16" (293)	16.40 (1.52)
WS28510	4.04 (0.38)	29 1/8" (759)	19 1/8" (495)	12.22 (1.14)	4.04 (0.38)	8 3/16" (209)	17.18 (1.60)
WS2862	4.32 (0.40)	29 1/8" (759)	20 13/16" (529)	12.86 (1.20)	4.32 (0.40)	4 1/8" (124)	17.95 (1.67)
WS21042	2.02 (0.19)	31 1/8" (810)	9 1/8" (231)	9.07 (0.84)	2.02 (0.19)	27 3/16" (701)	13.35 (1.24)
WS21046	2.24 (0.21)	31 1/8" (810)	10 1/8" (257)	9.69 (0.90)	2.24 (0.21)	24 3/16" (624)	14.09 (1.31)
WS210410	2.46 (0.23)	31 1/8" (810)	11 1/8" (282)	10.31 (0.96)	2.46 (0.23)	21 3/16" (548)	14.84 (1.38)
WS21052	2.68 (0.25)	31 1/8" (810)	12 1/8" (308)	10.93 (1.02)	2.68 (0.25)	18 3/16" (472)	15.58 (1.45)
WS21056	4.02 (0.37)	31 1/8" (810)	18 1/8" (461)	12.58 (1.17)	4.02 (0.37)	10 3/16" (268)	17.57 (1.63)
WS210510	4.32 (0.40)	31 1/8" (810)	19 1/8" (495)	13.27 (1.23)	4.32 (0.40)	7 3/16" (183)	18.39 (1.71)
WS21062	4.61 (0.43)	31 1/8" (810)	20 13/16" (529)	13.95 (1.30)	4.61 (0.43)	3 1/8" (99)	19.22 (1.79)
WS3042	2.14 (0.20)	33 1/8" (861)	9 1/8" (231)	9.86 (0.92)	2.14 (0.20)	26 3/16" (675)	14.31 (1.33)
WS3046	2.38 (0.22)	33 1/8" (861)	10 1/8" (257)	10.52 (0.98)	2.38 (0.22)	23 3/16" (599)	15.09 (1.40)
WS30410	2.62 (0.24)	33 1/8" (861)	11 1/8" (282)	11.18 (1.04)	2.62 (0.24)	20 3/16" (523)	15.87 (1.48)
WS3052	2.85 (0.27)	33 1/8" (861)	12 1/8" (308)	11.84 (1.10)	2.85 (0.27)	17 3/16" (447)	16.66 (1.55)
WS3056	4.27 (0.40)	33 1/8" (861)	18 1/8" (461)	13.60 (1.26)	4.27 (0.40)	9 3/16" (242)	18.76 (1.74)
WS30510	4.59 (0.43)	33 1/8" (861)	19 1/8" (495)	14.33 (1.33)	4.59 (0.43)	6 3/16" (168)	19.63 (1.82)
WS3062	4.90 (0.46)	33 1/8" (861)	20 13/16" (529)	15.07 (1.40)	4.90 (0.46)	2 3/16" (73)	20.50 (1.90)
WS3442	2.40 (0.22)	37 1/8" (962)	9 1/8" (231)	11.50 (1.07)	2.40 (0.22)	24 3/16" (624)	16.28 (1.51)
WS3446	2.66 (0.25)	37 1/8" (962)	10 1/8" (257)	12.24 (1.14)	2.66 (0.25)	21 3/16" (548)	17.15 (1.59)
WS34410	2.92 (0.27)	37 1/8" (962)	11 1/8" (282)	12.98 (1.21)	2.92 (0.27)	18 3/16" (472)	18.02 (1.67)
WS3452	3.19 (0.30)	37 1/8" (962)	12 1/8" (308)	13.72 (1.28)	3.19 (0.30)	15 3/16" (396)	18.88 (1.75)
WS3456	4.78 (0.44)	37 1/8" (962)	18 1/8" (461)	15.71 (1.46)	4.78 (0.44)	7 3/16" (192)	21.21 (1.97)
WS34510	5.13 (0.48)	37 1/8" (962)	19 1/8" (495)	16.54 (1.54)	5.13 (0.48)	4 3/16" (107)	22.17 (2.06)
WS3462	5.48 (0.51)	37 1/8" (962)	20 13/16" (529)	17.36 (1.61)	5.48 (0.51)	1/8" (22)	23.13 (2.15)
WS3842	2.65 (0.25)	41 1/8" (1064)	9 1/8" (231)	13.22 (1.23)	2.65 (0.25)	22 3/16" (574)	18.34 (1.70)
WS3846	2.94 (0.27)	41 1/8" (1064)	10 1/8" (257)	14.04 (1.31)	2.94 (0.27)	19 3/16" (497)	19.29 (1.79)
WS38410	3.23 (0.30)	41 1/8" (1064)	11 1/8" (282)	14.87 (1.38)	3.23 (0.30)	16 3/16" (421)	20.24 (1.88)
WS3852	3.52 (0.33)	41 1/8" (1064)	12 1/8" (308)	15.69 (1.46)	3.52 (0.33)	13 3/16" (345)	21.19 (1.97)
WS3856	5.28 (0.49)	41 1/8" (1064)	18 1/8" (461)	17.91 (1.66)	5.28 (0.49)	5 3/16" (144)	23.74 (2.21)
WS38510	5.67 (0.53)	41 1/8" (1064)	19 1/8" (495)	18.82 (1.75)	5.67 (0.53)	2 3/16" (66)	24.80 (2.30)
WS3862	6.06 (0.56)	41 1/8" (1064)	20 13/16" (529)	19.74 (1.83)	6.06 (0.56)	-1 1/8" (-28)	25.85 (2.40)

### Woodwright® Picture Window Area Specifications

Window Number	Glass Area Sq. Ft./ (m²)	Overall Window Area Sq. Ft./ (m²)
WPW10310	2.03 (0.19)	4.07 (0.38)
WPW1042	2.22 (0.21)	4.41 (0.41)
WPW1046	2.42 (0.23)	4.74 (0.44)
WPW10410	2.61 (0.24)	5.07 (0.47)
WPW1052	2.81 (0.26)	5.41 (0.50)
WPW1056	3.01 (0.28)	5.74 (0.53)
WPW10510	3.20 (0.30)	6.07 (0.56)
WPW1062	3.40 (0.32)	6.41 (0.60)
WPW10610	3.58 (0.33)	6.77 (1.19)
WPW1042	10.29 (0.96)	13.82 (1.28)
WPW1046	11.19 (1.04)	14.86 (1.38)
WPW10410	12.10 (1.12)	15.91 (1.48)
WPW1052	13.01 (1.21)	16.95 (1.58)
WPW1056	13.92 (1.29)	18.00 (1.67)
WPW10510	14.83 (1.38)	19.04 (1.77)
WPW1062	15.73 (1.46)	20.09 (1.87)
WPW10610	16.64 (1.55)	21.07 (1.96)
WPW1042	17.56 (1.64)	22.22 (2.06)
WPW10310	18.46 (1.73)	23.43 (2.18)
WPW1042	19.37 (1.82)	24.64 (2.28)
WPW1046	20.28 (1.91)	25.85 (2.38)
WPW10410	21.19 (2.00)	27.06 (2.48)
WPW1052	22.10 (2.09)	28.27 (2.58)
WPW1056	23.01 (2.18)	29.48 (2.68)
WPW10510	23.92 (2.27)	30.69 (2.78)
WPW1062	24.83 (2.36)	31.90 (2.88)
WPW10610	25.74 (2.45)	33.11 (2.98)
WPW1042	26.65 (2.54)	34.32 (3.08)
WPW1046	27.56 (2.63)	35.53 (3.18)
WPW10410	28.47 (2.72)	36.74 (3.28)
WPW1052	29.38 (2.81)	37.95 (3.38)
WPW1056	30.29 (2.90)	39.16 (3.48)
WPW10510	31.20 (2.99)	40.37 (3.58)
WPW1062	32.11 (3.08)	41.58 (3.68)
WPW10610	33.02 (3.17)	42.79 (3.78)
WPW1042	33.93 (3.26)	44.00 (3.88)
WPW1046	34.84 (3.35)	45.21 (3.98)
WPW10410	35.75 (3.44)	46.42 (4.08)
WPW1052	36.66 (3.53)	47.63 (4.18)
WPW1056	37.57 (3.62)	48.84 (4.28)
WPW10510	38.48 (3.71)	50.05 (4.38)
WPW1062	39.39 (3.80)	51.26 (4.48)
WPW10610	40.30 (3.89)	52.47 (4.58)
WPW1042	41.21 (3.98)	53.68 (4.68)
WPW1046	42.12 (4.07)	54.89 (4.78)
WPW10410	43.03 (4.16)	56.10 (4.88)
WPW1052	43.94 (4.25)	57.31 (4.98)
WPW1056	44.85 (4.34)	58.52 (5.08)
WPW10510	45.76 (4.43)	59.73 (5.18)
WPW1062	46.67 (4.52)	60.94 (5.28)
WPW10610	47.58 (4.61)	62.15 (5.38)
WPW1042	48.49 (4.70)	63.36 (5.48)
WPW1046	49.40 (4.79)	64.57 (5.58)
WPW10410	50.31 (4.88)	65.78 (5.68)
WPW1052	51.22 (4.97)	66.99 (5.78)
WPW1056	52.13 (5.06)	68.20 (5.88)
WPW10510	53.04 (5.15)	69.41 (5.98)
WPW1062	53.95 (5.24)	70.62 (6.08)
WPW10610	54.86 (5.33)	71.83 (6.18)
WPW1042	55.77 (5.42)	73.04 (6.28)
WPW1046	56.68 (5.51)	74.25 (6.38)
WPW10410	57.59 (5.60)	75.46 (6.48)
WPW1052	58.50 (5.69)	76.67 (6.58)
WPW1056	59.41 (5.78)	77.88 (6.68)
WPW10510	60.32 (5.87)	79.09 (6.78)
WPW1062	61.23 (5.96)	80.30 (6.88)
WPW10610	62.14 (6.05)	81.51 (6.98)
WPW1042	63.05 (6.14)	82.72 (7.08)
WPW1046	63.96 (6.23)	83.93 (7.18)
WPW10410	64.87 (6.32)	85.14 (7.28)
WPW1052	65.78 (6.41)	86.35 (7.38)
WPW1056	66.69 (6.50)	87.56 (7.48)
WPW10510	67.60 (6.59)	88.77 (7.58)
WPW1062	68.51 (6.68)	89.98 (7.68)
WPW10610	69.42 (6.77)	91.19 (7.78)
WPW1042	70.33 (6.86)	92.40 (7.88)
WPW1046	71.24 (6.95)	93.61 (7.98)
WPW10410	72.15 (7.04)	94.82 (8.08)
WPW1052	73.06 (7.13)	96.03 (8.18)
WPW1056	73.97 (7.22)	97.24 (8.28)
WPW10510	74.88 (7.31)	98.45 (8.38)
WPW1062	75.79 (7.40)	99.66 (8.48)
WPW10610	76.70 (7.49)	100.87 (8.58)
WPW1042	77.61 (7.58)	102.08 (8.68)
WPW1046	78.52 (7.67)	103.29 (8.78)
WPW10410	79.43 (7.76)	104.50 (8.88)
WPW1052	80.34 (7.85)	105.71 (8.98)
WPW1056	81.25 (7.94)	106.92 (9.08)
WPW10510	82.16 (8.03)	108.13 (9.18)
WPW1062	83.07 (8.12)	109.34 (9.28)
WPW10610	83.98 (8.21)	110.55 (9.38)
WPW1042	84.89 (8.30)	111.76 (9.48)
WPW1046	85.80 (8.39)	112.97 (9.58)
WPW10410	86.71 (8.48)	114.18 (9.68)
WPW1052	87.62 (8.57)	115.39 (9.78)
WPW1056	88.53 (8.66)	116.60 (9.88)
WPW10510	89.44 (8.75)	117.81 (9.98)
WPW1062	90.35 (8.84)	119.02 (10.08)
WPW10610	91.26 (8.93)	120.23 (10.18)
WPW1042	92.17 (9.02)	121.44 (10.28)
WPW1046	93.08 (9.11)	122.65 (10.38)
WPW10410	93.99 (9.20)	123.86 (10.48)
WPW1052	94.90 (9.29)	125.07 (10.58)
WPW1056	95.81 (9.38)	126.28 (10.68)
WPW10510	96.72 (9.47)	127.49 (10.78)
WPW1062	97.63 (9.56)	128.70 (10.88)
WPW10610	98.54 (9.65)	129.91 (10.98)
WPW1042	99.45 (9.74)	131.12 (11.08)
WPW1046	100.36 (9.83)	132.33 (11.18)
WPW10410	101.27 (9.92)	133.54 (11.28)
WPW1052	102.18 (10.01)	134.75 (11.38)
WPW1056	103.09 (10.10)	135.96 (11.48)
WPW10510	104.00 (10.19)	137.17 (11.58)
WPW1062	104.91 (10.28)	138.38 (11.68)
WPW10610	105.82 (10.37)	139.59 (11.78)
WPW1042	106.73 (10.46)	140.80 (11.88)
WPW1046	107.64 (10.55)	142.01 (11.98)
WPW10410	108.55 (10.64)	143.22 (12.08)
WPW1052	109.46 (10.73)	144.43 (12.18)
WPW1056	110.37 (10.82)	145.64 (12.28)
WPW10510	111.28 (10.91)	146.85 (12.38)
WPW1062	112.19 (11.00)	148.06 (12.48)
WPW10610	113.10 (11.09)	149.27 (12.58)
WPW1042	114.01 (11.18)	150.48 (12.68)
WPW1046	114.92 (11.27)	151.69 (12.78)
WPW10410	115.83 (11.36)	152.90 (12.88)
WPW1052	116.74 (11.45)	154.11 (12.98)
WPW1056	117.65 (11.54)	155.32 (13.08)
WPW10510	118.56 (11.63)	156.53 (13.18)
WPW1062	119.47 (11.72)	157.74 (13.28)
WPW10610	120.38 (11.81)	158.95 (13.38)
WPW1042	121.29 (11.90)	160.16 (13.48)
WPW1046	122.20 (11.99)	161.37 (13.58)
WPW10410	123.11 (12.08)	162.58 (13.68)
WPW1052	124.02 (12.17)	163.79 (13.78)
WPW1056	124.93 (12.26)	165.00 (13.88)
WPW10510	125.84 (12.35)	166.21 (13.98)
WPW1062	126.75 (12.44)	167.42 (14.08)
WPW10610	127.66 (12.53)	168.63 (14.18)
WPW1042	128.57 (12.62)	169.84 (14.28)
WPW1046	129.48 (12.71)	171.05 (14.38)
WPW10410	130.39 (12.80)	172.26 (14.48)
WPW1052	131.30 (12.89)	173.47 (14.58)
WPW1056	132.21 (12.98)	174.68 (14.68)
WPW10510	133.12 (13.07)	175.89 (14.78)
WPW1062	134.03 (13.16)	177.10 (14.88)
WPW10610	134.94 (13.25)	178.31 (14.98)
WPW1042	135.85 (13.34)	179.52 (15.08)
WPW1046	136.76 (13.43)	180.73 (15.18)
WPW10410	137.67 (13.52)	181.94 (15.28)
WPW1052	138.58 (13.61)	183.15 (15.38)
WPW1056	139.49 (13.70)	184.36 (15.48)
WPW10510	140.40 (13.79)	185.57 (15.58)
WPW1062	141.31 (13.88)	186.78 (15.68)
WPW10610		

# WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

## Woodwright® Arch Double-Hung Window Opening and Area Specifications (continued)

Window Number	Clear Opening Area Sq. Ft./ (m <sup>2</sup> )	Clear Opening in Full Open Position		Glass Area Sq. Ft. / (m <sup>2</sup> )	Vent Area Sq. Ft. / (m <sup>2</sup> )	Top of Subfloor to Top of Inside Sill Stop Inches/(mm)	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
		Width Inches/(mm)	Height Inches/(mm)				
WA2062	4.51 (0.42)	21 1/8" (556)	29 3/8" (753)	9.99 (0.84)	4.98 (0.46)	8 1/2" (216)	13.48 (1.25)
WA2432	2.00 (0.19)	25 1/8" (658)	11 1/8" (282)	4.89 (0.46)	2.62 (0.24)	44 1/8" (1131)	8.14 (0.76)
WA2436	2.36 (0.22)	25 1/8" (658)	13 1/8" (333)	5.55 (0.52)	2.98 (0.28)	40 1/2" (1029)	8.96 (0.83)
WA24310	2.72 (0.25)	25 1/8" (658)	15 1/8" (384)	6.21 (0.58)	3.34 (0.31)	36 1/2" (928)	9.79 (0.91)
WA2442	3.08 (0.29)	25 1/8" (658)	17 1/8" (435)	6.86 (0.64)	3.70 (0.34)	32 1/2" (826)	10.61 (0.99)
WA2446	3.44 (0.32)	25 1/8" (658)	19 1/8" (485)	7.52 (0.70)	4.06 (0.38)	28 1/2" (724)	11.43 (1.06)
WA24410	3.80 (0.35)	25 1/8" (658)	21 1/8" (536)	8.17 (0.76)	4.42 (0.41)	24 1/2" (623)	12.26 (1.14)
WA2452	4.16 (0.39)	25 1/8" (658)	23 1/8" (587)	8.83 (0.82)	4.78 (0.44)	20 1/2" (521)	13.08 (1.22)
WA2456	4.51 (0.42)	25 1/8" (658)	25 1/8" (638)	9.49 (0.88)	5.14 (0.48)	16 1/2" (420)	13.90 (1.29)
WA24510	4.87 (0.45)	25 1/8" (658)	27 1/8" (689)	10.14 (0.94)	5.50 (0.51)	12 1/2" (318)	14.72 (1.37)
WA2462	5.23 (0.49)	25 1/8" (658)	29 1/8" (739)	10.80 (1.00)	5.86 (0.54)	8 1/2" (216)	15.55 (1.44)
WA2632	2.10 (0.20)	27 1/8" (708)	10 13/16" (275)	5.29 (0.49)	2.81 (0.26)	44 1/2" (1131)	8.67 (0.81)
WA2636	2.49 (0.23)	27 1/8" (708)	12 13/16" (326)	6.00 (0.56)	3.19 (0.30)	40 1/2" (1029)	9.55 (0.89)
WA26310	2.88 (0.27)	27 1/8" (708)	14 13/16" (377)	6.72 (0.62)	3.58 (0.33)	36 1/2" (928)	10.43 (0.97)
WA2642	3.26 (0.30)	27 1/8" (708)	16 13/16" (428)	7.49 (0.69)	3.97 (0.37)	32 1/2" (826)	11.31 (1.05)
WA2646	3.65 (0.34)	27 1/8" (708)	18 13/16" (479)	8.14 (0.76)	4.36 (0.41)	28 1/2" (724)	12.18 (1.13)
WA26410	4.04 (0.38)	27 1/8" (708)	20 13/16" (529)	8.85 (0.82)	4.74 (0.44)	24 1/2" (623)	13.06 (1.21)
WA2652	4.42 (0.41)	27 1/8" (708)	22 13/16" (580)	9.56 (0.89)	5.13 (0.48)	20 1/2" (521)	13.94 (1.30)
WA2656	4.81 (0.45)	27 1/8" (708)	24 13/16" (631)	10.28 (0.96)	5.52 (0.51)	16 1/2" (420)	14.82 (1.38)
WA26510	5.20 (0.48)	27 1/8" (708)	26 13/16" (682)	10.99 (1.02)	5.91 (0.55)	12 1/2" (318)	15.70 (1.46)
WA2662	5.59 (0.52)	27 1/8" (708)	28 13/16" (733)	11.70 (1.09)	6.29 (0.59)	8 1/2" (216)	16.58 (1.54)
WA2836	2.61 (0.24)	29 1/8" (759)	12 3/16" (319)	6.46 (0.60)	3.41 (0.32)	40 1/2" (1029)	10.13 (0.94)
WA28310	3.03 (0.28)	29 1/8" (759)	14 3/16" (370)	7.22 (0.67)	3.82 (0.36)	36 1/2" (928)	11.07 (1.03)
WA2842	3.44 (0.32)	29 1/8" (759)	16 3/16" (421)	7.99 (0.74)	4.24 (0.39)	32 1/2" (826)	12.00 (1.12)
WA2846	3.86 (0.36)	29 1/8" (759)	18 3/16" (472)	8.76 (0.81)	4.65 (0.43)	28 1/2" (724)	12.94 (1.20)
WA28410	4.27 (0.40)	29 1/8" (759)	20 3/16" (523)	9.53 (0.89)	5.07 (0.47)	24 1/2" (623)	13.87 (1.29)
WA2852	4.69 (0.44)	29 1/8" (759)	22 3/16" (573)	10.29 (0.96)	5.48 (0.51)	20 1/2" (521)	14.80 (1.38)
WA2856	5.10 (0.47)	29 1/8" (759)	24 3/16" (624)	11.06 (1.03)	5.90 (0.55)	16 1/2" (420)	15.74 (1.46)
WA28510	5.52 (0.51)	29 1/8" (759)	26 3/16" (675)	11.83 (1.10)	6.31 (0.59)	12 1/2" (318)	16.67 (1.55)
WA2862	5.93 (0.55)	29 1/8" (759)	28 3/16" (726)	12.60 (1.17)	6.73 (0.63)	8 1/2" (216)	17.61 (1.64)
WA210310	3.17 (0.29)	31 1/8" (810)	14 5/16" (363)	7.73 (0.72)	4.06 (0.38)	36 1/2" (928)	11.70 (1.09)
WA21042	3.61 (0.34)	31 1/8" (810)	16 5/16" (414)	8.55 (0.80)	4.50 (0.42)	32 1/2" (826)	12.69 (1.18)
WA21046	4.05 (0.38)	31 1/8" (810)	18 5/16" (465)	9.38 (0.87)	4.94 (0.46)	28 1/2" (724)	13.68 (1.27)
WA210410	4.50 (0.42)	31 1/8" (810)	20 5/16" (516)	10.20 (0.95)	5.39 (0.50)	24 1/2" (623)	14.67 (1.36)
WA21052	4.94 (0.46)	31 1/8" (810)	22 5/16" (567)	11.02 (1.02)	5.83 (0.54)	20 1/2" (521)	15.66 (1.46)
WA21056	5.38 (0.50)	31 1/8" (810)	24 5/16" (617)	11.84 (1.10)	6.27 (0.58)	16 1/2" (420)	16.65 (1.55)
WA210510	5.83 (0.54)	31 1/8" (810)	26 5/16" (668)	12.67 (1.18)	6.72 (0.62)	12 1/2" (318)	17.64 (1.64)
WA21062	6.27 (0.58)	31 1/8" (810)	28 5/16" (719)	13.49 (1.25)	7.16 (0.67)	8 1/2" (216)	18.63 (1.73)
WA30310	3.30 (0.31)	33 1/8" (861)	14 1/16" (357)	8.23 (0.77)	4.29 (0.40)	36 1/2" (928)	12.34 (1.15)
WA3042	3.78 (0.35)	33 1/8" (861)	16 1/16" (407)	9.11 (0.85)	4.76 (0.44)	32 1/2" (826)	13.38 (1.24)
WA3046	4.25 (0.39)	33 1/8" (861)	18 1/16" (458)	9.99 (0.93)	5.23 (0.49)	28 1/2" (724)	14.43 (1.34)
WA30410	4.72 (0.44)	33 1/8" (861)	20 1/16" (509)	10.87 (1.01)	5.70 (0.53)	24 1/2" (623)	15.47 (1.44)
WA3052	5.19 (0.48)	33 1/8" (861)	22 1/16" (560)	11.76 (1.09)	6.17 (0.57)	20 1/2" (521)	16.52 (1.54)
WA3056	5.66 (0.53)	33 1/8" (861)	24 1/16" (611)	12.62 (1.17)	6.65 (0.62)	16 1/2" (420)	17.56 (1.63)
WA30510	6.13 (0.57)	33 1/8" (861)	26 1/16" (661)	13.50 (1.25)	7.12 (0.66)	12 1/2" (318)	18.61 (1.73)
WA3062	6.60 (0.61)	33 1/8" (861)	28 1/16" (712)	14.38 (1.34)	7.59 (0.71)	8 1/2" (216)	19.65 (1.83)
WA34810	3.55 (0.33)	37 1/8" (962)	13 1/2" (343)	9.23 (0.86)	4.75 (0.44)	36 1/2" (928)	13.60 (1.26)
WA3442	4.08 (0.38)	37 1/8" (962)	15 1/2" (394)	10.22 (0.95)	5.28 (0.49)	32 1/2" (826)	14.76 (1.37)
WA3446	4.61 (0.43)	37 1/8" (962)	17 1/2" (445)	11.21 (1.04)	5.81 (0.54)	28 1/2" (724)	15.91 (1.48)
WA34410	5.13 (0.48)	37 1/8" (962)	19 1/2" (495)	12.20 (1.13)	6.33 (0.59)	24 1/2" (623)	17.07 (1.59)
WA3452	5.66 (0.53)	37 1/8" (962)	21 1/2" (546)	13.19 (1.23)	6.86 (0.64)	20 1/2" (521)	18.22 (1.69)
WA3456	6.19 (0.58)	37 1/8" (962)	23 1/2" (597)	14.18 (1.32)	7.38 (0.69)	16 1/2" (420)	19.38 (1.80)
WA34510	6.71 (0.62)	37 1/8" (962)	25 1/2" (648)	15.17 (1.41)	7.91 (0.74)	12 1/2" (318)	20.54 (1.91)
WA3462	7.24 (0.67)	37 1/8" (962)	27 1/2" (699)	16.16 (1.50)	8.44 (0.78)	8 1/2" (216)	21.69 (2.02)
WA3842	4.36 (0.41)	41 1/8" (1064)	15" (380)	11.32 (1.05)	5.79 (0.54)	32 1/2" (826)	16.12 (1.50)
WA3846	4.94 (0.46)	41 1/8" (1064)	17" (431)	12.42 (1.15)	6.37 (0.59)	28 1/2" (724)	17.39 (1.62)
WA38410	5.52 (0.51)	41 1/8" (1064)	19" (482)	13.52 (1.26)	6.95 (0.65)	24 1/2" (623)	18.65 (1.73)
WA3852	6.10 (0.57)	41 1/8" (1064)	21" (533)	14.62 (1.36)	7.53 (0.70)	20 1/2" (521)	19.92 (1.85)
WA3856	6.68 (0.62)	41 1/8" (1064)	23" (583)	15.72 (1.46)	8.11 (0.75)	16 1/2" (420)	21.19 (1.97)
WA38510	7.26 (0.68)	41 1/8" (1064)	25" (634)	16.82 (1.56)	8.70 (0.81)	12 1/2" (318)	22.46 (2.09)
WA3862	7.85 (0.73)	41 1/8" (1064)	27" (685)	17.93 (1.67)	9.28 (0.86)	8 1/2" (216)	23.72 (2.20)

\* Top of Subfloor to Top of Inside Sill Stop" is calculated based upon a structural header height of 6'-10 1/2" (2096).  
 † Dimensions in parentheses are in millimeters or square meters.  
 ‡ Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m<sup>2</sup>, clear opening width of 20" (508) and clear opening height of 24" (610).

**Woodwright® Unequal Leg Arch Double-Hung Window Opening and Area Specifications**

Window Number	Clear Opening Area Sq. Ft./ (m <sup>2</sup> )	Clear Opening in Full Open Position		Glass Area Sq. Ft./ (m <sup>2</sup> )	Vent Area Sq. Ft./ (m <sup>2</sup> )	Top of Subfloor to Top of Inside Sill Stop Inches/(mm)	Overall Window Area Sq. Ft./ (m <sup>2</sup> )
		Width Inches/(mm)	Height Inches/(mm)				
WU1836	1.44 (0.13)	17 1/8" (434)	11 1/8" (295)	3.59 (0.33)	1.98 (0.18)	40 1/2" (1029)	6.47 (0.60)
WU18310	1.69 (0.16)	17 1/8" (434)	13 1/8" (346)	4.02 (0.37)	2.23 (0.21)	36 1/2" (928)	7.07 (0.66)
WU1842	1.94 (0.18)	17 1/8" (434)	15 1/8" (396)	4.46 (0.41)	2.48 (0.23)	32 1/2" (826)	7.67 (0.71)
WU1846	2.19 (0.20)	17 1/8" (434)	17 1/8" (447)	4.89 (0.45)	2.72 (0.25)	28 1/2" (724)	8.27 (0.77)
WU18410	2.44 (0.23)	17 1/8" (434)	19 1/8" (498)	5.32 (0.49)	2.97 (0.28)	24 1/2" (623)	8.87 (0.82)
WU1852	2.68 (0.25)	17 1/8" (434)	21 1/8" (549)	5.76 (0.53)	3.22 (0.30)	20 1/2" (521)	9.47 (0.88)
WU1856	2.93 (0.27)	17 1/8" (434)	23 1/8" (600)	6.19 (0.58)	3.47 (0.32)	16 1/2" (420)	10.07 (0.94)
WU18510	3.18 (0.30)	17 1/8" (434)	25 1/8" (650)	6.63 (0.62)	3.72 (0.35)	12 1/2" (318)	10.67 (0.99)
WU1862	3.43 (0.32)	17 1/8" (434)	27 1/8" (701)	7.06 (0.66)	3.97 (0.37)	8 1/2" (216)	11.28 (1.05)
WU20310	1.71 (0.16)	21 1/8" (556)	11 1/8" (286)	4.95 (0.46)	2.61 (0.24)	36 1/2" (928)	8.24 (0.77)
WU2042	2.02 (0.19)	21 1/8" (556)	13 1/8" (337)	5.50 (0.51)	2.91 (0.27)	32 1/2" (826)	8.96 (0.83)
WU2046	2.32 (0.22)	21 1/8" (556)	15 1/8" (388)	6.04 (0.56)	3.22 (0.30)	28 1/2" (724)	9.67 (0.90)
WU20410	2.62 (0.24)	21 1/8" (556)	17 1/8" (438)	6.59 (0.61)	3.52 (0.33)	24 1/2" (623)	10.38 (0.96)
WU2052	2.93 (0.27)	21 1/8" (556)	19 1/8" (489)	7.13 (0.66)	3.83 (0.36)	20 1/2" (521)	11.09 (1.03)
WU2056	3.23 (0.30)	21 1/8" (556)	21 1/8" (540)	7.68 (0.71)	4.13 (0.38)	16 1/2" (420)	11.80 (1.10)
WU20510	3.54 (0.33)	21 1/8" (556)	23 1/8" (591)	8.22 (0.76)	4.44 (0.41)	12 1/2" (318)	12.51 (1.16)
WU2062	3.84 (0.36)	21 1/8" (556)	25 1/8" (642)	8.77 (0.81)	4.74 (0.44)	8 1/2" (216)	13.23 (1.23)
WU2446	2.21 (0.21)	25 1/8" (658)	12 1/8" (312)	7.12 (0.66)	3.64 (0.34)	28 1/2" (724)	10.99 (1.02)
WU24410	2.57 (0.24)	25 1/8" (658)	14 1/8" (363)	7.78 (0.72)	4.00 (0.37)	24 1/2" (623)	11.81 (1.10)
WU2452	2.93 (0.27)	25 1/8" (658)	16 1/8" (413)	8.44 (0.78)	4.36 (0.41)	20 1/2" (521)	12.63 (1.17)
WU2456	3.29 (0.31)	25 1/8" (658)	18 1/8" (464)	9.09 (0.84)	4.72 (0.44)	16 1/2" (420)	13.46 (1.25)
WU24510	3.65 (0.34)	25 1/8" (658)	20 1/8" (515)	9.75 (0.91)	5.08 (0.47)	12 1/2" (318)	14.28 (1.33)
WU2462	4.01 (0.37)	25 1/8" (658)	22 1/8" (566)	10.40 (0.97)	5.44 (0.51)	8 1/2" (216)	15.10 (1.40)
WU26410	2.42 (0.23)	27 1/8" (708)	12 1/2" (318)	8.34 (0.78)	4.21 (0.39)	24 1/2" (623)	12.49 (1.16)
WU2652	2.81 (0.26)	27 1/8" (708)	14 1/2" (368)	9.06 (0.84)	4.59 (0.43)	20 1/2" (521)	13.37 (1.24)
WU2656	3.20 (0.30)	27 1/8" (708)	16 1/2" (419)	9.77 (0.91)	4.98 (0.46)	16 1/2" (420)	14.25 (1.32)
WU26510	3.58 (0.33)	27 1/8" (708)	18 1/2" (470)	10.48 (0.97)	5.37 (0.50)	12 1/2" (318)	15.13 (1.41)
WU2662	3.97 (0.37)	27 1/8" (708)	20 1/2" (521)	11.19 (1.04)	5.76 (0.53)	8 1/2" (216)	16.01 (1.49)
WU2852	2.59 (0.24)	29 1/8" (759)	12 1/2" (317)	9.65 (0.90)	4.80 (0.45)	20 1/2" (521)	14.08 (1.31)
WU2856	3.01 (0.28)	29 1/8" (759)	14 1/2" (368)	10.42 (0.97)	5.22 (0.48)	16 1/2" (420)	15.01 (1.40)
WU28510	3.42 (0.32)	29 1/8" (759)	16 1/2" (419)	11.19 (1.04)	5.63 (0.52)	12 1/2" (318)	15.95 (1.48)
WU2862	3.84 (0.36)	29 1/8" (759)	18 1/2" (470)	11.95 (1.11)	6.05 (0.56)	8 1/2" (216)	16.88 (1.57)
WU21042	3.13 (0.29)	31 1/8" (810)	14 1/8" (359)	8.35 (0.78)	4.31 (0.40)	32 1/2" (826)	12.52 (1.16)
WU21046	3.57 (0.33)	31 1/8" (810)	16 1/8" (409)	9.17 (0.85)	4.75 (0.44)	28 1/2" (724)	13.51 (1.26)
WU210410	4.01 (0.37)	31 1/8" (810)	18 1/8" (460)	10.00 (0.93)	5.19 (0.48)	24 1/2" (623)	14.50 (1.35)
WU21052	4.46 (0.41)	31 1/8" (810)	20 1/8" (511)	10.82 (1.01)	5.64 (0.52)	20 1/2" (521)	15.49 (1.44)
WU21056	4.90 (0.46)	31 1/8" (810)	22 1/8" (562)	11.64 (1.08)	6.08 (0.56)	16 1/2" (420)	16.48 (1.53)
WU210510	5.34 (0.50)	31 1/8" (810)	24 1/8" (613)	12.46 (1.16)	6.52 (0.61)	12 1/2" (318)	17.47 (1.62)
WU210620	5.78 (0.54)	31 1/8" (810)	26 1/8" (663)	13.29 (1.23)	6.96 (0.65)	8 1/2" (216)	18.46 (1.72)
WU3042	3.13 (0.29)	33 1/8" (861)	13 1/8" (338)	8.86 (0.82)	4.51 (0.42)	32 1/2" (826)	13.15 (1.22)
WU3046	3.60 (0.34)	33 1/8" (861)	15 1/8" (389)	9.73 (0.90)	4.98 (0.46)	28 1/2" (724)	14.20 (1.32)
WU30410	4.07 (0.38)	33 1/8" (861)	17 1/8" (440)	10.61 (0.99)	5.46 (0.51)	24 1/2" (623)	15.24 (1.42)
WU3052	4.54 (0.42)	33 1/8" (861)	19 1/8" (490)	11.49 (1.07)	5.93 (0.55)	20 1/2" (521)	16.29 (1.51)
WU3056	5.02 (0.47)	33 1/8" (861)	21 1/8" (541)	12.37 (1.15)	6.40 (0.59)	16 1/2" (420)	17.33 (1.61)
WU30510	5.49 (0.51)	33 1/8" (861)	23 1/8" (592)	13.25 (1.23)	6.87 (0.64)	12 1/2" (318)	18.38 (1.71)
WU30620	5.96 (0.55)	33 1/8" (861)	25 1/8" (643)	14.13 (1.31)	7.34 (0.68)	8 1/2" (216)	19.42 (1.80)
WU34410	4.09 (0.38)	37 1/8" (962)	15 1/2" (395)	11.81 (1.10)	5.95 (0.55)	24 1/2" (623)	16.69 (1.55)
WU3452	4.61 (0.43)	37 1/8" (962)	17 1/2" (445)	12.80 (1.19)	6.47 (0.60)	20 1/2" (521)	17.85 (1.66)
WU3456	5.14 (0.48)	37 1/8" (962)	19 1/2" (496)	13.79 (1.28)	7.00 (0.65)	16 1/2" (420)	19.01 (1.77)
WU34510	5.67 (0.53)	37 1/8" (962)	21 1/2" (547)	14.78 (1.37)	7.53 (0.70)	12 1/2" (318)	20.16 (1.87)
WU3462	6.19 (0.58)	37 1/8" (962)	23 1/2" (598)	15.77 (1.47)	8.05 (0.75)	8 1/2" (216)	21.32 (1.98)
WU3852	4.52 (0.42)	41 1/8" (1064)	15 1/2" (394)	14.06 (1.31)	6.97 (0.65)	20 1/2" (521)	19.36 (1.80)
WU3856	5.10 (0.47)	41 1/8" (1064)	17 1/2" (445)	15.16 (1.41)	7.55 (0.70)	16 1/2" (420)	20.63 (1.92)
WU38510	5.68 (0.53)	41 1/8" (1064)	19 1/2" (496)	16.27 (1.51)	8.13 (0.76)	12 1/2" (318)	21.90 (2.03)
WU3862	6.26 (0.58)	41 1/8" (1064)	21 1/2" (547)	17.37 (1.61)	8.71 (0.81)	8 1/2" (216)	23.16 (2.15)

\*Top of Subfloor to Top of Inside Sill Stop" is calculated based upon a structural header height of 6'-10 1/2" (2096).  
 †Dimensions in parentheses are in millimeters or square meters.  
 ‡Meet or exceed clear opening area of 5.7 sq. ft. or 0.53 m<sup>2</sup>, clear opening width of 20" (508) and clear opening height of 24" (610).

400 Series  
Woodwright® Double-Hung  
Full-Frame Windows



# WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

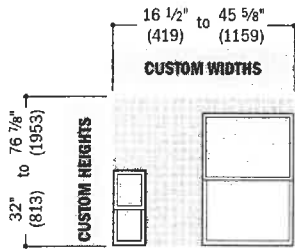
## Custom Sizes and Specification Formulas



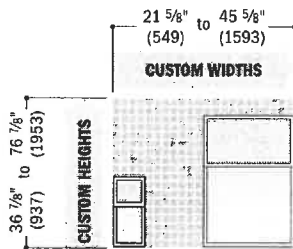
Available in 1/8" (3) increments between minimum and maximum widths and heights. Windows can also be custom sized to match standard sizes ending in a sixteenth of an inch. Some restrictions apply, contact your Andersen supplier. Measurement guide for custom-size windows can be found at [andersenwindows.com/measure](http://andersenwindows.com/measure).

### Woodwright® Double-Hung Windows

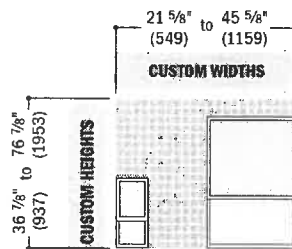
#### Equal



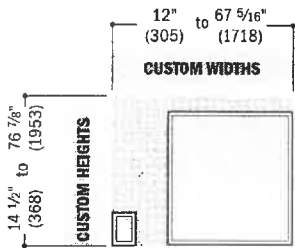
#### 2:3 Cottage



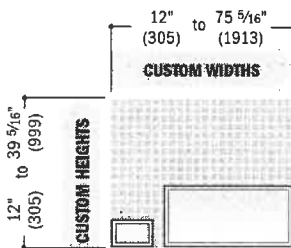
#### 3:2 Reverse Cottage



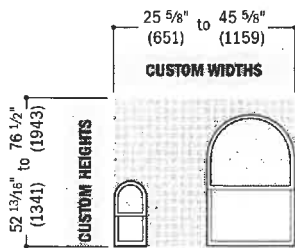
### Woodwright® Picture Windows



### Woodwright® Transom Windows

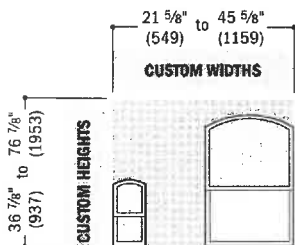


### Woodwright® Springline™ Single-Hung Windows

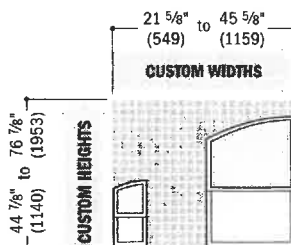


Side-by-side joining of two arch or Springline™ windows or short side joining of unequal leg arch windows is not recommended.

### Woodwright® Arch Double-Hung Windows

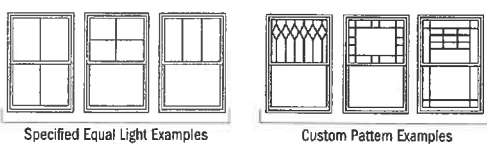
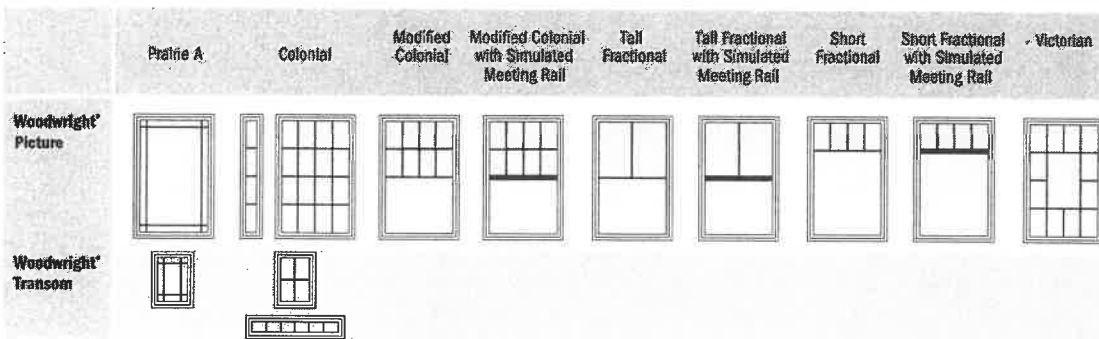
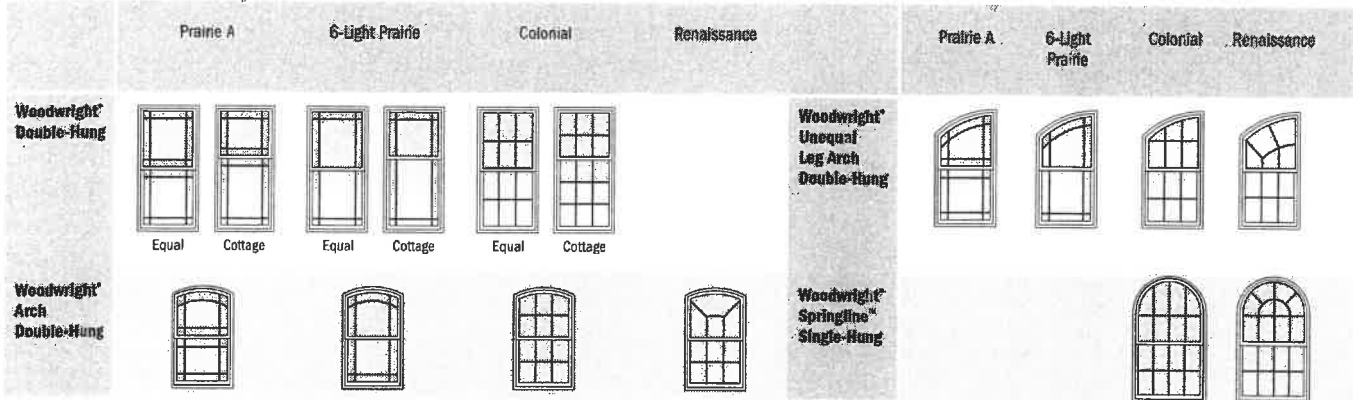


### Woodwright® Unequal Leg Arch Double-Hung Windows



\* Dimensions in parentheses are in millimeters.

**Grille Patterns**



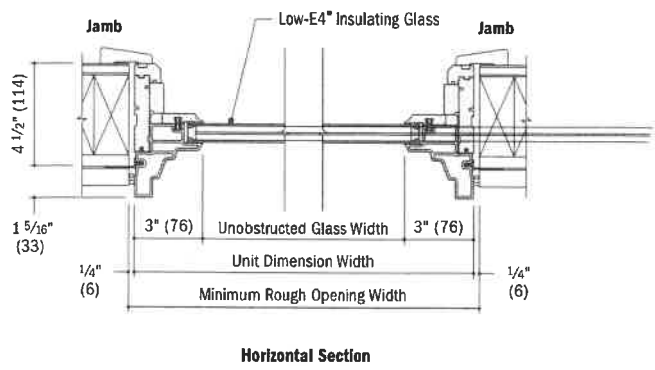
Specified equal light and custom patterns are also available. For more grille options, see page 13 or visit [andersenwindows.com/grilles](http://andersenwindows.com/grilles).

Patterns for double- and single-hung windows are also available in Upper Sash Only (USO) configurations. For picture window patterns that require alignment with double- or single-hung window patterns, identify the sash style (equal, cottage or reverse cottage) when ordering. **Number of lights and overall pattern varies with window size. Patterns are not available in all configurations.**

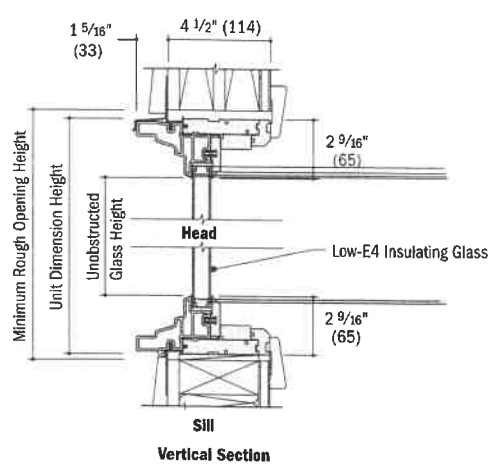
400 Series Woodwright® Double-Hung Full-Frame Windows

**Woodwright® Transom Window Details**

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



**Horizontal Section**



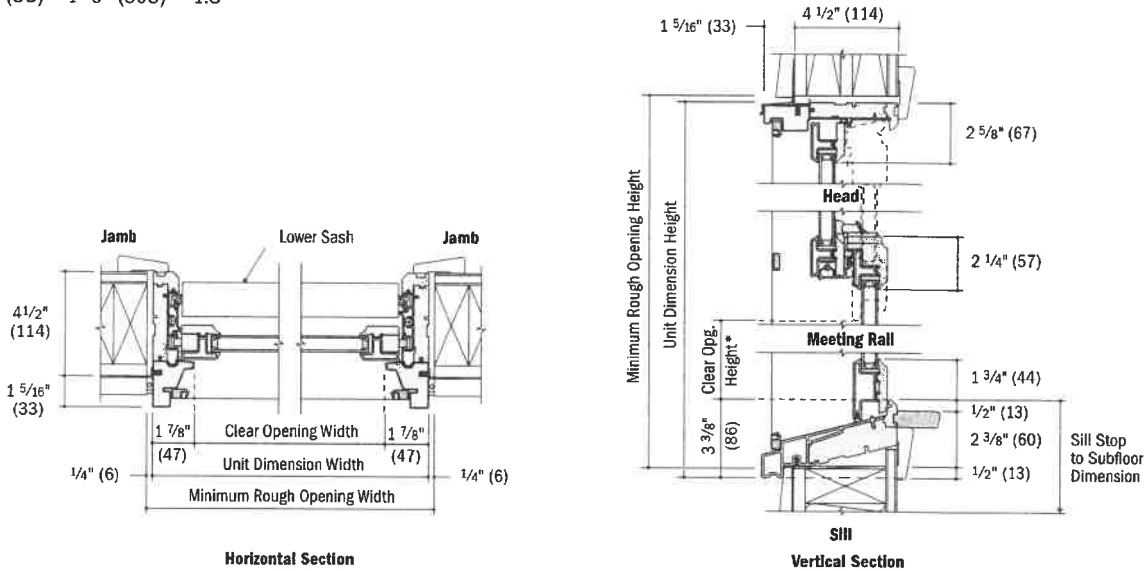
**Vertical Section**

• Rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See Installation Information on pages 210-211.  
• Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at [andersenwindows.com](http://andersenwindows.com).  
• Dimensions in parentheses are in millimeters.

# WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

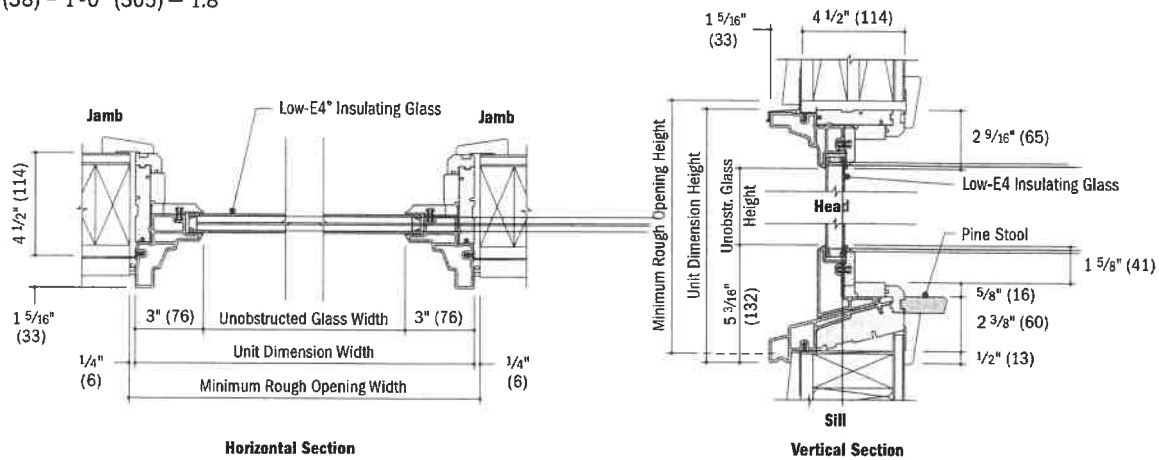
## Woodwright® Double-Hung Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



## Woodwright® Picture Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



\* Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.  
 • Rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on pages 210-211.  
 • Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.  
 • Dimensions in parentheses are in millimeters.  
 \* Clear opening height dimension is less on arch, unequal leg arch and Springline™ hung windows.

**Horizontal (stack) Joining Detail**

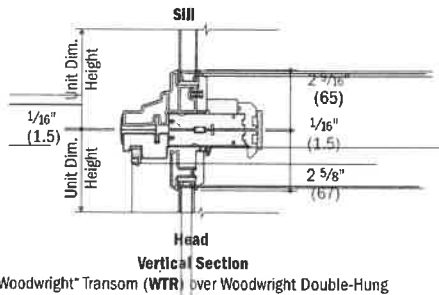
Scale 1 1/2" (38) = 1'-0" (305) – 1:8

**Overall Window Dimension Height**

Sum of individual window heights plus 1/16" (1.5) for each join.

**Overall Rough Opening Height**

Overall window dimension height.\*



Woodwright® Transom (WTR) over Woodwright Double-Hung

**Vertical (ribbon) Joining Detail**

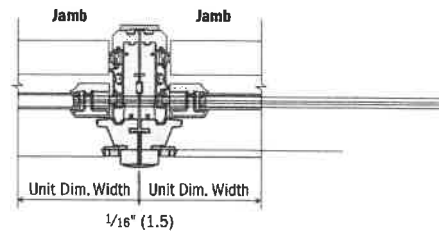
Scale 1 1/2" (38) = 1'-0" (305) – 1:8

**Overall Window Dimension Width**

Sum of individual window widths plus 1/16" (1.5) for each join.

**Overall Rough Opening Width**

Overall window dimension width plus 1/2" (13).



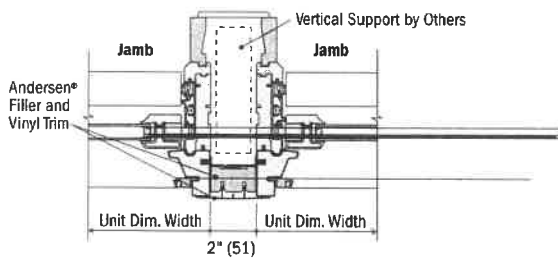
Woodwright Double-Hung to Woodwright Double-Hung

For more joining information, see the combination designs section starting on page 181.

**Separate Rough Openings Detail**

Scale 1 1/2" (38) = 1'-0" (305) – 1:8

To meet structural requirements or to achieve a wider joined appearance, windows may be installed into separate rough openings having vertical support (by others) in combination with Andersen® exterior filler and exterior vinyl trim.

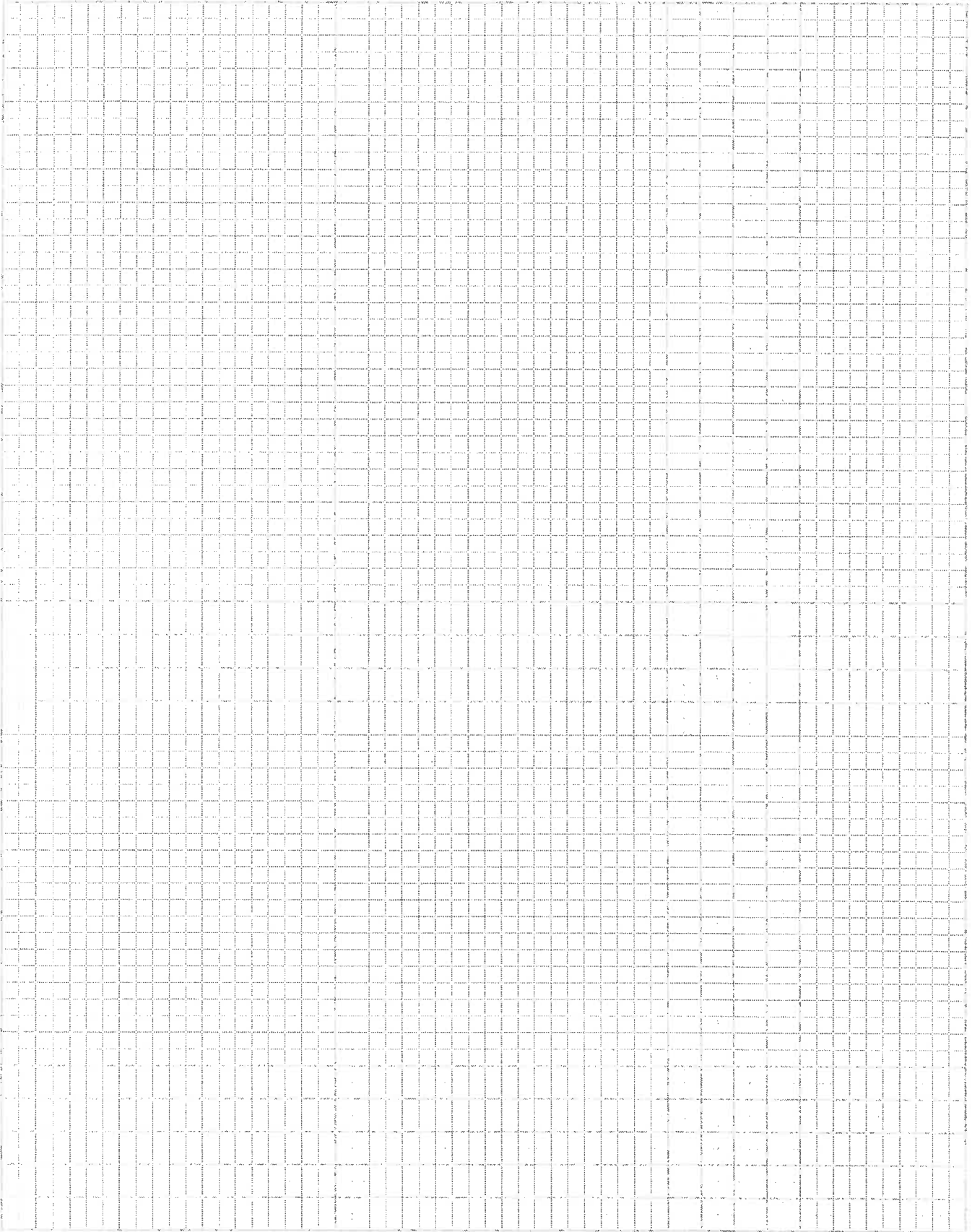


Woodwright Double-Hung and Woodwright Double-Hung

400 Series Woodwright® Double-Hung Fall-Frame Windows

\* Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.  
 \* Rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See Installation Information on pages 210-211.  
 \* Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.  
 \* Consult with an architect or structural engineer regarding minimum requirements for structural support members between adjacent rough openings.  
 \* Dimensions in parentheses are in millimeters.  
 \* For stacks where bottom unit in combination is a double-hung or picture window with a sloped sill, add 1/2" (13) to the overall window dimension height.

# NOTES



# WOODWRIGHT<sup>®</sup> DOUBLE-HUNG INSERT WINDOWS

400 Series  
Woodwright<sup>®</sup> Double-Hung  
Insert Windows

## SECTION REFERENCE

Custom Sizing .....	70
Specifications .....	70
Existing Window Measurements .....	71
Sill Angle Details .....	71
Grille Patterns .....	72
Window Details .....	72-73
Joining Detail .....	73
Product Performance .....	194

### CUSTOM SIZING

in 1/8" (3) increments



Dimensions in parentheses are in millimeters.

# WOODWRIGHT® DOUBLE-HUNG INSERT WINDOWS

## FEATURES

### Frame

**A** Fibrex® material exterior protects the frame — beautifully. Best of all, it's low maintenance and never needs painting.

**B** For exceptional long-lasting performance, sill members are constructed with a wood core and a Fibrex material exterior.

**C** Natural wood stops are available in pine, oak, maple and prefinished white. Wood jamb liners add beauty and authenticity to the window interior.

**D** Multiple weatherstrip systems help provide a barrier against wind, rain and dust. The combination of spring tension vinyl, rigid vinyl and flexible bulb weatherstrip is efficient and effective.

**E** Exterior stop covers are specially designed to allow easy application of high-quality sealant.

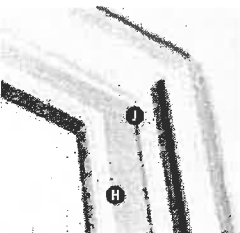
3 1/2" (83) "pocket window" jamb depth allows convenient replacement without disturbing interior window trim for most double-hung replacement situations.

**F** For units with white exterior color, exterior jamb liner is white. For all other units, the exterior jamb liner is gray.

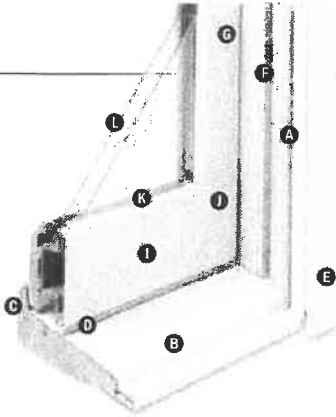
### Sash

**G** Balancers in the sash enable contractors to screw through the jamb during installation without interfering with the window's operation.

### Wood Jamb Liner



**H** Natural wood sash interior with classic chamfer detailing. Available in pine, oak, maple or prefinished white.



**I** Low-maintenance sash exterior provides long-lasting protection and performance. Sash exteriors on most units include Fibrex material.

**J** Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.

### Glass

**K** Silicone bed glazing provides superior weathertightness and durability.

**L** High-Performance glass options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 Sun glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSunHeatLock glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

### Patterned Glass

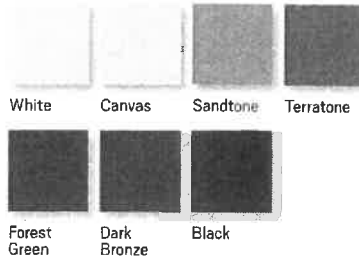
Patterned glass options are available. See page 12 for more details.

### Hardware

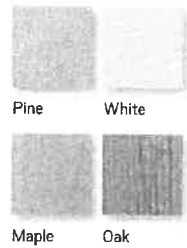


Standard lock and keeper design provides an easy tilt-to-clean feature integrated into the lock.

## EXTERIOR

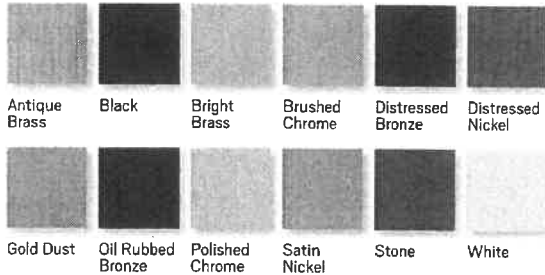


## INTERIOR



Naturally occurring variations in grain, color and texture of wood make each window one-of-a-kind. All wood interiors are unfinished unless prefinished white is specified.

## HARDWARE FINISHES



Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

## DOUBLE-HUNG HARDWARE

### STANDARD Lock & Keeper



Antique Brass | **Black** | Bright Brass  
Brushed Chrome | Distressed Bronze  
Distressed Nickel | Gold Dust | Oil Rubbed Bronze  
Polished Chrome | Satin Nickel | Stone | White

## OPTIONAL DOUBLE-HUNG HARDWARE\*\*

### TRADITIONAL



Antique Brass | Black | Bright Brass | Brushed Chrome | Distressed Bronze | Distressed Nickel  
Gold Dust | **Oil Rubbed Bronze** | Polished Chrome | Satin Nickel | Stone | White

### CLASSIC SERIES™



Stone | White

### CONTEMPORARY



Antique Brass | Black | Bright Brass  
Brushed Chrome | Distressed Bronze  
**Distressed Nickel** | Gold Dust  
Oil Rubbed Bronze | Polished Chrome  
Satin Nickel | Stone | White

### ESTATE™



Antique Brass | Bright Brass  
Brushed Chrome | Distressed Bronze  
Distressed Nickel | Oil Rubbed Bronze  
Polished Chrome | **Satin Nickel**

Bold name denotes finish shown.

\* Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

\*\* Hardware sold separately.

Dimensions in parentheses are in millimeters.

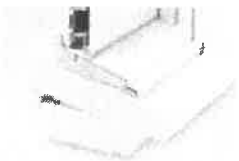
Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

### Sill Angles

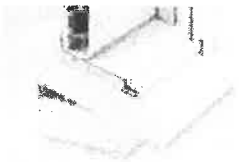
Three sill angles are available — 0°, 8° and 14° — to closely match the existing sill in window replacement applications. See page 71 for details.



0° Sill Angle



8° Sill Angle



14° Sill Angle

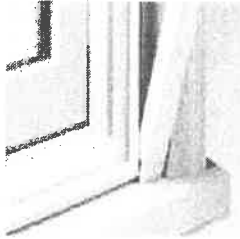
### Sill Angle Finder App

Our Sill Angle Finder App lets you quickly and easily find the sill angle of existing double-hung windows. Available for free for both iPhone® and Android™ smartphones. Download app for iPhone from the App Store™ or for Android smartphones from the Google Play Store. The app is only available for smartphones, as tablets and other large devices are too bulky for measuring window sill angles.

For more information about **glass, patterned glass, grilles and TruScene insect screens**, see pages 12-14.

For more information about **combination designs, product performance, installation instructions and accessories**, see pages 181-211 or visit [andersenwindows.com](http://andersenwindows.com).

### Exterior Stop Cover



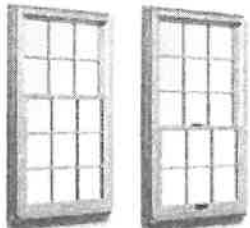
An exterior stop cover provides a clean transition from new window to the existing window casing.

### Included Installation Materials



Flat, self-hanging shims, backer rod, installation screws and complete instructions are included with each insert window. Measurement guide and worksheet at [andersenwindows.com/measure](http://andersenwindows.com/measure).

### Sash Options\*



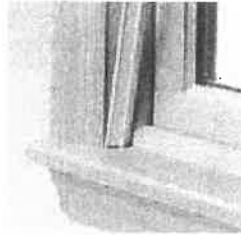
Cottage

Reverse Cottage

## ACCESSORIES Sold Separately

### Frame

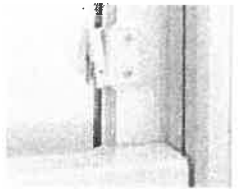
#### Wood Interior Stop



Optional interior stop with matching chamfer is available.

### Sash

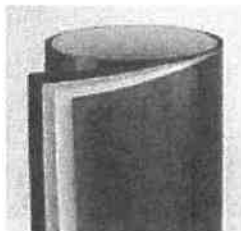
#### Window Opening Control Device Kit



A Window Opening Control Device Kit is available, which limits sash travel to less than 4" (102) when the window is first opened. Available factory applied or field applied in stone and white.

### Installation

#### Coil Stock



Andersen® aluminum coil stock can be ordered to match any of our 11 trim colors. Made from .018" thick aluminum, Andersen coil stock is available in 24" (610) x 50' (15240) rolls. Color-matched stainless steel trim nails 1 1/4" (32) long are also available and can be ordered in 1 lb./454 kg boxes.

### Security Sensors

#### Open/Closed Sensors

Wireless open/closed sensors are available in four colors. See page 15 for details.

### Insect Screens

#### Insect Screen Frames



Choose full insect screen or half insect screen. Half insect screen (shown above) allows ventilation without affecting the view through the upper sash. Frames are available in colors to match product exteriors.

#### TruScene® Insect Screen

Exclusive Andersen TruScene insect screens provide over 50% more clarity than our conventional insect screens for a beautiful unobstructed view. They allow more fresh air and sunlight in, while doing a better job of keeping out small insects.

#### Conventional Insect Screen

Conventional insect screens have charcoal powder-coated aluminum screen mesh.

### Grilles

Grilles are available in a variety of configurations and widths. For double-hung grille patterns, see page 72.

#### CAUTION:

- Painting and staining may cause damage to rigid vinyl.
- Do not paint 400 Series windows with white, canvas, Sandtone, forest green, dark bronze or black exterior colors.
- Andersen does not warrant the adhesion or performance of homeowner-applied paint over vinyl or other factory-coated surfaces.
- 400 Series windows in Terratone color may be painted any color lighter than Terratone color using quality oil-based or latex paint.
- For vinyl painting instructions and preparation, contact your Andersen supplier.
- Do not paint weatherstrip.
- Creosote-based stains should not come in contact with Andersen products.
- Abrasive cleaners or solutions containing corrosive solvents should not be used on Andersen products.

400 Series  
Woodwright® Double-Hung  
Insert Windows

\* Shown on 400 Series tilt-wash double-hung full-frame windows. Dimensions in parentheses are in millimeters.

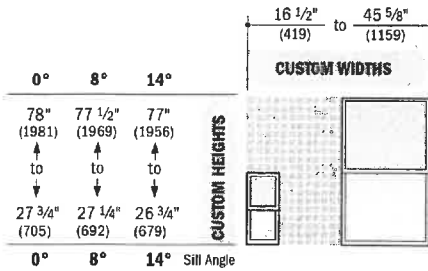
®iPhone and ®App Store are registered trademarks of Apple Inc. ®Android is a trademark of Google Inc.



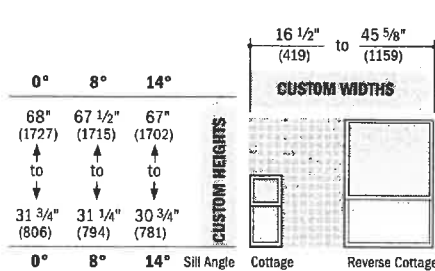
# WOODWRIGHT® DOUBLE-HUNG INSERT WINDOWS

## Woodwright® Double-Hung, Picture & Transom Insert Window Sizes

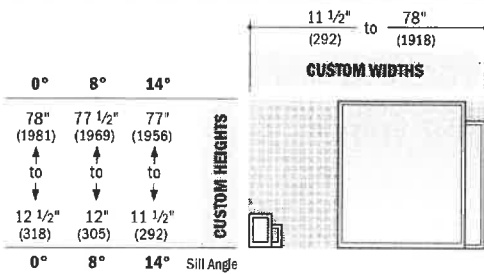
### Double-Hung - Equal



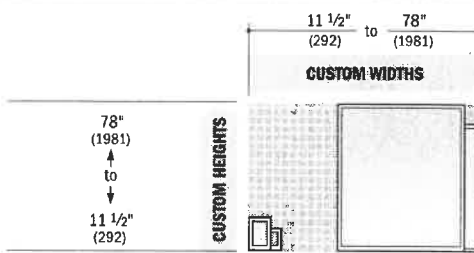
### Double-Hung - 2:3 Cottage & 3:2 Reverse Cottage



### Picture



### Transom



Available in 1/8" (3) increments between minimum and maximum widths and heights. Height limits for double-hung and picture windows depend on new insert window sill angle.

For picture and transom insert windows, either height or width must be 68" (1727) or less and height plus width cannot be less than 28" (711).

Measurement guide for custom sized windows can be found at [andersenwindows.com/measure](http://andersenwindows.com/measure). Grille patterns shown on page 72.

## Woodwright® Double-Hung Insert Window Specification Formulas

Clear Opening	Width = window width - 3.4375" (87)				
	Height = Depends on sash ratio and specific sill angle of insert window, see below.				
Vent Opening	sash ratio	clear opening height	sill angle deduction		
			14°	8°	0°
	1:1 Equal	= (window height + 2) - sill angle deduction	3.1875" (81)	3.4375" (87)	3.75" (95)
	2:3 Cottage	= (window height x 2) + 5 - sill angle deduction	2.875" (73)	3.0625" (78)	3.25" (83)
3:2 Reverse Cottage	= (window height x 2) + 5 - sill angle deduction	2.375" (60)	2.5625" (65)	2.8125" (71)	
Unobstr. Glass	Width = window width - 6.0" (152)				
	Height = Depends on sash ratio and specific sill angle of insert window, see below.				
	sash ratio	unobstructed glass height	sill angle deduction		
			14°	8°	0°
	Equal - Upper and Lower Sash	= window height - sill angle deduction	7.875" (200)	8.375" (213)	9.0" (229)
	Cottage - Upper Sash or Reverse Cottage - Lower Sash	= (window height x 2) + 5 - sill angle deduction	3.1875" (81)	3.375" (86)	3.625" (92)
Cottage - Lower Sash or Reverse Cottage - Upper Sash	= (window height x 2) + 5 - sill angle deduction	4.75" (121)	5.0625" (129)	5.4375" (139)	

## Woodwright® Picture and Transom Insert Window Specification Formulas

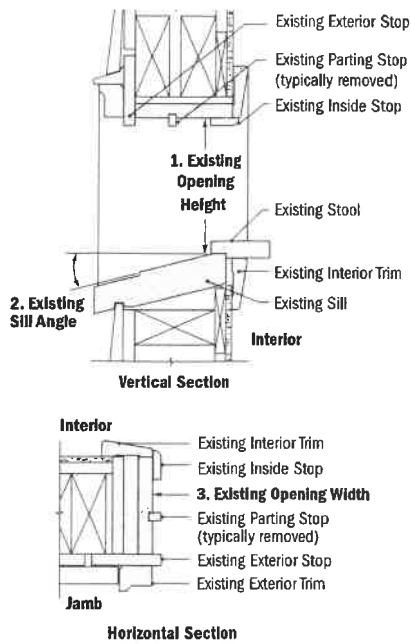
Unobstr. Glass	Picture Insert		Transom Insert	
	Width = window width - 6.0" (152)		Width = window width - 6.0" (152)	
	Height = Depends on sash ratio and specific sill angle of insert window, see below.		Height = window width - 6.0" (152)	
	unobstructed glass height	sill angle deductions		
		14°	8°	0°
	= window height - sill angle deduction	5.816" (148)	6.285" (160)	6.890" (175)

\* Dimensions in parentheses are in millimeters.  
 \* Clear Opening formulas provide dimensions for determining area available for egress.  
 \* Vent Opening formulas provide dimensions for determining area available for passage of air.  
 \* Unobstr. Glass (unobstructed glass) formulas provide dimensions for determining area available for passage of light.  
 \* Refer to [andersenwindows.com/measure](http://andersenwindows.com/measure) for detailed instructions on how to properly measure for insert windows.

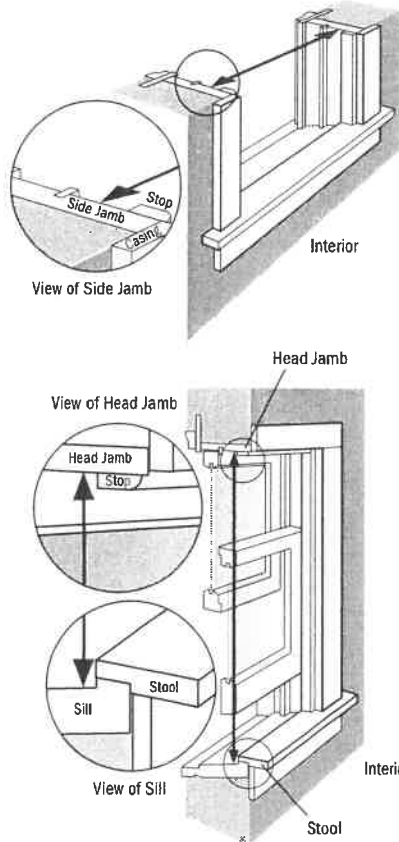
**Existing Window Measurements**

Required measurements:

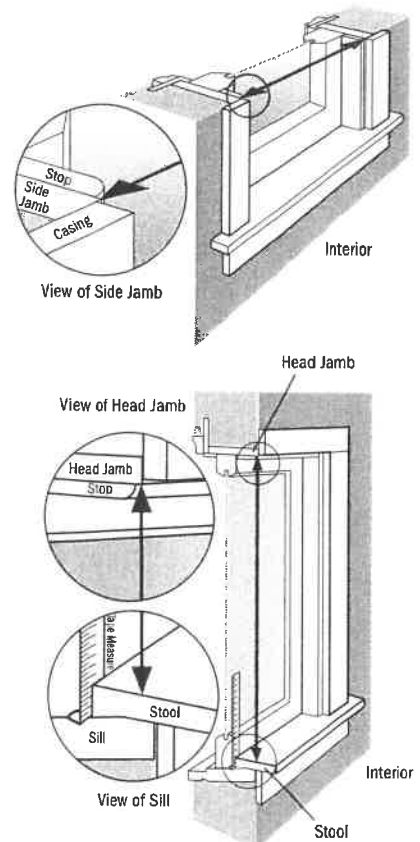
1. Existing Opening Height
2. Existing Sill Angle
3. Existing Opening Width



**Existing Double-Hung Window**



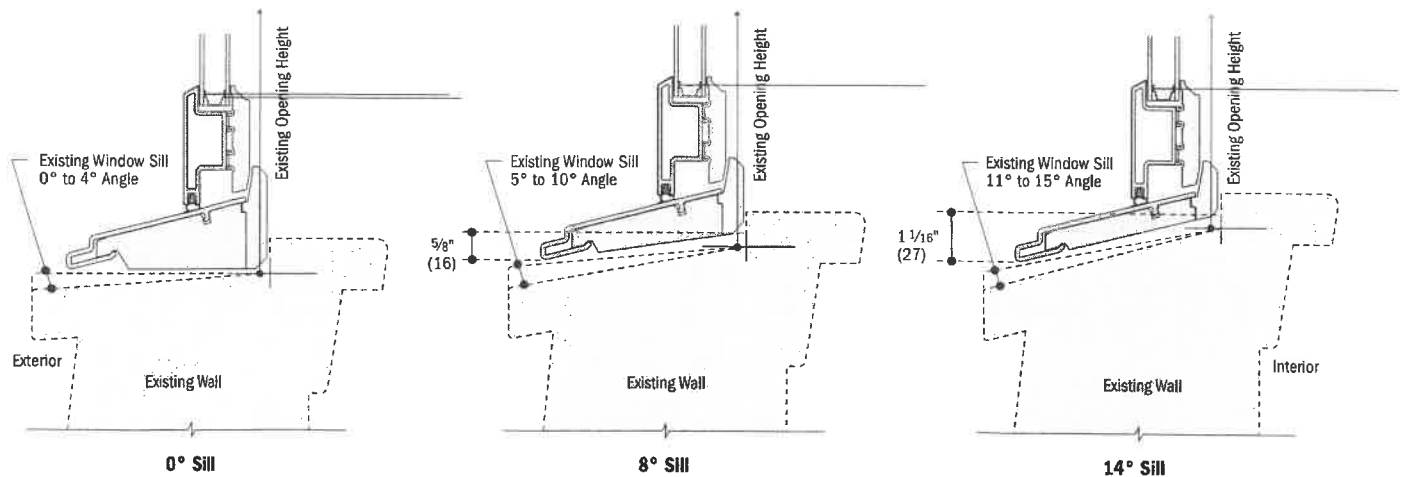
**Existing Picture Window**



**Sill Angle Details**

Scale 3" (76) = 1'-0" (305) – 1:4

Select a sill angle that most closely matches your existing sill angle.  
Windows with a smaller sill angle will have a larger maximum height.  
A "Sill Angle Finder App" is available, see page 69.

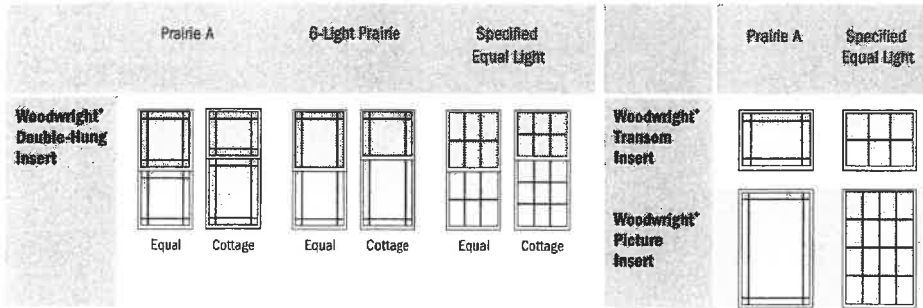


\* Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.  
\* Dimensions in parentheses are in millimeters.  
\* Refer to andersenwindows.com/measure for detailed instructions on how to properly measure for insert windows.

400 Series Woodwright® Double-Hung Insert Windows

# WOODWRIGHT® DOUBLE-HUNG INSERT WINDOWS

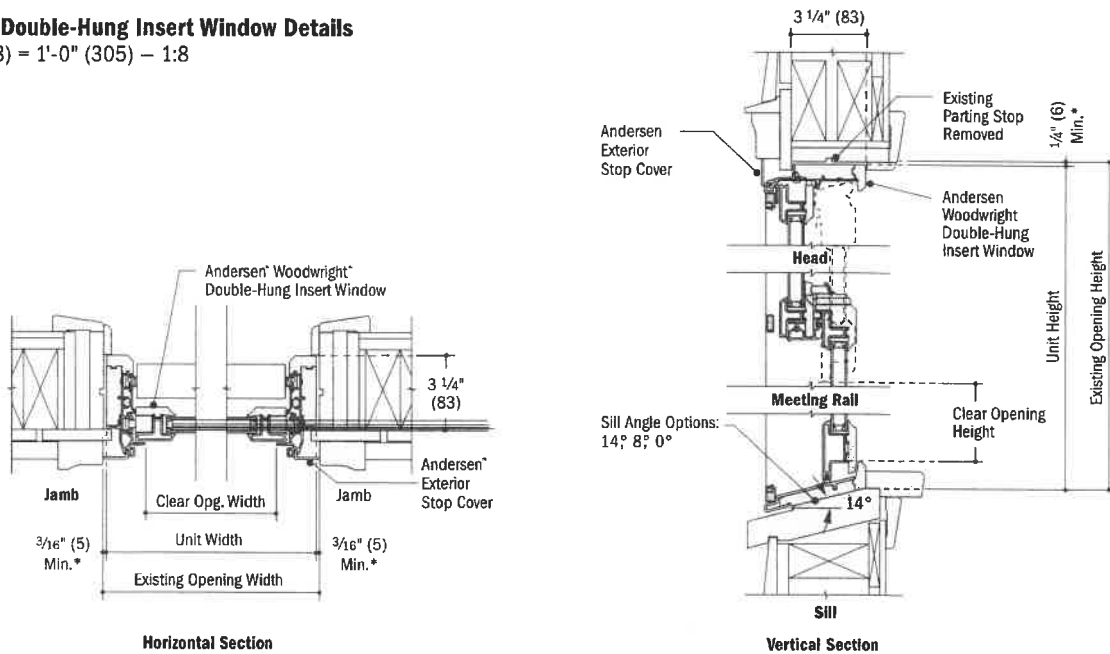
## Grille Patterns



Patterns for double-hung windows are also available in Upper Sash Only (USO) configurations. For picture window patterns that require alignment with double-hung window patterns, identify the sash style (equal, cottage, reverse cottage) when ordering. **Number of lights and overall pattern varies with window size. Patterns are not available in all configurations.** For more grille options, see page 13 or visit [andersenwindows.com/grilles](http://andersenwindows.com/grilles).

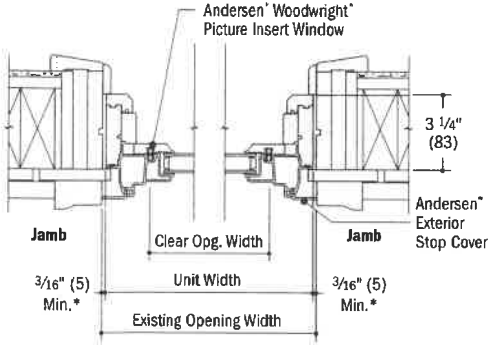
## Woodwright® Double-Hung Insert Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8

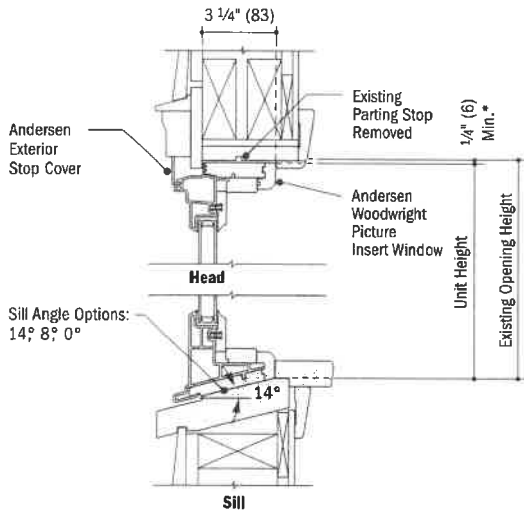


\* Light-colored areas are parts included with window. Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.  
 \* Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at [andersenwindows.com](http://andersenwindows.com).  
 \* Dimensions in parentheses are in millimeters.  
 \* Refer to [andersenwindows.com/measure](http://andersenwindows.com/measure) for detailed instructions on how to properly measure for insert windows.

**Woodwright® Picture Insert Window Details**  
Scale 1 1/2" (38) = 1'-0" (305) – 1:8

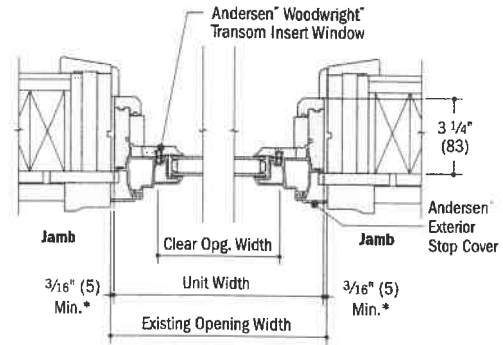


**Horizontal Section**

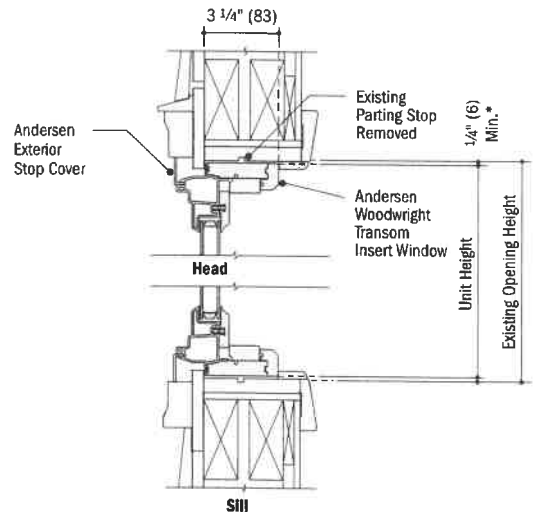


**Vertical Section**

**Woodwright® Transom Insert Window Details**  
Scale 1 1/2" (38) = 1'-0" (305) – 1:8



**Horizontal Section**



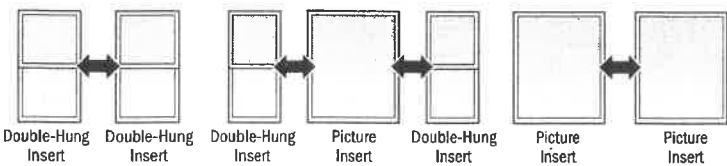
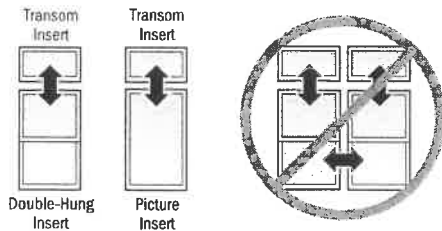
**Vertical Section**

400 Series Woodwright® Double-Hung Insert Windows

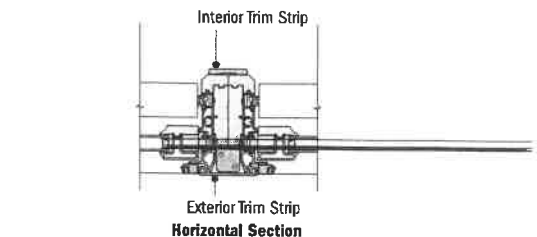
**Joining Combinations**

Join insert windows in one-way horizontal (stack) or vertical (ribbon) combinations.

Do not join insert windows in two-way combinations.



**Vertical (ribbon) Joining Detail**  
Scale 1 1/2" (38) = 1'-0" (305) – 1:8



**For more joining information, see the combination designs section starting on page 181.**

\*Light-colored areas are parts included with window, Dark-colored areas are additional Andersen® parts required to complete window assembly as shown.  
\*Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at [andersenwindows.com](http://andersenwindows.com).  
\*Dimensions in parentheses are in millimeters.  
\*Refer to [andersenwindows.com/measure](http://andersenwindows.com/measure) for detailed instructions on how to properly measure for insert windows.

# GLASS OPTIONS

Andersen has the glass you need to get the performance you want. From SmartSun™ glass with HeatLock® coating that is ENERGY STAR® certified in all climate zones\* to PassiveSun® glass that helps heat homes in northern areas, there's an option for every climate, project and customer. Check with your supplier for the selections that meet ENERGY STAR requirements in your area.

## PERFORMANCE COMPARISON OF ANDERSEN® GLASS OPTIONS

GLASS	ENERGY		LIGHT	
	U-FACTOR	SOLAR HEAT GAIN COEFFICIENT	VISIBLE LIGHT TRANSMITTANCE	UV PROTECTION
	How well a product prevents heat from escaping.	How well a product blocks heat caused by sunlight.	How much visible light comes through a product.	How well a product blocks ultraviolet rays.
SmartSun	●●●●○	●●●●●	●●●●○	●●●●●
SmartSun with HeatLock Coating	●●●●○	●●●●●	●●●●○	●●●●●
Low-E4®	●●●●○	●●●●○	●●●●○	●●●●○
Low-E4 with HeatLock Coating	●●●●○	●●●●○	●●●●○	●●●●○
Sun	●●●●○	●●●●●	●●●●○	●●●●○
PassiveSun	●●●●○	●●●●○	●●●●○	●●●●○
PassiveSun with HeatLock Coating	●●●●○	●●●●○	●●●●○	●●●●○
Clear Dual-Pane	●●●●○	○●○●○	●●●●○	○●○●○

Center of glass performance only. Ratings based on glass options as of January 2019. Visit [andersenwindows.com](http://andersenwindows.com) for ENERGY STAR map and NFRC total unit performance data.



### TIME-SAVING FILM

We help protect our products during delivery and construction with a translucent film on the glass. It also minimizes time spent masking on the jobsite, then peels away for a virtually spotless window.



Visit [andersenwindows.com/glass](http://andersenwindows.com/glass) for more details on our glass options.

### ADDITIONAL GLASS OPTIONS

**TEMPERED** safety glass, standard on patio doors

**LAMINATED** glass for added strength, enhanced security and sound control

**PATTERNED** glass lets in light while obscuring vision and adds a unique, decorative touch.

Cascade and Reed patterns can be ordered with either a vertical or horizontal orientation.



Cascade

Fern

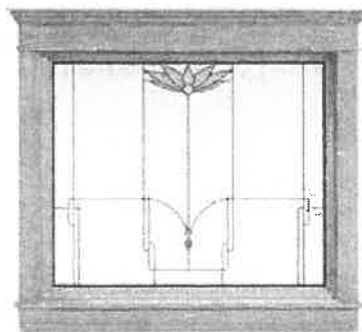


Obscure

Reed

### ART GLASS

With art glass from Andersen, you can add interest, create focal points and make your work stand out. These finely crafted inserts are available in two distinctly different series — Classic and Artisan — to complement any home's architecture. Visit [andersenwindows.com/artglass](http://andersenwindows.com/artglass) for more information.

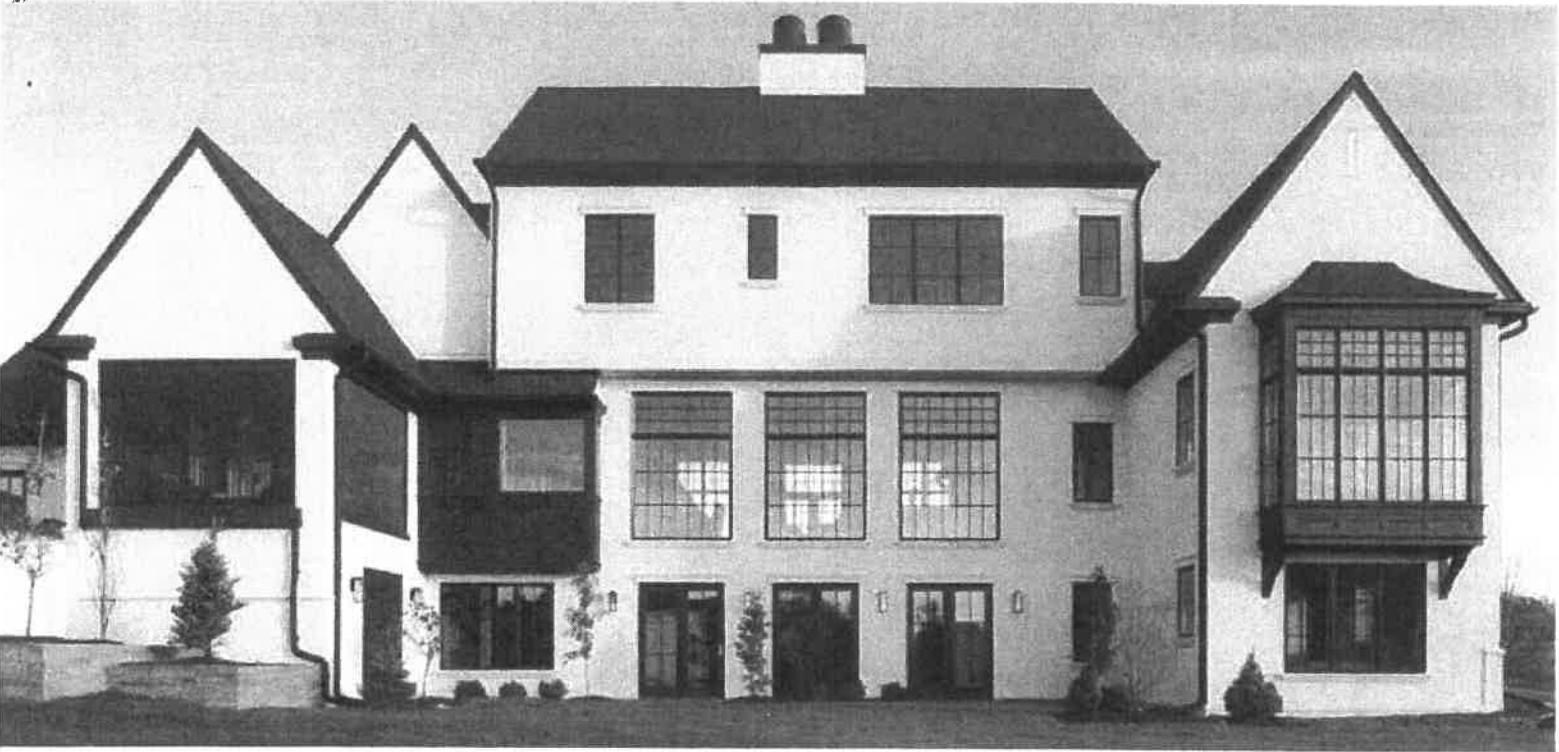


### STORMWATCH® PROTECTION

Most Andersen 400 Series windows are available with impact-resistant glass and structural upgrades to meet the tough building codes of hurricane-prone coastal areas. See your local code official for specific requirements.

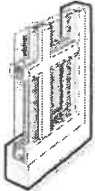


\* Andersen 400 Series products only with SmartSun glass with HeatLock coating (argon gas blend), no grilles, no capillary breather tubes. Excludes patterned/textured glass.



# GRILLE OPTIONS

Grille patterns are available in widths and configurations to fit any architectural style or the taste of any customer. We can match virtually any existing grille pattern and we'll even work with you and your customers to create custom patterns.



Permanent exterior  
Permanent interior  
with spacer

### FULL DIVIDED LIGHT

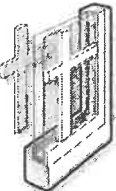
Permanently applied to the exterior and interior of the window with a spacer between the glass.



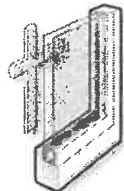
Permanent exterior  
Permanent interior

### SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.



Permanent exterior  
Removable interior



Removable interior



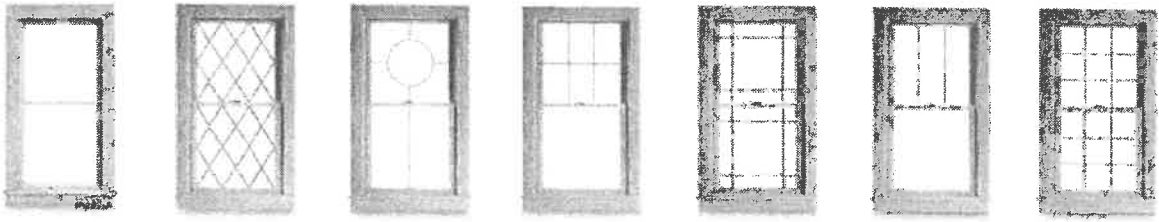
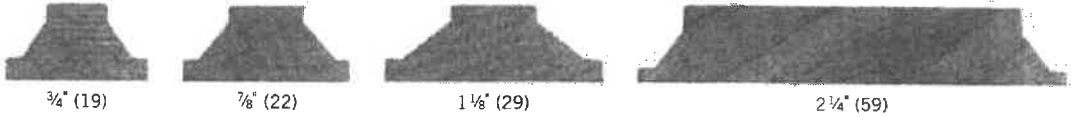
Finelight  
Grilles-  
Between-  
the-Glass\*

### CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes and feature a contoured profile in 1" (25) and 3/4" (19) widths.

### GRILLE BAR WIDTHS

Actual size shown.



To see all of the standard patterns available for a specific window, refer to the detailed product sections in this product guide.

\* 3/8" (22), 1 1/8" (29) and 2 1/4" (59) not available in Finelight grilles-between-the-glass. Dimensions in parentheses are in millimeters.

# COMPARISON CHART

Use the quick reference chart below to decide which Andersen® 400 Series products best fit your project needs.

FEATURES		WINDOWS							PATIO DOORS		
		WOODRIGHT® DOUBLE-HUNG FULL-FRAME	WOODRIGHT DOUBLE-HUNG INSERT	TILT-WASH DOUBLE-HUNG FULL-FRAME	TILT-WASH DOUBLE-HUNG INSERT	MAPOLINE® CONVERSION KIT	CASEMENT	AWNING	GLIDING	FRENCHWOOD® GLIDING	FRENCHWOOD HINGED INSWING
<b>LOW-MAINTENANCE EXTERIORS</b>											
	White	●	●	●	●	●	●	●	●	●	●
	Canvas	●	●	●	●	●	●	●	●	●	●
	Sandtone	●	●	●	●	●	●	●	●	●	●
	Terratone	●	●	●	●	●	●	●	●	●	●
	Forest Green	●	●	●	●	●	●	●	●	●	●
	Dark Bronze	●	●	●	●	●	●	●	●	●	●
	Black	●	●	●	●	●	●	●	●	●	●
<b>INTERIORS*</b>											
	Maple	●	●							●	●
	Oak	●	●							●	●
	Pine	●	●	●	●	●	●	●	●	●	●
	White	●	●	●	●	●	●	●	●	●	●
	Sandtone								●		
	Dark Bronze			●	●		●	●	●		
	Black			●	●		●	●	●		
<b>EASY CLEANING</b>											
	Tilt-to-Clean Sash	●	●	●	●	●					
<b>GRILLES &amp; BLINDS</b>											
	Full Divided Light	●	●	●	●	●	●	●	●	●	●
	Simulated Divided Light	●	●	●	●	●	●	●	●	●	●
	Finelight™ Grilles-Between-the-Glass	●	●	●	●	●	●	●	●	●	●
	Removable Interior Grilles	●	●	●	●	●	●	●	●	●	●
	Blinds-Between-the-Glass (select sizes only)								●	●	
<b>HIGH-PERFORMANCE GLASS</b> Additional glass options are available. See page 19 for details. For patio doors, all glass options are tempered.											
	Low-E4®	●	●	●	●	●	●	●	●	●	●
	Low-E4 Sun	●	●	●	●	●	●	●	●	●	●
	Low-E4 SmartSun™	●	●	●	●	●	●	●	●	●	●
	Clear Dual-Pane						●	●			
	HeatLock® Coating	●	●	●	●	●	●	●	●	●	●
<b>PERFORMANCE OPTION</b>											
	Stormwatch® Protection	PG Upgrade		●			●	●			
<b>STANDARD SIZES</b>											
	Minimum Width	1'-9 5/8"	1'-4 1/2"	1'-9 5/8"	1'-9 1/4"	Fit Narrowline windows made after 1967	1'-5"	2'-0 1/8"	2'-11 1/4"	4'-11 1/4"	2'-6 1/8"
	Maximum Width	3'-9 5/8"	3'-9 3/8"	3'-9 5/8"	3'-8 7/8"		2'-11 15/16"	5'-11 1/8"	5'-11 1/4"	15'-9"	8'-11 1/8"
	Minimum Height	3'-0 7/8"	2'-3 3/4"	3'-0 7/8"	3'-0 3/4"		2'-0 1/8"	1'-5"	1'-10 1/4"	6'-7 1/2"	6'-7 1/2"
	Maximum Height	6'-4 7/8"	6'-5"	7'-8 7/8"	7'-6 5/8"		5'-11 7/8"	4'-0"	4'-11 1/4"	7'-11 1/2"	7'-11 1/2"
<b>CUSTOM SIZES</b>											
		●	●	●	●		●	●		●	●

To learn more about other traditional and contemporary style Andersen patio door options, visit [andersenwindows.com/doors](http://andersenwindows.com/doors).

\* Some product configurations not available in all colors or wood species, see your Andersen supplier for details.

**1 Raynes Avenue, 31 Raynes Avenue  
& 203 Maplewood Avenue**

**LUHD-234**

**Work Session**





12/30/2021

**LUHD-234**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Nov 13, 2020**Applicant**

Eben Tormey  
 etormey@xsshotels.com  
 1359 Hooksett Road  
 Hooksett, NH 03106  
 603-518-2132

**Location**

1 RAYNES AVE  
 Portsmouth, NH 03801

**Owner:**

ONE RAYNES AVE LLC  
 1359 HOOKSETT RD HOOKSETT, NH 03106

**Application Type****Please select application type from the drop down menu below**

Work Session

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Redevelopment of 1 Raynes Ave, 31 Raynes Ave, and 203 Maplewood Ave. Two buildings proposed on merged lot. A 4- to 5-story mixed use building with ground floor retail/office/restaurant and residential above on what is now 203 Maplewood Ave and 31 Raynes Ave and a 5-story hotel on what is now 1 Raynes Ave. Redevelopment will include waterfront mixed-use path (part of the North Mill Pond Greenway) connecting Maplewood Avenue to the proposed North Mill Pond Community Park and Market Street beyond.

**Description of Proposed Work (Planning Staff)**

the construction of a 4-5 story mixed-use building and a 5-story hotel

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Chris Lizotte, AIA

**Business Name (if applicable)**

PROCON

**Mailing Address (Street)**

PO Box 4430

**City/Town**

Manchester

**State**

NH

**Zip Code**

03108

**Phone**

(603) 518-2279

**Email Address**

clizotte@proconinc.com

**Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**RAYNES AVENUE  
LETTER OF AGENDA**

We respectfully submit this Application for Work Session 4.

The following submission is formatted to review **Step 2: Massing**, with a primary focus on the massing of the Hotel Building, and review of the Mixed Use Building Massing as presented in WS#3.

It would be helpful to begin discussions relative to **Step 3: Architectural Style** at this time. The building style plays an integral role in the development of massing and in order to develop a final massing that will support the desired Architectural Style, it is critical to the design process to identify a direction for proposed architectural style(s) and building elements.

**1.0** Review of proposed Building footprints relative to existing footprints of surrounding buildings as shown in an aerial view.

**2.0** Views of the Hotel Massing moving counterclockwise from Maplewood Ave, around the site. The Mixed Use Building Massing from WS#3 is depicted in white box format relative to the Hotel Building.

**3.0** Review of proposed Architectural Styles for discussion.

**4.0** Potential Architectural updates to the Mixed Use Building:

- Rooftop deck screening
- Residential Entry facing North Mill Pond.
- Trellis and Canopy Development.
- Landscape Screening Fence

**5.0** Landscape plan updates showing enhanced connectivity to the greenway.

**6.0** Reference Pages

Thank you for your consideration.  
Sincerely,



Carla Goodknight, AIA, NCARB  
Principal, CJ Architects





RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

MAPLEWOOD BRIDGE VIEW

HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



2.0



RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVENUE ENTRY VIEW

HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



2.1



RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

NORTH MILL POND VIEW

HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



2.2



RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

VAUGHAN STREET VIEW

HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022





RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

MARKET STREET VIEW ACROSS  
NORTH MILL POND  
HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



2.4



RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

NORTH MILL POND GREENWAY  
VIEW  
HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



2.5





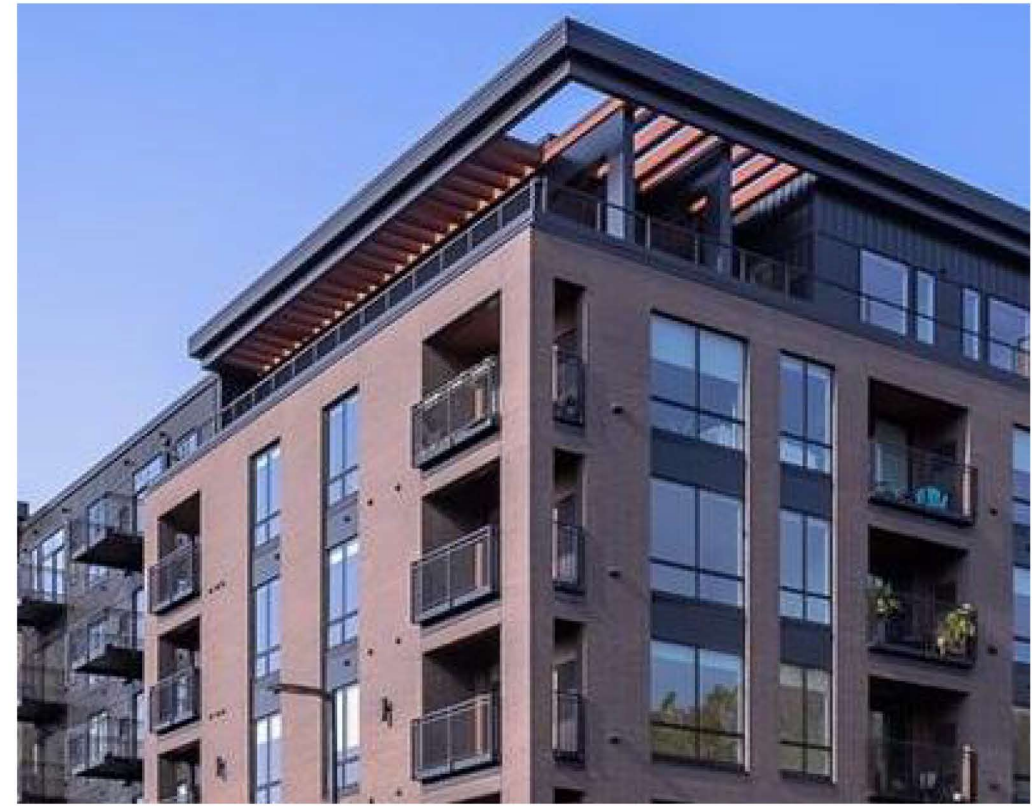
RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

NORTH MILL POND VIEW

HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



2.6



RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

DESIGN INSPIRATION

HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



3.0

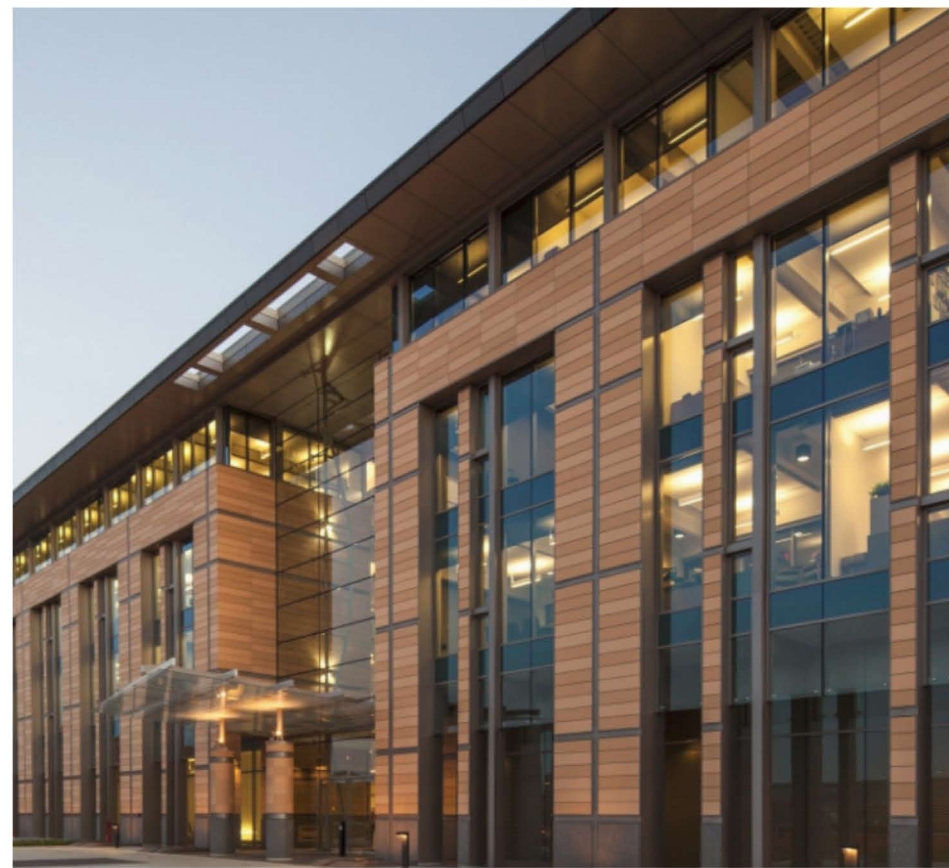
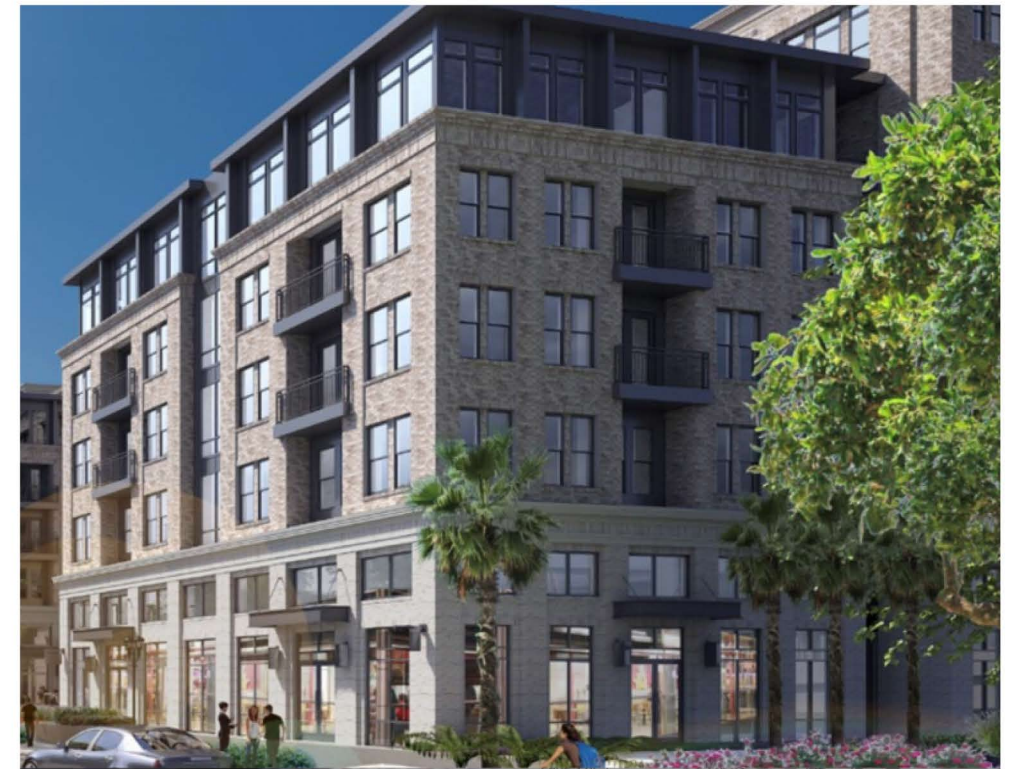


RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

DESIGN INSPIRATION

HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



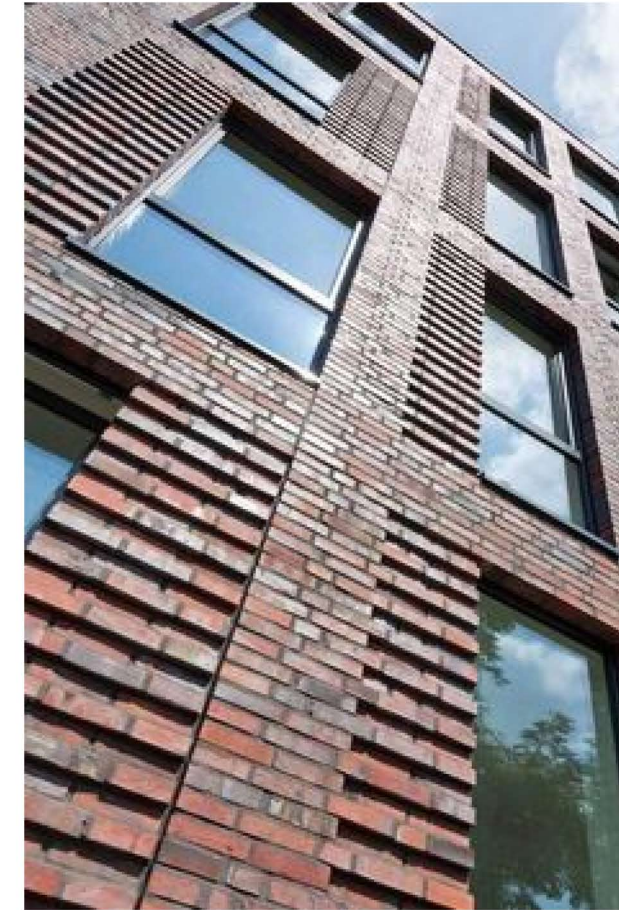


RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

DESIGN INSPIRATION

HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022





RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

### DESIGN INSPIRATION

HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



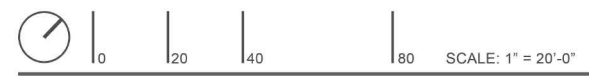


RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED UPDATES TO MIXED USE  
BUILDING  
HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



4.0



**SITE LANDSCAPE PLAN**

**RAYNES AVE - PORTSMOUTH, NH**  
11/15/2021



RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

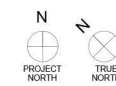
SITE LANDSCAPE PLAN  
REFERENCE  
HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



5.0



1 PROPOSED SITE PLAN



RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED FIRST FLOOR PROGRAM  
REFERENCE  
HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022

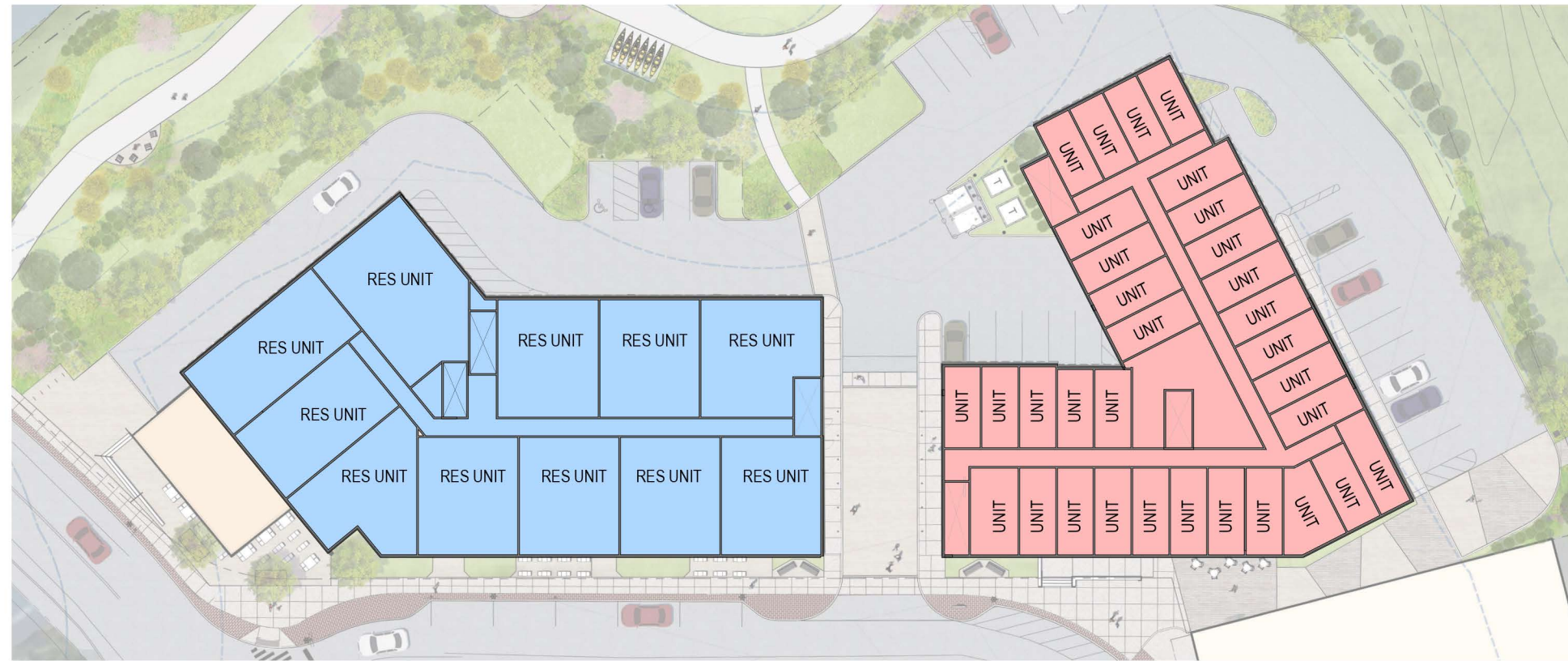


6.0

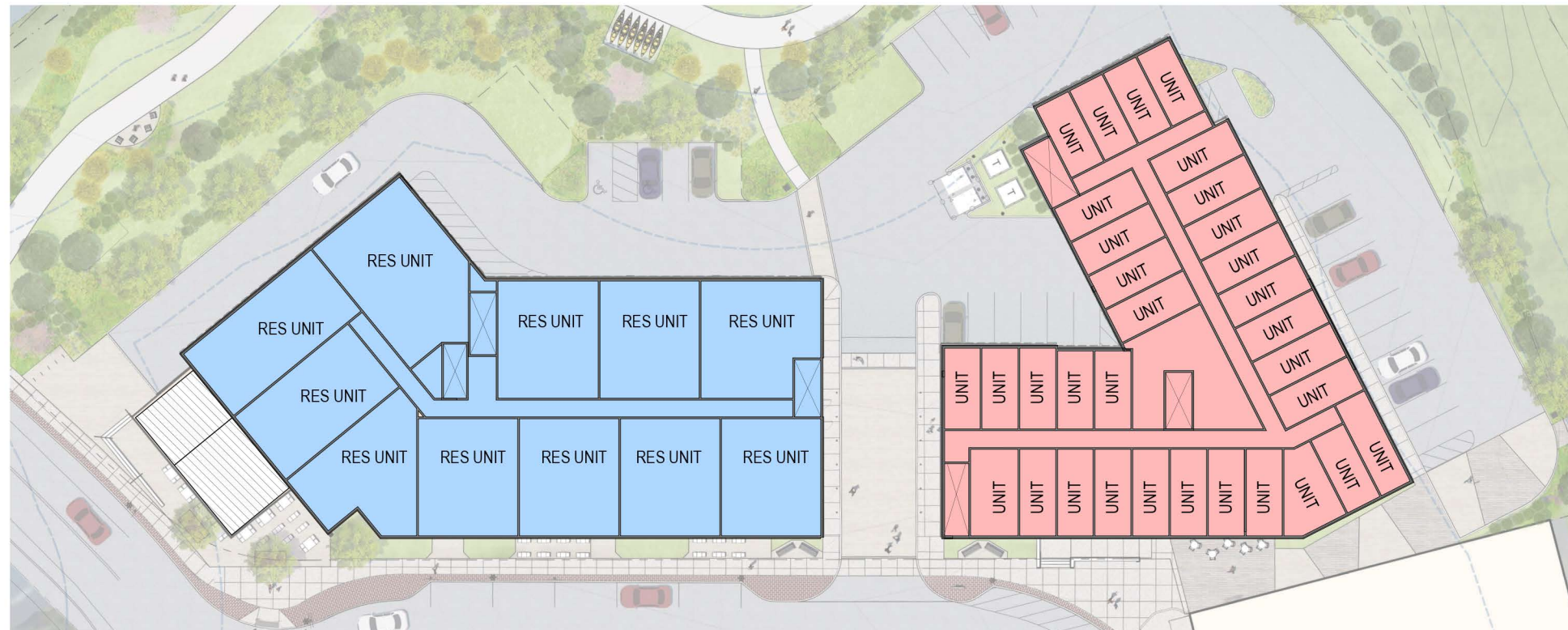


COLOR KEY

- HOTEL
- RESIDENTIAL



OVERALL THIRD FLOOR PLAN



OVERALL SECOND FLOOR PLAN

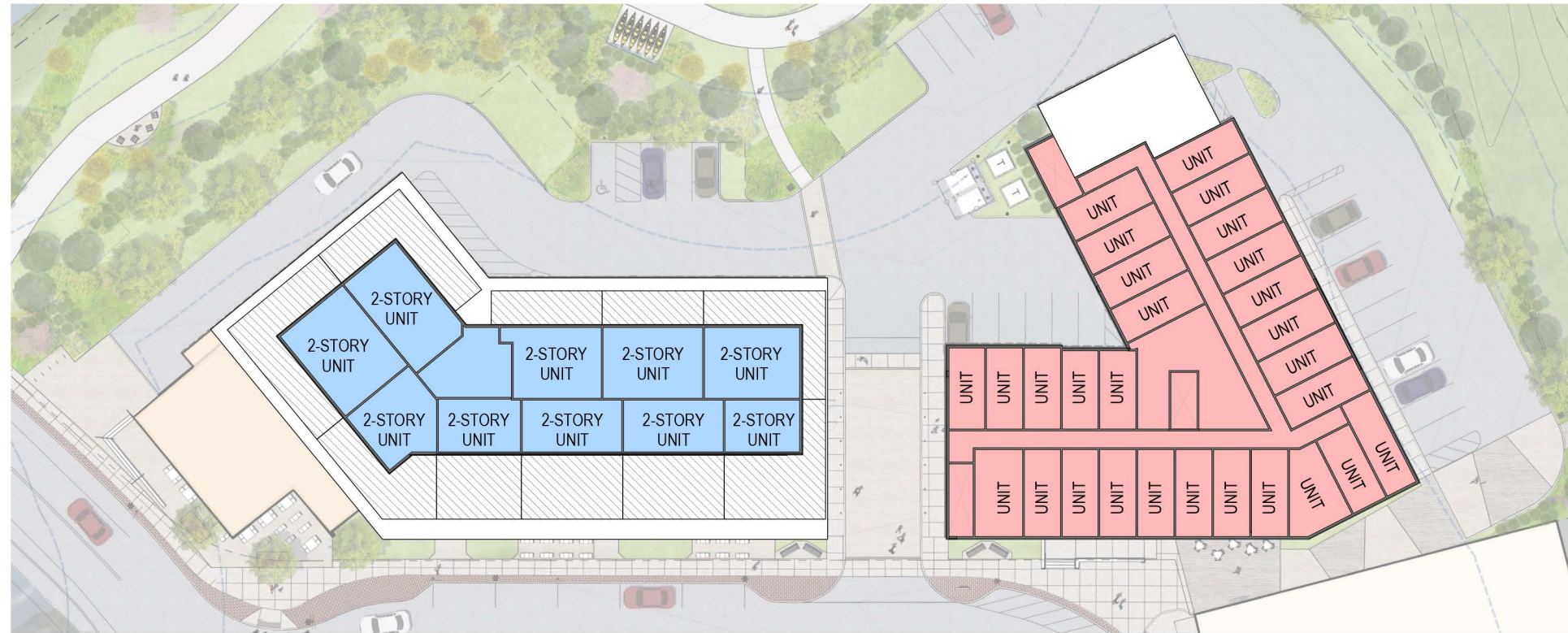
RAYNES AVENUE  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED UPPER FLOORS PROGRAM  
REFERENCE

HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022



COLOR KEY  
 HOTEL  
 RESIDENTIAL



OVERALL FIFTH FLOOR PLAN



OVERALL FOURTH FLOOR PLAN

RAYNES AVENUE  
 PORTSMOUTH, NEW HAMPSHIRE

PROPOSED UPPER FLOORS PROGRAM  
 REFERENCE

HISTORIC DISTRICT COMMISSION WORK SESSION 4: JANUARY 5, 2022





## RAYNES AVENUE

PLAN PORTSMOUTH 3D MODEL: AREA 7  
CHARACTER DISTRICT: CD-4

### BUILDING TOTALS:

RESIDENTIAL: 65,150SF - 60 UNITS  
HOTEL: 68,000SF - 128 UNITS

ZONING DISTRICT: CHARACTER DISTRICT 4 (CD4)  
DOWNTOWN OVERLAY DISTRICT  
NORTH END INCENTIVE OVERLAY DISTRICT  
HISTORIC DISTRICT

PROPOSED USE: MULTI FAMILY DWELLING  
HOTEL  
RETAIL/RESTAURANT

PROPOSED LOT SIZE: ±2.53 ACRES (±110,415 SF)

### DEVELOPMENT STANDARDS

#### BUILDING PLACEMENT (PRINCIPAL BUILDING):

	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
MAXIMUM PRINCIPAL FRONT YARD:	15 FT	±16 FT <sup>(1)</sup>	7.4 FT
MAXIMUM SECONDARY FRONT YARD:	12 FT	±5 FT	N/A
SIDE YARD:	NR	NR	NR
MINIMUM REAR YARD:	5 FT	N/A	N/A
MINIMUM FRONT LOT LINE BUILDOUT:	50%	66.7%	66.7%

(1) - INCREASE ABOVE THE MAXIMUM ALLOWED PER 10.5A42.12

#### BUILDING AND LOT OCCUPATION:

	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
MAXIMUM BUILDING BLOCK LENGTH:	200 FT	191 FT	116 FT
MAXIMUM FACADE MODULATION LENGTH:	80 FT	<80 FT	<80 FT
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT	<50 FT
MAXIMUM BUILDING COVERAGE:	90%	±47.0%	±47.0%
MAXIMUM BUILDING FOOTPRINT:	30,000 SF <sup>(2)</sup>	17,383 SF	14,628 SF
MINIMUM LOT AREA:	NR		
MINIMUM LOT AREA PER DWELLING UNIT:	NR		
MINIMUM OPEN SPACE:	10%	35.0%	
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF	8,100 SF	7,400 SF

(2) - INCREASE ABOVE 15,000 SF ALLOWED PER 10.5A46.10

#### BUILDING FORM (PRINCIPAL BUILDING):

	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
BUILDING HEIGHT:	5 STORY <sup>(3)</sup> 60 FT	5 STORY 59.77 FT	5 STORY 57.90 FT
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36"	<36"
MINIMUM GROUND STORY HEIGHT:	12 FT	15 FT	15 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10.5 FT	10.5 FT
FACADE GLAZING:			
SHOP FRONT FACADE TYPE	70%	70%	70%
ALLOWED ROOF TYPES	FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT	FLAT

**2 Russell Street and 0 Deer Street  
(2 lots)**

**LUHD-366**

**Work Session**



12/30/2021

**LUHD-366**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jul 13, 2021**Applicant**

Ryan Plummer  
 ryan@twointernationalgroup.com  
 1 New Hampshire Ave, Suite 123  
 Portsmouth, NH 03801  
 603.431.6400 ext. \_\_\_\_\_

**Location**

2 RUSSELL ST  
 Portsmouth, NH 03801

**Owner:**

PORT HARBOR LAND LLC  
 1000 MARKET ST BUILDING ONE PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Work Session

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Development of a roughly 2 acre parcel in CD-5, Historic District, and NEIOD.

**Description of Proposed Work (Planning Staff)**

new construction of a free-standing structure (construct a 3-5 story mixed-use building)

**Project Representatives**

<b>Relationship to Project</b>	
Other	
<b>If you selected "Other", please state relationship to project.</b>	
Owner's Representative	
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Ryan Plummer	Two International Group
<b>Mailing Address (Street)</b>	<b>City/Town</b>
1 New Hampshire Ave, Suite 123	Portsmouth
<b>State</b>	<b>Zip Code</b>
NH	03801
<b>Phone</b>	<b>Email Address</b>
6034316400	ryan@twointernationalgroup.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



# **RUSSELL STREET DEVELOPMENT**

HDC WORK SESSION #3 | 1.05.2022

# PROJECT TEAM

---

**PORT HARBOR  
LAND, LLC**  
OWNER

**SGA**  
ARCHITECT



**MARKET SQUARE  
ARCHITECTS**  
ARCHITECT OF RECORD



**TIGHE & BOND**  
CIVIL



# SITE CONTEXT | DOWNTOWN PORTSMOUTH





# SITE CONTEXT | NORTH END SITE ANALYSIS



## KEY

- PROJECT SITE
- BIKE LANE
- BUS BUS
- NEW DEVELOPMENT
- GREEN SPACE

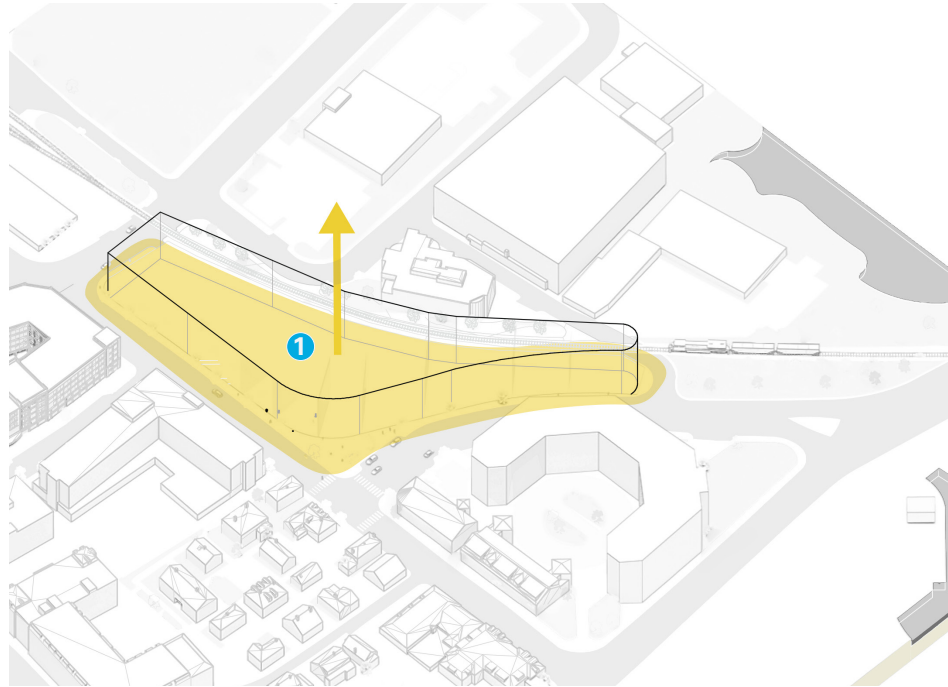


# SITE CONTEXT | EXISTING SITE PHOTOS

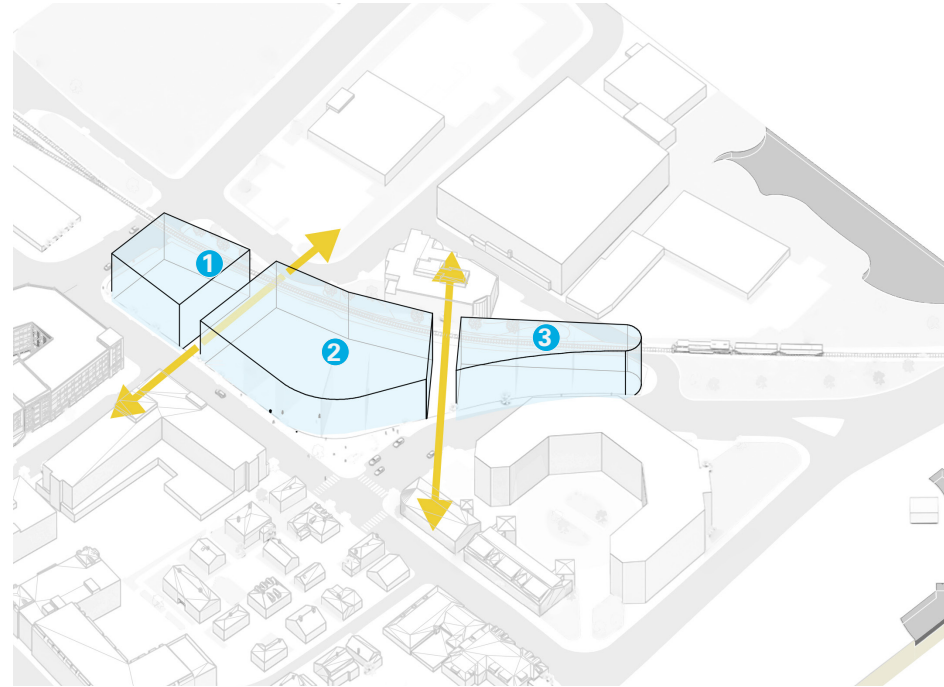


- A. View from Russell Street looking South towards site
- B. View from site looking South towards Portwalk Place
- C. View from site looking NE towards Vaughan Street
- D. View from site looking South down Maplewood Avenue

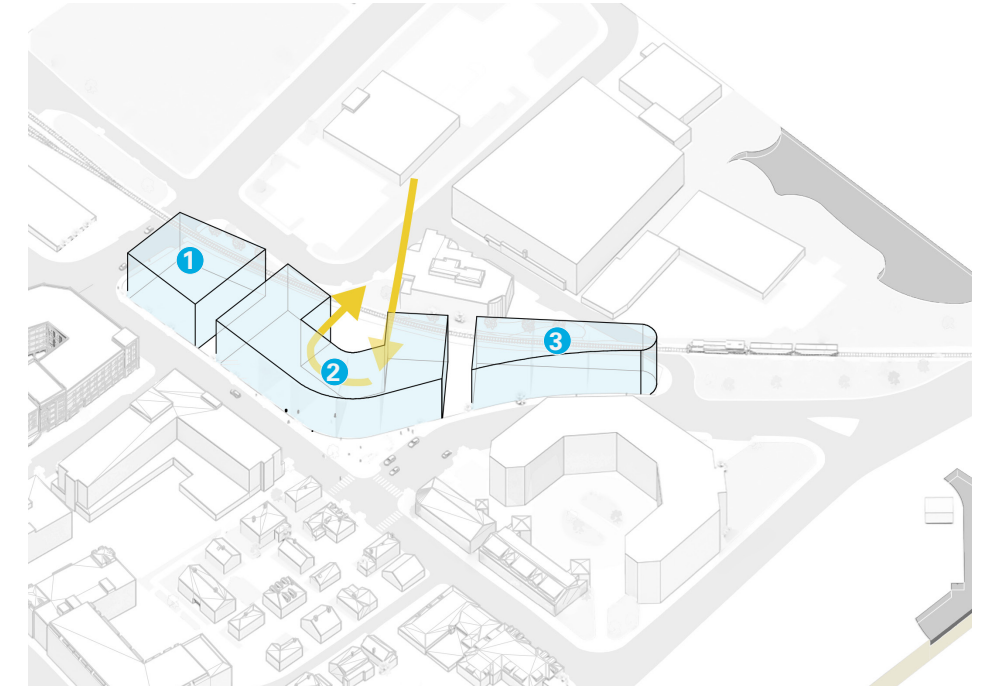
# MASSING DIAGRAMS



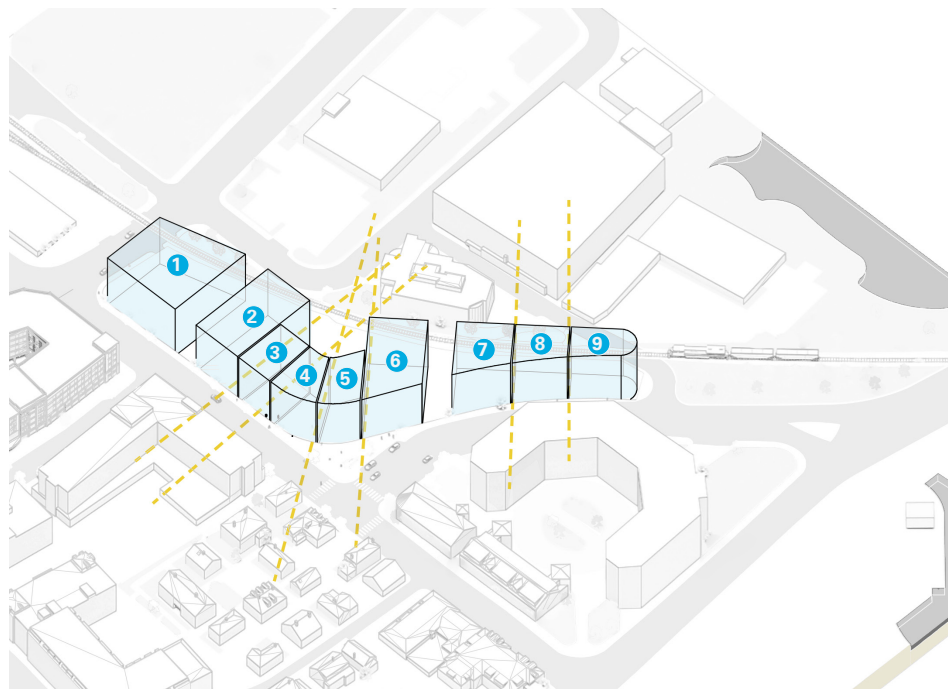
**STEP 1: EXTRUDE THE ENTIRE BUILDABLE SITE**  
TO MAXIMIZE BUILDING HEIGHT AND FOOTPRINT.



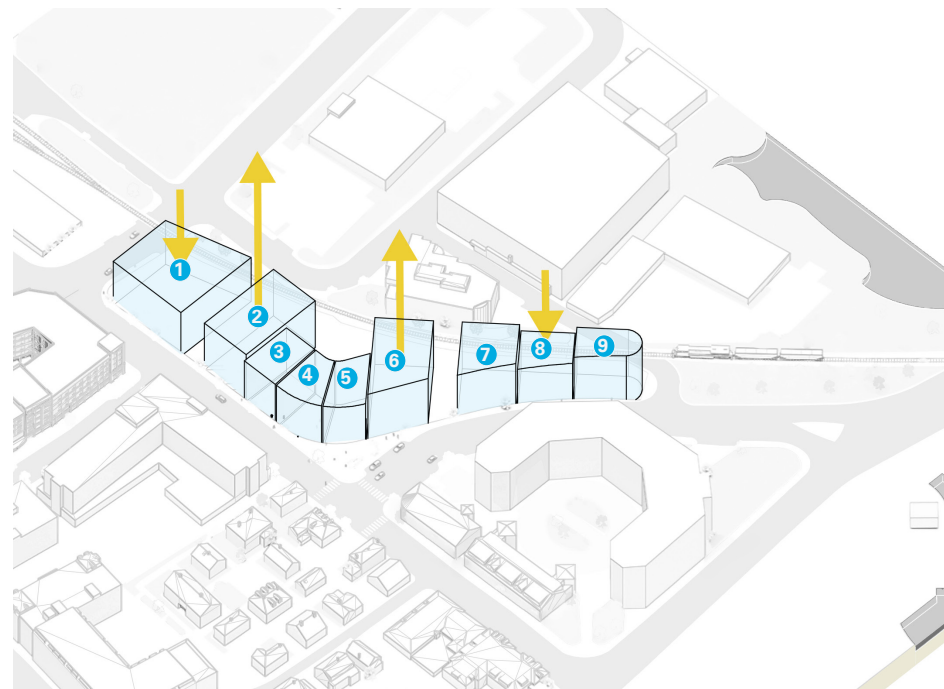
**STEP 2: CREATE VIEW CORRIDORS**  
TO FRAME CONTEXT AND BREAK DOWN BUILDING SCALE.



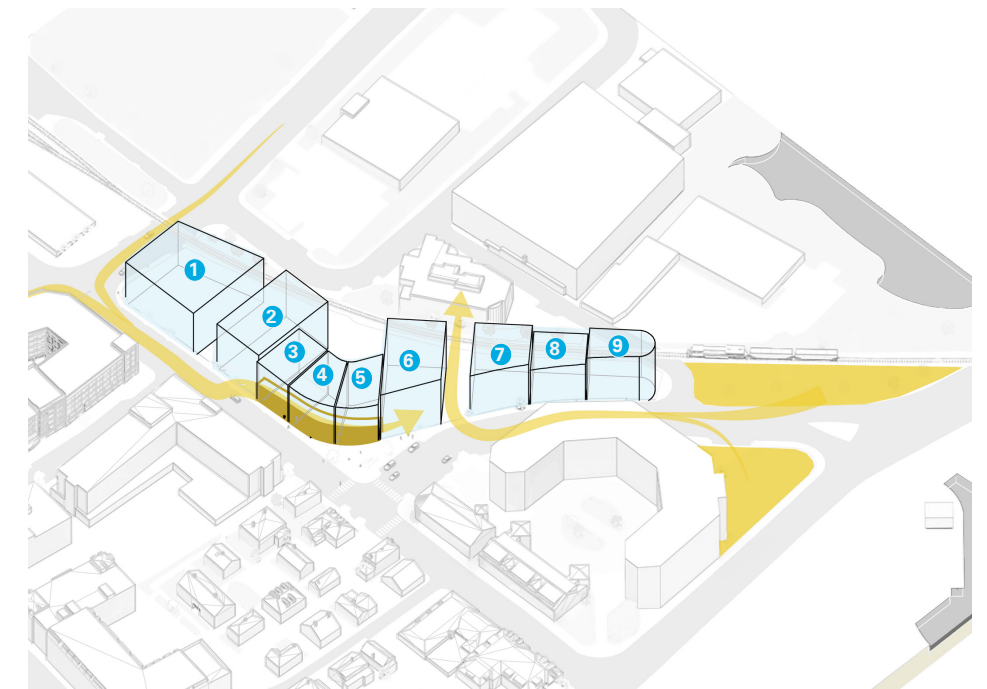
**STEP 3: CARVE AWAY AT THE MASS**  
TO FORM OUTDOOR COURTYARD SPACE.



**STEP 4: BREAK THE MASSES INTO MODULES**  
TO RELATE TO THE SURROUNDING CONTEXT SCALE.

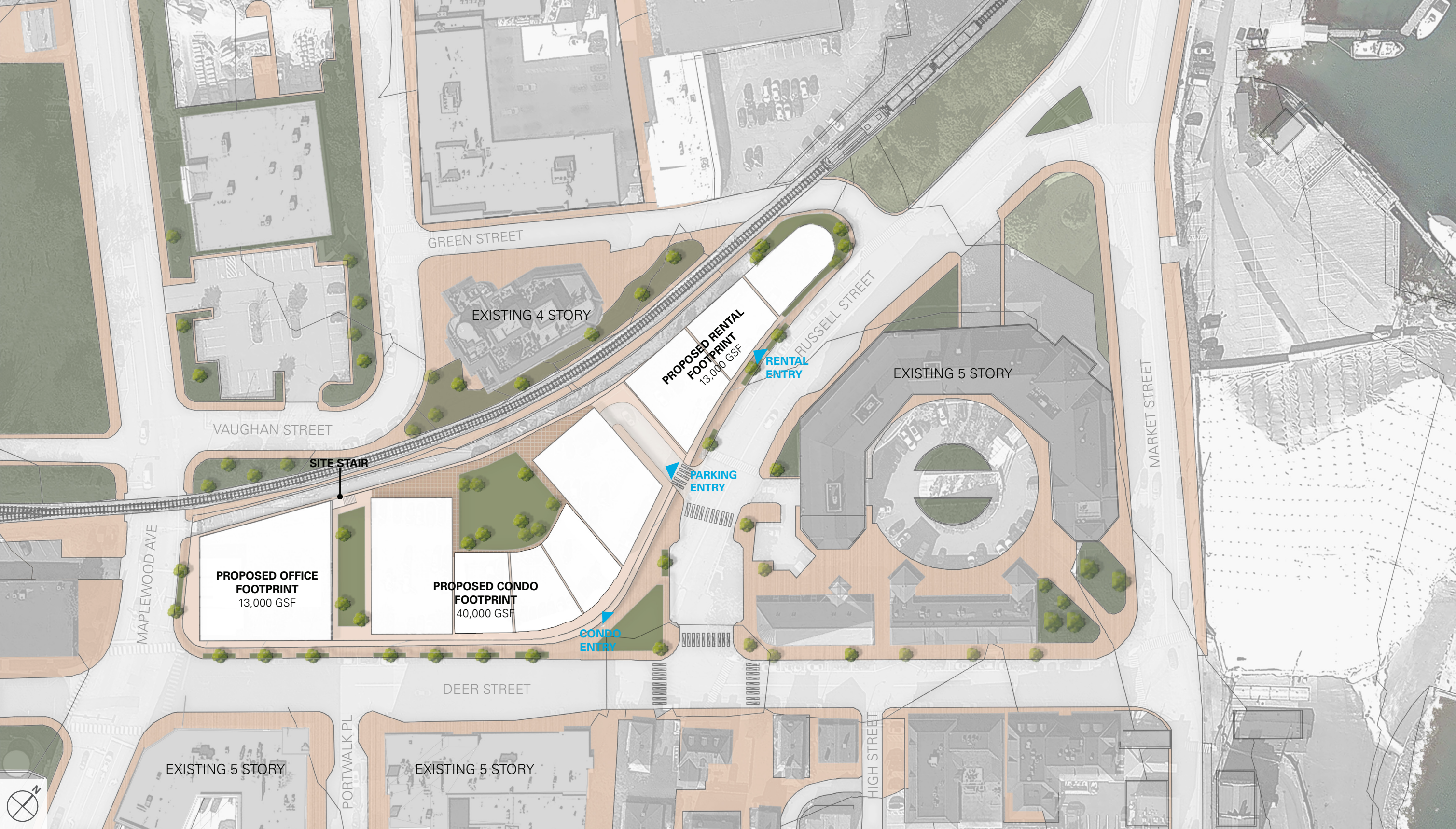


**STEP 5: VARY MODULE HEIGHTS AND SETBACKS**  
TO CREATE VISUAL BREAKS IN THE FACADES.

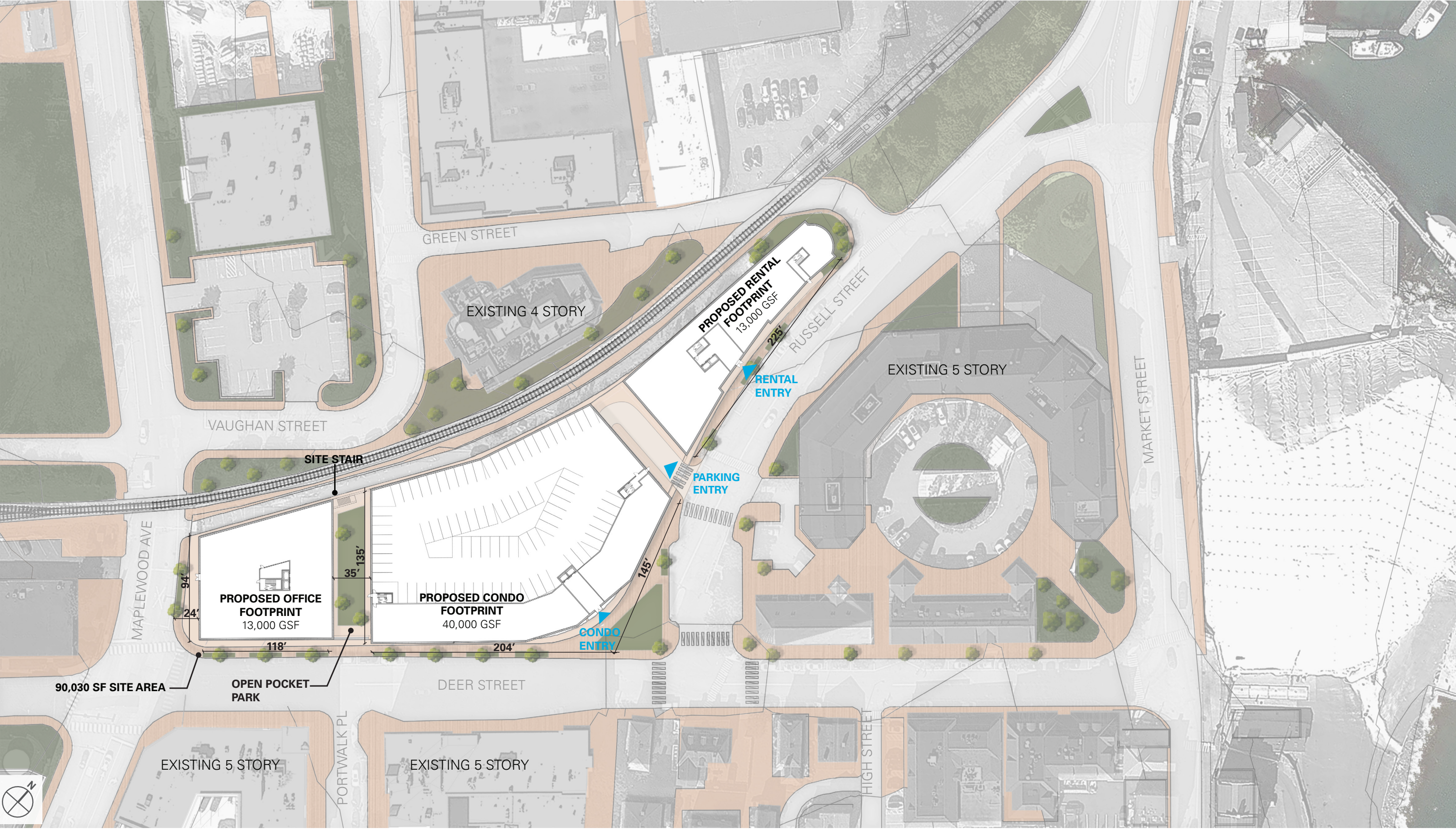


**STEP 6: PULL IN COMMUNITY SPACE**  
TO STRENGTHEN PUBLIC INTERACTION WITH THE SITE

# SITE PLAN



# GROUND FLOOR PLAN



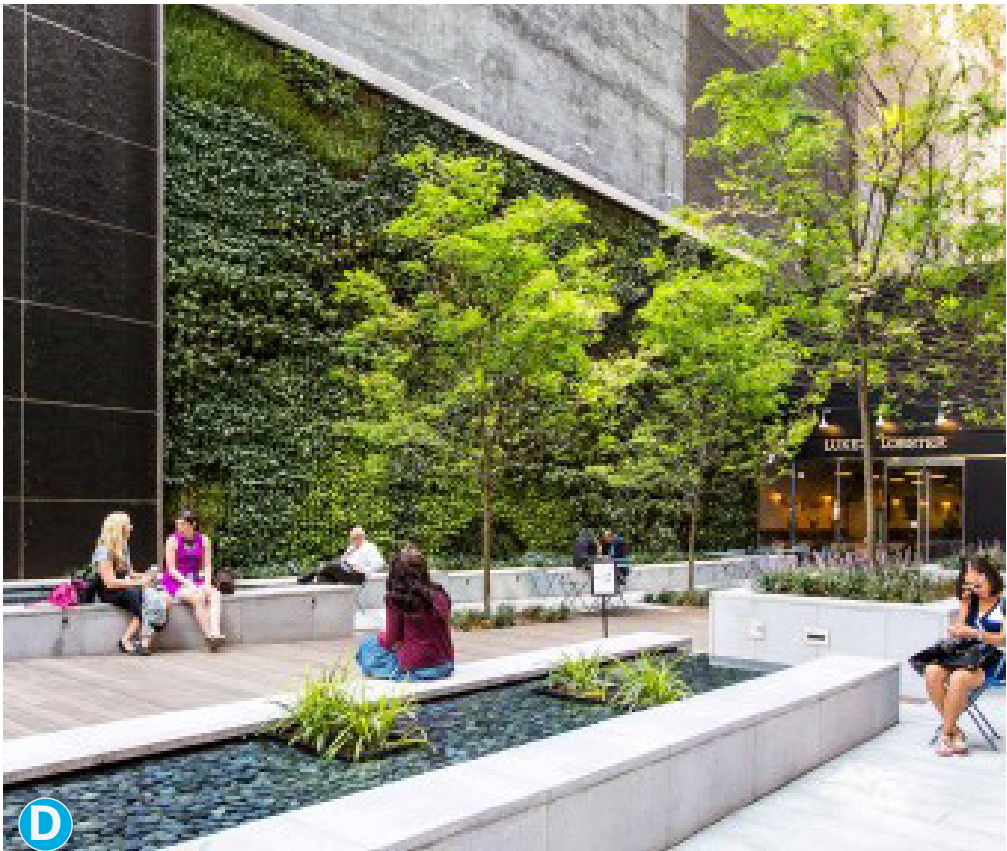
# PRECEDENT IMAGES - FACADE



# PRECEDENT IMAGES - LOCAL PORTSMOUTH



# PRECEDENT IMAGES - COMMUNITY SPACE





# PERSPECTIVES | DEER & RUSSELL



# PERSPECTIVES | RUSSELL & GREEN



# PERSPECTIVES | MAPLEWOOD & VAUGHAN



---

ARCHITECTURE | PLANNING  
INTERIOR DESIGN | VDC  
BRANDED ENVIRONMENTS

---

**BOSTON**  
200 HIGH ST, FLOOR 2  
BOSTON, MA 02110

---

**NEW YORK**  
54 W 21ST ST, SUITE 804  
NEW YORK, NY 10010

---

SGA-ARCH.COM  
857.300.2610

# THANK YOU

**0 Maplewood Avenue**

**LUHD-390**

**Work Session**



12/30/2021

**LUHD-390**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Sep 17, 2021**Applicant**

Michael Keane  
 michael@mjkarchitects.com  
 101 Kent Place  
 Newmarket, NH 03857  
 603 292 1400

**Location**

0 MAPLEWOOD AVE  
 Portsmouth, NH 03801

**Owner:**

HENSON STEVEN P & HENSON CATHY ANN  
 36 NORTH SCHOOL ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Work Session

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Proposed new single-family residence on vacant parcel

**Description of Proposed Work (Planning Staff)**

allow the construction of a new single family dwelling

**Project Representatives**

<b>Relationship to Project</b>	
Developer	
<b>If you selected "Other", please state relationship to project.</b>	
--	
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Michael Brown	MB2 Development LLC
<b>Mailing Address (Street)</b>	<b>City/Town</b>
P.O Box 372	Greenland
<b>State</b>	<b>Zip Code</b>
NH	03840
<b>Phone</b>	<b>Email Address</b>
6032347521	mb2development@gmail.com

<b>Relationship to Project</b>	
Architect	
<b>If you selected "Other", please state relationship to project.</b>	
--	
<b>Full Name (First and Last)</b>	<b>Business Name (if applicable)</b>
Michael Keane	Michael J Keane Architects PLLC



## WEST ELEVATION

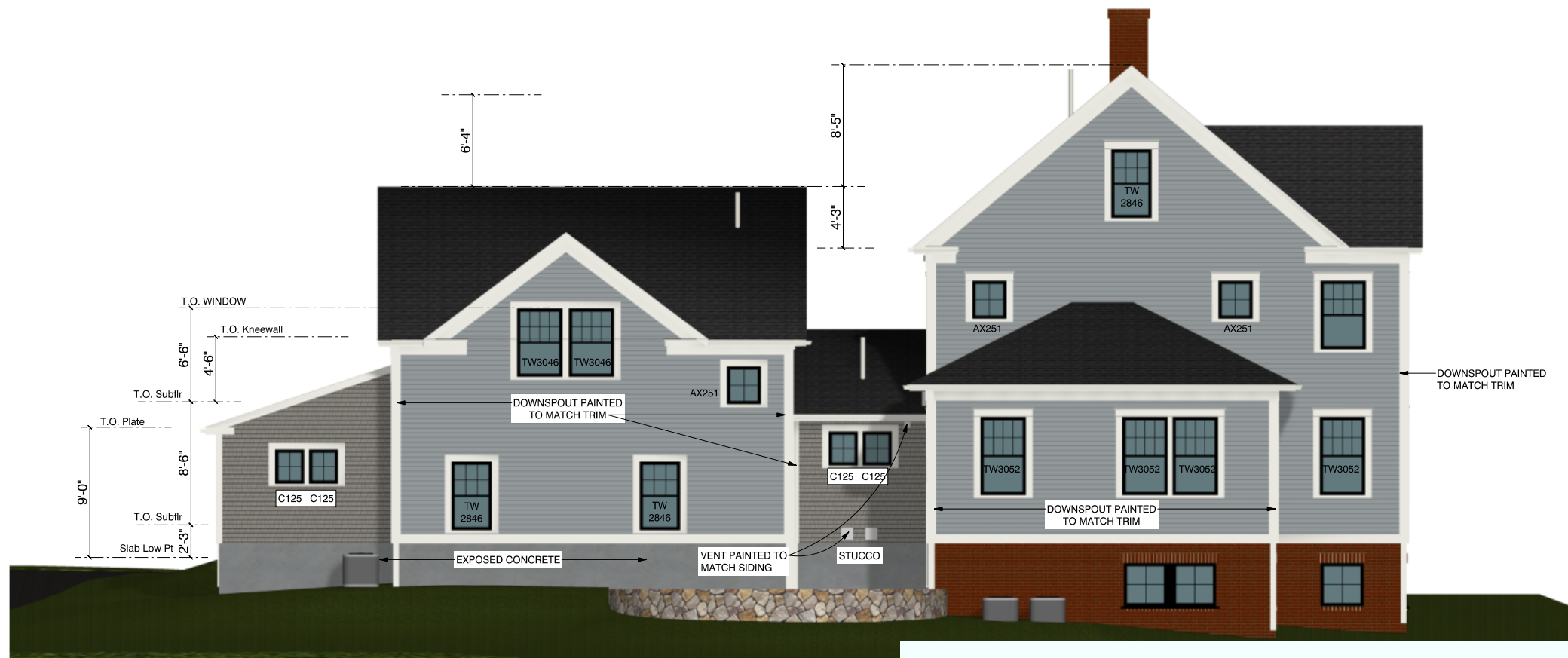
SCALE: 1" = 10'-0"



## NORTH ELEVATION

SCALE: 1/8" = 1'-0"





**EAST ELEVATION**  
SCALE: 1" = 10'-0"





**SOUTH ELEVATION**  
SCALE: 1" = 10'-0"





PROPOSED RESIDENCE 00 MAPLEWOOD AVE  
PORTSMOUTH, NEW HAMPSHIRE

HISTORIC DISTRICT COMMISSION WORKSESSION 4

101 KENT PLACE NEWMARKET, NH 03857 603.292.1400

December 22, 2021



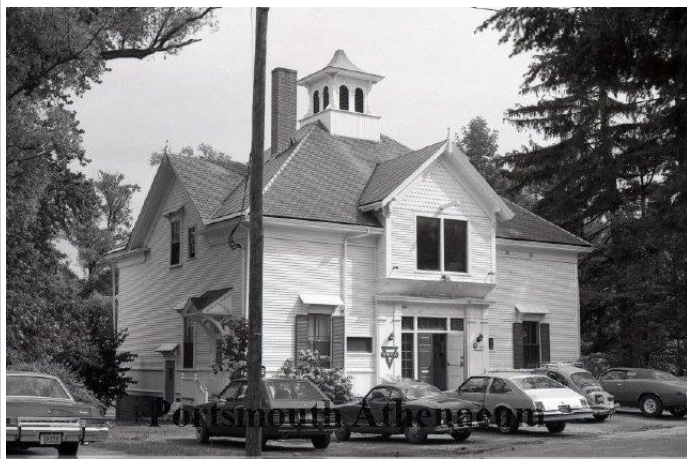
MICHAEL J. KEANE  
ARCHITECTS, PLLC

PROPOSED RESIDENCE 00 MAPLEWOOD AVE  
PORTSMOUTH, NEW HAMPSHIRE

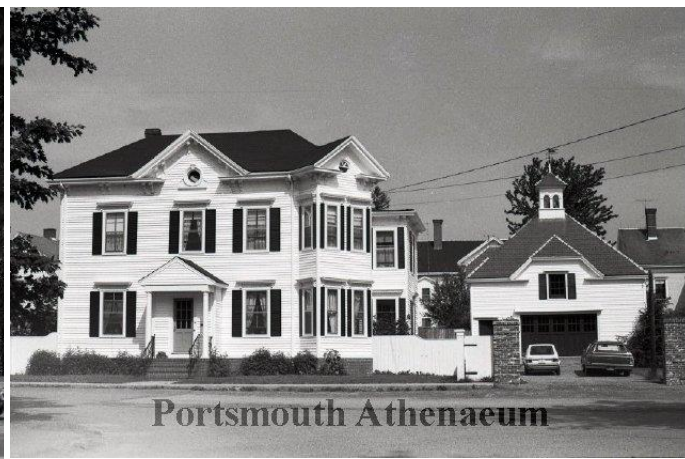
HISTORIC DISTRICT COMMISSION WORKSESSION 4

101 KENT PLACE NEWMARKET, NH 03857 603.292.1400

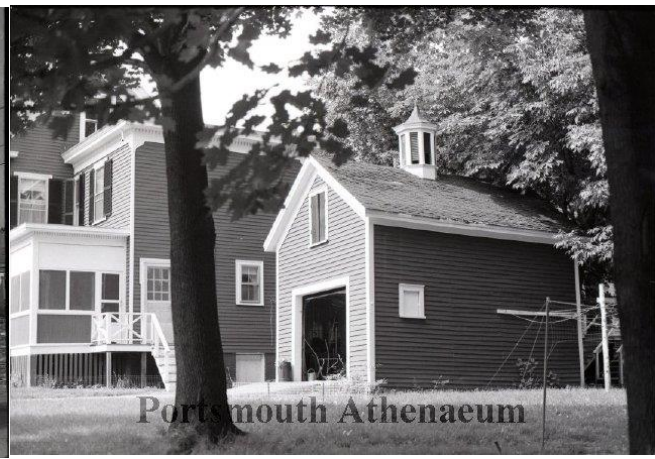
December 22, 2021



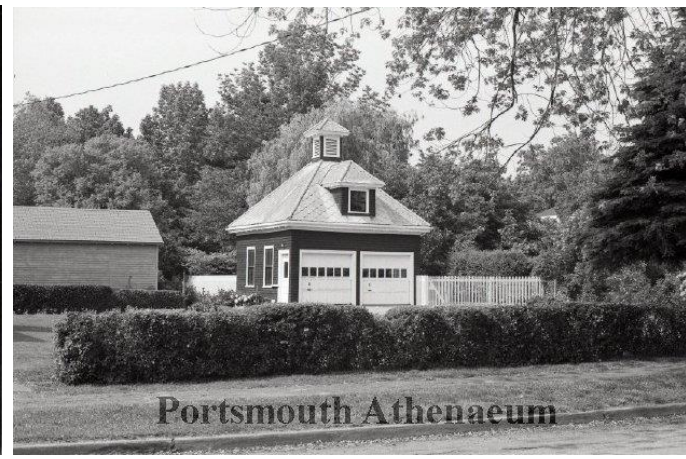
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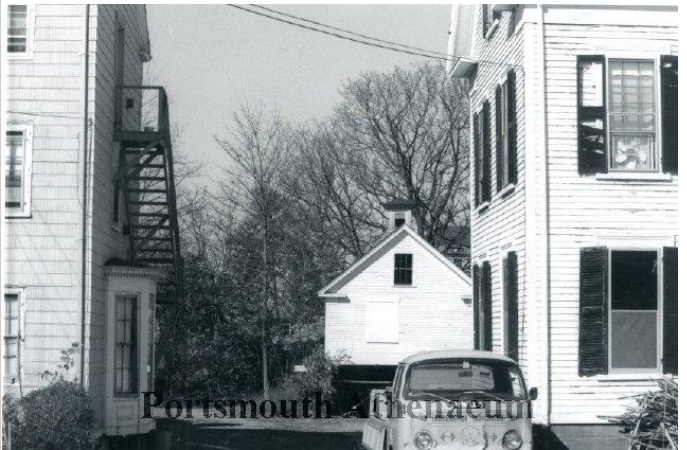
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4



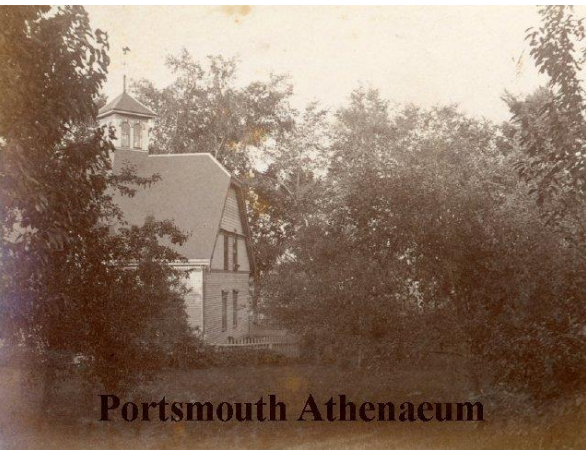
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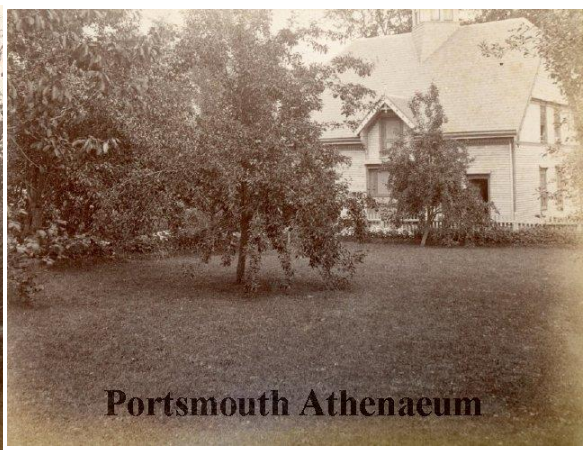
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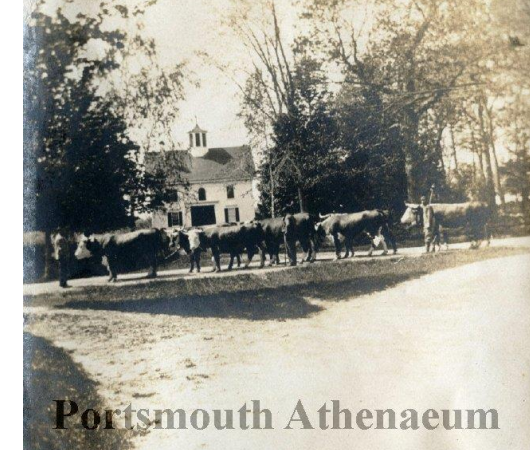
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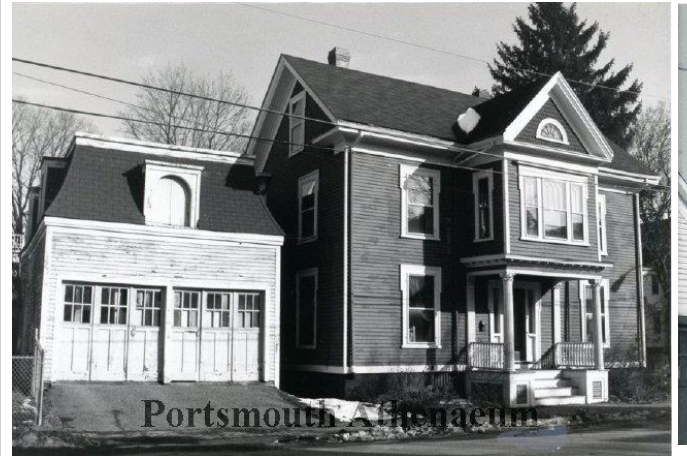
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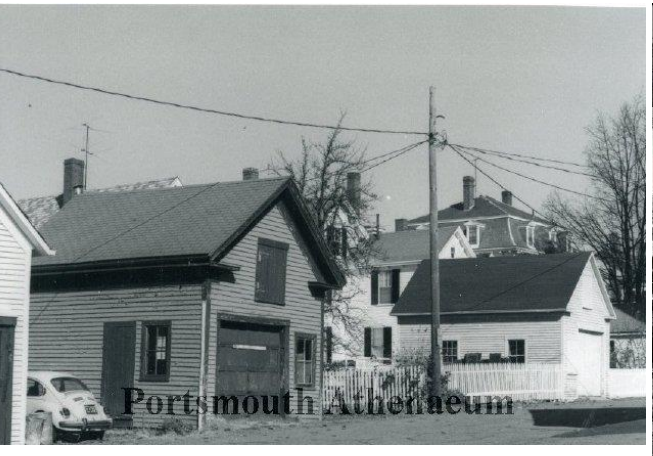
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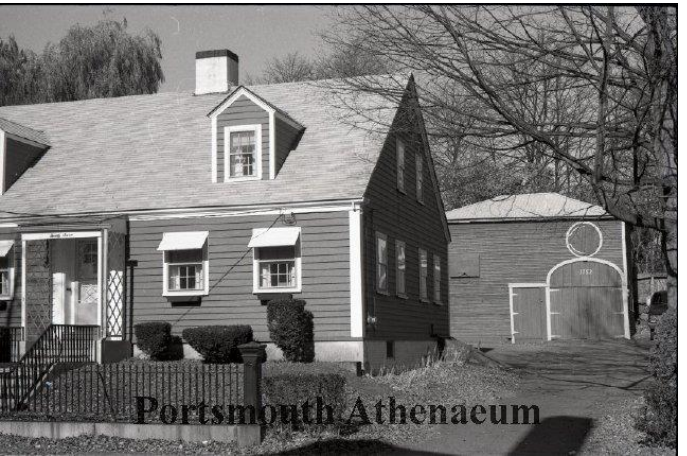
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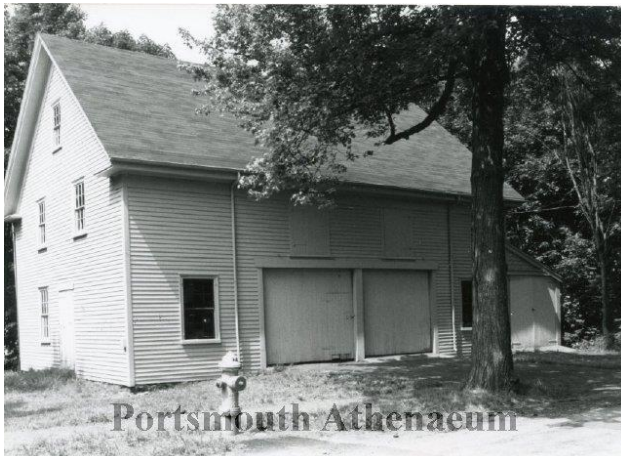
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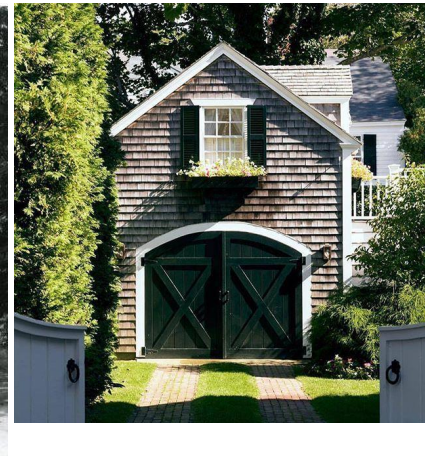
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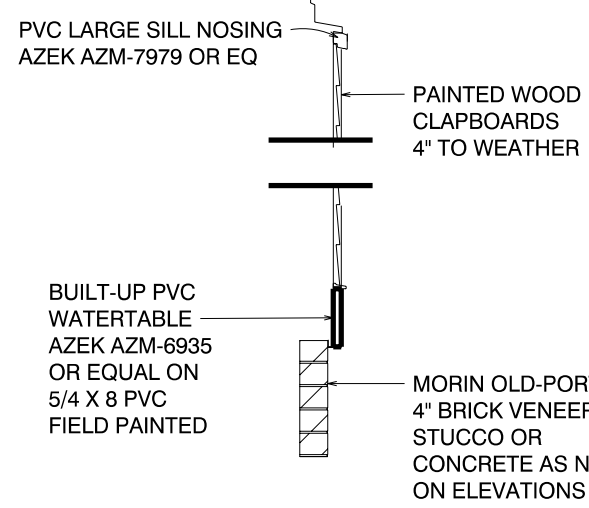
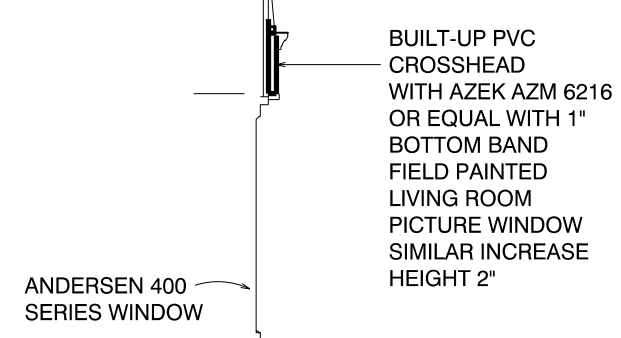
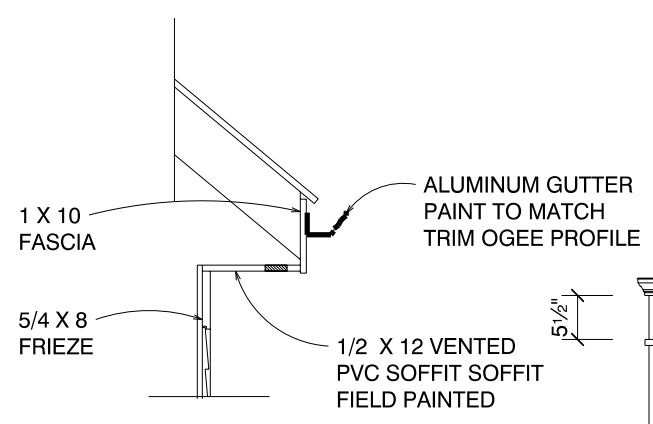
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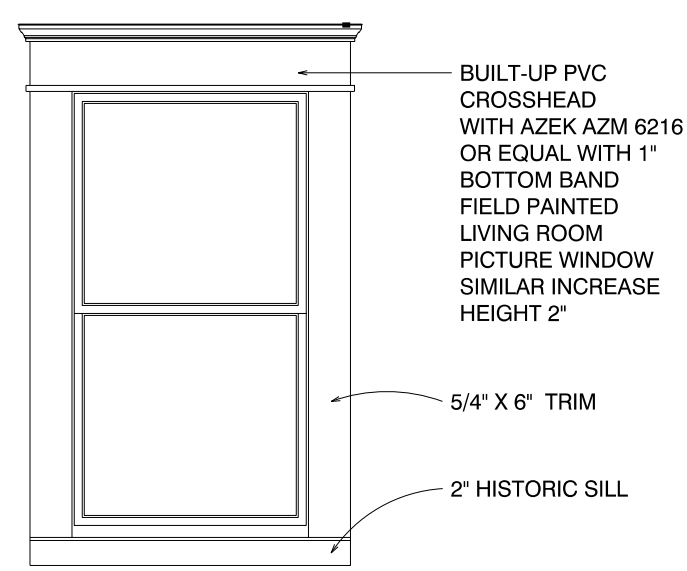
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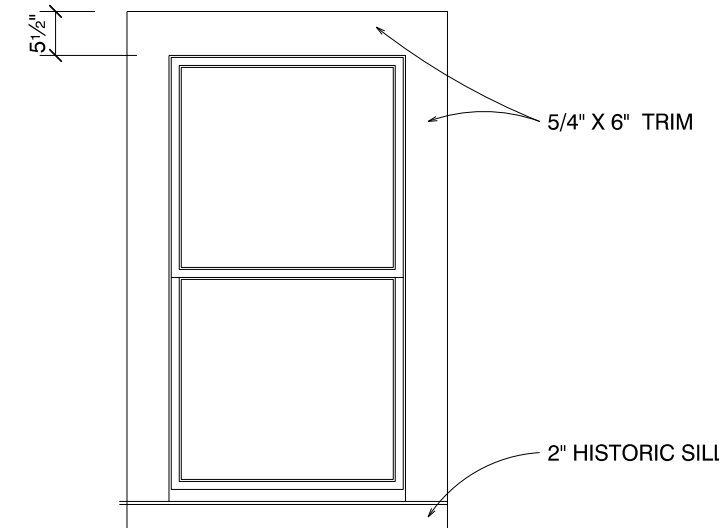
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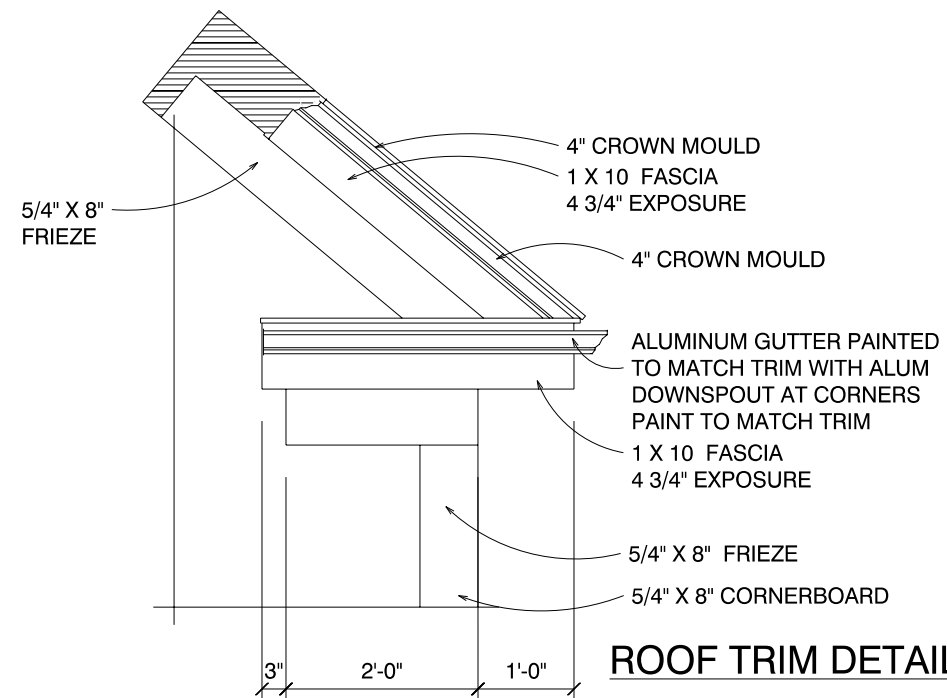
TYPICAL WALL SECTION



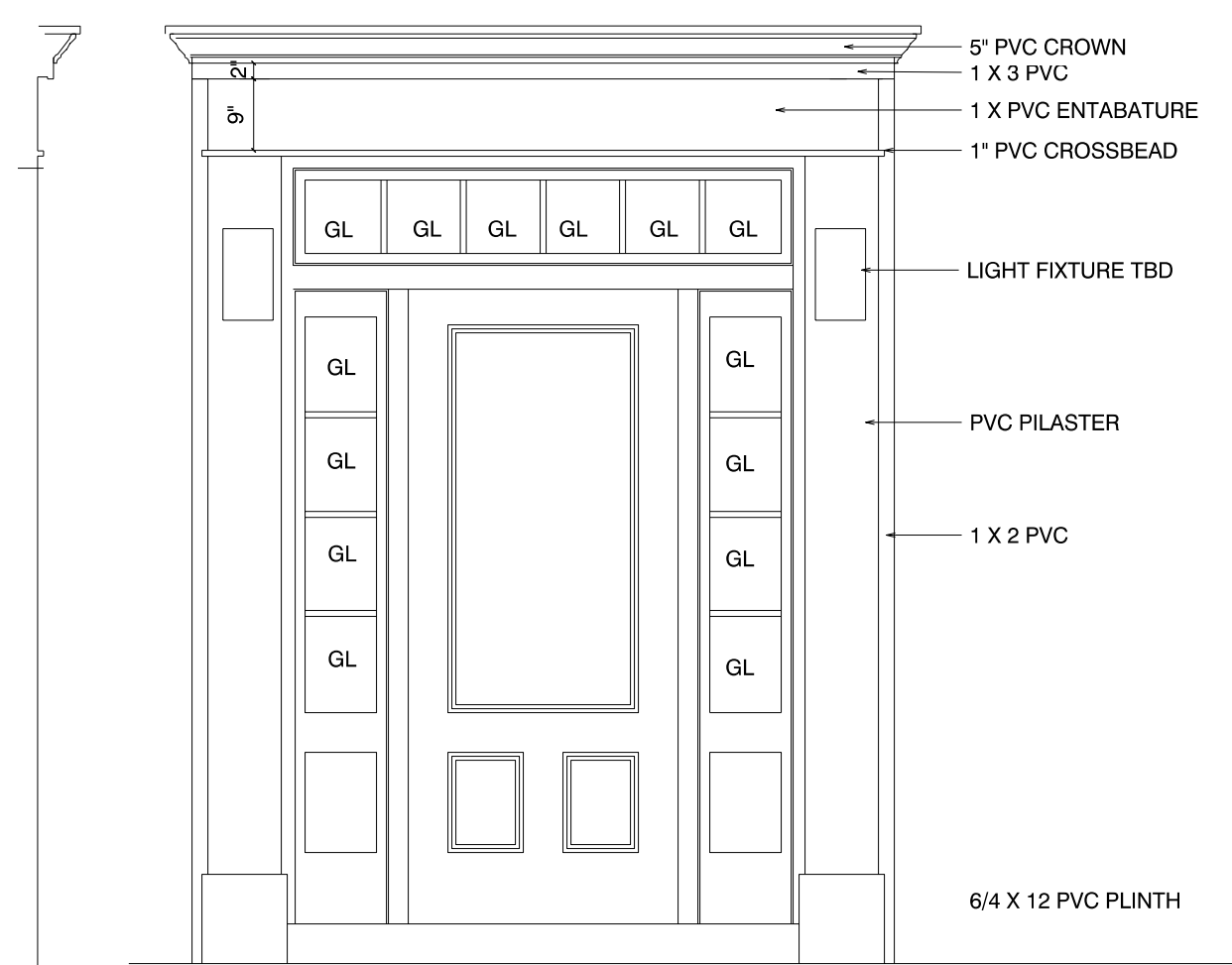
TYPICAL TRIM DETAIL - MAIN HOUSE



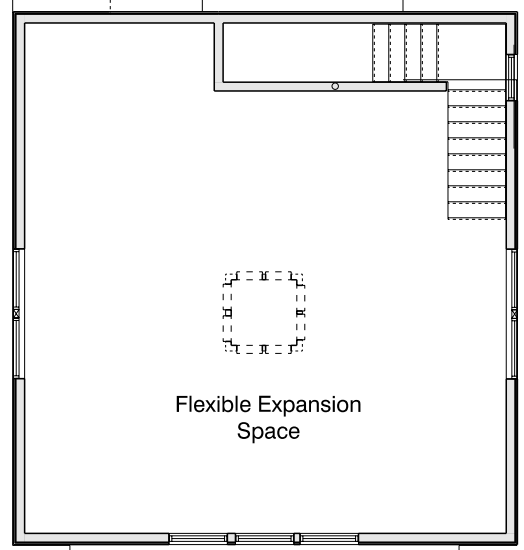
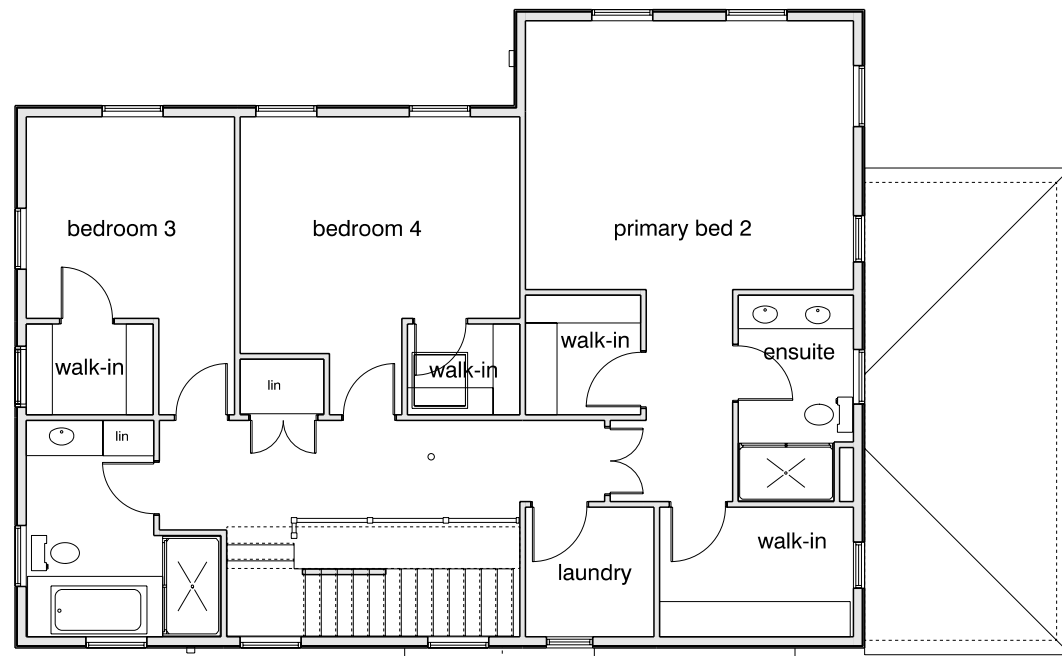
TYPICAL TRIM DETAIL - MAIN HOUSE



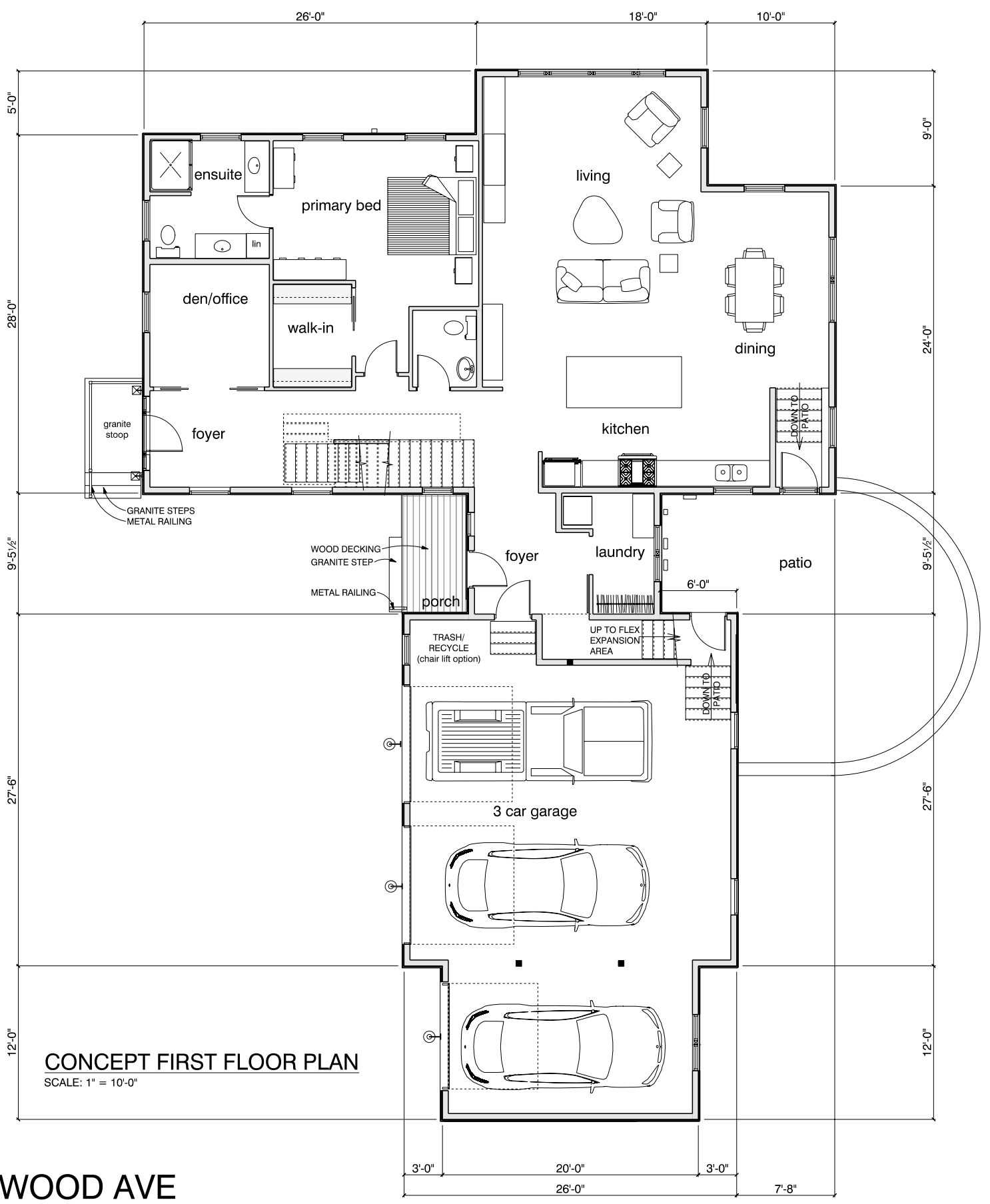
ROOF TRIM DETAIL



ENTRY DETAIL

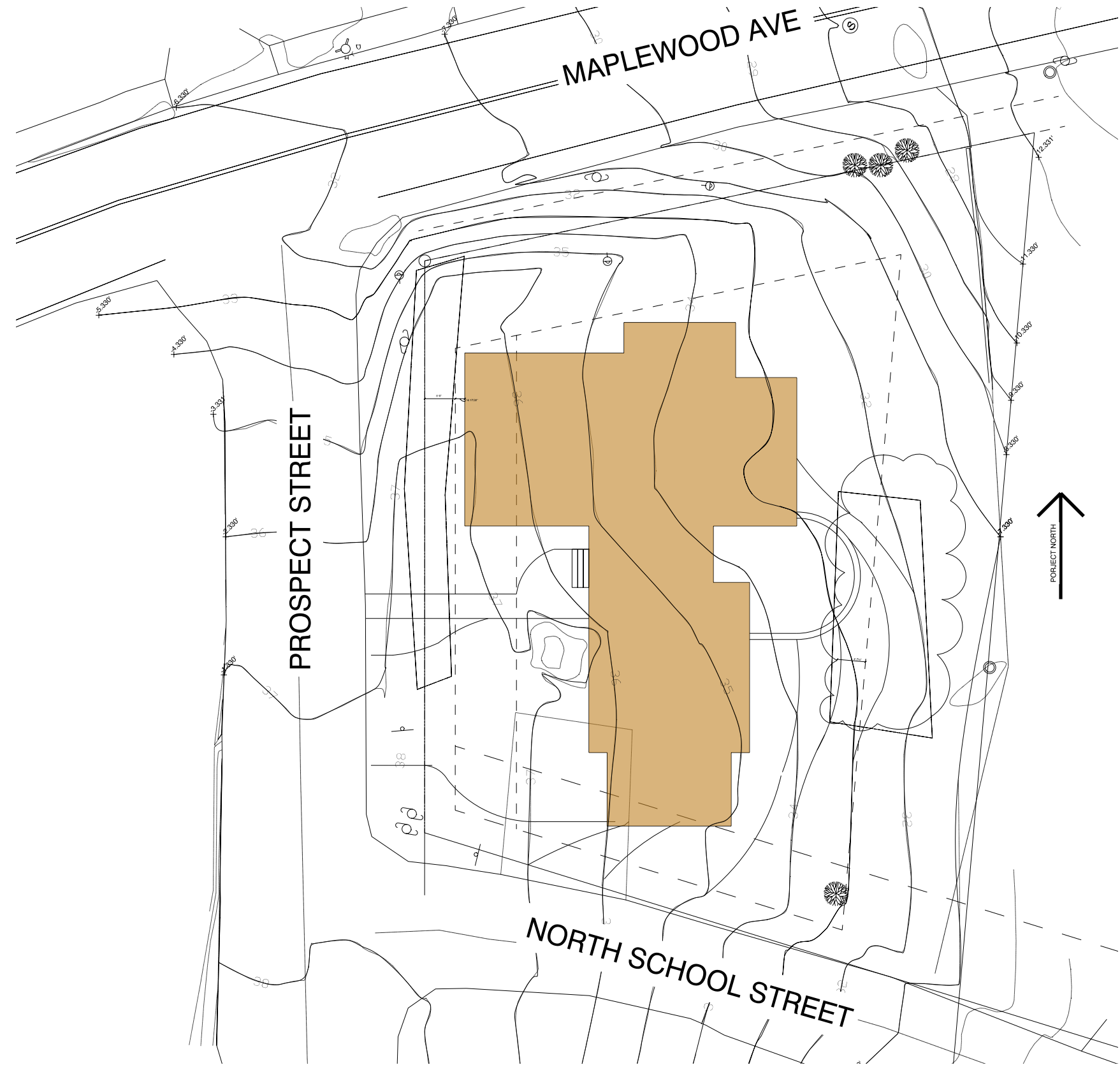


CONCEPT SECOND FLOOR PLAN  
SCALE: 1" = 10'-0"



CONCEPT FIRST FLOOR PLAN  
SCALE: 1" = 10'-0"







GARAGE LIGHTS



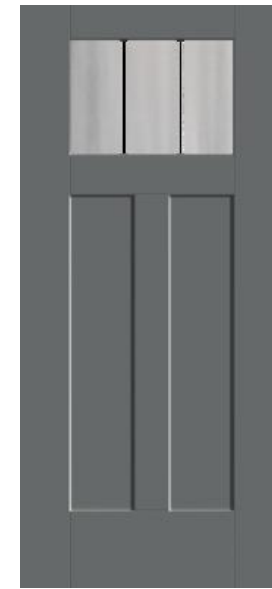
EXTERIOR RAILING



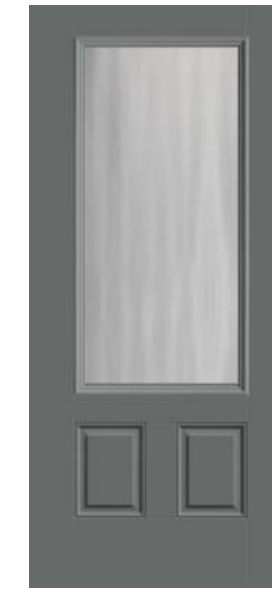
GAF TIMBERLINE  
NATURAL SHADOW OR EQUAL  
COLOR TO BE DETERMINED



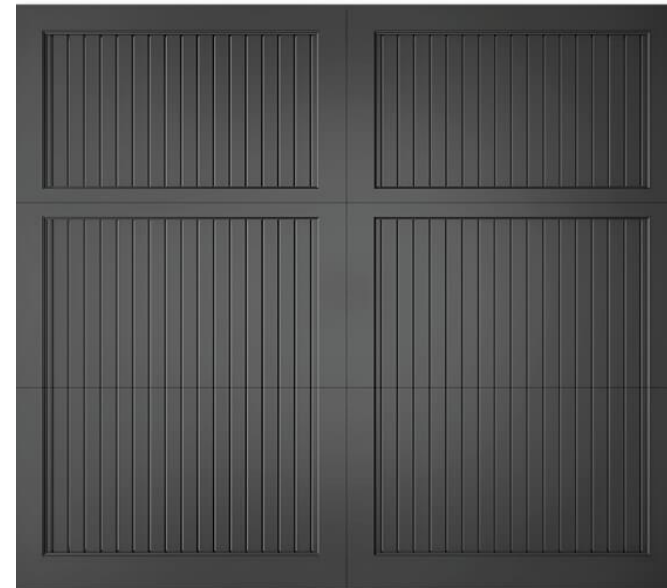
THERMA-TRU FCM 31  
FIBERGLASS  
FRONT ENTRY DOOR  
COLOR TO BE DETERMINED



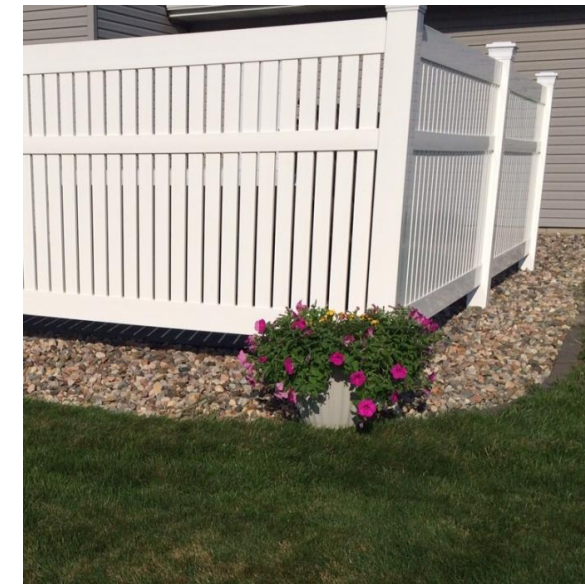
THERMA-TRU SS 213  
FIBERGLASS  
GARAGE/PATIO DOORS  
COLOR TO BE DETERMINED



THERMA-TRU SS 170  
FIBERGLASS  
PATIO DOOR FROM HOUSE  
COLOR TO BE DETERMINED



GARAGE OVERHEAD DOORS  
TIMBERLANE 309 OR EQUAL  
COMPOSITE WOOD VENEER FIELD PAINTED  
COLOR TO BE DETERMINED



MECHANICAL SCREEN FENCING  
5' HIGH PVC SEMI PRIVACY

**179 Pleasant Street**

**LUHD-416**

**Work Session**



### LUHD-416

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active

**Date Created:** Dec 17, 2021

#### Applicant

Carla Goodknight  
carla@cjarchitects.net  
233 Vaughan Street  
Suite 101  
Portsmouth, NH 03801  
6034312808

#### Location

179 PLEASANT ST  
Portsmouth, NH 03801

#### Owner:

Mill Pond View LLC  
179 PLEASANT ST PORTSMOUTH, NH 03801

#### Application Type

Please select application type from the drop down menu below

Work Session

#### Alternative Project Address

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#### Project Information

##### Brief Description of Proposed Work

Work Session to review minor changes to a previous approval and current structural findings.

##### Description of Proposed Work (Planning Staff)

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#### Project Representatives

##### Relationship to Project

Architect

If you selected "Other", please state relationship to project.

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##### Full Name (First and Last)

Carla Goodknight

##### Business Name (if applicable)

CJ Architects

##### Mailing Address (Street)

233 Vaughan Street, Suite 101

##### City/Town

Portsmouth

##### State

New Hampshire

##### Zip Code

03801

##### Phone

603 431 2808

##### Email Address

carla@cjarchitects.net

#### Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

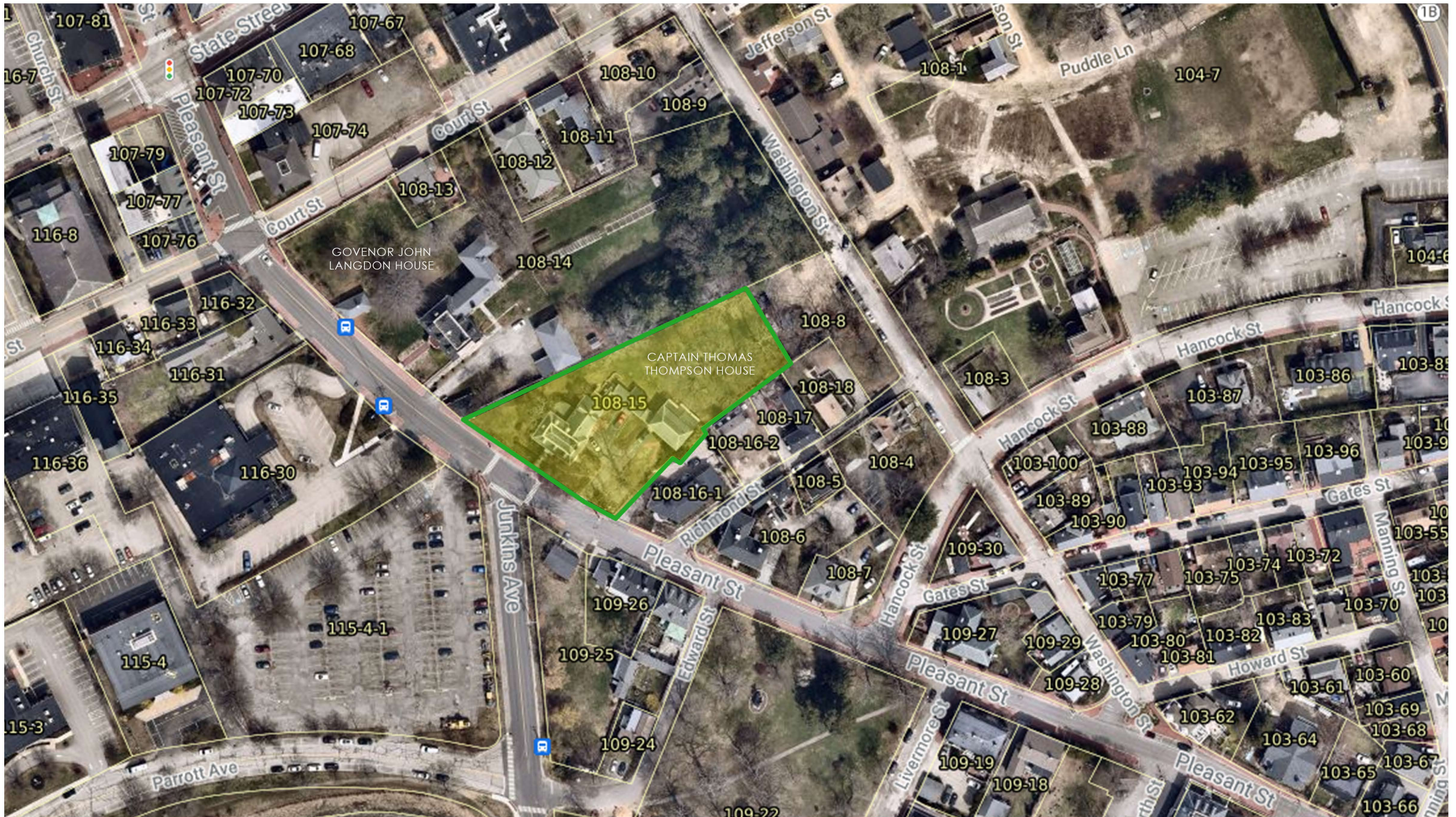


By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Other



179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

AERIAL VIEW

HDC WORK SESSION APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 5, 2022



1.0

## LETTER OF AGENDA

We respectfully submit this Application for a Work Session to review our upcoming Application for Amended Approval. The current HDC Approval was granted to the prior owner.

The Captain Thomas Thompson House was purchased in August 2021. The new owners are in the early stages of researching and evaluating this Historic Portsmouth structure. We are working closely with the Portsmouth planning department, Gorham Structural Engineering, and currently interviewing historic preservation experts to join our team.

At this time, the team is primarily focusing all efforts on the Historic Thompson House. As the project unfolds, we have identified the following items for your consideration:

- 1) Review of the Property timeline and evolution.
- 2) Review of existing conditions not shown/documented on prior approval.
- 3) Request to remove an angle bay addition to the back of the Annex and replace it with a 7'-6" x 10'-6" single story space with a shed roof.
- 4) Request to redesign the single story 1982 radial addition and porch conversion.
- 5) Review of structural modifications revealed during demolition of finishes on the third floor. These structural changes and subsequent interior finish work were permitted and installed in 1988 throughout the third floor of the main house.
- 6) Review of the condition of first floor structural beams and masonry supports.

Thank you for your consideration.  
Sincerely,



Carla Goodknight, AIA, NCARB  
Principal, CJ Architects

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

- 1780's:** Captain Thomas Thompson House is Constructed (same time period John Langdon built his house next door)
- 1859:** Mark H. Wentworth purchased the house from the Thompson Family and made several Victorian improvements
- 1903:** Mark H. Wentworth passed away and leaves the house to his daughter Susan J. Wentworth
- 1940:** Susan J. Wentworth passed away and the house is owned by several people
- 1962:** Doctors office is approved and built in carriage house
- 1978:** Kitchen added to the apartment in main house, apartment was used as housekeeper quarters.
- 1979:** 10 x 16 addition added as "carport" to rear of connector building
- 1979:** Single family house was approved as "duplex"
- 1980:** Remodel 2nd floor bathroom
- 1981:** Remodel kitchen and add kitchen powder room, remodel 2 other bathrooms in house
- 1982:** Sun porch was added as 3 season structure, was a garden terrace prior
- 1983:** Widows walk was reproduced, only on the front of the building
- 1983:** Apartment was remodeled in main house
- 1984:** Widows walk was expanded to all four sides of the house
- 1986:** The lot was sub-divided into 2 lots 179 & 181 (This is not clear)
- 1986:** Carriage house was remodeled and expanded upon
- 1988:** Sun porch was reroofed, and door added from main house to access roof top
- 1988:** 3rd floor of main house was extensively renovated and finished with new living space, skylights added
- 2003:** Lot line adjustment on right side of 181
- 2005:** Lots 179 & 181 are voluntarily merged
- 2014:** Widows walk completely reproduced on all 4 sides
- 2018:** Larger garage door was installed in carriage house and misc. in-fill framing
- 2018:** Section of wooden fence was replaced on the front only
- 2019:** HDC Certificate of Approval granted for renovations and expansions
- 2020:** 1-year extension granted for HDC Certificate of Approval granted for renovations and expansions
- 2020:** Flooring in carriage house was removed and stored
- 2021:** [New Ownership](#)
- 2021:** [Permit Issued for nonstructural demolition](#)

### Property Research Sources:

- Portsmouth Athenaeum
- Portsmouth Permitting Archives

## PROPERTY TIMELINE

HDC WORK SESSION TO AMEND PREVIOUS APPROVAL: JANUARY 5, 2022



1.1



1. PARTIAL NORTH ELEVATION (RIGHT SIDE)



2. WEST ELEVATION (FRONT)



3. SOUTH ELEVATION (LEFT SIDE)



4. PARTIAL NORTH ELEVATION (RIGHT SIDE)



5. EAST ELEVATION (REAR)



6. CONNECTOR SOUTH ELEVATION (LEFT SIDE)

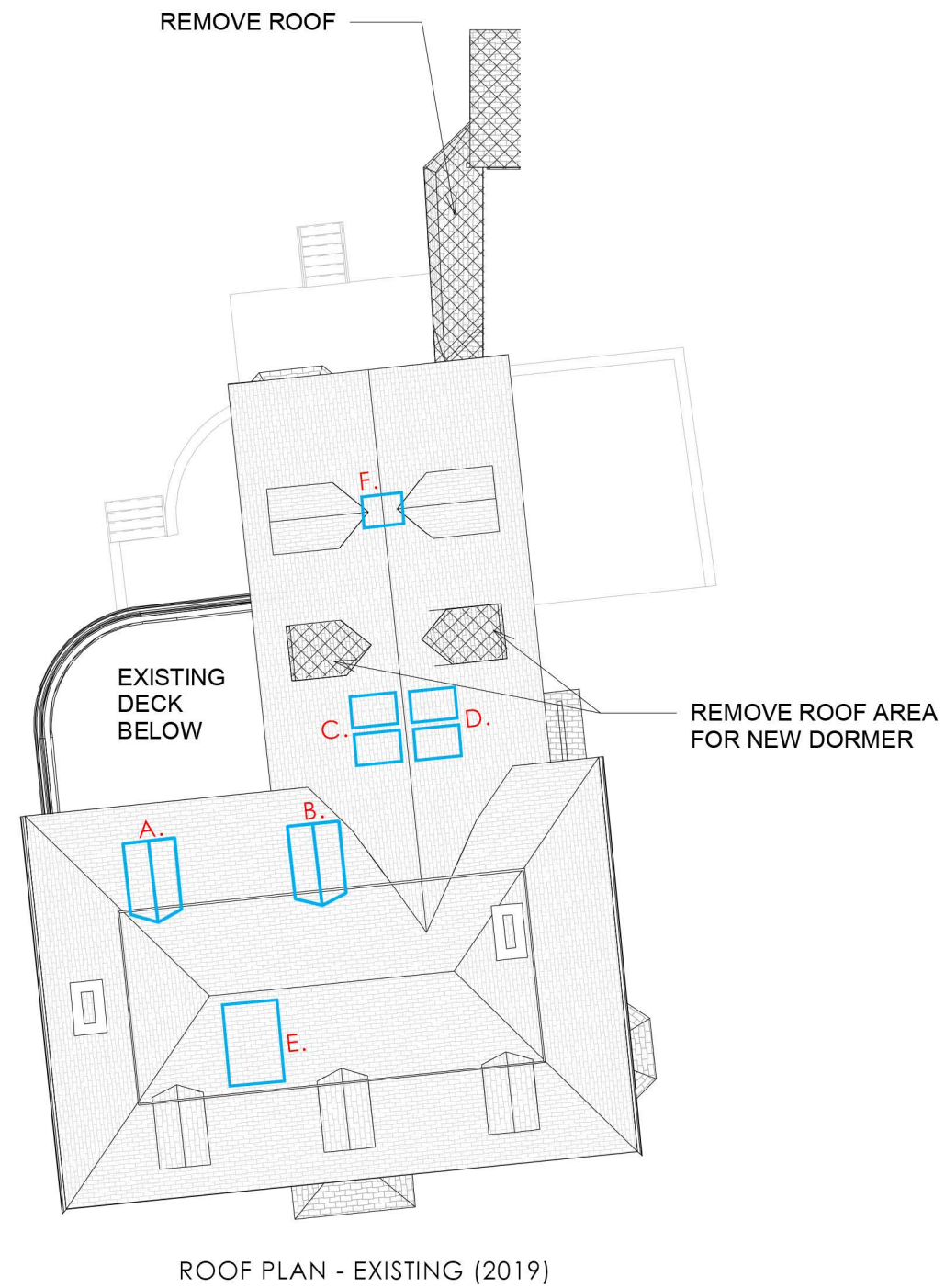
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

### EXISTING ELEVATIONS

HDC WORK SESSION APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 5, 2022



2.0



179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

EXISTING CONDITION FINDINGS  
NOT SHOWN IN PREVIOUS APPROVAL DOCUMENTS  
HDC WORK SESSION APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 5, 2022



3.0



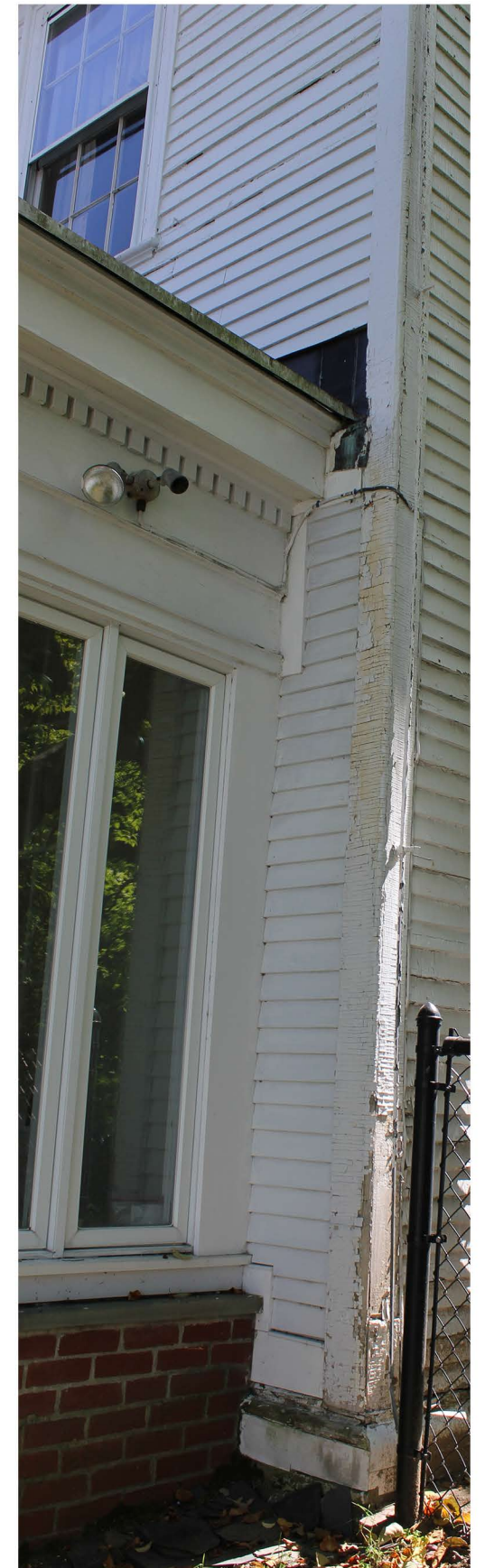


179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

EXISTING CONDITION FINDINGS  
ANNEX AND ANGLED BAY

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179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

### EXISTING CONDITION FINDINGS

1982 RADIAL ADDITION

HDC WORK SESSION APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 5, 2022





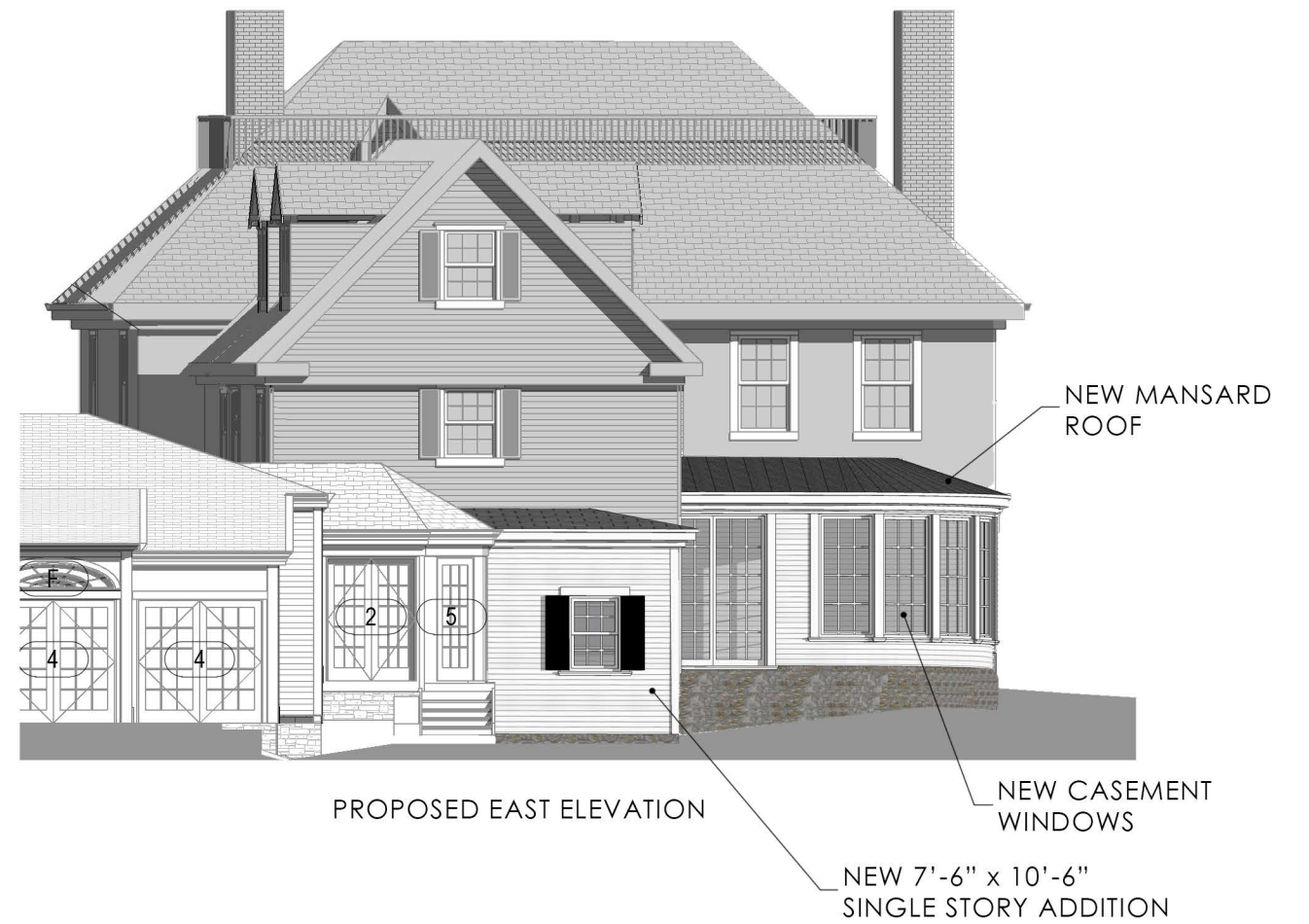
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

EXISTING CONDITION FINDINGS  
HISTORICAL WINDOW AT ANNEX INTERSECTION  
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PREVIOUSLY APPROVED EAST ELEVATION



PROPOSED EAST ELEVATION

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED EAST ELEVATION (REAR)

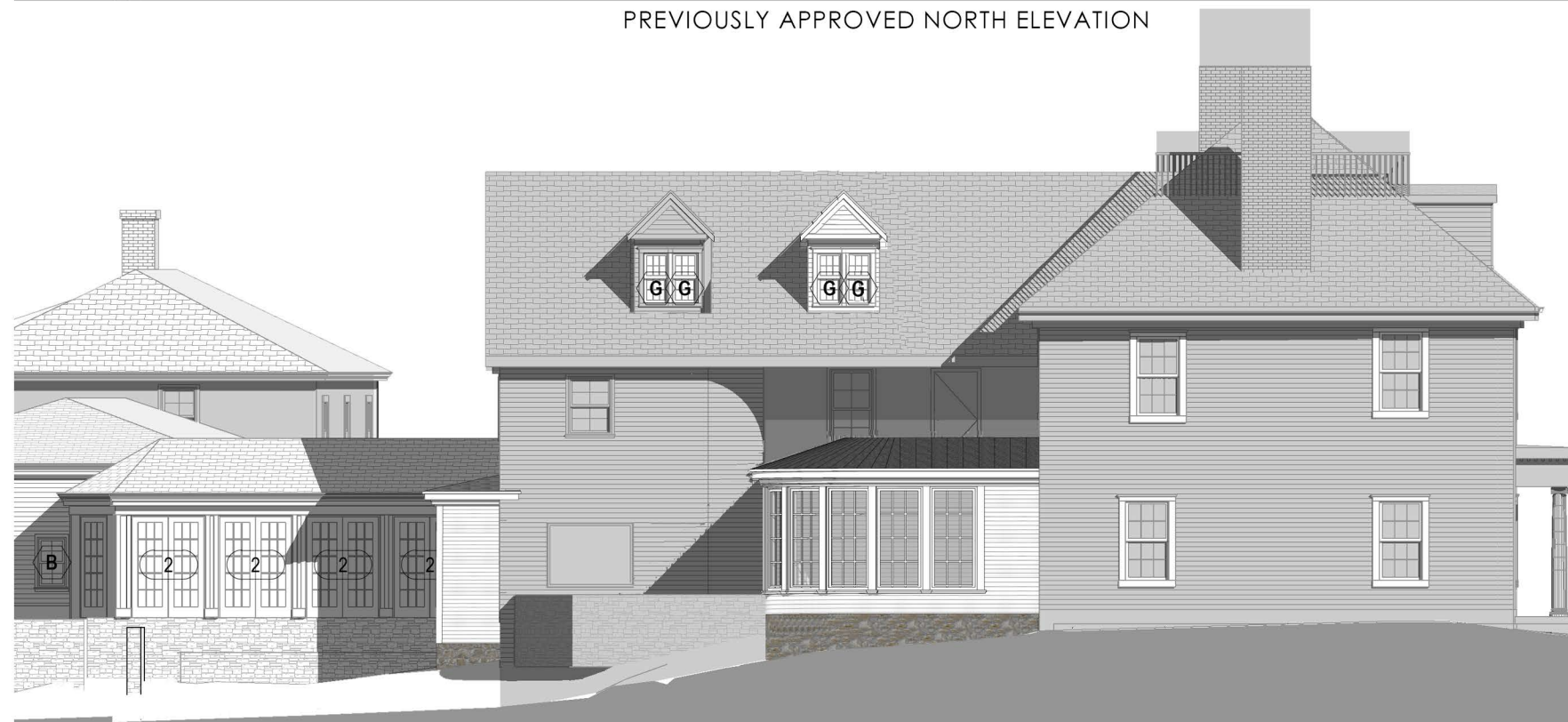
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4.0



PREVIOUSLY APPROVED NORTH ELEVATION



PROPOSED NORTH ELEVATION

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED NORTH ELEVATION  
(RIGHT SIDE)

HDC WORK SESSION APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 5, 2022





PREVIOUSLY APPROVED VIEW FROM NORTH EAST



PROPOSED VIEW FROM NORTH EAST

179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

VIEW FROM NORTH EAST

HDC WORK SESSION APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 5, 2022



5.0



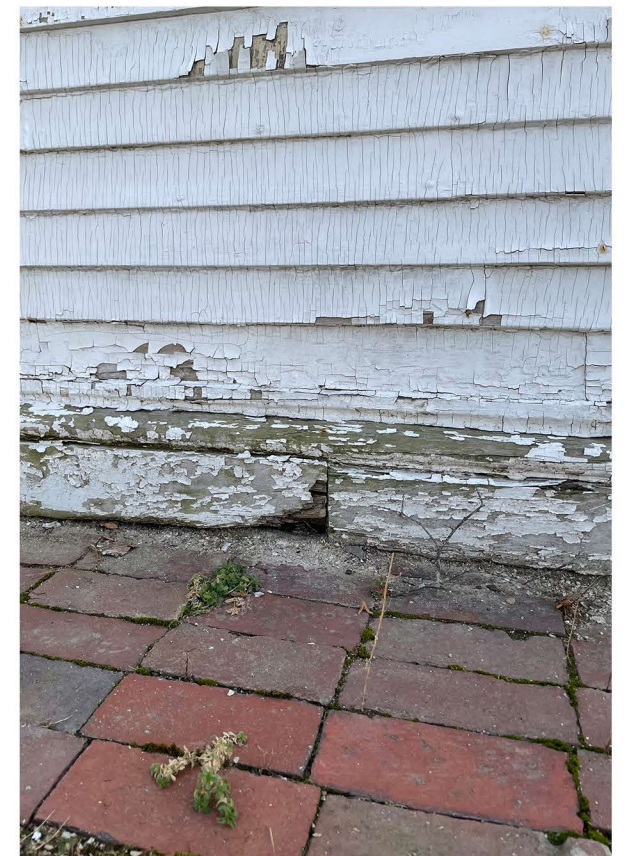
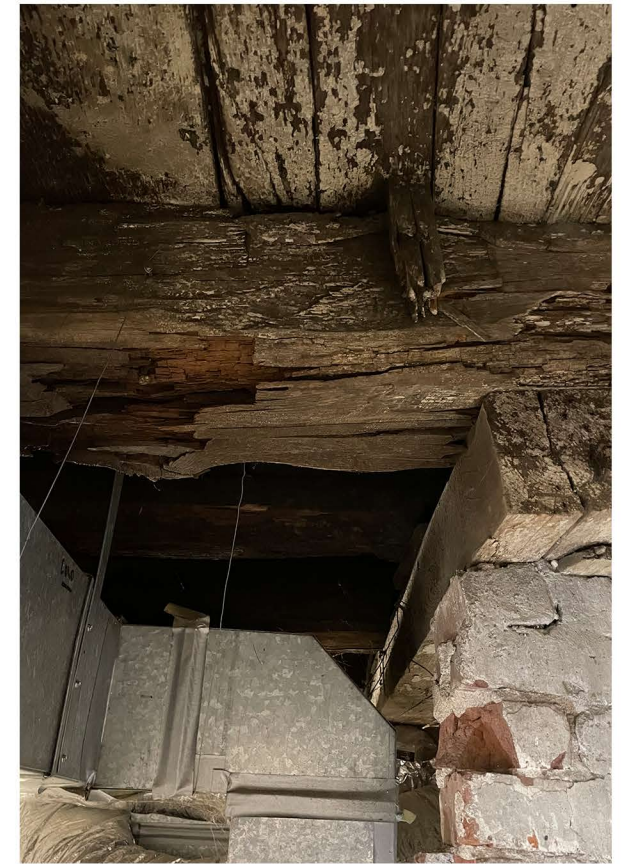
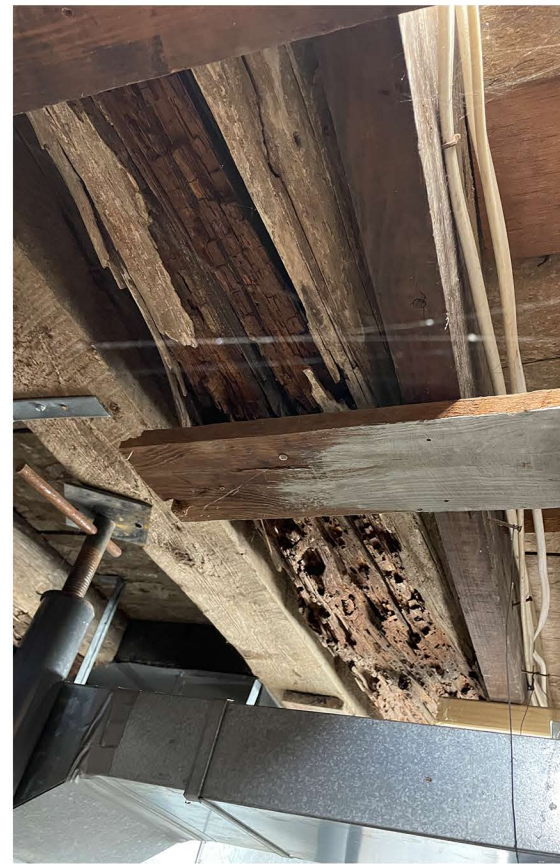
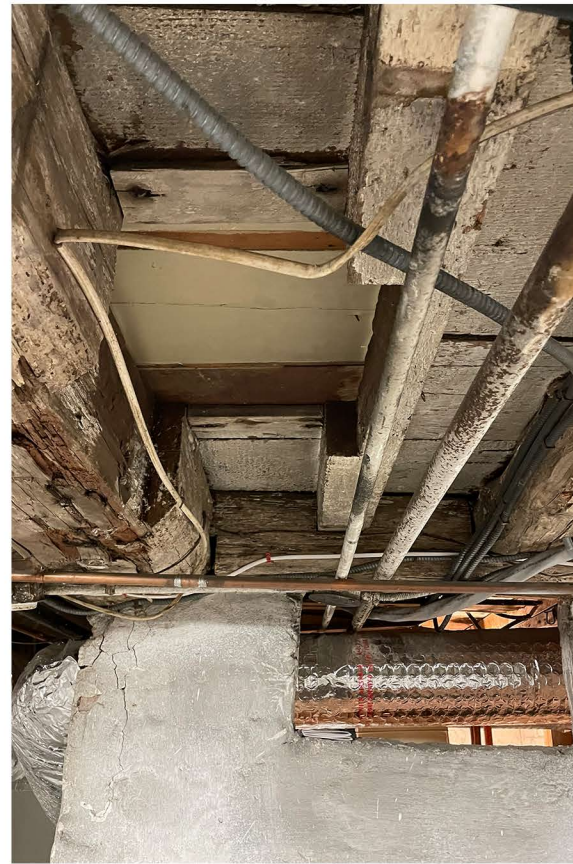
179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

SELECTIVE DEMOLITION FINDINGS  
1988 3RD FLOOR RENOVATION

HDC WORK SESSION APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 5, 2022



6.0



179 PLEASANT STREET  
PORTSMOUTH, NEW HAMPSHIRE

STRUCTURAL FINDINGS  
ORIGINAL STRUCTURE

HDC WORK SESSION APPLICATION TO AMEND PREVIOUS APPROVAL: JANUARY 5, 2022

