

**SITE PLAN REVIEW TECHNICAL ADVISORY COMMITTEE
PORTSMOUTH, NEW HAMPSHIRE**

WORK SESSION

**Conference Room A
City Hall, Municipal Complex, 1 Junkins Avenue**

2:00 PM

August 10, 2021

AGENDA

2:00 pm

3548 Lafayette Road
Naveesha Hospitality, LLC
Altus Engineering, Engineer
LUTW-21-10

Site Plan Review

MONARCH VILLAGE

Residential Redevelopment

3548 Lafayette Road
Portsmouth, New Hampshire

Assessor's Parcel 297, Lot 6
ISSUED FOR TAC WORK SESSION

Owner:
NAVEESHA HOSPITALITY, LLC

440 Bedford St.
Lexington, MA 02420
(603) 396-6017

Applicant:
MONARCH VILLAGE, LLC

P.O. Box 365
East Hampstead, NH 03826
(603) 396-6017

Architect:

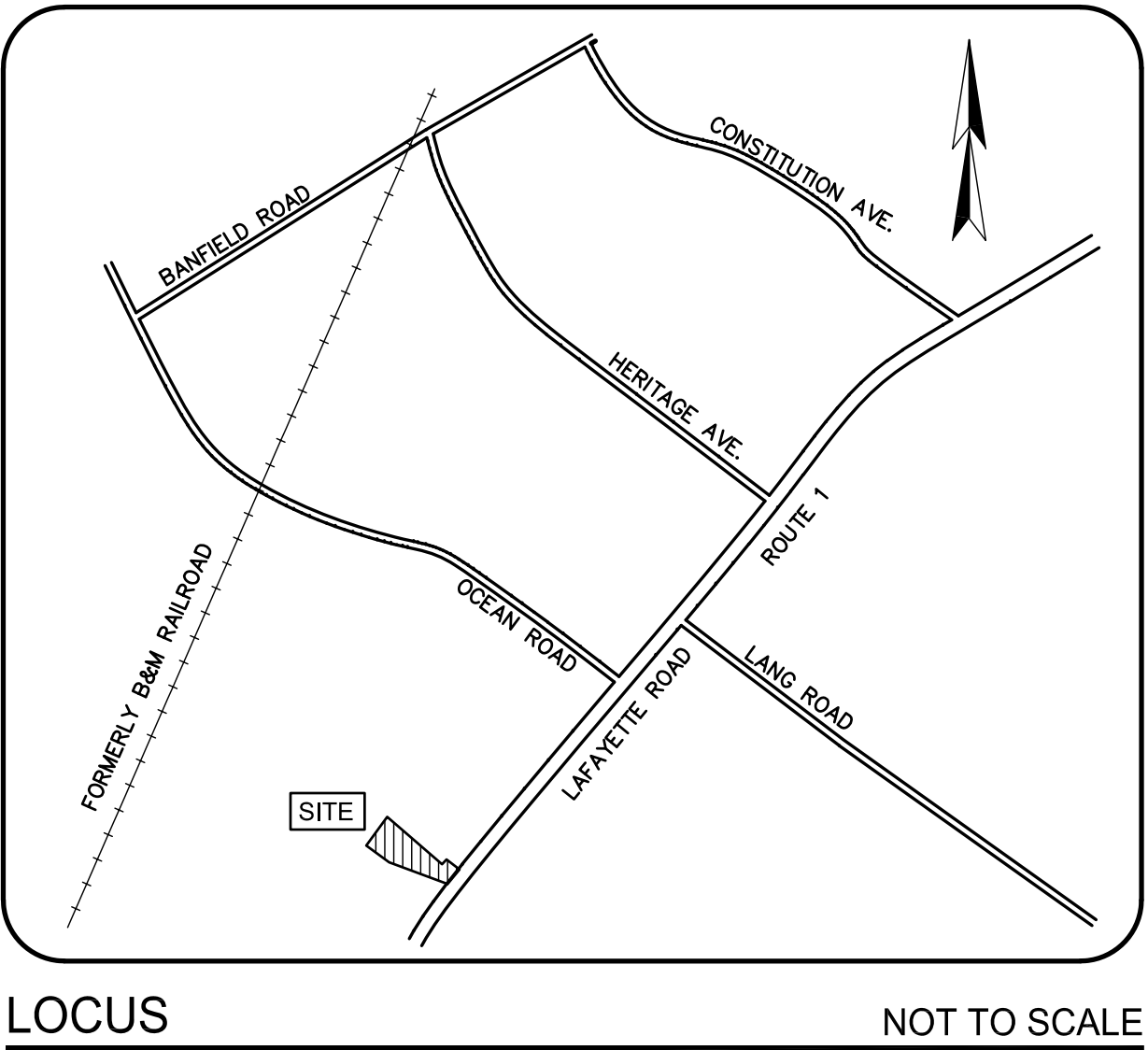
4 MARKET STREET | PORTSMOUTH NH | 03801
P 603-431-2808 | F 603-431-2809

Soil Scientist/Wetland Scientist:
MICHAEL CUOMO, CWS
6 York Pond Road
York, ME 03909
(207) 363-4532

Civil Engineer:

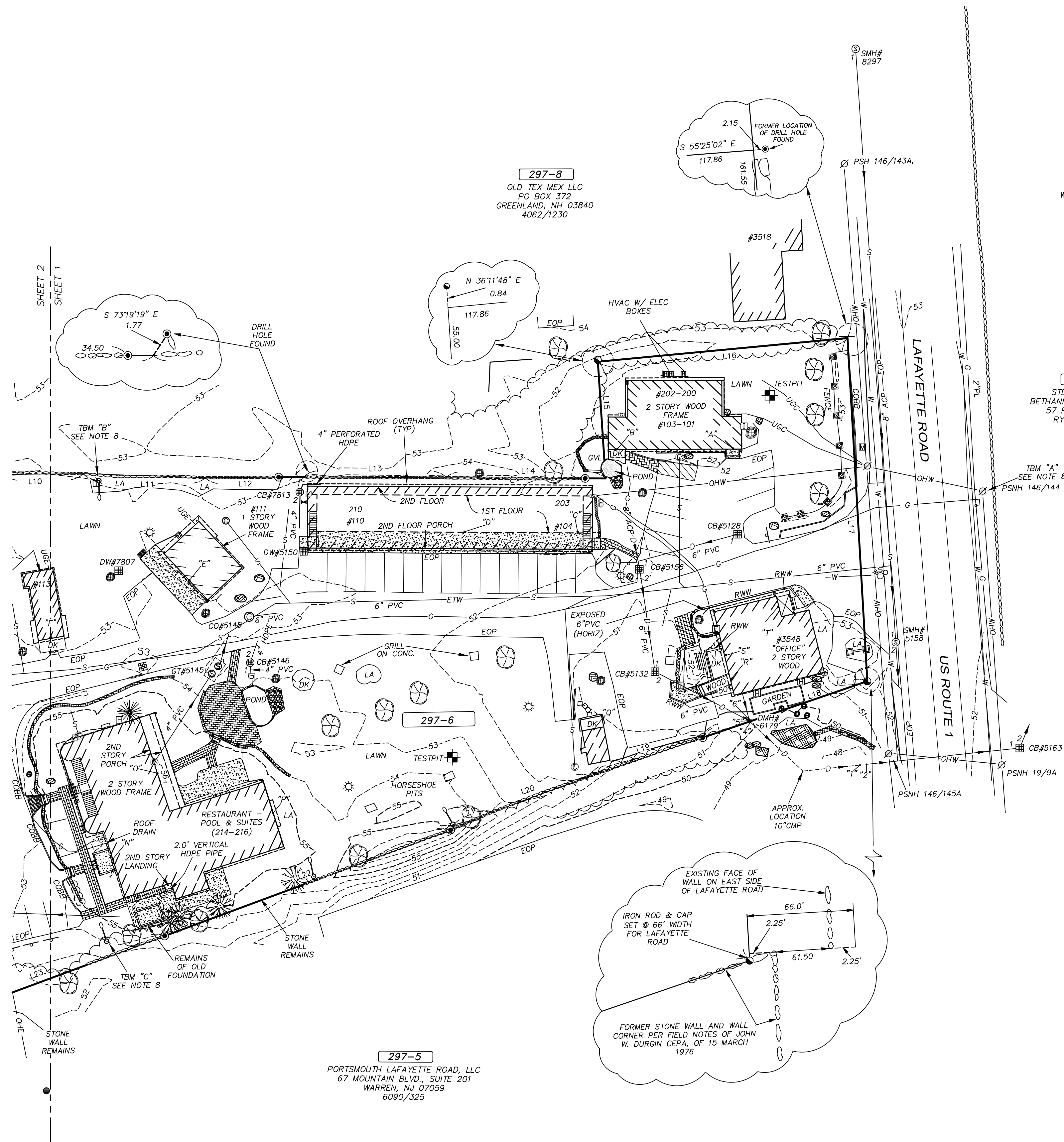
133 Court Street Portsmouth, NH 03801
(603) 433-2335 www.altus-eng.com

Surveyor:
James Verra
and Associates, Inc.
LAND SURVEYORS
101 Shattuck Way, Suite 8
Newington, New Hampshire 03801-7876
Voice 603.436.3557 Fax 603.436.8339



Sheet Index Title	Sheet No.:	Rev.	Date
Existing Conditions Plan	EX-1	0	11/04/20
Existing Conditions Plan (reserved)	EX-1	0	04/19/21
Site Plan	C-1	—	—
Stormwater Management Plan	C-2	0	08/03/21
Utility Plan	C-3	0	08/03/21
	C-4	0	08/03/21

Permit Summary:	Submitted	Received
Portsmouth Zoning Board	04/28/21	06/15/21
NHDOT Driveway Permit	—	—
Notice of Intent	By Contractor 14 days prior to construction	



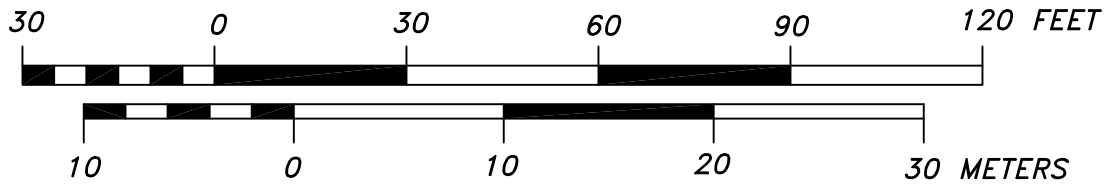
NOTES:

- OWNER OF RECORD.....NAVEESHA HOSPITALITY, LLC.
ADDRESS.....440 BEDFORD STREET, LEXINGTON, MA 02420
DEED REFERENCE.....5230/888
TAX SHEET / LOT.....297-06
PARCEL AREA.....162,967 S.F., 3.741 ACRES
- ZONED:.....GATEWAY 1 (GW1) FRONT YARD SETBACK.....80'
MINIMUM LOT AREA.....10,000 S.F. SIDE YARD SETBACK.....20'
FRONTAGE.....100' REAR YARD SETBACK.....15'
* 70' MINIMUM / 90' MAXIMUM
- THE RELATIVE ERROR OF CLOSURE WAS LESS THAN 1 FOOT IN 15,000 FEET.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED UPON THE FIELD LOCATION OF ALL VISIBLE STRUCTURES (IE CATCH BASINS, MANHOLES, WATER GATES ETC.) AND INFORMATION COMPILED FROM PLANS PROVIDED BY UTILITY COMPANIES AND GOVERNMENTAL AGENCIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, SAID AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE @ 1-888-DIG-SAFE.
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011)(EPOCH: 2010.0000), US SURVEY FOOT.
VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: CITY OF PORTSMOUTH "ROBE"
- CONTRACTOR TO VERIFY SITE BENCHMARKS BY LEVELING BETWEEN 2 BENCHMARKS PRIOR TO THE ESTABLISHMENT OF ANY GRADES OR ELEVATIONS. DISCREPANCIES ARE TO BE REPORTED TO JAMES VERRA AND ASSOCIATES, INC..
- DESCRIPTIONS OF THE SITE BENCHMARKS:
TBM "A": LARGE SURVEY NAIL SET IN UTILITY POLE # 1.0' ABOVE GRADE ELEVATION=52.48
TBM "B": LARGE SURVEY NAIL SET IN UTILITY POLE # 1.0' ABOVE GRADE ELEVATION=54.15
TBM "C": LARGE SURVEY NAIL SET IN UTILITY POLE # 1.0' ABOVE GRADE ELEV.=54.71
- THE LOCATION OF WATER, SEWER AND DRAIN LINES OUTSIDE THE BUILDINGS COULD NOT BE DETERMINED.
- LAFAYETTE ROAD LAID OUT AS 4 RODS (66') WIDE IN 1824 PER BOOK 1 PAGE 260 ROCKINGHAM COUNTY RECORDS.
- THERE IS AN 8" FORCE MAIN RUNNING ALONG THE WESTERLY SIDE OF LAFAYETTE ROAD AS SHOWN ON THE CITY OF PORTSMOUTH GIS MAP (NOT FIELD LOCATED).
- THE 6" PVC SEWER LINE SHOWN HEREON WAS PROTRACTED FROM A PLAN ENTITLED "WREN'S NEST MOTEL, PORTSMOUTH, NH" PREPARED BY MCKENZIE ENGINEERING CO., INC. DATED 9/11/1986, REVISED TO 10/8/99. THE SEWER LINE WAS NOT FIELD LOCATED BY JAMES VERRA AND ASSOCIATES, INC.

REFERENCE PLANS:

- ALTA/ACSM LAND TITLE SURVEY, 3548 LAFAYETTE ROAD, PORTSMOUTH, N.H. ASSESSOR'S PARCEL: 297-6, OWNER: NAVEESHA HOSPITALITY, LLC. BY JAMES VERRA AND ASSOCIATES, INC. DATED 8/11/2021, NOT RECORDED.

PRELIMINARY
SUBJECT TO CHANGE



ALTUS
ENGINEERING, INC.

133 COURT STREET PORTSMOUTH, NH 03801
(603) 433-2335 www.ALTUS-ENG.com

JAMES VERRA
& ASSOCIATES, INC.
LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8
NEWINGTON, N.H. 03801-7876
603-436-3557

JOB NO: 23401-A

ISSUED FOR:
ENGINEERING DESIGN

ISSUE DATE:
PRELIMINARY

REVISIONS
NO. DESCRIPTION BY DATE
0 CLIENT REVIEW JVA PRELIMINARY

DRAWN BY: _____ GTD
APPROVED BY: _____ JV
DRAWING FILE: _____ 23401-A.DWG

SCALE:
22" x 34" - 1" = 30'
11" x 17" - 1" = 60'

APPLICANT:
MONARCH VILLAGE, LLC.
PO BOX 365
EAST HAMPSTEAD, NH 03826

OWNER:
NAVEESHA HOSPITALITY, LLC.
440 BEDFORD STREET
LEXINGTON, MA 02420

PROJECT:
MONARCH VILLAGE
TAX MAP 297,
LOT 06
3548
LAFAYETTE ROAD
PORTSMOUTH, NH

TITLE:
EXISTING
CONDITIONS PLAN
3548
LAFAYETTE ROAD
PORTSMOUTH, NH

SHEET NUMBER: 1 OF 2

EX-1

P5161

NOT FOR CONSTRUCTION

ISSUED FOR:

TAC WORK SESSION

ISSUE DATE:

AUGUST 3, 2021

REVISIONS

NO.	DESCRIPTION	BY	DATE
0	TAC WORK SEESION	EBS	08/03/21

DRAWN BY: _____ EBS

APPROVED BY: _____ EDW

DRAWING FILE: _____ 5161-SITE.dwg

SCALE:

22" x 34" - 1" = 30'

11" x 17" - 1" = 60'

OWNER:

NAVEESHA HOSPITALITY, LLC

440 BEDFORD ST.
LEXINGTON, MA 02420

APPLICANT:

MONARCH VILLAGE, LLC

P.O. BOX 365
EAST HAMPSHIRE, NH 03826

PROJECT:

**MONARCH
VILLAGE**

TAX MAP 297, LOT 6

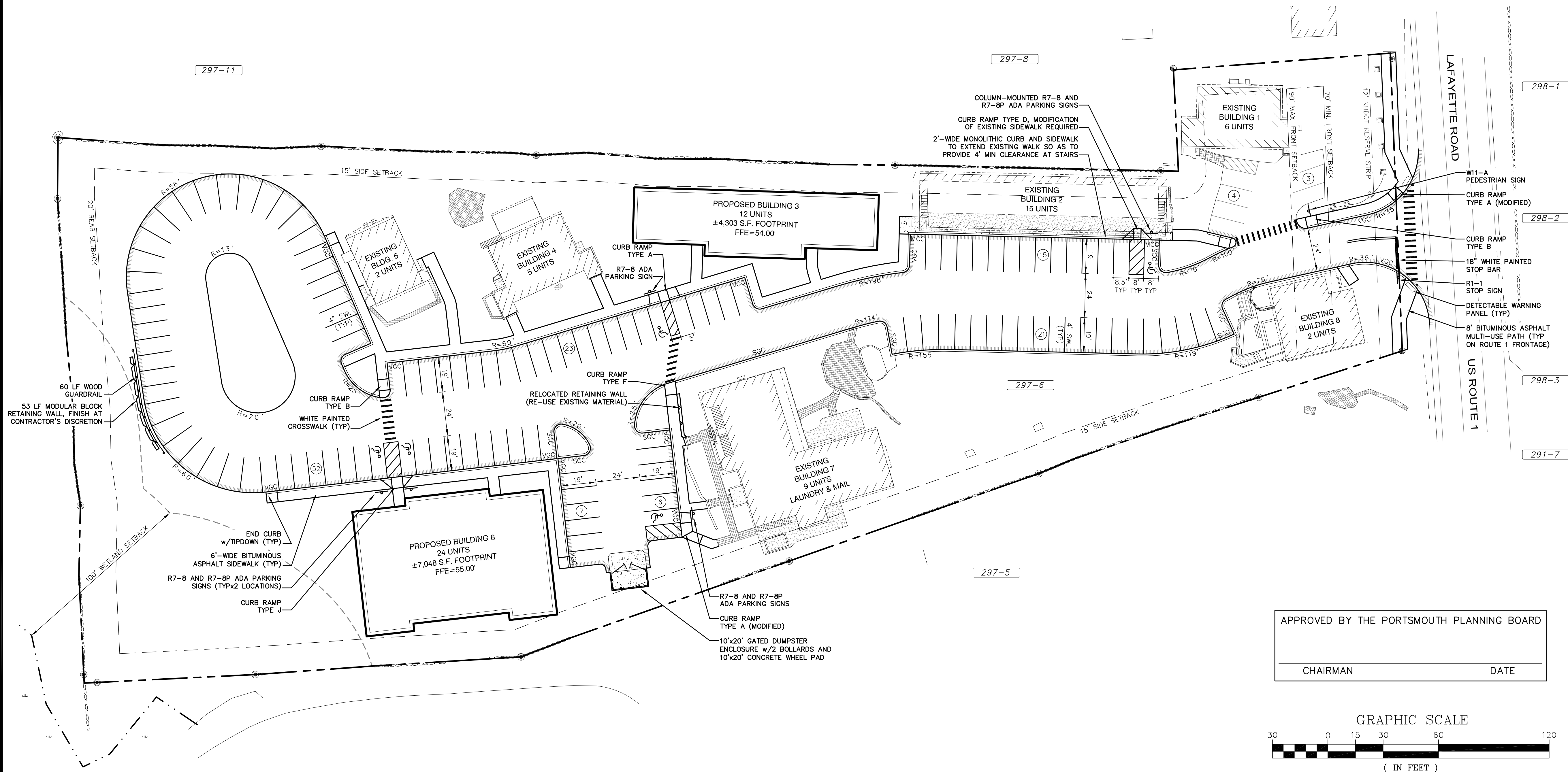
3548 LAFAYETTE ROAD
PORTSMOUTH, NH 03801

TITLE:

SITE PLAN

SHEET NUMBER:

C-2



SITE NOTES

- DESIGN INTENT - THIS PLAN IS INTENDED TO DEPICT A MULTI-FAMILY "GENERAL RESIDENTIAL DEVELOPMENT SITE" COMPRISED OF MULTIPLE EXISTING AND PROPOSED BUILDINGS TOGETHER WITH ASSOCIATED PARKING AND ACCESSWAYS.
- THE BASE PLAN USED HERE WAS DEVELOPED FROM "ALTA/ACSM LAND TITLE SURVEY, 3548 LAFAYETTE ROAD, PORTSMOUTH, NH" BY JAMES VERRA AND ASSOCIATES, INC., DATED AUGUST 11, 2011.
- ZONE: G1 (GATEWAY 1)
- DIMENSIONAL REQUIREMENTS:**
MIN. LOT AREA: 10,000 S.F. (0.23 ACRE) ON DEVELOPMENT SITE ±162,970 S.F. (±3.74 AC.) PROVIDED
MIN. STREET FRONTAGE: 100' (ON LAFAYETTE ROAD) (161.55' EXISTING)
MIN. LOT DEPTH: N/A
FRONT SETBACK: 70' MIN./90' MAX. (FROM LAFAYETTE ROAD CL)
SIDE SETBACK: 15'
REAR SETBACK: 20'
MAX. BUILDING HEIGHT: 50' (OR FOUR STORIES)
MAX. BUILDING LENGTH: 200'
MAX. BUILDING FOOTPRINT: N/A
MAX. BUILDING COVERAGE: 50% (15.8%/±25,770 S.F. PROPOSED)
BUILDING STEPBACK: N/A (ROW > 60')
BLDG FACADE ORIENTATION: PARALLEL TO FRONT LOT LINE
FRONT LOT LINE BUILDOUT: 50% (34.3%/55.4' EXISTING)
DWELLING DENSITY: 20 UNITS/ACRE (GENERAL RESIDENTIAL)
DWELLING UNITS PER BLDG: 4 MIN./24 MAX.
PERIMETER BUFFER: 75' FROM RES. MIXED RES. OR 4-I1 DISTRICTS
MIN. COMMUNITY SPACE: 10% (FOR DEVELOPMENT SITE)
MIN. OPEN SPACE: 20% (50.3%/±81,963 S.F. PROPOSED)
- ZONING SECTION 10.540 - CONDITIONAL USE PERMIT FROM PLANNING BOARD REQUIRED TO ALLOW A GENERAL RESIDENTIAL DEVELOPMENT SITE.
- DENSITY CALCULATIONS:**
GENERAL RESIDENTIAL DEVELOPMENT: 20 DWELLING UNITS / ACRE
3.74 ACRES X 20 = 75 UNITS PERMITTED (75 PROPOSED)
- UNIT COMPOSITION:
18 STUDIO (RENOVATED)
15 ONE BEDROOM (RENOVATED)
3 TWO BEDROOM (RENOVATED)
36 TWO BEDROOM (NEW)
3 THREE BEDROOM (RENOVATED)
75 TOTAL UNITS
- PARKING REQUIREMENTS:**
DWELLING UNITS: 1.3 SPACES PER DWELLING UNIT OVER 750 S.F.
75 UNITS X 1.3 = 98 SPACES REQUIRED
VISITOR PARKING: 1 SPACE PER 5 DWELLING UNITS
75 UNITS / 5 = 15 SPACES REQUIRED
TOTAL PARKING REQUIRED: 113 SPACES
TOTAL PARKING PROVIDED: 131 SPACES (18 SPACE/15.9% SURPLUS)
- THE FOLLOWING VARIANCES FROM THE PORTSMOUTH ZONING ORDINANCE WERE GRANTED ON JUNE 15, 2021:

SECTION 10.5B53.10 - TO ALLOW NEW BUILDINGS TO BE CONSTRUCTED OUTSIDE THE REQUIRED FRONT BUILDING SETBACK WHERE THE MINIMUM REQUIRED FRONT BUILDOUT IS NOT MET (50% REQUIRED, 34.3% PROVIDED).

SECTION 10.5B22.40 - TO ALLOW NEW BUILDINGS TO BE CONSTRUCTED OUTSIDE THE MINIMUM AND MAXIMUM SETBACKS FROM THE CENTERLINE OF LAFAYETTE ROAD.
- SNOW SHALL BE STORED AT THE EDGE OF PAVEMENT, IN AREAS SHOWN HEREON, AND/OR TRUCKED OFF SITE AS APPROPRIATE.
- PAVEMENT MARKINGS SHALL BE CONSTRUCTED USING WHITE, YELLOW OR BLUE TRAFFIC PAINT (WHERE SPECIFIED) MEETING THE REQUIREMENTS OF AASHTO M248, TYPE F OR EQUAL. PAINTED ISLANDS AND LOADING ZONES SHALL BE 4"-WIDE DIAGONAL WHITE LINES 3'-0" O.C. BORDERED BY 4"-WIDE WHITE LINES. PARKING STALLS SHALL BE SEPARATED BY 4"-WIDE WHITE LINES. SEE DETAILS FOR HANDICAP SYMBOLS, SIGNS AND SIGN DETAILS.
- PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC DEVICES," "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" AND THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITIONS.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM STANDARDS OF THE CITY OF PORTSMOUTH & NHDOT'S STANDARD SPECIFICATION FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITIONS. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINES WITH RS-1 IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL BONDS AND FEES SHALL BE PAID/POSTED PRIOR TO INITIATING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ALL BENCHMARKS AND TOPOGRAPHY IN THE FIELD PRIOR TO CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL NEW CURBING SHALL BE VERTICAL GRANITE WITH A MINIMUM RADIUS OF 4'.
- THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL AND STRUCTURAL PLANS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER FOR RESOLUTION.
- BUILDING AREAS SHOWN ARE BASED ON FOOTPRINT MEASURED TO THE EDGE OF FOUNDATIONS AND/OR SLABS. ACTUAL INTERIOR SPACE WILL DIFFER.
- ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- SITWORK CONTRACTOR SHALL PREPARE A STAMPED AS-BUILT SITE PLAN STAMPED BY A LICENSED LAND SURVEYOR (LLS) & PROVIDE A DIGITAL (CAD FORMAT) COPY FOR THE CITY'S G.I.S. DATA BASE.
- STREET ADDRESSES FOR EACH APARTMENT SHALL BE DETERMINED BY PORTSMOUTH FIRE DEPARTMENT & DPW.
- SEE SHEET XXXX FOR LEGEND.

NOT FOR CONSTRUCTION

ISSUED FOR:
TAC WORK SESSION

ISSUE DATE:
AUGUST 3, 2021

REVISIONS
NO. DESCRIPTION BY DATE
0 TAC WORK SEESION EBS 08/03/21

DRAWN BY: _____ EBS
APPROVED BY: _____ EDW
DRAWING FILE: _____ 5161-SITE.dwg

SCALE:
22" x 34" - 1" = 30'
11" x 17" - 1" = 60'

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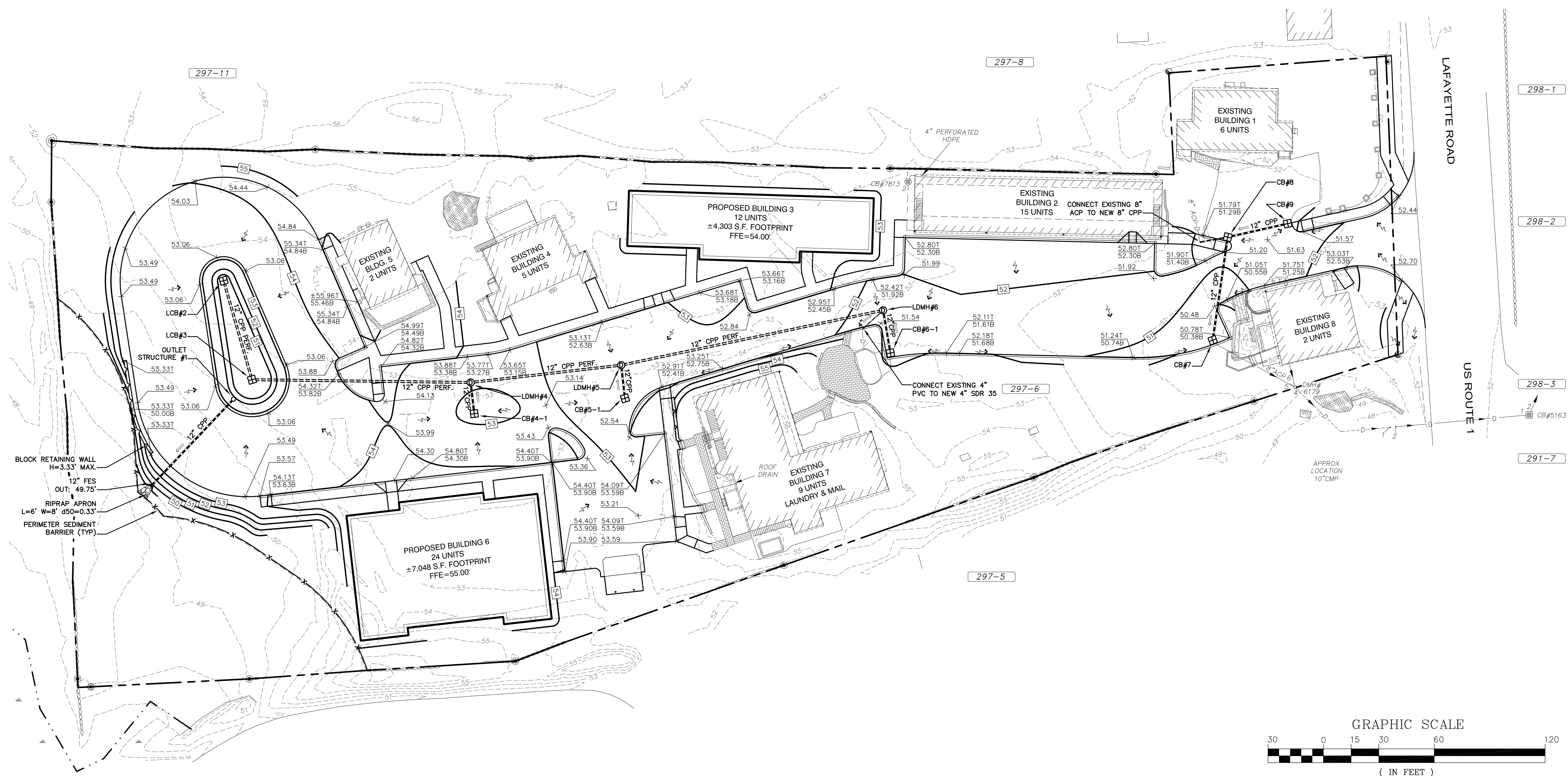
APPLICANT:
MONARCH VILLAGE, LLC
P.O. BOX 365
EAST HAMPSTEAD, NH 03826

PROJECT:
MONARCH VILLAGE

TAX MAP 297, LOT 6
3548 LAFAYETTE ROAD
PORTSMOUTH, NH 03801

TITLE:
STORMWATER
MANAGEMENT PLAN

SHEET NUMBER:
C-3



GRADING AND DRAINAGE NOTES

- DO NOT BEGIN CONSTRUCTION UNTIL ALL STATE AND LOCAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- CONTRACTOR SHALL OBTAIN A "DIGSAFE" NUMBER AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- ALL CONSTRUCTION SHALL MEET THE MINIMUM CONSTRUCTION STANDARDS OF THE CITY OF PORTSMOUTH AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. THE MORE STRINGENT SPECIFICATION SHALL GOVERN.
- ALL BENCHMARKS AND TOPOGRAPHY SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO INITIATING CONSTRUCTION.
- UNLESS OTHERWISE AGREED IN WRITING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING TEMPORARY BENCHMARKS (TBMS) AND PERFORMING ALL CONSTRUCTION SURVEY LAYOUT.
- PRIOR TO CONSTRUCTION, FIELD VERIFY JUNCTIONS, LOCATIONS AND ELEVATIONS/INVERTS OF ALL EXISTING STORMWATER AND UTILITY LINES. PRESERVE AND PROTECT LINES TO BE RETAINED.
- TEMPORARY INLET PROTECTION MEASURES SHALL BE INSTALLED IN ALL CATCH BASINS WITHIN 100' OF THE PROJECT SITE WHEN SITE WORK WITHIN CONTRIBUTING AREAS IS ACTIVE OR SAID AREAS HAVE NOT BEEN STABILIZED.
- DRAINAGE PIPE SHALL BE CORRUGATED POLYETHYLENE PIPE (CPP), TYPE ADS N-12 OR HANCO H1-Q, OR PVC SDR 35 WHERE SPECIFIED. ALL FLARED END SECTIONS SHALL BE METAL.
- ALL ROOF DRAIN RISERS SHALL BE LOCATED IN COORDINATION WITH THE ARCHITECTURAL PLANS TO MATCH GUTTER DOWNSPOUTS. RISERS SHALL BE SET TO FINISH GRADE PLUS 1' (MIN.).
- PROTECTION OF SUBGRADE: THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN STABLE, DEWATERED SUBGRADES FOR FOUNDATIONS, PAVEMENT AREAS, UTILITY TRENCHES, AND OTHER AREAS DURING CONSTRUCTION. SUBGRADE DISTURBANCE MAY BE INFLUENCED BY EXCAVATION METHODS, MOISTURE, PRECIPITATION, GROUNDWATER CONTROL, AND CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT SUBGRADE DISTURBANCE. SUCH PRECAUTIONS MAY INCLUDE DIVERTING STORMWATER RUNOFF AWAY FROM CONSTRUCTION AREAS, REDUCING TRAFFIC IN SENSITIVE AREAS, AND MAINTAINING AN EFFECTIVE DEWATERING PROGRAM. SOILS EXHIBITING HEAVING OR INSTABILITY SHALL BE OVER EXCAVATED TO MORE COMPETENT BEARING SOIL AND REPLACED WITH FREE DRAINING STRUCTURAL FILL. IF THE EARTHWORK IS PERFORMED DURING FREEZING WEATHER, EXPOSED SUBGRADES ARE SUSCEPTIBLE TO FROST. NO FILL OR UTILITIES SHALL BE PLACED ON FROZEN GROUND. THIS WILL LIKELY REQUIRE REMOVAL OF A FROZEN SOIL CRUST AT THE COMMENCEMENT OF EACH DAY'S OPERATIONS. THE FINAL SUBGRADE ELEVATION WOULD ALSO REQUIRE AN APPROPRIATE DEGREE OF INSULATION AGAINST FREEZING.
- IF SUITABLE, EXCAVATED MATERIALS SHALL BE PLACED AS FILL WITHIN UPLAND AREAS ONLY AND SHALL NOT BE PLACED WITHIN WETLANDS. PLACEMENT OF BORROW MATERIALS SHALL BE PERFORMED IN A MANNER THAT PREVENTS LONG TERM DIFFERENTIAL SETTLEMENT. EXCESSIVELY WET MATERIALS SHALL BE STOCKPILED AND ALLOWED TO DRAIN BEFORE PLACEMENT. FROZEN MATERIAL SHALL NOT BE USED FOR CONSTRUCTION.
- ALL CATCH BASIN, MANHOLE AND OTHER DRAINAGE RIMS SHALL BE SET FLUSH WITH OR NO LESS THAN 0.1' BELOW FINISH GRADE. ANY RIM ABOVE SURROUNDING FINISH GRADE SHALL NOT BE ACCEPTED.
- ALL SPOT GRADES ARE AT FINISH GRADE AND BOTTOM OF CURB WHERE APPLICABLE.
- IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS, DRAINAGE AND OTHER UTILITY STRUCTURES MAY NOT BE DRAWN TO SCALE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZING AND LOCATION OF ALL STRUCTURES AND IS DIRECTED TO RESOLVE ANY POTENTIAL DISCREPANCY WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- SEE SHEET XXXX FOR LEGEND.

