

**MEETING OF
THE HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom
(See below for more details)**

6:30 p.m.

December 01, 2021

AGENDA

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. APPROVAL OF MINUTES

1. November 03, 2021

II. ADMINISTRATIVE APPROVALS

1. 33 Holmes Court
2. 37 South Street
3. 239 Northwest Street
4. 33 Northwest Street
5. 401 State Street, Unit M502
6. 175 Fleet Street
7. 129 Daniel Street

III. CERTIFICATE OF APPROVAL EXTENSION REQUESTS

1. Petition of **PNF Trust of 2013, owner**, for properties located at **266-278 State Street and 84 Pleasant Street**, wherein permission is requested to allow a 1-year extension of the Certificate of Approval originally granted on January 06, 2021 for exterior renovations to an existing structure (278 State Street) and new construction to an existing structure (4-5 story addition at 266 & 270 State Street) and exterior renovations to an existing structure (renovate wood structure fronting Pleasant Street and allow the partial demolition and replacement of the Church Street masonry addition at 84 Pleasant Street) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 107 as Lots 77, 78, 79, and 80 and all lie within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

IV. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Friends of the Music Hall, owner**, for property located at **131 Congress Street**, wherein permission is requested to allow renovations to an existing structure (update existing store front) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 6 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

V. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow modifications to a previously approved plan (add rooftop atrium and masonry changes to the brick wall and front wall of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

VI. WORK SESSIONS (OLD BUSINESS)

A. **REQUEST TO POSTPONE-** Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

B. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

C. **REQUEST TO POSTPONE-** Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

D. Work Session requested by **Steve & Cathy Ann Henson, owners**, for property located at **0 Maplewood Avenue**, wherein permission is requested to allow the construction of a new single family dwelling as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 3 and lies within the General Resident A (GRA) and Historic Districts.

VII. ADJOURNMENT

**Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:*

https://us06web.zoom.us/webinar/register/WN_dJdFmveES9iYUR6FzDe68Q

**MINUTES OF THE
HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE
PORTSMOUTH, NEW HAMPSHIRE
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

6:30 p.m.

November 03, 2021

MEMBERS PRESENT: Acting Chairman Jon Wyckoff; Acting Vice-Chair Margot Doering; City Council Representative Paige Trace; Members Reagan Ruedig, Martin Ryan, David Adams, Dan Brown, and Alternates Karen Bouffard and Heinz Sauk-Schubert

MEMBERS EXCUSED: None

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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Acting-Chair Wyckoff stated that the Commission would have an extra meeting in December to discuss problem areas like the large number of air conditioner requests and so on.

I. APPROVAL OF MINUTES

1. October 06, 2021

The October 6 minutes were approved as amended.

II. ADMINISTRATIVE APPROVALS

1. 14 Mechanic Street

The request was for a different railing on the front of the home than previously presented.

2. 105 Daniel Street

The request was to replace the existing chain link fence with a 4' high cedar wood fence.

3. 18 Porter Street

The request was to add another radon removal system on the rear of the building.

Stipulation: The radon mitigation pipe shall be field painted to match the brick (same as the approval for Unit #16).

4. 45 Market Street

The applicant previously got approval for a Pella aluminum clad window but had trouble sourcing it and wanted to switch to a Marvin Elevate window with the same style and details.

5. 41 Salter Street

The request was to replace two awning windows on the side of the addition with skylights due to fire separation requirements and lack of an easement on the abutting property. Mr. Adams said he remembered pushing hard to have the defining corner board of the original Cape expressed on the side of the building, but the document indicated ‘approved and amended views’. The applicant’s representative architect Jack Weider was present and said they were going to do the separation but that the graphic just didn’t show it.

Stipulation: The vestigial corner board shall be expressed on the side of the building as originally presented.

6. 30 Cate Street

Mr. Cracknell said the item was meant to be a site plan amendment and shouldn’t be listed.

7. 54 Humphreys Court

The request was to convert the chain link fence to a cedar fence.

*Ms. Ruedig moved to **approve** all the items (with the exception of Item 6), with the stipulation as noted on Item 5. Mr. Brown seconded. The motion **passed** unanimously, 7-0.*

III. CERTIFICATE OF APPROVAL EXTENSION REQUESTS

1. Petition of **Robin B. and Cyrus B. Noble, owners**, for property located at **15 Mt. Vernon Street**, wherein permission was requested to allow a second 1-year extension of the Certificate of Approval originally granted on October 02, 2019 for new construction to an existing structure (extend roofline of the existing house over the attached garage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 111 as Lot 33 and lies within the General Residence B (GRB) and Historic Districts.

The applicant Cyrus Noble was present and said he discovered that the land use permit granted by the BOA expired in July, so he had to re-apply for it before getting the building permit.

*Mr. Ryan moved to extend the Certificate of Approval for another year, and Ms. Ruedig seconded. The motion **passed** unanimously, 7-0.*

IV. PUBLIC HEARINGS (NEW BUSINESS)

2. Petition of **Rockingham House Condominium Association, owner, and Sandra J. Lorusso, unit owner**, for property located at **401 State Street, Unit M502**, wherein permission is requested to allow renovations to an existing structure (replace two windows) as per plans on

file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 3N and lies within the Character District 4 (CD4) and Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

The applicant Sandra Lorusso said she wanted to replace two out of seven existing windows with Andersen ones. Ms. Ruedig asked if the existing windows could be restored instead. Ms. Lorusso said the gaps were too big. Ms. Ruedig said there were carpenters who could fix the problem and that her preference was to restore the windows. It was further discussed. Ms. Lorusso said restoring them might be expensive. Mr. Ryan noted that some of the windows in the condominium complex were previously replaced, so he didn't think it was an unreasonable request. City Council Representative Trace said the Commission didn't generally consider financial aspects and that Mr. Cracknell could provide a list of people who restored windows and that it might not be as expensive as the applicant thought. Mr. Adams said the Commission was starting to take a more preservation-minded look at sashes and that he would be more comfortable if the applicant contacted someone about sash repair. Ms. Ruedig said she would be more comfortable with the façade windows being restored.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

Alice Wall of 633 Woodbury Avenue said it was an old and simple window and could be replaced without anyone finding it offensive to the look of the building.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one else spoke, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to allow the replacement of the two windows by **granting** the Certificate of Approval for the application as presented. Mr. Adams seconded for purposes of discussion.*

Acting-Chair Wyckoff said there had been enough discussion and called for a voice vote.

*The motion **failed** by a vote of 4-3, with Ms. Ruedig, Acting Vice-Chair Ruedig, Mr. Adams, and City Council Representative Trace voting in opposition to the motion.*

3. Petition of **Dagny Taggart, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow new construction to an existing structure (construct 3-story addition to the rear of the existing structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 47 and lies within the Character District 4 (CD4) Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

Architect Tracy Kozak was present on behalf of the applicant. She said the major changes were that the driveway access to the underground parking was moved, and the wall at the east corner wasn't removed except for 20 square feet of wall. She said the right-hand side of the building was moved about three feet left to give the abutter more space. She said they wanted to amend the handrail to match the wrought-iron one on the front of the Treadwell House. Acting-Chair Wyckoff noted that the iron fence was on top of the wall and asked how tall the fence was. Ms. Kozak said it was about three feet tall. She reviewed the elevations and discussed the shutters and brackets, noting that the louvers were adjustable. She discussed the samples and said the brick could be either flashed or non-flashed. Ms. Ruedig said she liked the flashed brick. Ms. Sauk-Schubert said he'd prefer to see a coffered ceiling on the entry porch instead of the elevation being the same as the header of the door. Ms. Kozak reviewed the materials.

Acting Vice-Chair Doering asked if the framing for the garage door was set into the brick. Ms. Kozak said it was a brick veneer and that the frame would align with it. City Council Representative Trace asked about the section with clapboard between the Treadwell House and the new addition. Ms. Kozak said it was a 6/12 roof pitch at the porch and at the top of the third story, and the flat zinc panel was the elevator overrun and was set way back. Mr. Ryan said it looked heavy and awkward and thought it could be hidden better by covering it with slate. He said when the shutter was closed, it would look like a bright aluminum strip. Ms. Kozak said they came in black, and if the Commission didn't want the retractable shutter, the hardware for the plantation shutters was a simple flat metal that could be flat black or custom painted to match the brick. Mr. Ryan suggested a mockup approval. He said the materials for the shade on the northern part of the building bothered him because the canopies looked like they lost their fabric, and he suggested seeing a mockup of those before approving. Acting Vice-Chair Doering said the hardware for the shutters should be over the window, otherwise it could read like a header. She asked if siding the elevator overrun with Boral was considered so that it would look like a second story. Ms. Kozak said they had drawn it that way but that it didn't fit with the language of the smaller porches connecting the bigger brick boxes, and the darker color would fade away.

Ms. Ruedig said she was thrilled that the wall would stay intact and was supportive of the operable shutter. She agreed with Acting Vice-Chair Doering's comment about the shutters and thought looking at mockups of the shutters and awnings in the field would be helpful. She said she was still concerned about having traditional little things but thought that overall it was well done, and that the chosen brick was appropriate. Mr. Adams said the architects erred by highlighting the lines in the metal panels of the elevator overrun. He said the gray material didn't require painting and was the way to go. He said that he wasn't as on board with the sliding shutters as he could be. He said the lower shelf of the brick articulation would allow water to get into the top surface of the brick unless flashing material was placed there. He said he didn't think much about recessing the course of brick around the windows on the first and second floors, and that he also had difficulty with the skeletal nature of the metal awnings on the building's northern portion and wanted to see an in-place sample of it on site near the Treadwell building. Acting-Chair Wyckoff asked if the sliding hardware had to be recessed or could just be placed on the brick. Ms. Kozak said it could be placed on the brick but would push the shutter out a half inch. She said the hardware was a 2-3/4" high strip metal and that the solid track could be painted any color, and the retractable sliding track came in stainless steel or black.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

No one rose to speak.

SPEAKING AGAINST THE PETITION

Attorney Jack McGee said he represented Peter and Janet Dinan of 278 Court Street who lived across the street from the project. He said the applicant wanted to destroy the historic character of the area and that the Treadwell House would be absorbed into a massive unnecessary project. He said the Dinans' house was an historic 1770 structure that started a row of houses that had historic character and that the project would overwhelm the street. He said the Commission had criteria to protect historic districts and landmarks, which included conserving property values in such districts. He said the project would destroy the value of his clients' home and that it wasn't the place for a micro-apartment complex. He said the building could house short-term rentals that would usurp parking along that street. He urged the Commission to deny the application.

No one else rose to speak, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Mr. Ryan moved to **grant** the Certificate of Approval for the project, with the following stipulations:*

- 1. The track shall be black for the shutters and a mock-up shall be provided to the Planning Department prior to fabrication or installation of any shutters.*
- 2. A non-flashed brick shall be used with a modified American Bond as presented and a mock-up shall be provided to the Planning Department.*
- 3. The Commission shall approve a mock-up of the awnings on the discussed portion of the building prior to fabrication or installation.*
- 4. The coffered ceiling shall match the main entry porch.*
- 5. The railing shall match the wrought-iron fence on the Treadwell House and the railing shall sit toward the back on the existing historic stone wall.*
- 6. A qualified or certified archaeologist shall visit the site during excavation and provide a photographic inventory and written report to the Planning Department and the Athenaeum prior to construction.*
- 7. The approval shall be contingent upon Planning Board and Board of Adjustment Approvals.*

Mr. Adams seconded the motion.

Mr. Ryan said the project would preserve the integrity of the District and would be consistent with the special and defining characters of the surrounding properties. He noted that the Commission took their position very seriously and that he would not approve the project if he felt that it would destroy the character of the Historic District. He said the building had a sensitive design and was very fitting within the location it was presented in. Mr. Adams said it was the third application for the re-use of the site and that it had come the furthest in relating to

the city and providing opportunity for the Treadwell House to have a respectable future. He said the project was respectful of the Treadwell House, was diminutive in nature, and reflected many of the Treadwell House's features. He said the applicant had been extraordinarily sensitive to the issues the Commission had raised, not the least of which was the stone wall, and he didn't think the project would detract at all from the property values of surrounding properties.

Acting Vice-Chair Doering referred to Attorney McGee's comments and said that the use of the building was not the Commission's purview, and there was no parking permitted on Court Street. She encouraged people in the neighborhood who were concerned about a project to attend the meeting and speak, noting that there was almost no public feedback throughout the several presentations by the applicant, although there were a few suggestions from the public that were incorporated into the designs. City Council Representative Trace said it was a severe case of the tail wagging the dog, and the dog was the Treadwell House. She didn't think the project preserved the historic character. She said the Dinans would be looking straight up at a 3+ story brick building from their dining room window. She said she could not approve the project.

*The motion **passed** by a vote of 6-1, with City Council Representative Trace voting in opposition.*

4. Petition of **Malloy Revocable Trust of 2017, Timothy R. and Susan P. Malloy Trustees, owners**, for property located at **52 Prospect Street**, wherein permission is requested to allow new construction to an existing structure (construct 2-story rear addition) and renovations to an existing structure (new windows and siding) as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 and Lot 13 and lies within the General Residence A (GRA) and Historic Districts.

SPEAKING TO THE PETITION

The applicants Tim and Susan Malloy and their designer Hubert Krah were present to review the petition. Mr. Malloy noted that they didn't have their variances because the BOA meeting was cancelled the previous week. Mr. Krah said they would remove the aluminum cladding and that they discovered a bottom course of clapboard under the aluminum and would restore what could be restored. He said a composite material would be used on the addition to match existing. He discussed the windows in detail and said they wanted to use Marvin Elevate windows as replacements. He said the addition would be on pilings closed in by lattice and the roof on the addition would have eave detailing to match existing.

In response to the Commission's questions, Mr. Krah said the lattice style would be diagonal, the original door would be moved out and the casing would match, and the gutters would stay the same. He said all the aluminum siding would be removed and whatever wood siding was re-usable would remain and be painted. He said they would try to repair the front and two sides and keep it wood but would most likely remove the siding on the rear section to accommodate the new construction and would keep any re-usable wood. He said the flat casings and the door would have a band molding. He explained what the rake board would look like. He said the steps, landing and railings would be wood and they would chamfer the tops of the posts.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

Steve Hanson said he lived a few doors down from the project and was in support because it would be a low-impact addition and would be in keeping with the historic neighborhood.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one else spoke, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulations**:*

- 1. The approval is contingent on Approval by the Board of Adjustment.*
- 2. The stairs and the railings should be wood with a chamfered top.*

Mr. Ryan seconded.

Ms. Ruedig said the project would conserve and enhance property value by improving the applicant's house and would be consistent with the special and defining character of the surrounding properties. She noted that it was a very appropriate design and a low-impact addition to the house and was set back, so it wouldn't be seen much from the street.

*The motion **passed** unanimously, 7-0.*

V. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow modifications to a previously approved plan (add rooftop atrium and masonry changes to the brick wall and front wall of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

The applicant Steve Wilson was present and reviewed the brick portion of the petition. He said a new full brick was chosen because the engineer recommended rebuilding a portion of the northeast wall with a full-faced brick. He said they were approved to have a thin brick on the wall facing the Worth Lot but thought it was difficult to do a thin brick on that large wall, so he wanted to put a full brick there. He said the atrium was more of a trapezoidal skylight that would bring natural light to the lobby area and would need a railing. He said the building would house one commercial office, so some of the balconies could be eliminated. He said he had a sample of the brick and thought the chosen full-width brick would emulate the existing brick wall best.

Ms. Ruedig said she visited the site and thought the selected brick was appropriate and matched much better than the earlier samples. She said the full brick and rebuilding the whole thing was

much more preferable than a veneer brick. She said she could also accept the skylight because it was more of a monitor type of skylight that was common in historic brick buildings and she didn't think it would be very visible. She said she was fine with leaving the window façade apparatus the way it was. Acting Vice-Chair Doering said she also liked the brick. Mr. Wilson said he would work on the skylight and the railing detail for the next meeting.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

Allison Griffin of 25 Maplewood Avenue said she was an abutter and supported the petition.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one else spoke, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **approve** only the brick portion, the use of the full-width brick in the specifications presented to match the existing brick. Mr. Brown seconded. The motion **passed** unanimously, 7-0.*

*Ms. Ruedig moved to **continue** the discussion of the other two items to the December 1 meeting, and Mr. Ryan seconded. The motion **passed** unanimously, 7-0.*

City Council Representative Trace recused herself from the following petition, and Alternate Karen Bouffard took a voting seat.

B. WORK SESSION/PUBLIC HEARING. Petition of **Danny Parker, LLC, owner**, for property located at **266 Middle Street**, wherein permission is requested to allow the removal and replacement of the rear egress stairs and deck and renovations to an existing structure (replace siding and windows) as per plans on file in the Planning Department. Said property is shown on Assessor Map 136 as Lot 9 and lies within the Mixed Research Office (MRO) and Historic Districts.

WORK SESSION

Architect Mark Gianniny was present on behalf of the applicants, and the applicants John and Tina Bosen were also present. Mr. Gianniny discussed replacing the vinyl windows and what was found under the siding. He said the intent was to replace the windows with Andersen 400 Series windows. He said the bay windows appeared to be 1/1 and the double hungs were 2/2, so they would use an SDL window to replicate that pattern. He said half screens would be used.

Acting Vice-Chair Doering asked if there were grill patterns on the sides of the building. Mr. Gianniny said the intent was to mimic what was seen on the front. He said the siding they were removing was vinyl and they would replace the clapboards with Hardie Board and then would replace or upgrade the window trim. In response to further questions, Mr. Gianniny said they would use HardiePlank siding with a 4" exposure and would strip the existing wood siding down to the sheathing. Mr. Adams said the photos clearly showed what was there, and that the corner

boards and framing elements of the windows and everything else had to go because of missing materials, rotten sills, the trim rewrapped in metal, and so on. Acting Vice-Chair Doering said the building was a beautiful and unique one right on a main street and not far from the sidewalk, so it deserved to have an authentic redo, and HardiePlank on the front of the building wasn't appropriate. Acting-Chair Wyckoff agreed.

The applicant John Bosen said he would consider a wood clapboard in the front. He asked how the Commission felt about wood in the front and HardiePlank on the sides and back. Ms. Ruedig said he should stick with the original design. She said replacing the wood siding would be done with a 3-1/2" exposure but the rest of the building with the HardiePlank was only four inches, so it was mismatched. She didn't know if Boral could be done at a more narrow exposure if synthetic siding was used. Mr. Bosen said he was willing to consider wooden clapboards for the front. Acting-Chair Wyckoff said the applicant could have the siding removed and then decide what it would cost to fix some of the clapboards instead of replacing all the clapboards, which would cost more money. He said the applicant would have to put the brackets back underneath the windowsill on the bays, at least on the front, to match the historic photo.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING TO FOR, OR, AGAINST THE PETITION

No one spoke, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **approve** the window and siding portions of the application, with the following **stipulations**:*

- 1. The wood siding shall be repaired and replaced in kind to match the historic photo; and*
- 2. Half screens shall be used.*

Acting Vice-Chair Doering seconded.

Ms. Ruedig said the project would conserve and enhance the values of surrounding properties, would be consistent with the special and defining characters of surrounding properties, and would relate to the historic and architectural value of the existing structure.

*The motion **passed** unanimously, 7-0.*

City Council Representative Trace returned to her voting seat and Ms. Bouffard resumed alternate status.

C. WORK SESSION/PUBLIC HEARING. Petition of **238 Deer Street, LLC, owner**, for property located at **238 Deer Street**, wherein permission is requested to allow the demolition of the existing structure and the construction of a new 3-4 story mixed-use building as per plans on

file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

WORK SESSION

Architects Mark Gianniny and Richard Desjardins were present on behalf of the applicant. Mr. Gianniny discussed the neighborhood context and renderings. Mr. Desjardins said they aligned the parapets with the windows below and had to reduce the number of windows because the building was on a property line. He reviewed other changes that included the removal of the precast header sills and the base that wrapped around the building, the brick color changing to red, and the addition of a continuous overhang around the penthouse. He said they came up with a secondary color option based on the previously-presented brownish brick and that there would be clapboards on all the volumes where there was no brick. He said they preferred using a brick called the Williamsburg that had a more modern texture and that they didn't like the color and texture of the Portsmouth brick. The windows and trim were discussed. Acting Vice-Chair Doering asked if the renderings factored in the brick mold trim, and Mr. Desjardins agreed. She said she just saw a black metal strip. Mr. Gianniny said she would see something in almost an inch and a half, in addition to the window frame, and in black.

Acting-Chair Wyckoff said he'd prefer that the brick be a conventional brick color. Mr. Adams suggested viewing a mockup on site. Mr. Gianniny said the alternate option for the brick color was brown. Acting Vice-Chair Doering said she still wasn't a big fan of the tall parapet and liked the railing in the back corner better. She said she liked the color of the brick sample but was thrown by the texture. Mr. Adams said he wasn't bothered by the solid parapet because the building wasn't really a replica of anything and that it fit in with the buildings around it. He said the bits of railing had some interest. He said the tapestry-like brick was too severe for the exterior of the building and thought the previous gray brick was more interesting. He said the red-toned brick was a lot of texture and should look like something that belonged in Portsmouth.

Mr. Ryan said the project improved because there were more elements that gave it character. He suggested carrying the handrail all the way around to give a nicer termination to the wall and to also serve as a cornice to the top of the wall. He said the brick sample almost looked like colored concrete. Ms. Ruedig said the parapet was a bit weird and thought if the trim work was painted the same color, it wouldn't look like there were those weird panels on top. She suggested carrying the short bits all the way around but not trying to match the neighboring building too much. She said the gray brick was more interesting than the red but didn't know how it would look against the abutting gray building. City Council Representative Trace said the Portsmouth brick was a softer color and that the fence around the perimeter of the penthouse floor provided some privacy. Mr. Sauk-Schubert said touching the brick was very uncomfortable. He said the brick street elevation bothered him and suggested enlivening that particular façade by using a color scheme that would complement the main façade.

There was no public comment, and Acting-Chair Wyckoff closed the work session and went into the public hearing.

SPEAKING TO THE PETITION

Mark Gianniny referred to the changes he spoke about in the work session and said they would further review the parapet details and the type of brick at a later date.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING TO FOR, OR, AGAINST THE PETITION

No one spoke, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Ms. Ruedig moved to grant the Certificate of Approval for the application, with the following stipulations:

- 1. The bricks shall be finalized with a mockup, and*
- 2. The applicant shall return with a final design for the parapet.*

Mr. Ryan seconded.

Ms. Ruedig said the project would conserve and enhance property values and would provide compatibility of design with the surrounding properties. She noted that some sort of documentation or photos should be taken of the existing building and presented to the Planning Department and Athenaeum.

*The motion **passed** unanimously, 7-0.*

VI. WORK SESSIONS (OLD BUSINESS)

A. REQUEST TO POSTPONE- Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **continue** the work session to the December 1 meeting, and Acting Vice-Chair Doering seconded. The motion **passed** unanimously, 7-0.*

B. REQUEST TO POSTPONE- Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **continue** the work session to the December 1 meeting, and Acting Vice-Chair Doering seconded. The motion **passed** unanimously, 7-0.*

C. REQUEST TO POSTPONE- Work Session requested by **Port Harbor Land, LLC, owner**, for property located at **2 Russell Street and 0 Deer Street (2 lots)**, wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **continue** the work session to the December 1 meeting, and Acting Vice-Chair Doering seconded. The motion **passed** unanimously, 7-0.*

D. Work Session requested by **Steve & Cathy Ann Henson, owners**, for property located at **0 Maplewood Avenue**, wherein permission is requested to allow the construction of a new single family dwelling as per plans on file in the Planning Department. Said property is shown on Assessor Map 141 as Lot 3 and lies within the General Resident A (GRA) and Historic Districts.

Architect Michael Keane was present on behalf of the applicant. He said they reduced the building footprint by about 3,000 square feet, eliminated the front wraparound porch, brought the building out to the Prospect Street line, and made the building a full two stories. He said the garage remained slightly set back due to the driveway and to give more prominence to the house, the ridge on the garage was turned to go in the opposite direction, and the connector between the garage and primary building was reduced to one story. He proposed using double hungs throughout the building and a full brick veneer where the foundation was more than 12 inches exposed so that it would carry around the Maplewood Avenue and Prospect Streets sides.

Acting Vice-Chair Doering said she appreciated that the garage was only one story but thought its footprint was almost as large as the house and wasn't in character with the neighborhood that had very few if any large garages. She said it added to the mass of the house in terms of footprint and had to contribute secondarily to the house's mass as a whole. She said a lot of the materials were things like HardiePlank and PVC and that she'd like to see more traditional materials, particularly where the house was moved close to Prospect Street. She asked what would be done with the mature trees. Mr. Keane said the trees on Prospect Street could not be saved because the house was too close to them but that they would keep as many of the five mature trees as they could. He said the garage would get a lot of cars off the street.

Mr. Ryan said the project was far better than before but that there seemed to be two different styles of house -- a 19th Century house and a 20th Century bungalow. He said some of the window panes on the bungalow style were more modern than the main house. Mr. Keane said part of it was to break up the mass but that he could look at other options. Ms. Ruedig said the massing had improved but the house was still very large and she still wasn't sold on a three-car garage because it wasn't in keeping with the neighborhood. She said she preferred to see it

pushed back as far as possible so that it would be hidden to someone driving down Maplewood Avenue. She pointed out that it was a new house that should have the same language and style. Mr. Brown said he saw from the beginning that the house was two different styles and thought getting the styles closer to each other would be better.

Mr. Ryan suggested having a barn with three bays instead of a garage. Mr. Adams agreed. He said there was something about the balance of the Maplewood Avenue elevation that looked like the item to the left was too small or not providing enough weight, even though it wasn't the front of the house, and that there was something lacking formal presentation that made it look like the side of the building. He said the foundation line in the Maplewood Avenue elevation should be carried through rather than clapboard siding down to grade and that an element was needed to relate it to the foundation line of the main block of the house. He said the roof edge trim in almost every elevation was lacking and needed to be a bit heavier.

Acting-Chair Wyckoff said the stairs to the dormer were driving the size of the garage by adding width to the two-car section, and he thought the dormer was awkward on the top of it and caused the semi-cottage contemporary house garage look. He said he appreciated the shrinking of the third garage space and thought showing it with different siding made a lot of difference in making it go away a bit, and if it had more of a casual siding, it would help even more. City Council Representative Trace suggested that the applicant look at some of the carriage barns in town, noting that a carriage barn with blind doors behind it would relate a lot better to the house. She said the door in the connector looked like a 1920s Craftsman door. She said the third garage was fine because it looked like an added on lean-to shed on a potential carriage barn. She said the applicant could get away with the dormers as an add-on, but a Craftsman style would be added to a different story up front. She suggested that it be simplified. Mr. Sauk-Schubert agreed with the comments. He said the elevation proportions weren't consistent and lacked harmony and balance, especially in the Maplewood Avenue elevation and the back elevation.

There was no public comment.

DECISION OF THE COMMISSION

*Ms. Ruedig moved to **continue** the work session to the December 1 meeting, and Mr. Ryan seconded. The motion **passed** unanimously, 7-0.*

VII. ADJOURNMENT

The meeting was adjourned at 10:25 p.m.

Respectfully submitted,

Joann Breault
HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

December 01, 2021

- | | | |
|----|--|------------------------|
| 1. | 33 Holmes Court (LUHD-402) | - Recommended Approval |
| 2. | 37 South Street (LUHD-403) | - Recommended Approval |
| 3. | 239 Northwest Street (LUHD-404) | - Recommended Approval |
| 4. | 33 Northwest Street (LUHD-406) | - Recommended Approval |
| 5. | 401 State Street, Unit M502 (LUHD-408) | - Recommended Approval |
| 6. | 175 Fleet Street (LUHD-407) | - Recommended Approval |
| 7. | 129 Daniel Street (LUHD-409) | - Recommended Approval |

1. 33 Holmes Court - Recommended Approval

Background: The applicant is seeking approval for the installation of a fireplace gas vent on the second floor of the structure.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-402**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Oct 31, 2021**Applicant**

Brenda Bouchard
brendajbouchard@gmail.com
33 Holmes Court
Portsmouth, NH 03801
6038677700

Location

33 HOLMES CT
Portsmouth, NH 03801

Owner:

BOUCHARD BRENDA J REVOC TRUST OF 1999 & BOUCHARD BRENDA J
TRUSTEE
33 HOLMES CT PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Install interior gas fireplace with exterior vent on second floor on the back side of the house. Vent is approx 12"x12"

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

--

Business Name (if applicable)

--

Mailing Address (Street)

--

City/Town

--

State

--

Zip Code

--

Phone

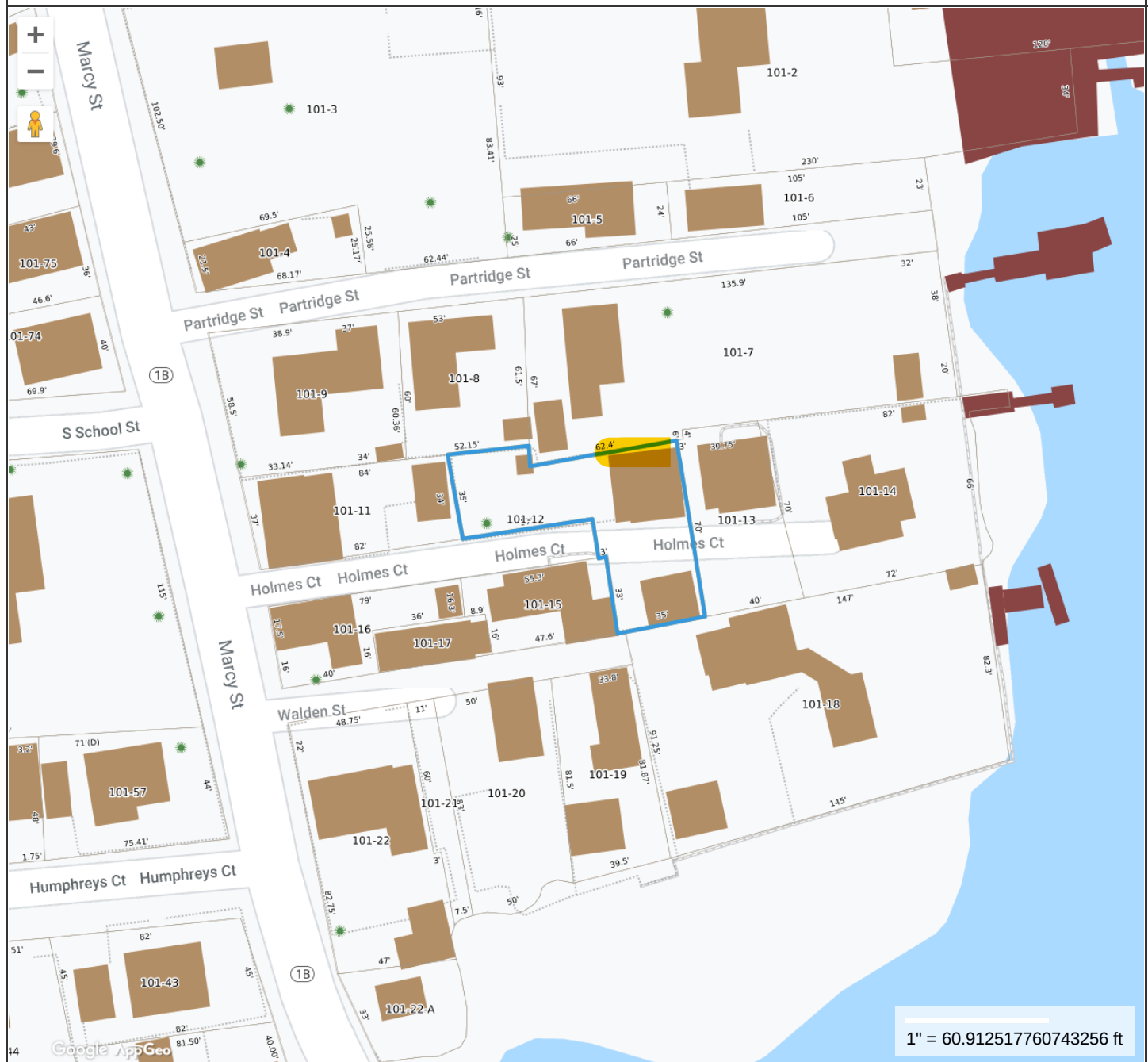
--

Email Address

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

33 Holmes Court

**Property Information**

Property ID 0101-0012-0000
Location 33 HOLMES CT
Owner BOUCHARD BRENDA J REVOC TRUST OF 1999

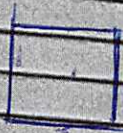
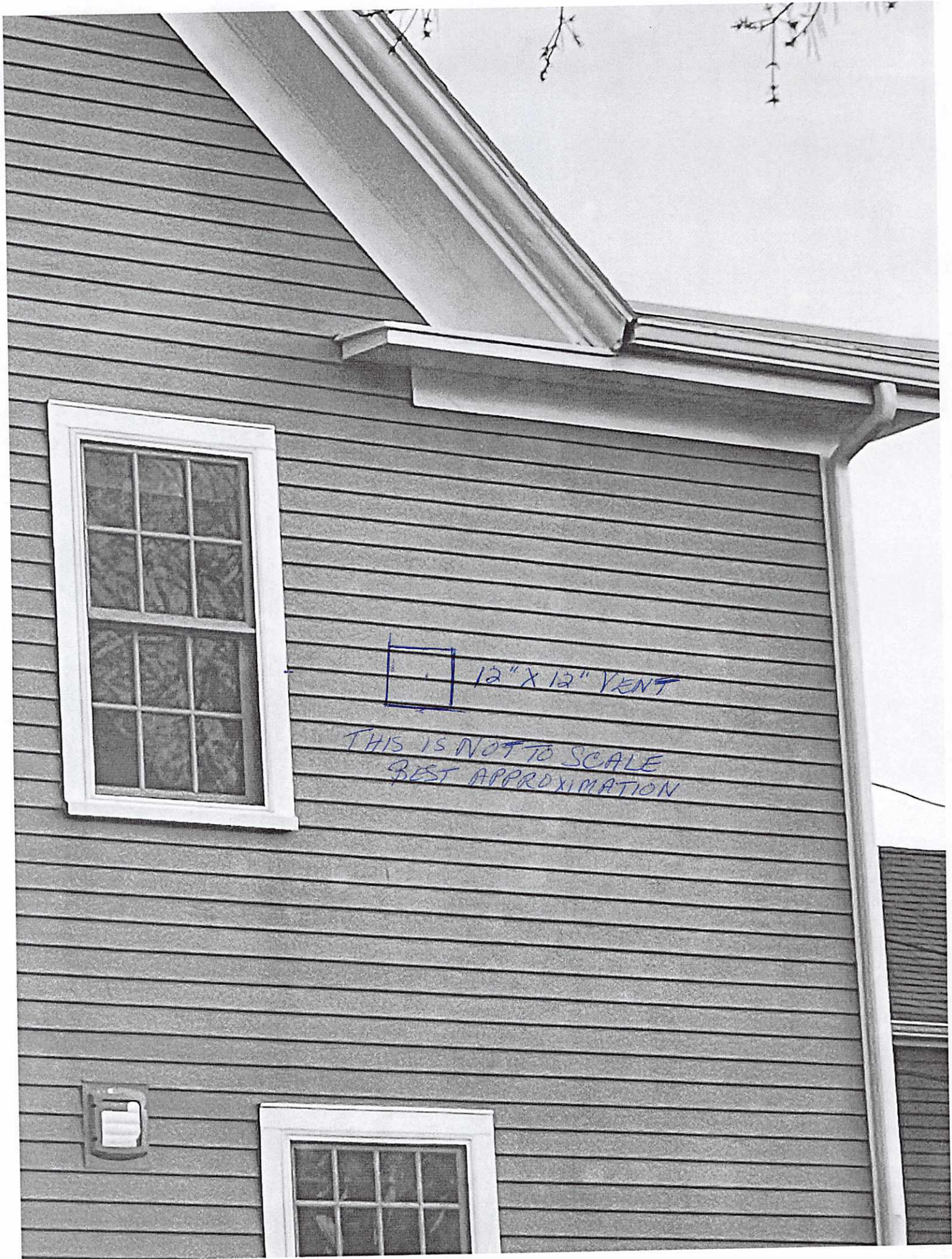


**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019
 Data updated 7/17/2019

Print map scale is approximate.
 Critical layout or measurement activities should not be done using this resource.



12" X 12" VENT

THIS IS NOT TO SCALE
BEST APPROXIMATION

Seeking approval to install a gas fireplace in the second-story family room, which will have an exterior vent that is approximately 12"x12". In below photo the vent will be located to the right of the window. Planning to install the Kozy Heat SP34 direct vent fireplace described in attached brochure



SP41 & SP34

DIRECT VENT FIREPLACES

SP41 with a Standard screen front
and optional Black Glass panels



QUALITY FIREPLACES FOR LIFE.

KOZY  HEAT
FIREPLACES



SP34 Prairie Design Overlay
optional Black Glass panels

SP41 & SP34 SERIES

Fronts



Arched Prairie Design Overlay
No Black Glass panels



Prairie Design Overlay
with optional Black Glass panels



Standard Screen Front
with optional Black Glass panels



SP34 Arched Prairie Design
Overlay and optional Black Glass
panels

SP41 & SP34 SERIES

Media Kit Option



Log Set

Control Options

IPI Control (Standard on SP41-L)

KOMFORT CONTROL



Komfort Kontrol Remote

Millivolt Option Controls



Thermostat Remote or
Deluxe On/Off Remote



Wired or Wireless Wall
Mount Thermostat



Wireless
wall switch

Burn Video



SP41



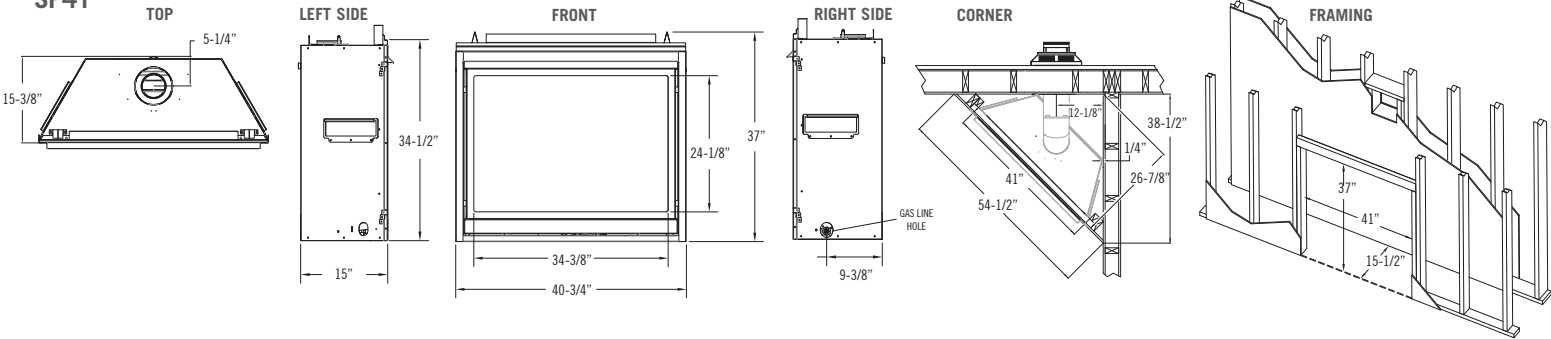
SP34

SP41 & SP34 SERIES

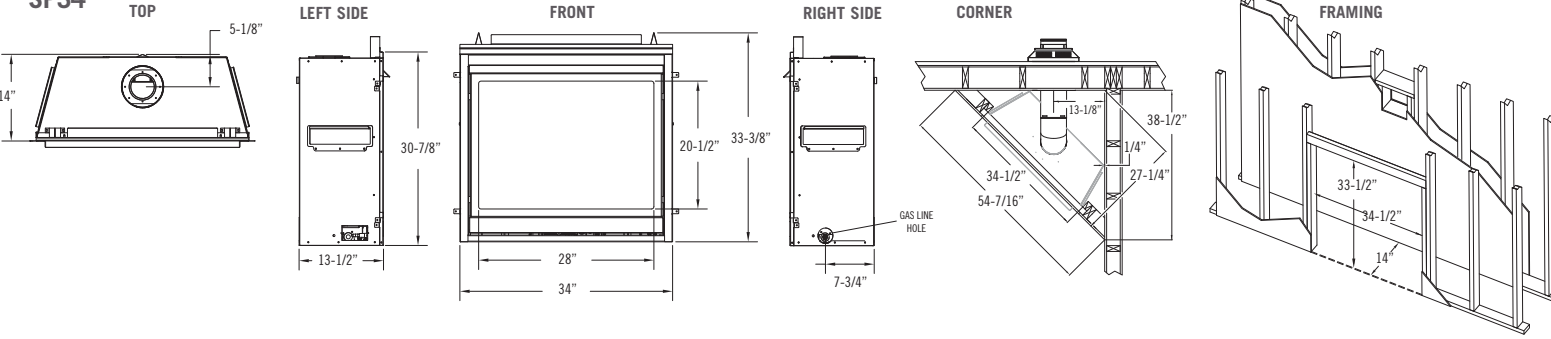
Specifications

Fireplace brochures are for advertising purposes only.
Refer to the specific fireplace manual for installation.

SP41



SP34



Model	SP41	SP34
Height	34-1/2"	30-7/8"
Width	40-3/4"	34"
Back Width	24-1/8"	27"
Depth	15"	13-1/2"
Weight	143 lbs	90 lbs
Viewing Area	34-3/8" x 24-1/8"	28" x 20-1/2"
BTU NG High / Low	28,000 / 14,000	20,500 / 14,000
BTU LP High / Low	28,000 / 14,000	20,500 / 15,000
ENERGUIDE P.4 NG / LP	74.05% / 74.55%	74.57% / 74.36% (LE) 73.74% / 73.3% (MV)
Steady State NG / LP	77.56% / 77.64%	73.82% / 76.68%
AFUE % NG / LP	71.11% / 71.19%	67.17% / 68.91%
Ceramic Media	Standard	Standard
Valve System	IPI & Millivolt	IPI & Millivolt
Fan Kit	Optional in MV Standard in IPI	Optional
Screen Front	Included	Included

Features, Options & Specifications are subject to change.

Each unit factory tested

Certified to ANSI Z21.88 Vented Gas Heaters

Clearances

Model	SP41	SP34
From appliance top stand-off bracket	0"	0"
From facing material 1" (25mm) stand off	0"	0"
From appliance back stand offs	0"	0"
From appliance corners	1/4"	1/4"
From appliance front	36"	36"
From appliance top to ceiling	25"	12"
Appliance sides to adjacent sidewall	4-1/2"	4-1/2"
Fireplace enclosure floor to 3/4" (19mm) trim	37-1/8"	33-1/2"
Mantel 6" deep from fireplace enclosure floor	40-1/2"	37"

Refer to the installation manuals for complete installation & venting requirements. See additional mantel clearance configurations in the installation manual.

Vent System Approval & Requirements

This appliance is equipped for use with a 4" exhaust by 6-5/8" air intake co-axial vent pipe system. This appliance is approved for use with Kozy Heat 4" x 7" #700 Series Flexible Direct Vent System (horizontal terminations only).

Other approved vent manufacturers (horizontal and vertical terminations): American Metal Products (Ameri-Vent), BDM, ICC, Metal Fab, Olympia Chimney Supply, Inc., Selkirk, and Simpson DuraVent.

This appliance can be adapted to use 3" x 3" flexible co-linear vent pipes when used in combination with an existing minimum 6" x 8" ID masonry or 7" class A metal chimney.

Elbows: For each additional 90° elbow used after the first elbow, 3' must be subtracted from the maximum venting allowed. For each additional 45° elbow used after the first elbow, 1½' must be subtracted from the maximum venting allowed. Note: (2) 45° elbows = (1) 90° elbow.

Horizontal Terminations

Minimum: 90° + 6" + cap

Maximum: See Manual

Vertical Terminations Co-axial

Minimum: 3' + vent cap

Maximum: 50' + vent cap

Vertical Terminations Co-linear

Minimum: 10' + vent cap

Maximum: 50' + vent cap

In order to continually provide the highest quality product available, features/options, specifications & dimensions are subject to change. Refer to the unit installation manual for complete installation instructions. Installation must conform with local building codes. In some regions it may be possible that this appliance qualifies for an energy rebate. See your local dealer for details regarding promotions and qualifications.

Manufactured by Husson Mfg. Co., Inc.
204 Industrial Park Road, Lakefield, MN 56150
Phone 1-800-253-4904 www.kozyheat.com

4-20



Product Line:



For complete information on the Kozy Heat product line, please contact us at:

FOR CALIFORNIA RESIDENTS ONLY

California Proposition 65 Warning

WARNING: This product can expose you to chemicals including Carbon Monoxide, that is an externally vented by-product of fuel combustion, which is [are] known to the State of California to cause birth defects or other reproductive harm. For more information, visit www.P65Warnings.ca.gov.

2. 37 South Street - Recommended Approval

Background: The applicant is seeking approval for the replacement of an existing exterior door to be replaced with a new window.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-403**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Nov 11, 2021**Applicant**

kevin charette
kct@comcast.net
37 south street
portsmouth, nh 03801
8607127136

Location

37 SOUTH ST
Portsmouth, NH 03801

Owner:

CHARETTE KEVIN THOMAS & CHARETTE LORI WILLS
37 SOUTH ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Expand existing first floor half bath to add a walk-in shower (building permit filed on November 1 BLDG-21-930)

Existing exterior door to be removed and replaced with a similar sized 80x32 Harvey insulated and tempered window with grille

New window is toward rear of the house (west side) with little visibility from the street and/or pond view

Window will be in the vicinity of the new walk-in shower and as such will be acid etched with an approximate 2 inch vinyl edge around the perimeter of the window to handle interior moisture

Window will be installed / framed-in such that the exterior of the window will be fully trimmed with wood exactly as existing house windows.

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

PORTLAND GLASS PORTSMOUTH, NH 03801

- Home (<https://harvey.wtsparadigm.com>) / My Quotes (<https://harvey.wtsparadigm.com/quotes>)
 - / Quote 5194192 (<https://harvey.wtsparadigm.com/quotes/9edbe1da-a5a0-47b1-af82-66f3fb48cc69>)
 - / Line Items (<https://harvey.wtsparadigm.com/quotes/9edbe1da-a5a0-47b1-af82-66f3fb48cc69/line-items>)
 - / Edit Line 10000

Classic PW Vinyl Picture Window for Slimline

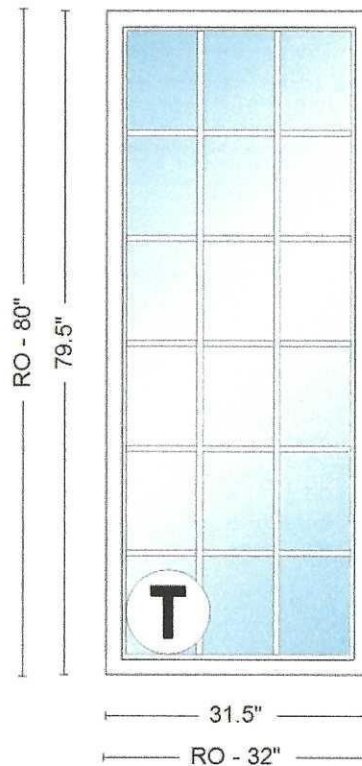
Product Selection ✓

SIZE & COLOR ✓

GLASS & GRILLES ✓

ADDITIONAL OPTIONS ✓

GENERAL INFO ✓



Zoom In

Size Options

☒ Custom Size ☐ Standard (New Construction)

Measurement Type

☐ Frame Size ☒ Rough Opening

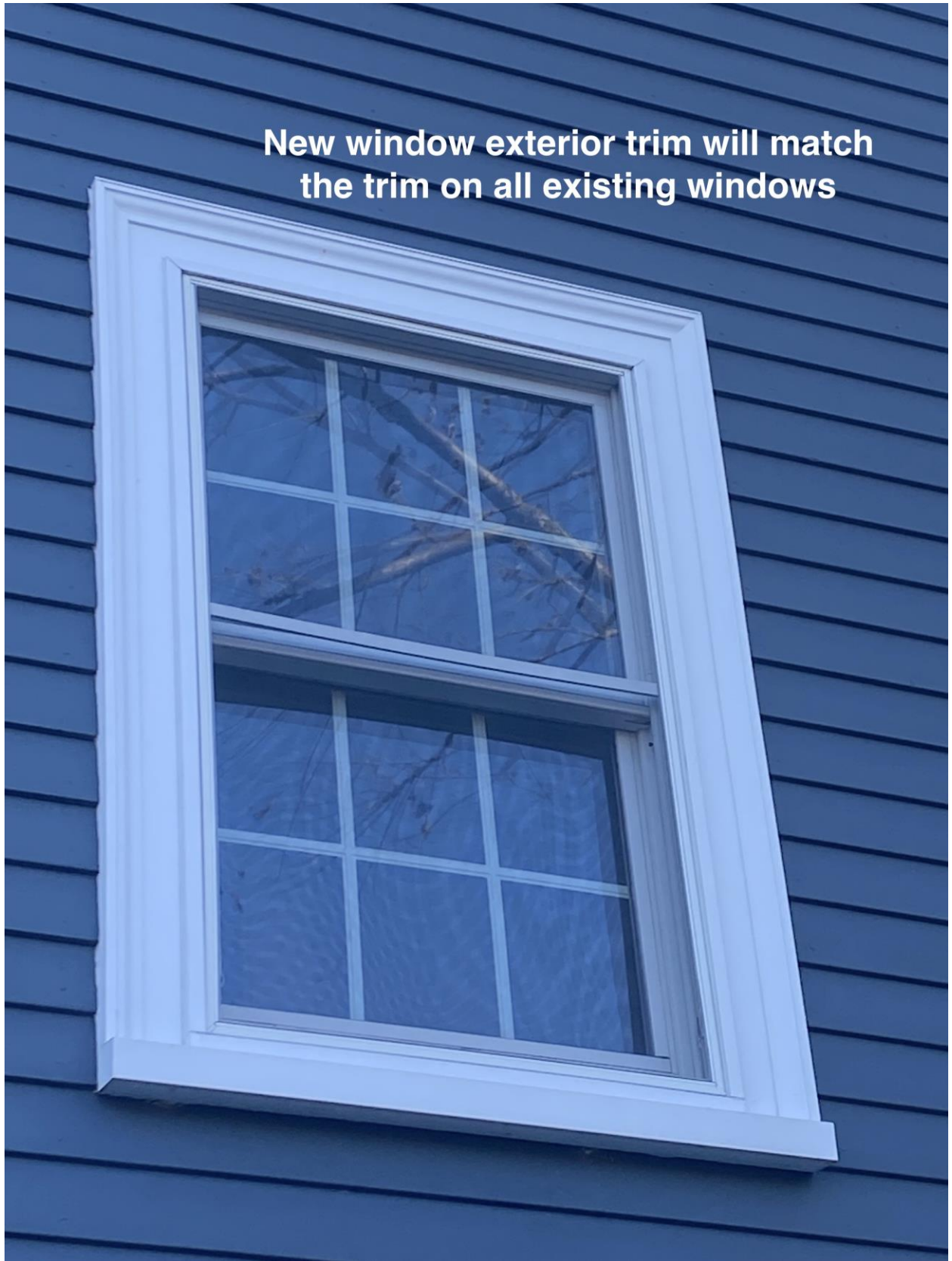


**Existing door
to be replaced
with similar
sized window
including
grille**

**Window will
be trimmed in
wood to
exactly match
existing house
windows**

**(Note: Exit
steps were
never installed
by prior
owner)**

**New window exterior trim will match
the trim on all existing windows**





View from backyard between homes



**Street/Sidewalk view
between 37 and 47
South Street**

Overall Frame Width (Inches)

31.5

Overall Frame Height (Inches)

79.5

Rough Opening Width

32

Rough Opening Height

80

Rough Opening Width (Inches)

32

Rough Opening Height (Inches)

80

Frame Width (Inches)

31.5

Frame Height (Inches)

79.5

Application Type



Replacement



New Construction



Unit Type

- ☒ Complete Unit ☐ Glass Only ☐ Exterior Grille Only ☐ Interior Grille Only ☐ Extension Jamb Only
★ ★ ★ ★ ★
☐ Master Frame Only ☐ Glazing Bead ☐ PW Interior Glazing Bead Only ☐ Interior Trim Kit Only
★ ★ ★ ★ ★
☐ J-Channel Pocket Filler Only ☐ Extension Jamb Receiver Cover ☐ Head Expander ☐ Sill Expander
★ ★ ★ ★ ★

Transactional Order Type

- ☒ Charge Order
★


Unit Color

		
White	Almond	Bronze
★	★	★

Painted Unit

- ☒ No ☐ Yes
★ ★

Painted Color Location


None
None
★

Touch-Up Paint

- ☒ No
★

[Save Line](#)

Summary

PRODUCT SELECTION



SIZE & COLOR

Size Options:
Custom Size

Measurement Type:
Rough Opening

Overall Frame Width (Inches):
31.5

Overall Frame Height (Inches):
79.5

Rough Opening Width:
32

Rough Opening Height:
80

Rough Opening Width (Inches):
32

Rough Opening Height (Inches):
80

Frame Width (Inches):
31.5

Frame Height (Inches):
79.5

Application Type:
New Construction

Unit Type:
Complete Unit

Transactional Order Type:
Charge Order

Unit Color:
White

Painted Unit:
No

Painted Color Location:
None

Touch-Up Paint:
No



3. 239 Northwest Street - Recommended Approval

Background: The applicant is seeking approval for the installation of a sub-pump discharge outlet and the removal of the bulkhead to replace with HVAC equipment.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

11/19/2021

LUHD-404

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Nov 12, 2021**Applicant**

Michael Petrin
239northwest@gmail.com
PO Box 899
Durham, New Hampshire 03824
6032649610

Location

239 NORTHWEST ST
Portsmouth, NH 03801

Owner:

PETRIN MICHAEL GEORGE (12.3% INT) & LAVERRIERE KATIE MARIE
PO BOX 899 DURHAM, NH 03824

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Add a sub-pump discharge outlet, remove bulk head and replace with HVAC

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information**Owner Addressee Full Name and Title**

--

Owner Addressee Prefix and Last Name

--

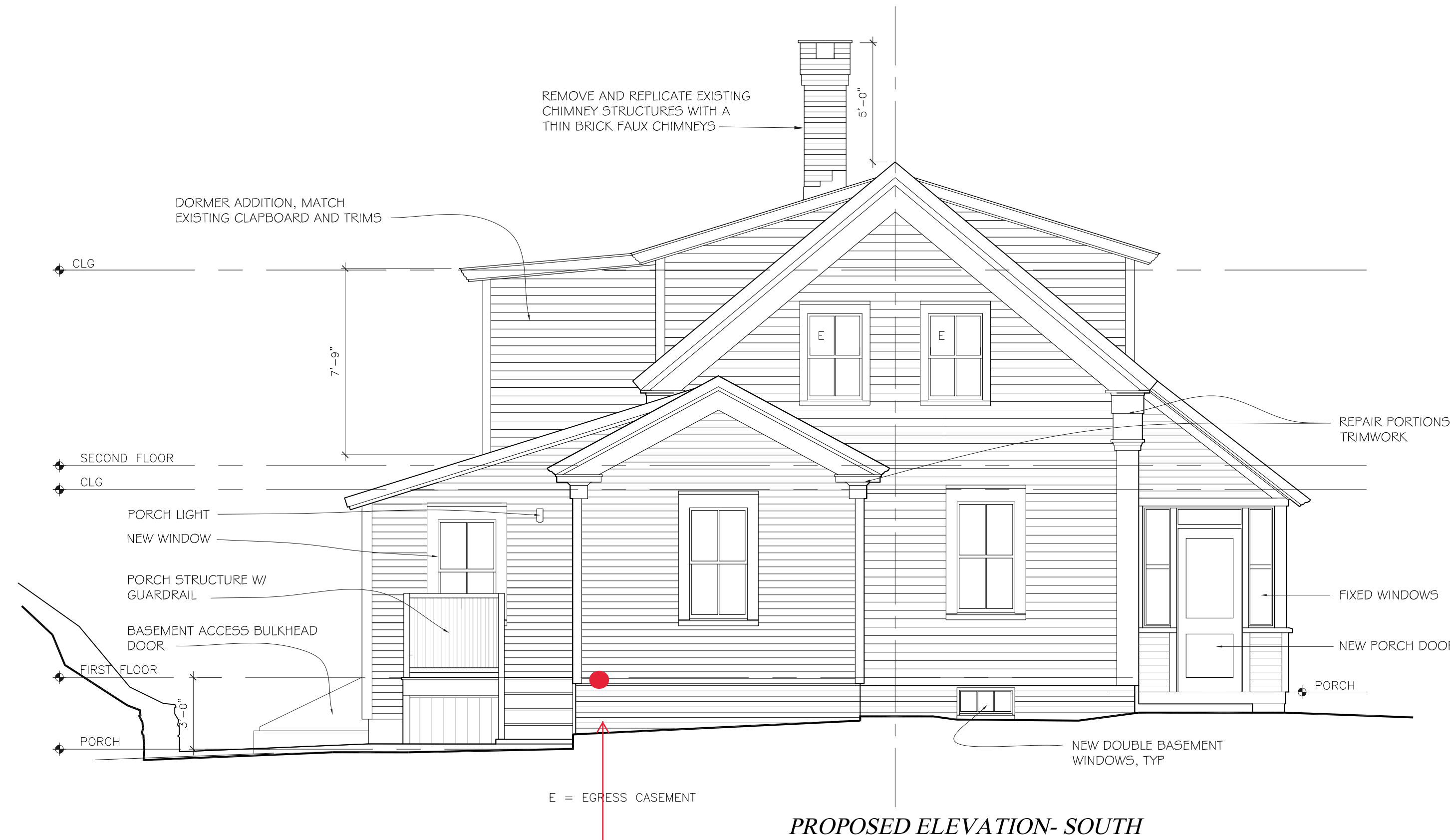
Owner Organization / Business Name**Owner Contact Street Address**

Michael Petrin & Katie Laverriere
239 Northwest St, Portsmouth NH 03801
Mailing Address:
PO BOX 899
Durham, NH 03824

Project Information for 239 Northwest St

Brief Description of Proposed Work for Administrative Approval

1. Propose adding a sub-pump discharge outlet on the south side of the home. This outlet discharge location leads directly into storm drain.
2. Propose removing bulkhead and adding HVAC system in same location on the west side of the home. The west side of the home faces RT 1 Bypass.



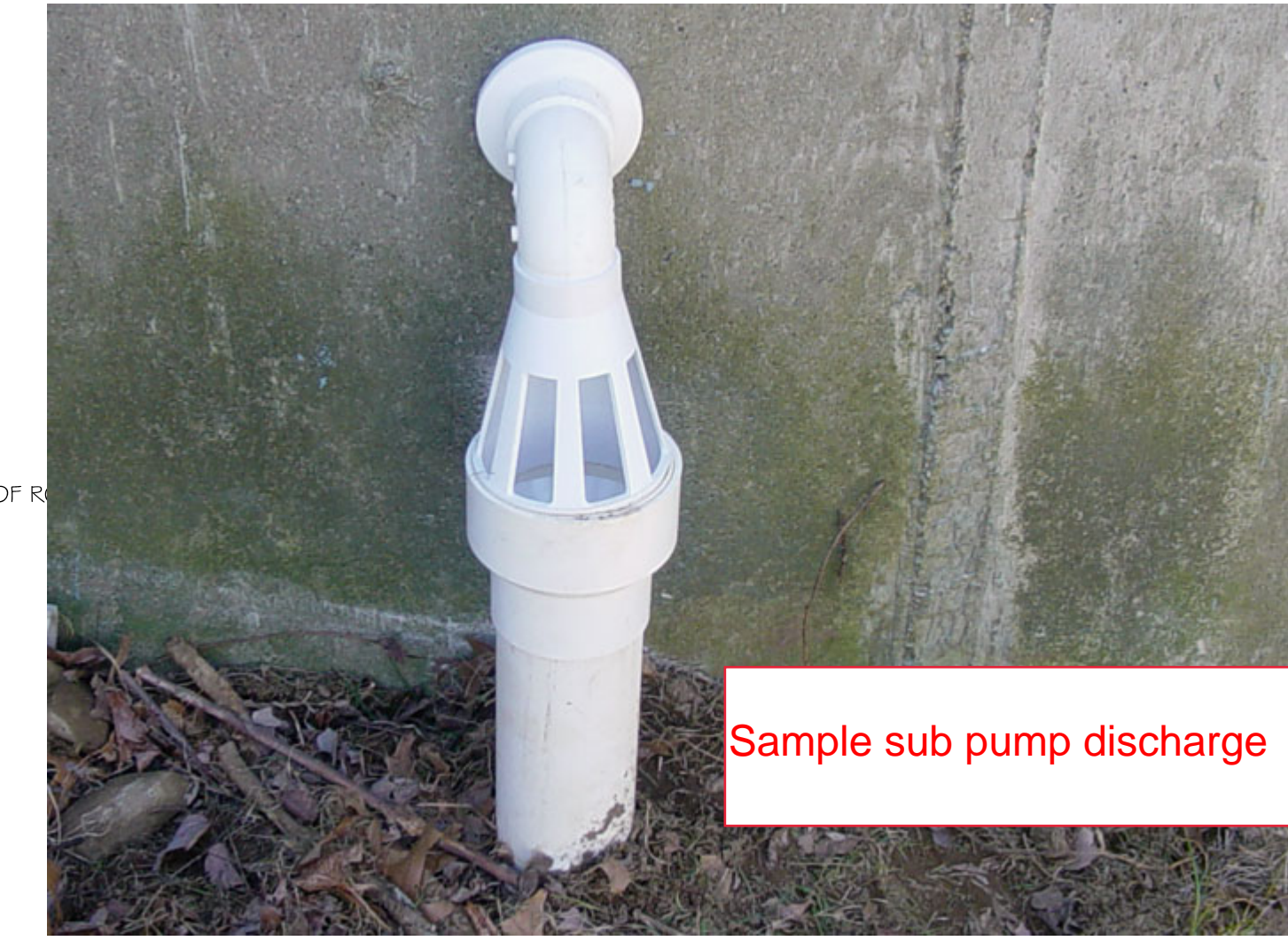
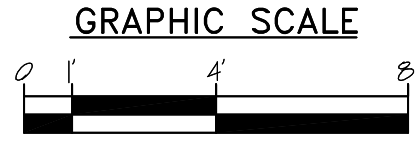
PROPOSED ELEVATION- SOUTH

Sub pump was previously draining directly into home's sewer line. This method is no longer authorized. We received authorization to have sub pump outlet directly into nearby storm drain.

Red dot represents sub pump approximate location



EXISTING ELEVATION- SOUTH



Sample sub pump discharge



PHOTO- LOOKING NORTH

Red box represents approximate storm drain location

NOTE: ALL DIMENSIONS AND CONDITIONS ARE TAKEN FROM DATA SUPPLIED BY THE CITY OF PORTSMOUTH, MAPGEO AND FIELD MEASUREMENTS.

NOTE: THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION PURPOSES.

MARTIN RYAN ARCHITECT
221 Westbury Ave
Portsmouth, NH 03801
603-432-8635

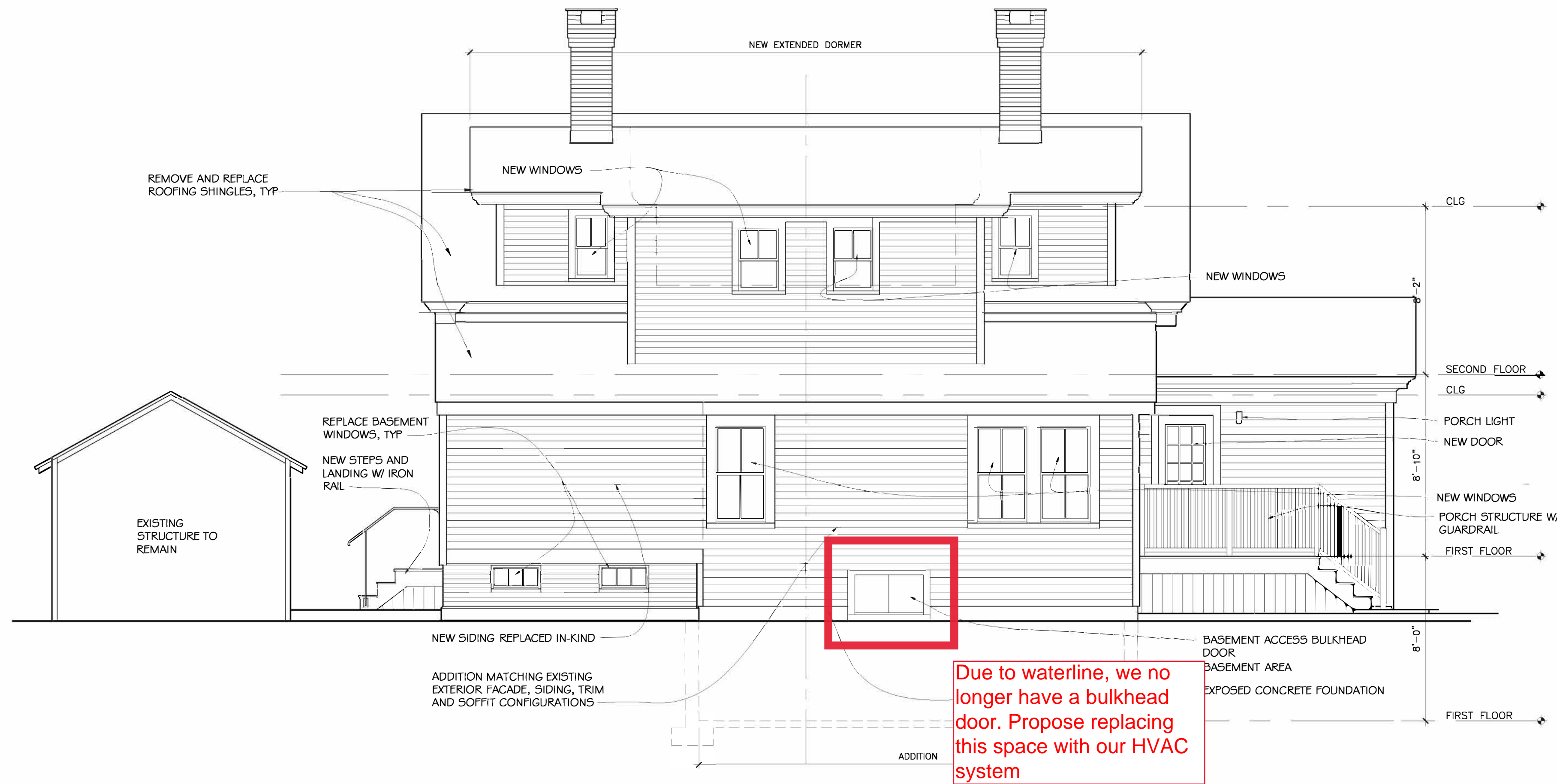
PERMIT SET
15 SEP 2020

239 NORTHWEST STREET
PORTSMOUTH
NEW HAMPSHIRE

DATE: --
DESIGN: --
DRAWN: MLR
CHECKED: XX
SCALE:
JOB:

SOUTH
ELEVATION

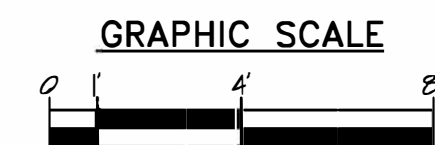
A3



PROPOSED ELEVATION- WEST



EXISTING ELEVATION- WEST



Sample HVAC system outside of house

NOTE: ALL DIMENSIONS AND CONDITIONS ARE TAKEN FROM DATA SUPPLIED BY THE CITY OF PORTSMOUTH, MAPGEO AND FIELD MEASUREMENTS.

NOTE: THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION PURPOSES.



PHOTO- FROM ROUTE 1

MARTIN RYAN ARCHITECT
221 Westbury Ave
Portsmouth, NH 03801
603-522-8630

PERMIT SET
15 SEP 2020

239 NORTHWEST STREET
PORTSMOUTH
NEW HAMPSHIRE

DATE: --
DESIGN: --
DRAWN: MLR
CHECKED: XX
SCALE:
JOB:

WEST
ELEVATION

A4

NOTE: THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION PURPOSES.



MARTIN KLAN ARCHITECT
221 Woodbury Ave
Portsmouth, NH 03801
603-502-8635 +

15 SEP 2020

PORTSMOUTH
NEW HAMPSHIRE

DATE:
DESIGN: -
DRAWN: MLR
CHECKED: XX
SCALE:
JOB:

SITE PLAN

51



4. 33 Northwest Street - Recommended Approval

Background: The applicant is seeking approval for the replacement of an existing wood fence that was damaged by weather, with a new cedar fence.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-406**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Nov 15, 2021**Applicant**

Rebecca Bernier
rebeccalbernier@gmail.com
33 NORTHWEST ST
PORTSMOUTH, NH 03801
6037677698

Location

33 NORTHWEST ST
Portsmouth, NH 03801

Owner:

Rebecca Bernier
33 NORTHWEST ST Portsmouth, New Hampshire 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Replacing old fence which was destroyed by weather with a new fence. Cedar wood. It will be erected where the old fence was right up against the retaining wall.

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information**Owner Addressee Full Name and Title**

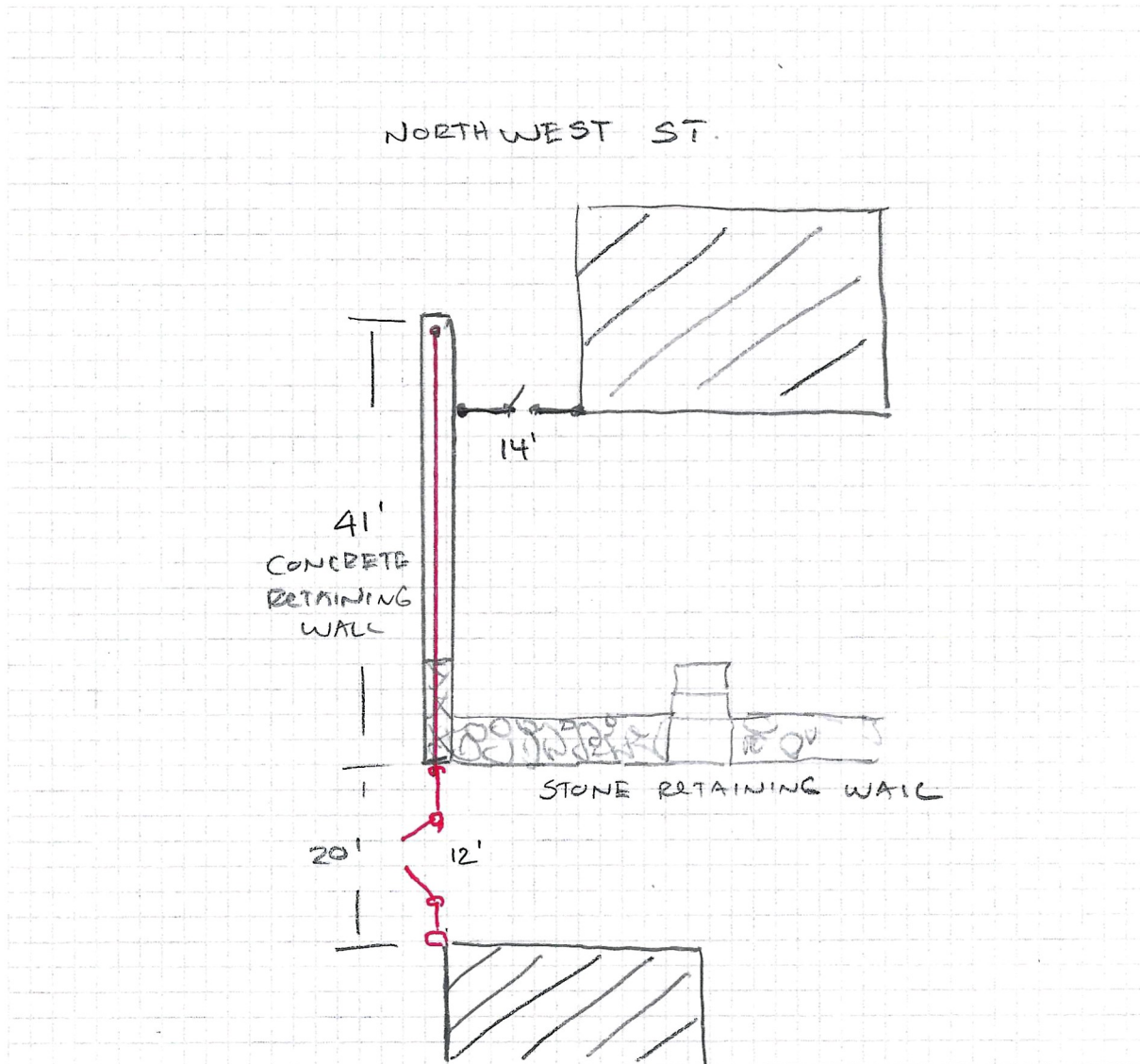
--

Owner Addressee Prefix and Last Name

--

Customer Job Layout

Name BERNIER
Address 33 NORTH WEST ST.
PORTSMOUTH, NH
Phone 264-2758
Email MICHEAL.BERNIER@GMAIL.COM

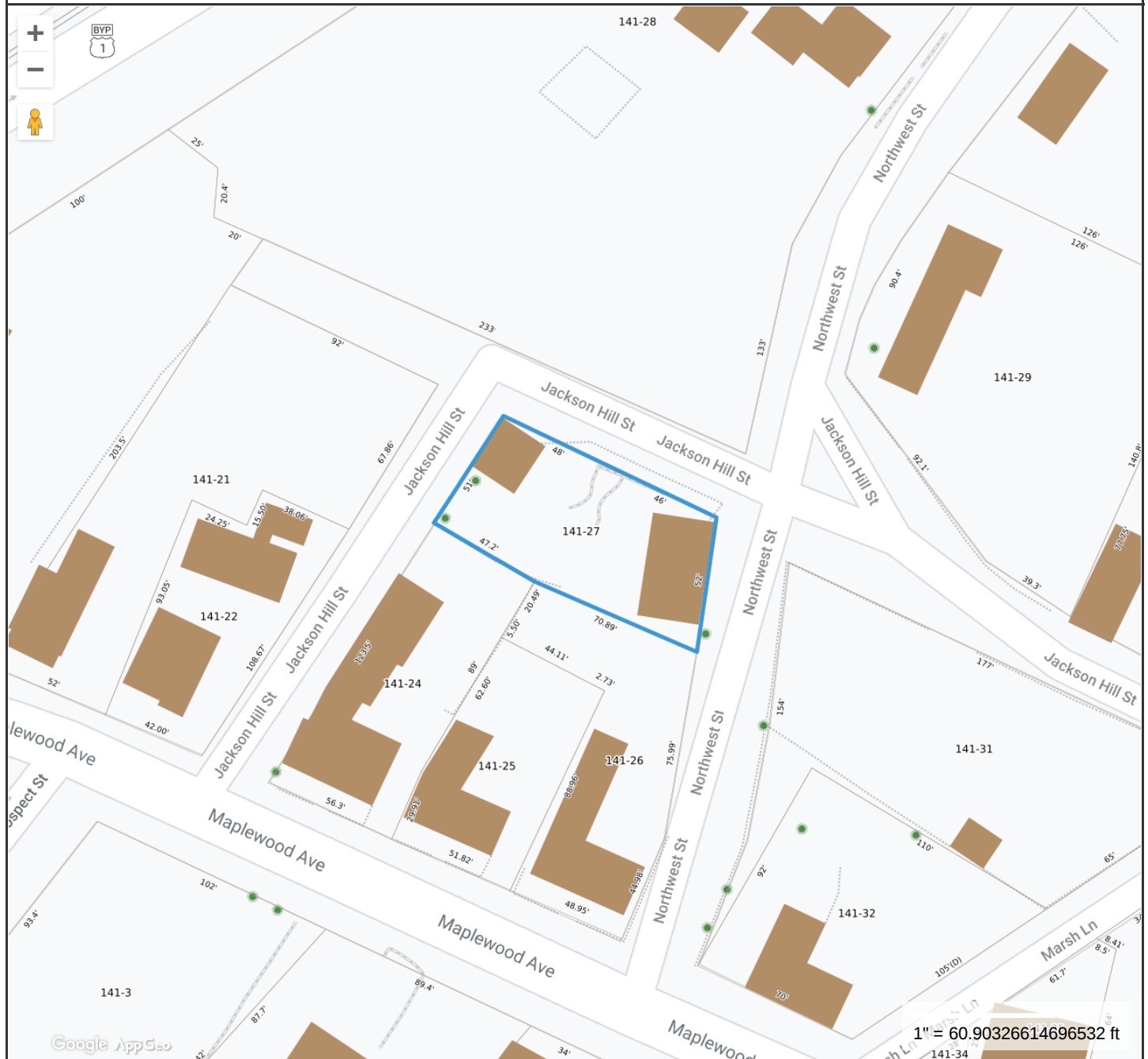


Notes: NTS

—●— = 4' ALUMINUM FENCE

—●— = 5' CEDAR FENCE

33 Northwest Street

**Property Information**

Property ID 0141-0027-0000
Location 33 NORTHWEST ST
Owner BERNIER REBECCA L



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019
 Data updated 7/17/2019

Print map scale is approximate.
 Critical layout or measurement
 activities should not be done using
 this resource.



5. 401 State Street, Unit M502 - Recommended Approval

Background: The applicant is seeking approval for the replacement of (2) windows in the unit.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

11/19/2021

LUHD-408

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Nov 18, 2021**Applicant**

SANDRA LORUSSO
sandra.lorusso@gmail.com
401 State Street
M502
Portsmouth, NH 03801
603 205 0603

Location

401 STATE ST Unit M502
Unit M502
Portsmouth, NH 03801

Owner:

LORUSSO SANDRA J
401 STATE ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Window replacement

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Other

If you selected "Other", please state relationship to project.

installer

Full Name (First and Last)

Melinda McLaughlin

Business Name (if applicable)

Ricci Lumber

Mailing Address (Street)

105 Bartlett

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

603-427-2890

Email Address

sales@riccilumber

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**





Contract for Purchase and Installation

CLIENT: Sandra Lorusso

DATE: 8/28/2021

Contact #: 603-205-0603

Specialist: Melinda

This contract is for the materials listed below per Ricci Lumber quote. Any changes to the listed specifications, other than those originally agreed upon, are the purchaser's responsibility. Price subject to change if job site conditions require additional materials or work unforeseen upon time of this contract.

PRODUCT SPECIFICATIONS:

Manufacturer: Andersen (Windows – Quote #1196432)

SCOPE OF WORK: Remove and Dispose of (2) existing Windows and Install (2) new Windows. (Ricci Install Quote #26045)

NOTE: All permits that are required by Town or State, are the responsibility of the homeowner.

Terms: Upon order placement, a **non-refundable deposit** is required. The above items are considered Special Order and are non-cancelable and non-returnable. Immediate pick-up or tailgate delivery will be scheduled upon receipt of merchandise. It is the purchaser's responsibility to provide storage for the merchandise. Balance due to be paid day before installation or delivery. **Ricci supply typical terms and conditions included by reference**

****Items special ordered cannot be cancelled, changed or returned.** The customer assumes all responsibility for these products, with the exception of material damages, shortages or defects covered by a warranty. Ricci Lumber will place this order as accepted by the customer, but cannot control the delivery time by the manufacturer. All agreements between these parties are contingent upon labor troubles, strikes, lockouts, fire, flood, accidents or other conditions beyond Ricci Lumber control. The customer is to have said items, as listed, removed within 20 days of delivery notification. Items left over 30 days may be subject to storage charges or may become the property of Ricci Lumber.

I understand wood is a natural product and will vary from sample. The samples serve only to indicate in a general way the color, marking, and textures usually found in a variety of the materials chosen. By signing I agree that the list of materials to be ordered, profiles, colors, woods, sizes, dimensions and finishes were shown to me and are what I want.

In the event of defects and /or apparent or hidden damages of products supplied by Ricci Lumber, we will exchange said products or materials at no charge, provided that the defect or damage was not due to alterations by homeowner or installer, misuse, abuse or neglect. In the event that products supplied by Ricci Lumber do not conform to the approved plan and measurements, we will replace said products at no charge.

Andersen Windows: \$2,371.64

Labor, install materials and disposal: \$1,789.54

Total: \$4,161.18

Deposit required: \$3,323.68

Balance due upon completion: \$837.50

I have reviewed and agree with the listed above quote and attached information. I understand this is a legal contract and I understand all the terms of this agreement. I wish to place an order based on the quote as is.

Customer's Signature _____ Date _____

Please Print Name _____

Address _____

Specialist Signature _____

Please sign and return a copy of the contract along with deposit

Ricci Lumber
105 Bartlett Street
Portsmouth N.H. 03801
ATTN: Kara Remick
Email: Kremick@riccilumber.com

NEW HAMPSHIRE LAW, RSA 359-G, CONTAINS IMPORTANT REQUIREMENTS YOU MUST FOLLOW BEFORE YOU MAY FILE A LAWSUIT OR OTHER ACTION FOR DEFECTIVE CONSTRUCTION AGAINST THE CONTRACTOR WHO CONSTRUCTED, REMODELED, OR REPAIRED YOUR HOME. SIXTY DAYS BEFORE YOU FILE YOUR LAWSUIT OR OTHER ACTION, YOU MUST SERVE ON THE CONTRACTOR A WRITTEN NOTICE OF ANY CONSTRUCTION CONDITIONS YOU ALLEGE ARE DEFECTIVE. UNDER THE LAW, A CONTRACTOR HAS THE OPPORTUNITY TO MAKE AN OFFER TO REPAIR AND/OR PAY FOR THE DEFECTS. THERE ARE STRICT DEADLINES AND PROCEDURES UNDER STATE LAW, AND FAILURE TO FOLLOW THEM MAY AFFECT YOUR ABILITY TO FILE A LAWSUIT OR OTHER ACTION."

Warranties: Ricci Lumber (Ricci) shall extend to the Customer all manufacturer's warranties and related documentation pertinent to the goods and materials sold pursuant to the provisions of this contract. However, Ricci assumes no liability and extends no warranties, whether express or implied, pertinent to such goods and materials and shall not be liable for any defect related to them. Further, the Customer acknowledges that this contract is strictly between the Customer and Ricci and that no officer, employee, or agent of Ricci shall be subject to suit or be deemed personally liable for any dispute or the consequences thereof that may arise from the performance of this contract.

Disputes: Any dispute asserted by the Customer concerning Ricci's performance under this contract shall be resolved pursuant to the provisions of New Hampshire Law, RSA 359-G. To the extent that the procedures identified in RSA 359-G do not result in resolution of the dispute, the parties agree that the Customer's dispute shall be resolved by mediation or binding arbitration at the election of Ricci which shall be made within 30 days following its receipt of written notice from the Customer that further dispute resolution is requested. Nothing in this paragraph shall be construed, however, to prevent Ricci from itself asserting its rights in any court of competent jurisdiction to collect payment on any sums due and payable from the Customer for work performed and materials delivered to or for the benefit, at the direction or request, or with the knowledge and consent of the Customer, without any need on the part of Ricci to first engage in any out-of-court dispute resolution procedure with the Customer to the extent that no reasonable, material dispute about the Ricci's satisfactory performance may exist.

Attorney Fees, Interest and Costs: The Customer shall pay to Ricci interest on any unpaid balance due to Ricci at the rate of 18% per annum, computed monthly beginning 30 days after such balance becomes due and payable, and shall reimburse Ricci for its attorney fees and costs of collection incurred in the event of any non-payment by the Customer.

Severability and Enforcement: If any provision of this contract shall be deemed unenforceable by a court of competent jurisdiction, such determination shall not affect the validity of any other provision of this contract, which shall be interpreted and enforced under the laws of the State of New Hampshire.



Ricci Lumber
 105 Bartlett Street
 Portsmouth, New Hampshire 03801
 Phone: (603) 436-7480
 Fax: (603) 436-2194
 Email: Sales@riccilumber.com

Quotation

Quote No **26045**
Quote Date **08/24/2021**
Print Time **9:22:58AM**

Expiration Date 08/29/2021
Customer 90253
Contact Name Sandra Lorusso
Contact Number 603-205-0603
Job Code
Your Ref MM - LORUSSO INSTALL
Delivery By 08/24/21
Taken By Melinda McLaughlin
Sales Rep HOUSE

Invoice Address

Delivery Address

Millwork Sales
 401 STATE STREET M 502
 PORTSMOUTH, NH 03801

Due to current market conditions, quoted prices are valid for only 5 business days.



Page 1 of 1

Special Instructions				Notes		
Line	Product Code	Description	Qty/Footage	Price	UOM	Total
1	819379	26100 SEALANT PROFLX CLR 10OZ				
2	106750	187273 PRO WINDOW & DOOR 20oz				
3	106096	BT1350B BRAD 2" X 18GA NAILS 2000 CTN				
4	Labor Charge for Installations	Labor Charge for Installations: Remove and Dispose of (2) existing windows and Install (2) new Windows.				

PLEASE READ:

There's NO warranty expressed or implied on materials/specs necessary to comply with your project requirements. The purpose of this document is to provide the asker a cost projection only, offering no guarantee of any kind as to the accuracy of the takeoff or the entry of the estimate. The buyer assumes all responsibility for materials needed, used and/or required for the project. Ricci Lumber reserves the right to adjust prices every 30 days based on market conditions after the acceptance of this estimate or first delivery of product. Additionally this estimate does not (unless stated within this form) contain any freight, delivery or sales taxes for materials sourced and/or shipped to the site. Any changes, additions or reductions in the values/products contained within this estimate will require a review and possible repricing based on the new info.

Total Amount	\$1,789.54
Sales Tax	\$0.00
Quotation Total	\$1,789.54

Buyer _____ Date _____

Subject to our terms and conditions of sale. Further copies available on request.

PRICES IN THIS ESTIMATE ARE BASED ON CURRENT MARKET AND CAN BE HELD FOR 10 DAYS ONLY.



SOLD BY:

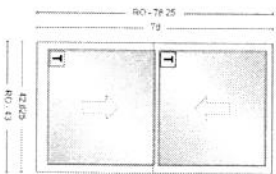
Melinda McLaughlin
Ricci Lumber
105 Bartlett St
Portsmouth, NH 03801
603-427-2890

SOLD TO:

QUOTE DATE
8/24/2021

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Sandra Lorusso	Woodwright Window Install	1196432		
ORDER NOTES:				
DELIVERY NOTES:				



Item	Qty	Operation	Location	Unit Price	Ext. Price
100	2	AA	None Assigned	\$1,185.82	\$2,371.64
RO Size = 43" x 78 1/4"		Unit Size = 42 5/8" x 78"			

WDHI 3' 6 5/8"X6' 6", Unit, 0 Degrees - Flat, 400 Series Woodwright Double-Hung-WWI, Equal Sash, Dark Bronze Exterior Frame, Dark Bronze Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Tempered Argon Fill Traditional, 2 Sash Locks Stone, Gray/GrayJamb Liner, Dark Bronze, Full Screen, Aluminum

Insect Screen 1: 400 Series Woodwright Double-Hung-WWI, WDHI 42.625 x 78 0 Degrees - Flat Full Screen Aluminum Dark Bronze

Unit #	U-Factor	SHGC	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	0.3	0.31	A1	0.00000	0.00000	0.00000	

Quote #: 1196432

Print Date: 8/28/2021 12:46:38 PM UTC

Page 1 of 2

All Images Viewed from Exterior

SUB-TOTAL:	\$2,371.64
FREIGHT:	\$0.00
LABOR:	\$0.00
TAX:	\$0.00
TOTAL:	\$2,371.64

CUSTOMER SIGNATURE _____ DATE _____

* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors

Quote #: 1196432

Print Date: 8/28/2021 12:46:38 PM UTC

Page 2 of 2

All Images Viewed from Exterior









6. 175 Fleet Street - Recommended Approval

Background: The applicant is seeking approval for the installation of new HVAC equipment.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**LUHD-407**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Nov 16, 2021**Applicant**

STEPHEN KENNEDY
gilleysdiner@gmx.com
571 BRACKETT ROAD
RYE, NH 03870
603-431-2427

Location

175 FLEET ST
Portsmouth, NH 03801

Owner:

KENNEDY ROBERT R/PEARL F IRREVO TRUST & KENNEDY ROBERT
R/PEARL F TRUSTEES
251 THAXTER RD PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Installation of Heating/Cooling Unit

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

STEPHEN R KENNEDY - Business Owner

INTERNAL USE ONLY -- Historic District Commission Review and Approval**HDC Certificate of Approval Granted****HDC Approval Date**

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information**Owner Addressee Full Name and Title**

--

Owner Addressee Prefix and Last Name

--





(603) 969-1806

67 Willard Ave., Portsmouth, NH 03801
pettigrewplumbingandhvac.com

RECIPIENT:

Steve Kennedy

175 Fleet Street

Portsmouth, New Hampshire 03801

Quote #570

Sent on

09/22/2021

Total

\$8,800.00

PRODUCT / SERVICE	DESCRIPTION	TOTAL
Description	Install a HyperHeat Mitsubishi floor mount heat pump for original section of restaurant. Outdoor unit will be mounted on left side of restaurant on a wall bracket. 1) Mitsubishi MUFZKJ18NAHZU1 18K HyperHeat heat pump condenser 1) Mitsubishi MFZKJ18NAU1 18K Floor mount console unit Includes permit and inspection, all necessary piping and control wiring, Kumo Wi-Fi unit, surge protector, drain, pressure test, evacuate, charge, startup and test. Line voltage service to outdoor unit and disconnect switch inside to be done by others. If you don't have an electrician we can make a recommendation. Warranty - 1 year parts/labor, Mitsubishi offers 10 year warranty on all parts to original owner with registration. Terms - \$4,400 deposit / \$4,400 due on completion.	\$8,800.00

A deposit of \$4,400.00 will be required to begin.

Total

\$8,800.00

10/17/2021

Stephen Kennedy

Date

Client Signature

All parts and labor, as specified in the proposal, are covered under warranty by Pettigrew Plumbing and HVAC for a period of (1) one year. All work will be completed in a professional and workmanlike manner.

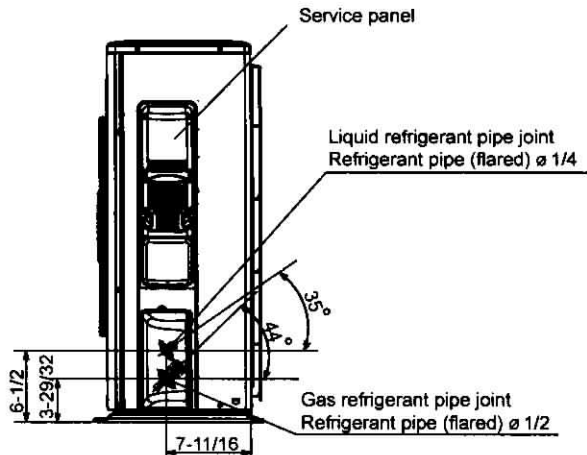
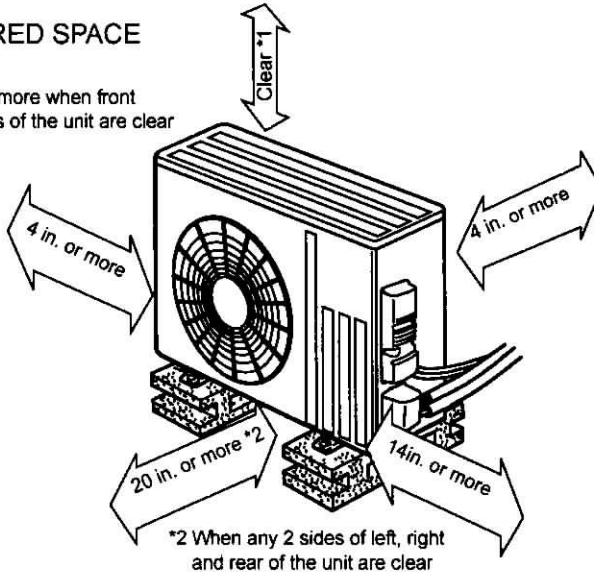
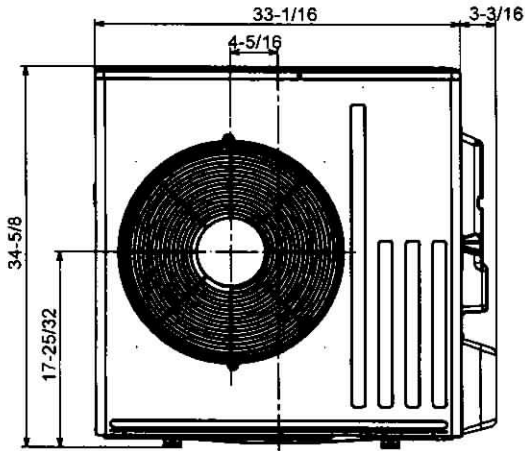
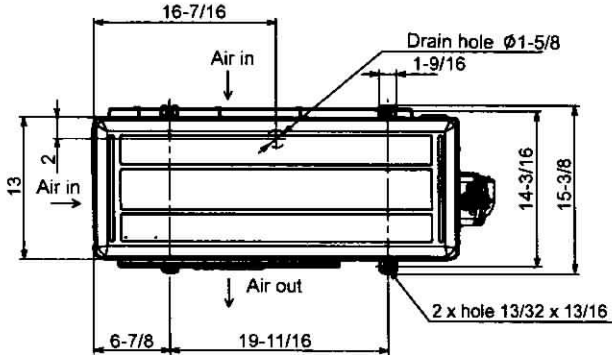
This proposal is only good for thirty (30) days and a signature or electronic signature and acceptance is required for this proposal to be considered valid. We reserve the right to withdraw this proposal any time prior to acceptance.

DIMENSIONS: MUFZ-KJ18NAHZ

Unit: inch

REQUIRED SPACE

*1 20 in. or more when front and sides of the unit are clear



1340 Satellite Boulevard, Suwanee, GA 30024
Toll Free: 800-433-4822 www.mehvac.com

FORM# MFZ-KJ18NA / MUFZ-KJ18NAHZ - 201903

Specifications are subject to change without notice.

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M-SERIES

SUBMITTAL DATA: MFZ-KJ18NA & MUFZ-KJ18NAHZ 18,000 BTU/H FLOOR-MOUNTED HEAT PUMP SYSTEM



Job Name:

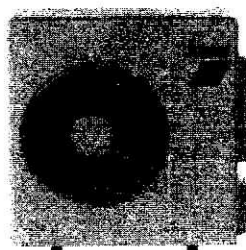
System Reference:

Date:

Indoor Unit:
MFZ-KJ18NA

Outdoor Unit:
MUFZ-KJ18NAHZ

Wireless Remote Controller



GENERAL FEATURES

- Floor-mounted indoor unit mounts on the floor or up to 5" above the floor
- Floor front panel access to the filter for ease of cleaning
- Perfect for difficult areas that may be smaller or don't have usable space on the walls
- Multiple fan speed options: Quiet, Low, Medium, High, Super-high, Auto
- Quiet operation
- Multi-flow vane for faster heating
- Multiple control options available:
 - Hand-held Remote Controller (provided with unit)
 - kumo cloud® smart device app for remote access
 - Third-party interface options
 - Wired or wireless controllers
- Unit can be recessed mounted into wall

SPECIFICATIONS: MFZ-KJ18NA & MUFZ-KJ18NAHZ

Cooling ¹	Maximum Capacity	Btu/h	22,500
	Rated Capacity	Btu/h	17,000
	Minimum Capacity	Btu/h	5,300
	Maximum Power Input	W	2,320
	Rated Power Input	W	1,350
	Moisture Removal	Pints/h	4.4
	Sensible Heat Factor		0.65
	Power Factor	%	97/97
Heating at 47°F ²	Maximum Capacity	Btu/h	29,000
	Rated Capacity	Btu/h	21,000
	Minimum Capacity	Btu/h	5,700
	Maximum Power Input	W	3,430
	Rated Power Input	W	1,730
	Power Factor	%	98/98
Heating at 17°F ³	Maximum Capacity	Btu/h	23,000
	Rated Capacity	Btu/h	12,800
	Maximum Power Input	W	3,210
	Rated Power Input	W	1,430
Heating at 5°F ⁴	Maximum Capacity	Btu/h	21,000
	Maximum Power Input	W	3000
Heating at -4°F ⁵	Maximum Capacity	Btu/h	18,480
Heating at -13°F ⁶	Maximum Capacity	Btu/h	15,960
Efficiency	SEER		21
	EER ¹		12.6
	HSPF (IV)		11.3
	COP at 47°F ²		3.56
	COP at 17°F in Maximum Capacity ³		2.10
	COP at 5°F in Maximum Capacity ⁴		2.05
	ENERGY STAR® (ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.)		YES
Electrical	Voltage, Phase, Frequency		208/230V, 1 phase, 60Hz
	Guaranteed Voltage Range	V AC	187-253
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	24
	Voltage: Indoor - Remote Controller		Wireless Type
	Recommended Fuse/Breaker Size	A	20
	Recommended Wire Size (Indoor - Outdoor)	AWG	14
	MCA	A	1
Indoor Unit	MOCP	A	20
	Blower Motor Full Load Amperage	A	0.72
	Blower Motor Output	W	40

SPECIFICATIONS: MFZ-KJ18NA & MUFZ-KJ18NAHZ

	Airflow Rate at Cooling, Dry	CFM	491-420-328-254-198
	Airflow Rate at Cooling, Wet	CFM	417-357-279-216-168
	Airflow Rate at Heating, Dry	CFM	470-399-328-268-212
	Sound Pressure Level (Cooling)	dB(A)	50-45-39-33-28
	Sound Pressure Level (Heating)	dB(A)	49-45-40-35-29
	Drain Pipe Size	In. (mm)	5/8 (15.88)
	Heat Exchanger Type		Plate fin coil
	External Finish Color		White
	Unit Dimensions	W: In. (mm)	29-17/32 (750)
		D: In. (mm)	8-15/32 (215)
H: In. (mm)		23-5/8 (600)	
Package Dimensions	W: In. (mm)	32-2/16 (816)	
	D: In. (mm)	10-13/16 (275)	
	H: In. (mm)	27-12/16 (693)	
Unit Weight	Lbs. (kg)	33 (15)	
Package Weight	Lbs. (kg)	41 (18.5)	
Indoor Unit Operating Temperature Range	Cooling Intake Air Temp (Maximum / Minimum)*	°F	90 DB / 73 WB // 67 DB / 57 WB
	Heating Intake Air Temp (Maximum / Minimum)	°F	80 DB // 70 DB
	MCA	A	16
	MOCP	A	20
	Fan Motor Full Load Amperage	A	0.93
	Fan Motor Output	W	77
	Airflow Rate	CFM	1,653 / 1,730
	Refrigerant Control		LEV
	Defrost Method		Reverse cycle
	Heat Exchanger Type		Plate fin coil
Outdoor Unit	Sound Pressure Level, Cooling ¹	dB(A)	55
	Sound Pressure Level, Heating ²	dB(A)	51
	Compressor Type		DC INVERTER-driven Twin Rotary
	Compressor Model		SNB173FQKMT
	Compressor Rated Load Amps	A	12.0
	Compressor Locked Rotor Amps	A	15.0
	Compressor Oil Type // Charge	oz.	FV50S // 13.5
	External Finish Color		Munsell 3Y 7.8/1/1
	Base Pan Heater		Built-in
	Unit Dimensions	W: In. (mm)	33-1/16 (840)
D: In. (mm)		13 (330)	
H: In. (mm)		34-5/8 (880)	
Package Dimensions	W: In. (mm)	38-9/16 (980)	
	D: In. (mm)	16-9/16 (420)	
	H: In. (mm)	39 (990)	

SPECIFICATIONS: MFZ-KJ18NA & MUFZ-KJ18NAHZ

Outdoor Unit Operating Temperature Range	Unit Weight	Lbs. (kg)	124 (56)
	Package Weight	Lbs. (kg)	144 (65)
	Cooling Air Temp (Maximum / Minimum)*	°F	14 to 115
	Cooling Thermal Lock-out / Re-start Temperatures**	°F	11 / 14
	Heating Air Temp (Maximum / Minimum)	°F	-13 to 75
Refrigerant	Heating Thermal Lock-out / Re-start Temperatures**	°F	-18 / -14
	Type		R410A
	Charge	Lbs. oz	3.5
	Gas Pipe Size O.D. (Flared)	In. (mm)	1/2 (12.7)
	Liquid Pipe Size O.D. (Flared)	In. (mm)	1/4 (6.35)
Piping	Maximum Piping Length	Ft. (m)	100 (30)
	Maximum Height Difference	Ft. (m)	50 (15)
	Maximum Number of Bends		10

Notes

AHRI Rated Conditions (Rated data is determined at a fixed compressor speed)	¹ Cooling (Indoor // Outdoor)	°F	80 DB, 67 WB // 95 DB, 75 WB
	² Heating at 47°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 47 DB, 43 WB
	³ Heating at 17°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 17 DB, 15 WB
	⁴ Heating at 5°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 5 DB, 4 WB
Conditions	⁵ Heating at -4°F (Indoor // Outdoor)	°F	70 DB, 60 WB // -4 DB, -5 WB
	⁶ Heating at -13°F (Indoor // Outdoor)	°F	70 DB, 60 WB // -13 DB, -14 WB

*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

**System cuts out in heating mode to avoid thermistor error and automatically restarts at these temperatures.

7. 129 Daniel Street - Recommended Approval

Background: The applicant is seeking approval for changes to an approved design (clarify window schedule and sash material, reposition bathroom and fireplace vents, approved window to be in-filled, and HVAC location change).

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

11/23/2021

LUHD-409

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Nov 22, 2021**Applicant**

Timothy Giguere
tim@tms-architects.com
One Cate Street - 4th Floor, Suite 3A
Portsmouth, NH 03801
603.436.4274

Location

129 DANIEL ST
Portsmouth, NH 03801

Owner:

MANN JEFFRY S TRUST & MANN JEFFRY S TRUSTEE
129 DANIEL ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Requesting Administrative Approvals for the following alterations to the approved design

Description of Proposed Work (Planning Staff)

--

Project Representatives**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Timothy Giguere

Business Name (if applicable)

TMS Architects

Mailing Address (Street)

1 Cate Street

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

603.436.4274

Email Address

tim@tms-architects.com

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

TMS

architects
interiors

ONE CATE ST | PORTSMOUTH, NH 03801 | 603.436.4274
WWW.TMSARCHITECTS.COM

Building Permit # BLDG-19-884.

2021.11.22

Additional Admin Approvals Requested:

Refrencing drawings from previous Land Use Application October 7, 2019, and also
Referencing elevations of Administrative Approval December 6, 2019

129 Daniel Street
Portsmouth, NH 03801

To Whom it concerns.

Seeking HDC Administrative Approvals for the following alterations to the approved design that we feel are within the intent of the original HDC approval but vary slightly due to existing conditions uncovered in the field during construction.

1. Clarification to approved window schedule of window sash material.
2. Approved Bathroom vent locations on elevations repositioned.
3. Approved fireplace vent locations on elevations repositioned.
4. Approved existing window to be filled in being asked to remain.
5. Approved HVAC condenser location slid back away from the wall.

1. As noted on HDC Land Use Compliance Report December 7, 2020; Building Permit # BLDG-19-884. Clarification: Item 2a "Sheet A3.0 of the approved specifications calls for wood windows". We would like to calrify A3.0 schedule that sashes are aluminum clad wood, rest of window is painted mahogany wood windows exposed to exterior..

a. Response: The windows installed are painted mahogany wood windows. They have wood jambs, sill, casing, and shutters and are historically accurate for the period. The sashes are also mahogany but clad in aluminum and painted to match the rest of the painted mahogany in the window and look to be wood. The clad jointing mimics historic wood jointing of the sash (no miter corners). See attached pictures of installed window units. The drawings follow the manufacturer's labeling of this as a wood window as only the sashes are clad for better performance while mimicking historical jointing methods. The window installed is the same window sample presented to the HDC board in person back in December of 2019 that was approved, and from what I was informed from the local rep, the window has been used previous-ly on other approved HDC projects in Portsmouth, which is why we chose them for our project, and we apologize for any confusion. See attached document for pictures of installed windows.



Current Daniel Street Elevation

Wood sash clad in
aluminum

Painted wood

Painted wood

Painted wood

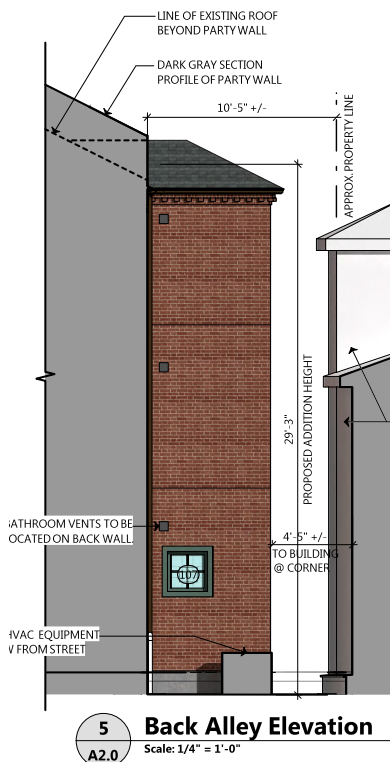
Painted wood

Painted wood

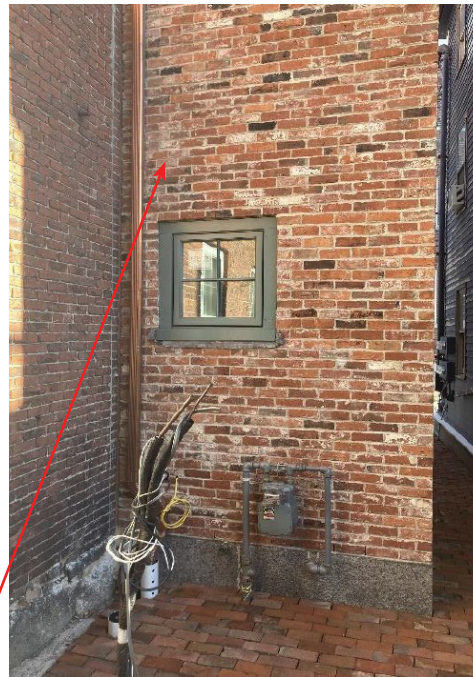


View of installed window

2. Bathroom vents were relocated from the south alley side of the addition to the east alley side of the addition due to the orientation of the approved addition framing joists to tie back into the existing structure more securely. The bathroom vents are still not adjacent to any public walking surfaces.



2019.10.02 HDC Approved elevation



Vents relocated from this location



Vents relocated to this side location, behind copper downspout

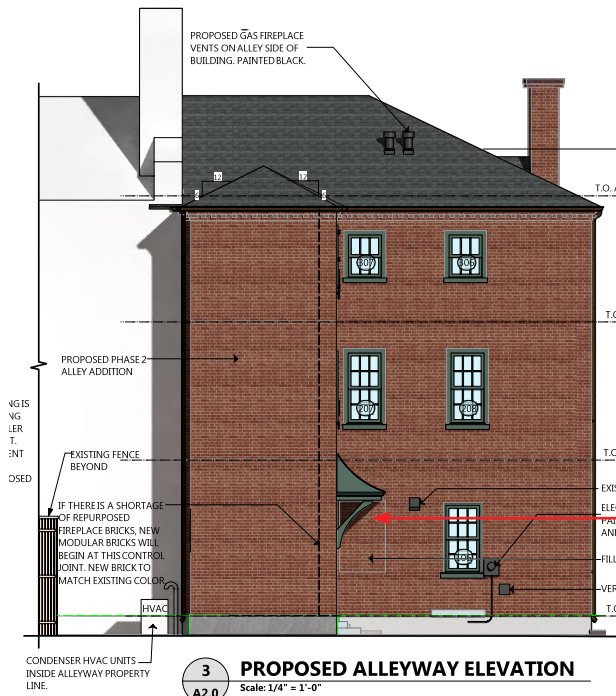
3. Fireplace roof vents were relocated from protruding through the roof plane to re-routing through the existing chimney due to existing roof heavy timber truss framing and purlins regarding manufacturer safety requirements with venting and ability to work with existing masonry mass and new venting. Also, Fireplace wall vents high above the sidewalk were slid to the opposite side of the chimney mass further away from the corner of Chapel and Daniel to comply with the fireplace venting requirements and existing masonry wall construction. These vent relocations were discussed with Nick Cracknell in email correspondence on 2020.05.12 with elevation attachments, in which he felt the movement was within substantial compliance with the HDC-approved elevations at the time.



current elevation photo

2019.12.06 HDC Admin Approval Elevation above:

4. The existing window approved to be removed by HDC, was decided by the clients during construction to remain in place. This was historically already a window location noted and shown in the recent photo below.



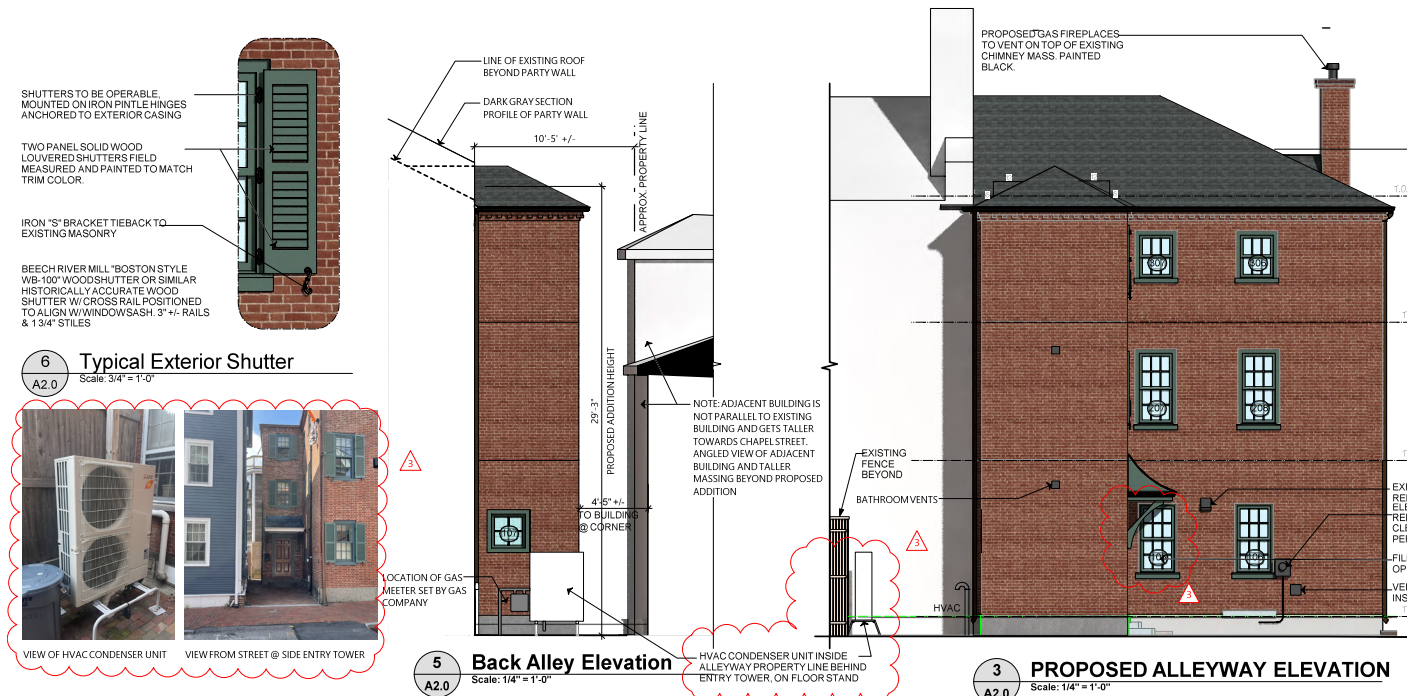
Existing window requested to remain in place

Location of previously approved window to be removed. requesting admin approval to keep existing window this location



Recent photo of elevation (approved entry roof to be constructed still)

5. Approved HVAC condenser unit behind side entry is slid back from wall closer to property fence, still on the property. The HVAC condenser unit was relocated so gas company could install a meter on the wall behind the entry tower addition. The HVAC condenser unit is still not within view of Chapel Street, as the photo above shows.





PROPOSED SYNTHETIC SLATE SHINGLE
BORAL - INSPIRE
CLASSIC SLATE GRAY BLACK BLEND

WHITE MASSING OF EXISTING
NEIGHBORING BUILDINGS BEYOND
VIEWED AT SLIGHT ANGLE ALONG
CHAPEL STREET

EXISTING WOOD SILLS TO BE
REFURBISHED. WINDOWS TO BE
REPLACED. NOTE: SELECT THIRD
AND SECOND FLOOR SILLS MAY
NEED TO BE REPLACED IF ROT IS
TOO SIGNIFICANT TO REPAIR.

EXISTING BRICK SILLS TO BE
REMOVED @ FIRST FLOOR AND
REPLACED WITH PAINTED WOOD
SILLS.



1 PROPOSED DANIEL STREET ELEVATION
Scale: 1/4" = 1'-0"

CHIMNEY VENTS
PREVIOUSLY APPROVED
FOR ROOF PENETRATION

NEW SYNTHETIC SLATE ROOF

WHITE MASSING OF EXISTING FIRE
SEPARATION WALL BEYOND

PROPOSED GAS FIREPLACE WALL
EXHAUST LOCATION. PAINTED
BLACK

PROPOSED GAS FIREPLACE WALL
EXHAUST LOCATION. PAINTED
BLACK. PREVIOUS APPROVED
LOCATIONS SHOWN IN DASHES



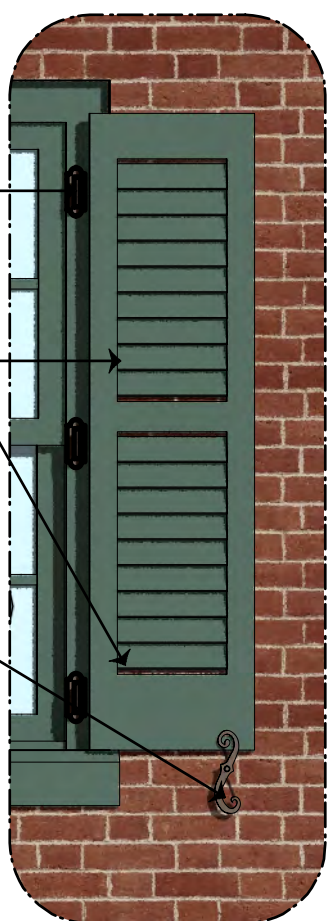
2 PROPOSED CHAPEL STREET ELEVATION
Scale: 1/4" = 1'-0"

SHUTTERS TO BE OPERABLE,
MOUNTED ON IRON PINTLE HINGES
ANCHORED TO EXTERIOR CASING

TWO PANEL SOLID WOOD
LOUVERED SHUTTERS FIELD
MEASURED AND PAINTED TO MATCH
TRIM COLOR.

IRON "S" BRACKET TIEBACK TO
EXISTING MASONRY

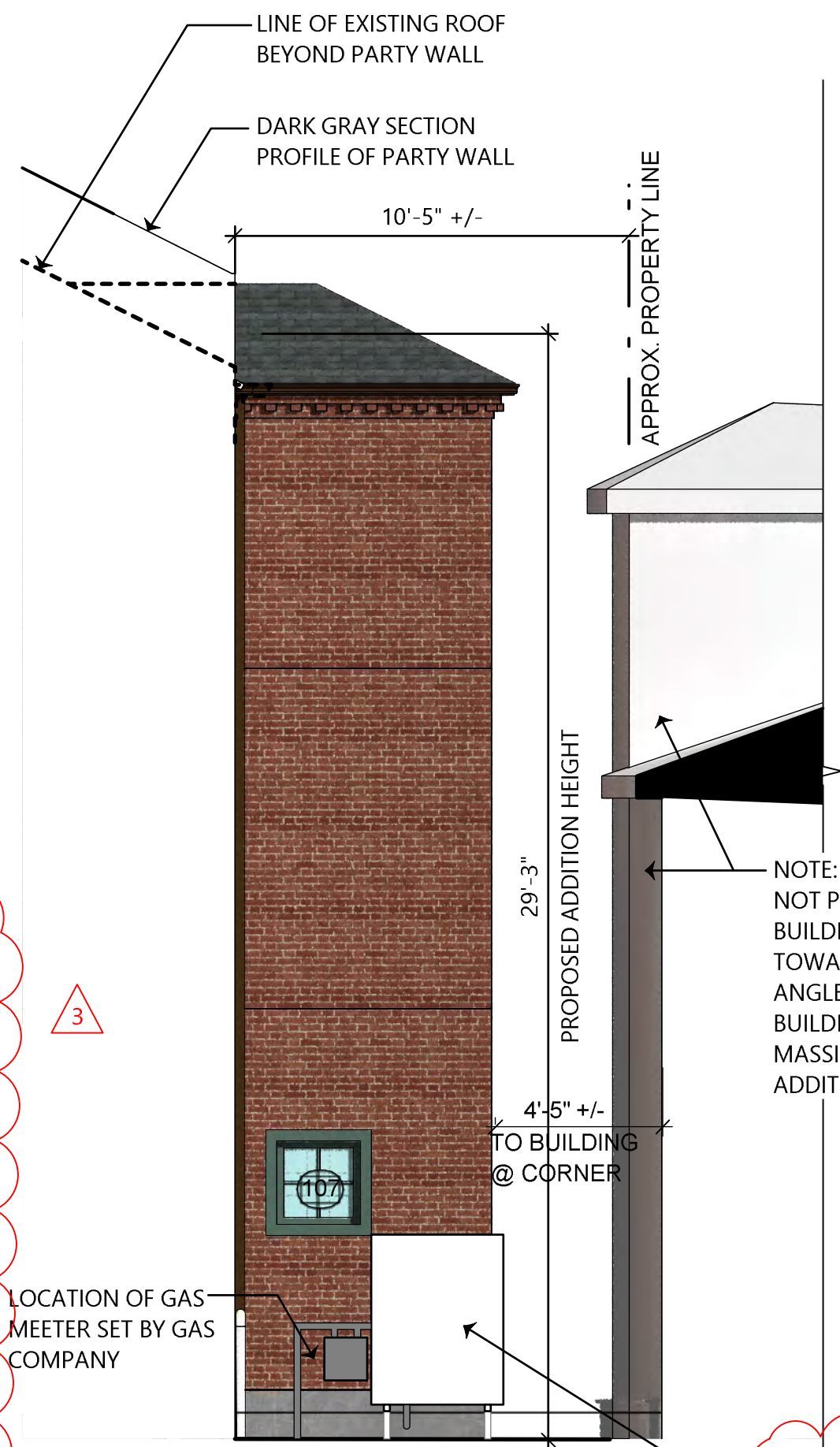
BEECH RIVER MILL "BOSTON STYLE
WB-100" WOOD SHUTTER OR SIMILAR
HISTORICALLY ACCURATE WOOD
SHUTTER W/ CROSS RAIL POSITIONED
TO ALIGN W/ WINDOW SASH. 3" +/- RAILS
& 1 3/4" STILES



6 Typical Exterior Shutter
Scale: 3/4" = 1'-0"



VIEW OF HVAC CONDENSER UNIT VIEW FROM STREET @ SIDE ENTRY TOWER



5 Back Alley Elevation
Scale: 1/4" = 1'-0"

PROPOSED GAS FIREPLACES
TO VENT ON TOP OF EXISTING
CHIMNEY MASS. PAINTED
BLACK.

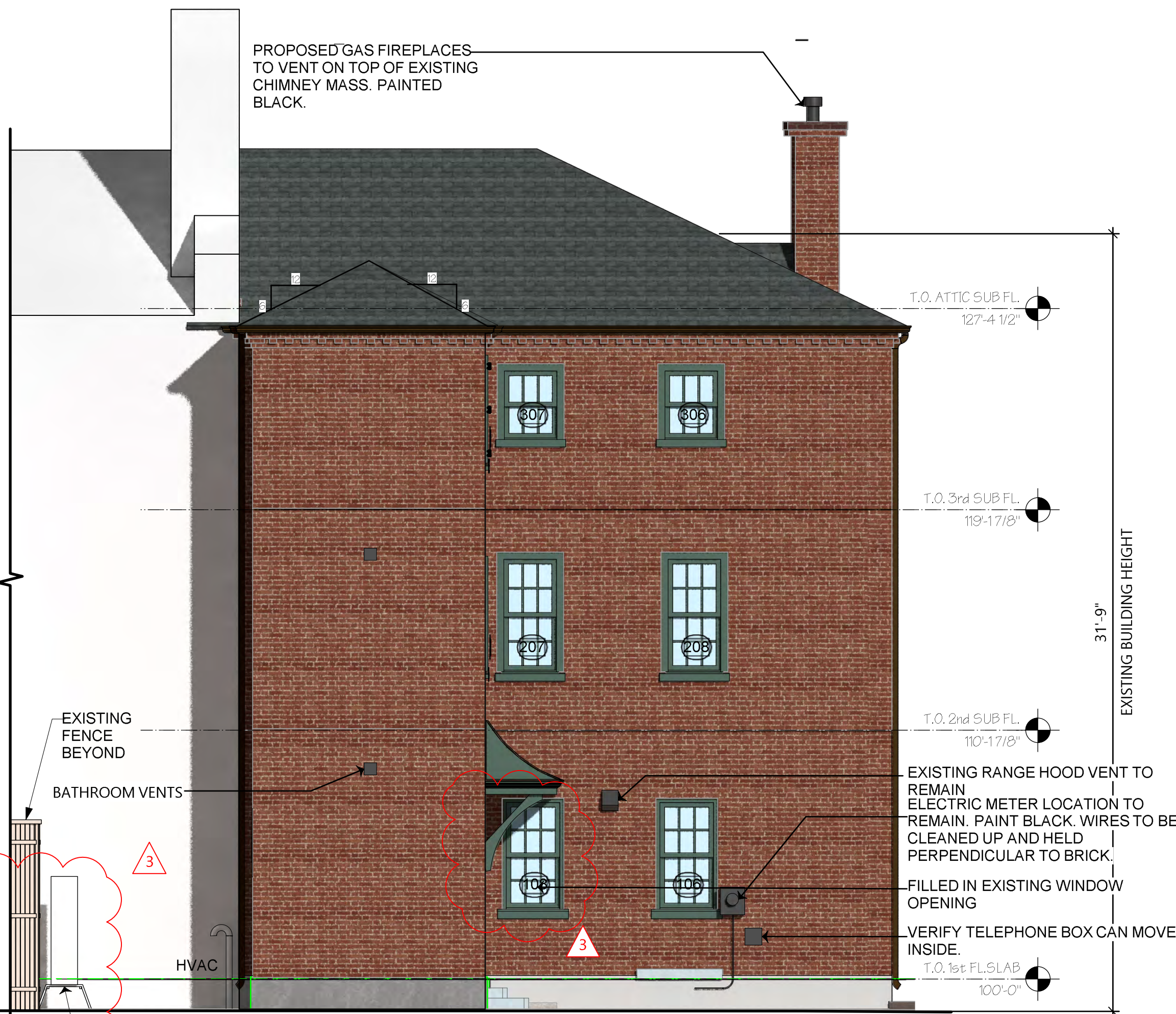
EXISTING FENCE
BEYOND

BATHROOM VENTS

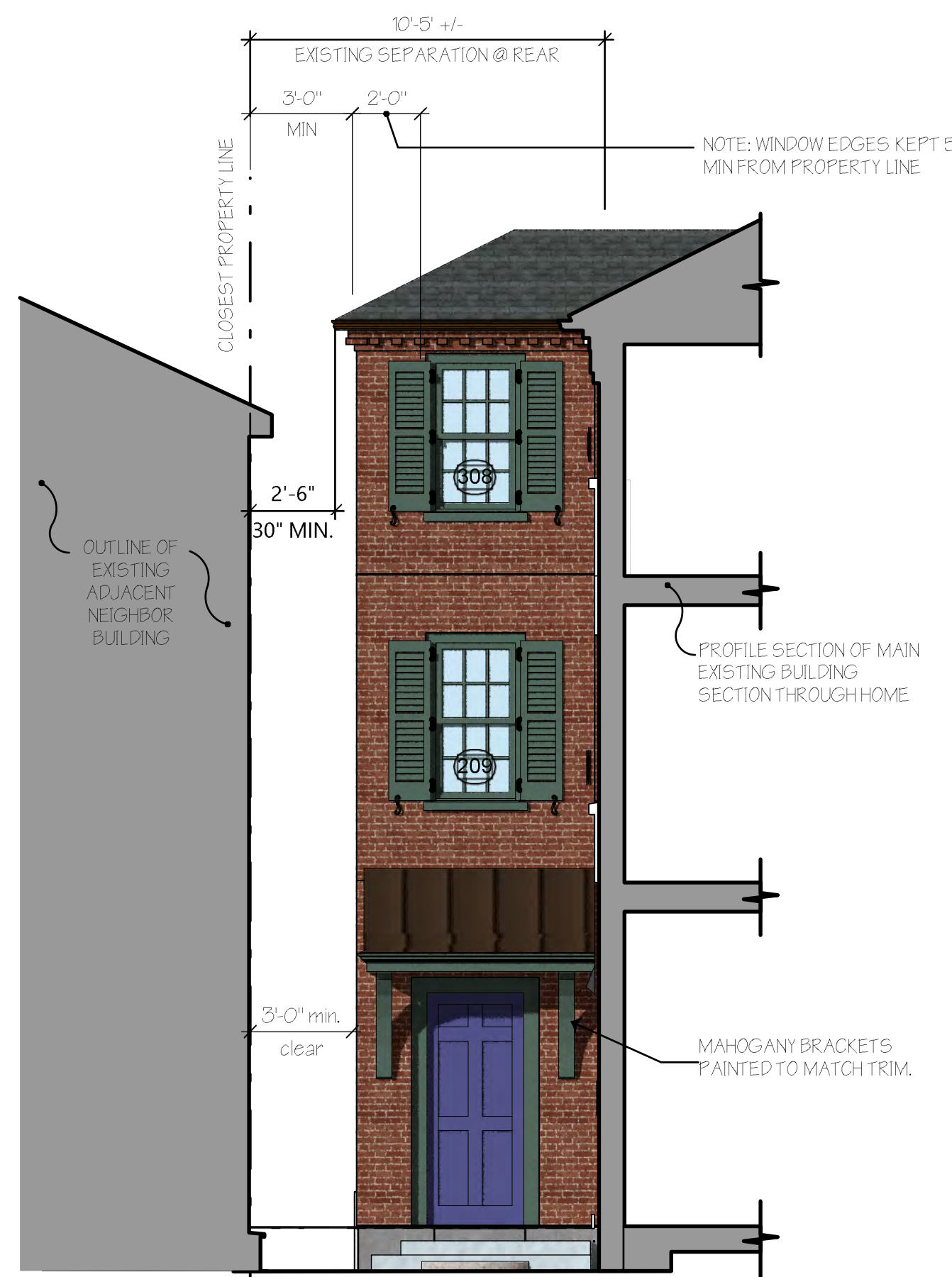
HVAC

EXISTING RANGE HOOD VENT TO
REMAIN. ELECTRIC METER LOCATION TO
REMAIN. PAINT BLACK. WIRES TO BE
CLEANED UP AND HELD
PERPENDICULAR TO BRICK
OPENING

VERIFY TELEPHONE BOX CAN MOVE
INSIDE.



3 PROPOSED ALLEYWAY ELEVATION
Scale: 1/4" = 1'-0"



4 Partial Elevation @ Alley Addition
Scale: 1/4" = 1'-0"

TMSarchitectswww.tmsarchitects.comOne Gate StreetEldredge Park693-439-4274

Revision and Rescure NotesNo. Date Issue Notes2021.11.22 Rev 3 MINOR HCAV UPDATES FOR HDC ADMIN APPROVAL

REGISTERED ARCHITECTTIMOTHY M. SQUIRENo. 04149STATE OF NEW HAMPSHIRE

Project Name: 2019035

MANN/HOLLISTER RESIDENCE129 Daniel StreetPortsmouth, New Hampshire

PROPOSED ELEVATIONS

A2.0



DANIEL STREET CIRCA LATE 1800'S [PHOTO COUNTESY OF PORTSMOUTH ATHENAEUM]



129 DANIEL STREET "DANIEL STREET GROCERY" CIRCA 1970'S [PORTSMOUTH NH HISTORIC DISTRICT SURVEY 1979]



EXISTING WINDOW PHOTO 3

NON-ORIGINAL WINDOWS CURRENTLY IN WINDOW WITH VINYL SASHES PROPOSED TO BE REPLACED W/ MORE HISTORICALLY ACCURATE WOOD DOUBLE HUNG WINDOWS



EXISTING PHOTO 1

EXISTING FIRST FLOOR WINDOWS WITH NO MUNTIN



EXISTING PHOTO 2

EXISTING GLASS BLOCK WINDOWS



EXISTING WINDOW PHOTO 4

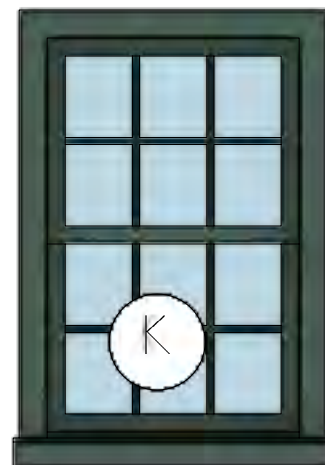
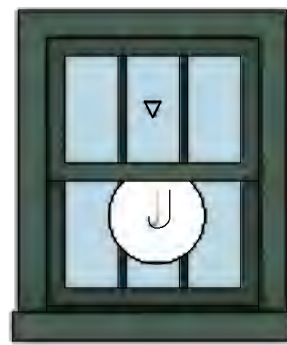
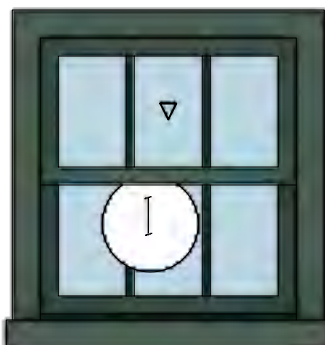
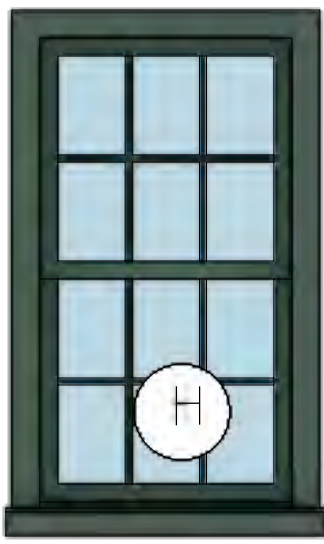
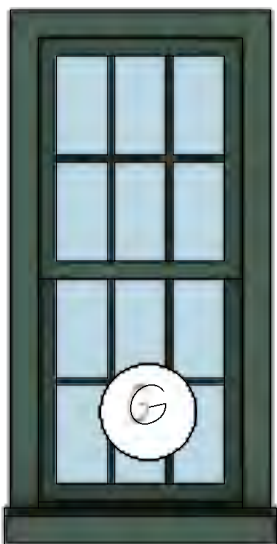
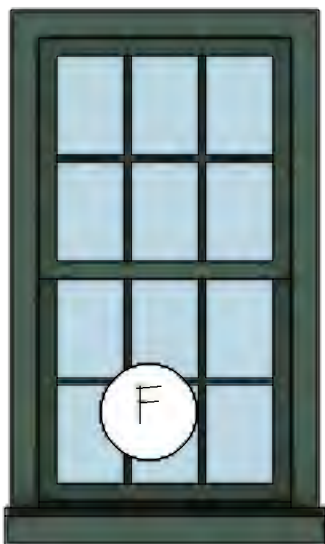
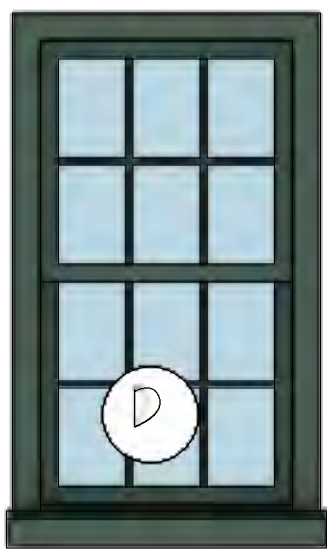
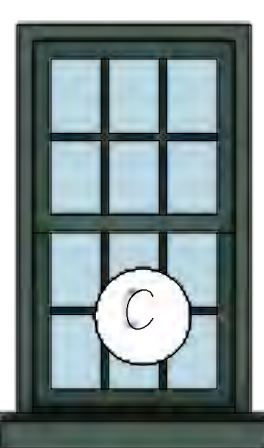
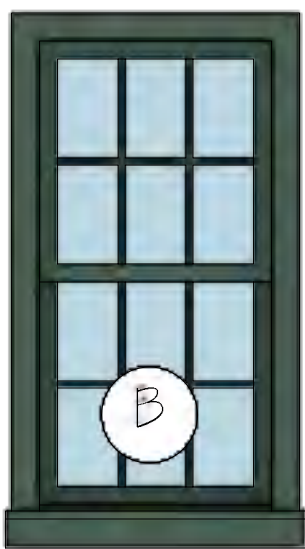
EXAMPLE OF EXISTING DETERIORATED WINDOW PROPOSED TO BE REPLACED WITH WOOD HUNG WINDOW



BUILDING HISTORICALLY HAD 2 PANEL LOUVERED SHUTTERS



WINDOW A REMOVED



1
A3.0

PROPOSED WINDOW TYPES

Scale: 1/2" = 1'-0"

EXTERIOR TRIM PAINT
BENJAMIN MOORE
692 JACK PINE

EXTERIOR DOOR PAINT
ROMAN VIOLET
PPG1170-7

GENERAL WINDOW NOTES

- EXTERIOR WINDOWS TO BE LePage XL DOUBLE HUNG SOLID WOOD WINDOWS W/ ALUMINUM CLAD SASHES (PAINTED TO MATCH TRIM) WITH NO ATTACHED FACTORY EXTERIOR TRIM WITH PAINTED SELECT PINE INTERIOR U.N.O. (COLOR TBD WITH INTERIOR DESIGNER). INSULATED LOW E 11 GLAZING W/ 7/8" SDL MUNTINS W/ INTERNAL SPACER BARS (AS SHOWN ON ELEVATIONS AND TYPES)-(U.N.O. ON WINDOW TYPES / SCHEDULE). FACTORY PROVIDED HARDWARE TO BE OIL RUBBED BRONZE FINISH UNLESS NOTED OTHERWISE. ROLL SCREENS FROM INTERIOR.
- G.C. AND WINDOW REP. TO FIELD VERIFY M.O.'S AND ADJUST WINDOW SIZES AS NECESSARY TO FIT EXISTING OPENINGS PRIOR TO WINDOW ORDER. ARCHITECT TO BE NOTED OF ADJUSTED SIZES IN WRITING
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL WINDOWS FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION. ANY CHANGES MADE TO WINDOW DIMENSIONS OR CALLED OUT SPECIFICATIONS SHOULD BE REVIEWED AND APPROVED IN WRITING BY THE ARCHITECT PRIOR TO SUBMISSION OF WINDOW SHOP DRAWINGS FOR FINAL APPROVAL.
- G.C. TO FIELD VERIFY WINDOW AND DOOR ROUGH OPENINGS ON SCHEDULES WITH FLOOR PLANS, SECTIONS AND MANUF. SUGGESTED SIZES PRIOR TO FRAMING, G.C. TO COORDINATE WITH WINDOW MANUF. REP AS RECOMMENDED BY MANUF. FOR SILL PAN FLASHING, BITUMINOUS MEMBRANE, ETC... AS INDICATED ON ARCHITECTURAL DETAILS AND SECTIONS, WHERE NOT TAKEN INTO ACCOUNT BY WINDOW MANUF. SUGGESTED R.O.'S. CONSULT W/ ARCHITECT WITH ANY DISCREPANCIES PRIOR TO PLACING WINDOW ORDER.
- MUNTINS SPACED TO CREATE EQUAL EXPOSED GLASS DIMENSIONS UNLESS OTHERWISE NOTED.
- REFER TO ELEVATIONS FOR WINDOW OPERATION AND HINGE DIRECTIONS.
- CONTRACTOR TO VERIFY AREAS OF TEMPERED GLASS ON UNITS AND R.O. DIMENSIONS FOR REQUIRED EGRESS WINDOWS WHERE REQUIRED BY CODE AND/OR NOTED ON DRAWINGS PRIOR TO FRAMING THE OPENING OR PLACING WINDOW ORDER. REFER TO TEMPERED GLAZING NOTES BELOW.

TMSarchitects
www.tmsarchitects.com
One Gate Street
Eldredge Park
603-439-6274

Revision and Reissue Notes
No. _____ Date _____ Issue Notes _____
2021.11.22 Rev 3 MINOR HCAV UPDATES FOR HDC ADMIN APPROVAL

LICENSED ARCHITECT
TIMOTHY M. SQUIRE
No. 04149
STATE OF NEW HAMPSHIRE

County: _____ Project Name: _____
Scale: _____ Date: 2021.11.23
Project No.: 2019035

EXISTING WINDOW REPORT AND EVALUATIONS

MANN/HOLLISTER RESIDENCE
129 Daniel Street
Portsmouth, New Hampshire

A3.0

Historic District Commission

Staff Report – December 1st, 2021

December 1st MEETING

Administrative Approvals:

- | | |
|---------------------------------|----------------------|
| 1. 33 Holmes Court (LUHD-402) | - Recommend Approval |
| 2. 37 South St. (LUHD-403) | - Recommend Approval |
| 3. 239 Northwest St. (LUHD-404) | - Recommend Approval |
| 4. 33 Northwest St. (LUHD-406) | - Recommend Approval |

PUBLIC HEARINGS – EXTENSION REQUEST:

1. 266-278 State Street (LU-19-79) (New infill building)

PUBLIC HEARINGS – NEW BUSINESS:

1. 131 Congress Street (LU-21-201) (new storefront)

PUBLIC HEARINGS – OLD BUSINESS:

- A. 401 State Street (LU-21-190) (replace windows)
- B. 64 Vaughan St. (LU-21-214) (bricks, balconies and roof)

WORK SESSIONS – OLD BUSINESS:

- A. 137 Northwest. (LUHD-296) (new single family)
- B. 1 Raynes Ave. (LUHD-234) (two new mixed-use buildings)
- C. 2 Russell / 0 Deer St. (LUHD-366) (2 new buildings)
- D. 0 Maplewood Ave. (LUHD-390) (new single family)

December 8th MEETING

- Work Session Discussion on Historic District Ordinance and Administration



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: December 1st, 2021
APPLICATIONS: 12

Historic District Commission

Project Evaluation Form: **131 CONGRESS STREET**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #1**

A. Property Information - General:

- Existing Conditions:**
- Zoning District: CD5
 - Land Use: Commercial
 - Land Area: 8,241 SF +/-
 - Estimated Age of Structure: c.1931
 - Building Style: Modern
 - Number of Stories: 1
 - Historical Significance: Intrusion
 - Public View of Proposed Work: View from Congress Streets
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: Replace storefront system.

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive ☐ Sensitive ☒ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☒ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

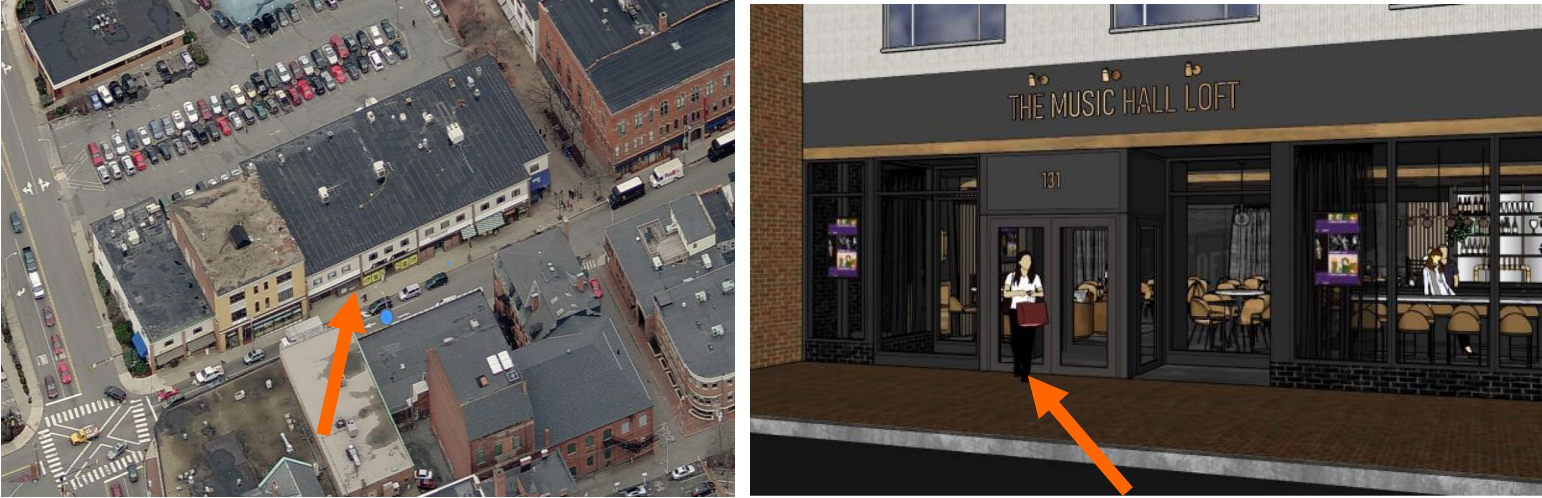
- The building is located in the heart of the business district on Congress Street and is surrounded by a wide variety of significant and non-contributing structures.

J. Staff Comments and/ or Suggestions for Consideration:

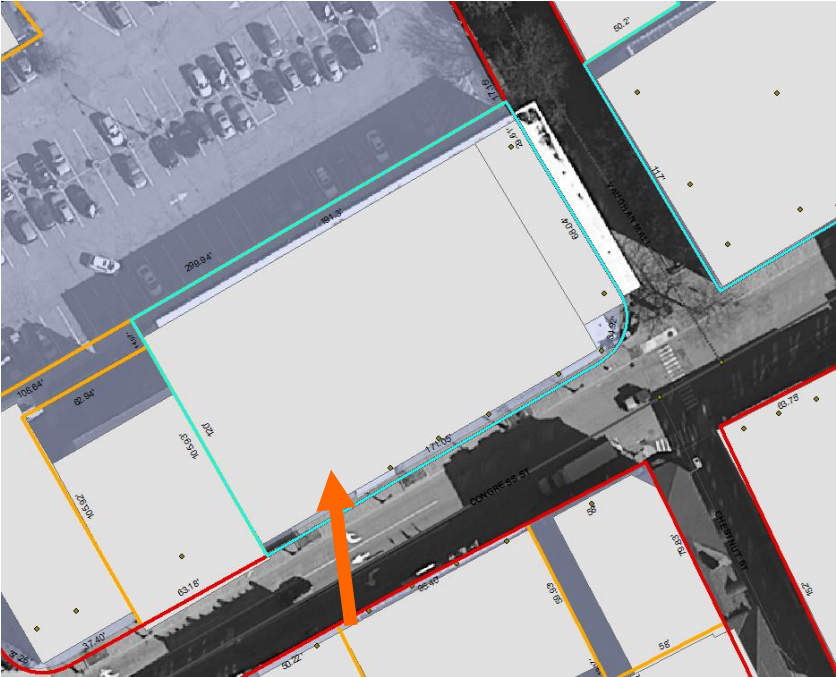
- The applicant is proposing to:
 - i. Replace the storefront windows and doors.

Design Guideline Reference – Guidelines for Windows & Doors (08), Signs & Awnings (11) and Commercial Development and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Streetview Images



Zoning Map

**HISTORIC
SURVEY
RATING**

I

131 CONGRESS STREET – PUBLIC HEARING #1 (MINOR)									
INFO/ EVALUATION CRITERIA			SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY:113 CONGRESS STREET Case No.: 1 Date: 12-1-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>	
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>– INSTALL NEW STOREFRONT WINDOWS & DOORS ONLY –</div>						
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Evaluation Form: **401 STATE STREET (LU-21-190)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #A**

A. Property Information - General:

Existing Conditions:

- Zoning District: Central Business District B (CBB)
- Land Use: Mixed-Use
- Land Area: 30,760 SF +/-
- Estimated Age of Structure: c.1880
- Building Style: High Victorian Gothic
- Number of Stories: 5
- Historical Significance: Focal Structure
- Public View of Proposed Work: No View from State Street
- Unique Features: Important structure to commemorate American colonial revival
- Neighborhood Association: Downtown Residents

B. Proposed Work: To add a brick wing wall to screen kitchen exhaust hood.

C. Other Permits Required:

- ☐ Board of Adjustment ☐ Planning Board ☐ City Council

D. Lot Location:

- ☐ Terminal Vista ☐ Gateway ☒ Mid-Block
☐ Intersection / Corner Lot ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal ☐ Accessory ☐ Significant Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive ☐ Sensitive ☒ Low Sensitivity ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
☒ Minor Project (i.e. small alterations, additions or expansions)
☐ Moderate Project (i.e. significant additions, alterations or expansions)
☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

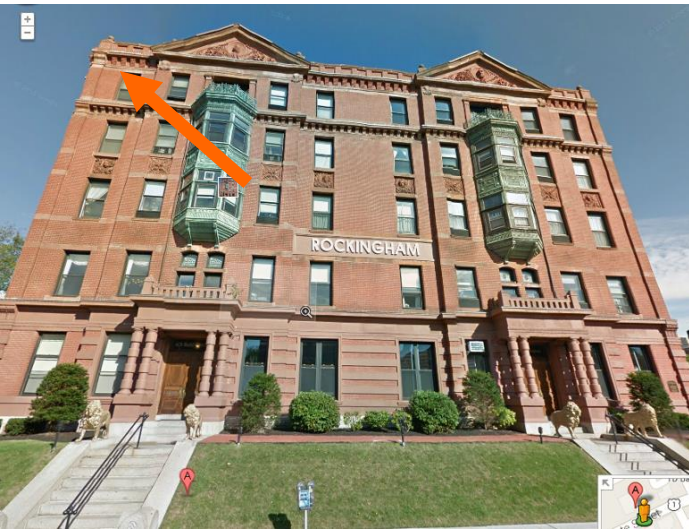
- This exceptionally large, multi-storied brick structure is a landmark building that is located along State Street and is surrounded with many focal and contributing structures. The neighborhood is predominantly 2.5 to 3 story wooden residential structures with narrow setbacks from the street.

J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to replace 5 existing vinyl windows with an aluminum-clad Pella replacement window.
- The windows are proposed to be double-hung with no muntins.
- Note that previous blanket approval from the HDC (2-1-2012) stated that all the windows would be Anderson 400 series – full-divided light with spacer bar, a Terratone bronze color with half screens.

Design Guideline Reference: See guidelines for Windows and Doors (08)

L. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING

F**

401 STATE STREET UNIT 502 (LU-21-190) – PUBLIC HEARING #A (MINOR)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>– 5th Floor Unit Windows Only –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 401 STATE STREET Case No.: A Date: 12-1-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

64 VAUGHAN MALL (LU-20-214)
CERTIFICATE OF APPROVAL
PUBLIC HEARING #B

- Existing Conditions:
- Zoning District: CD5
 - Land Use: Commercial
 - Land Area: 15,242 SF +/-
 - Estimated Age of Structure: c.1900
 - Building Style: Vernacular Commercial
 - Historical Significance: C
 - Public View of Proposed Work: View from the Vaughan Mall and Hanover St.
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To revise the brickwork, balconies and add an roof atrium.

C. Other Permits Required:

- ☒ Board of Adjustment
- ☒ Planning Board
- ☒ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

- I. **Neighborhood Context:**

a. The building is located along the Vaughan Mall. The building is surrounded with many 2-5 story historic and contemporary structures with little to no setbacks. The property also has an 8 space surface parking lot off of Hanover Street.
- J. **Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to:
 - Revise the balconies on the original building.
 - Add an atrium on the roof of the original building.

- **Design Guideline Reference – Guidelines for Windows and Doors (08) and Commercial Developments and Storefronts (12).**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

64 VAUGHAN MALL (LU-21-153) – PUBLIC HEARING #B (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No.	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT – MODIFY BALCONIES & ADD AN ATRIUM AND ROOF DECK ONLY –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	Garages/ Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37		Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Plantings (i.e. trees, shrubs, flowers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 64 VAUGHAN MALL Case No.: B Date: 11-1-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

137 NORTHWEST ST. (LUHD-296)
CERTIFICATE OF APPROVAL
WORK SESSION #A

- Existing Conditions:
- Zoning District: GRA
 - Land Use: Single Family
 - Land Area: 23,522 SF +/-
 - Estimated Age of Structure: c.1890
 - Building Style: Queen Anne
 - Historical Significance: C
 - Public View of Proposed Work: View from Northwest Street & the Rte.1 Bypass.
 - Unique Features: NA
 - Neighborhood Association: Christian Shore

B. **Proposed Work:** To construct a new single family house on the lot.

- C. **Other Permits Required:**
- ☒ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

- D. **Lot Location:**
- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

- E. **Existing Building to be Altered/ Demolished:**
- ☒ Principal
- ☐ Accessory
- ☐ Demolition

- F. **Sensitivity of Context:**
- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

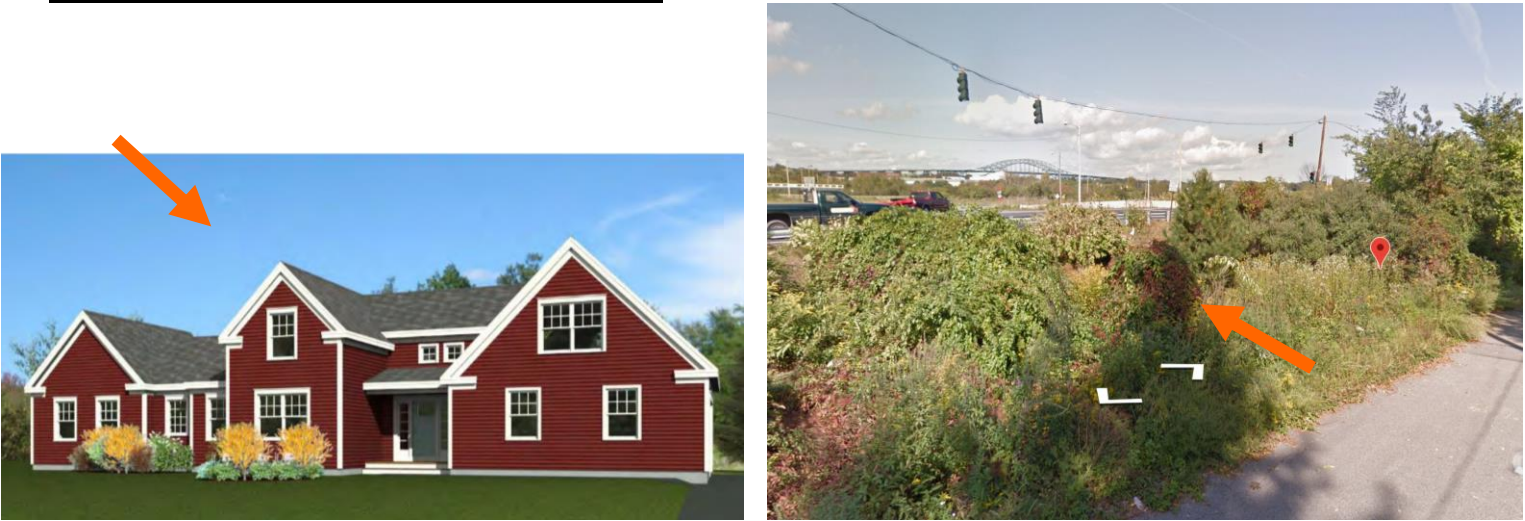
- G. **Design Approach (for Major Projects):**
- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

- H. **Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

- I. **Neighborhood Context:**
- The building lot is located along Northwest Street. It is surrounded with many 1.5-2 story wood-sided historic structures with small rear and side yards with garden areas. The proposed lot is very narrow which limits the potential for landscape screening along the Rte. 1 Bypass.
- J. **Staff Comments and/ or Suggestions for Consideration:**
- The Application is proposing to:
- Construct a new single-family residence on the north eastern portion of the property.
 - Note that a variance was granted to support this application.
 - The applicant will submit revised drawings for the December 1st meeting.

Design Guideline Reference – *Guidelines for New Construction (02-09).*

K. **Aerial Image, Street View and Zoning Map:**




Proposed Alterations and Existing Conditions



Zoning Map

HISTORIC
SURVEY
RATING

-

137 NORTHWEST ST. (LUHD-296) – WORK SESSION #A (MODERATE)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY:137 Northwest St. Case No.:A Date: 12-1-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied</div> <div><input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>	
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<div>MODERATE PROJECT</div> <div>- Construct a New Single-Family Structure Only -</div>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

1 & 31 RAYNES AVE. (LUHD-234)
CERTIFICATE OF APPROVAL
WORK SESSION #B

- Existing Conditions:
- Zoning District: CD4
 - Land Use: Vacant / Gym
 - Land Area: 2.4 Acres +/-
 - Estimated Age of Structure: c.1960s
 - Building Style: Contemporary
 - Historical Significance: NA
 - Public View of Proposed Work: View from Maplewood and Raynes Ave.
 - Unique Features: NA
 - Neighborhood Association: Downtown

B. Proposed Work: To construct a 4-5 story mixed-use building(s).

C. Other Permits Required:

- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

D. Lot Location:

- ☒ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

- I. Neighborhood Context:

a. The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.
- J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:
 - Demolish the existing buildings.
 - Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
 - The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
 - Note that the applicant will submit drawings in advance of the December 1st meeting.

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

1 & 31 RAYNES AVE. (LUHD-234) – WORK SESSION #B (MAJOR)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<div>MAJOR PROJECT</div> <div>– Construct two 5-Story Mixed-Use Buildings Only –</div>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 1 & 31 Raynes Ave. Case No.: B Date: 12-1-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:
2. Assessment of the Historical Significance:
3. Conservation and enhancement of property values:

☐ Yes ☐ No
☐ Yes ☐ No
☐ Yes ☐ No

4. Maintain the special character of the District:
5. Complement and enhance the architectural and historic character:
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No
☐ Yes ☐ No
☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No
☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

2 RUSSELL & 0 DEER ST (LUHD-366)
CERTIFICATE OF APPROVAL
WORK SESSION #C

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD5
 - Land Use: Vacant /Parking
 - Land Area: 85,746 SF +/-
 - Estimated Age of Structure: NA
 - Building Style: NA
 - Number of Stories: NA
 - Historical Significance: NA
 - Public View of Proposed Work: View from Deer & Russell Streets & Maplewood Ave.
 - Unique Features: Surface Parking Lot
 - Neighborhood Association: North End

B. Proposed Work: To construct 2, 5 story, mixed-use buildings.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☒ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located along Maplewood Ave., Russell and Deer Streets. It is surrounded with many new and proposed infill buildings ranging from 2.5 to 5 stories in height. The neighborhood is predominantly made up of newer, 4-5 story brick structures on large lots with little to no setback from the sidewalk.

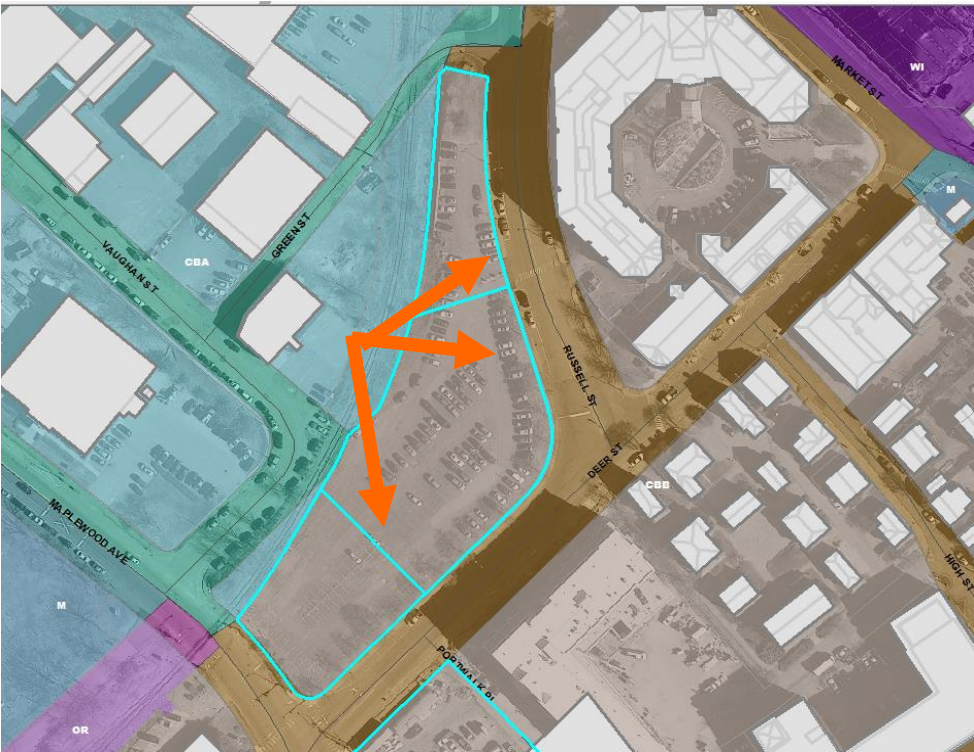
J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to construct 2 new five-story mixed-use buildings.
- The larger building has been broken into three main modules with a single recessed, ground-floor connector.
- As a response to HDC feedback the applicant has shown an option with the single story connector within the Vaughan Street view corridor removed.
- Several architectural design concepts have also been provided.
- **Note – Unless the building plans are modified a dimensional variance will likely be required for the proposed building footprint. Additionally, the building block length requirements need to be addressed with the current design.**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

-

2 RUSSELL & 0 DEER STREET (LUHD-366) – WORK SESSION #C (MAJOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MAJOR PROJECT - CONSTRUCT 2-3 /4-5-STORY MIXED-USE INFILL BUILDINGS ONLY -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 2 RUSSELL & 0 DEER ST. Case No.: C Date: 12-1-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No

Historic District Commission

Project Address:
Permit Requested:
Meeting Type:

0 MAPLEWOOD AVE. (LUHD-390)
CERTIFICATE OF APPROVAL
WORK SESSION #D

A. Property Information - General:

- Existing Conditions:
- Zoning District: GRA
 - Land Use: Single Family
 - Land Area: 10,890 SF +/-
 - Estimated Age of Structure: NA
 - Building Style: Contemporary
 - Number of Stories: 2.5
 - Historical Significance: NA
 - Public View of Proposed Work: View from Maplewood Ave.
 - Unique Features: NA
 - Neighborhood Association: Christian Shore

B. Proposed Work: To construct a new single family structure.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The new building is located along Maplewood Ave. and North School Street in the Christian Shore neighborhood. It is surrounded with many contributing historic structures on a narrow street with buildings along the street with no front yard setbacks, shallow side yards and deeper rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

- The applicant is proposing to:
 - Construct a new single family house on a vacant lot.
 - Note that the applicant has revised the house plans as a response to feedback from the November work session.

L. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC
SURVEY
RATING

C

0 MAPLEWOOD AVE. (LUHD-390) – WORK SESSION #D (MODERATE PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT - CONSTRUCT A NEW SINGLE FAMILY RESIDENCE ONLY -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 0 MAPLEWOOD AVE. Case No.: D Date: 12-1-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

131 Congress Street

LU-21-201

Public Hearing

**LU-21-201**

Land Use Application

Status: Active**Date Created:** Nov 15, 2021**Applicant**

Danielle Cain
 dcain@marketsquarearchitects.com
 104 Congress St
 Suite 203
 Portsmouth, NH 03801
 603-501-0202

Location

131 CONGRESS ST
 Portsmouth, NH 03801

Owner:

FRIENDS OF THE MUSIC HALL
 28 CHESTNUT ST PORTSMOUTH, NH 03801

Applicant Information**Please indicate your relationship to this project**

F. Applicant's Representative Filing on behalf of C., D. or E. above

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☒

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

☐

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

☐

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

☐

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

☐

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☐

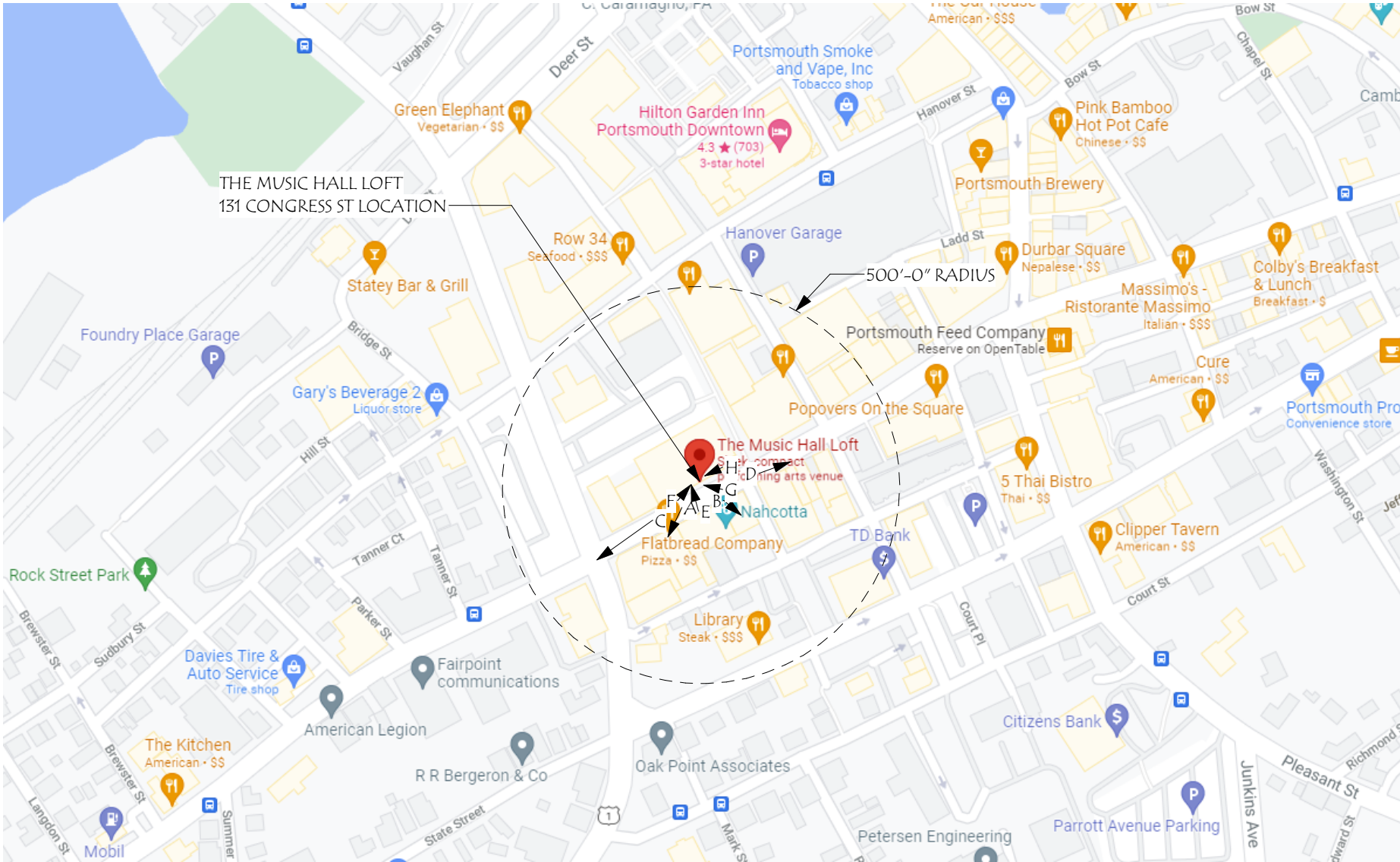
Request for Extension of Previously Granted Land Use Approval

GENERAL PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF EXTERIOR WORK TO THE EXISTING MUSIC HALL LOFT. THE FACADE CURRENTLY CONTAINS TWO INSET EGRESS DOORS AND A SUN CANOPY. THERE WILL BE MINOR MODIFICATIONS TO THE EXTERIOR TO ACCOMMODATE A NEW HOST STAND AREA IN AN ENLARGED ENTRY VESTIBULE.

ZONING SUMMARY:

ZONING DISTRICT: CD5
LOT SIZE: 4,345
BUILDING HEIGHT: 55'-0" ALLOWED
GROUND FLOOR ABOVE SIDEWALK: 0'-0"
MIN GROUD STORY HEIGHT: 10'-3"



MUSIC HALL LOFT
COVER

WORKSESSION DECEMBER 2021



A



B



C



D

MUSIC HALL LOFT CONTEXT PHOTOS

WORKSESSION DECEMBER 2021



ARCHITECTS
© 2021 market square architects
PH: 603.501.0202



E



F



G



H

MUSIC HALL LOFT

EXISTING CONDITIONS

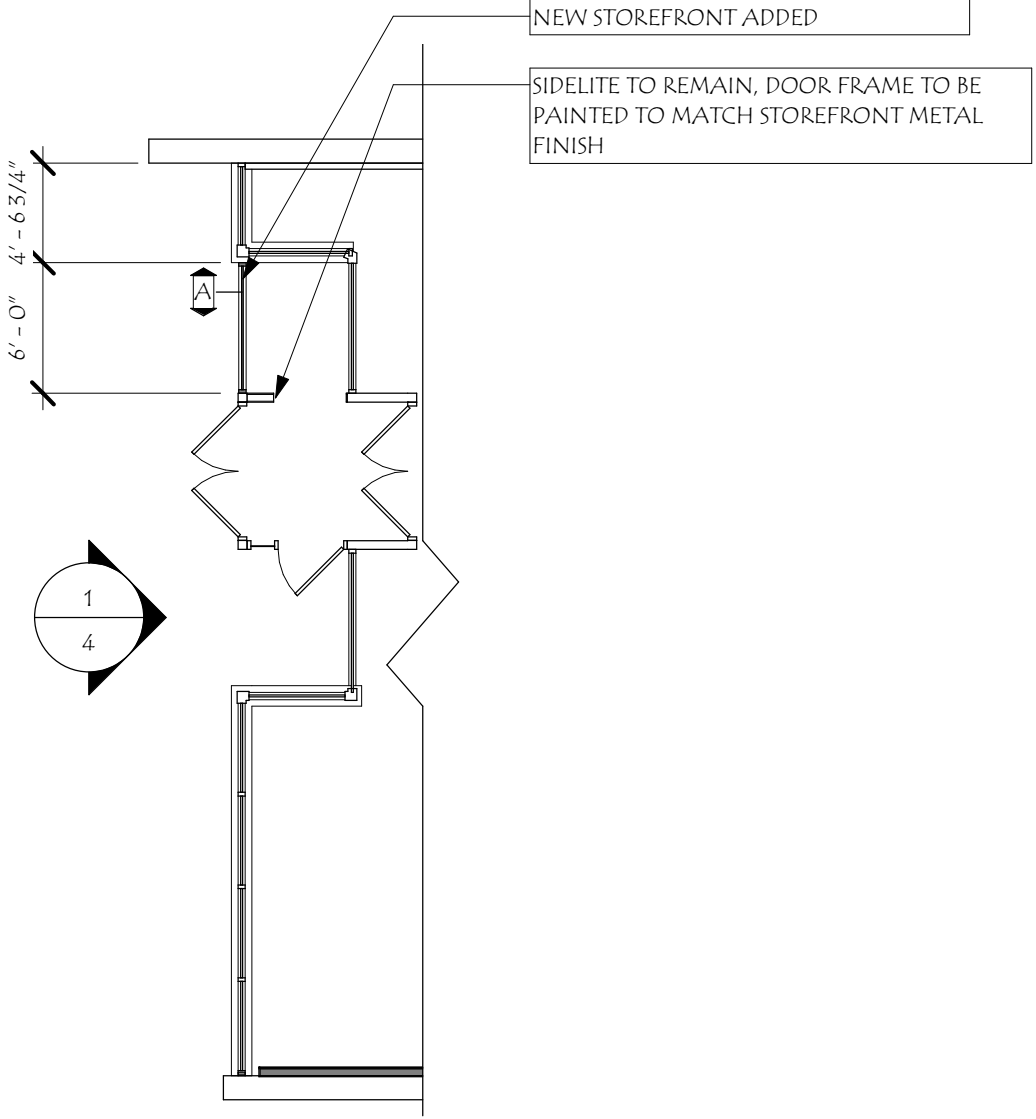
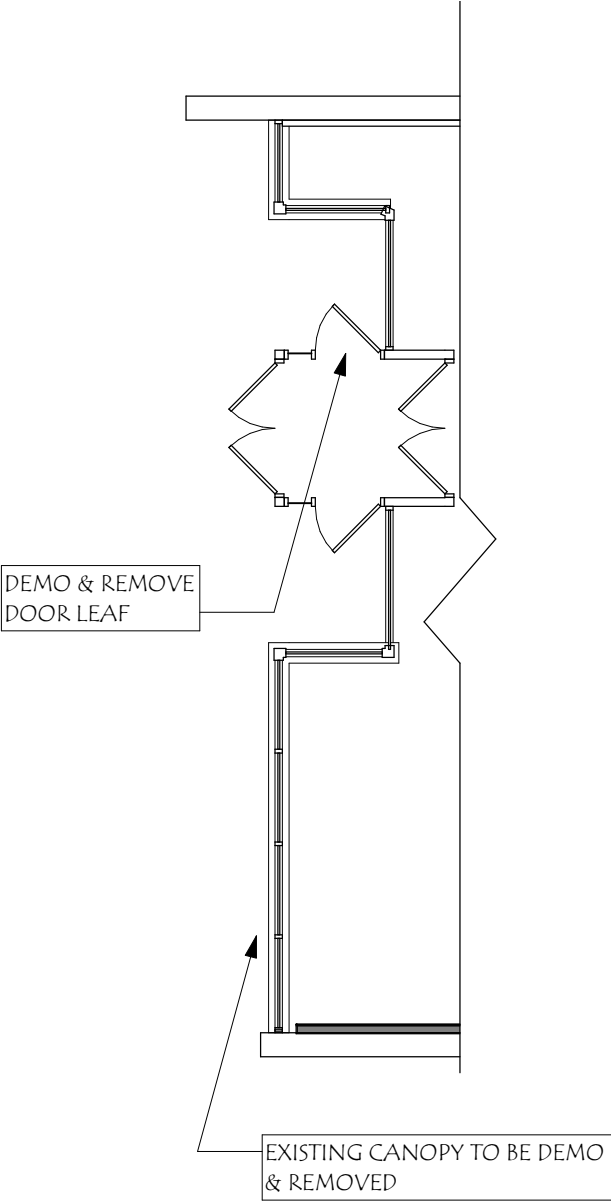
WORKSESSION DECEMBER 2021



ARCHITECTS
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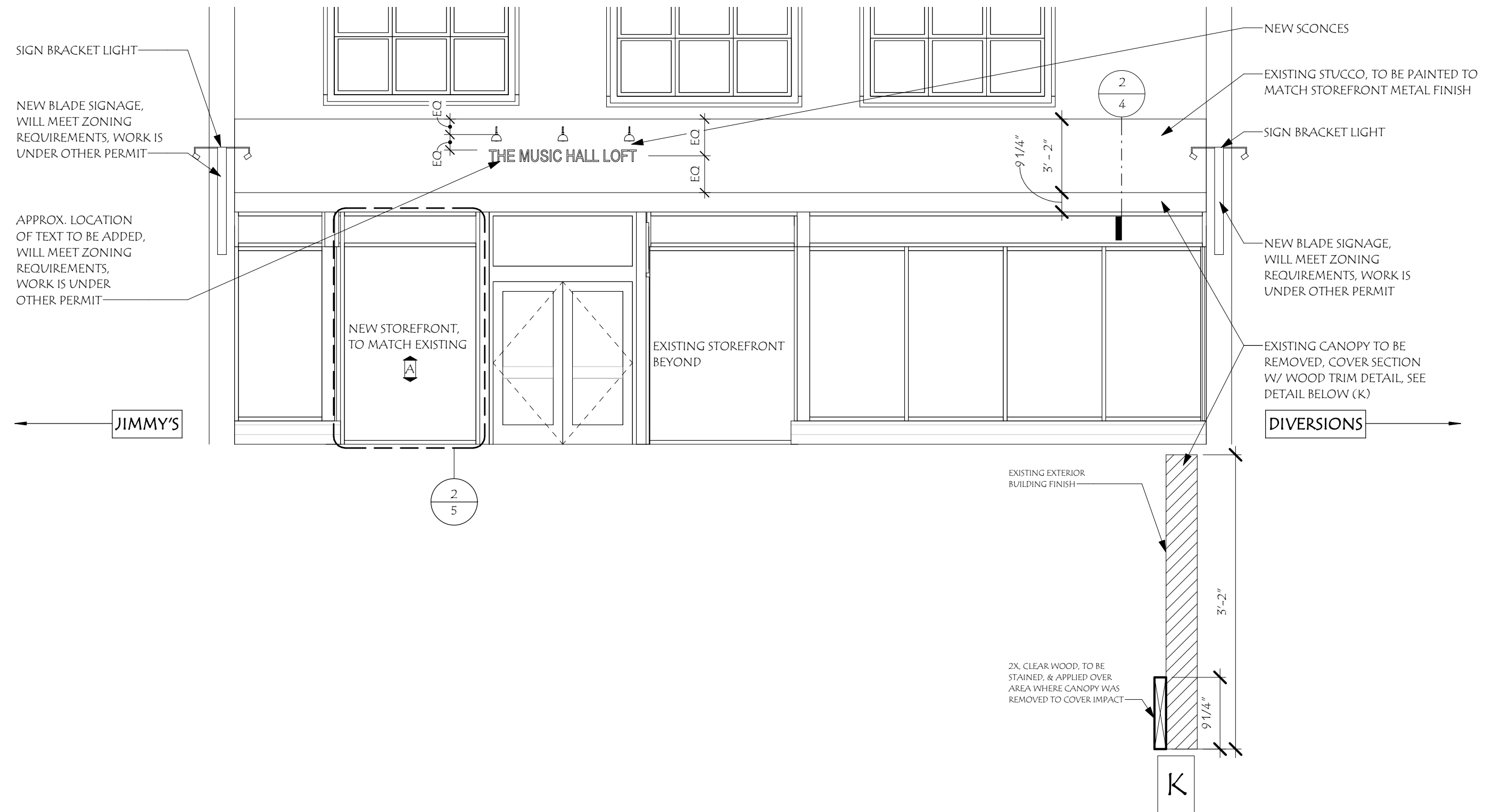
DEMOLITION WORK TO BE DONE

PROPOSED WORK TO BE DONE



MUSIC HALL LOFT DEMOLITION WORK & PROPOSED FLOOR PLAN

WORKSESSION DECEMBER 2021



MUSIC HALL LOFT

EXTERIOR ELEVATION

WORKSESSION DECEMBER 2021



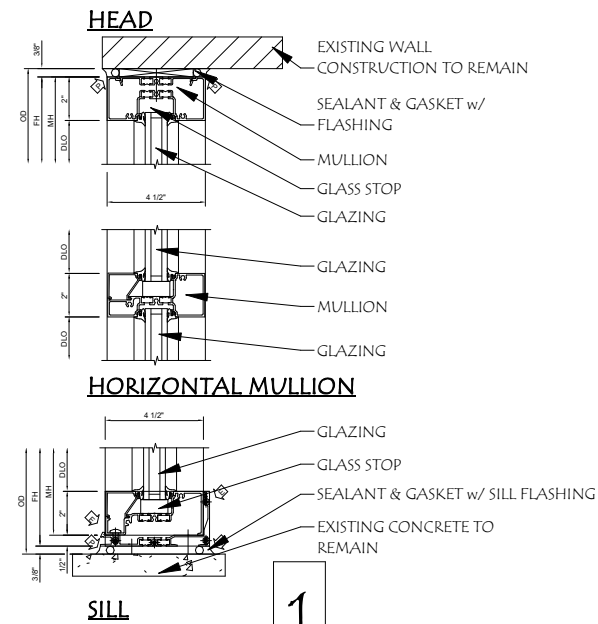
MARKET
SQUARE

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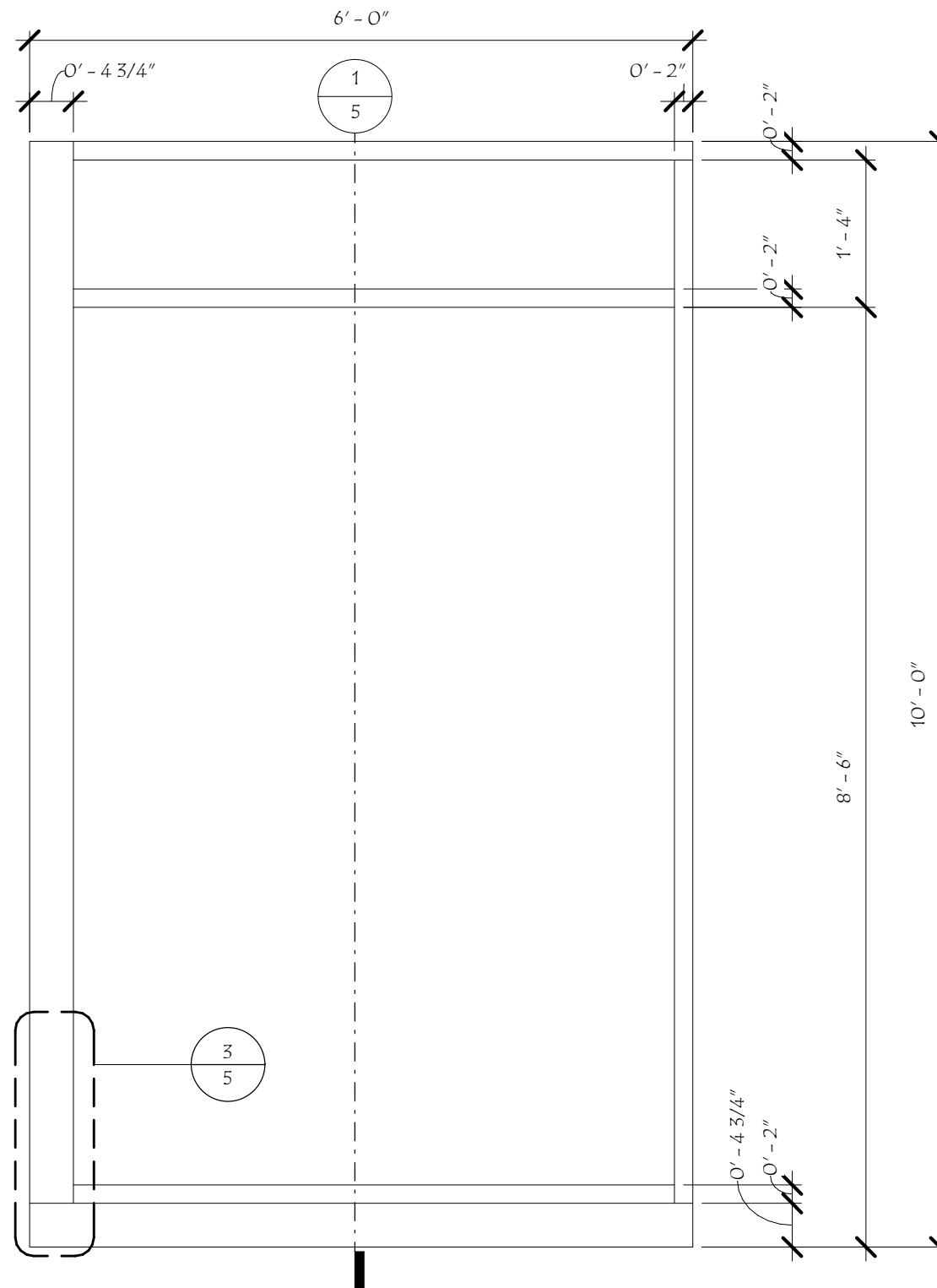


3

STOREFRONT TO BE INSTALLED AROUND EXISTING BRICK FOOTING USING FILLERS AND SEALANT AS REQUIRED



1



SERIES 403 (T)

- ♦ EFCO 403 THERMALLY BROKEN EXTRUDED ALUMINUM STOREFRONT WITH 2" X 4 1/2" PROFILE FOR CENTER SET 1" IG UNITS. ACCESSORIES INCLUDE THERMALLY BROKEN EXTRUDED ALUMINUM SUBSILL.
- ♦ (1) STOREFRONT FRAME AT APPROXIMATELY 60 SQUARE FEET.
- ♦ FINISH OF ALUMINUM STOREFRONT TO BE DARK BRONZE ANODIZED.
- ♦ EXTERIOR VISION GLASS TO BE 1" IG UNITS INCORPORATING 1/4" CLEAR ANNEALED W/ SOLARBAN 60 #2, 1/2" AIRSPACE, 1/4" CLEAR ANNEALED. TEMPERED WHERE REQUIRED BY CODE.
- ♦ EXTERIOR AND INTERIOR PERIMETER CAULKING AT SUPPLIED ALUMINUM STOREFRONT.

WALL TYPE 'A': STOREFRONT

MANUFACTURER: EFCO CORPORATION OR APPROVED EQUAL

SIZES: SEE SKETCH

MATERIAL: METAL & GLASS



MUSIC HALL LOFT EXTERIOR STOREFRONT DETAILS

WORKSESSION DECEMBER 2021



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LS SERIES LED MITER ARM

CAT. NO.
LBM18 | LBM24 | LBM30

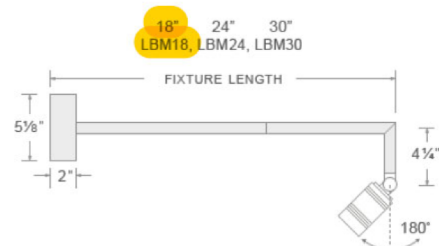
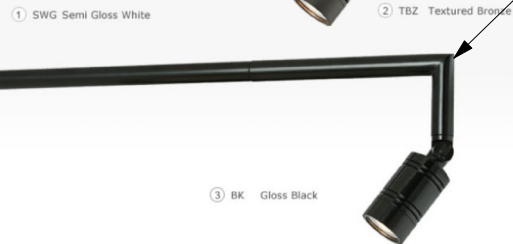
LEDs Included

Wet Location Listed

Not For Use With Structure RLM

PDF
Spec Sheet

cULus ENEC



Order Bullets and Mounts separately. All mounts include canopy.

LS MITER ARM ORDERING EXAMPLE

- LBLED14SWG-3 / 3LBM24SWG**
LB Bullet Head, 14W LED, Semi Gloss White Head, 3/4" IP Mounting / 3/4" IP Pipe, 24" Miter Arm, Semi Gloss White Mount
- LBLED14TBZ-3 / 3LBM24TBZ**
LB Bullet Head, 14W LED, Textured Bronze Head, 3/4" IP Mounting / 3/4" IP Pipe, 24" Miter Arm, Textured Bronze Mount
- LBLED14BK-3 / 3LBM24BK**
LB Bullet Head, 14W LED, Gloss Black Head, 3/4" IP Mounting / 3/4" IP Pipe, 24" Miter Arm, Gloss Black Mount

LB	LED (Included)	FINISH	COASTAL COATING	MOUNTING	PIPE SIZE	MITER ARM TYPE	FINISH	COASTAL COATING
LB Bullet	LED14 14W LED	ABL	RD	Blank (No Coating)	-3 3/4" IP 3 3/4" IP	LBM18 18" Miter Arm	ABL	RD
		BB	SGR				BB	SGR
	2700K 90 CRI	Blank (No Coating)		-C Coating		LBM24 24" Miter Arm	Blank (No Coating)	
	980 lm	BK	SGW			LBM30 30" Miter Arm	BK	SGW
		BLU	SND				BLU	SND
		DVG	SS				DVG	SS
		FLG	TBZ				FLG	TBZ
		GA	TGP				GA	TGP
		LG	TNG				LG	TNG
		MB	TTL				MB	TTL
		MBL	WT				MBL	WT
		PNA	YEL				PNA	YEL
		PNC					PNC	

SCONCES @ NEW 'THE
MUSIC HALL LOFT'

NEW BLADE
SIGNAGE, LIGHTS
INTEGRATED INTO
SIGNAGE BRACKET



MODEL	A (HEIGHT)	B (WIDTH)	C (PROJ.)
SD4	10"	28"	30.5"
SD5	18"	28"	30.5"
SD6	12"	28"	30.5"

MODEL	COLOR	MOUNTING OPTIONS	LIGHT SOURCE				OPTIONS	GLOBES	ACCESSORIES
	41, 42, 43, 44, 45, 46, 48, 49, 50, 51, 52, 53, 54, 55, 59, 80, 81, 82, 83, 74, 81, 87, 97	N/A	GU-10	CF	MR16	LED	N/A	N/A	N/A
SD4			6W(MAX)	N/A	N/A	N/A			
SD5			6W(MAX)	N/A	N/A	N/A			
SD6			6W(MAX)	N/A	N/A	N/A			
									NOTES (SEE PAGE 11 FOR MOUNTING OPTIONS, ACCESSORIES, FINISH OPTIONS, BALLASTS AND LIGHT SOURCE OPTIONS). (THE K1 & K2 FIXTURE HEADS WILL BE EXTENDED 1.5" FOR THE GU-10 LIGHT SOURCE OPTION).



CONCEPT RENDERING FROM DIVERSIONS



CONCEPT RENDERING FROM CELTIC CROSSING

MUSIC HALL LOFT CONCEPT RENDERINGS

WORKSESSION DECEMBER 2021



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64 Vaughan Street

LU-20-214

Public Hearing

**LU-20-214**

Land Use Application

Status: Active**Date Created:** Oct 19, 2020**Applicant**

Erik Saari
esaari@altus-eng.com
Altus Engineering, Inc.
133 Court Street
Portsmouth, NH 03801
603-433-2335

Location

64 VAUGHAN ST
Portsmouth, NH 03801

Owner:

64 Vaughan Mall, LLC
41 Industrial Drive Exeter, NH 03833

Applicant Information**Please indicate your relationship to this project**

F. Applicant's Representative Filing on behalf of C., D. or E. above

Alternative Project Address**Alternative Project Address**

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above



Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications



Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)



Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work



Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line



Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval



Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



Request for Extension of Previously Granted Land Use Approval

**ATTN: Historic District
Commission**

**RE: December 1, 2021 Meeting
64 Vaughan Mall Restoration
Portsmouth, NH 03801**

**Steven P. Wilson
Hampshire Development Corp.
41 Industrial Drive #20
Exeter, NH 03833**

**CONTACT:
Shayne Forsley
Hampshire Development Corp.
Shayne.forsley@hdcgc.net
603.997.2519**

HAMPSHIRE DEVELOPMENT CORPORATION

General Contractor

November 11, 2021

City of Portsmouth
Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

Attention: Historic District Commission
RE: 64 Vaughan Mall (LU-20-214)

The applicant for the Restoration of 64 Vaughan Mall wishes to review the following discussion points at the December 1, 2021 Public Hearing in regards to the stipulations and open items for the project.

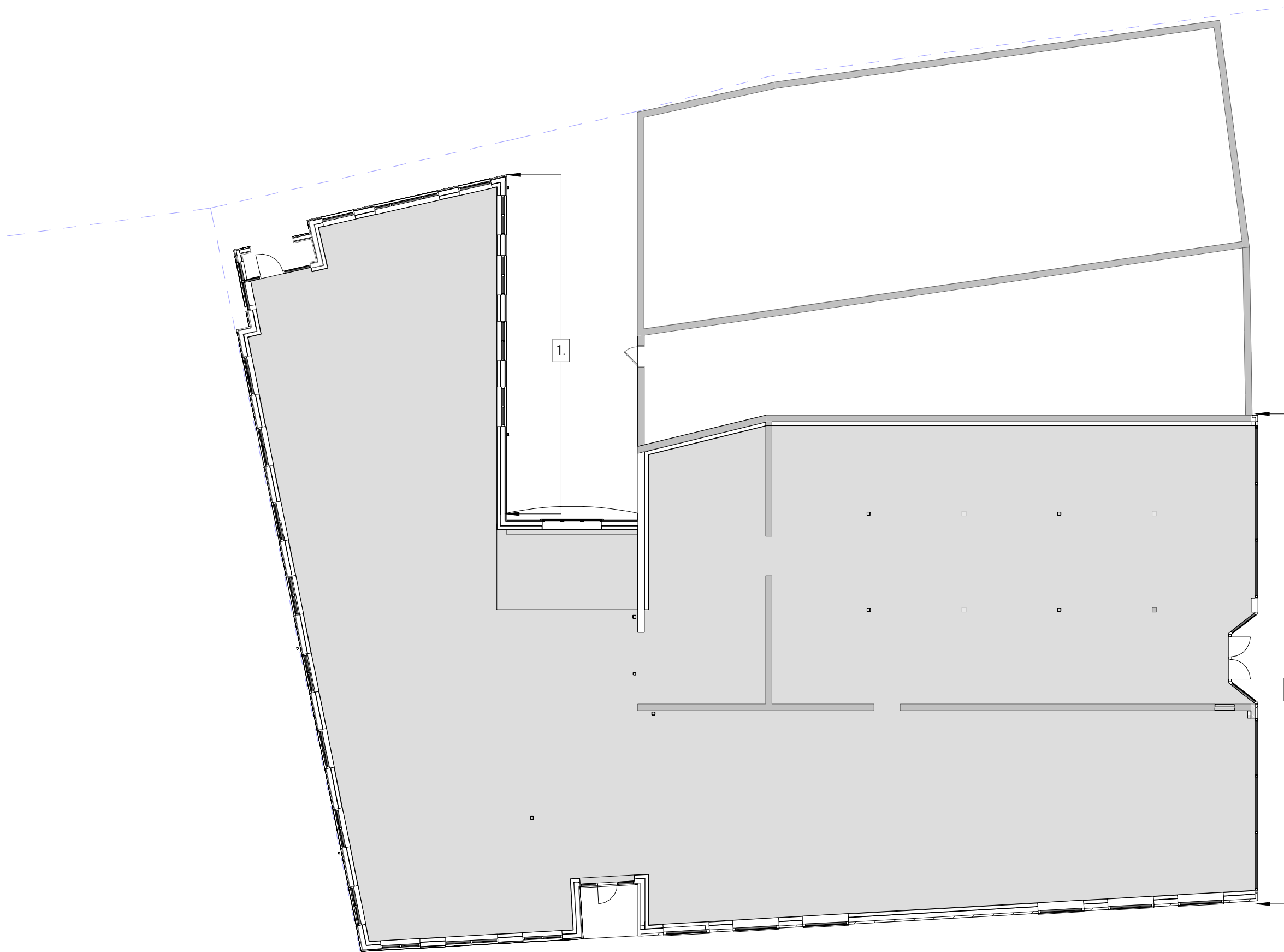
The applicant wishes to:

- Discuss the elimination of the balconies on the East, South, & North Elevations
- Review the modifications to the Hanover Street corner element
- Review the modifications to the residential entrance reconfiguration
- Review the modifications to the storefronts on East Elevation
- Review the roof deck and skylight area on flat roof of building

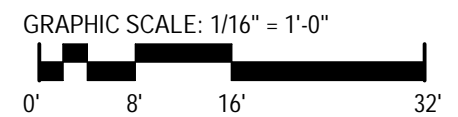
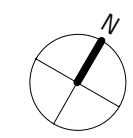
Sincerely,

Shayne Forsley
General Manager

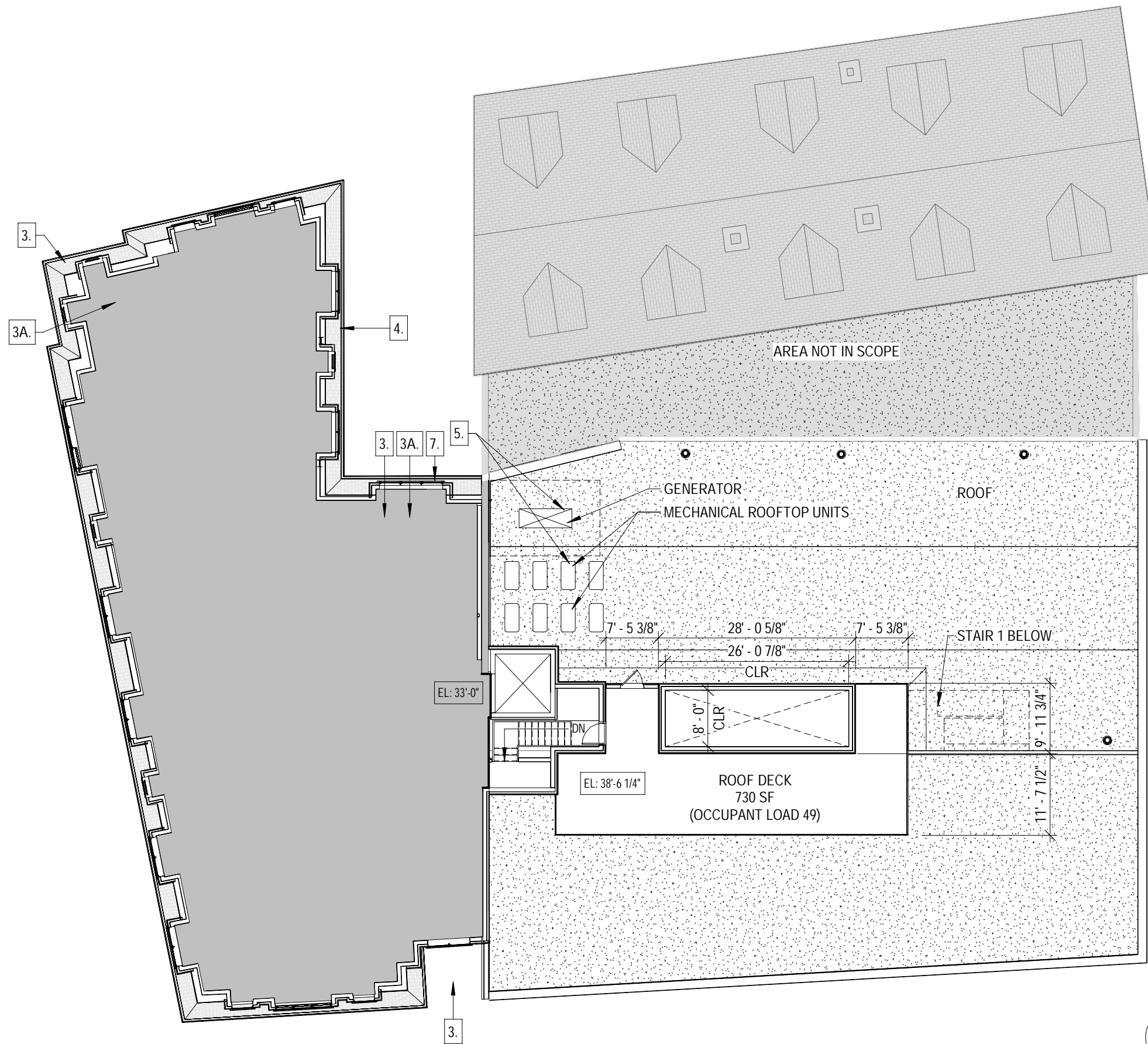
Cc: Steven Wilson
64 Vaughan Mall, LLC



HDC REVISION KEY NOTES	
1.	HANOVER STREET ENTRY AND RAMP REMOVED. REPLACED 5 METAL PANELS WITH 4 STOREFRONT WINDOW SYSTEMS.
2.	REVISED LAYOUT OF STOREFRONT AT VAUGHAN MALL ENTRANCE.
3.	REMOVED EXTERIOR DECKS.
3A.	INFILL OF DECK WITH INTERIOR FLOOR
4.	MOVED EXTERIOR WALLS TO ALIGN WITH FIRST FLOOR EXTERIOR BELOW.
5.	RELOCATED MECHANICAL ROOF UNITS.
6.	CENTERED WINDOWS.
7.	RESIZED WINDOWS AND CENTERED WINDOWS.
8.	ADDED HORIZONTAL MULLIONS TO STOREFRONTS.

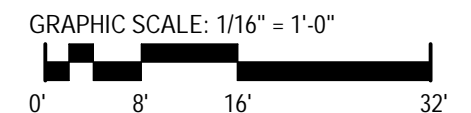


A1.1 FIRST FLOOR PLAN
64 Vaughan Mall
11/19/2021
SCALE: As indicated

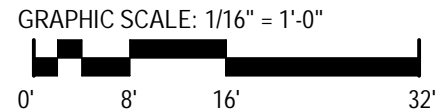
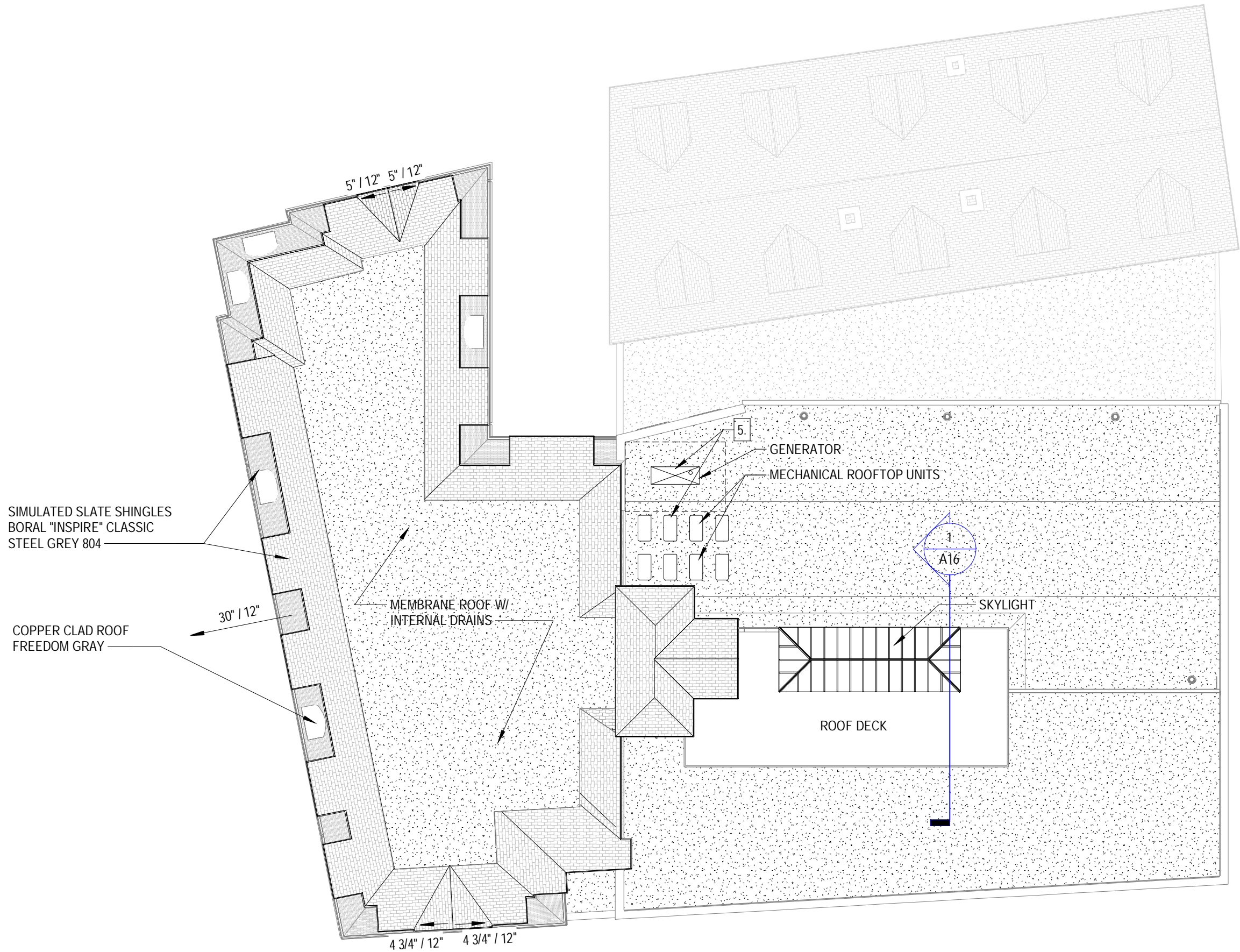


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5.	RELOCATED MECHANICAL ROOF UNITS.
6.	CENTERED WINDOWS.
7.	RESIZED WINDOWS AND CENTERED WINDOWS.
8.	ADDED HORIZONTAL MULLIONS TO STOREFRONTS.

A1.4 **FOURTH FLOOR PLAN**
64 Vaughan Mall
 11/19/2021
 SCALE: As indicated



HDC REVISION KEY NOTES	
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3A.	INFILL OF DECK WITH INTERIOR FLOOR
4.	MOVED EXTERIOR WALLS TO ALIGN WITH FIRST FLOOR EXTERIOR BELOW.
5.	RELOCATED MECHANICAL ROOF UNITS.
6.	CENTERED WINDOWS.
7.	RESIZED WINDOWS AND CENTERED WINDOWS.
8.	ADDED HORIZONTAL MULLIONS TO STOREFRONTS.



A2

ROOF PLAN

64 Vaughan Mall

11/19/2021

SCALE: As indicated

- HDC REVISION KEY NOTES**
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 - 3. REMOVED EXTERIOR DECKS.
 - 3A. INFILL OF DECK WITH INTERIOR FLOOR.
 - 4. MOVED EXTERIOR WALLS TO ALIGN WITH FIRST FLOOR EXTERIOR BELOW.
 - 5. RELOCATED MECHANICAL ROOF UNITS.
 - 6. CENTERED WINDOWS.
 - 7. RESIZED WINDOWS AND CENTERED WINDOWS.
 - 8. ADDED HORIZONTAL MULLIONS TO STOREFRONTS.



1 **SOUTH ELEVATION - PREVIOUSLY SUBMITTED ON 8/20/2021**
1/16" = 1'-0"



1 **SOUTH ELEVATION - HDC**
1/16" = 1'-0"

A3

EXTERIOR ELEVATIONS
64 Vaughan Mall
11/19/2021
SCALE: As indicated



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5. RELOCATED MECHANICAL ROOF UNITS.
6. CENTERED WINDOWS.
7. RESIZED WINDOWS AND CENTERED WINDOWS.
8. ADDED HORIZONTAL MULLIONS TO STOREFRONTS.



A3.1

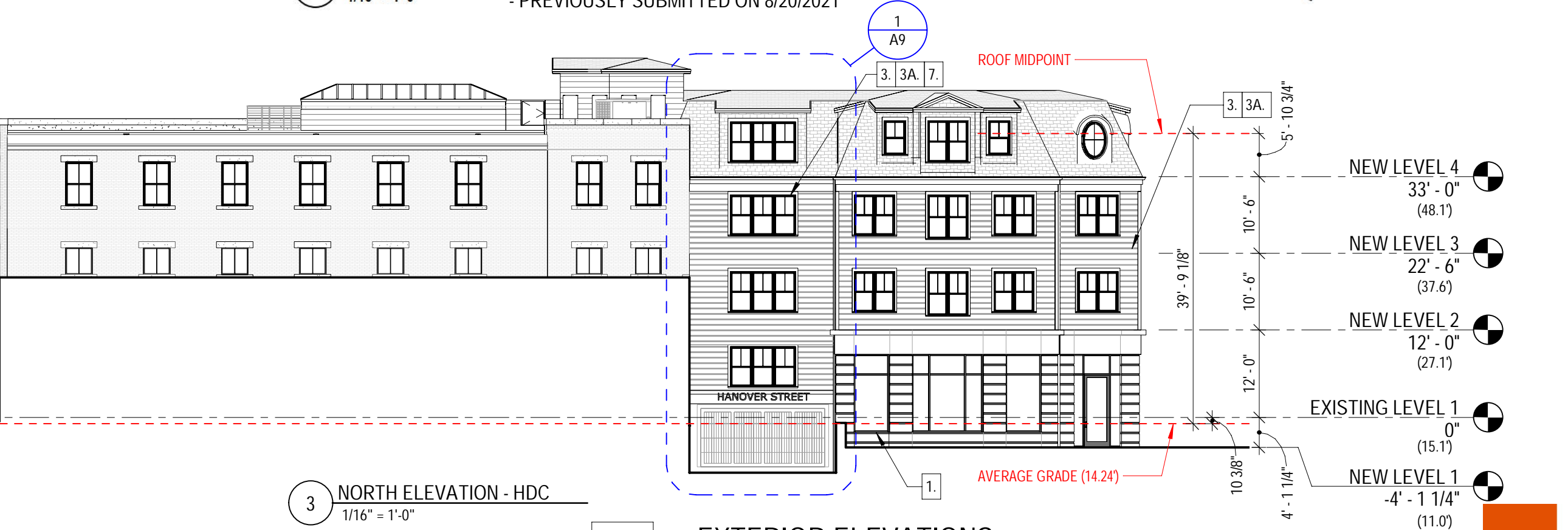
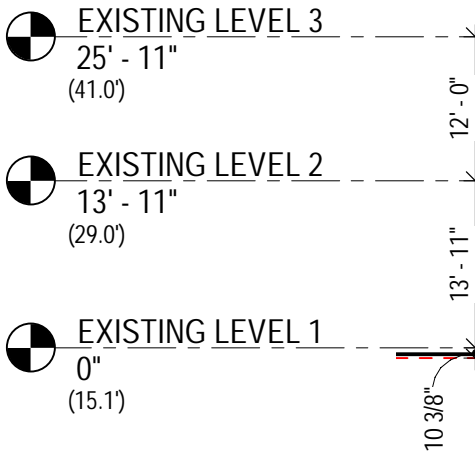
EXTERIOR ELEVATIONS

64 Vaughan Mall

11/19/2021
SCALE: As indicated

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- 5. RELOCATED MECHANICAL ROOF UNITS.
- 6. CENTERED WINDOWS.
- 7. RESIZED WINDOWS AND CENTERED WINDOWS.
- 8. ADDED HORIZONTAL MULLIONS TO STOREFRONTS.



A4

EXTERIOR ELEVATIONS
64 Vaughan Mall

11/19/2021
SCALE: As indicated



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6. CENTERED WINDOWS.
7. RESIZED WINDOWS AND CENTERED WINDOWS.
8. ADDED HORIZONTAL MULLIONS TO STOREFRONTS.

NEW LEVEL 1
-4' - 1 1/4"



ROOF MIDPOINT

NEW LEVEL 4
33' - 0"

NEW LEVEL 3
22' - 6"

NEW LEVEL 2
12' - 0"

EXISTING LEVEL 1
0"

BASEMENT
-8' - 3"

4 WEST ELEVATION - PREVIOUSLY SUBMITTED ON 8/20/2021
1/16" = 1'-0"

2
A7



ROOF MIDPOINT

NEW LEVEL 4
33' - 0"
(48.1)

NEW LEVEL 3
22' - 6"
(37.6)

NEW LEVEL 2
12' - 0"
(27.1)

EXISTING LEVEL 1
0"
(15.1)

NEW LEVEL 1
-4' - 1 1/4"
(11.0)

4 WEST ELEVATION - HDC
1/16" = 1'-0"

AVERAGE GRADE 14.24'

A4.1

EXTERIOR ELEVATIONS 64 Vaughan Mall

11/19/2021

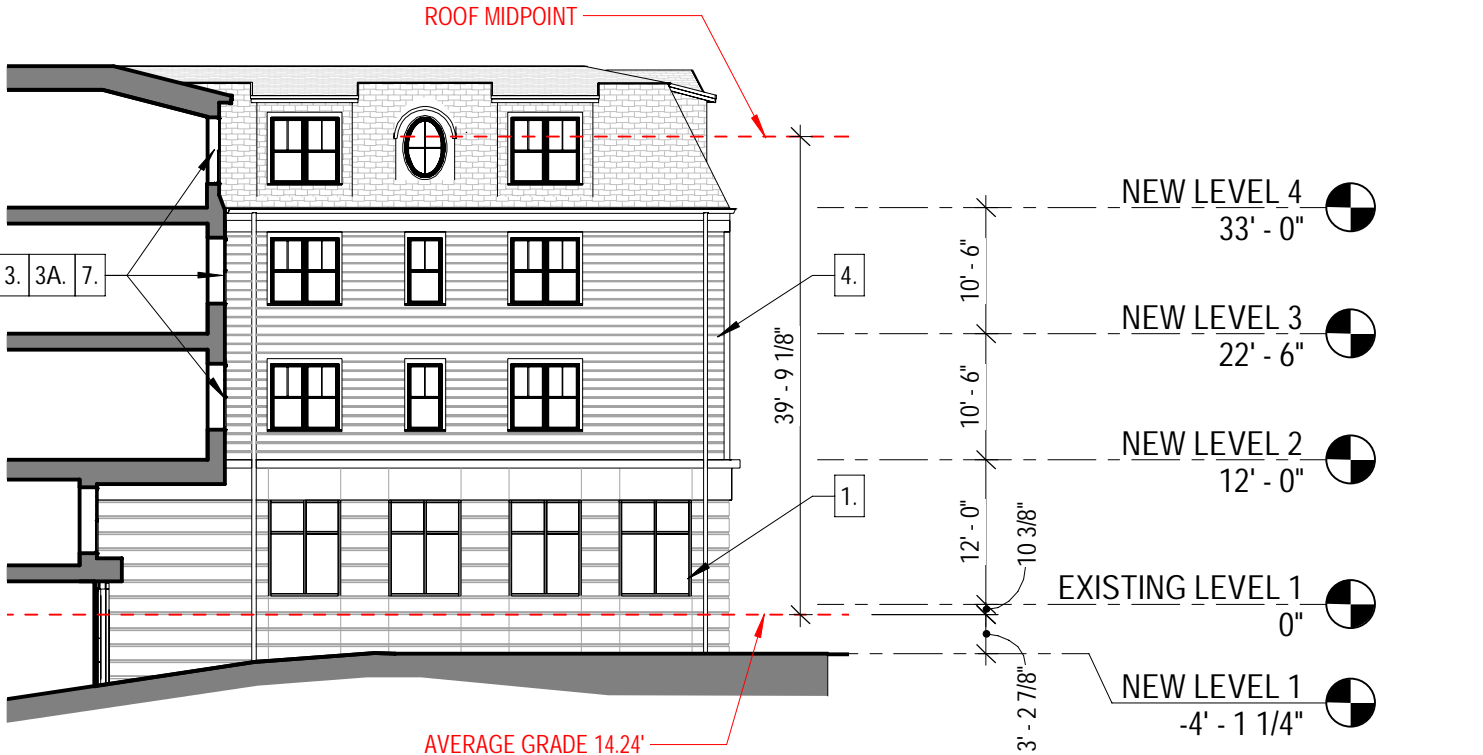
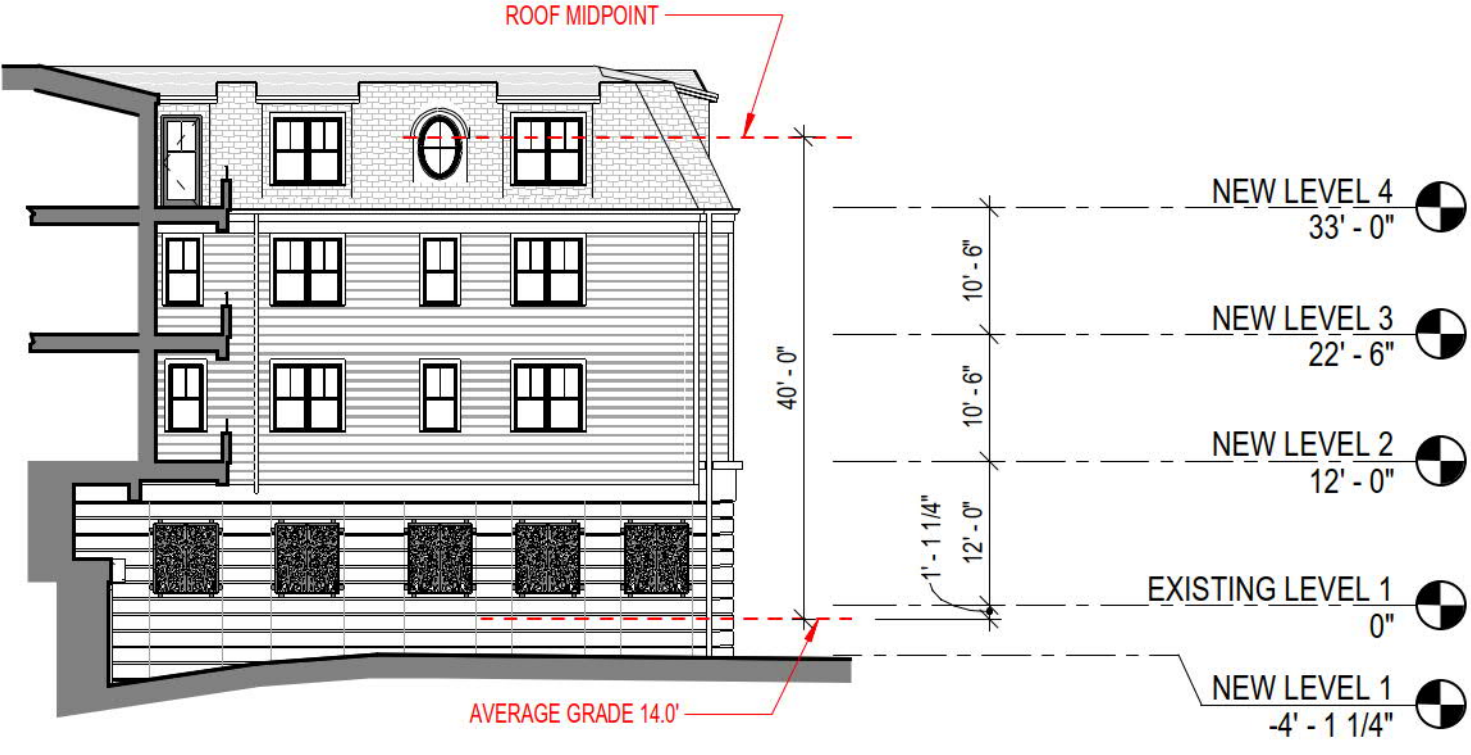
SCALE: As indicated



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5.	RELOCATED MECHANICAL ROOF UNITS.
6.	CENTERED WINDOWS.
7.	RESIZED WINDOWS AND CENTERED WINDOWS.
8.	ADDED HORIZONTAL MULLIONS TO STOREFRONTS.



5 EXTERIOR ELEVATIONS - EAST ELEVATION @ DRIVEWAY - PREVIOUSLY SUBMITTED ON 8/20/2021
1/16" = 1'-0"

5 EXTERIOR ELEVATIONS - EAST ELEVATION @ DRIVEWAY - HDC
1/16" = 1'-0"



2 VIEW 02



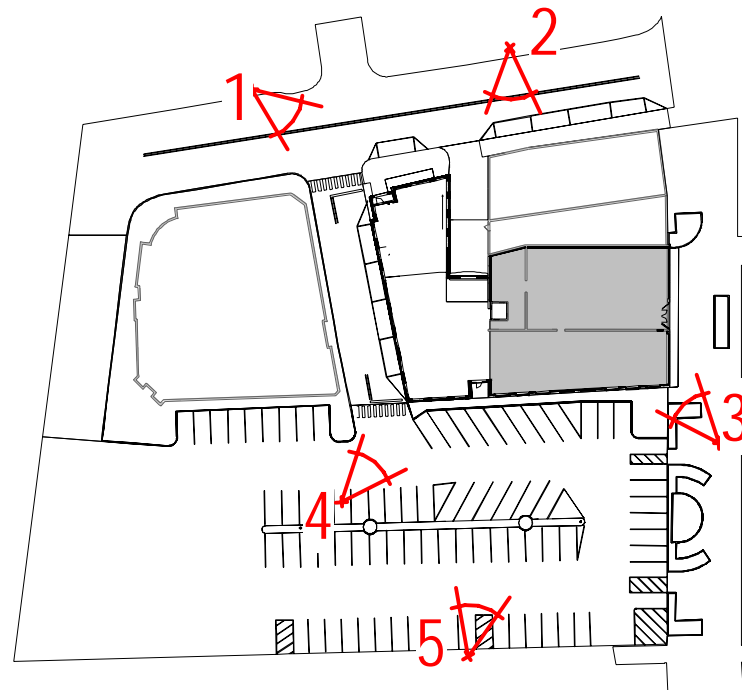
3 VIEW 03



4 VIEW 04



1 VIEW 01



P LEVEL 1 - PERSPECTIVE PLAN
1" = 100'-0"

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5 VIEW 05

A5

PERSPECTIVE VIEWS 64 Vaughan Mall

11/19/2021
SCALE: 1" = 100'-0"



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7.	RESIZED WINDOWS AND CENTERED WINDOWS.
8.	ADDED HORIZONTAL MULLIONS TO STOREFRONTS.

A5.1

ENLARGED HANOVER ST VIEW 01
64 Vaughan Mall

11/19/2021
SCALE: 1" = 100'-0"



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A5.2

ENLARGED HANOVER ST VIEW 02

64 Vaughan Mall

11/19/2021
SCALE: 1" = 100'-0"

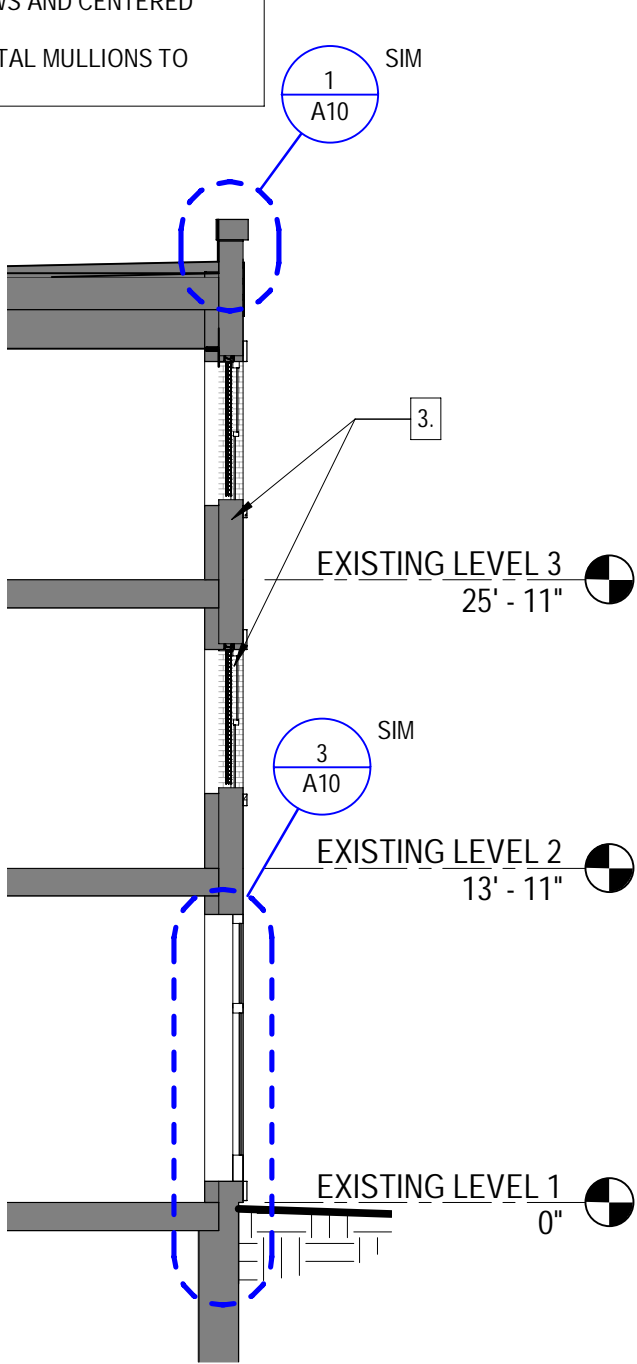


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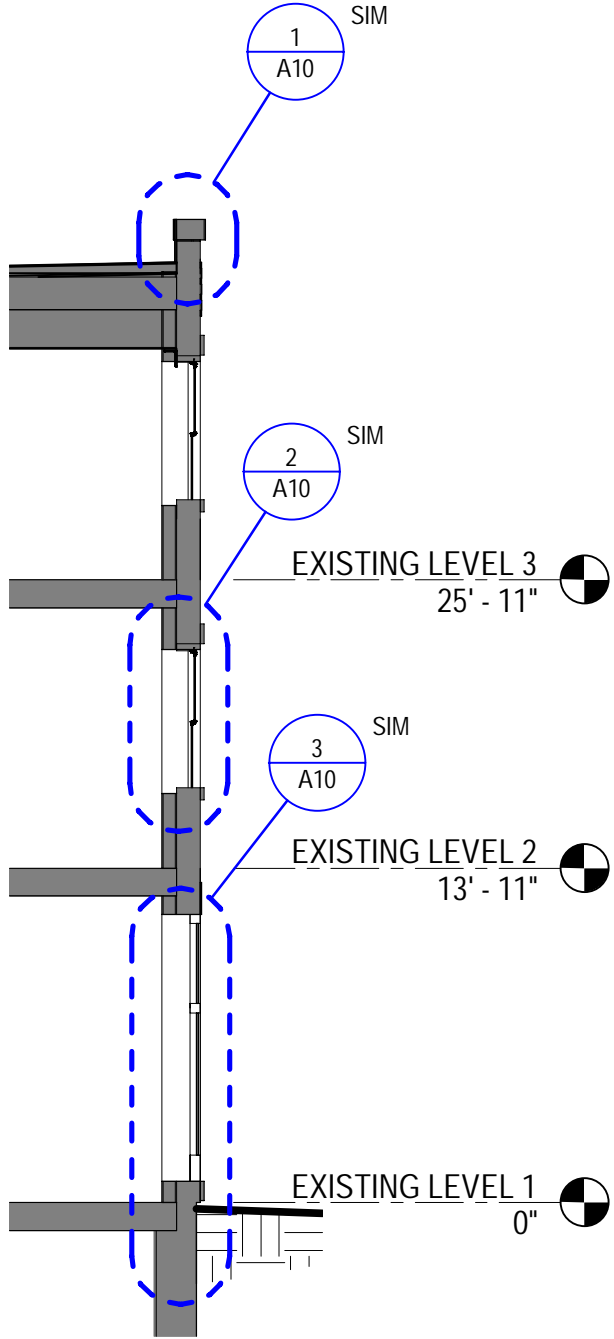
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HDC REVISION KEY NOTES

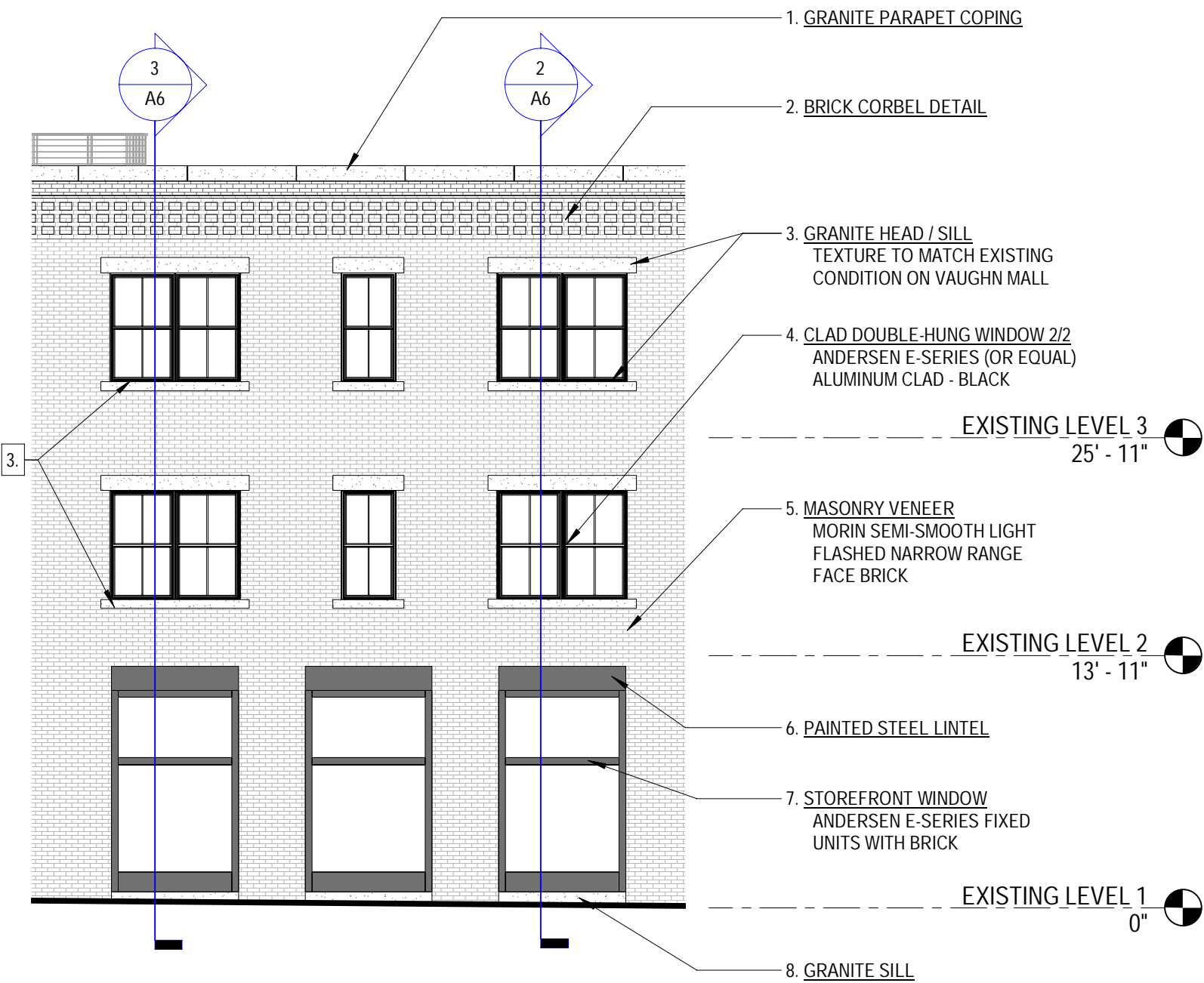
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- 7. RESIZED WINDOWS AND CENTERED WINDOWS.
- 8. ADDED HORIZONTAL MULLIONS TO STOREFRONTS.



3 EXISTING BUILDING SECTION - RECESSED DECK
1/8" = 1'-0"



2 EXISTING BUILDING SECTION
1/8" = 1'-0"



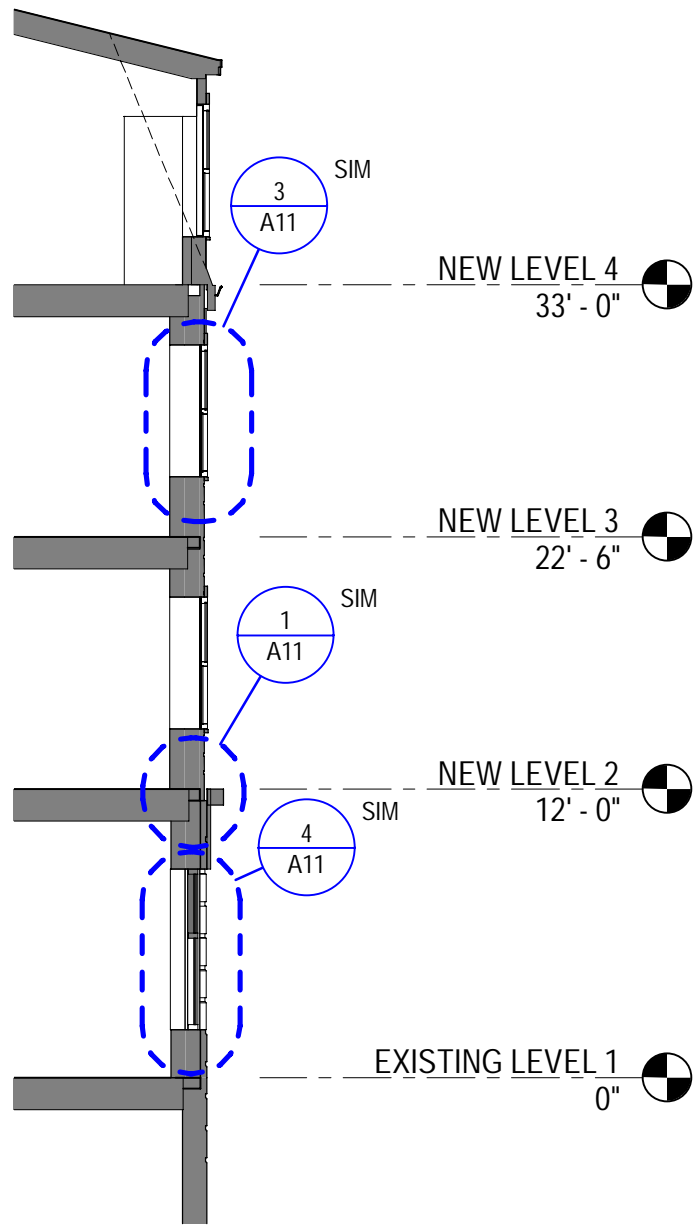
1 PARTIAL EXISTING ELEVATION - SOUTH ELEVATION
1/8" = 1'-0"

A6

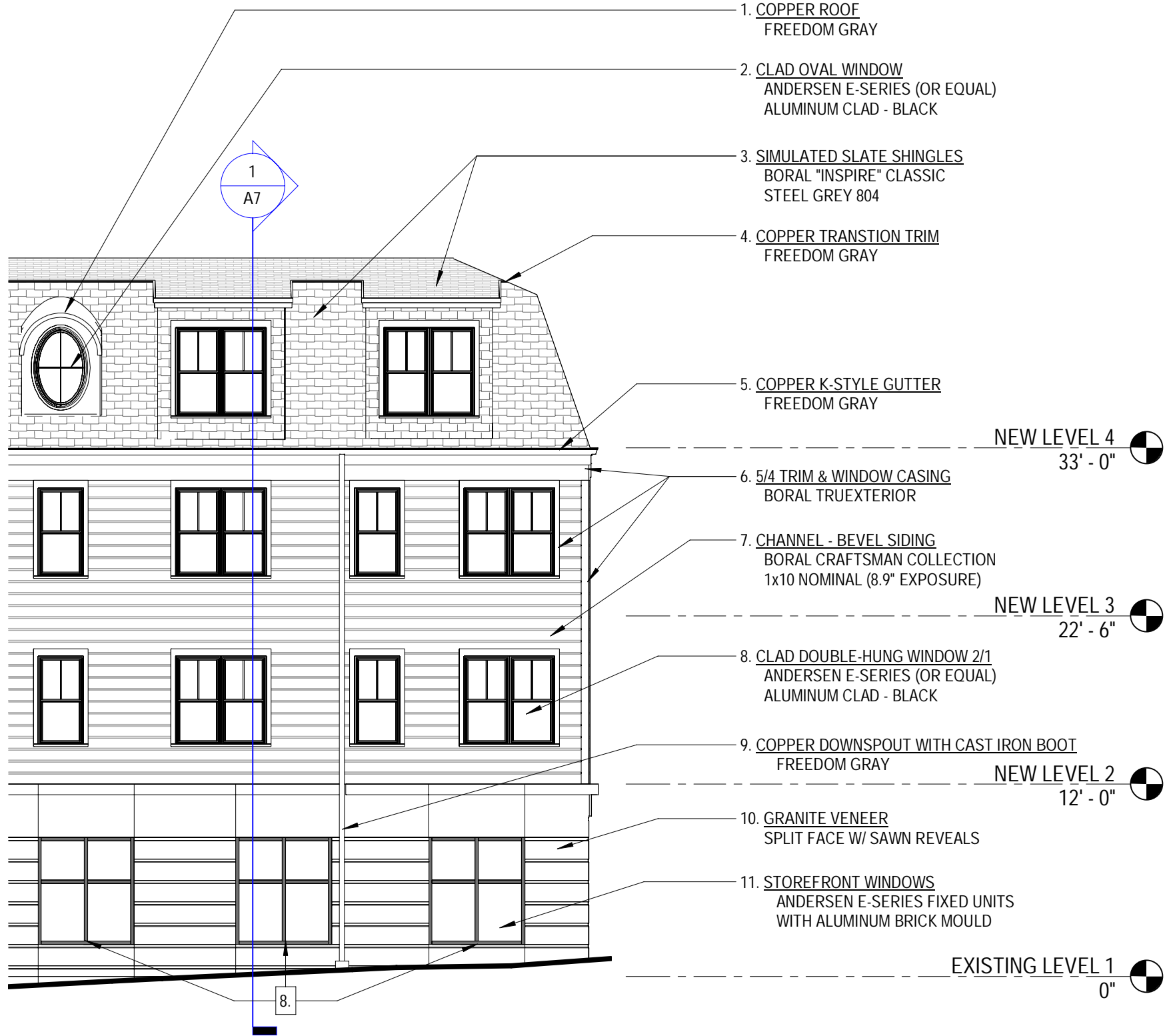
EXTERIOR ELEVATION - MATERIAL LEGEND
64 Vaughan Mall
11/19/2021
SCALE: As indicated

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- 8. ADDED HORIZONTAL MULLIONS TO STOREFRONTS.



1 SECTION - WEST ELEVATION
1/8" = 1'-0"



2 PARTIAL NEW ELEVATION - WEST ELEVATION
1/8" = 1'-0"

A7

EXTERIOR ELEVATION - MATERIAL LEGEND
64 Vaughan Mall

11/19/2021
SCALE: As indicated



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- HDC REVISION KEY NOTES
1.

HANOVER STREET ENTRY AND RAMP
REMOVED. REPLACED 5 METAL PANELS
WITH 4 STOREFRONT WINDOW SYSTEMS.
2.

REVISED LAYOUT OF STOREFRONT AT
VAUGHAN MALL ENTRANCE.
3.

REMOVED EXTERIOR DECKS.
- 3A.

INFILL OF DECK WITH INTERIOR FLOOR
4.

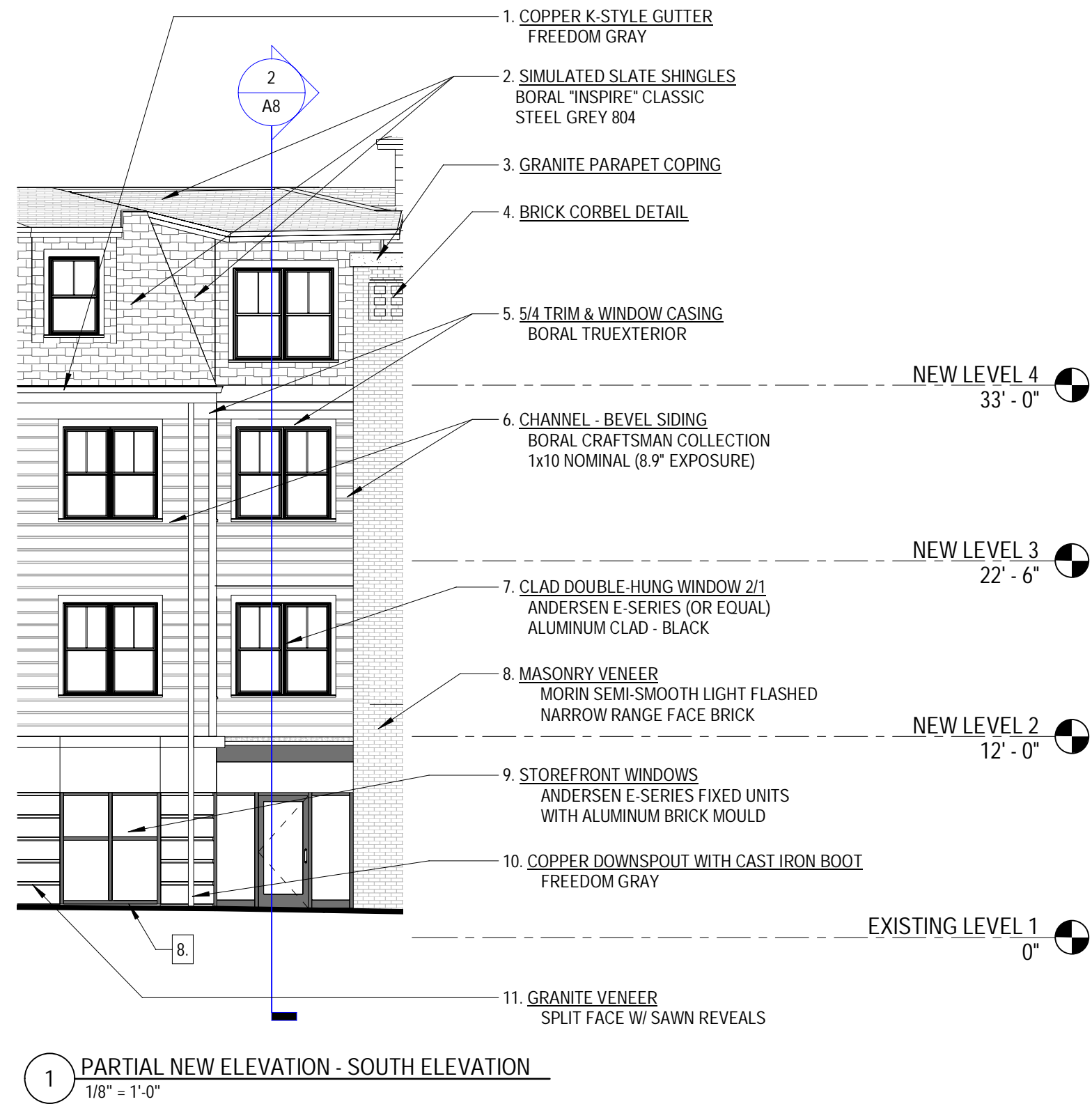
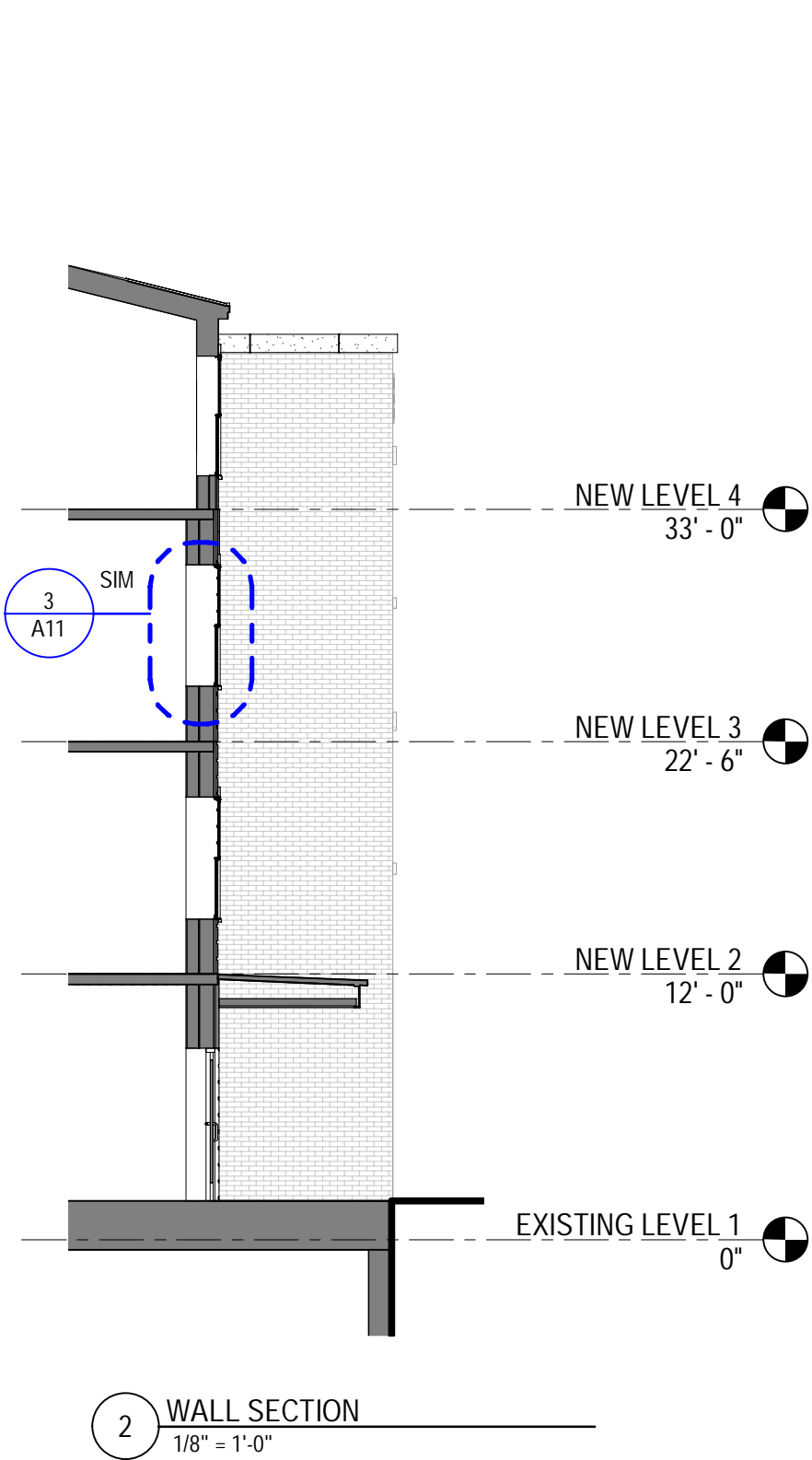
MOVED EXTERIOR WALLS TO ALIGN WITH
FIRST FLOOR EXTERIOR BELOW.
5.

RELOCATED MECHANICAL ROOF UNITS.
6.

CENTERED WINDOWS.
7.

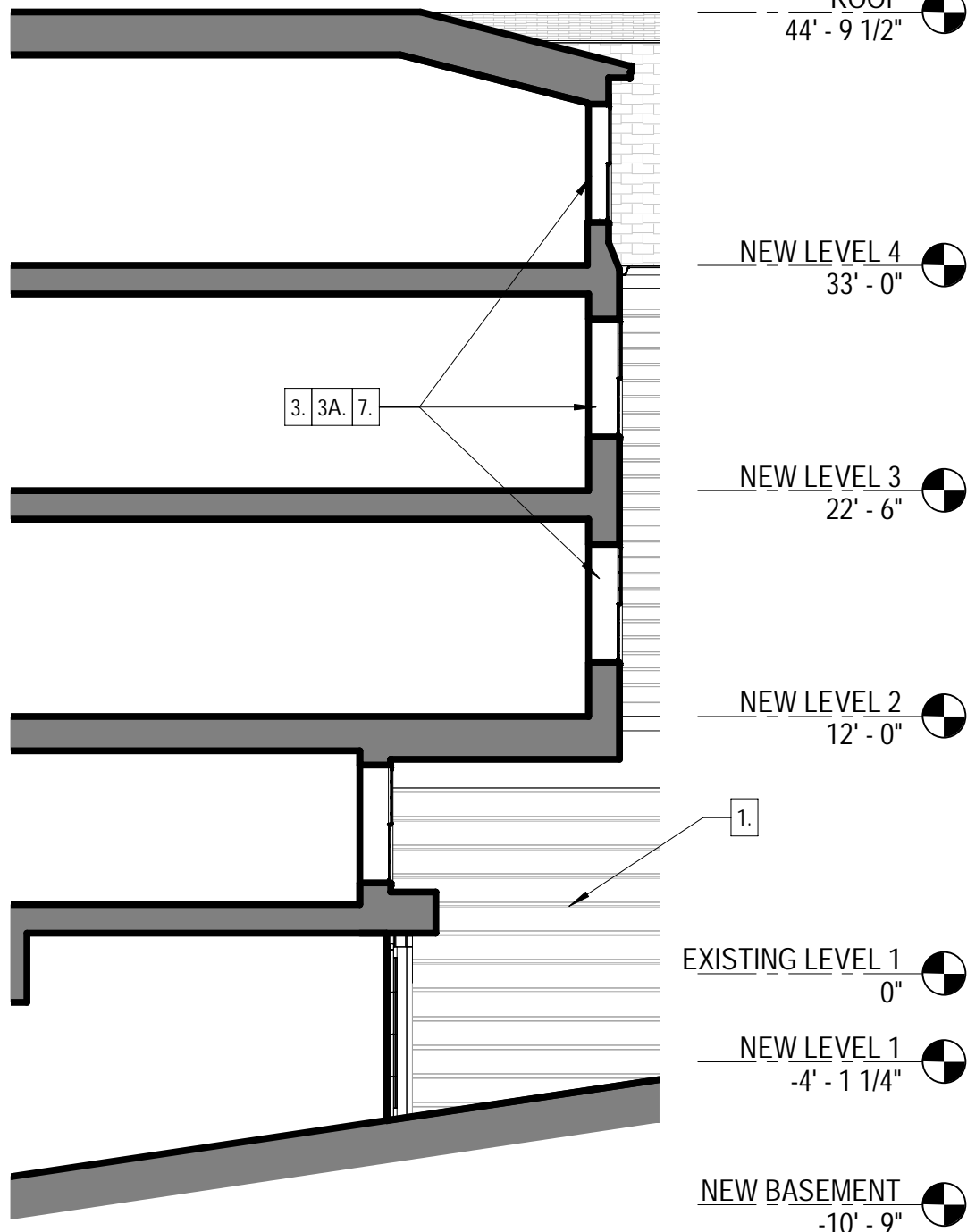
RESIZED WINDOWS AND CENTERED
WINDOWS.
8.

ADDED HORIZONTAL MULLIONS TO
STOREFRONTS.

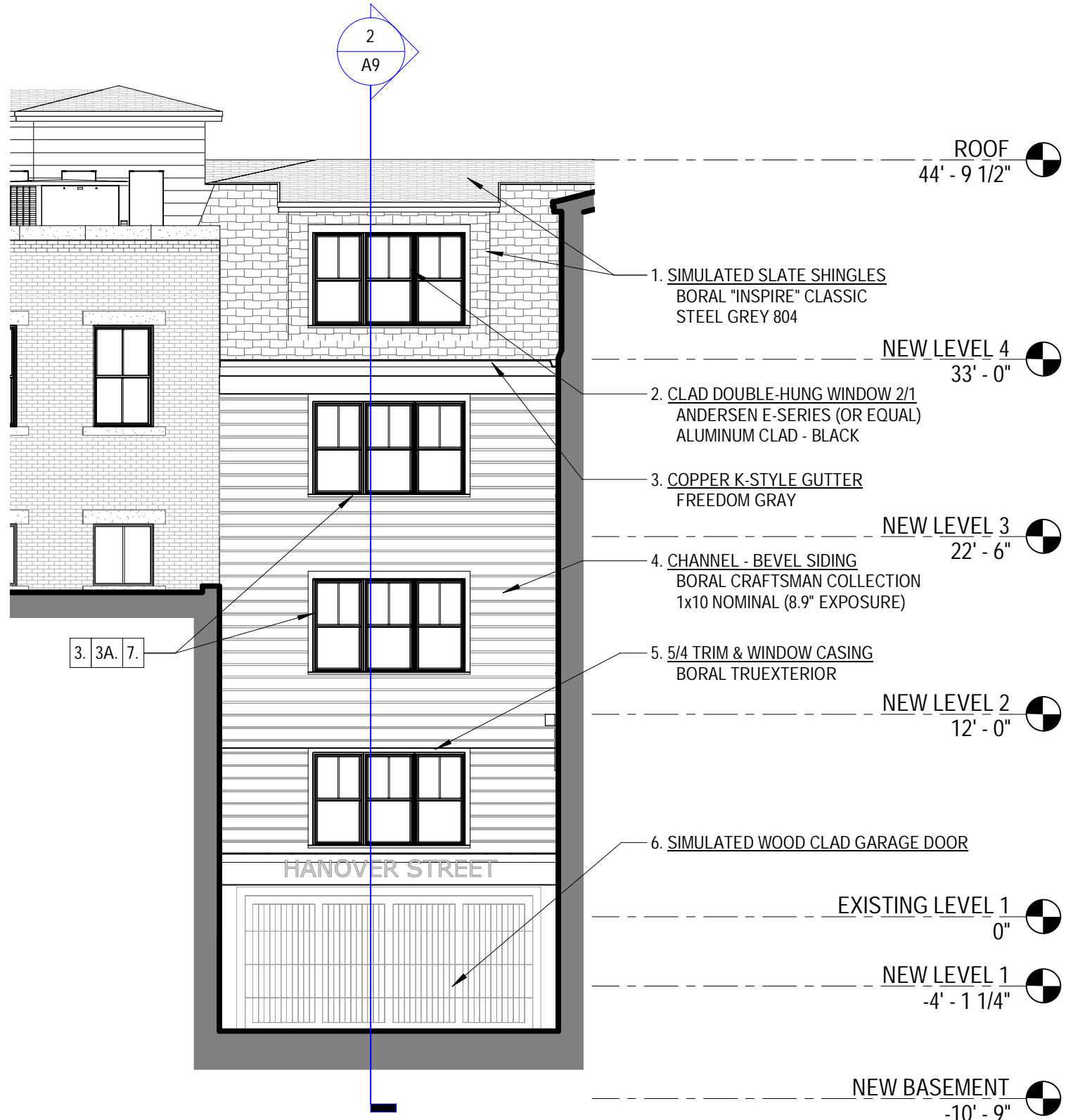


HDC REVISION KEY NOTES

- 1. HANOVER STREET ENTRY AND RAMP REMOVED. REPLACED 5 METAL PANELS WITH 4 STOREFRONT WINDOW SYSTEMS.
- 2. REVISED LAYOUT OF STOREFRONT AT VAUGHAN MALL ENTRANCE.
- 3. REMOVED EXTERIOR DECKS.
- 3A. INFILL OF DECK WITH INTERIOR FLOOR
- 4. MOVED EXTERIOR WALLS TO ALIGN WITH FIRST FLOOR EXTERIOR BELOW.
- 5. RELOCATED MECHANICAL ROOF UNITS.
- 6. CENTERED WINDOWS.
- 7. RESIZED WINDOWS AND CENTERED WINDOWS.
- 8. ADDED HORIZONTAL MULLIONS TO STOREFRONTS.



2 SECTION - GARAGE DOOR
1/8" = 1'-0"



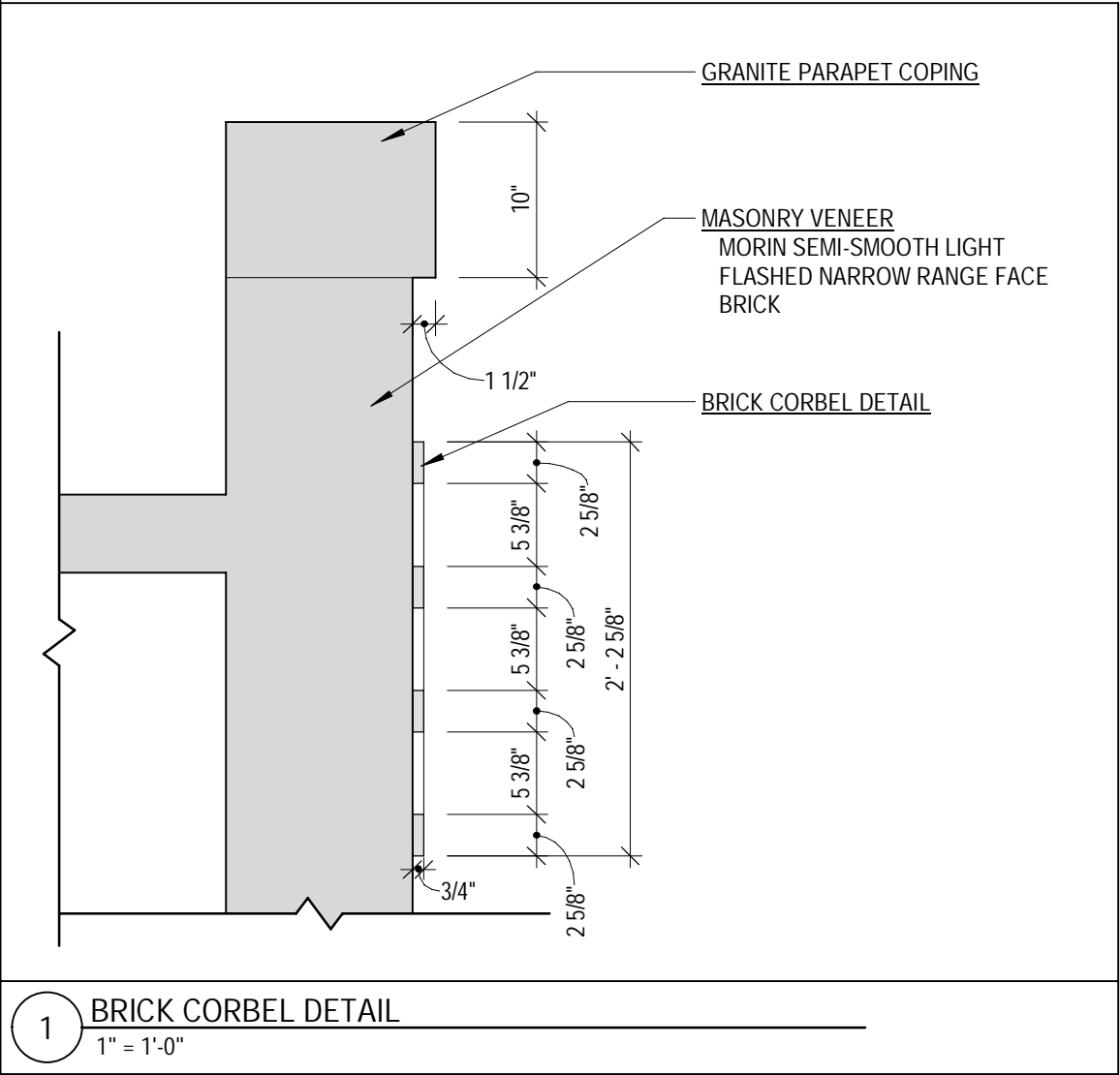
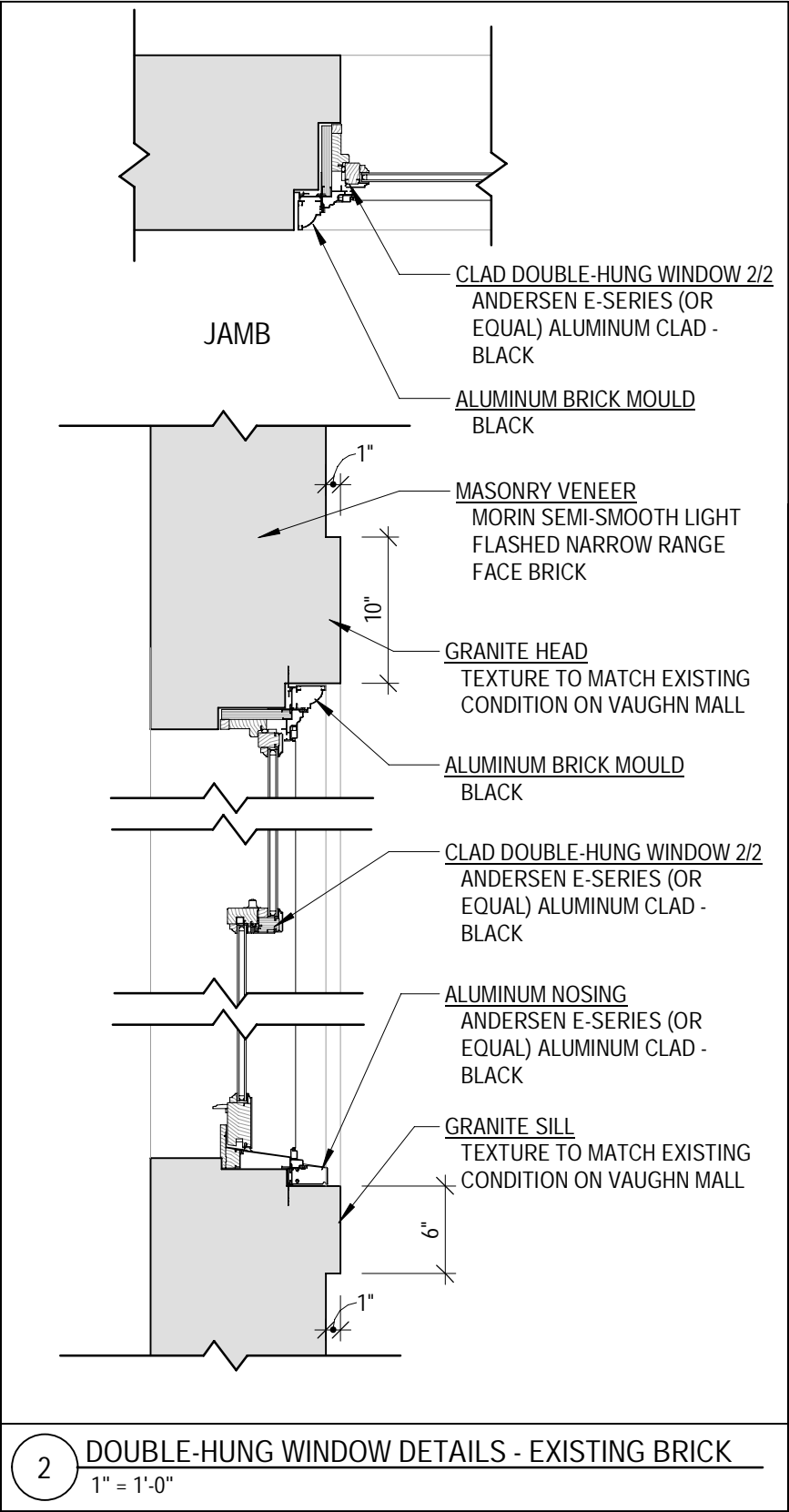
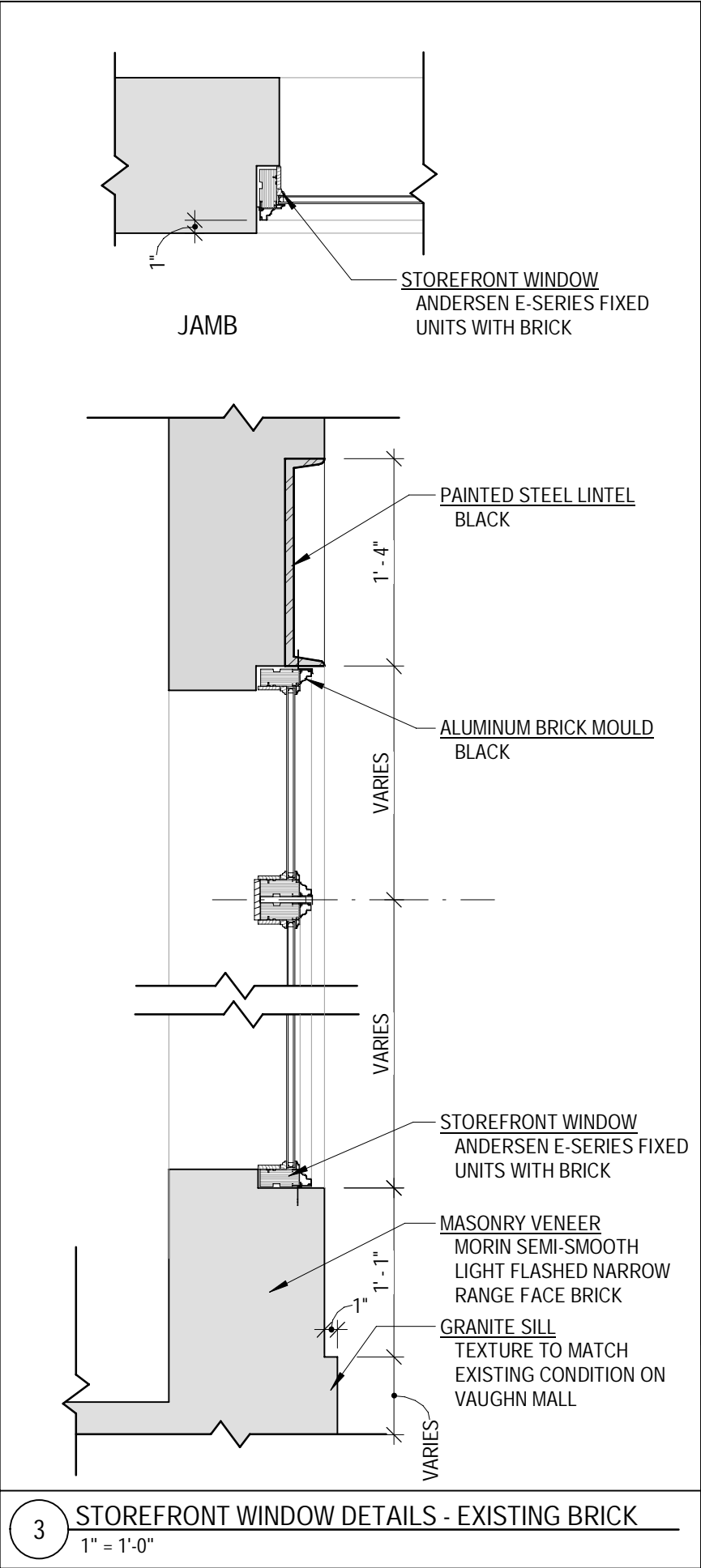
1 PARTIAL NEW ELEVATION - NORTH ELEVATION
1/8" = 1'-0"

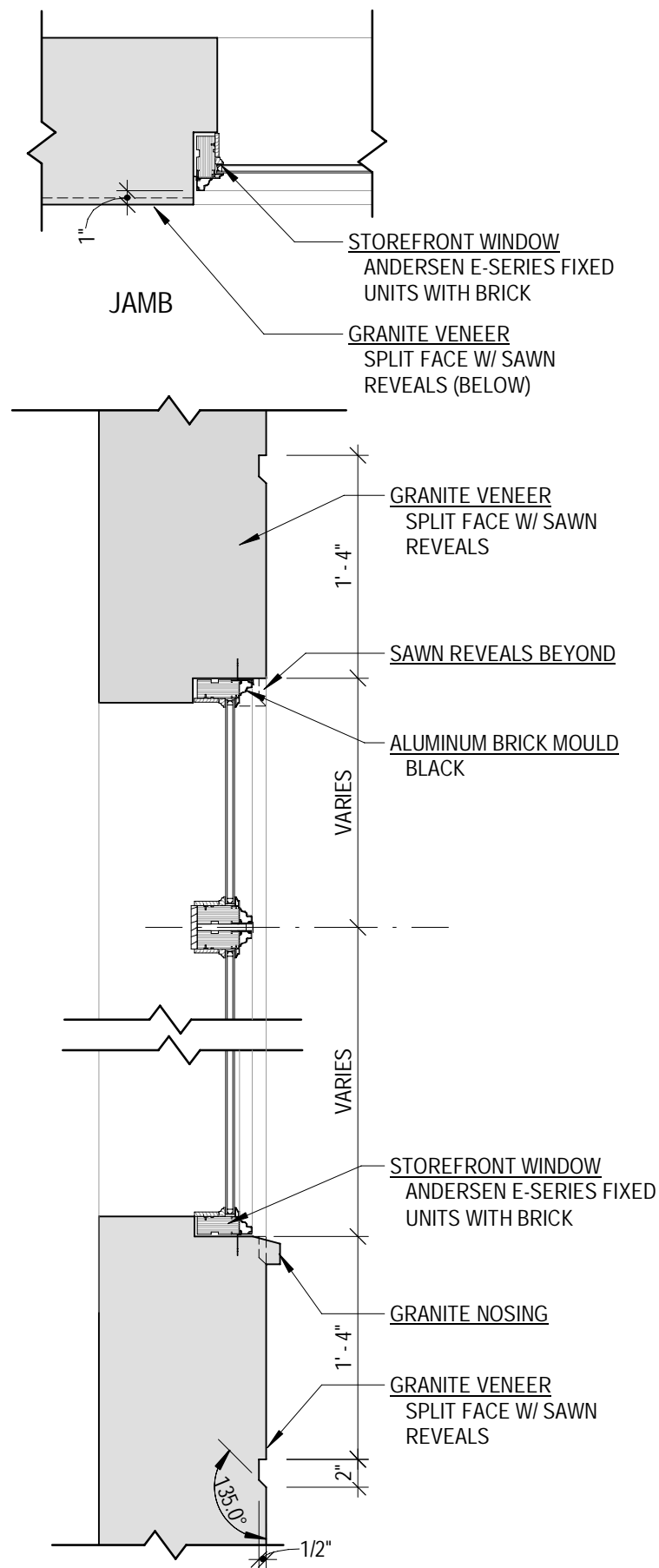
A9

EXTERIOR ELEVATION - MATERIAL LEGEND
64 Vaughan Mall

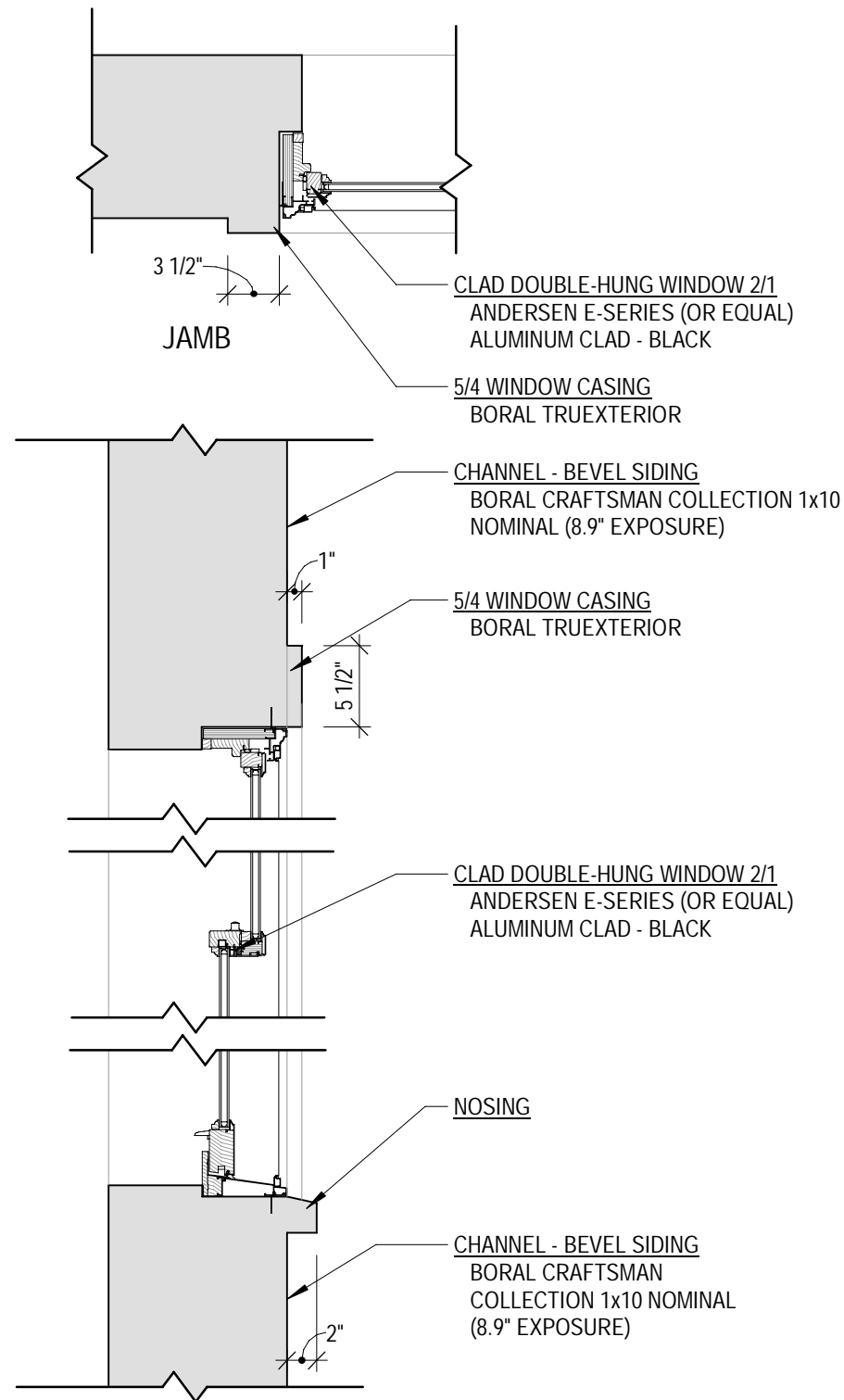
11/19/2021
SCALE: As indicated

HDC REVISION KEY NOTES	
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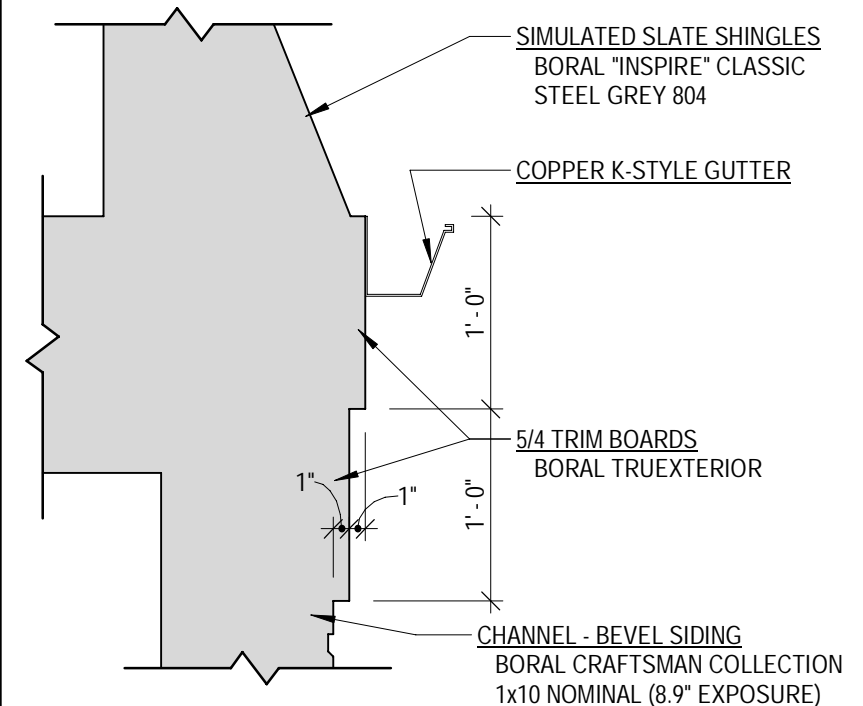
4 STOREFRONT WINDOW DETAILS - GRANITE VENEER
1" = 1'-0"



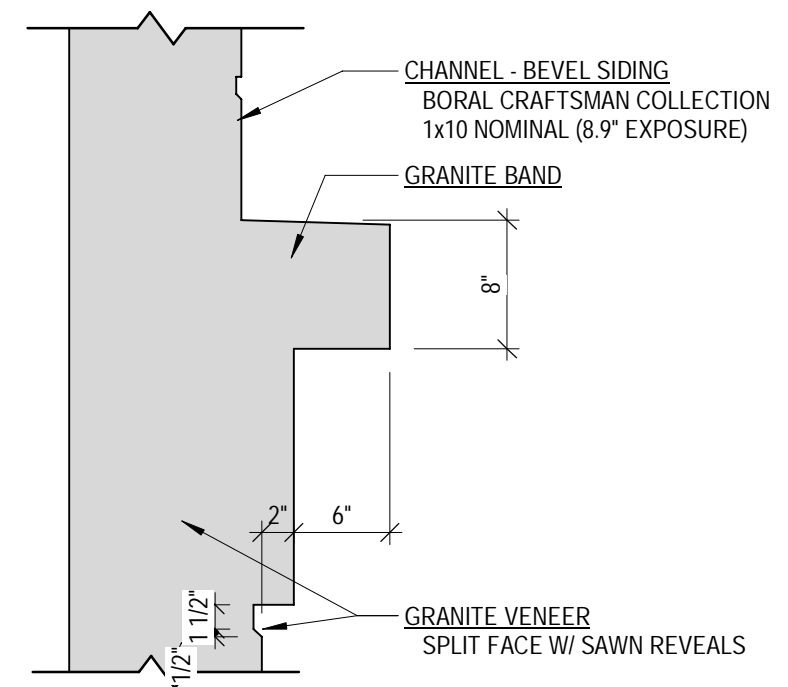
3 DOUBLE-HUNG WINDOW DETAIL - BORAL CHANNEL-BEVEL
1" = 1'-0"

HDC REVISION KEY NOTES

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- CENTERED WINDOWS
- RESIZED WINDOWS AND CENTRED WINDOWS
- ADDED HORIZONTAL MULLIONS TO STROEFRONTS.



2 TYPICAL ROOF EDGE
1" = 1'-0"



1 GRANITE BAND @ GRANITE VENEER
1" = 1'-0"

A11

DETAILS
64 Vaughan Mall

11/19/2021
SCALE: As indicated



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6.	CENTERED WINDOWS
7.	RESIZED WINDOWS AND CENTRED WINDOWS
8.	ADDED HORIZONTAL MULLIONS TO STROEFRONTS.

A12

VIEW FROM VAUGHN MALL

64 Vaughan Mall

11/19/2021

SCALE: 1" = 100'-0"



HDC REVISION KEY NOTES	
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5.	RELOCATED MECHNAICAL ROOF UNITS
6.	CENTERED WINDOWS
7.	RESIZED WINDOWS AND CENTRED WINDOWS
8.	ADDED HORIZONTAL MULLIONS TO STROEFRONTS.

A13

VIEW FROM WORTH LOT
64 Vaughan Mall
11/19/2021
SCALE: 1" = 100'-0"



HDC REVISION KEY NOTES

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7. RESIZED WINDOWS AND CENTRED WINDOWS
8. ADDED HORIZONTAL MULLIONS TO STROEFRONTS.

A14

VIEW FROM HANOVER STREET
64 Vaughan Mall

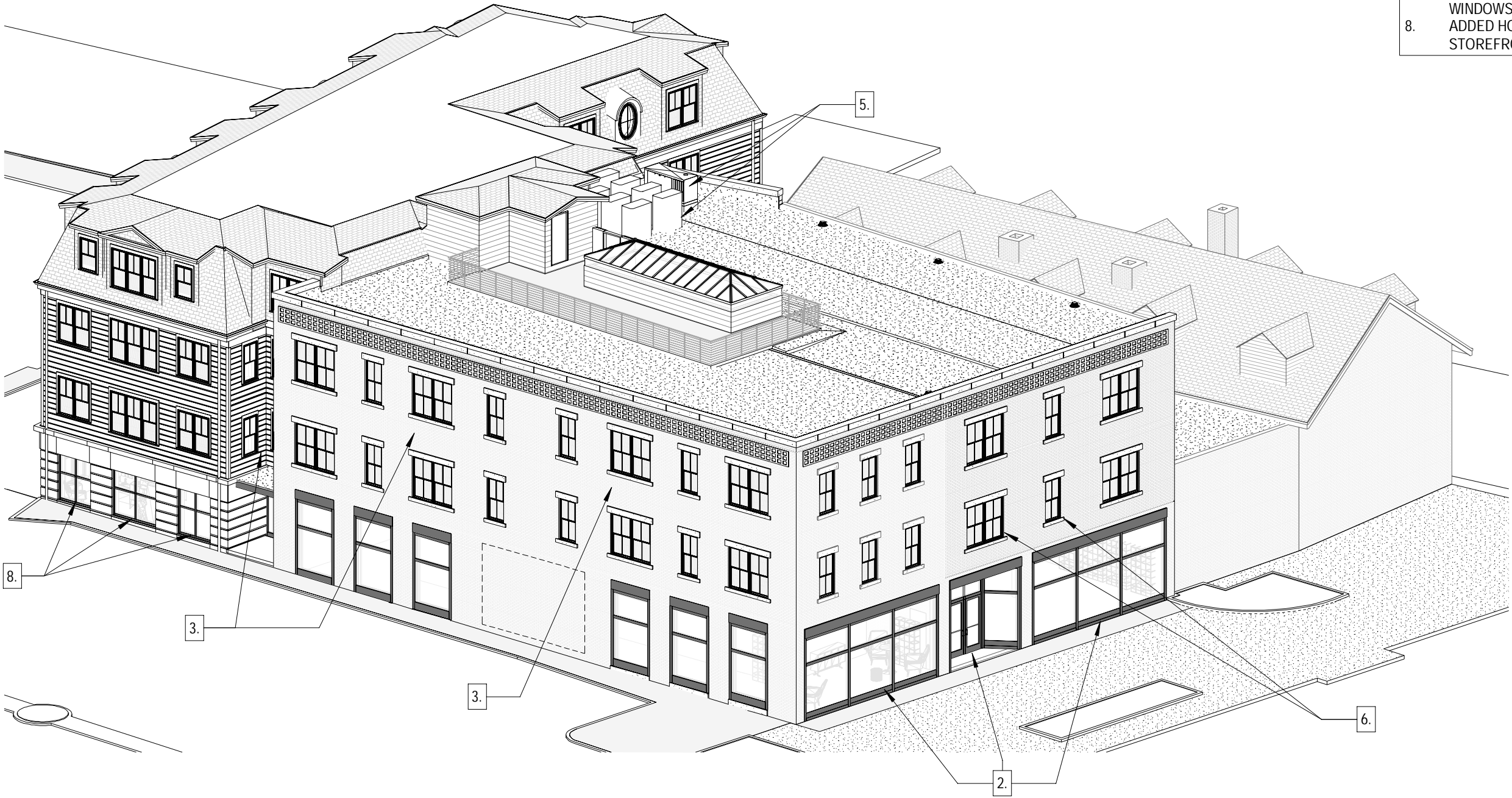
11/19/2021
SCALE: 1" = 100'-0"



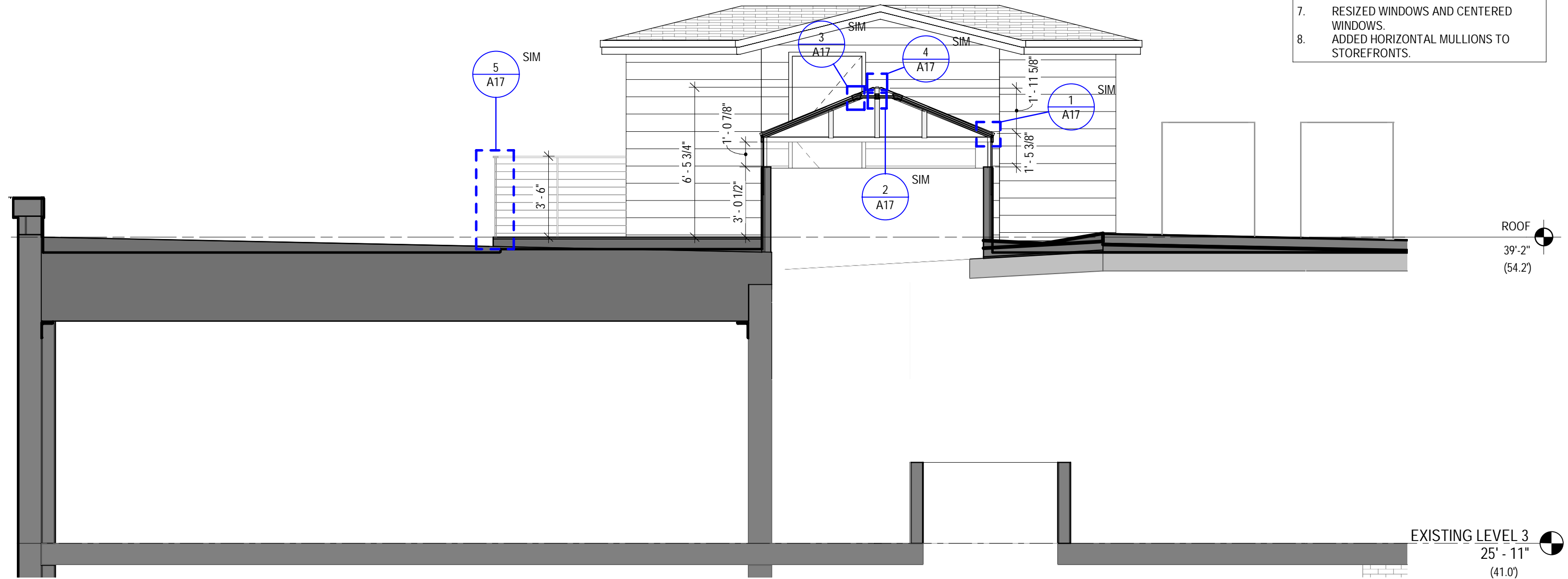
ARCHITECTS
INTERIORS
PLANNERS

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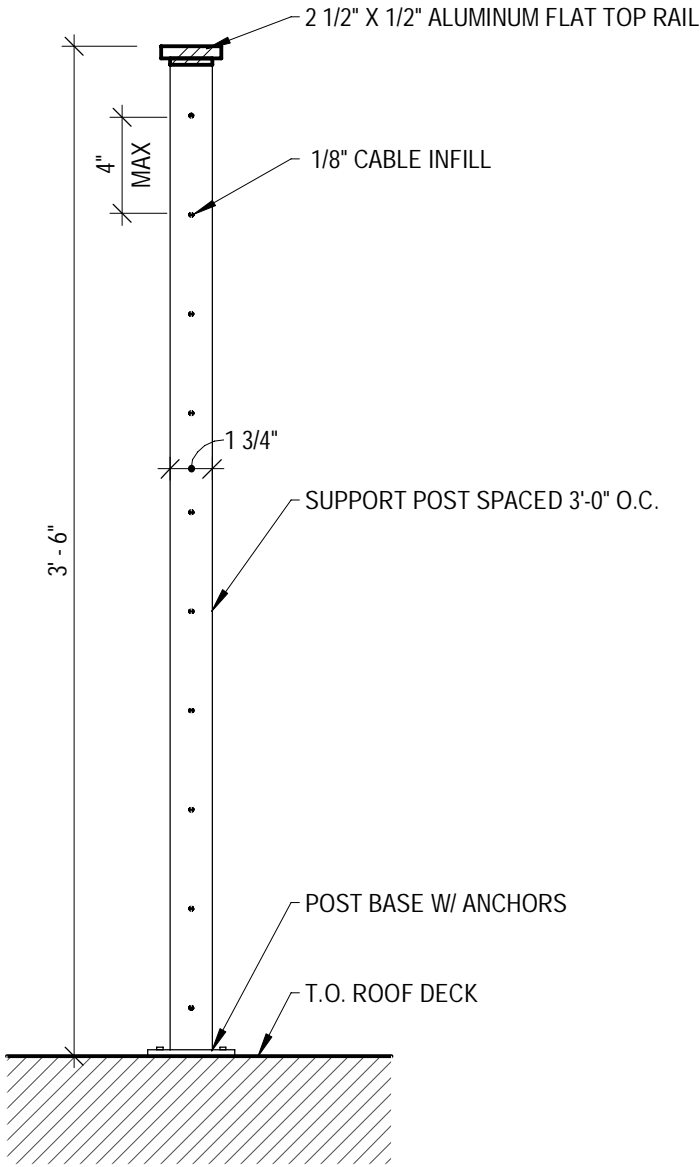


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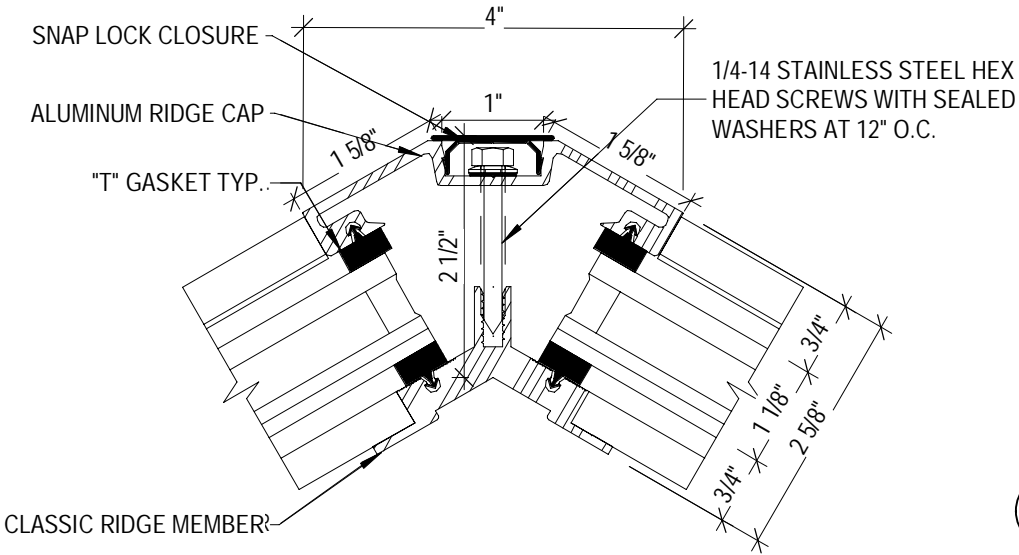


1 SKYLIGHT SECTION
1/4" = 1'-0"

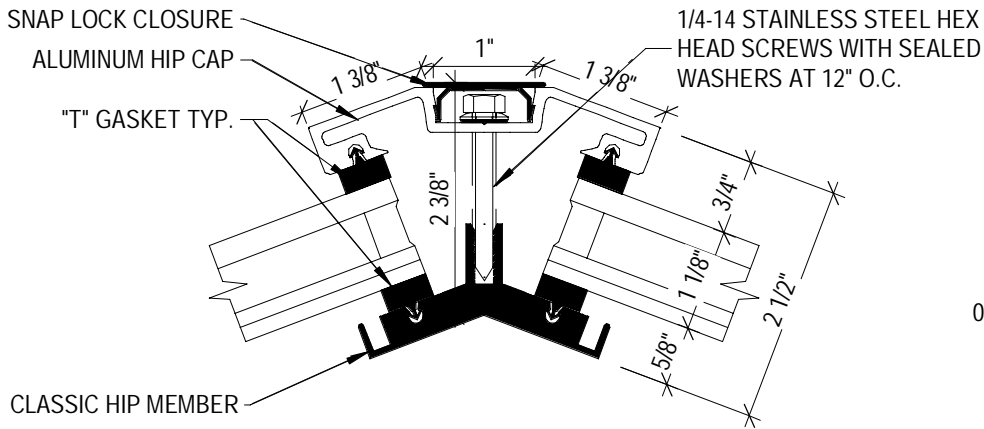
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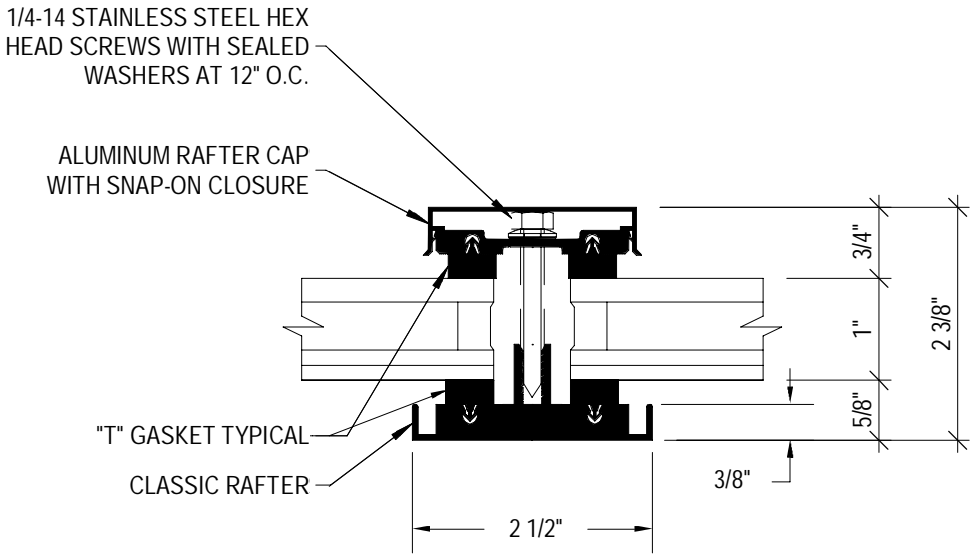
5 ROOF DECK RAILING DETAIL
1 1/2" = 1'-0"



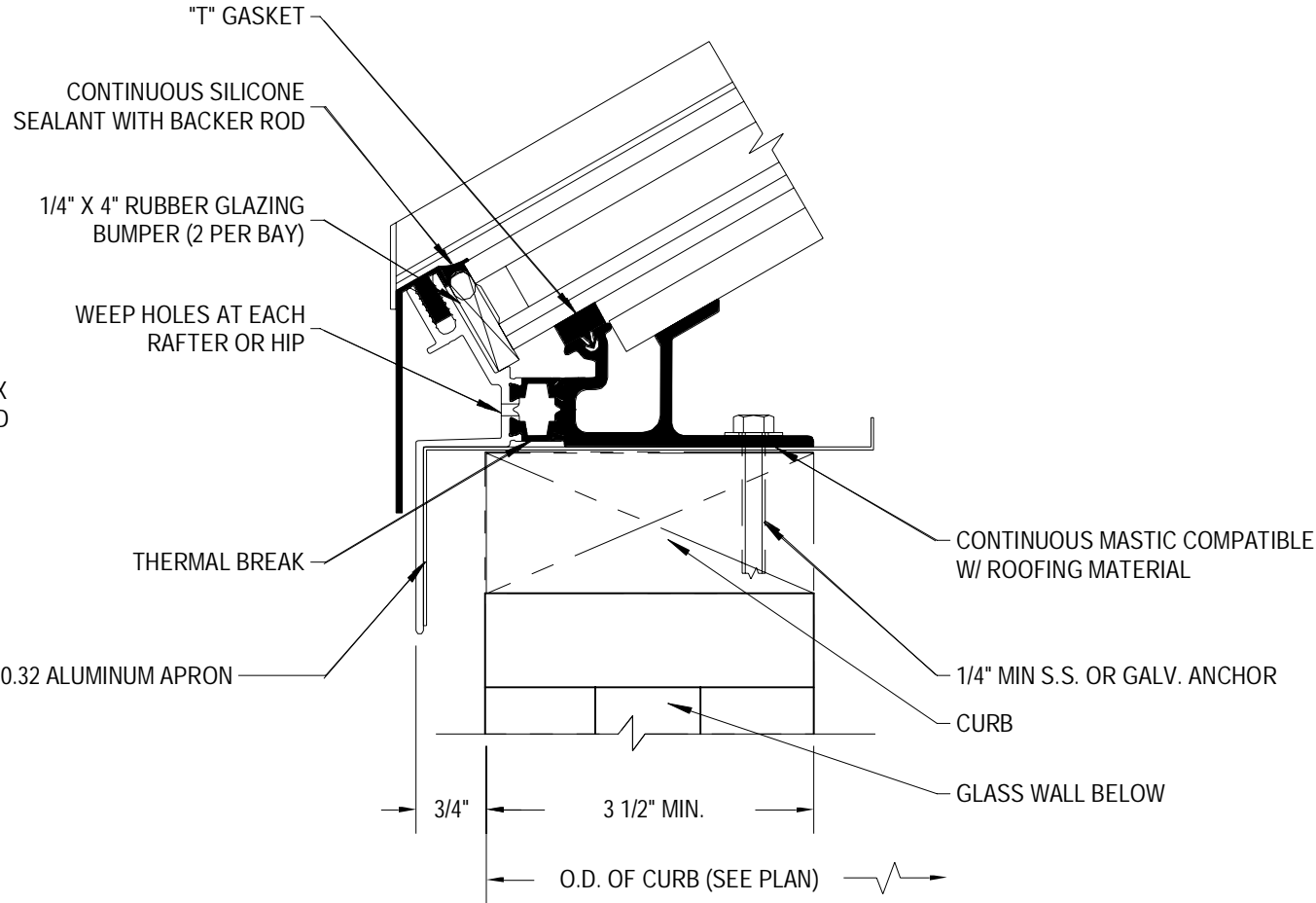
4 ROOF DETAIL - SKYLIGHT RIDGE SECTION
6" = 1'-0"



3 ROOF DETAIL - SKYLIGHT HIP SECTION
6" = 1'-0"



2 ROOF DETAIL - SKYLIGHT RAFTER SECTION
6" = 1'-0"



1 ROOF DETAIL - SKYLIGHT SILL SECTION
6" = 1'-0"

**1 + 31 Raynes Avenue and
203 Maplewood Avenue
LUHD-234
Work Session**

**LUHD-234****Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** Nov 13, 2020**Applicant**

Eben Tormey
etormey@xsshotels.com
1359 Hooksett Road
Hooksett, NH 03106
603-518-2132

Location

1 RAYNES AVE
Portsmouth, NH 03801

Owner:

ONE RAYNES AVE LLC
1359 HOOKSETT RD HOOKSETT, NH 03106

Application Type**Please select application type from the drop down menu below**

Work Session

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Redevelopment of 1 Raynes Ave, 31 Raynes Ave, and 203 Maplewood Ave. Two buildings proposed on merged lot. A 4- to 5-story mixed use building with ground floor retail/office/restaurant and residential above on what is now 203 Maplewood Ave and 31 Raynes Ave and a 5-story hotel on what is now 1 Raynes Ave. Redevelopment will include waterfront mixed-use path (part of the North Mill Pond Greenway) connecting Maplewood Avenue to the proposed North Mill Pond Community Park and Market Street beyond.

Description of Proposed Work (Planning Staff)

the construction of a 4-5 story mixed-use building and a 5-story hotel

Project Representatives**Relationship to Project**

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Chris Lizotte, AIA

Business Name (if applicable)

PROCON

Mailing Address (Street)

PO Box 4430

City/Town

Manchester

State

NH

Zip Code

03108

Phone

(603) 518-2279

Email Address

clizotte@proconinc.com

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

--



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

SITE AERIAL & LOCATION PLAN

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



1.0



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

MAPLEWOOD BRIDGE VIEW

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



2.0



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVENUE ENTRY VIEW

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



2.1



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

MAPLEWOOD STREET VIEW

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



2.2



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

RAYNES AVENUE STREET VIEW
HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021





RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NORTH MILL POND CORRIDOR VIEW
HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



2.4



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

VAUGHAN STREET VIEW

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



2.5



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

MARKET STREET VIEW FROM
ACROSS NORTH MILL POND
HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



2.6



NOTE: HOTEL DESIGN REVIEW PENDING WORK SESSION #4

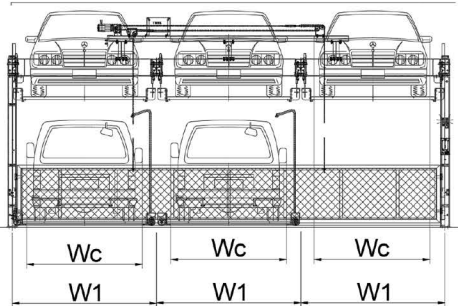
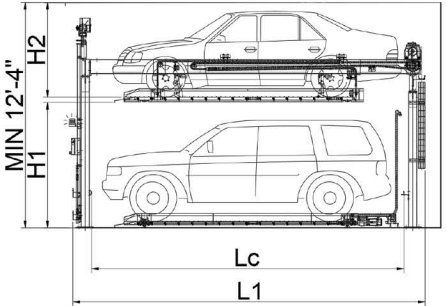
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

NORTH MILL POND VIEW
HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021





PROPOSED VIEW



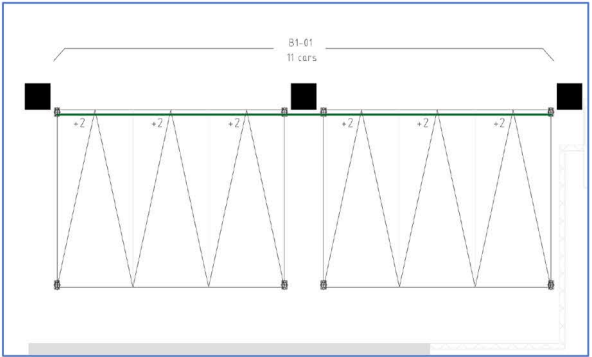
(B) Elevation Section View

Figure 6. 2-Level Puzzle (Typical)

Table 1. Typical 2-level Puzzle Dimensions
Equipment Dimension and Car Size

Equipment Dimension and Car Size	
Equipment Length (L1)	Equipment Width (W1)
20'-0"	8' - 6"
Car Length (Lc)	Car Width (Wc)
17' - 0"	6' - 10"

TWO-LEVEL PUZZLE (+2)



(A) Design Plan View



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

CIYTLIFT - PUZZLE PARKING
SYSTEM

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



3.0



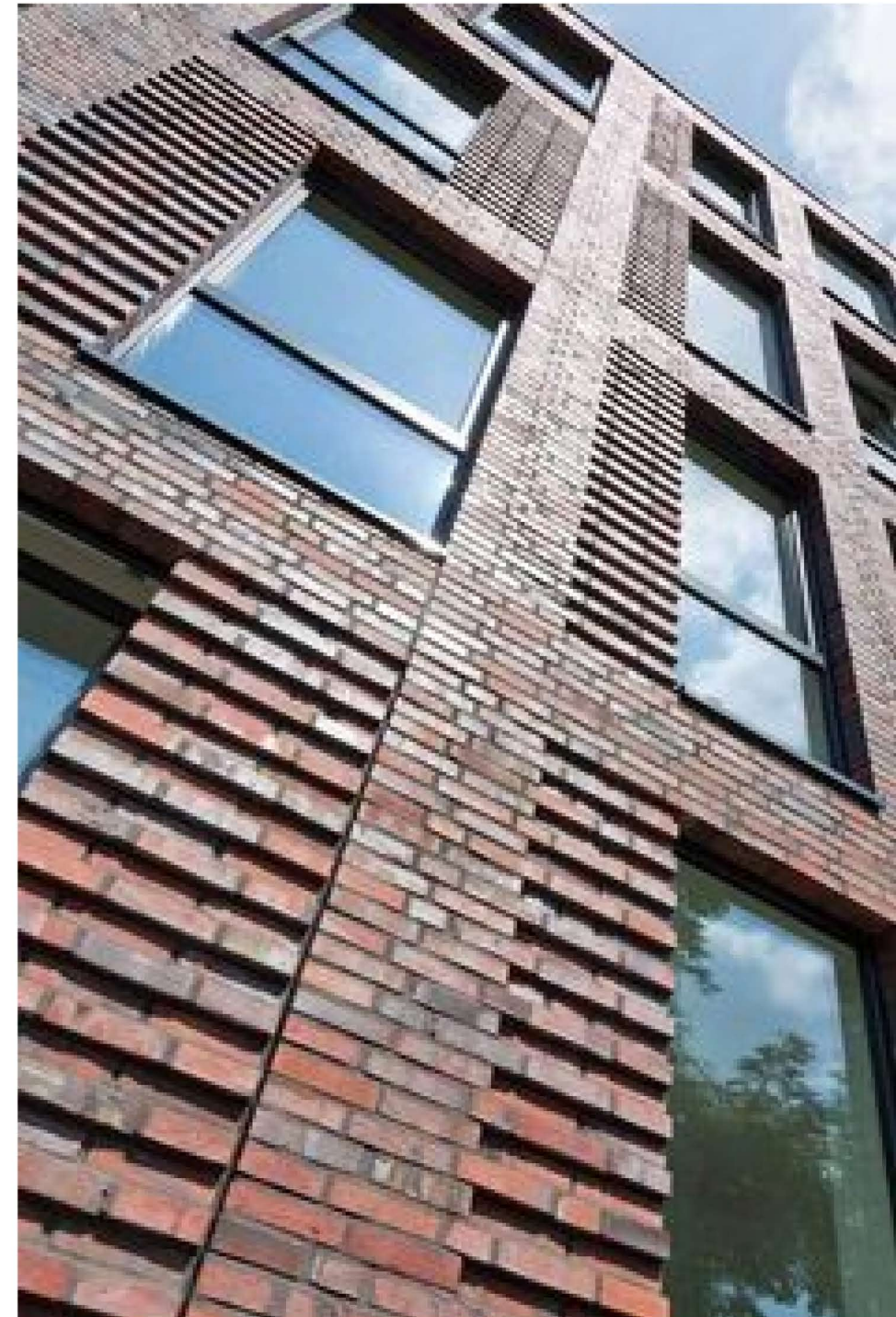
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

DESIGN INSPIRATION

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



4.0



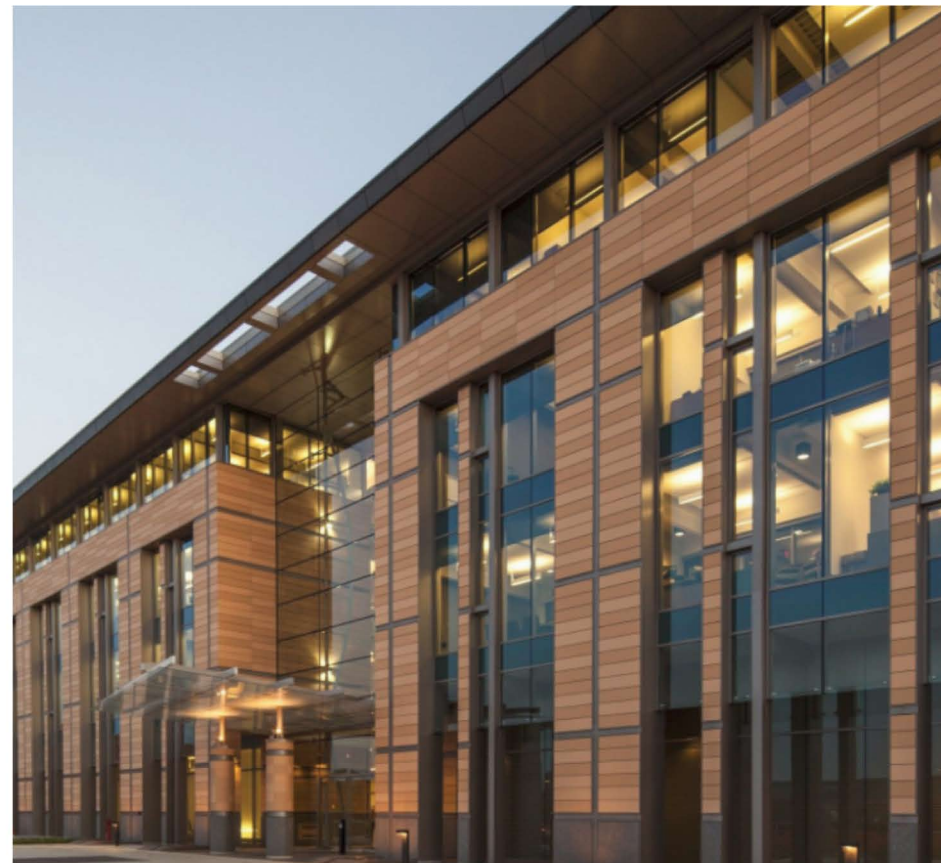
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

DESIGN INSPIRATION

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



4.1



RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

DESIGN INSPIRATION

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



4.2



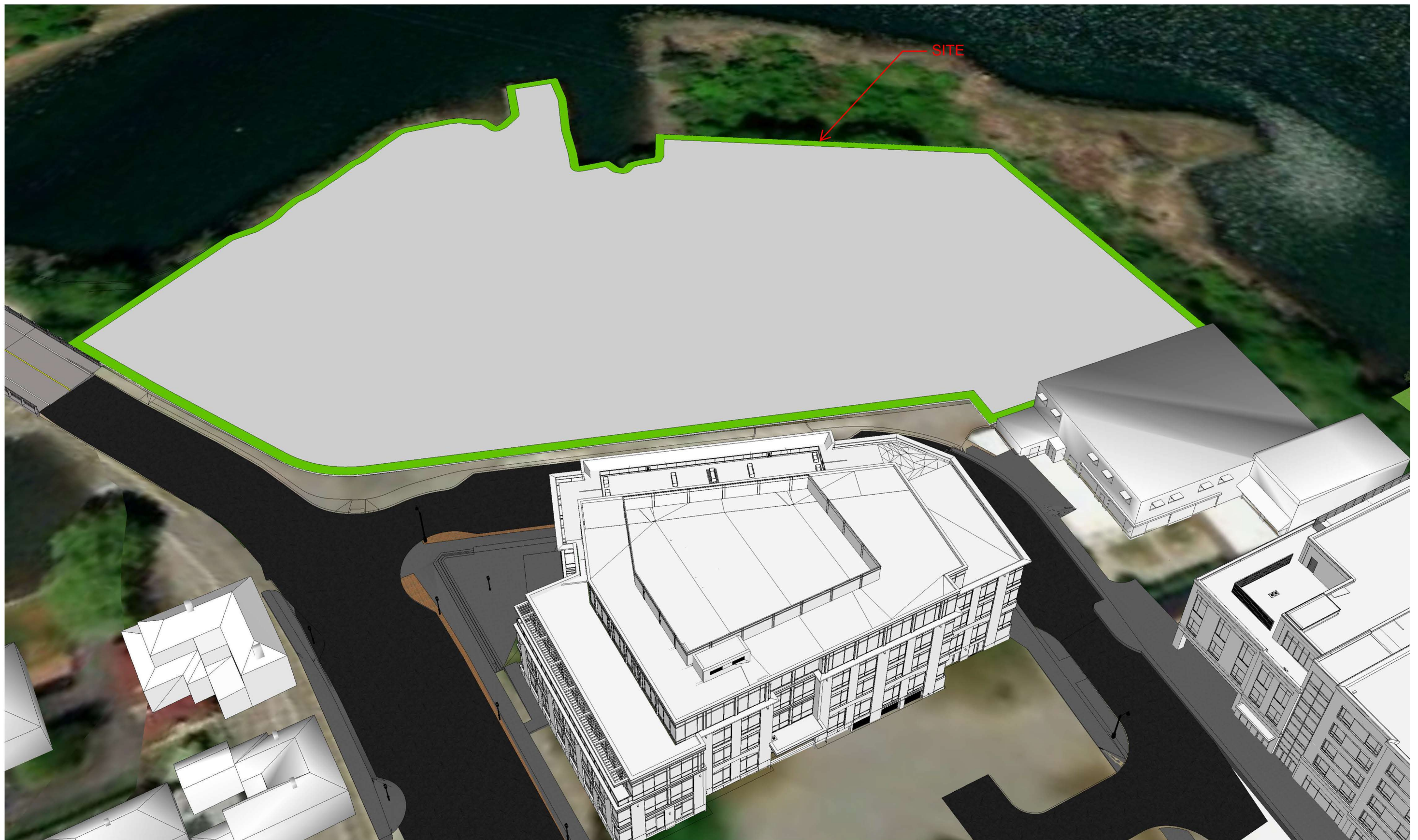
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

DESIGN INSPIRATION

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



4.3



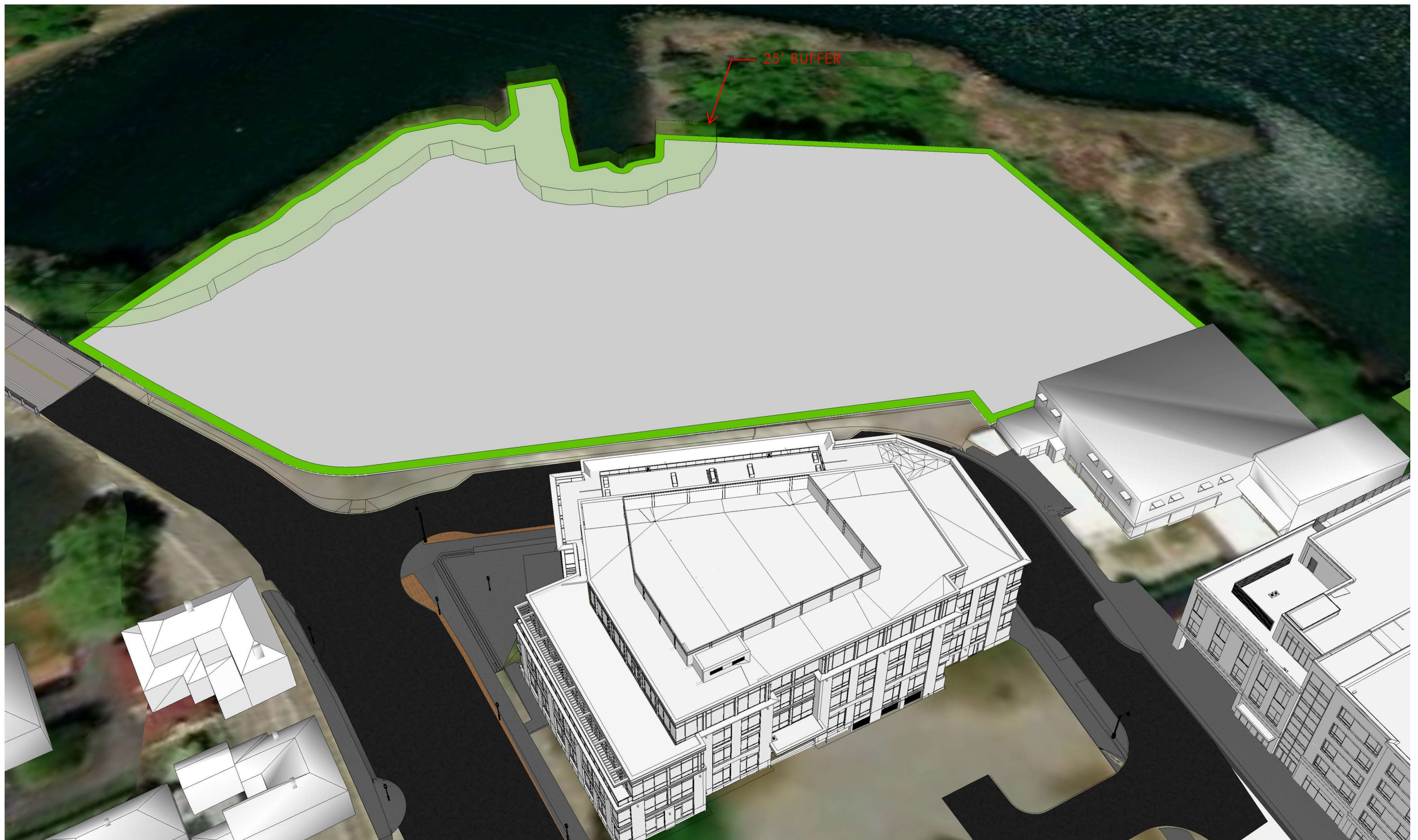
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

SITE IMPACTS

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



5.0



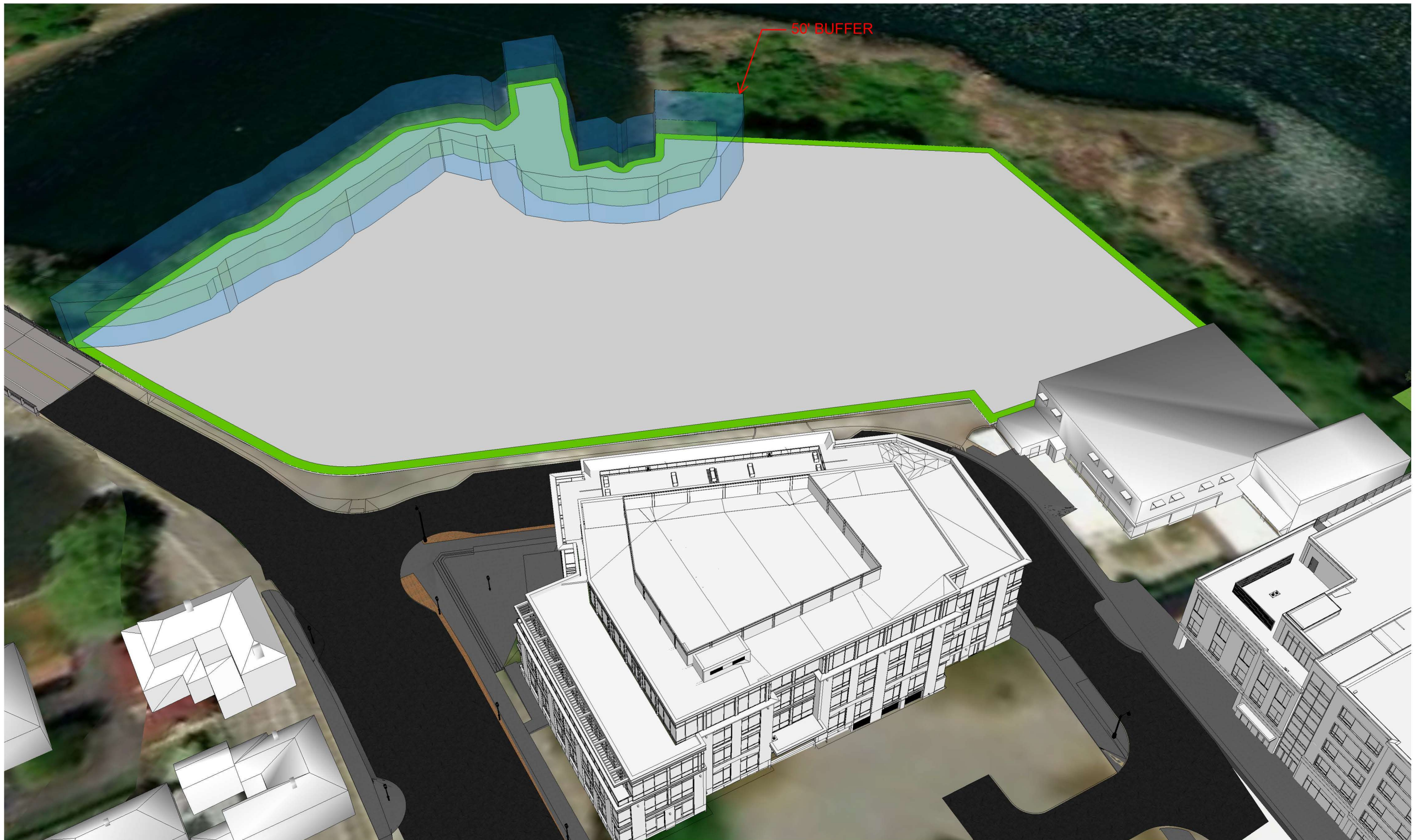
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

SITE IMPACTS

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



5.1



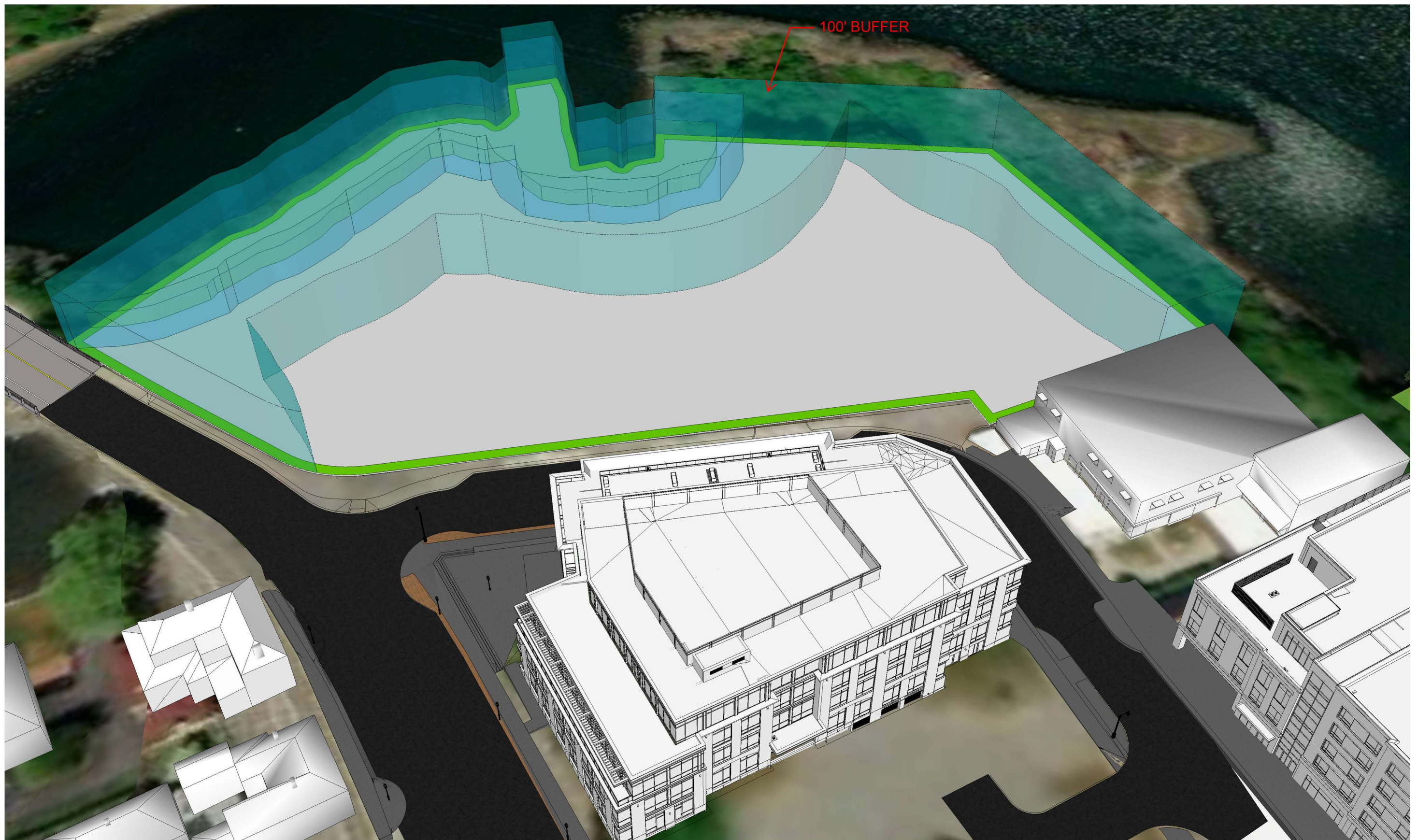
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

SITE IMPACTS

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



5.2



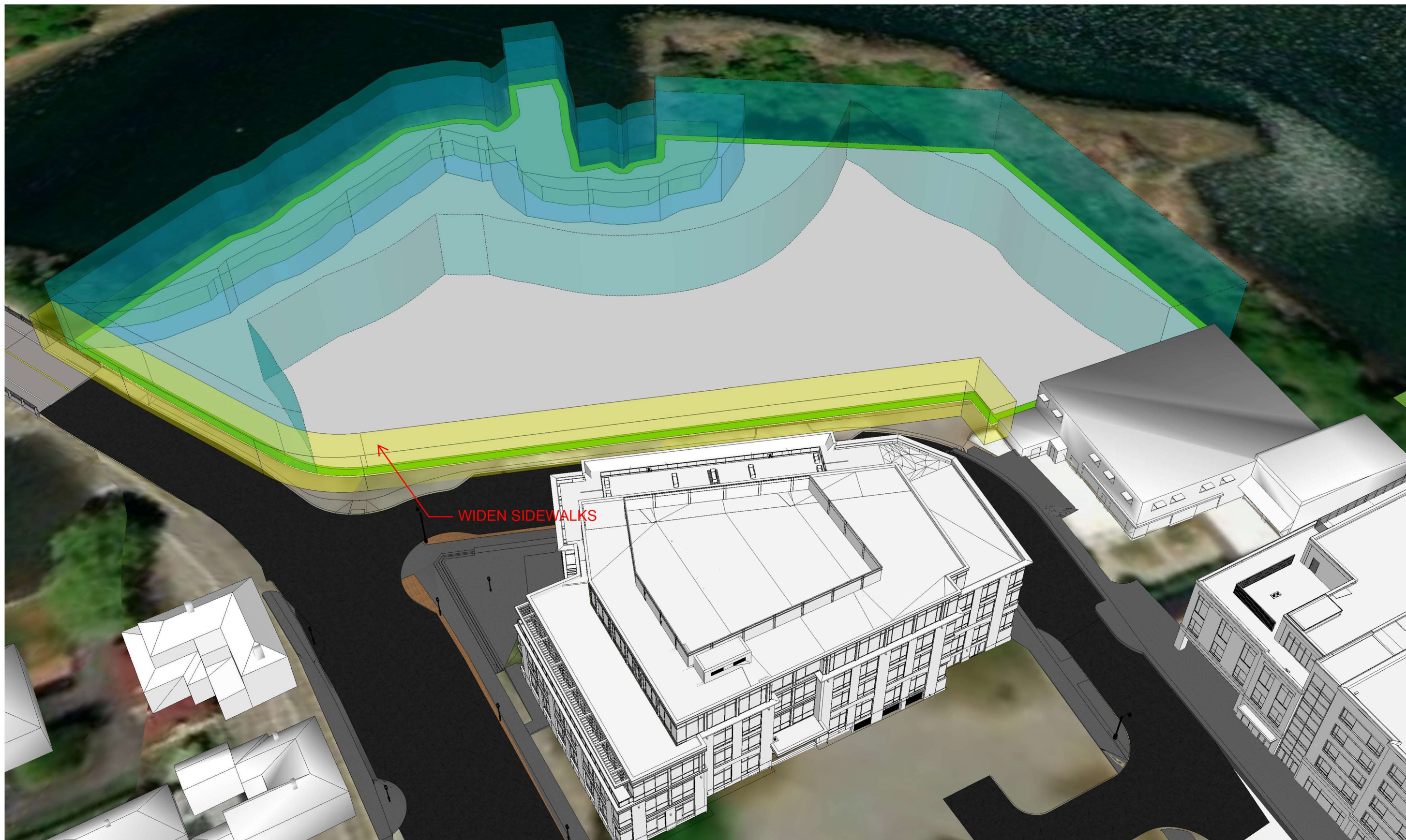
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

SITE IMPACTS

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



5.3



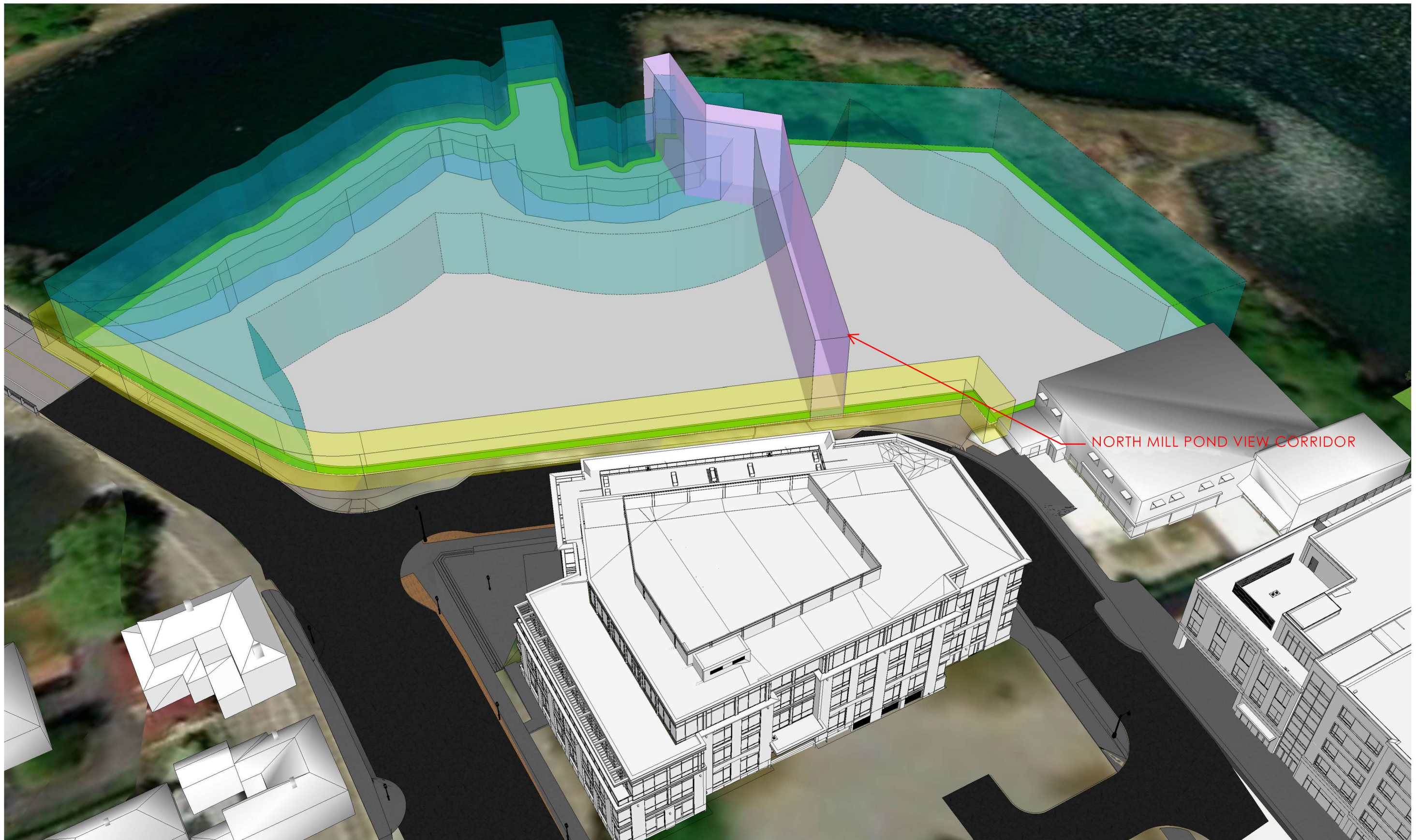
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

SITE IMPACTS

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



5.4



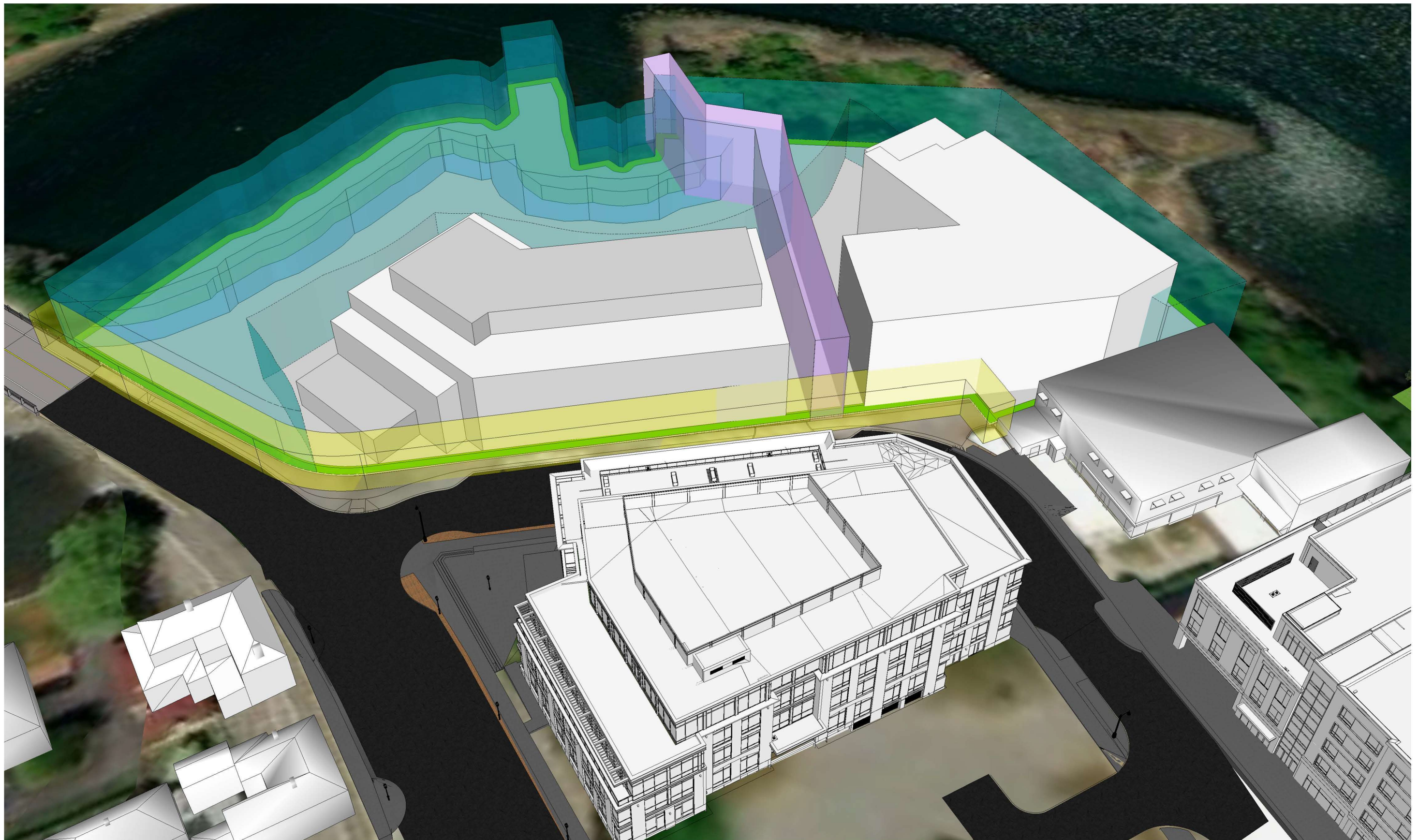
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

SITE IMPACTS

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



5.5



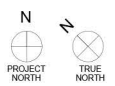
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

SITE IMPACTS

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



5.6



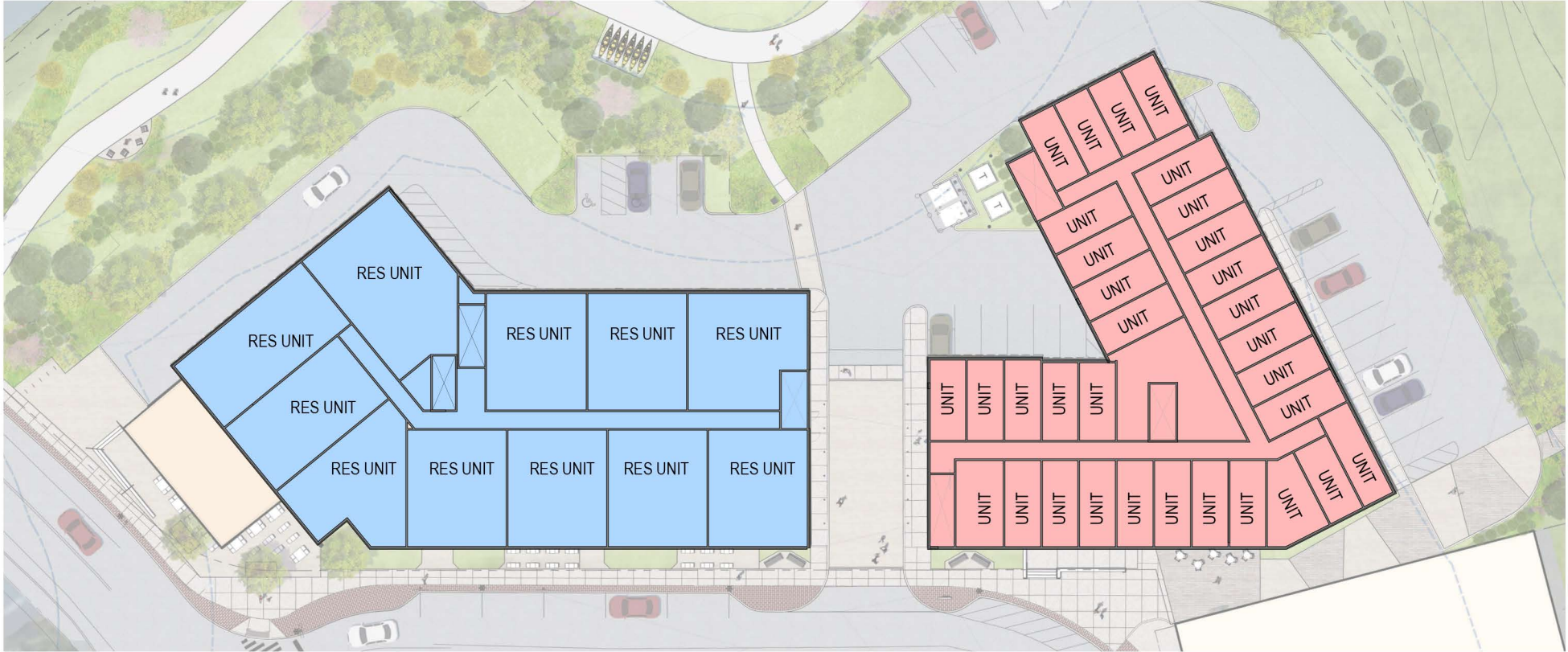
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED FIRST FLOOR PROGRAM
HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021

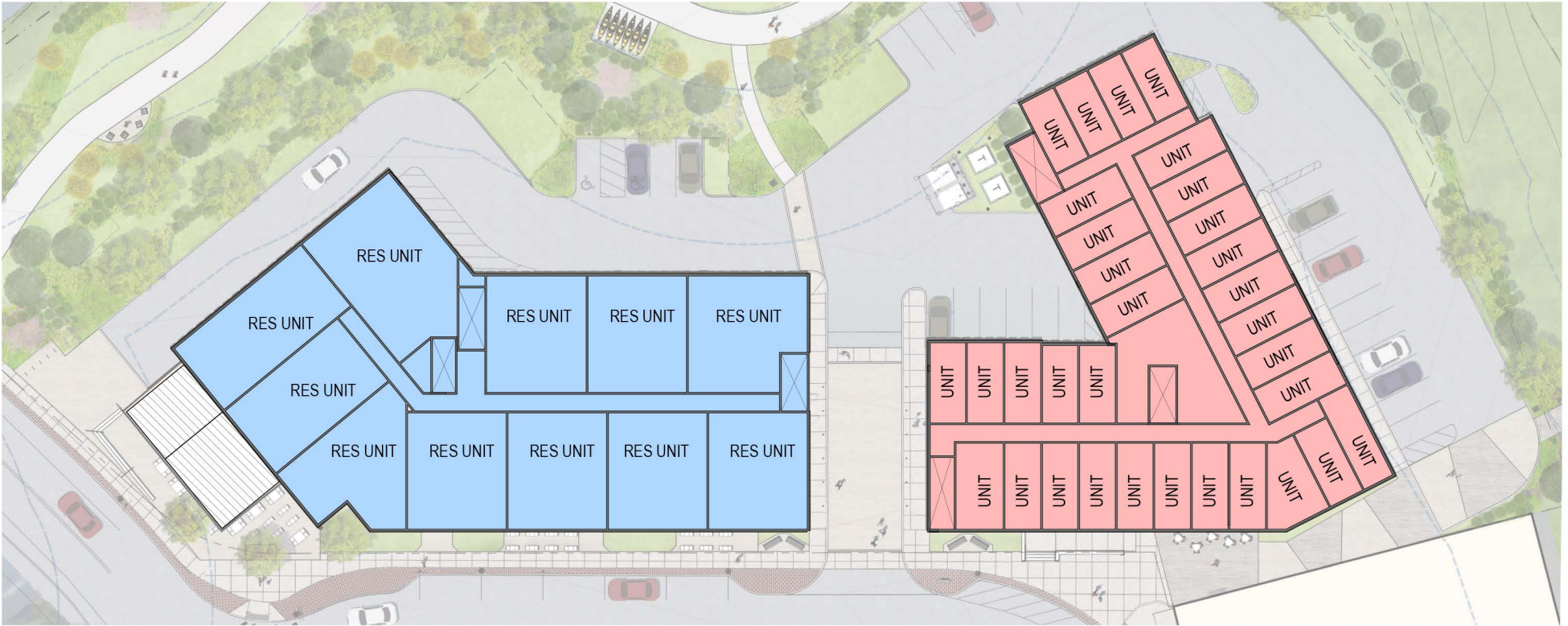


6.0

COLOR KEY
HOTEL
RESIDENTIAL



OVERALL THIRD FLOOR PLAN



OVERALL SECOND FLOOR PLAN

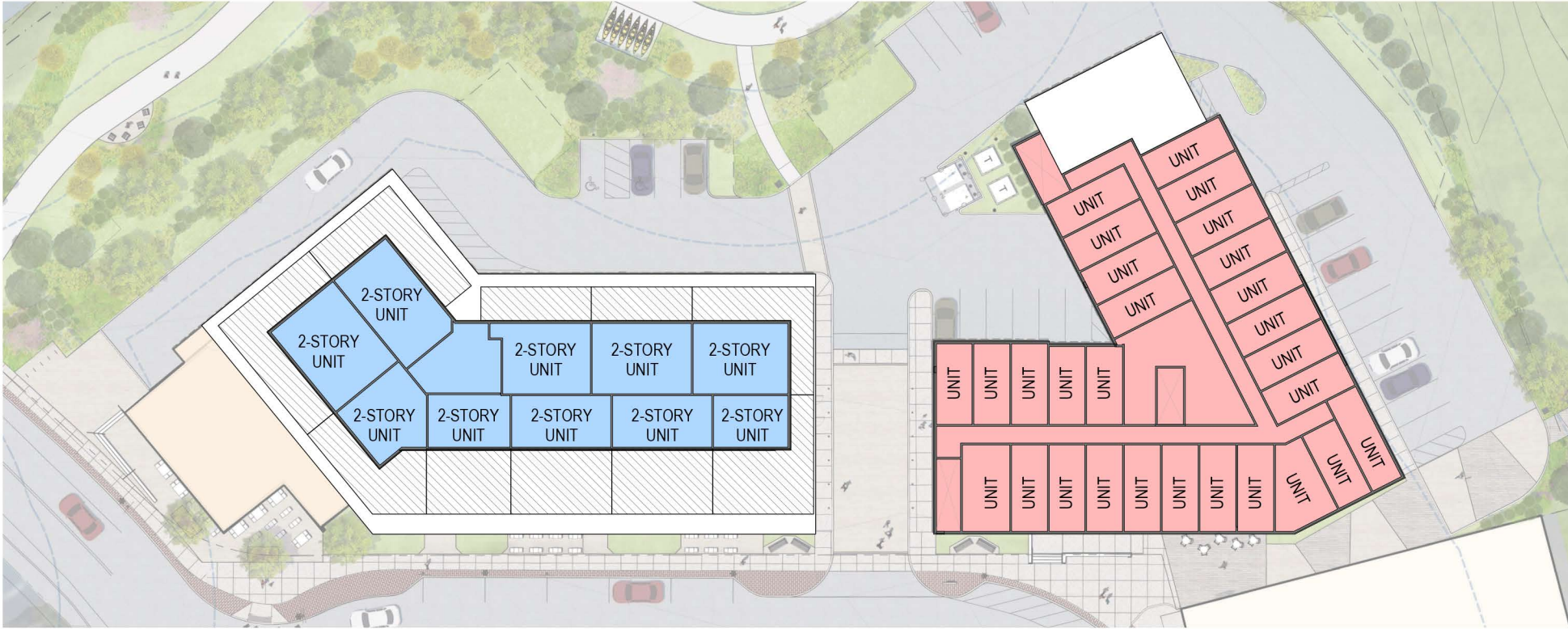
RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED UPPER FLOORS PROGRAM

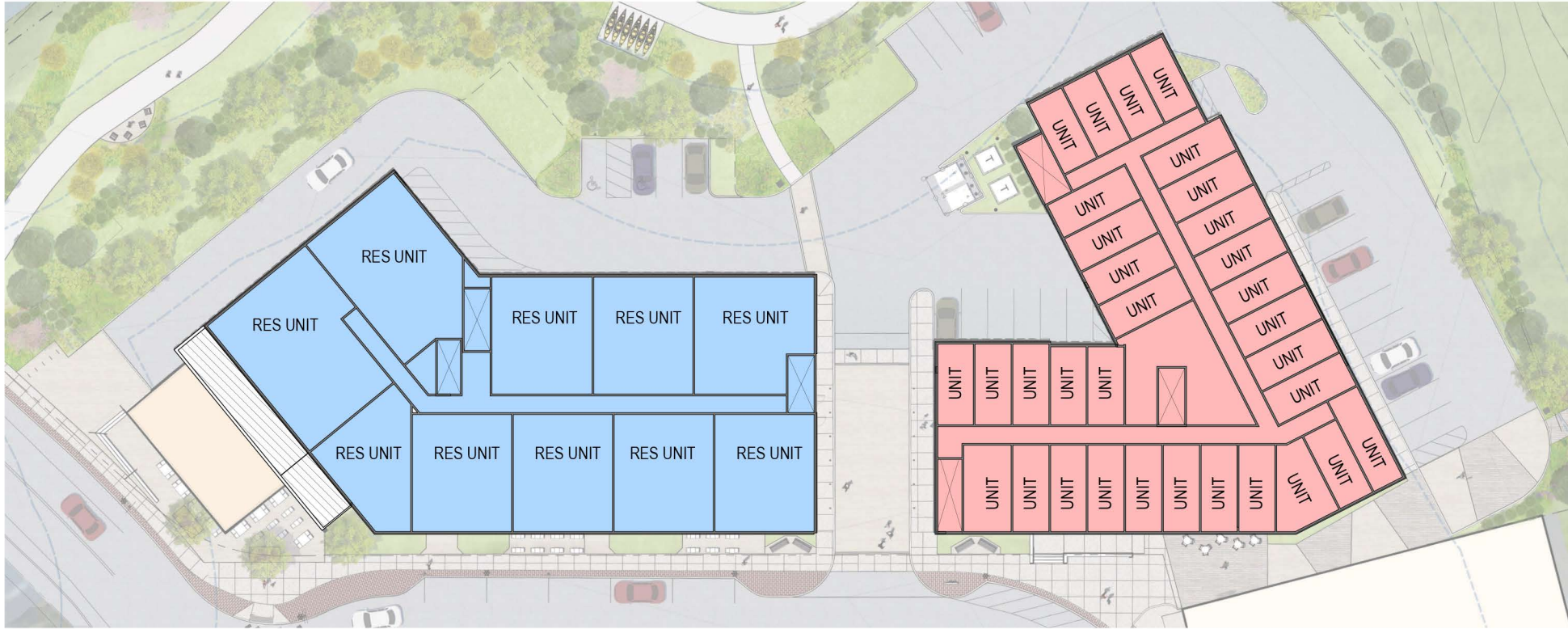
HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



COLOR KEY
HOTEL
RESIDENTIAL



OVERALL FIFTH FLOOR PLAN



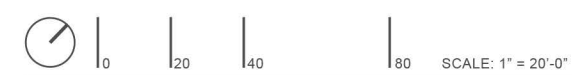
OVERALL FOURTH FLOOR PLAN

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED UPPER FLOORS PROGRAM

HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021





RAYNES AVE - PORTSMOUTH, NH
11/15/2021

SITE LANDSCAPE PLAN
Tighe&Bond

RAYNES AVENUE
PORTSMOUTH, NEW HAMPSHIRE

LANDSCAPE - SITE PLAN
HISTORIC DISTRICT COMMISSION WORK SESSION 3: DECEMBER 1, 2021



7.0



RAYNES AVENUE
PLAN PORTSMOUTH 3D MODEL: AREA 7
CHARACTER DISTRICT: CD-4

BUILDING TOTALS:
RESIDENTIAL: 65,150SF - 60 UNITS
HOTEL: 68,000SF - 128 UNITS

ZONING DISTRICT: CHARACTER DISTRICT 4 (CD4)
DOWNTOWN OVERLAY DISTRICT
NORTH END INCENTIVE OVERLAY DISTRICT
HISTORIC DISTRICT

PROPOSED USE: MULTI FAMILY DWELLING
HOTEL
RETAIL/RESTAURANT

PROPOSED LOT SIZE: ±2.53 ACRES (±110,415 SF)

DEVELOPMENT STANDARDS			
BUILDING PLACEMENT (PRINCIPAL BUILDING):			
	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
MAXIMUM PRINCIPAL FRONT YARD:	15 FT	±16 FT ⁽¹⁾	7.4 FT
MAXIMUM SECONDARY FRONT YARD:	12 FT	±5 FT	N/A
SIDE YARD:	NR	NR	NR
MINIMUM REAR YARD:	5 FT	N/A	N/A
MINIMUM FRONT LOT LINE BUILDOUT:	50%	66.7%	66.7%
(1) - INCREASE ABOVE THE MAXIMUM ALLOWED PER 10.5A42.12			
BUILDING AND LOT OCCUPATION:			
	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
MAXIMUM BUILDING BLOCK LENGTH:	200 FT	191 FT	116 FT
MAXIMUM FACADE MODULATION LENGTH:	80 FT	<80 FT	<80 FT
MAXIMUM ENTRANCE SPACING:	50 FT	<50 FT	<50 FT
MAXIMUM BUILDING COVERAGE:	90%	±47.0%	±47.0%
MAXIMUM BUILDING FOOTPRINT:	30,000 SF ⁽²⁾	17,383 SF	14,628 SF
MINIMUM LOT AREA:	NR		
MINIMUM LOT AREA PER DWELLING UNIT:	NR		
MINIMUM OPEN SPACE:	10%	35.0%	
MAXIMUM GROUND FLOOR GFA PER USE:	15,000 SF	8,100 SF	7,400 SF
(2) - INCREASE ABOVE 15,000 SF ALLOWED PER 10.5A46.10			
BUILDING FORM (PRINCIPAL BUILDING):			
	REQUIRED	PROPOSED BUILDING A	PROPOSED BUILDING B
BUILDING HEIGHT:	5 STORY ⁽³⁾ 60 FT	5 STORY 59.77 FT	5 STORY 57.90 FT
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE:	36 IN	<36"	<36"
MINIMUM GROUND STORY HEIGHT:	12 FT	15 FT	15 FT
MINIMUM SECOND STORY HEIGHT:	10 FT	10.5 FT	10.5 FT
FACADE GLAZING:			
SHOP FRONT FACADE TYPE	70%	70%	70%
ALLOWED ROOF TYPES			
FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT, GABLE, HIP, GAMBREL, MANSARD	FLAT	

0 Maplewood Avenue

LUHD-390

Work Session

**LUHD-390**

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Sep 17, 2021**Applicant**

Michael Keane
michael@mjkarchitects.com
101 Kent Place
Newmarket, NH 03857
603 292 1400

Location

0 MAPLEWOOD AVE
Portsmouth, NH 03801

Owner:

HENSON STEVEN P & HENSON CATHY ANN
36 NORTH SCHOOL ST PORTSMOUTH, NH 03801

Application Type**Please select application type from the drop down menu below**

Work Session

Alternative Project Address

--

Project Information**Brief Description of Proposed Work**

Proposed new single-family residence on vacant parcel

Description of Proposed Work (Planning Staff)

allow the construction of a new single family dwelling

Project Representatives**Relationship to Project**

Developer

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Michael Brown

Business Name (if applicable)

MB2 Development LLC

Mailing Address (Street)

P.O Box 372

City/Town

Greenland

State

NH

Zip Code

03840

Phone

6032347521

Email Address

mb2development@gmail.com

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Michael Keane

Business Name (if applicable)

Michael J Keane Architects PLLC

ARCHITECTURE
PRESERVATION
PLANNING
DESIGN

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[illegible]

HDC WORK SESSION 3
NOT FOR
CONSTRUCTION
11-12-2021

PROJECT

☐ TITLE ☐☐ SCALE ☐

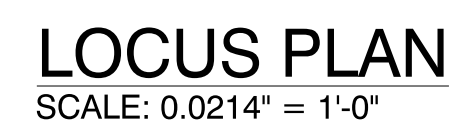
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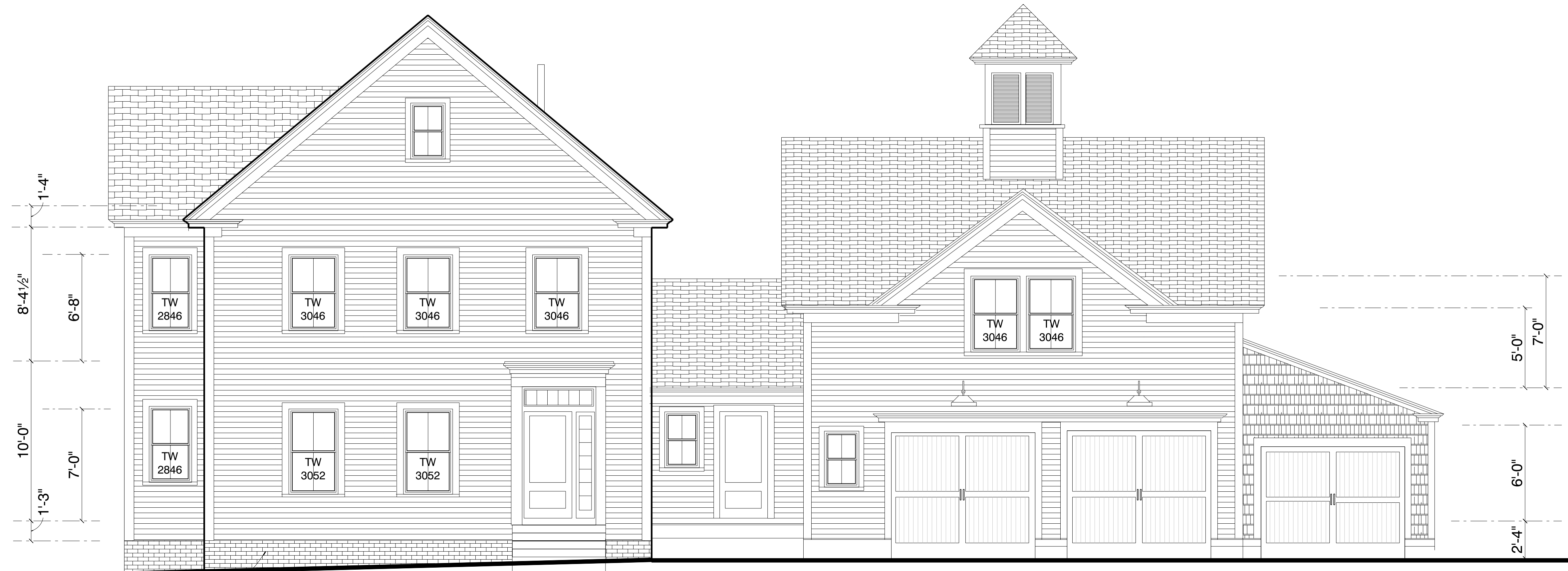
DRAWN BY: MJK

CHECKED BY: mjk

DATE:



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4" BRICK VENEER
"OLDE PORT"

PROSPECT STREET ELEVATION

ARCHITECTURAL
ASPHALT SHINGLES

PVC FASCIA AND SOFFIT
FIELD PAINTED

5/4" X 8 PVC FRIEZE
FIELD PAINTED

ANDERSEN 400 SERIES
TILT WASH DH WINDOWS
WITH 3/4" SIMULATED
DIVIDED LITES
5/4" PVC TRIM
FIELD PAINTED

5/4" X 8 PVC CORNERBOARD
FIELD PAINTED

HARDIE-PLANK HZ-5
SMOOTH FINISH FIELD PAINTED
4" EXPOSURE TYPICAL

VENT
CAP

NORTH SCHOOL
STREET ELEVATION

EASTERN WHITE CEDAR SHINGLES
STRAIGHT EDGE 5" TO WEATHER

MICHAEL J.
KEANE
ARCHITECTS
PLLC

ARCHITECTURE
PRESERVATION
PLANNING
DESIGN

101 KENT PLACE
NEWMARKET, NEW HAMPSHIRE 03857
603 . 292 . 1400

mjkarchitects.com

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PROJECT

PROPOSED RESIDENCE

MAP 141 LOT 3
PORTSMOUTH, NH

TITLE

CONCEPT ELEVATIONS S&W

SCALE

AS NOTED

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DATE:

A2

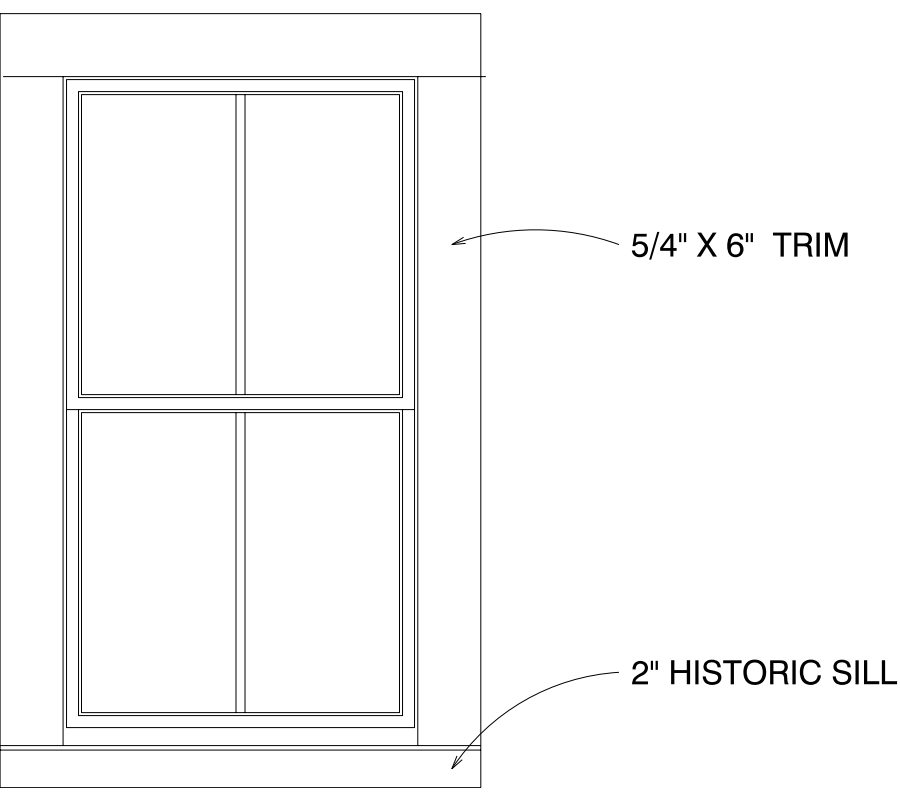
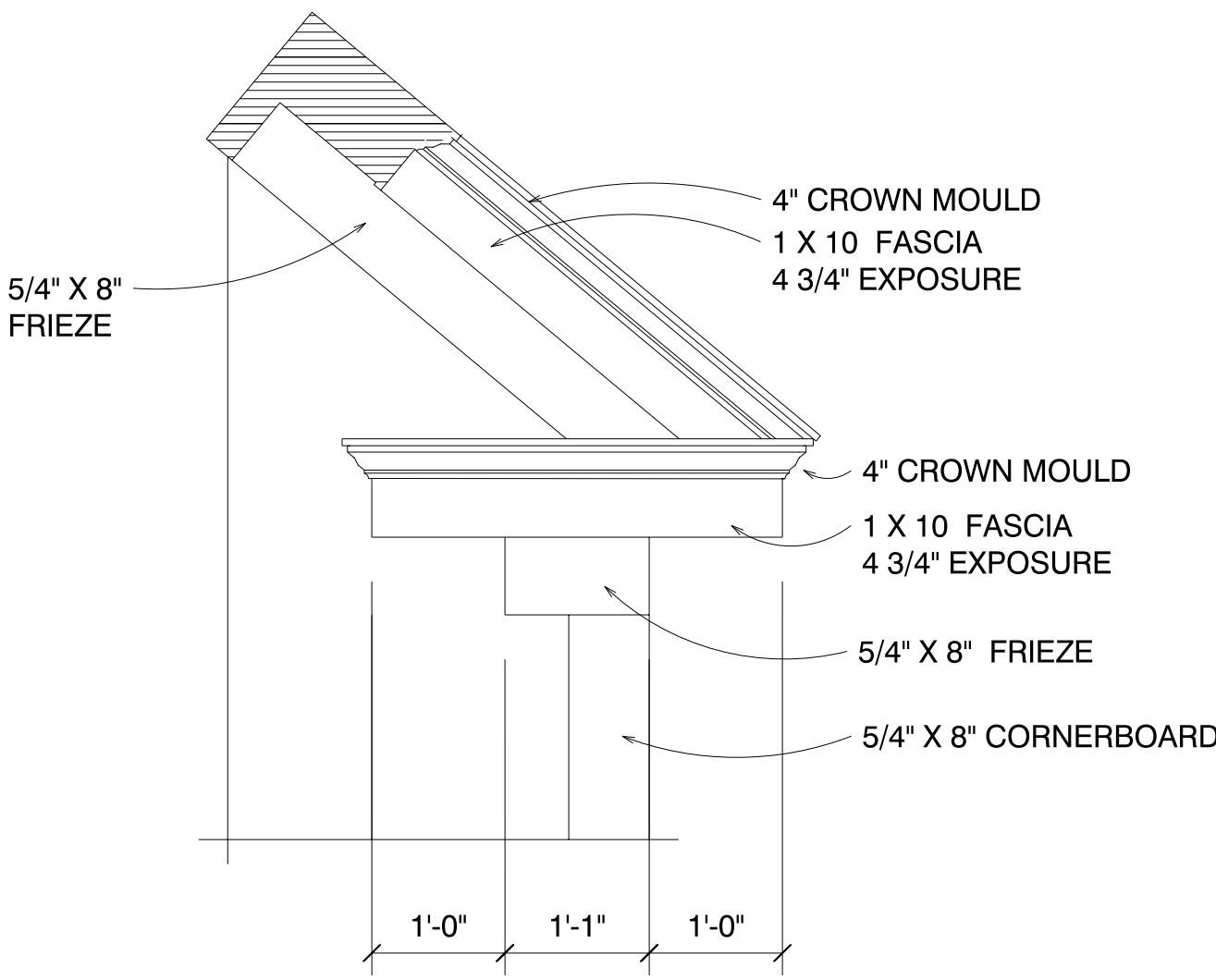
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MAPLEWOOD AVE ELEVATION



BACKYARD ELEVATION



DETAILS
SCALE: 3/4" = 1'-0"

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KEANE
ARCHITECTS
PLLC
ARCHITECTURE
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101 KENT PLACE
NEWMARKET, NEW HAMPSHIRE 03857
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PROPOSED RESIDENCE

MAP 141 LOT 3
PORTSMOUTH, NH

☐ TITLE

CONCEPT ELEVATIONS N&E

☐ SCALE

AS NOTED

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PROJECT ☐

PROPOSED RESIDENCE

AP 141 LOT 3
PORTSMOUTH, NH

TITLE

TE PLAN

SCAI

NOTED

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CHECKED BY: mjl

ATF

4

SITE PLAN

SCALE: 1" = 10'-0"

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