MEETING OF THE HISTORIC DISTRICT COMMISSION

1 JUNKINS AVENUE PORTSMOUTH, NEW HAMPSHIRE EILEEN DONDERO FOLEY COUNCIL CHAMBERS

Members of the public also have the option to join the meeting over Zoom (See below for more details)*

6:30 p.m. August 04, 2021

AGENDA

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

I. APPROVAL OF MINUTES

- 1. July 07, 2021
- 2. July 14, 2021

II. ADMINISTRATIVE APPROVALS

- 1. 14 Mechanic Street
- 2. 110 Brewery Lane
- 3. 45 market Street
- 4. 46 Maplewood Avenue
- 5. 379 New Castle Avenue
- 6. 57 Salter Street
- 7. 93 State Street
- 8. 145 Maplewood Avenue

III. CERTIFICATE OF APPROVAL EXTENSION REQUESTS

A. Request by **Deer Street Associates, owner,** for property located **161 Deer Street, "Lot 5"**, for a third one-year extension of a Certificate of Approval originally granted by the Historic District Commission on July 11, 2018. Wherein permission was requested to allow the demolition of an existing structure on the lot and allow the construction of a new free-standing structure (construct 5-story mixed use building) as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 17-3 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

IV. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **64 Vaughan Mall, LLC, owner,** for property located at **64 Vaughan Street,** wherein permission is requested to allow new construction to an existing structure (add a 3-story addition and create new entry points to the Worth Lot) and additional site improvements as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

V. PUBLIC HEARINGS (NEW BUSINESS)

- 1. Petition of **Dagny Taggart, LLC, owner,** for property located at **60 Penhallow Street,** wherein permission is requested to allow the installation of artwork on the property site as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 27 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.
- 2. Petition of **Raikic Realty of Hanover, LLC, C/O John & Cynthia Kacoyanis, owners,** for property located at **55 Hanover Street, Units 6A, 6B, 6C, and 6D,** wherein permission is requested to allow renovations to an existing structure (replace all windows in 4 units) as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 and Lot 23 and lies within the Character District 4-L2 (CD4-L2), Downtown Overlay and Historic Districts.
- 3. Petition of **Stephen G. Bucklin, owner,** for property located at **322 Islington Street,** wherein permission is requested to allow new construction to an existing structure (new foundation for existing carriage house and construction of a 1-story addition to existing main house) and exterior renovations (new trim and siding on the east and north elevations) as per plans on file in the Planning Department. Said property is shown on Assessor Map 145 as Lot 3 and lies within the Character District 4-L2 (CD 4-L2) and Historic Districts.
- 4. Petition of **Philip & Joy Rowlands, owners,** for property located at **199 Middle Street,** wherein permission is requested to allow the demolition of the existing shed and the addition of a new shed on the property as per plans on file in the Planning Department. Said property is shown on Assessor Map 127 as lot 6 and lies with the Mixed Research Office (MRO) and Historic Districts.
- 5. Petition of **William & Barbara Southworth, owners,** for property located at **39 Pickering Street,** wherein permission is requested to allow the replacement of the existing shed with a larger shed on the property as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 5 and lies within the General Residence B (GRB) and Historic Districts.
- 6. Petition of **Dagny Taggart, LLC, owner,** for property located at **93 Pleasant Street,** wherein permission is requested to allow renovations to an existing structure (several maintenance repairs, new roofing, windows, and gutters) and the demolition of a 1-story rear addition as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

VI. ADJOURMENT

*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser:

https://us06web.zoom.us/webinar/register/WN_bjrH9hnMQqO-3pSsGnNO0A

MEETING OF THE HISTORIC DISTRICT COMMISSION

1 JUNKINS AVENUE PORTSMOUTH, NEW HAMPSHIRE EILEEN DONDERO FOLEY COUNCIL CHAMBERS

Members of the public also have the option to join the meeting over Zoom (See below for more details)*

6:30 p.m. August 11, 2021

AGENDA

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

I. ADMINISTRATIVE APPROVALS

II. PUBLIC HEARINGS (NEW BUSINESS)

1. (Work Session/Public Hearing) Requested by **Lucky Thirteen Properties, LLC, owner,** for property located at **361 Islington Street,** wherein permission is requested to allow new construction to an existing structure (construct 1-story side addition) and renovations to an existing structure (replace windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 144 as Lot 23 and lies within the Character District 4-L2 (CD4-L2) and Historic Districts.

III. WORK SESSIONS (OLD BUSINESS)

- A. Work Session requested by **238 Deer Street, LLC, owner,** for property located at **238 Deer Street,** wherein permission is requested to allow the demolition of the existing structure and the construction of a new 3-4 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.
- B. **REQUEST TO POSTPONE-** Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners,** for property located at **137 Northwest Street,** wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.
- C. Work Session requested by **Dagny Taggart, LLC, owner,** for property located at **93 Pleasant Street,** wherein permission is requested to allow renovations to an existing structure (renovations of existing building) and new construction to an existing structure (construct 3-story

addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4) and Historic Districts.

- D. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners,** for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue,** wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.
- E. **REQUEST TO POSTPONE** Work Session requested by **Ross D. Ellenhorn and Rebecca J. Wolfe, owners,** for property located at **279 Marcy Street, Unit #3,** wherein permission is requested to allow new construction to an existing structure (construct recessed deck on 3rd floor) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 45-3 and lies within the General Residence B (GRB) and Historic Districts.
- F. **REQUEST TO POSTPONE** Work Session requested by **Mary H. and Ronald R. Pressman, owners,** for property located at **449 Court Street,** wherein permission is requested to allow renovations to an existing structure (add 4th floor addition and roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

IV. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Port Harbor Land, LLC, owner,** for property located at **2 Russell Street and 0 Deer Street (2 lots),** wherein permission is requested to allow the construction of a new freestanding structure (3-5-story mixed-use building) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 124 as Lot 12, Map 118 as Lot 28, and Map 125 as Lot 21 and lie within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

V. ADJOURMENT

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https://us06web.zoom.us/webinar/register/WN_Nz7CNhnJSEKHU7dyvl_ASQ

MINUTES of the HISTORIC DISTRICT COMMISSION

1 JUNKINS AVENUE PORTSMOUTH, NEW HAMPSHIRE EILEEN DONDERO FOLEY COUNCIL CHAMBERS

6:30 p.m. July 07, 2021

MEMBERS PRESENT: Acting Chairman Jon Wyckoff; Acting Vice-Chair Margot

Doering; City Council Representative Paige Trace; Members Martin Ryan, David Adams, and Dan Brown, Alternates Karen

Bouffard and Heinz Sauk-Schubert

MEMBERS EXCUSED: Reagan Ruedig

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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Alternate Sauk-Schubert took a voting seat for all petitions except where otherwise noted.

I. APPROVAL OF MINUTES

1. June 02, 2021

The June 2 minutes were **approved** as presented by unanimous vote.

2. June 09, 2021

The June 9 minutes were **approved** as amended by unanimous vote.

Acting Chair Wyckoff stated that Petition 3 for 12 South Street and Administrative Approval Item 1 for 14 Mechanic Street were postponed.

II. ADMINISTRATIVE APPROVALS

Note: the items were not reviewed in sequence.

It was moved, seconded, and passed unanimously to pull out Administrative Approval Items 2, 7, 11, and 13 for separate review.

1. 14 Mechanic Street

The item was postponed.

2. 32 Pickering Street

Mr. Brown recused himself from the petition.

The request was to change the lighting to a lantern style.

Mr. Adams moved to **approve** the request, and Acting Vice-Chair Doering seconded. The motion **passed** by unanimous vote, 7-0.

3. 165 Court Street

The request was to change the previously-approved awning design to make the aluminum frame wider and to project the awning farther.

4. 15 Middle Street

The request was to change the façade windows to make them fire-rated glass. Mr. Cracknell noted that the dormer was also a bit lower on the roof than shown on the drawing.

5. 306 South Street

The request was to add a 42-inch New England white picket fence in the backyard.

6. 166 New Castle Avenue

The request was to extend the existing fence and place it on top of the stone wall. Mr. Cracknell said the applicant would request an amendment from the City Council.

It was **stipulated** that the applicant obtain a license from the City Council to the work within the right-of-way.

7. 241 Middle Street

Mr. Cracknell said the brownstone building was in disrepair and wasn't sure if what the applicant proposed was appropriate for the multitude of repair strategies and probably replacements. Acting Vice-Chair Doering said there was a lack of understanding of the materials and how well the recommended type of repair material would work with the existing brownstone. Acting-Chair Wyckoff said Ms. Ruedig phoned him and said she was concerned about how the material would be applied and wanted to ensure that the person doing it was knowledgeable of the technique. It was further discussed. Mr. Adams said he would be more comfortable if the contractor came before the Commission with photographs and specific locations for where the work would be done and also thought there should be a site walk.

Mr. Cracknell said the contractor could do a mockup of his first repair that the Commission could inspect. Mr. Adams suggested an onsite seminar on the product as well. Acting Vice-Chair Doering said she'd also like to know if the contractor would recreate what was there or just cover up the existing. Acting-Chair Wyckoff said seeing a mockup and getting clarification of what would be done would be the best thing.

Mr. Adams moved to **approve** the request with the following **stipulations**:

- The contractor shall do a mockup of the first brownstone repair and notify the Planning Department so members of the Commission can do a site walk;
- The contractor shall clarify how the brownstone shall be restored.

City Council Representative Trace seconded. The motion passed unanimously, 7-0.

8. 125 Bow Street

The request was to replace the mechanical equipment on the rear patio. Mr. Cracknell said it wasn't a replacement in kind but an amendment to a previously-approved project and that it was smaller and wouldn't be seen from anywhere but the abutting property.

9. 60 Penhallow Street

Mr. Cracknell said the request was approval for the artwork presentation. Acting Vice-Chair Doering asked what purview the Commission had regarding the style of art. It was further discussed. Mr. Ryan said the applied material would have a lot of impact on the building's façade and asked if the Legal Department or City Manager had been consulted. He said he wasn't comfortable with the Commission suddenly making a decision on public art. Mr. Cracknell said the murals on the Tuscan building came before the Commission and that transformer and mechanical device screenings came before the Commission regularly. He said the art was a particular kind of screen and the code was very clear that it required HDC approval. City Council Representative Trace said she didn't feel comfortable passing judgment on art on behalf of the city residents. Acting-Chair Wyckoff suggested pulling the item out for separate discussion and vote.

It was moved, seconded, and passed unanimously to review the item separately from the others.

The applicant's representative architect Tracy Kozak was present and said the art and sculpture were exempt from the Commission's purview other than the two pieces that screened the mechanical equipment. Acting-Chair Wyckoff said it came down to the reflective wall and the bronze wall that covered up the transformers. Mr. Cracknell said the request was before the Commission because the art pieces were elements associated with the building that needed to be approved. Mr. Ryan said it was an important issue and that some of the art pieces were iconic and others would become some of the building's fabric.

Mr. Adams moved to have the request return before the Commission as a public hearing, and City Council Representative Trace seconded. The motion **passed** unanimously, 7-0.

10. 60 Penhallow Street

The request was for mechanical equipment changes on the roof and minor changes on the copper. The applicant's representative architect Tracy Kozak was present and said they wanted

to add a few more mechanical units and also change some sections of the upper roof to a membrane the same color as the copper. She said they wanted to change the copper shingles on the frieze-bands from factory pre-patina ones to field painted ones instead. She also noted that a duct would connect the two fans on the roof. Ms. Kozak showed samples of the patina to the Commission, noting that the smaller sample was brighter and would be toned down to match. She said mockups would be done before construction so that the Commission could see them. She also said they now wanted to use zinc for the band of gray metal on top of the shingle pads instead of fake zinc. Acting-Chair Doering said approval of the product would be dependent on seeing the product. Ms. Kozak said she would update the Commission as to when it would be on site.

It was **stipulated** that a mockup of the copper finish would be done and reviewed by the Commission.

11. 553 Islington Street

Mr. Cracknell said the contractor reduced the five façade windows by 20 percent in the openings, which gave the building a very different look. He said the contractor was notified that he should appear before the Commission first but installed the windows anyway. Acting-Chair Wyckoff said the framing contractor stated that the existing windows had no header over them, so they had to shrink the windows in order to place the header in the opening. He said the windows were close to the floor, which necessitated safety glass, so inappropriate windows were bought. Acting Vice-Chair Doering said the replacement windows completely changed the defining characteristics of the house and were unacceptable. City Council Representative Trace said it was disturbing that the City asked the contractor to stop the project but the windows were put in anyway. Mr. Adams said the Commission worked hard to accommodate the plans of the architect and applicant by doing a thorough review and placing a level of trust in the contractor. Acting-Chair Wyckoff said the exterior casings that the contractor said would be restored and copied on the other windows were also wiped out.

Acting Vice-Chair Doering moved to **deny** the request, and City Council Representative Trace seconded. The motion **passed** unanimously, 7-0.

12. 49 Hunking Street

The request was to install four footpath lights.

13. 124 State Street

The applicant Laura Ludes was present and said she wanted to remove the pergola off the 3rd floor balcony, construct a sidewall for the roof deck, and fill two front basement windows with granite. She said the fire code required a minimum 30" height on the wing wall as well as a 42" tall handrail in the front. In response to Mr. Ryan's question, the applicant said the wall would be capped with bluestone.

Mr. Ryan moved to **approve** the request, and Acting Vice-Chair Doering seconded. The motion **passed** unanimously, 7-0.

14. 290 Pleasant Street, Unit #6

The request was to install a condenser on the back of the building. It was stipulated that the conduit on the outside would be field painted to match the brick.

15. 6 Rock Street, Unit #4

Mr. Cracknell said the Inspection Department authorized the owner to do an emergency repair on the deck, so the owner removed the deck and was reframing it. He proposed to use pressure-treated wood for the framing, a composite for the kickboard, and mahogany for the treads and decking. Mr. Adams asked about the posts, rails, and balusters. The applicant Kate Coyle was present and said they would replicate what was there before by making them all pressure-treated wood and staining them to match the house.

It was **stipulated** that the decking and stair tread shall be mahogany.

Mr. Adams moved to **approve** Items 3, 4, 5, 6, 8, 10, 12, 14 and 15, with applicable respective stipulations on some of them, and Acting Vice-Chair Doering seconded. The motion **passed** unanimously, 7-0.

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **KWA, LLC, owner,** for property located at **165** Court Street, wherein permission was requested to allow new signage and a mural on the southwest wall of the existing structure as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 27 and lies within the Character District 4 (CD4) and Historic Districts.

SPEAKING TO THE PETITON

The applicant's representative architect Jeremiah Johnson was present. He reviewed the proposed mural and gave a brief history of it. He said the mural was an artist's rendering of Ruth Blay and would be painted on a thin vinyl material. The designer Terence Parker was also present and said the design was based on a book called The Hanging of Ruth Blay and would promote her story and address gender violence, which was still a relevant topic.

Acting Vice-Chair Doering asked how long the adhesive vinyl would be on the side of the building and if there were concerns about effects of rain, moisture, and so on. Mr. Parker said the mural's life expectancy was 7-10 years. Mr. Ryan said it was an icon and asked if it was meant to be there in perpetuity, noting that there was an adjoining property and someone might want to build up against it in the future. Mr. Johnson said someone could build to their zero-ft lot line and hide the mural, but he didn't expect it to happen in the near future and physically there wouldn't be an issue because the mural was a temporary material.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

City Council Representative Trace moved to **grant** the Certificate of Approval for the petition as presented, and Mr. Brown seconded.

Mr. Trace said it was an acceptable design to the neighborhood because it would be on a building that wasn't necessarily a historic one and would speak to a current issue. She said it was an expression of a group of people, it was a non-profit project, and it was something appropriate for that particular building.

The motion **passed** unanimously, 7-0.

2. Petition of **Martingale, LLC, owner**, for property located at **99 Bow Street,** wherein permission was requested to allow new construction to an existing structure (expand existing deck and dock structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 54 and lies within the Downtown Overlay, Character District 5 (CD5) and Historic Districts.

SPEAKING TO THE PETITON

Architect Jeremiah Johnson was present on behalf of the applicant, along with project designer Terence Parker and Attorney Sherilyn Burnett Young. Mr. Johnson reviewed the petition and said two separate decks were proposed: the west end deck expansion would be a public wharf deck and the east end deck expansion would expand the outside dining and also include a floating dock. He noted that there would be no increase in occupancy.

Acting Vice-Chair Doering asked who was in charge of how much the decks could go over the water. Mr. Johnson said it was the State. In response to further questions, Mr. Johnson said the right section of the left deck expansion would be an extension of the drink rail and a hostess stand, and the other side would be a public 504-sf deck and another slightly larger deck. He said there would be appropriate signage and the decking material would be similar to the existing decking, with a new rail design. Mr. Adams asked for more explanation on why both additions to the current deck were curved on their expression to the waterfront. Mr. Johnson said it was a nice way to soften the sharp corners, and it was further discussed. Mr. Brown asked what the deck's current capacity was changed to. Mr. Johnson said it was currently 100 and would increase to just under 200, making the total restaurant capacity 333. City Council Representative Trace noted that there were multiple points of egress into the restaurant and onto the deck and asked how it was known that the ebb and flow would work property and that there would be only 200 people at most on the deck. Mr. Johnson said it was a seasonal operation and that people would

be counted at the door. He said people could only access the deck by coming down the stairs from the interior or from the tiny pinch point at the far end of the dock.

Mr. Parker spoke to the proposed murals, noting that they were based on a book written by the University of New Hampshire professor Jeff Bolster about the history of Afro-American sailors. He said the murals would be bronze sculptures and would be located near the 32 linear feet of seating on the public dock. He noted that the murals were scaled back from 27 feet to 17 feet and from 16 feet to about seven feet at the request of Harpoon Willy's so that they wouldn't obscure their views. He said the east mural would have planter boxes and a green wall on the back side.

City Council Representative Trace noted that the public had not seen the handouts given out to the Commission. Mr. Johnson suggested pulling the murals out of the petition and resubmitting them at a later date. It was agreed to remove the murals component from the petition.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING AGAINST THE PETITION

John Sherman of 111 Bow Street said he was an attorney and owned Unit 2. He said he submitted some materials to the Commission about how the border in the 20-ft side buffer between his building and the applicant's was being used for trash storage and that the trash would increase because the restaurant size would double. Acting-Chair Wyckoff said trash wasn't in the Commission's purview. Mr. Sherman said the Commission previously approved a much different plan. He said the applicant went before the Conservation Commission in 2012 and said they would not extend the docking structure any further into the water. He said the Conservation Commission did not approve the project and neither did the Department of Environmental Services (DES). Acting-Chair Wyckoff said the applicant would have to go before the Conservation Commission again, but that the HDC was a design review board. Mr. Sherman said the proposed project was massive for the waterfront.

John Hare of 113 Bow Street said he was strongly opposed to the proposed expansion due to concerns about noise and light, and also the added congestion to Bow Street from more delivery and trash removal trucks.

David Sands of 113 Bow Street said he had lived there since 1998 and that the street had dramatically changed since then. He said the project would hurt the historic character of the building and the area.

Katy Sherman of 111 Bow Street, Unit 2, said when the existing wharf was approved, the owner said he wouldn't ask for anything more. She said the garbage was being pushed against her building already and would be doubled with the expansion. She said the dock was within her 20-ft buffer, and she was concerned about how the tugboats would navigate around the expanded wharf. She said the project was a huge impact to the shoreland and wetlands and should have a site review. Mr. Cracknell said the project would be reviewed by the Technical Advisory Committee and a site plan would get approved, which would capture all the issues of waste disposal and zoning buffer compliance. He said the ecological impacts on marine life were a

Conservation Commission issue, and lighting, noise and traffic impacts were not the HDC's purview. He offered to meet with her and her husband to further discuss the issues.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Attorney Sherilyn Young said the building was redeveloped in 2012 but now had greater flexibility. She said the structures on the waterside were consistent with other waterfront commercial structures in the area. She said the applicant received the approval of the condominium association at 109 and 111 Bow Street to consent to the 0-ft setback and would also go before the DES but wouldn't have to go before the Army Corps of Engineers. She said two of the Commission's review purposes were to strengthen the local economy and to promote the use for education, pleasure, and welfare of the community. She said the project would offer the public a unique view of the waterfront.

No one else rose to speak, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Mr. Adams moved to **grant** the Certificate of Approval for the petition as presented, for purposes of discussion. Mr. Ryan seconded.

DISCUSSION

Mr. Adams said he had a problem with the deck's optics because it looked like a pleasure dock instead of a historic working one and he was uncomfortable having it be the signature of the City. He said he was also bothered by the curved nature of the decks. He said the applicant was throwing a bone by making a portion of the dock public. He said he was in support of much of the project conceptually except for the actual design of it. Mr. Ryan said the waterfront wouldn't ever be a working dock again and that the existing dock was already a pleasure dock. He said concerns about noise, trash, odors, and so on were not the Commission's purview. He said he saw nothing more than an expansion of what was already there and thought it was a good expansion and a lot was done to provide artwork. He said it was where the public got access to the waterfront, and he said it was also his way of experiencing the waterfront by going there and having a drink because he didn't have access to any waterfront from his home. He said he would support the project and looked forward to it. He noted that it would bring in more tourism and might be more intense but it was just the nature of what currently existed on the waterfront.

City Council Representative Trace said the massing was huge and said she felt she was looking at something in Monte Carlo. She said she couldn't get behind the project because it was just too large. Acting Vice-Chair Doering agreed. She said she appreciated that the applicant was trying to give the public some access but thought that access was relatively small compared to the mass requested for the restaurant's use. She said it didn't tip the scale for her. Mr. Brown agreed and said a smaller and tucked-in deck in the first half would fit in better. Mr. Sauk-Schubert said he agreed that the public access portion was a bone the developers were throwing to the public and thought it should be enlarged. He said he didn't know of any other decks that were segmented like that. He said he saw it as a pure commercial enterprise that didn't really give back to

intrinsic Portsmouth. Ms. Bouffard agreed that the massing was too much and thought the public offering wasn't large enough to really make a difference.

DECISION

The motion **failed** by a vote of 5-2, with Acting Vice-Chair Doering, Mr. Adams, Mr. Brown, Mr. Sauk-Schubert, and City Council Representative Trace voting in opposition.

3. **REQUEST TO POSTPONE -** Petition of **William T. & Susan Manfull, owners,** for property located at **12 South Street,** wherein permission is requested to allow new construction to an existing structure (construct a 1-story addition at the rear of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 42 and lies within the General Residence B (GRB) and Historic Districts.

The petition was postponed.

4. Petition of **Warner House Association, owner,** for property located at **150 Daniel Street,** wherein permission was requested to allow the construction of a new freestanding structure (2-story carriage house) and the installation of mechanical equipment (A/C condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 58 and lies within the Downtown Overlay, Civic and Historic Districts.

SPEAKING TO THE PETITON

Architect Anne Whitney was present on behalf of the applicant to review the petition and said there were a few changes from the previous work session. She said the building would be pulled a foot away from Bow Street due to the retaining wall and the sidewalk would be reworked; the front door would be a faux door with a granite sill; and a heat pump would be on the back and fenced in. She noted that the left-side foundation would run higher so a fieldstone veneer would be done and the gap would be bridged with a stone wall. She said the door at the top that was shown on the original building would be a window, the right-side door would be traditional tongue-and-groove with a glazed door; and widows would be Green Mountain true-divide lights with mahogany sills. She said an electric meter might be placed in the rear elevation, and the right-side elevation would have a fire-rated wall with no fenestration. She said the roof would be yellow cedar and that she might try to find an older salvaged arrowhead hinge instead of the proposed wrought-iron one.

In response to Mr. Adams' questions, Ms. Whitney said the roof would be coursed 5-6 inches. She said there might be other vents in the back enclosed area and was considering the electric service because of the big tree that was there. She said there would probably be a built-in with a door and an electric panel and a meter inside the building. She said the veneer on the foundation would have a natural stone shelf.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

Robert Barth of Lee, NH said he was associated with the Warner House as a former Chair and that the proposed carriage house would allow hands-on activities for visiting groups, seeing that the Warner House itself had some limitations as a museum. He said the ground-floor handicapped bathroom of the proposed carriage house would allow wheelchairs and walkers to access the first floor of the Warner House as well. He said the project would allow exhibition space, a meeting room for educational programs, and a staging area for garden functions. He noted that support for the project was evidenced by pledges of \$50,000 by six board members.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one else was present to speak, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Mr. Adams moved to **grant** the Certificate of Approval for the petition as presented, with the following **stipulation**:

- There shall be a storm door included with the right-side tongue-and-groove door.

City Council Representative Trace seconded.

Mr. Adams said the building was an asset to the community and filling a blank of missing utility space to the historic house would be in keeping with the architecture of our museum materials and easy to support. Ms. Trace said the project was a breath of fresh air for Portsmouth and thanked everyone on the Warner House Board for having the vision to do it appropriately.

The motion passed unanimously, 7-0.

5. Petition of **John Durkin, owner,** for property located at **564 Middle Street,** wherein permission was requested to allow renovations to an existing structure (replace (3) existing windows and create new side and rear windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 147 as Lot 11 and lies within the Mixed Research Office (MRO) and Historic Districts.

SPEAKING TO THE PETITON

The applicant John Durkin was present and said two rooms would be swapped in use because he wanted to make the kitchen more welcoming to the backyard. He noted that the large double hung window would be a French door, the single door would become a window, and the casement window would become a window of the same size and dimension as the east corner windows. He said the bay windows on the rear would be replaced by Harvey Majesty windows.

Mr. Adams asked if the casings on the door and two window replacements would be changed to make them uniform on the building. The applicant said the casing on the new door would be similar to the casing on the old door and also for the windows, and everything would have the

same type of materials and dimensions. Mr. Adams noted that the casement window along the driveway wasn't trimmed out and looked new, and the triple unit casement window encroached to the neighborhood over the entryway to the apartment. He asked if something would be done to the new window location, and the applicant explained how it would be done.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Mr. Adams moved to **grant** the Certificate of Approval for the petition as presented, and City Council Representative Trace seconded.

Mr. Adams said it was a compatible description of fenestration of the house that was there now and compatible with the house's materials and design. He said the project would move the house to a more concise exterior than it currently had.

The motion passed unanimously, 7-0.

6. Petition of **Susan Alex Living Trust, Susan Alex Trustee, owner,** for property located at **50 Mt. Vernon Street,** wherein permission was requested to allow new construction to an existing structure (add dormers to existing garage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 111 as Lot 29 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

Designer/builder Matt Beebe was present on behalf of the applicant to review the petition and noted that the project received approval from the Board of Adjustment. He said the applicant wanted to convert a portion of the first story and all of the second story into an ADU for her son. He said the two-dormer design was necessary for the expansion and that the dormers would be set back from the gable ends. He said there would be a small amount of roof showing at the face of the dormer but the dormer windows would only look out to the applicant's property. He said the wall-mounted mini split condenser at the back would be hidden by screening.

There were no questions from the Commission. Acting-Chair Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

Kathleen Beauchamp of 21 Blossom Street said she was in favor of the project because using space to make another living space for a family member was the kind of thing people wanted to

see more of in Portsmouth. She said the great design would be compatible with the neighborhood.

SPEAKING TO, FOR OR AGAINST THE COMMISSION

No one rose to speak, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, and Mr. Brown seconded.

Mr. Ryan said the project would preserve the integrity of the District and would be compatible with the design of surrounding properties.

The motion passed unanimously, 7-0.

7. Petition of **Neal Pleasant Street Properties**, **LLC**, owner, for property located at **420 Pleasant Street**, wherein permission was requested to allow new construction to an existing structure (remove existing rear entryway, replace existing south east addition with added rooftop deck, construct 3-story stair enclosure, and construct new rear entry porch) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 56 and lies within the General Residence and Historic Districts.

SPEAKING TO THE PETITON

Architect Jeremiah Johnson was present on behalf of the applicant. He reviewed the petition, noting that the five-unit apartment building would be converted to three units. He same some differences from his previous presentation included a change in the back porch windows' layout and rhythm and more railing details. He said the existing details and materials on the building would be matched, and an iron railing would be used on the roof deck and rear stairs. He said the granite stairs would be re-used. He discussed the three roof options.

Acting Vice-Chair Doering asked what the blank panel in the middle of the back porch was. Mr. Johnson said there was a wall inside the porch and they decided to have a replicated panel because it would look better than having siding on that side. The panel was further discussed and it was decided that it should return as an administrative approval.

Mr. Ryan said he liked Option A for the roof. Mr. Adams said he preferred Option B because it resolved the window location better, and other Commissioners agreed, so it was decided to use Option B for the roof. Mr. Johnson noted that Option B was also the applicant's preference.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

Richard Nylander said he was a neighbor and thought Option B was the best option because the bumpout wouldn't be seen from the ground level and he thought it was a good solution for the problems at the back of the house.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one else was present, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Mr. Adams moved to grant the Certificate of Approval for the petition as presented, with the following stipulations:

- The applicant shall use Option B for the roof; and
- The rear porch level shall be changed to include more clapboard than panels and that element shall return as an administrative approval.

City Council Representative Trace seconded.

Mr. Adams said Option B would be more in keeping with the materials and design of the original structure. He said the materials and design were compatible with the house as well as designs of surrounding homes in the neighborhood.

The motion passed unanimously, 7-0.

8. Petition of **LAXMI Realty, LLC, owner,** for property located at **33 Gardner Street,** wherein permission was requested to allow renovations to an existing structure (replace removed chimney) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 16 and lies within the General Residence B (GRB) and Historic Districts.

Mr. Adams recused himself from the petition, and Alternate Bouffard assumed a voting seat.

SPEAKING TO THE PETITION

The applicant Rita Patel was present. Mr. Cracknell spoke on her behalf and said the left chimney was removed by mistake by the contractor and a vent was still present on the back side of the roof. He said the applicant wanted to remedy the defect and replace the chimney in kind with a restoration brick and appropriate mortar. He said he recommended someone to give the applicant the right specifications, and the applicant would put the chimney back in kind with the same profile and dimensions as the chimney on the other side.

Acting-Chair Wyckoff opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one rose to speak, and Acting-Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, and Acting Vice-Chair Doering seconded.

Mr. Ryan said the project would preserve the integrity of the District and would be compatible with the special defining surrounding properties.

The motion passed unanimously, 7-0.

IV. ADJOURNMENT

The meeting was adjourned at 10:00 p.m.

Respectfully submitted,

Joann Breault HDC Recording Secretary

MINUTES of the HISTORIC DISTRICT COMMISSION

1 JUNKINS AVENUE PORTSMOUTH, NEW HAMPSHIRE EILEEN DONDERO FOLEY COUNCIL CHAMBERS

6:30 p.m. July 14, 2021

MEMBERS PRESENT: Acting Chairman Jon Wyckoff; Acting Vice-Chair Margot

Doering; City Council Representative Paige Trace; Members Reagan Ruedig, Martin Ryan, David Adams, and Dan Brown;

Alternate Karen Bouffard.

MEMBERS EXCUSED: Alternate Heinz Sauk-Schubert

ALSO PRESENT: Nick Cracknell, Principal Planner, Planning Department

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Acting Chairman Wyckoff read the postponements into the record.

It was moved, seconded, and passed unanimously (7-0) to **postpone** Work Sessions for 137 Northwest Street, One Raynes Avenue, 279 Marcy Street, and 449 Court Street to the August 4k 2021 meeting.

I. ADMINISTRATIVE APPROVALS

Mr. Adams recused himself from the following item and Ms. Bouffard took a voting seat.

1. 21 Humphrey's Court

Mr. Cracknell said the request was to remove and replace two decks and stairways (decking, framing, kickboard, treads, and handrail systems). He said the applicant decided to use a mahogany rail and an Epay wood deck, with the rest of the items pressure treated.

2. 1 Harbour Place

Mr. Cracknell recommended that the item be continued to the August 4 meeting because the applicant wasn't present and needed to be.

Ms. Ruedig moved to **approve** Item 1 and **continue** Item 2, and City Council Representative Trace seconded. The motion **passed** by unanimous vote, 7-0.

II. CERTIFICATE OF APPROVAL - EXTENSION REQUESTS

1. Petition of Mill Gate Condominium Association, owner, and Lassen Family Revocable Trust, Charles L. and Susan E. Trustees, applicants, for property located at 19

South Street, Unit 1, wherein permission was requested to allow a 1-year extension of the Certificate of Approval originally granted on August 05, 2020 for exterior renovations to an existing structure (on the rear elevation remove one window and one door and add two new windows and new patio door) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as lot 53-1 and lies within the General Residence B (GRB) and Historic Districts.

DECISION OF THE COMMISSION

Ms. Ruedig moved to **grant** the one-year extension request, and Mr. Ryan seconded. The motion **passed** by unanimous vote, 7-0.

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Stone Creek Realty, LLC, owner,** for property located at **53 Green Street,** wherein permission was requested to allow the demolition of the existing structure and the new construction of a 3-5 story mixed-use building) as per plans on file in the Planning Department. Said property is shown on Assessor Map 119 as Lot 2 and lies within the Character District 5 (CD5) and Historic Districts.

SPEAKING TO THE PETITION

Work Session

Jeff Johnston of Cathartes was present on behalf of the applicant and requested a work session before the public hearing. Project team Rob Simmons and architect Carla Goodnight were also present. Ms. Goodnight reviewed the petition, noting that the Green Street elevation was shifted over four feet and increased four feet, but the architecture and building remained largely unchanged. She said the biggest change was the new elevation, where the corner balconies were filled in, commercial spaces were increased, and there were glazed corners along the path. She said the transformer was moved to a less prominent location near the garage door opening.

Mr. Adams said it was an improvement and helped make the Green Street piece speak more for itself. He said he was pleased with what the 4-ft shift accomplished. Ms. Ruedig said the streetscape was also improved because the addition of commercial space or pedestrian level activity by adding entrances and glass on the side helped that portion of the building. City Council Representative Trace remarked that just shifting one particular end of the building over made it much more interesting on that side.

Acting Chairman Wyckoff closed the work session and entered into the public hearing.

PUBLIC HEARING

Ms. Goodnight reviewed the site and landscape plans, architecture, and details. She noted that the public art piece would be coordinated with 3S Artspace. Acting Chair Wyckoff asked what material came down the Green Street sidewalk, and Ms. Goodnight said it was cast stone. He recommended that it be sealed every year to prevent what was happening to Portwalk Place, and

Ms. Goodnight agreed. She reviewed the updated landscape plan. Acting Vice-Chair Doering asked what kind of screening surrounded the transformer. Ms. Goodnight said plantings screened it because it was a small area and that it would be screened by the garage on the Market Street Side. In response to other questions, Ms. Goodnight said the transformer was 8'x8' and 5 feet tall and would be painted the color of the building. Mr. Cracknell suggested painting the bollards black instead of bright yellow, and it was further discussed. City Council Representative Trace said the applicant did a great job of listening to the Commission's suggestions and said it was a project that she was proud to get behind.

Acting Chairman Wyckoff opened the public hearing.

SPEAKING TO FOR, OR, AGAINST THE PETITION

No one was present to speak, and Acting Chairman Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, and City Council Representative Trace seconded.

Mr. Ryan said it was a wonderful addition to the north end and a terrific piece of modern architecture and that, although the applicant took some of the more interesting details out of it and made it safer, it was a successful project. He said it would preserve the integrity of the District and was consistent with the special and defining character of surrounding properties.

Ms. Ruedig said she would not support the project. She said there were a lot of successful components, like the Green Street elevation and the way the applicant worked with the bizarre shape of the lot to make the building fit well, and she felt that the applicant incorporated a lot of the Commission's comments, but she thought the north side of the building wasn't a strong enough design for that most visible elevation and could be more interesting. She said overall it wasn't a terrible project but could have a more successful design on the back, and she didn't care for the big curved portions of the building. She said she didn't think it appropriately fit the north end. Acting Vice-Chair Doering said her initial reaction to the building was that it was always too large for that particular location right on Mill Pond and she had always been concerned about the view of it from Mill Pond. She said she couldn't support the project.

The motion **passed** by a vote of 5-2, with Ms. Ruedig and Acting Vice-Chair Doering voting in opposition.

2. Petition of **Ten State Street, LLC, owner,** for property located at **10 State Street, Unit D,** wherein permission was requested to allow renovations to an existing structure (create new State Street entrance with vestibule within the existing entrance footprint) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 4-4 and lies within the Character District 4 (CD4) and Historic Districts.

SPEAKING TO THE PETITION

Josh Butkus was present on behalf of the applicant and reviewed the petition. He said they wanted to alter the entry to the unit to provide more safety and character and were proposing a simple vestibule with a glass entry door. He said the materials to wrap the interior would match the other materials on the building.

Mr. Adams asked if the brick was a veneer on the exterior of a wood frame. The applicant agreed and explained how the brick veneer went up the building. He said the edges would be filled in to look like the other finished edges on the building, and the brick would not be cut on the corners. Mr. Adams asked if a separate casing board would be applied to span midpoint on that end of the brick to cover the edging and framing materials. Mr. Butkus said it would be flat stock casing and would match the wall thickness and wrap the interior of the case opening. In response to further questions, he said the existing granite sill would be incorporated into a granite paver instead of tiles, and a wood lining would come up the sides only on a portion of the interior because the lintel didn't go all the way back through the wall. City Council Representative Trace said the building originally had the appearance of a warehouse and asked if the lintel was just a scabbed-on piece of granite. Mr. Butkus said it wasn't a full triple-wide granite lintel but more of a decorative piece that carried underneath and was stained mahogany. Ms. Ruedig said it was a vast improvement to the elevation.

Acting Chair Wyckoff opened the public hearing.

SPEAKING TO FOR, OR, AGAINST THE PETITION

No one was present to speak, and Acting Chair Wyckoff closed the public hearing

DECISION OF THE COMMISSION

Mr. Adams moved to **grant** the Certificate of Approval for the petition as presented, and Acting-Chair Doering seconded.

Mr. Adams said the improvement changed the building slightly and would help preserve the integrity of the District and would be similar to other properties in the neighborhood.

The motion **passed** by unanimous vote, 7-0.

IV. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **64 Vaughan Mall, LLC, owner,** for property located at **64 Vaughan Street,** wherein permission was requested to allow new construction to an existing structure (add a 3-story addition and create new entry points to the Worth Lot) and additional site improvements as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

SPEAKING TO THE PETITION

Architect Mark Mueller was present on behalf of the applicant, and the applicant Steve Wilson was also present. Mr. Mueller reviewed the petition and said there was a minor adjustment in the

mansard portion of the Hanover Street façade. He said the group of three windows was widened about two feet, so the outer edges of the shed dormer got one foot closer to the corner on either side; and the arced opening to the right of it opened to a covered deck. He noted that the original drawing showed the arced cover with its front façade all the way out, but he said it was pushed back and the cheek walls on each side of it were removed. He said other adjustments included that the corner had two returns and was set in, and there was a deck on both sides and the decks were enclosed. He said the owner preferred a granite material but they intended to build a full-scale mockup of the granite façade and the painted siding.

City Council Representative Trace said the mansard roof on the corner of the fourth floor had an opening for that particular deck unlike the other corner facing the parking lot, and she was concerned that the opening with the rounded roof was just open. Ms. Ruedig said that whole corner was weird and didn't see the feasibility of it, and that it seemed like the resident would want to take away the windows so that the deck was open or else enclose the other side to make it more usable space. She said it looked like there were missing windows in that spot or that it was under construction. Mr. Adams asked about the openings on the brick façade. Ms. Ruedig said she expressed her discomfort for the recessed balcony on the historic side but thought it made sense on this elevation but that it depended on the deck. She said it made a difference if one could see that there was an actual wall behind there. She asked how deep they were and if there would really be a visible wall. Mr. Mueller said there would be a series of the same type of passage doors, at least from the window sill up, and it would have a simulated divided light look and read similar to the windows. He said the insides of the decks would be clad in brick like the exterior and the ceiling would be treated similar to 25 Maplewood Avenue, which was a tongueand-groove wood ceiling surface. He said they would be completely finished and would not be left to the tenant to treat the wall whatever was he or she wanted to.

Mr. Cracknell said he thought the Commission didn't want to have the blank wall but instead wanted the storefront extended on the Worth Lot. He asked if it would be the extended storefront or artwork. Mr. Mueller said they considered both options and chose to leave it as a placeholder for potential public art. Mr. Wilson repeated a few of the Commission's previous comments about art and said most of the Commission preferred the art space instead of a storefront.

Mr. Cracknell asked the applicant if they wanted approval that night for the original Margeson building, with the balconies and art space, or if they wanted approval for the new addition on the back. Mr. Wilson said they wanted approval for both, and it was further discussed. He said the only changes were the depth of the eyebrow and one foot on each side of the dormer to make the windows appear to fit better. Acting Vice-Chair Doering said the old section of the building was previously approved except for the two balconies on the Vaughan Mall side, which would return for an administrative approval item. Ms. Bouffard said it looked odd with the windows on one side and the openings on the other, and she had concerns about the use going forward. She said the occupant could put anything in there that could be detrimental to the whole flavor of that Margeson side. Mr. Mueller explained that the floor of the deck wasn't where the opening started and they had created a visual shield at the floor level, so even if someone put a bike on the deck it wouldn't be seen because there was solid material for the lower few feet and higher on the brick side of the building. Ms. Bouffard asked about drainage, and Mr. Mueller said there were internal drains under the decking. Mr. Ryan said he didn't mind the vertical openings but was

concerned about the corner where the check walls had to be put back to have a relationship with the window and the open balcony. He said there was no dialog between them, but the cheek walls might make them more cohesive. City Council Representative Trace asked how much control the applicant would have in cold weather by closing that one opening on the balcony. Mr. Mueller said the condo documents would restrict what the tenant could do.

Acting Chair Wyckoff asked what could be done about the fourth floor. Mr. Mueller said the proposed material palette was in the package and they would build a full-size mockup with actual granite. He said the bevel siding would be Boral, which would hold paint longer. Acting Vice-Chair Doering said she didn't care for the wire mesh material choice for the rails on the parking lot side. Ms. Ruedig asked if a thin veneer would be applied to the corbeling detail on the top of the brick building. Mr. Mueller said he preferred an authentic corbeling of the brick. Acting Chair Wyckoff said the windows appeared to project out and were different than the side windows. Mr. Mueller said it was a rendering anomaly and that it was a traditional 5/4 stock window surround. He said all the middle windows were larger than the side windows.

Mr. Mueller discussed the garage door and said there was a gap between the extension of the new addition and the restaurant, so they would provide a 20-ft wide easement that also provided a driveway. He said the façade on the right was the far end of that recess to the building. Mr. Ryan said the residential door and the Conair widows didn't look right, and it was further discussed. Acting Chair Wyckoff said he was comfortable with taking away the garage door but thought the fourth-floor balcony needed to come back to the Commission.

Mr. Adams suggested confidence-building views into the balcony spaces and a better view of the cheek walls of the dormer or how they would work out. He said the panels of the doors and windows over the garage door were inappropriate, even though that elevation was thought of as the back side of the house, because people on the Hanover Street side would see it as part of their public view. He said it needed to be more cohesive and that he was struggling with the details. Acting Chair Wyckoff said the fenestration was changed to match the inside, and he suggested having the same triple Andersen double hung windows that were on the second and third floors because it would look better. City Council Representative Trace asked if a certain window by the door was going to be a row of windows. Mr. Wilson said they were covered openings with an open walkway and were not climate controlled. He said it was a ramp that made the transition from Hanover Street. Ms. Trace said she saw a door that looked like someone had to go down 6-7 steps to get to it. Mr. Wilson said it was a security gate that wasn't illustrated well. Acting Chair Wyckoff said the Commission needed details on the gate.

Mr. Wilson asked how the Commission felt about the windows over the garage door matching certain windows better. Mr. Adams asked what the fabric of the balconies would be. Mr. Mueller said it would be a sheet of copper with a zinc finish that would look like a lead-coated copper and have a horizontal reveal breaking up the vertical panel into three components.

Acting Vice-Chair Doering said there were two options on moving forward: having a laundry list of administrative approval items to cover later or asking for a new presentation. She said she was struggling with all the issues coming up and all the questions about things that couldn't be seen. Mr. Wilson said he would return with another garage door option, window changes, and so on.

Mr. Cracknell read the five issues for further consideration:

- 1) Alternatives for the garage door;
- 2) Better details and cross-sections for the tower balconies on Hanover Street;
- 3) More detail on the Vaughan Street balconies;
- 4) Alternative options for the commercial windows over the garage door, dimensionally and stylistically; and
- 5) The arcade having a lot more detail on what's happening with the gate, the openings, the last window, and how the precast will be worked into each of those openings.

City Council Representative suggested having an internal drainage system for snow conditions.

Acting Chair Wyckoff opened the public hearing.

SPEAKING TO FOR, OR, AGAINST THE PETITION

No one was present to speak, and Acting Chair Wyckoff closed the public hearing.

DECISION OF THE COMMISSION

Mr. Adams moved to **continue** the application to the August 4 meeting, and Mr. Ryan seconded. The motion **passed** by unanimous vote, 7-0.

B. Petition of **William T. & Susan Manfull, owners,** for property located at **12 South Street,** wherein permission was requested to allow new construction to an existing structure (construct a 1-story addition at the rear of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 42 and lies within the General Residence B (GRB) and Historic Districts.

SPEAKING TO THE PETITION

Architect Anne Whitney was present on behalf of the applicant and said the request was for a simple addition at the rear of the property that also ran along Marcy Street. She reviewed the windows, doors, and foundation. She said a fireplace with a true chimney would be installed and the existing fencing would have an additional piece of the same style.

Acting Vice-Chair Doering asked about window casings. Mr. Whitney said the sills would match and their depth would be applied with a 5-quarter and 2" sill. She said the flat stock corner boards would match the house and the roofline would be simple. In response to further questions, she said the top of the new chimney would match the style of the existing one. She said there would probably be exterior lighting on the yard side of the addition and two lights on either side of the French door, which she would return for administrative approval for.

Acting Chair Wyckoff opened the public hearing.

SPEAKING TO FOR, OR, AGAINST THE PETITION

No one was present to speak, and he closed the public hearing.

DECISION OF THE COMMISSION

Ms. Ruedig moved to **grant** the Certificate of Approval for the petition as presented, and City Council Representative Trace seconded.

Ms. Ruedig said it was an appropriate addition to the house because it was very simple and the design was seamless and appropriate. She said the addition would complement and enhance the architectural and historic character, would be compatible with surrounding properties, and have a relation to the historic and architectural value of the existing structure.

The motion **passed** by unanimous vote, 7-0.

V. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **238 Deer Street, LLC, owner,** for property located at **238 Deer Street,** wherein permission is requested to allow the demolition of the existing structure and the construction of a new 3-4 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

Architect Jeremiah Johnson was present on behalf of the applicant, along with architect Richard Desjardins. Mr. Johnson reviewed the petition and said the ground floor would have retail space and the upper floors would have residential micro units. He said there were some options for massing, and Option 1 was to divide the building in thirds across the front façade on Deer Street. He said he was inspired with the relationship to the railroad and a lot of the materials and buildings that had a rusticated metal industrial feel. He showed samples of metal and zinc panels. He said the building's challenge was that it felt like a corner lot because it was up against a newly-renovated parking lot. He said breaking the building up into thirds in the front made it look like a smaller module and played off the nearby building, the Deer Street/Maplewood Avenue intersection, and the views from the Foundry Garage and Bridge Street. He said it had a strong cornice line broken by the center line and the penthouse was recessed back.

He said Option 2 had a more receded mass instead of a protruding center, with a bit of a canopy over the storefront. He said they were considering an opaque guard rail at the top and different materials, with wood on top and a metal panel to the side, and stone veneer in the middle. He said the first floor would all be the same material instead of broken up into three masses like Option 1. He said the building would step down from the Deer Street/Maplewood Avenue corner, which was a prominent one, and would reflect that the next lot over was vacant and the building wasn't too many properties away from being in a residential neighborhood.

Acting Vice-Chair Doering said Option 2's roof looked like a fence. Mr. Johnson said it was a guardrail. Acting-Chair Wyckoff asked if the storefront on Option 2 was at the area where the projected middle bay was on Option 1. Mr. Johnson agreed and said they were both up against the sidewalk like the steps were. Mr. Adams said he was sold on the stark international style, the projecting balcony, the approach to the street, and breaking the three units into separate pieces.

Ms. Ruedig said she hoped the playful elements of the building calmed down a bit and that she didn't see much of a difference in the massing. She said the simplicity and bringing the building into a more coherent style would make it a much more successful building. Mr. Ryan said it wasn't a really big building and thought the applicant was trying to do too much with it, with multiple cornices and windows. Mr. Johnson said they didn't have a lot of room to play with the mass and that the busy-ness resulted from trying to make one part different from another. Mr. Ryan said it was just too busy and to keep it one nice beautiful object.

Acting Vice-Chair Doering agreed with some of the comments and said 'simple' went a long way. She said the applicant could find an element or material that could become the focal point, like a line of brick, or a stripe of a motif. Acting Chair Wyckoff agreed. Mr. Brown said the building fit in nicely and was massed well but suggested that the applicant not overdo it. Ms. Ruedig said the doors looked like one entrance in the floor plans but she hoped multiple doors were put across the front. Mr. Johnson agreed. He said the property stepped in on the Bridge Street side and that they were considering changing the material there to a higher-end one on the three divided sections. Acting Vice-Chair Doering asked to see a perspective from Bridge Street at the next meeting.

There was no public comment.

DECISION OF THE COMMISSION

Ms. Ruedig moved to **continue** the work session to the August 4 2021, meeting, and Mr. Ryan seconded. The motion passed by unanimous vote, 7-0.

B. **REQUEST TO POSTPONE-** Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners,** for property located at **137 Northwest Street,** wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

DECISION OF THE COMMISSION

It was moved, seconded, and passed to postpone the petition to the August 4, 2021 meeting.

C. Work Session requested by **Dagny Taggart, LLC, owner,** for property located at **93 Pleasant Street,** wherein permission is requested to allow renovations to an existing structure (renovations of existing building) and new construction to an existing structure (construct 3-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4) and Historic Districts.

Architect Tracy Kozak was present on behalf of the applicant. She said she wanted to separate the application into two projects and that the renovation of the existing building would happen first. Acting Chair Wyckoff said it would have to be a separate hearing. Ms. Kozak said they would replace the roof shingles and windows on the existing building and use synthetic slate. The windows were discussed and Ms. Kozak said she would bring a sample window in.

Ms. Kozak said the addition was made smaller and shorter and pushed back from the street about six feet, resulting in a loss of eight units. Acting Vice-Chair Doering said it appeared that the addition wasn't stepped back further, and she asked if the wall still had to come down and be rebuilt. Ms. Kozak said they weren't touching the rest of the wall on Court Street. She discussed the old foundation and said they cleaned it up a bit but that it still obscured the bottom three feet of the stone wall, so they wanted to lower the top of that corner so that drivers could see oncoming pedestrians. She said the building was made to look like a unified one that had been there a while and was broken up into smaller masses lower than the Treadwell House, with smaller dormers on top. Ms. Ruedig said the massing was much better and made more sense. She said it was a historically sensitive and important area, and making it match was important. She said she was confident that the details would make it read as though it were new. Ms. Kozak said they could take the addition in different directions depending on how different or old the Commission wanted it to look and could make the differentiation at the breaks where the setback portions were. Mr. Ryan said the addition indicated that it was just as good as the old building but wouldn't shy away from presenting itself to the street. He said the massing was excellent. He asked how the wall on the flat part of the back would be handled, and he said he didn't have a problem with the 16-ft width. Mr. Brown said the addition fit in a lot better and didn't overwhelm the Treadwell House or the addition to the temple. Ms. Bouffard said she had a problem with the connection because it didn't look right. She said she didn't care for glass and thought the addition's design was much more appealing but very different than the connector. City Council Representative Trace said she saw it as a repeat of the porch off the side of the front and thought it looked like an homage to the front. The materials were discussed.

Acting Vice-Chair Doering said the project was heading in the right direction. Acting Chair Wyckoff said he was confident the applicant would come back with the proper details for the connector. He said he liked the massing and the fact that the center building was only two stories with dormers, making it look like an old commercial building that had been there a while. He suggested putting shutters on the hip roof of the Federal building, which he thought would make a big difference in separating the two buildings. Mr. Adams said the sticking point was what it would look like from the sidewalk across the street. Ms. Kozak said she would return with proper elevations and more detailed views. Mr. Brown asked what was happening on the back with the flat roof, and Ms. Kozak said the mechanical equipment would be hidden as much as possible. Ms. Ruedig said she hoped that much of the original material in the interior would be saved. Ms. Kozak agreed and said the trim around the windows would be restored.

There was no public comment.

DECISION OF THE COMMISSION

Ms. Ruedig moved to **continue** the work session to the August 4, 2021 meeting, and City Council Representative Trace seconded. The motion **passed** by unanimous vote, 7-0.

D. REQUEST TO POSTPONE- Work Session requested by One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners, for properties located at 1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file

in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

DECISION OF THE COMMISSION

It was moved, seconded, and passed to postpone the petition to the August 4, 2021 meeting.

E. **REQUEST TO POSTPONE**- Work Session requested by **Ross D. Ellenhorn and Rebecca J. Wolfe, owners,** for property located at **279 Marcy Street, Unit #3,** wherein permission is requested to allow new construction to an existing structure (construct recessed deck on 3rd floor) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 45-3 and lies within the General Residence B (GRB) and Historic Districts.

DECISION OF THE COMMISSION

It was moved, seconded, and passed to **postpone** the petition to the August 4, 2021 meeting.

F. **REQUEST TO POSTPONE**- Work Session requested by **Mary H. and Ronald R. Pressman, owners,** for property located at **449 Court Street,** wherein permission is requested to allow renovations to an existing structure (add 4th floor addition and roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

DECISION OF THE COMMISSION

It was moved, seconded, and passed to postpone the petition to the August 4, 2021 meeting.

VI. ADJOURNMENT

The meeting was adjourned at 10:00 p.m.

Respectfully submitted,

Joann Breault HDC Recording Secretary

HDC

ADMINISTRATIVE APPROVALS

August 04, 2021

1.	14 Mechanic Street	- Recommended App <mark>rova</mark>
2.	110 Brewery Lane	- Recommended Approva
3.	45 Market Street	- Recommended Approva
4.	46 Maplewood Avenue	- Recommended Approva
5 .	379 New Castle Avenue	- Recommended Approva
6.	57 Salter Street	- Recommended Approva
7.	93 State Street	- Recommended Approva
8.	145 Maplewood Avenue	- Recommended Approva



1. 14 Mechanic Street

- Recommended Approval

Background:	The applicant is seeking approval for the installation of metal railing systems
at the front e	ntry and at the rear master balcony of the structure.

Staff Comment: Recommended Approval

Stipulations:			
•			
1.			
2			
3.			



7/26/2021 OpenGov



07/26/2021

LUHD-338

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: May 12, 2021

Applicant

Joshua Butkus kscannell@destefanomaugel.com 22 ladd st portsmouth, NH 03801 2034000802

Location

14 MECHANIC ST Portsmouth, NH 03801

ROESE JOHN J REVOCABLE TRUST OF 2016 & ROESE JOHN JOSEPH

TRUSTEE

55 ELM ST EFFINGHAM, NH 03882

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

We are seeking approval for two new wrought iron railing systems at the front entry and rear master balcony.

Description of Proposed Work (Planning Staff)

the installation of wrought iron railing systems- (1) at the front entry and (1) at the rear master balcony

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

Full Name (First and Last) Business Name (if applicable)

Joshua Butkus

City/Town Mailing Address (Street) 22 Ladd Street Portsmouth

State Zip Code New Hampshire 03801

Phone **Email Address**

203-400-0802 jbutkus@destefanomaugel.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

 \mathbf{G}

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

 \mathbf{G}

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

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2. 110 Brewery lane - Recommended Approval

<u>Background</u>: The applicant is seeking approval for the installation of an awning over the existing patio.

<u>Staff Comment</u>: Recommended Approval

Stipulations:

1.			
		_	
2			
3.			



7/26/2021 OpenGov



07/26/2021

LUHD-365

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jul 13, 2021

Applicant

MICHAEL CAVARETTA cornerstonepizza.nh@gmail.com 110 BREWERY LN UNIT 102 Portsmouth, NH 03801 603-294-0965 Location

110 BREWERY LN Portsmouth, NH 03801

Owner:

Mike Cavaretta

110 Brewery In Portsmouth, Nh 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Installation of awning over existing patio

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Awning installer

Jay salem

Full Name (First and Last)

Business Name (if applicable)

Mr awnings

Mailing Address (Street) 380 lowell st **City/Town** Wakefield

State Ma

Zip Code 01801

Phone 978-774-4999;716

Email Address jay@mrawnings.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

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By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

I hereby certify that as the applicant for permit, I am

Other

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FACTS

324 FIREMASTER Qualitát / Quality / Qualité / Qualità / Calidad Anwendungen / Applications / Applications / Applicazione / Applicaziones

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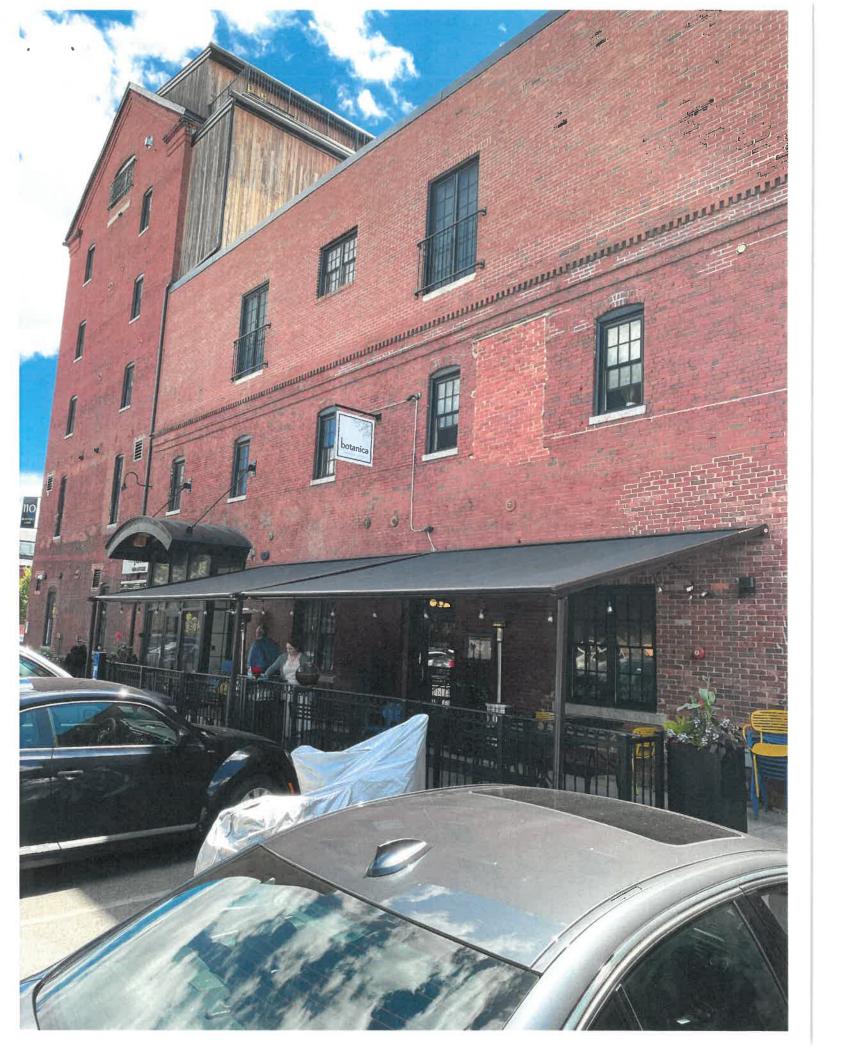
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www.sattler-projects.com







Awning out

3. 45 Market Street - Recommended Approval

<u>Background</u> : The applicant is seeking approval for the removal and replace existing chimney's (with the same size, height and style).	acement of (
Staff Comment: Recommended Approval	
Stipulations:	
1	
2	



7/26/2021 OpenGov



07/26/2021

LUHD-367

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jul 15, 2021

Applicant

Shannon Alther pod1@tms-architects.com 1 Cate Street Portsmouth , NH 03801 603-436-4274 Location

45 MARKET ST Portsmouth, NH 03801

Owner:

C5 45 MARKET STREET LLC 45 MARKET ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

Project Information

Brief Description of Proposed Work

Asking for Administrative Approval for removal of two existing chimneys during demolition of 45-47 Market Street with the intent to replace in kind (chimney mass size / height as well as brick style and mortar thickness.) The existing chimneys were in failure in a number of locations.

We are also interested in replacing the Market Street side roofing with wood Cedar Shingles that would be indicative to the original building material used. The building currently has asphalt shingles and we had patching and matching that existing asphalt as needed in our HDC presentation.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

Full Name (First and Last)

Shannon Alther

Mailing Address (Street)

1 Cate Street

State

Phone

NH

603-436-4274

Business Name (if applicable)

TMS Architects

City/Town

Portsmouth

Zip Code 03801

Email Address

pod1@tms-architects.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

 \checkmark

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

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3



45 Market Street Portsmouth NH



Requesting:

- Removal and replacement in-kind of 2 existing chimneys
 - 1. Market Street (shown here)
 - 2. Penhallow Street side (not shown)
- 2. Install Cedar Shingle Roofing instead of re-using exising asphalt shingles on Market Street elevation.

Market Street: Proposed

7-15-2021
TMS
architects
interiors

4. 46 Maplewood Avenue - Recommended Approval

Background:	The applicant is seeking approval the installation of mechanical louvers, roof
top mechanic	al vents and expanded walkway (at street level).

<u>Staff Comment</u>: Recommended Approval

Stipulations	S
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7/26/2021 OpenGov



07/26/2021

LUHD-368

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jul 16, 2021

Applicant

Jennifer Ramsey jramsey@sommastudios.com 36 Maplewood Ave Portsmouth, NH 03801 603-766-3760 ext. 1

Location

46 MAPLEWOOD AVE Portsmouth, NH 03801

Owner:

THIRTY MAPLEWOOD LLC 36 MAPLEWOOD AVE PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

Project Information

Brief Description of Proposed Work

Mechanical Louvers in pre-determined shadow boxed, roof top mechanical vent and expanded walkway at street level.

Description of Proposed Work (Planning Staff)

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

(

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

Planning Staff Comments

--

Owner Organization / Business Name

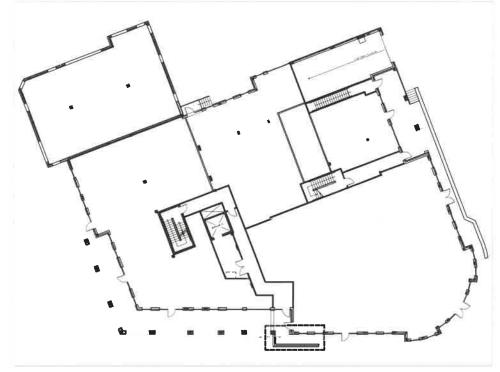
INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title Owner Addressee Prefix and Last Name

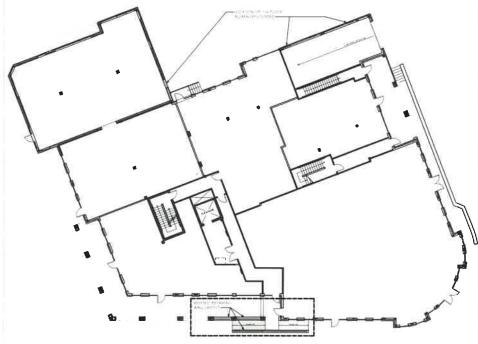
Owner Contact Street Address

HDC Approval Date

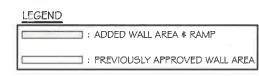
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Previously Approved Building Footprint SCALE: N.T.S.

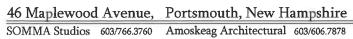


Proposed Building Footprint SCALE: N.T.S.



SCALE: AS NOTED

AA 8.4.21





Previously Approved Maplewood Avenue Elevation SCALE: N.T.S.



Proposed Maplewood Avenue Elevation SCALE: N.T.S.

LEGEND

: ADDED WALL AREA & RAMP

: PREVIOUSLY APPROVED WALL AREA

46 Maplewood Avenue, Portsmouth, New Hampshire

AA

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

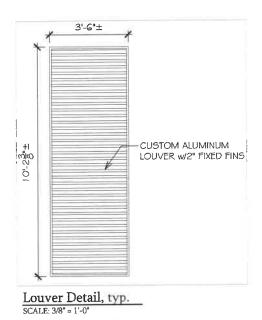
SCALE: AS NOTED





Previously Approved Deer Street Elevation SCALE: N.T.S.





Proposed Deer Street Elevation
SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire
SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

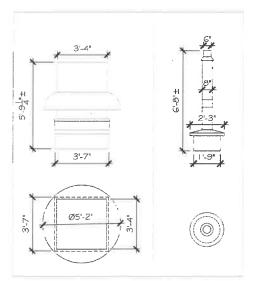
SCALE: AS NOTED

8.4.21 зн. 3



Previously Approved Bridge Street Elevation SCALE: N.T.S.





Generator Exhaust Fan & Flue
SCALE: 1/4" = 1'-0"

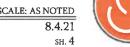
Proposed Bridge Street Elevation SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

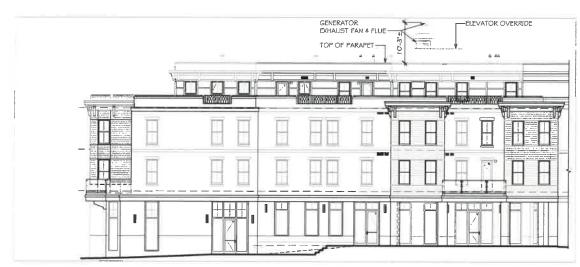
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Previously Approved Pedestrian Way Elevation SCALE: N.T.S.



Proposed Pedestrian Way Elevation SCALE: N.T.S.



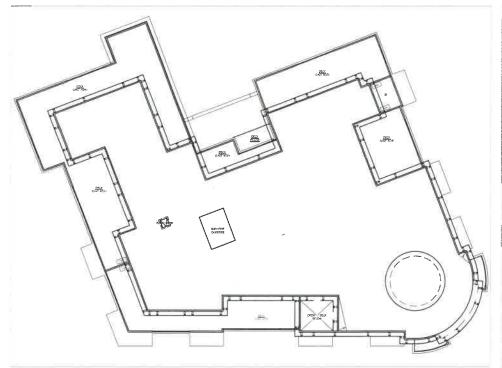
SCALE: AS NOTED

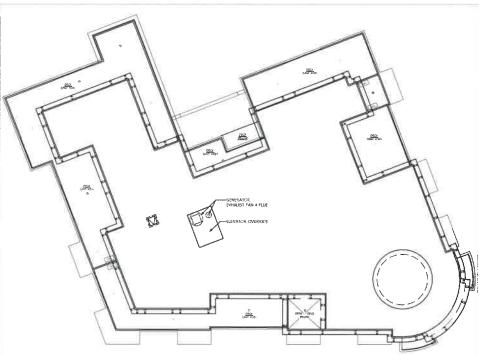
AA





46 Maplewood Avenue, Portsmouth, New Hampshire SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878





Previously Approved Roof Plan SCALE: N.T.S.

Proposed Roof Plan

Context Photos: Portsmouth Rooftop Mechanicals





















SCALE: AS NOTED 8.4.21 sh. 7

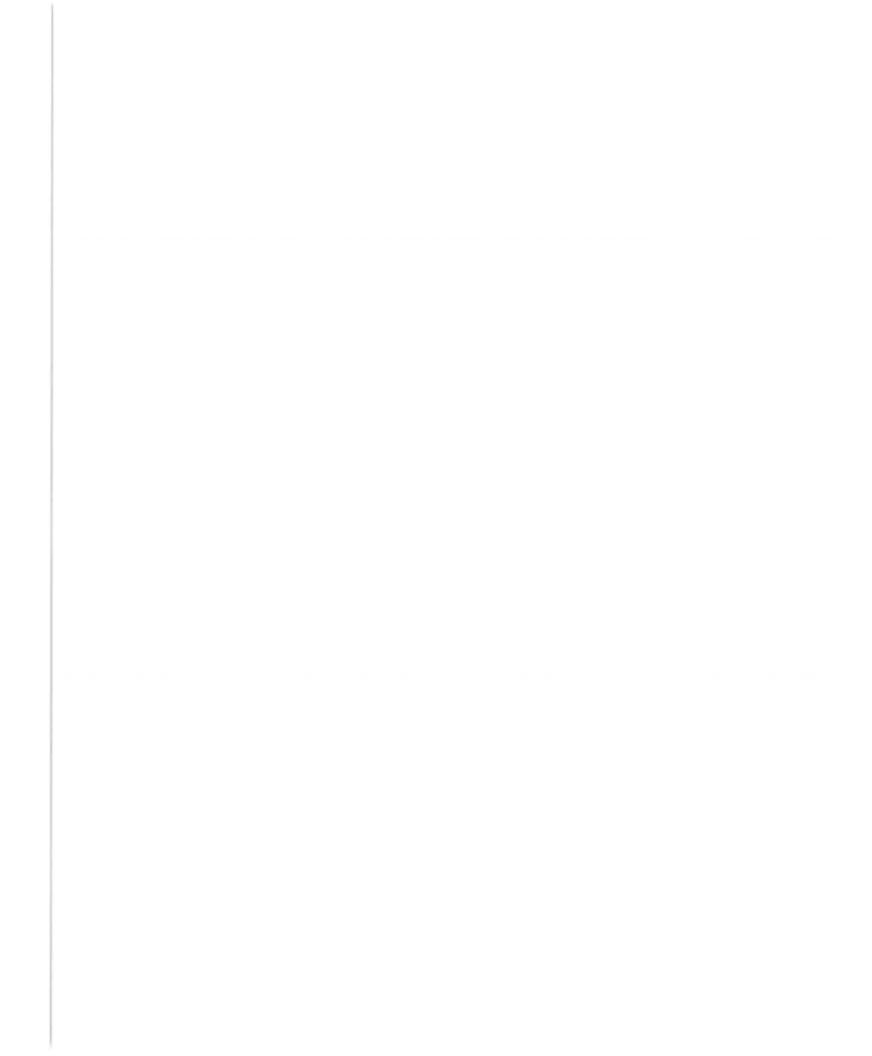
46 Maplewood Avenue, Portsmouth, New Hampshire SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

5. 379 New Castle Avenue - Recommended Approval

Background:	The applicant is seeking approval for a change to the previously approve	d
windows, to a	add (2) black chimney caps on the rear chimney, and proposed fencing.	

<u>Staff Comment</u>: Recommended Approval

1			
Z. _/			
3.			



7/26/2021 OpenGov



07/26/2021

LUHD-369

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jul 16, 2021

Applicant

Anne Whitney archwhit@aol.com 9 Sheafe St Portsmouth, NH 03801 603-427-2832

Location

379 NEW CASTLE AVE Portsmouth, NH 03801

Owner:

PETERS TODD & PETERS JAN 379 NEW CASTLE AVE PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

Project Information

Brief Description of Proposed Work

- 1. Change 9 windows on right side elev. to 6 over 1, when 6 over 6 was approved.
- This change was missed by the architect & builder on the final shop drawings.
- The lower sash can be replaced with 6 over 6, but the installed windows is more compatible solution.
- 2. Two Black chimney caps on the rear chimney. One for a gas fireplace and second for the range hood.
- 3. Proposed Fence location & Style

Description of Proposed Work (Planning Staff)

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Architect

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

HDC Approval Date

Planning Staff Comments

INTERNAL USE ONLY -- Letter of Decision Information

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AUGUST 2021 MDC ADMIN. APPROVAL

- WINDOW TO SIX OVER ONE
- 2. TWO BLACK CHIMNEY CAPS ON REAR CHIMNEY & CHIMNEY SIZES TO BE: FRONT 26" X 48"

 REAR 26" X 52"
- 3. PROPOSED FENCING

PHOTO OF EXISTING

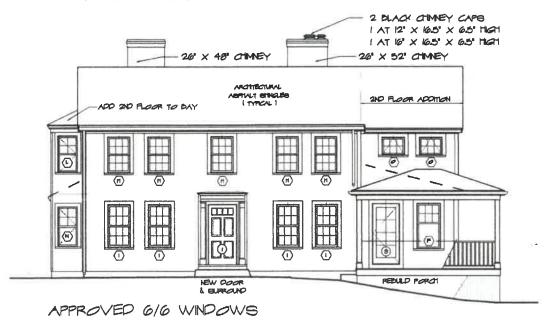




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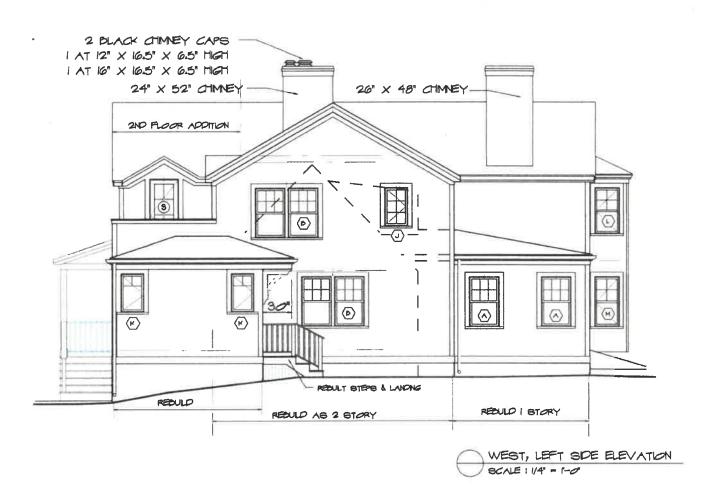
379 NEW CASTLE AVE 7/26/21

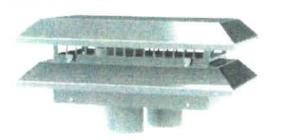


ELEVATION VIEW FROM NEW CASTLE AVE



ELEVATION VIEW FROM THE WATER



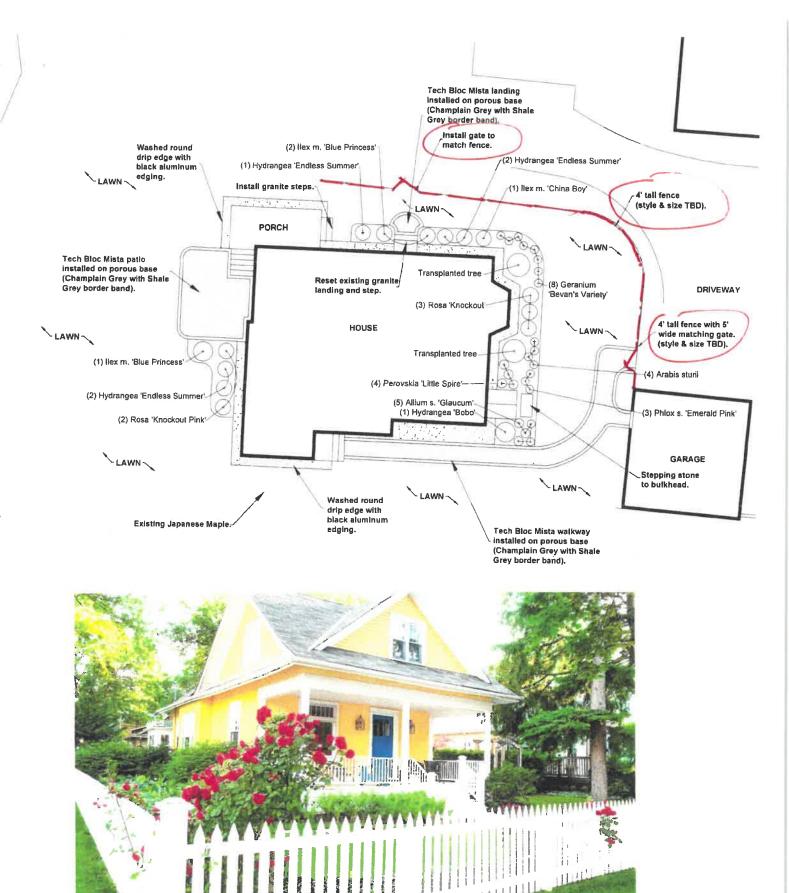


EXCELDIRECT VENT TRADITIONAL CO-LINEAR CHIMNEY CAP

Traditional Co-Linear Chimney Cap

A TOP THE PARTY OF	Chimney Cap			INCHES
B	WINDLESS REPORTED	Dimensions	Park Harris	SH A
C		СТЗ	CT4	
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	С	2 7/8	2 7/8	
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j 11	E	16 1/2	16 1/2	
	F	12	12	
Е -				

379 NEW CASTLE AVE 7 / 26 / 2 1



Fence Style

Peters Residence 379 New Castle Ave

7/26/2021 OpenGov



07/26/2021

LUHD-370

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jul 16, 2021

Applicant

Brendan McNamara brenmcnamara@comcast.net 19 Doe Drive Eliot, Maine 03903 207-439-3521

Location

57 SALTER ST Portsmouth, NH 03801

Owner:

POINT OF VIEW CONDOMINIUM 57 SALTER ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

Project Information

Brief Description of Proposed Work

Minor changes to existing approval, but includes change to front door

Description of Proposed Work (Planning Staff)

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

 \mathbf{G}

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

I hereby certify that as the applicant for permit, I am

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Residential Designer representing the owner

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

HDC Approval Date

Planning Staff Comments

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

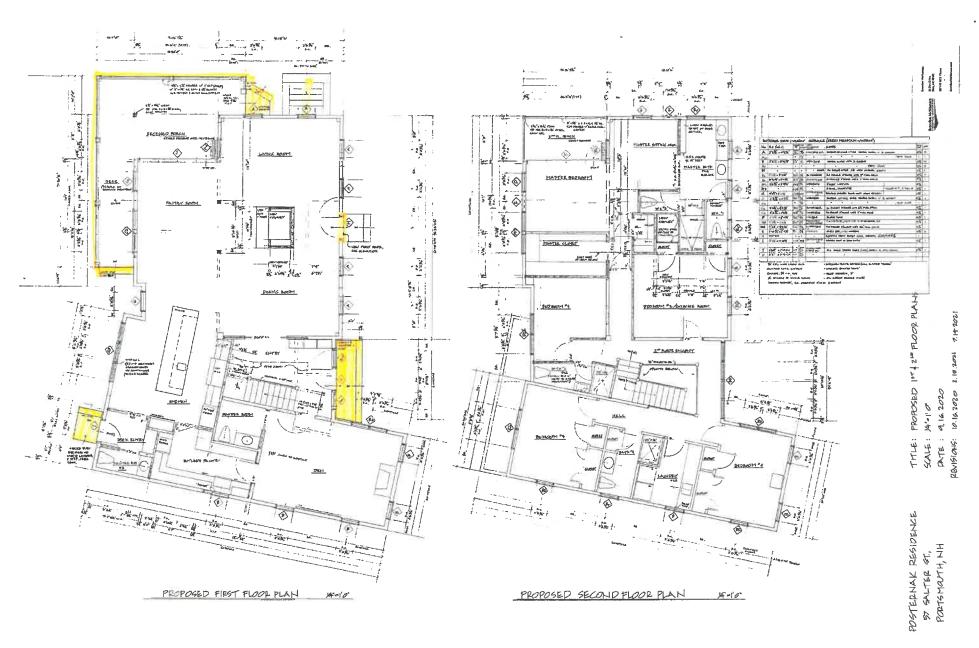
Owner Addressee Prefix and Last Name

Owner Organization / Business Name **Owner Contact Street Address**

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PAGE A4.



PACE AZ

7. 93 State Street

- Recommended Approval

	The applicant is seeking approval for the installation of (3) natural gas lighte te Street side and (1) on the Chapel Street side.
Staff Commer	nt: Recommended Approval
Stipulatio	ns:
1	
2	

7/26/2021 OpenGov



07/26/2021

LUHD-371

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jul 22, 2021

Applicant

Christopher Dalecki, Sr atlanticgastechs@comcast.net 1 McLean Drive South Berwick, ME 03908 207-384-4445

Location

93 STATE ST Portsmouth, NH 03801

REID JAMES D REVOCABLE TRUST OF 2011 & REID JAMES D TRUSTEE 93 STATE ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

Project Information

Brief Description of Proposed Work

Installation of 3-Natural Gas lights, 2-on State St, and 1- on Chaple St, because his house is on a corner. His house is all Brick.

Description of Proposed Work (Planning Staff)

Project Representatives

Relationship to Project

If you selected "Other", please state relationship to project.

Jim Reid

Full Name (First and Last)

Business Name (if applicable)

City/Town

Zip Code

03801

Portsmouth

Email Address

Mailing Address (Street) 93 State St

State NH

603-765-0977 Jim@reidpublications.com

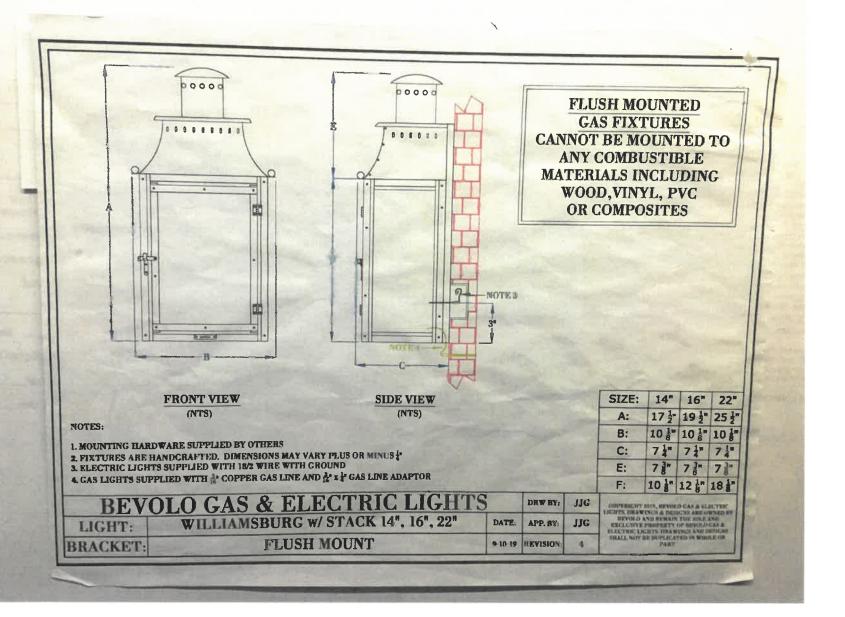
Relationship to Project

If you selected "Other", please state relationship to project. Gas Technician

Full Name (First and Last) Chris Dalecki Sr

Business Name (if applicable) Atlantic Gas Techs

https://portsmouthnh.viewpointcloud.io/#/explore/records/57394/printable?act=true&app=true&att=true&emp=true&int=true&loc=true&sec=1011490%2... 1/4





SALES ORDER

ORDER DATE 5/25/2021

ORDER NO Q-27405-1

BILL TO: James Reid

SHIP TO: James Reid

James Reid 93 State Street Portsmouth, NH 03801

93 State Street Portsmouth, NH 03801

Email: jim@reidpublications.com	Phone: 603-765-0977	Alt Phone:	
Bevolo Recommendation: Yes - Size Sales Rep: Greg Nakama	P.O. No:	Op Name: 93 State- front and side	
	Ship Via: UPS Ground	Estimated Ship Date: 7/20/2021	

Item Code	Description	Price	Qty	Total
WM-22-FM-G-CU-NA	Williamsburg 22" on Flush Mount in Ges (cannot be mounted to combustible surface)	\$695.00	2	\$1390
-> CU	Copper Lantern	\$0.00	2	incl.
> NA	No Bracket	\$0.00	2	Incl.
> U-TNG	Tip - Natural Gas	\$0.00	2	
> U-WMS	Williamsburg Stack	\$70.00	2	Incl.
GOV-24-FM-G-CU-NA	Governor 24" on Flush Mount in Gas (cannot be mounted to combustible surface)	\$625.00	3	\$625
-> CU	Copper Lantern	1000		
> NA	No Bracket	\$0.00	1	Incl
-> U-TNG	Tip - Natural Gas	\$0.00	1	Inct.
		\$0.00	1	Incl.
		SUBTO	TAX	\$2,015.00 \$0.00 \$298.93
	PAYMENTS/C	GRAND TO REDITS APP BALANCE	LIED	\$2,313.93 \$2,313.93 \$0.00

Once your items ship you will receive a tracking email. Please inspect all packages upon receipt. Any freight damages must be notated on the Bit of lading. Any small package shipments must be reported within 10 days of sevolo does not recommend scheduling an installer until the packages have been thoroughly inspected. Bevolo does not supply mounting hardware for fixtures due to there being no universal screw for all of the different All returns will be subject to a 25% restocking fee. Returns are not permitted beyond 30 days nor after installation.

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Gas Installation and User Guide

Detailed information located at www.bevolo.com/instructions.

WARNING: Failure to follow these instructions could result in fire or electric shock, which could bause property damage, personal injury or death.

FOR YOUR SAFETY - FIRE / EXPLOSION HAZARO

If you smell gas:

- Shut off gas to the appliance. Open windows if indoors.

- Open windows if indoors.

 Extinguish any open flame.
 If odor continues, immediately leave the area or building.
 As soon as you are in a safe area, call your gas supplier or fire department.

 Risk of fire or explosion. Gas products should ONLY be installed by a licensed plumber or installer.

 Installation must conform with all local codes or, in absence of local codes, to the National Fuel Gas Code ANSI Z223.1

 (NFPA 54), Canadian Installation Code for Natural Gas CAN1-8149 or Canadian Installation Code for Propane CAN1
 8149 2 (whitehouse is applicable).
- Always ensure the area in the vicinity of the fixture remains clear of combustible materials, especially gasoline, solvents.
- Do not store or use gasoline or other flammable vapors and liquids in the vicinity of this or any other appliance

REPLACEMENT PARTS AND PRODUCT SUPPORT

For replacement glass, parts or technical assistance, call (504) 522-9485 and ask for customer service or email gaslights@bevole.com

Model.		
Senal Number:		
Type of gas (circle one):	Natural Gas	Propane

Please retain this guide for future reference.

NOTE: These are general guidelines which apply to most of our lanterns and brankets. Certain lanterns and brackets may require additional steps for proper installation. Contact Bevolo with any questions, lostallations must always conform to local and national codes. Finite to work bevolo commissions for more details.

- Gas fixtures are designed for outdoor installation only, unless purchased with our Automatic Safety Shut-Off System w/ Flame Sensor.

 Install fixtures at lesst 3" from combustible waits and 12" from combustible ceilings. Although fixture is equipped with a control valve, it is recommended that an additional shut-off valve (supplied by others) is installed upstream of fixture (required by code in many areas).

 Make sure all gas lines have been fully bled before attaching the gas line to fixture. If using LPG, contact your Propane supplier to provide proper low pressure regulator.

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- After opening box, remove foam packing material to access your light and/or bracket. Note: If your light comes with a bracket which is not attached to the lantern then it's located under packing material
- Removal of some glass panels from fixture may be necessary to ease installation of some lanterns.
- Test fit location where lantern/bracket will be installed, confirm it is level, mark holes and ensure there is proper material/ support for the hardware to grab onto when installed.
- BRACKET MOUNTED ONLY:
- Secure bracket to wall or ceiling using proper mounting hardware (supplied by others). Note: Bevolo cannot provide for every possible type of mounting surface. Therefore your installer should determine and provide proper hardware based on mounting surface.
- Mount lantern to bracket.

FLUSH MOUNTED ONLY:

- Secure lantern to wall or ceiling using proper mounting hardware (supplied by others). Note: Bevolo does not provide for all types of mounting surfaces. Installers must determine and provide appropriate hardware for the specific mounting surface.
- Most bracket styles use the supplied 3/16"x1/4" compression fitting (zip-tied to jet assembly in light), to attach 3/16" copper tubing (from lantern) to 1/4" copper tubing (from gas source).
- Yoke and gooseneck bracket mounted lanterns use the supplied 3/16"x3/16" compression fitting to connect lantern and bracket tubing together.
- Post and column mounted lanterns use the supplied compression fitting to attach directly to a 1/4" copper tubing gas supply line.
- Carefully replace any glass panes which were removed and press firmly down on clips to ensure glass is flush against
- Follow steps listed under "Lighting Your Gas Lantern". Then run the necessary LOW pressure test for leaks.

Note: Gas lanterns must be disconnected or isolated (upstream shutoff valve supplied by others closed) from the gas supply during any pressure testing of the system at test pressures in excess of 1/2 psi. Otherwise damage to valve assembly can

1. Installers: Please leave this guide and other documents with homeowner.

LIGHTING YOUR GAS LANTERN

- Turn brass valve in lantern to the off position (fully turned clockwise-horizontal) before turning on gas supply to lantern
- Open door and wait approximately 5 minutes to allow fixture to air out. Outdoor Lanterns:

With lighter/liame just above the porcelain burner tip, turn brass valve counter-clockwise approximately 1/8 turn until flame appears Indoor Lanterns;

Open valve 1/4 turn, then depress and hold down steel plunger above brass valve on the safety valve. Put lighter/flame just above the porcetain burner tip until flame appears. Wait 15 seconds after lighting, then release steel plunger.

1. Adjust flame to recommended height:

- 1° to 1.5° for 21° and smaller fixtures
 1.5° to 2° for fixtures larger than 21°

Note: Do not operate fixture with gas valve fully open or flame height greater than 3". This may result in damage to your lantern due to excessive heat.

1. Close door and secure latch.

GAS LANTERN SPECIFICATIONS FOR GAS USAGE

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Maintenance & Cleaning for Copper Lanterns

TO PREVENT THE BURN MARKS AND DISCOLORATION OF THE COPPER:

- Avoid excessive flame heights
- For 21" lanterns and below, maintain a 1.5" flame height or less.
- For larger than 21" lanterns, maintain a 1.5" to 2" flame height.

CLEANING THE COPPER

- Turn off the lantern for gas or electric. Let the fixture cool for about 15 minutes.
- DO NOT use any cleaning products on the copper. Some cleaning products can discolor the copper.
- Use a dry rag to dust them off or use a lightly damp towel with dish soap to clean the body of the fixture. Rinse all the soap off with fresh water when done.

*Note: Bevolo does not recommend trying to undo or alter the copper's natural oxidation process. Copper and Brass cleaning products could lead to undesired results

CLEANING THE GLASS:

- First turn off the fixture (for gas or electric). Let the fixture cool for about 15 minutes.
- Do not spray the glass directly with any product. Overspray could discolor the copper.

 Spray the towel with the glass cleaner and then apply to the glass. Allow the glass to dry completely before turning the
- The glass can also be removed from the fixture to be cleaned. Each pane is set in with tabs like the back of a picture
- Remove each pane of glass, clean the glass with glass cleaner, wait until completely dry and then place the glass back into the fixture. Make sure the glass is flush against the copper and that the tabs are pressed firmly against the glass.

*Note: If you remove the glass, the door and back panel are different sizes. Be sure to note which piece of glass was removed from

BRACKET MAINTENANCE:

- Powder coated Steel Brackets:
 - Over time, the steel brackets will rust if not maintained
- When surface rust appears, use fine grit sand paper to remove the rust.

 Coat the spot with a rust inhibitive primer and flat black paint such as Rust-Oleum #7776. Naval Brass:
- DO NOT use any cleaning products on the lantern or bracket. Some cleaning products can discolor the copper
- Use a dry rag to dust them off or use a lightly damp towel with dish soap to clean the body of the fixture. Rinse

SALT WATER ENVIRONMENTS:

- Maintenance:
 - in salt water environments, it is important to rinse or clean the lights on a regular basis. Salt deposits can build
 - The hinges should periodically be oiled to slow the harsh effects of the salt.
- Brackets:
- Naval Brass brackets are recommended for all salt air environments.
- Naval Brass is a marine grade material that can handle a salt air environment and will not rust. It will age
- Our standard powder coated steel brackets would require regular upkeep and maintenance in these

environments.

Copper Aging.

Copper will oxidize at an accelerated rate in a Salt Water environment.

It may change color several times, even appearing a reddish tint and/or flake for a time before achieving the full verdigris. This is normal. The Verdigris or Patina is what protects the copper. *Note: Follow the regular cleaning instructions and give the lights a regular wipe-down with a rag wet with fresh water. The closer to the water, the more often you should clean the lights. Lights under a covered roof should be cleaned more often, because they will not get

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- **Natural Gas**
 - BTU Rating: 800-1200 BTU per hour
 - Minimum Working Pressure: 2" WC or 0.07 PSI
 - Recommended Working Pressure: 7" WC or 0.25 PSi
- Maximum Working/Test Pressure: 13.7" WC or 0.5 PSI (Isolate fixture before testing.)
- - BTU Rating: 1200-1500 BTU per hour
 - Minimum Working Pressure: 2" WC or 0.07 PSI
 - Recommended Working Pressure: 11" WC or 0.4 PSI
 - Maximum Working/Test Pressure: 13.7" WC or 0.5 PSI (Isolate fixture before testing.)

MAINTENANCE NOTES

These are general guidelines. Please refer to the detailed maintenance and cleaning information, located unline at www.bevolo.com/instructions.

- This fixture is 100% handmade by coppersmiths. Therefore, small marks and discoloration are in the nature of the
- product.
 Ensure that no chemicals or corrosive liquids of any kind (bug spray, bleach, cleaners, etc.) are sprayed on or near the
- Fixture area must remain clear and free from combustible materials, gasoline and any other combustible liquids or
- Fixture should be free of any obstruction to ventilation.
- Regularly perform visual inspection of burner tip to ensure that ceramic tip is not broken and it is clear of obstructions. Flame should only be seen coming from end of gas tip.
- If your gas light occasionally burns out due to inclement weather, etc. follow the instructions for "Lighting Your Gas
- fron brackets may need rust inhibitor applied, periodically, depending upon the environment the fixtures are in.
 If on or near coastal areas (Salt Water Environment):
 - It is typical for lanterns to hyper oxidize to the point of flaking and turning red during the oxidation process before
 - they reach a verdigris (green) stage.

 Copper lanterns (and brass brackets) should be rinsed periodically (monthly), and hinges oiled (every 3 months),
 - Stainless lanterns and brackets will require more stringent upkeep to prevent oxidation and rusting. Lantern/ bracket should be rinsed periodically (weekly), and washed (monthly) to prevent oxidation and rusting.

CLEANING GLASS, LANTERN & BRACKET

- Prior to cleaning glass or lantern, turn lantern off and allow to cool for 15 minutes.

 Glass panels and fixture body should only be cleaned with soapy water.

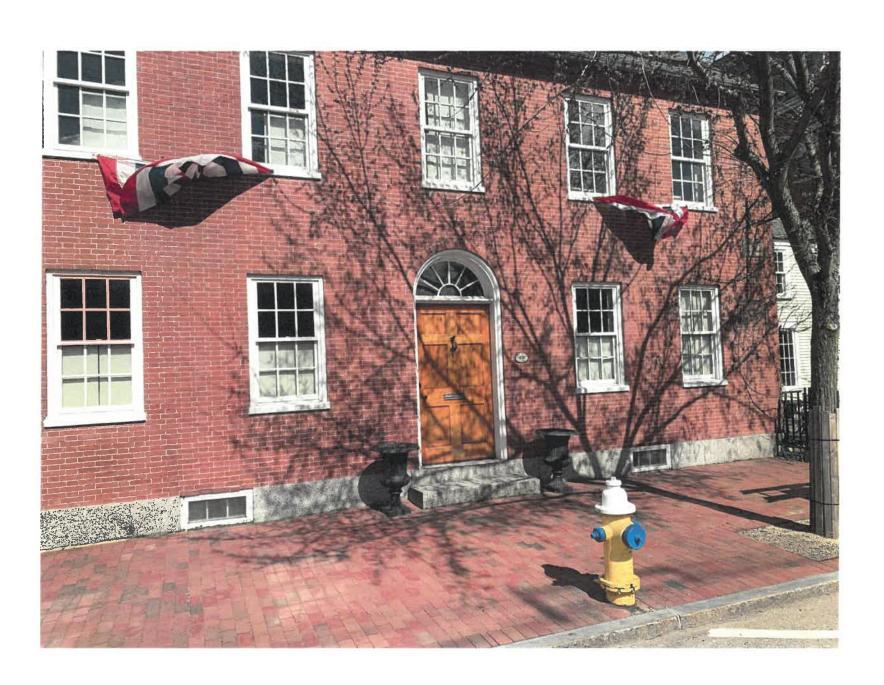
- Glass panels and fixture body should only be cleaned with soapy water.

 Wipe glass panels dry to remove water spots.

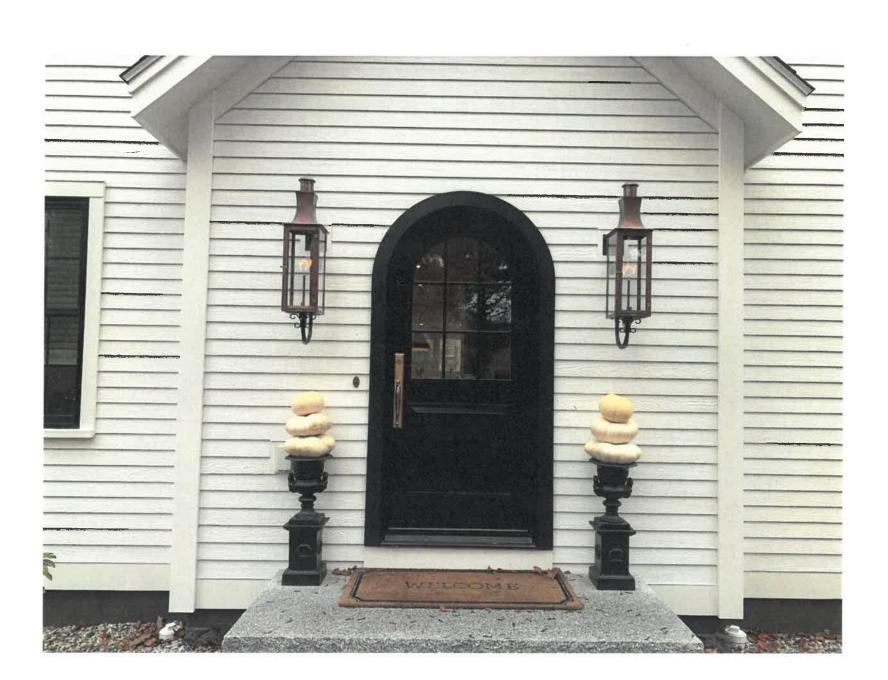
 If glass cleaner is used, ensure it is ammonia free. Otherwise it will affect the patina of the lantern. Ideality, spray cleaner directly onto a towel to avoid overspray onto copper surface, which may cause discoloration.

WWW.INTERTEK.COMMARKS/ETL #3097503 #3041656 #97007.12

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4 PM

James Reid Installation To: chris dalecki

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3/20/51 for the e

L. 2/70/21 tion to bet

I give permission to Chris Dalecki to install 3 gas lanterns and the associated lines at my home, 93 State Street. Portsmouth, NH. Use.. 34 AM ENTS



Jim Reid (Reid Publications, Inc.)

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(i) (j) (j) (ii) (ii)



8. 145 Maplewood Avenue - Recommended Approval

<u>Background</u> : The applicant is seeking approval for miscellaneous changes to a previously approved design.
Staff Comment: Recommended Approval
Stipulations:
1
2
3



111 (145) MAPLEWOOD AVENUE PORTSMOUTH, NH ADMINISTRATIVE APPROVAL - AUGUST 4, 2021

Agenda

- A. Aluminum metal panel instead of glass at 4th floor window bay.
 B. Aluminum metal panel above garage doors increased in height.
 C. Door relocated from left to right side of storefront bay.
 D. Vertical mullions omitted from each side of doorway.
 E. Transom window added to doorway.
 F. 4th floor spandrel glass transoms increased in height.
 G. Sill at the wood siding at ground floor window bays was reduced.



JUL 1 6 2021



A. Aluminum metal panel instead of glass at 4th floor window bay. The roof coping returns to the wall and cannot terminate against glass. This was a constructability issue.





C. Door relocated from left to right side of storefront bay. Exit corridor ramps up from the garage level and the door had to flip to accommodate the ramp.

B. Aluminum metal panel above garage doors increased in height. Garage door coiling operator at door head would not fit due to steel beam dimensions. This was a constructability issue.



and building elevations.

HDC Land Use Compliance Report Response
08-04-2021

Note: Pages 22 – 27 in the 05-20-2020 administrative approval package indicated window element dimensions





Note: Pages 22 – 27 in the 05-20-2020 administrative approval package indicated window element dimensions and building elevations.

E. Transom window added to doorway. Door height shown on the rendering was not a

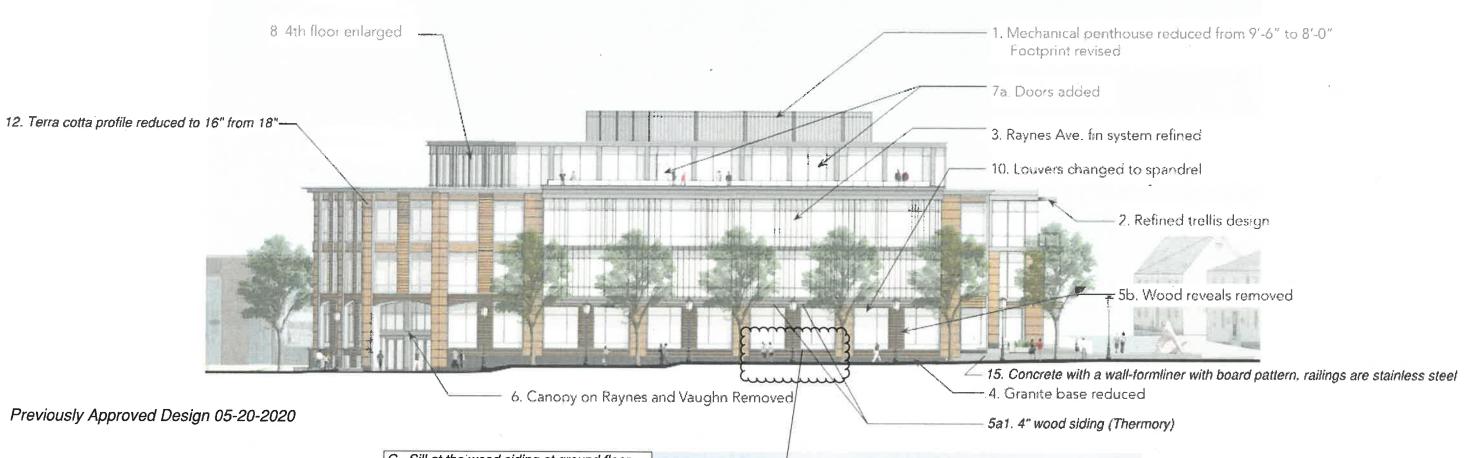
corrected.

standard size.



SOUTH ELEVATION - Maplewood Avenue 111 (145) MAPLEWOOD AVE PORTSMOUTH, NH







Note: Pages 22 – 27 in the 05-20-2020 administrative approval package indicated window element dimensions and building elevations.

HDC Land Use Compliance Report Response 08-04-2021

WEST ELEVATION - Raynes Avenue 111 (145) MAPLEWOOD AVE PORTSMOUTH, NH

Staff Report – August 4th & 11th, 2021

August 4th MEETING

Administrative Approvals:

- 1. 14 Mechanic Street. (LUHD-338)
- 2. 110 Brewery Lane (LUHD-365)
- 3. 45 Market Street (LUHD-367)
- 4. 46 Maplewood Ave. (LUHD-368) Recommend Approval
- 5. 379 New Castle Ave. (LUHD-369) Recommend Approval
- 6. 57 Salter Street (LUHD-370)
- 7. 93 State Street (LUHD-371)

- Recommend Approval
- Recommend Approval
- Recommend Approval

- Recommend Approval
- Recommend Approval
- 8. 145 Maplewood Ave. (LUHD-372) Recommend Approval

EXTENSION REQUEST - NEW BUSINESS:

1. 161 Deer St. (LU-20-101) (5-story mixed-use building)

PUBLIC HEARINGS – OLD BUSINESS:

A. 64 Vaughan St. (LU-21-153) (3 story building)

PUBLIC HEARINGS - NEW BUSINESS:

- 1. 60 Penhallow St. (LU-21-144) (artwork)
- 2. 55 Hanover St. (LU-21-146) (windows)
- 322 Islington St. (LU-19-11) (2 story carriage house)
- 4. 199 Middle St. (LU-21-149) (shed)
- 5. 39 Pickering St. (LU-21-95) (shed)
- 6. 93 Pleasant St. (LU-21-148) (renovations to existing)

August 11th MEETING

Administrative Approvals:

- Pending review

PUBLIC HEARINGS - NEW BUSINESS:

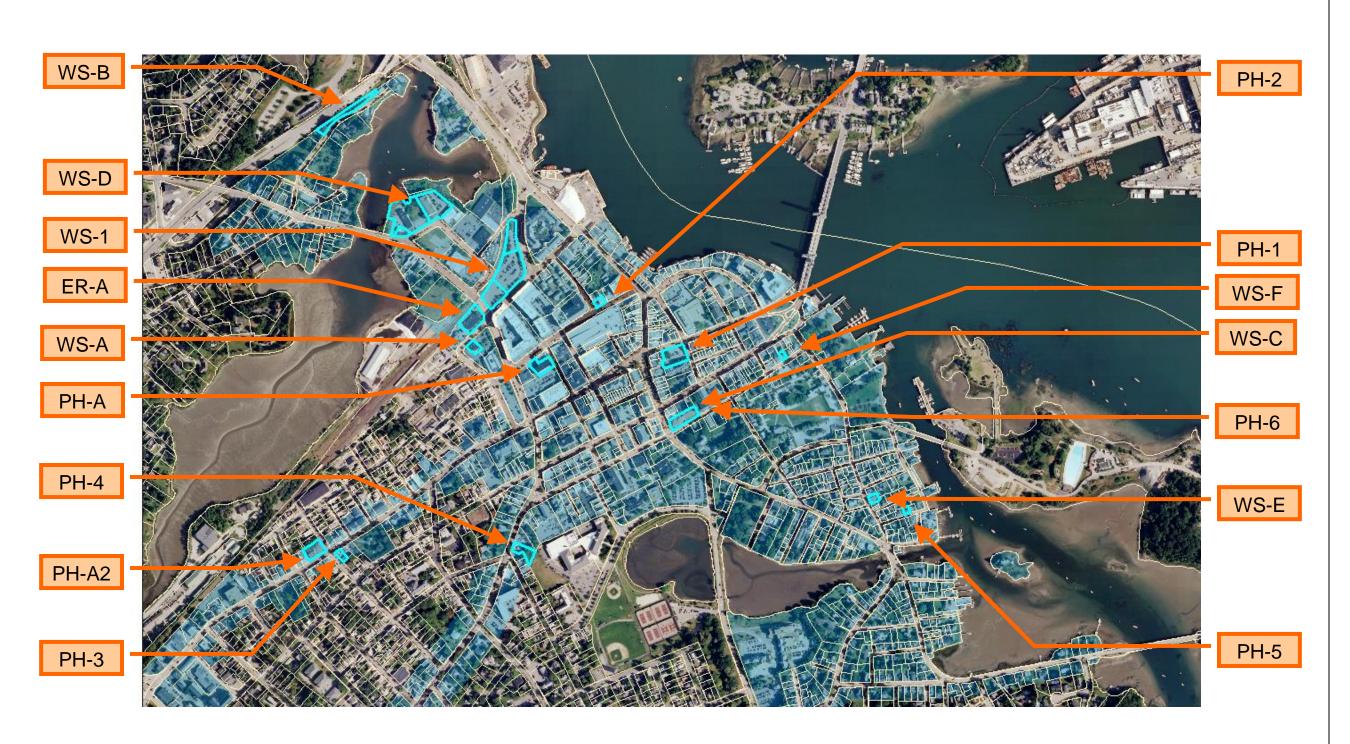
7. 361 Islington St. (LU-21-147) (addition)

WORK SESSIONS – OLD BUSINESS:

- A. 238 Deer St. (LUHD-340) (3.5 story building)
- B. 137 Northwest. (LUHD-296) (New house)
- C. 93 Pleasant. (LUHD-324) (3 story addition)
- D. 1 Raynes Ave. (LUHD-234) (2, 5 story buildings)
- E. 279 Marcy St. (LUHD-259) (dormer)
- F. 449 Court St. (LUHD-235) (dormer & deck)

WORK SESSIONS (NEW):

2 Russell / O Deer St. (LUHD-366) (5 story building)



HISTORIC DISTRICT COMMISSION

MEETING DATE: August 4th and 11th, 2021

APPLICATIONS: 24

LOCATOR MAP

Project Address: 161 DEER STREET (LU-20-101) **Permit Requested: CERTIFICATE OF APPROVAL Meeting Type:** PUBLIC HEARING/EXT. REQUEST #A

Existing Conditions:

- Zoning District: <u>CD5</u>
- Land Use: Commercial Office
- Land Area: 21,050 SF +/Estimated Age of Structure(s): c.1970
- Building Style: NA
- Historical Significance: NA
 Public View of Proposed Work: View from Maplewood Ave. and Deer Street
 Unique Features: Abuts the Pan Am Rail Corridor
- Neighborhood Association: North End

<u> 8. Proposed Work:</u> Extension request to construct a 5-story, mixed-use building.

<u>v.</u>	Tioposed Work.	10 CONSIDER A 3-310	<u>ry, rriixca-osc bollali i</u>
<u>C.</u>	Other Permits Required:		
	☑ Board of Adjustment	✓ Planning Board	☐ City Council
<u>D.</u>	Lot Location:		
	\square Terminal Vista	☐ Gateway	☐ Mid-Block
	✓ Intersection / Corner Lot	☐ Rear Lot	
_	E S.P B. S.P L. L. All I/B	P. I I. / 6 I I I	

☑ Intersection / C	orner Lot 🗌 Rear Lot					
E. Existing Building to be Alter	red/ Demolished / Constructed	<u>l:</u>				
✓ Principal	☐ Accessory	Demolition				
F. Sensitivity of Context:						
☐ Highly Sensitive	☑ Sensitive ☐ Low Sensitivity	√ 🗌 "Back-of-House"				
G. Design Approach (for Maj	<u>ior Projects):</u>					
Literal Replicatio	n (i.e. 6-16 Congress, Jardinière Buildir	ng, 10 Pleasant Street)				
Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)						
☐ Abstract Referen	NCE (i.e. Portwalk, 51 Islington, 55 Cor	ngress Street)				

H. Project Type:

Consent A	Agenda	(ı.e. ver	y small	alterations,	additions	or exp	ansions)

☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ✓ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

• The lot is located along Deer and Bridge Street. It is surrounded with mainly brick 1-5 story structures with shallow to no front yard setbacks.

J. Background & Suggested Action:

The Applicant is seeking an extension of the approval due to economic impacts related to Covid and the larger redevelopment project along Deer Street.

<u>Design Guideline Reference</u>: Guidelines for Commercial Development & Storefronts (12)

K. Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

		16 I DEEK 2 IKEE	ii (LU-20-101) — EXTE	NOON KEQUEOI / PUBI	LIC HEARING #A (MAJOR)	
		INFO/ EVALUATION CRITERIA			NEIGHBORHOOD CONTEXT	
		Project Information		Abutting Structures	Surrounding Structures	
=				(Average)	(Average)	——————————————————————————————————————
		GENERAL BUILDING INFORMATION				— = - 8
;	1	Gross Floor Area (SF)		MAJOR PRO) IECT	ON .4-
	2	Floor Area Ratio (GFA/ Lot Area) Building Height / Street-Width Ratio		MAJORFRO	JECI	
, l	<u> </u>	Building Height – Zoning (Feet)	- EXT DECILES	T TO CONSTRUCT A 5-9	STORY MIXED-USE BUILDING -	MISSIGNATE: 8-
•		Building Height – Street Wall / Cornice (Feet)	- LXI. KLQUL3	i io consinuci A 3	SIOKI MINLD-03L DOILDING -	1
ŀ	6	Number of Stories				-
-	7	Building Coverage (% Building on the Lot)				
		PROJECT REVIEW ELEMENT			APPROPRIATENES	
-	8	Scale (i.e. height, volume, coverage)			☐ Appropriate ☐ Inappr	ropriate
🎽	9	Placement (i.e. setbacks, alignment)			□ Appropriate □ Inappr	ropriate ()
NO	10	Massing (i.e. modules, banding, stepbacks)			□ Appropriate □ Inappr	ropriate
υ	11	Architectural Style (i.e. traditional – modern)			☐ Appropriate ☐ Inappr	ropriate F 5
	12	Roofs			☐ Appropriate ☐ Inappr	
	13	Style and Slope			□ Appropriate □ Inappr	roprigte
¦ †	14	Roof Projections (i.e. chimneys, vents, dormers)			□ Appropriate □ Inappr	
	15	Roof Materials			☐ Appropriate ☐ Inappr	robriate robriate robriate robriate robriate robriate robriate
	16	Cornice Line			□ Appropriate □ Inappr	ropriate A A A A A
	17	Eaves, Gutters and Downspouts			□ Appropriate □ Inappr	ropriate
LS	18	Walls			□ Appropriate □ Inappr	ropriate \
OMMISSION SIGN & MATERIALS	19	Siding / Material			□ Appropriate □ Inappr	
	20	Projections (i.e. bays, balconies)			□ Appropriate □ Inappr	
Š	21	Doors and Windows			□ Appropriate □ Inappr	ropriate 5
≪ Z	22	Window Openings and Proportions			□ Appropriate □ Inappr	ropriate C 🗂
<u> </u>	23	Window Casing/ Trim			□ Appropriate □ Inappr	
DES	24	Window Shutters / Hardware			☐ Appropriate ☐ Inappr	ropriate
	25	Storm Windows / Screens			☐ Appropriate ☐ Inappr	ropriate \nearrow
BUILDING	26	Doors			☐ Appropriate ☐ Inappr	ropriate O o o
	27	Porches and Balconies			☐ Appropriate ☐ Inappr	
🖴	28	Projections (i.e. porch, portico, canopy)			☐ Appropriate ☐ Inappr	ropriate
	29	Landings/ Steps / Stoop / Railings			☐ Appropriate ☐ Inappr	ropriate
	30	Lighting (i.e. wall, post)			☐ Appropriate ☐ Inappr	ropriate
[31	Signs (i.e. projecting, wall)			☐ Appropriate ☐ Inappr	
.	32	Mechanicals (i.e. HVAC, generators)			☐ Appropriate ☐ Inappr	
) 	33	Decks			☐ Appropriate ☐ Inappr	
•	34	Garages/ Barns / Sheds (i.e. doors, placement)			☐ Appropriate ☐ Inappr	
z	35	Fence / Walls / Screenwalls (i.e. materials, type)			☐ Appropriate ☐ Inappr	
DESIGN	36	Grading (i.e. ground floor height, street edge)			☐ Appropriate ☐ Inappr	
	37	Landscaping (i.e. gardens, planters, street trees)			☐ Appropriate ☐ Inappr	
SITE	38	Driveways (i.e. location, material, screening)			☐ Appropriate ☐ Inappr	
8	39	Parking (i.e. location, access, visibility)			☐ Appropriate ☐ Inappr	
<u> </u>	40 Purpo	Accessory Buildings (i.e. sheds, greenhouses) se and Intent:			☐ Appropriate ☐ Inappr	ropriate
	-					
		eserve the integrity of the District:	□ Yes □ No	4. Maintain the special character		□ Yes
		sessment of the Historical Significance:	□ Yes □ No	5. Complement and enhance the	e architectural and historic character:	□ Yes
,	3. Co	onservation and enhancement of property values:	□ Yes □ No	6. Promote the education, pleasu	ure and welfare of the District to the city residen	ts and visitors: ☐ Yes
<u>I. Re</u>	eview	<u>Criteria / Findings of Fact:</u>				
	1. C	onsistent with special and defining character of surro	unding properties: 🗆 Yes 🗆 No	3. Relation to historic and archited	ctural value of existing structure:	□ No
		ompatibility of design with surrounding properties:			chnologies with surrounding properties: Yes	□ No

Project Address: 64 VAUGHAN MALL (LU-21-153)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #A

 Existing Conditions: Zoning District: CD5 Land Use: Commercial Land Area: 15,242 SF +/- Estimated Age of Structure: c.1900 Building Style: Vernacular Commercial Historical Significance: C Public View of Proposed Work: View from the Vaughan Mall and Hanover St. Unique Features: NA Neighborhood Association: Downtown 							
B. Proposed Work: To make façade improvements to the storefront and add a penthouse.							
C. Other Permits Required:							
☑ Board of Adjustment ☑ Planning Board ☑ City Council							
D. Lot Location:							
\square Terminal Vista \square Gateway $oxedown$ Mid-Block							
\square Intersection / Corner Lot \square Rear Lot							
E. Existing Building to be Altered/ Demolished:							
✓ Principal □ Accessory □ Demolition							
F. Sensitivity of Context:							
\square Highly Sensitive \square Sensitive \square Low Sensitivity \square "Back-of-House"							
G. Design Approach (for Major Projects):							
Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street) Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)							
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)							
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)							
H. Project Type:							
\square Consent Agenda (i.e. very small alterations, additions or expansions)							
\square Minor Project (i.e. small alterations, additions or expansions)							

☐ Moderate Project (i.e. significant additions, alterations or expansions)

☑ Major Project (i.e. very large alternations, additions or expansions)

. Neighborhood Context:

a. The building is located along the Vaughan Mall. The building is surrounded with many 2-5 story historic and contemporary structures with little to no setbacks. The property also has an 8 space surface parking lot off of Hanover Street.

J. <u>Staff Comments and/ or Suggestions for Consideration:</u>

The Application is proposing to:

- Add a three story addition with an attic. The revised elevations show a variety of modifications suggested by the Commission. In particular, the tower element and arcade along the driveway entrance has been modified.
- Design Guideline Reference Guidelines for Windows and Doors (08) and Commercial Developments and Storefronts (12).

K. <u>Aerial Image, Street View and Zoning Map:</u>





Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

C

64 VAUGHAN MALL (LU-21-153) - PUBLIC HEARING #A (MAJOR PROJECT) INFO/ EVALUATION CRITERIA **SUBJECT PROPERTY NEIGHBORHOOD CONTEXT Project Information** Existina **Abutting Structures Proposed Surrounding Structures** 4-21 FORM (Average) (Average) Building Building (+/-) **GENERAL BUILDING INFORMATION** (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) COMMISSION Gross Floor Area (SF) Floor Area Ratio (GFA/ Lot Area) Date: Building Height / Street-Width Ratio **MAJOR PROJECT** Building Height – Zoning (Feet) Withdrawn Approved with Stipulations Building Height - Street Wall / Cornice (Feet) - Add a 3-Story Addition to the Existing Building -No.:A Number of Stories Building Coverage (% Building on the Lot) **PROJECT REVIEW ELEMENT APPLICANT'S COMMENTS HDC SUGGESTIONS APPROPRIATENESS** 8 Scale (i.e. height, volume, coverage...) DISTRICT □ Appropriate □ Inappropriate Φ **Placement** (i.e. setbacks, alignment...) ☐ Appropriate ☐ Inappropriate QSC Massing (i.e. modules, banding, stepbacks... □ Appropriate □ Inappropriate 11 Architectural Style (i.e. traditional – modern) □ Appropriate □ Inappropriate **MEMBERS** 12 Roofs □ Appropriate □ Inappropriate Style and Slope 13 □ Appropriate □ Inappropriate **HISTORIC** 4 Roof Projections (i.e. chimneys, vents, dormers... □ Appropriate □ Inappropriate 15 Roof Materials □ Appropriate □ Inappropriate GHAN 16 **Cornice Line** □ Appropriate □ Inappropriate ш COMMISSION Eaves, Gutters and Downspouts 17 ☐ Appropriate ☐ Inappropriate 18 Walls ☐ Appropriate ☐ Inappropriate Continued 19 Siding / Material VAU □ Appropriate □ Inappropriate **PORTSMOUTH** ERT Projections (i.e. bays, balconies...) 20 ☐ Appropriate ☐ Inappropriate 21 **Doors and Windows** ☐ Appropriate ☐ Inappropriate Window Openings and Proportions **.64** ☐ Appropriate ☐ Inappropriate Window Casing/Trim □ Appropriate □ Inappropriate ٔ چ 24 Window Shutters / Hardware □ Appropriate □ Inappropriate **PROPERTY** DISTRICT BUILDING 25 **Awnings** ☐ Appropriate ☐ Inappropriate 26 Doors □ Appropriate □ Inappropriate 27 **Porches and Balconies** ☐ Appropriate ☐ Inappropriate Projections (i.e. porch, portico, canopy...) □ Appropriate □ Inappropriate Landings/Steps/Stoop/Railings ☐ Appropriate ☐ Inappropriate HISTORIC **Lighting** (i.e. wall, post... □ Appropriate □ Inappropriate **Signs** (i.e. projecting, wall...) □ Appropriate □ Inappropriate **Mechanicals** (i.e. HVAC, generators) ☐ Appropriate ☐ Inappropriate 33 ☐ Appropriate ☐ Inappropriate 34 Garages/Barns / Sheds (i.e. doors, placement...) □ Appropriate □ Inappropriate 35 Fence / Walls (i.e. materials, type...) ☐ Appropriate ☐ Inappropriate **Grading** (i.e. ground floor height, street edge...) □ Appropriate □ Inappropriate 37 **Landscaping** (i.e. gardens, planters, street trees...) □ Appropriate □ Inappropriate **Driveways** (i.e. location, material, screening...) □ Appropriate □ Inappropriate **Accessory Buildings** (i.e. sheds, greenhouses...) □ Appropriate □ Inappropriate H. Purpose and Intent: 1. Preserve the integrity of the District: ☐ Yes ☐ No 4. Maintain the special character of the District: ☐ Yes ☐ No 2. Assessment of the Historical Significance: ☐ Yes ☐ No 5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No 3. Conservation and enhancement of property values: 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No ☐ Yes ☐ No I. Review Criteria / Findings of Fact: 1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No 3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No

☐ Yes ☐ No 4. Compatibility of innovative technologies with surrounding properties:

□ Yes □ No

2. Compatibility of design with surrounding properties:

60 PENHALLOW ST. (LU-21-339) Project Evaluation Form: Permit Requested: CERTIFICATE OF APPROVAL Meeting Type: PUBLIC HEARING #1

A. Property Information - General:

Existing Conditions:

- Zoning District: <u>CD4</u>
 Land Use: <u>Commercial Parking Lot</u>
 Land Area: <u>22,430 SF +/-</u>
- Estimated Age of Structure: NA
 Building Style: Greek Revival
 Number of Stories: NA

- Historical Significance: NA
 Public View of Proposed Work: View from Penhallow and Daniel Streets
 Unique Features: Vacant Urban Property
- Neighborhood Association: Downtown

	3.	Proposed Work:	<u>To</u>	<u>add</u>	ar	<u>tworl</u>	k to	<u>the</u>	<u>communit</u>	y s	pace.
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C. Other Perm	<u>its Required:</u>								
□ вс	oard of Adjustment	\square Planning Board	☐ City Council						
D. Lot Location	<u>n:</u>								
□ Te	erminal Vista	☐ Gateway	☐ Mid-Block						
I	ntersection / Corner Lot	☐ Rear Lot							
E. Existing Build	ding to be Altered/ Demo	olished:							
☐ P	rincipal	Accessory	☐ Significant Demolition						
F. Sensitivity of	Context:								
□н	lighly Sensitive \Box Sensiti	ve 🗹 Low Sensitivity	√ 🗌 "Back-of-House"						
G. Design App	oroach (for Major Projects	<u>s):</u>							
☐ Lif	Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)								
	☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)								
Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)									
☑ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)									
H. Project Type	<u>e:</u>								
\square Consent Agenda (i.e. very small alterations, additions or expansions)									
✓ N	☑ Minor Project (i.e. small alterations, additions or expansions)								
	Moderate Project (i.e. sign	ificant additions, alte	erations or expansions)						
\square N	☐ Major Project (i.e. very large alterations, additions or expansions)								

I. Neighborhood Context:

• This vacant lot is located along Daniel and Penhallow Streets and is surrounded with many other brick and wood-sided, 2.5-3 story contributing structures. Most buildings have no front yard setback and off-street parking is limited.

J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to:
 - Add new artwork such as a fountain, reflecting wall, wave wall and various wayfinding
 - A publically noticed work session was held on June 9th where the abutter were notified and the general public had an opportunity to provide comment on the artwork and speak directly with the artists.
 - Note that this would normally be an administrative approval but was posted as a public hearing at the request of the HDC.

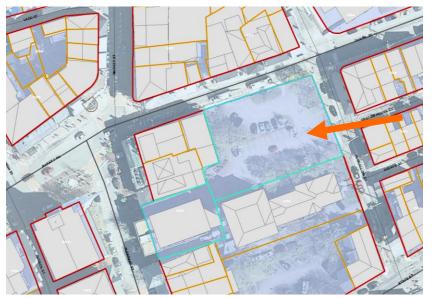
Design Guideline Reference - Guidelines for Commercial Development & Storefronts (12)

K. Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

60 PENHALLOW STREET (LU-21-144) - PUBLIC HEARING #1 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJE	CT PROPERTY		NEIGHBORHOOD CONTEXT			
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	 		
	- NI	GENERAL BUILDING INFORMATION	(ESTIMAT	ED FROM THE TAX MAPS & A	SSESSOR'S INFO)		- < ?		
STAFF	1	Gross Floor Area (SF)	(207011			<u> </u>	□ 		
⋖	2	` '							
S	3	,			MINIOD DDC) IECT			
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)		- Install Ar	twork within the	Community Space –			
	6	Number of Stories		- msidii Ar	work willing the	Community space -	■フゔ		
	7	Building Coverage (% Building on the Lot)					□ 🗲 ਨੇ ∵		
		PROJECT REVIEW ELEMENT	APPLICAN	IT'S COMMENTS	HDC SUGG		_ O ŏ ġ		
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	≥ 2	1 Doors and Windows				□ Appropriate □ Inappropriate			
<u>₹</u>	∞ 2	2 Window Openings and Proportions				□ Appropriate □ Inappropriate			
٦	2	3 Window Casing/ Trim				□ Appropriate □ Inappropriate	— — <u> </u>		
	2 PES	4 Window Shutters / Hardware				□ Appropriate □ Inappropriate	<u> </u>		
ا ر	ტ 2	5 Awnings				□ Appropriate □ Inappropriate			
DISTRICT	Z 2	6 Doors				□ Appropriate □ Inappropriate	☐ ○ ▷ Ħ		
ラ し	2	7 Porches and Balconies				□ Appropriate □ Inappropriate	ROP PORT OPERT		
5	2	Projections (i.e. porch, portico, canopy)				□ Appropriate □ Inappropriate	□ ₫ å		
•	2	9 Landings/ Steps / Stoop / Railings				□ Appropriate □ Inappropriate			
<u> </u>	3	D Lighting (i.e. wall, post)				□ Appropriate □ Inappropriate			
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<u> </u>	3:	2 Mechanicals (i.e. HVAC, generators)				□ Appropriate □ Inappropriate			
HISTORIC	3	-				□ Appropriate □ Inappropriate			
	3	4 Garages/Barns / Sheds (i.e. doors, placement)				□ Appropriate □ Inappropriate			
	Z 3.	5 Fence / Walls (i.e. materials, type)				□ Appropriate □ Inappropriate			
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<u></u>		O Accessory Buildings (i.e. sheds, greenhouses)				□ Appropriate □ Inappropriate			
<u>F</u>	1. 2.	pose and Intent: Preserve the integrity of the District: Assessment of the Historical Significance: Conservation and enhancement of property value	Yes 1 Yes 1 es: Yes 1	No 5. Co	•	er of the District: ne architectural and historic character: ure and welfare of the District to the city residents and vis	□ Ye: □ Ye: sitors: □ Ye:		
<u>l.</u>	1.	ew Criteria / Findings of Fact: Consistent with special and defining character of some compatibility of design with surrounding properties				ectural value of existing structure: Yes No Chnologies with surrounding properties: Yes No			

A. Property Information - General:

Project Evaluation Form: <u>55 HANOVER STREET (LU-21-146)</u>
Permit Requested: <u>CERTIFICATE OF APPROVAL</u>
Meeting Type: <u>PUBLIC HEARING #2</u>

Existing Conditions:									
 Zoning District: <u>CD4-L2</u> Land Use: Mised Use 									
 Land Use: Mised-Use Land Area: 4,102 SF +/- 									
 Estimated Age of Structure: c. 	<u> 1989</u>								
Building Style: <u>Federal-Revival</u> Normalis of Stations 2.5.									
Number of Stories: 2.5Historical Significance: Contrib	outina								
 Public View of Proposed Work 	: View from High ar	nd Hanover Streets							
 Unique Features: NA 		_							
 Neighborhood Association: <u>Do</u> 	<u>owntown</u>								
B. Proposed Work: To replace all win	dows in all 4 units.								
C. Other Permits Required:									
☐ Board of Adjustment	\square Planning Board	☐ City Council							
D. Lot Location:									
☐ Terminal Vista	☐ Gateway	☐ Mid-Block							
✓ Intersection / Corner Lot	$lacktriangle$ Intersection / Corner Lot \Box Rear Lot								
E. Existing Building to be Altered/ Demo	olished:								
Principal Accessory Significant Demolition									
F. Sensitivity of Neighborhood Context:									
\square Highly Sensitive \square Sensitive $oxedsymbol{arDelta}$ Low Sensitivity \square "Back-of-House"									
G. Design Approach (for Major Projects	<u>s):</u>								
\Box Literal Replication (i.e. 6-16 C	Congress, Jardinière Buildin	g, 10 Pleasant Street)							
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)									
Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)									
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)									
H. Project Type:									
Consent Agenda (i.e. very small alterations, additions or expansions)									
☑ Minor Project (i.e. small alt									
☐ Moderate Project (i.e. sign	nificant additions, alte	rations or expansions)							
☐ Major Project (i.e. very large alterations, additions or expansions)									

I. Neighborhood Context:

• Due to the age of construction, this non-contributing historic structure is located along the intersection of Fleet and Court Streets and is surrounded with many other brick or wood-sided historic buildings between 2.5-3 stories in height. The building in this neighborhood have little to no front yard setback and shallow side yard setbacks.

J. Previous HDC Comments and Suggestions:

NA

K. Staff Comments and Suggestions for Consideration:

• The proposed improvements include replacement of all the new construction windows in the building.

Design Guideline Reference – Guidelines for Windows and Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:





Proposed Design and 3D Massing Model Image of Existing Conditions



Aerial View

	INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT						
NI-	Project Information	Existing Proposed Building Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)						
- BIA	GENERAL BUILDING INFORMATION	GENERAL BUILDING INFORMATION (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)								
1	Gross Floor Area (SF)									
2	Floor Area Ratio (GFA/ Lot Area)									
3	Building Height / Street-Width Ratio		AAINIOD DDC	NIF CT						
4		MINOR PROJECT								
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		HDC COMMENTS	HDC SUGGE							
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24				□ Appropriate □ Inappropriate						
25	Awnings			□ Appropriate □ Inappropriate						
26	Doors			□ Appropriate □ Inappropriate						
27	Porches and Balconies			□ Appropriate □ Inappropriate						
28	Projections (i.e. porch, portico, canopy)			□ Appropriate □ Inappropriate						
29	Landings/ Steps / Stoop / Railings			□ Appropriate □ Inappropriate						
30	Lighting (i.e. wall, post)			□ Appropriate □ Inappropriate						
31	Signs (i.e. projecting, wall)			□ Appropriate □ Inappropriate						
32	Mechanicals (i.e. HVAC, generators)			□ Appropriate □ Inappropriate						
33	Decks			□ Appropriate □ Inappropriate						
34	Garages (i.e. doors, placement)			☐ Appropriate ☐ Inappropriate						
35				□ Appropriate □ Inappropriate						
36	Grading (i.e. ground floor height, street edge)			□ Appropriate □ Inappropriate						
				□ Appropriate □ Inappropriate						
				□ Appropriate □ Inappropriate						
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40	Accessory Buildings (i.e. sheds, greenhouses) se and Intent:			□ Appropriate □ Inappropriate						
	3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 39 39 39 39 39 30 30 30 30 30 30 30 30 30 30 30 30 30	GENERAL BUILDING INFORMATION 1 Gross Floor Area (SF) 2 Floor Area Ratio (GFA/ Lot Area) 3 Building Height / Street-Width Ratio 4 Building Height - Zoning (Feet) 5 Building Height - Street Wall / Cornice (Feet) 6 Number of Stories 7 Building Coverage (% Building on the Lot) PROJECT REVIEW ELEMENT 8 Scale (i.e. height, volume, coverage) 9 Placement (i.e. setbacks, alignment) 10 Massing (i.e. modules, banding, stepbacks) 11 Architectural Style (i.e. traditional - modern) 12 Roofs 13 Style and Slope 14 Roof Projections (i.e. chimneys, vents, dormers) 15 Roof Materials 16 Cornice Line 17 Eaves, Gutters and Downspouts 18 Walls 19 Siding / Material 20 Projections (i.e. bays, balconies) 21 Doors and windows 22 Window Openings and Proportions 23 Window Casing/ Trim 24 Window Shutters / Hardware 25 Awnings 26 Doors 27 Porches and Balconies 28 Projections (i.e. porch, portico, canopy) 29 Landings/ Steps / Stoop / Railings 30 Lighting (i.e. wall, post) 31 Signs (i.e. projecting, wall) 32 Mechanicals (i.e. HVAC, generators) 33 Decks 34 Garages (i.e. doors, placement) 35 Fence / Walls (i.e. materials, type) 36 Grading (i.e. gardens, planters, street trees) 37 Landscaping (i.e. gardens, planters, street trees) 38 Driveways (i.e. location, material, screening)	GENERAL BUILDING INFORMATION GENERAL BUILDING INFORMATION Gross Floor Area (SF) Floor Area Ratio (GFA/ Lot Area) Building Height / Street-Walth Ratio Building Height / Street-Walth Ratio Building Height - Street Walt / Comice [Feet] Building Height - Street Walt / Comice [Feet] Rumber of Stories PROJECT REVIEW ELEMENT PROJECT REVIEW ELEMENT HDC COMMENTS Scale [i.e. height, volume, coverage) Placement [i.e. setbacks, alignment) Massing [i.e. modules, banding, stepbacks) Archifectural Style [i.e. traditional – modern) Roof Rojections [i.e. chimneys, vents, dormers) Roof Materials Cornice Line Projections [i.e. chimneys, vents, dormers) Roof Materials Walts Walts Walts Walts Walts Walts Walts Walts Window Casing/ Trim Window Casing/ Trim Window Casing/ Trim Window Stutters / Hordware Mindow Casing/ Trim Mindow Casing/ Trim Mindow Casing/ Trim Mindow Casing/ Fin Mindow Casing/	Building Building (+/-) (Average) GENERAL BUILDING INFORMATION (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) Floor Area Retin (GFA/ Lof Area] Building Height / Street Width Ratio Building Height / Street Width Ratio Building Height / Street Width (Facel) Building Height / Foreing (Feet) Building Height / Street Well / Cornice (Feet) Number of Stories PROJECT REVIEW ELEMENT Building (e.e., height, volume, coverage) PROJECT REVIEW ELEMENT Building (e.e., height, volume, coverage) Building (e.e., height, cove						

Project Evaluation Form: 322 ISLINGTON STREET

Permit Requested: CERTIFICATE OF APPROVAL

Meeting Type: PUBLIC HEARING #3

A. Property Information - General:		
 Existing Conditions: Zoning District: CD4-L2 Land Use: Two- Family Land Area: 4,422 SF +/- Estimated Age of Structure: C. Building Style: Mansard Number of Stories: 1.5 Historical Significance: Contrib. Public View of Proposed Work Unique Features: NA Neighborhood Association: Isli 	outing :: View from Cabot	and Islington Streets
B. Proposed Work: To relocate existing	<u>ng carriage house c</u>	and add a connector.
C. Other Permits Required:		
☑ Board of Adjustment	☐ Planning Board	☐ City Council
D. Lot Location:	_	_
☐ Terminal Vista	Gateway	☐ Mid-Block
✓ Intersection / Corner Lot	Rear Lot	
E. Existing Building to be Altered/ Dem	olished:	
☑ Principal	✓ Accessory	☐ Significant Demolition
F. Sensitivity of Context:		
\square Highly Sensitive $oldsymbol{arDelta}$ Sensi	tive \square Low Sensitivity	"Back-of-House
G. Design Approach (for Major Project	ts):	
☑ Literal Replication (i.e. 6-16	Congress, Jardinière Buildi	ng, 10 Pleasant Street)
\square Invention within a Style (i.e	e., Porter Street Townhouses	s, 100 Market Street)
Abstract Reference (i.e. Po	rtwalk, 51 Islington, 55 Con	gress Street)
☐ Intentional Opposition (i.e.	McIntyre Building, Citizen'	s Bank, Coldwell Banker)
H. Project Type:	, .	,
Consent Agenda (i.e. very	small alterations, add	ditions or expansions)
\square Minor Project (i.e. small alt		,
Moderate Project (i.e. sig		•
☐ Major Project (i.e. very lar		,

I. Neighborhood Context:

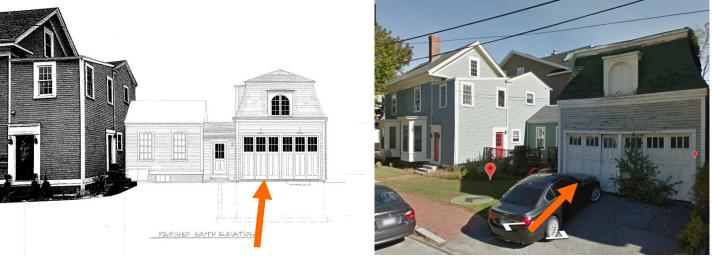
• This contributing historic structure is located along Cabot and Islington Streets. It is surrounded with many other wood, 2-2.5 story contributing structures with shallow front yard setbacks.

J. Staff Comments and Suggestions for Consideration:

- The applicant proposes to see re-approval for the following:
 - Remodel the existing carriage house in a new location.
 - Add a single story connector.

Design Guideline Reference – See Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small Scale New Construction & Addition (10).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



HISTORIC

SURVEY

RATING

Zoning Map

322 ISLINGION STREET – PUBLIC HEARING #3 (MODERATE)									
		INFO/ EVALUATION CRITERIA	SUBJI	CT PROPERTY	NEIGHBORHOOD CONTEXT				
		Project Information	Existing	Proposed	Abutting Structures	Surrounding Structures			
	No.		Building	Building (+/-)	(Average)	(Average)	A 4-21		
	140.	GENERAL BUILDING INFORMATION	(FSTIM A	TED FROM THE TAX MAPS & AS	SESSOB'S INFO)				
1415	1	Gross Floor Area (SF)	(LSTIMA	TED I ROM THE TAX MAI 3 & AS	3130 K 3 H41 O)				
(2	Floor Area Ratio (GFA/ Lot Area)					FOI MISSION Date:		
<u>-</u>	3	Building Height / Street-Width Ratio		A	ACDEDATE DDC I	E ∕ T	FO ISSIC		
	4	4 Building Height - Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)	_	PEMODEL CARR	IAGE HOUSE AND AD	D CONNECTOR ONLY –			
	6	Number of Stories	_	KLMODEL CAKK	IAGE HOUSE AND AD	D COMMECTOR ONLY	∠ ≥ ::		
	7	Building Coverage (% Building on the Lot)			<u> </u>				
	_	PROJECT REVIEW ELEMENT	HDC	COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
!	3 8	Scale (i.e. height, volume, coverage)				☐ Appropriate ☐ Inappropriate			
	9	Placement (i.e. setbacks, alignment)				□ Appropriate □ Inappropriate			
	10	Massing (i.e. modules, banding, stepbacks)				□ Appropriate □ Inappropriate	_ (보고)		
<u> </u>	11	Architectural Style (i.e. traditional – modern) Roofs				□ Appropriate □ Inappropriate	UAT DISTRIC EET Cas		
?	12	Style and Slope				□ Appropriate □ Inappropriate			
i	14	Roof Projections (i.e. chimneys, vents, dormers)				□ Appropriate □ Inappropriate	ALU RIC DIS		
	15	Roof Materials				☐ Appropriate ☐ Inappropriate ☐ Appropriate ☐ Inappropriate			
	16	Cornice Line				□ Appropriate □ Inappropriate	EVA HISTORIC GTON SI		
E	17	Eaves, Gutters and Downspouts				□ Appropriate □ Inappropriate			
: :		Walls				□ Appropriate □ Inappropriate	— — ≨ তি		
	19	Siding / Material				□ Appropriate □ Inappropriate			
3 5	20	Projections (i.e. bays, balconies)				□ Appropriate □ Inappropriate	ATY E		
[:	21	Doors and windows				□ Appropriate □ Inappropriate			
	22	Window Openings and Proportions				□ Appropriate □ Inappropriate			
	23	Window Casing/ Trim				□ Appropriate □ Inappropriate	E SMC		
5 2	24	Window Shutters / Hardware				□ Appropriate □ Inappropriate			
- 9		Awnings				☐ Appropriate ☐ Inappropriate	OPTS,		
<u> </u>	26	Doors				□ Appropriate □ Inappropriate	• м		
	26 27	Porches and Balconies				☐ Appropriate ☐ Inappropriate			
-	28	Projections (i.e. porch, portico, canopy)				□ Appropriate □ Inappropriate			
,	29	Landings/ Steps / Stoop / Railings				□ Appropriate □ Inappropriate			
ן ן	30	Lighting (i.e. wall, post)				□ Appropriate □ Inappropriate			
5	31 32	Signs (i.e. projecting, wall) Mechanicals (i.e. HVAC, generators)				□ Appropriate □ Inappropriate			
	33	Decks				☐ Appropriate ☐ Inappropriate ☐ Appropriate ☐ Inappropriate			
	34	Garages (i.e. doors, placement)				□ Appropriate □ Inappropriate			
_	35	Fence / Walls (i.e. materials, type)				□ Appropriate □ Inappropriate			
	36	Grading (i.e. ground floor height, street edge)				□ Appropriate □ Inappropriate			
	36 37 38 39	Landscaping (i.e. gardens, planters, street trees)				□ Appropriate □ Inappropriate			
	38	Driveways (i.e. location, material, screening)				☐ Appropriate ☐ Inappropriate			
!	39	Parking (i.e. location, access, visibility)				□ Appropriate □ Inappropriate			
	40	Accessory Buildings (i.e. sheds, greenhouses)			-	□ Appropriate □ Inappropriate			
<u>H</u> .	Purpos	se and Intent:					·		
		eserve the integrity of the District:		No 4. Maii	ntain the special character of the [District:			
		sessment of the Historical Significance:			nplement and enhance the archite				
		onservation and enhancement of property valu	es: 🗆 Yes 🗆			welfare of the District to the city residents and vis	isitors: 🗆 Yes 🗆		
L		Criteria / Findings of Fact:				,	·		
		onsistent with special and defining character of	surrounding proper	ties: □ Yes □ No 3. Rela	ition to historic and architectural vo	alue of existing structure: Yes No			
		mpatibility of design with surrounding properties			npatibility of innovative technologi				

Project Address: 199 MIDDLE STREET (LU-21-149) **Permit Requested: CERTIFICATE OF APPROVAL Meeting Type: PUBLIC HEARING #4**

A. Property Information - General:

Existing Conditions:

- Zoning District: MRO
- Land Use: Mixed-Use
- Land Area: 0.27A +/-
- Estimated Age of Structure: <u>c.1810</u>
 Building Style: <u>NA</u>
 Number of Stories: <u>2.5</u>

- Historical Significance: <u>Contributing</u>
 Public View of Proposed Work: <u>View from Middle Street</u>
- Unique Features: NA
- Neighborhood Association: Richards Ave.

<u>B.</u>	<u>Proposed</u>	Work:	Io add	shed.

<u>C.</u>	<u>Other</u>	<u>Permits</u>	Requ	<u> Jired:</u>
			-	

	Board of Adjustment	☐ Planning Board	☐ City Counc
<u>D.</u>	<u>Lot Location:</u>		

Termino

Terminal Vista	☐ Gateway	✓ Mid-Block
<u></u>		

\sqcup Intersection / Corner Lot $\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;\;$	ear Lo

<u>E.</u>	Existing	<u>Building</u> :	<u>to be</u>	Altered/	<u>'Demolished</u>	/ Constructed:

□ Principal	Accessory	\square Demolition

F. Sensitivity of Context:

	Highly Sensitive	Sensitive	\checkmark	Low Sensitivity		"Back-of-House"
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G. Design Approach (for Major Projects):

Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)

- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

Consent Agen	da (i.e. very	' small	alterations,	additions or	expansions)

- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

• The building location is located along Middle Street. It is surrounded with many contributing structures ranging from 2.5 to 3 stories in height. The neighborhood is predominantly made up of a wide range of 2.5 -3 story wood-sided structures on lots with a shallow setback from the sidewalk.

J. Staff Comments and/ or Suggestions for Consideration:

The applicant is proposing to:

• Add a shed to the rear of the property.

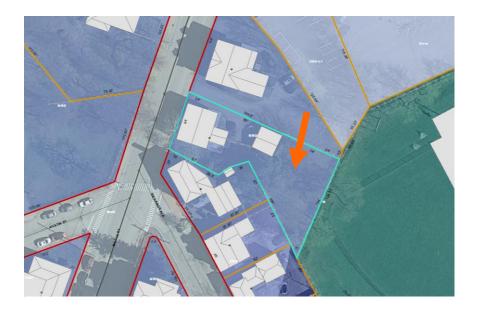
Design Guideline Reference – Guidelines for Small Scale New Construction and Additions (10) and Site Elements and Streetscapes (09)

K. Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



			AA WIDDLE 2	SIREEI (LU-21-149) -	- PUBLIC HEARING	G #4 (MINOK)					
		INFO/ EVALUATION CRITERIA	SUBJ	ECT PROPERTY	N	EIGHBORHOOD CONTEXT					
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)					
	_Nc	GENERAL BUILDING INFORMATION	(FSTIM	L ATEN FROM THE TAY MAPS & ASSE	SSOR'S INFO)		R S S S S S S S S S S				
STAFF	1	GENERAL BUILDING INFORMATION (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) 1 Gross Floor Area (SF)									
⋖	2										
SI	—	3 Building Height / Street-Width (ROW) Ratio MINOR PROJECT									
	4										
	5	Building Height – Street Wall / Cornice (Feet)		- ADD A SHED ONLY -							
	6	Number of Stories									
	7	Building Coverage (% Building on the Lot)									
		PROJECT REVIEW ELEMENT	APPLIC	ANT'S COMMENTS	HDC SUGGESTIO	ONS APPROPRIATENESS	ODD COMMI				
5	_ 8	Scale (i.e. height, volume, coverage)				□ Appropriate □ Inappropriate					
ĺ	8 9	Placement (i.e. setbacks, alignment)				□ Appropriate □ Inappropriate					
(יו וכ					☐ Appropriate ☐ Inappropriate					
	1 ر	Architectural Style (i.e. traditional – modern)				☐ Appropriate ☐ Inappropriate					
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	10					□ Appropriate □ Inappropriate					
	1;	7 Eaves, Gutters and Downspouts				□ Appropriate □ Inappropriate					
5	18 19 19 19 19 19 19 19 19 19 19 19 19 19					☐ Appropriate ☐ Inappropriate					
1	19	Number and Material				☐ Appropriate ☐ Inappropriate	TY THING THE PROPERTY OF THE P				
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9	2					□ Appropriate □ Inappropriate					
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(30					□ Appropriate □ Inappropriate					
1	3:					□ Appropriate □ Inappropriate					
4	38	- · · · · · · · · · · · · · · · · · · ·				□ Appropriate □ Inappropriate					
	39					□ Appropriate □ Inappropriate					
	40	Accessory Buildings (i.e. sheds, greenhouses)				□ Appropriate □ Inappropriate	U5 1				
<u>H</u> .	Purp	oose and Intent:		-		,	•				
	1.	Preserve the integrity of the District:		No 4. Mainta	ain the special character of	f the District:					
		Assessment of the Historical Significance:			•	architectural and historic character:	□ Yes □				
		Conservation and enhancement of property va		•		and welfare of the District to the city residents and vis					
<u>l.</u>	Revie	ew Criteria / Findings of Fact:			·	,					
		Consistent with special and defining character o				<u> </u>					
	2. (Compatibility of design with surrounding properti	es:	□ Yes □ No 4. Comp	atibility of innovative techn	ologies with surrounding properties: 🗆 Yes 🗆 No					

Project Address: 39 PICKERING STREET (LU-21-95) **Permit Requested: CERTIFCATE OF APPROVAL PUBLIC HEARING #5 Meeting Type:**

- Existing Conditions:Zoning District: GRB
- Land Use: Single Family
- Land Area: 2,613 SF +/-
- Estimated Age of Structure: <u>c.1790</u> Building Style: <u>Colonial</u>

- Number of Stories: 2.5
 Historical Significance: C
 Public View of Proposed Work: Limited from Pickering Street
- Unique Features: Recent Infill Building
- Neighborhood Association: Downtown

B. Proposed Work: To add a new shed in the rear yard

B. Proposed Work: 10 add a new sn	<u>ea in the rear yara.</u>	
C. Other Permits Required:		
☑ Board of Adjustment	☐ Planning Board	☐ City Council
D. Lot Location:		
☐ Terminal Vista	Gateway	☑ Mid-Block
☐ Intersection / Corner Lot	☐ Rear Lot	
E. Existing Building to be Altered/ Demo	olished / Constructed	l <u>:</u>
Principal	✓ Accessory	Demolition
F. Sensitivity of Context:		
☐ Highly Sensitive ☑ Sensi	tive \square Low Sensitivity	√ 🗌 "Back-of-House'
G. Design Approach (for Major Project	<u>s):</u>	
Literal Replication (i.e. 6-16 0	Congress, Jardinière Buildir	ng, 10 Pleasant Street)

H. Project Type:

$\hfill \square$ Consent Agenda (i.e. very small alterations, additions or expansion	ons
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Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)

Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)

- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

K. Neighborhood Context:

• The building is located along Pickering Street and is surrounded with many existing historic buildings ranging from 2 to 2.5 stories in height. The neighborhood is predominantly made up of wood-sided structures on small lots, located along the street edge with shallow setbacks.

L. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

• Replace the existing shed with a new cedar shed.

Design Guideline Reference – Guidelines for Site Elements and Streetscapes (10).

L. Aerial Image, Street View and Zoning Map:





Existing and Proposed Conditions



Zoning Map

39 PICKERING STREET (LU-21-195) – PUBLIC HEARING #5 (MINOR PROJECT) INFO/ EVALUATION CRITERIA SUBJECT PROPERTY **NEIGHBORHOOD CONTEXT** 8-4-21 **Existing Building** Surrounding Structures (Average) **Project Information** Proposed Building (+/-) **Abutting Structures** FORM No. **GENERAL BUILDING INFORMATION** (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) COMMISSION Gross Floor Area (SF) Date: Floor Area Ratio (GFA/ Lot Area) MINOR PROJECT Building Height / Street-Width (ROW) Ratio Building Height – Zoning (Feet) Withdrawn - REPLACE SHED ONLY -Stipulations Building Height - Street Wall / Cornice (Feet) 2 Number of Stories Building Coverage (% Building on the Lot) **PROJECT REVIEW ELEMENT APPLICANT'S COMMENTS APPROPRIATENESS HDC SUGGESTIONS Scale** (i.e. height, volume, coverage...) □ Appropriate □ Inappropriate DISTRICT Placement (i.e. setbacks, alignment...) 9 □ Appropriate □ Inappropriate Approved with Case 10 Massing (i.e. modules, banding, stepbacks... Appropriate □ Inappropriate 4 11 **Architectural Style** (i.e. traditional – modern) Postponed □ Appropriate □ Inappropriate 12 Roofs Appropriate □ Inappropriate **MEMBERS** 13 Style and Slope □ Appropriate □ Inappropriate RIC 14 Roof Projections (i.e. chimneys, vents, dormers...) □ Appropriate □ Inappropriate 4 15 **Roof Materials** □ Appropriate □ Inappropriate 16 **Cornice Line** □ Appropriate □ Inappropriate HISTO Eaves, Gutters and Downspouts 17 □ Appropriate □ Inappropriate ш **PICKERIN** 18 Walls COMMISSION □ Appropriate □ Inappropriate Approved 19 Number and Material □ Appropriate □ Inappropriate **PORTSMOUTH** Projections (i.e. bays, balconies...) □ Appropriate □ Inappropriate R 21 **Doors and windows** □ Appropriate □ Inappropriate Window Openings and Proportions □ Appropriate □ Inappropriate ш 23 Window Casing/ Trim □ Appropriate □ Inappropriate ROPERTY:39 چ آ 24 Window Shutters / Hardware □ Appropriate □ Inappropriate 25 Storm Windows / Screens □ Appropriate □ Inappropriate DISTRICT □ Appropriate □ Inappropriate Porches and Balconies 27 □ Appropriate □ Inappropriate Projections (i.e. porch, portico, canopy... □ Appropriate □ Inappropriate Landings/ Steps / Stoop / Railings □ Appropriate □ Inappropriate **Lighting** (i.e. wall, post...) ISTORIC □ Appropriate □ Inappropriate Signs (i.e. projecting, wall...) □ Appropriate □ Inappropriate **Mechanicals** (i.e. HVAC, generators) □ Appropriate □ Inappropriate 33 Decks □ Appropriate □ Inappropriate Garages / Barns / Sheds (i.e. doors, placement...) □ Appropriate □ Inappropriate 35 Fence / Walls / Screenwalls (i.e. materials, type...) □ Appropriate □ Inappropriate **Grading** (i.e. ground floor height, street edge...) 36 □ Appropriate □ Inappropriate 37 **Landscaping** (i.e. gardens, planters, street trees...) □ Appropriate □ Inappropriate 38 **Driveways** (i.e. location, material, screening...) □ Appropriate □ Inappropriate **Parking** (i.e. location, access, visibility...) □ Appropriate □ Inappropriate Accessory Buildings (i.e. sheds, greenhouses...) ☐ Appropriate ☐ Inappropriate H. Purpose and Intent: 1. Preserve the integrity of the District: ☐ Yes ☐ No 4. Maintain the special character of the District: ☐ Yes ☐ No 2. Assessment of the Historical Significance: 5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No ☐ Yes ☐ No 3. Conservation and enhancement of property values: ☐ Yes ☐ No 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No Review Criteria / Findings of Fact: 1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No 3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No 2. Compatibility of design with surrounding properties: ☐ Yes ☐ No 4. Compatibility of innovative technologies with surrounding properties: □ Yes □ No

Project Evaluation Form: 93 PLEASANT STREET (LU-21-235) **Permit Requested: CERTIFICATE OF APPROVAL Meeting Type: PUBLIC HEARING #6**

A. Property Information - General:

Existing Conditions:

- Zoning District: <u>CD4</u>Land Use: <u>Commercial</u>
- Land Area: 11,325 SF +/-
- Estimated Age of Structure: c.1818

- Building Style: <u>Federal</u>
 Historical Significance: <u>Focal</u>
 Public View of Proposed Work: <u>View from Pleasant and Court Streets</u>
- Unique Features: Focal Building
- Neighborhood Association: Downtown

B. Proposed Work: To renovate the existing building.

C. Other Permits Required:							
\square Board of Adjustment \square Plann	ing Board 🗌 City Council						
D. Lot Location:							
\square Terminal Vista \square Gate	way 🗌 Mid-Block						
$lacktriangle$ Intersection / Corner Lot $\ \square$ Rear	Lot						
E. Existing Building to be Altered/ Demolished / C	<u>Constructed</u>						
✓ Principal □ Acce	essory Demolition						
F. Sensitivity of Context:							
$lacktriangle$ Highly Sensitive \Box Sensitive \Box Lo	w Sensitivity 🗌 "Back-of-House"						
G. Design Approach (for Major Projects):							
☑ Literal Replication (i.e. 6-16 Congress, Jo	ardinière Building, 10 Pleasant Street)						
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)							
Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)							
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)							
H. Project Type:							
\square Consent Agenda (i.e. very small alter	rations, additions or expansions)						
\square Minor Project (i.e. small alterations, additions or expansions)							
☑ Moderate Project (i.e. significant ac	dditions, alterations or expansions)						
☐ Major Project (i.e. very large alteration	ons, additions or expansions)						

I. Neighborhood Context:

• This historically significant and focal building is located along the intersection of Pleasant and Court Streets. It is surrounded with many wood-frame 2 - 2.5 story contributing structures. The Langdon Mansion, another focal building and setting is located across the street.

J. Background, Comments & Suggested Actions:

The Applicant is seeking to:

- Demolish the one story side entrance addition on Court Street as well as the single story addition on the rear of the building.
- Replace the asphalt shingles with boral slateline shingles.
- Replace all original TDL windows with new SDL windows to match.
- Design Guideline Reference: Guidelines for Exterior Maintenance (03), Roofing (04), Exterior Woodwork (05), Masonry and Stucco (07), and Windows and Doors (08)

K. Aerial Images and Maps:





Elevations



		93 F	PLEASANT ST	REET (LU-21-235)	- PUBLIC HEARING #6	S (MODERATE)		
		INFO/ EVALUATION CRITERIA	SUBJE	CT PROPERTY	NEIG	HBORHOOD CONTEXT		
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
		GENERAL BUILDING INFORMATION		- 				
壯			GENERAL BUILDING INFORMATION (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) Gross Floor Area (SF)					
STAFF		` '					SION :: 8-4-	
ST		Building Height / Street-Width Ratio			MODERATE PROJ	E C T		
		Building Height – Zoning (Feet)		Λ	MODERATE PROJ			
		Building Height – Street Wall / Cornice (Feet)	- DEMO	- DEMOLITION, ROOFING, WINDOW REPLACEMENT AND MISC. ELEMENTS-				
		Number of Stories	- DLMO	LITION, ROOTING	3, WINDOW KLI LACLI	WEINT AND MISC. LLLMLINIS—		
		Building Coverage (% Building on the Lot)			-		DN F COMMIS :6 Date	
		PROJECT REVIEW ELEMENT	HDC	COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	O 7 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	
	5	Scale (i.e. height, volume, coverage)				□ Appropriate □ Inappropriate		
	ONTEXT	Placement (i.e. setbacks, alignment)				□ Appropriate □ Inappropriate		
		Massing (i.e. modules, banding, stepbacks)				□ Appropriate □ Inappropriate		
	Ŭ 1	1 Architectural Style (i.e. traditional – modern)				☐ Appropriate ☐ Inappropriate	ALUA RIC DISTRIC I ST. Case	
S	1	2 Roofs				□ Appropriate □ Inappropriate		
ш	1	3 Style and Slope				□ Appropriate □ Inappropriate		
AB	1	Roof Projections (i.e. chimneys, vents, dormers)				□ Appropriate □ Inappropriate		
\mathbf{R}	1	5 Roof Materials				□ Appropriate □ Inappropriate		
MEMBERS	1	6 Cornice Line				□ Appropriate □ Inappropriate	EV.	
	1	7 Eaves, Gutters and Downspouts				□ Appropriate □ Inappropriate	□ SA S	
ō □	ပ္ခ 1	8 Walls				□ Appropriate □ Inappropriate		
<u>S</u>	1	9 Number and Material				□ Appropriate □ Inappropriate		
	<u> </u>	O Projections (i.e. bays, balconies)				□ Appropriate □ Inappropriate		
OMMISSION	≷ 2	1 Doors and windows				□ Appropriate □ Inappropriate	ERTY 10017H H 193 PLEA Approved	
\geq	∞ 2	2 Window Openings and Proportions				□ Appropriate □ Inappropriate		
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ISTRI		6 Doors				□ Appropriate □ Inappropriate	POR POR SCISIONS	
S	<u> </u>					☐ Appropriate ☐ Inappropriate		
		8 Projections (i.e. porch, portico, canopy)				☐ Appropriate ☐ Inappropriate		
U	2					□ Appropriate □ Inappropriate		
~		0 Lighting (i.e. wall, post)				□ Appropriate □ Inappropriate		
<u> </u>	3					□ Appropriate □ Inappropriate		
HISTORIC		· · · · · · · · · · · · · · · · · · ·				□ Appropriate □ Inappropriate		
I		3 Decks				□ Appropriate □ Inappropriate		
<u> </u>		4 Garages (i.e. doors, placement)				□ Appropriate □ Inappropriate		
	<u>র্</u> ট <u> </u>	Fence / Walls / Screenwalls (i.e. materials, type)				□ Appropriate □ Inappropriate		
	ш —	6 Grading (i.e. ground floor height, street edge)				□ Appropriate □ Inappropriate	MITTER OF THE	
	ш	7 Landscaping (i.e. gardens, planters, street trees) 8 Driveways (i.e. location, material, screening)				□ Appropriate □ Inappropriate		
						□ Appropriate □ Inappropriate	- Line	
		9 Parking (i.e. location, access, visibility)				□ Appropriate □ Inappropriate		
<u>H</u>		pose and Intent:						
		Preserve the integrity of the District:	□ Yes □		ntain the special character of the		☐ Yes ☐ No	
							☐ Yes ☐ No	
I.		Conservation and enhancement of property valu iew Criteria / Findings of Fact:	Jes:	No 6. Pror	mote the education, pleasure and	welfare of the District to the city residents and vis	sitors: 🗆 Yes 🗆 No	
	1.	Consistent with special and defining character of Compatibility of design with surrounding propertie	•		ation to historic and architectural v			

Project Address: 361 ISLINGTON STREET Permit Requested: CERTIFICATE OF APPROVAL Meeting Type: WORK SESSION/ PUBLIC HEARING #7

Existing Conditions:

- Zoning District: <u>CD4-L1</u> Land Use: <u>Vacant / Commercial</u>
- Land Area: 15,174 SF +/-

- Estimated Age of Structure: 1965
 Building Style: Commercial / Modern
 Historical Significance: Non-Contributing
 Public View of Proposed Work: View from Islington and Cabot Streets
- Unique Features: NA
- Neighborhood Association: Islington Creek

В.	Proposed Work:	Add side addition and make site improvements
	-	·

<u>C. </u>	<u>Other</u>	<u>Permits</u>	Req	<u>uired:</u>
			_	

C. Oth	<u>er Permits Kequirea:</u>		
	☑ Board of Adjustment	☑ Planning Board	☐ City Council
D. Lot	<u>Location:</u>		
	☐ Terminal Vista	Gateway	☐ Mid-Block
	✓ Intersection / Corner Lot	☐ Rear Lot	
E. Exist	ing Building to be Altered/ Demo	olished / Constructed	<u>:</u>
	✓ Principal	Accessory	\square Significant Demolition
F. Sens	itivity of Context:		
	☐ Highly Sensitive ☑ Sensit	tive \square Low Sensitivity	"Back-of-House"
G. Des	<u>ign Approach (for Major Project</u>	<u>s):</u>	
	\square Literal Replication (i.e. 6-16 (Congress, Jardinière Buildir	ng, 10 Pleasant Street)
	$\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ $., Porter Street Townhouses	s, 100 Market Street)
	Abstract Reference (i.e. Po	rtwalk, 51 Islington, 55 Con	gress Street)

H. Project

Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)
t Type:
\square Consent Agenda (i.e. very small alterations, additions or expansions)
\square Minor Project (i.e. small alterations, additions or expansions)
✓ Moderate Project (i.e. significant additions, alterations or expansions)
$\hfill \square$ Major Project (i.e. very significant alternations, additions or expansions

I. Neighborhood Context:

• The structure is located along Islington Street. It is surrounded with mainly wood 2.5 - 3 story historic structures with shallow or no front yard setbacks on relatively small lots

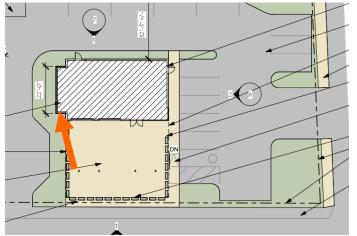
J. Background & Suggested Action:

The applicant proposed to:

- Convert the former gas station to a full-service restaurant;
- Add a small addition to the west side of the building;
- Modify the existing canopy to create on outdoor seating area; and
- Add fencing and landscaping along the edge of the property.

Design Guideline Reference – Masonry & Stucco (07), Windows and Doors (08), Site Elements & Streetscapes (09), Small Scale New Construction & Additions, and Signs and Awnings (11)

K. Aerial Image, Street View and Zoning Map:





Proposed Site Plan and Street View Image



Zoning Map

HISTORIC SURVEY RATING

NC

361 ISLINGTON STREET – WORK SESSION/ PUBLIC HEARING #7 (MODERATE) INFO/ EVALUATION CRITERIA **NEIGHBORHOOD CONTEXT** SUBJECT PROPERTY 8-11-21 **Project Information Existing Abutting Structures Proposed Surrounding Structures** (Average) (Average) **FORM** Building Building (+/-) No. **GENERAL BUILDING INFORMATION** (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) COMMISSION Gross Floor Area (SF) Floor Area Ratio (GFA/ Lot Area) Date: Building Height / Street-Width Ratio MODERATE PROJECT Withdrawn Building Height – Zoning (Feet) Stipulations Building Height - Street Wall / Cornice (Feet) - SITE ALTERATIONS AND SIDE ADDITION ONLY -No:7 Number of Stories Building Coverage (% Building on the Lot) **PROJECT REVIEW ELEMENT APPLICANT'S COMMENTS HDC SUGGESTIONS APPROPRIATENESS** DISTRICT 8 **Scale** (i.e. height, volume, coverage...) with ☐ Appropriate ☐ Inappropriate dSC 9 Placement (i.e. setbacks, alignment...) ☐ Appropriate ☐ Inappropriate 4 10 Massing (i.e. modules, banding, stepbacks...) □ Appropriate □ Inappropriate Postponed Approved **Architectural Style** (i.e. traditional – modern) □ Appropriate □ Inappropriate 12 Roofs □ Appropriate □ Inappropriate **MEMBERS** STR 13 Style and Slope □ Appropriate □ Inappropriate **HISTORIC** 4 14 Roof Projections (i.e. chimneys, vents, dormers... □ Appropriate □ Inappropriate 15 **Roof Materials** □ Appropriate □ Inappropriate GTON 16 **Cornice Line** □ Appropriate □ Inappropriate ш Eaves, Gutters and Downspouts □ Appropriate □ Inappropriate COMMISSION 18 Walls □ Appropriate □ Inappropriate :361 ISLIN 19 Siding / Material **PORTSMOUTH** □ Appropriate □ Inappropriate Projections (i.e. bays, balconies...) □ Appropriate □ Inappropriate 2 21 **Doors and Windows** □ Appropriate □ Inappropriate Window Openings and Proportions ш 22 □ Appropriate □ Inappropriate 23 Window Casing/Trim □ Appropriate □ Inappropriate **_** Window Shutters / Hardware □ Appropriate □ Inappropriate **PROPERTY** 25 Storm Windows / Screens □ Appropriate □ Inappropriate DISTRICT 26 Doors □ Appropriate □ Inappropriate 2 27 **Porches and Balconies** □ Appropriate □ Inappropriate Projections (i.e. porch, portico, canopy...) Δ □ Appropriate □ Inappropriate Landings/Steps/Stoop/Railings □ Appropriate □ Inappropriate HISTORIC Lighting (i.e. wall, post... □ Appropriate □ Inappropriate **Signs** (i.e. projecting, wall...) □ Appropriate □ Inappropriate Mechanicals (i.e. HVAC, generators) 32 □ Appropriate □ Inappropriate 33 Decks □ Appropriate □ Inappropriate Garages/Barns / Sheds (i.e. doors, placement...) 34 □ Appropriate □ Inappropriate Fence / Walls / Screenwalls (i.e. materials, type...) □ Appropriate □ Inappropriate **Grading** (i.e. ground floor height, street edge...) □ Appropriate □ Inappropriate 37 **Landscaping** (i.e. gardens, planters, street trees...) □ Appropriate □ Inappropriate 38 **Driveways** (i.e. location, material, screening...) □ Appropriate □ Inappropriate **Parking** (i.e. location, access, visibility...) □ Appropriate □ Inappropriate Accessory Buildings (i.e. sheds, greenhouses... □ Appropriate □ Inappropriate H. Purpose and Intent: 1. Preserve the integrity of the District: ☐ Yes ☐ No 4. Maintain the special character of the District: ☐ Yes ☐ No 2. Assessment of the Historical Significance: ☐ Yes ☐ No 5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No 3. Conservation and enhancement of property values: 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No ☐ Yes ☐ No I. Review Criteria / Findings of Fact: 1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No 3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No 2. Compatibility of design with surrounding properties: ☐ Yes ☐ No 4. Compatibility of innovative technologies with surrounding properties: □ Yes □ No

Project Address: 238 DEER ST. (LUHD-340) **Permit Requested: CERTIFICATE OF APPROVAL**

Meeting Type: WORK SESSION #A

Existing Conditions:

- Zoning District: SRB
- Land Use: Single Family
- Land Area: 13,068 SF +/-
- Estimated Age of Structure: c.1890
 Building Style: Vernacular
 Historical Significance: NA
- Public View of Proposed Work: Limited view from New Castle Ave.
- Unique Features: <u>NA</u>
- Neighborhood Association: South End

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b. Floposed Wolk. To replace two w	<u>viridows wiiri d diirei</u>	<u>rem designi.</u>
C. Other Permits Required:		
\square Board of Adjustment	\square Planning Board	☐ City Council
D. Lot Location:		
☐ Terminal Vista	☐ Gateway	☑ Mid-Block
$\ \square$ Intersection / Corner Lot	☐ Rear Lot	
E. Existing Building to be Altered/ Dem	olished:	
✓ Principal	☐ Accessory	Demolition
F. Sensitivity of Context:		
\square Highly Sensitive \square Sensit	rive 🗹 Low Sensitivity	y \square "Back-of-House
G. Design Approach (for Major Project	<u>'s):</u>	
\Box Literal Replication (i.e. 6-16 (Congress, Jardinière Buildir	ng, 10 Pleasant Street)
\square Invention within a Style (i.e	e., Porter Street Townhouse	s, 100 Market Street)
Abstract Reference (i.e. Po	rtwalk, 51 Islington, 55 Cor	ngress Street)
☐ Intentional Opposition (i.e.	McIntyre Building, Citizen	's Bank, Coldwell Banker)
H. Project Type:		
\square Consent Agenda (i.e. very	small alterations, add	ditions or expansions)

Minor Project (i.e. small alterations, additions or expansions)

Moderate Project (i.e. significant additions, alterations or expansions)

☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

• The building is located along New Castle Ave. across from Round Island in the South End. It is surrounded with many 1.5-2 story wood-sided historic structures with small rear and side yards with garden areas.

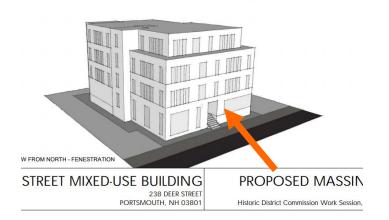
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Replace two casement windows that were damaged in a recent storm with a picture window and two double-hung windows.
- The applicant will submit revised plan by August 4th for the August 11th meeting. Such plans will be forwarded to you at that time.

Design Guideline Reference - Guidelines for Windows and Doors (08).

K. Aerial Image, Street View and Zoning Map:





Proposed Alterations and Existing Conditions



Zoning Map

	INFO/ EVALUATION CRITERIA	SUBJEC	CT PROPERTY		NEIGHBORHOOD CO	ONTEXT		
	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surround	ling Structures verage)		
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3	Building Height / Street-Width Ratio	MA IOD DDO IECT						
4		MAJOR PROJECT					ш	
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7	Building Coverage (% Building on the Lot)		ı					
	PROJECT REVIEW ELEMENT	APPLICAN	T'S COMMENTS	HDC SUGG	ESTIONS	APPROPRIATENESS		
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	Placement (i.e. setbacks, alignment)					Appropriate 🗆 Inappropriate	▁▏┣━	
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Purk	ose and Intent:				<u>,</u> —			
	Preserve the integrity of the District:	□ Yes □ 1	No 4. Mai	ntain the special characte	er of the District:			
	Assessment of the Historical Significance:	□ Yes □ 1		•	ne architectural and historic	character:		
	Conservation and enhancement of property value			•		ct to the city residents and visi	tors:	
	, , ,		0.1101	33333717, 51343	2.2 22 33. 3. 11.0 2.31110	2 2 2 , . 2	J. J.	
KEVI	ew Criteria / Findings of Fact:							

Existing	Con	dition	ıs:
EXISITING	U U11	aiiioi	

- Zoning District: GRA
- Land Use: <u>Single Family</u>
- Land Area: 23,522 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Queen Anne
- Historical Significance: C
- Public View of Proposed Work: <u>View from Northwest Street & the Rte.1 Bypass.</u>
- Unique Features: NA
- Neighborhood Association: Christian Shore

<u>B.</u>	Proposed Work:	<u>To construc</u>	<u>t a new</u>	single i	family	<u>' house o</u>	<u>n the lot.</u>

C. Other Permits Required:		
Board of Adjustment	☐ Planning Board	☐ City Council
D. Lot Location:		
☐ Terminal Vista	☐ Gateway	☑ Mid-Block
\Box Intersection / Corner Lot	☐ Rear Lot	
E. Existing Building to be Altered/ Demo	olished:	

	\square Intersection / Corner Lot \square Rear Lot
<u>E.</u>	Existing Building to be Altered/ Demolished:
	lacktriangledown Principal $lacktriangledown$ Accessory $lacktriangledown$ Demolition
<u>F.</u>	Sensitivity of Context:
	\square Highly Sensitive $oxedsymbol{oxtime}$ Sensitive \square Low Sensitivity \square "Back-of-House"
<u>G.</u>	Design Approach (for Major Projects):
	Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
	☑ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
	Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
	$\ \square$ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)
н	Project Type:

☐ Consent Agenda (i.e. very small alterations, additions or expansions)

Moderate Project (i.e. significant additions, alterations or expansions)

Major Project (i.e. very large alternations, additions or expansions)

☐ Minor Project (i.e. small alterations, additions or expansions)

Page 23 of 34

L. Neighborhood Context:

• The building lot is located along Northwest Street. It is surrounded with many 1.5-2 story wood-sided historic structures with small rear and side yards with garden areas. The proposed lot is very narrow which limits the potential for landscape screening along the Rte. 1 Bypass.

M. <u>Staff Comments and/ or Suggestions for Consideration:</u>

The Application is proposing to:

- Construct a new single-family residence on the north eastern portion of the property.
- Note that a variance was granted to support this application.
- <u>The applicant will submit revised plan by August 4th for the August 11th meeting. Such plans will be forwarded to you at that time.</u>

Design Guideline Reference - Guidelines for New Construction (02-09).

N. Aerial Image, Street View and Zoning Map:





Proposed Alterations and Existing Conditions



SURVEY RATING

HISTORIC

Zoning Map

						<u>6) – WORK SESSIC</u>	Control of the contro			
	INFO/ EVALUATION CRITERIA			SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT				
			Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	<		
			GENERAL BUILDING INFORMATION	(ESTIMAT	ED FROM THE TAX MAPS & AS	SSESSOR'S INFO)				
		1	Gross Floor Area (SF)			•		FOR ISSION		
		2	Floor Area Ratio (GFA/ Lot Area)							
		3	Building Height / Street-Width Ratio		MODERATE PROJECT					
		4	Building Height – Zoning (Feet)			NODEKAILI	NOJECI	│ ╙ ──ऽ		
	<u> </u>	5	Building Height – Street Wall / Cornice (Feet)		- Constru	ct a New Single.	-Family Structure -	│		
	-	6	Number of Stories		CONSILO	ci a itew siligies	-running shocioic -	IΖŞ		
1			Building Coverage (% Building on the Lot)					-		
			PROJECT REVIEW ELEMENT	APPLICAN	IT'S COMMENTS	HDC SUGG	ESTIONS APPROPRIATENESS			
	-	8	Scale (i.e. height, volume, coverage)				□ Appropriate □ Inappropriate	↓ ;		
	ᄥ	9	Placement (i.e. setbacks, alignment)				□ Appropriate □ Inappropriate	AI		
	CONTEXT	10	Massing (i.e. modules, banding, stepbacks)				□ Appropriate □ Inappropriate	√ 4 ≥		
L	<u> </u>	11	Architectural Style (i.e. traditional – modern)				☐ Appropriate ☐ Inappropriate	S		
		12	Roofs				□ Appropriate □ Inappropriate			
	_	13	Style and Slope				□ Appropriate □ Inappropriate			
	-	14	Roof Projections (i.e. chimneys, vents, dormers)				□ Appropriate □ Inappropriate	⋖ ⊌		
	-	15	Roof Materials				□ Appropriate □ Inappropriate	→ → →		
		16	Cornice Line				□ Appropriate □ Inappropriate	EV HISTO		
	ഗ⊢	17	Eaves, Gutters and Downspouts				☐ Appropriate ☐ Inappropriate	Ш ≲		
	₹ _	18	Walls				□ Appropriate □ Inappropriate	∣, I		
	MATERIALS	19	Siding / Material				☐ Appropriate ☐ Inappropriate	→ ±		
	ĕ ⊢	20	Projections (i.e. bays, balconies)				□ Appropriate □ Inappropriate	 		
	∞	21	Doors and Windows				□ Appropriate □ Inappropriate	~ 6		
	DESIGN	22	Window Openings and Proportions				□ Appropriate □ Inappropriate	_		
	<u>≅</u> –	23	Window Casing/ Trim				□ Appropriate □ Inappropriate			
		24	Window Shutters / Hardware				□ Appropriate □ Inappropriate	D ST		
	BUILDING	25	Awnings				□ Appropriate □ Inappropriate	O ∂		
	⊒⊢	26	Porches and Balconies				□ Appropriate □ Inappropriate			
	⋒	27 28					□ Appropriate □ Inappropriate	~		
		29	Projections (i.e. porch, portico, canopy) Landings/ Steps / Stoop / Railings				□ Appropriate □ Inappropriate	⊣ 🕰		
	-	30	Lighting (i.e. wall, post)				□ Appropriate □ Inappropriate	+		
		31	Signs (i.e. projecting, wall)				□ Appropriate □ Inappropriate	+		
	-	32	Mechanicals (i.e. HVAC, generators)				□ Appropriate □ Inappropriate			
		33	Decks				☐ Appropriate ☐ Inappropriate ☐ Appropriate ☐ Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement)				□ Appropriate □ Inappropriate			
		35	Fence / Walls (i.e. materials, type)				□ Appropriate □ Inappropriate			
	<u>ჳ</u>	36	Grading (i.e. ground floor height, street edge)				□ Appropriate □ Inappropriate			
	DESIGN	37	Landscaping (i.e. gardens, planters, street trees)				□ Appropriate □ Inappropriate	The section of		
		38	Driveways (i.e. location, material, screening)				□ Appropriate □ Inappropriate			
	SITE	39	Parking (i.e. location, access, visibility)				□ Appropriate □ Inappropriate			
	<u> </u>	40	Accessory Buildings (i.e. sheds, greenhouses)				□ Appropriate □ Inappropriate			

Project Evaluation Form: 93 PLEASANT STREET (LUHD-235)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #C

A. Property Information - General:

Existing Conditions:

- Zoning District: <u>CD4</u>
- Land Use: <u>Commercial</u>
- Land Area: 11,325 SF +/-
- Estimated Age of Structure: c.1818
- Building Style: <u>Federal</u>
- Historical Significance: Focal
- Public View of Proposed Work: View from Pleasant and Court Streets
- Unique Features: Focal Building and Historic Stone Wall along Court Street
- Neighborhood Association: <u>Downtown</u>

В.	Proposed Work:	To add a 3-story	addition with	connector building.

de troposed work.					
C. Other Permits Required:					
\square Board of Adjustment	$lacktriangledown$ Planning Board $\ \Box$ City Council				
D. Lot Location:					
☐ Terminal Vista	\square Gateway \square Mid-Block				
✓ Intersection / Corner Lot	☐ Rear Lot				
E. Existing Building to be Altered/ Demo	olished / Constructed				
Principal	☐ Accessory ☐ Demolition				
F. Sensitivity of Context:					
$lacktriangle$ Highly Sensitive \Box Sensit	ive \square Low Sensitivity \square "Back-of-House"				
G. Design Approach (for Major Project	<u>s):</u>				
☑ Literal Replication (i.e. 6-16	Congress, Jardinière Building, 10 Pleasant Street)				
☐ Invention within a Style (i.e.	, Porter Street Townhouses, 100 Market Street)				
Abstract Reference (i.e. Por	twalk, 51 Islington, 55 Congress Street)				
☐ Intentional Opposition (i.e.	McIntyre Building, Citizen's Bank, Coldwell Banker)				
H. Project Type:					
\square Consent Agenda (i.e. very	small alterations, additions or expansions)				
\square Minor Project (i.e. small alte	erations, additions or expansions)				
☐ Moderate Project (i.e. sign	ificant additions, alterations or expansions)				

✓ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

• This historically significant and focal building is located along the intersection of Pleasant and Court Streets. It is surrounded with many wood-frame 2 - 2.5 story contributing structures. The Langdon Mansion, another focal building and setting is located across the street.

J. <u>Background, Comments & Suggested Actions:</u>

The Applicant is seeking to:

- Add a three-story addition to the parking lot area along Court Street a connector to the Treadwell House.
- Substantial design changes were presented at the July 14th meeting that now show a traditional building design.
- The applicant will submit revised plan by August 4th for the August 11th meeting. Such plans will be forwarded to you at that time.
- Design Guideline Reference: Guidelines for Small-Scale New Construction and Additions (10)

K. Aerial Images and Maps:





Renderings of the Proposed Addition and Connector Buildings



Zoning Map

93 PLEASANT STREET (LUHD-235) – WORK SESSION #C (MAJOR)								
		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY NEIGHBORHOOD CONTEXT					
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	Z 21-51	
		GENERAL BUILDING INFORMATION	(ESTIMATED	FROM THE TAX MAPS & A	SSESSOR'S INFO)			
STAFF	1	Gross Floor Area (SF)	<u> </u>				FOR MISSION ate: 8-11	
≱	2	Floor Area Ratio (GFA/ Lot Area)					O S %	
S	3	Building Height / Street-Width Ratio			MAJOR PROJ	FCT		
	4	Building Height – Zoning (Feet)					MIS ate	
	5	Building Height – Street Wall / Cornice (Feet)	- (Construct a 3 S	Story Addition and a	a Connector Building –	≥ 页 8	
	6	Number of Stories			-	2 0 0 1 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 2 1 1 1 2 1 1 1 1 2 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		
	7	Building Coverage (% Building on the Lot)					— () — -	
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	8 9 10	Placement (i.e. setbacks, alignment)				□ Appropriate □ Inappropriate		
	<u></u>	Massing (i.e. modules, banding, stepbacks)				□ Appropriate □ Inappropriate		
	11	Architectural Style (i.e. traditional – modern) Roofs				□ Appropriate □ Inappropriate		
MEMBERS	13	Style and Slope				□ Appropriate □ Inappropriate	ALU/ RIC DIST ST. Case	
BE	14	Roof Projections (i.e. chimneys, vents, dormers)				□ Appropriate □ Inappropriate	\dashv $lacksquare$ \cup \sqcup $ec{ec{ec{ec{ec{ec{ec{ec{ec{ec{$	
≶	15	Roof Materials				□ Appropriate □ Inappropriate□ Appropriate □ Inappropriate		
ᄫ	16	Cornice Line						
	17	Eaves, Gutters and Downspouts				 □ Appropriate □ Inappropriate □ Appropriate □ Inappropriate 	ISTO I	
Z		Walls				□ Appropriate □ Inappropriate	— ¡S ¥ S ¬	
ן כֻ	18 19	Number and Material				□ Appropriate □ Inappropriate	H S S	
2	20	Projections (i.e. bays, balconies)				□ Appropriate □ Inappropriate		
₹	₹ 21	Doors and windows				□ Appropriate □ Inappropriate	RTY OUTH H	
⋛│	∞ 22	Window Openings and Proportions				□ Appropriate □ Inappropriate		
COMMISSION	23 24 24	Window Casing/ Trim				□ Appropriate □ Inappropriate	— ш ўы́г	
	<u>S</u> 24	Window Shutters / Hardware				□ Appropriate □ Inappropriate	□ • የ ፣	
-,	(b) 25	Storm Windows / Screens / Awnings				□ Appropriate □ Inappropriate	RTS, RTY	
SIRICI	Ž 26	Doors				□ Appropriate □ Inappropriate	ROP PORTS, OPERTY	
	26 27	Porches and Balconies				□ Appropriate □ Inappropriate		
ב	<u>28</u>	Projections (i.e. porch, portico, canopy)				□ Appropriate □ Inappropriate		
	29	Landings/ Steps / Stoop / Railings				□ Appropriate □ Inappropriate		
≅ l	30	Lighting (i.e. wall, post)				□ Appropriate □ Inappropriate		
HISTORIC	31	Signs (i.e. projecting, wall)				□ Appropriate □ Inappropriate		
	32	Mechanicals (i.e. HVAC, generators)				□ Appropriate □ Inappropriate		
	33	Decks				□ Appropriate □ Inappropriate		
	34	Garages (i.e. doors, placement)				□ Appropriate □ Inappropriate	L THEFT	
	35 36 37	Fence / Walls / Screenwalls (i.e. materials, type)				□ Appropriate □ Inappropriate		
	36	Grading (i.e. ground floor height, street edge)				□ Appropriate □ Inappropriate		
	37	Landscaping (i.e. gardens, planters, street trees)				□ Appropriate □ Inappropriate		
	38	Driveways (i.e. location, material, screening)				□ Appropriate □ Inappropriate		
	39	Parking (i.e. location, access, visibility)				☐ Appropriate ☐ Inappropriate		
	1. Pro 2. As 3. Co	se and Intent: eserve the integrity of the District: ssessment of the Historical Significance: onservation and enhancement of property value w Criteria / Findings of Fact:	□ Yes □ No □ Yes □ No ∪es: □ Yes □ No	5. Co	·	the District: chitectural and historic character: and welfare of the District to the city residents and v	☐ Yes ☐ Yes ☐ Yes ☐ Yes ☐ Yes ☐	
J.	1. Co	onsistent with special and defining character of sampatibility of design with surrounding properties				ral value of existing structure: Yes No Plogies with surrounding properties: Yes No		

Project Address: 1 & 31 RAYNES AVE. (LUHD-234) **Permit Requested: CERTIFICATE OF APPROVAL Meeting Type: WORK SESSION #D**

- • ••	\sim	1010	
LVICTION	$r \sim 10$	AI#IA PC	•
Existing	CUI	IUIIIUIIS	
			•

- Zoning District: CD4
- Land Use: Vacant / Gym
- Land Area: 2.4 Acres +/Estimated Age of Structure: c.1960s
 Building Style: Contemporary
 Historical Significance: NA

- Public View of Proposed Work: View from Maplewood and Raynes Ave.
- Unique Features: <u>NA</u>
- Neighborhood Association: <u>Downtown</u>

3. Proposed Work:	To construct a 4-5 stor	<u>y mixed-use</u>	<u>building(s)</u>	•

		*			
C. Other	Permits Required:				
	☐ Board of Adjustment	☑ Planning Board	☐ City Council		
D. Lot Lo	<u>ocation:</u>				
	✓ Terminal Vista	☐ Gateway	☑ Mid-Block		
	✓ Intersection / Corner Lot	☐ Rear Lot			
E. Existing	g Building to be Altered/ Demo	olished:			
	✓ Principal	Accessory	Demolition		
F. Sensiti	vity of Context:				
	☐ Highly Sensitive ☑ Sensitive	tive \square Low Sensitivity	√ 🗌 "Back-of-House"		
G. Desig	n Approach (for Major Project	<u>s):</u>			
	Literal Replication (i.e. 6-16 C	Congress, Jardinière Buildir	ng, 10 Pleasant Street)		
	$\ \square$ Invention within a Style (i.e	., Porter Street Townhouse:	s, 100 Market Street)		
Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)					
	$\hfill \square$ Intentional Opposition (i.e.	McIntyre Building, Citizen'	s Bank, Coldwell Banker)		
H. Projec	<u>:t Type:</u>				
	$\hfill\Box$ Consent Agenda (i.e. very	small alterations, add	ditions or expansions)		
	☐ Minor Proiect (i.e. small alte	erations, additions or	expansions)		

Moderate Project (i.e. significant additions, alterations or expansions)

✓ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

a. The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

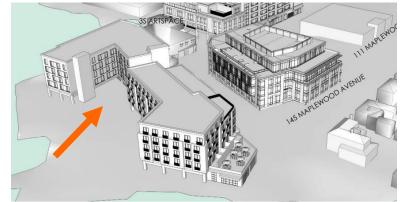
Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish the existing buildings.
- Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
- The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
- Note that the applicant has requested a continuance of this application since February of this year so if new plans arrive by August 4th they will be forwarded to at that time.

Design Guideline Reference - Guidelines for Commercial Developments and Storefronts (12).

Aerial Image, Street View and Zoning Map:





Aerial and Street View Image



Zoning Map

		I	& 31 RAYENES	AVE. (LUF	1D-234) -	MOKK 2E22	ION #D (MA.	JOK)		
		INFO/ EVALUATION CRITERIA	SUBJECT	PROPERTY			NEIGHBORHO	OD CONTEXT		
		Project Information	Existing Building	Proposed Building (+		Abutting Structures (Average)		Surrounding Structures (Average)		X
	NI-	GENERAL BUILDING INFORMATION	(ESTIMATED	FROM THE TAX M	APS & ASSESSO	R'S INFO)				1 5 `
世	1	Gross Floor Area (SF)	,							
STA	2	Floor Area Ratio (GFA/ Lot Area)]							
S	3	Building Height / Street-Width Ratio	_		AA.	AJOR PRO) IFCT			
	4	Building Height – Zoning (Feet)	4		/ \ \		JJLCI			FC 415S ate
	5	Building Height – Street Wall / Cornice (Feet)	_	- C	onstruct t	wa 5 Stary A	Nixed-Use Bu	ıildinas –		<u> </u>
	7	Number of Stories Building Coverage (% Building on the Lot)	-	•		We de didiy n	MIXCU USC DO	Jiidii 195		
		PROJECT REVIEW ELEMENT	A DDI IC A NIT'S	COMMENTS		HDC SUGG	ECTIONS	A DDD OD	RIATENESS	
	_		APPLICANIS	COMMENIS		unc sugg	ESTIONS			଼ ଠ ୯୬ :
EX	8	Scale (i.e. height, volume, coverage)							□ Inappropriate	
뉟	10	Placement (i.e. setbacks, alignment)							□ Inappropriate	AT TRIC
8	10 11	Massing (i.e. modules, banding, stepbacks) Architectural Style (i.e. traditional – modern)							☐ Inappropriate	
<u> </u>	12	Roofs							☐ Inappropriate	ALUAT RIC DISTRIC Ave. Case
SS	13	Style and Slope							□ Inappropriate	ان ۵ کا
MEMBERS	14	Roof Projections (i.e. chimneys, vents, dormers)							☐ Inappropriate☐ Inappropriate	ן י ע קַ ן
Š	15	Roof Materials						· · · · · · · · · · · · · · · · · · ·	□ Inappropriate□ Inappropriate	
) E	16	Cornice Line							□ Inappropriate	
≥	17	Eaves, Gutters and Downspouts							□ Inappropriate	EV HISTO
OMMISSION SIGN & MATERIALS	18	Walls							 □ Inappropriate 	
2 ≨	19	Siding / Material							□ Inappropriate	
る一点	20	Projections (i.e. bays, balconies)							□ Inappropriate	RTY Оитн н 8 31 кау
⋛│⋛	21	Doors and Windows							□ Inappropriate	3 5
⋚│ॐ	22	Window Openings and Proportions							□ Inappropriate	
S 5	23	Window Casing/ Trim							□ Inappropriate	ТШ∑∑
3 B	24	Window Shutters / Hardware							□ Inappropriate	Z \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
	25	Awnings						□ Appropriate	□ Inappropriate	O 25 E
	26	Doors						□ Appropriate	□ Inappropriate	OPE ORTSM ERTY: 1 8
¥∣≝	27	Porches and Balconies						□ Appropriate	□ Inappropriate	
BUILDING	28	Projections (i.e. porch, portico, canopy)						□ Appropriate	□ Inappropriate	
	29	Landings/ Steps / Stoop / Railings							□ Inappropriate] -
<u> </u>	30	Lighting (i.e. wall, post)							□ Inappropriate	_
8	31	Signs (i.e. projecting, wall)							□ Inappropriate	
Ĕ l	32	Mechanicals (i.e. HVAC, generators)							□ Inappropriate	-
HISTORIC	33	Decks							□ Inappropriate	4.1
┷	34	Garages/ Barns / Sheds (i.e. doors, placement)							□ Inappropriate	
ž	35	Fence / Walls (i.e. materials, type)							☐ Inappropriate	
ESIGN	36 37	Grading (i.e. ground floor height, street edge) Landscaping (i.e. gardens, planters, street trees)							☐ Inappropriate	
	38	Driveways (i.e. location, material, screening)							☐ Inappropriate☐ Inappropriate	Symptom 1
SITE	39	Parking (i.e. location, access, visibility)							☐ Inappropriate☐ Inappropriate	0
"	40	Accessory Buildings (i.e. sheds, greenhouses)							□ Inappropriate	1
Н		se and Intent:								
<u>11.</u>	-	eserve the integrity of the District:	□ Yes □ No		4 Maintain t	he special characte	er of the District			□ Yes □
		sessment of the Historical Significance:	□ Yes □ No			•	er of the district. ne architectural and	l historic character		
		onservation and enhancement of property va			•			the District to the city	residents and visita	
		,	1063. U 163 U 190		o. Homole II	ie education, pied:	SOIT UIN WEINIE OF	ine District to the City	TESIGETTIS CITIC VISITO	лэ. ⊔ I С З ⊔
<u>I. F</u>		Criteria / Findings of Fact:								
		onsistent with special and defining character o	<u> </u>					_	□ Yes □ No	
	2. Co	mpatibility of design with surrounding properti	es:	□ Yes □ No	4. Compatib	ility of innovative te	chnologies with surre	ounding properties:	□ Yes □ No	

CERTIFICATE OF APPROVAL Permit Requested:

Meeting Type: WORK SESSION #E

- Zoning District: GRB
- Land Use: Single Family

- Land area: 5,660 SF +/Estimated Age of Structure: c.1875
 Building Style: Greek Revival
 Historical Significance: C
 Public View of Proposed Work: View from Marcy St. & Meeting House Hill Rd.
 Unique Features: Non-Contributing
- Neighborhood Association: South End

B. Proposed Work:	To add a recessed ro	of dormer
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<u>B. Propo</u>	sea work: 10 add a recesse	<u>a rooi aormer.</u>				
C. Other	Permits Required:					
	☑ Board of Adjustment	Planning Board	☐ City Council			
D. Lot Lo	cation:					
	☐ Terminal Vista	☐ Gateway	☑ Mid-Block			
	$\ \square$ Intersection / Corner Lot	☐ Rear Lot				
E. Existing	g Building to be Altered/ Demo	olished:				
	✓ Principal	Accessory	Demolition			
F. Sensitiv	vity of Context:					
	☐ Highly Sensitive ☑ Sensit	ive \square Low Sensitivity	√ 🗌 "Back-of-House"			
G. Desig	n Approach (for Major Project	<u>s):</u>				
	Literal Replication (i.e. 6-16 C	Congress, Jardinière Buildir	ng, 10 Pleasant Street)			
	☑ Invention within a Style (i.e	e., Porter Street Townhouse	es, 100 Market Street)			
	☐ Abstract Reference (i.e. Por	twalk, 51 Islington, 55 Cor	gress Street)			
	$\hfill \square$ Intentional Opposition (i.e.	McIntyre Building, Citizen'	s Bank, Coldwell Banker)			
H. Projec	t Type:					
	$\hfill \Box$ Consent Agenda (i.e. very	small alterations, add	ditions or expansions)			
	\square Minor Project (i.e. small alterations, additions or expansions)					
	☑ Moderate Project (i.e. sig	nificant additions, alt	erations or expansions)			
	☐ Major Project (i.e. very large	ge alternations, addit	ions or expansions)			

Page 29 of 34 I. Neighborhood Context:

a. The building is located near the Meeting House along Marcy Street in the heart of the South End. It is surrounded with many 2-3 story wood-sided historic structures with no front yard setback and small rear yards and garden areas.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Add a recessed roof deck within the southern roof structure.
- NOTE We expect to receive revised plans by August 4th and they will be forwarded to you at that time.

Design Guideline Reference - Guidelines for Exterior Woodwork (05), Porches, Steps and Decks (06), Windows and Doors (08,) and Small Scale New Construction and Additions (10).

Aerial Image, Street View and Zoning Map:





Proposed Alterations and Existing Conditions



Zoning Map

	279 MARCY ST. (LUHD-259) – WORK SESSION #E (MODERATE)								
	INFO/ EVALUATION CRITERIA SUBJECT PROPERTY NEIGHBORHOOD CONTEXT								
			Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)		Surrounding Structures (Average)	S - P
		N-	GENERAL BUILDING INFORMATION	(ESTIM	ATED FROM THE TAX MAPS & AS	SESSOR'S INFO)			R 7 1.21 Denie
STAFF		1	Gross Floor Area (SF)	<u> </u>		•			Sion P. 11.9
₹		2	Floor Area Ratio (GFA/ Lot Area)						
S		3	Building Height / Street-Width Ratio		Λ.	MODERATE P	PO IFCT		
	L	4	Building Height – Zoning (Feet)		Γ	NODEKAILI	KOJLCI		MIS te: 8 cown
	-	5 Building Height – Street Wall / Cornice (Feet)			- Construc	t a Recessed Ro	of Dormer	and Deck -	MM. date
	-	6	Number of Stories		Consiloc	i a kecessea ke	or bornier (and beck	DN F COMMIS E Date: pulations
			Building Coverage (% Building on the Lot)	4.5511.6				12222224	
L			PROJECT REVIEW ELEMENT	APPLICA	ANT'S COMMENTS	HDC SUGG	ESTIONS	APPROPRIATENESS	OD F COMMI D.:E Date: Stipulations
	×	8	Scale (i.e. height, volume, coverage)					□ Appropriate □ Inappropriate	<u> </u>
	NTEXT	9	Placement (i.e. setbacks, alignment)					☐ Appropriate ☐ Inappropriate	
	<u>S</u>	10	Massing (i.e. modules, banding, stepbacks)					☐ Appropriate ☐ Inappropriate	
-	\rightarrow	11	Architectural Style (i.e. traditional – modern)					☐ Appropriate ☐ Inappropriate	U U U SIST
S	-	12	Roofs					☐ Appropriate ☐ Inappropriate	ALUARIC DISTRICT DISTRICT CASE Approved Approved Postponed
MEMBERS	L	13	Style and Slope					☐ Appropriate ☐ Inappropriate	ALL RIC D SI. C Approv
٨B	F	14	Roof Projections (i.e. chimneys, vents, dormers)					☐ Appropriate ☐ Inappropriate	
	-	15	Roof Materials					☐ Appropriate ☐ Inappropriate	
\S	_	16	Cornice Line					☐ Appropriate ☐ Inappropriate	
COMMISSION	S	17 18	Eaves, Gutters and Downspouts Walls					☐ Appropriate ☐ Inappropriate	HIS H
	₹		Siding / Material					□ Appropriate □ Inappropriate	
	ATERIALS	19 20	Projections (i.e. bays, balconies)					□ Appropriate □ Inappropriate	RTY OUTH F 279 M Approve
IIS	¥۱	21	Doors and Windows					□ Appropriate □ Inappropriate	
≩	∞	22	Window Openings and Proportions					□ Appropriate□ Inappropriate□ Appropriate□ Inappropriate	ERTY 400TH H 279 MA Approved
≥	DESIGN	23	Window Casing/ Trim					□ Appropriate □ Inappropriate	⊢ш ўў ́ ` °
\mathcal{C}	ESI-	24	Window Casing/ IIIII Window Shutters / Hardware					□ Appropriate □ Inappropriate	PE
		25	Awnings					□ Appropriate □ Inappropriate	
Ċ	Ž	26	Doors					□ Appropriate □ Inappropriate	
2	BUILDING	27	Porches and Balconies					☐ Appropriate ☐ Inappropriate	
ISTRICT	ᇳ	28	Projections (i.e. porch, portico, canopy)					□ Appropriate □ Inappropriate	
		29	Landings/ Steps / Stoop / Railings					☐ Appropriate ☐ Inappropriate	— مـ
U		30	Lighting (i.e. wall, post)					☐ Appropriate ☐ Inappropriate	
2	Ī	31	Signs (i.e. projecting, wall)					☐ Appropriate ☐ Inappropriate	
9		32	Mechanicals (i.e. HVAC, generators)					☐ Appropriate ☐ Inappropriate	
HISTORIC		33	Decks					☐ Appropriate ☐ Inappropriate	
I		34	Garages/Barns / Sheds (i.e. doors, placement)					☐ Appropriate ☐ Inappropriate	
Ī	_	35	Fence / Walls (i.e. materials, type)			<u> </u>	-	☐ Appropriate ☐ Inappropriate	
	DESIGN	36	Grading (i.e. ground floor height, street edge)					□ Appropriate □ Inappropriate	
	SES	37	Landscaping (i.e. gardens, planters, street trees)					□ Appropriate □ Inappropriate	•
	SITE	38	Driveways (i.e. location, material, screening)					□ Appropriate □ Inappropriate	
	S	39	Parking (i.e. location, access, visibility)					□ Appropriate □ Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses)					□ Appropriate □ Inappropriate	
		1. Pre 2. As	se and Intent: eserve the integrity of the District: sessment of the Historical Significance: onservation and enhancement of property valu	☐ Yes ☐ ☐ Yes ☐ es: ☐ Yes ☐	No 5. Cor	ntain the special characte nplement and enhance th note the education, pleas	ne architectural an	d historic character: the District to the city residents and v	☐ Yes ☐ No ☐ Yes ☐ No risitors: ☐ Yes ☐ No
	D₄	eview	Criteria / Findings of Fact:			-			
			onsistent with special and defining character of	surrounding prope	arties: TYes TNO 3 Polo	ation to historic and archite	ectural value of evi	sting structure: Yes No	
			mpatibility of design with surrounding propertie:	• • •		npatibility of innovative te		<u> </u>	
	4			••	- 103 - 110 - T. COI		5 1515 gios 11111 301		

Project Address: 449 COURT STREET (LUHD-235)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #F

leeting Type:	WORK SESSION #F	
A. Property Information - General:		
Existing Conditions:		
 Zoning District: <u>CD4-L1</u> 		
 Land Use: Multi-Family 		
 Land Area: 2,613 SF +/- 		
 Estimated Age of Structure 	e: <u>c. 1996</u>	
 Building Style: <u>Traditional</u> 		
 Historical Significance: NA 		
 Public View of Proposed V 	Work: <u>View from Court Street</u>	
 Unique Features: NA 		
 Neighborhood Association 	n: <u>South End</u>	

B. Proposed Work: Add a 4th Floor A	ddition and roof de	ck along Court Street.			
C. Other Permits Required:					
\Box Board of Adjustment	\square Planning Board	☐ City Council			
☐ Condo Association	\square Abutting Propert	y Owner			
D. Lot Location:					
Terminal Vista	Gateway	☑ Mid-Block			
\Box Intersection / Corner Lot	☐ Rear Lot				
E. Existing Building to be Altered/Dem	olished:				
Principal	☐ Accessory	Demolition			
F. Sensitivity of Context:					
\square Highly Sensitive $oldsymbol{arDelta}$ Sensi	tive \square Low Sensitivity	y 🗌 "Back-of-House"			
G. Design Approach (for Major Project	ts):				
☑ Literal Replication (i.e. 6-16	Congress, Jardinière Buildi	ing, 10 Pleasant Street)			
\square Invention within a Style (i.e	e., Porter Street Townhouse	s, 100 Market Street)			
Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)					
☐ Intentional Opposition (i.e.	McIntyre Building, Citizen	's Bank, Coldwell Banker)			
H. Project Type:					
Consent Agenda (i.e. very	small alterations, add	ditions or expansions)			
\square Minor Project (i.e. small alt	erations, additions or	expansions)			
☑ Moderate Project (i.e. significant additions, alterations or expansions)					

Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

• The buildings are located along lower Court Street. It's surrounded with many wood- and bricksided structures with no setbacks and shallow sideyards. This structure also abuts Strawbery Banke.

J. <u>Staff Comments and/ or Suggestions for Consideration:</u>

The Application is proposing to:

- Change the roof design by adding a 4th floor addition and roof deck.
- The addition is generally proposed to be located along the northern property line abutting a taller structure with a common wall containing no openings.
- NOTE The Applicant had requested a postponement of this application while they continue to study the visual impacts of the project. The deadline for submission is August 4th so, if received, we will forward plans to you at that time.
- <u>Design Guideline Reference</u>: Guidelines for Roofing (04), Exterior Woodwork (05), Porches, Steps and Decks (06) and Small Scale New Construction and Additions (10).

K. Aerial Image, Street View and Zoning Map:





Rear Decks and Aerial View Image



SURVEY RATING NA

HISTORIC

Zoning Map

449 COURT STREET (LUHD-235) – WORK SESSION #F (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJEC	CT PROPERTY	NE	EIGHBORHOOD CONTEXT		
		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	 	
		GENERAL BUILDING INFORMATION		ED FROM THE TAX MAPS & A				
STAFF	1	Gross Floor Area (SF)	•		- 1		= ~ > :	
₹	2	Floor Area Ratio (GFA/ Lot Area)						
S	3	Building Height / Street-Width Ratio	MODERATE PROJECT					
	4	Building Height – Zoning (Feet)			WODENAIL I NO	JILOI	Ess	
	5	Building Height – Street Wall / Cornice (Feet)		- Add 4	4 th Floor Addition ar	nd Roof Deck -	⊢ ₹ .	
	6	Number of Stories		Add -	TIOOI Addition di	IN ROOF DCCR	ZŠ	
	/	Building Coverage (% Building on the Lot) PROJECT REVIEW ELEMENT	APPLICAN	IT'S COMMENTS	HDC SUGGESTIC	ONS APPROPRIATENESS		
	•		ALLECAN	J JOHN MENTO	1123 300013110		_ O ŏ.	
ONTEXT	<u>8</u>	Scale (i.e. height, volume, coverage)				□ Appropriate □ Inappropriate	╛╸	
	10	Placement (i.e. setbacks, alignment)				□ Appropriate □ Inappropriate		
5	10	Massing (i.e. modules, banding, stepbacks) Architectural Style (i.e. traditional – modern)				□ Appropriate □ Inappropriate	- $lacksquare$	
	12	Roofs				□ Appropriate □ Inappropriate	\dashv $lacksquare$	
2	13	Style and Slope				□ Appropriate □ Inappropriate	. ۾ ڪ ا	
MEMBERS	14	Roof Projections (i.e. chimneys, vents, dormers)				□ Appropriate □ Inappropriate □ Appropriate □ Inappropriate		
	15	Roof Materials				□ Appropriate □ Inappropriate	\dashv \mathbf{Q}	
וַנ	16	Cornice Line				□ Appropriate □ Inappropriate		
Ž	17	Eaves, Gutters and Downspouts				□ Appropriate □ Inappropriate		
<u>z</u> <u>v</u>	_ —	Walls				□ Appropriate □ Inappropriate	H S H	
COMMISSION Perion & Materials	19	Siding / Material				□ Appropriate □ Inappropriate	⊣ ∟ ⁻ ;	
	20	Projections (i.e. bays, balconies)				□ Appropriate □ Inappropriate	\dashv \leftarrow \gt	
	`	Doors and Windows				□ Appropriate □ Inappropriate	 5	
	ž 22	Window Openings and Proportions				□ Appropriate □ Inappropriate	– ~ ŏ ;	
<u>ל</u>	23	Window Casing/ Trim				□ Appropriate □ Inappropriate	⊢ж щ ў,	
) $\frac{1}{2}$	3 24	Window Shutters / Hardware				□ Appropriate □ Inappropriate	⊣ 🖵 🔀 🤅	
		Awnings				□ Appropriate □ Inappropriate		
<u>)</u> 🖁	26	Doors				□ Appropriate □ Inappropriate		
	27	Porches and Balconies				□ Appropriate □ Inappropriate	8 0 0 0 0 0	
2 a	28	Projections (i.e. porch, portico, canopy)				□ Appropriate □ Inappropriate		
د	29	Landings/ Steps / Stoop / Railings				□ Appropriate □ Inappropriate	— 🖵 _ ;	
ا ر	30	Lighting (i.e. wall, post)				□ Appropriate □ Inappropriate		
2	31	Signs (i.e. projecting, wall)				□ Appropriate □ Inappropriate		
۱ ک	32	Mechanicals (i.e. HVAC, generators)				□ Appropriate □ Inappropriate		
	33	Decks				□ Appropriate □ Inappropriate		
┖	34	Garages/Barns / Sheds (i.e. doors, placement)				□ Appropriate □ Inappropriate		
	35	Fence / Walls (i.e. materials, type)				□ Appropriate □ Inappropriate		
N C	36	Grading (i.e. ground floor height, street edge)				□ Appropriate □ Inappropriate		
J.	<u> </u>	Landscaping (i.e. gardens, planters, street trees)				□ Appropriate □ Inappropriate	No. of London	
I I	38	Driveways (i.e. location, material, screening)				□ Appropriate □ Inappropriate		
5		Parking (i.e. location, access, visibility)				☐ Appropriate ☐ Inappropriate		
	40	Accessory Buildings (i.e. sheds, greenhouses)				□ Appropriate □ Inappropriate		
	1. Pr 2. As 3. C Review 1. C	se and Intent: eserve the integrity of the District: esessment of the Historical Significance: enservation and enhancement of property value of Criteria / Findings of Fact: ensistent with special and defining character of empatibility of design with surrounding properties	surrounding properti	No 5. Cor No 6. Proi ies: □ Yes □ No 3. Rela	mote the education, pleasure of ation to historic and architecture	the District: chitectural and historic character: and welfare of the District to the city residents and visit	□ Y □ Y tors: □ Y	

Historic District Commission

Project Address: 2 RUSSELL & 0 DEER ST (LUHD-366)
Permit Requested: CERTIFCATE OF APPROVAL
Meeting Type: WORK SESSION #1

A. Property Information - General:

Existing Conditions:

- Zoning District: <u>CD</u>5
- Land Use: Vacant / Parking
- Land Area: 85,746 SF +/-
- Estimated Age of Structure: NA
- Building Style: NA
- Number of Stories: NA
- Historical Significance: NA
- Public View of Proposed Work: <u>View from Deer & Russell Streets & Maplewood Ave.</u>
- Unique Features: Surface Parking Lot
- Neighborhood Association: North End

<u>B. I</u>	<u>Proposed Work</u>	<u>: Io constru</u>	<u>uct 3, 5 stor</u>	<u>y, mixed-use</u>	<u>: buildings wit</u>	<u>th connectors.</u>

Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)

G. Design Approach (for Major Projects):

		-			- 0				,		,
	Inventid	on withi	n a Style	e (i.e.	., Port	er Stree	et Tov	vnhouses,	100 Mai	ket Str	eet)
П	A l= = L =	- 1 D - f		_		· ·			0.1		

- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

$\hfill \Box$ Consent Agenda (i.e. very small alterations, additions or expansio	ns
----------------------------------------------------------------------------------	----

- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

• The new building is located along Maplewood Ave., Russell and Deer Streets. It is surrounded with many new and proposed infill buildings ranging from 2.5 to 5 stories in height. The neighborhood is predominantly made up of newer, 4-5 story brick structures on large lots and little to no setback from the sidewalk.

J. <u>Staff Comments and/ or Suggestions for Consideration:</u>

- The applicant is proposing to construct a new five-story mixed use building with ground floor parking in the rear section of the building (using recessed single-story connectors).
- The building is broken into three main modules with a recessed, ground-floor connector.
- Being the first work session, the focus is on the massing of the building on the site.
- Note that we will get the proposed volume inserted into the City's 3 D Massing Model.

M. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

2 RUSSELL & 0 DEER STREET (LUHD-366) - WORK SESSION #1 (MAJOR PROJECT) INFO/ EVALUATION CRITERIA **SUBJECT PROPERTY NEIGHBORHOOD CONTEXT** 8-11-21 **Existing Building** Surrounding Structures (Average) **Project Information** Proposed Building (+/-) **Abutting Structures** FORM No. **GENERAL BUILDING INFORMATION** (ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO) COMMISSION Gross Floor Area (SF) Floor Area Ratio (GFA/ Lot Area) **MAJOR PROJECT** Date: Building Height / Street-Width (ROW) Ratio Building Height – Zoning (Feet) Withdrawn - 3 NEW 5 STORY INFILL BUILDINGS WITH GROUND FLOOR CONNECTORS -Stipulations Building Height – Street Wall / Cornice (Feet) Number of Stories Building Coverage (% Building on the Lot) .. No **PROJECT REVIEW ELEMENT APPROPRIATENESS APPLICANT'S COMMENTS HDC SUGGESTIONS Scale** (i.e. height, volume, coverage...) □ Appropriate □ Inappropriate DISTRICT Case 9 Placement (i.e. setbacks, alignment...) □ Appropriate □ Inappropriate Approved with 10 Massing (i.e. modules, banding, stepbacks... Appropriate □ Inappropriate 4 11 **Architectural Style** (i.e. traditional – modern) Postponed □ Appropriate □ Inappropriate Roofs 12 Appropriate □ Inappropriate **MEMBERS** 13 Style and Slope □ Appropriate □ Inappropriate 14 Roof Projections (i.e. chimneys, vents, dormers...) HISTORIC □ Appropriate □ Inappropriate 4 15 **Roof Materials** □ Appropriate □ Inappropriate 16 **Cornice Line** □ Appropriate □ Inappropriate Eaves, Gutters and Downspouts 17 □ Appropriate □ Inappropriate ш 0 COMMISSION 18 Walls □ Appropriate □ Inappropriate 19 Number and Material □ Appropriate □ Inappropriate **PORTSMOUTH** RUSELL Projections (i.e. bays, balconies...) □ Appropriate □ Inappropriate 21 Doors and windows □ Appropriate □ Inappropriate Window Openings and Proportions □ Appropriate □ Inappropriate ш 23 Window Casing/ Trim □ Appropriate □ Inappropriate 24 Window Shutters / Hardware □ Appropriate □ Inappropriate **_** PROPERTY:2 25 Storm Windows / Screens □ Appropriate □ Inappropriate DISTRICT □ Appropriate □ Inappropriate 27 **Porches and Balconies** □ Appropriate □ Inappropriate 2 Projections (i.e. porch, portico, canopy... □ Appropriate □ Inappropriate **A** Landings/ Steps / Stoop / Railings □ Appropriate □ Inappropriate ISTORIC **Lighting** (i.e. wall, post...) □ Appropriate □ Inappropriate Signs (i.e. projecting, wall...) □ Appropriate □ Inappropriate **Mechanicals** (i.e. HVAC, generators) □ Appropriate □ Inappropriate 33 Decks □ Appropriate □ Inappropriate Garages / Barns / Sheds (i.e. doors, placement...) □ Appropriate □ Inappropriate 35 Fence / Walls / Screenwalls (i.e. materials, type...) □ Appropriate □ Inappropriate Grading (i.e. ground floor height, street edge...) 36 □ Appropriate □ Inappropriate 37 **Landscaping** (i.e. gardens, planters, street trees...) □ Appropriate □ Inappropriate **Driveways** (i.e. location, material, screening...) □ Appropriate □ Inappropriate **Parking** (i.e. location, access, visibility...) □ Appropriate □ Inappropriate Accessory Buildings (i.e. sheds, greenhouses...) ☐ Appropriate ☐ Inappropriate H. Purpose and Intent: 1. Preserve the integrity of the District: ☐ Yes ☐ No 4. Maintain the special character of the District: ☐ Yes ☐ No 2. Assessment of the Historical Significance: 5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No ☐ Yes ☐ No 3. Conservation and enhancement of property values: 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No □ Yes □ No I. Review Criteria / Findings of Fact: 1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No 3. Relation to historic and architectural value of existing structure: □ Yes □ No

☐ Yes ☐ No 4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

161 Deer Street Extension Request LU-20-101

7/26/2021 OpenGov



07/26/2021

LU-20-101

Land Use Application

Status: Active	Date Created: Jun 10, 2020
Applicant	Location
Anna Rogers	161 DEER ST
ania@glrogers.com 89/99 Foundry Place	Portsmouth, NH 03801
Portsmouth, New Hampshire 03801	Owner:
6038092138	DEER STREET ASSOC 161 DEER ST PORTSMOUTH, NH 03801
Applicant Information	
Please indicate your relationship to this project A. Property Owner	
Alternative Project Address	
Alternative Project Address	
	
Project Type	
Addition or Renovation: any project (commercial or residential) the already has structure(s) on it $\hfill\Box$	nat includes an ADDITION to an existing structure or a NEW structure on a property that
New Construction: any project (commercial or residential) that in structures on the property (even if you are planning to remove the $\hfill\Box$	volves adding a NEW structure on a parcel that is currently VACANT. If there are any existing em), you should select Addition and Renovation above
Minor Renovation: for projects in the Historic District only that in construction of a new structure $\hfill\Box$	volve a minor exterior renovation or alteration that does not include a building addition or
Home Occupation: residential home occupation established in an are not allowed in the following Zoning Districts: Waterfront Busin $\hfill\Box$	existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations ness, Office Research, Industrial, or Waterfront Industrial
New Use/Change in Use: for a change of land use or an expansion modifications $\hfill\Box$	to an existing use (e.g. addition of dwelling units) that includes no exterior work or site
Temporary Structure / Use: only for temporary uses (e.g. tents, e. \Box	xhibits, events)
Demolition Only: only applicable for demolition projects that do n $\hfill\Box$	ot involve any other construction, renovation, or site work
Subdivision or Lot Line Revision: for projects which involved a sub $\hfill\Box$	odivision of land or an adjustment to an existing lot line
Other Site Alteration requiring Site Plan Review Approval and/or $\hfill\Box$	Wetland Conditional Use Permit Approval
Sign: Only applies to signs requiring approval from a land use boa $\hfill\Box$	rd (e.g. Historic Commission, Zoning Board of Adjustment)

Request for Extension of Previously Granted Land Use Approval

HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC

127 Parrott Avenue, P.O. Box 4480 | Portsmouth, NH, 03802-4480 Telephone: 603.436.0666 | Facsimile: 603.431.0879 | www.hpgrlaw.com

July 2, 2021

Jon Wyckoff, Chairman
Portsmouth Historic District Commission
1 Junkins Avenue
Portsmouth, NH 03801

Re: Deer Street Associates, LLC ("DSA")
Third Request for Extension of 7/11/18 Historic District Commission ("HDC")
Lot 5, 161 Deer Street
Tax Map 125, Lot 17-3

Dear Chair Wyckoff & Historic District Commission Members:

As you know, Lot 5 is one of a 5-lot overall development plan along Foundry Place in the vicinity of the new Foundry Place Municipal Parking Garage, by Deer Street, Associates ("DSA") and related entities. Only Lot 5 is in the Historic District.

The history of Lot 5 with respect to the HDC is as follows:

- i) On July 11, 2018, the Historic District Commission ("HDC") granted a certificate of approval for Lot 5 improvements, expiring July 11, 2019. (Exhibit 1)
- ii) On October 15, 2019, pursuant to Portsmouth zoning ordinance section 10.636.71, DSA requested a one-year extension of the certificate of approval (Exhibit 2)
- iii) On November 7, 2018, the HDC granted an extension of the certificate of approval to July 11, 2020. (Exhibit 3)
- iv) On April 27, 2020, DSA requested a further extension to July 11, 2021(Exhibit 4)
- v) On June 10, 2020. The HDC granted the extension to July 11, 2021. (Exhibit 5)

DSA now requests an additional extension of one year, to July 11, 2022, as set forth below:

1. DSA's development plans call for the development of undeveloped Lots 3 and 6 on Foundry Place closest to the Foundry Place garage prior to development of Lots presently developed 4 and 5. Those areas were originally used in part for staging areas for construction of the garage, opened in October, 2018. Since that time, further development in the area has progressed, including the in process project by Steve Kelm at the corner of the Maplewood Avenue and Deer Street.

DANIEL C. HOEFLE

R. TIMOTHY PHOENIX

LAWRENCE B. GORMLEY

STEPHEN H. ROBERTS

R. PETER TAYLOR

JOHN AHLGREN

KIMBERLY J.H. MEMMESHEIMER

KEVIN M. BAUM

GREGORY D. ROBBINS
MONICA F. KIESER
SAMUEL HARKINSON
JACOB J.B. MARVELLEY

DUNCAN A. EDGAR
OF COUNSEL:
SAMUEL R. REID

- 2. Development of lots 3 and 6 has been delayed most recently for a number of months due to the city's delay in executing a parking agreement related to the development and use of lots 3 and 6.
- 3. Covid 19 negatively affected financing and development of lots 3 and 6, thus, Lot 5 from March, 2020 until approximately May, 2021.
- 4. DSA is in active negotiations to convey lots 4 and 5 to developers who are ready to start soon and desire to utilize the building design approved by the HDC on July 11, 2020.

The above factors together with the economic climate have to date delayed development of Lots 3 and 6 which in turn has delayed development of Lot 5. Accordingly, Lot 5 will neither possess a building permit, nor be substantially under construction as of the July 11, 2021 Certificate of Approval expiration.

DSA requests an additional extension pursuant to PZ0 section 10.636.72, which provides that HDC Certificate of Approval extensions beyond the first request must be "authorized following a public hearing convened to consider such a request." The Lot 5 building and related improvements have not changed since the issuance of the July 11, 2018, Certificate of Approval. As such, and given the unavoidable and legitimate reasons for the delay in development of Lot 5 to date, it is reasonable to grant an additional extension. Accordingly, DSA requests that this request be scheduled for public hearing at the next possible HDC meeting, following which DSA requests that the HDC grant an additional one (1) year extension to July 11, 2022.

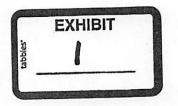
DSA and its team look forward to presenting this request to the HDC at the next available opportunity.

Very truly yours,

R. Timothy Phoenix

RTP/msw Encl.

cc: Juliet T.H. Walker, Planning Director Deer Street Associates, LLC Gregg Mikolaities



CITY OF PORTSMOUTH

Community Development Department

Planning Department (603) 610-7216

PLANNING DEPARTMENT HISTORIC DISTRICT COMMISSION CERTIFICATE OF APPROVAL

Date:

July 13, 2018

To:

Deer Street Assoc.

PO Box 100

York Harbor, ME 03911

Re:

161 Deer Street, Lot 5

The Historic District Commission considered your proposal at its meeting on July 11, 2018 wherein permission was requested to allow demolition of an existing structure (demolish existing building) and allow a new free standing structure (construct new 5-story mixed use building) as per plans on file in the Planning Department.

After due deliberation, the Commission voted that the request be approved with the following stipulation:

1. Half screens shall be used.

Findings of Fact: The proposed application meets the following purposes of the Historic District Ordinance (as applicable):

A. Purpose and Intent:

- ✓ Yes □ No Preserve the integrity of the District
- ☐ Yes ☐ No Maintain the special character of the District
- ☐ Yes ☐ No Assessment of the Historical Significance
- ☐ Yes ☐ No Complement and enhance the architectural and historic character
- ☐ Yes ☐ No Conservation and enhancement of property values
- ☐ Yes ☐ No Promote the education, pleasure & welfare of the District to the city residents and visitors.

1 Junkins Avenue Portsmouth, New Hampshire 03801 Fax (603) 427-1593 Page 2 Re: 161 Deer Street, Lot 5 July 13, 2018

The proposed application also meets the following review criteria of the Historic District Ordinance (as applicable):

B. Review Criteria:

- ✓ Yes No Consistent with special and defining character of surrounding properties
- ☐ Yes ☐ No Relation to historic and architectural value of existing structures
- \square Yes \square No Compatibility of design with surrounding properties
- ✓ Yes □ No Compatibility of innovative technologies with surrounding properties

PLEASE NOTE THE FOLLOWING:

- <u>Other Approvals</u> Approvals may also be required from other Committees and/or Boards prior to the issuance of a Building Permit.
- Construction Drawings Prior to the issuance of a Building Permit the Building Inspector will review
 and approve construction drawings/sketches so work shall not commence until the review process is
 complete and a Building Permit issued.
- Design Modifications and Rees Please note that any changes or medifications to this approval require review and approval from the HDC prior to implementation. Starting July 1st, 2016, a \$100 fee will be required for any subsequent Administrative Approvals for work not yet completed and a \$500 fee will be assigned for any work completed prior to approval.
- <u>Site Inspections and Compliance Review</u>. The City's Land Use Compliance Agent, Vincent Hayes, will be inspecting the work during construction and will be available to assist you in making any other requests or inquires on this matter. If you have any questions please feel free to contact the Principal Planner, Nick Cracknell at <u>nicracknell@cityoffortsmouth.com</u> or Mr. Hayes at <u>vihares@cityoffortsmouth.com</u>.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Respectfully submitted,

Vincent Lombardi, Chairman

Historica District Commission

cc: Robert Marsilia, Chief Building Inspector Rosann Maurice-Lentz, Assessor Tracy Kozak, JSA Inc.

HOEFLE, PHOENIX, GORMLEY & ROBERTS, P.A.

ATTORNEYS AT LAW

127 Parrott Avenue, P.O. Box 4480 | Portsmouth, NH, 03802-4480 Telephone: 603.436.0666 | Facsimile: 603.431.0879 | www.hpgrlaw.com

EXHIBIT 2

October 15, 2018

HAND DELIVERED

Vincent Lombardi, Chair Portsmouth Historic District Commission City Hall 1 Junkins Avenue Portsmouth, NH 03801

Re:

Deer Street Associates, LLC ("DSA")

First request for extension of 7/11/18 Historic District Commission ("HDC")

Lot 5, 161 Deer Street Tax Map 125, Lot 17-3

Dear Mr. Lombardi & Historic District Commission members:

The Historic District Commission granted approval for DSA's Lot 5 improvements on July 11, 2018. A copy of the approval is attached.

The approval expires on July 11, 2019. As you know, Lot 5 is one of a five lot overall development plan along Foundry Place (a/k/a Deer Street) by Deer Street Associates and related entities. Although Lot 5 HDC approval was granted, DSA is still involved with overall project design issues.

Due to the foregoing, Lot 5 will not have a building permit, nor be substantially under construction as of the July 11, 2019 expiration of the HDC approval. Although that is some time away, DSA is seeking extension of all approvals now, knowing that the project will not meet the current deadlines. Accordingly, pursuant to Portsmouth Zoning Ordinance Section 10.636.71, DSA requests a one- year extension of the July 11, 2019 expiration to July 11, 2020.

October 15, 2018

Very truly yours,

R. Timothy Phoenix

RTP/msw Encl.

Juliet T.H. Walker, Planning Director Deer Street Associates, LLC Gregg Mikolaities cc:

Tracey Kozak, JSN, Inc.





CITY OF PORTSMOUTH

Community Development Department (603) 610-7281

Planning Department (603) 610-7216

PLANNING DEPARTMENT

HISTORIC DISTRICT COMMISSION

CERTIFICATE OF APPROVAL EXTENSION

Date:

November 13, 2018

To:

Deer Street Associates

P.O. Box 100

York Harbor, ME 03911

Re:

161 Deer Street, Lot 5- Request for one

year extension of the Certificate of Approval

granted on July 11, 2018.

The Historic District Commission considered your request at its meeting on November 7, 2018 to allow a one year extension of the Certificate of Approval granted on July 11, 2018 wherein permission was requested to allow demolition of an existing structure (demolish existing building) and allow a new free standing structure (construct new 5-story mixed use building) as per plans on file in the Planning Department.

After due deliberation, the Commission voted that the request be granted. The Certificate of Approval and Conditional Use Permit will now expire on July 11, 2020.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Respectfully submitted,

Vincent Lon bardi, Chairman Historic District Commission

cc:

Robert Marsilia, Chief Building Inspector

Rosann Maurice-Lentz, Assessor Deer Street Associates, Owner

JSA Inc., Applicant

Rabimothy Phoenix Hoefle Phoenix Gountey and Roberts P.A.

1 Junkins Avenue Portsmouth, New Hampshire 03801 Fax (603) 427-1593

Hoefle, Phoenix, Gormley & Roberts, Pllc

— ATTORNEYS AT LAW

127 Parrott Avenue, P.O. Box 4480 | Portsmouth, NH, 03802-4480 Telephone: 603.436.0666 | Facsimile: 603.431.0879 | www.hpgrlaw.com

April 27, 2020



Vincent Lombardi, Chair Portsmouth Historic District Commission 1 Junkins Avenue Portsmouth, NH 03801

Re:

Deer Street Associates, LLC ("DSA")
Second Request for Extension of 7/11/18 Historic District Commission ("HDC")
Lot 5, 161 Deer Street
Tax Map 125, Lot 17-3

Dear Mr. Lombardi & Historic District Commission Members:

As you know, Lot 5 is one of a 5-lot overall development plan along Deer Street and Foundry Place in the vicinity of the new Foundry Place Municipal Parking Garage, by Deer Street, Associates ("DSA") and related entities. Only Lots 4 and 5 are in the Historic District. On July 11, 2018, the Historic District Commission ("HDC") granted a Certificate of Approval for Lot 5 improvements, expiring July 11, 2019. (Exhibit 1). On October 15, 2019, pursuant to Portsmouth Zoning Ordinance ("PZO") Section 10.636.71, DSA requested a one (1) year extension of the Certificate of Approval (Exhibit 2), granted by the HDC via a Certificate of Approval Extension dated November 13, 2018 (Exhibit 3). The extension expires on July 11, 2020.

DSA's development plans call for the development of Lots 3 and 6 on Foundry Place closest to the Foundry Place garage prior to development of Lots 4 and 5. Those areas were originally used in part for staging areas for construction of the garage, opened in October, 2018. Since that time, further development in the area has progressed, including the in process project by Steve Kelm at the corner of the Maplewood Avenue and Deer Street. These factors, together with the economic climate, have to date delayed development of Lots 3 and 6 which in turn has delayed development of Lot 5. Accordingly, Lot 5 will neither possess a building permit, nor be substantially under construction as of the July 11, 2020 Certificate of Approval expiration.

DSA requests an additional extension pursuant to PZ0 section 10.636.72, which provides that "no more than one extension shall be granted unless authorized following a public hearing convened to consider such a request." The Lot 5 building and related improvements have not changed since the issuance of the July 11, 2018 Certificate of Approval. As such, and given the unavoidable and legitimate reasons for the delay in development of Lot 5 to date, it is reasonable to grant an additional extension. DSA requests that a public hearing be scheduled, followed by the HDC granting an additional one (1) year extension to July 11, 2021.

DSA and its team look forward to presenting this request to the HDC at the next available opportunity.

Very truly yours,

R. Timothy Phoenix

RTP/msw Encl.

cc: Juliet T.H. Walker, Planning Director Deer Street Associates, LLC

Gregg Mikolaities
Tracey Kozak, JSN, Inc.



CITY OF PORTSMOUTH



Planning Department 1 Junkins Avenue Portsmouth, New Hampshire 03801

(603) 610-7216

HISTORIC DISTRICT COMMISSION

June 11, 2020

Deer Street Associates, LLC 157 Deer Street Portsmouth, NH 03801

RE: 161 Deer Street, Lot 5 (LU-20-101)

Dear Owner:

The Historic District Commission, at its regularly scheduled meeting of **Wednesday June 10, 2020**, considered your request for a second one-year extension of the Certificate of Approval granted by the Historic District Commission on July 11, 2018 and set to expire on July 11, 2019. A one-year extension was granted on November 07, 2018 to extend the Certificate of Approval to July 11, 2020.

As a result of said consideration, the Commission voted to **grant** the second one-year extension request. The Certificate of Approval will now expire on July 11, 2021.

The Commission's decision may be appealed up to thirty (30) days after the vote. Any action taken by the applicant pursuant to the Commission's decision during this appeal period shall be at the applicant's risk. Please contact the Planning Department for more details about the appeals process.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

Nicholas J. Cracknell, AICP, Principal Planner

for Vincent Lombardi, Chairman of the Historic District Commission

CC:

R. Timothy Phoenix, Hoefle, Phoenix, Gormely & Roberts, P.A. Ania Rogers, Applicant

64 Vaughan Street Public Hearing LU-20-214

7/29/2021 OpenGov



07/29/2021

LU-20-214

Land Use Application

Status: Active	Date Created: Oct 19, 2020
Applicant	Location
Erik Saari esaari@altus-eng.com Altus Engineering, Inc. 133 Court Street Portsmouth, NH 03801 603-433-2335	64 VAUGHAN ST Portsmouth, NH 03801 Owner: 64 Vaughan Mall, LLC 41 Industrial Drive Exeter, NH 03833
Applicant Information	
Please indicate your relationship to this project F. Applicant's Representative Filing on behalf of C., D. or I	E. above
Alternative Project Address	
Alternative Project Address	
Project Type	
Addition or Renovation: any project (commercial or resident already has structure(s) on it ☑	tial) that includes an ADDITION to an existing structure or a NEW structure on a property that
	that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing ove them), you should select Addition and Renovation above
Minor Renovation: for projects in the Historic District only t construction of a new structure \Box	that involve a minor exterior renovation or alteration that does not include a building addition or
	l in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations t Business, Office Research, Industrial, or Waterfront Industrial
New Use/Change in Use: for a change of land use or an expa modifications	ansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site
Temporary Structure / Use: only for temporary uses (e.g. te \Box	ents, exhibits, events)
Demolition Only: only applicable for demolition projects tha \square	at do not involve any other construction, renovation, or site work
Subdivision or Lot Line Revision: for projects which involved	d a subdivision of land or an adjustment to an existing lot line

Request for Extension of Previously Granted Land Use Approval

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

ATTN: Historic District Commission

RE: August 4, 2021 Meeting 64 Vaughan Mall Restoration Portsmouth, NH 03801

Steve Wilson Hampshire Development Corp. 41 Industrial Drive #20 Exeter, NH 03833

CONTACT:
Shayne Forsley
Hampshire Development Corp.
Shayne.forsley@hdcgc.net
603.997.2519

64 Vaughan Mall

The property at 64 Vaughan Mall was acquired in September of 2020 from the Cabot House Group by the development team that successfully executed the re-development of the Connie Bean Center at 135-143 Daniel St. and The Provident Condominium at 25 Maplewood Ave. in Portsmouth. Principle Steven Wilson and Hampshire Development Corp. have operated since 1984 and have been involved in the successful construction and renovation of dozens of historic urban properties in the southeastern NH and northeastern Massachusetts regions. Our principal goal for the property at 64 Vaughan Mall will be to bring the site and existing structure up to current codes while restoring the main building to its original architecture.

Built in the late 19th century as as 3 story brick and heavy timber structure with a flat roof and full basement (36' x 75'), the building was originally owned and occupied by the Margeson Bros Furniture Co.. Early in the 20th century, the building was more than doubled in size 36' x 140' toward what is now the Worth Parking Lot with an addition constructed of essentially the same materials and form. A single story "modern" block addition with a shed roof was added mid century toward the rear facing Hanover St. and was utilized as a loading dock for shipping and receiving for Cabot Furniture. Notably, in 1993 Artist Robert Wyland received the owners permission to allow a mural of his design to be painted by a group of regional amateur artists on the side of the building facing the Worth lot. This mural quickly became a landmark of sorts referred to as the Whaling Wall. However through inappropriate preparation and application of paints, the mural has significantly deteriorated the facade of the building.

The only public access to the building is via the 75' of frontage on the Vaughan Mall leaving long expanses of blank walls along the Worth Parking Lot (145'), the rear alley (135') and the Hanover St. frontage (80') with no entry or other focal points. This provides no pedestrian interface with the building on three sides. In fact, circumnavigating the building on foot requires walking in active vehicle traffic lanes for an extended distance with no connectivity to the building or the Vaughan Mall from Maplewood Ave., Hanover St. or the rest of downtown to the West, South and Easterly directions.

The current condition of the building is widely substandard. The building in its existing condition presents many challenges to the developer, designers, and contractors associated with any renovation and

rehabilitation. The building is largely void of modern utility and mechanical systems with existing water, sewer, drainage, HVAC and fire protection all failing to meet modern standards or capacities.

The structure itself has not received any significant upgrades or improvements in over 70 years. The roof has failed in areas allowing moisture penetration and now threatens the integrity of the structure. Additionally most of the original windows have been infilled and the brick facade has been painted on four sides with a product that has trapped moisture, causing extensive spalling of the masonry. The inside of the existing structure, although retaining some very worthwhile architectural features and wide open space with high ceilings etc., is laden with asbestos and other environmental contaminants which must be removed and remediated. Finally the shape and size of the structure present a very monolithic and unappealing facade that does not enhance its surroundings, promote its history or engage the pedestrian at the street level.

In light of the building and site conditions we are uniquely qualified to rehabilitate and remediate the structure, and with the cooperation of the City, we will be able to convert this property to an attractive mixed use project that will make a significant contribution to the vibrancy of the Vaughan Mall and its strategic location in downtown Portsmouth. Our proposal will truly complement and enhance the City's architectural and historic character and contribute to its sense of place.

Currently underway, our first step is to remediate the hazardous waste conditions and perform select demolition of the interior. We are conducting tests to analyze the feasibility and best methods for removing the coatings and restore the historic facades. Our structural engineers have provided detailed analysis and preliminary plans for rehabilitation of the structure to current standards while maintaining its historic character. Our specific plan for the property is illustrated by the accompanying plans and would be to provide vehicle parking and storage in the existing basement accessed from Hanover St.. The ground floor would be developed as a commercial use as required by current zoning and with the addition of a sidewalk, entries and storefronts along the Worth Parking Lot will serve to activate the Vaughan Mall area.

The revitalization and adaptive reuse of this building will require a minor reconfiguration of parking spaces, installation of curbing, brick sidewalks and landscaping in and adjacent to the Worth Lot. It will thus require the support and approval of the City. The results and impacts as illustrated by the attached site plan and elevations will be profoundly positive for the Worth Lot and Vaughan Mall. No net loss of

parking, improvements in ADA compliance for pedestrians and handicap parking, creation of significant green space annexed to the Vaughan Mall and completion of the pedestrian connection from Hanover St., Maplewood Ave., Worth Lot to the Vaughan Mall and their adjacent businesses are some of the highlights of our plan. It will balance the pedestrian and vehicular experience for this active area with no functional downside to either. Additionally, we propose to reactivate the existing infilled windows with new windows and doors being added to the previously blank wall (along the Worth Lot side of the building) with an emphasis on maintaining the historic value in form and function on all sides of the building.

To address the disproportionate massing of the existing buildings, we have transitioned the rear facade of the building to a different style to differentiate the two buildings adding texture and interest to the continuous wall plane. Importantly, a significant portion of the rear building facade was constructed of poured concrete and was covered by an attached building having no relationship to the architecture of the main building.

In closing we are extremely excited to begin the process of working with the City to design and redevelop this significant property to better serve the community and its future occupants. To that end we are looking forward to listening to your input and ideas as we continue to refine the building and site designs.

Warm Regards Steven Wilson

64 VAUGHAN MALL BUILDING RESTORATION

Owner:

64 Vaughan Mall, LLC

41 Industrial Drive Exeter, NH 03833

Applicant:

Hampshire Development Corp.

41 Industrial Drive Exeter, NH 03833 (603) 778-9999

Civil Engineer:



133 Court Street Portsmouth, NH 03801 (603) 433-2335 www.altus-eng.com

Architect: JSA Design

273 Corporate Drive, Suite 100 Portsmouth, NH 03801 (603) 436-2551

Surveyor:

James Verra

& Associates Inc.

LAND SURVEYORS

101 SHATTUCK WAY, SUITE 8
Newington, New Hampshire

ewington, New Hampshire 03801–7876 Tel 603–436–3557 64 Vaughan Mall, Portsmouth, New Hampshire

Assessor's Parcel 126, Lot 1

Issued for: TAC

Plan Issue Date:

June 21, 2021

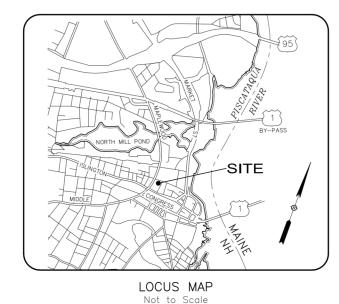
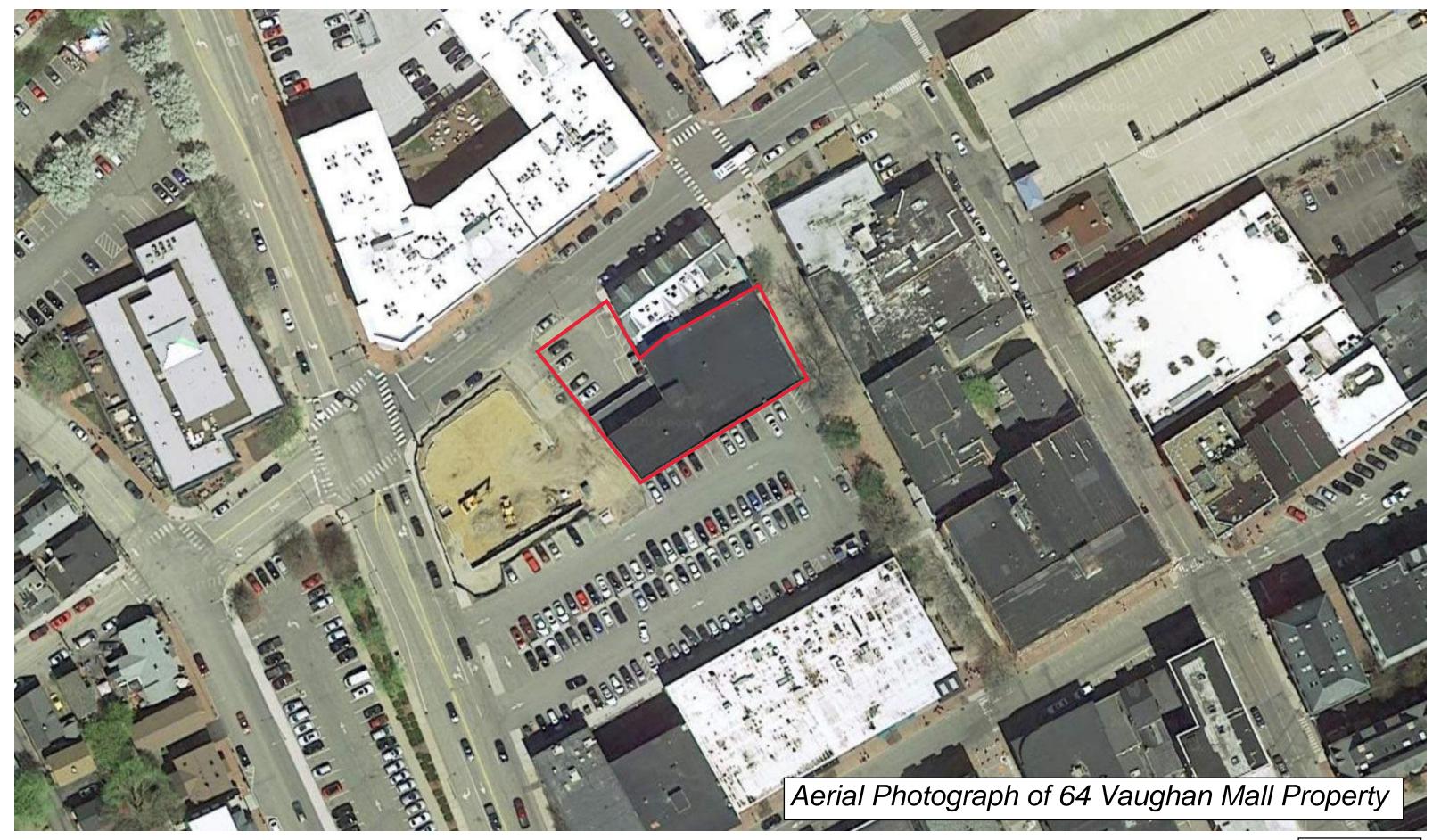


Table of Contents	Sheet No.
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64 Vaughan Mall Photograph	3
64 Vaughan Mall Perspective Photographs	3A
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Site Plan - Proposed	5
Architectural Plans - Proposed	A1 - A14
Materials - Proposed	M1 - M7
Spacing & Massing - Elevation Study	6
1	





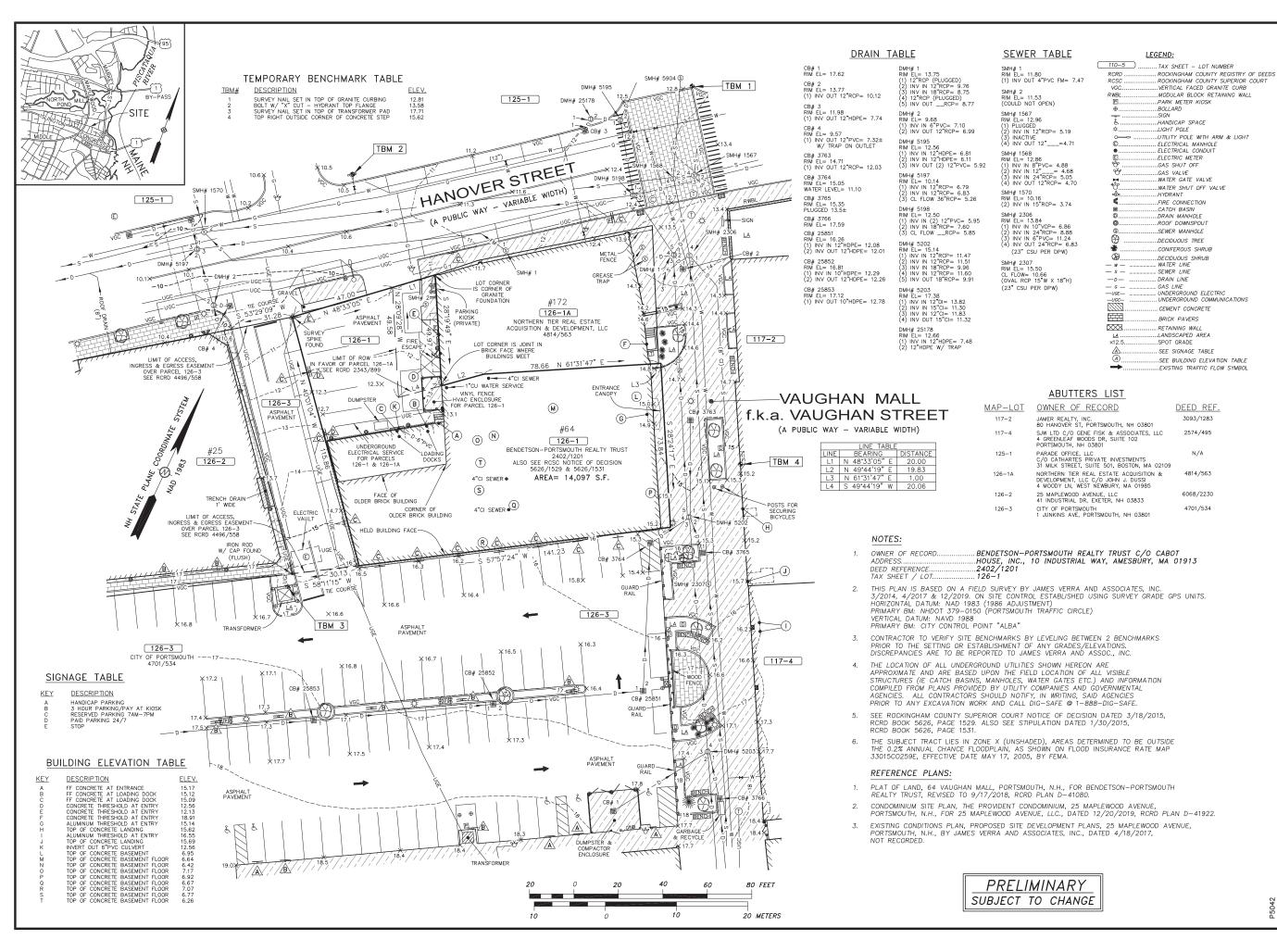












SURVEYOR:

James Verra and Associates, Inc.

LAND SURVEYORS

101 SHATTUCK WAY - SUITE 8 NEWINGTON, N.H. 03801- 7876 603-436-3557 JOB NO: 23524-A PLAN NO: 23524-A



133 COURT STREET PORTSMOUTH, NH 03801 (603) 433-2335

www.ALTUS-ENG.com

ISSUED FOR:

ENGINEERING REVIEW

ISSUE DATE:

PRFI IMINARY

REVISIONS NO. DESCRIPTION DATE D ENGINEERING REVIEW 2/3/20

JCS DRAWN BY: APPROVED BY: JV 23524-A.DWG DRAWING FILE: .

SCALE:

 $22" \times 34" - 1" = 20'$ $11" \times 17" - 1" = 40"$

OWNER:

BENDETSON-PORTSMOUTH REALTY TRUST C/O CABOT HOUSE, INC. 10 INDUSTRIAL WAY AMESBURY, MA 01913

ASSESSOR'S PARCEL 126-1

PROJECT:

PROPOSED SITE **DEVELOPMENT PLANS**

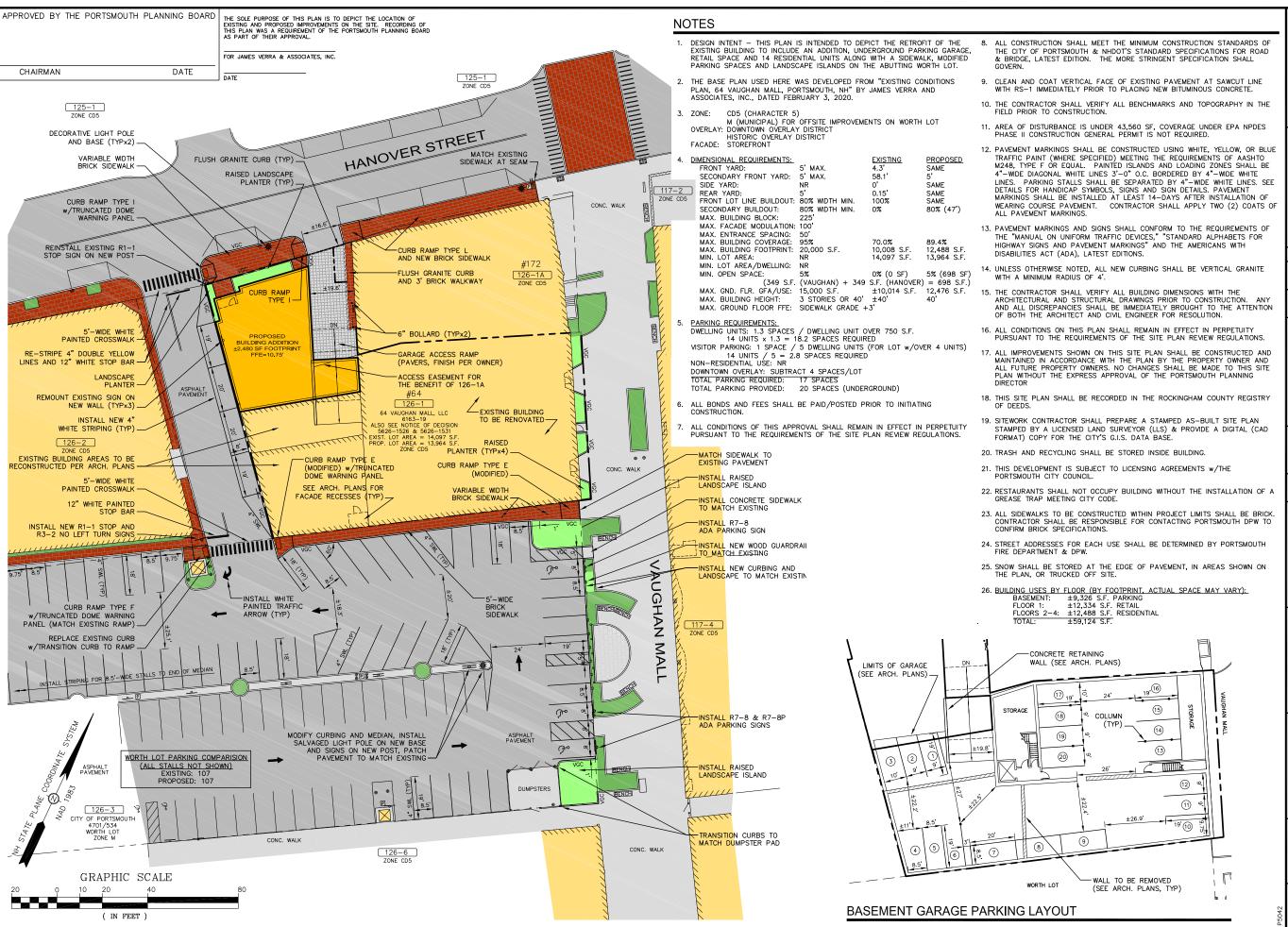
> 64 VAUGHAN MALL PORTSMOUTH, N.H.

ASSESSOR'S PARCEL 126-1

TITLE:

EXISTING CONDITIONS PLAN

SHEET NUMBER:





133 Court Street Portsmouth, NH 03801 (603) 433-2335 www.altus-eng.com



NOT FOR CONSTRUCTION

ISSUED FOR:

ISSUE DATE:

SOL DAIL.

JUNE 21, 2021

E١	ISIONS		
٥.	DESCRIPTION	BY	DATE
)	CLIENT REVIEW		05/21/20
	TAC WORK SESSION	EBS	07/07/20
2	TAC	EBS	10/19/20
5	PB CONSULTATION		12/30/20
ŀ	REV. BLDG. HEIGHT	EBS	01/26/21
5	TAC	EBS	03/22/21
6	REV. FOOTPRINT FOR HDC		04/08/21
,	TAC	EBS	04/19/21
3	TAC		05/19/21
,	TAC	EBS	06/21/21

DRAWN BY:	EBS
APPROVED BY:	EDW
DRAWING FILE:	5042-SITE.dwg

SCALE: 22"x34" 1" = 20' 11"x17" 1" = 40'

OWNER:

64 VAUGHAN MALL, LLC

41 INDUSTRIAL DRIVE EXETER, NH 0383

APPLICANT:

HAMPSHIRE DEVELOPMENT CORP.

41 INDUSTRIAL DRIVE EXETER, NH 03833

PROJECT:

64 VAUGHAN MALL BUILDING RESTORATION

TAX MAP 126, LOT 1

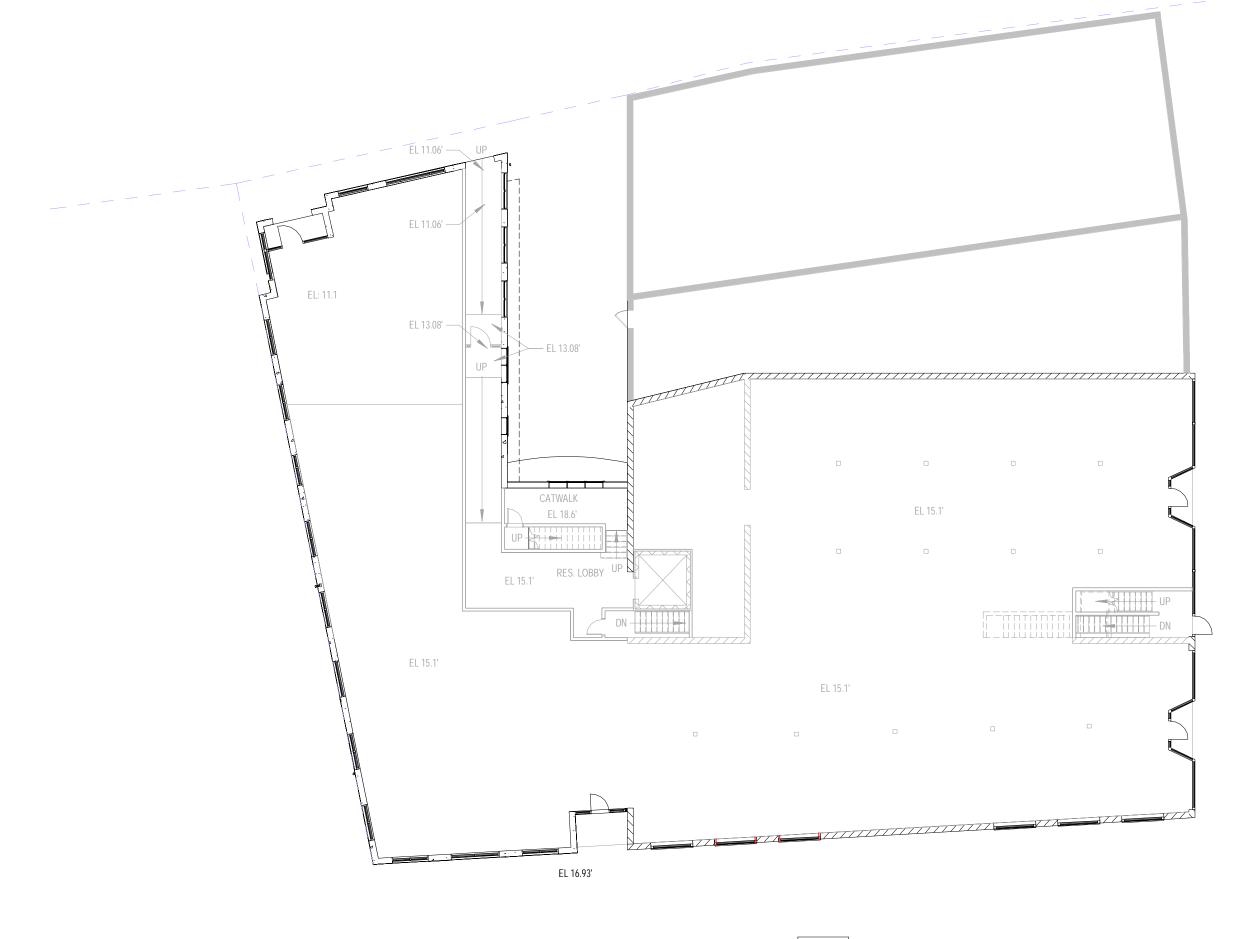
64 VAUGHAN MALL PORTSMOUTH, NH 03801

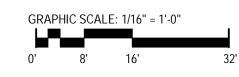
TITLE:

SITE PLAN

SHEET NUMBER:

Sheet 5

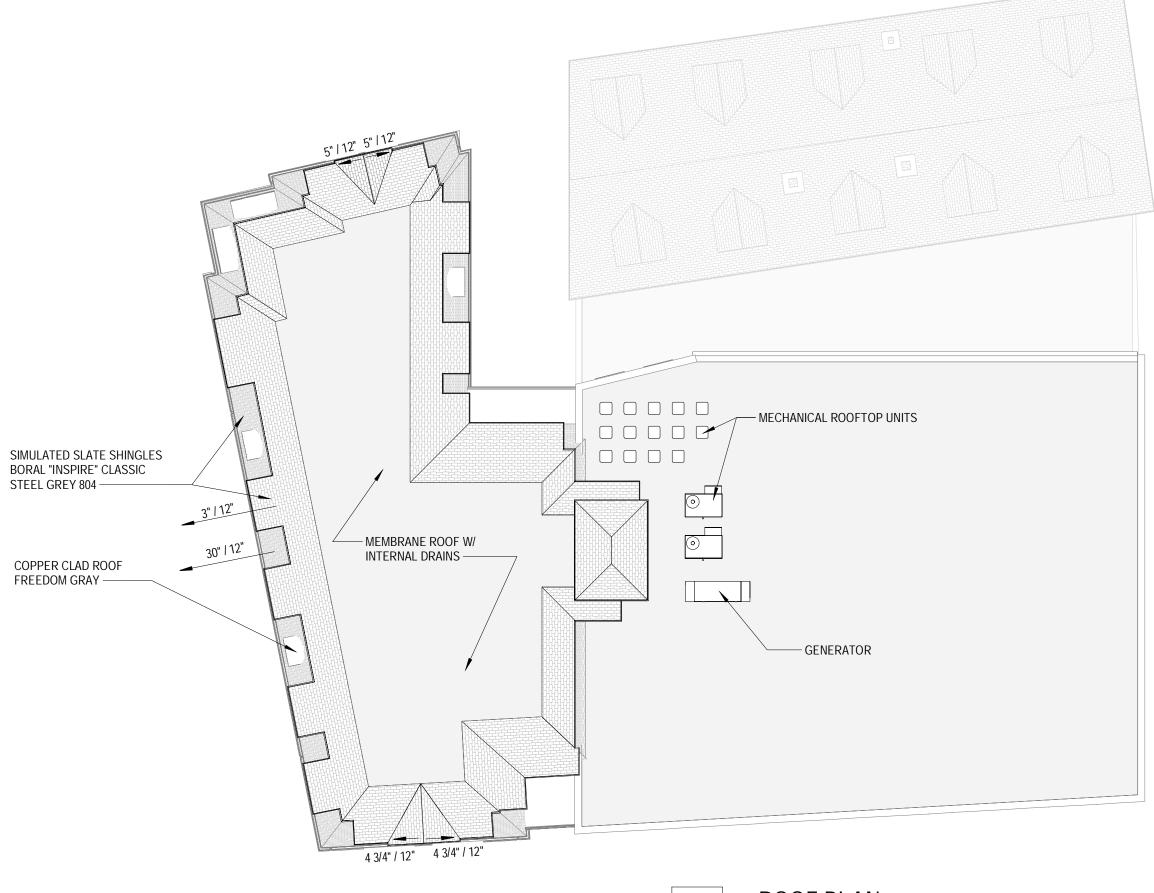






FIRST FLOOR PLAN
64 Vaughan Mall
07/28/2021
SCALE: 1/16" = 1'-0"





GRAPHIC SCALE: 1/16" = 1'-0"

ROOF PLAN
64 Vaughan Mall
07/28/2021
SCALE: 1/16" = 1'-0"





1) SOUTH ELEVATION 1/16" = 1'-0"



A3

EXTERIOR ELEVATIONS

64 Vaughan Mall

07/28/2021 SCALE: 1/16" = 1'-0"





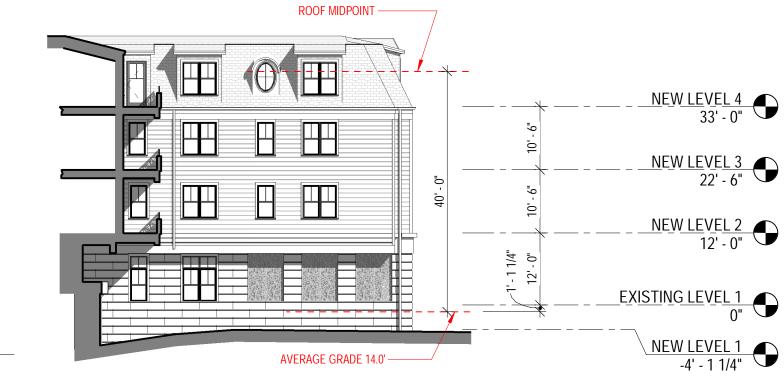
A4

EXTERIOR ELEVATIONS

64 Vaughan Mall

07/28/2021 SCALE: 1/16" = 1'-0"





5 EXTERIOR ELEVATIONS - EAST ELEVATION @ DRIVEWAY 1/16" = 1'-0"

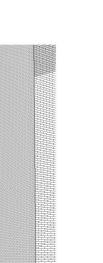
A4.2







2 <u>VIEW 02</u>





1 VIEW 01

P LEVEL 1 - PERSPECTIVE PLAN
1" = 100'-0"

VIEW 03

VIEW 05



PERSPECTIVE VIEWS

07/28/2021 SCALE: 1" = 100'-0"





A5.1

ENLARGED HANOVER ST VIEW 01

64 Vaughan Mall
07/28/2021
SCALE:

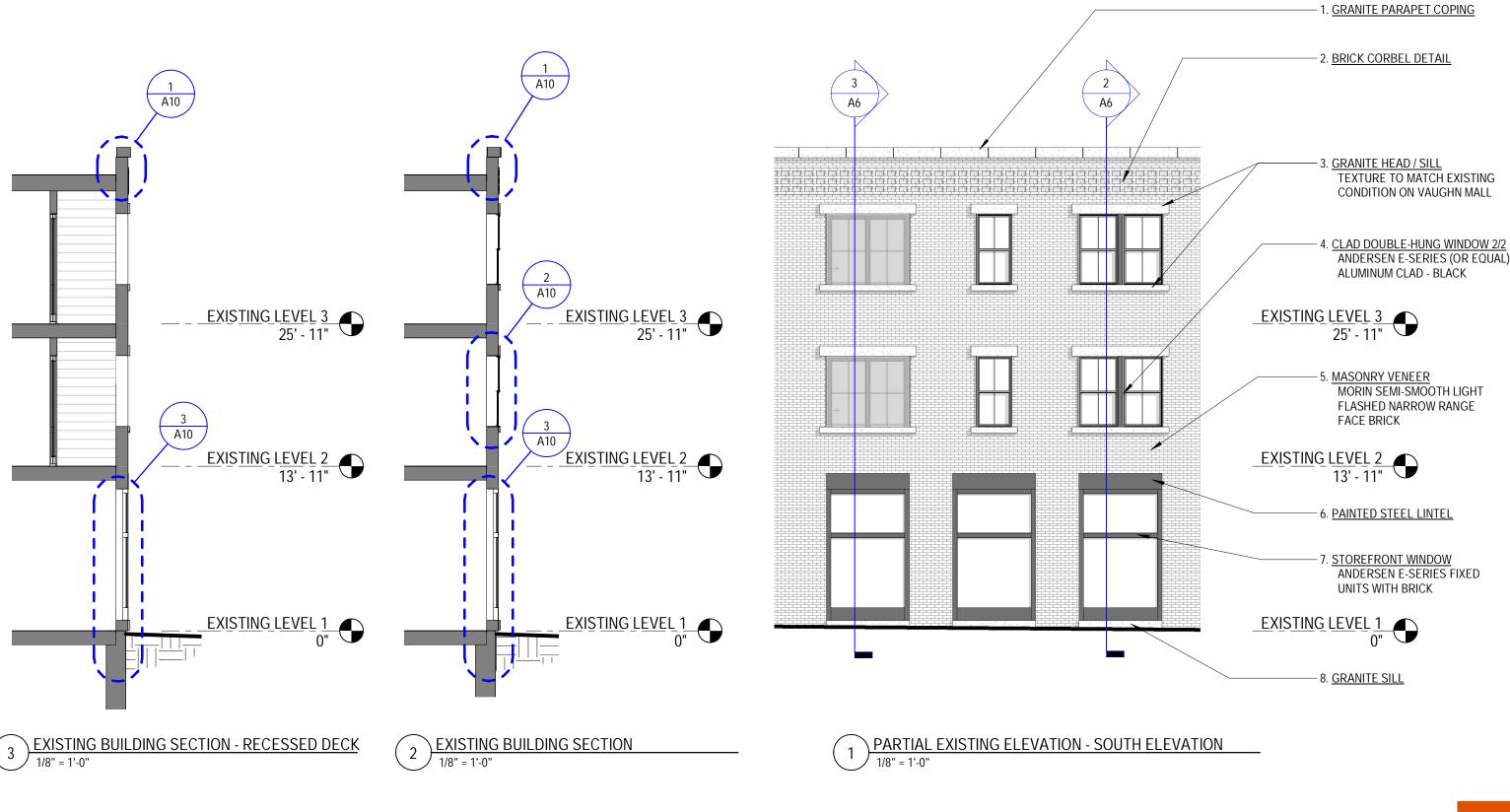




ENLARGED HANOVER ST VIEW 02

64 Vaughan Mall 07/28/2021 SCALE:



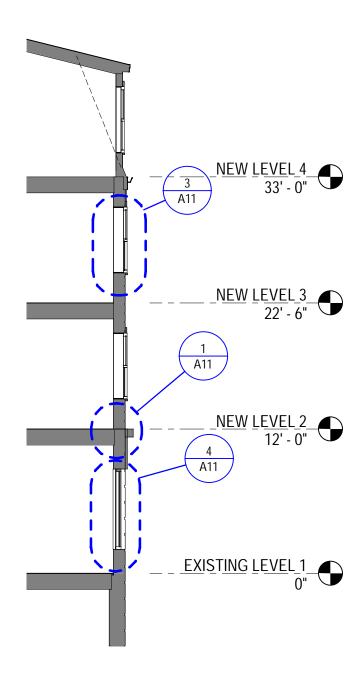


EXTERIOR ELEVATION - MATERIAL LEGEND

64 Vaughan Mall

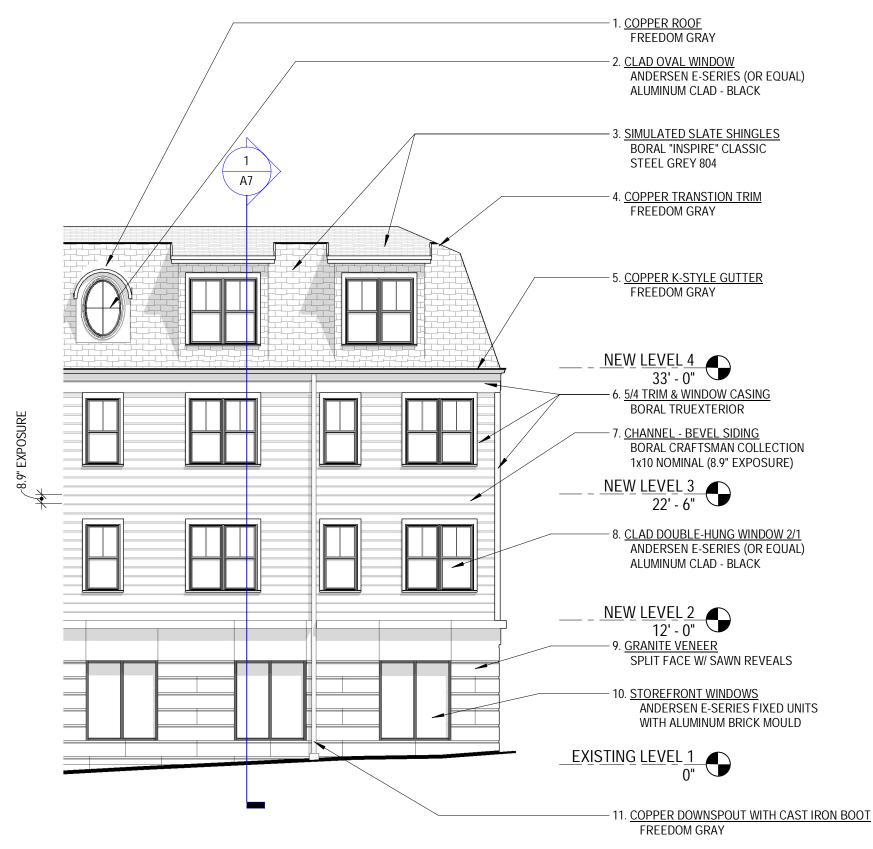
07/28/2021 SCALE: 1/8" = 1'-0"





1 WALL SECTION - WEST ELEVATION

1/8" = 1'-0"



PARTIAL NEW ELEVATION - WEST ELEVATION

1/8" = 1'-0"

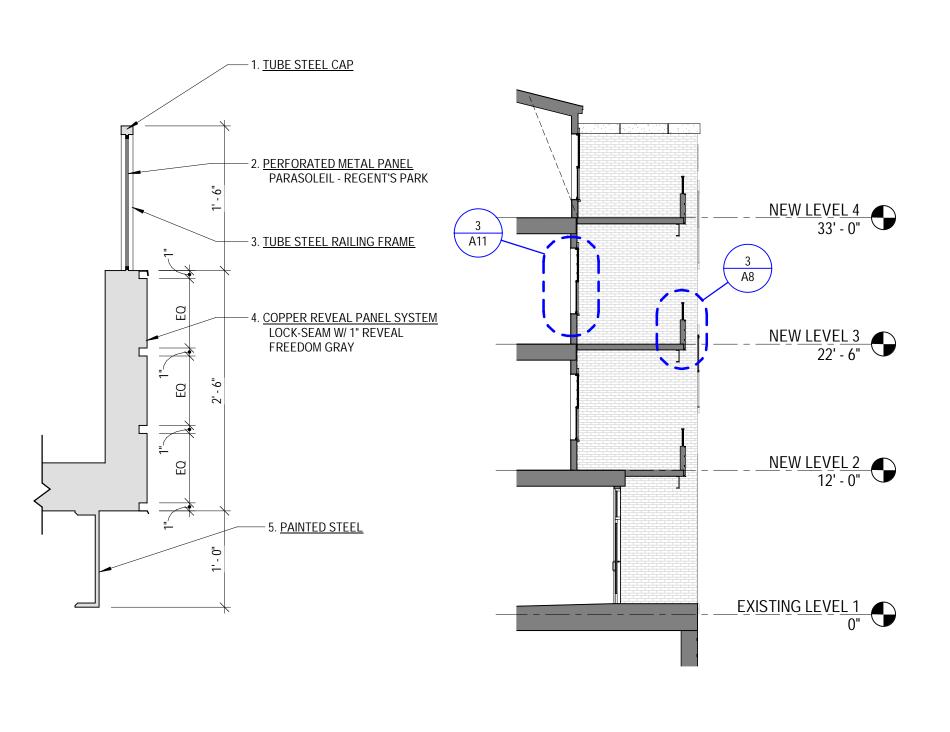


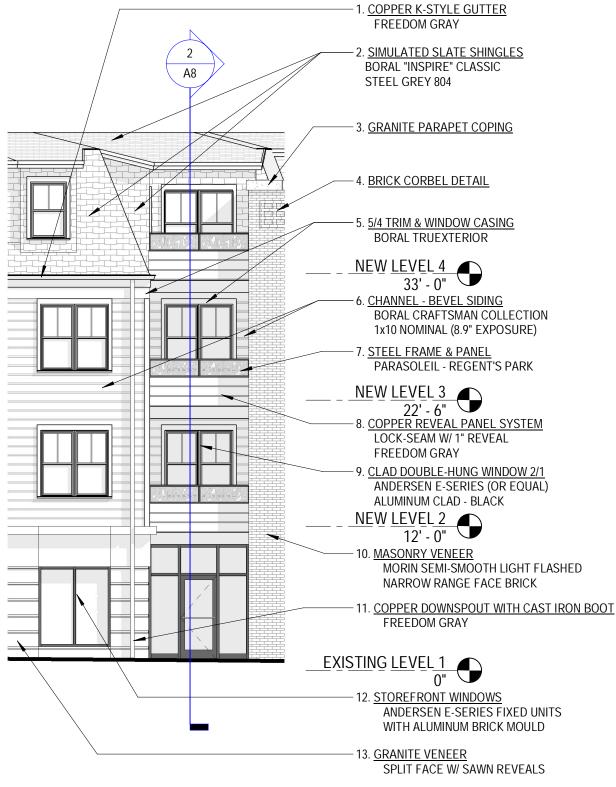
EXTERIOR ELEVATION - MATERIAL LEGEND

64 Vaughan Mall

07/28/2021 SCALE: 1/8" = 1'-0"







TYPCIAL DECK RAILING

2 DECK SECTION

1/8" = 1'-0"

1 PARTIAL NEW ELEVATION - SOUTH ELEVATION

1/8" = 1'-0"

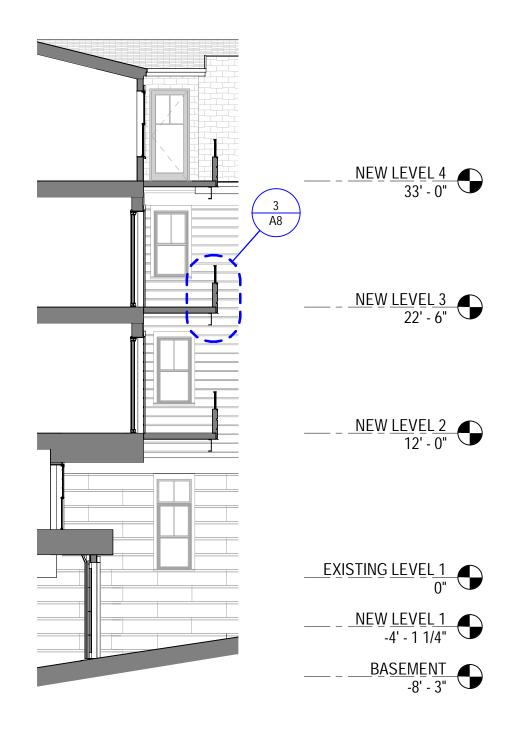
A8

EXTERIOR ELEVATION - MATERIAL LEGEND

64 Vaughan Mall

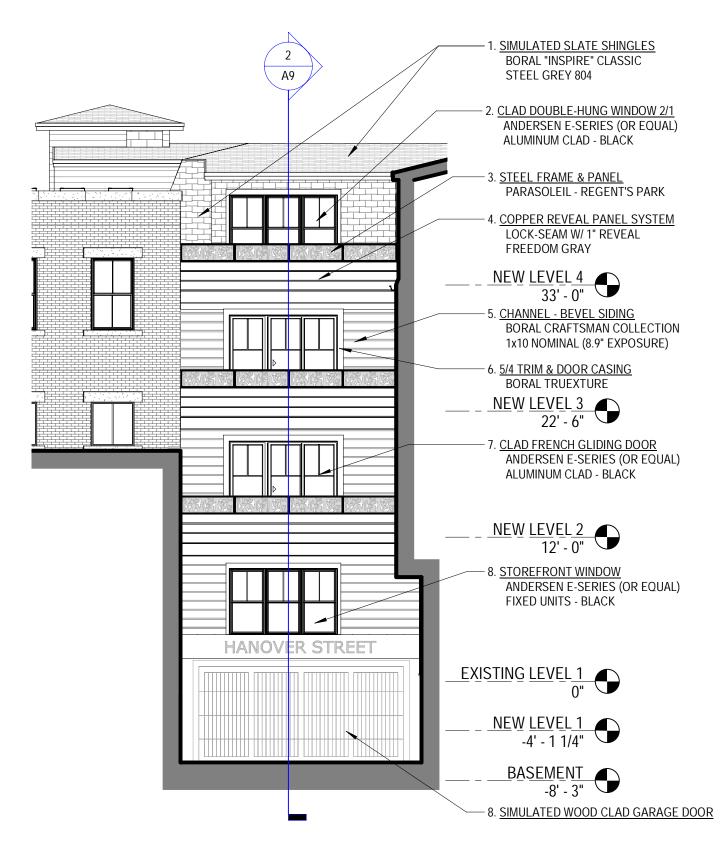
07/28/2021 SCALE: As indicated





WALL SECTION - GARAGE DOOR

1/8" = 1'-0"



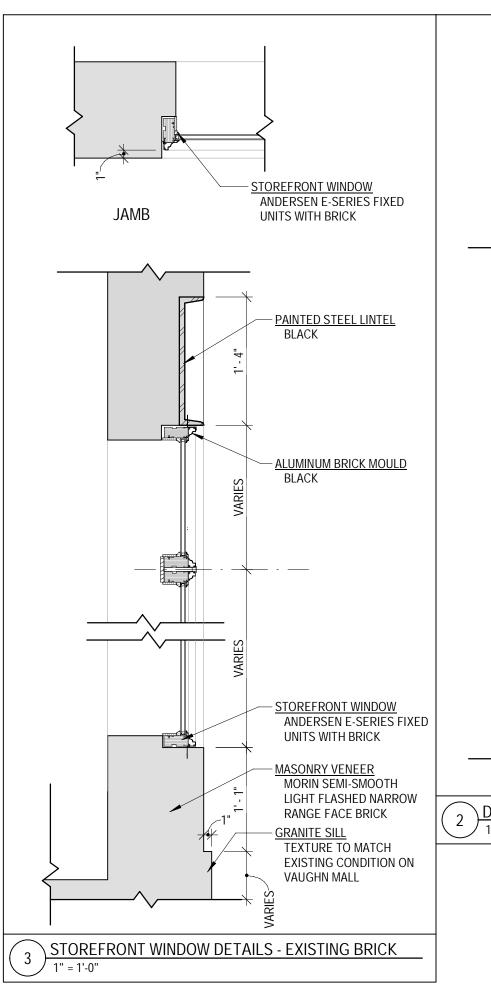
1 PARTIAL NEW ELEVATION - NORTH ELEVATION
1/8" = 1'-0"

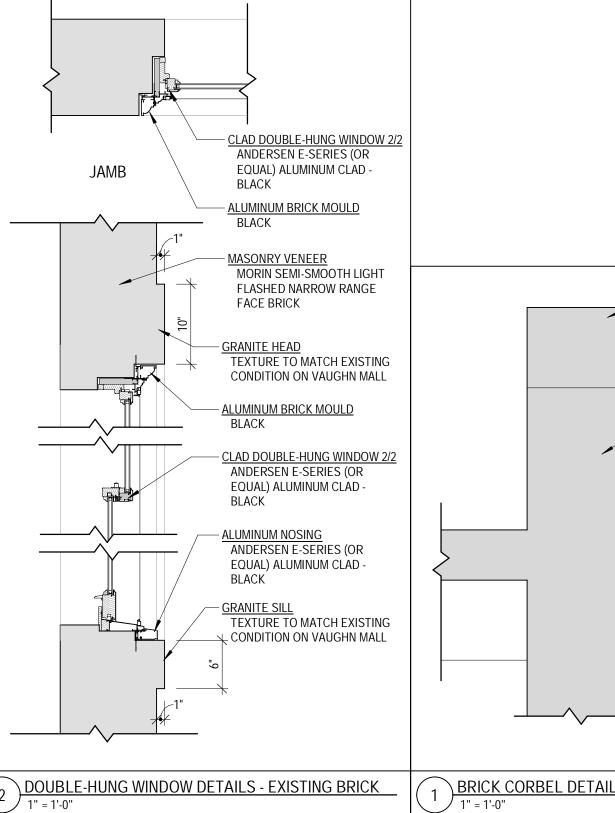
A9 EXTERIOR ELEVATION - MATERIAL LEGEND

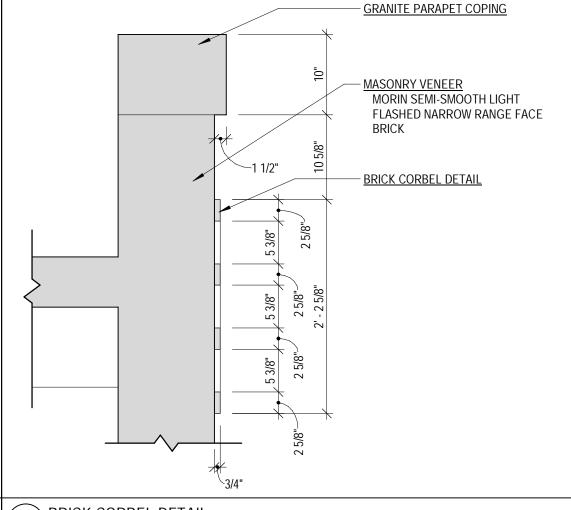
64 Vaughan Mall

07/28/2021 SCALE: 1/8" = 1'-0"







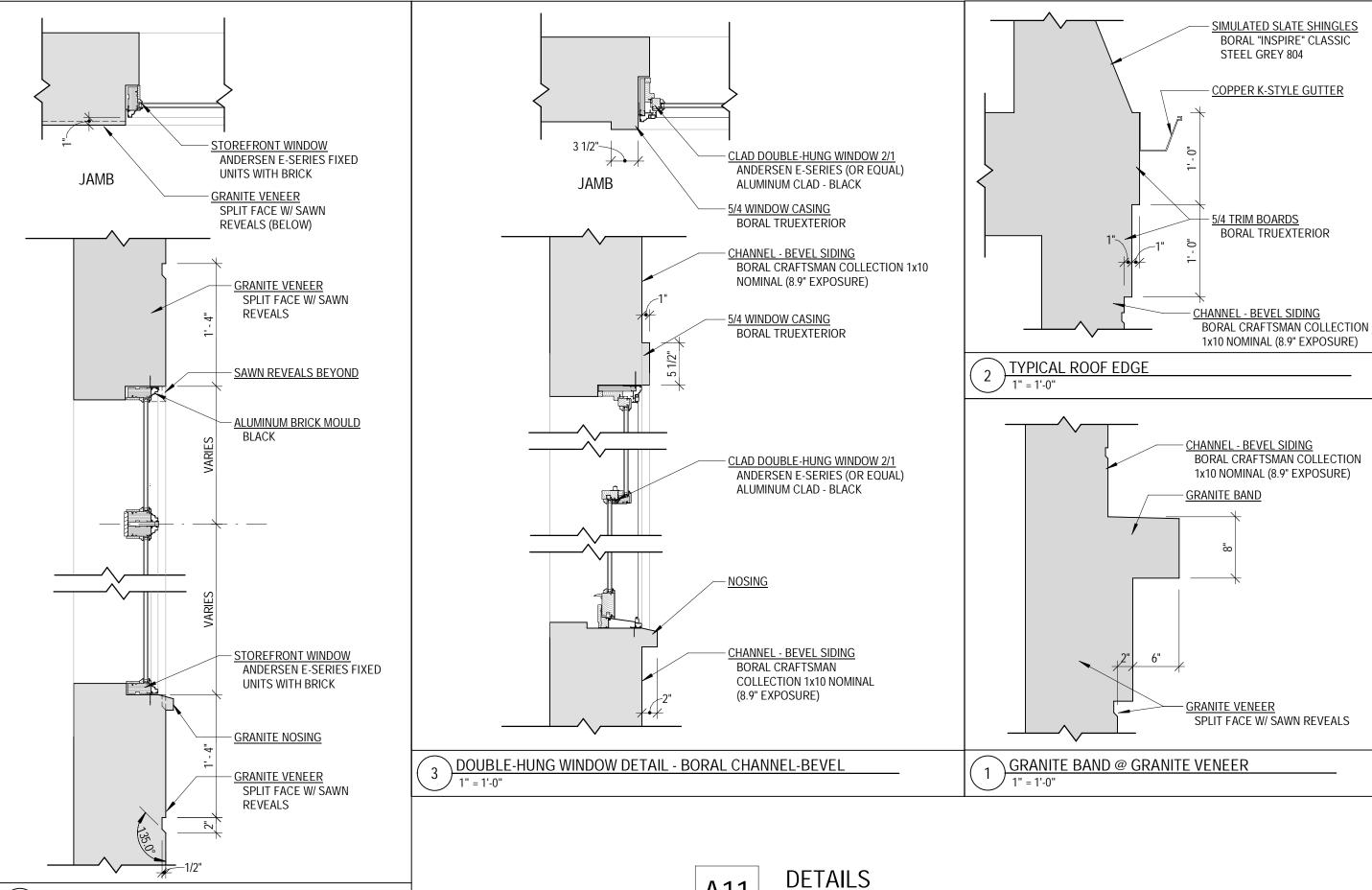


DETAILS

64 Vaughan Mall

07/28/2021 SCALE: 1" = 1'-0"





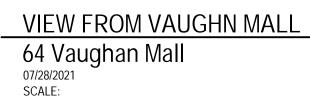
STOREFRONT WINDOW DETAILS - GRANITE VENEER

64 Vaughan Mall

07/28/2021 SCALE: 1" = 1'-0"











VIEW FROM WORTH LOT

64 Vaughan Mall

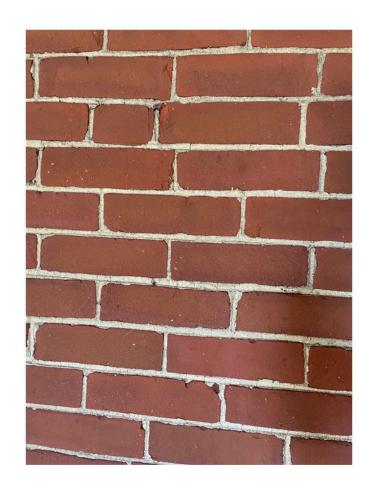




VIEW FROM HANOVER STREET

64 Vaughan Mall

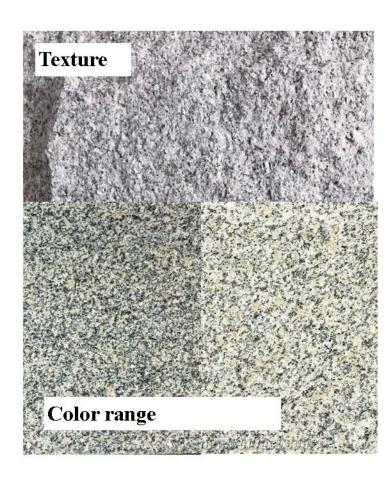




1. Existing Brick Finish (cleaned)



2. Proposed Brick Veneer Morin Semi-Smooth, Light Flashed, Narrow Range



3. Granite Heads/Sills; Veneer First floor Split-face texture



M1

Steel Grey



4. Simulated Slate Shingle Boral Inspire Classic Slate Steel Grey 804















Revere T-Z[®] Product is Durable, Attractive and Easy on the Environment.

Revers Tin-Zind[®] products are coated on both sides with a unique, patented T-Z-Alloy[™] (tin-zinc alloy), it offers all the advantages of copper with a naturally weathering earthicne gray color. Revere's T-Z[®] coated products are rugged, environmentally friendly and sesthetically appealing, for use in virtually all architectural metal

The three layers of FreedomGray Satin T-Z Alloy™ Tin-zinc alloy with satin finish

using the hot-dip process. This ensures complete coverage and eliminates voids.

A satin finish is factory-applied to FreedomGray Satin T-Z Alloy ^{1N}, to reduce initial reflectiveness and provide a natural, weathered appearance. The satin-finished Tin/Zinc surface begins to oxidize and starts to darken upon exposure. Environmental or of exposure dictate how long this will take.

As with balan and pre-patinated copper, FreedomGray Satin T-Z Alloy¹⁶ will always display differences in the shades and huse of it's natural patins. These are NOT an indication of defective material. In many respects it she variations that give T-Z⁶ coated products their unique life, vitality and sesthetics.



Copper K style gutter in Revere Freedom Gray (Tin-Zinc) Coating

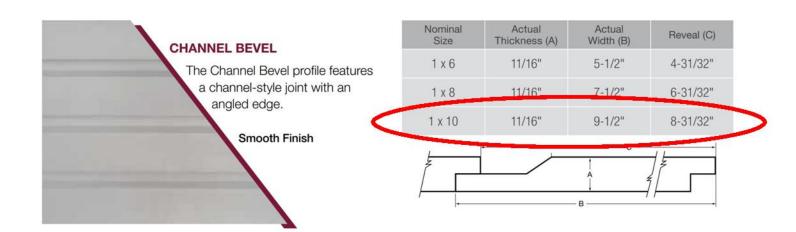
MATERIALS

64 Vaughan Mall



M2





6. Horizontal Siding and Trim-Painted
Boral Tru Exterior Craftsman Collection
Channel Bevel 1 x 10



5/8 Tr	im Sizes	1X Tr	im Sizes	5/4 Tr	im Sizes	2X T	rim Sizes
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
-	-	-	_	_	=	2 x 2	1-1/2" x 1-1/2"
:-:	-	1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"	_	_
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
-	-	1 x 5	3/4" x 4-1/2	5/4 x 5	1" x 4-1/2"	-	_
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2 x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1 × 7-1/4*	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4

TruExterior® Trim is reversible with woodgrain on one side and a smooth finish on the reverse. Available in a 16' length.

Reversible Smooth/Woodgrain Finish

*Please see TruExterior® Siding & Trim Limited Warranties and Product Data Sheets for proprietary test results, located at TruExterior.com.



64 Vaughan Mall

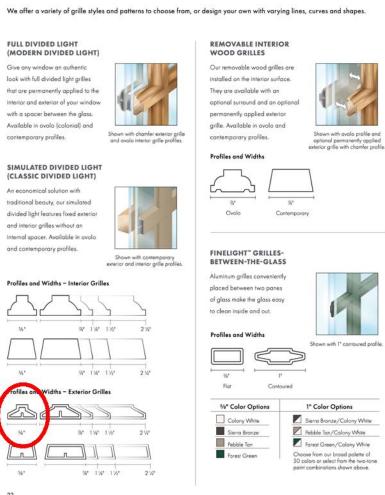




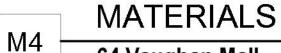
7. Andersen E Series Aluminum Clad Windows 2/2 SDL pattern (Vaughan Mall) 2/1 SDL pattern (Hanover Street)

64 Vaughn Mall Portsmouth NH 7/8" Modern Divided Lights

ARCHITECTURALLY AUTHENTIC GRILLES



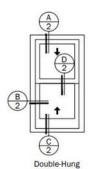




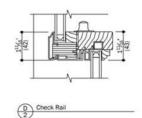
64 Vaughan Mall

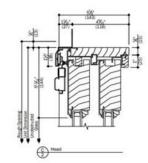


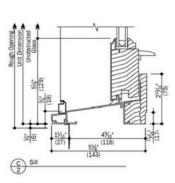
Andersen E Series Alum Clad Double Hung Window

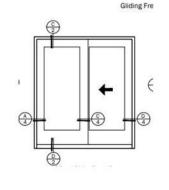


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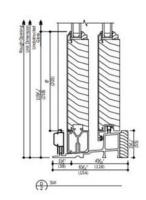


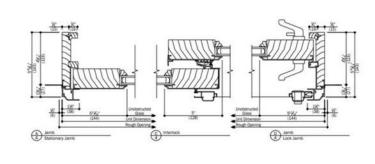


Andersen E Series

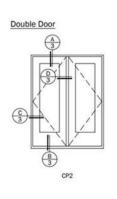
Gliding Door

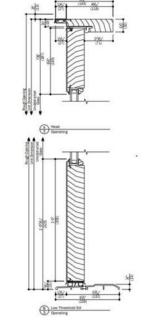
Aluminum Clad French

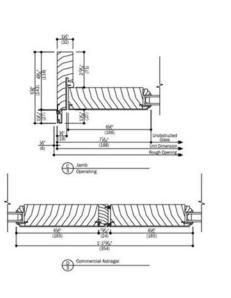




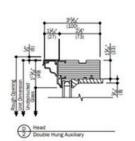
Andersen E Series Alum Clad Hinged Outswing Commercial Door

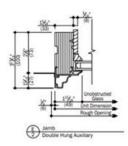


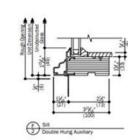




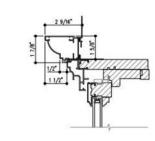
Andersen E Series Fixed Units for Storefront – Double Hung Frame Profile

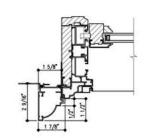


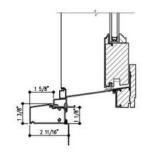




Proposed Exterior Trim for 64 Vaughn Street Project







8. Andersen E Series Aluminum Clad Windows-Details

M5

MATERIALS

05/20/2021



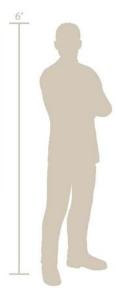


6510 W 91st Ave, Suite 100 Westminster, CO 80031 (303) 589-4524 hello@parasoleil.com www.parasoleil.com

Regent's Park® (REG)

John Muir talked about the mountains as nature's cathedral, a secular but sacred place. That sense of a cathedral can be seen in a canopy of trees when the branches of old oaks arch over a walkway. Regent's Park has been the setting for secular and sacred occasions for hundreds of years, as one of London's Royal Parks. The unpredictable patterns and long forms are examples of biomimicry, casting dappled light onto the carriages and walkers below. This pattern can be installed in alternating directions to show this connected arch quality.





Shade Score	8/10			
Privacy Score	8/10			
Biomimicry Score	8/10			
Structural Strength Score	5/10			
Small Hole Size Score	6/10			
MESH Score	4/10			
Openness	25% Open			

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Balcony Guard/Railing Infill Panel Pattern: Parasoliel Regents Park; Color: Black licorice

PBI Series Detail | Guardrail

Inset Brack System | Front View Scale 1:20

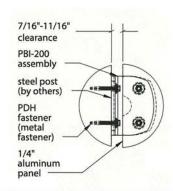
4'-2 1/2" 4'-0" O.C. post spacing 9 16 3'-8 3/8" 9 16 16'' typical 24'' max spacing 2 1 1 1 24'' max

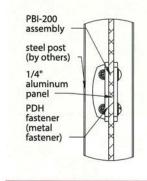
BRACKET INSET (PBI) SPECIFICATIONS

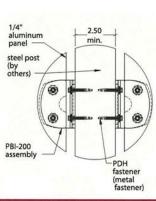
- 3/16" A36 steel plate
- Stainless steel flush mount ½" -20 x ½" long studs
- Stainless steel barrel nuts with EPDM washers
- Graftone AAMA 2604 compliant powder coat hardware finish
- Zinc primer for maximum adhesion and corrosion resistance

DIRECT HEX (PDH) SELF DRILLING SCREW SPECIFICATIONS

- #12-24 x 1-1/2" with #3 drill tip
- 5/16" hex head and driver included
- · Carbon steel with dual corrosion resistant coatings
- Bonded neoprene washer
- Salt spray resistance: 1,000 hours per ASTM B117
- Pull-out value: 2,100 lbs when installed in 3/16" steel







1 Inset Bracket (1 Panel)
Detail Scale 1:3

2 Inset Bracket Section
Detail Scale 1:3

3 Inset Bracket (2 Panels)

PARASOLEIL | RAILING & GUARDRAIL DESIGN GUIDE



M6

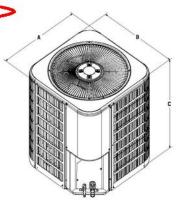
64 Vaughan Mall



UNIT DIMENSIONS & SOUND RATINGS

			imensions (inc	h)	Sound	
Model			0 Halakt	Rating		
	RSG1418S1M	24-1/4	24-1/4	29	71	1
	RSG142401M		-		10	T
	RSG1430S1M	28-1/4	28-1/4	37	74	7
	RSG1436S1M	28-1/4	28-1/4	37	74	1
	RSG1442S1M	28-1/4	28-1/4	33	76	7
	RSG1448S1M	28-1/4	28-1/4	33	80	1
	RSG1460S1M	32-1/4	32-1/4	37	80	7

Dimensions listed are unit sizes w/o packaging.



COOLING PERFORMANCE WITH EVAPORATOR COILS AC'S

Outdoor Model	Indoor Model	SEER	EER	AHRI Rated Capacity ¹ BTUH	Sensible Capacity BTUH	CFM	Refrigerant Connection			Refrigerant Line			
							Outdoor		Indoor		Size		Indoor
							Suction	Liquid	Suction	Liquid	Suction	Liquid	TXV
	(C, M, V)CG18PA1M + TXV	14.5	12	17400		650	3/4	3/8	3/4	3/8	3.44	3/8	4200
RSG1418S1M	(C, M, V)CG18PB1M+TXV	14.5	12	17400	14600	650	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG18PC1M + TXV	14.5	12	17400	1	650	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG24PA2M + TXV	14.5	11.8	22000		815	3/4	3/8	3/4	3/8	3.4	3/8	4200
RSG1424S1M	(C, M, V)CG24PB2M + TXV	14.5	11.8	22000	18800	815	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG24PC2M + TXV	14.5	11.8	22000		815	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG30PA2M + TXV	14.5	11.9	27000		1000	3/4	3/8	3/4	3/8	3/4	3/8	4200
RSG1430S1M	(C, M, V)CG30PB2M+TXV	14.5	11.9	27000	22400	1000	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG30PC2M + TXV	14.5	11.9	27000		1000	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG36PA1M + TXV	14.5	12	33400	27200	1200	3/4	3/8	3/4	3/8	3/4	3/8	4200
RSG1436S1M	(C, M, V)CG36PB1M+TXV	14.5	12	33400		1200	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG36PC1M+TXV	14.5	12	33400		1200	3/4	3/8	3/4	3/8	3/4	3/8	4200
	(C, M, V)CG42PB2M + TXV	14	11.9	38500	31800	1400	7/8	3/8	7/8	3/8	7/8	3/8	4202
RSG1442S1M	(C, M, V)CG42PC2M + TXV	14	11.9	38500		1400	7/8	3/8	7/8	3/8	7/8	3/8	4202
	(C, M, V)CG42PD2M + TXV	14	11.9	38500		1400	7/8	3/8	7/8	3/8	7/8	3/8	4202
	(C, M, V)CG48PB1M + TXV	14	11.8	45000	36600	1600	7/8	3/8	7/8	3/8	7/8	3/8	4202
RSG1448S1M	(C, M, V)CG48PC1M + TXV	14	11.8	45000		1600	7/8	3/8	7/8	3/8	7/8	3/8	4202
	(C, M, V)CG48PD1M + TXV	14	11.8	45000		1600	7/8	3/8	7/8	3/8	7/8	3/8	4202
RSG1460S1M	(C, M, V)CG60PC1M + TXV	14	11.8	54000	41500	1800	1 1/8	3/8	7/8	3/8	1 1/8	3/8	4202
KSG1460S1M	(C, M, V)CG60PD1M + TXV	14	11.8	54000	4.1500	1800	1 1/8	3/8	7/8	3/8	1 1/8	3/8	4202

Note:

1 Certified in accordance with Unitary Air Conditioner Certification Program, which is based on AHRI Standard 210/240

2 Required to achieve AHRI rating. If NA (Not Applicable) is in the piston column, then TXV is required

Carrier Rooftop with EnergyX® System

Product Data







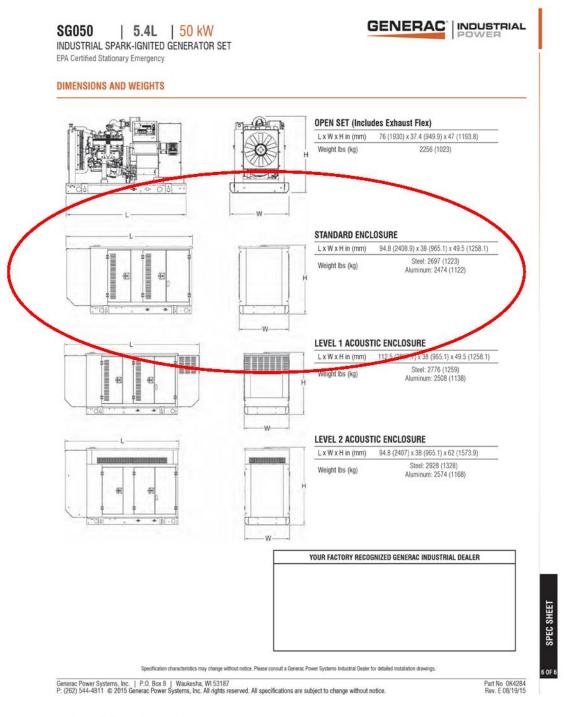












10. Rooftop Mechanical Units Residential Tenants (1 x unit) 11. Rooftop Mechanical Units Commercial Tenant (1 x tenant)

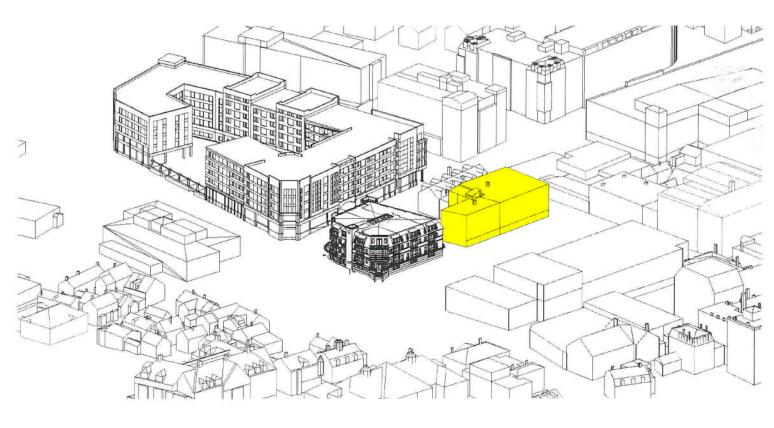
12. Rooftop Generator

SCALE:



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LOCUS PLAN

SOUND WAY. BUILD BRIDGE STREET LOT

WAPLEWOOD BRIDGE STREET LOT

CITY OF PORTSMOUTH 3D MODEL

HIGH/HANOVER FLEET VAUGHAN STREET GARAGE STREET MALL (REAR FACADE)

SITE SECTION ALONG HANOVER STREET



SITE SECTION ALONG MAPLEWOOD AVENUE

64 VAUGHAN MALL

SPACE & MASSING DIAGRAM

Sheet 6



GRAPHIC SCALE: 1/16" = 1'-0"

A2-B

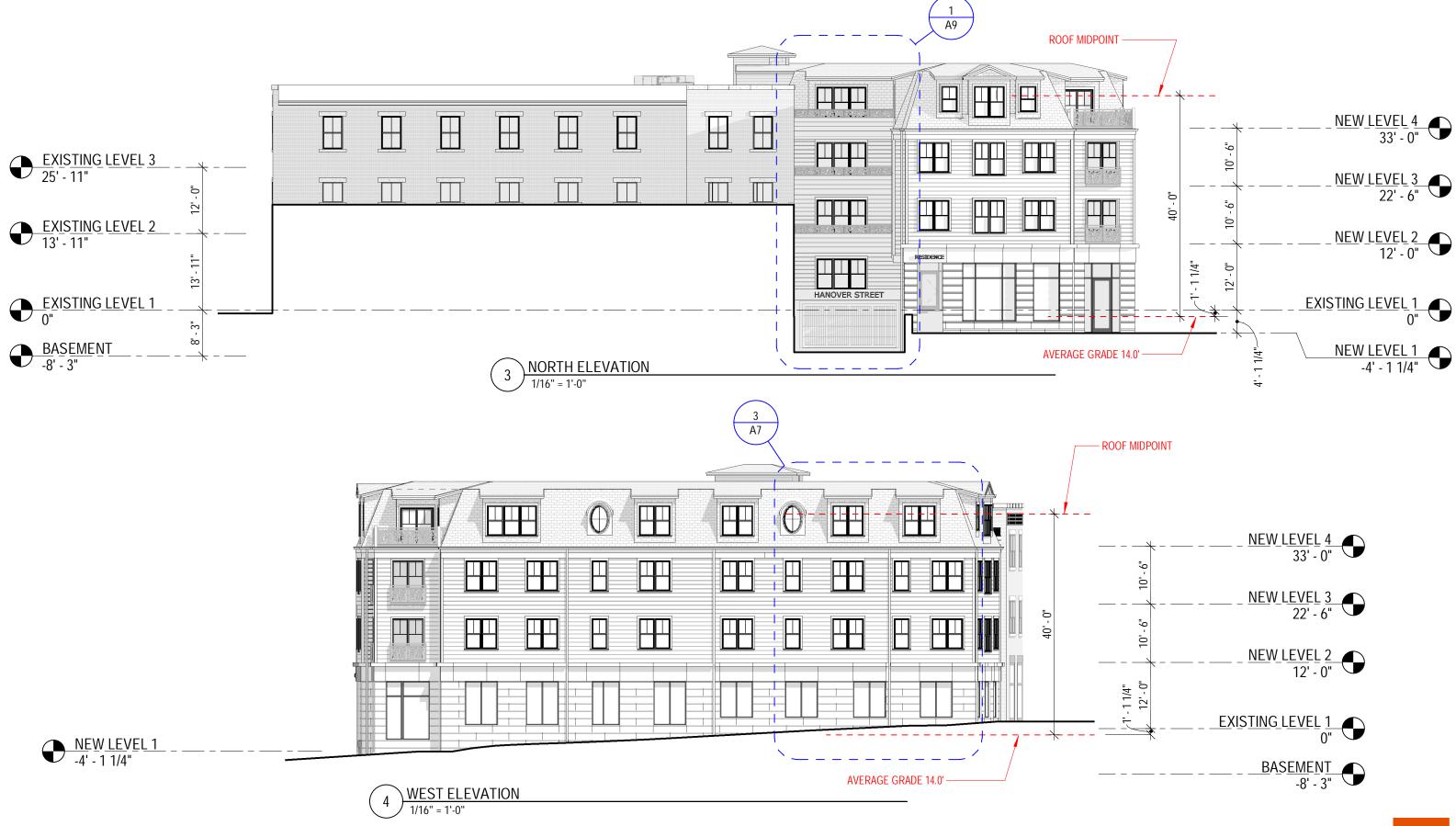
ROOF PLAN (OPTION B)

64 Vaughan Mall

07/28/2021

SCALE: 1/16" = 1'-0"





A4-B

EXTERIOR ELEVATIONS (OPTION B)

64 Vaughan Mall

07/28/2021 SCALE: 1/16" = 1'-0"





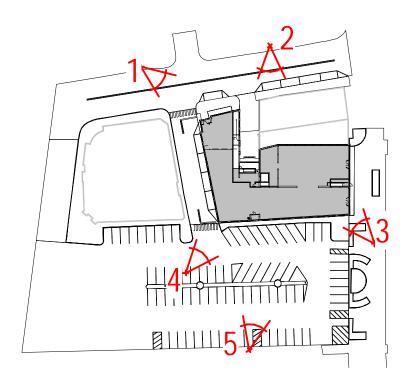




2 VIEW 02

3 <u>VIEW 03</u>







1 VIEW 01

P LEVEL 1 - PERSPECTIVE PLAN
1" = 100'-0"

5 <u>VIEW 05</u>

A5-B

PERSPECTIVE VIEWS (OPTION B)

64 Vaughan Mall

07/28/2021 SCALE: 1" = 100'-0"





ENLARGED HANOVER ST VIEW 01 (OPTION B)

64 Vaughan Mall 07/28/2021 SCALE:





ENLARGED HANOVER ST VIEW 02 (OPTION B)

64 Vaughan Mall

07/28/2021
SCALE:





A14-B-

VIEW FROM HANOVER STREET (OPTION B)

64 Vaughan Mall

07/28/2021
SCALE:



60 Penhallow Street Public Hearing LU-21-144

7/26/2021 OpenGov



07/26/2021

LU-21-144

Land Use Application

Status: Active Date Created: Jul 8, 2021

Applicant

Robbi Woodburn robbi@woodburnandcompany.com Woodburn & Company Landscape Architecture, LLC 103 Kent Place Newmarket, New Hampshire 03857 6036595949

Location

60 PENHALLOW ST Portsmouth, NH 03801

Owner:

DAGNY TAGGART LLC 3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

Applicant Information

Please indicate your relationship to this project

F. Applicant's Representative Filing on behalf of C., D. or E. above

Alternative Project Address

Alternative Project Address

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

 \mathbf{V}

Minor Renovation: for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

Home Occupation: residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations

are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

New Use/Change in Use: for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events)

Demolition Only: only applicable for demolition projects that do not involve any other construction, renovation, or site work

Subdivision or Lot Line Revision: for projects which involved a subdivision of land or an adjustment to an existing lot line

Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

Request for Extension of Previously Granted Land Use Approval



BRICK MARKET PRESENTATION OF ARTWORK CONCEPTS



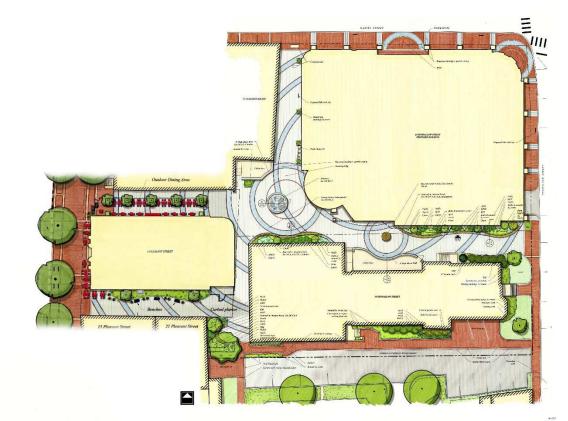












During 2019 Brick Market, consisting of the renovation 3 Pleasant Street, the design of the new building at 60 Penhallow and the surrounding courtyard and sidewalks was reviewed and approved by the HDC and later reviewed and approved by the Planning Board in January of 2020.

Timeline

- March 2019 January 2020 Design Review & Approval by the City of Portsmouth
- Fall 2019 Renovation of 3 Pleasant begins
- **Summer 2020 Call for Artists**
- Fall 2020 Construction of 60 Penhallow begins
- Fall 2020 Selection of Artists
- Winter 2020 Present Development of Concepts

























Imagery

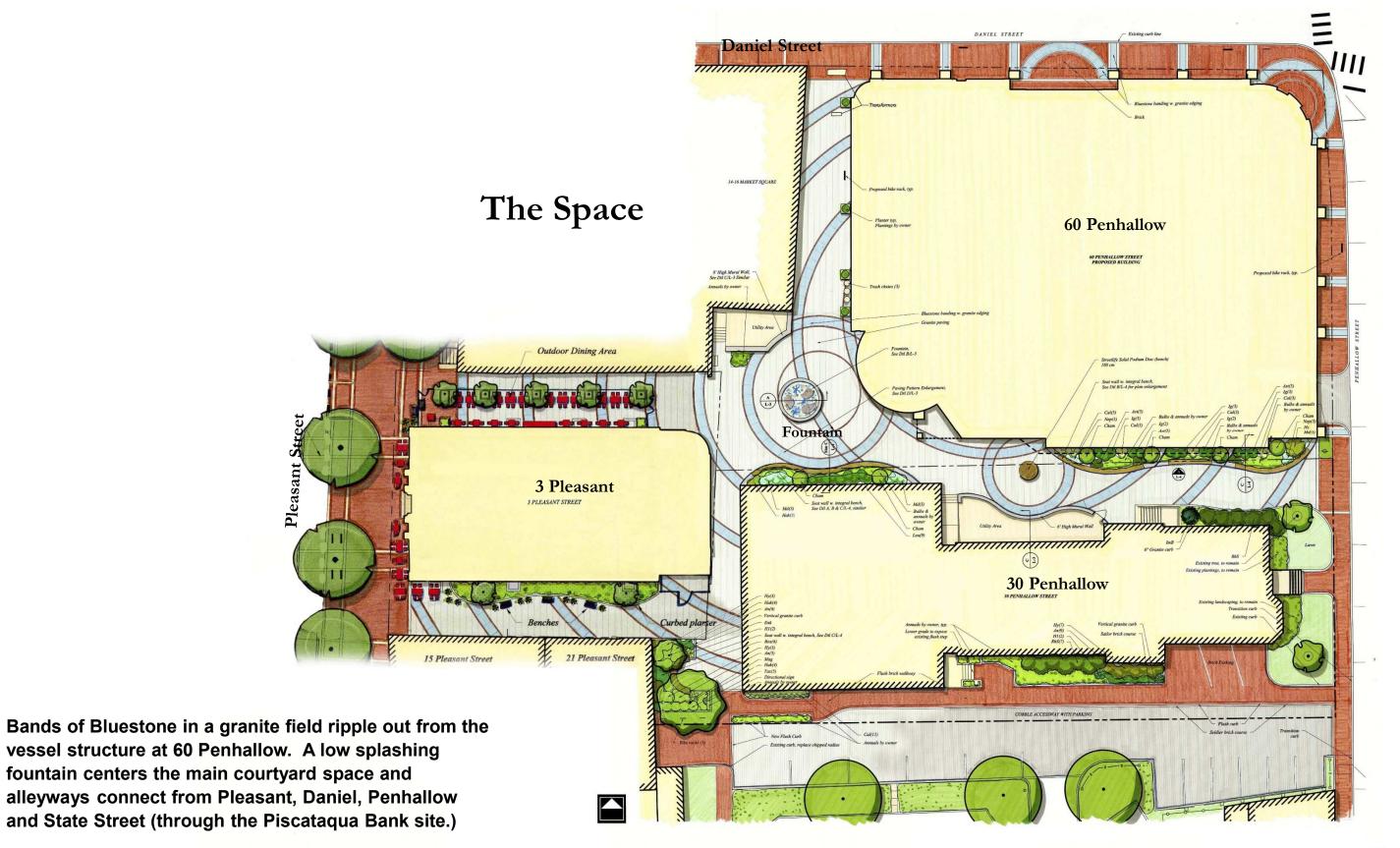
The design of the landscape and as well as the building at 60 Penhallow reflects Portsmouth's Maritime History and the water that defines the City. The overall goal of Brick Market and its landscape is to create an exciting, activated pedestrian courtyard or plaza providing connectivity between Market Square to and through the site to the McIntyre block and the waterfront beyond. It will also be a destination and gathering space. Curves, waves and water are central themes that structure

the space.







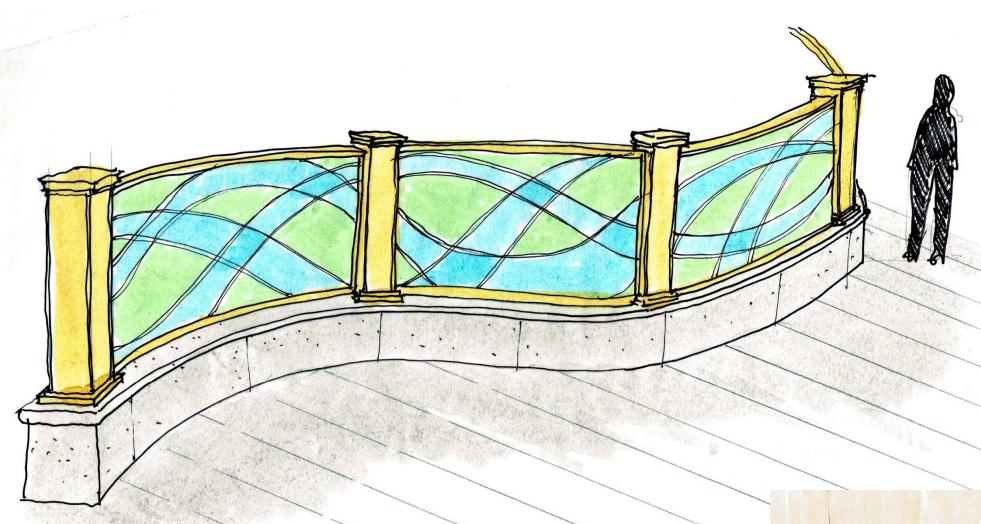






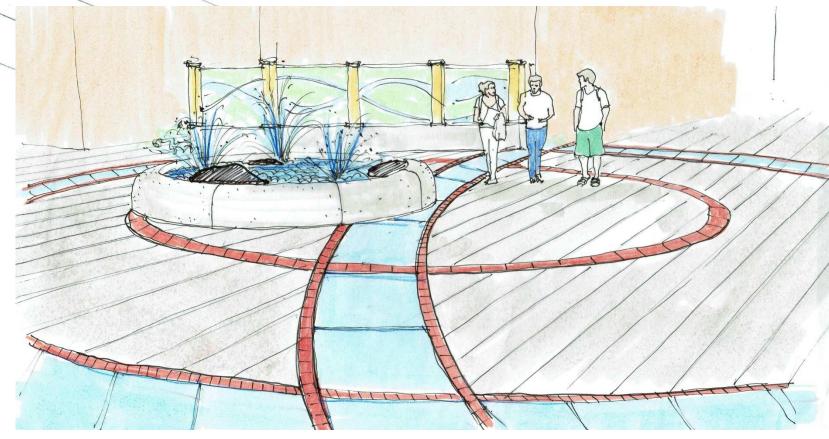








As part of the HDC's review of the proposed landscape "Mural Walls" were presented as placeholders for future art installations. These walls, which hide needed utility areas, were meant to illustrate a "wavy" curvilinear edge to the pedestrian spaces that would be designed by artists at a later date.











Search for Artists

During the Summer and Fall of 2020 the development team began the search for artists. A Request for Qualifications was issued in late May and interviews were conducted in September.

Four artists were chosen to present their work and interview with the design team.

They were then tasked with creating concepts for works of art that reflected the underlying themes of the project's landscape:

- Portsmouth's Maritime history and or its history in general
- Water, curves and waves
- And a celebration of Women and the feminine.

In October of 2020 four artists presented their initial concepts and two were chosen to further develop those ideas.

The chosen Artists, are Vivian Beer and Alexander Golob.



Vivian Beer http://www.vivianbeer.com/



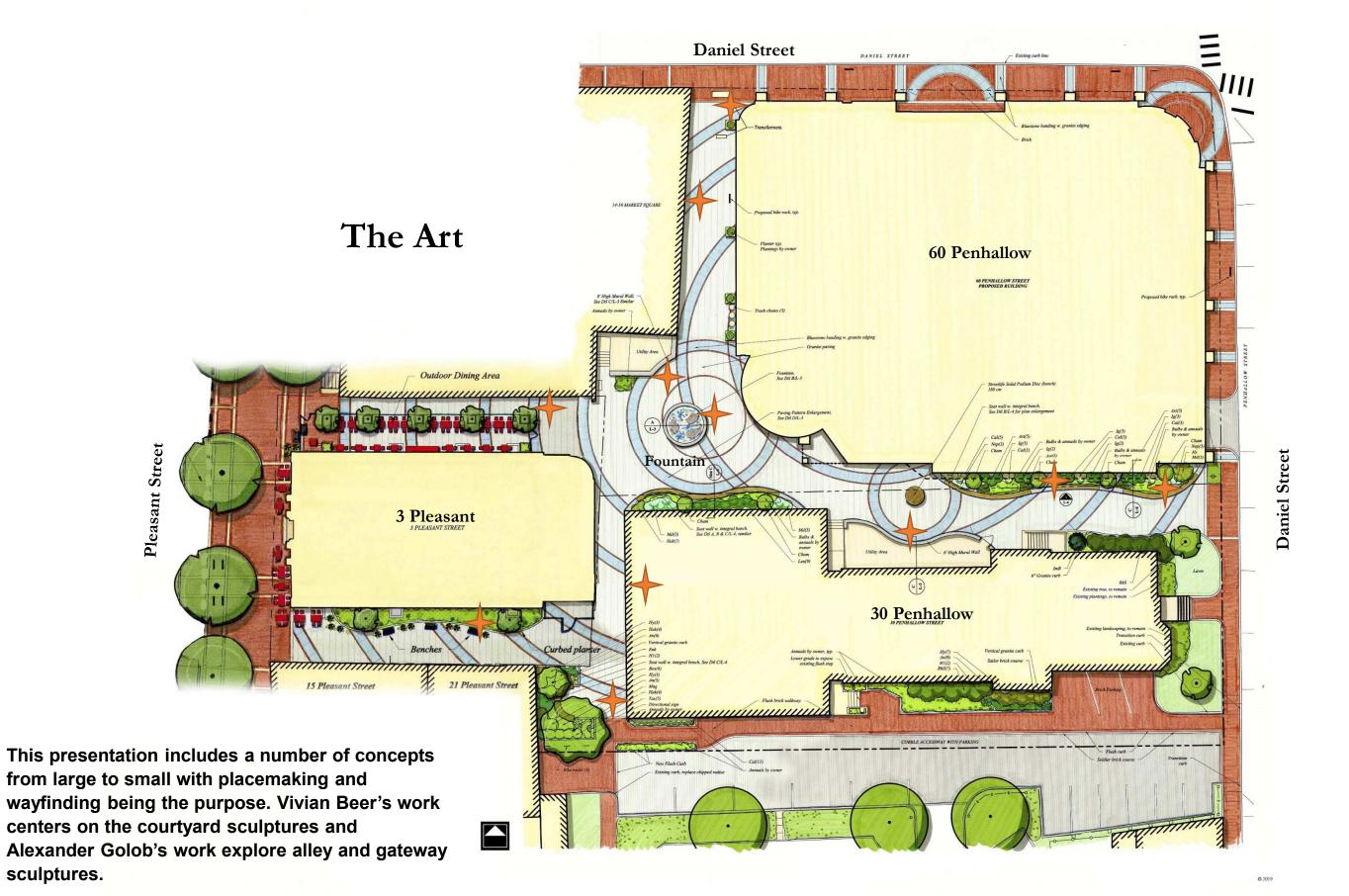
Alexander Golob https://alexandergolobart.com/



















Brick Market Proposal: Woven Together

These pieces sculptures are inspired by community, collaboration and human potential. The project, as requested, is from a feminist point of view celebrating strong female voices and centered around a memorial to the honorable Ruth Bater Ginsburg. But the message is purposefully not "about" feminist struggle but rather an experience, a celebration -in hope - that these voices are normalized rather than marginalized. To that end the pieces are abstract delving into pattern and fabric, fashion and empathy. They leave room for the individuals that interact with them to apply their own voices and imagination - their own stories. I believe one of the best "place-making" strategies in art. One which allows the community to continue their own stories within it. Woven Together pieces have variations in scale and intimacy in their interaction strategies with the public which encourage empathy and connection.

Components:

RBG fountain: proposed collaboration with Woodburn and Vivian Beer

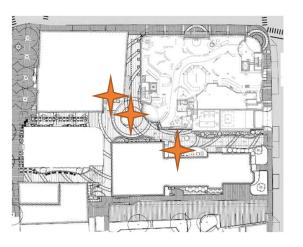
Impact: site specific sculpture by Vivian Beer

Woven: site specific sculpture by Vivian Beer

Additional programmatic recommendations

Curatorial Publication: pamphlet/online pdf for the public and

First year performance programing: Dance, music and digital art programing for the opening year of the brick market.



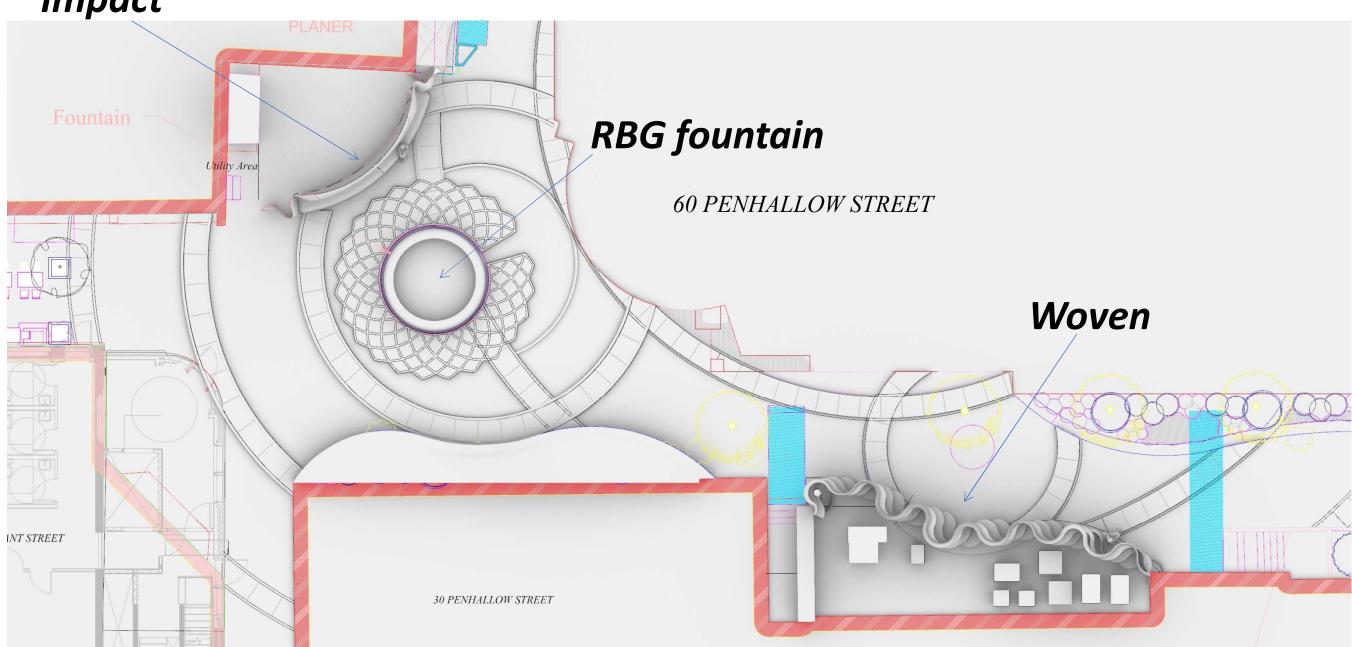








Impact











Vivian Beer - Project: *RBG fountain*

proposed collaboration with Woodburn to rework the existing stonework design around fountain feature

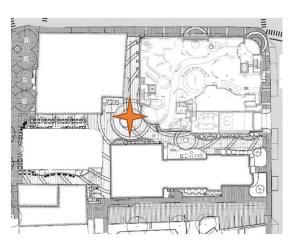
Materials: Stone, Woodbury granite, custom curve with the negative spaces being custom cut bluestone to match the existing paver materials.

Project concept: It seems perfect, as a center piece of the Woven Together, project to celebrate the life of Ruth Bader Ginsburg, especially as she passed while I was designing the project proposal. I envision a decorative stone pattern reminiscent of the "favorite" lace color that she typically wore. This is a lace pattern Jabot (an ornamental frill or ruffle on the front of a shirt or blouse) this pattern is replicated in repeating intersecting curves of stonework around the existing fountain.

Ginsberg was a feminist but is also an enduring pop culture icon, in part because of her fierce fashion on the Supreme Court bench. "As much as the nickname "The Notorious R.B.G.," which came to symbolize Justice Ginsburg's status as a pop culture hero in her later years, the collars served as both semiology and semaphore: They signaled her positions before she even opened her mouth, and they represented her unique role as the second woman on the country's highest court. Shining like a beacon amid the dark sea of denaturing judicial robes, Justice Ginsburg's collars were unmistakable in photographs and from the court floor. In 2009, in an interview with The Washington Post, she explained how her collection originated: "You know, the standard robe is made for a man because it has a place for the shirt to show, and the tie," Justice Ginsburg told the paper. So she and Sandra Day O'Connor, the first female Justice on the court, "thought it would be appropriate if we included as part of our robe something typical of a woman." They weren't going to obscure their sex, or pretend it was beside the point. It was part of the point." – quoted from the New York Times

Link: https://news.yahoo.com/video/justice-ginsburg-exhibits-her-famous-194517521.html

A simple sandblast etching will be in the stonework of the fountain, but the iconic nature of that lace pattern will be instantly identifiable. It also works in geometric harmony with the intersecting circular patterns reminiscent of raindrops from the sky in the existing hardscape design, a symbolic memorial to the life of this iconic woman.















""As much as the nickname "The Notorious R.B.G.," which came to symbolize Justice Ginsburg's status as a pop culture hero in her later years, the collars served as both semiology and semaphore: They signaled her positions before she even opened her mouth, and they represented her unique role as the second woman on the country's highest court." – quoted from the New York Times

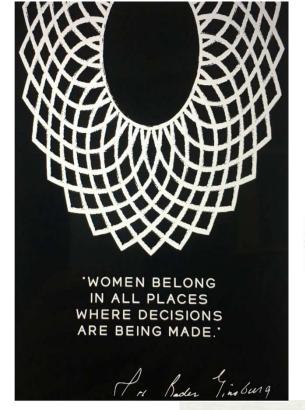










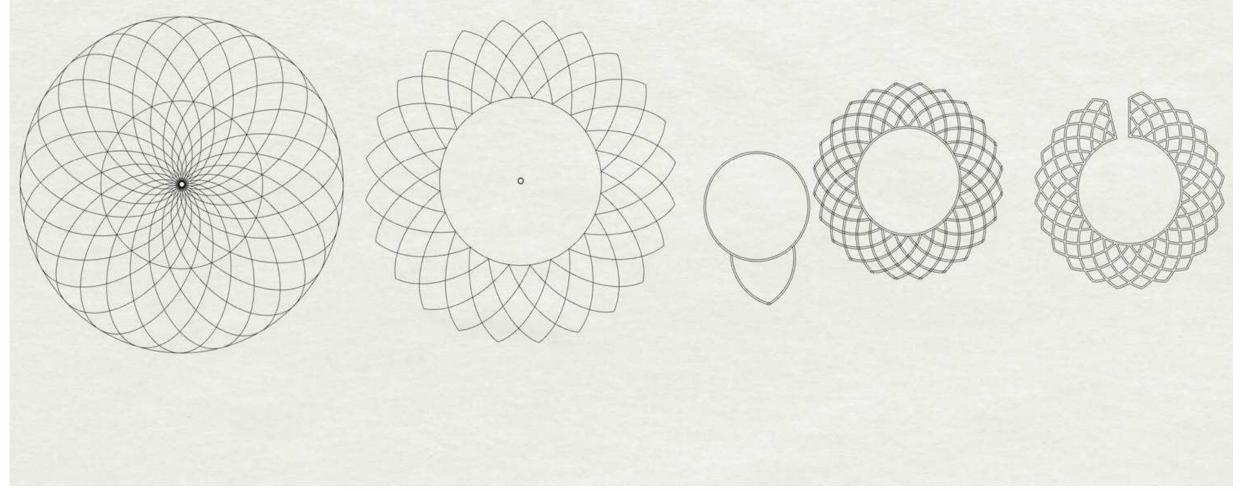




identity

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They weren't going to obscure their sex, or pretend it was beside the point. It was part of the point." – quoted from the New York Times

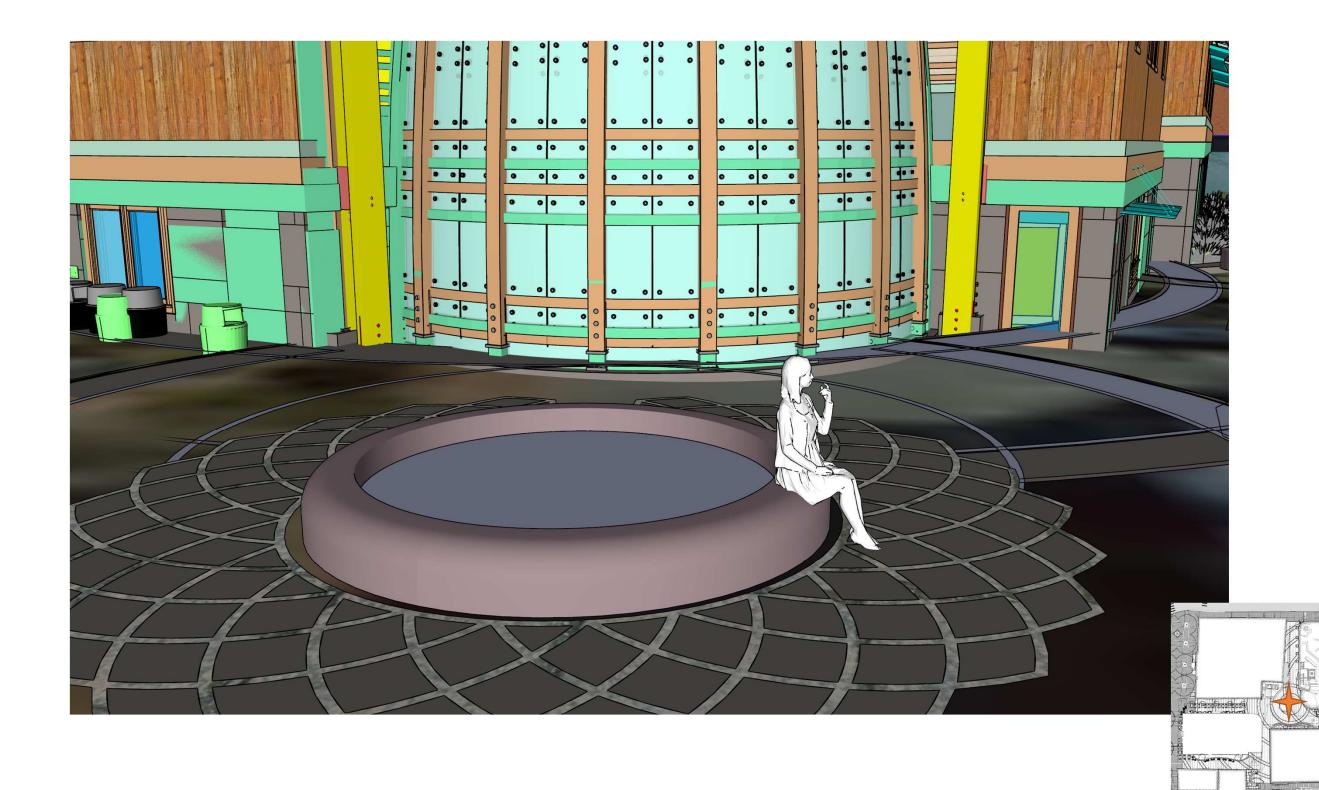




















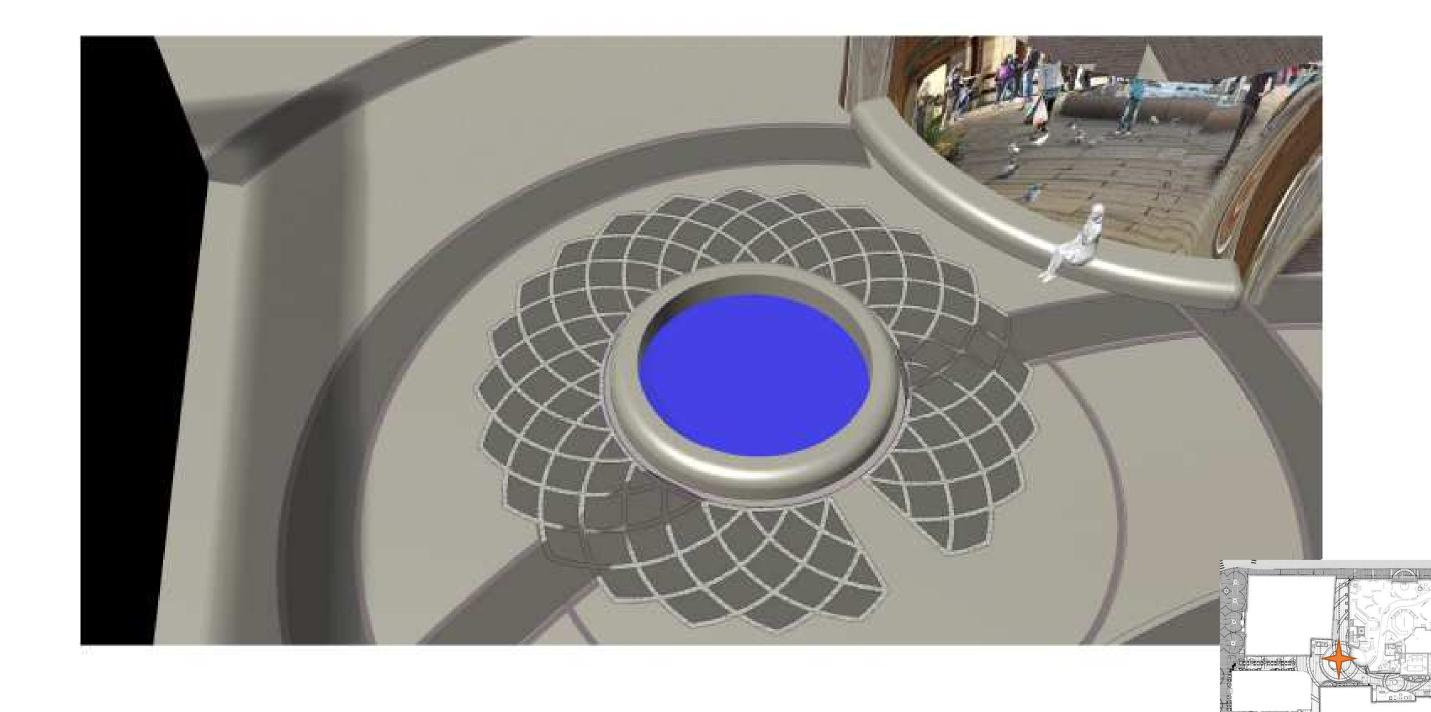










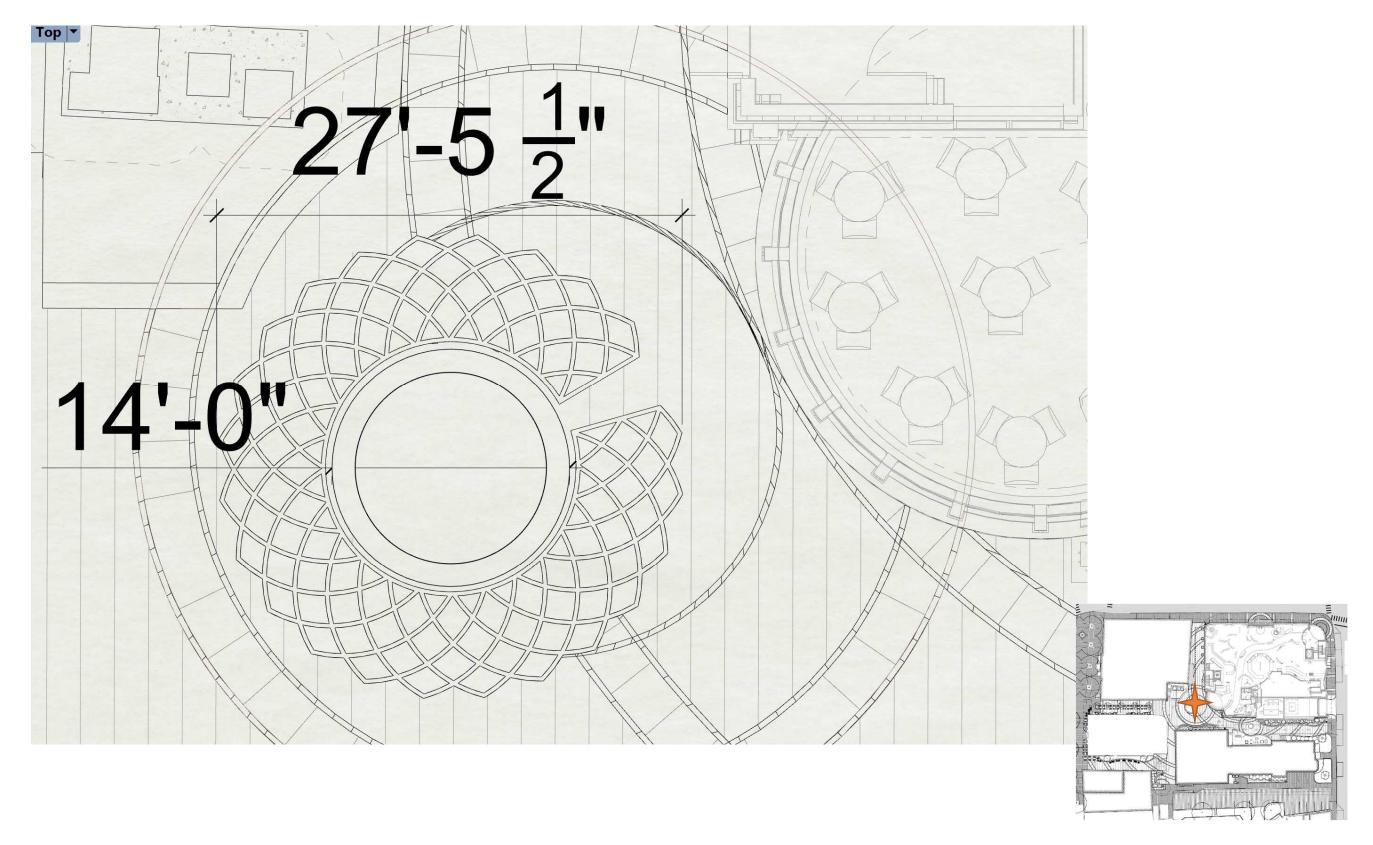










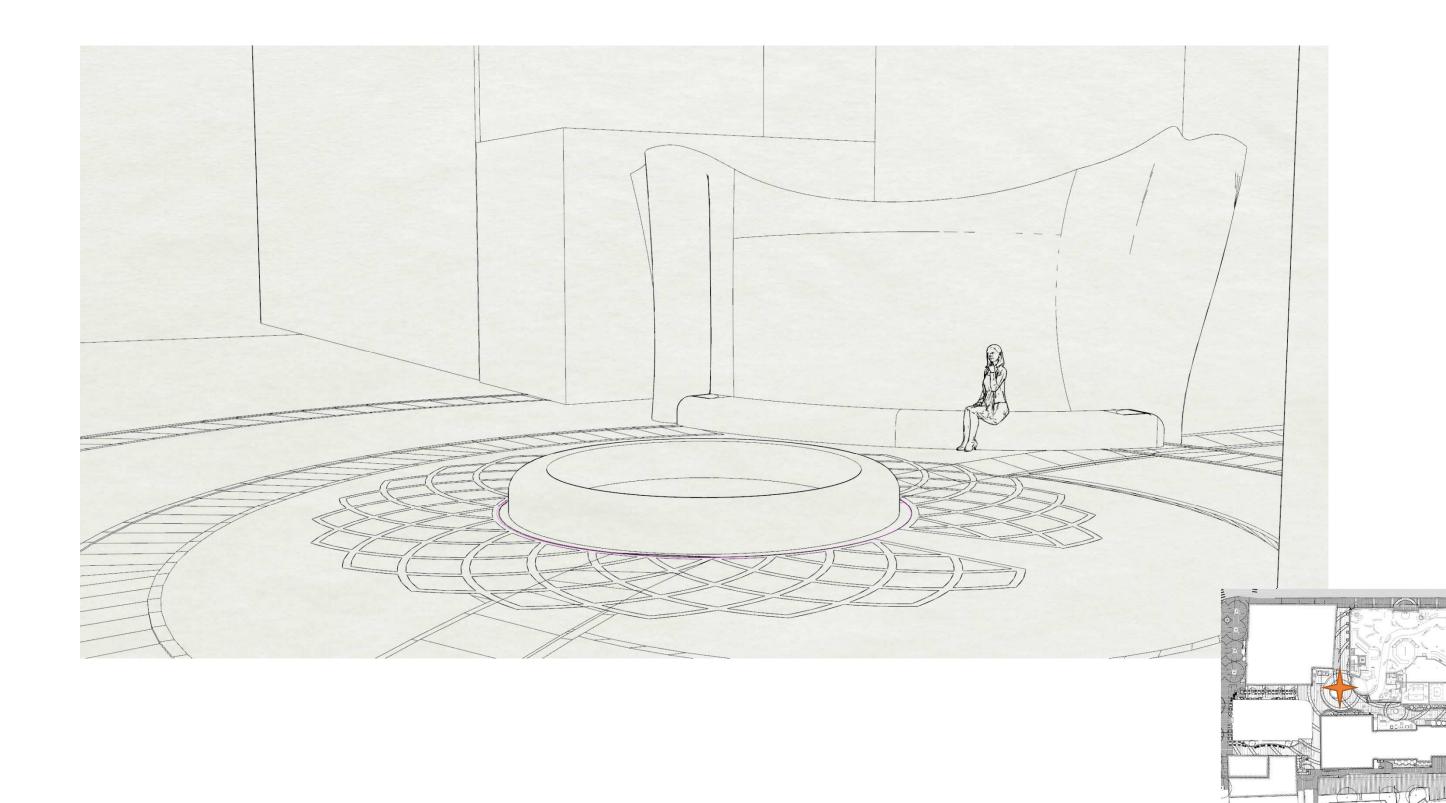




















Vivian Beer - Project: *Impact*

Site specific commission

Materials: Formed and fabricated stainless steel and light grey Woodbury granite

Project concept: A stainless fabrication that flows like a ribbon, flag or scroll across the edge of the courtyard. Again this follows the theme of fabrics and also reflects the RGB fountain and surrounding community space. It departs from the macho history of steel sculpture in its flowing form, but also echoes the geometry of the overall space. I like to imagine it as an invitation, a backdrop, and an affirmation of the space. The polished stainless will reflect the fountain, collar pattern and community within it. There will be a stone bench in light grey Woodbury granite with the same edge treatment as the fountain surround for the public to sit, speak, perform or reflect.

For this project and woven, I imagine there could be adjustments to the suspended lighting system to provide programmable spots to use in performance and public events.

About Vivian:

Vivian Beer is a furniture designer/maker based in New England, where her studio, Vivian Beer Studio Works, is celebrating its thirteenth year. Her sleek, abstracted metal and concrete furniture combines the aesthetic sensibilities of contemporary design, craft, and sculpture to create furniture that alter expectations of and interface with the domestic and public landscapes.

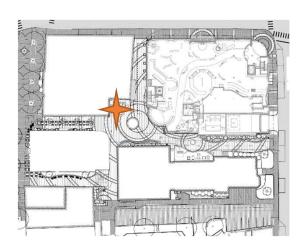
Links:

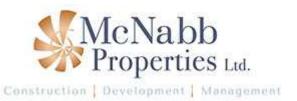
Studio visit with Jet industrial

features

https://thetakemagazine.com/vivian-beer/ https://artnewengland.com/ed columns/studio-visit-vivian-

beer/ https://www.craftcouncil.org/magazine/article/curves-ahead





































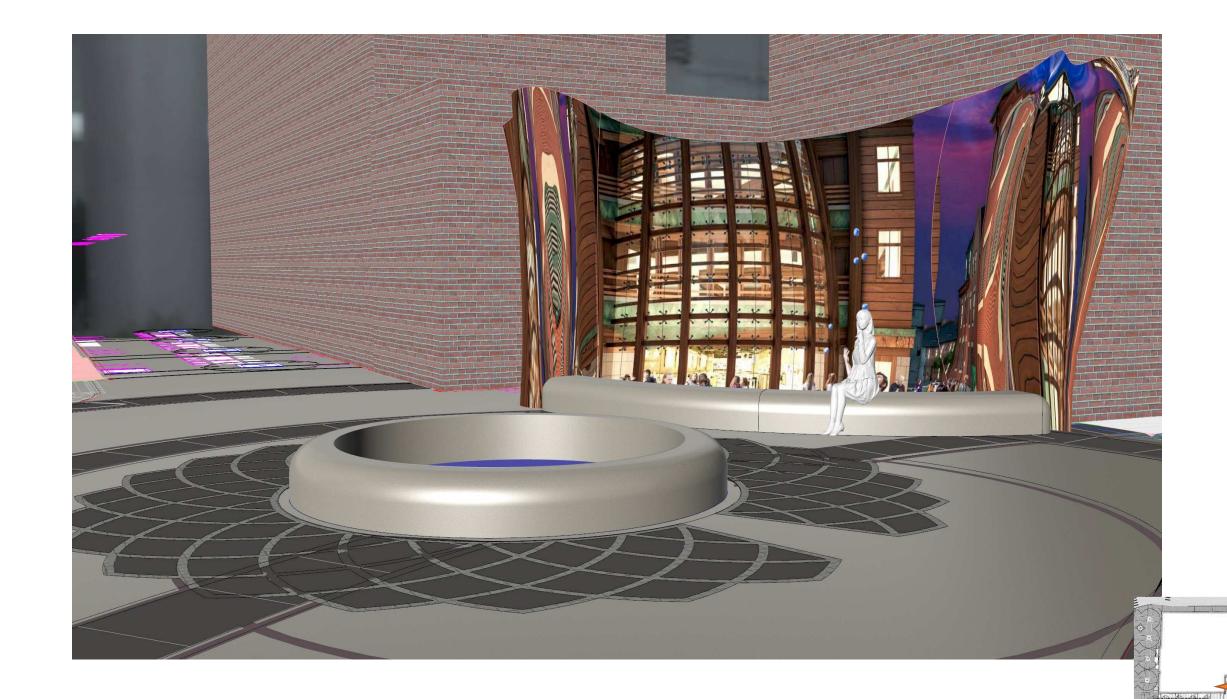










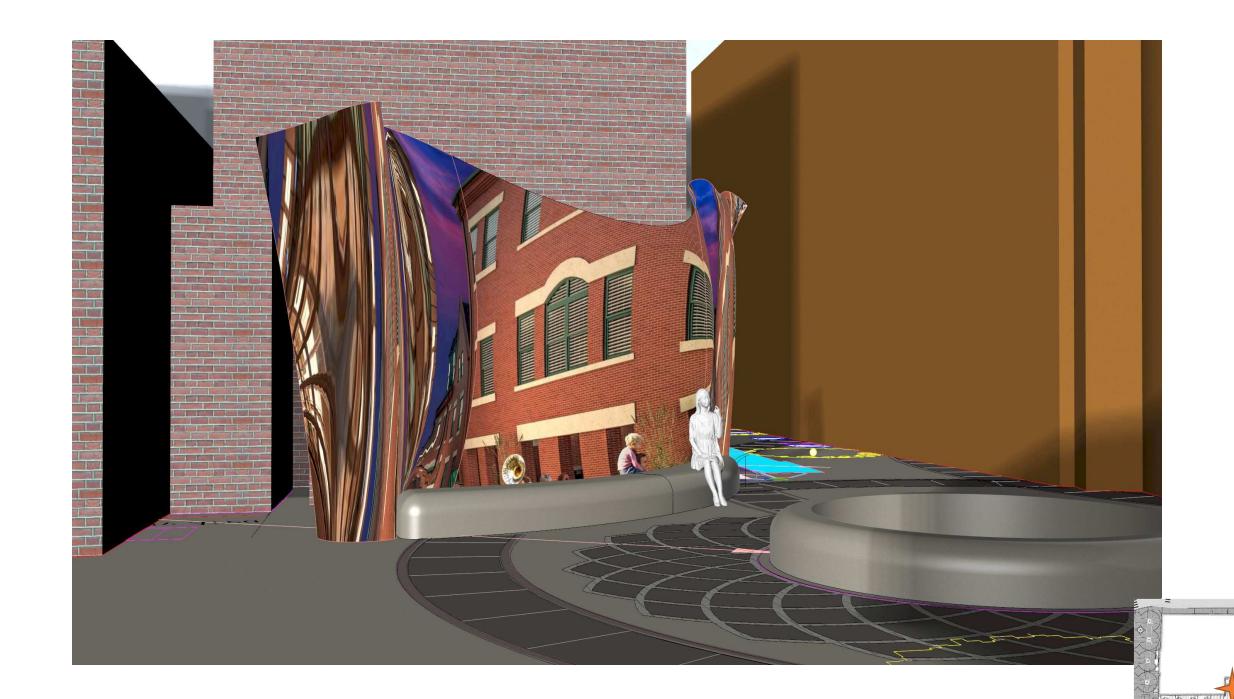










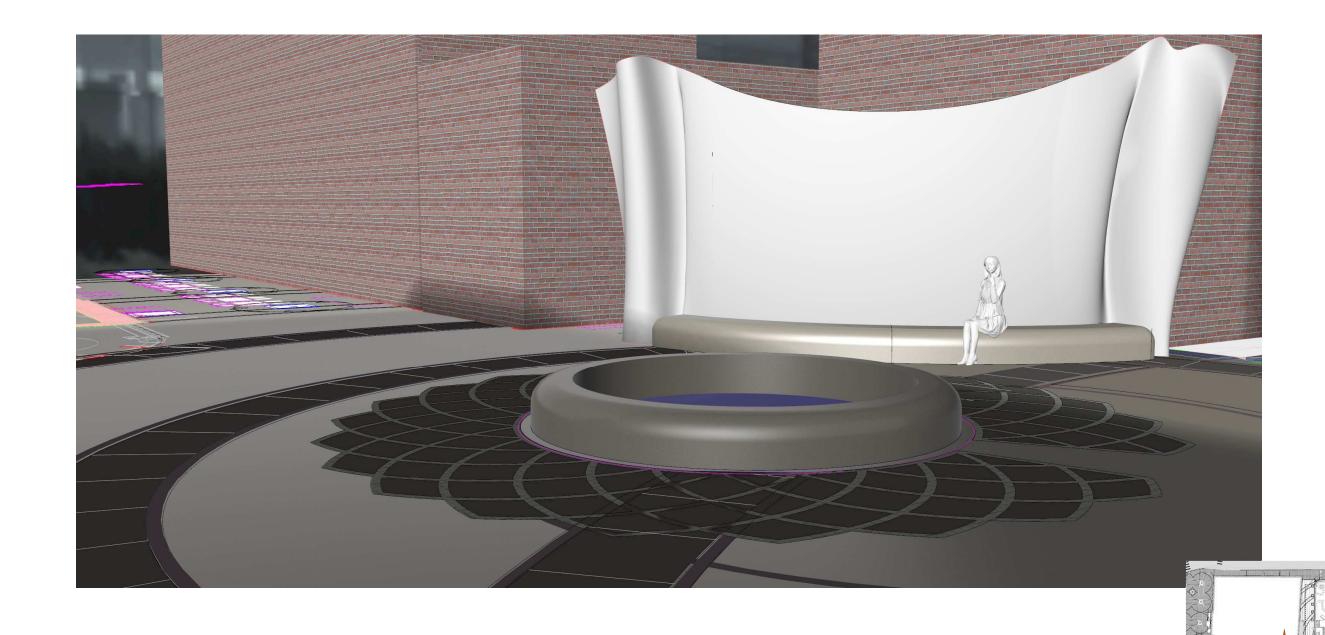










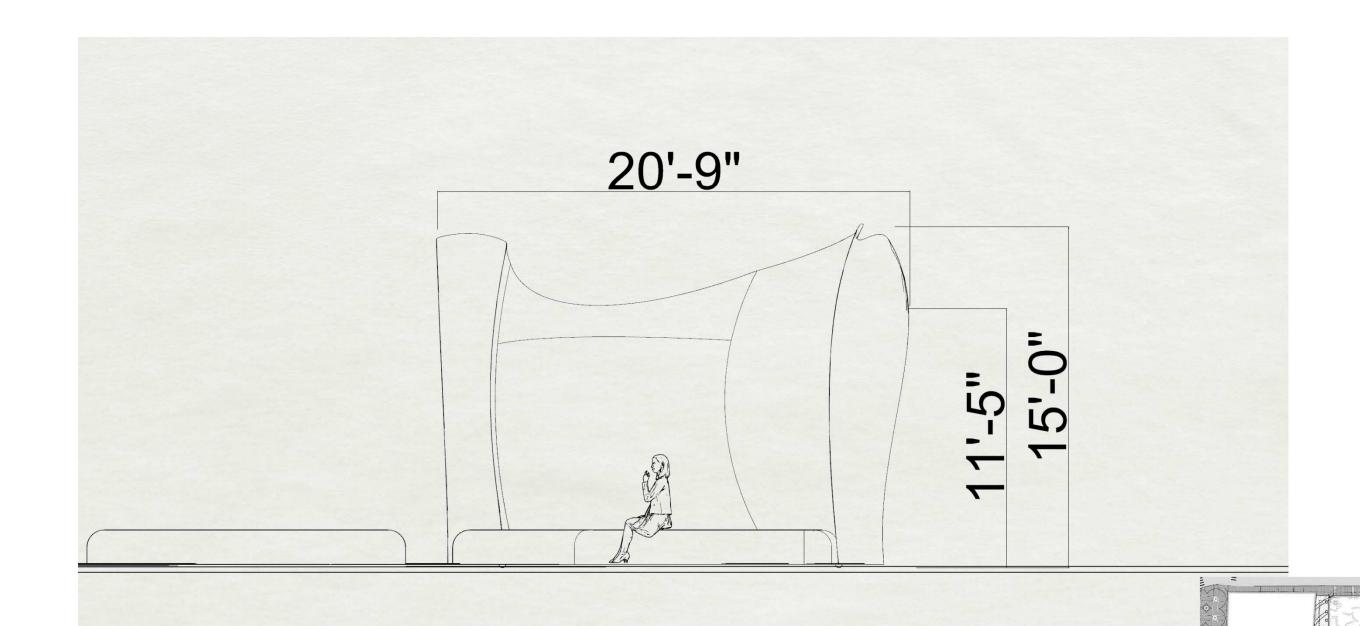










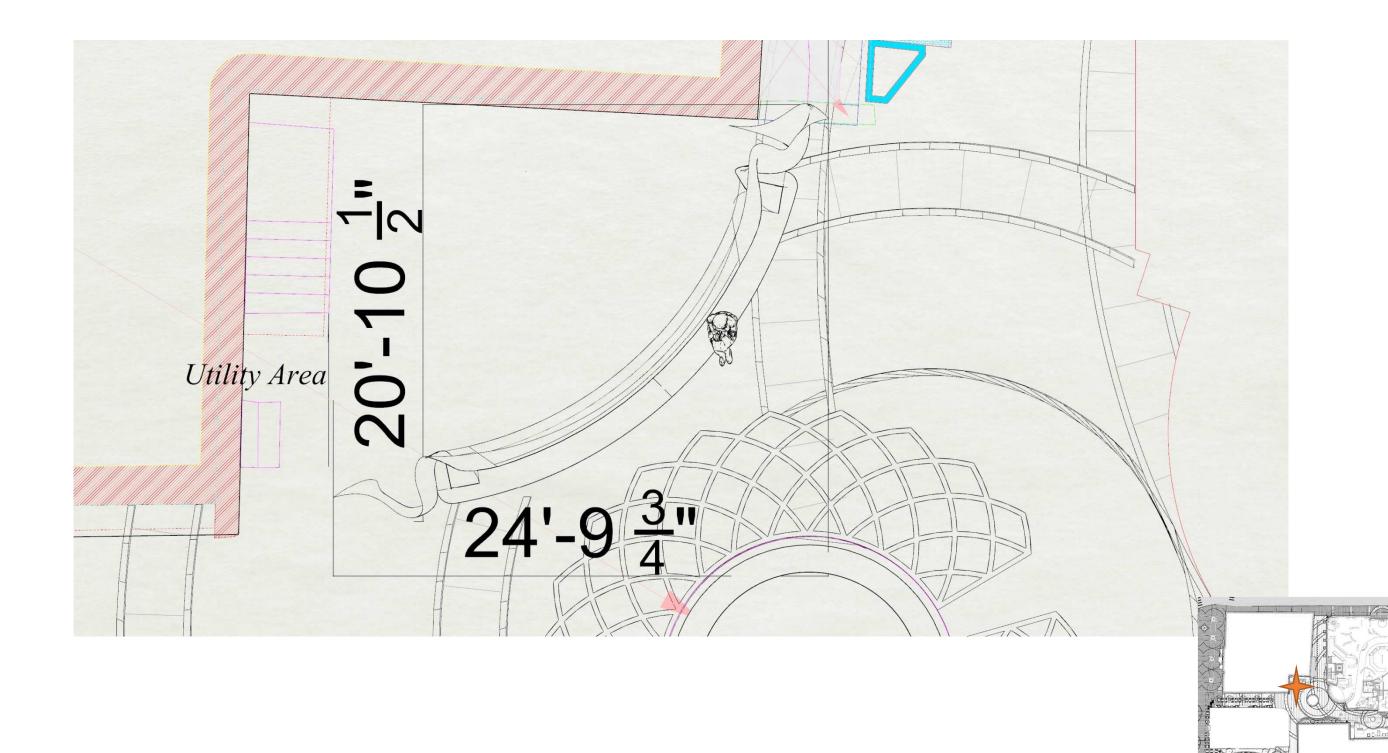


















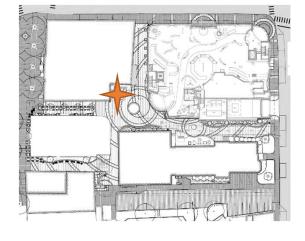


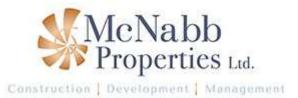
Materials: polished stainless steel and light grey Woodbury granite















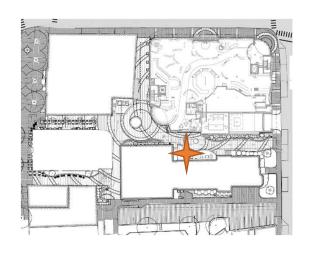


Vivian Beer - Project: Woven

Site specific commission

Materials: Formed and fabricated bronze

Project concept: A metal woven structure inspired by crochet work, exploded in scale and designed to encourage interaction. I have already shown the design to Amanda Whitworth, current NH Artist Laureate and frequent collaborative partner https://leadwitharts.com/, and she has committed to choreographing a dance performance within the sculpture if created. I have designed it to reflect the ideals of your project; creative place making, flowing openness and interaction. I envisioned the interaction as an enhancement of the round performance bench paced within the space, but inverting the "wall" into an interactive space those performances could be actuated within. It is also designed to reflect the repeated circular designs within the stonework, flowing geometry. There is also irony in my choice to reference "soft arts" or "women's work" in large scale metal fabrication. Which for me and my studio is also women work! It is also a durable material that can withstand the outdoor setting of the courtyard.

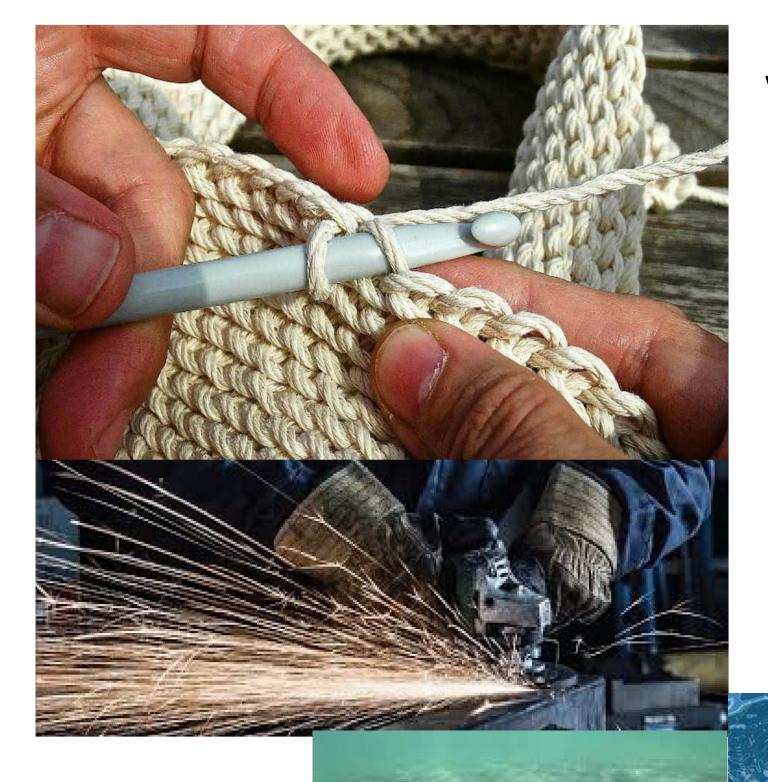






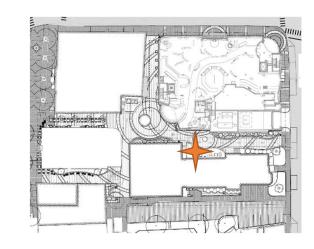






woven



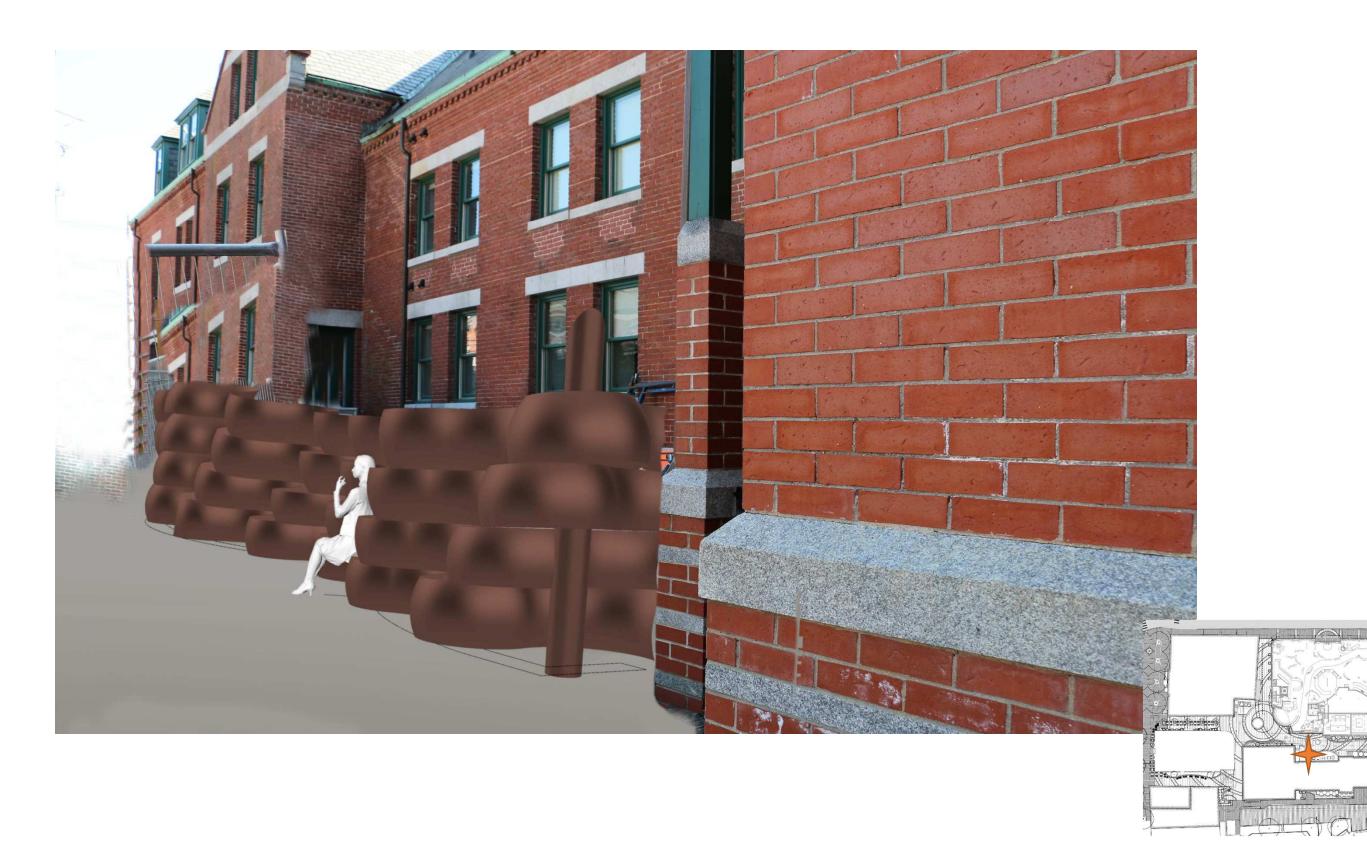










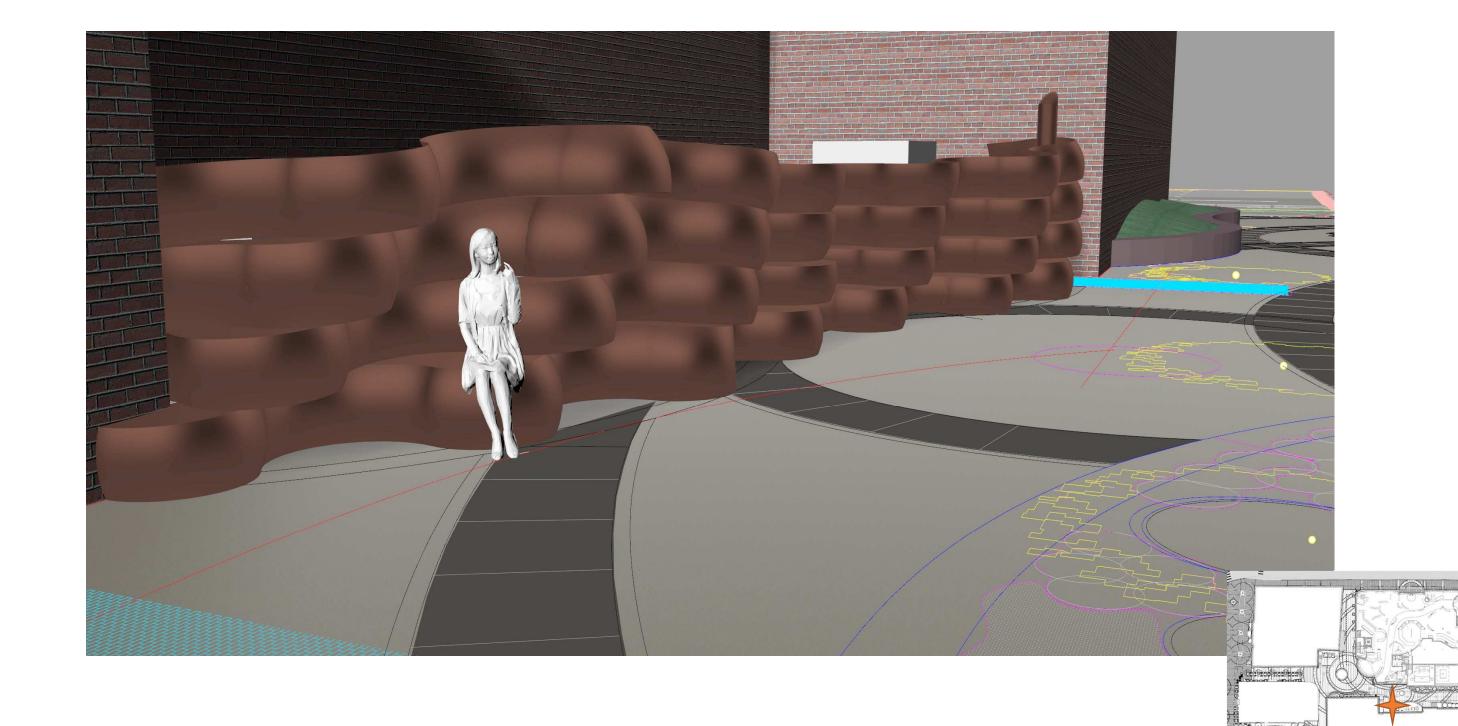










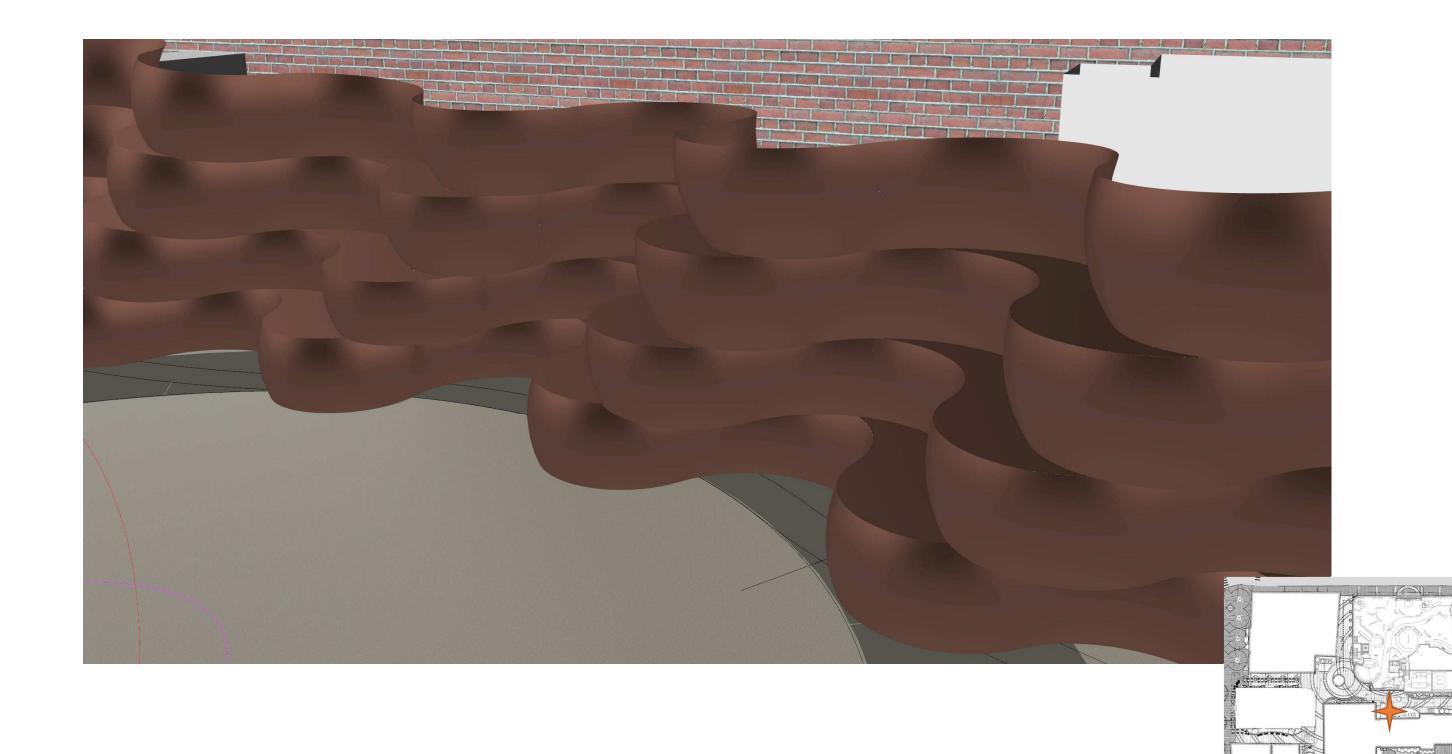










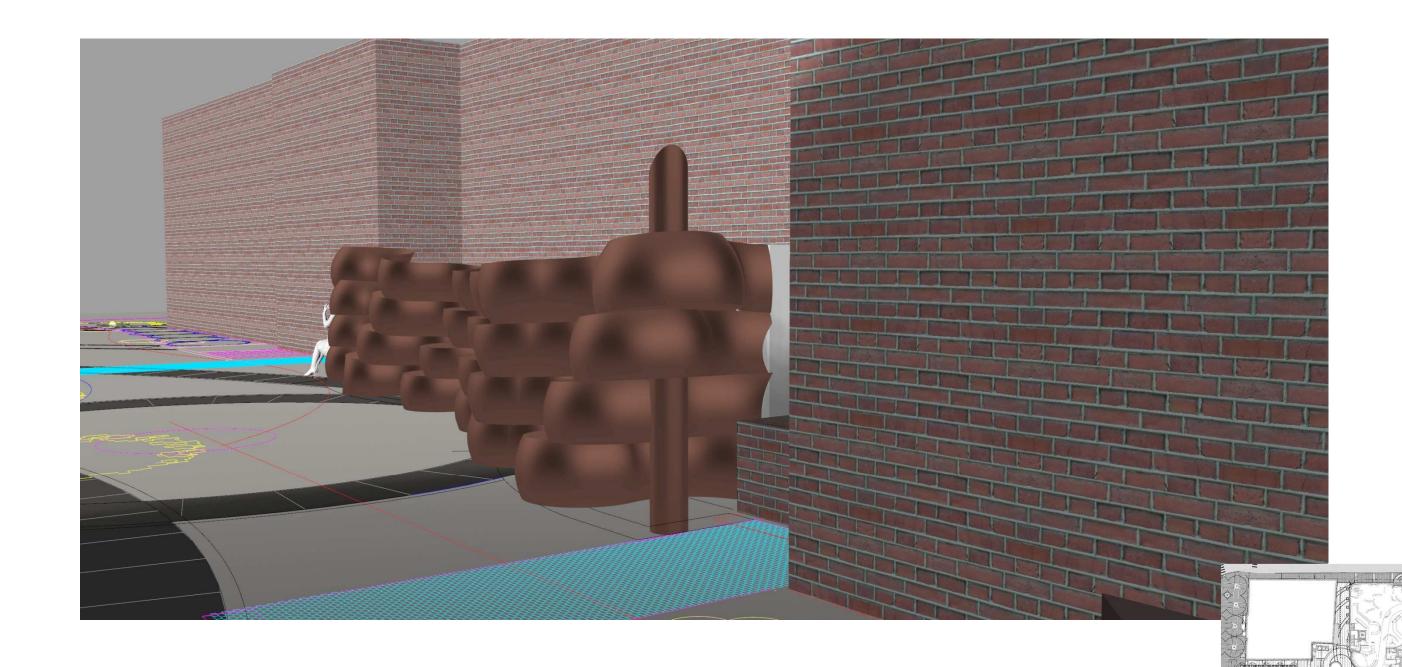










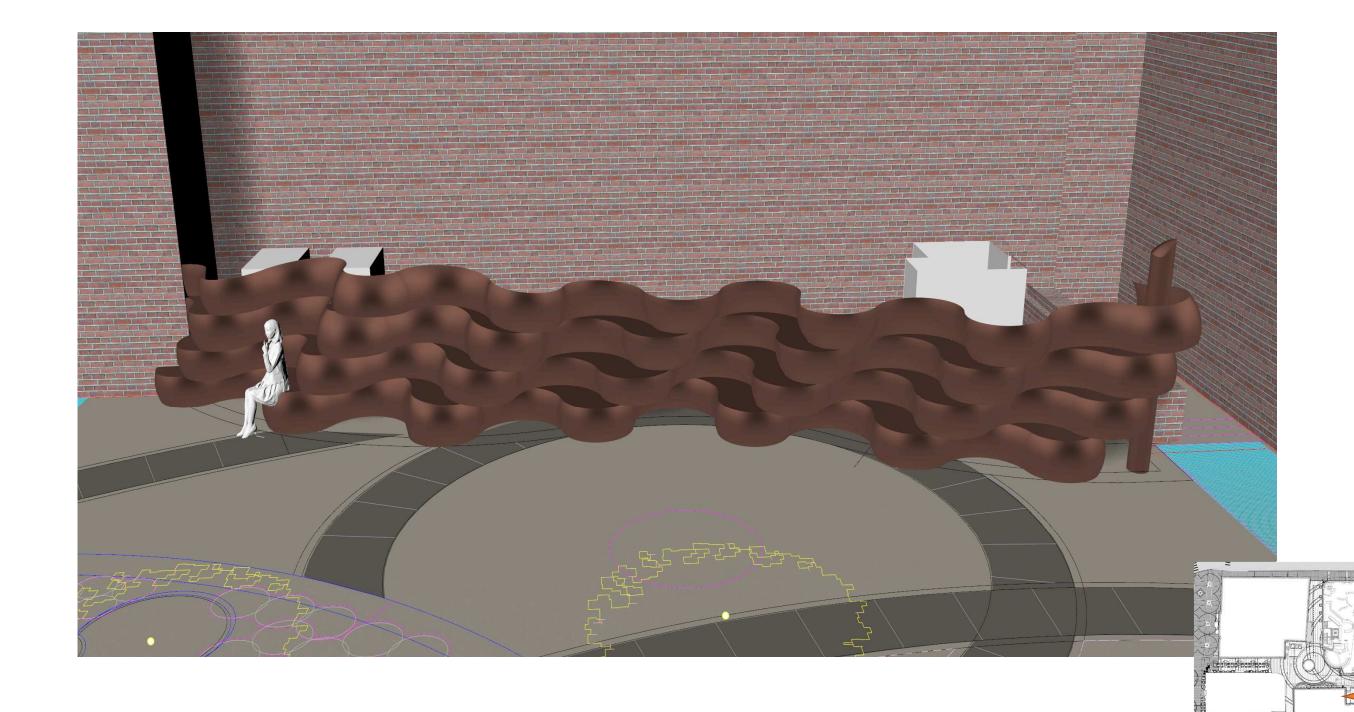










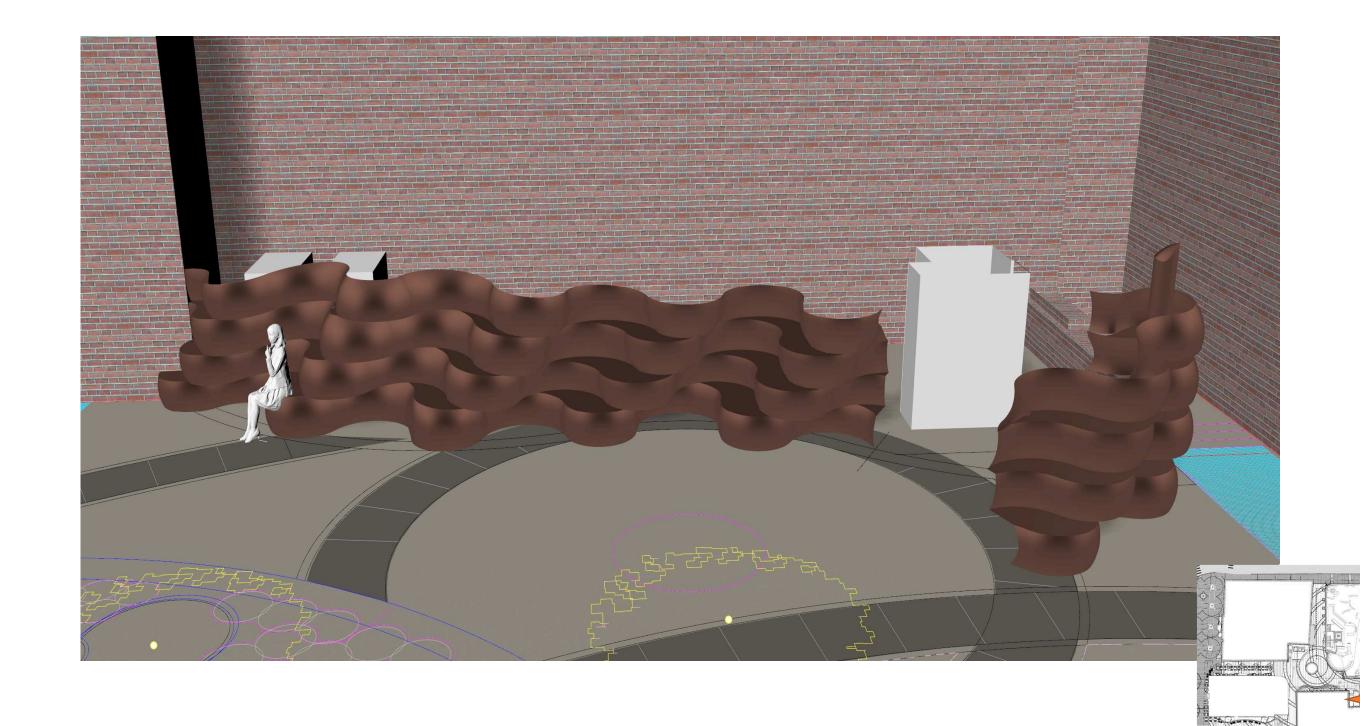










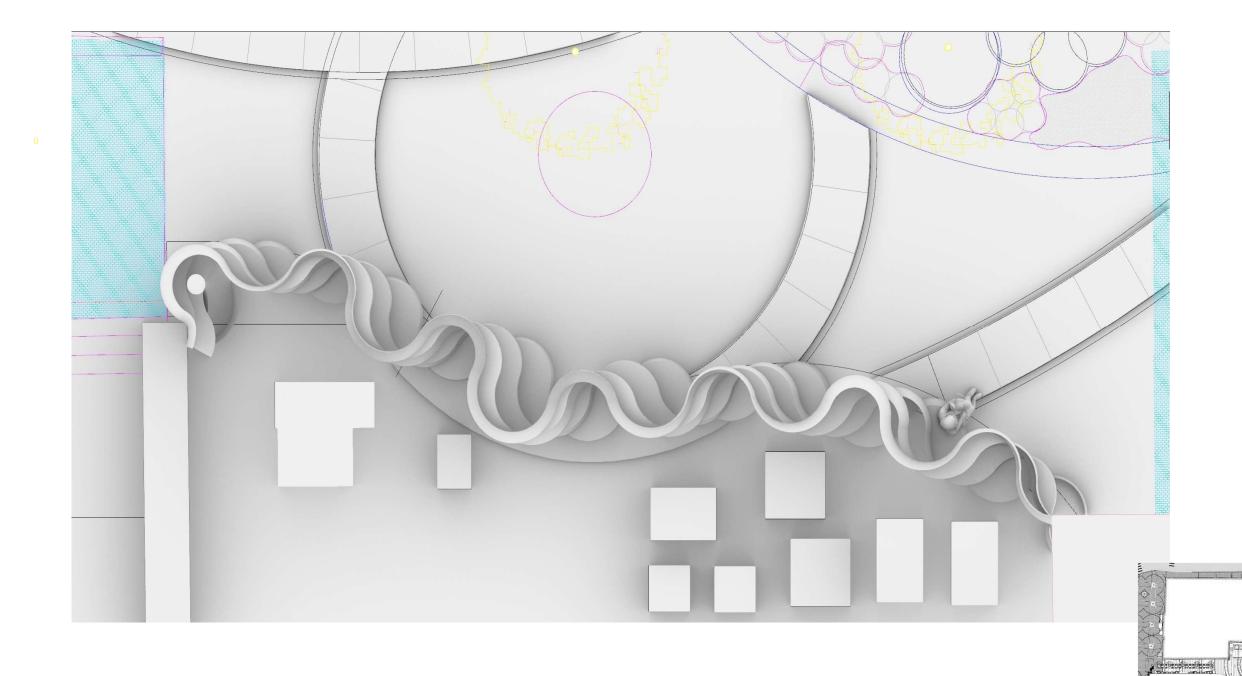










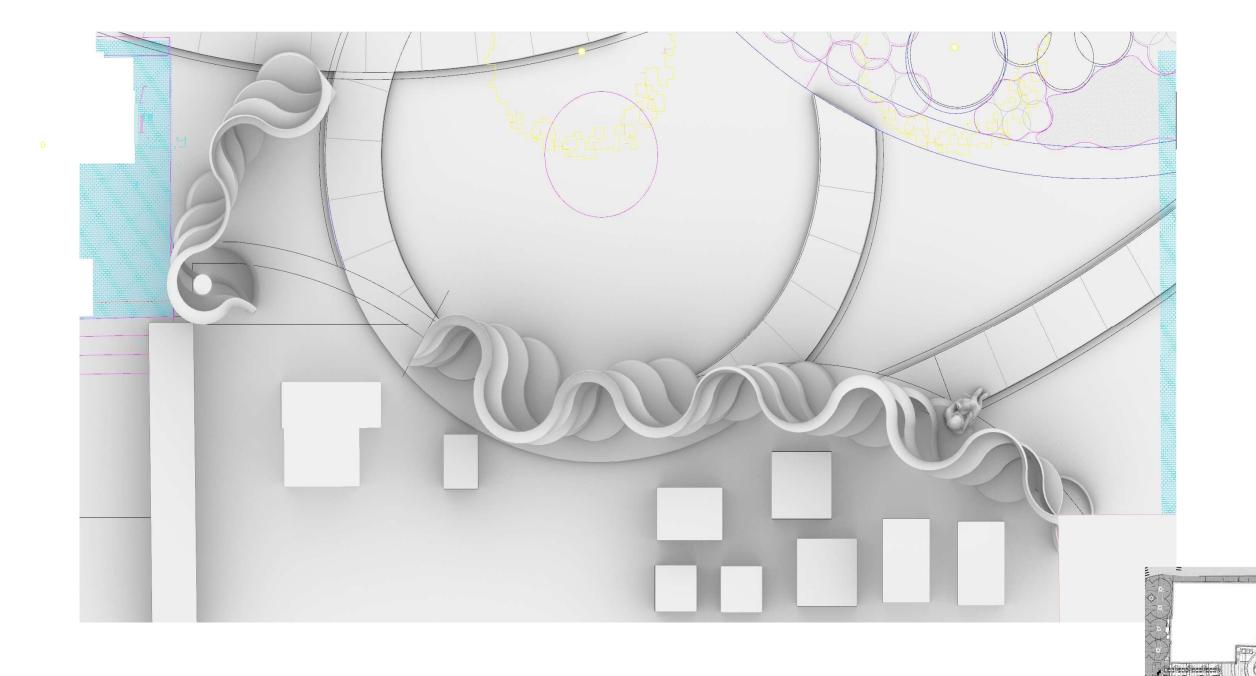










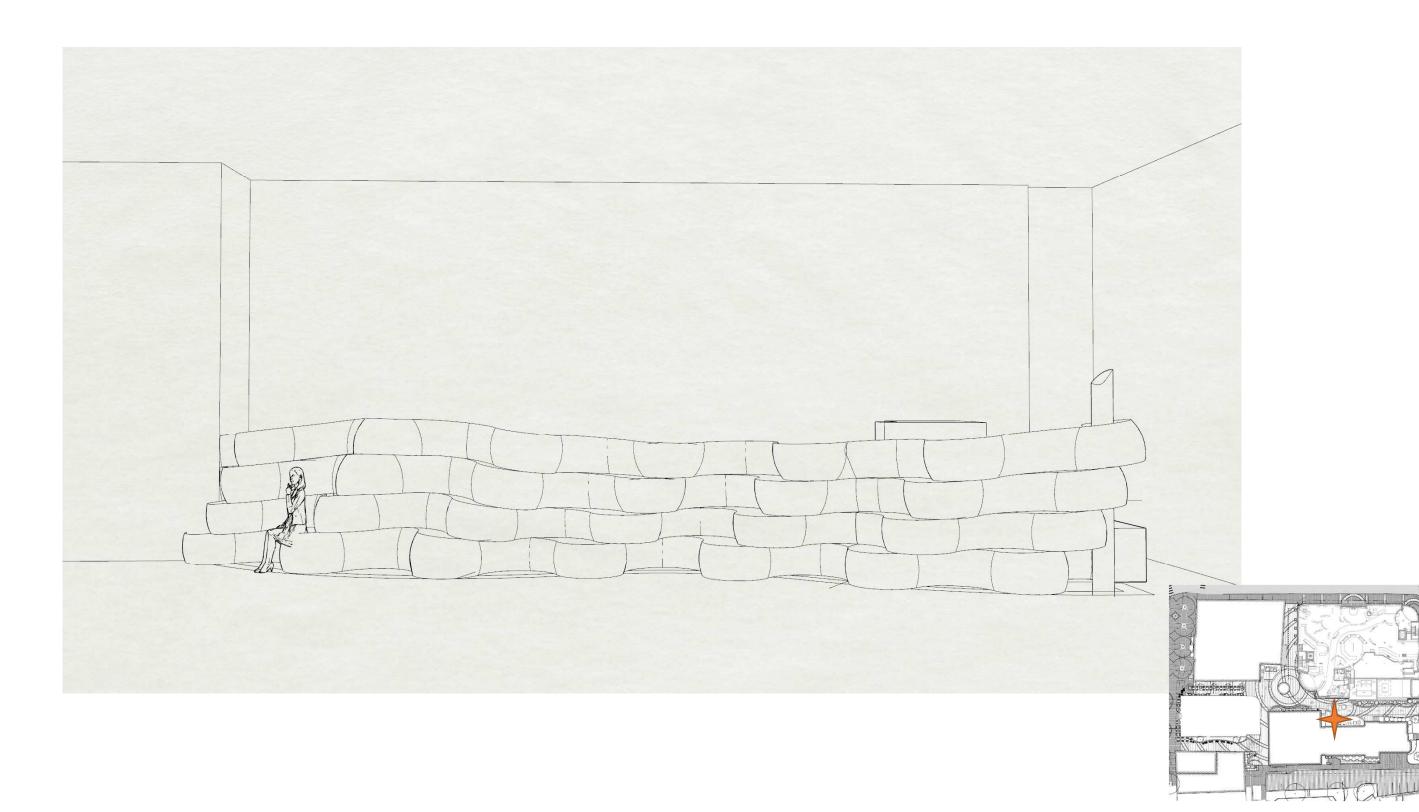










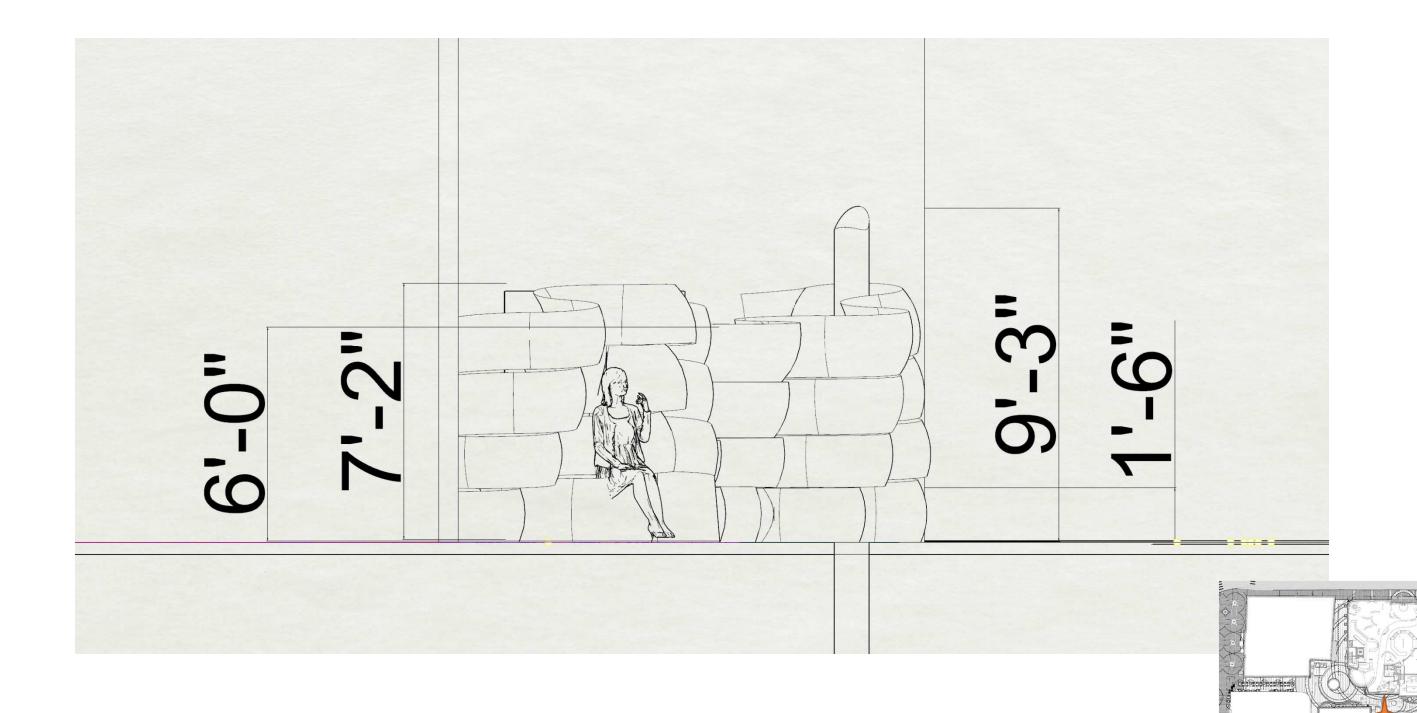










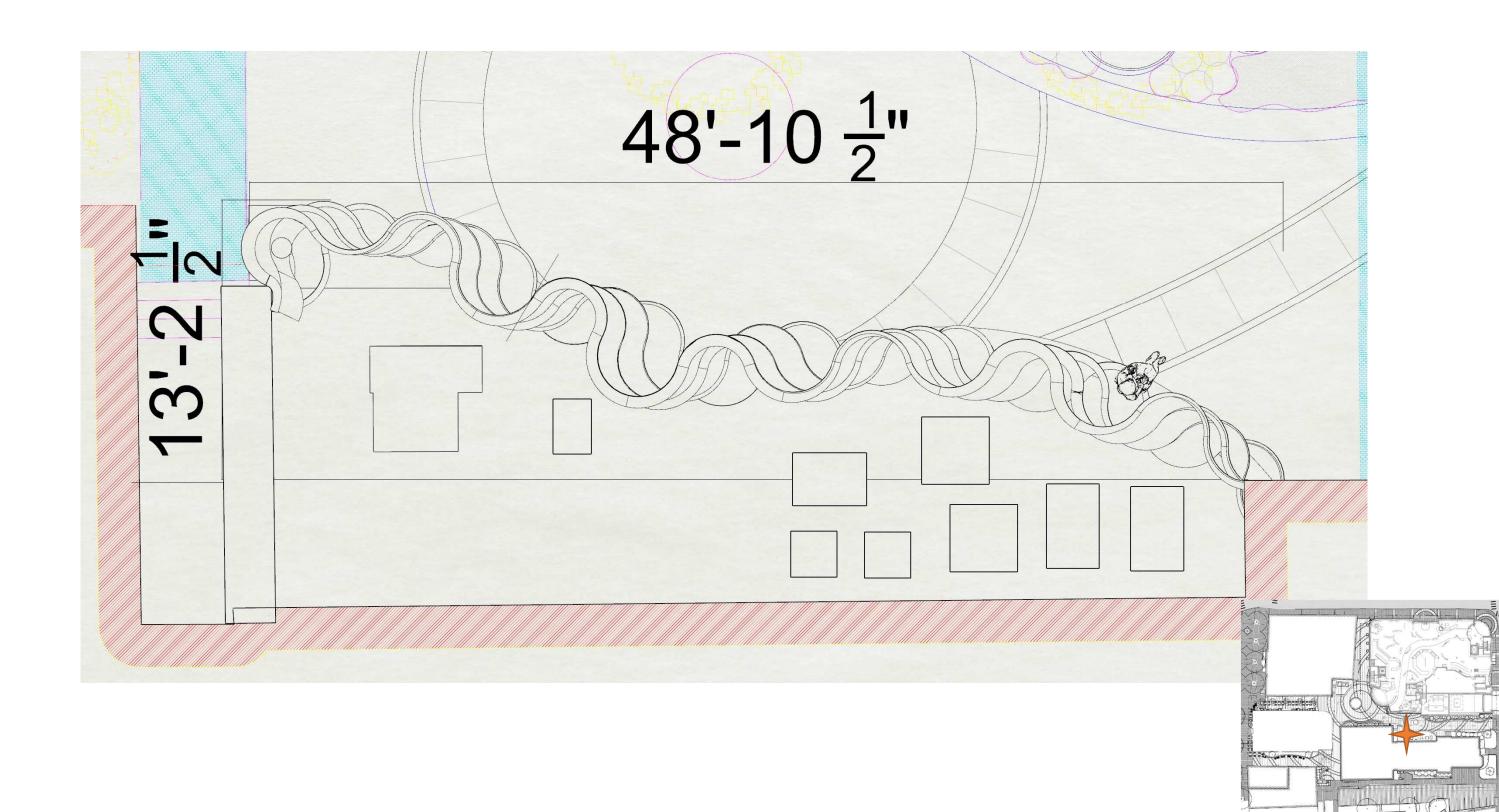




















Material: Formed and fabricated bronze















Amanda Whitworth - Recommendation: first year programing

Materials: Local arts community

Project concept: Hire as a consultant/curator Amanda Whitworth and her group Lead with Arts https://leadwitharts.com to build programing for your first year open to the public. This will show possibility of the space for the arts community and jumpstart the place-making goals of the project.

Next Steps: Identify timeline for project completion and performance. Approach Amanda to see if they are willing to take it on and what sort of consulting budget would be required.

Links:

https://leadwitharts.com/

NHPR: New N.H. Artist Laureate, Amanda Whitworth, Is First to Represent Dance

https://www.nhpr.org/post/new-nh-artist-laureate-amanda-whitworth-first-represent-

dance#stream/0

Variations on Colorfields by Floor van de Velde (www.floorvandevelde.com) McIninch Gallery at Southern New Hampshire University in partnership with New Hampshire Dance Collaborative (www.nhdancecollaborative.com) https://www.youtube.com/watch?v=TfwXBzmRMcs&feature=emb_title

Artist in residence at shaker village

https://vimeo.com/channels/1147628/17905

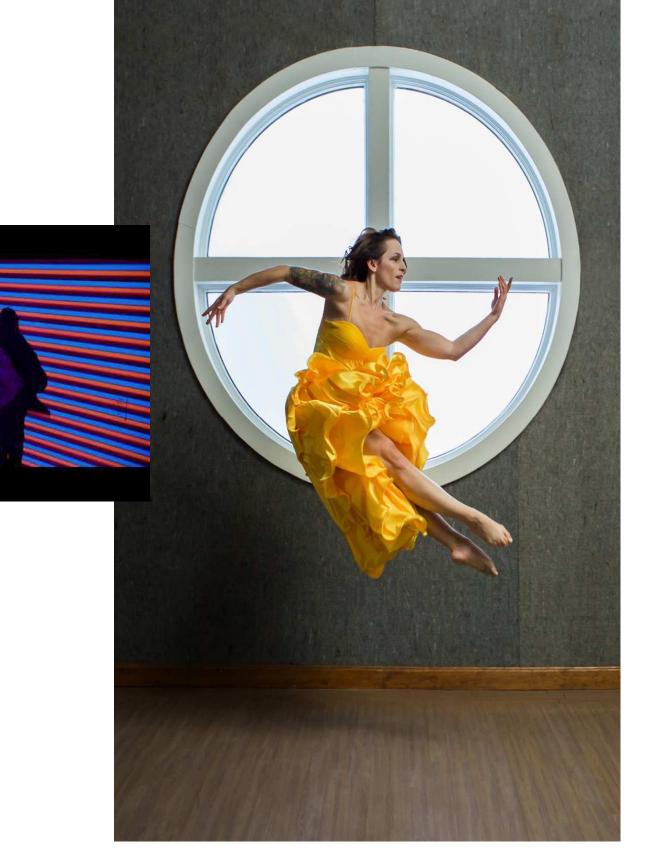
7029























Wayfinding and Alley General considerations

Thematic Touch Points

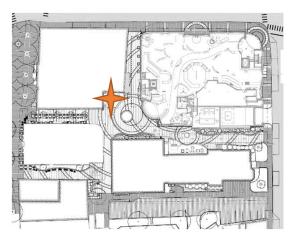
- Women's history and empowerment
- Maritime history and culture
- Water, nature, curves

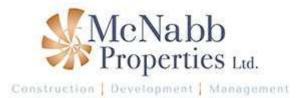
In Concert With Vivian's Work

- Metal sheets
- Organic forms
- Abstraction and representation
- Reflection and color

Mission Orientation

- Clear, sustained sense of identity
- Creates flow of activity (plaza and alley ebb and flow)
- International reach, local roots
- Accessible and easy to engage with
- Active year-round
- Buzz Makes people come back, talk about it











Wayfinding, Alley Art Index

- 1. Light Houses
- 2. Projections
- 3. Artifacts
- 4. Portsmouth Women Stained-Glass "Windows"
- 5. Meditation in Blue
- 6. Mirror Ivy
- 7. Water Lilly Wall

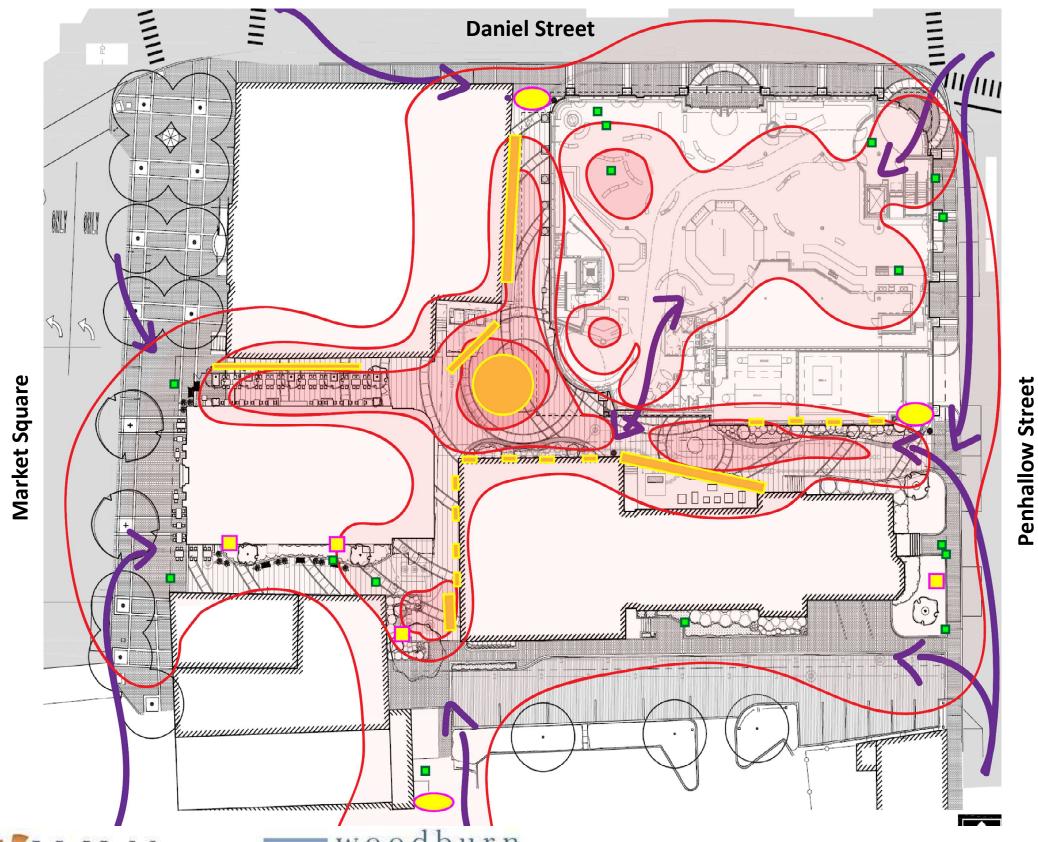








Artworks Layout



Key

Artefacts

Light Houses

Projections

Alley+Courtyard Artworks

Topography of Active Space

Flow of Movement





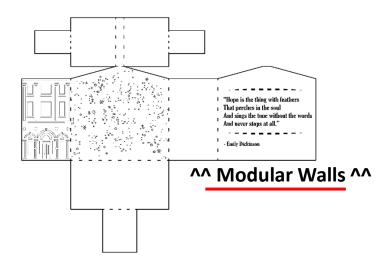




1. Light Houses









H 24" x W 9.5" x Machine-cut D 21.5" Aluminum

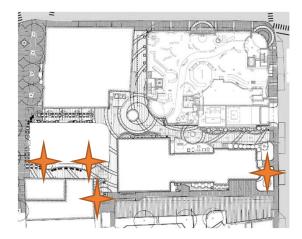














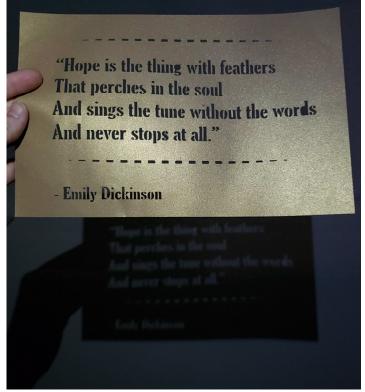


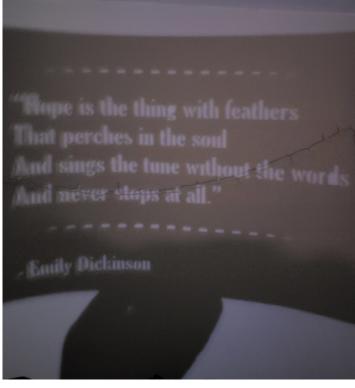


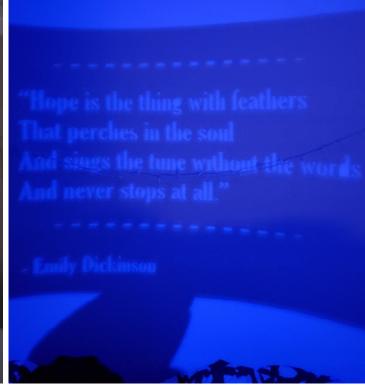


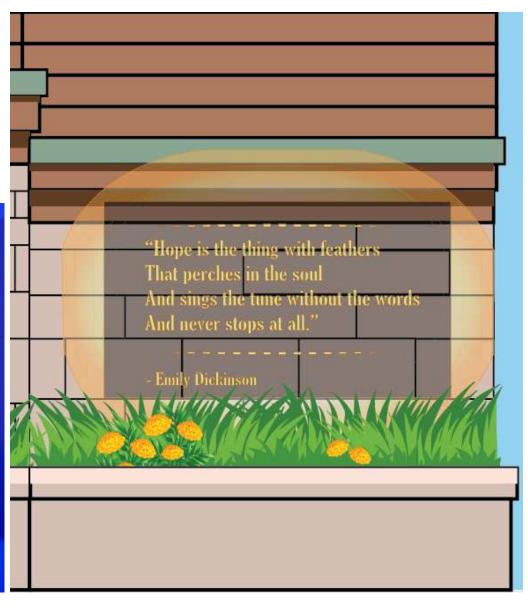
2. Projections

(against walls, floors)









Dimensions:

Shadow Box: H 6" x W 8" x D 4" Projection: H' 4x L 6'x D O'

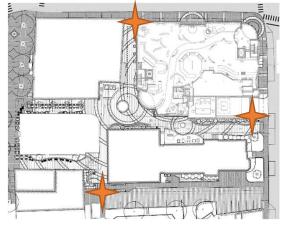
Materials:

Machine-cut aluminum

Key



Projections



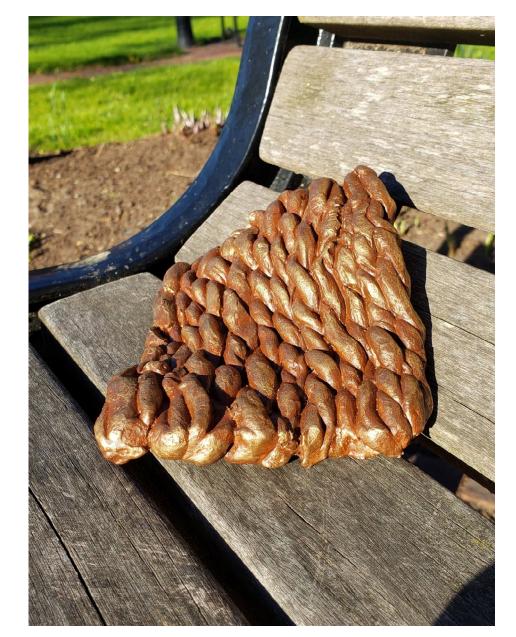




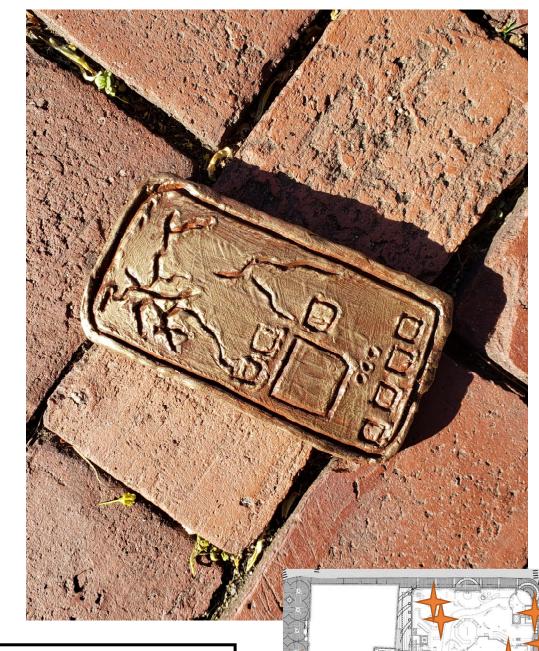




3. Artifacts







Dimensions:

Variable, roughly: H 1" x W 5" x D 4"

Materials:

Cast bronze





Artifacts









4. Portsmouth Women Stained-Glass "Windows"

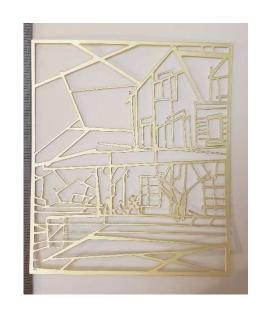


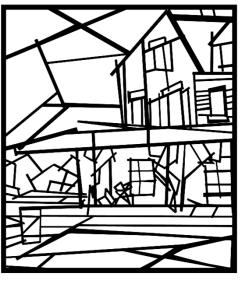




















Materials:
Machine-cut

Steel

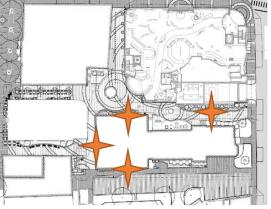
Dimensions:

Variable, roughly: H 5' x W 4' x D .125"

Materials:

Machine-cut Steel





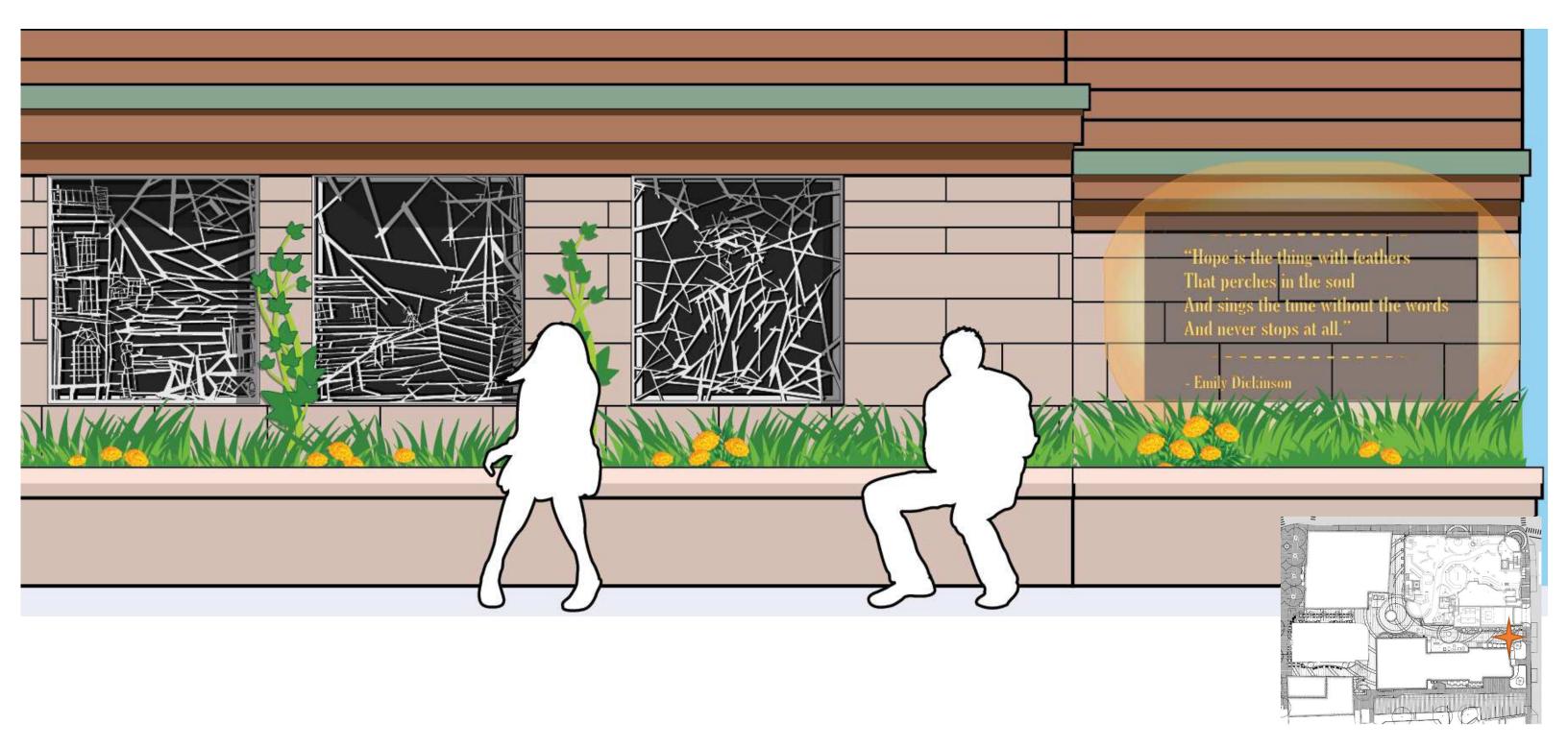








Penhallow Alley Illustration



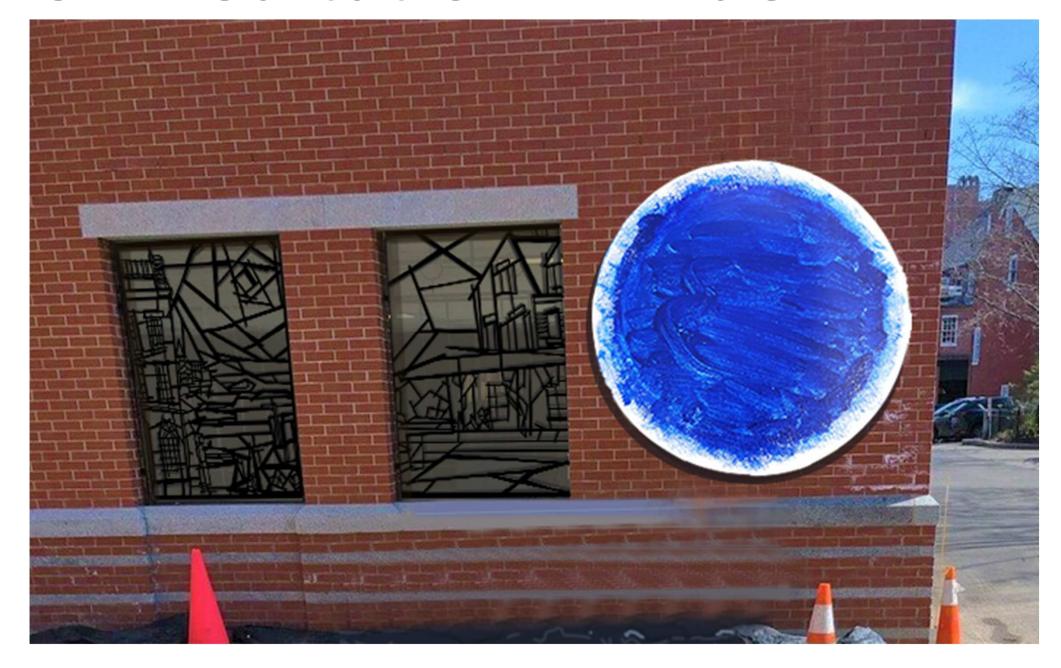


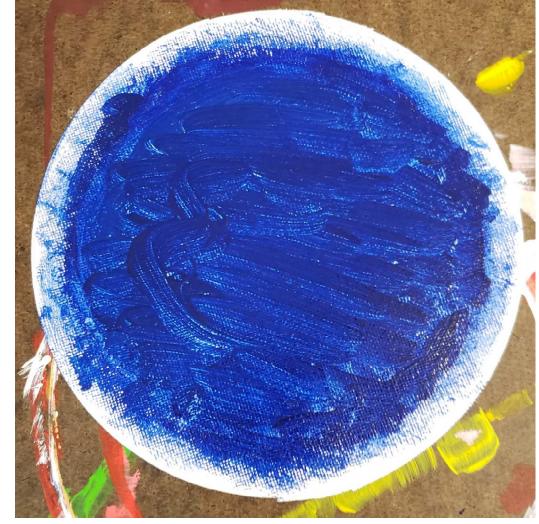




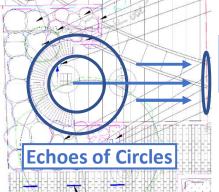


5. Meditation in Blue





Approximate Real World Location



Location of Meditation of Blue

Dimensions:

H 5' x W 5' x D .125"

Materials: Painted aluminum-acrylic composite paneling





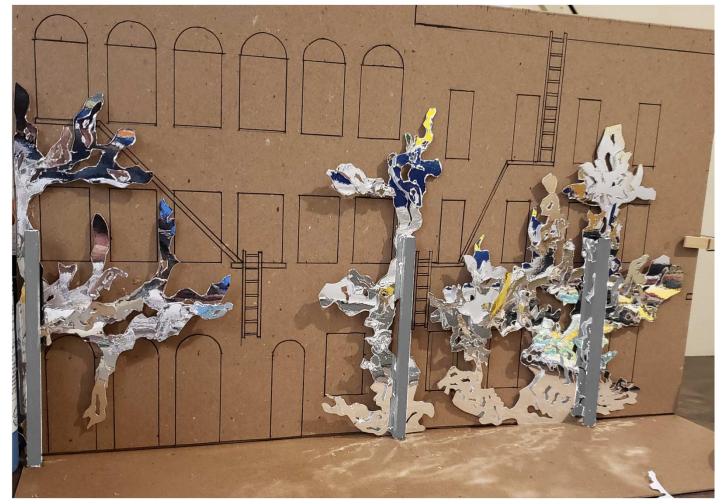






Key

6. Mirror Ivy





Materials:

Machine-cut **Polished Steel** and Aluminum

Dimensions:

H 20' x W 75' x D 2"

Key

Alley+Courtyard Artworks







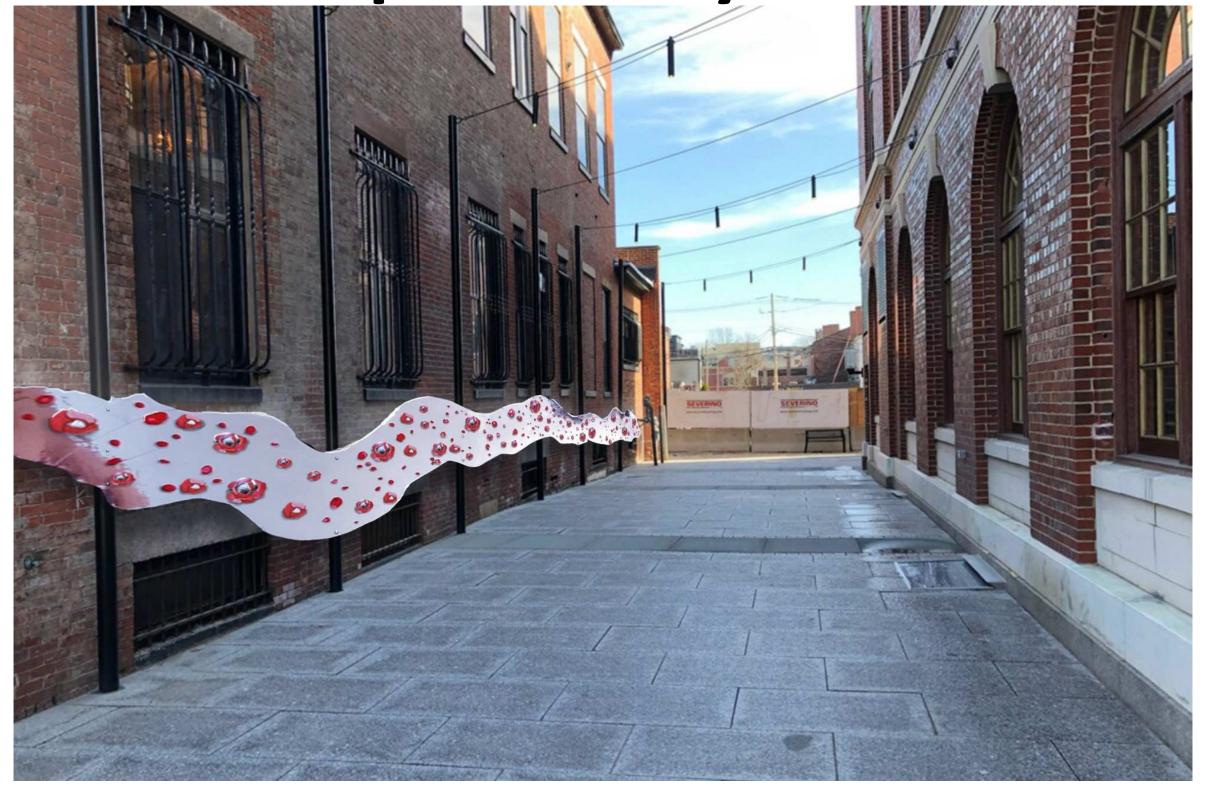








Market Square Alley



Materials:

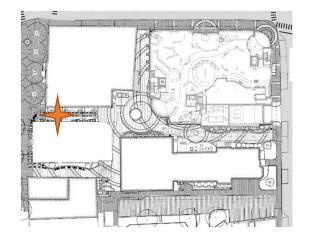
Machine-cut Polished and Colored Steel and Aluminum

Dimensions:

H 4'xW 80'x D 1.25"

Key





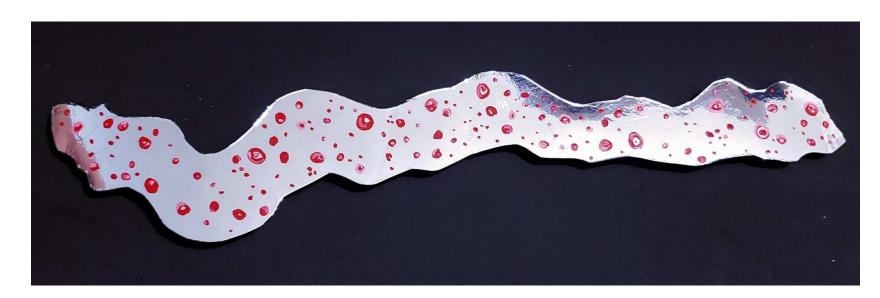






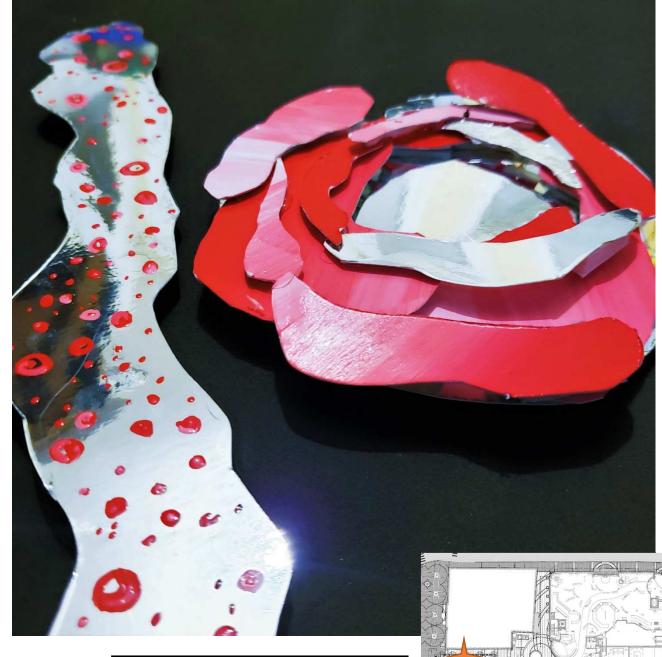


7. Water Lilly Wall









Dimensions:

H '4×W 80' x D 1.25" Materials: Machine-cut Polished and Colored Steel and Aluminum



Key Alley+Courtyard Artworks









Wayfinding, Alley Art Index

- 1. Light Houses: Tucked into the landscaping, these surprise sculptures offer a small, stylized metal version of notable landmarks with walls covered in art and poetry that light up at night to offer passersby' a warm glow of light-up art. The walls would be designed to be easily replaced so they could incorporate regular additions of local artwork and poetry.
- **2. Projections:** Activated at dusk, these projections would create a powerful and delightful surprise at entryways to the courtyard showcasing poetry and art with the option to change them for events, holidays, and the passing of seasons.
- **3. Artifacts:** Scattered across the space, primarily at the edges, these objects that represent Portsmouth's everyday from today and years past offer a surprise to those who discover them and nudge visitors to explore the full space.
- **4. Portsmouth Women Stained-Glass "Windows":** A dynamic visual documentation and celebration of trailblazing women throughout Portsmouth's history. Created along grates at eye-level, they form a row of "windows" that share these powerful stories.
- 5. Mediation in Blue: A circular deep blue mural that offers a quiet and calm space of contemplation and relaxation. The circular shape reflects the semi-circular nook that it sits opposite of, and riffs off the curves of Vivian Beer's works in the courtyard.
- 6. Mirror Ivy: A wonder-inspiring multi-layered wall of reflective metal ivy connecting the organic with the inorganic that draws people into and through the alley while encouraging people to play and interact with it. The back of each layer will be colored, and, when reflecting against the layer beneath it, will make the ivy glow.
- 7. Water Lilly Wall: A gentle, flowing reflective river (or bush) bespeckled in brightly colored multi-layer flowers that pull people through the alley and offer a touch of joy and serenity to those sitting at the restaurant in the alley.











55 Hanover Street, Units 6A-6D Public Hearing LU-21-146

7/26/2021 OpenGov



07/26/2021

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Land Use Application

Status: Active	Date Created: Jul 15, 2021
Applicant	Location
Tom Healy tomhealy@insurcomm.com 290 Heritage Ave Portsmouth, NH 03801 6037705402	55 HANOVER ST Unit 6A Unit 6A Portsmouth, NH 03801 Owner:
	RAIKIC REALTY OF HANOVER LLC & C/O JOHN & CYNTHIA KACOYANIS 3323 SE 22ND PLACE CAPE CORAL, FL 33904
Applicant Information	
Please indicate your relationship to this project	
B. Property Owner's Representative	
Alternative Project Address	
Alternative Project Address	
Project Type	
Addition or Renovation: any project (commercial or residential) tl already has structure(s) on it \Box	nat includes an ADDITION to an existing structure or a NEW structure on a property that
New Construction: any project (commercial or residential) that in structures on the property (even if you are planning to remove th $\hfill\Box$	evolves adding a NEW structure on a parcel that is currently VACANT. If there are any existing em), you should select Addition and Renovation above
Minor Renovation: for projects in the Historic District only that in construction of a new structure ☑	volve a minor exterior renovation or alteration that does not include a building addition or
Home Occupation: residential home occupation established in an are not allowed in the following Zoning Districts: Waterfront Busi \Box	existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations ness, Office Research, Industrial, or Waterfront Industrial
New Use/Change in Use: for a change of land use or an expansior modifications	n to an existing use (e.g. addition of dwelling units) that includes no exterior work or site
Temporary Structure / Use: only for temporary uses (e.g. tents, e \Box	xhibits, events)
Demolition Only: only applicable for demolition projects that do r \Box	not involve any other construction, renovation, or site work
Subdivision or Lot Line Revision: for projects which involved a sul \square	bdivision of land or an adjustment to an existing lot line
Other Site Alteration requiring Site Plan Review Approval and/or	Wetland Conditional Use Permit Approval

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



SOLD BY: SOLD TO:

Ricci Supply Company, Inc. Portsmouth 105 Bartlett St Portsmouth, NH 03801-7608 Fax: 603-427-2893 **QUOTE DATE** 7/9/2021

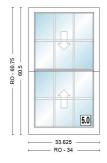
Abbreviated Quote Report - Customer Pricing

·		J		
QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Insurcomm	55 Hanover Street	1002505		
ORDER NOTES:				
DELIVERY NOTES:				

All Images Viewed from Exterior

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Insurcomm	55 Hanover Street	1002505		
ORDER NOTES:				
DELIVERY NOTES:				



RO Size = 34	" x 60 3/4"	Unit Siz	ze = 33 5/8" x 60 1/2"		
100	15	AA	None Assigned	\$856.71	\$12,850.65
<u>ltem</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	Unit Price	Ext. Price

TWI 2' 9 5/8"X5' 1/2", Unit, 8 Degrees - Moderate, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Simulated Divided Light (SDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Hand Lift, Traditional, White, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

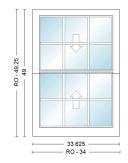
Sash Lift: TWI Hand Lift Traditional White PN:9159482

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 33.625 x 60.5 8 Degrees - Moderate Full Screen Aluminum White

Unit #	U-Factor	SHGC	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	0.3	0.28	A1	29.8270	25.0790	5.19470	

Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Insurcomm	55 Hanover Street	1002505		
ORDER NOTES:				
DELIVERY NOTES:				



RO Size :	= 34" x 49 1/4"	Unit Size =	33 5/8" x 49"		
200	7	AA	None Assigned	\$782.69	\$5,478.83
<u>ltem</u>	Qty	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	Ext. Price

TWI 2' 9 5/8"X4' 1", Unit, 8 Degrees - Moderate, 400 Series Double-Hung-Insert, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Simulated Divided Light (SDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Hand Lift, Traditional, White, Traditional, 1 Sash Locks White (Factory Applied), WhiteJamb Liner, White, Full Screen, Aluminum

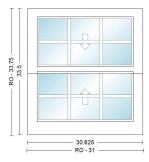
Sash Lift: TWI Hand Lift Traditional White PN:9159482

Insect Screen 1: 400 Series Double-Hung-Insert, TWI 33.625 x 49 8 Degrees - Moderate Full Screen Aluminum White

Unit #	U-Factor	SHGC	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
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Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Insurcomm	55 Hanover Street	1002505		
ORDER NOTES:				
DELIVERY NOTES:				



<u>ltem</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	Ext. Price
300	3	AA	None Assigned	\$791.85	\$2,375.55

RO Size = 31" x 33 3/4" Unit Size = 30 5/8" x 33 1/2"

WDHI 2' 6 5/8"X2' 9 1/2", Unit, 8 Degrees - Moderate, 400 Series Woodwright Double-Hung-WWI, Equal Sash, White Exterior Frame, White Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, AA, Dual Pane Low-E4 Standard Argon Fill Simulated Divided Light (SDL) 3 Wide, 2 High, Specified Equal Light Pattern, White, Pine w/White, 3/4" Grille Bar, Hand Lift, Traditional, White, Traditional, 1 Sash Locks White, White/WhiteJamb Liner, White, Full Screen, Aluminum

Sash Lift: WDHI Hand Lift Traditional White PN:9159482

Insect Screen 1: 400 Series Woodwright Double-Hung-WWI, WDHI 30.625 x 33.5 8 Degrees - Moderate Full Screen Aluminum White

Unit #	U-Factor	SHGC	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
Δ1	0.3	0.28	Δ1	0.00000	0.00000	0.00000	

SUB-TOTAL: FREIGHT:	\$20,705.03 \$0.00
LABOR:	\$0.00
TAX:	\$0.00
TOTAL:	\$20,705.03

CUSTOMER SIGNATURE DATE

All Images Viewed from Exterior

* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors









322 Islington Street Public Hearing LU-19-11

7/26/2021 OpenGov



07/26/2021

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Land	LISE	Δnn	lıca:	tıon

Downtown Overlay District

Status: Active	Date Created: Jan 29, 2019
Applicant STEPHEN BUCKLIN socoboxes@yahoo.com 322 ISLINGTON ST PORTSMOUTH, NH 03801 603-496-8274	Location 322 ISLINGTON ST Portsmouth, NH 03801 Owner: BUCKLIN STEPHEN G 322 ISLINGTON ST PORTSMOUTH, NH 03801
Applicant Information	
Alternative Project Address	
Project Type Addition or Renovation: any project (commercial or residential) that includes a already has structure(s) on it	n ADDITION to an existing structure or a NEW structure on a property that
New Construction: any project (commercial or residential) that involves adding structures on the property (even if you are planning to remove them), you shou $\hfill\Box$	
Minor Renovation: for projects in the Historic District only that involve a minor construction of a new structure $\hfill\Box$	exterior renovation or alteration that does not include a building addition or
Home Occupation: residential home occupation established in an existing residere not allowed in the following Zoning Districts: Waterfront Business, Office Roll $\hfill\Box$	
New Use/Change in Use: for a change of land use or an expansion to an existing modifications $\hfill\Box$	g use (e.g. addition of dwelling units) that includes no exterior work or site
Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events $\hfill\Box$	s)
Demolition Only: only applicable for demolition projects that do not involve any $\hfill\Box$	other construction, renovation, or site work
Subdivision or Lot Line Revision: for projects which involved a subdivision of la $\hfill\Box$	nd or an adjustment to an existing lot line
Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conc $\hfill\Box$	litional Use Permit Approval
Zoning Information	
Base Zoning District General Residence C (GRC)	Base Zoning District 2 Character District 4-L2 (CD 4-L2)
Historic District ✓	Flood Plain District

Osprey Landing Overlay District

	Date:	 	
1			

Request for a Work Session / Rubles Heaving Historic District Commission

Owner: STEPHEN G. BUCKLIN	Applicant:	SAME
		(If different)
ddress: <u>322 /SLINGTON ST</u> (Street)	Address:	
	_	
PORTSMOUTH NH 03 (City, State, Zlp)	80/	(City, State, Zip)
(City, State, Elp)		(City, State, Lip)
Signature: 603 496 8274	Phone:	
	-	
gnature:	Signature:	
Address: 322 ISHNGTON ST.		<u> </u>
Map: Lot:		
Brief Description of Work: <u>Remode</u> /,	existing Car	magé House in new
1 + 1 (0 11	- J	·
location with (1) Story a	ornection to	o existing nouse.
Name of Presenter for HDC Work Session: _	BRENDAN	MENAMARA
		L OESIGNER 3521
	//~*** / 7 9 //	7/7/

· · · · · · · · · · · · · · · · · · ·	Meeting (01)	Meeting (02)	Meeting (03)	Meeting (04)	Meeting (05)
Date					
Fee Paid					
Payment Typ	e				

Revised: 11 Apr 17

PROPOSED REMODEL, ADDITION AND CHANGES TO CARRIAGE HOUSE AT #322 ISLINGTON ST., PORTSMOUTH, NH.

NARRATIVE

The property is on the corner of Islington and Cabot Streets.

Driveway access is from Cabot St. Tax card information suggests the original structure was built in 1890. However the actual date of construction of the Mansard Carriage House at the rear is unclear. It may well have been constructed at the same time

The existing structure consists of a 2 ½ story "front" portion, with a rear (2) and single story, "utility" section. The Carriage House is at the rear of this with an accumulation of sheds at the rear of it.

The main house is divided into (2) Units, with (2) Bedrooms each. (1) Unit at First Floor and (1) Unit at Second floor. However, (1) of the bedrooms on the First Floor is actually the original front "Parlor". There is joint access through an Entry on the Cabot St. side.

The Carriage House, built on brick piers, is in a very poor state of repair and is collapsing in its center section. However, upon closer inspection, the damage is very localized and caused by floor structure rot and central mansard roof failure. The perimeter wall and roof framing is actually in quite good shape and of superior materials and craftsmanship.

It is proposed to restore the Carriage House and re-purpose its use, connecting it to the main house structure as a Master Bedroom "wing", in a new location. The intention is to move the existing structure temporarily (to the courtyard), pour a new foundation, and place the old structure on this. It is further proposed to change the

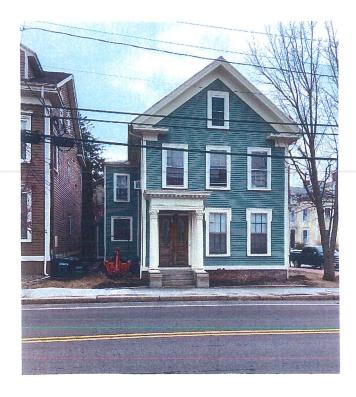
center mansard pitch to a 4:12 for long term durability. Single story connector structures would then be built.

The new location of the Carriage House is designed to move it further from the side/rear lot line, and to move it further away from Cabot St., to allow more appropriate parking.

New Green Mountain windows and doors would be used throughout. Due to the proximity to the lot lines and fire code requirements, fire resistant substrate and noncombustible trim and siding will need to be used to the East and North sides.

2





VIEW FROM ISLINGTON STREET

VIEWS FROM
CABOT STREET
(LOOKING NORTHISH)



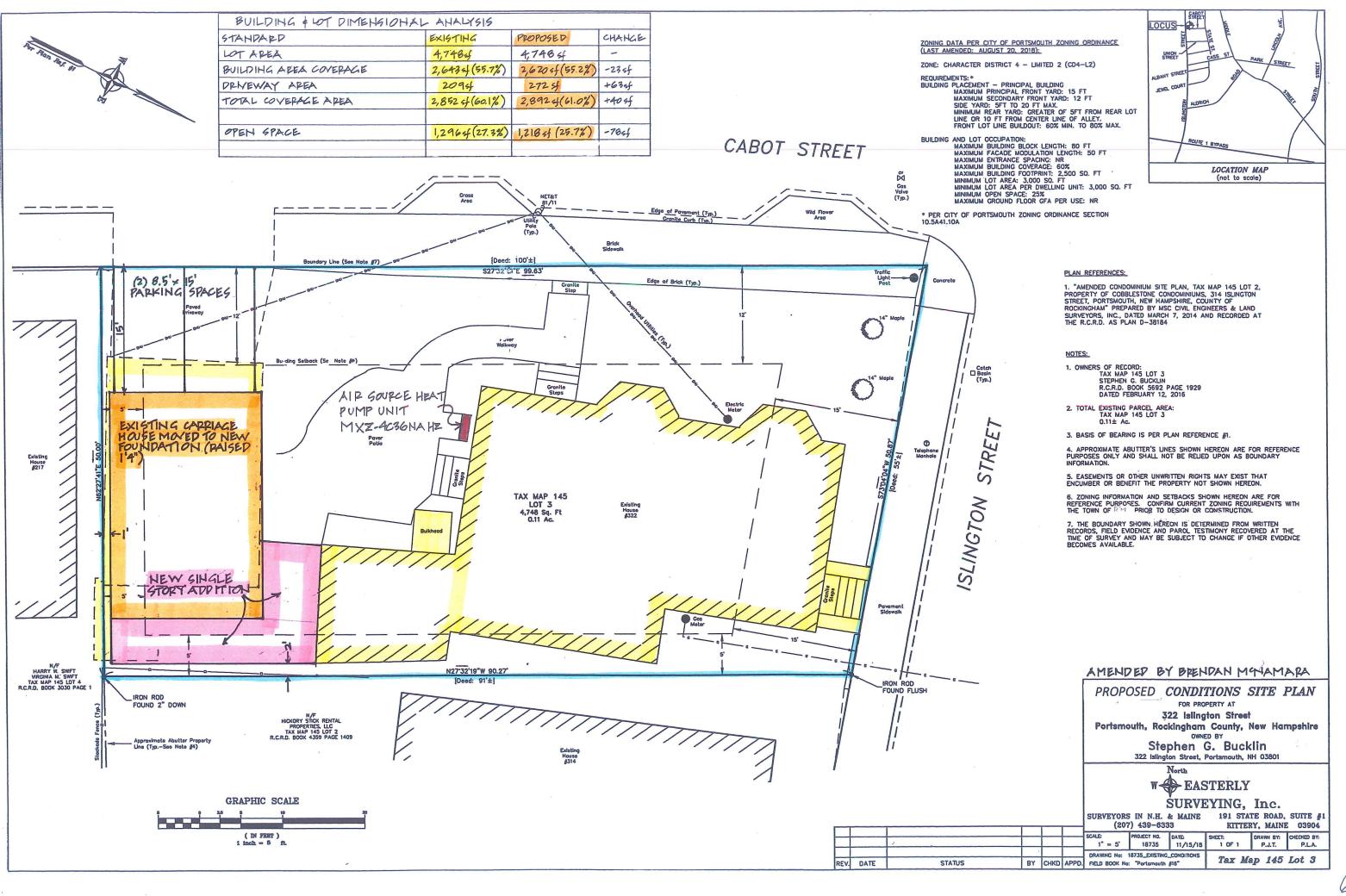
VIEW FROM ISLINGTON/CABOT STREETS INTERSECTION





BUILDING & LOT DIMENSIONAL ANALYSIS LOCUS EXIGTING PROPOSED CHANGE STANDARD ZONING DATA PER CITY OF PORTSMOUTH ZONING ORDINANCE (LAST AMENDED: AUGUST 20, 2018): 4.7484 LOT AREA 4,7484 STREET ZONE: CHARACTER DISTRICT 4 - LIMITED 2 (CD4-L2) BUILDING AREA COVERAGE 2,643 st (55.7%) 2,620 sf (55.2%) -235f REQUIREMENTS: *
BUILDING PLACEMENT - PRINCIPAL BUILDING
MAXIMUM PRINCIPAL FRONT YARD: 15 FT
MAXIMUM SECONDARY FRONT YARD: 12 FT 272 4 DRIVEWAY AREA 20954 JEWEL COUL 2,852 sf (60.1%) 2,8924(61.0%) TOTAL COVERAGE AREA MAXIMUM SECUDIART FRONT FARD:
SIDE YARD: 5FT TO 20 FT MAX.
MINIMUM REAR YARD: GREATER OF 5FT FROM REAR LOT
LINE OR 10 FT FROM CENTER LINE OF ALLEY.
FRONT LOT LINE BUILDOUT: 60% MIN. TO 80% MAX. SEASONAL PARKING 4254 4254 1,218 st (25.7%) -78sf 1,296sf (27.3%) OPEN SPACE BUILDING AND LOT OCCUPATION:
MAXIMUM BUILDING BLOCK LENGTH: 80 FT CABOT STREET 1,721 = (36.3%) 1,643 st (34.6%) -78sf OPEH SPACE LESS SEASONAL PARKING MAXIMUM BUILDING BLOCK LENGTH: 80 FT
MAXIMUM FACADE MODULATION LENGTH: 50 FT
MAXIMUM ENTRANCE SPACING: NR
MAXIMUM BUILDING COVERAGE: 60%
MAXIMUM BUILDING FOOTPRINT: 2,500 SQ. FT
MINIMUM LOT AREA: 3,000 SQ. FT
MINIMUM LOT AREA PER DWELLING UNIT: 3,000 SQ. FT
MINIMUM OPEN SPACE: 25%
MAXIMUM GROUND FLOOR GFA PER USE: NR LOCATION MAP X (not to scale) Gas Valva (Typ.) Edge of Pavement (Typ.)
Granite Curb (Typ.) * PER CITY OF PORTSMOUTH ZONING ORDINANCE SECTION 10.5A41.10A {Deed: 100'±} dary Line (See Note #7) S27°32'19"E 99.63" PLAN REFERENCES: Edge of Brick (Typ.) 1. "AMENDED CONDOMINIUM SITE PLAN, TAX MAP 145 LOT 2, PROPERTY OF COBBLESTONE CONDOMINIUMS, 314 ISLINGTON STREET, PORTSMOUTH, NEW HAMPSHIRE, COUNTY OF Granite Step ROCKINGHAM" PREPARED BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC., DATED MARCH 7, 2014 AND RECORDED AT THE R.C.R.D. AS PLAN D-38184 Paved Driveway NOTES: 1. OWNERS OF RECORD: TAX MAP 145 LOT 3 STEPHEN G. BUCKLIN R.C.R.D. BOOK 5692 PAGE 1929 DATED FEBRUARY 12, 2016 Catch
Basin
(Typ.) 2. TOTAL EXISTING PARCEL AREA: TAX MAP 145 LOT 3 0.11± Ac. 3. BASIS OF BEARING IS PER PLAN REFERENCE #1. STRE 4. APPROXIMATE ABUTTER'S LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE RELIED UPON AS BOUNDARY INFORMATION. 5. EASEMENTS OR OTHER UNWRITTEN RIGHTS MAY EXIST THAT ENCUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREON. 6. ZONING INFORMATION AND SETBACKS SHOWN HEREON ARE FOR REFERENCE PURPOSES. CONFIRM CURRENT ZONING REQUIREMENTS WITH THE TOWN OF YORK PRIOR TO DESIGN OR CONSTRUCTION.

7. THE BOUNDARY SHOWN HEREON IS DETERMINED FROM WRITTEN RECORDS, FIELD EVIDENCE AND PAROL TESTIMONY RECOVERED AT THE TIME OF SURVEY AND MAY BE SUBJECT TO CHANGE IF OTHER EVIDENCE BECOMES AVAILABLE. TAX MAP 145 LOT 3 4,748 Sq. Ft 0.11 Ac. Pavemeni Sidewalk N/F HARRY W. SWIFT VIRGINIA M. SWIFT TAX MAP 145 LOT 4 R.C.R.D. BOOK 3030 PAGE 1 N27°32°19"W 90.27° {Deed: 91'±} EXISTING CONDITIONS SITE PLAN FOUND FLUSH IRON ROD FOR PROPERTY AT FOUND 2" DOWN 322 Islington Street N/F HICKORY STICK RENTAL PROPERTIES, LLC TAX MAP 145 LOT 2 R.C.R.D. BOOK 4359 PAGE 1409 Portsmouth, Rockingham County, New Hampshire OWNED BY Stephen G. Bucklin 322 Islington Street, Portsmouth, NH 03801 North W EASTERLY GRAPHIC SCALE SURVEYING, Inc. 191 STATE ROAD, SUITE #1 SURVEYORS IN N.H. & MAINE (207) 439-6333 KITTERY, MAINE 03904 11/15/18 1 OF 1 P.J.T. 18735 1 inch = 5 ft. DRAWING No: 18735_EXISTING_CONDITIONS Tax Map 145 Lot 3 REV. DATE STATUS BY CHKD APPD. FIELD BOOK No: "Portsmouth \$16"

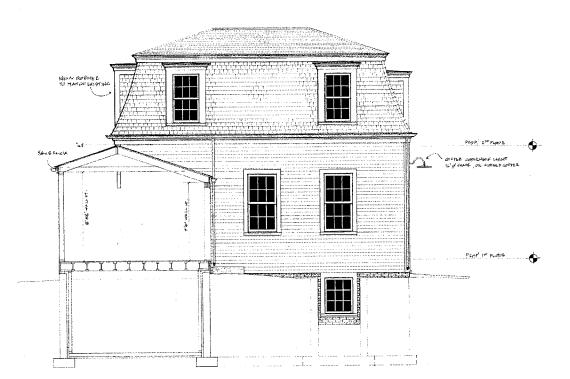




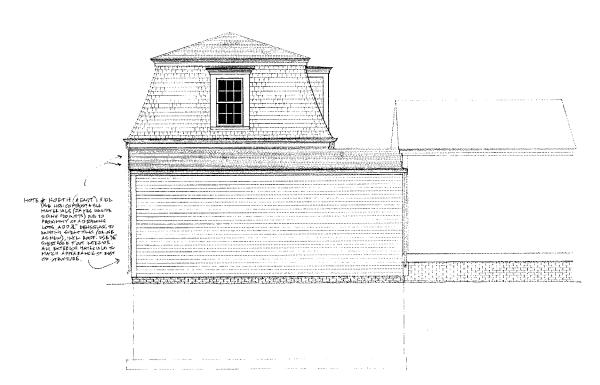


PROPOSED WEST ELEVATION, LEFT SIDE FROM IS UNGTON ST. SHOWING HEW, B'WINDOW.

PROPOSED SOUTH ELEVATION



PROPOSED WEST ELEVATION



PROPOSED HORTH ELEVATION

PROPOSED REMODEL 4 322 ISUNGTON ST. PORTSMOUTH, NH

INSULATION SCHEDULE:

USE "VALUE ENGINEERING" FRAMING TECHNIQUES WHERE POSSIBLE TO ENSURE ACCESSIBLTY FOR SPRAYFOAM APPLICATION, ESPECIALLY AT EXTERIOR CORNERS. NOTE ! RIGID FOAM AS HEADER SHIMS AND ½" TO 5 ½" L'VL" HEADERS. FILL ANY VOIDS IN FRAMING THAT OCCUR WITH RIGID FOAM TO ELIMINATE ANY AIRSPACE. CAULK GANGED FRAMING MEMBERS AND PLATE/FLOOR CONNECTIONS. SEE SECTIONS FOR GRAPHICAL DISCRIPTION.

EXTERIOR; CLOSED CELL, POLYURETHANE SPRAYFOAM, RATED TO 6.8R/INCH MINIMUM. ALLOW 21 DAYS BEFORE COVERING WITH SHEETROCK TO MONITOR

ROOF; R42. "FLASH", .75", 2X RAFTER MEMBERS LOWER EDGES, WHERE POSSIBLE, TO

WALLS AND RIMJOISTS: R21 AND R24, ENSURE SILLS AT TOP OF FOUNDATION WALL ARE COVERED TO TOP OF CONCRETE AND SPRAY INSULATION IS CONTINUOUS TO CONCRETE SLAB FLOOR.

WINDOWS AND DOORS; LOW EXPANSION FOAM TO ALL OPENINGS, ENSURE COMPLETE FILL (4 9/16"), WITHOUT EFFECTING WINDOW/DOOR OPERATION.

INTERIOR; R11 AND R19 ROXUL (OR SIMILAR, OR BETTER) TO ALL INTERIOR WALLS FOR SOUND, USE TO SUIT 2X4 AND 2X6 WALL THICKNESS, R19 TO 1", 2" FLOOR

CREATE THERMAL BREAK, ALL ROOF SPRAY FOAM WILL BE COVERED BY 5/8" SHEETROCK	JOIST SYSTEMS.	PASCIN		
FOUNDATION WALLS: R2I, ENSURE SILLS AT TOP OF FOUNDATION WALL ARE COVERED TO TOP OF CONCRETE AND SPRAY INSULATION IS "CONNECTED" TO 2"XI2" RIGID INSULATION (R10) AGAINST FOUNDATION WALL AT BOTTOM, (this is acting as a thermal isolator for the Basement slob). 2" RIGID FOAM (R10) IS TO BE PLACED BELOW BASEMENT SLAB. SEE SECTION DETAIL.	AIR INFILTRATION: FROM BLOWER DOOR TEST, THE BUILDING MUST ACHIEVE A MINIMUM OF 0.25 ACH. CAULK ALL 'GANGED' FRAMING MEMBERS AND PLATE/FLOOR CONNECTIONS. SEAL ALL PENETRATIONS AS PER MANUFACTURERS REQUIREMENTS. AN ENERGY RECOVERY VENTILATION SYSTEM WILL BE INSTALLED (TBD) AND UTILIZED FOR BATHROOM VENTILATION WHERE PRACTICAL.		at the same of the	
EXTERIOR DOOR OWNHOOM SCHEDULE (GREEK MOUNTAIN WINDOWS) 322 ISUHOATON ST., POUTS		er Isthic STAUSTOPS		X EULOPIAC FRANCE IS PRESENTAL RESENTALED WITH ALEW IMPRACE A 4:12 PRICE SORE TRANSING.
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B 2'5" x 4'14" G'ax % MCM 204BE 2H CAGEMENT TO MARCH APPEA BLANCE OF DOUBLE HUNG	G 76 1			L Company
C 2'64" x 4'936" 2017 % MON 2424 D'HUNGS W'TENPERED GLASS. ENTEND SILL HOLHS ECAGHIGG TO ALICH TO OUT	57 <u>4</u> 3	F- HELV SHED ROOF -		
EDGE OF DOEMER SACONICE BOARDS, 1/2 1/4" O'ALL, 1/1.F.	5%		<u>C</u> In •	
D 2'9' X 3'514 Class 3x2 MON32406 BAGGHEHT ECRESS CASEMENT (LH) TEMPERED 5th HEAD CASING. NO SCOREN.	7/16		<u> </u>	. / . !!! !
F BLISTING WILLDOW RESTOLE EXISTING INSWING PRENCH, ADD REPORDABLE, INSWING, INTREIOR			A COMPANY OF THE PROPERTY OF T	
SHALE PANE STORM W'SELLS, MAHTANH ECRESSS.				
G 16'4'x 9'034" 8'26" 3x2 - CUSTOM FRUX CLERGE DOORS W MUNTIN BARS TO MATCH GAM PROFILE.	44 6			
Square SHOULDERS TO MAHELS GLASS SIZE = 1'1114" x 3'0"				
H 3224"x6"000 6"000 3x2 GND2P653068 XL. MUDROOM DOOR W MATCHING (1) PANEL SEREEN DOOR	c3/c 1		*	
			in a	
			1 2	16
- 58 S.P.L WITH SPACER BARS EXTERIOR: PAINTED WHITE				FIXED CARREE Date
-GLAZING LOWE-KEPPTON -INTERIOR: PAINTED WHITE			-	PAHEL
-CASINGS, 1/4x 5, FLAT (UNLESS NOTED) -SILIGS. "HISTOPIC", 2."		1 1		5 ML
-左公路路 TO DOUBLE HUNGS - OLDERBEED BRONZE H'WARE T'OUT	1	/ <u>å</u> \ \	3 -	HTEZHAL WALL
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Mark Company	- COPPER WOR X PER MOT PITCH. 2' PLAID FOA	H10	ETT 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
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PROPOSED ZHOR SUB-FL. 1-1-19-16-1 20 PDC & DB10-16-26-E 54×6 84×146, 8A646 80×40 THE ALL THE PARTY OF THE PARTY PROPOSED PT FL. SUR-FL. F EXISTING IN WIND GRADE AT LOT LINE HOTE IN TEAST (4 HORTH) SIDE USE HON-CONICIONALE MATERIALS (TARKES HEDICE SIDELE PRODUCTS) DUE TO PROVINCIATO A DODININAL DECONOCIONALE DE BUSTINA SEPARATINA (HELL SECT), USE DE SUBSTITUCIONALISMO HEDICALISMO HOTELIALO TO MATERIA APPEASANCE OP ENO OF THIS OPERATIONE. PROPOSED BASEMENT SIND

SECTIONAL VIEW, WEST/EXST (LEFT/PKHT FROM CAPPIAGE HOUSE (IH HEW LOCATION

34

A FOUNDATION SECTION AT EXISTING HOUSE

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OF OTRUCTURES

- EXHATHE IX SHEATHING

PROPOSED REMODEL

4 822 KLINGTON ST.
POPTS MOUTH, NH

PROPOSED EAST ELEVATION



Green Mountain Window Co.

Having Trouble Finding Traditional Style Windows That Meet Egress Code?

Problem Solved!





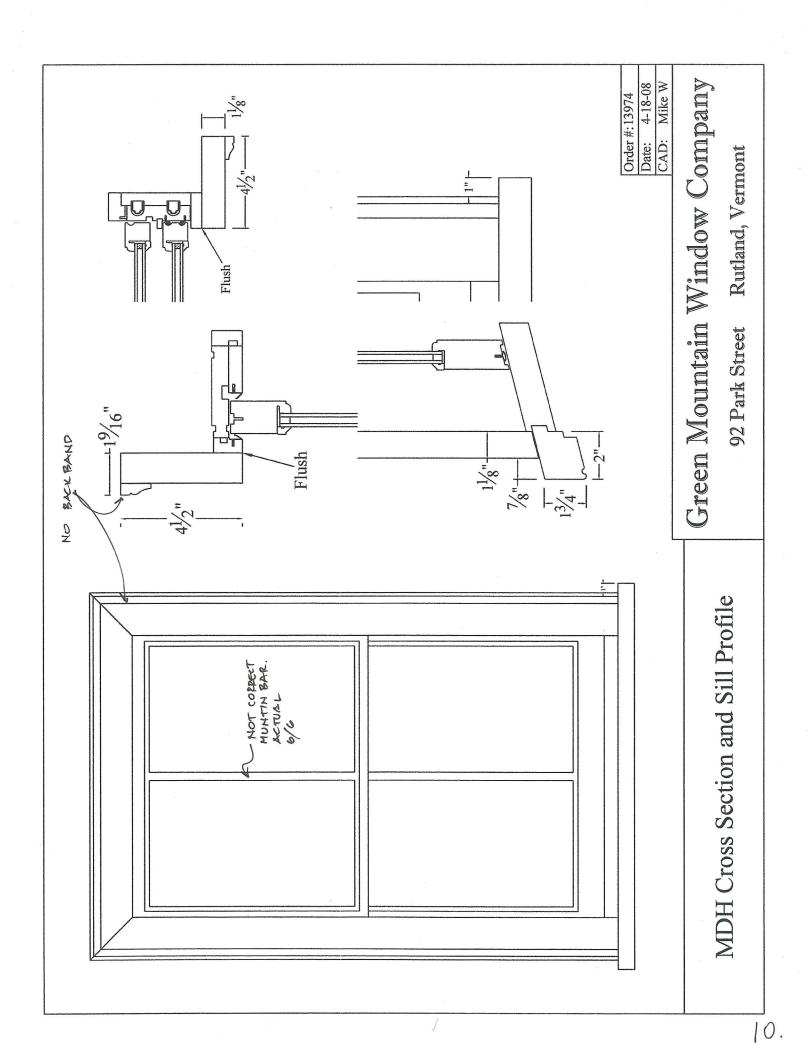
Green Mountain Window's DH Style Egress Window®

Meets Egress with Windows As Small As 2-0x3-10 Sash Size (2' 2" x 4' 0" Frame Size) Matches the Glazing of a Double Hung with Offset Glass for Top and Bottom Lites Matches the Dual Sash Appearance of a Double Hung with Offset Sash Plane on Exterior

Available as a new construction window (shown above) or as an insert replacement unit. Any divided lite pattern available (2/2, 6/6, 12/12, etc) with glass sizes and stiles / rail dimensions that match traditional double hung windows. Optional meeting rail sash lock (shown above).

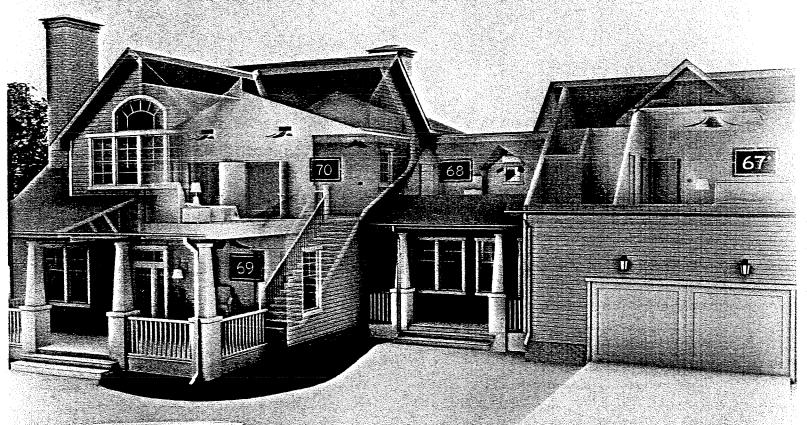
Patents Pending

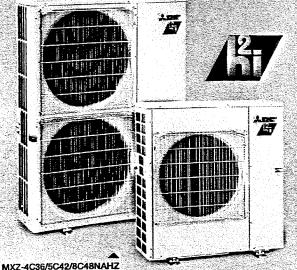
These drawings, details, photos and specifications are the exclusive property of Green Mountain Window Company. These drawings, details, photos and specifications shall only be used for specifying Green Mountain Window Company products and for no other purposes, other than use by the US Patent and Trademark Office. No other use or reproduction of these drawings and specifications shall be permitted in any form, whether by electronic, mechanical, photocopying, recording or other means, without the prior written consent of Green Mountain Window, and any unauthorized use or reproduction is strictly prohibited.





MULTI-ZONE SYSTEMS





MXZ-2C20/3C24/3C20NAHZ

M-SERIES HIGH PERFORMANCE

HYPER-HEATING MULTI-ZONE SYSTEMS

©2014 MITSÜBISHI ELECTRIC US, INC.

Product Description

Reviews

Product Q&A

Recommended Accessories

How-To Articles

Manuals

Features

For over 50 years, Mitsubishi has remained at the forefront of the mini split industry thanks to their dedication to providing efficient, user-friendly comfort solutions. The MXZ-4C36NAHZ is an H2i hyper-heating outdoor condenser for multi-zone mini split applications in freezing climates. It supports up to four indoor units, allowing you to create a custom zoned heating and cooling system based entirely around the specific needs of your home. With a broad range of compatible indoor units, efficiency-boosting inverter technology, and heating capabilities that withstand some of the coldest conditions, the MXZ-4C36NAHZ is a smart addition for nearly any home.

H2i Technology

 Low and negative ambient temperatures don't bother the MXZ-4C36NAHZ. It is rated for 100% heating capacity at 5 degrees F and continues to provide heating in outdoor conditions as low as -13 degrees F.

Precision Temperature Control Technology

 This outdoor condenser is equipped with inverter technology and an electronic linear expansion valve. By adjusting compressor speed and refrigerant flow, these components provide precise temperature control and incredible efficiency.

Integrated Base Pan Heater

 MXZ-C outdoor condensers have a factory-installed base pan heater in the drain pan. This prevents condensate from freezing and damaging the unit in frigid climates.

Mix and Match

 The MXZ-4C36NAHZ is compatible with more than two dozen different indoor units. It even works with the advanced MSZ-FH indoor units. This makes it easy to design a system that suits your home, no matter how it is arranged.

Product Compatible With

- Mitsubishi MSZ-GE Wall Mounted Mini Split Indoor Units
- Mitsubishi MSZ-FE Wall Mounted Hyper-Heating Mini Split Indoor

 Linite
- Mitsubishi MSZ-FH Wall Mounted Hyper-Heating Mini Split Indoor
 Units
- Mitsubishi MFZ-KA Floor Standing Mini Split Indoor Units
- · Mitsubishi SEZ-KD Concealed Duct Mini Split Indoor Units
- Mitsubishi SLZ-KA Ceiling Cassette Mini Split Indoor Units
- Mitsubishi PLA-A12BA4 Ceiling Cassette Mini Split Indoor Units
- Mitsubishi PLA-A18BA4 Ceiling Cassette Mini Split Indoor Units
- Mitsubishi PLA-A24BA4 Ceiling Cassette Mini Split Indoor Units
 Mitsubishi PEAD-A24AA4 Concealed Duct Mini Split Indoor Units

Product Note

Specifications

General Information

Type Outdoor Condenser

Product Line M-Series H2i

Operating Mode Cooling + Heating

Maximum Number of Zones 4

Multi-Zone Compatible Yes

Installation Location Outdoor

Branch Box Required
Yes

Performance

Maximum Sound Level 2 53 dB

Minimum Outdoor -13 F

Temperature for Heating 2

Minimum Outdoor 23 F
Temperature for Cooling

Electrical Data

Voltage 208/230 Volts

Phase 1

Frequency 60 Hz

Minimum Circuit Ampacity 42 Amps

Dimensions

Recommended Breaker Size

Maximum Line Length492 FeetLiquid Connection Size0.375 InchesGas Connection Size0.625 InchesProduct Height52.6875 Inches4 4 2Product Width41.34375 Inches3 5 4Product Depth14 Inches

50 Amps

276 Pounds

Certifications

Product Weight

Energy Star Listed Yes

ETL Listed Yes

199 Middle Street Public Hearing LU-21-149

7/26/2021 OpenGov



07/26/2021

LU-21-149

Land Use Application

Status: Active	Date Created: Jul 19, 2021
Applicant	Location
Philip Rowlands pcrowl3441@gmail.com 199 Middle Street	199 MIDDLE ST Portsmouth, NH 03801
Portsmouth, NH 03801 860-287-3207	Owner: ROWLANDS PHILIP CHRISTOPHER & ROWLANDS JOY LORRAINE 199 MIDDLE ST PORTSMOUTH, NH 03801
Applicant Information	
Please indicate your relationship to this project A. Property Owner	
Alternative Project Address	
Alternative Project Address 	
Project Type Addition or Renovation: any project (commercial or residential) that includes an already has structure(s) on it ☑	ADDITION to an existing structure or a NEW structure on a property that
New Construction: any project (commercial or residential) that involves adding a structures on the property (even if you are planning to remove them), you should	
Minor Renovation: for projects in the Historic District only that involve a minor econstruction of a new structure \Box	exterior renovation or alteration that does not include a building addition or
Home Occupation: residential home occupation established in an existing residence are not allowed in the following Zoning Districts: Waterfront Business, Office Re \Box	
New Use/Change in Use: for a change of land use or an expansion to an existing modifications	use (e.g. addition of dwelling units) that includes no exterior work or site
Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events) \Box	
Demolition Only: only applicable for demolition projects that do not involve any \Box	other construction, renovation, or site work
Subdivision or Lot Line Revision: for projects which involved a subdivision of lan \square	d or an adjustment to an existing lot line
Other Site Alteration requiring Site Plan Review Approval and/or Wetland Condi \square	itional Use Permit Approval

Request for Extension of Previously Granted Land Use Approval

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

Supplemental Narrative linked to Building Permit BLDG-21-303 and Land Use Application 21-64

Address: 199 Middle Street, Portsmouth NH 03801

Owner and Applicant: Philip C. Rowlands

Objective:

We are seeking permission to demolish the existing shed due to extensive wood rot and unsafe condition, and to replace with a new shed supplied by Reeds Ferry in the Historic Colonial style and placed in a new location on the lot compliant with current building setback rules.

Description:

We moved into this property in Fall 2020 and our original intent was to renovate the shed prior to completing the move. However, when we had an inspection by a potential contractor, they showed us the extensive wood rot present in the structure. In particular the corner posts supporting the roof are rotted at the base, and the subfloor has rotted through in two different places causing the floor to sag and be unstable. In addition, the window had significant rot which had caused a number of panes to dislodge, and the roof was leaking in three different places. It was the opinion of the contractor that renovation was not possible and the structure would need to be taken apart and rebuilt from the ground up. I have included photographs below to show the damage where accessible, and some temporary measures in place to stabilize the structure.



Extensive rot in rear siding penetrating into shed foundation



Rot in base of corner post through to subfloor with no remaining exterior support for post



Collapse of subfloor visible from exterior rear of shed



Lower window sash removed to show degree of wood rot



Temporary supports to stabilize corner posts

Our next plan was to arrange demolition of the existing shed and then replacement with a shed chosen to closely match the colonial style of house, with matching dimensions to the existing shed so it could be located on the same footprint. However, in discussion with the City Planning Department, we were informed that the existing shed no longer conforms with current planning requirements. Specifically, although the shed is 11 feet away from the side boundary running perpendicular to the street and adjoining the Richards Road property (compliant with regulations), the boundary then is notched inward to accommodate the lot of the next property, and the existing shed is only 2 feet from that fence line. In order to accommodate a 10 foot setback from that property line which would comply with the height to midline of the new shed, the footprint would need to be shifted forward by 8 feet. This would place the shed adjacent to the existing deck corner and would significantly impede access to the side of the property which needs to be clear for any emergency egress from that side of the house and for routine maintenance access to the air conditioning exterior units and the heating oil inlet.



After removal of window, picture showing proximity of rear fence line (2 feet)

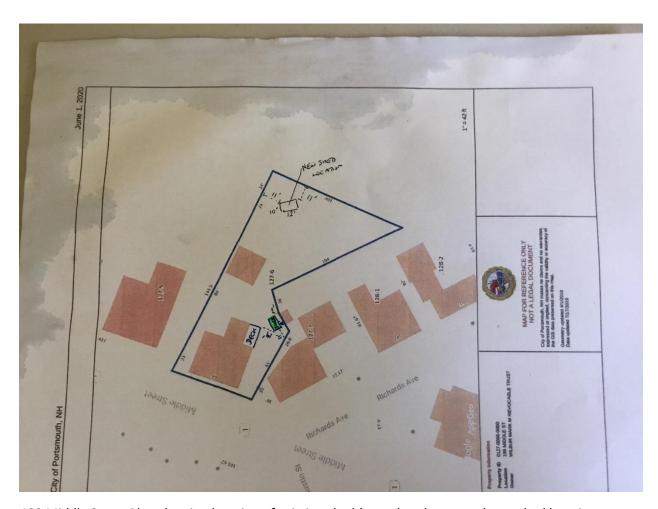
To comply with setback rules, we have decided to apply for permission to move the new shed to a location at the rear of the lot with 11 foot setbacks to both the side fence adjoining the north fence line bordering the neighboring Middle Street property parking lot, and the east fence line bordering the middle school. Photographs of the proposed location are included below with the purple poles representing the four corners of the shed. I have also included lot plans showing the location of the existing shed and the proposed new shed location.



Proposed new shed location looking north east towards middle school



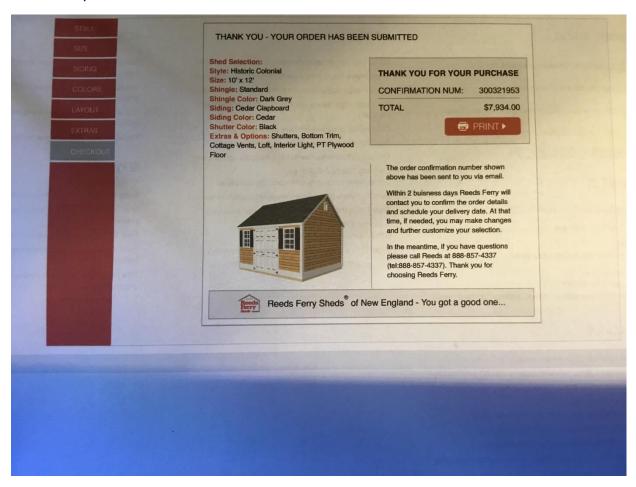
Proposed new shed location looking south-east towards library



199 Middle Street Plan showing location of existing shed (green) and proposed new shed location

We have contracted with Red Hammer Construction, a local company, to demolish the existing shed and remove all materials.

The new shed would be supplied by Reeds Ferry Sheds of Hudson NH. A description and picture of the new shed layout is attached below.



39 Pickering Street Public Hearing LU-21-95

7/26/2021 OpenGov



07/26/2021

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Status: Active	Date Created: May 7, 2021
Applicant	Location
Bill Southworth whs@gatesstreet.com	39 PICKERING ST Portsmouth, NH 03801
39 Pickering Street Portsmouth, NH 03801	Owner:
617 905-6800	SOUTHWORTH WILLIAM H & SOUTHWORTH BARBARA ANN 39 PICKERING ST PORTSMOUTH, NH 03801
Applicant Information	
Please indicate your relationship to this project A. Property Owner	
Alternative Project Address	
Alternative Project Address	
Project Type	
Addition or Renovation: any project (commercial or residential already has structure(s) on it $\ensuremath{\ensuremath{\ensuremath{\wp}}}$	I) that includes an ADDITION to an existing structure or a NEW structure on a property that
New Construction: any project (commercial or residential) that structures on the property (even if you are planning to remove $\hfill\Box$	at involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing e them), you should select Addition and Renovation above
Minor Renovation: for projects in the Historic District only the construction of a new structure $\hfill\Box$	at involve a minor exterior renovation or alteration that does not include a building addition or
Home Occupation: residential home occupation established in are not allowed in the following Zoning Districts: Waterfront E $\hfill\Box$	n an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations Business, Office Research, Industrial, or Waterfront Industrial
New Use/Change in Use: for a change of land use or an expansion modifications ☐	sion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site
Temporary Structure / Use: only for temporary uses (e.g. tent $\hfill\Box$	s, exhibits, events)
Demolition Only: only applicable for demolition projects that \square	do not involve any other construction, renovation, or site work
Subdivision or Lot Line Revision: for projects which involved a $\hfill\Box$	subdivision of land or an adjustment to an existing lot line
Other Site Alteration requiring Site Plan Review Approval and $\hfill\Box$	or Wetland Conditional Use Permit Approval
Sign: Only applies to signs requiring approval from a land use $\hfill\Box$	board (e.g. Historic Commission, Zoning Board of Adjustment)

FROM THE DESK OF

BILL SOUTHWORTH

May 20, 2021

Board of Adjustments

City of Portsmouth, New Hampshire

At our home on 39 Pickering, the existing shed, is rotted and starting to collapse. We want to replace it with a 10' x12' shed to be constructed as a manufactured frame and erected on a concrete slab. The shed will be the same orientation and setback as the existing shed and will be painted to match the house. It will have increased pitch to match the pitch of surrounding roof lines.

I've tried to address section 10.233 of the Zoning Ordinance below:

10.233.22 The spirit of the Ordinance will be observed;

We propose using Post Woodworking of Danville, NH for the factory manufactured shed. They will also install the shed on the concrete slab.

We will need separate contractors for the minimal site preparation, demolition of the existing shed, and installation of a haunched monolithic concrete slab with steel rebar reinforced spread footing for the posts. This will replace the current non-pressure treated wood floor sitting on the ground.

The existing shed has walls at the same height as the two fences next to it at the property line. Only a small part of the roof is visible from adjacent property. The proposed shed will be the same wall height but 2' taller (12') at the peak due to the increased size and roof pitch.

Sheds in several neighboring properties are on the property line so, although non-conforming, a structure this close to the property line is in keeping with the character of the South End. The existing shed is 2' from the rear property line and 2' from the right side property line. It sits 14' diagonally from our kitchen, which juts out from the main house, and 16' from our dining room. This is really the only location that works for the structure. There will be no decrease in the setback with the new shed, and the

impervious surface will be increased by approximately 32 square feet over the 1999 reconstructed house plus shed, which cover 964 sq. ft., 38.9% of the property area. With the replacement shed this will increase to 996 sq. ft., 40.2% of the property area, 2476 sq. ft.

Building height from the ground will have no increase in wall height which will reduce the height since the existing shed is raised by about a foot. We propose that the overall height at the peak of the roof be about 2' higher so that the pitch can match the surrounding buildings. This can be seen in the attached photos.

The new shed will also match the siding and roof material of our house and of neighboring buildings. To this extent, we believe that the new shed will actually be closer in design than the original to the spirit of the neighborhood.

10.233.21 The variance will not be contrary to the public interest;

The proposed shed will cover the footprint of the old shed. It will be minimally visible from two adjacent properties and not at all from the street. It is not a dwelling unit and will put no extra burden on public systems such as water/sewage of gas lines. We believe that the structure will enhance the appearance and value of our property and thereby increase the value of neighboring properties. Therefore, we believe it to be in the public interest.

10.233.23 Substantial justice will be done;

If the variance is granted we can identify no harm to the public or to surrounding neighbors. However, if denied, we will suffer as we will be forced to continue to store our 220 lb. snow blower, pressure washer, lawnmower, generator and smoker outside on raised blocks under a tarp as we are forced to do now. Our house has no basement access except down steep stairs from our living room. We've considered a hoist of some sort but the stairway is also too narrow for the snowblower.

10.233.24 The values of surrounding properties will not be diminished; and

This is addressed in the 10.233.21 comments. We believe that the replacement structure will enhance property values of our property and the neighborhood.

10.233.25 Literal enforcement of the provisions would result in an unnecessary hardship.

We currently store large tools outdoors as we do not have basement access nor do we have a sufficiently large shed or a garage. Most of the houses in the neighborhood have either a garage, shed or cellar bulkhead. Most of the South End was built in a very ad hoc fashion before any of the existing ordinances. There's very little of the consistencies of modern planned layout. However, that's part of the charm of the neighborhood. Our lot is particularly small, even in comparison to surrounding lots, although there's plenty of room to park two cars outdoors in the driveway and there's room for a garden and patio. The shed enlargement is a reasonable and improved use of the property.

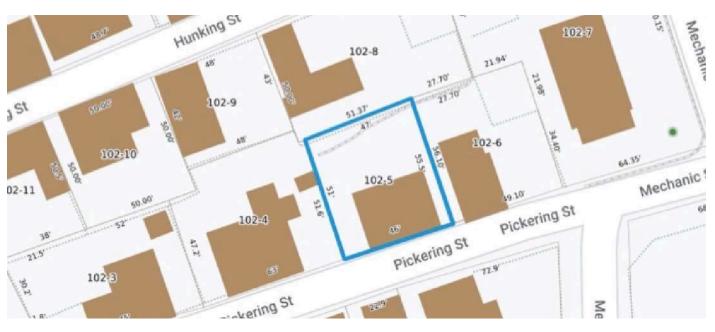
The enlargement of the shed will allow for storage and a garden workshop. We also want insulated construction since the snowblower and other power tools are battery operated and need to be kept charged and since a portable generator needs to be kept warm to work properly. The new shed will also provide for storage of plants that we want bring in from freezing in the winter.

Please advise us as to any issues with the concept and permitting before we proceed with vendor qualification and selection. Also, please let us know whether you need engineering drawings or can use standard construction plans from the frame builder.

_			
Thanks for	\/∩ıır	CONSID	eration
THUINS IOI	y O U I	COLISIA	ciation.

Sincerely yours,

Bill Southworth

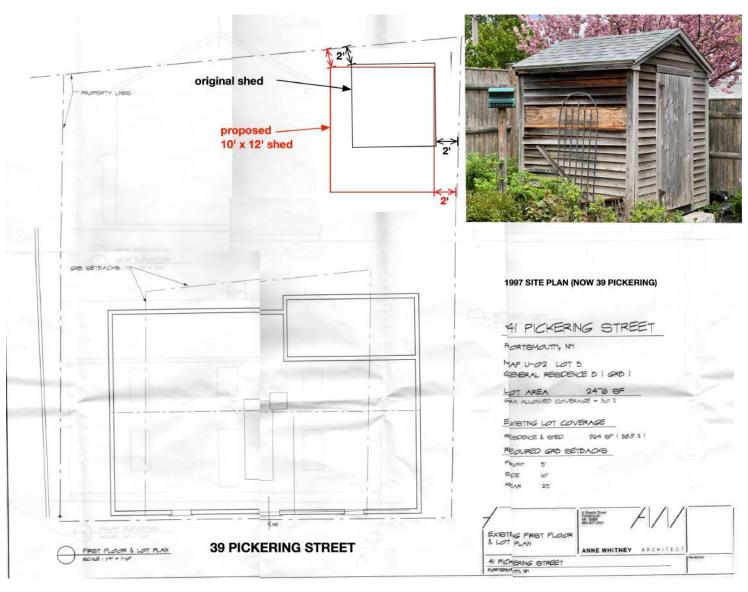














39 PICKERING ST

Location 39 PICKERING ST **Mblu** 0102/ 0005/ 0000//

Acct# 32883 Owner SOUTHWORTH WILLIAM H

PBN Assessment \$763,200

Appraisal \$763,200 **PID** 32883

Building Count 1

Current Value

Appraisal						
Valuation Year	Improvements	Land	Total			
2020	\$395,600	\$367,600	\$763,200			
	Assessment					
Valuation Year	Improvements	Land	Total			
2020	\$395,600	\$367,600	\$763,200			

Owner of Record

Owner SOUTHWORTH WILLIAM H Sale Price \$575,000

Co-Owner SOUTHWORTH BARBARA ANN Certificate

Address 39 PICKERING ST Book & Page 4958/2812

PORTSMOUTH, NH 03801 Sale Date 10/24/2008

Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
SOUTHWORTH WILLIAM H	\$575,000		4958/2812	00	10/24/2008

Building Information

Building 1 : Section 1

Year Built: 1999
Living Area: 1,620
Replacement Cost: \$470,970
Building Percent Good: 84

Replacement Cost

Less Depreciation: \$395,600

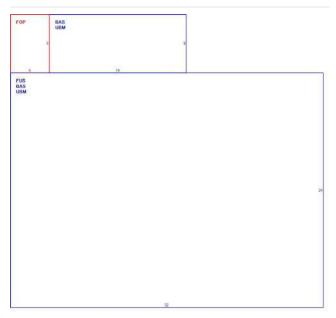
Building Attributes			
Field	Description		
Style	Colonial		
Model	Residential		
Grade:	A		
Stories:	2		
Occupancy	1		
Exterior Wall 1	Wood Shingle		
Exterior Wall 2	Clapboard		
Roof Structure:	Gable/Hip		
Roof Cover	Asph/F Gls/Cmp		
Interior Wall 1	Drywall/Sheet		
Interior Wall 2			
Interior Flr 1	Carpet		
Interior Flr 2	Ceram Clay Til		
Heat Fuel	Gas		
Heat Type:	Hot Water		
AC Type:	Central		
Total Bedrooms:	3 Bedrooms		
Total Bthrms:	3		
Total Half Baths:	0		
Total Xtra Fixtrs:	0		
Total Rooms:	7		
Bath Style:	Above Avg Qual		
Kitchen Style:	Above Avg Qual		
Kitchen Gr	A		
WB Fireplaces	1		
Extra Openings	0		
Metal Fireplaces	0		
Extra Openings 2	0		
Bsmt Garage			

Building Photo



(http://images.vgsi.com/photos2/PortsmouthNHPhotos/\00\01\66\71.jpg)

Building Layout



(ParcelSketch.ashx?pid=32883&bid=32883)

	Building Sub-Areas (sq ft)		<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	852	852
FUS	Upper Story, Finished	768	768
FOP	Porch, Open	24	0
UBM	Basement, Unfinished	852	0
		2,496	1,620

Extra Features

Extra Features	Legend
No Data for Extra Features	

Land Use

Land Line Valuation

Use Code

1012

Description

Zone

GRB

No

Neighborhood 101 Alt Land Appr

Category

SFR WATERINFL

Frontage

Size (Acres)

Depth

Assessed Value \$367,600

Appraised Value \$367,600

0.06

Outbuildings

Outbuildings	<u>Legend</u>
No Data for Outbuildings	

Valuation History

Appraisal					
Valuation Year	Improvements	Land	Total		
2020	\$395,600	\$367,600	\$763,200		
2019	\$395,600	\$367,600	\$763,200		
2018	\$360,000	\$306,700	\$666,700		

Assessment					
Valuation Year	Improvements	Land	Total		
2020	\$395,600	\$367,600	\$763,200		
2019	\$395,600	\$367,600	\$763,200		
2018	\$360,000	\$306,700	\$666,700		

93 Pleasant Street Public Hearing LU-21-148

7/26/2021 OpenGov



07/26/2021

LU-21-148

Land Use Application

Status: Active	Date Created: Jul 16, 2021
Applicant	Location
Tracy Kozak Tracy Kozak@jsainc.com	93 PLEASANT ST Portsmouth, NH 03801
JSA Inc 273 Corporate Drive, Suite 100	Owner:
portsmouth, New Hampshire 03801 603-731-5187	DAGNY TAGGART LLC 3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801
Applicant Information	
Please indicate your relationship to this project B. Property Owner's Representative	
Alternative Project Address	
Alternative Project Address 	
Project Type Addition or Renovation: any project (commercial or residential) that includes an already has structure(s) on it □	ADDITION to an existing structure or a NEW structure on a property that
New Construction: any project (commercial or residential) that involves adding structures on the property (even if you are planning to remove them), you shoul \Box	
Minor Renovation: for projects in the Historic District only that involve a minor construction of a new structure $\ \ \ \ \ \ \ \ \ \ \ \ \ $	exterior renovation or alteration that does not include a building addition or
Home Occupation: residential home occupation established in an existing residence are not allowed in the following Zoning Districts: Waterfront Business, Office Re \Box	
New Use/Change in Use: for a change of land use or an expansion to an existing modifications	use (e.g. addition of dwelling units) that includes no exterior work or site
Temporary Structure / Use: only for temporary uses (e.g. tents, exhibits, events \Box)
Demolition Only: only applicable for demolition projects that do not involve any \Box	other construction, renovation, or site work
Subdivision or Lot Line Revision: for projects which involved a subdivision of lan \Box	d or an adjustment to an existing lot line
Other Site Alteration requiring Site Plan Review Approval and/or Wetland Condi \Box	itional Use Permit Approval

Sign: Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

Request for Extension of Previously Granted Land Use Approval

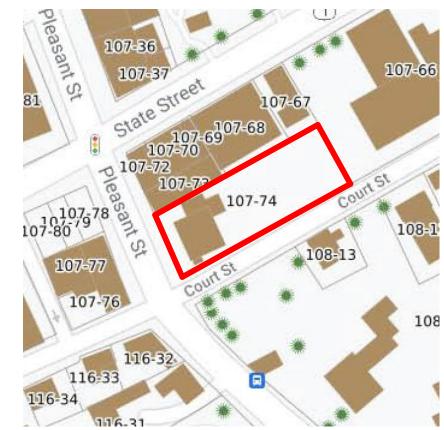
93 PLEASANT STREET TREADWELL-JENNESS HOUSE EXTERIOR RESTORATION

PORTSMOUTH, NEW HAMPSHIRE

HISTORIC DISTRICT COMMISSION PUBLIC HEARING AUGUST 2021



HD	HDC DRAWING SHEET LIST				
SHT.NO.	SHEET DESCRIPTION				
A1.1	COVER SHEET				
A2.1	FIRST FLOOR PLAN				
A2.2	SECOND FLOOR PLAN				
A3.1	EXTERIOR ELEVATIONS				
A3.2	EXTERIOR ELEVATIONS				
A3.3	EXTERIOR ELEVATIONS				
A3.4	EXTERIOR ELEVATIONS				
A4.1	WINDOW ELEVATIONS				
A4.2	WINDOW ELEVATIONS				
A4.3	WINDOW SECTIONS				
A5.1	MATERIALS - WINDOW				
A5.2	MATERIALS - WINDOW				
A5.3	ROOFING				
A5.4	ROOFING				





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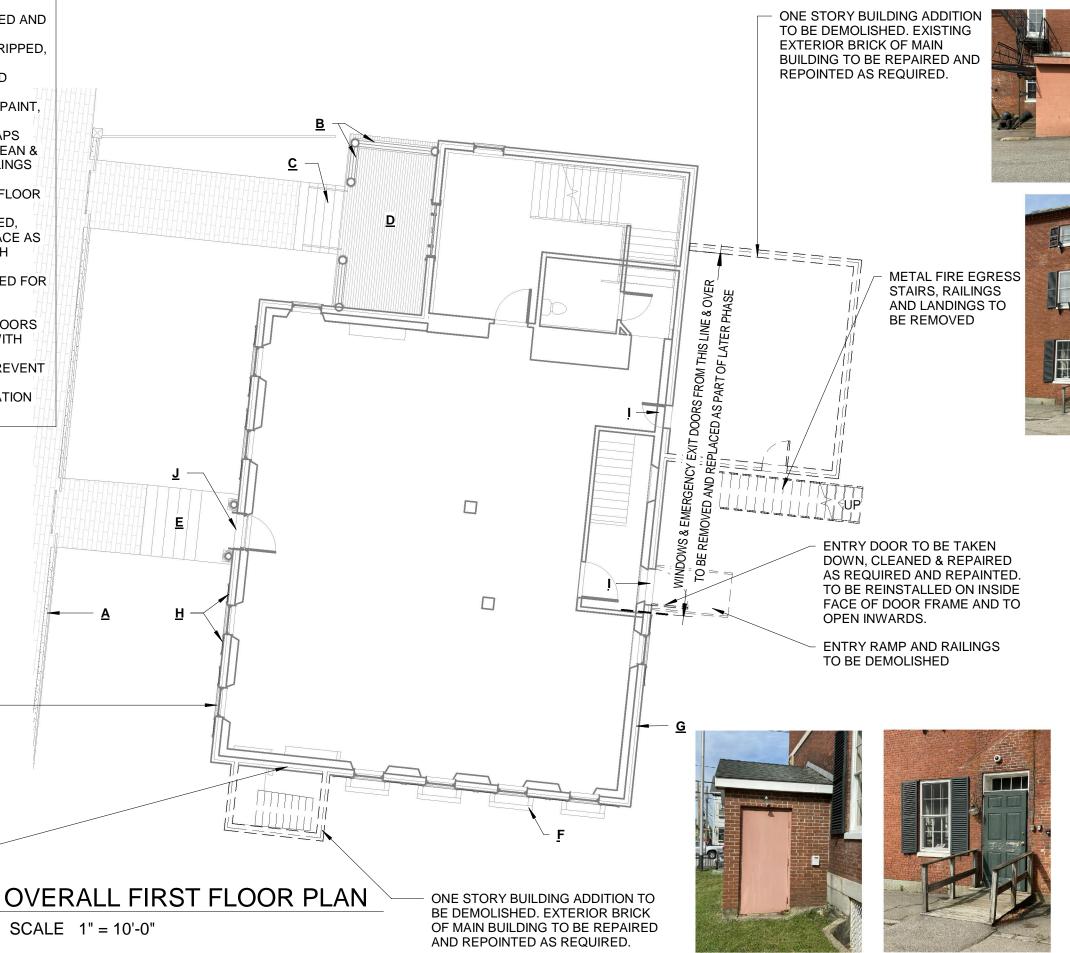


PROCON

DAGNY TAGGART, LLC

McNabb
Properties Ltd.

ORDINARY MAINTENANCE REPAIR NOTES: A. METAL PERIMETER FENCE AND GATES TO BE CLEANED AND REPAIRED AS NECESSARY. REPAINT, TYP. B. PORCH RAILINGS, POSTS AND BALUSTERS TO BE STRIPPED, CLEANED & REPAIRED AS REQUIRED. PAINTED, TYP. FRONT ENTRY STEPS AT PORCH TO BE CLEANED AND REPAIRED AS REQUIRED. STRIP, CLEAN AND REPAIR PORCH AS REQUIRED. REPAINT, TYP. E. FRONT ENTRY STEPS TO BE RELAID TO CORRECT GAPS BETWEEN STEPS AND FROM STEPS TO BUILDING. CLEAN & REPAIR AS REQUIRED. INSTALL WROUGHT IRON RAILINGS AT STEPS. REPAIR CONCRETE WINDOW-WELL WALL @ LOWER FLOOR WINDOWS OR REPLACE TO MATCH EXISTING. BRICK TO BE REPAIRED AND REPOINTED AS REQUIRED TYP. AT ENTIRETY OF EXTERIOR OF BUILDING. REPLACE AS NECESSARY. MORTAR JOINTS TO BE FIXED TO MATCH ORIGINAL MORTAR JOINTS IN COLOR AND SIZE. H. ALL WOOD SHUTTERS TO BE REMOVED & TO BE SAVED FOR REUSE. CLEAN & REPAIR AS REQUIRED. REPAINT TO ORIGINAL COLOR, TYP. PROVIDE TEMPORARY NEW LOCKS FOR EXTERIOR DOORS ON EAST ELEVATION UNTIL PHASE 2. COORDINATE WITH PHASE 2 WORK. EAGLE ABOVE FRONT ENTRY TO BE REMOVED TO PREVENT DAMAGE. REATTACH EAGLE TO BUILDING IN SAME LOCATION ABOVE FRONT ENTRY DOOR WHEN ELEVATION REPAIRS ARE COMPLETE.





273 CORPORATE DRIVE PORTSMOUTH, NH 03801

DESIGN

PROCON CONNECT - CREATE - CONSTRUCT

DAGNY TAGGART, LLC

McNabb Properties Ltd.

REINSTALL WINDOW AT LOWER — LEVEL WITH CONCRETE WINDOW WELL. MATCH EXISTING WINDOW &

SILL WITH CLEAR SEALER.

INFORMATION.

WINDOW WELL.

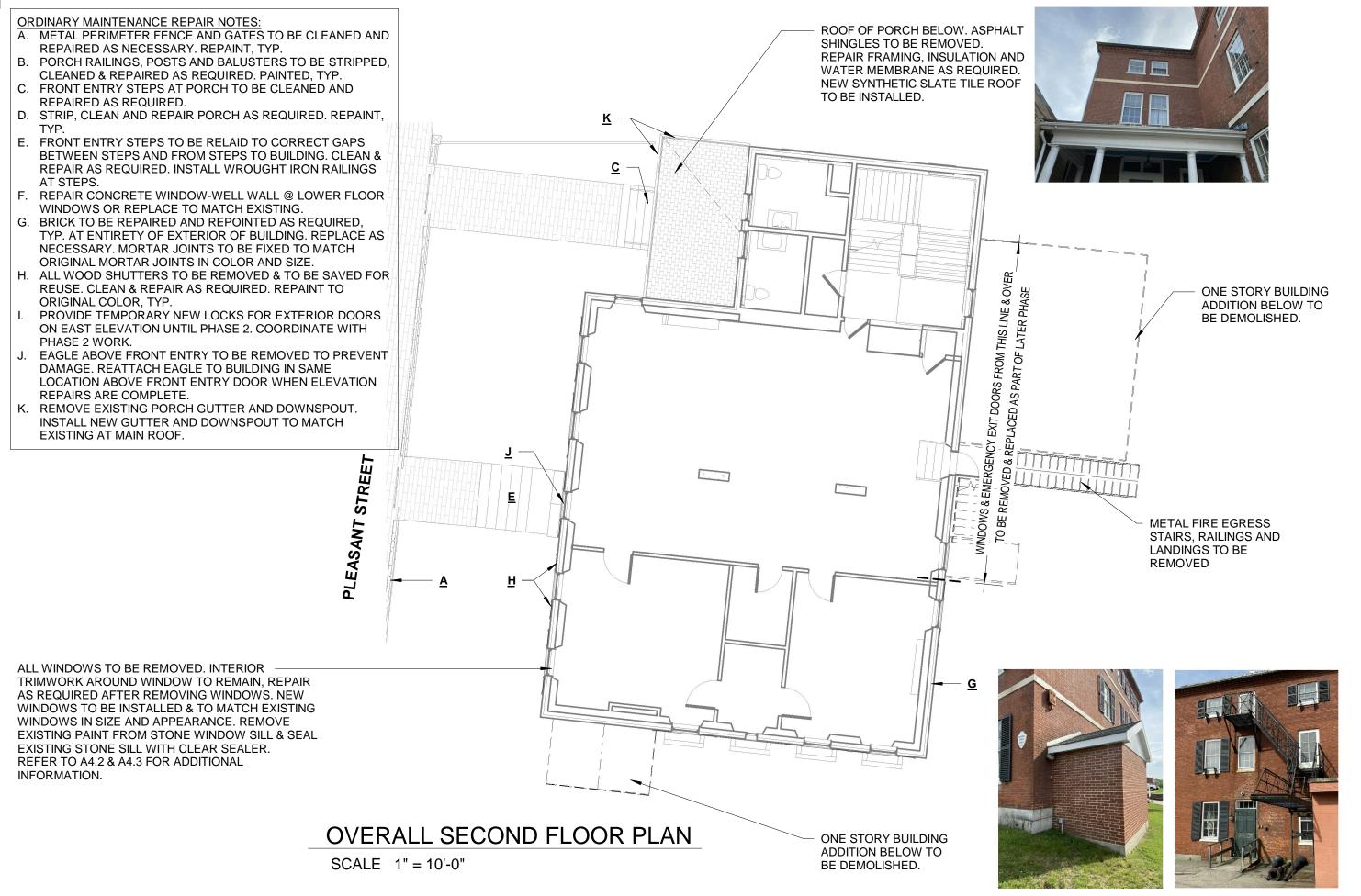
ALL WINDOWS TO BE REMOVED. INTERIOR

TRIMWORK AROUND WINDOW TO REMAIN, REPAIR AS REQUIRED AFTER REMOVING

WINDOWS. NEW WINDOWS TO BE INSTALLED &

TO MATCH EXISTING WINDOWS IN SIZE AND APPEARANCE. REMOVE EXISTING PAINT FROM STONE WINDOW SILL & SEAL EXISTING STONE

REFER TO A4.1 & A4.2 FOR ADDITIONAL





DESIGN

273 CORPORATE DRIVE PORTSMOUTH, NH 03801

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- METAL PERIMETER FENCE AND GATES TO BE CLEANED AND REPAIRED AS NECESSARY. REPAINT, TYP.
- PORCH RAILINGS, POSTS AND BALUSTERS TO BE STRIPPED, CLEANED & REPAIRED AS REQUIRED. PAINTED, TYP.
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ASPHALT SHINGLES OF PORCH ROOF TO BE REMOVED. REPAIR FRAMING, INSULATION AND WATER MEMBRANE AS REQUIRED. NEW SYNTHETIC SLATE TILE ROOF TO BE INSTALLED.

WIDOW'S WALK AT ROOF TO BE CLEANED, REPAIRED AND REPAINTED. FLASHING AT ROOF TO BE REPAIRED AND REPLACED AS REQUIRED WITH COPPER.

ASPHALT SHINGLE ROOFING TO BE REMOVED. REPAIR INSULATION & WATER MEMBRANE AS REQUIRED. NEW SYNTHETIC SLATE ROOF TILES TO BE INSTALLED.



ONE STORY BUILDING ADDITION TO BE DEMOLISHED. EXTERIOR **BRICK OF MAIN BUILDING** TO BE REPAIRED AND **REPOINTED AS** REQUIRED.



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WEST ELEVATION

- METAL PERIMETER FENCE AND GATES TO BE CLEANED AND REPAIRED AS NECESSARY. REPAINT, TYP.
- BRICK TO BE REPAIRED AND REPOINTED AS REQUIRED, TYP. AT ENTIRETY OF EXTERIOR OF BUILDING INCLUDING AT ALL CHIMNEYS. REPLACE AS NECESSARY. MORTAR JOINTS TO BE FIXED TO MATCH ORIGINAL MORTAR JOINTS IN COLOR AND SIZE.
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ONE STORY BUILDING ADDITION TO BE DEMOLISHED. EXISTING EXTERIOR BRICK OF MAIN BUILDING TO BE REPAIRED AND REPOINTED AS REQUIRED.

REINSTALL WINDOW AT LOWER LEVEL WITH CONCRETE WINDOW WELL. MATCH EXISTING WINDOW & WINDOW WELL.

ASPHALT SHINGLE ROOFING TO BE REMOVED. REPAIR INSULATION & WATER MEMBRANE AS REQUIRED. NEW SYNTHETIC SLATE ROOF TILES TO BE INSTALLED.







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- A. BRICK TO BE REPAIRED AND REPOINTED AS REQUIRED, TYP. AT ENTIRETY OF EXTERIOR OF BUILDING INCLUDING AT ALL CHIMNEYS. REPLACE AS NECESSARY. MORTAR JOINTS TO BE FIXED TO MATCH ORIGINAL MORTAR JOINTS IN COLOR AND SIZE.
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- D. REMOVE EXISTING GUTTER ON EAST SIDE OF BUILDING AND REPLACE WITH NEW COPPER GUTTER TO MATCH THE EXISTING.
- E. REMOVE EXISTING DOWNSPOUT ON SOUTHEAST CORNER OF BUILDING AND INSTALL NEW COPPER DOWNSPOUT IN SAME LOCATION. DOWNSPOUT TO BE COPPER TO MATCH EXISTING GUTTERS AND DOWNSPOUTS AT REST OF BUILDING.

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ENTRY DOOR TO BE TAKEN DOWN, CLEANED & REPAIRED AS REQUIRED AND REPAINTED. TO BE REINSTALLED ON INSIDE FACE OF DOOR FRAME AND TO OPEN INWARDS.

ENTRY RAMP AND RAILINGS TO BE DEMOLISHED

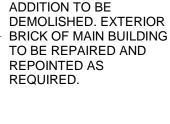
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ASPHALT SHINGLE ROOFING TO BE REMOVED. REPAIR INSULATION & WATER MEMBRANE AS REQUIRED. NEW SYNTHETIC SLATE ROOF TILES TO BE INSTALLED.

 METAL FIRE EGRESS STAIRS, RAILINGS AND LANDINGS TO BE REMOVED



EAST ELEVATION



ONE STORY BUILDING



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DAGNY TAGGART, LLC

McNabb Properties Ltd.

- A. METAL PERIMETER FENCE AND GATES TO BE CLEANED AND REPAIRED AS NECESSARY. REPAINT, TYP.
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- K. REMOVE EXISTING PORCH GUTTER AND DOWNSPOUT. INSTALL NEW GUTTER AND DOWNSPOUT TO MATCH EXISTING AT MAIN ROOF.
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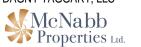




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DAGNY TAGGART, LLC



WINDOW NOTES

- EXISTING WINDOWS ARE DOUBLE HUNG. NEW WINDOWS TO BE DOUBLE HUNG TO MATCH EXISTING.
- SPIRAL BALANCE.
- **ROLL-DOWN CONCEALED INTERIOR SCREENS.**
- WOOD FRAMES & SASHES. PRIMED AND PAINTED BOTH SIDES.
- INSULATED LOW E GLASS.
- SIMULATED DIVIDED LITE.
- PUTTY-PROFILE, EXTERIOR MUNTINS.
- OGEE PROFILE, INTERIOR MUNTINS.
- PLANE OF GLASS FOR NEW WINDOWS TO BE INSTALLED AT SAME LOCATION AS EXISTING GLASS PLANE.







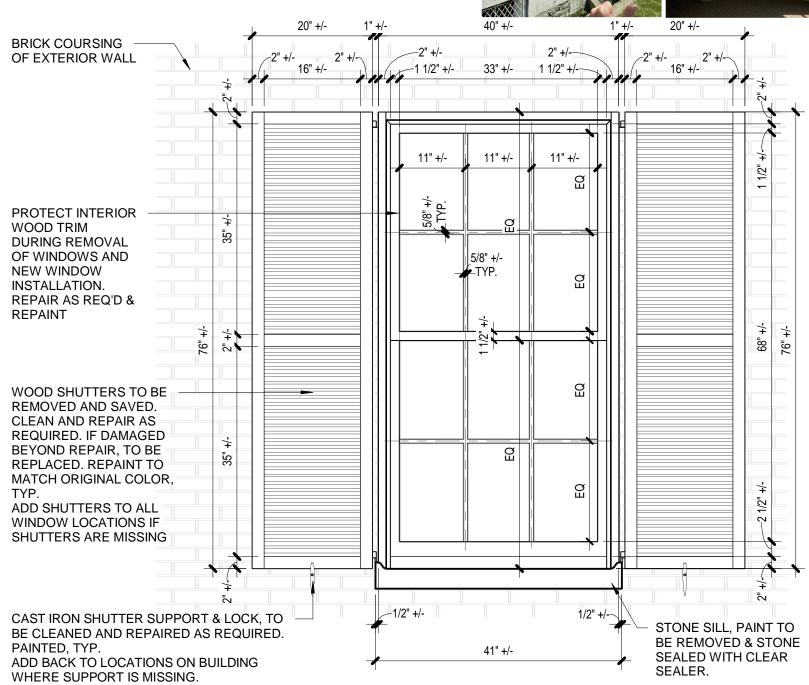


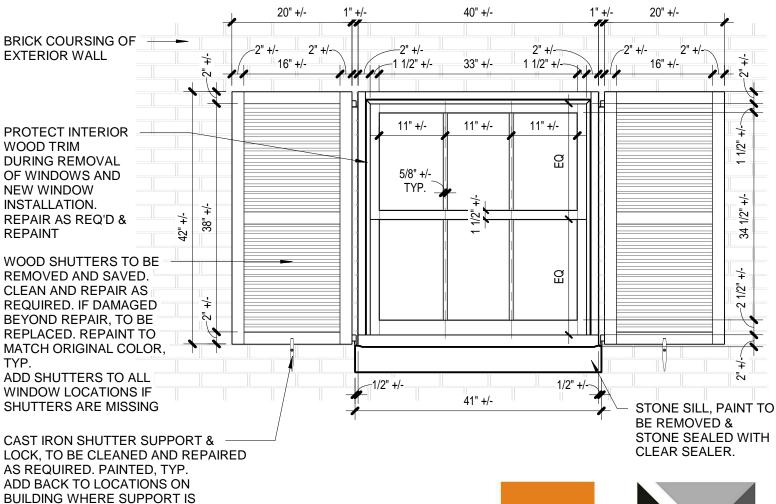












TYP. UPPER FLOOR WINDOWS 3/4" = 1'-0"

JSA DESIGN

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DAGNY TAGGART, LLC

93 PLEASANT ST. PORTSMOUTH, NH 03801

3/4" = 1'-0"

TYP. WINDOW ELEVATION

A4.1 - WINDOW ELEVATIONS

MISSING.

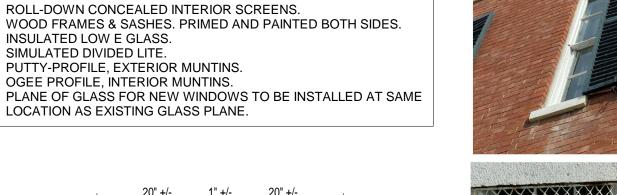
08/04/2021

McNabb Properties Ltd.

WINDOW NOTES:

- EXISTING WINDOWS ARE DOUBLE HUNG. NEW WINDOWS TO BE DOUBLE HUNG TO MATCH EXISTING.
- SPIRAL BALANCE.

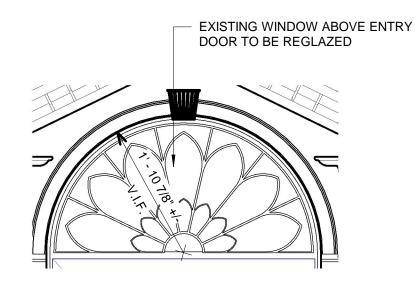
- LOCATION AS EXISTING GLASS PLANE.





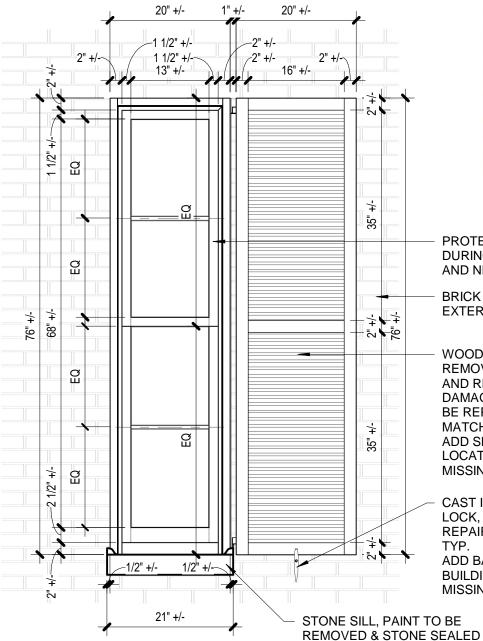






DECORATIVE TRANSOM @ ENTRY DOOR

3/4" = 1'-0"



PROTECT INTERIOR WOOD TRIM **DURING WINDOW REMOVAL** AND NEW WINDOW INSTALL

BRICK COURSING OF EXTERIOR WALL

WOOD SHUTTERS TO BE REMOVED AND SAVED. CLEAN AND REPAIR AS REQUIRED. IF DAMAGED BEYOND REPAIR, TO BE REPLACED. REPAINT TO MATCH ORIGINAL COLOR, TYP. ADD SHUTTERS TO ALL WINDOW LOCATIONS IF SHUTTERS ARE MISSING

CAST IRON SHUTTER SUPPORT & LOCK, TO BE CLEANED AND REPAIRED AS REQUIRED. PAINTED,

ADD BACK TO LOCATIONS ON **BUILDING WHERE SUPPORT IS** MISSING.

TYP. LOWER FLOOR WINDOWS 3/4" = 1'-0"

38" +/-30" +/-10" +/-10" +/-Ö ₽TYP. **EXISTING WHITE METAL GRATE IN FRONT OF** WINDOW TO BE **\(\frac{1}{2}\) REMOVED** 39" WINDOWS TO BE **REPLACED WITH** Ö LAMINATED GLASS **CONCRETE WINDOW** WELL WALLS, REPAIR AS REQUIRED

JSA

273 CORPORATE DRIVE PORTSMOUTH, NH 03801

T 603.436.2551

WWW.JSAINC.COM

DESIGN

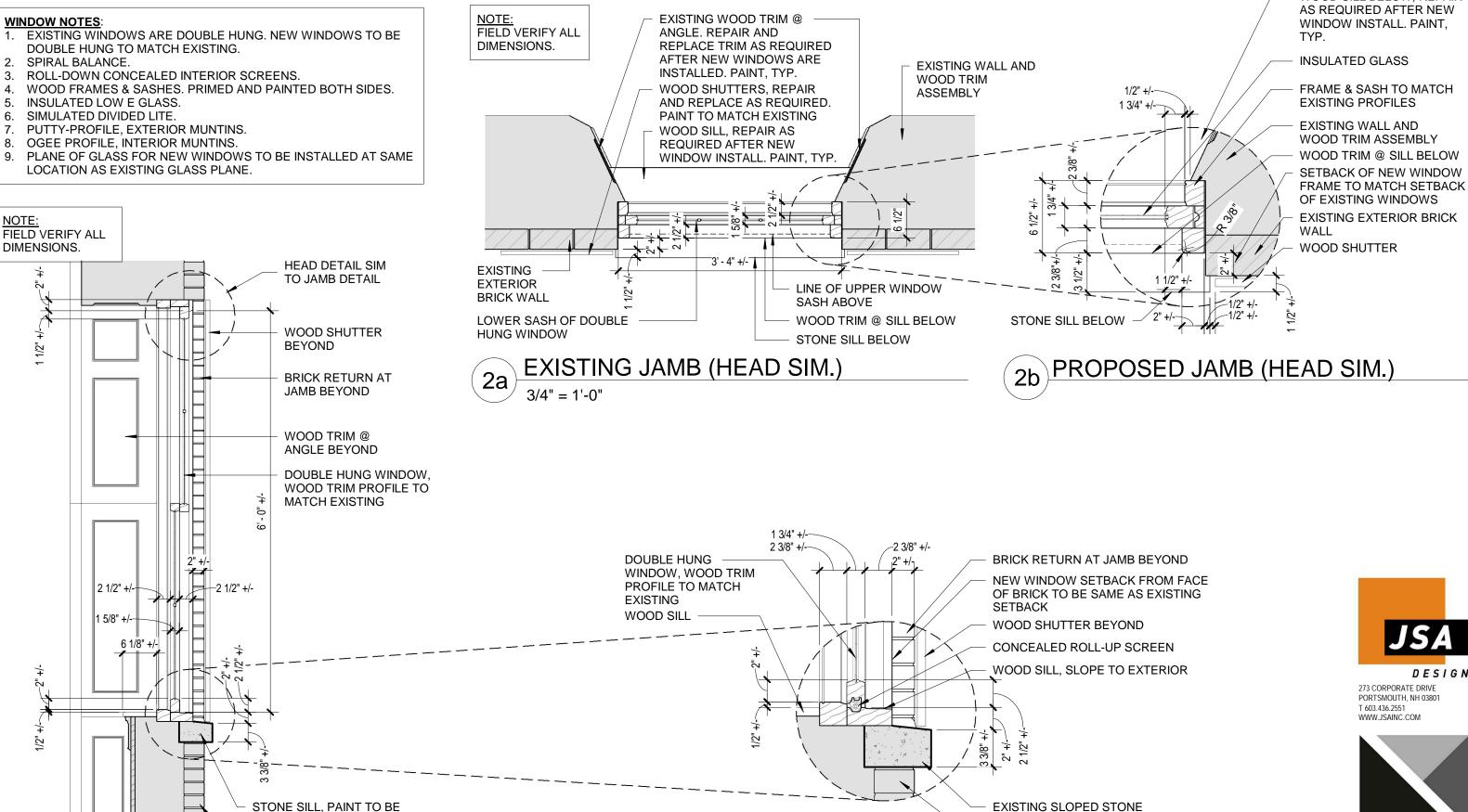
DAGNY TAGGART, LLC

McNabb Properties Ltd.

TYP. UPPER FLOOR NARROW WINDOW

WITH CLEAR SEALER.

3/4" = 1'-0"



DESIGN



3/4" = 1'-0"

1a

EXISTING SILL

STONE SILL. PAINT TO BE

REMOVED AND SILL TO BE SEALED WITH CLEAR SEALER

EXISTING BRICK WALL

PROPOSED SILL

EXISTING BRICK WALL

Historic Replication

Built to Specification with Historic Accuracy

Complete Units or Replication Sash Only

Window & Door Types

Hung Windows

- . Weight & Chain
- · Concealed Spiral Balance
- . Single, Double, Triple Hung
- . STC/OffC Tested Units

Casements

- . Inswing & Outswing
- · French & Single

Rotating Windows

- · Awnings & Hoppers
- · Pivot Windows

Fixed Windows

- · Direct Set.
- · Sash Set

Door Systems

- · Residential Systems
- · Historic Storefront
- · Commercial Entrances

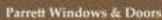
Sash Only & Components

Production Capacity for Any Size Project

Design Engineering and Auto CAD Services are Standard

Vintage, Art Glass, and Contemporary Glass Choices







Parrett's mission is to provide our valued customers with the best value in the historic replication market. Parrett manufactures our products utilizing quality materials, the latest automation in technologically advanced equipment complimented by a very talented, experienced staff of employees. You can count on Parrett delivering on our mission. Our past performance speaks for itself and is the basis for our nationwide recognition in being a leader in the historic replication market.

Joinery Options



French Mitre Blind Mortise & Tenon



Coped Blind Mortise & Tenon



Historic Mortise & Tenon

Vintage Glass Examples





Parrett works with a variety of glass manufacturers to source vintage glass that is available as single pane, insulated, and safety tempered glass.

Parrett can specify glass to match the time period of your specific project.

1-800-541-9527

Factory Finishing



A stain & clear coated mahogany door corner sample is pictured above. Parrett's factory finishing options include:

- · Primed Wood Surfaces
- . Stain & Clear Coated Wood Surfaces
- · Poly Painted Surfaces
- · Kynar Painted Clad Surfaces
- Anodized Clad Surfaces
- · Woodgrain Finish Clad Surfaces

Traditional Hardware







Our high performing units will stand the test of time and provide

superior weather performance as evidenced by our extensive 3rd party

to create the exact windows and doors that you envision. We welcome

any challenge and look forward to working with you to make your

comfort of working with a company that will deliver.

Parrett can replicate virtually any muntin

pattern in TDL, SDL, or

Divided Lite Muntins

with insulated glass as removable muntins.

laboratory testing. At Parrett, we also pride ourselves with our flexibility

dreams a reality! Don't hesitate to call on Parrett and enjoy first hand the

Parrett can either specify hardware matching your criteria, or design our units to accommodate your desired hardware manufacturer.

Profile Replication

Parrett can work from a drawing,

template, or the original unit to

replicate the profiles of existing

profiles to choose from for

brickmoulds, muntin bars,

casings, etc.

units, and has countless standard

Historic Replication

Historic Profile Matching **Built to Specification**

True Divided Lite (TDL) Muntins or Simulated Divided Lite (SDL)

Traditional or Contemporary Hardware

Curved/Bent Glass and Frame Fixed & Operating Units

Sash Only & Parts/Accessories

Any shape is Available— Radius, Ellipse Top, Gothic, Variation, Custom Shapes



Window Screen Systems

- · Wood Framed Screens
- Aluminum Framed Screens
- · Inswing Hinged Screens
- Horizontal/Vertical Pull

*Various Mesh Choices

Precision Joinery Options Complete Unit Accessories Factory Finishing Capabilities Choice of any Wood Species

Sample Windows and/or Corner Samples are Available



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PROCON

DAGNY TAGGART, LLC



Fax: 1-877-238-2452

7/8" wide TDL bar

shown above.

Putty glazed

muntin bars

radius TDL

are shown

at right.



The checkrail detail above highlights the concealed spiral balances of this unit which allows only the beauty of wood to be seen.

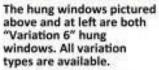
There is no need to settle for an unsightly exposed metal or vinyl balance system.

If you prefer a modern balance system for your hung window, you will find extra value and appreciation for Parrett's concealed balance design. There is no unsightly metal or vinyl balance system or mechanical parts. What you will see is the beauty and warmth of wood throughout. Parrett's well recognized quality craftsmanship ensures that our single and double hung units will exceed your expectations.

Historic Hung Window Options







Unequal sash split units such as the one pictured above at left are also available as either cottage, reverse cottage, or custom sash split heights.



units are available in both weight & chain and spiral balance configurations, either with or without bent glass.

Muntins, brickmoulds, casings, and subsills are also available in curved window configurations.

Hung - Spiral Balance

Single Hungs | Double Hungs All-Wood or Extruded Aluminum Clad

All-Wood Exposed-No Unsightly Balance System or Exposed Vinyl Parts

Concealed Balance Systems Tested for 5,500 Operations

Concealed Balances are Easily Serviced in the Field

OITC/STC Tested Windows with Various Glass Makeups

Any Shape is Available including Gothic Tops, Variation Units, Curved Glass, and More



Parrett is unrivaled when it comes to extremely large hungwindows as seen in the example above.



Intricately shaped Variation style units were manufactured to fit these existing openings.



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Historic Portfolio - Residential















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DESIGN

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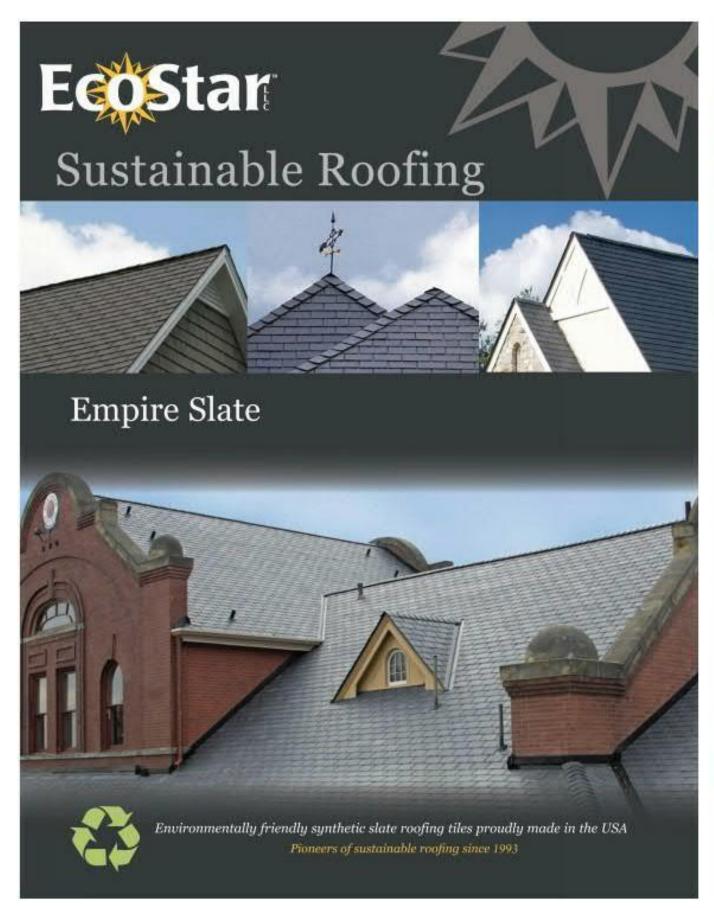


PROCON

DAGNY TAGGART, LLC



Fax: 1-877-238-2452



Empire Slate



Embracing the continued progression of sustainable building practices and recognizing the numerous challenges which have impacted economic conditions, EcoStar LLC proudly offers Empire Slate in its collection of premium steep slope roofing products.

Committed to preserving natural resources, EcoStar's Empire Slate is manufactured from a proprietary compound of recycled content which creates long lasting durability while providing superior protection against extreme weather conditions. Available in 14 standard colors, and unlimited custom color options, Empire Slate offers endless possibilities to achieve the beauty of natural slate at a fraction of the cost. Class A fire resistance (UL 790) is standard, making Empire Slate an exceptional choice for any commercial or residential roof.

The increasing awareness of the effects of climate change on the ecosystem and the ecosomy continues to influence standards for environmental responsibility. Empire Slate offers a solution to the obstacles imposed by escalating regulations on building practices and can provide significant cost savings on roof maintenance expenses, cooling expenses and property insurance.

Empire Slate Color Palette



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\$1.50 \$1.00 by Bother LLC, Brights and Engine this are pulmonts of British LLC for over-control over the available currents.

Advantages

- Weighs ½ to ½ as much as natural slate
- Significant property insurance discounts may be available when upgrading or building a roof to protect against bail*
- Cool colors help reduce energy used by air conditioning units, typically resulting in energy savings between 10-30%;

Architectural Flexibility

- Designer Series tiles can be blended together to add personal style to your home
- Staggered and offset installations accentuate roof texture and depth
- Available in 14 standard colors and unlimited custom color options
- Preserve the historical look in both residential and commercial buildings

Strength & Durability

- Provides superior durability and protection from extreme weather conditions that include wind, hall and driving rain
- Significant life cycle savings

Warranty Options

- 50-Year Limited Material Warranty available
- 50-Year Gold Star Labor & Material Warranty available
- 110 mph (177 kph) Wind Warranty available

Environmental Sustainability 🚭

- Manufactured with post-industrial recycled plastics
- Cool colors contribute to the mitigation of the urban heat island effect

Technical Information

- . UL listed Class A or C fire resistance (UL 790)
- UL Class 4 impact resistance (UL 2218)
- + Wind resistance to 110 mph (ASTM D3161)
- Prolonged UV Exposure (ASTM G155)
- UL Evaluation Report, AC07-UL ER18920-01
- Fungus resistant (ASTM G21-09)
- Minmi-Dade County, Florida NOA No. 17-1227.10 11/07/23
- Texas Dept. of Insurance Evaluation (RC-420)
- May contribute to LEED® points
- Manufactured in strict adherence to ISO 9001:2015 Quality Management



42 Edgewood Drive | Holland, NY 14080 800.211.7170 | www.ecostarile.com



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PROCON CONSTRUCT

DAGNY TAGGART, LLC



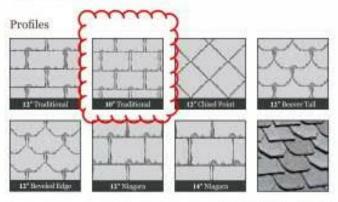
Innovative Design, Classic Slate Look

EcoStar Slate

Post-industrial recycled compounds are utilized to create a lightweight and environmentally responsible alternative to natural slate. An EcoStar roof offers beautiful, yet proven protection for your most prized investment. It is an inspiration to homeowners looking for affordable style and uncompromised performance.

Significant advantages:

- Weights significantly less than real slate
- Protects against extreme weather conditions
- Reduces need for maintenance and repair
- · Lessens environmental impact
- Exceeds industry performance standards
- · 50-year warranty



Achieve a custom look by A combining multiple profiles

Product Offering

teramon









The right tile for any property

Whether you are looking to elevate the look of a residential property, meet the performance needs of a commercial property, or preserve the look of a historical property, Ecostar offers the right tile.

Majestic Slate

EcoStar's original eco-friendly tile, made of 80% recycled materials, meeting the needs of most residential applications.

ummin

Empire Slate

The same classic slate look with additional energy-saving benefits, and design features that meet the needs of commercial and historical properties.

Traditional vs. Niagara

The Niagara Slate profile is available in the Majestic and Empire formulas, but offers an increased tile size and thickness for enhanced shadow lines and increased aesthetic appeal.

	Majestic Slate		Empire Slate	
Tile Features	Traditional	Niagara	Traditional	Niagari
Percent Recycled Material	80%	80%	25%	25%
Tile Widths	10", 12"	12', 14'	10",12"	127,147
Tile Thickness (at butt edge)	1/4"	5/8"	1/4*	5/8"
Exposure	6,7	9',10'	6,7,8	95,101
Cool Colors	No	No	Yes	Yes
Fire Rating	Class C	Class C	Class A	Class A
Impact Rating	Class 4	Class 4	Class 4	Class 4
Designer Tiles	Yes	No :	Yes	No

Cool Colors

Enjoy additional energy savings from our line of cool colors, only available in Empire tiles

Note: Cool colors sire also available in non-cool formulas

Bedford General Grove Gr	
Manhattan Midnight Freeport Federal Cool Saranac Hamp Harb Cool Sea Salt Acorr Cool Drifting Mont	
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