

**MEETING OF  
THE HISTORIC DISTRICT COMMISSION**

**1 JUNKINS AVENUE  
PORTSMOUTH, NEW HAMPSHIRE  
EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

*Members of the public also have the option to join the meeting over Zoom  
(See below for more details)\**

**6:30 p.m.**

**July 07, 2021**

**AGENDA (revised on July 02, 2021)**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. APPROVAL OF MINUTES**

1. June 02, 2021
2. June 09, 2021

**II. ADMINISTRATIVE APPROVALS**

1. 14 Mechanic Street
2. 32 Pickering Street
3. 165 Court Street
4. 15 Middle Street
5. 306 South Street
6. 166 New Castle Avenue
7. 241 Middle Street
8. 125 Bow Street
9. 60 Penhallow Street
10. 60 Penhallow Street
11. 553 Islington Street
12. 49 Hunking Street
13. 124 State Street
14. 290 Pleasant Street, Unit #6
15. 6 Rock Street, Unit #4

**III. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of **KWA, LLC, owner**, for property located at **165 Court Street**, wherein permission is requested to allow new signage and a mural on the southwest wall of the existing



structure as per plans on file in the Planning Department. Said property is shown on Assessor Map 116 as Lot 27 and lies within the Character District 4 (CD4) and Historic Districts.

2. Petition of **Martingale, LLC, owner**, for property located at **99 Bow Street**, wherein permission is requested to allow new construction to an existing structure (expand existing deck and dock structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 54 and lies within the Downtown Overlay, Character District 5 (CD5) and Historic Districts.

3. **REQUEST TO POSTPONE-** Petition of **William T. & Susan Manfull, owners**, for property located at **12 South Street**, wherein permission is requested to allow new construction to an existing structure (construct a 1-story addition at the rear of the structure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 42 and lies within the General Residence B (GRB) and Historic Districts.

4. Petition of **Warner House Association, owner**, for property located at **150 Daniel Street**, wherein permission is requested to allow the construction of a new freestanding structure (2-story carriage house) and the installation of mechanical equipment (A/C condenser) as per plans on file in the Planning Department. Said property is shown on Assessor Map 106 as Lot 58 and lies within the Downtown Overlay, Civic and Historic Districts.

5. Petition of **John Durkin, owner**, for property located at **564 Middle Street**, wherein permission is requested to allow renovations to an existing structure (replace (3) existing windows and create new side and rear windows and doors) as per plans on file in the Planning Department. Said property is shown on Assessor Map 147 as Lot 11 and lies within the Mixed Research Office (MRO) and Historic Districts.

6. Petition of **Susan Alex Living Trust, Susan Alex Trustee, owner**, for property located at **50 Mt. Vernon Street**, wherein permission is requested to allow new construction to an existing structure (add dormers to existing garage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 111 as Lot 29 and lies within the General Residence B (GRB) and Historic Districts.

7. Petition of **Neal Pleasant Street Properties, LLC, owner**, for property located at **420 Pleasant Street**, wherein permission is requested to allow new construction to an existing structure (remove existing rear entryway, replace existing south east addition with added rooftop deck, construct 3-story stair enclosure, and construct new rear entry porch) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as Lot 56 and lies within the General Residence and Historic Districts.

8. Petition of **LAXMI Realty, LLC, owner**, for property located at **33 Gardner Street**, wherein permission is requested to allow renovations to an existing structure (replace removed chimney) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 16 and lies within the General Residence B (GRB) and Historic Districts.

#### IV. ADJOURNMENT

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy*

*and paste this into your web browser:* [https://zoom.us/webinar/register/WN\\_T-v5qnEShOqydqsmOZCCg](https://zoom.us/webinar/register/WN_T-v5qnEShOqydqsmOZCCg)

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EILEEN DONDERO FOLEY COUNCIL CHAMBERS**

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(See below for more details)\**

**6:30 p.m.**

**July 14, 2021**

**AGENDA**

*The Board's action in these matters has been deemed to be quasi-judicial in nature.  
If any person believes any member of the Board has a conflict of interest,  
that issue should be raised at this point or it will be deemed waived.*

**I. ADMINISTRATIVE APPROVALS**

1. 21 Humphrey's Court

**II. CERTIFICATE OF APPROVAL- EXTENSION REQUESTS**

1. Petition of **Mill Gate Condominium Association, owner, and Lassen Family Revocable Trust, Charles L. and Susan E. Trustees, applicants**, for property located at **19 South Street, Unit 1**, wherein permission is requested to allow a 1-year extension of the Certificate of Approval originally granted on August 05, 2020 for exterior renovations to an existing structure (on the rear elevation remove one window and one door and add two new windows and new patio door) as per plans on file in the Planning Department. Said property is shown on Assessor Map 102 as lot 53-1 and lies within the General Residence B (GRB) and Historic Districts.

**III. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of **Stone Creek Realty, LLC, owner**, for property located at **53 Green Street**, wherein permission is requested to allow the demolition of the existing structure and the new construction of a 3-5 story mixed-use building) as per plans on file in the Planning Department. Said property is shown on Assessor Map 119 as Lot 2 and lies within the Character District 5 (CD5) and Historic Districts.
2. Petition of **Ten State Street, LLC, owner**, for property located at **10 State Street, Unit D**, wherein permission is requested to allow renovations to an existing structure (create new State Street entrance with vestibule within the existing entrance footprint) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 4-4 and lies within the Character District 4 (CD4) and Historic Districts.

3. Petition requested by **Stephen G. Bucklin, owner**, for property located at **322 Islington Street**, wherein permission is requested to allow new construction to an existing structure (new foundation for existing carriage house and construction of 1 story addition to existing main house) and exterior renovations (new trim and siding on the east and north elevations) as per plans on file in the Planning Department. Said property is shown on Assessor Map 145 as Lot 3 and lies within the Character District 4-L2 (CD 4-L2) and Historic

#### IV. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission is requested to allow new construction to an existing structure (add a 3-story addition and create new entry points to the Worth Lot) and additional site improvements as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

#### V. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **238 Deer Street, LLC, owner**, for property located at **238 Deer Street**, wherein permission is requested to allow the demolition of the existing structure and the construction of a new 3-4 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

B. **REQUEST TO POSTPONE-** Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street**, wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

C. Work Session requested by **Dagny Taggart, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (renovations of existing building) and new construction to an existing structure (construct 3-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4) and Historic Districts.

D. **REQUEST TO POSTPONE-** Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

E. **REQUEST TO POSTPONE-** Work Session requested by **Ross D. Ellenhorn and Rebecca J. Wolfe, owners**, for property located at **279 Marcy Street, Unit #3**, wherein permission is requested to allow new construction to an existing structure (construct recessed deck on 3<sup>rd</sup> floor) as per plans on file in the Planning Department. Said property is shown on

Assessor Map 103 as Lot 45-3 and lies within the General Residence B (GRB) and Historic Districts.

F. **REQUEST TO POSTPONE**- Work Session requested by **Mary H. and Ronald R. Pressman, owners**, for property located at **449 Court Street**, wherein permission is requested to allow renovations to an existing structure (add 4<sup>th</sup> floor addition and roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

## **VI. ADJOURMENT**

*\*Members of the public also have the option to join this meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser: [https://zoom.us/webinar/register/WN\\_xT9FjB7QRQKa85D-qWoNTg](https://zoom.us/webinar/register/WN_xT9FjB7QRQKa85D-qWoNTg)*

**MINUTES of the  
HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NH**

**Remote Meeting Via Zoom Conference Call**

Per NH RSA 91-A:2, III (b) the Chair has declared the COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2021-06, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

**6:30 p.m.**

**June 02, 2021**

**MEMBERS PRESENT:** Acting-Chairman Jon Wyckoff; Members Reagan Ruedig, Margot Doering, Martin Ryan, David Adams, and Daniel Brown; City Council Representative Paige Trace; Alternates Karen Bouffard and Heinz-Sauk Schubert

**MEMBERS EXCUSED:** None

**ALSO PRESENT:** Nick Cracknell, Principal Planner, Planning Department

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Acting Chair Wyckoff moved to nominate Ms. Doering as Acting Vice-Chair. City Council Representative Trace seconded. The motion **passed** by a vote of 6-1, with Mr. Ryan voting against the motion.

**I. APPROVAL OF MINUTES**

**1. May 05, 2021**

The May 5 minutes were approved as amended.

**2. May 12, 2021**

The May 12 minutes were approved as presented.

**II. ADMINISTRATIVE APPROVALS**

**1. 379 New Castle Avenue**

The request was to construct a small roof with support brackets on the front door, replace garage windows and doors, and relocate a heat pump to the rear of the garage with a fence on the street side. Acting Vice-Chair Doering said the garage doors looked too small to have

twelve lights. Architect Anne Whitney was present and said the doors were two 8-ft doors that would each normally have six lights.

## **2. 33 Johnson Court**

Mr. Cracknell said the Commission asked the applicant for more details on the windows and a spec for the kitchen. The applicant's representative Justin Heald was present and said the client wanted the Andersen 400 series Fibrex picture window to replace the double-hung window. He said Windows 1 and 3 were also double-hung windows.

**Stipulation:** the double hung windows shall have half screens.

## **3. 14 Mechanic Street**

The request was to install two wrought-iron railing systems, one on the front steps and one on the rear of the building along the balcony, and lights. City Council Representative Trace said the front railing looked inappropriate and nothing showed how the handhold would terminate. Mr. Adams noted that the drawings and details were different. Ms. Trace said the back railing was also inappropriate due to its decoration for that particular house in that location. Mr. Ryan said the handrails were labeled as genuine hand-forged railing terminations. Ms. Ruedig agreed but thought the design itself looked too commercial. She suggested that the applicant space the vertical balusters a bit further apart to make the design more elegant. Acting-Chair Wyckoff suggested postponing the item to the June 9 meeting due to the controversy. Acting Vice-Chair Doering noted that the railing on the back was on the modern addition.

The item was **postponed** to the June 9 meeting.

## **4. 254 South Street**

The request was to amend an approved design by changing the screening on the condenser to a fence that matched the existing fence on the property.

## **5. 241 South Street**

Mr. Cracknell said the applicant was previously approved for a garage on the side of the house and a porch in the back but now wanted to make design modifications to the windows on the back and replace the garage window and door. He said the windows on the back of the garage and the porch would be modern plate glass and the back windows would be double hungs to match the house. The garage would have new doors. The applicant Guy Spiers was present and reviewed the item. He said the existing windows were sliders but that they wanted to have double hungs instead. He said there was originally going to be a door from the porch to the outside, but they now wanted just a window. He said all the new windows and doors had the same manufacturer as the existing ones.

Ms. Ruedig noted that half-screens would be necessary. City Council Representative Trace said the side entry door was indicated to be fiberglass. Mr. Spiers said it was previously

approved and wouldn't be seen from the street. Mr. Cracknell asked if the previously-approved window on the porch was vinyl clad. Acting-Chair Wyckoff said the outside of the window was Fibrex, so it was a vinyl window and should be allowed in that location. Mr. Ryan said the sliding windows were being replaced with double hungs, so he could approve it. Ms. Ruedig said the Commission generally didn't approve vinyl windows anywhere in the District, and she suggested a window with better cladding on the exterior.

*It was moved, seconded, and **passed** unanimously (7-0) to pull the item from the group and vote on it separately.*

Mr. Adams said a plastic window on South Street wasn't appropriate and thought the application didn't have enough information. City Council Representative Trace agreed. Ms. Ruedig said he had no problem swapping out the doors or replacing the porch door, and no problem with the fiberglass doors if it was stipulated that they be smooth and field painted. She said her only concern was the vinyl windows.

*Mr. Adams moved to **postpone** the item to the June 9 meeting to give the applicant time to gather more information. Ms. Ruedig seconded. The motion **passed** unanimously, 7-0.*

## **6. 205 Market Street**

Architect Carla Goodnight was present on behalf of the applicant. She said there were requests for 15 minor changes, including replacing storm windows and gutters, repairing the masonry, repointing the brick, and adding copper downspouts, two shutters, and two commercial signs. She said most of the work would be done on the front elevation, and the brick and woodwork on the back and sides of the building would be restored.

Ms. Ruedig asked if cleaning the side elevations would erase the wonderful painted signage on the brick. Ms. Goodnight said there was a lot of deterioration at the bottom layer and that she wouldn't know until they started working on it. Ms. Ruedig asked that the painted signage be retained as much as possible because it told the building's story and was an important part of the building's character. She asked if the vinyl shutters on the sides would remain, and Ms. Goodnight said they would for now. Mr. Ryan asked if the storm windows were just in the back or throughout the building. Ms. Goodnight said they would be replaced where they currently were. She said the windows on the waterside were newer and insulated. Acting Vice-Chair Doering asked if the bracket for the electrical conduit to the old sign would come off. Ms. Goodnight said the whole thing would be removed.

At this point, City Council Representative Trace recused herself, and Alternate Sauk-Schubert took a voting seat.

*It was moved, seconded, and **passed** by unanimous vote to pull the item out and vote on it separately.*

Mr. Adams said the old sign paintings were charming and historic and hoped they would be kept. He said the shutters were built in an old technique, and he asked if they would be re-



riveted. Ms. Goodnight discussed how they would pull the weight of the shutters off the pintles and attach them to the front façade with stainless steel. She said everything would occur behind the steel plate. She said the metal plates were 1/8" thick and that mounting them in pintles would determine the distance off the building. She said the brackets would be sized to support them and would remain in the same spot, and the mounts would go into the mortar.

*Ms. Ruedig moved to **approve** the item, with the following **stipulations**:*

1. The existing conduit shall be removed.
2. The applicant shall preserve as much of the existing sign on the North wall during the repointing process.
3. The mounts for the shutters shall be located within the mortar instead of the bricks.

Mr. Adams asked that a mockup be done on site to demonstrate the shutter handling technique before doing it on all the windows.

*Mr. Cracknell added a fourth **stipulation**:*

4. A mockup of the first shutter shall be approved by the Commission on a site walk.

*Mr. Brown seconded. The motion **passed** by unanimous vote, 7-0.*

## **7. 100 Market Street**

The request was to reduce the upper window band.

## **DECISION OF THE COMMISSION**

*Ms. Ruedig moved to **approve** Items 1, 2 and 4, with the stipulation as noted on Item 2. Acting Vice-Chair Doering seconded. The motion **passed** by unanimous vote, 7-0.*

City Council Representative Trace recused herself from the following vote, and Alternate Bouffard took a voting seat.

*Ms. Ruedig moved to **approve** Item 7, 100 Market Street, as presented. Acting Vice-Chair Doering seconded. The motion **passed** by unanimous vote, 7-0.*

## **8. 66 Marcy Street**

Mr. Brown recused himself.

Mr. Cracknell said the request was to replace the shrub edge near the former restaurant Mombo at Strawberry Banke with a wrought-iron fence. Acting-Chair Wyckoff said the proposed fence was a tubular one and not wrought iron. Mr. Adams asked if the fence was too modern as an entrance to Strawberry Banke and whether it was a suitable material. Acting Vice-Chair Doering said she'd have a hard time supporting it because the fence would stick out like a sore thumb and would be a lot of modern railing right at the entrance to Strawberry

Banke. Ms. Ruedig agreed and thought a full wooden fence would be more appropriate, especially since hundreds of people would be walking by it. The applicant Ryan Lent was present and said they chose the fence because it had a classic wrought-iron college look. He said a wooden fence would be cost-prohibitive. City Council Representative Trace said it was an entrance to a museum and one of the most walked sidewalks in the city, and that a more historically-appropriately fence was needed. Strawberry Banke President and CEO Larry Yerdon was present and said they would return with a wooden fence that reflects the architecture of the building.

*Mr. Adams moved to **postpone** the item to the June 9 meeting, and City Council Representative Trace seconded. The motion **passed** by unanimous vote, 7-0.*

### **III. PUBLIC HEARINGS (NEW BUSINESS)**

1. Petition of **110-112 Court Street Condominium Association, owner, and Beth Goddard, applicant**, for property located at **110 Court Street, Unit #3**, wherein permission was requested to allow renovations to an existing structure (remove existing chimney) as per plans on file in the Planning Department. Said property is shown on assessor Map 116 as Lot 39-3 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

Ms. Bouffard recused herself from the petition.

#### **SPEAKING TO THE PETITION**

The applicant Beth Goddard was present and said the chimney was crumbling. She said it didn't connect to anything and there was no fireplace.

Acting Vice-Chair Doering asked if there were other repairs in addition to removing the chimney, and the applicant said no. Acting Vice-Chair Doering said she looked at the house and noted 13 other chimneys on other buildings in the area. She said the chimney's location was the back of the house with regard to Court Street but that it was very visible from Rogers Street. Mr. Ryan said the chimney most likely served as a woodstove in the past and wasn't an integral part of the house and that he could approve its removal. Mr. Adams said it looked like a kitchen ell or summer kitchen and that there would have been two coal stoves attached to the chimney. He said there were still bishop's caps on it and that he was reluctant to give up on it. Ms. Ruedig agreed that the chimney spoke to the history of the use of the house but said she wouldn't call it a character-defining feature. She said it was tall and seemed to need major repairs. Mr. Brown said the chimney was very visible from Rogers Street. City Council Representative Trace agreed that the chimney was visible from Rogers Street. The applicant said the house was located near a middle school where children were on the street all the time, and the chimney could be a safety issue by potentially falling. Mr. Adams said if the chimney wasn't safe enough for people to walk by, then the applicant was liable until the chimney was fixed. He said all chimneys in Portsmouth were anachronistic and were mostly appendices on houses, so it wasn't important that the chimney had no use in the applicant's home. He said it was a defining feature of the house and that the house was already missing a chimney on the north side.

Acting Chair Wyckoff opened the public hearing.

### **SPEAKING IN FAVOR OF THE PETITION**

Doctor Paul Spieler said he was the co-owner of the condo and thought the idea that the chimney was an architectural feature that defined the community was nonsense.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one else was present to speak, and Acting Chair Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition as presented, and Ms. Ruedig seconded.*

Mr. Ryan said the project would conserve and enhance property values and was compatible with the design of surrounding properties.

*The motion failed by a vote of 6-1, with only Mr. Ryan voting in support.*

Acting Vice-Chair Doering said she voted against the petition because the chimney was similar to the rest of the surrounding features, so the petition did not meet the criteria of being consistent with the special and defining features of surrounding properties.

2. Petition of **Strawbery Banke, Inc., owner**, for property located at **0 Washington Street (Strawbery Banke)**, wherein permission was requested to allow renovations to an existing structure (foundation, clapboards, window and door repairs) and new construction to an existing structure (create new front porch) as per plans on file in the Planning Department. Said property is shown on Assessor Map 108 as Lot 8 and lies within the Mixed Research Office (MRO) and Historic Districts.

### **SPEAKING TO THE PETITION**

Rodney Rowland, Strawbery Banke Director of Facilities, was present to speak to the petition. He gave a short history of the Penhallow House restoration project and said the only changes to the building would be the removal of the 1980 bathroom entrances, putting back a full porch in the back of the building, and returning one of the chimneys.

In response to the Commission's questions, Mr. Rowland said the porch would have an enclosed railing and that there might be an interior sheathing board within the clapboarded wall. Ms. Ruedig said she was glad to have photo documentation and evidence of what was there.

Acting-Chair Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one was present to speak, and Acting-Chair Wyckoff closed the public hearing.

## DECISION OF THE COMMISSION

*Mr. Adams moved to **grant** the Certificate of Certification for the petition as presented, and City Council Representative Trace seconded.*

Mr. Adams said the project would enhance the values of properties on the street and contribute to the architectural value of the community.

*The motion **passed** by unanimous vote, 7-0.*

3. Petition of **64 Vaughan Mall, LLC, owner**, for property located at **64 Vaughan Street**, wherein permission was requested to allow new construction to an existing structure (add a 3-story addition and create new entry points to the Worth Lot) and additional site improvements as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 1 and lies within the Character District 5 (CD5), Downtown Overlay, and Historic Districts.

## WORK SESSION

The applicants Steve Wilson and architect Mark Mueller were present to speak to the petition. Mr. Mueller reviewed the petition, noting that the property was divided into the old building and the new. Mr. Wilson said they needed the Commission's opinion about putting either artwork on that side of the building or adding two more storefronts.

Acting Vice-Chair Doering said the Worth Lot could use all the artwork it could handle, as well as the back sides of all those buildings. Ms. Bouffard said the storefront windows were more appropriate. Mr. Ryan agreed and said the storefront windows were more relatable to pedestrian traffic. He also noted that vehicles would be parked right up against that façade. Ms. Ruedig said she thought any sort of art within good reason would improve the wall. She said the two storefront windows would be fine but there were plenty of storefront windows, and breaking up the wall with art would be more pleasing and preferable. City Council Representative Trace agreed. Mr. Sauk-Schubert said art included urban art and 3-dimensional objects like sculpture, and he thought the space would look different in 10 years or so. He said he saw it as a huge plaza rather than a parking lot, noting that the buildings along Congress Street on that side would not remain 2- or 3-story buildings, and thought the concept of that space remaining a parking lot was inconceivable and should have 3-dimensional art. Mr. Ryan said it was a good compromise and suggested that the storefronts slide to the left of the building and the art panel be placed at the corner so that it would be more visible. Mr. Wilson said there was painted signage inside the building that could be replicated to define the building's origins. He asked that the old building be approved before the new building. There was discussion about whether the petition would be bifurcated so that the new building would just have a work session.

Mr. Mueller discussed the new building's materials. Acting Vice-Chair Doering said the granite base might be too tall on the Hanover Street side. Mr. Ryan said the Hanover Street corner

looked like a skylight configuration in the 3D model and was awkward. He said the base, the body, and the top were well proportioned but suggested that the balconies would look more solid if they had more of a screen approach. Mr. Adams said what was done on the open corners for balconies was an improvement but thought that what appeared to be holes in the roof could be handled better. He said he was on board with what the applicant was doing in that corner. City Council Representative Trace suggested that the holes in the roof may look more appropriate by making the opening a proper vertical one like an oval window with the roof over it. Acting Vice-Chair Doering said the material choice for the mesh screens on the balconies looked like chain link-fence industrial and that she'd like to see other options. Ms. Ruedig said the granite was done well and she was fine with the double siding but would like to see more of it in a better rendering with some color. She said the mansard roof building hadn't changed much.

### **Public Comment**

There was no one present to speak.

### **DECISION OF THE COMMISSION**

*Ms. Ruedig moved to **bifurcate** the petition into two parts: the discussion of the existing building and its renovation, and its new addition in the back.*

She said the Commission would vote on the existing building and continue the discussion of the new addition to the June 9 meeting.

*Mr. Ryan seconded. The motion **passed** by unanimous vote, 7-0.*

*It was moved, seconded, and **passed** by unanimous vote to **close** the work session and go into a public hearing.*

### **SPEAKING TO THE PETITION**

Mr. Wilson reviewed the old building's roof plan and referred to the work session discussion. He said the rear wall would look a lot better when it was exposed.

Mr. Ryan noted that there was a huge change in the economy. He said if the Commission approved the application, a stipulation might be necessary in case the applicant decided not to build the new building. Mr. Wilson said they wouldn't stop the project due to finances. Mr. Ryan asked the applicant if he was holding off on discussing the demolition of the footprint of the new building. Mr. Wilson said they would discuss it at the next meeting. He said they would leave the public art space alone until they had input from the community as to what form it would take. Ms. Ruedig said a mural was a good option. She asked for clarification of the screening, noting that it was odd to have an entire opening screened off and made it look like something for an underground garage. Mr. Mueller said it was a balcony or an inset patio for the unit and would look like the one next to it. Ms. Ruedig said it was important to keep the original fenestration and have real windows instead of a recessed hole. Mr. Adams said if it didn't meet code, the Commission would need to see what the ceiling and walls were. He said they were seen at an

angle instead of straight on, and if it was a six foot-deep space, they had to know what the materials were. He asked how the Portwalk side windows were permitted, noting that there was an agreement with the neighbor. Mr. Cracknell said it had been done before, and as long as there was a 5-ft easement that was a no-build area, fire requirements could be met.

Mr. Wilson further discussed the openings. Ms. Ruedig said she had no problem with that type of balcony on new construction but noted that the applicant said they would restore the historic building, and they were leaving a punched opening instead. She said she couldn't accept it. Mr. Wilson said it was the only concession he was asking for. Acting Chair Wyckoff said it was disappointing that there were no window details presented. Mr. Wilson said they were clearly shown as recessed balconies and that he didn't think they would be controversial.

City Council Representative Trace asked how the 6-ft outdoor space would be accessed. Mr. Wilson said there was a slide with two panels that were the same size as double hung windows and that the mullions would match the patterns of the double hungs. Ms. Trace asked if it was true divided light. Mr. Wilson said it would be the same as the windows, but they were simulated divided lights and not true divided lights. Mr. Ryan suggested substituting the metal screen for something like a bi-fold shutter so that it looked more like a traditional enclosed window when it was closed. Mr. Wilson said it was just an opening with no screen.

Ms. Doering suggested that the two balconies on Vaughan Mall be removed from the approval and submitted as an administrative approval so that the Commission could see the details. Mr. Sauk-Schubert noted that part of the problem was because the applicant didn't comply with graphic standards, and if the openings were drawn in a darker line, they would be clearer.

Acting Chair Wyckoff opened the public hearing.

### **SPEAKING TO, FOR, OR AGAINST THE PETITION**

No one was present to speak, and Acting Chair Wyckoff closed the public hearing.

### **DECISION OF THE COMMISSION**

*Mr. Ryan moved to **grant** the Certificate of Approval for the petition (old building), with the following stipulations:*

- The applicant shall exclude the demolition of the rear addition.*
- The applicant shall be authorized to start renovation on historic portion of the building except for the two balconies on the Vaughan Mall side which shall not be installed until details and drawings are submitted for Administrative Approval.*
- Half screens shall be used.*

City Council Representative Trace seconded.

Mr. Ryan said the project maintained the special character of the District and retained the architectural and historic value of the existing structure.



*The motion **passed** by unanimous vote, 7-0.*

#### IV. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Dagny Taggart, LLC, owner**, for property located at **60 Penhallow Street**, wherein permission is requested to allow new construction of exterior art installations (for a previously approved new structure at the site) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 27 and lies within the Character District 4CD4), Downtown Overlay, and Historic Districts.

##### WORK SESSION

Architect Tracy Kozak, landscape artist Robbie Woodburn, and artists Vivian Beer and Alexander Golub were present. Ms. Kozak said the art installations would be part of the Brick Market development that was deemed outdoor community space for the development incentive. She said the artwork was exempt from HDC approval but that they were presenting it in the spirit of cooperation. She said the goal was to enhance pedestrian vitality and enliven public spaces and that the themes would be Portsmouth maritime history, celebration of women, and water/nature/curves. Ms. Beer and Mr. Golub presented their designs. Ms. Beer said a memorial foundation for Ruth Bader Ginsberg would be centered in the space, with two sculptures.

Acting Chair Wyckoff said the artists were talented and had fantastic ideas. Mr. Ryan said everything was terrific and that the art installations hid some of the lesser spaces. He said the only negative thing was the blue meditation piece that might be a bit underwhelming as a piece of art. He was concerned that people would climb and damage the woven wall section and suggested sloping some of the vertical surfaces. Acting Vice-Chair Doering said she was excited about the art but concerned that skateboarders might scratch and damage it.

##### DECISION

The applicant said they would **return** for an administrative approval.

2. Work Session requested by **238 Deer Street, LLC, owner**, for property located at **238 Deer Street**, wherein permission is requested to allow the demolition of the existing structure and the construction of a new 3-4 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 125 as Lot 3 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

##### WORK SESSION

Architect Jeremiah Johnson was present on behalf of the applicant. He said the request was to demolish the Staley building and build a 3-4 story mixed use building with one or two commercial places on the ground floor and either 400 or 500-s.f. micro units on the top floors. He reviewed the neighborhood context, floor plans, and massing.

Mr. Ryan said the massing was fine but that he didn't care for the single-column massing. Mr. Johnson said they would go before the Board of Adjustment for relief for a partial fourth story. Ms. Ruedig noted that the new building and an old one next to it had a variety of shapes and planes and, because of that, she thought the massing models that had more variation and openings were less monolithic and would fit in better. She said the building to be demolished wasn't a highly contributing one to the District but had a history that was worthy of being documented before it was taken down, and she asked that photograph documentation be given to the city and the Athenaeum to record what was there.

Mr. Adams asked why the floor plate of the old building looked like it was five feet off grade. Mr. Johnson said it was a combination of unsuitable soils and other conditions that warranted not going much deeper than what was already there. He said they wanted to leverage the basement for tenant storage and mechanical space in a portion of the building. Acting Vice-Chair Doering said the glass curtain wall on the corner was a contemporary and interesting touch because it was not only pulled back from the edge on the fourth floor, but the amount it was pulled back took away some of the flat roof feel and it also gave a maze-like quality. She said the overall size in relation to the context was appropriate. Acting Chair Wyckoff said the Commission seemed happy with the massing and that he looked forward to seeing more.

### Public Comment

Josh Denton of 110 Brewery Lane said the property was the first VFW post in New Hampshire. He said it was decided to build the building in the current footprint but there was no request for any land for parking, which was a large factor in selling the building to the current owner. He said he fully supported the project, primarily because of the micro units because Portsmouth needed more housing. He said it could also help veterans.

Andrew Bagley of 40 Chauncey Street said it was important for Portsmouth to have affordable places for young people in town to live in and that micro apartments were a good way to solve that challenge. He said it was a great project in a great location.

### DECISION OF THE COMMISSION

*Acting Vice-Chair Doering moved to **continue** the application to the July meeting, and Ms. Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

3. Work Session requested by **Ten State Street, LLC, owner**, for property located at **10 State Street, Unit D**, wherein permission is requested to allow renovations to an existing structure (create new State Street entrance with vestibule within the existing entrance footprint) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 4-4 and lies within the Character District 4 (CD4) and Historic Districts.

### WORK SESSION

The applicant wasn't present. Mr. Cracknell said it was a simple request for a recessed opening to the unit. Acting Vice-Chair Doering said the applicant could move to a full public hearing, and



other Commissioners agreed. Mr. Adams said the format of the building was clear but the window and door openings were resolved to be full brick and half brick. He asked how the applicant would handle that when they cut the opening into the side of the building, and what the brick would look like. He said there was too much information missing. Mr. Cracknell said the applicant would return for a public hearing and respond to the questions.

#### **DECISION OF THE COMMISSION**

*Ms. Ruedig moved to **close** the work session, and Acting Vice-Chair Doering seconded. The motion **passed** by unanimous vote, 7-0.*

#### **V. ADJOURNMENT**

The meeting was adjourned at 11:15 p.m.

Respectfully submitted,

Joann Breault  
HDC Recording Secretary

**MINUTES  
THE HISTORIC DISTRICT COMMISSION  
PORTSMOUTH, NH**

**Remote Meeting via Zoom Conference Call**

Per NH RSA 91-A:2, III (b) the Chair has declared the COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2021-06, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

**6:30 p.m.**

**June 09, 2021**

**MEMBERS PRESENT:** Acting Chairman Jon Wyckoff; Acting Vice-Chair Margot Doering; Members Reagan Ruedig, Martin Ryan, David Adams and Dan Brown; City Council Representative Paige Trace; Alternate Karen Bouffard

**MEMBERS EXCUSED:** Alternate Heinz Sauk-Schubert

**ALSO PRESENT:** Nick Cracknell, Principal Planner, Planning Department

.....

Acting Chairman Wyckoff noted that Administrative Approval Item 3 was postponed, and he asked for a motion.

*Ms. Ruedig moved to **postpone** Item 3, and Acting Vice-Chair Doering seconded. The motion **passed** by unanimous vote, 7-0.*

Acting Chairman Wyckoff asked for a motion to postpone Work Session B, D, E, and F.

*Acting Vice-Chair Doering moved to **postpone** Work Sessions B, D, E, and F, and Mr. Adams seconded. The motion **passed** by unanimous vote, 7-0.*

**I. ADMINISTRATIVE APPROVALS**

Mr. Brown recused himself from Item 4, 241 South Street. *It was moved, seconded, and passed unanimously to pull it for a separate vote.*

**Note:** The administrative approval items were not reviewed in sequence.

**1. 232 Court Street**

Mr. Cracknell said the changes related to the size and style of the dormer and the window conditions. He said the changes were all in the back of the house but were significant. The builder Gary was present and reviewed the Brosco windows and dormer design.

Acting Chairman Wyckoff asked why a 6/6 window was widened to 8/8. Mr. GARY said he didn't want a crank-out window. Mr. GARY discussed the rest of the windows. City Council Representative Trace asked if the second dormer was treated like the first. Mr. Cracknell said the dormer was approved to be larger than the other one and was in compliance and now matched. Ms. Trace said the applicant should have been aware that he was cutting into a historic structure to increase the kitchen window from a 6/6 to an 8/8. Mr. GARY said it was done by licensed engineers and met code. Ms. Trace said it wasn't reviewed by the Commission and that it was too wide and inappropriate. Mr. GARY said he invested heavily in the building and wasn't apprised of every detail by the builder. Acting Vice-Chair Doering agreed with Ms. Trace. She said that the Commission had a long discussion about the first dormer but allowed it, and the applicant did the second dormer without coming back for permission. Mr. Adams said he wasn't around for the initial approval but wondered why a dormer that didn't seem to line up with a single window below got approved. He said the back side of the building wasn't the most sensitive architectural part in town, but he thought it was a bad precedent for the dormer to just appear and the applicant to say the framer did it. Mr. Ryan agreed, noting that nothing lined up and the architecture was quirky, and he didn't like the fact that the rules were broken, but he said he could accept and approve it. He noted that the applicant was in the midst of COVID, which affected suppliers and meetings at City Hall.

*Mr. Ryan moved to **approve** the item as presented, and Ms. Ruedig seconded. The motion **passed** by a vote of 4-3, with Mr. Adams, Acting Vice-Chair Doering, and City Council Representative Trace voting in opposition.*

## **2. 21 South Street, Unit #4**

The request was to put a condenser under the deck, which already had a screen. Mr. Cracknell said the challenge was to come up with a conduit path to get to the second floor. He said the applicant presented two options and preferred Option A, and that the conduit would be field painted to match the siding. He noted that it would be on the back of the house. The Commission discussed Options 1 and 2. Ms. Ruedig said she preferred Option 2 because Option 1 would be noticeable due to its zigzag pattern. She asked if the conduit could be run from inside the house. The applicant ELLEN was present and said she didn't want to run it internally because of the cupboards and radiator. She said the conduit would only be visible to the houses at the end of the street. Mr. Adams said he was hesitant about the conduit going up the inside wall because of the age of the house, and that even though it faced the pond, it was at an oblique angle and wouldn't be very visible. Acting Vice-Chair Doering said she preferred Option 1 but thought either option was fine because the house was so far back. City Council Representative Trace agreed and said she could approve either option for that particular house in that particular situation and setting. Acting Chairman Wyckoff said the Commission wasn't setting a precedent because they considered each application separately.

*Ms. Ruedig moved to **approve** the item and accept the applicant's preferred option, Option 1. City Council Representative Trace seconded. The motion **passed** by unanimous vote, 7-0*

## **3. 14 Mechanic Street – Request to postpone**

*The item was postponed by unanimous vote, 7-0.*

#### **4. 241 South Street**

Mr. Cracknell said the Commission discussed the windows at the previous meeting and the applicant was asked to consider alternative cladding. He said the applicant proposed two window options, the Marvin Elevate or the Andersen A Series, both of which were fiberglass-clad windows that would be field painted. He said the applicant still wanted the fiberglass field-painted door on the garage that was approved for the side door before. He said the applicant preferred the Marvin Elevate window and a 2/1, 6/1, or 6/6 pattern.

Ms. Ruedig said all the preferred options by the applicant were acceptable and that she appreciated the upgraded window texture and materials.

#### **5. 66 Marcy Street**

Mr. Brown recused himself, and Alternate Bouffard took a voting seat.

Mr. Cracknell said a tubular metal fence was proposed at the previous meeting to replace the hedge near the Mombo restaurant but wasn't deemed appropriate because it was near a gateway to Strawberry Banke, so the applicant was now proposing a 4-ft wood fence.

Mr. Adams said it was a better alternative but thought it could be even better, noting that fencing for 18th and 19<sup>th</sup> century buildings had relationships to buildings on site rather than just the lot property lines. City Council Representative Trace agreed. She asked for clarification about where the fence or gate(s) might go because there was no drawing for it.

The applicant RYAN was present. He said the gates would remain in their existing location and the fence would go through the middle of where the hedge was currently. Ms. Trace said she assumed the fence would not go outside the City property line.

Ms. Ruedig suggested stipulating that the fence shall line up with the current locations of the gates. Ms. Trace asked that the hardware for the gate be in-kind with the typical black hardware used on gates in the District, and Mr. RYAN agreed and said he would return for approval for the recommended hardware.

*Mr. Ryan moved to **approve** the item with the following **stipulations**:*

- 1. The fence shall line up with the current locations of the gate; and*
- 2. The gate hardware shall be in-kind with the typical black hardware used on gates in the District.*

*The motion **passed** by unanimous vote, 7-0.*

#### **6. 229 Pleasant Street, Unit #2**

Mr. Cracknell said he had a site visit with the applicant and contractor to view the proposed locations of the condenser and conduit. He said the condenser was on the second and third

floors and there was a lot of conduit going up the building, with three heads coming off the condenser. He explained how it would work and said it was a good solution. He said the conduit would be field painted to match the siding and a better screen was proposed

City Council Representative Trace asked what happened to the gas line request. Mr. Cracknell said it could be stipulated that the gas line is not part of the approval and the applicant could return the following month. Acting Vice-Chair Doering asked if the conduit running off the condenser on the right side of the building would remain or be removed. Mr. Cracknell said it had already been approved for another condo unit owner and would remain. Mr. Ryan asked why one unit wasn't put on the inside of the property on the interior corner of the ell-shaped footprint and run up on the back side and into the unit. Mr. Cracknell said all the conduit would be on the outside of the building because there was no chase on that side to get to the upper floors, and it was further discussed. Ms. Ruedig said it was a much better solution than what was previously proposed, especially since it would be painted the same color as the house, and that it was also reversible.

*Ms. Ruedig moved to **approve** Items 4 and 6, with the following **stipulations**:*

- 1. The preferred options shall be acceptable, and*
- 2. The gas line shall be exclude from any approval on Item 6.*

*Mr. Ryan seconded. The motion **passed** by unanimous vote, 7-0.*

## **II. CERTIFICATE OF APPROVAL - EXTENSION REQUESTS**

Mr. Adams recused himself from both extension requests, and Alternate Bouffard took a voting seat.

1. Petition of **Jeffrey L. and Dolores P. Ives, owners**, for property located at **44 Gardner Street**, wherein permission was requested for a 1-year extension of the Certificate of Approval originally granted on July 01, 2020 to allow new construction to an existing structure (remove rear porch and replace with sunroom and expand kitchen bay) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103, Lot 42 and lies within the General Residence B (GRB) and Historic Districts.

### **DECISION OF THE COMMISSION**

*Acting Vice-Chair Doering moved to **grant** the request for extension, and Ms. Ruedig seconded. The motion **passed** by unanimous vote, 7-0.*

2. Petition of **Donna P. Pantelakos Revocable Trust, G.T. & D.P. Pantelakos Trustees, owners**, for property located at **138 Maplewood Avenue**, wherein permission was requested for a 1-year extension of the Certificate of Approval originally granted on July 01, 2020 to allow new construction to an existing structure (add 2<sup>nd</sup> story addition over existing garage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 124 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

### **DECISION OF THE COMMISSION**

*Ms. Doering moved to **grant** the request for extension, and City Council Representative Trace seconded. The motion **passed** by unanimous vote, 7-0.*

### **III. WORK SESSIONS (OLD BUSINESS)**

A. Work Session requested by **Stone Creek Realty, LLC, owner**, for property located at **53 Green Street**, wherein permission is requested to allow the demolition of the existing structure and the new construction of a 3-5 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 119 as Lot 2 and lies within the Character District 5 (CD5) and Historic Districts.

#### **WORK SESSION**

Project architect Carla Goodnight was present, with Jeff Dobson and Ron Simmons of Cathartes. Ms. Goodnight showed several renderings and reviewed the changes to the plans and elevations, details, and materials. The changes included painting the building's upper band dove gray instead of white, adding lintels above windows, changing window rhythms and patterns and switching to residential windows. She noted that the Technical Advisory Committee (TAC) approved the landscape plan. Mr. Simmons reviewed the garage and landscape plans and noted that they added more commercial space going toward the water to activate the path.

In response to Acting Vice-Chair Doering's questions, Mr. Simmons showed the location and extension of the proposed commercial space. He said the yoga and fitness amenities would be private. He said the road was a dead end with no sidewalk, so the majority of pedestrian traffic would go down the pathway and to the community park on the water. He agreed that the mowed section of lawn was 40x80 feet and said the Conservation Commission wanted long native grasses along the waterfront. Acting Vice-Chair Doering said the long grasses would not be usable community space. Mr. Simmons said the path would allow people to stop and sit on the wall, but the goal was for pedestrian traffic to follow the North Mill Pond to the park.

Mr. Ryan said he previously thought the project was a homerun but now thought it was a triple because it was dumbed down a bit. He said modern buildings should use modern materials and details. He said some of the details looked like clapboard and thought the lintels were a bit disingenuous but would give the building elements that were historic in appearance. He said it was still a great building but didn't like that it was muted down by the white band going to gray, noting that he liked the fact that it previously looked like a ship pulling into the harbor. He said he liked the commercial space but wished it was all the way to the water. He said the Green Street side improvements were wonderful and that the project overall was in a great shape. Ms. Ruedig said she still wasn't totally convinced. She thought the Green Street elevation was the most successful but could take or leave the cast stone cornice and lintels. She thought the cornice line at the top was an odd detail. She said the siding choice was interesting because it was a very contemporary take on clapboard siding, and she appreciated that it was gray instead of white. She said she wasn't thrilled with the view of the curves from the back side but thought the windows had improved by looking operable. She said some of the changes were improvements but didn't think it was a homerun. She said she preferred dark screening on the back of the

parking areas so that no cars would be seen, and she said the more ornate option would hide the cars better.

Mr. Adams asked if the post near the open balconies was painted metal. Ms. Goodnight said it would probably be steel and clad. Mr. Adams noted that there were several smaller balconies on the hotel side that looked different than a one-foot tall piece of C channel. Ms. Goodnight said it might just be a detail that would be better indicated at another time. Mr. Adams said the applicant had done a good job of listening to people and finding a balance. He said the building going from white to gray was probably due to the Commission's fears of the overwhelming nature of the building's size on that corner but said he found comfort in the gray color. He said he didn't care for the two parts of the building on the Green Street side and wasn't a fan of the open corners because it was the wrong statement and direction for the District. Mr. Brown said the building was a modern one and adaptations were necessary to bring it into the waterfront and into Portsmouth. He said the applicant did some great adaptations but lost a little color and sharpness. He said what remained was a fine building to see coming across the bridge or down Market Street. City Council Representative Trace said she agreed with Mr. Ryan's comments. She felt that some of the building's identity was lost when the applicant tried to please the mythical person that wants more traditional and less conservative elements in the building. She said she preferred a lighter color on the building than the dove gray and thought the inset corners on the Green Street elevation made the building too busy. She said she liked what was done on the North Mill elevation but thought the deck and stone area was previously further away from the pond and now was too close to the wetlands. She agreed that the darker elaborate grillwork should be used for the garage screen and thought the asymmetrical one made more sense on the lower level. Ms. Goodnight said they weren't opposed to the white color and thought a solution for the top floor could have a quality detail that didn't pop as much as a precast.

Acting Chair Wyckoff said he liked the lintels because they defined the opening. He said the problem he had with the dove gray color was the white windows that seemed to take away from the dove gray statement, and he thought the previous white and vertical siding gave the building a nautical effect. He said he liked the dark asymmetrical grillwork because it would hide things better and agreed that the Green Street elevation was busy, especially with the cutaway corners. He said the white columns stood out, and wrapping them with the stainless steel cable rail looked like an afterthought to cover up a mistake. He preferred that the columns be either darker or brick to add an element of visual support to the front. He said he appreciated the larger commercial space and agreed that it should go down toward the pond. He suggested putting the window treatment for the exercise room on the inside by using shades or curtains and not using oblique glass. Ms. Bouffard said it was a very big building on a small lot but thought the applicant did a good job. She said she liked the added traditional elements because they helped integrate the building better into the surrounding community, and she appreciated the horizontal siding because it diminished the building's size and scale. She said she liked the dove gray color and thought brick columns on the Green Street elevation would give it a more pleasing view.

Ms. Goodnight briefly reviewed the Commission's comments. Ms. Ruedig said she was skeptical of the brick column. She asked the applicant to return with a winter version of the rendering of the pond view by pulling some of the trees and landscaping back. Mr. Adams said he liked the coolness of the gray color but thought the applicant had to be careful about the contrast with the



window colors. He said he was excited by the headers and the added contrast in window styles and fenestration.

There was no public comment.

## DECISION

Ms. Goodnight said she would return for a public hearing at the July meeting.

*Mr. Ryan moved to **close** the work session, and Ms. Ruedig seconded. The motion passed by unanimous vote, 7-0.*

B. Work Session requested by **Gregory J. Morneault and Amanda B. Morneault, owners**, for property located at **137 Northwest Street** wherein permission is requested to allow the construction of a new structure (single family home) as per plans on file in the Planning Department. Said property is shown on Assessor Map 122 as Lot 2 and lies within the General Residence A (GRA) and Historic Districts.

## DECISION OF THE COMMISSION

The work session was postponed by unanimous vote.

C. Work Session requested by **Dagny Taggart, LLC, owner**, for property located at **93 Pleasant Street**, wherein permission is requested to allow renovations to an existing structure (renovations of existing building) and new construction to an existing structure (construct 3-story addition) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 74 and lies within the Character District 4 (CD4) and Historic Districts.

## WORK SESSION

Project architect Tracy Kozak was present to review the petition. She said the Treadwell Mansion would be restored and some of the modern tiny additions like the fire escape, bulkhead, and rear ell would be removed. She showed context photos of the street and aerial views. She said the addition would have about 62 one-bedroom and studio units. She discussed the massing and some of the stone wall would be removed but that the stones could be relocated.

Ms. Ruedig asked if the wall would be kept as a retaining wall. Ms. Kozak agreed and said the new foundations would not impact it and that the two additions would be set back ten feet from the wall. Ms. Ruedig said she spoke to a mason who worked on the wall a long time ago and said he repaired a corner of the wall that fell down. She said she was reluctant to have a chunk taken out of the wall just to make a driveway but appreciated that the building was being pulled back away from it. She said the project was better overall because of the setback from the street and the broken-up massing but she was still concerned that the addition was too big and overwhelmed the historic building. She asked if it had to be connected to the mansion. She said putting the two new buildings side by side made sense but having them connect to the historic building added more complications to how they really fit in. Ms. Kozak said they set the entrance back 23 feet, but the main reason the addition was connected was because it shared an elevator.



She noted that there had always been connected additions to the building, so it seemed to be in keeping. Mr. Adams said it was an awfully big addition.

Acting Vice-Chair Doering said the placement of the new building made the wall look more like a fence wall between the street. Ms. Kozak said the grade would stay pretty much the same and the first floor was about a foot or so below grade at that side of the building. Acting Vice-Chair Doering said the tallest part of the wall was almost five feet tall and asked if Ms. Kozak meant that the first floor of the new buildings was five feet off the street. Ms. Kozak said the top of the wall was 5-6 feet above the sidewalk, like the grades within the site, and that there was also a slope. She said someone walking along Court Street wouldn't see above the wall, but as the headed toward Pleasant Street and climbed up the hill, the wall would step down about 18 inches. Acting Vice-Chair Doering said that presented a challenge because the other buildings on Court Street were all at sidewalk level. She said normally additions in the District were subservient and she wasn't sure if just having a break in the roofline and the setback between the two buildings would be enough because it still read as one building. Ms. Kozak said it had been done before, referencing the Landon Mansion with its series of additions on the back that were bigger and broken down into chunks but were simpler than the mansion and that she could do the same. Mr. Brown said the building still leaped out at someone coming down Court Street from the Sailmaker's House. He said he didn't know how the transition could be made. Ms. Kozak said the scale of the old Pentecostal church across the street was similar to one of the chunks of house and the scale of Court Street by Prescott Park began to erode a full block.

Mr. Ryan said the project was off to a good start but thought the presented view was the worst one that could be used for massing because it made everything look taller and heavier. He said there were no windows in the addition and that it looked massive. Instead of two major elements, he suggested using three that were more slender with spacing and massing in-between them. He said the Treadwell Mansion was stately and powerful and suggested screening the massing by a porch. He said the proposed ridge was taller than the Treadwell house, and even though the cornice was pulled down to make the addition look more submissive, it was just too big the way it was. Mr. Adams said the Langdon House was a Colonial masterpiece but was phony for its time because it was built during the Federal period, as was its addition. He suggested using that as a model because the Langdon House didn't look for inspiration or reflection. He said the presented massing didn't work and that he saw five new pieces being added on when fewer pieces or maybe one piece would work better.

City Council Representative said the project was vastly different from the first work session. She said it was moving in a better direction but was too big and seemed to go on forever. She suggested dropping the buildings down so the inside of the stone wall with the path between the building and the wall became a bit of a 3-ft wall fence for the building proper, which would also make the addition subservient to the mansion. She said a glass connector would also make Buildings A and B more distinct on their own. Acting Chairman Wyckoff agreed about the overall height and thought the massing was too big. He said there was almost a warehouse look, especially due to the low-pitch roof. He said he didn't see how adding the gabled additions on the back and putting in long casement windows for a contemporary look would work. He suggested reducing the number of units in the building so that the overall height could be reduced. He said he didn't know how a parking garage under the structure would work without

destroying the wall and was shocked that a garage was even considered. Ms. Bouffard agreed that it was too much massing for the lot and that it detracted from the beauty of the Treadwell Mansion and thought the connectors weren't good. She thought the proposed use of the property drove the design by trying to fit something in that couldn't work. Acting Vice-Chair Doering suggested a concept like the Popover Building that was one big building but looked like a lot of smaller buildings. She said borrowing the hip roof from the Treadwell would also make the addition look smaller and would be a nice element to carry into it. Ms. Ruedig said a row house with several different separate entrances might work. She was also concerned that digging up and blasting for a parking garage would harm any archeology and said it was important to document what was underground. Mr. Ryan said he was okay with penetrating the wall because it would come down to build something and then would go back up. Ms. Kozak said they wouldn't take the wall down but would just rebuilt the wall along the east side because it was crumbling. Mr. Ryan said he was fine with that compromise because lack of parking could kill the project.

### Public Comment

Andrew Bagley of 40 Chauncey Street said micro housing brought youth, vibrancy, and empty nesters, which was a desperately-needed demographic for downtown but was getting forced out because of pricing. He applauded the applicant for addressing an important need in the community instead of building million-dollar condominiums, and he wanted to see more flexibility for a project that wasn't trying to maximize profits.

Acting Chairman Wyckoff said the majority of the Commission still had a problem with the massing in general and thought breaking it up into three structures or making the addition townhouses with individual doors would be preferable. He said a lot of the project was driven by the elevator in the middle, and he wondered about the wisdom of putting more units on the third floor due to the ceiling heights. He said it would be a very difficult decision for the Commission to approve the project or not and would be difficult for a lot of the citizens concerned about the historical aspect. Mr. Brown noted that the Commission wasn't against micro units but thought it wouldn't be such a problem if there were two stories instead. He said the Commission had to be practical and not try to solve the lack of affordable housing with one big building.

### DECISION OF THE COMMISSION

*Acting Vice-Chair Doering moved to **continue** the work session, and Mr. Ryan seconded. The motion **passed** by unanimous vote, 7-0.*

D. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said property is shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts.

### DECISION OF THE COMMISSION

The work session was postponed by unanimous vote.

E. Work Session requested by **Ross D. Ellenhorn and Rebecca J. Wolfe, owners**, for property located at **279 Marcy Street, Unit #3**, wherein permission is requested to allow new construction to an existing structure (construct recessed deck on 3<sup>rd</sup> floor) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 45-3 and lies within the General Residence (GRB) and Historic Districts.

#### **DECISION OF THE COMMISSION**

The work session was postponed by unanimous vote.

F. Work Session requested by **Mary H. and Ronald R. Pressman, owners**, for property located at **449 Court Street**, wherein permission is requested to allow renovations to an existing structure (add 4<sup>th</sup> floor addition and roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

#### **DECISION OF THE COMMISSION**

The work session was postponed by unanimous vote.

#### **IV. ADJOURNMENT**

The meeting was adjourned at 9:40 p.m.

Respectfully submitted,

Joann Breault  
HDC Recording Secretary

# HDC

## ADMINISTRATIVE APPROVALS

July 07, 2021

- |     |   |                        |
|-----|---|------------------------|
| 1.  | 14 Mechanic Street (LUHD-338)           | - Request to Postpone  |
| 2.  | 32 Pickering Street (LUHD-350)          | - Recommended Approval |
| 3.  | 165 Court Street (LUHD-354)             | - Recommended Approval |
| 4.  | 15 Middle Street (LUHD-353)             | - Recommended Approval |
| 5.  | 306 South Street (LUHD-352)             | - Recommended Approval |
| 6.  | 166 New Castle Avenue (LUHD-351)        | - Recommended Approval |
| 7.  | 241 Middle Street (LUHD-349)            | - TBD                  |
| 8.  | 125 Bow Street (LUHD-360)               | - Recommended Approval |
| 9.  | 60 Penhallow Street (LUHD-355)          | - Recommended Approval |
| 10. | 60 Penhallow Street (LUHD-362)          | - Recommended Approval |
| 11. | 553 Islington Street (LUHD-356)         | - TBD                  |
| 12. | 49 Hunking Street (LUHD-3587)           | - Recommended Approval |
| 13. | 124 State Street (LUHD-359)             | - TBD                  |
| 14. | 290 Pleasant Street, Unit #6 (LUHD-361) | - Recommended Approval |
| 14. | 6 Rock Street, Unit #4 (LUHD-363)       | - Recommended Approval |

# 1. 14 Mechanic Street - Request to Postpone

**Background:** The applicant is seeking approval for the installation of metal railing systems at the front entry and at the rear master balcony of the structure.

**Staff Comment:** Request to Postpone

## Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

2. 32 Pickering Street

- Recommended Approval

**Background:** The applicant is seeking approval for the replacement of the front exterior light on the structure.

**Staff Comment:** Recommended Approval

**Stipulations:**

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_

**LUHD-350**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 09, 2021**Applicant**

Tara L Brown  
djjbrown@aol.com  
32 Pickering street  
Portsmouth, NH 03801  
6038121017

**Location**

32 PICKERING ST  
Portsmouth, NH 03801

**Owner:**

BROWN DANIEL J  
32 PICKERING ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Replace outdoor light on front of house

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Owner

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Tara L Brown

**Business Name (if applicable)**

--

**Mailing Address (Street)**

32 Pickering street

**City/Town**

--

**State**

NH

**Zip Code**

03801

**Phone**

6038121017

**Email Address**

djjbrown@aol.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--



Proposed new lighting





Model # 389386 HAWK  
Dia. 5.5" Hgt. 16.95"  
Max. Watt. 1x 100w  
Finish: Burnished Bronze  
Price: \$379.00

Model # 389386 HAWK  
Dia. 5.5" Hgt. 21.26"  
Max. Watt. 1x 100w  
Finish: Burnished Bronze  
Price: \$399.00

Model # 389386 HAWK  
Dia. 8.5" Hgt. 19.75"  
Max. Watt. 2x 60w  
Finish: Burnished Bronze  
Price: 299.00

Model # 389386 HAWK  
Dia. 5.5" Hgt. 16.95"  
Max. Watt. 1x 100w  
Finish: Burnished Bronze  
Price: 269.00

Model # 389386 HAWK  
Dia. 5.5" Hgt. 21.26"  
Max. Watt. 1x 100w  
Finish: Burnished Bronze  
Price: \$399.00

Model # 389386 HAWK  
Dia. 5.5" Hgt. 16.95"  
Max. Watt. 1x 100w  
Finish: Burnished Bronze  
Price: 269.00



Lighting Center  
#308972 MKG  
Prod # 308972 MKG  
Dia. 10.5" Hgt. 26.5"  
Max. Watts 4x 60W  
Finish Oil Rubbed Bronze  
Price \$274.95

Prod # 308972 MKG  
Dia. 10.5" Hgt. 26.5"  
Max. Watts 4x 60W  
Finish Oil Rubbed Bronze  
Price \$274.95





Existing lighting







3.     165 Court Street

- Recommended Approval

**Background:** The applicant is seeking approval for changes to a previously approved awning design.

**Staff Comment:** Recommended Approval

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-354**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 17, 2021**Applicant**

Richard Desjardins  
richard@mchenryarchitecture.com  
4 Market Street  
Portsmouth, NH 03801  
603-430-0274

**Location**

165 COURT ST  
Portsmouth, NH 03801

**Owner:**

KWA LLC  
636 PORTLAND AVE ROLLINSFORD, NH 03869

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

ALTERATIONS TO THE APPROVED DESIGN FROM JUNE 10,2020

- 1) 4.5" CANOPY FRAME DEPTH HAS INCREASED
- 2) 2" REVEAL OMITTED
- 3) 4X4 TRIM OMITTED
- 4) ALUM. PANEL (APPROXIMATELY 1.5' IN DEPTH) INSTALLED IN LIEU OF 4X4 TRIM.
- 5) CANOPY HAS BEEN RELOCATED ABOVE THE 1.5' PANEL

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Jeremiah Johnson

**Business Name (if applicable)**

McHenry Architecture

**Mailing Address (Street)**

4 Market Street

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

603-430-0274

**Email Address**

jeremiah@mchenryarchitecture.com

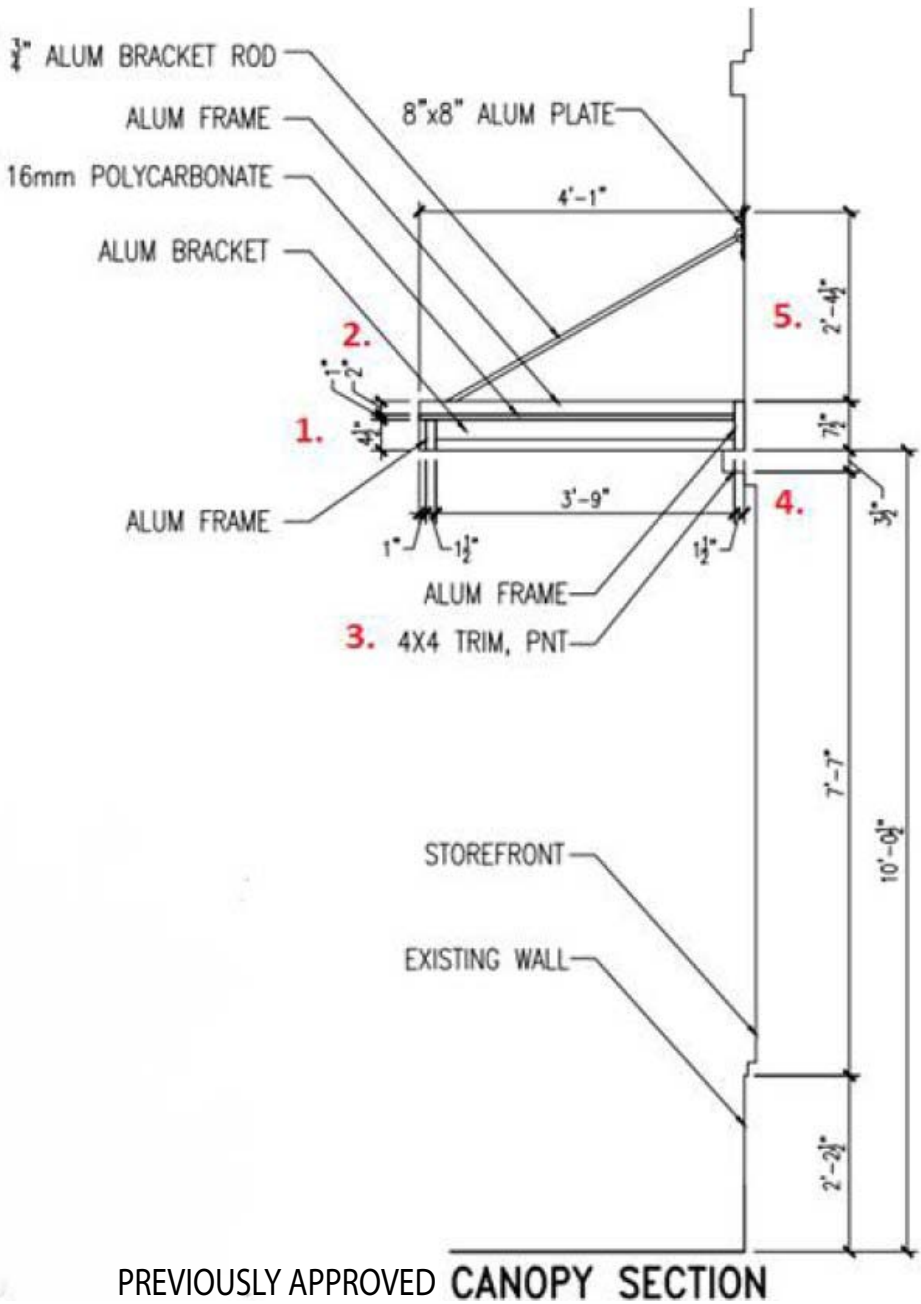


# PREVIOUSLY APPROVED 165 COURT STREET CANOPY

HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL - JULY 2021

ALTERATIONS TO THE APPROVED DESIGN FROM JUNE 10,2020

- 1) 4.5" CANOPY FRAME DEPTH HAS INCREASED
- 2) 2" REVEAL OMITTED
- 3) 4X4 TRIM OMITTED
- 4) ALUM. PANEL (APPROXIMATELY 1.5' IN DEPTH) INSTALLED IN LIEU OF 4X4 TRIM.
- 5) CANOPY HAS BEEN RELOCATED ABOVE THE 1.5' PANEL



© 2021 McHenry Architecture

165 COURT STREET CANOPY  
165 COURT STREET  
PORTSMOUTH, NH 03801

NOTES  
HDC Administrative Approval - July 2021

McHENRY ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire

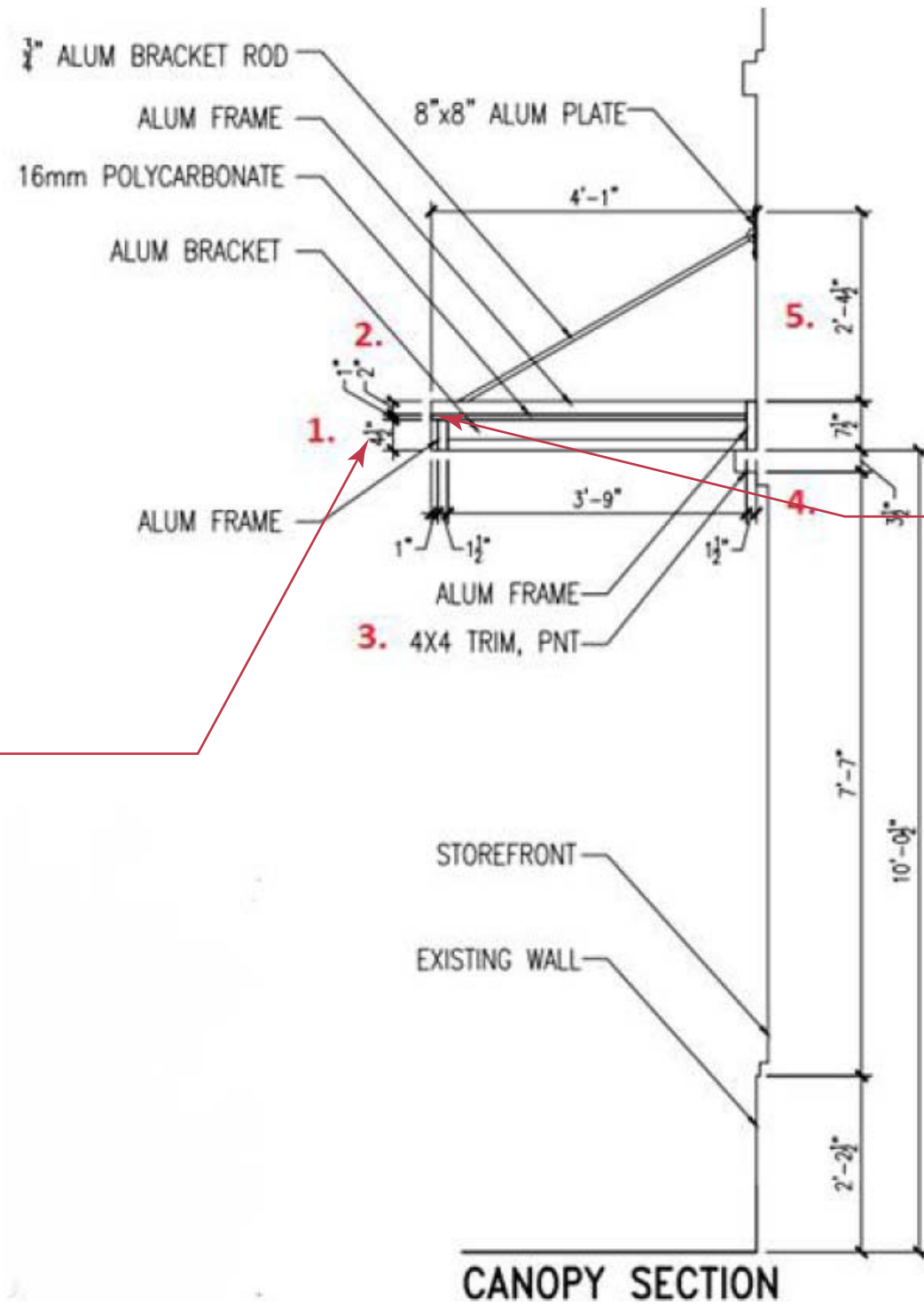
A1

07/07/2021  
McHA: RD / JJ  
Scale: NOT TO SCALE

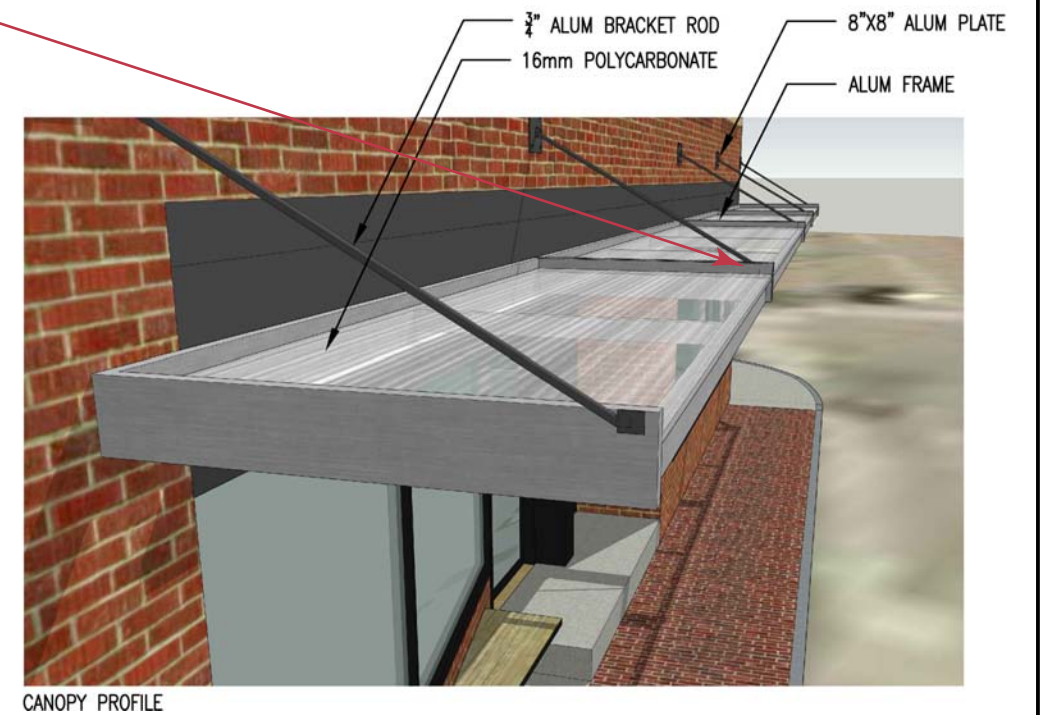




1) 4.5" CANOPY FRAME DEPTH HAS INCREASED TO 6" +/- FOR STRUCTURAL INTEGRITY OF CANOPY FRAME



2) 2" DIMENSION TO REPRESENT REVEAL AT FLANGE FOR STRUCTURAL TIES NOT A 2" REVEAL ALONG ENTIRE CANOPY. 2" REVEAL WAS NOT OMITTED JUST MISINTERPRETED BY LAND USE OFFICIAL.



© 2021 McHenry Architecture

165 COURT STREET CANOPY

165 COURT STREET  
PORTSMOUTH, NH 03801

ITEMS 1 - 2

HDC Administrative Approval - July 2021

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

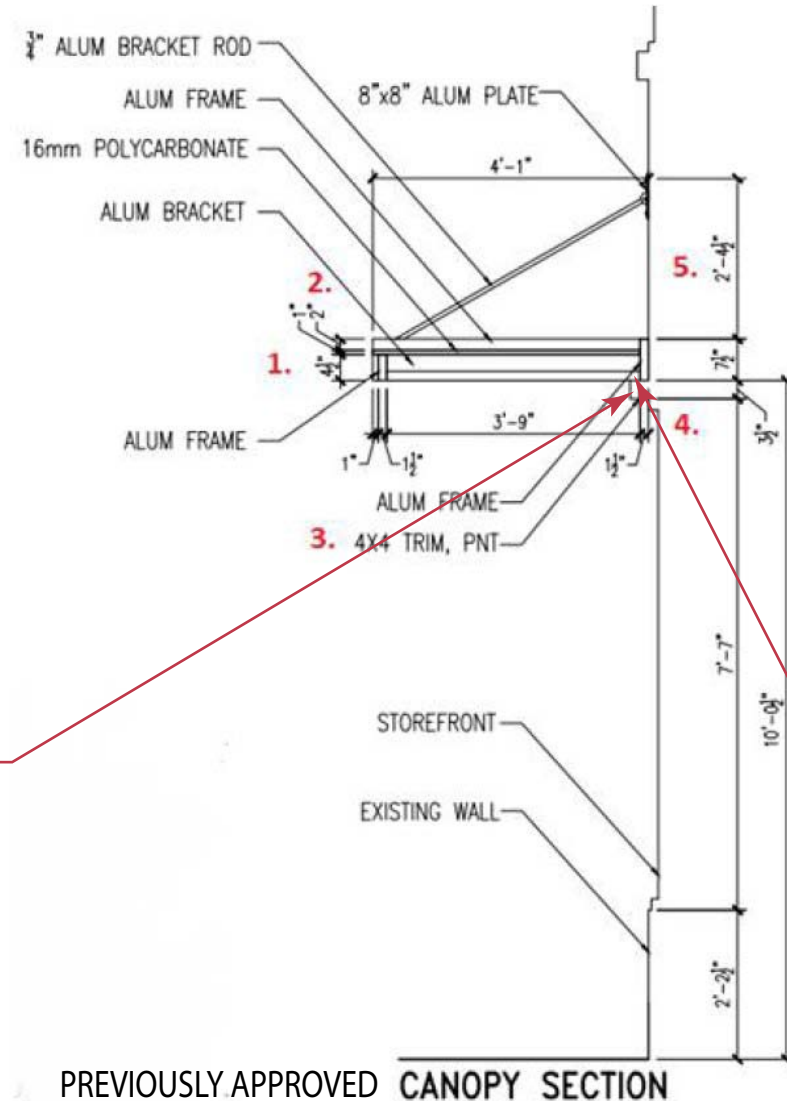
A2

07/07/2021

McHA: RD / JJ

Scale: NOT TO SCALE

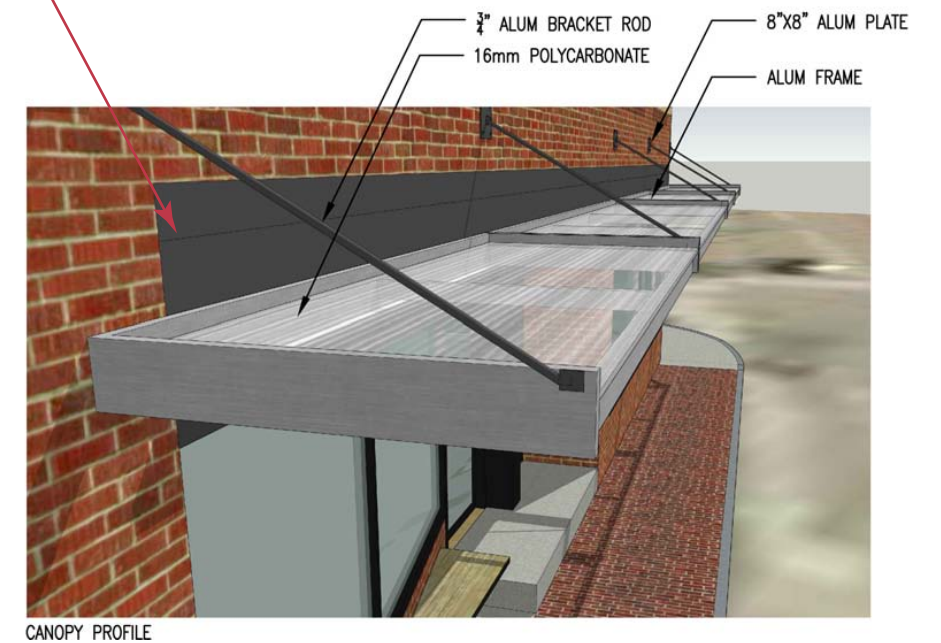




3) 4 X 4 TRIM WAS INCLUDED IN DETAIL IN ANTICIPATION FOR A STRUCTURAL LEDGER NEEDED AT THE CANOPY'S CONECTION TO THE EXISTING WALL.. THERE WAS NO STRUCTURAL NEED ONCE CONSTRUCTED.

5) CANOPY WAS RELOCATED ABOVE 1'-6" PANEL DUE TO CONSTRUCTABILITY AND INSTALLATION SEQUENCING. THE ALUMN. STOREFRONT WAS INSTALLED 6 MONTHS PRIOR TO THE CANOPY ROOF CREATING A WEATHERTIGHTNESS ISSUE. CANOPY IS 1'-0" +/- HIGHER THAN DRAWN IN DETAIL.

4) 1'-6"ALUM. PANEL INSTALLED WAS REPRESENTED IN RENDERINGS TO COVER PREVIOUS CANOPY'S CONNECTION TO EXISTING BUILDING. WAS NOT SHOWN OR DIMENSIONED IN CANOPY SECTION DUE TO BEING IN THE SAME PLANE AS EXISTING WALL



© 2021 McHenry Architecture

165 COURT STREET CANOPY

165 COURT STREET  
PORTSMOUTH, NH 03801

ITEMS 3 - 5

HDC Administrative Approval - July 2021

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A3

07/07/2021  
McHA: RD / JJ  
Scale: NOT TO SCALE

PREVIOUSLY APPROVED CANOPY  
APPLICATION FOR REFERENCE

JUNE 10, 2020



# HISTORIC DISTRICT COMMISSION PUBLIC HEARING - JUNE 2020

163 COURT STREET IS AN EXISTING TWO-STORY BUILDING IN PORTSMOUTH NEW HAMPSHIRE. BUILT IN THE MID-1900'S WITH A DEFINING CORNER ENTRANCE AND CONTINUOUS WRAP-AROUND CANOPY ABOVE. THE FIRST STORY IS DIFFERENTIATED FROM THE FLOOR ABOVE WITH A GLAZED STOREFRONT FACADE.

- THE DESIGN INTENT OF THE PROPOSED ALTERATIONS INTENDS TO:
- IMPROVE THE STREET APPEAL AND LONGEVITY OF THE BUILDING WITH NEW STOREFRONT GLAZING.
  - IMPROVE CANOPY WHILE FIXING ISSUES CAUSED BY EXISTING CANOPY.
  - ACCENTUATE BUILDING DESIGN WITH NEW CANOPY THAT PROVIDES SHELTER FOR SIDEWALK AND ENTRANCES.



BUILDING LOCATION



163 COURT ST  
163 COURT ST  
PORTSMOUTH, NH

COVER

HISTORIC DISTRICT COMMISSION PUBLIC HEARING- JUNE 2020

7 WALLINGFORD SQUARE  
UNIT 2099  
KITTERY, ME 03904  
207.994.3104

**WINTER  
HOLBEN**  
architecture + design

15MAY2020  
WINTER HOLBEN: BH/JH  
SCALE: NTS  
PROJECT NO: 20013

DRAWING NO.  
**1**





163 COURT ST  
163 COURT ST  
PORTSMOUTH, NH

## EXISTING PHOTOS

HISTORIC DISTRICT COMMISSION PUBLIC HEARING- JUNE 2020

7 WALLINGFORD SQUARE  
UNIT 2099  
KITTELY, ME 03904  
207.994.3104

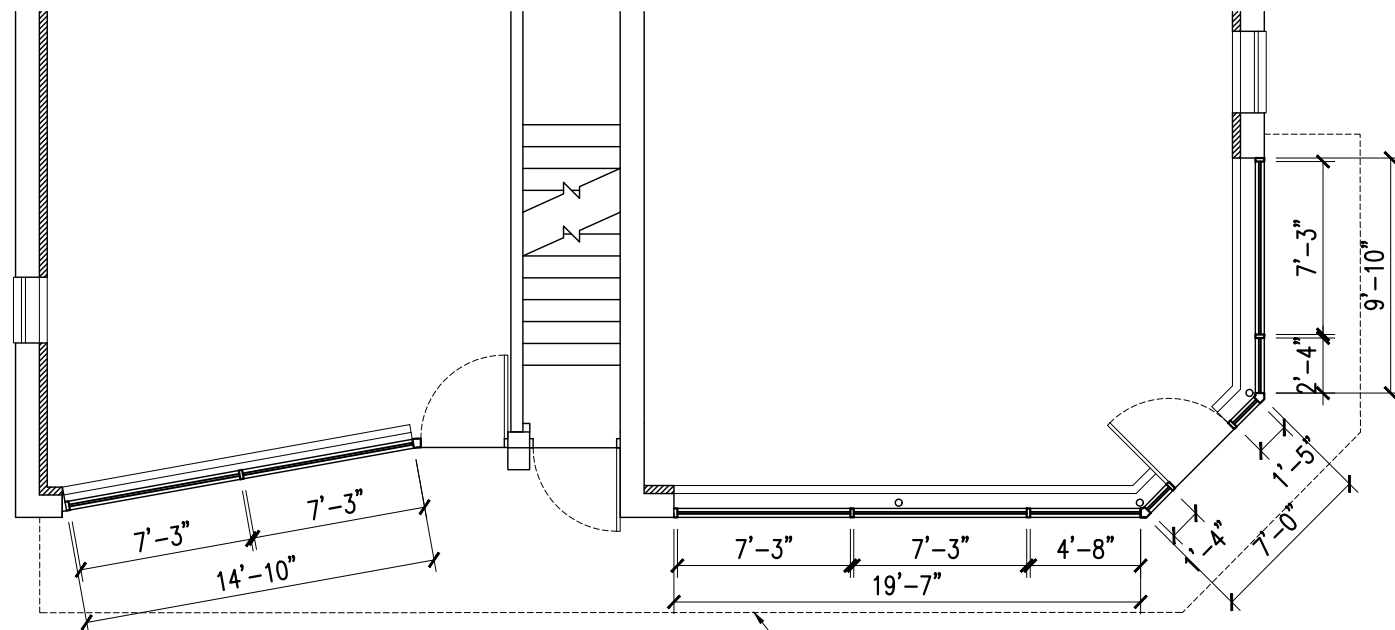
**WINTER  
HOLBEN**  
architecture + design

15MAY2020  
WINTER HOLBEN: BH/JH  
SCALE: NTS  
PROJECT NO: 20013

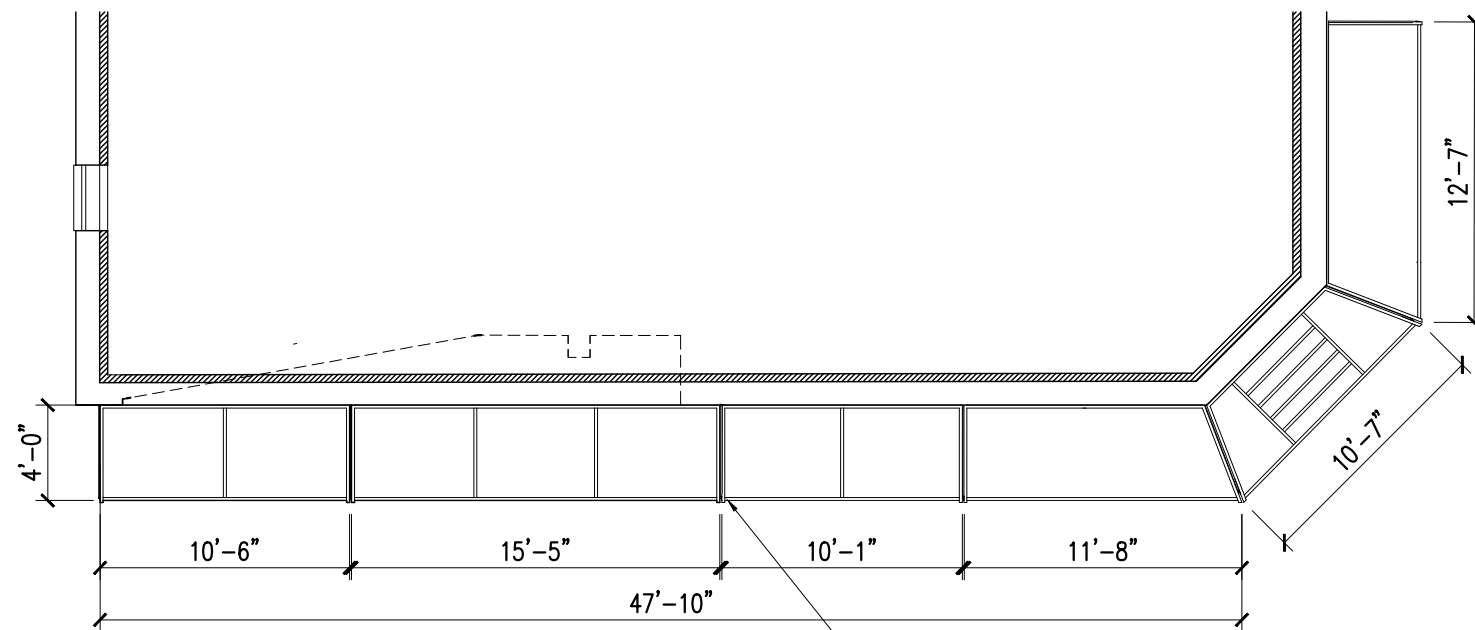
DRAWING NO.

2

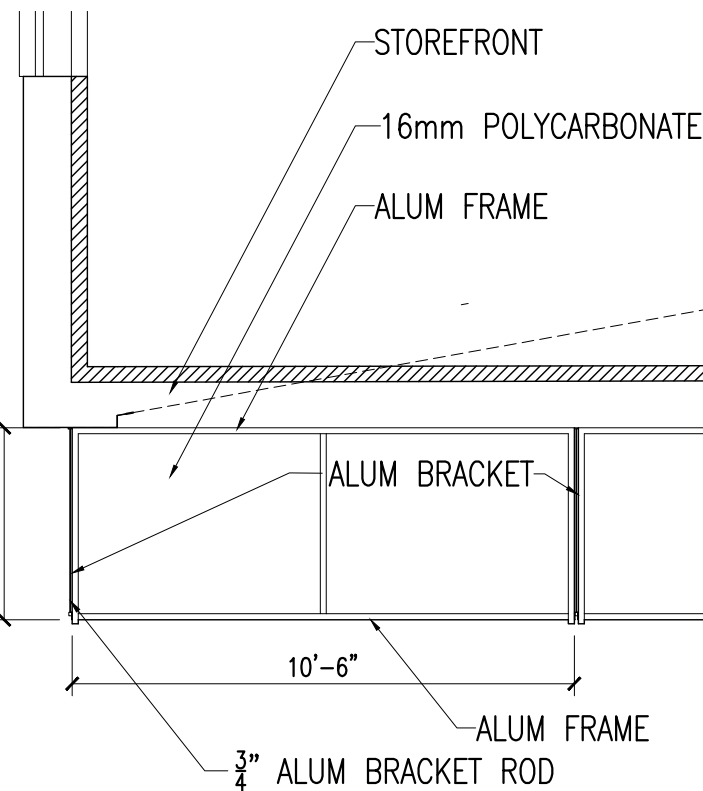
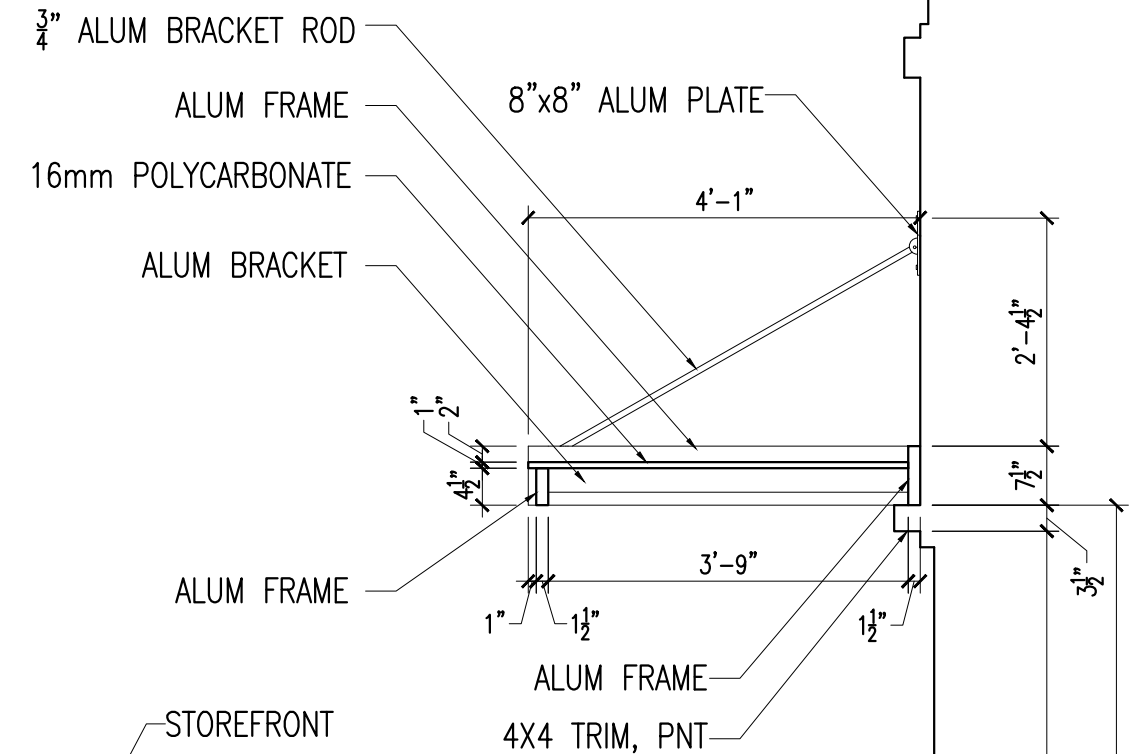




**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**CANOPY PLAN**  
SCALE: 1/8" = 1'-0"



**ENLARGED CANOPY PLAN**  
SCALE: 1/4" = 1'-0"

**CANOPY SECTION**  
SCALE: 1/2" = 1'-0"

163 COURT ST  
163 COURT ST  
PORTSMOUTH, NH

FLOOR PLANS & SECTION

HISTORIC DISTRICT COMMISSION PUBLIC HEARING- JUNE 2020

7 WALLINGFORD SQUARE  
UNIT 2099  
KITTELY, ME 03904  
207.994.3104

**WINTER  
HOLBEN**  
architecture + design

15MAY2020  
WINTER HOLBEN: BH/JH  
SCALE: 1/8" = 1'-0"  
PROJECT NO: 20013

DRAWING NO.  
**3**





163 COURT ST  
163 COURT ST  
PORTSMOUTH, NH

# PRECEDENT IMAGES

HISTORIC DISTRICT COMMISSION PUBLIC HEARING- JUNE 2020

7 WALLINGFORD SQUARE  
UNIT 2099  
KITTERY, ME 03904  
207.994.3104

**WINTER  
HOLBEN**  
architecture + design

15MAY2020  
WINTER HOLBEN: BH/JH  
SCALE: NTS  
PROJECT NO: 20013

DRAWING NO.

4





SOUTHEAST AERIAL



COURT STREET VIEW EAST



COURT STREET VIEW WEST



ENTRY VIEW

163 COURT ST  
163 COURT ST  
PORTSMOUTH, NH

## PROPOSED VIEWS

HISTORIC DISTRICT COMMISSION PUBLIC HEARING- JUNE 2020

7 WALLINGFORD SQUARE  
UNIT 2099  
KITTELY, ME 03904  
207.994.3104

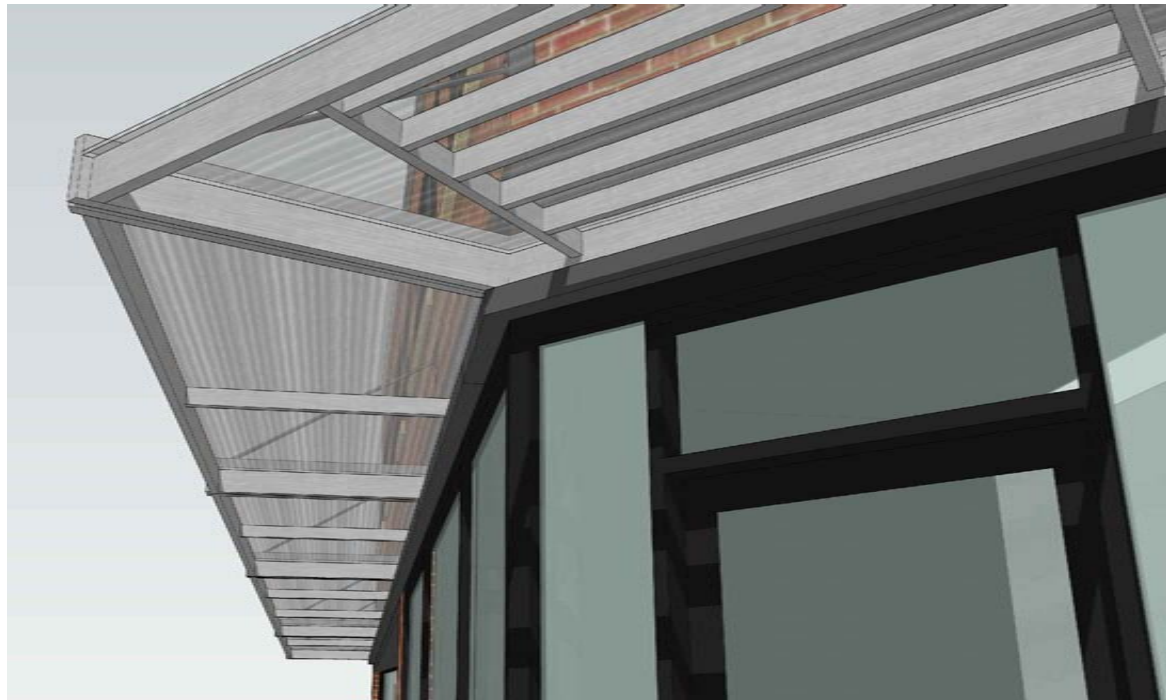
**WINTER  
HOLBEN**  
architecture + design

15MAY2020  
WINTER HOLBEN: BH/JH  
SCALE: NTS  
PROJECT NO: 20013

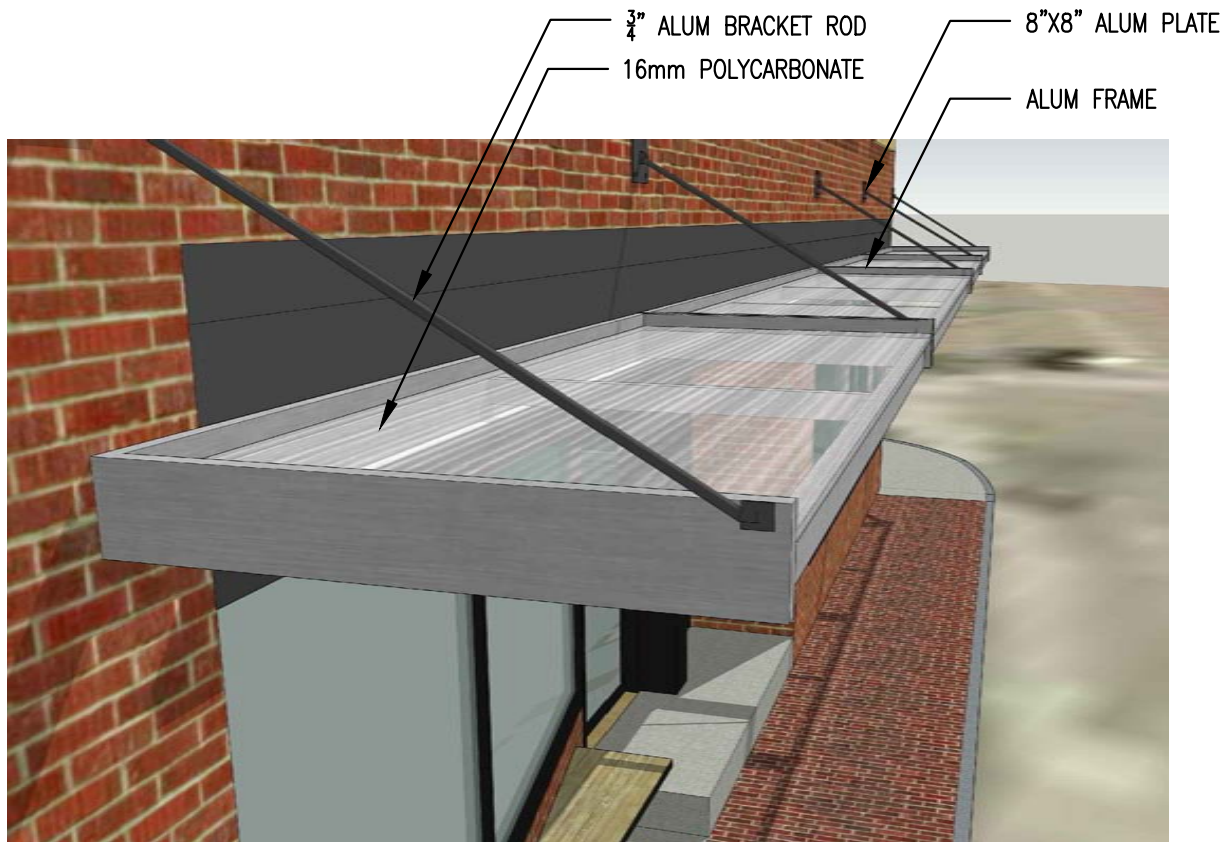
DRAWING NO.

5





CANOPY DETAIL



CANOPY PROFILE

### ENCORE STOREFRONT FRAMING SYSTEM

**ECONOMY**  
EnCORE™ is a QuickSeal™ dry-glazed self-sealing framing system and is the first to eliminate joint sealant at horizontal joints, making it more cost effective. The vertical gasket runs through, and when “pinched” by the head, sill and intermediate horizontals, a watertight seal is created, eliminating the need for sealant.

By using the same extrusions for horizontal and vertical mullions, metal utilization is maximized. In addition, the tongue on the extrusions eliminates the need for a secondary, continuous water deflector, thus economizing on installation costs and time.

EnCORE™ Framing System also requires no setting block chair at intermediate horizontals. And at the sill, the system utilizes a simple setting block chair that fits snugly within the glazing pocket and requires no fastening. The system accepts standard 1" (25.4 mm) or 1/4" (6.4 mm) infills and can also be adapted to accept other infills in 1/8" (3.2 mm) increments.

The top-loaded glazing gaskets are the same as those used in the Kawneer flagship Trifab™ Framing Systems, which helps reduce field labor and minimize inventory requirements.

Providing single-source responsibility, Kawneer entrances, windows, curtain walls and slope glazing are compatible with the EnCORE™ Framing System.

**PERFORMANCE**  
A specially engineered thermal clip eliminates metal-to-metal contact by snapping onto the mullion. The cover then snaps onto the clip for true thermal integrity. In addition, the clip has an extended leg on one side, which acts as a “w” block and prevents shifting of glass due to climate changes and building movement.

Engineered to meet or exceed certified performance requirements for air and water infiltration, the EnCORE™ Framing System has been fully tested according to ASTM E283 and ASTM E331. Thermal testing was completed in accordance with AAMA 1503.

The EnCORE™ Framing System also offers architects and building owners the ability to determine project-specific U-factors by referring to thermal tables in our architectural manual. Unique to Kawneer, these tables enable U-factor calculations for each project by utilizing the total glass percentage and the project’s center of glass (COG) U-factor.

**AESTHETICS**  
For additional freedom of expression, the EnCORE™ Framing System offers front or center glazing options. An SSG option is also available. And to provide greater design flexibility, the face-and-gutter system offers system depths of 3-9/16" (90.5 mm), 4-1/2" (114.3 mm) or 6" (152.4 mm) front glazed and 4-1/2" (114.3 mm) center glazed.

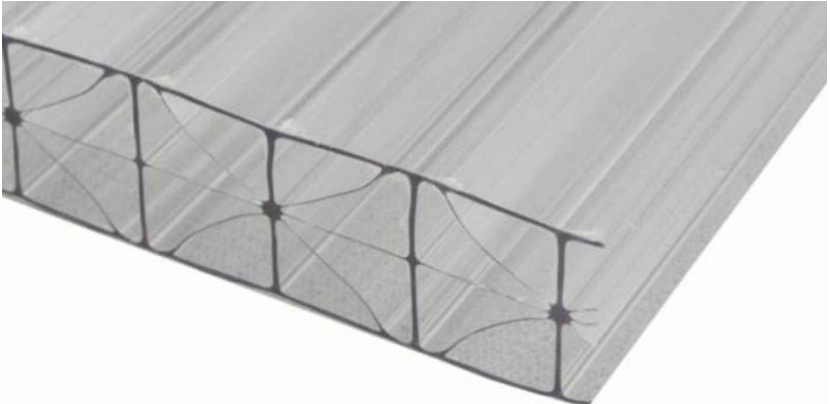
The 1-3/4" (44.5 mm) minimal sightline provides consistent design aesthetics, while a 1-1/4" (31.75 mm) perimeter sightline is also available. Since the exterior face and interior mullions are separate pieces, two-color design considerations are easily realized.

COLOR:  
BLACK  
ANODIZED

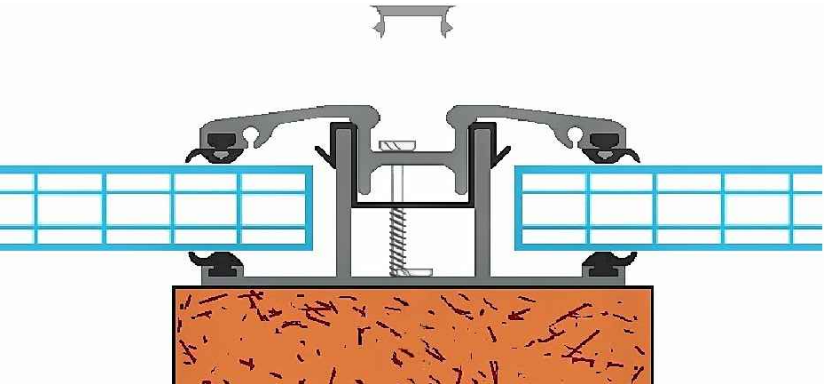
1-3/4" MINIMAL SIGHTLINE



16mm ePlastUSA CLEAR POLYCARBONATE– IMPERMEABLE TO WATER AND UV PROTECTED



ALUMINUM H STRUCTURE (POLI-LOK)



163 COURT ST  
163 COURT ST  
PORTSMOUTH, NH

### DETAIL VIEWS & MATERIALS

HISTORIC DISTRICT COMMISSION PUBLIC HEARING- JUNE 2020

7 WALLINGFORD SQUARE  
UNIT 2099  
KITTERY, ME 03904  
207.994.3104

**WINTER  
HOLBEN**  
architecture + design

15MAY2020  
WINTER HOLBEN: BH/JH  
SCALE: NTS  
PROJECT NO: 20013

DRAWING NO.  
**6**

4. 15 Middle Street

- Recommended Approval

**Background:** The applicant is seeking approval for changes to a previously approved design (change in windows to accommodate for fire rating requirements).

**Staff Comment:** Recommended Approval

Stipulations:

1.
2.
3.

**LUHD-353**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 16, 2021**Applicant**

Brendan McNamara  
brenmcnamara@comcast.net  
19 Doe Drive  
Eliot, Maine 03903  
207-439-3521

**Location**

15 MIDDLE ST  
Portsmouth, NH 03801

**Owner:**

15 MIDDLE ST REAL ESTATE HOLDING CO LLC  
ONE MIDDLE ST SUITE 1 PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Change 12 existing windows to 60 minute fire rated version

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Owner

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Jay McSharry

**Business Name (if applicable)**

--

**Mailing Address (Street)**

One Middle St.

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

603 498 6476

**Email Address**

jaymcsharry@me.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

Residential Designer representing the owner

**CONTENTS, HDC APPLICATION FOR PROPOSED CHANGE TO EXISTING APPROVED  
WINDOWS AT 15 MIDDLE ST., PORTSMOUTH, NH, (SALVATION ARMY CHURCH).**

**\*2-Narrative**

**\*3-Proposed Site Plan showing relevant window locations.**

**\*4-Photo, view from One Middle St. roof.**

**\*5-Photo, view of Existing Conditions from Porter St..**

**\*6-Photo with overlaid image, previously approved Proposed Conditions.**

**\*7-New Proposed East Elevation.**

**\*8-New Proposed North Elevation.**

**\*9-Fire Rated Window details.**

**\*10-Fire Rated Window product images.**

**\*11-Previously approved East Elevation.**

**\*12-Previously approved North Elevation.**



## **HDC APPLICATION FOR PROPOSED CHANGE TO EXISTING APPROVED WINDOWS AT 15 MIDDLE ST., PORTSMOUTH, NH, (SALVATION ARMY CHURCH).**

### **NARRATIVE**

This application is an amendment to the original HDC approval for work/changes proposed at 15 Middle St.. The change is driven by the requirements of fire protection to a building within 3' of a neighboring lot line. This situation occurs on (2) sides of this property where the building at 1 Middle St. wraps around the Church building and is, at times only 9" away from it. It exists only at the wood portion of the white clapboard structure on Porter St.. This situation requires a (1) hour fire rating to the skin of the building.

In our initial, approved proposal it was our intention to re-side the relevant wall areas with a fire rated sheathing and non-combustible clapboards and install exterior sprinkler heads to the existing window locations. These windows are Harvey replacement units installed 20+ years ago and are very basic in their appearance. Any original windows are being restored/preserved.

A number of factors have made this approach unworkable. The proximity to the adjoining structure combined with the change to the construction Industry labor market (shortage) have made the re-siding not possible. We also would prefer to preserve existing trim details in situ.

Further the requirements for exterior sprinkler installations now call for a large heat capture (roof) above the locations. Not possible given the neighboring building proximity and very unsightly.

The most insurmountable problem is the need to protect the building where it is against, and close to 1 Middle St. structure. We now propose to do this by cutting the siding and trim close to level to the top of the 1 Middle St. roof. Everything below this line (of demarcation) would be covered by a panel lowered from above that is laminated of ½" Densglass (for One Hour fire rating) and ¼" Hardie sheet (for a non-combustible protection to Densglass). This would be capped with a copper flashing that would be inserted behind the clapboards/window flashing above it.

This line of demarcation would correspond to the sill of new, half sized, fire rated windows. There are also (2) existing double hungs that would be replaced as fixed, simulated appearance, one hour fire rated windows. The existing trim would be removed and re-installed to the new windows with new, matching applied historic sills.

The round, north facing gable window (original) is being treated differently, since it is possible to install an interior fire rated glass panel to the inside face of this window as part of its restoration.

The entirety of the exposed siding and trim would be preserved (or replaced in kind as necessary) and have an intumescent paint/coating applied.

Note the greater exposure of the East side of the existing building where the 20' portion of the Concrete Block structure at 1 Middle (150 Congress) will be removed to accommodate an enclosed dumpster area. This work has been previously approved.

# WINDOW LOCATIONS REQUIRING (60) MINUTE FIRE RATING.

## UTILITIES: CONTACT LIST:

GAS: UNTIL: SUSAN L. DUPLISEA ..... 603-244-5141  
WATER: PORTSMOUTH DFW ..... 603-421-1530  
SEWER: PORTSMOUTH DFW ..... 603-421-1530  
STORMWATER: PORTSMOUTH DFW ..... 603-421-1530  
ELECTRIC: EVERSOURCE: CASEY McDONALD ..... 603-436-1108 EXT 5641  
PHONE: FAIRPOINT: JOSEPH P. CONSIDINE ..... 603-190-4051

## PROPOSED UTILITIES:

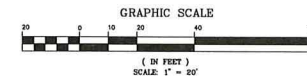
1. GAS:  
THE EXISTING 6" PLASTIC GAS MAIN WILL SERVE THE BUILDING.
2. WATER:  
DOMESTIC: A NEW 2" COPPER LINE WILL BE INSTALLED TO THE BUILDING  
SPRINKLER: A 6" SPRINKLER LINE WILL BE INSTALLED, NECESSARY FLOW TEST CONNECTIONS AND SPECIFICATIONS AS PER CITY REQUIREMENTS.
3. SEWER:  
A NEW 6" PVC SEWER LINE WILL BE INSTALLED CONNECTING TO THE EXISTING 8" CLAY SEWER LINE IN MIDDLE ST. THE SEWER CONNECTION SHALL BE WITNESSED AND APPROVED BY THE PORTSMOUTH WATER DIVISION AND SOLID COUPLINGS WILL BE USED TO CUT IN THE SERVICE TO THE MAIN.
4. ELECTRIC:  
ALL ELECTRIC WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW HAMPSHIRE REQUIREMENTS FOR ELECTRIC SERVICE CONNECTIONS BY EVERSOURCE.

## GENERAL NOTES

- 1) CONTRACTOR TO REVIEW ALL SURFACING TYPES, AND MATERIAL SPECIFICATIONS WITH COMMISSIONER OF PUBLIC WORKS.
- 2) ALL NECESSARY NHDOT, NHDES & CITY PERMITS MUST BE OBTAINED.
- 3) ALL CONSTRUCTION SHALL BE PER NH-DOT, STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION. LATEST REVISION.
- 4) IF UNDERGROUND UTILITIES WILL BE INSTALLED, CONTRACTOR SHALL MEET STATE AND CITY REQUIREMENTS. TO ASSURE TYPE, SEPARATION, COVER, ETC. ALL UTILITY LINES ARE APPROXIMATE. ALWAYS CALL DIGSAFE PRIOR TO DIGGING
- 5) SIZE ALL LINES AS PER REQUIREMENTS AND ASSURE THAT PROPOSED BUILDING LOADING AND PRESSURE DEMANDS WILL BE MET.

## LEGEND

- UTILITY POLE
- WATER
- GAS
- SEWER
- STORMWATER DRAIN
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- SEWER MANHOLE
- DRAIN MANHOLE
- WOODEN FENCE
- VERTICAL GRANITE CURB
- CATCH BASIN
- GAS VALVE
- LAMP POST
- CLEANOUT



2	5/19/2021	PRELIMINARY	
1	3/22/2020	FOR REVIEW	
ISS	DATE	DESCRIPTION OF ISSUE	
SCALE	1" = 10'		
DRAWN	A.ROSS		
CHECKED	D.O.D.		
<b>ROSS ENGINEERING</b> Civil/Structural Engineering & Surveying 900 Edgemoor St. Portsmouth, NH 03801 (603) 433-7500			
CLIENT	JAMES MCHARRY		
	58 PLEASANT POINT RD		
	PORTSMOUTH, NH 03801		
TITLE	<b>PROPOSED UTILITY PLAN</b> 15 MIDDLE ST PORTSMOUTH, NH 03801 TAX MAP 126, LOT 12		
JOB NUMBER	19-001	PLG. NO.	2 OF 2
ISSUE			2

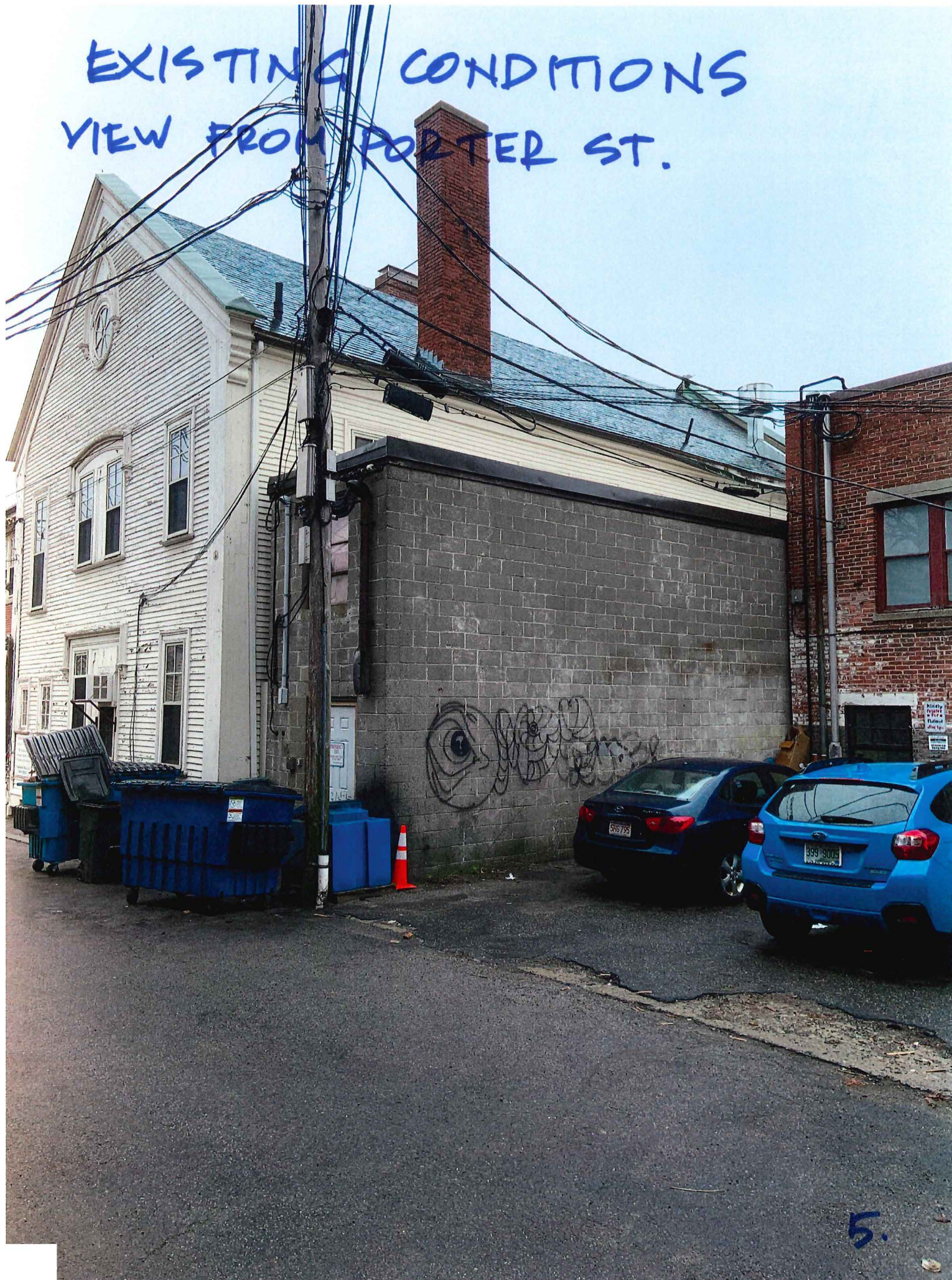


VIEW FROM ONE MIDDLE, LOOKING  
SOUTH



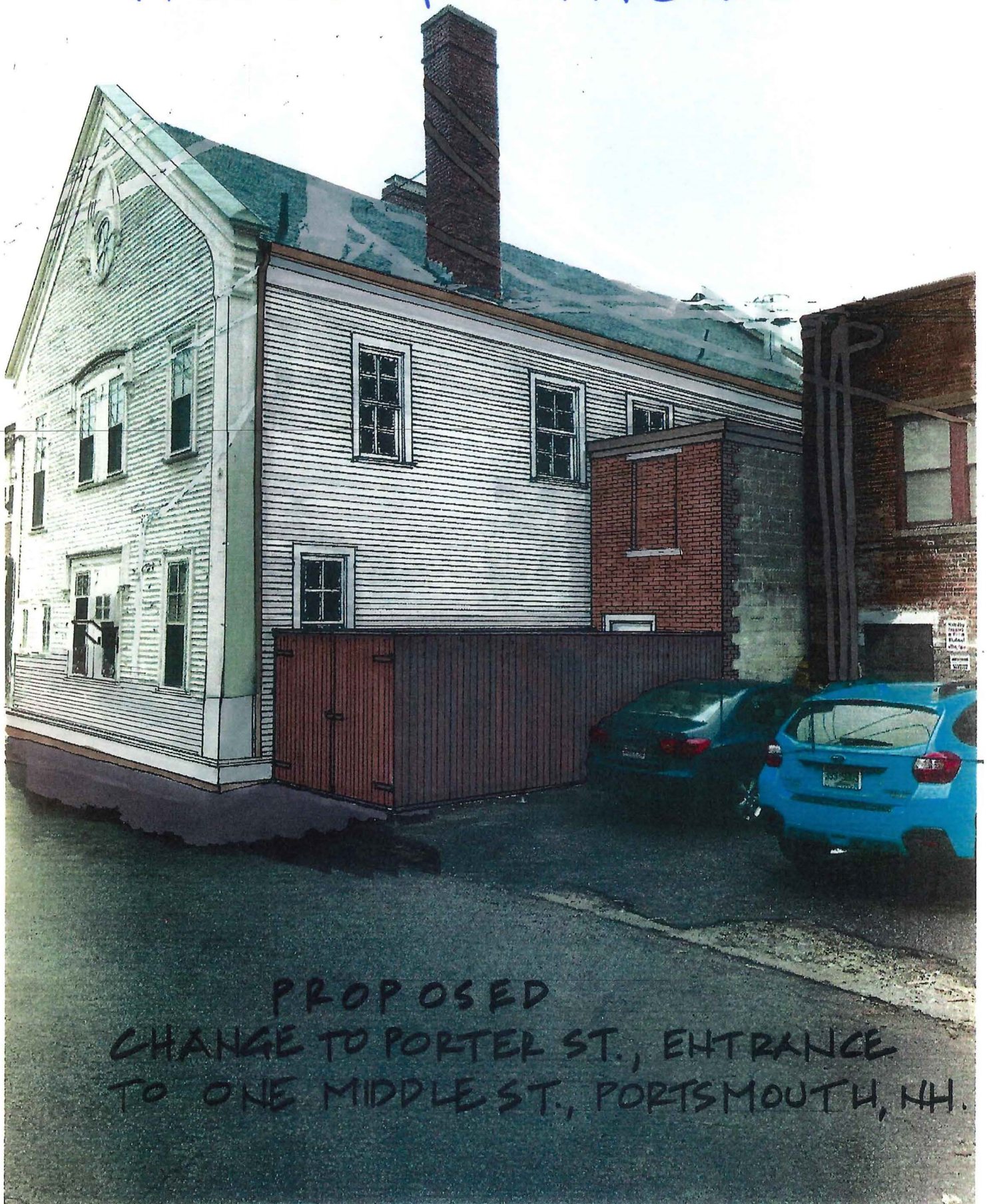


EXISTING CONDITIONS  
VIEW FROM PORTER ST.



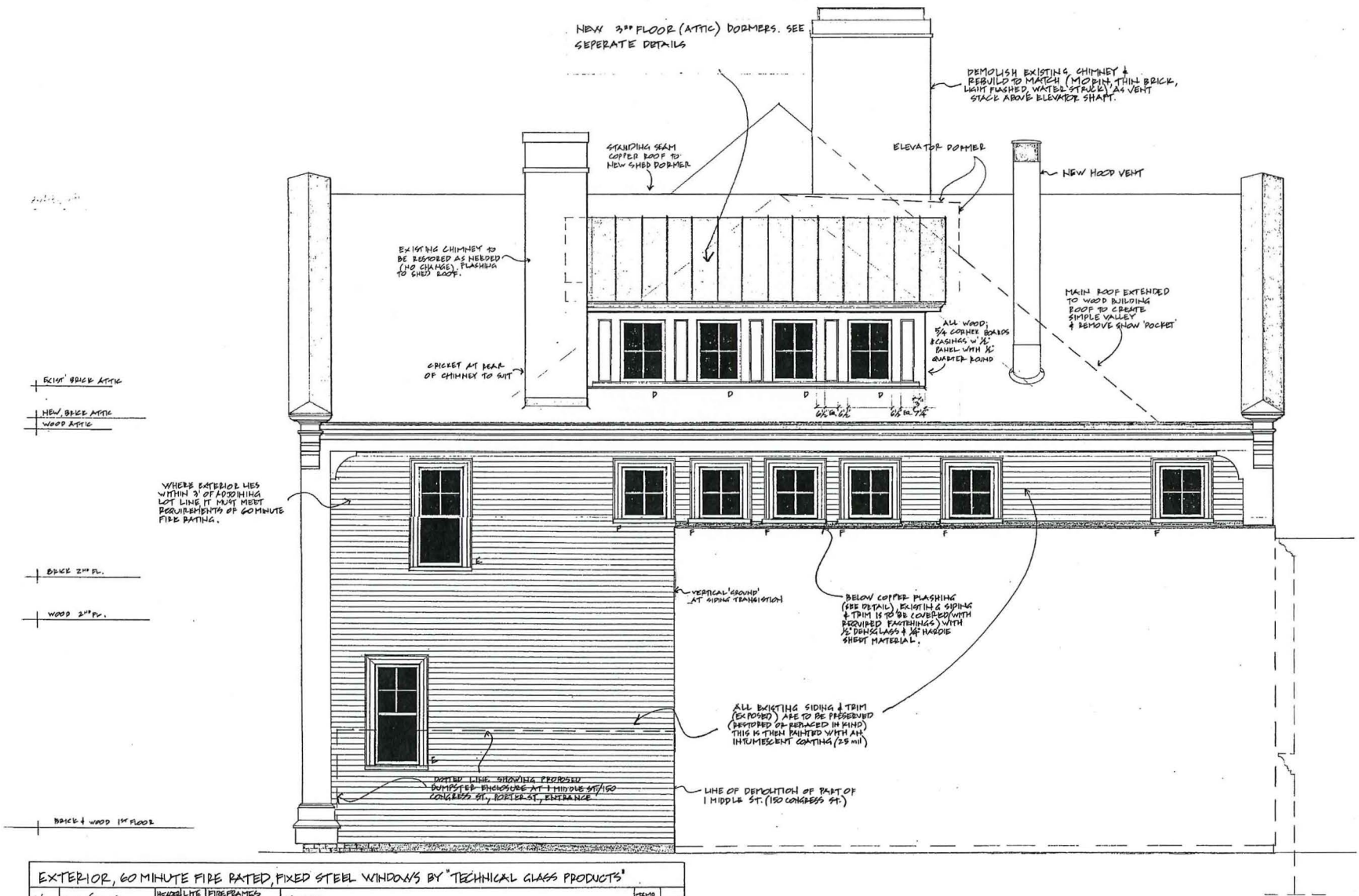


PREVIOUSLY APPROVED



PROPOSED  
CHANGE TO PORTER ST., ENTRANCE  
TO ONE MIDDLE ST., PORTSMOUTH, NH.



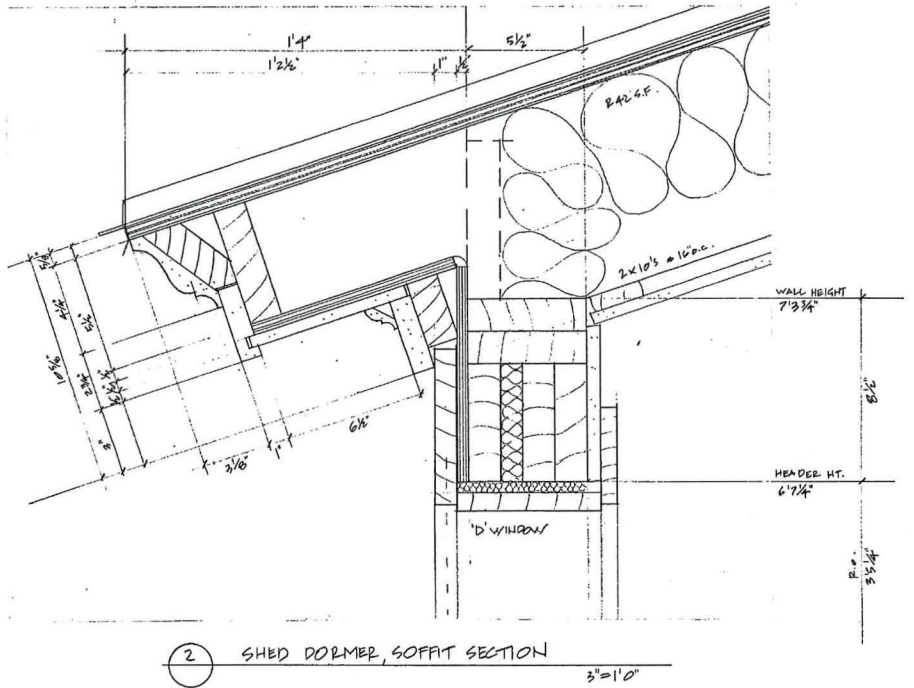
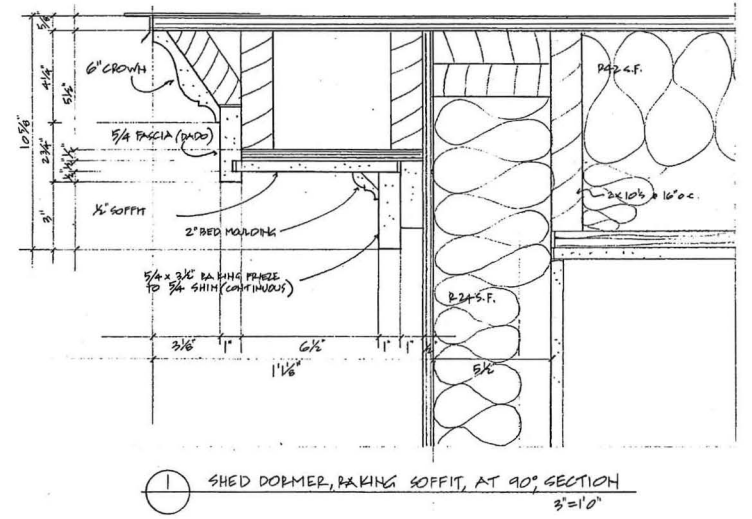


EXTERIOR, 60 MINUTE FIRE RATED, FIXED STEEL WINDOWS BY "TECHNICAL GLASS PRODUCTS"

No.	P.O. (WxH)	GLASS TYPE	FRAME	NOTES	QTY.
E	3'0" x 6'0"	TRV.	PIRULITE LGU	MATCH APPEARANCE OF EXISTING	2
F	3'0" x 3'0"	"	"	MATCH APPEARANCE OF UPPER HALF OF EXISTING	10
G	3'6" Ø	"	"	INTERIOR INSTALL TO EXISTING CASING & TRIM.	1

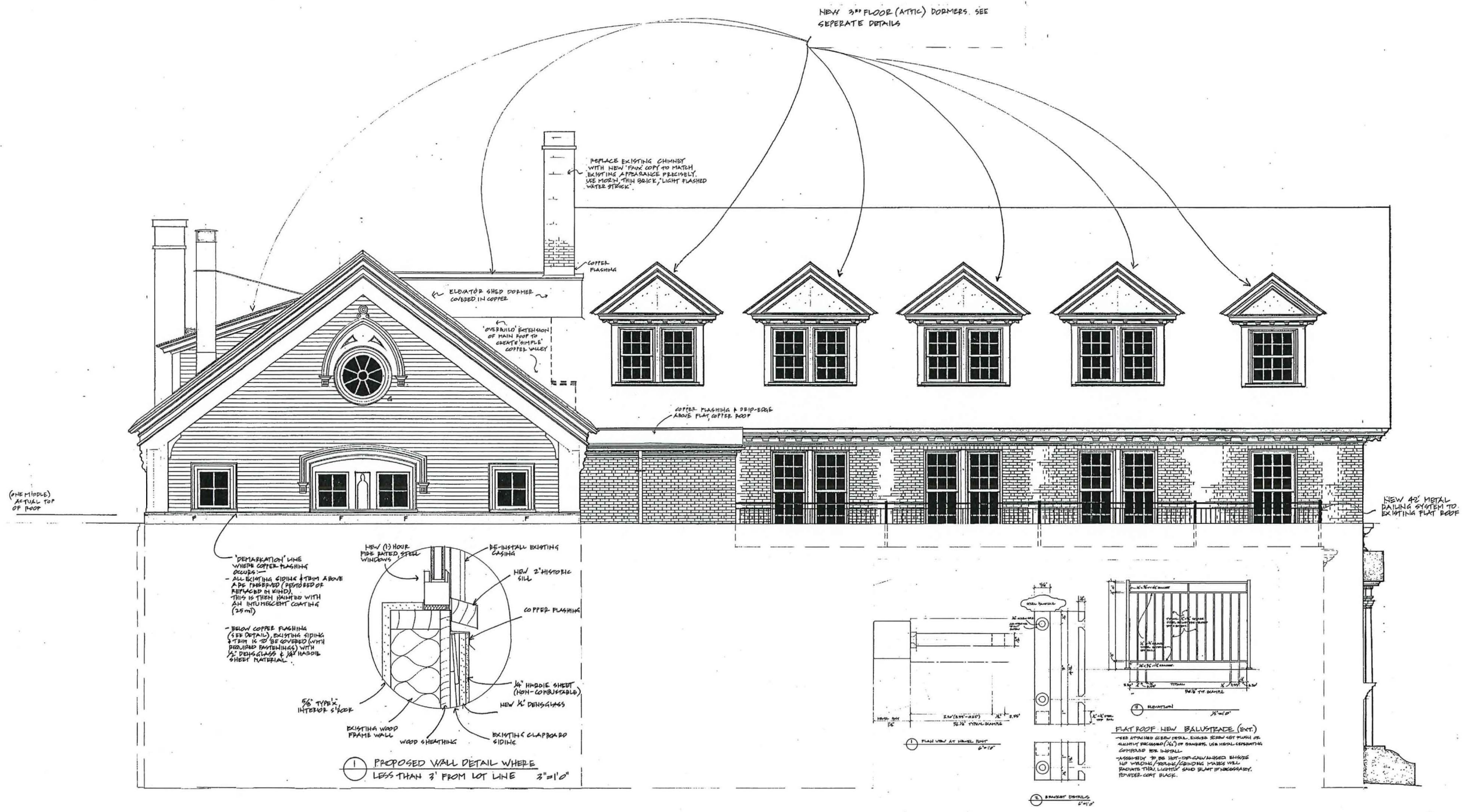
THESE WINDOWS REPLACE EXISTING HARVEY WINDOW REPLACEMENTS FROM 20+ YEARS AGO  
 EXISTING CASING & SILLS WILL BE REAPPLIED TO THE FRAMES OF THE NEW WINDOWS (OVERLAY EDGES)  
 - MUNTINS ARE APPLIED SPL TYPE.. FRAME PROFILE IS 2 3/4" x 1 1/2", GLASSING IS 1" PIRULITE PLUS LGU W/ LOWE.  
 - COLOR, KYMAR PAINT, "WHITE"

EXISTING &  
 PROPOSED  
 EAST ELEVATION  
 (MUSIC HALL)



TITLE: EAST ELEVATION, EXISTING & PROPOSED  
 SCALE: 1/4" = 1'0", & 3/8" = 1'0"  
 DATE: 1.14.2019  
 REVISIONS: 2.1.2019 2.6.2020 5.7.2020 6.10.2020 6.14.2021  
 REMODEL & RENOVATION  
 at 15 MIDDLE STREET,  
 PORTSMOUTH, NH.





EXISTING &  
PROPOSED  
NORTH ELEVATION  
(#1 MIDDLE ST, JUMPH JAY'S FISH CAFE PROFILE)

REMODEL & RENOVATION  
#15 MIDDLE STREET,  
PORTSMOUTH, NH

TITLE: NORTH ELEVATION, EXISTING & PROPOSED

SCALE: 1/4"=1'-0"

DATE: 1.14.2019

REVISIONS: 2.1.2019 2.6.2020 5.7.2020 6.10.2020 6.14.2021

Brendan McNamara  
19 Oak Drive  
Bedford, NH 03040  
603.882.1111  
brendan@brendanmcnamara.com  
brendanmcnamara.com

# STEEL, 60 MINUTE WINDOW DETAILS



**fireframes**  
DESIGNER SERIES

## General Information

### GLAZING SPECIFICATIONS

Closed cell 1/2" wide single or double sided adhesive PVC glazing tape of any common brand (available from your local glazing supply house) is recommended. See "Glazing Tape" on the Material Key Chart. Refer to table below for glazing tape thickness required for specific glazing products.

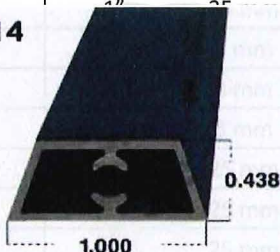
**NOTE:** Special fire-rated tape is supplied by the Fireframes manufacturer for 90 minute rated window and door assemblies only. Glass panels exceeding 1,393 sq. inches in a 90-minute rated application must be glazed with this fire-rated glazing tape when not using Pyrostop glazing materials. See "Fire-Rated Glazing Tape" on the Material Key Chart.

Glazing Product	Weight (Approx.) Pounds per Sq. Ft.	Glazing Thickness	Glazing Tape Thickness Used	Glazing Tape Thickness Used (Wide Stile)
Fireglass® 20	3.0	1/4" 6 mm	3/16" 5 mm	3/16" 5 mm
Fireglass 20 IGU	6.5	1" 25 mm	3/16" 5 mm	3/16" 5 mm
FireLite® Standard	2.4	3/16" 5 mm	3/16" 5 mm	3/16" 5 mm
FireLite Premium	2.4	3/16" 5 mm	3/16" 5 mm	3/16" 5 mm
FireLite IGU	5.9	1" 25 mm	1/8" 3 mm	1/8" 3 mm
FireLite NT Standard	2.4	3/16" 5 mm	3/16" 5 mm	3/16" 5 mm
FireLite NT Premium	2.4	3/16" 5 mm	3/16" 5 mm	3/16" 5 mm
FireLite NT IGU	5.9	1" 25 mm	1/8" 3 mm	1/8" 3 mm

SRAL102



AL314



## SDL PROFILES

Page 3 of 8

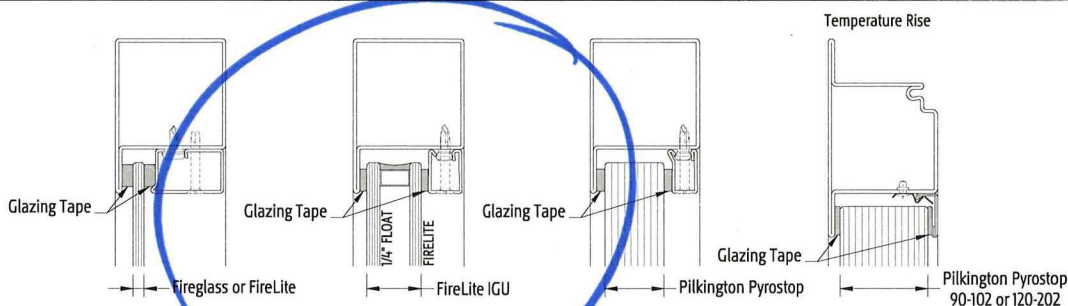


Figure 3 - Typical Glazing Options

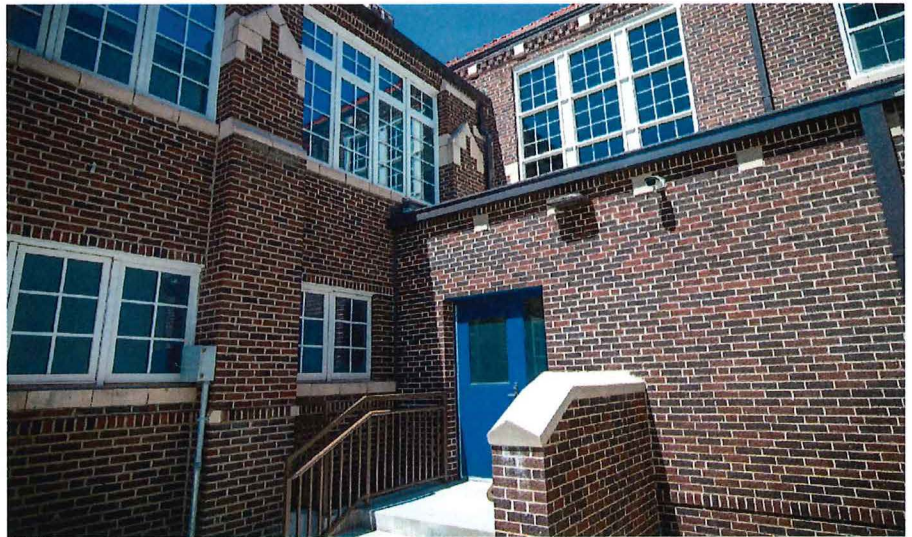


# PRODUCT IMAGES

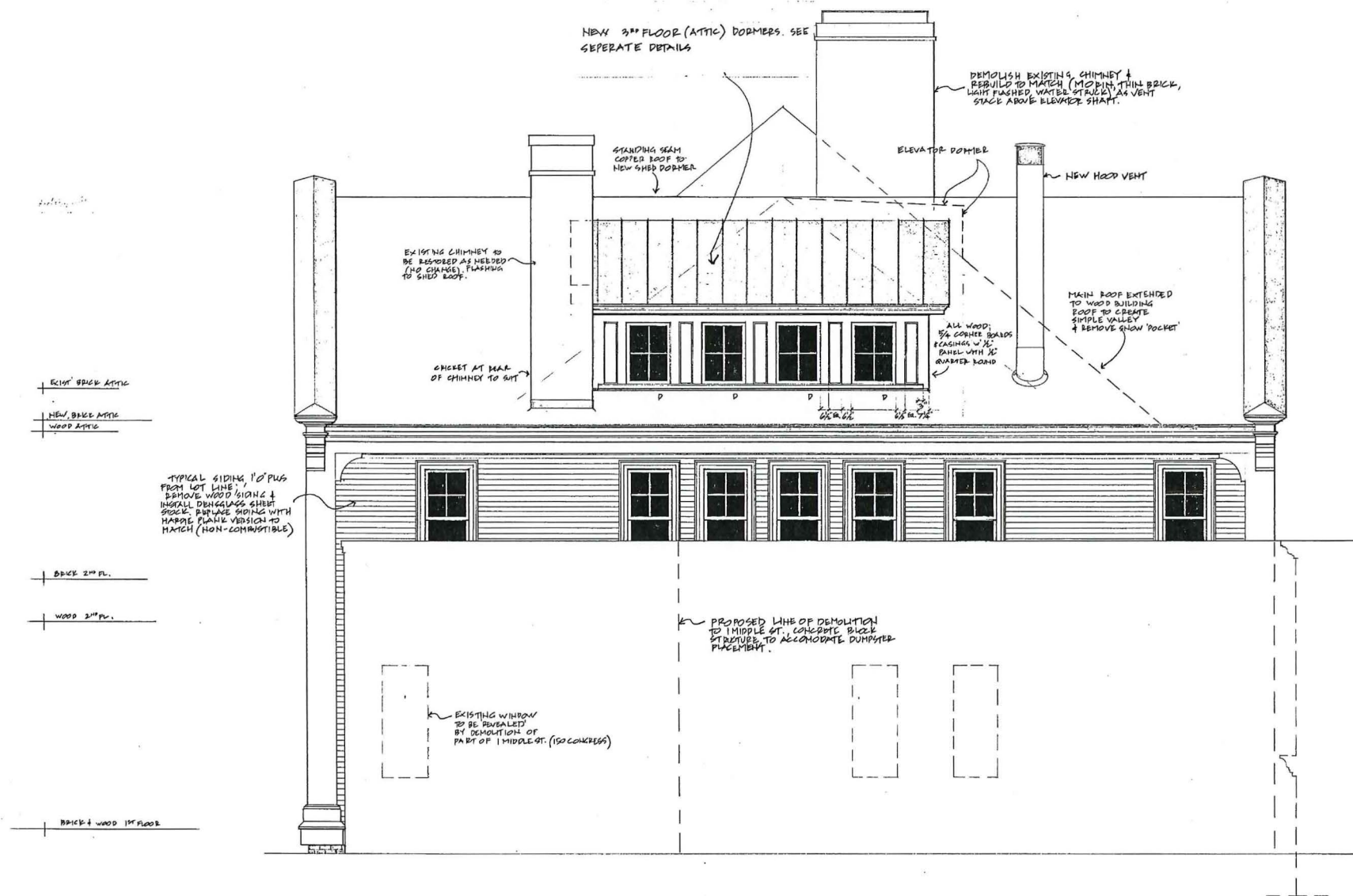


DODGE CITY, KANSAS, PASSES BOND TO ENHANCE STUDENT  
PROTECTION AT CENTRAL ELEMENTARY SCHOOL

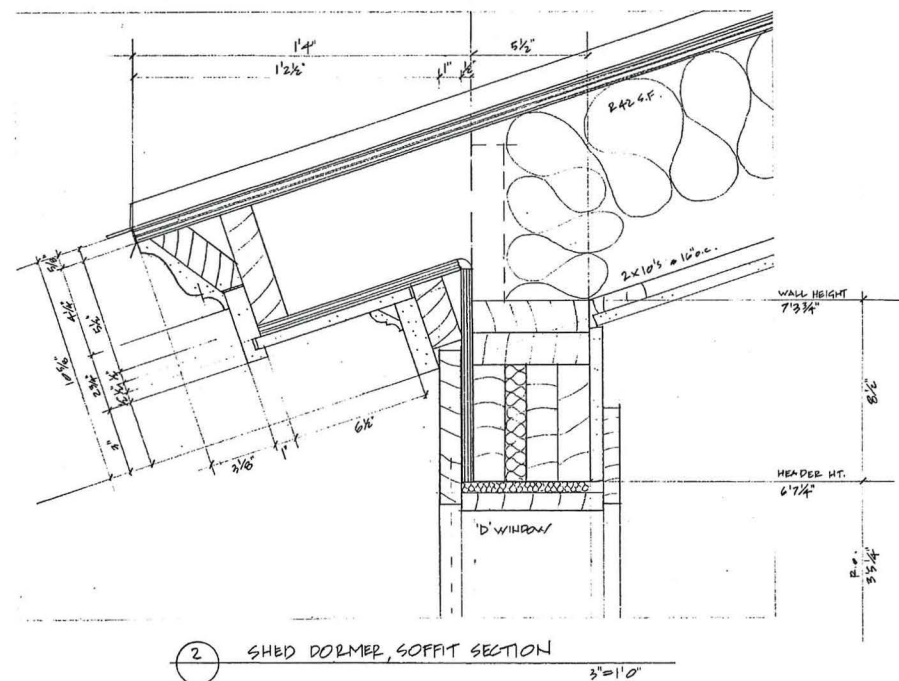
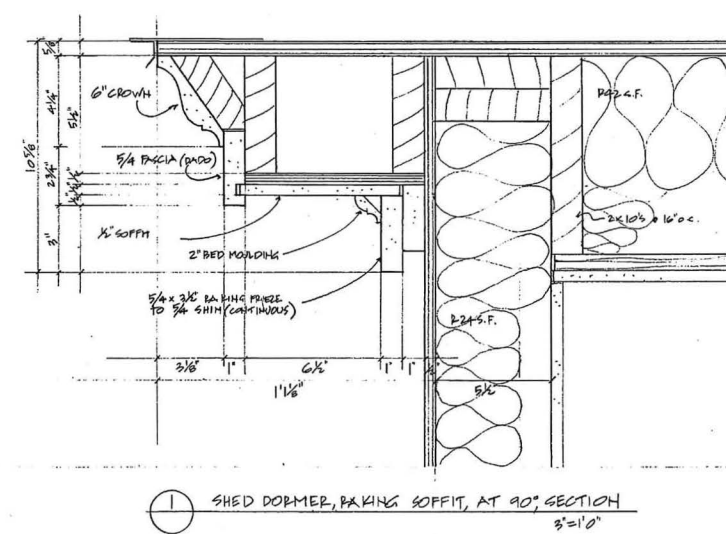
**Project:** Central Elementary School  
**Location:** Dodge City, KS  
**Architect:** GLMV Architecture  
**Glazing Contractor:** Wickham Glass Co.  
**Product:** FireLite Plus® fire-rated glass ceramic







EXISTING &  
PROPOSED  
EAST ELEVATION  
(MUSIC HALL)



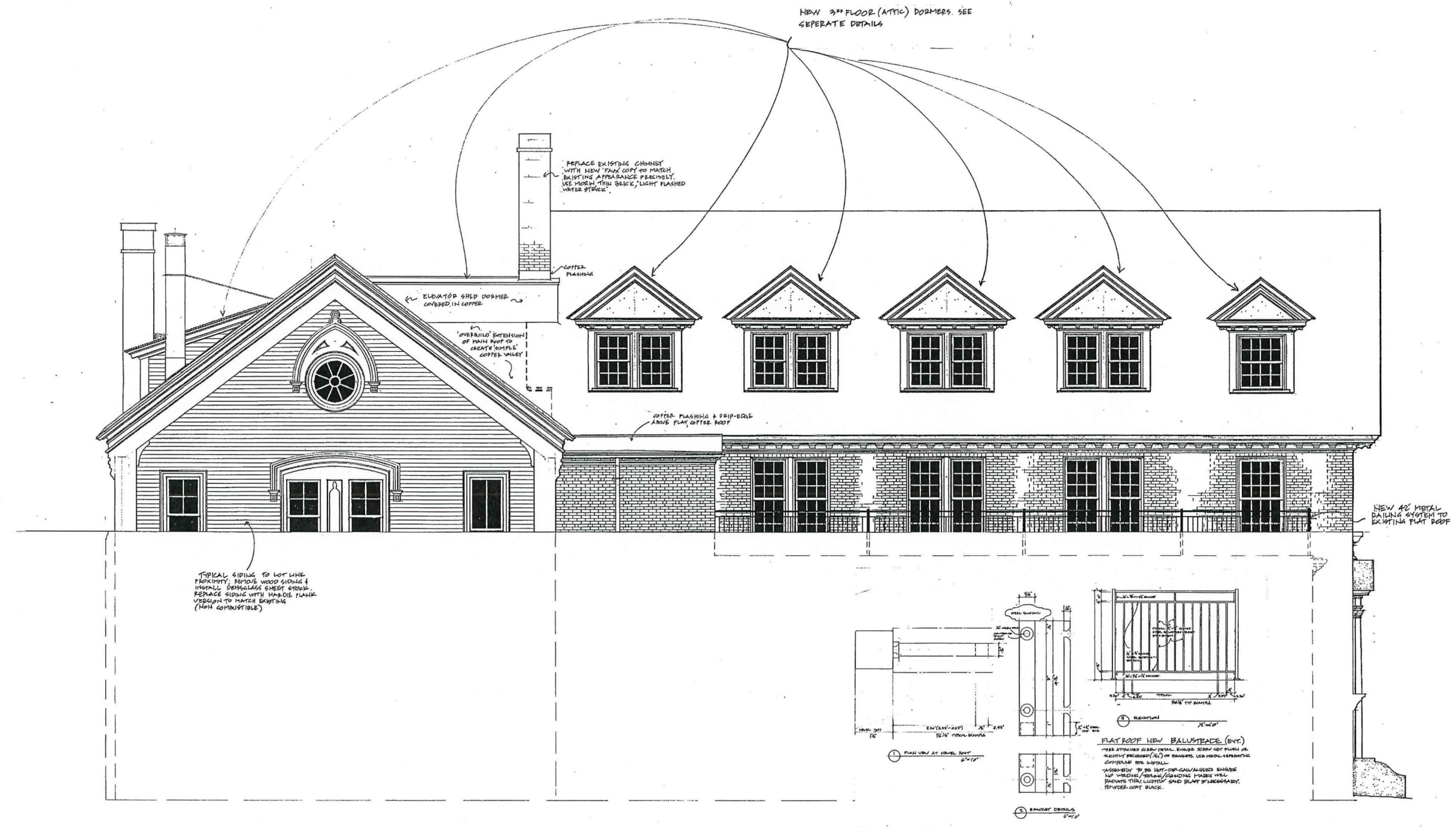
TITLE: EAST ELEVATION, EXISTING & PROPOSED &  
SHED DORMER DETAILS

SCALE: 1/4"=1'0", & 3/8"=1'0"

DATE: 1.14.2019

REVISIONS: 2.1.2019 2.6.2020 5.7.2020 6.10.2020

REMODEL & RENOVATION  
at 15 MIDDLE STREET,  
PORTSMOUTH, NH.



EXISTING &  
 PROPOSED  
 NORTH ELEVATION  
 (#1 MIDDLE ST, JUMPH' JAY'S FISH CAFE PROFILE)

TITLE: NORTH ELEVATION, EXISTING & PROPOSED  
 SCALE: 1/4"=1'-0"  
 DATE: 1.14.2019

REVISIONS: 2.1.2019 2.6.2020 5.7.2020 6.10.2020

REMODEL & RENOVATION  
 #15 MIDDLE STREET,  
 PORTSMOUTH, NH



## 5. 306 South Street

**- Recommended Approval**

**Background:** The applicant is seeking approval for the installation of a new cedar picket style fence.

**Staff Comment: Recommended Approval**

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

[illegible]



07/02/2021

**LUHD-352**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 14, 2021**Applicant**

Matthew Prescott  
matthewaprescott@gmail.com  
306 South Street  
Portsmouth, NH 03801  
2406204432

**Location**

306 SOUTH ST  
Portsmouth, NH 03801

**Owner:**

PRESCOTT LARA & PRESCOTT MATTHEW  
306 South Street Portsmouth, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

New fence

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Owner

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Matthew Prescott

**Business Name (if applicable)**

--

**Mailing Address (Street)**

306 South Street

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

2406204432

**Email Address**

matthewaprescott@gmail.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--



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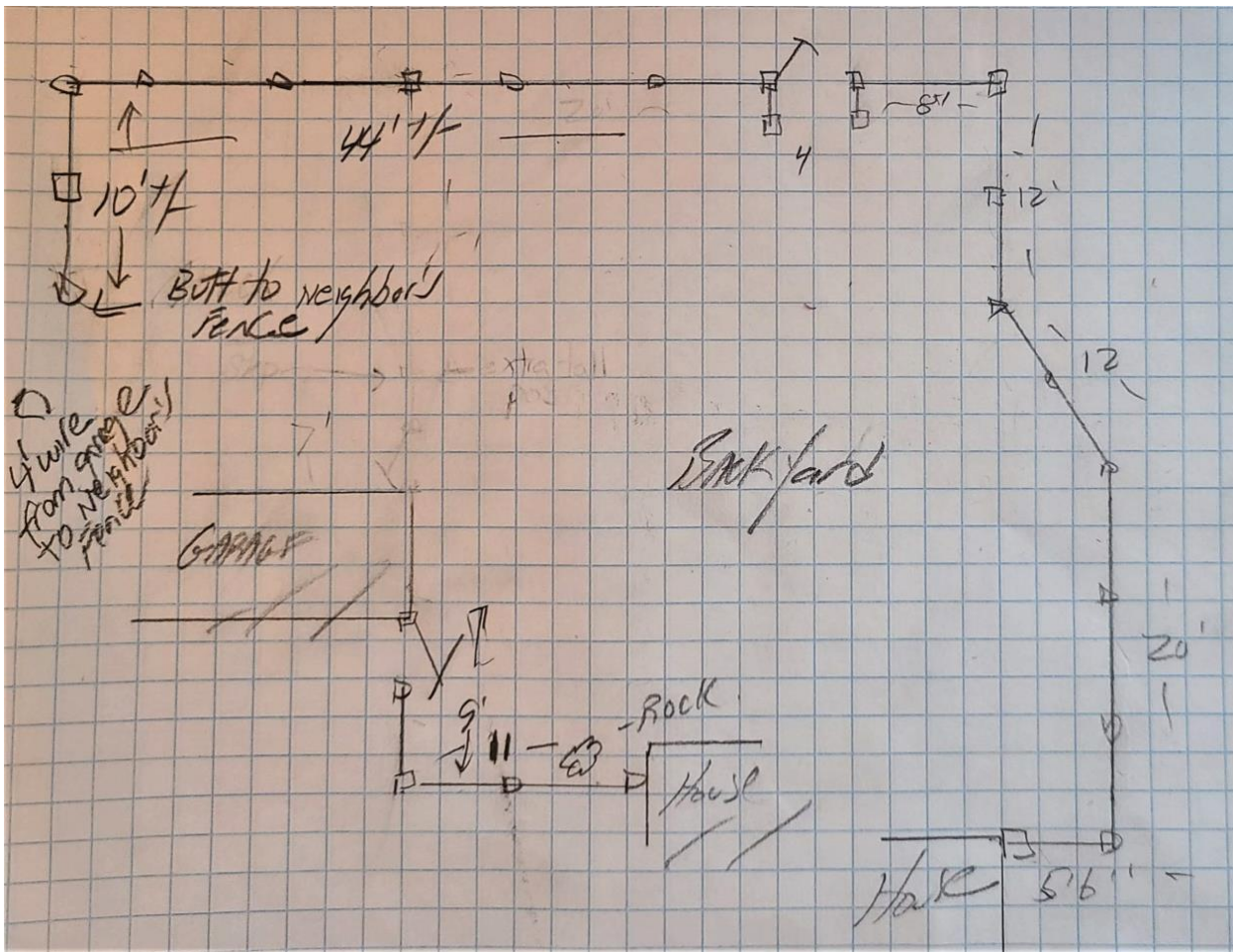
Date: June 14, 2021

Proposal for: Matthew Prescott  
306 South Street  
Portsmouth, NH  
matthewaprescott@gmail.com

Proposal by: Stephen Huntoon  
603-344-6500  
[stephen@newenglandcedarfence.com](mailto:stephen@newenglandcedarfence.com)

Note: All fence dimensions actual vs. nominal  
All dimensions +/-

Layout: See below



Fence Style: 42" High New England Picket





Wood:

Boards Architectural Grade Western Red Cedar  
Kiln dried  
Cedar naturally resists decay



All wood is dressed imperfections filled and sanded to 100 grit smoothness prior to finishing

Pickets:  $3/4"$  x  $3 3/8"$   
 $1 7/8"$  to  $2"$  +/- space between pickets

Fastening: Stainless steel nails

Carrying Rails:  $1 1/2"$  x  $3 3/8"$  backing rails with 2 outside beaded edges  
Rails extend  $2"$  into post



Shows beaded rail edges

Arbor:  $4'$  wide spindle arbor w/lattice sides



Gates: 2 - 42" gates



Back of gate w/ X bracing

**New Location** - 89 Ledge Road, Unit 2, Seabrook, NH 03874  
Phone (603) 344-6500  
[www.NewEnglandCedarFence.com](http://www.NewEnglandCedarFence.com)

6. 166 New Castle Avenue - Recommended Approval

**Background:** The applicant is seeking approval for a new stone wall/fencing to replace previously damaged fencing.

**Staff Comment:** Recommended Approval

Stipulations:

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_

**LUHD-351**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 14, 2021**Applicant**

Vasilia Tooley  
btooley@comcast.net  
166 New Castle Avenue  
Portsmouth, NH 03801  
603-770-0347

**Location**

166 NEW CASTLE AVE  
Portsmouth, NH 03801

**Owner:**

TOOLEY DAVID J & TOOLEY VASILIA  
166 NEW CASTLE AVE PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Building of new fence/wall to replace the fencing that was destroyed

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

--

**Planning Staff Comments**

--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

**Owner Addressee Prefix and Last Name**

--

**Owner Organization / Business Name****Owner Contact Street Address**





Existing view front (north) elevation



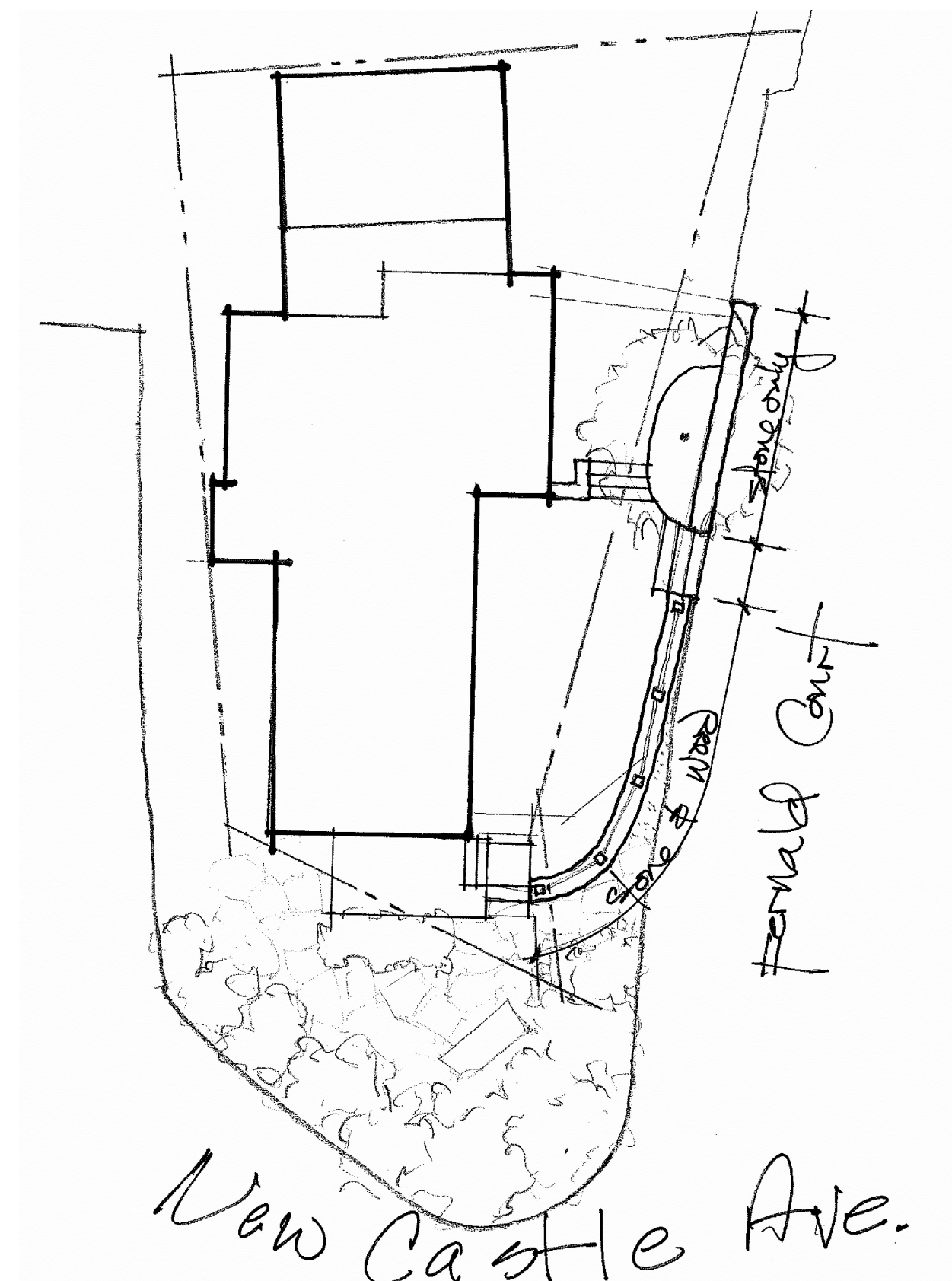
Existing view front corner (northwest) elevation



Satellite view



Sketch Elevation of Proposed Replacement Fence



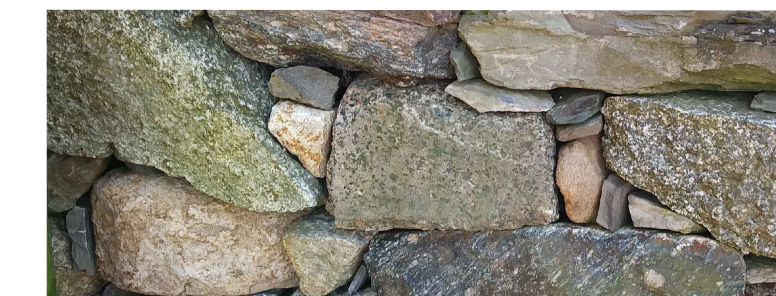
Sketch Plan of Proposed Fence Replacement

**TOOLEY RESIDENCE**  
Landscape Renovation (replacement fencing)

Work Summary:

Replace existing wood fence with a stone & wood fence

Stone base (natural stone, random stacked - similar to existing) to 3' height w/ vertical cedar panels above to height of 5' (stained brown similar to existing)  
See below for example



Example of existing stone wall near house



Facsimile of Proposed Fence Replacement w/ Stone & Wood

**PORT CITY DESIGN**

architecture  
planning  
interiors

603.312.1707  
953 Islington Street  
Portsmouth, NH  
03801  
portcitydesignco.com

Consultants

Client - Project:

**TOOLEY RESIDENCE**

Landscape Renovation  
(replacement fencing)

166 New Castle Ave.  
Portsmouth, NH  
03801

Notes

2021-6-3

**A1**

Landscape Renovation  
(fence replacement)  
166 New Castle Ave.  
Portsmouth, NH 03801

# Tooley Residence - Landscape Renovation (fence replacement)





Existing view front (north) elevation



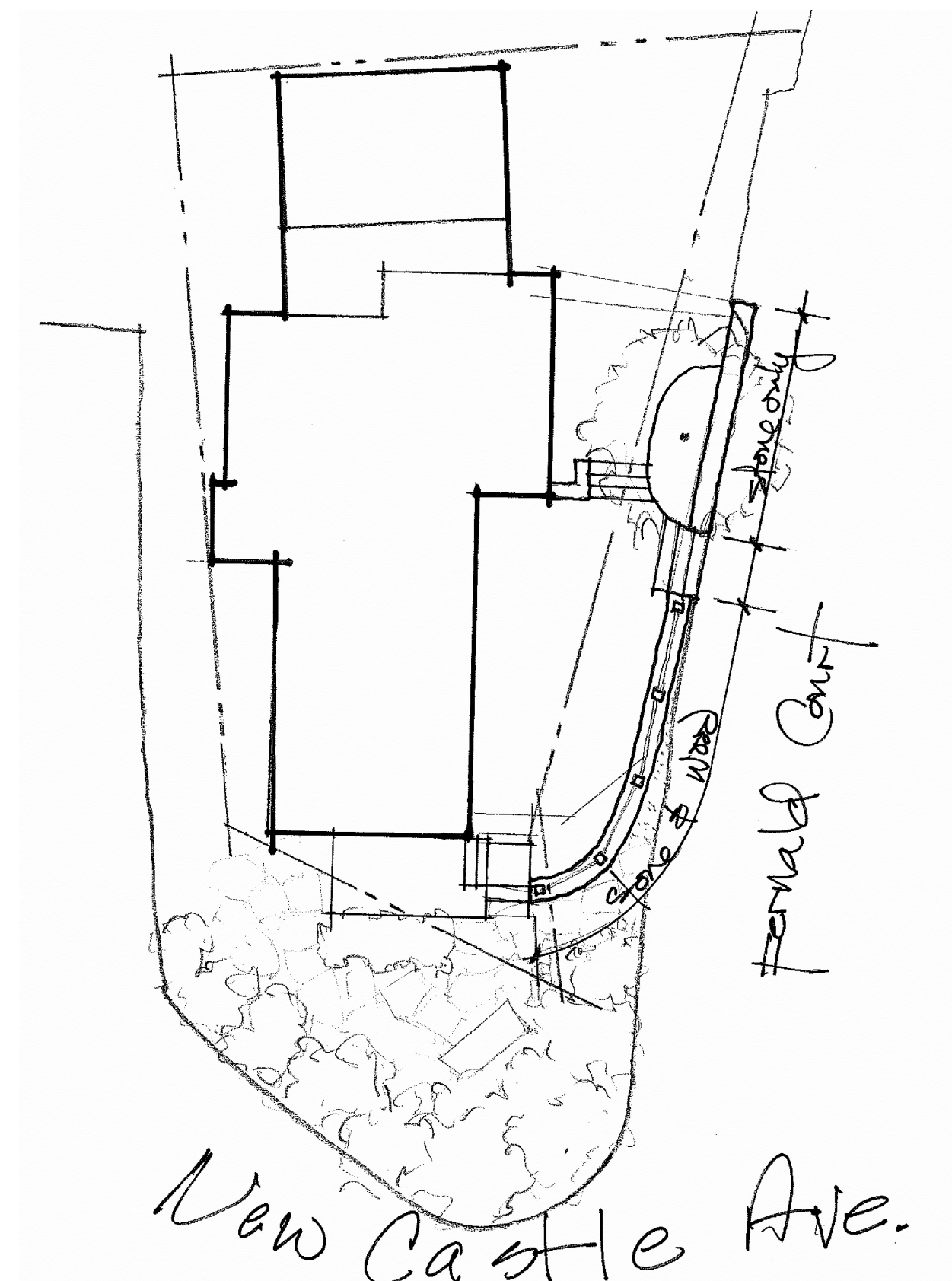
Existing view front corner (northwest) elevation



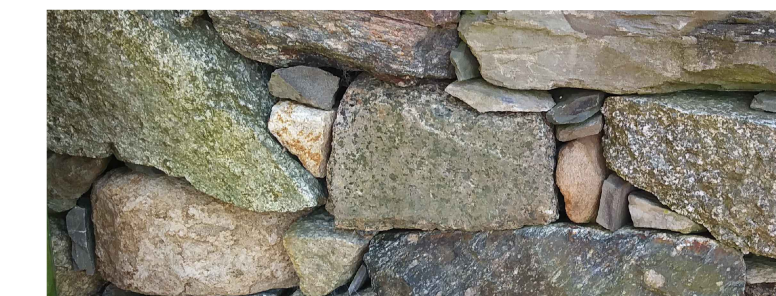
Satellite view



Sketch Elevation of Proposed Replacement Fence



Sketch Plan of  
Proposed Fence Replacement



Example of existing  
stone wall near house



Facsimile of Proposed  
Fence Replacement w/  
Stone & Wood

**TOOLEY RESIDENCE**  
**Landscape Renovation (replacement fencing)**

Work Summary:

Replace existing wood fence with a stone & wood fence

Stone base (natural stone, random stacked - similar to existing) to 3' height w/ vertical cedar panels above to height of 5' (stained brown similar to existing)  
See below for example

**PORT  
CITY  
DESIGN**

architecture  
planning  
interiors

603.312.1707  
953 Islington Street  
Portsmouth, NH  
03801  
portcitydesignco.com

Consultants

Client - Project:

**TOOLEY  
RESIDENCE**

Landscape  
Renovation  
(replacement fencing)

166 New Castle Ave.  
Portsmouth, NH  
03801

Notes

2021-6-3

**A1**

Landscape Renovation  
(fence replacement)  
166 New Castle Ave.  
Portsmouth, NH 03801

# Tooley Residence - Landscape Renovation (fence replacement)





**7. 241 Middle Street - TBD**

- TBD

**Background:** The applicant is seeking approval for repairs to existing brownstone surrounding the front entrance of the structure.

**Staff Comment:** TBD

**Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





City of Portsmouth, NH

07/02/2021

**LUHD-349**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 04, 2021**Applicant**

Paul Jones  
paulj@arcboston.com  
29 souhegan st  
milford, NH 03055  
603-557-7958

**Location**

241 MIDDLE ST  
Portsmouth, NH 03801

**Owner:**

RAM REALTY TRUST & MARSHALL ROBERT A AND ALESSANDRA S  
TTEES  
5 ALDERBROOK DR TOPSFIELD, MA 01983

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Repair deteriorated brownstone around front entrance with Matrix stone repair mortar by Comproco according to manufactures specifications.

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

Contractor

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

--

**Planning Staff Comments**

--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

**Owner Addressee Prefix and Last Name**

--

Existing conditions:













Done Letter\_241-Middle-Ports...



June 28, 2021



**Project:** 241 Middle St Portsmouth New Hampshire

**Contractor:** Atlantic Restoration; 121 Brick Kiln Road (Suite 100) Chelmsford MA 01824

Regarding the brownstone repair of the portico at 241 Middle Street, I recommend that full depth ( $\frac{1}{2}$ " +) cementitious repairs be made using the Conproco Matrix repair mortar. The Matrix is designed to have comparable physical characteristics to natural stone like the brownstone at 241 Middle Street. The Matrix material is a relatively weak (in terms of compressive strength) repair mortar as compared to repair mortars used for concrete substrates, this lower compressive strength is desirable when repairing natural stone substrates since substrates like brownstone are soft and lack high compressive strengths. It is best for repairs to natural stone be made using a softer material, since stronger repair mortars can cause further damage to the softer parent substrate.

The deteriorated brownstone should be prepared to remove all compromised material in order to provide a solid substrate from which to make repairs. Further, the existing white coating must be removed to expose the substrate beneath. The Matrix repair mortar requires a minimum depth of  $\frac{1}{2}$ " and deeper repairs can be made by applying multiple lifts (layers) of material. The repair areas should be of simple geometry, mostly rectangular or square geometry, as more complex repair geometry can lead to cracking within the repairs. Further installation and preparation procedures can be found on the Matrix data bulletin.

If the portico is going to be left uncoated once repairs are made, I would suggest applying a clear sealer product at the areas adjacent to the ground- the damage closest to the floor at the entry door is typically caused by water intrusion during the winter months. By sealing the repairs with a clear sealer, water will be less able to absorb into the substrate causing reoccurring damage at the lower areas of the brownstone.

Sincerely,

Corey Davis  
Conproco  
603 312 8364  
cdavis@conproco.com

June 28, 2021





## 8. 125 Bow Street

## - Recommended Approval

**Background:** The applicant is seeking approval for the replacement of HVAC equipment and to construct a new mechanical platform over the rear patio area.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-360**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 29, 2021**Applicant**

Tracy Kozak  
tkozak@jsainc.com  
JSA Inc  
273 Corporate Drive, Suite 100  
portsmouth, New Hampshire 03801  
603-731-5187

**Location**

125 BOW ST  
Portsmouth, NH 03801

**Owner:**

BOW STREET THEATRE TRUST  
125 BOW ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

replace hvac equipment and construct new mechanical platform over rear patio

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

tracy kozak

**Business Name (if applicable)**

jsa design

**Mailing Address (Street)**

273 corporate dr, ste 100

**City/Town**

portsmouth

**State**

nh

**Zip Code**

03801

**Phone**

6034362551x253

**Email Address**

tkozak@jsainc.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

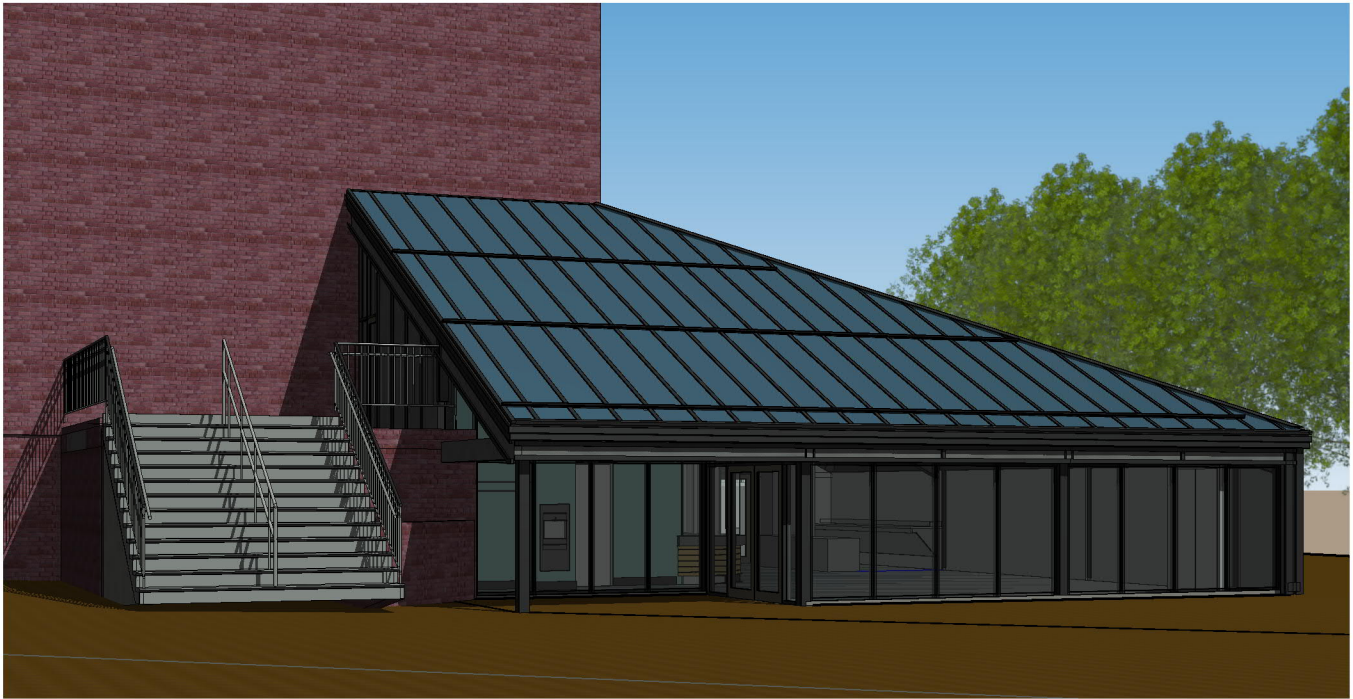
board member



# SEACOAST REPERTORY THEATER LOBBY RENOVATION

125 BOW STREET

HDC ADMINISTRATIVE APPROVAL  
MECHANICAL PLATFORM & EQUIPMENT  
JUNE 18, 2021



DRAWING SHEET LIST - HDC	
SHEET NO.	NAME
SHEET#	SHEET NAME
P0	COVER
P2	FIRST FLOOR PLAN
P3	ROOF PLAN
P6	SOUTHEAST (SIDE) ELEVATION
P7	NORTHEAST (REAR) ELEVATION
P13	PERSPECTIVE FROM SOUTHEAST

P0

COVER

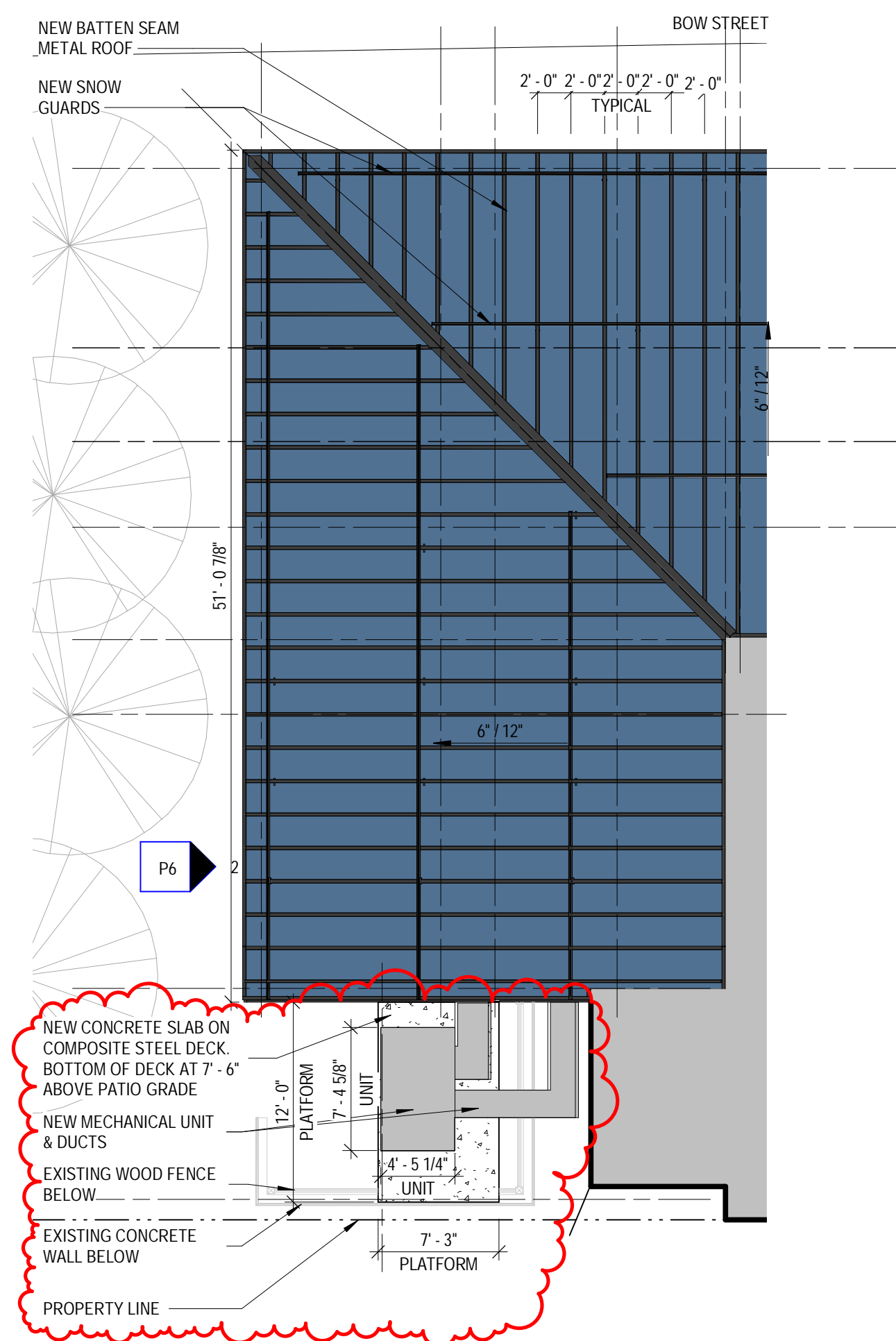
LOBBY RENOVATION - PHASE 3 ENVELOPE

SCALE:  
06/18/2021

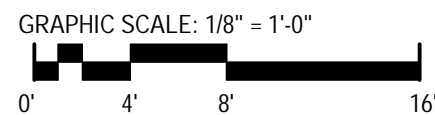
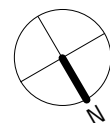








1 PROPOSED ROOF PLAN  
1/8" = 1'-0"



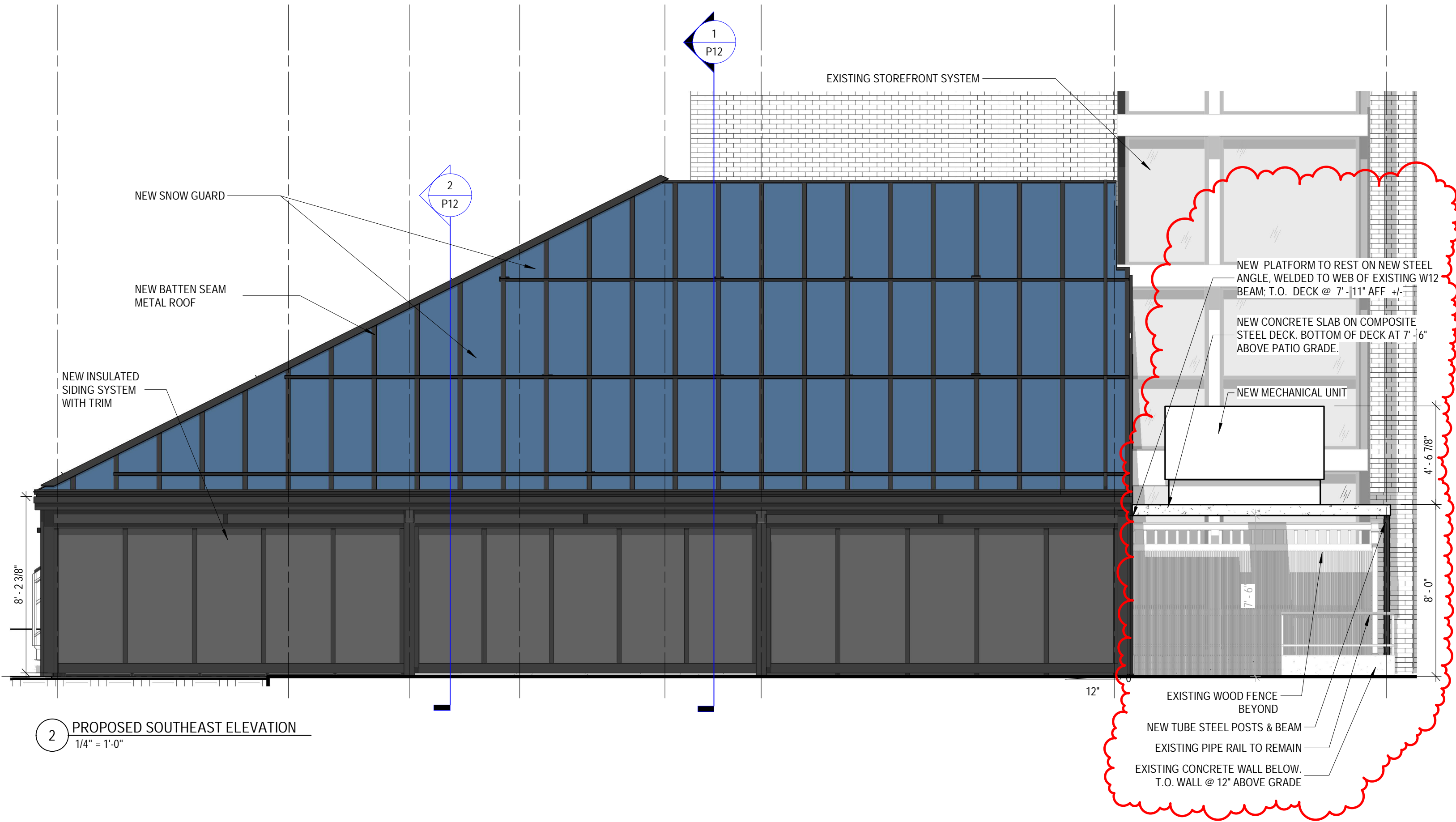
EXISTING CONDITIONS

REMOVE DUCT

P3

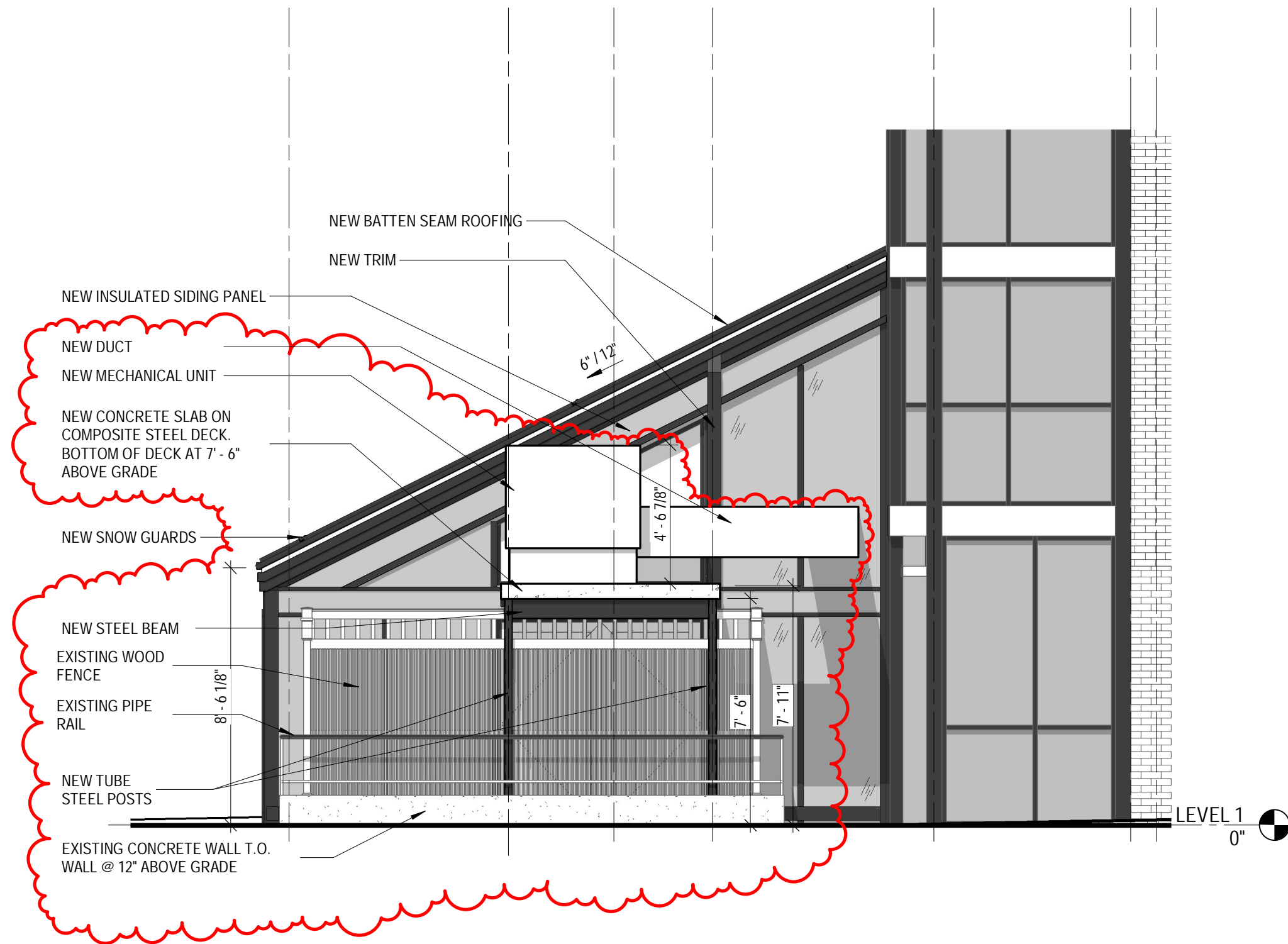
## ROOF PLAN LOBBY RENOVATION - PHASE 3 ENVELOPE

SCALE: 1/8" = 1'-0"  
06/18/2021

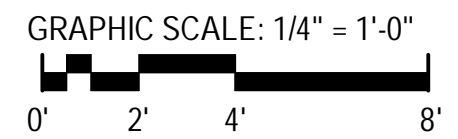


P6 SOUTHEAST (SIDE) ELEVATION  
LOBBY RENOVATION - PHASE 3 ENVELOPE  
SCALE: 1/4" = 1'-0"  
06/18/2021

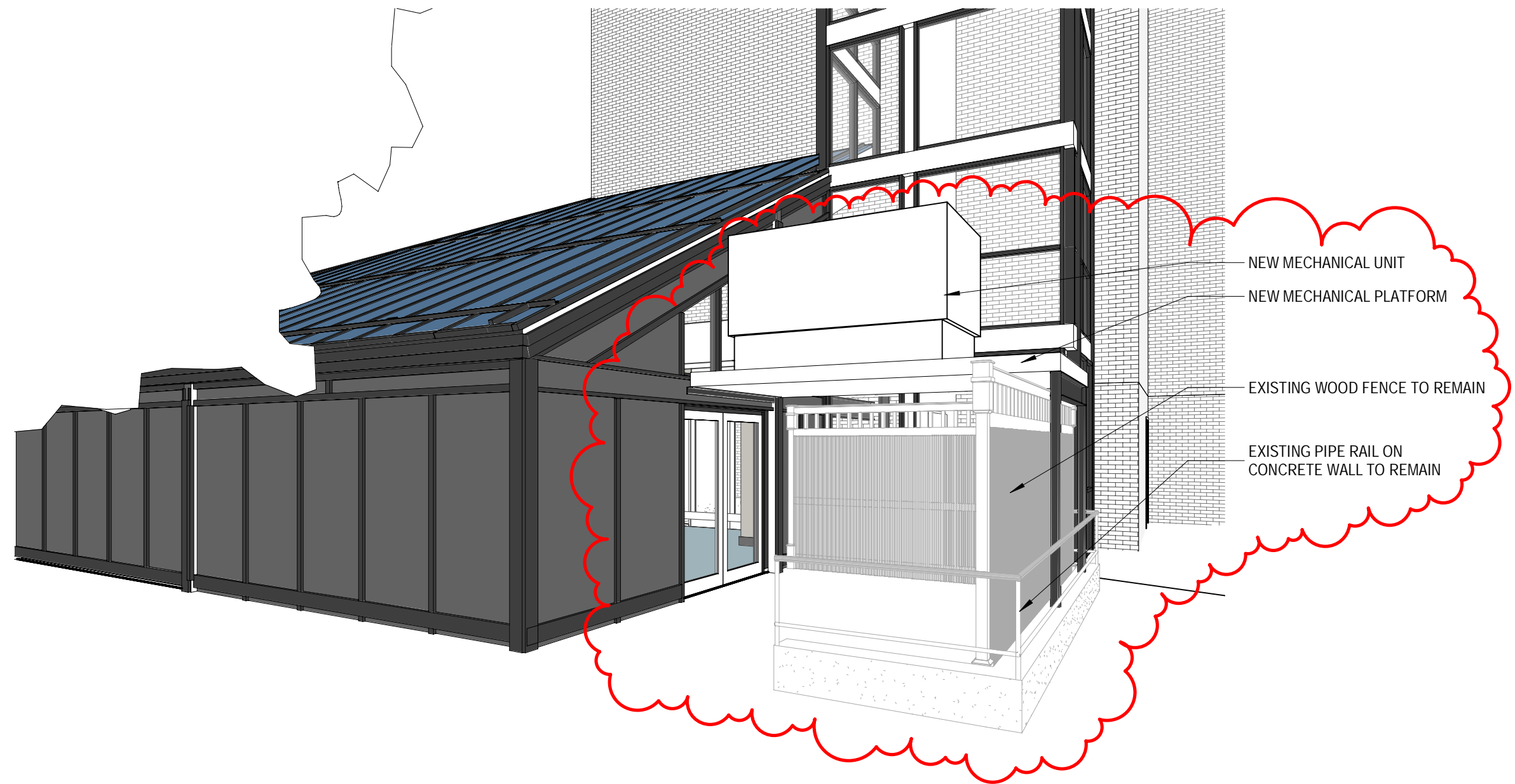




2 PROPOSED NORTHEAST ELEVATION  
1/4" = 1'-0"



P7 NORTHEAST (REAR) ELEVATION  
LOBBY RENOVATION - PHASE 3 ENVELOPE  
SCALE: 1/4" = 1'-0"  
06/18/2021



1 SOUTHEAST PERSPECTIVE

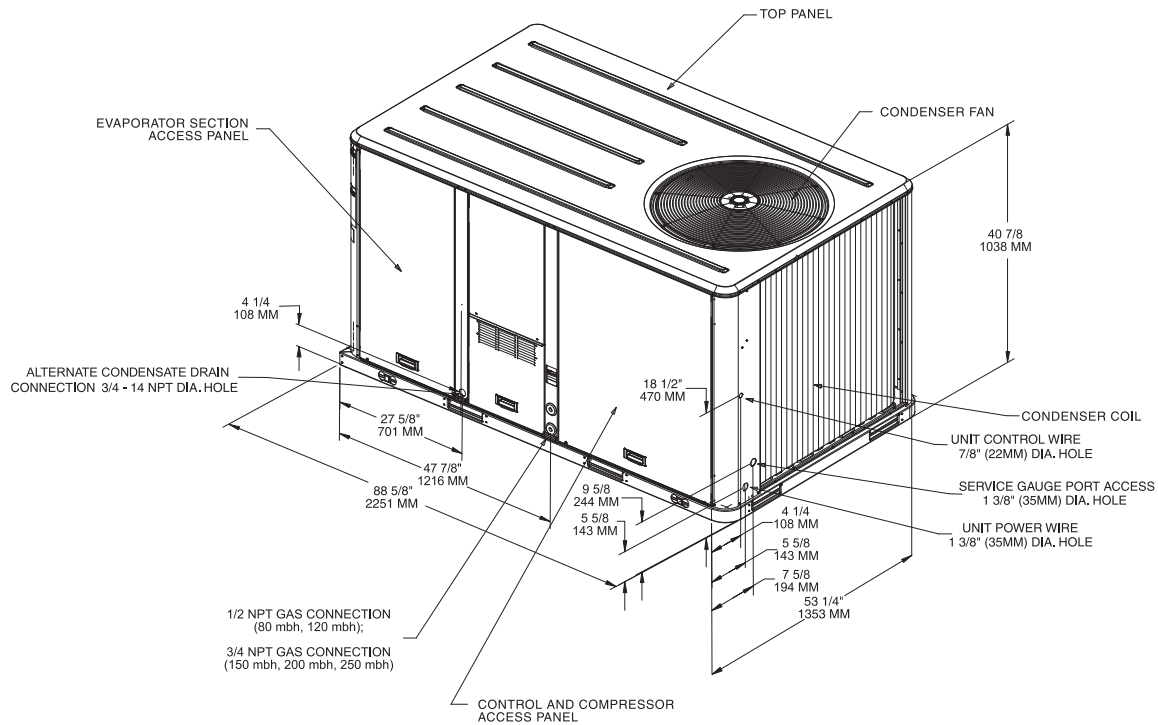
P13 PERSPECTIVE FROM SOUTHEAST  
LOBBY RENOVATION - PHASE 3 ENVELOPE

SCALE:  
06/18/2021



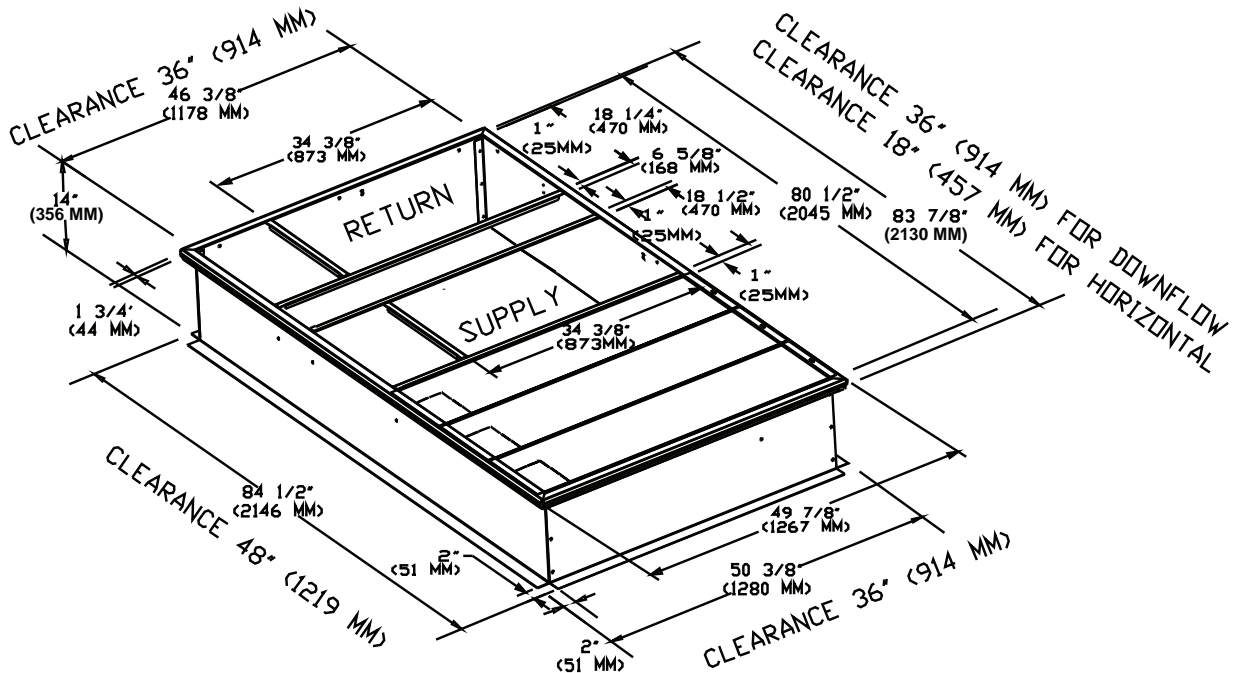
**Figure 6. 6, 7½ (single) ton standard efficiency, 4-5 ton high efficiency**

**Note:** All dimensions are in inches/millimeters.



**Figure 7. 6, 7½ (single) ton standard efficiency, 4-5 ton high efficiency - roof curb**

**Note:** All dimensions are in inches/millimeters.



## 9. 60 Penahllow Street - Recommended Approval

**Background:** The applicant is seeking approval for exterior artwork installations throughout the public space on the property site.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



**LUHD-355**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 21, 2021**Applicant**

Robbi Woodburn  
robbi@woodburnandcompany.com  
Woodburn & Company Landscape Architecture, LLC  
103 Kent Place  
Newmarket, New Hampshire 03857  
6036595949

**Location**

60 PENHALLOW ST  
Portsmouth, NH 03801

**Owner:**

DAGNY TAGGART LLC  
3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Exterior Artwork at 60 Penhallow

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Other

**If you selected "Other", please state relationship to project.**

Landscape Architect

**Full Name (First and Last)**

Roberta Woodburn

**Business Name (if applicable)**

Woodburn &amp; Company Landscape Architecture

**Mailing Address (Street)**

103 Kent Place

**City/Town**

Newmarket

**State**

NH

**Zip Code**

03901

**Phone**

6036595949

**Email Address**

robbi@woodburnandcompany.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other





# BRICK MARKET PRESENTATION OF ARTWORK CONCEPTS



Construction | Development | Management



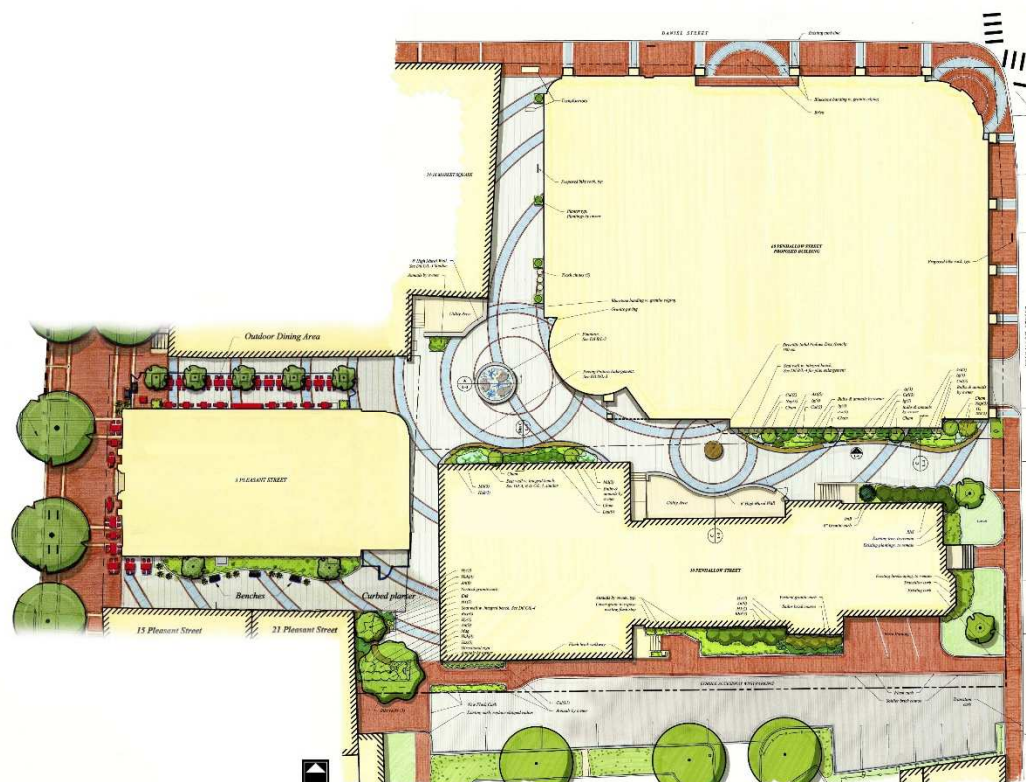
**Brick Market**

VIVIAN BEER STUDIO



**Golob Art**





During 2019 Brick Market, consisting of the renovation 3 Pleasant Street, the design of the new building at 60 Penhallow and the surrounding courtyard and sidewalks was reviewed and approved by the HDC and later reviewed and approved by the Planning Board in January of 2020.

### Timeline

- March 2019 – January 2020 Design Review & Approval by the City of Portsmouth
- Fall 2019 – Renovation of 3 Pleasant begins
- Summer 2020 – Call for Artists
- Fall 2020 – Construction of 60 Penhallow begins
- Fall 2020 – Selection of Artists
- Winter 2020 – Present – Development of Concepts



Construction | Development | Management



**Brick Market**

VIVIAN BEER STUDIO



**Golob Art**



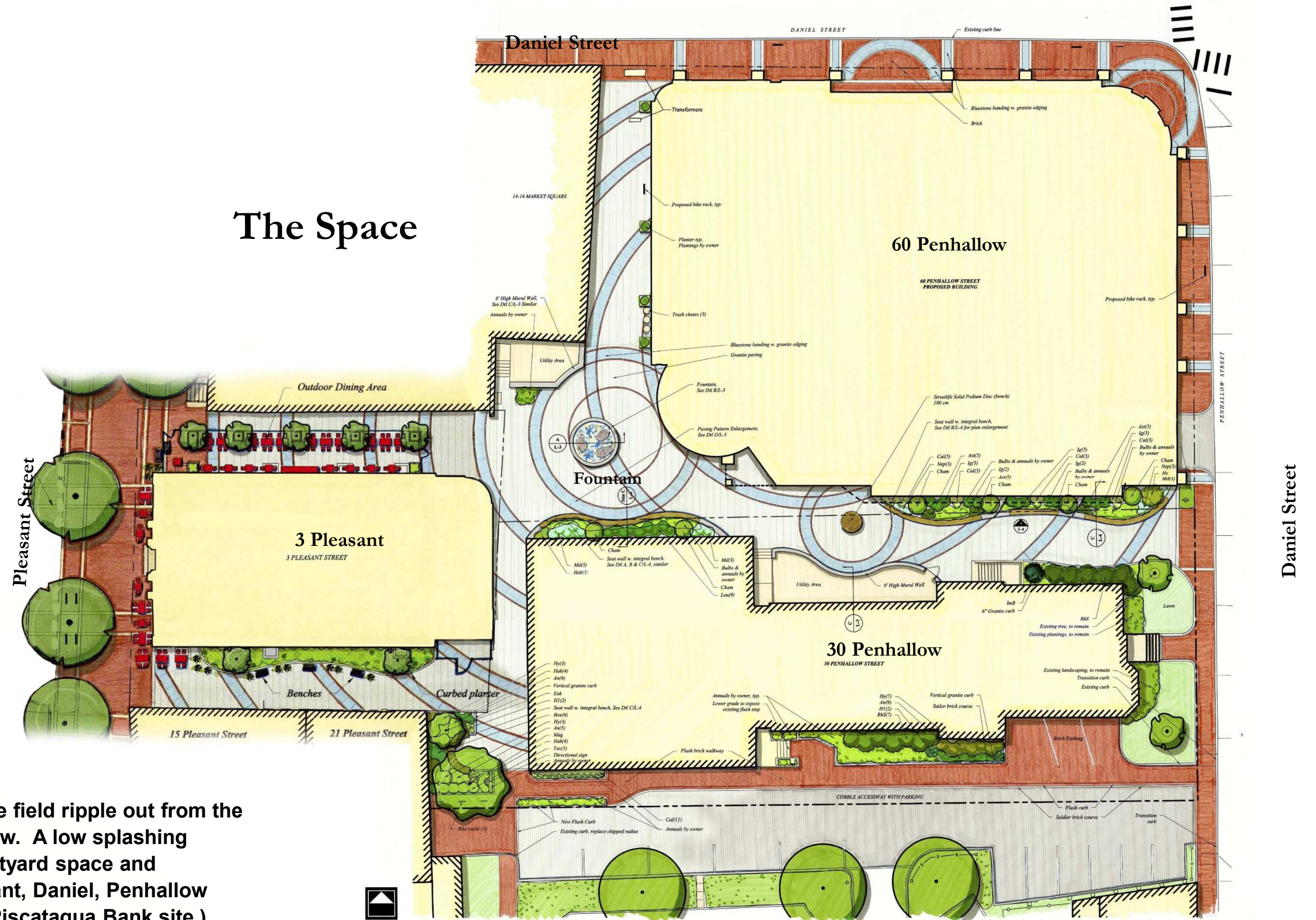


## Imagery

The design of the landscape and as well as the building at 60 Penhallow reflects Portsmouth's Maritime History and the water that defines the City. The overall goal of Brick Market and its landscape is to create an exciting, activated pedestrian courtyard or plaza providing connectivity between Market Square to and through the site to the McIntyre block and the waterfront beyond. It will also be a destination and gathering space. Curves, waves and water are central themes that structure the space.

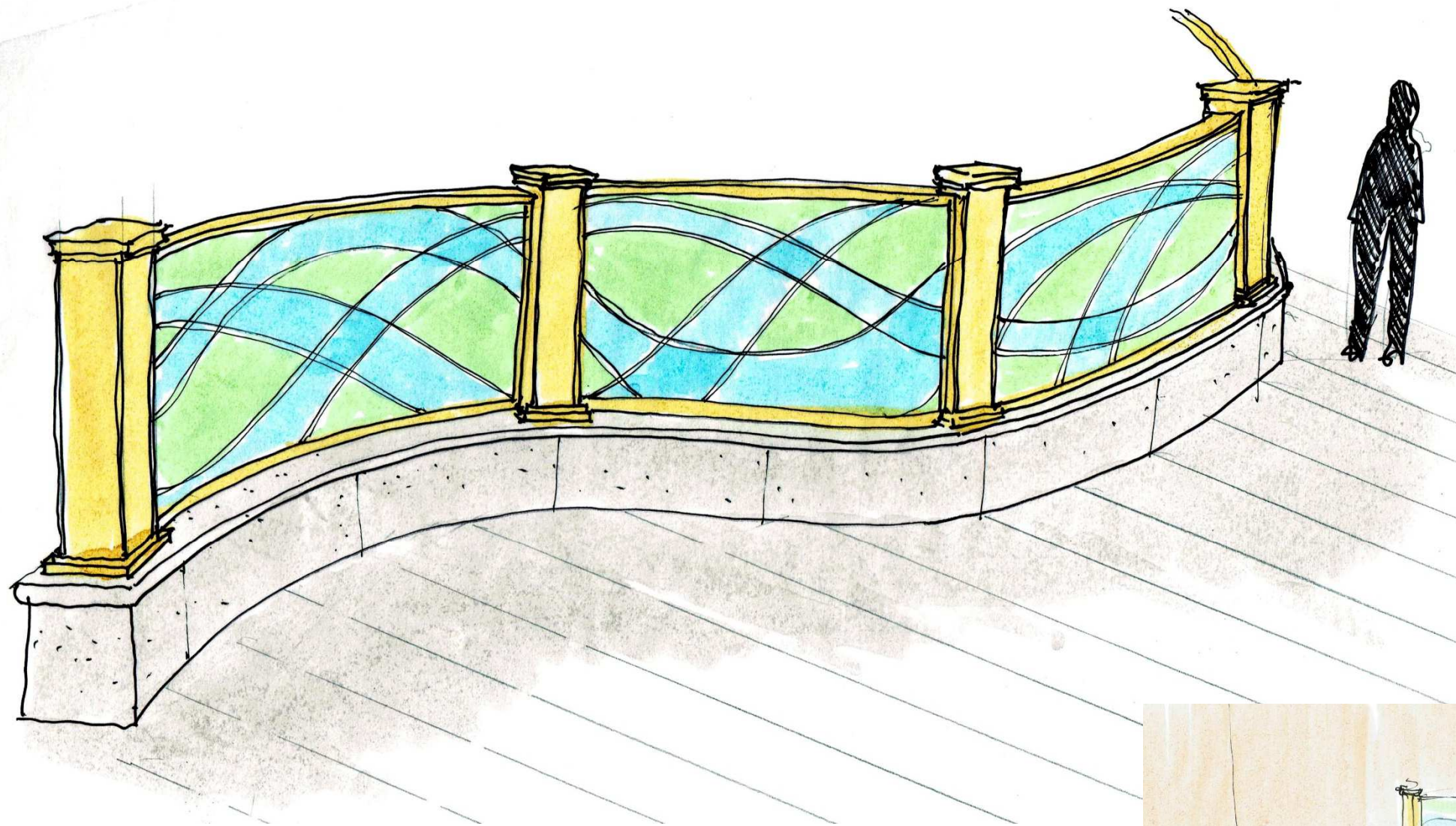


## The Space

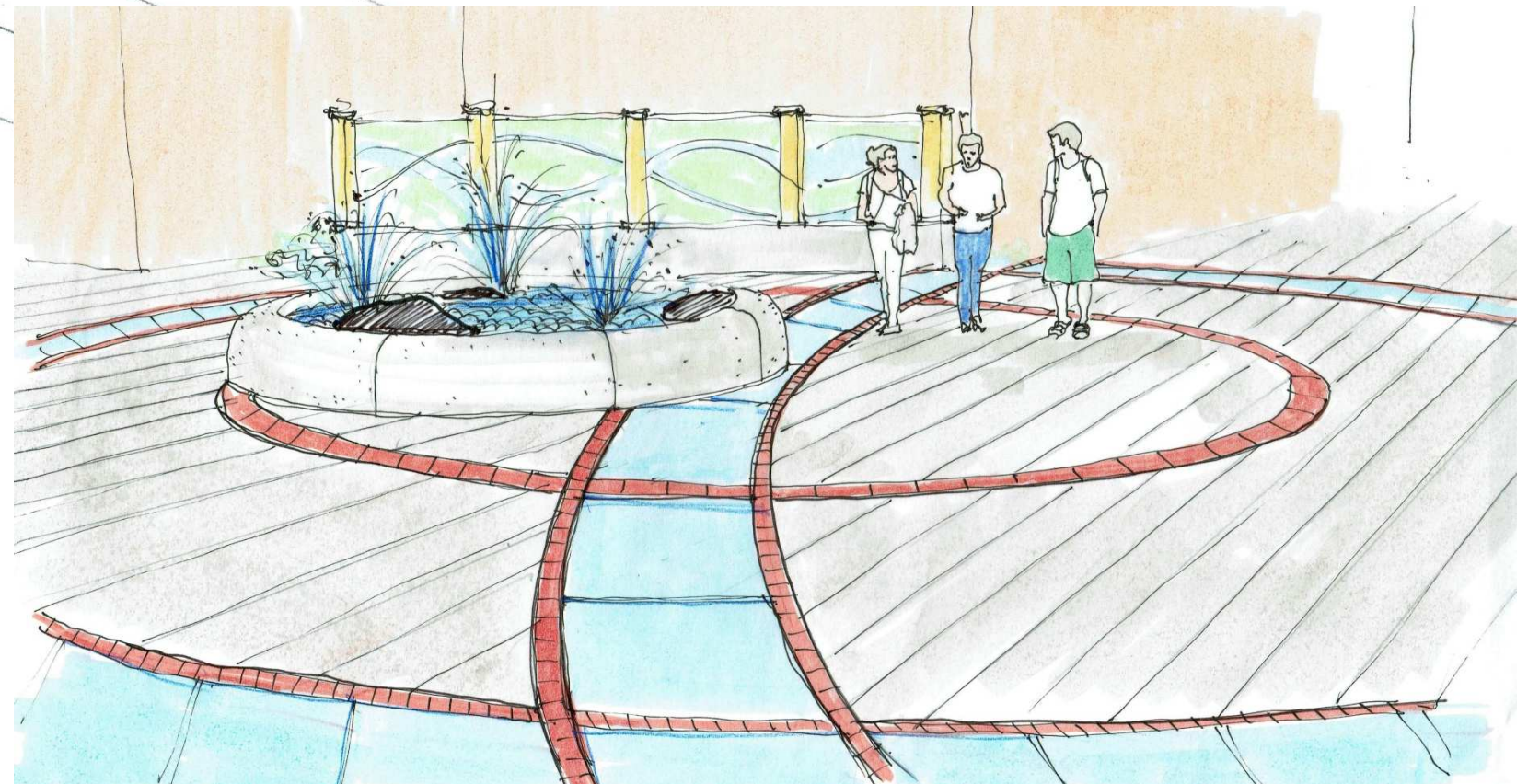


Bands of Bluestone in a granite field ripple out from the vessel structure at 60 Penhallow. A low splashing fountain centers the main courtyard space and alleyways connect from Pleasant, Daniel, Penhallow and State Street (through the Piscataqua Bank site.)





As part of the HDC's review of the proposed landscape "Mural Walls" were presented as placeholders for future art installations. These walls, which hide needed utility areas, were meant to illustrate a "wavy" curvilinear edge to the pedestrian spaces that would be designed by artists at a later date.





## Search for Artists

During the Summer and Fall of 2020 the development team began the search for artists. A Request for Qualifications was issued in late May and interviews were conducted in September.

Four artists were chosen to present their work and interview with the design team.

They were then tasked with creating concepts for works of art that reflected the underlying themes of the project's landscape:

- Portsmouth's Maritime history and or its history in general
- Water, curves and waves
- And a celebration of Women and the feminine.

In October of 2020 four artists presented their initial concepts and two were chosen to further develop those ideas.

The chosen Artists, are Vivian Beer and Alexander Golob.



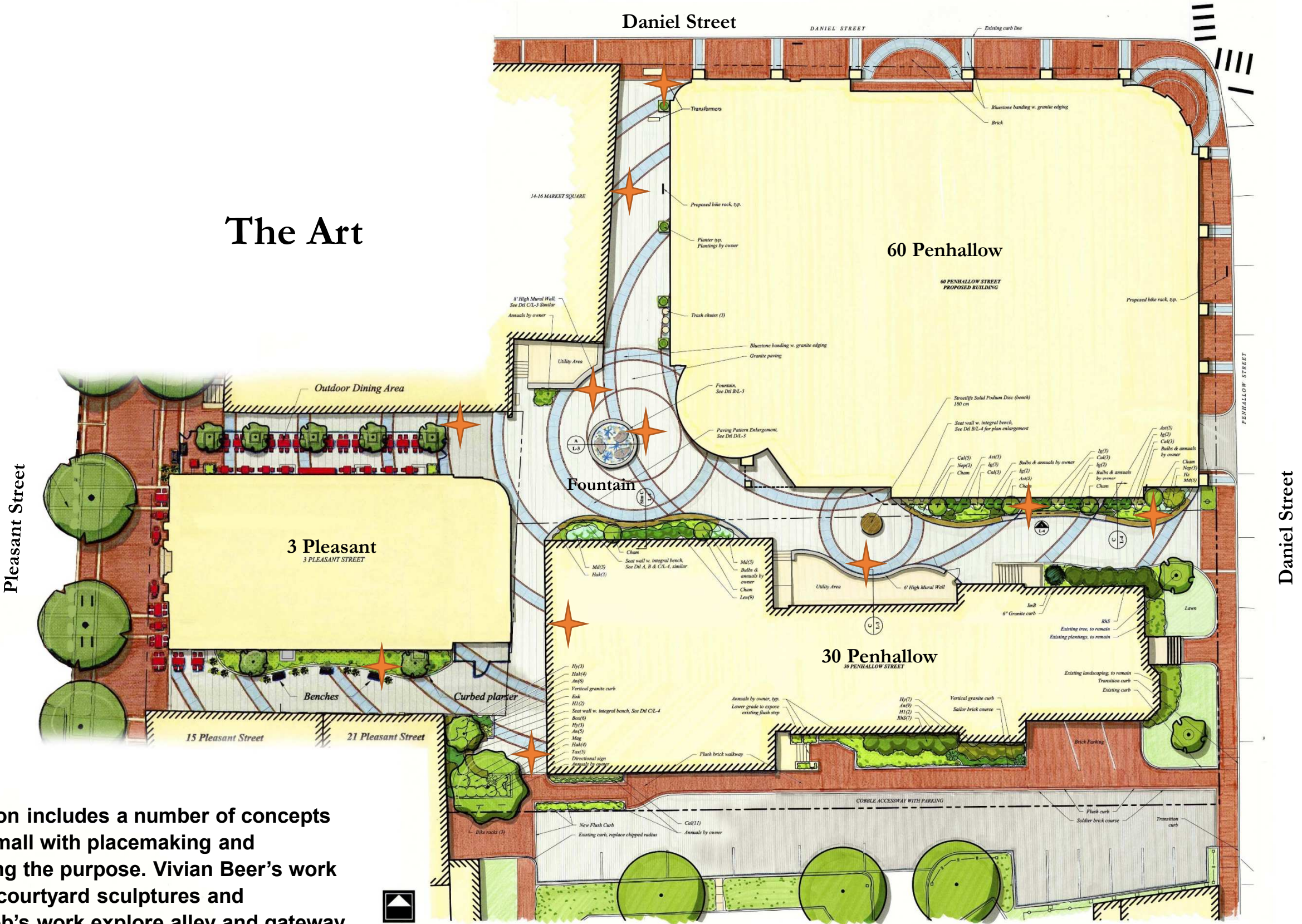
Vivian Beer <http://www.vivianbeer.com/>



Alexander Golob <https://alexandergolobart.com/>



# The Art



This presentation includes a number of concepts from large to small with placemaking and wayfinding being the purpose. Vivian Beer's work centers on the courtyard sculptures and Alexander Golob's work explore alley and gateway sculptures.



# *Brick Market Proposal: Woven Together*

These pieces sculptures are inspired by community, collaboration and human potential. The project, as requested, is from a feminist point of view celebrating strong female voices and centered around a memorial to the honorable Ruth Bader Ginsburg. But the message is purposefully not “about” feminist struggle but rather an experience, a celebration -in hope - that these voices are normalized rather than marginalized. To that end the pieces are abstract delving into pattern and fabric, fashion and empathy. They leave room for the individuals that interact with them to apply their own voices and imagination - their own stories. I believe one of the best “place-making” strategies in art. One which allows the community to continue their own stories within it. Woven Together pieces have variations in scale and intimacy in their interaction strategies with the public which encourage empathy and connection.

Components:

*RBG fountain*: proposed collaboration with Woodburn and Vivian Beer

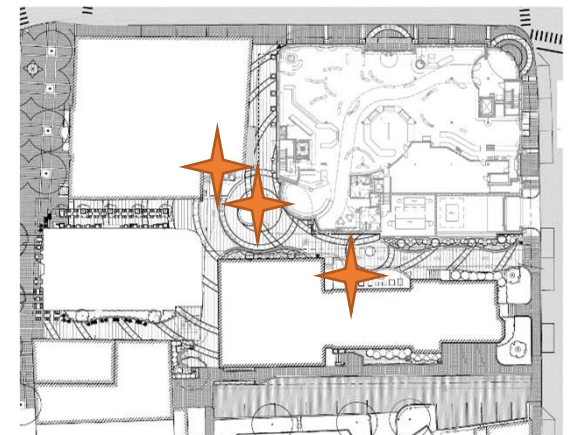
*Impact*: site specific sculpture by Vivian Beer

*Woven*: site specific sculpture by Vivian Beer

***Additional programmatic recommendations***

*Curatorial Publication*: pamphlet/online pdf for the public and

*First year performance programing*: Dance, music and digital art programing for the opening year of the brick market.



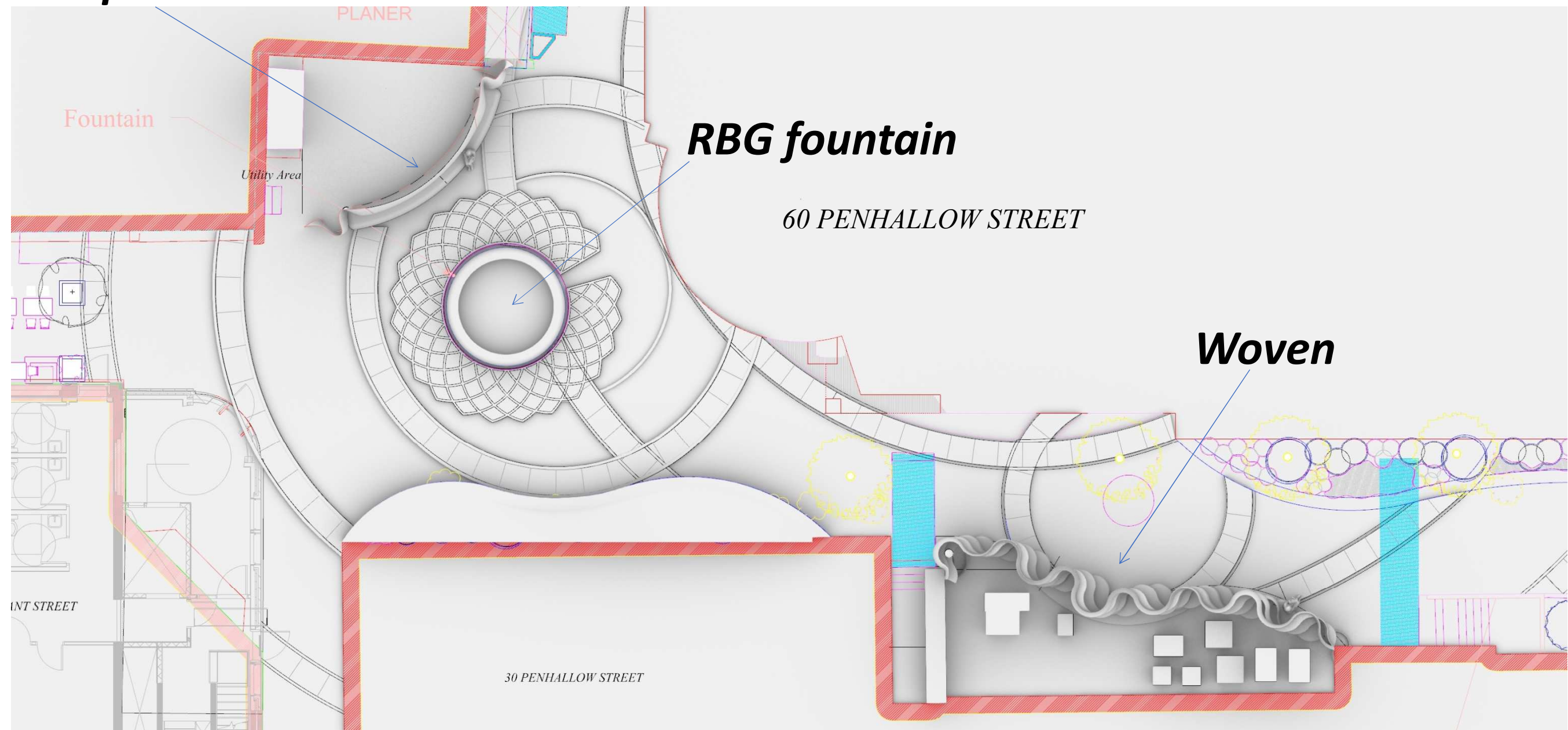
**Brick Market**

VIVIAN BEER STUDIO



**Golob Art**

**Impact**





# Vivian Beer - Project: *RBG fountain*

proposed collaboration with Woodburn to rework the existing stonework design around fountain feature

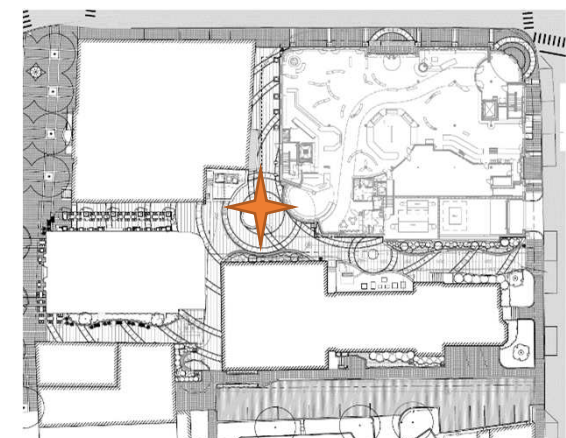
Materials: Stone, Woodbury granite, custom curve with the negative spaces being custom cut bluestone to match the existing paver materials.

Project concept: It seems perfect, as a center piece of the *Woven Together*, project to celebrate the life of Ruth Bader Ginsburg, especially as she passed while I was designing the project proposal. I envision a decorative stone pattern reminiscent of the “favorite” lace color that she typically wore. This is a lace pattern Jabot (an ornamental frill or ruffle on the front of a shirt or blouse) this pattern is replicated in repeating intersecting curves of stonework around the existing fountain.

Ginsberg was a feminist but is also an enduring pop culture icon, in part because of her fierce fashion on the Supreme Court bench. “As much as the nickname “The Notorious R.B.G.,” which came to symbolize Justice Ginsburg’s status as a pop culture hero in her later years, the collars served as both semiology and semaphore: They signaled her positions before she even opened her mouth, and they represented her unique role as the second woman on the country’s highest court. Shining like a beacon amid the dark sea of denaturing judicial robes, Justice Ginsburg’s collars were unmistakable in photographs and from the court floor. In 2009, in an interview with [The Washington Post](#), she explained how her collection originated: “You know, the standard robe is made for a man because it has a place for the [shirt to show, and the tie,” Justice Ginsburg told the paper. So she and Sandra Day O’Connor, the first female Justice on the court, “thought it would be appropriate \[if we included as part of our robe something typical of a woman.”\]\(#\) They weren’t going to obscure their sex, or pretend it was beside the point. It was part of the point.” – quoted from the New York Times](#)

Link: <https://news.yahoo.com/video/justice-ginsburg-exhibits-her-famous-194517521.html>

A simple sandblast etching will be in the stonework of the fountain, but the iconic nature of that lace pattern will be instantly identifiable. It also works in geometric harmony with the intersecting circular patterns reminiscent of raindrops from the sky in the existing hardscape design, a symbolic memorial to the life of this iconic woman.



**Brick Market**

VIVIAN BEER STUDIO



**Golob Art**



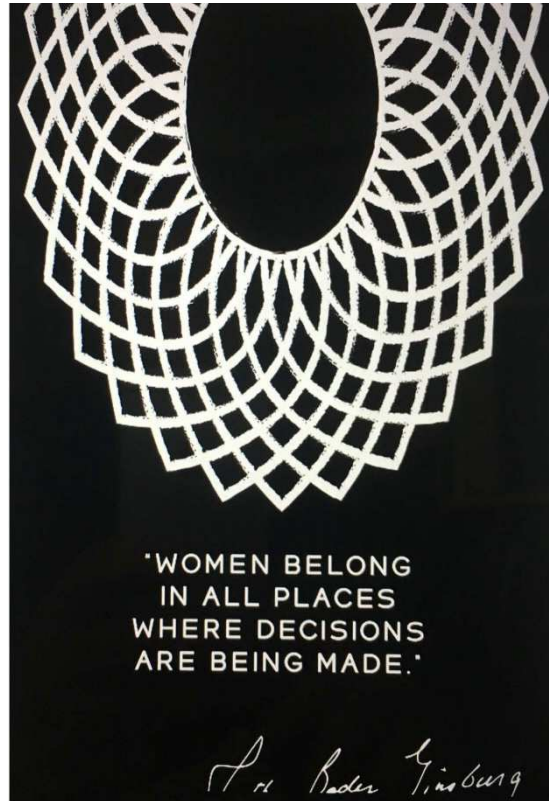


# path marker and icon

“As much as the nickname “The Notorious R.B.G.,” which came to symbolize Justice Ginsburg’s status as a pop culture hero in her later years, the collars served as both semiology and semaphore: They signaled her positions before she even opened her mouth, and they represented her unique role as the second woman on the country’s highest court.”— quoted from the New York Times

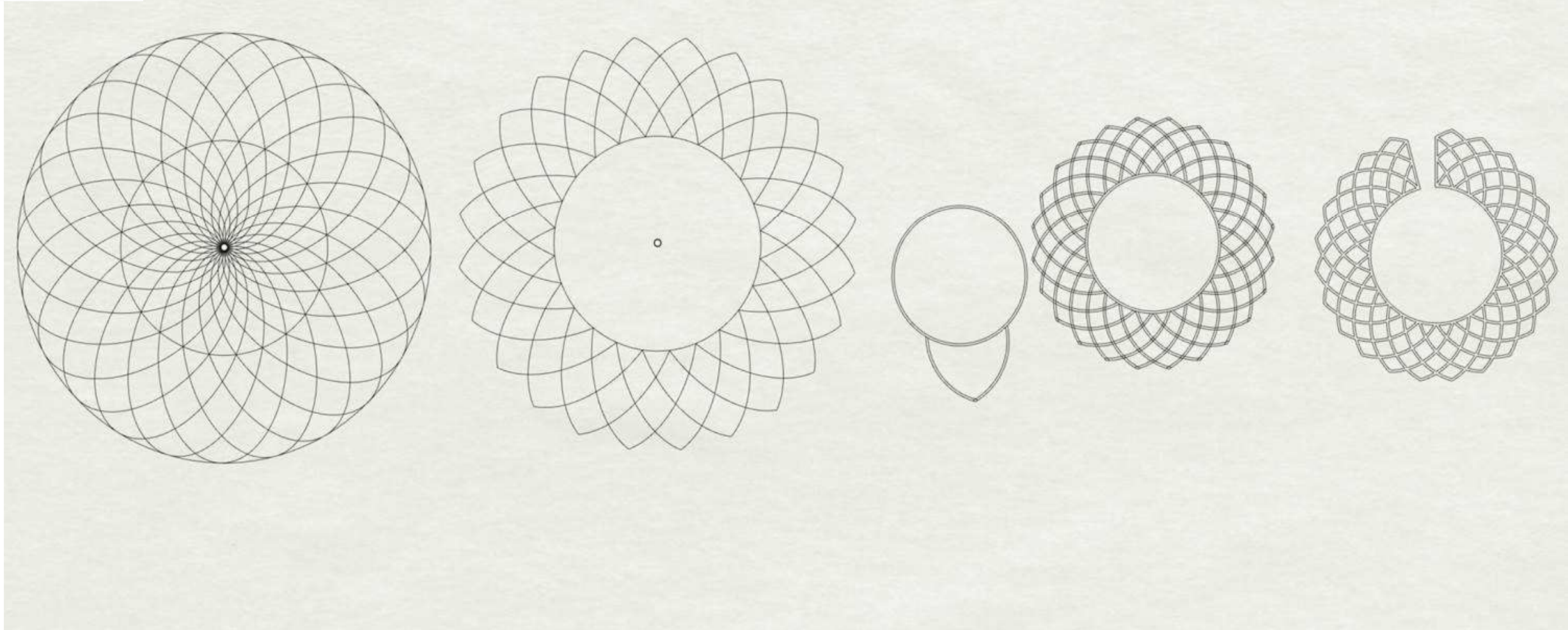




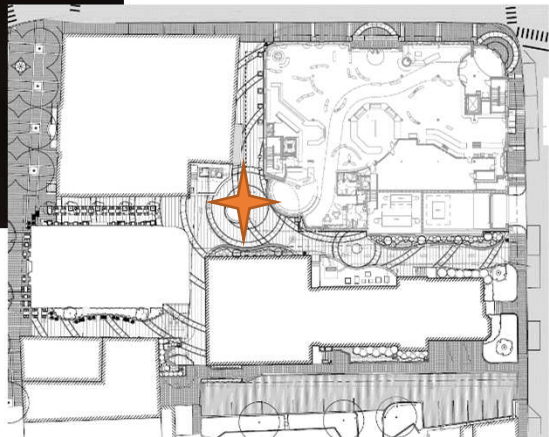
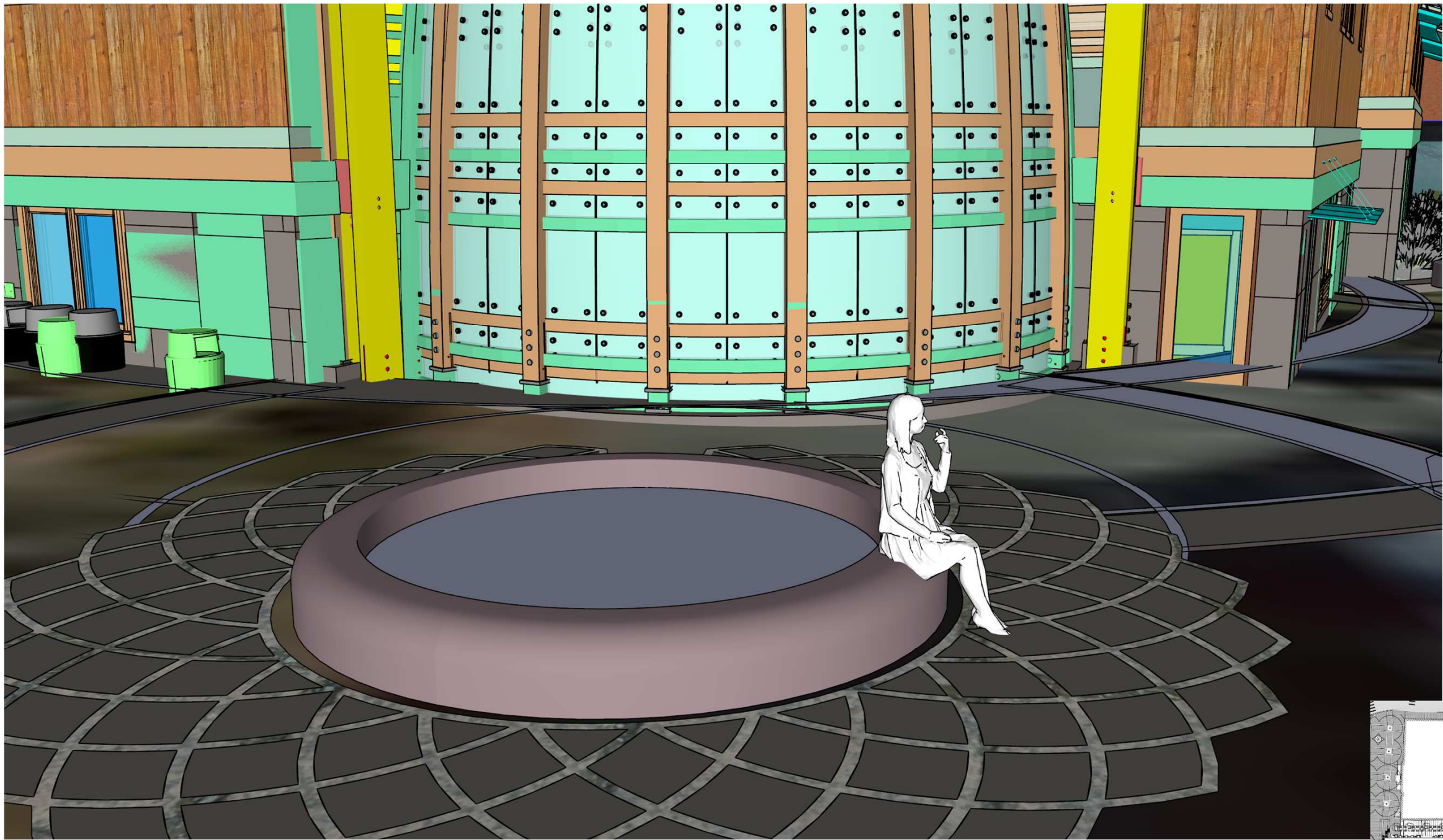


# identity

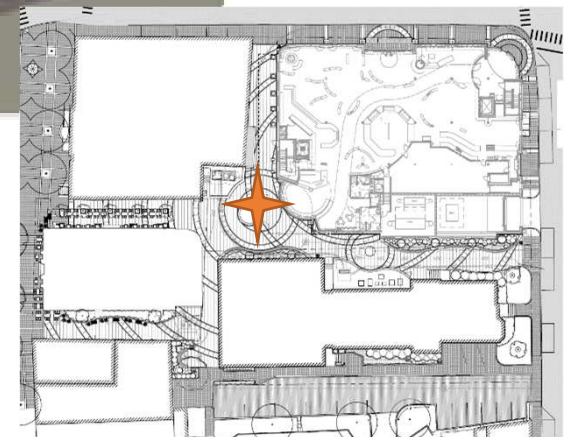
Justice Ginsburg told the paper. So she and Sandra Day O'Connor, the first female Justice on the court, "thought it would be appropriate if we included as part of our robe something typical of a woman." They weren't going to obscure their sex, or pretend it was beside the point. It was part of the point." – quoted from the New York Times

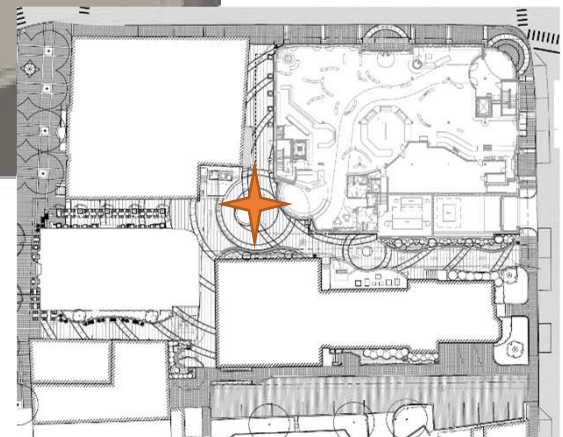




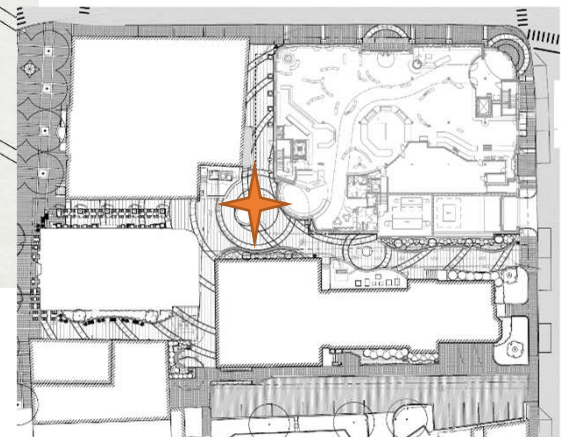
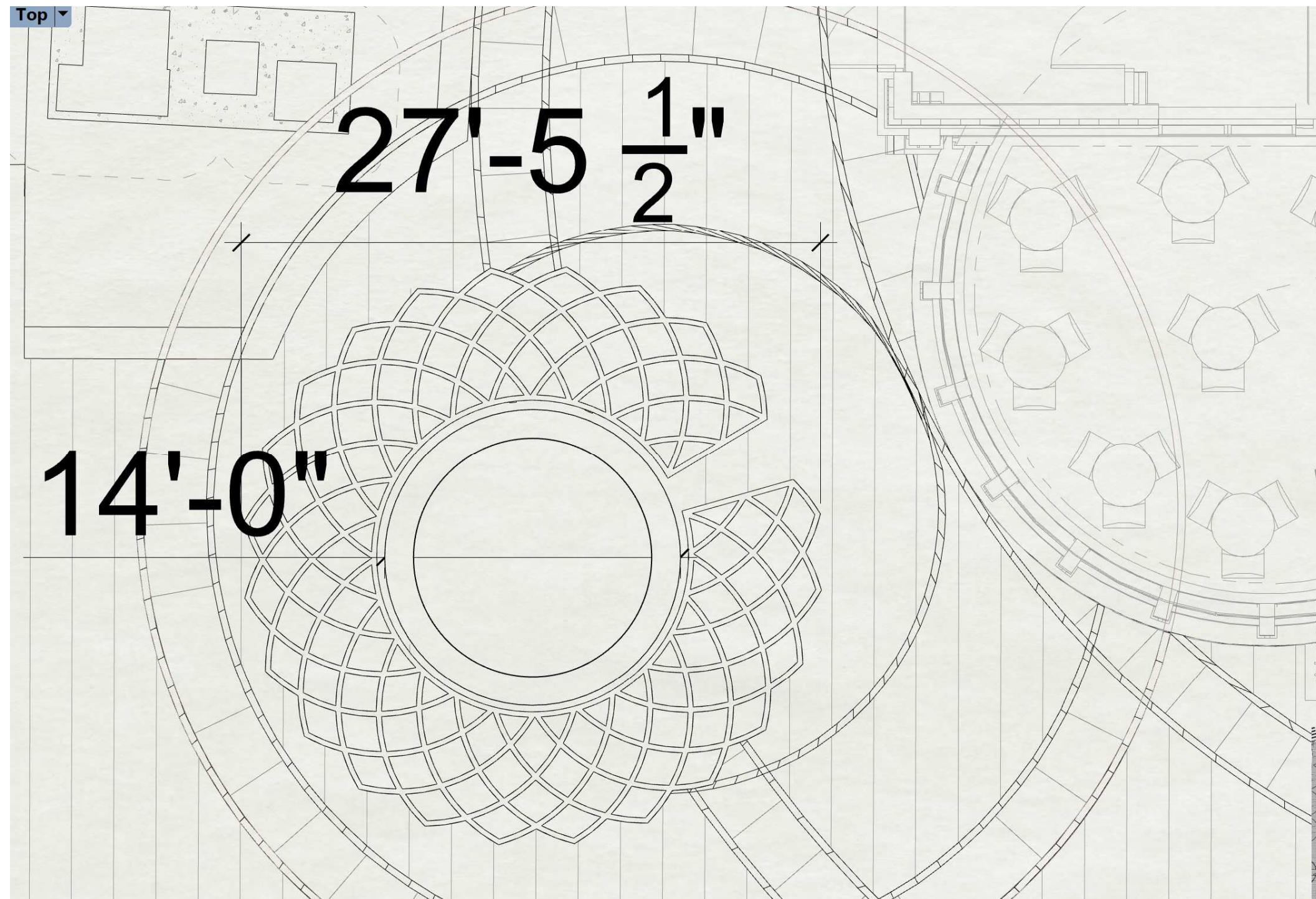




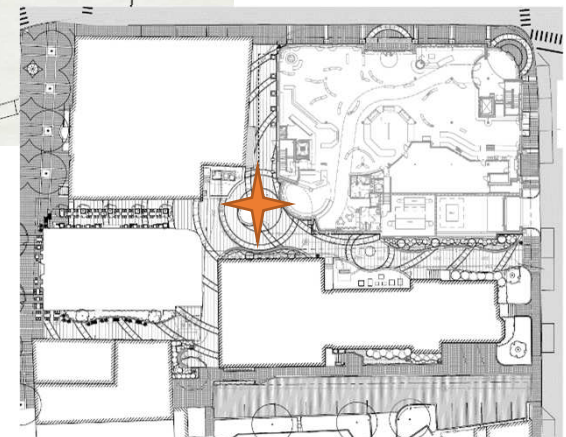
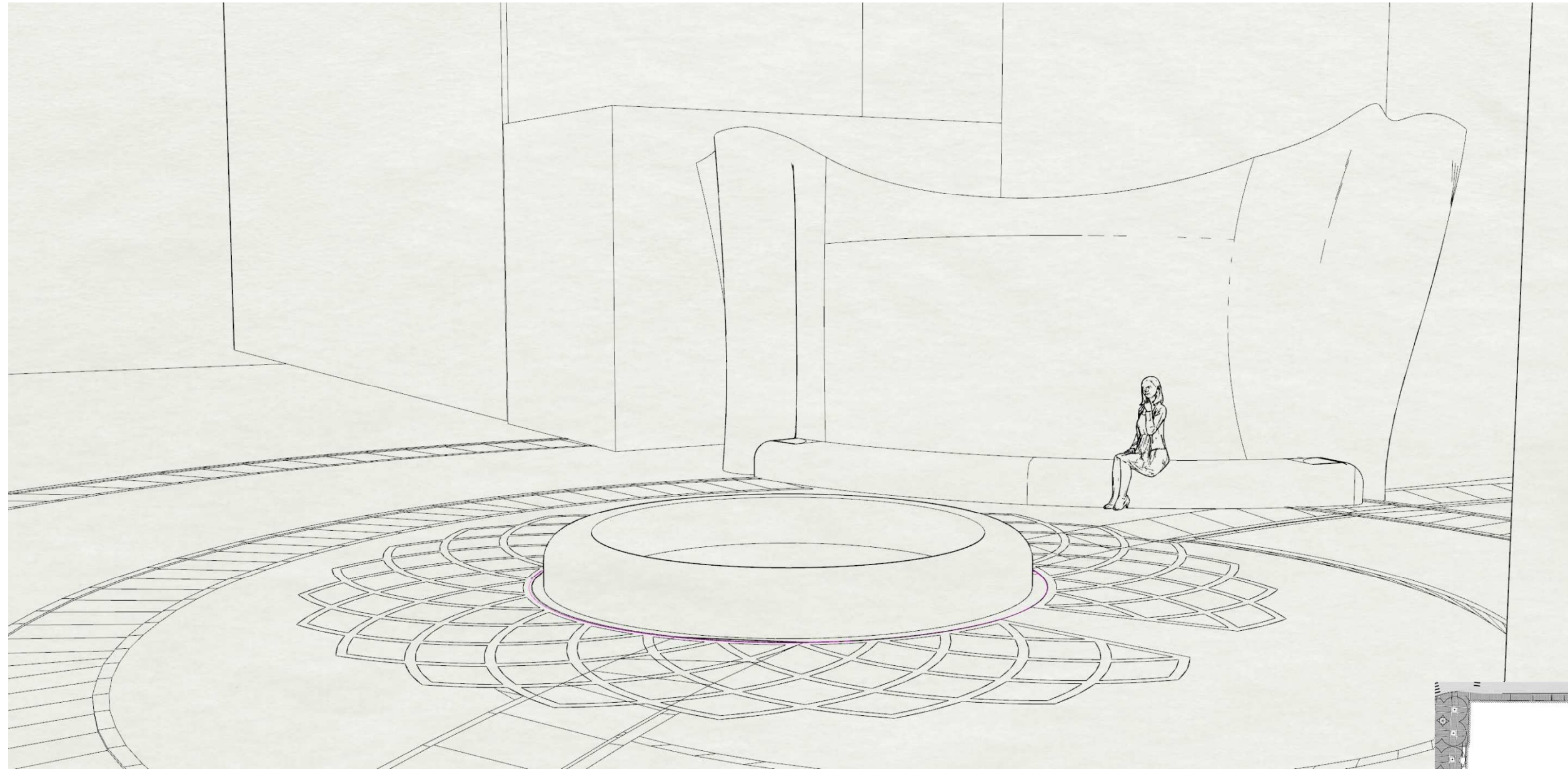














# Vivian Beer - Project: *Impact*

Site specific commission

## Materials: Formed and fabricated stainless steel and light grey Woodbury granite

Project concept: A stainless fabrication that flows like a ribbon, flag or scroll across the edge of the courtyard. Again this follows the theme of fabrics and also reflects the RGB fountain and surrounding community space. It departs from the macho history of steel sculpture in its flowing form, but also echoes the geometry of the overall space. I like to imagine it as an invitation, a backdrop, and an affirmation of the space. The polished stainless will reflect the fountain, collar pattern and community within it. There will be a stone bench in light grey Woodbury granite with the same edge treatment as the fountain surround for the public to sit, speak, perform or reflect.

For this project and woven, I imagine there could be adjustments to the suspended lighting system to provide programmable spots to use in performance and public events.

### About Vivian:

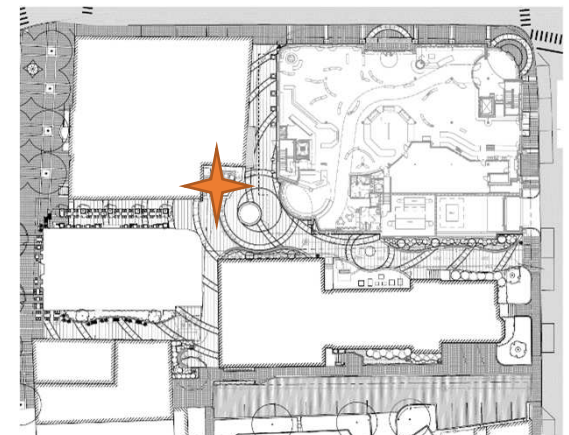
Vivian Beer is a furniture designer/maker based in New England, where her studio, Vivian Beer Studio Works, is celebrating its thirteenth year. Her sleek, abstracted metal and concrete furniture combines the aesthetic sensibilities of contemporary design, craft, and sculpture to create furniture that alter expectations of and interface with the domestic and public landscapes.

### Links:

Studio visit with Jet industrial

features

<https://thetakemagazine.com/vivian-beer/> - [https://artnewengland.com/ed\\_columns/studio-visit-vivian-beer/](https://artnewengland.com/ed_columns/studio-visit-vivian-beer/) <https://www.craftcouncil.org/magazine/article/curves-ahead>



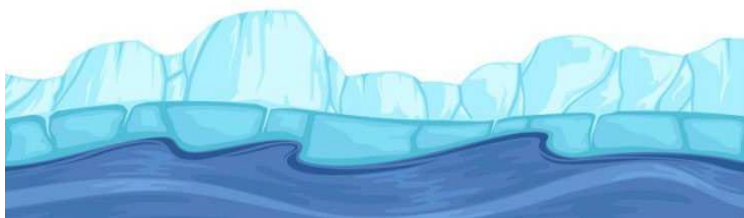
**Brick Market**

VIVIAN BEER STUDIO

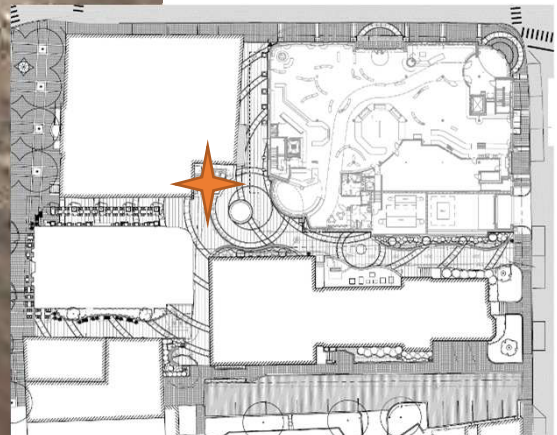


**Golob Art**

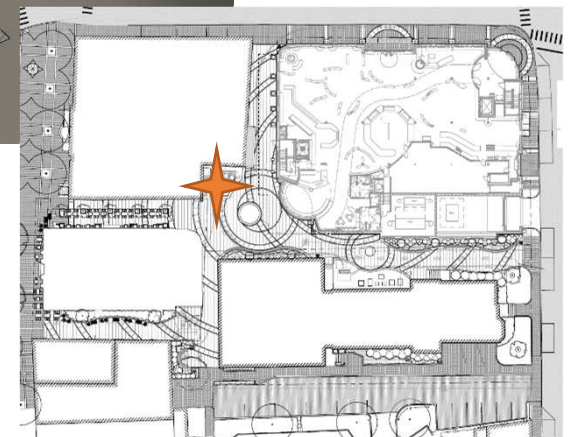




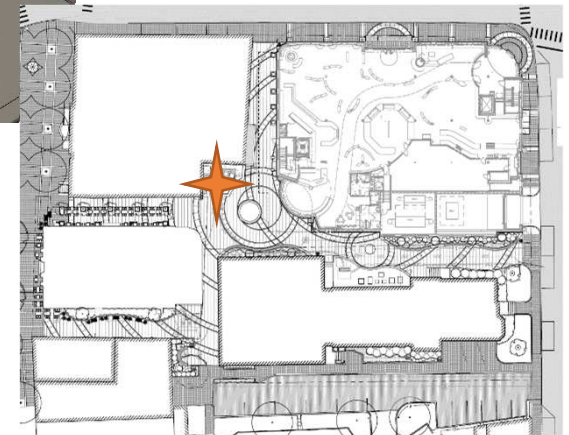
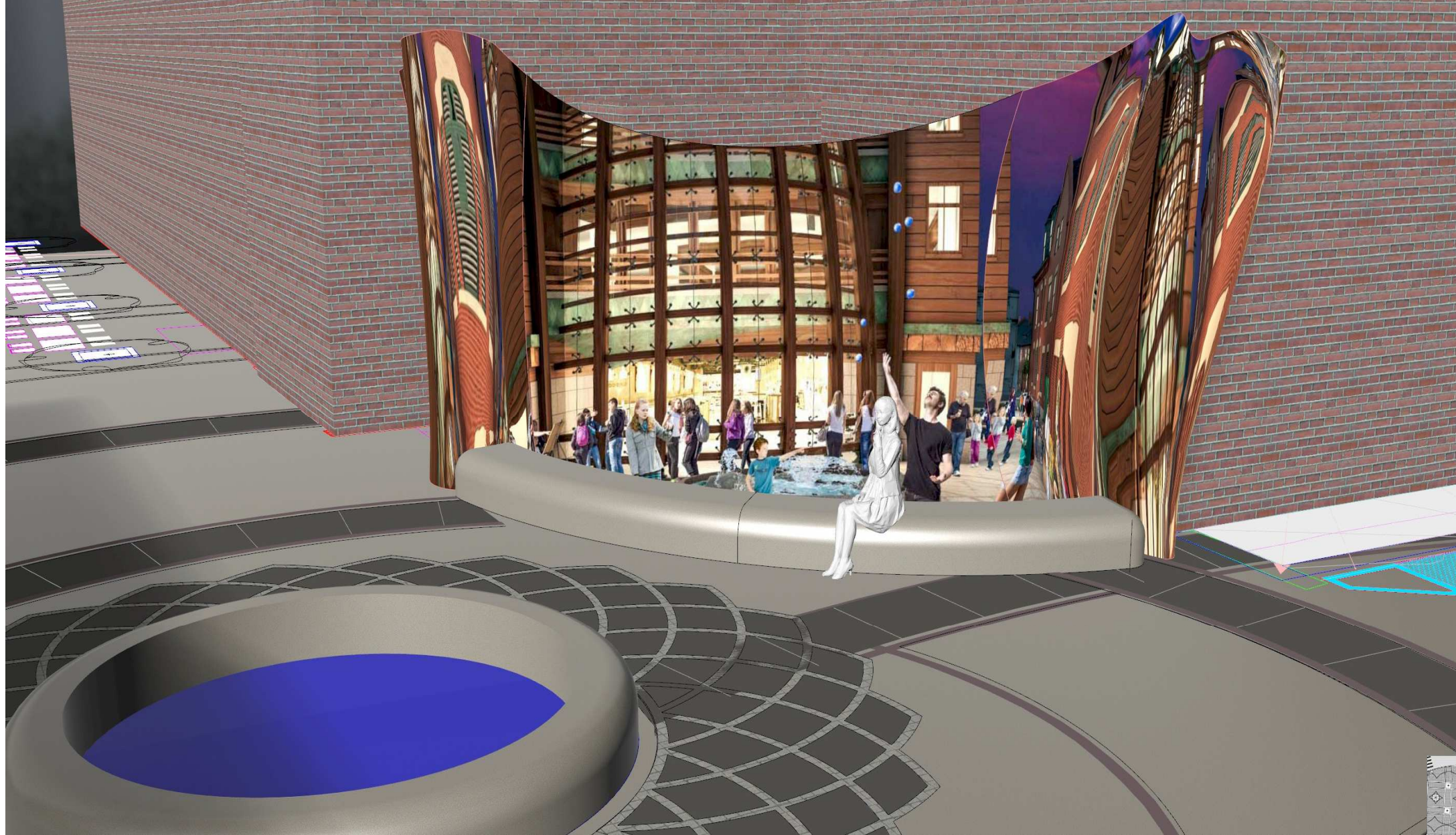
impact



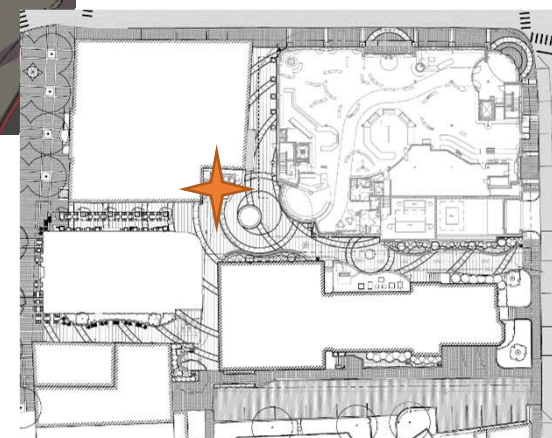
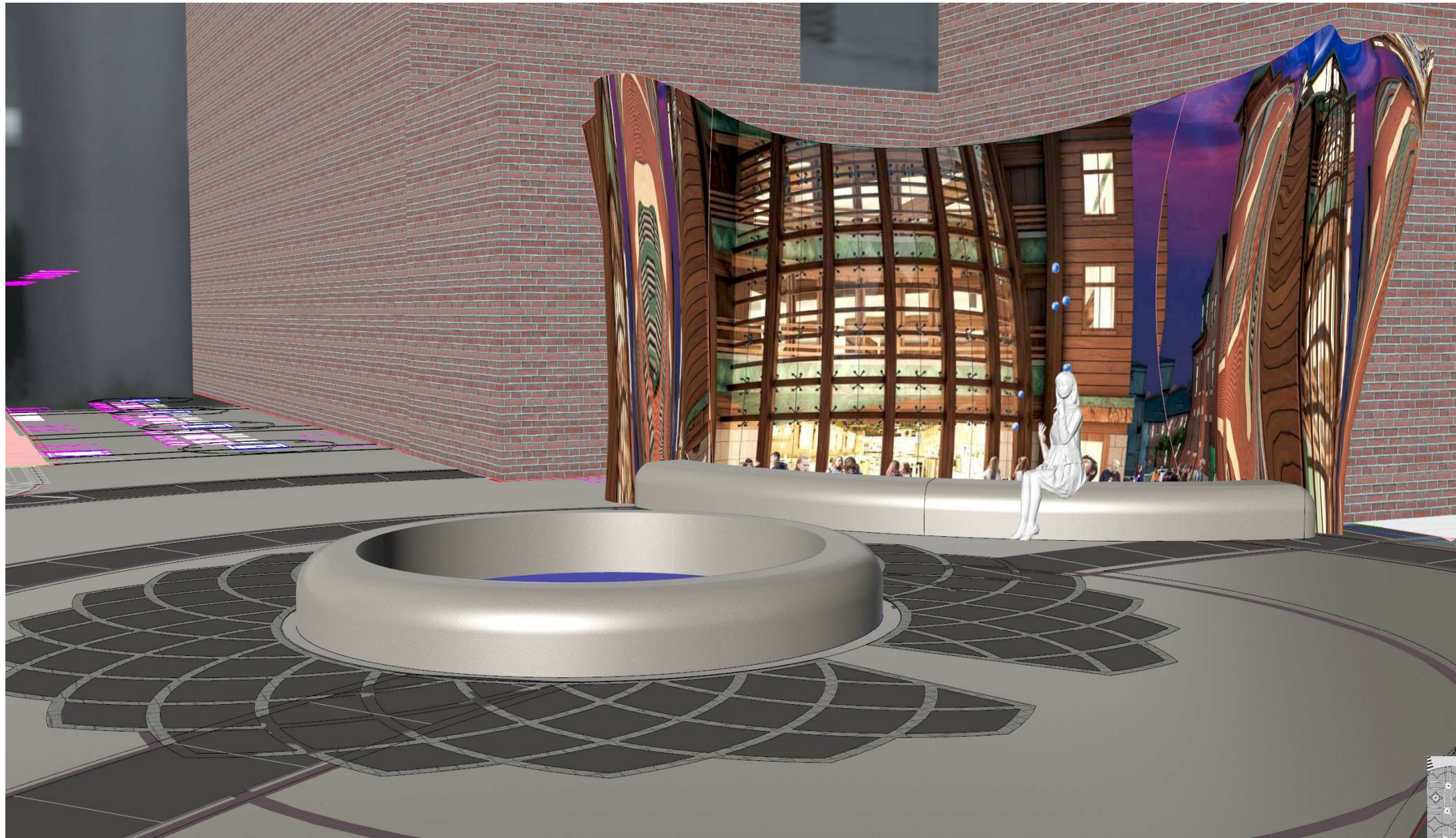




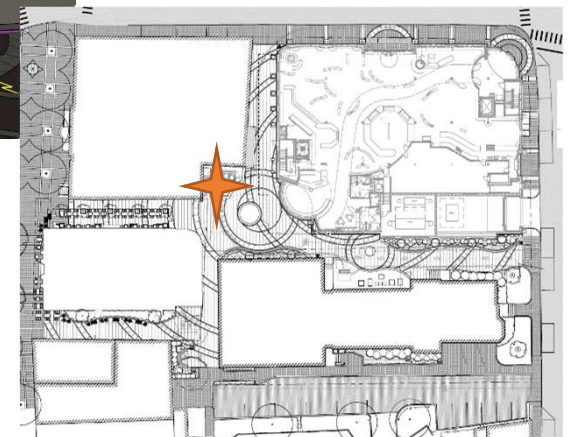
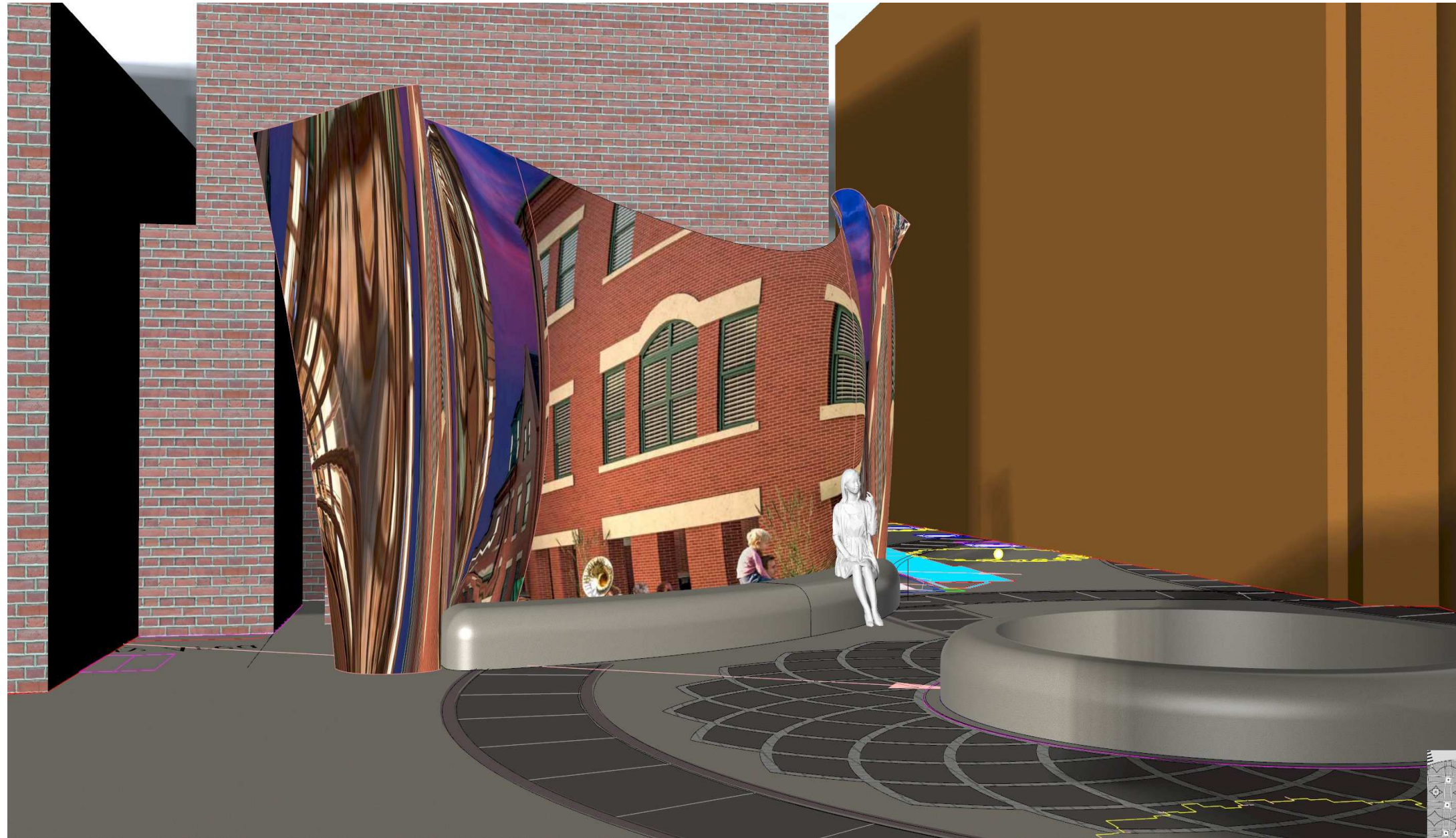




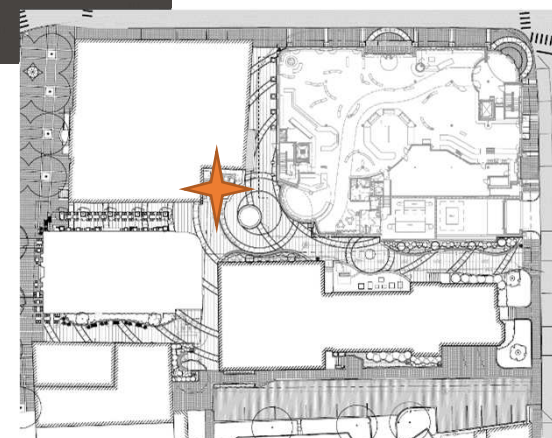
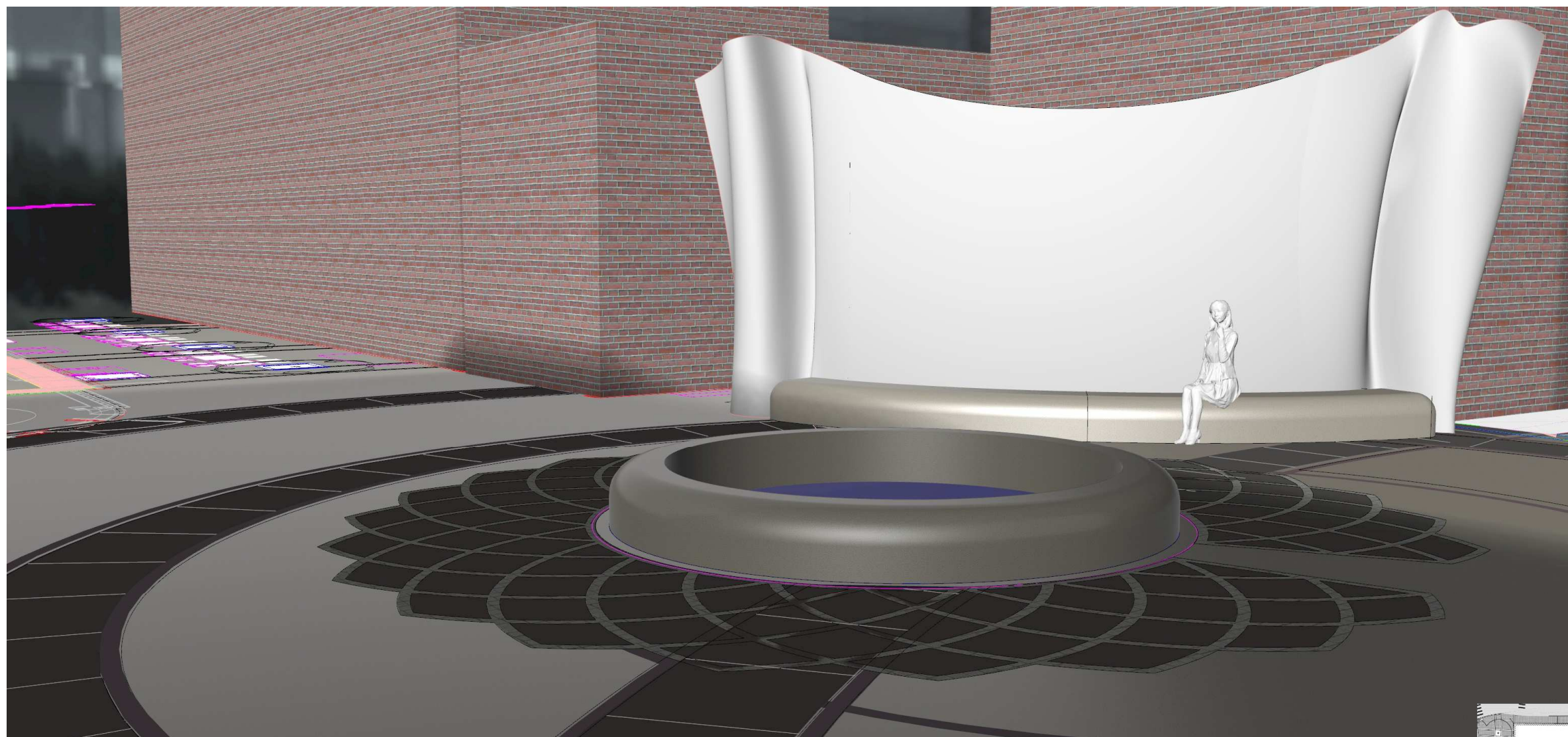




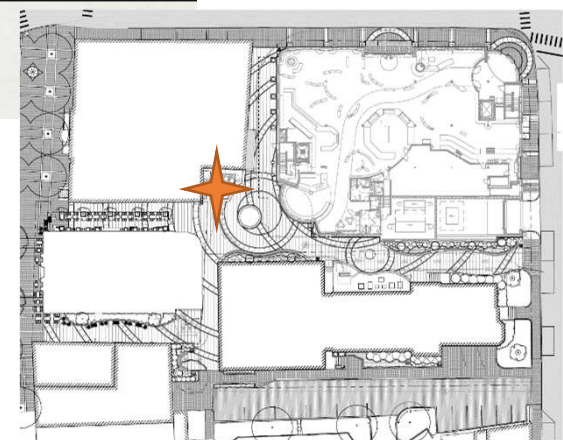
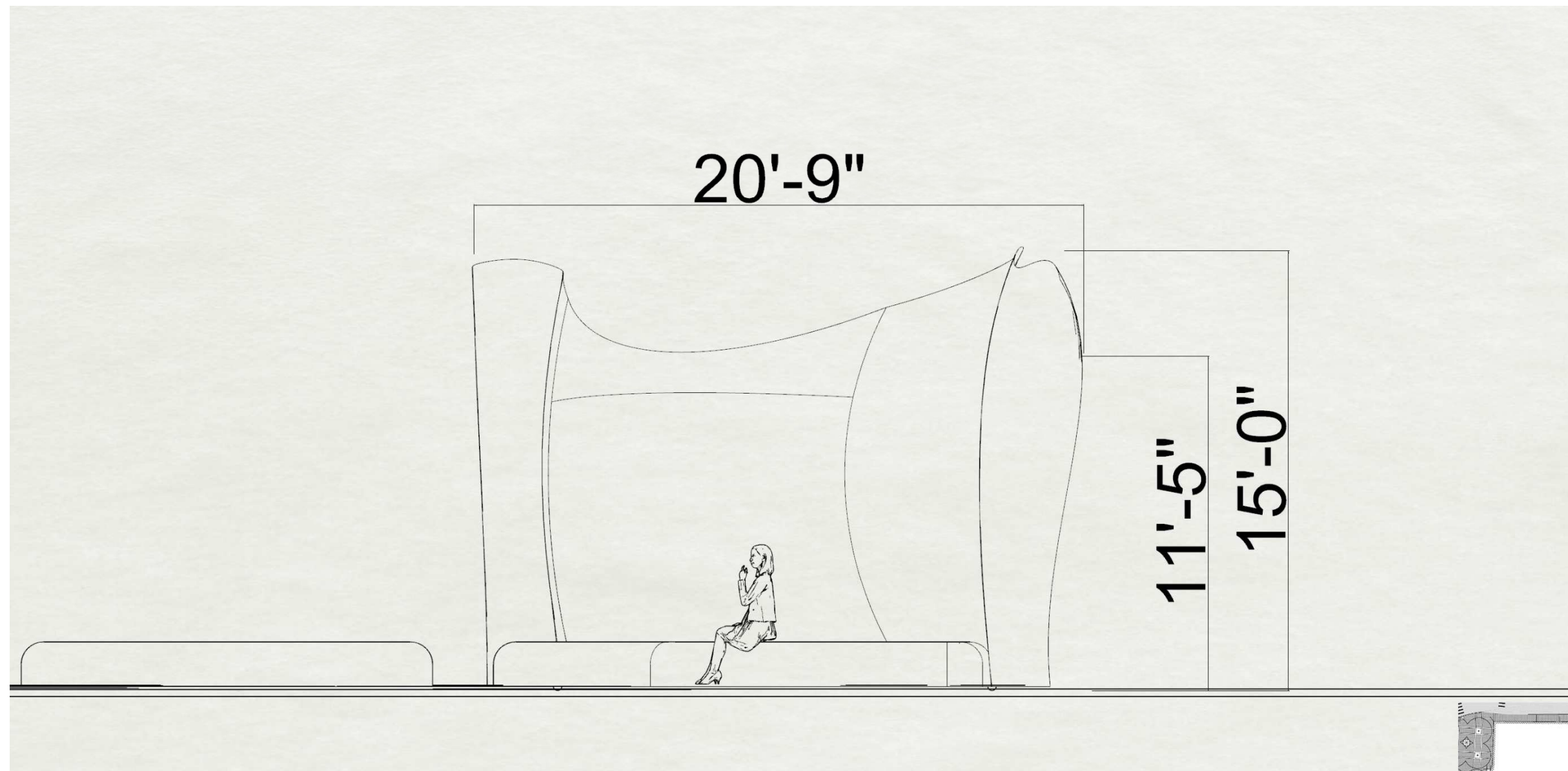




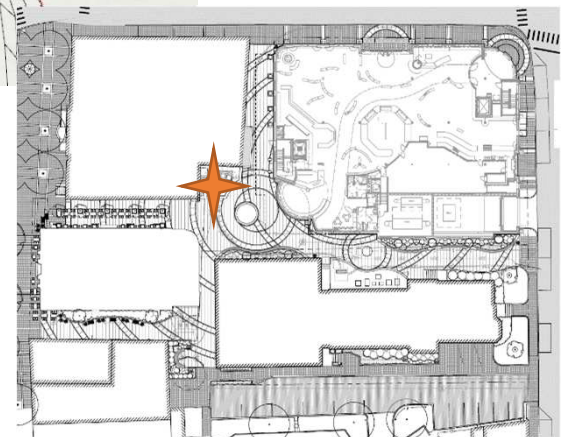
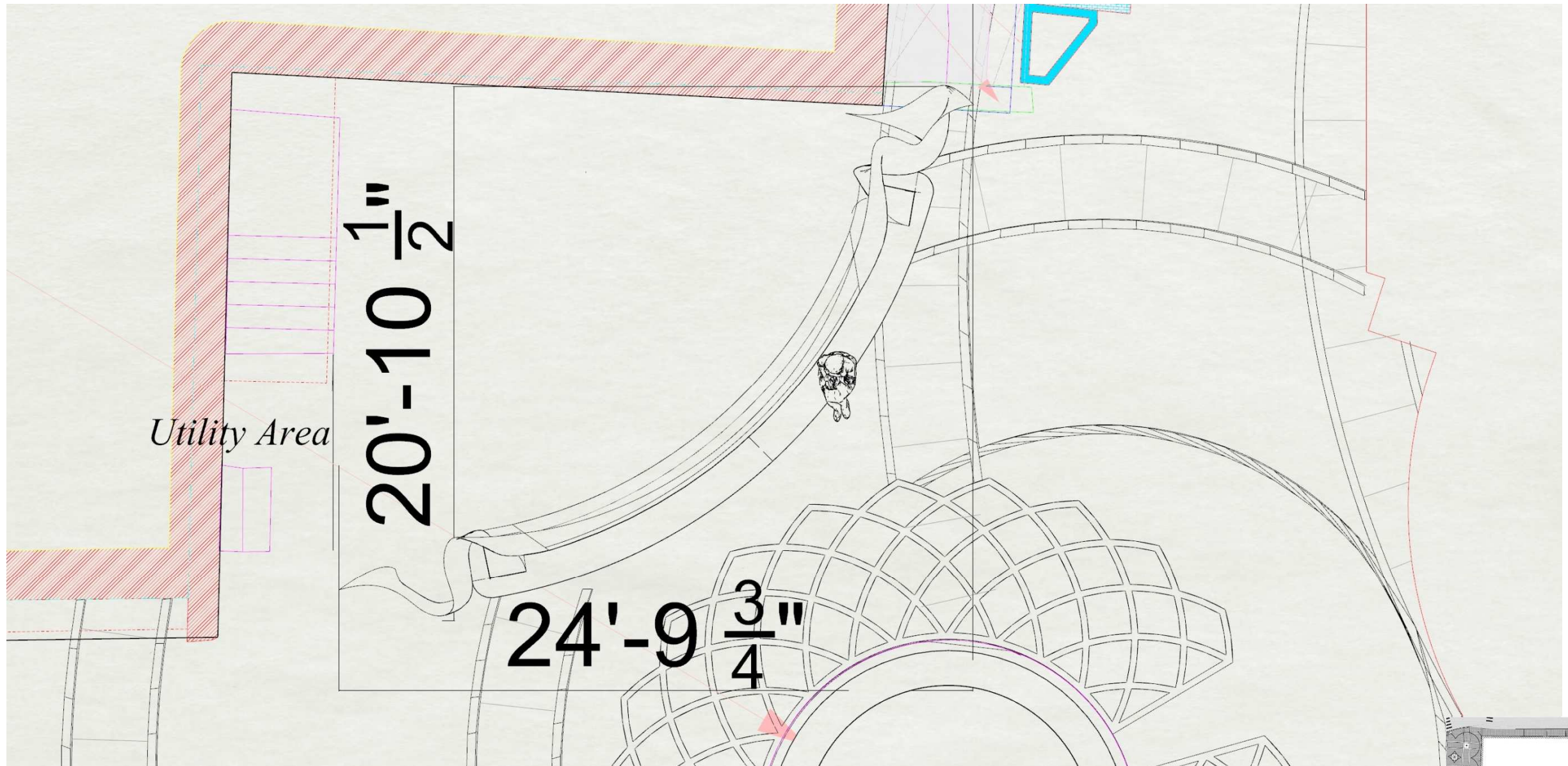






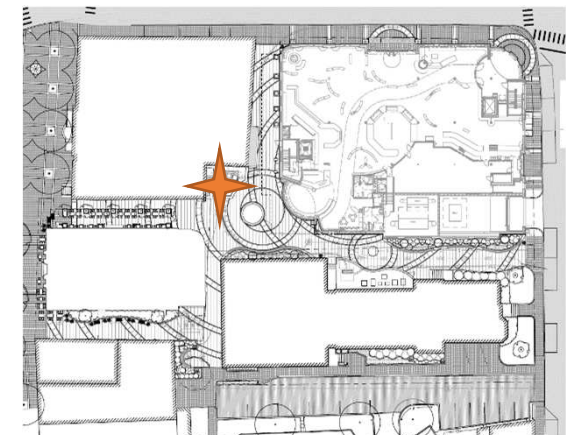
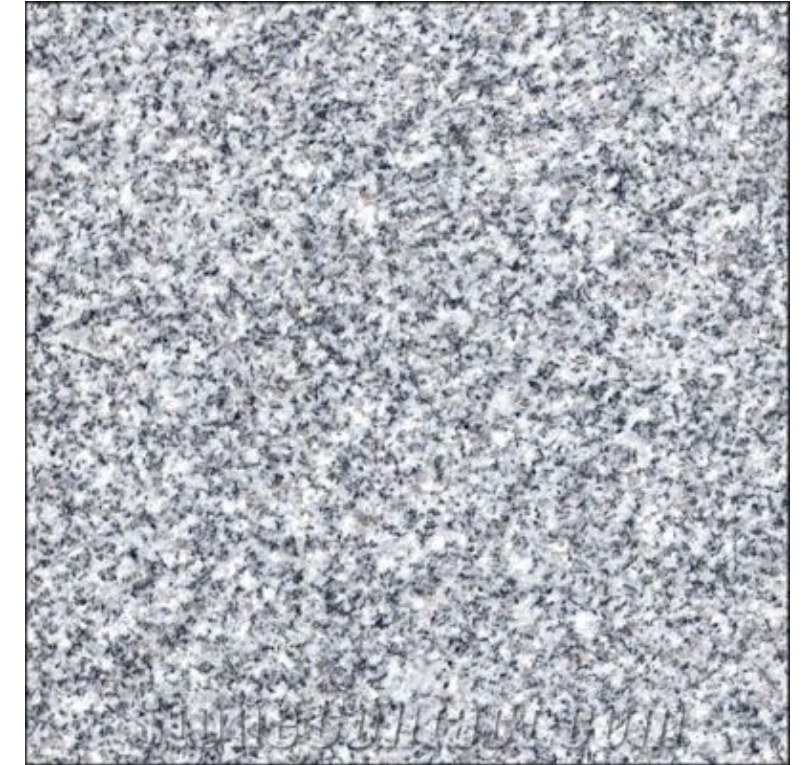








# Materials: polished stainless steel and light grey Woodbury granite



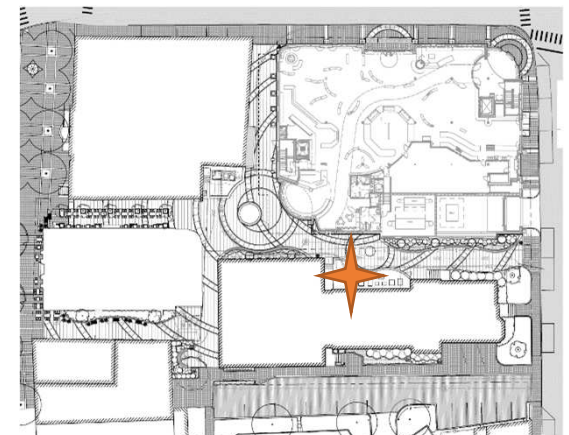


# Vivian Beer - Project: *Woven*

Site specific commission

## Materials: Formed and fabricated bronze

Project concept: A metal woven structure inspired by crochet work, exploded in scale and designed to encourage interaction. I have already shown the design to Amanda Whitworth, current NH Artist Laureate and frequent collaborative partner <https://leadwitharts.com/>, and she has committed to choreographing a dance performance within the sculpture if created. I have designed it to reflect the ideals of your project; creative place making, flowing openness and interaction. I envisioned the interaction as an enhancement of the round performance bench paced within the space, but inverting the “wall” into an interactive space those performances could be actuated within. It is also designed to reflect the repeated circular designs within the stonework, flowing geometry. There is also irony in my choice to reference “soft arts” or “women’s work” in large scale metal fabrication. Which for me and my studio is also women work! It is also a durable material that can withstand the outdoor setting of the courtyard.



Construction | Development | Management



**Brick Market**

VIVIAN BEER STUDIO

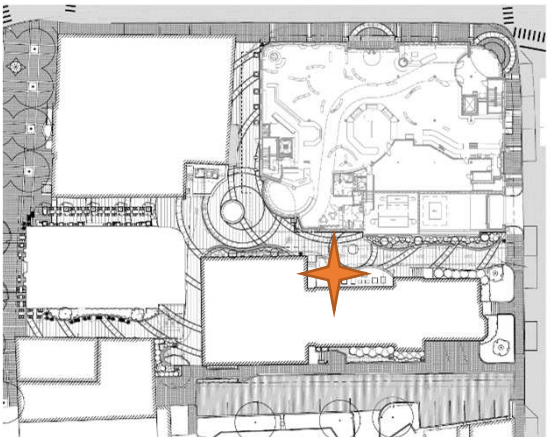


**Golob Art**

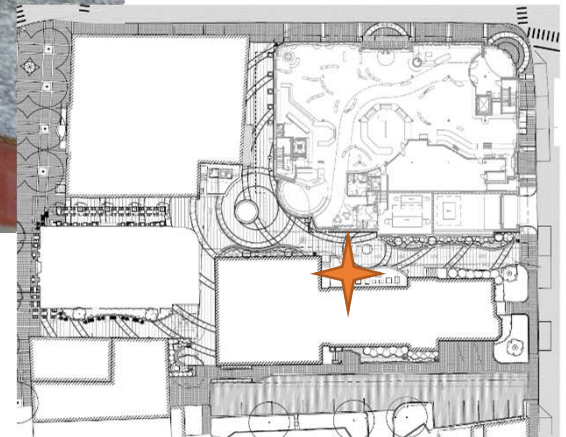
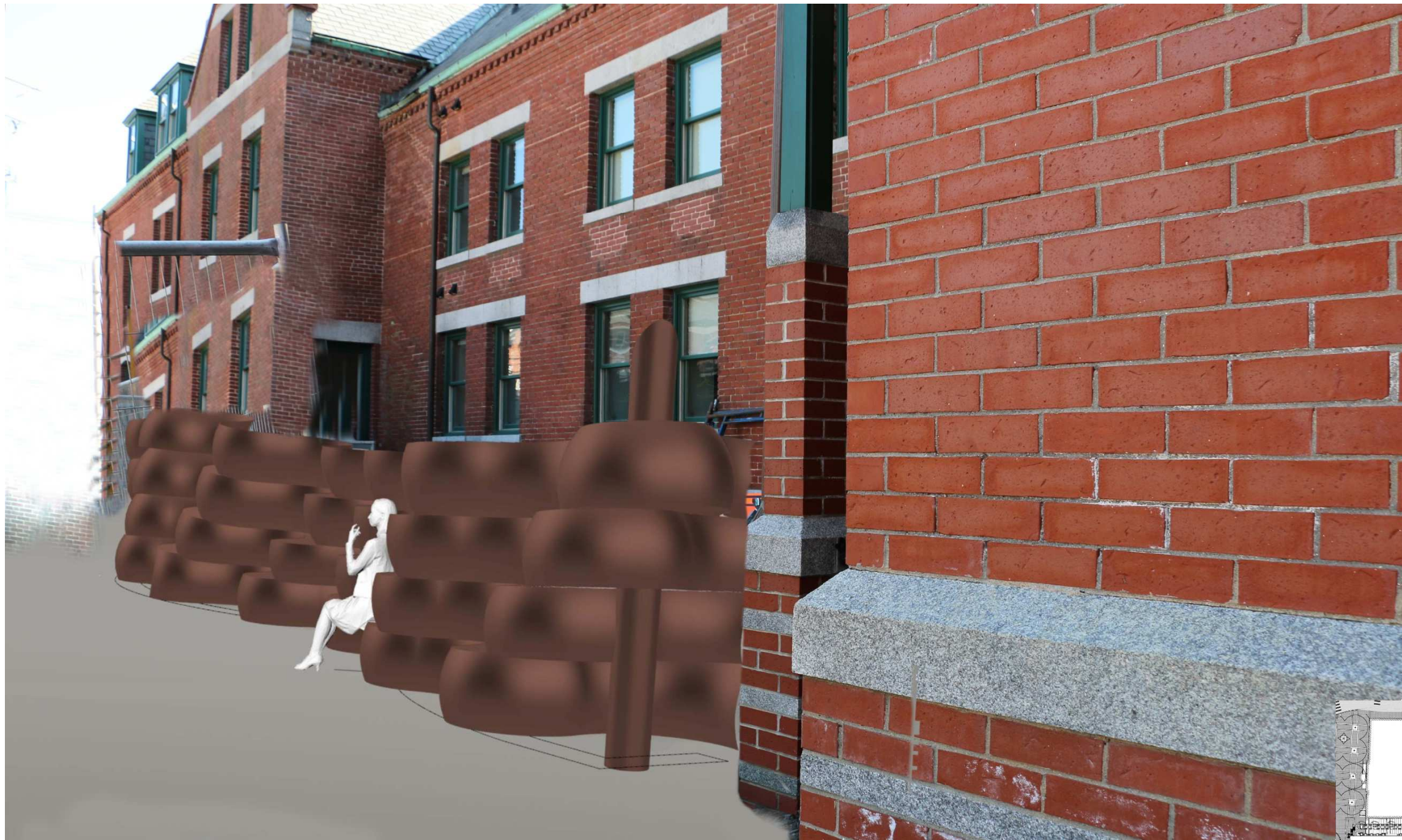




woven







Construction | Development | Management



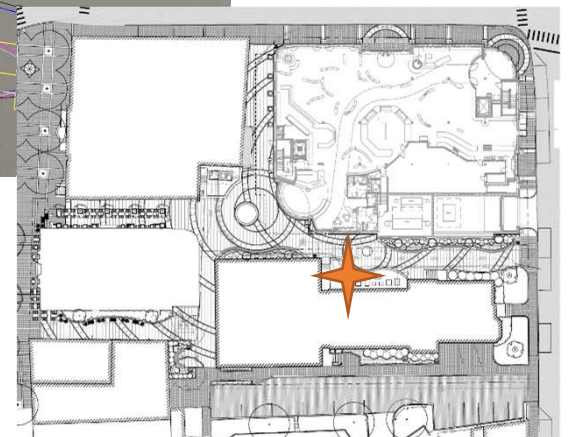
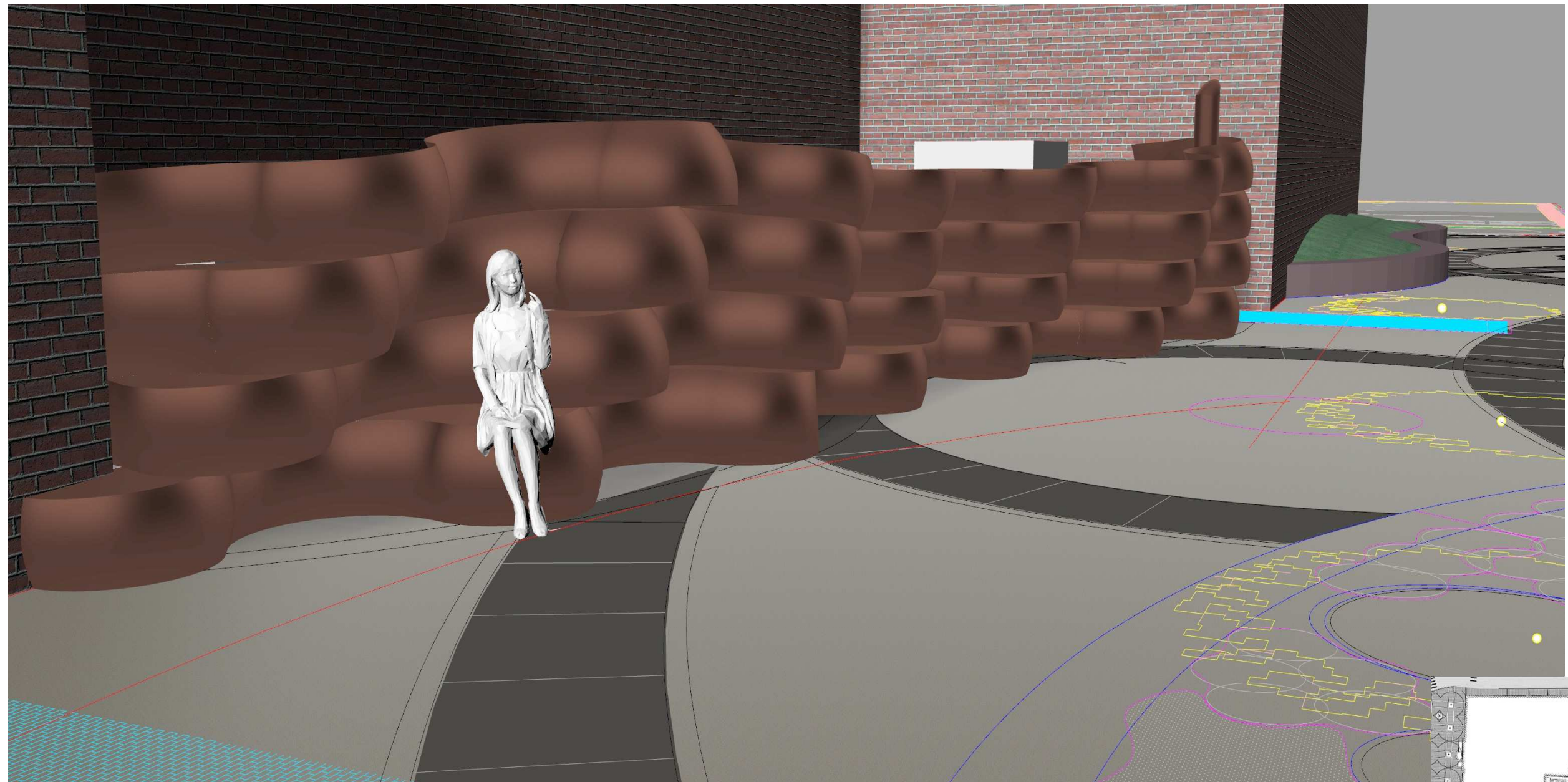
**Brick Market**

VIVIAN BEER STUDIO

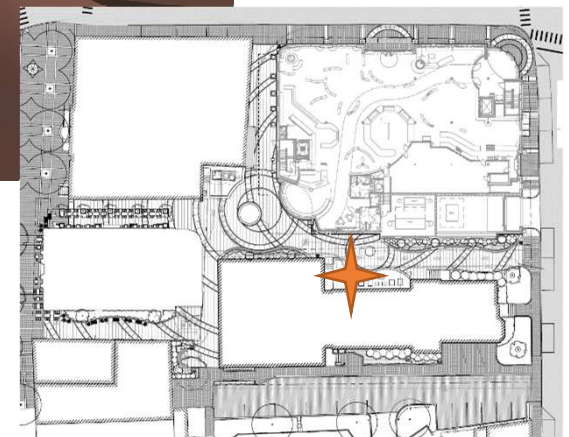
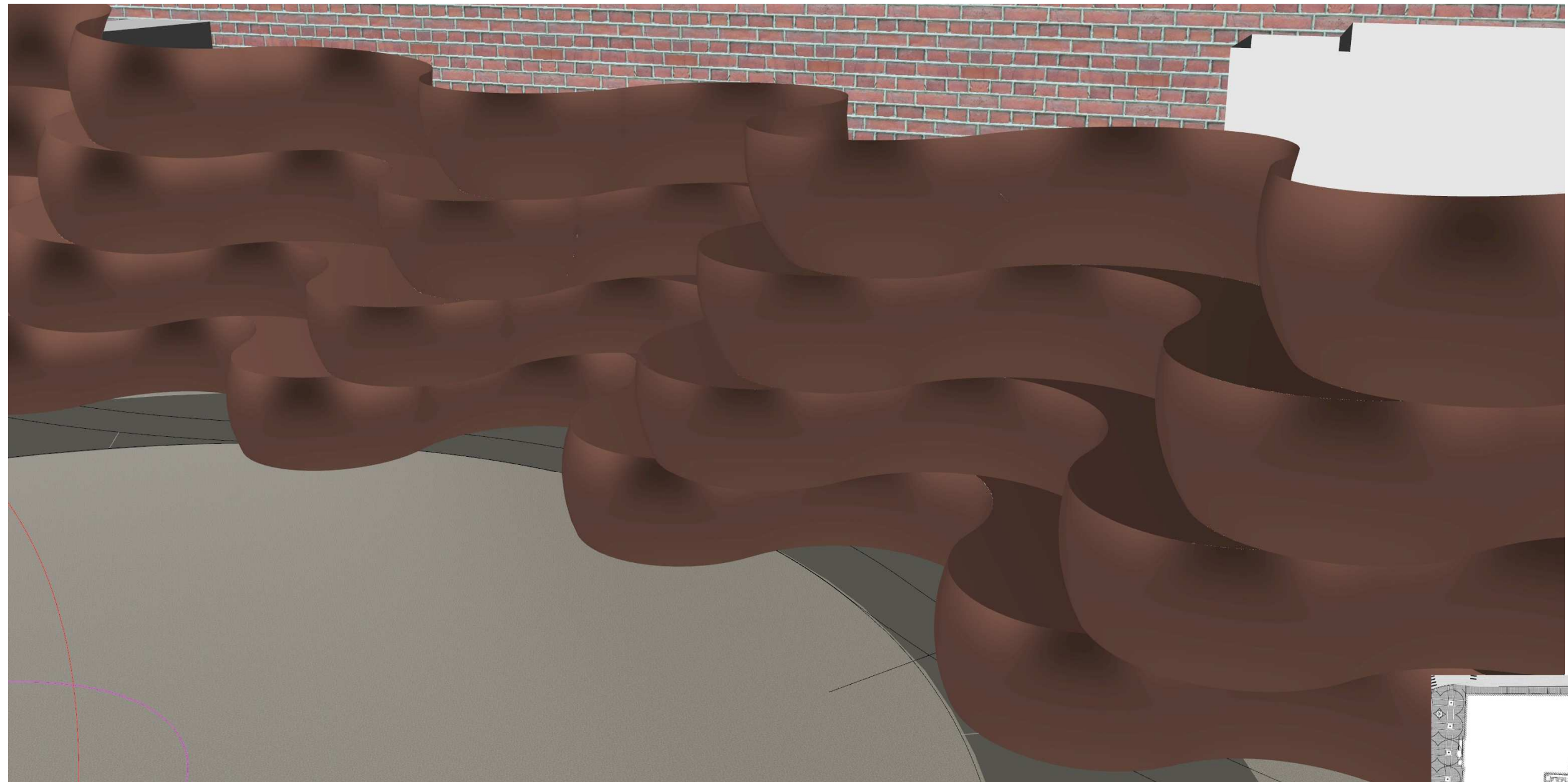


**Golob Art**









Construction | Development | Management



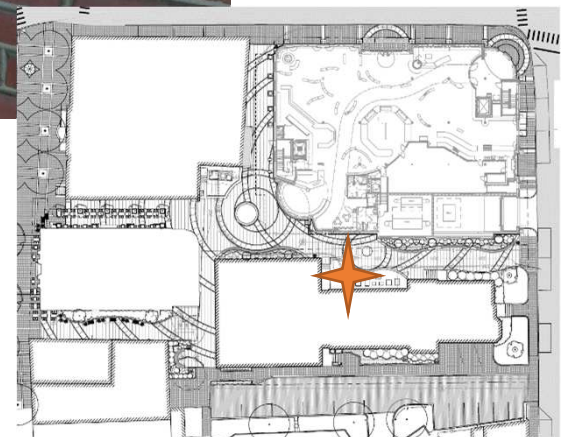
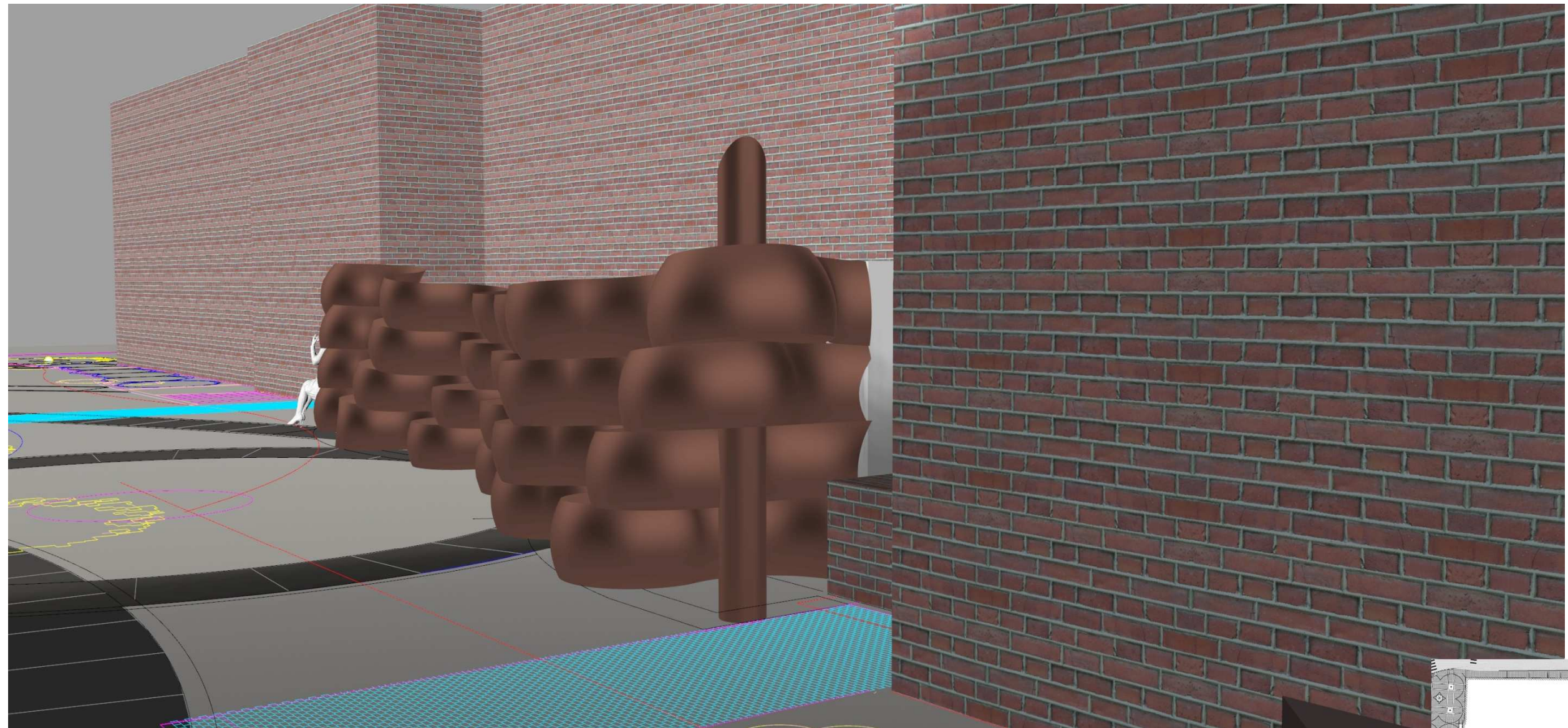
**Brick Market**

VIVIAN BEER STUDIO

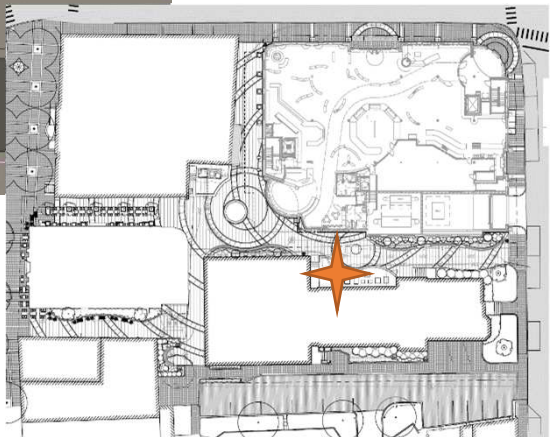
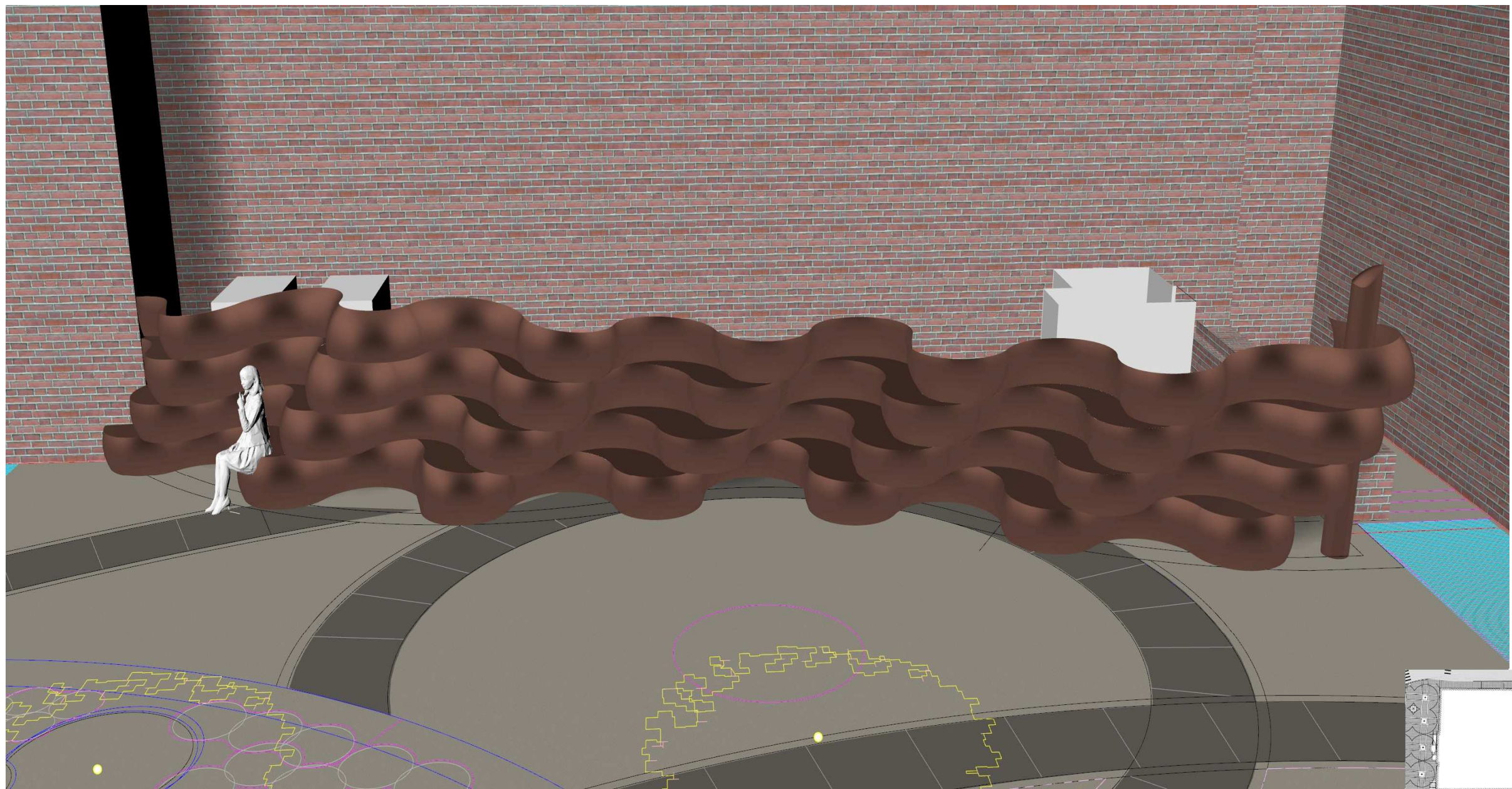


**Golob Art**

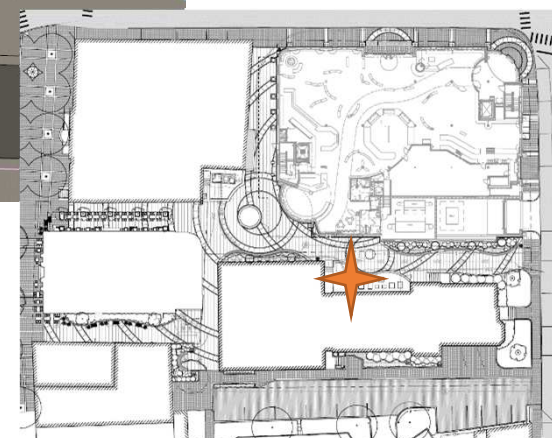
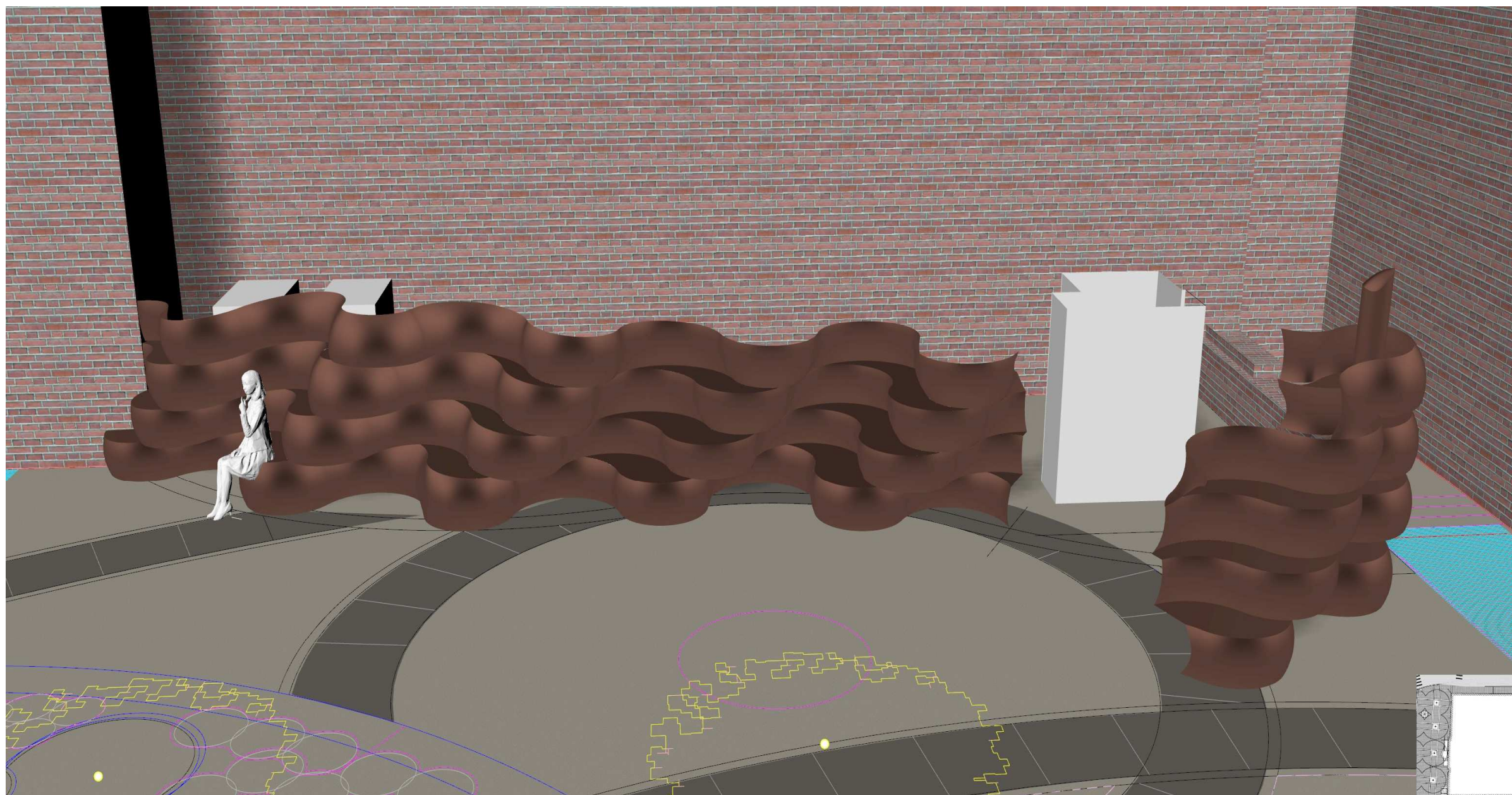






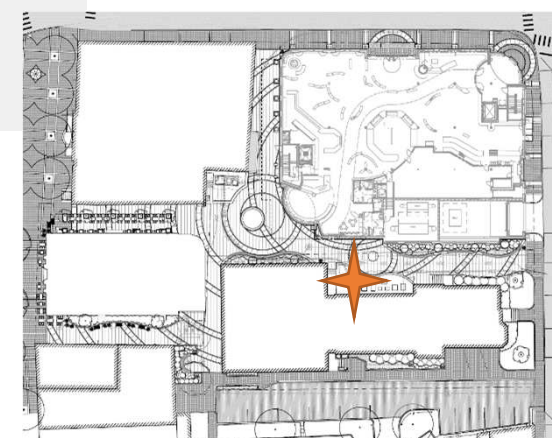
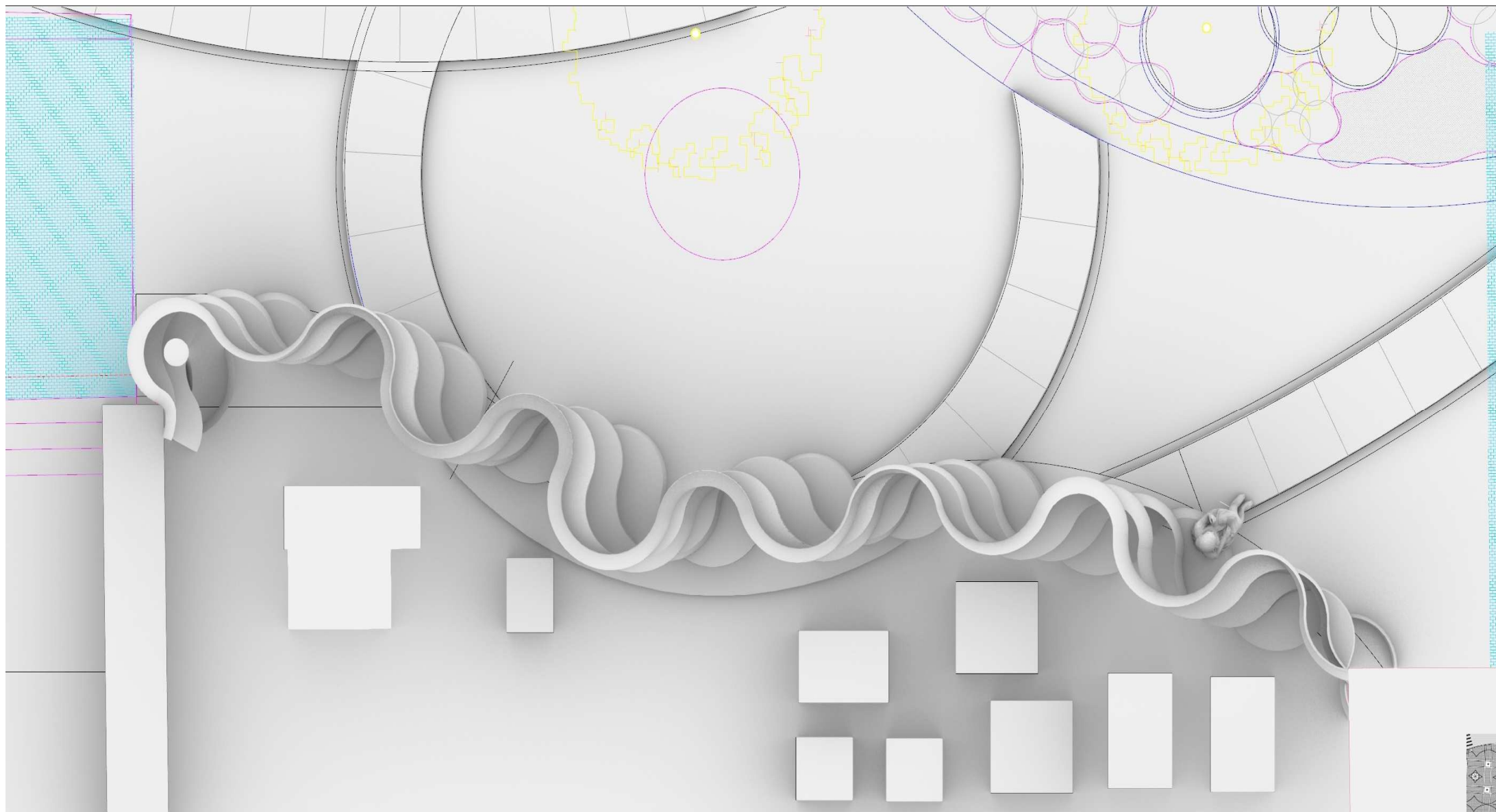


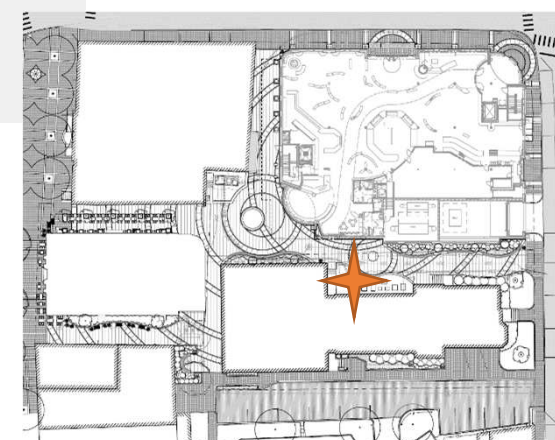
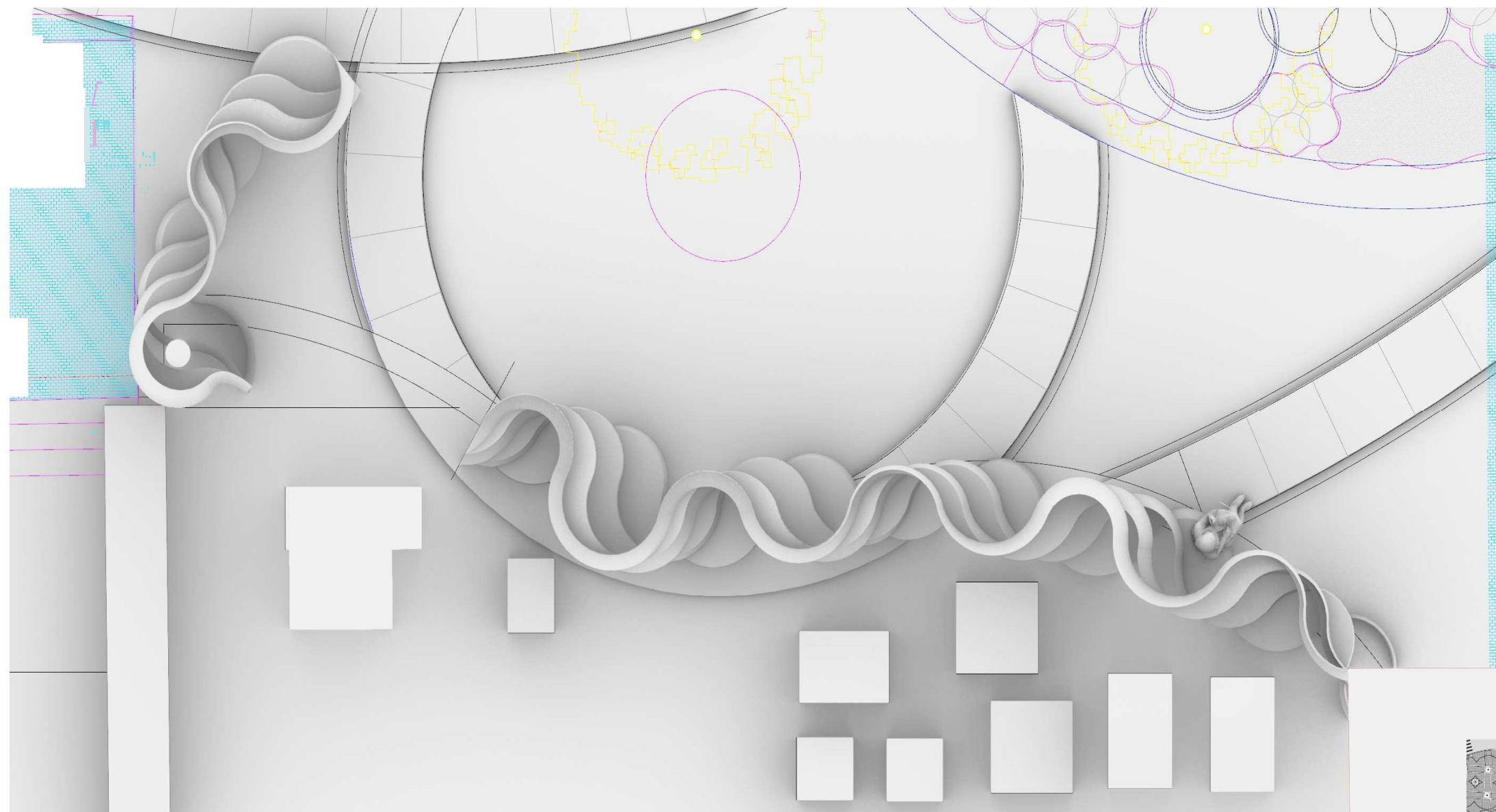




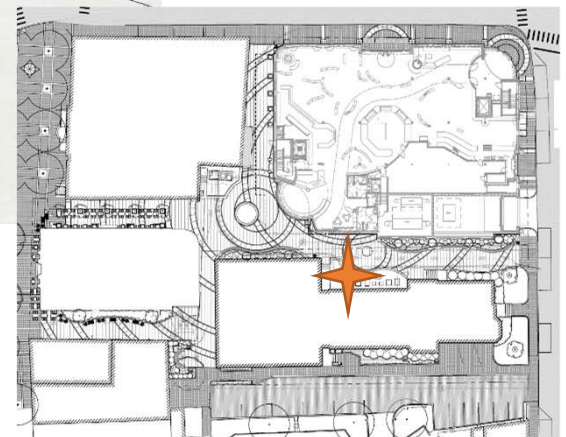
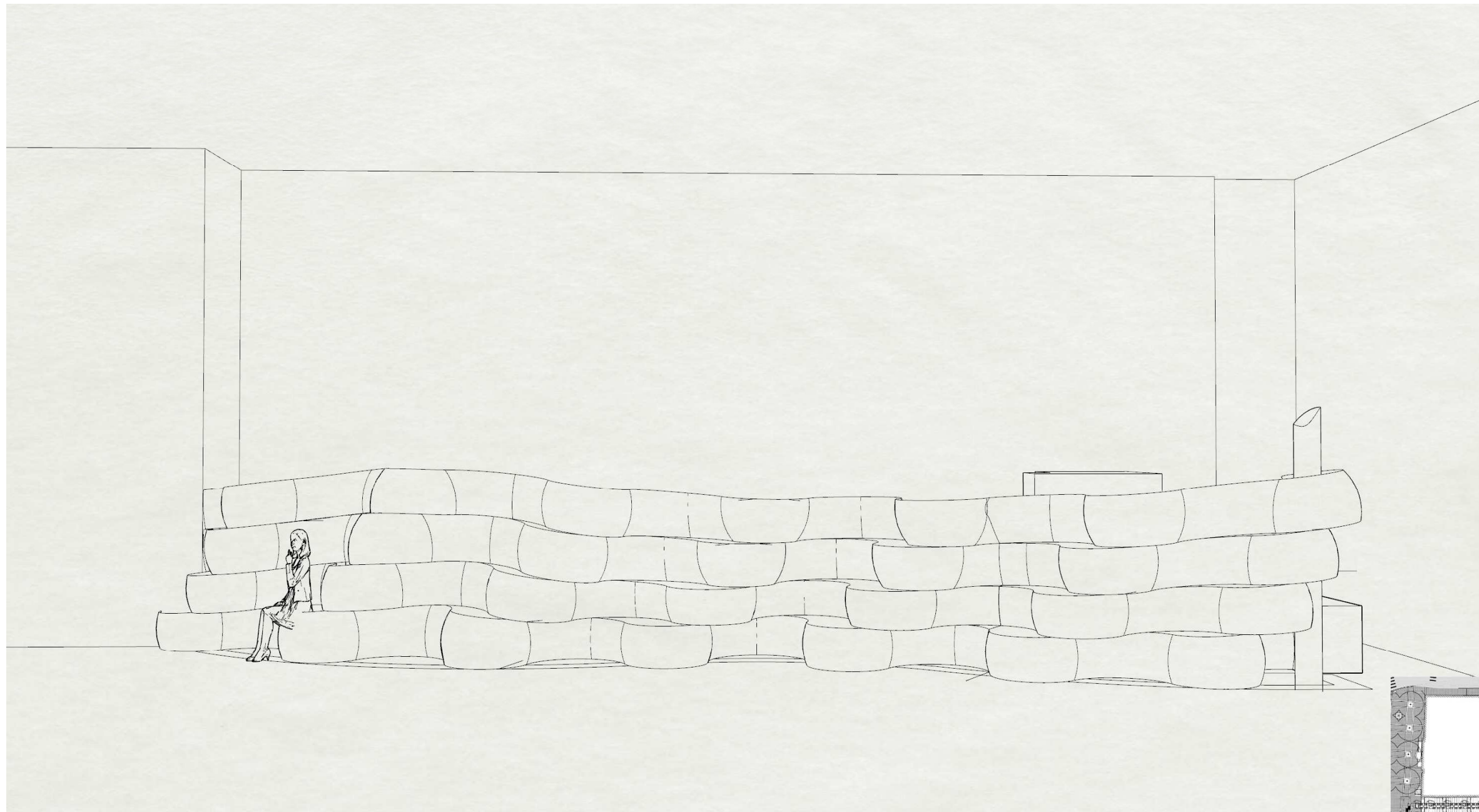


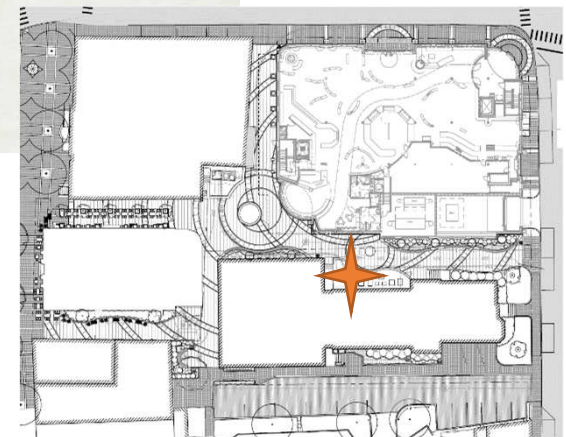
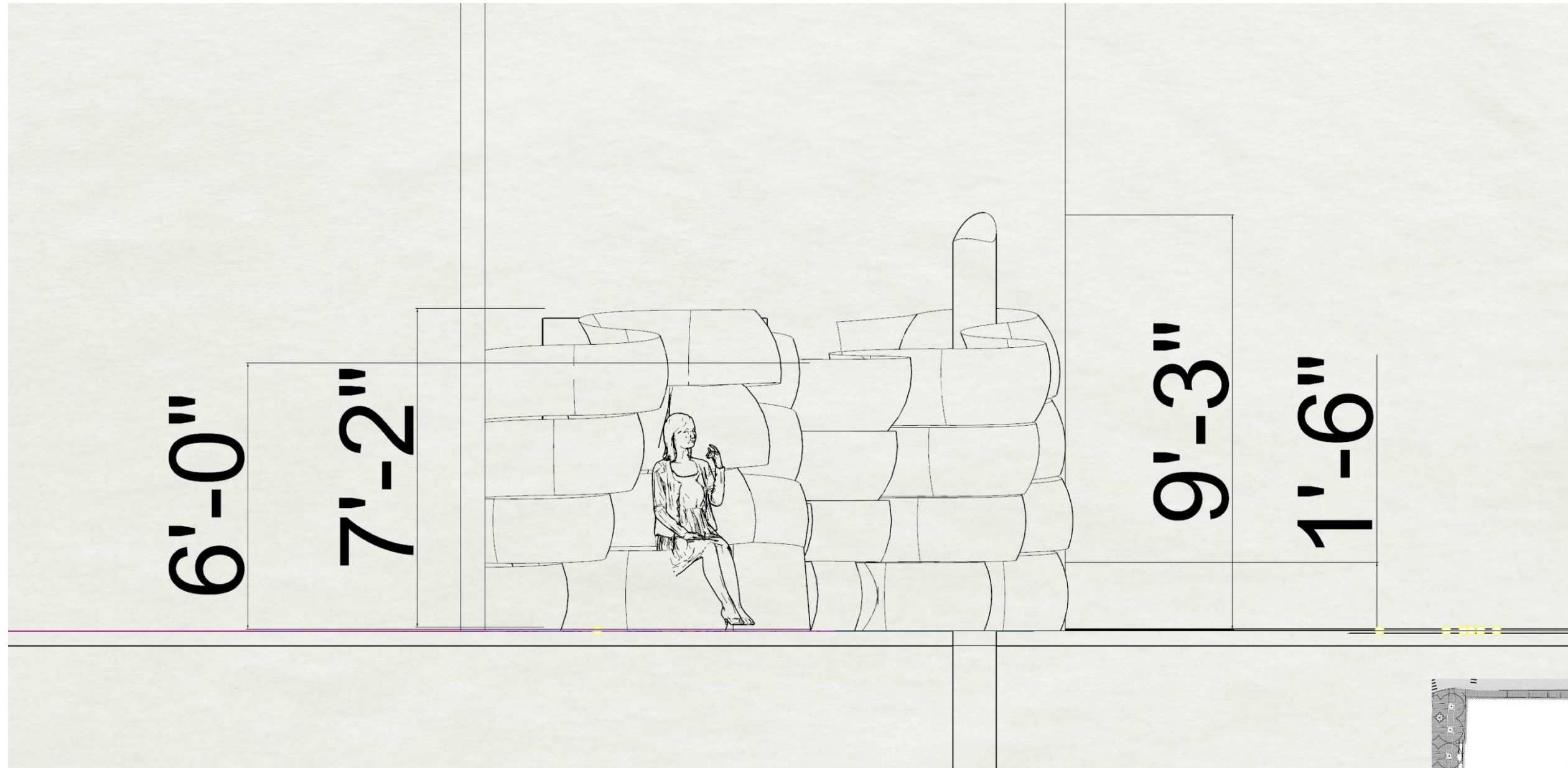
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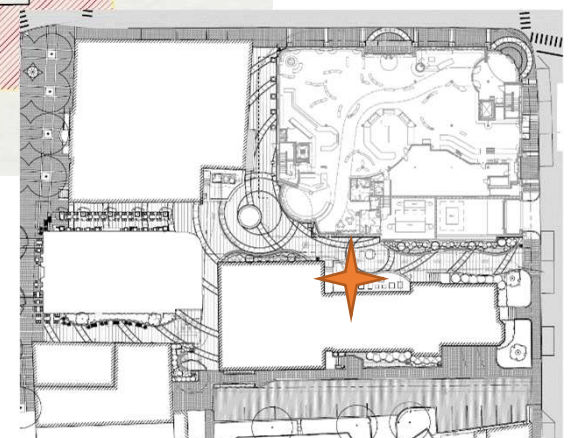
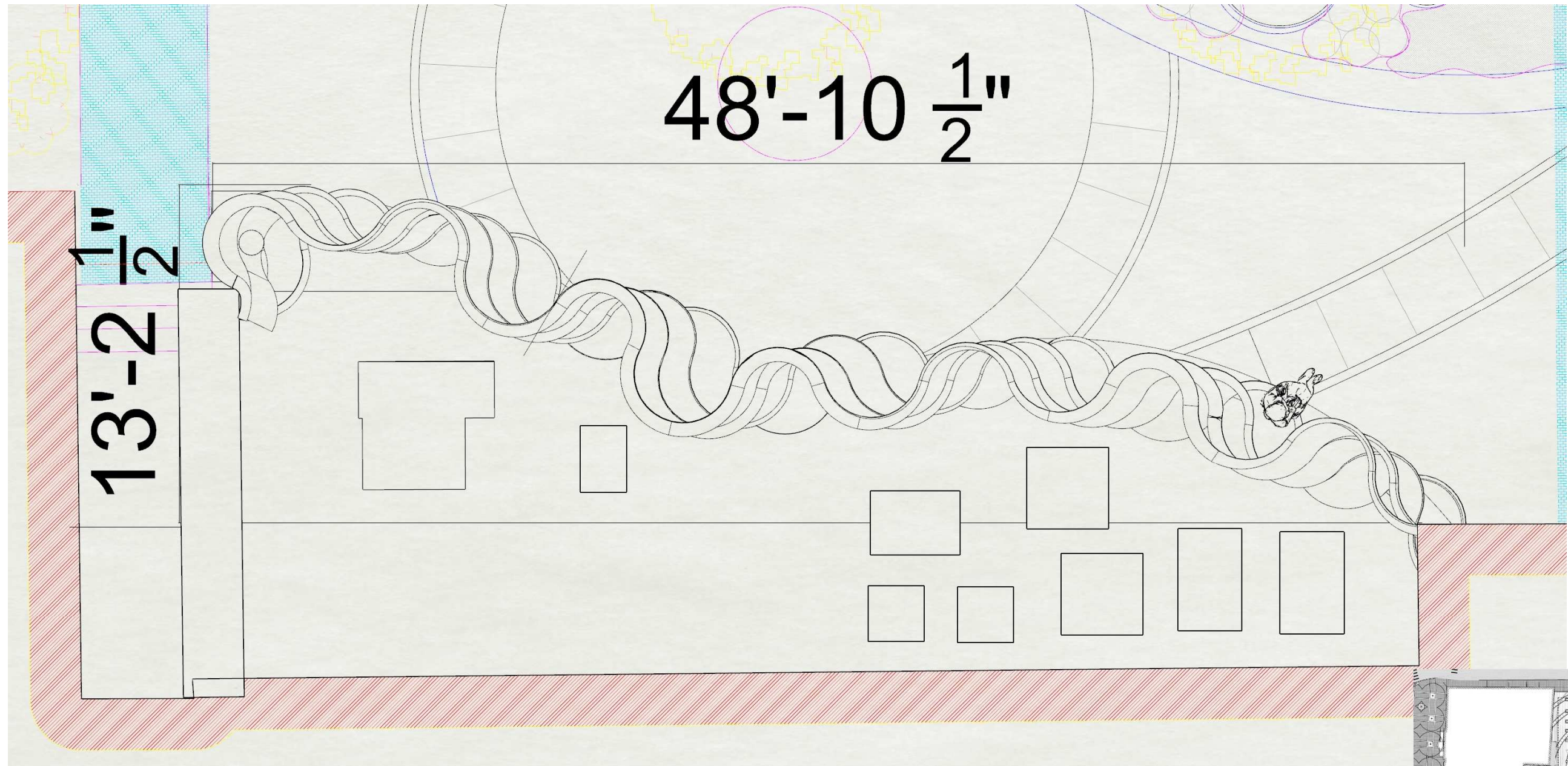




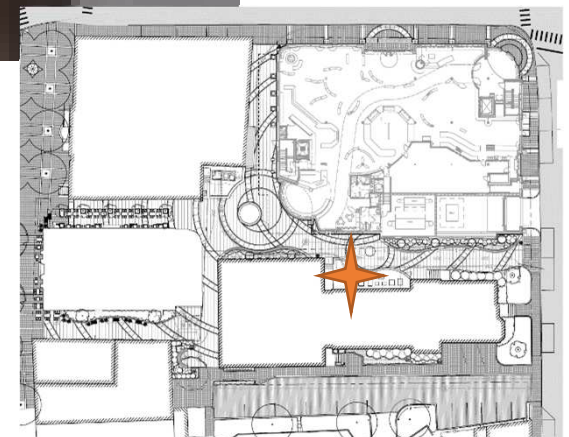








# Material: Formed and fabricated bronze





# Amanda Whitworth - Recommendation: first year programing

Materials: Local arts community

Project concept: Hire as a consultant/curator Amanda Whitworth and her group *Lead with Arts* <https://leadwitharts.com> to build programing for your first year open to the public. This will show possibility of the space for the arts community and jumpstart the place-making goals of the project.

Next Steps: Identify timeline for project completion and performance. Approach Amanda to see if they are willing to take it on and what sort of consulting budget would be required.

Links:

<https://leadwitharts.com/>

NHPR: New N.H. Artist [Laureate, Amanda Whitworth, Is First to Represent Dance](#)

<https://www.nhpr.org/post/new-nh-artist-laureate-amanda-whitworth-first-represent-dance#stream/0>

Variations on Colorfields by Floor van de Velde [www.floorvandevelde.com](http://www.floorvandevelde.com) McNinch Gallery at Southern New Hampshire University in partnership with New Hampshire Dance Collaborative [www.nhdancecollaborative.com](http://www.nhdancecollaborative.com) [https://www.youtube.com/watch?v=TfwXBzmRMcs&feature=emb\\_title](https://www.youtube.com/watch?v=TfwXBzmRMcs&feature=emb_title)

Artist in residence at shaker village

<https://vimeo.com/channels/1147628/17905>

[7029](#)

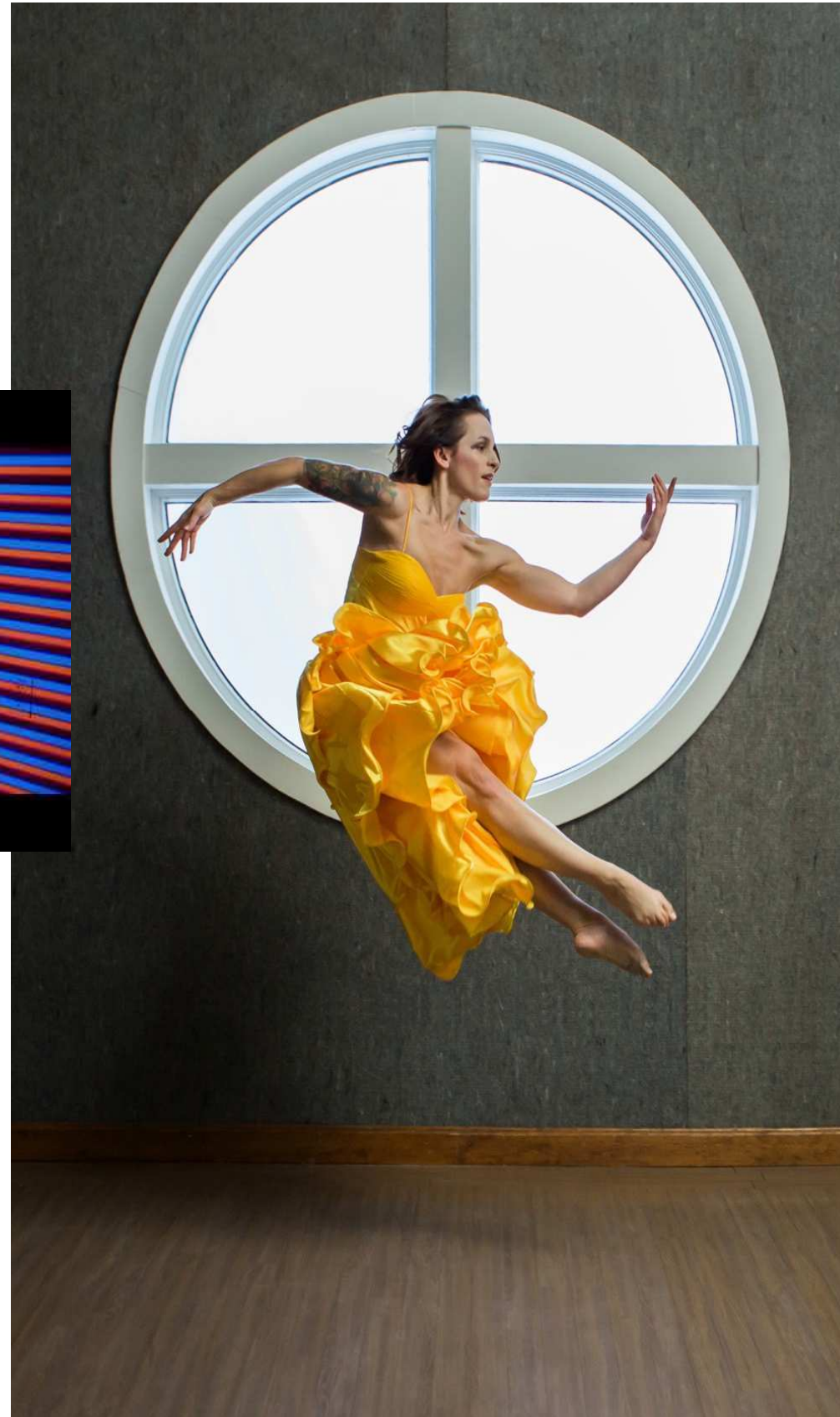


**Brick Market**

VIVIAN BEER STUDIO



**Golob Art**





# Wayfinding and Alley General considerations

## Thematic Touch Points

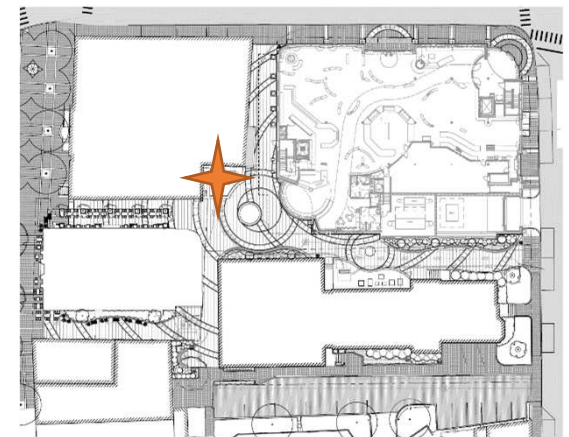
- Women's history and empowerment
- Maritime history and culture
- Water, nature, curves

## In Concert With Vivian's Work

- Metal sheets
- Organic forms
- Abstraction and representation
- Reflection and color

## Mission Orientation

- Clear, sustained sense of identity
- Creates flow of activity (plaza and alley – ebb and flow)
- International reach, local roots
- Accessible and easy to engage with
- Active year-round
- Buzz - Makes people come back, talk about it



# Wayfinding, Alley Art Index

1. Light Houses
2. Projections
3. Artifacts
4. Portsmouth Women Stained-Glass “Windows”
5. Meditation in Blue
6. Mirror Ivy
7. Water Lilly Wall



Construction | Development | Management



**Brick Market**

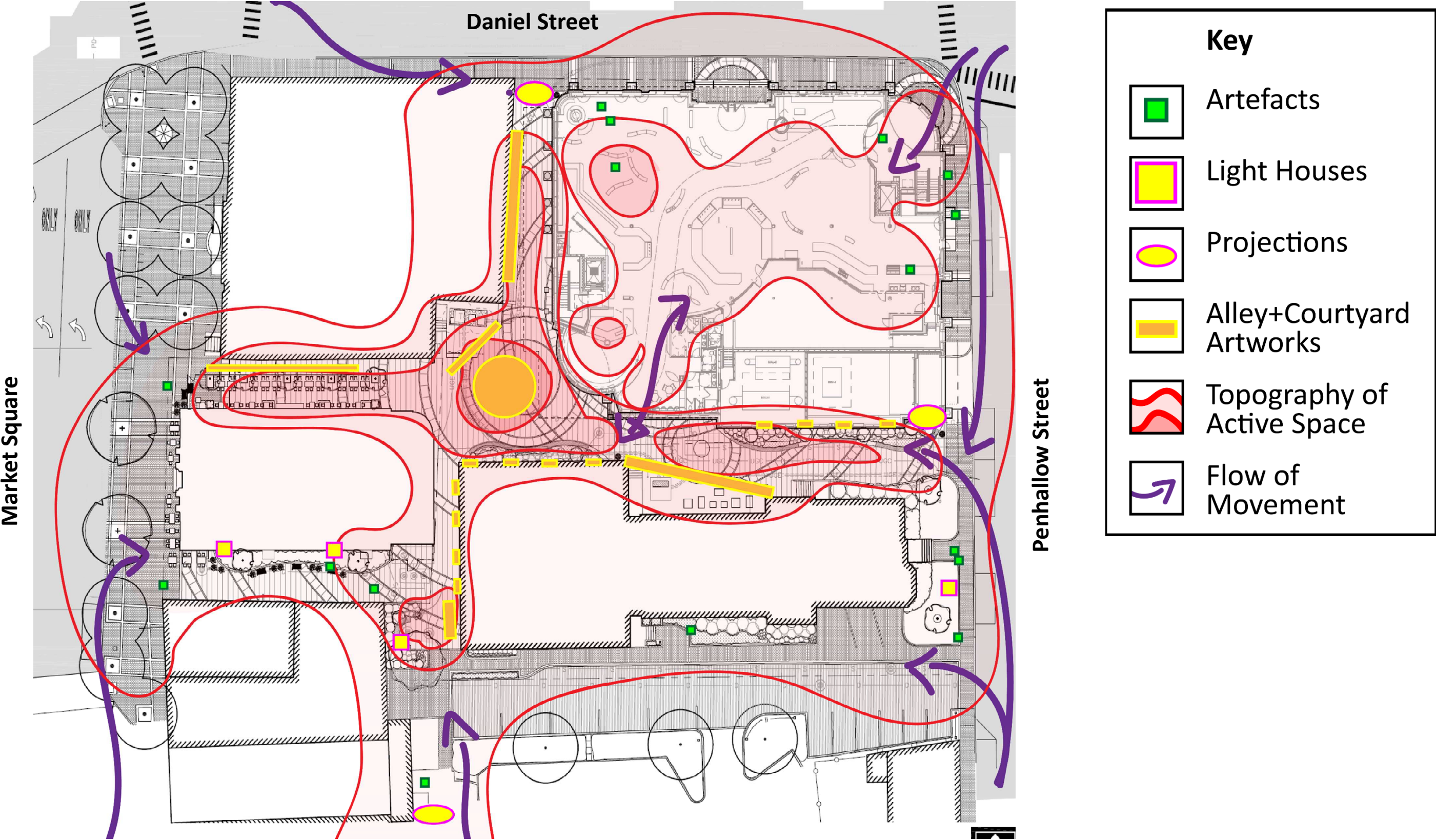
VIVIAN BEER STUDIO



**Golob Art**

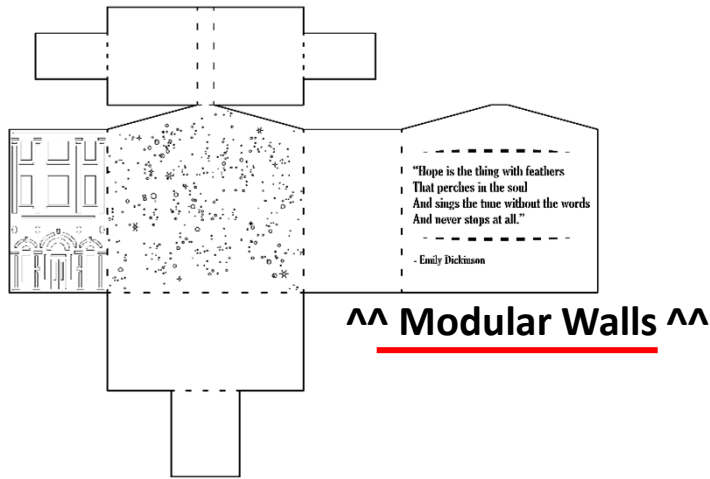


# Artworks Layout

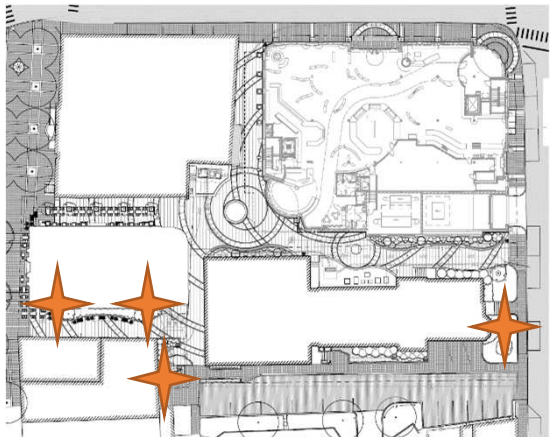
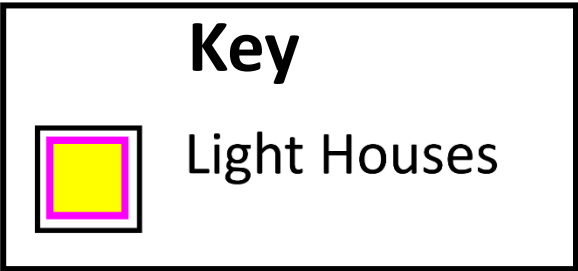




# 1. Light Houses



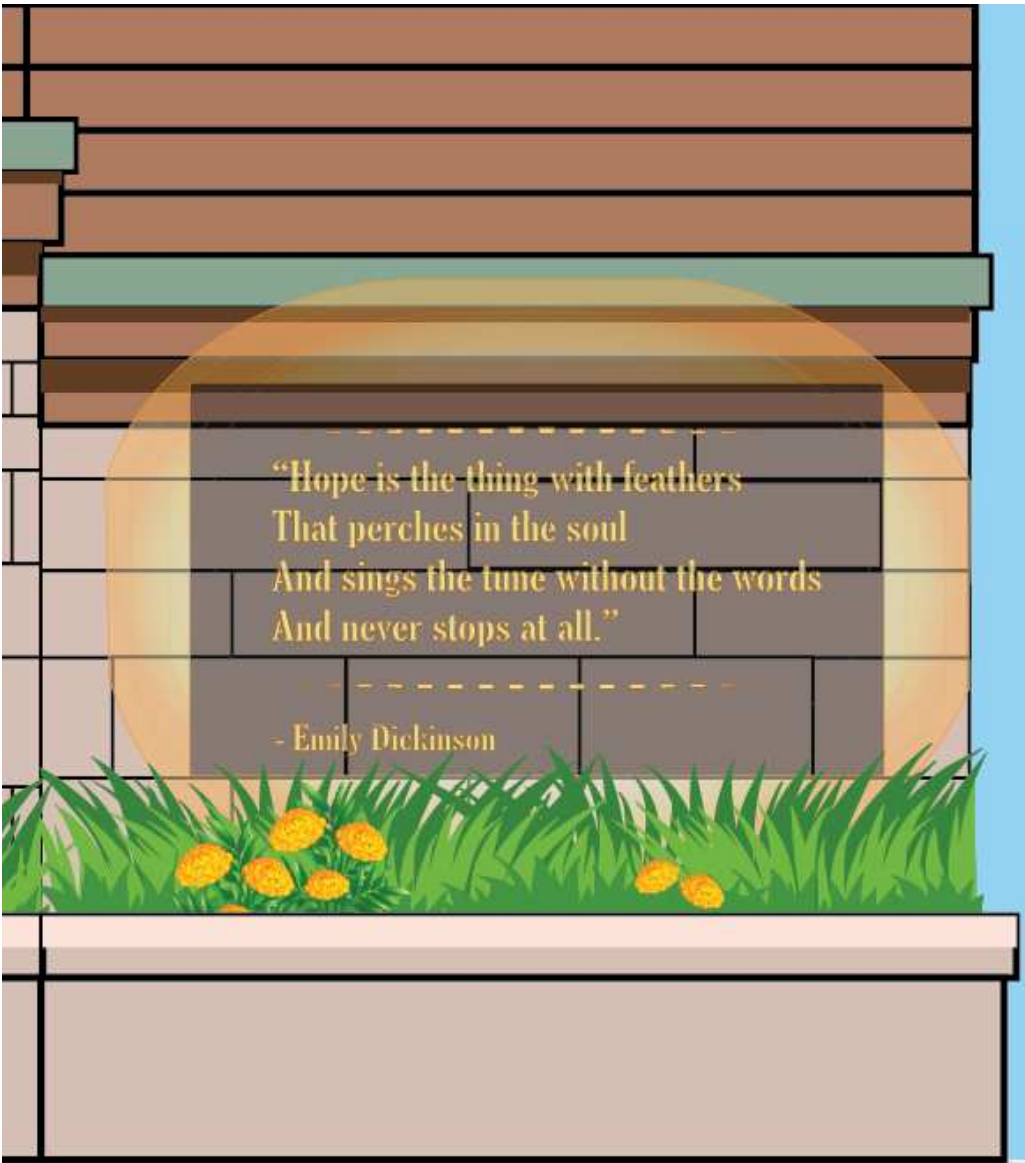
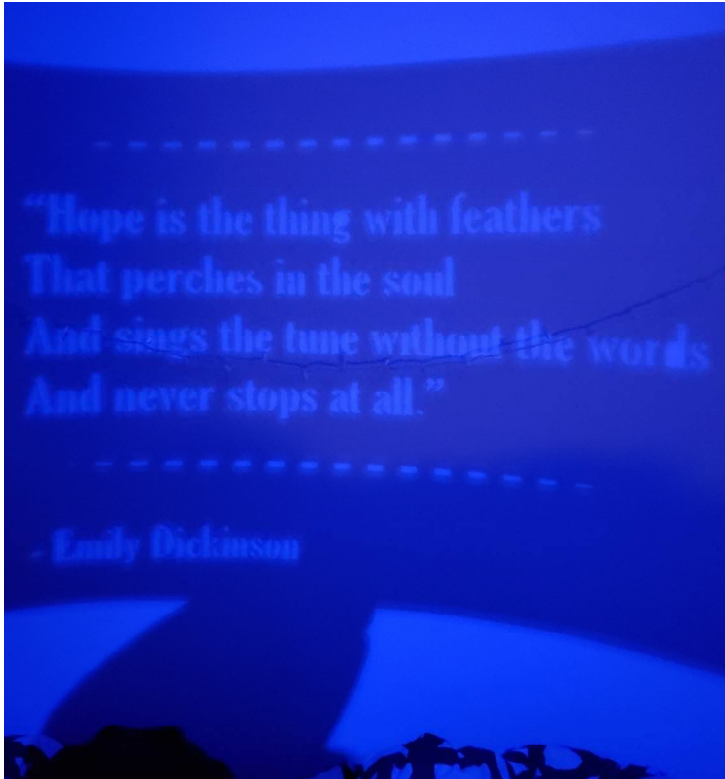
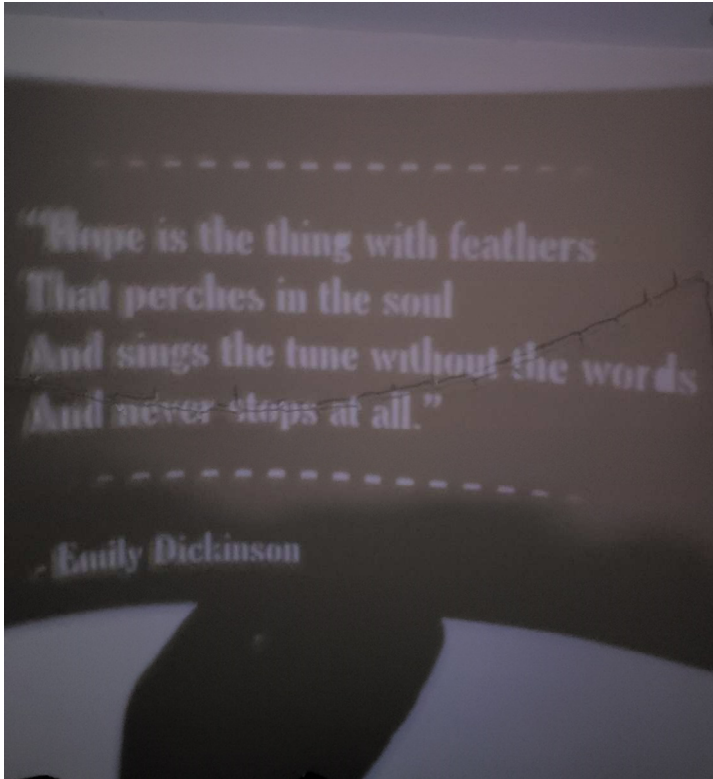
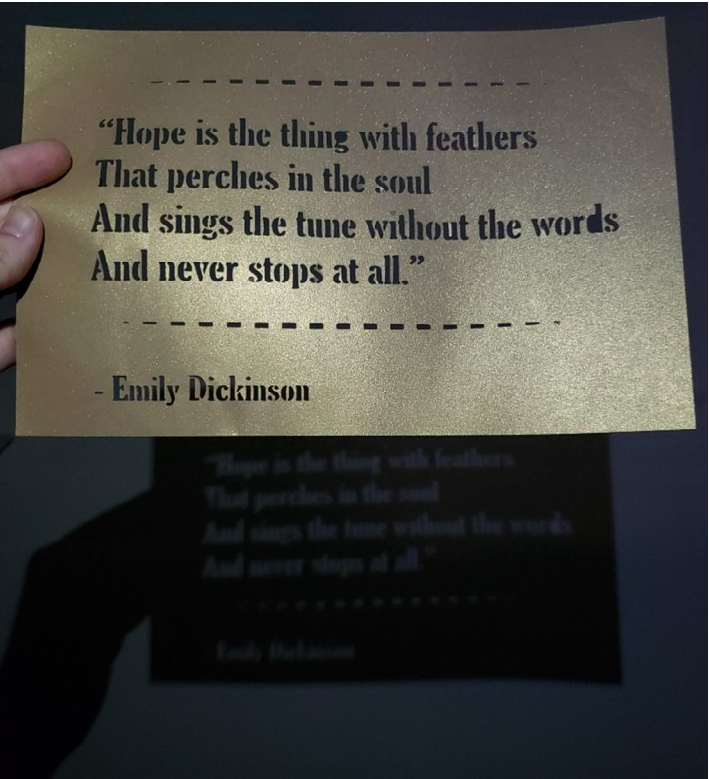
**Dimensions:** H 24" x W 9.5" x D 21.5"  
**Materials:** Machine-cut Aluminum





# 2. Projections

(against walls, floors)



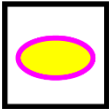
## Dimensions:

Shadow Box:      Projection:  
H 6" x W 8" x D 4"    H' 4 x L 6' x D 0'

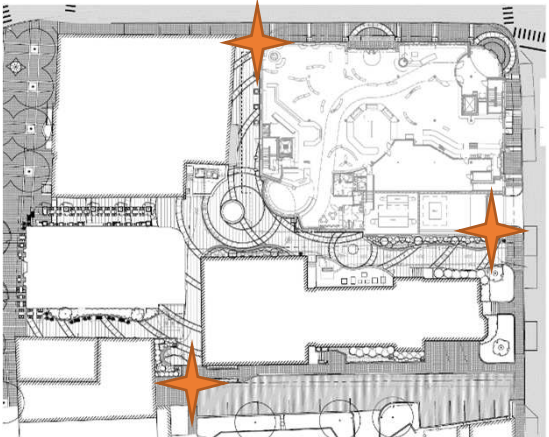
## Materials:

Machine-cut  
aluminum

## Key



Projections





# 3. Artifacts



**Dimensions:**

Variable, roughly:  
H 1" x W 5" x D 4"

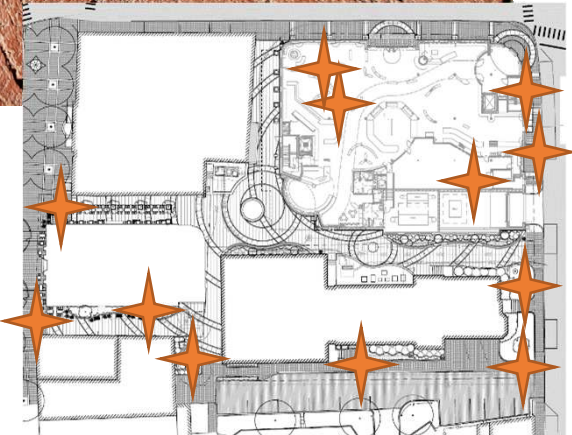
**Materials:**

Cast bronze

**Key**

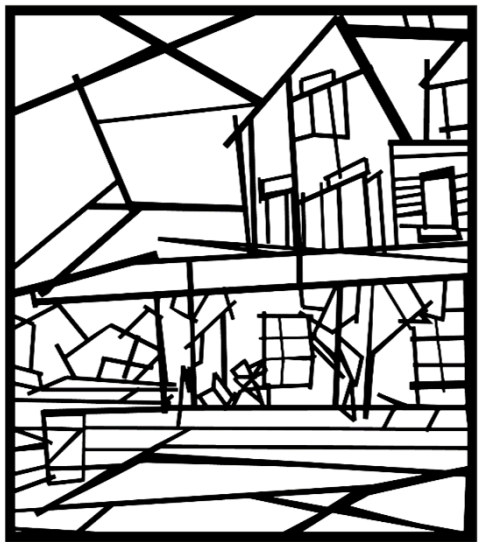


Artifacts





# 4. Portsmouth Women Stained-Glass “Windows”



**Materials:**  
Machine-cut  
Steel

**Dimensions:**  
Variable, roughly:  
H 5' x W 4' x D .125"

**Materials:**  
Machine-cut Steel

**Key**

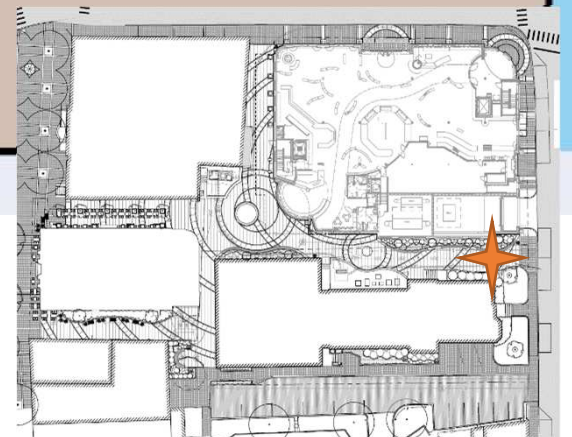


Alley+Courtyard  
Artworks





# Penhallow Alley Illustration





# 5. Meditation in Blue

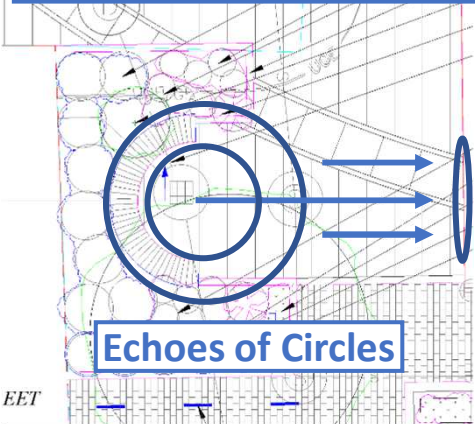


**Dimensions:**

H 5' x W 5' x D .125"

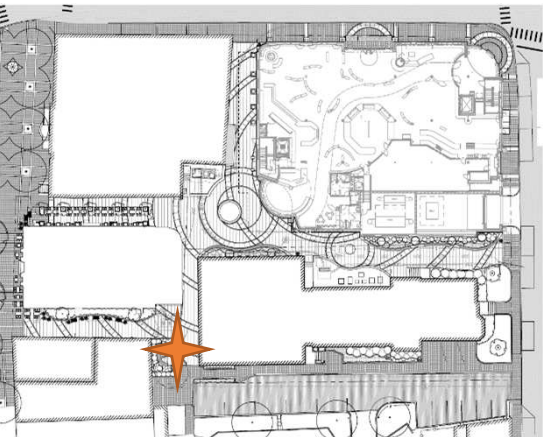
**Materials:** Painted aluminum-acrylic composite paneling

Approximate Real World Location



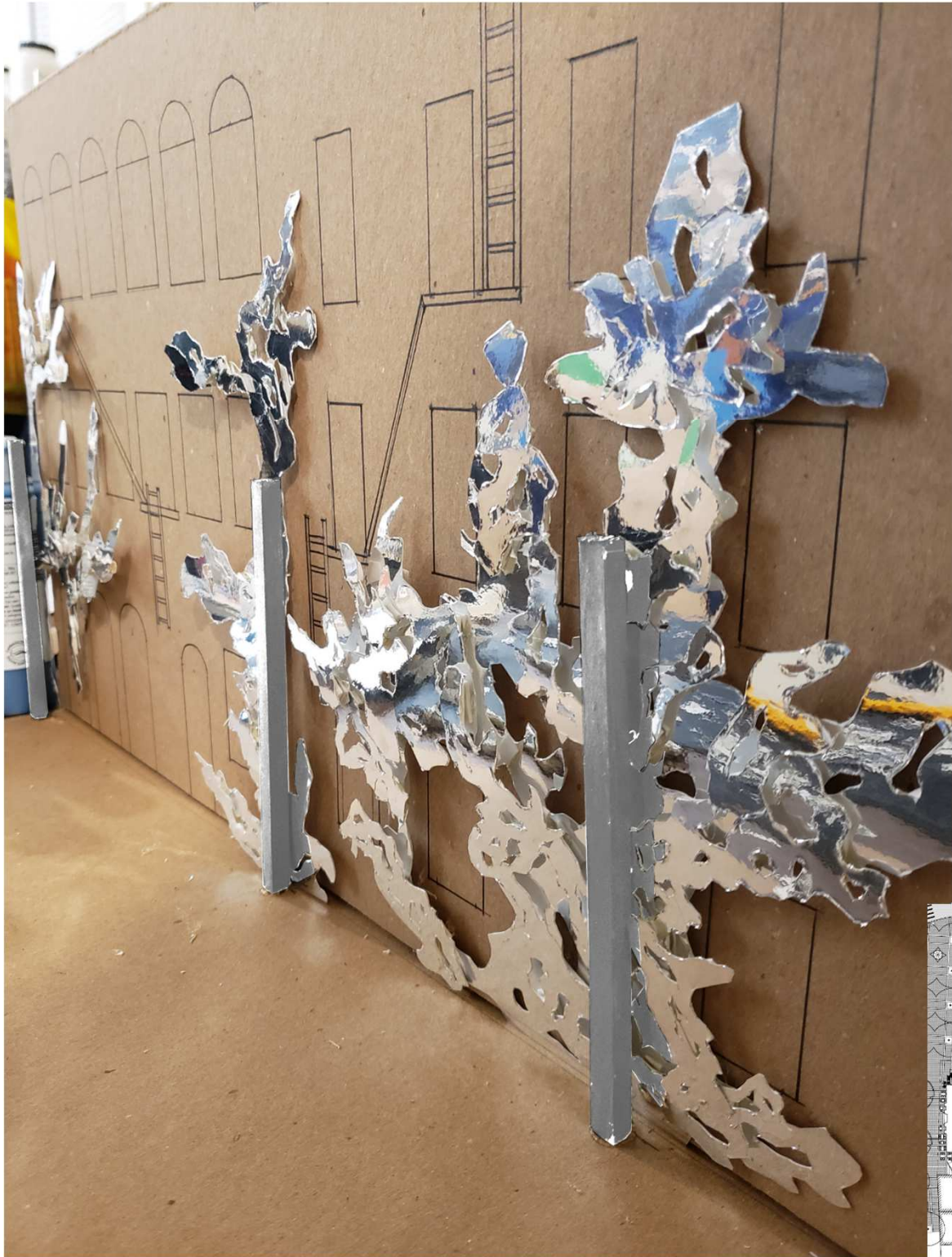
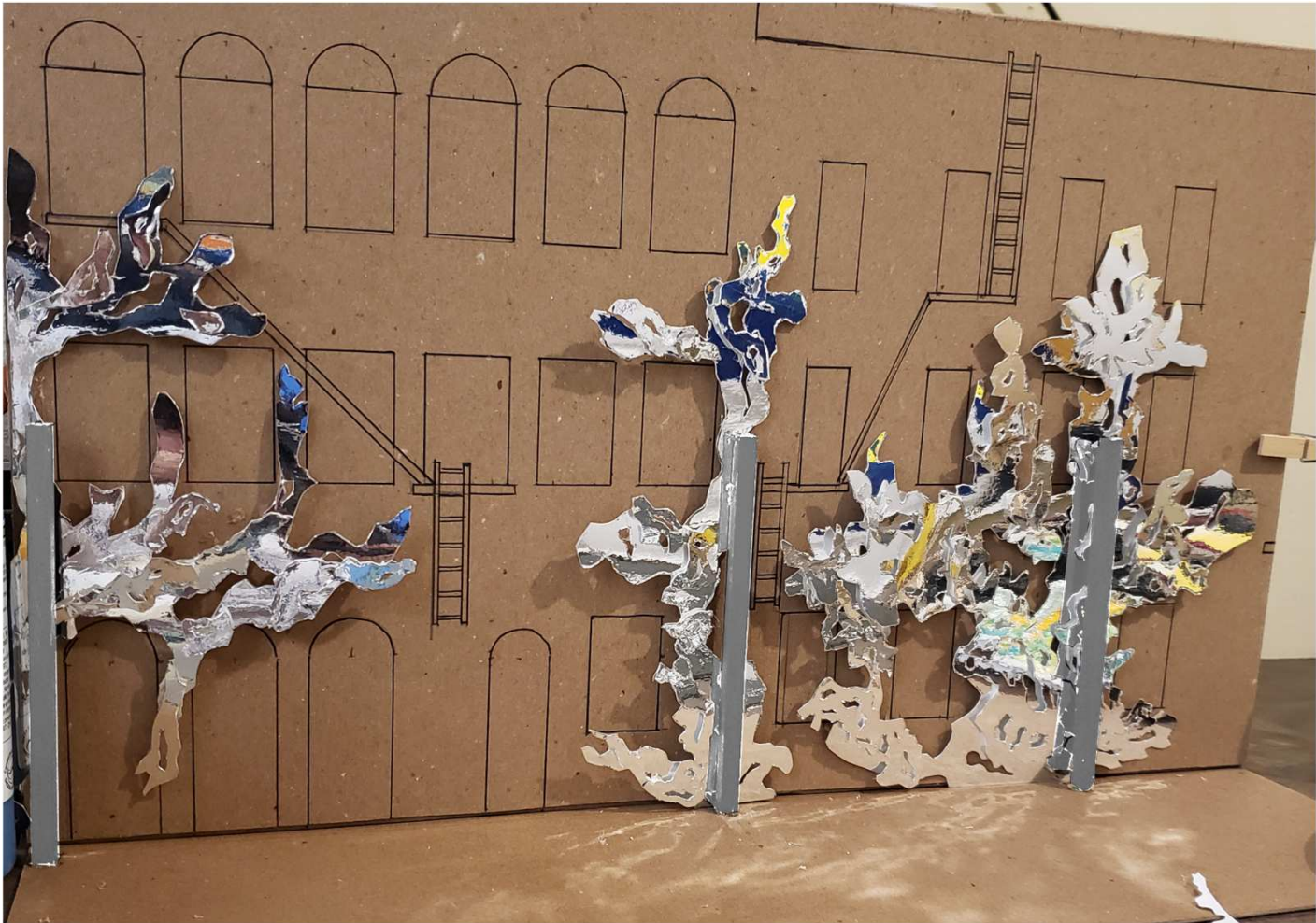
Location of  
*Meditation of Blue*

Alley+Courtyard Artworks





# 6. Mirror Ivy



**Materials:**  
Machine-cut  
Polished Steel  
and Aluminum

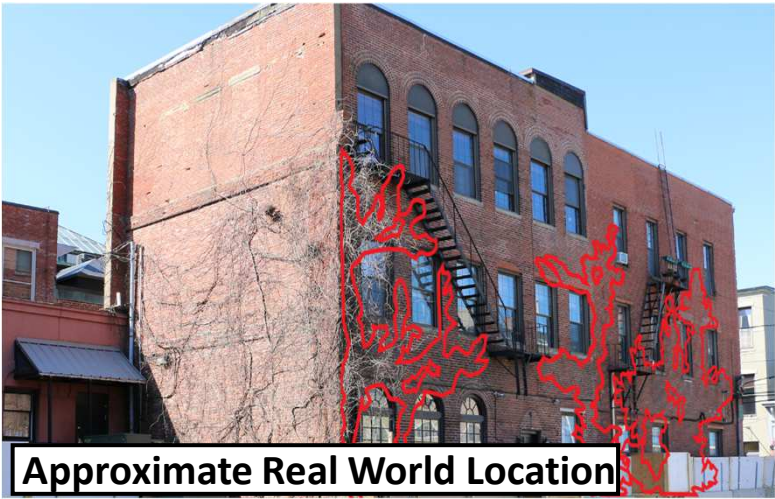
**Dimensions:**  
H 20' x W 75' x  
D 2"

**Key**

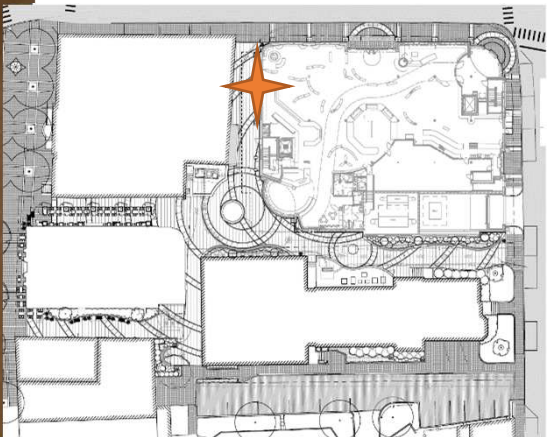
 Alley+Courtyard  
Artworks



Color Study for Back of Ivy



Approximate Real World Location





# Market Square Alley



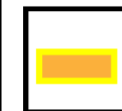
## Materials:

Machine-cut Polished  
and Colored Steel and  
Aluminum

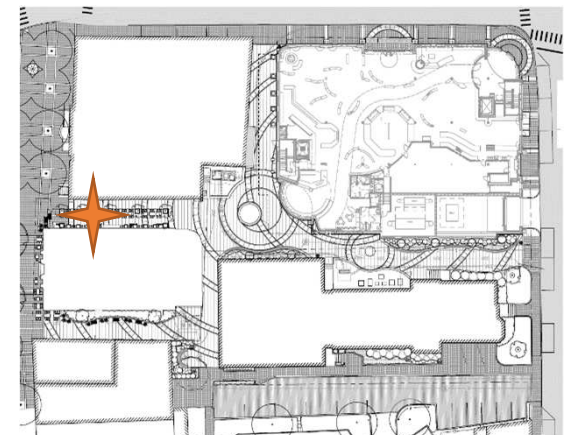
## Dimensions:

H 4' x W 80' x  
D 1.25"

## Key

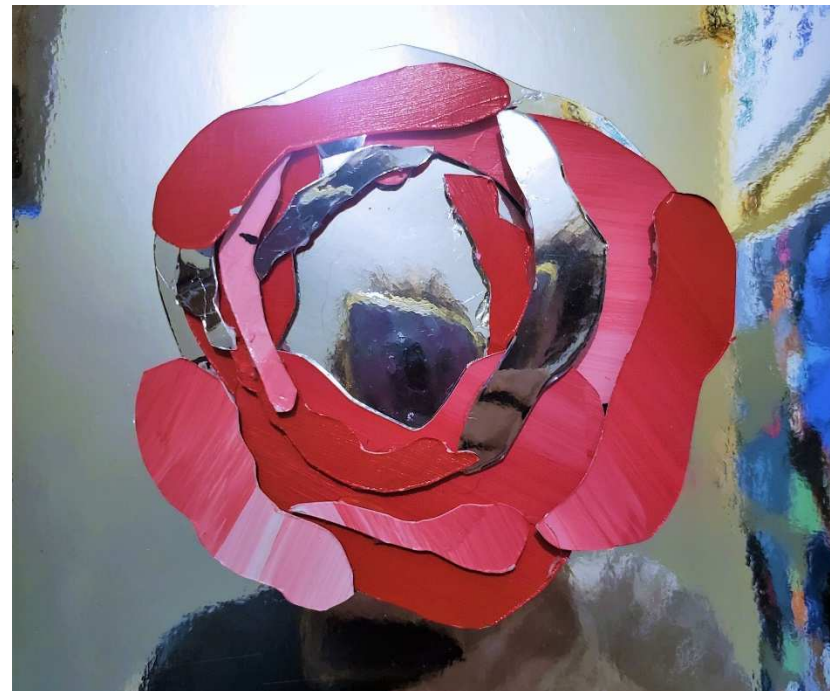
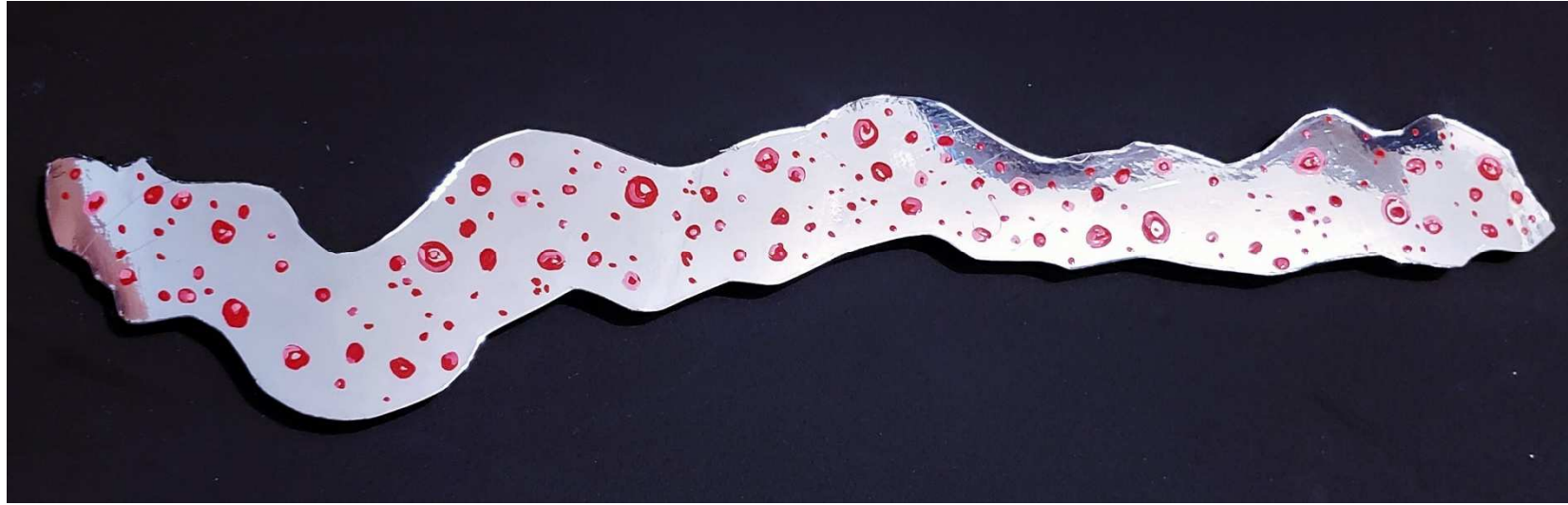


Alley+Courtyard  
Artworks





# 7. Water Lilly Wall



**Dimensions:**

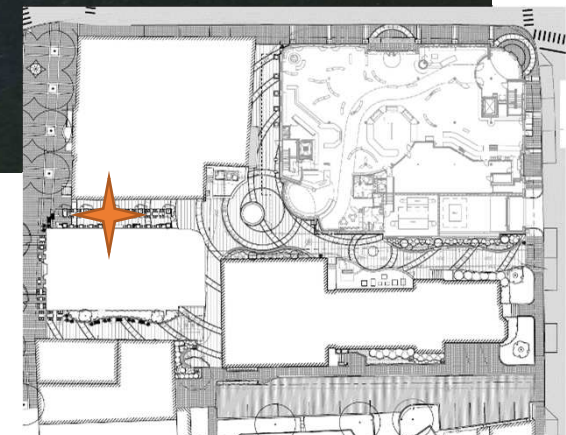
H '4 x W 80' x  
D 1.25"

**Materials:** Machine-cut Polished  
and Colored Steel and  
Aluminum

**Key**



Alley+Courtyard  
Artworks



Construction | Development | Management



**Brick Market**

VIVIAN BEER STUDIO



**Golob Art**



# Wayfinding, Alley Art Index

1. **Light Houses:** Tucked into the landscaping, these surprise sculptures offer a small, stylized metal version of notable landmarks with walls covered in art and poetry that light up at night to offer passersby' a warm glow of light-up art. The walls would be designed to be easily replaced so they could incorporate regular additions of local artwork and poetry.
2. **Projections:** Activated at dusk, these projections would create a powerful and delightful surprise at entryways to the courtyard – showcasing poetry and art – with the option to change them for events, holidays, and the passing of seasons.
3. **Artifacts:** Scattered across the space, primarily at the edges, these objects that represent Portsmouth's everyday from today and years past offer a surprise to those who discover them and nudge visitors to explore the full space.
4. **Portsmouth Women Stained-Glass "Windows":** A dynamic visual documentation and celebration of trailblazing women throughout Portsmouth's history. Created along grates at eye-level, they form a row of "windows" that share these powerful stories.
5. **Mediation in Blue:** A circular deep blue mural that offers a quiet and calm space of contemplation and relaxation. The circular shape reflects the semi-circular nook that it sits opposite of, and riffs off the curves of Vivian Beer's works in the courtyard.
6. **Mirror Ivy:** A wonder-inspiring multi-layered wall of reflective metal ivy - connecting the organic with the inorganic - that draws people into and through the alley while encouraging people to play and interact with it. The back of each layer will be colored, and, when reflecting against the layer beneath it, will make the ivy glow.
7. **Water Lilly Wall:** A gentle, flowing reflective river (or bush) bespeckled in brightly colored multi-layer flowers that pull people through the alley and offer a touch of joy and serenity to those sitting at the restaurant in the alley.



Construction | Development | Management



**Brick Market**

VIVIAN BEER STUDIO



**Golob Art**



10. 60 Penhallow Street - Recommended Approval

**Background:** The applicant is seeking approval for changes to a previously approved design (Additional HVAC units and rooftop mechanical fans and changes to the copper patina and roofing membrane).

**Staff Comment:** Recommended Approval

Stipulations:

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_



07/02/2021

**LUHD-362**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 30, 2021**Applicant**

Tracy Kozak  
tkozak@jsainc.com  
JSA Inc  
273 Corporate Drive, Suite 100  
portsmouth, New Hampshire 03801  
603-731-5187

**Location**

60 PENHALLOW ST  
Portsmouth, NH 03801

**Owner:**

DAGNY TAGGART LLC / McNabb Properties  
3 PLEASANT ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Exterior at-grade mechanical units, rooftop mechanical fans, copper patina &amp; roofing membrane

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Tracy Kozak

**Business Name (if applicable)**

JSA Design

**Mailing Address (Street)**

273 Corporate Dr Ste 100

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

6034362551x253

**Email Address**

tkozak@jsainc.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--



# 60 PENHALLOW STREET

AT

# BRICK MARKET

HDC REVISION 2 - JUNE 18, 2021



### SUMMARY OF REVISIONS

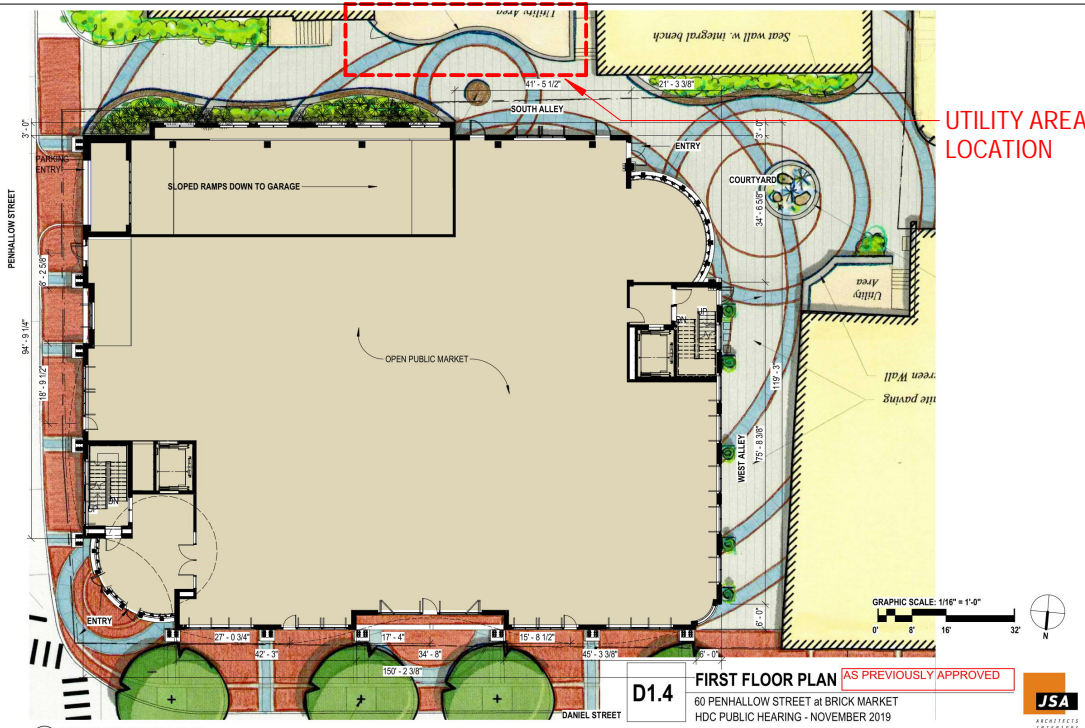
- 1. New and relocated mechanical units at West Alley
- 2. Copper roofing & shingles patina
- 3. Upper roofing membrane
- 4. Rooftop exhaust fans

HDC JUNE 2021 SHEET LIST	
Sheet Number	Sheet Name
HDC 0.0	COVER
HDC 1.1	UTILITY AREA - EXISTING
HDC 1.2	UTILITY AREA - PROPOSED
HDC 1.3	UTILITY AREA - GENERATOR CUT SHEETS
HDC 1.4	UTILITY AREA - EQUIPMENT CUT SHEETS
HDC 2.1	PATINA COPPER
HDC 3.1	ROOF PLAN - PREVIOUSLY APPROVED
HDC 3.2	ROOF PLAN - PROPOSED
HDC 3.3	PROPOSED ELEVATION - DANIEL STREET
HDC 3.4	EAST ELEVATION - PENHALLOW STREET
HDC 3.5	SOUTH ELEVATION - PROPOSED
HDC 3.6	PROPOSED PERSPECTIVES
HDC 3.7	ROOFING & EQUIPMENT CUTSHEET

HDC 0.0

COVER  
60 PENHALLOW STREET at BRICK MARKET  
6/18/2021





KEY PLAN - PREVIOUSLY APPROVED NOVEMBER 2019



EXISTING PHOTO PRIOR TO CONSTRUCTION



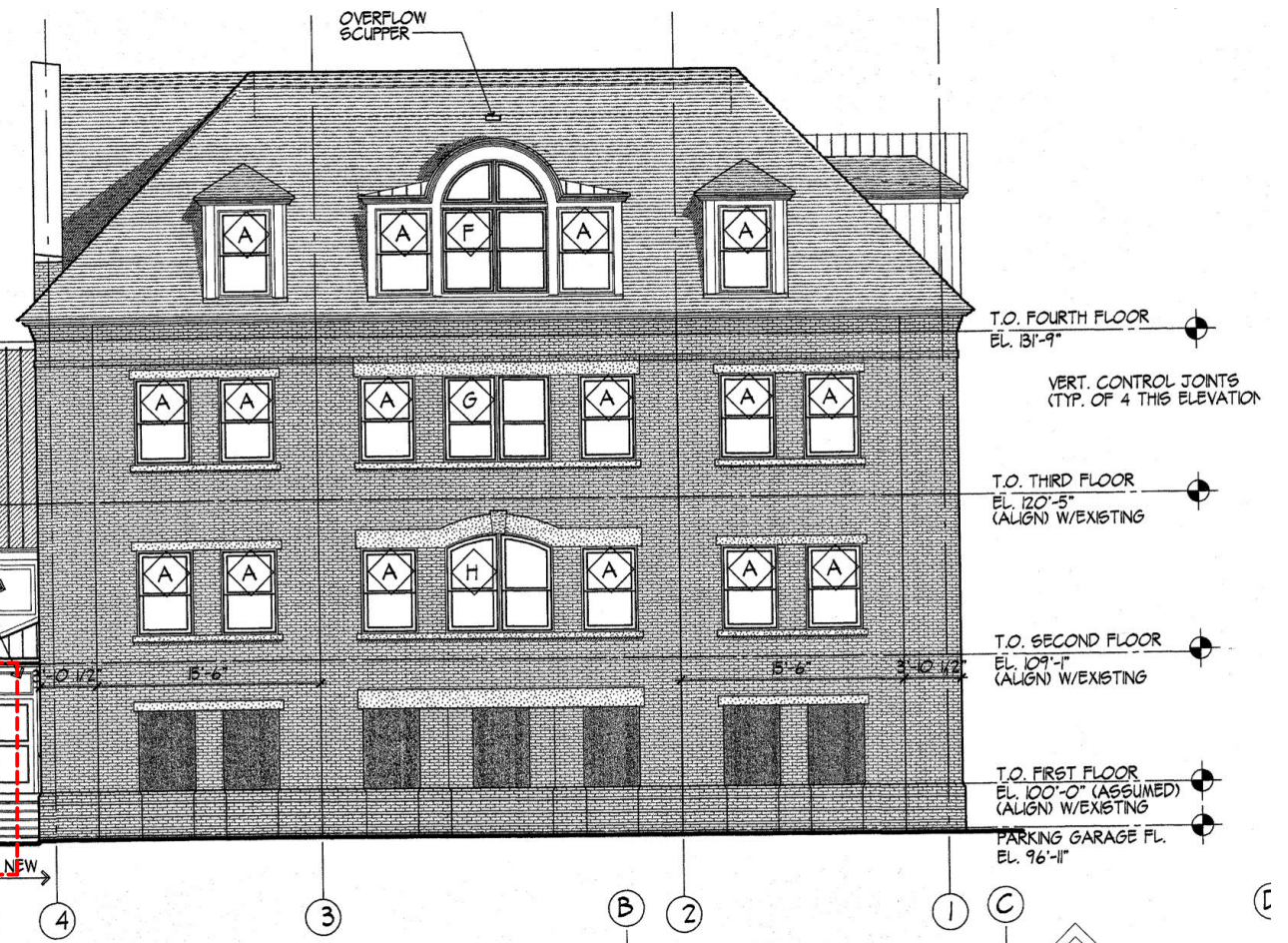
EXISTING PHOTO DURING CONSTRUCTION

## SOUTH (STATE STREET) ELEVATION

1/8"=1'-0"



EXISTING EQUIPMENT YARD



HDC 1.1

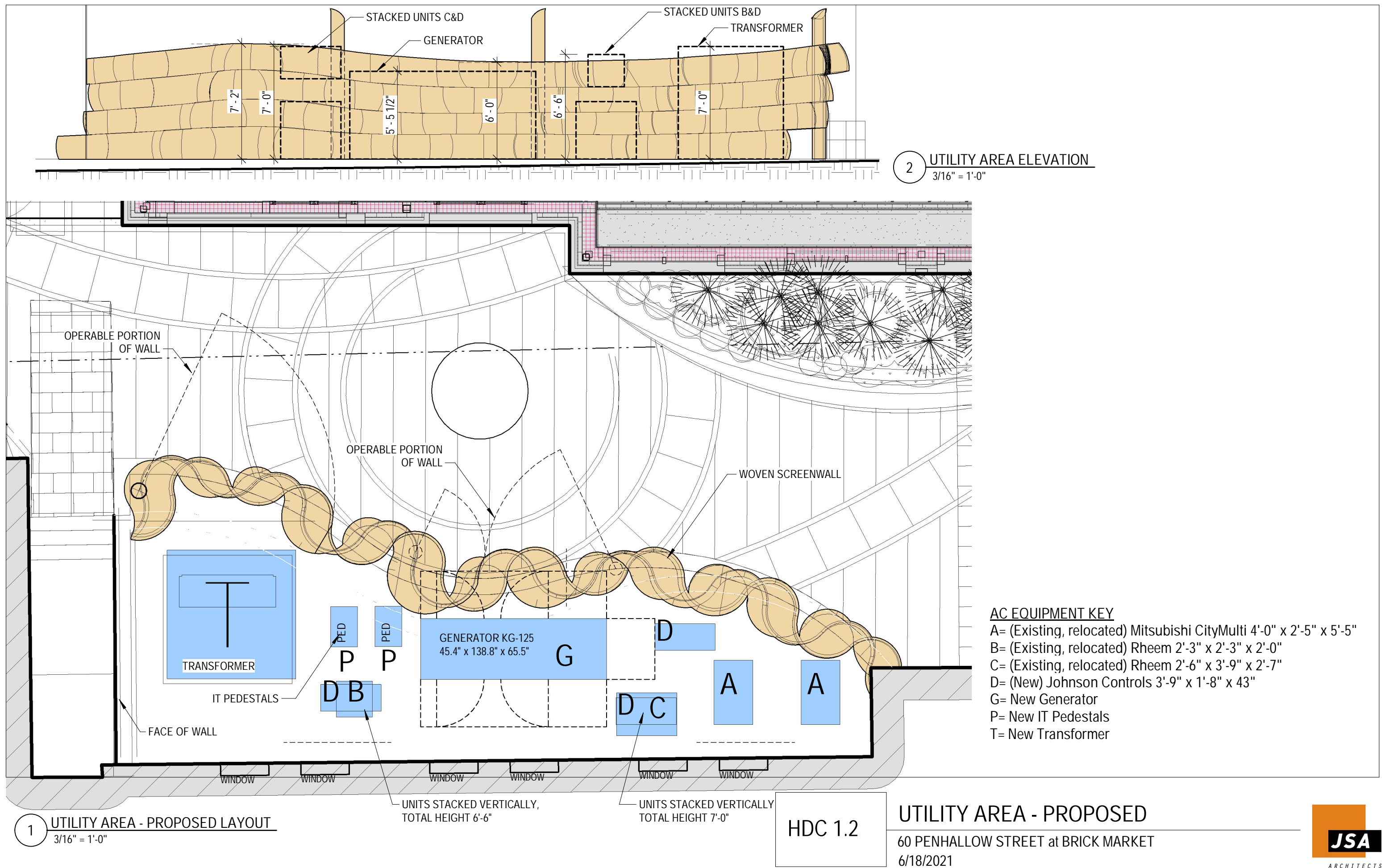
## UTILITY AREA - EXISTING

60 PENHALLOW STREET at BRICK MARKET  
6/18/2021

**JSA**

ARCHITECTS  
INTERIORS  
PLANNERS





2 UTILITY AREA ELEVATION  
3/16" = 1'-0"

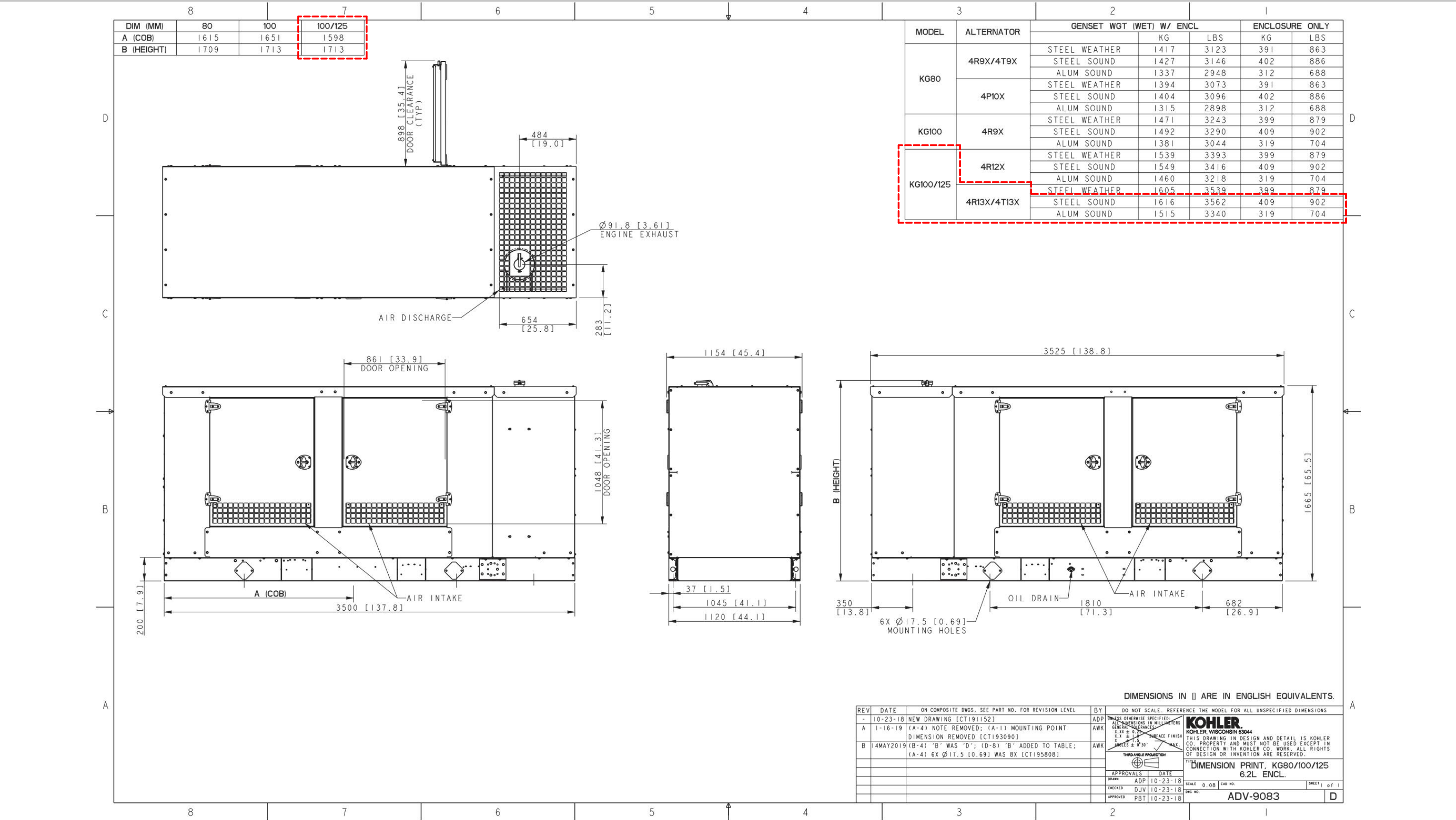
1 UTILITY AREA - PROPOSED LAYOUT  
3/16" = 1'-0"

HDC 1.2

UTILITY AREA - PROPOSED  
60 PENHALLOW STREET at BRICK MARKET  
6/18/2021

- AC EQUIPMENT KEY**
- A= (Existing, relocated) Mitsubishi CityMulti 4'-0" x 2'-5" x 5'-5"
  - B= (Existing, relocated) Rheem 2'-3" x 2'-3" x 2'-0"
  - C= (Existing, relocated) Rheem 2'-6" x 3'-9" x 2'-7"
  - D= (New) Johnson Controls 3'-9" x 1'-8" x 43"
  - G= New Generator
  - P= New IT Pedestals
  - T= New Transformer





REV	DATE	ON COMPOSITE DWGS, SEE PART NO. FOR REVISION LEVEL	BY	DO NOT SCALE. REFERENCE THE MODEL FOR ALL UNSPECIFIED DIMENSIONS
-	10-23-18	NEW DRAWING [CT191152]	ADP	UNLESS OTHERWISE SPECIFIED: ALL DIMENSIONS IN MILLIMETERS GENERAL TOLERANCES: X.X ± 0.5 X.XX ± 0.25 X.XXX ± 0.10 SURFACE FINISH: X.XX ± 0.30 X.XXX ± 0.10 THIRD ANGLE PROJECTION
A	1-16-19	(A-4) NOTE REMOVED; (A-1) MOUNTING POINT DIMENSION REMOVED [CT193090]	AWK	
B	14MAY2019	(B-4) 'B' WAS 'D'; (D-8) 'B' ADDED TO TABLE; (A-4) 6X Ø17.5 [0.69] WAS 8X [CT195808]	AWK	
APPROVALS				
DRAWN		ADP	10-23-18	DATE
CHECKED		DJV	10-23-18	DATE
APPROVED		PBT	10-23-18	DATE

SCALE 0.08

CAD NO.

SHEET 1 of 1

DWG NO. ADV-9083

D

HDC 1.3

UTILITY AREA - GENERATOR CUT SHEETS

60 PENHALLOW STREET at BRICK MARKET

6/18/2021

JSA

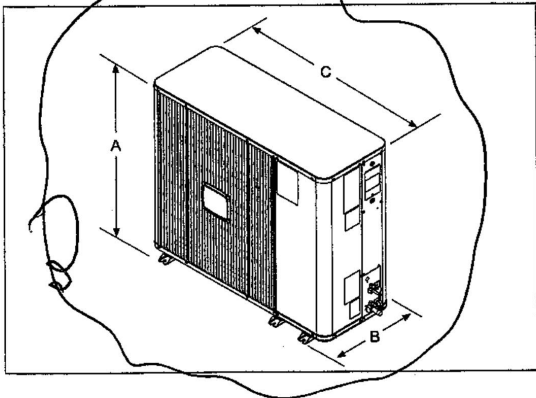
ARCHITECTS  
INTERIORS  
PLANNERS



Physical and Electrical Data

MODEL	TCHD18 S41S3	TCHD24 S41S3	TCHD30 S41S3	TCHD36 S41S3	TCHD48 S41S3	TCHD60 S41S3
Unit Supply Voltage	208-230V, 1ϕ, 60Hz					
Normal Voltage Range <sup>1</sup>	187 to 252					
Minimum Circuit Ampacity	11.8	17.4	17.5	23.1	27.1	34.3
Max. Overcurrent Device Amps <sup>2</sup>	20	30	30	40	45	60
Min. Overcurrent Device Amps <sup>3</sup>	15	20	20	25	30	35
Compressor Amps	Type	Scroll	Scroll	Scroll	Scroll	Scroll
	Rated Load	9.0	13.5	12.8	17.3	20.5
	Locked Rotor	48.0	58.3	64.0	96.7	115.0
Crankcase Heater	Yes	Yes	Yes	Yes	Yes	Yes
Factory External Discharge Muffler	No	No	No	No	No	No
Factory External Check Valve	No	No	No	No	No	No
HS Kit Required with TXV <sup>4</sup>	No	No	No	No	No	No
Fan Diameter Inches	17.5	17.5	23	23	23	23
Fan Motor	Rated HP	1/8	1/8	1/4	1/4	1/4
	Rated Load Amps	0.6	0.6	1.5	1.5	1.5
	Nominal RPM	840	840	850	850	850
	Nominal CFM	1150	1150	3200	3200	3050
Coil	Face Area Sq. Ft.	5.76	5.76	11.96	11.96	13.96
	Rows Deep	1	1	1	1	1
	Fins / Inch	23	23	23	23	23
Refrigerant Lines <sup>5</sup>	Max. Length	200	200	200	200	200
	Max. Lift	65	65	65	65	65
	Max. Drop	150	150	150	150	150
	Liquid Line Set OD (Field Installed)	3/8	3/8	3/8	3/8	3/8
	Vapor Line Set OD (Field Installed)	3/4	3/4	3/4	3/4	7/8
Unit Charge (Lbs. - Oz.) <sup>6</sup>	2 - 10	3 - 5	4 - 0	4 - 8	5 - 5	5 - 6
Charge Per Foot, Oz.	0.62	0.62	0.62	0.62	0.67	0.67
Operating Weight Lbs.	130	135	195	215	240	250

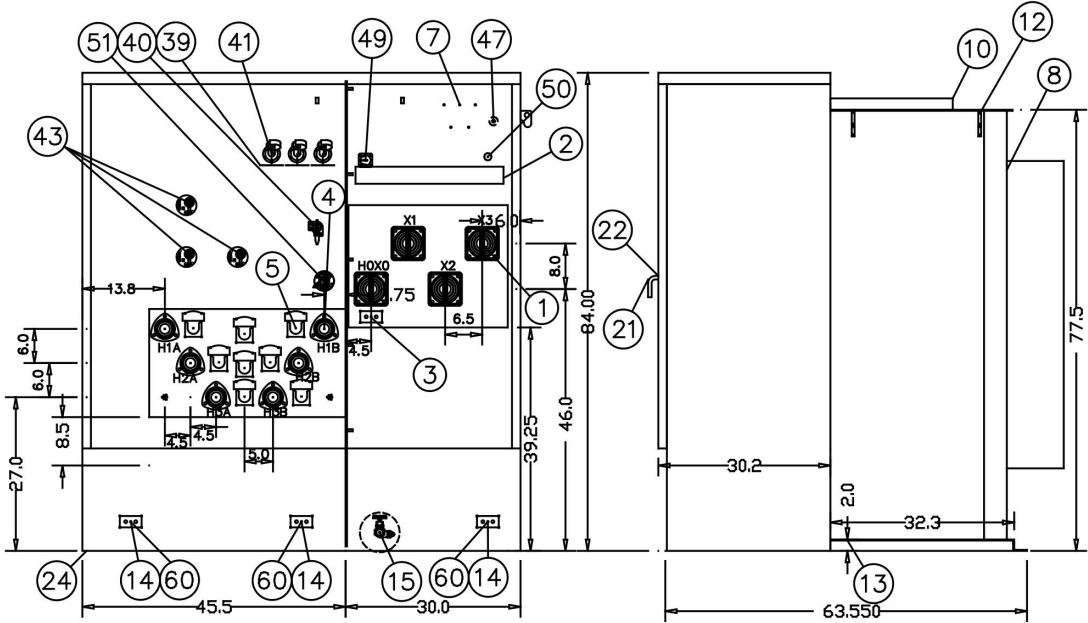
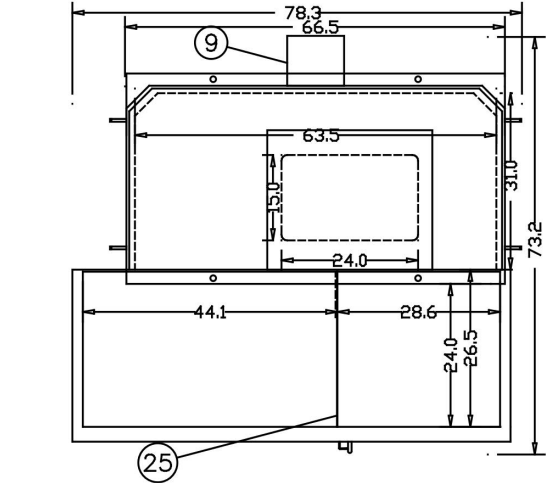
1. Rated in accordance with AHRI Standard 110-2012, utilization range "A".  
2. Dual element fuses or HACR circuit breaker. Maximum allowable overcurrent protection.  
3. Dual element fuses or HACR circuit breaker. Minimum recommended overcurrent protection.  
4. See Hard Start Kit Accessory Installation Manual for Hard Start Kit part number for each model.  
5. When more than 50 feet of interconnecting tubing and more than 30 feet of vertical lift is used, consult the Application Data (part number 247077). For long-line applications, interconnecting lines over 100 feet must be installed with liquid line solenoid.  
6. The Unit Charge is correct for the outdoor unit, smallest matched indoor unit, and 15 feet of refrigerant tubing. For tubing lengths other than 15 feet, add or subtract the amount of refrigerant, using the difference in length multiplied by the per foot value.



Unit Model	Dimensions (Inches)			Refrigerant Connection Service Valve Size	
	A	B	C	Liquid	Vapor
18	25-1/4	17-1/2	37-1/4	3/8	3/4
24	25-1/4	17-1/2	37-1/4		
30	37-1/4	20	45		
36	37-1/4	20	45		
48	43-1/4	20	45		
60	43-1/4	20	48		
					7/8

All dimensions are in inches and are subject to change without notice.  
Overall height is from bottom of mounting feet to top of unit.  
Overall length and width include mounting feet and screw heads.

DESCRIPTION	
1	LV BUSHING W/INT. 10H SPADE
2	LV SPADE SUPPORT
3	2 HOLE HORIZ NEMA GRD PAD
4	HV LB INSERT UNIV. 95 BIL
5	3.95" LOADBREAK PARKING STAND
7	NAMEPLATE ON TANK & DOOR
8	TANK
9	COOLING RADIATORS
10	HANDHOLE & SECURITY COVER
12	LIFTING LUGS
13	JACKING PROVISIONS
14	2 HOLE HORIZ NEMA GRD PAD
15	1 IN DRAIN VALVE AND SAMPLER
21	PADLOCKABLE DOOR HANDLE
22	3 PT LATCH PENTA SEC BOLT
24	18 IN REMOVABLE SILL
25	METAL LV-HV BARRIER
39	CLIP ON DRIP SHIELD
40	S/M SWITCH HANDLE
41	BAYONET FUSE HOLDER (FLAPPER)
43	2 POSITION LOADBREAK SWITCH
47	PRESSURE RELIEF VALVE
49	2" MAGNETIC LL GAUGE
50	OIL LEVEL PLUG
51	TAP CHANGER HANDLE
60	HJ ENT AS-1203-001
SPECIAL NOTES	
A	BAY-O-NET FUSE (4 KV) CPS 4000353C17 140 AMP
B	CURRENT LIMITING FUSE (DUAL) HTDS 332150 8.3 150C
C	BAY-O-NET FUSE (12KV) CPS 4000353C14 65AMP
D	
E	STOCK# 463456
CAT NO	9589435625004
DWG BY	JH
DATE	01/19/16
APP BY	JB
CC	745



DWG NO. 0073085001.679	
HOWARD INDUSTRIES INC.	
LAUREL, MISS. USA 39440	
THREE PHASE PAD DISTRIBUTION TRANSFORMERS	
CUSTOMER : NORTHEAST UTILITIES, CT	
SPEC. T-781	DATED 11/02/15
KVA 750.0 BIL 95 TAPS TS-2 ABOVE 2 BELOW	
HIGH VOLTAGE 4.16GY/2.4X12.47GY/7.20	
LOW VOLTAGE 208Y/120	
APPROX. CORE AND COIL WEIGHT	5319
APPROX. TANK AND ACCESS. WEIGHT	1921
GAL. OF OIL 491, APPROX. WEIGHT	3683
APPROX. TOTAL WEIGHT	10923
REV.	DATE
A	3/27/17
DESCRIPTION	
REMOVED PRD	
BY	APP
JF	

0073085001.679

0.038 9589KF11S,6M, 14,39,N09 ,169, 5, 45 756381, 847579,2, 769,2, 6111 59350654.210

TRANSFORMER

D - Johnson Controls (new)

HDC 1.4

UTILITY AREA - EQUIPMENT CUT SHEETS

60 PENHALLOW STREET at BRICK MARKET  
6/18/2021

JSA

ARCHITECTS  
INTERIORS  
PLANNERS





Previously Approved - Zahner Star Blue -  
Factory Applied Patina

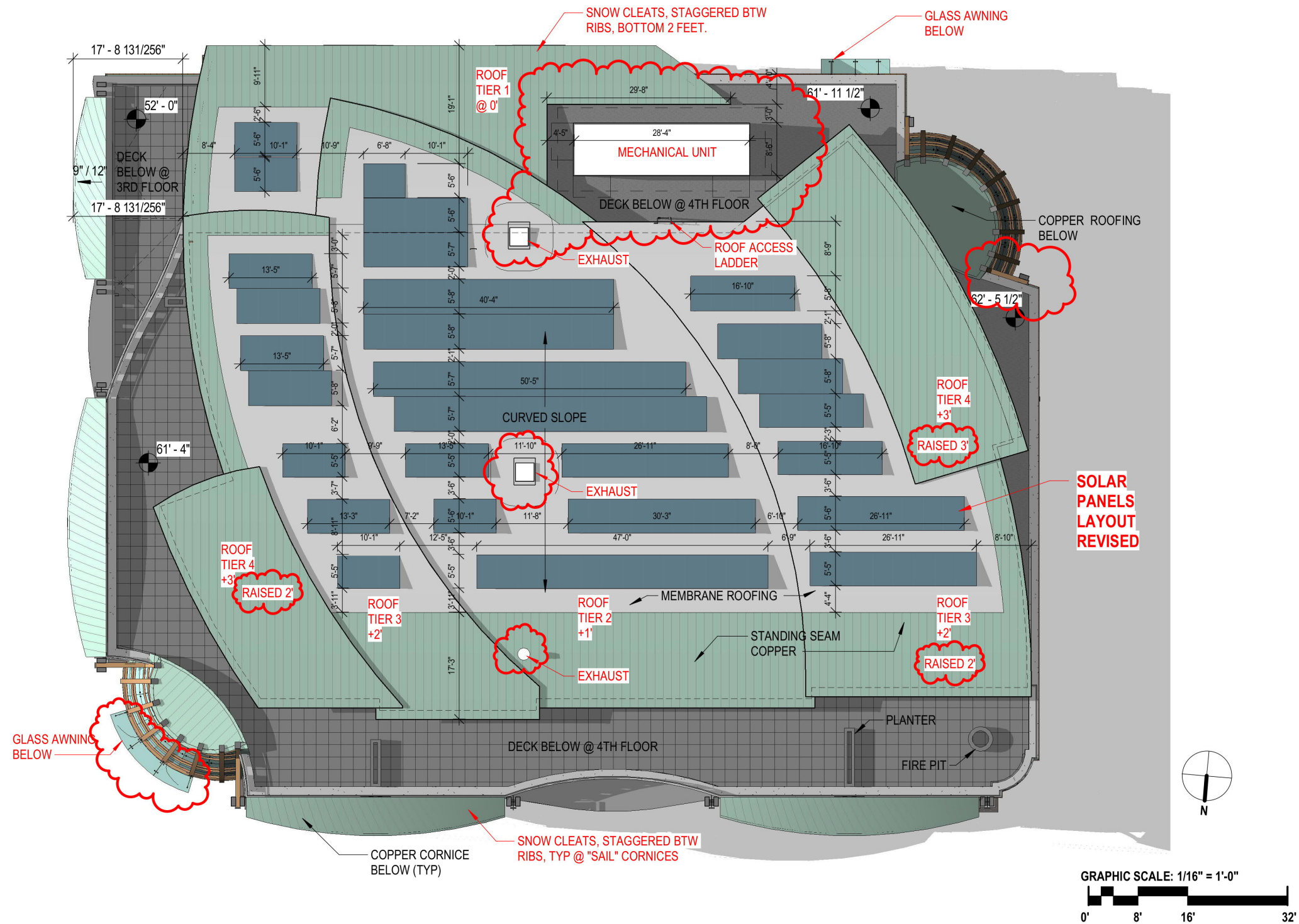
Proposed - Mill finish copper with field  
applied patina



HDC 2.1

**PATINA COPPER**  
60 PENHALLOW STREET at BRICK MARKET  
6/18/2021





**D1.5.R** **ROOF PLAN** PREVIOUSLY APPROVED  
 60 PENHALLOW STREET at BRICK MARKET  
 HDC Revision 1, OCTOBER 2020

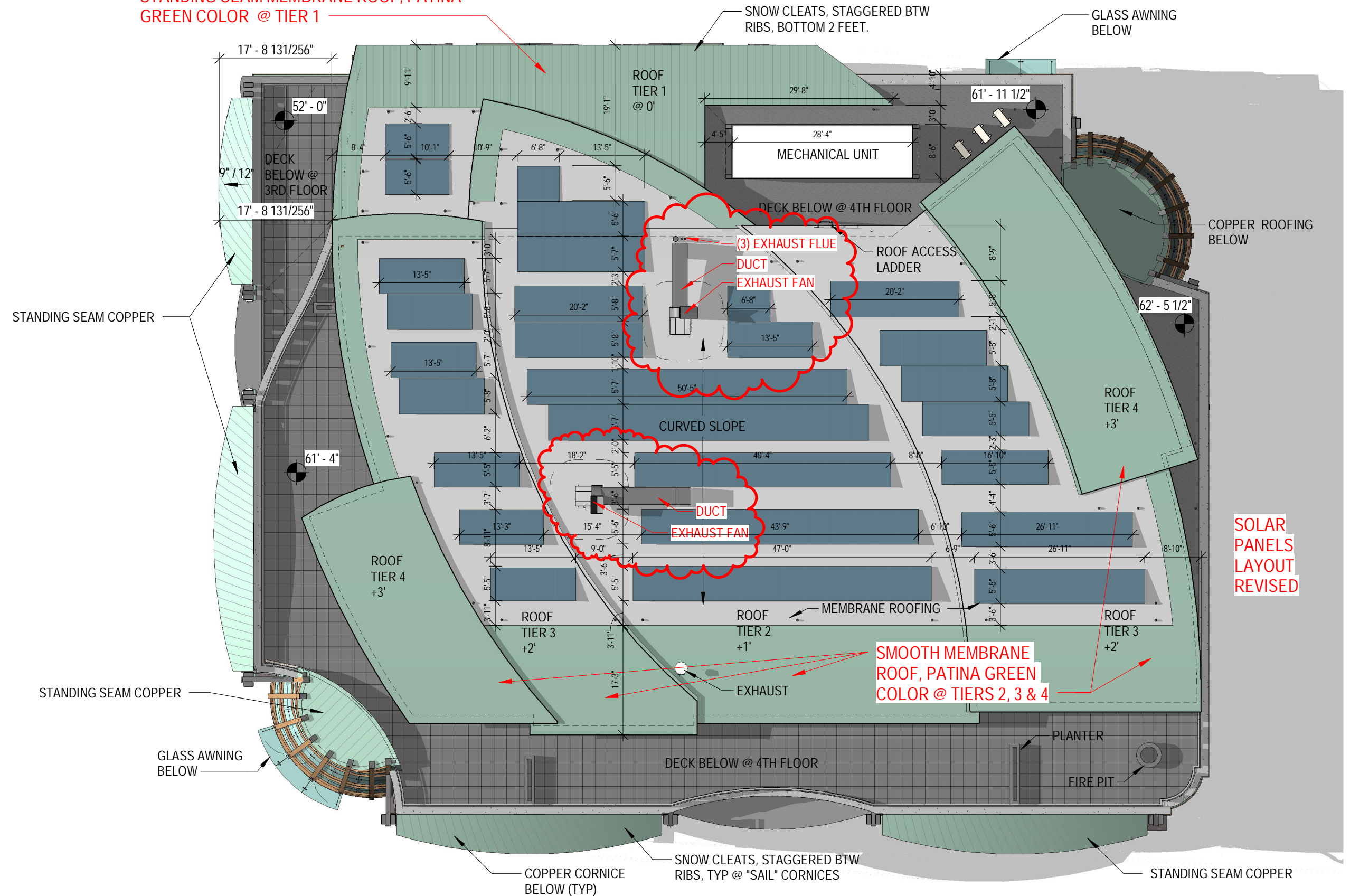


**HDC 3.1** **ROOF PLAN - PREVIOUSLY APPROVED**  
 60 PENHALLOW STREET at BRICK MARKET  
 6/18/2021





STANDING SEAM MEMBRANE ROOF, PATINA  
GREEN COLOR @ TIER 1



HDC 3.2

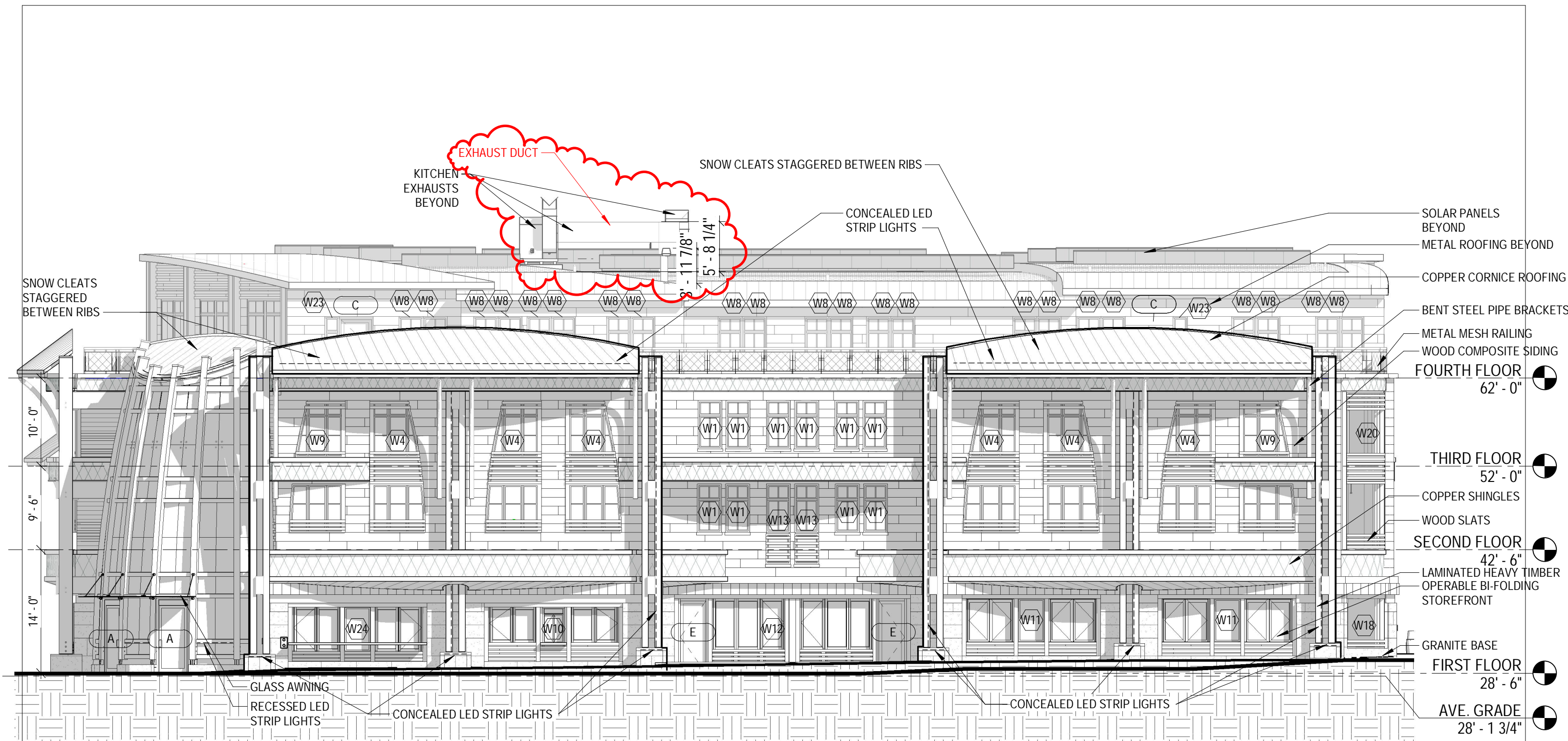
## ROOF PLAN - PROPOSED

60 PENHALLOW STREET at BRICK MARKET  
6/18/2021

**JSA**

ARCHITECTS  
INTERIORS  
PLANNERS





1 NORTH ELEVATION - DANIEL ST  
3/32" = 1'-0"

HDC 3.3

## PROPOSED ELEVATION - DANIEL STREET

60 PENHALLOW STREET at BRICK MARKET  
6/18/2021

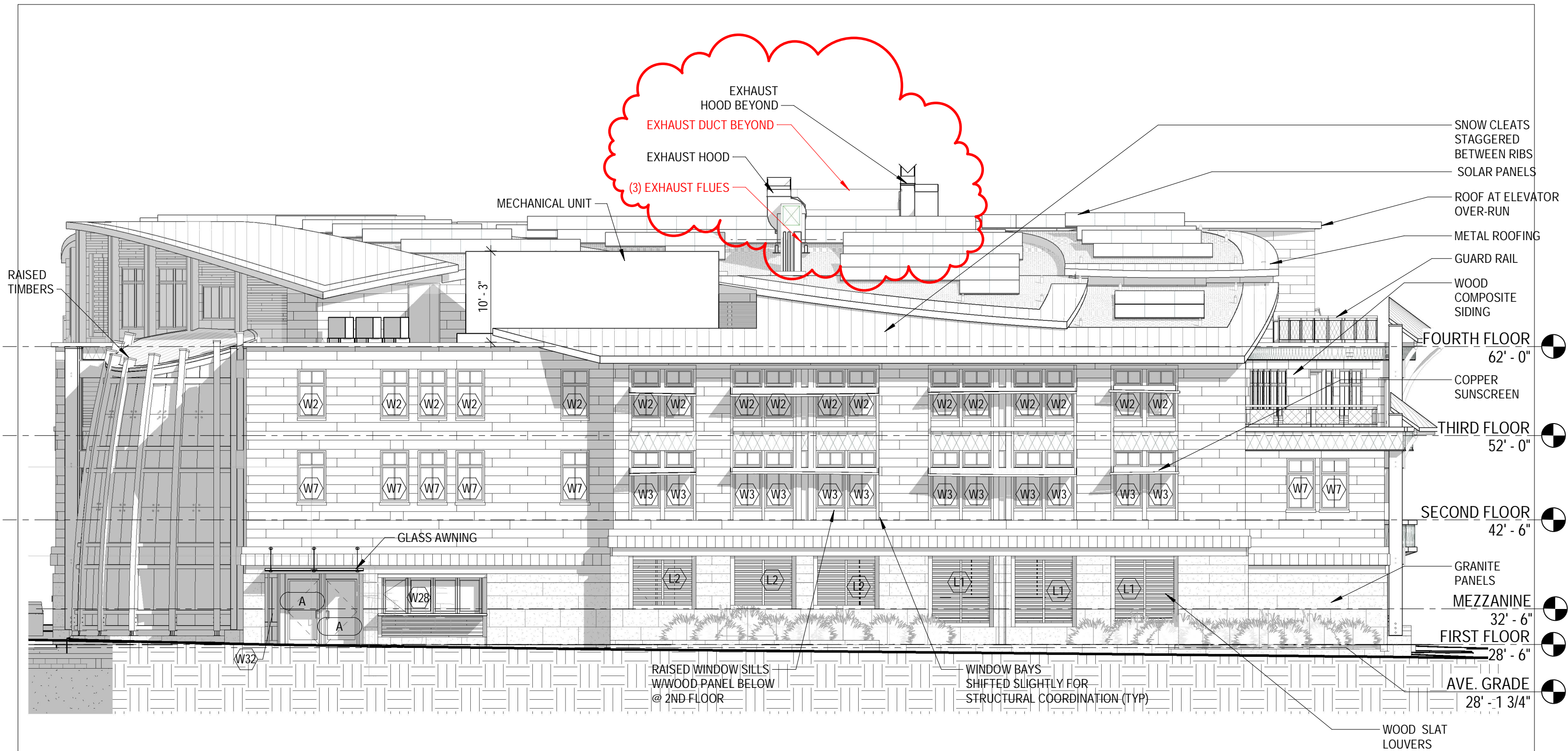


ARCHITECTS  
INTERIORS  
PLANNERS









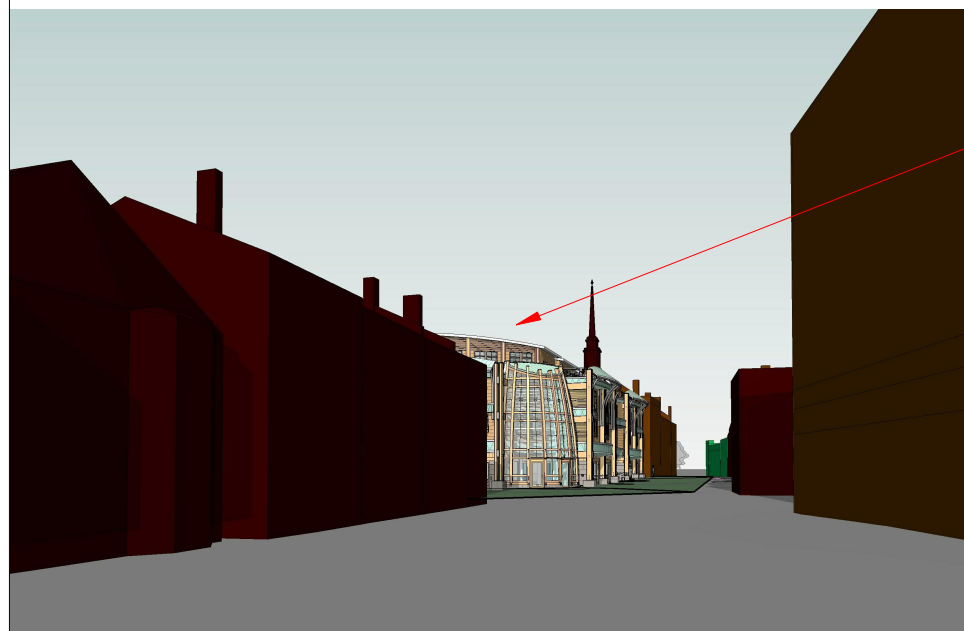
1 SOUTH ELEVATION - ALLEY  
3/32" = 1'-0"

HDC 3.5

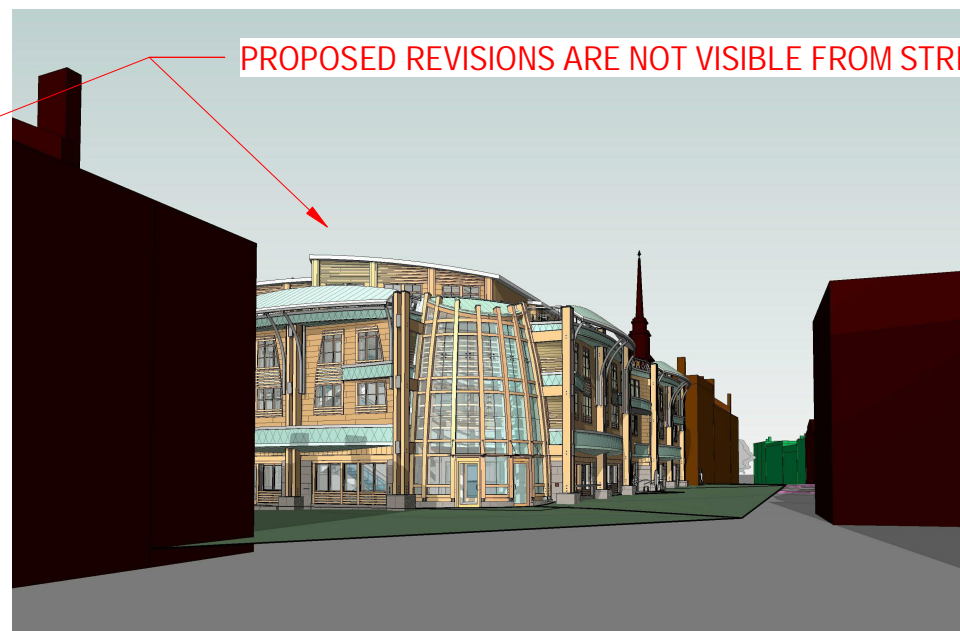
## SOUTH ELEVATION - PROPOSED

60 PENHALLOW STREET at BRICK MARKET  
6/18/2021

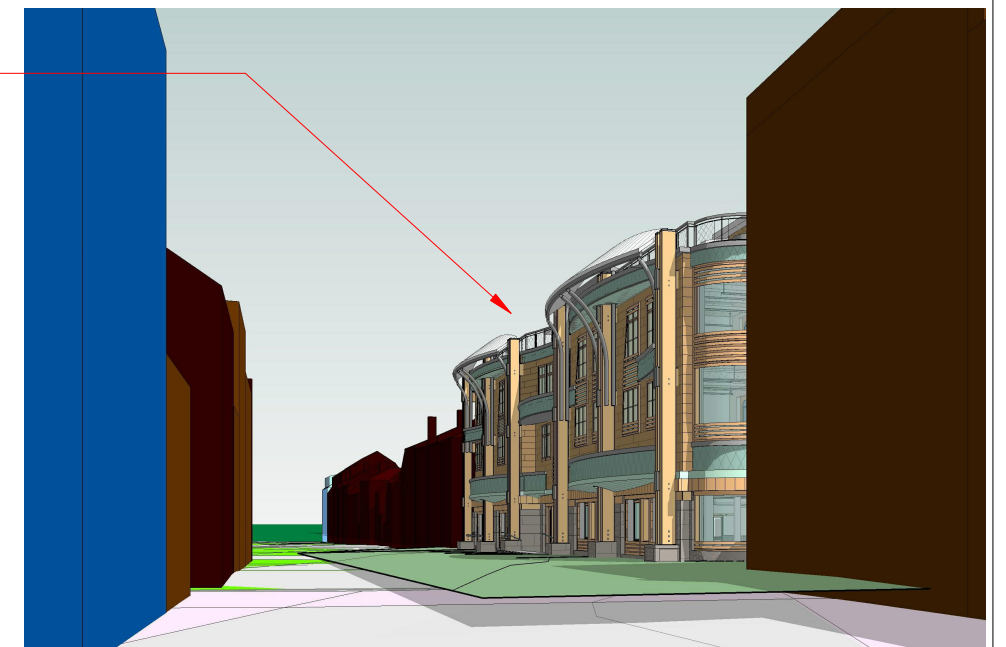




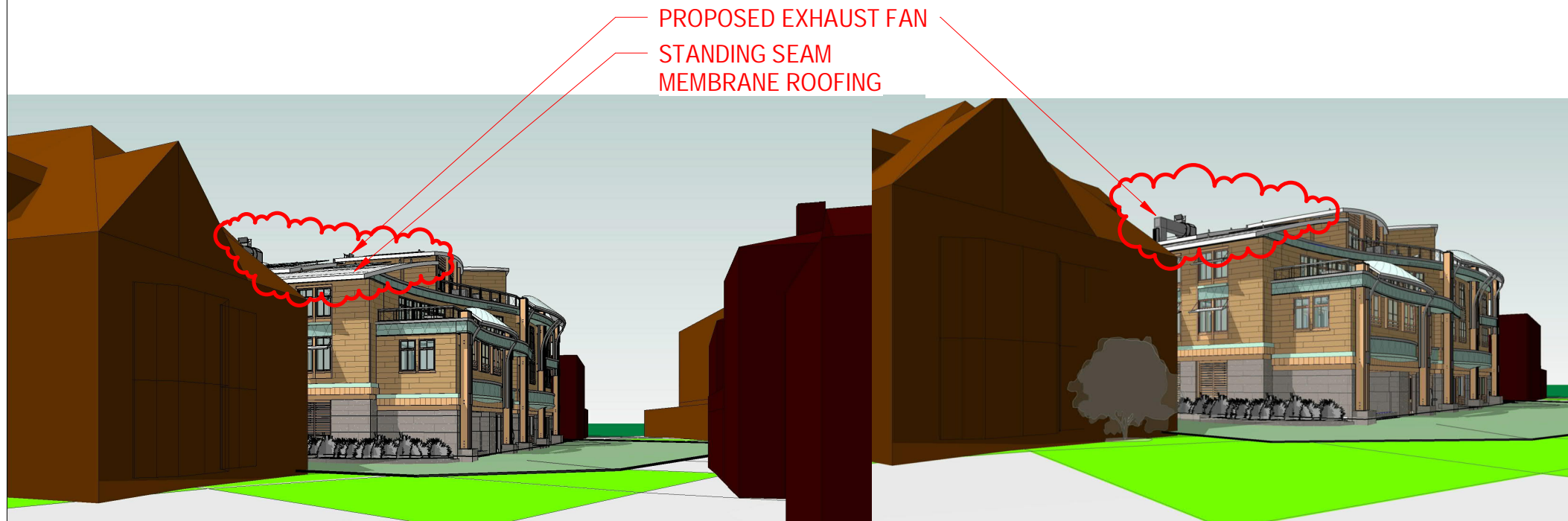
1  
NE DANIEL STREET



2



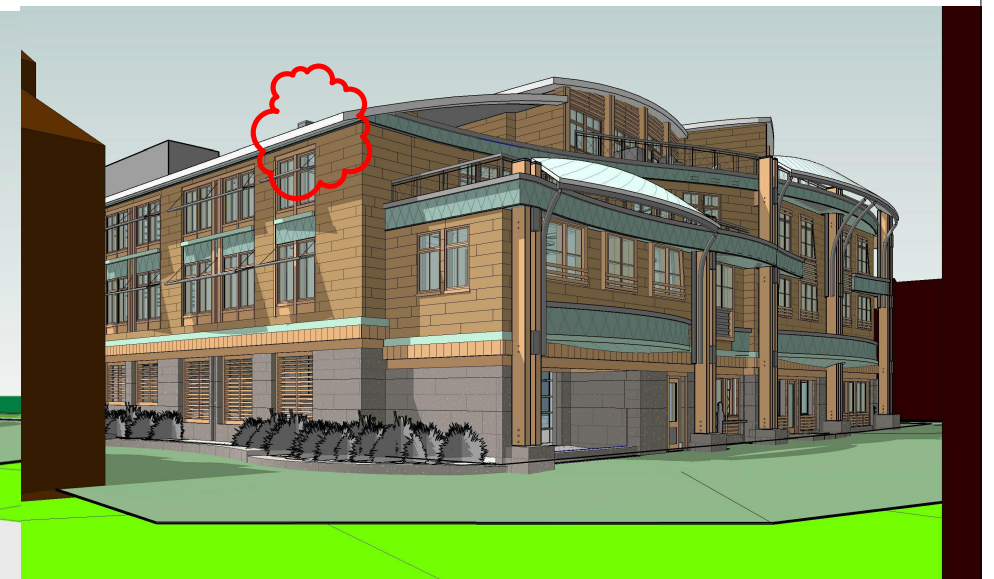
3  
NW DANIEL STREET



4  
60P from State Street at Penhallow HDC



5

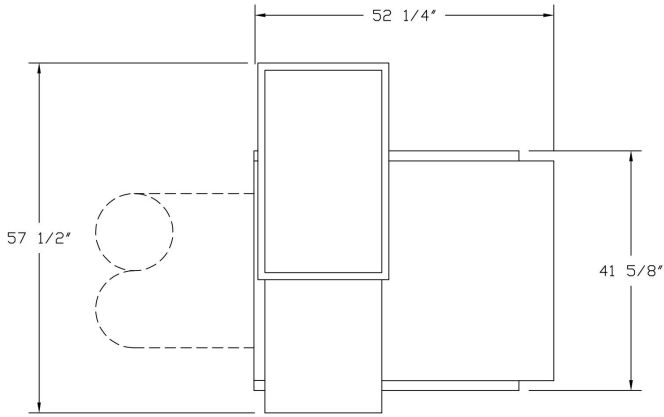


6

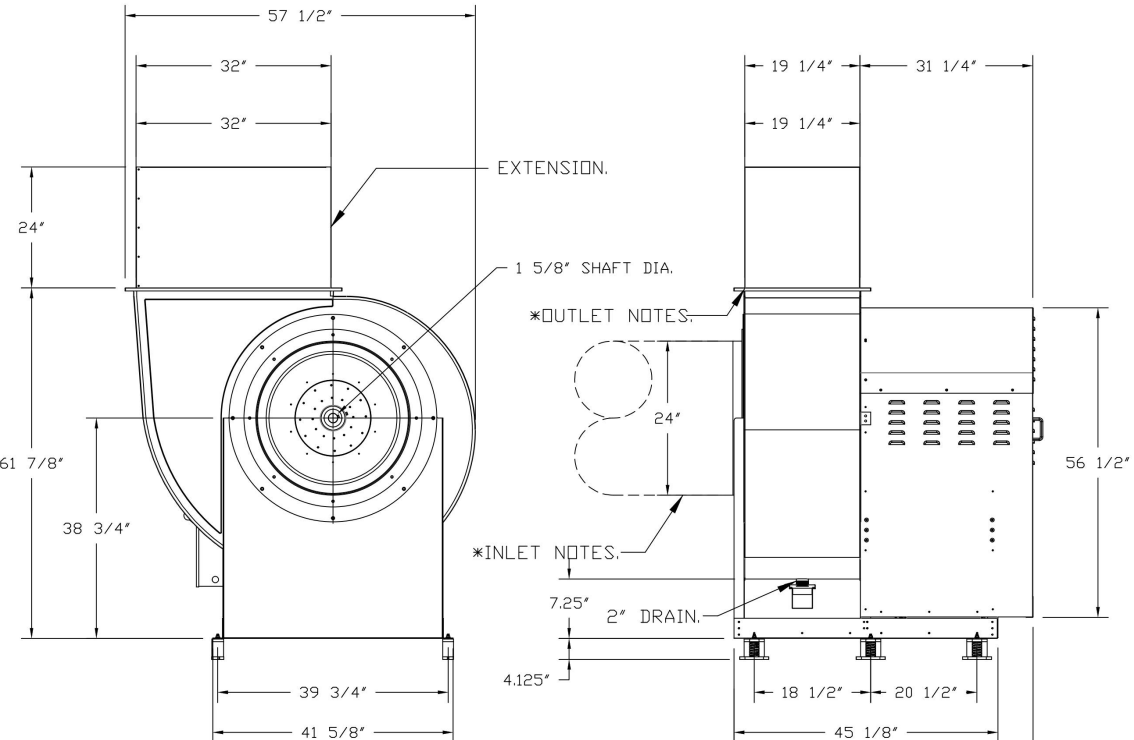
HDC 3.6

PROPOSED PERSPECTIVES  
60 PENHALLOW STREET at BRICK MARKET  
6/18/2021





TOP VIEW



SIDE VIEW

<6> ISOLATORS = USBI18 THRU 36.

FRONT VIEW

ROOFTOP EXHAUST FAN



Décor is available in seven standard colors: White, Tan, Light Gray, Patina Green, Lead Gray, Copper Brown, Evergreen, or a nearly unlimited number of custom colors.

EnergySmart Roof COLORS ON TOP ROW.



PATINA GREEN



Because of printing process variations, colors shown in this brochure may vary slightly from actual membrane colors. Call Sika Corporation–Roofing at (800) 576-2358 to request membrane samples.

SIMULATED STANDING SEAM RIBS



MEMBRANE ROOF WITH SIMULATED STANDING SEAM

SARNAFIL G410 THERMOPLASTIC VINYL MEMBRANE ROOFING

Sarnafil Décor Roof Systems

BECAUSE PERFORMANCE IS MANDATORY

Manufacturing high-quality roofing systems for over 50 years, Sika has more experience than any other North American thermoplastic membrane manufacturer. Our roofs have proved their worth consistently, again and again, regardless of climate.

**Sarnafil MEMBRANE UP CLOSE . . .**  
Décor Roof Systems use Sarnafil G410 thermoplastic vinyl membrane, a time-tested product that has proved its ability to withstand weather extremes in all climates around the world. The membrane has an integral fiberglass reinforcement that provides exceptional dimensional stability and a low coefficient of thermal expansion. A felt backing on the membrane helps to achieve a smooth appearance over common roofing substrates.

G410 membrane is hot-air welded to produce watertight seams that are even stronger than the membrane itself. And, unlike metal roofs, where penetrations and detailing are a common source of leakage, Décor's hot-air welded flashings remain watertight.

**. . . AND OVER THE LONG HAUL.**  
All told, Sika has manufactured billions of square feet of thermoplastic membrane and has more than 50 years of vinyl membrane production experience. And we back up our membrane performance with a choice of warranty durations and types of coverage.

**WE'LL SHOW YOU THE DIFFERENCE. NOW.**  
Let Sika show you how good your building can look with a Décor Roof System. Request your FREE informative Décor Design Guide. Call 1-800-576-2358.

Sarnafil membrane consistently comes out on top in independent testing of roof membrane performance. Décor Roof Systems meet or exceed all relevant standards, including those of ASTM, UL, and Factory Mutual. The finished roof conforms to your design.

Sarnafil MEMBRANES MEET OR EXCEED ALL ASTM D-4434 REQUIREMENTS			
Parameters	ASTM Test Method	Minimum ASTM D-4434 Requirements	Sarnafil G-410 Membrane* *Based on...
Reinforcing material	—	—	Fiberglass
Overall thickness, mil	D751	45	60
Thickness above scrim, mil	—	16	27
Felt Weight oz/yd²	—	—	9
Breaking Strength, lbf/in (N)	D751	55 (245)	80 (356)
Elongation at break, min. Machine direction % Cross direction %	D751	— 250 220	250 220
Seam strength,** Failure occurs min. (% of original)	D751	75	Pass
Retention of properties after heat aging	D3045	—	—
Tensile strength, min. (% of original)	D751	90	Pass
Elongation, min. (% of original)	D751	90	Pass
Tearing resistance, lbf (N)	D1004	10 (45.0)	17.5 (78)
Low temperature bend, -40°F (-40°C)	D2136	Pass	Pass
Accelerated weathering test (Fluorescent light, UV exposure)	G154	5,000 Hours	10,000 Hours
Cracking (7X magnification)	—	None	None
Discoloration (by observation)	—	Negligible	Negligible
Crazing (7X magnification)	—	None	None
Linear dimensional change (CD), %	D1204	0.10% max.	-0.02%
Weight change after immersion in water	D570	±3.0%	1.9%
Static puncture resistance, 33 lbf (15 kg)	D5602	Pass	Pass
Dynamic puncture resistance, 7.3 ft-lbf (10 J)	D5635	Pass	Pass

\* Based on typical membrane properties. Variations in manufacturing may occur.  
\*\* Failure occurs through membrane rupture, not seam failure.

SEAM PROFILE INFORMATION

Appearance / Color	White, Tan, Reflective Gray, <u>Patina Green</u> , Copper Brown, Evergreen, Lead Gray, or Custom
Shelf Life	N/A
Storage Conditions	N/A
Dimensions	Length: 10' (3.04 m) Height: 1" (25 mm) Profile Width: ½" (13 mm) Base Width: 1-3/8" (35 mm) Weight: 1.93 lb (876 g)



## 11. 553 Islington Street

- TBD

**Background:** The applicant is seeking approval for replacement windows to the front of the façade to accommodate for headers and to raise the sills.

**Staff Comment:** TBD

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



**LUHD-356**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 24, 2021**Applicant**

Timothy Brochu  
tim@adraarchitecture.com  
6 School St.  
Kittery, ME 03904  
207-613-7036

**Location**

553 ISLINGTON ST  
Portsmouth, NH 03801

**Owner:**

553-559 ISLINGTON STREET LLC  
553 ISLINGTON ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

The project scope includes comprehensive interior alterations of the existing 6-unit apartment building and a small 2-1/2 story addition at the rear of the building, approved under LU-20-180 & LUHD-240.  
HDC Administrative Approval is requested to replace the existing windows on the front facade with new windows that are smaller in height, in order to add headers and raise the sills to a safer height.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Timothy Brochu

**Business Name (if applicable)**

Adra Architecture LLC

**Mailing Address (Street)**

6 School St.

**City/Town**

Kittery

**State**

ME

**Zip Code**

03904

**Phone**

207-613-7036

**Email Address**

tim@adraarchitecture.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



## Historic District Commission Administrative Approval Application

June 23, 2021

Juliet Walker, Planning Director  
City of Portsmouth  
1 Junkins Avenue  
Portsmouth, NH 03801

### RE: Request for HDC Administrative Approval for 553-559 Islington Street, Tax Map 157 /

#### Lot 3

Dear Ms. Walker,

On behalf of 553 – 559 Islington Street, LLC we hereby submit the attached and enclosed documents for discussion at the July 7 Historic District Commission Hearing.

The project scope includes comprehensive interior alterations of the existing 6-unit apartment building and a small 2-1/2 story addition at the rear of the building, previously approved under LU-20-180 & LUHD-240.

HDC Administrative Approval is requested to replace the existing windows on the front facade with new windows that are smaller in height, in order to add headers and raise the sills to a safer height.

The existing windows at the front façade are off-white vinyl replacement windows with 6-over-6 grilles between the glass. During HDC review, the Commission expressed interest in replacing these windows with black 2-over-2 windows which are believed to be more historically accurate, based on the Italianate style of the building and a few older wood windows that had not been replaced at the back of the building. Black 2-over-2 Andersen 400 Series windows were included in the approved design, in the addition and as a replacement for older windows. However, the Owner had not committed to replacing these front windows at that time and wanted to evaluate the field conditions before deciding whether to replace them as part of this project. With construction underway, the Owner has decided to replace these windows with black 2-over 2 windows and the Contractor has installed them.

During demolition the Contractor discovered that the existing windows do not have structural headers above the openings. The Owner and Contractor were also concerned that the low sill height of the tall existing windows above the floor levels may present an ongoing safety and liability concern, since the Owner intends to continue to own this building as a rental property. Existing window sills at the First Floor were approximately 1'-6 ¾" above the floor, and existing sills at the Second Floor were approximately 10 ¾" above the floor.

The new First Floor windows are 5'-9" high windows installed at a sill height of 2'-0" +/-, replacing 7'-0" high windows at a sill height of 1'-6 ¾" +/-.

The new Second Floor windows are 5'-5" high windows installed at a sill height of 2'-4" +/-, replacing 6'-4" high windows at a sill height of 10 ¾" +/-.

# Historic District Commission Administrative Approval Application

## PHOTOS



Existing Front Facade



New Windows Installed



Existing Front Facade



New Windows Installed



Existing First Floor Window



Existing Second Floor Window



## Historic District Commission Administrative Approval Application



### ATTACHMENTS

The following plans and documents are included in our submission.

#### ARCHITECTURAL DRAWINGS:

- **A231 Façade Elevations and Details** – This indicates the scope of architectural work on the building exterior, and includes measurements of existing architectural features, trim details, and 3D views. Dimensions of existing and installed windows are indicated.

We look forward to the Historic District Commission's review of this submission. If there are any questions or comments please feel free to reach out to me.

Sincerely,



Tim Brochu, Principal and Manager  
Adra Architecture LLC  
NH Licensed Architect



EXISTING SOUTHEAST (FRONT) FACADE:

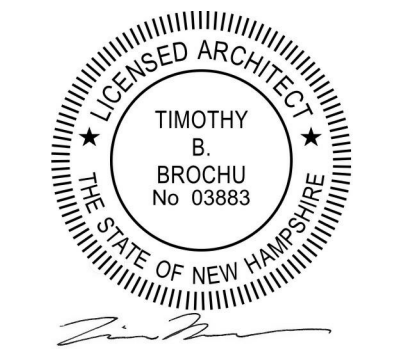


INSTALLED REPLACEMENT WINDOWS:



SOUTHEAST (FRONT) FACADE ELEVATION

- GENERAL NOTES:  
1. VERIFY ALL EXISTING DIMENSIONS IN FIELD  
2. REPLACE ALL SIDING WITH NEW CEDAR CLAPBOARD SIDING - SEE A234



553-559 Islington Street, LLC

553-559  
ISLINGTON STREET  
REDEVELOPMENT

553 Islington Street  
Portsmouth, NH 03801

DATE	REVISION	HDC WINDOW REVISIONS	NO.
6/23/21			2

DATE ISSUED: 11/25/20  
DATE REVISED: 6/23/21  
DRAWN BY: Tim Brochu  
SCALE: As indicated

KEY PLAN



CONSTRUCTION  
DOCUMENTS

SOUTHEAST (FRONT) FACADE  
ELEVATION AND DETAILS

A231



## 12. 49 Hunking Street

## - Recommended Approval

**Background:** The applicant is seeking approval for the installation of street front exterior lighting.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_





07/02/2021

**LUHD-358**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 29, 2021**Applicant**

Stephen Foster  
sfoster@orbispub.com  
1924 47th Street, NW  
Washington, DC 20007  
2023020202

**Location**

49 HUNKING ST  
Portsmouth, NH 03801

**Owner:**

TOBIAS LEAR HOUSE HISTORIC INN LLC  
1924 47TH STREET NW WASHINGTON, DC 20007

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Streetfront Exterior Lighting

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Owner

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Stephen Foster

**Business Name (if applicable)**

--

**Mailing Address (Street)**

1924 47th Street NW

**City/Town**

Washington

**State**

DC

**Zip Code**

20007

**Phone**

2023020202

**Email Address**

sfoster@orbispub.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--











Historic District Commission

City of Portsmouth

June 29, 2021

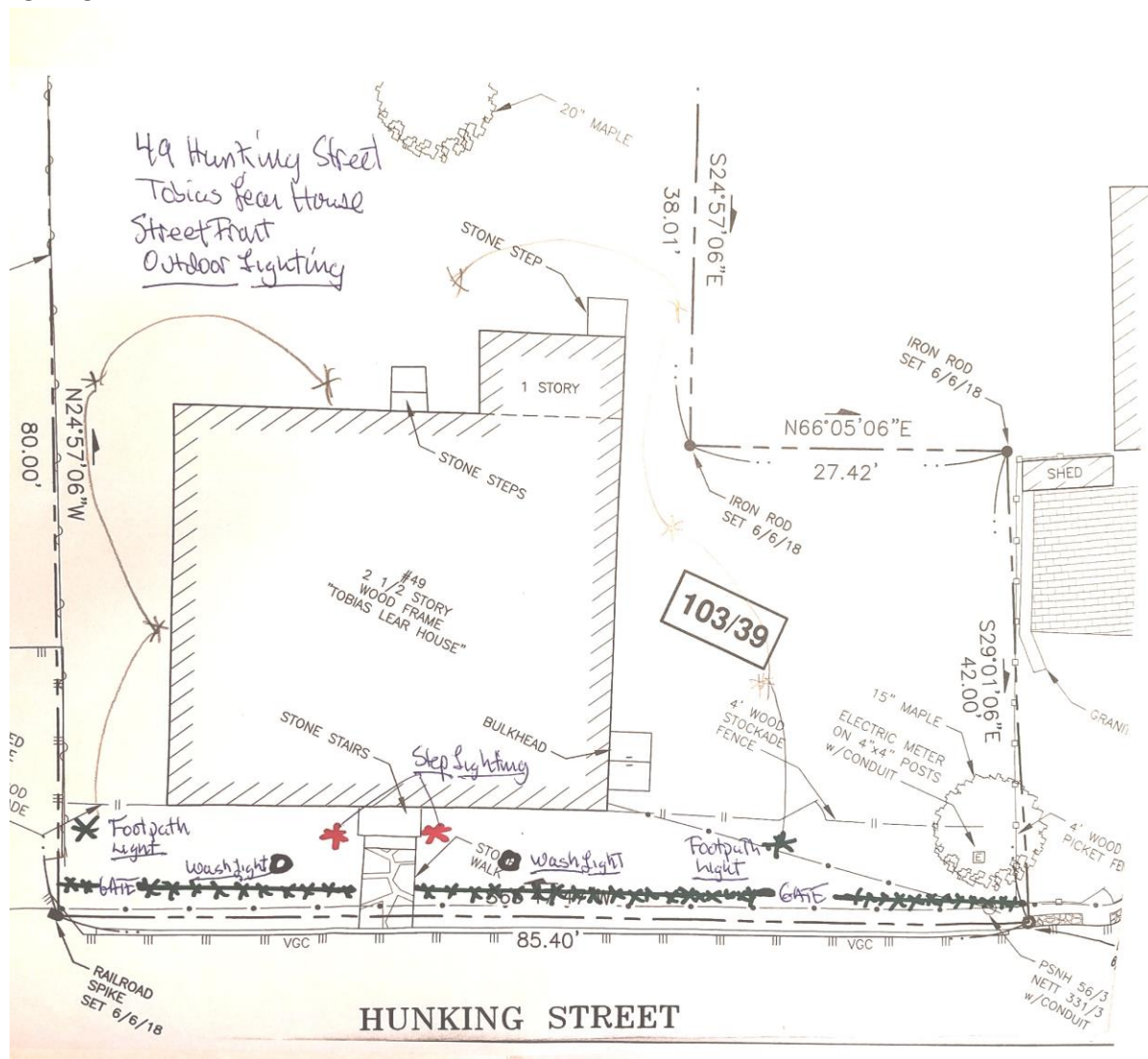
Request for Administrative Approval of Front Exterior Lighting  
49 Hunking Street (Tobias Lear House)



This is an application for approval of exterior lighting for the front of 49 Hunking Street, known as the Tobias Lear House. The proposed lights, all to be in-ground and located inside the streetfront fencing, are:

1. Two 24" footpath lights to be located on either side of the front entrance, to light the front steps. (10" extension stems may be used to increase lighting height.)
2. Two 15" footpath lights to be located along stepping-stone pathways leading from the east and west gates in the street front fencing. (Each of these lights is the first of a series of footpath lights continuing along stone pathways on each side of the house and into the back yard area.)
3. Two wash lights, to be located approximately ten feet, east and west, from the front entrance walkway, to illuminate the front facade of the house.

Below is a sketch of the street front lighting, followed by Images and spec sheets of the lighting fixtures.







**HARDY ISLAND L.G.  
CLASSIC 24" PATH LIGHT**  
HARDY ISLAND LARGE CLASSIC LED PATH LIGHT  
1001986C-LL

Named after the ruggedly beautiful island off the coast of British Columbia, Hardy Island products are impeccably designed to suit the harshest environments. Hardy Path Lights add impeccable style and safety to walkways and outdoor living environments to create sophisticated curb appeal.

**FINISH:** Matte Bronze  
**GLASS:** CHMF  
**WIDTH:** 8"  
**HEIGHT:** 24"  
**DEPTH:** 8"  
**LIGHT SOURCE:** LED Lamp  
**WATTAGE:** 1-150w T3 LED \*Included

**HINKLEY**

**HINKLEY**  
3300 Pin Oak Parkway  
Aurora, IL 60012

**PHONE:** (480) 865-6500  
Toll Free: 1 (800) 448-9539

**hinkley.com**



**HARDY ISLAND 10" STEM**  
STEM MOUNT 10" | 1001986C  
Named after the ruggedly beautiful island off the coast of British Columbia, Hardy Island products are impeccably designed to suit the harshest environments.

**FINISH:** Matte Bronze  
**WIDTH:** 1"  
**HEIGHT:** 10"

**HINKLEY**

**HINKLEY**  
3300 Pin Oak Parkway  
Aurora, IL 60012

**PHONE:** (480) 865-6500  
Toll Free: 1 (800) 448-9539

**hinkley.com**







HARDY ISLAND SM.  
CLASSIC PATH LIGHT

HARDY ISLAND MINI CLASSIC LED PATH LIGHT

100 HINKLEY

Named after the legendary beautiful island off the coast of British Columbia, Hardy Island products are impeccably designed to add the best of nature to your home. Hardy Path Lights add timeless style and safety to walkways and outdoor living environments to create sophisticated curb appeal.

FINISH: Matte Bronze

WIDTH: 5.3"

HEIGHT: 15.0"

DEPTH: 5.3"

LIGHT SOURCE: LED Lamp

WATTAGE: 1-1.50w T3 LED \*Included

HINKLEY

23800 Pike Oak Parkway

Austin, TX 78745

PHONE: (480) 665-6000

Toll Free: 1 (800) 444-9139

hinkley.com

HINKLEY

23800 Pike Oak Parkway

Austin, TX 78745

PHONE: (480) 665-6000

Toll Free: 1 (800) 444-9139

hinkley.com

### Hardy Island Wall Wash Spot Light

By Hinkley

Hardy Island Wall Wash Spot Light  
By Hinkley

#### Details

- Adjustable head with frosted glass lens
- 9" ground spike
- 12" wall arm
- Finish: Matte Bronze
- Material: Solid Cast Brass
- UL Listed Wet
- Made in China

#### Dimensions

Small Option Fixture: Width 4.5", Height 4.5", Depth 2.75", Weight 1.5lbs

#### Lighting

- 3.8 Watt (250 Lumens) 120 Volt Integrated LED, CRI: 90 Color Temp: 2700K

#### Additional Details

Product URL:  
<https://www.lumens.com/hardy-island-wall-wash-spot-light-by-hinkley-us494450.html>  
Rating: UL Listed Wet

Notes:

Product ID: uu494450

Prepared by:

Prepared For:

Project:

Room:

Placement:

Approval:

Created June 29th, 2021



## 13. 124 State Street

- TBD

**Background:** The applicant is seeking approval for the removal of the proposed pergola to the roof deck, to construct side walls to the roof deck, and to fill the basement window wells with granite (to match the foundation).

**Staff Comment:** TBD

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



**LUHD-359**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 29, 2021**Applicant**

Laura Ludes  
ludesl@comcast.net  
PO Box 822  
New Castle, NH 03854  
603-498-4685

**Location**

124 STATE ST  
Portsmouth, NH 03801

**Owner:**

LUDES GREG & LUDES LAURA  
PO BOX 822 NEW CASTLE, NH 03854

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Build roof deck side walls - horizontally vs slope to meet fire code (brick to match existing structure w/blue stone cap). This will also tie in w/roof line above roof deck as well as the neighboring roof line and provide privacy for neighbors.

Eliminate proposed pergola on roof deck.

Fill basement window wells w/granite to match foundation (to help w/water proofing, heat loss and security).

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Other

**If you selected "Other", please state relationship to project.**

Fire Protection Engineer

**Full Name (First and Last)**

Mark Richards

**Business Name (if applicable)**

Nortech Systems

**Mailing Address (Street)**

150 Ham Road

**City/Town**

Barrington

**State**

NH

**Zip Code**

03825

**Phone**

603-664-5050

**Email Address**

mrichards@nortechsystems.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction**

124 State Street

**Roof Deck & Roofline (view from Court St. side of house via neighbor's driveway)**

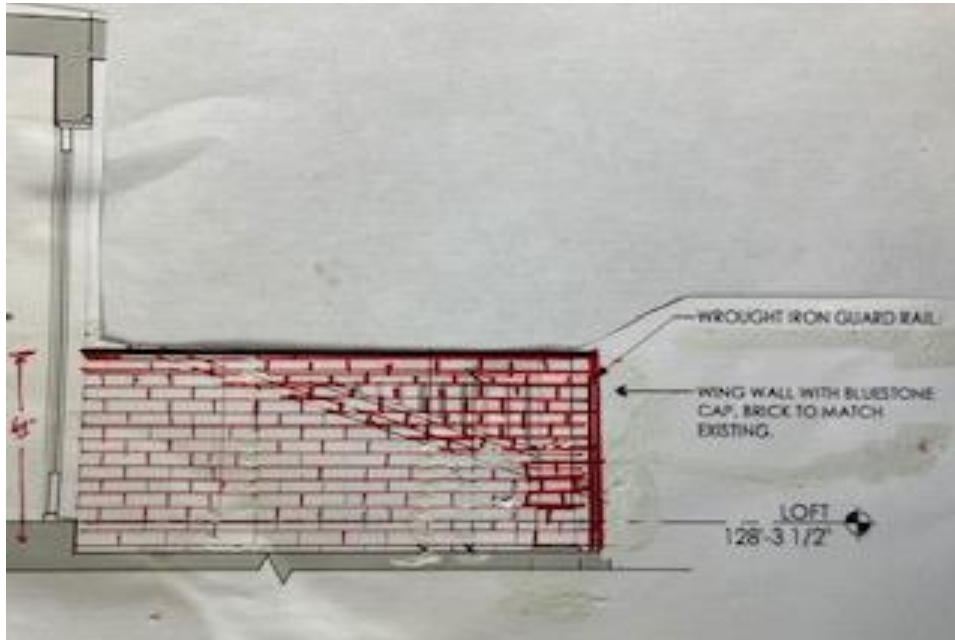


**Salt & Pepper Granite for Window Wells – State Street side of building (original granite needs to be cleaned)**





## 124 State Street – HDC/Admn. Approval



## **Supplemental Information for 124 State Street – from Code Review – Nortech Systems, Mark Richards**

**11.4.2 Per Section 706.6 in IBC-2015, fire walls shall extend from the foundation to a termination point not less than 30 inches above the roofs.**

11.4.2.1 Per Section 706.6, Exception 4, in buildings of Type 3, 4, and 5 construction, walls shall be permitted to terminate at the underside of combustible roof sheathing or decks, provided:

11.4.2.1.1 There are no openings in the roof within 4 feet of the fire wall. 11.4.2.1.2 The roof is covered with a minimum Class B roof covering. 11.4.2.1.3 The roof sheathing or deck is constructed of fire-retardant treated wood for 4 feet on both sides of the wall or the roof is protected with 5/8-inch Type X gypsum board directly beneath the underside of the roof sheathing or deck, supported by not less than 2-inch nominal ledgers attached to the sides of the roof framing members for not less than 4 feet on both sides of the fire wall.

11.4.3 Per Table 706.4 in IBC-2015, the fire walls shall each have a 3-hour fire- resistance rating. This allows adjacent structures to include any occupancy other than high hazard (H-1 and H-2) use groups. 2-hour fire walls would not allow adjacent structures to include most uses, including assemblies, apartments, and businesses.

11.4.3.1 Per Tables 722.4.1(1) and 721.1(2) in IBC-2015, a 3-hour fire rated wall can be constructed of solid brick of clay or shale when the minimum finished thickness face-to-face is 4.9 inches. **Thus, the fire walls shall be extended with at least 2 layers of solid brick.** Consult a historic mason to determine means and methods.



## 14. 290 Pleasant Street, Unit #6 - Recommended Approval

**Background:** The applicant is seeking approval for the installation of mechanical equipment (A/C Condenser).

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-361**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jun 30, 2021**Applicant**

sam ucich  
samucich@gmail.com  
296 Pleasant St  
N/A  
Portsmouth, NH 03801  
1 603 548 3841

**Location**

290 PLEASANT ST Unit 6  
Unit 6  
Portsmouth, NH 03801

**Owner:**

sam ucich  
296 PLEASANT ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

Install Mitsubishi mini-split AC system

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

--

**Planning Staff Comments**

--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

**Owner Addressee Prefix and Last Name**

--

**Owner Organization / Business Name**

--

**Owner Contact Street Address**

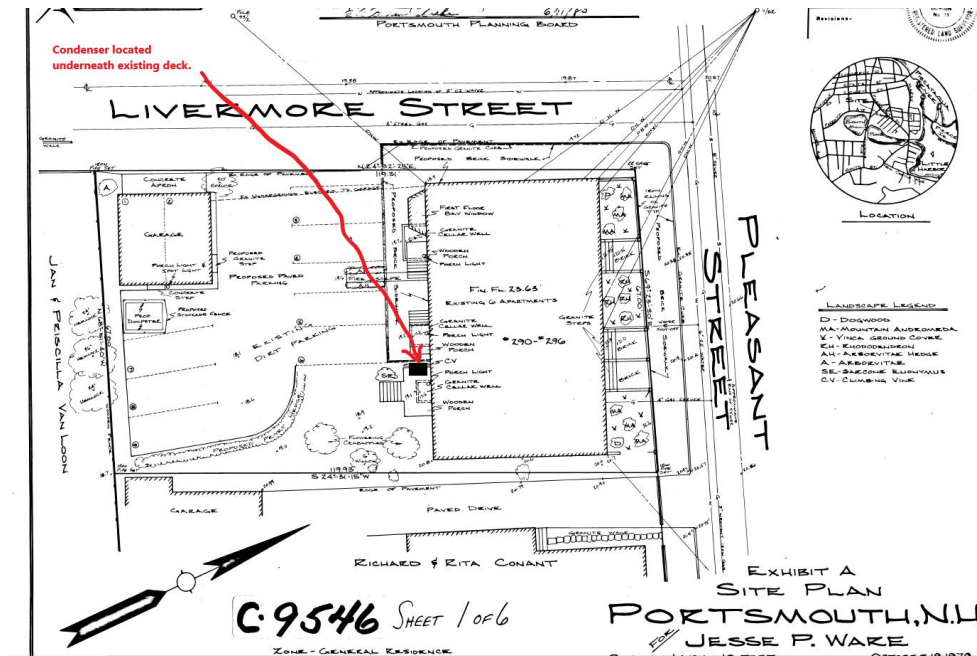
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Proposed location of condenser underneath existing deck.



Site plan with condenser location call-out.



Orange lines shows planned conduit on exterior (rear of) of building.  
Conduit connects to condenser located underneath existing deck.



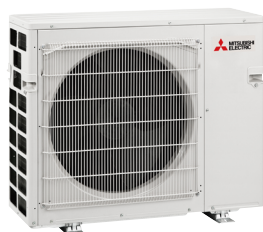
Spec sheet of proposed condenser



Job Name:

System Reference:

Date:



Outdoor Unit: MXZ-4C36NA

**ACCESSORIES**

- ☐ 3/8" x 1/2" Port Adapter (MAC-A454JP)
- ☐ 1/2" x 3/8" Port Adapter (MAC-A455JP)
- ☐ 1/2" x 5/8" Port Adapter (MAC-A456JP)
- ☐ 1/4" x 3/8" Port Adapter (PAC-493PI)
- ☐ 3/8" x 5/8" Port Adapter (PAC-SG76RJ)
- ☐ M-NET Adapter (PAC-IF01MNT-E)
- ☐ Base Heater (PAC-645BH-E)

(For data on specific indoor units, see the MXZ-C Technical and Service Manual.)

Specifications			Model Name
Unit Type			MXZ-4C36NA
Cooling* (Non-ducted / Ducted)	Rated Capacity	Btu/h	35,400 / 34,400
	Capacity Range	Btu/h	12,600-36,400 / 12,600-34,800
	Rated Total Input	W	3,760 / 3,940
Heating at 47°F* (Non-ducted / Ducted)	Rated Capacity	Btu/h	36,000 / 34,400
	Capacity Range	Btu/h	11,400-43,000 / 11,400-41,400
	Rated Total Input	W	3,020 / 3,100
Heating at 17°F* (Non-ducted/Ducted)	Rated Capacity	Btu/h	22,200 / 20,300
	Rated Total Input	W	3,340 / 3,450
Electrical Requirements	Power Supply	Voltage, Phase, Hertz	208 / 230V, 1-Phase, 60 Hz
	Recommended Fuse/Breaker Size	A	25
	MCA	A	22.1
Voltage	Indoor - Outdoor S1-S2	V	AC 208 / 230
	Indoor - Outdoor S2-S3	V	DC ±24
Compressor			INVERTER-driven Scroll Hermetic
Fan Motor (ECM)		F.L.A.	1.9
Sound Pressure Level	Cooling	dB(A)	54
	Heating		56
External Dimensions (H x W x D)		In (mm)	31-11/32 x 37-13/32 x 13 (796 x 950 x 330)
Net Weight		Lbs (kg)	137 (62)
External Finish			Munsell 3.0Y 7.8/1.1
Refrigerant Pipe Size O.D.	Liquid (High Pressure)	In (mm)	1/4 (12.7)
	Gas (Low Pressure)		A: 1/2 (6.35) ; B,C,D: 3/8 (9.52)
Max. Refrigerant Line Length		Ft (m)	230 (70)
Max. Piping Length for Each Indoor Unit		Ft (m)	82 (25)
Max. Refrigerant Pipe Height Difference	If IDU is Above ODU	Ft (m)	49 (15)
	If IDU is Below ODU		49 (15)
Connection Method			Flared/Flared
Refrigerant			R410A

\* Rating Conditions per AHRI Standard:

Cooling | Indoor: 80° F (27° C) DB / 67° F (19° C) WB  
 Cooling | Outdoor: 95° F (35° C) DB / 23.9° C (75° F) WB

Heating at 47°F | Indoor: 70° F (21° C) DB / 60° F (16° C) WB  
 Heating at 47°F | Outdoor: 47° F (8° C) DB / 43° F (6° C) WB

Heating at 17° F | Indoor: 70° F (21° C) DB  
 Heating at 17° F | Outdoor: 17° F (-8° C) DB / 15° F (-9° C) WB

## SPECIFICATIONS: MXZ-4C36NA, contd.

### OPERATING RANGE

	Outdoor
Cooling	14 to 115° F (–10 to 46° C) DB
Heating	5 to 65° F (–15 to 18° C) WB

### ENERGY EFFICIENCIES

Indoor Unit Type	SEER	EER	HSPF	COP @ 47°F	COP @ 17°F
Non-ducted	19.2	9.4	11.0	3.50	2.67
Ducted and Non-ducted	17.6	9.05	10.4	3.38	2.61
Ducted	16.0	8.7	9.8	3.25	2.54

### NOTES:

- Minimum of two Indoor Units must be connected to the MXZ-4C36NA.
- Minimum installed capacity cannot be less than 12,000 Btu/h.
- Total connected capacity must not exceed 130% of outdoor unit capacity.
- System can operate with only one Indoor Unit turned on.
- Information provided at 208/230V.
- For Reference:
  - MXZ-C Technical & Service Manual for detailed specifications and additional information per Indoor Unit Combination.
  - MXZ Series Multi-Zone Indoor/Outdoor Combination Table for allowed unit combinations.

### MVZ CONNECTION RULES:

- Only 1 MVZ may be used on any system.
- When an MVZ is connected, total connected capacity must be 100% or less.
- When an MVZ is connected, no P-Series indoor units can be used (PCA, PLA, or PEAD).

Notes:



# MXZ-4C36NA OPERATIONAL PERFORMANCE

## NON-DUCTED:

# of indoor unit	Total Nominal Capacity (x1000 Btu/h)	Total Indoor Unit Capacity (Btu/h)	Operational Performance for Indoor Unit Combinations (Unit A + Unit B + Unit C + Unit D)	Cooling Capacity Range (Btu/h)			
				Heating Capacity Range (Btu/h)			
				Unit A	Unit B	Unit C	Unit D
1	6	6,000	6	6,000	-	-	-
		7,400		7,400	-	-	-
1	9	9,000	9	9,000	-	-	-
		11,000		11,000	-	-	-
1	12	12,000	12	12,000	-	-	-
		14,400		14,400	-	-	-
1	15	14,000	15	14,000	-	-	-
		18,000		18,000	-	-	-
1	18	17,200	18	17,200	-	-	-
		21,600		21,600	-	-	-
1	24	22,500	24	22,500	-	-	-
		27,600		27,600	-	-	-
2	12	12,000	6 + 6	6,000	6,000	-	-
		14,800		7,400	7,400	-	-
2	15	15,000	6 + 9	6,000	9,000	-	-
		18,400		7,400	11,000	-	-
2	18	18,000	6 + 12	6,000	12,000	-	-
		22,000		7,500	14,500	-	-
2	18	18,000	9 + 9	9,000	9,000	-	-
		22,000		11,000	11,000	-	-
2	21	20,000	6 + 15	6,000	14,000	-	-
		25,400		7,400	18,000	-	-
2	21	20,000	9 + 12	8,600	11,400	-	-
		25,400		11,000	14,400	-	-
2	24	23,000	6 + 18	5,900	17,100	-	-
		28,000		7,100	20,900	-	-
2	24	23,000	9 + 15	9,000	14,000	-	-
		28,000		10,600	17,400	-	-
2	24	23,000	12 + 12	11,500	11,500	-	-
		28,000		14,000	14,000	-	-
2	27	25,800	9 + 18	8,900	16,900	-	-
		28,000		9,400	18,600	-	-
2	27	25,800	12 + 15	11,900	13,900	-	-
		28,000		12,400	15,600	-	-
2	30	28,000	6 + 24	5,900	22,100	-	-
		28,000		5,900	22,100	-	-
2	30	28,000	12 + 18	11,500	16,500	-	-
		28,000		11,200	16,800	-	-
2	30	28,000	15 + 15	14,000	14,000	-	-
		28,000		14,000	14,000	-	-
2	33	28,000	9 + 24	8,000	20,000	-	-
		28,000		8,000	20,000	-	-
2	33	28,000	15 + 18	12,600	15,400	-	-
		28,000		12,700	15,300	-	-
2	36	28,000	12 + 24	9,700	18,300	-	-
		28,000		9,600	18,400	-	-
2	36	28,000	18 + 18	14,000	14,000	-	-
		28,000		14,000	14,000	-	-
3	18	18,000	6 + 6 + 6	6,000	6,000	6,000	-
		22,200		7,400	7,400	7,400	-
3	21	21,000	6 + 6 + 9	6,000	6,000	9,000	-
		25,800		7,400	7,400	11,000	-
3	24	24,000	6 + 6 + 12	6,000	6,000	12,000	-
		29,200		7,400	7,400	14,400	-
3	27	26,000	6 + 6 + 15	6,000	6,000	14,000	-
		32,800		7,400	7,400	18,000	-
3	30	28,400	6 + 6 + 18	5,800	5,800	16,700	-
		32,800		6,700	6,700	19,500	-
3	36	32,000	6 + 6 + 24	5,600	5,600	20,900	-
		32,800		5,700	5,700	21,400	-

# MXZ-4C36NA OPERATIONAL PERFORMANCE, contd.

## NON-DUCTED:

# of indoor unit	Total Nominal Capacity (x1000 Btu/h)	Total Indoor Unit Capacity (Btu/h)	Operational Performance for Indoor Unit Combinations (Unit A + Unit B + Unit C + Unit D)	Cooling Capacity Range (Btu/h)			
				Heating Capacity Range (Btu/h)			
				Unit A	Unit B	Unit C	Unit D
3	24	24,000	6 + 9 + 9	6,000	9,000	9,000	-
		29,200		7,300	10,900	10,900	-
3	27	26,000	6 + 9 + 12	5,800	8,700	11,600	-
		32,800		7,400	11,000	14,400	-
3	30	28,400	6 + 9 + 15	5,900	8,800	13,700	-
		32,800		6,700	9,900	16,200	-
3	33	32,000	6 + 9 + 18	6,000	8,900	17,100	-
		32,800		6,100	9,000	17,700	-
3	39	32,000	6 + 9 + 24	5,100	7,700	19,200	-
		32,800		5,300	7,800	19,700	-
3	30	28,400	6 + 12 + 12	5,700	11,400	11,400	-
		32,800		6,700	13,000	13,000	-
3	33	32,000	6 + 12 + 15	6,000	12,000	14,000	-
		32,800		6,100	11,900	14,800	-
3	36	32,000	6 + 12 + 18	5,500	10,900	15,600	-
		32,800		5,600	10,900	16,300	-
3	42	32,000	6 + 12 + 24	4,700	9,500	17,800	-
		32,800		4,900	9,600	18,300	-
3	36	32,000	6 + 15 + 15	5,600	13,200	13,200	-
		32,800		5,600	13,600	13,600	-
3	39	32,000	6 + 15 + 18	5,200	12,000	14,800	-
		32,800		5,200	12,600	15,100	-
3	42	32,000	6 + 18 + 18	4,800	13,600	13,600	-
		32,800		4,800	14,000	14,000	-
3	27	26,000	9 + 9 + 9	8,700	8,700	8,700	-
		32,800		10,900	10,900	10,900	-
3	30	28,400	9 + 9 + 12	8,500	8,500	11,400	-
		32,800		9,900	9,900	13,000	-
3	33	32,000	9 + 9 + 15	9,000	9,000	14,000	-
		32,800		9,000	9,000	14,800	-
3	36	32,000	9 + 9 + 18	8,200	8,200	15,600	-
		32,800		8,300	8,300	16,200	-
3	42	32,000	9 + 9 + 24	7,100	7,100	17,800	-
		32,800		7,300	7,300	18,300	-
3	33	32,000	9 + 12 + 12	8,700	11,600	11,600	-
		32,800		9,100	11,900	11,900	-
3	36	32,000	9 + 12 + 15	8,200	11,000	12,800	-
		32,800		8,300	10,900	13,600	-
3	39	32,000	9 + 12 + 18	7,500	10,100	14,400	-
		32,800		7,700	10,000	15,100	-
3	39	32,000	9 + 15 + 15	7,800	12,100	12,100	-
		32,800		7,700	12,600	12,600	-
3	42	32,000	9 + 15 + 18	7,200	11,100	13,700	-
		32,800		7,100	11,700	14,000	-
3	36	32,000	12 + 12 + 12	10,700	10,700	10,700	-
		32,800		10,900	10,900	10,900	-
3	39	32,000	12 + 12 + 15	10,100	10,100	11,800	-
		32,800		10,100	10,100	12,600	-
3	42	32,000	12 + 12 + 18	9,300	9,300	13,400	-
		32,800		9,400	9,400	14,100	-
3	42	32,000	12 + 15 + 15	9,600	11,200	11,200	-
		32,800		9,400	11,700	11,700	-
4	24	24,000	6 + 6 + 6 + 6	6,000	6,000	6,000	6,000
		29,600		7,400	7,400	7,400	7,400
4	27	27,000	6 + 6 + 6 + 9	6,000	6,000	6,000	9,000
		33,200		7,400	7,400	7,400	11,000
4	30	30,000	6 + 6 + 6 + 12	6,000	6,000	6,000	12,000
		35,800		7,200	7,200	7,200	14,100
4	33	32,000	6 + 6 + 6 + 15	6,000	6,000	6,000	14,000
		35,800		6,600	6,600	6,600	16,000



# MXZ-4C36NA OPERATIONAL PERFORMANCE, contd.

## NON-DUCTED:

# of indoor unit	Total Nominal Capacity (x1000 Btu/h)	Total Indoor Unit Capacity (Btu/h)	Operational Performance for Indoor Unit Combinations (Unit A + Unit B + Unit C + Unit D)	Cooling Capacity Range (Btu/h)			
				Heating Capacity Range (Btu/h)			
				Unit A	Unit B	Unit C	Unit D
4	36	32,000	6 + 6 + 6 + 18	5,500	5,500	5,500	15,600
		32,800		5,500	5,500	5,500	16,200
4	42	32,000	6 + 6 + 6 + 24	4,700	4,700	4,700	17,800
		32,800		4,900	4,900	4,900	18,200
4	30	30,000	6 + 6 + 9 + 9	6,000	6,000	9,000	9,000
		35,800		7,200	7,200	10,700	10,700
4	33	32,000	6 + 6 + 9 + 12	5,800	5,800	8,700	11,600
		35,800		6,600	6,600	9,800	12,800
4	36	35,400	6 + 6 + 9 + 15	6,100	6,100	9,100	14,200
		36,000		6,100	6,100	9,000	14,800
4	39	36,000	6 + 6 + 9 + 18	5,700	5,700	8,500	16,200
		36,000		5,600	5,600	8,400	16,400
4	36	35,400	6 + 6 + 12 + 12	5,900	5,900	11,800	11,800
		36,000		6,100	6,100	11,900	11,900
4	39	36,000	6 + 6 + 12 + 15	5,700	5,700	11,400	13,300
		36,000		5,600	5,600	11,000	13,700
4	42	36,000	6 + 6 + 12 + 18	5,200	5,200	10,500	15,000
		36,000		5,200	5,200	10,200	15,300
4	42	36,000	6 + 6 + 15 + 15	5,400	5,400	12,600	12,600
		36,000		5,200	5,200	12,800	12,800
4	33	32,000	6 + 9 + 9 + 9	5,800	8,700	8,700	8,700
		35,800		6,600	9,700	9,700	9,700
4	36	35,400	6 + 9 + 9 + 12	5,900	8,900	8,900	11,800
		36,000		6,100	9,000	9,000	11,800
4	39	36,000	6 + 9 + 9 + 15	5,700	8,500	8,500	13,300
		36,000		5,600	8,400	8,400	13,700
4	42	36,000	6 + 9 + 9 + 18	5,200	7,900	7,900	15,000
		36,000		5,200	7,800	7,800	15,200
4	39	36,000	6 + 9 + 12 + 12	5,500	8,300	11,100	11,100
		36,000		5,600	8,400	11,000	11,000
4	42	36,000	6 + 9 + 12 + 15	5,300	7,900	10,500	12,300
		36,000		5,200	7,800	10,200	12,800
4	42	36,000	6 + 12 + 12 + 12	5,100	10,300	10,300	10,300
		36,000		5,300	10,200	10,200	10,200
4	36	35,400	9 + 9 + 9 + 9	8,900	8,900	8,900	8,900
		36,000		9,000	9,000	9,000	9,000
4	39	36,000	9 + 9 + 9 + 12	8,300	8,300	8,300	11,100
		36,000		8,400	8,400	8,400	10,900
4	42	36,000	9 + 9 + 9 + 15	7,900	7,900	7,900	12,300
		36,000		7,800	7,800	7,800	12,700
4	42	36,000	9 + 9 + 12 + 12	7,700	7,700	10,300	10,300
		36,000		7,800	7,800	10,200	10,200

# MXZ-4C36NA OPERATIONAL PERFORMANCE, contd.

## DUCTED:

# of indoor unit	Total Nominal Capacity (x1000 Btu/h)	Total Indoor Unit Capacity (Btu/h)	Operational Performance for Indoor Unit Combinations (Unit A + Unit B + Unit C + Unit D)	Cooling Capacity Range (Btu/h)			
				Heating Capacity Range (Btu/h)			
				Unit A	Unit B	Unit C	Unit D
1	9	9,000	9	9,000	-	-	-
		10,900		10,900	-	-	-
1	12	12,000	12	12,000	-	-	-
		13,600		13,600	-	-	-
1	15	15,000	15	15,000	-	-	-
		18,000		18,000	-	-	-
1	18	17,200	18	17,200	-	-	-
		21,600		21,600	-	-	-
1	24	24,000	24	24,000	-	-	-
		26,000		26,000	-	-	-
2	18	18,000	9 + 9	9,000	9,000	-	-
		21,800		10,900	10,900	-	-
2	21	21,000	9 + 12	9,000	12,000	-	-
		24,500		10,900	13,600	-	-
2	24	24,000	9 + 15	9,000	15,000	-	-
		27,200		10,300	16,900	-	-
2	27	26,200	9 + 18	9,000	17,200	-	-
		28,000		9,400	18,600	-	-
2	33	28,000	9 + 24	7,600	20,400	-	-
		28,000		8,300	19,700	-	-
2	24	24,000	12 + 12	12,000	12,000	-	-
		27,200		13,600	13,600	-	-
2	27	26,200	12 + 15	11,600	14,600	-	-
		28,000		12,100	15,900	-	-
2	30	28,000	12 + 18	11,500	16,500	-	-
		28,000		10,800	17,200	-	-
2	36	28,000	12 + 24	9,300	18,700	-	-
		28,000		9,600	18,400	-	-
2	30	28,000	15 + 15	14,000	14,000	-	-
		28,000		14,000	14,000	-	-
2	33	28,000	15 + 18	13,000	15,000	-	-
		28,000		12,700	15,300	-	-
2	36	28,000	18 + 18	14,000	14,000	-	-
		28,000		14,000	14,000	-	-
3	27	27,000	9 + 9 + 9	9,000	9,000	9,000	-
		32,700		10,900	10,900	10,900	-
3	30	30,000	9 + 9 + 12	9,000	9,000	12,000	-
		32,700		10,100	10,100	12,600	-
3	33	32,000	9 + 9 + 15	8,700	8,700	14,500	-
		32,700		9,000	9,000	14,800	-
3	36	32,000	9 + 9 + 18	8,200	8,200	15,600	-
		32,700		8,200	8,200	16,300	-
3	42	32,000	9 + 9 + 24	6,900	6,900	18,300	-
		32,700		7,500	7,500	17,800	-
3	33	32,000	9 + 12 + 12	8,700	11,600	11,600	-
		32,700		9,400	11,700	11,700	-
3	36	32,000	9 + 12 + 15	8,000	10,700	13,300	-
		32,700		8,400	10,500	13,800	-
3	36	32,000	12 + 12 + 12	10,700	10,700	10,700	-
		32,700		10,900	10,900	10,900	-
3	39	32,000	9 + 12 + 18	7,500	10,100	14,400	-
		32,700		7,700	9,600	15,300	-
3	39	32,000	9 + 15 + 15	7,400	12,300	12,300	-
		32,700		7,600	12,600	12,600	-
3	39	32,000	12 + 12 + 15	9,800	9,800	12,300	-
		32,700		9,800	9,800	13,000	-
3	42	32,000	9 + 15 + 18	7,000	11,700	13,400	-
		32,700		7,100	11,700	14,000	-
3	42	32,000	12 + 12 + 18	9,300	9,300	13,400	-
		32,700		9,100	9,100	14,500	-



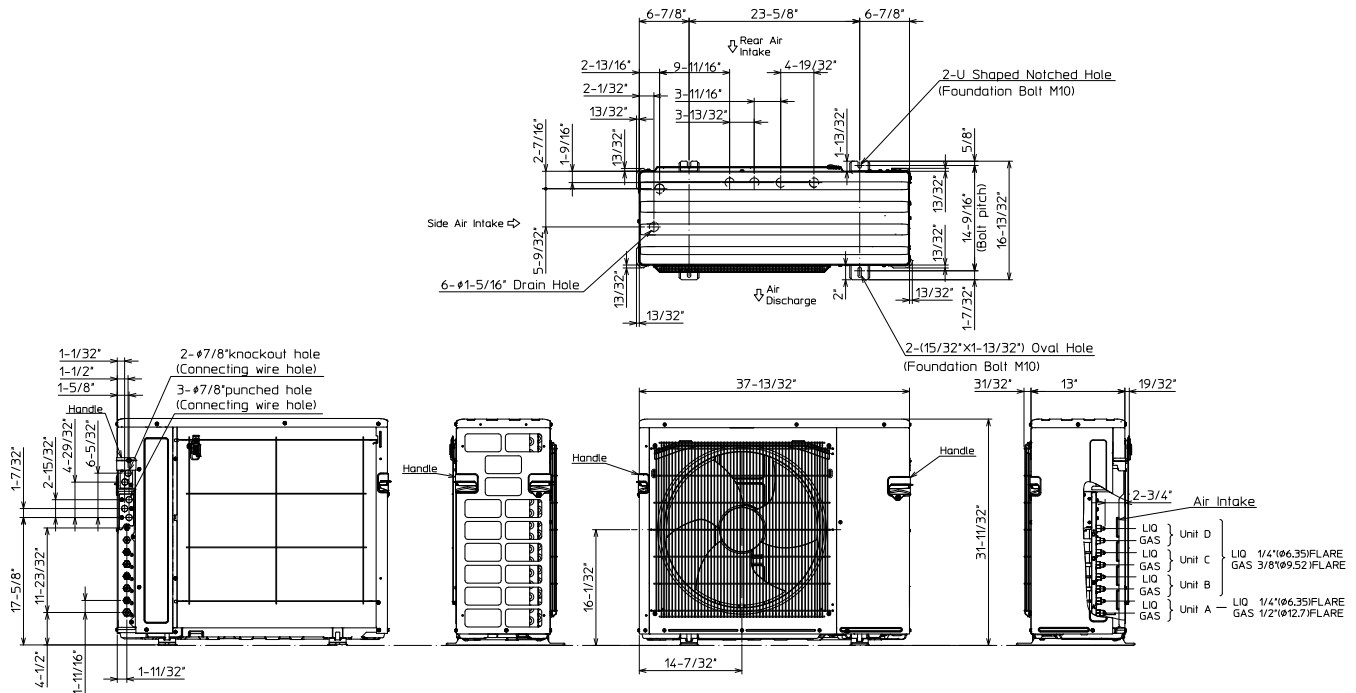
# MXZ-4C36NA OPERATIONAL PERFORMANCE, contd.

## DUCTED:

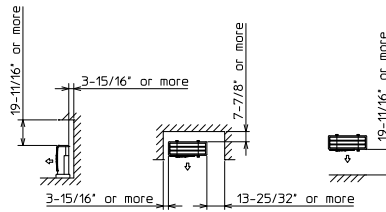
# of indoor unit	Total Nominal Capacity (x1000 Btu/h)	Total Indoor Unit Capacity (Btu/h)	Operational Performance for Indoor Unit Combinations (Unit A + Unit B + Unit C + Unit D)	Cooling Capacity Range (Btu/h)			
				Heating Capacity Range (Btu/h)			
				Unit A	Unit B	Unit C	Unit D
3	42	32,000	12 + 15 + 15	9,100	11,400	11,400	-
		32,700		9,000	11,900	11,900	-
4	36	34,400	9 + 9 + 9 + 9	8,600	8,600	8,600	8,600
		34,400		8,600	8,600	8,600	8,600
4	39	34,800	9 + 9 + 9 + 12	8,000	8,000	8,000	10,700
		34,800		8,200	8,200	8,200	10,200
4	42	35,200	9 + 9 + 9 + 15	7,500	7,500	7,500	12,600
		35,200		7,600	7,600	7,600	12,500
4	42	35,200	9 + 9 + 12 + 12	7,500	7,500	10,100	10,100
		35,200		7,800	7,800	9,800	9,800

# DIMENSIONS: MXZ-4C36NA

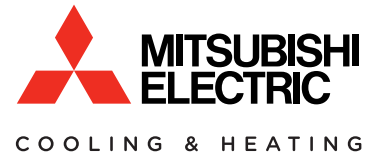
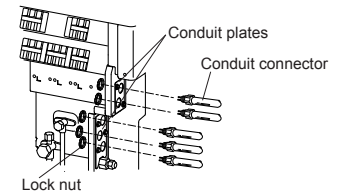
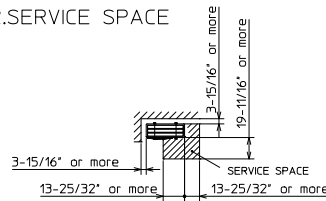
Unit: inch (mm)



## 1.FREE SPACE



## 2.SERVICE SPACE



1340 Satellite Boulevard, Suwanee, GA 30024  
Toll Free: 800-433-4822 www.mehvac.com



## 15. 6 Rock Street, Unit #4 - Recommended Approval

**Background:** The applicant is seeking approval for the replacement of rotted decking with the same size, wooden- mahogany decking.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-363**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Jul 01, 2021**Applicant**

Kathryn Coyle  
polizzotto@gmail.com  
660 Middle Street  
Portsmouth, NH 03801  
617-413-0325

**Location**

6 ROCK ST Unit 4  
Unit 4  
Portsmouth, NH 03801

**Owner:**

COYLE KATE & COYLE KEVIN  
660 MIDDLE ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address (For Planning Department Staff Only)**

--

**Project Information****Brief Description of Proposed Work**

Replace rotted deck in imminent danger of collapse with exact same size wooden deck, built to current building codes.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Owner

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Kevin Coyle

**Business Name (if applicable)**

--

**Mailing Address (Street)**

660 Middle Street

**City/Town**

Portsmouth

**State**

New Hampshire

**Zip Code**

03801

**Phone**

603-234-8654

**Email Address**

kevinlcoyle@gmail.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**



Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

## INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

☐

HDC Approval Date

--

Planning Staff Comments

--

## INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

Owner Organization / Business Name

--

Owner Contact Street Address

--

Owner Address City

--

Owner Address State

--

Owner Address Zip

--

RE: (memo field)

--

Meeting Date

--

Assessor Map and Lot

--

Zoning District Information

--

Decision

--

Stipulations

--

## Attachments



6 Rock Street Deck Reconstruction HDC proposal.pdf

Uploaded by Kathryn Coyle on Jul 01, 2021 7:35 AM

## History

Date	Activity
Jun 30 2021 7:02 pm	Kathryn Coyle started a draft of Record LUHD-363
Jul 01 2021 7:35 am	Kathryn Coyle added attachment 6 Rock Street Deck Reconstruction HDC proposal.pdf to Record LUHD-363
Jul 01 2021 7:36 am	Kathryn Coyle submitted Record LUHD-363
Jul 01 2021 7:36 am	approval step Application Completeness Review was assigned to Izak Gilbo on Record LUHD-363
Jul 01 2021 8:21 am	Izak Gilbo approved approval step Application Completeness Review on Record LUHD-363
Jul 01 2021 8:21 am	approval step Land Use Permit -- Planning Department Review and Fee Calculation was assigned to Izak Gilbo on Record LUHD-363
Jul 01 2021 8:21 am	Izak Gilbo approved approval step Land Use Permit -- Planning Department Review and Fee Calculation on Record LUHD-363
Jul 01 2021 8:21 am	Izak Gilbo assigned approval step HDC Approval Received to Nicholas Cracknell on Record LUHD-363
Jul 01 2021 8:25 am	completed payment step Application Permit Fee on Record LUHD-363

## Timeline

Label	Status	Activated	Completed	Assignee	Due Dat
Application Completeness Review	Complete	7/1/2021 at 7:36 AM	7/1/2021 at 8:21 AM	Izak Gilbo	-
Land Use Permit -- Planning Department Review and Fee Calculation	Complete	7/1/2021 at 8:21 AM	7/1/2021 at 8:21 AM	Izak Gilbo	-

Label		Status	Activated	Completed	Assignee	Due Dat
	Application Permit Fee	Paid	7/1/2021 at 8:21 AM	7/1/2021 at 8:25 AM	-	-
	HDC Approval Received	Active	7/1/2021 at 8:25 AM	-	Nicholas Cracknell	-



## **6 Rock Street Deck Reconstruction**

Submitted by Kevin and Kathryn Coyle, Owners

### **Background**

The property located at 125 Islington Street and 4 and 6 Rock Street has been neglected for the past two decades. This is a four-unit condo association. We, the current owners of 4B and 6 Rock Street acquired the property in December 2020. We've learned that the condo association was virtually defunct. Until December 2019, the condo association did not have a bank account and the attorney, James Ritzo, who created the condo association, completely mismanaged it for well over 15 years.

As a result, we are independently trying to make sure the building is safe and are endeavoring to fix the property in a safe and compliant manner. This request is made on an emergency basis as detailed below. However, it is our objective to restore the building to the grandeur it once had, including replacing the windows and siding. We have had a number of neighbors approach us and thank us for working to fix the property.

The reason for this request is as follows:

On Friday, June 25, 2021, we received an email from our tenant at 6 Rock Street that he was injured when part of the front deck collapsed. *See exhibit 1.* After receiving that email, we contacted the City to make emergency repairs. When we went to fix the stairs, we realized that the deck was not attached to house due to the ledger board being completely rotted away. The existing deck posed an imminent threat of complete collapse. On June 25, 2021, we immediately applied for a permit to replace the deck and removed the existing deck for safety purposes. Upon removal of the deck, we noticed rot on the sill as well. To combat the rot on the sill, we have replaced the sill with pressure treated 2x8" boards. *See exhibit 2.* We also repaired the sheathing adding 3/4" pressure treated plywood. *See exhibit 3.* We also intend to flash the area around the deck with copper flashing.

### **Proposed Work**

We propose replacement in kind of the rotted deck. Specifically, we would propose making the deck 6'x10', using two existing footings and adding one more footing that did not exist. *See exhibit 4 Sketch of proposed deck.* The new deck frame will be constructed out of pressure treated wood.

We would like to use trex decking in the color Sunset Cove. *See exhibit 5.* We propose this material as it looks like real wood, but has longer lasting integrity. We would also use this decking on the 4 stair treads.

We propose replicating the rails that previously existed using 1"x1" square spindles made out of pressure treated wood. *See exhibit 6.* The railings and stair rails will be anchored to 4x4" PT wood posts. The rails will be stained to match the finish trim color on the house.



## Exhibits

Exhibit #1: Condition of pre-existing deck



Exhibit #2: Fixing rot with new sill



Exhibit 3: Replacing sheathing with  $\frac{3}{4}$ " PT plywood





Exhibit #4: Sketch of proposed deck

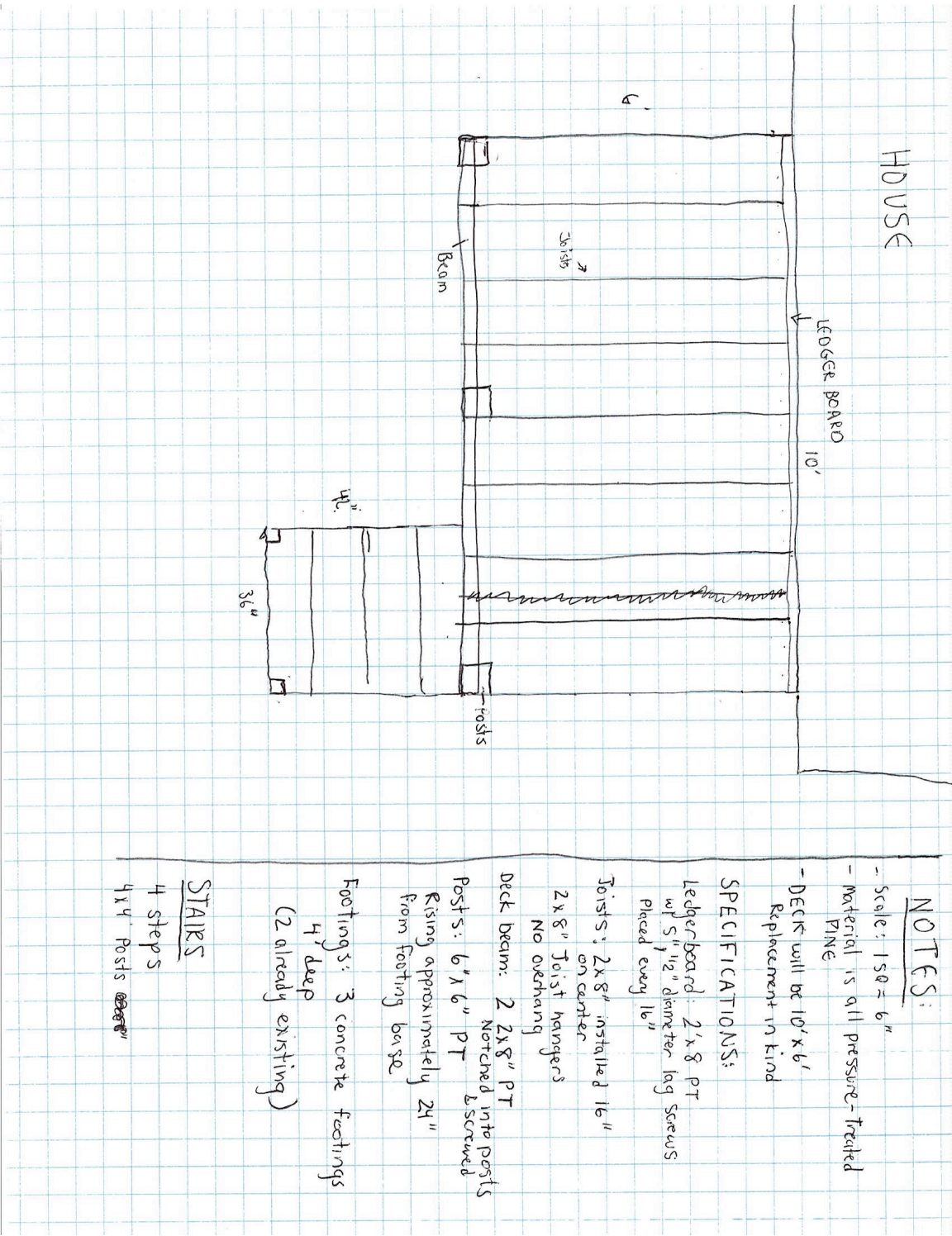


Exhibit #5: Proposed decking material



Exhibit #6: Previous rail system that will be replicated in color, style, and material





# Historic District Commission

## Staff Report – July 7<sup>th</sup> & 14<sup>th</sup>, 2021

### July 7<sup>th</sup> MEETING

#### Administrative Approvals:

- |                                    |                      |
|------------------------------------|----------------------|
| 1. 14 Mechanic Street. (LUHD-338)  | - Recommend Approval |
| 2. 32 Pickering Street. (LUHD-350) | - Recommend Approval |
| 3. 165 Court Street (LUHD-354)     | - Recommend Approval |
| 4. 15 Middle Street (LUHD-353)     | - Recommend Approval |
| 5. 306 South Street (LUHD-352)     | - Recommend Approval |
| 6. 166 New Castle Ave.(LUHD-351)   | - Recommend Approval |
| 7. 24 Middle Street (LUHD-349)     | - Recommend Approval |
| 8. 125 Bow Street (LUHD-360)       | - Recommend Approval |
| 9. 60 Penhallow St. (LUHD-362)     | - Recommend Approval |
| 10. 60 Penhallow St. (LUHD-355)    | - Recommend Approval |
| 11. 553 Islington St. (LUHD-356)   | - Recommend Approval |
| 12. 49 Hunking St. (LUHD-358)      | - Recommend Approval |
| 13. 124 State Street (LUHD-359)    | - Recommend Approval |
| 14. 6 Rock Street (LUHD-363)       | - Recommend Approval |

#### PUBLIC HEARINGS – NEW BUSINESS:

1. 165 Court St. (LU-21-87) (mural signage)
2. 99 Bow St. (LU-21-110) (decks)
3. 12 South St. (LU-21-101) (1 story addition)
4. 150 Daniel St. (LU-21-78) (2 story carriage house)
5. 564 Middle St. (LU-21-123) (3 windows and a door)
6. 50 Mt. Vernon St. (LU-21-84) (garage)
7. 420 Pleasant St. (LU-21-126) (rear addition)
8. 33 Gardner St. (LU-21-135) (chimney)

### July 14<sup>th</sup> MEETING

#### Administrative Approvals:

- Pending review

#### EXTENSION REQUESTS:

1. 19 South St. (LU-20-102) (windows and doors)

#### WORK SESSIONS/ PUBLIC HEARINGS (NEW):

9. 53 Green St. St. (LU-21-55) (5 story building)
10. 10 State St. (LU-21-133) (side entryway)
11. 322 Islington St. (LU-21-355) (carriage house)

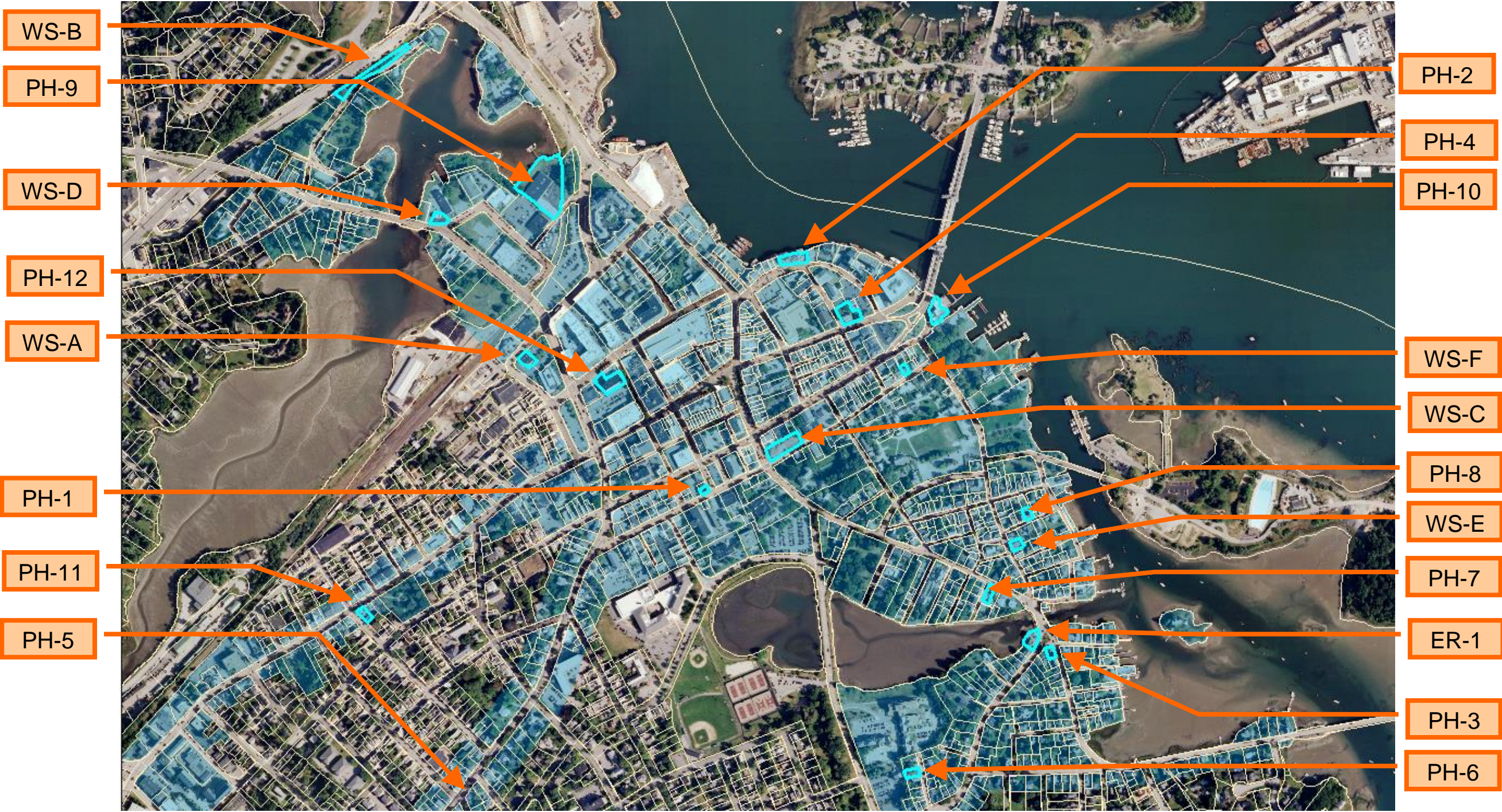
#### PUBLIC HEARINGS – OLD BUSINESS:

12. 64 Vaughan St. (LU-21-214) (3 story building)

#### WORK SESSIONS – OLD BUSINESS:

- A. 238 Deer St. (LUHD-340) (3.5 story building)
- B. 137 Northwest. (LUHD-296) (New house)
- C. 93 Pleasant. (LUHD-324) (3 story addition)
- D. 1 Raynes Ave. (LUHD-234) (2, 5 story buildings)
- E. 279 Marcy St. (LUHD-259) (dormer)
- F. 449 Court St. (LUHD-235) (dormer & deck)





# HISTORIC DISTRICT COMMISSION

MEETING DATE: July 7<sup>th</sup> and 14<sup>th</sup>, 2021  
APPLICATIONS: 33

LOCATOR MAP



# Historic District Commission

Project Evaluation Form: 165 COURT STREET (LU-20-87)  
Permit Requested: CERTIFICATE OF APPROVAL  
Meeting Type: PUBLIC HEARING #1

- A. Property Information - General:**  
**Existing Conditions:**
- Zoning District: CD4-L1
  - Land Use: Commercial
  - Land Area: 1,807 SF +/-
  - Estimated Age of Structure: c.1953
  - Building Style: Modern
  - Number of Stories: 2.0
  - Historical Significance: Non-Contributing
  - Public View of Proposed Work: View from Fleet and Court Streets
  - Unique Features: NA
  - Neighborhood Association: Downtown

**B. Proposed Work:** To modify the storefront system.

- C. Other Permits Required:**
- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

- D. Lot Location:**
- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

- E. Existing Building to be Altered/ Demolished:**
- ☒ Principal
- ☐ Accessory
- ☐ Significant Demolition

- F. Sensitivity of Neighborhood Context:**
- ☐ Highly Sensitive
- ☐ Sensitive
- ☒ Low Sensitivity
- ☐ “Back-of-House”

- G. Design Approach (for Major Projects):**
- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

- H. Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

- I. Neighborhood Context:**
- This non-contributing historic structure is located along the intersection of Fleet and Court Streets and is surrounded with many other brick or wood-sided historic buildings between 2.5-3 stories in height. The building in this neighborhood have little to no front yard setback and shallow side yard setbacks.
- J. Previous HDC Comments and Suggestions:**
- This building was recently renovated with a new awning, signage and lighting.
- K. Staff Comments and Suggestions for Consideration:**
- The proposed improvements include adding new signage and a wall mural along the TD Parking Lot on Court Street.

**Design Guideline Reference – Guidelines for Signs and Awnings (11).**

**L. Proposed Design, 3d Massing View and Aerial View:**



Recently Approved Design and proposed Mural



Aerial View

HISTORIC  
SURVEY  
RATING

NC

165 COURT STREET (LU-20-82) – PUBLIC HEARING #1 (MINOR)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT – ADD NEW SIGNAGE AND WALL MURAL –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37 Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	38 Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 165 COURT ST Case No.:1 Date:7-7-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ With Drawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

99 BOW STREET (LU-21-110)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #2

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD5
  - Land Use: Commercial
  - Land Area: 10,454 SF +/-
  - Estimated Age of Structure: 2010
  - Building Style: Federal Revival
  - Number of Stories: 4.5
  - Historical Significance: NA
  - Public View of Proposed Work: View from Bow Street
  - Unique Features: Recent Infill Building
  - Neighborhood Association: Downtown

B. Proposed Work: To add a new deck and dock structure.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☐ Principal
- ☒ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☐ Sensitive
- ☒ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Bow Street and is surrounded with many existing historic brick buildings ranging from 3 to 4.5 stories in height. The neighborhood is predominantly made up of brick structures on shallow lots with no setback from the sidewalk.

J. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

- Increase the size of the deck;
- Add a new deck on the west end for public use;
- Add two murals to the deck areas; and
- Install planter boxes.

Design Guideline Reference – Guidelines for Site Elements and Streetscapes(10) and Signs & Awnings (11).

K. Aerial Image, Street View and Zoning Map:



Aerial and Waterside Image



Zoning Map

HISTORIC  
SURVEY  
RATING

-

99 BOW STREET – PUBLIC HEARING #2 (MODERATE PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MODERATE PROJECT - ADD NEW DECK AND DOCK STRUCTURE ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37 Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38 Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 99 BOW STREET Case No.: 2 Date: 7-7-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied  
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

12 SOUTH STREET (LU-21-101)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #3

A. Property Information - General:

- Existing Conditions:
- Zoning District: CD4-L1
  - Land Use: Commercial
  - Land Area: 25,969 SF +/-
  - Estimated Age of Structure: c.1880
  - Building Style: Italianate
  - Number of Stories: 3.0
  - Historical Significance: Focal
  - Public View of Proposed Work: View from Court and Church Streets
  - Unique Features: Landmark Building
  - Neighborhood Association: Downtown

B. Proposed Work: To add a single-story rear addition.

C. Other Permits Required:

- ☒ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The property is located along the intersection of Salter and Marcy Streets. It is surrounded with many 2.5 - 3 story historic structures with shallow front yard setbacks and small landscaped side yards.

J. Staff Comments and/ or Suggestions for Consideration:

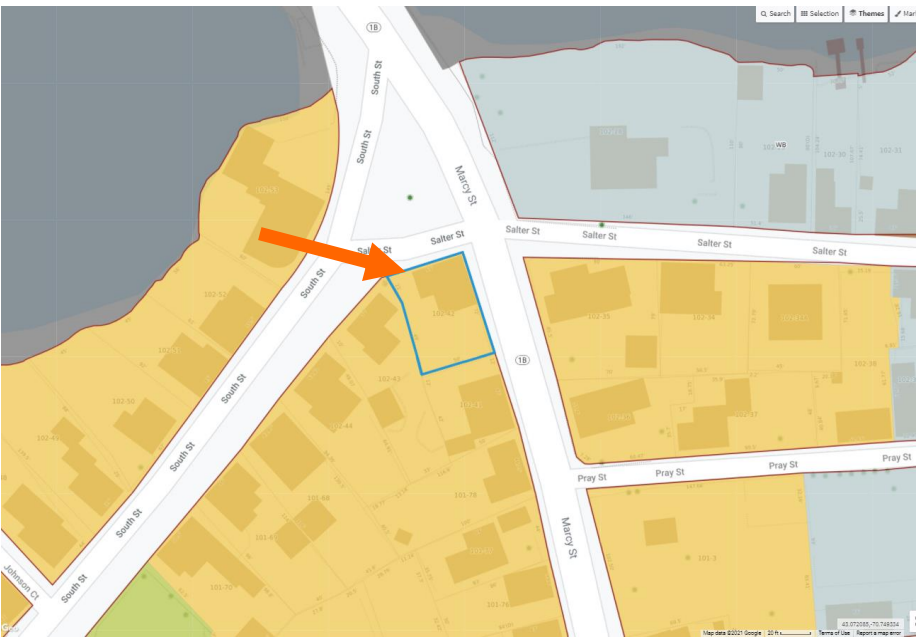
- This application proposes to:
- Add a 16x20 rear single-story addition.
  - Note that a variance was approved for the building coverage and setbacks.

Design Guideline Reference – Guidelines for Windows and Doors (08) and Small Scale Construction & Additions (10).

K. Aerial Image, Street View and Zoning Map:




Elevations and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING

C

12 SOUTH STREET (LU-21-101) – PUBLIC HEARING #3 (MINOR)										
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY:110 COURT STREET Case No.:3 Date: 7-7-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>		
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)		<div>MINOR PROJECT</div> <div>– ADD A 1-STORY REAR ADDITION –</div>						
	2	Floor Area Ratio (GFA/ Lot Area)								
	3	Building Height / Street-Width Ratio								
	4	Building Height – Zoning (Feet)								
	5	Building Height – Street Wall / Cornice (Feet)								
	6	Number of Stories								
7	Building Coverage (% Building on the Lot)									
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS				
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		SITE DESIGN	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

150 DANIEL STREET (LU-21-78)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #4

A. Property Information - General:

- Existing Conditions:
- Zoning District: Civic
  - Land Use: Museum
  - Land Area: 12,632 SF +/-
  - Estimated Age of Structure: c.1716
  - Building Style: Early Georgian
  - Number of Stories: 1.5
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Chapel Street
  - Unique Features: Reconstruction Project
  - Neighborhood Association: Downtown

B. Proposed Work: To reconstruct a two-story carriage house.

C. Other Permits Required:

- ☒ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☐ Principal
- ☒ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☒ Highly Sensitive
- ☐ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- The Warner house is a historically-significant and focal building located along Daniel Street. The property is surrounded with many historically significant structures and most no or very shallow setbacks along the street and narrow side yards.

J. Staff Comments and/ or Suggestions for Consideration:

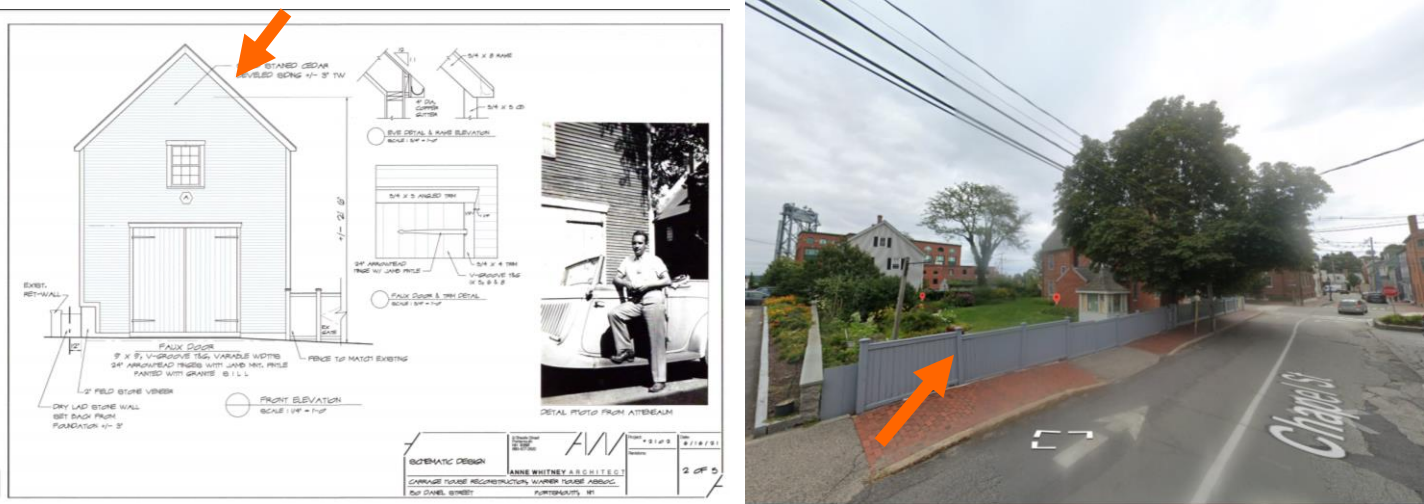
The Applicant is proposing to:

- Reconstruct a two-story carriage house structure on the property.
- The carriage house is proposed to be 18' x 32'.
- The first floor is proposed to be used as a meeting room for the museum and the upper floor will be used as a curatorial workroom and storage.

Note that a variance was granted for the placement of the carriage house within the setbacks.

Design Guideline Reference – Guidelines for Roofing (04), Exterior Woodwork (05) and Windows and Doors (08)

K. Aerial Image, Street View and Zoning Map:



Elevation and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
C

150 DANIEL STREET (LU-21-78) – PUBLIC HEARING #4 (MODERATE)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT - Reconstruct of a Two-Story Carriage House Structure -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width (ROW) Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37		Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:150 DANIEL STREET Case No.: 4 Date: 7-7-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

**Project Address:** 564 MIDDLE STREET (LU-21-123)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** PUBLIC HEARING #5

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: MRO
  - Land Use: Two-Family
  - Land Area: 11,761 SF +/-
  - Estimated Age of Structure: c. 1875
  - Building Style: Greek Revival
  - Historical Significance: C
  - Public View of Proposed Work: Limited View from Middle Street
  - Unique Features: NA
  - Neighborhood Association: Wibird

**B. Proposed Work:** Replace 3 windows and add new windows and doors.

**C. Other Permits Required:**

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council
- ☐ Condo Association
- ☐ Abutting Property Owner

**D. Lot Location:**

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

**F. Sensitivity of Context:**

- ☒ Highly Sensitive
- ☐ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- The structure is located along Middle Street and is surrounded with many historically-significant 2.5-3 story structures.

**J. Staff Comments and/ or Suggestions for Consideration:**

- The Application is proposing to:
- Replace 3 existing windows; and
  - Add new side and rear windows and doors.

- **Design Guideline Reference: *Guidelines for Exterior Woodwork (05), and Windows and Doors (08).***

**K. Aerial Image, Street View and Zoning Map:**

Proposed modifications

East corner of house

West corner of house

Site plan

Proposed First Floor Plan

Durkin Residence - First Floor Construction Plan (proposed)

PORT CITY DESIGN

architectural drawing

564 MIDDLE STREET

Providence, RI 02903

Consultants

Client - Project:

DURKIN RESIDENCE

Open Planning & Reconnection

166 Middle St., Providence, RI 02903

Notes

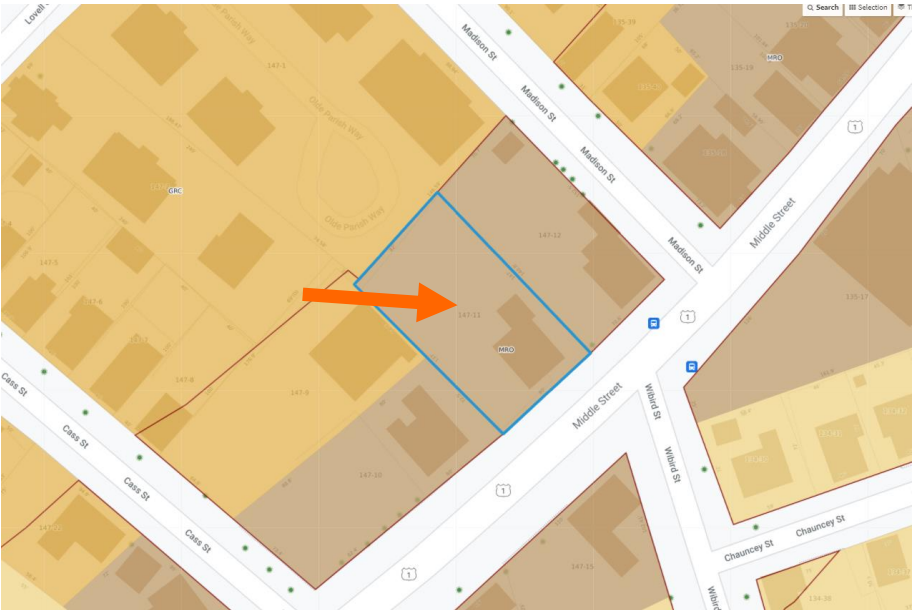
08/14/21

A1

First Floor Construction Plan (proposed)

Providence, RI 02903

Site Plans and Street View Image



Zoning Map

**HISTORIC  
SURVEY  
RATING**

**NA**

564 MIDDLE STREET (LU-21-123) – PUBLIC HEARING #5 (MINOR)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>– REPLACE AND ADD REAR AND SIDE WINDOWS &amp; DOORS –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
6	Number of Stories					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	38 Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 564 Middle St. Case No.: 5 Date: 7-7-21

Decision: ☐ Approved ☐ Continued ☐ Approved with Stipulations ☐ Postponed ☐ Denied ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

50 MT. VERNON ST (LU-21-84)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #6

Existing Conditions:

- Zoning District: GRB
- Land Use: Single-Family
- Land Area: 4,350 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Greek Revival
- Historical Significance: C
- Public View of Proposed Work: View from Mt. Vernon Street.
- Unique Features: Accessory Structure
- Neighborhood Association: South End

B. Proposed Work: To make façade improvements to the storefront and add a penthouse.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☐ Principal
- ☒ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Mount Vernon Street and is surrounded with many 1.5 - 2-5 story historic structures with small lots and shallow setbacks from the sidewalk.

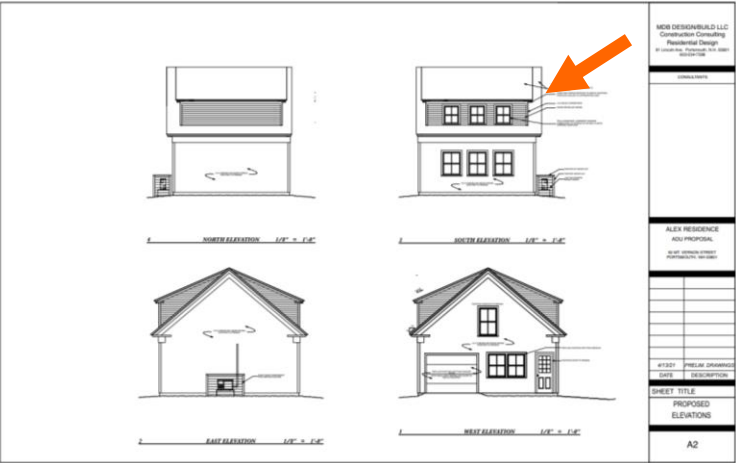
J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Add two shed dormers to the attic on the existing garage and cover the space to living area.

- Design Guideline Reference – Guidelines for Roofing (04) and Windows and Doors (08).

K. Aerial Image, Street View and Zoning Map:



Elevations and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
C

50 MT. VERNON ST. (LU-21-84) – PUBLIC HEARING #6 (MINOR PROJECT)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No.	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MINOR PROJECT</div> <div>– Convert Attic to Living Space and Add 2 Dormers –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Lighting (i.e. street, building...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 50 MT. VERNON ST. Case No.: 6 Date: 7-7-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

2. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

420 PLEASANT ST. (LU-21-126)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #7

A. Property Information - General:

- Existing Conditions:
- Zoning District: GRB
  - Land Use: Single-Family
  - Land Area: 4,791 SF +/-
  - Estimated Age of Structure: c.1820
  - Building Style: Federal
  - Historical Significance: C
  - Public View of Proposed Work: View from Franklin Street
  - Unique Features: NA
  - Neighborhood Association: South End

B. Proposed Work: Construct a rear addition with deck, add staircase, & new front porch

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council
- ☐ Condo Association
- ☐ Abutting Property Owner

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- The building is located along the intersection of Pleasant and Franklin Streets. It is surrounded with many 2 to 3 story wood- and brick-sided structures with shallow front yard setbacks, narrow side yards, and deeper rear yards.

J. Background & Suggested Action:

- The applicant is proposing to:
- Renovate the rear elevation by adding a rear addition with a roof deck, a 3-story stair enclosure and a new rear entry porch.
  - Note that there are letters of support in the file from the abutters.

Design Guideline Reference – Guidelines for Small-Scale New Construction and Additions (10).

K. Aerial Image, Street View and Zoning Map:



Elevations & Street view Image



Zoning Map

HISTORIC  
SURVEY  
RATING

C

420 PLEASANT ST. (LU-21-126) – PUBLIC HEARING #7 (MODERATE PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF		Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>– Replace Chimney &amp; Decks and Stairs –</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	36 Grading (i.e. ground floor height, street edge...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37 Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38 Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 420 Pleasant St. Case No.: 7 Date: 7-7-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied  
☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

33 GARDNER ST. (LU-21-135)

CERTIFICATE OF APPROVAL

PUBLIC HEARING #8

- Existing Conditions:
- Zoning District: GRB
  - Land Use: Multi- Family
  - Land Area: 13,860 SF +/-
  - Estimated Age of Structure: c.1740
  - Building Style: Colonial
  - Historical Significance: C
  - Public View of Proposed Work: View from Gardner ST. & Walton Alley
  - Unique Features: One of the oldest buildings in the neighborhood
  - Neighborhood Association: South End

B. Proposed Work: To reconstruct a removed chimney.

C. Other Permits Required:

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☒ Highly Sensitive
- ☐ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☒ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Gardner Street and is surrounded by many historically significant structures in the heart of the historic district. It has a shallow front yard setback and a small lot consistent with the surrounding properties.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Replace the recently-removed chimney which was removed to below the roofline without a permit from the city or approval from the HDC.
- As a response, the applicant proposes a restoration brick (Morin) and a mortar mix compatible with historic brick.
- This is a replacement-in-kind with the same dimensions and design of the removed chimney.

• Design Guideline Reference – Guidelines for Roofing (04).

K. Aerial Image, Street View and Zoning Map:



Aerial and 3D Massing Model Image



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
C

33 GARDNER STREET (LU-21-135) – PUBLIC HEARING #9 (MINOR PROJECT)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT – Replace Chimney In-Kind –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39			
			40	Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

**PROPERTY EVALUATION FORM**

**PORTSMOUTH HISTORIC DISTRICT COMMISSION**

**PROPERTY: 33 GARDNER STREET Case No.: 9 Date: 7-7-21**

**Decision:** ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
- I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

3. Compatibility of design with surrounding properties:

☐ Yes ☐ No

☐ Yes ☐ No

2. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No

☐ Yes ☐ No



# Historic District Commission

Project Evaluation Form: **53 GREEN STREET (LU-21-55)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **PUBLIC HEARING #9**

**A. Property Information - General:**

**Existing Conditions:**

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 78,843 SF +/-
- Estimated Age of Structure: c.1920/1970
- Building Style: Industrial
- Number of Stories: 2.0
- Historical Significance: Non-Contributing
- Public View of Proposed Work: View from Market and Green Streets
- Unique Features: NA
- Neighborhood Association: North End

**B. Proposed Work:** To add a new 5-Story Mixed-Use Apartment Building

**C. Other Permits Required:**

- ☐ Board of Adjustment      ☒ Planning Board      ☐ City Council

**D. Lot Location:**

- ☐ Terminal Vista      ☒ Gateway      ☐ Mid-Block  
☐ Intersection / Corner Lot      ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal      ☐ Accessory      ☒ Demolition

**F. Sensitivity of Neighborhood Context:**

- ☐ Highly Sensitive      ☐ Sensitive      ☒ Low Sensitivity      ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen’s Bank, AC Hotel)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)  
☒ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- This non-contributing structure is located along Green Street and is surrounded with many other brick or metal-clad buildings between 1-5 stories in height. The abutting 233 Vaughan Street building and the AC Hotel were recently completed and the AC Hotel project includes a community space requirement for public access to and along the waterfront. Such improvements are still be implemented by the developer.

**J. Staff Comments and Suggestions for Consideration:**

- The proposed massing and scale is significant for the size of the site but it is generally consistent with the abutting AC Hotel and the underlying zoning requirements in the CD4 Character District.
- The proposed building is 3-5 Stories in height which requires community space to be provided in exchange for the added height.
- The existing buildings will be demolished as part of the project.
- The project design has been modified to avoid the need for zoning relief for the minimum lot line buildout.

**Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).**

**K. Proposed Design, Street View and Aerial View:**



Proposed Design Renderings



Aerial View

**HISTORIC  
SURVEY  
RATING  
  
NC**

53 GREEN STREET (LU-21-55) – PUBLIC HEARING #9 (MAJOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MAJOR PROJECT – Demolish Structures & Construct a 5-Story, Mixed-Use Building –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 53 GREEN STREET Case No.:9 Date:7-14-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

**Project Address:** 10 STATE STREET (LUHD-343)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #3

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: CD4
  - Land Use: Multi-Family Residential
  - Land Area: 10,827 SF +/-
  - Estimated Age of Structure: 2014
  - Building Style: NA
  - Number of Stories: 3.0
  - Historical Significance: NA
  - Public View of Proposed Work: View from State and Marcy Streets
  - Unique Features: NA
  - Neighborhood Association: Downtown

**B. Proposed Work:** Add a recessed entryway.

**C. Other Permits Required:**

- ☐ Board of Adjustment    ☐ Planning Board    ☐ City Council

**D. Lot Location:**

- ☒ Terminal Vista    ☐ Gateway    ☐ Mid-Block  
☐ Intersection / Corner Lot    ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal    ☐ Accessory    ☐ Significant Demolition

**F. Sensitivity of Context:**

- ☐ Highly Sensitive    ☐ Sensitive    ☒ Low Sensitivity    ☐ "Back-of-House"

**G. Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☒ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)  
☐ Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- This lot and structure is located along State Street and is surrounded variety of 3-4 story structures. The neighborhood is predominantly 3-4 story brick structures no setbacks from the street edge.

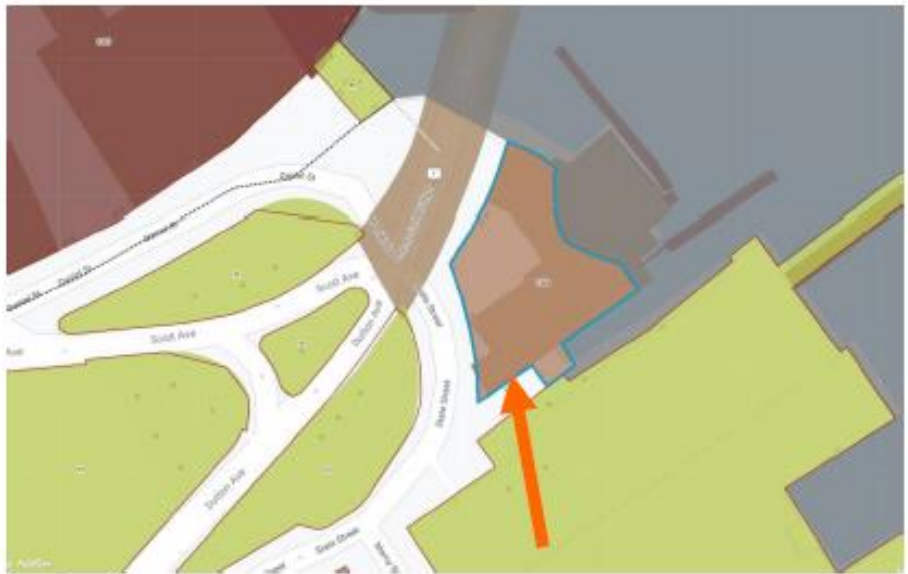
**J. Staff Comments and Suggestions for Consideration:**

- The applicant proposes the following design changes:
- Create a new state street side entrance with vestibule within the existing footprint.

**K. Aerial Image, Street View and Zoning Map:**




Aerial and Street View Image



Zoning Map





10 STATE STREET (LUHD-343) – WORK SESSION #3 (MINOR PROJECT)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: 10 STATE STREET Case No.: 3 Date: 6-2-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>	
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<div>MINOR PROJECT</div> <div>- New Recessed Entryway Portico -</div>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
6	Number of Stories								
	7	Building Coverage (% Building on the Lot)							
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS		HDC SUGGESTIONS		APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

H. Purpose and Intent:

1. Preserve the integrity of the District:  
2. Assessment of the Historical Significance:  
3. Conservation and enhancement of property values:

☐ Yes ☐ No  
☐ Yes ☐ No  
☐ Yes ☐ No

4. Maintain the special character of the District:  
5. Complement and enhance the architectural and historic character:  
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No  
☐ Yes ☐ No  
☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:  
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No  
☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:  
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No  
☐ Yes ☐ No



# Historic District Commission

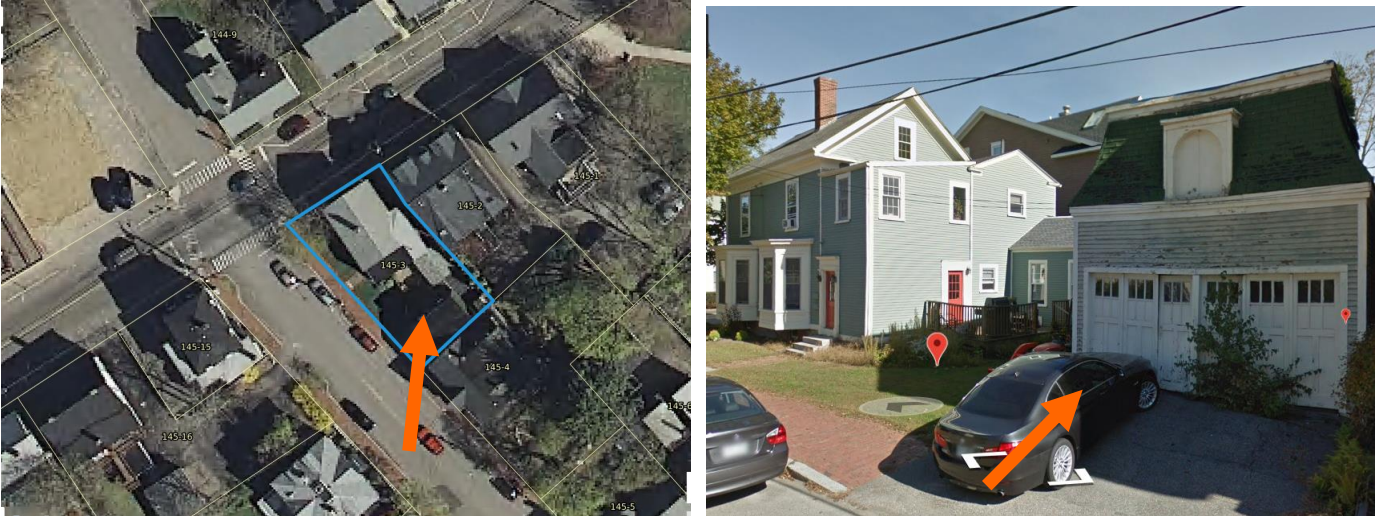
Project Evaluation Form: **322 ISLINGTON STREET (LU-21-355)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **PUBLIC HEARING #11**

- A. Property Information - General:**  
**Existing Conditions:**
- Zoning District: CD4-L2
  - Land Use: Two- Family
  - Land Area: 4,422 SF +/-
  - Estimated Age of Structure: c.1890
  - Building Style: Mansard
  - Number of Stories: 1.5
  - Historical Significance: Contributing
  - Public View of Proposed Work: View from Cabot and Islington Streets
  - Unique Features: NA
  - Neighborhood Association: Islington Creek
- B. Proposed Work:** To extend or replace the 2 story garage and add a connector.
- C. Other Permits Required:**
- ☒ Board of Adjustment
- ☐ Planning Board
- ☐ City Council
- D. Lot Location:**
- ☐ Terminal Vista
- ☐ Gateway
- ☐ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot
- E. Existing Building to be Altered/ Demolished:**
- ☒ Principal
- ☒ Accessory
- ☐ Significant Demolition
- F. Sensitivity of Context:**
- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

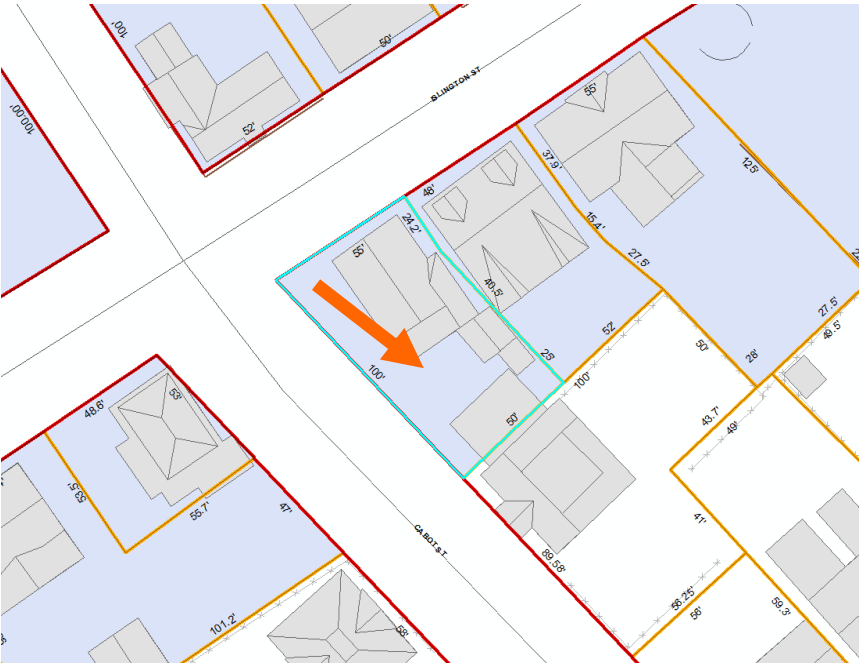
- I. Neighborhood Context:**
- This contributing historic structure is located along Cabot and Islington Streets. It is surrounded with many other wood, 2-2.5 story contributing structures with shallow frontyard setbacks.
- J. Staff Comments and Suggestions for Consideration:**
- The applicant proposes to:
    - Remodel the existing carriage house in a new location.
    - Add a single story connector.

**Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows & Doors (08), and Small Scale New Construction & Addition (10).**

**K. Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING

C

322 ISLINGTON STREET (LU-21-355) – PUBLIC HEARING #11 (MODERATE)


		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>– REMODEL CARRIAGE HOUSE AND ADD CONNCETOR ONLY –</div>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
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		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
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		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY:322 ISLINGTON STREET Case No.:11 Date: 7-14-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
4. Maintain the special character of the District:

☐ Yes ☐ No
5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

64 VAUGHAN MALL (LU-21-214)  
CERTIFICATE OF APPROVAL  
PUBLIC HEARING #A

- Existing Conditions:
- Zoning District: CD5
  - Land Use: Commercial
  - Land Area: 15,242 SF +/-
  - Estimated Age of Structure: c.1900
  - Building Style: Vernacular Commercial
  - Historical Significance: C
  - Public View of Proposed Work: View from the Vaughan Mall and Hanover St.
  - Unique Features: NA
  - Neighborhood Association: Downtown

**B. Proposed Work:** To make façade improvements to the storefront and add a penthouse.

- C. Other Permits Required:**
- ☒ Board of Adjustment

☒ Planning Board

☒ City Council

- D. Lot Location:**
- ☐ Terminal Vista

☐ Gateway

☒ Mid-Block
- ☐ Intersection / Corner Lot

☐ Rear Lot

- E. Existing Building to be Altered/ Demolished:**
- ☒ Principal

☐ Accessory

☐ Demolition

- F. Sensitivity of Context:**
- ☐ Highly Sensitive

☒ Sensitive

☐ Low Sensitivity

☐ “Back-of-House”

- G. Design Approach (for Major Projects):**
- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)

☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)

☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)

☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

- H. Project Type:**
- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)

☐ Minor Project (i.e. small alterations, additions or expansions)

☐ Moderate Project (i.e. significant additions, alterations or expansions)

☒ Major Project (i.e. very large alternations, additions or expansions)

- L. **Neighborhood Context:**

- The building is located along the Vaughan Mall. The building is surrounded with many 2-5 story historic and contemporary structures with little to no setbacks. The property also has an 8 space surface parking lot off of Hanover Street.
- M. **Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to:

- Add three story addition with an attic to the existing historic structure.
  - The revised elevations show a variety of modifications suggested by the Commission.

- **Design Guideline Reference – Guidelines for Windows and Doors (08) and Commercial Developments and Storefronts (12).**

N. **Aerial Image, Street View and Zoning Map:**



Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING

C

64 VAUGHAN MALL (LU-21-214) – PUBLIC HEARING #A (MAJOR PROJECT)

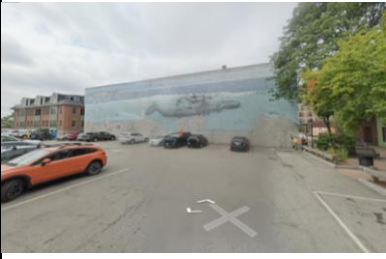
		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<div>MAJOR PROJECT</div> <div>- Add a 3-Story Addition to the Existing Building -</div>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39		Lighting (i.e. street, building...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 64 VAUGHAN MALL Case No.: A Date: 7-14-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District:

2. Assessment of the Historical Significance:

3. Conservation and enhancement of property values:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No
4. Maintain the special character of the District:

5. Complement and enhance the architectural and historic character:

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:
- ☐ Yes ☐ No

☐ Yes ☐ No

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

4. Compatibility of design with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

4. Compatibility of innovative technologies with surrounding properties:
- ☐ Yes ☐ No

☐ Yes ☐ No



# Historic District Commission

**Project Address:** 238 DEER ST. (LUHD-340)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #2

**Existing Conditions:**

- Zoning District: CD4
- Land Use: Commercial
- Land Area: 6,098 SF +/-
- Estimated Age of Structure: c.1960
- Building Style: Modern (1960)
- Historical Significance: NC
- Public View of Proposed Work: View from Deer and Bridge Streets
- Unique Features: NA
- Neighborhood Association: Downtown

**B. Proposed Work:** To replace existing building with a 4 story residential building

**C. Other Permits Required:**

- ☐ Board of Adjustment      ☒ Planning Board      ☐ City Council

**D. Lot Location:**

- ☐ Terminal Vista      ☐ Gateway      ☒ Mid-Block  
☐ Intersection / Corner Lot      ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal      ☐ Accessory      ☐ Demolition

**F. Sensitivity of Context:**

- ☐ Highly Sensitive      ☐ Sensitive      ☒ Low Sensitivity      ☐ "Back-of-House"

**G. Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)  
☒ Major Project (i.e. very large alternations, additions or expansions)

**I. Neighborhood Context:**

- The building is located along Deer Street. It is surrounded with many 3-4 story masonry structures with shallow setbacks.

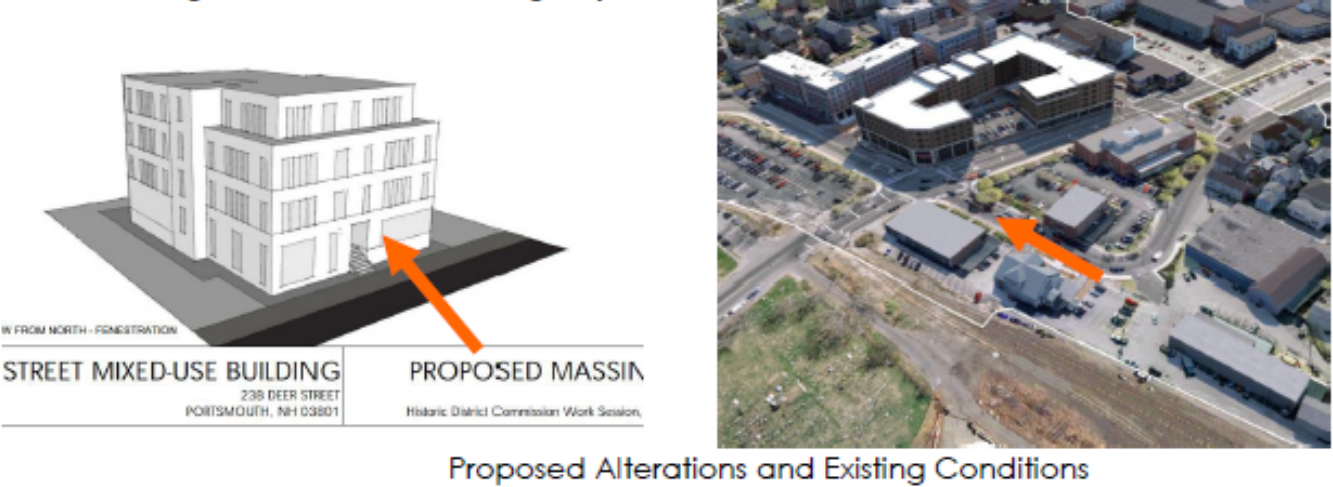
**J. Staff Comments and/ or Suggestions for Consideration:**

The Application is proposing to:

- REMOVAL OF EXISTING BUILDING DOWN TO GRADE (SUBGRADE FOUNDATION WALLS AND BASEMENT SLAB TO REMAIN).
- CONSTRUCT NEW 3-4 STORY MIXED-USE BUILDING WITH GROUND FLOOR RETAIL AND UPPER FLOORS WITH (7) APARTMENTS ON EACH FLOOR BETWEEN 400-500 SF EACH.

**Design Guideline Reference – Guidelines for Small Scale New Construction and Additions (10).**

**K. Aerial Image, Street View and Zoning Map:**



**HISTORIC  
SURVEY  
RATING  
  
NC**

238 DEER ST. (LUHD-340) – WORK SESSION #B (MAJOR)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: 238 DEER ST. Case No.: A Date: 7-14-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div>	
STAFF	No.	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
	No.	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<div>MAJOR PROJECT</div> <div>– Construct a 4-Story Building –</div>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No





# Historic District Commission

**Project Address:** 137 NORTHWEST ST. (LUHD-296)  
**Permit Requested:** CERTIFICATE OF APPROVAL  
**Meeting Type:** WORK SESSION #B

## Existing Conditions:

- Zoning District: GRA
- Land Use: Single Family
- Land Area: 23,522 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Queen Anne
- Historical Significance: C
- Public View of Proposed Work: View from Northwest Street & the Rte.1 Bypass.
- Unique Features: NA
- Neighborhood Association: Christian Shore

**B. Proposed Work:** To construct a new single family house on the lot.

## C. Other Permits Required:

- ☒ Board of Adjustment      ☒ Planning Board      ☐ City Council

## D. Lot Location:

- ☐ Terminal Vista      ☐ Gateway      ☒ Mid-Block  
☐ Intersection / Corner Lot      ☐ Rear Lot

## E. Existing Building to be Altered/ Demolished:

- ☒ Principal      ☐ Accessory      ☐ Demolition

## F. Sensitivity of Context:

- ☐ Highly Sensitive      ☒ Sensitive      ☐ Low Sensitivity      ☐ "Back-of-House"

## G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

## H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☒ Moderate Project (i.e. significant additions, alterations or expansions)  
☐ Major Project (i.e. very large alterations, additions or expansions)

## L. Neighborhood Context:

- The building lot is located along Northwest Street. It is surrounded with many 1.5-2 story wood-sided historic structures with small rear and side yards with garden areas. The proposed lot is very narrow which limits the potential for landscape screening along the Rte. 1 Bypass.

## M. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Construct a new single-family residence on the north eastern portion of the property.
- Note that a variance was granted to support this application.
- Earlier this week I met with the applicant and the builder and suggested a different house design based on the many design constraints presented by the shape and topography of the lot and its placement directly beside the Route 1 bypass.
- Based on the feedback from the May meeting, the applicant will submit revised plans and elevations for the June 9<sup>th</sup> meeting.

## Design Guideline Reference – Guidelines for New Construction (02-09).

## N. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions



Zoning Map

**HISTORIC  
SURVEY  
RATING**

■



137 NORTHWEST ST. (LUHD-296) – WORK SESSION #B (MINOR)


INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
STAFF	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>- Construct a New Single-Family Structure -</div>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
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		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 137 Northwest St. Case No.: B Date: 6-9-21

Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied ☐ Continued ☐ Postponed ☐ Withdrawn



H. Purpose and Intent:

1. Preserve the integrity of the District: ☐ Yes ☐ No

2. Assessment of the Historical Significance: ☐ Yes ☐ No

3. Conservation and enhancement of property values: ☐ Yes ☐ No

4. Maintain the special character of the District: ☐ Yes ☐ No

5. Complement and enhance the architectural and historic character: ☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors: ☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties: ☐ Yes ☐ No

2. Compatibility of design with surrounding properties: ☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure: ☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties: ☐ Yes ☐ No



# Historic District Commission

Project Evaluation Form: **93 PLEASANT STREET (LUHD-235)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **WORK SESSION #C**

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: CD4
  - Land Use: Commercial
  - Land Area: 11,325 SF +/-
  - Estimated Age of Structure: c.1818
  - Building Style: Federal
  - Historical Significance: Focal
  - Public View of Proposed Work: View from Pleasant and Court Streets
  - Unique Features: Focal Building and Historic Stone Wall along Court Street
  - Neighborhood Association: Downtown

**B. Proposed Work:** To add a 3-story addition with connector building.

**C. Other Permits Required:**

- ☐ Board of Adjustment    ☒ Planning Board    ☐ City Council

**D. Lot Location:**

- ☐ Terminal Vista    ☐ Gateway    ☐ Mid-Block  
☒ Intersection / Corner Lot    ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished / Constructed**

- ☒ Principal    ☐ Accessory    ☐ Demolition

**F. Sensitivity of Context:**

- ☒ Highly Sensitive    ☐ Sensitive    ☐ Low Sensitivity    ☐ "Back-of-House"

**G. Design Approach (for Major Projects):**

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)  
☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)  
☒ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)  
☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)  
☐ Minor Project (i.e. small alterations, additions or expansions)  
☐ Moderate Project (i.e. significant additions, alterations or expansions)  
☒ Major Project (i.e. very large alterations, additions or expansions)

**I. Neighborhood Context:**

- This historically significant and focal building is located along the intersection of Pleasant and Court Streets. It is surrounded with many wood-frame 2 - 2.5 story contributing structures. The Langdon Mansion, another focal building and setting is located across the street.

**J. Background, Comments & Suggested Actions:**

- The Applicant is seeking to:
- Add a three-story addition to the parking lot area along Court Street and add a glass connector to the Treadwell House.
  - Based on the feedback from the May meeting, the applicant will submit revised plans and elevations for the June 9<sup>th</sup> meeting. We will also have this inserted in the 3-D Massing Model.

- **Design Guideline Reference: *Guidelines for Small-Scale New Construction and Additions (10)***

**K. Aerial Images and Maps:**



**HISTORIC  
SURVEY  
RATING**

**F**

93 PLEASANT STREET (LUHD-235) – WORK SESSION #C (MAJOR)										
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT				
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)		<div style="text-align: center;"> <b>MAJOR PROJECT</b>  <b>– Construct a 3-Story Addition and a Connector Building –</b> </div>						
	2	Floor Area Ratio (GFA/ Lot Area)								
	3	Building Height / Street-Width Ratio								
	4	Building Height – Zoning (Feet)								
	5	Building Height – Street Wall / Cornice (Feet)								
	6	Number of Stories								
7	Building Coverage (% Building on the Lot)									
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS				
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
	10	Massing (i.e. modules, banding, setbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate					
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		23	Window Casings/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		25	Storm Windows / Screens / Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

# PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 93 PLEASANT ST. Case No.: C Date: 6-9-21

 Decision: ☐ Approved ☐ Approved with Stipulations ☐ Denied  
☐ Continued ☐ Postponed ☐ Withdrawn


## H. Purpose and Intent:

- |   |  |  |  |
|---|--|--|--|
| 1. Preserve the integrity of the District:          | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance:       | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character:                                | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

## I. Review Criteria / Findings of Fact:

- |  |  |  |  |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure:   | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties:                      | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |



# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

1 & 31 RAYNES AVE. (LUHD-234)  
CERTIFICATE OF APPROVAL  
WORK SESSION #D

- Existing Conditions:
- Zoning District: CD4
  - Land Use: Vacant / Gym
  - Land Area: 2.4 Acres +/-
  - Estimated Age of Structure: c.1960s
  - Building Style: Contemporary
  - Historical Significance: NA
  - Public View of Proposed Work: View from Maplewood and Raynes Ave.
  - Unique Features: NA
  - Neighborhood Association: Downtown

B. Proposed Work: To construct a 4-5 story mixed-use building(s).

C. Other Permits Required:

- ☐ Board of Adjustment
- ☒ Planning Board
- ☐ City Council

D. Lot Location:

- ☒ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☒ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☐ Moderate Project (i.e. significant additions, alterations or expansions)
- ☒ Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

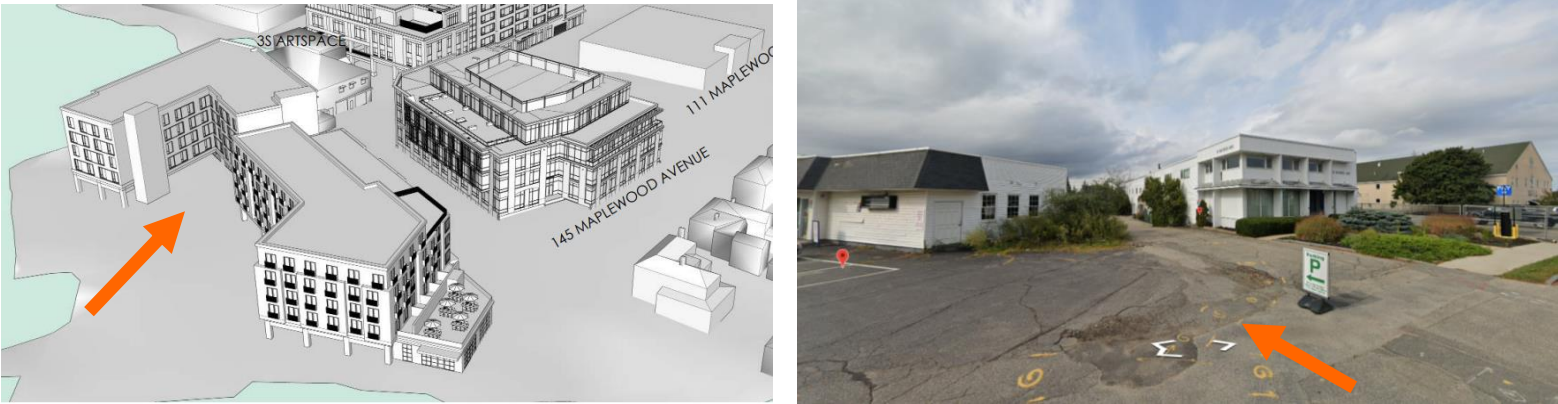
- a. The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

J. Staff Comments and/ or Suggestions for Consideration:

- The Application is proposing to:
- Demolish the existing buildings.
  - Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
  - The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
  - Note that the applicant has requested a continuance of this application until August.

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
C

1 & 31 RAYENES AVE. (LUHD-234) – WORK SESSION #D (MAJOR)									
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY:1 &amp; 31 Raynes Ave. Case No.:D Date: 7-14-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div>	
STAFF	No.	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
	No.	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
	1	Gross Floor Area (SF)		<div>MAJOR PROJECT</div> <div>– Construct two 5 Story Mixed-Use Buildings –</div>					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
6	Number of Stories								
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

- H. Purpose and Intent:
1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

- I. Review Criteria / Findings of Fact:
1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No





# Historic District Commission

Project Address:  
Permit Requested:  
Meeting Type:

279 MARCY ST. (LUHD-259)  
CERTIFICATE OF APPROVAL  
WORK SESSION #E

- Existing Conditions:
- Zoning District: GRB
  - Land Use: Single Family
  - Land Area: 5,660 SF +/-
  - Estimated Age of Structure: c.1875
  - Building Style: Greek Revival
  - Historical Significance: C
  - Public View of Proposed Work: View from Marcy St. & Meeting House Hill Rd.
  - Unique Features: Non-Contributing
  - Neighborhood Association: South End

B. Proposed Work: To add a recessed roof dormer.

C. Other Permits Required:

- ☒ Board of Adjustment
- ☐ Planning Board
- ☐ City Council

D. Lot Location:

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

E. Existing Building to be Altered/ Demolished:

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

F. Sensitivity of Context:

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

G. Design Approach (for Major Projects):

- ☐ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☒ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

- I. Neighborhood Context:

a. The building is located near the Meeting House along Marcy Street in the heart of the South End. It is surrounded with many 2-3 story wood-sided historic structures with no front yard setback and small rear yards and garden areas.
- J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:
  - Add a recessed roof deck within the southern roof structure.
  - NOTE – The applicant has submitted a request to postpone this application until the August meeting.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Porches, Steps and Decks (06), Windows and Doors (08,) and Small Scale New Construction and Additions (10).

K. Aerial Image, Street View and Zoning Map:

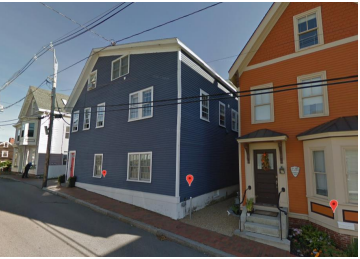


Proposed Alterations and Existing Conditions



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
NC

279 MARCY ST. (LUHD-259) – WORK SESSION #E (MODERATE)									
INFO/ EVALUATION CRITERIA			SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY: 279 MARCY ST. Case No.: F Date: 4-14-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div> <div></div>	
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)			
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)						
	1	Gross Floor Area (SF)	<div>MODERATE PROJECT</div> <div>– Construct a Recessed Roof Dormer and Deck –</div>						
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No

2. Assessment of the Historical Significance:

☐ Yes ☐ No

3. Conservation and enhancement of property values:

☐ Yes ☐ No

4. Maintain the special character of the District:

☐ Yes ☐ No

5. Complement and enhance the architectural and historic character:

☐ Yes ☐ No

6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No

2. Compatibility of design with surrounding properties:

☐ Yes ☐ No

3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No

6. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No



# Historic District Commission

Project Address: **449 COURT STREET (LUHD-235)**  
Permit Requested: **CERTIFICATE OF APPROVAL**  
Meeting Type: **WORK SESSION #F**

**A. Property Information - General:**

- Existing Conditions:**
- Zoning District: CD4-L1
  - Land Use: Multi-Family
  - Land Area: 2,613 SF +/-
  - Estimated Age of Structure: c. 1996
  - Building Style: Traditional
  - Historical Significance: NA
  - Public View of Proposed Work: View from Court Street
  - Unique Features: NA
  - Neighborhood Association: South End

**B. Proposed Work:** Add a 4<sup>th</sup> Floor Addition and roof deck along Court Street.

**C. Other Permits Required:**

- ☐ Board of Adjustment
- ☐ Planning Board
- ☐ City Council
- ☐ Condo Association
- ☐ Abutting Property Owner

**D. Lot Location:**

- ☐ Terminal Vista
- ☐ Gateway
- ☒ Mid-Block
- ☐ Intersection / Corner Lot
- ☐ Rear Lot

**E. Existing Building to be Altered/ Demolished:**

- ☒ Principal
- ☐ Accessory
- ☐ Demolition

**F. Sensitivity of Context:**

- ☐ Highly Sensitive
- ☒ Sensitive
- ☐ Low Sensitivity
- ☐ “Back-of-House”

**G. Design Approach (for Major Projects):**

- ☒ Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- ☐ Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- ☐ Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- ☐ Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

**H. Project Type:**

- ☐ Consent Agenda (i.e. very small alterations, additions or expansions)
- ☐ Minor Project (i.e. small alterations, additions or expansions)
- ☒ Moderate Project (i.e. significant additions, alterations or expansions)
- ☐ Major Project (i.e. very large alternations, additions or expansions)

**L. Neighborhood Context:**

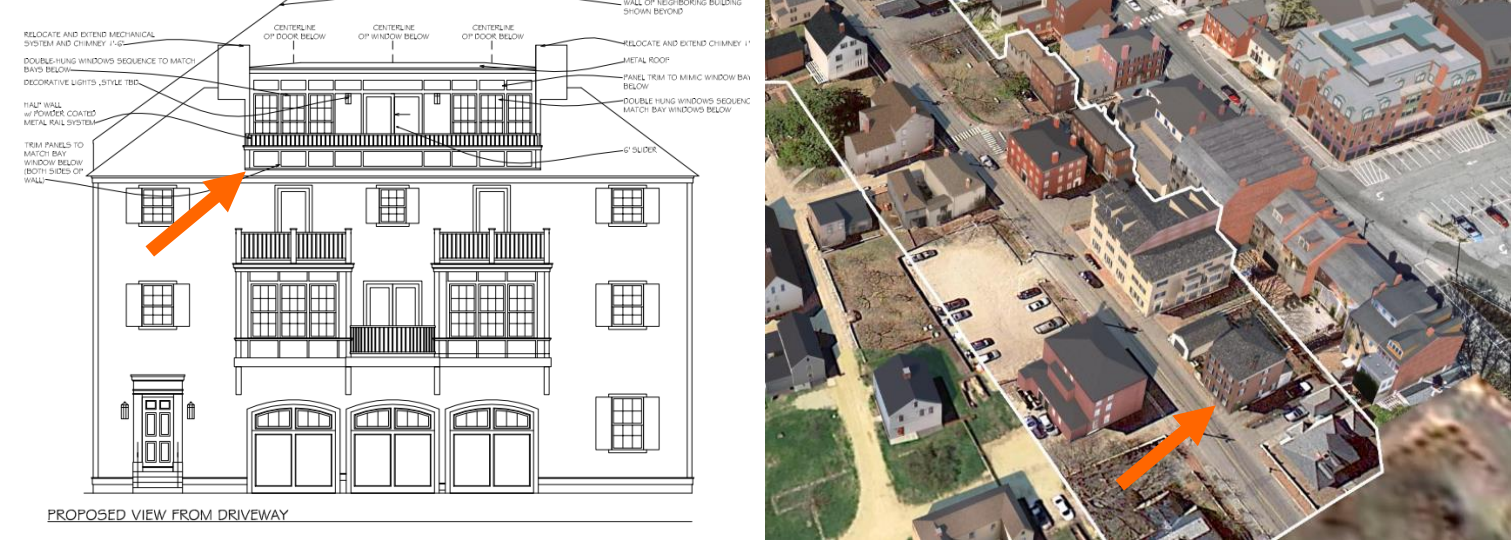
- The buildings are located along lower Court Street. It's surrounded with many wood- and brick-sided structures with no setbacks and shallow sideyards. This structure also abuts Strawberry Banke.

**M. Staff Comments and/ or Suggestions for Consideration:**

- The Application is proposing to:
- Change the roof design by adding a 4<sup>th</sup> floor addition and roof deck.
  - The addition is generally proposed to be located along the northern property line abutting a taller structure with a common wall containing no openings.
- **NOTE – The Applicant has requested a postponement of this application until August while they continue to study the visual impacts of the project.**

• **Design Guideline Reference: Guidelines for Roofing (04), Exterior Woodwork (05), Porches, Steps and Decks (06) and Small Scale New Construction and Additions (10).**

**N. Aerial Image, Street View and Zoning Map:**



Rear Decks and Aerial View Image



Zoning Map

HISTORIC  
SURVEY  
RATING  
  
NA

449 COURT STREET (LUHD-235) – WORK SESSION #F (MODERATE)

E		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		<div>PROPERTY EVALUATION FORM</div> <div>PORTSMOUTH HISTORIC DISTRICT COMMISSION</div> <div>PROPERTY:449 COURT STREET Case No.:F Date: 7-14-21</div> <div>Decision: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Stipulations <input type="checkbox"/> Denied <input type="checkbox"/> Continued <input type="checkbox"/> Postponed <input type="checkbox"/> Withdrawn</div>
STAFF		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)		<div>MODERATE PROJECT</div> <div>– Add 4<sup>th</sup> Floor Addition and Roof Deck –</div>				
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
7	Building Coverage (% Building on the Lot)							
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
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		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

H. Purpose and Intent:

1. Preserve the integrity of the District:

☐ Yes ☐ No
2. Assessment of the Historical Significance:

☐ Yes ☐ No
3. Conservation and enhancement of property values:

☐ Yes ☐ No
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☐ Yes ☐ No
6. Promote the education, pleasure and welfare of the District to the city residents and visitors:

☐ Yes ☐ No

I. Review Criteria / Findings of Fact:

1. Consistent with special and defining character of surrounding properties:

☐ Yes ☐ No
2. Compatibility of design with surrounding properties:

☐ Yes ☐ No
3. Relation to historic and architectural value of existing structure:

☐ Yes ☐ No
4. Compatibility of innovative technologies with surrounding properties:

☐ Yes ☐ No





**165 Court Street**

**LU-21-87**

**Public Hearing**

**LU-21-87**

## Land Use Application

**Status:** Active**Date Created:** Apr 28, 2021**Applicant**

Jeremiah Johnson  
jeremiah@mchenryarchitecture.com  
4 Market Street  
Portsmouth, NH 03801  
603-430-0274 ext. 3

**Location**

165 COURT ST  
Portsmouth, NH 03801

**Owner:**

KWA LLC  
636 PORTLAND AVE ROLLINSFORD, NH 03869

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☐

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

☐

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

☐

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

☐

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

☐

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☒

**Request for Extension of Previously Granted Land Use Approval**



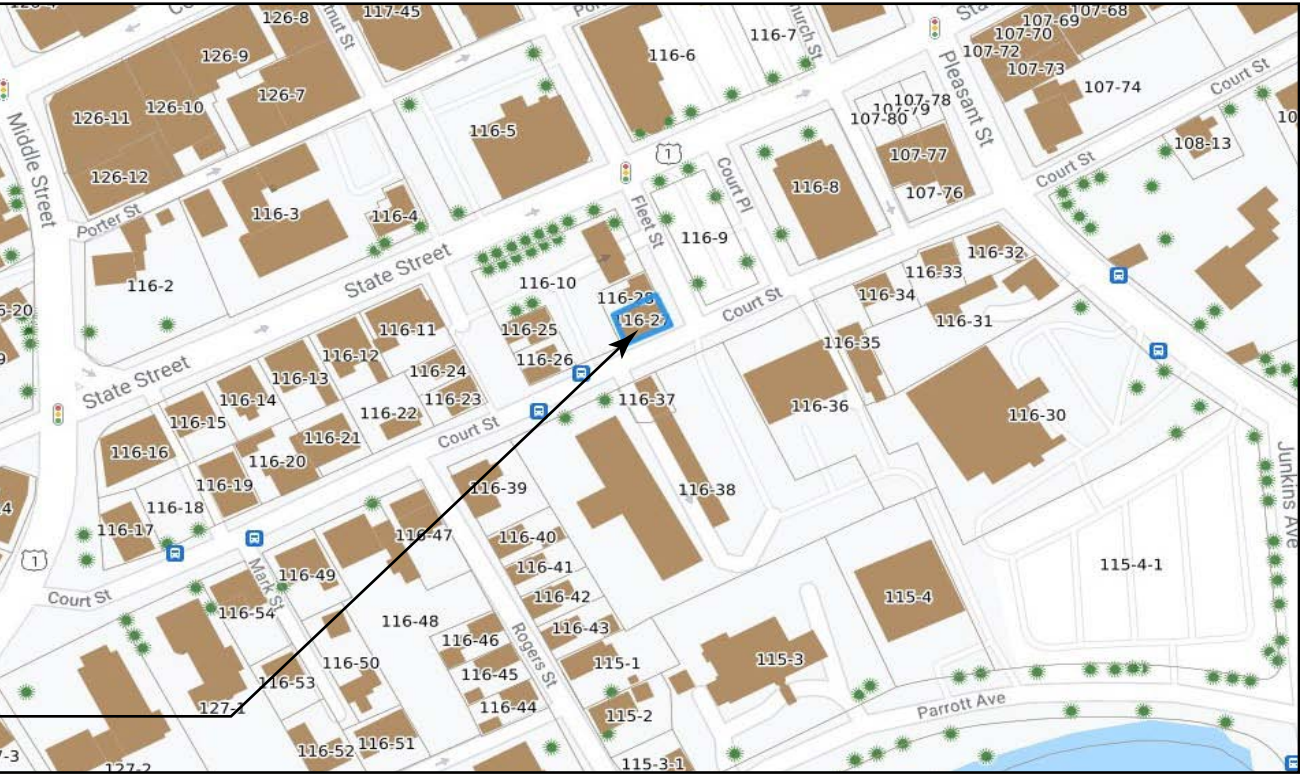
# 165 COURT STREET MURAL

HISTORIC DISTRICT COMMISSION PUBLIC HEARING - JULY 2021

165 Court Street is located at the intersection of Fleet Street and Court Street just southwest of the Fire Station and across the street from the PHA – Margeson Apartments. The two-story building contains a mix of (4) retail and office spaces with associated signage for each business.

The owner of the building, Todd Adelman of KWA LLC, has been working with a local nonprofit group “Friends of Ruth Blay, Inc” to bring awareness to some of the many prominent women of Portsmouth’s storied history. The first of these women is Ruth Blay (1737-1768). Ruth, a 31-year-old teacher from South Hampton, was tried, convicted, and publicly hanged for concealing the body of her illegitimate baby. She was the last female executed in New Hampshire.

A mural is being proposed at the southwest wall of the 165 Court Street building. The mural will contain a unique artist’s rendering of Ruth Blay with associated title, historical facts, design credits, and a “History Through Art” tag intended to identify and link together this installation with other future murals focused on a variety of Portsmouth women.



165 COURT STREET  
PORTSMOUTH, NH 03801

© 2021 McHenry Architecture

165 COURT STREET MURAL 165 COURT STREET PORTSMOUTH, NH 03801	COVER Historic District Commission Public Hearing - July 2021	McHENRY ARCHITECTURE 4 Market Street Portsmouth, New Hampshire	C	07/07/2021
				McHA: RD / JJ
				Scale: NOT TO SCALE





VIEW FROM FIRE STATION



VIEW FROM COURT STREET FROM THE SOUTHWEST



MURAL WALL - SOUTHWEST WALL



MURAL WALL - SOUTHWEST WALL

© 2021 McHenry Architecture

# 165 COURT STREET MURAL

165 COURT STREET  
PORTSMOUTH, NH 03801

## EXISTING PHOTOGRAPHS

Historic District Commission Public Hearing - July 2021

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A1

07/07/2021  
McHA: RD / JJ  
Scale: NOT TO SCALE





# Ruth Blay Mural

Photographic Vinyl  
163 Court Street: West Wall

© 2021 McHenry Architecture

165 COURT STREET MURAL

165 COURT STREET  
PORTSMOUTH, NH 03801

MURAL RENDERING

Historic District Commission Public Hearing - July 2021

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A2

07/07/2021  
McHA: RD / JJ  
Scale: NOT TO SCALE





*Sketch for Ruth Blay Mural*

# Ruth Blay Mural Text

**Project Tag: History Through Art**

**Mural Title: Remembering Ruth Blay, 1737-1768**

Teacher; Seamstress; Unwed Mother

## History

In 1768, Ruth Blay, a 31-year-old teacher from South Hampton, was tried, convicted, and publicly hanged for concealing the body of her illegitimate baby.

Concealment was punishable by death by hanging, unless the woman could prove the baby was stillborn. In Blay’s final words, written on the eve of her execution, she maintained the child was stillborn, which she could have proven had she been properly advised by her lawyer.

She, and other women before her, were victims of their gender, class, social status, the mores of the time and harsh provincial law.

The last woman executed in New Hampshire, Ruth Blay’s body lies buried in an unmarked grave in what is now South Street Cemetery.

- Carolyn Marvin, Historian  
Author of Hanging Ruth Blay, an Eighteenth Century Tragedy, The History Press, 2010

© 2021 McHenry Architecture

165 COURT STREET MURAL

165 COURT STREET  
PORTSMOUTH, NH 03801

SKETCH AND TEXT

Historic District Commission Public Hearing - July 2021

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A3

07/07/2021  
McHA: RD / JJ  
Scale: NOT TO SCALE



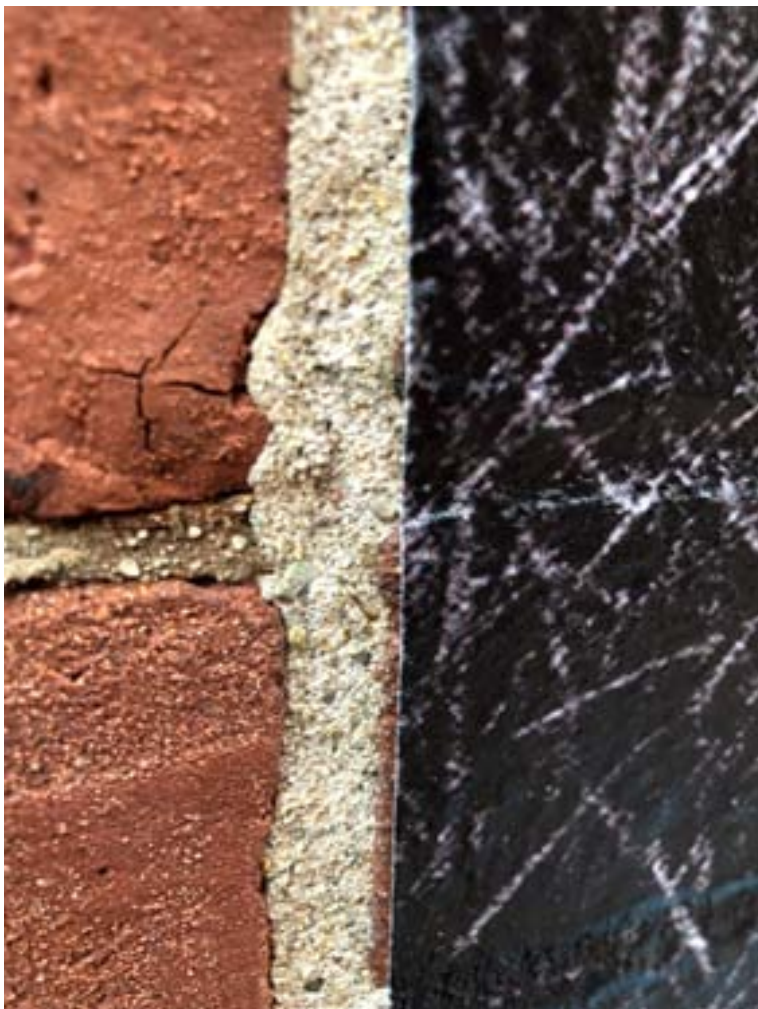
# Materials

The existing grey painted wall at the southwest of the building will act as a subdued background color for the mural renderings and text.

The entirety of the mural itself (rendering, title, text, etc.) will be printed on an adhesive vinyl material similar to a few comparable murals in the downtown area.



MURALS ON COMMERCIAL ALLEY WITH SIMILAR MATERIAL



EDGE OF VINYL AT BRICK MORTAR JOINT



PROFILE OF BRICK AND MORTAR JOINTS VIEWED THROUGHT VINYL MATERIAL

© 2021 McHenry Architecture



**99 Bow Street**

**LU-21-110**

**Public Hearing**



**LU-21-110**

## Land Use Application

**Status:** Active**Date Created:** May 25, 2021**Applicant**

Jeremiah Johnson  
jeremiah@mchenryarchitecture.com  
4 Market Street  
Portsmouth, NH 03801  
603-430-0274 ext. 3

**Location**

99 BOW ST  
Portsmouth, NH 03801

**Owner:**

MARTINGALE LLC  
3 PLEASANT ST 4TH FLR PORTSMOUTH, NH 03801

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



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**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line



**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**



**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



**Request for Extension of Previously Granted Land Use Approval**



# MARTINGALE WHARF DECK EXPANSION

HISTORIC DISTRICT COMMISSION - JULY 2021, PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

PROPOSED WORK:

- INCREASE THE SIZE OF THE MARTINGALE WHARF DECK AND DOCK.
- PROVIDE A SEPARATE DECK AT THE WEST END OF THE MARTINGALE WHARF FOR THE USE OF THE PUBLIC.
- FRAME THE NEW DECKS WITH TWO MURALS THAT RELATE TO PORTSMOUTH'S MARITIME HISTORY. ONE MURAL WILL BE LOCATED AT THE EAST END OF THE EXPANDED MARTINGALE WHARF RESTAURANT DECK, AND ONE MURAL WILL BE LOCATED AT THE WEST END OF THE NEW PUBLIC DECK.
- INSTALL VARIOUS PLANTER BOXES TO SOFTEN THE SPACE AND ACT AS "GREEN" PARTITIONS BETWEEN THE PUBLIC DECK AND THE MARTINGALE.

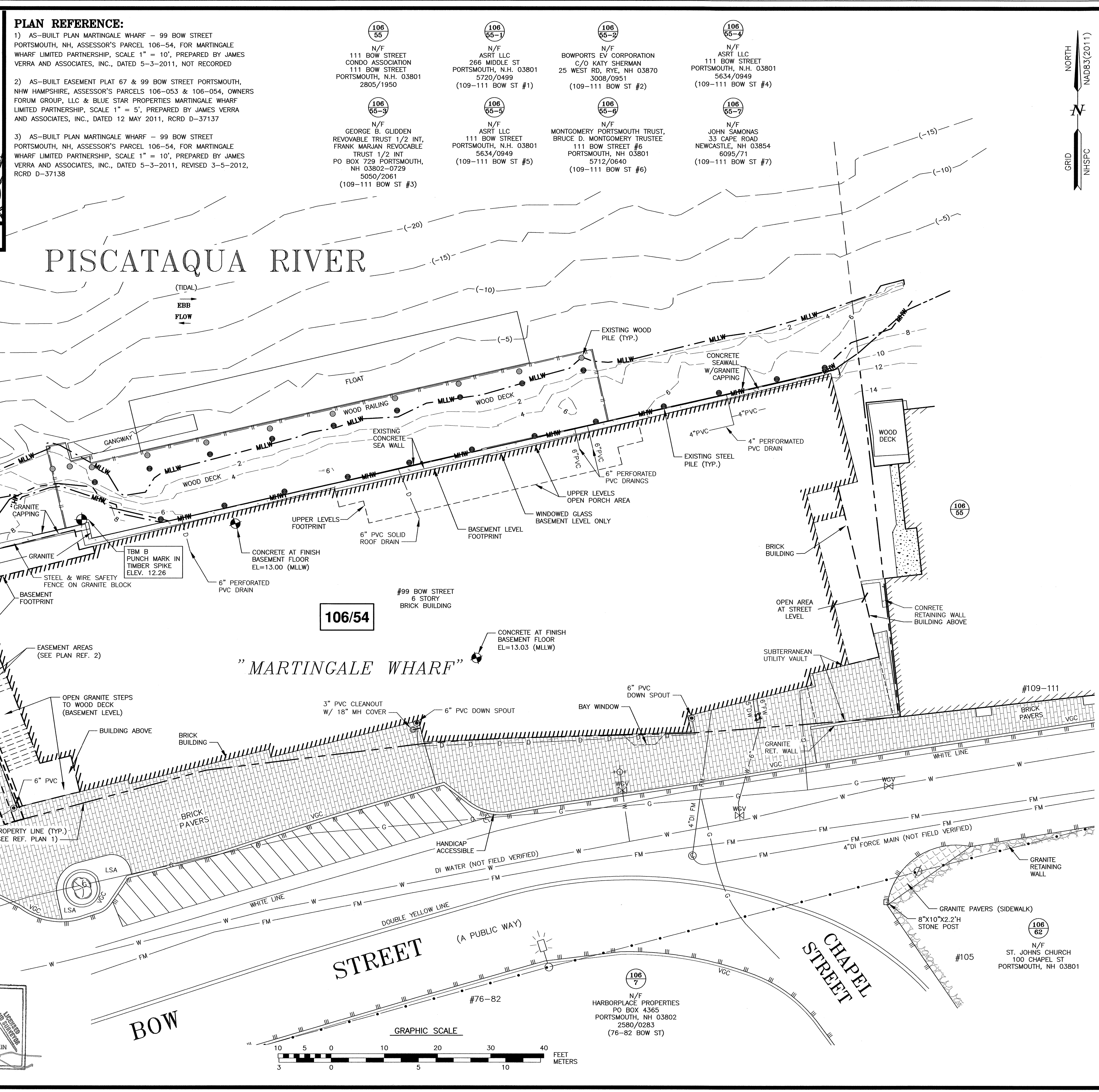
SHEET LIST	
Sheet Number	Sheet Name
C	HISTORIC DISTRICT COMMISSION PUBLIC HEARING
C1	EXISTING CONDITIONS PLAN
A1	EXISTING PHOTOGRAPHS OF DECK
A2	EXISTING DECK PLAN
A3	EXISTING NORTH ELEVATION
A4	PERSPECTIVE VIEW OF DECK EXPANSION
A5	PERSPECTIVE VIEW OF DECK EXPANSION
A6	PERSPECTIVE VIEW OF EAST MURAL
A7	PERSPECTIVE VIEW OF WEST MURAL
A8	PERSPECTIVES OF EAST AND WEST MURAL
A9	DECK EXPANSION PLAN
A10	DECK EXPANSION NORTH ELEVATION
A11	ELEVATIONS AT EAST AND WEST MURALS
A12	ENLARGED PLANS, ELEVATIONS, AND DETAILS
A13	CUT SHEETS AND MATERIAL SELECTIONS
L1	PROPOSED LANDSCAPE DETAILS
COA	HISTORIC DISTRICT COMMISSION CERTIFICATE OF APPROVAL - JUNE 8, 2015
HDC - 2015	PREVIOUSLY APPROVED HISTORIC DISTRICT COMMISSION SUBMISSION PACKET - JUNE 3, 2015



**LOCUS:**  
99 BOW ST SUITE W,  
PORTSMOUTH, NH 03801







1) PARCEL IS SHOWN ON THE TOWN OF PORTSMOUTH ASSESSOR'S MAP 106 AS LOT 54.

2) OWNERS OF RECORD:  
MARTINGALE LLC  
3 PLEASANT ST, 4TH FLOOR  
PORTSMOUTH, NH 03801  
5868/2627

3) PARCEL IS PARTIALLY IN A FLOOD HAZARD ZONE (ZONE AE EL. 8) AS SHOWN ON FIRM PANEL 33015C0259F. EFFECTIVE DATE JANUARY 29, 2021.

4) EXISTING LOT AREA:  
9,769 S.F. TO MEAN HIGH WATER (PER PLAN REF. 3)  
0.224 ACRES TO MEAN HIGH WATER (PER PLAN REF. 3)

5) PARCEL IS LOCATED IN THE DOWNTOWN OVERLAY DISTRICT, CD5 (CHARACTER DISTRICT 5), HISTORIC DISTRICT.

6) DIMENSIONAL REQUIREMENTS: SEE CITY ZONING REQUIREMENTS.

7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSORS MAP TAX MAP 106 LOT 54 IN THE CITY OF PORTSMOUTH.

8) BOUNDARY LINES SHOWN HEREON ARE BASED SOLELY ON PLAN REFERENCE 3. EASEMENTS, RIGHTS OF OTHERS, ETC., HAVE NOT BEEN RESEARCHED OR NOTED HEREON.

9) VERTICAL DATUM IS MEAN LOWER LOW WATER (MLLW). MLLW REFERENCED ON NOAA STATION 8423005 T14A PORTSMOUTH, MLLW BEING 3.99 FEET LOWER THAN 0.0 NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTN GNSS OBSERVATIONS.

PUBLIC ACCESS  
IMPROVEMENTS  
BOW STREET  
PORTSMOUTH, N.H.

1	UPDATE EASEMENT	5/12/21
0	ISSUED FOR COMMENT	4/23/21
NO.	DESCRIPTION	DATE
REVISIONS		

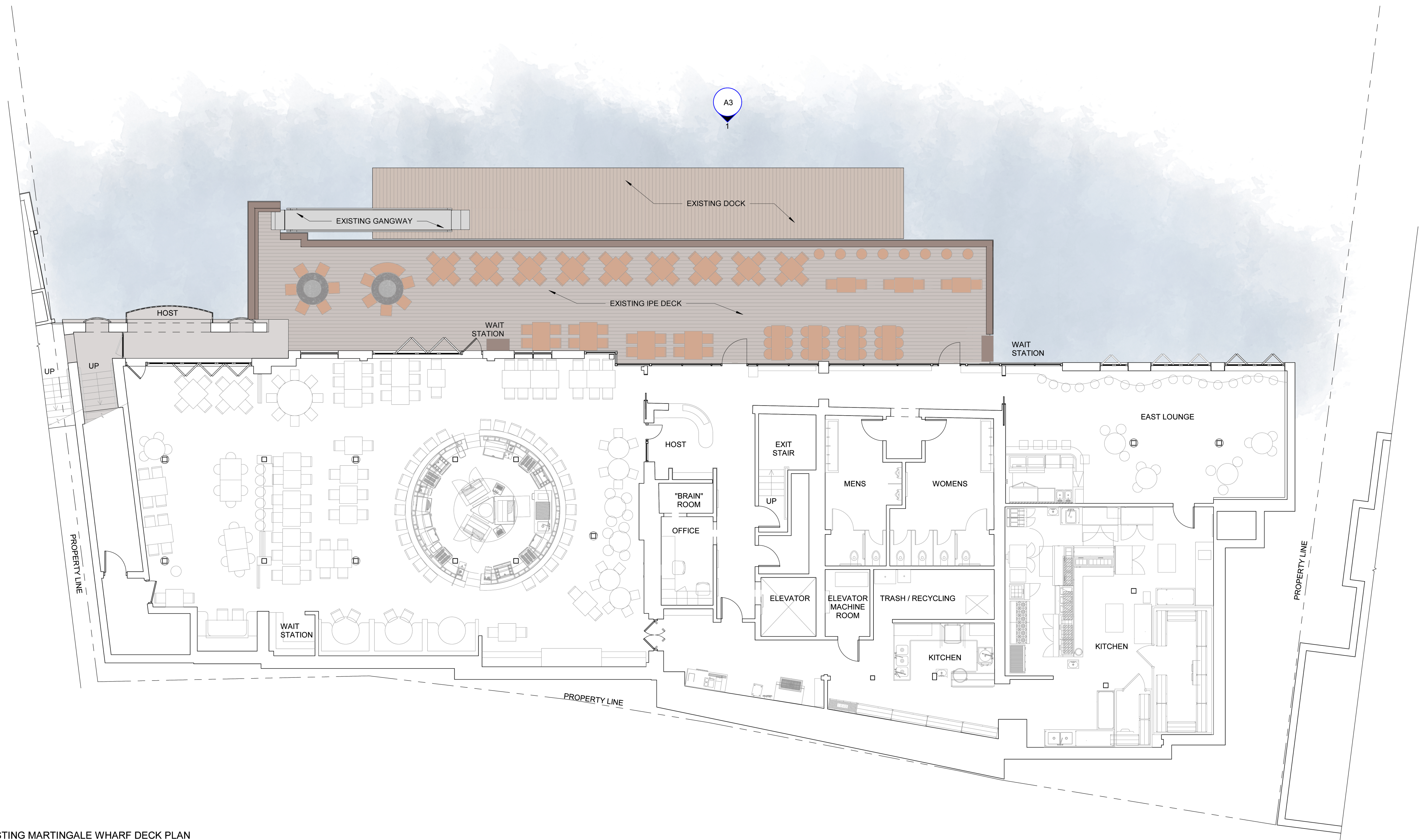
SCALE: 1" = 10'                      MARCH 2021

EXISTING CONDITIONS  
PLAN









1 EXISTING MARTINGALE WHARF DECK PLAN  
1/8" = 1'-0"







1 EXISTING NORTH ELEVATION  
1/8" = 1'-0"

DECK  
9' - 6"









TANGRAM 3DS





TANGRAM 3DS









EAST MURAL AT MARTINGALE WHARF DECK

MARTINGALE RESTAURANT: NARRATIVE FOR THE EAST END BAS RELIEF SCULPTURAL MURAL

THE CITY OF PORTSMOUTH AND THE PISCATAQUA RIVER HAS A 400-YEAR HISTORY AS AN ACTIVE HARBOR AND PORT OF CALL, AND AS A VITAL SHIP BUILDING COMMUNITY.

THE PROPOSED EAST AND WEST IMAGES ON EITHER END OF THIS DOCK EXTENSION HAVE BEEN CONCEIVED AS 'BAS RELIEF' SCULPTURES. THE DESIGN IS BASED, IN PART, ON INFORMATION ABOUT THE HISTORY OF SAILORS, BOTH WHITE AND BLACK, THAT I CULLED FROM A BOOK CALLED, **BLACK JACKS** BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER.

- THIS BAS RELIEF SCULPTURE HAS NUMEROUS SYMBOLIC ELEMENTS:
- BLACK SAILORS WERE CALLED 'BLACK JACKS', AND THEY WERE ABOUT 20% OF ALL AMERICAN SAILORS. BLACK JACKS SOUGHT SAILING AND WHALING AS A MEANS TO ACHIEVE FREEDOM FROM SLAVERY AND TO MAKE A LIVING.
  - THE SAILOR CLOTHING IS A MIX OF THE VARIOUS STYLES OF HATS AND DRESS OF THE SAILORS THROUGH THE DECADES, INCLUDING CIVIL WAR SAILORS AND THOSE ON WHALING SHIPS.
  - THE WHALE REPRESENTS THE SAILOR'S PURSUIT OF FREEDOM AND THE ECONOMY OF OIL.
  - THE ROPE REPRESENTS THE SAILOR'S STRUGGLE AND THE COOPERATION AMONG SAILORS OF ALL WALKS OF LIFE IN COMBINED PURSUIT OF THEIR INDIVIDUAL INDEPENDENCE. THE FOCUS OF THAT STRUGGLE, THE WHALE, SEEMINGLY SWIMS AWAY SUGGESTING AN OUTCOME THAT IS NOT KNOWN.
  - THE TURBULENCE OF THE WATER REPRESENTS THE INSTABILITY AND DANGERS INHERENT IN THE LIVELIHOOD OF SAILING. THE SAILORS IN THIS IMAGE ARE SEEN STANDING ON THE WATER, AND THE HINT OF A DECK, SUGGESTING THEIR FATE AND SAFETY WERE ALWAYS IN QUESTION.
  - THE SHIP IS A TYPICAL AMERICAN COMMERCIAL SCHOONER OF THE 1800'S WITH NUMEROUS SAILS AND RIGGING.
  - THE TOWER OF THE BRIDGE IN THE BACKGROUND IS THE CURRENT SAILORS MEMORIAL BRIDGE. INSERTING THE CONCEPT OF 'HISTORIC DISSONANCE' WITH THE IMAGE OF THE CONTEMPORARY BRIDGE SUGGESTS THAT HISTORY IS NOT STATIC, THE STRUGGLES OF SAILORS REMAIN, AND PORTSMOUTH IS STILL A VITAL SEAPORT. THE BRIDGE WILL ALSO BE SEEN FROM THIS VIEW.

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT

PUBLIC DECK: NARRATIVE FOR THE WEST END BAS RELIEF SCULPTURAL MURAL

JUST AS WITH THE PROPOSED EAST IMAGE, THE IMAGE ON THE WEST END OF THE DOCK EXTENSION HAS BEEN CONCEIVED AS A 'BAS RELIEF' SCULPTURE. THIS DESIGN IS ALSO BASED, IN PART, ON INFORMATION ABOUT THE HISTORY SAILORS, BOTH WHITE AND BLACK, CULLED FROM A BOOK CALLED, **BLACK JACKS** BY A UNH HISTORY PROFESSOR W. JEFFREY BOLSTER

THE WEST SCULPTURE WILL HAVE DIRECT ACCESS BY THE PUBLIC FROM A STAIR SYSTEM THAT EXTENDS FROM BOW STREET ONTO A PUBLIC DECK THAT LOOKS NORTH UP THE PISCATAQUA RIVER. THERE WILL OVER 32 LINEAR FEET OF BUILT-IN BENCHES ON THIS DECK. IN THIS IMAGE, A PROPOSED BENCH IS IN THE FOREGROUND AND RUNS THE LENGTH OF THE DOCK ABOUT 16'. THE SAILOR FIGURES ARE LIFE-SIZE AND STAND BEHIND THE BENCH AS THE TOURISTS SIT ON THE BENCH. A PERFECT 'SELFIE' OPPORTUNITY.

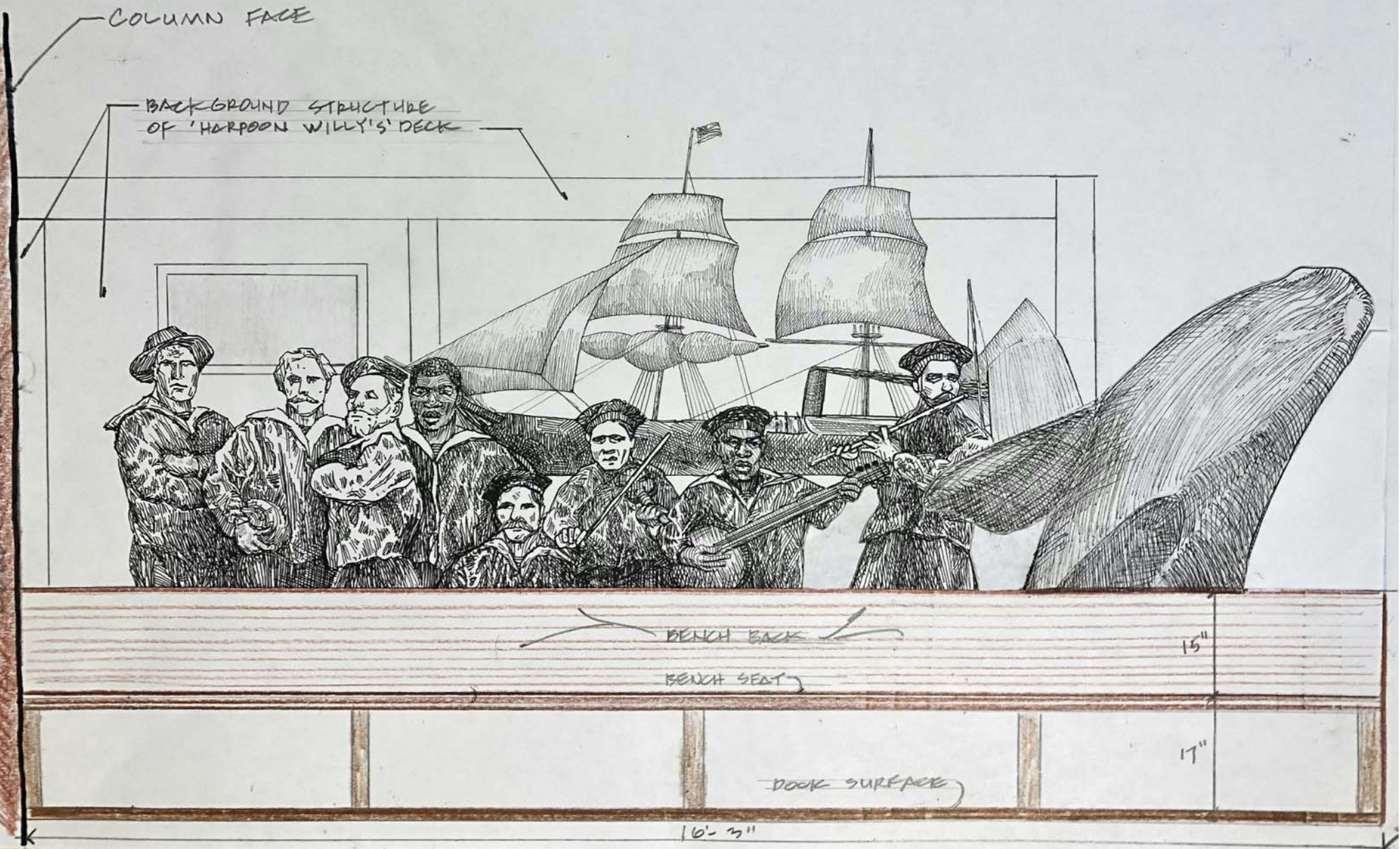
THE THEME OF THIS BAS RELIEF IS THAT OF SAILORS AT REST AND PLAY, THE OPPOSITE THEME OF THE EAST SCULPTURE. AS HARD AS SAILORS WORKED IN THIS DANGEROUS OCCUPATION, THERE WERE TIMES OF SLACK WIND OR EXTENDED PORT STAYS THAT ALLOWED SAILORS TIME TO RELAX. MUSIC WAS IMPORTANT TO SAILORS AND CONSEQUENTLY THEY INVENTED THE SHANTI WORK SONGS, SUNG TO AID IN COOPERATIVE TASKS SUCH AS LOADING AND UNLOADED THE VESSELS.

THE HISTORIC BOAT IN THE BACKGROUND IS ONE OF THE QUINTESSENTIAL VESSELS OF THE SHIPYARD, THE KEARSARGE, ORIGINALLY BUILT DURING THE CIVIL WAR HAS HAD NUMEROUS NAMESAKES BUILT SINCE THEN. AND FINALLY, EVEN THE WHALE, UNLIKE THE ONE BEING PURSUED IN THE EAST IMAGE, CAN BE SEEN FREE OF ENCUMBRANCES AS IT LEAPS OUT OF THE WATER HEADING OUT TO SEA.

TERRENCE PARKER, ARTIST AND LANDSCAPE ARCHITECT



WEST MURAL AT PUBLIC DECK



WEST MURAL AT PUBLIC DECK - SKETCH



EAST MURAL AT MARTINGALE WHARF DECK - SKETCH

MARTINGALE WHARF DECK EXPANSION

99 BOW ST. SUITE W  
PORTSMOUTH, NH 03801

PERSPECTIVES OF EAST AND WEST MURAL



terra firma  
landscape architecture  
165 a court street - portsmouth, nh 03801  
office: 603.430.8368 | terrence@terrefirmalandarch.com

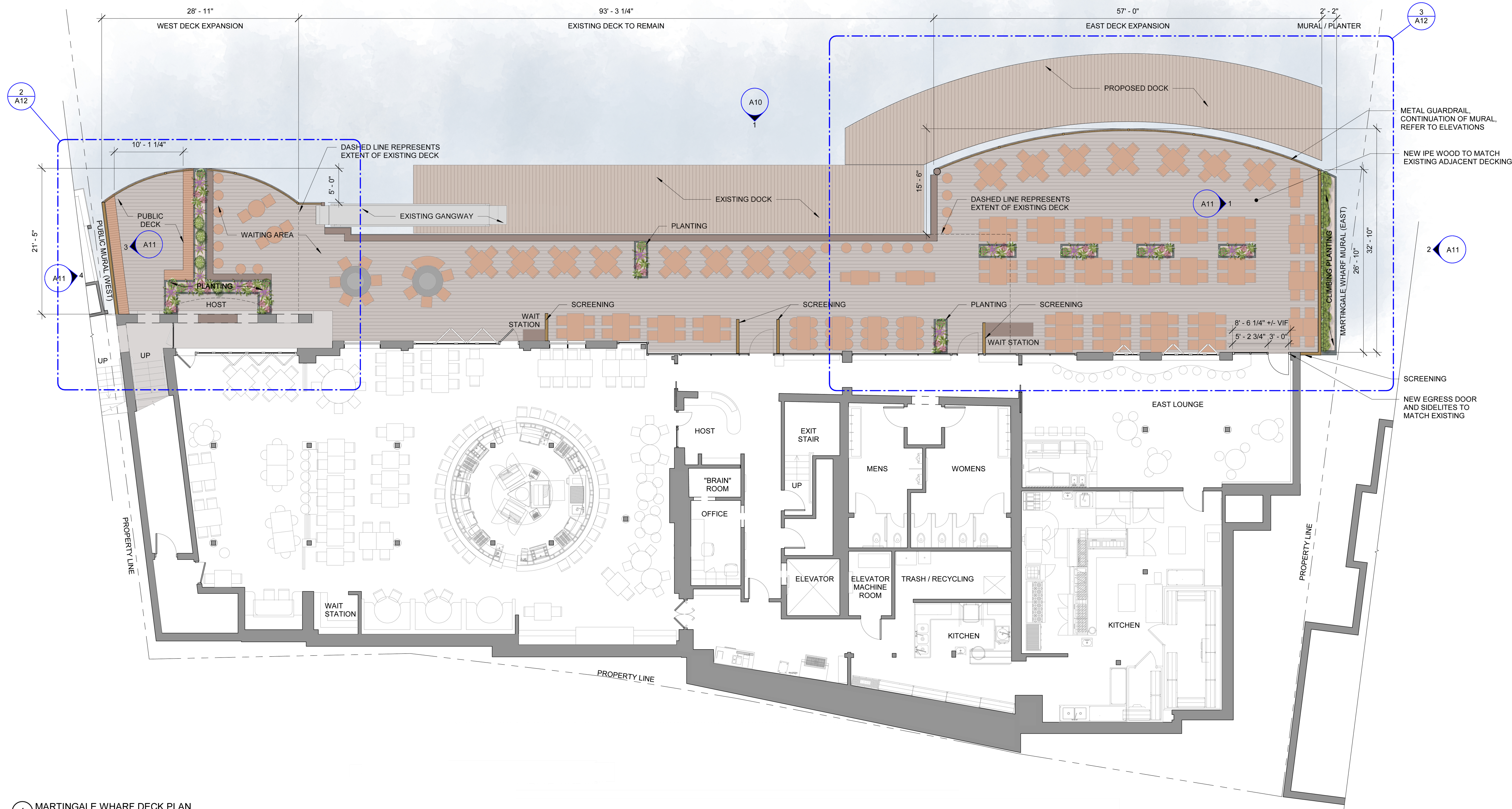


McHENRY ARCHITECTURE  
4 Market Street  
Portsmouth, New Hampshire

A8

06/04/2021  
NOT TO SCALE  
RD / JJ





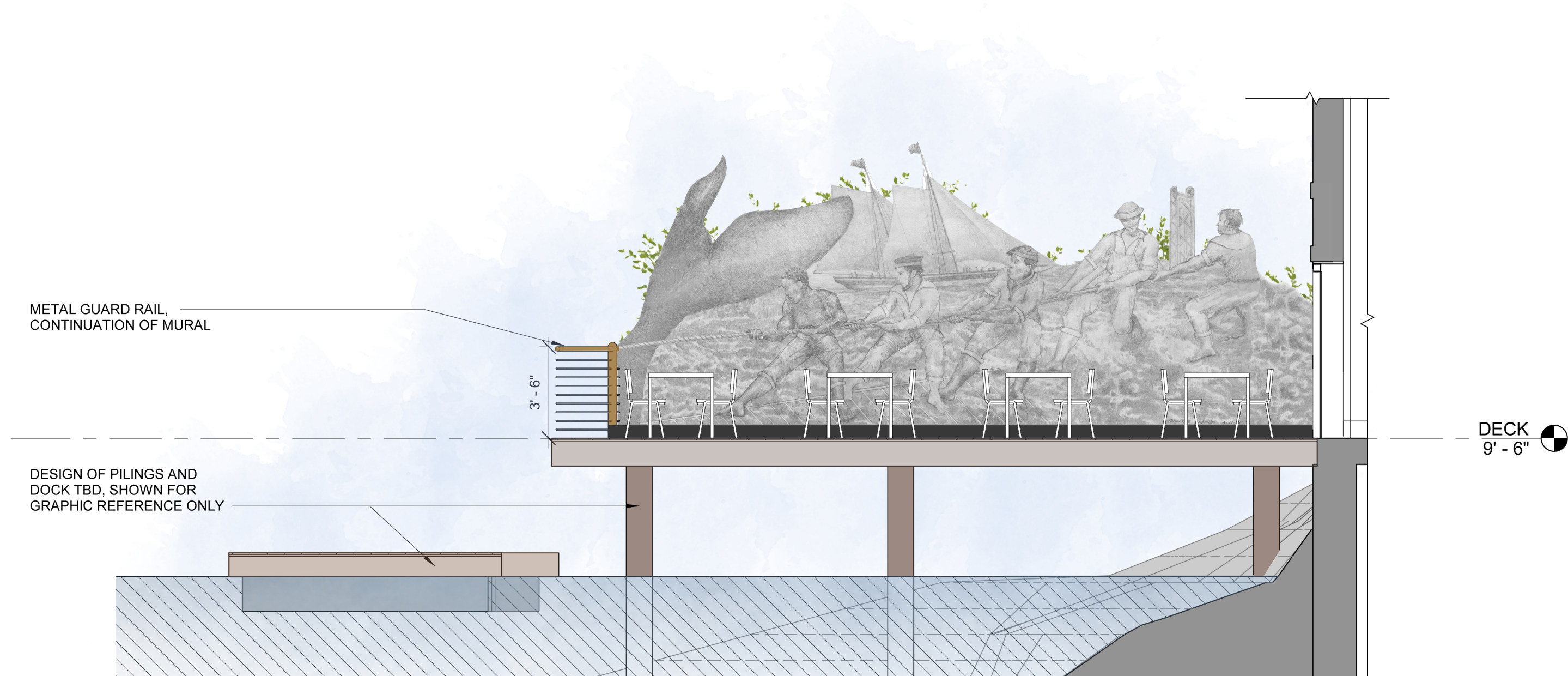
1 MARTINGALE WHARF DECK PLAN  
1/8" = 1'-0"



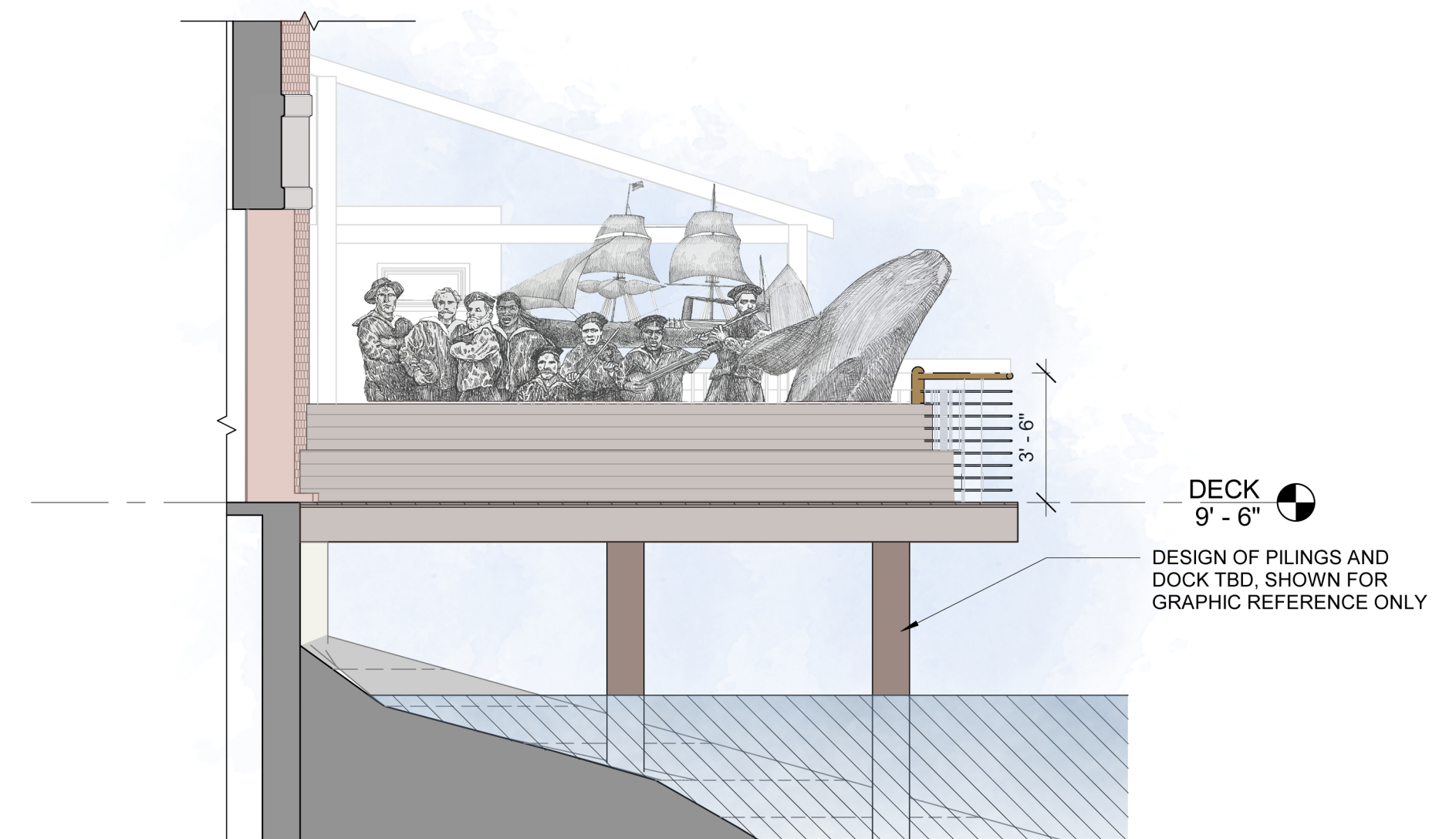


1 PROPOSED NORTH ELEVATION  
1/8" = 1'-0"

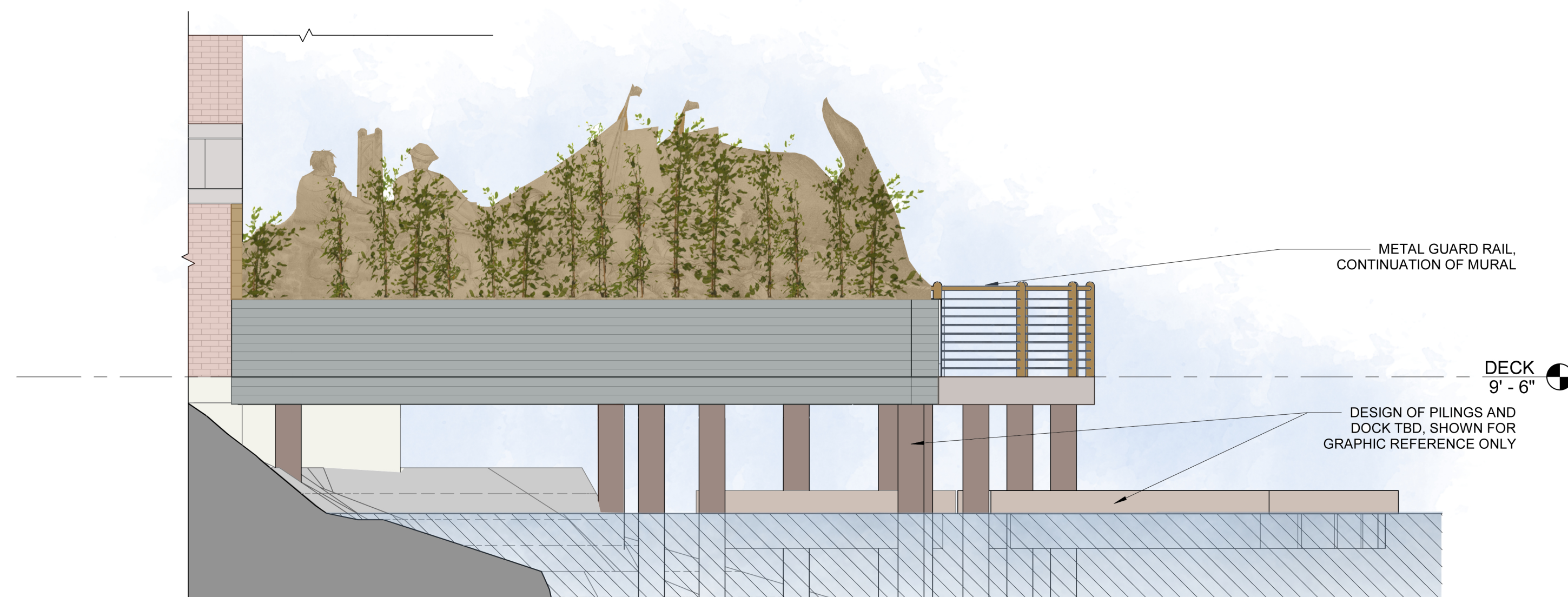




1 ELEVATION AT MARTINGALE WHARF MURAL (LOOKING EAST)  
1/4" = 1'-0"



3 ELEVATION AT PUBLIC MURAL (LOOKING WEST)  
1/4" = 1'-0"

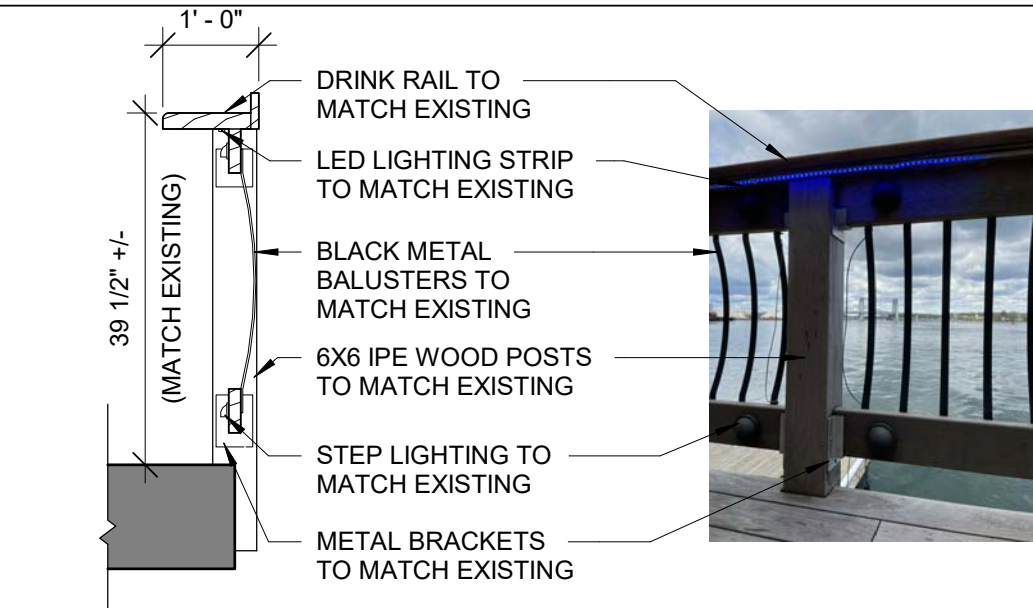


2 EAST ELEVATION (BACKSIDE OF MARTINGALE WHARF MURAL)  
1/4" = 1'-0"

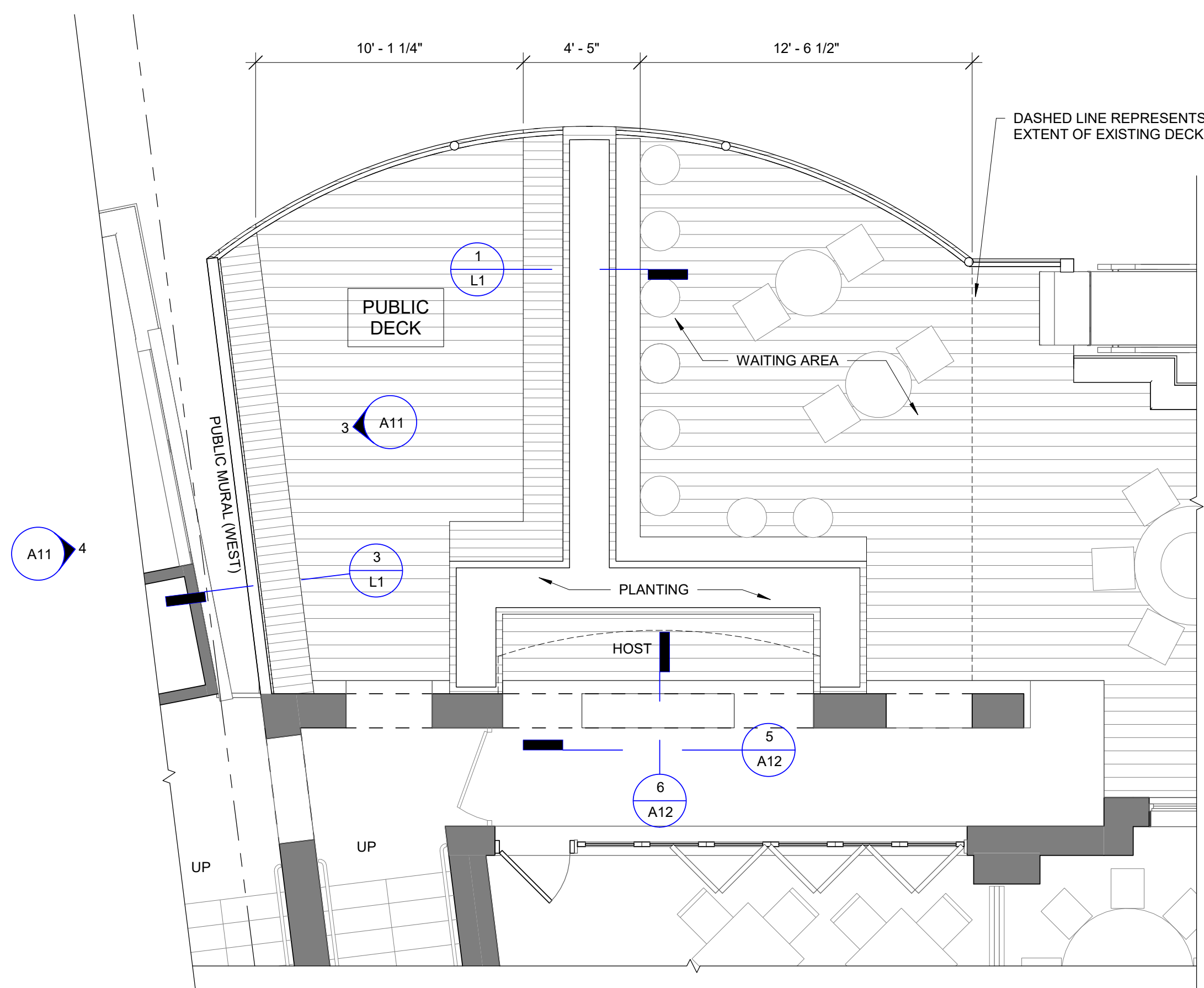


4 WEST ELEVATION (BACKSIDE OF PUBLIC DECK MURAL)  
1/4" = 1'-0"

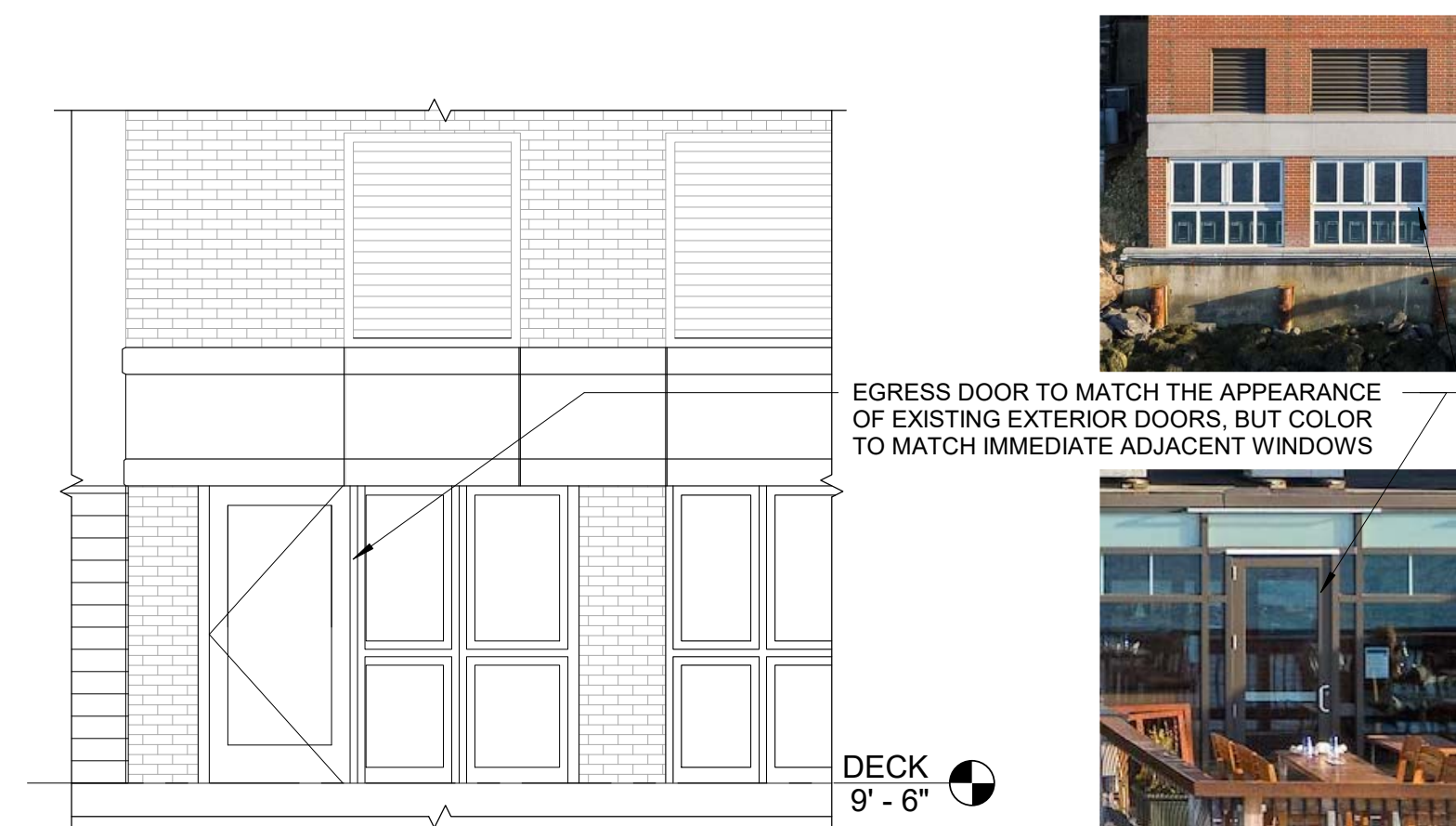




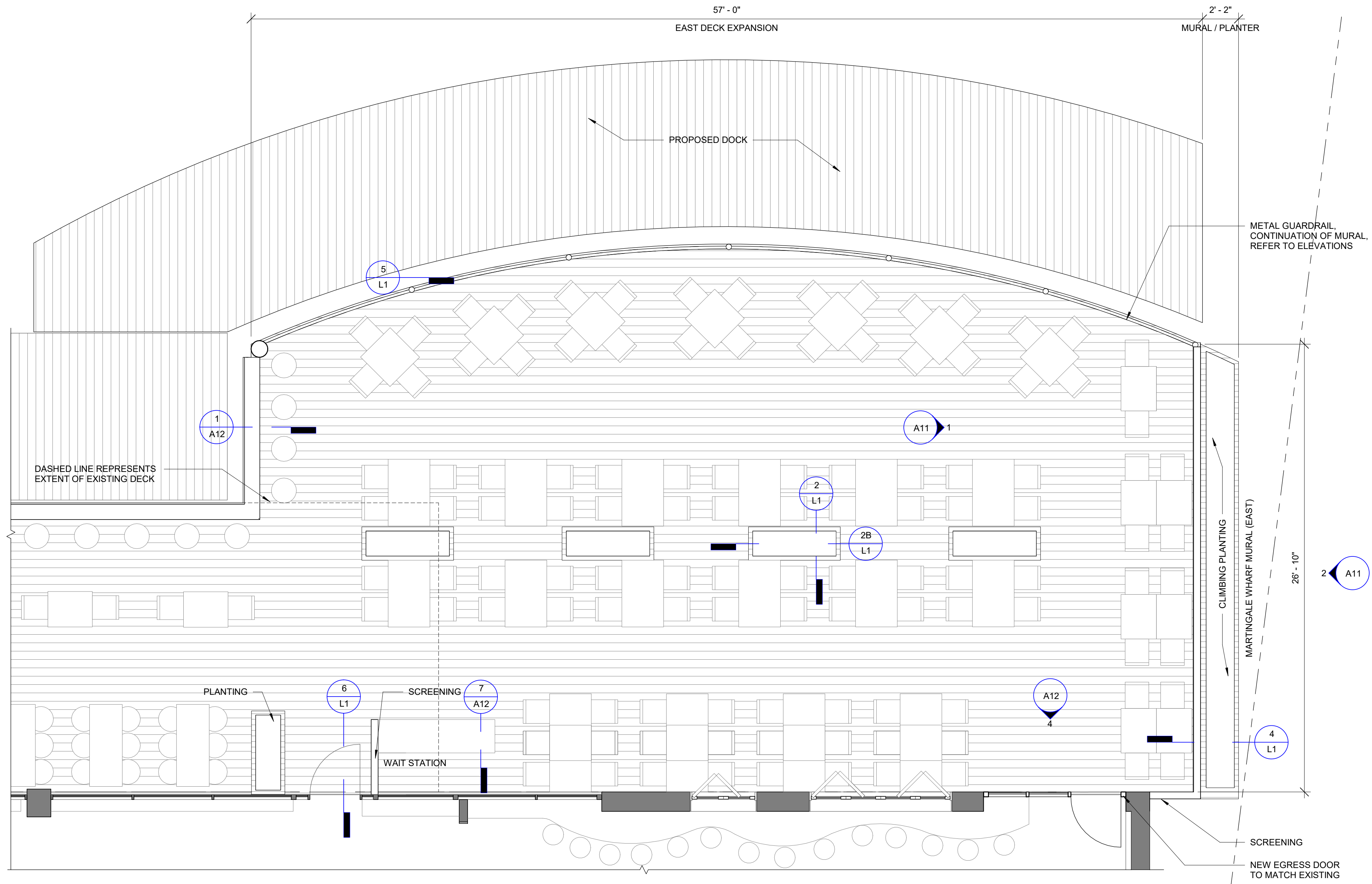
1 EXISTING DRINK RAIL EXTENSION SECTION DETAIL  
1/2" = 1'-0"



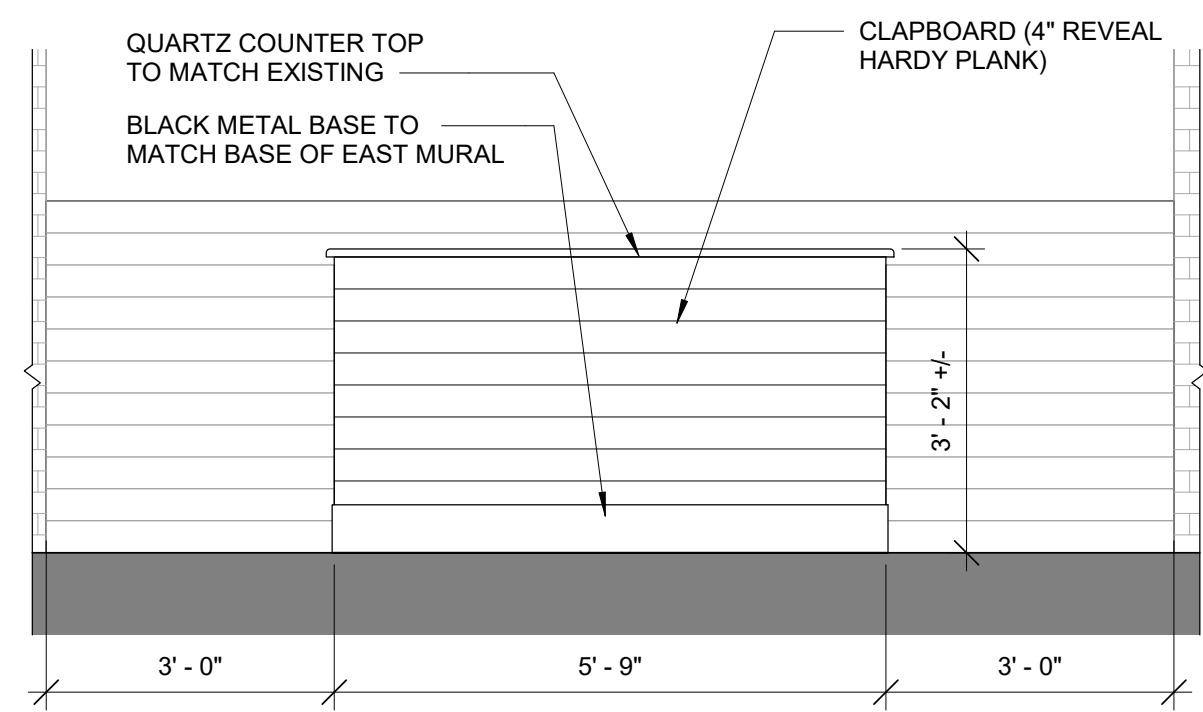
2 ENLARGED PUBLIC DECK PLAN  
1/4" = 1'-0"



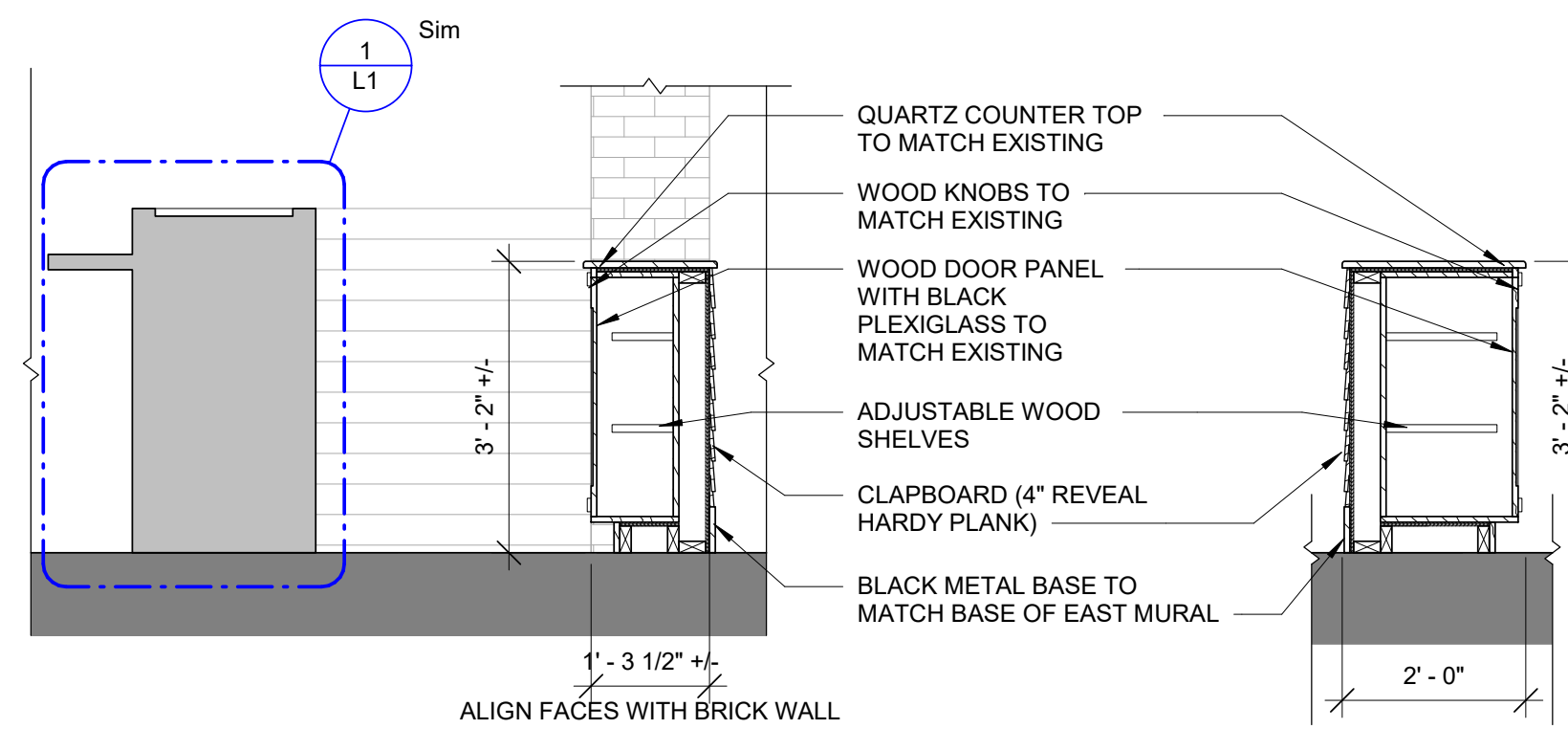
4 EGRESS DOOR ELEVATION  
1/4" = 1'-0"



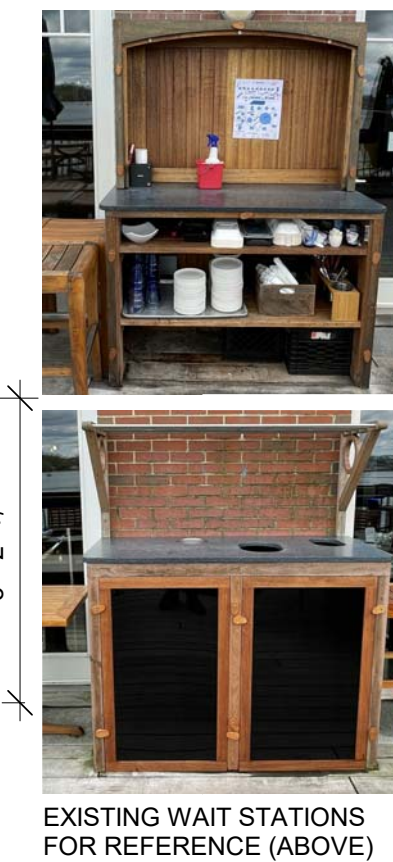
3 ENLARGED MARTINGALE WHARF DECK EXPANSION PLAN  
1/4" = 1'-0"



5 ELEVATION AT HOST STATION  
1/2" = 1'-0"



6 SECTION THROUGH HOST STATION  
1/2" = 1'-0"



7 SECTION THROUGH TYPICAL WAIT STATION  
1/2" = 1'-0"

## MARTINGALE WHARF DECK EXPANSION

99 BOW ST. SUITE W  
PORTSMOUTH, NH 03801

## ENLARGED PLANS, ELEVATIONS, AND DETAILS



A12

PRINTED AT 1/2 SCALE ON 11X17 PAPER

06/04/2021  
AS INDICATED  
RD / JJ



Pitch LED Indoor/Outdoor Wall Sconce  
By Tech Lighting



Product Options

Finish: ~~Black~~ Bronze  
Voltage: 120 Volt - 277 Volt

Details

- May be mounted up or down
- Marine-grade powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing
- Material: Die-Cast Metal
- ADA compliant, Dark Sky compliant, Title 24 compliant
- ETL Listed Wet
- Marine Grade
- Warranty: 5 years
- Made In China

Dimensions

120 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs  
277 Volt Option Fixture: Width 5", Height 5", Depth 3.9", Weight 1.66Lbs

Lighting

- 120 Volt Option: 26.1 Watt (823 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 3000K Lifespan: 70000 hours
- 277 Volt Option: 26.1 Watt (823 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 3000K Lifespan: 70000 hours

Additional Details

Product URL: <https://www.lumens.com/pitch-led-indoor-outdoor-wall-sconce-by-tech-lighting-TECP90024.html>  
Rating: ETL Listed Wet

Product ID: TECP90024



WALL SCONCE AT DECK PERIMETER - OR EQUAL



Notes:  
OR EQUAL

Norfolk Outdoor Wall Sconce  
By Troy Lighting



Product Options

Size: ~~Small~~ Medium ~~Large~~

Details

- Finish: Marine Bronze
- Material: Solid Brass
- Shade Material: Frosted Pressed Prismatic glass
- ADA compliant
- UL Listed Wet
- Made In China

Dimensions

Small Option Fixture: Depth 3", Diameter 8"  
Medium Option Fixture: Depth 3.5", Diameter 10"  
Large Option Fixture: Depth 4.5", Diameter 13"

Lighting

- Small Option: One 40 Watt (384 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)
- Medium Option: Two 40 Watt (384 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)
- Large Option: Two 60 Watt (672 Lumens) 120 Volt E12 Candelabra Base Incandescent Lamp(s) (Not Included)

Additional Details

Product URL: <https://www.lumens.com/norfolk-outdoor-wall-sconce-by-troy-lighting-uu466059.html>  
Rating: UL Listed Wet

Product ID: uu466059



WALL SCONCE AT BUILDING - OR EQUAL



Notes:  
OR EQUAL

Thin-Line LED Wall Bar  
By SONNEMAN Lighting



Product Options

Finish: ~~Black~~ ~~White~~ Satin White  
Size: 2, 4, 6, 8  
Lighting Option: Indirect, One-Sided, Two-Sided

Details

- One sided configuration can be installed as a downlight or uplight.
- Can be mounted horizontally or vertically
- Dimmable when used with TRIAC or ELV dimmer (not included)
- Damp rated for indoor use only
- Designed by Robert Sommer in 2018
- Material: Metal
- Shade Material: Optical Acrylic
- ADA compliant
- UL Listed
- Warranty: Limited 1 Year
- Made In China

Dimensions

3 Option Backplate: Width 1", Height 1"  
3 Option Fixture: Width 30", Height 0.75", 1", Depth 3.5", Weight 4Lbs  
3 Option Shade: Width 30", Height 1", Depth 0.75"  
4 Option Backplate: Width 1", Height 1"  
4 Option Fixture: Width 48", Height 0.75", 1", Depth 3.5", Weight 7Lbs  
4 Option Shade: Width 48", Height 1", Depth 0.75"  
6 Option Backplate: Width 1", Height 1"  
6 Option Fixture: Width 72", Height 0.75", 1", Depth 3.5", Weight 9Lbs  
6 Option Shade: Width 72", Height 1", Depth 0.75"  
8 Option Backplate: Width 1", Height 1"  
8 Option Fixture: Width 96", Height 0.75", 1", Depth 3.5", Weight 13Lbs  
8 Option Shade: Width 96", Height 1", Depth 0.75"

Lighting

- 3 Option: 18 Watt (180 Lumens) 120 Volt Integrated LED: Color Temp: 3000K
- 3 Option: 36 Watt (2220 Lumens) 120 Volt Integrated LED: Color Temp: 3000K
- 4 Option: 22 Watt (1450 Lumens) 120 Volt Integrated LED: Color Temp: 3000K
- 4 Option: 44 Watt (2910 Lumens) 120 Volt Integrated LED: Color Temp: 3000K
- 6 Option: 36 Watt (2220 Lumens) 120 Volt Integrated LED: Color Temp: 3000K
- 6 Option: 72 Watt (4440 Lumens) 120 Volt Integrated LED: Color Temp: 3000K
- 8 Option: 47 Watt (3120 Lumens) 120 Volt Integrated LED: Color Temp: 3000K
- 8 Option: 94 Watt (6240 Lumens) 120 Volt Integrated LED: Color Temp: 3000K

Additional Details

Product URL: <https://www.lumens.com/thin-line-led-wall-bar-by-sonneman-lighting-SNNP202253.html>  
Rating: UL Listed

Product ID: SNNP202253



LINEAR WALL MOUNTED LIGHTING AT BUILDING TO MATCH EXISTING



Notes:  
EXTERIOR RATED EQUAL



EXISTING LINEAR WALL MOUNTED LIGHTING AT BUILDING

PL23DM Outdoor LED Path Light  
By Focus Industries



Product Options

Finish: ~~Black Texture~~ Bronze Texture

Details

- LED Lifespan: 50000 hours
- Driver is included
- Material: Aluminum
- ETL Listed Wet
- Warranty: Limited 5 Year
- Made In USA

Dimensions

Fixture: Width 2.25", Height 18", Depth 2.25", Weight 2.1Lbs

Lighting

- 4 Watt (300 Lumens) 12 Volt Integrated LED: CRI: 90 Color Temp: 3000K

Additional Details

Product URL: <https://www.lumens.com/pl23dm-outdoor-led-path-light-by-focus-industries-FOCP309793.html>  
Rating: ETL Listed Wet

Product ID: FOCP309793



AMBIENT PLANTER DOWNLIGHTS - OR EQUAL



Notes:  
OR EQUAL



IPE WOOD DECKING - MATCH EXISTING



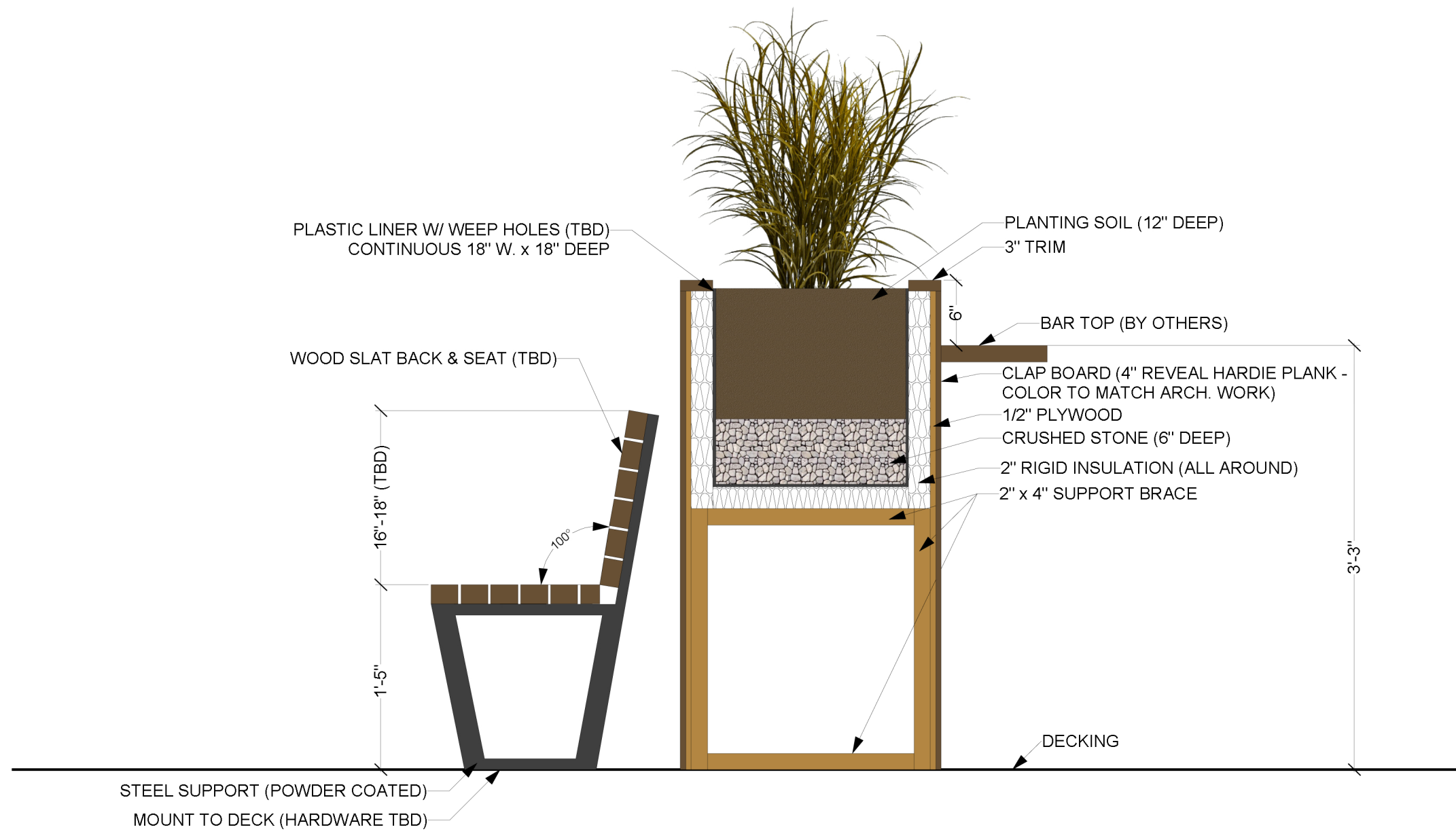
HARDIE PLANK - 4" EXPOSURE - BOOTHBAY BLUE



METAL GUARDRAIL BALUSTRADES AT EAST DECK EXPANSION - SIMILAR TO EXISTING (BLACK)

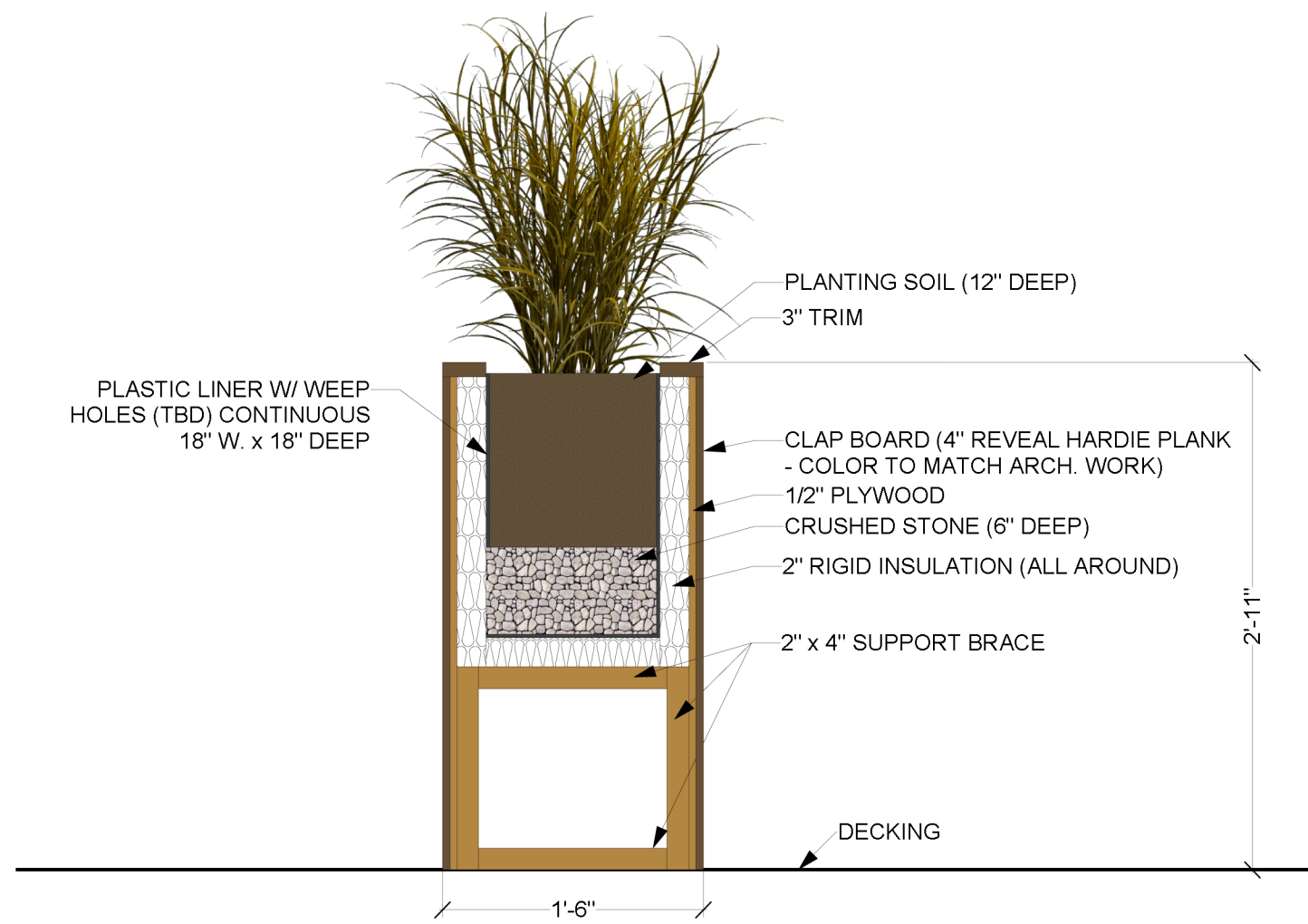






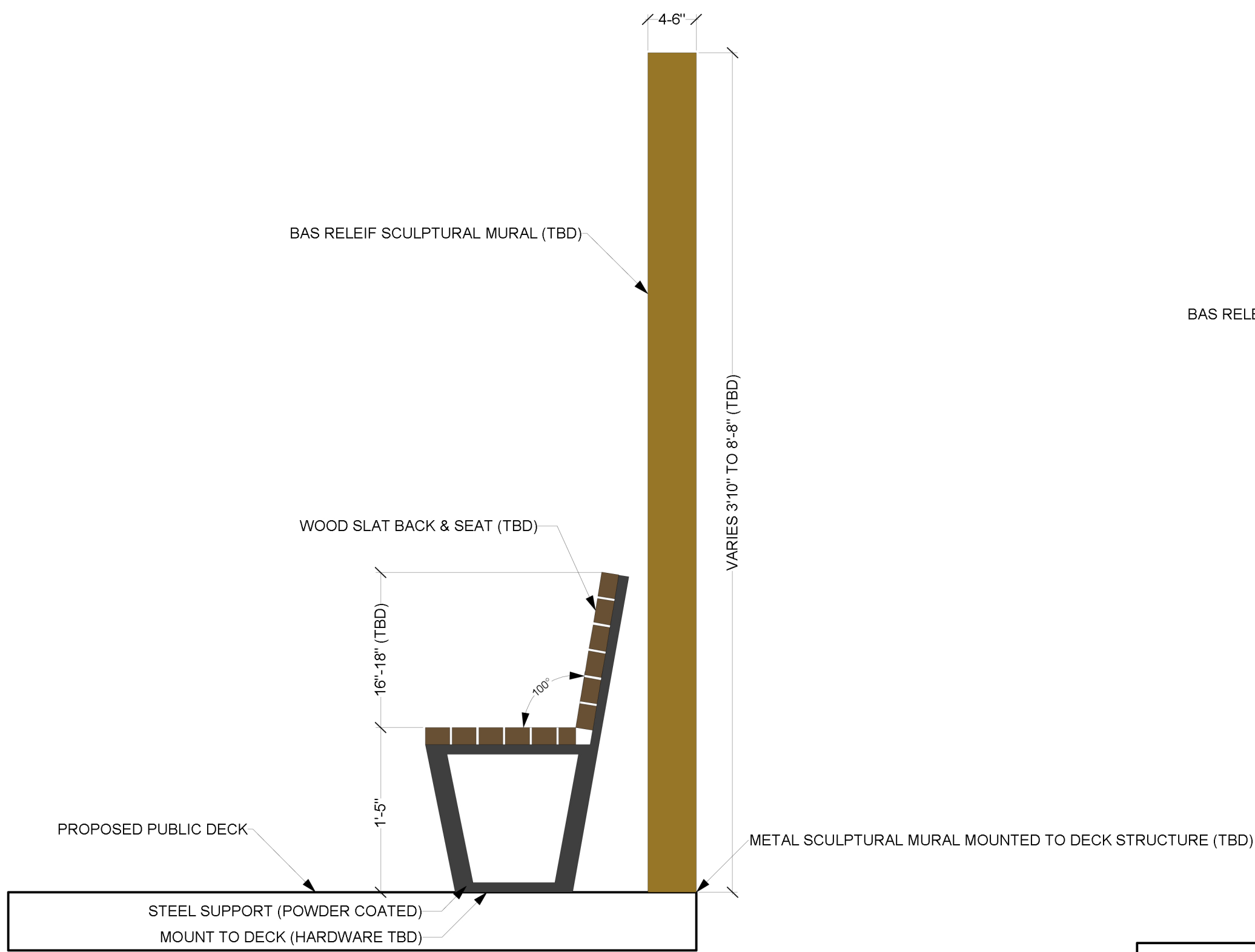
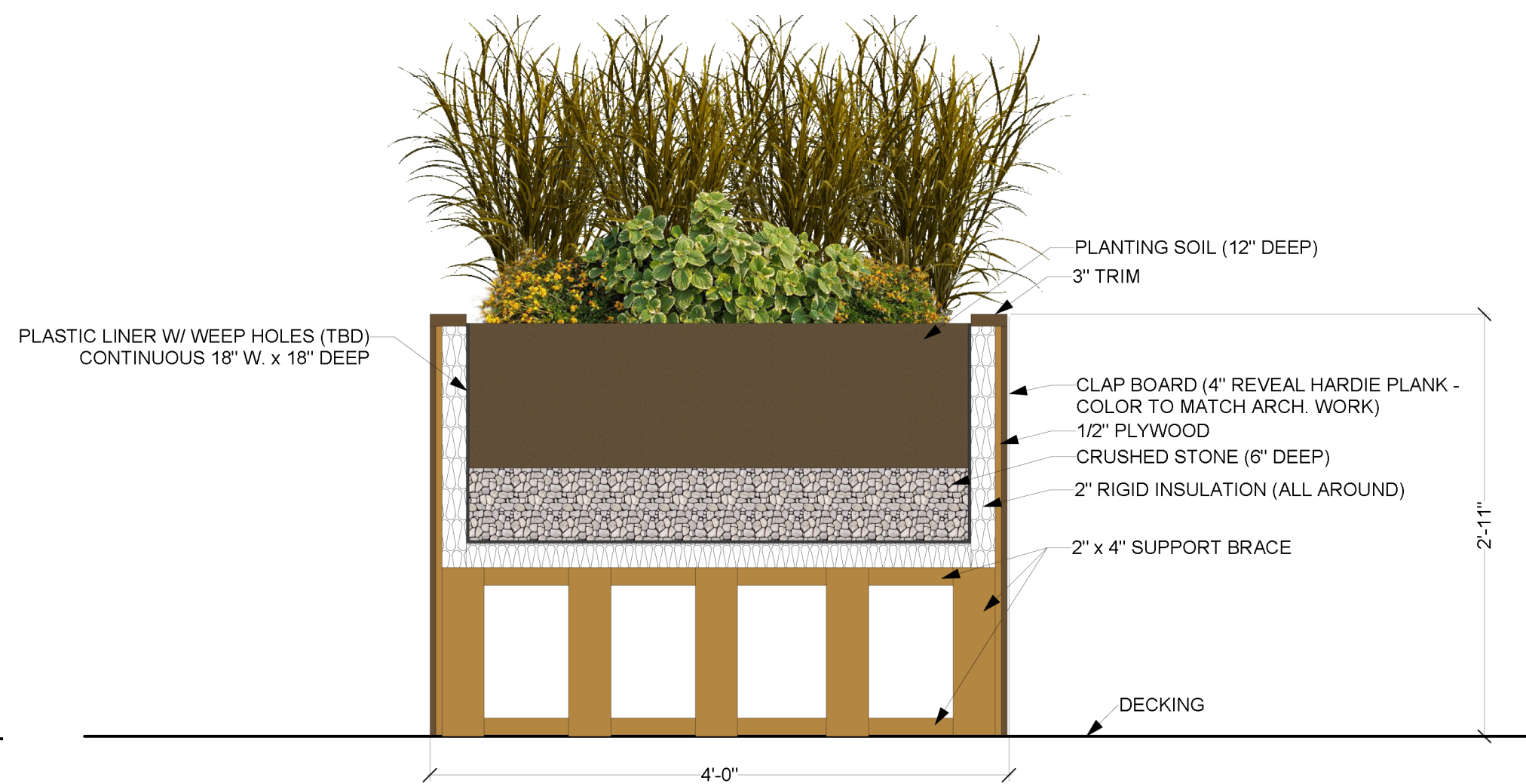
1  
L-1

**PLANTING BOX AND BAR DETAIL**  
SCALE: 1"=1'-0"



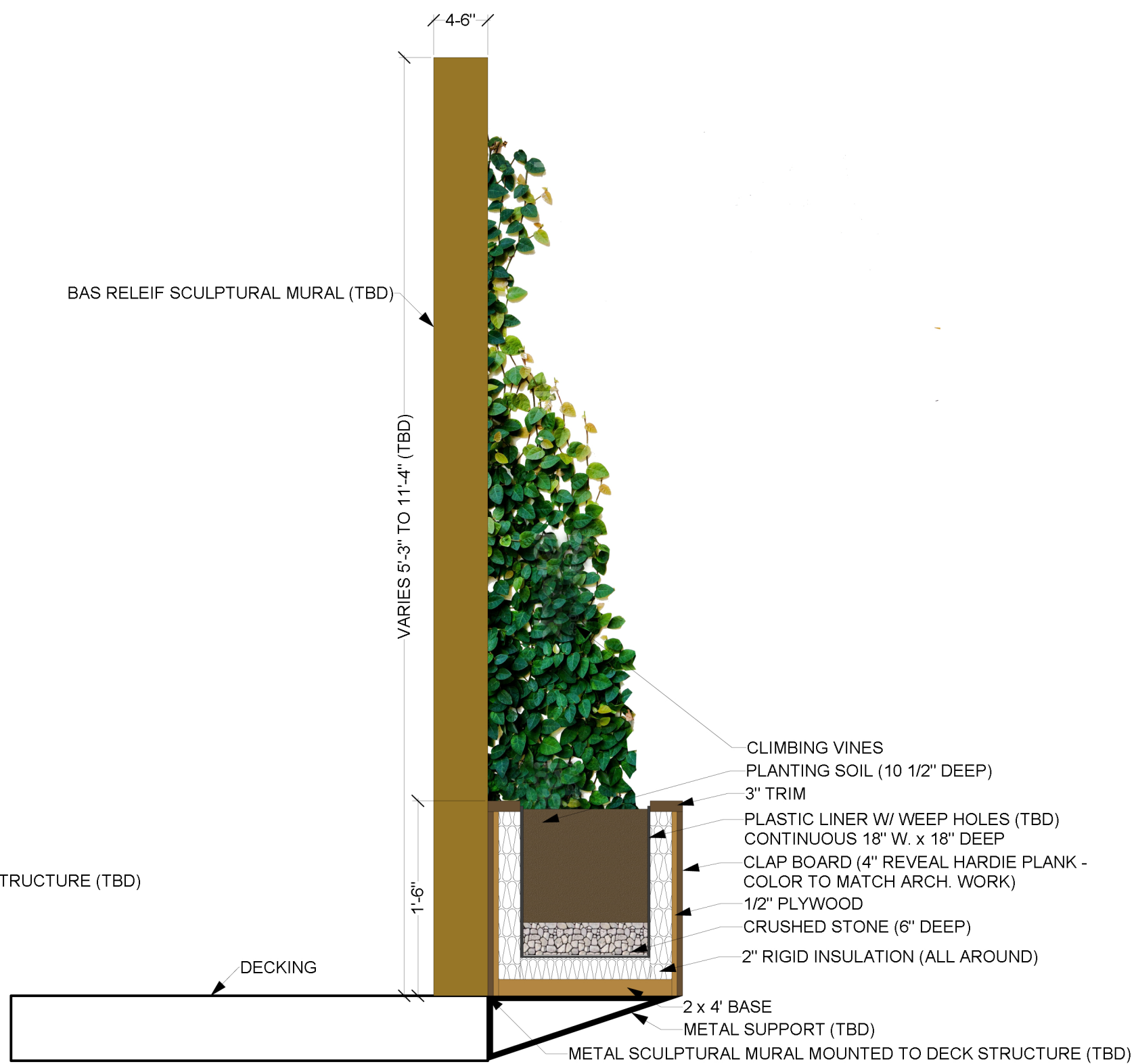
2  
L-1

**SOLITARY PLANTER (18" W. x 48" L. x 35" HT.)**  
SCALE: 1"=1'-0"



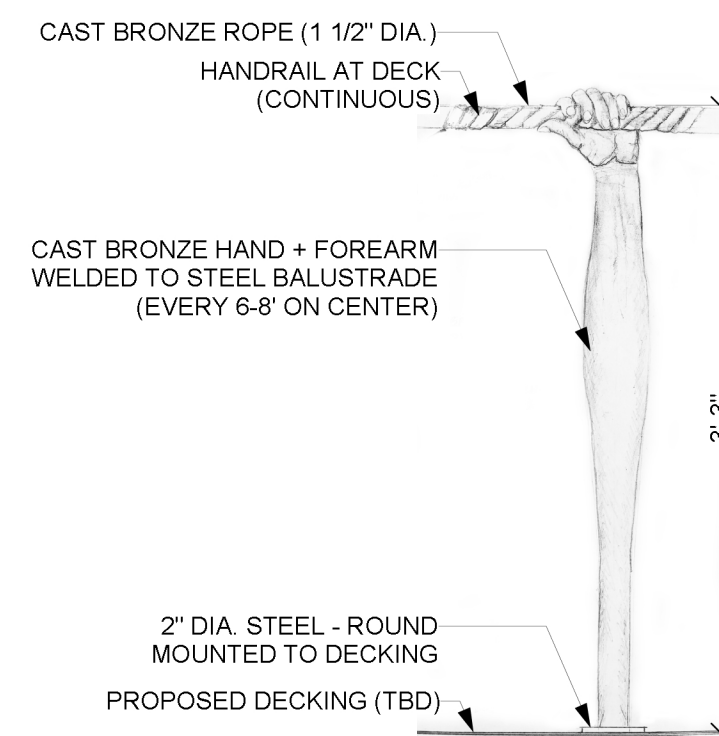
3  
L-1

**WEST BENCH AND MURAL DETAIL**  
SCALE: 1"=1'-0"



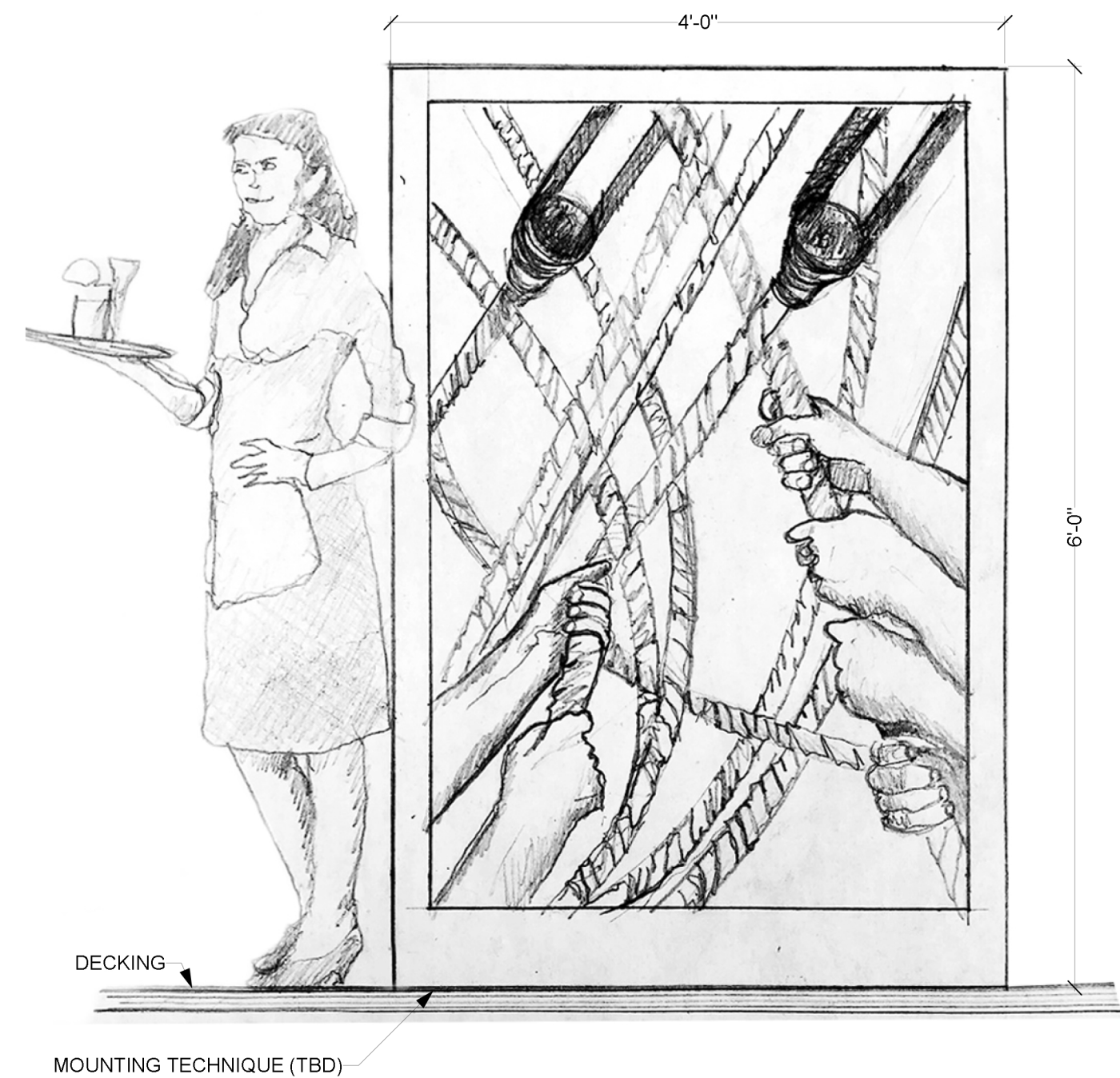
4  
L-1

**EAST BENCH AND MURAL DETAIL**  
SCALE: 1"=1'-0"



5  
L-1

**BALUSTRADE DETAIL**  
SCALE: 1"=1'-0"



6  
L-1

**METAL SCREEN PARTITION AT WAITRESS STAND**  
SCALE: 1"=1'-0"

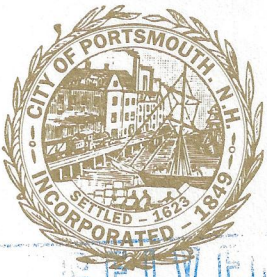




PREVIOUSLY APPROVED DECK  
EXPANSION APPLICATION FOR  
REFERENCE

JUNE 8, 2015





# CITY OF PORTSMOUTH

Community Development Department  
(603) 610-7232

Planning Department  
(603) 610-7216



**PLANNING DEPARTMENT**  
**HISTORIC DISTRICT COMMISSION**  
**CERTIFICATE OF APPROVAL**

**Date:** June 8, 2015  
  
**To:** Martingale, LLC  
P.O. Box 930  
Portsmouth, NH 03802  
  
**Re:** 99 Bow Street

The Historic District Commission considered your proposal at its meeting of June 3, 2015 wherein permission was requested to allow new construction to an existing structure (expand existing fixed pier) as per plans on file in the Planning Department.

After due deliberation, the Commission voted that the request be **approved** as presented with the following stipulation:

- 1) That this approval is contingent on the granting of a State wetland permit.

**Findings of Fact:** The proposed application meets the following purposes of the Historic District Ordinance (as applicable):

**A. Purpose and Intent:**

- ☐ Yes ☐ No - Preserve the integrity of the District
- ☒ Yes ☐ No - Maintain the special character of the District
- ☐ Yes ☐ No - Assessment of the Historical Significance
- ☒ Yes ☐ No - Complement and enhance the architectural and historic character
- ☐ Yes ☐ No - Conservation and enhancement of property values
- ☒ Yes ☐ No - Promote the education, pleasure & welfare of the District to the city residents and visitors



Page 2

Re: 99 Bow Street

June 8, 2015

The proposed application also meets the following review criteria of the Historic District Ordinance (as applicable):

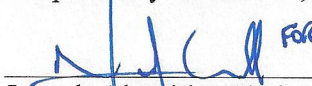
**B. Review Criteria:**

- ☐ Yes ☐ No - Consistent with special and defining character of surrounding properties
- ☐ Yes ☐ No - Relation to historic and architectural value of existing structures
- ☒ Yes ☐ No - Compatibility of design with surrounding properties
- ☐ Yes ☐ No - Compatibility of innovative technologies with surrounding properties

**PLEASE NOTE:** Prior to the issuance of a building permit, the Building Inspector will need to review and approve construction drawings/sketches so work shall not commence until the review process is complete. Applicants should note that approvals may also be required from other Committees and/or Boards prior to the issuance of a Building Permit.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Respectfully submitted,

  
\_\_\_\_\_  
Joseph Almeida, Chairman  
Historic District Commission

cc: Robert Marsilia, Chief Building Inspector  
Rosann Maurice-Lentz, Assessor  
Steve McHenry, McHenry Architecture



# MARTINGALE WHARF

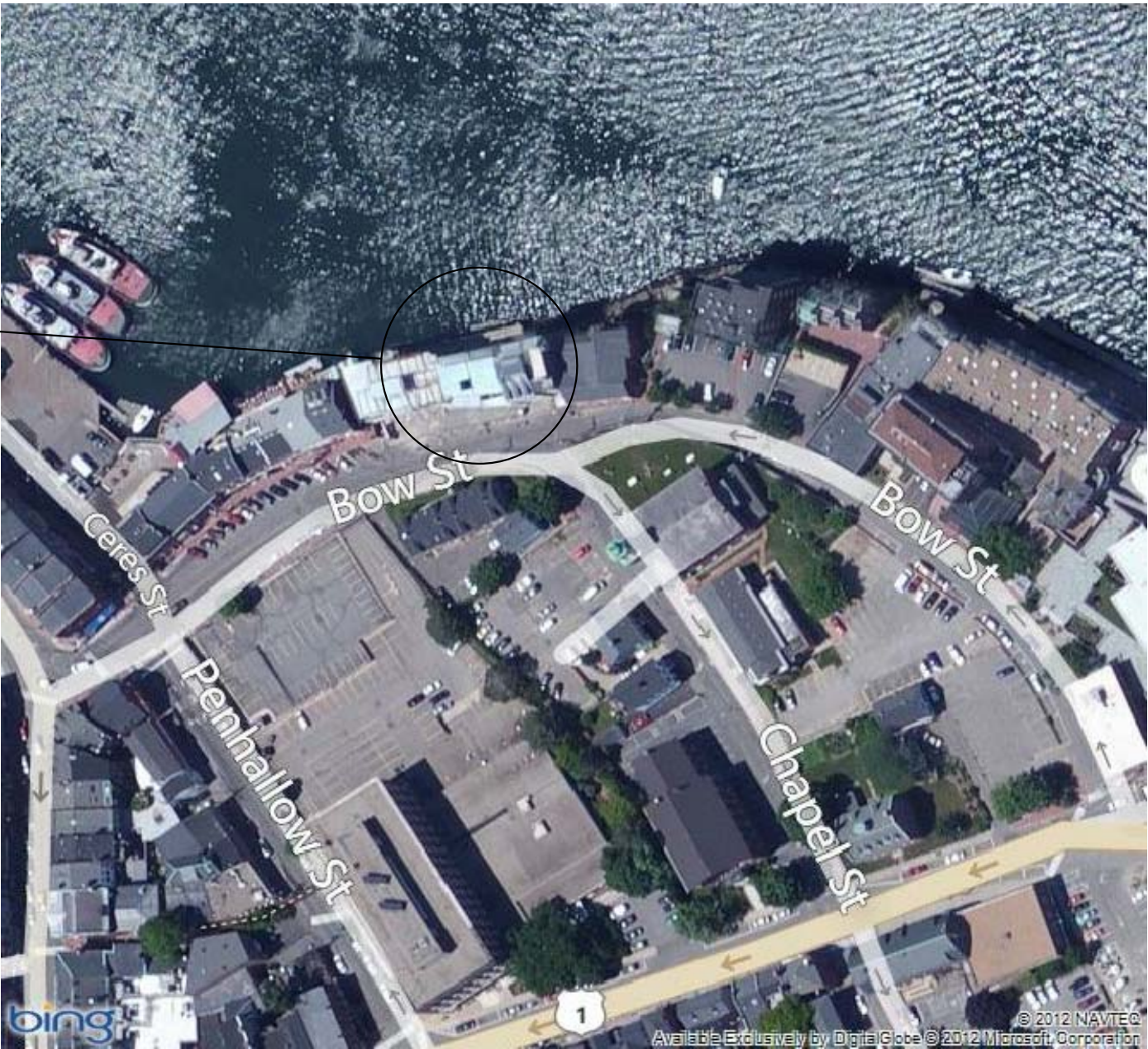
JUNE 3, 2015 - Historic District Commission, Public Hearing, Portsmouth, New Hampshire

General Project Description:

Waterfront Deck -

- Expand existing Wharf Restaurant deck
- Create a public wharf deck

EXISTING DECK



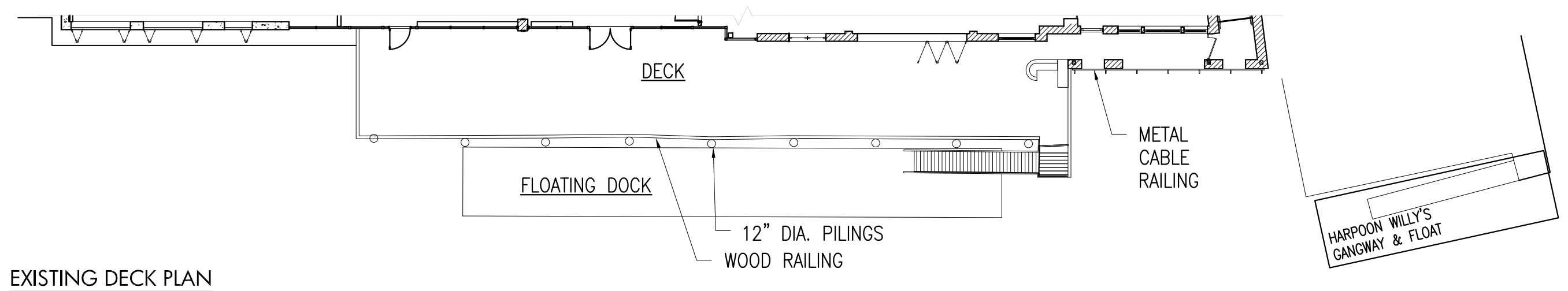




EXISTING DECK VIEW

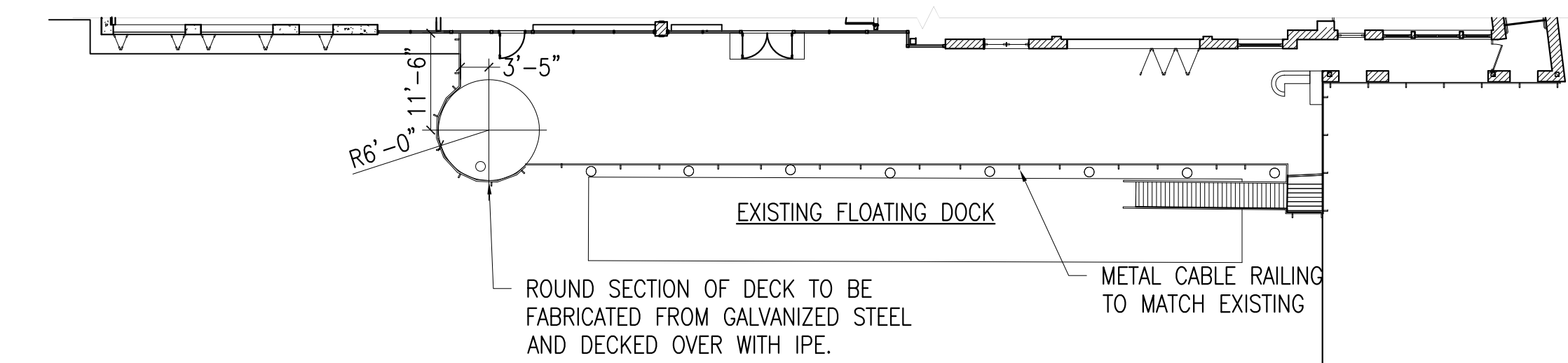
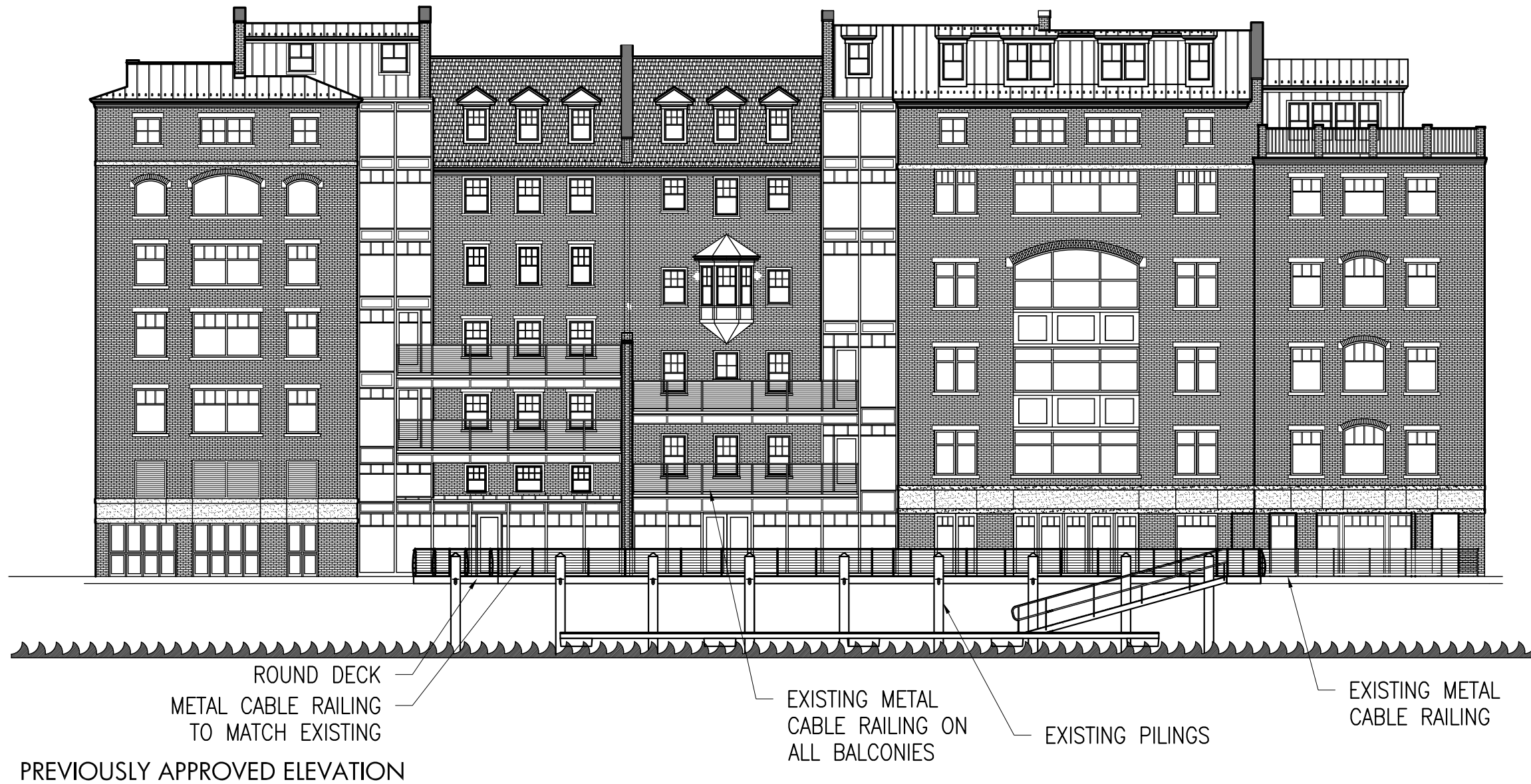






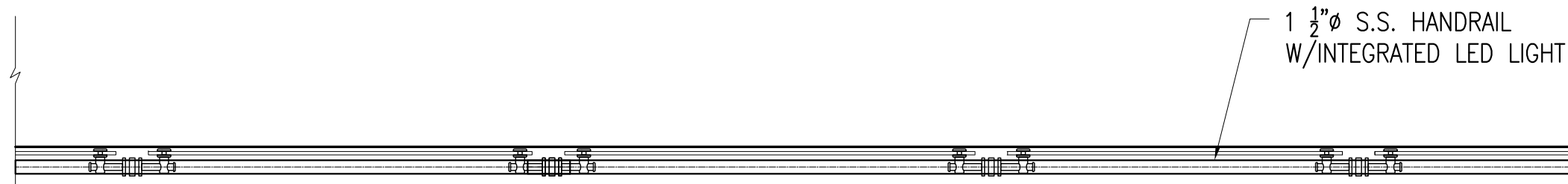
EXISTING DECK PLAN



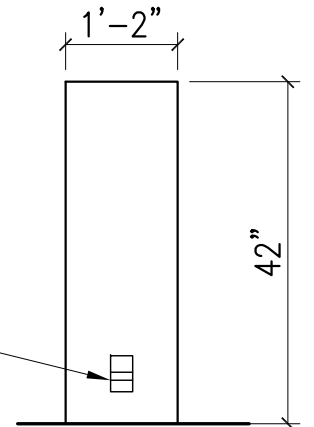
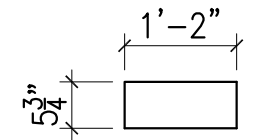


PREVIOUSLY APPROVED DECK PLAN



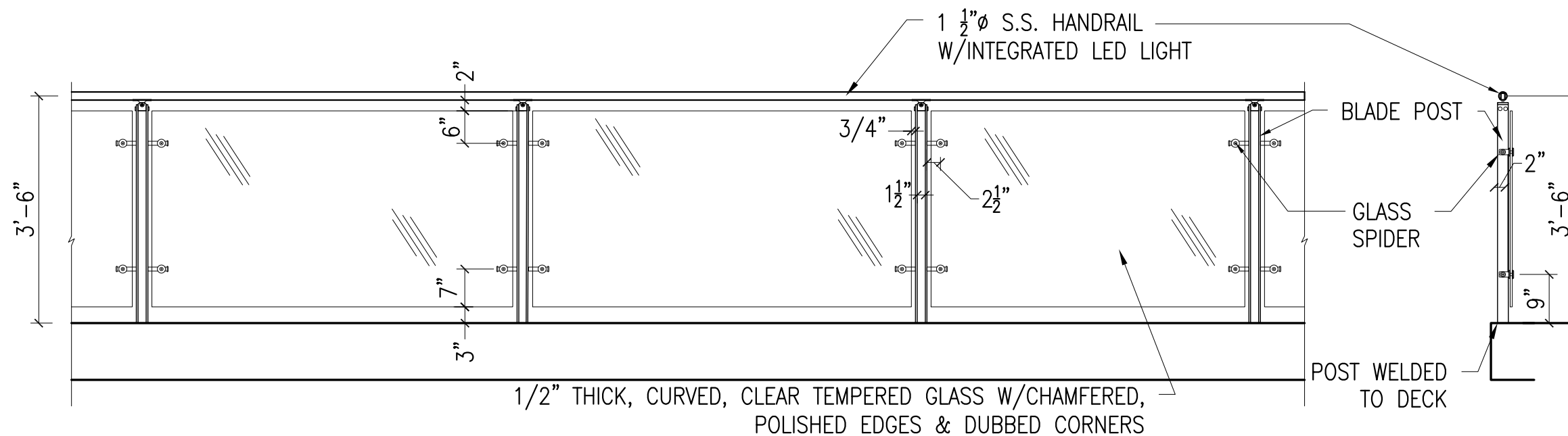


**PREVIOUSLY APPROVED GLASS GUARDRAIL PLAN DETAIL**  
 3/4"=1'-0"



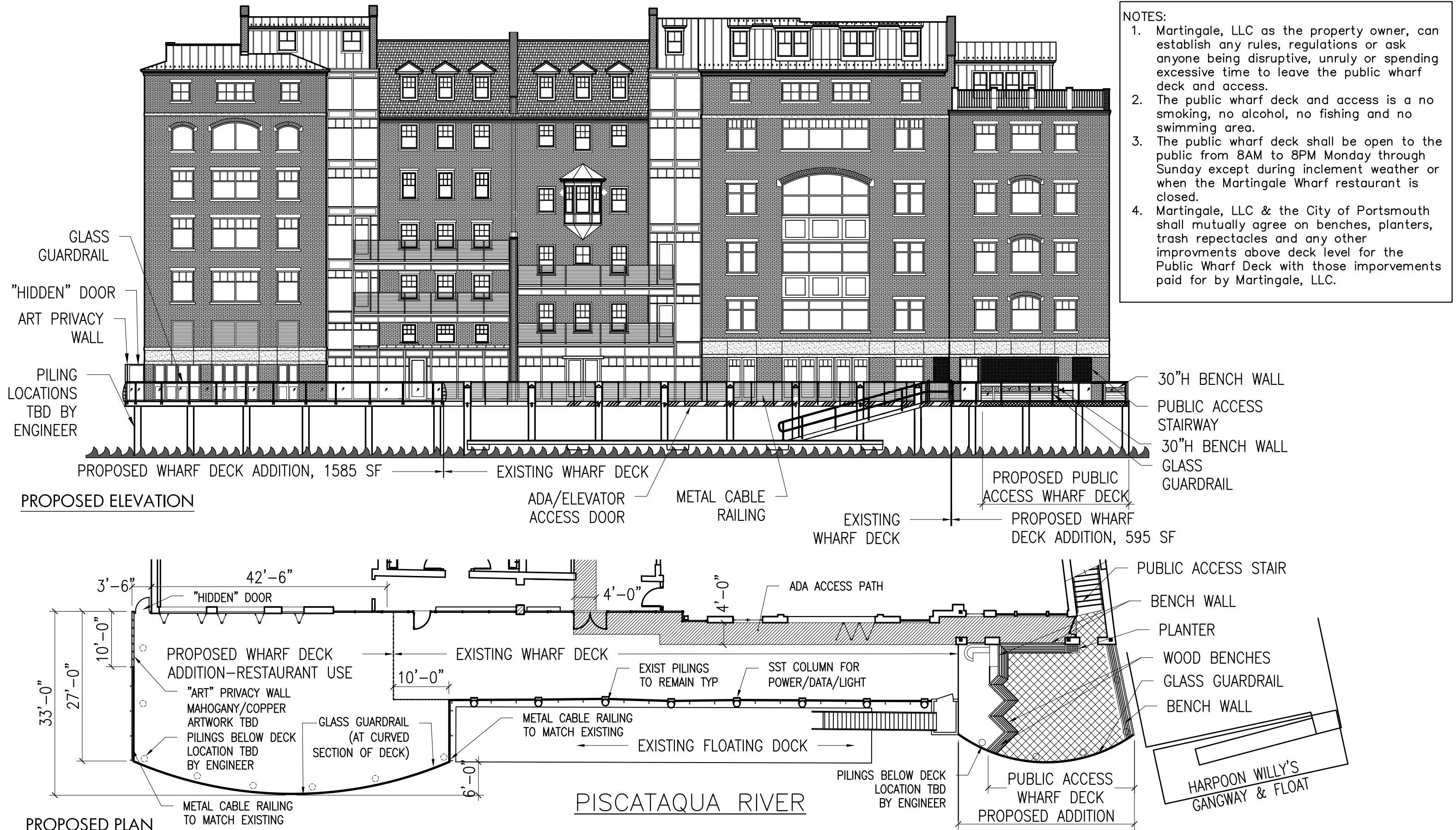
LED LIGHT DSL01  
 SATIN ALUMINUM  
 FINISH

**SS COLUMN ELEVATION**  
 1/2"=1'-0"



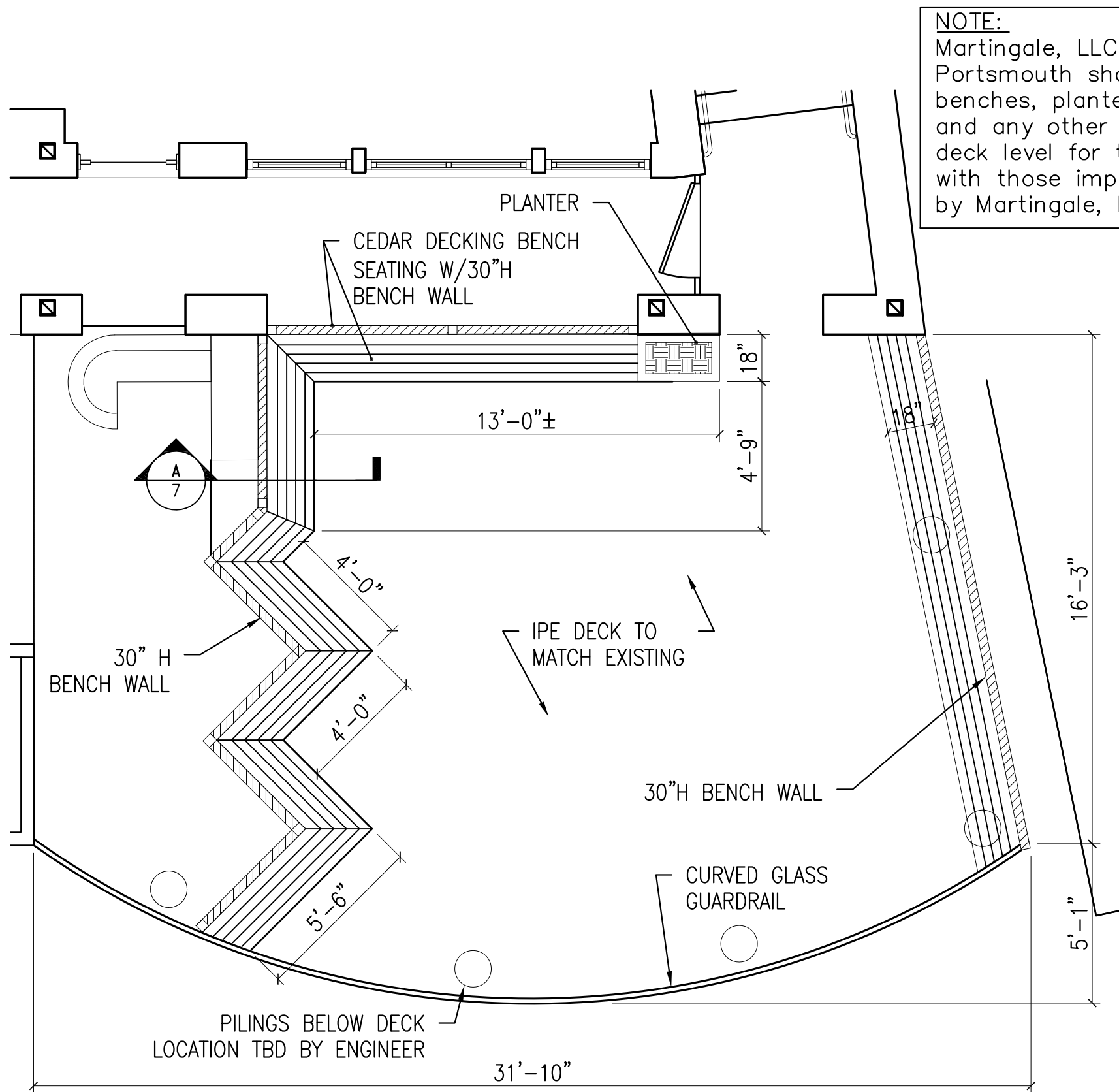
**PREVIOUSLY APPROVED GLASS GUARDRAIL ELEVATION AND SECTION**  
 1/2"=1'-0"



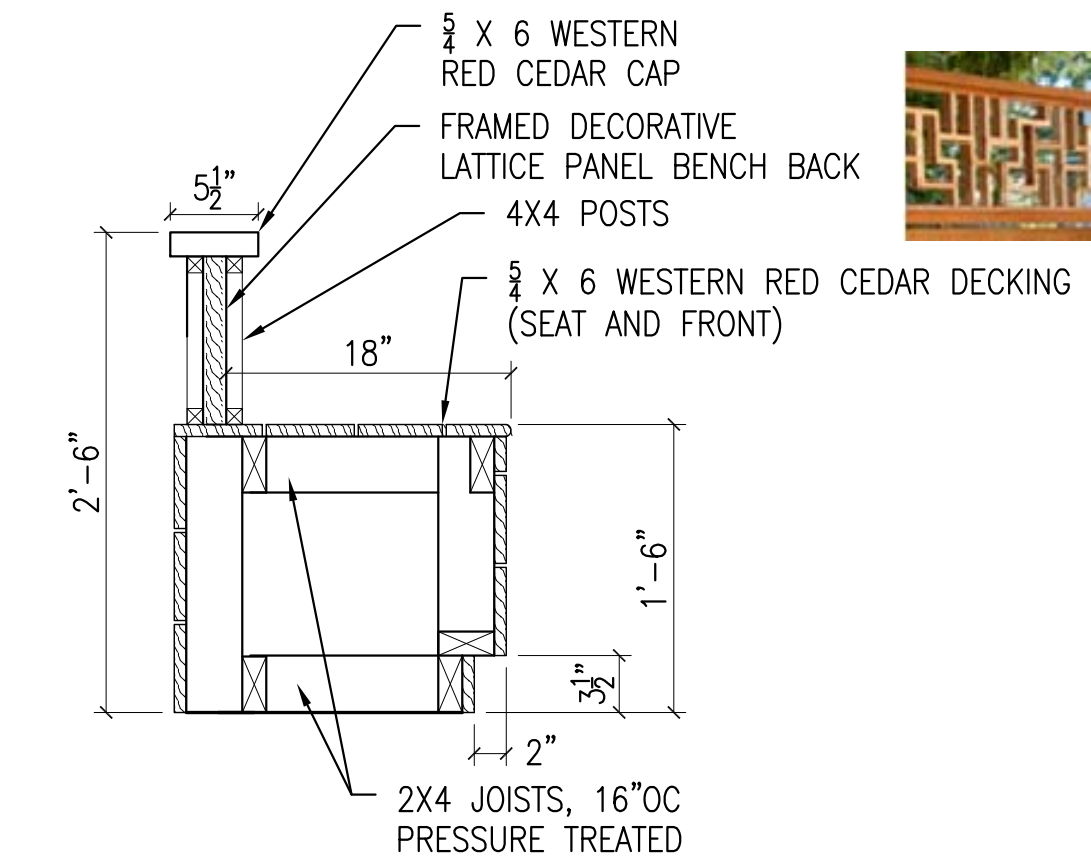
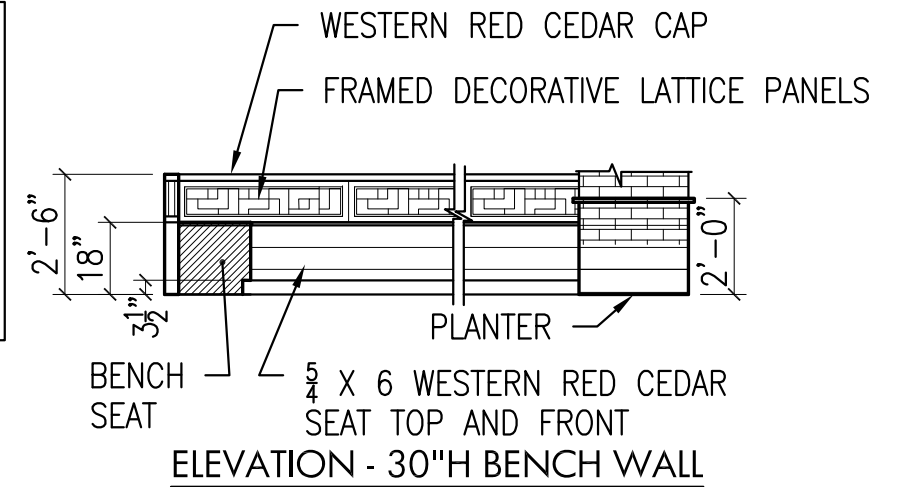


- NOTES:
1. Martingale, LLC as the property owner, can establish any rules, regulations or ask anyone being disruptive, unruly or spending excessive time to leave the public wharf deck and access.
  2. The public wharf deck and access is a no smoking, no alcohol, no fishing and no swimming area.
  3. The public wharf deck shall be open to the public from 8AM to 8PM Monday through Sunday except during inclement weather or when the Martingale Wharf restaurant is closed.
  4. Martingale, LLC & the City of Portsmouth shall mutually agree on benches, planters, trash receptacles and any other improvements above deck level for the Public Wharf Deck with those improvements paid for by Martingale, LLC.





PROPOSED ENLARGED PLAN

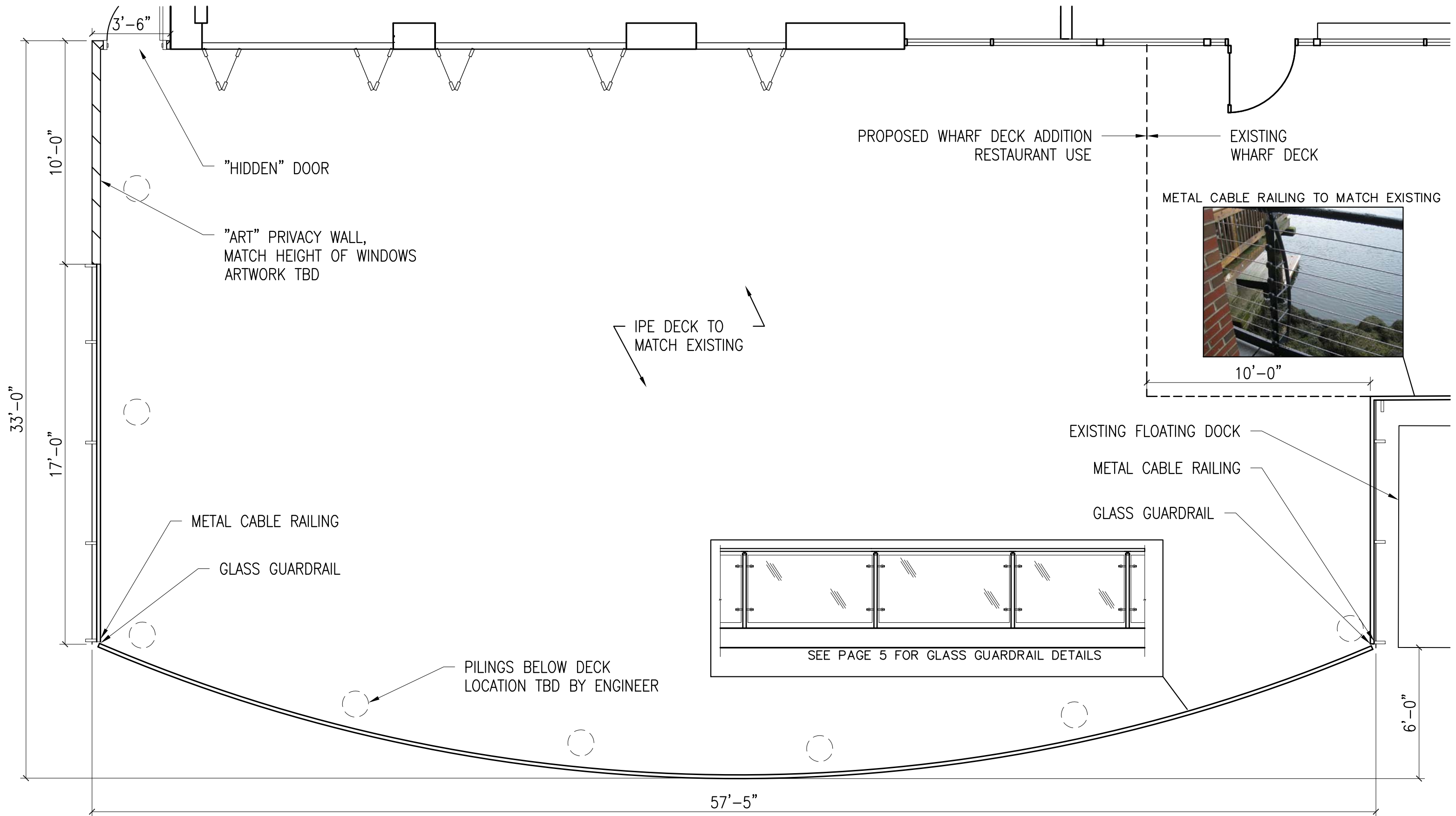


(A) SECTION @ BENCH WALL  
(PLANTER TO MATCH BENCH CONSTRUCTION)

DECORATIVE LATTICE PANEL:  
MANUFACTURER: LATTICESTIX  
PATTERN D140  
SIZE: 1507 (4' X 1'-10")  
EDGE LATTICE=45 3/4" w x 21 3/4" h x 1 1/2" d  
MATERIAL: WESTERN RED CEDAR

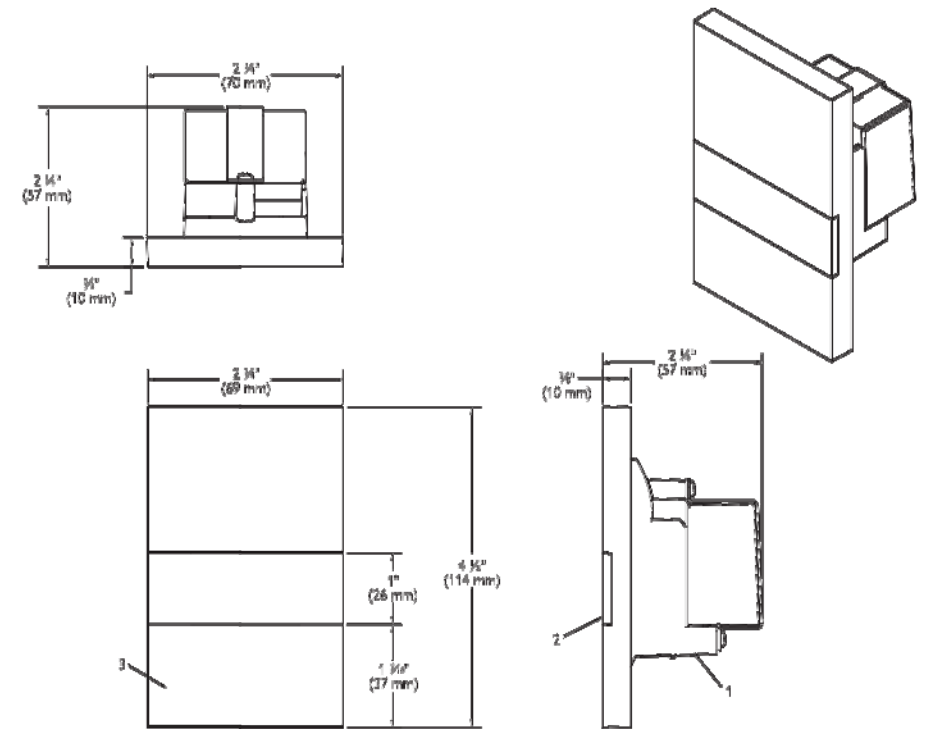
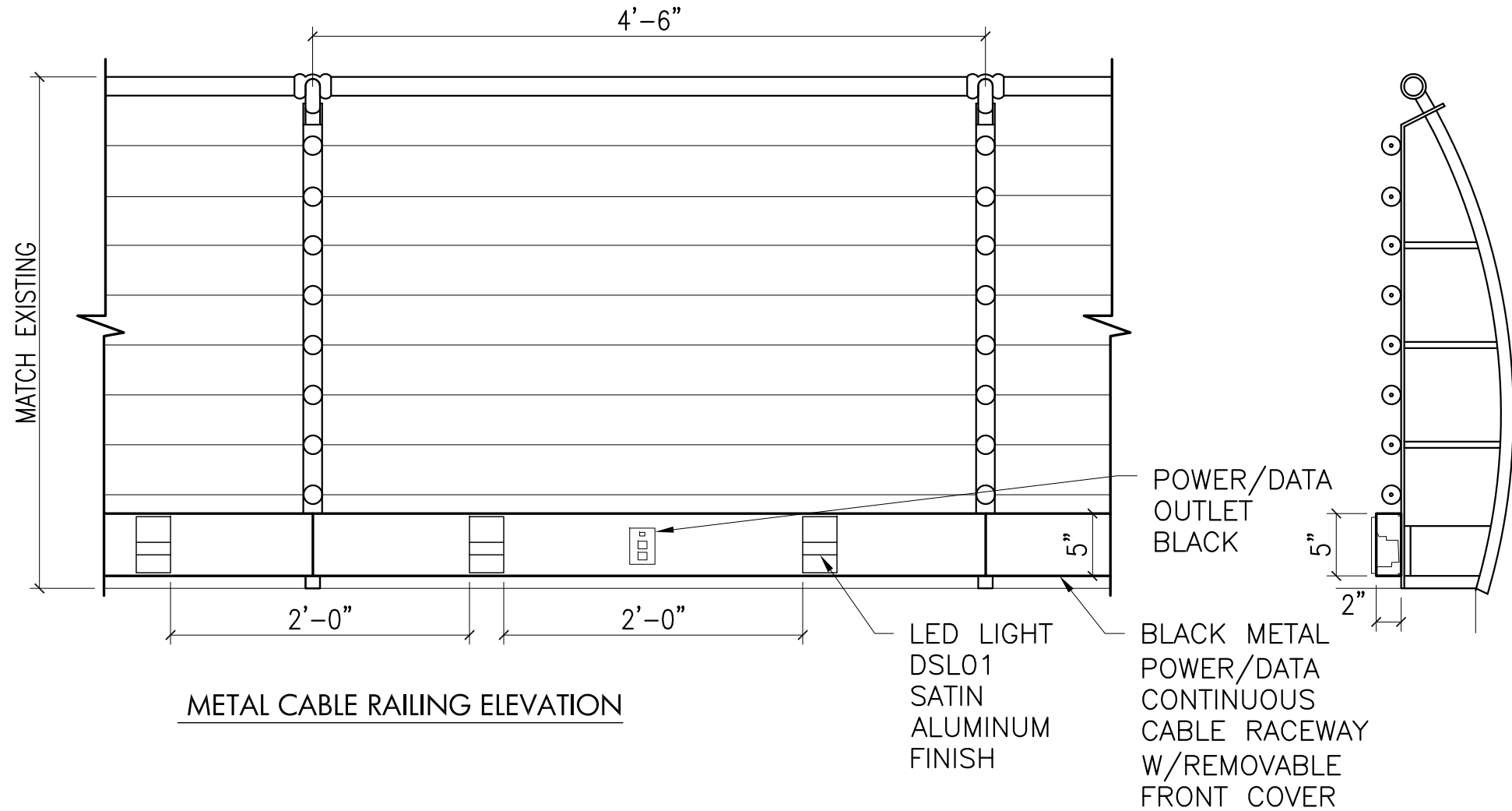






PROPOSED ENLARGED PLAN





**Features**

- 1. Heat Sink/Driver Housings: Die-cast aluminum.
- 2. Lens: Injection molded polycarbonate clear, developed for optimum optical output.
- 3. Face Plate: Die-cast aluminum.
- 4. Switch Box Mounting Plate: 18ga. C.R.S. zinc plated, for mounting to a 3 1/2" deep switch box. (Not shown)

**Electrical**

**LED:** (1) 4W 3000K white LED. Average expected life, under normal operating conditions is 50,000 hours with lumen maintenance of 70% of original light output.

**Driver:** Class 2 power supply.

**Voltage:** 120V

**Electrical (continued)**

**Output Wattage:** 5 W

**Input Current (max.):** 100 mA

**Frequency:** 50/60 Hz

**Output Voltage (VDC):** 12 V

**Constant Current:** 500 mA

**Finish**

Satin aluminum with protective clearcoat.

Matte white powder coat.

**Labels**

cULus Listed. Suitable for wet locations.

Wall mount only.



Philips Lighting  
 e: [led.webmaster@philips.com](mailto:led.webmaster@philips.com)  
 t: (508) 679-8131  
 w: [www.lightalliance.com](http://www.lightalliance.com)  
 DSL01 May 31, 2011  
 Specifications are subject to change without notice.  
 © Koninklijke Philips Electronics N.V., 2011. All rights reserved.

Job Information	Type:
-----------------	-------



**12 South Street**

**LU-21-101**

**Public Hearing**

**Request to Postpone to the July 14,  
2021 Meeting.**



**LU-21-101**

## Land Use Application

**Status:** Active**Date Created:** May 19, 2021**Applicant**

Anne Whitney  
archwhit@aol.com  
9 Sheafe St  
Portsmouth, NH 03801  
603-427-2832

**Location**

12 SOUTH ST  
Portsmouth, NH 03801

**Owner:**

MANFULL WILLIAM T & MANFULL SUSAN  
12 SOUTH ST PORTSMOUTH, NH 03801

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above



**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications



**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)



**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work



**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line



**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**



**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



**Request for Extension of Previously Granted Land Use Approval**



**150 Daniel Street**

**LU-21-78**

**Public Hearing**



**LU-21-78**

## Land Use Application

**Status:** Active**Date Created:** Apr 22, 2021**Applicant**

Anne Whitney  
archwhit@aol.com  
9 Sheafe St  
Portsmouth, NH 03801  
603-427-2832

**Location**

150 DANIEL ST  
Portsmouth, NH 03801

**Owner:**

WARNER HOUSE ASSOC  
PO BOX 895 PORTSMOUTH, NH 03802

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above



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**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work



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**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**



**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

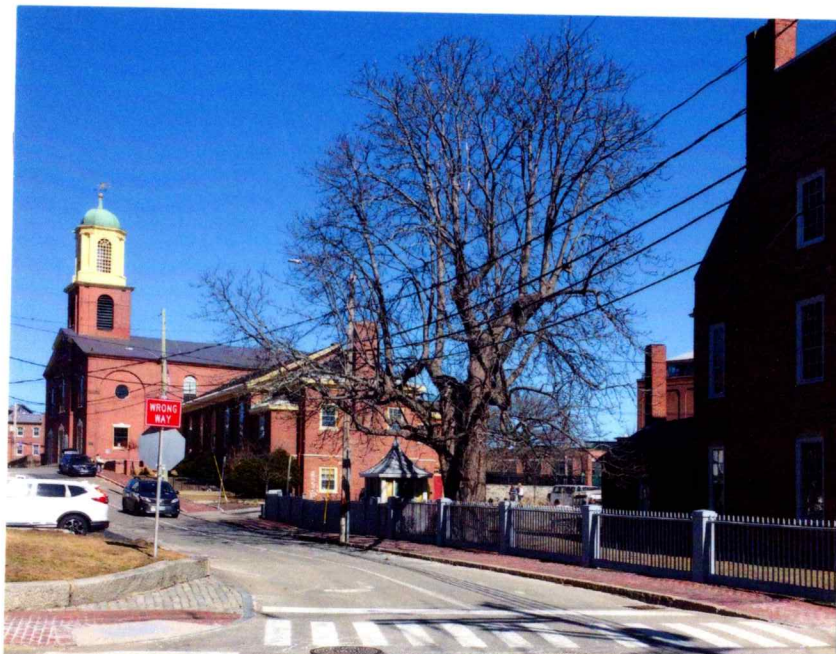


**Request for Extension of Previously Granted Land Use Approval**

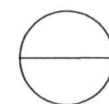
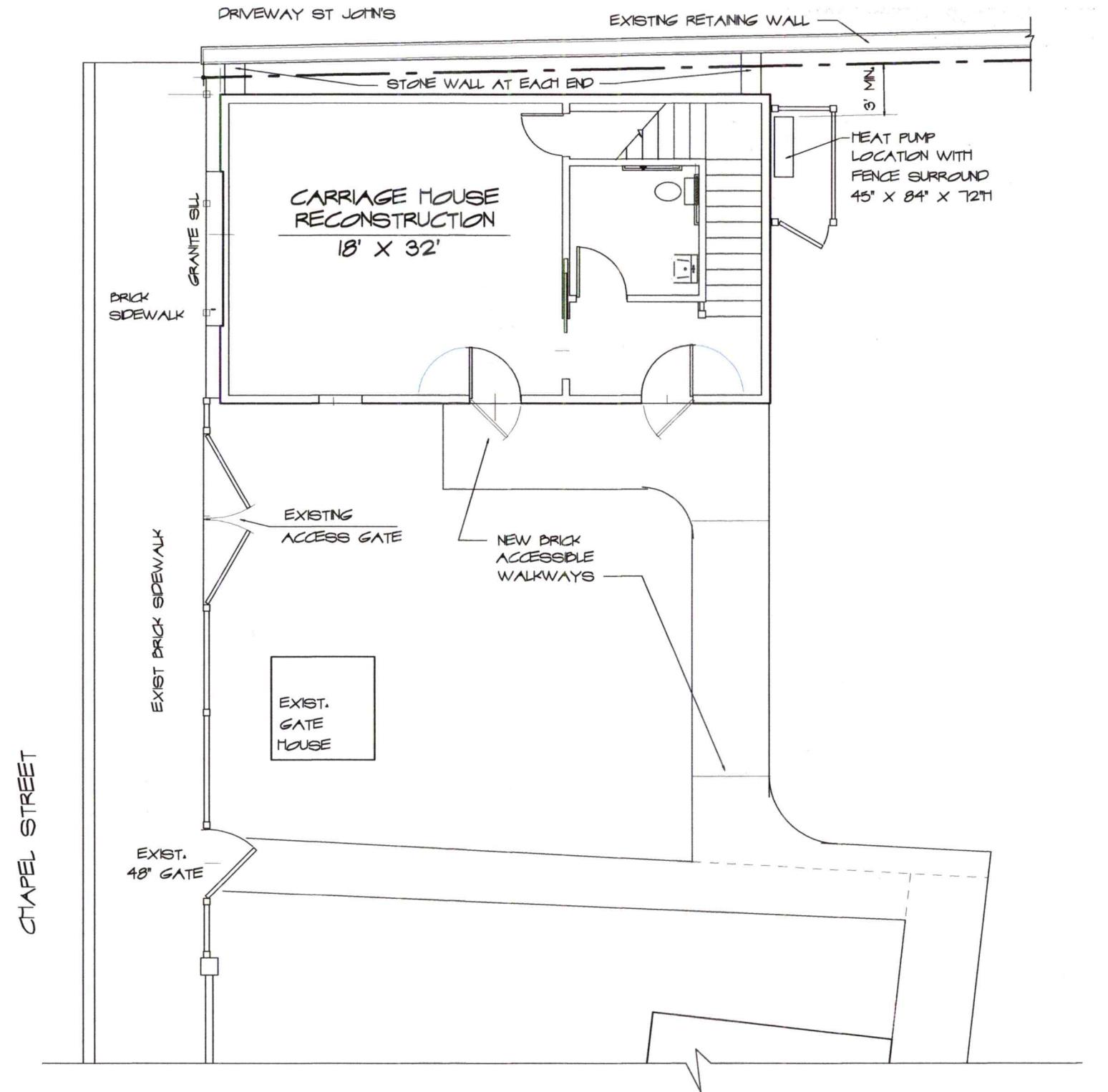




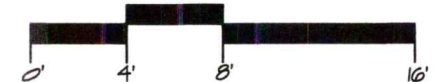
PHOTO OF ORIGINAL CARRIAGE HOUSE



CURRENT VIEW FROM DANIEL STREET



PROPOSED SITE LAYOUT  
SCALE: 1/8" = 1'-0"



SCHEMATIC DESIGN

9 Sheafe Street  
Portsmouth  
NH 03801  
603-427-2832

ANNE WHITNEY ARCHITECT

CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC.

150 DANIEL STREET

PORTSMOUTH, NH

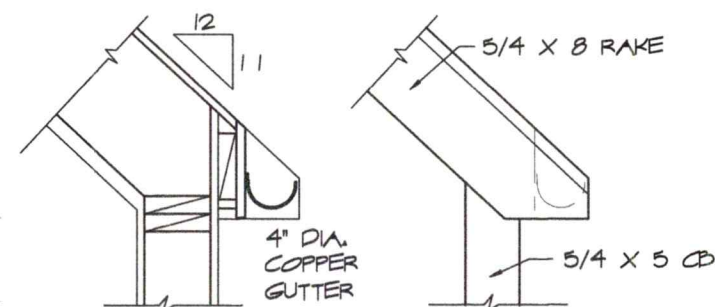
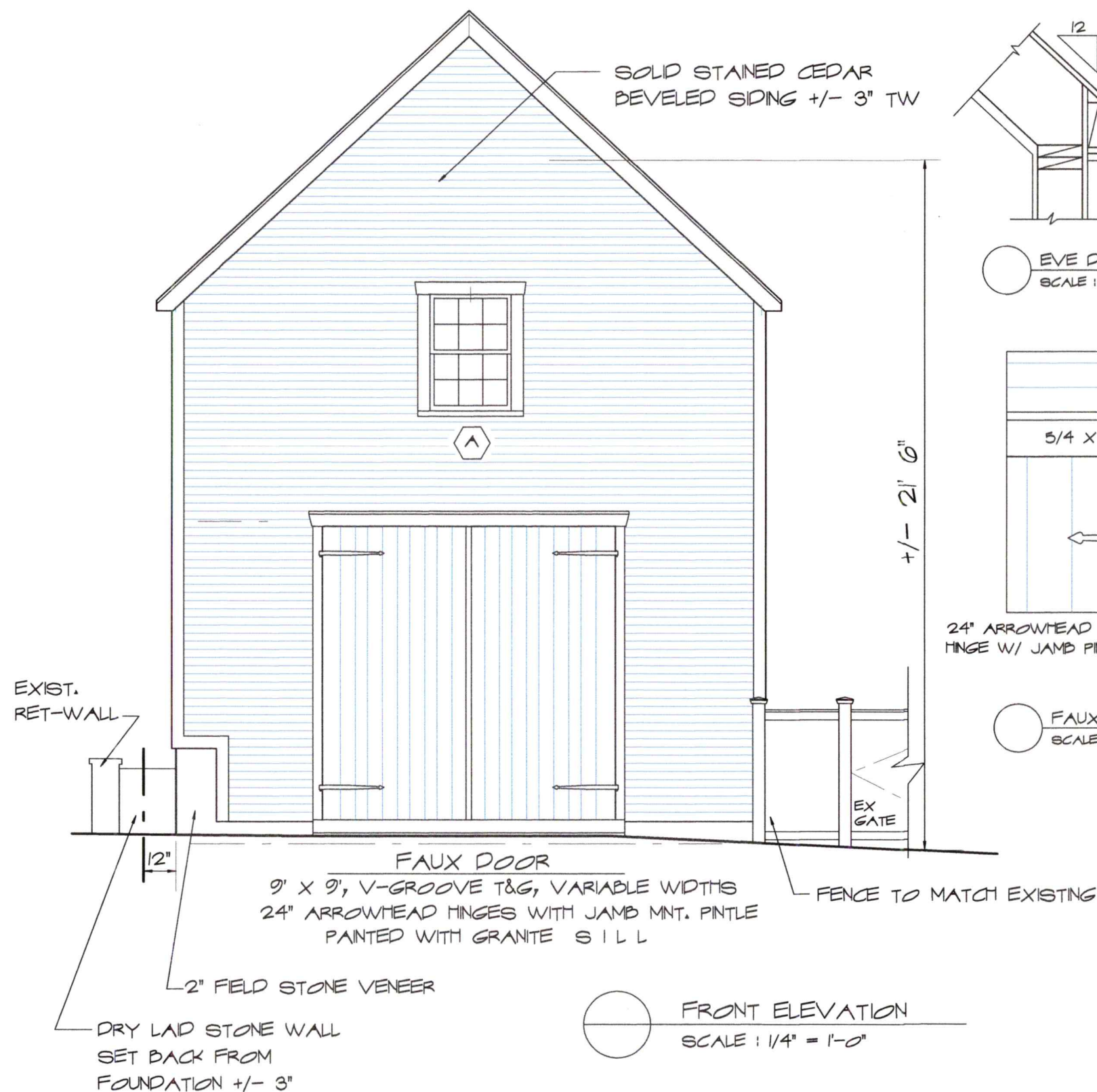
Project: #2102

Revisions:

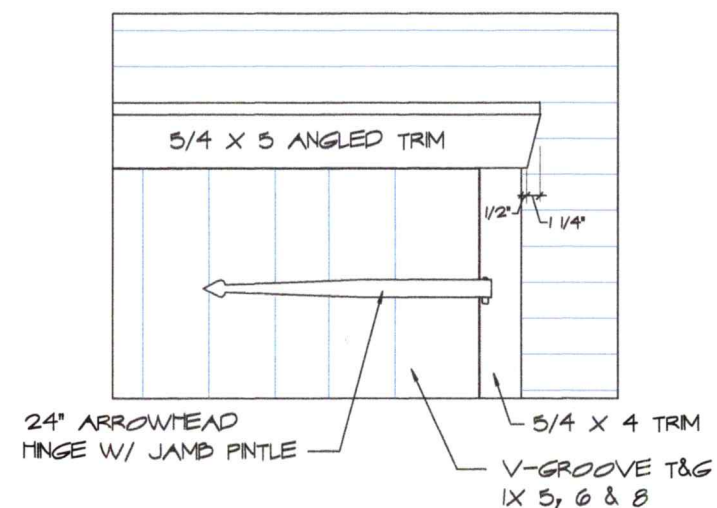
Date: 5/13/21

1 OF 5





EVE DETAIL & RAKE ELEVATION  
SCALE: 3/4" = 1'-0"



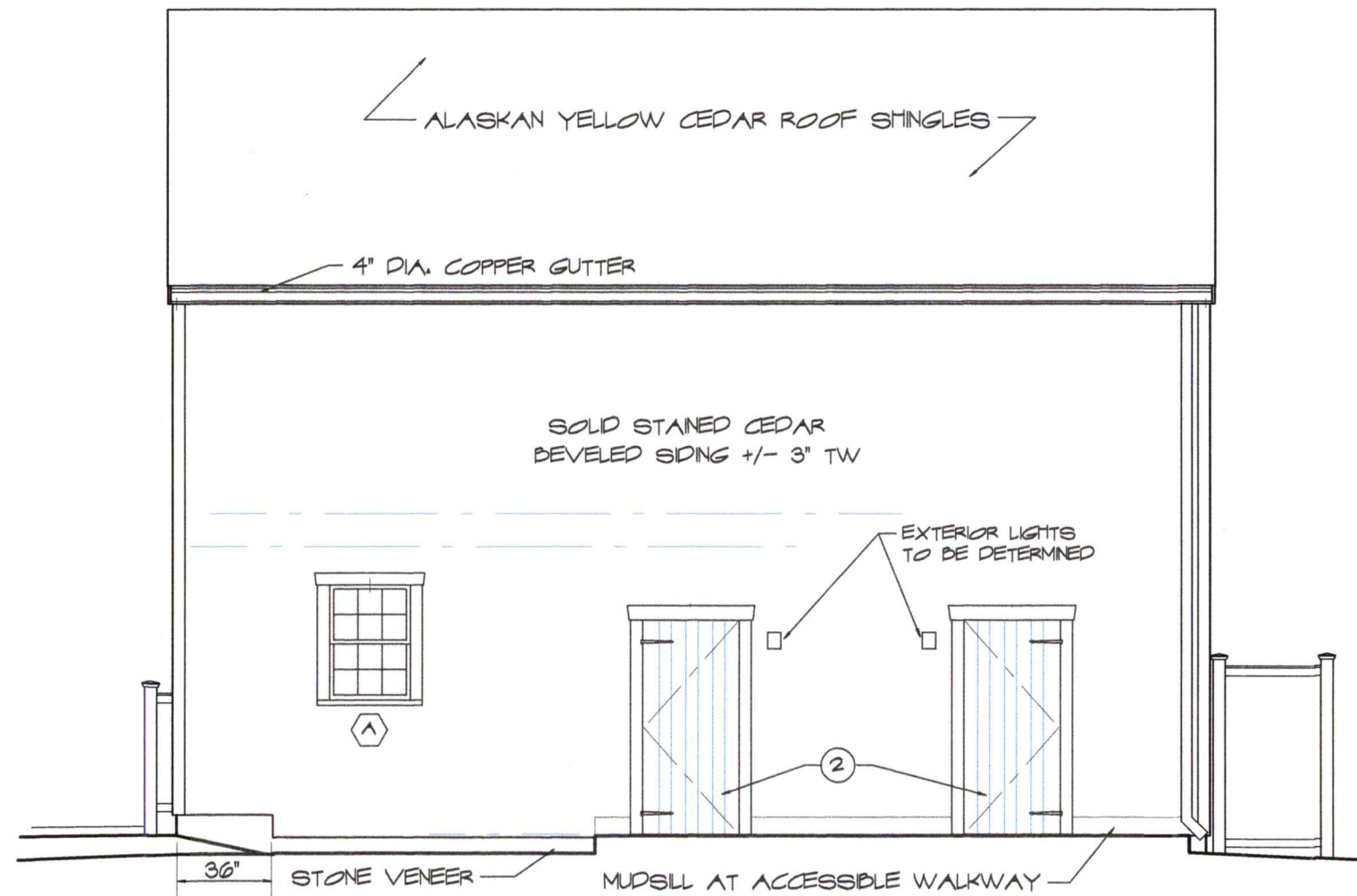
FAUX DOOR & TRIM DETAIL  
SCALE: 3/4" = 1'-0"



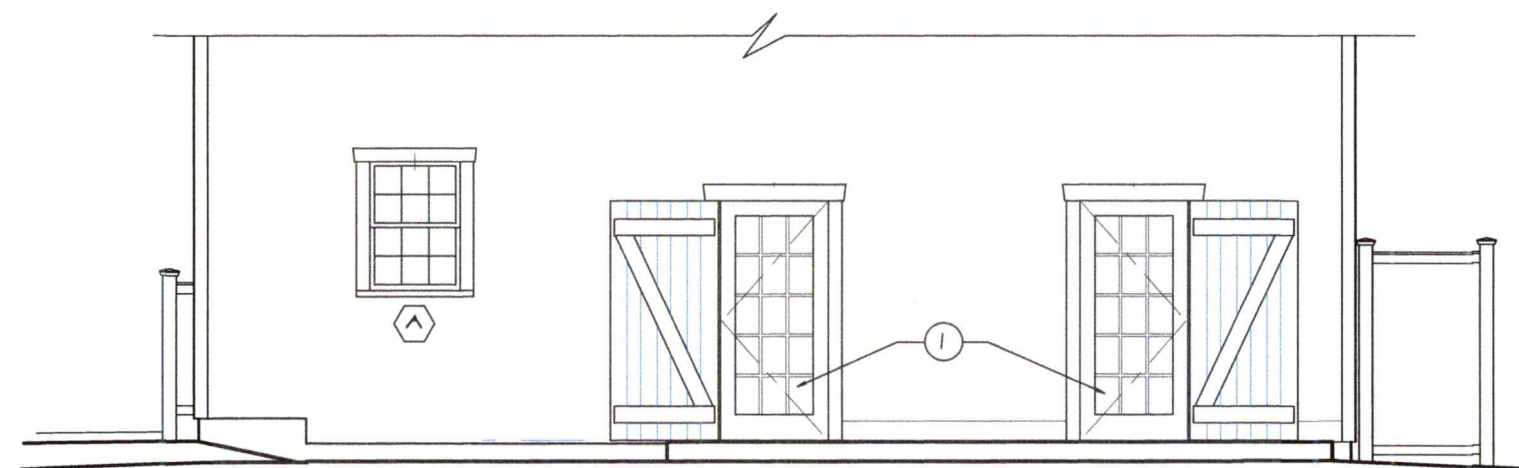
DETAIL PHOTO FROM ATTENEUM

SCHEMATIC DESIGN CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC. 150 DANIEL STREET PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832	Project: 2102 Revisions:	Date: 6/16/21 2 OF 5
	ANNE WHITNEY ARCHITECT		





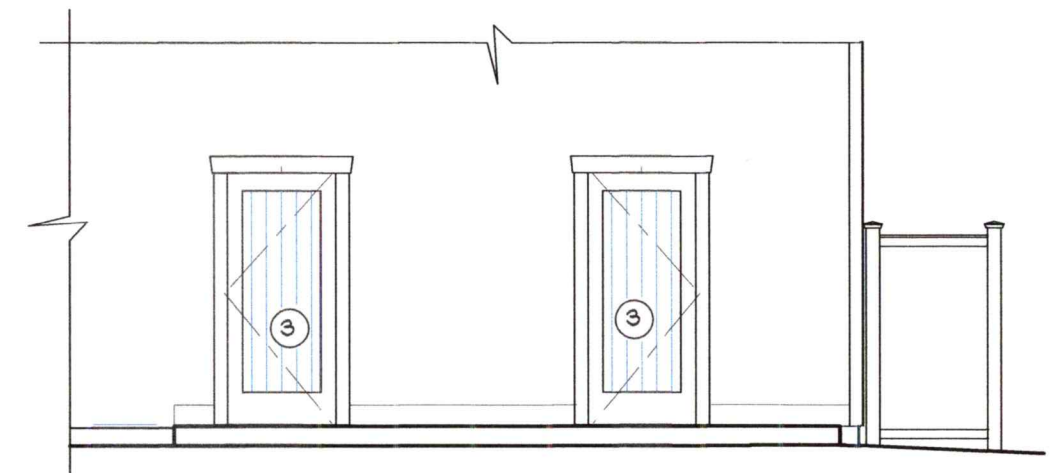
RIGHT SIDE ELEVATION WITH STORM DOORS  
SCALE : 3/16" = 1'-0"



RIGHT SIDE ELEVATION WITH STORM DOORS OPEN  
SCALE : 3/16" = 1'-0"

## WINDOW & EXTERIOR DOOR SCHEDULES

SYM.	UNIT	LITES	ROUGH OPENING	REMARKS	QUAN.
<b>WINDOWS</b>					
A	8' x 9' Pane 30" x 45" Doublehung	6/6	2' 9" X 4' 1"	GREEN MOUNTAIN WINDOW CO. (GMW), Doublehung with 5/8" True Divided Lites & GMW Historic Sill, 5/4 x 5 Wood Casing, Hardware to be chosen by Owner. New 2x6 Wall	2
B	8' x 9' Pane 30" x 45" Casement	6/6	2' 9" X 4' 1"	GREEN MOUNTAIN WINDOW CO. (GMW), Casement, to match TDL's & Meeting Rail of Doublehung, Sill and Casings to match, Hardware to be chosen by Owner. New 2x6 Wall	1 L
<b>EXTERIOR DOOR</b>					
1	Simpson #77015 36" x 80"	15	3' 2 1/2" x 6' 10 1/2"	SIMPSON DOOR CO., FIR DOOR, Model #77015, Inswing, with UltraBlock(R) Technology, Painted, 7/8" TDL, IG, Lever Handle & Lockset-hardware	2
2	Custom storm door 36" x 80"	0	3' 2 1/2" x 6' 10 1/2"	V-Groove T&G Storm Door, Lifespan Pine, Painted with 12" Arrow Strap Hinges, Jamb Mtg Plntle & Thumb Latch. Custom made Door	2
<b>EXTERIOR DOOR OPTION</b>					
3	Simpson #49841 36" x 80"	0	3' 2 1/2" x 6' 10 1/2"	SIMPSON DOOR CO., FIR DOOR, Model #49841, Inswing, with UltraBlock(R) Technology, Painted, Lever Handle & Lockset Hardware	2



SINGLE DOOR OPTION  
SCALE : 3/16" = 1'-0"

9 Sheafe Street  
Portsmouth  
NH 03801  
603-427-2832

**SCHEMATIC DESIGN**

**CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC.**

150 DANIEL STREET

**ANNE WHITNEY ARCHITECT**

PORTSMOUTH, NH

Project: # 2102	Date: 6/16/21
Revisions:	3 OF 5

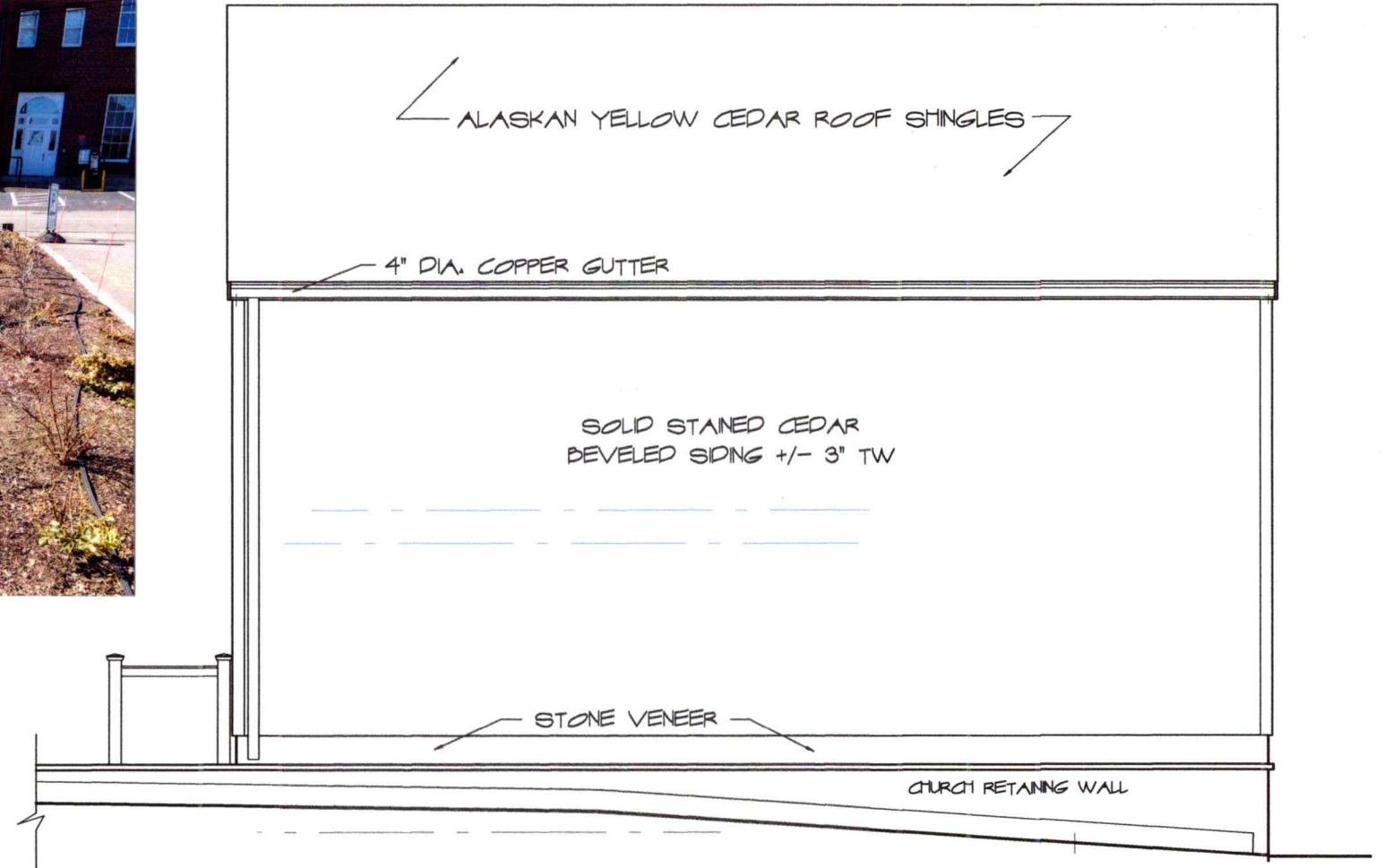




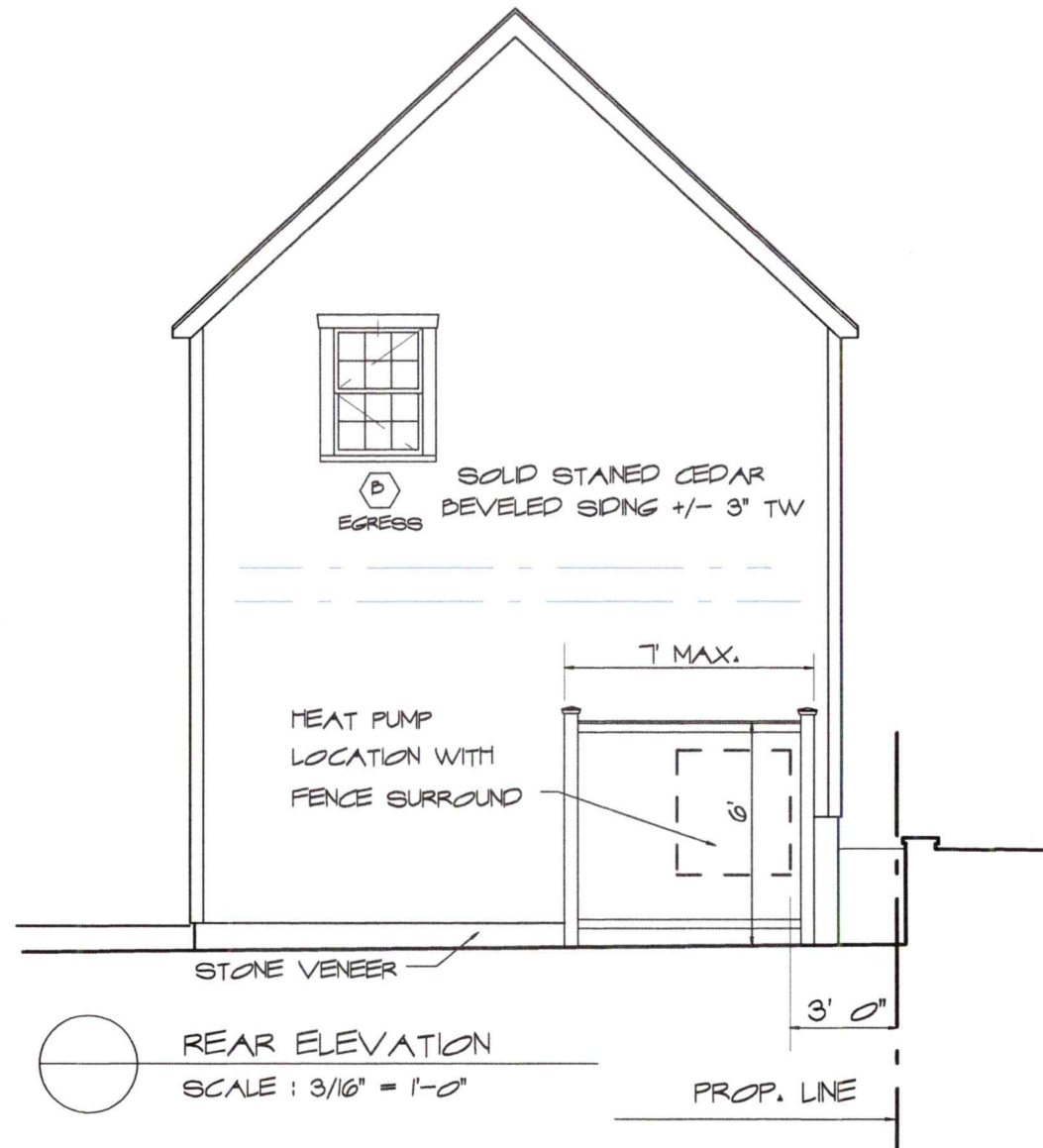
PHOTO OF ORIGINAL CARRIGE HOUSE



VIEW OF CARRIGE HOUSE SITE LOOKING WEST



RIGHT SIDE ELEVATION  
SCALE : 3/16" = 1'-0"



REAR ELEVATION  
SCALE : 3/16" = 1'-0"



VIEW EAST FROM CHAPEL CHAPEL STREET

**SCHEMATIC DESIGN**

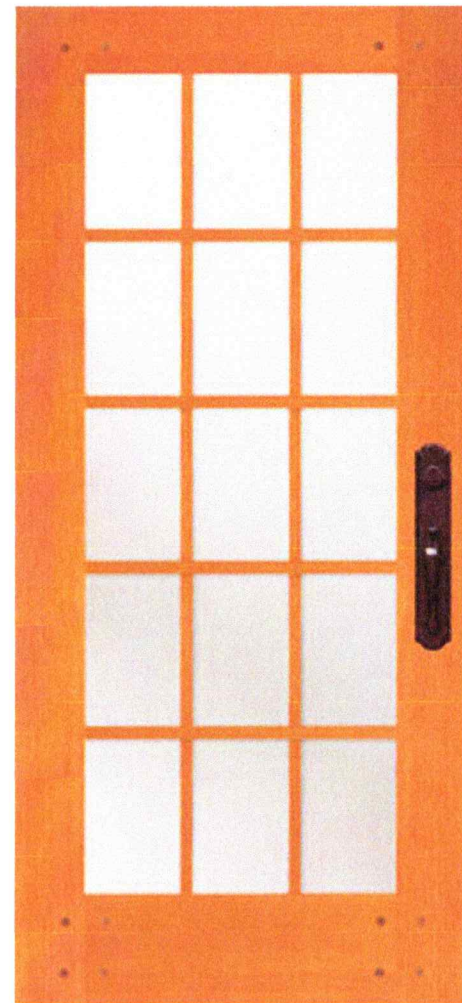
9 Sheafe Street  
Portsmouth  
NH 03801  
603-427-2832

**ANNE WHITNEY ARCHITECT**

CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC.  
150 DANIEL STREET  
PORTSMOUTH, NH

Project: 2102  
Date: 6/16/21  
Revisions:





① INSWING FRENCH DOOR

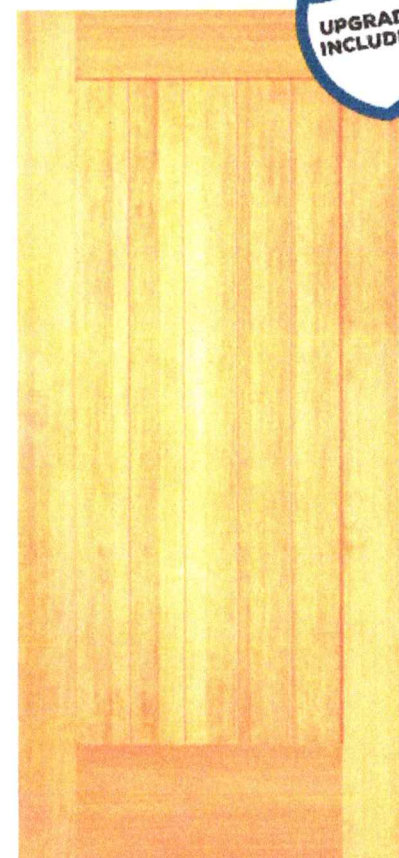
## 77015 NANTUCKET

SERIES: Nantucket Collection™

TYPE: Exterior French & Sash

Construction Type: Engineered All-Wood Stiles and Dowel Pinned Stile/Rail Joinery

Panels: 3/4" Flat Panel with Square V-Groove



③ SINGLE DOOR OPTION



## 49841 1-3/4" BARN DOORS

SERIES: Exterior Barn Doors

TYPE: Exterior Traditional

Construction Type: Two-Piece Laminated Wood Stiles and Rails with Modified Mortise-and-Tenon Stile/Rail Joinery

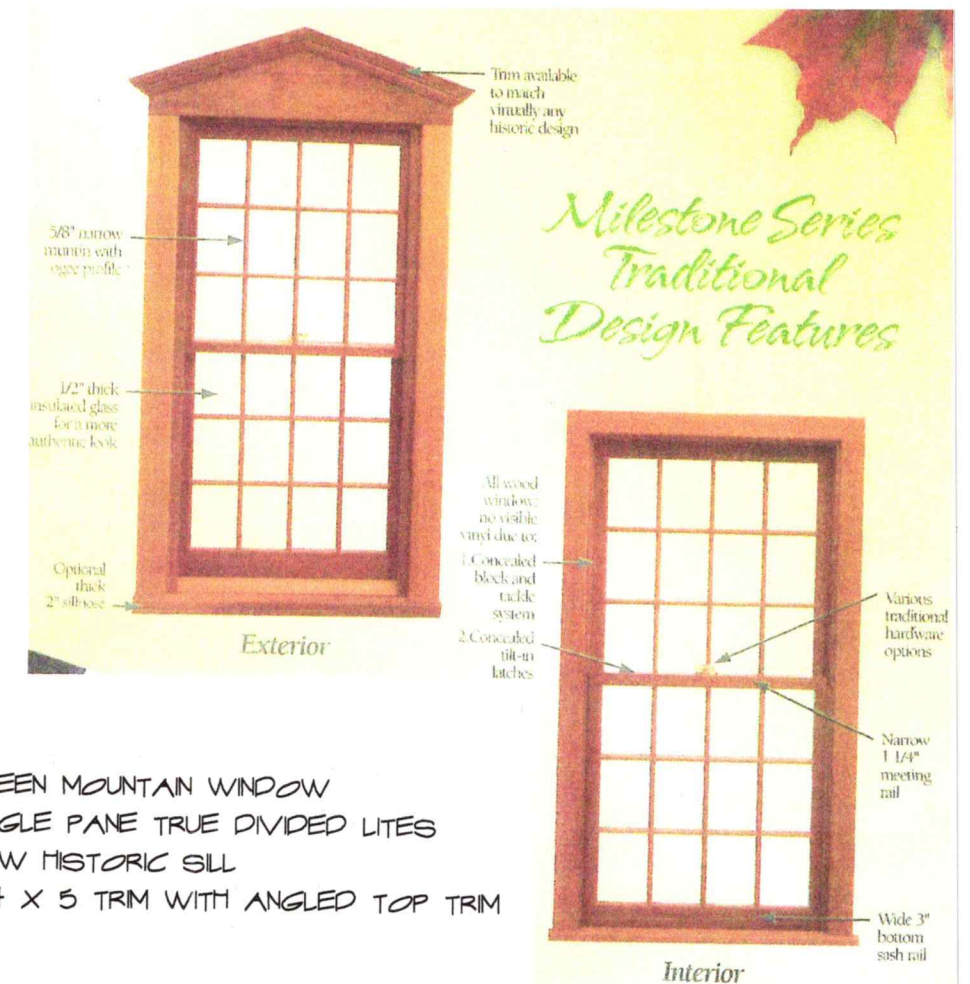
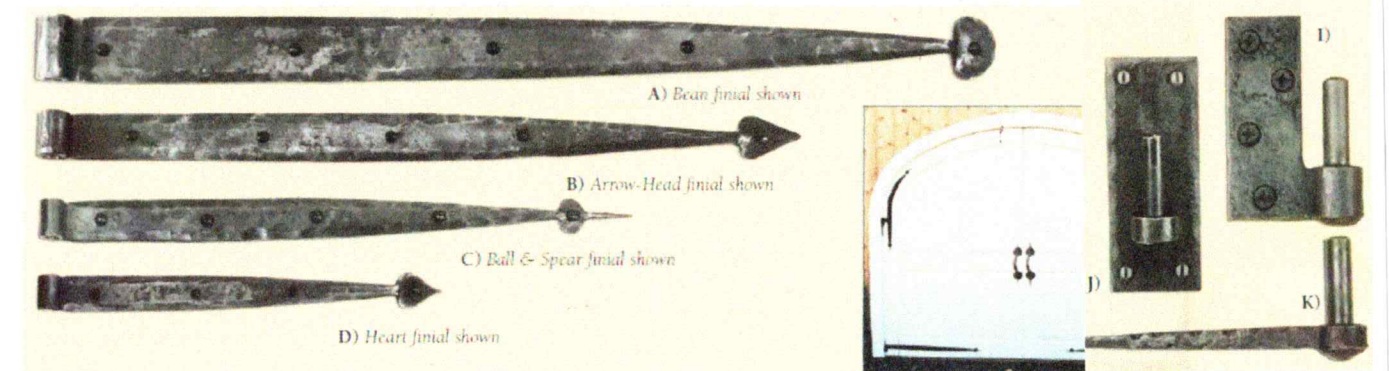
Profile: Ovolo Sticking or Shaker Sticking

Glass: 3/4" Insulated Glazing

Historic Housefitters Co.

STRAP HINGE HARDWARE

HAND-FORGED IRON • HANDCRAFTED IN U.S.A.



GREEN MOUNTAIN WINDOW  
SINGLE PANE TRUE DIVIDED LITES  
GMW HISTORIC SILL  
5/4 X 5 TRIM WITH ANGLED TOP TRIM

/	9 Sheafe Street Portsmouth NH 03801 603-427-2832	/	Project: 2102	Date: 6/16/21
			Revisions:	5 OF 5
SCHEMATIC DESIGN			ANNE WHITNEY ARCHITECT	
CARRIAGE HOUSE RECONSTRUCTION, WARNER HOUSE ASSOC.				
150 DANIEL STREET			PORTSMOUTH, NH	



**564 Middle Street**

**LU-21-123**

**Public Hearing**



**LU-21-123**

## Land Use Application

**Status:** Active**Date Created:** Jun 11, 2021**Applicant**

john Durkin  
jdurkin@burnsbryant.com  
564 MIDDLE ST  
Apartment, suite, unit, building, floor  
PORTSMOUTH, NH 03801  
6038284907

**Location**

564 MIDDLE ST  
Portsmouth, NH 03801

**Owner:**

john e Durkin  
564 MIDDLE ST PORTSMOUTH, NH 03801

**Applicant Information****Please indicate your relationship to this project**

A. Property Owner

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

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☐

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☒

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☐

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☐

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

☐

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

☐

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☐

**Request for Extension of Previously Granted Land Use Approval**



John & Susan Durkin

564 Middle Street

Portsmouth, NH

The following are referenced by number on the Existing Plan, Proposed Modifications, and Tax Map

- (1) Replace existing window with 6 foot wide French Hinged Door – Harvey Majesty\*
- (2) Replace existing 15 light door with 2 over 2 double hung window – dimensions and trim to match other existing 1st floor windows – Harvey Majesty\*
- (3) Replace existing triple casement window with 2 over 2 double hung window – same size and dimensions as the other window on the first floor on the same side of the house and to be trimmed to match – Harvey Majesty\*
- (4) Replace existing 1 over 1 double hung widow with 1 over 1 double hung window – Harvey Majesty\*
- (5) Replace existing 2 over 2 double hung widow with 1 over 1 double hung window – Harvey Majesty\*
- (6) Replace existing 1 over 1 double hung widow with 1 over 1 double hung window – Harvey Majesty\*

\*Brochure attached. Black Aluminum Clad Exterior, Simulated Divided Light



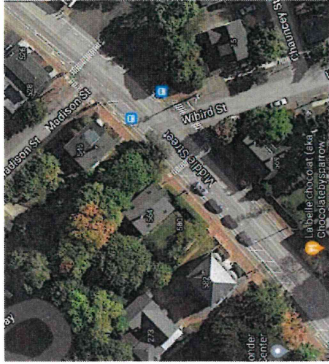
# Proposed modifications



East corner of house



West corner of house

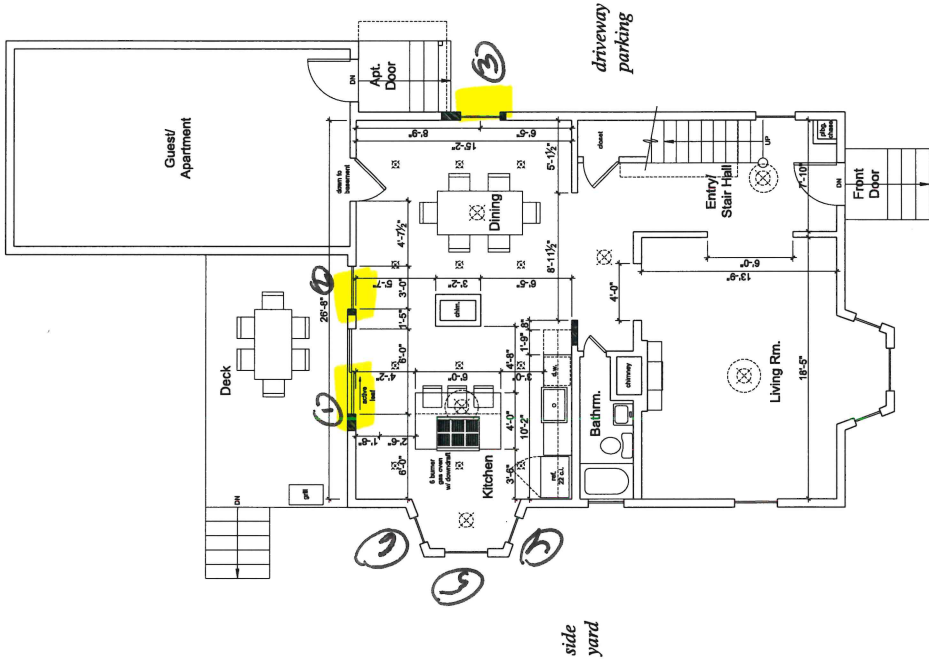


Satellite view

back yard



Replace window in existing kitchen w/ single to match elsewhere



Middle Street



**Proposed First Floor Plan**  
 basement footprint - 1,351 sf (includes apartment)  
 1st floor footprint - 1,351 sf  
 2nd floor footprint - 1,351 sf  
 3rd floor footprint - 974 sf (in the rear cavity)

- Client Wishes:**
1. want to open up the first floor plan without rebuilding house
  2. want to keep the existing dining room, existing kitchen layout of deck,
  3. want to keep the existing living room & fireplace
  4. want to keep the existing bathroom & bedroom
  5. want to keep the existing living room & kitchen
  6. want to keep the existing living room & kitchen
  7. want to keep the existing living room & kitchen

- General Notes:**
1. new walls shown shaded
  2. new windows shown dashed
  3. verify exact lighting plan & specifications with owner - if increased, dimmable can lights in ea. room
  4. verify structural location of proposed layout & modify as directed by structural engineer

**PORT CITY DESIGN**  
 architecture  
 planning  
 interiors  
 603.312.1707  
 953 Fallington Street  
 Portsmouth, NH  
 03801  
 portcitydesignno.com

Consultants

**Client - Project:**  
**DURKIN**  
**RESIDENCE**  
 Space Planning  
 & Renovations  
 564 Middle St.  
 Portsmouth, NH  
 03801

Notes

2021-6-3

**A1**

**First Floor Construction**  
 Plan - Proposed  
 564 Middle St.  
 Portsmouth, NH 03801

## Durkin Residence - First Floor Construction Plan (proposed)



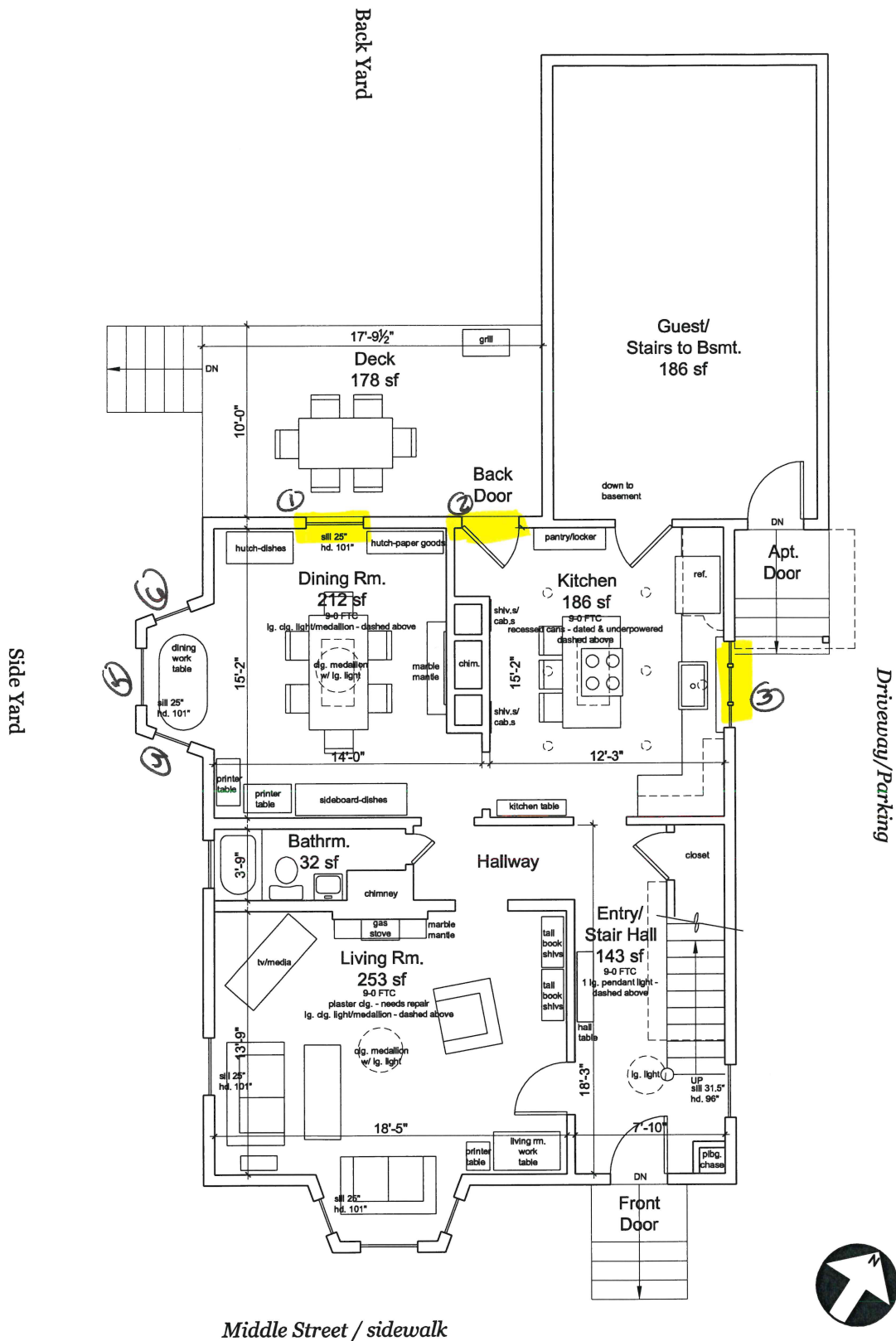
## Existing Plan

## SPACE ANALYSIS / ASSESSMENT

564 Middle St.

Portsmouth, NH

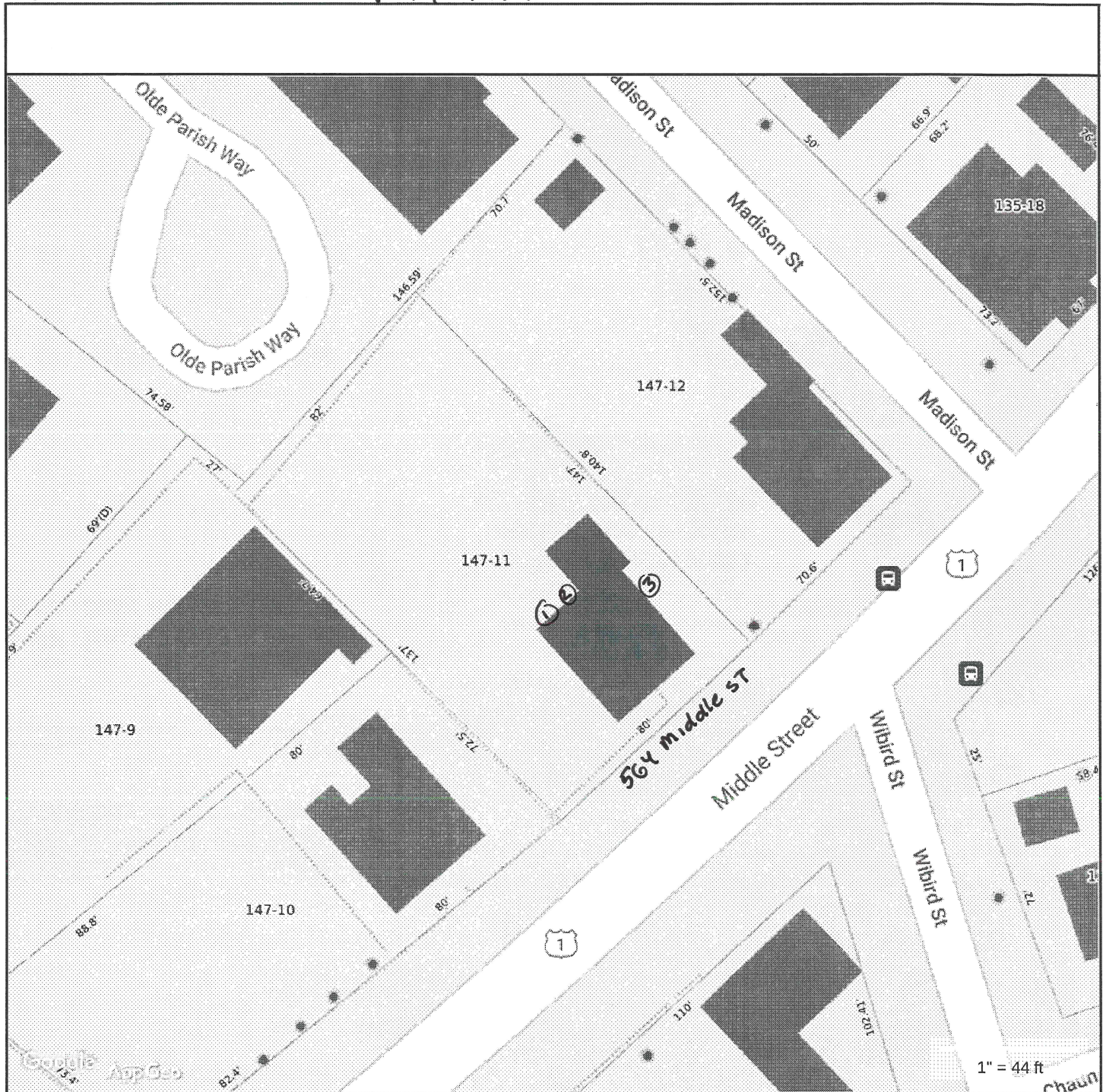
03801



*Middle Street / sidewalk*

<p><b>PORT CITY DESIGN</b></p> <p>architecture planning interiors</p> <p>603.312.1707 955 Lillingston Street Portsmouth, NH 03801 portcitydesignpro.com</p>	<p><b>PROJECT/OWNER</b></p> <p><b>564 MIDDLE STREET</b> Portsmouth, NH 03801 <b>Space Analysis / Assessment</b> Owners: Susan &amp; John Durkin</p>	<p><b>NOTES</b></p>	<p><b>DATE</b> 2021-5-13</p>	<p><b>Space Analysis / Assessment</b> 564 Middle Street Portsmouth, NH 03801</p>
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MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019  
Data updated 7/17/2019

Print map scale is approximate.  
Critical layout or measurement  
activities should not be done using  
this resource.



# MAJESTY

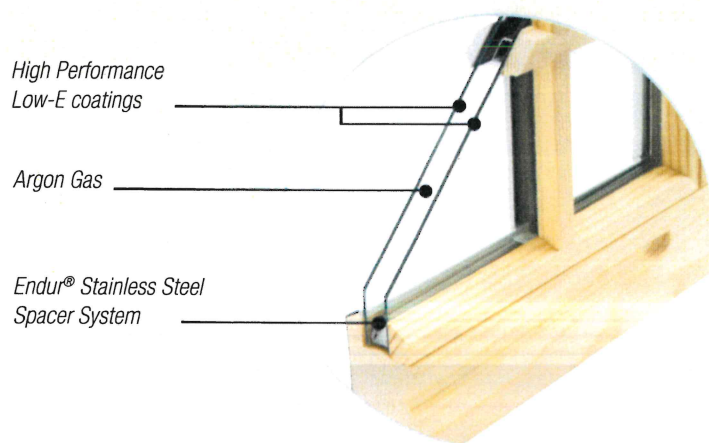
Wood Windows and Patio Doors





## The best components for the best performance.

In keeping with traditional wood windows, Majesty windows withstand the elements and operate smoothly for a lifetime. Made in the USA, Majesty combines its impressive energy efficient glazing with a well-built, durable aluminum clad wood frame and sash – manufactured by folks who have been making windows for more than 50 years. That level of expertise is what sets Majesty apart; the perfect combination of state-of-the-art engineering, energy-saving value, and stylish elegance.



### MAJESTY PREMIUM GLASS

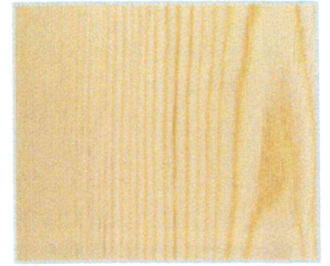
Majesty double hung windows come standard with our Premium glass, which incorporates two panes of glass, high-performance double Low-E coatings, stainless steel spacer system, and argon gas. This glass system meets the most stringent ENERGY STAR® requirements which will significantly enhance the comfort in your home and help save you money on your home energy costs.





## SOLID PONDEROSA PINE

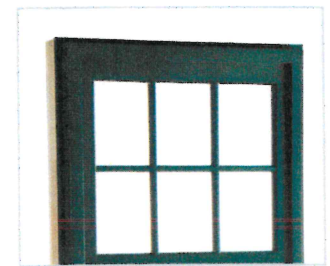
The wood components of Majesty products resist rot, degradation, splitting, warping, and mildew through a controlled treatment process that immerses Ponderosa Pine in a special preservative similar to high quality deck sealant applications.



*Strong and straight grained Ponderosa pine with exceptional beauty and strength*

## ALUMINUM CLADDING

The extruded 0.050" wall thickness of the frame provides strength, while the 0.024" wall thickness of the sash allows the cladding to be precision molded to protect the window sash and patio door panels from exterior environmental conditions. The result is eye catching, beautiful bevels and the sought-after aesthetics of custom wood windows.

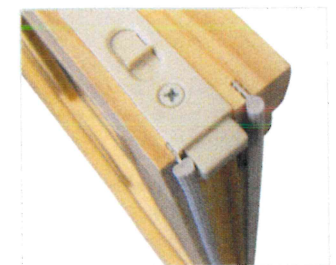


*Aluminum Clad Exterior shown in Forest Green (See options page for additional colors)*

An electrostatic paint process adheres paint evenly onto all surfaces, ensuring an extremely durable finish that resists fading.

## WEATHERSEALS

Concerned about installing wood windows in your climate? Don't be! Majesty seals are designed to perform over a wide range of temperatures and weather conditions. A lightweight polypropylene stiffener additive, which does not absorb water or collect mold, creates an airtight seal that does not distort over time. The seal ensures a consistent barrier from external conditions and allows for smooth window and patio door operation.



*Foam-Tite compression bulb seals provide maximum protection from air and water*

An average of 300 inches of custom designed Foam-Tite® compression bulb seals encase the full perimeter of the sash of Majesty windows – similar to seals you see on dishwashers or refrigerators.



*PVC Jamb Liner available in both White or Almond*

## PVC JAMB LINER

The rigid non-compression Jamb Liner adds strength, stability and reduces air infiltration, while its special beveled design allows the sash to open and tilt easily.

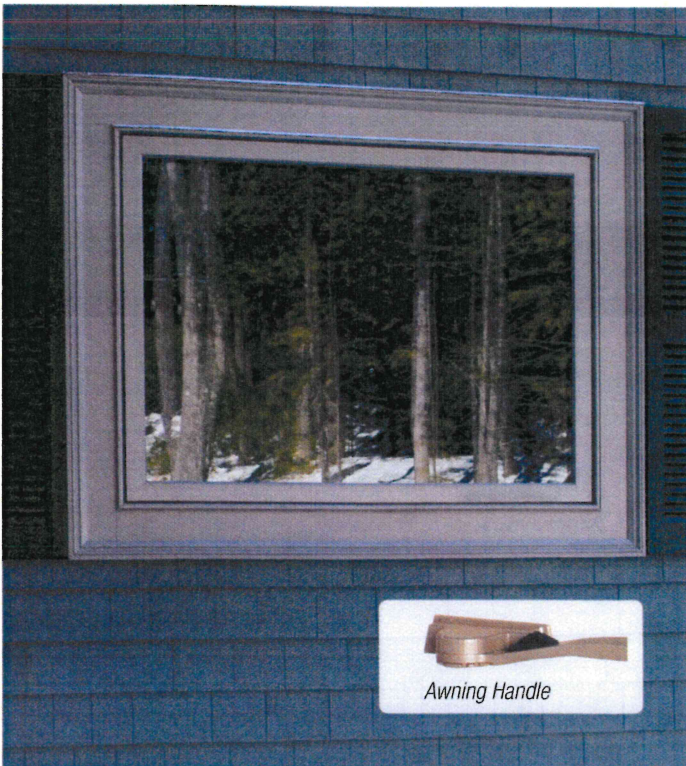


## Products for every application



### PICTURE WINDOW

Whether you're replacing an old window or installing a new one, Majesty picture wood windows can make a dramatic difference. If you are opening up a room to a spectacular view, picture windows are a great choice. When paired with Majesty awning windows, the combination optimizes visible light with ability to vent fresh air into the room.



### AWNING WINDOW

When you need added ventilation, Majesty awning wood windows hinge at the top and open outward, allowing fresh air into the room while deflecting rain away from your property.



#### HARDWARE FEATURES

*Recessed  
Sash Lock*

#### SASH LIFT OPTIONS

*Routed Top  
Sash standard;  
Bottom optional*

*Hook*

*Loop*

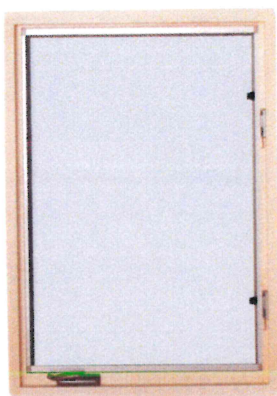


### MAJESTY DOUBLE HUNG

Superb architectural details include a refined 45° glazing bead, overlapping grids, and elegant recessed hardware to provide a traditional and sleek look. Full weatherstripping around both sash prevents air infiltration and eliminates drafts. Caring for your Majesty double hung windows is a snap: both the top and bottom sash tilt in for easy cleaning.

#### HARDWARE FEATURES

*Compact  
Folding  
Handle*



### MAJESTY CASEMENT

An easy to open casement window is ideal over the kitchen sink, and casements are also favored in contemporary homes for their sleek, unobstructed expanses of glass. Full weatherstripping around the sash keeps your home comfortable, and the dual operating lock system keeps your home secure.

#### HARDWARE FEATURES

*Recessed  
Sash Lock*



### MAJESTY GLIDING

The gliding window is an excellent choice for rooms facing walkways, porches or patios. Optimize fresh air and sunlight without compromising space or energy efficiency. Our gliding window features a recessed lock and routed operable sash to provide an enhanced view, a clean look, and a secure lock each time.





## HINGED AND GLIDING PATIO DOORS

Your patio is an extension of your home, and your home is an extension of yourself and your style. Enjoy the peace of mind that comes with a low-maintenance, durable, and secure aluminum clad wood frame and bring a bit of functional charm to your outdoor space!

**Majesty Gliding Patio doors** offer contemporary hardware options and narrow door stiles save space while delivering a sleek, casual look. Available in 2, 3 and 4-Lite design options, the door glides effortlessly along a continuous fiberglass sill. The heavy-duty weatherstripping ensures your patio door will open without a hitch, regardless of the season.

**Majesty Hinged Patio doors'** classic hardware and French panel design offer accessible entryways that swing in, inviting the outdoors into your home, or swing out, extending your home to the outdoors. Hinged patio doors offer a traditional, elegant style and are available in 1, 2, 3 or 4-Lite panel design options. The integral frame drip edge enhances water protection and a dual seal frame weatherstripping optimizes air and thermal performance.



**GLIDING**  
Includes  
D-shaped  
Handle

**20 YEARS**  
GLASS COVERAGE

**WARRANTY**

**10 YEARS**  
PARTS/MECHANISMS



**HINGED**



Adjustable  
Guide  
Hinge

Includes  
Contemporary  
Handle



Adjustable  
Set  
Hinge



# Window & Door Options

## HARDWARE FINISHES

### PREMIUM



### STANDARD



## EXTERIOR COLORS



## INTERIOR WOOD OPTIONS



Warm, unfinished pine ready for you to stain or paint once installed.



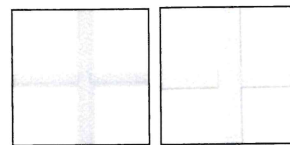
Professionally prefinished for no mess or hassle post-installation. 10 year warranty. Gliding window only available in factory primer.

Due to printing limitations, finishes and colors shown are for representation only. Patio door hardware also available in standard black, but not available in coppertone.

## GRIDS

### GRIDS BETWEEN GLASS

Sealed between the panes of glass, GBG is easy to clean.

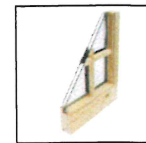


Contoured

Flat

### SIMULATED DIVIDED LITES

The most authentic look of divided lites to complement traditional architecture



## ADDITIONAL OPTIONS

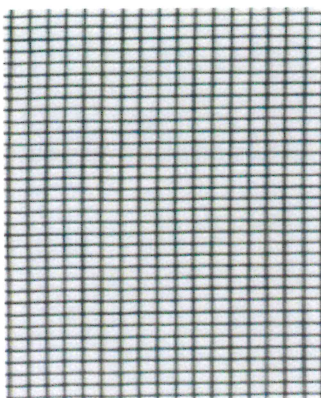
- Obscured glazing
- Tempered glazing
- Jamb line available in White or Almond

## SCREEN OPTIONS\*

- Extruded Aluminum Frame
- FlexScreen Frame
- Fiberglass Wire
- VIEWS Wire (premium)

## INSTALLATION OPTIONS

- 4-9/16" jamb depth
- 6-9/16" factory applied ext. jamb option



## Premium VIEWS (Virtually Invisible) Screens

Upgrade to GREENGUARD certified VIEWS screens to enjoy 15% greater openness providing 25% better airflow.

25% more optical clarity means you can focus on a crisper, brighter view.

\*Screen options vary per operating style. Gliding available with roll form screen frame only.



## THERMAL PERFORMANCE

For the most up to date structural and thermal performance values, as well as other product specifications, visit [harveybp.com](http://harveybp.com).

WINDOW	U-FACTOR	SHGC	VT	ENERGY STAR COMPLIANCE
Double Hung	0.27	0.29	0.51	North Central, Northern Zones
Picture	0.26	0.30	0.53	North Central, Northern Zones
Casement/Awning	0.26	0.22	0.38	All Zones

*U-factor measures the rate of non-solar heat transfer from one side of the window to the other. Heat transfer implies both heat loss out of a living space during cold weather and non-solar heat gain during hot summer months. The lower the U-factor, the better the performance.*

*Solar Heat Gain Coefficient (SHGC) measures how well a product blocks heat from the sun. The lower the SHGC, the better a product is at blocking unwanted heat gain.*

*Visible Transmittance (VT) measures how much light comes through a product. The higher the VT, the more light that comes through.*



**ENERGY STAR:** This package includes everything that is needed for a product to meet ENERGY STAR requirements. Glazing, gas, glass thickness, etc. will vary by window and usually includes Low-E coating and Argon gas. This glazing package *does* qualify for ENERGY STAR.

WINDOW	U-FACTOR	SHGC	VT	ENERGY STAR COMPLIANCE
Gliding Window	0.28	0.45	0.55	Northern Zones
Gliding Patio Door	0.29	0.32	0.54	North Central, Northern Zones
Out-swing Patio Door	0.29	0.36	0.43	North Central, Northern Zones
In-swing Patio Door	0.28	0.35	0.43	North Central, Northern Zones

## ABOUT HARVEY BUILDING PRODUCTS

Harvey has built a solid reputation as a leading manufacturer and distributor of quality building products. A privately owned and operated business with over 50 years' experience, Harvey Building Products is known for outstanding craftsmanship and superior service as well as standing behind every product we make. In addition to manufacturing durable, attractive windows, doors and porch enclosures, Harvey distributes a full line of highly respected building products to professional contractors and builders throughout the Northeast.

**Install Confidence.®**



Harvey Building Products  
1400 Main Street  
Waltham, MA 02451-1623 USA  
800-9HARVEY (800-942-7839)



**50 Mt. Vernon Street**

**LU-21-84**

**Public Hearing**



**LU-21-84**

## Land Use Application

**Status:** Active**Date Created:** Apr 27, 2021**Applicant**

Matthew Beebe  
matthewdbeebe@comcast.net  
81 Lincoln Ave  
Portsmouth, NH 03801  
603-234-7398

**Location**

50 MT VERNON ST  
Portsmouth, NH 03801

**Owner:**

ALEX SUSAN LIVING TRUST & ALEX SUSAN TRUSTEE  
50 MT VERNON ST PORTSMOUTH, NH 03801

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above



**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications



**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)



**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work



**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line



**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**



**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



**Request for Extension of Previously Granted Land Use Approval**



☐**Appeal of an Administrative Decision or Request for Equitable Waiver**☐

---

**Zoning Information****Base Zoning District**

General Residence B (GRB)

**Base Zoning District 2**

General Residence B (GRB)

**Historic District**☒**Flood Plain District**☐**Downtown Overlay District**☐**Osprey Landing Overlay District**☐**Airport Approach Overlay District**☐**Waterfront Use Overlay District**☐**North End Incentive Overlay District**☐**West End Incentive Overlay District**☐**Highway Noise Overlay District**☐

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**Application Type****Lot Line Revision (Planning Board)**☐**Subdivision (Planning Board)**☐**Amended Subdivision or Lot Line Revision Approval**☐**Wetland Conditional Use Permit (Planning Board)**☐**Amended Wetland Conditional Use Permit (Planning Board)**☐**Accessory Dwelling Unit / Garden Cottage Conditional Use Permit (Planning Board)**☒**Site Plan Review (Planning Board)**☐**Amended Site Plan Review**☐**Other Conditional Use Permit (Planning Board)**☐**Variance (Zoning Board of Adjustment)**☒**Special Exception (Zoning Board of Adjustment)**☐**Historic District Certificate of Approval (Historic District Commission)**☒**Request for Extension of Previously Approved Application**

--

**Appeal of Administrative Decision**☐**Equitable Waiver**☐

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**Project Description****Lot Area (s.f.)**

4,330

**Lot Area Source**

City Tax Card



Detailed Description of Proposed Work

Add dormers to existing garage roof and convert existing walk up second floor to habitable space.

Detailed Description of Proposed Work (Planning Staff) -- for wetland conditional use permits use the description field under the wetland section.

Board of Adjustment

Add dormers to the existing garage and create accessory dwelling unit on the second floor which requires the following: 1) Variances from Section 10.521 to allow a) a 7' left side yard where 10' is required; and b) a 5.5' rear yard where 25' is the minimum required. 2) A Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed or enlarged without conforming to the requirements of the Ordinance.

Planning Board

The application of Susan Alex, Owner and Applicant, for property located at 50 Vernon Street requesting Conditional Use Permit approval in accordance with Section 10.815 of the Zoning Ordinance to construct a garden cottage with 425 square feet gross floor area of living space above an existing detached garage. Said property is shown on Assessor Map 111 Lot 29 and lies within the General Residence B (GRB) and Historic Districts.

Brief Description of Existing Land Use

Garage use is currently typical, with a garage bay and small shop area at the first floor and walk-up storage at the second floor.

Land Use Application Fee Calculation

Valuation of New Construction (\$)	Total Number of Dwelling Units
125,000	1

[INTERNAL USE ONLY FOR FEE CALCULATIONS] Total # of dwelling units over 4

-3

Existing Buildings/Structures

<b>Building / Structure Description</b>	<b>Total Gross Floor Area (s.f.)</b>
Sgl Family residence	2,616
<b>Area of Footprint (s.f.)</b>	<b>Height (ft.)</b>
964	--
<b>Height (stories)</b>	
2	
<b>Are you proposing to remove this building/structure?</b>	
<input type="checkbox"/>	

<b>Building / Structure Description</b>	<b>Total Gross Floor Area (s.f.)</b>
Garage	906
<b>Area of Footprint (s.f.)</b>	<b>Height (ft.)</b>
480	--
<b>Height (stories)</b>	
2	
<b>Are you proposing to remove this building/structure?</b>	
<input type="checkbox"/>	

Existing Yards, Coverage, Parking, and Wetlands

Principal Front Yard / Building Setback (ft)

3

Secondary Front Yard / Building Setback (ft)

68

Rear Yard / Building Setback (ft)

5.5

Right Side Yard / Building Setback (ft)

10.5

Left Side Yard / Building Setback (ft)

7

Total # of Residential Units

1

Number of Parking Spaces

4

Number of Loading Spaces

0



**Area of Surface Parking & Driveways (sq ft)**

600

**Other Impervious Surface Area (sq ft)**

0

**Is all or a portion of the property located in the wetland area and/or within 100' of the wetland boundary?**☐

---

**Additional Proposed Building Information****Number of new hotel rooms**

--

**Total New Restaurant Use Gross Floor Area**

--

---

**Proposed Yards, Coverage, Parking and Wetlands (REQUIRED)****Principal Front Yard / Building Setback (ft)**

3

**Secondary Front Yard / Building Setback (ft)**

68

**Rear Yard / Building Setback (ft)**

5.5

**Right Side Yard / Building Setback (ft)**

5.5

**Left Side Yard / Building Setback (ft)**

10.5

**Total # of Residential Units**

2

**Number of Parking Spaces**

4

**Number of Loading Spaces**

0

**Area of Surface Parking & Driveways (sq ft)**

600

**Other Impervious Surface Area (sq ft)**

0

**Are you proposing to do any work in the wetland area or within 100' of the wetland boundary?**☐

---

**Zoning Board of Adjustment Application Check List****Application Type**

Variance or Special Exception for BOTH Land Use and Dimensional Requirements

**I understand that I will need to submit labeled photos of existing conditions with this application**☒**I understand that I will need to submit a written statement with this application explaining how the request complies with the requirements of the Zoning Ordinance as provided in Article 2 (Section 10.233.20 for Variances, Section 10.232.20 for Special Exceptions)**☒**I understand that all plans / exhibits submitted with this application shall be 8.5" X 11" or 11" X 17" in size**☒

---

**Project Representatives****Relationship to Project**

Applicant (other than Owner)

**If you selected "Other", please state relationship to project.**

Builder/Designer



<b>Full Name (First and Last)</b> Matthew Beebe	<b>Business Name (if applicable)</b> MDB Design LLC
<b>Mailing Address (Street)</b> 81 Lincoln Ave	<b>City/Town</b> Portsmouth
<b>State</b> NH	<b>Zip Code</b> 03801
<b>Phone</b> 603-234-7398	<b>Email Address</b> matthewdbeebe@comcast.net

**Plan Submission**

I understand that this application will not be considered complete until I have provided the required plans and any additional submission requirements. I also understand that any hard copies as required by the Planning Department are required to be submitted prior to the application deadline. (You will be prompted at the next screen to upload your plans.)



I have reviewed the application requirements provided on the Planning Department's web page -- [www.cityofportsmouth.com/planportsmouth/land-use-applications-forms-and-fees](http://www.cityofportsmouth.com/planportsmouth/land-use-applications-forms-and-fees).

**Acknowledgement**

If this application is approved, I hereby acknowledge that all changes or variation in the design as presented shall require further Historic District Commission approval



I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Builder/Designer

I certify that the information given is true and correct to the best of my knowledge.



I understand that I am responsible for paying any applicable application fees and that I will be invoiced separately for legal and abutter notification costs as well.



Is this property under condominium ownership?



I understand that it is the obligation of the applicant to submit adequate documents, plans, and exhibits to demonstrate compliance with the Zoning Ordinance.



By signing below, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction.

Matthew Beebe

04/27/2021

**INTERNAL USE -- Land Use Approvals**

**Historic District Commission**



**HDC Approval Granted**

--

**Zoning Board of Adjustment**



**BOA Approval Granted**

05/25/2021

**Zoning Relief Required**

--

**Conservation Commission Review**



**Conservation Commission Review Completed**

--

**Conditional Use Permit (Wetlands)**



**Wetland CUP Granted**

--

**Conditional Use Permit (Other)**

**Other CUP Granted**



7/2/2021

OpenGov

☐

--

**Prelim. Concept. Consultation**

**Prelim. Concept. Consultation Completed**

☐

--

**Design Review Phase**

**Design Review Phase Completed**

☐

--

**Subdivision / Lot Line Revision**

**Subdivision / Lot Line Revision Granted**

☐

--

**Site Plan Review**

**Site Plan Review Granted**

☐

--

**Technical Advisory Committee Review**

**TAC Review Completed**

☐

--

**Internal consistency review required**

**Certificate of Use Required**

☐

☐

**Stipulations**

--

**Additional Planning Department Comments**

--

---

**INTERNAL USE ONLY -- Land Use Approval Conditions**

**Site Review Agreement**

☐

**Recording of Plans and/or Easements**

☐

**Subdivision Agreement**

☐

**City Council Approval**

☐

**Landscape Markings**

☐

**Mitigation Fees**

☐

**CMMP**

☐

**Site Review or Subdivision Bond**

☐

**Total Bond**

--

**Total Off-Site Mitigation Fees Required**

--

**Conditions Precedent (prior to Building Permit issuance)**

☐

**DPW Director Certification of Road and Utilities**

☐

**Conditions Subsequent (prior to final CO or bond return)**

☐

---

**INTERNAL USE -- Information for Reporting Purposes**

**New Building Footprint (SF)**

--

**Number of Stories**

--

**New NET Gross Floor Area (SF)**

--

**New Dwelling Units**

--

**New Hotel Rooms**

--

**Total # of Parking Spaces Provided On-Site**

--

**New Restaurant Gross Floor Area (SF)**

--

**New NET Impervious Surface Area (SF)**

--

**Value of off-site improvements**



--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

**Owner Organization / Business Name**

Susan Alex Living Trust, Owner

**Owner Contact Street Address**

50 MT Vernon Street

**Owner Address City**

Portsmouth

**Owner Address State**

New Hampshire

**Owner Address Zip**

03801

**RE: (memo field)**

Board of Adjustment request for property located at 50 MT Vernon Street

**Owner Addressee Prefix and Last Name**

Susan Alex Living Trust

**Meeting Date**

May 25, 2021

**Detailed Description**

adding dormers to the existing garage and create accessory dwelling unit on the second floor which requires the following: 1) Variances from Section 10.521 to allow a) a 7' left side yard where 10' is required; and b) a 5.5' rear yard where 25' is the minimum required. 2) A Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed or enlarged without conforming to the requirements of the Ordinance

**Assessor Map and Lot**

Map 111 Lot 29

**Zoning District Information**

General Residence B (GRB) District

**Decision****grant** the request as presented and advertised with the following stipulation:**Stipulations**

1) The condenser can be located within the 5-1/2 foot rear yard setback.

**Planning Board Meeting (for TAC, ConCom, and PB postponement LODs)**

--

**Planning Board submission deadline (for TAC, ConCom and PB postponement LODs)**

--

**Postponed to Meeting (for TAC, BOA, HDC, ConCom postponements)**

--

**Postponement submission deadline (for TAC, BOA, HDC, ConCom postponements)**

--

**Administrative Approval Date of Plans Received**

--

**Administrative Approval Amendments**

--

**Administrative Approval List of Plans and Documents**

--

**Amended Approval Planning Board letter of decision date**

--

**Administrative Approval Recording requirement**

--

**Extension or Rehearing request (for any Board)**

--

**Historic District Commission Purpose and Intent**

--

**Historic District Commission Review Criteria**

--

**Historic District Commission Findings of Fact for Denial**

--



Zoning Board of Adjustment Review Criteria

--

INTERNAL USE ONLY -- Letter of Decision Additional CC's

**Full Name, Title, Company**  
Matthew Beebe, MDB Design LLC

**Full Name, Title, Company**  
Susan Alex, Trustee

Attachments

- pdf

HDC Authorization letter copy.pdf

Uploaded by Matthew Beebe on Apr 27, 2021 1:34 PM
- zip

BOA Submission.zip

Uploaded by Matthew Beebe on Apr 27, 2021 1:36 PM
- pdf

Mt.VernonSt\_50\_HDC\_PH\_070721.pdf

Uploaded by Izak Gilbo on Jun 23, 2021 2:39 PM
- pdf

50 Mt. Vernon Street.pdf

Uploaded by Izak Gilbo on Jun 24, 2021 8:07 AM
- pdf

50 Mt Vernon As-Built Photos.pdf

Uploaded by Matthew Beebe on Apr 27, 2021 1:41 PM
- pdf

50 Mt Vernon As-Built Photos-#2.pdf

Uploaded by Matthew Beebe on Apr 27, 2021 1:39 PM
- doc

Susan Alex BOA Submittal Narrative.doc

Uploaded by Matthew Beebe on Apr 27, 2021 7:27 PM
- pdf

Site Plan Scan.pdf

Uploaded by Matthew Beebe on May 24, 2021 1:51 PM
- pdf

MtVernonSt\_50\_BOA\_052521.pdf

Uploaded by Peter Stith on May 19, 2021 8:54 AM




History

Date	Activity
Dec 05 2020 12:45 pm	Matthew Beebe started a draft of Record LU-21-84
Apr 27 2021 1:37 pm	Matthew Beebe added attachment 50 Mt Vernon As-Built Photos.pdf to Record LU-21-84
Apr 27 2021 1:37 pm	Matthew Beebe added attachment 50 Mt Vernon As-Built Photos-#2.pdf to Record LU-21-84
Apr 27 2021 7:27 pm	Matthew Beebe added attachment Susan Alex BOA Submittal Narrative.doc to Record LU-21-84
Apr 27 2021 7:28 pm	Matthew Beebe submitted Record LU-21-84
Apr 27 2021 7:28 pm	approval step Preliminary Application Review was assigned to Vincent Hayes on Record LU-21-84
Apr 28 2021 8:56 am	Vincent Hayes assigned approval step Zoning Board of Adjustment Approval to Peter Stith on Record LU-21-84
Apr 28 2021 8:56 am	Vincent Hayes assigned approval step Historic District Commission Approval to Nicholas Cracknell on Record LU-21-84
Apr 28 2021 8:56 am	Vincent Hayes assigned approval step Land Use Permit -- Planning Department Review and Fee Calculation to Kimberli Kienia on Record LU-21-84
Apr 28 2021 8:56 am	Vincent Hayes assigned approval step Land Use Code Review to Peter Stith on Record LU-21-84
Apr 28 2021 8:56 am	Vincent Hayes approved approval step Preliminary Application Review on Record LU-21-84
Apr 28 2021 3:31 pm	Kimberli Kienia approved approval step Land Use Permit -- Planning Department Review and Fee Calculation on Record LU-21-84
May 03 2021 5:26 pm	Matthew Beebe added attachment Alex Site plan for HDC.pdf to Record LU-21-84
May 03 2021 5:38 pm	Peter Stith changed Detailed Description of Proposed Work (Planning Staff) -- for wetland conditional use permits use from "" to "Add dormers to the existing garage and create accessory dwelling unit on the second floor which r" on Record LU-21-84
May 11 2021 6:08 am	completed payment step Application Permit Fee on Record LU-21-84
May 18 2021 10:07 am	Peter Stith approved approval step Land Use Code Review on Record LU-21-84
May 19 2021 8:54 am	Peter Stith added attachment MtVernonSt_50_BOA_052521.pdf to Record LU-21-84
May 28 2021 10:23 am	Kimberli Kienia changed Owner Addressee Full Name and Title from "" to "Susan Alex Living Trust, Owner" on Record LU-21-84
May 28 2021 10:24 am	Kimberli Kienia changed Owner Addressee Full Name and Title from "Susan Alex Living Trust, Owner" to "" on Record LU-21-84
May 28 2021 10:24 am	Kimberli Kienia changed Owner Organization / Business Name from "" to "Susan Alex Living Trust, Owner" on Record LU-21-84
May 28 2021 11:20 am	Kimberli Kienia added multi-entry field Full Name, Title, Company to Record LU-21-84
May 28 2021 11:23 am	Kimberli Kienia changed Owner Contact Street Address from "" to "50 MT Vernon Street" on Record LU-21-84
May 28 2021 11:23 am	Kimberli Kienia changed Owner Address City from "" to "Portsmouth" on Record LU-21-84










Date	Activity
May 28 2021 11:23 am	Kimberli Kienia changed Owner Address State from "" to "New Hampshire" on Record LU-21-84
May 28 2021 11:23 am	Kimberli Kienia changed Owner Address Zip from "" to "03801" on Record LU-21-84
May 28 2021 11:24 am	Kimberli Kienia changed RE: (memo field) from "" to "Board of Adjustment request for property located at 50 MT Vernon Street" on Record LU-21-84
May 28 2021 11:25 am	Kimberli Kienia changed Owner Addressee Prefix and Last Name from "" to "Ms. Alex" on Record LU-21-84
May 28 2021 11:25 am	Kimberli Kienia changed Detailed Description from "" to "add dormers to the existing garage and create accessory dwelling unit on the second floor which r" on Record LU-21-84
May 28 2021 11:25 am	Kimberli Kienia changed Assessor Map and Lot from "" to "Map 111 Lot 29" on Record LU-21-84
May 28 2021 11:25 am	Kimberli Kienia changed Zoning District Information from "" to "General Residence B (GRB) District" on Record LU-21-84
May 28 2021 11:26 am	Kimberli Kienia changed Decision from "" to "The Board voted to <b>grant</b> the request as presented and" on Record LU-21-84
May 28 2021 11:26 am	Kimberli Kienia changed Stipulations from "" to "The recognition of the condenser will be included within the 5-1/2 foot rear yard setback." on Record LU-21-84
May 28 2021 11:28 am	Kimberli Kienia changed Meeting Date from "" to "May 25, 2021" on Record LU-21-84
May 28 2021 11:29 am	Kimberli Kienia changed Detailed Description from "add dormers to the existing garage and create accessory dwelling unit on the second floor which r" to "adding dormers to the existing garage and create accessory dwelling unit on the second floor whic" on Record LU-21-84
May 28 2021 11:31 am	Kimberli Kienia changed Owner Addressee Prefix and Last Name from "Ms. Alex" to "Susan Alex Living Trust" on Record LU-21-84
May 28 2021 11:31 am	Kimberli Kienia added multi-entry field Full Name, Title, Company to Record LU-21-84
May 28 2021 11:32 am	Kimberli Kienia changed Decision from "The Board voted to <b>grant</b> the request as presented and" to " <b>grant</b> the request as presented and advertised w" on Record LU-21-84
May 28 2021 12:09 pm	Kimberli Kienia changed Stipulations from "The recognition of the condenser will be included within the 5-1/2 foot rear yard setback." to "1) The condenser can be located within the 5-1/2 foot rear yard setback." on Record LU-21-84
Jun 01 2021 10:51 am	Peter Stith altered Record LU-21-84, changed expirationDate from "" to "May 25 2023 4:00AM"
Jun 01 2021 10:51 am	Peter Stith changed BOA Approval Granted from "" to "05/25/2021" on Record LU-21-84
Jun 01 2021 10:51 am	Peter Stith changed Zoning Board of Adjustment from "" to "true" on Record LU-21-84
Jun 01 2021 10:51 am	Peter Stith approved approval step Zoning Board of Adjustment Approval on Record LU-21-84
Jun 23 2021 2:28 pm	Izak Gilbo changed Historic District Certificate of Approval (Historic District Commission) from "" to "true" on Record LU-21-84
Jun 23 2021 2:28 pm	Izak Gilbo changed Accessory Dwelling Unit / Garden Cottage Conditional Use Permit (Planning Board) from "" to "true" on Record LU-21-84
Jun 23 2021 2:39 pm	Izak Gilbo added payment step Application Permit Fee- HDC to Record LU-21-84
Jun 24 2021 9:27 am	Izak Gilbo assigned approval step Planning Board Approval to Juliet Walker on Record LU-21-84
Jun 24 2021 5:30 pm	Izak Gilbo completed payment step Application Permit Fee- HDC on Record LU-21-84
Jun 25 2021 9:40 am	Juliet Walker changed Detailed Description of Proposed Work (Planning Staff) -- for wetland conditional use permits use from "Add dormers to the existing garage and create accessory dwelling unit on the second floor which r" to " <u>Board of Adjustment</u> Add dormers to the existing garage and create accessory dwelling un" on Record LU-21-84
Jun 28 2021 12:01 pm	Juliet Walker changed Detailed Description of Proposed Work (Planning Staff) -- for wetland conditional use permits use from " <u>Board of Adjustment</u> Add dormers to the existing garage and create accessory dwelling un" to " <u>Board of Adjustment</u> Add dormers to the existing garage and create accessory dwelling un" on Record LU-21-84
Jun 28 2021 12:26 pm	Stefanie Casella changed Detailed Description of Proposed Work (Planning Staff) -- for wetland conditional use permits use from " <u>Board of Adjustment</u> Add dormers to the existing garage and create accessory dwelling un" to " <u>Board of Adjustment</u> Add dormers to the existing garage and create accessory dwelling un" on Record LU-21-84
Jun 28 2021 12:27 pm	Stefanie Casella changed Detailed Description of Proposed Work (Planning Staff) -- for wetland conditional use permits use from " <u>Board of Adjustment</u> Add dormers to the existing garage and create accessory dwelling un" to " <u>Board of Adjustment</u> Add dormers to the existing garage and create accessory dwelling un" on Record LU-21-84
Jun 28 2021 12:28 pm	Stefanie Casella changed Detailed Description of Proposed Work (Planning Staff) -- for wetland conditional use permits use from " <u>Board of Adjustment</u> Add dormers to the existing garage and create accessory dwelling un" to " <u>Board of Adjustment</u> Add dormers to the existing garage and create accessory dwelling un" on Record LU-21-84
Jun 28 2021 12:28 pm	Stefanie Casella changed Detailed Description of Proposed Work (Planning Staff) -- for wetland conditional use permits use from " <u>Board of Adjustment</u> Add dormers to the existing garage and create accessory dwelling un" to " <u>Board of Adjustment</u> Add dormers to the existing garage and create accessory dwelling un" on Record LU-21-84

## Timeline

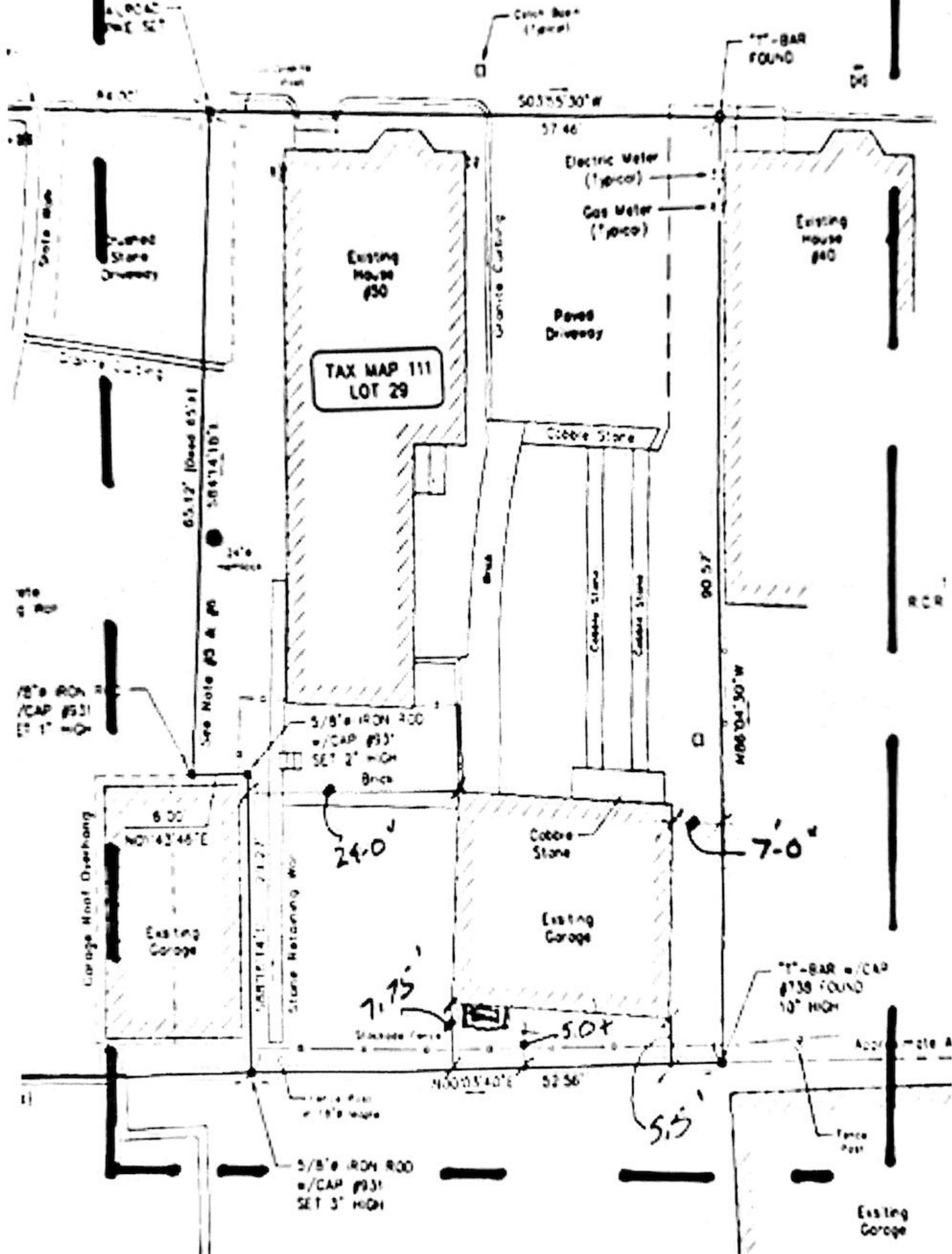
Label	Status	Activated	Completed	Assignee	Du
 Preliminary Application Review	Complete	4/27/2021 at 7:28 PM	4/28/2021 at 8:56 AM	Vincent Hayes	-
 Land Use Permit -- Planning Department Review and Fee Calculation	Complete	4/28/2021 at 8:56 AM	4/28/2021 at 3:31 PM	Kimberli Kienia	-
 Application Permit Fee	Paid	4/28/2021 at 3:31 PM	5/11/2021 at 6:08 AM	-	-




Label	Status	Activated	Completed	Assignee	Du
 Land Use Code Review	Complete	5/11/2021 at 6:08 AM	5/18/2021 at 10:07 AM	Peter Stith	-
 Board of Adjustment Letter of Decision -- Approval	Issued	6/1/2021 at 10:50 AM	6/1/2021 at 10:50 AM	Kimberli Kienia	-
 Zoning Board of Adjustment Approval	Complete	5/18/2021 at 10:07 AM	6/1/2021 at 10:51 AM	Peter Stith	-
 Application Permit Fee- HDC	Paid	6/23/2021 at 2:39 PM	6/24/2021 at 5:30 PM	-	-
 Historic District Commission Approval	Active	6/1/2021 at 10:52 AM	-	Nicholas Cracknell	-
 Planning Board Approval	Pending	-	-	Juliet Walker	-
 Building Permit Issued	Pending	-	-	-	-



MOUNT VERNON STREET





**From:** Susan Alex salex@Liquidpc.com   
**Subject:** HDC  
**Date:** April 14, 2021 at 3:24 PM  
**To:** Matthew Beebe matthewdbeebe@comcast.net

---

SA

To: The City of Portsmouth  
From: Susan Alex-owner of 50 Mt Vernon St  
Re: HDC Applications

This letter is to affirm that my contractor Matthew Beebe is authorized by me to apply for various approvals to the HDC for work done on 50 Mt Vernon St

Thank you

Susan Alex  
Liquid PC, LLC  
Portsmouth, NH 03801  
603-436-6291  
[salex@liquidpc.com](mailto:salex@liquidpc.com)  
Women's Business Enterprise (WBE) Certified  
DIVERSE SUPPLIER



**\*\*Liquid PC is now federally certified in the Women Owned Small Business Program\*\***





MDB DESIGN/BUILD LLC  
Construction Consulting  
Residential Design  
81 Lincoln Ave. Portsmouth, N.H. 03801  
603-234-7398

CONSULTANTS

ALEX RESIDENCE  
ADU PROPOSAL

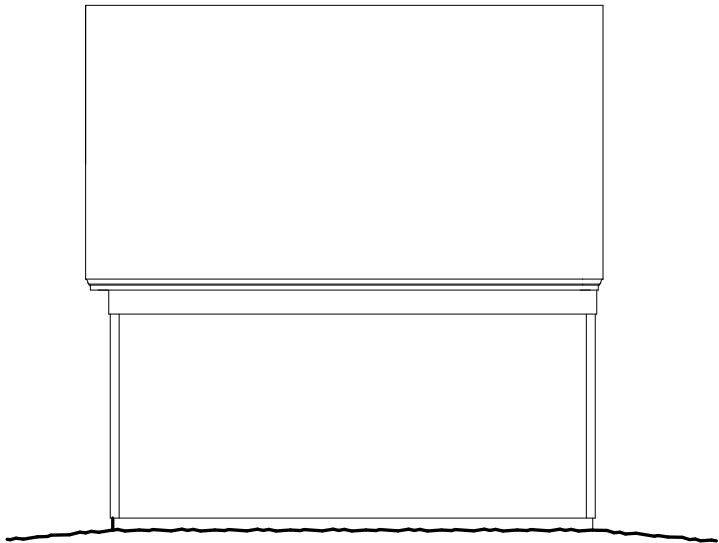
50 MT. VERNON STREET  
PORTSMOUTH, NH 03801

4/13/21	PRELIM. DRAWINGS
DATE	DESCRIPTION

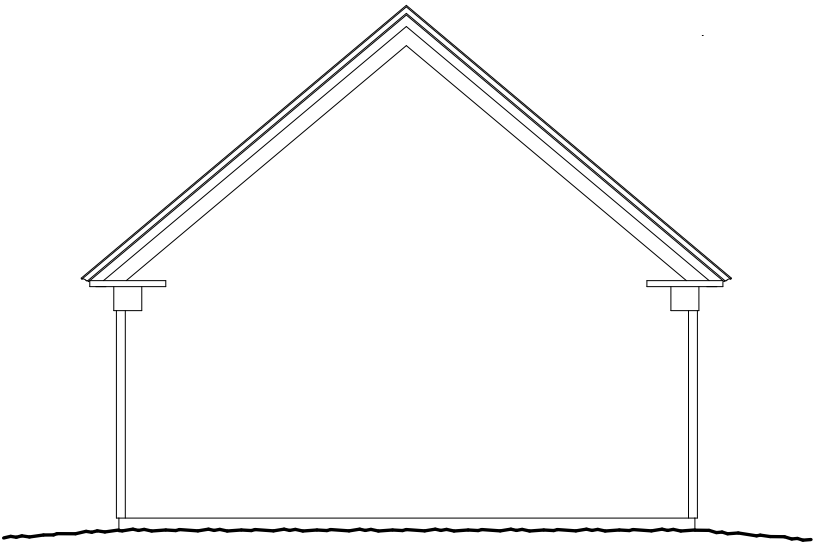
SHEET TITLE

EXISTING  
ELEVATIONS

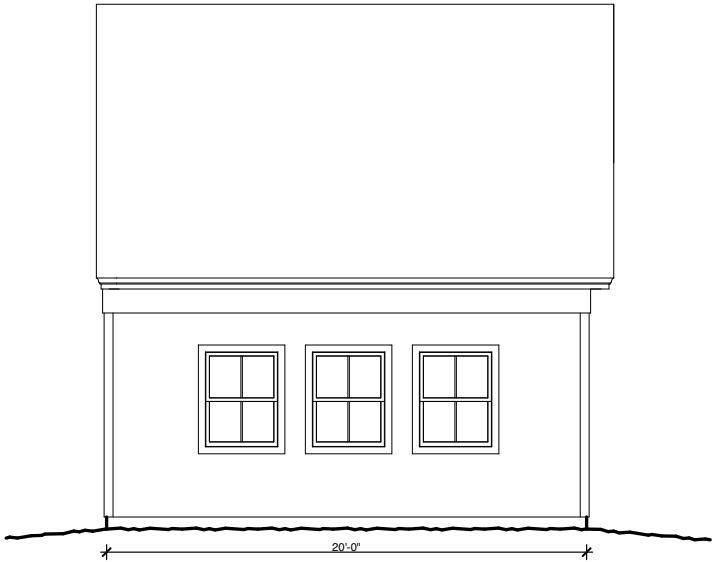
EX1



3 SIDE ELEVATION 1/8" = 1'-0"



4 REAR ELEVATION 1/8" = 1'-0"



2 SIDE ELEVATION 1/8" = 1'-0"



1 FRONT ELEVATION 1/8" = 1'-0"









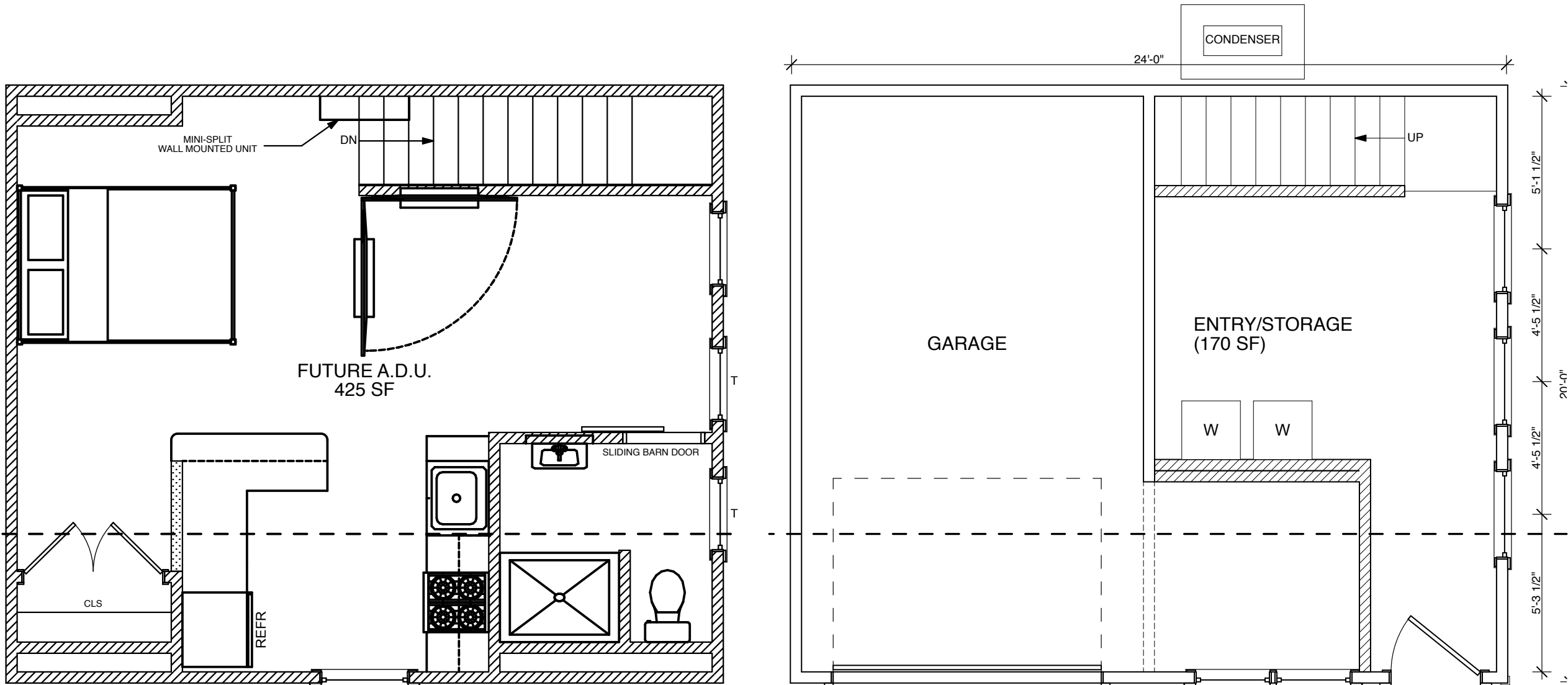












2

SECOND FLOOR PLAN

1/4" = 1'-0"

1

FIRST FLOOR PLAN

1/4" = 1'-0"

MDB DESIGN/BUILD LLC Construction Consulting Residential Design 81 Lincoln Ave. Portsmouth, N.H. 03801 603-234-7398	
CONSULTANTS	
ALEX RESIDENCE ADU PROPOSAL 50 MT. VERNON STREET PORTSMOUTH, NH 03801	
4/13/21	PRELIM. DRAWINGS
DATE	DESCRIPTION
SHEET TITLE	
PROPOSED FLOOR PLANS	
A1	



CONSULTANTS

ALEX RESIDENCE  
ADU PROPOSAL

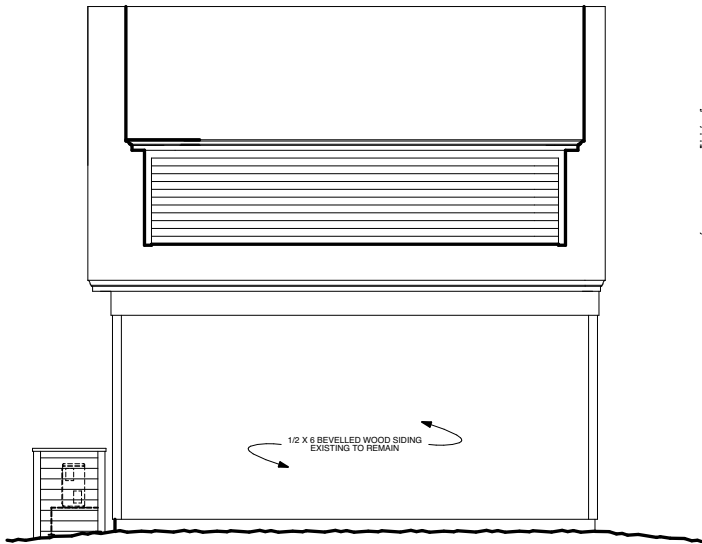
50 MT. VERNON STREET  
PORTSMOUTH, NH 03801

4/13/21	PRELIM. DRAWINGS
DATE	DESCRIPTION

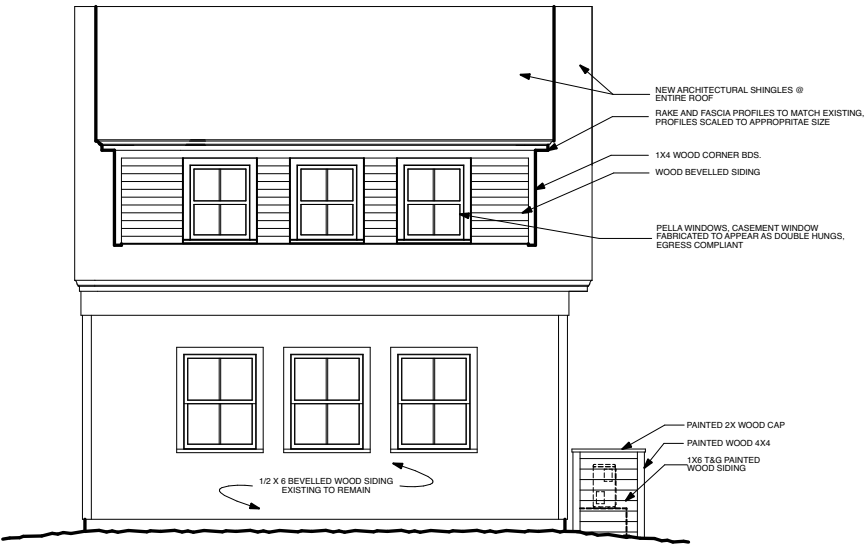
SHEET TITLE

PROPOSED  
ELEVATIONS

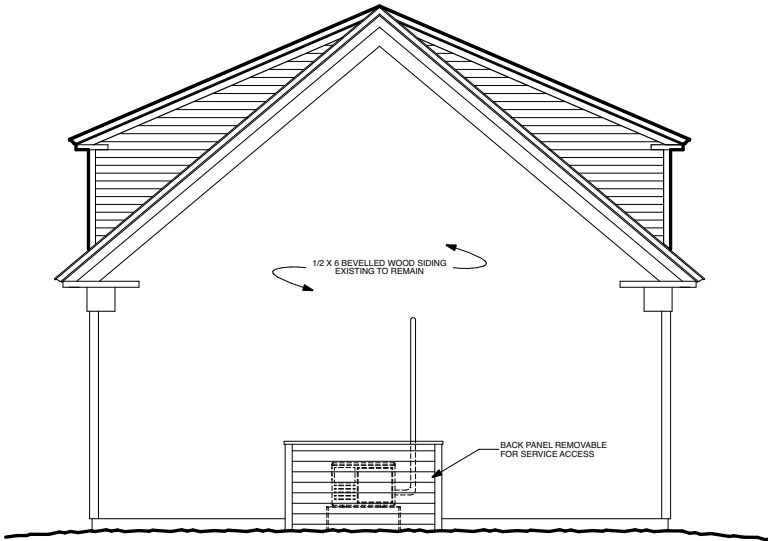
A2



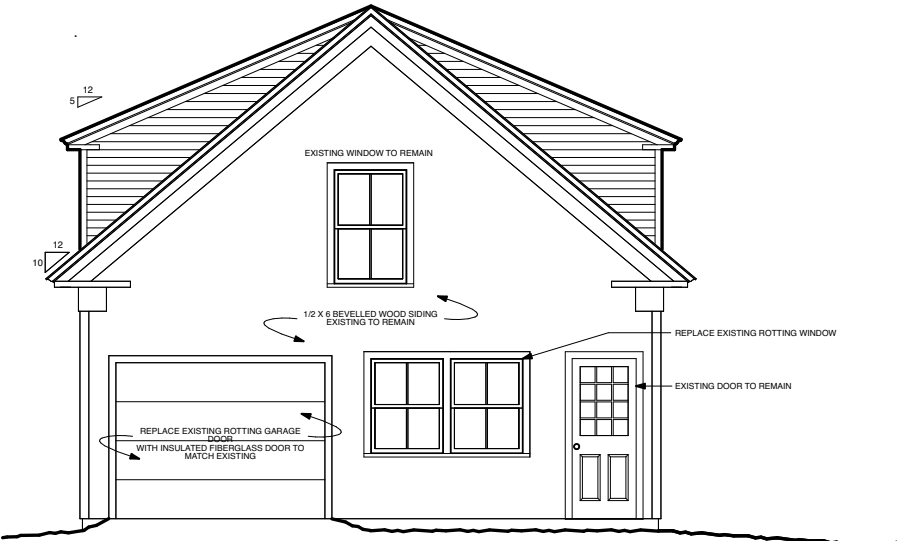
4 NORTH ELEVATION 1/8" = 1'-0"



3 SOUTH ELEVATION 1/8" = 1'-0"



2 EAST ELEVATION 1/8" = 1'-0"



1 WEST ELEVATION 1/8" = 1'-0"



**420 Pleasant Street**

**LU-21-126**

**Public Hearing**



**LU-21-126**

## Land Use Application

**Status:** Active**Date Created:** Jun 18, 2021**Applicant**

Richard Desjardins  
richard@mchenryarchitecture.com  
4 Market Street  
Portsmouth, NH 03801  
603-430-0274

**Location**

420 PLEASANT ST  
Portsmouth, NH 03801

**Owner:**

NEAL PLEASANT ST PROPERTIES LLC  
420 PLEASANT ST APT 5 PORTSMOUTH, NH 03801

**Applicant Information****Please indicate your relationship to this project**

B. Property Owner's Representative

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it



**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above



**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure



**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial



**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications



**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)



**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work



**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line



**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**



**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)



**Request for Extension of Previously Granted Land Use Approval**



# 420 PLEASANT STREET - ADDITION AND RENOVATIONS

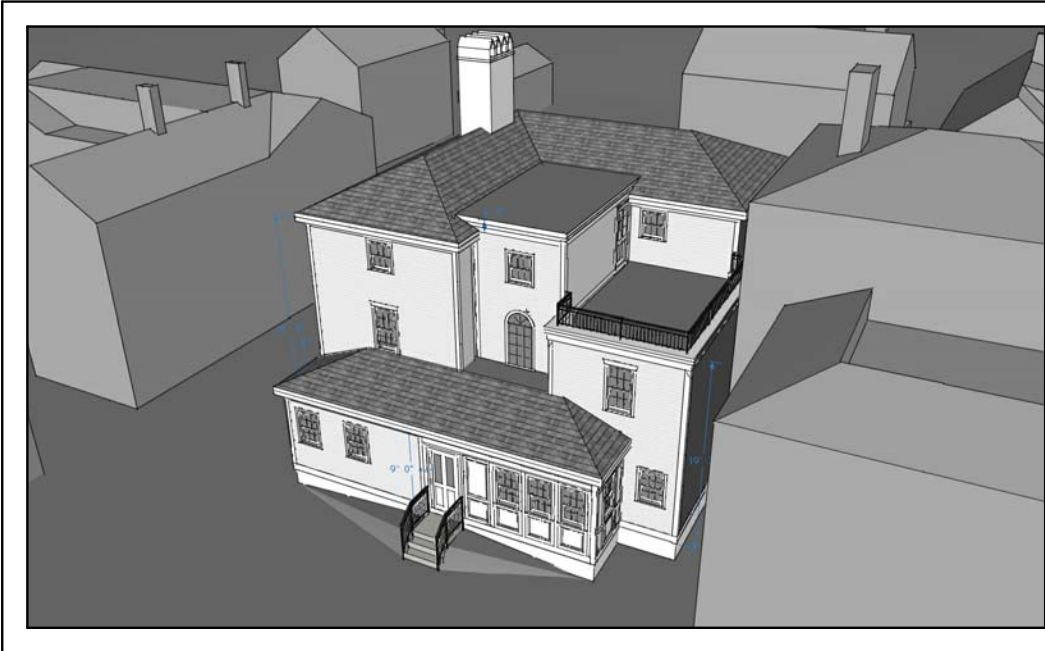
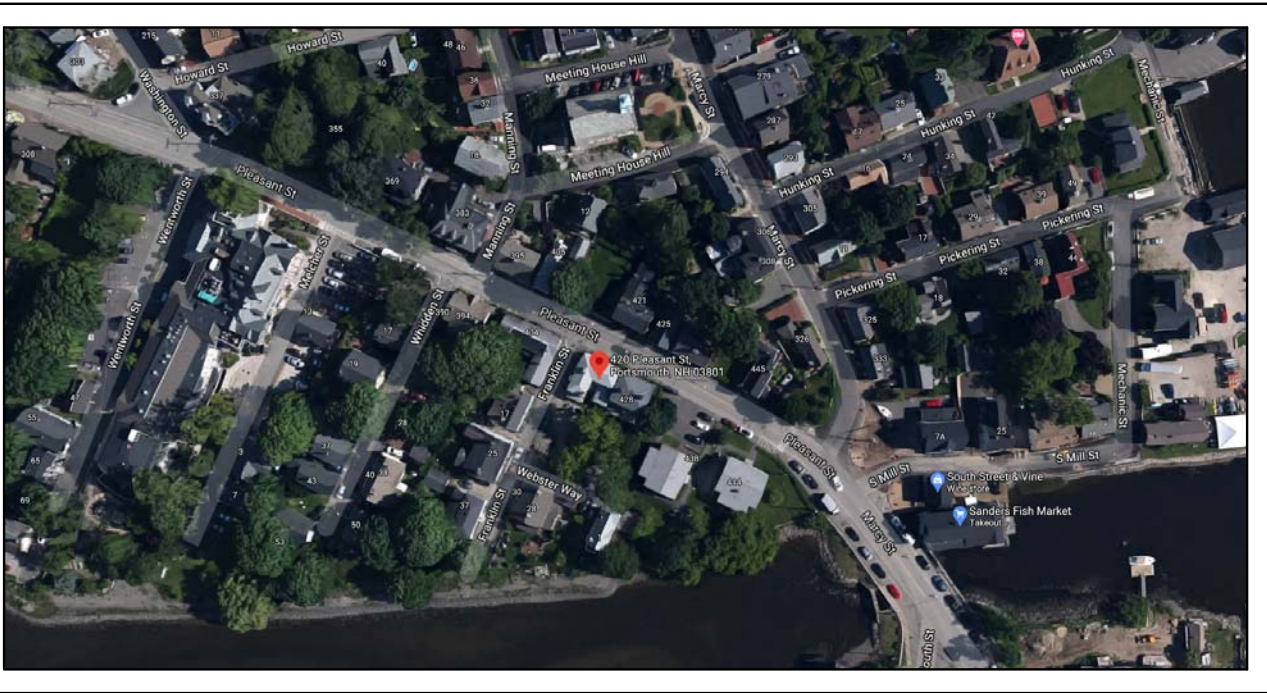
HISTORIC DISTRICT COMMISSION: WORK SESSION / PUBLIC HEARING - JULY 2021, PORTSMOUTH, NEW HAMPSHIRE

GENERAL PROJECT DESCRIPTION:

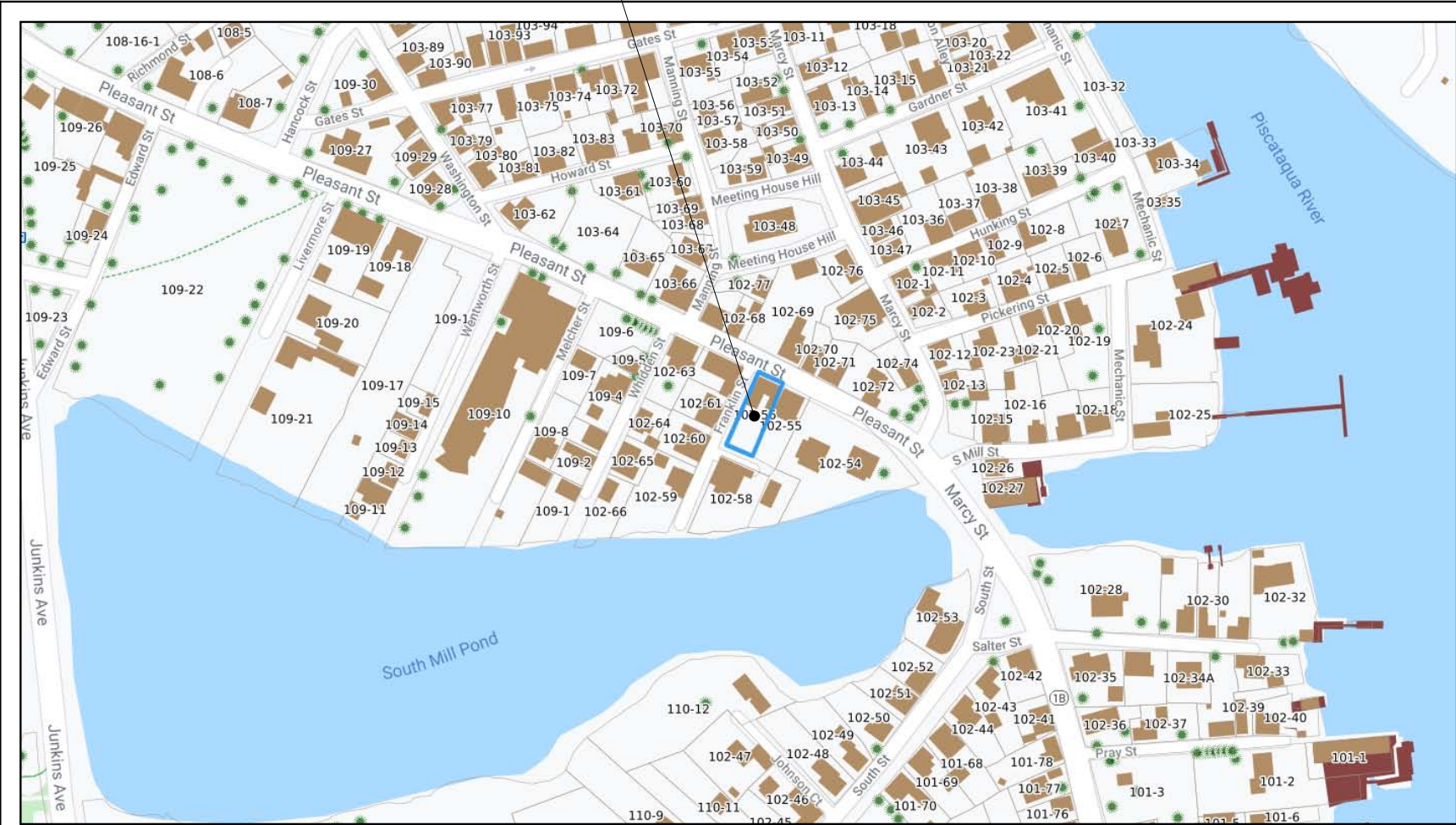
PROPOSED WORK:

- CONVERT FROM A FIVE (5) UNIT RESIDENTIAL BUILDING TO A THREE (3) UNIT RESIDENTIAL BUILDING
- REMOVAL OF EXISTING REAR ENTRY VESTIBULE AND BATHROOM
- REPLACEMENT OF SOUTHEAST ADDITION INCORPORATING A THIRD FLOOR ROOF DECK
- ADDITION OF A THREE STORY CODE COMPLIANT EGRESS STAIR ENCLOSURE AT REAR OF BUILDING
- ADDITION OF REAR ENTRY PORCH

SHEET LIST	
Sheet Number	Sheet Name
C	COVER
A1	EXISTING PHOTOS
A2	CONTEXT PHOTOS
A3	CONTEXT PHOTOS
A4	EXISTING FLOOR PLANS
A5	PROPOSED FLOOR PLANS
A6	PREFERRED ROOF FORM
A7	MATERIALS AND DETAILS
A8	MATERIALS AND DETAILS
A9	MATERIALS AND DETAILS
A10	ROOF OPTIONS
A11	ROOF OPTIONS



420 PLEASANT STREET PORTSMOUTH, NH 03801



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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801



HDC WORK SESSION / PUBLIC HEARING - JULY 2021

COVER

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

C

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE





VIEW DOWN FRANKLIN STREET



VIEW FROM 420 PLEASANT STREET PARKING LOT



VIEW OF EXISTING SOUTHEAST ADDITION



ENTRY ON PLEASANT STREET



REAR OF BUILDING FROM FRANKLIN STREET



EXISTING REAR ENTRY

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# 420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

# EXISTING PHOTOS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A1

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE





APPROACH ON PLEASANT STREET FROM DOWNTOWN (1)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (2)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (3)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (1)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (2)



APPROACH ON PLEASANT STREET FROM SANDERS FISH MARKET (3)

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# 420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

## CONTEXT PHOTOS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

A2

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE





APPROACH FROM FRANKLIN STREET (1)



APPROACH FROM FRANKLIN STREET (2)



APPROACH FROM SANDERS FISH MARKET (PLEASANT STREET)



FRANKLIN STREET



APPROACH ON PLEASANT STREET FROM DOWNTOWN (1)



APPROACH ON PLEASANT STREET FROM DOWNTOWN (2)

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# 420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

## CONTEXT PHOTOS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

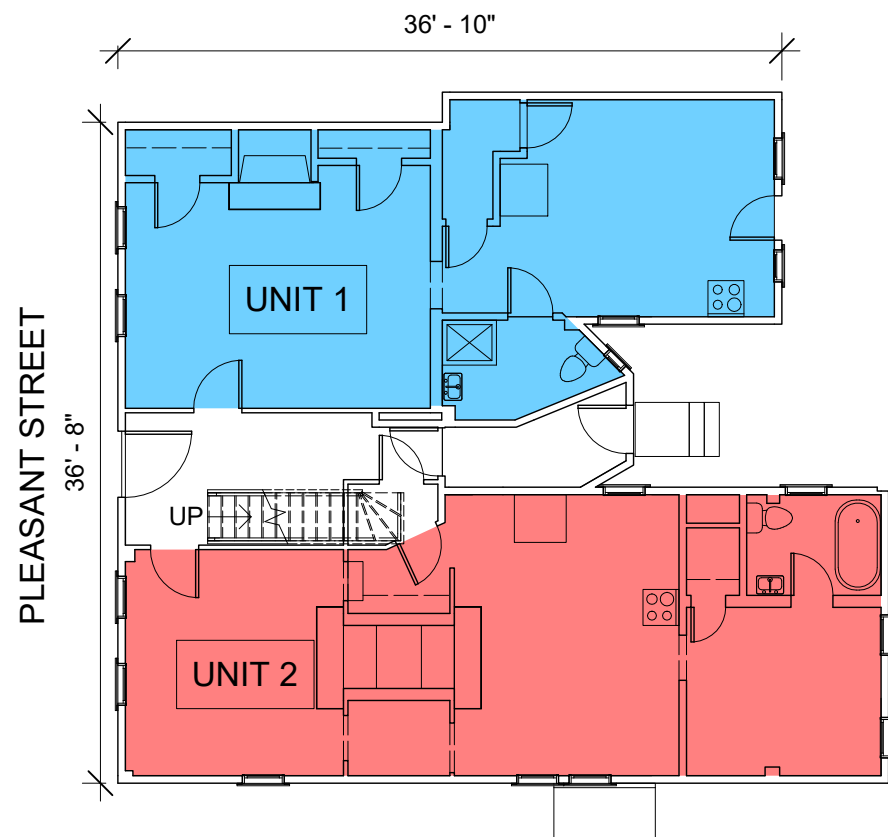
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07/07/2021

McHA: RD / JJ

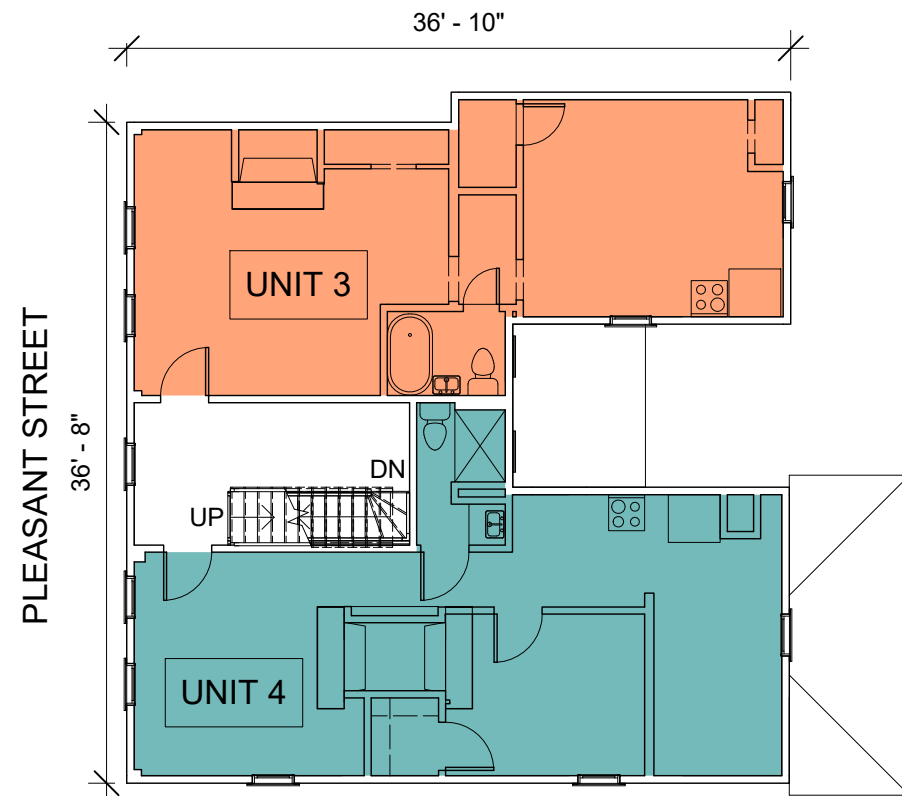
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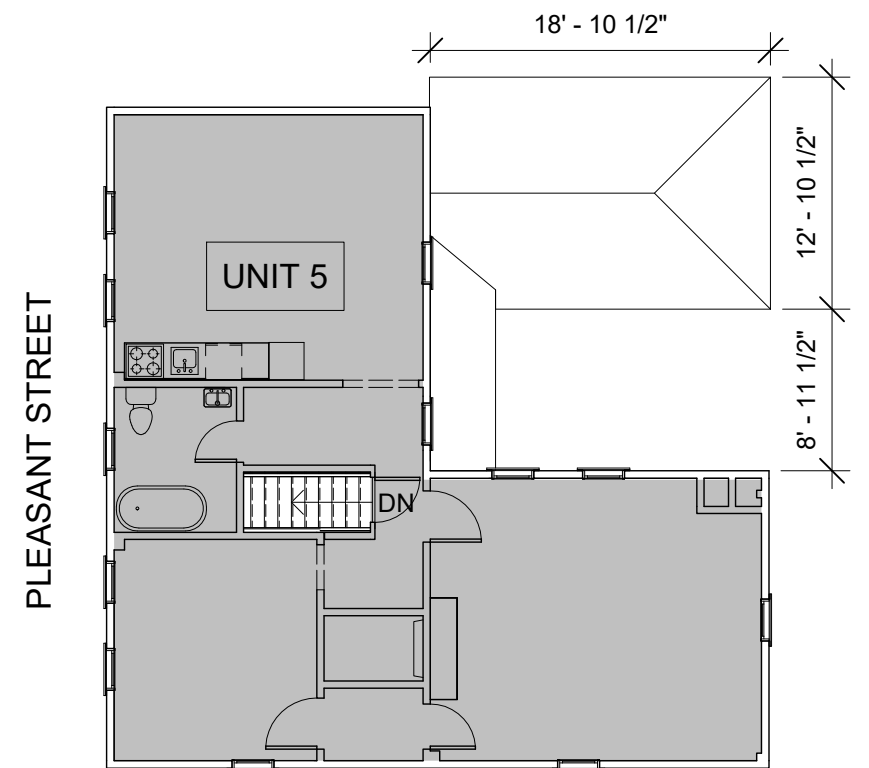
FRANKLIN STREET

1 EXISTING FIRST FLOOR  
3/32" = 1'-0"



FRANKLIN STREET

2 EXISTING SECOND FLOOR  
3/32" = 1'-0"



FRANKLIN STREET

3 EXISTING THIRD FLOOR  
3/32" = 1'-0"

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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801



EXISTING FLOOR PLANS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A4

07/07/2021

McHA: RD / JJ

AS INDICATED

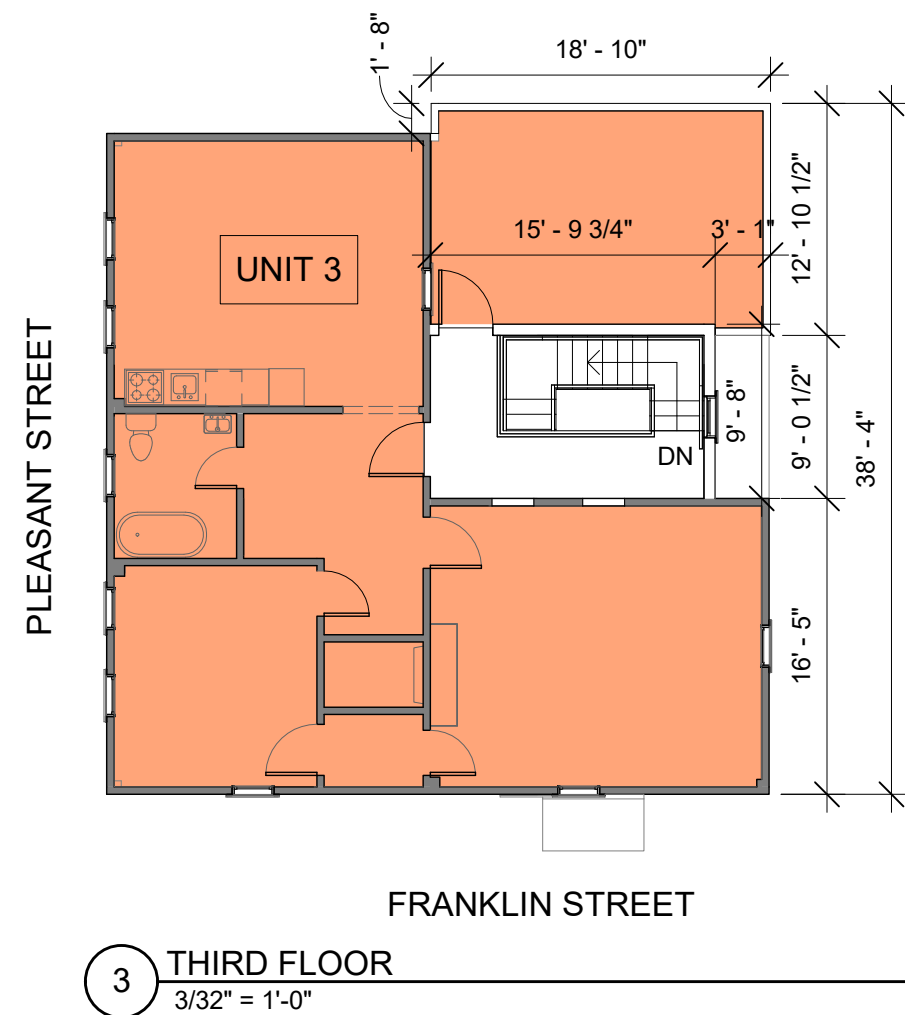
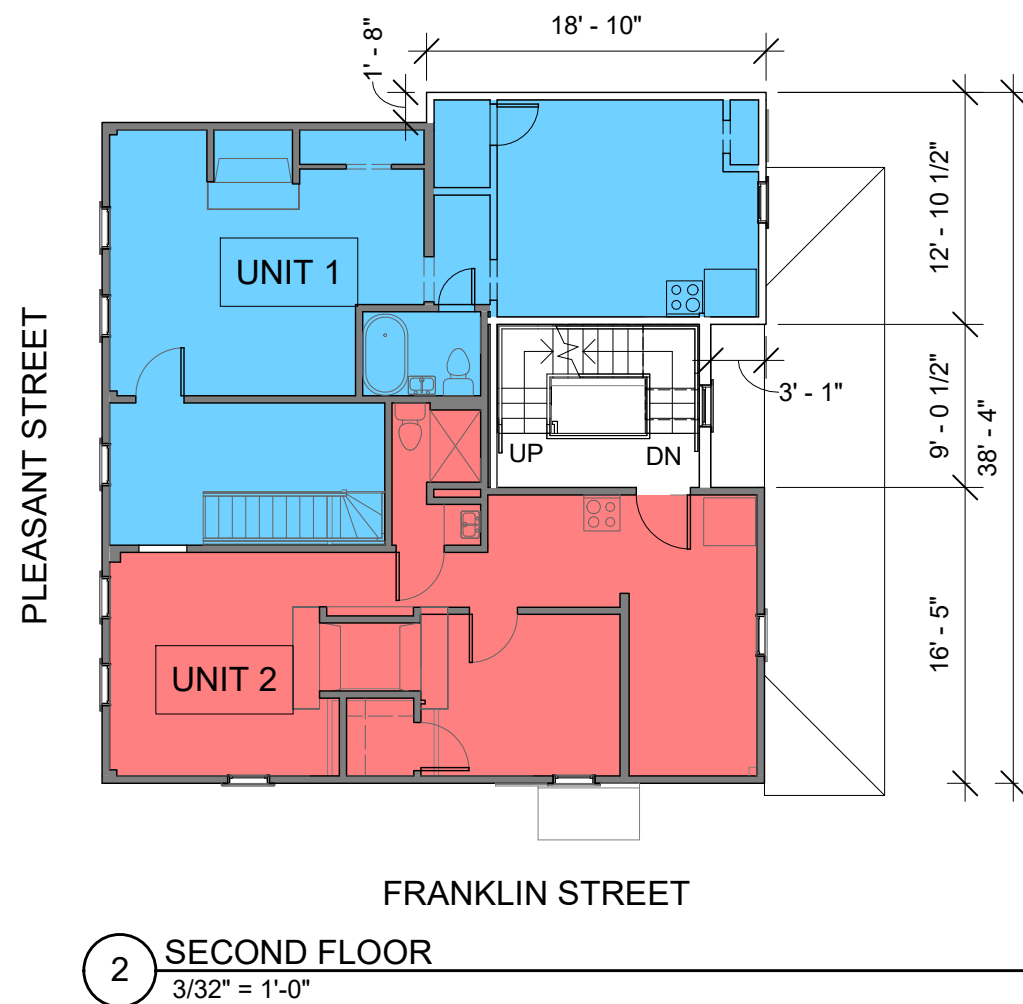
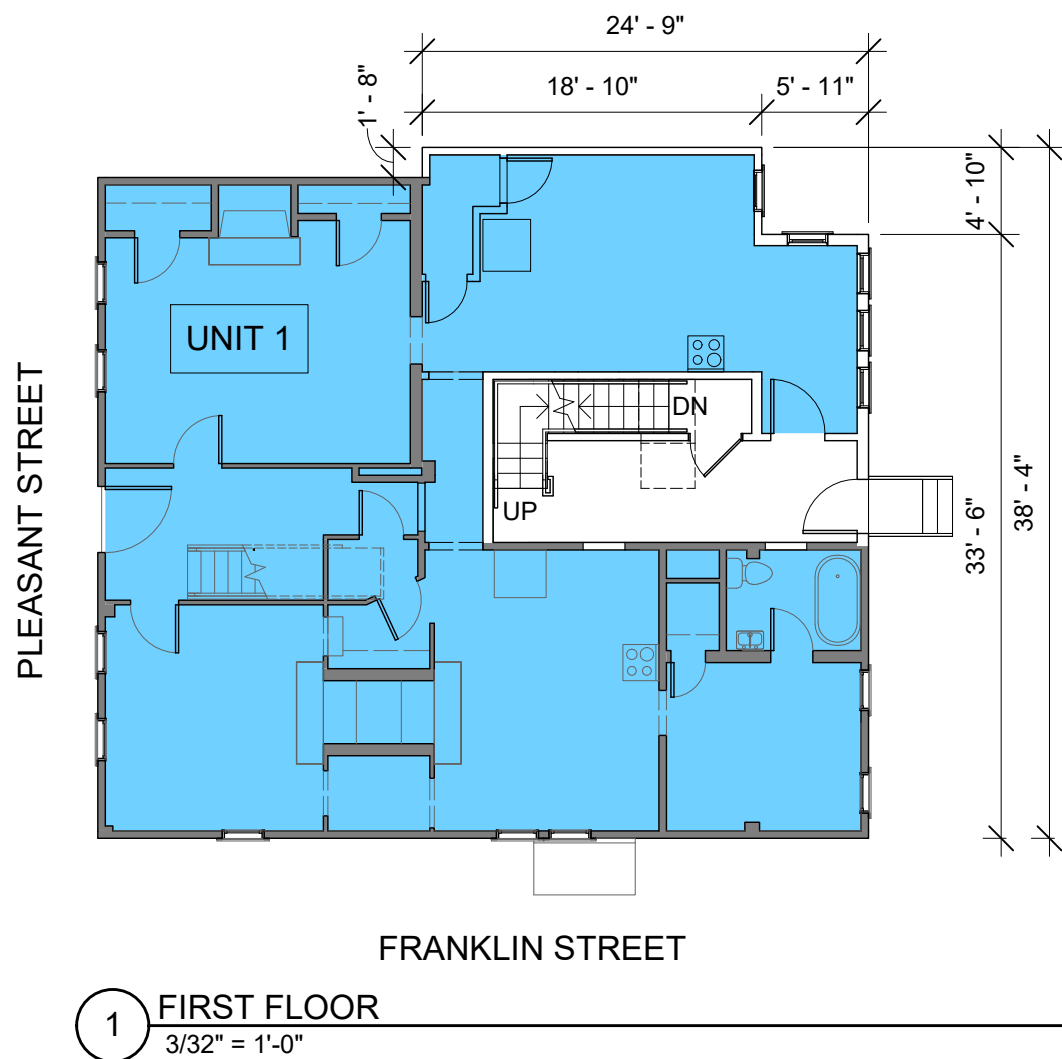


GRAPHIC KEY

: EXISTING

: TO BE REMOVED

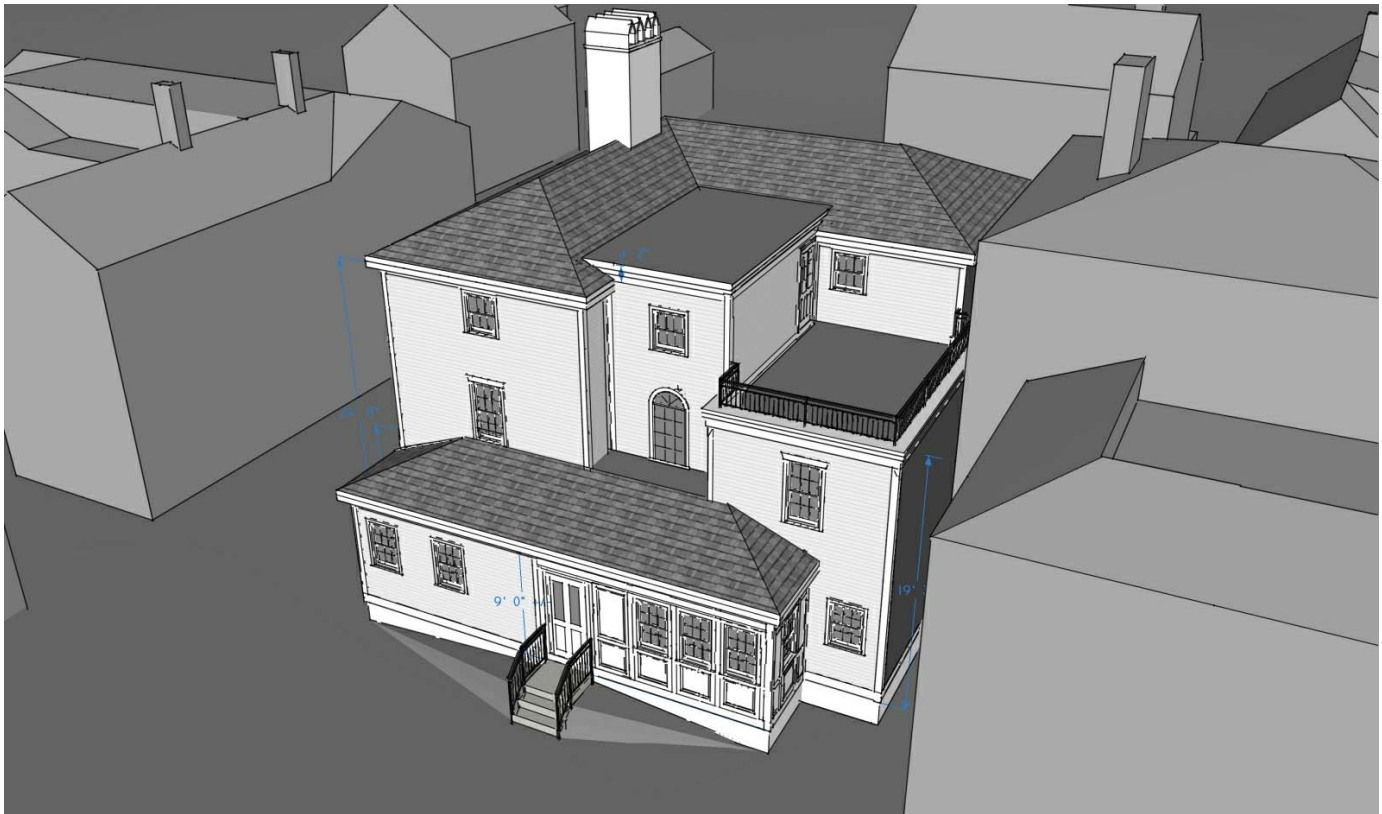
: PROPOSED







VIEW FROM SOUTH - FLAT ROOF A



AERIAL VIEW FROM SOUTH - FLAT ROOF A



VIEW FROM SOUTHWEST - FLAT ROOF A



ENLARGED AERIAL VIEW OF DECK - FLAT ROOF A

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# 420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

## PREFERRED ROOF FORM

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

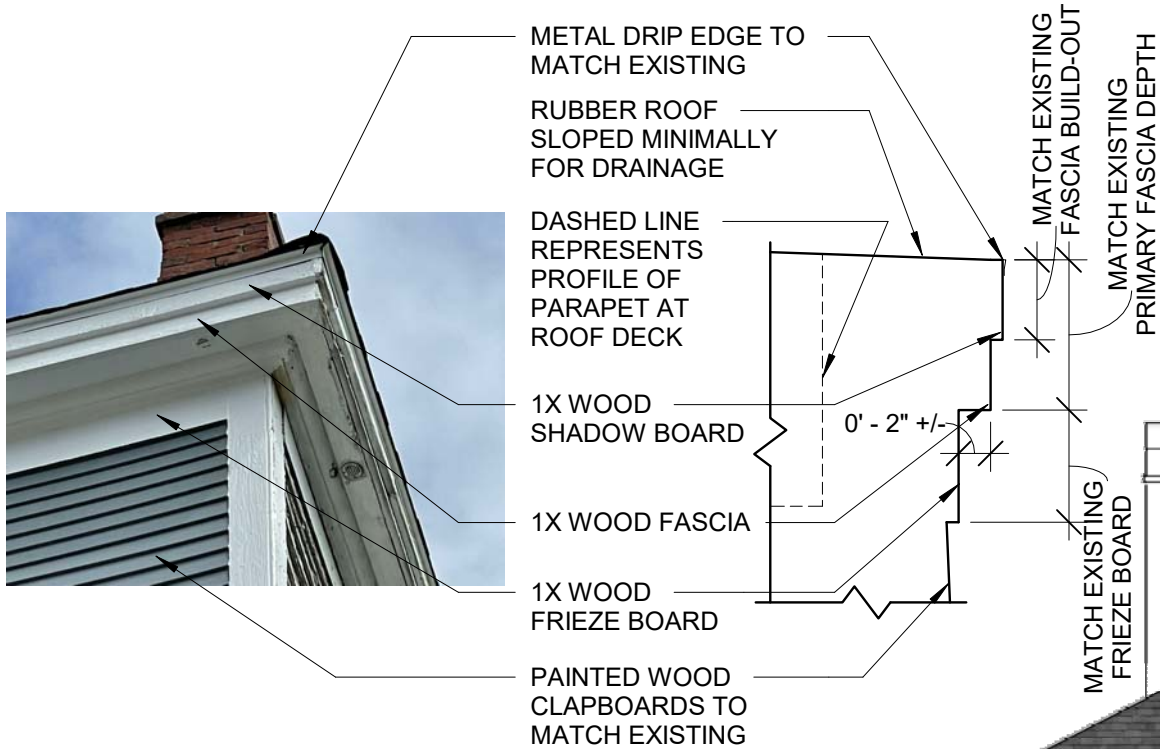
McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A6

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE





# 1 PROPOSED FLAT ROOF EDGE PROFILE 1" = 1'-0"

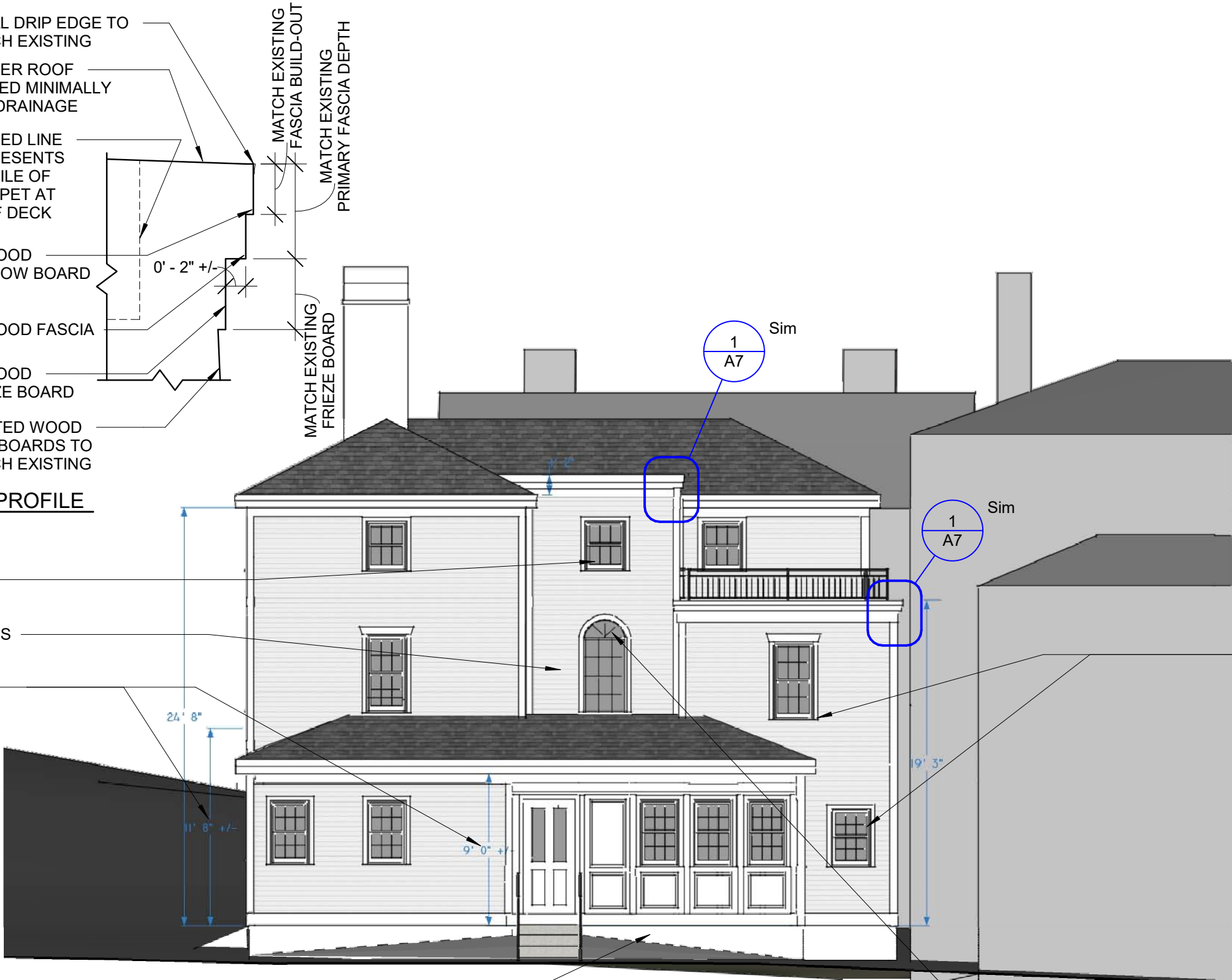
DESIGN INTENT: ALL PROPOSED WINDOWS TO BE WOOD GREEN MOUNTAIN WINDOWS

DESIGN INTENT: ALL NEW CLAPBOARDS TO MATCH EXISTING PAINTED WOOD CLAPBOARDS

DESIGN INTENT: MATCH EXISTING HEIGHTS



DESIGN INTENT: MATCH EXISTING BASE TRIM, WOOD CLAPBOARD, AND BRICK FOUNDATION AT PROPOSED ADDITIONS



REAR ELEVATION - FLAT ROOF A



DESIGN INTENT: MATCH EXISTING WOOD WINDOW TRIM AND SILL PROFILES AT PROPOSED WINDOWS



DESIGN INTENT: PROPOSED REAR HALF ROUND WINDOW TO BE SIMILAR TO FRONT DOOR TRANSOM

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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

MATERIALS AND DETAILS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A7

07/07/2021  
McHA: RD / JJ  
AS INDICATED





OUTDOOR LIGHTING AT ROOF DECK TBD

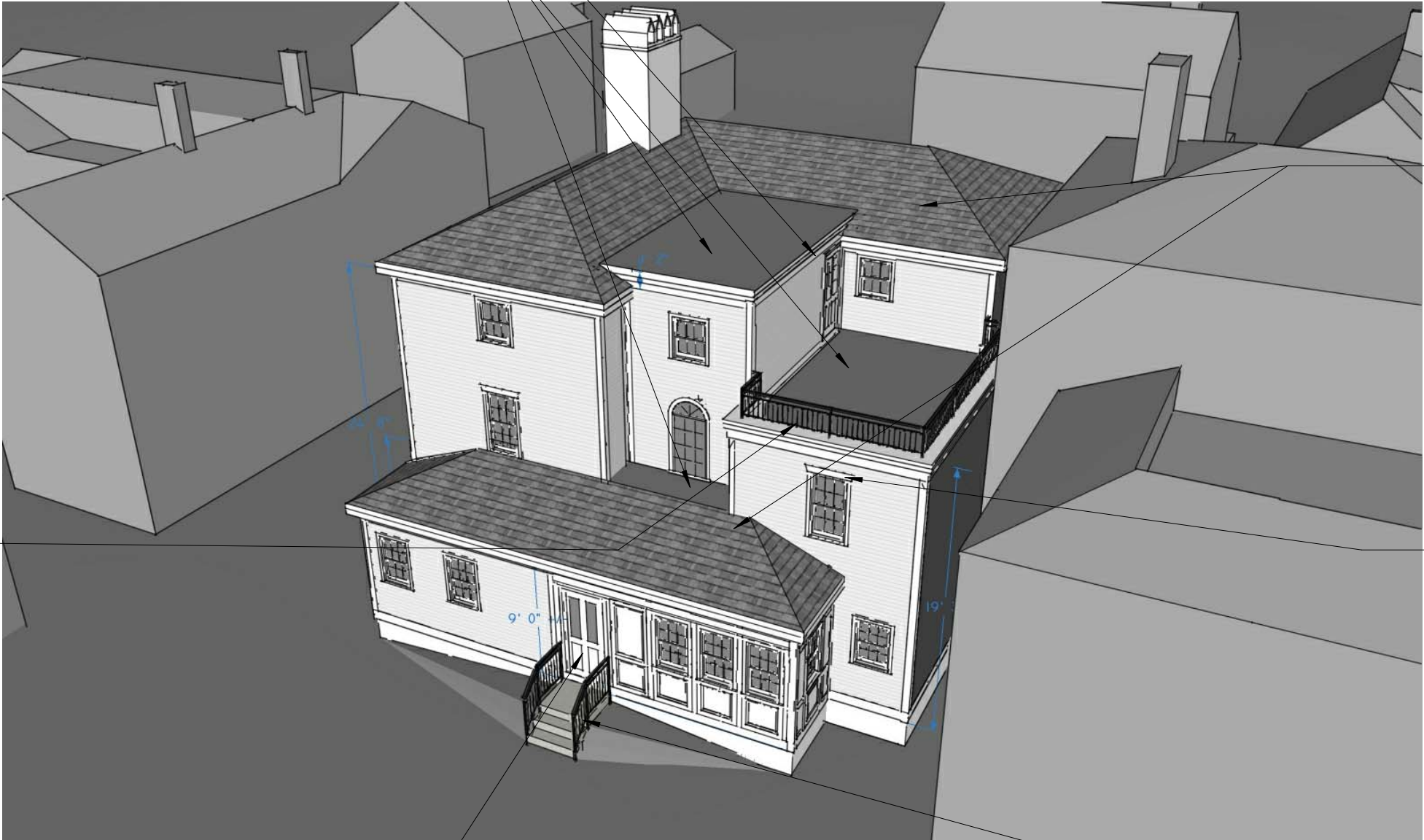
DESIGN INTENT: RUBBER ROOF TO MATCH COLOR OF NEW ARCHITECTURAL SHINGLES



DESIGN INTENT: GUARDRAILS TO BE BLACK WROUGHT IRON SIMILAR TO 177 STATE STREET ROOF DECK RAILING



DESIGN INTENT: PROPOSED WOOD EXTERIOR ENTRY DOOR TO BE FOUR PANEL SIMILAR TO FRONT ENTRY DOOR WITH TWO LITES



AERIAL VIEW FROM SOUTH - FLAT ROOF A



DESIGN INTENT: NEW CERTAINTED SILVER BIRCH ASPHALT LANDMARK SHINGLES AT ALL ROOFS



DESIGN INTENT: MATCH EXISTING REAR WINDOW HEADER TRIM AT EXISTING WING ADDITION AT REBUILT ADDITION



DESIGN INTENT: REUSE EXISTING REAR ENTRY GRANITE STEPS

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420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

MATERIALS AND DETAILS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

McHENRY ARCHITECTURE

4 Market Street  
Portsmouth, New Hampshire

A8

07/07/2021  
McHA: RD / JJ  
NOT TO SCALE



DESIGN INTENT: ALL PROPOSED WINDOWS TO BE WOOD GREEN MOUNTAIN WINDOWS TO MATCH EXISTING ADJACENT WINDOWS

DESIGN INTENT: ALL 3 1/2" DIMENSIONS TO MATCH EXISTING WOOD WINDOW TRIM WIDTH

DESIGN INTENT: ALL 3 1/2" DIMENSIONS TO MATCH EXISTING WOOD WINDOW TRIM WIDTH

MATCH EXISTING FRIEZE BOARD DEPTH

MATCH EXISTING BASE TRIM DEPTH



DESIGN INTENT: MATCH EXISTING HIP ROOF EAVE AND SOFFIT WOOD TRIM, WOOD CORNERBOARDS AND OTHER WOOD TRIM AT PROPOSED ADDITIONS



1X FLAT STOCK PANELING SIMILAR TO NEARBY PROPERTY AT 1 LIVERMORE STREET



DESIGN INTENT: PROPOSED WOOD EXTERIOR ENTRY DOOR TO BE FOUR PANEL SIMILAR TO FRONT ENTRY DOOR WITH TWO LITES

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ENLARGED ELEVATION AT REAR ENTRY

OUTDOOR LIGHTING AT EXTERIOR ENTRY TBD

420 PLEASANT ST. RENOVATIONS

420 PLEASANT STREET  
PORTSMOUTH, NH 03801

MATERIALS AND DETAILS

HDC WORK SESSION / PUBLIC HEARING - JULY 2021

McHENRY ARCHITECTURE

4 Market Street

Portsmouth, New Hampshire

A9

07/07/2021

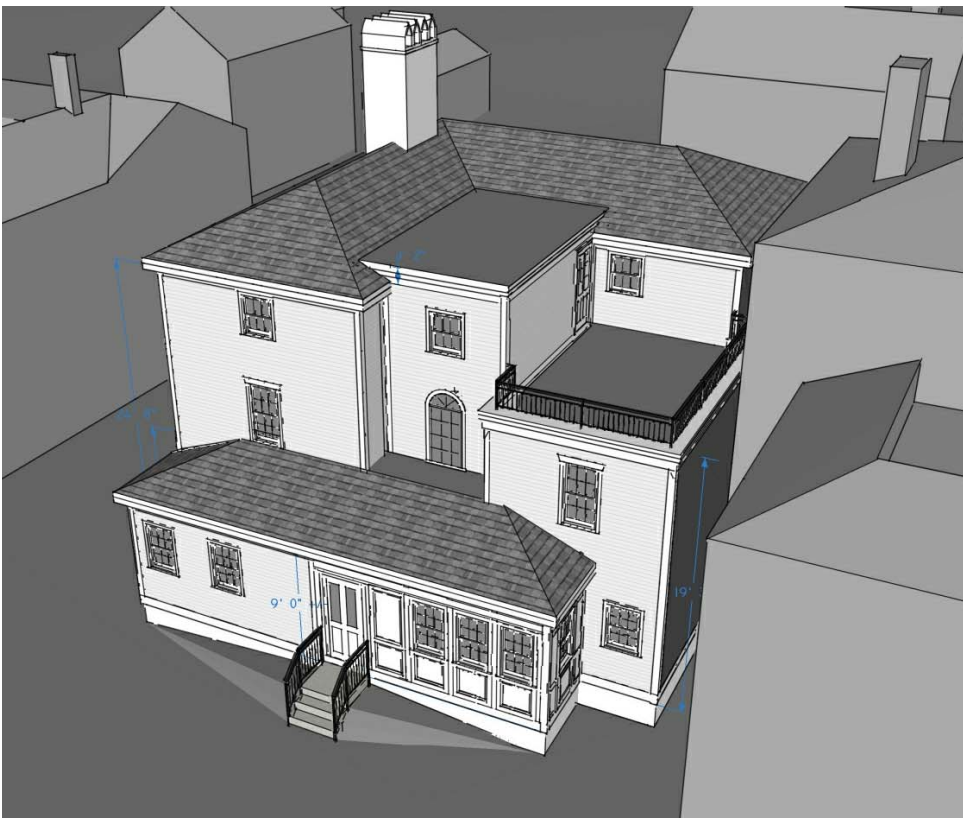
McHA: RD / JJ

NOT TO SCALE





VIEW FROM SOUTH - FLAT ROOF A



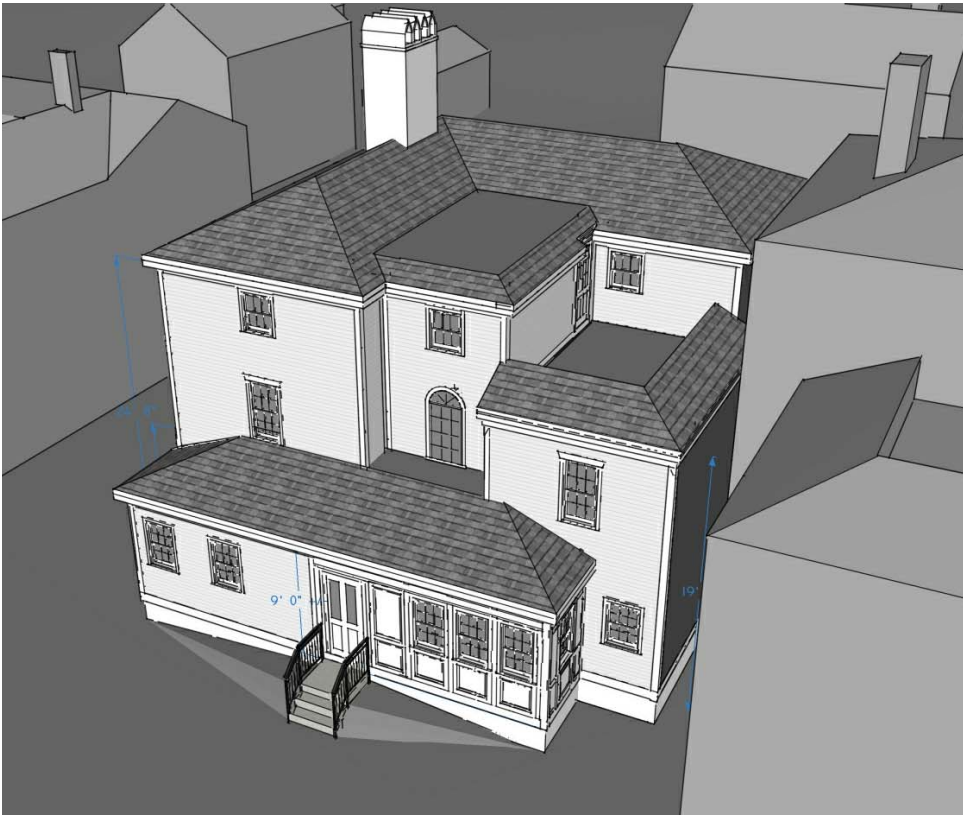
AERIAL VIEW FROM SOUTH - FLAT ROOF A



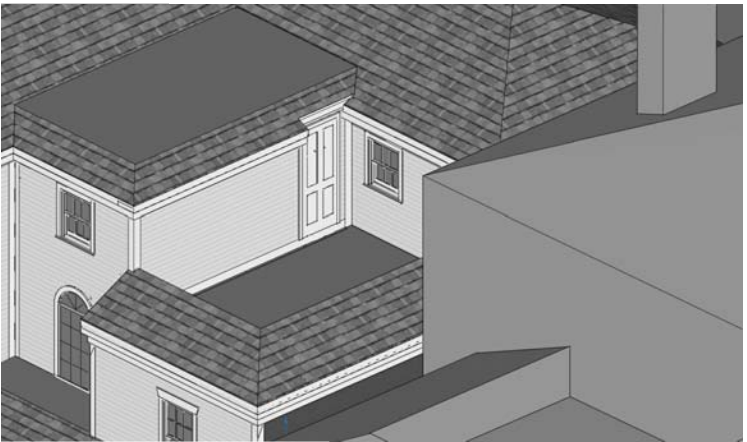
ENLARGED AERIAL VIEW AT ROOF DECK - FLAT ROOF A



VIEW FROM SOUTH - HIP ROOF



AERIAL VIEW FROM SOUTH - HIP ROOF



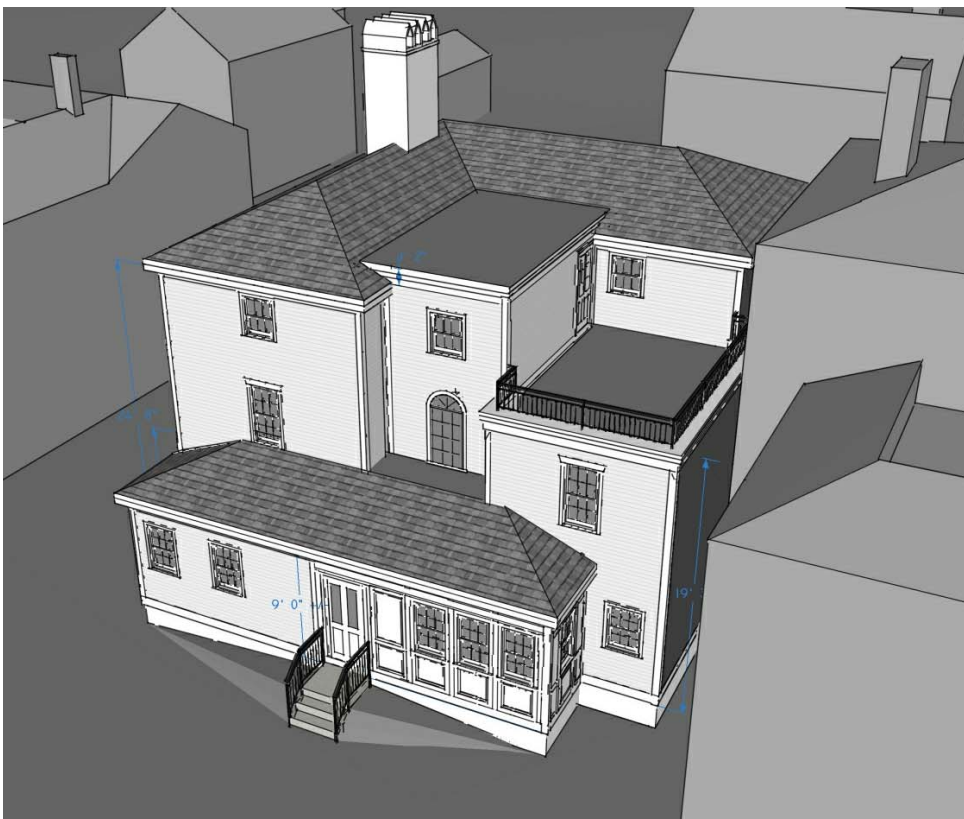
ENLARGED AERIAL VIEW AT ROOF DECK - HIP ROOF

© 2021 McHenry Architecture

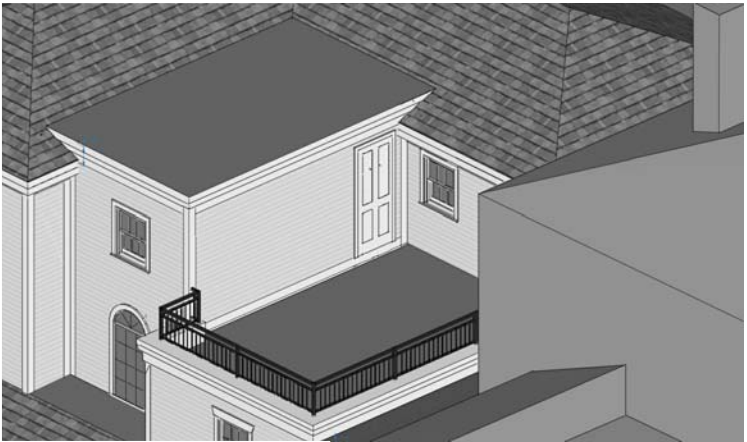




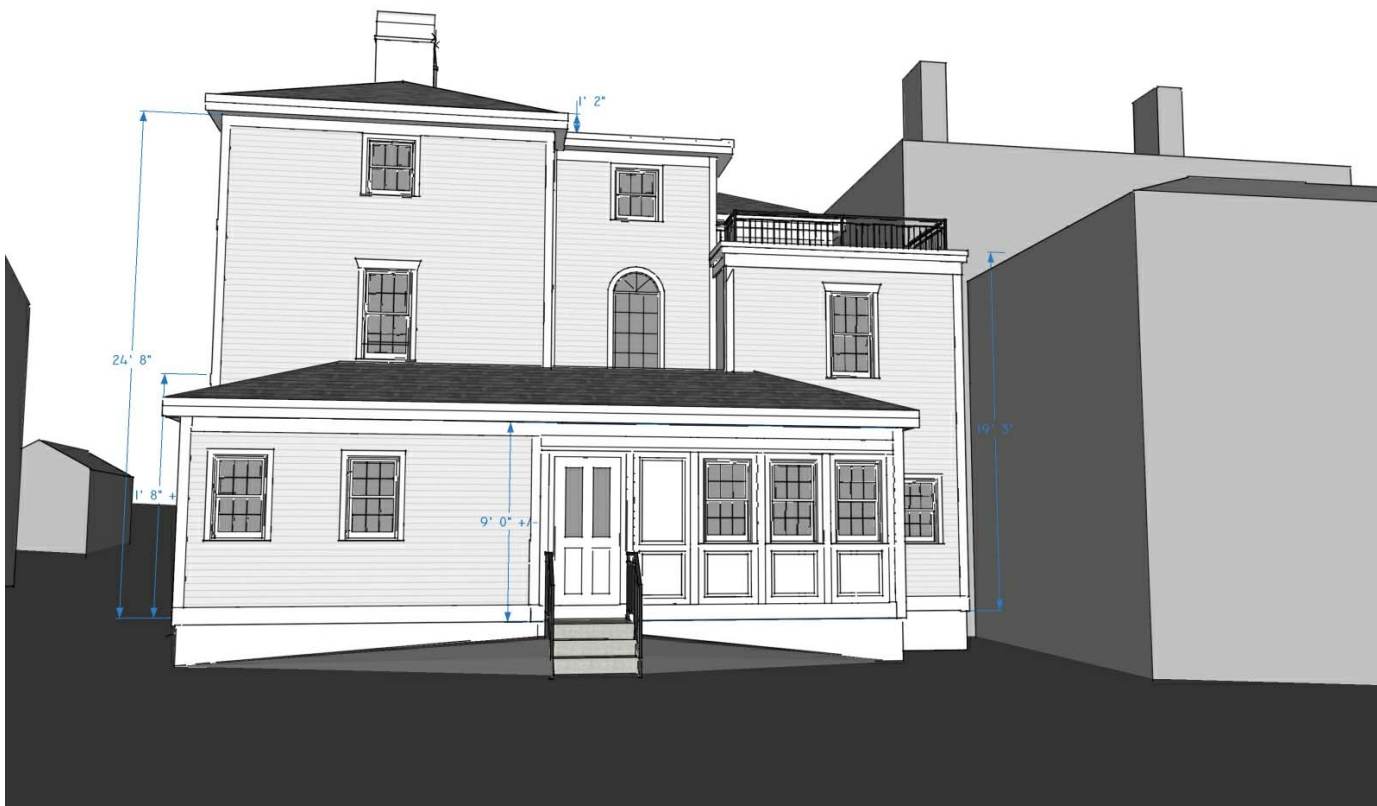
VIEW FROM SOUTH - FLAT ROOF A



AERIAL VIEW FROM SOUTH - FLAT ROOF A



ENLARGED AERIAL VIEW AT ROOF DECK - FLAT ROOF A



VIEW FROM SOUTH - FLAT ROOF B



AERIAL VIEW FROM SOUTH - FLAT ROOF B



ENLARGED AERIAL VIEW AT ROOF DECK - FLAT ROOF B

© 2021 McHenry Architecture



**33 Gardner Street**

**LU-21-135**

**Public Hearing**



**LU-21-135**

## Land Use Application

**Status:** Active**Date Created:** Jun 23, 2021**Applicant**

Rita Patel  
ritadipak@yahoo.com  
7 Meaghan way  
Greenland, NH 03840  
603-502-7556

**Location**

33 GARDNER ST  
Portsmouth, NH 03801

**Owner:**

Laxmi Realty LLC  
7 Meaghan way Greenland, NH 03840

**Applicant Information****Please indicate your relationship to this project**

A. Property Owner

**Alternative Project Address****Alternative Project Address**

--

**Project Type**

**Addition or Renovation:** any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

☐

**New Construction:** any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

☐

**Minor Renovation:** for projects in the Historic District only that involve a minor exterior renovation or alteration that does not include a building addition or construction of a new structure

☒

**Home Occupation:** residential home occupation established in an existing residential dwelling unit and regulated by the Zoning Ordinance. Home Occupations are not allowed in the following Zoning Districts: Waterfront Business, Office Research, Industrial, or Waterfront Industrial

☐

**New Use/Change in Use:** for a change of land use or an expansion to an existing use (e.g. addition of dwelling units) that includes no exterior work or site modifications

☐

**Temporary Structure / Use:** only for temporary uses (e.g. tents, exhibits, events)

☐

**Demolition Only:** only applicable for demolition projects that do not involve any other construction, renovation, or site work

☐

**Subdivision or Lot Line Revision:** for projects which involved a subdivision of land or an adjustment to an existing lot line

☐

**Other Site Alteration requiring Site Plan Review Approval and/or Wetland Conditional Use Permit Approval**

☐

**Sign:** Only applies to signs requiring approval from a land use board (e.g. Historic Commission, Zoning Board of Adjustment)

☐

**Request for Extension of Previously Granted Land Use Approval**



From: Rita Patel

Date: 6/26/21

Laxmi Realty LLC

To: City of Portsmouth

Historic District Commission & Planning Department

33 Gardner St – HDC Application for Chimney Approval

I recently [end of May 2021] bought 33 Gardner St without knowledge of Historical area. Within few days It was rain and heavy storm created heavy water leaking from Left side chimney. I called few people and one guy group show up to fix problem. He told me chimney is damaged on top and can be fall. If fall, may be someone will hurt. So, for people safety I OK and he removed left side chimney above roof level. And cover roof to stop water coming in. I had no knowledge of historical area and No one told me that 33 Gardner Street is part of Historical area.

After Chimney removed, I received phone call and I came to building. Neighbor told me about historical area, I called Nick. I feel very sorry and stupid for this chimney problem. Only I was thinking about people's safety and major water damaged by storm to building. So, in emergency situation I act quick, but If I had any knowledge about historical requirements, I would save bricks - defiantly restored/Repair chimney. Now, I understand my building in historic area, and I understand value of Historic area. I will respect and help to prevent.

Above roof level left side chimney has been removed.

In order to resolve - Rebuild left side Chimney: Roof Level to Above Chimney need to be rebuild [approximately 4ft x 5 ½ ft x 5ft high] Match with right side chimney size. I talk to John Wastrom [masonry consultant – suggested by Nick] He advise me to use Morin reproduction water stuck brick and Masonry Cement.

CW Masonry Craig Whyte gave me estimate and he can rebuild Chimney to match with right side chimney.

Call me for any question 603-502-7556

Rita Patel





## CW Masonry

39 Arlington St, Manchester, NH 03104 (603) 674-0492

Masonry Contractors, Chimney Contractors, Roofing Contractors

### About Us

We've established an excellent reputation for timely delivery of all projects, commitment to your satisfaction, reliable and clean.

### CW Masonry

**39 Arlington St, Manchester, NH03104**

(888) 494-6605

CW Masonry is the logical choice for professional & affordable roofing and stone work. We work hard to bring your imagination to life. We have established an excellent reputation for timely delivery of all projects, commitment to your satisfaction, reliable and clean [less](#)

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- Address: 39 Arlington St, Manchester, NH 03104
- Cross Streets: Between Nashua St and Russell St
- Phone: (888) 494-6605

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## Estimate



Craig Whyte: (603) 674-0492

Manchester, NH

[Craig2020\\_146@msn.com](mailto:Craig2020_146@msn.com)

**Date: 6/9/2021**

To Laxmi Realty LLC  
Rita Patel

For Estimate. Laxmi  
realty LLC, 33 Gardner  
St, Portsmouth

JOB ADDRESS	JOB DESCRIPTION	ESTIMATED TIME	ESTIMATED COST
33 Gardener St. Portsmouth NH	To Rebuild chimney upstairs Roof level to Above., To match size with existing right side above the roof, Flash chimney with lead flashing and relay shingles around it.		\$7000.
	<b>Amount due = \$7000.</b>		

**THANKYOU FOR YOUR BUSINESS!**









## SAFETY DATA SHEET

Material Name: Brick  
Revision Date: November 23, 2015

Page 1 of 8

### 1. IDENTIFICATION OF SUBSTANCE/MIXTURE AND THE COMPANY/UNDERTAKING

#### Product Identifier

Material Name: BRICK  
  
Trade Name: Brick  
Chemical Family: Predominately Aluminum Silicates  
Formula: Mixture

Relevant Identified Uses of the Substance or Mixture and Uses Advised Against  
Intended Use: Building material used for structural support

#### Supplier of the Safety Data Sheet

RJF-Morin Brick Company, LLC  
130 Morin Brick Rd.  
Auburn, ME 04213-1510  
Product Support/Technical Services Phone: (207) 784-8875

Emergency Telephone Number:  
Corporate Office: (207) 784-8875  
Contact E-Mail: [sales@morinbrick.com](mailto:sales@morinbrick.com)  
Website: [www.morinbrick.com](http://www.morinbrick.com)

### 2. HAZARDS IDENTIFICATION

Appearance: Granular brick-shape solid; comes in a wide range of colors, shapes and sizes.

#### Hazard Classification of the Substance/Mixture:

Skin Irritation 2  
Eye Irritation 2A  
Skin Sensitization 1B  
Carcinogenicity 1A  
Specific Target Organ Toxicity – Single Exposure 3  
Specific Target Organ Toxicity – Repeated Exposure 1

Single Word: DANGER

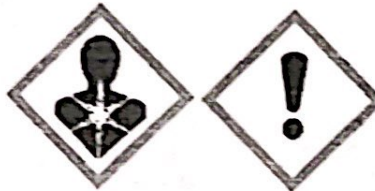
#### Hazard Statement:

Brick dust may contain crystalline silica, a chemical that has been determined by certain agencies to cause cancer. See Section 11 for more information on health hazards.



## SAFETY DATA SHEET

**Pictograms:**



**Precautionary Statements:**

Do not eat, drink, or smoke when using this product. Wash hands thoroughly after handling. Contaminated work clothing must not be allowed out of the workplace. Obtain special instructions before use. Do not handle until all safety precautions have been read and understood. Wear protective gloves, protective clothing, eye protection, face protection. Use only outdoors or in well ventilated area. Do not breathe the dust.

**Response:**

If exposed or concerned: Get medical advice or attention. If skin irritation or rash occurs: Get medical advice or attention. If in eyes: Rinse cautiously with water for several minutes do not rub the eyes. Remove contact lenses if easy to do. Continue rinsing, if eye irritation persists: Get medical advice or attention. If brick dust is inhaled: Remove person to fresh air and keep comfortable for breathing. Call a poison center or doctor if you feel unwell.

**Storage:**

Not Applicable

**Disposal:**

Dispose of unused or unwanted brick product in accordance with all local, regional, national and international regulations.

### 3. COMPOSITION/INFORMATION OR INGREDIENTS

Ingredient	CAS Number	% Weight
Aluminum Silicates	Various	75-85
Iron Compounds	Various	0-5
Calcium Compounds	Various	0-12
Quartz	14808-60-7	Varies
Barium Compounds	Various	0-3
Iron Chromate	1308-31-2	0-3
Manganese Compounds	Various	0-3
Magnesium Compounds	Various	0-3
Bottom Ash	Various	0-16



## SAFETY DATA SHEET

### Additional Information:

The above chemistries are provided for industrial hygiene and environmental purposes and are not intended to represent product specifications. This information has been compiled from data believed to be reliable. Elements such as aluminum, arsenic, boron, calcium, chromium, cobalt, copper, lead, molybdenum, nickel, tin, titanium, vanadium, and zirconium may be present in trace amounts. Brick products as shipped do not present an exposure hazard.

## 4. FIRST AID MEASURES

### Description of First Aid Measures

Eye Contact:	Flush with running water. Do not rub the eye while flushing. Obtain medical assistance if irritation continues.
Skin Contact:	Wash with soap and water. If an allergic reaction causes a rash that does not heal within a few days consult a physician. Treat abrasions as other scrapes or cuts with disinfectants and bandages.
Ingestion:	None (no known acute effects)
Inhalation:	Remove from exposure to airborne particulates. Consult a physician if breathing does not return to normal.

### Most Important Symptoms and Effects, Both Acute and Delayed

Symptoms and Effects of Exposure:	For information on potential signs and symptoms of exposure: See Section 2 – Hazard Identification and/or Section 11 – Toxicological Information.
-----------------------------------	---

### Medical Conditions

Aggravated by Exposure:	Excessive dust exposure may aggravate any existing respiratory disorder or diseases. Possible complications or allergies resulting in irritation to skin, eyes, and respiratory tract may occur from excessive exposure to dusts.
-------------------------	---

### Recommendations for Immediate Medical Attention and Special Treatment Needed

Notes to Physician:	Symptoms may not appear immediately.
Special Treatments:	In case of accident or if you feel unwell, seek medical advice immediately.

## 5. FIRE FIGHTING MEASURES

Extinguishing Media:	Not applicable
----------------------	----------------

Special Hazards Arising from the Substance or Mixture



## SAFETY DATA SHEET

**Material Name:** Brick  
**Revision Date:** November 23, 2015

Page 4 of 8

**Hazardous Combustion Products:** No data available

**Fire/Explosive Hazards:** No data available

**Advice for Firefighters:** None

### 6. ACCIDENTAL RELEASE MEASURES

**Personal Precautions and Protective Equipment**  
Use personal protection recommendations in Section 8

**Emergency Procedures**  
Not applicable

**Methods and Material for Containment and Cleaning Up**  
Not applicable

**Cleanup Procedures**  
Not applicable

### 7. HANDLING AND STORAGE

**Precautions for Safe Handling:** Minimize dust generation and accumulation. Avoid breathing dust. Use wet methods, especially when cutting to reduce the generation of dust.

**Conditions for Safe Storage, Including any Incompatibilities**  
**Storage Conditions:** Always stack and store bricks in a stable manner to avoid falling and collapsing hazards.

### 8. EXPOSURE CONTROLS / PERSONAL PROTECTION

Component	OSHA PEL	ACGIH TLV
Aluminum Silicates	15 mg/m <sup>3</sup>	10 mg/m <sup>3</sup>
Quartz	10 / %SiO <sub>2</sub> + 2 mg/m <sup>3</sup>	.025 mg/m <sup>3</sup> (respirable)
Chromium Compounds	Not available	Not available
Manganese Compounds	Not available	Not available
Iron Compounds	Not available	Not available
Calcium Compounds	Not available	Not available
Magnesium Compounds	Not available	Not available
Barium Compounds	Not available	Not available
Bottom Ash	Not available	Not available
Iron Chromate	Not available	Not available





Material Name: Brick  
Revision Date: November 23, 2015

## SAFETY DATA SHEET

Page 5 of 8

### Exposure Controls

#### Engineering Controls:

Provide adequate ventilation to maintain exposure below the OSHA PEL and ACGIH TLV for quartz and other substances.

#### Personal Protective Equipment:

Refer to applicable national standards and regulations in the selection and use of personal protective equipment (PPE).

#### Feet:

Use of steel toe shoes is recommended when handling brick

#### Eyes and Face:

Face shields should be used when sawing brick. Eye protection should be worn when handling brick.

#### Skin:

Use gloves and or protective clothing if abrasions or allergic reactions are experienced.

#### Respiratory Protection:

For airborne concentrations exceeding OSHA PEL or ACGIH TLV use a NIOSH and/or MSHA approved respirator.

#### Other:

Use of wet sawing methods are recommended anytime that brick must be cut.

## 9. PHYSICAL AND CHEMICAL PROPERTIES

Physical State:	Granular Solid	Color:	Brick comes in a wide range of colors
Odor:	Essentially Odorless	Odor Threshold:	No data available
Molecular Formula:	Mixture	Molecular Weight	Mixture
Solvent Solubility:	No data available		
Water Solubility:	Negligible		
Melting/Freezing Point:	No data available		
Boiling Point:	No data available		
Partition Coefficient:	No data available		
Decomposition Temp.:	No data available		
Evaporation Rate:	No data available		
Vapor Pressure (kPa):	No data available		
Vapor Density (g/ml):	No data available		
Relative Density:	No data available		
Viscosity:	No data available		
Flammability:			
Auto ignition Temperature (solid):		No data available	
Flammability (Solids):		No data available	
Flash Point (Liquid):		No data available	
Upper Explosive Limits (Liquid) (% by Volume):		No data available	
Lower Explosive Limits (Liquid) (% by Volume):		No data available	



## SAFETY DATA SHEET

Material Name: Brick  
Revision Date: November 23, 2015

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### 10. STABILITY AND REACTIVITY

Reactivity:	Brick as shipped are not reactive
Chemical Stability:	Stable under normal conditions of use
Possibility of Hazardous Reactions:	
Oxidizing Properties:	No data available
Incompatible Materials:	No data available
Hazardous Decomposition Products:	No data available

### 11. TOXICOLOGICAL INFORMATION

#### Effects of Short Term and Long Term Exposure:

Short Term:	Brick as shipped does not present an inhalation, ingestion or contact hazard. However, operations such as seeing and grinding may result in the following effects:
Eye:	May cause irritation by abrasion with dust or chips.
Skin:	Brick dust or chips may cause allergic reactions in hypersensitive individuals and may cause cuts and skin abrasions.
Inhalation:	Brick dust or chips may cause congestion and irritation in nasal and respiratory passages.
Ingestion:	No known acute effects.
Long Term:	Excessive exposure to respirable particulates (dust) over an extended period of time may result in the development of pulmonary diseases such as silicosis.

#### Information on Toxicological Effects

General Information:	Toxicological properties of the formulation have not been investigated. The information in this section describes the potential hazards of crystalline silica. Brick dust may contain crystalline silica, a chemical that has been determined by certain agencies to cause cancer and other chemicals known to cause cancer, birth defects and other reproductive harm. Inhalation of brick dust above established or recommended exposure levels should be avoided by use of wet sawing or shaping and/or use of a NIOSH and/or MSHA approved respirator.
----------------------	--

Carcinogen Status:	The following carcinogenicity classifications for crystalline silica have been established by the following agencies:
--------------------	---





Material Name: Brick  
Revision Date: November 23, 2015

## SAFETY DATA SHEET

Page 7 of 8

OSHA: Not regulated as a carcinogen  
IARC: Group 1 carcinogenic in humans  
NIOSH: Carcinogen, with no further categorization  
NTP: Know Carcinogen

### 12. ECOLOGICAL INFORMATION

There are no known environmental impacts. No ecological consideration when used according to directions.

### 13. DISPOSAL CONSIDERATIONS

**Waste Treatment Methods:** Dispose of waste in accordance with all applicable laws and regulations. State specific and Community specific provisions must be considered. It is recommended that waste minimization be practiced.

### 14. TRANSPORT INFORMATION

This material is not regulated for transportation as a hazardous material/dangerous good.

**DOT:** Brick as shipped are not hazardous material per DOT regulations.

### 15. REGULATORY INFORMATION

#### Safety, Health, and Environmental Regulations / Legislation Specific for the Substance or Mixture

**RCRA:** Brick in its solid form is typically considered a non-hazardous waste for disposal, but local regulations may vary, therefore all waste must be disposed/recycled/reclaimed in accordance with federal, state, and local environmental control regulations. Water containing brick solids, such as from wet sawing operations, should also be disposed of in accordance with federal, state, and local environmental regulations. Brick waste should not be used as a blasting agent.

**EPCRA Section 311/312:** Brick as shipped are not a Section 311/312 reportable product.

**EPCRA Section 313:** Brick as shipped are not subject to the Section 313, Toxic Chemical Release Inventory reporting requirement.

**DOT:** Brick as shipped are not hazardous material per DOT regulations.

**California Proposition 65:** Brick contains crystalline silica, a substance known to the State of California to cause cancer. This product may contain trace amounts of heavy metals known to the State of California to cause cancer, birth defects, or other reproductive harm.





## SAFETY DATA SHEET

Material Name: Brick  
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### 16. OTHER INFORMATION

RJF – Morin Brick Company, LLC considers our product an "article" as defined in 30 CFR 1200(b)(g)(iv) and 40 CFR 372.38. As an article, an SDS is not required and the product is exempt from all other requirements of the hazardous communication standard. OSHA requires an SDS for brick because it is occasionally dry sawed. We recommend only wet sawing of brick.

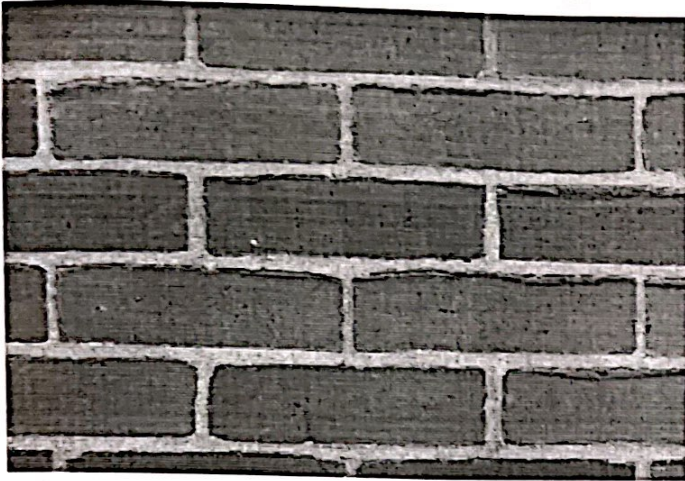
<b>Data Sources:</b>	The data contained in this SDS may have been gathered from confidential internal sources, raw material suppliers, or for the published literature.
<b>Reason for Revision:</b>	Converted MSDA to GHS – SDS.
<b>Prepared by:</b>	RJF – Morin Brick Company, LLC
<b>Statement:</b>	This SDS was prepared with information believed to be accurate at the time of preparation and was prepared and provided in good faith. However, RJF – Morin Brick Company, LLC assumes no responsibility as to the accuracy of such information and no warranty expressed or implied is made.

End of Safety Data Sheet



## Restoration Size Waterstruck

3 5/8" x 1 7/8" x 7 5/8"



Restoration 3 5/8" x 1 7/8" x 7 5/8"

## Extruded Brick

Extrusion is the most common brick manufacturing process used today. Extruded brick are created when clay or shale is augured in a vacuum and forced through a rectangular die under pressure.

Prior to firing in a kiln, extruded brick can be smooth or textured in non-repeating degrees of roughness. This type of our brick allows designers the flexibility to create a wide variety of sizes, textures and colors to use in near infinite combination.

Extruded Brick is generally more uniform in dimension than moulded brick. It performs well in designs requiring more precise tolerances such as stack bonds. For decades, Morin brick has utilized the extrusion manufacturing process to provide a variety of texture choices and color combinations suitable to most design requirements.

### Sizes

Modular – (3 1/4" x 2 1/4" x 7 5/8")  
 Standard Modular – (3 1/4" x 2 1/4" x 9")  
 Renovation Modular – (3 1/4" x 2 1/4" x 7 5/8")  
 Renovation Standard – (3 1/4" x 2 1/4" x 8")  
 Engineer (Jump Modular) – (3 1/4" x 2 1/4" x 7 5/8")  
 Econo Modular – (3 1/4" x 3 1/4" x 7 5/8")

### Academy Smooth Series



# PROMASONRY®

ProMasonry Mortar Mix Type S and Type N

## Safety Data Sheet

According to the Hazard Communication Standard (CFR29 1910.1200) HazCom 2012

Date of Issue: 06/08/2015

Page 1 of 13

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TELEPHONE 800.258.3500 FAX 603.743.5744 WEB ADDRESS [www.conproco.com](http://www.conproco.com)



# PROMASONRY®

ProMasonry Mortar Mix Type S and Type N

## Safety Data Sheet

According to the Hazard Communication Standard (CFR29 1910.1200) HazCom 2012

Date of Issue: 06/08/2015

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### SECTION 1: Identification of the substance/mixture and of the company/undertaking

#### 1.1 Product identifier

**Product Form** : Powder Mixture

**Product Name** : ProMasonry Mortar Mix

#### 1.2 Relevant identified uses of the substance or mixture and uses advised against:

Use of substance : For laying brick, block and stone, or pointing, plastering and stuccoing.

#### 1.3 Details of the supplier of the safety data sheet:

Supplier:

Conproco Corporation  
17 Production Drive  
Dover, NH, 03820  
T- 800.258.3500

#### 1.4 EMERGENCY TELEPHONE NUMBER:

Emergency Number : CHEMTREC 800.725.7383  
: CHEMTREC International +1.703.527.3887 24 hr

### SECTION 2: Hazards identification

#### 2.1. Classification of the substance or mixture:

Acute toxicity 4  
Skin Irritation 2  
Serious Eye Damage 1  
Skin Sensitization 1  
Carcinogenicity 1A

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2.2 Label elements:  
Hazard Pictograms:



Signal word:

Danger

Hazard statement:

Harmful if swallowed. Causes skin irritation. Causes serious eye damage. Can cause allergic skin reaction. May cause cancer. May cause respiratory irritation. Causes damage to organs through prolonged exposure

Precautionary statements:

Keep in original container. Do not eat, drink, or smoke when using these products. Wash hands thoroughly after handling. Do not handle until all safety precautions have been read and understood. Wear protective gloves/protective clothing/eye protection/face protection. Use in a well ventilated area. Do not breathe dust. Absorb spillage to prevent material damage. If exposed or concerned: Get medical advice/attention. If swallowed: Immediately call a poison center/doctor. Rinse mouth. If in eyes: Rinse cautiously with water for several minutes. Remove contact lenses, if easy to do so. Continue rinsing. Immediately call a poison center/doctor. If on skin: Wash with plenty of water. Take off contaminated clothing and wash it before reuse. If skin irritation or rash occurs. Get medical advice/attention. If inhaled: Remove person to fresh air and keep comfortable for breathing. Call a poison center/doctor if you feel unwell. Store locked up. Store in a well ventilated place. Keep container tightly closed/ Dispose of contents and container in accordance with all local, regional, national, and international regulations.

2.3 Other hazards: Not Available

### SECTION 3. Composition/information on ingredients

3.1 Mixtures:

Conproco ProMasonry Mortar Mix.

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# PROMASONRY®

ProMasonry Mortar Mix Type S and Type N

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### 3.2 Hazardous ingredients:

Substance name	CAS No.	Concentration %	GHS-US Classification
Crystalline Silica	14808-60-7	85-100	Acute Tox. 4 (oral) H302 Carc. 1A H350 STOT RE 1 H372
Masonry Cement, chemicals	65997-15-1	5-55	Skin Irrit. 2 H315 Eye Dam. 1 H318 Skin Sens. 1 H317 STOT SE 3 H335
Exact percentages of concentration are withheld as a trade secret in accordance with paragraph (i) of §1910.1200			

## SECTION 4: First aid measures

### 4.1 Description of first aid measures:

- Following inhalation : If breathing is difficult, remove victim to fresh air and keep at rest in a position comfortable for breathing. Get medical advice/attention if you feel unwell
- Following skin contact : In case of contact, immediately flush skin with plenty of water. Remove contaminated clothing and shoes. Wash clothing before reuse. Call a physician if irritation develops and persists.
- Following eye contact : In case of contact, immediately flush eyes with plenty of water for at least 15 minutes. If easy to do, remove contact lenses, if worn. Get medical attention immediately.
- Following ingestion : If swallowed, do NOT induce vomiting unless directed to do so by medical personnel. Never give anything by mouth to an unconscious person. Immediately call a POISON CENTER or doctor/physician.

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# PROMASONRY

ProMasonry Mortar Mix Type S and Type N

## Safety Data Sheet

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### 5.2 Special hazards arising from the substance or mixture

Fire Hazard : Products of combustion include, but are not limited to, oxides of carbon.

### 5.3 Advice for fire-fighters:

Firefighting instructions : Keep upwind of fire. Wear full firefighting turn-out gear (full Bunker gear) and respiratory protection

---

## SECTION 6: Accidental release measures

### 6.1 Personal precautions, protective equipment and emergency procedures:

General procedure : Use personal protection recommended in Section 8. Isolate the hazard area and deny entry to unnecessary and unprotected personnel

### 6.2 Methods and material for containment and cleaning up:

For Containment : Contain spill, then place in a suitable container. Do not flush to sewer or allow to enter waterways. Use appropriate personal protection

Methods for cleaning up : Vacuum or sweep material and place in a disposal container

### 6.3 Reference to other sections:

No additional information

---

## SECTION 7: Handling and storage

### 7.1 Precautions for safe handling

Precautions for safe handling : Avoid contact with skin and eyes. Avoid generating and breathing dust. Do not swallow. Good housekeeping is important to prevent accumulation of

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#### 4.2 Most important symptoms and effects, both acute and delayed:

- |                                    |   |
|------------------------------------|---|
| Symptoms/injury after inhalation   | : May cause respiratory tract irritation.   |
| Symptoms/injury after skin contact | : Causes skin irritation. May cause burns in the presence of moisture. Skin contact during hydration may slowly develop sufficient heat that may cause severe burns possibly resulting in permanent injury. Do not allow product to harden around any body part or allow continuous, prolonged contact with skin. Handling can cause dry skin. May cause sensitization by skin contact. |
| Symptoms/injury after eye contact  | : Causes serious eye damage. May cause burns in the presence of moisture. Symptoms may include discomfort or pain, excess blinking and tear production, with possible redness and swelling.   |
| Symptoms/injury after ingestion    | : Harmful if swallowed. May cause stomach distress, nausea or vomiting.   |

#### 4.3 Indication of any immediate medical attention and special treatment needed:

Symptoms may not appear immediately. In case of accident or if you feel unwell, seek medical advice immediately

---

### SECTION 5: Firefighting measures

#### 5.1 Extinguishing media:

- |                                |                                  |
|--------------------------------|----------------------------------|
| Suitable extinguishing media   | : Treat for surrounding material |
| Unsuitable extinguishing media | : None                           |

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dust. The use of compressed air for cleaning clothing, equipment, etc, is not recommended. Handle and open container with care. When using do not eat, drink or smoke.

Hygiene measures

: Launder contaminated clothing before reuse. Wash hands before eating, drinking, or smoking.

### 7.2 Conditions for safe storage, including any incompatibilities:

Storage Conditions

: Keep out of the reach of children. Store in dust-tight, dry, labelled containers. Keep container tightly closed when not in use. Avoid any dust build-up by frequent cleaning and suitable construction of the storage area. Do not store in an area equipped with emergency water sprinklers.

### 7.3 Specific end uses:

No additional information

## SECTION 8: Exposure controls/personal protection

### 8.1 Control Parameters

Crystalline Silica (14808-60-7)		
USA ACGIH	ACGIH TWA (mg/m <sup>3</sup> )	1 mg/m <sup>3</sup>
USA OSHA	OSHA PEL (TWA) (mg/m <sup>3</sup> )	(30)/(%SiO <sub>2</sub> + 2) mg/m <sup>3</sup> TWA, total dust (250)/(%SiO <sub>2</sub> + 5) mppcf TWA, respirable fraction (10)/(%SiO <sub>2</sub> + 2) mg/m <sup>3</sup> TWA, respirable fraction

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Masonry Cement, chemicals (65997-15-1)		
USA ACGIH	ACGIH TWA (mg/m <sup>3</sup> )	1 mg/m <sup>3</sup>
USA OSHA	OSHA PEL (TWA) (mg/m <sup>3</sup> )	5 mg/m <sup>3</sup>

### 8.2 Exposure controls

Appropriate Engineering Controls	:	Use adequate ventilation. Avoid dust production.
Personal Protective Equipment	:	Dust mask, gloves, safety glasses
Hand Protection	:	Cloth gloves
Eye Protection	:	Safety glasses
Skin and Body Protection	:	Handle with good industrial hygiene and safety practice. Always wash hands after handling this product, and once again before leaving the workplace. Wear suitable protective clothing, and wash clothing before next use.
Respiratory Protection	:	Use NOISH- approved air-purifying or supplied air respirator where airborne concentrations of dust are expected to exceed exposure limits.

## SECTION 9. Physical and chemical properties

### 9.1 Information on basic physical and chemical properties:

Physical State	:	Solid
Appearance	:	Powder
Color	:	Gray
Odor	:	N/A
Odor Threshold	:	N/A
pH	:	10 - 12
Relative Evaporation Rate	:	N/A
Melting Point	:	N/A
Freezing Point	:	N/A
Boiling Point	:	N/A

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Flash Point	: N/A
Auto-Ignition Temperature	: N/A
Decomposition Temperature	: N/A
Flammability (solid/gas)	: N/A
Vapor Pressure	: N/A
Relative Vapor Density (20°C)	: N/A
Relative Density	: N/A
Specific Gravity	: N/A
Density	: N/A
Solubility	: Water: 0.1 - 1%
Log Pow	: N/A
Log Kow	: N/A
Kinematic Viscosity	: N/A
Dynamic Viscosity	: N/A
Explosive Properties	: N/A
Oxidizing Properties	: N/A
Explosive Limits	: N/A

9.2 Other information:  
No Additional Information

---

### SECTION 10: Stability and reactivity

10.1 Reactivity:  
No dangerous reaction will occur under normal conditions.

10.2 Chemical stability:  
Under normal conditions it will remain stable. Keep dry in storage.

10.3 Possibility of hazardous reactions:  
No dangerous reactions will occur under normal use.

10.4 Conditions to avoid:  
Moisture, and incompatible materials.

10.5 Incompatible materials:  
Wet cement is alkaline and incompatible with acid, ammonium salts, and aluminium metal.

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10.6 Hazardous decomposition products:  
May include: oxides of carbon.

### SECTION 11: Toxicological information

#### 11.1 Information of Toxicological Effects:

Acute Toxicity : Harmful if swallowed

Crystalline Silica (14808-60-7)	
LD50 Oral Rat	500 mg/kg

Skin corrosion/irritation	: Causes skin irritation
Serious eye damage/irritation	: Causes serious eye damage
Respiratory of skin sensitisation	: May cause an allergic skin reaction
Germ cell mutagenicity	: Classification criteria not met
Carcinogenicity	: May cause cancer
Reproductive Toxicity	: Classification criteria not met
Specific Target Organ Toxicity (Single Exposure)	: May cause respiratory irritation
Specific Target Organ Toxicity (Repeated Exposure)	: Can cause damage to organs through prolonged or repeated exposure

Symptoms	
Symptoms/injuries after inhalation	May cause respiratory tract irritation.
Symptoms/injuries after skin contact	Causes skin irritation. May cause burns in the presence of moisture. Skin contact during hydration may slowly develop sufficient heat that may cause severe burns possibly resulting in permanent injury. Do not allow product to harden around any body part or allow continuous, prolonged contact with skin. Handling can cause dry skin. May cause sensitization by skin contact.

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Symptoms/injuries after eye contact	Causes serious eye damage. May cause burns in the presence of moisture. Symptoms may include discomfort or pain, excess blinking and tear production, with possible redness and swelling.
Symptoms/injuries after ingestion	Harmful if swallowed. May cause stomach distress, nausea or vomiting.

### SECTION 12: Ecological information

#### 12.1 Toxicity:

Ecological - general

: No ecological consideration when used according to directions. Normal dilution of this product to drains, sewers, septic systems and treatment plants is not considered environmentally harmful.

#### 12.2 Persistence and Degradability: Not readily biodegradable

#### 12.3 Bioaccumulative Potential: Not expected to bio - accumulate

#### 12.4 Mobility in soil: No data available

#### 12.5 Other adverse effects: No data available

### SECTION 13: Disposal considerations

#### 13.1 Waste treatment methods:

Waste Disposal Recommendations

: Dispose of waste material in accordance with all local, regional, national, and international regulations

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### SECTION 14: Transport information

14.1 UN Number:  
Not available

14.2 UN Proper Shipping Name:  
Not available

14.3 Additional Information:  
None

### SECTION 15: Regulatory information

15.1 Safety, health and environmental regulations/legislation specific for the substance or mixture:

<b>Crystalline Silica (14808-60-7)</b>
Listed on the United States TSCA (Toxic Substances Control Act) inventory

<b>Masonry Cement (65997-15-1)</b>
Listed on the United States TSCA (Toxic Substances Control Act) inventory

15.2 US State Regulations:

Conproco ProMasonry Mortar Mix	
State or local Regulations	This product contains crystalline silica, and trace amounts of chemicals known to the State of California to cause cancer, birth defects, and reproductive harm.

### Carcinogenic Classifications

IARC (I)	International Agency for Research on Cancer
	1 - Carcinogenic to humans 2A - Probably carcinogenic to humans 2B - Possibly carcinogenic to humans

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	3 - Not classifiable 4 - Probably not carcinogenic to humans
NTP (N)	National Toxicology Program
	1 - Evidence fo Carcinogenicity 2 - Known Human Carcinogens 3 - reasonably anticipated to be Human Carcinogen 4 - Substances delisted from report on Carcinogens 5 - Twelfth Report - Items under consideration

### SECTION 16: Other information:

Other Information

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