

**MEETING OF
THE HISTORIC DISTRICT COMMISSION
PORTSMOUTH, NH**

Remote Meeting Via Zoom Conference Call

To register in advance for this meeting, click on the link below or copy and paste this into your web browser:

https://zoom.us/webinar/register/WN_q_TE9XinQIS0gZHnmr8TQA

You are required to register in advance to join the meeting over Zoom, a unique meeting ID and password will be provided once you register. Public comments can be emailed in advance to planning@cityofportsmouth.com. For technical assistance, please contact the Planning Department by email (planning@cityofportsmouth.com) or phone (603) 610-7216.

Per NH RSA 91-A:2, III (b) the Chair has declared the COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2021-01, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

6:30 p.m.

February 10, 2021

AGENDA (revised February 04, 2021)

*The Board's action in these matters has been deemed to be quasi-judicial in nature.
If any person believes any member of the Board has a conflict of interest,
that issue should be raised at this point or it will be deemed waived.*

I. ADMINISTRATIVE APPROVALS

1. 58 South Street
2. 76 South School Street (*continued at the February 03, 2021 meeting*).
3. 16 Porter Street
4. 46 Maplewood Avenue
5. 56 Dennett Street
6. 82 Court Street (*continued at the February 03, 20201 meeting*).

II. CERTIFICATE OF APPROVAL- EXTENSIONS

1. Petition of **Frank G. Heitker Revocable Trust Agreement, Frank G. Heitker Trustee, owner**, for property located at **37 Sheafe Street**, wherein a second 1-year extension of the Certificate of Approval granted by the Historic District Commission on January 02, 2019 is requested to allow new construction to an existing structure (construct second story addition over the existing kitchen at the rear of the structure and enlarge the existing mudroom) as per plans on file in the Planning Department. Said property is shown on Assessor Map 107 as Lot 19 and lies within the Character District 4 (CD 4) and Historic Districts.

III. PUBLIC HEARINGS (OLD BUSINESS)

A. Petition of **OAL Properties, LLC, owner, and David Takis, applicant**, for property located at **103 Congress Street**, wherein permission is requested to allow exterior renovations to an existing structure (install Nano doors to outside seating area) as per plans on file in the planning department. Said property is shown on Assessor Map 126 as Lot 6-106 and lies within the Character District 5 (CD5) and Historic Districts. *(This item was continued at the February 03, 2021 meeting).*

IV. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **City of Portsmouth, owner**, for property located at **Marcy Street (Prescott Park)** wherein permission is requested to allow exterior construction to an existing structure (elevate, remove additions, and re-locate the Shaw warehouse on-site) as per plans on file in the Planning Department. Said property is shown on Assessor Map 104 as Lot 5 and lies within the Municipal (M) and Historic Districts. *(This item was postponed at the January 06, 2021 meeting).*

B. Work Session requested by **Anne Moodey, owner**, for property located at **180 New Castle Avenue**, wherein permission is requested to allow exterior renovations to an existing structure (expand front deck and rebuild (1) chimney) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 23 and lies within the Single Residence B (SRB) and Historic Districts. *(This item was postponed at the January 06, 2021 meeting).*

C. Work Session requested by **One Raynes Ave, LLC, 31 Raynes LLC, and 203 Maplewood Avenue, LLC, owners**, for properties located at **1 Raynes Avenue, 31 Raynes Avenue, and 203 Maplewood Avenue**, wherein permission is requested to allow the construction of a 4-5 story mixed-use building and a 5 story hotel) as per plans on file in the Planning Department. Said properties are shown on Assessor Map 123 Lot 14, Map 123 Lot 13, and Map 123 Lot 12 and lies within the Character District 4 (CD4) and Historic Districts. *(This item was postponed at the January 06, 2021 meeting).*

V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **Mary H. and Ronald R. Pressman, owners**, for property located at **449 Court Street**, wherein permission is requested to allow renovations to an existing structure (add 4th floor addition and roof deck) as per plans on file in the Planning Department. Said property is shown on Assessor Map 105 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

2. Work Session requested by **Nobles Island Condominium Association, owner, and Michael Street, applicant**, for property located at **500 Market Street**, wherein permission is requested to allow exterior renovations to an existing structure (replace brick dumpster corral) as

per plans on file in the Planning Department. Said property is shown on Assessor Map 120 as Lot 2 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts.

3. Work Session requested by **Stone Creek Realty, LLC, owner**, for property located at **53 Green Street**, wherein permission is requested to allow the demolition of the existing structure and the new construction of a 3-5 story mixed-use building as per plans on file in the Planning Department. Said property is shown on Assessor Map 119 as Lot 2 and lies within the Character District 5 (CD5) and Historic Districts.

4. Work Session requested by **Ross D. Ellenhorn and Rebecca J. Wolfe, owners**, for property located at **279 Marcy Street, Unit #3**, wherein permission is requested to allow new construction to an existing structure (construct recessed deck on 3rd floor) as per plans on file in the Planning Department. Said property is shown on Assessor Map 103 as Lot 45-3 and lies within the General Residence B (GRB) and Historic Districts.

VI. ADJOURNEMENT

HDC

ADMINISTRATIVE APPROVALS

February 10, 2021

1. **58 South Street (LUHD-267)** - Recommended Approval
2. **76 South School Street (LUHD-269)** - Recommended Approval
3. **16 Porter Street (LUHD-270)** - TBD
4. **46 Maplewood Avenue (LUHD-271)** - Recommended Approval
5. **56 Dennett Street (LUHD-272)** - Recommended Approval
6. **82 Court Street (LUHD-268)** - Recommended Approval

1. 58 South Street

- Recommended Approval

Background: The applicant is seeking approval to replace a first floor bay window with two double hung windows, replace an existing second floor bathroom window, replace two additional first floor double hung windows, replace existing hood vent, and add new kitchen vent.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

02/04/2021

LUHD-267

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Jan 28, 2021

Applicant

Jay Lawrie
jay.lawrie13@gmail.com
270 MEADERBORO RD
FARMINGTON, NH 03835-4410
6033124729

Location

58 SOUTH ST
Portsmouth, NH

Owner:

NATKIEL LUCIANNA
PO BOX 238, null, HILL, NH 03243

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

#1. Back of house. Replace bay window in kitchen (48"x36') with 2 Marvin double hung windows - please see attached. Replace double hung window in 2nd story bathroom with Marvin dbl hung. Remove old vent hood and install new in same wall-see attached
Left side , first floor, replace 2 windows with Marvin dbl hung- see attached
Kitchen vent to exit roof on back side - can't see from ground- see attached

Description of Proposed Work (Planning Staff)

--

Acknowledgement

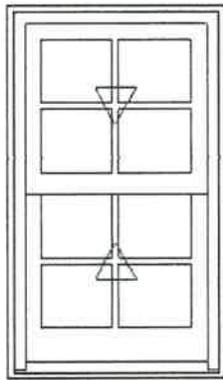
I certify that the information given is true and correct to the best of my knowledge.



LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit:	Net Price:	1,018.12
Qty: 1		Ext. Net Price: USD	1,018.12



As Viewed From The Exterior

Entered As: CN
 CN 1614
 FS 21 1/4" X 35 1/2"
 RO 22 1/4" X 36"
Egress Information
 Width: 17 21/32" Height: 12 11/16"
 Net Clear Opening: 1.56 SqFt
Performance Grade
 Licensee #1127
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG50 1149X2223 mm (45.3X87.5 in)
 LC-PG50 DP +50/-50
 FL17635

Stone White Clad Exterior
 Primed Pine Interior
 Back Prime
 Ultimate Double Hung G2
 CN 1614
 Rough Opening 22 1/4" X 36"
 Top Sash
 Stone White Clad Sash Exterior
 Primed Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Standard Cut 2W2H
 Stone White Clad Ext - Primed Pine Int
 Ogee Interior Glazing Profile
 Bottom Sash
 Stone White Clad Sash Exterior
 Primed Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 5/8" SDL - With Spacer Bar - Black
 Rectangular - Standard Cut 2W2H
 Stone White Clad Ext - Primed Pine Int
 Ogee Interior Glazing Profile
 White Interior Weather Strip Package
 White Exterior Weather Strip Package
 White Sash Lock
 White Top Sash Strike Plate Assembly Color
 Aluminum Screen
 Stone White Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose
 4 9/16" Jamb
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

*Replace
 Kitchen Bump out w - 2 CN1614*

Initials required

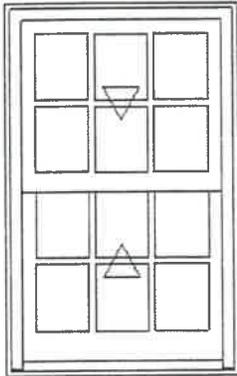
Seller: _____

Buyer: _____

Line #2	Mark Unit:	Net Price:	1,075.79
Qty: 1		Ext. Net Price: USD	1,075.79



Stone White Clad Exterior
 Primed Pine Interior
 Back Prime
 Ultimate Double Hung G2
 CN 2016
 Rough Opening 26 1/4" X 40"
 Top Sash
 Stone White Clad Sash Exterior
 Primed Pine Sash Interior
 IG
 Low E2 w/Argon



As Viewed From The Exterior

Entered As: CN
CN 2016
FS 25 1/4" X 39 1/2"
RO 26 1/4" X 40"
Egress Information
Width: 21 21/32" Height: 14 11/16"
Net Clear Opening: 2.21 SqFt
Performance Grade
Licensee #1127
AAMA/WDMA/CSA/101/ I.S.2/A440-08
LC-PG50 1149X2223 mm (45.3X87.5 in)
LC-PG50 DP +50/-50
FL17635

Black Perimeter and Spacer Bar
5/8" SDL - With Spacer Bar - Black
Rectangular - Standard Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
Bottom Sash
Stone White Clad Sash Exterior
Primed Pine Sash Interior
IG
Low E2 w/Argon
Black Perimeter and Spacer Bar
5/8" SDL - With Spacer Bar - Black
Rectangular - Standard Cut 3W2H
Stone White Clad Ext - Primed Pine Int
Ogee Interior Glazing Profile
White Interior Weather Strip Package
White Exterior Weather Strip Package
White Sash Lock
White Top Sash Strike Plate Assembly Color
Aluminum Screen
Stone White Surround
Charcoal Fiberglass Mesh
***Screen/Combo Ship Loose
4 9/16" Jamb
Nailing Fin
***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

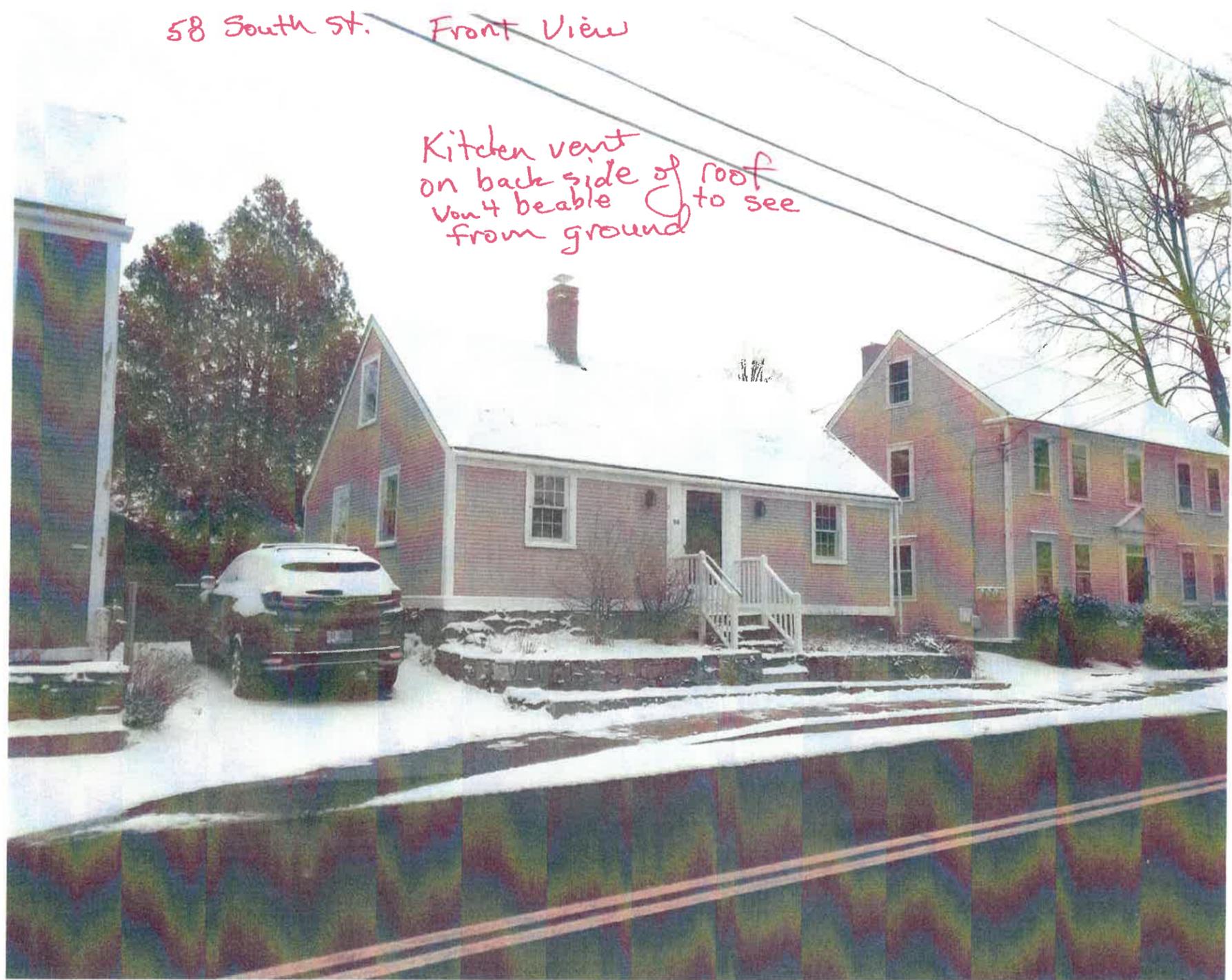
Buyer: _____

Project Subtotal Net Price: USD 2,093.91
0.000% Sales Tax: USD 0.00
Project Total Net Price: USD 2,093.91

Left side windows

58 South St. Front View

Kitchen vent
on back side of roof
won't be able to see
from ground



Left side

Raise window
to match →
replace with Merwin
CN 2016



Kitchen
window
Remove &
Replace
w 2 - CN1614



Back of
House

~~Remove~~
& Replace
w/ Marvin
CN2624

Remove
& Replace



New bath vent
from Hood.



Eliminate
vent

remove
Replace w-2 Marvin
ultimate dbl Hang CN1614
5/8" SDL



2. 76 South School Street

- Recommended Approval

Background: The applicant is seeking approval to replace the existing mixed material fencing with new cedar wood fencing.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

02/04/2021

LUHD-269

Historic District Commission Work Session or Administrative Approval Application

Status: Active**Date Created:** Jan 31, 2021

Applicant

Ian Ciesla
ian.ciesla@gmail.com
78 S. School Street
Portsmouth, NH 03801
5164572682

Location

76 SOUTH SCHOOL ST
Portsmouth, NH

Owner:

CIESLA IAN & BRADT ERIN
76 SOUTH SCHOOL ST, null, PORTSMOUTH,
NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Replace very damaged existing fence of mixed materials (containing: old chain-link, broken lattice, stockade fence and black plastic tarp) with a new consistent wooden cedar fence. Rear of property is between two abutting parking lots and a city owned pathway (from Humphreys Court Extension to South School st). New wooden fence is intended to solve for the existing fence eyesore and provide privacy and security for property owners and their pet dog (who can jump quite high). Additionally, this new fence will provide a better neighborhood experience for the mentioned path traffic, onlookers and especially abutting neighbors. Proposing a 6' tall cedar privacy fence. The 6' height will step down to 4' along one side of the house (see attached details).

Description of Proposed Work (Planning Staff)

--

Request for HDC Administrative Approval

Replacement Fence

Amended: 01/26/21

Property:

76 S School Street / 0101-0062

Property Owners:

Ian Ciesla

Erin Bradt

Existing Fence Conditions:

Photographs















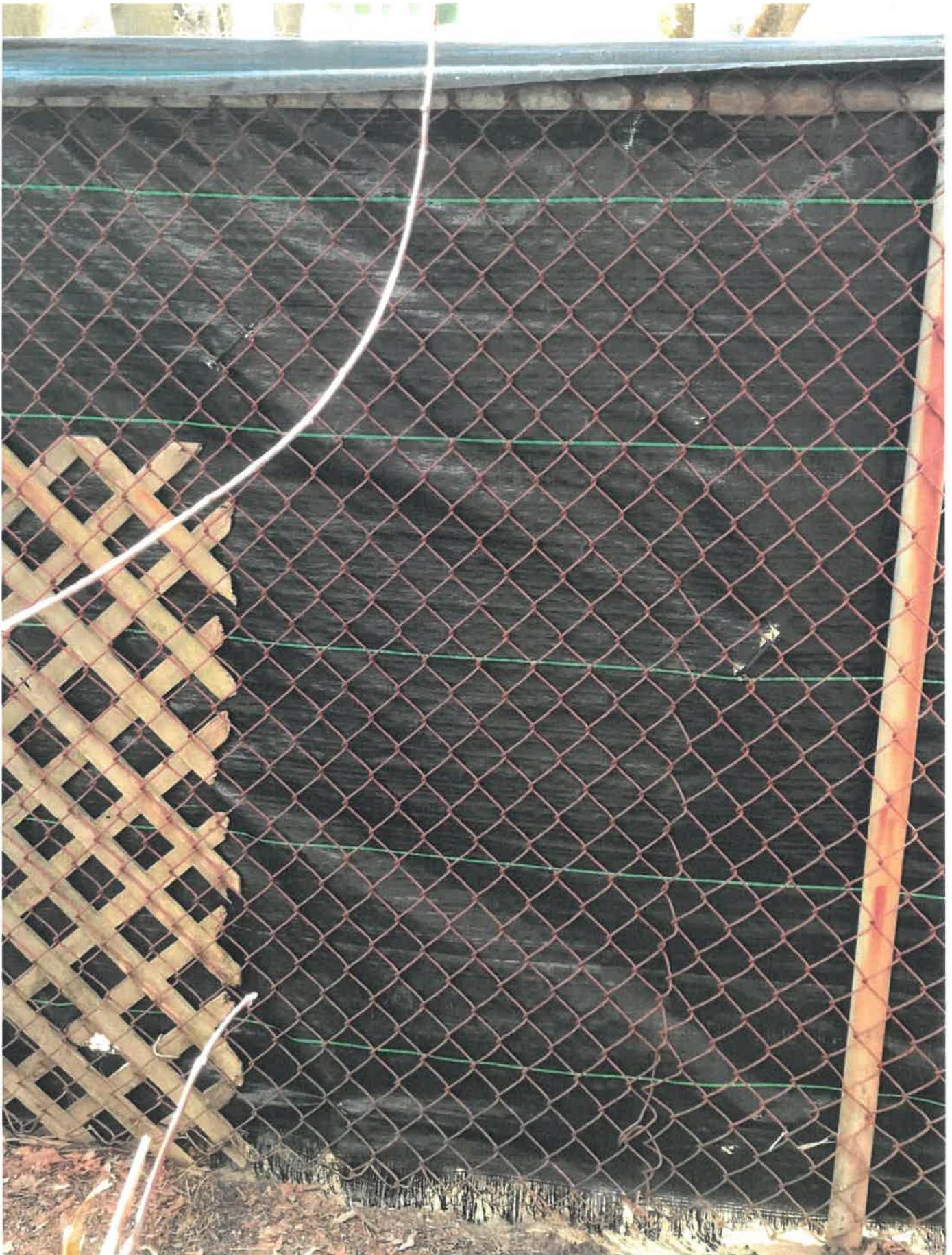
















Proposed New Fence Materials:

Cedar Fence Sandwich Panel w/ Cap Strip
(6' to 4' step down)



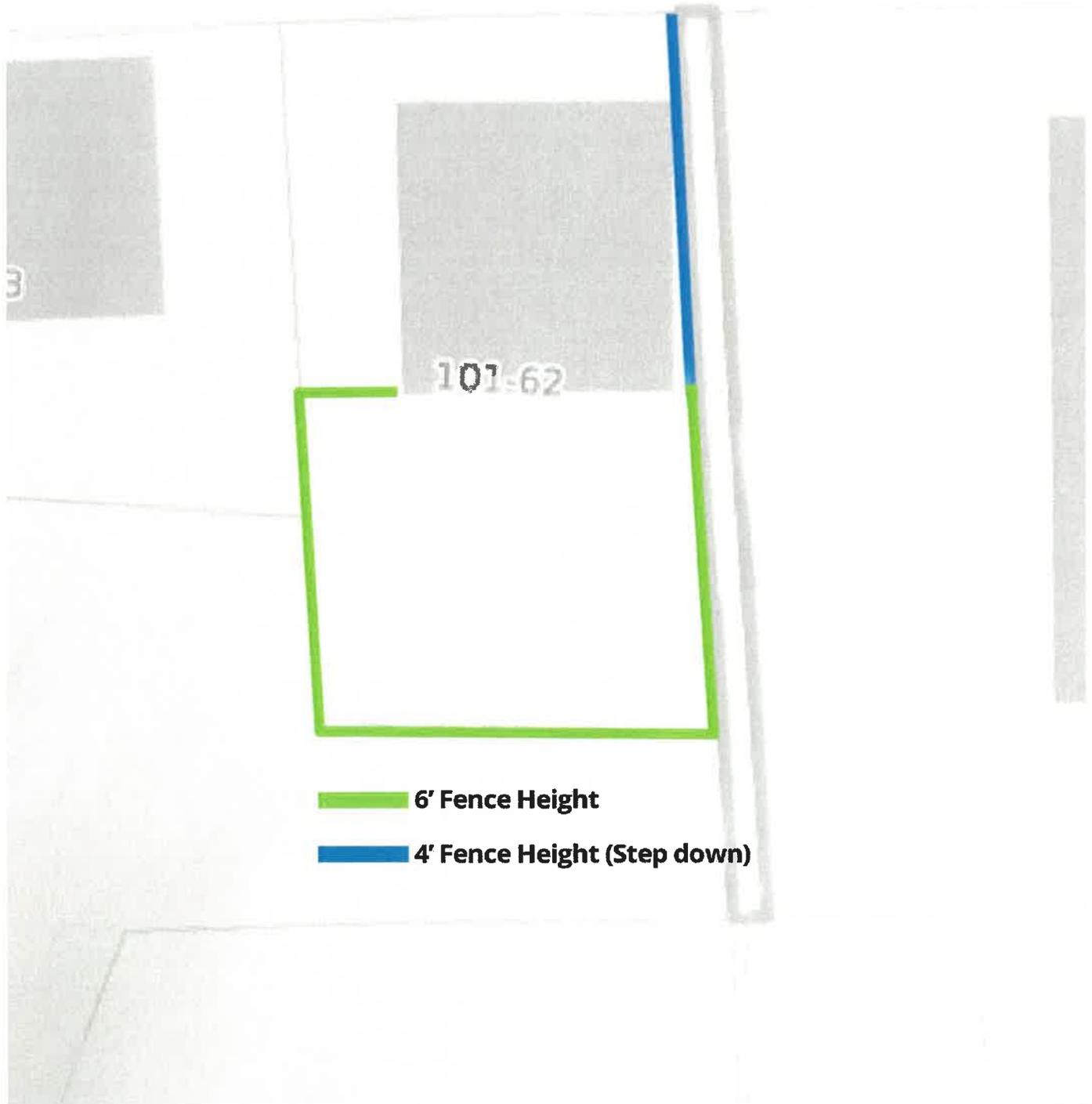
Cap Detail:



Panel Detail:
The panel is exactly the same on both sides.

S School St

S School St



6' Fence Height

4' Fence Height (Step down)

3. 16 porter Street

- TBD

Background: The applicant is seeking approval for the installation of a radon mitigation system.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

02/04/2021

LUHD-270

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Feb 02, 2021

Applicant

Michael Street
michaels@cpmanagement.com
11 Court Street
Suite 100
Exeter, NH 03833
6037786300

Location

16 PORTER ST
Portsmouth, NH

Owner:

Porter Street Condo Association
11 Court Street, 100, Exeter, New Hampshire
03833

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Radon mitigation system installation on the exterior wall up to the roofline. Top of mitigation system will extend 12-18" above roofline where gutter is located. Contractor will run 3" Schedule 40 pipe up the side of the building to first roof line. They will then completely cover system with copper coated channel shown in the first picture. The existing gutters and downspouts are also copper, although tarnished over many years.

Description of Proposed Work (Planning Staff)

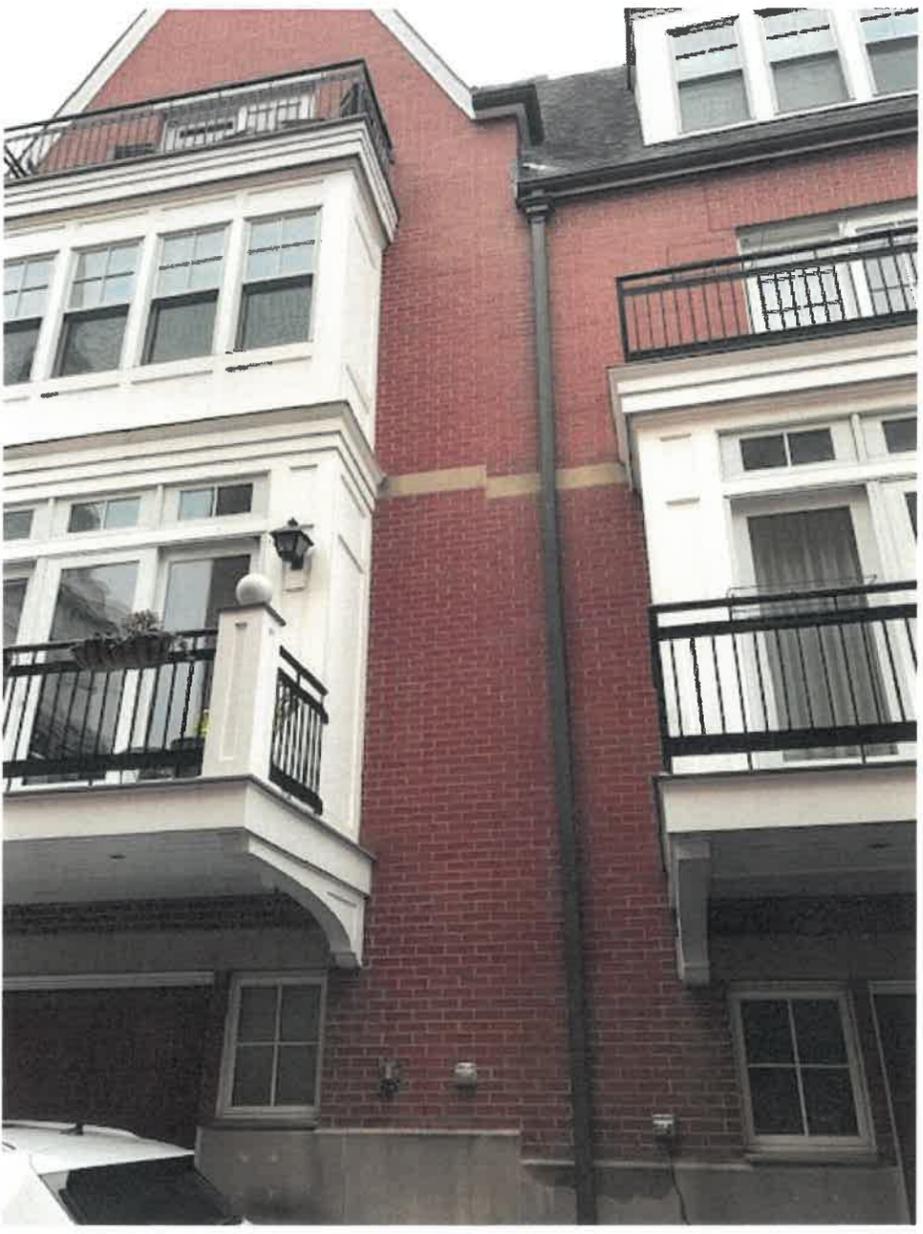
--

Project Representatives

Relationship to Project

Owner





2/4/2021

Porter_Downspout_Pic_1_Tue_Feb_2_2021_13-55-13.jpg (640x480)

2/4/2021

Porter_Downspout_Pic_2_Tue_Feb_2_2021_13-55-44.jpg (640x480)



2/4/2021

Porter_Alleyway_Pic_Tue_Feb_2_2021_13-56-12.jpg (640x480)



4. 46 Maplewood Avenue - Recommended Approval

Background: The applicant is seeking approval for final details and assembly of the glass awning.

Staff Comment: Recommended Approval

Stipulations:

- 1. _____
- 2. _____
- 3. _____



City of Portsmouth, NH

02/04/2021

LUHD-271**Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** Feb 02, 2021**Applicant**

Jennifer Ramsey
jramsey@sommastudios.com
36 Maplewood Ave
Portsmouth, NH 03801
603-766-3760 ext. 1

Location

0 MAPLEWOOD AVE
Portsmouth, NH

Owner:

THIRTY MAPLEWOOD LLC
36 MAPLEWOOD AVE, null, PORTSMOUTH, NH
03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Project Information**Brief Description of Proposed Work**

Final Details and Assembly of Glass Awning

Description of Proposed Work (Planning Staff)

--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction**

46 Maplewood Awning Design and Specifications

February 2021

At the time of our original approval, it was discussed that we would return with the final specifications for the glass awning once the manufacturer had been selected and the awning fully engineered with actual material specifications.

Original rendering prior to engineering and specifications.



Engineered awning by Inofab LLC., of Pittsfield, New Hampshire.

Inofab is responsible for other glazed awning structures in Portsmouth. Most recently the awnings installed at 25 Maplewood, across the street.



A close up of awning from Deer Street. The building address for the corner tenant will be laser cut from the metal face.
This face is also concealing an internal gutter system.



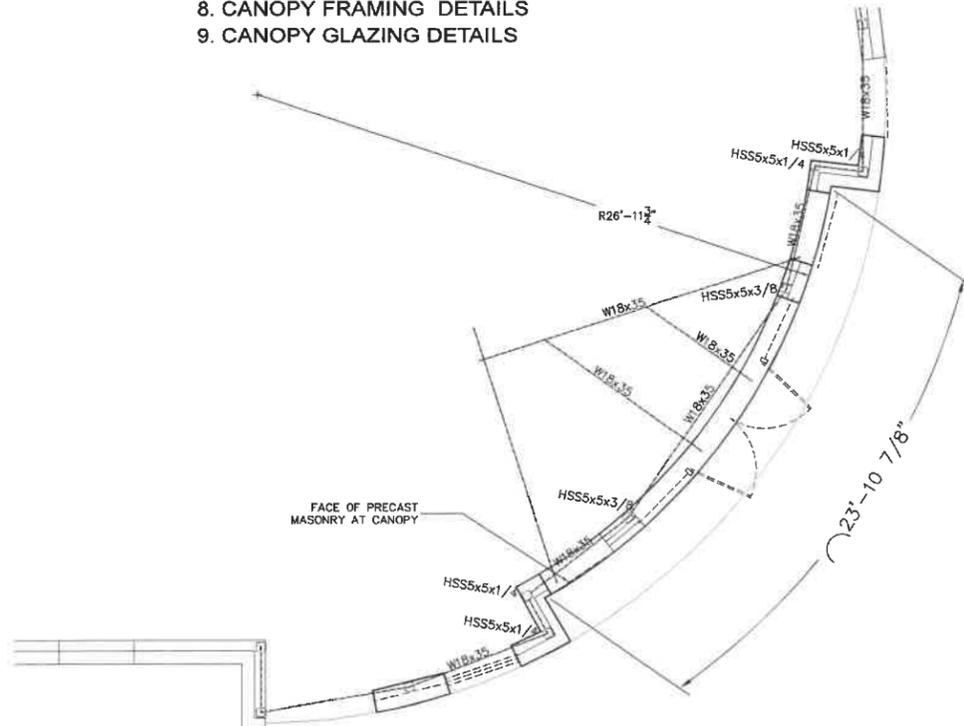
LIST OF DRAWINGS

1. COLUMN PLAN & GENERAL NOTES
2. CANOPY FRAMING PLAN
3. CANOPY SECTION AT STOREFRONT
4. CANOPY SECTION AT RAFTER
5. CANOPY FRONT ELEVATION
6. CANOPY GLAZING PLAN
7. CANOPY FRAMING DETAILS
8. CANOPY FRAMING DETAILS
9. CANOPY GLAZING DETAILS

GENERAL NOTES:

1. DIMENSIONS BASED ON FIELD DIMENSIONS.
2. ALL FRAMING ALUMINUM 6061-T6 FY = 35,000 PSI.
3. GLAZING PANELS: 1/4" MONOLITHIC POLYCARBONATE
UV PROTECTED GLAZING PANELS COLOR TBD
4. ALL FASTENERS ARE STAINLESS STEEL TYP 304.
5. VERIFY DIMENSIONS AND SIZES OF EXISTING
STRUCTURAL MEMBERS PRIOR TO FABRICATION.
6. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF
ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING
BUT NOT LIMITED TO
2009 INTERNATIONAL BUILDING CODE
ANSI/ASCE 7-05 "MINIMUM DESIGN LOADS FOR BUILDINGS AND
OTHER STRUCTURES"
ACI 318-08 "BUILDING CODE REQUIREMENTS FOR REINFORCED
CONCRETE"
ACI 301-08 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR
BUILDINGS"
AISC STEEL CONSTRUCTION MANUAL, 2008
ACI 530-08/ ASCE 5-08/TMS 402-08 "BUILDING CODE
REQUIREMENTS AND SPECIFICATION FOR MASONRY
STRUCTURES"
DESIGN LOADS:
THE STRUCTURE DESIGNED IN ACCORDANCE WITH THE
2009 IBC TO SUPPORT THE DEAD LOADS OF THE STRUCTURAL
ARCHITECTURAL, AND MECHANICAL SYSTEMS SHOWN AS WELL
AS THE FOLLOWING MIN. LIVE LOADS
RESIDENTIAL.....40 PSF
RETAIL FIRST FLOOR.....100 PSF
BASIC GROUND SNOW LOAD50PSF
C_s=1.0
C_t= 1.1
I_s = 1.0
WIND SPEED = 100 MPH
EXPOSURE = B
I_w = 1.0
SEISMIC SITE CLASS = D PER GEOTECHNICAL REPORT
I_e = 1.0
S_s = 0.356, S_{Ds} = 0.360
S₁ = 0.078, S_{D1} = 0.126
SEISMIC DESIGN CATAGORY = C

FINISH:
SOLVENT BASED WASH DOWN, FULLY ABRADED SURFACE TREATMENT,
TNEMIC FC EPOXY SERIES 27 TWO COMPONENT
ADHESION AND SEALING BARRIER COAT, SHERWIN WILLIAMS CHEMICAL
COATINGS POLANE TWO COMPONENT EXTERIOR URETHANE THREE COAT
TOP COAT
SATIN FACTORY FINISH COLOR TBD--



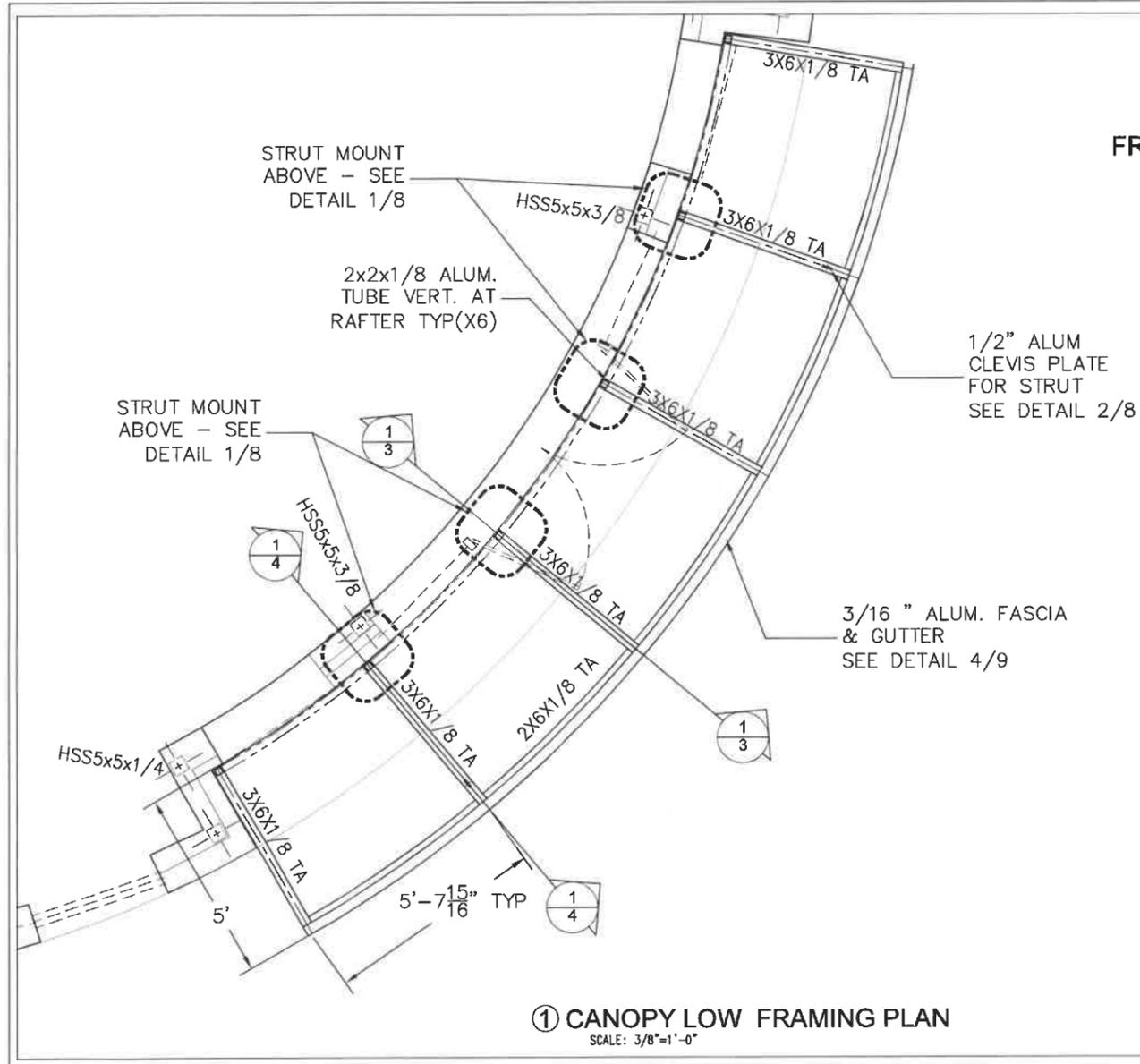
① CANOPY COLUMN PLAN
SCALE: 3/16"=1'-0"

INOFAB, L.L.C.
INNOVATION IN FABRICATION
26 BROADWAY AVE.
PITTSFIELD, NH 03263
603-435-5082 603-856-4247
www.inofab.com

ENTRANCE CANOPY
54 MAPLEWOOD AVE.
PORTSMOUTH, NH 03801
COLUMN PLAN / GENERAL NOTES

Mr. NANGIA P.E.
CONSULTING ENGINEER
STRUCTURAL/CIVIL
7423 HOLLOW RIDGE DR.
HOUSTON, TX 77095

DRAWN: MEB
CHECKED: NK
DATE: 1/29/21
SCALE: AS SHOWN
JOB #: 19103
SHEET
1 OF 9



FRAMING NOTES:

1. SEE NOTES SHT 1 FOR MATERIALS AND FINISHES.
2. FIELD VERIFY ALL DIMENSIONS OF BUILDING STRUCTURE PRIOR TO FABRICATION OF CANOPY.
3. ALL FIELD CONNECTIONS TO BE BOLTED.

① CANOPY LOW FRAMING PLAN
SCALE: 3/8"=1'-0"

Mr. NANGIA P.E.
 CONSULTING ENGINEER
 STRUCTURAL/CIVIL
 7423 HOLLOWRIDGE DR.
 HOUSTON, TX 77055

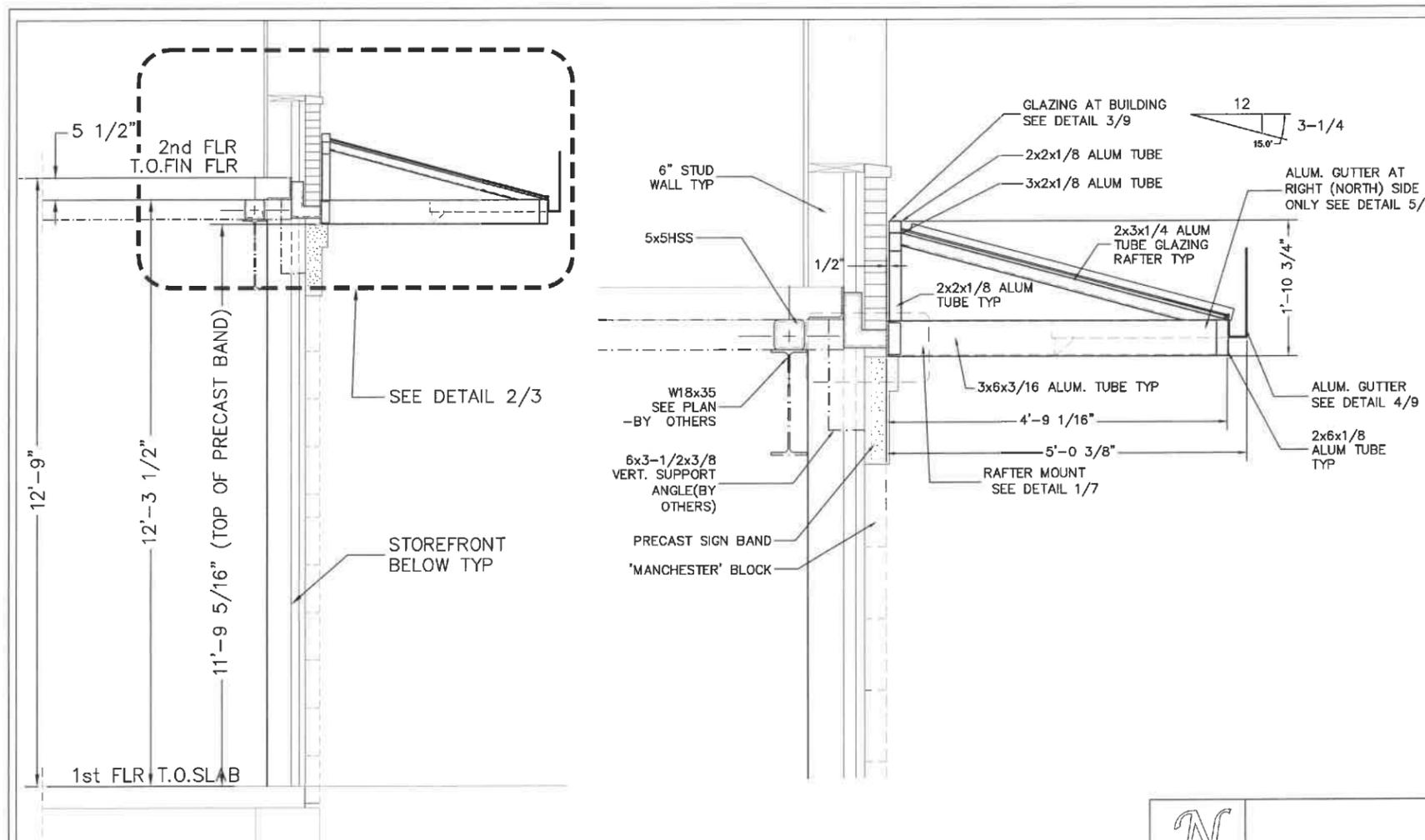
INOFAB, L.L.C.
 INNOVATION IN FABRICATION
 26 BROADWAY AVE.
 PITTSFIELD, NH 03263
 603-435-5082 603-856-4247
 www.inofab.com

ENTRANCE CANOPY
 54 MAPLEWOOD AVE.
 PORTSMOUTH, NH 03801
CANOPY FRAMING PLAN

DRAWN: MEB
 CHECKED: NK
 DATE: 1/29/21
 SCALE: AS SHOWN
 JOB #: 19103

SHEET
2 OF 9

THIS DOCUMENT WAS PRODUCED BY AND/OR UNDER THE SUPERVISION OF MR. NANGIA P.E.



① CANOPY SECTION AT END RAFTER
SCALE: 1/2"=1'-0"

② SECTION DETAIL
SCALE: 3/4"=1'-0"

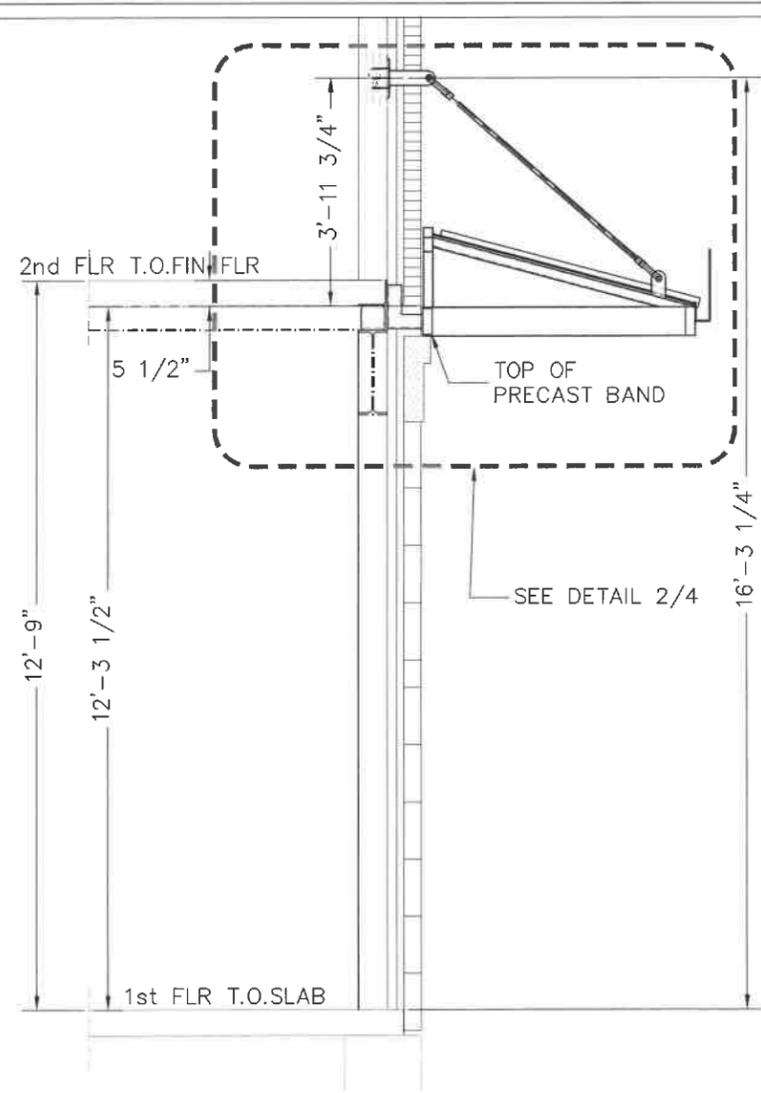
INOFAB, L.L.C.
INNOVATION IN FABRICATION
26 BROADWAY AVE.
PITTSFIELD, NH 03263
603-431-5082 603-856-4247
www.inofab.com

ENTRANCE CANOPY
54 MAPLEWOOD AVE.
PORTSMOUTH, NH 03801
CANOPY SECTION

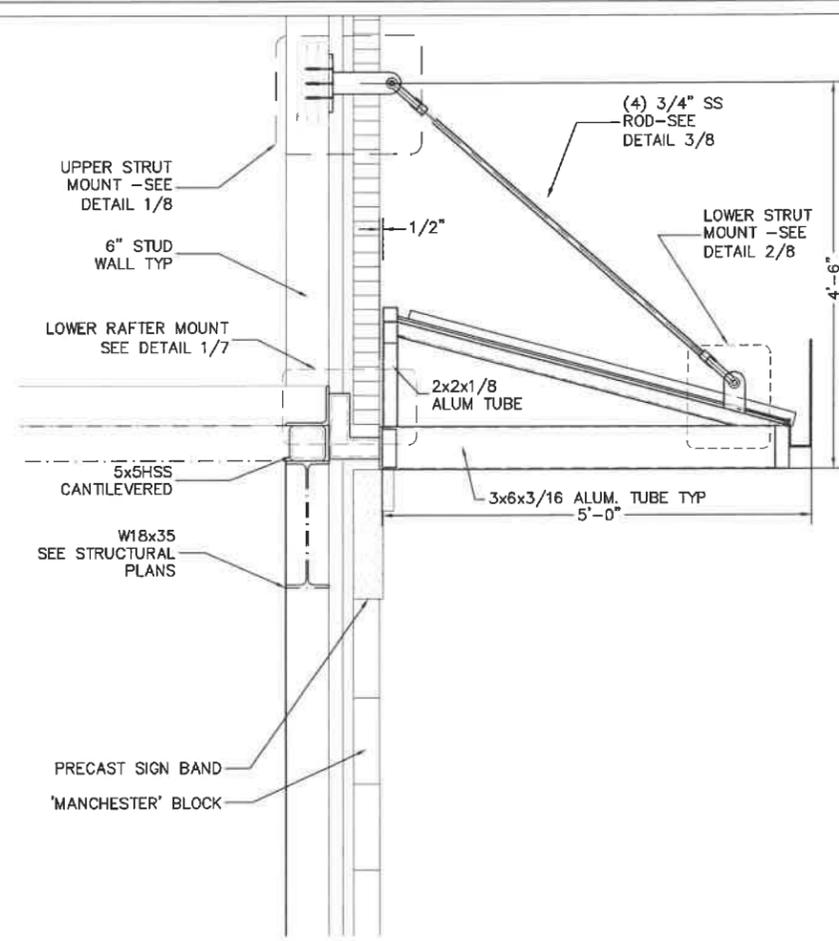
N
Mr. NANGIA P.E.
CONSULTING ENGINEER
STRUCTURAL/CIVIL
7423 HOLLOWRIDGE DR.
HOUSTON, TX 77093

DRAWN: MEB
CHECKED: NK
DATE: 1/29/21
SCALE: AS SHOWN
JOB #: 19103

SHEET
3 OF 9



① CANOPY SECTION AT STRUT
SCALE: 1/2"=1'-0"



② SECTION DETAIL
SCALE: 3/4"=1'-0"

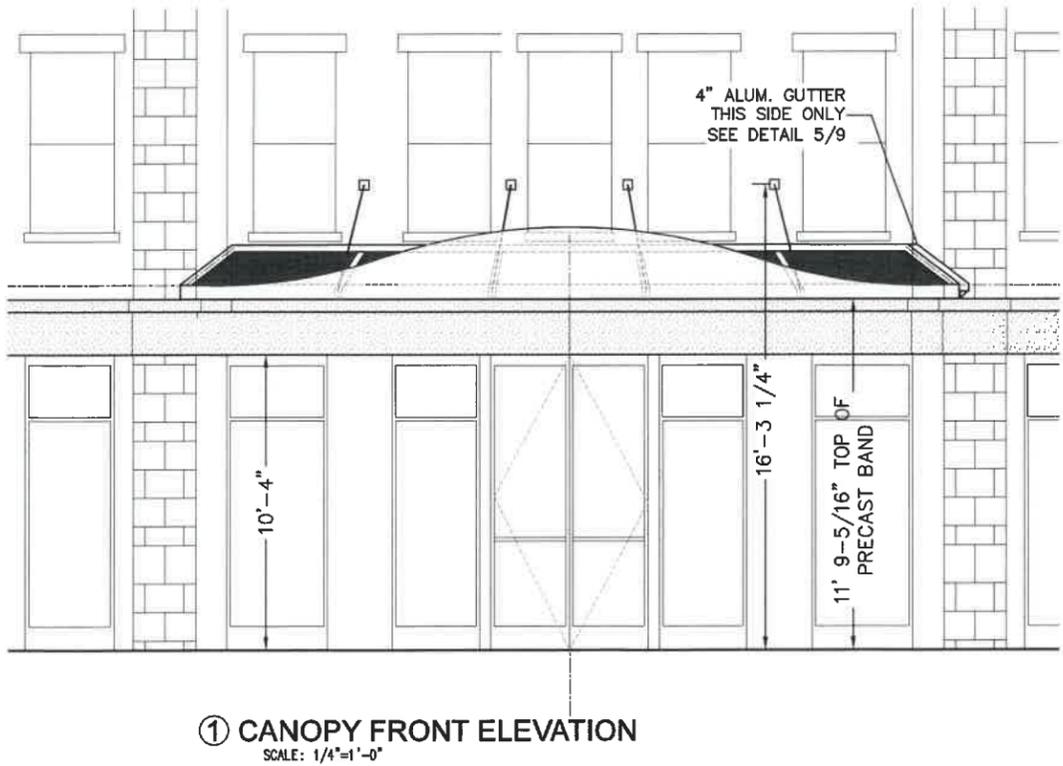
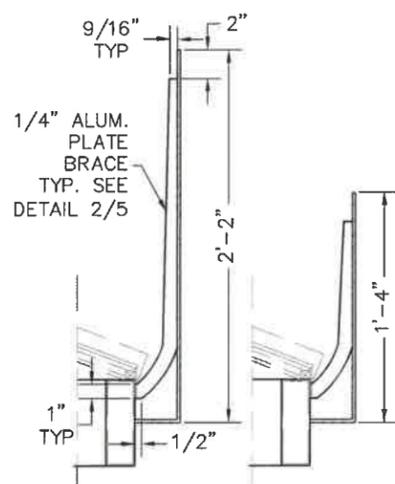
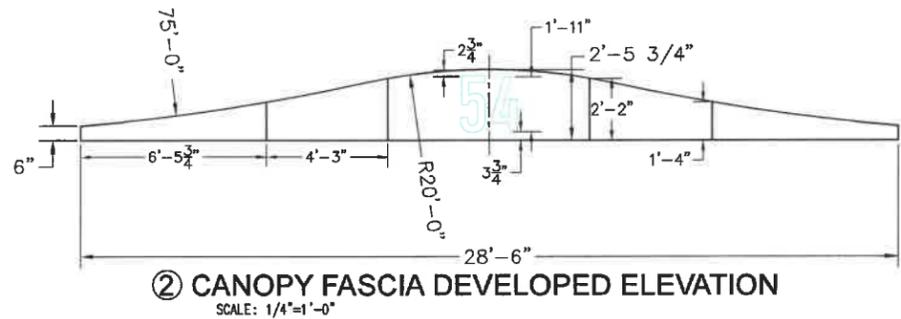
N
Mr. NANGIA P.E.
CONSULTING ENGINEER
STRUCTURAL/CIVIL
7423 HOLLOW RIDGE DR.
HOUSTON, TX 77095

INOFAB, L.L.C.
INNOVATION IN FABRICATION
26 BROADWAY AVE.
PITTSFIELD, NH 03263
603-435-5082 603-856-4247
www.inofab.com

ENTRANCE CANOPY
54 MAPLEWOOD AVE.
PORTSMOUTH, NH 03801
CANOPY SECTION AT STRUT

DRAWN: MEB
CHECKED: NK
DATE: 1/29/21
SCALE: AS SHOWN
JOB #: 19103

SHEET
4 OF 9



INOFAB, L.L.C.
INNOVATION IN FABRICATION
26 BROADWAY AVE.
PITTSFIELD, NH 03263
603-433-5082 603-856-4247
www.inofab.com

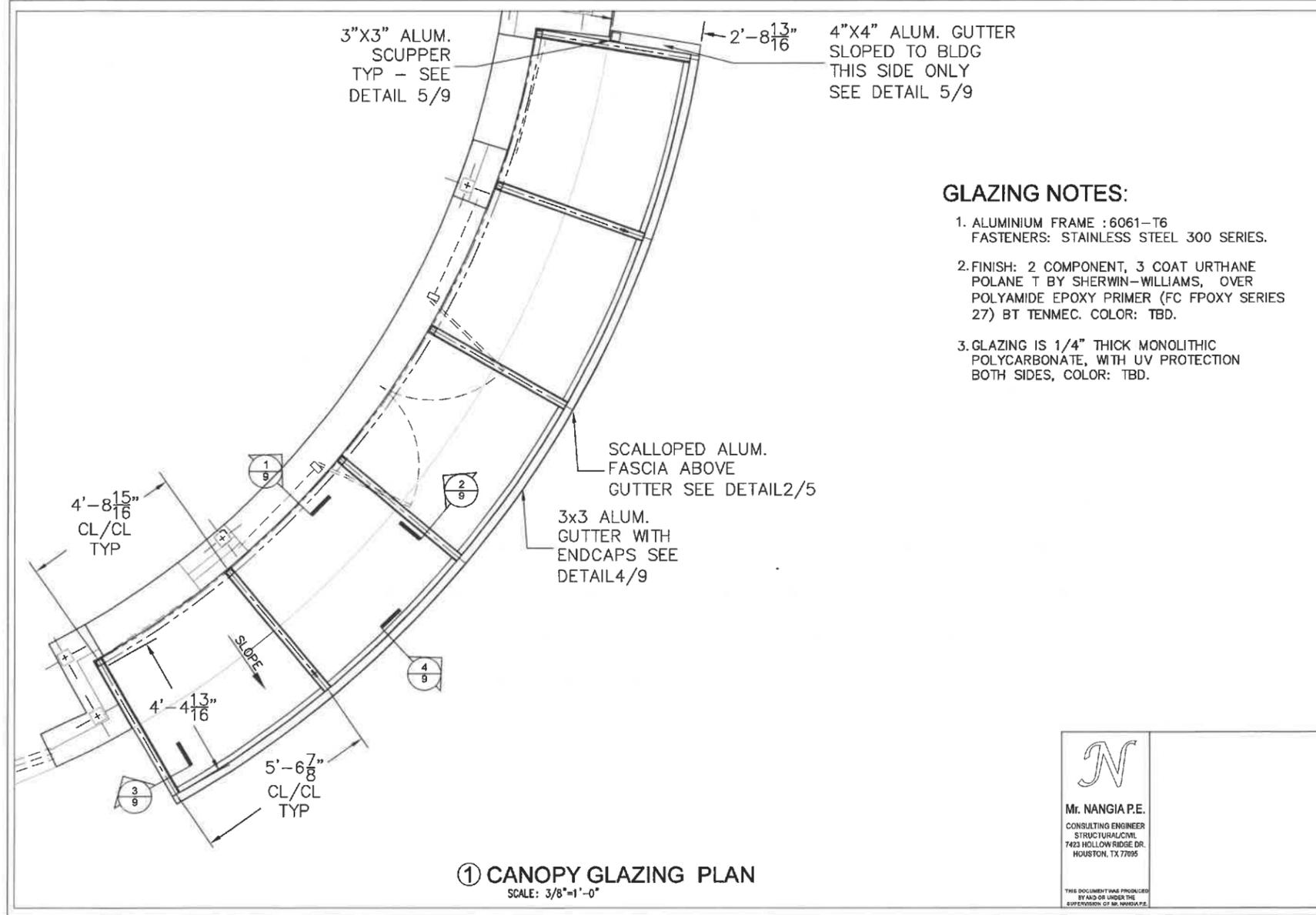
ENTRANCE CANOPY
54 MAPLEWOOD AVE.
PORTSMOUTH, NH 03801
CANOPY FRONT ELEVATION

DRAWN: MEB
CHECKED: NK
DATE: 1/29/21
SCALE: AS SHOWN
JOB #: 19103
SHEET

5 OF 9

Mr. NANGIA P.E.
CONSULTING ENGINEER
STRUCTURAL/CIVIL
7423 HOLLOW RIDGE DR.
HOUSTON, TX 77095

THIS DOCUMENT WAS PRODUCED BY AND IS UNDER THE SUPERVISION OF MR. NANGIA P.E.



GLAZING NOTES:

- 1. ALUMINIUM FRAME :6061-T6
FASTENERS: STAINLESS STEEL 300 SERIES.
- 2. FINISH: 2 COMPONENT, 3 COAT URTHANE POLANE T BY SHERWIN-WILLIAMS, OVER POLYAMIDE EPOXY PRIMER (FC FPOXY SERIES 27) BT TENMEC. COLOR: TBD.
- 3. GLAZING IS 1/4" THICK MONOLITHIC POLYCARBONATE, WITH UV PROTECTION BOTH SIDES, COLOR: TBD.

① CANOPY GLAZING PLAN
SCALE: 3/8"=1'-0"

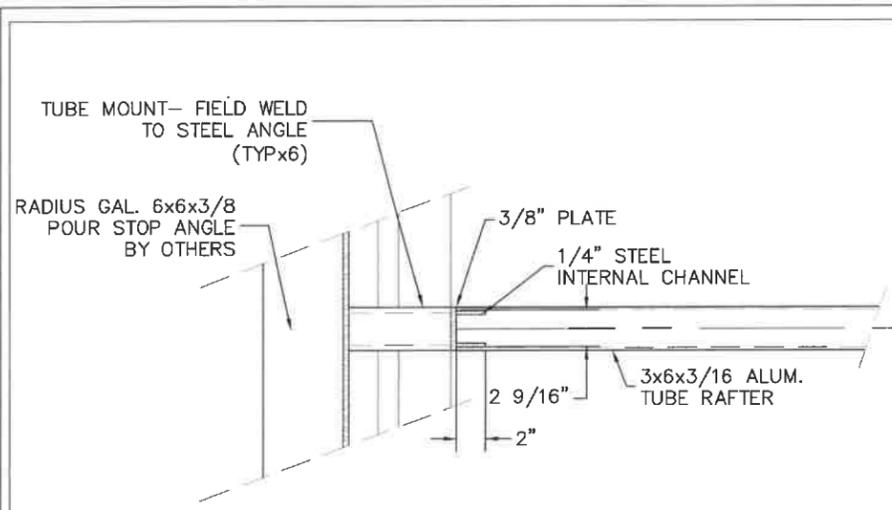
N
Mr. NANGIA P.E.
CONSULTING ENGINEER
STRUCTURAL/CIVIL
7423 HOLLOW RIDGE DR.
HOUSTON, TX 77095

INOFAB, L.L.C.
INNOVATION IN FABRICATION
26 BROADWAY AVE.
PITTSFIELD, NH 03263
603-435-5082 603-856-4247
www.inofab.com

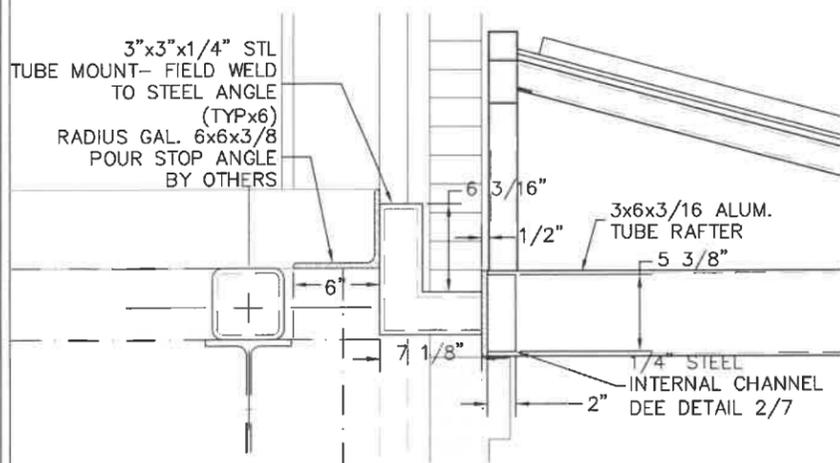
ENTRANCE CANOPY
54 MAPLEWOOD AVE.
PORTSMOUTH, NH 03801
CANOPY GLAZING PLAN

DRAWN: MEB
CHECKED: NK
DATE: 1/29/21
SCALE: AS SHOWN
JOB #: 19103

SHEET
6 OF 9



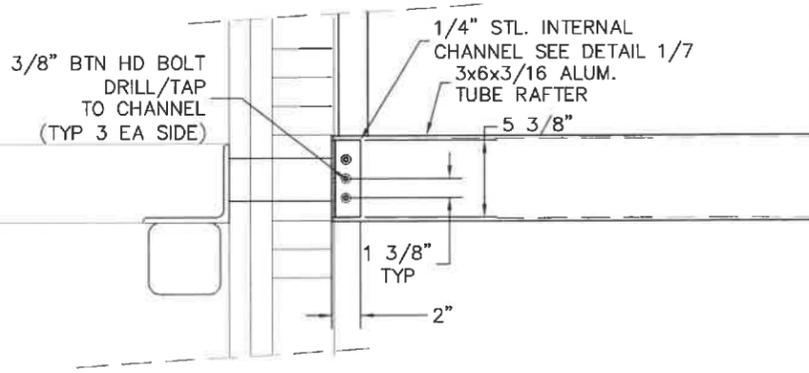
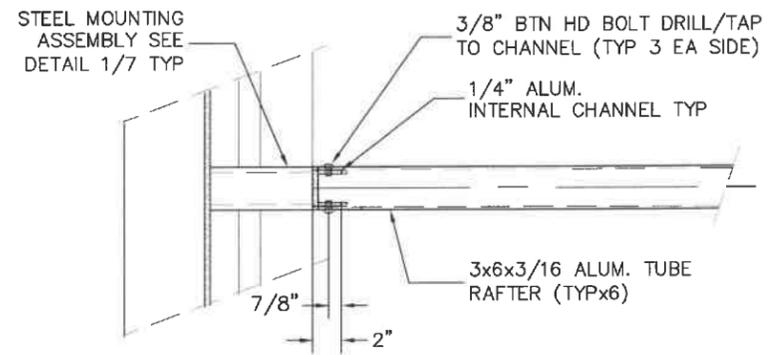
PLAN VIEW



SECTION VIEW

① RAFTER MOUNT DETAIL

SCALE: 1-1/2"=1'-0"



② RAFTER CONNECTION DETAIL

SCALE: 1-1/2"=1'-0"

N

Mr. NANGIA P.E.
CONSULTING ENGINEER
STRUCTURAL/CIVIL
7425 HOLLOW RIDGE DR.
HOUSTON, TX 77095

THIS DOCUMENT WAS PRODUCED BY AND FOR UNDER THE SUPERVISION OF MR. NANGIA P.E.

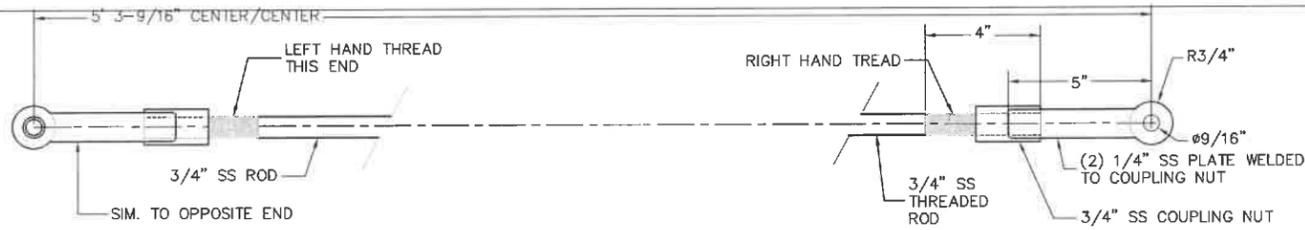
INOFAB, L.L.C.
INNOVATION IN FABRICATION
26 BROADWAY AVE.
PITTSFIELD, NH 03263
603-435-5082 603-856-4247
www.inofab.com

ENTRANCE CANOPY
54 MAPLEWOOD AVE.
PORTSMOUTH, NH 03801

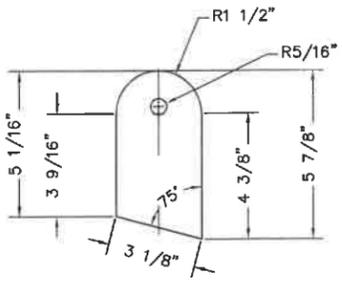
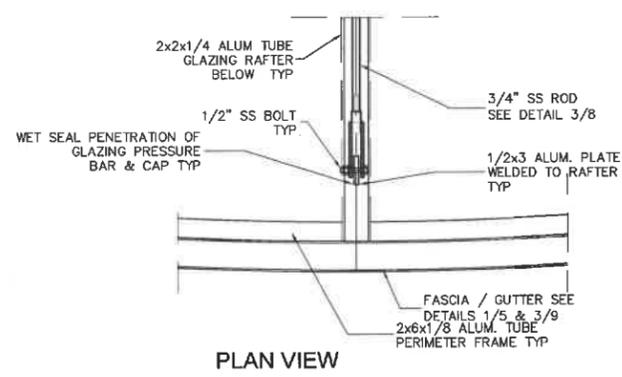
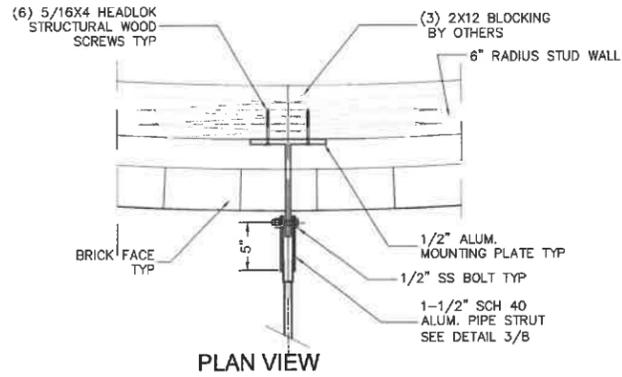
FRAMING DETAILS

DRAWN: MEB
CHECKED: NK
DATE: 1/29/21
SCALE: AS SHOWN
JOB #: 19103

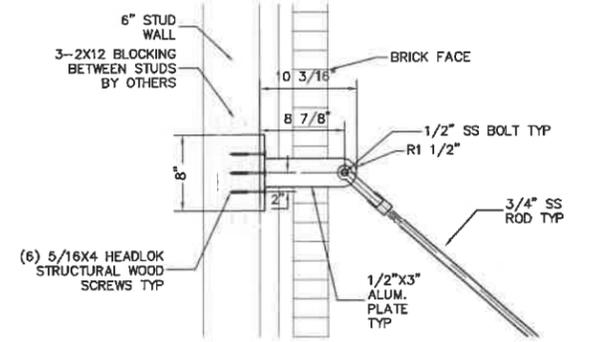
SHEET
7 OF **9**



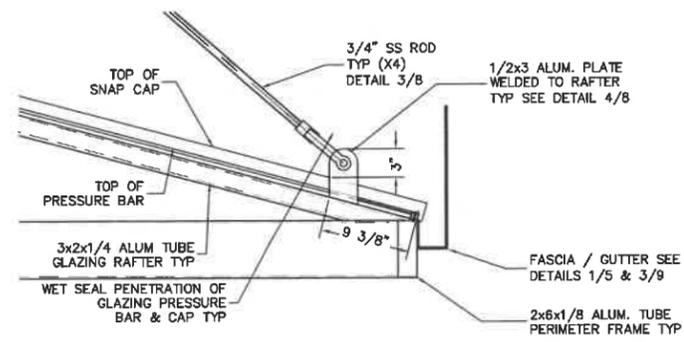
③ STRUT DETAIL
SCALE: 1-1/2"=1'-0"



④ LOWER CLEVIS PLATE
SCALE: 3"=1'-0"



① STRUT UPPER PLATE DETAIL
SCALE: 1"=1'-0"



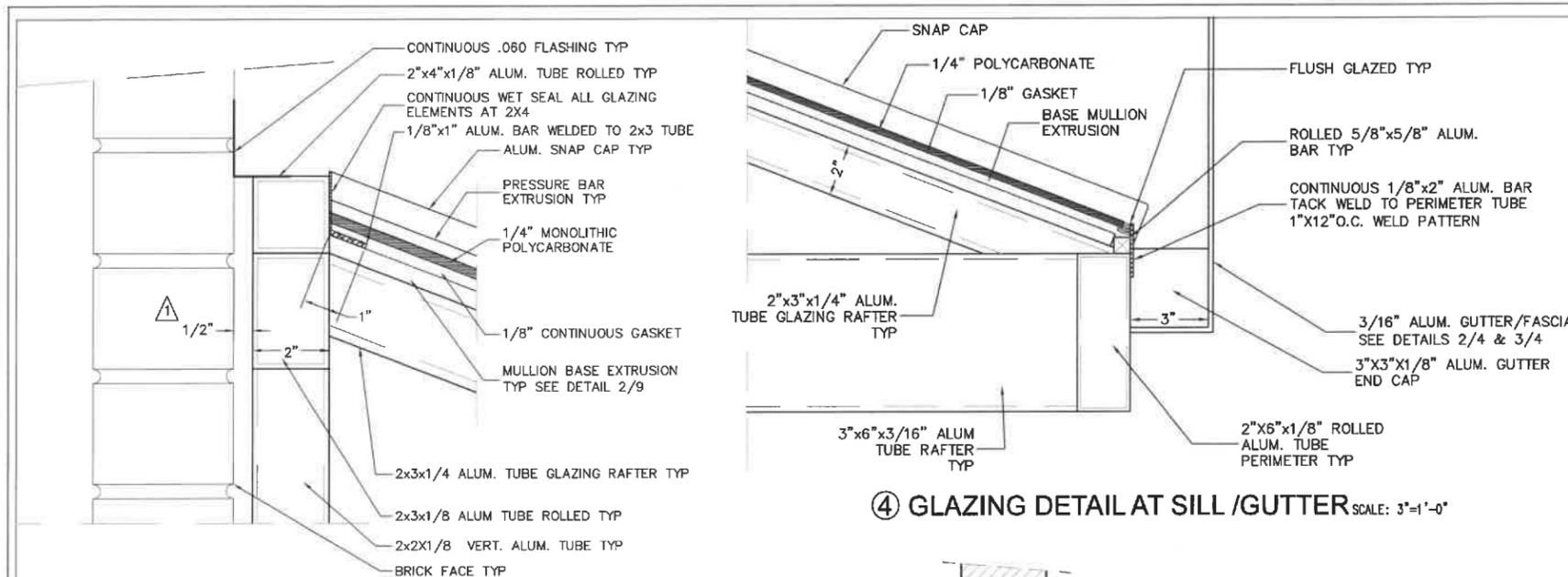
② STRUT LOWER PLATE DETAIL
SCALE: 1-1/2"=1'-0"

Mr. NANGIA P.E.
CONSULTING ENGINEER
STRUCTURAL/CIVIL
7423 HOLLOWRIDGE DR.
HOUSTON, TX 77095

INOFAB, L.L.C.
INNOVATION IN FABRICATION
26 BROADWAY AVE.
PITTSFIELD, NH 03263
603-435-5082 603-856-4247
www.inofab.com

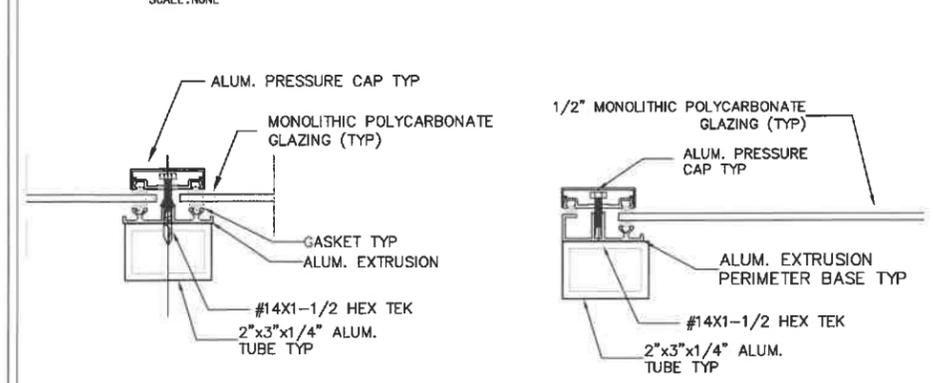
ENTRANCE CANOPY
54 MAPLEWOOD AVE.
PORTSMOUTH, NH 03801
FRAMING DETAILS

DRAWN: MEB
CHECKED: NK
DATE: 1/29/21
SCALE: AS SHOWN
JOB #: 19103
SHEET
8 OF 9



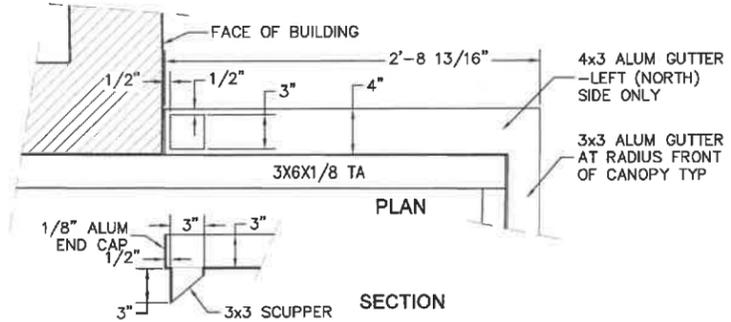
④ GLAZING DETAIL AT SILL /GUTTER SCALE: 3"=1'-0"

① GLAZING DETAIL AT HEAD SCALE: NONE



② GLAZING DETAIL AT MULLION SCALE: 3"=1'-0"

③ GLAZING DETAIL AT PERIMETER SCALE: 3"=1'-0"



⑤ GUTTER & SCUPPER SCALE: 1"=1'-0"

Mr. NANGIA P.E.
CONSULTING ENGINEER
STRUCTURAL/CIVIL
7423 HOLLOW RIDGE DR.
HOUSTON, TX 77095

INOFAB, L.L.C.
INNOVATION IN FABRICATION
26 BROADWAY AVE.
PITTSFIELD, NH 03263
603-433-5082 603-856-4247
www.inofab.com

ENTRANCE CANOPY
54 MAPLEWOOD AVE.
PORTSMOUTH, NH 03801

DRAWN: MEB
CHECKED: NK
DATE: 1/29/21
SCALE: AS SHOWN
JOB #: 19103
SHEET
9 OF 9

5. 56 Dennett Street

- Recommended Approval

Background: The applicant is seeking approval for the installation of a new HVAC compressor.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

02/04/2021

LUHD-272**Historic District Commission Work Session or Administrative Approval Application****Status:** Active**Date Created:** Feb 03, 2021**Applicant**

Walter Hoerman
whoerman@gmail.com
56 Dennett Street
Portsmouth, NH 03801
603-828-2688

Location

56 DENNETT ST
Portsmouth, NH

Owner:

HOERMAN FAMILY REVOCABLE TRUST OF
2019 & HOERMAN WALTER A AND MARY
ELLEN TRUSTEES
56 DENNETT ST, null, PORTSMOUTH, NH
03801

Application Type**Please select application type from the drop down menu below**

Administrative Approval

Project Information**Brief Description of Proposed Work**

adding a small compressor outside next to a much larger compressor behind the house

Description of Proposed Work (Planning Staff)

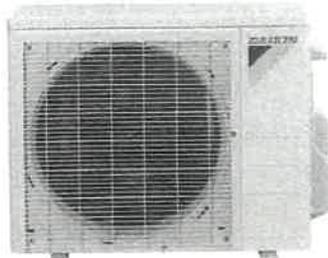
--

Acknowledgement**I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction**

Job Name:	
Tag#	



Submittal Data Sheet	FTX12NMVJU / RXL12QMVJU
1-Ton Wall Mounted Heat Pump System	



Complete warranty details available from your local dealer or at www.daikincomfort.com. To receive the 12-Year Parts Limited Warranty, online registration must be completed within 60 days of installation. Online registration is not required in California or Quebec. *If product is installed in a commercial application, limited warranty period is 5 years.*

Indoor Specifications

Airflow Rate (cfm)	Cooling		Heating	
	H	M	H	M
	434	311	413	321
	L	SL	L	SL
	247	145	258	219
Sound (dBA) H / M / L / SL	45 / 37 / 30 / 19		45 / 37 / 30 / 26	
Dimensions (H x W x D) (in)	11-1/4 x 30-5/16 x 8-3/4			
Weight (Lbs)	18			

Outdoor Specifications

Compressor	Hermetically Sealed Swing Type			
Refrigerant	R-410A			
Refrigerant Oil	PVE (FVC50K)			
Airflow Rate (cfm)	Cooling		Heating	
	H	1,144	H	1,006
	L	865	L	777
Sound Power Level (dBA)	50			
Dimensions (H x W x D) (in)	21-5/8 x 26-9/16 x 11-3/16			
Weight (Lbs)	70			

Efficiency

Cooling		Heating	
SEER	20.0	HSPF	12.0
EER	12.5	COP	3.90

Performance

Cooling (Btu/hr)	
Rated (Min/Max)	10,900 (4,400 / 13,300)
Sensible @ AHRI	9,100
Moisture Removal gal/h	.45
Operating Range	50°F – 115°F

Rated Cooling Conditions: Indoor: 80°F DB/67°F WB
Outdoor: 95°F DB/75°F WB

Heating (Btu/hr)	
1: @ 47° Rated (Min/Max)	13,600 (4,400 / 18,800)
2: @ 17° Rated	8,800
3: @ 5° Max	14,330
Operating Range	-13°F – 60°F

1: Rated Heating Conditions: Indoor: 70°F DB/60°F WB
Outdoor: 47°F DB/43°F WB
2: Rated Heating Conditions: Indoor: 70°F DB/60°F WB
Outdoor: 17°F DB/15°F WB
3: Rated Heating Conditions: Indoor: 70°F DB/60°F WB
Outdoor: 5°F DB/5°F WB

Electrical

	208/60/1	230/60/1
System MCA	13.0	13.0
System MFA	15	15
Compressor RLA	12.0	12.0
Outdoor fan motor FLA	.17	.17
Outdoor fan motor W	20	20
Indoor fan motor FLA	.23	.23
Indoor fan motor W	28	28

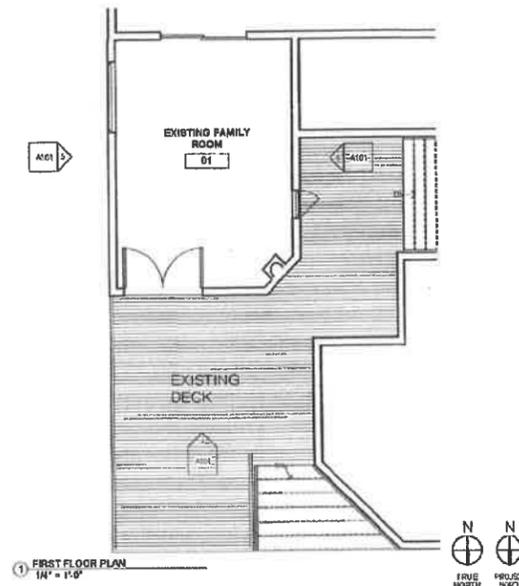
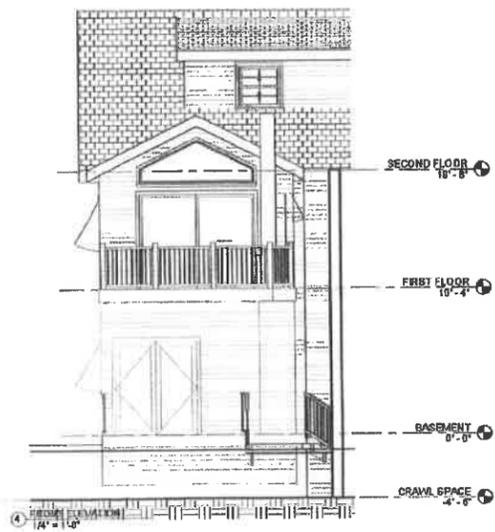
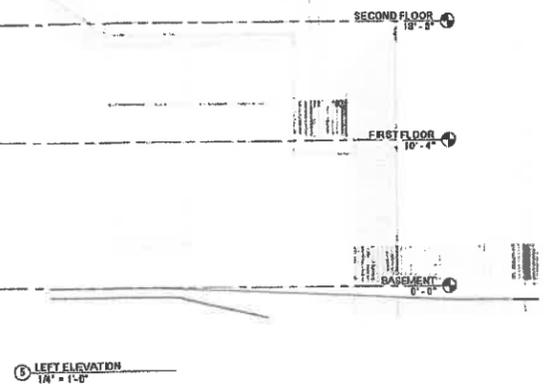
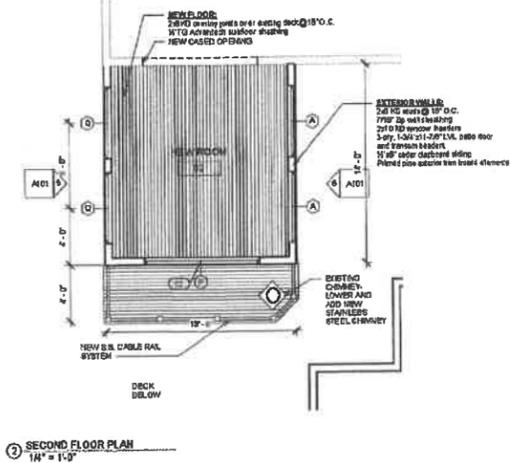
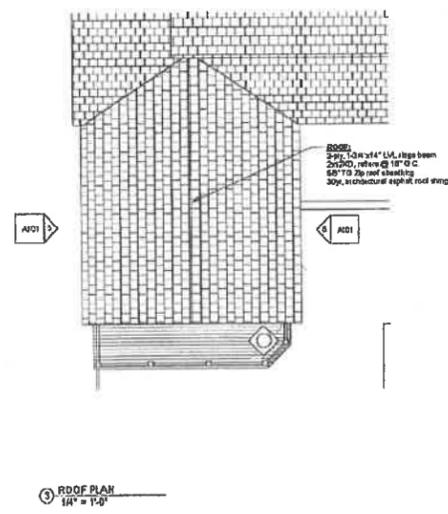
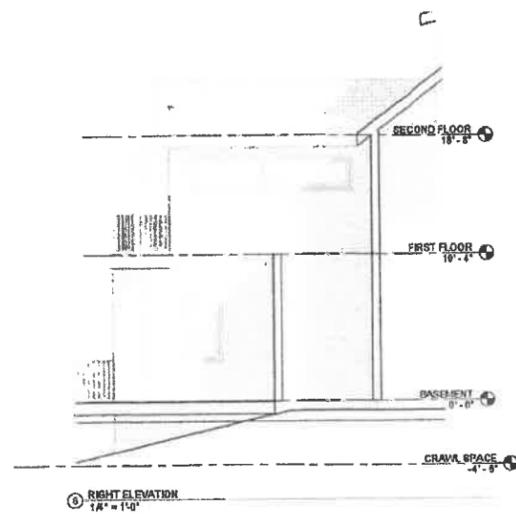
MFA: Max. fuse amps MCA: Min. circuit amps (A) FLA: Full load amps (A)
RLA: Rated load amps (A) W: Fan motor rated output (W)

Piping

Liquid (in)	1/4
Gas (in)	3/8
Drain (in)	5/8
Max. Interunit Piping Length (ft)	65.625
Max. Interunit Height Difference (ft)	49.25
Chargeless (ft)	32.8
Additional Charge of Refrigerant (oz/ft)	.21

Daikin North America LLC 5151 San Felipe, Suite 500 Houston, TX 77056

(Daikin's products are subject to continuous improvements. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations)



ISAAK DESIGN, PLLC
ARCHITECTURE &
URBAN DESIGN
(603) 968-6733
ISD@ISAAKDESIGN.COM
www.isaakdesign.com

ARCHITECT:
ISAAK DESIGN, PLLC
28 Oyster River Road
Durham, NH 03824
603-968-6733
isid@isaakdesign.com

CONSULTANT:
CONSULTANT
Address
Address
Phone
e-mail

CONSULTANT:
CONSULTANT
Address
Address
Phone
e-mail

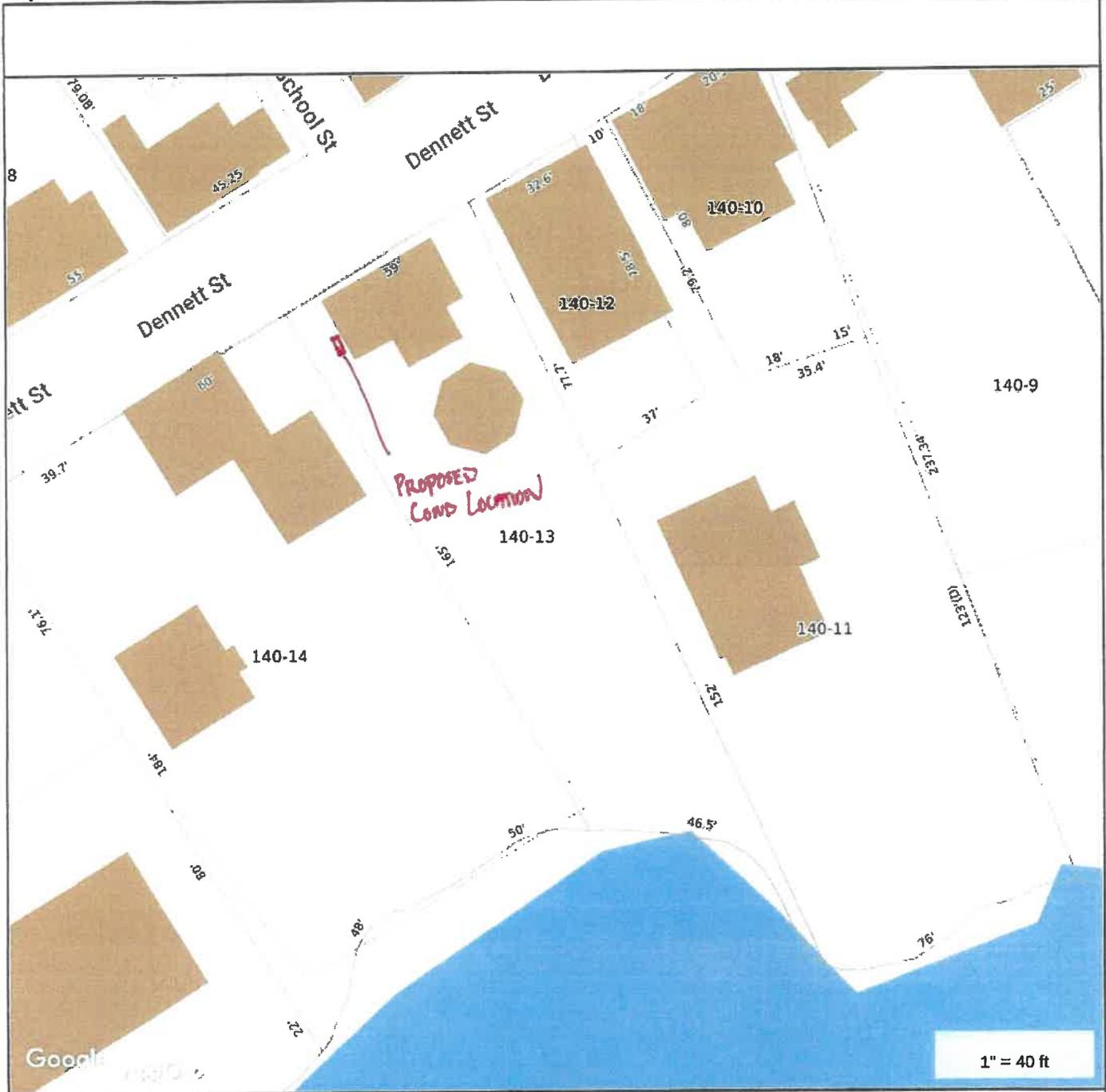
CONSULTANT:
CONSULTANT
Address
Address
Phone
e-mail

SOLE:

HOERMAN
RESIDENCE
FLOOR PLANS

Project number: 2016
Date: 10.23.20
Drawn by: NI
Checked by: NI
A101
Scale: 1/8" = 1'-0"





MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019
Data updated 7/17/2019



Description of the addition to the already approved project:

We want to add a small compressor for the minisplit in the already approved addition.

This small unit would be placed behind the house, under the existing porch next to an existing unit.

Description of views:

1. It is not visible from the back of the house as it is hidden by the existing deck.
2. It is not visible from the east (driveway) side as it is hidden by the house.
3. It is not seen on the west side in that the house next door has no windows on that side and the narrow area is brush filled.
4. It is not seen by people walking on the sidewalk or driving by on Dennett Street. If they stopped and walked to look over the fence, then they could possibly see the small unit about 75 feet away on the ground. Again, there is already a much larger unit in that location.

If you need any further info, please feel free to contact me.

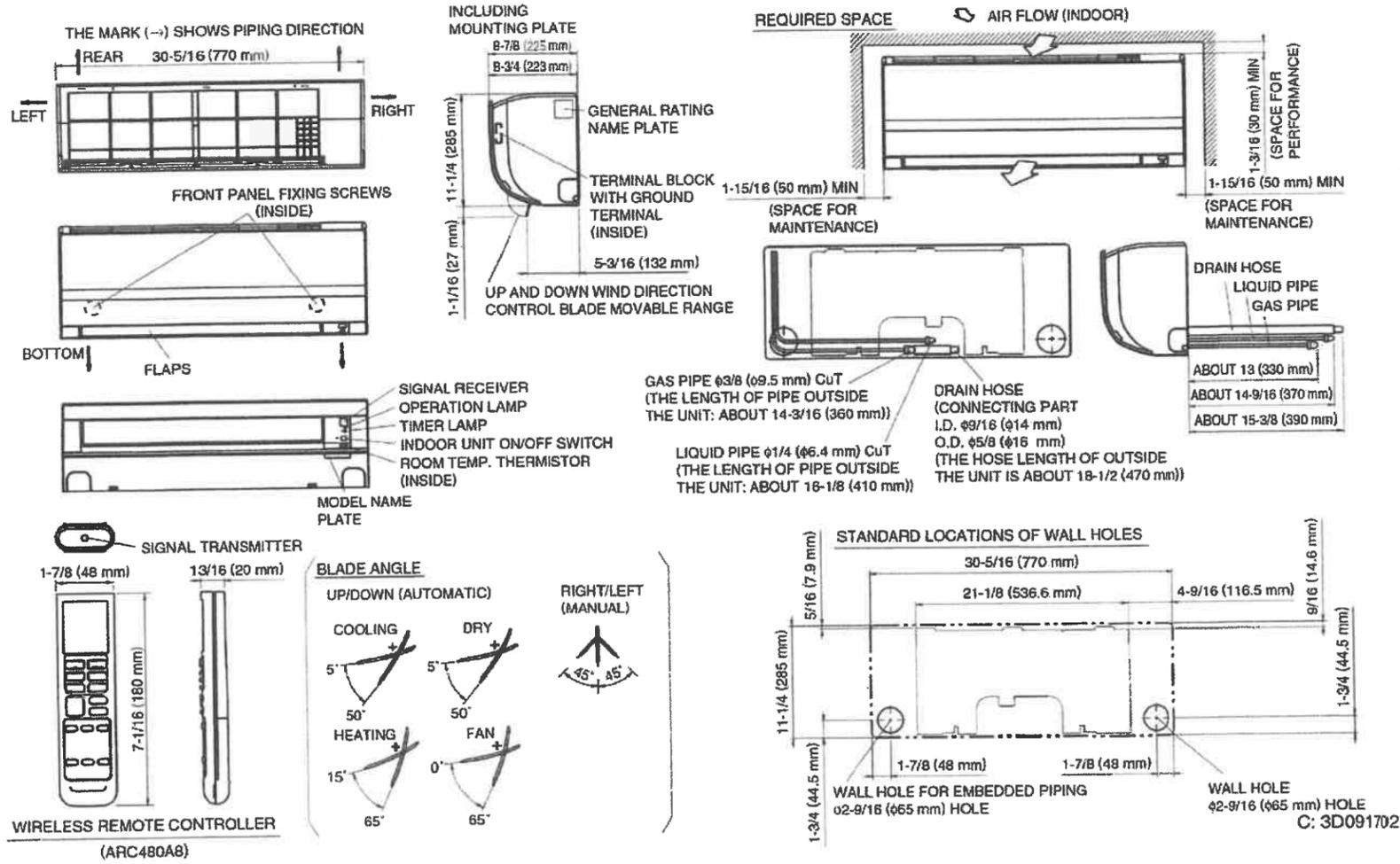
Walter Hoerman

56 Dennett Street

Portsmouth, NH 03801

603-828-2688

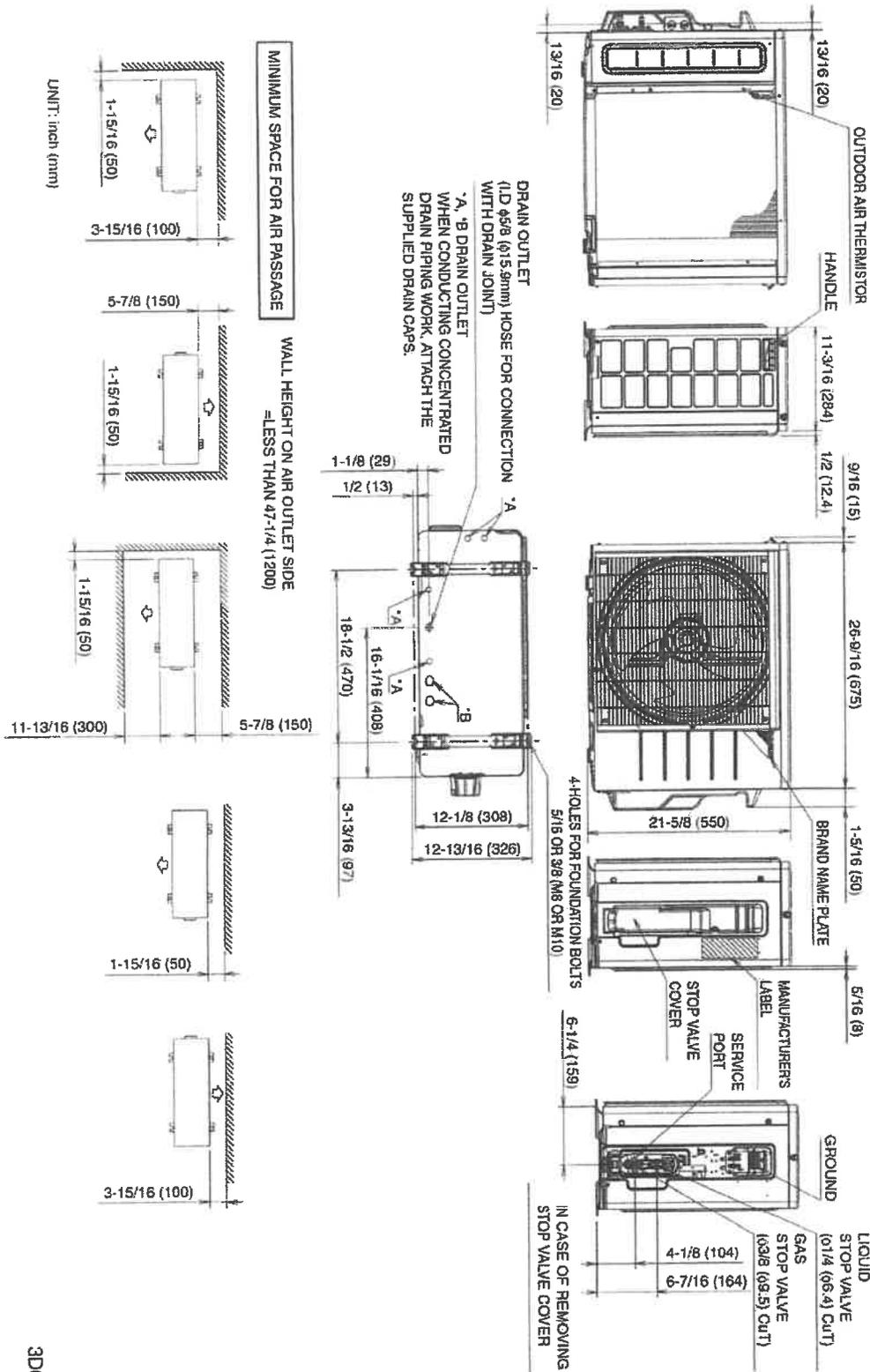
whoerman@gmail.com



Daikin North America LLC 5151 San Felipe, Suite 500 Houston, TX 77056
 (Daikin's products are subject to continuous improvements. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations)

Submission Creation Date: June 2017

RXL12QMVJU Dimensional Data



3D092206A

Daikin North America LLC 5151 San Felipe, Suite 500 Houston, TX 77056

(Daikin's products are subject to continuous improvements. Daikin reserves the right to modify product design, specifications and information in this data sheet without notice and without incurring any obligations)

Submission Creation Date: June 2017



This combination qualifies for a Federal Energy Efficiency Tax Credit when placed in service between 1/1/2015 and 12/31/2020.

Certificate of Product Ratings

AHRI Certified Reference Number : 8849458

Date : 12-24-2020

Model Status : Production Stopped

AHRI Type : HRCU-A-CB-O (Mini-Split Heat Pump, with Remote Outdoor Unit Air-Source, Free Delivery)

Outdoor Unit Brand Name : DAIKIN

Outdoor Unit Model Number : RXL12QMVJU

Indoor Type : Mini-Splits (Non-Ducted)

Indoor Model Number(s) : FTX12NMVJU

Rated as follows in accordance with the latest edition of AHRI 210/240 with Addendum 1, Performance Rating of Unitary Air-Conditioning & Air-Source Heat Pump Equipment and subject to rating accuracy by AHRI-sponsored, independent, third party testing:

Cooling Capacity (95F) : 10900

EER (95F) : 12.50

SEER : 20.00

High Heat (47F) : 13600

Low Heat (17F) : 8600

HSPF : 12.00

Sold in? : USA

†"Active" Model Status are those that an AHRI Certification Program Participant is currently producing AND selling or offering for sale; OR new models that are being marketed but are not yet being produced. "Production Stopped" Model Status are those that an AHRI Certification Program Participant is no longer producing BUT is still selling or offering for sale. Ratings that are accompanied by WAS indicate an involuntary re-rate. The new published rating is shown along with the previous (i.e. WAS) rating.

DISCLAIMER

AHRI does not endorse the product(s) listed on this Certificate and makes no representations, warranties or guarantees as to, and assumes no responsibility for, the product(s) listed on this Certificate. AHRI expressly disclaims all liability for damages of any kind arising out of the use or performance of the product(s), or the unauthorized alteration of data listed on this Certificate. Certified ratings are valid only for models and configurations listed in the directory at www.ahridirectory.org.

TERMS AND CONDITIONS

This Certificate and its contents are proprietary products of AHRI. This Certificate shall only be used for individual, personal and confidential reference purposes. The contents of this Certificate may not, in whole or in part, be reproduced; copied; disseminated; entered into a computer database; or otherwise utilized, in any form or manner or by any means, except for the user's individual, personal and confidential reference.

CERTIFICATE VERIFICATION

The information for the model cited on this certificate can be verified at www.ahridirectory.org, click on "Verify Certificate" link and enter the AHRI Certified Reference Number and the date on which the certificate was issued, which is listed above, and the Certificate No., which is listed at bottom right.

©2020 Air-Conditioning, Heating, and Refrigeration Institute



we make life better™

CERTIFICATE NO.:

132532881359293509



Table of abbreviations

Term	Description
Air Flow Rate	Air Flow Rate
Bse Refr	Standard factory refrigerant charge (16.4ft actual piping length) excluding extra refrigerant charge. For calculation of extra refrigerant charge refer to the databook
CC	Available cooling capacity
COP 47°C	COP value at nominal condition and at ambient temperature of 47°F
COP 17°C	COP value at nominal condition and at ambient temperature of 17°F
IEER	IEER value at nominal condition
Ex Refr	Extra refrigerant charge
FCU	Device model name
HC	Available heating capacity (integrated heating capacity)
HSPF	HSPF Rating
Max HC	Available heating capacity
Max SC	Available sensible cooling capacity
Max TC	Available total cooling capacity
MCA	Minimum Circuit Amps
Model	Device model name
MOP	Maximum Overcurrent Protection
Name	Logical name of the device
Piping	Largest distance from indoor unit to outdoor unit
PS	Power supply (voltage and phases)
Rq CC	Required cooling capacity
Rq HC	Required heating capacity
Rq SC	Required sensible cooling capacity
Rq TC	Required total cooling capacity
RunAmps	Running Amps
SEER	SEER Rating
Sound	Sound pressure level low and high
St curr	Starting current
Tmp C	Outdoor conditions in cooling
Tmp C	Indoor conditions in cooling
Tmp H	Indoor temperature in heating



Table of abbreviations

Term	Description
Tmp H	Outdoor conditions in heating (dry bulb temp. / RH)
WxHxD	WidthxHeightxD
Weight	Weight of the device

FW Webb Company

218 Knox Marsh Road - Dover, New Hampshire 03820
603-749-3100 - lyman@fwwebb.com

Hoerman Residence

Portsmouth, NH 03801

Sales Consultant:

Job#: 122420-JDowling

Date: 12/24/2020

Heat Pump (Average Load Procedure)

Design Conditions

Location: Portsmouth Pease International Tradeport,	Elevation: 102 ft	Daily Range: Medium
Input Data: Outdoor Dry Bulb	Indoor Dry Bulb	Latitude: 43° N
Summer: 95	72	Heated Area 189 Sq.Ft.
Winter: 5	72	Cooled Area 189 Sq.Ft.
Design Grains: 26		

Heat/Loss Summary (July Heat Load Calculations)

	Gross Area	Loss	Sensible Gain	Latent Gain
Walls	393.75	0	0	0
Windows	115.5	4375	6381	0
Doors	0	0	0	0
Ceilings	189	387	185	0
Skylights	0	0	0	0
Floors	0	0	0	0
Room Internal Loads		0	1143	400
Blower Load			0	0
Hot Water Piping Load		0	0	0
Winter Humidification Load		417	0	0
Infiltration		1417	255	178
Ventilation		0	0	0
Duct Loss/Gain EHLF=0 ESGF=0		0	0	0
AED Excursion		n/a	0	n/a
Subtotal		6596	7964	578



**Approved ACCA
MJ8 Calculations**

Total Heating	6596	Btuh	2 kw of electric heat
Total Cooling	8542	Btuh	11 Linear ft. of Hydronic Baseboard

0.8 Nominal Tons of Sensible Cooling

0.71 Nominal Tons of Total Cooling

*Calculations are based on the ACCA Manual J 8th Edition and are approved by ACCA. All computed calculations are estimates based on building use, weather data, and inputted values such as R-Values, window types, duct loss, etc. Equipment selection should meet both the latent and sensible gain as well as building heat loss.

FW Webb Company

218 Knox Marsh Road - Dover, New Hampshire 03820
603-749-3100 - lyman@fwwebb.com

Hoerman Residence

Portsmouth, NH 03801

Sales Consultant:

Job#: 122420-JDowling

Date: 12/24/2020

Equipment Selection

Design Conditions

Design Location: Portsmouth Pease

Elevation: 102 ft

Latitude: 43° N

Daily Range: Medium

Design Grains: 26

Relative Humidity: 50%

Summer Outdoor Design: 95

Winter Outdoor Design: 5

Summer Indoor Design: 72

Winter Indoor Design: 72

Heating Equipment

Mfg:

Model:

AHRI Ref #:

Efficiency (AFUE):

Altitude Correction Factor: 0

Heating Input (btuh):

Heating Output (btuh): 13600

Calculated HeatPump
Output @ Design (btuh): 13819

Cooling Equipment

Mfg: DAIKIN MANUFACTURING

Outdoor Unit Model: RXL12QMVJU

Coil: FTX12NMVJU

Furnace:

AHRI Ref #: 8849458

Altitude Correction Factor: 0

Rated Total Cooling (btuh): 10900

Sensible Cooling (btuh): 9592

Latent Cooling (btuh): 1308

SEER - EER@95: 20 - 12.5

Heat Pump HSPF: 12

Summary

MJ8 Calculations

Sensible Gain (btuh): 7964

Latent Gain (btuh): 578

Total Heat Gain (btuh): 8542

Heat Loss (btuh): 6596

Status

Sufficient

Sufficient

Sufficient

Sufficient

Equipment Capacities

Sensible Capacity (btuh): 9592

Latent Capacity (btuh): 1308

Total Capacity (btuh): 10900

Heating Capacity (btuh): 13819

FW Webb Company

218 Knox Marsh Road - Dover, New Hampshire 03820
603-749-3100 - lyman@fwwebb.com

Hoerman Residence

Portsmouth, NH 03801

Sales Consultant:

Job#: 122420-JDowling

Date: 12/24/2020

New Room (Average Load Procedure)

Design Conditions

Location:	Portsmouth Pease International Tradeport,	Elevation:	102 ft	Daily Range:	Medium	
Input Data:	Outdoor Dry Bulb	Indoor Dry Bulb	Latitude:	43° N	Design Grains:	26
Summer:	95	72	Heated Area	189 Sq.Ft.		
Winter:	5	72	Cooled Area	189 Sq.Ft.		

Heat/Loss Summary (July Heat Load Calculations)

	Gross Area	Loss	Sensible Gain	Latent Gain
Walls	393.75	0	0	0
Windows	115.5	4375	6381	0
Doors	0	0	0	0
Ceilings	189	387	185	0
Skylights	0	0	0	0
Floors	0	0	0	0
Room Internal Loads		0	1143	400
Blower Load		417	0	0
Hot Water Piping Load			0	0
Winter Humidification Load			0	0
Infiltration		1417	255	178
Ventilation		0	0	0
Duct Loss/Gain		0	0	0
AED Excursion		n/a	0	n/a
Subtotal		6596	7964	578



Approved ACCA
MJ8 Calculations

Total Heating	6596	Btuh	2 kw of electric heat
Total Cooling	8542	Btuh	11 Linear ft. of Hydronic Baseboard

0.8 Nominal Tons of Sensible Cooling

0.71 Nominal Tons of Total Cooling

*Calculations are based on the ACCA Manual J 8th Edition and are approved by ACCA. All computed calculations are estimates based on building use, weather data, and inputted values such as R-Values, window types, duct loss, etc. Equipment selection should meet both the latent and sensible gain as well as building heat loss.

FW Webb Company

218 Knox Marsh Road - Dover, New Hampshire 03820
603-749-3100 - lyman@fwwebb.com

Hoerman Residence

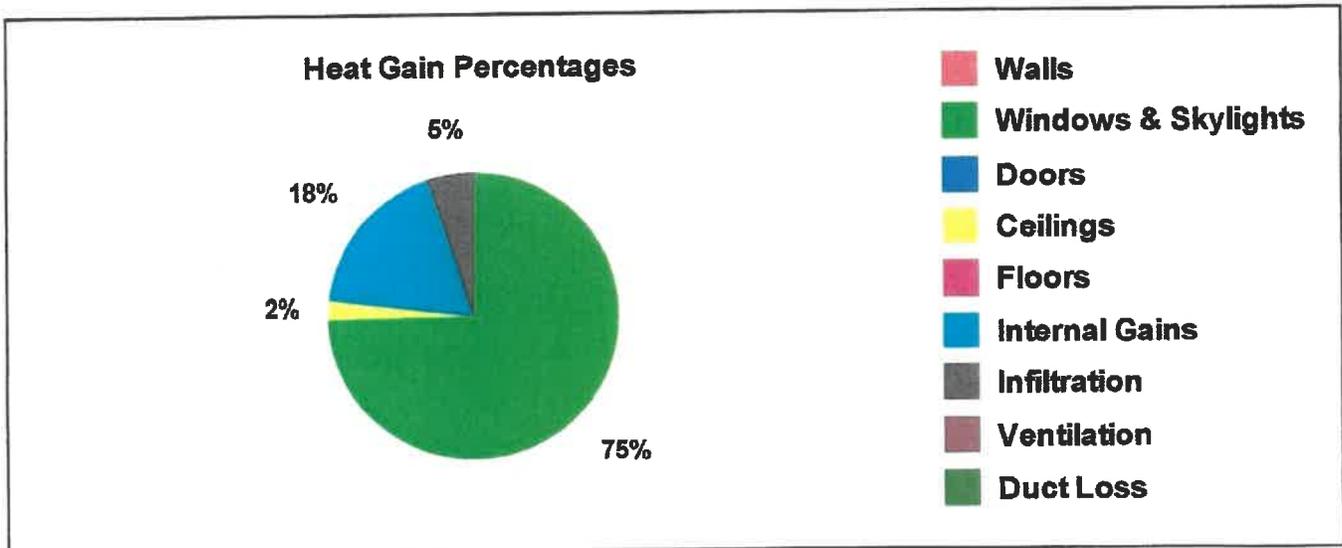
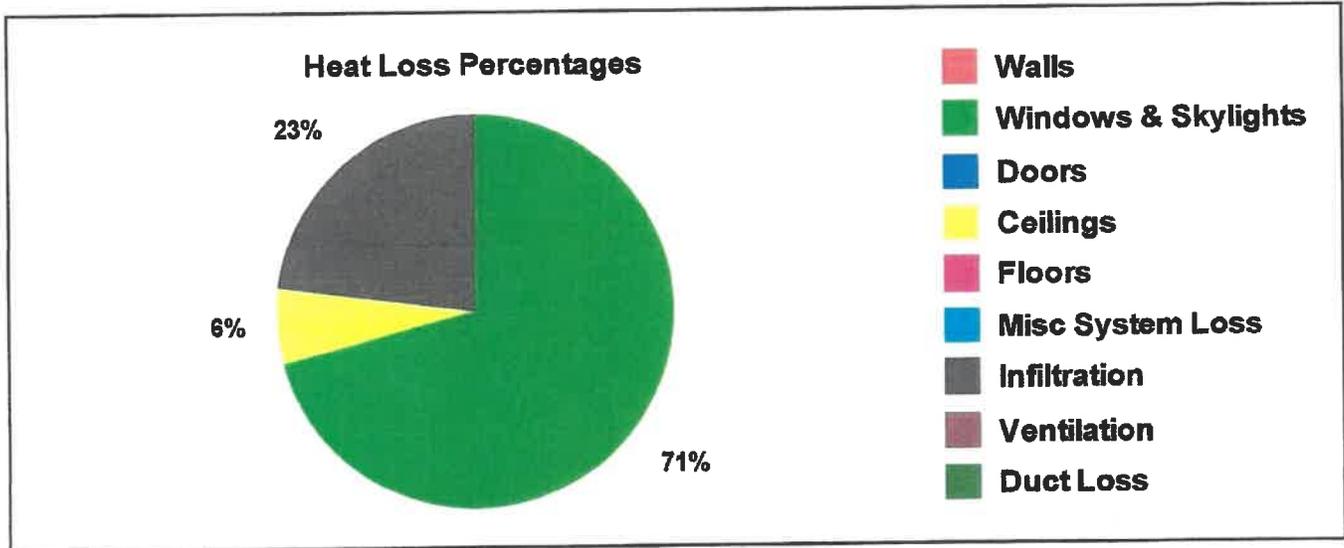
Portsmouth, NH 03801

Sales Consultant:

Job#: 122420-JDowling

Date: 12/24/2020

New Room Load Chart



FW Webb Company

218 Knox Marsh Road - Dover, New Hampshire 03820
603-749-3100 - lyman@fwwebb.com

Hoerman Residence

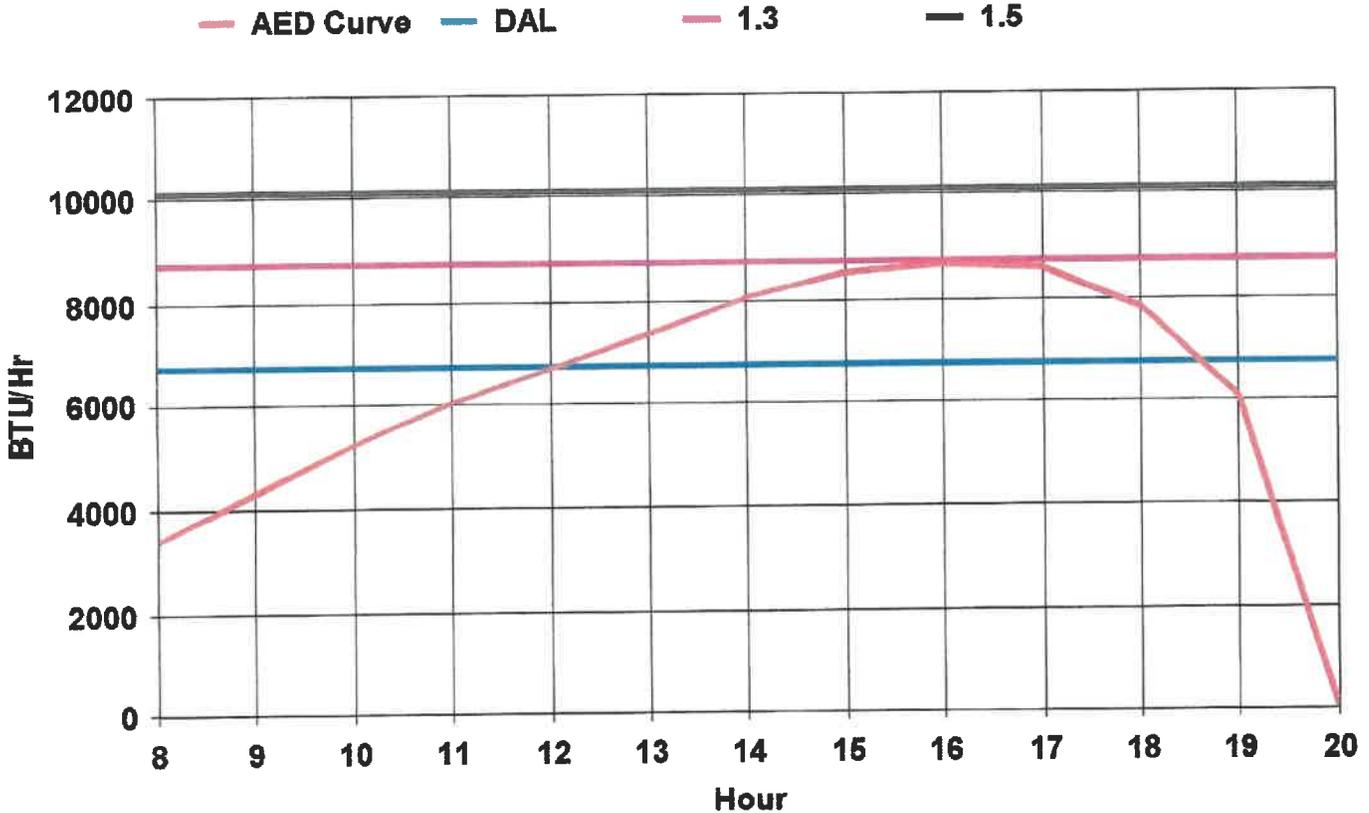
Portsmouth, NH 03801

Sales Consultant:

Job#: 122420-JDowling

Date: 12/24/2020

Heat Pump



AED Excursion: 0 btuh
AED Status: System has Adequate Exposure Diversity.
AED Flag: No AED Flag.

Hours are listed in 24-hour format: 8 is 8am, 20 is 8pm.

FW Webb Company

218 Knox Marsh Road - Dover, New Hampshire 03820
603-749-3100 - lyman@fwwebb.com

Hoerman Residence

Portsmouth, NH 03801

Sales Consultant:

Job#: 122420-JDowling

Date: 12/24/2020

Heat Pump Breakdown

Item Name	U-Value /SHGC	Net Area	Htg. HTM.	Clg. HTM	Sens. Htg.	Sens. Clg.	Lat. Clg.	Total Clg.
Construction Type								
Heat Pump					417	0	0	0
New Room					0	1143	400	1543
Ceiling	0.029	199.22	1.943	0.93	387	185	0	185
Ceiling Below Roof Joists Dark or Bold Color Asphalt Shingles NA R-38 blanket or loose fill								
West Wall								

6. 82 Court Street

- Recommended Approval

Background: The applicant is seeking approval to replace an existing failing rubber roof with new metal roofing.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



City of Portsmouth, NH

02/04/2021

LUHD-268

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jan 28, 2021

Applicant

Debi Garland
dgarland@nhlawfirm.com
70 Court Street
Portsmouth, NH 03801
603-436-4010

Location

82 COURT ST
Portsmouth, NH

Owner:

Debi Garland
82 Court St 82 COURT ST, null, Portsmouth, NH
03801-4414

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Replace Rubber Roof and install Metal Roof

Description of Proposed Work (Planning Staff)

--

Project Representatives

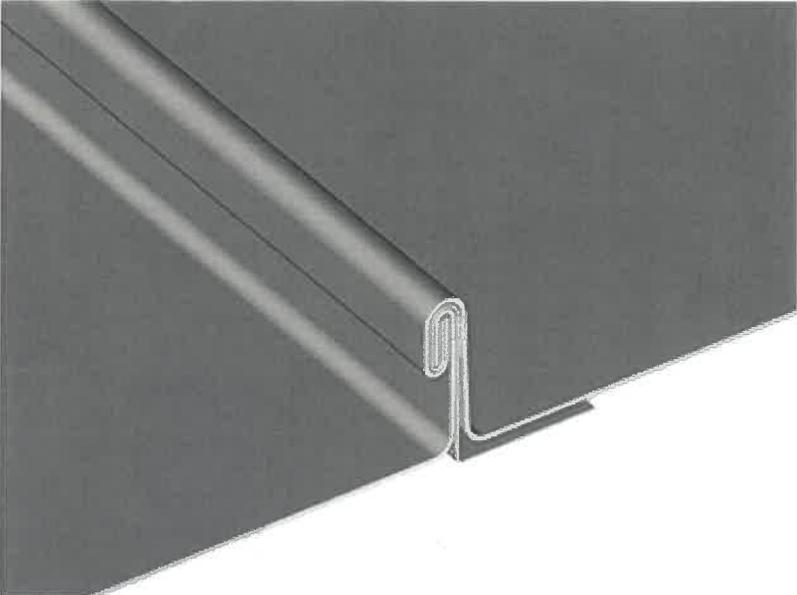
Relationship to Project

Other

If you selected "Other", please state relationship to project.

Roofing Company

Examples of Standing Seam Metal roof – 82 Court Street





Historic District Commission

Staff Report – February 3rd, 2021

February 3rd MEETING

Administrative Approvals:

- | | |
|-------------------------------------|----------------------|
| 1. 55 Congress St. (LUHD-208) | - Recommend Approval |
| 2. 45 Gardner St. (LUHD-251) | - Recommend Approval |
| 3. 381 Middle St. (LUHD-252) | - Recommend Approval |
| 4. 366 Islington St. (LUHD-253) | - Recommend Approval |
| 5. 11 Meeting House Hill (LUHD-254) | - TBD |
| 6. 105 Chapel St. (LUHD-255) | - Recommend Approval |
| 7. 37 South St. (LUHD-256) | - Recommend Approval |
| 8. 138 Maplewood Ave. (LUHD-260) | - Recommend Approval |
| 9. 379 New Castle Ave. (LUHD-261) | - Recommend Approval |
| 10. 33 Holmes Court (LUHD-262) | - Recommend Approval |
| 11. 76 South School St. (LUHD-263) | - Recommend Approval |
| 12. 75 Salter St. (LUHD-266) | - Recommend Approval |
| 13. 82 Court St. (LUHD-268) | - TBD |
| 14. 437 Marcy St. (LUHD-264) | - Recommend Approval |
| 15. 58 Manning St. (LUHD-265) | - Recommend Approval |

REQUEST FOR REHEARING:

1. 33 Jewell Court (LU-21-) (Roof Replacement)

PUBLIC HEARINGS – NEW BUSINESS:

1. 297 South Street (LU-21-1) (Window Replacement)
2. 103 Congress St. (LU-20-251) (Windows & Doors)
3. 124 Congress St. (LU-21-7) (Façade Improvements)
4. 59 Deer St. Unit 518 (LU-20-197) (Window Replacement)

February 10th MEETING

Administrative Approvals:

1. 58 South St. (LUHD-267) - TBD

2nd EXTENSION REQUEST:

1. 37 Sheafe St. (2nd Story Addition)

WORK SESSIONS – OLD BUSINESS:

- A. Prescott Park Marcy St. (LUHD-242) (Shaw House)
- B. 180 New Castle Ave. (LUHD-233) (Stairs & Chimney)
- C. 1–31 Raynes Ave. (LUHD-234) (2, 1-5 story Buildings)

WORK SESSIONS – NEW BUSINESS:

1. 449 Court St. (LUHD-235) (4th Floor Addition)
2. 500 Market St. (LUHD-236) (Trash Enclosure)
3. 53 Green St. (LUHD-257) (5 Story Mixed-Use Building)
4. 279 Marcy St. (LUHD-259) (Recessed Deck)



LOCATER MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: February 3rd & 10th, 2021

APPLICATIONS: 29

Historic District Commission

Project Address: 297 SOUTH ST. (LU-21-1)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #1

A. Property Information - General:

Existing Conditions:

- Zoning District: GRB
- Land Use: Multi-Family
- Land Area: 45,663 SF +/-
- Estimated Age of Structure: c.1850
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from South Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To replace 33 windows (Brosco) with Marvin Elevate windows.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- 297 South Street, is located along South Street and abuts the municipal parking lot for City Hall. The property is surrounded with many wood-sided historic buildings ranging from 2 to 2.5 stories in height. Most buildings have shallow front yard setbacks along the street and small private rear yards.

J. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

- Replace 33 Brosco windows (c. 1970) with SDL, Marvin Elevate Windows.
- Note that the Applicant believes the existing wood windows were installed in the 1970s.

Design Guideline Reference – See Design Guidelines FOR Windows and Doors (08).

I. Aerial Image, Street View and Zoning Map:



Proposed State Street Elevation and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

297 SOUTH STREET (LU-21-1) –PUBLIC HEARING #1 (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT - REPLACE 33 WINDOWS -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Number and Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages / Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
 PORTSMOUTH HISTORIC DISTRICT COMMISSION
 PROPERTY: 297 SOUTH STREET Case No.: 1 Date: 2-3-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

L. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 103 CONGRESS ST. (LU-20-251)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #2

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 22,907 SF +/-
- Estimated Age of Structure: c.1960
- Building Style: Modern Commercial
- Historical Significance: NC
- Public View of Proposed Work: View from Congress Street & the Vaughan Mall
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To install new folding windows to outdoor seating area.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located at the intersection of Congress Street and the Vaughan Mall. It is surrounded with many 2-4 story historic structures with not setbacks.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

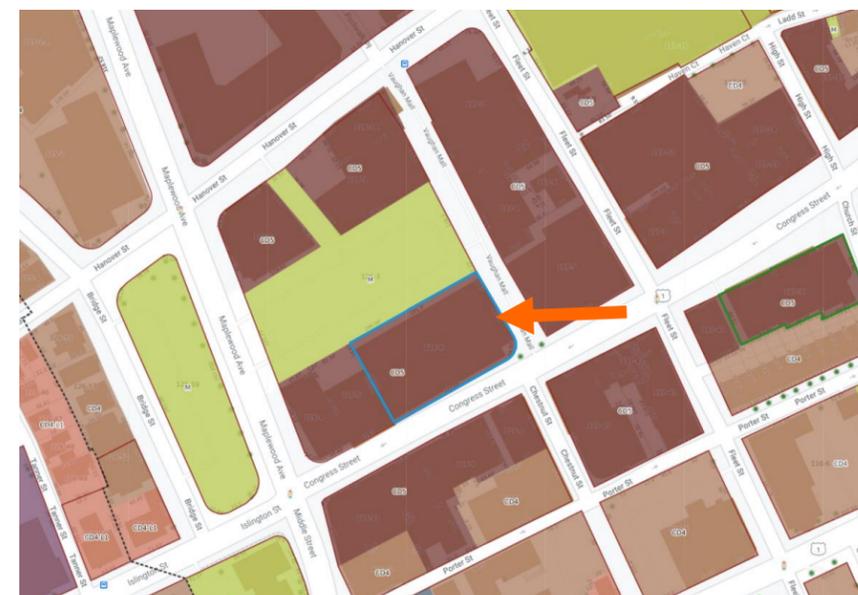
- Install folding doors along the outdoor seating area along the Vaughan Mall.
- The proposed door will be a 3-panel door.
- There will be no alterations on the size of the opening in the wall.

• **Design Guideline Reference – Guidelines for Windows and Doors (08).**

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING

NC**

103 CONGRESS STREET (LU-20-251) – PUBLIC HEARING #2 (MINOR PROJECT)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<p>MINOR PROJECT</p> <p>- Replace Windows with Doors along Outdoor Seating Area -</p>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Signage (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 103 CONGRESS STREET Case No.: 2 Date: 2-3-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 124 CONGRESS ST. (LU-21-7)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #3

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 8,242 SF +/-
- Estimated Age of Structure: c.1931
- Building Style: Modern Commercial
- Historical Significance: I (Intrusion)
- Public View of Proposed Work: View from Congress Street
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To make façade improvements to the storefront.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

L. Neighborhood Context:

- The building is located along upper Congress Street. The building is listed as intrusive on the 1984 survey but it is surrounded with many 2-4 story historic structures with not setbacks.

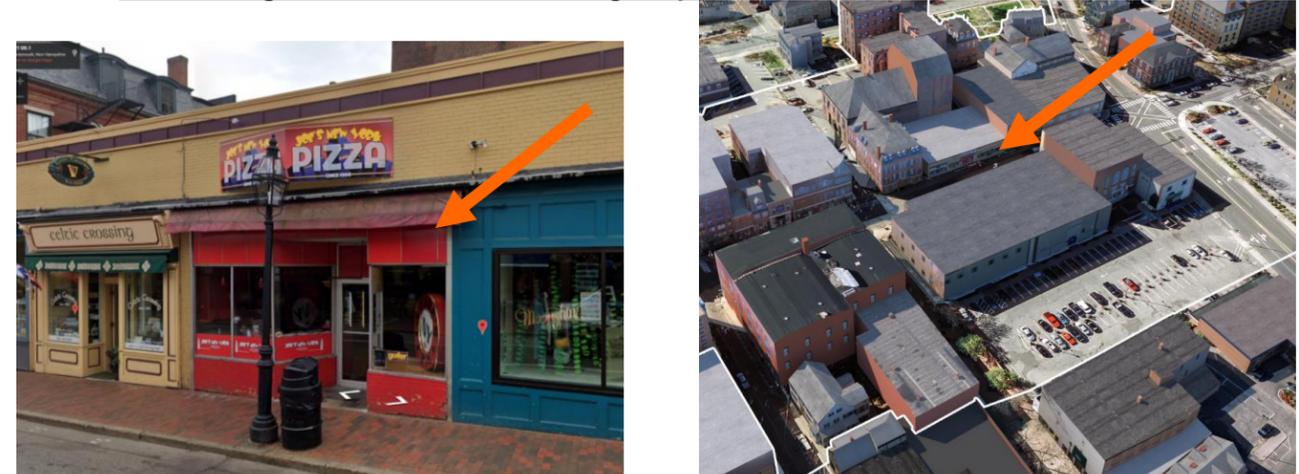
M. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

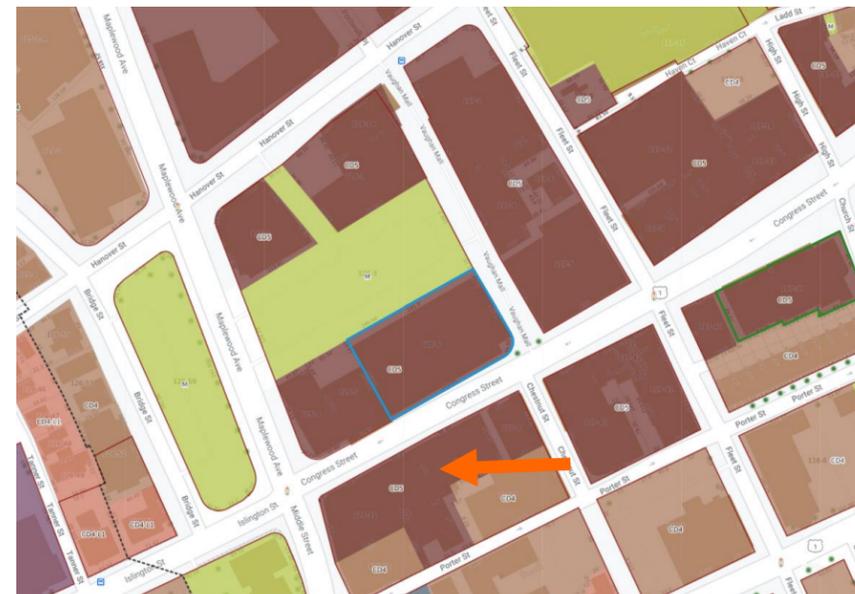
- Replace the existing faux brick storefront with a wood panel storefront.
- Replace the windows and doors.
- **Note that the applicant will be submitted additional images so this application will be heard on February 10th.**

• **Design Guideline Reference – Guidelines for Windows and Doors (08) and Commercial Developments and Storefronts (12).**

N. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

I

124 CONGRESS STREET (LU-21-7) – PUBLIC HEARING #3 (MINOR PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	No.	GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MINOR PROJECT</p> <p>- Replace Windows with Doors along Outdoor Seating Area -</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				

HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
			8	Scale (i.e. height, volume, coverage...)		
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39				
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 124 CONGRESS STREET Case No.: 3 Date: 2-3-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 59 DEER STREET (LU-20-197)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #4

A. Property Information - General:

Existing Conditions:

- Zoning District: CD5
- Land Use: Mixed-Use
- Land Area: 17,800 SF +/-
- Estimated Age of Structure: c.1985
- Building Style: Contemporary
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: No public view
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To replace 8 windows.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

J. Neighborhood Context:

- This historically-significant and contributing building is located along Deer Street. The property is surrounded with many modern and historically significant structures (located across the street on "the Hill"). The structures in this neighborhood have shallow setbacks along the street and narrow side yards.

K. Staff Comments and/ or Suggestions for Consideration:

The Applicant is proposing to:

- Replace 8 windows with the same profile and appearance.
- The proposed windows are aluminum-clad Harvey Majesty windows.

Design Guideline Reference – Guidelines for Windows and Doors (08)

J. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

59 DEER STREET (LU-20-197) – PUBLIC HEARING #4 (MINOR)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT - REPLACE 8 WINDOWS ONLY -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width (ROW) Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
	7	Building Coverage (% Building on the Lot)				
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
		8	Scale (i.e. height, volume, coverage...)			
		9	Placement (i.e. setbacks, alignment...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	11	Architectural Style (i.e. traditional – modern)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Number and Material		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages / Barns / Sheds (i.e. doors, placement...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)		<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 59 DEER STREET Case No.: 4 Date: 2-3-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- 1. Preserve the integrity of the District: Yes No
- 2. Assessment of the Historical Significance: Yes No
- 3. Conservation and enhancement of property values: Yes No
- 4. Maintain the special character of the District: Yes No
- 5. Complement and enhance the architectural and historic character: Yes No
- 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: Yes No

I. Review Criteria / Findings of Fact:

- 1. Consistent with special and defining character of surrounding properties: Yes No
- 2. Compatibility of design with surrounding properties: Yes No
- 3. Relation to historic and architectural value of existing structure: Yes No
- 4. Compatibility of innovative technologies with surrounding properties: Yes No

Historic District Commission

Project Address: 0 MARCY STREET (LUHD-242)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #A

Existing Conditions:

- Zoning District: M
- Land Use: Municipal
- Land Are: 6.9 Acres +/-
- Estimated Age of Structure: c.1790
- Building Style: Federal
- Historical Significance: C
- Public View of Proposed Work: View from Marcy Street & Prescott Park
- Unique Features: Remaining Warehouse
- Neighborhood Association: South End

B. Proposed Work: To elevate, relocate and renovate the Shaw Warehouse.

C. Other Permits Required:

- | | | |
|--|--|--|
| <input type="checkbox"/> Board of Adjustment | <input type="checkbox"/> Planning Board | <input checked="" type="checkbox"/> City Council |
| <input type="checkbox"/> Condo Association | <input type="checkbox"/> Abutting Property Owner | |

D. Lot Location:

- | | | |
|--|-----------------------------------|---|
| <input checked="" type="checkbox"/> Terminal Vista | <input type="checkbox"/> Gateway | <input checked="" type="checkbox"/> Mid-Block |
| <input type="checkbox"/> Intersection / Corner Lot | <input type="checkbox"/> Rear Lot | |

E. Existing Building to be Altered/ Demolished:

- | | | |
|---|------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Principal | <input type="checkbox"/> Accessory | <input type="checkbox"/> Demolition |
|---|------------------------------------|-------------------------------------|

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing structure is located in the heart of Prescott Park adjacent the Sheafe Warehouse. The structure is currently located within the 100 year floodplain.

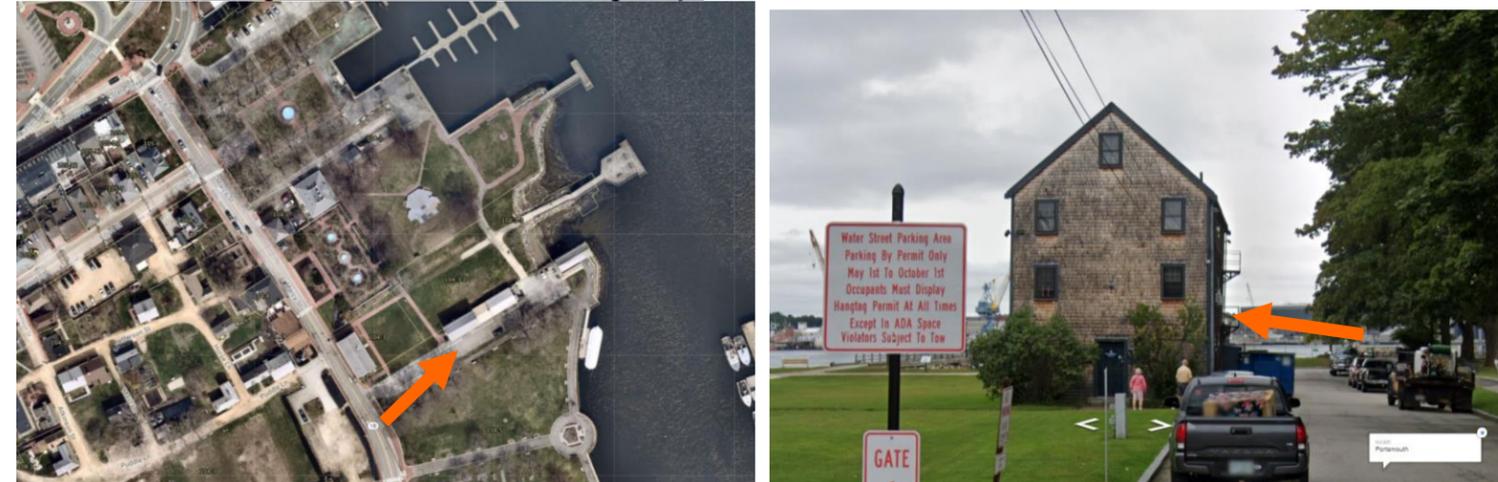
J. Staff Comments and/ or Suggestions for Consideration:

The City is proposing to:

- Elevate, relocate, and remove (demolish) the two additions located on the north side of the Shaw Warehouse.
- Note the Applicant is requesting a continuance until the April / May meeting.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Windows and Doors (08) and Site Elements and Streetscapes (09).

K. Aerial Image, Street View and Zoning Map:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

0 MARCY STREET (LUHD-242) – WORK SESSION #A (MODERATE)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
STAFF	No.			(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
		GENERAL BUILDING INFORMATION		MODERATE PROJECT					
	1	Gross Floor Area (SF)		– Elevate, Relocate, and Renovate the Shaw Warehouse (c. 1790) –					
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	12	Roofs				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and Windows				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Awnings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	Mechanicals (i.e. HVAC, generators)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33	Decks				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34	Garages/ Barns / Sheds (i.e. doors, placement...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36	Grading (i.e. ground floor height, street edge...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37	Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38	Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
40	Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate				

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 0 MARCY STREET Case No.: A Date: 2-10-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

I. Review Criteria / Findings of Fact:

- | | | |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

Historic District Commission

Project Address: 180 NEW CASTLE AVE. (LUHD-233)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #B

A. Property Information - General:

Existing Conditions:

- Zoning District: SRB
- Land Use: Single-Family
- Land Area: 9,583 SF +/-
- Estimated Age of Structure: c.1895
- Building Style: Greek Revival
- Historical Significance: C
- Public View of Proposed Work: View from New Castle Ave. & Humphrey Ct.
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: Construct a rear addition with deck and replace siding, windows & roof.

C. Other Permits Required:

- Board of Adjustment
- Planning Board
- City Council
- Condo Association
- Abutting Property Owner

D. Lot Location:

- Terminal Vista
- Gateway
- Mid-Block
- Intersection / Corner Lot
- Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal
- Accessory
- Demolition

F. Sensitivity of Context:

- Highly Sensitive
- Sensitive
- Low Sensitivity
- "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

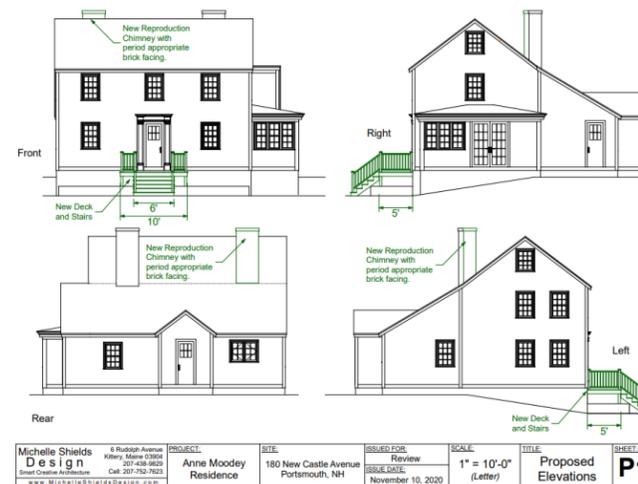
- The building is located along the intersection of New Castle Ave. and Ball Street. It is surrounded with many 2 to 2.5 story wood-sided structures with shallow front yard setbacks narrow side yards and deeper rear yards.

J. Background & Suggested Action:

- The applicant is proposing to:
- Replace the deck and stairs along New Castle Ave.
 - Replace the existing chimney with a faux brick veneer chimney.

Design Guideline Reference – Guidelines for Masonry and Stucco (07) and Porches, Stoops and Decks (06).

K. Aerial Image, Street View and Zoning Map:



Elevations & Streetview Image



Zoning Map

HISTORIC SURVEY RATING

C

180 NEW CASTLE AVE. (LUHD-233) – WORK SESSION #B (MODERATE PROJECT)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
STAFF		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)		<p>MODERATE PROJECT – Replace Chimney and Decks and Stairs –</p>				
	2	Floor Area Ratio (GFA/ Lot Area)						
	3	Building Height / Street-Width Ratio						
	4	Building Height – Zoning (Feet)						
	5	Building Height – Street Wall / Cornice (Feet)						
	6	Number of Stories						
	7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls / Screenwalls (i.e. materials, type...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39		Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 180 New Castle Ave Case No.: B Date: 2-10-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 1 & 31 RAYNES AVE. (LUHD-234)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #C

Existing Conditions:

- Zoning District: CD4
- Land Use: Vacant / Gym
- Land Area: 2.4 Acres +/-
- Estimated Age of Structure: c.1960s
- Building Style: Contemporary
- Historical Significance: NA
- Public View of Proposed Work: View from Maplewood and Raynes Ave.
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To construct a 4-5 story mixed-use building(s).

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along Maplewood Ave. and Raynes Ave. along the North Mill Pond. It is surrounded with many 2-2.5 story wood-sided historic structures along Maplewood Ave. and newer infill commercial structures along Vaughan St. and Raynes Ave.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Demolish the existing buildings.
- Add two multi-story buildings with a hotel, ground floor commercial uses and upper story residential apartments.
- The project also includes a public greenway connection behind the proposed structures along the North Mill Pond.
- **NOTE – the Applicant has requested a continuance of this application until the March Meeting.**

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Aerial Image, Street View and Zoning Map:



3D Massing Model Image and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

1 & 31 RAYENES AVE. & 203 MAPLEWOOD AVE. (LUHD-234) – WORK SESSION #C (MAJOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT - Construct two 4-5 Story Mixed-Use Buildings -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casings/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 1 & 31 Raynes Ave. Case No.: C Date: 2-10-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 449 COURT STREET (LUHD-235)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #1

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Multi-Family
- Land Area: 2,613 SF +/-
- Estimated Age of Structure: c. 1996
- Building Style: Traditional
- Historical Significance: NA
- Public View of Proposed Work: View from Court Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: Add a 4th Floor Addition and roof deck along Court Street.

C. Other Permits Required:

- | | | |
|--|--|---------------------------------------|
| <input type="checkbox"/> Board of Adjustment | <input type="checkbox"/> Planning Board | <input type="checkbox"/> City Council |
| <input type="checkbox"/> Condo Association | <input type="checkbox"/> Abutting Property Owner | |

D. Lot Location:

- | | | |
|--|-----------------------------------|---|
| <input type="checkbox"/> Terminal Vista | <input type="checkbox"/> Gateway | <input checked="" type="checkbox"/> Mid-Block |
| <input type="checkbox"/> Intersection / Corner Lot | <input type="checkbox"/> Rear Lot | |

E. Existing Building to be Altered/ Demolished:

- | | | |
|---|------------------------------------|-------------------------------------|
| <input checked="" type="checkbox"/> Principal | <input type="checkbox"/> Accessory | <input type="checkbox"/> Demolition |
|---|------------------------------------|-------------------------------------|

F. Sensitivity of Context:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Highly Sensitive | <input checked="" type="checkbox"/> Sensitive | <input type="checkbox"/> Low Sensitivity | <input type="checkbox"/> "Back-of-House" |
|---|---|--|--|

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The buildings are located along lower Court Street. It's surrounded with many wood- and brick-sided structures with no setbacks and shallow sideyards. This structure also abuts Strawberry Banke.

J. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Change the roof design by adding a 4th floor addition and roof deck.
- The addition is generally proposed to be located along the northern property line abutting a taller structure with a common wall containing no openings.

• **Design Guideline Reference: Guidelines for Roofing (04), Exterior Woodwork (05), Porches, Steps and Decks (06) and Small Scale New Construction and Additions (10).**

K. Aerial Image, Street View and Zoning Map:



Rear Decks and Aerial View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

NA

449 COURT STREET (LUHD-235) – WORK SESSION #1 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MINOR PROJECT - Add 4th Floor Addition and Roof Deck -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 442 COURT STREET Case No.: 1 Date: 2-10-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 500 MARKET STREET (LUHD-236)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #2

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Mixed-Use
- Land Area: 102,680 SF +/-
- Estimated Age of Structure: c. 1982
- Building Style: Classical Revival
- Historical Significance: C
- Public View of Proposed Work: View from Market Street
- Unique Features: NA
- Neighborhood Association: Nobles Island

B. Proposed Work: Replace trash enclosure.

C. Other Permits Required:

- Board of Adjustment
- Planning Board
- City Council
- Condo Association
- Abutting Property Owner

D. Lot Location:

- Terminal Vista
- Gateway
- Mid-Block
- Intersection / Corner Lot
- Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal
- Accessory
- Demolition

F. Sensitivity of Context:

- Highly Sensitive
- Sensitive
- Low Sensitivity
- "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alternations, additions or expansions)

L. Neighborhood Context:

- The buildings are located along Market Street along the North Mill Pond. It's surrounded with many brick 2.5 story structures with shallow setbacks and an internal parking lot area.

M. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Replace the brick dumpster enclosure with wooden fencing.
- **Note the applicant has been requested to submit additional images of the existing and proposed conditions.**

Design Guideline Reference: Guidelines for Site Elements and Streetscapes (09)

N. Aerial Image, Street View and Zoning Map:



Rear Decks and Aerial View Image



Zoning Map

HISTORIC SURVEY RATING
C

500 MARKET STREET (LUHD-236) – WORK SESSION #2 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT – Replace Trash Enclosure –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 500 MARKET STREET Case No.: 2 Date: 2-10-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: **53 GREEN STREET (LUHD-257)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **WORK SESSION #3**

A. Property Information - General:

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 78,843 SF +/-
- Estimated Age of Structure: c.1920/1970
- Building Style: Industrial
- Number of Stories: 2.0
- Historical Significance: Non-Contributing
- Public View of Proposed Work: View from Market and Green Streets
- Unique Features: NA
- Neighborhood Association: North End

B. Proposed Work: To add a new 5-Story Mixed-Use Apartment Building

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Neighborhood Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This non-contributing structure is located along Green Street and is surrounded with many other brick or metal-clad buildings between 1-5 stories in height. Much of the North End was cleared during Urban Renewal period in the 1960s but the buildings on this site were outside the limit of clearing. It also appears that the proposed building location is not within historically-filled tidelands. The abutting 233 Vaughan Street building and the AC Hotel were recently completed and the AC Hotel project includes a community space requirement for public access to and along the waterfront. Such improvements are still be implemented by the developer.

J. Staff Comments and Suggestions for Consideration:

- The proposed massing and scale is significant for the size of the site but it is generally consistent with the abutting AC Hotel and the underlying zoning requirements in the CD4 Character District.
- The proposed building is 3-5 Stories in height which requires community space to be provided in exchange for the added height.
- The existing buildings will be demolished as part of the project.

Design Guideline Reference – Guidelines for Commercial Developments and Storefronts (12).

K. Proposed Design, Street View and Aerial View:



Proposed Design and Street View Image of Existing Conditions



Aerial View

**HISTORIC
SURVEY
RATING**

NC

53 GREEN STREET (LUHD-257) – WORK SESSION #3 (MAJOR)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
STAFF	No	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)		<div style="text-align: center;"> <h3>MAJOR PROJECT</h3> <p>– Remove Structures & Construct a 5-Story, Mixed-Use Building –</p> </div>			
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
	7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	BUILDING DESIGN & MATERIALS	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 53 GREEN STREET Case No.:3 Date:2-10-21

Decision: Approved Approved with Stipulations Denied
 Continued Postponed With Draw



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 279 MARCY ST. (LUHD-259)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #4

Existing Conditions:

- Zoning District: GRB
- Land Use: Single Family
- Land Area: 5,660 SF +/-
- Estimated Age of Structure: c.1875
- Building Style: Greek Revival
- Historical Significance: C
- Public View of Proposed Work: View from Marcy St. & Meeting House Hill Rd.
- Unique Features: Non-Contributing
- Neighborhood Association: South End

B. Proposed Work: To add a recessed roof dormer.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

L. Neighborhood Context:

- The building is located near the Meeting House along Marcy Street in the heart of the South End. It is surrounded with many 2-3 story wood-sided historic structures with no front yard setback and small rear yards and garden areas.

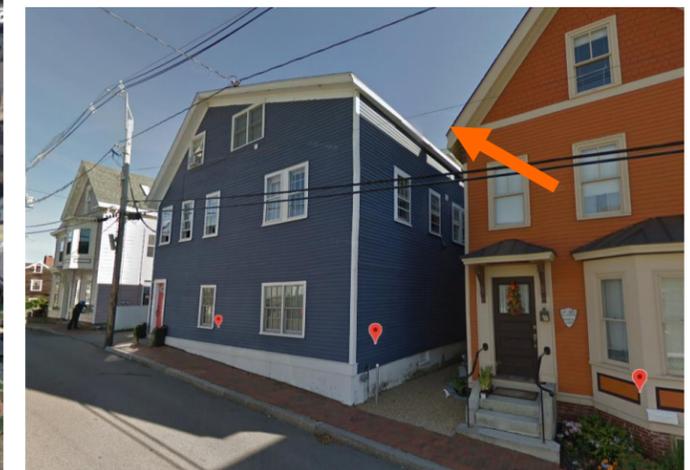
M. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Add a recessed roof deck within the southern roof structure.
- **Note that the Applicant has been requested to submit more detailed images and drawings showing how the proposed recessed deck and dormer will be placed into the existing structure.**

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Porches, Steps and Decks (06), Windows and Doors (08,) and Small Scale New Construction and Additions (10).

N. Aerial Image, Street View and Zoning Map:



Proposed Alterations and Existing Conditions



Zoning Map

**HISTORIC
SURVEY
RATING**

NC

279 MARCY ST. (LUHD-259) – WORK SESSION #4 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MINOR PROJECT - Construct a Recessed Roof Dormer and Deck -</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 279 MARCY ST. Case No.: 4 Date: 2-10-21
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

37 Sheafe Street

2nd 1-Year Extension Request

Izak Gilbo

From: Frank Heitker <fheitker@gmail.com>
Sent: Wednesday, December 23, 2020 12:59 PM
To: Izak Gilbo
Cc: Nicholas J. Cracknell; Joe Terravecchia; Susan Durling
Subject: HDC Approval Extension Request-37 Sheafe St.

Follow Up Flag: Follow up
Flag Status: Completed

Izak,

Please accept this email to request an extension of the HDC approval for the renovation project at 37 Sheafe St. in downtown Portsmouth. The original approval is dated 1/2/2019.

Terravecchia Building & Restoration has been working with me on this project, but we weren't able to get it completed in 2020 due to scheduling challenges and delays from COVID-19.

We have completed the design and some interior work but have not started the exterior work yet. We hope to start the exterior demolition of the back wall and reconstruction in the Spring and have it completed by the Fall of 2021.

If you need any additional information, please do not hesitate to contact me. Thank you!

Frank G. Heitker

(513)258-3731

103 Congress Street

LU-20-251

**This petition was continued at the
February 03, 2021 meeting.**



City of Portsmouth, NH

02/05/2021

LU-20-251

Land Use Application

Status: Active

Date Created: Dec 23, 2020

Applicant

DAVID TAKIS
david@thedistrictnh.com
103 CONGRESS ST
PORTSMOUTH, NH 03801
603-501-0586

Location

103 CONGRESS ST
Portsmouth, NH

Owner:

OAL PROPERTIES LLC
579 SAGAMORE AV #104, null, PORTSMOUTH,
NH 03801

Applicant Information

Please indicate your relationship to this project

E. Tenant or Leasee of the Property

Alternative Project Address

Alternative Project Address

--

Project Type

Addition or Renovation: any project (commercial or residential) that includes an ADDITION to an existing structure or a NEW structure on a property that already has structure(s) on it

New Construction: any project (commercial or residential) that involves adding a NEW structure on a parcel that is currently VACANT. If there are any existing structures on the property (even if you are planning to remove them), you should select Addition and Renovation above

103 CONGRESS



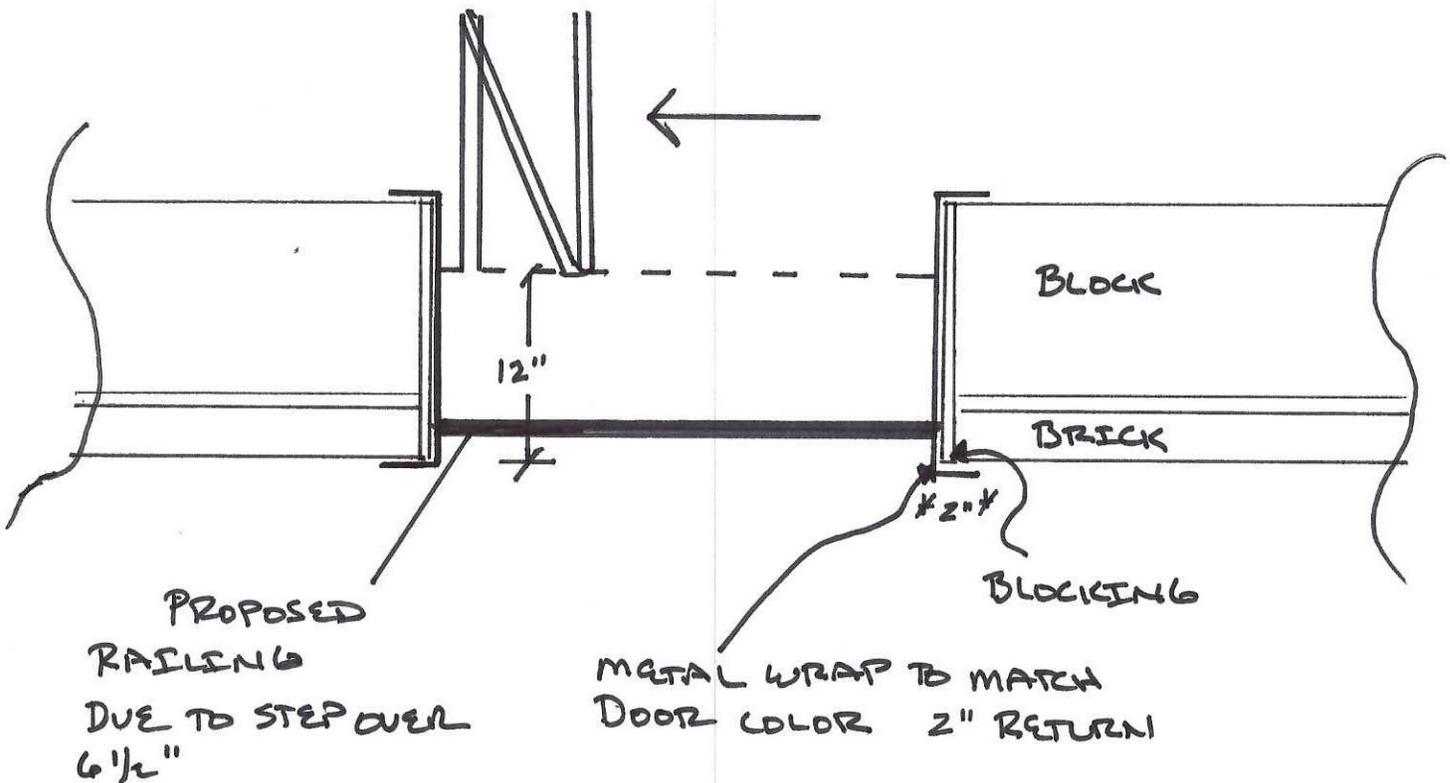
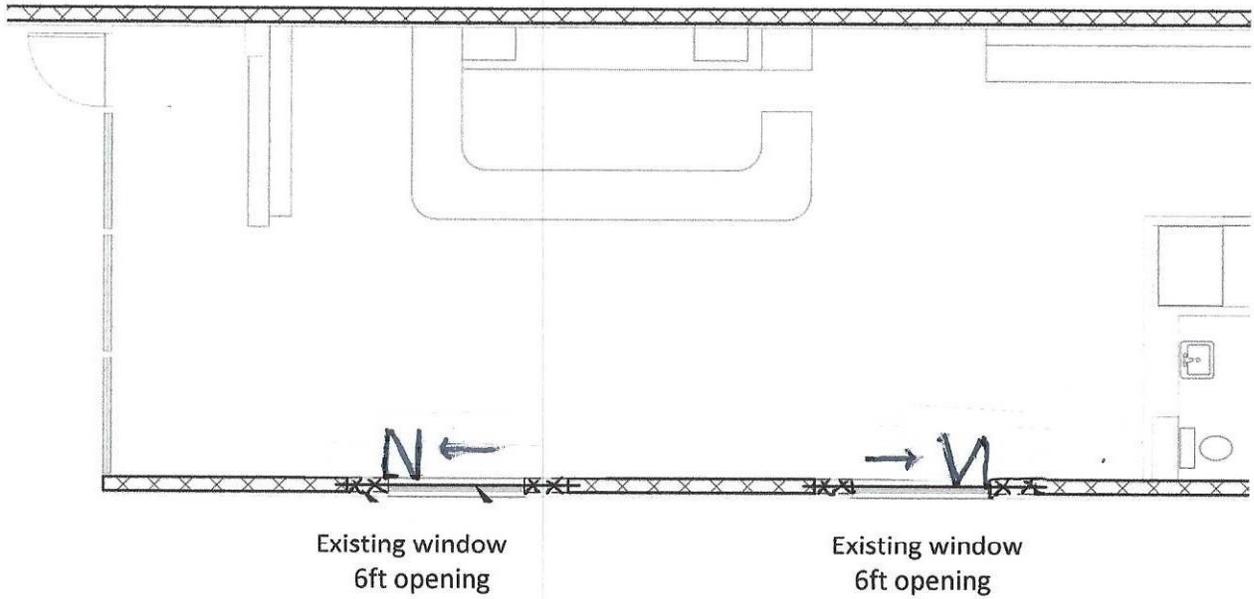
103 CONGRESS



103 CONGRESS

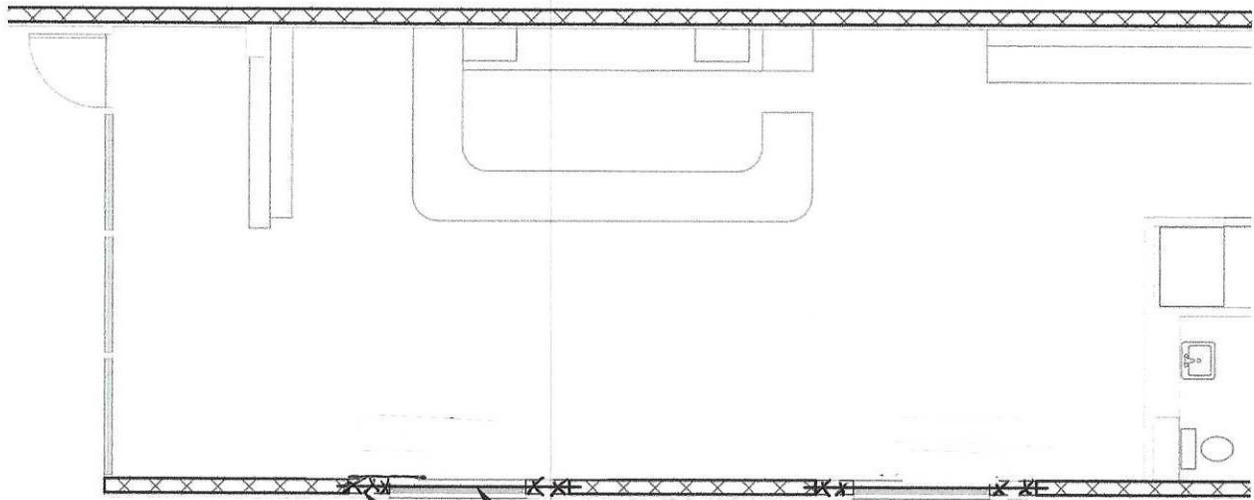


District Restaurant proposed stackable door system
103 Congress



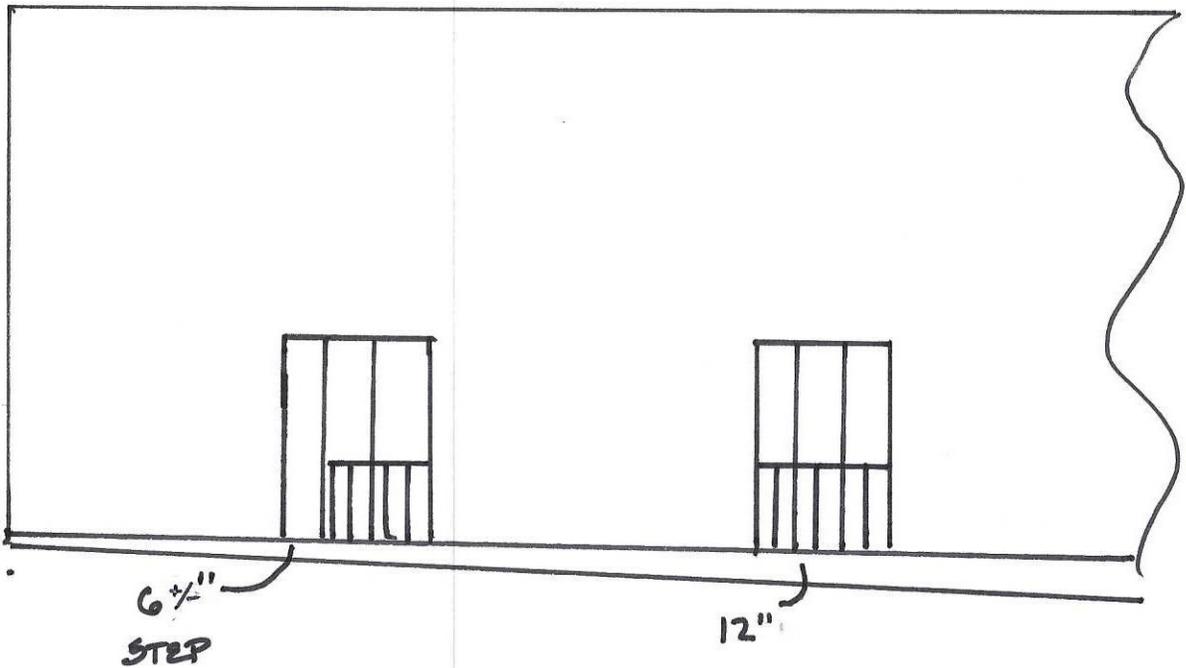
NOT TO SCALE

District Restaurant proposed stackable door system
103 Congress



Existing window
6ft opening

Existing window
6ft opening



OPENINGS CUT DOWN TO EXISTING FLOOR ELEVATION
CONCRETE STEP TO MATCH EXISTING POLISHED FLOOR

(NOT TO SCALE)

IRON RAIL SYSTEM FOR SAFETY



180 New Castle Avenue

LUHD-233

Second Work Session



City of Portsmouth, NH

02/05/2021

LUHD-233

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Nov 13, 2020

Applicant

Anne Moodey
amoodey1@gmail.com
180 New Castle Ave
Portsmouth, NH 03801
603-361-7031

Location

180 NEW CASTLE AVE
Portsmouth, NH

Owner:

MOODEY ANNE FRENCH
180 NEW CASTLE AVE, null, PORTSMOUTH, NH
03801

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Expand existing front deck. Demo and replace one chimney with period appropriate bricks.

Description of Proposed Work (Planning Staff)

exterior renovations to an existing structure (expand front deck and rebuild (1) chimney)

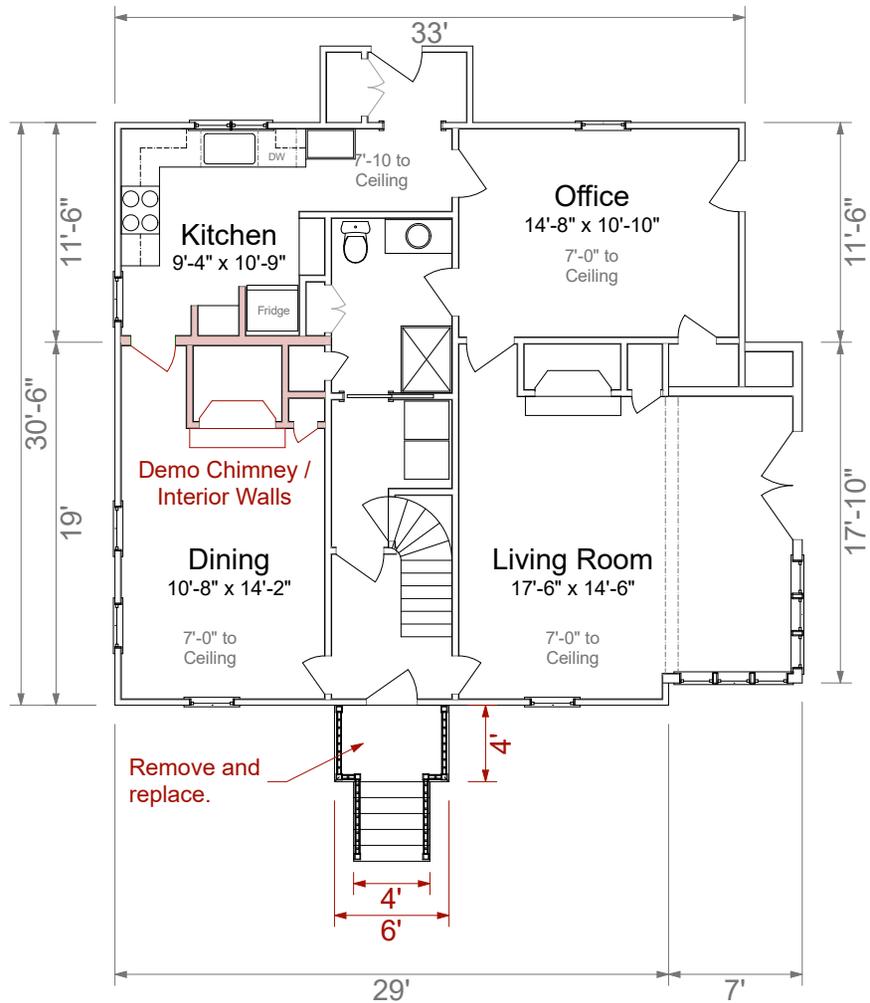
Project Representatives

Relationship to Project

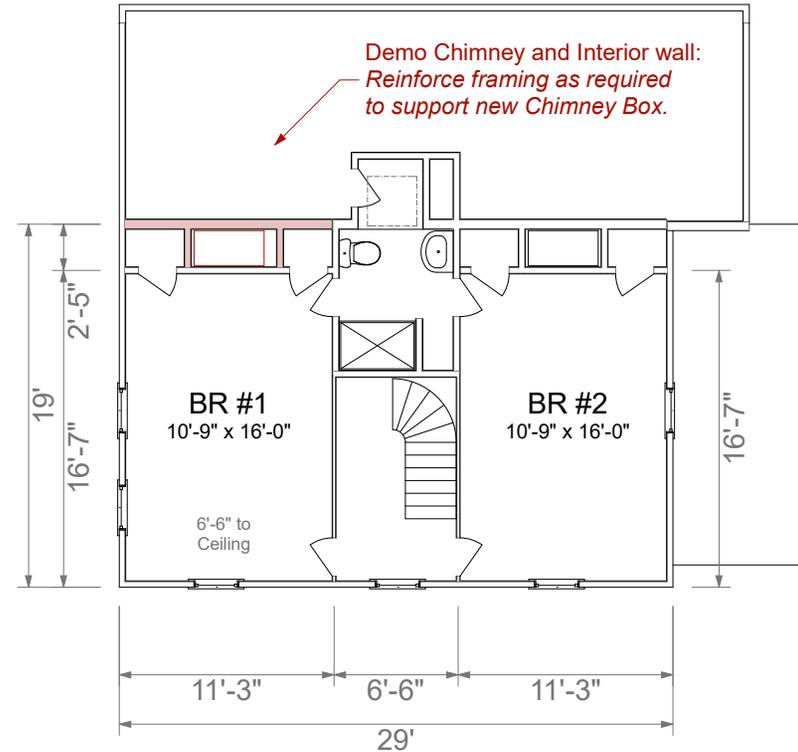
--

If you selected "Other", please state relationship to project.

--

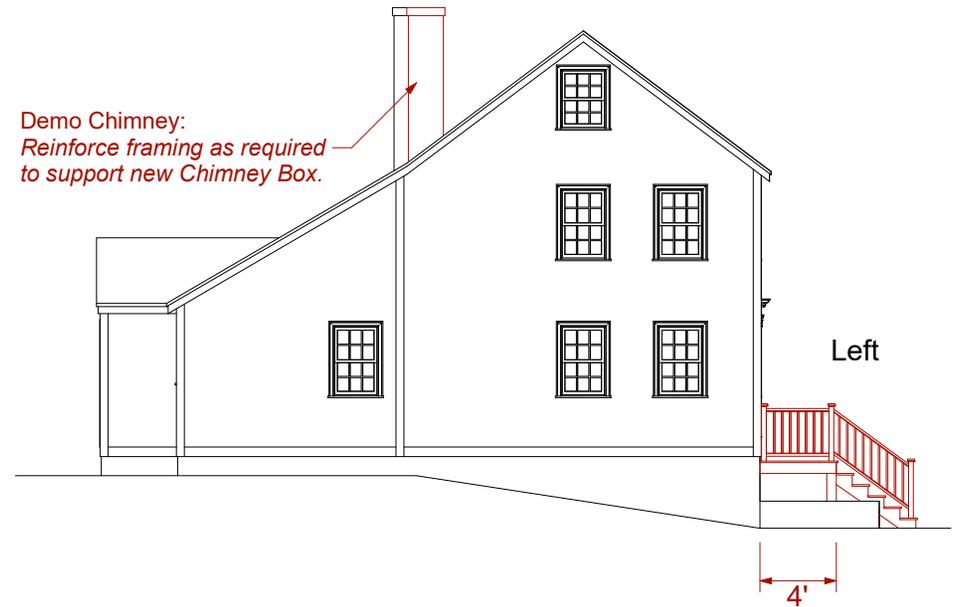
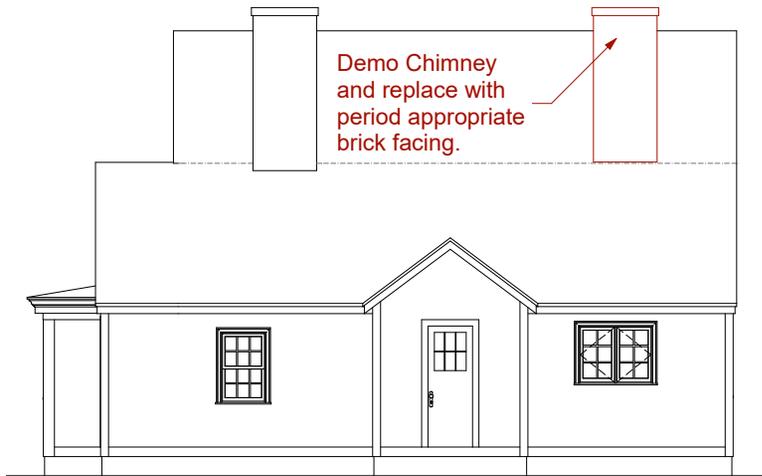
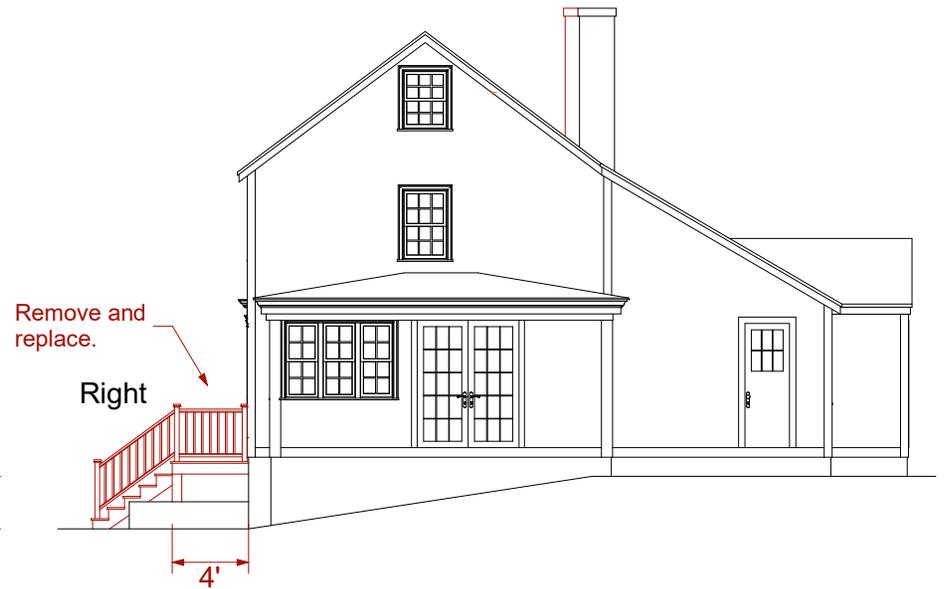
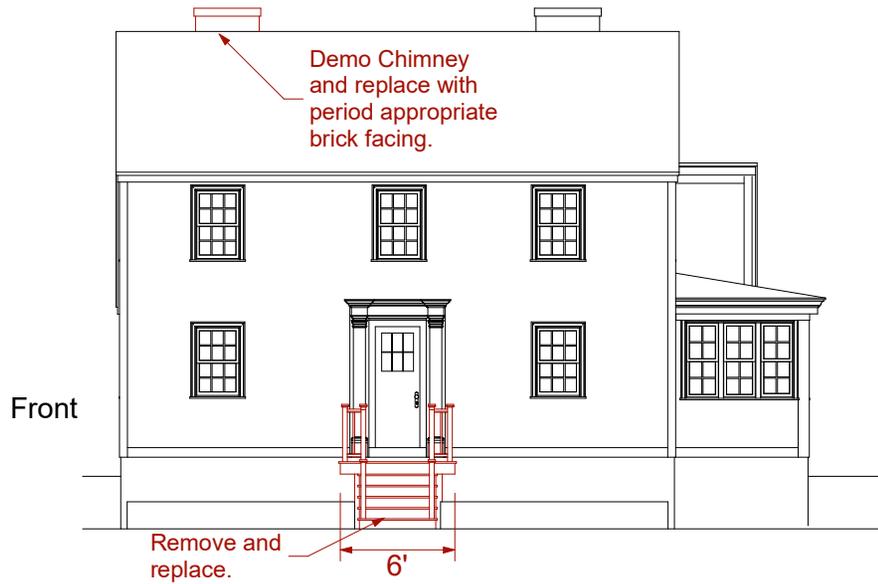


Existing
First Floor Plan
(1080 s.f. +/-)



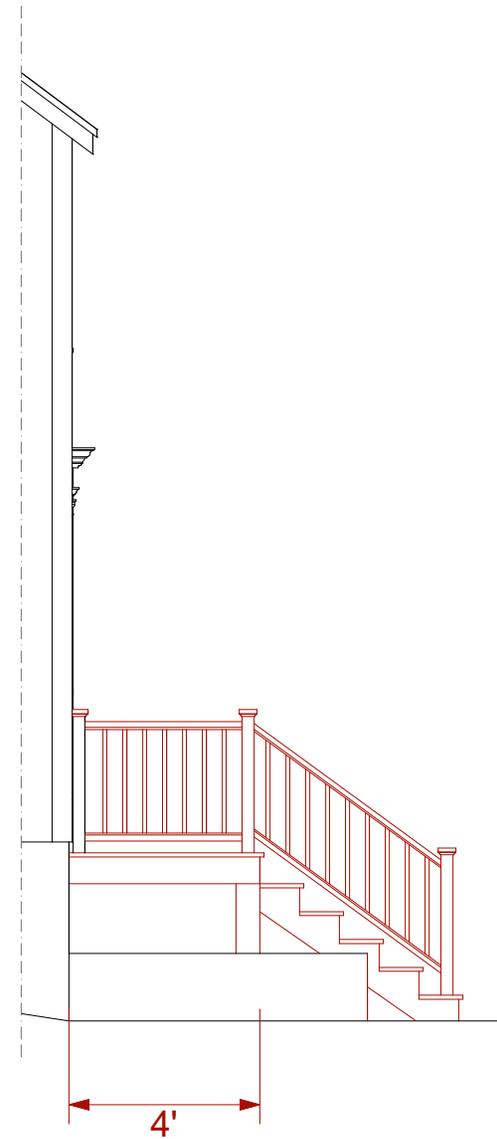
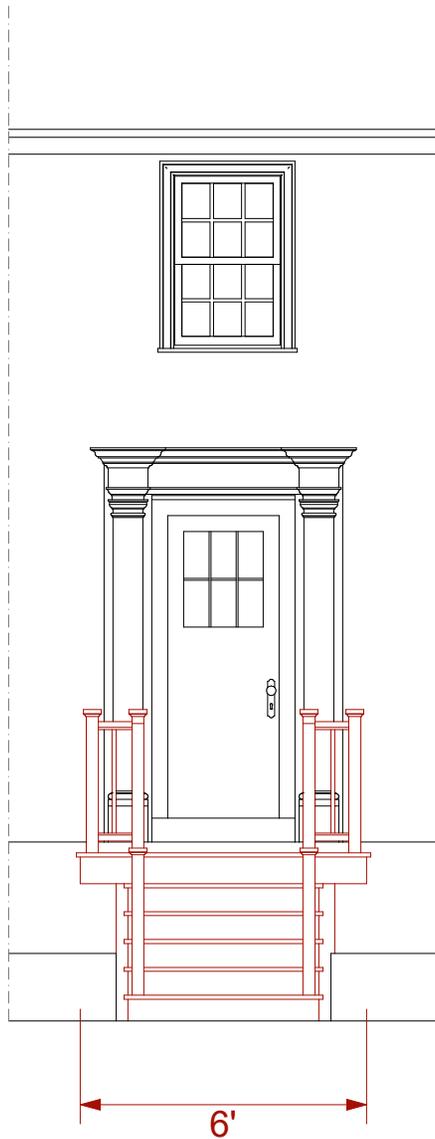
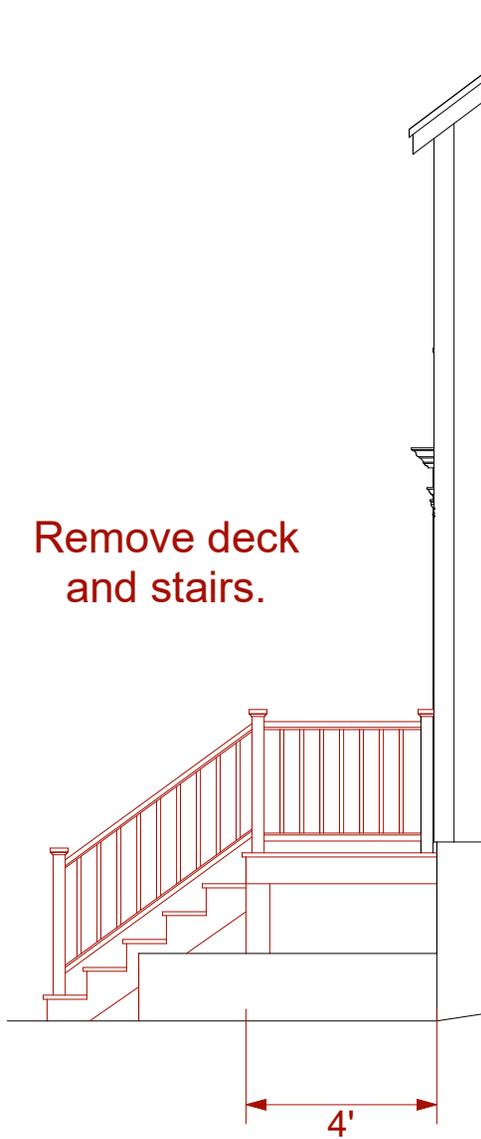
Existing
Second Floor Plan
(550 s.f. +/-)

Michelle Shields Design Smart Creative Architecture www.MichelleShieldsDesign.com	6 Rudolph Avenue Kittery, Maine 03904 207-438-9829 Cell: 207-752-7623	PROJECT: Anne Moodey Residence	SITE: 180 New Castle Avenue Portsmouth, NH	ISSUED FOR: Review	SCALE: 1" = 10'-0" (Letter)	TITLE: Existing Floor Plans	SHEET: E1
				ISSUE DATE: February 2, 2021			



Michelle Shields Design Smart Creative Architecture www.MichelleShieldsDesign.com	6 Rudolph Avenue Kittery, Maine 03904 207-438-9829 Cell: 207-752-7623	PROJECT: Anne Moodey Residence	SITE: 180 New Castle Avenue Portsmouth, NH	ISSUED FOR: Review	SCALE: 1" = 10'-0" (Letter)	TITLE: Existing Elevations	SHEET: E2
				ISSUE DATE: February 2, 2021			

Remove deck
and stairs.



Michelle Shields Design Smart Creative Architecture www.MichelleShieldsDesign.com	6 Rudolph Avenue Kittery, Maine 03904 Office: 207-438-9829 Cell: 207-752-7623	PROJECT: Anne Moodey Residence	SITE: 180 New Castle Avenue Portsmouth, NH	ISSUED FOR: Review	SCALE: 1/4" = 1'-0" (Letter)	TITLE: Existing Deck Details	SHEET: E3
				ISSUE DATE: February 2, 2021			



Michelle Shields
Design
 Smart Creative Architecture
 www.MichelleShieldsDesign.com

6 Rudolph Avenue
 Kittery, Maine 03904
 207-438-9829
 Cell: 207-752-7623

PROJECT:
 Anne Moodey
 Residence

SITE:
 180 New Castle Avenue
 Portsmouth, NH

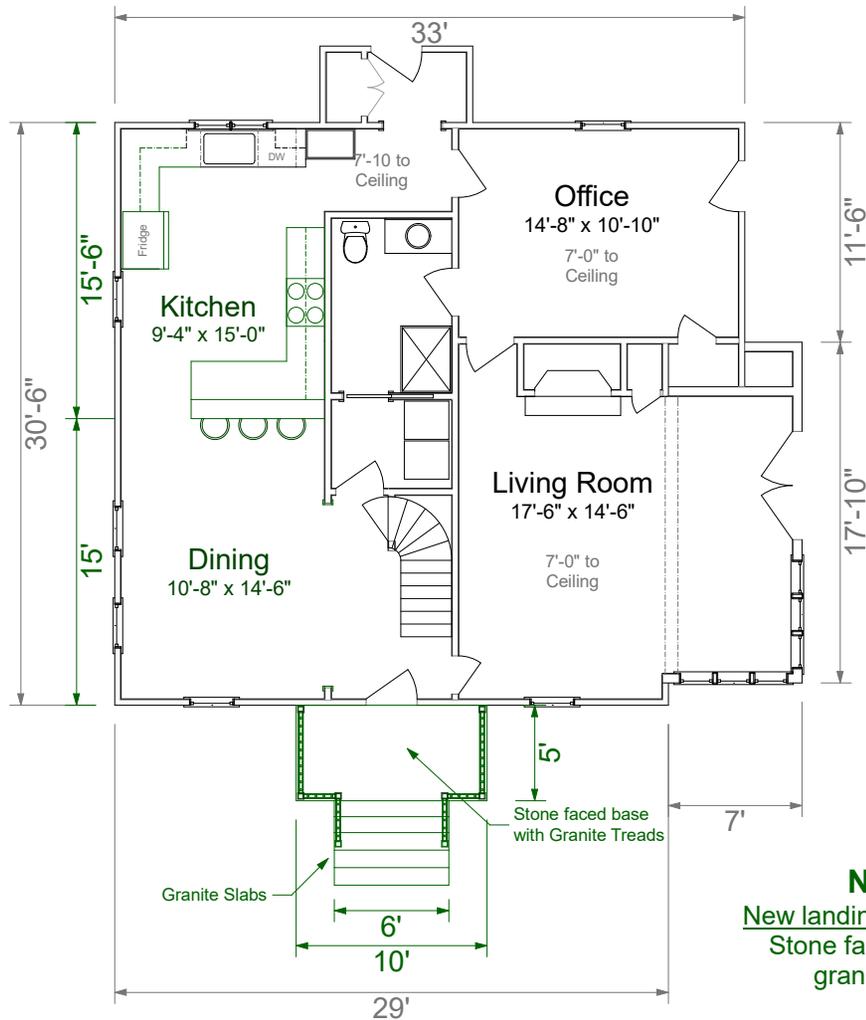
ISSUED FOR:
 Review

ISSUE DATE:
 February 2, 2021

SCALE:
 None
 (Letter)

TITLE:
 Existing
 Photos

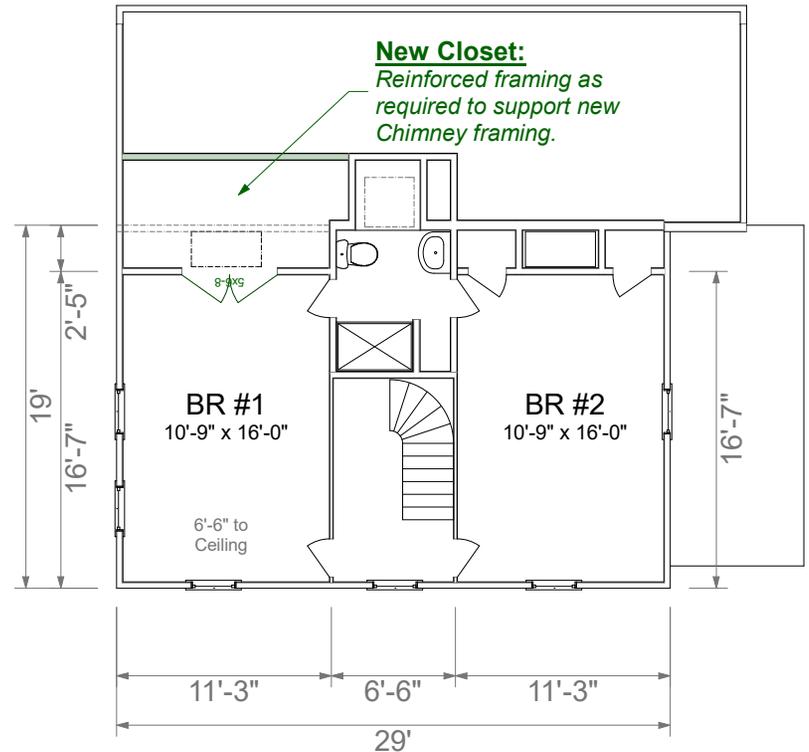
SHEET:
E4



**Proposed
First Floor Plan**
(1080 s.f. +/-)

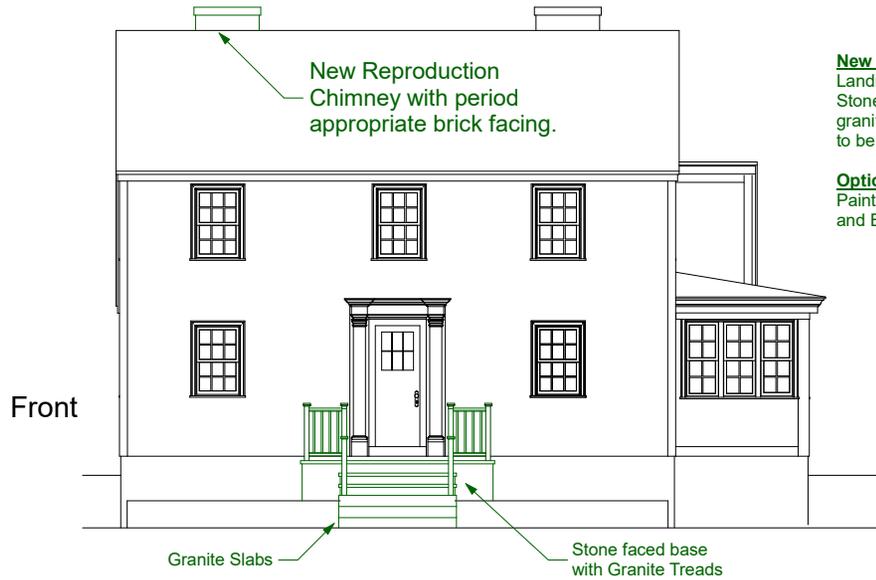
NOTE:
New landing / upper steps:
Stone faced base with
granite treads.

New lower steps:
Granite slabs.



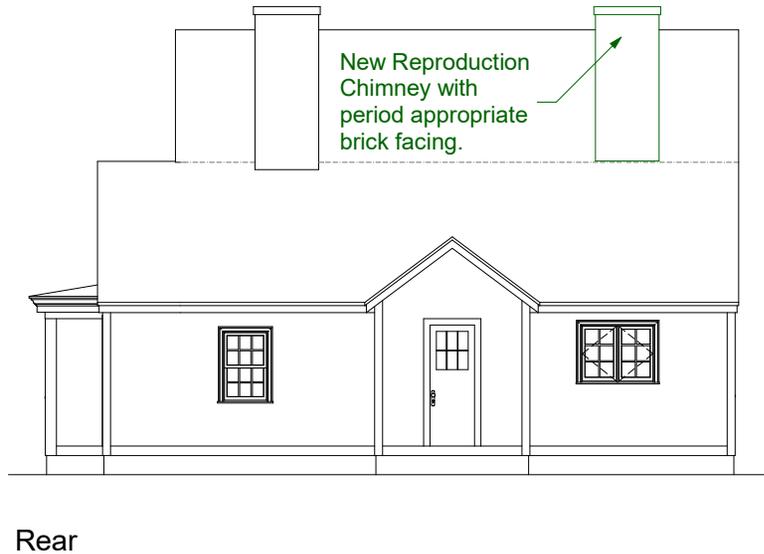
**Proposed
Second Floor Plan**
(550 s.f. +/-)

Michelle Shields Design Smart Creative Architecture www.MichelleShieldsDesign.com	6 Rudolph Avenue Kittery, Maine 03904 207-438-9829 Cell: 207-752-7623	PROJECT: Anne Moodey Residence	SITE: 180 New Castle Avenue Portsmouth, NH	ISSUED FOR: Review	SCALE: 1" = 10'-0" (Letter)	TITLE: Proposed Floor Plans	SHEET: P1
				ISSUE DATE: February 2, 2021			



New Entry:
Landing and upper steps:
Stone faced base with
granite treads. Lower steps
to be granite slabs.

Option A:
Painted Posts, Handrails
and Balusters



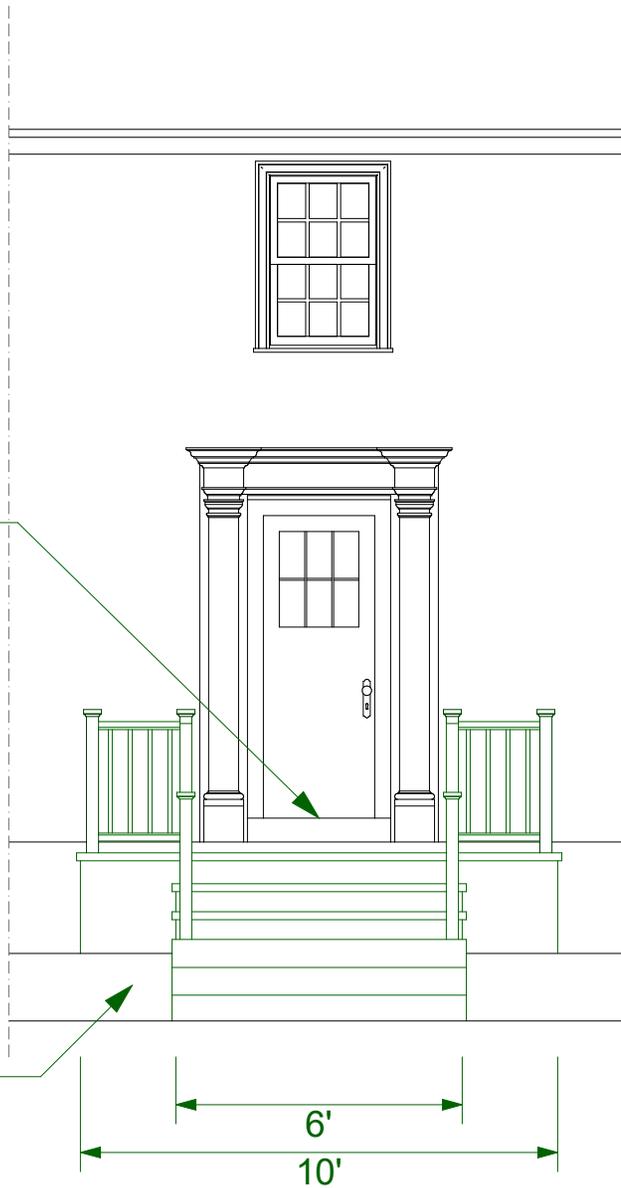
New Reproduction Chimney: Reinforced framing as required to support new frame.



Michelle Shields Design Smart Creative Architecture www.MichelleShieldsDesign.com	6 Rudolph Avenue Kittery, Maine 03904 207-438-9829 Cell: 207-752-7623	PROJECT: Anne Moodey Residence	SITE: 180 New Castle Avenue Portsmouth, NH	ISSUED FOR: Review	SCALE: 1" = 10'-0" (Letter)	TITLE: Proposed Elevations	SHEET: A2
				ISSUE DATE: February 2, 2021			

New landing and upper steps:
Stone faced base with granite treads.

Lower Steps:
Granite Slabs



Option A:
Painted Posts, Handrails
and Balusters

New landing and upper steps:
Stone faced base with granite treads.

Lower Steps:
Granite Slabs



Michelle Shields
Design
Smart Creative Architecture
www.MichelleShieldsDesign.com

6 Rudolph Avenue
Kittery, Maine 03904
Office: 207-438-9829
Cell: 207-752-7623

PROJECT:
Anne Moodey
Residence

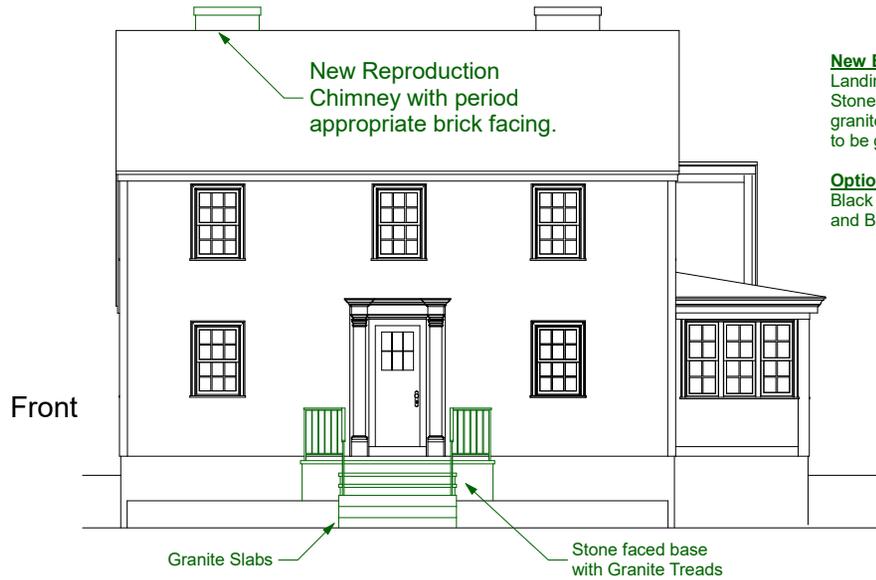
SITE:
180 New Castle Avenue
Portsmouth, NH

ISSUED FOR:
Review
ISSUE DATE:
February 2, 2021

SCALE:
1/4" = 1'-0"
(Letter)

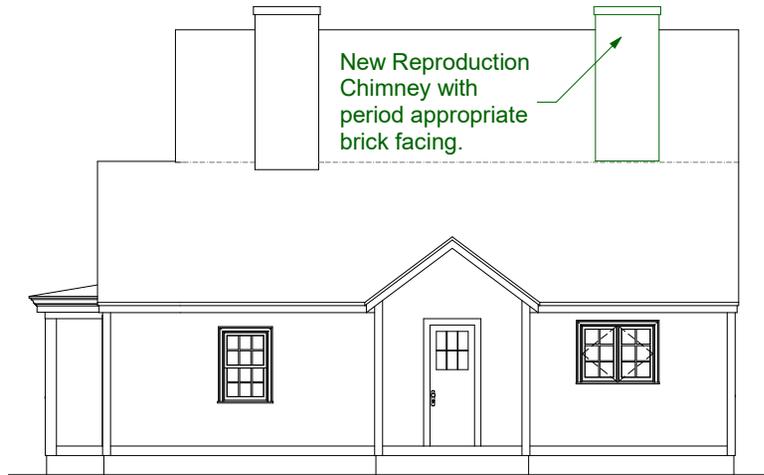
TITLE:
Proposed
Deck Details

SHEET:
A3



New Entry:
Landing and upper steps:
Stone faced base with
granite treads. Lower steps
to be granite slabs.

Option B:
Black Metal Posts, Handrails
and Balusters



**New Reproduction
Chimney: Reinforced framing as
required to support new frame.**

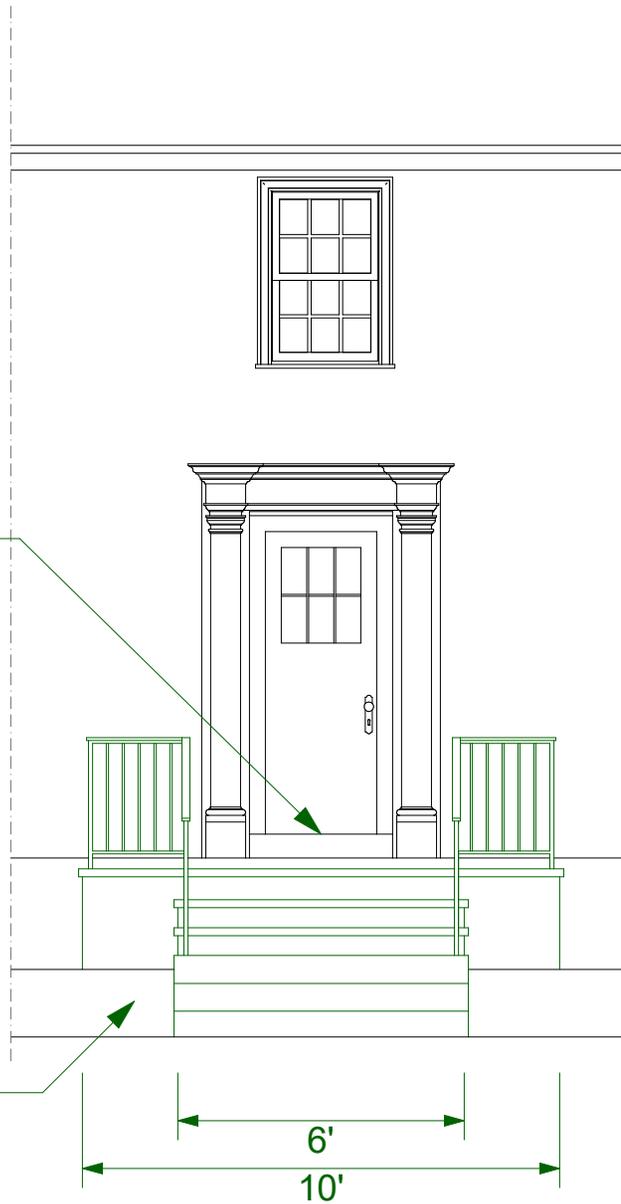


Rear

Michelle Shields Design Smart Creative Architecture www.MichelleShieldsDesign.com	6 Rudolph Avenue Kittery, Maine 03904 207-438-9829 Cell: 207-752-7623	PROJECT: Anne Moodey Residence	SITE: 180 New Castle Avenue Portsmouth, NH	ISSUED FOR: Review	SCALE: 1" = 10'-0" (Letter)	TITLE: Proposed Elevations	SHEET: B2
				ISSUE DATE: February 2, 2021			

New landing and upper steps:
Stone faced base with granite treads.

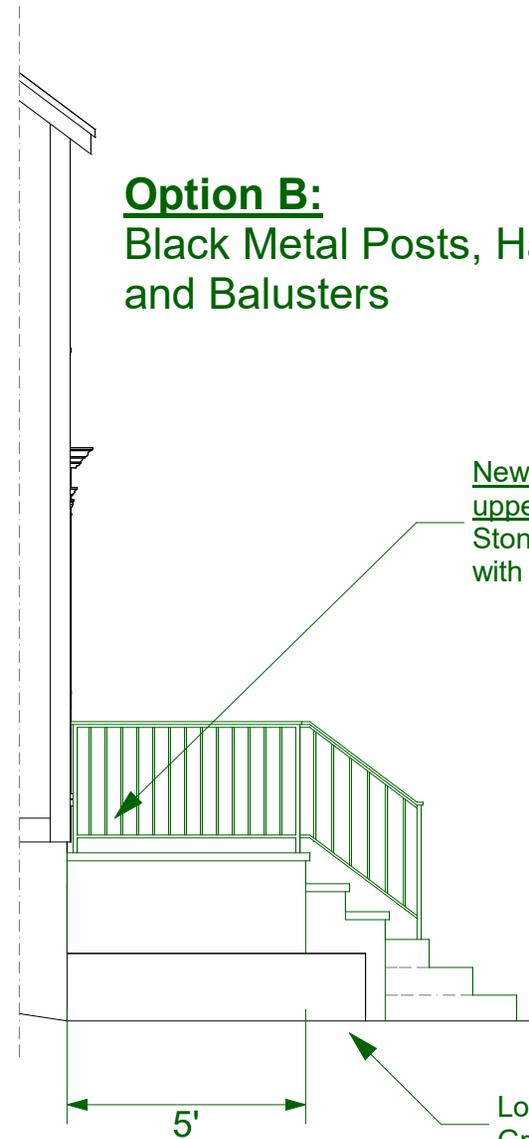
Lower Steps:
Granite Slabs



Option B:
Black Metal Posts, Handrails
and Balusters

New landing and upper steps:
Stone faced base with granite treads.

Lower Steps:
Granite Slabs



Michelle Shields
Design
Smart Creative Architecture
www.MichelleShieldsDesign.com

6 Rudolph Avenue
Kittery, Maine 03904
Office: 207-438-9829
Cell: 207-752-7623

PROJECT:
Anne Moodey
Residence

SITE:
180 New Castle Avenue
Portsmouth, NH

ISSUED FOR:
Review
ISSUE DATE:
February 2, 2021

SCALE:
1/4" = 1'-0"
(Letter)

TITLE:
Proposed
Deck Details

SHEET:
B3



<p>Michelle Shields Design Smart Creative Architecture www.MichelleShieldsDesign.com</p>	<p>6 Rudolph Avenue Kittery, Maine 03904 207-438-9829 Cell: 207-752-7623</p>	<p>PROJECT: Anne Moodey Residence</p>	<p>SITE: 180 New Castle Avenue Portsmouth, NH</p>	<p>ISSUED FOR: Review ISSUE DATE: February 2, 2021</p>	<p>SCALE: 1" = 10'-0" (Letter)</p>	<p>TITLE: Proposed Renderings</p>	<p>SHEET: 3D</p>
--	--	--	--	--	---	--	-----------------------------

**1 Raynes Ave, 30 Raynes Ave, and
230 Maplewood Ave**

LUHD-234

Request to Postpone



PROCON
CONNECT • CREATE • CONSTRUCT

City of Portsmouth
Planning Department & Historic District Commission
1 Junkins Avenue, Portsmouth, NH 03801

January 28, 2021

RE: Raynes Ave Mixed Use Development – Historic District Commission Work Session #1 Continuance – Request to Postpone to March

Chairman Lombardi,

We appreciate the feedback received from the Historic District Commission at its December 9th meeting regarding the proposed mixed-use development on Raynes Ave. Thank you for postponing the continued work session to the February meeting but based on the feedback received we feel additional time will be required to properly address the comments and concerns and as such we respectfully request the Commission postpone the Continued Work Session again to its March meeting.

Thank you for your consideration.

A handwritten signature in blue ink, appearing to read 'Eben Tormey', with a long, sweeping horizontal stroke at the end.

Eben Tormey

Owner's Agent
North Mill Pond Holdings LLC

449 Court Street

LUHD-235

Work Session



City of Portsmouth, NH

02/05/2021

LUHD-235

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Nov 20, 2020

Applicant

Jennifer Ramsey
jramsey@sommastudios.com
36 Maplewood Ave
Portsmouth, NH 03801
603-766-3760 ext. 1

Location

449 COURT ST
Portsmouth, NH

Owner:

PRESSMAN MARY H & PRESSMAN RONALD R
449 COURT ST, null, PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Add a 4th Floor Addition and Roof Deck

Description of Proposed Work (Planning Staff)

--

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

449 Court Street

HDC Work Session Application

December 2020



This application is to construct a new 4th Floor within and in excess of the existing roof structure of the home. The new structure will be 2'-6" taller than the existing ridge.

The new interior space will contain a stair, an extension of the existing residential elevator (and associated override) and a small living space with access to new inverted roof deck.

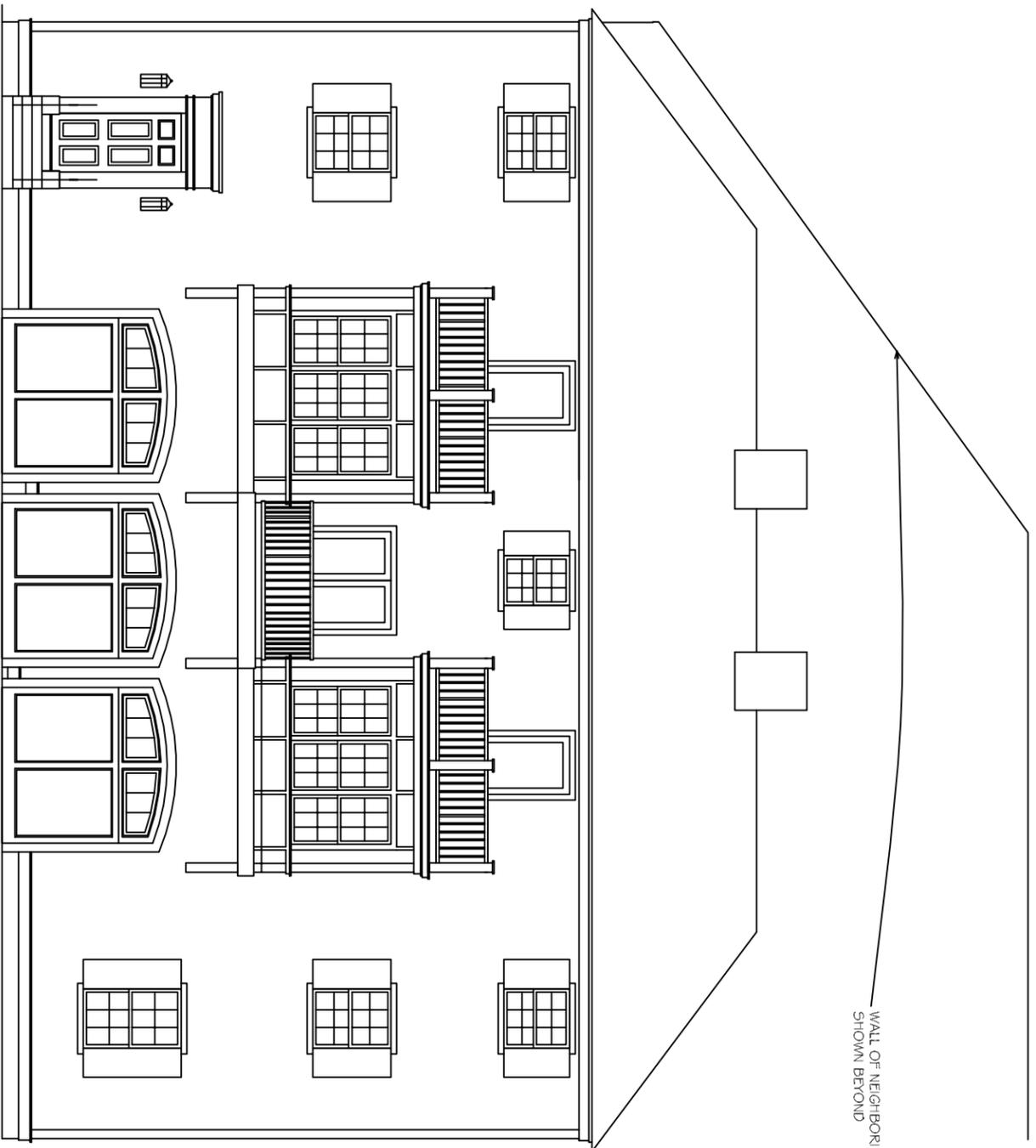
The new structure will predominantly be clad in trim to match the bay windows below with some clapboard siding on the interior walls of the deck.

All new windows and doors will match the existing manufacturer and style used in the Lower Levels of the home.

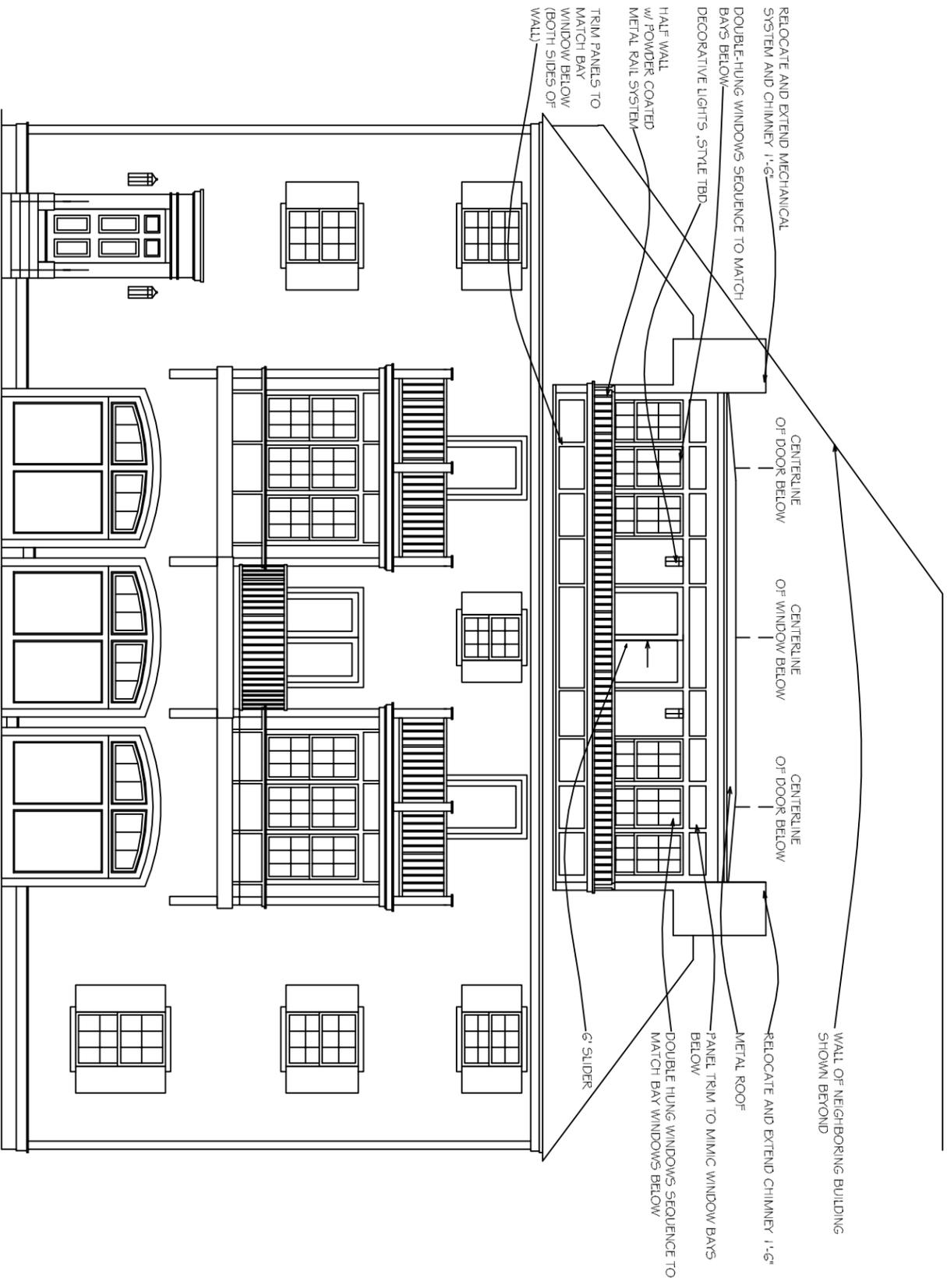
The new roof will be metal, due to an aesthetic appropriateness and its slight pitch.

The existing chimneys will be redistributed to sit symmetrically on either side of the inverted deck and increased in height by 1'-6".

The guard rail will be construct of a solid parapet wall and capped with a metal rail system.



EXISTING VIEW FROM DRIVEWAY

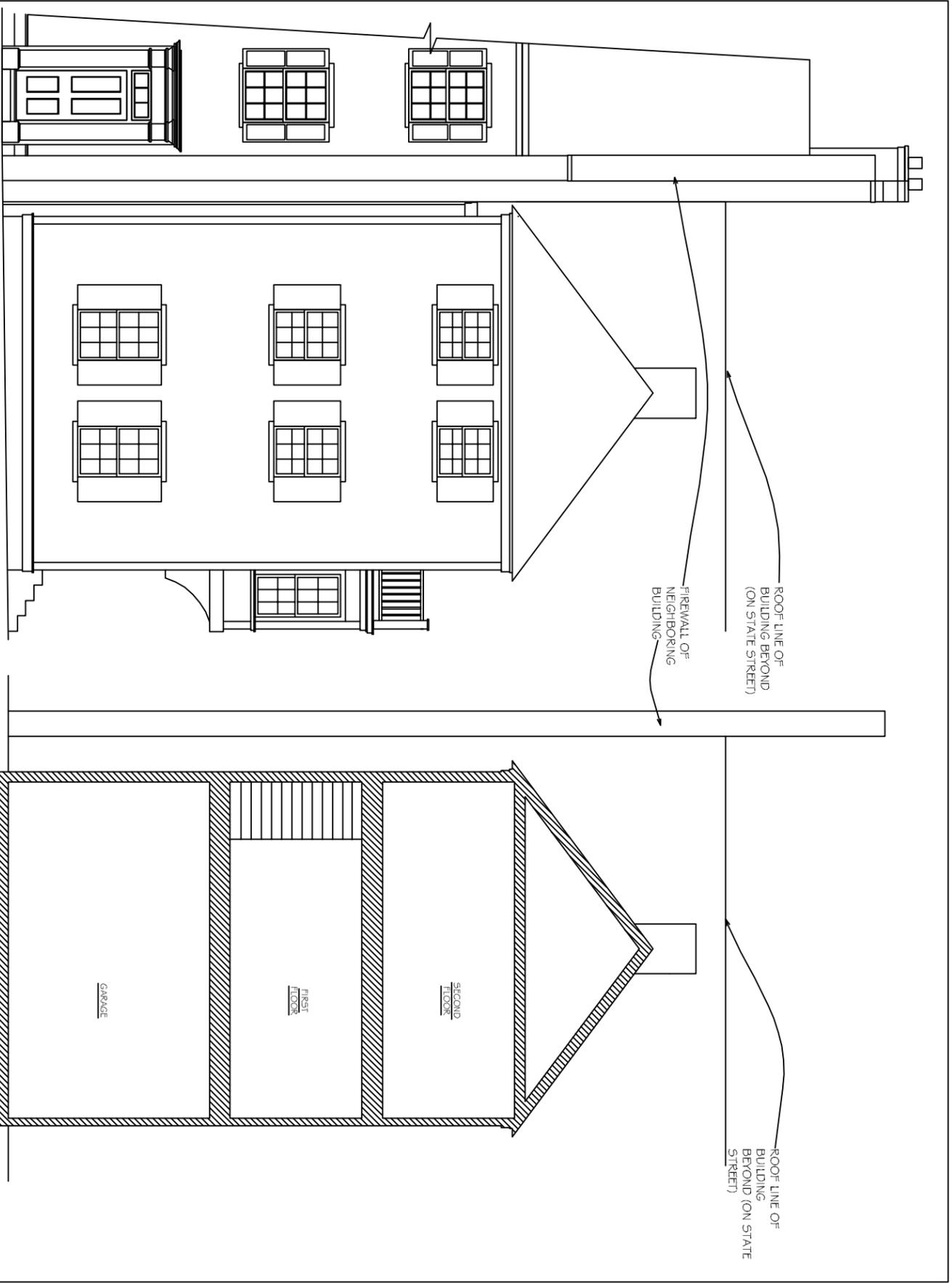


PROPOSED VIEW FROM DRIVEWAY

449 COURT STREET
SOMMA Studios

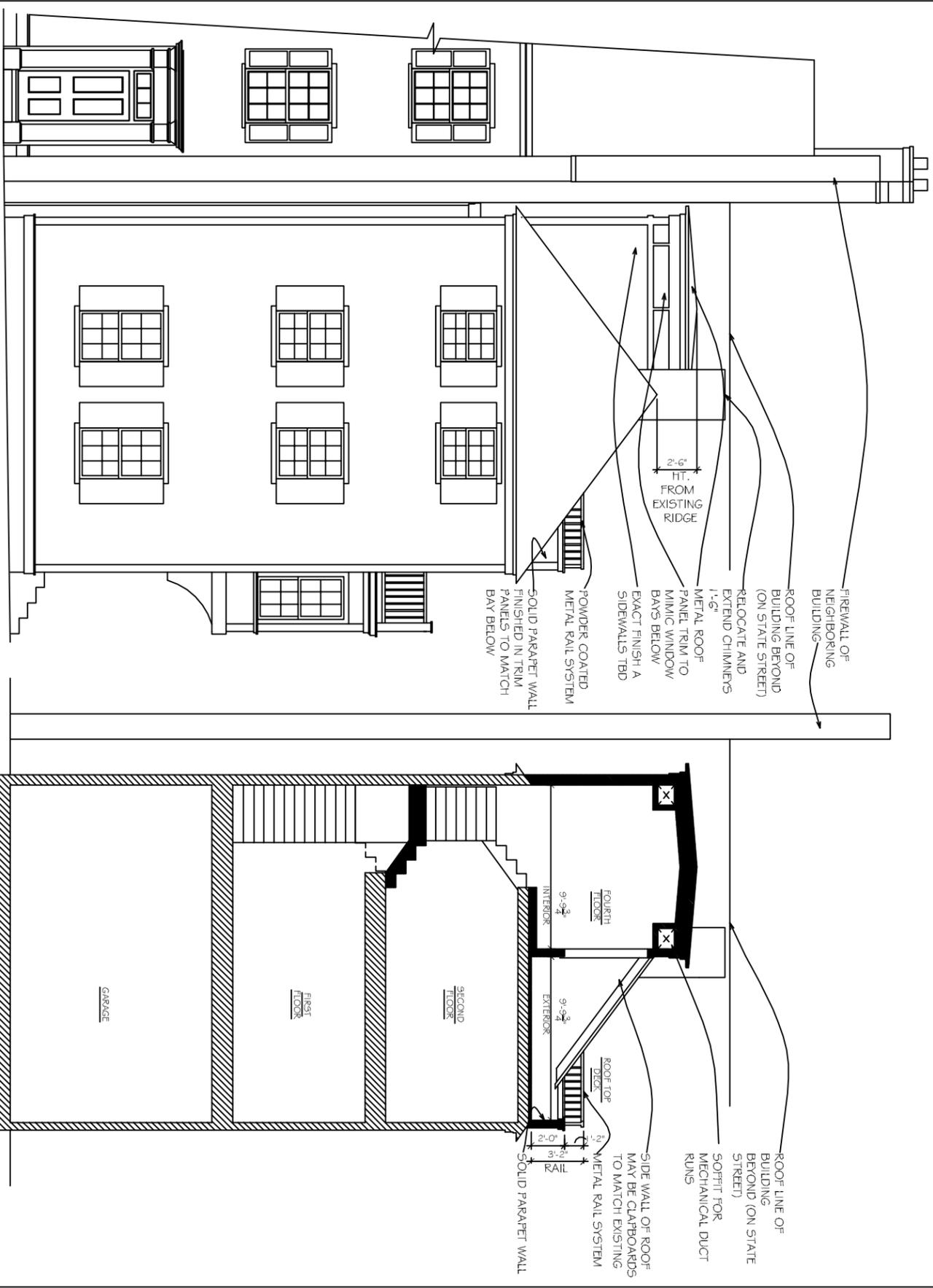
HDC WS 1

1" = 1'-0"
DECEMBER 2020



EXISTING VIEW FROM COURT STREET

EXISTING SECTION



PROPOSED VIEW FROM COURT STREET

PROPOSED SECTION

449 Court Street, Existing Context Photos



Views from Prescott Park, Marcy Street.



Approach from Court Street and up driveway of 449 Court (notice decks and pergola at back of 58 State Street)





Views from Court Street and other roof structures visible from inside 449 Court and Court Street.



500 Market Street

LUHD-270

Work Session



City of Portsmouth, NH

02/05/2021

LUHD-236

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Nov 20, 2020

Applicant

Michael Street
michaels@cpmanagement.com
11 Court Street
Suite 100
Exeter, NH 03833
6037786300

Location

500 MARKET ST
Portsmouth, NH

Owner:

Nobles Island Condo Association c/o
CPManagement, Inc.
11 Court Street, Suite 100, Exeter, New
Hampshire 03833

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Replacement of brick dumpster corral. Dimensions and materials to change.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Property Manager

Existing Conditions







Example of proposed Dumpster Corral style



53 Green Street

LUHD-257

Work Session



City of Portsmouth, NH

02/05/2021

LUHD-257

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jan 14, 2021

Applicant

Carla Goodknight
admin@cjarchitects.net
233 Vaughan Street
Suite 101
Portsmouth, NH 03801
6034312808

Location

53 GREEN ST
Portsmouth, NH

Owner:

STONE CREEK REALTY LLC & C/O DOUGLAS
PINCIARO MGR
PO BOX 121, null, NEW CASTLE, NH 03854

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Demolish existing one-story buildings and construct new three- to five-story mixed-use commercial/residential building.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

--



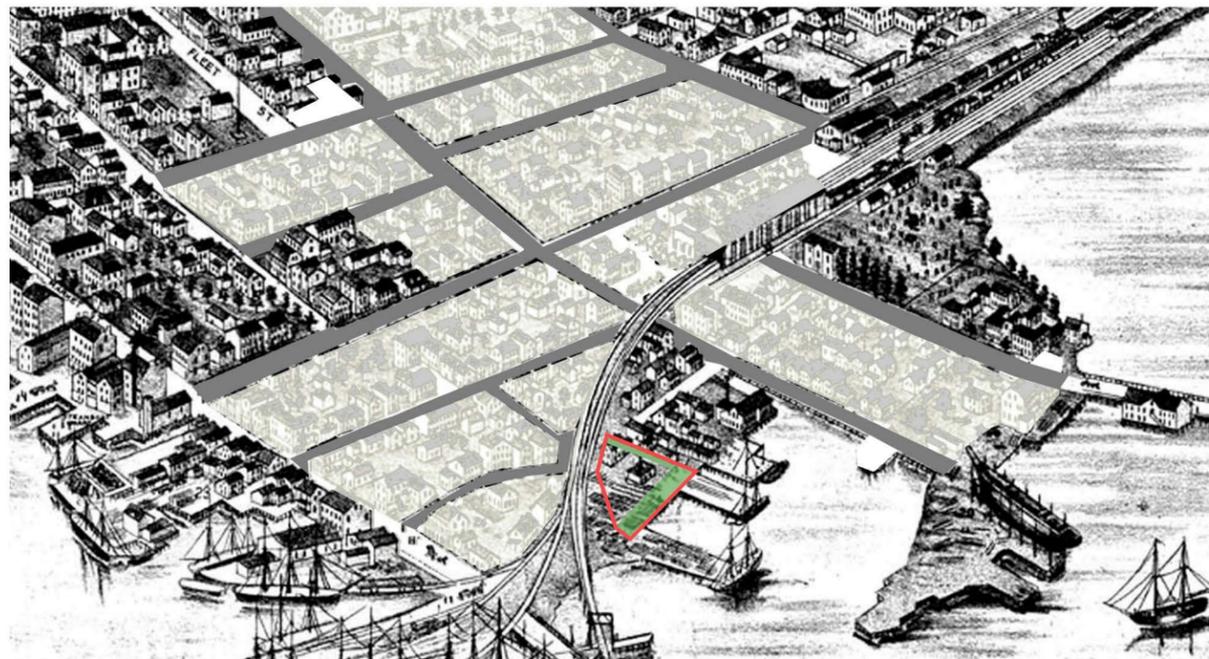
53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

AERIAL VIEW OF
SITE AND SURROUNDINGS
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

 **CATHARTES**
EMBARC

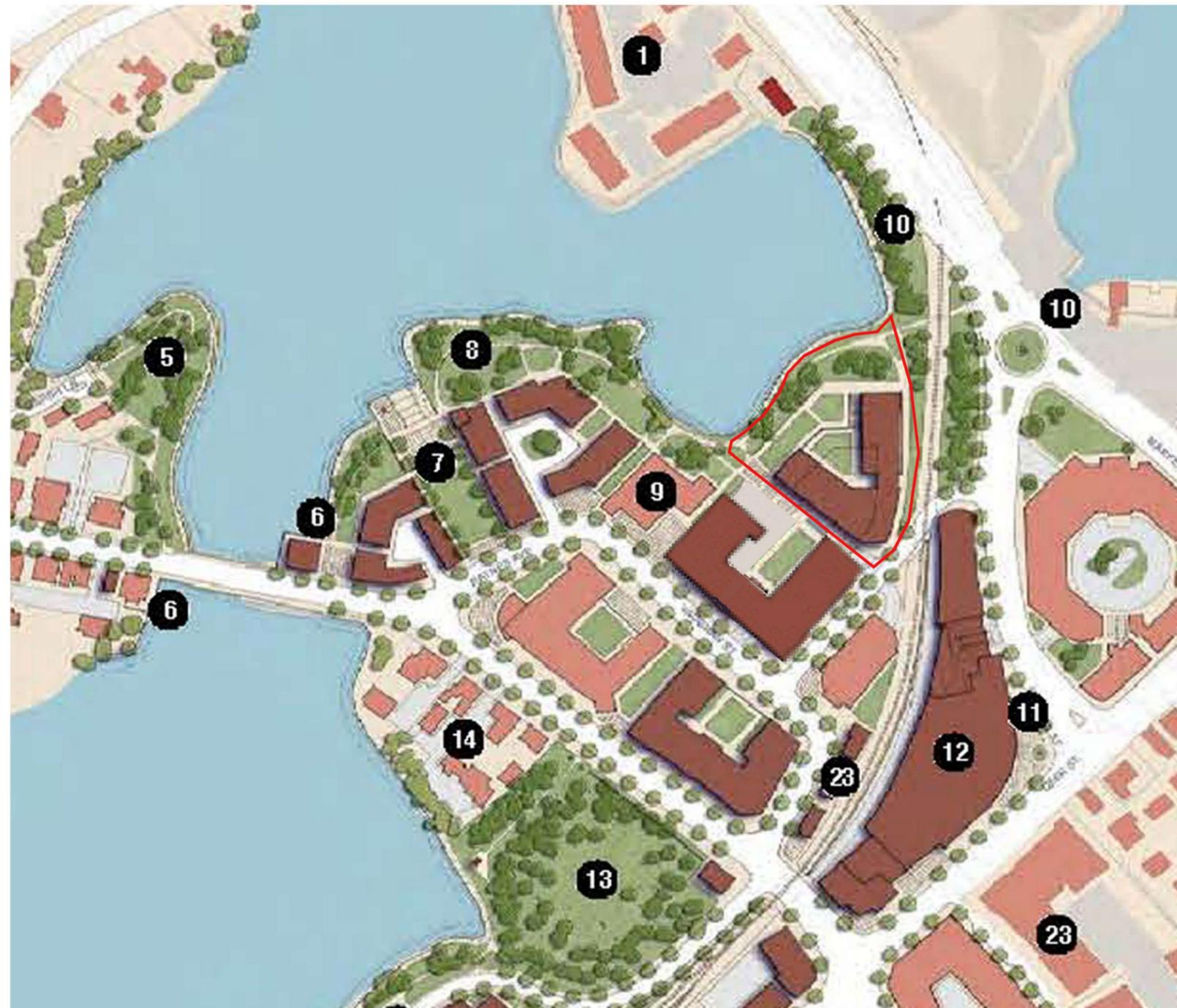

CJ ARCHITECTS

1.0



EXTENT OF URBAN RENEWAL IN THE 1960'S
PROPOSED PROJECT SITE AND COMMUNITY SPACE

- 1 NOBLE'S ISLAND
- 5 MARSH LANE PARK
- 6 WATERFRONT DINING
- 7 MILL POND CIVIC PLAZA & GREEN
- 8 MILL POND WATERFRONT PARK & GREENWAY
- 9 3S ARTSPACE
- 10 MARKET STREET ROUNDABOUT & PARKS
- 11 NORTH END PLAZA
- 12 FUTURE HARBORCORP/WHOLE FOODS CONVENTION CENTER
- 13 UNION CEMETERY/NORTH CEMETERY
- 14 MAPLEWOOD HISTORIC HOMES
- 23 FUTURE INFILL & LINER BUILDINGS



NORTH END VISION PLAN
PROPOSED PROJECT SITE AND COMMUNITY SPACE

53 GREEN STREET
 PORTSMOUTH, NEW HAMPSHIRE

NORTH END HISTORY
 AND NORTH END VISION PLAN
 HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

CATHARTES
 EMBARC



2.0



NORTH END VISION PLAN
AND *COMMUNITY SPACE*



PROPOSED PROJECT SITE
AND *COMMUNITY SPACE*

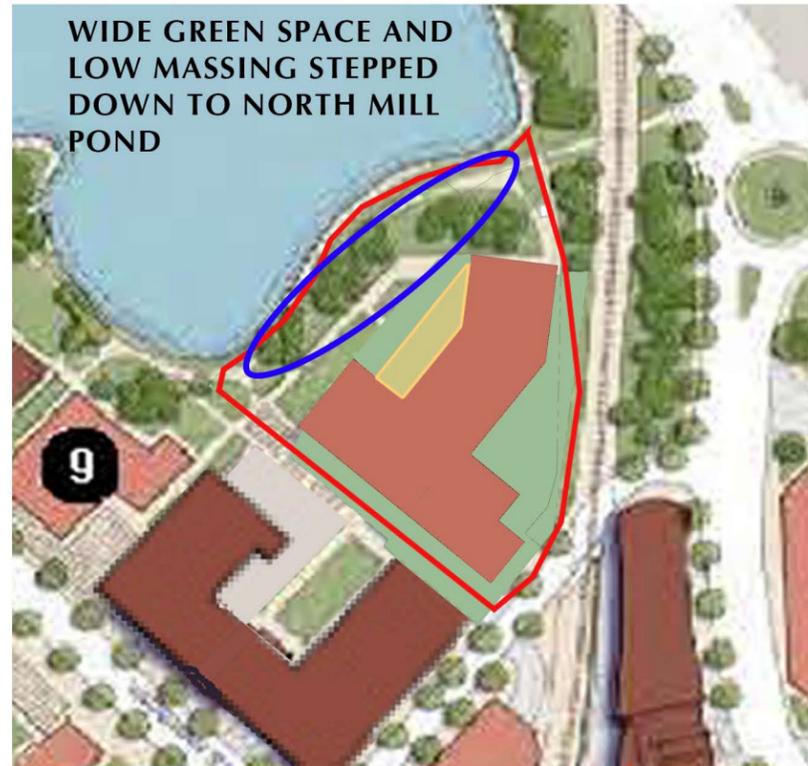


53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

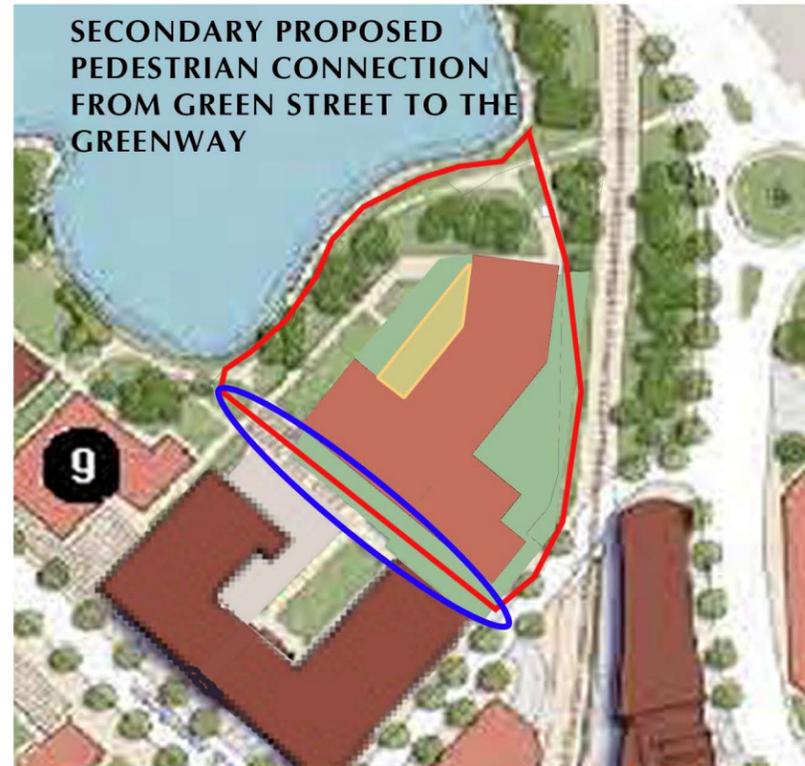
NORTH END MASSING, FOOTPRINT
AND VISION PLAN
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

CATHARTES
EMBARC

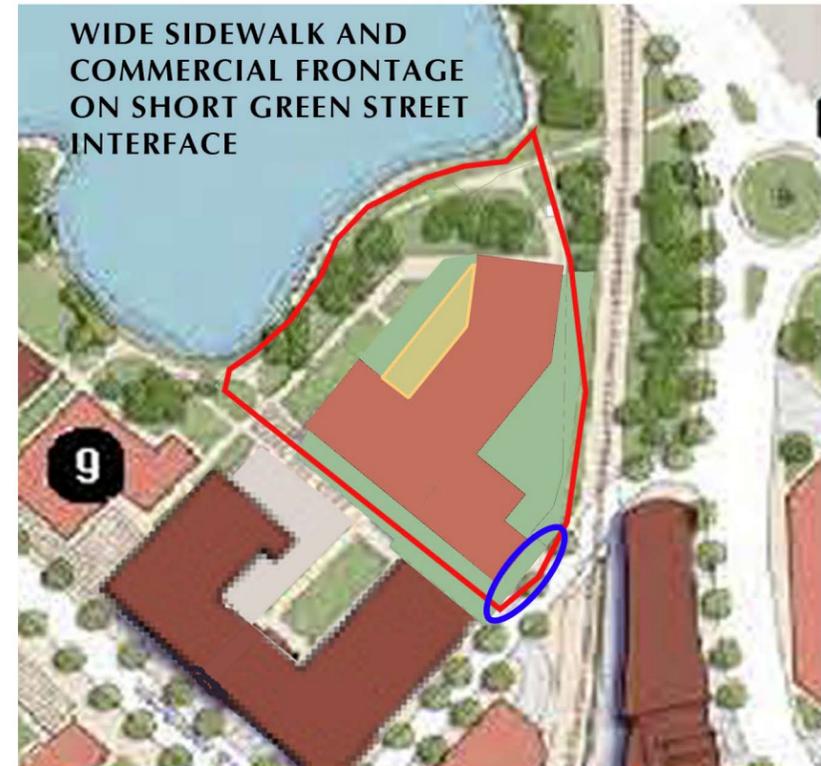




WIDE GREEN SPACE AND
LOW MASSING STEPPED
DOWN TO NORTH MILL
POND



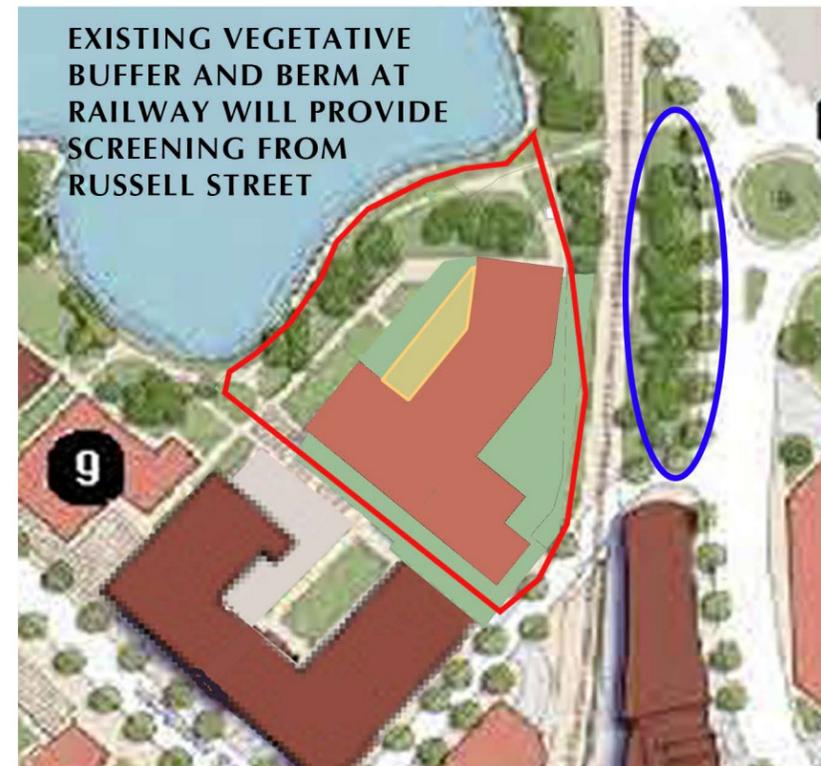
SECONDARY PROPOSED
PEDESTRIAN CONNECTION
FROM GREEN STREET TO THE
GREENWAY



WIDE SIDEWALK AND
COMMERCIAL FRONTAGE
ON SHORT GREEN STREET
INTERFACE



- ARCHES RECALL HISTORY
- ELECTRICAL TOWER REMAINS
- VEGETATIVE BUFFER
- ACTIVATED ROOF DECK
- ROOFTOP TERRACES
- ARTICULATED BALCONIES
- COVERED PARKING



EXISTING VEGETATIVE
BUFFER AND BERM AT
RAILWAY WILL PROVIDE
SCREENING FROM
RUSSELL STREET

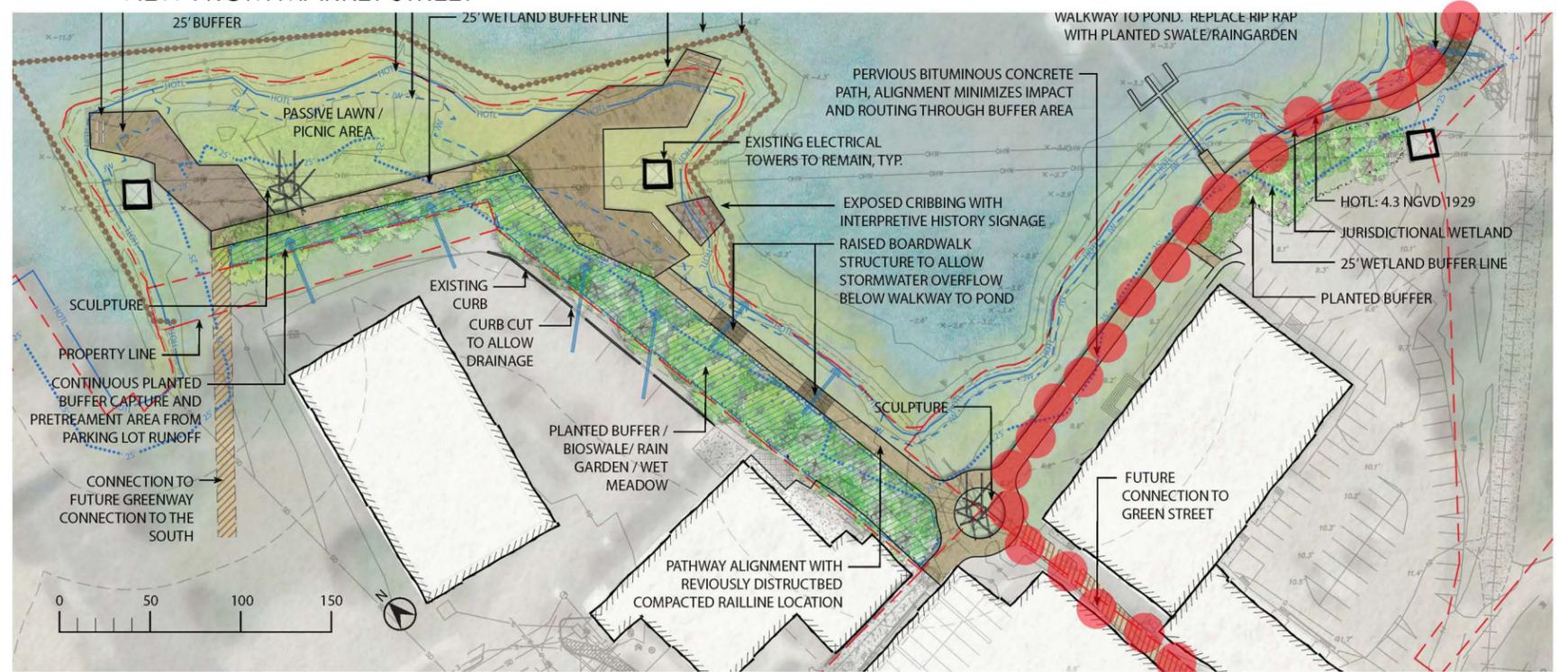


VIEW FROM MARKET STREET



VIEW TO NORTH MILL POND

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

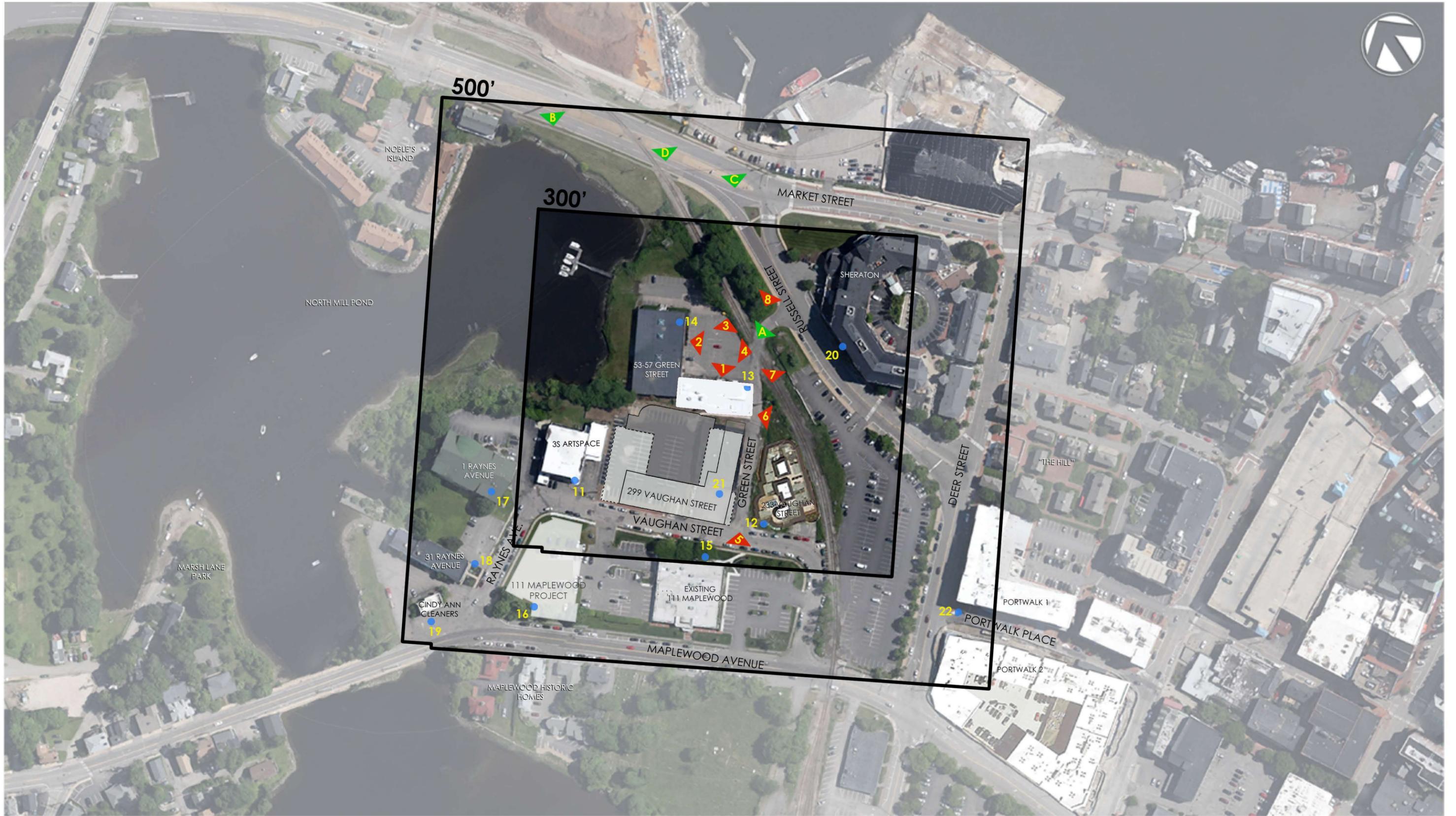


PROPOSED GREENWAY CONNECTON ON SITE

NORTH MILL POND GREENWAY

HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021





53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

IMAGE KEY MAP

HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021



233 VAUGHAN STREET

53-57 GREEN STREET

A. GREEN STREET VIEW



53-57 GREEN STREET

B. NORTH MILL POND VIEW

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE AND SURROUNDINGS
PRIMARY VIEWS OF PROPERTY
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

 **CATHARTES**
EMBARC


CJ ARCHITECTS

3.1



C. RUSSELL STREET VIEW



D. VIEW FROM MARKET STREET



VIEW SOUTH

1



VIEW WEST

2



VIEW NORTH

3



VIEW EAST

4

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE AND SURROUNDINGS
VIEWS FROM THE SITE

HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

 **CATHARTES**
EMBARC



3.3



VIEW FROM VAUGHAN STREET

5



VIEW TO NORTH MILL POND

6



VIEW FROM GREEN STREET

7



VIEW FROM RUSSEL STREET

8

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

SITE AND SURROUNDINGS
STREET VIEWS

HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

 **CATHARTES**
EMBARC



3.4



11 3S ARTSPACE



12 233 VAUGHAN STREET



13 53 GREEN STREET



14 55-57 GREEN STREET



15 EXISTING 111 MAPLEWOOD AVENUE



16 111 MAPLEWOOD AVENUE



17 1 RAYNES AVENUE



18 31 RAYNES AVENUE



19 CINDY ANN CLEANERS



20 SHERATON HOTEL



21 EXISTING 299 VAUGHAN STREET



22 PORTWALK

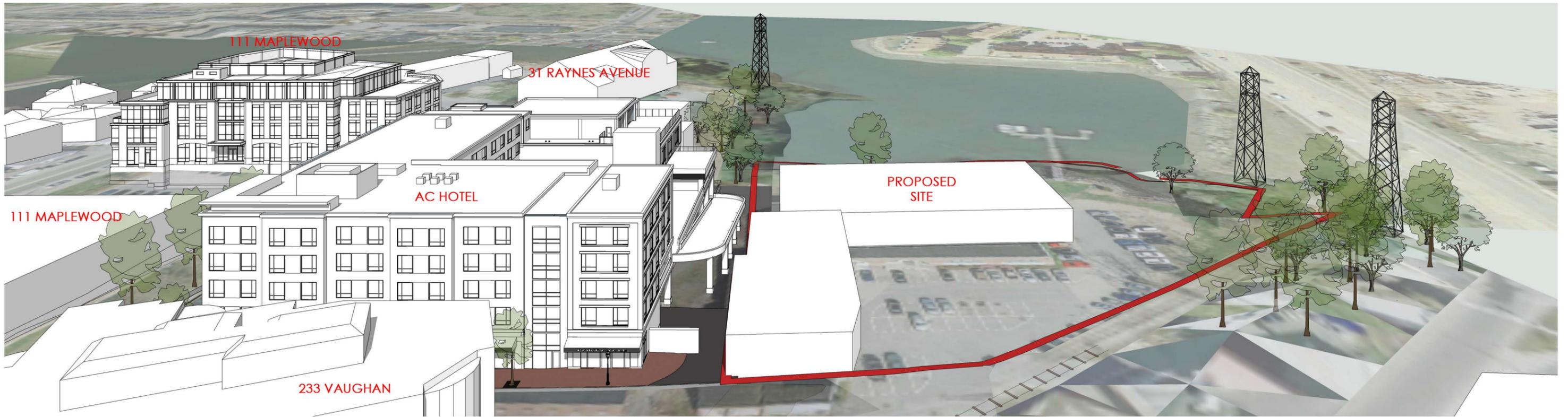
53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPERTIES WITHIN 300'-500'
OF PROPOSED SITE
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

CATHARTES
EMBARC



3.5



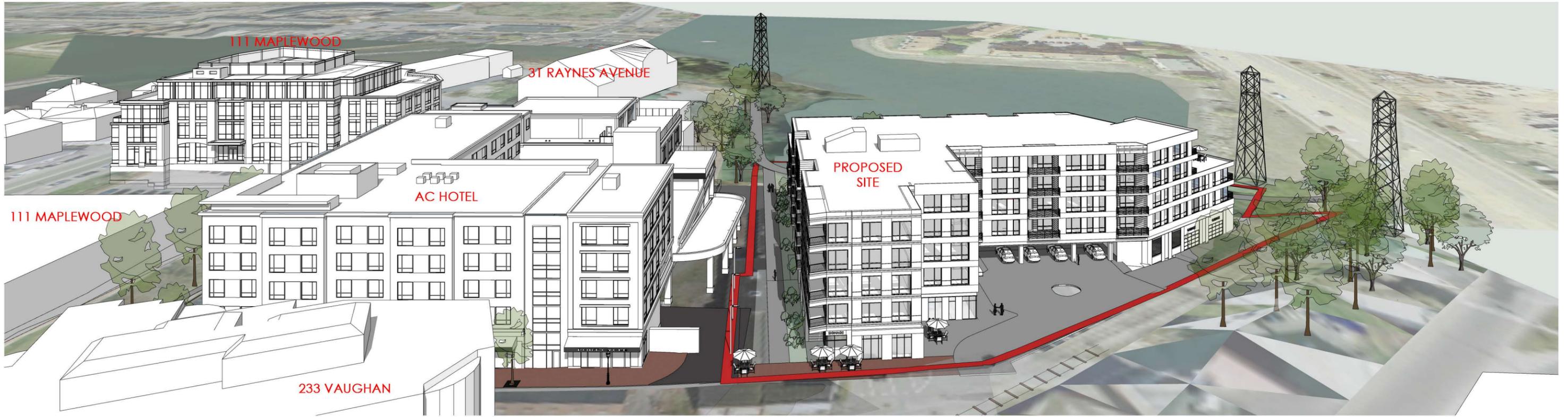
53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING MASSING
VIEW FROM NORTH MILL POND
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

 **CATHARTES**
EMBARC



4.0



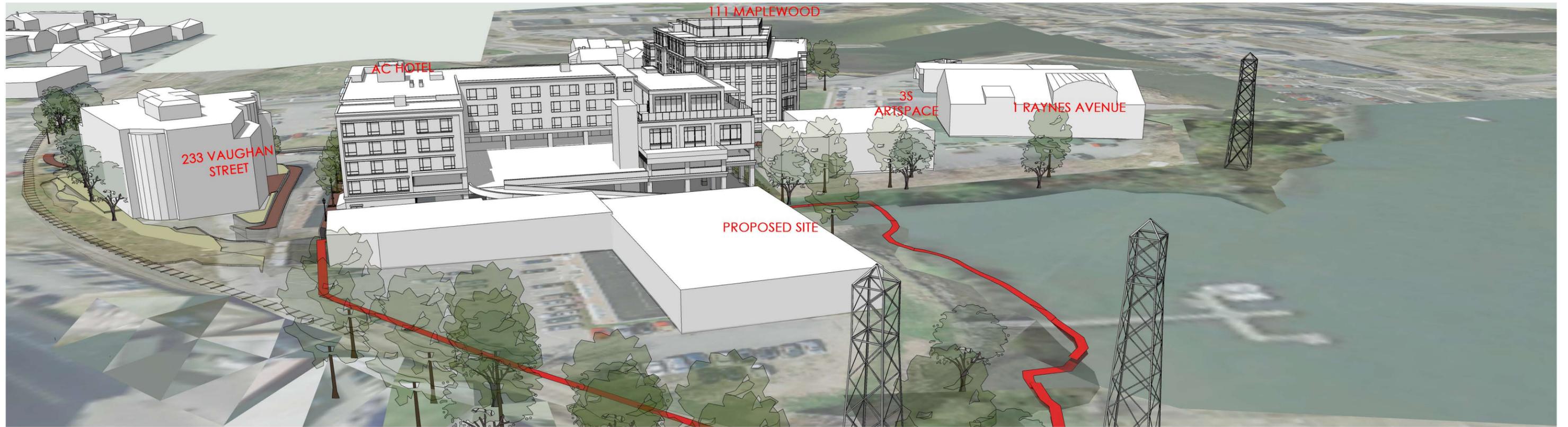
53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED MASSING
VIEW FROM GREEN STREET
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

CATHARTES
EMBARC



4.1



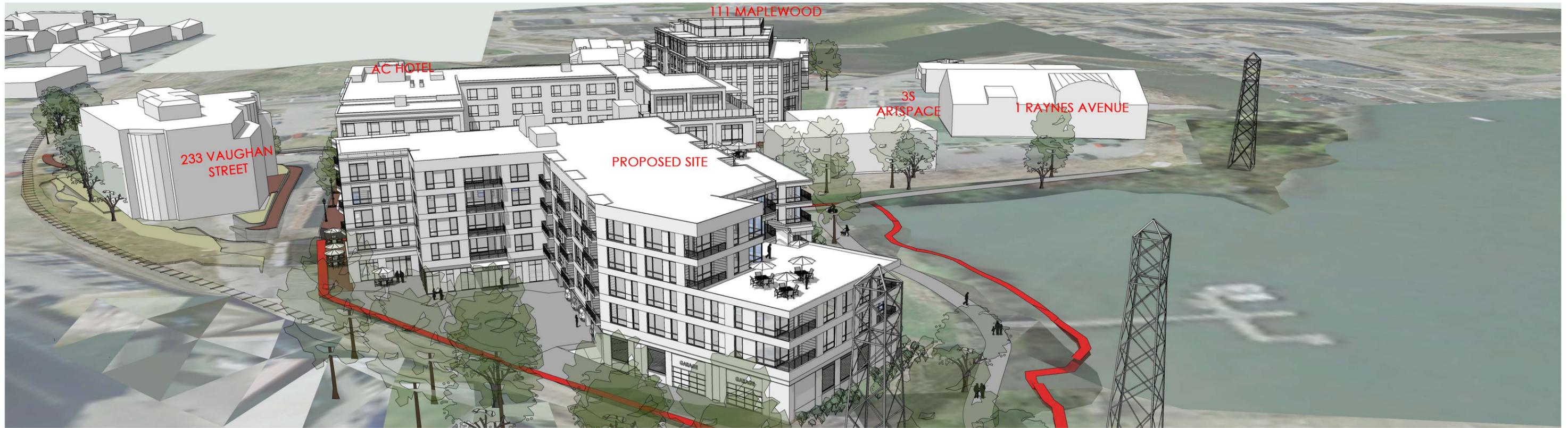
53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING MASSING
VIEW FROM MARKET & RUSSELL STREETS
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

 CATHARTES
EMBARC



4.2



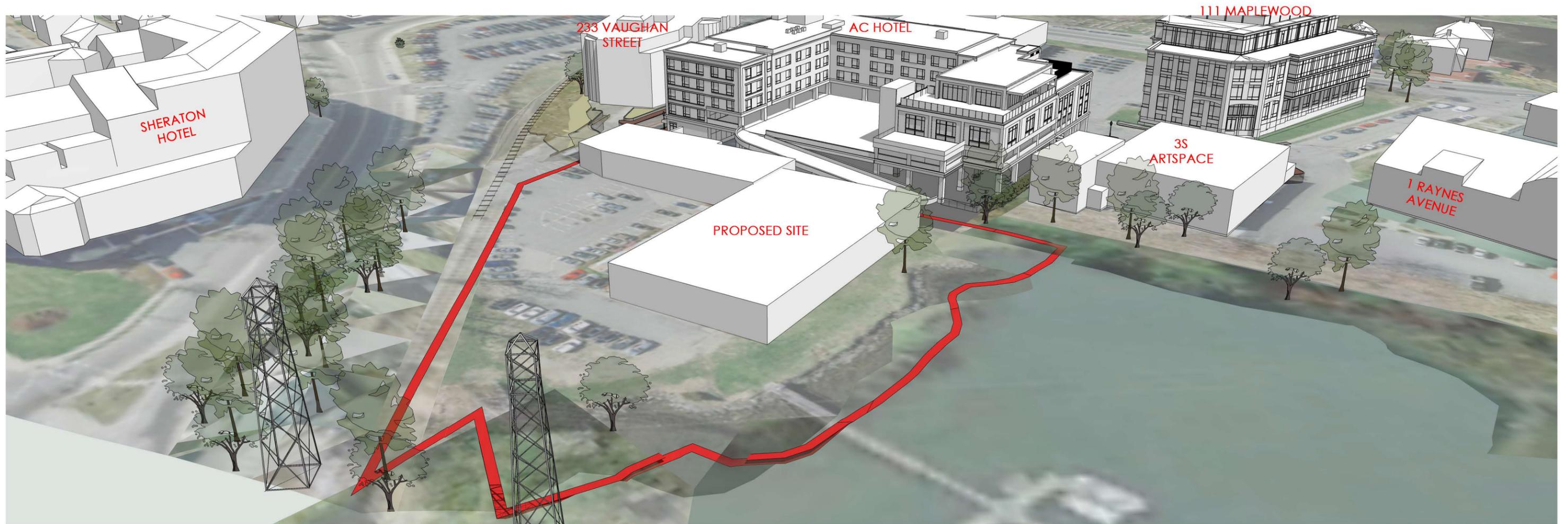
53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED MASSING
VIEW FROM MARKET & RUSSELL STREETS
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

 **CATHARTES**
EMBARC



4.3



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING MASSING
VIEW FROM MARKET STREET
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

CATHARTES
EMBARC



4.4



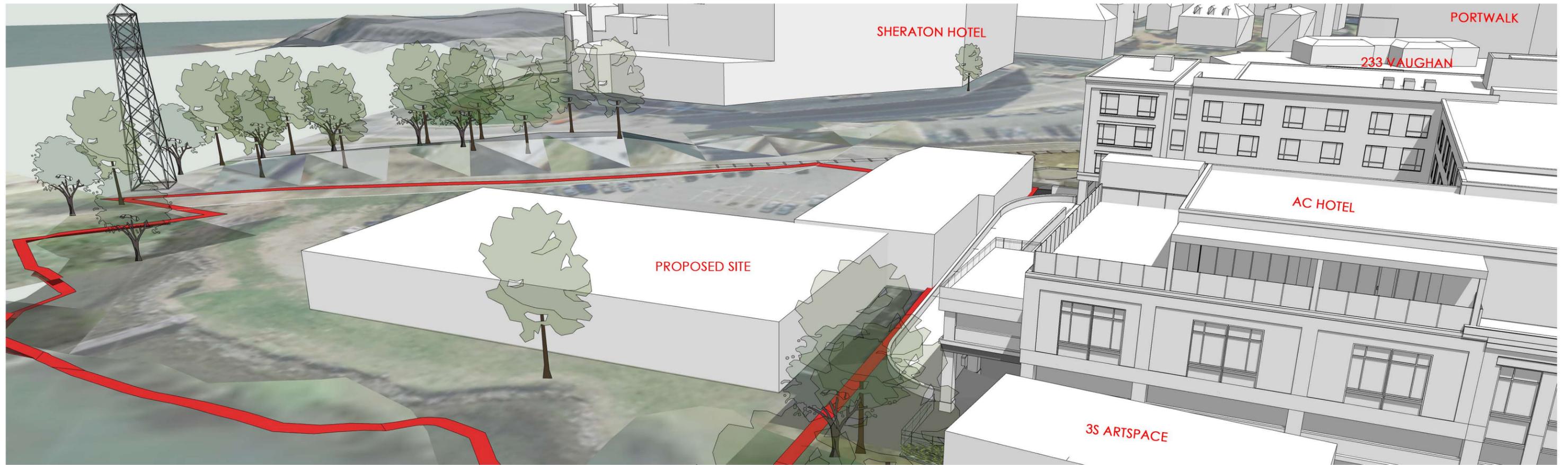
53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED MASSING
VIEW FROM MARKET STREET
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

 CATHARTES
EMBARC



4.5



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

EXISTING MASSING
VIEW FROM PARK
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

 **CATHARTES**
EMBARC



4.6



53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

PROPOSED MASSING
VIEW FROM PARK
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

CATHARTES
EMBARC



4.7



PROPOSED BELOW GRADE PARKING PLAN



PROPOSED FIRST FLOOR PLAN

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

PLANS
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

CATHARTES
EMBARC



5.0



PROPOSED SECOND & THIRD FLOOR PLANS



PROPOSED FOURTH & FIFTH FLOOR PLANS

53 GREEN STREET
PORTSMOUTH, NEW HAMPSHIRE

PLANS
HISTORIC DISTRICT COMMISSION WORK SESSION: FEBRUARY 3, 2021

CATHARTES
EMBARC



279 Marcy Street, Unit #3

LUHD-259

Work Session



City of Portsmouth, NH

02/05/2021

LUHD-259

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Jan 18, 2021

Applicant

Jeff Greene
jhuntergreene@yahoo.com
39 Main Street
Kittery, ME 03904
603-498-0469

Location

279 MARCY ST
Unit 3
Portsmouth, NH

Owner:

ELLENHORN ROSS D & WOLFE REBECCA J
15 RICHDAL AVE #301, null, CAMBRIDGE, MA
02140

Application Type

Please select application type from the drop down menu below

Work Session

Project Information

Brief Description of Proposed Work

Construct recessed deck inside roof-line on third floor

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Contractor

