

# **HDC**

## **ADMINISTRATIVE APPROVALS**

<b>December 01, 2021</b>
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- |    |  |                        |
|----|--|------------------------|
| 1. | 33 Holmes Court (LUHD-402)             | - Recommended Approval |
| 2. | 37 South Street (LUHD-403)             | - Recommended Approval |
| 3. | 239 Northwest Street (LUHD-404)        | - Recommended Approval |
| 4. | 33 Northwest Street (LUHD-406)         | - Recommended Approval |
| 5. | 401 State Street, Unit M502 (LUHD-408) | - Recommended Approval |
| 6. | 175 Fleet Street (LUHD-407)            | - Recommended Approval |
| 7. | 129 Daniel Street (LUHD-409)           | - Recommended Approval |

## 1. 33 Holmes Court - Recommended Approval

**Background:** The applicant is seeking approval for the installation of a fireplace gas vent on the second floor of the structure.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



**LUHD-402**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 31, 2021**Applicant**

Brenda Bouchard  
 brendajbouchard@gmail.com  
 33 Holmes Court  
 Portsmouth, NH 03801  
 6038677700

**Location**

33 HOLMES CT  
 Portsmouth, NH 03801

**Owner:**

BOUCHARD BRENDA J REVOC TRUST OF 1999 & BOUCHARD BRENDA J  
 TRUSTEE  
 33 HOLMES CT PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Install interior gas fireplace with exterior vent on second floor on the back side of the house. Vent is approx 12"x12"

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Owner

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

--

**Business Name (if applicable)**

--

**Mailing Address (Street)**

--

**City/Town**

--

**State**

--

**Zip Code**

--

**Phone**

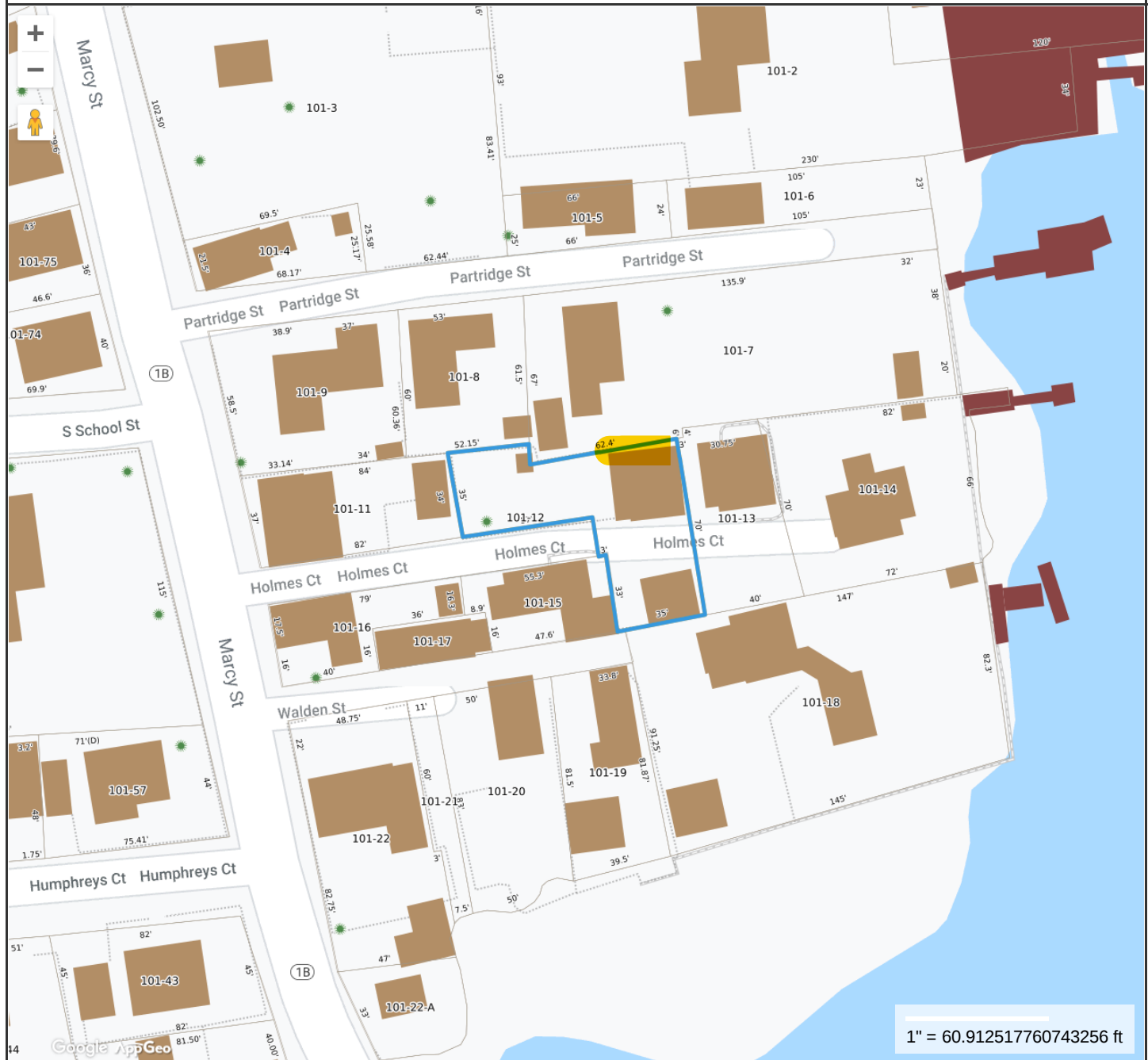
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**Email Address**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

## 33 Holmes Court

**Property Information**

**Property ID** 0101-0012-0000  
**Location** 33 HOLMES CT  
**Owner** BOUCHARD BRENDA J REVOC TRUST OF 1999



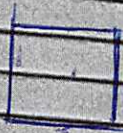
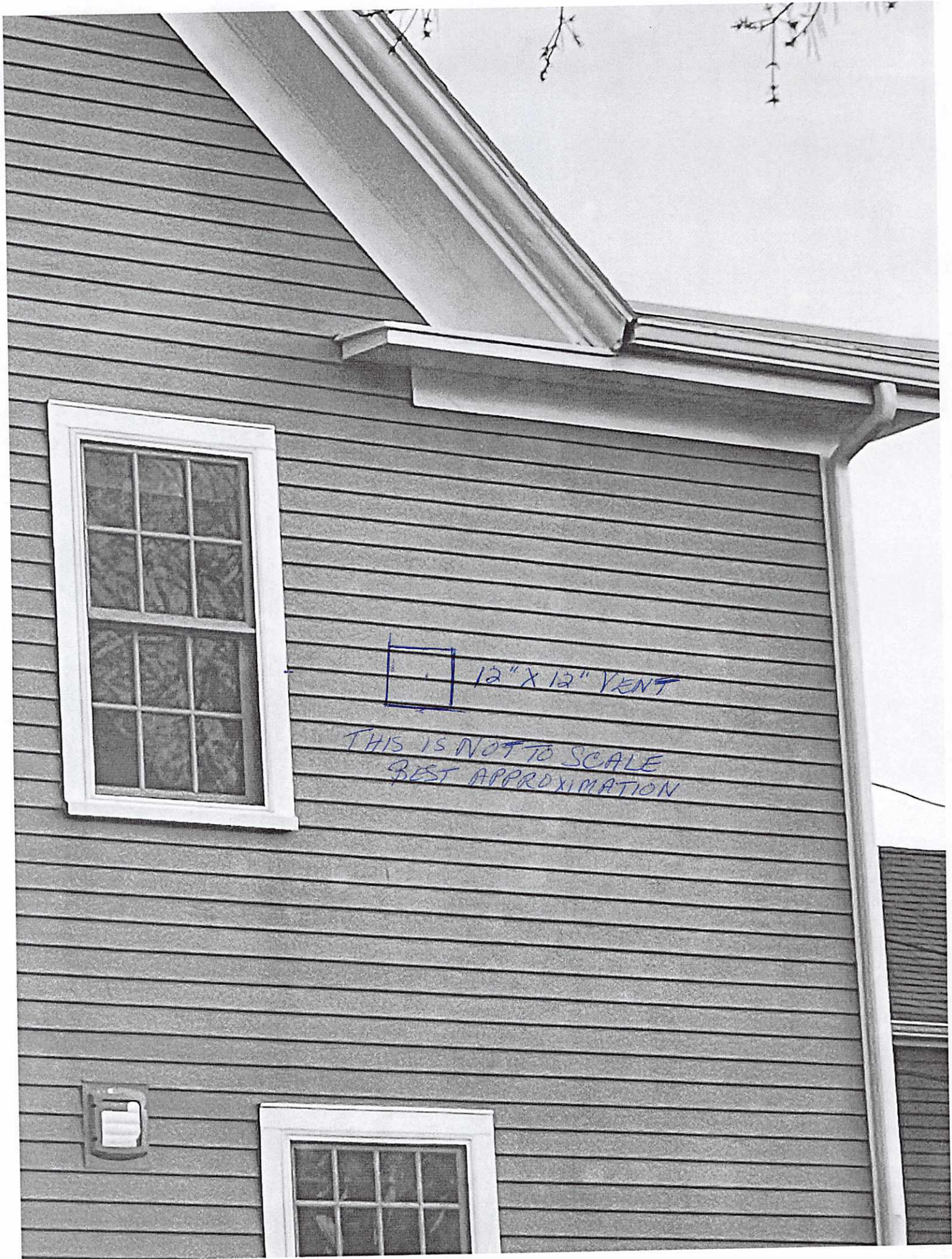
**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019  
 Data updated 7/17/2019

Print map scale is approximate.  
 Critical layout or measurement activities should not be done using this resource.





12" X 12" VENT

THIS IS NOT TO SCALE  
BEST APPROXIMATION



Seeking approval to install a gas fireplace in the second-story family room, which will have an exterior vent that is approximately 12"x12". In below photo the vent will be located to the right of the window. Planning to install the Kozy Heat SP34 direct vent fireplace described in attached brochure





# SP41 & SP34

DIRECT VENT FIREPLACES

SP41 with a Standard screen front  
and optional Black Glass panels



QUALITY FIREPLACES FOR LIFE.

KOZY  HEAT  
FIREPLACES



SP34 Prairie Design Overlay  
optional Black Glass panels

## SP41 & SP34 SERIES

### Fronts



**Arched Prairie Design Overlay**  
No Black Glass panels



**Prairie Design Overlay**  
with optional Black Glass panels



**Standard Screen Front**  
with optional Black Glass panels





SP34 Arched Prairie Design  
Overlay and optional Black Glass  
panels

## SP41 & SP34 SERIES

### Media Kit Option



Log Set

### Control Options

#### IPI Control (Standard on SP41-L)

KOMFORT CONTROL



Komfort Kontrol Remote

#### Millivolt Option Controls



Thermostat Remote or  
Deluxe On/Off Remote



Wired or Wireless Wall  
Mount Thermostat



Wireless  
wall switch

### Burn Video



SP41

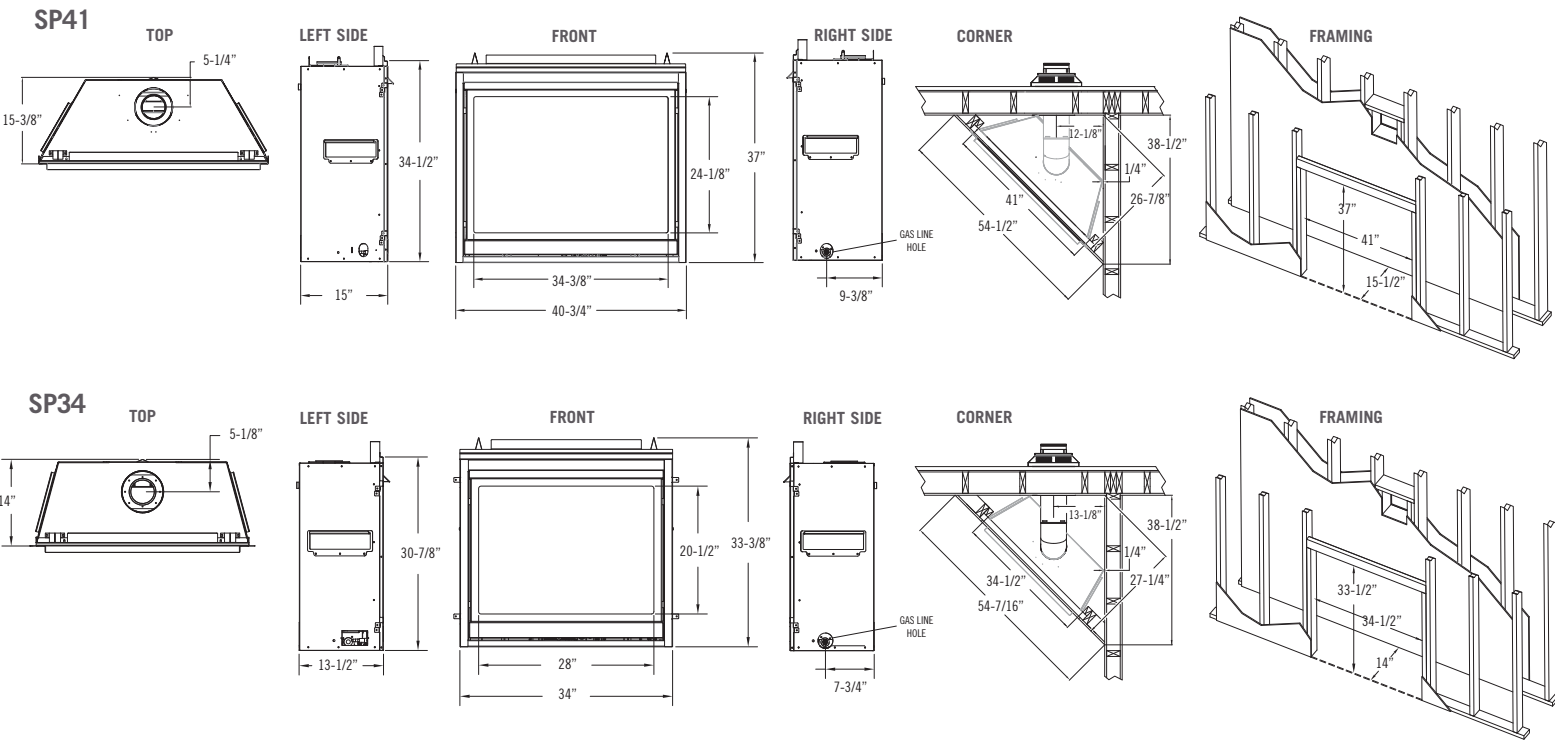


SP34

# SP41 & SP34 SERIES

## Specifications

Fireplace brochures are for advertising purposes only.  
Refer to the specific fireplace manual for installation.



Model	SP41	SP34
Height	34-1/2"	30-7/8"
Width	40-3/4"	34"
Back Width	24-1/8"	27"
Depth	15"	13-1/2"
Weight	143 lbs	90 lbs
Viewing Area	34-3/8" x 24-1/8"	28" x 20-1/2"
BTU NG High / Low	28,000 / 14,000	20,500 / 14,000
BTU LP High / Low	28,000 / 14,000	20,500 / 15,000
ENERGUIDE P.4 NG / LP	74.05% / 74.55%	74.57% / 74.36% (LE) 73.74% / 73.3% (MV)
Steady State NG / LP	77.56% / 77.64%	73.82% / 76.68%
AFUE % NG / LP	71.11% / 71.19%	67.17% / 68.91%
Ceramic Media	Standard	Standard
Valve System	IPI & Millivolt	IPI & Millivolt
Fan Kit	Optional in MV Standard in IPI	Optional
Screen Front	Included	Included

Features, Options & Specifications are subject to change.

Each unit factory tested  
Certified to ANSI Z21.88 Vented Gas Heaters

### Clearances

Model	SP41	SP34
From appliance top stand-off bracket	0"	0"
From facing material 1" (25mm) stand off	0"	0"
From appliance back stand offs	0"	0"
From appliance corners	1/4"	1/4"
From appliance front	36"	36"
From appliance top to ceiling	25"	12"
Appliance sides to adjacent sidewall	4-1/2"	4-1/2"
Fireplace enclosure floor to 3/4" (19mm) trim	37-1/8"	33-1/2"
Mantel 6" deep from fireplace enclosure floor	40-1/2"	37"

Refer to the installation manuals for complete installation & venting requirements. See additional mantel clearance configurations in the installation manual.

### Vent System Approval & Requirements

This appliance is equipped for use with a 4" exhaust by 6-5/8" air intake co-axial vent pipe system. This appliance is approved for use with Kozy Heat 4" x 7" #700 Series Flexible Direct Vent System (horizontal terminations only).

Other approved vent manufacturers (horizontal and vertical terminations): American Metal Products (Ameri-Vent), BDM, ICC, Metal Fab, Olympia Chimney Supply, Inc., Selkirk, and Simpson DuraVent.

This appliance can be adapted to use 3" x 3" flexible co-linear vent pipes when used in combination with an existing minimum 6" x 8" ID masonry or 7" class A metal chimney.

Elbows: For each additional 90° elbow used after the first elbow, 3' must be subtracted from the maximum venting allowed. For each additional 45° elbow used after the first elbow, 1 1/2' must be subtracted from the maximum venting allowed. Note: (2) 45° elbows = (1) 90° elbow.

#### Horizontal Terminations

Minimum: 90" + 6" + cap  
Maximum: See Manual

#### Vertical Terminations Co-axial

Minimum: 3' + vent cap  
Maximum: 50' + vent cap

#### Vertical Terminations Co-linear

Minimum: 10' + vent cap  
Maximum: 50' + vent cap

In order to continually provide the highest quality product available, features/options, specifications & dimensions are subject to change. Refer to the unit installation manual for complete installation instructions. Installation must conform with local building codes. In some regions it may be possible that this appliance qualifies for an energy rebate. See your local dealer for details regarding promotions and qualifications.

Manufactured by Husson Mfg. Co., Inc.  
204 Industrial Park Road, Lakefield, MN 56150  
Phone 1-800-253-4904 www.kozyheat.com

4-20



Product Line:



For complete information on the Kozy Heat product line, please contact us at:

FOR CALIFORNIA RESIDENTS ONLY  
California Proposition 65 Warning

WARNING: This product can expose you to chemicals including Carbon Monoxide, that is an externally vented by-product of fuel combustion, which is [are] known to the State of California to cause birth defects or other reproductive harm. For more information, visit www.P65Warnings.ca.gov.



## 2. 37 South Street - Recommended Approval

**Background:** The applicant is seeking approval for the replacement of an existing exterior door to be replaced with a new window.

**Staff Comment:** Recommended Approval

### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-403**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Nov 11, 2021**Applicant**

kevin charette  
kct@comcast.net  
37 south street  
portsmouth, nh 03801  
8607127136

**Location**

37 SOUTH ST  
Portsmouth, NH 03801

**Owner:**

CHARETTE KEVIN THOMAS & CHARETTE LORI WILLS  
37 SOUTH ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Expand existing first floor half bath to add a walk-in shower (building permit filed on November 1 BLDG-21-930)

Existing exterior door to be removed and replaced with a similar sized 80x32 Harvey insulated and tempered window with grille

New window is toward rear of the house (west side) with little visibility from the street and/or pond view

Window will be in the vicinity of the new walk-in shower and as such will be acid etched with an approximate 2 inch vinyl edge around the perimeter of the window to handle interior moisture

Window will be installed / framed-in such that the exterior of the window will be fully trimmed with wood exactly as existing house windows.

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

--

**Planning Staff Comments**

# PORTLAND GLASS PORTSMOUTH, NH 03801

- Home (<https://harvey.wtsparadigm.com>) / My Quotes (<https://harvey.wtsparadigm.com/quotes>)
  - / Quote 5194192 (<https://harvey.wtsparadigm.com/quotes/9edbe1da-a5a0-47b1-af82-66f3fb48cc69>)
  - / Line Items (<https://harvey.wtsparadigm.com/quotes/9edbe1da-a5a0-47b1-af82-66f3fb48cc69/line-items>)
  - / Edit Line 10000

## Classic PW Vinyl Picture Window for Slimline

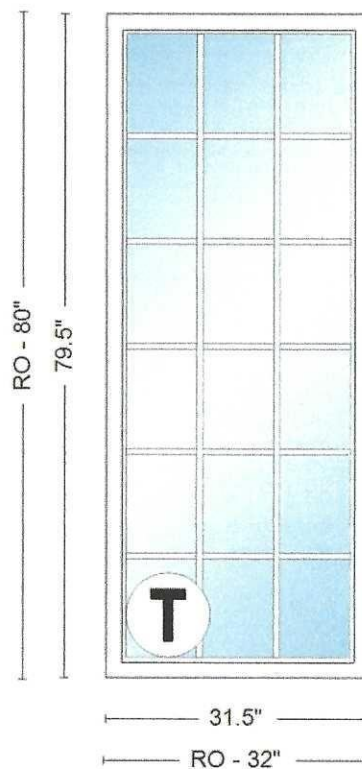
Product Selection ✓

SIZE & COLOR ✓

GLASS & GRILLES ✓

ADDITIONAL OPTIONS ✓

GENERAL INFO ✓



Zoom In

### Size Options

☒ Custom Size ☐ Standard (New Construction)

### Measurement Type

☐ Frame Size ☒ Rough Opening



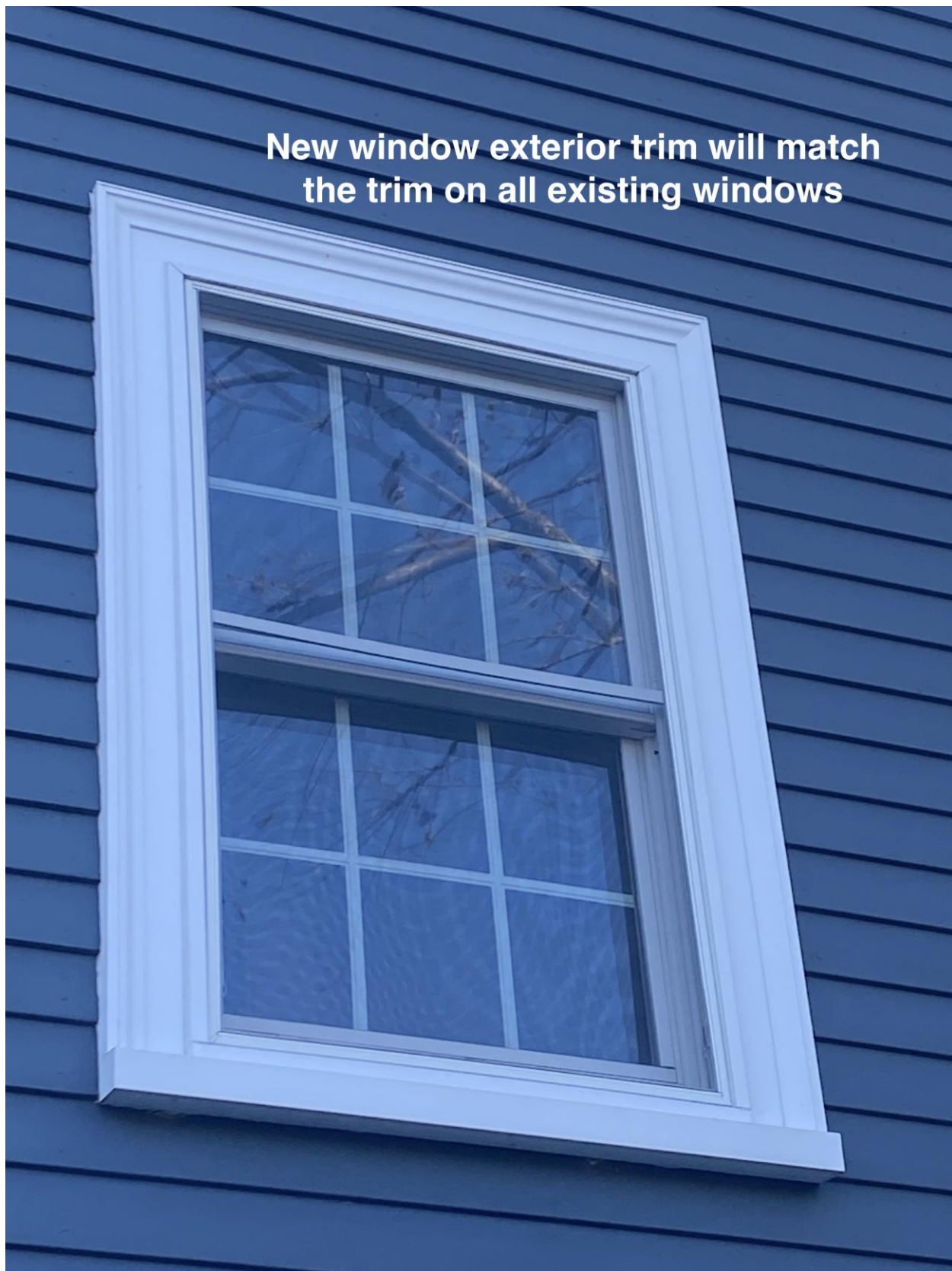
**Existing door  
to be replaced  
with similar  
sized window  
including  
grille**

**Window will  
be trimmed in  
wood to  
exactly match  
existing house  
windows**

**(Note: Exit  
steps were  
never installed  
by prior  
owner)**



**New window exterior trim will match  
the trim on all existing windows**





**View from backyard between homes**





**Street/Sidewalk view  
between 37 and 47  
South Street**

Overall Frame Width (Inches)

31.5

Overall Frame Height (Inches)

79.5

Rough Opening Width

32

Rough Opening Height

80

Rough Opening Width (Inches)

32

Rough Opening Height (Inches)

80

Frame Width (Inches)

31.5

Frame Height (Inches)

79.5

Application Type



Replacement



New Construction





### Unit Type

- ☒ Complete Unit ☐ Glass Only ☐ Exterior Grille Only ☐ Interior Grille Only ☐ Extension Jamb Only  
★ ★ ★ ★ ★  
☐ Master Frame Only ☐ Glazing Bead ☐ PW Interior Glazing Bead Only ☐ Interior Trim Kit Only  
★ ★ ★ ★ ★  
☐ J-Channel Pocket Filler Only ☐ Extension Jamb Receiver Cover ☐ Head Expander ☐ Sill Expander  
★ ★ ★ ★ ★

### Transactional Order Type

- ☒ Charge Order  
★


### Unit Color

		
White	Almond	Bronze
★	★	★

### Painted Unit

- ☒ No ☐ Yes  
★ ★

### Painted Color Location


None
None
★

### Touch-Up Paint

- ☒ No  
★

[Save Line](#)

## Summary

### PRODUCT SELECTION



### SIZE & COLOR

Size Options:  
Custom Size

Measurement Type:  
Rough Opening

Overall Frame Width (Inches):  
31.5

Overall Frame Height (Inches):  
79.5

Rough Opening Width:  
32

Rough Opening Height:  
80

Rough Opening Width (Inches):  
32

Rough Opening Height (Inches):  
80

Frame Width (Inches):  
31.5

Frame Height (Inches):  
79.5

Application Type:  
New Construction

Unit Type:  
Complete Unit

Transactional Order Type:  
Charge Order

Unit Color:  
White

Painted Unit:  
No

Painted Color Location:  
None

Touch-Up Paint:  
No



### 3. 239 Northwest Street - Recommended Approval

**Background:** The applicant is seeking approval for the installation of a sub-pump discharge outlet and the removal of the bulkhead to replace with HVAC equipment.

**Staff Comment:** Recommended Approval

#### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



City of Portsmouth, NH

11/19/2021

**LUHD-404**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Nov 12, 2021**Applicant**

Michael Petrin  
239northwest@gmail.com  
PO Box 899  
Durham, New Hampshire 03824  
6032649610

**Location**

239 NORTHWEST ST  
Portsmouth, NH 03801

**Owner:**

PETRIN MICHAEL GEORGE (12.3% INT) & LAVERRIERE KATIE MARIE  
PO BOX 899 DURHAM, NH 03824

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Add a sub-pump discharge outlet, remove bulk head and replace with HVAC

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

--

**Planning Staff Comments**

--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

**Owner Addressee Prefix and Last Name**

--

**Owner Organization / Business Name****Owner Contact Street Address**

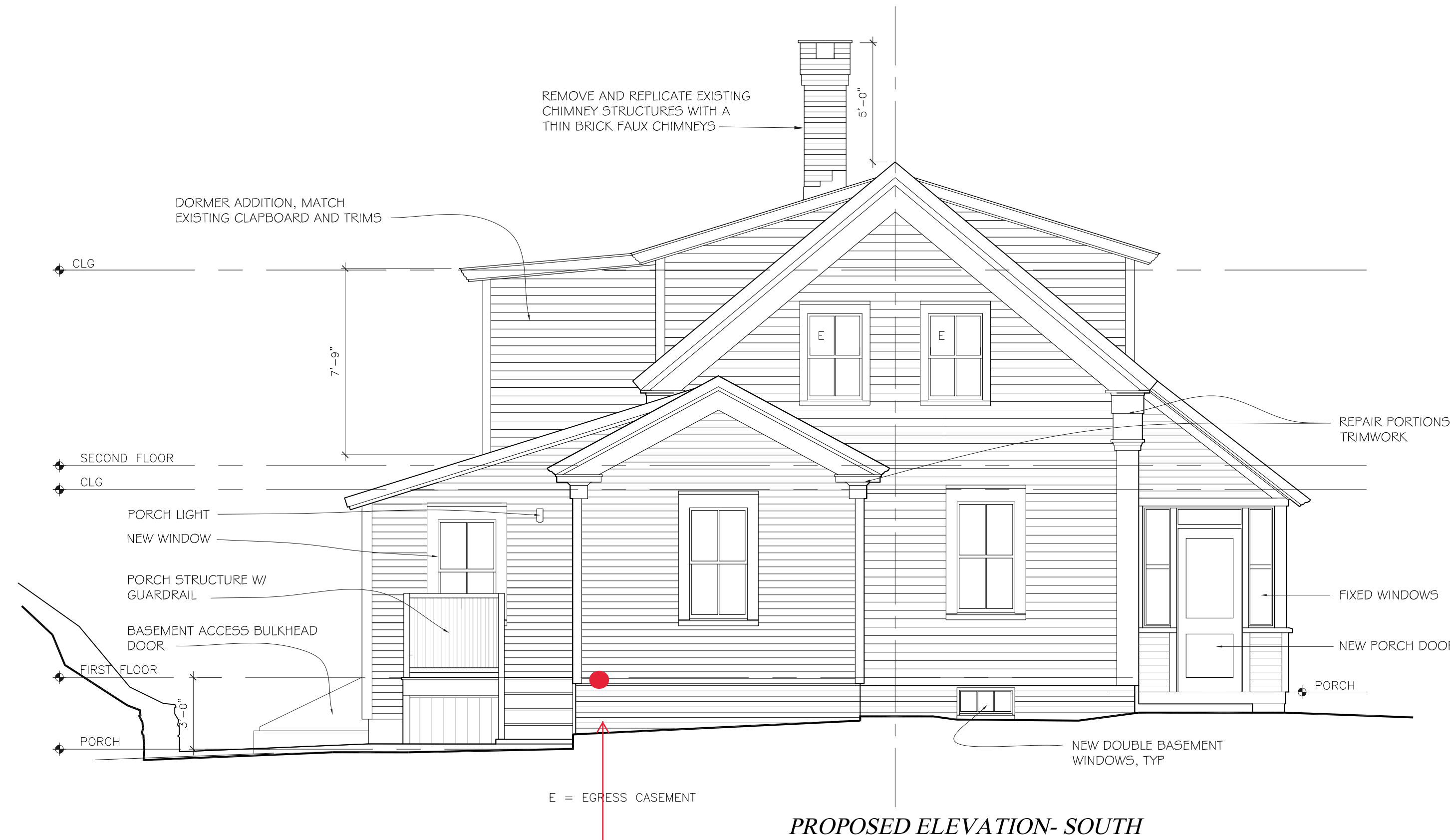
Michael Petrin & Katie Laverriere  
239 Northwest St, Portsmouth NH 03801  
Mailing Address:  
PO BOX 899  
Durham, NH 03824

## **Project Information for 239 Northwest St**

### **Brief Description of Proposed Work for Administrative Approval**

1. Propose adding a sub-pump discharge outlet on the south side of the home. This outlet discharge location leads directly into storm drain.
2. Propose removing bulkhead and adding HVAC system in same location on the west side of the home. The west side of the home faces RT 1 Bypass.





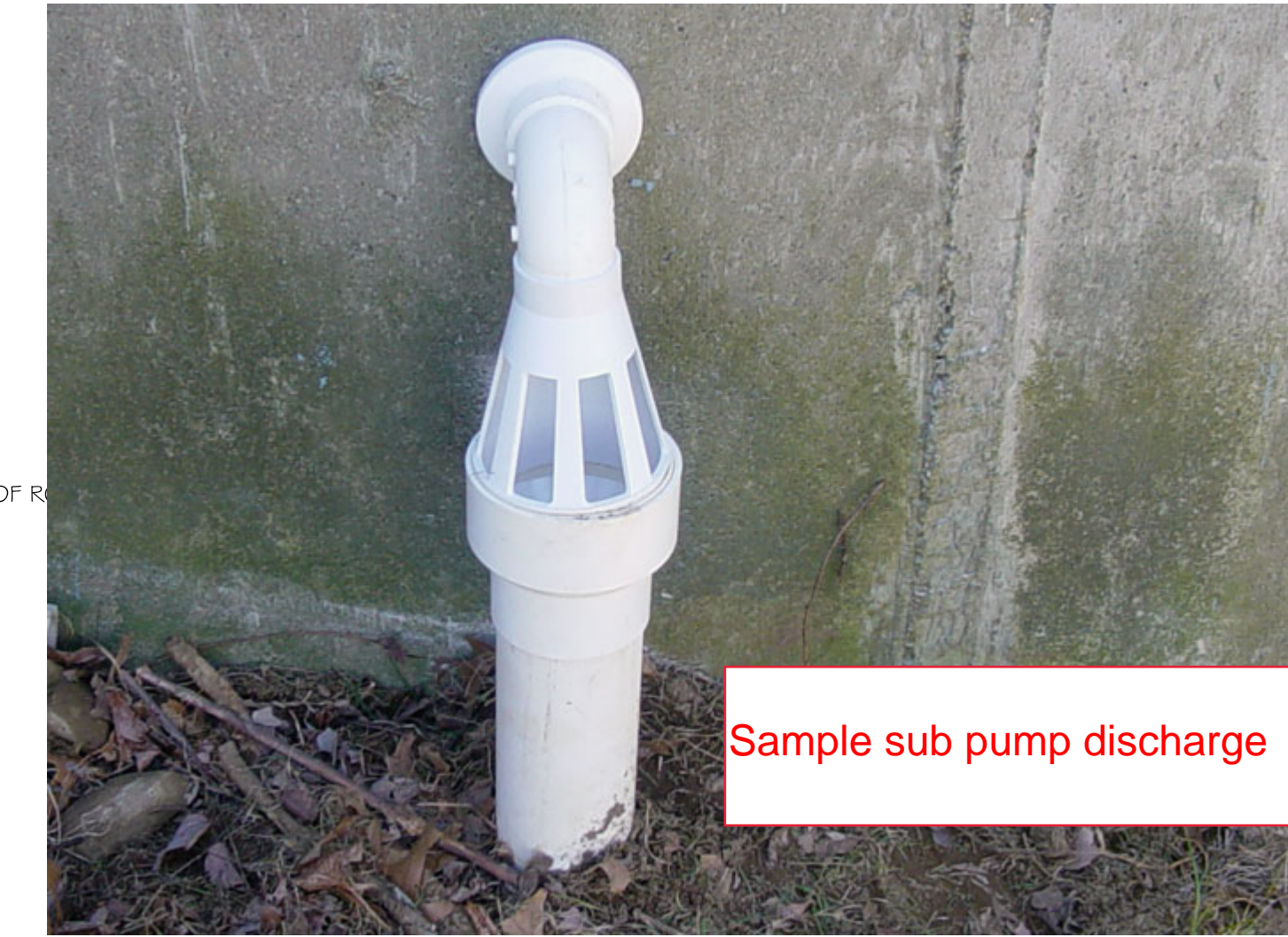
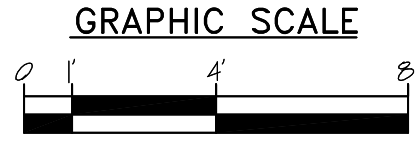
PROPOSED ELEVATION- SOUTH

Sub pump was previously draining directly into home's sewer line. This method is no longer authorized. We received authorization to have sub pump outlet directly into nearby storm drain.

Red dot represents sub pump approximate location



EXISTING ELEVATION- SOUTH



Sample sub pump discharge

NOTE: ALL DIMENSIONS AND CONDITIONS ARE TAKEN FROM DATA SUPPLIED BY THE CITY OF PORTSMOUTH, MAPGEO AND FIELD MEASUREMENTS.

NOTE: THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION PURPOSES.



PHOTO- LOOKING NORTH

Red box represents approximate storm drain location

MARTIN RYAN ARCHITECT  
221 Westbury Ave  
Portsmouth, NH 03801  
603-432-8635

PERMIT SET

15 SEP 2020

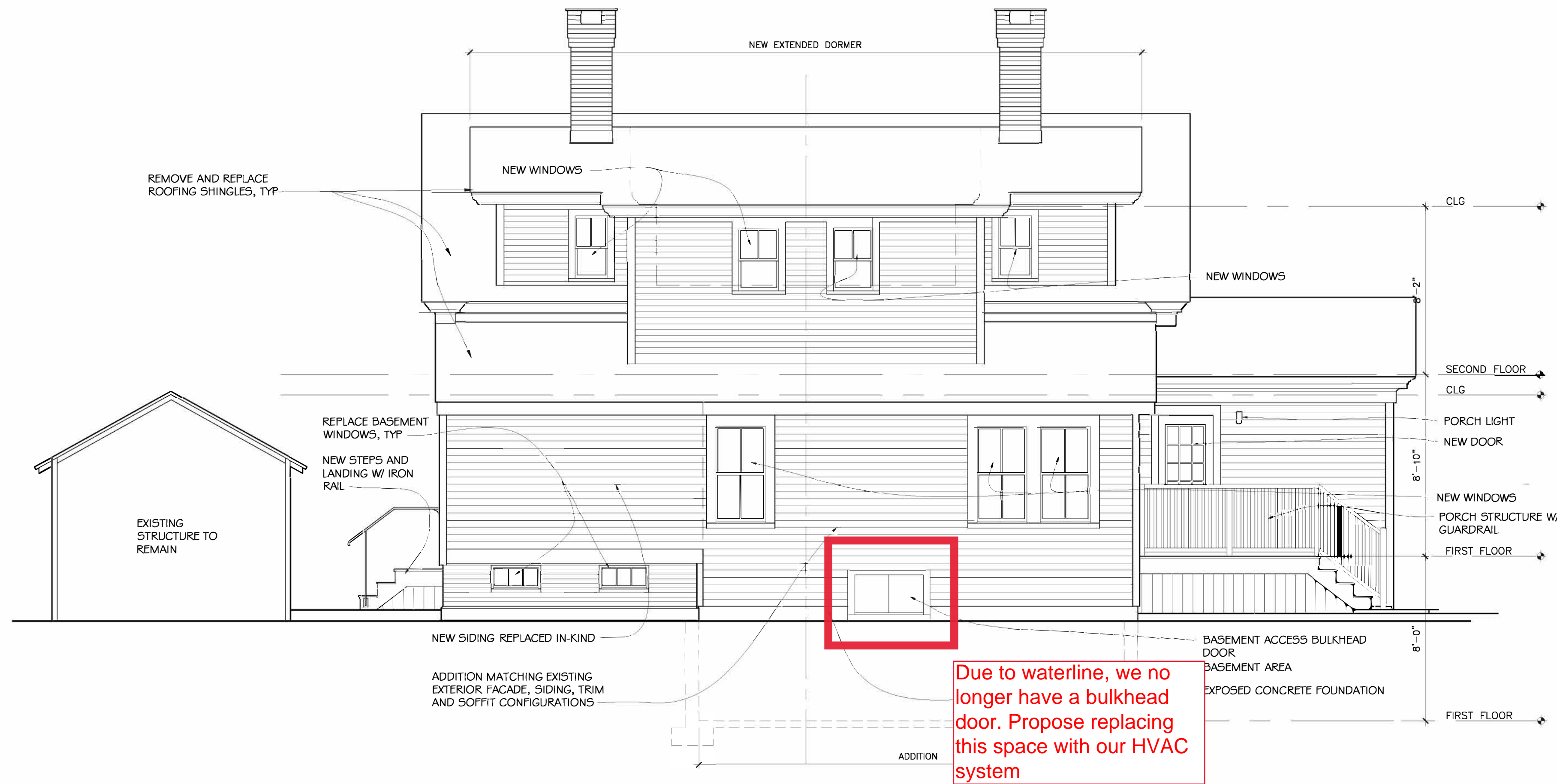
239 NORTHWEST STREET  
PORTSMOUTH  
NEW HAMPSHIRE

DATE: --	DESIGN: --
DRAWN: MLR	CHECKED: XX
SCALE:	JOB:

SOUTH  
ELEVATION

A3

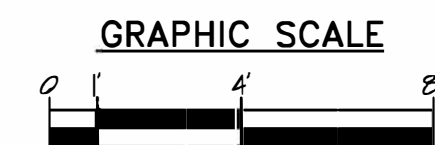




PROPOSED ELEVATION- WEST



EXISTING ELEVATION- WEST



Sample HVAC system outside of house

NOTE: ALL DIMENSIONS AND CONDITIONS ARE TAKEN FROM DATA SUPPLIED BY THE CITY OF PORTSMOUTH, MAPGEO AND FIELD MEASUREMENTS.

NOTE: THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION PURPOSES.



PHOTO- FROM ROUTE 1

MARTIN RYAN ARCHITECT  
221 Westbury Ave  
Portsmouth, NH 03801  
603-522-8630

PERMIT SET  
15 SEP 2020

239 NORTHWEST STREET  
PORTSMOUTH  
NEW HAMPSHIRE

DATE: —  
DESIGN: —  
DRAWN: MLR  
CHECKED: XX  
SCALE:  
JOB:

WEST  
ELEVATION

A4



NOTE: THESE DRAWINGS ARE NOT INTENDED FOR CONSTRUCTION PURPOSES.



MARTIN RYAN ARCHITECT  
221 Woodbury Ave  
Portsmouth, NH 03801  
603-502-8635

PERMIT SET  
15 SEP 2020

239 NORTHWEST STREET  
-  
PORTSMOUTH  
NEW HAMPSHIRE

DATE: --
DESIGN: --
DRAWN: MLR
CHECKED: XX
SCALE:
JOB:

# SITE PLAN

S1



<b><u>ZONE- GRA</u></b>			
OWNER: PETRIN			
PROPERTY: 239 NORTHWEST ST			
PORTSMOUTH, NH			
ZONE- GRA			
REFERENCE # 0122-0003-0000			
<b><u>5.4 DIMENSIONAL REQUIREMENTS</u></b>	<b><u>REQUIRED</u></b>	<b><u>EXISTING</u></b>	<b><u>PROPOSED</u></b>
MINIMUM LOT AREA	7,500 SF	4,791 SF	NON-CONFORMING
MIN LOT PER DWELLING	7,500 SF	4,791 SF	NON-CONFORMING
MIN LOT DEPTH	70 LF	53 LF	NON-CONFORMING
MAX BUILDING COVERAGE	25%	56% CURRENTLY	38%
MIN OPEN SPACE	30%	25%	22%
MINIMUM FRONTAGE	100 LF	85.2 LF	NON-CONFORMING
MIN FRONT YARD	15 LF	> 1 LF	NON-CONFORMING
MIN SIDE YARD	10 LF	5 LF TO SOUTH, 14'-9" TO THE NORTH	NC
MINIMUM REAR YARD	20 LF	33 LF	NON-CONFORMING
MAX BUILDING HEIGHT	35 LF	>24'-0"	NON-CONFORMING



#### 4. 33 Northwest Street - Recommended Approval

**Background:** The applicant is seeking approval for the replacement of an existing wood fence that was damaged by weather, with a new cedar fence.

**Staff Comment:** Recommended Approval

#### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-406**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Nov 15, 2021**Applicant**

Rebecca Bernier  
rebeccalbernier@gmail.com  
33 NORTHWEST ST  
PORTSMOUTH, NH 03801  
6037677698

**Location**

33 NORTHWEST ST  
Portsmouth, NH 03801

**Owner:**

Rebecca Bernier  
33 NORTHWEST ST Portsmouth, New Hampshire 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Replacing old fence which was destroyed by weather with a new fence. Cedar wood. It will be erected where the old fence was right up against the retaining wall.

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

--

**Planning Staff Comments**

--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

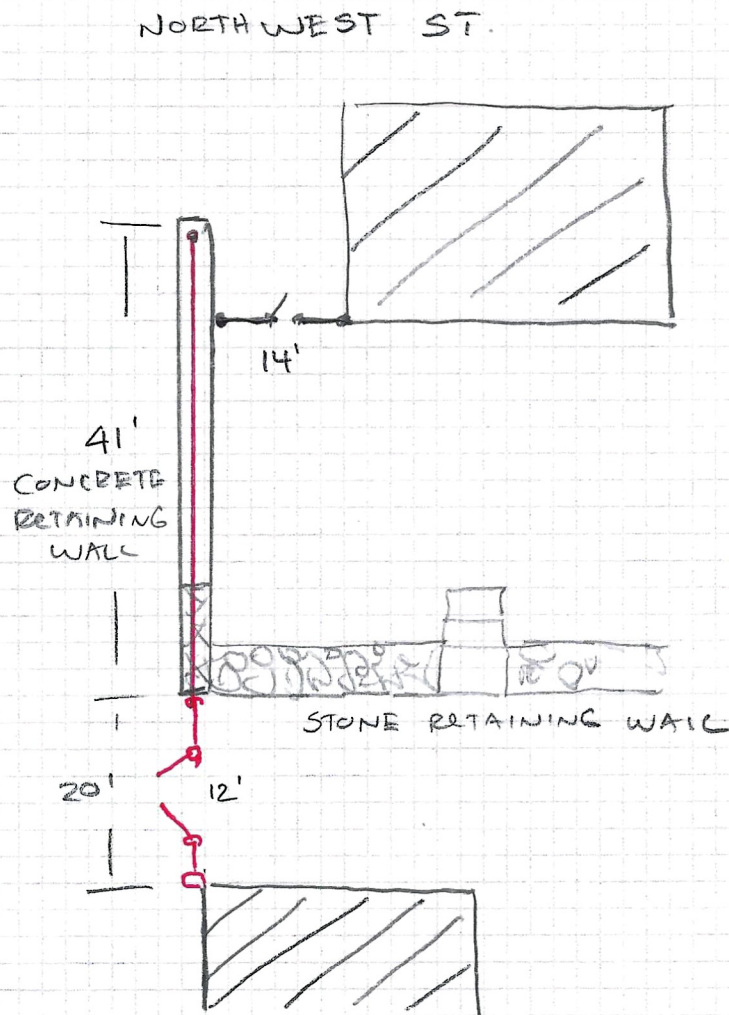
--

**Owner Addressee Prefix and Last Name**

--

**Customer Job Layout**

Name BERNIER  
Address 33 NORTH WEST ST.  
PORTSMOUTH, NH  
Phone 264-2758  
Email MICHEAL.BERNIER@GMAIL.COM

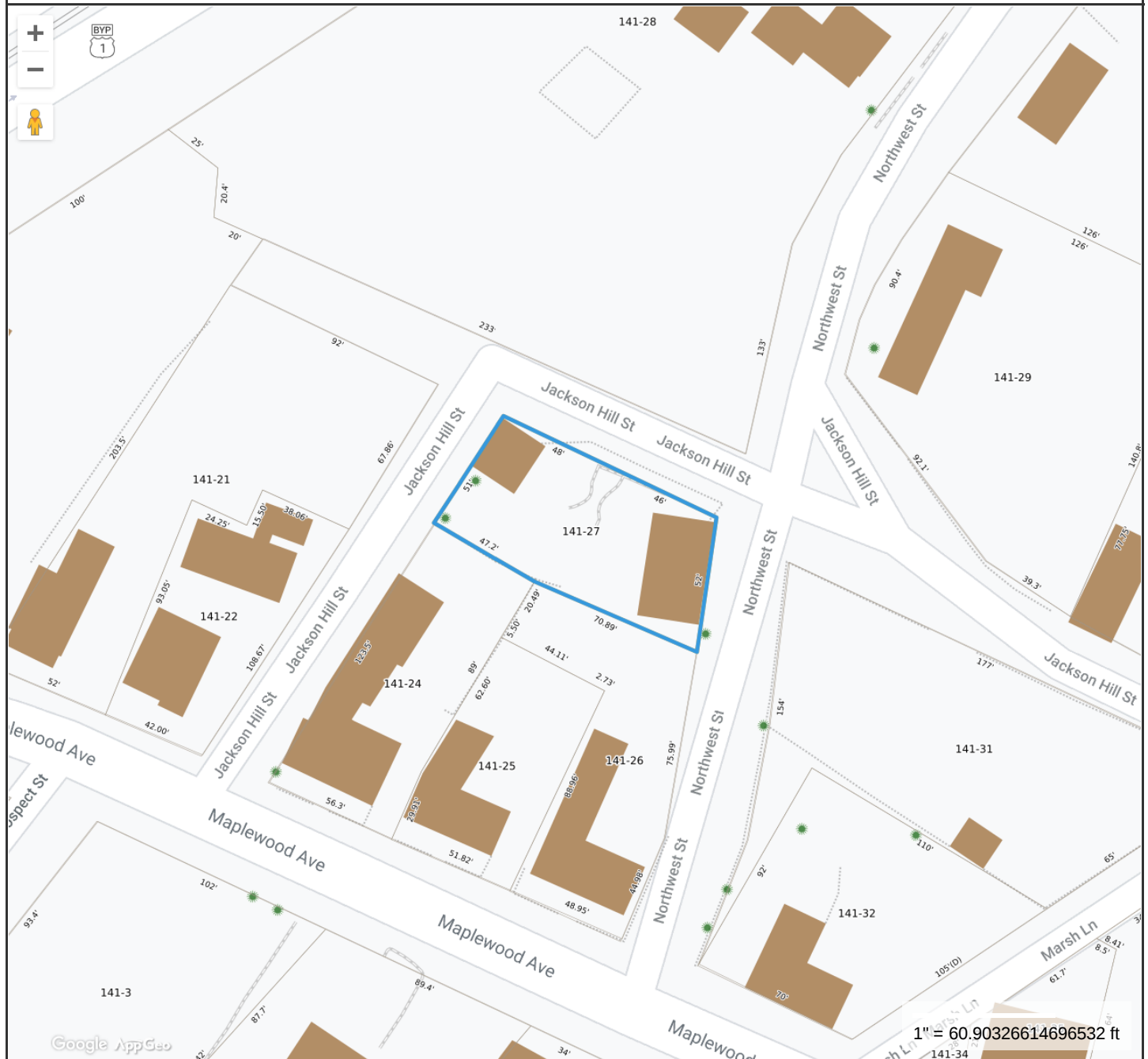


Notes: NTS

—●— = 4' ALUMINUM FENCE

—○— = 5' CEDAR FENCE

## 33 Northwest Street

**Property Information**

**Property ID** 0141-0027-0000  
**Location** 33 NORTHWEST ST  
**Owner** BERNIER REBECCA L



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019  
 Data updated 7/17/2019

Print map scale is approximate.  
 Critical layout or measurement activities should not be done using this resource.





## 5. 401 State Street, Unit M502 - Recommended Approval

**Background:** The applicant is seeking approval for the replacement of (2) windows in the unit.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-408**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Nov 18, 2021**Applicant**

SANDRA LORUSSO  
sandra.lorusso@gmail.com  
401 State Street  
M502  
Portsmouth, NH 03801  
603 205 0603

**Location**

401 STATE ST Unit M502  
Unit M502  
Portsmouth, NH 03801

**Owner:**

LORUSSO SANDRA J  
401 STATE ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Window replacement

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Other

**If you selected "Other", please state relationship to project.**

installer

**Full Name (First and Last)**

Melinda McLaughlin

**Business Name (if applicable)**

Ricci Lumber

**Mailing Address (Street)**

105 Bartlett

**City/Town**

Portsmouth

**State**

NH

**Zip Code**

03801

**Phone**

603-427-2890

**Email Address**

sales@riccilumber

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**









## **Contract for Purchase and Installation**

**CLIENT:** Sandra Lorusso

**DATE:** 8/28/2021

**Contact #:** 603-205-0603

**Specialist:** Melinda

This contract is for the materials listed below per Ricci Lumber quote. Any changes to the listed specifications, other than those originally agreed upon, are the purchaser's responsibility. Price subject to change if job site conditions require additional materials or work unforeseen upon time of this contract.

### **PRODUCT SPECIFICATIONS:**

**Manufacturer:** Andersen (Windows – Quote #1196432)

**SCOPE OF WORK:** Remove and Dispose of (2) existing Windows and Install (2) new Windows. (Ricci Install Quote #26045)

**NOTE:** All permits that are required by Town or State, are the responsibility of the homeowner.

**Terms:** Upon order placement, a **non-refundable deposit** is required. The above items are considered Special Order and are non-cancelable and non-returnable. Immediate pick-up or tailgate delivery will be scheduled upon receipt of merchandise. It is the purchaser's responsibility to provide storage for the merchandise. Balance due to be paid day before installation or delivery. **Ricci supply typical terms and conditions included by reference**

**\*\*Items special ordered cannot be cancelled, changed or returned.** The customer assumes all responsibility for these products, with the exception of material damages, shortages or defects covered by a warranty. Ricci Lumber will place this order as accepted by the customer, but cannot control the delivery time by the manufacturer. All agreements between these parties are contingent upon labor troubles, strikes, lockouts, fire, flood, accidents or other conditions beyond Ricci Lumber control. The customer is to have said items, as listed, removed within 20 days of delivery notification. Items left over 30 days may be subject to storage charges or may become the property of Ricci Lumber.

I understand wood is a natural product and will vary from sample. The samples serve only to indicate in a general way the color, marking, and textures usually found in a variety of the materials chosen. By signing I agree that the list of materials to be ordered, profiles, colors, woods, sizes, dimensions and finishes were shown to me and are what I want.

In the event of defects and /or apparent or hidden damages of products supplied by Ricci Lumber, we will exchange said products or materials at no charge, provided that the defect or damage was not due to alterations by homeowner or installer, misuse, abuse or neglect. In the event that products supplied by Ricci Lumber do not conform to the approved plan and measurements, we will replace said products at no charge.

**Andersen Windows: \$2,371.64**

**Labor, install materials and disposal: \$1,789.54**

**Total: \$4,161.18**

**Deposit required: \$3,323.68**

**Balance due upon completion: \$837.50**

I have reviewed and agree with the listed above quote and attached information. I understand this is a legal contract and I understand all the terms of this agreement. I wish to place an order based on the quote as is.

Customer's Signature \_\_\_\_\_ Date \_\_\_\_\_

Please Print Name \_\_\_\_\_

Address \_\_\_\_\_

Specialist Signature \_\_\_\_\_

Please sign and return a copy of the contract along with deposit

Ricci Lumber  
105 Bartlett Street  
Portsmouth N.H. 03801  
ATTN: Kara Remick  
Email: Kremick@riccilumber.com

NEW HAMPSHIRE LAW, RSA 359-G, CONTAINS IMPORTANT REQUIREMENTS YOU MUST FOLLOW BEFORE YOU MAY FILE A LAWSUIT OR OTHER ACTION FOR DEFECTIVE CONSTRUCTION AGAINST THE CONTRACTOR WHO CONSTRUCTED, REMODELED, OR REPAIRED YOUR HOME. SIXTY DAYS BEFORE YOU FILE YOUR LAWSUIT OR OTHER ACTION, YOU MUST SERVE ON THE CONTRACTOR A WRITTEN NOTICE OF ANY CONSTRUCTION CONDITIONS YOU ALLEGE ARE DEFECTIVE. UNDER THE LAW, A CONTRACTOR HAS THE OPPORTUNITY TO MAKE AN OFFER TO REPAIR AND/OR PAY FOR THE DEFECTS. THERE ARE STRICT DEADLINES AND PROCEDURES UNDER STATE LAW, AND FAILURE TO FOLLOW THEM MAY AFFECT YOUR ABILITY TO FILE A LAWSUIT OR OTHER ACTION."

Warranties: Ricci Lumber (Ricci) shall extend to the Customer all manufacturer's warranties and related documentation pertinent to the goods and materials sold pursuant to the provisions of this contract. However, Ricci assumes no liability and extends no warranties, whether express or implied, pertinent to such goods and materials and shall not be liable for any defect related to them. Further, the Customer acknowledges that this contract is strictly between the Customer and Ricci and that no officer, employee, or agent of Ricci shall be subject to suit or be deemed personally liable for any dispute or the consequences thereof that may arise from the performance of this contract.

**Disputes:** Any dispute asserted by the Customer concerning Ricci's performance under this contract shall be resolved pursuant to the provisions of New Hampshire Law, RSA 359-G. To the extent that the procedures identified in RSA 359-G do not result in resolution of the dispute, the parties agree that the Customer's dispute shall be resolved by mediation or binding arbitration at the election of Ricci which shall be made within 30 days following its receipt of written notice from the Customer that further dispute resolution is requested. Nothing in this paragraph shall be construed, however, to prevent Ricci from itself asserting its rights in any court of competent jurisdiction to collect payment on any sums due and payable from the Customer for work performed and materials delivered to or for the benefit, at the direction or request, or with the knowledge and consent of the Customer, without any need on the part of Ricci to first engage in any out-of-court dispute resolution procedure with the Customer to the extent that no reasonable, material dispute about the Ricci's satisfactory performance may exist.

**Attorney Fees, Interest and Costs:** The Customer shall pay to Ricci interest on any unpaid balance due to Ricci at the rate of 18% per annum, computed monthly beginning 30 days after such balance becomes due and payable, and shall reimburse Ricci for its attorney fees and costs of collection incurred in the event of any non-payment by the Customer.

**Severability and Enforcement:** If any provision of this contract shall be deemed unenforceable by a court of competent jurisdiction, such determination shall not affect the validity of any other provision of this contract, which shall be interpreted and enforced under the laws of the State of New Hampshire.





**Ricci Lumber**  
 105 Bartlett Street  
 Portsmouth, New Hampshire 03801  
 Phone: (603) 436-7480  
 Fax: (603) 436-2194  
 Email: Sales@riccilumber.com

# Quotation

**Quote No** **26045**  
**Quote Date** **08/24/2021**  
**Print Time** **9:22:58AM**

**Expiration Date** 08/29/2021  
**Customer** 90253  
**Contact Name** Sandra Lorusso  
**Contact Number** 603-205-0603  
**Job Code**  
**Your Ref** MM - LORUSSO INSTALL  
**Delivery** By 08/24/21  
**Taken By** Melinda McLaughlin  
**Sales Rep** HOUSE

## Invoice Address

**Delivery Address**  
 Millwork Sales  
 401 STATE STREET M 502  
 PORTSMOUTH, NH 03801

**Due to current market conditions, quoted prices are valid for only 5 business days.**



Page 1 of 1

Special Instructions				Notes		
Line	Product Code	Description	Qty/Footage	Price	UOM	Total
1	819379	26100 SEALANT PROFLX CLR 10OZ				
2	106750	187273 PRO WINDOW & DOOR 20oz				
3	106096	BT1350B BRAD 2" X 18GA NAILS 2000 CTN				
4	Labor Charge for Installations	Labor Charge for Installations: Remove and Dispose of (2) existing windows and Install (2) new Windows.				

## PLEASE READ:

There's NO warranty expressed or implied on materials/specs necessary to comply with your project requirements. The purpose of this document is to provide the asker a cost projection only, offering no guarantee of any kind as to the accuracy of the takeoff or the entry of the estimate. The buyer assumes all responsibility for materials needed, used and/or required for the project. Ricci Lumber reserves the right to adjust prices every 30 days based on market conditions after the acceptance of this estimate or first delivery of product. Additionally this estimate does not (unless stated within this form) contain any freight, delivery or sales taxes for materials sourced and/or shipped to the site. Any changes, additions or reductions in the values/products contained within this estimate will require a review and possible repricing based on the new info.

<b>Total Amount</b>	\$1,789.54
<b>Sales Tax</b>	\$0.00
<b>Quotation Total</b>	\$1,789.54

Buyer \_\_\_\_\_ Date \_\_\_\_\_

Subject to our terms and conditions of sale. Further copies available on request.

PRICES IN THIS ESTIMATE ARE BASED ON CURRENT MARKET AND CAN BE HELD FOR 10 DAYS ONLY.

**SOLD BY:**

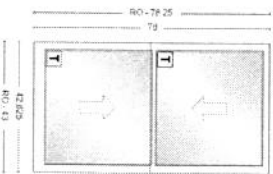
Melinda McLaughlin  
Ricci Lumber  
105 Bartlett St  
Portsmouth, NH 03801  
603-427-2890

**SOLD TO:**

QUOTE DATE
8/24/2021

## Abbreviated Quote Report - Customer Pricing

QUOTE NAME	PROJECT NAME	QUOTE NUMBER	CUSTOMER PO#	TRADE ID
Sandra Lorusso	Woodwright Window Install	1196432		
ORDER NOTES:				
DELIVERY NOTES:				



Item	Qty	Operation	Location	Unit Price	Ext. Price
100	2	AA	None Assigned	\$1,185.82	\$2,371.64
RO Size = 43" x 78 1/4"		Unit Size = 42 5/8" x 78"			

WDHI 3' 6 5/8"X6' 6", Unit, 0 Degrees - Flat, 400 Series Woodwright Double-Hung-WWI, Equal Sash, Dark Bronze Exterior Frame, Dark Bronze Exterior Sash/Panel, Pine w/Unfinished Interior Frame, Pine w/Unfinished Interior Sash/Panel, AA, Dual Pane Low-E4 Tempered Argon Fill Traditional, 2 Sash Locks Stone, Gray/GrayJamb Liner, Dark Bronze, Full Screen, Aluminum

Insect Screen 1: 400 Series Woodwright Double-Hung-WWI, WDHI 42.625 x 78 0 Degrees - Flat Full Screen Aluminum Dark Bronze

Unit #	U-Factor	SHGC	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	0.3	0.31	A1	0.00000	0.00000	0.00000	

**Quote #:** 1196432**Print Date:** 8/28/2021 12:46:38 PM UTC**Page** 1 **of** 2

All Images Viewed from Exterior

SUB-TOTAL:	\$2,371.64
FREIGHT:	\$0.00
LABOR:	\$0.00
TAX:	\$0.00
TOTAL:	\$2,371.64

CUSTOMER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

\* All graphics as viewed from the exterior. \*\* Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors

Quote #: 1196432

Print Date: 8/28/2021 12:46:38 PM UTC

Page 2 of 2

All Images Viewed from Exterior















## 6. 175 Fleet Street - Recommended Approval

**Background:** The applicant is seeking approval for the installation of new HVAC equipment.

**Staff Comment:** Recommended Approval

### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-407**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Nov 16, 2021**Applicant**

STEPHEN KENNEDY  
gilleysdiner@gmx.com  
571 BRACKETT ROAD  
RYE, NH 03870  
603-431-2427

**Location**

175 FLEET ST  
Portsmouth, NH 03801

**Owner:**

KENNEDY ROBERT R/PEARL F IRREVO TRUST & KENNEDY ROBERT  
R/PEARL F TRUSTEES  
251 THAXTER RD PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Installation of Heating/Cooling Unit

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

STEPHEN R KENNEDY - Business Owner

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

--

**Planning Staff Comments**

--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

**Owner Addressee Prefix and Last Name**

--







(603) 969-1806

67 Willard Ave., Portsmouth, NH 03801  
pettigrewplumbingandhvac.com

RECIPIENT:

**Steve Kennedy**

175 Fleet Street

Portsmouth, New Hampshire 03801

**Quote #570**

Sent on

09/22/2021

**Total**

**\$8,800.00**

PRODUCT / SERVICE	DESCRIPTION	TOTAL
Description	Install a HyperHeat Mitsubishi floor mount heat pump for original section of restaurant. Outdoor unit will be mounted on left side of restaurant <del>on a wall bracket.</del>  1) Mitsubishi MUFZKJ18NAHZU1 18K HyperHeat heat pump condenser 1) Mitsubishi MFZKJ18NAU1 18K Floor mount console unit  Includes permit and inspection, all necessary piping and control wiring, Kumo Wi-Fi unit, surge protector, drain, pressure test, evacuate, charge, startup and test. Line voltage service to outdoor unit and disconnect switch inside to be done by others. If you don't have an electrician we can make a recommendation.  Warranty - 1 year parts/labor, Mitsubishi offers 10 year warranty on all parts to original owner with registration.  Terms - \$4,400 deposit / \$4,400 due on completion.	\$8,800.00

**A deposit of \$4,400.00 will be required to begin.**

**Total**

**\$8,800.00**

10/17/2021

*Stephen Kennedy*

Date

Client Signature

All parts and labor, as specified in the proposal, are covered under warranty by Pettigrew Plumbing and HVAC for a period of (1) one year. All work will be completed in a professional and workmanlike manner.

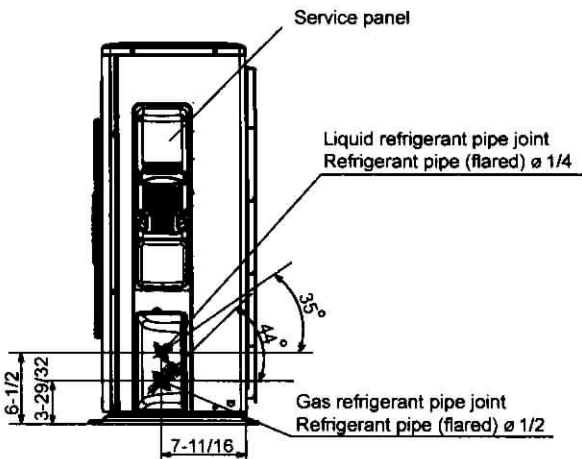
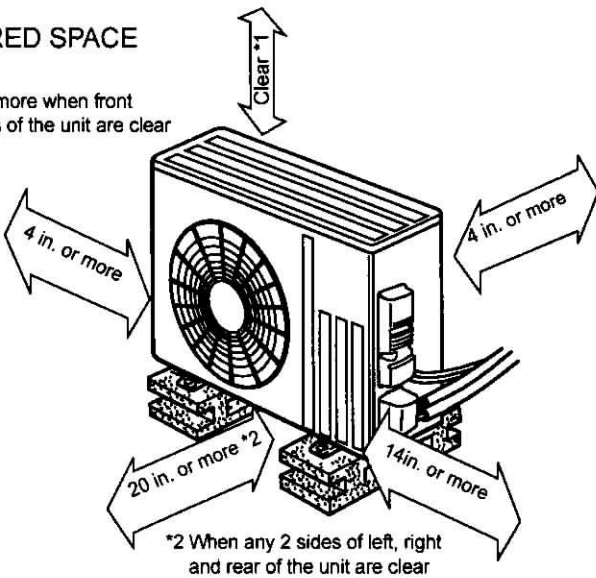
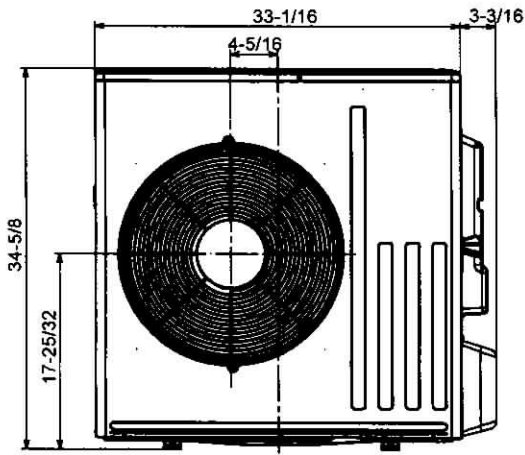
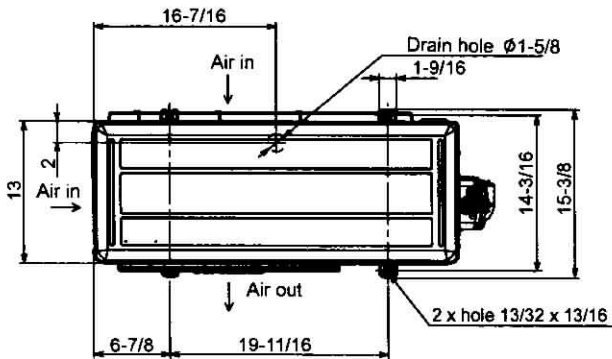
This proposal is only good for thirty (30) days and a signature or electronic signature and acceptance is required for this proposal to be considered valid. We reserve the right to withdraw this proposal any time prior to acceptance.

**DIMENSIONS: MUFZ-KJ18NAHZ**

Unit: inch

## REQUIRED SPACE

\*1 20 in. or more when front  
and sides of the unit are clear



1340 Satellite Boulevard, Suwanee, GA 30024  
Toll Free: 800-433-4822 [www.mehvac.com](http://www.mehvac.com)

FORM# MFZ-KJ18NA / MUFZ-KJ18NAHZ - 201903



Specifications are subject to change without notice.

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# M-SERIES

## SUBMITTAL DATA: MFZ-KJ18NA & MUFZ-KJ18NAHZ 18,000 BTU/H FLOOR-MOUNTED HEAT PUMP SYSTEM



Job Name:

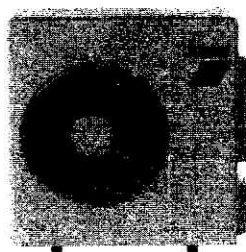
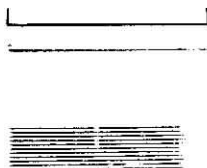
System Reference:

Date:

Indoor Unit:  
MFZ-KJ18NA

Outdoor Unit:  
MUFZ-KJ18NAHZ

Wireless Remote Controller



### GENERAL FEATURES

- Floor-mounted indoor unit mounts on the floor or up to 5" above the floor
- Floor front panel access to the filter for ease of cleaning
- Perfect for difficult areas that may be smaller or don't have usable space on the walls
- Multiple fan speed options: Quiet, Low, Medium, High, Super-high, Auto
- Quiet operation
- Multi-flow vane for faster heating
- Multiple control options available:
  - Hand-held Remote Controller (provided with unit)
  - kumo cloud® smart device app for remote access
  - Third-party interface options
  - Wired or wireless controllers
- Unit can be recessed mounted into wall

# SPECIFICATIONS: MFZ-KJ18NA & MUFZ-KJ18NAHZ

Cooling <sup>1</sup>	Maximum Capacity	Btu/h	22,500
	Rated Capacity	Btu/h	17,000
	Minimum Capacity	Btu/h	5,300
	Maximum Power Input	W	2,320
	Rated Power Input	W	1,350
	Moisture Removal	Pints/h	4.4
	Sensible Heat Factor		0.65
	Power Factor	%	97/97
Heating at 47°F <sup>2</sup>	Maximum Capacity	Btu/h	29,000
	Rated Capacity	Btu/h	21,000
	Minimum Capacity	Btu/h	5,700
	Maximum Power Input	W	3,430
	Rated Power Input	W	1,730
	Power Factor	%	98/98
Heating at 17°F <sup>3</sup>	Maximum Capacity	Btu/h	23,000
	Rated Capacity	Btu/h	12,800
	Maximum Power Input	W	3,210
	Rated Power Input	W	1,430
Heating at 5°F <sup>4</sup>	Maximum Capacity	Btu/h	21,000
	Maximum Power Input	W	3000
Heating at -4°F <sup>5</sup>	Maximum Capacity	Btu/h	18,480
Heating at -13°F <sup>6</sup>	Maximum Capacity	Btu/h	15,960
Efficiency	SEER		21
	EER <sup>1</sup>		12.6
	HSPF (IV)		11.3
	COP at 47°F <sup>2</sup>		3.56
	COP at 17°F in Maximum Capacity <sup>3</sup>		2.10
	COP at 5°F in Maximum Capacity <sup>4</sup>		2.05
	ENERGY STAR® (ENERGY STAR products are third-party certified by an EPA-recognized Certification Body.)		YES
Electrical	Voltage, Phase, Frequency		208/230V, 1 phase, 60Hz
	Guaranteed Voltage Range	V AC	187-253
	Voltage: Indoor - Outdoor, S1-S2	V AC	208/230
	Voltage: Indoor - Outdoor, S2-S3	V DC	24
	Voltage: Indoor - Remote Controller		Wireless Type
	Recommended Fuse/Breaker Size	A	20
	Recommended Wire Size (Indoor - Outdoor)	AWG	14
Indoor Unit	MCA	A	1
	MOCP	A	20
	Blower Motor Full Load Amperage	A	0.72
	Blower Motor Output	W	40

# SPECIFICATIONS: MFZ-KJ18NA & MUFZ-KJ18NAHZ

Indoor Unit Operating Temperature Range	Airflow Rate at Cooling, Dry	CFM	491-420-328-254-198
	Airflow Rate at Cooling, Wet	CFM	417-357-279-216-168
	Airflow Rate at Heating, Dry	CFM	470-399-328-268-212
	Sound Pressure Level (Cooling)	dB(A)	50-45-39-33-28
	Sound Pressure Level (Heating)	dB(A)	49-45-40-35-29
	Drain Pipe Size	In. (mm)	5/8 (15.88)
	Heat Exchanger Type		Plate fin coil
	External Finish Color		White
	Unit Dimensions	W: In. (mm)	29-17/32 (750)
		D: In. (mm)	8-15/32 (215)
		H: In. (mm)	23-5/8 (600)
	Package Dimensions	W: In. (mm)	32-2/16 (816)
		D: In. (mm)	10-13/16 (275)
		H: In. (mm)	27-12/16 (693)
	Unit Weight	Lbs. (kg)	33 (15)
	Package Weight	Lbs. (kg)	41 (18.5)
Outdoor Unit	Cooling Intake Air Temp (Maximum / Minimum)*	°F	90 DB / 73 WB // 67 DB / 57 WB
	Heating Intake Air Temp (Maximum / Minimum)	°F	80 DB // 70 DB
	MCA	A	16
	MOCP	A	20
	Fan Motor Full Load Amperage	A	0.93
	Fan Motor Output	W	77
	Airflow Rate	CFM	1,653 / 1,730
	Refrigerant Control		LEV
	Defrost Method		Reverse cycle
	Heat Exchanger Type		Plate fin coil
	Sound Pressure Level, Cooling <sup>1</sup>	dB(A)	55
	Sound Pressure Level, Heating <sup>2</sup>	dB(A)	51
	Compressor Type		DC INVERTER-driven Twin Rotary
	Compressor Model		SNB173FQKMT
	Compressor Rated Load Amps	A	12.0
	Compressor Locked Rotor Amps	A	15.0
	Compressor Oil Type // Charge	oz.	FV50S // 13.5
	External Finish Color		Munsell 3Y 7.8/1.1
	Base Pan Heater		Built-in
	Unit Dimensions	W: In. (mm)	33-1/16 (840)
		D: In. (mm)	13 (330)
		H: In. (mm)	34-5/8 (880)
	Package Dimensions	W: In. (mm)	38-9/16 (980)
		D: In. (mm)	16-9/16 (420)
		H: In. (mm)	39 (990)



# SPECIFICATIONS: MFZ-KJ18NA & MUFZ-KJ18NAHZ

Outdoor Unit Operating Temperature Range	Unit Weight	Lbs. (kg)	124 (56)
	Package Weight	Lbs. (kg)	144 (65)
	Cooling Air Temp (Maximum / Minimum)*	°F	14 to 115
	Cooling Thermal Lock-out / Re-start Temperatures**	°F	11 / 14
	Heating Air Temp (Maximum / Minimum)	°F	-13 to 75
Refrigerant	Heating Thermal Lock-out / Re-start Temperatures**	°F	-18 / -14
	Type		R410A
	Charge	Lbs. oz	3.5
	Gas Pipe Size O.D. (Flared)	In. (mm)	1/2 (12.7)
	Liquid Pipe Size O.D. (Flared)	In. (mm)	1/4 (6.35)
Piping	Maximum Piping Length	Ft. (m)	100 (30)
	Maximum Height Difference	Ft. (m)	50 (15)
	Maximum Number of Bends		10

## Notes

AHRI Rated Conditions (Rated data is determined at a fixed compressor speed)	<sup>1</sup> Cooling (Indoor // Outdoor)	°F	80 DB, 67 WB // 95 DB, 75 WB
	<sup>2</sup> Heating at 47°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 47 DB, 43 WB
	<sup>3</sup> Heating at 17°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 17 DB, 15 WB
	<sup>4</sup> Heating at 5°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 5 DB, 4 WB
Conditions	<sup>5</sup> Heating at -4°F (Indoor // Outdoor)	°F	70 DB, 60 WB // -4 DB, -5 WB
	<sup>6</sup> Heating at -13°F (Indoor // Outdoor)	°F	70 DB, 60 WB // -13 DB, -14 WB

\*Applications should be restricted to comfort cooling only; equipment cooling applications are not recommended for low ambient temperature conditions.

\*\*System cuts out in heating mode to avoid thermistor error and automatically restarts at these temperatures.

## 7. 129 Daniel Street - Recommended Approval

**Background:** The applicant is seeking approval for changes to an approved design (clarify window schedule and sash material, reposition bathroom and fireplace vents, approved window to be in-filled, and HVAC location change).

**Staff Comment:** Recommended Approval

### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-409**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Nov 22, 2021**Applicant**

Timothy Giguere  
tim@tms-architects.com  
One Cate Street - 4th Floor, Suite 3A  
Portsmouth, NH 03801  
603.436.4274

**Location**

129 DANIEL ST  
Portsmouth, NH 03801

**Owner:**

MANN JEFFRY S TRUST & MANN JEFFRY S TRUSTEE  
129 DANIEL ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Requesting Administrative Approvals for the following alterations to the approved design

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Timothy Giguere

**Business Name (if applicable)**

TMS Architects

**Mailing Address (Street)**

1 Cate Street

**City/Town**

Portmsouth

**State**

NH

**Zip Code**

03801

**Phone**

603.436.4274

**Email Address**

tim@tms-architects.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



# TMS

architects  
interiors

ONE CATE ST | PORTSMOUTH, NH 03801 | 603.436.4274  
WWW.TMSARCHITECTS.COM

Building Permit # BLDG-19-884.

2021.11.22

## Additional Admin Approvals Requested:

Refrencing drawings from previous Land Use Application October 7, 2019, and also  
Referencing elevations of Administrative Approval December 6, 2019

129 Daniel Street  
Portsmouth, NH 03801

To Whom it concerns.

Seeking HDC Administrative Approvals for the following alterations to the approved design that we feel are within the intent of the original HDC approval but vary slightly due to existing conditions uncovered in the field during construction.

1. Clarification to approved window schedule of window sash material.
2. Approved Bathroom vent locations on elevations repositioned.
3. Approved fireplace vent locations on elevations repositioned.
4. Approved existing window to be filled in being asked to remain.
5. Approved HVAC condenser location slid back away from the wall.

1. As noted on HDC Land Use Compliance Report December 7, 2020; Building Permit # BLDG-19-884. Clarification: Item 2a "Sheet A3.0 of the approved specifications calls for wood windows". We would like to calrify A3.0 schedule that sashes are aluminum clad wood, rest of window is painted mahogany wood windows exposed to exterior..

a. Response: The windows installed are painted mahogany wood windows. They have wood jambs, sill, casing, and shutters and are historically accurate for the period. The sashes are also mahogany but clad in aluminum and painted to match the rest of the painted mahogany in the window and look to be wood. The clad jointing mimics historic wood jointing of the sash (no miter corners). See attached pictures of installed window units. The drawings follow the manufacturer's labeling of this as a wood window as only the sashes are clad for better performance while mimicking historical jointing methods. The window installed is the same window sample presented to the HDC board in person back in December of 2019 that was approved, and from what I was informed from the local rep, the window has been used previous-ly on other approved HDC projects in Portsmouth, which is why we chose them for our project, and we apologize for any confusion. See attached document for pictures of installed windows.



Current Daniel Street Elevation

Wood sash clad in  
aluminum

Painted wood

Painted wood

Painted wood

Painted wood

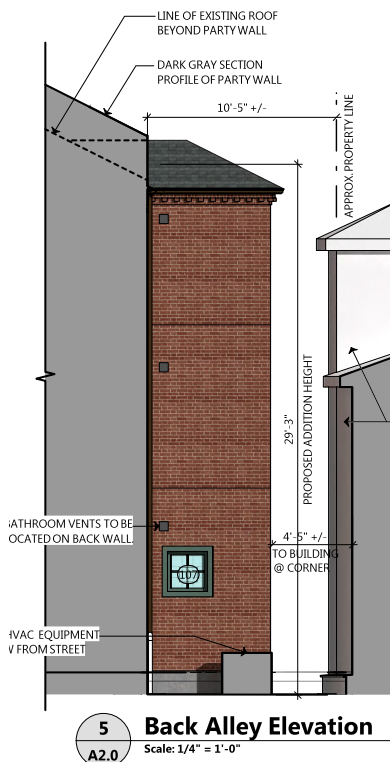
Painted wood



View of installed window



2. Bathroom vents were relocated from the south alley side of the addition to the east alley side of the addition due to the orientation of the approved addition framing joists to tie back into the existing structure more securely. The bathroom vents are still not adjacent to any public walking surfaces.



2019.10.02 HDC Approved elevation



Vents relocated from this location



Vents relocated to this side location, behind copper downspout

3. Fireplace roof vents were relocated from protruding through the roof plane to re-routing through the existing chimney due to existing roof heavy timber truss framing and purlins regarding manufacturer safety requirements with venting and ability to work with existing masonry mass and new venting. Also, Fireplace wall vents high above the sidewalk were slid to the opposite side of the chimney mass further away from the corner of Chapel and Daniel to comply with the fireplace venting requirements and existing masonry wall construction. These vent relocations were discussed with Nick Cracknell in email correspondence on 2020.05.12 with elevation attachments, in which he felt the movement was within substantial compliance with the HDC-approved elevations at the time.

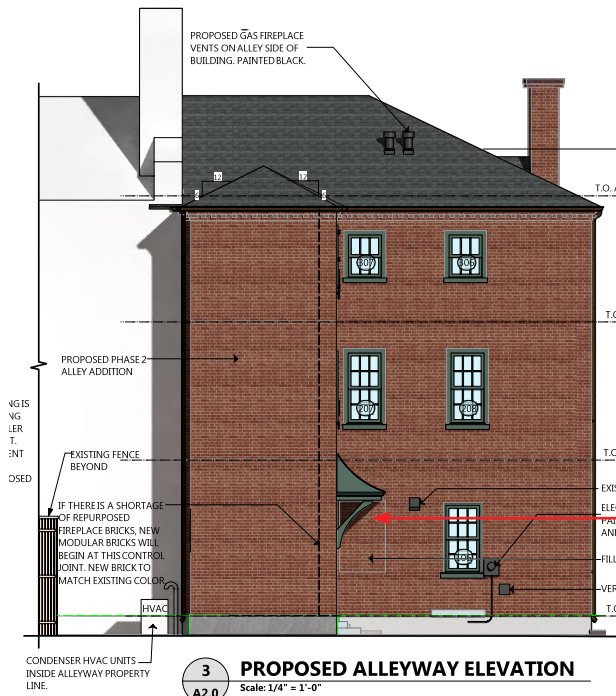


current elevation photo

2019.12.06 HDC Admin Approval Elevation above:



4. The existing window approved to be removed by HDC, was decided by the clients during construction to remain in place. This was historically already a window location noted and shown in the recent photo below.



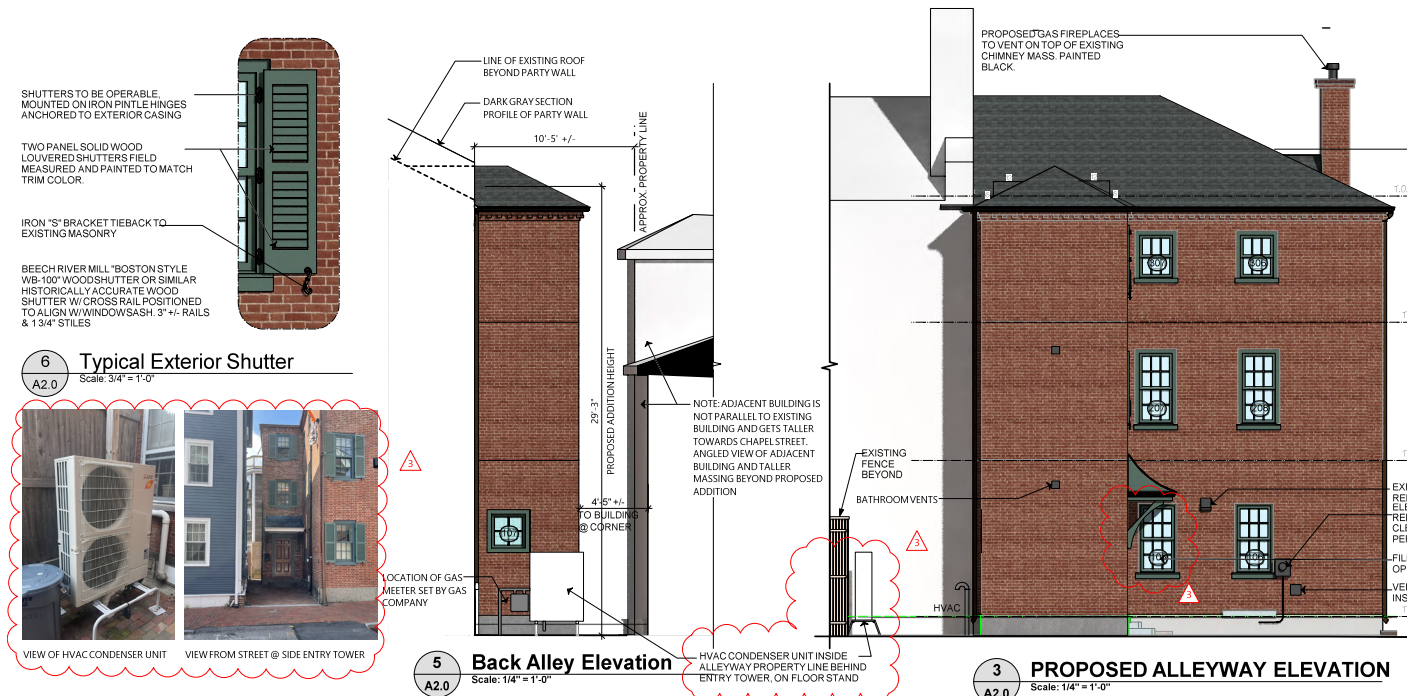
Existing window requested to remain in place

Location of previously approved window to be removed. requesting admin approval to keep existing window this location



Recent photo of elevation (approved entry roof to be constructed still)

5. Approved HVAC condenser unit behind side entry is slid back from wall closer to property fence, still on the property. The HVAC condenser unit was relocated so gas company could install a meter on the wall behind the entry tower addition. The HVAC condenser unit is still not within view of Chapel Street, as the photo above shows.







PROPOSED SYNTHETIC SLATE SHINGLE  
BORAL - INSPIRE  
CLASSIC SLATE GRAY BLACK BLEND

WHITE MASSING OF EXISTING  
NEIGHBORING BUILDINGS BEYOND  
VIEWED AT SLIGHT ANGLE ALONG  
CHAPEL STREET

EXISTING WOOD SILLS TO BE  
REFURBISHED. WINDOWS TO BE  
REPLACED. NOTE: SELECT THIRD  
AND SECOND FLOOR SILLS MAY  
NEED TO BE REPLACED IF ROT IS  
TOO SIGNIFICANT TO REPAIR.

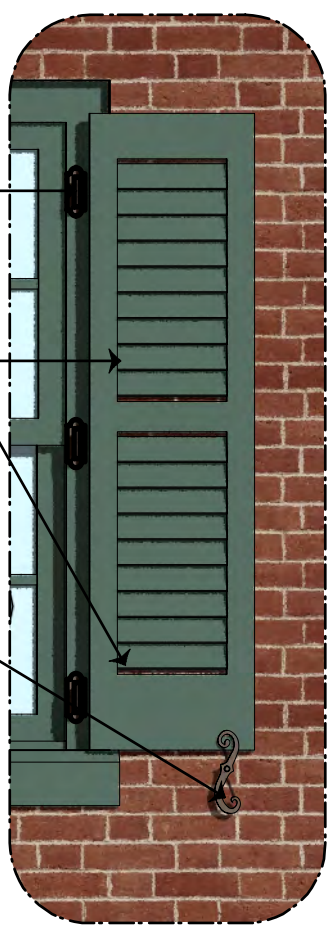
EXISTING BRICK SILLS TO BE  
REMOVED @ FIRST FLOOR AND  
REPLACED WITH PAINTED WOOD  
SILLS.



### 1 PROPOSED DANIEL STREET ELEVATION

Scale: 1/4" = 1'-0"

A2.0



SHUTTERS TO BE OPERABLE,  
MOUNTED ON IRON PINTLE HINGES  
ANCHORED TO EXTERIOR CASING

TWO PANEL SOLID WOOD  
LOUVERED SHUTTERS FIELD  
MEASURED AND PAINTED TO MATCH  
TRIM COLOR.

IRON "S" BRACKET TIEBACK TO  
EXISTING MASONRY

BEECH RIVER MILL "BOSTON STYLE  
WB-100" WOOD SHUTTER OR SIMILAR  
HISTORICALLY ACCURATE WOOD  
SHUTTER W/ CROSS RAIL POSITIONED  
TO ALIGN W/ WINDOW SASH. 3" +/- RAILS  
& 1 3/4" STILES

### 6 Typical Exterior Shutter

Scale: 3/4" = 1'-0"

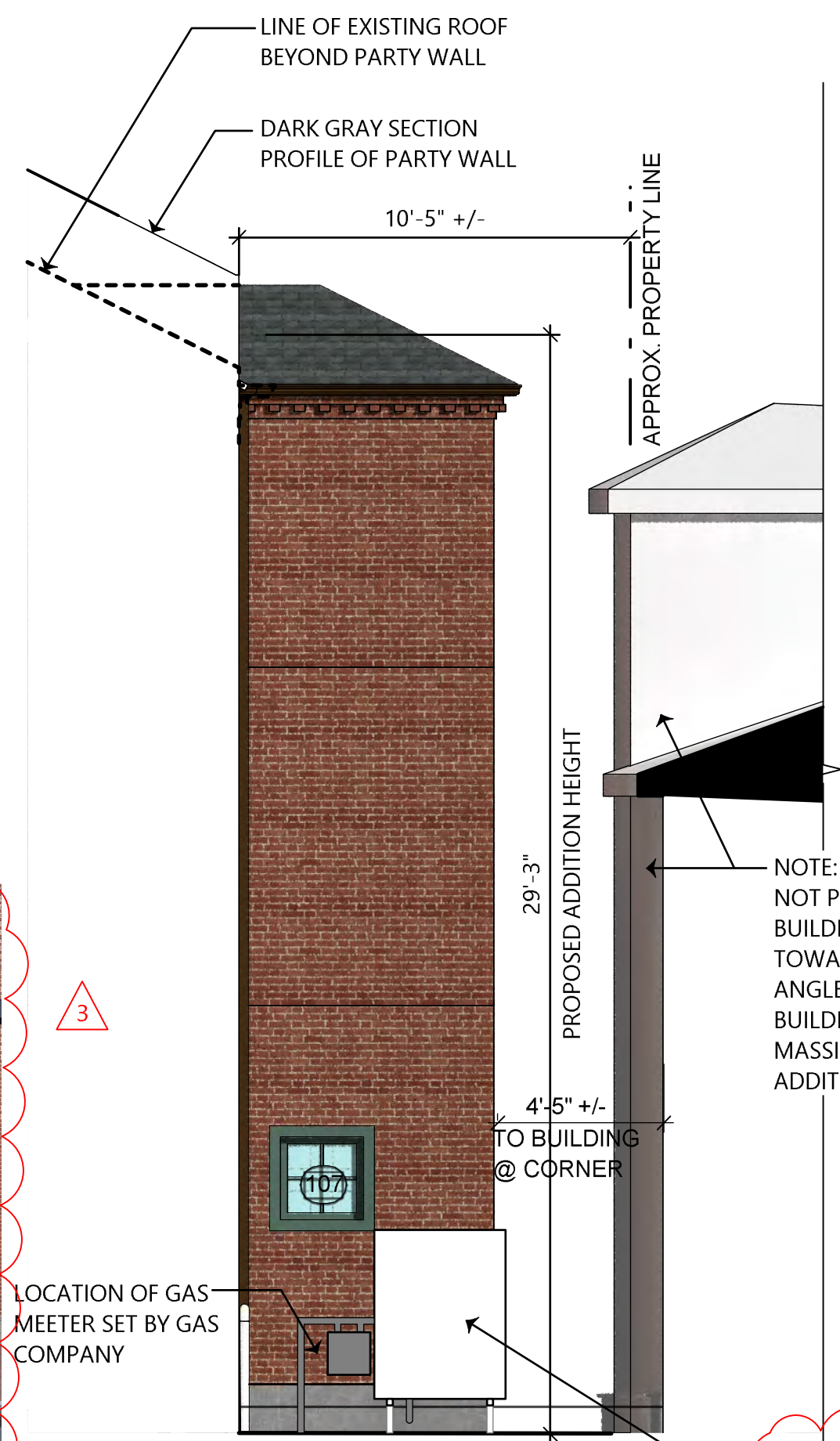
A2.0



VIEW OF HVAC CONDENSER UNIT



VIEW FROM STREET @ SIDE ENTRY TOWER

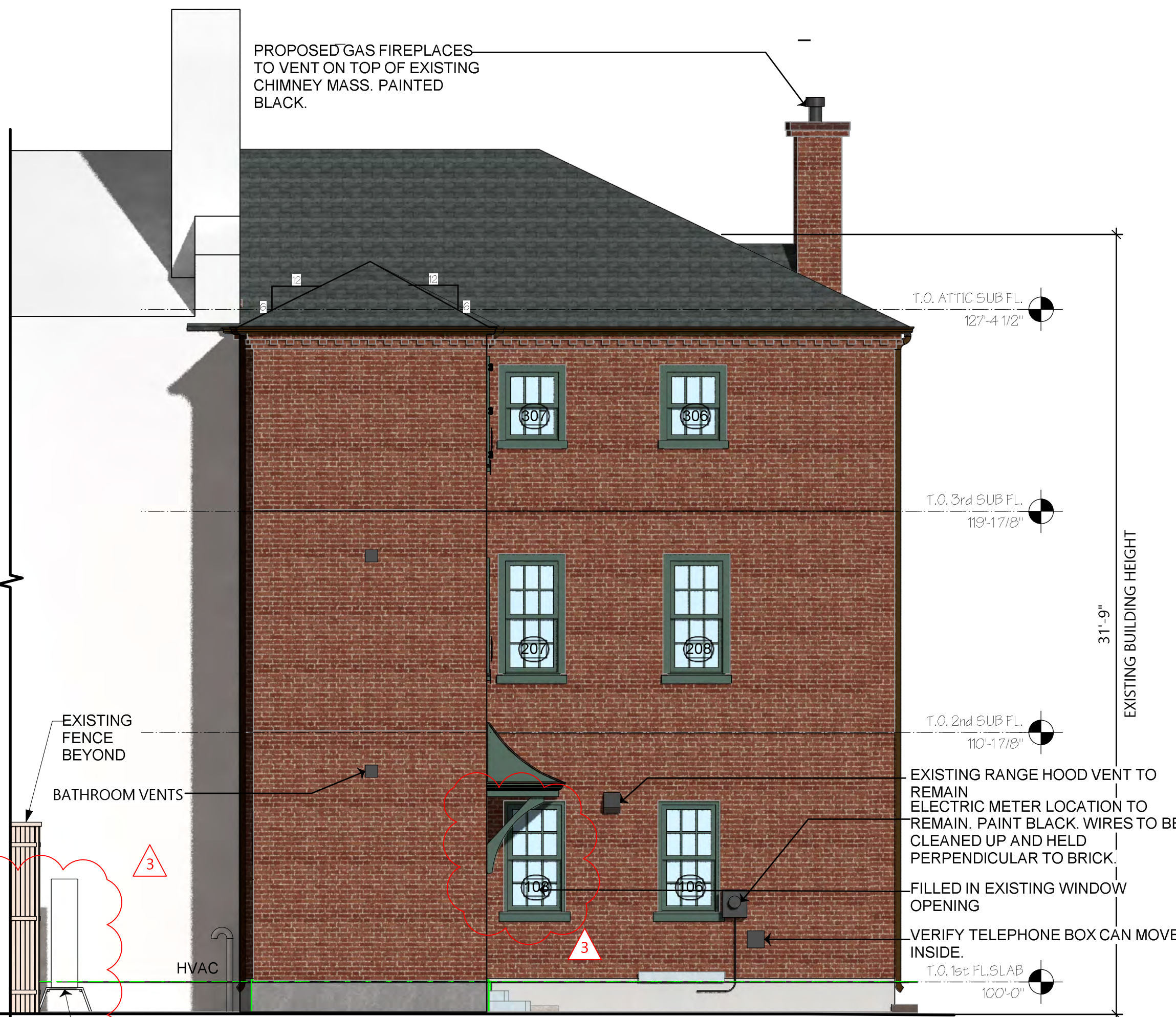


### 5 Back Alley Elevation

Scale: 1/4" = 1'-0"

A2.0

HVAC CONDENSER UNIT INSIDE  
ALLEYWAY PROPERTY LINE BEHIND  
ENTRY TOWER, ON FLOOR STAND



### 3 PROPOSED ALLEYWAY ELEVATION

Scale: 1/4" = 1'-0"

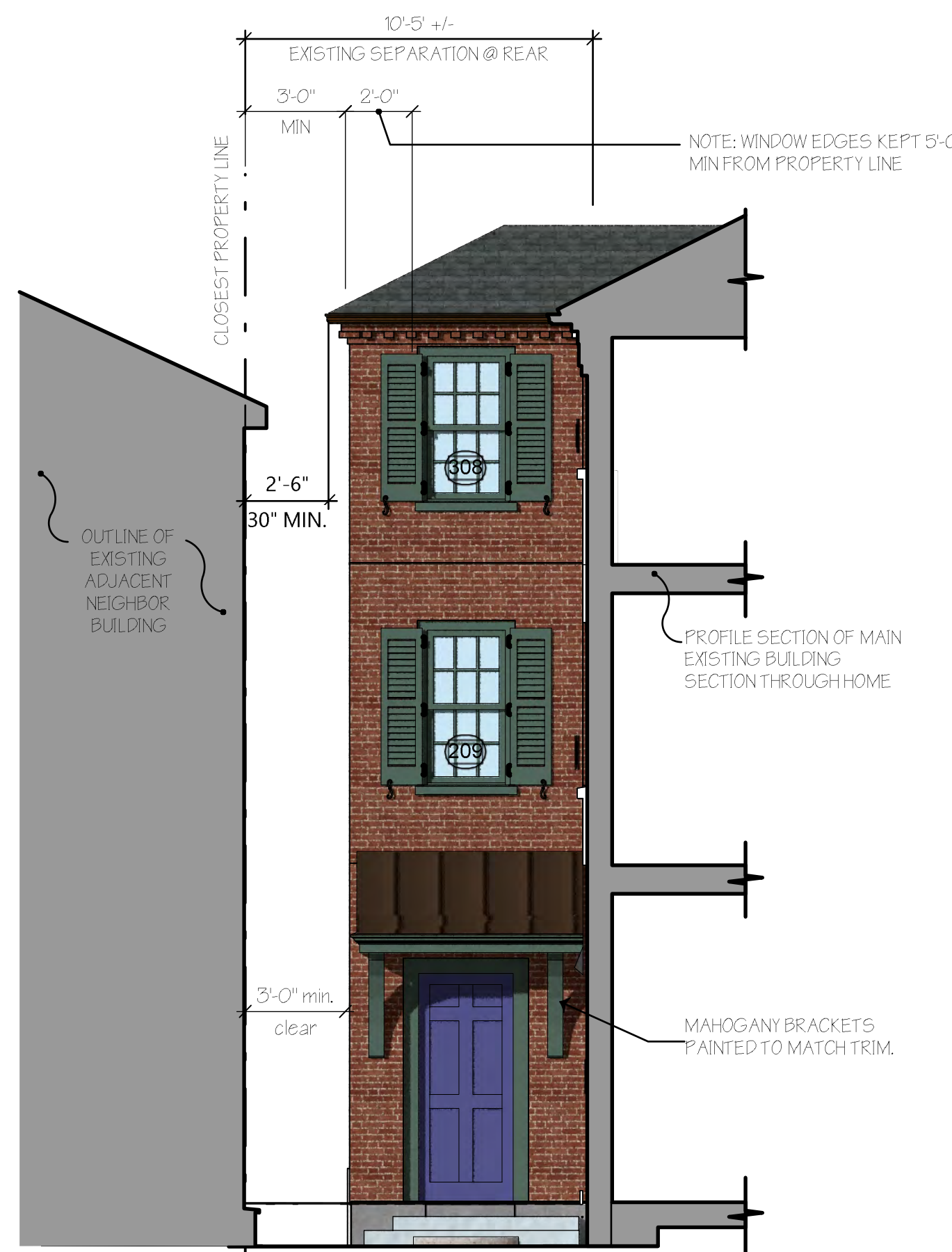
A2.0



### 2 PROPOSED CHAPEL STREET ELEVATION

Scale: 1/4" = 1'-0"

A2.0



### 4 Partial Elevation @ Alley Addition

Scale: 1/4" = 1'-0"

A2.0

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693-439-474

Revision and Rescure Notes

No.	Date	Issue Notes
1	2021.11.22	Rev 3 MINOR HCAV UPDATES FOR HDC ADMIN APPROVAL

LICENSED ARCHITECT  
TIMOTHY M. SQUIRE  
No. 04149  
STATE OF NEW HAMPSHIRE

Project Name

Scale

Date

Project No.

MANN/HOLLISTER RESIDENCE  
129 Daniel Street  
Portsmouth, New Hampshire

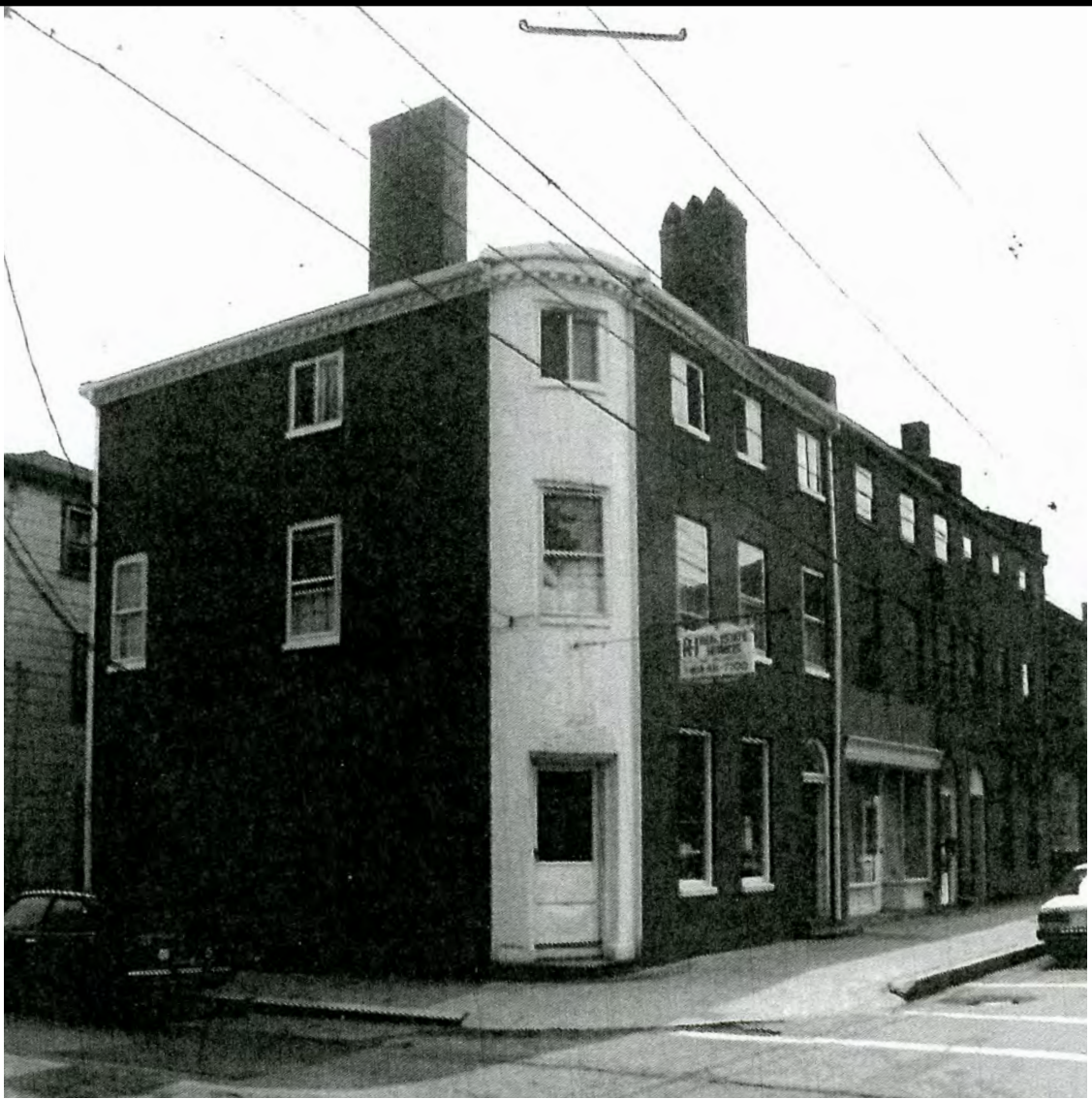
PROPOSED ELEVATIONS

A2.0





DANIEL STREET CIRCA LATE 1800'S [PHOTO COUNTEY OF PORTSMOUTH ATHENAEUM]



129 DANIEL STREET "DANIEL STREET GROCERY" CIRCA 1970'S [PORTSMOUTH NH HISTORIC DISTRICT SURVEY 1979]



EXISTING WINDOW PHOTO 3

NON-ORIGINAL WINDOWS CURRENTLY IN WINDOW WITH VINYL SASHES PROPOSED TO BE REPLACED W/ MORE HISTORICALLY ACCURATE WOOD DOUBLE HUNG WINDOWS



EXISTING PHOTO 1

EXISTING FIRST FLOOR WINDOWS WITH NO MUNTIN



EXISTING PHOTO 2

EXISTING GLASS BLOCK WINDOWS



EXISTING WINDOW PHOTO 4

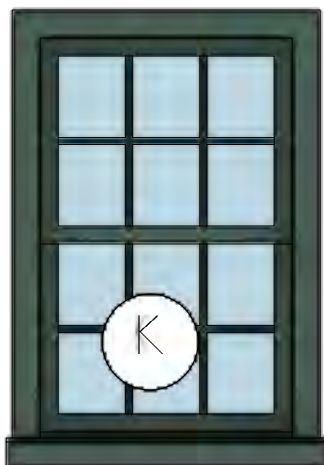
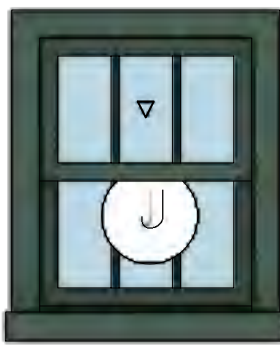
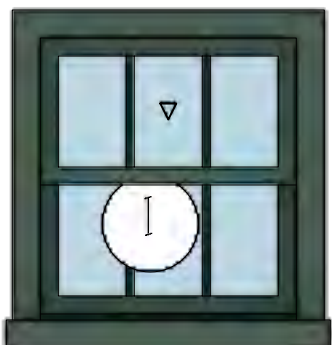
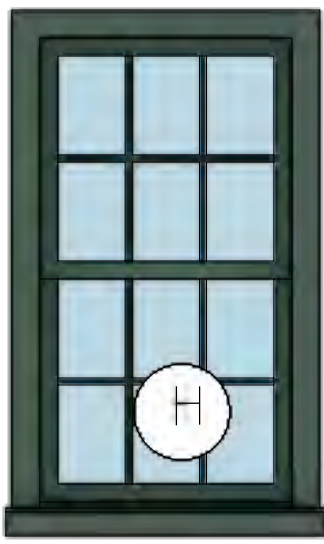
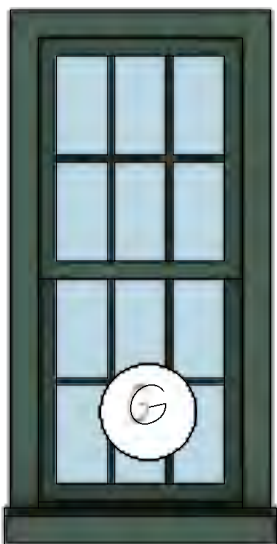
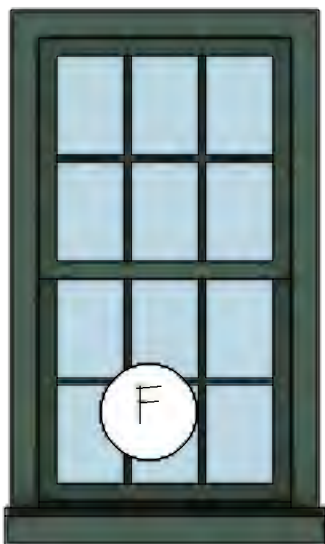
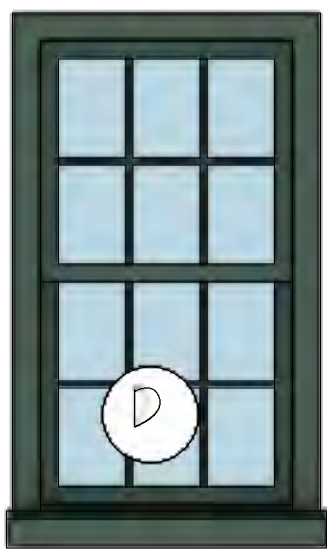
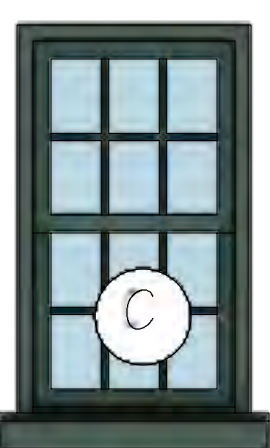
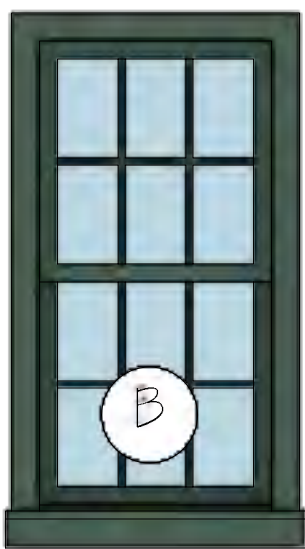
EXAMPLE OF EXISTING DETERIORATED WINDOW PROPOSED TO BE REPLACED WITH WOOD HUNG WINDOW



BUILDING HISTORICALLY HAD 2 PANEL LOUVERED SHUTTERS



WINDOW A REMOVED



1  
A3.0

## PROPOSED WINDOW TYPES

Scale: 1/2" = 1'-0"

EXTERIOR TRIM PAINT  
BENJAMIN MOORE  
692 JACK PINE

EXTERIOR DOOR PAINT  
ROMAN VIOLET  
PPG1170-7

## GENERAL WINDOW NOTES

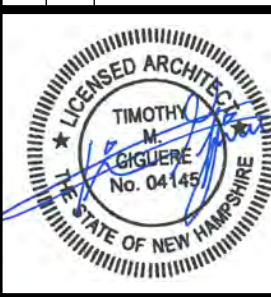
- EXTERIOR WINDOWS TO BE LePage XL DOUBLE HUNG SOLID WOOD WINDOWS W/ ALUMINUM CLAD SASHES (PAINTED TO MATCH TRIM) WITH NO ATTACHED FACTORY EXTERIOR TRIM WITH PAINTED SELECT PINE INTERIOR U.N.O. (COLOR TBD WITH INTERIOR DESIGNER). INSULATED LOW E 11 GLAZING W/ 7/8" SDL MUNTINS W/ INTERNAL SPACER BARS (AS SHOWN ON ELEVATIONS AND TYPES)-(U.N.O. ON WINDOW TYPES / SCHEDULE). FACTORY PROVIDED HARDWARE TO BE OIL RUBBED BRONZE FINISH UNLESS NOTED OTHERWISE. ROLL SCREENS FROM INTERIOR.
- G.C. AND WINDOW REP. TO FIELD VERIFY M.O.'S AND ADJUST WINDOW SIZES AS NECESSARY TO FIT EXISTING OPENINGS PRIOR TO WINDOW ORDER. ARCHITECT TO BE NOTED OF ADJUSTED SIZES IN WRITING
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL WINDOWS FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION. ANY CHANGES MADE TO WINDOW DIMENSIONS OR CALLED OUT SPECIFICATIONS SHOULD BE REVIEWED AND APPROVED IN WRITING BY THE ARCHITECT PRIOR TO SUBMISSION OF WINDOW SHOP DRAWINGS FOR FINAL APPROVAL.
- G.C. TO FIELD VERIFY WINDOW AND DOOR ROUGH OPENINGS ON SCHEDULES WITH FLOOR PLANS, SECTIONS AND MANUF. SUGGESTED SIZES PRIOR TO FRAMING, G.C. TO COORDINATE WITH WINDOW MANUF. REP AS RECOMMENDED BY MANF. FOR SILL PAN FLASHING, BITUMINOUS MEMBRANE, ETC... AS INDICATED ON ARCHITECTURAL DETAILS AND SECTIONS, WHERE NOT TAKEN INTO ACCOUNT BY WINDOW MANF. SUGGESTED R.O.'S. CONSULT W/ ARCHITECT WITH ANY DISCREPANCIES PRIOR TO PLACING WINDOW ORDER.
- MUNTINS SPACED TO CREATE EQUAL EXPOSED GLASS DIMENSIONS UNLESS OTHERWISE NOTED.
- REFER TO ELEVATIONS FOR WINDOW OPERATION AND HINGE DIRECTIONS.
- CONTRACTOR TO VERIFY AREAS OF TEMPERED GLASS ON UNITS AND R.O. DIMENSIONS FOR REQUIRED EGRESS WINDOWS WHERE REQUIRED BY CODE AND/OR NOTED ON DRAWINGS PRIOR TO FRAMING THE OPENING OR PLACING WINDOW ORDER. REFER TO TEMPERED GLAZING NOTES BELOW.

TMS  
architects

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## Revision and Rescure Notes

No.	Date	Issue Notes
1	2021.11.22	Rev 3 MINOR HCAV UPDATES FOR HDC ADMIN APPROVAL



County:	Project Name:
Scale:	Date:
2021.11.23	Project No:
2019035	

## MANN/HOLLISTER RESIDENCE

129 Daniel Street  
Portsmouth, New Hampshire

## EXISTING WINDOW REPORT AND EVALUATIONS

A3.0