

# **HDC**

## **ADMINISTRATIVE APPROVALS**

<b>November 03, 2021</b>
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- |    |                               |                        |
|----|-------------------------------|------------------------|
| 1. | 14 Mechanic Street (LUHD-338) | - Recommended Approval |
| 2. | 105 Daniel Street (LUHD-397)  | - Recommended Approval |
| 3. | 18 Porter Street (LUHD-396)   | - Recommended Approval |
| 4. | 45 Market Street (LUHD-399)   | - Recommended Approval |
| 5. | 41 Salter Street (LUHD-400)   | - Recommended Approval |
| 6. | 30 Cate Street (LUHD-401)     | - Recommended Approval |
| 7. | 54 Humphreys Court (LUHD-398) | - Recommended Approval |

## 1. 14 Mechanic Street

- Recommended Approval

**Background:** The applicant is seeking approval for the installation of iron railing systems at the front entry and rear master balcony.

**Staff Comment:** Recommended Approval

### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-338**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** May 12, 2021**Applicant**

Joshua Butkus  
 kscannell@destefanomaugel.com  
 22 ladd st  
 portsmouth, NH 03801  
 2034000802

**Location**

14 MECHANIC ST  
 Portsmouth, NH 03801

**Owner:**

ROESE JOHN J REVOCABLE TRUST OF 2016 & ROESE JOHN JOSEPH  
 TRUSTEE  
 55 ELM ST EFFINGHAM, NH 03882

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Project Information****Brief Description of Proposed Work**

We are seeking approval for two new wrought iron railing systems at the front entry and rear master balcony.

**Description of Proposed Work (Planning Staff)**

the installation of wrought iron railing systems- (1) at the front entry and (1) at the rear master balcony

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Joshua Butkus

**Business Name (if applicable)**

--

**Mailing Address (Street)**

22 Ladd Street

**City/Town**

Portsmouth

**State**

New Hampshire

**Zip Code**

03801

**Phone**

203-400-0802

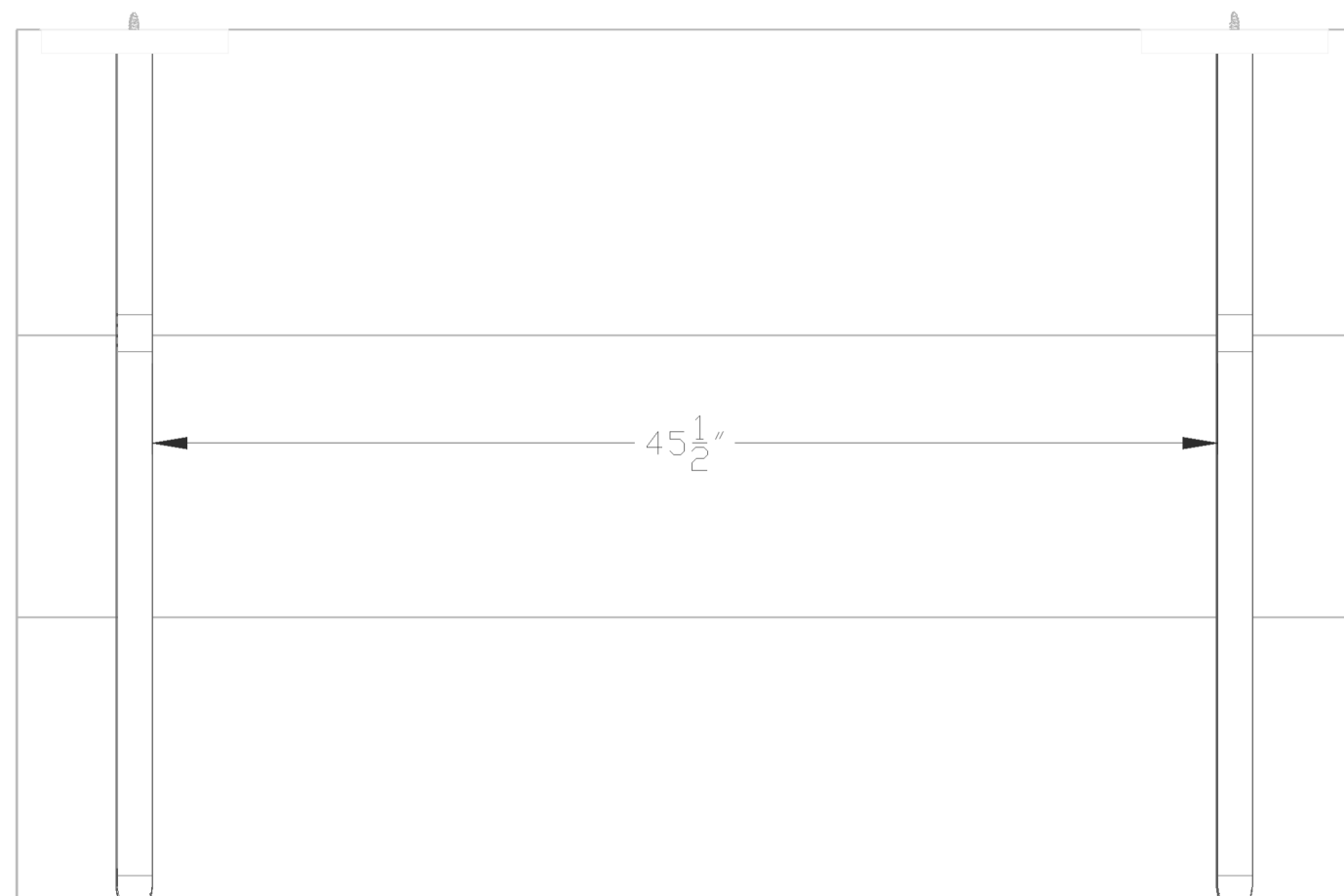
**Email Address**

jbutkus@destefanomaugel.com

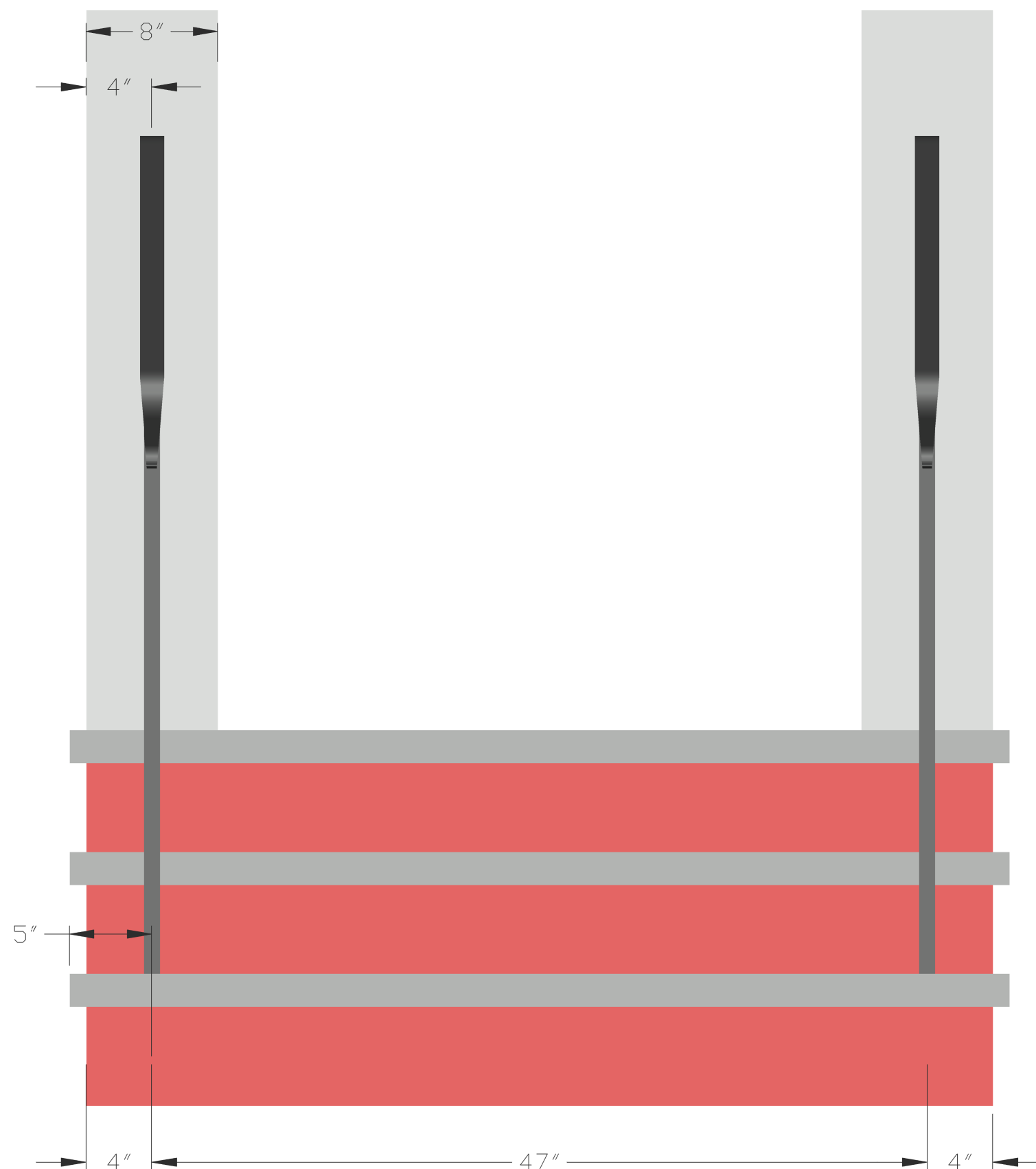
**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**



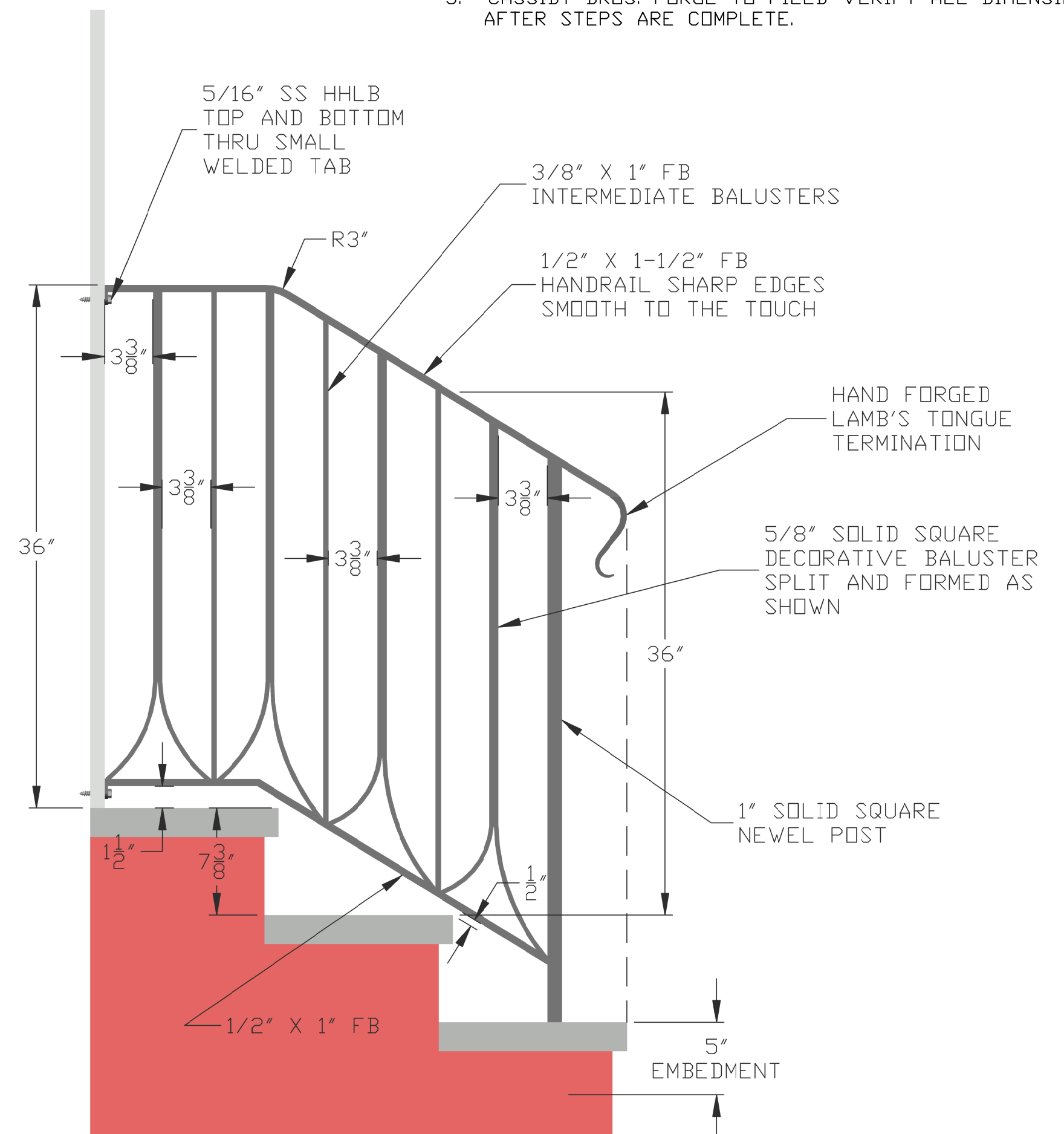
TOP VIEW




FRONT VIEW

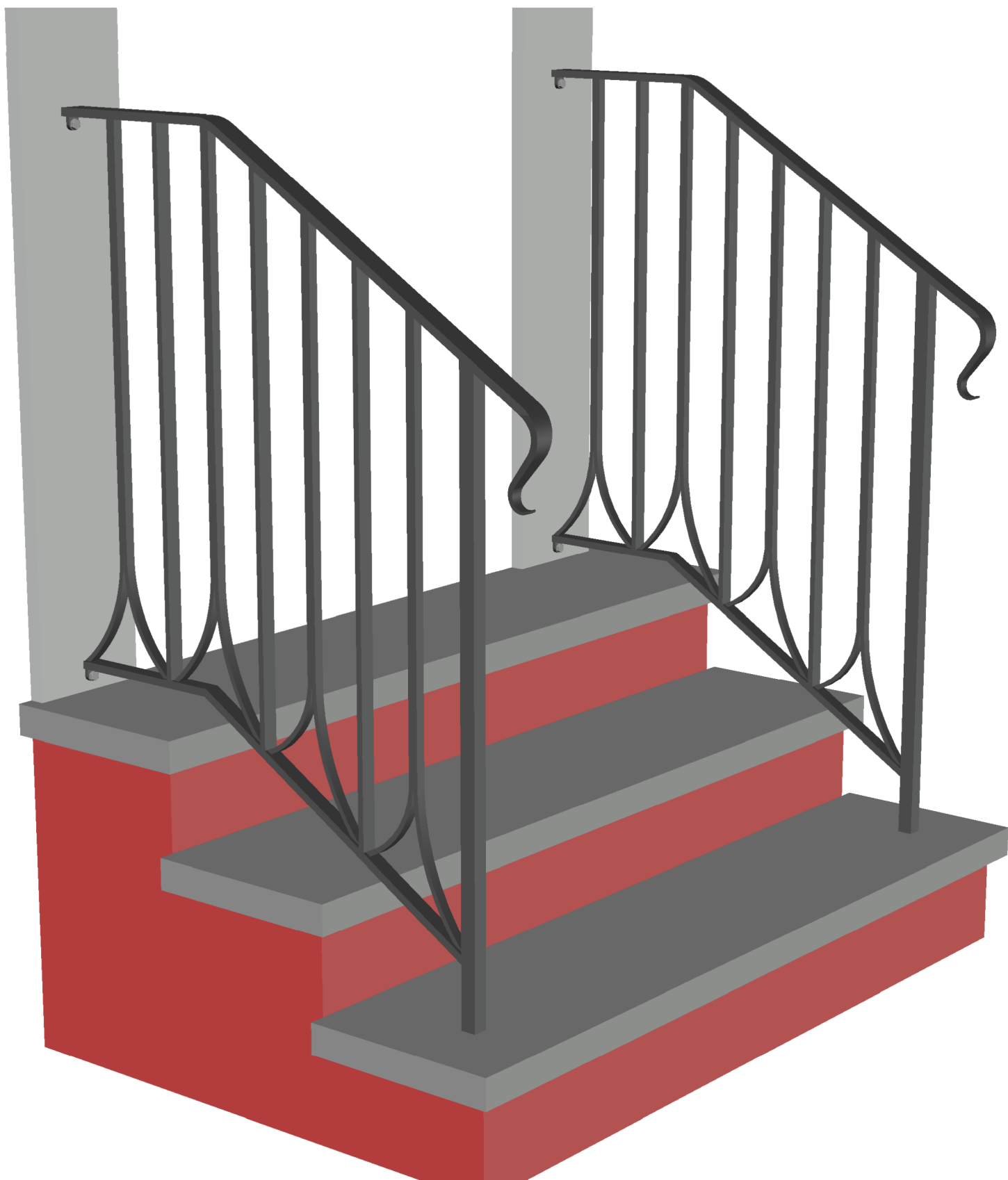
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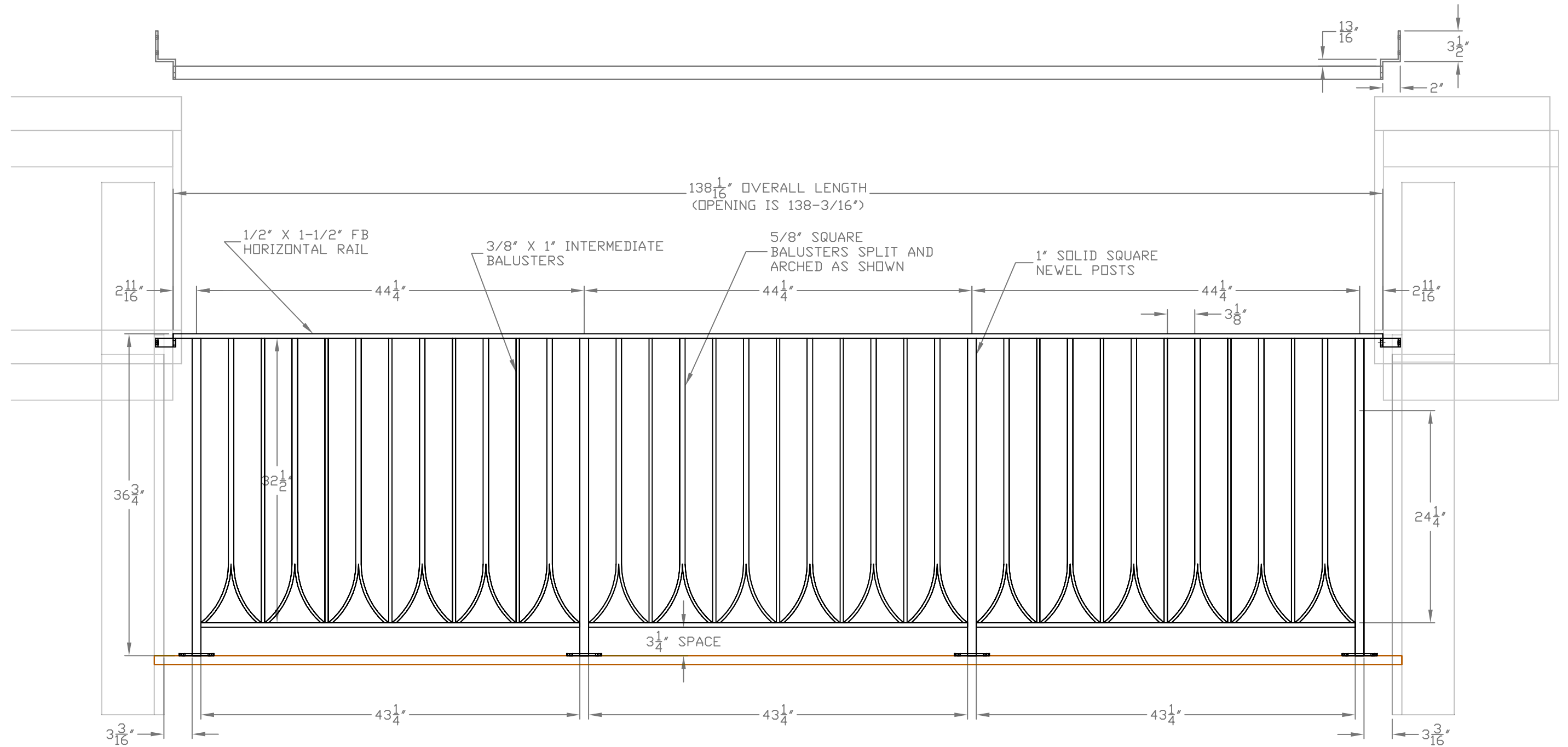
1. RAILINGS TO BE MANUFACTURED WITH CASSIDY BROS. FORGE STANDARD CONNECTION DETAILS.
2. INSTALLATION BY CASSIDY BROS. FORGE AND SHOULD BE ERECTED AND BOLTED WITH TEMPORARY BRACING AND SPACERS UNTIL THE FULL ELEVATION ACROSS EACH RAIL PANEL ARE PERFECT TO DIMENSIONS GIVEN AND ALL POSTS AND PANELS ARE PLUMB AND ALL RAILS ARE FULLY ALIGNED TO EACH OTHER.
3. PREPARATION FOR FINISH TO BE STEEL GRIT BLASTED TO SSPC-10. PRIMER TO BE ONE COAT OF TWO-PART EPOXY AND FINISH COAT TO BE TWO-PART POLYURETHANE. COLOR TO BE HIGH GLOSS BLACK.
4. FIELD TOUCH UP ALL FASTENERS AND SCRATCHES DUE TO SHIPPING, PACKAGING AND ERECTION USING PAINT KIT PROVIDED.
5. CASSIDY BROS. FORGE TO FIELD VERIFY ALL DIMENSIONS AFTER STEPS ARE COMPLETE.



SIDE VIEW

 <b>CASSIDY BROS. FORGE, INC.</b> U.S. ROUTE 1, ROWLEY, MA. 01969-1796 (978) 948-7303	
SCALE: $1\frac{1}{2}" = 1'$	APPROVED BY
DATE: OCT 27, 2021	DRAWN BY
	PJC
<b>FRONT ENTRANCE RAIL DETAILS</b>	
MECHANIC STREET	DRAWING NUMBER
	C21930-1 of 1





NOTES:

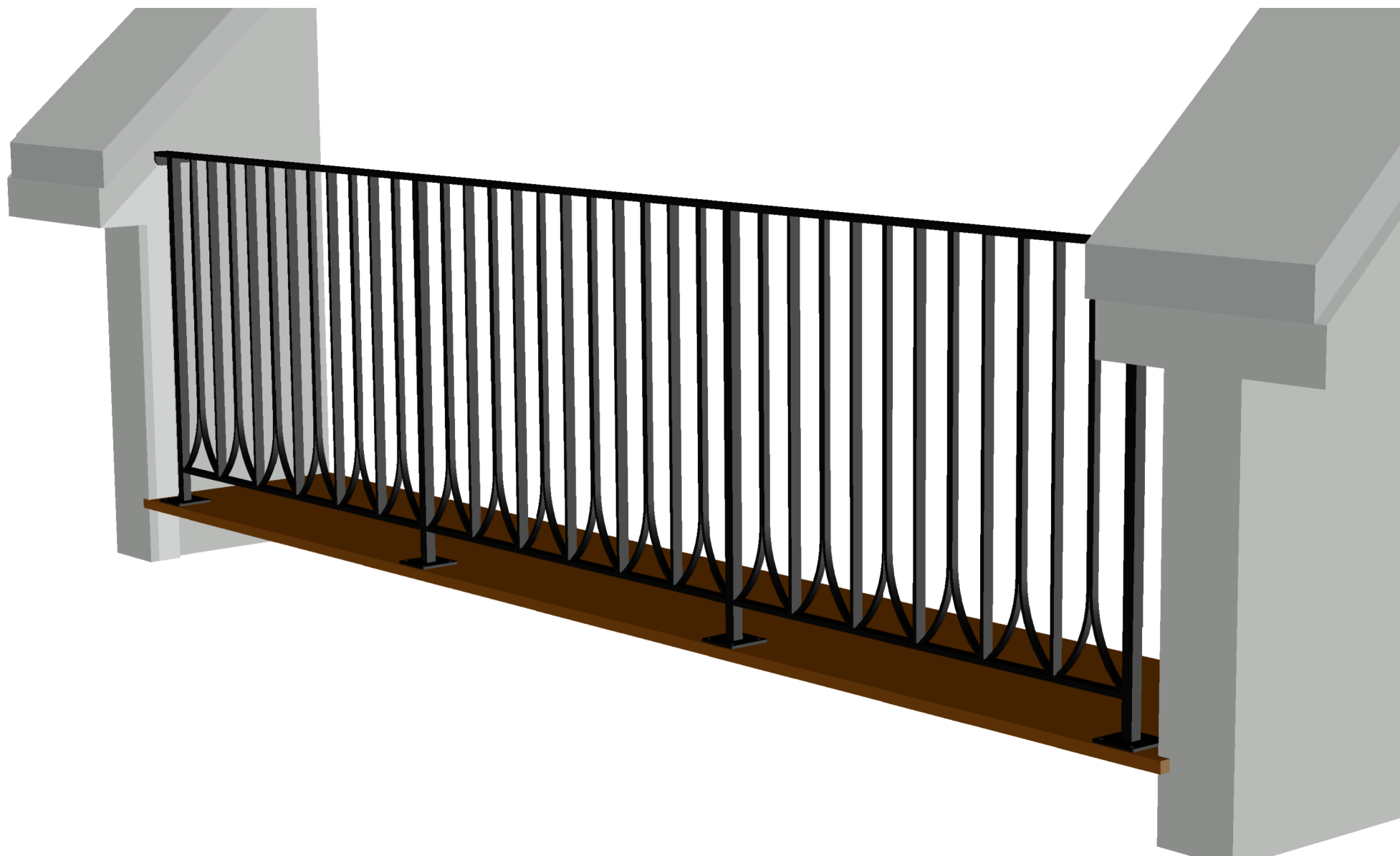
1. ALL WELDS GROUND PERFECTLY SMOOTH.
2. FINISH TO BE BLASTED AND COATED WITH A TWO-PART EPOXY PRIMER AND FINISH COATED WITH A TWO-PART POLYURETHANE HIGH GLOSS BLACK HIGH PERFORMANCE PAINT SYSTEM.
3. INSTALLED BY OTHERS.
4. HOLD OFF INSTALLING SIDING AT ATTACHMENT LOCATIONS UNTIL AFTER INSTALLATION OF RAIL.
5. GC TO PROVIDE SOLID BLOCKING BENEATH RAIL POST LOCATION AND VERIFY POST ELEVATIONS WITH LASER AFTER DECK INSTALLATION IS COMPLETE

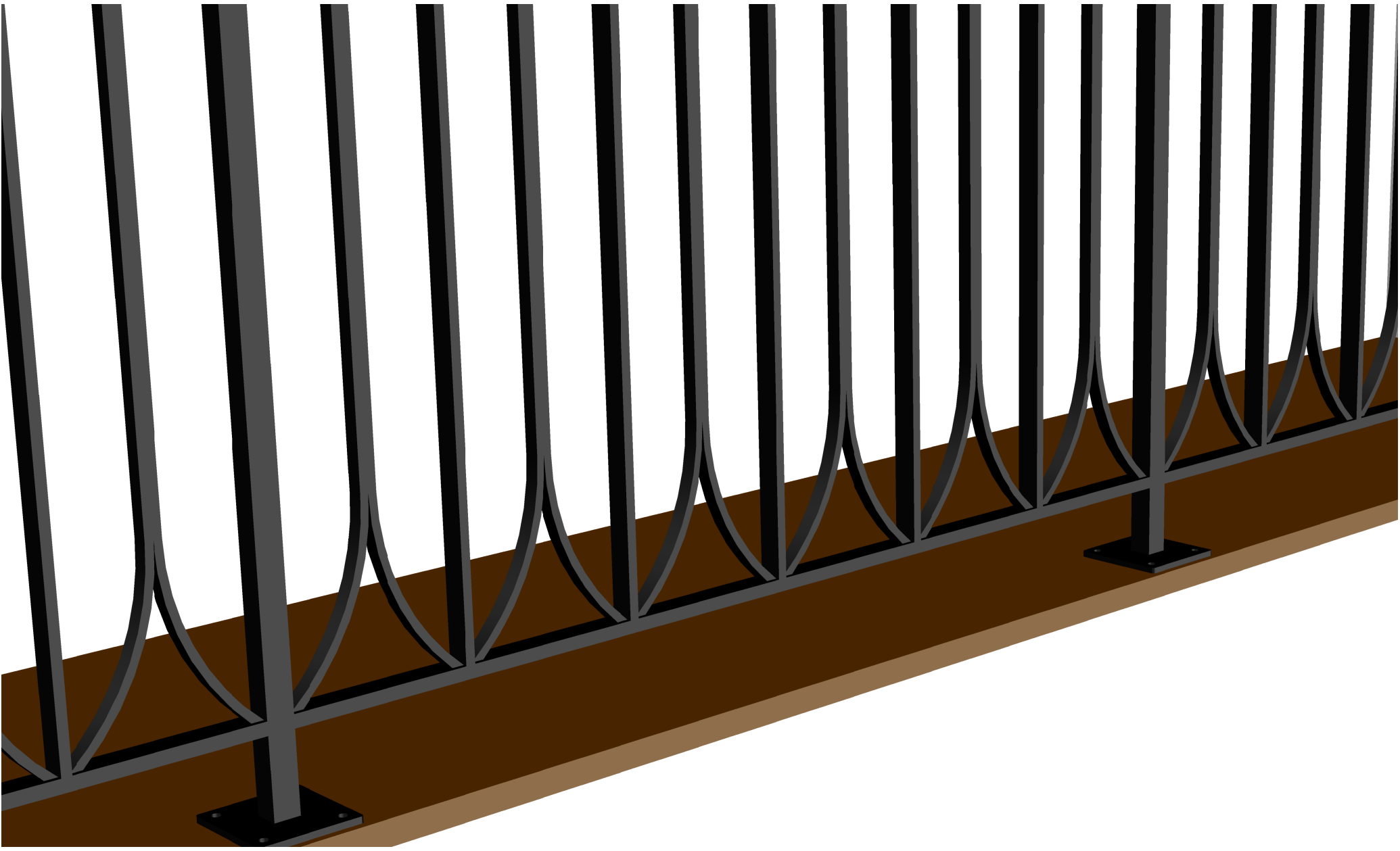


**CASSIDY BROS. FORGE, INC.**  
U.S. ROUTE ONE, ROWLEY, MA 01969  
Tel: (978) 948-7303 Fax: (978) 948-7629

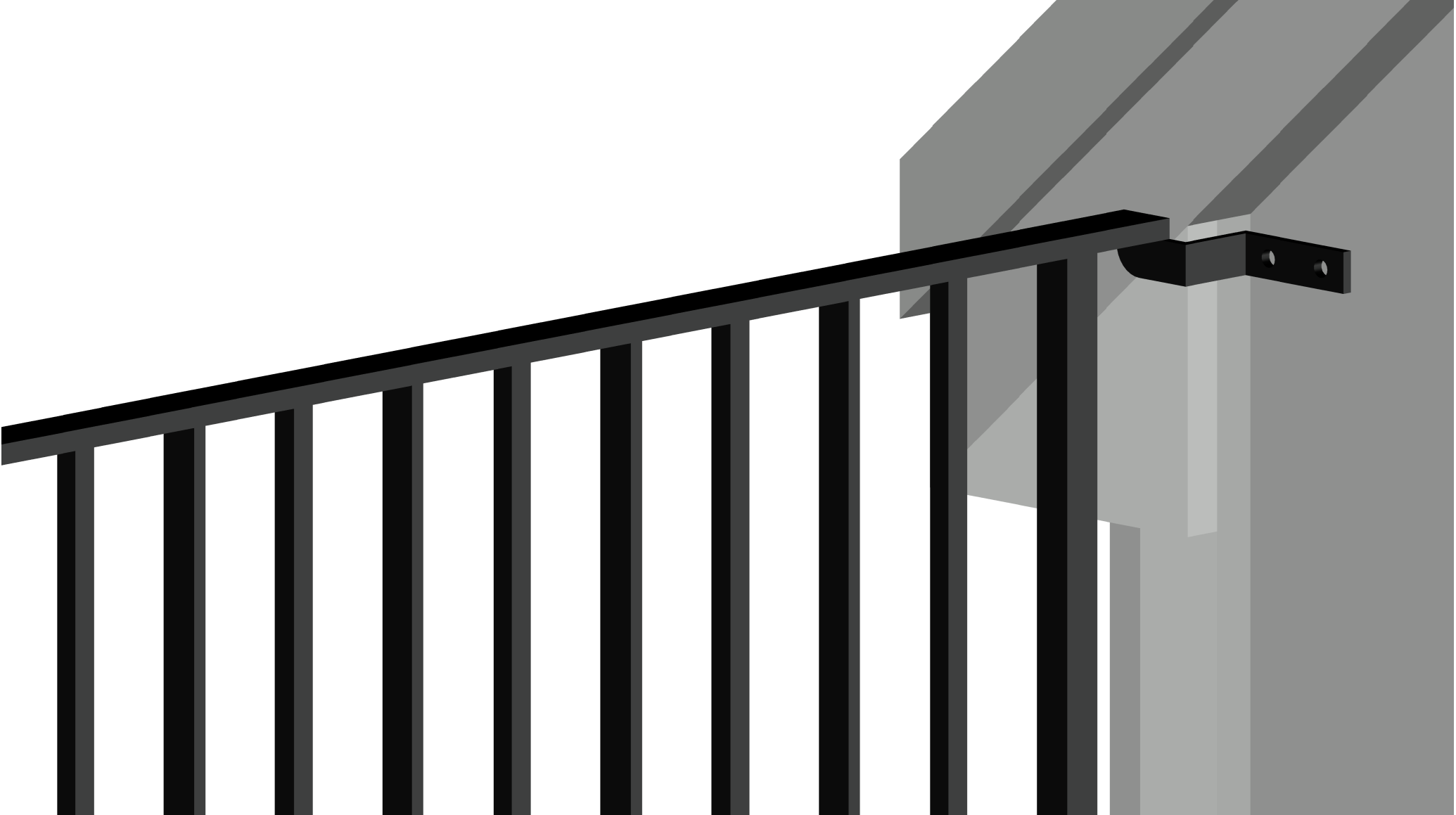
DECORATIVE IRON RAIL  
MECHANIC STREET

SCALE: 1" = 1'  
DATE: 6-15-2021  
DRAWING NO.: SK-2









## 2. 105 Daniel Street - Recommended Approval

**Background:** The applicant is seeking approval for the replacement of an existing chain-link fence with a new wood fence.

**Staff Comment:** Recommended Approval

### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-397**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 12, 2021**Applicant**

KAREN WIESE  
karenwiese777@gmail.com  
105 Daniel Street, Floor 2  
Floor 2  
Portsmouth, NH 03801  
207-636-0583

**Location**

105 DANIEL ST  
Portsmouth, NH 03801

**Owner:**

WIESE KAREN P  
105 DANIEL ST FLR 2 PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Replace a chain link fence with a 21' long, 4' tall cedar fence with 1"x4" board and cedar cap, on my property line.

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Owner of this property

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

--

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

--

**Planning Staff Comments**

--

**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

**Owner Addressee Prefix and Last Name**

--

**Owner Organization / Business Name****Owner Contact Street Address**

Existing chain-link fence.



Proposed fence style:



### 3. 18 Porter Street

### - Recommended Approval

**Background:** The applicant is seeking approval for the installation of a radon mitigation system- as approved on another unit.

**Staff Comment:** Recommended Approval

#### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-396**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 12, 2021**Applicant**

RICHARD A FERDINAND  
ferdla@aol.com  
18 Porter Street  
Portsmouth, NH 03801  
3105671284

**Location**

18 PORTER ST  
Portsmouth, NH 03801

**Owner:**

FERDINAND-RIGAZIO FAM TST & FERDINAND R A & RIGAZIO M K  
TRUSTEES  
18 PORTER ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Radon mitigation system installation on the exterior wall up to the roofline. Top of mitigation system will extend 12"-18" above roofline where gutter is located. Contractor will run 3" Schedule 40 pipe up the side of the building to first roof line. The PVC pipe shall be painted red to match the brock and the portion above the roof shall be painted a darker color to match the roofline. The existing gutters and downspouts are also copper, although tarnished over many years

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Other

**If you selected "Other", please state relationship to project.**

Property Manager

**Full Name (First and Last)**

Michael Street

**Business Name (if applicable)**

Porter Street Condominium Assn

**Mailing Address (Street)**

11 Court Street

**City/Town**

Exeter

**State**

NH

**Zip Code**

03833

**Phone**

603-778-6300

**Email Address**

michaels@cpmanagement.com

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction**

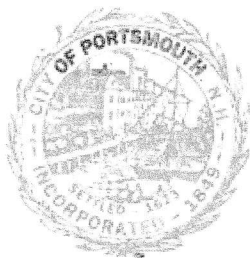


### Explanation to Photo.

As requested, the photo shows the radon mitigation system installed at #16 porter st. It is the copper painted pipe immediately to the right of the water drain.

The proposed system for 18 Porter st will be identical in structure and will be installed parallel and approximately 4 ft to the right of 16 Porter system and approximately 18 inches to the left of the 18 Porter balconies.





# CITY OF PORTSMOUTH

Planning Department  
1 Junkins Avenue  
Portsmouth, New  
Hampshire 03801  
(603) 610-7216

## HISTORIC DISTRICT COMMISSION

May 24, 2021

Porter Street Condominium Association  
Attn: Michael Street, Property Manager  
11 Court Street  
Exeter, NH 03833

RE: 16 Porter Street (LUHD-270)

Dear Owner:

The Historic District Commission, at its regularly scheduled meeting of **Wednesday, May 05, 2021**, considered your request for administrative approval for installation of a radon mitigation system. As a result of said consideration, the Commission voted to **grant** the Administrative Approval with the following stipulation:

1. The PVC pipe shall be painted red to match the brock and the portion above the roof shall be painted a darker color to math the roofline.

The minutes and audio recording of this meeting are available by contacting the Planning Department.

Very truly yours,

Nicholas J. Cracknell, AICP, Principal Planner  
for Vincent Lombardi, Chairman of the Historic District Commission

cc:

Charles Wu, Applicant, Unit Owner

NOTE: This system will be installed by Superior Water, Litchfield N.H.  
who did the installation for 16 Porter Street.



#### 4. 45 Market Street

#### - Recommended Approval

**Background:** The applicant is seeking approval for changes to a previously approved design (change in window manufacturer).

**Staff Comment:** Recommended Approval

#### **Stipulations:**

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



10/29/2021

LUHD-399

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Oct 26, 2021

Applicant

Shannon Alther  
pod1@tms-architects.com  
1 Cate Street  
Portsmouth , NH 03801  
603-436-4274

Location

45 MARKET ST  
Portsmouth, NH 03801

Owner:

C5 45 MARKET STREET LLC  
45 MARKET ST PORTSMOUTH, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Our Team has gone thru a number of options and iterations for project windows based on product availability. The originally approved Pella Windows have an extremely long lead time. We are requesting the ability to switch to Marvin Elevate windows for the project.

It is paintable fiberglass exterior and wood interior with SDL and spacer bar. The style will match what we presented to HDC previously.

On Market Street, the ground floor is the wood mahogany storefront and the upper three levels (10 windows total at Market Street) are proposed be the Marvin Elevate series. The rear of the building (not really visible) would also be the Elevate series.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Shannon Alther

Business Name (if applicable)

TMS Architects

Mailing Address (Street)

1 Cate Street

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

603-436-4274

Email Address

pod1@tms-architects.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



# 45 Market Street

Portsmouth NH



## Requesting:

1. Change **from** Pella Reserve windows **to** Marvin Elevate windows
2. Same style / pattern and SDL w/ spacer bar
3. 10 visible along Market Street
4. Rear of building to be Marvin Elevate as well
5. Mahogany Storefront as originally approved

Administrative Approval Request

## 5. 41 Salter Street

## - Recommended Approval

**Background:** The applicant is seeking approval for a change to a previously approved design (remove the approved awning windows and add skylights).

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_

**LUHD-400**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 26, 2021**Applicant**

Carla Goodknight  
carla@cjarchitects.net  
233 Vaughan Street  
Suite 101  
Portsmouth, NH 03801  
6034312808

**Location**

41 SALTER ST  
Portsmouth, NH 03801

**Owner:**

LEWIS MICHAEL PETER & LEWIS ARNA DIMAMBRO  
41 SALTER ST PORTSMOUTH, NH 03801

**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

Remove previously approved awning windows and add proposed skylights.

**Description of Proposed Work (Planning Staff)**

--

**Project Representatives****Relationship to Project**

Architect

**If you selected "Other", please state relationship to project.**

--

**Full Name (First and Last)**

Carla Goodknight

**Business Name (if applicable)**

CJ Architects

**Mailing Address (Street)**

233 Vaughan Street, Suite 101

**City/Town**

Portsmouth

**State**

New Hampshire

**Zip Code**

03801

**Phone**

603 431 2808

**Email Address**

carla@cjarchitects.net

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other



City of Portsmouth  
Historic District Commission & Planning Department  
1 Junkins Avenue  
Portsmouth, NH 03801

October 26, 2021

41 Salter Street - HDC Application for Amended Approval

We respectfully submit this Application for Amended Approval for the 41 Salter Street project. During design development it came to our attention that the previously approved awning windows are located in a portion of the wall that is less than 5' from the property line. The International Building Code does not permit openings within 5' of a property line. Since ventilation is desired by the owner, skylights are the preferred option. As seen in the photos on 1.0 and the 3D model on 2.0 the skylights will be located along the 5' alley between the two neighboring buildings on Salter Street and will not be visible from any public vantage points.

- 1) Removal of (2) awning windows located on the left elevation.
- 2) Addition of (2) skylights located on the roof above the left elevation.

Thank you for your consideration.  
Sincerely,

A handwritten signature in black ink, appearing to be 'Cn' followed by a long horizontal stroke.

Carla Goodknight, AIA  
Principal, CJ Architects

Representing owners:  
Michael Lewis & Arna Diambro-Lewis



EXISTING ELEVATIONS



FRONT ELEVATION



BACK ELEVATION



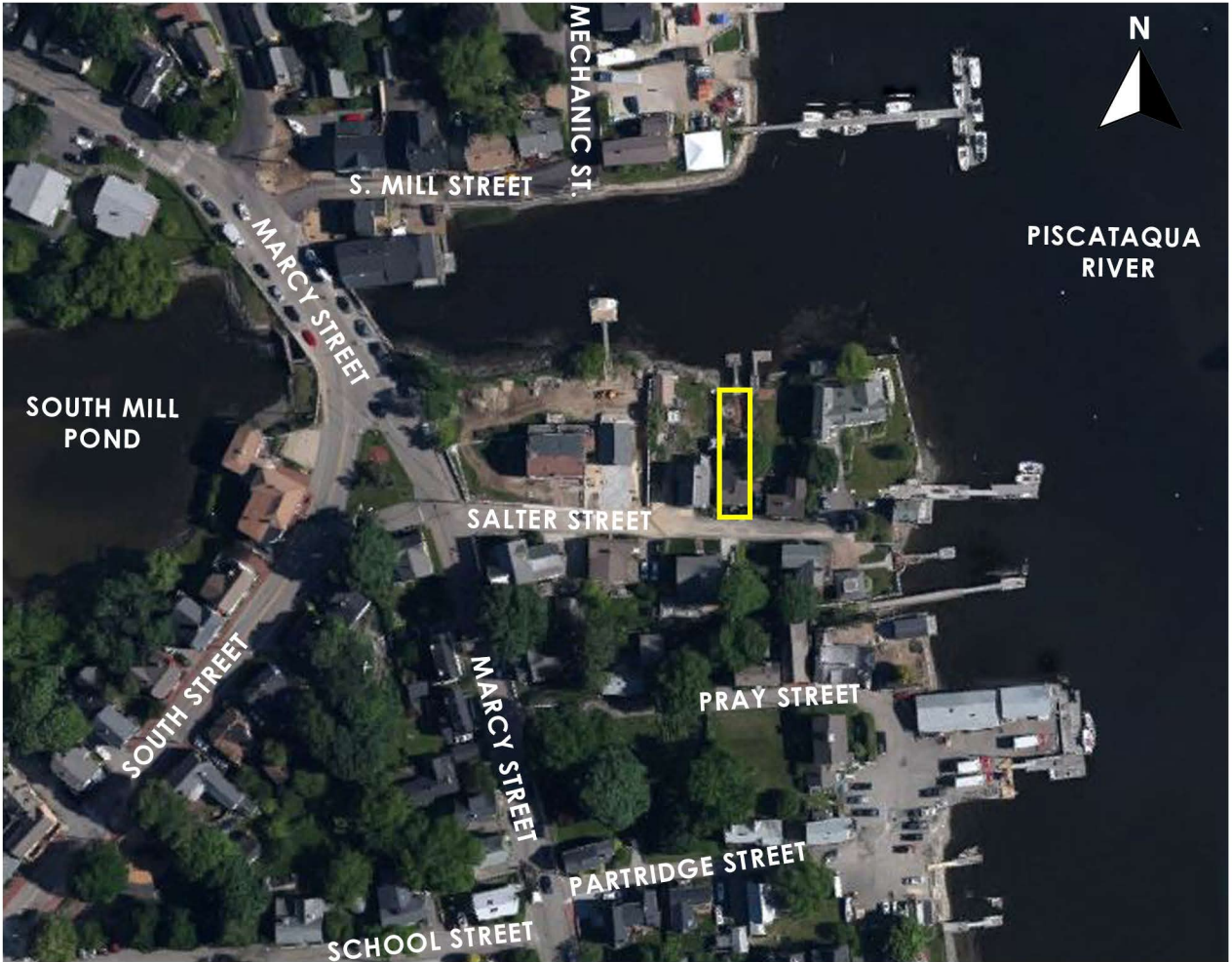
LEFT ELEVATION

APPROXIMATE LOCATION OF APPROVED  
AWNING WINDOWS AND PROPOSED SKYLIGHTS  
LOCATED WITHIN +/- 5' ALLEY

APPROXIMATE LOCATION OF APPROVED  
AWNING WINDOWS AND PROPOSED SKYLIGHTS  
LOCATED WITHIN +/- 5' ALLEY

APPROXIMATE LOCATION OF APPROVED  
AWNING WINDOWS AND PROPOSED SKYLIGHTS  
LOCATED WITHIN +/- 5' ALLEY

AERIAL VIEW



41 SALTER STREET  
PORTSMOUTH, NEW HAMPSHIRE

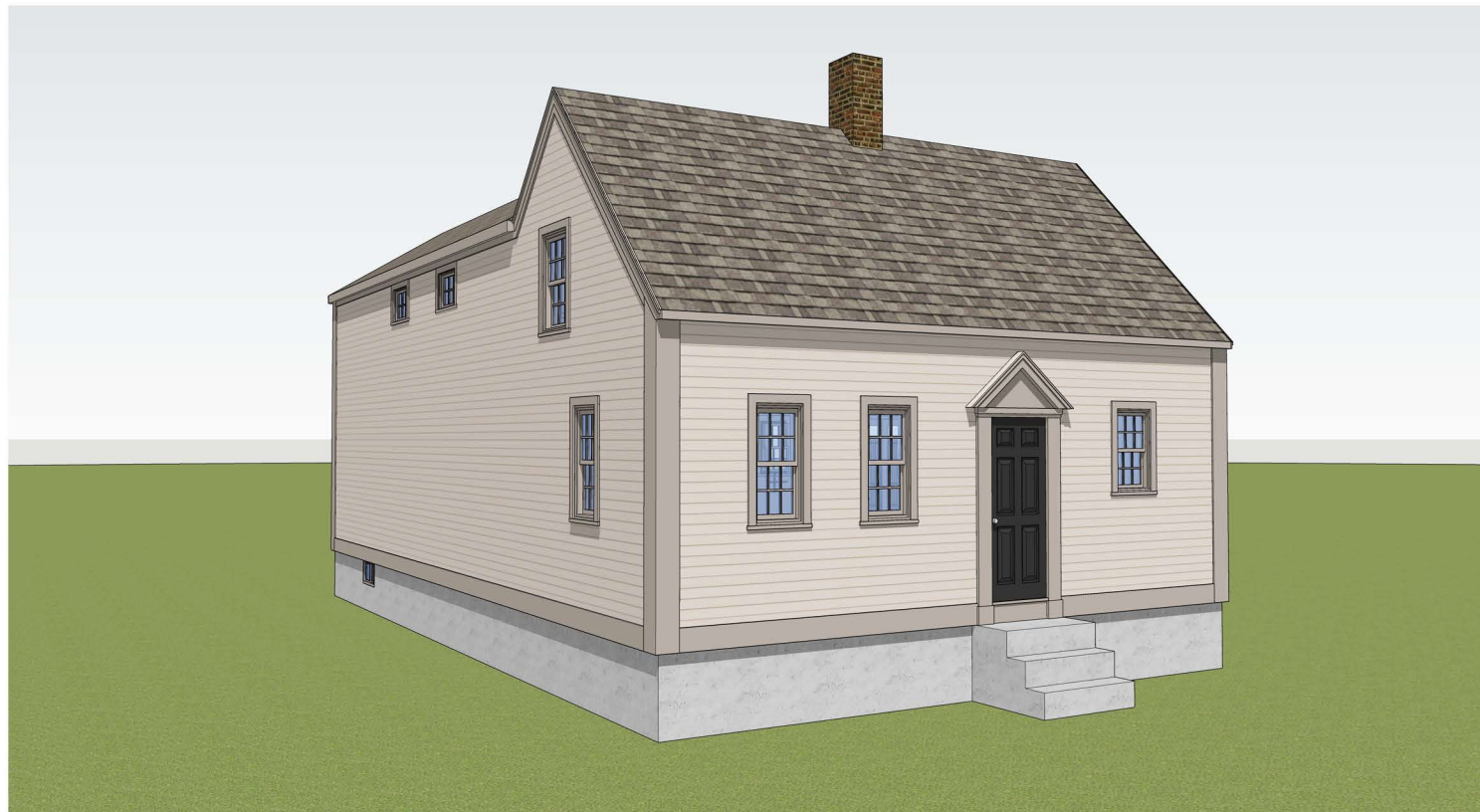
AERIAL VIEW OF  
SITE AND SURROUNDINGS

HDC APPLICATION FOR AMENDED APPORVAL: NOVEMBER 3, 2021

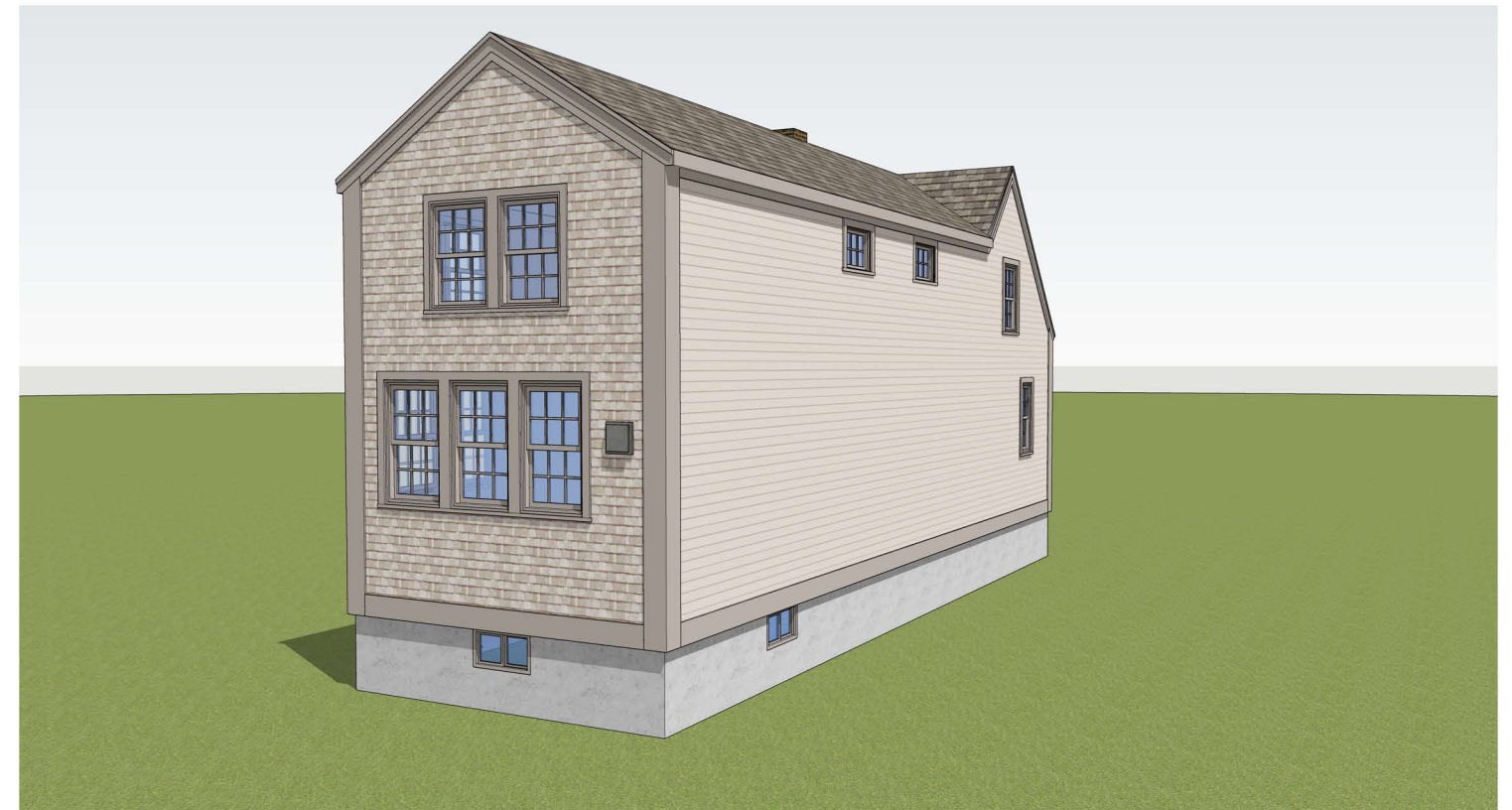


1.0

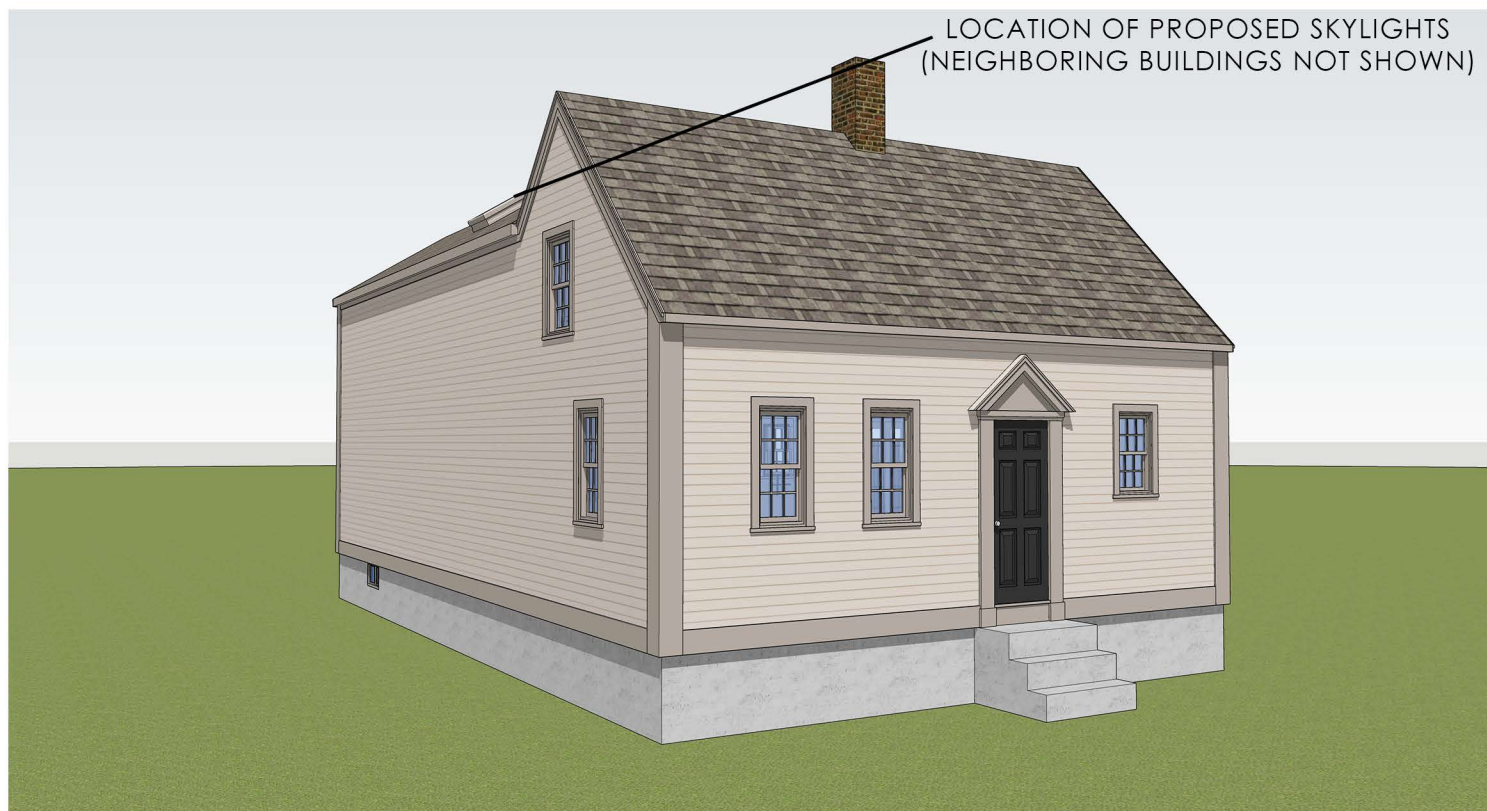




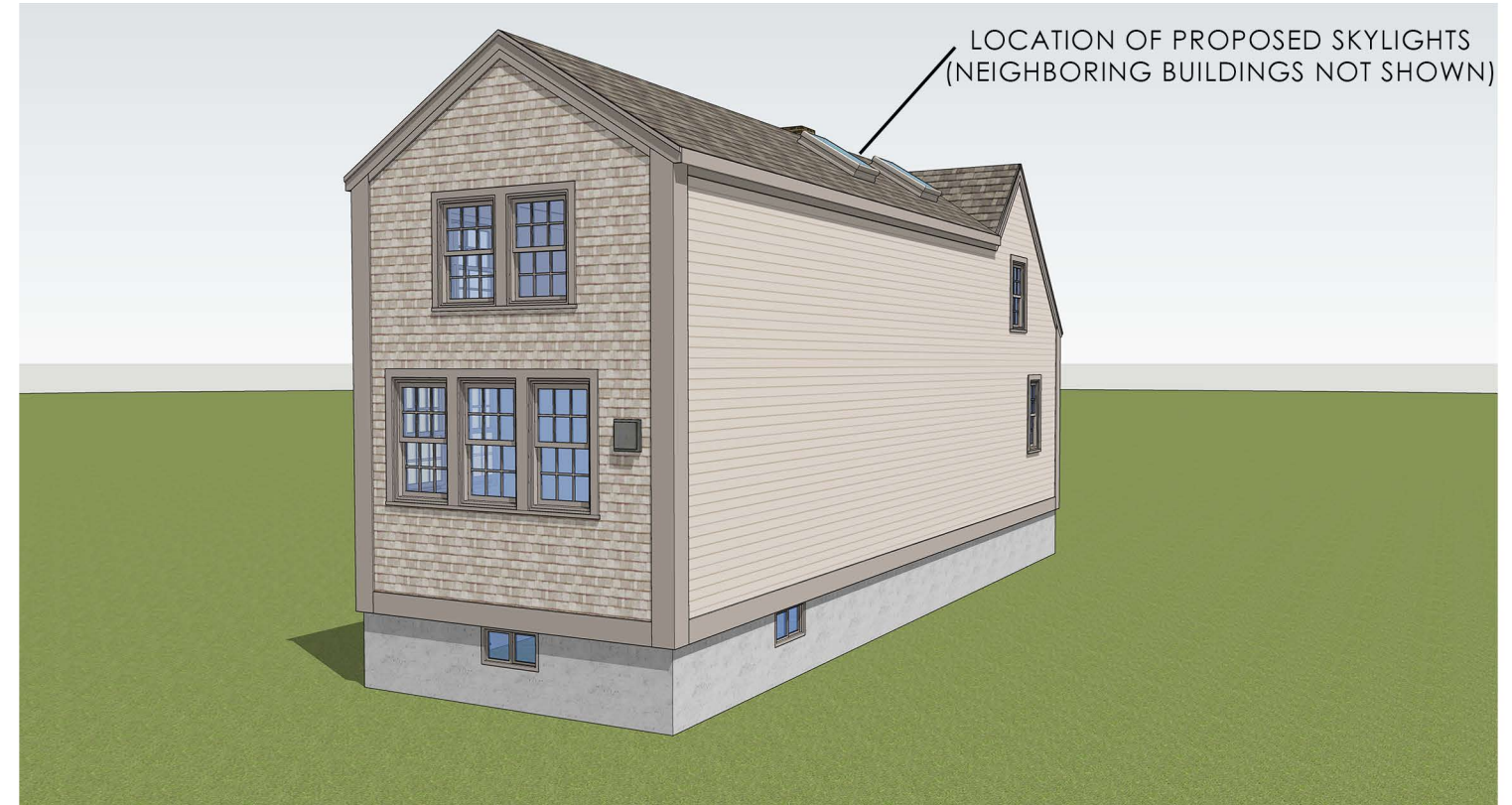
APPROVED FRONT VIEW



APPROVED REAR VIEW



AMENDED FRONT VIEW



AMENDED REAR VIEW

41 SALTER STREET  
PORTSMOUTH, NEW HAMPSHIRE

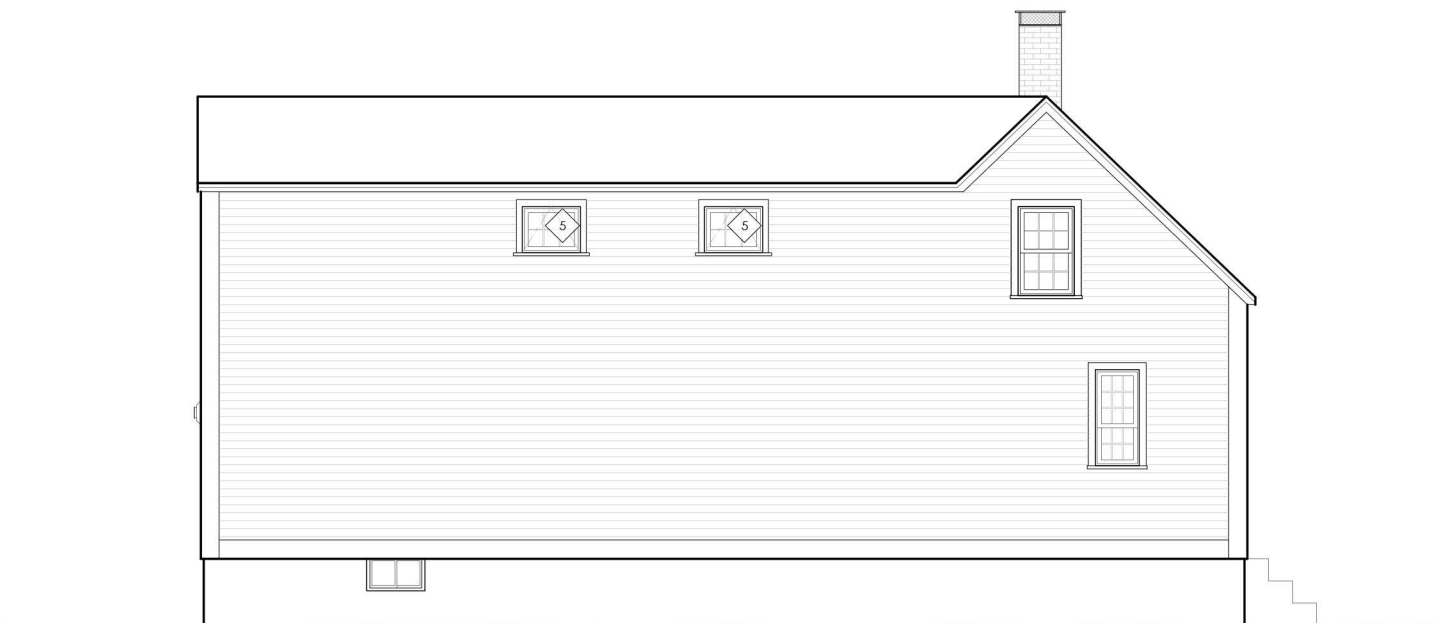
## APPROVED & AMENDED VIEWS

HDC APPLICATION FOR AMENDED APPROVAL: NOVEMBER 3, 2021

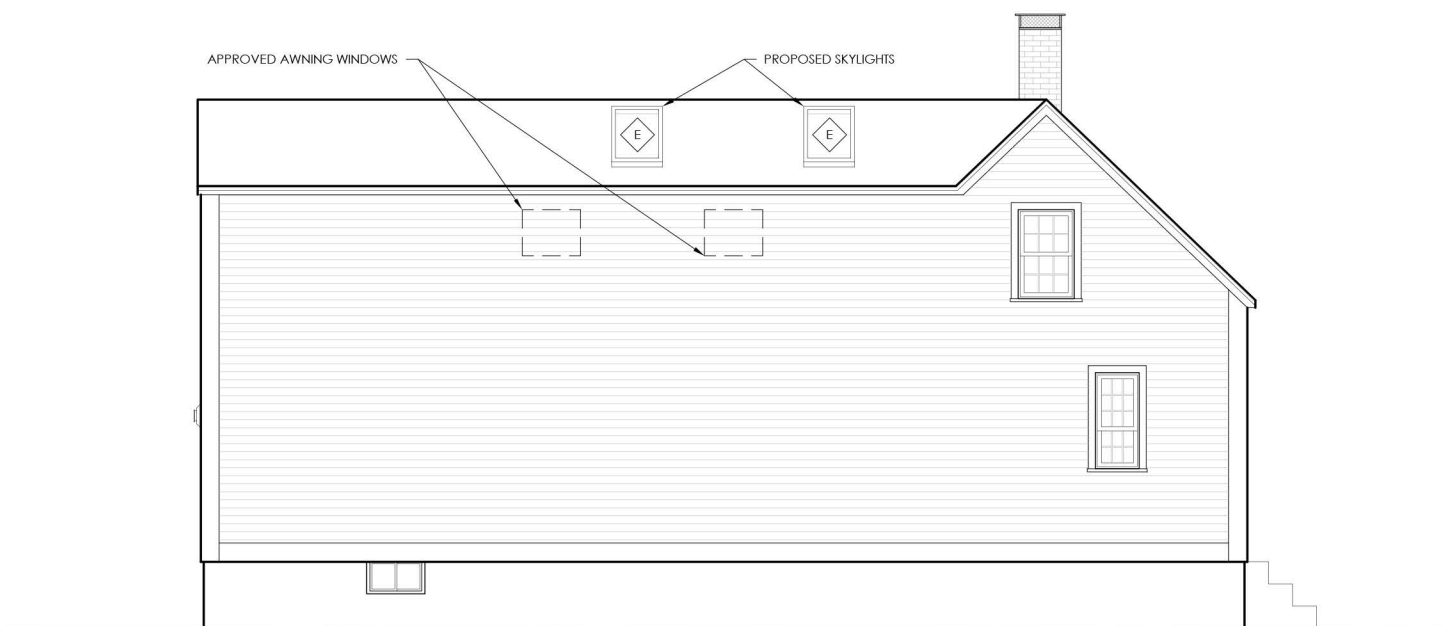


2.0





APPROVED LEFT ELEVATION



AMENDED LEFT ELEVATION

41 SALTER STREET  
PORTSMOUTH, NEW HAMPSHIRE

APPROVED & AMENDED ELEVATIONS  
SCALE: 1/8" = 1'-0"  
HDC APPLICATION FOR AMENDED APPORVAL: NOVEMBER 3, 2021



#### SKYLIGHTS

MANUFACTURER:	VELUX
STYLE:	VENTING CURB MOUNTED (VCM)
COLOR:	MATCH EXISTING
UNIT SIZE:	(W) 2'-1 1/2" X (H) 3'-1 1/2"



3.0

## 6. 30 Cate Street

## - Recommended Approval

**Background:** The applicant is seeking approval for a change to a previously approved design (change in length of approved fencing).

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



City of Portsmouth, NH

10/29/2021

**LUHD-401**

Historic District Commission Work Session or Administrative Approval Application

**Status:** Active**Date Created:** Oct 27, 2021**Applicant****Location**30 CATE ST  
Portsmouth, NH 03801**Owner:**CATE STREET LLC  
105 BARTLETT ST PORTSMOUTH, NH 03801**Application Type****Please select application type from the drop down menu below**

Administrative Approval

**Alternative Project Address**

--

**Project Information****Brief Description of Proposed Work**

One version of our Site plan was approved with train track border fence to go all the way to Bartlett st. After speaking in person and walking the final land with the abutter, they agree their original request can be cut back and can extend just another 55 feet to prohibit pedestrians from accessing the tracks at those open space in the landscaping.

**Description of Proposed Work (Planning Staff)**

--

**Acknowledgement****I certify that the information given is true and correct to the best of my knowledge.****By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction****I hereby certify that as the applicant for permit, I am**

Other

**If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.**

Work for developer/builder

**INTERNAL USE ONLY -- Historic District Commission Review and Approval****HDC Certificate of Approval Granted****HDC Approval Date**

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**Planning Staff Comments**

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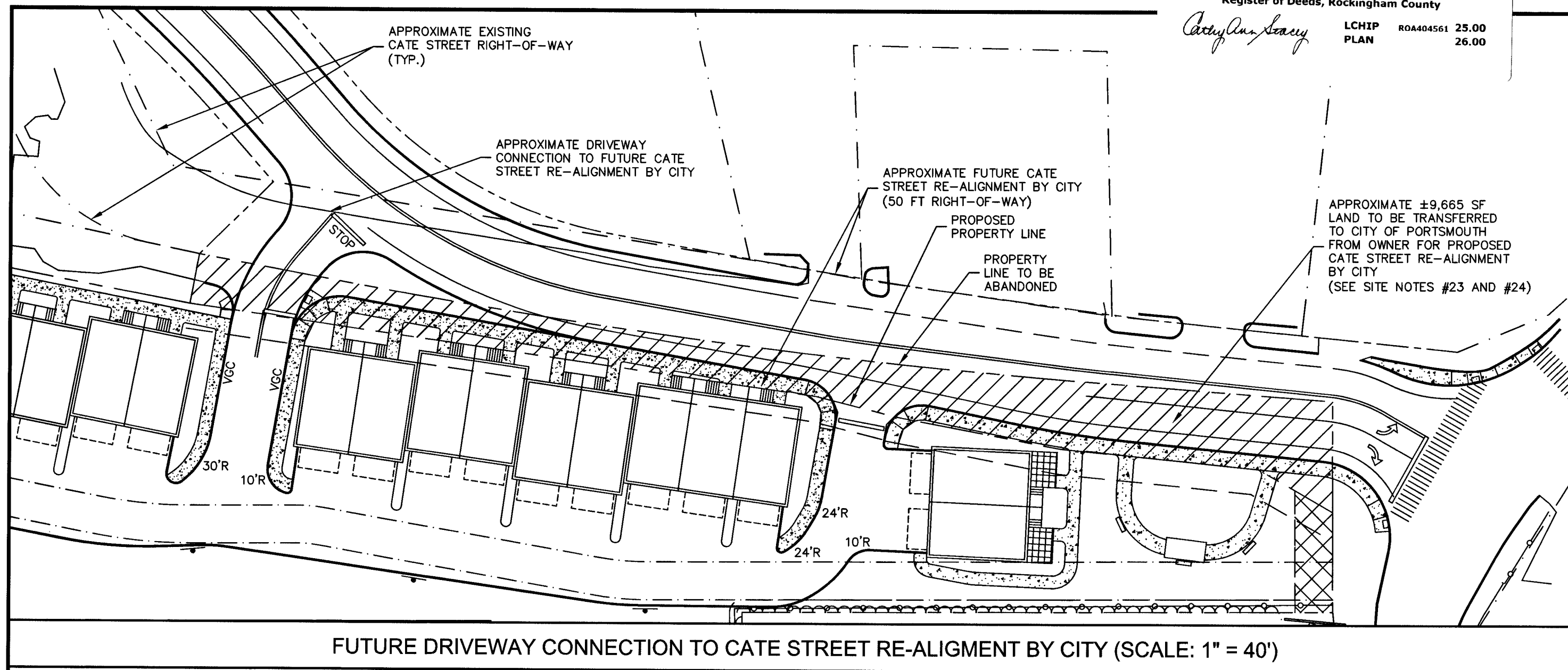
**INTERNAL USE ONLY -- Letter of Decision Information****Owner Addressee Full Name and Title**

--

**Owner Addressee Prefix and Last Name**

--





#### DEVELOPMENT STANDARDS

BUILDING PLACEMENT (PRINCIPAL BUILDING):		REQUIRED	PROVIDED
MAXIMUM PRINCIPAL FRONT YARD		10 FT	10 FT
MAXIMUM SECONDARY FRONT YARD		15 FT	109 FT
MAXIMUM SIDE YARD		NR	5 FT
REAR YARD		5 FT	12.8 FT
FRONT LOT LINE BUILDOUT		50% (MIN)	±51.2%
BUILDING TYPES:			
ALLOWED BUILDING TYPES		ROWHOUSE	ROWHOUSE
ALLOWED FACADE TYPE		STOOP	STOOP
BUILDING FORM (PRINCIPAL BUILDING):			
BUILDING HEIGHT		REQUIRED 2-3 STORIES	PROVIDED 3 STORIES
MAXIMUM FINISHED FLOOR SURFACE OF GROUND FLOOR ABOVE SIDEWALK GRADE		36 IN	≤ 36 IN
MINIMUM GROUND STORY HEIGHT		12 FT	≤ 12 FT
FACADE GLAZING:		20% - 50%	40%
ALLOWED ROOF TYPES		FLAT, GABLE, HIP, GAMBREL, MANSARD	SINGLE AND GABLE
LOT OCCUPATION:			
MAXIMUM BUILDING BLOCK LENGTH		REQUIRED 200 FT	PROVIDED 198 FT
REQUIRED FACADE MODULATION		80 FT	66 FT
MINIMUM ENTRANCE SPACING		50 FT	20 FT
MAXIMUM BUILDING COVERAGE		60%	±28.4%
MAXIMUM BUILDING FOOTPRINT		15,000 SF	±7,920 SF
MINIMUM LOT AREA		5,000 SF	94,441 SF
MINIMUM LOT AREA PER DWELLING UNIT (94,441 SF / 31 UNITS)		2,500 SF	3,046 SF
MINIMUM OPEN SPACE		15%	±27.6%

#### NOTE:

APPROXIMATE FUTURE CATE STREET RE-ALIGNMENT IS BASED ON CONCEPTUAL PLANS PREPARED BY THE CITY OF PORTSMOUTH AND IS FOR INFORMATIONAL PURPOSES ONLY. PROPOSED ROADWAY IMPROVEMENTS, DRIVEWAY LOCATION AND LAND SWAPS SHALL BE COORDINATED WITH THE CITY OF PORTSMOUTH PRIOR TO CONSTRUCTION.

#### SITE DATA

LOCATION: BARTLETT STREET/CATE STREET  
PORTSMOUTH, NH 03801  
TAX MAP 165 LOT 1

OWNER: MERTON ALLEN INVESTMENTS, LLC  
C/O JOHN RYAN & CASSASSA  
459 LAFAYETTE ROAD  
HAMPTON, NEW HAMPSHIRE 03842

ZONING DISTRICT: CHARACTER DISTRICT 4-W (CD4-W)  
WEST END INCENTIVE OVERLAY DISTRICT

PROPOSED USE: MULTIFAMILY DWELLING UNITS

PROPOSED LOT SIZE: ±2.17 ACRES (±94,525 SF)

#### PARKING REQUIREMENTS:

	MIN. REQUIRED	MAX. ALLOWED	PROVIDED
PARKING SPACES REQUIRED:			
TOWNHOUSE = 2 SPACES PER UNIT			
31 UNITS = (2*31 UNITS)	62 SPACES	68 SPACES	64 SPACES

#### EASEMENT NOTES:

- THE APPLICANT SHALL GRANT A 15' ROAD WIDENING EASEMENT TO THE CITY FOR THE AREA CURRENTLY SHOWN AS "15' MAX SECONDARY FRONT YARD" ADJACENT TO BARTLETT STREET.
- THE APPLICANT SHALL GRANT AN EASEMENT TO THE CITY FOR ACCESS TO ALL WATER LINE SHUTOFFS AND THE EASEMENT SHALL ALSO LIST THE ABILITY FOR THE CITY TO HAVE TESTING AND LEAK DETECTION ACCESS IN THE FUTURE.

#### NOTES:

- THIS SITE PLAN SHALL BE RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- THIS IS NOT A BOUNDARY SURVEY AND SHALL NOT BE USED AS SUCH.

**Tighe & Bond**  
Engineers | Environmental Specialists

#### FOR RECORDING PURPOSES ONLY

Merton Allen Investments, LLC  
C/O Casassa & Ryan  
459 Lafayette Road  
Hampton, NH 03842

**Merton Allen Investments, LLC**

Proposed  
Townhouse  
Development  
Bartlett & Cate Street

Portsmouth,  
New Hampshire

#### REFERENCE PLANS:

- "LAND IN PORTSMOUTH, N.H. BOSTON AND MAINE RAILROAD TO ALL STATE REALTY CORPORATION J.F. KERWIN, ASST. CHIEF ENGR", SCALE 1" = 50', FEBRUARY 1961, BY BRENTON V. SCHOFIELD. RCRD PLAN #160.
- "PLAN OF LAND FOR JOSEPH J. OBRIEN JR. & SR. CATE STREET/ROUTE 1 BYPASS COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." BY RICHARD P. MILLETTE AND ASSOCIATES, DATED NOVEMBER 17, 1988. RCRD PLAN #0-19110.
- "RIGHT-OF-WAY AND TRACK MAP BOSTON AND MAINE R.R. OPERATED BY BOSTON AND MAINE R.R., STATION 2928+05 TO STATION 2966+20 BY OFFICE OF VALUATION ENGINEER DATED JUNE 30, 1914, WITH LAST REVISION DATED DECEMBER 1981.
- "EXISTING FEATURES PLAN TAX MAP 165 LOT 1 PROPERTY OF MERTON ALAN INVESTMENTS LLC" PREPARED BY MSC CIVIL ENGINEERS & LANDS SURVEYORS, INC. LAST REVISED OCTOBER 6, 2013.

APPROVED BY THE CITY OF PORTSMOUTH, NH PLANNING BOARD  
DATE 11/15/2017

THE SOLE PURPOSE OF THIS PLAN IS TO DEPICT THE LOCATION OF EXISTING AND PROPOSED IMPROVEMENTS ON THE SITE. RECORDING OF THIS PLAN WAS A REQUIREMENT OF THE PORTSMOUTH PLANNING BOARD AS PART OF THEIR APPROVAL DATED FEBRUARY 21, 2017 (WITH CONDITIONS). PROPERTY LINES SHOWN HEREON ARE BASED ENTIRELY ON REFERENCE PLAN #4.

FOR SURVEYOR  
DATE 10-31-17

MARK	DATE	DESCRIPTION
L	10/26/2017	Registry of Deeds Plans
K	9/13/2017	Amended P.B. Submission
J	8/31/2017	Revised TAC Submission
I	8/21/2017	Amended Site Plan Review
H	7/11/2017	Amended P.B. Submission
G	6/19/2017	Amended Site Plan Review
F	6/13/2017	Rev. Sewer Connection Plans
MARK	DATE	DESCRIPTION
PROJECT NO:	C0876-3	
DATE:	12/19/2016	
FILE:	C-0876-3-SITE_Registry.dwg	
DRAWN BY:	NAH	
CHECKED:	PMC	
APPROVED:	GMM	

#### SITE PLAN

SCALE: AS SHOWN

C-2

#### LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	PROPOSED EASEMENT LINE
---	APPROXIMATE ABUTTER LINE
---	PROPOSED RIGHT-OF-WAY
---	TREE LINE
---	PROPOSED TREE LINE
---	ZONE LINE
---	PROPOSED CONCRETE PAD/SIDEWALK
---	LAND TO BE TRANSFERRED FOR CATE STREET RIGHT-OF-WAY
---	PROPOSED SLOPED GRANITE CURB
---	PROPOSED VERTICAL GRANITE CURB
---	PROPOSED CURB RADIUS
---	CHAIN LINK FENCE
---	PROPOSED FENCE
---	PROPOSED ACCESSIBLE PARKING
---	GRAVEL
---	COORD. CONST. TYP.
---	COORD. CONST. TYP.

#### SITE NOTES:

- STRIPED PARKING AREAS AS SHOWN, INCLUDING PARKING SPACES, STOP BARS, ADA SYMBOLS, PAINTED ISLANDS, CROSS WALKS, ARROWS, LEGENDS AND CENTERLINES (ALL MARKINGS EXCEPT CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING WHITE TRAFFIC PAINT; CENTERLINE AND MEDIAN ISLANDS TO BE CONSTRUCTED USING YELLOW TRAFFIC PAINT. ALL TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF AASHTO M246 TYPE "F").
- ALL PAVEMENT MARKINGS AND SIGNS TO CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", "STANDARD ALPHABETS FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS", AND THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS, LATEST EDITIONS.
- SEE DETAILS FOR PARKING STALL MARKINGS, ADA SYMBOLS, SIGNS AND SIGN POSTS.
- CENTERLINES SHALL BE FOUR (4) INCH WIDE YELLOW LINES. STOP BARS SHALL BE EIGHTEEN (18) INCHES WIDE.
- PAINTED ISLANDS SHALL BE FOUR (4) INCH WIDE DIAGONAL LINES AT 3'-0" O.C. BORDERED BY FOUR (4) INCH WIDE LINES.
- THE CONTRACTOR SHALL EMPLOY A NEW HAMPSHIRE LICENSED ENGINEER/SURVEYOR TO DETERMINE ALL LINES AND GRADES.
- CLEAN AND COAT VERTICAL FACE OF EXISTING PAVEMENT AT SAWCUT LINE WITH RS-1 EMULSION IMMEDIATELY PRIOR TO PLACING NEW BITUMINOUS CONCRETE.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR TOWN CODES & SPECIFICATIONS.
- WORK WITHIN CATE STREET AND BARTLETT STREET SHALL BE COORDINATED WITH CITY OF PORTSMOUTH.
- CONTRACTOR TO SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLARS AND IN DIGITAL FORMAT (DWG FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
- SEE BUILDING DRAWINGS FOR ALL CONCRETE PADS & SIDEWALKS ADJACENT TO BUILDING.
- ALL WORK SHALL CONFORM TO THE CITY OF PORTSMOUTH DEPARTMENT OF PUBLIC WORKS, STANDARD SPECIFICATIONS.
- CONTRACTOR TO PROVIDE BACKFILL AND COMPACTION AT CURB LINE AFTER CONCRETE FORMS FOR SIDEWALKS AND PADS HAVE BEEN STRIPPED. COORDINATE WITH BUILDING CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING RETAINING WALL DESIGN FROM WALL MANUFACTURERS, AND SUBMITTING DESIGN TO ENGINEER FOR APPROVAL PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO CONSTRUCT WALL IN ACCORDANCE WITH DESIGN APPROVED BY THE ENGINEER. RETAINING WALL SHALL BE SEGMENTED BLOCK WALL SYSTEM AS OUTLINED IN THE SPECIFICATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- THE APPLICANT SHALL HAVE A SITE SURVEY CONDUCTED BY A RADIO COMMUNICATIONS CARRIER APPROVED BY THE CITY'S COMMUNICATION DIVISION. THE RADIO COMMUNICATIONS CARRIER MUST BE FAMILIAR AND CONVERSANT WITH THE POLICE AND RADIO CONFIGURATION. IF THE SITE SURVEY INDICATES IT IS NECESSARY TO INSTALL A SIGNAL REPEATER EITHER ON OR NEAR THE PROPOSED PROJECT, THOSE COSTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE APPLICANT SHALL BE REQUIRED TO PAY FOR THE SITE SURVEY WHETHER OR NOT THE SURVEY INDICATES A REPEATER IS NECESSARY. THE OWNER SHALL COORDINATE WITH THE SUPERVISOR OF RADIO COMMUNICATIONS FOR THE CITY.
- PROPERTY MANAGER WILL BE RESPONSIBLE FOR TIMELY SNOW REMOVAL FROM ALL PRIVATE SIDEWALKS, DRIVEWAYS, AND PARKING AREAS. SNOW REMOVAL WILL BE HAULED OFF-SITE AND LEGALLY DISPOSED OF WHEN NECESSARY TO PROVIDE ADEQUATE SNOW STORAGE.
- ANY ROADWAY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED TO THE CITY OF PORTSMOUTH STANDARDS.
- THE SITE PLAN SHALL BE RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PORTSMOUTH PLANNING DIRECTOR.
- SNOW REMOVAL, SALT STORAGE, AND SALT APPLICATION ON SITE SHALL BE DONE IN ACCORDANCE WITH THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES SALT REDUCTION INITIATIVES.
- THE APPLICANT SHALL PROVIDE A SIDEWALK PLOWING EASEMENT ADJACENT TO SIDEWALK.
- THE APPLICANT SHALL WORK WITH THE DEPARTMENT OF PUBLIC WORKS ON THE FINAL REDESIGN OF CATE STREET AND ON AN APPROPRIATE SHARING OF COSTS FOR THE WORK, OR SHALL DO THE WORK IN CONJUNCTION WITH THE PROPOSED PROJECT.
- THE APPLICANT SHALL ENTER IN A MEMORANDUM OF AGREEMENT WITH THE CITY REGARDING LAND TRANSFERS AND EASEMENTS NECESSARY TO IMPLEMENT THE PROPOSED SITE PLAN AND ROADWAY IMPROVEMENTS, AND COST SHARING FOR THE IMPROVEMENTS TO CATE STREET.
- PROPERTY MANAGER WILL BE RESPONSIBLE FOR WEEKLY TRASH PICK UP FROM EACH UNIT. EACH UNIT OWNER SHALL BE RESPONSIBLE FOR PLACING TRASH OUTSIDE AT A PREDETERMINED TIME.

D-40741



## 7. 54 Humphreys Court - Recommended Approval

**Background:** The applicant is seeking approval for the removal of a chain-link fence and the addition of a new 4 ft. wood fence.

**Staff Comment:** Recommended Approval

### Stipulations:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_



10/29/2021

LUHD-398

Historic District Commission Work Session or Administrative Approval Application

Status: Active

Date Created: Oct 25, 2021

Applicant

Location

54 HUMPHREYS CT  
Portsmouth, NH 03801

Owner:

Ben StJean  
54 HUMPHREYS CT 54 HUMPHREYS CT PORTSMOUTH, nh 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Alternative Project Address

--

Project Information

Brief Description of Proposed Work

Replace chain link fence with a 4 foot wooden fence.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Ben StJean

Business Name (if applicable)

--

Mailing Address (Street)

54 HUMPHREYS CT

City/Town

PORTSMOUTH

State

nh

Zip Code

03801

Phone

16032055772

Email Address

benstjean@outlook.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.



By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction



I hereby certify that as the applicant for permit, I am

Owner of this property



The proposed fencing will have the flat top, not the scalloped top.