

**BOARD OF ADJUSTMENT
PORTSMOUTH, NEW HAMPSHIRE**

Remote Meeting Via Zoom Conference Call

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You are required to register to join the meeting over Zoom, a unique meeting ID and password will be provided once you register. Public comments can be emailed in advance to planning@cityofportsmouth.com. For technical assistance, please contact the Planning Department by email (planning@cityofportsmouth.com) or phone (603) 610-7216.

Per NH RSA 91-A:2, III (b) the Chair has declared the COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2021-01, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

7:00 P.M.

FEBRUARY 16, 2021

AGENDA

I. APPROVAL OF MINUTES

- A) Approval of the minutes of the meetings of January 19 and 26, 2021.

II. OLD BUSINESS

- A) Petition of **Karona, LLC, Owner**, for property located at **36 Artwill Avenue** whereas relief is needed from the Zoning Ordinance to convert an existing garage into a Detached Accessory Dwelling Unit which requires the following: 1) A Variance from Section 10.521 to allow 0 feet of street frontage where 100 feet is required. Said property is shown on Assessor Map 229 Lot 4 and lies within the Single Residence B (SRB) District.

III. PUBLIC HEARINGS – NEW BUSINESS

- A) Petition of **Brian Short, LLC, Owner**, and **Alex Vandermark, Applicant**, for property located at **2225 Lafayette Road** whereas relief is needed from the Zoning Ordinance to add a mobile juicery trailer to the property which requires the following: 1) A Special Exception according to Section 10.440 Use #18.40 where this use is allowed by Special Exception. Said property is shown on Assessor Map 272 Lot 2 and lies within the (G1) District.

- B) Petition of **Michael & Cathi Stetson, Owners**, for property located at **406 Lang Road** whereas relief is needed from the Zoning Ordinance for the keeping of chickens which requires

the following: 1) A Special Exception from Section 10.440 Use #17.20 to allow the keeping of farm animals where the use is permitted by Special Exception. Said property is shown on Assessor Map 289 Lot 7 and lies within the Single Residence B (SRB) District.

C) **REQUEST TO POSTPONE** Petition of **Andrew & Katy DiPasquale, Owners**, for property located at **80 Fields Road** whereas relief is needed from the Zoning Ordinance to remove an existing shed and construct a new 117 square foot shed on a 12' x 15' platform which requires the following: 1) A Variance from Section 10.521 to allow a) a 3 foot rear yard where 9 feet is required; and b) a 3 foot left side yard where 9 feet is required. 2) A Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed or enlarged without conforming to the requirements of the Ordinance. Said property is shown on Assessor Map 171 Lot 8 and lies within the Single Residence B (SRB) District. **REQUEST TO POSTPONE**

D) Petition of **Blair Rowlett & Carolina Hoell, Owners**, for property located at **53 Decatur Road** whereas relief is needed from the Zoning Ordinance for the keeping of chickens which requires the following: 1) A Special Exception from Section 10.440 Use #17.20 to allow the keeping of farm animals where the use is permitted by Special Exception. Said property is shown on Assessor Map 260 Lot 101 and lies within the Single Residence B (SRB) District.

E) Petition of **Melissa Williamson, Owner**, for property located at **295 Thornton Street** whereas relief is needed from the Zoning Ordinance to construct a two-story addition which requires the following: 1) A Variance from Section 10.521 to allow a 5 foot front yard where 15 feet is required. 2) A Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed or enlarged without conforming to the requirements of the Ordinance. Said property is shown on Assessor Map 162 Lot 4 and lies within the General Residence A (GRA) District.

F) Petition of **SAI Builders, LLC, Owner**, for property located at **27 Elwyn Avenue** whereas relief is needed from the Zoning Ordinance to install an AC condensing unit which requires the following: 1) A Variance from Section 10.521 to allow an 8 foot right side yard where 10 feet is required. Said property is shown on Assessor Map 113 Lot 28-1 and lies within the General Residence A (GRA) District.

G) **REQUEST TO POSTPONE** Petition of the **Elizabeth Larson Trust of 2012, Owner**, for property located at **668 Middle Street (off Chevrolet Avenue)** whereas relief is needed from the Zoning Ordinance to subdivide one lot into two lots and construct 4, 2-family structures on proposed Lot 2 which requires the following: 1) A Variance from Section 10.513 to allow 5 free-standing dwellings on a lot where only one is permitted. 2) A Variance from Section 10.521 to allow a lot area per dwelling unit of 4,517 square feet where 7,500 square feet per dwelling unit is required. Said property is shown on Assessor Map 147 Lot 18 and lies within the General Residence A (GRA) District. **REQUEST TO POSTPONE**

H) Petition of **Gregory & Amanda Morneault, Owners**, for property located at **137 Northwest Street** whereas relief is needed from the Zoning Ordinance to subdivide one lot into two lots and construct a new single family dwelling which requires the following: 1) Variances

from Section 10.521 to allow: a) a lot depth of 44.7 feet for Lot 1 and 25.4 feet for Lot 2 where 70 feet is required for each; b) a 3 foot front yard where 15 feet is required; and c) a 6.5 foot rear yard where 20 feet is required. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District.

D) Petition of **CLJR, LLC, Owner**, for property located at **6 Robert Avenue** whereas relief is needed from the Zoning Ordinance allow a martial arts studio which requires the following: 1) A Special Exception from Section 10.440 Use #4.42 to allow a martial arts studio with more than 2,000 square feet gross floor area where the use is permitted by Special Exception. Said property is shown on Assessor Map 286 Lot 17 and lies within the (G1) District.

IV. OTHER BUSINESS

V. ADJOURNMENT

**BOARD OF ADJUSTMENT MEETING
PORTSMOUTH, NEW HAMPSHIRE
Remote Meeting Via Zoom Conference Call**

7:00 P.M.

JANUARY 19, 2021

MINUTES

MEMBERS PRESENT: Chairman David Rheume, Vice-Chairman Peter McDonell, Jim Lee, Christopher Mulligan, Arthur Parrott, Alternate Phyllis Eldridge, Alternate Chase Hagaman, Alternate David MacDonald

MEMBERS EXCUSED: John Formella

ALSO PRESENT: Peter Stith, Planning Department

Chairman Rheume welcomed the new alternate member David MacDonald.

I. APPROVAL OF MINUTES

A) Approval of the minutes of the meeting of December 15, 2020.

*Mr. Hagaman moved to **approve** the minutes as amended by Mr. McDonell, and Mr. Parrott seconded. The motion **passed** by unanimous vote, 7-0.*

Chairman Rheume stated that there was a request to postpone New Business, Item E, 36 Artwill Avenue. He asked for a motion to take it out of order.

*It was moved, seconded, and **passed** by unanimous vote, 7-0, to take the item out of order. (See Page 12).*

Chairman Rheume stated that both alternates would be voting members for every petition and that the new alternate Mr. MacDonald would vote as needed for recusals.

II. OLD BUSINESS

A) Extension Request. The request of **Stephen Bucklin, Owner**, for property located at **322 Islington Street** for an extension of the approval issued on February 26, 2019 to move an existing carriage house to a new foundation and add a one-story connector to the existing house wherein the following variances are required: a) from Section 10.5A41.10A to allow a 1 foot rear yard where five feet is required, b) from Section 10.5A41.10A to allow a two foot left side yard where five feet is the minimum required; and c) from Section 10.321 to allow a nonconforming structure or building to be expanded, reconstructed or enlarged without

conforming to the requirements of the ordinance. Said property is shown on Assessor Map 145, Lot 3 and lies within the Character District 4-L2 (CD4-L2) District.

Chairman Rheume said the applicant was granted variances to conduct the project but had not yet met all the requirements, including submitting engineering details associated with drainage and also due to the impacts of the pandemic, so he was requesting a one-year extension.

DECISION OF THE BOARD

*Mr. Hagaman moved to **grant** the request for extension, and Ms. Eldridge seconded.*

Mr. Hagaman said the request was a permissible one and the delays caused by COVID were understandable, so the extension should be granted. Ms. Eldridge concurred.

*The motion **passed** by unanimous vote, 7-0.*

Mr. Mulligan recused himself from the following petition. Mr. MacDonald took a voting seat.

B) Rehearing Request. The request of **Jessica Kaiser and John Andrew McMahon, Owners**, for property located at **30 Spring Street** for a rehearing of the Board's November 17, 2020 decision.

Chairman Rheume read the previous variances granted and said the applicant wanted a rehearing on the side yard variance for the front porch. He asked if there was any error made by the Board or significant information that was unavailable at the time that justified a rehearing.

Mr. Hagaman said he would not support granting a rehearing because he saw no new facts or facts that the Board had not originally properly considered that would warrant a rehearing. He said the applicant pointed out that the remodeling of a neighbor's property in 2008 caused a shadow to be cast on the applicant's backyard, but he said it wasn't discussed at the previous hearing and wouldn't have been a factor anyway. He said he also disagreed with the applicant's argument that the porch extending to the property line was the equivalent of maintaining the bushes that were already there because he thought a permanent structure differed greatly from greenery that could be removed if there was a dispute with the property line in the future.

Mr. MacDonald said he thought the site was very congested and it appeared that the building was already undergoing work. He said he could understand the owner's view that their property had been affected by the adjacent one that was built out, but he didn't think the applicant's request for a variance was justified by that. He said he didn't know the status of a permit for the work being done but didn't think the request met a standard of worthiness for extension or rehearing. Mr. Stith pointed out that the work on the dormers had begun without a permit and the building inspector had issued a case-and-desist order, so the contractor then split the permit so that the portions approved by the Board could move forward with a building permit.

Chairman Rheume said he believed the applicant got a fair hearing from the Board. He said there was a lot of discussion, and the applicant's representative had even noted that the Board

had concerns about a zero-foot property line. He said the Board did allow a zero-foot property line in the front of the property, which made sense due to the way the property line was located relative to the street and the sense of open space, but the Board had concerns about building right up to the neighboring property line due to potential future issues. He said the applicant stated that the backyard wasn't as usable as it once was, a fact that Chairman Rheume said didn't change the Board's determination on the merits of what was requested for the front yard and the immediate adjacent side yard. He said there were other alternatives that the applicant could pursue. He said the Board's consideration had been fair and that the new information provided by the applicant didn't change that.

*Mr. Hagaman moved to **deny** the request for rehearing, and Mr. Parrott seconded.*

Mr. Hagaman said he concurred with Chairman Rheume. He said there was a lot of previous deliberation and fair consideration of the application and that he did not believe that any error was made that would justify a rehearing, or that the arguments highlighted by the applicant were persuasive in overturning the Board's earlier decisions. He said there was a difference between a zero-foot setback and a front yard that still had a lot of grass and was a good distance from the pavement versus a neighboring property. He referred to his earlier comments and said the request should be denied. Mr. Parrott concurred. He said the hearing was thorough and fair and that the Board had been consistent about the fact that property lines should be respected. He said that forcing someone to step onto an adjacent property to build or do maintenance was bad policy.

*The motion to deny **passed** by unanimous vote, 7-0.*

Mr. Mulligan recused himself from the following petition. Mr. MacDonald took a voting seat.

C) Rehearing Request. The request of **150 Greenleaf Avenue Realty Trust, Owner**, for property located at **150 Greenleaf Avenue** for a rehearing of the Board's December 15, 2020 decision.

Chairman Rheume said the Board previously denied the appeal of administrative decision for two variances and that a wetlands Conditional Use Permit (CUP) would be required, so the applicant requested a rehearing.

Mr. MacDonald said one of the requirements was based on the proximity of the parking spaces for either storing or parking vehicles and that the applicant was told that it was too close to a residential unit. Mr. MacDonald noted that the Dodge dealership across the street was much closer to the residential buildings, and he wondered if that constituted a precedent indicating that it wasn't a problem. Chairman Rheume said the Dodge dealership wasn't asking to expand its operation like the applicant was, and that there was also litigation associated with which zoning ordinance would be applicable to the property. He said the Board was asked to determine whether the applicant's request required variances or not, as determined by the Planning Director, and that the Board upheld what the Planning Department thought was necessary. Mr. Hagaman said the applicant relitigated the issue of which ordinance applied and thought that the Board covered that during their previous discussion and that he didn't find it persuasive

enough to warrant a rehearing. Relating to the applicant's argument pertaining to the consent decree and whether a CUP was required, he said the precedence cited in that argument was out of State jurisdiction and didn't find them persuasive, Vice-Chair McDonell said the applicant argued that the Board was improperly focused on the handicap space shown on the plan. He said he didn't agree because it was just an illustration that the proposal within that buffer wasn't for display or sale, so it was reasonable for the Board to conclude the same thing the Planning Department did. As to what the handicap space would be used for, Vice-Chair McDonnell said the Board hadn't heard it before and that he didn't buy it now. He said none of the other points the applicant made changed his view that the Board gave the application a full hearing.

Mr. Parrott said the meeting minutes reflected how thorough and exhaustive the discussion was that led to the conclusion that the Board made and that there was no aspect left untouched in that extensive discussion. He noted how many reiterations there had been, so for the applicant to imply that the City was doing underhanded business in changing ordinances was ludicrous. He said the City followed the law in respect to rules and posting. He said the applicant's statement that the City didn't make any copies or that the copies weren't available was nonsense and beyond common sense, yet it was put forward as a legal argument. He said the City was scrupulous in following all rules, regulations, ordinances, and laws that pertained to that property, and that the applicant had not presented anything new that the Board hadn't heard before. He said he could not support a rehearing.

Mr. Hagaman said he researched New Hampshire law regarding the argument that a city's acquisition of a nearby property automatically rezoned it and found that it only mattered on properties that were under some kind of government use. He said the Board would be wading in uncharted waters to have that kind of discussion and that the applicant had not even made an argument pertinent to it or cite any cases. He said the applicant's putting forth that statement should not require a rehearing or re-litigation of that issue. Chairman Rheaume agreed. He said the Board had an extensive discussion, with lots of questions and discussion heard from the City, and didn't think the applicant was shorted of any of the Board's attention or due diligence. He said the issue was whether or not the Planning Director reasonably reviewed the information that was available and decided what the appropriate actions were, and that the Board was convinced that was the case. He said the issue of whether the parking in the buffer was used for display of cars or for customer parking was perhaps an important distinction for the ordinance, but the plans provided by the applicant and the applicant's agreement that those plans put in front of the Board by the City Attorney represented the plan that they submitted to the Planning Department was not clear. He said it was reasonable for the Planning Director to say that, based on the information in front of her, the conclusion that she drew was the correct one. He said it was possible that the applicant could get around some of the requests for variances with some changes, but the CUP ran into more concerns. He concluded that the arguments the applicant brought forward were carefully reviewed by the Board and that the Planning Director was not in error. He said the request was invalid and that no rehearing should be granted.

DECISION OF THE BOARD

*Mr. Parrot moved to **deny** the request for rehearing, and Ms. Eldridge seconded.*

Mr. Parrott referred to the Board's previous discussion, noting that the Board members were united in their decision that there was no error or any pertinent new information presented by the applicant for a rehearing. He said the record spoke for itself and that the Board should deny the rehearing. Ms. Eldridge concurred and had nothing to add.

*The motion to deny **passed** by unanimous vote, 7-0.*

Chairman Rheame recused himself from the following petition and Vice-Chair McDonell was Acting Chair. Mr. Mulligan resumed his voting seat and Mr. MacDonald retained a voting seat.

D) Rehearing Request. The request of **Gregory & Amanda Morneault, Owners**, for property located at **137 Northwest Street** for a rehearing of the Board's November 24, 2020 decision.

Acting-Chair McDonell said the Board denied variances to subdivide a lot and to construct a two-family dwelling, and he read the variances.

Mr. Parrott said that one of the arguments made was that the proposed duplex being across the street from a house on Mill Pond would diminish the value of that property. He said a prominent feature of that house was that it was waterfront property and wouldn't change if the new duplex was built, so he thought that might be a relevant concern of the Board. He said if someone wanted to place a duplex up against a berm that led to the highway, there was no adverse risk to a neighbor because there was no neighbor. He said the owner should be able to invest in such an odd place unless it harmed anyone else. He concluded that it would not harm other people or endanger anyone because it would be located at a dead end and not a busy street. He said he would support granting a rehearing. Mr. Hagan said he understood Mr. Parrott's viewpoint but that the application only had to fail one criterion for a variance to be denied, and his concern was the lot-area-per-dwelling unit including the City's turnaround on that part of the property. He said was also concerned about safety, seeing how small the yard was and how close the house would be to the turnaround where City equipment would be. He said the bigger issues were related to the property itself and what was proposed there. He said a duplex wasn't an unreasonable use in that type of district, but it wasn't a great use in that particular location. He said he would not support a rehearing. Mr. Lee said the duplex was a creative use of that property and created an extra housing unit that the City needed. He said it was a very challenging place to build anything and that he would support a rehearing.

Acting-Chair McDonell said the Board had to determine whether or not they made an error in their decision. He said they could as a Board not be fully in agreement about whether there was a diminution in value of surrounding properties, noting that the Board clearly had that disagreement the last time around. He said he didn't see any error the Board made in concluding what they did, notwithstanding that they still seemed to fall on the sides they fell on back in November. He said he was still in favor of denying because he thought it would be an alteration in the essential character of the neighborhood and a diminution in value of the surrounding properties. He said the property had special conditions but there was nothing that took the extra step to create a hardship. He said the Board had a fair and lengthy discussion and that the motion that was made and approved did not have procedural error or any error in law. He said nothing

he saw in the materials that the applicant submitted for this discussion convinced him otherwise. He said he would vote to deny a rehearing.

Mr. Lee noted that Criteria #4 stated that the value of surrounding properties is not diminished, emphasizing the plural sense of properties. He said the Board might have hung their hat on the fact that the abutter across the street was claiming that the value of one property would be diminished. He said it was his opinion as a realtor of 40 years that, given the location of the property and what was associated with it, it would not diminish the value of surrounding properties in the plural sense, so the Board might have made an error in applying that criteria.

DECISION OF THE BOARD

*Mr. Lee moved to **grant** the request for rehearing, and Mr. Parrott seconded.*

Mr. Lee said he would refer to the reasons he stated during the original hearing, plus the fact that he had taken another look at the plurality of Criteria #4, both of which would constitute grounds to grant the rehearing. Mr. Parrott concurred and referred to his prior comments.

*The motion **failed** by a vote of 4-3, with Mr. Hagaman, Mr. MacDonald, Mr. Mulligan, and Acting-Chair McDonell voting in opposition.*

*Mr. Mulligan then moved to **deny** the rehearing, and Mr. Hagaman seconded.*

Mr. Mulligan said he would incorporate the comments that Acting-Chair McDonell and Mr. Hagaman made. He agreed that the petition was thoroughly vetted in November 2020 and didn't believe that anything had changed since then. He said the Board had not been presented with anything new and that the justifications for denying the variance were still valid.

Mr. Hagaman concurred and had nothing to add.

*The vote to deny **passed** by a vote of 4-3, with Ms. Eldridge, Mr. Lee, and Mr. Parrott voting in opposition.*

Chairman Rheaume resumed his seat as Chair and Mr. McDonell resumed his seat as Vice-Chair. Mr. Mulligan recused himself and Mr. MacDonald took a voting seat.

IV. PUBLIC HEARING – NEW BUSINESS

A) Petition of PMC Realty Trust, Owner, for property located at 500 Market Street, Unit 2B whereas relief is needed from the Zoning Ordinance for a change of use from Professional Office to Medical Office which requires the following: 1) A Special Exception from Section 10.440 Use #6.20 to allow a medical office where the use is allowed by special exception. Said property is shown on Assessor Map 120 Lot 2-2B and lies within the (CD4-L1) District.

SPEAKING TO THE PETITION

Attorney John Bosen was present on behalf of the applicant, and the owners Dean Mello and Dr. Kelly Parker Mello were also present. Attorney Bosen reviewed the petition.

In response to Mr. Hagaman's questions, Attorney Bosen said there was a total of 115 parking spaces in the condominium complex and that they only needed 113, so there was an excess of two spaces. Mr. MacDonald said the complex was close to the water and might be in the flood zone. He said there also seemed to be nine parking spaces allocated to the building and asked if that was enough for the building's intended use. Attorney Bosen said the flood zone wasn't relevant to the special exception criteria and that the only change in the medical practice would be the addition of a handicap ramp that had already gone before the Historic District Commission (HDC) for design approval. He said the 115 spaces were available for use by any condominium users and that the applicant met the ordinance's shared approach parking calculation of 113 spaces.

Chairman Rheume said the Board had a letter from the Realty Trust stating that the condo association was supportive of the petition. Mr. Mello said there was also a letter of approval from the current owner of the property that he would forward to the Board. Chairman Rheume said the parking calculation for the property was complex and that he wanted to ensure that the Planning Department agreed with the applicant that 113 spaces was the correct amount for the complex. Mr. Stith said the Planning Department didn't verify all the uses based on the ordinance but would take the applicant's word about the existing uses and that, based on the shared calculation table, the column with the greatest number of parking calculations was the required parking and that the Planning Department agreed with the applicant.

Chairman Rheume opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Chairman Rheume closed the public hearing.

DECISION OF THE BOARD

Mr. Lee suggested stipulating that the Board get the approval document from the condo association. Mr. Stith said the letter was uploaded to the permit, and he read it into the record.

*Mr. Lee moved to **grant** the special exception for the petition as presented, and Mr. Parrott seconded.*

Mr. Lee noted that the only exterior structural alteration would be the ramp and that the petition met all the special exception criteria otherwise. He said the project would pose no hazard to the public or adjacent properties due to fire, explosion, release of toxic materials, and so on. He said there would be no creation of a traffic safety hazard or substantial increase in the level of traffic congestion in the vicinity. He said there would be no excessive demand in municipal services,

including water, sewer, police and fire protection and so on, and no increase of stormwater runoff onto adjacent properties or streets. Mr. Parrott concurred and had nothing to add.

Chairman Rheume said he would support the motion. He said a concern would normally be the creation of a traffic safety hazard or substantial increase in the level of traffic congestion, but he didn't think the use would be more significant than any other business use. He said the vehicle control in and out of the complex was also greater than many similar properties.

The motion passed by unanimous vote, 7-0.

Mr. MacDonald recused himself from the following petition.

B) Petition of Brett & Stefanie Berger, Owners, for property located at 71 Brackett Road whereas relief was needed from the Zoning Ordinance to remove existing deck and construct a 15' x 15' rear addition with new 15' x 45' deck which requires the following: 1) A Variance from Section 10.521 to allow a 10 foot rear yard where 30 feet is required. 2) A Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed or enlarged without conforming to the requirements of the Ordinance. Said property is shown on Assessor Map 206 Lot 14 and lies within the Single Residence B (SRB) District.

SPEAKING TO THE PETITION

The applicants Brett and Stefanie Berger were present and reviewed the petition and criteria. They stated that the abutting side neighbor were in full support of the project.

Mr. Hagaman said the applicant had noted that the design could change. He asked if the roof line that sloped back toward the house would change and if it would impact the rest the layout. Mr. Berger said the depicted roofline wasn't accurate and that they would have a gambrel roof going away from the house. He said the design would be as presented otherwise. Mr. Stith noted that if the roofline changed, the Board's approval would be acceptable for any variant roofline for a one-story structure only. Mr. Hagaman said the bump-out seemed to be driving the 10-ft setback and asked if the stairs would still require a 10-ft setback relative to the property line if there was no bump-out. Mr. Berger said it would be close. Mr. Stith said that steps under 18 inches would not have to adhere to the setback. Chairman Rheume said there was nothing in the Staff Report about there having been a previous variance for the ramp, and he thought it was possible that a permit was pulled but didn't require a variance because it was a handicap access. He said a set of stairs in the back could intrude but that they may have been grandfathered in.

Chairman Rheume opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one rose to speak, and Chairman Rheume closed the public hearing.

DECISION OF THE BOARD

*Mr. Mulligan moved to **grant** the variances for the petition as presented and advertised, and Vice-Chair McDonell seconded.*

Mr. Mulligan said it was a reasonable request and agreed with the applicant's conclusion that expanding the property in any other direction didn't make sense. He said the special conditions of the trapezoidal nature of the lot was challenging and already violated the setback, and that it was significant that it abutted municipal property that was lightly used, if at all. He said granting the variances would not be contrary to the public interest and would observe the spirit of the ordinance because the residential character of the neighborhood would not be altered and the public's health, safety, and welfare would not be negatively impacted. He said substantial justice would be done because the loss to the applicant would far outweigh any gain to the public if the Board were to require strict compliance with the rear setback, noting that there was no property owner behind the applicant's property because it was municipal. He said granting the variances would not diminish the values of surrounding properties because the design would enhance the property's value as well as surrounding properties. He said literal enforcement of the ordinance would result in hardship. He said the property's special conditions were the odd shape of the lot, including the slanting rear lot line driving the relief, and the existing nonconforming house that was oriented toward the rear of the property. He said the adjacent abutting property to the rear was municipal property that would suffer very little, if any, negative impacts due to the setback violation. He said there was no fair and substantial relationship between the purpose of the rear setback requirement and its application to the property. He said it was a reasonable use, a residential use in a residential one, and met all the criteria.

Vice-Chair McDonell concurred and had nothing to add.

Chairman Rheume said he would support the motion. He noted that the municipal use behind the property was a graveyard. He said the existing house was pushed to the back end of the property and that the front yard had a significant slope that it wasn't very useful for entertainment, so having more space in the backyard made more sense. Relating to the deck, he said the applicant could put a patio without needing relief but thought the current elevation of the house would make it difficult and that the height of the rear was not excessive.

*The motion **passed** by unanimous vote, 7-0.*

C) Petition of **685 State Street, LLC, Owner**, for property located at **685 State Street** whereas relief was needed from the Zoning Ordinance to add a fifth dwelling unit to an existing four unit building which requires the following: 1) A Special Exception from Section 10.440 Use #1.63 to allow a building existing on January 1, 1980 with less than the required lot area per dwelling unit to be converted into five units. Said property is shown on Assessor Map 137 Lot 11 and lies within the General Residence C (GRC) District.

SPEAKING TO THE PETITION

Attorney Tim Phoenix was present on behalf of the applicant. The owner Sharon Weston and the project designer Arilda Densch were also present. Attorney Phoenix reviewed the petition and the special exception criteria.

In response to Mr. Hagaman's questions, Ms. Weston said they would improve the existing deck and that it would be the same size. Mr. Stith clarified that there were five required parking spots but that six were provided. Chairman Rheume noted that the ordinance referenced five dwelling units plus a bicycle space, and he asked if the sixth space would constitute a bicycle space. Mr. Stith said the sixth space didn't indicate the bicycle space. Attorney Phoenix said there was space on the patio to park a bike and that there were several other places to park a bike.

Chairman Rheume opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one rose to speak. Chairman Rheume noted that there was a letter of support from a Winter Street resident and he closed the public hearing.

DECISION OF THE BOARD

*Vice-Chair McDonell moved to **grant** the special exception, and Ms. Eldridge seconded.*

Vice-Chair McDonell said the ordinance required a special exception because there was less than the required lot-area-per-dwelling unit. He said granting the special exception would pose no hazard to the public or adjacent properties due to fire, explosion, release of toxic materials, and so on. He said no one articulated any concern about that and there would be no real change to the property, with the exception of a small apartment unit. He said there would be no detriment to property values in the vicinity or change to the essential character of the neighborhood on account of the location or scale of buildings, other structures, parking areas, accessways, smoke, pollutants, noise, unsightly storage of equipment, and so on. He said the applicant was providing more parking than required. He said there would be no creation of a traffic safety hazard or substantial increase in the creation of traffic congestion in the vicinity because there would be more parking required, and the addition of one single unit in an uncongested area would not create a safety hazard. He said an additional unit would pose no excessive demand on municipalities including water, sewer, police and fire protection, schools, and so on, nor would it pose significant increase of stormwater runoff onto adjacent properties or streets because there would be no real change to the exterior of the property.

Ms. Eldridge concurred and had nothing to add.

*The motion **passed** by unanimous vote, 7-0.*

Ms. Eldridge returned to alternate status and Mr. MacDonald took a voting seat.

D) Petition of **Cherie Holmes & Yvonne Goldsberry, Owners**, for property located at **45 Richmond Street** whereas relief was needed from the Zoning Ordinance to remove existing garage and rear addition and construct a new garage and 2-story addition which requires the following: 1) Variances from Section 10.521 to allow: a) a 0.5 foot front yard where 5 feet is required; b) a 4.5 foot rear yard where 15 feet is required; and c) a 4 foot right side yard where 10 feet is required. 2) A Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed or enlarged without conforming to the requirements of the Ordinance. Said property is shown on Assessor Map 108 Lot 18 and lies within the Mixed Residential Office (MRO) District.

SPEAKING TO THE PETITION

Architect Anne Whitney representing the applicant was present and reviewed the petition.

Chairman Rheume noted that the setback to the original garage based on the previous relief was five feet from the rear property line and that it was being decreased by half a foot. He asked what drove the garage to not be more conforming. Ms. Whitney said the backyard was small and that she didn't want the garage to be right on top of the access from the driveway to the house. She said the back rear wall was adjacent to the Strawberry Banke parking lot and that no structures were impacted on that side. She agreed, however, that she could do the five feet at the rear.

Chairman Rheume opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Chairman Rheume closed the public hearing.

DECISION OF THE BOARD

*Mr. MacDonald moved to **grant** the variances, with the following stipulation:
- that the garage be located to within a 5-foot rear yard setback.*

Mr. Parrott seconded.

Mr. MacDonald said the property needed some attention and he thought the applicant's plan proposed some things that would improve the property, its safety, and the longevity of the buildings. He said it would improve the property and the neighborhood. Mr. Parrott said the project had a lot of construction but the amount of relief asked for was very modest and would be a nice upgrade to the property. He said granting the variances would not be contrary to the public interest and would observe the spirit of the ordinance because it wouldn't change the essential character of the neighborhood or threaten the public's health, safety, or welfare or injure public rights. He said substantial justice would be done because the benefit to the applicant would be significant by being a nice upgrade to the property that would reflect well on his property and would not diminish the value of surrounding properties. He said literal enforcement of the ordinance would result in unnecessary hardship due to the special conditions

of the property, including a small lot in a congested area. He said the property had some age and that the small request was reasonable to let the owner replace in kind with respect to the existing setbacks. He said if the modern setbacks were enforced, it would be a detriment to the property and would serve no purpose for anyone. He said the use of the property would continue to be residential and thought the proposed use was reasonable.

*The motion **passed** by unanimous vote, 7-0.*

E) Petition of **Karona, LLC, Owner**, for property located at **36 Artwill Avenue** whereas relief is needed from the Zoning Ordinance to convert an existing garage into a Detached Accessory Dwelling Unit which requires the following: 1) A Variance from Section 10.521 to allow 0 feet of street frontage where 100 feet is required. Said property is shown on Assessor Map 229 Lot 4 and lies within the Single Residence B (SRB) District.

Chairman Rheaume said the applicant wanted to postpone the petition to the February 17 meeting because of two issues, one of which was the easement issue.

DECISION OF THE BOARD

*Mr. Parrott moved to **postpone** the petition to the February 17, 221 meeting, and Mr. Mulligan seconded.*

Mr. Parrott said it was the applicant's first request to extend, which was a routine request and one that the Board normally approved. He said it was a reasonable request and should be approved. Mr. Mulligan concurred and had nothing to add.

*The motion **passed** by unanimous vote, 7-0.*

V. OTHER BUSINESS

There was no other business.

VI. ADJOURNMENT

The meeting was adjourned at 9:42 p.m.

Respectfully submitted,

Joann Breault
BOA Recording Secretary

**BOARD OF ADJUSTMENT MEETING
PORTSMOUTH, NEW HAMPSHIRE
Remote Meeting via Zoom Conference Call**

7:00 P.M.

JANUARY 26, 2021

MINUTES

MEMBERS PRESENT: Chairman David Rheaume, Vice-Chairman Peter McDonell, Jim Lee, Arthur Parrott, David MacDonald, Alternate Chase Hagaman

MEMBERS EXCUSED: Christopher Mulligan, John Formella, Alternate Phyllis Eldridge

ALSO PRESENT: Peter Stith, Planning Department

I. PUBLIC HEARING – NEW BUSINESS

A) Petition of **319 Vaughan Street Center, LLC, Owner**, for property located at **319 Vaughan Street** whereas relief was needed from the Zoning Ordinance to increase the number of outdoor events from 16 to 40 per year for the previously approved summer concert series wherein the following is required: 1) A Special Exception from Section 10.440, Use #3.521 to allow an outdoor performance facility where the use is allowed by special exception. Said property is shown on Assessor Map 124 Lot 9 and lies within the Character District 5 (CD5) District.

SPEAKING TO THE PETITION

Martin Holbrook was present on behalf of the applicant and reviewed the petition. He said they had to close the performance space for a year due to the pandemic, so they wanted to increase the number of concerts from 16 to 40. He referred to his previously submitted special exception criteria.

In response to the Board's questions, Mr. Holbrook said he wasn't aware of past complaints from the residents in the area. He said they only wanted to do 40 shows during 2021 and that it would help local artists. He said the parking lot depicted on the drawing was hotel parking only but that the concertgoers normally used local parking lots or rode bikes or walked.

In response to Chairman Rheaume's questions, Mr. Holbrook said they would have ten tables seating a group of four people each and not two separate parties, and that the fire and health departments had approved of the seating arrangement. He said the intention was to go back to the pre-approved 16 shows per season when the pandemic was resolved, and that he was not asking for anything other than to increase the concerts to 40 dates.

Chairman Rheaume opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

Bruce Ocko of 233 Vaughan Street said he and his wife were in favor and had attended several concerts in the past. He said there were no parking problems and that the concerts had not lasted late.

**SPEAKING IN OPPOSITION TO THE PETITION OR
SPEAKING TO, FOR OR AGAINST THE PETITION**

No one else was present to speak, and Chairman Rheume closed the public hearing.

DISCUSSION OF THE BOARD

Chairman Rheume said it was recently determined that the approval for the concerts would go forward, but the concern was that the Board's actions ran with the land and that any future owner could take advantage of it. Mr. Hagaman said the expansion of the existing use made a lot of sense during the pandemic and enabled the arts community to continue and also helped the economy. He asked whether there should be a stipulation that the petition be approved for just one season or as long as the emergency was in effect.

The Board discussed whether the wording in granting the special exception should be changed to make the approval permanent but adjustable. Mr. Hagaman said there was a history of special exceptions granted on the property and that the Board had done specific grants that only lasted for one year, so they had a leg to stand on when it came to an annual grant versus one in perpetuity. Vice-Chair McDonell said he would be in favor of authorizing a special exception for a limited amount of time and granting the expansion of shows for one year, especially seeing that local businesses would come back to life after the vaccination process

DECISION OF THE BOARD

*Mr. Lee moved to **grant** the special exception, with the following stipulation:*

- *The 2021 season shall be limited to no more than 40 performances from April 1 to October 31 with all other prior stipulations in effect. After 2021, the original Special Exception stipulations from the May 2019 approval will apply.*

Mr. Hagaman seconded.

Mr. Lee said granting the special exception would pose no creation of a hazard to the public or adjacent properties on account of potential fire, explosion, and release of toxic materials. He said it would pose no detriment to property values in the vicinity or change in the essential characteristics of any area including residential neighborhoods or businesses in industrial districts on account of the location or scale of the building and other structures, parking areas, accessways, odors, smoke, dust or other pollutants, noise, glare, heat, vibration, or unsightly storage of outdoor equipment. He said granting the special exception would pose no creation of a traffic safety hazard or an increase in the level of traffic congestion in the vicinity, or pose no excessive demand on municipal services including but not limited to water, sewer, waste disposal, police and fire protection, schools, and so on. He said it would pose no significant increase of stormwater runoff onto adjacent properties or streets.

Mr. Hagaman concurred with Mr. Lee. He said the preexisting stipulations from the May 2019 decision would carry forward and that the 2021 calendar year special exception leaned on Section 10.232.39A and the past track record of the applicant's calendar year extensions.

*The motion **passed** by a unanimous vote of 6-0.*

B) Petition of **MDM Rodgers Family Limited Partnership, Owner**, for property located at **53 Tanner Street** whereas relief was needed from the Zoning Ordinance to add dormers and a rear addition to an existing dwelling which requires the following: 1) A Variance from Section 10.5A41.10A to allow a 3 foot left side yard where 5 feet is required. 2) A Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed or enlarged without conforming to the requirements of the Ordinance. Said property is shown on Assessor Map 126 Lot 46 and lies within the Character District 4-L1 (CD4-L1) District.

The Board decided that Fisher v. Dover did not apply because there was enough of a material change and change in use from the previous petition, the dwelling would be a single-family one instead of a multi-family structure, and the lot-area-per-dwelling was no longer an issue.

SPEAKING TO THE PETITION

Attorney John Bosen was present on behalf of the applicant, along with the project team of Jodie Rogers and Charles Caldwell. He noted that there as a letter of support from the closest abutter Martin Burns. He reviewed the petition and criteria in full.

In response to Mr. Hagaman's questions, Attorney Bosen said the basement would be storage and laundry, only the first floor would have a kitchen, and there were no outside or separate internal accessways to get to different floors other than going through the main living space. Mr. Parrott asked if the deck was one height and tall enough to count as coverage, and Attorney Bosen agreed. In response to further questions from the Board, Ms. Rogers said the third floor would be living space and would be two feet wider side-to-side than what was shown on the drawing. She said the deck had no stairs because it merged into the driveway. She said the debris behind the house was lumber and materials to re-incorporate into the house. She said they initially wanted to a multi-family dwelling because they had felt that the location wasn't very residential.

Chairman Rheaume referred to an earlier letter stating that the dormers would be two smaller shed dormers with a 3-ft gap between them, and he asked if that was still the plan. Attorney Bosen agreed. Chairman Rheaume asked what drove the need for the tower structure to be completely flush to the back of the addition instead of being two feet further away from the property line. Ms. Rogers said they could do that but would still need the 3-ft variance for the dormers. Chairman Rheaume said shifting the tower structure over a few feet would allow more ease for future maintenance and would be less imposing on the abutter. He opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Chairman Rheaume closed the public hearing.

DECISION OF THE BOARD

*Mr. Hagaman moved to **grant** the variances for the petition, with the following stipulation:*

- *The 3 foot variance applies to the roof dormers and the rear addition shall abide by the 5 foot setback requirement.*

Vice-Chair McDonell seconded.

Mr. Hagaman said granting the variances would not be contrary to the public interest and would observe the spirit of the ordinance. He said the update of the single-family residence would not alter the essential character of the neighborhood or threaten the public's health, safety or welfare. He said substantial justice would be done because there would be no gain to the public if the Board were to deny the variances, and there was no evidence that the value of surrounding properties would be diminished, noting that the immediate abutter approved the project. He said literal enforcement of the ordinance would result in an unnecessary hardship due to the special conditions of the property, including the size and shape of the lot and the position of the home on the lot. He said any external remodel or expansion would require a variance, especially with the dormers. He said the proposed use as an updated single-family home was a reasonable one.

Vice-Chair McDonell concurred with Mr. Hagaman. He said his concern the last time the petition was presented was that there was no hardship that would allow the expansion of adding a second unit, but there was now the hardship to expand an existing space and continue its use by doing improvements, and there was also the special condition of the location of the existing home driving the setback request.

*The motion **passed** by unanimous vote, 6-0.*

C) Petition of **T Beyar Realty, LLC, Owner**, for property located at **141 Banfield Road** whereas relief was needed from the Zoning Ordinance to provide a sport court and basketball training location which requires the following: 1) A Special Exception from Section 10.440 Use #4.42 to allow a health club greater than 2,000 square feet where the use is permitted by special exception. Said property is shown on Assessor Map 254 Lot 02 and lies within the Industrial (I) District.

SPEAKING TO THE PETITION

Corey Hassan was present on behalf of the applicant. He reviewed the petition and criteria.

There were no questions from the Board. Chairman Rheaume opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Chairman Rheaume closed the public hearing.

DECISION OF THE BOARD

*Mr. Parrott moved to **grant** the special exception as presented, and Mr. Lee seconded.*

Mr. Parrott said it was a benign and permitted use of an industrial facility and would have no deleterious effect on anyone else. He said granting the special exception would pose no creation of a hazard to the public or adjacent properties on account of potential fire, explosion, or release of toxic materials because there would be no external change to the property. He said it would pose no change in the essential characteristics of any area including residential neighborhoods or businesses in industrial districts on account of the location or scale of the building and other structures, parking areas, odors, smoke, gas, unsightly storage of outdoor equipment, and so on because there would be no change to the outside of the building or parking situation and no outside equipment storage. He said it would pose no creation of a traffic safety hazard or an increase in the level of traffic congestion due to the small number of clients expected. He said it would pose no increase in demand on municipal services and no concerns about stormwater runoff onto adjacent properties because there would be no change to the outside of the building. He concluded that the petition met all the requirements for a special exception.

Mr. Lee concurred with Mr. Parrott and had nothing to add.

*The motion **passed** by unanimous vote, 6-0*

D) Petition of **JJCM Realty, LLC & Topnotch Properties, LLC, Owners**, for property located at **232 South Street** whereas relief was needed from the Zoning Ordinance to construct a two-story rear addition and deck which requires the following: 1) A Variance from Section 10.521 to allow 23% building coverage where 20% is the maximum allowed. 2) A Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed or enlarged without conforming to the requirements of the Ordinance. Said property is shown on Assessor Map 111 Lot 02 and lies within the Single Residence B (SRB) District.

SPEAKING TO THE PETITION

Attorney Tim Phoenix was present on behalf of the applicant, along with architect Lisa DeStefano and project engineer John Chagnon. Attorney Phoenix said the goal was to simplify the building by having a new design. He reviewed the petition and criteria.

There were no questions from the Board. Chairman Rheaume opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Chairman Rheaume closed the public hearing.

DECISION OF THE BOARD

*Mr. Parrott moved to **grant** the variances for the petition as presented, and Mr. Lee seconded.*

Mr. Parrott said granting the variances would not be contrary to the public interest and would observe the spirit of the ordinance. He said there would be no change in the character of the neighborhood and no threat to the public's health, safety or welfare because the residence was in a residential area and would be maintained and the neighboring properties were single-family and duplexes, with a few 3-4 unit buildings. He said granting the variances would do substantial justice because renovating the handsome old structure would benefit it as well as the applicant. He said the values of surrounding properties would not be diminished because the project would have a positive effect on neighboring properties and most of the work would be in the back of the building and would not be visible to the street. He said the hardship was due to property's special conditions of a narrow lot, a house very close to the street, and wetland buffer setbacks. He noted that the property was higher in elevation than the wetlands and would not affect them, and he thought getting the shed out of the wetlands buffer would be a step up. He said the project met all the criteria and should be approved.

Mr. Lee concurred and said he was happy to see a tasteful renovation to an existing property.

The vote passed by a unanimous vote of 6-0.

E) Petition of **Industrial Rents-NH, LLC, Owner**, for property located at **124 Bartlett Street** whereas relief was needed from the Zoning Ordinance for an existing nonconforming business to expand use which requires the following: 1) A Special Exception from Section 10.440 Use #11.10 to allow sales, renting or leasing of mopeds, including accessory repair services where the use is permitted by special exception. 2) A Variance from Section 10.592.20 to allow the proposed use to be located within 200 feet of a residential district. Said property is shown on Assessor Map 163 Lot 2 and lies within the Character District 4-W (CD4-W) District.

SPEAKING TO THE PETITION

The applicant Steven Pamboukas was present and reviewed the petition and all the criteria.

In response to Mr. Hagaman's questions, Mr. Pamboukas said getting his certification would not cause him to rebrand under a specific make of moped or increase his on-site inventory, noting that he already carried two brands and the main focus would be mopeds. He said the accreditation would allow him to sell motorcycles, which he sold from time to time, but they were usually 150cc and very similar to mopeds. Mr. Hagaman said he was concerned with the noise level of a larger bike with customized exhaust, and he asked if there would be repairs done on site that would result in changing fluids and so on. Mr. Pamboukas said the focus would be on the sales of mopeds and supporting accessory services, such as oil changes and tire inflations done on site. He said the fluids were stored and disposed of twice monthly at the city dump.

Chairman Rheaume asked Mr. Stith whether a vehicle not defined as a moped would affect the way the special exception was worded. Mr. Stith said the language for that use did not normally include mopeds but was added in. Chairman Rheaume said his concern was the way the petition was advertised and that he wanted to ensure that the Board considered what was presented and, if approved, that the application would not come back for additional relief. Vice-Chair McDonnell suggested stipulating a specific engine limitation, and it was further discussed. The applicant said a

motorcycle was normally a special order and that he generally didn't display them on his floor. In response to further questions, he said he did his refueling at nearby gas stations and that the small amounts of fuel that stored were in an onsite approved cabinet.

Chairman Rheume opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak. Chairman Rheume stated that the Board received three emails from neighbors in support of the petition. He closed the public hearing.

DECISION OF THE BOARD

*Vice-Chair McDonell moved to **grant** the special exception and the variance, with the following stipulation:*

- *That the sales, rental, or leasing be only for mopeds and small motorcycles up to 150cc engine displacement.*

Mr. Hagaman seconded the motion.

Vice-Chair McDonell said the existing business would be unchanged and the applicant would be able to issue temporary plates and get dealer license plates, which would make his business administration smoother. He said the use was permitted by special exception and, as noted, the sale of motorcycles and mopeds fell within a broader use, with mopeds on the lower end of the intensity spectrum. He said granting the special exception would pose no hazard to the public or adjacent properties on account of fire, explosion, or release of toxic materials. He noted that the any flammable material would be stored safely in a fire cabinet. He said there would be no detriment to property values in the vicinity or change in the essential characteristics of the area including neighborhoods and businesses in industrial districts on account of the location or scale of buildings and other structures, parking areas, accessways, odors, smoke, gas, dust, pollutants, noise, glare, heat, vibration, or unsightly outdoor storage of equipment, vehicles, and other materials. He said what was proposed currently existed on the property and that no one would consider it unsightly because it was in keeping with the area, which had a salvage yard, a motorcycle sales shop, and a mechanic shop nearby. He said granting the special exception would pose no creation of a traffic safety hazard or substantial increase in the level of traffic congestion in the vicinity. He said it was an existing use and there were ongoing improvements to the area's traffic control. He said there would be no excessive demand on municipal services including water, sewer, waste disposal, police and fire protection and schools, and no increase in stormwater runoff onto adjacent properties and street because the existing site would not be altered. For those reasons, he said the special exception should be approved.

Vice-Chair McDonell said granting the variances would not be contrary to the public interest and would observe the spirit of the ordinance. He said he saw no conflict with the purposes of the ordinance and no alteration in the essential character of the neighborhood or threat to the public's safety, health or welfare, given that the business wouldn't really change. He said substantial

justice would be done because there would be a clear benefit to the applicant in being able to overcome his administrative hassles, and the Board had not heard of any harm to the general public or other individuals. He said granting the variance would not diminish the values of surrounding properties, noting that the Board had heard nothing indicating such and that the use had been ongoing for several years. He said literal enforcement of the ordinance would result in unnecessary hardship due to the property's special conditions. He said one of the issues was the property's distance from residential uses and the actual use proposed. He noted that the applicant had said that the same variance approval would have to be shoehorned if he was requesting to place a car dealership in that location because that use would not be reasonable a hundred or so feet from a residential area, but in contrast, a moped dealership was a reasonable use. Vice-Chair McDonell said that was a special condition in his mind, and he also believed that the separation of Morning Street and the existing structures like the building running down to Bartlett Street on the applicant's site counted as a special condition as well as the tree screening. Due to those special conditions, Vice-Chair McDonell said there was no fair relationship between the general purposes of the ordinance, which restricted uses much more intensive and evasive than the applicant's, and their application to the property. He said the proposed use was a reasonable one and that the variance should be approved.

Mr. Hagaman concurred with Vice-Chair McDonell and had nothing to add.

Chairman Rheaume said he would support the motion, noting that automotive uses were a recent sensitive issue and that the arguments made in the applicant's case were convincing.

*The motion **passed** by unanimous vote, 6-0.*

*It was moved, seconded, and passed unanimously (6-0) to **suspend** the 10:00 rule for ending the meeting.*

Mr. MacDonald recused himself from the following petition.

F) Petition of **Michael Schwartz, Owner**, for property located at **21 Fernald Court** whereas relief was needed from the Zoning Ordinance to add a second story addition to the existing dwelling which requires the following: 1) Variances from Section 10.521 to allow: a) a 9 foot front yard where 30 feet is required; and b) an 8 foot rear yard where 30 feet is required. 2) A Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed or enlarged without conforming to the requirements of the Ordinance. Said property is shown on Assessor Map 207 Lot 55 and lies within the Single Residence B (SRB) District.

SPEAKING TO THE PETITION

The applicant Michael Schwartz and architect Justin Knowlton were present. Mr. Schwartz reviewed the petition and the criteria.

Mr. Hagaman asked if the neighbors had concerns about the building being built up and having more windows. Mr. Schwartz said it was a new purchase and he didn't know most of the neighbors, but that most of the nearby homes were higher, or as high, as what he proposed.

Chairman Rheume opened the public hearing.

SPEAKING TO, FOR, OR AGAINST THE PETITION

No one was present to speak, and Chairman Rheume closed the public hearing.

DECISION OF THE BOARD

*Mr. Hagaman moved to **grant** the variances for the petition as presented, and Mr. Parrott seconded.*

Mr. Hagaman said granting the variances would not be contrary to the public interest and would observe the spirit of the ordinance, would not alter the essential character of the neighborhood or negatively affect the public's health, safety or welfare. He said the project was a significant remodel of a home, but it was upward and would not alter the footprint and it would improve some of the impervious surfaces and increase greenspace. He said substantial justice would be done because there would be no gain to the public if the variances were denied. He said granting the variances would not diminish the values of surrounding properties because there was a good chance that the values would rise. He said literal enforcement of the ordinance would result in an unnecessary hardship due to the property's special conditions of having an oddly-shaped lot. He said the rear lot line coming in at an angle toward the house itself created the existing setback in the rear yard, He said the front of the house was about nine feet from the property line and did not alter the footprint in a way that expanded upon or worsened the setbacks. He said the single-family home's expansion in a residential district was a reasonable use.

Mr. Parrott concurred with Mr. Hagaman, noting that he did the same thing to his house and that it was a good way to add additional space.

*The motion **passed** by unanimous vote, 5-0.*

Mr. MacDonald returned to his voting seat.

G) Petition of **Robert Vaccaro, Owner**, for property located at **411 Middle Street** whereas relief was needed from the Zoning Ordinance to add two dwelling units to an existing 6 unit dwelling which requires the following: 1) A Special Exception from Section 10.440, Use #1.63 to allow a building existing on January 1, 1980 with less than the required lot area per dwelling unit to be converted into an 8 unit dwelling. Said property is shown on Assessor Map 135 Lot 2 and lies within the Mixed Residential Office (MRO) District.

SPEAKING TO THE PETITION

Attorney Bernie Pelech and the owner/applicant Robert Vaccaro were present to speak to the petition. Attorney Pelech noted that there were several letters in support of the project. He reviewed the petition and special exception criteria. Mr. Vaccaro reviewed some of the property's history.

In response to Chairman Rheume's questions, Mr. Vaccaro said each apartment had its own bathroom and kitchen; the external staircase for Apartment 3 was dedicated to that apartment; and there was external access to each apartment. Chairman Rheume asked what caused issues with the City. Mr. Vaccaro said a disgruntled housemate called the City with complaints that triggered a massive inspection after 21 years. He said the inspectors found problems with external plugs that were no longer code compliant and missing carbon monoxide detectors and sprinkler systems.

Chairman Rheume opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

Chris Pease said he was a tenant and felt that two additional units would pose a minimal change to the building and that nearby parking would not be affected. He said the changes would provide more affordable housing near the City's center.

Nicole Owen and Philip Pierce said they were tenants and were both travel nurses. Ms. Owen said it was difficult to find furnished places for long-term renters.

SPEAKING IN OPPOSITION TO THE PETITION OR SPEAKING TO, FOR, OR AGAINST THE PETITION

No one else was present to speak, and Chairman Rheume closed the public hearing.

DECISION OF THE BOARD

Chairman Rheume noted that there were several heartfelt letters of support, which the Board had to balance with the ordinance's requirements. He said the request to add two units to the existing six units was within the 6-8 units allowed by the ordinance. He said there were no exterior changes and that the dwelling units seemed to sustain people independently versus a more communal style and met all the City's safety requirements.

Mr. Hagaman moved to grant the special exception, with the following stipulation:

- *The Special Exception is contingent on approval of a Conditional Use Permit (CUP) by the Planning Board for relief from required parking associated with 8 dwelling units.*

Vice-Chair McDonell seconded.

Mr. Hagaman said he would incorporate Chairman Rheume's comments. He said granting the special exception would pose no hazard to the public or adjacent properties on account of potential fire, explosion, or release of toxic materials, especially with all the upgrades taking place, including a sprinkler system and electrical upgrades. He said it would pose no detriment to

property values in the vicinity or change in the essential characteristics of any area, including residential or businesses in industrial districts on account of the location or scale of buildings or other structures, parking areas, accessways, odor, smoke, gas, dust or other pollutants, noise, heat, unsightly outdoor storage of equipment, vehicles or other materials. He said the changes were within the bounds of the building itself and that they would positively impact surrounding properties because the applicant's property value would increase. He said granting the special exception would pose no creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity and that any concern would be alleviated by the process of getting a CUP. He said the residents typically did not utilize cars and there was sufficient parking, which he didn't think would dramatically change as long as the property maintained its current design and use. He said there would be no excessive demand on municipal services, including water, sewer, waste disposal, police and fire protection, and schools because the project would slightly expand the existing use that had been present for decades. He said the ordinance envisioned the slight increase in use by enabling properties like the applicant's to receive a special exception and slightly increase the number of units on site. He said granting the special exception would pose no stormwater runoff onto adjacent properties or streets because there would be no external changes to the building or impervious pavement.

Vice-Chair McDonell concurred with Mr. Hagaman. He agreed that, with respect to whether a traffic safety hazard or substantial increase in the level of traffic, several current occupants didn't have or use cars and even if they did, the units were small, so there would be a relatively low parking need. He also noted that a neighbor had said that the area wasn't lacking in parking, so even if the current situation changed, he was concerned that it would become an issue.

*The motion **passed** by unanimous vote, 6-0.*

II. OTHER BUSINESS

There was no other business.

III. ADJOURNMENT

The meeting was adjourned at 11:14 p.m.

Respectfully submitted,

Joann Breault
BOA Recording Secretary

TO: Zoning Board of Adjustment
FROM: Peter Stith, AICP, Planning Department
DATE: February 10, 2021
RE: Zoning Board of Adjustment February 16, 2021 Meeting

OLD BUSINESS

1. 36 Artwill Avenue

NEW BUSINESS

1. 2225 Lafayette Road
2. 406 Lang Road
3. 80 Fields Road – Request to Postpone
4. 53 Decatur Road
5. 295 Thornton Street
6. 27 Elwyn Avenue
7. 668 Middle Street (Off Chevrolet Avenue)
8. 137 Northwest Street
9. 6 Roberts Avenue

OLD BUSINESS

1.

Petition of **Karona, LLC, Owner**, for property located at **36 Artwill Avenue** whereas relief is needed from the Zoning Ordinance to convert an existing garage into a Detached Accessory Dwelling Unit which requires the following: 1) A Variance from Section 10.521 to allow 0 foot street frontage where 100 feet is required. Said property is shown on Assessor Map 229 Lot 4 and lies within the Single Residence B (SRB) District.

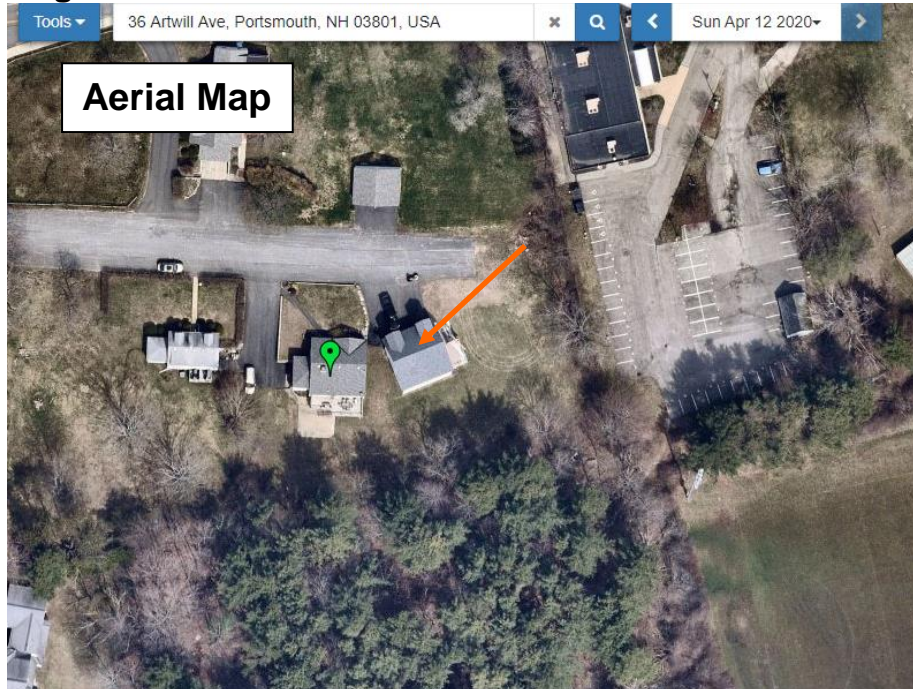
Existing & Proposed Conditions

	<u>Existing</u>	<u>Proposed</u>	<u>Permitted / Required</u>
<u>Land Use:</u>	Single-family	Single-family w/ Detached ADU	Primarily Single-family Uses
<u>Lot area (sq. ft.):</u>	26,737	26,737	15,000 min.
<u>Lot Area per Dwelling Unit (sq. ft.):</u>	26,737	26,737	15,000 min.
<u>Street Frontage (ft.):</u>	0	0	100 min.
<u>Lot depth (ft.):</u>	>100	>100	100 min.
<u>Primary Front Yard (ft.):</u>	23.8	23.8	30 min.
<u>Left Yard (ft.):</u>	75.3	75.3	10 min.
<u>Right Yard (ft.):</u>	>30	>30	10 min.
<u>Rear Yard (ft.):</u>	61.5	61.5	30 min.
<u>Height (ft.):</u>	<35	<35	35 max.
<u>Building Coverage (%):</u>	9.7	9.7	20 max.
<u>Open Space Coverage (%):</u>	>40	>40	40 min.
<u>Estimated Age of Structure:</u>	1940 (House)	Variance request shown in red.	

Other Permits/Approvals Required

Planning Board – Conditional Use Permit for ADU

Neighborhood Context



Previous Board of Adjustment Actions

June 17, 2014 – **Denied** the following variances:

- Section 10.440, Use #1.20 to allow a second dwelling unit on a lot where only one single family dwelling is permitted.
- Section 10.513 to allow more than one free-standing dwelling unit on a lot.

- Section 10.521 to allow a lot area of 13,068 square feet per dwelling unit where 15,000 square feet per dwelling unit is required.

July 25, 2017 – **Approved** variance from Section 10.521 for street frontage where 100' is required and 0' exists.

Planning Department Comments

The applicant is proposing to convert a portion of the garage into a detached ADU. The lot is nonconforming to street frontage, being located on a private street. As shown in the history above, a variance was granted in 2017 for the same request, however the conditional use permit for the ADU was denied by the Planning Board. The Planning Board decision was appealed to the Superior Court and the Court upheld the Planning Board's decision. The applicant states that the LLC consists of the owners who will now in the main dwelling. The original variance request expired, which is the reason for returning to the Board for the same relief that was granted in 2017.

Review Criteria

This application must meet all five of the statutory tests for a **variance** (see Section 10.233 of the Zoning Ordinance):

1. *Granting the variance would not be contrary to the public interest.*
2. *Granting the variance would observe the spirit of the Ordinance.*
3. *Granting the variance would do substantial justice.*
4. *Granting the variance would not diminish the values of surrounding properties.*
5. *The "unnecessary hardship" test:*
 - (a) *The property has special conditions that distinguish it from other properties in the area.*

AND

 - (b) *Owing to these special conditions, a fair and substantial relationship does not exist between the general public purposes of the Ordinance provision and the specific application of that provision to the property; and the proposed use is a reasonable one.*

OR

Owing to these special conditions, the property cannot be reasonably used in strict conformance with the Ordinance, and a variance is therefore necessary to enable a reasonable use of it.

NEW BUSINESS

1.

Petition of **Brian Short, LLC, Owner**, and **Alex Vandermark, Applicant**, for property located at **2225 Lafayette Road** whereas relief is needed from the Zoning Ordinance to add a mobile juicery trailer to the property which requires the following: 1) A Special Exception according to Section 10.440 Use #18.40 where this use is allowed by Special Exception. Said property is shown on Assessor Map 272 Lot 2 and lies within the (G1) District

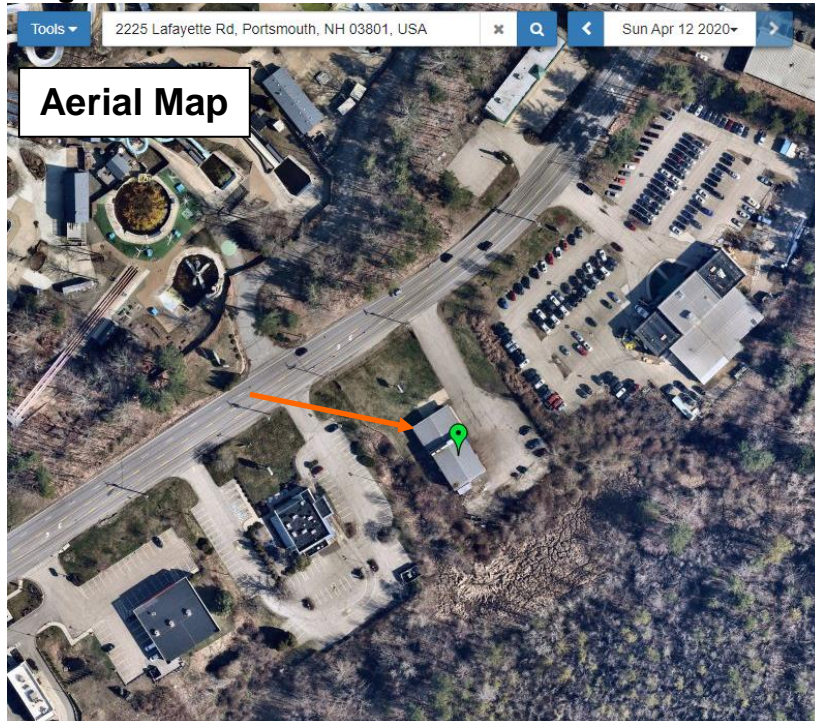
Existing & Proposed Conditions

	<u>Existing</u>	<u>Proposed</u>	<u>Permitted / Required</u>
<u>Land Use:</u>	Auto garage/Custom Pools	Mobile juicer trailer	Primarily mixed uses
<u>Lot area (acres):</u>	1.49 acres	1.49 acres	NR
<u>Parking:</u>	29	29	18
		Special Exception request shown in red.	

Other Permits/Approvals Required

None.

Neighborhood Context





2225 Lafayette Road

Previous Board of Adjustment Actions

September 20, 2011 – The Board granted the following variance:

- Section 10.581 to allow the sales, distribution and repair of vehicle related equipment on a lot with less than the required 2 acre minimum lot are.

September 20, 2011 – The Board granted the following Special Exception:

- Section 10.440, Use #11.30 to allow the proposed use.

September 16, 2014 – The Board granted the following Special Exception:

- Section 10.440, Use #11.20 to allow motor vehicle repair.

Planning Department Comments

The applicant is proposing to add a mobile juicery trailer to the subject property on an existing concrete pad in order to serve prepared food and beverages. The applicant has indicated that Custom Pools, one of the two businesses onsite, will be closing in March. For the proposed use, there is no parking requirement, however there is ample parking onsite for the two existing businesses and the proposed use.

Review Criteria

The application must meet all of the standards for a **special exception** (see Section 10.232 of the Zoning Ordinance).

1. *Standards as provided by this Ordinance for the particular use permitted by special exception;*
2. *No hazard to the public or adjacent property on account of potential fire, explosion or release of toxic materials;*
3. *No detriment to property values in the vicinity or change in the essential characteristics of any area including residential neighborhoods or business and industrial districts on account of the location or scale of buildings and other structures, parking areas, accessways, odor, smoke, gas, dust, or other pollutant, noise, glare, heat, vibration, or unsightly outdoor storage of equipment, vehicles or other materials;*
4. *No creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity;*
5. *No excessive demand on municipal services, including, but not limited to, water, sewer, waste disposal, police and fire protection and schools; and*
6. *No significant increase of stormwater runoff onto adjacent property or streets.*

2.

Petition of **Michael & Cathi Stetson, Owners**, for property located at **406 Lang Road** whereas relief is needed from the Zoning Ordinance for the keeping of chickens which requires the following: 1) A Special Exception from Section 10.440 Use #17.20 to allow the keeping of farm animals where the use is permitted by Special Exception. Said property is shown on Assessor Map 289 Lot 7 and lies within the Single Residence B (SRB) District.

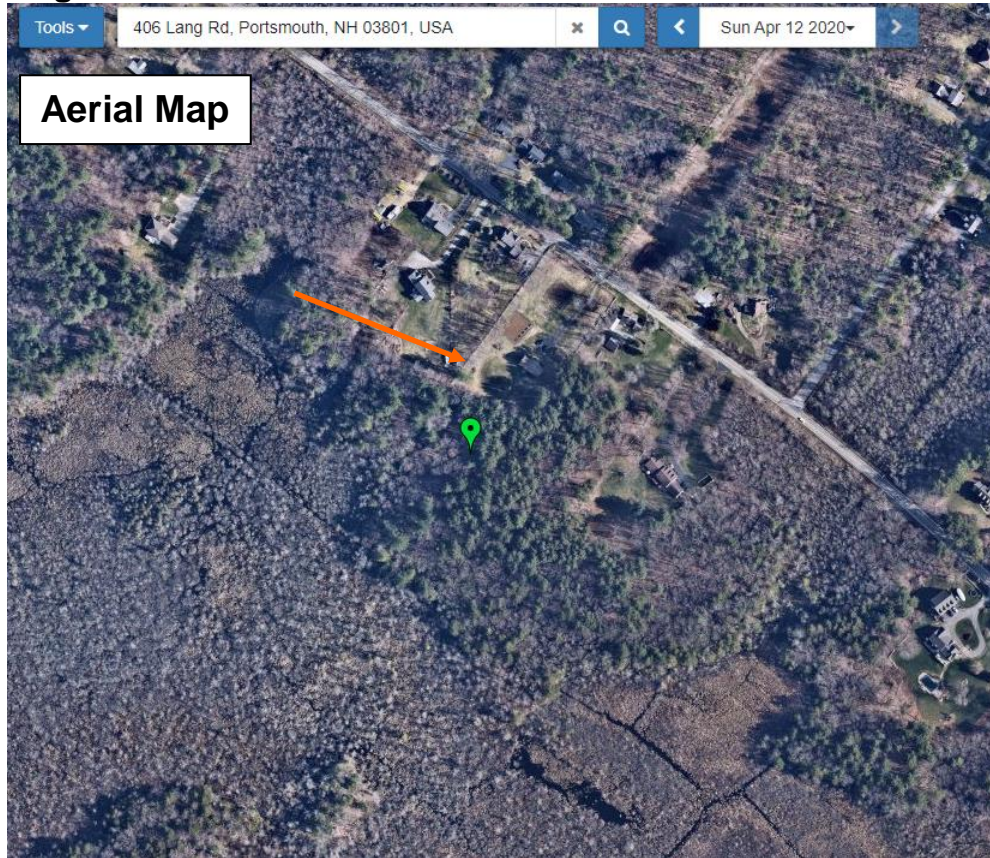
Existing & Proposed Conditions

	<u>Existing</u>	<u>Proposed</u>	<u>Permitted / Required</u>
<u>Land Use:</u>	Single family	Keeping of chickens	Primarily residential uses
<u>Lot area (sq. ft.):</u>	373,744	373,744	15,000 min.
<u>Lot Area per Dwelling Unit (sq. ft.):</u>	373,744	373,744	15,000 min.
<u>Street Frontage (ft.):</u>	200	200	100 min.
<u>Lot depth (ft.):</u>	800+	800+	100 min.
<u>Front Yard (ft.):</u>	230	230	30 min.
<u>Right Yard (ft.):</u>	90	90	10 min.
<u>Left Yard (ft.):</u>	40	40	10 min.
<u>Rear Yard (ft.):</u>	550	550	30 min.
<u>Estimated Age of Structure:</u>	1978	Special Exception request shown in red.	

Other Permits/Approvals Required

None.

Neighborhood Context



Previous Board of Adjustment Actions

No BOA history found.

Planning Department Comments

The applicant is proposing to keep chickens and have indicated in their application the number would not exceed 8 and there would be no roosters. If the Board grants approval, staff would recommend considering the following stipulation:

That no more than 8 chickens be allowed and no roosters.

Review Criteria

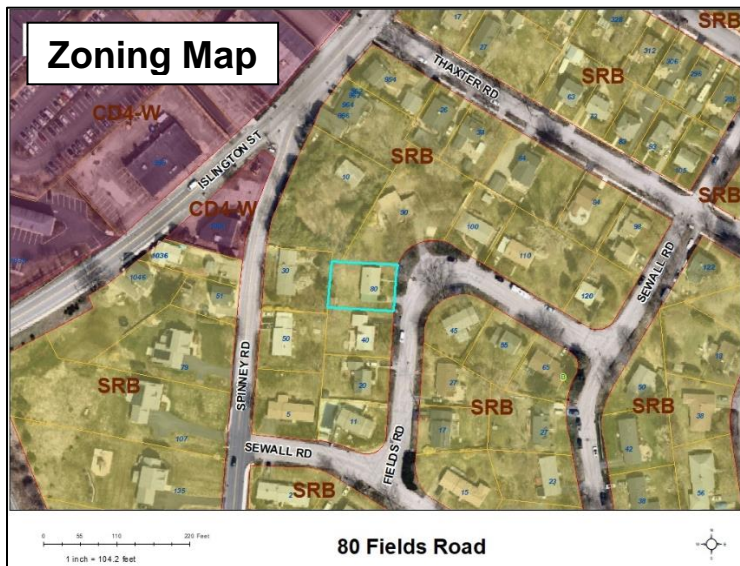
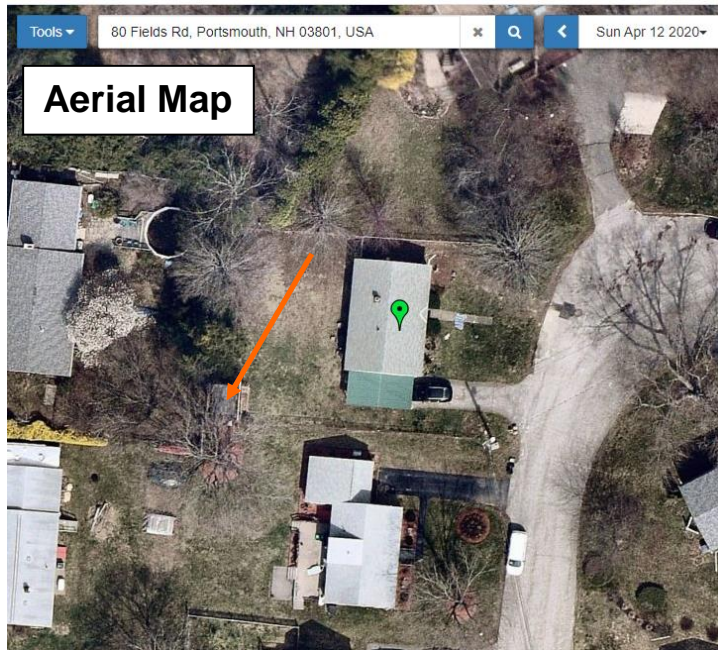
The application must meet all of the standards for a **special exception** (see Section 10.232 of the Zoning Ordinance).

1. *Standards as provided by this Ordinance for the particular use permitted by special exception;*
2. *No hazard to the public or adjacent property on account of potential fire, explosion or release of toxic materials;*
3. *No detriment to property values in the vicinity or change in the essential characteristics of any area including residential neighborhoods or business and industrial districts on account of the location or scale of buildings and other structures, parking areas, accessways, odor, smoke, gas, dust, or other pollutant, noise, glare, heat, vibration, or unsightly outdoor storage of equipment, vehicles or other materials;*
4. *No creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity;*
5. *No excessive demand on municipal services, including, but not limited to, water, sewer, waste disposal, police and fire protection and schools; and*
6. *No significant increase of stormwater runoff onto adjacent property or streets.*

3. *Request to Postpone*

Petition of **Andrew & Katy DiPasquale, Owners**, for property located at **80 Fields Road** whereas relief is needed from the Zoning Ordinance to remove an existing shed and construct a new 117 square foot shed on a 12' x 15' platform which requires the following: 1) A Variance from Section 10.521 to allow a) a 3 foot rear yard where 9 feet is required; and b) a 3 foot left side yard where 9 feet is required. 2) A Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed or enlarged without conforming to the requirements of the Ordinance. Said property is shown on Assessor Map 171 Lot 8 and lies within the Single Residence B (SRB) District.

Neighborhood Context



4.

Petition of **Blair Rowlett & Carolina Hoell, Owners**, for property located at **53 Decatur Road** whereas relief is needed from the Zoning Ordinance for the keeping of chickens which requires the following: 1) A Special Exception from Section 10.440 Use #17.20 to allow the keeping of farm animals where the use is permitted by Special Exception. Said property is shown on Assessor Map 260 Lot 101 and lies within the Single Residence B (SRB) District.

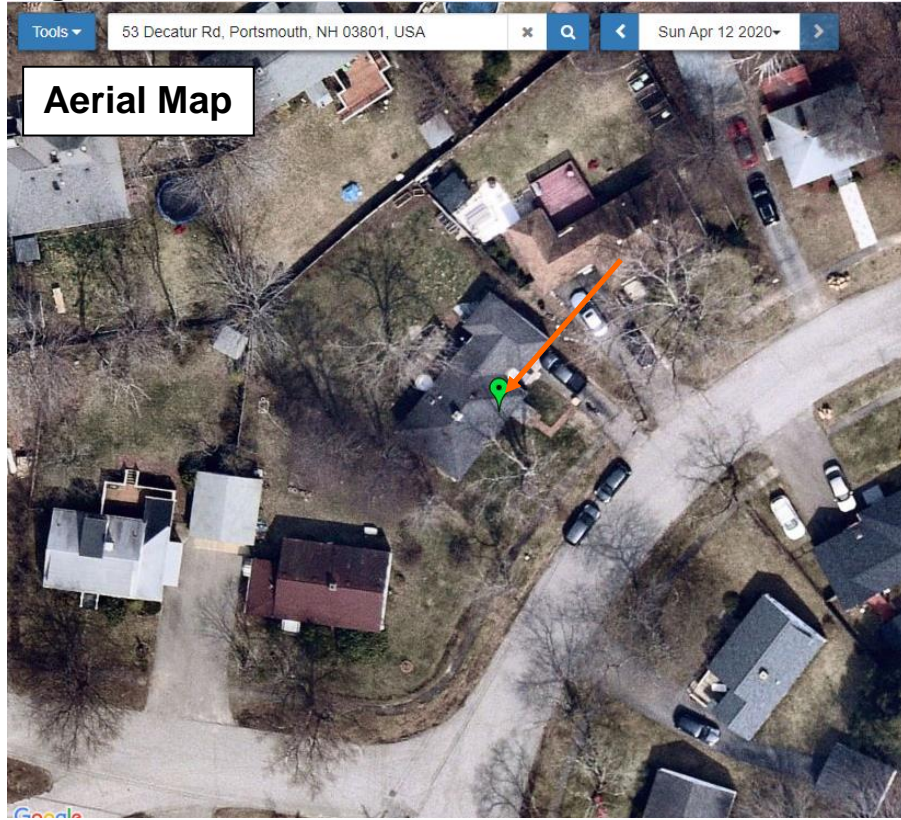
Existing & Proposed Conditions

	<u>Existing</u>	<u>Proposed</u>	<u>Permitted / Required</u>
<u>Land Use:</u>	Single family	Keeping of chickens	Primarily residential uses
<u>Lot area (sq. ft.):</u>	7,405	7,405	15,000 min.
<u>Lot Area per Dwelling Unit (sq. ft.):</u>	7,405	7,405	15,000 min.
<u>Street Frontage (ft.):</u>	60	60	100 min.
<u>Lot depth (ft.):</u>	104	104	100 min.
<u>Front Yard (ft.):</u>	20	20	30 min.
<u>Right Yard (ft.):</u>	2	12 (coop)	10 min.
<u>Left Yard (ft.):</u>	7	50 (coop)	10 min.
<u>Rear Yard (ft.):</u>	52	40+ (coop)	30 min.
<u>Building Coverage (%):</u>	<20	<20	20 max.
<u>Open Space Coverage (%):</u>	>40	>40	40 min.
		Special Exception request shown in red.	

Other Permits/Approvals Required

None.

Neighborhood Context



Previous Board of Adjustment Actions

November 24, 1964 – **Approved** petition to erect a garage 24' x 20', five feet back from line, and two feet from sideline.

Planning Department Comments

The applicant is proposing to keep chickens and have indicated in their application the number would not exceed 4 and there would be no roosters. If the Board grants approval, staff would recommend considering the following stipulation:

That no more than 4 chickens be allowed and no roosters.

Review Criteria

The application must meet all of the standards for a **special exception** (see Section 10.232 of the Zoning Ordinance).

1. *Standards as provided by this Ordinance for the particular use permitted by special exception;*
2. *No hazard to the public or adjacent property on account of potential fire, explosion or release of toxic materials;*
3. *No detriment to property values in the vicinity or change in the essential characteristics of any area including residential neighborhoods or business and industrial districts on account of the location or scale of buildings and other structures, parking areas, accessways, odor, smoke, gas, dust, or other pollutant, noise, glare, heat, vibration, or unsightly outdoor storage of equipment, vehicles or other materials;*
4. *No creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity;*
5. *No excessive demand on municipal services, including, but not limited to, water, sewer, waste disposal, police and fire protection and schools; and*
6. *No significant increase of stormwater runoff onto adjacent property or streets.*

5.

Petition of **Melissa Williamson, Owner**, for property located at **295 Thornton Street** whereas relief is needed from the Zoning Ordinance to construct a two-story addition which requires the following: 1) A Variance from Section 10.521 to allow a 5 foot front yard where 15 feet is required. 2) A Variance from Section 10.321 to allow a nonconforming building or structure to be extended, reconstructed or enlarged without conforming to the requirements of the Ordinance. Said property is shown on Assessor Map 162 Lot 4 and lies within the General Residence A (GRA) District.

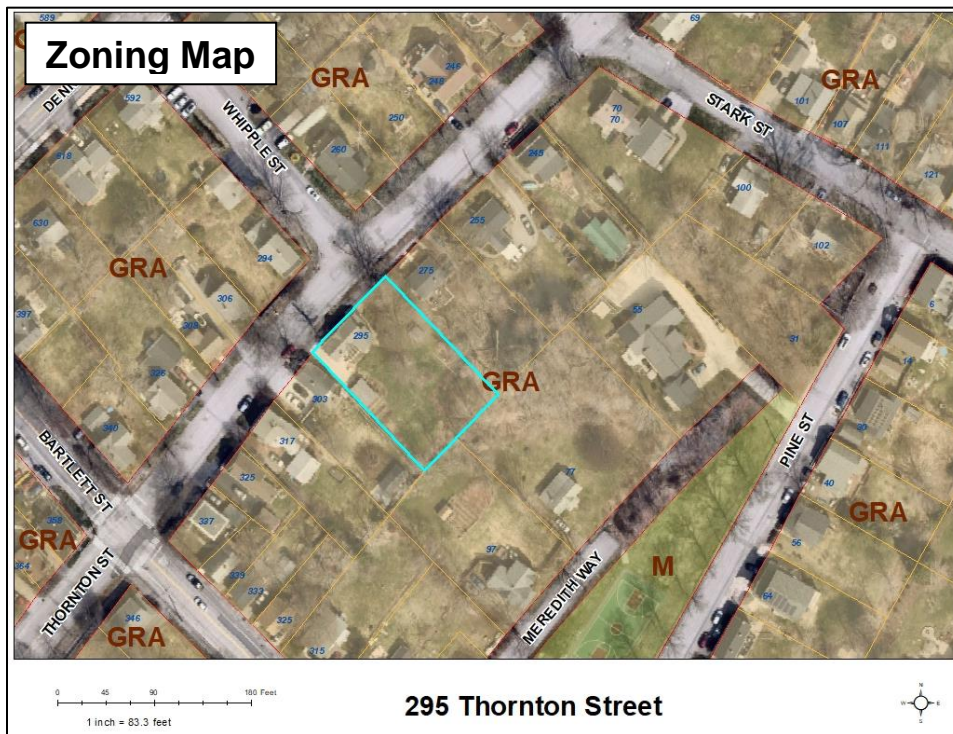
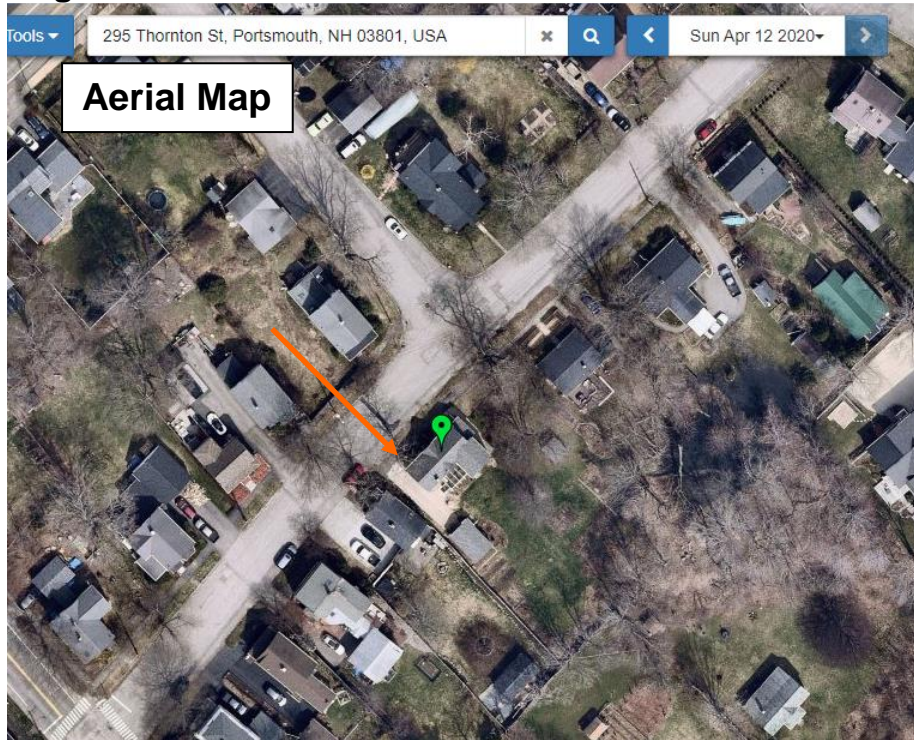
Existing & Proposed Conditions

	<u>Existing</u>	<u>Proposed</u>	<u>Permitted / Required</u>
<u>Land Use:</u>	Single-family	Addition	Primarily Single-family Uses
<u>Lot area (sq. ft.):</u>	15,000	15,000	7,500 min.
<u>Lot Area per Dwelling Unit (sq. ft.):</u>	15,000	15,000	7,500 min.
<u>Street Frontage (ft.):</u>	100	100	100 min.
<u>Lot depth (ft.):</u>	115	115	70 min.
<u>Primary Front Yard (ft.):</u>	5'4"	5	15 min.
<u>Left Yard (ft.):</u>	45	39.5'	10 min.
<u>Right Yard (ft.):</u>	11' 4"	11'4"	10 min.
<u>Rear Yard (ft.):</u>	114	109	20 min.
<u>Height (ft.):</u>	<35	<35	35 max.
<u>Building Coverage (%):</u>	10	12	25 max.
<u>Open Space Coverage (%):</u>	>30	>30	30 min.
<u>Parking:</u>	2	2	1.3
<u>Estimated Age of Structure:</u>	1870	Variance request shown in red.	

Other Permits/Approvals Required

None.

Neighborhood Context



Previous Board of Adjustment Actions

No prior BOA history found.

Planning Department Comments

The applicant is proposing a two-story front addition and a one-story rear addition. The rear addition will conform to the setback requirements. The house is nonconforming and the proposed front addition will maintain the front alignment. The applicant indicated a 5'4" front yard, however 5' was advertised to allow for some flexibility if granted approval.

Review Criteria

This application must meet all five of the statutory tests for a **variance** (see Section 10.233 of the Zoning Ordinance):

1. *Granting the variance would not be contrary to the public interest.*
- Planning Department Comments* 2. *Granting the variance would observe the spirit of the Ordinance.*
3. *Granting the variance would do substantial justice.*
4. *Granting the variance would not diminish the values of surrounding properties.*
5. *The "unnecessary hardship" test:*
 - (a) *The property has special conditions that distinguish it from other properties in the area.*

AND

 - (b) *Owing to these special conditions, a fair and substantial relationship does not exist between the general public purposes of the Ordinance provision and the specific application of that provision to the property; and the proposed use is a reasonable one.*

OR

Owing to these special conditions, the property cannot be reasonably used in strict conformance with the Ordinance, and a variance is therefore necessary to enable a reasonable use of it.

6.

Petition of **SAI Builders, LLC, Owner**, for property located at **27 Elwyn Avenue** whereas relief is needed from the Zoning Ordinance to install an AC condensing unit which requires the following: 1) A Variance from Section 10.521 to allow an 8 foot right side yard where 10 feet is required. Said property is shown on Assessor Map 113 Lot 28-1 and lies within the General Residence A (GRA) District.

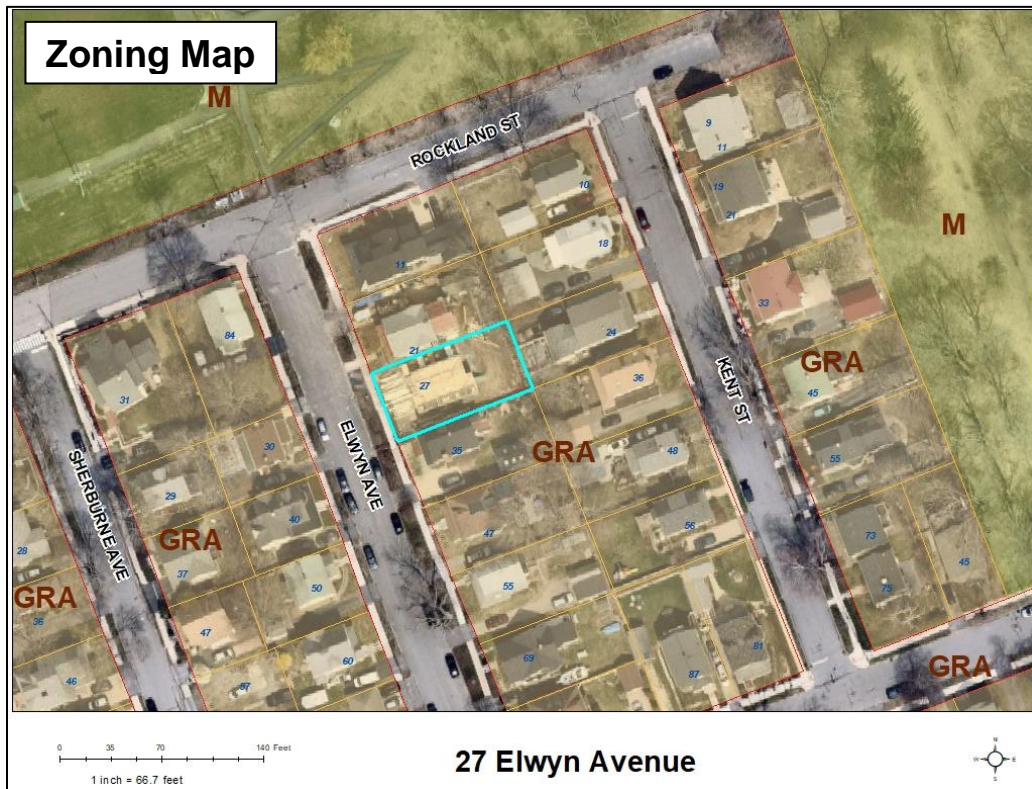
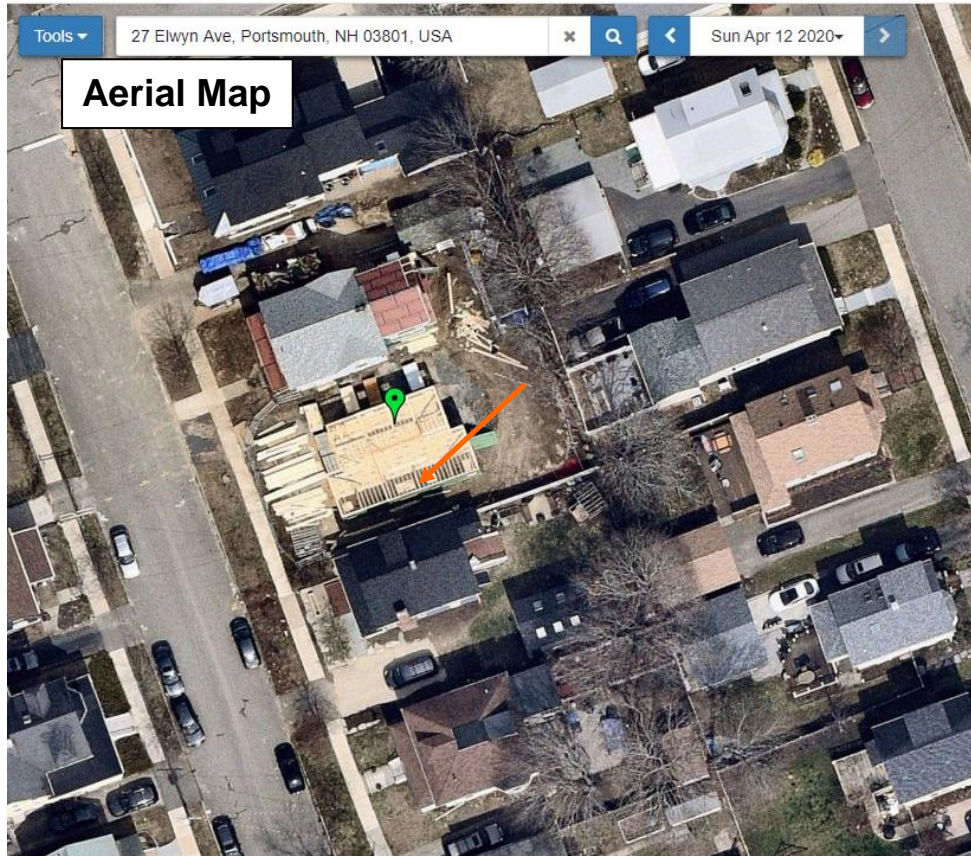
Existing & Proposed Conditions

	<u>Existing</u>	<u>Proposed</u>	<u>Permitted / Required</u>
<u>Land Use:</u>	Vacant lot	Single-family dwelling	Primarily residential uses
<u>Lot area (sq. ft.):</u>	4,996	4,996	7,500 min.
<u>Lot Area per Dwelling Unit (sq. ft.):</u>	4,996	4,996	7,500 min.
<u>Street Frontage (ft.):</u>	50	50	100 min.
<u>Lot depth (ft.):</u>	99	99	70 min.
<u>Front Yard (ft.):</u>	15	15	15 min.
<u>Right Yard (ft.):</u>	10.5	8	10 min.
<u>Left Yard (ft.):</u>	11.5	11.5	10 min.
<u>Rear Yard (ft.):</u>	>20	>20	20 min.
<u>Height (ft.):</u>	<35	<35	35 max.
<u>Building Coverage (%):</u>	24	24	25 max.
<u>Open Space Coverage (%):</u>	64	64	30 min.
<u>Parking</u>	2	2	1.3
<u>Estimated Age of Structure:</u>	2020	Variance request shown in red.	

Other Permits/Approvals Required

None.

Neighborhood Context



Previous Board of Adjustment Actions

September 24, 2019 – The Board granted the following variances for a new single family home:

- Section 10.521 to allow a lot area and lot area per dwelling unit of 4,996 square feet where 7,500 square feet is required for each.
- Section 10.521 to allow 50' of street frontage where 100' is the minimum required.

November 17, 2020 – The Board denied the following variance for an AC unit within setbacks:

- Section 10.521 to allow a 5.5 foot right side yard where 10 feet is required.

Planning Department Comments

The applicant was before the Board in November 2020 requesting relief for the AC unit which was ultimately denied by the Board as shown in the history above. Since the last meeting, the applicant met with the concerned abutter and subsequently revised the proposed location and changed the units to a quieter model.

Since the application was denied previously, the Board should consider whether to invoke Fisher vs. Dover before this application is considered.

“When a material change of circumstances affecting the merits of the applications has not occurred or the application is not for a use that materially differs in nature and degree from its predecessor, the board of adjustment may not lawfully reach the merits of the petition. If it were otherwise, there would be no finality to proceedings before the board of adjustment, the integrity of the zoning plan would be threatened, and an undue burden would be placed on property owners seeking to uphold the zoning plan.” Fisher v. Dover, 120 N.H. 187, (1980).

Review Criteria

This application must meet all five of the statutory tests for a **variance** (see Section 10.233 of the Zoning Ordinance):

1. *Granting the variance would not be contrary to the public interest.*
2. *Granting the variance would observe the spirit of the Ordinance.*
3. *Granting the variance would do substantial justice.*
4. *Granting the variance would not diminish the values of surrounding properties.*
5. *The “unnecessary hardship” test:*
 - (a) *The property has special conditions that distinguish it from other properties in the area.*

AND

- (b) *Owing to these special conditions, a fair and substantial relationship does not exist between the general public purposes of the Ordinance provision and the specific application of that provision to the property; and the proposed use is a reasonable one.*

OR

Owing to these special conditions, the property cannot be reasonably used in strict conformance with the Ordinance, and a variance is therefore necessary to enable a reasonable use of it.

7.

Petition of the **Elizabeth Larson Trust of 2012, Owner**, for property located at **668 Middle Street (off Chevrolet Avenue)** whereas relief is needed from the Zoning Ordinance to subdivide one lot into two lots and construct 4, 2-family structures on proposed Lot 2 which requires the following: 1) A Variance from Section 10.513 to allow 5 free-standing dwellings on a lot where only one is permitted. 2) A Variance from Section 10.521 to allow a lot area per dwelling unit of 4,517 square feet where 7,500 square feet per dwelling unit is required. Said property is shown on Assessor Map 147 Lot 18 and lies within the General Residence A (GRA) District.

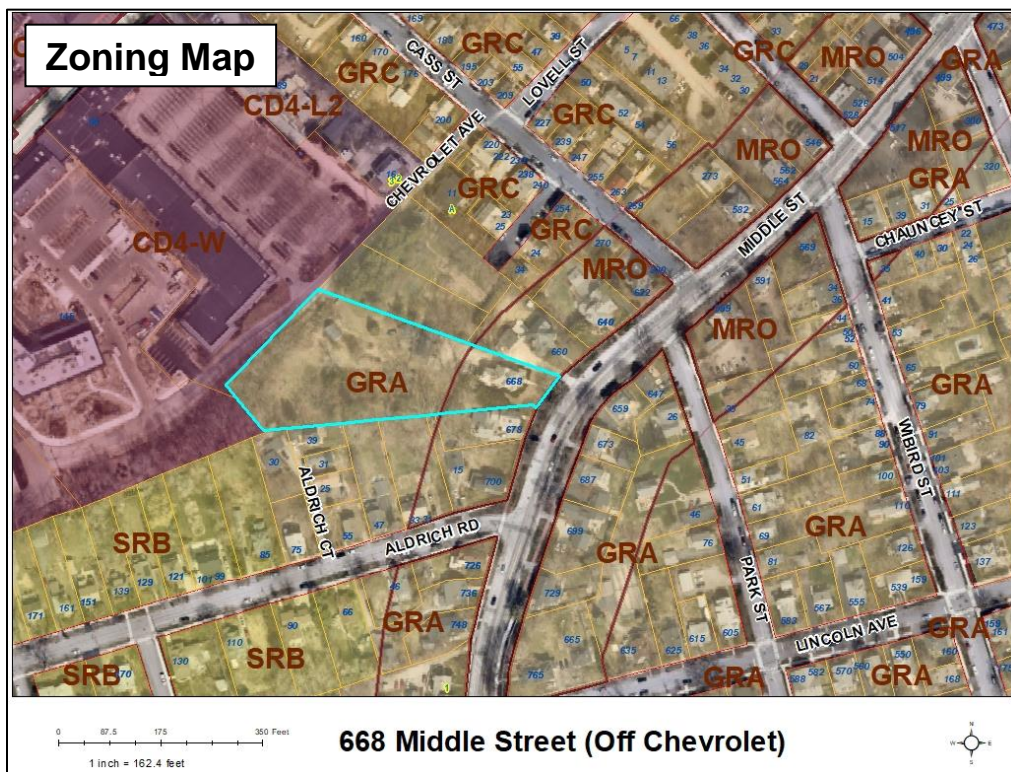
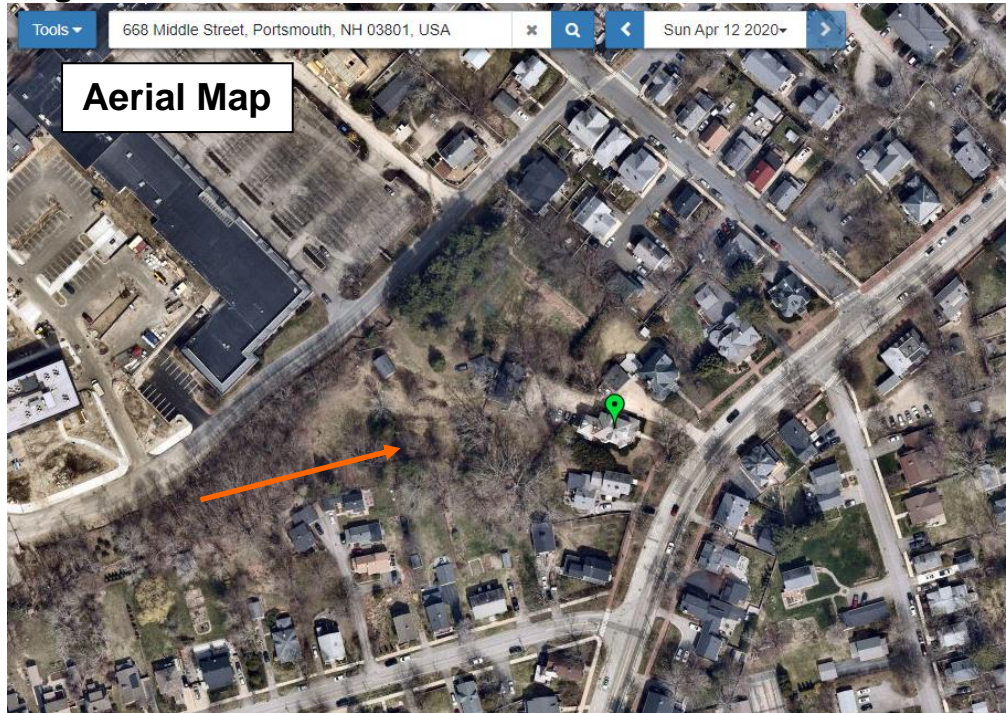
Existing & Proposed Conditions

	<u>Existing</u>	<u>Proposed</u>	<u>Permitted / Required</u>
<u>Land Use:</u>	One SFD and one 3-family dwelling	Subdivide/construct 4, 2-family dwellings	Primarily Residential Uses
<u>Lot area (sq. ft.):</u>	81,063	Lot 1: 67,513 Lot 2: 13,550	81,063 min.
<u>Lot Area per Dwelling Unit (sq. ft.):</u>	20,265	Lot 1: 7,501 Lot 2: 4,517	7,500 min.
<u>Street Frontage (ft.):</u>	60 (Middle) 260 (Chevrolet)	Lot 1: 260 Lot 2: 60	100 min.
<u>Lot depth (ft.):</u>	451	Lot 1: 281 Lot 2: 160	70 min.
<u>Primary Front Yard (ft.):</u>	38	Lot 1: >15 Lot 2: no change	15 min.
<u>Left Yard (ft.):</u>	>10	Lot 1: >10 Lot 2: no change	10 min.
<u>Right Yard (ft.):</u>	12	Lot 1: >10 Lot 2: no change	10 min.
<u>Rear Yard (ft.):</u>	>20	Lot 1: >20 Lot 2: >20	20 min.
<u>Height (ft.):</u>	<35	Lot 1: 34'9" Lot 2: no change	35 max.
<u>Building Coverage (%):</u>	<25	Lot 1: 20 Lot 2: 16	25 max.
<u>Open Space Coverage (%):</u>	>30	Lot 1: 61 Lot 2: 59	30 min.
<u>Parking:</u>	6	Lot 1: 18 Lot 2: 4	Lot 1: 14 Lot 2: 4
<u>Estimated Age of Structure:</u>	1892/1900	Variance request shown in red.	

Other Permits/Approvals Required

TAC & Planning Board – Subdivision/Site Review

Neighborhood Context



Previous Board of Adjustment Actions

April 27, 2004 – The Board granted the following variances:

- Article III, Section 10-301(A)(2) to allow the conversion of the existing freestanding carriage house with new additions into a dwelling unit in a district where all dwellings are to be located in the same building.
- Article III, Section 10-302(A) and Section 10-401(A)(2)(c) to allow a 22'x22' one story attached garage with a 4 foot right side yard where 10 feet is the minimum required.
- Article III, Section 10-302(A) to allow a chimney on the right side of the carriage house to be converted to a single family dwelling with a 2 foot right side yard where 10 feet is the minimum required.

Planning Department Comments

The applicant is proposing to subdivide the lot into two lots and construct 4, two family dwellings on proposed "Lot 1" which would result in 5 free standing principal dwellings where no more than one is permitted. The proposed development on Lot 1 will have access off of Chevrolet Avenue and as proposed, will conform to all other dimensional requirements. Proposed "Lot 2" will contain the existing three family at 668 Middle Street, which is located in the Historic District. No changes are proposed for Lot 2, but the lot will be deficient in lot area per dwelling for the three existing units. The project, if approved, will go to TAC and Planning Board for subdivision and site plan review.

Review Criteria

This application must meet all five of the statutory tests for a **variance** (see Section 10.233 of the Zoning Ordinance):

1. *Granting the variance would not be contrary to the public interest.*
2. *Granting the variance would observe the spirit of the Ordinance.*
3. *Granting the variance would do substantial justice.*
4. *Granting the variance would not diminish the values of surrounding properties.*
5. *The "unnecessary hardship" test:*
 - (a) *The property has special conditions that distinguish it from other properties in the area.*

AND

 - (b) *Owing to these special conditions, a fair and substantial relationship does not exist between the general public purposes of the Ordinance provision and the specific application of that provision to the property; and the proposed use is a reasonable one.*

OR

Owing to these special conditions, the property cannot be reasonably used in strict conformance with the Ordinance, and a variance is therefore necessary to enable a reasonable use of it.

8.

Petition of **Gregory & Amanda Morneault, Owners**, for property located at **137 Northwest Street** whereas relief is needed from the Zoning Ordinance to subdivide one lot into two lots and construct a new single family dwelling which requires the following: 1) Variances from Section 10.521 to allow: a) a lot depth of 44.7 feet for Lot 1 and 25.4 feet for Lot 2 where 70 feet is required for each; b) a 3 foot front yard where 15 feet is required; and c) a 6.5 foot rear yard where 20 feet is required. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District.

Existing & Proposed Conditions

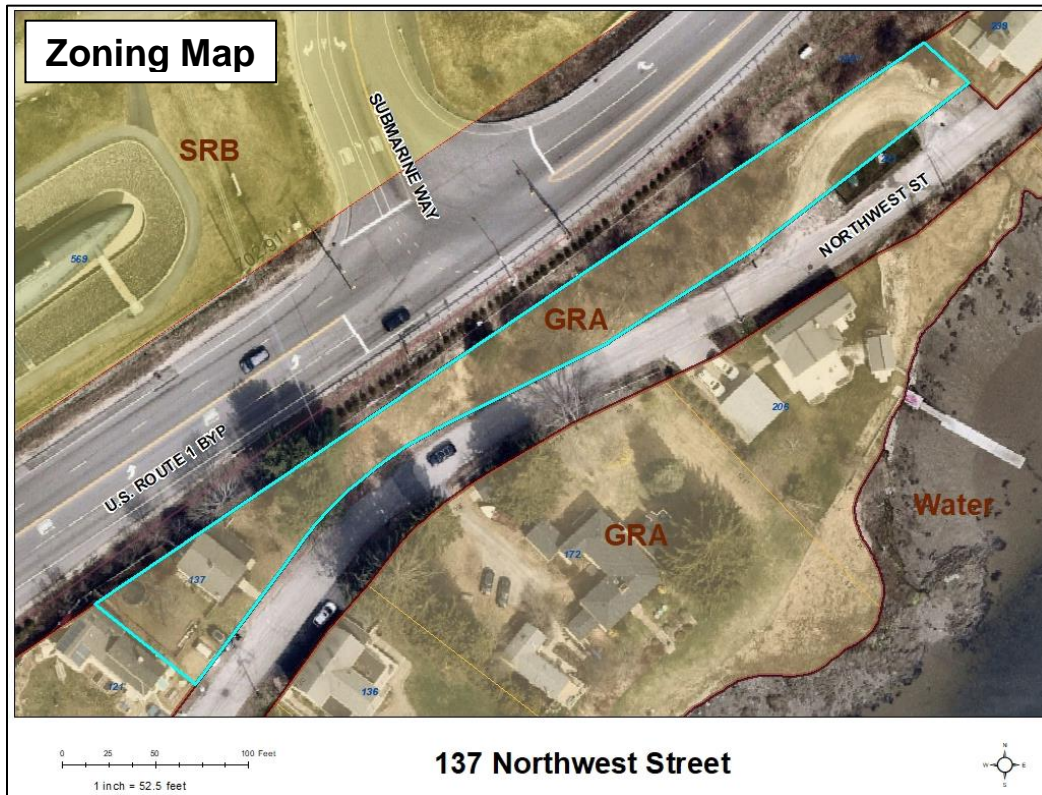
	<u>Existing</u>	<u>Proposed</u>		<u>Permitted / Required</u>
<u>Land Use:</u>	Single family	Two lots w/ new SFD on new lot		Primarily residential uses
<u>Lot area (sq. ft.):</u>	18,134	Lot 1 7,500	Lot 2 10,634	7,500 min.
<u>Lot Area per Dwelling Unit (sq. ft.):</u>	18,134	7,500	10,634	7,500 min.
<u>Street Frontage (ft.):</u>	536	179	357	100 min.
<u>Lot depth (ft.):</u>	51.1	44.7	25.4'	70 min.
<u>Front Yard (ft.):</u>	13.8	13.8	3'	15 min.
<u>Right Yard (ft.):</u>	>200	>10	105.9	10 min.
<u>Left Yard (ft.):</u>	26	26	130	10 min.
<u>Rear Yard (ft.):</u>	1.8	1.8	6.5'	20 min.
<u>Height (ft.):</u>	<35	<35	<35	35 max.
<u>Building Coverage (%):</u>	<25	14	20	25 max.
<u>Open Space Coverage (%):</u>	>30	83	69	30 min.
<u>Parking</u>	2	2	4	1.3 (lot 1)/1.3 (lot 2)
<u>Estimated Age of Structure:</u>	1850	Variance request shown in red.		

Other Permits/Approvals Required

Planning Board – Subdivision

HDC

Neighborhood Context



Previous Board of Adjustment Actions

November 24, 2020 – The Board denied the following variances from Section 10.521 to subdivide one lot into two and construct a new two-family dwelling:

- a. a lot depth of 44.7 feet for Lot 1 and 23.4 feet for Lot 2 where 70 feet is required for each.
- b. a lot area per dwelling unit of 5,317 square feet for proposed Lot 2 where 7,500 square feet per dwelling is required.
- c. a 2.5 foot front yard for proposed Lot 2 where 15 feet is required.
- d. 4 foot rear yard for proposed Lot 2 where 20 feet is required.

January 19, 2021 – The Board denied a Request for Rehearing on the above matter.

Planning Department Comments

The applicant is proposing to subdivide the subject lot into two lots, with the existing dwelling remaining on Lot 1 and a proposed single family dwelling on Lot 2. The existing lot depth is nonconforming, thus the need for a variance for each lot for lot depth. In addition, the new single family needs relief from the front and rear yard requirements. This will require HDC approval as well as subdivision review through Planning Board and TAC.

Since the application was denied previously, the Board should consider whether to invoke Fisher vs. Dover before this application is considered.

“When a material change of circumstances affecting the merits of the applications has not occurred or the application is not for a use that materially differs in nature and degree from its predecessor, the board of adjustment may not lawfully reach the merits of the petition. If it were otherwise, there would be no finality to proceedings before the board of adjustment, the integrity of the zoning plan would be threatened, and an undue burden would be placed on property owners seeking to uphold the zoning plan.” Fisher v. Dover, 120 N.H. 187, (1980).

	Initial request (November 2020)	Current Proposal (February 2021)
<u>Building Type:</u>	Two family	Single family
<u>Density relief:</u>	5,317 s.f./unit	NA
<u>Setback relief:</u>	2.5 foot front yard 4 foot rear yard	3 foot front yard 6.5 foot rear yard

November 2020 proposal (two family)



Review Criteria

This application must meet all five of the statutory tests for a **variance** (see Section 10.233 of the Zoning Ordinance):

1. *Granting the variance would not be contrary to the public interest.*
2. *Granting the variance would observe the spirit of the Ordinance.*
3. *Granting the variance would do substantial justice.*
4. *Granting the variance would not diminish the values of surrounding properties.*
5. *The “unnecessary hardship” test:*
 - (a) *The property has special conditions that distinguish it from other properties in the area.*

AND

 - (b) *Owing to these special conditions, a fair and substantial relationship does not exist between the general public purposes of the Ordinance provision and the specific application of that provision to the property; and the proposed use is a reasonable one.*

OR

Owing to these special conditions, the property cannot be reasonably used in strict conformance with the Ordinance, and a variance is therefore necessary to enable a reasonable use of it.

9.

Petition of **CLJR, LLC, Owner**, for property located at **6 Robert Avenue** whereas relief is needed from the Zoning Ordinance allow a martial arts studio which requires the following: 1) A Special Exception from Section 10.440 Use #4.42 to allow a martial arts studio with more than 2,000 square feet gross floor area where the use is permitted by Special Exception. Said property is shown on Assessor Map 286 Lot 17 and lies within the (G1) District.

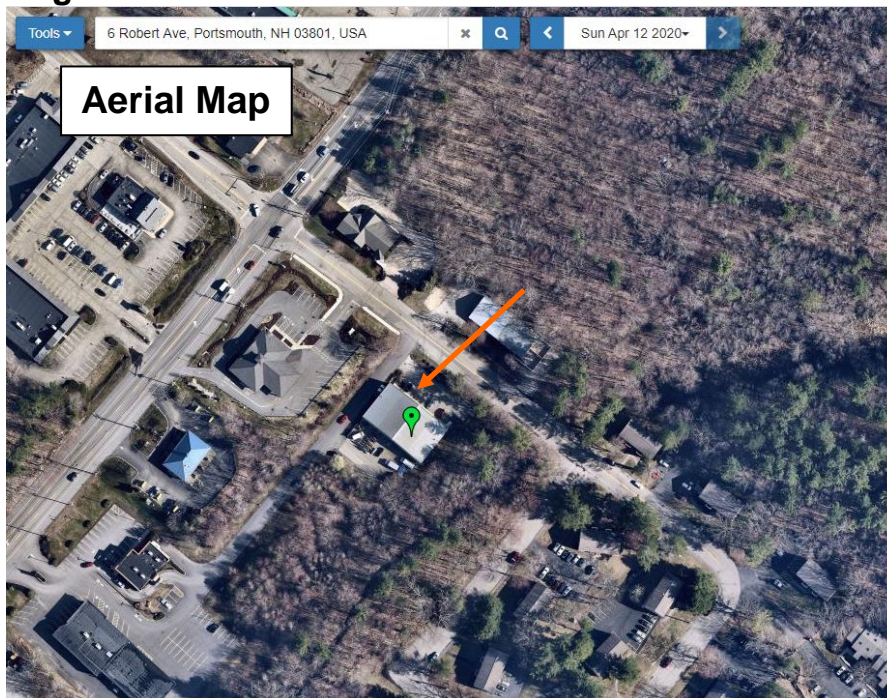
Existing & Proposed Conditions

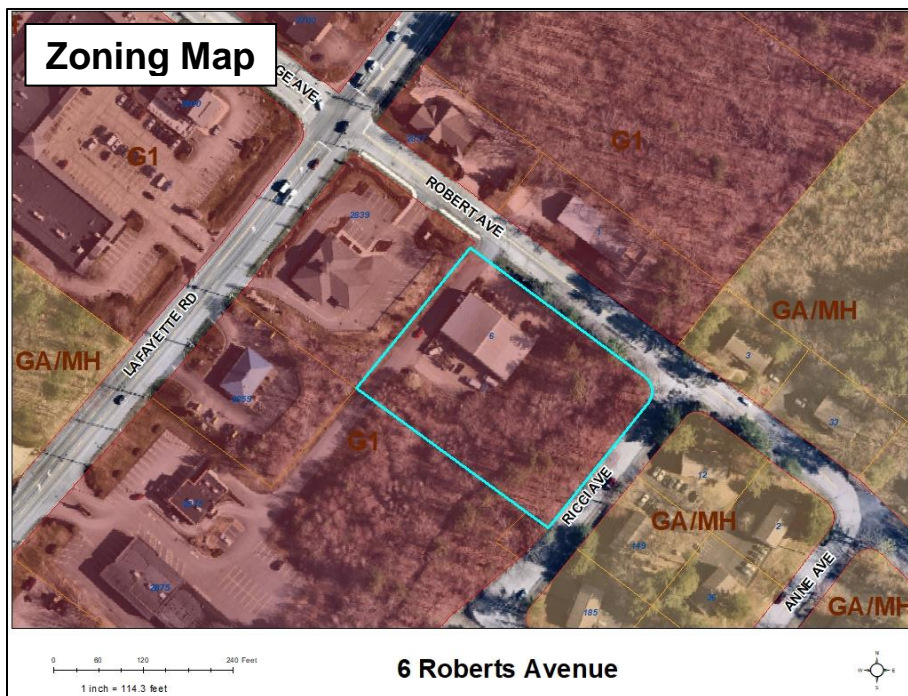
	<u>Existing</u>	<u>Proposed</u>	<u>Permitted / Required</u>
<u>Land Use:</u>	Single-family	Martial arts studio	Primarily Single-family Uses
<u>Lot area (sq. ft.):</u>	78,408	78,408	NR
<u>Street Frontage (ft.):</u>	294	294	50 min.
<u>Lot depth (ft.):</u>	227	227	NR min.
<u>Parking:</u>	14	14	17 Seeking CUP for parking
		Special Exception request shown in red.	

Other Permits/Approvals Required

Planning Board – Parking CUP

Neighborhood Context





Previous Board of Adjustment Actions

March 21, 2000 – The Board granted the following variances for the construction of a 65'x110' one story building:

- Article III, Section 10-304(A) to allow a 58' front yard where 70' is the minimum required.
- Article XII, Section 10-1201(A)(3)(e)(2) to allow parking within the 40' required front yard, to allow an access way within the front yard and a 10' landscape area where all parking and access ways are required to be at least 40' from the front property line with the 40' buffer strip being landscaped.
- Article II, Section 10-208 to allow 4,400 square feet of the proposed building to be used as a warehouse in a district where such use is not allowed.

September 18, 2001 – The Board granted a Special Exception in Article II, Section 10-208(36) to allow an auto body collision repair shop with the following stipulations:

- That the dumpster be screened and covered.
- That no vehicle parts be stored outside.
- That the DPW review the drainage swale and detention pond to determine if they are adequate for an auto body collision repair shop as currently designed.

September 27, 2005 – The Board granted the following variance:

- Article II, Section 10-208 to allow a wholesale/retail irrigation business with a 30'x35' outdoor storage area in a district where such use is not allowed.

Planning Department Comments

The applicant is proposing to add a martial arts studio to the subject property which requires a special exception in this district. The applicant is deficient in parking and is seeking a conditional use permit for providing less than the required amount of off-street parking from the Planning Board.

Review Criteria

The application must meet all of the standards for a **special exception** (see Section 10.232 of the Zoning Ordinance).

1. *Standards as provided by this Ordinance for the particular use permitted by special exception;*
2. *No hazard to the public or adjacent property on account of potential fire, explosion or release of toxic materials;*
3. *No detriment to property values in the vicinity or change in the essential characteristics of any area including residential neighborhoods or business and industrial districts on account of the location or scale of buildings and other structures, parking areas, accessways, odor, smoke, gas, dust, or other pollutant, noise, glare, heat, vibration, or unsightly outdoor storage of equipment, vehicles or other materials;*
4. *No creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity;*
5. *No excessive demand on municipal services, including, but not limited to, water, sewer, waste disposal, police and fire protection and schools; and*
6. *No significant increase of stormwater runoff onto adjacent property or streets.*

HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC
ATTORNEYS AT LAW

127 Parrott Avenue, P.O. Box 4480 | Portsmouth, NH, 03802-4480
Telephone: 603.436.0666 | Facsimile: 603.431.0879 | www.hpgrlaw.com

January 25, 2021

**HAND DELIVERED &
UPLOADED TO VIEWPOINT**

Peter Stith, Planner
Izak Gilbo, Administrative Clerk
Portsmouth Zoning Board of Adjustment
City Hall
1 Junkins Avenue
Portsmouth, NH 03801

Re: Zoning Relief
Karona, LLC, Owner/Applicant
36 Artwill Avenue
Tax Map 229/Lot 4
SRB Zone

Dear Mr. Stith, Mr. Gilbo & Zoning Board Members:

On behalf of Karona, LLC, enclosed please find the following:

- Supplemental Exhibit 3H – depicting the completed garage structure.

We look forward to presenting this to the Zoning Board of Adjustment.

Very truly yours,



R. Timothy Phoenix
Monica F. Kieser

Encl.

cc: Karona, LLC
Thomas House
James Verra & Associates, Inc.

DANIEL C. HOEFLE	R. PETER TAYLOR	GREGORY D. ROBBINS	DUNCAN A. EDGAR
R. TIMOTHY PHOENIX	JOHN AHLGREN	MONICA F. KIESER	OF COUNSEL:
LAWRENCE B. GORMLEY	KIMBERLY J.H. MEMMESHEIMER	SAMUEL HARKINSON	SAMUEL R. REID
STEPHEN H. ROBERTS	KEVIN M. BAUM	JACOB J.B. MARVELLEY	

EXHIBIT 3H



Board of Adjustment
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Application for Special Exception for Use in G1 for 2225 Lafayette Road

Board of Adjustment,

I am the current owner of the property at 2225 Lafayette Road (Map 272, Lot 002), and authorize Alex Vandermark for the project at 2225 Lafayette Road to submit a Special Exception form. This authorization is for a submittal of the Application for the City of Portsmouth Special Exception for the Board of Adjustments for the proposed Juicery Trailer to be used on the existing property of 2225 Lafayette Road.



Brian Short,

Custom Pools
& Spa's
Light's CUSTOM E HAUST
ALL EXHAUST
REPAIRS & WELDING
FREE ESTIMATES 603-431-4700

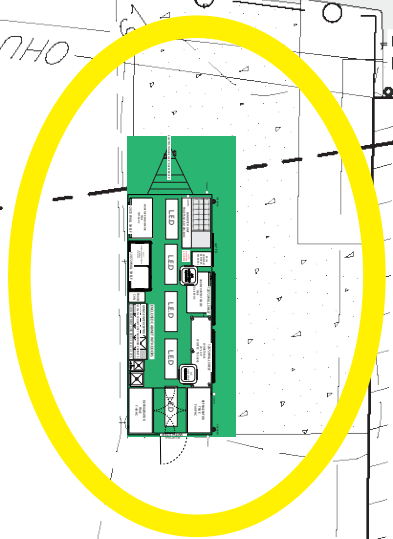


WATER COUNTRY



"CUSTOM"
POOLS"

PARCEL 1



GATE

FF ON
EL. = 61.38'

1 STORY
BUILDING

PEAK EL
= 83.40

GARAGE

FF ON
EL. = 61.38'

CONCRETE
WALK

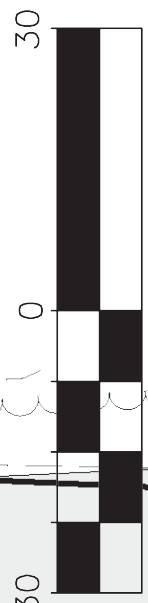
BUILDING
OVERHANG

MAP 272 LOT 2
64,817 S.F.
(1.4880 ACRES)

100' WETLAND BUFFER

307.37'
S31.29'15"E

**Proposed Juicery Trailer
location in reference to
current building parking
lot/Lafayette Road
zoomed in**

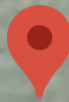


Graphic Scale in Feet

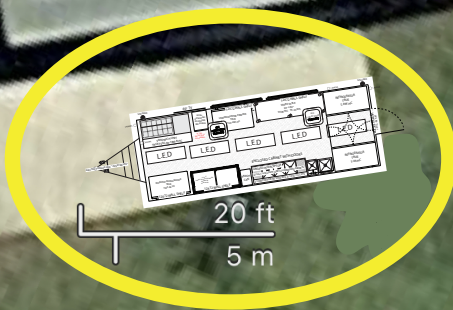
11:56



Lou's Custom Exhaust
Muffler shop



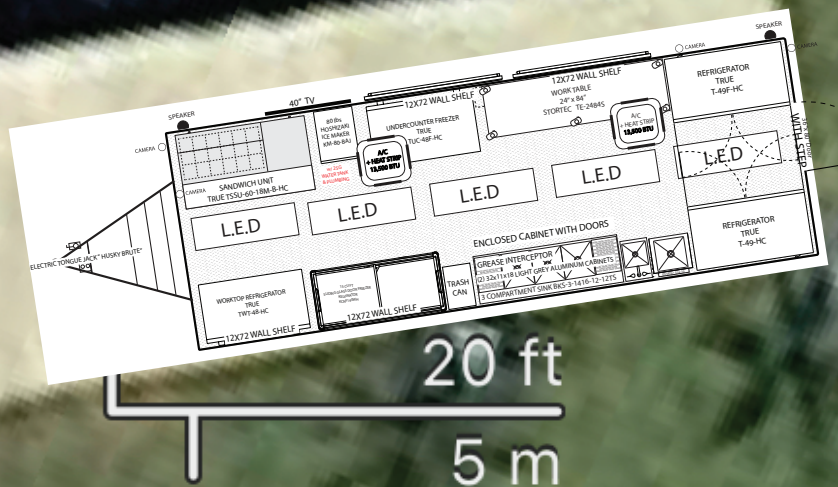
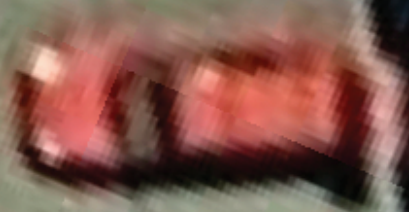
2225 Lafayette



Google

**PROPOSED
TRAILER LOCATION**

Current building layout with the concrete patio in front where we will park The Juicery Trailer.



Board of Adjustment
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

RE: Written Statement for Special Exception for 2225 Lafayette Road

SUMMARY:

We are looking for a special exception to park a mobile Juicery at 2225 Lafayette road (across from Water Country) in the G1 corridor. The unit would sit on the existing concrete patio area in front of the custom pools building (see photos). The existing building on the property is presently being used by Lou's Custom Exhaust garage which still operates and Custom Pool's retail hot tub store which will be closing soon.

The Juicery would serve smoothies, Juice, and other healthy foods not otherwise offered in this area of the city. Customers would park in the Custom Pools parking lot and walk up to the patio area where they would order and be served. The mobile unit would be designed and built by a reputable food truck builder, be aesthetically pleasing, and meet all health code requirements. It is our understanding that special exceptions have been granted to Clyde's Cup Cakes and Chick-Fila who have been mobile vending a few doors down at Bournival jeep. We believe this would be a great addition to the fast-food options in this area and the pick-up/order windows would allow for social distancing.

10.232.21 Yes, The Juicery Trailer meets the standards as provided by this Ordinance for the particular use permitted by special exception

10.232.22 The Juicery trailer will have **no** hazard to the public or adjacent property on account of potential fire, explosion or release of toxic materials

10.232.23 The Juicery trailer will have **no** detriment to property values in the vicinity or change in the essential characteristics of any area including residential neighborhoods or business and industrial districts on account of the location or scale of buildings and other structures, parking areas, accessways, odor, smoke, gas, dust, or other pollutant, noise, glare, heat, vibration, or unsightly outdoor storage of equipment, vehicles or other materials

10.232.24 The Juicery trailer will have **no** creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity

10.232.25 The Juicery trailer will have **no** excessive demand on municipal services, including, but not limited to, water, sewer, waste disposal, police and fire protection and schools; and

10.232.26 The Juicery trailer will have **no** significant increase of stormwater runoff onto adjacent property or street

**Description of Land Use Application - Special Exception
Stetson_Special Exception for Chickens - 406 Lang Road**

Purpose: We would like to have chickens on our property at 406 Lang Road. We would have no more than 8 chickens and NO roosters. We would also purchase a chicken coop no more than 4 x 8 in size.

The chickens would be located in our backyard. See Attached Photo with “site plans”

Answering to Special Exceptions Standards:

Special exceptions shall meet all of the following standards: 10.232.21 Standards as provided by this Ordinance for the particular use permitted by special exception;

10.232.22 There will be no hazard to the public or adjacent property on account of potential fire, explosion or release of toxic materials.

10.232.23 There will be no detriment to property values in the vicinity or change in the essential characteristics of any area including residential neighborhoods or business and industrial districts on account of the location or scale of buildings and other structures, parking areas, accessways, odor, smoke, gas, dust, or other pollutant, noise, glare, heat, vibration, or unsightly outdoor storage of equipment, vehicles or other materials

10.232.24 There will be no creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity.

10.232.25 There will be no excessive demand on municipal services, including, but not limited to, water, sewer, waste disposal, police and fire protection and schools.

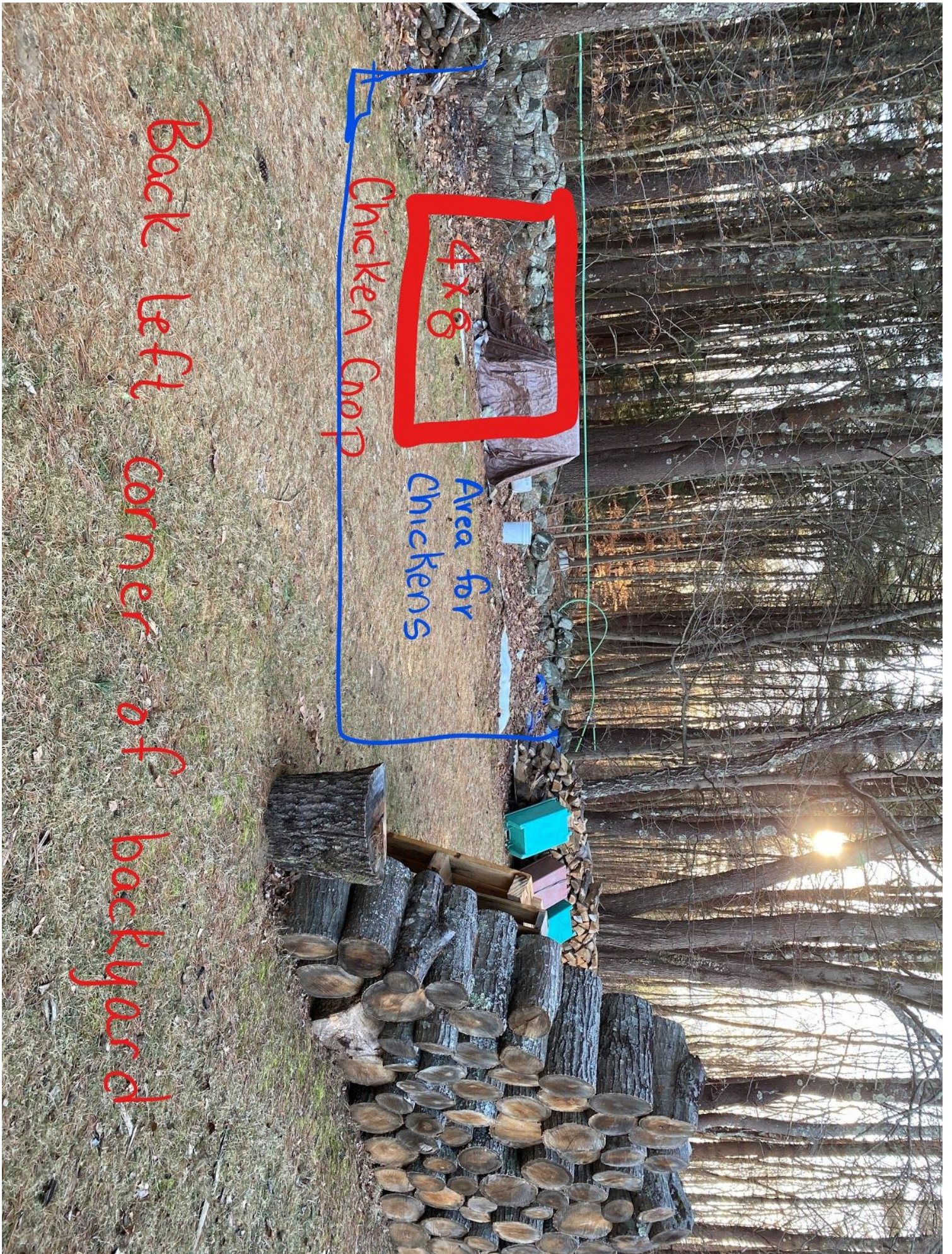
10.232.26 There will be no significant increase of stormwater runoff onto adjacent property or streets.

Thank you for your time and consideration.

Sincerely,

Michael & Cathi Stetson
406 Lang Road
Portsmouth, NH 03801

484-529-5668

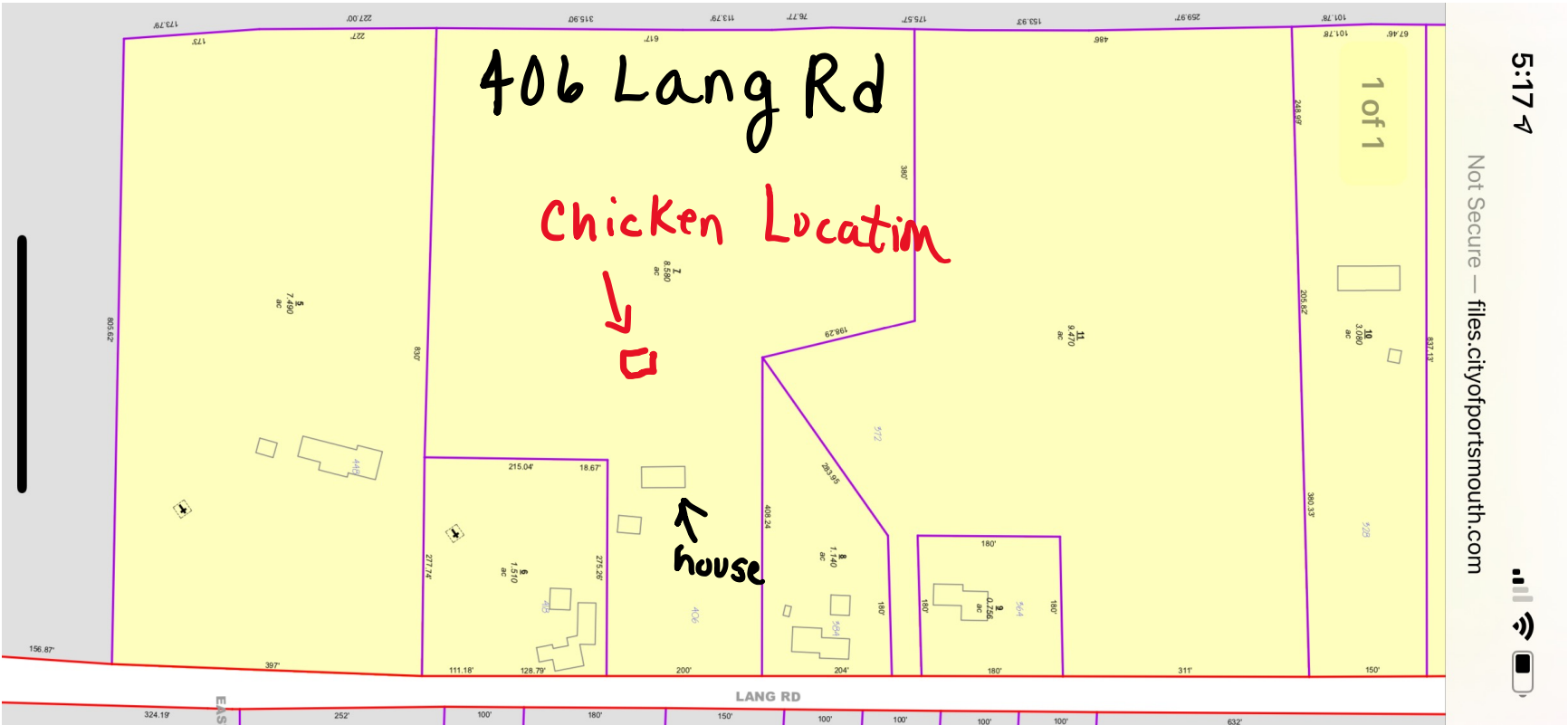


4x8

Chicken Coop

Area for Chickens

Back left corner of backyard



Chicken Coop Location Marked in Red.

Blair Rowlett and Carolina Hoell
53 Decatur Road
Portsmouth, NH 03801
(603)817-1808

January 22, 2021

To whom it may concern:

We own the property at 53 Decatur Road in Portsmouth and are writing to request a Special Exemption to allow for the possession of 4 hens. We do not intend to own a rooster. We plan to acquire a coop that will be located in our backyard. It will be located nearest our immediate neighbors at 67 Decatur Road. We have spoken with our neighbors, Jennifer and Steve Delvechio, who responded with enthusiasm about the potential new additions.

10.232.20 Special exceptions shall meet all of the following standards:

1)No hazard to the public or adjacent property on account of potential fire, explosion or release of toxic materials: **there will be no toxins, chemicals, or fire starting materials in or around the coop.**

2)No detriment to property values in the vicinity or change in the essential characteristics of any area including residential neighborhoods or business and industrial districts on account of the location or scale of buildings and other structures, parking areas, accessways, odor, smoke, gas, dust, or other pollutant, noise, glare, heat, vibration, or unsightly outdoor storage of equipment, vehicles or other materials: **they will be kept in a coop on private property that is entirely fenced in and cannot be seen from the roadway; the coop will be kept clean and orderly.**

3)No creation of a traffic safety hazard or a substantial increase in the level of traffic congestion in the vicinity: **they will be kept in a coop on private property that is entirely fenced in.** No excessive demand on municipal services, including, but not limited to, water, sewer, waste disposal, police and fire protection and schools: **the cost of caring for these animals (i.e. food, water, etc.) will be assumed by the property owner.**

4)No significant increase of stormwater runoff onto adjacent property or streets: **the coop will be built on flat land and will not require any excavation or major changes to the property.**

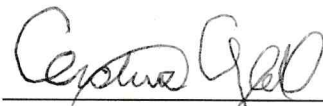
It is our belief that we have met the criteria of the Special Exemption as outlined in the City's Zoning Ordinance.

We appreciate your consideration in this matter.

Respectfully,



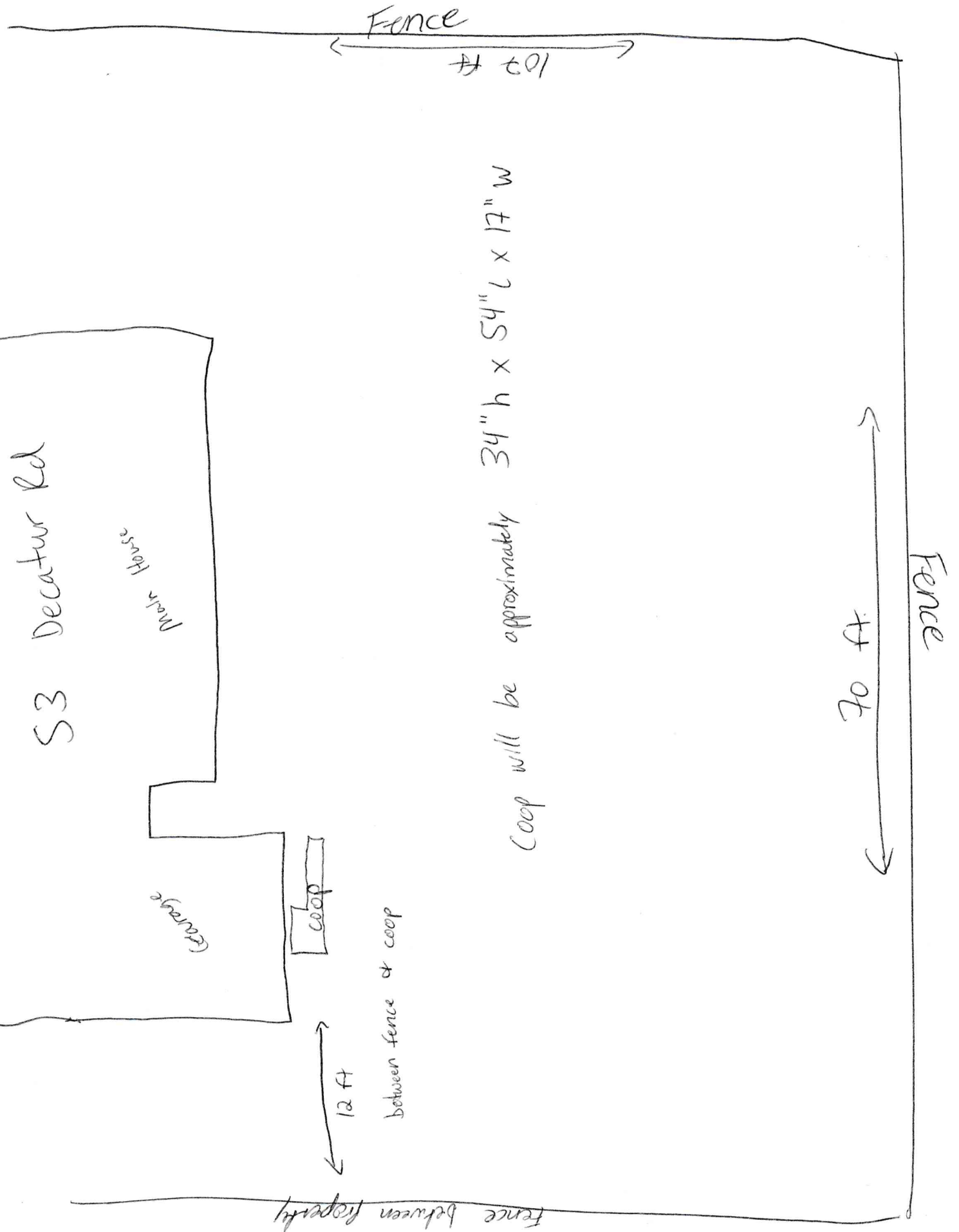
Blair Rowlett



Carolina Hoell

67 Decatur Road

Fence between property



Fence

102 ft

Coop will be approximately 34'' h x 54'' l x 17'' w

Coop will be approximately 34'' h x 54'' l x 17'' w

S3 Decatur Rd

Main House

Garage

coop

12 ft

between fence & coop

70 ft

Fence

Request for Variance

January 26, 2021

Dear Members of the Board

Petition on behalf of Melissa Williamson for property located at 295 Thornton Street, Tax Map 162, Lot #4, wherein relief is requested from the Zoning Ordinance for a proposed 2-story addition on the east side of the residence, and a proposed 1-story addition at the rear of the residence. The request includes a variance from Section 10.521 to allow for a 5'-4" front yard where a 15' setback is required, as well as a variance from Section 10.321 to allow the enlargement of a non-conforming structure.

The existing residence consists of an original 2-story house built in 1870 and a 2-story addition dating back to the 1930's. The residence has all the charms and quirks you might expect from a structure of its age. It is however not very well adapted to today's standards of usage, livability and safety, and woefully inadequate for an owner wishing to age in place.

The existing stairs to the second floor are narrow, winding and steep. The existing stairs to the basement are even narrower and steeper. The proposed 2-story addition with full basement would house new code compliant stairways to the basement and second floor, as well as a new powder room, laundry closet and pantry.

The existing Master Bedroom, located on the second floor of the 1930's addition, is reached via two steep steps down. Part of the renovations is to create a new Master Suite with bath and walk-in closet on the first floor where the current stairway and living room are located now. This creates the need for the proposed 1-story addition at the rear, as it would house a new living room.

The applicant believes their request is reasonable as they wish to transform the house in order to allow them to gracefully and safely age in place.

Responding to the Variance Requirement

- **The variance will not be contrary to the public interest.**

The proposed additions will not alter the essential character of the neighborhood. The additions are in keeping with the existing aesthetics and scale of the residence, as well as those of adjacent properties.

- **The spirit of the ordinance will be observed.**

The proposed additions will improve the performance and look of the property.

- **Substantial Justice will be done.**

In its current configuration, the residence is not suitable for aging in place. Creating 2) new stairways in the east side addition will remedy this. The living room addition allows for the creation of a new master suite on the first floor, which will allow the owner to live on a single floor.

- **The values of surrounding properties will not be diminished.**

The proposed additions will add value to the property and thereby increase the value of the surrounding homes.

- **Literal enforcement of the provisions of the Ordinance would result in unnecessary hardship.**

Literal enforcement would prevent the owners from gracefully aging in place.

Sincerely yours

Hubert Krahl

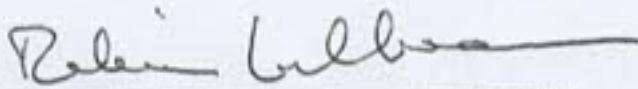
Letter of Authorization

January 26, 2021

Melissa Williamson
295 Thornton Street
Portsmouth NH 03801

I authorize Hubert Krah Designs, LLC to execute the Application for Variances and to take any and all actions necessary throughout the Variance application and permitting process, including but not limited to attendance and presentation at public hearings regarding the property at 295 Thornton Street, Tax Map 162, Lot 4

Melissa Williamson



Application for a Variance to permit the following:

The construction a 2-story addition on the east side of the residence, to house 2) new stairways to sevice basement and second floors and the construction of a living room addition to allow the creation of a first floor master suite.

Relief is requested from

- **section 10.521**, to allow for an existing 5'-4"+/- front yard where 15'-0" would be required
- **section 10.321**, to allow for the enlargement of a non-conforming structure

- **The variance will not be contrary to the public interest.**

The proposed additions will not alter the essential character of the neighborhood.

- **The spirit of the ordinance will be observed.**

The proposed additions will improve the performance and look of the property.

- **Substantial Justice will be done.**

In its current configuration, the residence is not suitable for aging in place. The existing stairs are very narrow and steep, and thus difficult to navigate. Creating 2) new stairways in the east side addition will remedy this. The living room addition allows for the creation of a new master suite on the first floor, which will allow the owner to age in place.

- **The values of surrounding properties will not be diminished.**

The proposed additions will add value to the property and thereby increase the value of the surrounding homes.

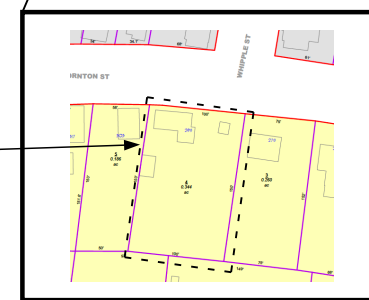
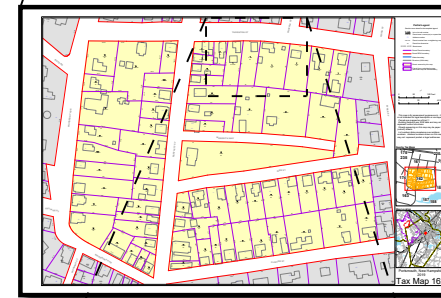
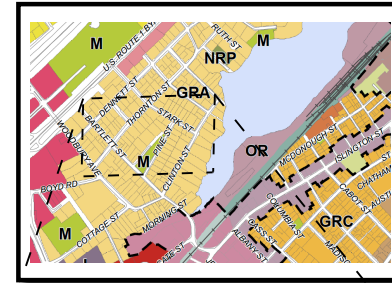
- **Literal enforcement of the provisions of the Ordinance would result in unnecessary hardship.**

Literal enforcement would prevent the owners from gracefully aging in place.

List of Drawings

- AD-01 COVER SHEET & LOCATION MAP
- AD-02 EXISTING & PROPOSED PLOT PLANS
- AD-03 EXISTING & PROPOSED FLOOR PLANS - 1ST FL
- AD-04 EXISTING & PROPOSED FLOOR PLANS - 2ND FL
- AD-05 EXISTING & PROPOSED EXTERIOR ELEVATIONS - NORTH & WEST
- AD-06 EXISTING & PROPOSED EXTERIOR ELEVATIONS - SOUTH & EAST
- AD-07 LOT COMPARISONS

Location Map



Location of property
295 Thornton Street,
Portsmouth NH 03801,
Tax Map 162, Lot 4.

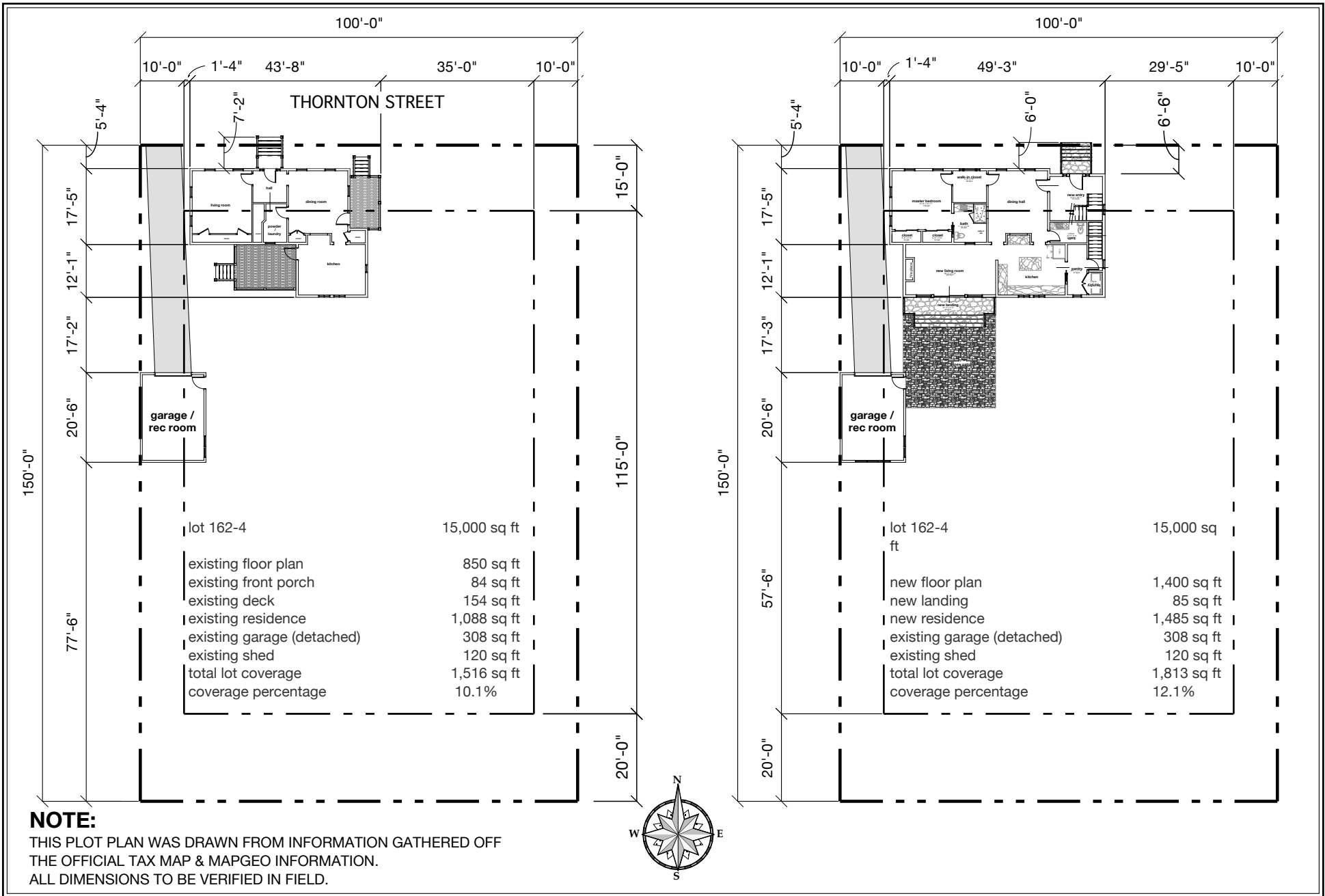


Variance Submittal for Additions to
The Williamson Residence
295 Thornton Street, Portsmouth NH 03801

Cover Sheet

Issue date: January 26, 2021 | Scale: n/a
Revision dates:

AD-01



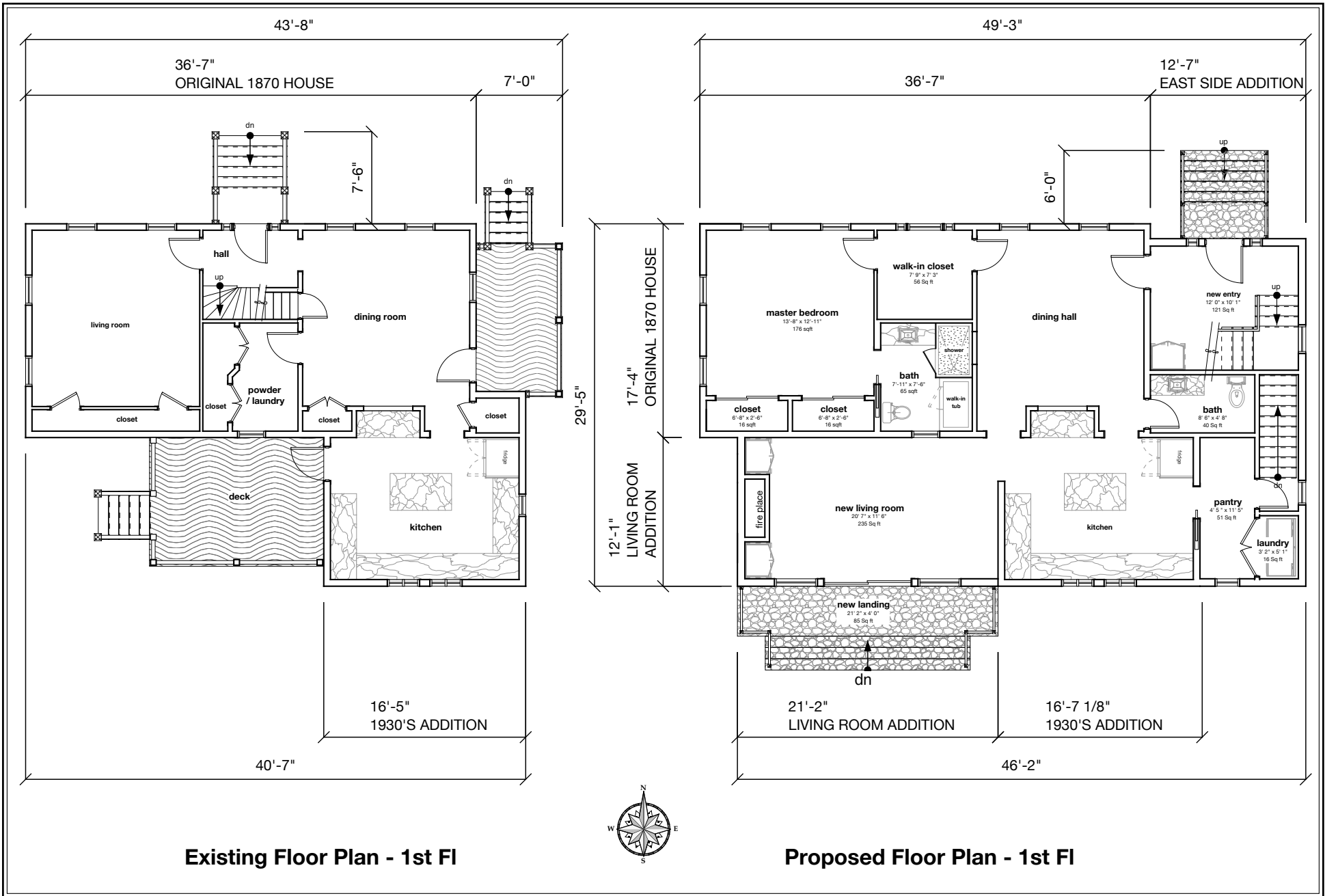
Variance Submittal for Additions to
The Williamson Residence
 295 Thornton Street, Portsmouth NH 03801

Existing & Proposed Plot Plans

Issue date: January 26, 2012 | Scale: 1" = 30'-0"

Revision dates:

AD-02



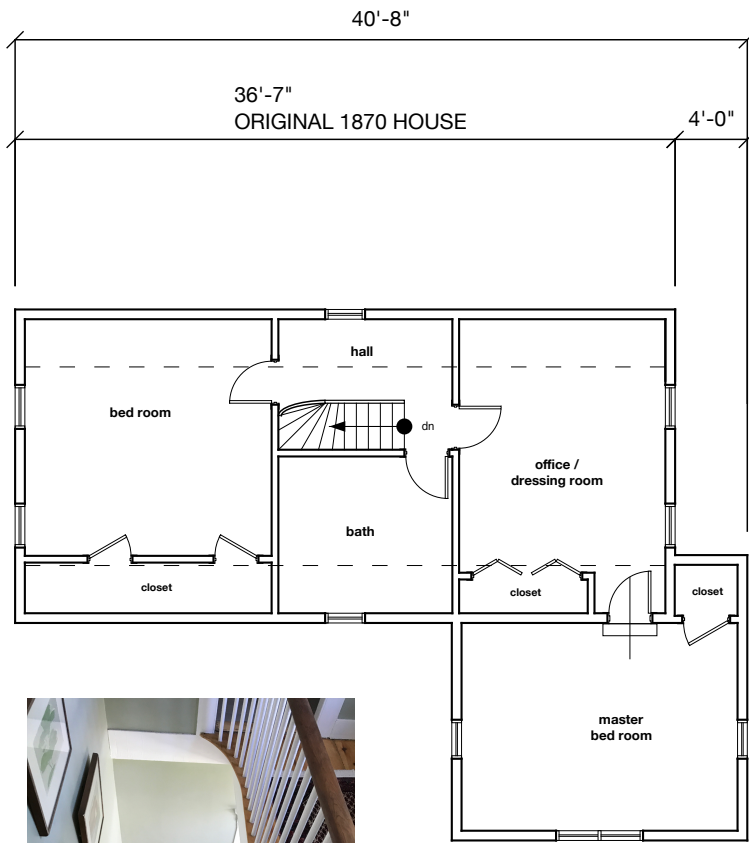
Variance Submittal for Additions to
The Williamson Residence
 295 Thornton Street, Portsmouth NH 03801

Existing & Proposed Floor Plans - 1st Fl

Issue date: January 26, 2021 | Scale: 3/32" = 1'-0"

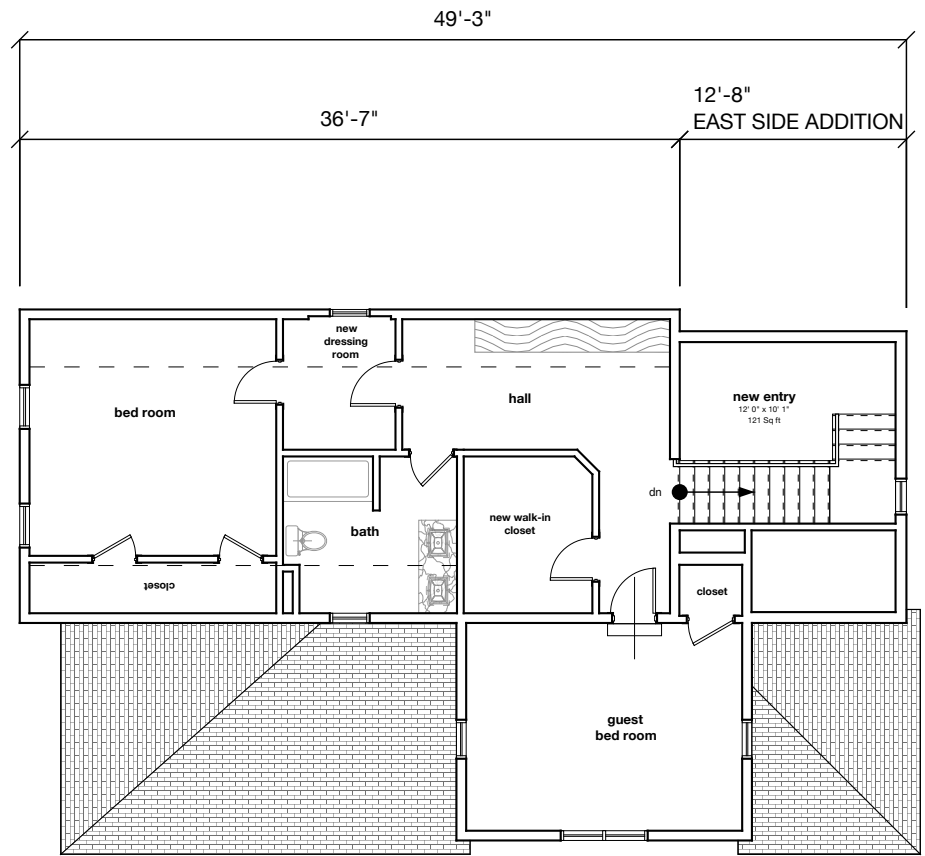
Revision dates:

AD-03



Existing Stairs

Existing Floor Plan - 2nd Fl



Proposed Floor Plan - 2nd Fl



Variance Submittal for Additions to
The Williamson Residence
 295 Thornton Street, Portsmouth NH 03801

Existing & Proposed Floor Plans - 2nd Fl

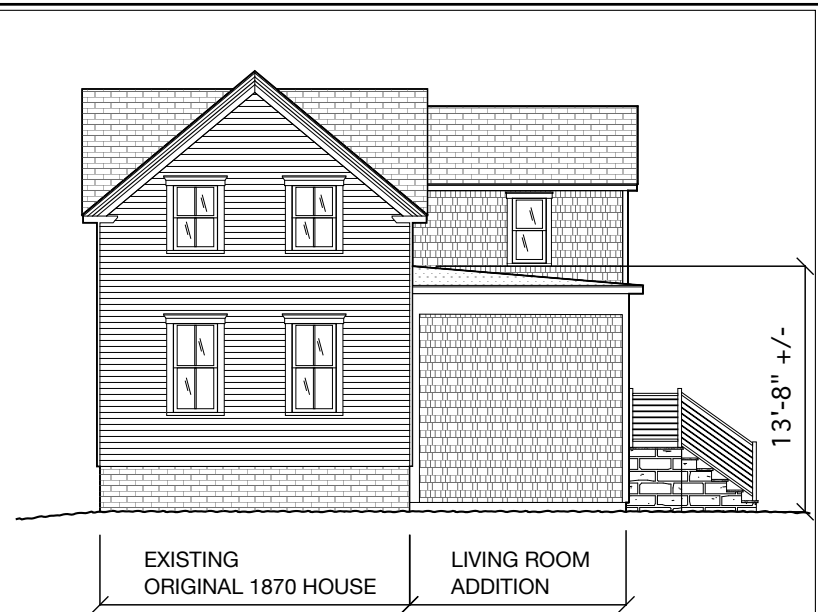
Issue date: January 26, 2021 | Scale: 3/32" = 1'-0"

Revision dates:

AD-04



Proposed Exterior Elevation - North



Proposed Exterior Elevation - West



Existing Exterior Elevation - North



Existing Exterior Elevation - West



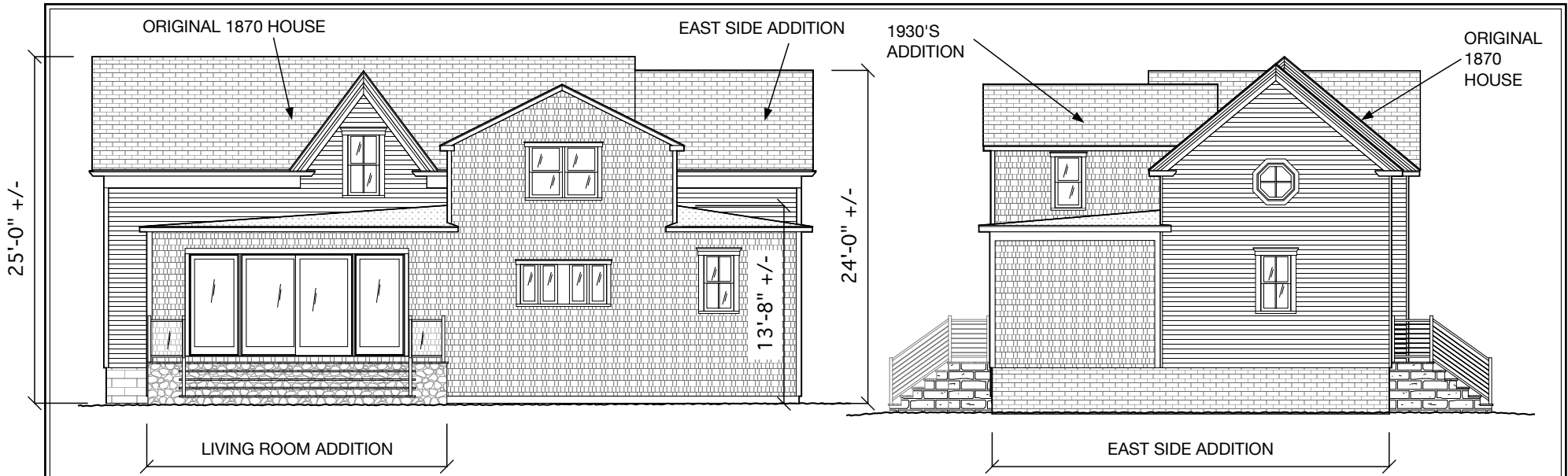
Variance Submittal for Additions to
The Williamson Residence
 295 Thornton Street, Portsmouth NH 03801

Proposed Exterior Elevations

Issue date: January 26, 2021 | Scale: 3/32" = 1'-0"

Revision dates:

AD-05



Proposed Exterior Elevation - South

Proposed Exterior Elevation - East



Existing Exterior Elevation - South



Existing Exterior Elevation - East



Variance Submittal for Additions to
The Williamson Residence
 295 Thornton Street, Portsmouth NH 03801

Proposed Exterior Elevations

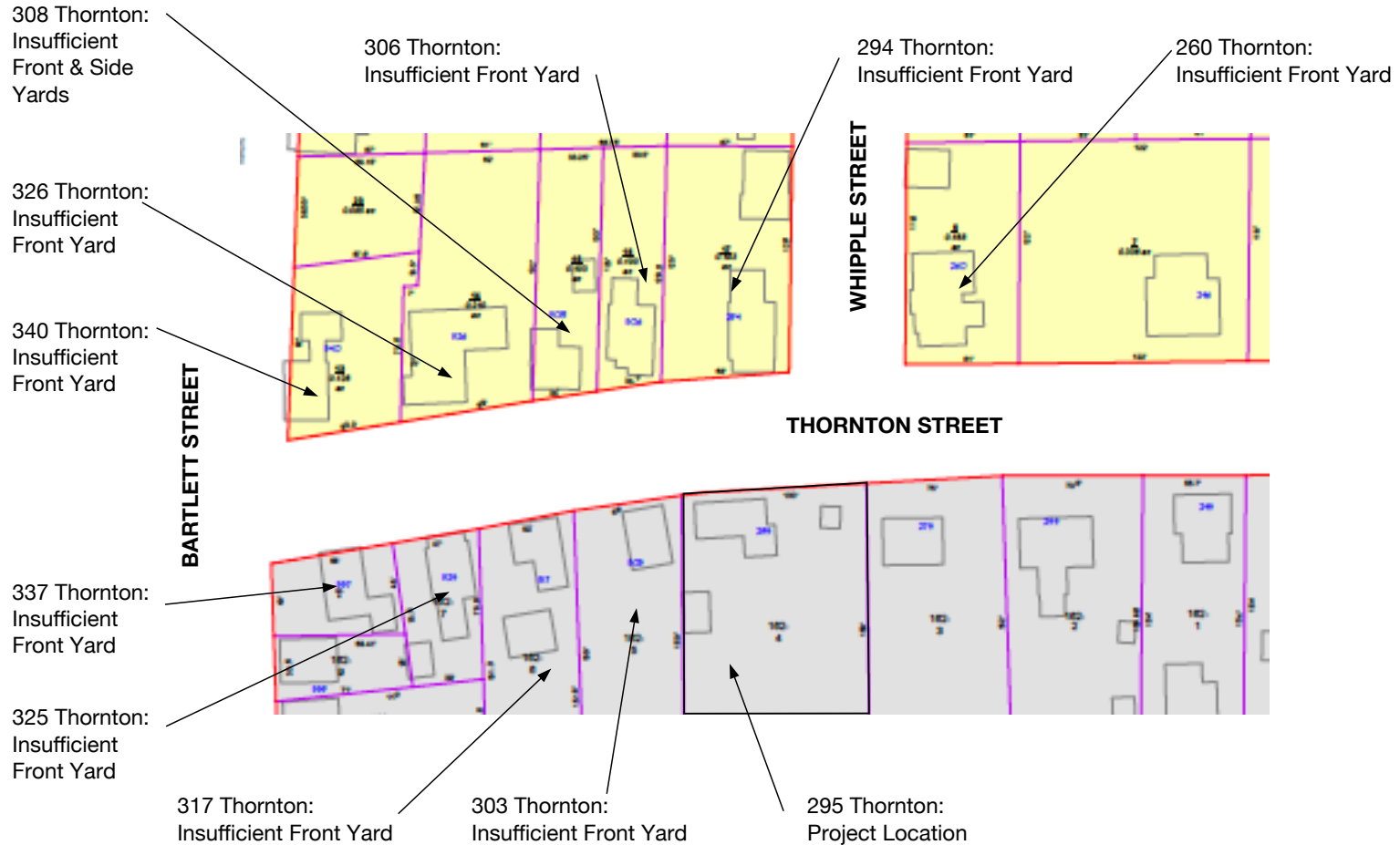
Issue date: January 26, 2021 | Scale: 3/32" = 1'-0"

Revision dates:

AD-06

GRA District Dimensional Standards

Lot Area (min):	7,500 sq ft
Continuous Street Frontage (min):	80 ft
Lot Depth (min):	60 ft
Front Yard (min):	15 ft
Side Yard (min):	10 ft
Rear Yard (min):	20 ft



Durbin Law Offices, P.L.L.C.
144 Washington Street
P.O. Box 1222
Portsmouth, NH 03802
www.durbinlawoffices.com



Derek R. Durbin, Esq.
603.287.4764
derek@durbinlawoffices.com
**Also admitted in MA*

BY: VIEWPOINT & HAND DELIVERY

January 27, 2021

City of Portsmouth
Zoning Board of Adjustment
1 Junkins Avenue
Portsmouth, NH 03801

**RE: Variance Application of SAI Builders LLC
27 Elwyn Avenue, Tax Map 113, Lot 28-1**

Dear Chairman Rheaume,

Our Office represents SAI BUILDERS LLC. Attached herewith, please find the following materials for submission to the Zoning Board of Adjustment for consideration at its next regularly scheduled meeting:

- 1) Landowner Letter of Authorization;
- 2) Narrative to Variance Application with Exhibits A and B;
- 3) Plan Set (Site Plan, Floor Plans and Elevations);
- 4) Photographs of the Property; and
- 5) Tax Map Image of the Property.

Twelve (12) copies of the application submission are being delivered to the City on this date. Should you have any questions or concerns regarding the enclosed application materials, do not hesitate to contact me at your convenience.

Sincerely,

A handwritten signature in black ink, appearing to read 'Derek R. Durbin', written over a horizontal line.

Derek R. Durbin, Esq.

LETTER OF AUTHORIZATION

SAI Builders LLC, of 12 Industrial Way, Salem, New Hampshire 03079, the owner of the property located at 27 Elwyn Avenue, Portsmouth, NH 03801 (the "Property"), hereby authorizes Durbin Law Offices PLLC to act as his agent and representative in connection with any building, zoning, planning or other municipal permit applications filed with the City of Portsmouth for said Property. Said Letter of Authorization shall be valid until expressly revoked in writing.



Printed Name: Anton J. Miller
Duly Authorized

1/25/2021

Date

**CITY OF PORTSMOUTH
ZONING BOARD OF ADJUSTMENT
APPLICATION NARRATIVE**

SAI Builders LLC
(Owner/Applicant)
Tax Map 113, Lot 28-1
27 Elwyn Avenue
Portsmouth, NH 03801

INTRODUCTORY STATEMENT

Background

SAI Builders LLC (the “Applicant”) is the owner of property located at 27 Elwyn Avenue, identified on Portsmouth Tax Map 113, as Lot 28-1 (the “Property”). The Property is located within Portsmouth’s General Residence A (“GRA”) Zoning District.

The Property contains a newly constructed single-family home on a non-conforming lot of record. The Property has 4,996 square feet of lot area where 7,500 square feet is the minimum required and 50 feet of road frontage where 100’ is required. On September 24, 2019, the Zoning Board of Adjustment (the “Board”) granted the requisite lot area per dwelling unit and frontage relief to allow for the construction of the existing single-family home. The Applicant took great care in choosing and constructing a home design that would be in keeping with the neighborhood and that would respect the required zoning setbacks despite the small size of the lot.

What the Applicant failed to consider or realize when presenting its zoning application to the Board on September 24, 2019 is that an AC condenser unit is considered be a “structure” under current zoning which would require relief if located within a required setback. Upon learning of this, well after the home was substantially complete, it applied for a 5.7’ right yard setback variance to install two (2) Amana ASX Condenser Units within this area of the Property. Exhibit A. That relief was denied by the Board on November 17, 2020.

At the public hearing of November 17, 2020, the abutting property owner to the right, nearest to the proposed AC condenser units objected to the variance as a result of its proximity to certain windows of her home and the potential noise it would project into her residence during the summer months if only setback 5.7’. Echoing the concerns of the abutter about location, the Board denied the right yard setback variance sought by the Applicant.

After the November 17, 2020 hearing, the Applicant’s representatives met with the affected abutter to discuss alternatives. The abutter and the Applicant were able to reach an agreement following this meeting. As a result of this agreement, the Applicant is proposing to install a different, smaller AC condensing units that will run quieter than the Amana ASX Condenser Units previously proposed. Exhibit B. The location of the newly proposed condensing units will be different than the prior location. The alternative plan allows for the right yard setback relief to be reduced from 5.7’ to 8’, thus addressing and mitigating the concerns previously expressed by the

affected abutter and the Board. For these reasons, the application is materially different than the prior application before the Board, thus satisfying the *Fisher v. Dover* test. Moreover, it meets the five (5) criteria for granting the variance relief sought.

SUMMARY OF VARIANCE RELIEF

The Applicant seeks the following variance from the Board:

Section 10.521: To allow a 8' (+/-) right yard setback where 10' is required by the Ordinance.

VARIANCE CRITERIA

Granting the variances will not be contrary to the public interest and will observe the spirit of the Ordinance.

“There are two methods of ascertaining whether granting a variance would violate an ordinance’s basic zoning objectives: (1) examining whether granting the variance would alter the essential character of the neighborhood or, in the alternative; and (2) examining whether granting the variance would threaten the public health, safety, or welfare.” *Harborside Assoc v. Parade Residence Hotel*, 162 N.H. 508, 514 (2011).

Many of the existing houses and accessory structures in the neighborhood do not comply with current zoning setback standards due to the small lot sizes and constrained building envelopes. The goal of GRA Zoning is “to provide areas for **single-family, two family and multifamily dwellings**, with appropriate **accessory uses**, at moderate to high densities...[.]” With the increasingly hot summers that New England is experiencing, having central air conditioning is important to homebuyers. It improves the comfort, functionality, and value of a home. The proposed condensing units and related appurtenances will occupy an area of only 26 square feet and will be setback far enough that they will not negatively impact the abutter’s use and enjoyment of their property. The appearance of the house will remain consistent with the character of the neighborhood. The location and specifications of the condensing units are not inconsistent with or more impactful than most if not all other related proposals that the Board has considered and approved in recent years. Therefore, it is reasonable for the Board to conclude that granting the variance will not be contrary to the public interest and will observe the spirit of the Ordinance.

Substantial justice will be done by granting the variance relief.

Any loss to the individual that is not outweighed by a gain to the general public is an injustice. *New Hampshire Office of State Planning, The Board of Adjustment in New Hampshire, A Handbook for Local Officials* (1997); *Malachy Glen Assocs., Inc. v. Town of Chichester*, 155 N.H. 102 (2007).

The application involves a small request for relief from the dimensional requirements of the Ordinance that addresses concerns raised by the only impacted abutter. The proposed condensing units are consistent with the evolving needs and expectations of today's homebuyers. If the relief were denied, the comfort and desirability of the home would be diminished and there would be no offsetting gain realized by the public. As such, it is reasonable for the Board to conclude that substantial justice is done by granting the variance.

The values of surrounding properties will not be diminished by granting the variance relief.

The proposed condensing units will be inconspicuously located away from the streetscape and will not alter the essential character of the neighborhood. Central air conditioning will raise the value of the existing house which can only help maintain or increase the values of other properties in the neighborhood. It is reasonable for the Board to conclude that the values of surrounding properties will not be diminished by granting the variance relief.

Literal enforcement of the provisions of the Ordinance would result in an unnecessary hardship.

The Property, while not substantially different in size from other parcels within the surrounding neighborhood at 4,996 square feet, is a non-conforming lot of record that was vacant land until very recently. This makes it distinguishable from other surrounding properties, most of which contain dwellings and accessory structures that were constructed prior to current GRA setback and other zoning restrictions. Being an approximately 50' x 100' lot, the Property has a small building envelope that restricts what can be constructed on it without infringing upon one or more setbacks or exceeding the lot coverage restriction. The home itself meets the setback regulations. There are very few properties within the surrounding area where the buildings conform to current zoning.

In addition, it is important to consider the context of the "structure(s)" proposed within the setback. In the present instance, the Applicant is proposing two (2) small condensing units with related appurtenances that will occupy only 26 square feet of area. Unlike an accessory building such as a shed or garage or the addition to a home, it will not impose the same light, air and space concerns as a traditional *structure* would. For the foregoing reasons, there is no fair and substantial relationship between the general purposes of the Ordinance provisions and their application to the Property. Furthermore, the use of the Property is reasonable. The Applicant chose a system that operates more quietly than the system previously proposed. The location of the proposed condensing units is the result of an agreement with the nearest affected abutter.


CONCLUSION

In conclusion, the Applicant has demonstrated that it meets the five (5) criteria for granting each of the variances requested. Accordingly, it respectfully requests that the Board approve its Variance Application.

Dated: January 27, 2021

Respectfully Submitted,

SAI BUILDERS LLC



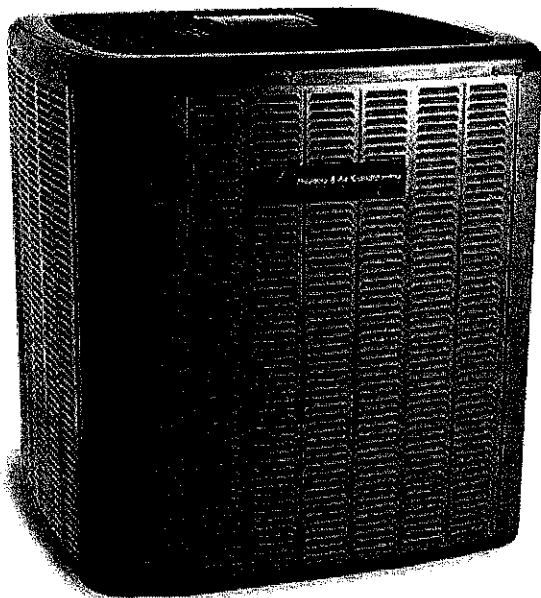
By: Derek R. Durbin, Esq.
DURBIN LAW OFFICES PLLC
144 Washington Street
Portsmouth, NH 03801
(603)-287-4764
derek@durbinlawoffices.com



ASX13

COOLING CAPACITY: 17,800 - 56,500 BTU/H

ENERGY-EFFICIENT
SPLIT SYSTEM AIR CONDITIONER
UP TO 14 SEER / 12 EER



Contents

Nomenclature 2
 Product Specifications 3
 Expanded Cooling Data 4
 Dimensions 22
 Wiring Diagrams 23
 Accessories 25

Standard Features

- Energy-efficient scroll compressor
- High-density foam compressor sound blanket
- Copeland® ComfortAlert™ diagnostics
- Factory-installed filter drier
- Copper tube / enhanced aluminum fin coil
- Sweat connection service valves with easy access to gauge ports
- Contactor with lug connection
- Ground lug connection
- AHRI Certified; ETL Listed

Cabinet Features

- Heavy-gauge, galvanized-steel cabinet with sound control top design
- Attractive Architectural Gray powder-paint finish with 500-hour salt-spray approval
- Wire fan discharge grille
- Steel louver coil guard
- Compact footprint
- Top and side maintenance access
- Single-panel access to controls with space provided for field-installed accessories



* Complete warranty details available from your local dealer or at www.amana-hac.com. To receive the 2-Year Unit Replacement Limited Warranty and 10-Year Parts Limited Warranty, online registration must be completed within 60 days of installation. Online registration is not required in California or Quebec.

NOMENCLATURE

	A	S	X	13	036	1	AA		
	1	2	3	4,5	6,7,8	9	10,11		
Brand	A Amana® Brand						Engineering *		
							Major/Minor Revisions		
							* Not used for order or inventory control		
Product Category	S Split System						Electrical		
	N Nominal Split System						1- 208/230 V, 1 Phase, 60 Hz		
Unit Type	X Condenser R-410A						Nominal Capacity		
	Z Heat Pump R-410A						018 1½ Tons	042 3¾ Tons	
							024 2 Tons	048 4 Tons	
							030 2½ Tons	060 5 Tons	
							036 3 Tons		
Efficiency	13 13 SEER		16 16 SEER						
	14 14 SEER		18 18 SEER						

	ASX13 0181D	ASX13 0241C	ASX13 0301C	ASX13 0361D	ASX13 0421C	ASX13 0481C	ASX13 0601C	ASX13 0611A*
CAPACITIES								
Nominal Cooling (BTU/h)	17,800	23,000	28,400	33,600	40,000	46,000	57,000	56,500
SEER / EER	13 / 11	13 / 11	13 / 11	13 / 11	13 / 11	13 / 11	13 / 11	13 / 11
Decibels	75	75	73	74	75	76	77	77
COMPRESSOR								
RLA	9.0	13.5	12.8	14.1	17.9	19.9	25.0	26.4
LRA	48	58.3	64	77	112	109	134	134
CONDENSER FAN MOTOR								
Horsepower	1/8	1/8	1/8	1/4	1/4	1/4	1/4	1/4
FLA	0.7	0.7	0.7	1.4	1.3	1.3	1.3	1.3
REFRIGERATION SYSTEM								
Refrigerant Line Size								
Liquid Line Size ("O.D.)	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"
Suction Line Size ("O.D.)	3/4"	3/4"	3/4"	7/8"	1 1/8"	1 1/8"	1 1/8"	7/8"
Refrigerant Connection Size								
Liquid Valve Size ("O.D.)	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"	3/8"
Suction Valve Size ("O.D.) ^{3 4}	3/4"	3/4"	3/4"	3/4" ⁴	3/4" ⁵	3/4" ⁵	3/4" ⁵	3/4"
Valve Type	Sweat	Sweat	Sweat	Sweat	Sweat	Sweat	Sweat	Sweat
Refrigerant Charge	69	60	60	62	80	91	94	111
Shipped with Orifice Size	0.051	0.057	0.061	0.070	0.076	0.080	0.086	0.086
ELECTRICAL DATA								
Voltage / Phase (60 Hz)	208/230-1	208/230-1	208/230-1	208/230-1	208/230-1	208/230-1	208/230-1	208/230-1
Minimum Circuit Ampacity ¹	12	17.6	16.7	19.0	23.7	26.2	32.6	34.3
Max. Overcurrent Protection ²	20	30	25	30	40	45	50	60
Min / Max Volts	197/253	197/253	197/253	197/253	197/253	197/253	197/253	197/253
Electrical Conduit Size	1/2" or 3/4"	1/2" or 3/4"	1/2" or 3/4"	1/2" or 3/4"	1/2" or 3/4"	1/2" or 3/4"	1/2" or 3/4"	1/2" or 3/4"
Equipment Weight (lbs)	102	115	115	118	171	175	184	211
Ship Weight (lbs)	117	128	132	135	189	193	202	233

¹ Line sizes denoted for 25' line sets, tested and rated in accordance with AHRI Standard 210/240. For other line-set lengths or sizes, refer to the Installation & Operating instructions and/or the long line-set guidelines.

² Wire size should be determined in accordance with National Electrical Codes; extensive wire runs will require larger wire sizes.

³ Must use time-delay fuses or HACR-type circuit breakers of the same size as noted.

⁴ Installer will need to supply 3/4" to 7/8" adapters for suction line connections.

⁵ Installer will need to supply 3/4" to 1 1/8" adapters for suction line connections.

NOTES

- Always check the S&R plate for electrical data on the unit being installed.
- Unit is charged with refrigerant for 15' of 3/8" liquid line. System charge must be adjusted per Installation Instructions Final Charge Procedure.
- This product may not be installed in the Southeast (including Hawaii) or Southwest Regions as of Jan. 1, 2015.

IDB	AIRFLOW	OUTDOOR AMBIENT TEMPERATURE																																																																																														
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70	525	15.8	0.67	18	1.27	130	1.34	4.6	4.7	4.8	203	218	230	109	119	16.7	17.3	19.0	0.72	0.60	0.41	18	1.27	130	1.34	4.6	4.7	4.8	203	218	230	109	119	15.1	15.6	17.1	0.71	0.59	0.41	19	1.16	12	1.44	1.47	1.51	5.3	5.5	5.6	259	279	294	113	120	131	16.3	16.9	18.5	0.74	0.61	0.43	18	1.16	12	1.48	1.51	1.55	5.5	5.6	5.8	267	287	303	116	124	135	16.8	17.4	19.1	0.77	0.64	0.45	18	1.15	12	1.49	1.52	1.56	5.5	5.7	5.8	270	290	306	118	125	137
	600	17.1	0.69	18	1.30	133	1.37	4.7	4.8	5.0	209	225	238	106	113	123	17.2	17.9	19.6	0.75	0.63	0.43	18	1.15	12	1.40	1.43	1.48	5.1	5.2	5.4	237	255	269	113	120	131	16.8	17.4	19.1	0.77	0.64	0.45	18	1.15	12	1.49	1.52	1.56	5.5	5.7	5.8	270	290	306	118	125	137																																						
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		17.9	0.82	20	1.32	135	1.39	4.8	4.9	5.0	211	227	240	107	114	124	17.9	18.5	20.0	0.85	0.76	0.58	18	1.15	12	1.40	1.43	1.48	5.1	5.2	5.4	237	255	269	113	120	131	17.9	18.5	20.0	0.85	0.76	0.58	18	1.15	12	1.49	1.52	1.56	5.5	5.7	5.8	270	290	306	118	125	137																																						
		17.9	0.82	20	1.32	135	1.39	4.8	4.9	5.0	211	227	240	107	114	124	17.9	18.5	20.0	0.85	0.76	0.58	18	1.15	12	1.40	1.43	1.48	5.1	5.2	5.4	237	255	269	113	120	131	17.9	18.5	20.0	0.85	0.76	0.58	18	1.15	12	1.49	1.52	1.56	5.5	5.7	5.8	270	290	306	118	125	137																																						
		17.9	0.82	20	1.32	135	1.39	4.8	4.9	5.0	211	227	240	107	114	124	17.9	18.5	20.0	0.85	0.76	0.58	18	1.15	12	1.40	1.43	1.48	5.1	5.2	5.4	237	255	269	113	120	131	17.9	18.5	20.0	0.85	0.76	0.58	18	1.15	12	1.49	1.52	1.56	5.5	5.7	5.8	270	290	306	118	125	137																																						
		17.9	0.82	20	1.32	135	1.39	4.8	4.9	5.0	211	227	240	107	114	124	17.9	18.5	20.0	0.85	0.76	0.58	18	1.15	12	1.40	1.43	1.48	5.1	5.2	5.4	237	255	269	113	120	131	17.9	18.5	20.0	0.85	0.76	0.58	18	1.15	12	1.49	1.52	1.56	5.5	5.7	5.8	270	290	306	118	125	137																																						

IDB: Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.

Shaded area reflects ACCA (TVA) conditions

Amps = outdoor unit amps (comp.+fan)
kW = Total system power

EXPANDED COOLING DATA — ASX130241**

		OUTDOOR AMBIENT TEMPERATURE																								
		65				75				85				95				105				115				
IDB	AIRFLOW	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	
700	MBh	21.1	21.8	23.9	-	20.6	21.3	23.4	-	20.1	20.8	22.8	-	19.6	20.3	22.3	-	18.6	19.3	21.1	-	17.3	17.9	19.6	-	
	S/T	0.67	0.56	0.39	-	0.70	0.58	0.40	-	0.72	0.60	0.41	-	0.74	0.62	0.43	-	0.77	0.64	0.44	-	0.77	0.65	0.45	-	
	ΔT	19	16	12	-	19	16	12	-	19	16	12	-	19	16	13	-	19	16	12	-	18	15	12	-	
	kW	1.68	1.70	1.74	-	1.77	1.79	1.83	-	1.84	1.87	1.92	-	1.91	1.94	1.99	-	1.97	2.01	2.05	-	2.02	2.06	2.11	-	
	Amps	5.7	5.8	6.0	-	6.1	6.3	6.5	-	6.7	6.8	7.1	-	7.1	7.3	7.5	-	7.6	7.8	8.0	-	8.0	8.2	8.5	-	
	HI PR	209	225	237	-	234	252	266	-	267	287	303	-	304	327	345	-	342	368	388	-	377	406	429	-	
	LO PR	100	107	116	-	106	113	123	-	110	117	128	-	116	123	134	-	121	129	141	-	125	133	146	-	
			22.8	23.7	25.9	-	22.3	23.1	25.3	-	21.8	22.6	24.7	-	21.2	22.0	24.1	-	20.2	20.9	22.9	-	18.7	19.4	21.2	-
800	S/T	0.70	0.58	0.40	-	0.72	0.61	0.42	-	0.74	0.62	0.43	-	0.77	0.64	0.44	-	0.80	0.66	0.46	-	0.80	0.67	0.46	-	
	ΔT	18	16	12	-	19	16	12	-	19	16	12	-	19	16	12	-	18	16	12	-	17	15	11	-	
	kW	1.71	1.73	1.77	-	1.80	1.82	1.87	-	1.88	1.91	1.95	-	1.95	1.98	2.03	-	2.01	2.04	2.09	-	2.06	2.10	2.15	-	
	Amps	5.8	6.0	6.2	-	6.3	6.5	6.7	-	6.9	7.0	7.3	-	7.3	7.5	7.8	-	7.8	8.0	8.3	-	8.3	8.5	8.7	-	
	HI PR	215	232	245	-	242	260	275	-	275	296	312	-	313	337	356	-	352	379	400	-	389	419	442	-	
	LO PR	103	110	120	-	109	116	127	-	114	121	132	-	119	127	138	-	125	133	145	-	129	137	150	-	
			23.5	24.4	26.7	-	23.0	23.8	26.1	-	22.4	23.2	25.5	-	21.9	22.7	24.8	-	20.8	21.5	23.6	-	19.3	20.0	21.9	-
			0.73	0.61	0.42	-	0.76	0.63	0.44	-	0.78	0.65	0.45	-	0.80	0.67	0.47	-	0.83	0.70	0.48	-	0.84	0.70	0.49	-
900	ΔT	18	15	12	-	18	15	12	-	18	15	12	-	18	16	12	-	18	15	12	-	17	14	11	-	
	kW	1.71	1.74	1.78	-	1.81	1.84	1.88	-	1.89	1.92	1.97	-	1.96	1.99	2.04	-	2.02	2.06	2.11	-	2.08	2.11	2.16	-	
	Amps	5.9	6.0	6.2	-	6.4	6.5	6.7	-	6.9	7.1	7.3	-	7.4	7.6	7.8	-	7.9	8.1	8.3	-	8.3	8.5	8.8	-	
	HI PR	217	234	247	-	244	263	277	-	278	299	315	-	316	340	359	-	356	383	404	-	393	423	446	-	
	LO PR	104	111	121	-	110	117	128	-	115	122	133	-	120	128	140	-	126	134	147	-	131	139	152	-	
			21.4	22.1	23.9	25.6	20.9	21.6	23.3	25.0	20.4	21.0	22.8	24.4	19.9	20.5	22.2	23.8	18.9	19.5	21.1	22.7	17.5	18.1	19.6	21.0
			0.77	0.69	0.52	0.33	0.79	0.71	0.54	0.35	0.81	0.73	0.55	0.35	0.84	0.75	0.57	0.37	0.87	0.78	0.59	0.38	0.88	0.79	0.60	0.38
			22	20	16	11	22	20	16	11	22	20	16	11	22	20	16	11	22	20	16	11	20	19	15	11
75	kW	1.69	1.71	1.75	1.79	1.78	1.80	1.84	1.89	1.86	1.88	1.93	1.98	1.93	1.96	2.00	2.05	1.99	2.02	2.07	2.12	2.04	2.07	2.12	2.18	
	Amps	5.7	5.9	6.1	6.3	6.2	6.3	6.6	6.8	6.7	6.9	7.1	7.4	7.2	7.4	7.6	7.9	7.7	7.8	8.1	8.4	8.1	8.3	8.6	8.9	
	HI PR	211	227	240	250	237	255	269	281	269	290	306	319	307	330	348	363	345	371	392	409	381	410	433	452	
	LO PR	101	108	118	125	107	114	124	132	111	118	129	138	117	124	136	145	122	130	142	151	127	135	147	157	
			23.2	23.9	25.9	27.8	22.7	23.4	25.3	27.1	22.1	22.8	24.7	26.5	21.6	22.2	24.1	25.8	20.5	21.1	22.9	24.5	19.0	19.6	21.2	22.7
			0.79	0.71	0.54	0.35	0.82	0.74	0.56	0.36	0.84	0.76	0.57	0.37	0.87	0.78	0.59	0.38	0.90	0.81	0.61	0.39	0.91	0.82	0.62	0.40
			21	20	16	11	21	20	16	11	21	20	16	11	22	20	16	11	21	20	16	11	20	18	15	10
			1.71	1.74	1.78	1.82	1.81	1.84	1.88	1.92	1.89	1.92	1.97	2.01	1.96	1.99	2.04	2.09	2.02	2.06	2.11	2.16	2.08	2.11	2.17	2.22
70	Amps	5.9	6.0	6.2	6.5	6.4	6.5	6.7	7.0	6.9	7.1	7.3	7.6	7.4	7.6	7.8	8.1	7.9	8.1	8.3	8.6	8.3	8.5	8.8	9.2	
	HI PR	218	234	247	258	244	263	277	289	278	299	315	329	316	340	359	375	356	383	404	422	393	423	447	466	
	LO PR	104	111	121	129	110	117	128	136	115	122	133	142	120	128	140	149	126	134	147	156	131	139	152	161	
			23.9	24.6	26.7	28.6	23.4	24.1	26.0	27.9	22.8	23.5	25.4	27.3	22.2	22.9	24.8	26.6	21.1	21.8	23.6	25.3	19.6	20.2	21.8	23.4
			0.83	0.75	0.56	0.36	0.86	0.77	0.58	0.38	0.89	0.79	0.60	0.39	0.91	0.82	0.62	0.40	0.95	0.85	0.64	0.41	0.96	0.86	0.65	0.42
			20	19	15	11	21	19	16	11	21	19	16	11	21	19	16	11	20	19	15	11	19	18	14	10
			1.72	1.75	1.79	1.83	1.82	1.85	1.89	1.93	1.90	1.93	1.98	2.03	1.97	2.01	2.06	2.11	2.04	2.07	2.12	2.18	2.09	2.13	2.18	2.24
			5.9	6.1	6.3	6.5	6.4	6.6	6.8	7.1	7.0	7.2	7.4	7.7	7.5	7.6	7.9	8.2	7.9	8.1	8.4	8.7	8.4	8.6	8.9	9.3
		220	236	250	260	247	265	280	292	280	302	319	332	319	344	363	378	359	387	408	426	397	427	451	470	
		105	112	122	130	111	119	129	138	116	123	135	143	122	129	141	150	127	136	148	158	132	140	153	163	

IDB: Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.

Shaded area reflects ACCA (TVA) conditions

Amps = outdoor unit amps (comp.+fan)
kW = Total system power

IDB	AIRFLOW	OUTDOOR AMBIENT TEMPERATURE																											
		65				75				85				95				105				115							
		59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71				
80	MBh	21.8	22.3	23.8	25.5	21.3	21.8	23.3	24.9	20.8	21.3	22.7	24.3	20.3	20.7	22.2	23.7	19.3	19.7	21.0	22.5	19.3	19.7	21.0	22.5	17.9	18.2	19.5	20.8
	S/T	0.84	0.79	0.64	0.48	0.87	0.82	0.67	0.50	0.89	0.84	0.68	0.51	0.92	0.86	0.70	0.53	0.96	0.90	0.73	0.55	0.96	0.90	0.73	0.55	0.97	0.91	0.74	0.55
	ΔT	24	23	20	16	24	23	20	16	24	23	20	16	25	24	20	16	24	23	20	16	24	23	20	16	23	22	19	15
	kW	1.70	1.72	1.76	1.80	1.79	1.81	1.86	1.90	1.87	1.90	1.94	1.99	1.94	1.97	2.02	2.07	2.00	2.03	2.08	2.13	2.05	2.08	2.13	2.18	2.05	2.08	2.14	2.19
	Amps	5.8	5.9	6.1	6.3	6.3	6.4	6.6	6.9	6.8	7.0	7.2	7.5	7.3	7.4	7.7	8.0	7.7	7.9	8.2	8.5	8.2	8.4	8.7	9.0	8.2	8.4	8.7	9.0
	HI PR	213	229	242	253	239	257	272	283	272	293	309	322	310	333	352	367	348	375	396	413	348	375	396	413	385	414	438	456
	LO PR	102	109	119	127	108	115	126	134	112	120	130	139	118	126	137	146	124	132	144	153	124	132	144	153	128	136	149	158
80	MBh	23.6	24.1	25.8	27.6	23.1	23.6	25.2	26.9	22.5	23.0	24.6	26.3	22.0	22.5	24.0	25.7	20.9	21.3	22.8	24.4	20.9	21.3	22.8	24.4	19.3	19.8	21.1	22.6
	S/T	0.87	0.82	0.67	0.50	0.90	0.85	0.69	0.52	0.93	0.87	0.71	0.53	0.96	0.90	0.73	0.55	0.99	0.93	0.76	0.57	0.99	0.93	0.76	0.57	1.00	0.94	0.76	0.57
	ΔT	24	23	20	16	24	23	20	16	24	23	20	16	24	23	20	16	24	23	20	16	24	23	20	16	22	21	19	15
	kW	1.72	1.75	1.79	1.83	1.82	1.85	1.89	1.93	1.90	1.93	1.98	2.03	1.97	2.01	2.06	2.11	2.04	2.07	2.12	2.18	2.05	2.07	2.12	2.18	2.09	2.13	2.18	2.24
	Amps	5.9	6.1	6.3	6.5	6.4	6.6	6.8	7.1	7.0	7.2	7.4	7.7	7.5	7.6	7.9	8.2	7.9	8.1	8.4	8.7	8.4	8.6	8.9	9.3	8.4	8.6	8.9	9.3
	HI PR	220	236	250	260	247	265	280	292	280	302	319	332	319	344	363	379	359	387	408	426	359	387	408	426	397	427	451	470
	LO PR	105	112	123	130	111	119	129	138	116	123	135	143	122	129	141	150	127	136	148	158	127	136	148	158	132	140	153	163
900	MBh	24.3	24.9	26.6	28.4	23.8	24.3	26.0	27.7	23.2	23.7	25.3	27.1	22.6	23.1	24.7	26.4	21.5	22.0	23.5	25.1	21.5	22.0	23.5	25.1	19.9	20.4	21.8	23.3
	S/T	0.91	0.86	0.70	0.52	0.95	0.89	0.72	0.54	1.00	0.91	0.74	0.55	1.00	0.94	0.77	0.57	1.00	1.00	0.79	0.59	1.00	1.00	0.79	0.59	1.00	1.00	0.80	0.60
	ΔT	23	22	19	15	23	22	19	15	24	22	19	15	23	22	19	15	22	22	19	15	22	22	19	15	20	21	18	14
	kW	1.73	1.76	1.80	1.84	1.83	1.86	1.90	1.95	1.91	1.94	1.99	2.04	1.99	2.02	2.07	2.12	2.05	2.08	2.14	2.19	2.05	2.08	2.14	2.19	2.10	2.14	2.19	2.25
	Amps	6.0	6.1	6.3	6.6	6.5	6.6	6.9	7.1	7.0	7.2	7.5	7.7	7.5	7.7	8.0	8.3	8.0	8.2	8.5	8.8	8.0	8.2	8.5	8.8	8.5	8.7	9.0	9.3
	HI PR	222	239	252	263	249	268	283	295	283	305	322	336	323	347	367	382	363	390	412	430	363	390	412	430	401	431	456	475
	LO PR	107	113	124	132	113	120	131	139	117	124	136	145	123	131	143	152	129	137	150	159	129	137	150	159	133	142	155	165

IDB	AIRFLOW	OUTDOOR AMBIENT TEMPERATURE																											
		65				75				85				95				105				115							
		59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71				
700	MBh	22.2	22.6	23.7	25.3	21.7	22.1	23.1	24.7	21.2	21.6	22.6	24.1	20.6	21.0	22.0	23.5	19.6	20.0	20.9	22.3	19.6	20.0	20.9	22.3	18.2	18.5	19.4	20.7
	S/T	0.88	0.85	0.77	0.62	0.91	0.88	0.80	0.65	0.94	0.90	0.82	0.66	0.97	0.93	0.84	0.68	1.00	0.97	0.87	0.71	1.00	0.97	0.87	0.71	1.00	0.98	0.88	0.71
	ΔT	26	25	24	21	26	26	24	21	26	26	24	21	26	25	24	21	26	25	24	21	26	25	24	21	24	24	22	19
	kW	1.70	1.73	1.77	1.81	1.80	1.82	1.87	1.91	1.88	1.91	1.95	2.00	1.95	1.98	2.03	2.08	2.01	2.04	2.09	2.15	2.01	2.04	2.09	2.15	2.06	2.10	2.15	2.21
	Amps	5.8	6.0	6.2	6.4	6.3	6.5	6.7	6.9	6.9	7.0	7.3	7.5	7.3	7.5	7.8	8.0	7.8	8.0	8.3	8.6	7.8	8.0	8.3	8.6	8.3	8.5	8.7	9.1
	HI PR	215	232	245	255	242	260	274	286	275	296	312	326	313	337	356	371	352	379	400	417	352	379	400	417	389	419	442	461
	LO PR	103	110	120	128	109	116	127	135	113	121	132	140	119	127	138	147	125	133	145	155	125	133	145	155	129	137	150	160
800	MBh	24.0	24.5	25.7	27.4	23.5	23.9	25.1	26.8	22.9	23.4	24.5	26.1	22.4	22.8	23.9	25.5	21.2	21.7	22.7	24.2	21.2	21.7	22.7	24.2	19.7	20.1	21.0	22.4
	S/T	0.91	0.88	0.80	0.65	0.95	0.91	0.82	0.67	0.97	0.94	0.85	0.69	1.00	0.97	0.87	0.71	1.00	1.00	0.91	0.74	1.00	1.00	0.91	0.74	1.00	1.00	0.91	0.74
	ΔT	25	25	23	20	26	25	24	21	26	25	24	21	26	25	24	21	24	25	24	20	24	25	24	20	23	23	22	19
	kW	1.73	1.76	1.80	1.84	1.83	1.86	1.90	1.95	1.91	1.94	1.99	2.04	1.99	2.02	2.07	2.12	2.05	2.08	2.14	2.19	2.05	2.08	2.14	2.19	2.10	2.14	2.19	2.25
	Amps	6.0	6.1	6.3	6.6	6.5	6.6	6.9	7.1	7.0	7.2	7.5	7.7	7.5	7.7	8.0	8.3	8.0	8.2	8.5	8.8	8.0	8.2	8.5	8.8	8.5	8.7	9.0	9.3
	HI PR	222	239	252	263	249	268	283	295	283	305	322	336	323	347	367	382	363	390	412	430	363	390	412	430	401	431	456	475
	LO PR	107	113	124	132	113	120	131	139	117	124	136	145	123	131	143	152	129	137	150	159	129	137	150	159	133	142	155	165
900	MBh	24.8	25.2	26.4	28.2	24.2	24.7	25.8	27.6	23.6	24.1	25.2	26.9	23.0	23.5	24.6	26.2	21.9	22.3	23.4	24.9	21.9	22.3	23.4	24.9	20.3	20.7	21.6	23.1
	S/T	0.96	0.92	0.83	0.68	0.99	0.96	0.86	0.70	1.00	0.98	0.89	0.72	1.00	1.00	0.92	0.74	1.00	1.00	0.95	0.77	1.00	1.00	0.95	0.77	1.00	1.00	0.96	0.78
	ΔT	24	24	23	20	25	24	23	20	24	24	23	20	24	24	23	20	22	23	23	20	22	23	23	20	21	21	21	18
	kW	1.74	1.77	1.81	1.85	1.84	1.87	1.91	1.96	1.92	1.96	2.00	2.05	2.00	2.03	2.08	2.14	2.06	2.10	2.15	2.21	2.06	2.10	2.15	2.21	2.12	2.15	2.21	2.27
	Amps	6.1	6.2	6.4	6.6	6.5	6.7	6.9	7.2	7.1	7.3	7.5	7.8	7.6	7.8	8.0	8.4	8.1	8.3	8.6	8.9	8.1	8.3	8.6	8.9	8.6	8.8	9.1	9.4
	HI PR	224	241	255	266	251	271	286	298	286	308	325	339	326	351	370	386	366	394	416	434	366	394	416	434	405	436	460	480
	LO PR	108	114	125	133	114	121	132	141	118	126	137	146	124	132	144	154	130	138	151	161	130	138	151	161	135	143	156	166

IDB: Entering Indoor Dry Bulb Temperature
 High and low pressures are measured at the liquid and suction service valves.
 Shaded area reflects AHRI conditions
 Amps = outdoor unit amps (comp.+fan)
 kW = Total system power

IDB	AIRFLOW	OUTDOOR AMBIENT TEMPERATURE																																	
		65			75			85			95			105			115																		
70	1181	ENTERING INDOOR WET BULB TEMPERATURE																																	
		59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71						
70	1181	MBh	24.9	25.8	28.3	-	24.4	25.2	27.7	-	23.8	24.6	27.0	-	23.2	24.0	26.3	-	22.0	22.8	25.0	-	20.4	21.2	23.2	-	22.0	22.8	25.0	-	20.4	21.2	23.2	-	
		S/T	0.69	0.58	0.40	-	0.72	0.60	0.42	-	0.74	0.61	0.43	-	0.76	0.63	0.44	-	0.79	0.66	0.46	-	0.80	0.66	0.46	-	0.79	0.66	0.46	-	0.80	0.66	0.46	-	
		ΔT	18	16	12	-	18	16	12	-	18	16	12	-	19	16	12	-	18	16	12	-	17	15	11	-	18	16	12	-	17	15	11	-	
		kW	1.94	1.98	2.03	-	2.08	2.12	2.18	-	2.20	2.25	2.32	-	2.31	2.36	2.43	-	2.40	2.45	2.53	-	2.48	2.54	2.62	-	2.40	2.45	2.53	-	2.48	2.54	2.62	-	
		Amps	6.8	7.0	7.2	-	7.4	7.6	7.8	-	8.0	8.2	8.5	-	8.6	8.8	9.1	-	9.1	9.3	9.7	-	9.7	9.9	10.2	-	9.1	9.3	9.7	-	9.7	9.9	10.2	-	
70	1050	HI PR	228	245	259	-	256	275	291	-	291	313	331	-	332	357	377	-	373	401	424	-	412	443	468	-	373	401	424	-	412	443	468	-	
		LO PR	102	109	119	-	108	115	125	-	112	119	130	-	118	125	137	-	124	131	143	-	128	136	148	-	124	131	143	-	128	136	148	-	
		MBh	27.0	28.0	30.7	-	26.4	27.4	30.0	-	25.8	26.7	29.3	-	25.1	26.1	28.5	-	23.9	24.7	27.1	-	22.1	22.9	25.1	-	23.9	24.7	27.1	-	22.1	22.9	25.1	-	
		S/T	0.72	0.60	0.42	-	0.74	0.62	0.43	-	0.76	0.64	0.44	-	0.79	0.66	0.46	-	0.82	0.68	0.47	-	0.82	0.69	0.48	-	0.82	0.68	0.47	-	0.82	0.69	0.48	-	
		ΔT	18	15	12	-	18	16	12	-	18	16	12	-	18	16	12	-	18	16	12	-	17	15	11	-	18	16	12	-	17	15	11	-	
70	919	kW	1.98	2.02	2.08	-	2.13	2.17	2.24	-	2.25	2.30	2.37	-	2.37	2.42	2.49	-	2.46	2.51	2.59	-	2.54	2.60	2.68	-	2.46	2.51	2.59	-	2.54	2.60	2.68	-	
		Amps	7.0	7.2	7.4	-	7.6	7.8	8.0	-	8.2	8.4	8.7	-	8.8	9.0	9.3	-	9.4	9.6	9.9	-	9.9	10.2	10.5	-	9.4	9.6	9.9	-	9.9	10.2	10.5	-	
		HI PR	235	253	267	-	264	284	300	-	300	323	341	-	342	368	388	-	384	414	437	-	425	457	483	-	384	414	437	-	425	457	483	-	
		LO PR	105	112	122	-	111	118	129	-	116	123	134	-	122	129	141	-	127	135	148	-	132	140	153	-	127	135	148	-	132	140	153	-	
		MBh	27.8	28.8	31.6	-	27.2	28.2	30.9	-	26.5	27.5	30.1	-	25.9	26.8	29.4	-	24.6	25.5	27.9	-	22.8	23.6	25.9	-	24.6	25.5	27.9	-	22.8	23.6	25.9	-	
75	1181	S/T	0.75	0.63	0.44	-	0.78	0.65	0.45	-	0.80	0.67	0.46	-	0.83	0.69	0.48	-	0.86	0.72	0.50	-	0.86	0.72	0.50	-	0.86	0.72	0.50	-	0.86	0.72	0.50	-	
		ΔT	17	15	11	-	17	15	11	-	17	15	11	-	17	15	11	-	17	15	11	-	16	14	11	-	17	15	11	-	16	14	11	-	
		kW	2.00	2.04	2.10	-	2.14	2.19	2.25	-	2.27	2.32	2.39	-	2.39	2.44	2.51	-	2.48	2.53	2.62	-	2.56	2.62	2.70	-	2.48	2.53	2.62	-	2.56	2.62	2.70	-	
		Amps	7.1	7.2	7.5	-	7.7	7.8	8.1	-	8.3	8.5	8.8	-	8.9	9.1	9.4	-	9.5	9.7	10.0	-	10.0	10.3	10.6	-	9.5	9.7	10.0	-	10.0	10.3	10.6	-	
		HI PR	237	256	270	-	266	287	303	-	303	326	344	-	345	371	392	-	388	418	441	-	429	462	488	-	388	418	441	-	429	462	488	-	
75	1050	LO PR	106	113	124	-	112	120	131	-	117	124	136	-	123	131	143	-	129	137	149	-	133	142	155	-	129	137	149	-	133	142	155	-	
		MBh	27.5	28.3	30.6	32.9	26.8	27.6	29.9	32.1	26.2	27.0	29.2	31.3	25.6	26.3	28.5	30.6	24.3	25.0	27.1	29.0	22.5	23.2	25.1	26.9	24.3	25.0	27.1	29.0	22.5	23.2	25.1	26.9	
		S/T	0.82	0.73	0.55	0.36	0.85	0.76	0.57	0.37	0.87	0.78	0.59	0.38	0.90	0.80	0.61	0.39	0.93	0.83	0.63	0.40	0.94	0.84	0.63	0.41	0.93	0.83	0.63	0.40	0.94	0.84	0.63	0.41	
		ΔT	21	19	16	11	21	19	16	11	21	19	16	11	21	19	16	11	21	19	16	11	19	18	15	10	21	19	16	11	19	18	15	10	
		kW	2.00	2.04	2.10	2.16	2.14	2.19	2.25	2.32	2.27	2.32	2.39	2.47	2.39	2.44	2.51	2.59	2.48	2.53	2.62	2.70	2.57	2.62	2.70	2.79	2.48	2.53	2.62	2.70	2.57	2.62	2.70	2.79	
75	919	Amps	7.1	7.2	7.5	7.8	7.7	7.8	8.1	8.3	8.5	8.8	9.1	8.9	9.1	9.4	9.8	9.5	9.5	9.7	10.0	10.4	10.0	10.3	10.6	11.0	9.8	9.9	10.0	10.4	10.3	10.6	11.0		
		HI PR	238	256	270	282	267	287	303	316	303	326	344	359	345	372	392	409	388	418	441	460	429	462	488	509	388	418	441	460	429	462	488	509	
		LO PR	106	113	124	132	112	120	131	139	117	124	136	145	123	131	143	152	129	137	149	159	133	142	155	165	129	137	149	159	133	142	155	165	
		MBh	28.3	29.1	31.5	33.9	27.6	28.5	30.8	33.1	27.0	27.8	30.1	32.3	26.3	27.1	29.3	31.5	25.0	25.8	27.9	29.9	23.2	23.9	25.8	27.7	25.0	25.8	27.9	29.9	23.2	23.9	25.8	27.7	
		S/T	0.86	0.77	0.58	0.37	0.89	0.79	0.60	0.39	0.91	0.81	0.62	0.40	0.94	0.84	0.64	0.41	0.97	0.87	0.66	0.42	0.98	0.88	0.67	0.43	0.97	0.87	0.66	0.42	0.98	0.88	0.67	0.43	
75	919	ΔT	20	18	15	10	20	18	15	10	20	18	15	10	20	18	15	10	20	18	15	10	19	17	14	10	20	18	15	10	19	17	14	10	
		kW	2.01	2.05	2.11	2.18	2.16	2.20	2.27	2.34	2.29	2.34	2.41	2.49	2.40	2.46	2.53	2.61	2.50	2.56	2.64	2.72	2.59	2.64	2.73	2.82	2.50	2.56	2.64	2.72	2.59	2.64	2.73	2.82	
		Amps	7.1	7.3	7.6	7.8	7.7	7.9	8.2	8.5	8.4	8.6	8.9	9.2	9.0	9.2	9.5	9.9	9.6	9.8	10.1	10.5	10.1	10.4	10.7	11.1	9.6	9.8	10.1	10.5	10.1	10.4	10.7	11.1	
		HI PR	240	258	273	284	269	290	306	319	306	329	348	363	349	375	396	413	392	422	446	465	465	433	466	493	514	392	422	446	465	433	466	493	514
		LO PR	107	114	125	133	114	121	132	140	118	126	137	146	124	132	144	153	130	138	151	161	134	143	156	166	130	138	151	161	134	143	156	166	

Amps = outdoor unit amps (comp.+fan)
kW = Total system power

Shaded area reflects ACCA (TVA) conditions

IDB: Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.

EXPANDED EXPANDED COOLING DATA — ASX130301** (CONT.)

IDB		OUTDOOR AMBIENT TEMPERATURE																																
		65					75					85					95					105					115							
		59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	59	63	67	71	75			
1181	MBh	25.8	26.4	28.2	30.1	25.2	25.8	27.5	29.4	24.6	25.1	26.9	28.7	24.0	24.5	26.2	28.0	22.8	23.3	24.9	26.6	21.1	21.6	23.1	24.7	21.1	21.6	23.1	24.7	21.1	21.6	23.1	24.7	
	S/T	0.86	0.81	0.66	0.49	0.90	0.84	0.68	0.51	0.92	0.86	0.70	0.52	0.95	0.89	0.72	0.54	0.98	0.92	0.75	0.56	0.99	0.93	0.76	0.57	0.99	0.93	0.76	0.57	0.99	0.93	0.76	0.57	
	ΔT	23	22	20	16	24	23	20	16	24	23	20	16	24	23	20	16	24	24	23	20	16	22	21	18	15	22	21	18	15	22	21	18	15
	kW	1.97	2.01	2.07	2.13	2.11	2.15	2.22	2.29	2.24	2.28	2.35	2.43	2.35	2.40	2.47	2.55	2.44	2.49	2.57	2.66	2.52	2.58	2.66	2.75	2.52	2.58	2.66	2.75	2.52	2.58	2.66	2.75	
80	Amps	7.0	7.1	7.3	7.6	7.5	7.7	7.9	8.2	8.2	8.4	8.6	9.0	8.7	8.9	9.2	9.6	9.3	9.5	9.8	10.2	9.8	10.1	10.4	10.8	9.8	10.1	10.4	10.8	9.8	10.1	10.4	10.8	
	HI PR	233	250	264	276	261	281	297	310	297	320	338	352	338	364	384	401	381	410	432	451	420	452	478	498	420	452	478	498	420	452	478	498	
	LO PR	104	111	121	129	110	117	128	136	114	122	133	142	120	128	140	149	126	134	146	156	130	139	151	161	126	134	146	156	126	134	146	156	
	MBh	28.0	28.6	30.5	32.6	27.3	27.9	29.8	31.9	26.7	27.2	29.1	31.1	26.0	26.6	28.4	30.4	24.7	25.3	27.0	28.8	22.9	23.4	25.0	26.7	22.9	23.4	25.0	26.7	22.9	23.4	25.0	26.7	
919	S/T	0.90	0.84	0.68	0.51	0.93	0.87	0.71	0.53	0.95	0.89	0.73	0.54	0.98	0.92	0.75	0.56	1.00	0.96	0.78	0.58	1.00	0.96	0.78	0.59	1.00	0.96	0.78	0.59	1.00	0.96	0.78	0.59	
	ΔT	23	22	19	15	23	22	19	16	23	22	19	16	23	22	19	16	23	22	19	15	21	21	18	14	21	21	18	14	21	21	18	14	
	kW	2.01	2.05	2.12	2.18	2.16	2.20	2.27	2.34	2.29	2.34	2.41	2.49	2.40	2.46	2.53	2.61	2.50	2.56	2.64	2.72	2.59	2.64	2.73	2.82	2.59	2.64	2.73	2.82	2.59	2.64	2.73	2.82	
	Amps	7.1	7.3	7.6	7.8	7.7	7.9	8.2	8.5	8.4	8.6	8.9	9.2	9.0	9.2	9.5	9.9	9.6	9.8	10.1	10.5	10.1	10.4	10.7	11.1	10.1	10.4	10.7	11.1	10.1	10.4	10.7	11.1	
85	HI PR	240	258	273	284	269	290	306	319	306	330	348	363	349	375	396	413	392	422	446	465	433	466	493	514	422	446	465	493	422	446	465	493	
	LO PR	107	114	125	133	114	121	132	140	118	126	137	146	124	132	144	153	130	138	151	161	136	144	156	166	130	138	151	161	130	138	151	161	
	MBh	28.8	29.4	31.4	33.6	28.1	28.7	30.7	32.8	27.5	28.1	30.0	32.1	26.8	27.4	29.3	31.3	25.5	26.0	27.8	29.7	23.6	24.1	25.7	27.5	23.6	24.1	25.7	27.5	23.6	24.1	25.7	27.5	
	S/T	0.94	0.88	0.72	0.54	1.00	0.91	0.74	0.56	1.00	0.94	0.76	0.57	1.00	0.97	0.79	0.59	1.00	1.00	0.82	0.61	1.00	1.00	0.82	0.62	1.00	1.00	0.82	0.62	1.00	1.00	0.82	0.62	
1181	ΔT	22	21	18	15	23	21	19	15	22	21	19	15	22	22	19	15	21	21	19	15	19	20	17	14	19	20	17	14	19	20	17	14	
	kW	2.03	2.07	2.13	2.20	2.18	2.22	2.29	2.36	2.31	2.36	2.43	2.51	2.42	2.48	2.55	2.64	2.52	2.58	2.66	2.74	2.61	2.66	2.75	2.84	2.61	2.66	2.75	2.84	2.61	2.66	2.75	2.84	
	Amps	7.2	7.4	7.6	7.9	7.8	8.0	8.2	8.6	8.5	8.7	9.0	9.3	9.1	9.3	9.6	10.0	9.6	9.9	10.2	10.6	10.2	10.5	10.8	11.2	10.2	10.5	10.8	11.2	10.2	10.5	10.8	11.2	
	HI PR	242	261	275	287	272	293	309	322	309	333	351	367	352	379	400	417	396	426	450	470	438	471	498	519	417	438	471	498	417	438	471	498	
1050	LO PR	105	112	122	130	111	118	129	138	116	123	134	143	121	129	141	150	127	135	148	157	132	140	153	163	127	135	148	157	127	135	148	157	
	MBh	28.5	29.0	30.4	32.4	27.8	28.3	29.7	31.7	27.1	27.7	29.0	30.9	26.5	27.0	28.3	30.1	25.1	25.6	26.8	28.6	23.3	23.7	24.9	26.5	23.3	23.7	24.9	26.5	23.3	23.7	24.9	26.5	
	S/T	0.94	0.91	0.82	0.66	0.97	0.94	0.85	0.69	1.00	0.96	0.87	0.71	1.00	0.99	0.90	0.73	1.00	1.00	0.93	0.76	1.00	1.00	0.94	0.76	1.00	1.00	0.93	0.76	1.00	1.00	0.93	0.76	
	ΔT	25	24	23	20	25	24	23	20	25	24	23	20	24	25	23	20	23	24	23	20	21	22	21	19	21	22	21	19	21	22	21	19	
919	kW	2.03	2.07	2.13	2.20	2.18	2.22	2.29	2.36	2.31	2.36	2.43	2.51	2.42	2.48	2.55	2.64	2.52	2.58	2.66	2.74	2.61	2.66	2.75	2.84	2.61	2.66	2.75	2.84	2.61	2.66	2.75	2.84	
	Amps	7.2	7.4	7.6	7.9	7.8	8.0	8.2	8.6	8.5	8.7	9.0	9.3	9.1	9.3	9.6	10.0	9.6	9.9	10.2	10.6	10.2	10.5	10.8	11.2	10.2	10.5	10.8	11.2	10.2	10.5	10.8	11.2	
	HI PR	242	261	275	287	272	293	309	322	309	333	351	367	352	379	400	417	396	426	450	470	438	471	498	519	417	438	471	498	417	438	471	498	
	LO PR	109	116	126	134	115	122	133	142	120	128	140	149	126	133	145	155	131	140	152	162	136	144	158	168	131	140	152	162	131	140	152	162	
85	MBh	29.3	29.9	31.3	33.4	28.6	29.2	30.6	32.6	27.9	28.5	29.8	31.8	27.3	27.8	29.1	31.1	25.9	26.4	27.7	29.5	24.0	24.5	25.6	27.3	24.0	24.5	25.6	27.3	24.0	24.5	25.6	27.3	
	S/T	0.98	0.95	0.86	0.70	1.00	0.98	0.89	0.72	1.00	1.00	0.91	0.74	1.00	1.00	0.94	0.76	1.00	1.00	0.98	0.79	1.00	1.00	0.98	0.80	1.00	1.00	0.98	0.80	1.00	1.00	0.98	0.80	
	ΔT	24	23	22	19	23	23	22	19	23	23	22	19	22	23	22	19	21	22	22	19	20	20	21	18	21	22	21	18	21	22	21	18	
	kW	2.04	2.08	2.15	2.21	2.19	2.24	2.31	2.38	2.33	2.37	2.45	2.53	2.44	2.49	2.57	2.66	2.54	2.60	2.68	2.77	2.63	2.69	2.77	2.86	2.63	2.69	2.77	2.86	2.63	2.69	2.77	2.86	
85	Amps	7.3	7.4	7.7	8.0	7.9	8.1	8.3	8.6	8.5	8.8	9.0	9.4	9.1	9.4	9.7	10.0	9.7	10.0	10.3	10.7	10.3	10.6	10.9	11.3	10.3	10.6	10.9	11.3	10.3	10.6	10.9	11.3	
	HI PR	245	263	278	290	275	296	312	326	312	336	355	370	356	383	404	422	400	431	455	474	442	476	503	524	422	442	476	503	422	442	476	503	
	LO PR	110	117	127	136	116	123	135	143	120	128	140	149	126	135	147	156	133	141	154	164	137	146	159	170	133	141	154	164	133	141	154	164	
	LO PR	109	116	126	134	115	122	133	142	120	128	140	149	126	135	147	156	133	141	154	164	137	146	159	170	133	141	154	164	133	141	154	164	

Amps = outdoor unit amps (comp.-fan)
kW = Total system power

Shaded area reflects AHRI conditions

IDB: Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.

IDB		OUTDOOR AMBIENT TEMPERATURE																														
		65					75					85					95					105					115					
		59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	
1050		MBh	31.1	32.2	35.3	34.5	30.4	31.5	34.5	33.7	29.6	30.7	33.7	28.9	30.0	32.8	27.5	28.5	31.2	25.4	26.4	28.9	25.4	26.4	28.9	25.4	26.4	28.9	25.4	26.4	28.9	
		S/T	0.70	0.58	0.40	0.42	0.72	0.60	0.42	0.43	0.74	0.62	0.43	0.76	0.64	0.44	0.79	0.66	0.46	0.80	0.67	0.46	0.80	0.67	0.46	0.80	0.67	0.46	0.80	0.67	0.46	
		ΔT	19	16	12	13	19	17	13	13	19	17	13	19	17	13	19	16	12	18	15	12	18	15	12	18	15	12	18	15	12	
70		kW	2.40	2.44	2.52	2.71	2.57	2.63	2.71	2.87	2.73	2.78	2.87	2.86	2.92	3.02	2.98	3.04	3.14	3.08	3.15	3.25	3.08	3.15	3.25	3.08	3.15	3.25	3.08	3.15	3.25	
		Amps	8.7	8.9	9.2	10.0	9.4	9.7	10.0	10.9	10.3	10.5	10.9	11.0	11.3	11.6	11.1	11.6	12.4	12.4	12.4	13.1	12.4	12.7	13.1	12.4	12.7	13.1	12.4	12.7	13.1	
		HI PR	214	231	244	273	241	259	273	311	294	311	311	312	335	354	351	377	398	387	417	440	387	417	440	387	417	440	387	417	440	
		LO PR	99	106	115	122	105	112	122	127	109	116	127	115	122	133	120	128	139	124	132	144	120	128	139	124	132	144	120	128	139	
		MBh	33.7	34.9	38.2	37.4	32.9	34.1	37.4	36.5	32.1	33.3	36.5	31.3	32.5	35.6	29.8	30.8	33.8	27.6	28.6	31.3	27.6	28.6	31.3	27.6	28.6	31.3	27.6	28.6	31.3	
		S/T	0.72	0.60	0.42	0.43	0.75	0.62	0.43	0.44	0.77	0.64	0.44	0.79	0.66	0.46	0.82	0.69	0.48	0.83	0.69	0.48	0.83	0.69	0.48	0.83	0.69	0.48	0.83	0.69	0.48	
		ΔT	19	16	12	12	19	16	12	12	19	16	12	19	16	12	19	16	12	17	15	11	17	15	11	17	15	11	17	15	11	
1350		kW	2.45	2.50	2.58	2.77	2.63	2.69	2.77	2.92	2.79	2.85	2.94	2.93	3.00	3.09	3.05	3.12	3.22	3.16	3.23	3.33	3.16	3.23	3.33	3.16	3.23	3.33	3.16	3.23	3.33	
		Amps	9.0	9.2	9.5	10.3	9.7	10.0	10.3	11.2	10.6	10.8	11.2	11.3	11.6	12.0	12.0	12.3	12.8	12.8	13.1	13.5	12.8	13.1	13.5	12.8	13.1	13.5	12.8	13.1	13.5	
		HI PR	221	238	251	282	248	267	282	321	304	321	321	321	346	365	361	389	411	399	430	454	361	389	411	399	430	454	361	389	411	
		LO PR	102	109	119	126	108	115	126	131	112	120	131	118	126	137	124	132	144	128	136	149	124	132	144	128	136	149	128	136	149	
		MBh	34.7	36.0	39.4	38.5	33.9	35.1	38.5	37.6	33.1	34.3	37.6	32.3	33.4	36.6	30.7	31.8	34.8	28.4	29.4	32.2	28.4	29.4	32.2	28.4	29.4	32.2	28.4	29.4	32.2	
		S/T	0.76	0.63	0.44	0.45	0.78	0.65	0.45	0.47	0.80	0.67	0.47	0.83	0.69	0.48	0.86	0.72	0.50	0.87	0.73	0.50	0.87	0.73	0.50	0.87	0.73	0.50	0.87	0.73	0.50	
		ΔT	18	15	12	12	18	16	12	12	18	16	12	18	16	12	18	16	12	17	15	11	17	15	11	17	15	11	17	15	11	
75		kW	2.47	2.52	2.60	2.79	2.65	2.71	2.79	2.92	2.82	2.88	2.97	2.96	3.02	3.12	3.08	3.15	3.25	3.18	3.25	3.36	3.18	3.25	3.36	3.18	3.25	3.36	3.18	3.25	3.36	
		Amps	9.1	9.3	9.6	10.4	9.8	10.1	10.4	11.3	10.7	10.9	11.3	11.4	11.7	12.1	12.1	12.5	12.9	12.9	13.2	13.7	12.9	13.2	13.7	12.9	13.2	13.7	12.9	13.2	13.7	
		HI PR	223	240	254	285	250	270	285	324	285	307	324	324	349	369	385	365	393	415	403	434	403	434	458	403	434	458	403	434	458	
		LO PR	100	107	117	124	106	113	123	131	110	117	128	116	123	134	121	129	141	125	133	146	125	133	146	125	133	146	125	133	146	
		MBh	34.2	35.3	38.2	41.0	33.5	34.4	37.3	40.0	32.7	33.6	36.4	31.9	32.8	35.5	38.1	30.3	31.2	33.7	28.0	28.9	31.2	28.0	28.9	31.2	28.0	28.9	31.2	28.0	28.9	31.2
		S/T	0.82	0.73	0.56	0.36	0.85	0.76	0.58	0.37	0.87	0.78	0.59	0.90	0.80	0.61	0.39	0.93	0.83	0.63	0.41	0.94	0.84	0.64	0.41	0.94	0.84	0.64	0.41	0.94	0.84	0.64
		ΔT	22	20	16	11	22	20	16	11	22	20	16	22	20	17	11	22	20	16	11	15	20	19	15	11	20	19	15	11	15	11
1050		kW	2.41	2.46	2.54	2.62	2.59	2.65	2.73	2.81	2.75	2.81	2.89	2.89	2.95	3.04	3.14	3.00	3.07	3.17	3.11	3.17	3.11	3.17	3.28	3.11	3.17	3.28	3.11	3.17	3.28	
		Amps	8.8	9.0	9.3	9.7	9.5	9.8	10.1	10.5	10.4	10.6	11.0	11.1	11.4	11.7	12.2	11.8	12.1	12.5	12.5	12.8	12.5	12.8	13.3	12.5	12.8	13.3	12.5	12.8	13.3	
		HI PR	217	233	246	257	243	262	276	288	276	297	314	315	339	358	373	354	381	402	420	445	354	381	402	420	391	421	445	464	464	
		LO PR	100	107	117	124	106	113	123	131	110	117	128	116	123	134	143	121	129	141	150	155	121	129	141	150	125	133	146	155	155	
		MBh	34.2	35.3	38.2	41.0	33.5	34.4	37.3	40.0	32.7	33.6	36.4	31.9	32.8	35.5	38.1	30.3	31.2	33.7	28.0	28.9	31.2	28.0	28.9	31.2	28.0	28.9	31.2	28.0	28.9	31.2
		S/T	0.82	0.73	0.56	0.36	0.85	0.76	0.58	0.37	0.87	0.78	0.59	0.90	0.80	0.61	0.39	0.93	0.83	0.63	0.41	0.94	0.84	0.64	0.41	0.94	0.84	0.64	0.41	0.94	0.84	0.64
		ΔT	22	20	16	11	22	20	16	11	22	20	16	22	20	17	11	22	20	16	11	15	20	19	15	11	20	19	15	11	15	11
1200		kW	2.47	2.52	2.60	2.68	2.65	2.71	2.79	2.88	2.82	2.88	2.97	2.96	3.02	3.12	3.22	3.08	3.15	3.25	3.35	3.18	3.25	3.36	3.18	3.25	3.36	3.18	3.25	3.36		
		Amps	9.1	9.3	9.6	10.0	9.8	10.0	10.4	10.8	10.7	10.9	11.3	11.4	11.7	12.1	12.5	12.2	12.5	12.9	13.4	12.9	13.2	13.7	12.9	13.2	13.7	12.9	13.2	13.7		
		HI PR	223	240	254	265	251	270	285	297	285	307	324	325	349	369	385	365	393	415	433	403	434	458	403	434	458	403	434	458		
		LO PR	103	110	120	128	109	116	127	135	114	121	132	119	127	139	148	125	133	145	155	129	138	150	129	138	150	129	138	150		
		MBh	35.3	36.3	39.3	42.2	34.5	35.5	38.4	41.2	33.6	34.6	37.5	32.8	33.8	36.6	39.3	31.2	32.1	34.7	28.9	29.7	32.2	28.9	29.7	32.2	28.9	29.7	32.2	28.9	29.7	32.2
		S/T	0.86	0.77	0.58	0.37	0.89	0.80	0.60	0.39	0.91	0.82	0.62	0.94	0.84	0.64	0.41	0.98	0.88	0.66	0.43	0.99	0.88	0.67	0.43	0.99	0.88	0.67	0.43	0.99	0.88	0.67
		ΔT	21	19	16	11	21	19	16	11	21	19	16	21	19	16	11	21	19	16	11	15	20	19	15	11	20	19	15	11	15	11
1350		kW	2.49	2.54	2.62	2.70	2.68	2.73	2.82	2.91	2.84	2.90	2.99	2.98	3.05	3.14	3.25	3.10	3.17	3.27	3.38	3.21	3.28	3.39	3.21	3.28	3.39	3.21	3.28	3.39		
		Amps	9.1	9.4	9.7	10.0	9.9	10.1	10.5	10.9	10.8	11.0	11.4	11.5	11.8	12.2	12.7	12.3	12.6	13.0	13.5	13.0	13.3	13.8	13.0	13.3	13.8	13.0	13.3	13.8		
		HI PR	226	243	256	267	253	272	288	300	288	310	327	328	353	372	388	369	397	419	437	407	438	463	407	438	463	407	438	463		
		LO PR	104	111	121	129	110	117	128	137	115	122	133	121	128	140	149	126	134	147	156	131	139	152	131	139	152	131	139	152		

Amps = outdoor unit amps (comp.+fan)
kW = Total system power

Shaded area reflects ACCA (TVA) conditions

IDB: Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.

IDB	AIRFLOW	OUTDOOR AMBIENT TEMPERATURE																													
		65					75					85					95					105					115				
		59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	59	63	67	71	75
80	MBh	32.2	32.9	35.1	37.5	31.4	32.1	34.3	36.7	30.7	31.3	33.5	35.8	38.8	32.4	33.1	35.4	37.8	30.8	31.5	33.6	36.0	28.5	29.2	31.2	33.3					
	S/T	0.87	0.81	0.66	0.49	0.90	0.84	0.69	0.51	0.92	0.86	0.70	0.53	0.55	0.99	0.93	0.75	0.56	1.00	0.96	0.78	0.58	1.00	0.97	0.79	0.59					
	ΔT	24	24	23	20	25	24	21	16	25	24	21	16	25	25	23	20	16	24	23	20	16	22	22	22	19	15				
	kW	2.43	2.48	2.56	2.64	2.61	2.67	2.75	2.84	2.77	2.83	2.92	3.01	3.09	2.98	3.05	3.14	3.25	3.11	3.17	3.27	3.38	3.21	3.28	3.39	3.50					
	Amps	8.9	9.1	9.4	9.8	9.6	9.9	10.2	10.6	10.5	10.7	11.1	11.5	11.8	11.5	11.8	12.2	12.7	12.3	12.6	13.0	13.5	13.0	13.3	13.8	14.3					
1200	Hi PR	219	235	249	259	245	264	279	291	279	300	317	331	341	328	353	373	389	369	397	419	437	407	438	463	483					
	Lo PR	101	108	118	125	107	114	124	132	111	118	129	138	142	121	128	140	149	126	134	147	156	131	139	152	162					
	MBh	34.9	35.6	38.1	40.7	34.0	34.8	37.2	39.7	33.2	34.0	36.3	38.8	40.0	33.4	34.1	36.5	39.0	31.7	32.4	34.6	37.0	29.4	30.0	32.1	34.3					
	S/T	0.90	0.84	0.69	0.51	0.93	0.87	0.71	0.53	0.96	0.90	0.73	0.55	0.57	1.00	0.94	0.76	0.57	1.00	0.96	0.78	0.58	1.00	0.97	0.79	0.59					
	ΔT	24	23	20	16	24	23	20	16	24	23	20	16	25	25	23	20	16	24	23	20	16	22	22	22	19	15				
1350	kW	2.49	2.54	2.62	2.70	2.68	2.73	2.82	2.91	2.84	2.90	2.99	3.09	3.17	2.98	3.05	3.14	3.25	3.11	3.17	3.27	3.38	3.21	3.28	3.39	3.50					
	Amps	9.1	9.4	9.7	10.0	9.9	10.1	10.5	10.9	10.8	11.0	11.4	11.8	12.1	11.5	11.8	12.2	12.7	12.3	12.6	13.0	13.5	13.0	13.3	13.8	14.3					
	Hi PR	226	243	256	267	253	272	288	300	288	310	327	341	341	328	353	373	389	369	397	419	437	407	438	463	483					
	Lo PR	105	111	121	129	110	117	128	137	115	122	133	142	142	121	128	140	149	126	134	147	156	132	140	153	163					
	MBh	35.9	36.7	39.2	41.9	35.1	35.8	38.3	40.9	34.2	35.0	37.4	40.0	40.0	33.4	34.1	36.5	39.0	31.7	32.4	34.6	37.0	29.4	30.0	32.1	34.3					
1050	S/T	0.94	0.88	0.72	0.54	1.00	0.92	0.75	0.56	1.00	0.94	0.76	0.57	0.57	1.00	0.94	0.76	0.57	1.00	0.96	0.78	0.58	1.00	0.97	0.79	0.59					
	ΔT	23	22	19	15	24	22	19	16	23	22	19	16	25	25	23	20	16	24	23	20	16	22	22	22	19	15				
	kW	2.51	2.56	2.64	2.72	2.70	2.75	2.84	2.93	2.86	2.92	3.01	3.11	3.17	2.98	3.05	3.14	3.25	3.11	3.17	3.27	3.38	3.21	3.28	3.39	3.53					
	Amps	9.2	9.5	9.8	10.1	10.0	10.2	10.6	11.0	10.9	11.1	11.5	11.9	12.1	11.6	11.9	12.3	12.8	12.4	12.7	13.1	13.6	13.1	13.5	13.9	14.5					
	Hi PR	228	245	259	270	256	275	290	303	291	313	330	345	345	331	356	376	392	372	401	423	441	412	443	468	488					
85	Lo PR	102	109	119	127	108	115	126	134	112	120	131	139	139	118	126	137	146	124	132	144	153	128	136	149	158					
	MBh	32.7	33.4	34.9	37.3	32.0	32.6	34.1	36.4	31.2	31.8	33.3	35.6	38.5	30.5	31.0	32.5	34.7	28.9	29.5	30.9	33.0	26.8	27.3	28.6	30.5					
	S/T	0.91	0.88	0.79	0.64	0.94	0.91	0.82	0.67	0.97	0.93	0.84	0.68	0.71	1.00	0.96	0.87	0.70	1.00	1.00	0.90	0.73	1.00	1.00	0.91	0.74					
	ΔT	26	26	24	21	26	26	25	21	26	26	25	21	25	27	26	25	21	25	26	24	21	23	24	23	20	20				
	kW	2.45	2.50	2.58	2.66	2.63	2.69	2.77	2.86	2.79	2.85	2.94	3.04	3.11	2.93	3.00	3.09	3.19	3.05	3.12	3.22	3.33	3.16	3.23	3.33	3.44					
1200	Amps	9.0	9.2	9.5	9.9	9.7	10.0	10.3	10.7	10.6	10.8	11.2	11.6	11.9	11.3	11.6	12.0	12.4	12.0	12.3	12.8	13.2	12.8	13.1	13.5	14.0					
	Hi PR	221	238	251	262	248	267	282	294	282	303	320	334	345	321	346	365	381	361	389	411	428	399	430	454	473					
	Lo PR	102	109	119	127	108	115	126	134	112	120	131	139	139	118	126	137	146	124	132	144	153	128	136	149	158					
	MBh	35.5	36.2	37.9	40.4	34.6	35.3	37.0	39.5	33.8	34.5	36.1	38.5	40.6	33.0	33.6	35.2	37.6	31.3	31.9	33.5	35.7	29.0	29.6	31.0	33.1					
	S/T	0.94	0.91	0.82	0.67	0.98	0.94	0.85	0.69	1.00	0.97	0.87	0.71	0.74	1.00	1.00	0.90	0.73	1.00	1.00	0.93	0.76	1.00	1.00	0.94	0.76					
1350	ΔT	26	25	24	21	26	26	24	21	26	26	24	21	25	27	26	24	21	24	24	24	21	22	23	22	19	19				
	kW	2.51	2.56	2.64	2.72	2.70	2.75	2.84	2.93	2.86	2.92	3.01	3.11	3.17	3.01	3.07	3.17	3.27	3.13	3.20	3.30	3.41	3.24	3.31	3.42	3.53					
	Amps	9.2	9.5	9.8	10.1	10.0	10.2	10.6	11.0	10.9	11.1	11.5	11.9	12.1	11.6	11.9	12.3	12.8	12.4	12.7	13.1	13.6	13.1	13.5	13.9	14.5					
	Hi PR	228	245	259	270	256	275	290	303	291	313	330	345	345	331	356	376	392	372	401	423	441	412	443	468	488					
	Lo PR	106	112	123	131	112	119	130	138	116	123	135	143	143	122	130	141	151	128	136	148	158	132	140	153	163					

Amps = outdoor unit amps (comp.+fan)
kW = Total system power

Shaded area reflects AHRl conditions

IDB: Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.

		OUTDOOR AMBIENT TEMPERATURE																							
		85					95					105					115								
IDB	AIRFLOW	ENTERING INDOOR WET BULB TEMPERATURE																							
		59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	59	63	67	71	75	59	63	67	71
70	MBh	32.9	34.1	37.4	-	32.2	33.3	36.5	-	31.4	32.5	35.7	-	30.6	31.7	34.8	-	29.1	30.2	33.0	-	27.0	27.9	30.6	-
	S/T	0.77	0.65	0.45	-	0.80	0.67	0.46	-	0.82	0.69	0.48	-	0.85	0.71	0.49	-	0.88	0.74	0.51	-	0.89	0.74	0.51	-
	ΔT	17	15	11	-	18	15	12	-	18	15	12	-	18	15	12	-	17	15	11	-	16	14	11	-
	kW	2.44	2.49	2.55	-	2.61	2.65	2.73	-	2.75	2.80	2.88	-	2.88	2.94	3.02	-	2.99	3.05	3.14	-	3.08	3.14	3.24	-
	Amps	9.7	9.9	10.0	-	10.1	10.3	10.5	-	10.6	10.8	11.0	-	11.0	11.2	11.4	-	11.4	11.6	11.8	-	11.8	12.0	12.2	-
	HI PR	183	197	208	-	205	221	234	-	234	252	266	-	266	286	302	-	299	322	340	-	331	356	376	-
	LO PR	95	101	110	-	100	107	117	-	104	111	121	-	110	117	127	-	115	122	134	-	119	126	138	-
	MBh	32.0	33.1	36.3	-	31.2	32.4	35.5	-	30.5	31.6	34.6	-	29.7	30.8	33.8	-	28.2	29.3	32.1	-	26.2	27.1	29.7	-
	S/T	0.74	0.62	0.43	-	0.76	0.64	0.44	-	0.78	0.65	0.45	-	0.81	0.68	0.47	-	0.84	0.70	0.49	-	0.85	0.71	0.49	-
ΔT	18	16	12	-	18	16	12	-	18	16	12	-	18	16	12	-	18	16	12	-	17	15	11	-	
kW	2.42	2.47	2.54	-	2.59	2.64	2.71	-	2.73	2.78	2.86	-	2.86	2.91	3.00	-	2.96	3.02	3.11	-	3.06	3.12	3.21	-	
Amps	9.7	9.8	10.0	-	10.1	10.2	10.4	-	10.4	10.5	10.7	-	11.0	11.1	11.3	-	11.4	11.5	11.8	-	11.8	11.9	12.2	-	
HI PR	181	195	206	-	203	219	231	-	231	249	263	-	264	284	299	-	296	319	337	-	328	353	372	-	
LO PR	94	100	109	-	99	106	116	-	103	110	120	-	109	116	126	-	114	121	132	-	118	125	137	-	
MBh	29.5	30.6	33.5	-	28.8	29.9	32.7	-	28.1	29.2	31.9	-	27.4	28.4	31.2	-	26.1	27.0	29.6	-	24.2	25.0	27.4	-	
S/T	0.71	0.59	0.41	-	0.74	0.62	0.43	-	0.76	0.63	0.44	-	0.78	0.65	0.45	-	0.81	0.68	0.47	-	0.82	0.68	0.47	-	
ΔT	18	16	12	-	19	16	12	-	19	16	12	-	19	16	12	-	19	16	12	-	17	15	11	-	
kW	2.37	2.42	2.48	-	2.53	2.58	2.65	-	2.67	2.72	2.80	-	2.79	2.85	2.93	-	2.90	2.96	3.04	-	2.99	3.05	3.14	-	
Amps	9.6	9.7	9.8	-	10.0	10.1	10.3	-	10.4	10.5	10.7	-	10.8	10.9	11.1	-	11.2	11.3	11.6	-	11.6	11.7	12.0	-	
HI PR	176	189	200	-	197	212	224	-	224	242	255	-	256	275	291	-	288	309	327	-	318	342	361	-	
LO PR	91	97	106	-	96	103	112	-	100	107	116	-	105	112	122	-	110	117	128	-	114	121	133	-	
75	MBh	33.5	34.5	37.3	40.0	32.7	33.7	36.4	39.1	31.9	32.9	35.6	38.2	31.1	32.1	34.7	37.3	29.6	30.5	33.0	35.4	27.4	28.2	30.5	32.8
	S/T	0.88	0.79	0.60	0.38	0.91	0.81	0.62	0.40	0.93	0.84	0.63	0.41	0.96	0.86	0.65	0.42	1.00	0.90	0.68	0.44	1.00	0.90	0.68	0.44
	ΔT	20	18	15	10	20	19	15	11	20	19	15	11	20	19	15	11	20	19	15	11	19	17	14	10
	kW	2.46	2.50	2.57	2.65	2.62	2.67	2.75	2.83	2.77	2.82	2.91	2.99	2.90	2.96	3.04	3.14	3.01	3.07	3.16	3.26	3.10	3.17	3.26	3.36
	Amps	9.8	9.9	10.1	10.3	10.2	10.3	10.5	10.7	10.7	10.8	11.0	11.3	11.1	11.2	11.4	11.7	11.5	11.7	11.9	12.2	11.9	12.1	12.3	12.6
	HI PR	185	199	210	219	208	223	236	246	236	254	268	280	269	289	306	319	303	326	344	359	334	360	380	396
	LO PR	96	102	112	119	101	108	118	126	105	112	123	130	111	118	129	137	116	124	135	144	120	128	139	149
	MBh	32.5	33.5	36.2	38.9	31.8	32.7	35.4	38.0	31.0	31.9	34.5	37.1	30.2	31.1	33.7	36.2	28.7	29.6	32.0	34.4	26.6	27.4	29.7	31.8
	S/T	0.84	0.75	0.57	0.37	0.87	0.78	0.59	0.38	0.89	0.80	0.60	0.39	0.92	0.82	0.62	0.40	0.95	0.85	0.65	0.42	0.96	0.86	0.65	0.42
ΔT	21	19	16	11	21	19	16	11	21	19	16	11	21	20	16	11	21	19	16	11	20	18	15	10	
kW	2.44	2.49	2.56	2.63	2.61	2.66	2.73	2.81	2.75	2.80	2.89	2.97	2.88	2.94	3.02	3.11	2.99	3.05	3.14	3.23	3.08	3.14	3.24	3.34	
Amps	9.7	9.9	10.0	10.2	10.1	10.3	10.5	10.7	10.6	10.8	11.0	11.2	11.0	11.2	11.4	11.6	11.4	11.6	11.8	12.1	11.8	12.0	12.2	12.5	
HI PR	183	197	208	217	206	221	234	244	234	252	266	277	266	287	303	316	300	322	340	355	331	356	376	392	
LO PR	95	101	110	118	100	107	117	124	104	111	121	129	110	117	127	136	115	122	134	142	119	127	138	147	
MBh	30.0	30.9	33.4	35.9	29.3	30.2	32.7	35.1	28.6	29.5	31.9	34.2	27.9	28.7	31.1	33.4	26.5	27.3	29.6	31.7	24.6	25.3	27.4	29.4	
S/T	0.81	0.72	0.55	0.35	0.84	0.75	0.57	0.36	0.86	0.77	0.58	0.37	0.89	0.79	0.60	0.39	0.92	0.82	0.62	0.40	0.93	0.83	0.63	0.40	
ΔT	21	20	16	11	21	20	16	11	22	20	16	11	22	20	16	11	21	20	16	11	20	18	15	10	
kW	2.39	2.43	2.50	2.57	2.55	2.60	2.67	2.75	2.69	2.74	2.82	2.90	2.81	2.87	2.95	3.04	2.92	2.98	3.07	3.16	3.01	3.07	3.16	3.26	
Amps	9.6	9.7	9.9	10.1	10.0	10.1	10.3	10.5	10.5	10.6	10.8	11.0	10.8	11.0	11.2	11.4	11.2	11.4	11.6	11.9	11.6	11.8	12.0	12.3	
HI PR	178	191	202	211	199	215	227	236	227	244	258	269	258	278	293	306	291	313	330	344	321	345	365	380	
LO PR	92	98	107	114	97	104	113	121	101	108	118	125	106	113	124	132	112	119	130	138	115	123	134	143	

IDB: Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.
kW = Total system power
Shaded area reflects ACCA (TVA) conditions
Amps = outdoor unit amps (comp.+fan)
Design Subcooling 9 ±3 °F @ the liquid service valve, ARI 95 test conditions

EXPANDED COOLING DATA — ASX130361D* (CONT.)

		OUTDOOR AMBIENT TEMPERATURE																												
		65°F				75°F				85°F				95°F				105°F				115°F								
		ENTERING INDOOR WET BULB TEMPERATURE																												
IDB	AIRFLOW	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	
80	MBh	34.1	34.8	37.2	39.8	33.3	34.0	36.3	38.8	32.5	33.2	35.5	37.9	31.7	32.4	34.6	37.0	30.1	30.8	32.9	35.1	27.9	28.5	30.5	32.6	28.4	28.9	30.3	32.3	
	S/T	0.96	0.90	0.74	0.6	1.00	0.94	0.76	0.57	1.00	0.96	0.78	0.6	1.00	1.00	0.81	0.60	1.00	1.00	0.84	0.6	1.00	1.00	0.84	0.63	1.00	1.00	0.84	0.63	
	ΔT	22	21	19	15	23	22	19	15	22	22	19	15	22	22	19	15	22	21	19	15	19	19	15	19	19	19	18	14	
	kW	2.48	2.52	2.59	2.7	2.64	2.69	2.77	2.85	2.79	2.85	2.93	3.0	2.92	2.98	3.07	3.16	3.03	3.09	3.19	3.3	3.13	3.19	3.29	3.39	3.10	3.15	3.25	3.35	
	/anos	9.8	10.0	10.1	10.3	10.2	10.4	10.6	10.8	10.7	10.9	11.1	11.3	11.1	11.3	11.5	11.8	11.5	11.7	12.0	12.2	12.0	12.1	12.4	12.7	11.9	12.1	12.4	12.7	
85	Hi PR	187	201	212	221.5	210	226	238	249	238	257	271	282.7	272	292	309	322	306	329	347	362.2	338	363	384	400	324	349	368	384	
	Lo PR	97	103	113	120.0	103	109	119	127	107	113	124	131.8	112	119	130	138	117	125	136	145.1	121	129	141	150	117	129	141	150	
	MBh	33.1	33.8	36.1	38.6	32.3	33.0	35.3	37.7	31.5	32.2	34.4	36.8	30.8	31.4	33.6	35.9	29.2	29.9	31.9	34.1	27.1	27.7	29.6	31.6	27.1	27.7	29.6	31.6	
	S/T	0.92	0.86	0.70	0.5	0.95	0.89	0.73	0.54	0.98	0.92	0.75	0.6	1.00	0.95	0.77	0.58	1.00	0.98	0.80	0.6	1.00	0.99	0.81	0.60	1.00	0.99	0.81	0.60	
	ΔT	23	22	19	16	24	23	20	16	24	23	20	16	24	23	20	16	22	22	20	16	21	21	18	15	21	21	18	15	
1050	kW	2.46	2.50	2.57	2.6	2.62	2.67	2.75	2.83	2.77	2.82	2.91	3.0	2.90	2.96	3.05	3.14	3.01	3.07	3.16	3.3	3.10	3.17	3.26	3.36	3.10	3.15	3.25	3.35	
	/anos	9.8	9.9	10.1	10.3	10.2	10.3	10.5	10.7	10.7	10.8	11.0	11.3	11.1	11.2	11.5	11.7	11.5	11.7	11.9	12.2	11.9	12.1	12.3	12.6	11.9	12.1	12.3	12.6	
	Hi PR	185	199	210	219.3	208	223	236	246	236	254	268	279.9	269	289	306	319	303	326	344	358.6	334	360	380	396	324	349	368	384	
	Lo PR	96	102	112	118.8	102	108	118	126	105	112	123	130.5	111	118	129	137	116	124	135	143.6	120	128	140	149	117	129	141	150	
	MBh	30.5	31.2	33.3	35.6	29.8	30.5	32.6	34.8	29.1	29.8	31.8	34.0	28.4	29.0	31.0	33.2	27.0	27.6	29.5	31.5	25.0	25.5	27.3	29.2	25.0	25.5	27.3	29.2	
1350	S/T	0.89	0.83	0.68	0.5	0.92	0.86	0.70	0.52	0.94	0.88	0.72	0.5	0.97	0.91	0.74	0.55	1.01	0.95	0.77	0.6	1.02	0.95	0.78	0.58	1.02	0.95	0.78	0.58	
	ΔT	24	23	20	16	24	23	20	16	24	23	20	16	24	23	20	16	24	23	20	16	22	21	19	15	22	21	19	15	
	kW	2.41	2.45	2.52	2.6	2.57	2.62	2.69	2.77	2.71	2.76	2.84	2.9	2.84	2.89	2.98	3.07	2.94	3.00	3.09	3.2	3.03	3.10	3.19	3.29	3.03	3.10	3.19	3.29	
	/anos	9.7	9.8	9.9	10.1	10.0	10.2	10.4	10.6	10.5	10.6	10.8	11.1	10.9	11.1	11.3	11.5	11.3	11.5	11.7	11.9	12.2	11.7	11.9	12.1	12.4	11.7	11.9	12.1	12.4
	Hi PR	179	193	204	212.7	201	217	229	239	229	246	260	271.5	261	281	296	309	293	316	333	347.8	324	349	368	384	324	349	368	384	
1350	Lo PR	93	99	108	115.3	98	105	114	122	102	109	119	126.6	107	114	125	133	113	120	131	139.3	117	124	135	144	113	124	135	144	
	MBh	34.7	35.3	37.0	39.5	33.9	34.5	36.2	38.6	33.1	33.7	35.3	37.7	32.3	32.9	34.4	36.7	30.6	31.2	32.7	34.9	28.4	28.9	30.3	32.3	28.4	28.9	30.3	32.3	
	S/T	1.00	0.98	0.88	0.71	1.00	1.00	0.91	0.74	1.00	1.00	0.94	0.76	1.00	1.00	0.97	0.78	1.00	1.00	0.96	0.81	1.00	1.00	0.82	1.00	1.00	0.82	0.82		
	ΔT	24	23	22	19	23	24	22	19	23	23	22	19	22	22	23	20	21	21	22	19	19	20	21	18	19	20	21	18	
	kW	2.49	2.54	2.61	2.68	2.66	2.71	2.79	2.87	2.81	2.87	2.95	3.04	2.94	3.00	3.09	3.19	3.06	3.12	3.21	3.31	3.15	3.22	3.31	3.42	3.15	3.22	3.31	3.42	
1200	/anos	9.9	10.0	10.2	10.4	10.3	10.4	10.6	10.8	10.8	10.9	11.1	11.4	11.2	11.4	11.6	11.8	11.6	11.8	12.0	12.3	12.0	12.2	12.5	12.7	12.0	12.1	12.4	12.7	
	Hi PR	189	203	214	224	212	228	241	251	241	259	274	285	274	295	312	325	309	332	351	366	341	367	387	404	324	349	368	384	
	Lo PR	98	104	114	121	104	110	120	128	108	114	125	133	113	120	131	140	118	126	138	147	123	130	142	152	123	130	142	152	
	MBh	33.7	34.3	35.9	38.3	32.9	33.5	35.1	37.5	32.1	32.7	34.3	36.6	31.3	31.9	33.4	35.7	29.7	30.3	31.8	33.9	27.6	28.1	29.4	31.4	27.6	28.1	29.4	31.4	
	S/T	0.96	0.93	0.84	0.68	1.00	0.96	0.87	0.71	1.00	0.99	0.89	0.72	1.00	1.00	0.92	0.75	1.00	1.00	0.96	0.78	1.00	1.00	0.96	0.78	1.00	1.00	0.96	0.78	
1050	ΔT	25	24	23	20	25	25	23	20	25	25	23	20	24	24	24	20	24	24	23	20	23	23	20	19	22	22	19	15	
	kW	2.48	2.52	2.59	2.67	2.64	2.69	2.77	2.85	2.79	2.85	2.93	3.02	2.92	2.98	3.07	3.16	3.03	3.09	3.19	3.28	3.13	3.19	3.29	3.39	3.13	3.19	3.29	3.39	
	/anos	9.8	10.0	10.1	10.3	10.2	10.4	10.6	10.8	10.7	10.9	11.1	11.3	11.1	11.3	11.5	11.8	11.5	11.7	12.0	12.2	12.0	12.1	12.4	12.7	12.0	12.1	12.4	12.7	
	Hi PR	187	201	212	221	210	226	238	249	238	257	271	283	272	292	309	322	306	329	347	362	338	363	384	400	324	349	368	384	
	Lo PR	97	103	113	120	103	109	119	127	107	113	124	132	112	119	130	138	117	125	136	145	121	129	141	150	121	129	141	150	
85	MBh	31.1	31.7	33.2	35.4	30.3	30.9	32.4	34.6	29.6	30.2	31.6	33.7	28.9	29.5	30.9	32.9	27.5	28.0	29.3	31.3	25.4	25.9	27.2	29.0	25.4	25.9	27.2	29.0	
	S/T	0.93	0.90	0.81	0.66	0.96	0.93	0.84	0.68	0.99	0.95	0.86	0.70	1.00	0.98	0.89	0.72	1.00	1.00	0.92	0.75	1.00	1.00	0.93	0.75	1.00	1.00	0.93	0.75	
	ΔT	25	25	24	20	26	25	24	21	26	25	24	21	25	25	24	21	25	25	24	20	22	23	22	19	22	23	22	19	
	kW	2.42	2.47	2.54	2.61	2.59	2.64	2.71	2.79	2.73	2.78	2.86	2.95	2.86	2.91	3.00	3.09	2.96	3.02	3.11	3.21	3.06	3.12	3.21	3.31	3.06	3.12	3.21	3.31	
	/anos	9.7	9.8	10.0	10.2	10.1	10.2	10.4	10.6	10.6	10.7	10.9	11.1	11.0	11.1	11.3	11.6	11.4	11.5	11.7	12.0	11.8	11.9	12.2	12.5	11.8	11.9	12.2	12.5	
1350	Hi PR	181	195	206	215	203	219	231	241	231	249	263	274	263	284	299	312	296	319	337	351	327	352	372	388	327	352	372	388	
	Lo PR	94	100	109	116	99	106	115	123	103	110	120	128	109	115	126	134	114	121	132	141	118	125	137	146	118	125	137	146	

amps = outdoor unit amps (comp.+fan)
Design Subcooling 9 ±3 °F @ the liquid service valve, ARI 95 test conditions

Shaded area reflects AHRI conditions
kW = Total system power

IDB: Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.

EXPANDED EXPANDED COOLING DATA — ASX130421**

IDB	OUTDOOR AMBIENT TEMPERATURE																																			
	65									75									85									95								
	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71								
1225	MBh	36.0	37.3	40.9	-	35.2	36.4	39.9	-	34.3	35.6	39.0	-	33.5	34.7	38.0	-	31.8	33.0	36.1	-	29.5	30.5	33.5	-	29.5	30.5	33.5								
	S/T	0.69	0.57	0.40	-	0.71	0.59	0.41	-	0.73	0.61	0.42	-	0.75	0.63	0.44	-	0.78	0.65	0.45	-	0.79	0.66	0.46	-	0.79	0.66	0.46								
	ΔT	19	16	12	-	19	16	12	-	19	16	12	-	19	16	12	-	19	16	12	-	17	15	11	-	17	15	11								
	kW	2.78	2.84	2.92	-	2.98	3.04	3.13	-	3.15	3.21	3.31	-	3.30	3.37	3.47	-	3.43	3.50	3.61	-	3.54	3.61	3.73	-	3.54	3.61	3.73								
	Amps	10.7	10.9	11.2	-	11.5	11.8	12.1	-	12.5	12.7	13.2	-	13.3	13.6	14.0	-	14.1	14.5	14.9	-	14.9	15.3	15.8	-	14.9	15.3	15.8								
	Hi PR	209	225	238	-	235	253	267	-	267	288	304	-	304	328	346	-	343	369	389	-	378	407	430	-	378	407	430								
Lo PR	101	107	117	-	106	113	124	-	111	118	129	-	116	124	135	-	122	130	141	-	126	134	146	-	126	134	146									
70	MBh	39.0	40.4	44.3	-	38.1	39.5	43.3	-	37.2	38.5	42.2	-	36.3	37.6	41.2	-	34.5	35.7	39.1	-	31.9	33.1	36.3	-	31.9	33.1	36.3								
	S/T	0.71	0.59	0.41	-	0.74	0.62	0.43	-	0.76	0.63	0.44	-	0.78	0.65	0.45	-	0.81	0.68	0.47	-	0.82	0.68	0.47	-	0.82	0.68	0.47								
	ΔT	18	16	12	-	18	16	12	-	18	16	12	-	19	16	12	-	18	16	12	-	17	15	11	-	17	15	11								
	kW	2.84	2.90	2.98	-	3.05	3.11	3.20	-	3.22	3.29	3.39	-	3.38	3.45	3.55	-	3.51	3.58	3.70	-	3.63	3.70	3.82	-	3.63	3.70	3.82								
	Amps	10.9	11.2	11.6	-	11.8	12.1	12.5	-	12.8	13.1	13.5	-	13.7	14.0	14.4	-	14.5	14.9	15.3	-	15.4	15.7	16.2	-	15.4	15.7	16.2								
	Hi PR	216	232	245	-	242	261	275	-	276	297	313	-	314	338	357	-	353	380	401	-	390	420	443	-	390	420	443								
Lo PR	104	111	121	-	110	117	127	-	114	121	132	-	120	127	139	-	126	134	146	-	130	138	151	-	130	138	151									
1575	MBh	40.2	41.6	45.6	-	39.2	40.7	44.6	-	38.3	39.7	43.5	-	37.4	38.7	42.4	-	35.5	36.8	40.3	-	32.9	34.1	37.3	-	32.9	34.1	37.3								
	S/T	0.75	0.62	0.43	-	0.77	0.65	0.45	-	0.79	0.66	0.46	-	0.82	0.68	0.47	-	0.85	0.71	0.49	-	0.86	0.72	0.50	-	0.86	0.72	0.50								
	ΔT	18	15	11	-	18	15	12	-	18	15	12	-	18	15	12	-	18	15	12	-	16	14	11	-	16	14	11								
	kW	2.87	2.92	3.01	-	3.07	3.13	3.22	-	3.25	3.31	3.41	-	3.41	3.48	3.58	-	3.54	3.61	3.73	-	3.66	3.73	3.85	-	3.66	3.73	3.85								
	Amps	11.0	11.3	11.7	-	11.9	12.2	12.6	-	12.9	13.2	13.6	-	13.8	14.1	14.6	-	14.6	15.0	15.5	-	15.5	15.9	16.4	-	15.5	15.9	16.4								
	Hi PR	218	235	248	-	245	263	278	-	278	300	316	-	317	341	360	-	357	384	405	-	394	424	448	-	394	424	448								
Lo PR	105	112	122	-	111	118	129	-	115	123	134	-	121	129	141	-	127	135	147	-	131	140	152	-	131	140	152									

IDB	OUTDOOR AMBIENT TEMPERATURE																																			
	65									75									85									95								
	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71								
1225	MBh	36.6	37.7	40.8	43.8	35.8	36.8	39.9	42.8	34.9	35.9	38.9	41.8	34.1	35.1	38.0	40.7	32.4	33.3	36.1	38.7	30.0	30.9	33.4	35.8	30.0	30.9	33.4								
	S/T	0.78	0.70	0.53	0.34	0.81	0.72	0.55	0.35	0.83	0.74	0.56	0.36	0.86	0.77	0.58	0.37	0.89	0.79	0.60	0.39	0.90	0.80	0.61	0.39	0.90	0.80	0.61								
	ΔT	21	20	16	11	22	20	16	11	22	20	16	11	22	20	16	11	22	20	16	11	22	20	16	11	22	20	16	11							
	kW	2.80	2.86	2.94	3.03	3.00	3.06	3.15	3.24	3.17	3.24	3.33	3.44	3.33	3.39	3.50	3.61	3.46	3.53	3.64	3.75	3.57	3.64	3.76	3.88	3.57	3.64	3.76								
	Amps	10.8	11.0	11.3	11.8	11.6	11.9	12.2	12.7	12.6	12.9	13.3	13.8	13.4	13.7	14.2	14.7	14.2	14.6	15.1	15.6	15.1	15.4	15.9	16.5	15.1	15.4	15.9								
	Hi PR	212	228	240	251	237	256	270	281	270	291	307	320	308	331	350	365	346	372	393	410	382	411	434	453	382	411	434								
Lo PR	102	108	118	126	108	114	125	133	112	119	130	138	117	125	136	145	123	131	143	152	127	135	148	157	127	135	148									
75	MBh	39.7	40.8	44.2	47.4	38.7	39.9	43.2	46.3	37.8	38.9	42.2	45.2	36.9	38.0	41.1	44.1	35.1	36.1	39.1	41.9	32.5	33.4	36.2	38.8	32.5	33.4	36.2								
	S/T	0.81	0.72	0.55	0.35	0.84	0.75	0.57	0.37	0.86	0.77	0.58	0.37	0.89	0.79	0.60	0.39	0.92	0.82	0.62	0.40	0.93	0.83	0.63	0.40	0.93	0.83	0.63								
	ΔT	21	19	16	11	21	20	16	11	21	20	16	11	22	20	16	11	21	20	16	11	22	20	16	11	22	20	16	11							
	kW	2.87	2.92	3.01	3.10	3.07	3.13	3.22	3.32	3.25	3.31	3.41	3.52	3.41	3.48	3.58	3.70	3.54	3.61	3.73	3.84	3.66	3.73	3.85	3.97	3.66	3.73	3.85								
	Amps	11.0	11.3	11.7	12.1	11.9	12.2	12.6	13.0	12.9	13.2	13.6	14.1	13.8	14.1	14.6	15.1	14.6	15.0	15.5	16.1	15.5	15.9	16.4	17.0	15.5	15.9	16.4								
	Hi PR	218	235	248	259	245	263	278	290	278	300	316	330	317	341	360	376	357	384	405	423	394	424	448	467	394	424	448								
Lo PR	105	112	122	130	111	118	129	137	115	123	134	143	121	129	141	150	127	135	147	157	131	140	152	162	131	140	152									
1575	MBh	40.9	42.1	45.5	48.9	39.9	41.1	44.5	47.7	39.0	40.1	43.4	46.6	38.0	39.1	42.4	45.5	36.1	37.2	40.2	43.2	33.4	34.4	37.3	40.0	33.4	34.4	37.3								
	S/T	0.85	0.76	0.57	0.37	0.88	0.79	0.60	0.38	0.90	0.81	0.61	0.39	0.93	0.83	0.63	0.41	0.97	0.86	0.65	0.42	0.97	0.87	0.66	0.42	0.97	0.87	0.66								
	ΔT	20	19	15	11	20	19	15	11	21	19	15	11	21	19	15	11	20	19	15	11	20	19	15	11	20	19	15	11							
	kW	2.89	2.94	3.03	3.12	3.09	3.15	3.25	3.35	3.27	3.34	3.44	3.55	3.43	3.50	3.61	3.72	3.57	3.64	3.76	3.87	3.68	3.76	3.88	4.00	3.68	3.76	3.88								
	Amps	11.1	11.4	11.8	12.2	12.0	12.3	12.7	13.2	13.0	13.3	13.8	14.3	13.9	14.2	14.7	15.2	14.8	15.1	15.6	16.2	15.6	16.0	16.5	17.2	15.6	16.0	16.5								
	Hi PR	220	237	250	261	247	266	281	293	281	303	320	333	320	345	364	380	360	388	409	427	398	428	452	472	398	428	452								
Lo PR	106	113	123	131	112	119	130	139	116	124	135	144	122	130	142	151	128	136	149	158	133	141	154	164	133	141	154									

IDB: Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.
Shaded area reflects ACCA (TVA) conditions
Amps = outdoor unit amps (comp.+fan)
kW = Total system power

EXPANDED EXPANDED COOLING DATA — ASX130421** (CONT.)

			OUTDOOR AMBIENT TEMPERATURE																													
			65					75					95					105					115									
			80					1400					1575					85					1400					1575				
			IDB	AIRFLOW		59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71			
	MBh		37.3	38.1	40.7	43.5	36.4	37.2	39.7	42.5	35.5	36.3	38.8	41.5	34.7	35.4	37.8	40.5	32.9	33.6	36.0	38.4	30.5	31.2	33.3	35.6						
	S/T		0.86	0.80	0.65	0.49	0.89	0.83	0.68	0.51	0.91	0.85	0.69	0.52	0.94	0.88	0.72	0.54	0.97	0.91	0.74	0.56	1.00	0.99	0.82	0.61						
	ΔT		24	23	20	16	24	23	20	16	24	23	20	16	24	23	20	16	24	23	20	16	22	22	19	15						
	kW		2.82	2.88	2.96	3.05	3.02	3.08	3.17	3.27	3.20	3.26	3.36	3.46	3.35	3.42	3.53	3.64	3.48	3.56	3.67	3.78	3.60	3.67	3.79	3.91						
	Amps		10.8	11.1	11.4	11.9	11.7	12.0	12.4	12.8	12.7	13.0	13.4	13.9	13.5	13.8	14.3	14.8	14.4	14.7	15.2	15.8	15.2	15.6	16.1	16.7						
	Hi PR		214	230	243	253	240	258	273	284	273	294	310	323	311	334	353	368	350	376	397	414	386	416	439	458						
	Lo PR		103	109	119	127	109	116	126	134	113	120	131	140	119	126	138	147	124	132	144	154	129	137	149	159						
	MBh		40.4	41.3	44.1	47.1	39.4	40.3	43.1	46.0	38.5	39.3	42.0	44.9	37.6	38.4	41.0	43.8	35.7	36.5	39.0	41.6	33.0	33.8	36.1	38.6						
	S/T		0.89	0.83	0.68	0.51	0.92	0.86	0.70	0.52	0.94	0.88	0.72	0.54	0.97	0.91	0.74	0.56	1.00	0.95	0.77	0.58	1.00	0.96	0.78	0.58						
	ΔT		24	23	20	16	24	23	20	16	24	23	20	16	24	23	20	16	23	23	20	16	22	21	18	15						
	kW		2.89	2.94	3.03	3.12	3.09	3.15	3.25	3.35	3.27	3.34	3.44	3.55	3.43	3.50	3.61	3.72	3.57	3.64	3.76	3.88	3.68	3.76	3.88	4.01						
	Amps		11.1	11.4	11.8	12.2	12.0	12.3	12.7	13.2	13.0	13.3	13.8	14.3	13.9	14.2	14.7	15.2	14.8	15.1	15.6	16.2	15.6	16.0	16.5	17.2						
	Hi PR		220	237	250	261	247	266	281	293	281	303	320	333	320	345	364	380	360	388	410	427	398	428	452	472						
	Lo PR		106	113	123	131	112	119	130	139	116	124	135	144	122	130	142	151	128	136	149	158	133	141	154	164						
	MBh		41.6	42.5	45.4	48.5	40.6	41.5	44.3	47.4	39.6	40.5	43.3	46.3	38.7	39.5	42.2	45.1	36.7	37.6	40.1	42.9	34.0	34.8	37.2	39.7						
	S/T		0.93	0.87	0.71	0.53	0.96	0.90	0.74	0.55	1.00	0.93	0.75	0.56	1.00	0.96	0.78	0.58	1.00	1.00	0.81	0.60	1.00	1.00	0.82	0.61						
	ΔT		23	22	19	15	23	22	19	15	23	22	19	15	23	22	19	15	21	22	19	15	20	20	18	14						
	kW		2.91	2.96	3.05	3.14	3.11	3.18	3.27	3.37	3.30	3.36	3.47	3.58	3.46	3.53	3.64	3.75	3.60	3.67	3.79	3.91	3.71	3.79	3.91	4.04						
	Amps		11.2	11.5	11.9	12.3	12.1	12.4	12.8	13.3	13.1	13.5	13.9	14.4	14.0	14.4	14.8	15.4	14.9	15.3	15.8	16.4	15.8	16.2	16.7	17.3						
	Hi PR		223	240	253	264	250	269	284	296	284	306	323	337	324	348	368	383	364	392	414	431	402	433	457	477						
	Lo PR		107	114	124	132	113	120	131	140	118	125	137	145	123	131	143	153	129	138	150	160	134	142	155	166						

IDB: Entering Indoor Dry Bulb Temperature
 High and low pressures are measured at the liquid and suction service valves.
 Shaded area reflects AHRI conditions
 Amps = outdoor unit amps (comp.+fan)
 kW = Total system power

EXPANDED EXPANDED COOLING DATA — ASX130481 **

IDB	AIRFLOW	OUTDOOR AMBIENT TEMPERATURE																												
		65				75				85				95				105				115								
		59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71					
		ENTERING INDOOR WET BULB TEMPERATURE																												
		ENTERING INDOOR WET BULB TEMPERATURE																												
		ENTERING INDOOR WET BULB TEMPERATURE																												
		ENTERING INDOOR WET BULB TEMPERATURE																												
70	1400	MBh	40.4	41.9	45.9	-	39.5	40.9	44.8	-	38.5	39.9	43.7	-	37.6	38.9	42.7	-	35.7	37.0	40.5	-	35.7	37.0	40.5	-	33.1	34.3	37.5	-
		S/T	0.71	0.59	0.41	-	0.73	0.61	0.42	-	0.75	0.63	0.44	-	0.78	0.65	0.45	-	0.81	0.67	0.47	-	0.81	0.67	0.47	-	0.81	0.68	0.47	-
		ΔT	19	16	12	-	19	16	12	-	19	16	13	-	19	17	13	-	19	16	12	-	19	16	12	-	18	15	12	-
		kW	3.17	3.23	3.32	-	3.39	3.46	3.56	-	3.59	3.66	3.77	-	3.77	3.84	3.96	-	3.91	4.00	4.12	-	3.91	4.00	4.12	-	4.04	4.13	4.26	-
		Amps	11.6	11.9	12.3	-	12.6	12.9	13.3	-	13.7	14.0	14.5	-	14.6	15.0	15.5	-	15.5	15.9	16.5	-	15.5	15.9	16.5	-	16.5	16.9	17.4	-
		Hi PR	215	231	244	-	241	259	274	-	274	295	311	-	312	336	354	-	351	377	399	-	351	377	399	-	388	417	440	-
		Lo PR	104	111	121	-	110	117	128	-	115	122	133	-	120	128	140	-	126	134	146	-	126	134	146	-	130	139	151	-
		MBh	43.8	45.4	49.7	-	42.7	44.3	48.5	-	41.7	43.2	47.4	-	40.7	42.2	46.2	-	38.7	40.1	43.9	-	38.7	40.1	43.9	-	35.8	37.1	40.7	-
		S/T	0.73	0.61	0.43	-	0.76	0.64	0.44	-	0.78	0.65	0.45	-	0.81	0.67	0.47	-	0.84	0.70	0.48	-	0.84	0.70	0.48	-	0.84	0.70	0.49	-
		ΔT	18	16	12	-	19	16	12	-	19	16	12	-	19	16	12	-	19	16	12	-	19	16	12	-	17	15	11	-
		kW	3.24	3.30	3.40	-	3.47	3.54	3.65	-	3.67	3.75	3.87	-	3.86	3.94	4.06	-	4.01	4.09	4.22	-	4.01	4.09	4.22	-	4.14	4.23	4.36	-
		Amps	12.0	12.3	12.7	-	12.9	13.2	13.7	-	14.1	14.4	14.9	-	15.0	15.4	15.9	-	16.0	16.4	16.9	-	16.0	16.4	16.9	-	16.9	17.4	17.9	-
		Hi PR	221	238	251	-	248	267	282	-	282	304	321	-	321	346	365	-	362	389	411	-	362	389	411	-	400	430	454	-
		Lo PR	108	114	125	-	114	121	132	-	118	126	137	-	124	132	144	-	130	138	151	-	130	138	151	-	134	143	156	-
		MBh	45.1	46.7	51.2	-	44.0	45.6	50.0	-	43.0	44.5	48.8	-	41.9	43.5	47.6	-	39.8	41.3	45.2	-	39.8	41.3	45.2	-	36.9	38.2	41.9	-
		S/T	0.77	0.64	0.45	-	0.80	0.67	0.46	-	0.82	0.68	0.47	-	0.85	0.71	0.49	-	0.88	0.73	0.51	-	0.88	0.73	0.51	-	0.88	0.74	0.51	-
		ΔT	18	15	12	-	18	16	12	-	18	16	12	-	18	16	12	-	18	15	12	-	18	15	12	-	17	14	11	-
		kW	3.26	3.33	3.42	-	3.50	3.57	3.67	-	3.70	3.78	3.90	-	3.89	3.97	4.09	-	4.04	4.13	4.26	-	4.04	4.13	4.26	-	4.18	4.26	4.40	-
		Amps	12.1	12.4	12.8	-	13.0	13.4	13.8	-	14.2	14.5	15.0	-	15.2	15.5	16.0	-	16.1	16.5	17.1	-	16.1	16.5	17.1	-	17.1	17.5	18.1	-
		Hi PR	223	240	254	-	251	270	285	-	285	307	324	-	325	349	369	-	365	393	415	-	365	393	415	-	404	434	459	-
		Lo PR	109	116	126	-	115	122	133	-	119	127	139	-	125	133	146	-	131	140	152	-	131	140	152	-	136	144	158	-
		MBh	41.1	42.3	45.8	49.1	40.1	41.3	44.7	48.0	39.2	40.3	43.7	46.8	38.2	39.3	42.6	45.7	36.3	37.4	40.5	43.4	36.3	37.4	40.5	43.4	33.6	34.6	37.5	40.2
		S/T	0.81	0.72	0.55	0.35	0.83	0.75	0.56	0.36	0.86	0.77	0.58	0.37	0.88	0.79	0.60	0.38	0.92	0.82	0.62	0.40	0.92	0.82	0.62	0.40	0.92	0.83	0.63	0.40
		ΔT	22	20	16	11	22	20	17	11	22	20	17	11	22	20	16	11	22	20	16	11	22	20	16	11	22	20	15	11
		kW	3.19	3.25	3.35	3.45	3.42	3.49	3.59	3.70	3.62	3.69	3.80	3.92	3.79	3.87	3.99	4.12	3.95	4.03	4.15	4.29	3.95	4.03	4.15	4.29	4.08	4.16	4.29	4.43
		Amps	11.7	12.0	12.4	12.9	12.7	13.0	13.4	13.9	13.8	14.1	14.6	15.1	14.7	15.1	15.6	16.2	15.7	16.1	16.6	17.2	15.7	16.1	16.6	17.2	16.6	17.0	17.6	18.3
		Hi PR	217	233	246	257	243	262	276	288	277	298	314	328	315	339	358	373	354	381	403	420	354	381	403	420	391	421	445	464
		Lo PR	105	112	122	130	111	118	129	138	116	123	134	143	122	129	141	150	127	136	148	158	127	136	148	158	132	140	153	163
		MBh	44.5	45.8	49.6	53.2	43.5	44.8	48.4	52.0	42.4	43.7	47.3	50.8	41.4	42.6	46.1	49.5	39.3	40.5	43.8	47.0	39.3	40.5	43.8	47.0	36.4	37.5	40.6	43.6
		S/T	0.84	0.75	0.57	0.36	0.87	0.77	0.59	0.38	0.89	0.79	0.60	0.39	0.92	0.82	0.62	0.40	0.95	0.85	0.64	0.41	0.95	0.85	0.64	0.41	0.96	0.86	0.65	0.42
		ΔT	21	20	16	11	22	20	16	11	22	20	16	11	22	20	16	11	21	20	16	11	21	20	16	11	20	18	15	10
		kW	3.26	3.33	3.42	3.53	3.50	3.57	3.68	3.79	3.70	3.78	3.90	4.02	3.89	3.97	4.09	4.22	4.04	4.13	4.26	4.39	4.04	4.13	4.26	4.39	4.18	4.26	4.40	4.54
		Amps	12.1	12.4	12.8	13.2	13.1	13.4	13.8	14.3	14.2	14.5	15.0	15.6	15.2	15.5	16.1	16.7	16.1	16.5	17.1	17.7	16.1	16.5	17.1	17.7	17.1	17.5	18.1	18.8
		Hi PR	223	240	254	265	251	270	285	297	285	307	324	338	325	349	369	385	365	393	415	433	365	393	415	433	404	434	459	478
		Lo PR	109	116	126	134	115	122	133	142	119	127	139	148	125	133	146	155	131	140	153	162	131	140	153	162	136	145	158	168
		MBh	45.8	47.2	51.1	54.8	44.8	46.1	49.9	53.6	43.7	45.0	48.7	52.3	42.6	43.9	47.5	51.0	40.5	41.7	45.1	48.5	40.5	41.7	45.1	48.5	37.5	38.6	41.8	44.9
		S/T	0.88	0.78	0.59	0.38	0.91	0.81	0.61	0.40	0.93	0.83	0.63	0.41	0.96	0.86	0.65	0.42	1.00	0.89	0.67	0.43	1.00	0.89	0.67	0.43	1.00	0.90	0.68	0.44
		ΔT	21	19	15	11	21	19	16	11	21	19	16	11	21	19	16	11	21	19	16	11	21	19	16	11	19	18	15	10
		kW	3.29	3.35	3.45	3.55	3.52	3.59	3.70	3.82	3.73	3.81	3.93	4.05	3.92	4.00	4.12	4.26	4.07	4.16	4.29	4.43	4.07	4.16	4.29	4.43	4.21	4.30	4.44	4.58
		Amps	12.2	12.5	12.9	13.4	13.2	13.5	13.9	14.5	14.3	14.7	15.1	15.7	15.3	15.7	16.2	16.8	16.3	16.7	17.2	17.9	16.3	16.7	17.2	17.9	17.3	17.7	18.3	19.0
		Hi PR	226	243	256	267	253	272	288	300	288	310	327	341	328	353	373	389	369	397	419	437	369	397	419	437	408	439	463	483
		Lo PR	110	117	127	136	116	123	135	143	120	128	140	149	127	135	147	157	133	141	154	164	133	141	154	164	137	146	159	170

IDB: Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.

Shaded area reflects ACCA (TVA) conditions

Amps = outdoor unit amps (comp-fan)
kW = Total system power

EXPANDED COOLING DATA — ASX130481** (CONT.)

		OUTDOOR AMBIENT TEMPERATURE											105											115										
		65			75			85			95			105			115																	
		ENTERING INDOOR WET BULB TEMPERATURE											105											115										
IDB	AIRFLOW	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71					
80	MBh	41.8	42.7	45.6	48.8	40.8	41.7	44.6	47.7	39.9	40.7	43.5	46.5	38.9	39.7	42.5	45.4	36.9	37.8	40.3	43.1	34.2	35.0	37.4	40.3	34.2	35.0	37.4	40.3					
	S/T	0.88	0.83	0.67	0.50	0.92	0.86	0.70	0.52	0.94	0.88	0.72	0.54	0.97	0.91	0.74	0.55	1.01	0.94	0.77	0.57	1.01	0.95	0.77	0.58	1.01	0.95	0.77	0.58					
	ΔT	24	23	20	16	25	24	20	16	25	24	20	16	25	24	21	16	24	23	20	16	23	22	19	15	23	22	19	15					
	kW	3.21	3.28	3.37	3.47	3.44	3.51	3.62	3.73	3.65	3.72	3.83	3.95	3.82	3.90	4.03	4.15	3.98	4.06	4.19	4.32	4.11	4.20	4.33	4.47	4.11	4.20	4.33	4.47					
	Amps	11.9	12.1	12.5	13.0	12.8	13.1	13.6	14.1	13.9	14.3	14.7	15.3	14.9	15.2	15.8	16.3	15.8	16.2	16.8	17.4	16.8	17.2	17.8	18.5	16.8	17.2	17.8	18.5					
	Hi PR	219	236	249	259	246	264	279	291	279	301	317	331	318	342	362	377	358	385	407	424	395	426	449	469	395	426	449	469					
	Lo PR	106	113	124	132	112	120	131	139	117	124	136	145	123	131	143	152	129	137	149	159	133	142	155	165	133	142	155	165					
	MBh	45.3	46.3	49.5	52.9	44.2	45.2	48.3	51.6	43.2	44.1	47.2	50.4	42.1	43.1	46.0	49.2	40.0	40.9	43.7	46.7	37.1	37.9	40.5	43.3	37.1	37.9	40.5	43.3					
	S/T	0.92	0.86	0.70	0.52	0.95	0.89	0.72	0.54	0.97	0.91	0.74	0.56	1.00	0.94	0.77	0.57	1.00	0.98	0.80	0.60	1.00	0.99	0.80	0.60	1.00	0.99	0.80	0.60					
	ΔT	24	23	20	16	24	23	20	16	24	23	20	16	24	23	20	16	23	23	20	16	21	21	19	15	21	21	19	15					
	kW	3.29	3.35	3.45	3.56	3.52	3.59	3.70	3.82	3.73	3.81	3.93	4.05	3.92	4.00	4.12	4.26	4.07	4.16	4.29	4.43	4.21	4.30	4.44	4.58	4.21	4.30	4.44	4.58					
	Amps	12.2	12.5	12.9	13.4	13.2	13.5	13.9	14.5	14.3	14.7	15.2	15.7	15.3	15.7	16.2	16.8	16.3	16.7	17.3	17.9	17.3	17.7	18.3	19.0	17.3	17.7	18.3	19.0					
Hi PR	226	243	256	267	253	272	288	300	288	310	327	341	328	353	373	389	369	397	419	437	408	439	463	483	408	439	463	483						
Lo PR	110	117	127	136	116	123	135	143	120	128	140	149	127	135	147	157	133	141	154	164	137	146	159	170	137	146	159	170						
85	MBh	46.7	47.7	50.9	54.4	45.6	46.6	49.7	53.2	44.5	45.5	48.6	51.9	43.4	44.3	47.4	50.6	41.2	42.1	45.0	48.1	38.2	39.0	41.7	44.6	38.2	39.0	41.7	44.6					
	S/T	0.96	0.90	0.73	0.55	1.00	0.93	0.76	0.57	1.00	0.96	0.78	0.58	1.00	0.94	0.80	0.60	1.00	0.98	0.83	0.62	1.00	1.00	0.84	0.63	1.00	1.00	0.84	0.63					
	ΔT	23	22	19	15	23	22	19	15	23	22	19	15	22	23	19	16	21	22	19	15	20	20	18	14	20	20	18	14					
	kW	3.31	3.38	3.48	3.58	3.55	3.62	3.73	3.85	3.76	3.84	3.96	4.08	3.95	4.03	4.16	4.29	4.11	4.19	4.33	4.47	4.24	4.33	4.47	4.62	4.24	4.33	4.47	4.62					
	Amps	12.3	12.6	13.0	13.5	13.3	13.6	14.1	14.6	14.4	14.8	15.3	15.9	15.4	15.8	16.4	17.0	16.4	16.8	17.4	18.1	17.4	17.9	18.5	19.2	17.4	17.9	18.5	19.2					
	Hi PR	228	245	259	270	256	275	291	303	291	313	331	345	331	356	376	393	373	401	423	442	412	443	468	488	412	443	468	488					
	Lo PR	111	118	129	137	117	125	136	145	122	129	141	151	128	136	148	158	134	143	156	166	139	147	161	171	139	147	161	171					
	MBh	42.5	43.4	45.4	48.5	41.5	42.4	44.4	47.3	40.6	41.3	43.3	46.2	39.6	40.3	42.2	45.1	37.6	38.3	40.1	42.8	34.8	35.5	37.2	39.7	34.8	35.5	37.2	39.7					
	S/T	0.93	0.89	0.81	0.65	0.96	0.93	0.84	0.68	0.98	0.95	0.86	0.70	1.00	0.98	0.88	0.72	1.00	1.00	0.92	0.74	1.00	1.00	0.93	0.75	1.00	1.00	0.93	0.75					
	ΔT	26	25	24	21	26	26	24	21	26	26	24	21	26	26	25	21	25	25	24	21	23	23	23	20	23	23	23	20					
	kW	3.24	3.30	3.40	3.50	3.47	3.54	3.65	3.76	3.67	3.75	3.86	3.99	3.85	3.94	4.06	4.19	4.01	4.09	4.22	4.36	4.14	4.23	4.36	4.50	4.14	4.23	4.36	4.50					
	Amps	12.0	12.2	12.6	13.1	12.9	13.2	13.7	14.2	14.0	14.4	14.9	15.4	15.0	15.4	15.9	16.5	16.0	16.4	16.9	17.6	16.9	17.4	17.9	18.6	16.9	17.4	17.9	18.6					
Hi PR	221	238	251	262	248	267	282	294	282	304	321	334	321	346	365	381	361	389	411	428	399	430	454	473	399	430	454	473						
Lo PR	108	114	125	133	114	121	132	140	118	126	137	146	124	132	144	153	130	138	151	161	134	143	156	166	134	143	156	166						
MBh	46.1	47.0	49.2	52.5	45.0	45.9	48.1	51.3	43.9	44.8	46.9	50.1	42.9	43.7	45.8	48.8	40.7	41.5	43.5	46.4	37.7	38.5	40.3	43.0	37.7	38.5	40.3	43.0						
S/T	0.96	0.93	0.84	0.68	1.00	0.96	0.87	0.70	1.00	0.98	0.89	0.72	1.00	1.00	0.92	0.74	1.00	1.00	0.95	0.77	1.00	1.00	0.96	0.78	1.00	1.00	0.96	0.78						
ΔT	25	25	24	20	26	25	24	21	25	25	24	21	25	25	24	21	23	24	24	21	22	22	22	19	22	22	22	19						
kW	3.31	3.38	3.48	3.58	3.55	3.62	3.73	3.85	3.76	3.84	3.96	4.08	3.95	4.03	4.16	4.29	4.11	4.19	4.33	4.47	4.24	4.33	4.47	4.62	4.24	4.33	4.47	4.62						
Amps	12.3	12.6	13.0	13.5	13.3	13.6	14.1	14.6	14.4	14.8	15.3	15.9	15.4	15.8	16.4	17.0	16.4	16.8	17.4	18.1	17.4	17.9	18.5	19.2	17.4	17.9	18.5	19.2						
Hi PR	228	245	259	270	256	275	291	303	291	313	331	345	331	356	376	393	373	401	423	442	412	443	468	488	412	443	468	488						
Lo PR	111	118	129	137	117	125	136	145	122	129	141	151	128	136	148	158	134	143	156	166	139	147	161	171	139	147	161	171						

Amps = outdoor unit amps (comp.+fan)
kW = Total system power

Shaded area reflects AHR1 conditions

IDB = Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.

IDB		OUTDOOR AMBIENT TEMPERATURE																								
		65				75				85				95				105				115				
		59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	
		ENTERING INDOOR WET BULB TEMPERATURE																								
70	1500	MBh	50.1	51.9	56.8	-	48.9	50.7	55.5	-	47.7	49.5	54.2	-	46.6	48.3	52.9	-	44.2	45.8	50.2	-	41.0	42.5	46.5	-
		S/T	0.67	0.56	0.39	-	0.69	0.58	0.40	-	0.71	0.59	0.41	-	0.73	0.61	0.42	-	0.76	0.64	0.44	-	0.77	0.64	0.44	-
		ΔT	21	18	13	-	21	18	14	-	21	18	14	-	21	18	14	-	21	18	14	-	19	17	13	-
		kW	3.87	3.95	4.07	-	4.16	4.24	4.38	-	4.41	4.50	4.65	-	4.63	4.73	4.89	-	4.82	4.93	5.09	-	4.99	5.10	5.26	-
		Amps	14.4	14.8	15.3	-	15.6	16.0	16.5	-	17.0	17.4	18.0	-	18.2	18.6	19.2	-	19.3	19.8	20.5	-	20.5	21.0	21.7	-
	HI PR	229	246	260	-	257	276	292	-	292	314	332	-	333	358	378	-	374	403	425	-	413	445	470	-	
	LO PR	101	108	118	-	107	114	125	-	111	119	129	-	117	125	136	-	123	130	142	-	127	135	147	-	
	MBh	54.2	56.2	61.6	-	53.0	54.9	60.1	-	51.7	53.6	58.7	-	50.4	52.3	57.3	-	47.9	49.7	54.4	-	44.4	46.0	50.4	-	
	S/T	0.69	0.58	0.40	-	0.72	0.60	0.42	-	0.74	0.62	0.43	-	0.76	0.64	0.44	-	0.79	0.66	0.46	-	0.80	0.66	0.46	-	
	ΔT	20	17	13	-	20	17	13	-	20	17	13	-	20	17	13	-	20	17	13	-	19	16	12	-	
	kW	3.96	4.04	4.17	-	4.26	4.35	4.48	-	4.52	4.62	4.76	-	4.75	4.85	5.01	-	4.95	5.05	5.22	-	5.12	5.23	5.40	-	
	Amps	14.8	15.2	15.7	-	16.1	16.4	17.0	-	17.5	17.9	18.5	-	18.7	19.1	19.8	-	19.9	20.4	21.1	-	21.1	21.6	22.4	-	
	HI PR	236	254	268	-	265	285	301	-	301	324	342	-	343	369	390	-	386	415	438	-	426	459	484	-	
	LO PR	105	111	122	-	111	118	128	-	115	122	133	-	121	128	140	-	126	135	147	-	131	139	152	-	
	MBh	55.9	57.9	63.4	-	54.6	56.5	62.0	-	53.3	55.2	60.5	-	52.0	53.9	59.0	-	49.4	51.2	56.1	-	45.7	47.4	51.9	-	
	S/T	0.73	0.61	0.42	-	0.75	0.63	0.44	-	0.77	0.65	0.45	-	0.80	0.67	0.46	-	0.83	0.69	0.48	-	0.83	0.70	0.48	-	
	ΔT	19	16	12	-	19	16	12	-	19	16	12	-	19	16	13	-	19	16	12	-	18	15	12	-	
	kW	3.99	4.07	4.20	-	4.29	4.38	4.52	-	4.56	4.65	4.80	-	4.79	4.89	5.05	-	4.99	5.10	5.26	-	5.16	5.27	5.44	-	
	Amps	15.0	15.3	15.8	-	16.2	16.6	17.2	-	17.6	18.1	18.7	-	18.9	19.3	20.0	-	20.1	20.6	21.3	-	21.3	21.8	22.6	-	
	HI PR	238	256	271	-	267	288	304	-	304	327	346	-	346	373	394	-	390	419	443	-	430	463	489	-	
	LO PR	106	112	123	-	112	119	130	-	116	123	135	-	122	130	142	-	128	136	148	-	132	141	153	-	
75	1500	MBh	50.9	52.4	56.7	60.9	49.7	51.2	55.4	59.5	48.5	50.0	54.1	58.1	47.3	48.8	52.8	56.6	45.0	46.3	50.1	53.8	41.7	42.9	46.4	49.8
		S/T	0.76	0.68	0.51	0.33	0.79	0.70	0.53	0.34	0.81	0.72	0.55	0.35	0.83	0.75	0.56	0.36	0.87	0.77	0.59	0.38	0.87	0.78	0.59	0.38
		ΔT	24	22	18	12	24	22	18	13	24	22	18	13	24	22	18	13	24	22	18	12	22	21	17	12
		kW	3.90	3.98	4.10	4.23	4.19	4.28	4.41	4.55	4.45	4.54	4.68	4.84	4.67	4.77	4.93	5.09	4.86	4.97	5.13	5.30	5.03	5.14	5.31	5.48
		Amps	14.6	14.9	15.4	16.0	15.8	16.1	16.7	17.3	17.1	17.6	18.1	18.8	18.3	18.8	19.4	20.2	19.5	20.0	20.7	21.5	20.7	21.2	21.9	22.8
	HI PR	231	249	263	274	259	279	295	307	295	317	335	350	336	362	382	398	378	378	407	430	448	418	449	475	495
	LO PR	103	109	119	127	108	115	126	134	113	120	131	139	118	126	137	146	124	124	132	144	153	128	136	149	159
	MBh	55.1	56.8	61.5	66.0	53.9	55.5	60.0	64.4	52.6	54.1	58.6	62.9	51.3	52.8	57.2	61.4	48.7	50.2	54.3	58.3	45.1	46.5	50.3	54.0	
	S/T	0.79	0.71	0.53	0.34	0.82	0.73	0.55	0.36	0.84	0.75	0.57	0.36	0.86	0.77	0.59	0.38	0.90	0.80	0.61	0.39	0.91	0.81	0.61	0.39	
	ΔT	23	21	17	12	23	21	17	12	23	21	17	12	23	21	18	12	23	21	17	12	21	20	16	11	
	kW	3.99	4.07	4.20	4.33	4.29	4.38	4.52	4.66	4.56	4.65	4.80	4.96	4.79	4.89	5.05	5.22	4.99	5.10	5.26	5.44	5.16	5.27	5.44	5.63	
	Amps	15.0	15.3	15.8	16.4	16.2	16.6	17.2	17.8	17.6	18.1	18.7	19.4	18.9	19.3	20.0	20.8	20.1	20.6	21.3	22.1	21.3	21.8	22.6	23.5	
	HI PR	238	256	271	282	267	288	304	317	304	327	346	360	346	373	394	411	390	419	443	462	431	463	489	510	
	LO PR	106	112	123	131	112	119	130	138	116	123	135	144	122	130	142	151	128	136	148	158	132	141	153	163	
	MBh	56.8	58.5	63.3	67.9	55.5	57.1	61.8	66.4	54.2	55.8	60.4	64.8	52.8	54.4	58.9	63.2	50.2	51.7	55.9	60.0	46.5	47.9	51.8	55.6	
	S/T	0.83	0.74	0.56	0.36	0.86	0.77	0.58	0.37	0.88	0.79	0.59	0.38	0.91	0.81	0.61	0.39	0.94	0.84	0.64	0.41	0.95	0.85	0.64	0.41	
	ΔT	22	20	16	11	22	20	16	11	22	20	16	11	22	20	17	11	22	20	16	11	20	19	15	11	
	kW	4.02	4.11	4.23	4.37	4.33	4.42	4.56	4.70	4.59	4.69	4.84	5.00	4.83	4.93	5.09	5.26	5.03	5.14	5.31	5.48	5.20	5.32	5.49	5.67	
	Amps	15.1	15.5	16.0	16.6	16.4	16.8	17.3	18.0	17.8	18.2	18.8	19.6	19.0	19.5	20.2	20.9	20.3	20.8	21.5	22.3	21.5	22.0	22.8	23.7	
	HI PR	241	259	274	285	270	291	307	320	307	331	349	364	350	376	398	415	394	424	447	466	435	468	494	515	
	LO PR	107	114	124	132	113	120	131	139	117	125	136	145	123	131	143	152	129	137	150	160	133	142	155	165	

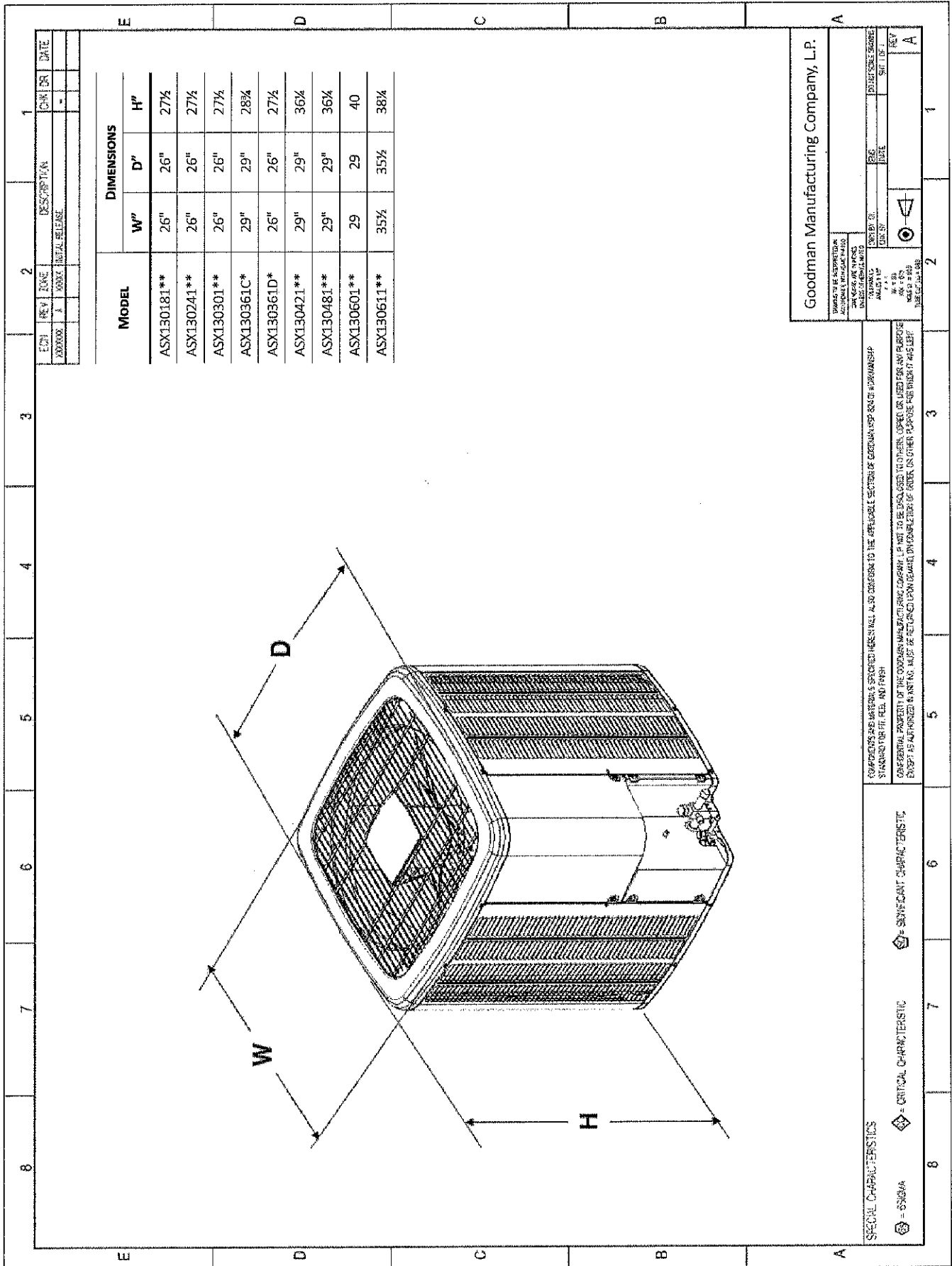
IDB: Entering Indoor Dry Bulb Temperature
 High and low pressures are measured at the liquid and suction service valves.
 Shaded area reflects ACCA (TVA) conditions
 Amps = outdoor unit amps (comp.+fan)
 kW = Total system power

EXPANDED COOLING DATA — ASX130611**

		OUTDOOR AMBIENT TEMPERATURE																															
		65					75					85					95					105					115						
IDB	AIRFLOW	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71				
1500	MBh	53.8	55.7	61.0	-	52.5	54.4	59.6	-	51.3	53.1	58.2	-	50.0	51.8	56.8	-	47.5	49.2	53.9	-	44.0	45.6	50.0	-								
	S/T	0.66	0.55	0.38	-	0.68	0.57	0.39	-	0.70	0.58	0.40	-	0.72	0.60	0.42	-	0.75	0.62	0.43	-	0.75	0.63	0.44	-								
	ΔT	22	19	14	-	22	19	14	-	22	19	14	-	22	19	14	-	22	19	14	-	20	18	13	-								
	kW	3.97	4.05	4.18	-	4.27	4.37	4.51	-	4.54	4.64	4.80	-	4.78	4.89	5.05	-	4.99	5.10	5.27	-	5.16	5.28	5.45	-								
	Amps	15.4	15.8	16.3	-	16.7	17.1	17.6	-	18.1	18.6	19.2	-	19.4	19.9	20.6	-	20.7	21.2	21.9	-	22.0	22.5	23.3	-								
	HI PR	228	245	259	-	256	275	291	-	291	313	331	-	331	357	377	-	373	401	424	-	412	443	468	-								
	LO PR	98	104	114	-	103	110	120	-	107	114	125	-	113	120	131	-	118	126	137	-	122	130	142	-								
70	MBh	55.4	57.4	62.9	-	54.1	56.1	61.4	-	52.8	54.7	59.9	-	51.5	53.4	58.5	-	48.9	50.7	55.6	-	45.3	47.0	51.5	-								
	S/T	0.69	0.57	0.40	-	0.71	0.60	0.41	-	0.73	0.61	0.42	-	0.75	0.63	0.44	-	0.78	0.65	0.45	-	0.79	0.66	0.46	-								
	ΔT	20	17	13	-	20	18	13	-	20	18	13	-	20	18	13	-	20	17	13	-	19	16	12	-								
	kW	4.00	4.09	4.21	-	4.31	4.40	4.54	-	4.58	4.68	4.84	-	4.82	4.93	5.09	-	5.03	5.14	5.31	-	5.20	5.32	5.50	-								
	Amps	15.5	15.9	16.4	-	16.8	17.2	17.8	-	18.3	18.8	19.4	-	19.6	20.1	20.8	-	20.9	21.4	22.2	-	22.2	22.7	23.5	-								
	HI PR	230	248	262	-	258	278	294	-	294	316	334	-	335	360	380	-	377	405	428	-	416	448	473	-								
	LO PR	99	105	115	-	104	111	121	-	108	115	126	-	114	121	132	-	119	127	139	-	124	131	143	-								
2000	MBh	55.6	57.7	63.2	-	54.3	56.3	61.7	-	53.0	55.0	60.2	-	51.8	53.6	58.8	-	49.2	51.0	55.8	-	45.5	47.2	51.7	-								
	S/T	0.70	0.58	0.40	-	0.72	0.60	0.42	-	0.74	0.62	0.43	-	0.77	0.64	0.44	-	0.79	0.66	0.46	-	0.80	0.67	0.46	-								
	ΔT	18	15	12	-	18	16	12	-	18	16	12	-	18	16	12	-	18	16	12	-	17	15	11	-								
	kW	4.03	4.12	4.25	-	4.34	4.44	4.58	-	4.62	4.72	4.88	-	4.86	4.97	5.13	-	5.07	5.18	5.36	-	5.25	5.37	5.55	-								
	Amps	15.7	16.0	16.6	-	17.0	17.4	18.0	-	18.5	18.9	19.6	-	19.8	20.3	21.0	-	21.1	21.6	22.4	-	22.4	22.9	23.7	-								
	HI PR	233	250	264	-	261	281	297	-	297	319	337	-	338	364	384	-	380	409	432	-	420	452	477	-								
	LO PR	100	106	116	-	105	112	122	-	110	117	127	-	115	122	134	-	121	128	140	-	125	133	145	-								

		OUTDOOR AMBIENT TEMPERATURE																															
		65					75					85					95					105					115						
IDB	AIRFLOW	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71	59	63	67	71				
1500	MBh	54.7	56.3	60.9	65.4	53.4	55.0	59.5	63.9	52.1	53.7	58.1	62.3	50.9	52.4	56.7	60.8	48.3	49.7	53.8	57.8	44.7	46.1	49.9	53.5								
	S/T	0.75	0.67	0.50	0.32	0.77	0.69	0.52	0.34	0.79	0.71	0.54	0.35	0.82	0.73	0.55	0.36	0.85	0.76	0.57	0.37	0.86	0.77	0.58	0.37								
	ΔT	25	23	19	13	25	23	19	13	25	23	19	13	26	23	19	13	25	23	19	13	23	22	18	12								
	kW	4.00	4.09	4.22	4.35	4.31	4.40	4.55	4.69	4.58	4.68	4.84	5.00	4.82	4.93	5.09	5.26	5.03	5.14	5.31	5.49	5.20	5.32	5.50	5.69								
	Amps	15.5	15.9	16.4	17.1	16.8	17.2	17.8	18.5	18.3	18.8	19.4	20.2	19.6	20.1	20.8	21.6	20.9	21.4	22.2	23.0	22.2	22.7	23.5	24.4								
	HI PR	230	248	262	273	258	278	294	306	294	316	334	348	335	360	380	397	377	405	428	446	416	448	473	493								
	LO PR	99	105	115	122	104	111	121	129	108	115	126	134	114	121	132	141	119	127	139	148	124	131	143	153								
75	MBh	56.3	58.0	62.7	67.3	55.0	56.6	61.3	65.8	53.7	55.3	59.8	64.2	52.4	53.9	58.4	62.6	49.8	51.2	55.5	59.5	46.1	47.5	51.4	55.1								
	S/T	0.78	0.70	0.53	0.34	0.81	0.72	0.55	0.35	0.83	0.74	0.56	0.36	0.86	0.77	0.58	0.37	0.89	0.80	0.60	0.39	0.90	0.80	0.61	0.39								
	ΔT	23	21	17	12	23	22	18	12	23	22	18	12	24	22	18	12	23	21	18	12	22	20	16	11								
	kW	4.03	4.12	4.25	4.39	4.34	4.44	4.58	4.73	4.62	4.72	4.88	5.04	4.86	4.97	5.14	5.31	5.07	5.18	5.36	5.54	5.25	5.37	5.55	5.74								
	Amps	15.7	16.1	16.6	17.2	17.0	17.4	18.0	18.7	18.5	18.9	19.6	20.3	19.8	20.3	21.0	21.8	21.1	21.6	22.4	23.2	22.4	22.9	23.7	24.7								
	HI PR	233	250	264	276	261	281	297	309	297	320	337	352	338	364	384	401	380	409	432	451	420	452	478	498								
	LO PR	100	106	116	123	105	112	122	130	110	117	127	136	115	122	134	142	121	128	140	149	125	133	145	154								
2000	MBh	56.6	58.3	63.1	67.7	55.3	56.9	61.6	66.1	53.9	55.5	60.1	64.5	52.6	54.2	58.7	63.0	50.0	51.5	55.7	59.8	46.3	47.7	51.6	55.4								
	S/T	0.79	0.71	0.54	0.35	0.82	0.73	0.56	0.36	0.84	0.75	0.57	0.37	0.87	0.78	0.59	0.38	0.90	0.81	0.61	0.39	0.91	0.81	0.62	0.40								
	ΔT	21	19	16	11	21	19	16	11	21	19	16	11	21	19	16	11	21	19	16	11	19	18	15	10								
	kW	4.06	4.15	4.28	4.42	4.38	4.48	4.62	4.77	4.66	4.76	4.92	5.08	4.90	5.01	5.18	5.35	5.11	5.23	5.40	5.59	5.29	5.41	5.59	5.78								
	Amps	15.8	16.2	16.7	17.4	17.1	17.6	18.1	18.8	18.7	19.1	19.8	20.5	20.0	20.5	21.2	22.0	21.3	21.8	22.6	23.5	22.6	23.2	24.0	24.9								
	HI PR	235	253	267	278	264	284	300	312	300	323	341	355	341	367	388	405	384	413	437	455	424	457	482	503								
	LO PR	101	107	117	125	106	113	124	132	111	118	129	137	116	124	135	144	122	130	141	151	126	134	146	156								

IDB: Entering Indoor Dry Bulb Temperature
High and low pressures are measured at the liquid and suction service valves.
Shaded area reflects ACCA (TVA) conditions
Amps = outdoor unit amps (comp.+fan)
kW = Total system power



REV	DATE	DESCRIPTION	CHK'D BY	DATE
000000	-	INITIAL RELEASE	-	-

Goodman Manufacturing Company, L.P.

APPROVED FOR EXPORT
 INTERNATIONAL TRADE
 UNITED STATES OF AMERICA

FORMALITY
 NUMBER
 DATE

EXPORTABLE GOODS
 SHIP DATE

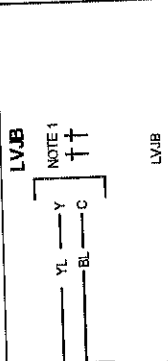
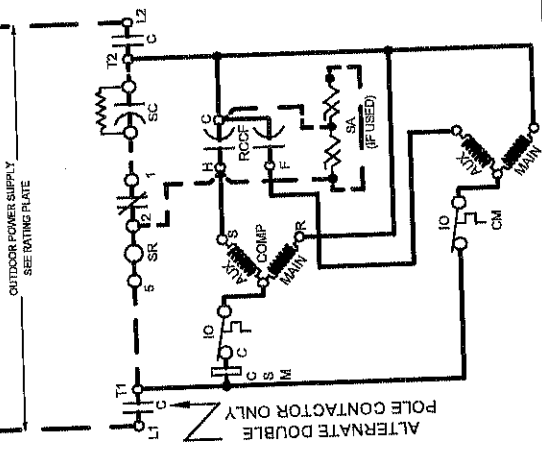
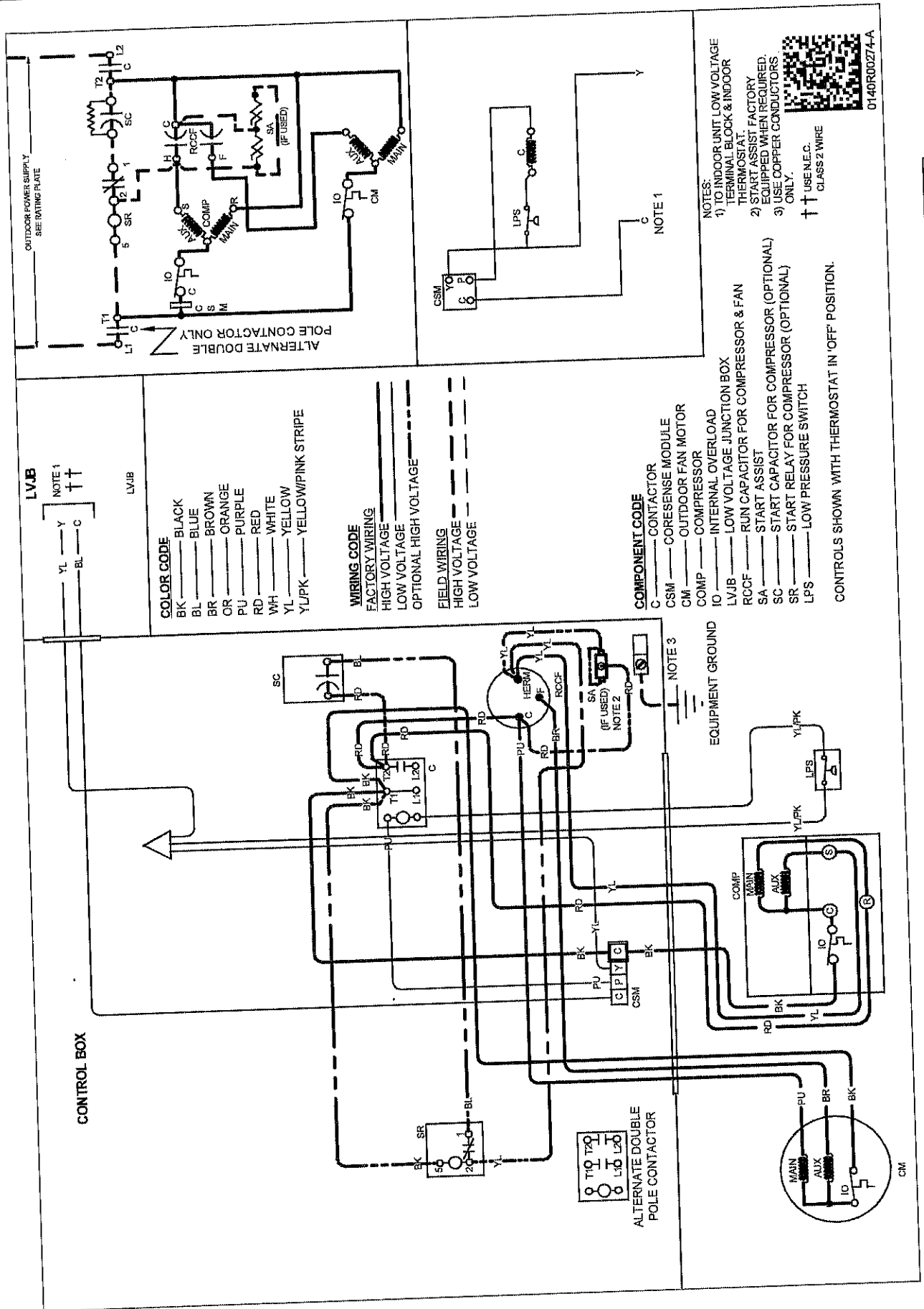
REV A

COMPONENTS AND MATERIALS SPECIFIED HEREIN WILL ALSO CONFORM TO THE APPLICABLE SECTION OF CANADIAN AND SOUTH AFRICAN STANDARDS FOR THE REEL AND PAPER.

CONSENT OF THE COPYRIGHT MANUFACTURING COMPANY IS NOT TO BE ASSUMED IN OTHERS, USED OR USED FOR ANY PURPOSE EXCEPT AS AUTHORIZED IN WRITING. MUST BE RETURNED UPON RECEIPT OF ORIGINAL OF ORDER. US OTHER PURPOSES PERMITTED AS LISTED.

SPECIAL CHARACTERISTICS

- ⊠ - GS/OMA
- ⊠ - CRITICAL CHARACTERISTIC
- ⊠ - SIGNIFICANT CHARACTERISTIC



- COLOR CODE**
- BK — BLACK
 - BL — BLUE
 - BR — BROWN
 - OR — ORANGE
 - PU — PURPLE
 - RD — RED
 - WH — WHITE
 - YL/PK — YELLOW/PINK STRIPE

- WIRING CODE**
- FACTORY WIRING
 - HIGH VOLTAGE
 - LOW VOLTAGE
 - OPTIONAL HIGH VOLTAGE
 - FIELD WIRING
 - HIGH VOLTAGE
 - LOW VOLTAGE

- COMPONENT CODE**
- C — CONTACTOR
 - CSM — CORE SENSE MODULE
 - CM — OUTDOOR FAN MOTOR
 - COMP — COMPRESSOR
 - IO — INTERNAL OVERLOAD
 - LVJB — LOW VOLTAGE JUNCTION BOX
 - RCOF — RUN CAPACITOR FOR COMPRESSOR & FAN
 - SA — START ASSIST
 - SC — START CAPACITOR FOR COMPRESSOR (OPTIONAL)
 - SR — START RELAY FOR COMPRESSOR (OPTIONAL)
 - LPS — LOW PRESSURE SWITCH

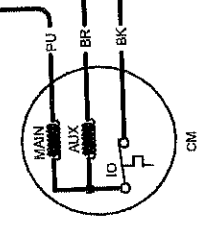
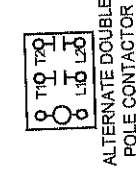
CONTROLS SHOWN WITH THERMOSTAT IN 'OFF' POSITION.

NOTES:
 1) TO INDOOR UNIT LOW VOLTAGE TERMINAL BLOCK & INDOOR THERMOSTAT.
 2) START ASSIST FACTORY EQUIPPED WHEN REQUIRED.
 3) USE COPPER CONDUCTORS ONLY.
 †† USE N.E.C. CLASS 2 WIRE



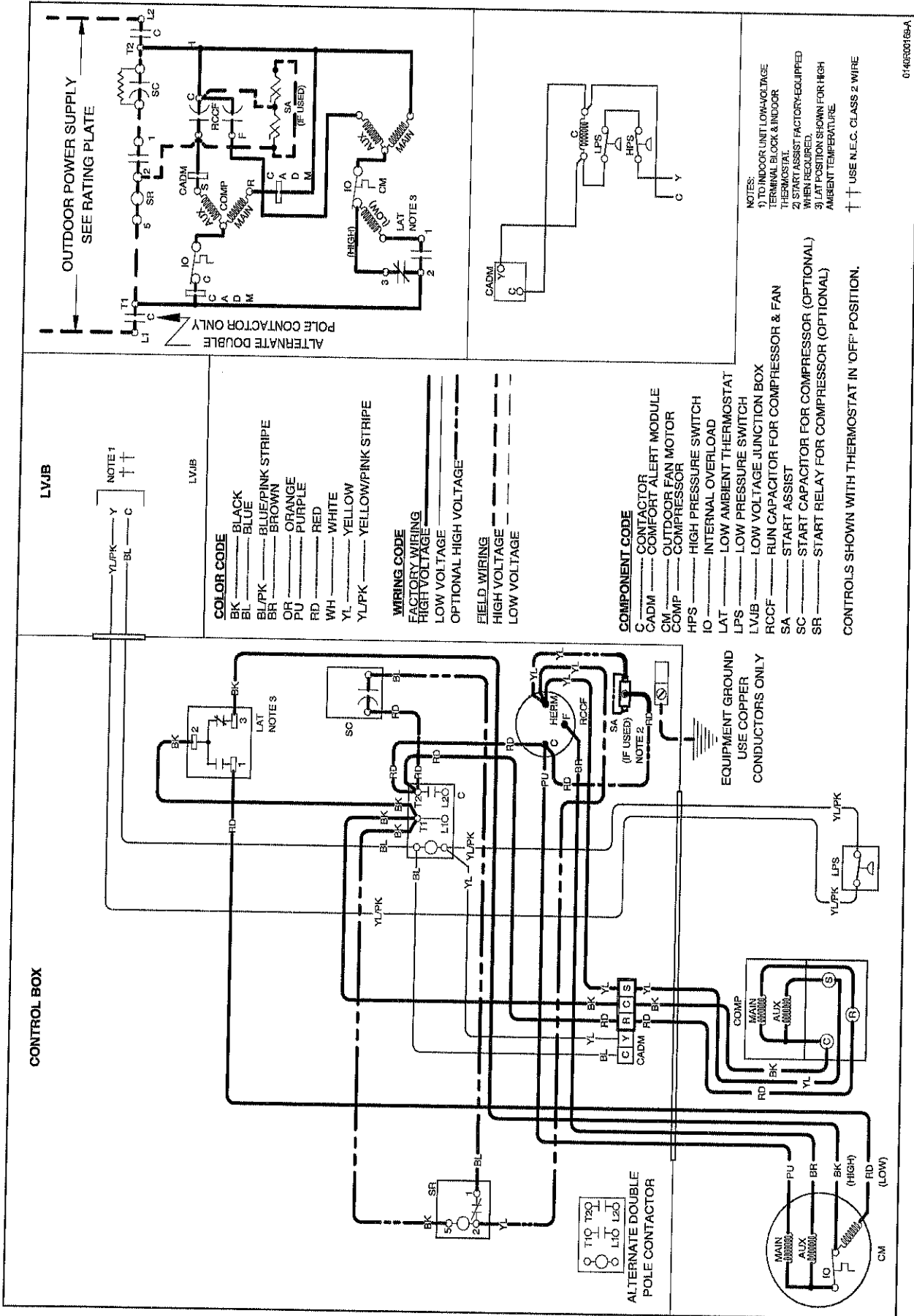
0140R000274-A

CONTROL BOX



WARNING
 High Voltage: Disconnect all power before servicing or installing this unit. Multiple power sources may be present. Failure to do so may cause property damage, personal injury, or death.

Wiring is subject to change. Always refer to the wiring diagram or the unit for the most up-to-date wiring.



MODEL	DESCRIPTION	ASX13 018*	ASX13 024*	ASX13 030*	ASX13 036*	ASX13 042*	ASX13 048*	ASX13 060*
ABK-20	Anchor Bracket Kit ⁰	X	X	X	X	X	X	X
ASC-01	Anti-Short Cycle Kit	X	X	X	X	X	X	X
CSR-U-1	Hard-start Kit	X	X	X	X	X	X	X
FSK01A ¹	Freeze Protection Kit	X	X	X	X	X	X	X
LAKT01A	Low-Ambient Kit	X	X	X	X	X	X	X
LSK01A	Liquid Line Solenoid Kit	X	X	X	X	X	X	X
OT18-60A	Outdoor Thermostat	X	X	X	X	X	X	X
TX2N4A ²	TXV Kit	X	X					
TX3N4 ²	TXV Kit			X	X			
TX5N4 ²	TXV Kit					X	X	X

⁰ Contains 20 brackets; four brackets needed to anchor unit to pad

¹ Installed on indoor coil

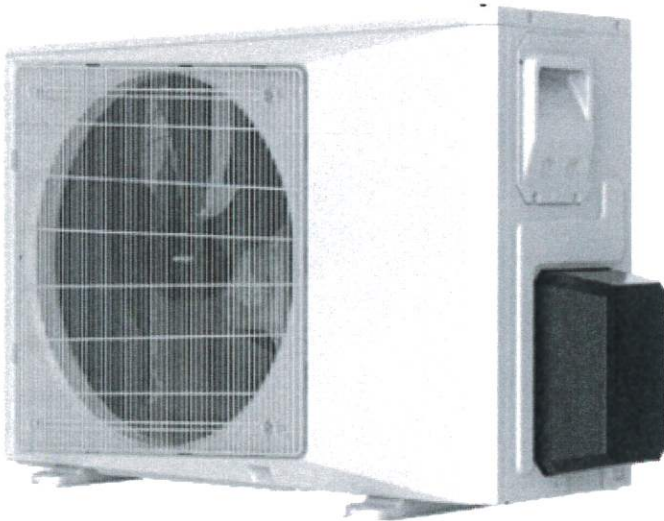
² Field-installed, non-bleed, expansion valve kit — Condensing units and heat pumps with reciprocating or rotary compressors require the use of start-assist components when used in conjunction with an indoor coil using a non-bleed thermal expansion valve refrigerant metering device or liquid line solenoid kit. The TXV should always be sized based on the tonnage of the outdoor unit.

All AHRI system ratings are accessible in the System Configurator tool via PartnerLink.

SUBMITTALS

Side-Discharge Condensing Unit

Rev. July 2020



UUC112WCDA
UUC118WCDA
UUC124WCDA
UUC130WCDA
UUC136WCDA
UUC148WCDA

Revision History

Rev. July 2020 - Submittal edition release.

SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

12,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER

UUC112WCDA

Job Name: _____

Purchaser: _____

Submitted To: _____

Construction: _____

Reference: _____

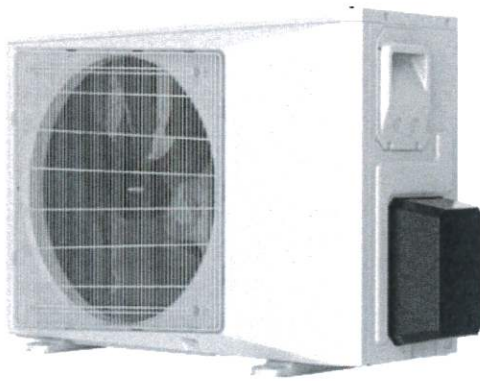
Approval: _____

Date: _____

Submitted By: _____

Unit: _____

Drawing #: _____



Specifications

	Compressor	Rotary
Uncrated Dimension (HxWxD)	21.9 x 33.5 x 13.6 in (555 x 850 x 345 mm)	
Crated (HxWxD)	24.5 x 36.0 x 15.0 in (622 x 915 x 380 mm)	
Outdoor Sound Rating dB	52	
Heat Exchanger Fin Type	Aluminum	
Weight (Net/Gross)	76.1/92.6 lbs	
Factory Refrigerant Charge	R-410A (3.1 lbs)	

Electrical Requirement

Power Supply	115V, 1 Phase, 60 HZ
Operating Voltage Range	103-127 VAC
Max. Fuse/Breaker Size	15A
MCA	11A

Operating Range

Cooling	15-115°F (-9-46°C)
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Cooling Performance

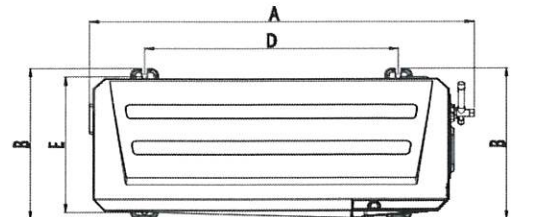
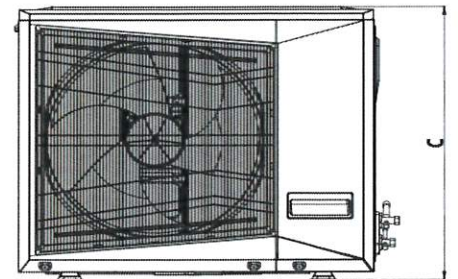
Rated Cooling Capacity	12,000 BTU
SEER	14
EER	12.0

Pipe Length

Minimum Pipe Length	10 ft
Maximum Pipe Length	82 ft
Maximum Pipe Height Difference	33 ft
Braze Connection	1/4"(Discharge) 1/2"(Suction)

Dimensions (In.)

A	B	C	D	E
33.5	13.6	21.9	20.0	11.0



Notice: Federal law allows this unit to be installed only in AK, CO, CT, ID, IL, IA, IN, KS, MA, ME, MI, MN, MO, MT, ND, NE, NH, NJ, NY, OH, OR, PA, RI, SD, UT, VT, WA, WV, WI, WY, and U.S. territories.

SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

12,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER UUC112WCDA

COOLING CAPACITY DATA

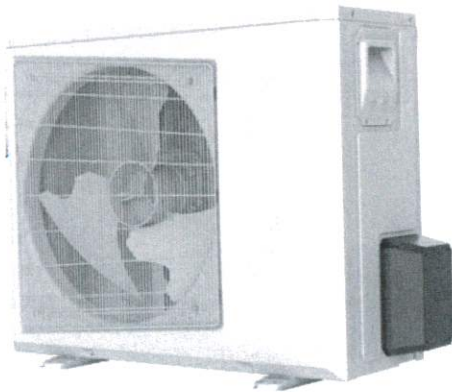
Outdoor Air Temp DB	Indoor Set Temperature					
	70°F (21°C)		75°F (24°C)		80°F (27°C)	
	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)
65°F (18°C)	11950	770	13000	780	14060	795
75°F (24°C)	11550	805	12550	815	13580	830
85°F (29°C)	11100	870	12050	885	13000	900
95°F (35°C)	10550	965	11300	980	12180	995
105°F (41°C)	9950	1065	10550	1080	11290	1097
115°F (46°C)	9300	1170	9750	1185	10300	1203

SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

18,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER UUC118WCDA

Job Name: _____
 Purchaser: _____
 Submitted To: _____
 Construction: _____
 Reference: _____

Approval: _____
 Date: _____
 Submitted By: _____
 Unit: _____
 Drawing #: _____

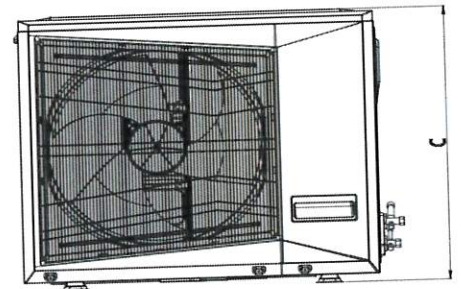


Specifications	
Compressor	Rotary
Uncrated Dimension (HxWxD)	27.6 x 36.0 x 15.0 in (702 x 914 x 382 mm)
Crated (HxWxD)	30.8 x 38.4 x 16.5 in (782 x 975 x 420 mm)
Outdoor Sound Rating dB	55
Heat Exchanger Fin Type	Aluminum
Weight (Net/Gross)	105.8/123.5 lbs
Factory Refrigerant Charge	R-410A (4.7 lbs)

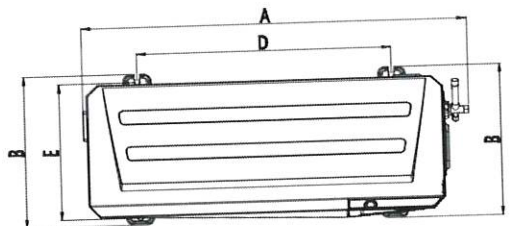
Electrical Requirement	
Power Supply	208-230V, 1 Phase, 60 HZ
Operating Voltage Range	187-253 VAC
Max. Fuse/Breaker Size	15A
MCA	10A

Dimensions (In.)				
A	B	C	D	E
36.0	15.0	27.6	21.4	12.8

Operating Range	
Cooling	15-115°F (-9-46°C)



Cooling Performance	
Rated Cooling Capacity	17,500 BTU
SEER	14.5
EER	12.0



Pipe Length	
Minimum Pipe Length	10 ft
Maximum Pipe Length	82 ft
Maximum Pipe Height Difference	33 ft
Braze Connection	1/4"(Discharge) 1/2"(Suction)



Notice: Federal law allows this unit to be installed only in AK, AL, AR, CO, CT, DC, DE, FL, GA, HI, ID, IL, IA, IN, KS, KY, LA, MA, ME, MD, MI, MN, MO, MS, MT, NC, ND, NE, NH, NJ, NY, OH, OR, PA, RI, SC, SD, TN, TX, UT, VA, VT, WA, WV, WI, WY, AND U.S. territories

SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

18,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER UUC118WCDA

COOLING CAPACITY DATA

Outdoor Air Temp DB	Indoor Set Temperature					
	70°F (21°C)		75°F (24°C)		80°F (27°C)	
	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)
65°F (18°C)	17700	1150	19450	1170	21200	1190
75°F (24°C)	17200	1210	18700	1230	20200	1250
85°F (29°C)	16600	1310	17900	1330	19100	1350
95°F (35°C)	15950	1455	17150	1475	18000	1495
105°F (41°C)	15250	1595	16000	1615	16750	1635
115°F (46°C)	14200	1730	14700	1755	15550	1775

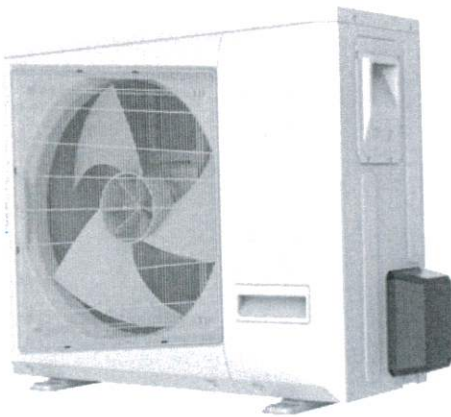
SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

24,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER

UUC124WCDA

Job Name: _____
 Purchaser: _____
 Submitted To: _____
 Construction: _____
 Reference: _____

Approval: _____
 Date: _____
 Submitted By: _____
 Unit: _____
 Drawing #: _____

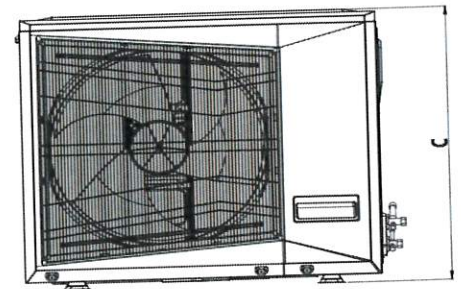


Specifications	
Compressor	Rotary
Uncrated Dimension (HxWxD)	31.9 x 40.0 x 17.5 in (810 x 1015 x 445 mm)
Crated (HxWxD)	38.4 x 42.3 x 19.5 in (975 x 1075 x 495 mm)
Outdoor Sound Rating dB	59
Heat Exchanger Fin Type	Aluminum
Weight (Net/Gross)	125.7/169.7 lbs
Factory Refrigerant Charge	R-410A (6.1 lbs)

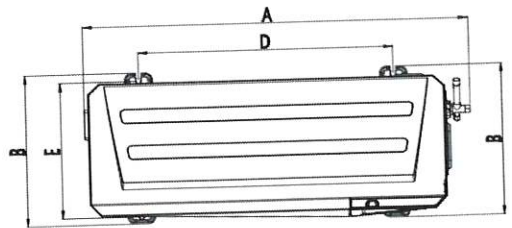
Electrical Requirement	
Power Supply	208-230V, 1 Phase, 60 HZ
Operating Voltage Range	187-253 VAC
Max. Fuse/Breaker Size	15A
MCA	12A

Dimensions (In.)				
A	B	C	D	E
40.0	17.5	31.9	26.4	15.2

Operating Range	
Cooling	15-115°F (-9-46°C)



Cooling Performance	
Rated Cooling Capacity	23,400 BTU
SEER	14.5
EER	12.0



Pipe Length	
Minimum Pipe Length	10 ft
Maximum Pipe Length	82 ft
Maximum Pipe Height Difference	33 ft
Braze Connection	3/8" (Discharge) 5/8" (Suction)



Notice: Federal law allows this unit to be installed only in AK, AL, AR, CO, CT, DC, DE, FL, GA, HI, ID, IL, IA, IN, KS, KY, LA, MA, ME, MD, MI, MN, MO, MS, MT, NC, ND, NE, NH, NJ, NY, OH, OR, PA, RI, SC, SD, TN, TX, UT, VA, VT, WA, WV, WI, WY, AND U.S. territories

SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

24,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER UUC124WCDA

COOLING CAPACITY DATA

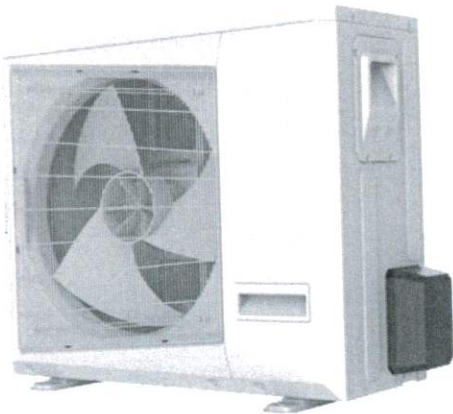
Outdoor Air Temp DB	Indoor Set Temperature					
	70°F (21°C)		75°F (24°C)		80°F (27°C)	
	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)
65°F (18°C)	22500	1460	24700	1485	26950	1510
75°F (24°C)	22000	1540	24150	1585	26150	1625
85°F (29°C)	21300	1680	23400	1720	25150	1760
95°F (35°C)	20400	1845	22400	1885	23800	1925
105°F (41°C)	19000	2010	20700	2050	21900	2090
115°F (46°C)	17500	2180	18800	2220	19750	2260

SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

30,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER UUC130WCDA

Job Name: _____
 Purchaser: _____
 Submitted To: _____
 Construction: _____
 Reference: _____

Approval: _____
 Date: _____
 Submitted By: _____
 Unit: _____
 Drawing #: _____

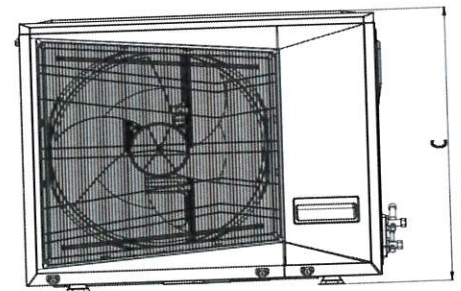


Specifications	
Compressor	Rotary
Uncrated Dimension (HxWxD)	31.9 x 40.0 x 17.5 in (810 x 1015 x 445 mm)
Crated (HxWxD)	38.4 x 42.3 x 19.5 in (975 x 1075 x 495 mm)
Outdoor Sound Rating dB	59
Heat Exchanger Fin Type	Aluminum
Weight (Net/Gross)	141.1/187.4 lbs
Factory Refrigerant Charge	R-410A (7.3 lbs)

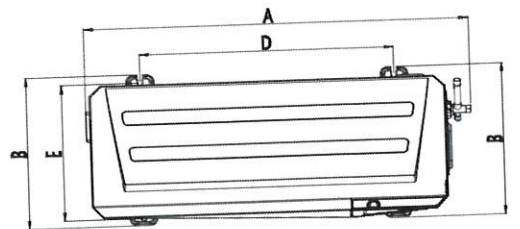
Electrical Requirement	
Power Supply	208-230V, 1 Phase, 60 HZ
Operating Voltage Range	187-253 VAC
Max. Fuse/Breaker Size	20A
MCA	14A

Dimensions (In.)				
A	B	C	D	E
40.0	17.5	31.9	26.4	15.2

Operating Range	
Cooling	15-115°F (-9-46°C)



Cooling Performance	
Rated Cooling Capacity	28,600 BTU
SEER	14.5
EER	12.0



Pipe Length	
Minimum Pipe Length	10 ft
Maximum Pipe Length	82 ft
Maximum Pipe Height Difference	33 ft
Braze Connection	3/8" (Discharge) 3/4" (Suction)



Notice: Federal law allows this unit to be installed only in AK, AL, AR, CO, CT, DC, DE, FL, GA, HI, ID, IL, IA, IN, KS, KY, LA, MA, ME, MD, MI, MN, MO, MS, MT, NC, ND, NE, NH, NJ, NY, OH, OR, PA, RI, SC, SD, TN, TX, UT, VA, VT, WA, WV, WI, WY, AND U.S. territories

SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

30,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER

UUC130WCDA

COOLING CAPACITY DATA

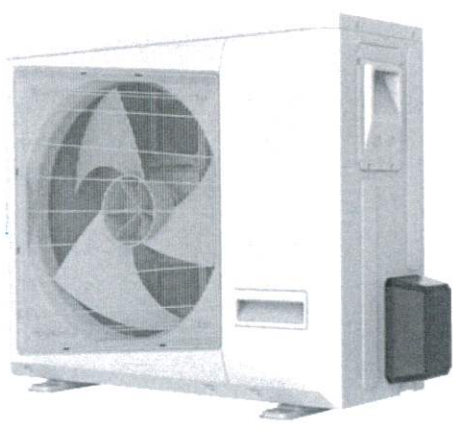
Outdoor Air Temp DB	Indoor Set Temperature					
	70°F (21°C)		75°F (24°C)		80°F (27°C)	
	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)
65°F (18°C)	29000	1870	31800	1900	34400	1930
75°F (24°C)	28200	1980	30900	2020	33200	2060
85°F (29°C)	27200	2140	29750	2180	31700	2220
95°F (35°C)	26150	2350	28600	2390	30000	2430
105°F (41°C)	24800	2620	27000	2660	28100	2700
115°F (46°C)	23200	2890	25200	2930	26150	2970

SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

36,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER UUC136WCDA

Job Name: _____
 Purchaser: _____
 Submitted To: _____
 Construction: _____
 Reference: _____

Approval: _____
 Date: _____
 Submitted By: _____
 Unit: _____
 Drawing #: _____



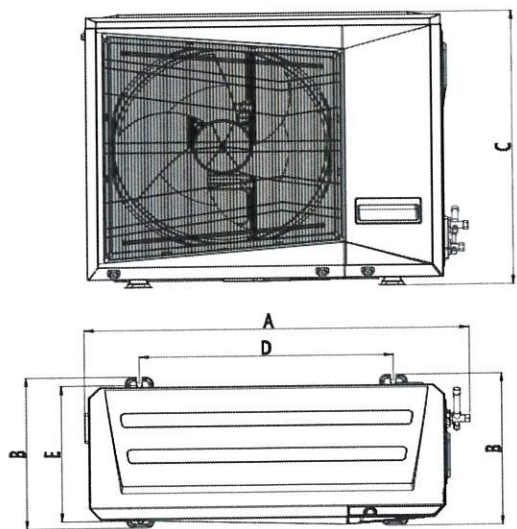
Specifications	
Compressor	Rotary
Uncrated Dimension (HxWxD)	31.9 x 40.0 x 17.5 in (810 x 1015 x 445 mm)
Crated (HxWxD)	38.4 x 42.3 x 19.5 in (975 x 1075 x 495 mm)
Outdoor Sound Rating dB	59
Heat Exchanger Fin Type	Aluminum
Weight (Net/Gross)	141.1/187.4 lbs
Factory Refrigerant Charge	R-410A (7.3 lbs)

Electrical Requirement	
Power Supply	208-230V, 1 Phase, 60 HZ
Operating Voltage Range	187-253 VAC
Max. Fuse/Breaker Size	25A
MCA	16A

Dimensions (In.)				
A	B	C	D	E
40.0	17.5	31.9	26.4	15.2

Operating Range	
Cooling	15-115°F (-9-46°C)

Cooling Performance	
Rated Cooling Capacity	34,000 BTU
SEER	14.5
EER	12.0



Pipe Length	
Minimum Pipe Length	10 ft
Maximum Pipe Length	82 ft
Maximum Pipe Height Difference	33 ft
Braze Connection	3/8" (Discharge) 3/4" (Suction)



Notice: Federal law allows this unit to be installed only in AK, AL, AR, CO, CT, DC, DE, FL, GA, HI, ID, IL, IA, IN, KS, KY, LA, MA, ME, MD, MI, MN, MO, MS, MT, NC, ND, NE, NH, NJ, NY, OH, OK, OR, PA, RI, SC, SD, TN, TX, UT, VA, VT, WA, WV, WI, WY, AND U.S. territories

SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

36,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER

UUC136WCDA

COOLING CAPACITY DATA

Outdoor Air Temp DB	Indoor Set Temperature					
	70°F (21°C)		75°F (24°C)		80°F (27°C)	
	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)
65°F (18°C)	33350	2160	36550	2195	39800	2230
75°F (24°C)	32600	2320	35600	2355	38600	2390
85°F (29°C)	31750	2540	34500	2575	37000	2610
95°F (35°C)	30850	2795	33000	2830	34800	2865
105°F (41°C)	29600	3090	31200	3120	32500	3150
115°F (46°C)	28100	3405	29000	3435	30150	3465

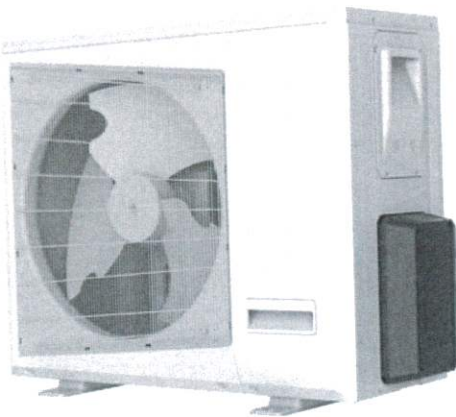
SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

48,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER

UUC148WCDA

Job Name: _____
 Purchaser: _____
 Submitted To: _____
 Construction: _____
 Reference: _____

Approval: _____
 Date: _____
 Submitted By: _____
 Unit: _____
 Drawing #: _____



Specifications	
Compressor	Scroll
Uncrated Dimension (HxWxD)	34.25 x 43.31 x 20.79 in (870 x 1100 x 528 mm)
Crated (HxWxD)	40.6 x 45.0 x 21.5 in (1030 x 1145 x 545 mm)
Outdoor Sound Rating dB	64
Heat Exchanger Fin Type	Aluminum
Weight (Net/Gross)	198.4/248 lbs
Factory Refrigerant Charge	R-410A (8.8 lbs)

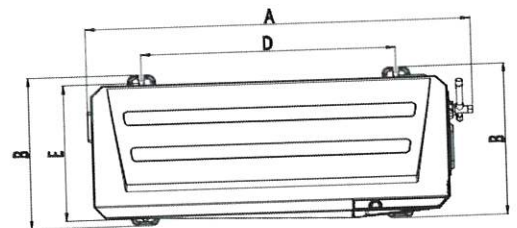
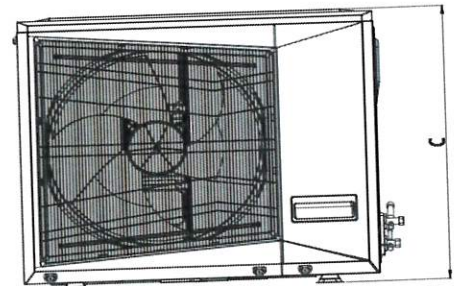
Electrical Requirement	
Power Supply	208-230V, 1 Phase, 60 HZ
Operating Voltage Range	187-253 VAC
Max. Fuse/Breaker Size	40A
MCA	26A

Dimensions (In.)				
A	B	C	D	E
43.3	20.8	34.3	25.0	17.4

Operating Range	
Cooling	15-115°F (-9-46°C)

Cooling Performance	
Rated Cooling Capacity	46,000 BTU
SEER	14
EER	11.7

Pipe Length	
Minimum Pipe Length	10 ft
Maximum Pipe Length	98 ft
Maximum Pipe Height Difference	49 ft
Braze Connection	3/8" (Discharge) 3/4" (Suction)



Notice: Federal law allows this unit to be installed only in AK, AL, AR, CO, CT, DC, DE, FL, GA, HI, ID, IL, IA, IN, KS, KY, LA, MA, ME, MD, MI, MN, MO, MS, MT, NC, ND, NE, NH, NJ, NY, OH, OR, PA, RI, SC, SD, TN, TX, UT, VA, VT, WA, WV, WI, WY, AND U.S. territories

SIDE-DISCHARGE AIR CONDITIONER SUBMITTAL

48,000 BTU 14 SEER SIDE-DISCHARGE AIR CONDITIONER

UUC148WCDA

COOLING CAPACITY DATA

Outdoor Air Temp DB	Indoor Set Temperature					
	70°F (21°C)		75°F (24°C)		80°F (27°C)	
	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)	Total Capacity (Btu/h)	Power Usage (w)
65°F (18°C)	46000	3170	50950	3195	55900	3230
75°F (24°C)	45200	3455	49600	3490	54100	3525
85°F (29°C)	44200	3800	48000	3835	52050	3870
95°F (35°C)	43000	4190	46100	4225	49650	4260
105°F (41°C)	41500	4630	44000	4665	47000	4700
115°F (46°C)	39700	5115	41500	5150	44100	5185

AMBIT ENGINEERING, INC.
Civil Engineers & Land Surveyors
200 Elmwood Ave., Suite 7-14
Portsmouth, N.H. 03801
Tel: (603) 438-8212
Fax: (603) 438-8212

NOTES:

- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 113 AS LOT 28-1.
- OWNER OF RECORD:
11. INDUSTRIAL WAY
SHELBY, NH 03077
- PARCEL IS NOT IN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA PANEL 3301500229E. EFFECTIVE DATE MAY 17, 2002.
- EXISTING LOT AREA:
LOT 28-1:
0.144 ACRES
- PARCEL IS LOCATED IN THE GENERAL RESIDENCE A (GR) ZONING DISTRICT.
- DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 7500 S.F.
MIN. FRONT SETBACK: 30 FEET
MIN. SIDE SETBACK: 15 FEET
MIN. REAR SETBACK: 15 FEET
MAXIMUM STRUCTURE HEIGHT: 32'-0" FEET
MAXIMUM BUILDING COVERAGE: 25%
MINIMUM OPEN SPACE: 50%
- THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED DWELLING (CURRENTLY UNDER CONSTRUCTION) AND TO BE REVIEWED ON TAX MAP 113 LOT 28-1 IN THE CITY OF PORTSMOUTH.
- PROPERTY IS SUBJECT TO CONDITIONS AND RESTRICTIONS CONTAINED IN R.C.L.D. 583/212 & 589/19A.
- PLANS BASED ON ARCHITECTURAL DESIGN BY OSULIAN ARCHITECTS, INC.

**PROPOSED RESIDENCE
227 ELWYN AVENUE
PORTSMOUTH, N.H.**

NO.	ISSUES FOR COMMENT	DATE
0	ISSUES FOR COMMENT	1/25/21
REVISIONS		DATE

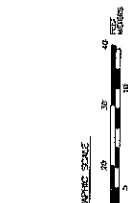
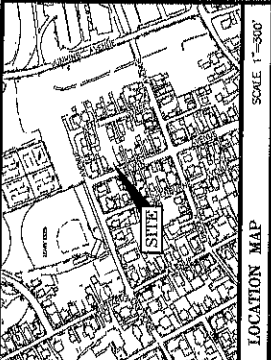
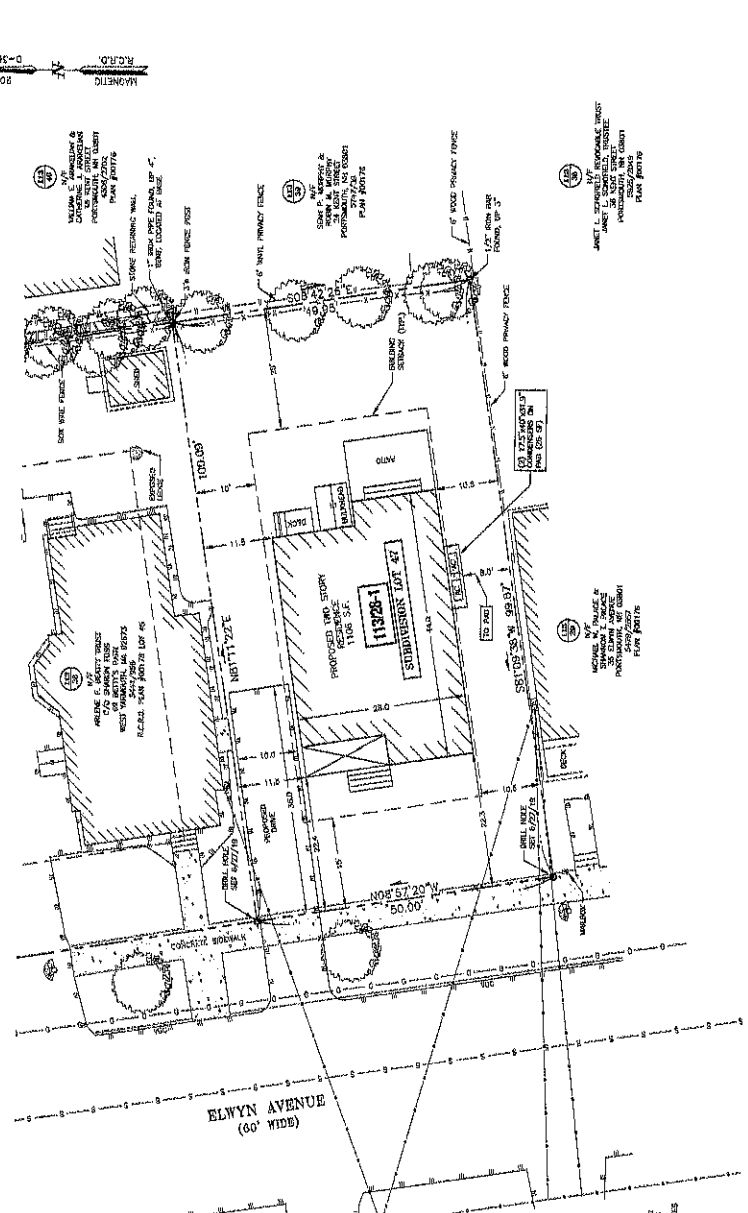
SCALE: 1" = 10'
VARIANCE APPLICATION
PLAN
JANUARY 2021
CI

**PROPOSED OPEN SPACES
AREA (S.F.)**

RESERVE WALK	1,150
DECK	25
STAIRS	12
SCREENED PORCH	140
BULKHEAD	39
SHEDWALK	26
CONCRETE PAD	26
TOTAL COVERAGE	1,532
PERCENT OPEN SPACE	4.59%
PERMITS REQUIRED	63.2%

**PROPOSED BUILDING
COVERAGE AREA**

RESIDENCE	1,796
SCREENED PORCH	140
DECK	25
TOTAL (S.F.)	1,961
LOT AREA (S.F.)	12,580
COVERAGE (%)	24.2%



I, CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AS THE ENGINEER AM A FIELD MEMBER IN GOOD STANDING OF THE PROFESSION OF PROFESSIONAL ENGINEERS AND ARCHITECTS OF THE STATE OF NEW HAMPSHIRE AND I CONSENT TO THE PRESCRIPTION OF THIS PLAN.
DATE: 1/25/21
PAUL A. DOBBERSON, P.E.

APPROVED BY THE PORTSMOUTH ZONING BOARD
CHAIRMAN: _____
DATE: _____

10/25/2021
10/25/2021
10/25/2021
10/25/2021
10/25/2021

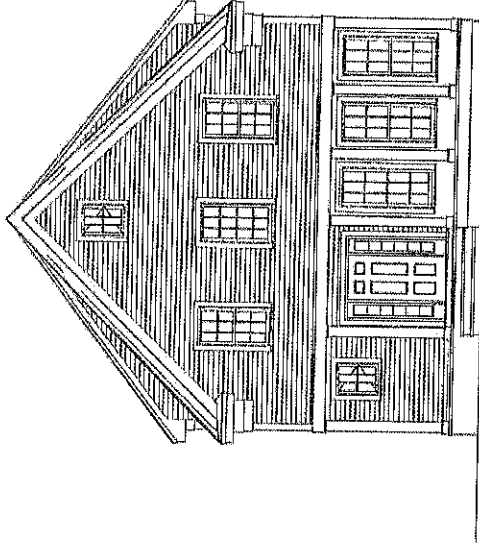
21B Elwyn Ave

Portsmouth, NH



DRAWING LIST

- G1 GENERAL NOTES
- G2 OUTLINE SPECIFICATIONS
- A1 FOUNDATION & RADON PLAN
- A2 FLOOR PLANS
- A3 ELEVATIONS
- A4 ELEVATIONS
- A5 SECTIONS
- A6 SECTIONS
- A7 DETAILS
- A8 FRAMING PLANS



ARCHITECT
O'SULLIVAN ARCHITECTS
606 MAIN STREET, SUITE 3001
READING, MA 01867-3009
Voice: (781) 439-6166
Fax: (781) 439-6170

DEVELOPER
SAI BUILDERS, LLC
12 INDUSTRIAL WAY
SALEM, NH
Voice (603) 421-0470

SITE ENGINEER
AMBIT ENGINEERING, INC.
200 GRIFFIN RD - UNIT 3
PORTSMOUTH, NH 03801
Voice (603) 430-9282
Fax (603) 436-2315



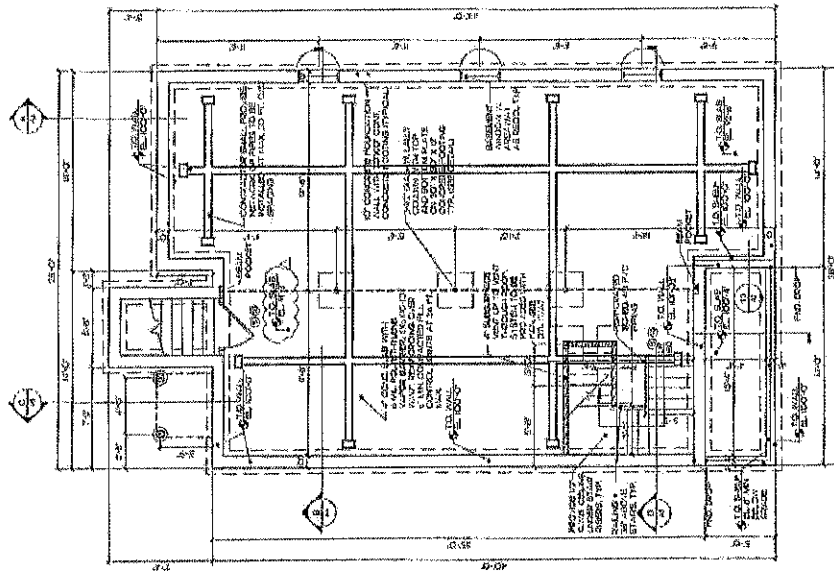
PERMIT SET - 10/04/19

GENERAL NOTES

1. FOUNDATIONS
 A) ALL FOOTINGS SHALL BE SET ON UNWEATHERED SOIL HAVING A MINIMUM BEARING CAPACITY OF 5000 PSF (POUNDS PER SQUARE FOOT).
 B) THE BOTTOM ELEVATION OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 4'-0" BELOW FINISH GRADE. LOWER FOOTINGS AS REQUIRED TO REACH ACCEPTABLE BEARINGS.
 C) THOROUGHLY COMPACT THE BOTTOM OF EXCAVATIONS PRIOR TO FORMING FOOTINGS.
 D) ALL FOUNDATION WALLS SHALL BE BACKFILLED EVENLY ON BOTH SIDES TO PREVENT UNBALANCED LOADINGS.
 E) ALL BACKFILL USED INSIDE THE BUILDING SHALL BE WELL GRADED SCAVEL THROUGHOUT COMPACTED IN 6" LAYERS. THE MATERIAL MAY BE USED IF ACCEPTABLE TO THE GEOTECHNICAL ENGINEER.
 F) ALL CONCRETE SHALL BE PLACED IN DRY EXCAVATIONS, PUMP AWAY GROUND WATER AS REQUIRED.
 G) FOR CONSTRUCTION DURING WINTER, FOOTINGS AND FLOOR SLABS WILL REQUIRE PROTECTION FROM FREEZING TEMPERATURES AT THE BEARING SURFACES UNTIL THE BUILDING IS ENCLOSED AND HEATED.
2. CONCRETE
 A) ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI AT 28 DAYS.
 B) MAXIMUM ALLOWABLE SLUMP OF CONCRETE SHALL NOT EXCEED 4".
 C) ALL CONCRETE WORK SHALL COMPLY WITH A.C.I. SPECIFICATIONS.
3. REINFORCING STEEL
 A) ALL REINFORCING STEEL SHALL BE ASTM A636, GRADE 60 AND SHALL BE DETACHED FROM WALLS AND INSTALLED IN ACCORDANCE WITH THE LATEST A.C.I. SPECIFICATIONS.
 B) WELDED WIRE FABRIC (W.W.F.) SHALL BE ASTM A-65. LAP ALL SPICES AT MINIMUM SECURELY FASTEN W.W.F. IN PLACE TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT.
 C) ALL HORIZONTAL RODS ARE CONTINUOUS, THE LENGTH OF ALL LAP SPICES SHALL BE AS REQUIRED FOR CLASS B TENSION SPICES PER THE LATEST A.C.I. CODE REQUIREMENTS UNLESS OTHERWISE NOTED ON THE CONTRACT DRAWINGS. PROVIDE CORNER RODS AS DETAILED ON THE CONTRACT DRAWINGS.
 D) PROVIDE A CLEAR COVER FROM REINFORCING STEEL TO ADJACENT CONCRETE SURFACES AS FOLLOWS:
 PIERES AND WALLS: 1 1/2" (EXCEPT 2" AT #4 AND LARGER BARS) BOTTOM OF FOOTING: 3"
 THESE DIMENSIONS SHALL BE CONSIDERED ACTUAL AND ARE NOT TO BE ADJUSTED IN EITHER DIRECTION.
 E) ALL REINFORCING RODS AND WIRE SHALL BE ENCLOSED IN PROPER POSITION ON CHAIRS OR SPACERS AS MANUFACTURED BY RICHMOND SCREEN/ANCOR CO. OR APPROVED EQUAL.

FOOTING NOTES



1. ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED.
2. PROVIDE "40" CONCRETE POLI. (SEE SECTIONS)
3. TOP OF MAIN FOUNDATION WALL ASSUMED TO BE 100'-0".
4. FOOTING ELEVATIONS REPRESENT A MINIMUM ALLOWABLE SETBACK. FOOTINGS MUST BE PLACED ON UNWEATHERED SOIL OR COMPACTED FILL BUT IN NO CASE LESS THAN THE FOOT LINE DEPTH. 4'-0" MIN. CONTRACTOR TO VERIFY SOIL CONDITIONS UNDER ALL FOOTINGS.




Basement Plan
Rev. 10/14

UNDERGROUND RADON GAS VENT SYSTEM

1. GO TO PROVIDE NETWORK OF PIPES TO BE INSTALLED AT MAX 20' SPACING EACH WAY
2. AN INDEPENDENT SYSTEM IS REQUIRED FOR EACH UNIT. COMPLETE WITH INDIVIDUAL VENT STACKS THROUGH TO THE ROOF FOR EACH UNIT
3. NETWORK OF PIPES TO BE REFORCATED SOLED #20 PVC PIPING. REFER TO DETAILS


	O'SULLIVAN ARCHITECTS, INC. <small>ARCHITECTURE INTERIOR DESIGN</small> 100 MAIN STREET, SUITE 2001 PORTSMOUTH, MASSACHUSETTS 02870 TEL: (603) 883-8800 FAX: (603) 883-8870 WWW.OSULLIVANARCHITECTS.COM	SAI Builders, LLC	21B Elwyn Ave Portsmouth, NH	Basement & Radon Plan	
SCALE: AS SHOWN DESIGNED BY: [Name] CHECKED BY: [Name] APPROVED BY: [Name]					
JOB NO: 19041 SHEET NUMBER: A1					



O'SULLIVAN ARCHITECTS, INC.
200 CHASE STREET, SUITE 200
 NEWTON, MASSACHUSETTS 02459
 TEL: (617) 552-1100 FAX: (617) 552-1101
 WWW.OSULLIVANARCHITECTS.COM

SAI Builders, LLC
 21 B Elmyn Ave
 Portsmouth, NH

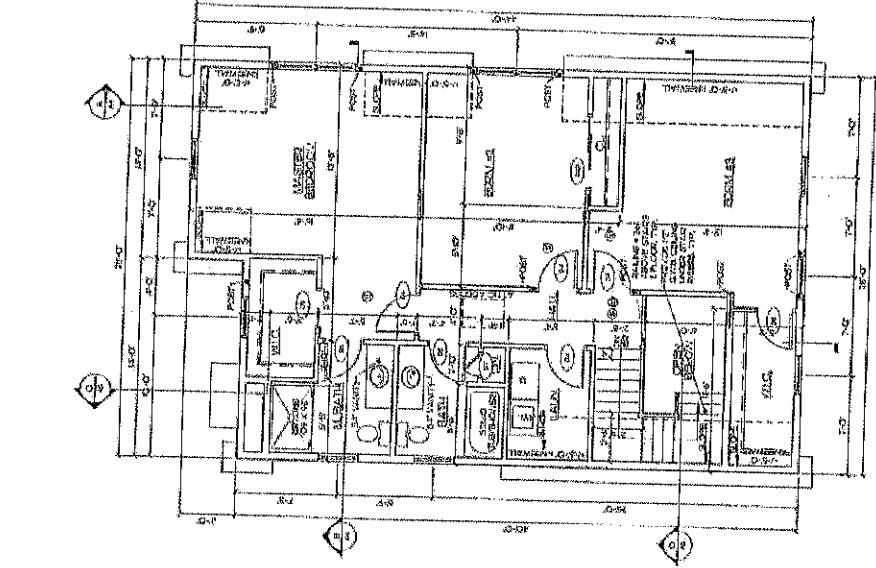
Floor Plans



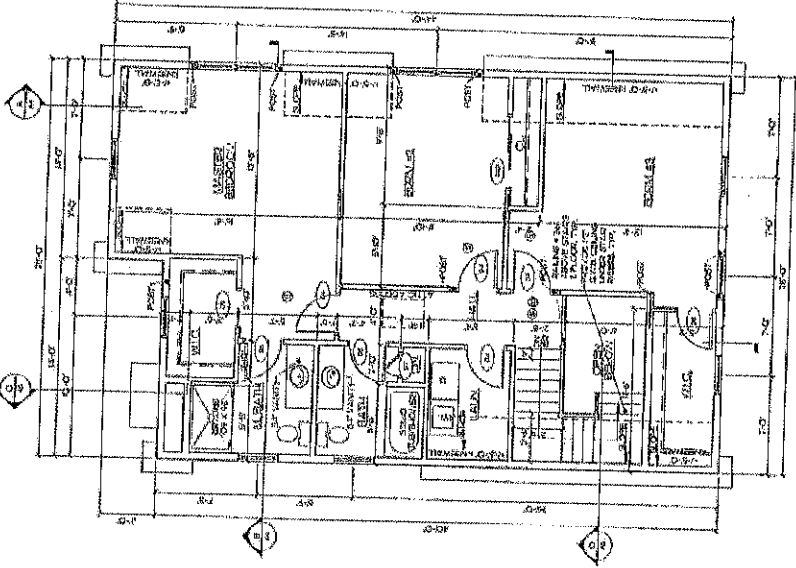
SCALE: As Noted
 ISSUED/DRAWN BY:
 YEAR/S:
 CHECKED/DESIGNED BY:
 JOB NO: 19041
 SHEET NUMBER

BUILDING S.F. 1025 S.F. FIRST FLOOR 540 S.F. SECOND FLOOR 485 S.F. TOTAL - 1025 S.F.	BASEMENT 989 G.F.
---	-----------------------------

- ① SMOKE DETECTOR
- ② HEAT DETECTOR
- ③ CARBON MONOXIDE DETECTOR



1 First Floor Plan
 Date: 07/17/19



2 Second Floor Plan
 Date: 07/17/19

DOOR SCHEDULE

NUMBER	TYPE	MATERIAL	WIDTH	HEIGHT	THICKNESS	REMARKS
D1	ENTRY	MTL/INSL	3'-0"	5'-8"	1 3/4"	1/2 SIDELITES EA. SIDE
D2	SINGLE	MTL/INSL	3'-10"	5'-8"	1 3/4"	- HALF GLASS DOOR
D3	TRFL SLIDER	WDL/GLASS	7'-0"	6'-8"		
D4	SINGLE	WOOD	2'-6"	6'-8"	1 3/8"	
D5	SINGLE	WOOD	2'-6"	6'-8"	1 3/8"	
D6	SINGLE	WOOD	2'-4"	6'-8"	1 3/8"	
D7	SINGLE	WOOD	1'-8"	6'-8"	1 3/8"	
D8	DOUBLE	WOOD	0'-11"	6'-8"	1 3/8"	
D9	DOUBLE	WOOD	0'-11"	6'-8"	1 3/8"	
D10	SLIDER	WOOD	5'-0"	6'-8"	1 3/8"	
D11	POCKET	WOOD	2'-5"	6'-8"	1 3/8"	



O'SULLIVAN ARCHITECTS, INC.
 ARCHITECTS INTERIORS LANDSCAPE ARCHITECTS
 608 MAIN STREET, SUITE 200
 READING, MASSACHUSETTS 01867
 TEL: 978-270-0000 FAX: 978-270-0000
 WWW.OSULLIVANARCHITECTS.COM

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SAI Builders, LLC

21 B Elwyn Ave
 Portsmouth, NH

Elevations



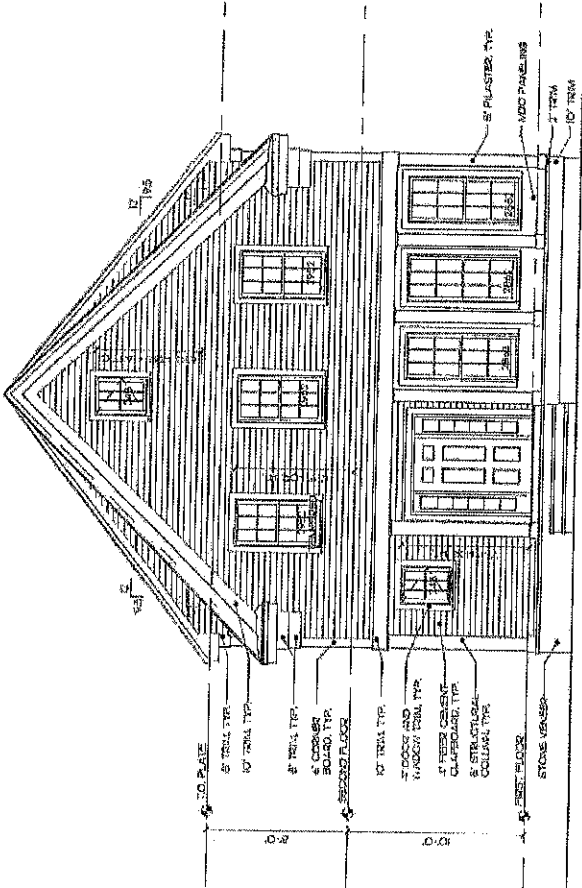
SEWER: AIR NAME:
 SALES: DRAWING:
 TITLES:
 DESIGNED/PROPOSED BY:

JOB NO: 19041

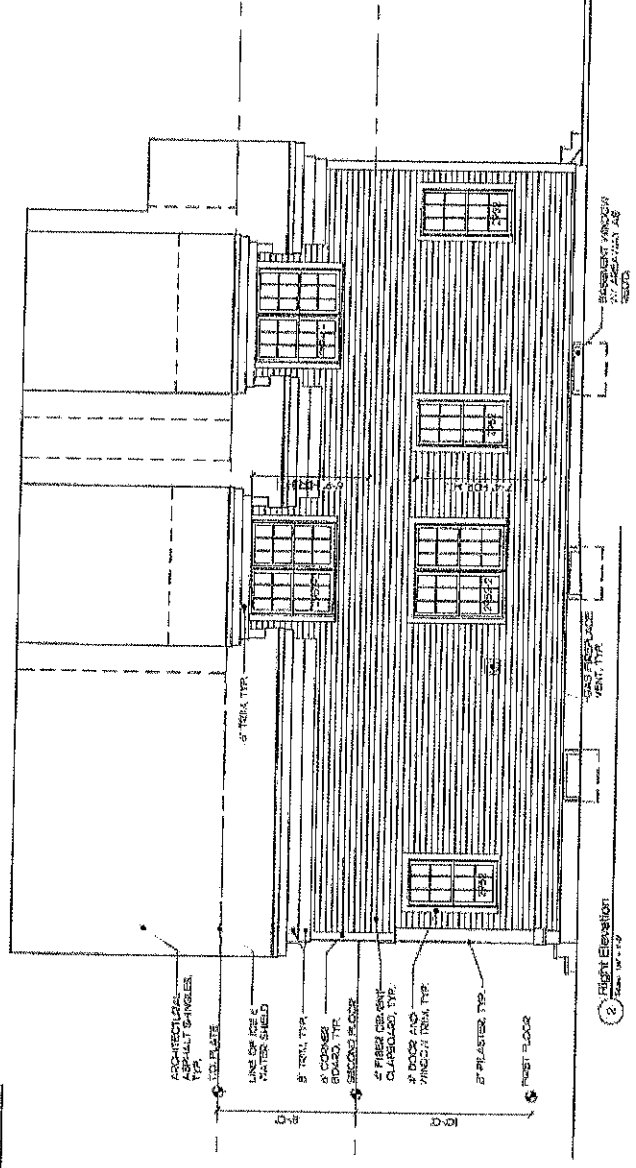
SHEET NUMBER

A3

NOTES:
 1. ALL WINDOWS TO BE HARVEY PROBLETT VINTAGE SERIES WINDOWS UNLESS OTHERWISE NOTED
 2. ALL WINDOWS 8'-0" OR HIGHER ABOVE GRADE TO HAVE FULL HEIGHT OF 2" OF A.P.H. OR UNLESS AS NOTED.



1. Front Elevation
 Scale: 1/8" = 1'-0"



2. Right Elevation
 Scale: 1/8" = 1'-0"



SULLIVAN ARCHITECTS, INC.

PROFESSIONAL ENGINEER
200 MAIN STREET, SUITE 500D
PORTSMOUTH, NEW HAMPSHIRE 02870
TEL: 603-883-7676 FAX: 603-883-7678
WWW.SULLIVANARCHITECTS.COM

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© 2015. This plan is not to scale.

S&I Builders, LLC

21B Elmlyn Ave
Portsmouth, NH

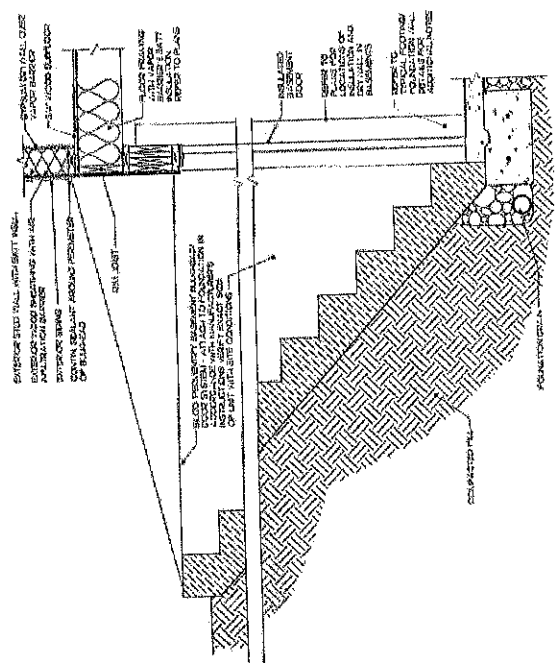
Elevations



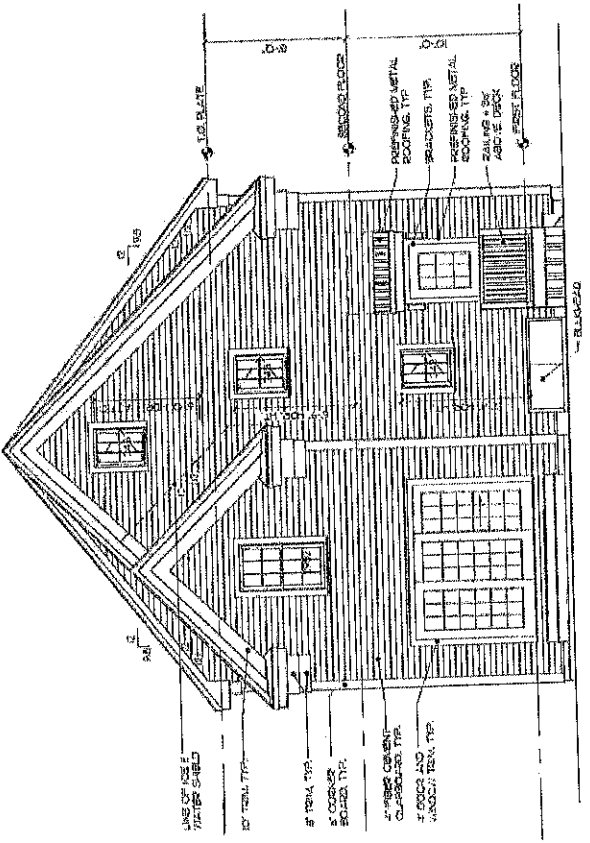
SCALE: AS SHOWN
DESIGNED BY ANDREW J. SULLIVAN
CHECKED BY ANDREW J. SULLIVAN
DATE: 11/19/15

JOB NO.: 19041

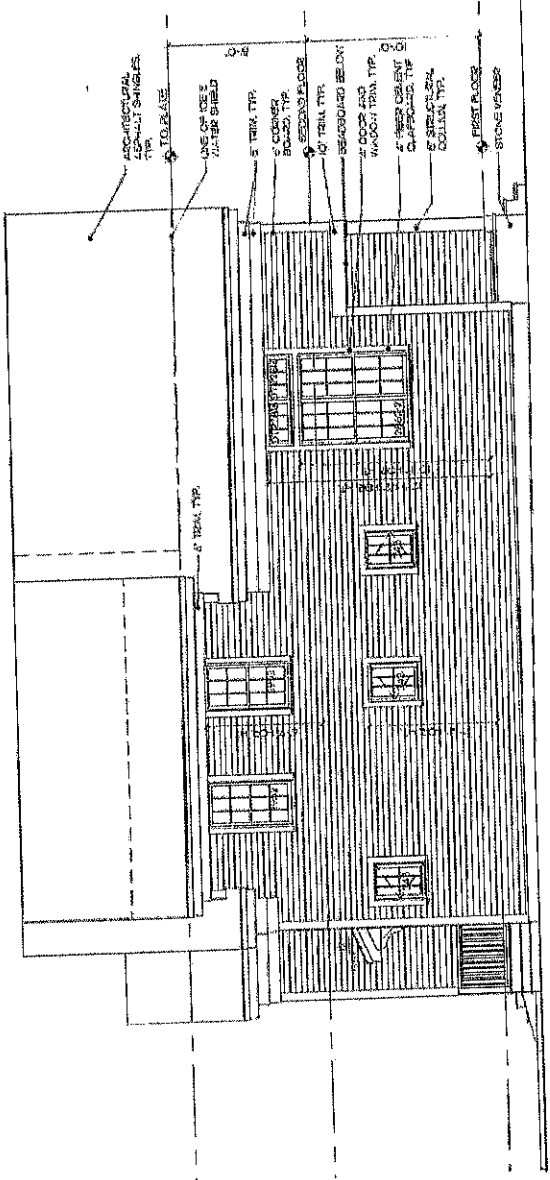
SHEET NUMBER
A4



5 BASEMENT BULKHEAD DETAIL
Scale: 1/4" = 1'-0"



3 Rear Elevation
Scale: 1/4" = 1'-0"



4 Front Elevation
Scale: 1/4" = 1'-0"

NOTE:
1. ALL WINDOWS TO BE HEAVY
TRIPLE VINTL WINDOW SERIES
UNLESS OTHERWISE
NOTED.
2. ALL WINDOWS 4'-0" OR HIGHER
TO HAVE 6" MIN. CLEARANCE
HEIGHT OF 2'-0" AFF. OR
LARGER AS REQD.



Front of House



Northerly Side of House



Rear of House



Southerly Abutter's House



Southerly Side of House



Approximate Location of
Proposed AC Equipment



Southerly Side of House



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019
Data updated 7/17/2019

HOEFLE, PHOENIX, GORMLEY & ROBERTS, PLLC

ATTORNEYS AT LAW

127 Parrott Avenue, P.O. Box 4480 | Portsmouth, NH, 03802-4480
Telephone: 603.436.0666 | Facsimile: 603.431.0879 | www.hpgrlaw.com

January 27, 2021

HAND DELIVERED

Peter Stith, Planner
City of Portsmouth
1 Junkins Ave.
Portsmouth, NH 03801

Re: Gregory & Amanda Morneault, Owner
Darrell Moreau, Applicant
137 Northwest Street
Portsmouth, New Hampshire, 03801
Tax Map 122, Lot 2, Gen. Residence A (GRA) District

Dear Peter:

Attached please find our Memorandum with exhibits in support of an Application for Variances in order to subdivide one lot into and to add a single-family home on the subdivided lot. We have uploaded on the application and documents. We will also deliver the original and eleven (11) copies as required.

We look forward to presenting this the Zoning Board of Adjustment at its February 16, 2021 meeting.

Please let us know if you have any questions or comments.

Very truly yours,



R. Timothy Phoenix
Monica F. Kieser

Encl.

cc: Darrell Moreau
Gregory & Amanda Morneault
Ambit Engineering, Inc.
Artform Architecture, Inc

DANIEL C. HOEFLE	R. PETER TAYLOR	GREGORY D. ROBBINS	DUNCAN A. EDGAR
R. TIMOTHY PHOENIX	JOHN AHLGREN	MONICA F. KIESER	OF COUNSEL:
LAWRENCE B. GORMLEY	KIMBERLY J.H. MEMMESHEIMER	SAMUEL HARKINSON	SAMUEL R. REID
STEPHEN H. ROBERTS	KEVIN M. BAUM	JACOB J.B. MARVELLEY	

MEMORANDUM

TO: Portsmouth Zoning Board of Adjustment (“ZBA”)
FROM: R. Timothy Phoenix, Esquire
Monica F. Kieser, Esq.
DATE: January 27, 2021
RE: Gregory and Amanda Morneault, Owners
Darrell Moreau, Applicant
Property Location: 137 Northwest Street, Portsmouth, NH 03801
Tax Map 122, Lot 2, GRA and Historic Districts

Dear Chair Rheaume and Zoning Board Members:

On behalf of Gregory and Amanda Morneault, owners and Darrell Moreau, applicant (“Moreau” or “Applicant”), we are pleased to submit this memorandum and the attached exhibits in support of variances to subdivide a single lot into two lots, and add a duplex on the newly created lot.

I. Exhibits

1. 1/27/2021 Plan Set – issued by Ambit Engineering, Inc.
 - Subdivision Plan
 - Variance Plan
2. 1/27/2021 Elevations and Floor Plan Set – issued by Artform Architecture, Inc.
 - Front Elevation
 - First Floor Plan
 - Second Floor Plan
 - Foundation Plan
 - Side Elevations
 - Rear Elevation
3. Site Photographs.
4. Tax Map 122 (subject), 123, 141 (area).
5. Minutes, Portsmouth Zoning Board of Adjustment Meeting, November 24, 2020.

II. Property/Project History

137 Northwest St. is 18,134 ft. lot sandwiched between Northwest Street and the Route 1 Bypass. With frontage of approximately 536 feet, and a depth ranging from less than 20 feet to approximately 70 feet, the lot is very long and narrow. The existing home is located at the far west (left) end of the lot, leaving a significant area presently undeveloped except for a City of Portsmouth sewer pump station and access area located at the far easterly (right) end of the lot.

The project intent is to subdivide the single lot into two lots. Lot 1 will hold the existing home. Lot 2 will hold a proposed single-family home. The Lot 2 rear lot line is about 30 feet and down a steep hill from the Bypass. The Project was previously before the ZBA in November

with a plan to construct a duplex on Lot 2. That plan required variances from front/rear yard setbacks, lot depth requirements, and the 7,500 s.f. per dwelling unit requirements to permit the duplex on Lot 2. The revised single family home proposal and building incorporates feedback received from the board and is reasonable development for this property. The existing home and other nearby homes close to boundary lines on small lots also support the reasonableness of the request. It is widely known there are is demand for few relatively reasonably priced homes in in Portsmouth. This project will allow Moreau to offer new construction for a family in downtown Portsmouth at a comparatively reasonable price.

As proposed, each lot will meet the 7500 ft. minimum lot size requirement, frontage and side setback requirements. Relief is required for both lots because the depth of Lot 1 will be slightly reduced, and Lot 2 does not meet the front/rear yard and depth requirements.

III. Relief Required

Lot 1

PZO§10.521-Table of Dimensional Standards¹

Lot Depth - 44.7 feet where 51.1 feet exists and 70 feet is required.

Lot 2

PZO§10.521 Table of Dimensional Standards

Front yard – 3.2 feet (closest point) where 15 feet is required.

Rear Yard – 6.9 feet (closest point) 20 feet is required.

Lot Depth- 25.4² feet where 70 feet is required.

IV. Fisher v. Dover Analysis

As stated, the ZBA previously considered and denied the owners' application for variances to permit the slight reduction in the depth of Lot 1 and a duplex structure within the front/rear yard setback on newly created Lot 2, which also required relief from the lot depth requirement and 7,500 s.f. per dwelling unit requirement. Some board members acknowledged the inherent hardship of the lot, but a majority could not support the previously proposed duplex opining that it would alter the essential character of the area and diminish the value of the surrounding property values. The fact that the status of a historically used "turnaround" at one

¹ We question whether Lot 1 variances are required since the noncompliant lot depth is a prior nonconforming condition; however, we request the variances in an abundance of caution at the recommendation of the Planning staff.

² Approximately 35 feet at proposed single-family home.

end of the property was unresolved added to Board Member concerns regarding ample space on the lot for two families.

In Fisher v. City of Dover, 120 N.H. 187, 190 (1980), the Supreme Court held that once an applicant makes a request to the ZBA and is denied, the ZBA may hear a subsequent variance request only upon a finding “a material change of circumstances” or unless it “materially differs in nature and degree from its predecessor.” The court based its decision on concerns that absent a material change in circumstances or the application, there would be no finality to ZBA proceedings, thus threatening “the integrity of the zoning plan.” Id. In cases subsequent to Fisher, however, the court clarified that this restriction does not apply to “a subsequent application explicitly or implicitly invited by the ZBA and modified to address its concerns.” Hill-Grant Living Trust Small v. Kearsarge Lighting Precinct, 159 N.H. 529, 536 (2009) (citing Morgenstern v. Town of Rye, 147 N. H. 558 (2002)).

The instant application meets both the “material difference” and the “explicit or implicit invitation” requirements. The proposed structure is now a single-family home on a 10,634 s.f. lot, so a density variance is no longer required. Accordingly, the size of the home has also been reduced increasing the yard setbacks over the previous proposal. The City and the Applicant have worked together regarding a proposed easement at the east end of the property, which will take up less space than the existing “turnaround” but still permit a maintenance truck to turn around and will allow snow storage. Thus, the new proposal thus clearly meets the “material change” requirement of Fisher.

In addition, the minutes of the November 24, 2020 ZBA meeting (**Exhibit 5**) reflect comments pursuant to which board members implicitly or explicitly invited changes of the sort now presented:

Member Mulligan – “asked whether there was an easement for the vehicle turnaround on the eastern edge of Lot 2...He asked why there were two units proposed instead of one, noting that it did not look like there was a lot of outdoor space for two families to enjoy.” (Minutes p. 2)

Member Hagaman – “asked how big the yard would be on each side...asked if the applicant had discussed working out an easement with the City.” (Minutes p. 2). “Mr. Hagaman said he was leery because the property-size-per-dwelling-unit was misleading if more than half the property was taken up by a turnaround and the Board didn’t know if there would be an easement.” (Minutes p. 3).

Acting-Chair Johnson – “said the property had a hardship due to the dimensional setbacks and its proximity to the bypass but that he was having a harder time with the use....[I]t was hard to justify why two units were needed instead of one.” (Minutes p. 3).

Member McDonell – “disagreed with the Applicant that one should look to the density of the property along Maplewood Avenue. There would be a change in the micro neighborhood that would cause diminution of property values across the street and possibly up and down the street, notwithstanding the fact that it might be good for the City as a whole to have a duplex with more affordable units...He said he didn’t think there was a hardship, although there were special conditions that distinguished it from other lots in the area.” (Minutes p. 3).

Clearly, the primary concerns of those board members who voted against the previously proposed duplex related to the density, the yard area per unit, and the unresolved status of an area of the lot historically used by the City and the public as a turnaround. The instant single-family proposal with increased yard setbacks and a clearly delineated easement area clearly complies with the requirement for ZBA consideration of a “subsequent proposal explicitly or implicitly invited by the ZBA and modified to address its concerns.” Hill-Grant, supra.

V. Variance Requirements

- 1. The variances will not be contrary to the public interest.**
- 2. The spirit of the ordinance is observed.**

These two requirements are considered together pursuant Malachy Glen Associates, Inc. v. Town of Chichester, 155 N.H. 102 (2007) and its progeny. The test is whether granting a variance "would unduly and to a marked degree conflict with the ordinance such that violates the ordinance’s basic zoning objectives." *Id.* Mere conflict with the ordinance is not enough. *Id.* The analysis begins with the purposes of the GRA District and the general purposes of the ordinance.

The purpose of the GRA District is "to provide for areas of single-family, two-family and multifamily dwellings with appropriate accessory uses, at moderate to high densities (ranging from approximately 5 to 12 dwelling units per acre), together with appropriate accessory uses and limited services. ” PZO§10.440 Residential District Purposes. This purpose is met by Lot 1 with one dwelling on 7500 ft. equaling 5.8 units per acre and exceeded by a single dwelling on Lot 2 with 10,634 s.f. lot which translates to per unit translates to 4.20 units per acre.

The general purposes of the ordinance pursuant to PZO§10.121 is "to promote the health, safety and the general welfare of Portsmouth and its region in accordance with the city’s Master Plan... by regulating:

1. The use of land, buildings and structures for business, industrial, residential and other purposes – It is widely known that home prices in Portsmouth are quite high. Relatively modestly priced homes are difficult to find, leaving many young people and or moderate income earners to live in other communities. Adding a single home on a lot sandwiched between Northwest Street and the bypass adds to housing stock in downtown Portsmouth.
2. The intensity of land use, including lot sizes, building coverage, building height and bulk, yards and open space – The Lot 1 home presently exists. Accordingly, the depth and front and rear setbacks cannot be changed. Frontage, side setbacks, and area are compliant. Nothing can be built on proposed Lot 2 absent front, rear setback and depth variances. The location, size and characteristics of the lot leave it suitable for a single-family home and provides sufficient yard area while still providing the City a place for its vehicles to turn around and an area for snow storage.
3. The design of facilities for vehicular access, circulation, parking and loading – Lot 1 will not change. Lot 2 provides two garaged parking spaces for the single family home and off-street parking. An identified easement area will afford the City continued use of a smaller area for its maintenance trucks to turn around and for snow storage.
4. The impact on properties of outdoor lighting, noise, vibration, stormwater runoff and flooding – Lot 1 will not change. The Lot 2 single-family home will have no negative effect on lighting, noise, vibration or flooding. Stormwater will be vetted in the subdivision process before the Planning Board.
5. The preservation and enhancement of the visual environment – Lot 1 will not change. Lot 2 will hold a tastefully designed single-family home.
6. The preservation of historic districts and buildings and structures of historic or architectural interest – Lot 1 will not change. Lot 2 will be subject to Historic District Commission review.
7. The protection of natural resources, including groundwater, surface water, weapons, wildlife habitat and air quality – Lot 1 will not change. Lot 2 is presently vacant and somewhat overgrown. There will be no negative effect upon groundwater or wildlife habitat or air quality. Surface water will be the vetted by the Planning Board.

In considering the public interest and spirit of the ordinance tests for determination of whether granting variances violates basic zoning objectives, the Malachy Glen court further held:

One way to ascertain whether granting the variance would violate basic zoning objectives is to examine whether it would alter the essential character of the locality... . Another approach to [determine] whether granting the variance violates basic zoning objectives is to examine whether granting the variance would threaten the public health, safety or welfare. (emphasis added)

Lot 1 and the house upon it already exist in the locality. The lot depth is only slightly reduced over existing conditions. The home is on a compliant sized lot so will neither alter the essential character of the locality nor threaten the public health, safety or welfare. The single-

family on Lot 2 will be built to code, and will benefit from vetting by the Planning Board. The area includes compliant and numerous non-compliant sized lots many with structures very close to lot lines. (Exhibit 4). It follows that granting the subdivision and variances will neither alter the essential character nor threaten the public health, safety or welfare.

3. Granting the variance will not diminish surrounding property values.

Northwest Street itself has relatively few houses. Those existing are an eclectic mix of various sized lots/houses with various distances from the road. Some have water access, some do not. The larger area includes homes along Maplewood Avenue many of which are on small lots. The width of Lot 2 provides significant separation from neighbors and the proposed single family home incorporates garage and off-street parking. There is but one home directly across the street. Like many old homes in town, it is too close to the street. The nature and location of Northwest Street, this lot, and the tastefully designed home, which will receive HDC review, will not diminish surrounding property values.

4. Denial of the variance result in unnecessary hardship.

a. Special conditions exist which distinguish the property/project from others in the area.

The lot is over 500 feet in length but only 19-70 feet deep, sandwiched between Northwest Street and the Bypass. The length and shallow nature of the lot create special conditions. These conditions support relief from yard setbacks and lot depth which would be required for any structure on the Lot.

b. No fair and substantial relationship exists between the general purposes of the ordinance and its specific application in this instance.

Setbacks and lot depth requirements are intended to provide adequate space between homes, sightlines, and area for stormwater treatment. Lot 1 complies with density requirements and Lot 2 exceeds the 7,500 s.f. per dwelling unit requirement. The Lot 1 setbacks for front and rear are very close to lot lines and will not change. The depth of Lot 2 and the front and rear yard setbacks are entirely a function of the long, narrow shape of the existing lot. The proposed setbacks for Lot 2 are similar to that of Lot 1 and other homes in the area. Given the location abutting the bypass, the substantial width of the lot, there is ample separation of neighbors, space between homes, sightlines and area for stormwater management, which will be vetted by the Planning Board via the subdivision process. Accordingly, there is no justifiable reason to apply the strict requirements of the ordinance.

c. The proposed use is reasonable.

Single-family homes are permitted in the GRA Zone. The front and rear setbacks are similar to those in the neighborhood. Numerous other homes in the general area are on small lots and close to lot lines. As such, this residential use in a residential zone is reasonable.

5. Substantial justice will be done by granting the variance.

If "there is no benefit to the public that would outweigh the hardship to the applicant, this factor is satisfied." Harborside Associates, LP v. Parade Residents Hotel, LLC 162 NH 508(2011). That is, "any loss to the[applicant] not outweighed by again to the general public is an injustice." Malachy Glen, supra at 109.

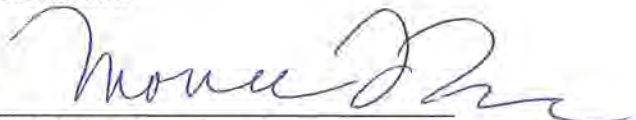
The extreme width of the subject lot with the existing home far to the left, leaves a large expanse of land lying fallow. Given its location immediately abutting the bypass, a duplex, which will permit the owners to sell the lot, and the applicant to build the homes, will provide a family with relatively affordable housing in downtown Portsmouth. Since the immediate area of Northwest Street has relatively few homes, many close to the front and/or rear lot lines, allowing the subdivision and variances to build the permitted single-family home will cause no harm whatsoever to the general public. Denial, however, will prevent the owners from selling a portion of the lot, and will prevent the Applicant from providing, and potential residents from owning brand-new construction at reasonable cost in downtown Portsmouth. Clearly, there is no benefit to the public from denial that outweighs the hardship to the Applicant and the loss to the Applicant far outweighs any gain to the general public.

VI. Conclusion

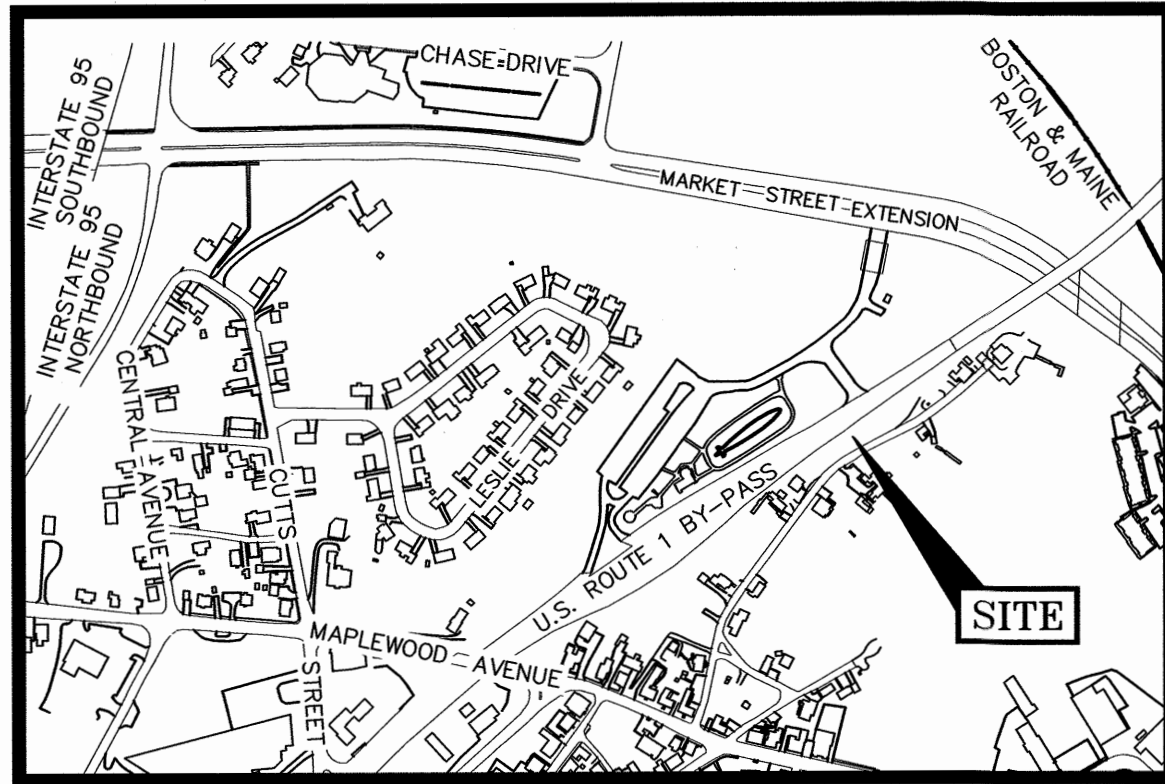
For all the foregoing reasons, the property owners and Applicant respectfully request that the Zoning Board of Adjustment grant all requested relief.

Respectfully submitted

Darrell Moreau

By: 

R. Timothy Phoenix
Monica F. Kieser



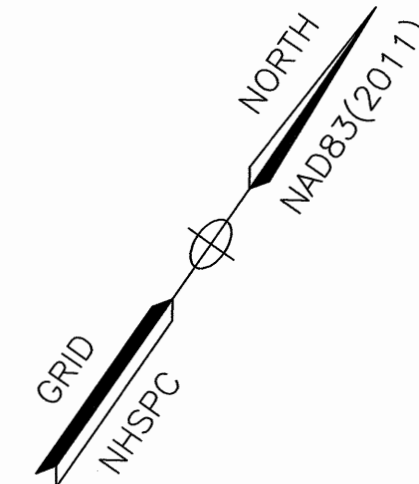
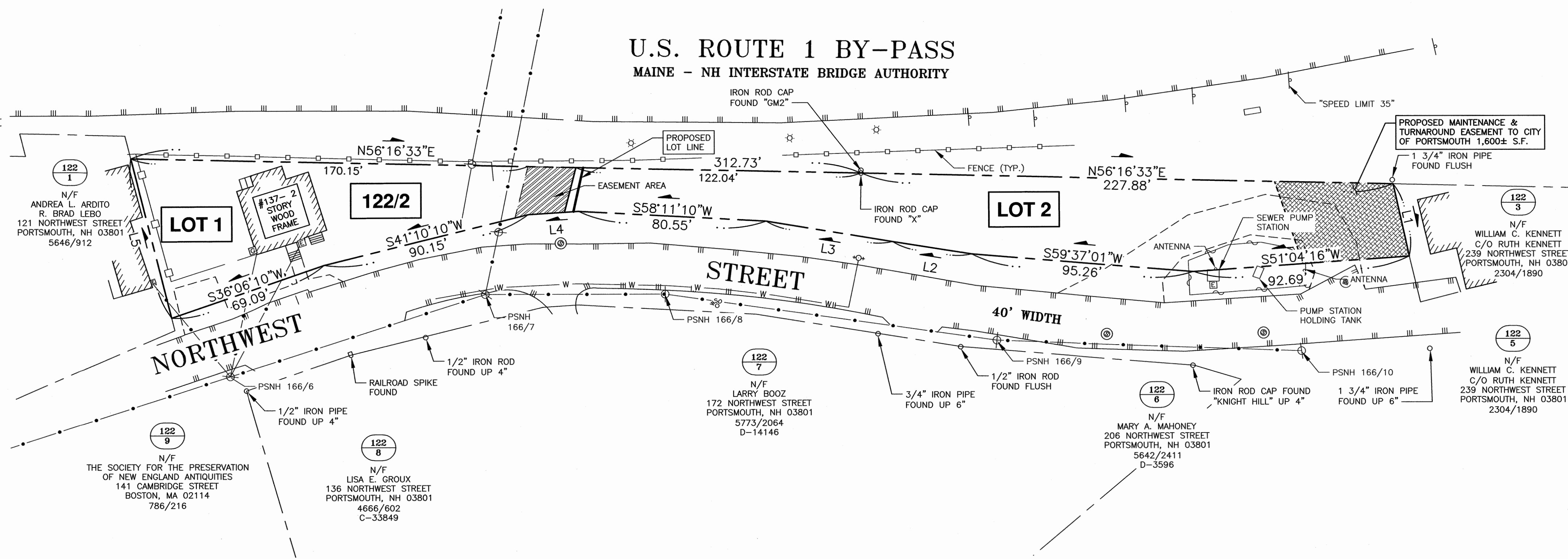
LOCATION MAP SCALE: 1" = 500'

LEGEND:

- N/F NOW OR FORMERLY
- RP RECORD OF PROBATE
- RCRD ROCKINGHAM COUNTY
- RR SPK RAILROAD SPIKE
- MAP 11/LOT 21
- IR FND IRON ROD FOUND
- IP FND IRON PIPE FOUND
- IR SET IRON ROD SET
- DH FND DRILL HOLE FOUND
- DH SET DRILL HOLE SET
- NHDB NHDOT BOUND FOUND
- TOWN BOUND TOWN BOUND
- TB BOUND WITH DRILL HOLE
- BND w/DH BOUND WITH DRILL HOLE
- ST BND w/DH STONE BOUND WITH DRILL HOLE

PLAN REFERENCES:

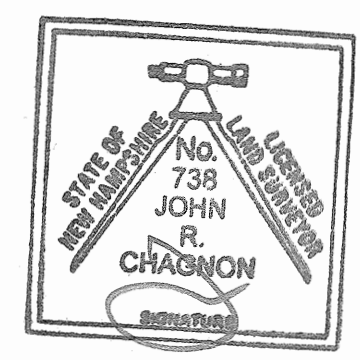
- 1) MAINE NEW HAMPSHIRE INTERSTATE BRIDGE AUTHORITY PISCATAQUA RIVER BRIDGE KITTERY, MAINE - PORTSMOUTH, NEW HAMPSHIRE RIGHT OF WAY MAP - N.H. APPROACH, SCALE: 1" = 50', PREPARED BY HARRINGTON AND CORTELYOU CONSULTING ENGINEERS KANSAS CITY, MO., DATED DECEMBER 1938, SHEET 1 OF 11, NOT RECORDED
- 2) MAINE - NEW HAMPSHIRE INTERSTATE BRIDGE AUTHORITY PISCATAQUA RIVER BRIDGE KITTERY, MAINE - PORTSMOUTH, NEW HAMPSHIRE RIGHT OF WAY MAPS N.H. APPROACH, RE-SURVEYED BY: MOULTON ENGINEERING CO. KITTERY, MAINE 1954, SCALE: 1" = 50', SHEET 1 OF 5, NOT RECORDED
- 3) US ROUTE 1 BYPASS & SUBMARINE WAY RIGHT OF WAY LAYOUT PLANS CITY OF PORTSMOUTH JULY 17, 2019, OWNER OF RECORD: STATE OF NEW HAMPSHIRE, STATE PROJECT NO. 13455, SCALE: 1" = 50', PREPARED BY GM2 ASSOCIATES, SHEETS 3 & 4 OF 6, RCRD D-41603
- 4) PLAN OF LAND PORTSMOUTH, N.H. FOR ESTATE OF GRACE L. HOYT, SCALE: 1" = 20' DATED DEC. 1972 REV. MAR. 1973, PREPARED BY JOHN W. DURGIN CIVIL ENGINEERS, RCRD D-3596
- 5) CONDOMINIUM SITE PLAN FOR GANTRY REALTY TRUST 172 NORTHWEST STREET COUNTY OF ROCKINGHAM PORTSMOUTH, N.H. SCALE: 1" = 20', DATED SEPT. 11, 1985 REV OCT. 1, 1985, PREPARED BY RICHARD P. MILLETTE AND ASSOCIATES, SHEET 1 OF 3, RCRD D-14146
- 6) STANDARD PROPERTY SURVEY AND CONDOMINIUM SITE PLAN OF LAND OF LOT 4 TAX MAP U-22 250 NORTHWEST STREET PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM, SCALE: 1" = 10', DATED 9-9-96, PREPARED BY CIVILWORKS DOVER, N.H., RCRD D-24961
- 7) PLAN OF LAND IN THE NAME OF THE SUSAN M. REED REVOCABLE TRUST OF TAX MAP 122 / LOT 8 LOCATED AT #136 NORTHWEST STREET COUNTY OF ROCKINGHAM PORTSMOUTH, NH, SCALE: 1" = 20' DATED MAY 23, 2006, PREPARED BY DAVID W. VINCENT, LLS RCRD C-33849



AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel: (603) 430-9282
 Fax: (603) 436-2315

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.
 - 2) OWNERS OF RECORD:
 GREGORY J. MORNEAULT
 AMANDA B. MORNEAULT
 137 NORTHWEST STREET
 PORTSMOUTH, N.H. 03801
 APPLICANT:
 DARRELL MOREAU
 1B JACKSON HILL ROAD
 PORTSMOUTH, NH 03801
 - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
 - 4) EXISTING LOT AREA:
 18,134 S.F.
 0.4163 ACRES
 PROPOSED LOT AREAS:
 LOT #1 7,500 S.F. 0.1722 ACRES
 LOT #2 10,634 S.F. 0.2441 ACRES
 - 5) THE PURPOSE OF THIS PLAN IS TO SHOW THE SUBDIVISION OF ONE LOT INTO TWO LOTS.
 - 6) ZONING DISTRICTS:
 GENERAL RESIDENCE A (GRA) AND HISTORIC DISTRICT.
 - 7) DIMENSIONAL REQUIREMENTS:
 LOT AREA: 7,500 S.F.
 FRONTAGE: 100'
 DEPTH: 70'
 SETBACKS: FRONT: 15', SIDE: 10', REAR: 20'.
 MAXIMUM STRUCTURE HEIGHT: 35'
 MAXIMUM BUILDING COVERAGE: 25%
 MINIMUM OPEN SPACE: 30%
 - 8) PROPOSED LOT 1 DIMENSIONAL CALCULATIONS:
 LOT AREA: 7,500 S.F.
 FRONTAGE: 179'
 DEPTH: 44.7' AVERAGE
 SETBACKS:
 FRONT: 13.8'
 SIDE: 40.5'
 REAR: 1.8'
 BUILDING COVERAGE: 1,029 S.F. - 14%
 OPEN SPACE: 6,246 S.F. - 83%

EXHIBIT 1

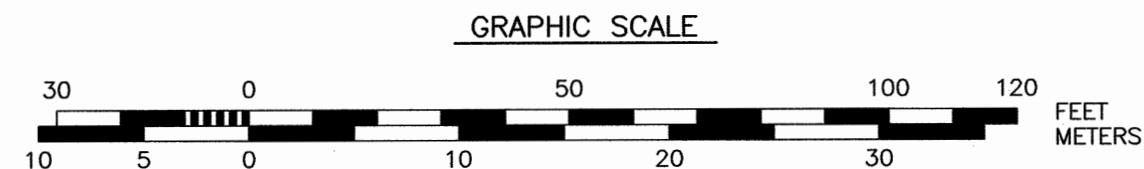


I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000.

John R. Chagnon
 JOHN R. CHAGNON, LLS 738
 DATE: 1-27-21

APPROVED BY THE PORTSMOUTH PLANNING BOARD

CHAIRMAN DATE



LENGTH TABLE

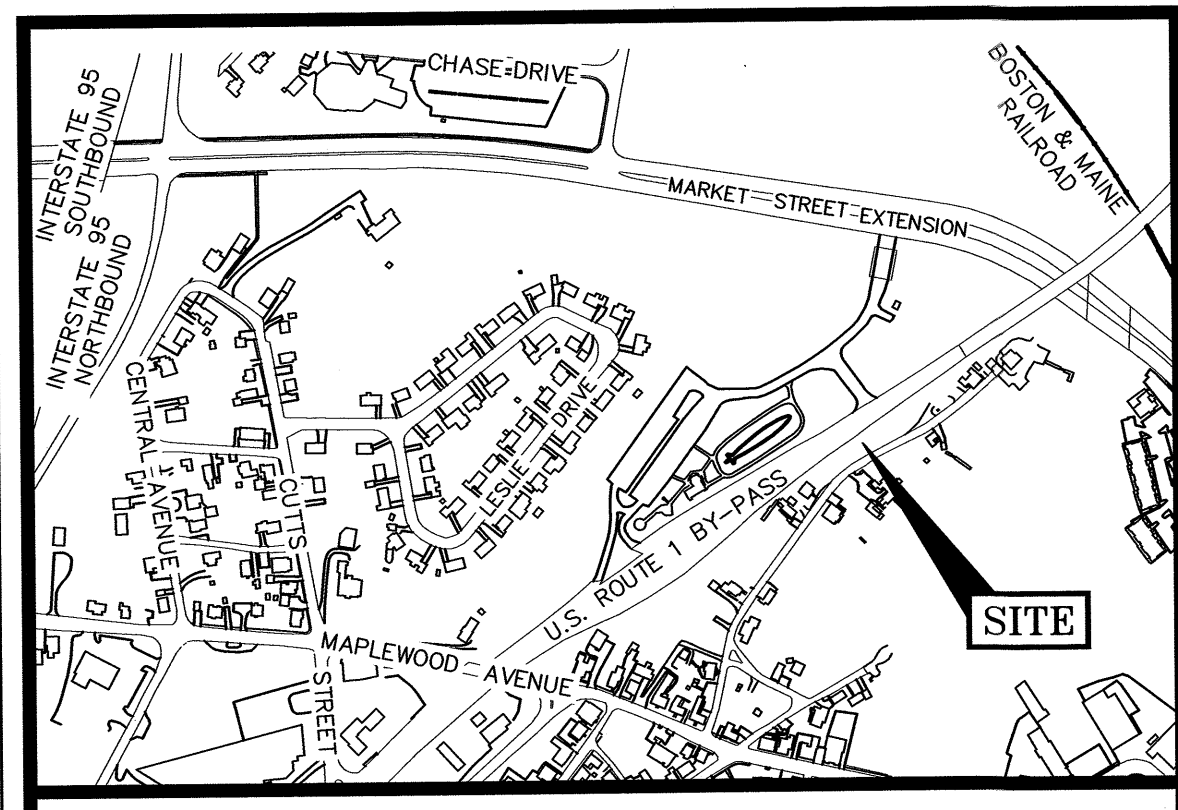
LINE	BEARING	DISTANCE
L1	S 47°28'51" E	31.75'
L2	S 64°01'21" W	34.26'
L3	S 64°19'54" W	54.79'
L4	S 51°20'10" W	21.35'
L5	N 49°16'35" W	70.45'

EASEMENT LENGTH TABLE

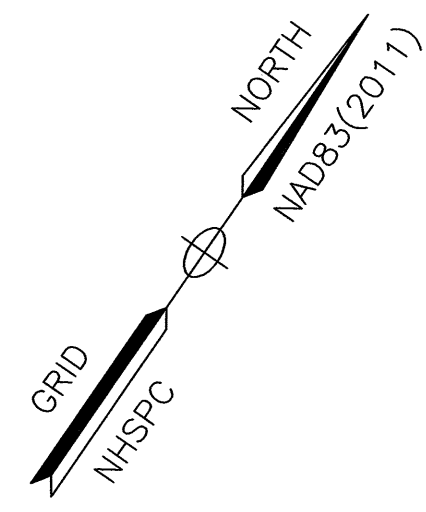
LINE	BEARING	DISTANCE
E1	N 56°16'33" E	20.54'
E2	S 20°36'02" E	19.73'
E3	S 51°20'10" W	15.48'
E4	S 41°10'10" W	5.99'
E5	N 20°36'02" W	22.71'

NO.	DESCRIPTION	DATE
3	REVISE PER COMMENTS	1/27/21
2	ZONING INFO; SETBACKS	10/22/20
1	ADDED ZONING REQUIREMENTS	10/13/20
0	ISSUED FOR COMMENT	9/30/20

SUBDIVISION PLAN
TAX MAP 122 - LOT 2
 OWNERS:
GREGORY J. MORNEAULT & AMANDA B. MORNEAULT
 137 NORTHWEST STREET
 CITY OF PORTSMOUTH
 COUNTY OF ROCKINGHAM
 STATE OF NEW HAMPSHIRE



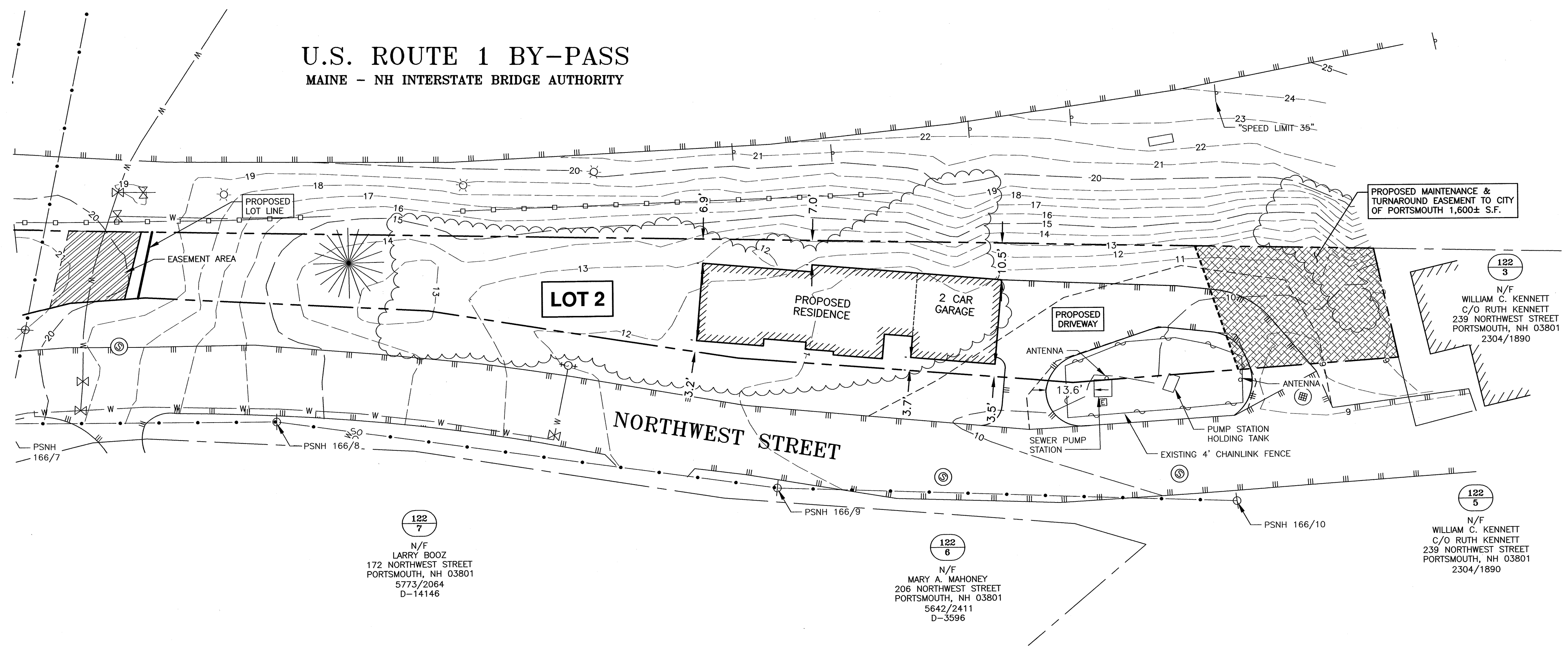
LOCATION MAP SCALE: 1" = 500'



AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 200 Griffin Road - Unit 3
 Portsmouth, N.H. 03801-7114
 Tel (603) 430-9282
 Fax (603) 436-2315

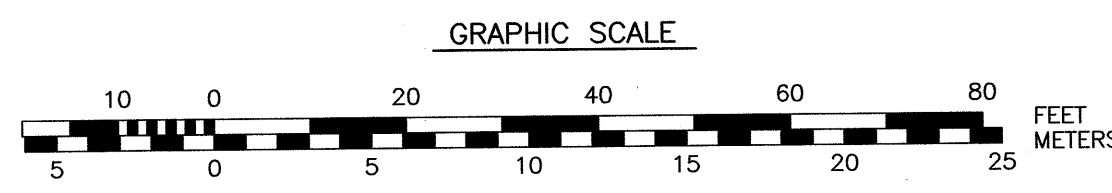
- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 122 AS LOT 2.
 - 2) OWNERS OF RECORD:
 GREGORY J. MORNEAULT
 AMANDA B. MORNEAULT
 137 NORTHWEST STREET
 PORTSMOUTH, N.H. 03801
 APPLICANT:
 DARRELL MOREAU
 1B JACKSON HILL ROAD
 PORTSMOUTH, NH 03801
 - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON FIRM PANEL 33015C0259E. EFFECTIVE DATE MAY 17, 2005.
 - 4) EXISTING LOT AREA:
 18,134 S.F.
 0.4163 ACRES
 PROPOSED LOT AREAS:
 LOT #1 7,500 S.F. 0.1722 ACRES
 LOT #2 10,634 S.F. 0.2441 ACRES
 - 5) THE PURPOSE OF THIS PLAN IS TO SHOW THE PLACEMENT OF A PROPOSED RESIDENCE ON LOT 2 OF THE PROPOSED SUBDIVISION.
 - 6) ZONING DISTRICTS:
 GENERAL RESIDENCE A (GRA) AND HISTORIC DISTRICT.
 - 7) DIMENSIONAL REQUIREMENTS:
 LOT AREA: 7,500 S.F.
 FRONTAGE: 100'
 DEPTH: 70'
 SETBACKS: FRONT: 15', SIDE: 10', REAR: 20'.
 MAXIMUM STRUCTURE HEIGHT: 35'
 MAXIMUM BUILDING COVERAGE: 25%
 MINIMUM OPEN SPACE: 30%
 - 8) PROPOSED LOT 2 DIMENSIONAL CALCULATIONS:
 LOT AREA: 10,634 S.F.
 FRONTAGE: 357'
 DEPTH: 25.4 AVERAGE
 SETBACKS:
 FRONT: 3.2'
 SIDE: 105.9'
 REAR: 6.9'
 STRUCTURE HEIGHT: <35'
 BUILDING COVERAGE: 1,920 S.F. (20%)
 OPEN SPACE: 7,328 S.F. (69%)

- LEGEND:**
- N/F NOW OR FORMERLY
 - RP RECORD OF PROBATE
 - RCRD ROCKINGHAM COUNTY
 - REGISTRY OF DEEDS
 - MAP 11 / LOT 21
 - BOUNDARY
 - SETBACK
 - RAILROAD SPIKE FOUND
 - IRON ROD/PIPE FOUND
 - DRILL HOLE FOUND
 - STONE/CONCRETE BOUND FOUND
 - RAILROAD SPIKE SET
 - IRON ROD SET
 - DRILL HOLE SET
 - GRANITE BOUND SET
 - SEWER LINE
 - GAS LINE
 - STORM DRAIN
 - WATER LINE
 - UNDERGROUND ELECTRIC
 - OVERHEAD ELECTRIC/WIRES
 - CONTOUR
 - SPOT ELEVATION
 - EDGE OF PAVEMENT (EP)
 - WOODS / TREE LINE
 - UTILITY POLE (w/ GUY)
 - GAS SHUT OFF
 - WATER SHUT OFF/CURB STOP
 - GATE VALVE
 - HYDRANT
 - METER (GAS, WATER, ELECTRIC)
 - CATCH BASIN
 - TELEPHONE MANHOLE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - AIR CONDITIONER UNIT
 - SIGNS
 - ASBESTOS CEMENT PIPE
 - CAST IRON PIPE
 - CORRUGATED METAL PIPE
 - CONCRETE MASONRY UNIT
 - COPPER PIPE
 - DUCTILE IRON PIPE
 - PVC POLYVINYL CHLORIDE PIPE
 - RCP REINFORCED CONCRETE PIPE
 - VC VITRIFIED CLAY PIPE
 - ELEVATION
 - EL. ELEVATION
 - EP. EDGE OF PAVEMENT
 - F.F. FINISHED FLOOR
 - INV. INVERT
 - TBM TEMPORARY BENCHMARK
 - TYP. TYPICAL
 - VGC/SGC VERTICAL/SLOPED GRANITE CURB
 - CCB CAPE COD BERM
 - LSA LANDSCAPED AREA



APPROVED BY THE PORTSMOUTH ZONING BOARD

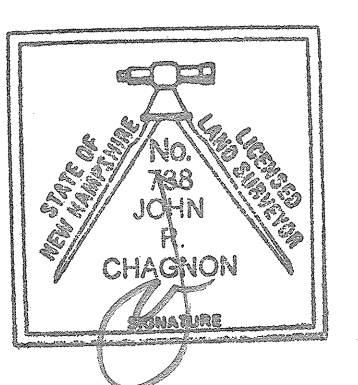
CHAIRMAN _____ DATE _____



**PROPOSED HOUSING
 TBD NORTHWEST ST.
 PORTSMOUTH, NH**

NO.	DESCRIPTION	DATE
1	REVISE PER COMMENTS	1/27/21
0	ISSUED FOR COMMENT	1/21/21

REVISIONS



SCALE 1" = 20' JANUARY 2021

VARIANCE PLAN **C1**

1/27/2021

Victoria with Wing

040.127.v6 GR

(1/27/2021)

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603-431-9559



CRS 040.127.v6 GR Victoria with Wing

EXHIBIT 2

1/27/2021

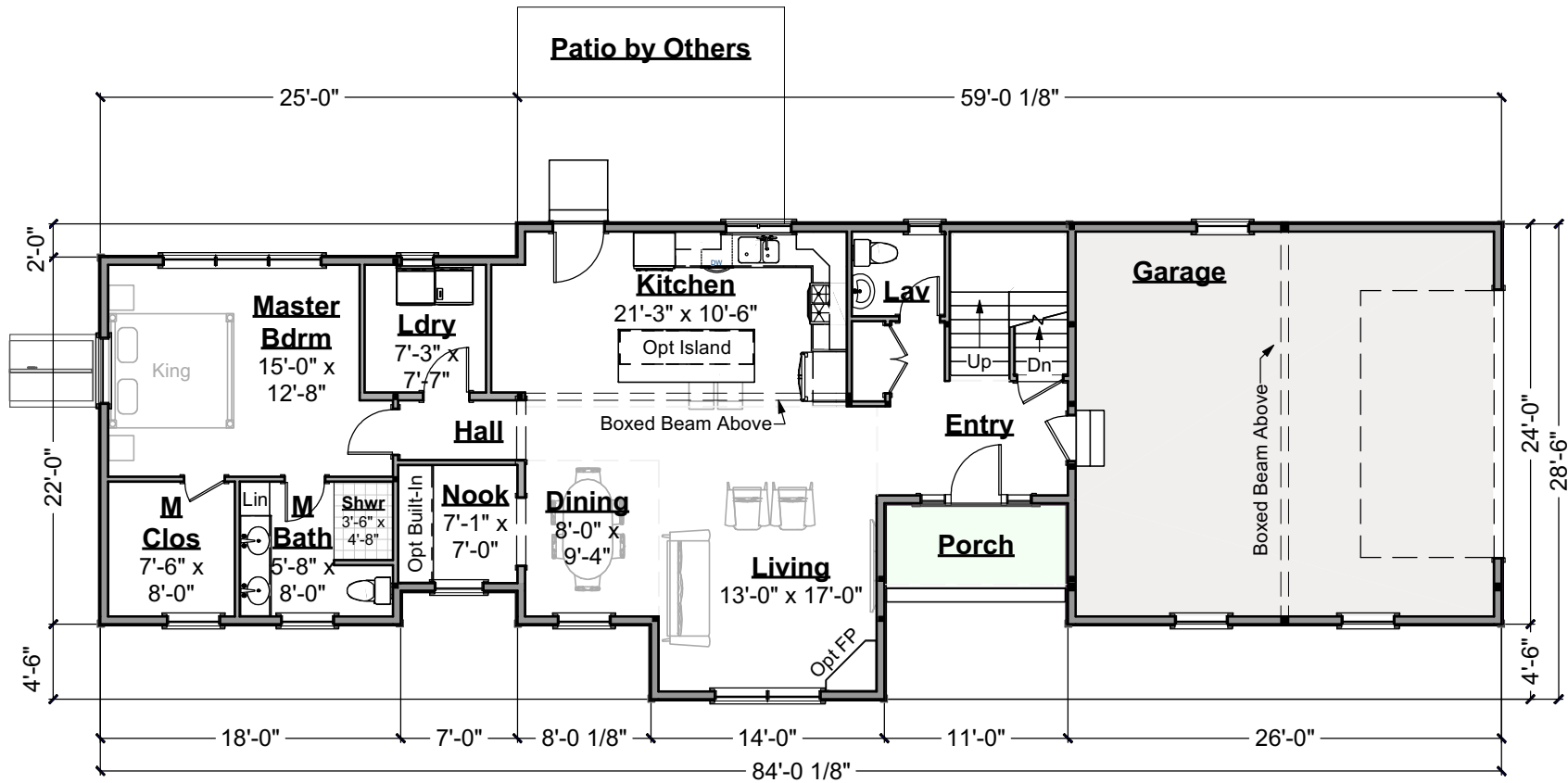
Victoria with Wing

040.127.v6 GR
(1/27/2021)

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603-431-9559



First Floor Plan
Scale: 3/32" = 1'-0"

1/27/2021

Victoria with Wing

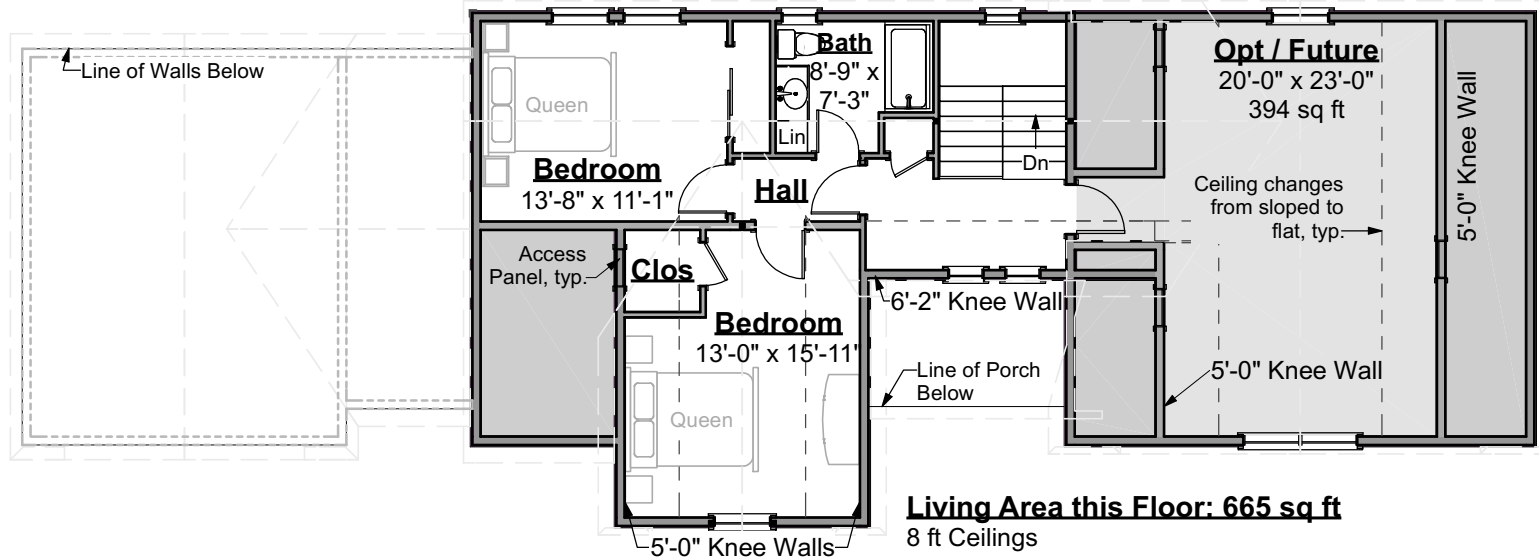
040.127.v6 GR

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Second Floor Plan

Scale: 3/32" = 1'-0"

1/27/2021

Victoria with Wing

040.127.v6 GR

(1/27/2021)

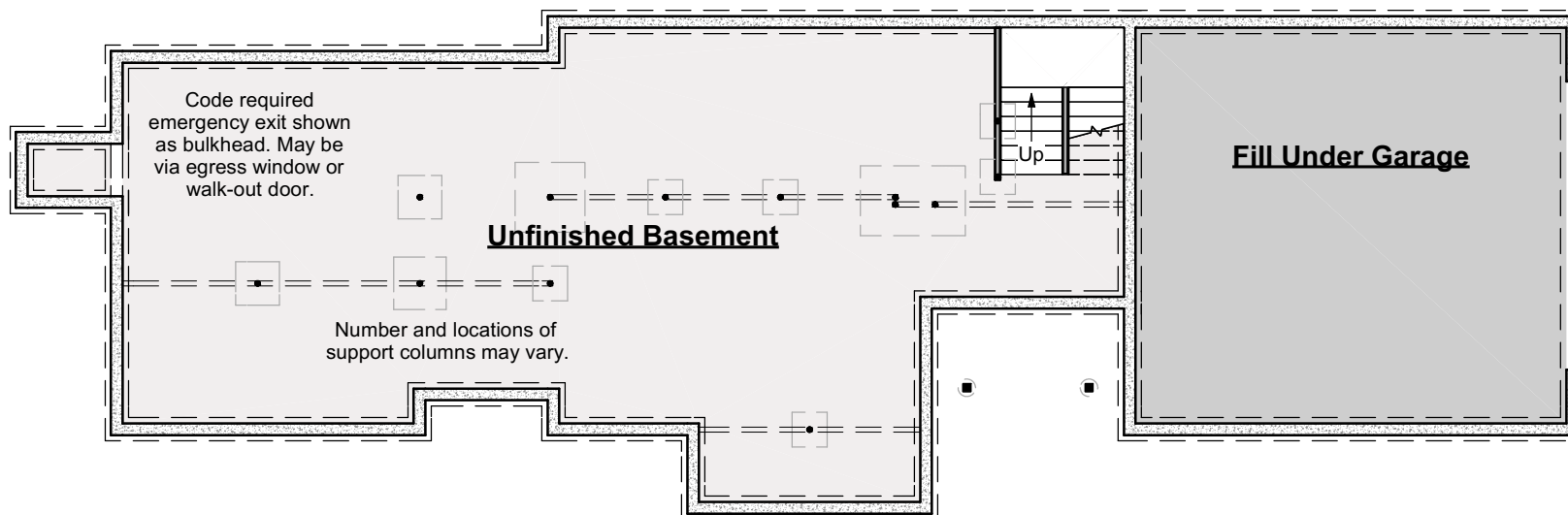
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603-431-9559

IMPORTANT BASEMENT NOTES:

- Unless an area is specifically designed as "no posts", additional posts may be required.
- Unless specifically noted otherwise, basement beams will be framed below the floor joists.
- Basement spaces accommodate utilities, mechanical equipment and the horizontal movement of plumbing pipes, electrical wires and heating ducts. Both as part of any Construction Drawings produced based on this design and as future decisions made by the builder, changes to accommodate these items must be expected.
- Basement window locations are dependent on site conditions and utility locations. Clarify number and location with your builder.



Foundation Plan

Scale: 3/32" = 1'-0"

1/27/2021

Victoria with Wing

040.127.v6 GR

(1/27/2021)

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Front Elevation

Scale: 3/32" = 1'-0"

1/27/2021

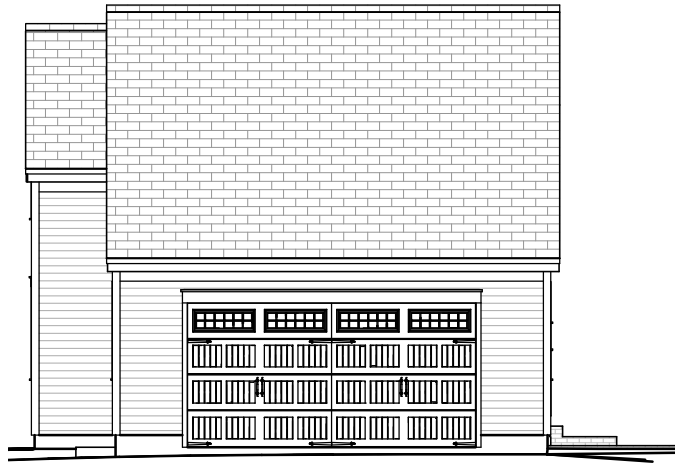
Victoria with Wing

040.127.v6 GR
(1/27/2021)

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Right Elevation
Scale: 3/32" = 1'-0"



Left Elevation
Scale: 3/32" = 1'-0"

1/27/2021

Victoria with Wing

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603-431-9559



137 Northwest St



Imagery ©2020 Maine GeoLibrary, Maxar Technologies, U.S. Geological Survey, Map data ©2020 50 ft



Google Maps 137 Northwest St



Imagery ©2020 Maine GeoLibrary, U.S. Geological Survey, Map data ©2020 20 ft

Google Maps 137 Northwest St



Imagery ©2020 Maine GeoLibrary, Maxar Technologies, U.S. Geological Survey, USDA Farm Service Agency, Map data ©2020

100 ft 

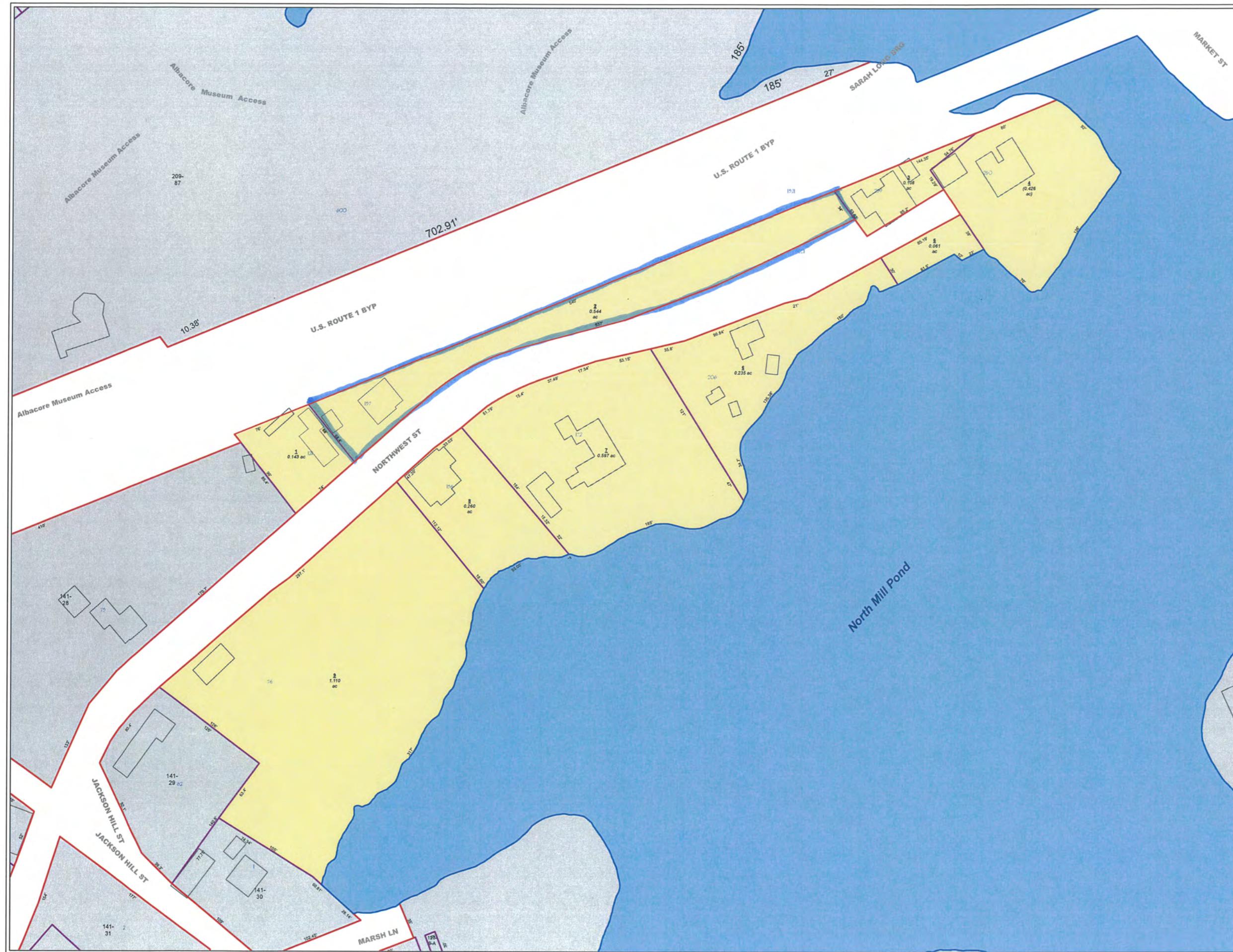
Google Maps 136 Northwest St



Image capture: Sep 2011 © 2020 Google

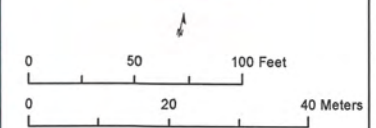




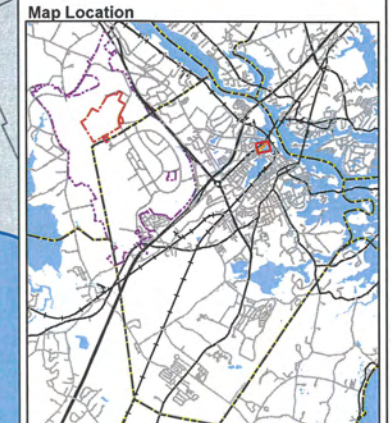
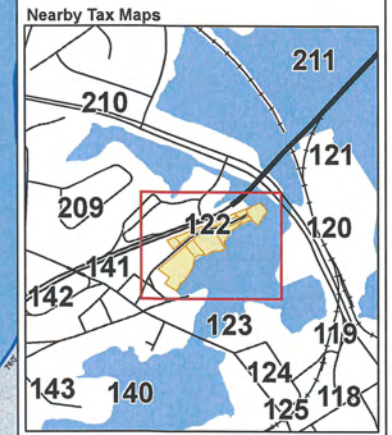


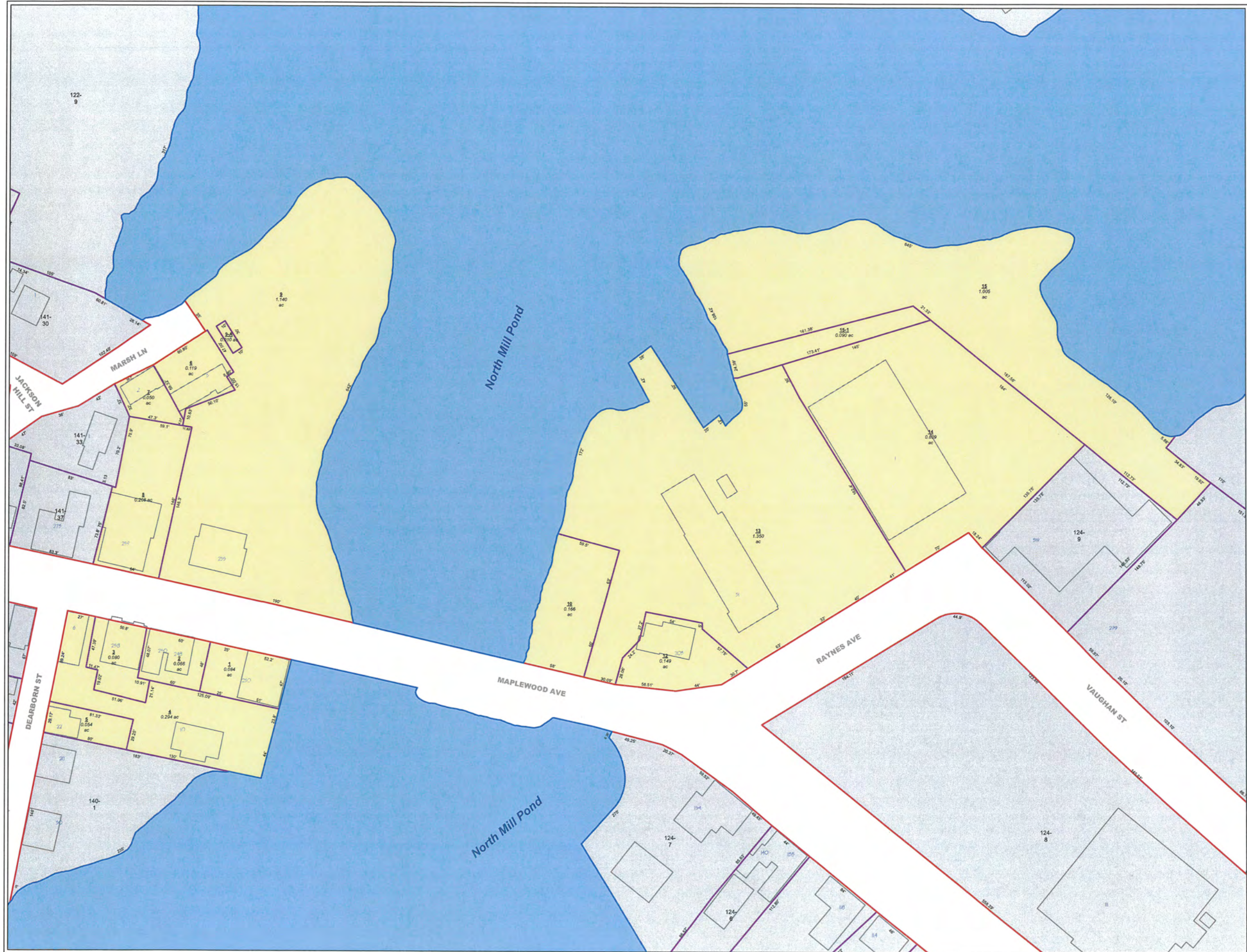
- Partial Legend**
 See the cover sheet for the complete legend.
- 7-5A Lot or lot-unit number
 - 2.56 ac Parcel area in acres (ac) or square feet (sf)
 - 20 Address number
 - 233-137 Parcel number from a neighboring map
 - 88 Parcel line dimension
 - SIMS AVE Street name
 - Parcel/Parcel boundary
 - Parcel/ROW boundary
 - Water boundary
 - Structure (1994 data)
 - Parcel covered by this map
 - Parcel from a neighboring map (see other map for current status)

EXHIBIT 4

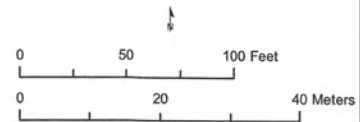


This map is for assessment purposes only. It is not intended for legal description or conveyance. Parcels are mapped as of April 1. Building footprints are 2006 data and may not represent current structures. Streets appearing on this map may be paper (unbuilt) streets. Lot numbers take precedence over address numbers. Address numbers shown on this map may not represent posted or legal addresses.

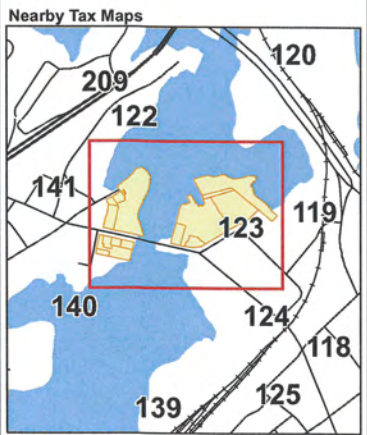




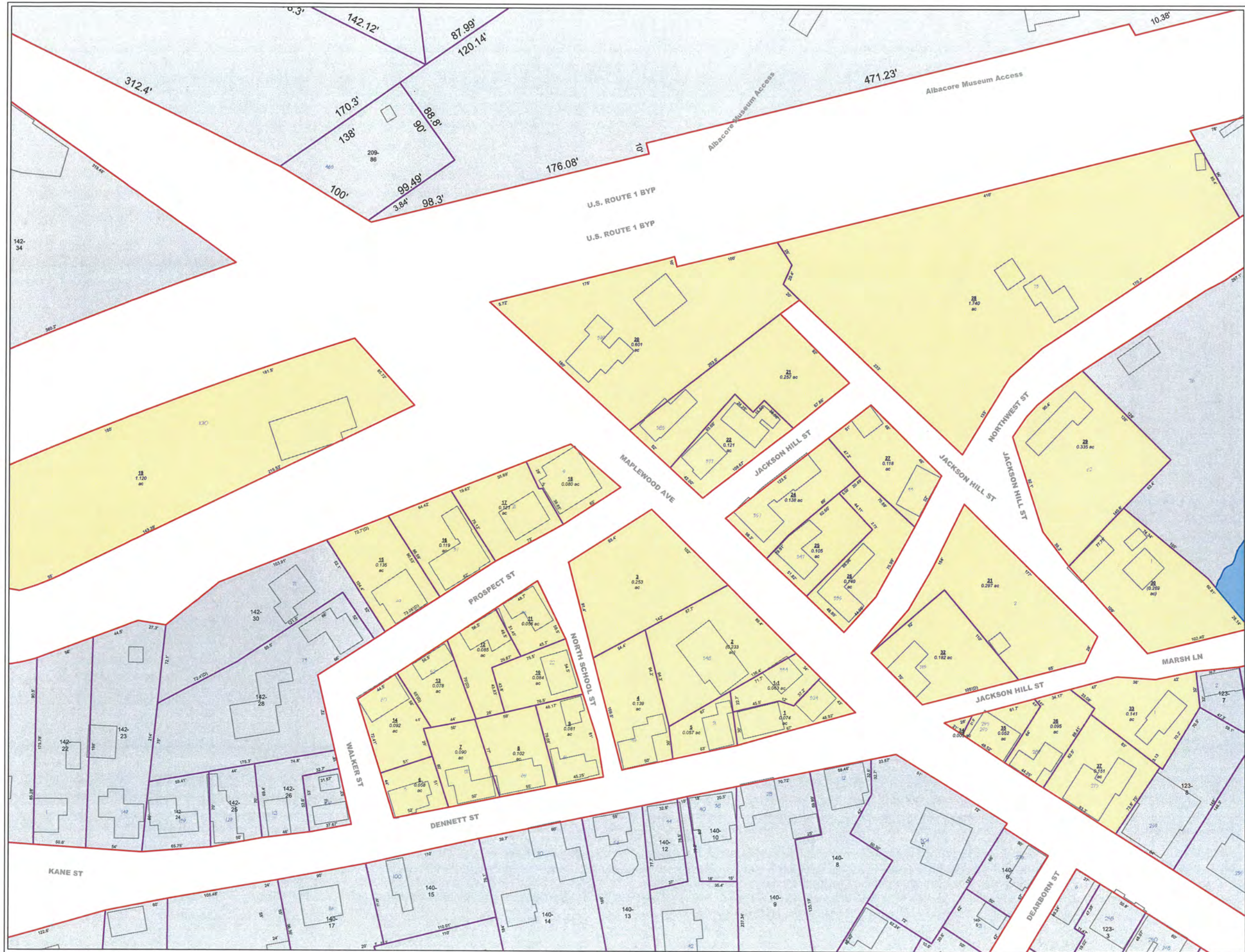
- Partial Legend**
 See the cover sheet for the complete legend.
- 7-5A** Lot or lot-unit number
 - 2.56 ac Parcel area in acres (ac) or square feet (sf)
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 - 233-137 Parcel number from a neighboring map
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 - Parcel from a neighboring map (see other map for current status)



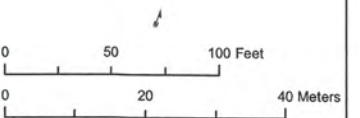
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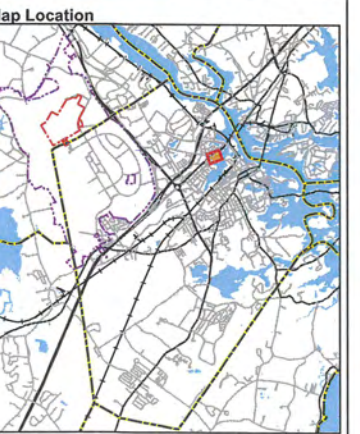
Portsmouth, New Hampshire
 2019
Tax Map 123



- Partial Legend**
 See the cover sheet for the complete legend.
- 7-5A** Lot or lot-unit number
 - 2.56 ac Parcel area in acres (ac) or square feet (sf)
 - 25 Address number
 - 233-137 Parcel number from a neighboring map
 - 6r Parcel line dimension
 - SIMS AVE Street name
 - Parcel/Parcel boundary
 - Parcel/ROW boundary
 - Water boundary
 - Structure (1994 data)
 - Parcel covered by this map
 - Parcel from a neighboring map (see other map for current status)



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**BOARD OF ADJUSTMENT MEETING
PORTSMOUTH, NEW HAMPSHIRE**

Remote Meeting via Zoom Conference Call

7:00 P.M.

NOVEMBER 24, 2020

MINUTES

MEMBERS PRESENT: Chairman David Rheame, Vice-Chairman Jeremiah Johnson, Jim Lee, Peter McDonell, Christopher Mulligan, Arthur Parrott, Alternate Phyllis Eldridge, Alternate Chase Hagaman

MEMBERS EXCUSED: John Formella

ALSO PRESENT: Peter Stith, Planning Department

I. PUBLIC HEARINGS – NEW BUSINESS

Chairman Rheame recused himself from the following petition, and Vice-Chair Johnson took his place as Acting Chair. Alternates Ms. Eldridge and Mr. Hagaman took voting seats.

A) Petition of **Gregory & Amanda Morneault, Owners**, for property located at **137 Northwest Street** wherein relief was needed from the Zoning Ordinance to subdivide one lot into two lots and construct a new two family dwelling which requires the following: 1) Variances from Section 10.521 to allow: a) a lot depth of 44.7 feet for Lot 1 and 23.4 feet for Lot 2 where 70 feet is required for each; b) a lot area per dwelling unit of 5,317 square feet for proposed Lot 2 where 7,500 square feet per dwelling is required; c) a 2.5 foot front yard for proposed Lot 2 where 15 feet is required; and d) a 4 foot rear yard for proposed Lot 2 where 20 feet is required. Said property is shown on Assessor Map 122 Lot 2 and lies within the General Residence A (GRA) District.

SPEAKING TO THE PETITION

Attorney Tim Phoenix was present on behalf of the applicant. Also present were the owners Gregory and Amanda Morneault, lot purchasers Darrell and Reggie Moreau, project engineer Paul Dobberstein, and City Staff Attorney Trevor McCourt. Attorney Phoenix reviewed the petition and explained why the variances were needed. He said the project was a reasonable use for the land, noting that there were many existing homes on nearby small lots that didn't meet the density requirements or were too close to the lot line, and that allowing a duplex would let two families buy a home at the market rate and let the existing owners recoup the long and narrow lot. He reviewed the criteria and said they would be met. He said the applicant would also go before the Planning Board and the Historic District Commission (HDC).

Mr. Mulligan asked whether there was an easement for the vehicle turnaround on the eastern edge of Lot 2. Attorney McCourt said there was no easement and that the City's Public Works department wanted to keep the turnaround as a full or hammerhead turnaround but was willing to work with the applicant. Mr. Mulligan said the design could be reconfigured once it got to the HDC. He asked why there were two units proposed instead of one, noting that it didn't look like there was a lot of outdoor space for two families to enjoy. Attorney Phoenix said it had to do with the balance of the location and the costs of acquisition and construction. He said the buyers Darrell and Reggie thought two homes would make more sense, given that the location included the bypass and a lot of density. He said each unit could sell for a bit less than a single-family home, which made it more affordable as a starter home.

Mr. Hagaman asked how big the yard would be on each side of the duplex. Mr. Dobberstein said the gravel drive would come close to Unit 2, but there would be some room in the back and that the turnaround might be reconfigured. He said the project would go before the Technical Advisory Committee (TAC) and that the drive may be eliminated. Mr. Hagaman asked if the applicant had discussed working out an easement for the turnaround. Attorney Phoenix said the City seemed to be willing to work with the applicant on an easement.

Acting-Chair Johnson opened the public hearing.

SPEAKING IN FAVOR OF THE PETITION

No one was present to speak.

SPEAKING IN OPPOSITION TO THE PETITION

Attorney Joseph Russell said he represented Mary Ann Mahoney of 206 Northwest Street who lived directly across from the proposed structure. He said Ms. Mahoney felt that the project did not meet any of the five criteria. He said the front of the structure would be 27 feet from her front door and that the 2.9-ft setback would align with her driveway, so there would be negative impacts from noise and light, and her health, safety and welfare would be impacted. He said the project would not preserve the essential character of the District because the historic homes on the street ranged from 1664 to 1870, and a duplex with a 4-car garage would not fit. He said she also had concerns about emergency access to her home and about her property's value and thought the only hardship was created by the subdivision.

Katie Petrin of 239 Northwest Street said she and her husband recently bought their house and were concerned that their property's value would be diminished by the project.

SPEAKING TO, FOR, OR AGAINST THE PETITION

Attorney Phoenix said the City wanted to work with the applicant to deal with access issues and allow a greater yard. He said the lot was presently overgrown, which related to the public interest, and that the project would fall in line with the other houses on the street. He said the

project was consistent in terms of density and setbacks in the overall area and that the ages of the surrounding homes were not a factor.

No one else was present to speak, and Acting-Chair Johnson closed the public hearing.

DISCUSSION OF THE BOARD

Mr. Hagaman asked how far the house was from the street. Mr. Stith said it was about twenty feet from the garage to the edge of the pavement. Mr. Hagaman said he was leery because the property-size-per-dwelling unit was misleading if more than half of the property was taken up by a turnaround and the Board didn't know if there would be an easement. Acting-Chair Johnson said the property had a hardship due to the dimensional setbacks and its proximity to the bypass but that he was having a harder time with the use. He said the density variance was backed into by the use and that it was hard to justify why two units were needed instead of one, but he thought there would be a dramatic change to the look of the structure once the HDC was done with its review. Mr. Parrott said there was practically no traffic on Northwest Street and there were topography challenges, both of which were factors that caused him to support the project. He said he had spent time looking at the property and thought the proposed use of the vacant lot was appropriate. Mr. Lee agreed, adding that the property was burdened by the bypass, with all its shining headlights and traffic light, and that the location had a special hardship.

Mr. McDonell said he generally agreed with the points made by Mr. Parrott and Mr. Lee and thought the project might change once the HDC reviewed it, but he didn't think the application met a lot of the criteria. He said the Board had to judge it on whether it would be a change to the character of the neighborhood. He said he disagreed with the applicant that one should look to the density of the property along Maplewood Avenue. He said there would be change in the character of the micro neighborhood that would cause diminution of property values across the street and possibly up and down the street, notwithstanding that it might be good for the City as a whole to have a duplex with more affordable units. He said he didn't think there was a hardship, although there were special conditions that distinguished it from other lots in the area. He said it had to meet the criteria of having no fair and substantial relationship between the purpose of the ordinance and the way its provisions were applied, and he felt that the density and setback requirements in the ordinance were reasonable. He said he did not think that the proposed residential use in a residential area was reasonable in that particular location. He said the petition failed quite a few criteria and that he could not support it.

Mr. Lee disagreed about the diminution of property values in that area. He said that a vacant lot carried no guarantee that it would always be vacant, and he thought that placing a reasonably-priced duplex on it would not diminish property values in the neighborhood. Ms. Eldridge agreed but had trouble believing that the petition would look the same once it was reviewed by the HDC. Acting-Chair Johnson said he had the same concern.

DECISION OF THE BOARD

*Mr. Parrott moved to **grant** the variances for the petition as presented, and Ms. Eldridge seconded.*

Mr. Parrott referred to his earlier comments. He said the ordinance was designed to deal with the odd situation that did not meet the zoning requirements, and he thought the lot complied in spades with that. He said granting the variances would not alter the essential characteristics of the neighborhood because the homes in the neighborhood were old but didn't have much in common, and the structure would look entirely different from them, like any new construction. He said he was having trouble with the public rights in the area because the property was off an embankment to the highway and was seldom used. He said granting the variances would do substantial justice because the applicant had a great deal to gain, whereas the public didn't have much interest in the little-used area. He said he understood that the neighbors were fond of the area but that it was a vacant overgrown lot that would not change the experience of folks in that area. He said the building would be three feet to the property line and not three feet off the street. He said granting the variances would not diminish the values of surrounding properties, noting that the Board hadn't heard expert testimony that they would, other than Mr. Lee's experience as a realtor, and that after the proposed structure was built and the area was landscaped, there would not be a change in the value of surrounding properties. He said the hardship was the physical property itself that was an unusually long and narrow lot and right up against public property, the embankment to the highway, and against a dead-end street, so it was hard to find how it related to other similar properties. He said the use of the vacant lot was appropriate and met the criteria.

Ms. Eldridge concurred and had nothing to add.

Mr. Hagaman said he would not support the motion. He said the City did need additional housing but that he didn't think the property was the right place to squeeze a duplex in. He said the shape of the property was long and narrow, but half of it couldn't have a house and the other half had a public use that wasn't known if it would change or not. He said the duplex would be sandwiched between a road and a berm up against the bypass, and the spirit of the ordinance was to ensure that properties like that were being properly utilized. He said it was the wrong thing to do with the property. Mr. Lee said that building a duplex was a very creative use on a very challenging property and that it would be an asset to the area and the City, so he would support the motion.

*The motion was **denied** by a vote of 4-3, with Mr. Hagaman, Mr. McDonell, Mr. Mulligan, and Acting-Chair Johnson voting against the motion to approve.*

Acting-Chair Johnson asked for another motion.

*Mr. McDonell moved to **deny** the variance requests, and Mr. Hagaman seconded.*

Mr. McDonell said he would incorporate his previous comments. He said the proposed duplex would alter the essential characteristics of the neighborhood because there was nothing else like it in the area, notwithstanding the fact that there was more dense development in a few places down the street and on Maplewood Avenue. He said the project would diminish surrounding property values, especially the value of the home directly across the street, and in general most

of the properties up and down the street. He said there was no hardship because the special conditions did not have a fair relationship between the purpose of the ordinance and its application to the property. He said it was an economically-driven request but that it wasn't enough. He said he didn't think one could get over the hump of the density and setback requirements, and he didn't think the duplex use in that location was a reasonable one. Mr. Hagaman concurred and said he would incorporate his remarks from the previous motion.

*The motion **passed** by a vote of 4-3, with Ms. Eldridge, Mr. Lee, Mr. Parrott voting in opposition to the motion.*

Chairman Rheaume assumed his seat as Chair, Acting-Chair Johnson resumed his seat as Vice-Chair, and Mr. Hagaman returned to alternate status.

B) Petition of **111 Maplewood Avenue, LLC, Owner**, for property located at **145 Maplewood Avenue** wherein relief was needed from the Zoning Ordinance for signage for new building which requires the following: 1) A Variance from Section 10.1251.20 to allow a 57 square foot freestanding sign where 20 square feet is the maximum allowed. 2) A Variance from Section 10.1242 to allow wall signs above the ground floor on all sides of the building. 3) A Variance from Section 10.1242 to allow wall signs above the ground floor on a side of a building not facing a street. 3) A Variance from Section 10.1144.63 to allow illuminated signs above 25 feet from grade. Said property is shown on Assessor Map 124 Lot 8-1 and lies within the Character District 5 (CD5) District.

SPEAKING TO THE PETITION

Attorney Chris Boldt was present on behalf of the applicant. The Chief Operating Officer of the Kane Company Eric Nelson and the project architect Chris Lizotte were also present.

Mr. Lizotte reviewed the petition. He said the building would be a 4-story multi-tenant building and that most of the tenants wanted signage that was associated with their uses. He said the building would also have mounted lights that were previously approved by the HDC. Attorney Boldt noted that the textual signs were less square footage than technically allowed and that the lighted signs were classified by the ordinance as signs and were approved by the HDC. He said they also needed approval from the Board for a freestanding sign. He said the special conditions of the building included its location and having three fronts, with a fourth not being on a street. He reviewed the criteria and said they would be met.

Chairman Rheaume verified all the sign locations with Attorney Boldt to see which ones were below street level, at street level, or above street level. Mr. Hagaman asked whether each sign for a particular tenant faced the street or was a potential entry point for the tenant or the public. Attorney Boldt said the main entrance was off the pedestrian alley, which most people would use. He said there were two potential tenant spaces on the first floor and a lower-level tenant on the Vaughan Street elevation that would each have an outside door. Mr. Hagaman asked why

ONE COMMERCIAL



January 22, 2021

David Rheume
Chairman
Zoning board of Adjustment
City of Portsmouth
1 Junkins Ave
Portsmouth NH 03801

Dear Chairman Rheume,

I am writing on behalf of On Site Family Martial Arts Center to request a Special Exception to allow their use in the Gateway 1 Zone at 6A Roberts Avenue where that use is allowed by Special Exception. On Site Family Martial Arts Center desires to occupy 4,325 square feet of space currently occupied by Keene Medical Products. On Site Family Martial Arts Center will be a less intense use of the property with fewer customers and employees and no warehousing and distribution of products. To summarize:

1. The use will cause no hazard to the public or adjacent property owner on account of potential fire, explosion or toxic materials. On Site Family Martial Arts Center does not use any explosive or toxic materials.
2. There will be no detriment to property values or change to the characteristics of the neighborhood. There are no odors, pollutants, etc. used by On Site Family Martial Arts Center, there will be no outside storage of equipment, vehicles, etc.
3. On Site Family Martial Arts Center will not create a traffic hazard or increase the amount of traffic in the vicinity. It is anticipated that On Site Family Martial Arts Center will have a reduced amount of traffic than the previous tenant.
4. There will not be an excessive demand on municipal services. It is anticipated that On Site Family Martial Arts Center will have an equal or less demand than the previous tenant.
5. There will be increase of stormwater runoff onto adjacent property or streets. There will be no change to the footprint of the building or property site plan.

Dover Office
50 Pointe Place, Suite 23
Dover NH 03824
(603) 373-8725

www.brickandbargroup.com

Portsmouth Office
155 Brewery Lane, Suite 103
Portsmouth, NH 03801
(603) 373 8725

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Bob Marchewka', with a long horizontal flourish extending to the right.

Bob Marchewka
One Commercial Real Estate LLC
Brick and Barn Real Estate Group
155 Brewey Lane, Suite 103
Portsmouth NH 03801
bob@onecommercialrealestate.com

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50 Pointe Place, Suite 23
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Portsmouth, NH 03801
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CLJR L.L.C.

Mr. Robert Marchewka
One Commercial Real Estate
155 Brewery Lane, Suite #103
Portsmouth NH. 03801

January 22, 2021

RE: 6 A Robert Avenue
Portsmouth NH

Bob,

I do hereby grant Robert Marchewka and Harry Charache the right to file as required with the City of Portsmouth NH., the permits necessary for On-Site Family Martial Arts Center to receive approval to occupy this premise.



Robert A. Ricci, Jr.
Manager C.L.J.R., L.L.C.

Existing Conditions
6A Robert Ave, Portsmouth NH
January 19, 2021



View from Robert Ave



Entry to Unit 6A



Rear View of Property



Rear View of 6A Parking Area



Lobby



Hallway to Training Area



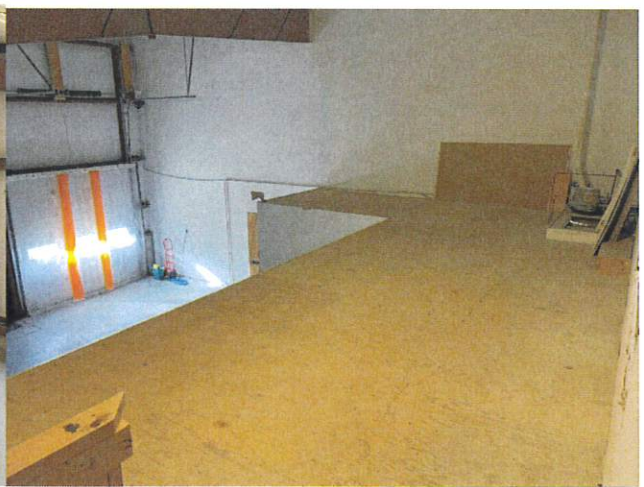
Training Area



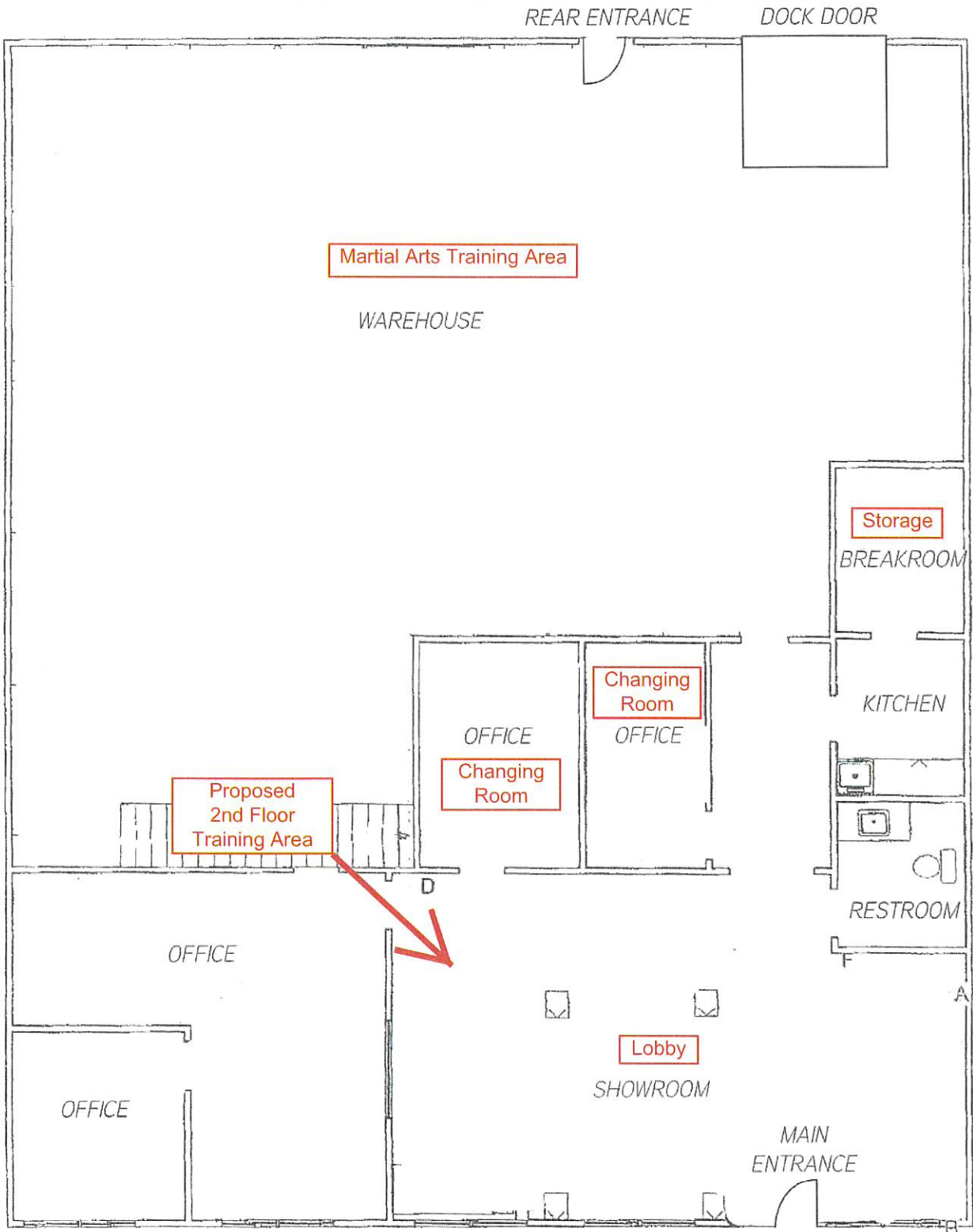
View to 2nd Floor



Proposed 2nd Floor Training Area



2nd Floor Deck



*NOT TO SCALE