

MEETING OF THE HISTORIC DISTRICT COMMISSION

To register in advance for this meeting, click on the link below or copy and paste this into your web browser:

https://zoom.us/webinar/register/WN_ttvv7U_NTBSuiP4yVm2K-g

You are required to register in advance to join the meeting over Zoom, a unique meeting ID and password will be provided once you register. Public comments can be emailed in advance to planning@cityofportsmouth.com. For technical assistance, please contact the Planning Department by email (planning@cityofportsmouth.com) or phone (603) 610-7296.

Per NH RSA 91-A:2, III (b) the Chair has declared COVID-19 outbreak an emergency and has waived the requirement that a quorum be physically present at the meeting pursuant to the Governor's Executive Order 2020-04, Section 8, as extended by Executive Order 2020-5, and Emergency Order #12, Section 3. Members will be participating remotely and will identify their location and any person present with them at that location. All votes will be by roll call.

6:30 p.m.

May 20, 2020

AGENDA

The Board's action in these matters has been deemed to be quasi-judicial in nature. If any person believes any member of the Board has a conflict of interest, that issue should be raised at this point or it will be deemed waived.

I. ADMINISTRATIVE APPROVALS

1. 73 Daniel Street (*this item was continued at the May 13, 2020 meeting to the May 20, 2020 meeting.*)
2. 250 Market Street
3. 111 Maplewood Avenue

II. CERTIFICATE OF APPROVAL- EXTENSION

1. Petition of **Joseph J. & Jennifer Almeida, owners**, for property located at **103 High Street**, wherein a 1-year extension of the Certificate of Approval granted by the Historic District Commission on June 05, 2019 is requested, to allow new construction and exterior renovations to an existing structure (modify front elevation by adding store-front, landing, and stairs) as per plans on file in the Planning Department. Said property is shown on Assessor Map 118 as Lot 22 and lies within the Character District 4-L2 (CD4-L2), Downtown Overlay, and Historic Districts.

III. PUBLIC HEARINGS (NEW BUSINESS)

1. Petition of **Patrick Beat and Egle Maksimaviciute Diggelmann, owners**, for property located at **137 New Castle Avenue**, wherein permission is requested to allow new construction

to an existing structure (add roof over existing rear patio) as per plans on file in the Planning Department. Said property is shown on Assessor Map 101 as Lot 55 and lies within the General Residence B (GRB) and Historic Districts.

IV. WORK SESSIONS (OLD BUSINESS)

A. Work Session requested by **3A Trust, Guy D. and Elizabeth R. Spiers Trustees, owners**, for property located at **241 South Street**, wherein permission is requested to allow new construction to an existing structure (remove rear porch and replace with new attached garage and porch) as per plans on file in the Planning Department. Said property is shown on Assessor Map 111 as Lot 36 and lies within the General Residence B (GRB) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 13, 2020 meeting.)*

B. Work Session requested by **Todd and Jan Peters, owners**, for property located at **379 New Castle Avenue**, wherein permission is requested to allow new construction to an existing structure (construct 2nd story additions) and exterior renovations (rebuild existing chimneys) as per plans on file in the Planning Department. Said property is shown on Assessor Map 207 as Lot 4 and lies within the Single Residence B (SRB) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 20, 2020 meeting.)*

C. Work Session requested by **Donna P. Pantelakos Revocable Trust, G.T. and D.P. Pantelakos Trustees, owners**, for property located at **138 Maplewood Avenue**, wherein permission is requested to allow new construction to an existing structure (add 2nd story addition over existing garage) as per plans on file in the Planning Department. Said property is shown on Assessor Map 124 as Lot 6 and lies within the Character District 4-L1 (CD4-L1) and Historic Districts. *(This item was postponed at the April 15, 2020 meeting to the May 20, 2020 meeting.)*

V. WORK SESSIONS (NEW BUSINESS)

1. Work Session requested by **15 Middle Street Real Estate Holding Co., LLC, owner**, for property located at **15 Middle Street**, wherein permission is requested to allow renovations to an existing structure (new siding and trash enclosure) as per plans on file in the Planning Department. Said property is shown on Assessor Map 126 as Lot 12 and lies within the Character District 4 (CD4), Downtown Overlay, and Historic Districts.

VI. ADJOURNMENT

Historic District Commission

Staff Report – May, 2020

May 7th MEETING

ADMINISTRATIVE ITEMS / OLD BUSINESS:

Administrative Approvals:

1. 403 Deer St. Unit 13 (LUHD-120) - TBD
2. 3 Pleasant St. (LUHD-138) - TBD
3. 410-420 Islington St, (LUHD-128) - Recommend Approval

PUBLIC HEARINGS – NEW BUSINESS:

1. 50 Austin St. (LU-20-102) (Porch Addition)
2. 35 Howard St. #35 (LU-20-32) (windows)
3. 56 Dennett St. (LU-20-36) (Rear Addition)
4. 44 Gardner St. (LU-20-107) (Bay Window)

WORK SESSIONS – OLD BUSINESS:

- A. 299 Vaughan St. (LU-19-101) (5-Story Hotel)
- B. 125 Bow St. (LUHD-112) (Roof and Siding)

May 13th MEETING

ADMINISTRATIVE ITEMS / OLD BUSINESS:

Administrative Approvals:

1. 140 Court Street (LUHD-139) – TBD
2. 73 Daniel St. (LUHD-131) - TBD

WORK SESSIONS – OLD BUSINESS:

- C. 132-134 Middle St. (LUHD-105) (Façade)
- D. 134 South St. (LUHD-108) (Façade & Roof Deck)
- E. 165 Court St. (LUHD-109) (Storefront System)
- F. 105 Chapel St. (LUHD-117) (Connector Addition)

May 20th MEETING

ADMINISTRATIVE ITEMS / OLD BUSINESS:

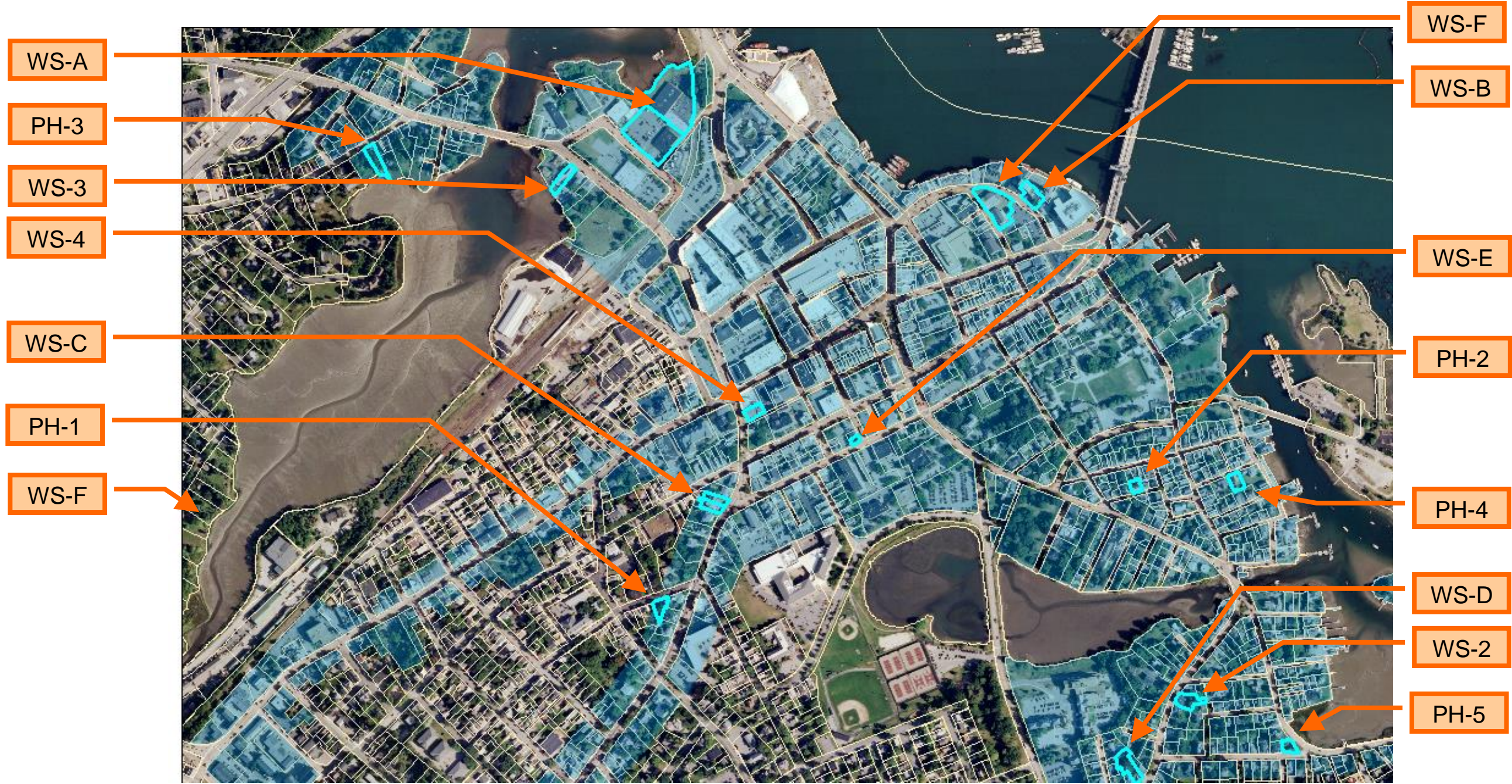
Administrative Approvals:

PUBLIC HEARINGS – NEW BUSINESS:

5. 137 Castle Ave. (LU-20-68) (Patio Roof)

WORK SESSIONS – NEW BUSINESS:

1. 379 New Castle Ave. (LU-20-56) (2nd Story Addition)
2. 241 South St. (LUHD-124) (Garage and Porch)
3. 138 Maplewood Ave. (LU-20-71) (2nd story addition)
4. 15 Middle Street (LUHD-133) (Patio Roof)



LOCATOR MAP

HISTORIC DISTRICT COMMISSION

MEETING DATE: May, 2020
APPLICATIONS: 20

Historic District Commission

Project Evaluation Form: 50 AUSTIN STREET
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #1 (LU-20-102)

A. Property Information - General:

Existing Conditions:

- Zoning District: GRC
- Land Use: Single-Family
- Land Area: 6,100 SF +/-
- Estimated Age of Structure: c.1810
- Building Style: Federal
- Number of Stories: 3.0
- Historical Significance: Contributing
- Public View of Proposed Work: Limited view from Middle Street.
- Unique Features: NA.
- Neighborhood Association: Goodwin Park

B. Proposed Work: To add an enclosed porch on the rear elevation.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Neighborhood Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along Austin Street and is surrounded with many other 2.5-3 story wood-sided and brick buildings. Most buildings in the surrounding context have small front yard setbacks and shallow rear yards.

J. Previous HDC Comments and Suggestions:

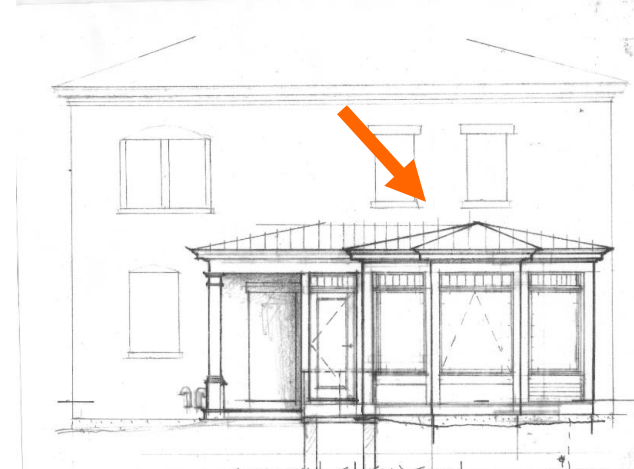
- The HDC has not previously reviewed this application.

K. Staff Comments and Suggestions:

- Due to the meeting delays this project has been posted as a Work Session/ Public Hearing.
- The work proposed by the applicant is located along the rear elevation of the structure. The enclosed porch design has raised wood panels and is proposed to have a standing seam roof and large plate glass windows.

Design Guideline Reference –Guidelines for Roofing (04), Porches, Stoops and Decks (06) & Windows and Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Rear Enclosed Porch



Ariel View

**HISTORIC
SURVEY
RATING**

C

50 AUSTIN STREET (LU-20-102) – PUBLIC HEARING #1 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY	NEIGHBORHOOD CONTEXT	
		GENERAL BUILDING INFORMATION	(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)		
		1 Gross Floor Area (SF)	<p>MINOR PROJECT</p> <p>– ADD ENCLOSED PORCH ON REAR ELEVATION –</p>		
		2 Floor Area Ratio (GFA/ Lot Area)			
		3 Building Height / Street-Width Ratio			
		4 Building Height – Zoning (Feet)			
		5 Building Height – Street Wall / Cornice (Feet)			
		6 Number of Stories			
		7 Building Coverage (% Building on the Lot)			
		PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 50 AUSTIN STREET Case No.: 1 Date: 5-7-20

Decision: Approved Approved with Stipulations Denied
 Continued Postponed With Drawn



H. Purpose and Intent:

- | | |
|--|---|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|---|---|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 35 HOWARD STREET (LU-20-32)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #2

A. Property Information - General:

Existing Conditions:

- Zoning District: GRB
- Land Use: Two-Family
- Land Area: 3,500 SF +/-
- Estimated Age of Structure: c.1858
- Building Style: Colonial
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Howard Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To replace 10 existing windows

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Neighborhood Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along Howard Street in the South End and is surrounded with many other wood and brick, 2-3 story contributing structures with no front yard setbacks on narrow lots.

J. Previous HDC Comments and Suggestions:

- The HDC has not previously reviewed this application. The condo association will need to approve of the proposed changes.

K. Staff Comments and Suggestions for Consideration:

- To replace 5 front facing windows, 5 side facing windows and 3 rear facing windows with Green Mountain concealed balance replacement window or sash and balance with vinyl track replacement window. Windows will be replaced exactly as they are. 9 are currently 6/6 and will remain that way. 3 are 2/2 and will remain that way and 1 is 6/4 and will remain that way. The windows are approximately 110 years old and in fair to poor condition. Photos of all windows to be replaced are attached. Consistent with the Design Guidelines the applicant was directed to also explore window restoration as a preferred alternative.

Design Guideline Reference – Guidelines for Exterior Woodwork (05) and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image



Aerial View

**HISTORIC
SURVEY
RATING**

C

35 HOWARD STREET (LU-20-32) – PUBLIC HEARING #2 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<h3 style="margin: 0;">MINOR PROJECT</h3> <h4 style="margin: 0;">– Replace 10 Windows –</h4>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	38		Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39		Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40		Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 35 HOWARD ST. Case No.:2 Date:5-7-20

Decision: Approved Approved with Stipulations Denied
 Continued Postponed With Drawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
|--|--|--|--|

Historic District Commission

Project Evaluation Form: 56 DENNETT STREET (LU-20-32)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #3

A. Property Information - General:

Existing Conditions:

- Zoning District: GRA
- Land Use: Single Family
- Land Area: 9,150 SF +/-
- Estimated Age of Structure: c.1730
- Building Style: Colonial
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: Limited View from Dennett Street
- Unique Features: NA
- Neighborhood Association: Christian Shore

B. Proposed Work: To add a rear addition and replacement windows

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Neighborhood Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
- Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
- Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
- Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
- Minor Project (i.e. small alterations, additions or expansions)
- Moderate Project (i.e. significant additions, alterations or expansions)
- Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along Dennett Street in the Christian Shore neighborhood and is surrounded with many other wood, 2-2.5 story contributing structures with little to no front yard setbacks on narrow lots.

J. Previous HDC Comments and Suggestions:

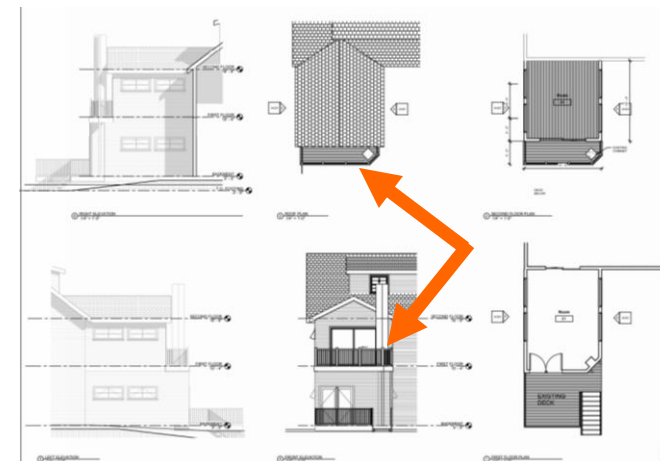
- The HDC has not previously reviewed this application.

K. Staff Comments and Suggestions for Consideration:

- The proposed rear addition is designed to match the existing style and appearance of the existing contemporary rear addition.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Small Scale New Construction & Additions (10), and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image



Aerial View

**HISTORIC
SURVEY
RATING**

C

56 DENNETT STREET (LU-20-36) – PUBLIC HEARING #3 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT - Add a rear addition & replacement windows -				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 56 DENNETT ST Case No.: 3 Date: 5-7-20

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | | |
|--|--|--|--|------------|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and compatibility of design with surrounding properties: | Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compati |
|--|--|--|--|------------|

Historic District Commission

Project Evaluation Form: **44 GARDNER STREET (LUHD-107)**
Permit Requested: **CERTIFICATE OF APPROVAL**
Meeting Type: **PUBLIC HEARING #4**

A. Property Information - General:

Existing Conditions:

- Zoning District: GRB
- Land Use: Single Family
- Land Area: 6,267 SF +/-
- Estimated Age of Structure: c.1895
- Building Style: Queen Anne
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Gardner St. and Walton Alley
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To add a kitchen bay and porch and sunroom addition

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Neighborhood Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along Gardner Street in the South End and is surrounded with many other wood, 2-2.5 story contributing structures with no front yard setbacks on narrow lots.

J. Previous HDC Comments and Suggestions:

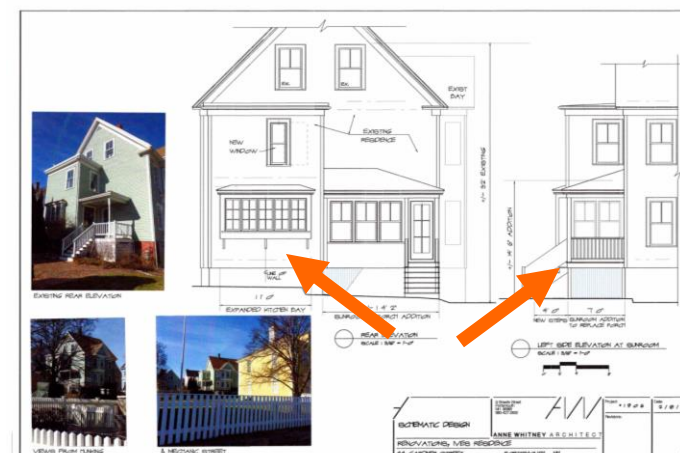
- The HDC previously reviewed this application and supported the design as presented.

K. Staff Comments and Suggestions for Consideration:

- The proposed sunroom and porch is designed to match the existing historic style and appearance.
- The second floor window appears to be a different dimension and grill pattern than the other 2/1 double-hung windows on the structure.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Small Scale New Construction & Additions (10), and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image



Aerial View

**HISTORIC
SURVEY
RATING**

C

44 GARDNER STREET (LUHD-107) – PUBLIC HEARING #4 (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MINOR PROJECT – Remove rear porch & replace with sunroom & expand kitchen bay –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	38 Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: **44 GARDNER ST** Case No: **4** Date: **5-7-20**

Decision: Approved Approved with Stipulations Denied
 Continued Postponed With Drawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | | |
|--|--|--|--|------------|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and compatibility of design with surrounding properties: | Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compati |
|--|--|--|--|------------|

Historic District Commission

Project Evaluation Form: 299 VAUGHAN STREET (LU-19-101)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #A

A. Property Information - General:

Existing Conditions:

- Zoning District: CD5
- Land Use: Commercial
- Land Area: 78,843 SF +/-
- Estimated Age of Structure: c.1920/1970
- Building Style: Industrial
- Number of Stories: 2.0
- Historical Significance: Non-Contributing
- Public View of Proposed Work: View from Market and Green Streets
- Unique Features: NA
- Neighborhood Association: North End

B. Proposed Work: To add a new 5-Story Hotel

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Neighborhood Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This non-contributing structure is located along Green Street and is surrounded with many other brick or metal-clad buildings between 1-5 stories in height. Much of the North End was cleared during Urban Renewal period in the 1960s but the buildings on this site were outside the limit of clearing. It also appears that the proposed building location is not within historically-filled tidelands. The abutting 233 Vaughan Street building and the AC Hotel were recently completed and the AC Hotel project includes a community space requirement for public access to and along the waterfront on the North Mill Pond.

J. HDC & Staff Comments and Suggestions for Consideration:

- Members suggested alternative designs to better differentiate the proposed hotel from AC Hotel. Members felt the pedestrian passageway needed further refinement in order to be more inviting to the public. Other comments suggested other ground-floor modifications to give the building a more uniform base and a clearly distinguished entrance. Adding windows and transparency to the brick stairwell was also suggested.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Small Scale New Construction & Additions (10), and Windows & Doors (08).

K. Proposed Design, Street View and Aerial View:



Proposed Design and Street View Image of Existing Conditions



Aerial View

**HISTORIC
SURVEY
RATING**

NC

299 VAUGHAN STREET (LU-20-102) – WORK SESSION #A (MAJOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MAJOR PROJECT – ADD A NEW 5-STORY HOTEL –			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21 Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34 Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	38 Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	39 Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	40 Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: **299 VAUGHAN STREET** Case No.: **A Date: 5-7-20**

Decision: Approved Approved with Stipulations Denied
 Continued Postponed With Drawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 125 BOW STREET (LUHD-112)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #B

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Mixed-Use
- Land Area: 9,489 SF +/-
- Estimated Age of Structure: c.1890
- Building Style: Utilitarian Classical
- Number of Stories: 3
- Historical Significance: Contributing
- Public View of Proposed Work: View from Bow Street
- Unique Features: Seacoast Repertory Theater
- Neighborhood Association: Downtown

B. Proposed Work: To replace the roof & add insulated siding on the exterior walls.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along Bow Street and is surrounded with many other brick or wood-sided historic buildings between 2.5-5 stories in height. Most buildings have little to no front yard setback and narrow side yards.

J. Previous HDC Comments and Suggestions:

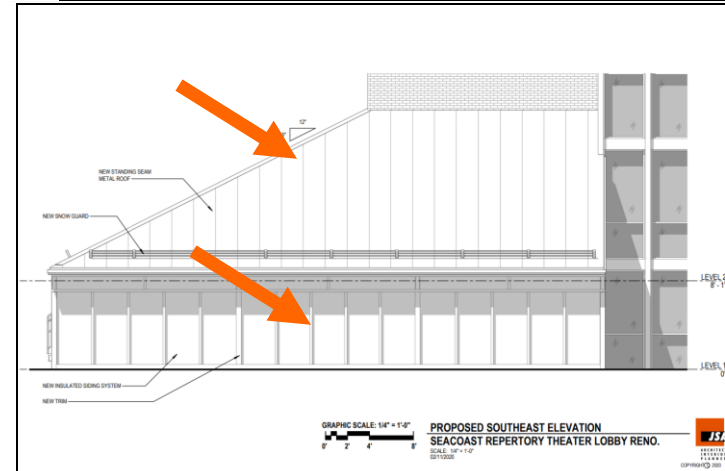
- The HDC previously reviewed this application on 2-12-20 and some members felt the proposed changes were character-defining changes that should be reconsidered to maintain some authenticity of this modern structure. For example, some members felt alternate panels should be explored to enable natural light to still enter the building.

K. Staff Comments and Suggestions for Consideration:

No additional information has been submitted for this work session.

Design Guideline Reference: Guidelines for Roofing (03), Windows and Doors (08) and Commercial Developments and Storefronts (12).

L. Proposed Design, 3d Massing View and Aerial View:



Aerial and Street View Image



Zoning Map

HISTORIC SURVEY RATING

C

125 BOWSTREET (LUHD-112) – WORK SESSION #B (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<p>MINOR PROJECT</p> <p>- Replace Roof and Add Insulated Siding -</p>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 125 BOW STREET Case No.: B Date: 5-7-20
Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 132-134 MIDDLE STREET (LUHD-105)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #C

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Mixed-Use
- Land Area: 11,060 SF +/-
- Estimated Age of Structure: c.1865
- Building Style: Mansard
- Number of Stories: 3.0
- Historical Significance: Focal
- Public View of Proposed Work: View from Middle Street & Haymarket Square
- Unique Features: The Parrot House is a Focal building
- Neighborhood Association: Downtown

B. Proposed Work: To repoint brick, replace the roof & made entryway improvements

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Neighborhood Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This focal historic structure is located along Haymarket Square and is surrounded with many other brick or wood-sided historic buildings between 2.5-3 stories in height. The structure is located upon two lots which are included in this application.

J. Previous HDC Comments and Suggestions:

- The HDC has not previously reviewed this application.

K. Staff Comments and Suggestions for Consideration:

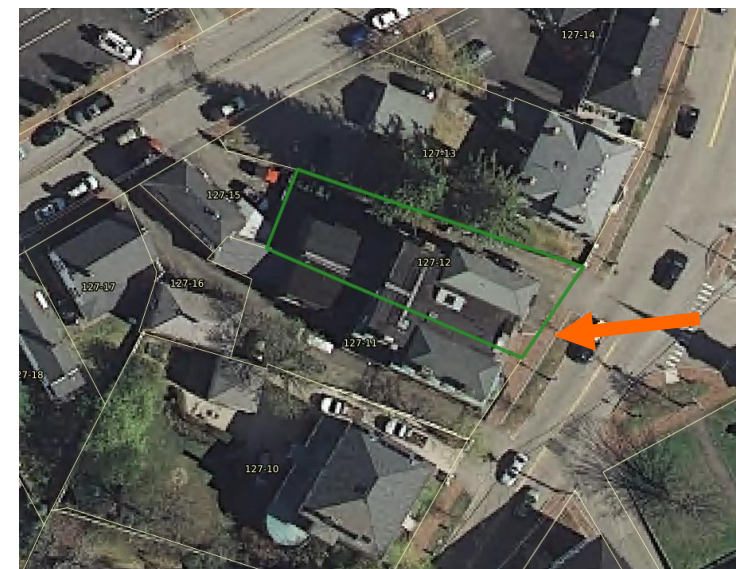
- The proposed improvements involve removal and replacement of contributing, character-defining and non-contributing materials.
- The front entryway is proposed to be a pre-case brownstone material which should be made to match the color of the existing brownstone and sample should be requested.
- The front doors should be considered for restoration given they are original to the structure.
- Revised elevations will be provided prior to the May 13th meeting.

Design Guideline Reference – Guidelines for Exterior Maintenance (03), Roofing (04), Exterior Woodwork (05), Masonry and Stucco (07) and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and Street View Image of Existing Conditions



Aerial View

**HISTORIC
SURVEY
RATING**

F

132-134 MIDDLE STREET (LUHD-105) – WORK SESSION #C (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	MODERATE PROJECT – Replace Roof, Repoint Brick and Replace Front Entryway –				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM
PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 132-134 MIDDLE ST Case No.:C Date:5-13-20
Decision: Approved Approved with Stipulations Denied
 Continued Postponed With Drawn



H. Purpose and Intent:

- 1. Preserve the integrity of the District: Yes No
- 2. Assessment of the Historical Significance: Yes No
- 3. Conservation and enhancement of property values: Yes No
- 4. Maintain the special character of the District: Yes No
- 5. Complement and enhance the architectural and historic character: Yes No
- 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: Yes No

I. Review Criteria / Findings of Fact:

- 1. Consistent with special and defining character of surrounding properties: Yes No
- 2. Compatibility of design with surrounding properties: Yes No
- 3. Relation to historic and architectural value of existing structure: Yes No
- 4. Compatibility of innovative technologies with surrounding properties: Yes No

Historic District Commission

Project Evaluation Form: 134 SOUTH STREET (LUHD-108)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #D

A. Property Information - General:

Existing Conditions:

- Zoning District: GRB
- Land Use: Multi-Family
- Land Area: 7,208 SF +/-
- Estimated Age of Structure: c.1900
- Building Style: Colonial Revival
- Number of Stories: 3.0
- Historical Significance: Contributing
- Public View of Proposed Work: View from South and So. School Streets
- Unique Features: Triple Decker
- Neighborhood Association: South End

B. Proposed Work: To add a roof deck & update the façade, entryway and decks

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Neighborhood Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along South Street and is surrounded with many other wood-sided historic buildings between 2-2.5 stories in height. The lots have shallow front- and side-yard setbacks.

J. Previous HDC Comments and Suggestions:

- The HDC previously reviewed this application and suggested the applicant consider a more traditional railing system on the street-facing façade with no curve on the balconies and modifications to the stairwell on the roof to minimize its appearance. Other comments included adding darker storm windows and a darker color on the exposed foundation.

K. Staff Comments and Suggestions for Consideration:

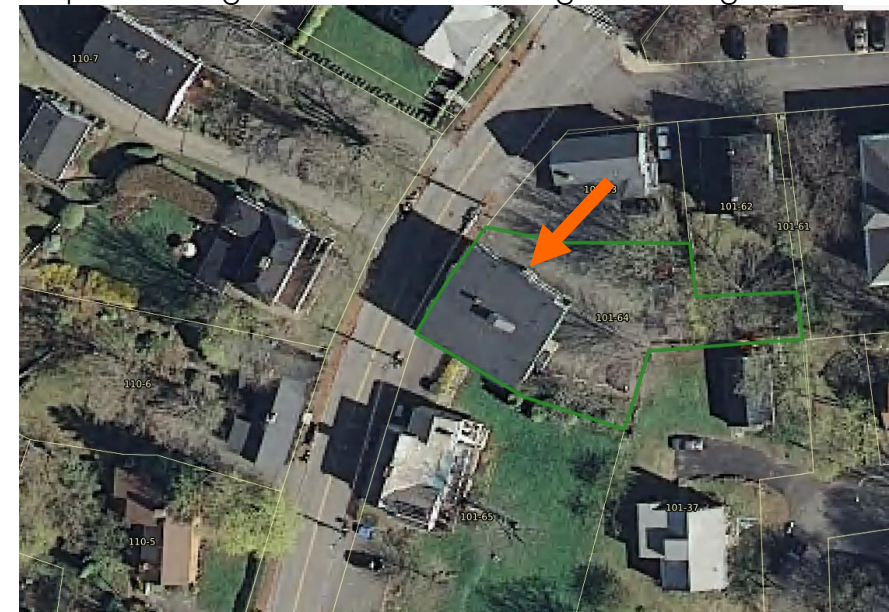
- The proposed improvements employ a highly-differentiated design approach from the original historic Colonial Revival style of the building. Additionally, the enclosed stairwell to the roof is nearly 10 feet above the existing roof line. A variety of color options has been included and the stairwell on the roof is visible from South Street.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Small Scale New Construction & Additions (10), and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and Street View Image of Existing Conditions



Aerial View

**HISTORIC
SURVEY
RATING**

C

134 SOUTH STREET (LUHD-108) – WORK SESSION #D (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MINOR PROJECT – ADD ROOF DECK, LIGHTING, AND BALCONIES –</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 134 SOUTH ST Case No.:D Date:5-13-20

Decision: Approved Approved with Stipulations Denied
 Continued Postponed With Draw



H. Purpose and Intent:

- 1. Preserve the integrity of the District: Yes No
- 2. Assessment of the Historical Significance: Yes No
- 3. Conservation and enhancement of property values: Yes No
- 4. Maintain the special character of the District: Yes No
- 5. Complement and enhance the architectural and historic character: Yes No
- 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: Yes No

I. Review Criteria / Findings of Fact:

- 1. Consistent with special and defining character of surrounding properties: Yes No
- 2. Compatibility of design with surrounding properties: Yes No
- 3. Relation to historic and architectural value of existing structure: Yes No
- 4. Compatibility of innovative technologies with surrounding properties: Yes No

Historic District Commission

Project Evaluation Form: 165 COURT STREET (LUHD-109)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #E

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4-L1
- Land Use: Commercial
- Land Area: 1,807 SF +/-
- Estimated Age of Structure: c.1953
- Building Style: Modern
- Number of Stories: 2.0
- Historical Significance: Non-Contributing
- Public View of Proposed Work: View from Fleet and Court Streets
- Unique Features: NA
- Neighborhood Association: Downtown

B. Proposed Work: To modify the storefront system.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Neighborhood Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, AC Hotel)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alterations, additions or expansions)

I. Neighborhood Context:

- This non-contributing historic structure is located along the intersection of Fleet and Court Streets and is surrounded with many other brick or wood-sided historic buildings between 2.5-3 stories in height. The building in this neighborhood have little to no front yard setback and shallow side yard setbacks.

J. Previous HDC Comments and Suggestions:

- The HDC previously reviewed this application and several members expressed a preference for the glass (tinted) canopy with more architectural detailing on the tiebacks for the canopy and leaving the exposed brick foundation unpainted.

K. Staff Comments and Suggestions for Consideration:

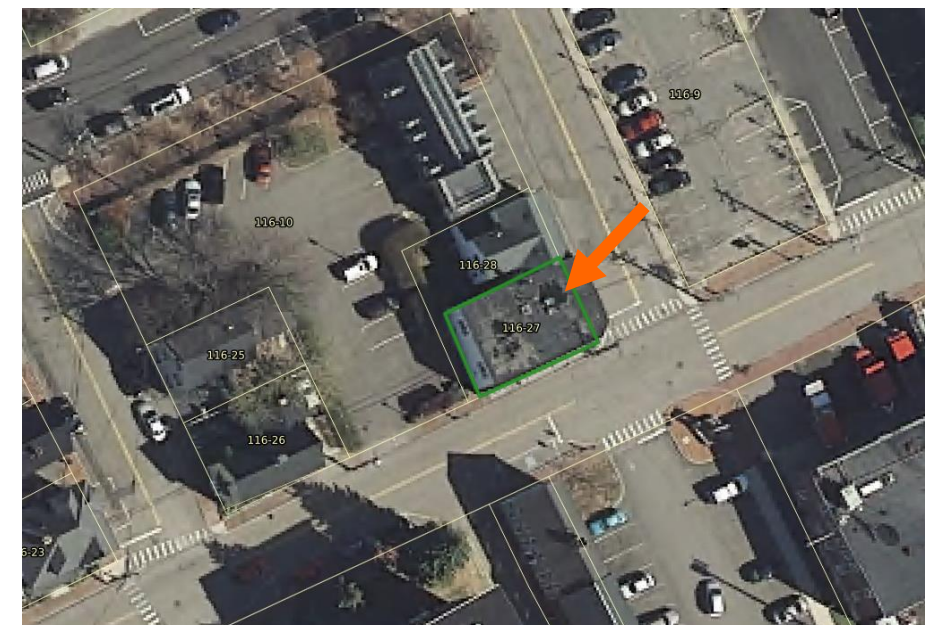
- The proposed improvements include adding new storefront windows and a new canopy along the sidewalk.

Design Guideline Reference – Guidelines for Exterior Woodwork (05), Small Scale New Construction & Additions (10), and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image of Existing Conditions



Aerial View

**HISTORIC
SURVEY
RATING**

NC

165 COURT STREET (LUHD-109) – WORK SESSION #E (MINOR)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
	1	Gross Floor Area (SF)	<p>MINOR PROJECT – MODIFY THE STOREFRONT SYSTEM –</p>				
	2	Floor Area Ratio (GFA/ Lot Area)					
	3	Building Height / Street-Width Ratio					
	4	Building Height – Zoning (Feet)					
	5	Building Height – Street Wall / Cornice (Feet)					
	6	Number of Stories					
7	Building Coverage (% Building on the Lot)						
		PROJECT REVIEW ELEMENT	HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	21	Doors and windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	34	Garages (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 165 COURT ST Case No.:E Date:5-13-20

Decision: Approved Approved with Stipulations Denied
 Continued Postponed With Drawn



H. Purpose and Intent:

- 1. Preserve the integrity of the District: Yes No
- 2. Assessment of the Historical Significance: Yes No
- 3. Conservation and enhancement of property values: Yes No
- 4. Maintain the special character of the District: Yes No
- 5. Complement and enhance the architectural and historic character: Yes No
- 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: Yes No

I. Review Criteria / Findings of Fact:

- 1. Consistent with special and defining character of surrounding properties: Yes No
- 2. Compatibility of design with surrounding properties: Yes No
- 3. Relation to historic and architectural value of existing structure: Yes No
- 4. Compatibility of innovative technologies with surrounding properties: Yes No

Historic District Commission

Project Address: 105 CHAPEL STREET (LUHD-117)
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #F

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Civic
- Land Area: 18,900 SF +/-
- Estimated Age of Structure: c.1807
- Building Style: Federal
- Number of Stories: 2+
- Historical Significance: F
- Public View of Proposed Work: View from Chapel Street
- Unique Features: Connector to Saint John's (a focal building)
- Neighborhood Association: Downtown

B. Proposed Work: To add a connector building for ADA compliance.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished / Constructed:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The church and rectory are located along Chapel and Bow Streets and are surrounded with many contributing and focal structures. The neighborhood is predominantly multi-story, wood and brick structures with small lots and shallow setbacks from the sidewalk. The church owns a large parking lot previously occupied by tightly-spaced buildings.

J. Previous HDC Comments and Suggestions:

- The HDC has not previously reviewed this application.

K. Staff Comments and Suggestions for Consideration:

- The applicant proposes to construct a single-story addition or connector building between the rectory and church. The purpose of the connector is to provide covered pedestrian access to the buildings that is also ADA compliant.

Design Guideline Reference – Guidelines for Masonry and Stucco (07), Small Scale New Construction & Additions (10), and Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image of Existing Conditions



Aerial View

**HISTORIC
SURVEY
RATING**

F

105 CHAPEL STREET (LUHD – 117) – WORK SESSION #F (MODERATE PROJECT)

STAFF	INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT		
	Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)	
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)				
1	Gross Floor Area (SF)		<p>MODERATE PROJECT</p> <p>- CONSTRUCT A CONNECTOR BUILDING FOR ADA COMPLIANCE -</p>				
2	Floor Area Ratio (GFA/ Lot Area)						
3	Building Height / Street-Width Ratio						
4	Building Height – Zoning (Feet)						
5	Building Height – Street Wall / Cornice (Feet)						
6	Number of Stories						
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS		
		8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		25	Storm Windows / Screens			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
		SITE DESIGN	33	Decks/ Stairs / Steps			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			35	Fence / Walls / Screenwalls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
			40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 105 CHAPEL STREET Case No.: F Date: 5-13-20

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | |
|--|---|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|---|---|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 137 NEW CASTLE AVE.
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: PUBLIC HEARING #5 (LUHD-126)

A. Property Information - General:

Existing Conditions:

- Zoning District: GRB
- Land Use: Single Family
- Land Area: 5,510 SF +/-
- Estimated Age of Structure: c.1850
- Building Style: Greek Revival
- Number of Stories: 3
- Historical Significance: Contributing
- Public View of Proposed Work: View from Marcy Street & New Castle Ave.
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To install a new roof over the existing rear patio.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along the intersection of New Castle Ave and March Street. It is surrounded by many 2-2.5 story historic structures with no front yard setbacks, shallow side yards and gardens, patios and walkways within the rear yard.

J. Previous HDC Comments and Suggestions:

- The HDC previously reviewed this application and suggested a smaller column diameter and that it should be relocated closer to the edge.

K. Staff Comments and/ or Suggestions for Consideration:

The applicant is proposing to:

- Install a roof covering over the existing rear patio.

Design Guideline Reference: Guidelines for Porches, Stoops and Decks (06)

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image of Existing Conditions



Zoning Map

**HISTORIC
SURVEY
RATING**

C

137 NEW CASTLE AVE. (LUHD-126) – WORK SESSION #5 (MINOR)

STAFF		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
		GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
1	Gross Floor Area (SF)	MINOR PROJECT – INSTALL NEW ROOF OVER PATIO –					
2	Floor Area Ratio (GFA/ Lot Area)						
3	Building Height / Street-Width Ratio						
4	Building Height – Zoning (Feet)						
5	Building Height – Street Wall / Cornice (Feet)						
6	Number of Stories						
7	Building Coverage (% Building on the Lot)						
HISTORIC DISTRICT COMMISSION MEMBERS		PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
		CONTEXT	8 Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9 Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	10 Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	11 Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	12 Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	13 Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	14 Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	15 Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	16 Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	17 Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	18 Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	19 Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	20 Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	21 Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	22 Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	23 Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	24 Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	25 Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	26 Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	27 Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	28 Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	29 Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	30 Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	31 Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	32 Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	33 Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	34 Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	35 Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	36 Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	37 Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	38 Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	39 Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	40 Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 137 NEW CASTLE AVE. Case No.: 5 Date: 5-20-20

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 379 NEW CASTLE AVE.
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #1

Existing Conditions:

- Zoning District: SRB
- Land Use: Single Family
- Land Are: 0.2A +/-
- Estimated Age of Structure: NA
- Building Style: NA
- Historical Significance: NA
- Public View of Proposed Work: View from New Castle Ave.
- Unique Features: NA
- Neighborhood Association: Little Harbor Neighborhood

B. Proposed Work: To replace the porch and add a two-story addition to the front, side, a rear elevations.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along New Castle Ave. It is surrounded with many wood 2.5 story structures with shallow setbacks and small side or rear garden areas.

J. Previous HDC Comments and Suggestions:

- The HDC has not previously reviewed this application.

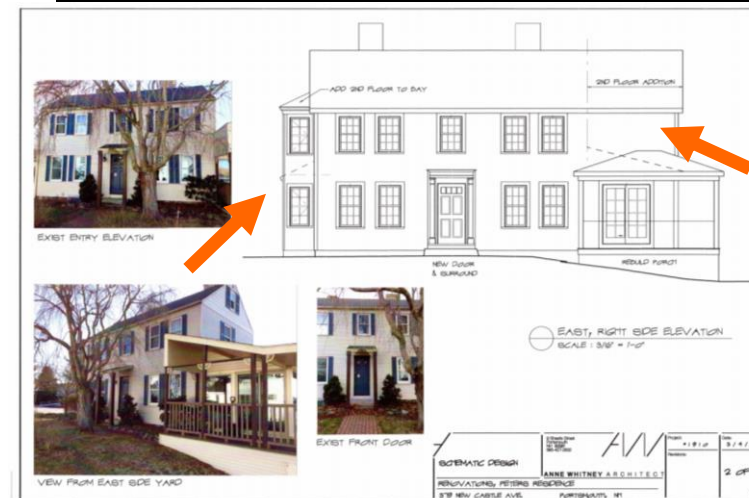
K. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to add:

- A two-story addition to the front, side and rear elevations
- Replace the porch
- Reconstruct the chimneys from brick versus stone.
- Replace windows and doors, siding and trim.

Design Guideline Reference – Guidelines for Small Scale New Construction & Additions (10), Masonry and Stucco (07), Windows and Doors (08) and Site Elements & Streetscapes (09).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image of Existing Conditions



Zoning Map

**HISTORIC
SURVEY
RATING**

C

379 NEW CASTLE AVE. – WORK SESSION #1 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	MODERATE PROJECT - ADD TWO-STORY ADDITIONS TO REAR, SIDE AND FRONT & REPLACE PORCH -			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
BUILDING DESIGN & MATERIALS	10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION
PROPERTY: 379 NEW CASTLE AVE. Case No.: 1 Date: 5-20-20

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | | | |
|--|--|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Address: 241 SOUTH STREET
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #2

Existing Conditions:

- Zoning District: GRB
- Land Use: Single-Family
- Land Area: 12,903 SF +/-
- Estimated Age of Structure: c.1790
- Building Style: Georgian
- Historical Significance: Contributing
- Public View of Proposed Work: View from South Street
- Unique Features: NA
- Neighborhood Association: South End

B. Proposed Work: To add a porch and garage.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- The building is located along South Street. It is surrounded with many wood 2.5 story structures with shallow setbacks and small side or rear garden areas.

J. Previous HDC Comments and Suggestions:

- The HDC has not previously reviewed this application.

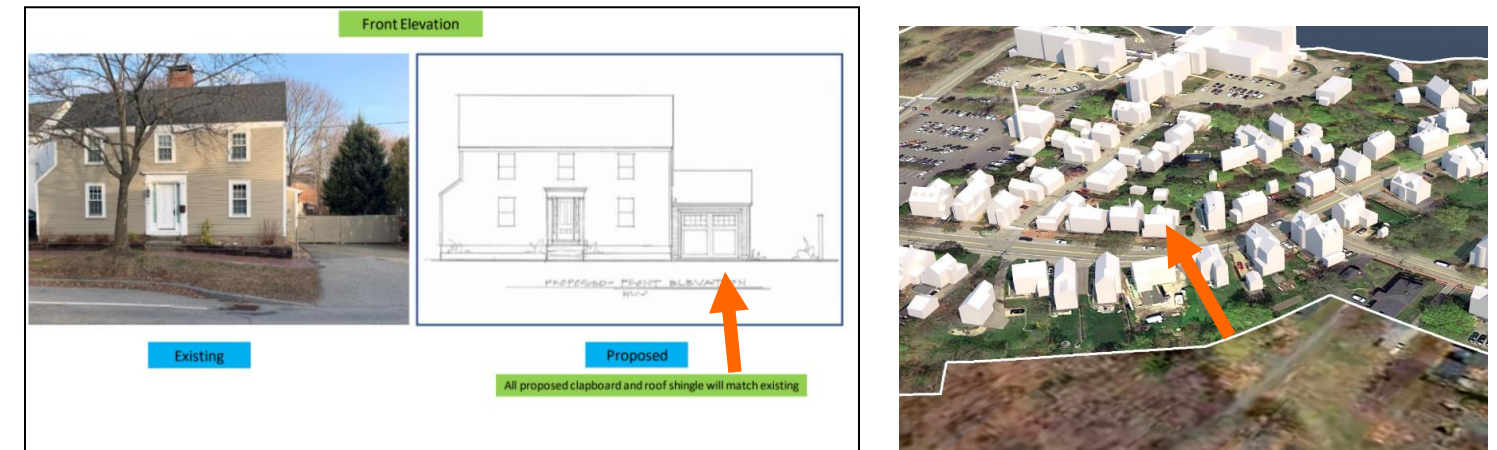
K. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Add a porch and single-car garage.

Design Guideline Reference – Guidelines for Small Scale New Construction & Additions (10), Exterior Woodwork (05), Porches, Stoops and Decks (06), and Windows and Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Proposed Design and 3D Massing Model Image of Existing Conditions



Zoning Map

**HISTORIC
SURVEY
RATING**

C

241 SOUTH STREET – WORK SESSION #2 (MINOR)

		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
STAFF	No.			(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
		GENERAL BUILDING INFORMATION		<h3 style="margin: 0;">MINOR PROJECT</h3> <h4 style="margin: 0;">– ADD A PORCH AND GARAGE –</h4>					
	1	Gross Floor Area (SF)							
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		11	Architectural Style (i.e. traditional – modern)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		12	Roofs				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	BUILDING DESIGN & MATERIALS	15	Roof Materials				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and Windows				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Awnings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	Mechanicals (i.e. HVAC, generators)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33	Decks				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34	Garages/ Barns / Sheds (i.e. doors, placement...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36	Grading (i.e. ground floor height, street edge...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37	Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38	Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39	Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40	Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 241 SOUTH STREET Case No.: 2 Date: 5-20-20

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | |
|--|---|--|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

I. Review Criteria / Findings of Fact:

- | | | |
|---|---|--|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | |

Historic District Commission

Project Address: 138 MAPLEWOOD AVE.
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #3

A. Property Information - General:

- Zoning District: CD4-L1
- Land Use: Multi-Family
- Land Area: 8,233 +/- SF
- Estimated Age of Structure: c.1800
- Building Style: Federal
- Number of Stories: 1
- Historical Significance: Contributing
- Public View of Proposed Work: Partial view from Maplewood Ave.
- Unique Features: Former carriage house
- Neighborhood Association: North End

B. Proposed Work: Add a second floor to the existing garage for a new dwelling unit.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects only):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

J. Neighborhood Context:

- This single-story accessory structure is located along the North Mill Pond and is surrounded on the northern side of Maplewood Ave. by a wide variety of contributing structures that are primarily large multi-family wood houses situated on small lots with shallow setbacks from the street edge. Many other structures in the neighborhood are newer buildings that have been developed after the site was cleared during Urban Renewal.

K. Previous HDC Comments and Suggestions:

- The HDC has not previously reviewed this application.

L. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Add a second floor to the existing garage.

Design Guideline Reference – Guidelines for Small Scale New Construction & Additions (10), Exterior Woodwork (05), and Windows and Doors (08).

M. Proposed Design, 3d Massing View and Aerial View:



Proposed Building Design and Street View Images



Zoning Map

**HISTORIC
SURVEY
RATING**

C

138 MAPLEWOOD AVE. – WORK SESSION #3 (MODERATE)

		INFO/ EVALUATION CRITERIA	SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT	
STAFF	No.	Project Information	Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)
	GENERAL BUILDING INFORMATION		(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)			
	1	Gross Floor Area (SF)	<p>MODERATE PROJECT – ADD SECOND FLOOR TO EXISTING GARAGE –</p>			
	2	Floor Area Ratio (GFA/ Lot Area)				
	3	Building Height / Street-Width Ratio				
	4	Building Height – Zoning (Feet)				
	5	Building Height – Street Wall / Cornice (Feet)				
	6	Number of Stories				
7	Building Coverage (% Building on the Lot)					
		PROJECT REVIEW ELEMENT	APPLICANT'S COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS	
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	8	Scale (i.e. height, volume, coverage...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		9	Placement (i.e. setbacks, alignment...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		10	Massing (i.e. modules, banding, stepbacks...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		11	Architectural Style (i.e. traditional – modern)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	BUILDING DESIGN & MATERIALS	12	Roofs			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		13	Style and Slope			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		14	Roof Projections (i.e. chimneys, vents, dormers...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		15	Roof Materials			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		16	Cornice Line			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		17	Eaves, Gutters and Downspouts			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		18	Walls			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		19	Siding / Material			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		20	Projections (i.e. bays, balconies...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		21	Doors and Windows			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		22	Window Openings and Proportions			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		23	Window Casing/ Trim			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		24	Window Shutters / Hardware			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		25	Awnings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		26	Doors			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		27	Porches and Balconies			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		28	Projections (i.e. porch, portico, canopy...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		29	Landings/ Steps / Stoop / Railings			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		30	Lighting (i.e. wall, post...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		31	Signs (i.e. projecting, wall...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
	32	Mechanicals (i.e. HVAC, generators)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	33	Decks			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	34	Garages/ Barns / Sheds (i.e. doors, placement...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
	SITE DESIGN	35	Fence / Walls (i.e. materials, type...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		36	Grading (i.e. ground floor height, street edge...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		37	Landscaping (i.e. gardens, planters, street trees...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		38	Driveways (i.e. location, material, screening...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		39	Parking (i.e. location, access, visibility...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate
		40	Accessory Buildings (i.e. sheds, greenhouses...)			<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 138 MAPLEWOOD AVE Case No.: 3 Date: 5-20-20

Decision: Approved Approved with Stipulations Denied
 Continued Postponed Withdrawn



H. Purpose and Intent:

- | | |
|--|---|
| 1. Preserve the integrity of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|---|---|
| 1. Consistent with special and defining character of surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 3. Relation to historic and architectural value of existing structure: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Compatibility of innovative technologies with surrounding properties: <input type="checkbox"/> Yes <input type="checkbox"/> No |

Historic District Commission

Project Evaluation Form: 15 MIDDLE STREET
Permit Requested: CERTIFICATE OF APPROVAL
Meeting Type: WORK SESSION #4

A. Property Information - General:

Existing Conditions:

- Zoning District: CD4
- Land Use: Inn
- Land Area: 6,100 SF +/-
- Estimated Age of Structure: c.1860
- Building Style: Greek Revival
- Number of Stories: 2.5
- Historical Significance: Contributing
- Public View of Proposed Work: View from Middle and Porter Street
- Unique Features: Former Church
- Neighborhood Association: Downtown

B. Proposed Work: To install non-combustible siding and other minor modifications.

C. Other Permits Required:

- Board of Adjustment Planning Board City Council

D. Lot Location:

- Terminal Vista Gateway Mid-Block
 Intersection / Corner Lot Rear Lot

E. Existing Building to be Altered/ Demolished:

- Principal Accessory Significant Demolition

F. Sensitivity of Context:

- Highly Sensitive Sensitive Low Sensitivity "Back-of-House"

G. Design Approach (for Major Projects):

- Literal Replication (i.e. 6-16 Congress, Jardinière Building, 10 Pleasant Street)
 Invention within a Style (i.e., Porter Street Townhouses, 100 Market Street)
 Abstract Reference (i.e. Portwalk, 51 Islington, 55 Congress Street)
 Intentional Opposition (i.e. McIntyre Building, Citizen's Bank, Coldwell Banker)

H. Project Type:

- Consent Agenda (i.e. very small alterations, additions or expansions)
 Minor Project (i.e. small alterations, additions or expansions)
 Moderate Project (i.e. significant additions, alterations or expansions)
 Major Project (i.e. very large alternations, additions or expansions)

I. Neighborhood Context:

- This contributing historic structure is located along Porter and Middle Streets and is surrounded with many other brick and wood-sided, 2.5-3 story contributing structures. Most buildings have little to no front yard setback and off-street parking is limited.

J. Previous HDC Comments and Suggestions:

- The HDC has not previously reviewed this particular application. The dormers and other changes were previously revised within a work session.

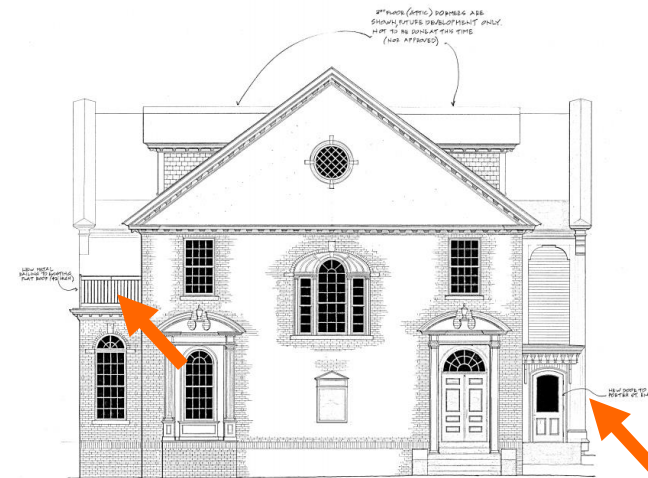
K. Staff Comments and/ or Suggestions for Consideration:

The Application is proposing to:

- Install non-combustible siding for fire separation.
- Shorten CMU building to provide dumpster storage.
- Note – the dormers shown on the elevations are NOT proposed under this application.

Design Guideline Reference – Small Scale New Construction & Additions (10), Exterior Woodwork (05), Stucco & Masonry (07) & Windows & Doors (08).

L. Proposed Design, 3d Massing View and Aerial View:



Aerial and Street View Image



Zoning Map

**HISTORIC
SURVEY
RATING**

C

15 MIDDLE STREET – WORK SESSION #4 (MINOR)

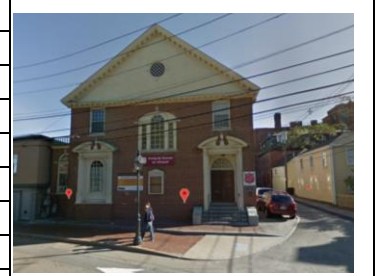
		INFO/ EVALUATION CRITERIA		SUBJECT PROPERTY		NEIGHBORHOOD CONTEXT			
		Project Information		Existing Building	Proposed Building (+/-)	Abutting Structures (Average)	Surrounding Structures (Average)		
STAFF	No.			(ESTIMATED FROM THE TAX MAPS & ASSESSOR'S INFO)					
		GENERAL BUILDING INFORMATION		<h3 style="margin: 0;">MINOR PROJECT</h3> <h4 style="margin: 0;">– INSTALL SIDING, RAILINGS, AND DOORS (NO DORMERS) –</h4>					
	1	Gross Floor Area (SF)							
	2	Floor Area Ratio (GFA/ Lot Area)							
	3	Building Height / Street-Width Ratio							
	4	Building Height – Zoning (Feet)							
	5	Building Height – Street Wall / Cornice (Feet)							
	6	Number of Stories							
7	Building Coverage (% Building on the Lot)								
HISTORIC DISTRICT COMMISSION MEMBERS	CONTEXT	PROJECT REVIEW ELEMENT		HDC COMMENTS	HDC SUGGESTIONS	APPROPRIATENESS			
		8	Scale (i.e. height, volume, coverage...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		9	Placement (i.e. setbacks, alignment...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		10	Massing (i.e. modules, banding, stepbacks...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
	11	Architectural Style (i.e. traditional – modern)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate			
	BUILDING DESIGN & MATERIALS	12	Roofs				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		13	Style and Slope				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		14	Roof Projections (i.e. chimneys, vents, dormers...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		15	Roof Materials				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		16	Cornice Line				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		17	Eaves, Gutters and Downspouts				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		18	Walls				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		19	Siding / Material				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		20	Projections (i.e. bays, balconies...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		21	Doors and windows				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		22	Window Openings and Proportions				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		23	Window Casing/ Trim				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		24	Window Shutters / Hardware				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		25	Awnings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		26	Doors				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		27	Porches and Balconies				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		28	Projections (i.e. porch, portico, canopy...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		29	Landings/ Steps / Stoop / Railings				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		30	Lighting (i.e. wall, post...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		31	Signs (i.e. projecting, wall...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		32	Mechanicals (i.e. HVAC, generators)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		33	Decks				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		34	Garages (i.e. doors, placement...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate		
		SITE DESIGN	35	Fence / Walls (i.e. materials, type...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			36	Grading (i.e. ground floor height, street edge...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			37	Landscaping (i.e. gardens, planters, street trees...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			38	Driveways (i.e. location, material, screening...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			39	Parking (i.e. location, access, visibility...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	
			40	Accessory Buildings (i.e. sheds, greenhouses...)				<input type="checkbox"/> Appropriate <input type="checkbox"/> Inappropriate	

PROPERTY EVALUATION FORM

PORTSMOUTH HISTORIC DISTRICT COMMISSION

PROPERTY: 15 MIDDLE STREET Case No: 4 Date: 5-20-20

Decision: Approved Approved with Stipulations Denied Continued Postponed Withdrawn



H. Purpose and Intent:

- | | | | |
|---|--|--|--|
| 1. Preserve the integrity of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 4. Maintain the special character of the District: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Assessment of the Historical Significance: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 5. Complement and enhance the architectural and historic character: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Conservation and enhancement of property values: | <input type="checkbox"/> Yes <input type="checkbox"/> No | 6. Promote the education, pleasure and welfare of the District to the city residents and visitors: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

I. Review Criteria / Findings of Fact:

- | | |
|--|--|
| 1. Consistent with special and defining character of surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 2. Compatibility of design with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 3. Relation to historic and architectural value of existing structure: | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| 4. Compatibility of innovative technologies with surrounding properties: | <input type="checkbox"/> Yes <input type="checkbox"/> No |

HDC

ADMINISTRATIVE APPROVALS

May 20, 2020

- | | | |
|----|-------------------------------|-----------------------|
| 1. | 73 Daniel Street (LUHD-131) | -TBD |
| 2. | 250 Market Street (LUHD- 140) | -Recommended Approval |
| 3. | 111 Maplewood Avenue (LUHD- | -TBD |

1. 73 Daniel Street

- TBD

Background: The applicant is seeking approval for mechanical equipment (air intake vent on Daniel Street façade). The intake vent is for the utility room which has no other exterior wall. As requested by the Commission, I have spoken with the applicant the plumbing inspector and we are inquiring as to alternative means to satisfy the code requirement for adequate fresh air in the boiler room. If an alternative layout is possible we will likely continue this to the June 3rd meeting. Otherwise, we will look at adding a lamp above the louvered vent and reducing its size as much as possible.

Staff Comment: TDB

Stipulations:



1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-131

Submitted On: Apr 07, 2020

Applicant

 Brian Arakelian
 603-770-8016
@ brian@aphplumbing.com

Location

73 DANIEL ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

ADD COMBUSTION AIR INTAKE VENT ON FRONT OF DANIELS ST. - ONLY ACCESSIBLE LOCATION. THIRD FLOOR HAS ZERO COMMON WALLS FOR ROOF PENETRATION AND THE 2ND AND 3RD FLOOR BUILDING REAR FACE HAS NO ADJACENT WALLS TO COME THRU. THIS MECHANICAL ROOM HAS ZERO OUTSIDE ADJACENT WALLS.

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

BOILER PROJECT SUPERVISOR

Full Name (First and Last)

TODD WILSON

Business Name (if applicable)

APH

Mailing Address (Street)

102 TIDEMILL RD #6

City/Town

HAMPTON

State

NH

Zip Code

03842

Phone

603-918-7612

Email Address

TODD@APHPLUMBING.COM

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

CONTRACTOR FOR BOILER WORK AT CONDO







2. 250 Market Street

- Recommended Approval

Background: The applicant is seeking approval for mechanical equipment to install a new pool heater vent to the exterior of the building.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-140

Submitted On: May 06, 2020

Applicant

 Craig Liddington
 561-573-6966
 craigliddington@gmail.com

Location

250 MARKET ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Vent pool heater to new termination point with shown in pictures submitted with mechanical permit application. Heater is currently not vented properly and they dont last two years this way.

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Other

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

responsible managing employee

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments

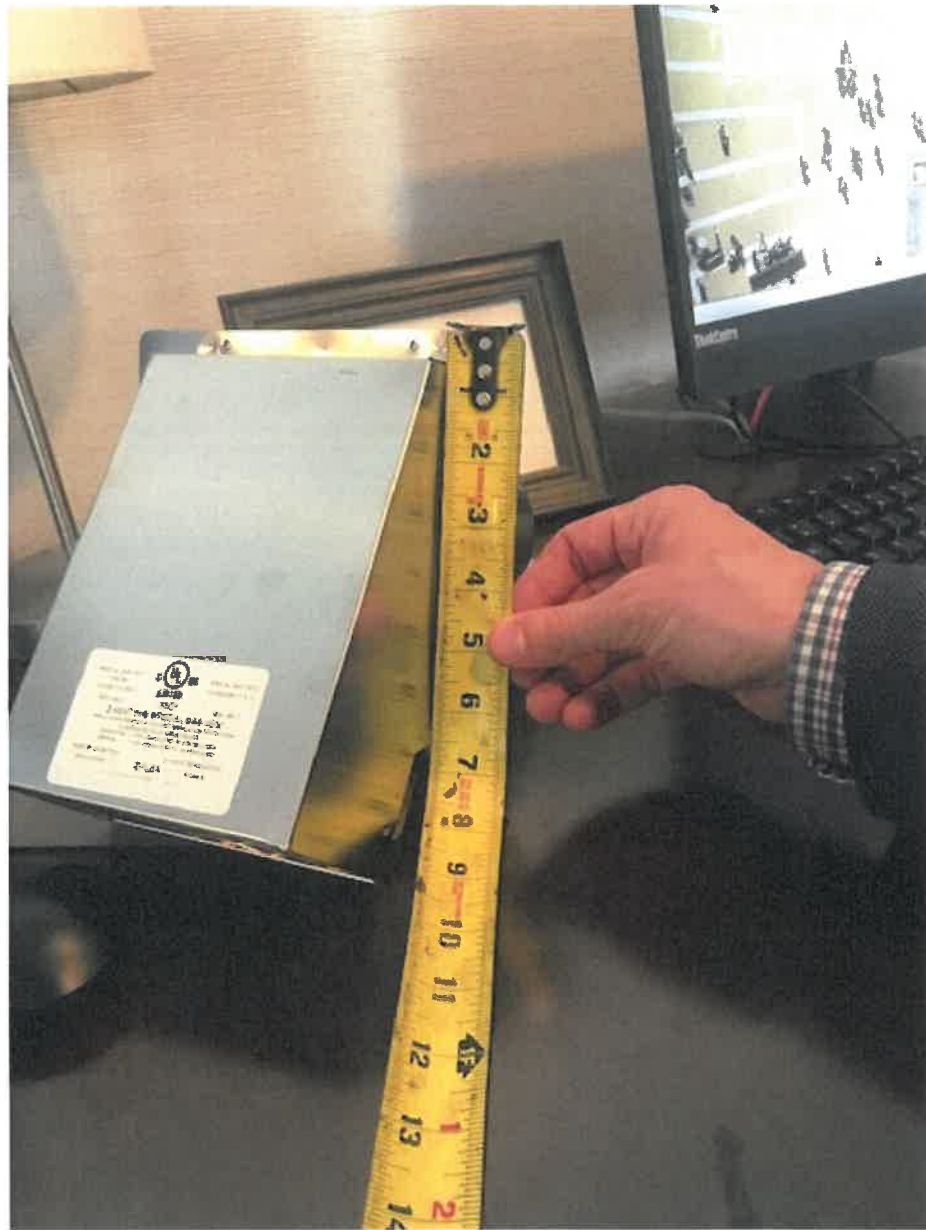
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Existing



Proposed location





3. 111 Maplewood Avenue - TBD

Background: The applicant is seeking approval for a change to a previously approved design. Miscellaneous changes are proposed including, but not limited to, the penthouse screen, railing location, curtain-wall fin system, terracotta arches, doors, windows, mechanical termination louvers and lighting. Note that most of these items were included in the prior elevations that were approved by the HDC but not called out as changes. We discovered these changes in our review of the construction drawings.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

111 (145) Maplewood Avenue

Portsmouth NH

Interdepartmental Consistency Report - Response

Date: 05-04-2020
To: Vincent Hayes & Nick Cracknell
From: Christopher J. Lizotte AIA, NCARB, LEED AP & Arron Burke, AIA, LEED AP
Pages: 4 plus attachments (9 total)
RE: Interdepartmental Consistency Report – Responses

Responses in *italics* below. Items match the March 26, 2020 letter (received on April 10).

Items marked in **bold** are part of the HDC **Administrative Approval** submittal and keyed to those notes.

January 15, 2020 Construction Drawing - Sheet LS.04

- B. "Setback Key Plan – Fourth Floor" indicates the fourth floor structure will be setback 50' from the edge of parking spaces on Raynes, Maplewood, and Vaughan R.O.Ws. Pg. 21 of the January 8, 2020 HDC approval indicates the fourth floor structure is setback 50' from edge of curb on the respective streets.

Response: The 50' setbacks shown on sheet LS.04 measure from the travel lane curb line. We understand from the Owner's Attorney, based on a letter sent to Juliet Walker dated February 14, 2019 (Appendix A), that the travel lane curb line is to be used for this setback, not the parking curb line. Pg. 21 of the January 8, 2020 HDC approval indicates "back from curb", but is unclear which curb line is referenced. Approved civil plans are based on the travel lane curb line for these setbacks.

Note 8a. Diagram on page 21 of the January 8, 2020 HDC Submittal will be updated.

January 15, 2020 Construction Drawing - Sheet A1.02

1. The cantilevered 2nd floor bump out (i.e. running parallel to Rayne's Ave) is shown here as 8'-5" in depth. Corresponding details on pg. 12 of the May 3, 2019 HDC approval does not reflect this amount of depth. Further, pg. 27 of the January 08, 2020 HDC approval appears to indicate the cantilevered bump out does not project more than 8' from the wall plane.

Response: 8'-5" +/- dimension (from Gridline 'x1') on Sheet A1.02 matches 8'-6" dimension on detail 5 on page 27 of 01/08/2020 HDC submission. Dimension from face of terra cotta wall to exterior face of glazing/mullions = 6'-2" +/-.

Note 3a. Notes on page 2 and dimensions on page 27 of the January 8, 2020 HDC Submittal will be updated.

January 15, 2020 Construction Drawing - Sheet A1.05A

2. The roof deck has changed configuration from layout shown on the corresponding HDC documents (e.g. pg. 2 of the January 08, 2020 HDC approval).

Response: Roof paver area was adjusted to accommodate no more than 49 people (seating area size is the same as the HDC set). More than that and NFPA 101 considers this as a place of assembly. 4th floor is office/business use only.

Note 11. The January 8, 2020 HDC Submittal will be updated.

January 15, 2020 Construction Drawing - Sheet A3.00

(2) Building Elevation – Entry Passage:

3. The change from 8" Terra Cotta profile (shown on pg. 10 of the May 3, 2019 HDC approval) to 4" THERMOARY profile was not explicitly called out in any corresponding HDC approval request (all elevations, where applicable).

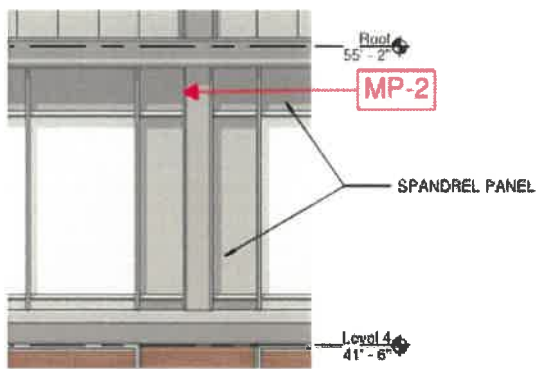
Response: Terra cotta to Thermory wood change was noted (see note 5a) on pages 6, 7, 10, 12, 14 & 15 of 01/08/2020 HDC Submission.

Note 5a1. The January 8, 2020 HDC Submittal will be updated.

4. "TC-1" Terra Cotta profile reduced to 16" (18" profile is shown on pg. 10 May 3, 2019 HDC approval) (all elevations, where applicable).
Response: Terra cotta reduction from 18" profile to 16" profile was to align with 8" terra cotta and 4" wood siding coursing (Thermory). This is shown on page 22 of the January 08, 2020 HDC drawings, though not noted.

Note 12. The January 8, 2020 HDC Submittal will be updated.

6. "MP-2" there is no composite metal detail on any corresponding HDC approvals (all elevations, where applicable).
Response: There are no notes about these vertical areas on either HDC approval. We assumed that they should be composite metal panel(aluminum) since similar horizontal areas are noted on page 11, 12 and 20 of the May 3, 2019 HDC approval. MP-2 is aluminum composite metal panel (color to match the aluminum storefront/curtain wall system finishes) to be used for vertical and horizontal breaks in the glazing systems as shown. Note 13. The January 8, 2020 HDC Submittal will be updated.



7. Light fixtures do not meet Section 10.1144.60 (all elevations).
***Please Note:** In addition to requiring HDC approval, this lighting is subject to zoning review.
Response: Locations of building mounted lighting is shown on page 22 of the January 08, 2020 HDC drawings. This matches the building permit set. Final types are in the process of being selected and will meet lumen levels, cut-off requirements, etc. as stated under section 10.1140, including 10.1144.61 for height.
Note 14. Lighting types will be included.
8. Wall material along staircase has changed from concrete shown on the corresponding HDC approvals to a slatted profile.
Response: Wall material along staircase is not noted on the HDC sets. This was clarified in the Civil and Landscaping Administrative Approval Set submitted to the City on February 14th, 2020 and approved on March 19, 2020 (Appendix B). Wall is concrete with a wall-formliner with board pattern. This reflects the wood siding on the building. See sheet L-506. Note that a mock-up will be provided on site.
Note 15. The January 8, 2020 HDC Submittal will be updated.
9. The staircase running along this elevation has increased to 3 flights from the 2 flights shown on corresponding HDC approvals.
Response: Stair flights are shown on page 22 of the January 08, 2020 HDC drawings. This was also clarified in the Civil and Landscaping Administrative Approval Set submitted to the City on February 14th, 2020 and approved on March 19, 2020 (Appendix B).
Note 16. The January 8, 2020 HDC Submittal will be updated.

(4)Building Elevation – Raynes Avenue Front Door:

10. This elevation has been mislabeled as Raynes Ave. In addition, the recessed area with retaining wall shown here is not on any corresponding HDC approvals.

Response: Drawing 3 and 4 on sheet A3.00 were mislabeled. This faces the entry passage side. This area is shown on page 22 of the January 08, 2020 HDC drawings. This was also clarified in the Civil and Landscaping Administrative Approval Set submitted to the City on February 14th, 2020 and approved on March 19, 2020 (Appendix B). Retaining wall steps down.

Note 16. The January 8, 2020 HDC Submittal will be updated.

January 15, 2020 Construction Drawing - Sheet A3.01

14. Wall material along ramp has changed from concreted shown on corresponding HDC approvals to slatted profile.

Response: Wall material along ramp is not noted on the HDC sets. This was clarified in the Civil and Landscaping Administrative Approval Set submitted to the City on February 14th, 2020 and approved on March 19, 2020 (Appendix B). Wall is concrete with a wall-formliner with board pattern. This reflects the wood siding on the building. See sheet L-506. Note that a mock-up will be provided on site for final review and approval prior to installation.

Note 15. The January 8, 2020 HDC Submittal will be updated.

15. Ground and second story end windows below the Maplewood Ave. balcony are larger than what is shown on corresponding HDC documents.

***Please Note:** There is an internal discrepancy between pages 7 and 22 of the January 8, 2020 HDC approval.

Response: There were constructability issues with size of glass, window frame sizes, etc. on the 1st floor at these corners facing Maplewood Ave (too narrow). This was corrected and the glazed corners are more in line with the other glazed corner sizes in the project. Page 22 reflects this correction on the January 8, 2020 HDC approval.

Note 17. The January 8, 2020 HDC Submittal will be updated.

(4) Building Elevation – Raynes Ave. and Maplewood Ave 1:

- “TC-2” material has been omitted.

Response: All TC-2 material was removed below 2nd floor between TC-1 pilasters, as shown on page 22 of 1/8/2020 submission. This matches the wood change per note 5a on pages 6, 7, 10, 12, 14 & 15 of 01/08/2020 HDC Submission. These bays are the same just without the arch.

Note 5a1. The January 8, 2020 HDC Submittal will be updated.

January 15, 2020 Construction Drawing - Sheet A4.13

22. 4'-3" cornice detail does not correspond with detail shown on pg. 12 of the May 3, 2019 HDC approval in several respects, including height and railing omission (i.e. the railing has been relocated several feet behind the parapet).

Response: Railing is near original position and coordinated with structural steel for mounting purposes. Bump out was extended from original design per the 01/08/2020 HDC Submission. Page 2 of the 01/08/2020 HDC Submission shows the railing back from the cornice. Cornice will be changed back to original.

Note 11. The January 8, 2020 HDC Submittal will be updated since this was not noted.

January 15, 2020 Construction Drawing - Sheet A4.14

23. • 3'-1" cornice added.

Response: Roof line cornice enlarged to adjust to surrounding cornice intersections, typical and to keep design ratios intact. This is shown on page 4 and 22 of the 01/08/2020 HDC Submission.

Note 18. The January 8, 2020 HDC Submittal will be updated since this was not noted.

- 1'-5" band projects above roofline.

Response: Roof edge varies because of sloped steel/deck. 1'-5" perimeter roof edge detail to account for roof construction, flashing & cornice design ratios. Cornice band is level. Lower roof edge behind is not visible from the ground.

Note 19. The January 8, 2020 HDC Submittal will be updated since this was not noted.

January 15, 2020 Construction Drawing - Sheet A4.33

26. Typical cornice detail omits 11" x 11" detail shown on pg. 20 of the May 3, 2019 HDC approval.

Response: Typical cornice maintains 11" height. 11" depth was changed to meet constructability of head/jamb/sill returns at terra cotta and cornice intersections along roof edge.

Note 20. The January 8, 2020 HDC Submittal will be updated since this was not noted.

January 15, 2020 Construction Drawing - Sheet A6.20 – A6.20B

27. Please provide the window material for all window and storefront systems

Response: Aluminum. Color per photo. Charcoal from Kawneer.



Note 21. The January 8, 2020 HDC Submittal will be updated since this was not noted.

Appendices

Appendix A - Letter sent to Juliet Walker dated February 14, 2019, Donahue, Tucker & Ciandella, PLLC, 3 pages

Appendix B – March 19, 2020 Letter from Juliet Walker, 2 pages



ARCHITECTURE



CELEBRATING OVER 30 YEARS OF SERVICE TO OUR CLIENTS

14 February 2019

Via email and U.S. Mail

Juliet T. H. Walker, AICP
Planning Director
Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

Re: 111 Maplewood Avenue/Building Height

Dear Juliet:

Thanks for sharing your department memorandum of 5 February regarding the building height for the proposed development at 111 Maplewood. This follows on our phone call of 12 February and registers our view of what the City's zoning ordinance means in the context of the provisions governing the height of the proposed building. This letter focuses narrowly on those provisions and is not intended to generally survey the application of the zoning ordinance to the project.

In your memorandum, you state in relevant part:

"Front lot line and street are used interchangeably in [Section 10.5A21.22 (c)] (and other sections of the Ordinance) implying that a street right-of-way line is one and the same as a front lot line. The Ordinance definition for street also implies that a street (as adopted by the City or approved by the Planning Board) includes the full right-of-way, not just the vehicular travel way. Thus, the 50 foot set back shall be measured from the edge of the right-of-way/front lot line."

Our view is that the plain language of the Ordinance creates different meanings for the terms "street", "front lot line" and "right-of-way". We offer our view constructively, since the City could by modest amendments of the Ordinance achieve parity among those terms. Although those prospective amendments to the Ordinance would be modest, the effect of imposing now on this project a reading of equivalency among those terms is profound and fundamental. Put another way, it is critical that the plain language of the ordinance be applied to establish the apportionment of the height for this project.

DONAHUE, TUCKER & CIANDELLA, PLLC
16 Windsor Lane, P.O. Box 630, Exeter, NH 03833-4924
111 Maplewood Avenue, Suite D, Portsmouth, NH 03801
Towle House, Unit 2, 164 NH Route 25, Meredith, NH 03253

83 Clinton Street, Concord, NH 03301

ROBERT D. CIANDELLA
LIZABETH M. MACDONALD
JOHN J. RATIGAN
DENISE A. POULOS
ROBERT M. DEROSIER
CHRISTOPHER L. BOLDT
SHARON CUDDY SOMERS
DOUGLAS M. MANSFIELD
KATHERINE B. MILLER
CHRISTOPHER T. HILSON
HEIDI J. BARRETT-KITCHEN
JUSTIN L. PASAY
ERIC A. MAHER
AMELIA G. SRETER
AUSTIN M. MIKOLAITIES
BRENDAN A. O'DONNELL

SENIOR COUNSEL
MICHAEL J. DONAHUE

RETIRED
CHARLES F. TUCKER
NICHOLAS R. AESCHLIMAN

The Ordinance at Section 10.1510 sets forth the rules of construction by which the words of the Ordinance shall be understood. Words and terms are to have the meaning shown at Article 15, the definition section of the Ordinance, and when not so defined in the Ordinance but defined in the Building Code, the terms are to have the meaning ascribed to them in the Building Code. When the terms are not defined in the Ordinance or in the Building Code, the terms are to have the ordinarily accepted meanings, such as the context implies.

Two of the three terms in play here are defined at Article 15. The term “right-of-way” is not defined at Article 15 although it is depicted by Figure 10.5B22.10 of the Ordinance. None of these three terms are defined in the Building Code. (The term “Public Way” is defined at Chapter 10, Means of Egress, Section 1002.1 of the 2009 International Building Code (13th Printing: June 2017). Public Way is defined therein as: “A street, alley, or other parcel of land open to the outside air leading to a street, that has been deeded, dedicated or otherwise permanently appropriated to the public for public use and which has a clear width and height of not less than 10 feet (3048MM)”)

“Street” is defined at Article 15 of the Ordinance as “a thoroughfare or roadway.” “Thoroughfare” is defined by dictionaries as a main road for public use or a passage through somewhere with the notation that on road signs, no thoroughfare means no entry. Roadway is generally defined by a dictionary as the part of the road intended for vehicles, in contrast to a sidewalk or median. The term “lot line, front” is defined at Article 15 of the Ordinance as “a boundary of lot that separates the lot from a street or public place.” The term “right-of-way” is not defined in Article 15, but is depicted at Figure 10.5B2210 as distinct from the street, materially broader and wider than the street.

In short, under the plain language of the Ordinance, and by applying the rules of construction of the Ordinance, the three terms do not mean the same thing. There is not parity among those terms. The Ordinance generally provides that setbacks or required distances are to be measured from a reference point. Section 10.5A21.22(c) establishes two reference points for establishing the apportionment of building height on the lot. That section states that either reference point may be used. The reference points stated are “front lot line” or “street”. The Section does not state which reference point is to be applied. The term “right-of-way” is not stated as a reference point.

As you know, the plans we have filed with the City measure the 50 foot setback from the curb. Based on the plain language of the ordinance and as amplified by the discussion above, we think and submit to you that using the curb as the reference point meets the requirements of Section 10.5A21.22(c) because it measures the setback from the street. This reference point also meets the definition of front lot line because it is measured from the boundary between the lot and the street, which as noted above, is the part of the road intended for vehicles, in contrast to a sidewalk or a median.

Juliet T.H. Walker
Page 3
14 February 2019

Securing the curb as the reference point from which the 50 foot setback is measured is of critical importance to the design of the project. The fundamental thrust of the project design, including, notably, the dedication of community space, may pivot on this question. Accordingly, we respectfully request that you consider our position on this question and reconsider the conclusions stated in your memorandum. As we discussed in our phone conversation of 12 February, I am copying Bob Sullivan on this correspondence. Bob is well aware of the case law which describes how a zoning ordinance is to be interpreted. That case law states generally that interpretation of a zoning ordinance is a question of law and that zoning ordinances are to be interpreted based on the plain language of the ordinance and that words are not to be read into the ordinance when they are not stated in the ordinance. Intent of the ordinance is to be established by reading the ordinance as a whole.

Finally, although your memorandum has not been identified or styled as a decision or order of a "Code Official", I ask that you please state your reconsideration of this question in writing so that the terms of Section 10.234.20 of the Ordinance are not otherwise implicated. Based on our discussions, we do not understand your memorandum of 5 February to be such a decision, but given the gravity of this question for the project we want to confirm that understanding.

Thank you for your attention and consideration of our position. Please do not hesitate to speak with me if you have any questions or comments regarding the forgoing.

Yours truly,

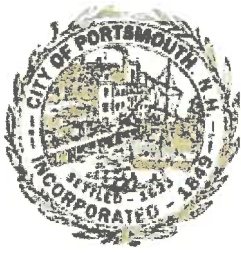
DONAHUE, TUCKER & CIANDELLA, PLLC



Robert D. Ciandella

RDC/lmh

cc: Robert P. Sullivan, Esquire (L & MUI)
111 Maplewood Avenue
Justin L. Pasay, Esquire
Stephanie Carty, Paralegal



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801

(603) 610-7216

Appendix B

PLANNING BOARD

March 19, 2020

RJF Maplewood, LLC
30 Temple Street, Suite 400
Nashua, NH 03060

RE: Administrative Approval for property located at 111 Maplewood Avenue

Dear Owner:

I have reviewed your application for amended site plan approval for the following:

- 1) Relocate the transformer pad and add a generator between the transformer pad and the building.
- 2) Add vertical granite curb around the landscaped area containing the switch gear, transformer, and generator.
- 3) Add vertical granite curbing to the pedestrian alley between the bottom of the stairs and the ramp to the garage.
- 4) Relocate PYD1 into the sidewalk and convert to a 2 ft. square concrete structure.
- 5) Add an inset showing detailed grading around the utility area and garage ramp.
- 6) Add a second trench drain on the downslope side of the pedestrian alley crossing the garage ramp.
- 7) Revise the trench drain at the garage entrance to be pumped to the detention system due to basement elevation.
- 8) Modify the detention system to allow for the revised sewer connection locations to the building.
- 9) Relocate sewer connection location to exit the building at a higher elevation in the upper surface parking area.
- 10) Revise the communication conduit location due to conflicts in Raynes Avenue.
- 11) Add detail for Yard Drain 1, revise detail for Yard Drain 2, revise Trench Drain details, and add Trench Drain Pump detail.
- 13) Revise landscaping to coordinate with final building design and to incorporate additional soft scape in the community space areas.

As a result of my review, I hereby **grant** the request as presented.

The above amendments are shown and described in the following documents received by the Planning Department on February 14, 2020:

1. Site Plan Sheets C-102.1, 103.1, 104.1, 504 and 508 titled "Proposed Office Building", prepared by Tighe & Bond, INC., dated March 18, 2019 and last revised February 13, 2020.

3/19/2020

2. Letter from Patrick Crimmins, PE & Neil Hasen, PE, dated February, 13 2020.

This approval is granted subject to all stipulations of approval by the Planning Board on May 16, 2019 and to all other requirements stated in the Planning Board letter of decision dated May 17, 2019 and prior administrative approval granted September 23, 2019.

A mylar of the revised site plans shall be submitted to the Planning Department for recording at the Rockingham County Registry of Deeds.

Very truly yours,



Juliet T. H. Walker, AICP, Planning Director

cc: Robert Marsilia, Chief Building Inspector
Rosann Maurice-Lentz, City Assessor
Peter H. Rice, Director of Public Works

Eric Nelson, RW Norfolk Holdings, LLC



111 MAPLEWOOD AVE.

PORTSMOUTH, NH

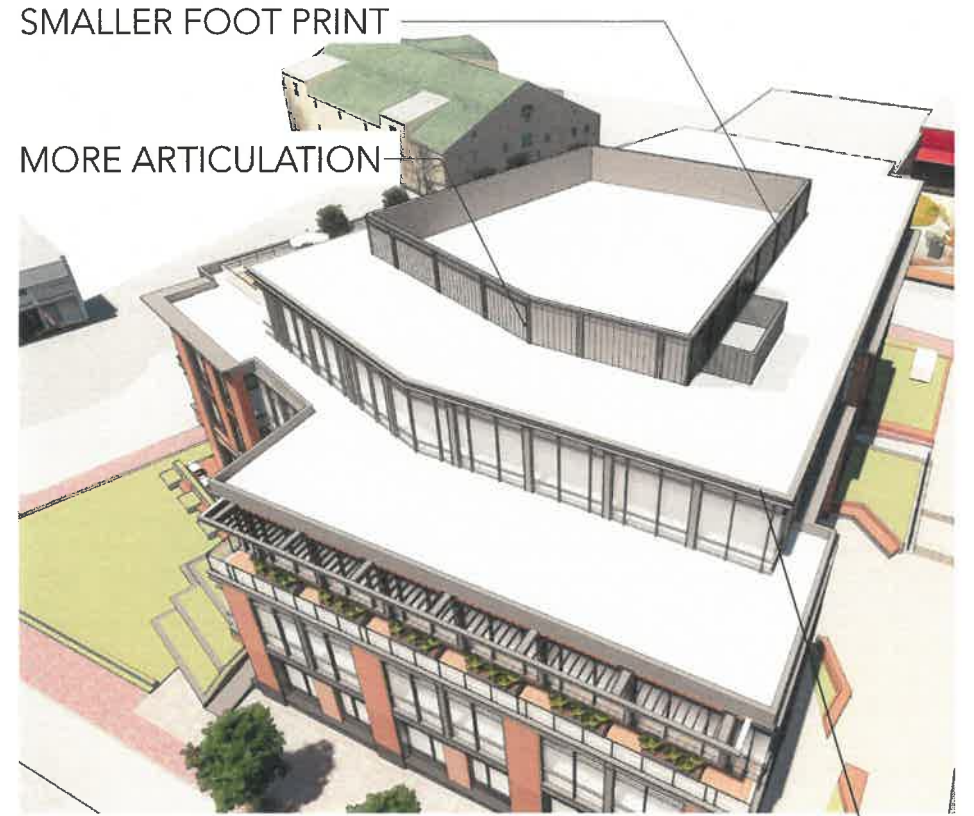


- 1. Mechanical Penthouse Screen
- 2. Maplewood Ave. Trellis
- 3. Raynes Ave. Curtain Wall Fin System
3a. Bay projection clarified, page 27
- 4. Reduced Granite Base
- 5a. Terracotta Arches Changed to wood
5a1. 4" wood siding (Thermory)
5b. Wood reveals removed
- 6. Canopy on Raynes and Vaughn Removed
- 7a. Additional Exterior Door Added
- 7b. Exterior Door Removed
- 8. 4th Floor Enlarged
8a. Curb line note corrected, page 21
- 9. Garage Vent Louver on East Side Added
- 10. Louvers changed to Spandrel on Raynes

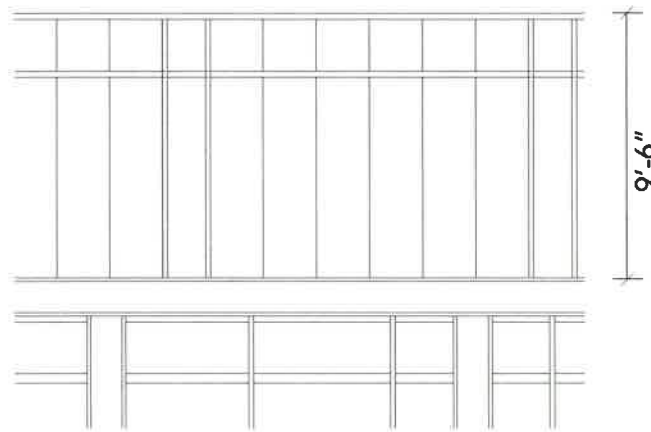
- 11. Roof paver area and railing location adjusted, page 18
- 12. Terra cotta profile reduced to 16" from 18"
- 13. Vertical composite metal panel locations clarified
- 14. Exterior light fixtures selected, see page 22 and Appendix 1
- 15. Exterior wall material clarified at stairs, ramp & pocket park, concrete with a wall-formliner with board pattern, page 6 & 22
- 16. Exterior stair flights changed from 2 to 3, retaining wall steps down, pg 6 & 22
- 17. Glazed corners adjusted to match all other window corners, pg 7 & 22
- 18. Cornice height clarified, 3'-1" tall
- 19. Band projects above roof line due to sloping roof for drainage, pg 3
- 20. Cornice detail modified, 4" reduced from 11", page 22
- 21. Material for all window and storefront systems is aluminum, color: Charcoal
- 22. Address changed to 145 Maplewood

ADMINISTRATIVE APPROVAL 05-13-2020 AGENDA

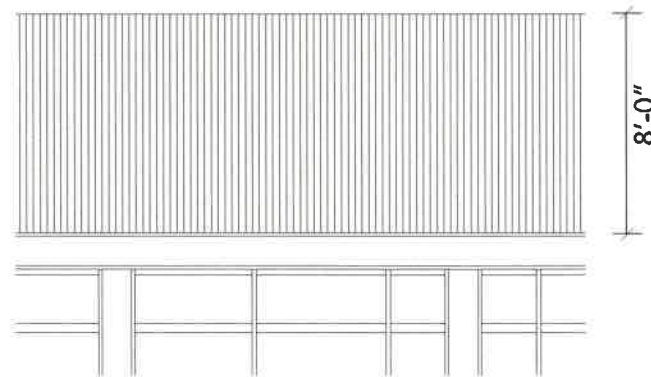
111 MAPLEWOOD AVE
PORTSMOUTH, NH



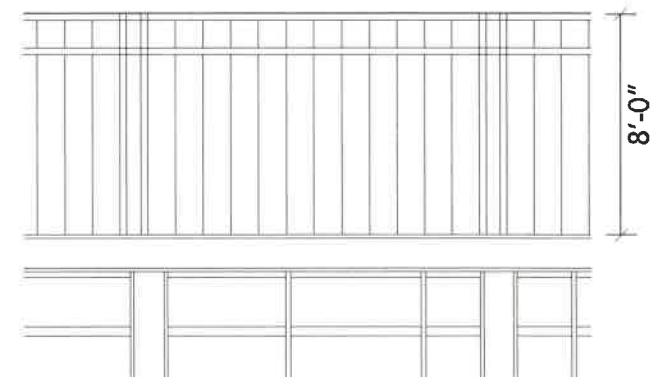
19. Band projects above roof line due to sloping roof for drainage



Previously Approved Design 04-12-19



Modified Design 12-04-19



Revised Design 01-08-20

1. MECHANICAL PENTHOUSE SCREEN
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH



18. Cornice height clarified, 3'-1" tall

13. Vertical composite metal panel



22. Address changed to 145 Maplewood

Previously Approved Design 04-12-19

ADMINISTRATIVE APPROVAL 05-13-2020
Revised Design 01-08-20

2. MAPLEWOOD AVE TRELIS
111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-19



Revised Design 01-08-20

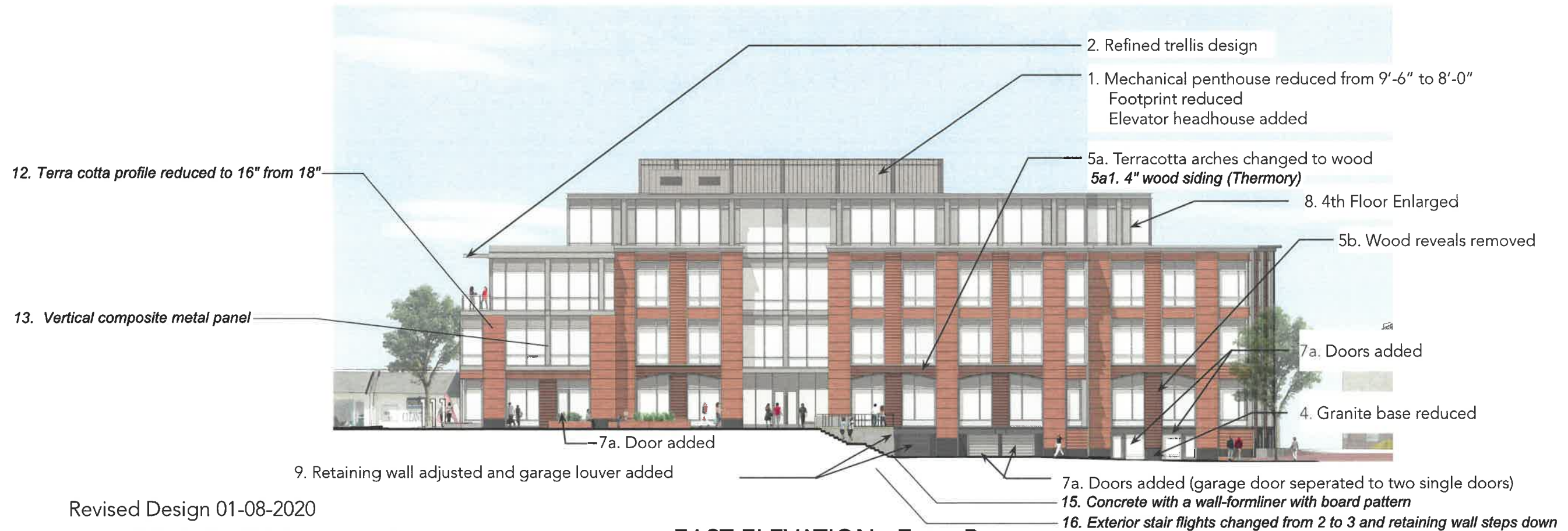
ADMINISTRATIVE APPROVAL 05-13-2020

5a1. 4" wood siding (Thermory)

3. CURTAIN WALL FIN SYSTEM
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH



Previously Approved Design 04-12-2019

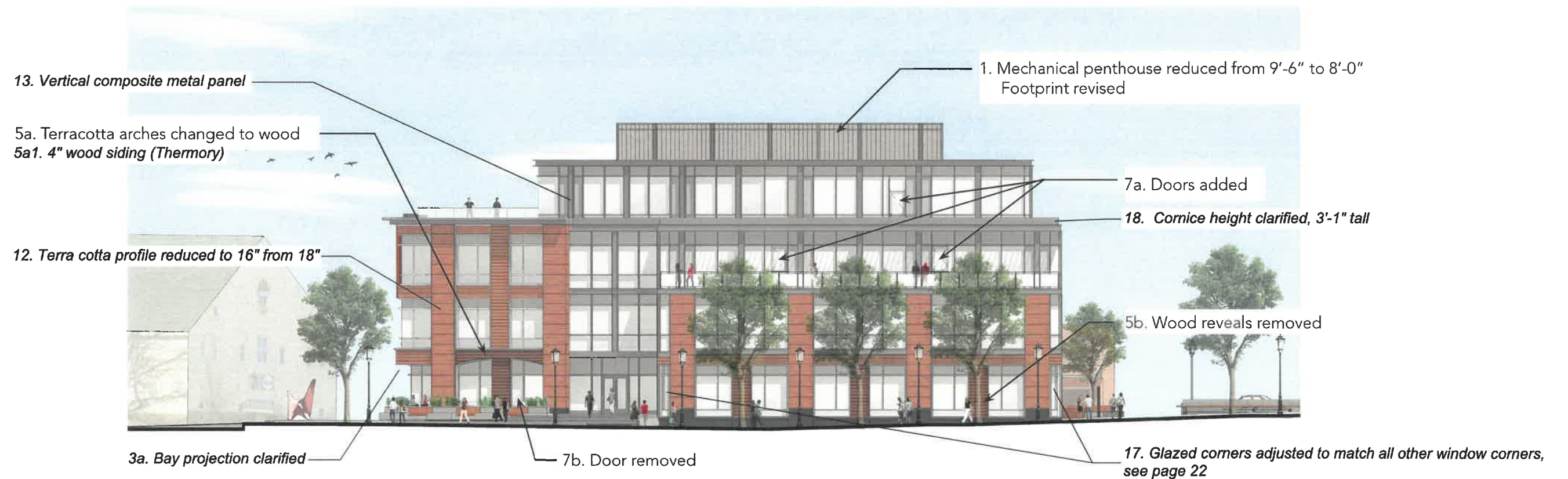


EAST ELEVATION - Entry Passage
111 MAPLEWOOD AVE
PORTSMOUTH, NH

Revised Design 01-08-2020
ADMINISTRATIVE APPROVAL 05-13-2020



Previously Approved Design 04-12-2019

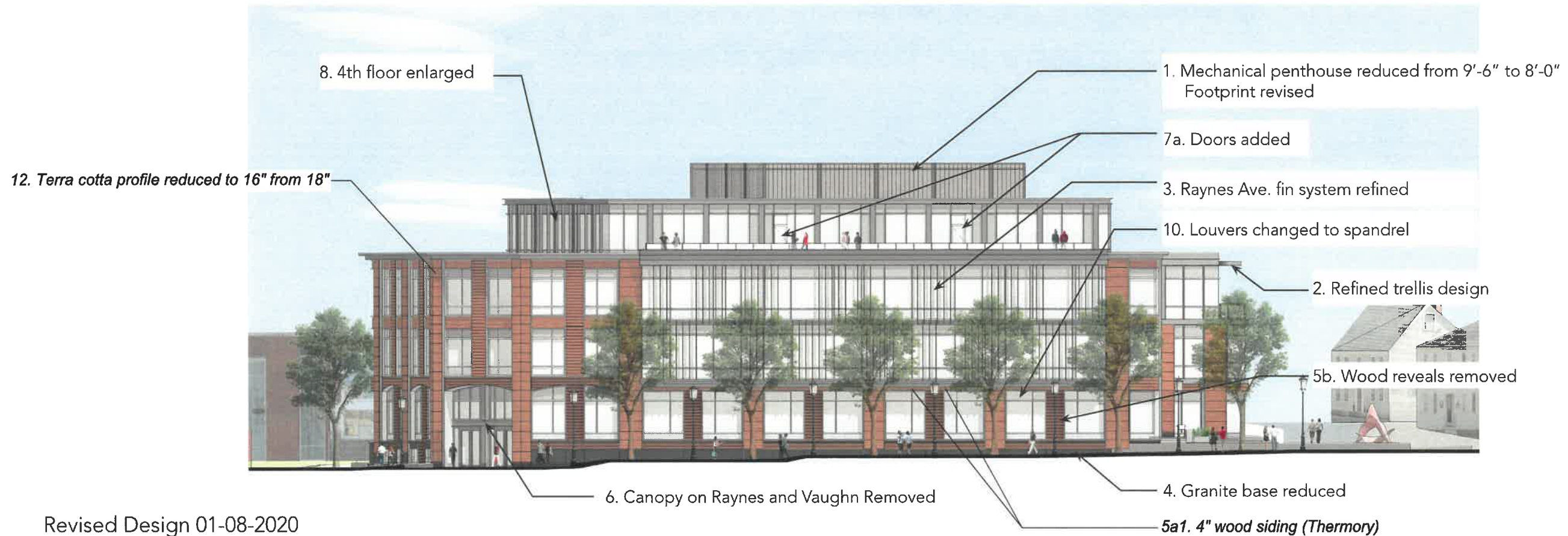


Revised Design 01-08-2020
ADMINISTRATIVE APPROVAL 05-13-2020

SOUTH ELEVATION - Maplewood Avenue
111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-2019

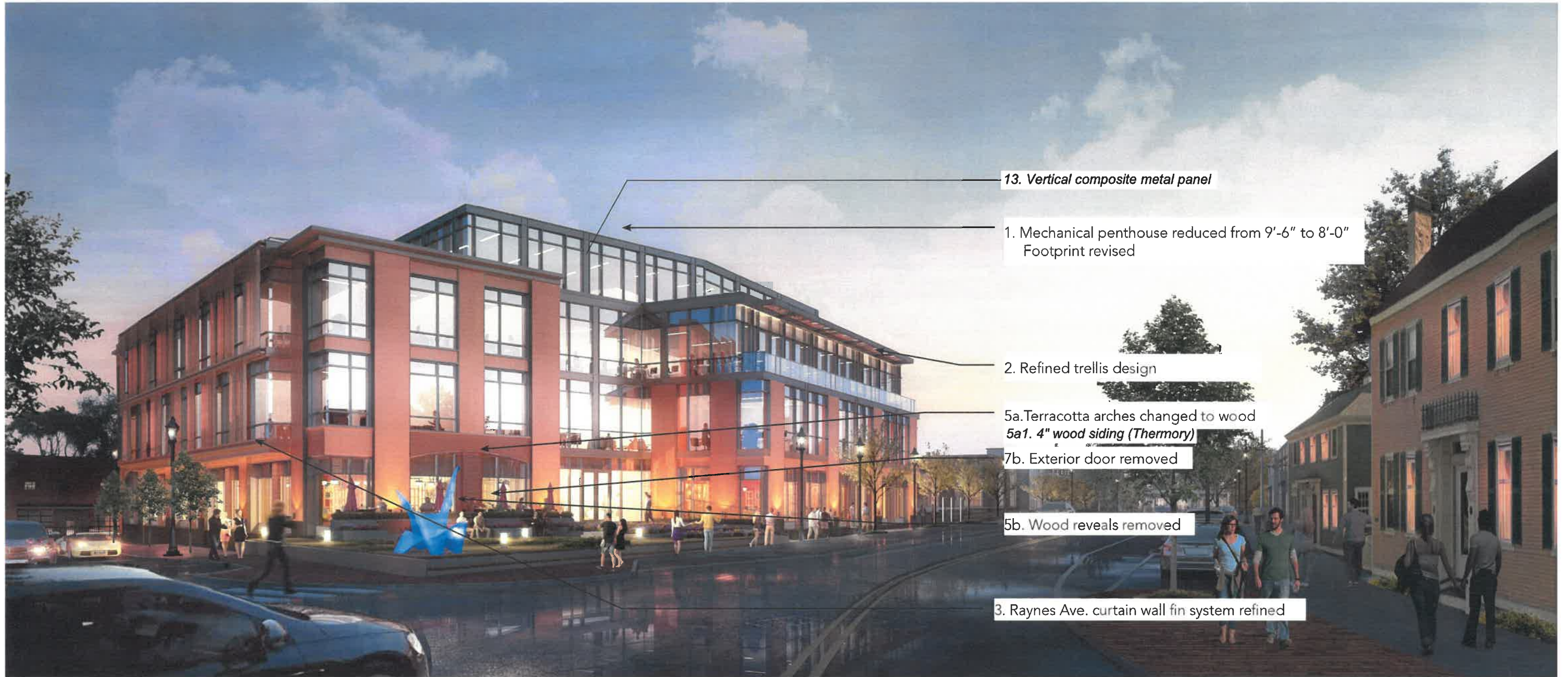


Revised Design 01-08-2020
ADMINISTRATIVE APPROVAL 05-13-2020

WEST ELEVATION - Raynes Avenue
111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-2019
111 MAPLEWOOD AVE
PORTSMOUTH, NH



13. Vertical composite metal panel

1. Mechanical penthouse reduced from 9'-6" to 8'-0"
Footprint revised

2. Refined trellis design

5a. Terracotta arches changed to wood
5a1. 4" wood siding (*Thermory*)

7b. Exterior door removed

5b. Wood reveals removed

3. Raynes Ave. curtain wall fin system refined

ADMINISTRATIVE APPROVAL 05-13-2020

Revised Design 01-08-2020
111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-2019
111 MAPLEWOOD AVE
PORTSMOUTH, NH



1. Mechanical penthouse reduced from 9'-6" to 8'-0"
 Footprint revised
 Elevator Head house added

2. Refined trellis design

18. Cornice height clarified, 3'-1" tall

12. Terra cotta profile reduced to 16" from 18"

5a. Terracotta arches changed to wood
 5a1. 4" wood siding (Thermory)

7a. Additional Exterior Door Added

22. Address changed to 145 Maplewood

ADMINISTRATIVE APPROVAL 05-13-2020

Revised Design 01-08-2020

111 MAPLEWOOD AVE
 PORTSMOUTH, NH



Previously Approved Design 04-12-2019
111 MAPLEWOOD AVE
PORTSMOUTH, NH



1. Mechanical penthouse reduced from 9'-6" to 8'-0"
Footprint revised

8. 4th Floor Enlarged

12. Terra cotta profile reduced to 16" from 18"

5a. Terracotta Arches Changed to wood
5a1. 4" wood siding (Thermory)

5b. Wood reveals removed

6. Canopy on Raynes and Vaughn Removed

4. Reduced Granite Base

7a. Additional Exterior Door Added

ADMINISTRATIVE APPROVAL 05-13-2020

Revised Design 01-08-2020
111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-19

1. Mechanical penthouse reduced from 9'-6" to 8'-0"

Footprint reduced

Elevator headhouse added

13. Vertical composite metal panel

12. Terra cotta profile reduced to 16" from 18"

5a. Terracotta arches changed to wood
5a1. 4" wood siding (Thermory)

5b. Wood reveals removed



Revised Design 01-08-20

ADMINISTRATIVE APPROVAL 05-13-2020

DETAIL ELEVATION - TYPICAL BAY
111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-19

13. Vertical composite metal panel

7a. Exterior doors added

18. Cornice height clarified, 3'-1" tall



12. Terra cotta profile reduced to 16" from 18"

5b. Wood reveals removed

Revised Design 01-08-20
 ADMINISTRATIVE APPROVAL 05-13-2020

DETAIL ELEVATION - MAPLEWOOD FACADE
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH



Previously Approved Design 04-12-19

1. Mechanical penthouse reduced from 9'-6" to 8'-0"

Footprint reduced

7a. Exterior door added

3. Raynes Ave. fin system refined

5b. Wood reveals removed

5a1. 4" wood siding (Thermory)

10. Louvers changed to spandrel on Raynes

4. Granite base reduced



Revised Design 01-08-20

ADMINISTRATIVE APPROVAL 05-13-2020

DETAIL ELEVATION - RAYNES FACADE
111 MAPLEWOOD AVE
PORTSMOUTH, NH



NOTE: REFER TO LANDSCAPE DRAWINGS FOR SITE MATERIALS, SITE LIGHTING & VEGETATION

SITE PLAN - ROOF PLAN
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH

ADMINISTRATIVE APPROVAL 05-13-2020



NOTE: REFER TO LANDSCAPE DRAWINGS FOR SITE MATERIALS, SITE LIGHTING & VEGETATION

SITE PLAN - GROUND FLOOR
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH



NOTE: REFER TO LANDSCAPE DRAWINGS FOR SITE MATERIALS, SITE LIGHTING & VEGETATION

SITE PLAN - PARKING LEVEL
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH

ZONED 2/3 STORIES
ZONED 3/4 STORIES

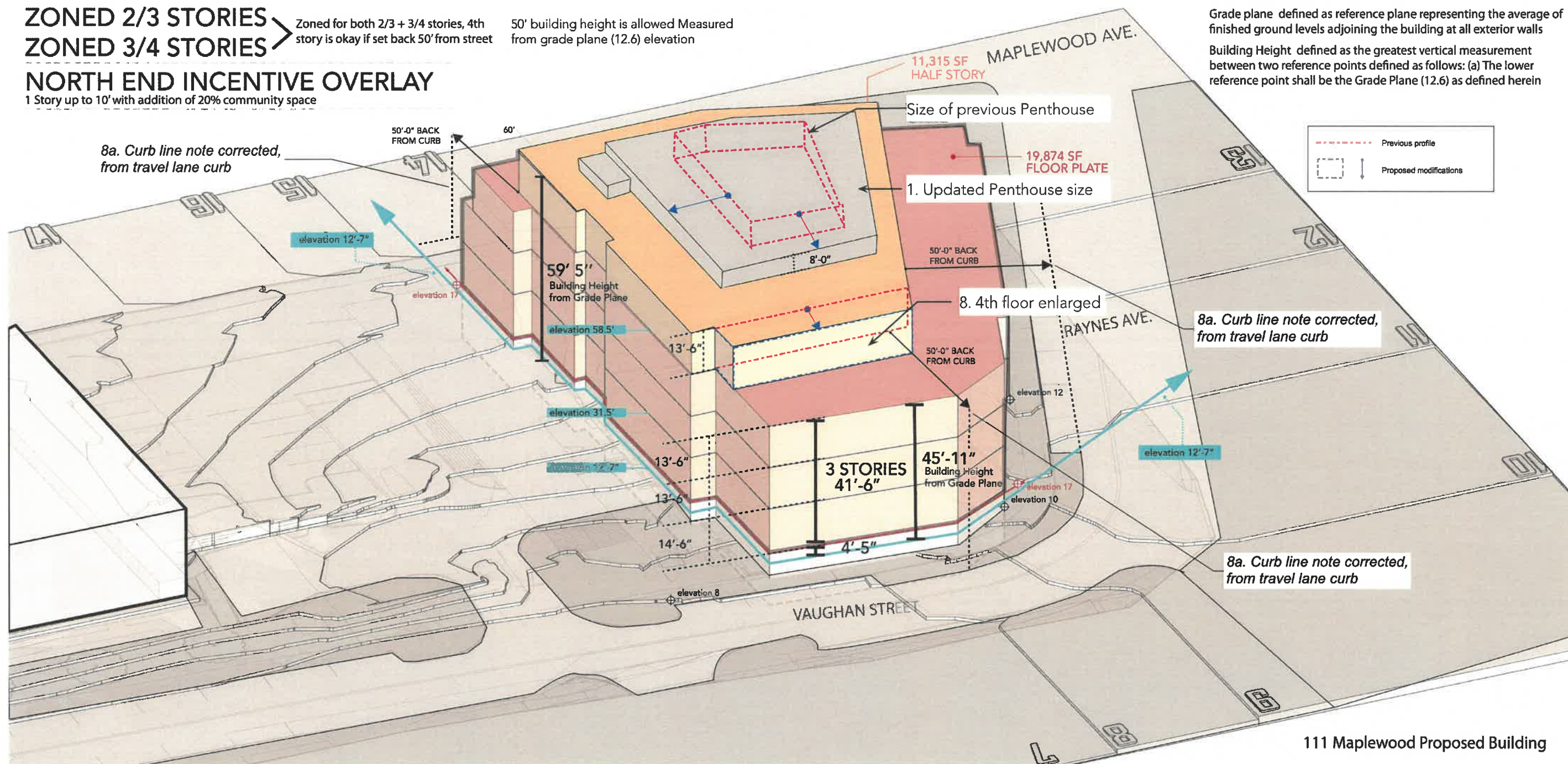
Zoned for both 2/3 + 3/4 stories, 4th story is okay if set back 50' from street

50' building height is allowed Measured from grade plane (12.6) elevation

NORTH END INCENTIVE OVERLAY

1 Story up to 10' with addition of 20% community space

Grade plane defined as reference plane representing the average of finished ground levels adjoining the building at all exterior walls
 Building Height defined as the greatest vertical measurement between two reference points defined as follows: (a) The lower reference point shall be the Grade Plane (12.6) as defined herein

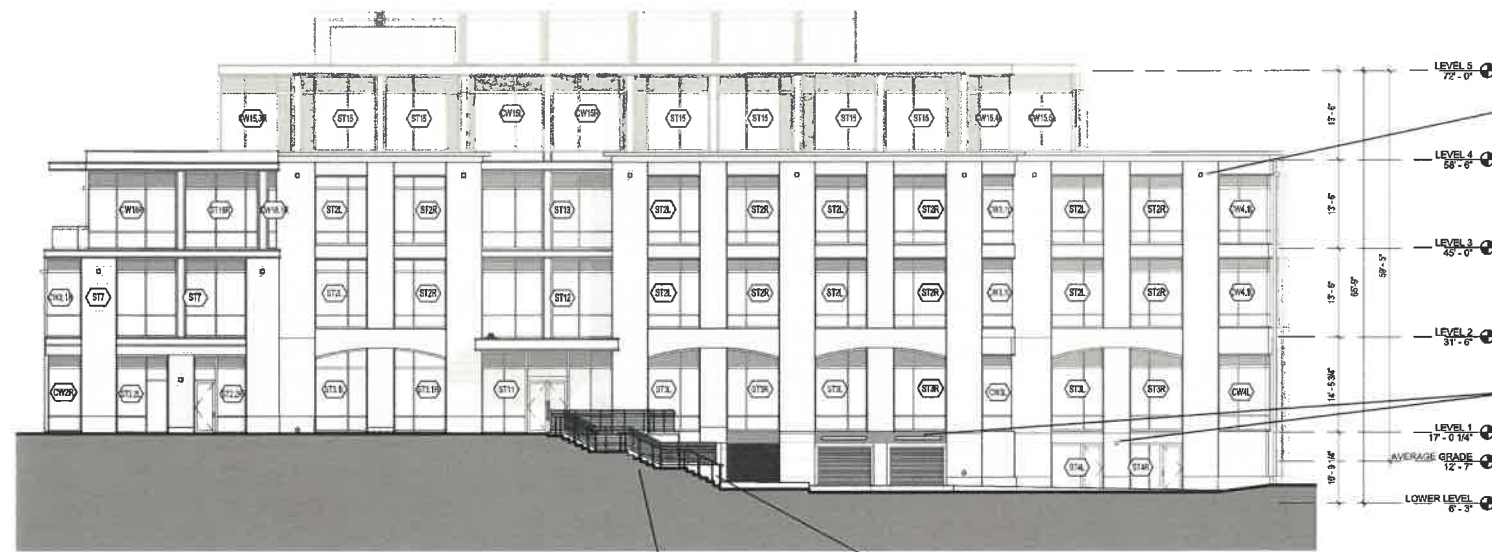


111 Maplewood Proposed Building



SETBACKS + BUILDING HEIGHTS
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH

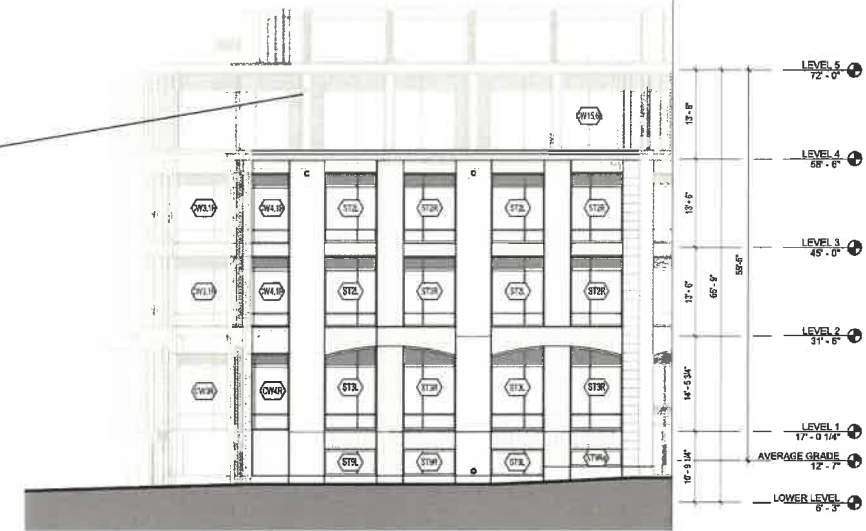
ADMINISTRATIVE APPROVAL 05-13-2020



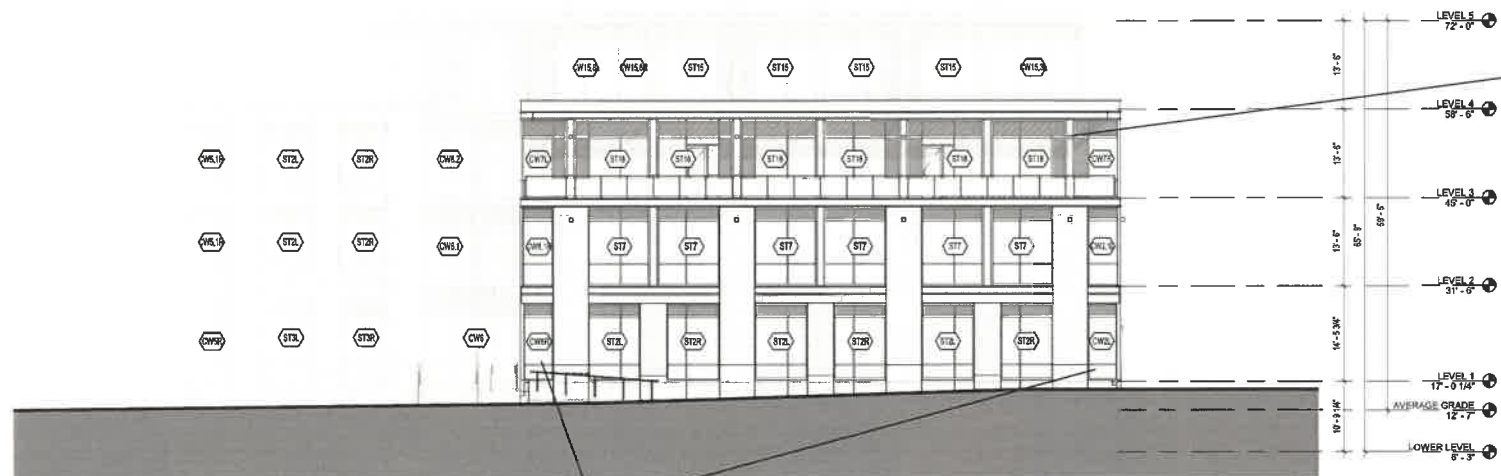
1 HDC BUILDING ELEVATION - ENTRY PASSAGE (EAST)
3/32" = 1'-0"

15. Concrete with a wall-formliner with board pattern

16. Exterior stair flights changed from 2 to 3 and retaining wall steps down

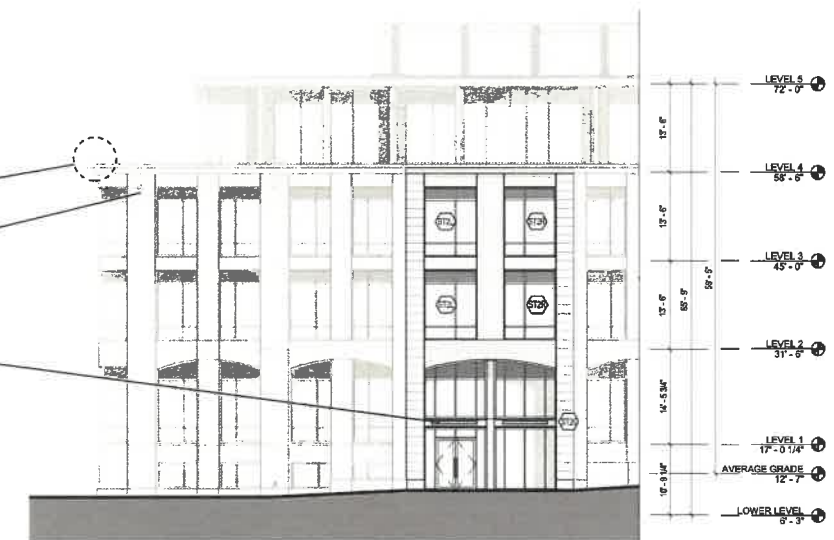


4 HDC BUILDING ELEVATION - VAUGHAN STREET (WEST)
3/32" = 1'-0"

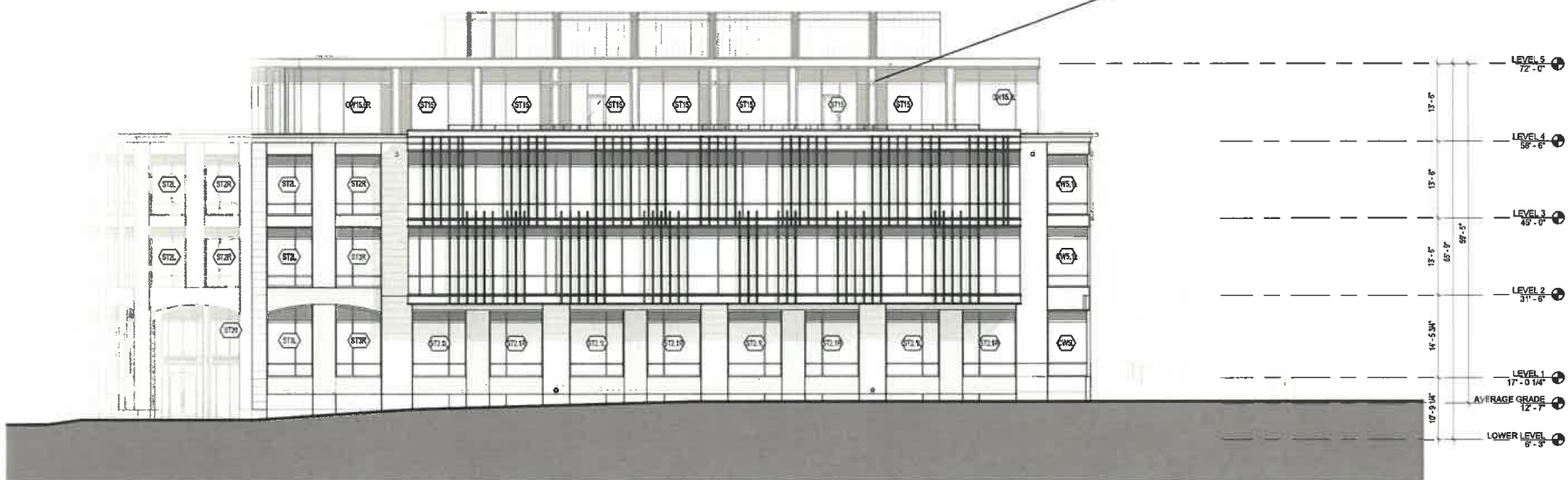


2 HDC BUILDING ELEVATION - MAPLEWOOD AVENUE (SOUTH)
3/32" = 1'-0"

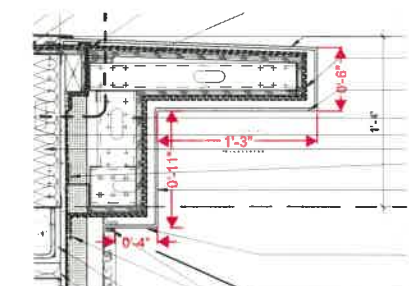
17. Glazed corners adjusted to match all other window corners



5 HDC BUILDING ELEVATION - VAUGHAN/RAYNES ENTRY (WEST)
3/32" = 1'-0"

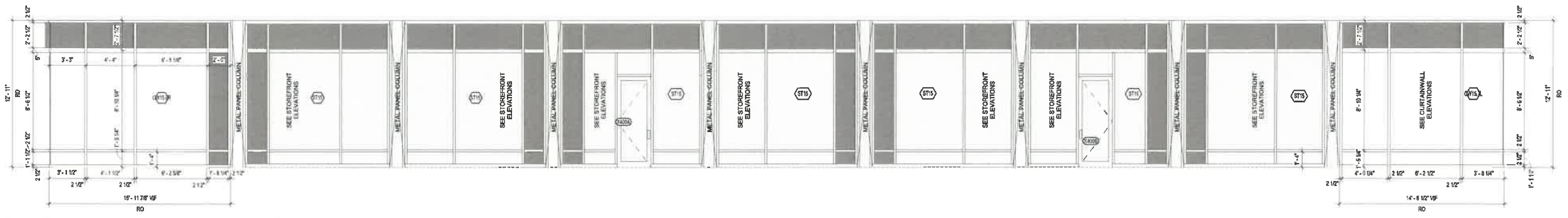


3 HDC BUILDING ELEVATION - RAYNES AVENUE (NORTH)
3/32" = 1'-0"

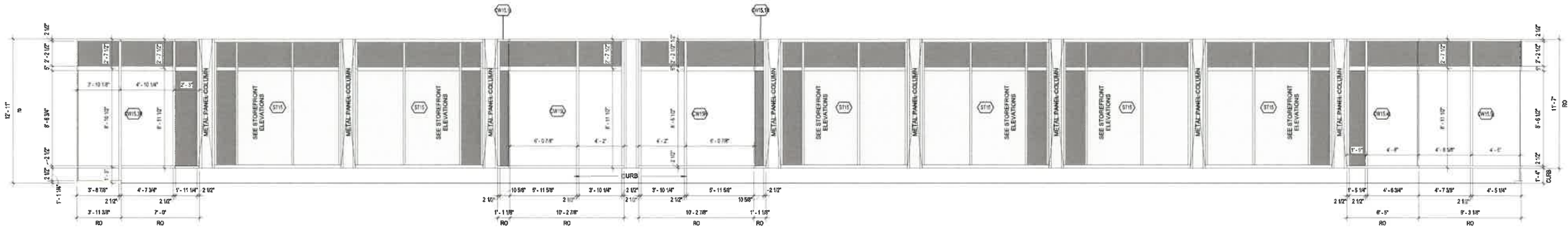


Detail A

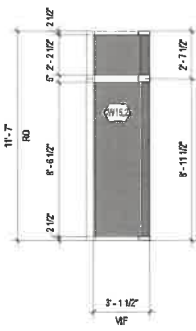
20. Cornice detail modified, 4" reduced from 11"



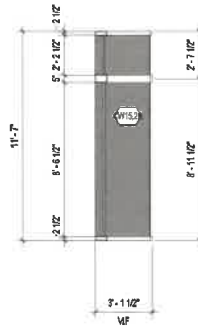
CW ELEVATION - CW15.6R & 15.7L RAYNES AVE SIDE
SCALE 1/4" = 1'-0"



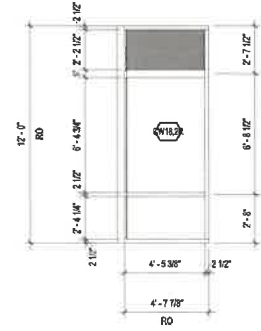
CW ELEVATION - CW 15L, 15R, 15.3R, 15.4L & 15.5L PASSAGE SIDE
SCALE 1/4" = 1'-0"



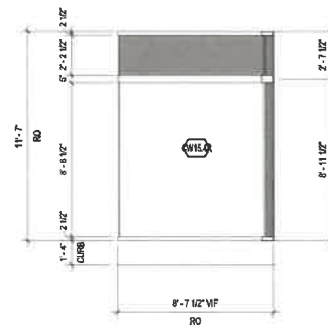
CW ELEVATION - CW 15.2L
SCALE 1/4" = 1'-0"



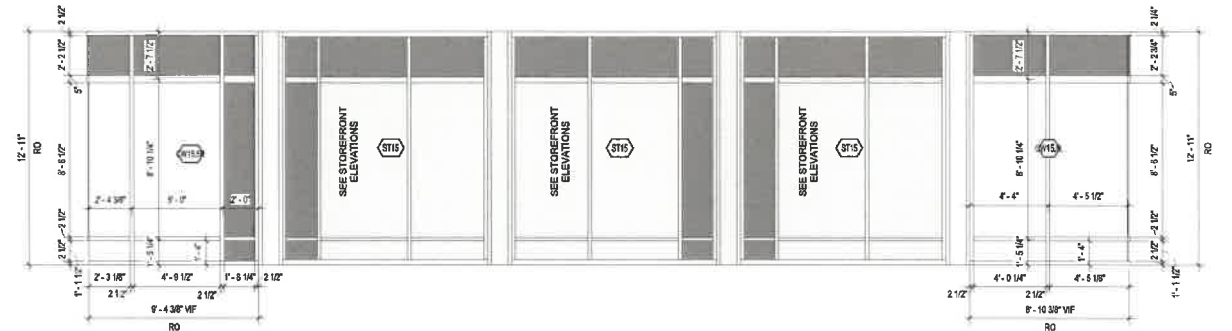
CW ELEVATION - CW 15.2R
SCALE 1/4" = 1'-0"



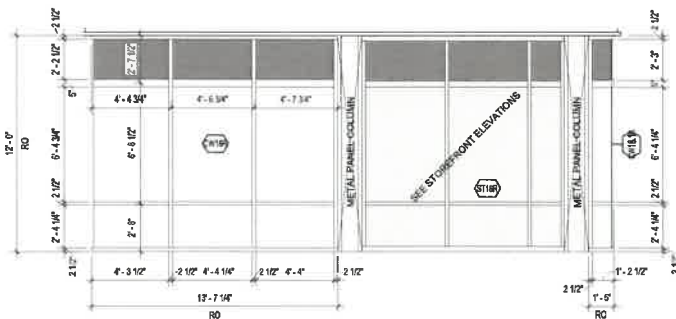
CW ELEVATION - CW18.2R
SCALE 1/4" = 1'-0"



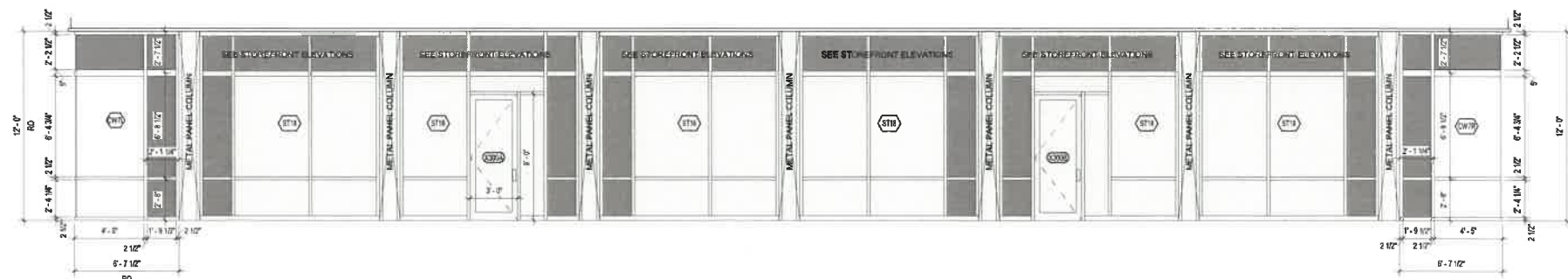
CW ELEVATION - CW15.4R VAUGHAN SIDE 2
SCALE 1/4" = 1'-0"



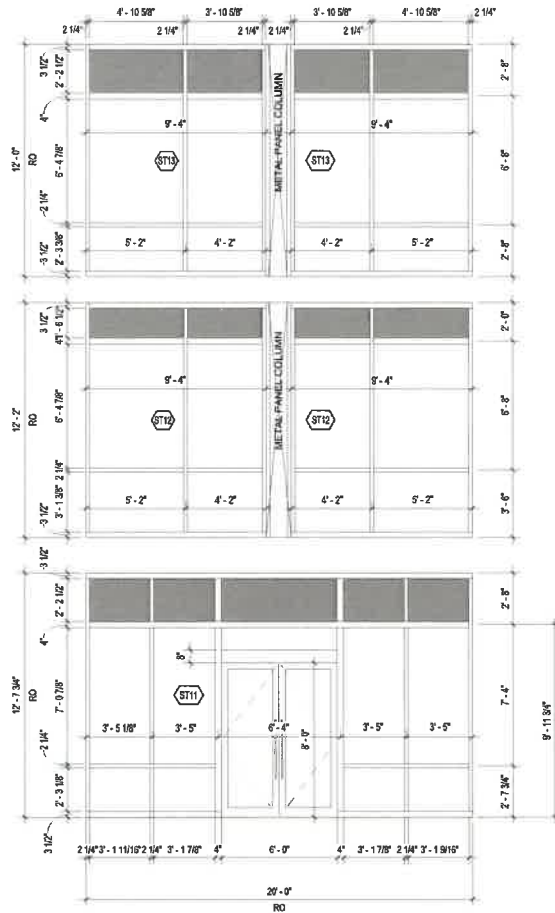
CW ELEVATION - CW15.5R & 15.6L VAUGHAN SIDE 1
SCALE 1/4" = 1'-0"



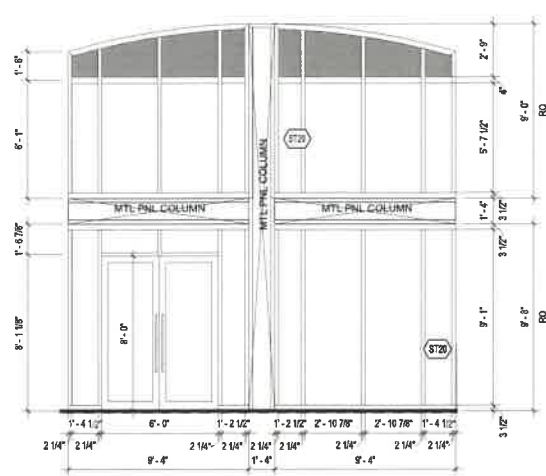
CW ELEVATION - CW18R & CW18.1R
SCALE 1/4" = 1'-0"



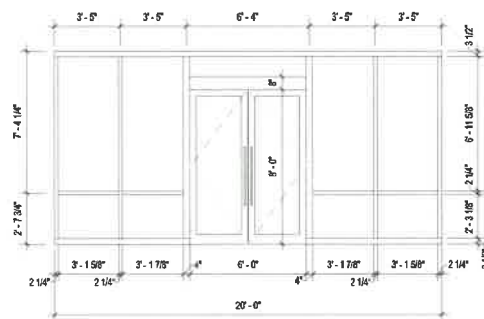
CW ELEVATION - CW7L & CW7R
SCALE 1/4" = 1'-0"



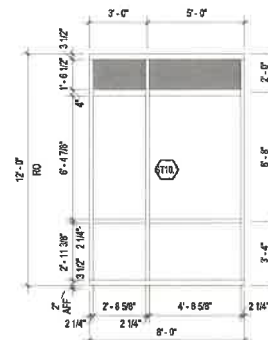
SF ELEVATION - ST11,12,13,14
SCALE 1/4" = 1'-0"



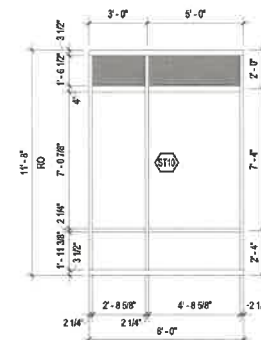
SF ELEVATION - ST20
SCALE 1/4" = 1'-0"



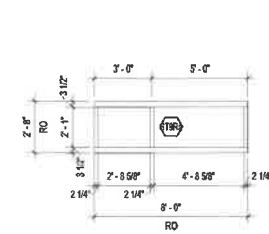
SF ELEVATION - ST11A
SCALE 1/4" = 1'-0"



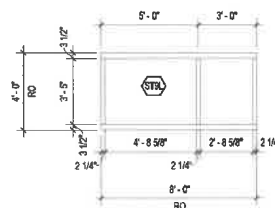
SF ELEVATION - ST10.1
SCALE 1/4" = 1'-0"



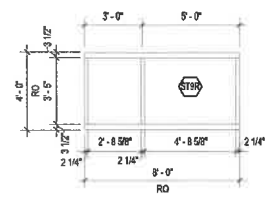
SF ELEVATION - ST10
SCALE 1/4" = 1'-0"



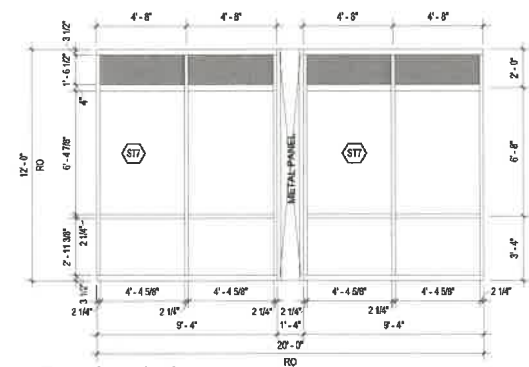
SF ELEVATION - ST9Ra (RIGHT)
SCALE 1/4" = 1'-0"



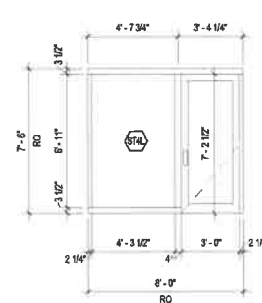
SF ELEVATION - ST9L (LEFT)
SCALE 1/4" = 1'-0"



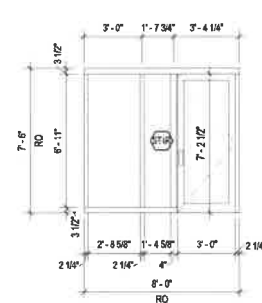
SF ELEVATION - ST9R (RIGHT)
SCALE 1/4" = 1'-0"



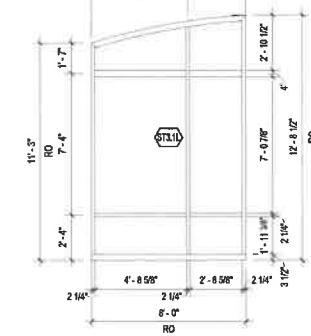
SF ELEVATION - ST7
SCALE 1/4" = 1'-0"



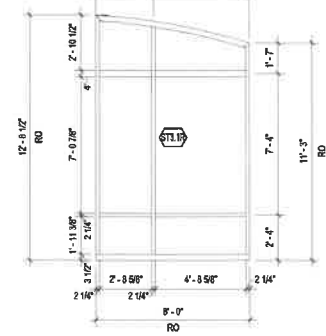
SF ELEVATION - ST4L (LEFT)
SCALE 1/4" = 1'-0"



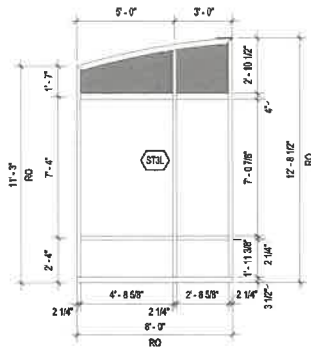
SF ELEVATION - ST4R (RIGHT)
SCALE 1/4" = 1'-0"



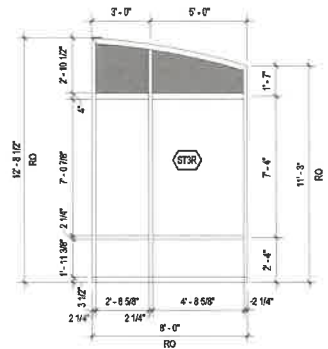
SF ELEVATION - ST3.1L (LEFT)
SCALE 1/4" = 1'-0"



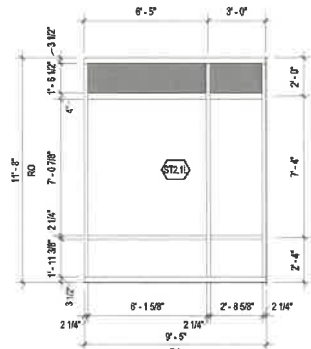
SF ELEVATION - ST3.1R (RIGHT)
SCALE 1/4" = 1'-0"



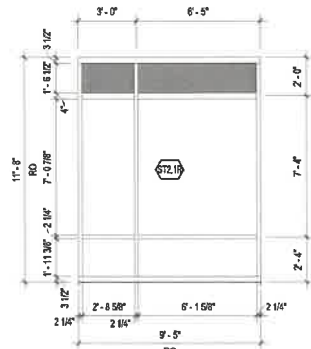
SF ELEVATION - ST3L (LEFT)
SCALE 1/4" = 1'-0"



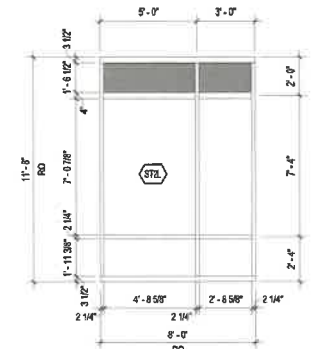
SF ELEVATION - ST3R (RIGHT)
SCALE 1/4" = 1'-0"



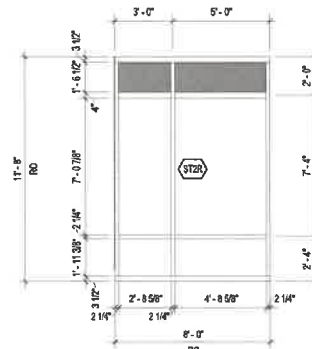
SF ELEVATION - ST2.1L (LEFT)
SCALE 1/4" = 1'-0"



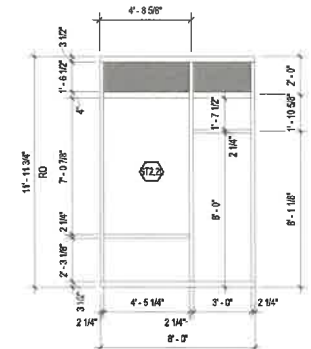
SF ELEVATION - ST2.1R (RIGHT)
SCALE 1/4" = 1'-0"



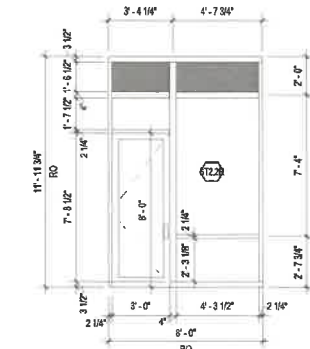
SF ELEVATION - ST2L (LEFT)
SCALE 1/4" = 1'-0"



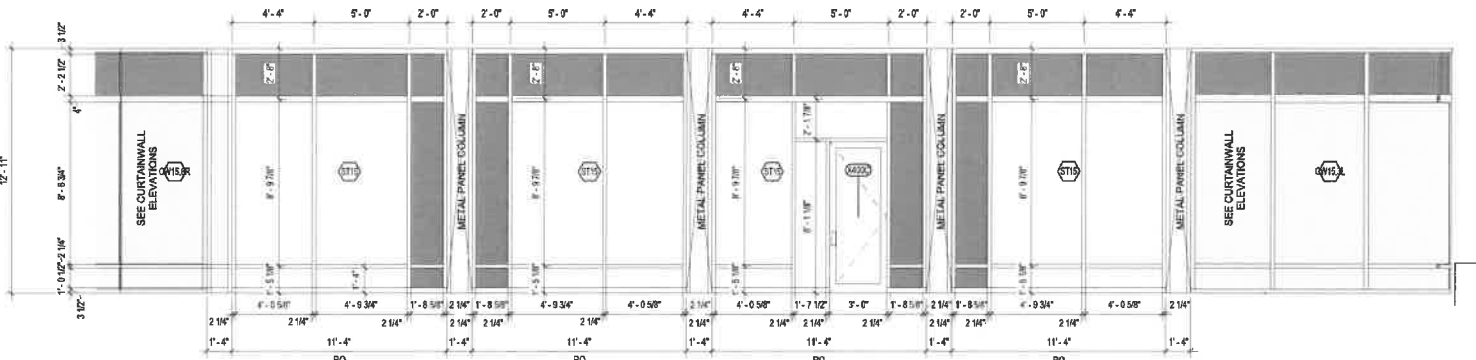
SF ELEVATION - ST2R (RIGHT)
SCALE 1/4" = 1'-0"



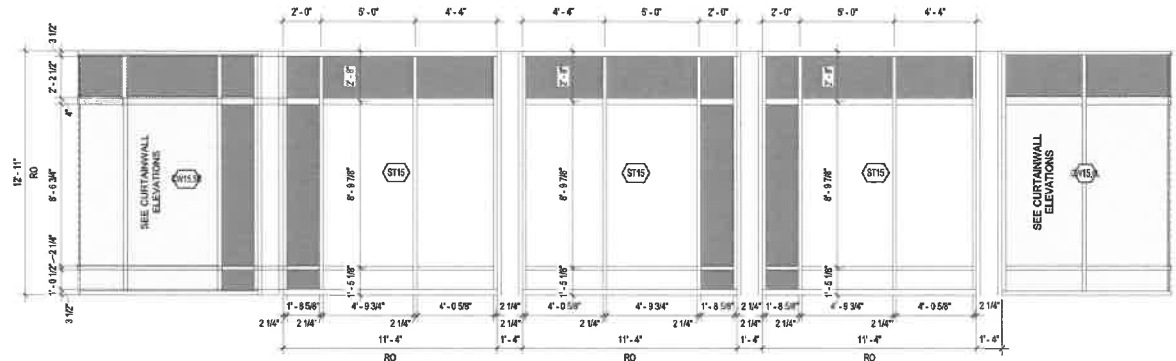
SF ELEVATION - ST2.2L (LEFT)
SCALE 1/4" = 1'-0"



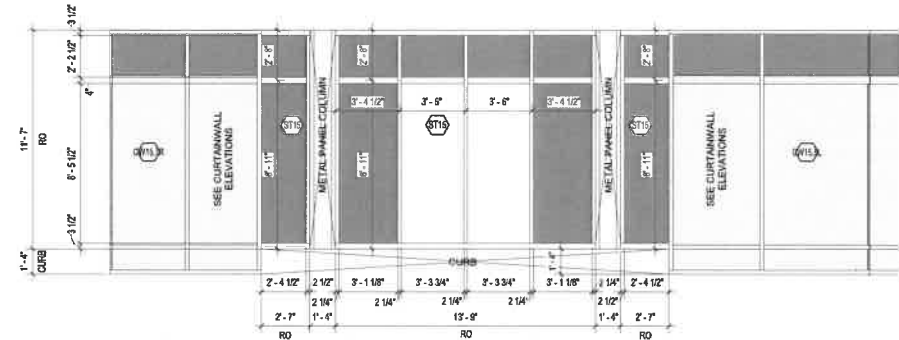
SF ELEVATION - ST2.2R (RIGHT)
SCALE 1/4" = 1'-0"



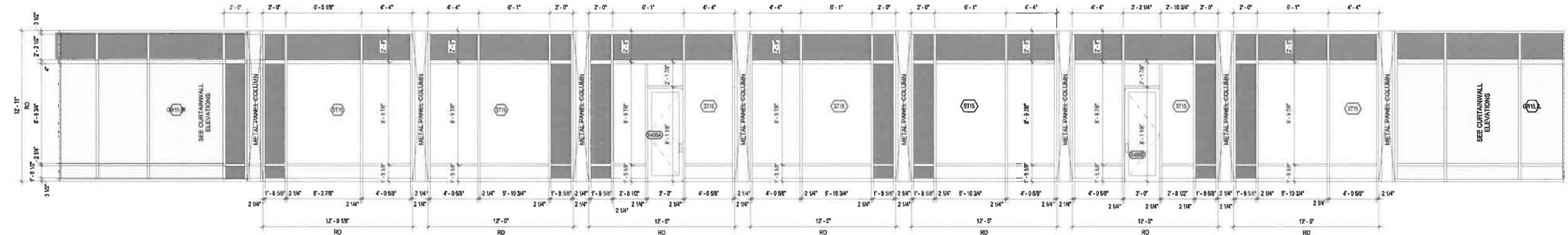
SF ELEVATION - ST15 MAPLEWOOD SIDE 2
SCALE 1/4" = 1'-0"



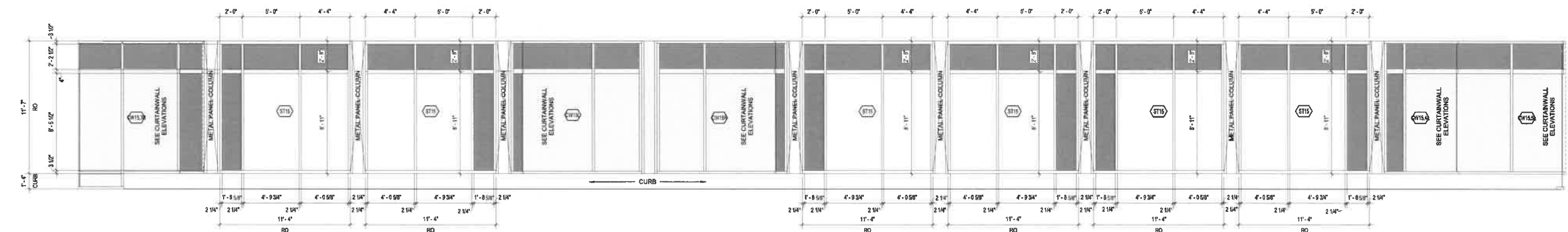
SF ELEVATION - ST15 VAUGHAN SIDE 1
SCALE 1/4" = 1'-0"



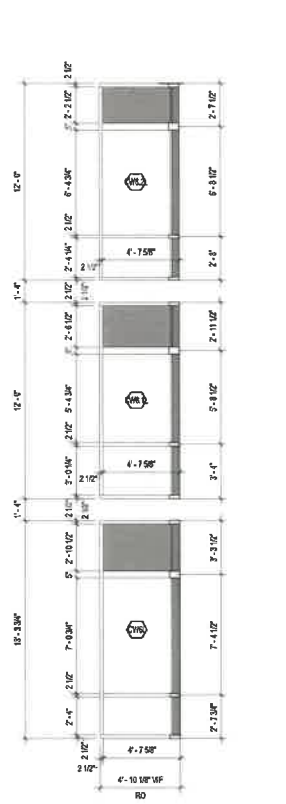
SF ELEVATION - ST15 MAPLEWOOD SIDE 1 (ANGLED CORNER)
SCALE 1/4" = 1'-0"



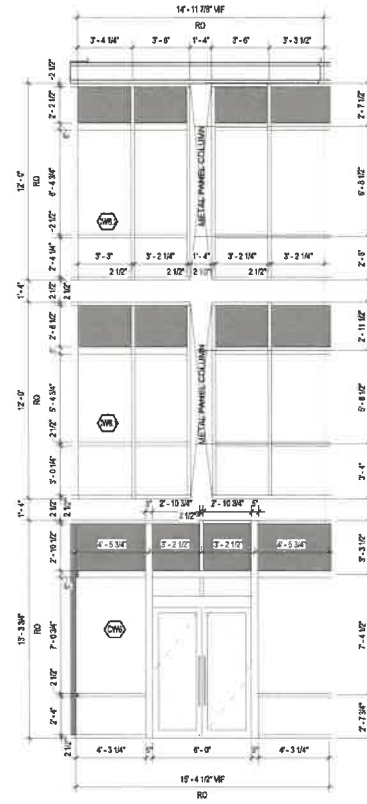
SF ELEVATION - ST15 RAYNES AVE SIDE
SCALE 1/4" = 1'-0"



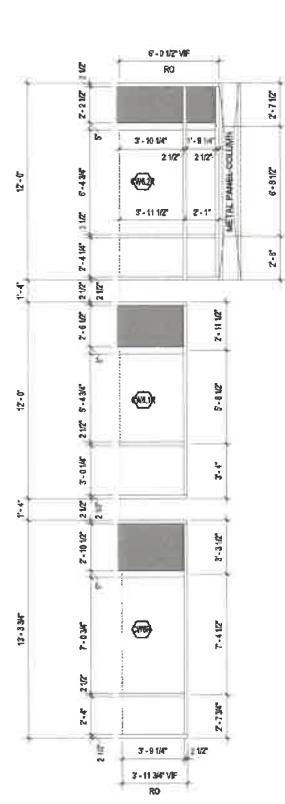
SF ELEVATION - ST15 PASSAGE SIDE
SCALE 1/4" = 1'-0"



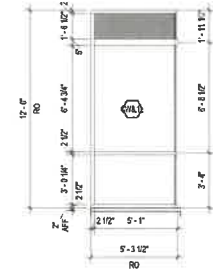
CW ELEVATION - CW6L, 6.1L & 6.2L
SCALE 1/4" = 1'-0"



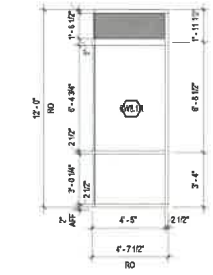
CW ELEVATION - CW6.6.1 AND 6.1A
SCALE 1/4" = 1'-0"



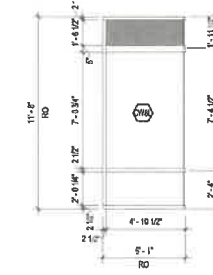
CW ELEVATION - CW6R, 6.1R & 6.2R
SCALE 1/4" = 1'-0"



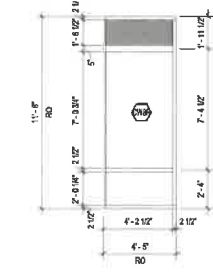
CW ELEVATION - CW8.1L (LEFT)
SCALE 1/4" = 1'-0"



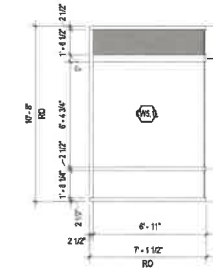
CW ELEVATION - CW8.1R (RIGHT)
SCALE 1/4" = 1'-0"



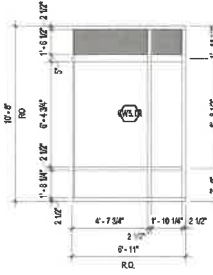
CW ELEVATION - CW8L (LEFT)
SCALE 1/4" = 1'-0"



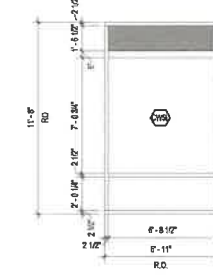
CW ELEVATION - CW8R (RIGHT)
SCALE 1/4" = 1'-0"



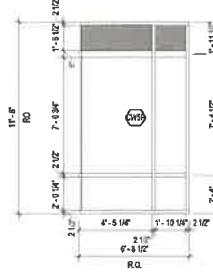
CW ELEVATION - CW5.1L (LEFT)
SCALE 1/4" = 1'-0"



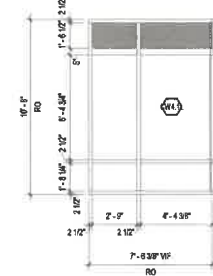
CW ELEVATION - CW5.1R (RIGHT)
SCALE 1/4" = 1'-0"



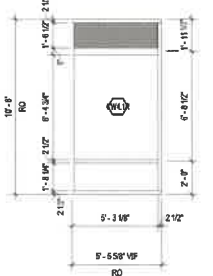
CW ELEVATION - CW5L (LEFT)
SCALE 1/4" = 1'-0"



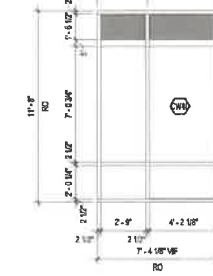
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SCALE 1/4" = 1'-0"



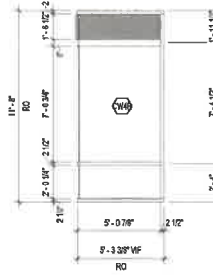
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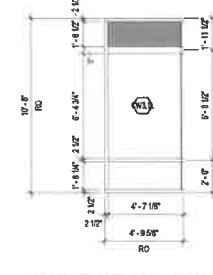
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SCALE 1/4" = 1'-0"



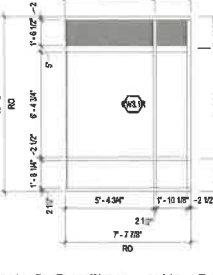
CW ELEVATION - CW4L (LEFT)
SCALE 1/4" = 1'-0"



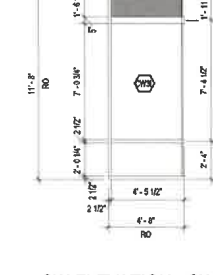
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SCALE 1/4" = 1'-0"



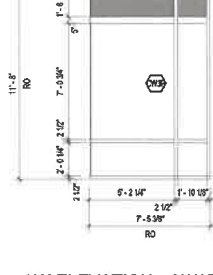
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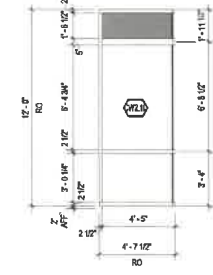
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SCALE 1/4" = 1'-0"



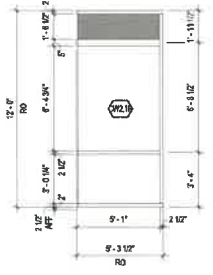
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SCALE 1/4" = 1'-0"



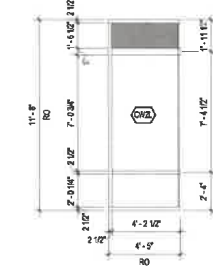
CW ELEVATION - CW3R (RIGHT)
SCALE 1/4" = 1'-0"



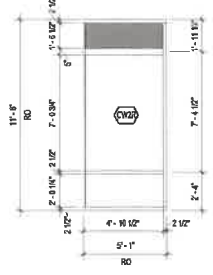
CW ELEVATION - CW2.1L (LEFT)
SCALE 1/4" = 1'-0"



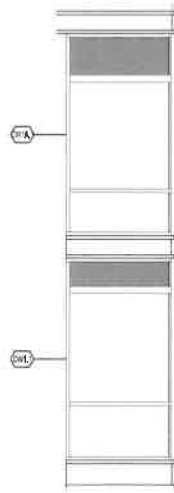
CW ELEVATION - CW2.1R (RIGHT)
SCALE 1/4" = 1'-0"



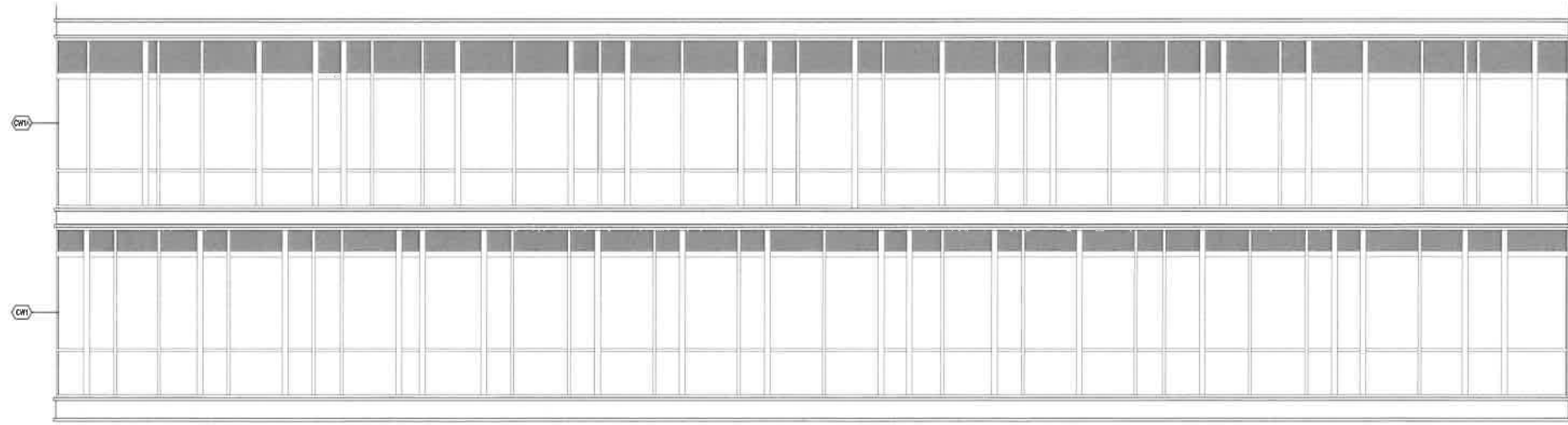
CW ELEVATION - CW2L (LEFT)
SCALE 1/4" = 1'-0"



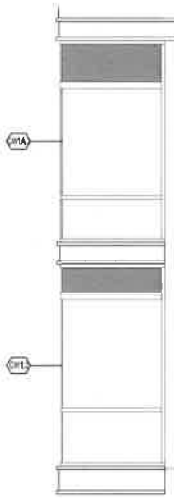
CW ELEVATION - CW2R (RIGHT)
SCALE 1/4" = 1'-0"



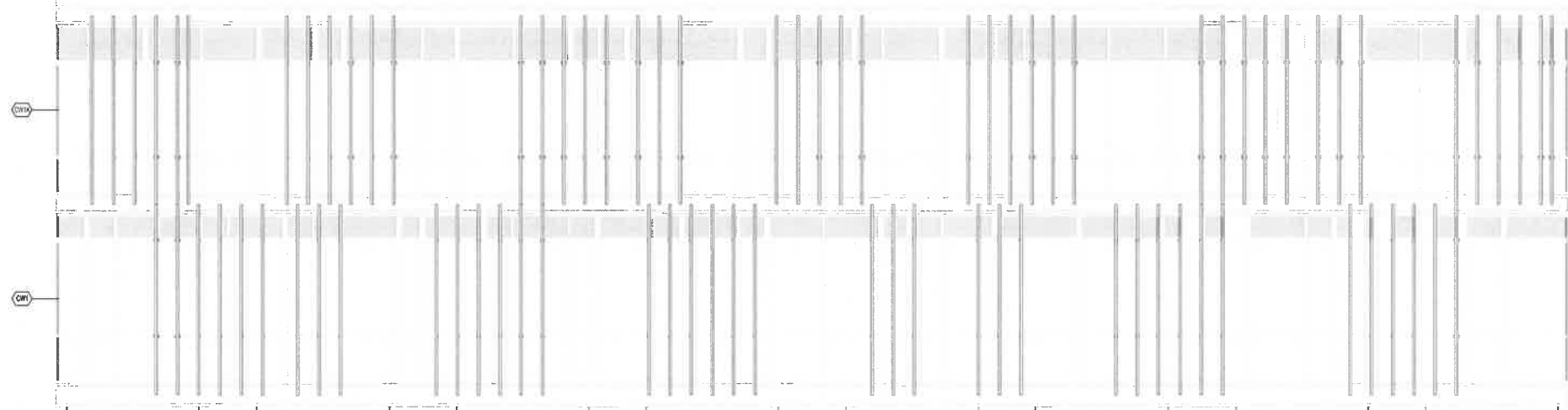
2 CW ELEVATION - CW1.1/CW1A.1
1/4" = 1'-0"



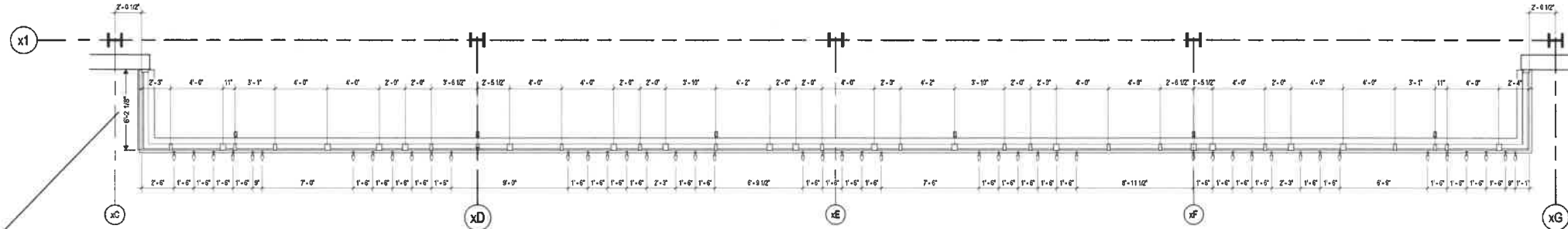
3 CW ELEVATION - CW1/CW1A
1/4" = 1'-0"



1 CW ELEVATION - CW1.2/CW1A.2
1/4" = 1'-0"

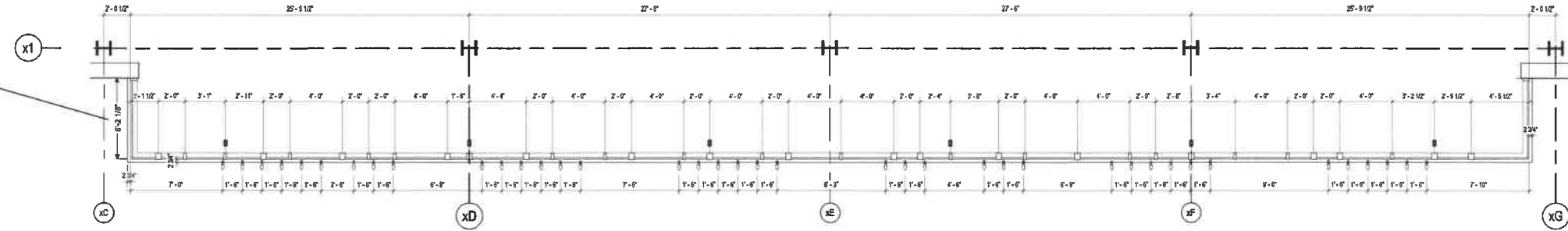


4 CW ELEVATION - CW1/CW1A BATTEN LAYOUT
1/4" = 1'-0"



6 CW PLAN - CW1A
1/4" = 1'-0"

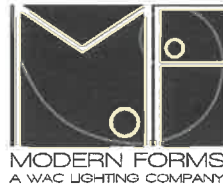
3a. Bay projection clarified



5 CW PLAN - CW1
1/4" = 1'-0"

SQUARE – model: WS-W386
LED Interior & Exterior Sconce

Low wall areas, balcony
and roof terrace

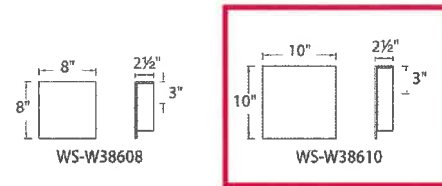


Fixture Type: **WP2**

Catalog Number:

Project: **145 Maplewood, Portsmouth NH**

Location: **Exterior Wall**



PRODUCT DESCRIPTION

Four equal sides and a stream of light. Square artfully provides geometry to wall surfaces in the daytime when mounted in multiples while providing safe illumination of pathways and dramatic visual intrigue in the evening. Perfect for wall grazing surfaces.

FEATURES

- Dark Sky friendly
- ADA compliant, low profile design
- ETL & cETL, wet location listed, IP65 rated
- Aluminum construction
- Full range dimming when used with compatible dimmers
- No transformer or driver required
- 277V option available (special order)
- 50,000 hour rated life
- Color Temp: 3000K
- CRI: 90

SPECIFICATIONS

Construction: Aluminum construction.

Light Source: High output LED.

Finish: Titanium (TT), Bronze (BZ).

Standards: ETL & cETL damp location listed. IP65 rated. ADA compliant. **Dark Sky friendly.**

ORDER NUMBER

Model	Width	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W38608	8"	9W	120V	486	398	BZ Bronze
WS-W38610	10"	15W	120V	836	720	TT Titanium

Example: **WS-W38608-BZ**
For 277V special order, add an "F" before the finish: **WS-W38608F-BZ**

modernforms.com
Phone (800) 526.2588
Fax (800) 526.2585

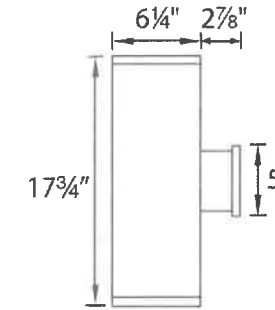
Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

TUBE ARCHITECTURAL DS-WD06-U
Ultra Narrow Beam LED Wall Mounts

WAC LIGHTING
Responsible Lighting®



Fixture Type: **W1**

Catalog Number:

Project: **145 Maplewood, Portsmouth NH**

Location: **Exterior Down, High Wall**

SPECIFICATIONS

Input: 120V - 277VAC 50/60Hz

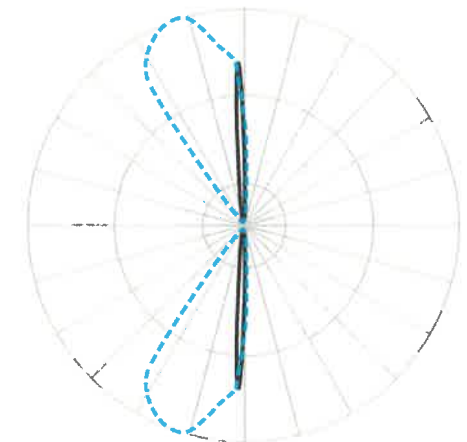
Dimming: 0 - 10V Dimming: 100% - 20%
ELV 100% - 10% (120V only)

Standards: IP65 rated, ETL & cETL wet location listed

Operating Temp: -40°C to 40°C

PHOTOMETRY

Reads 0.2 footcandle at 15 feet distance



PRODUCT DESCRIPTION

Precise engineering using the latest energy efficient LED technology with a built-in ultra narrow beam precision optics. An appealing cylindrical profile perfect for accent lighting.

FEATURES

- High performance facade LED wall mount light
- Can be mounted upwards or **downwards**
- Solid aluminum construction
- 80,000 hour rated life
- 5 year warranty

ORDERING NUMBER

Distribution	Diameter	Watt	Beam	Color Temp	CRI	Lumens	CBCP	Light Direction	Finish	
Double	DS-WD	06	6"	22W	U	6°	27 2700K 85 110 x2 1239 x2	B Towards the wall	BK Black	
									30 3000K 85 130 x2 1428 x2	WT White
									35 3500K 85 130 x2 1478 x2	BZ Bronze
									40 4000K 85 135 x2 1532 x2	GH Graphite

DS-WD06-U__B-__

Example: **DS-WD06-U30B-WT**

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

May 12, 2020

Chairman Vincent Lombardi
Historic District Commission
City Hall
1Junkins Avenue
Portsmouth, NH
03801

Dear Chairman Lombardi and Commission members,

This letter is to formally request a 1 year extension to our Certificate of Approval for modifications to our property at 103-105 High Street on file.

Circumstances have not allowed us to start the project, but we are now ready to begin.

Respectfully,
Joseph and Jennifer Almeida



PLANNING DEPARTMENT
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROVAL

June 12, 2019

Joseph & Jennifer Almeida
PO Box 232
New Castle, NH 03801

103 High Street

The Historic District Commission considered your proposal at its meeting on June 05, 2019 wherein permission was requested to allow new construction and exterior renovations to an existing structure (modify front elevation by adding store-front, landing, and stairs) as per plans on file in the Planning Department.

After due deliberation, the Commission voted that the request be **approved** as presented.

Findings of Fact: The proposed application meets the following purposes of the Historic District Ordinance (as applicable):

A. Purpose and Intent:

- Yes No - Preserve the integrity of the District
- Yes No - Maintain the special character of the District
- Yes No - Assessment of the Historical Significance
- Yes No - Complement and enhance the architectural and historic character
- Yes No - Conservation and enhancement of property values
- Yes No - Promote the education, pleasure & welfare of the District to the city residents and visitors.

The proposed application also meets the following review criteria of the Historic District Ordinance (as applicable):

B. Review Criteria:

- Yes No - Consistent with special and defining character of surrounding properties
- Yes No - Relation to historic and architectural value of existing structures
- Yes No - Compatibility of design with surrounding properties
- Yes No - Compatibility of innovative technologies with surrounding properties

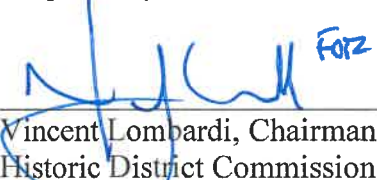
Page 2
Re: 103 High Street
June 12, 2019

PLEASE NOTE THE FOLLOWING:

- **Other Approvals** - Approvals may also be required from other Committees and/or Boards prior to the issuance of a Building Permit.
- **Construction Drawings** - Prior to the issuance of a Building Permit the Building Inspector will review and approve construction drawings/sketches so work shall not commence until the review process is complete and a Building Permit issued.
- **Design Modifications and Fees** - Please note that any changes or modifications to this approval require review and approval from the HDC prior to implementation. Starting July 1st, 2016, a \$100 fee will be required for any subsequent Administrative Approvals for work not yet completed and a \$500 fee will be assigned for any work completed prior to approval.
- **Site Inspections and Compliance Review** - The City's Land Use Compliance Agent, Vincent Hayes, will be inspecting the work during construction and will be available to assist you in making any other requests or inquires on this matter. If you have any questions please feel free to contact the Principal Planner, Nick Cracknell at njcracknell@cityofportsmouth.com or Mr. Hayes at vjhayes@cityofportsmouth.com.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Respectfully submitted,



Vincent Lombardi, Chairman
Historic District Commission

cc: Robert Marsilia, Building Inspector
Rosann Maurice-Lentz, Assessor

VIEW FROM BACK YARD



VIEW FROM DRIVEWAY



VIEW FROM MARCY ST



existing one-story addition

existing patio

area of existing patio



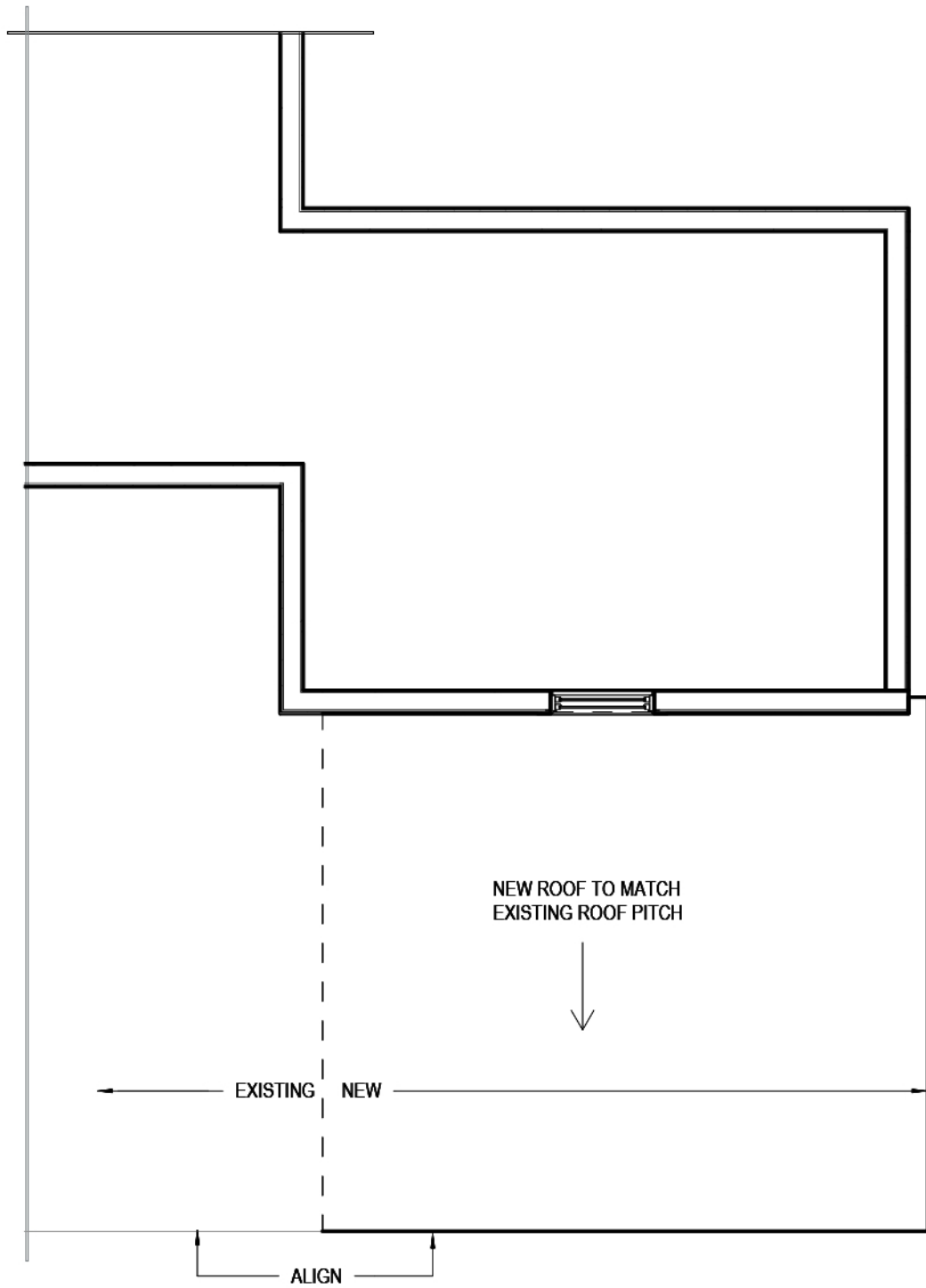
137 NEW CASTLE AVE
CITY OF PORTSMOUTH
MAY 2020 HDC
PAGE 1

LOCUS MAP

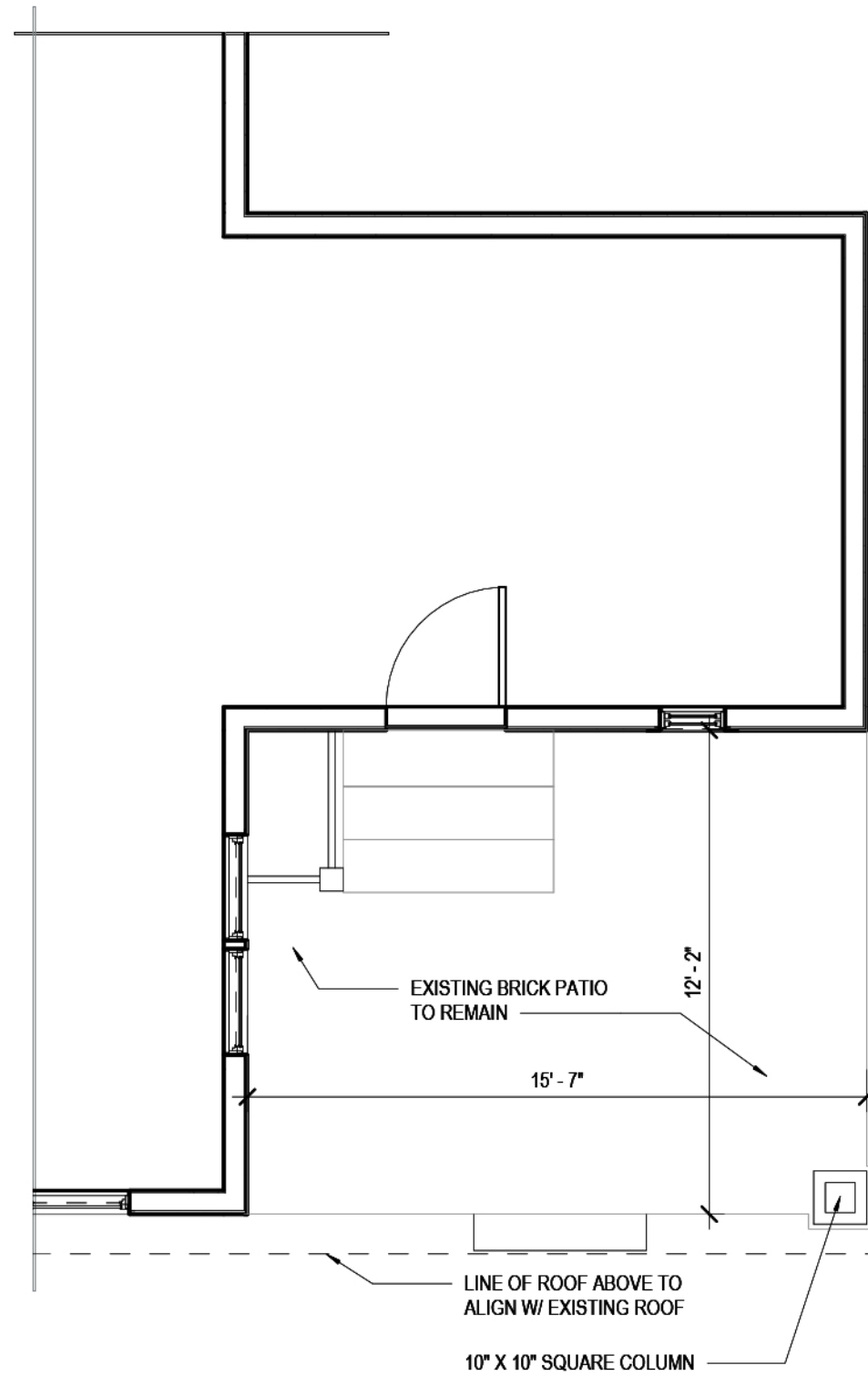
TAX MAP



137 NEW CASTLE AVE
CITY OF PORTSMOUTH
MAY 2020 HDC
PAGE 2

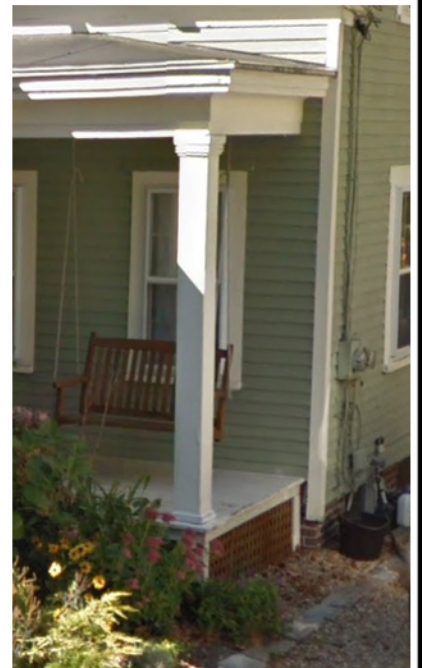


ROOF PLAN

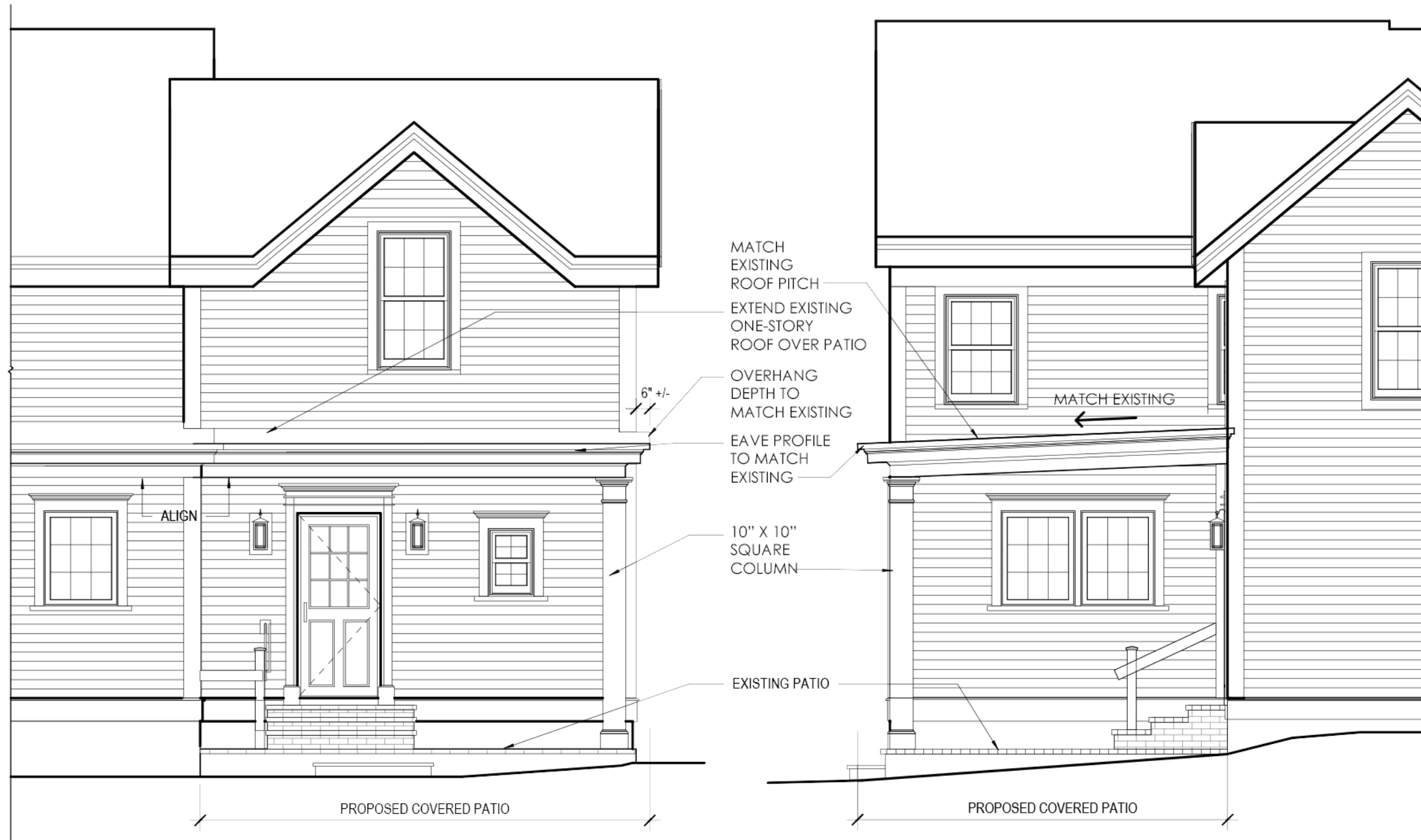


PATIO PLAN

1/4" = 1'-0"



10" X 10" SQUARE COLUMN



EXISTING EAVE DETAIL

EXTEND GUTTER ACROSS FACE OF NEW ROOF. PITCH TO DRAIN INTO EXISTING DOWNSPOUT AT CORNER.

NORTH ELEVATION
1/4" = 1'-0"

WEST ELEVATION

Square Smooth Posts

The square post is versatile and offers exceptional architectural detail. Contemporary, colonial, and prairie style are just a few of the many types of homes on which you could introduce a square post.

DSI Columns has a wide array of square post designs for you to consider. Whether you choose a clean, smooth square post or a deep recess panel that exudes the craftsmanship of a bygone era, you will be delighted with the low maintenance features and durability for years to come.

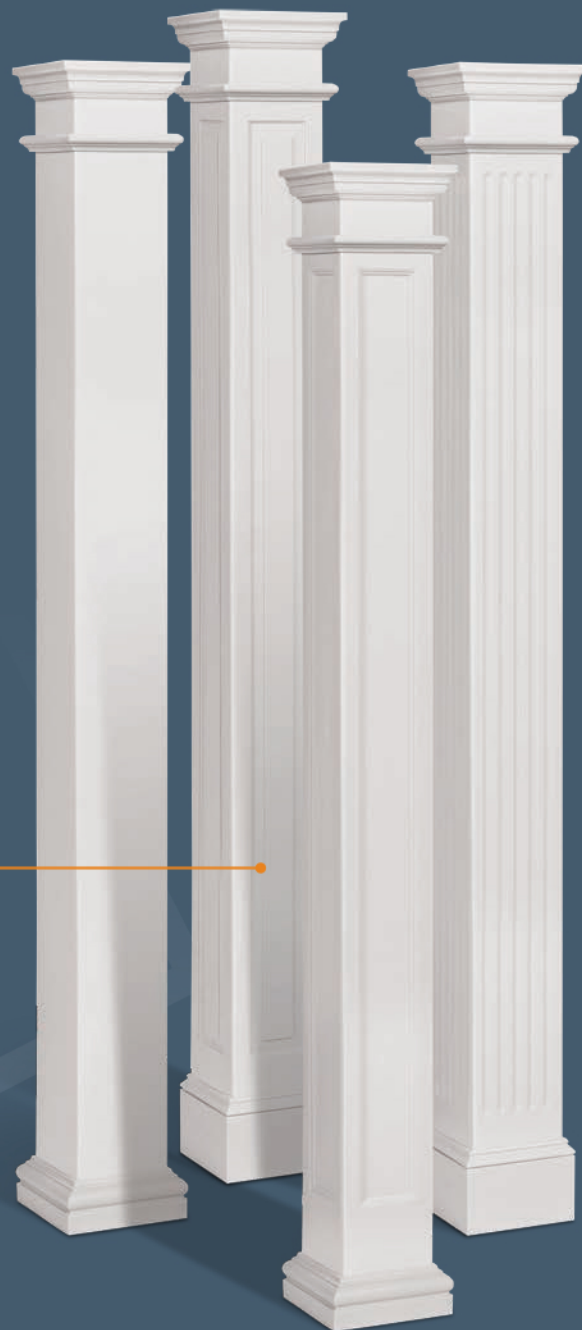


Square Smooth Posts

Post Size	Outside Diameter Top (A)	Inside Diameter Top	Outside Diameter Bottom (B)	Inside Diameter Bottom	Material Thickness
6" x 8'	5 3/4"	4 3/4"	5 3/4"	4 3/4"	1/2"
6" x 9'	5 3/4"	4 3/4"	5 3/4"	4 3/4"	1/2"
8" x 8'	7 15/16"	6 7/16"	7 15/16"	6 7/16"	1/2"
8" x 9'	7 15/16"	6 7/16"	7 15/16"	6 7/16"	1/2"
8" x 10'	7 15/16"	6 7/16"	7 15/16"	6 7/16"	1/2"
10" x 8'	9 3/4"	8 11/16"	9 3/4"	8 11/16"	1/2"
10" x 9'	9 3/4"	8 11/16"	9 3/4"	8 11/16"	1/2"
10" x 10'	9 3/4"	8 11/16"	9 3/4"	8 11/16"	1/2"
12" x 8'	11 3/4"	10 3/4"	11 3/4"	10 3/4"	1/2"
12" x 9'	11 3/4"	10 3/4"	11 3/4"	10 3/4"	1/2"
12" x 10'	11 3/4"	10 3/4"	11 3/4"	10 3/4"	1/2"
12" x 12'	11 3/4"	10 3/4"	11 3/4"	10 3/4"	1/2"
14" x 8'	13 7/8"	13 1/8"	13 7/8"	13 1/8"	3/8"
14" x 9'	13 7/8"	13 1/8"	13 7/8"	13 1/8"	3/8"
14" x 10'	13 7/8"	13 1/8"	13 7/8"	13 1/8"	3/8"
14" x 12'	13 7/8"	13 1/8"	13 7/8"	13 1/8"	3/8"
14" x 14'	13 7/8"	13 1/8"	13 7/8"	13 1/8"	3/8"

Available in:

- Standard
- Split-Fit®



Well-proportioned
and Versatile

Proposed alterations to 241 South St

Remove internal porch and screened-in porch
Add garage, porch, and livable space

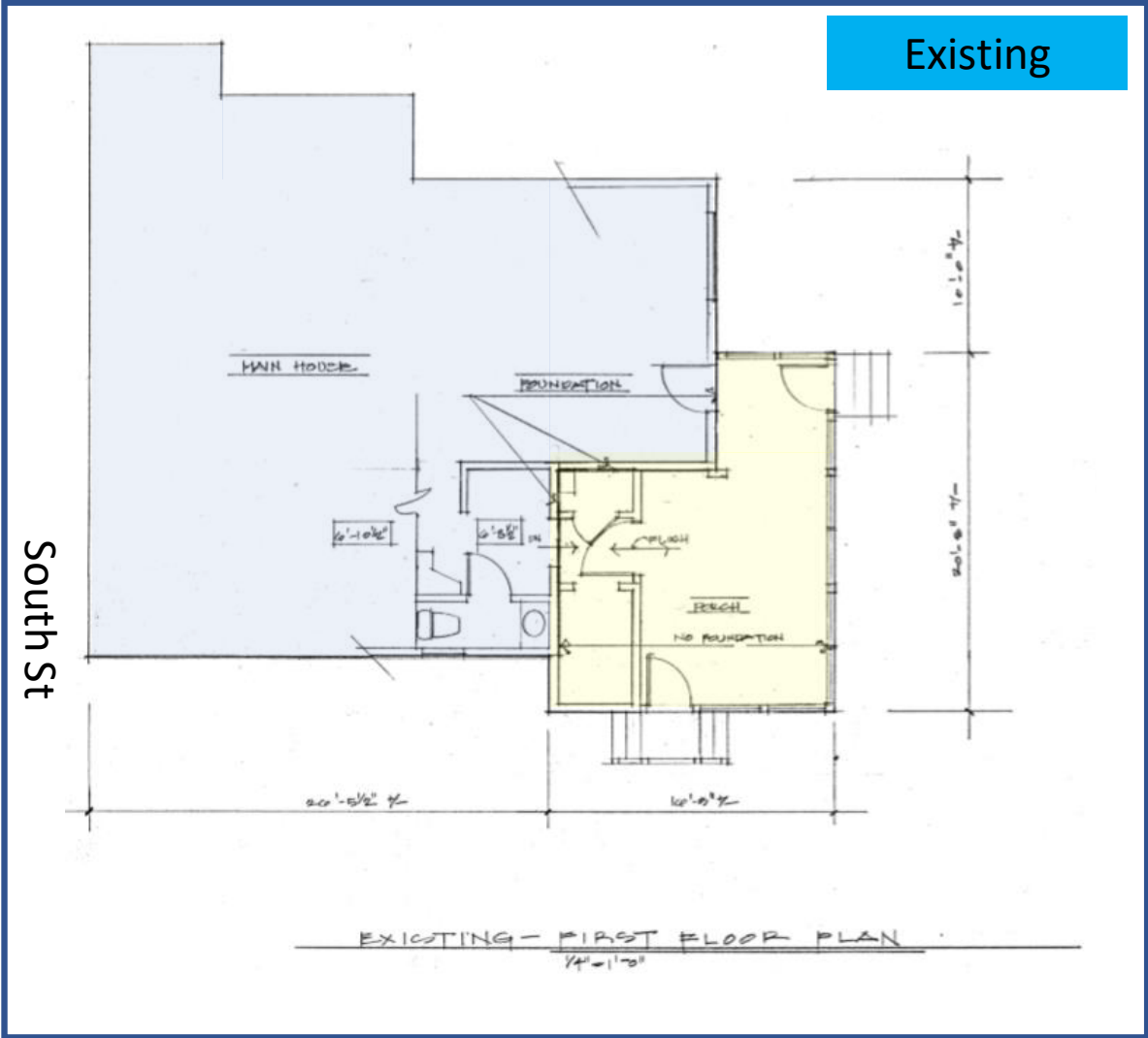


PROPOSED - FRONT ELEVATION

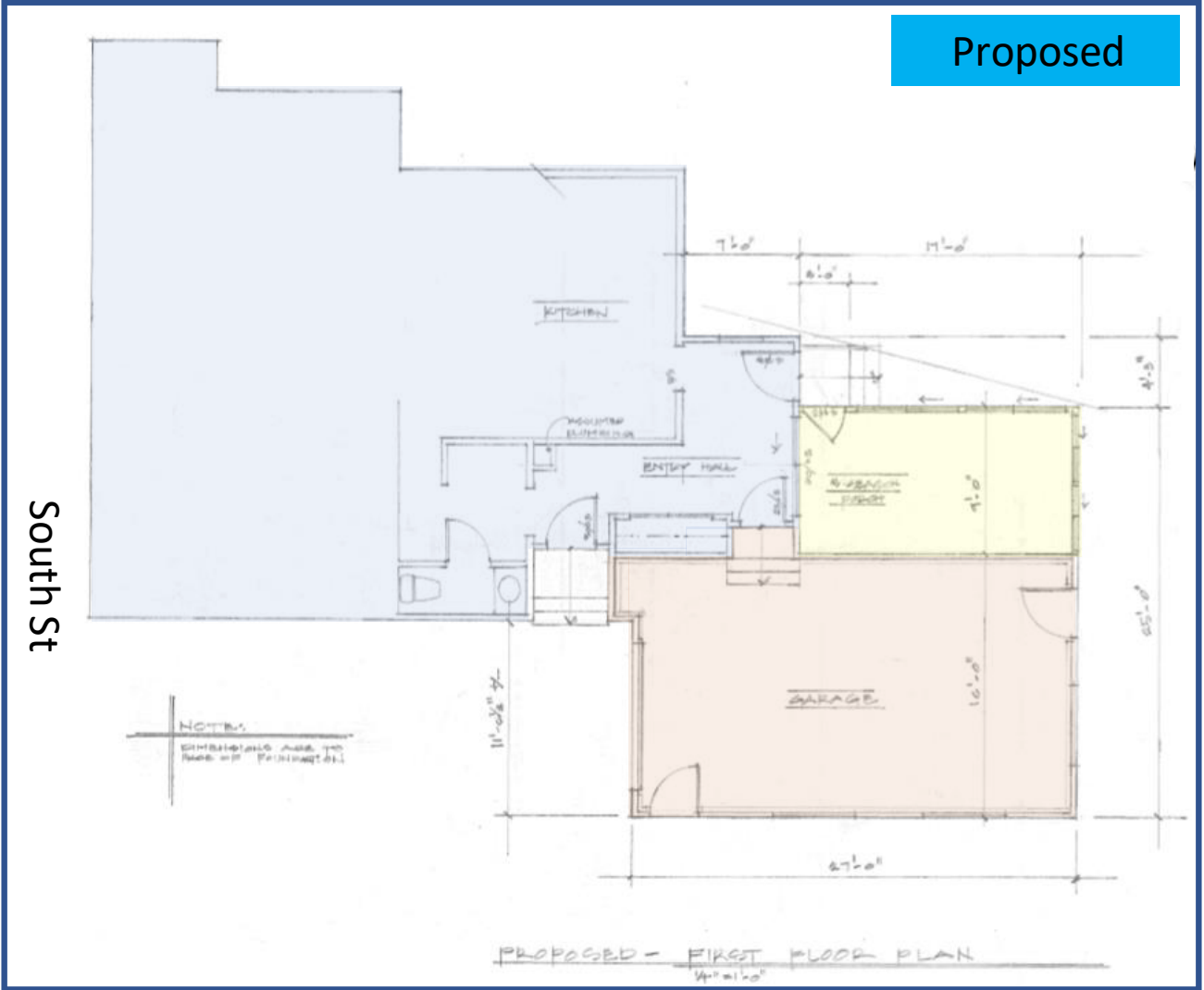
4/21/20

First Floor Plan

Existing



Proposed



Livable space

Porch

Garage

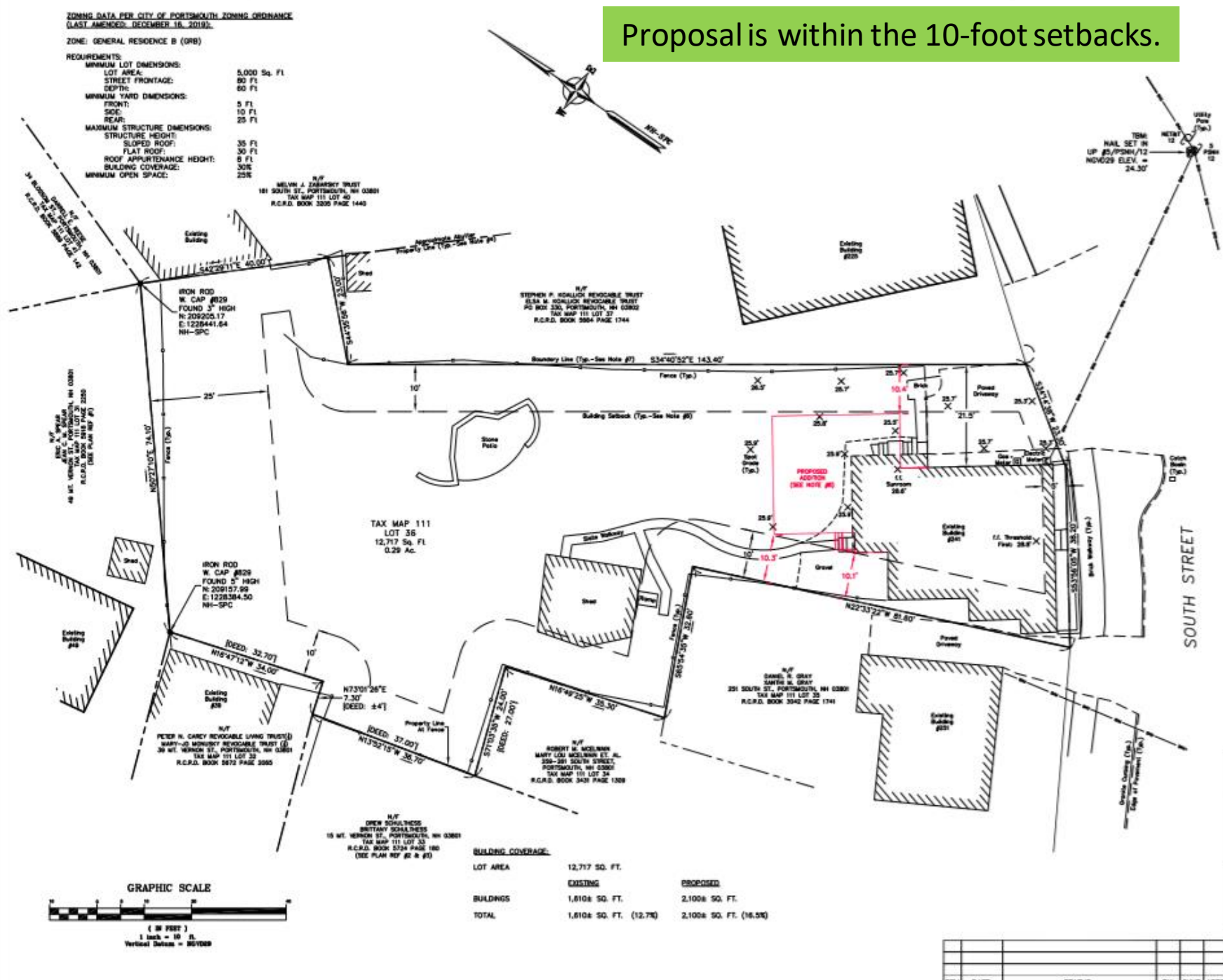
**ZONING DATA PER CITY OF PORTSMOUTH ZONING ORDINANCE
(LAST AMENDED: DECEMBER 16, 2019).**

ZONE: GENERAL RESIDENCE B (GRB)

REQUIREMENTS:

MINIMUM LOT DIMENSIONS:	
LOT AREA:	5,000 Sq. Ft.
STREET FRONTAGE:	80 Ft.
DEPTH:	60 Ft.
MINIMUM YARD DIMENSIONS:	
FRONT:	5 Ft.
SIDE:	10 Ft.
REAR:	25 Ft.
MAXIMUM STRUCTURE DIMENSIONS:	
STRUCTURE HEIGHT:	35 Ft.
SLOPED ROOF:	30 Ft.
FLAT ROOF:	5 Ft.
ROOF APERTURE HEIGHT:	50%
BUILDING COVERAGE:	25%
MINIMUM OPEN SPACE:	25%

Proposal is within the 10-foot setbacks.



- PLAN REFERENCES:**
1. "SUBDIVISION PLAN FOR PROPERTY AT 48 & 57 MT. VERNON STREET, PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE, OWNED BY ERIC A. SPEAR, JEAN C. M. SPEAR" PREPARED BY NORTH EASTERLY SURVEYING, INC., DATED JANUARY 30, 2018 AND RECORDED AT THE R.C.R.D. AS PLAN BOOK D-40862.
 2. "AMENDED CONDOMINIUM SITE PLAN FOR STEVE SANDER & KAREN MAZZARI 258/261 SOUTH STREET, COUNTY OF ROCKINGHAM, PORTSMOUTH, NH" PREPARED BY MILLETTE, SPRAGUE & COLWELL, INC., DATED OCTOBER 13, 1999 AND RECORDED AT THE R.C.R.D. AS PLAN D-27578.
 3. "LAND OF H.A. BRACKETT, MT. VERNON STREET, PORTSMOUTH, NH." PREPARED BY JOHN W. DURGIN, C.E. AND DATED SEPTEMBER 1940, NOT RECORDED.
 4. "LOT PLAN 259 SOUTH ST, PORTSMOUTH, NH" PREPARED BY JOHN W. DURGIN, C.E. AND DATED JULY 1936, NOT RECORDED.
 5. "EXISTING CONDITIONS SURVEY FOR PROPERTY AT 241 SOUTH STREET, PORTSMOUTH, ROCKINGHAM COUNTY, NEW HAMPSHIRE, OWNED BY 3A TRUST", PREPARED BY NORTH EASTERLY SURVEYING, INC., PROJECT No. 19811, DATED 1/30/20.

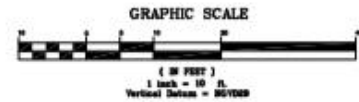
- NOTES:**
1. OWNERS OF RECORD:
TAX MAP 111 LOT 36
3A TRUST
R.C.R.D. BOOK 8018 PAGE 2228
DATED JULY 19, 2019
 2. TOTAL EXISTING PARCEL AREA:
TAX MAP 111 LOT 36
0.292 Acres
 3. BASIS OF BEARING IS PER NH-SPC.
 4. APPROXIMATE ABUTTER'S LINES SHOWN HEREIN ARE FOR REFERENCE PURPOSES ONLY AND SHALL NOT BE RELIED UPON AS BOUNDARY INFORMATION.
 5. EASEMENTS OR OTHER UNWRITTEN RIGHTS MAY EXIST THAT ENCLUMBER OR BENEFIT THE PROPERTY NOT SHOWN HEREIN.
 6. ZONING INFORMATION AND SETBACKS SHOWN HEREIN ARE FOR REFERENCE PURPOSES. CONFIRM CURRENT ZONING REQUIREMENTS WITH THE CITY OF PORTSMOUTH PRIOR TO DESIGN OR CONSTRUCTION.
 7. THE BOUNDARY SHOWN HEREIN IS PER PLAN REFERENCE #.
 8. REFER TO DESIGN DRAWINGS PREPARED BY LUCY GORHAM FOR BUILDING DIMENSIONS, ELEVATIONS AND SPECIFICATIONS.

PROPOSED SITE PLAN
FOR PROPERTY AT
241 South Street
Portsmouth, Rockingham County, New Hampshire
OWNED BY
3A Trust
c/o Guy D. Spiera & Elizabeth R. Spiera, Trustees
241 South Street, Portsmouth, NH 03801

North
W **EASTERLY**
S
SURVEYING, Inc.

SURVEYORS IN N.H. & MAINE 191 STATE ROAD, SUITE #1
(207) 439-8333 KITTERY, MAINE 03904

SCALE:	PROJECT NO.:	DATE:	SHEET:	DRAWN BY:	CHECKED BY:
1" = 10'	19811	3/11/2020	1 OF 1	P.A.T.	P.L.A.
DRAWING No. 19811_SVE			Tax Map 111 Lot 36		
FIELD BOOK No. "Portsmouth #17"					



	EXISTING	PROPOSED
BUILDING COVERAGE:		
LOT AREA	12,717 SQ. FT.	
BUILDINGS	1,610± SQ. FT.	2,100± SQ. FT.
TOTAL	1,610± SQ. FT. (12.7%)	2,100± SQ. FT. (16.5%)

REV.	DATE	STATUS	BY	CHKD.	APPD.

Front Elevation



Existing



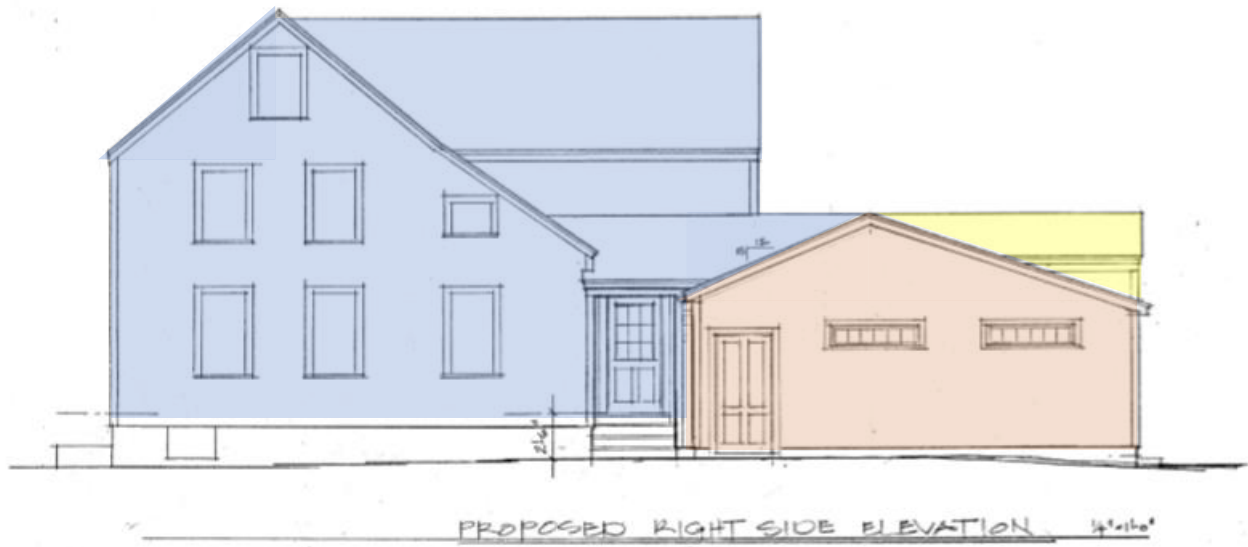
Proposed

All proposed clapboard and roof shingle will match existing

Right Side Elevation



Existing



Proposed

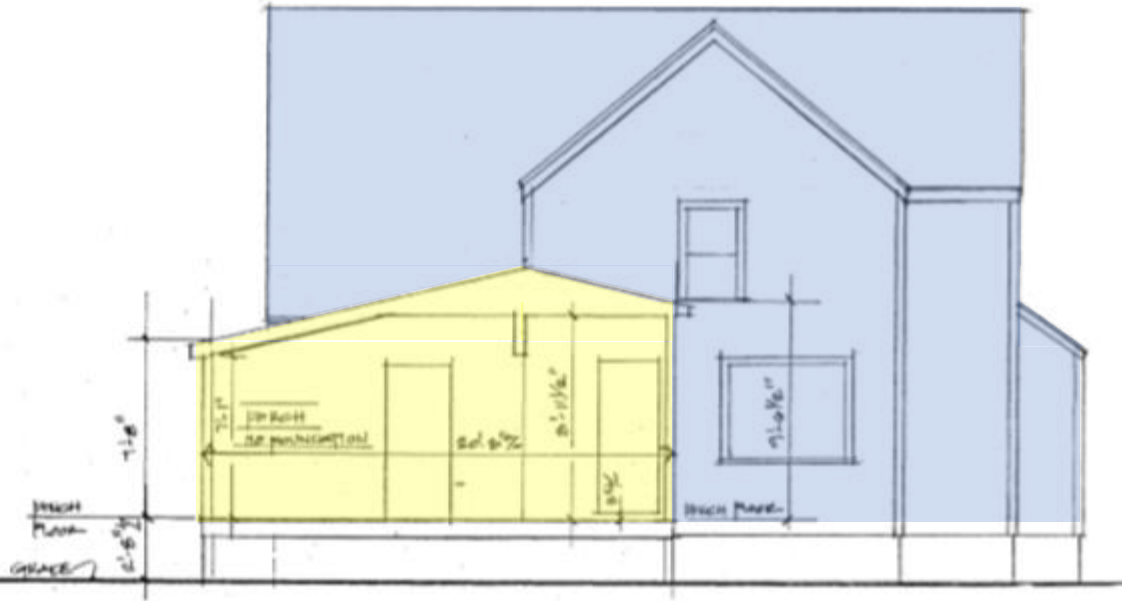
All proposed clapboard and roof shingle will match existing

Livable space

Porch

Garage

Back Elevation



Existing



Proposed

All proposed clapboard and roof shingle will match existing

Livable space

Porch

Garage

Preferred Garage Door

C.H.I. Overhead Garage Doors (Fremont Glass & Door)

Size Width: 9' 0" X Height: 8' 0"

Products Carriage Collection Overlay Carriage House

Style Fiberglass Overlay

Thermal Requirements / Construction

R-10.67 / 2-1/2" Heavy Duty Fiberglass Face With Wood Grain
Poly Trim Boards On Steel Base Door Polystyrene Insulation -
1-13/16" Thick

Color Solid Colors White

Exterior Hardware Standard Spade Handles And Hinges

Price: \$4,120



2nd Option Garage Door



Call us at: 603-755-9430

143 Charles St.
Farmington (NH) 03835-0011



SUMMARY OF YOUR GARAGE DOOR PROJECT



Model: Standard+, North Hatley LP
Quantity: 1
Size: 9' 0" x 8' 0" (width x height)
Sections: 1 1/4"-thick galvanized steel, insulation R-16
26-gauge galvanized steel, woodgrain finish; Each section is built with solid mechanical interlocking joint using triple contact InterLok weatherstripping. Pressure-injected polyurethane foam insulation.
Color: Ice White
Windows: Thermopane - Decorative inserts Stockton (40" X 13")
Sealed thermal glass inserted into a polypropylene frame; windows are thermopane.

3rd Option Garage Doors



C.H.I. Overhead Doors

Size: Width: 9' 0" X Height: 8' 0"

Products: Carriage Collection: Overlay Carriage House

Style: Wood Overlay; **Design:** 31

Thermal Requirements / Construction: R-10.78 / 2-3/4" Heavy Duty Wood Tongue/Groove Face Boards With Wood Trim Boards On Steel Base Door
Polystyrene Insulation - 1-13/16" Thick

Color: Wood: Cedar

Price: approx. +\$500 more



C.H.I. Overhead Doors

Size: Width: 9' 0" X Height: 8' 0"

Products: Carriage Collection Overlay Carriage House

Style: Wood Overlay

Thermal Requirements / Construction: R-10.78 / 2-3/4" Heavy Duty Wood Tongue/Groove Face Boards With Wood Trim Boards On Steel Base Door
Polystyrene Insulation - 1-13/16" Thick

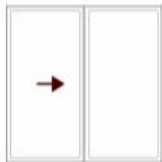
Color: Wood Mahogany

Price: approx. +\$1,000 more

Preferred gliding windows for proposed porch, including tint as in example photo



Item	Qty	Item Size (Operation)	Location	Unit Price	Ext. Price
0006	1	100GX06050 (XO)		\$ 439.13	\$ 439.13



RO Size = 6' 0" W x 5' 0" H Unit Size = 5' 11 1/2" W x 4' 11 1/2" H

100 Series

Unit, 1 3/8" Flange Setback, White/White, XO Handing, Low E Glass (Each Sash), Andersen 100 Series hardware, White Insect Screen, White

U-Factor: 0.30, SHGC: 0.31

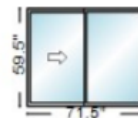
Viewed from Exterior

Fibrex. 2x as strong as vinyl, performs better when exposed to extreme temperatures and delivers exteriors that won't fade, flake, blister or peel. Made of reclaimed wood fiber and thermoplastic polymer fused together, unique to Andersen. Environmentally friendly and energy efficient.

2nd option for gliding windows (tinted)

LINE #	DESCRIPTION	QTY	NET PRICE	EXTD. PRICE
100-1		1	\$359.25	\$359.25

Walcott New Construction Horizontal Single Slider HS7260, Left Venting, White, Insul Low-E & Argon, 31.93 X 54.5 Clear Opening, 12.08 SQFT, Dual Lock, No Window Opening Control Device, White Screen Applied w/Nailing Flange, w/J Channel Cover, No Exterior Casing
Unit 1: UFactor: 0.27, SHG: 0.3, VLT: 0.55, CR: 62
Energy Star Qualified (Northern)



Opening: 72" X 60"
O.S.M.: 71.5" X 59.5"

Mathews Bros Windows

3rd option for gliding windows (tinted)



0004 1 G65 (AP)

\$ 1479.67 \$ 1479.67

RO Size = 6' 0" W x 5' 0" H Unit Size = 5' 11 1/4" W x 4' 11 1/4" H

400 Series

Unit, white/PI White, High Performance Low-E4 Glass
Insect Screen, White
Handle, Rotating Sash, GW, Estate Style - Satin Nickel

Viewed from Exterior

U-Factor: 0.30, SHGC: 0.29

Andersen 400 Series:

Vinyl-clad wood
The exterior of the 400 Series gliding frame is fiberglass and the sash that glides open and closed is encased in rigid vinyl.

Preferred transom windows for garage



0001 1 100REC6016 (F) 100 Series: Fibrex \$ 405.50 \$ 405.50

RO Size = 6' 0" W x 1' 6" H Unit Size = 5' 11 1/2" W x 1' 5 1/2" H

100 Series

Unit, 1 3/8" Flange Setback, White/White, Low E Glass, Divided Light with Spacer, Specified Equal Lite, 6W1H, White/White, 3/4"

U-Factor: 0.29, SHGC: 0.29

Viewed from Exterior

Andersen Windows
Series 100

2nd option transom windows for garage

LINE #	DESCRIPTION	QTY	NET PRICE	EXTD. PRICE
500-1		1	\$269.36	\$269.36

Walcott New Construction Direct Glaze Transom
TR7218, White, Insul Low-E & Argon, 6 Lite SDL, 7/8",
White Simulated Divided Lite w/ Spacer Bar
w/Nailing Flange, w/J Channel Cover, No Exterior Casing
Unit 1: UFactor: 0.27, SHG: 0.29, VLT: 0.51, CR: 63
Energy Star Qualified (Northern)

SDL = Simulated
Divided Lites
(removable).



Opening: 72" X 18"
O.S.M.: 71.5" X 17.5"

Spencer Walcott
Mathews Windows

3rd option transom windows for garage



0002 1 6' 0" x 1' 6" (F) \$ 733.82 \$ 733.82

RO Size = 6' 0 1/2" W x 1' 6 5/8" H Unit Size = 6' 0" W x 1' 6" H

400 Series


Unit, Rectangle, White/Pre-finished White, High Performance Low-E4, Divided Light without Spacer, Specified Equal Lite, 6W1H, 3/4", White/Prefinished White, Permanently Applied, Chamfer/Chamfer

U-Factor: 0.27, SHGC: 0.30

Viewed from Exterior

Doors

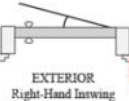
Item: 0002: Ext 36" x 80" S2250-SDLLE RHI 6 9/16" FrameSaver **Location:** **Quantity: 1**
 Smooth Star 36"x80" Single Door 1,260.13




Rear Entry Door into Kitchen

Configuration Options [hide](#)

- **Product Category:** Exterior Doors
- **Manufacturer:** Reeb - Smooth Star
- **Product Material:** Smooth Star Fiberglass
- **Material Type:** Smooth Star
- **Product Type:** Entry
- **Brand:** Therma-Tru
- **Configuration (Units viewed from Exterior):** Single Door
- **Reeb Finish:** No
- **Slab Width:** 36"
- **Slab Height:** 80"
- **Product Style:** 3/4 Lite
- **Glass Type:** Clear
- **Glazing Type:** Flush Glazed
- **Glass Style:** SDL
- **Insulation:** Low E




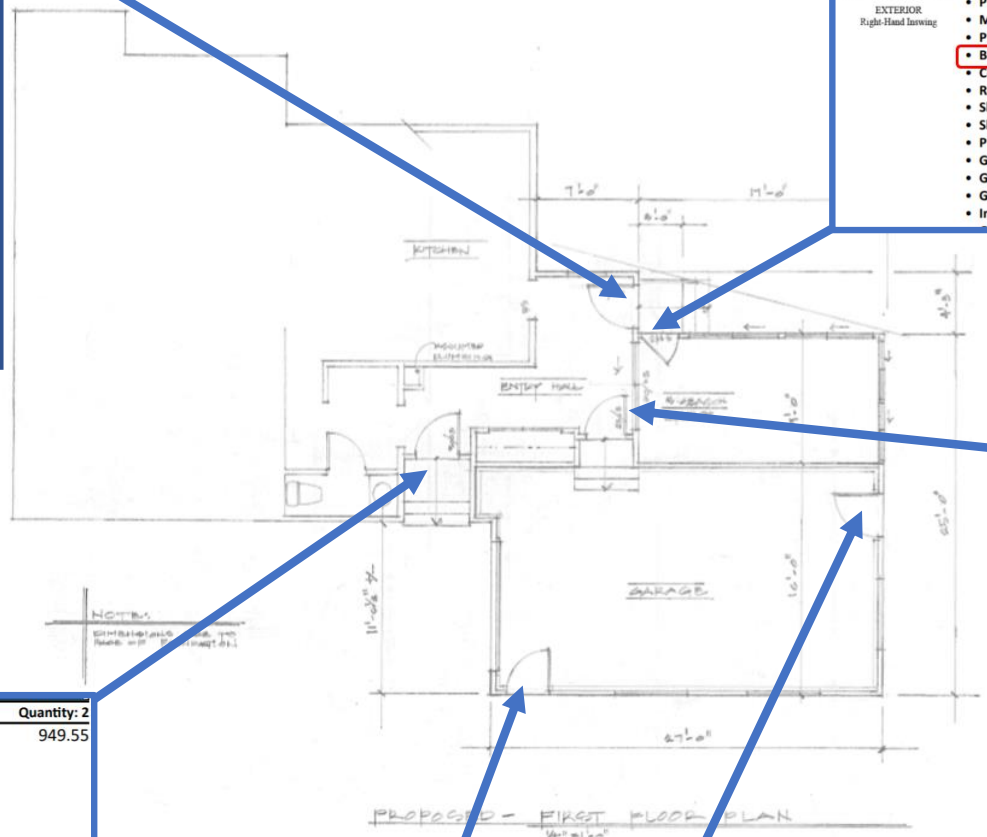
Item: 0005: Ext 32" x 80" S2000-LE RHI 6 9/16" FrameSaver **Location:** **Quantity: 1**
 Smooth Star 32"x80" Single Door 745.05



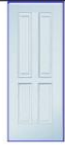
Porch to exterior

Configuration Options [hide](#)

- **Product Category:** Exterior Doors
- **Manufacturer:** Reeb - Smooth Star
- **Product Material:** Smooth Star Fiberglass
- **Material Type:** Smooth Star
- **Product Type:** Entry
- **Brand:** Therma-Tru
- **Configuration (Units viewed from Exterior):** Single Door
- **Reeb Finish:** No
- **Slab Width:** 32"
- **Slab Height:** 80"
- **Product Style:** Full Lite
- **Glass Type:** Clear
- **Glazing Type:** Flush Glazed
- **Glass Style:** Clear
- **Insulation:** Low E

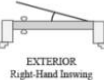
Item: 0004: 20 Minute Fire 32" x 80" SSF960 **Location:** **Quantity: 1**
 Smooth Star 32"x80" Single Door 723.83




Fire Door from Garage into House

Configuration Options [hide](#)

- **Product Category:** Residential Fire Doors
- **Manufacturer:** Reeb
- **Product Type:** Residential Fire Doors
- **Region:** East
- **Unit Rating:** 20 Minute
- **Product Material:** Smooth Fiberglass
- **Brand:** Therma-Tru
- **Material Type:** Smooth Star
- **Configuration (Units viewed from Exterior):** Single Door
- **Factory Finish Option:** No
- **Frame Material:** FrameSaver
- **Slab Width:** 32"
- **Slab Height:** 80"
- **Product Style:** Panel
- **Model:** SSF960
- **Apply Twenty Minute Label for Door:** Yes
- **Add Twenty Minute Frame Label:** Yes



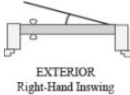
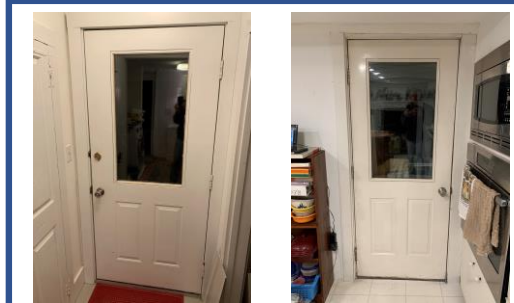
Item: 0001: Ext 36" x 80" S2150-SDLLE RHI 6 9/16" FrameSaver **Location:** **Quantity: 2**
 Smooth Star 36"x80" Single Door 949.55



Side Entry to House

Configuration Options [hide](#)

- **Product Category:** Exterior Doors
- **Manufacturer:** Reeb - Smooth Star
- **Product Material:** Smooth Star Fiberglass
- **Material Type:** Smooth Star
- **Product Type:** Entry
- **Brand:** Therma-Tru
- **Configuration (Units viewed from Exterior):** Single Door
- **Reeb Finish:** No
- **Slab Width:** 36"
- **Slab Height:** 80"
- **Product Style:** 1/2 Lite

The two existing metal Guardian doors to the screened-in porch will be reused in the garage.

379 New Castle Ave

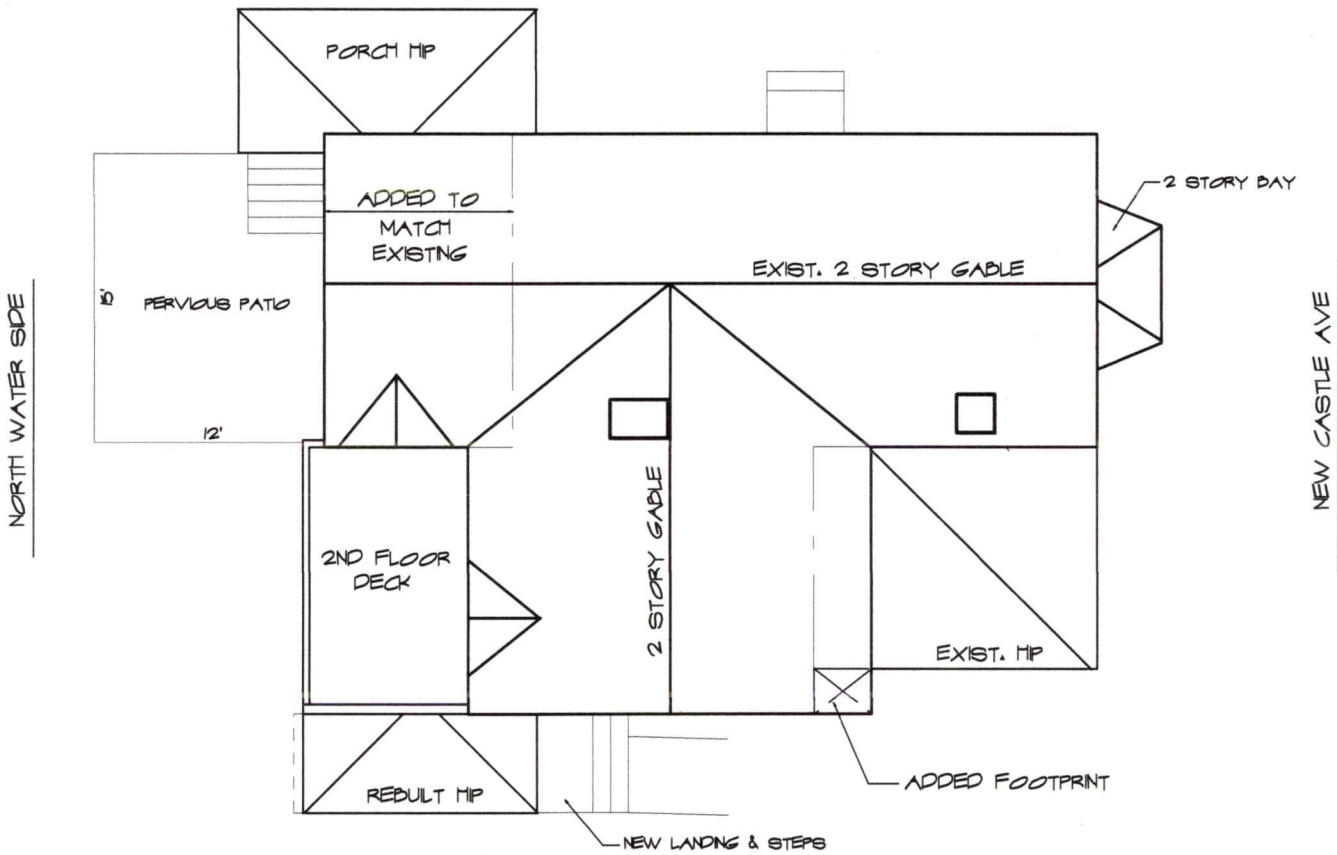


**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Portsmouth, NH makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 4/1/2019
Data updated 7/17/2019

EAST



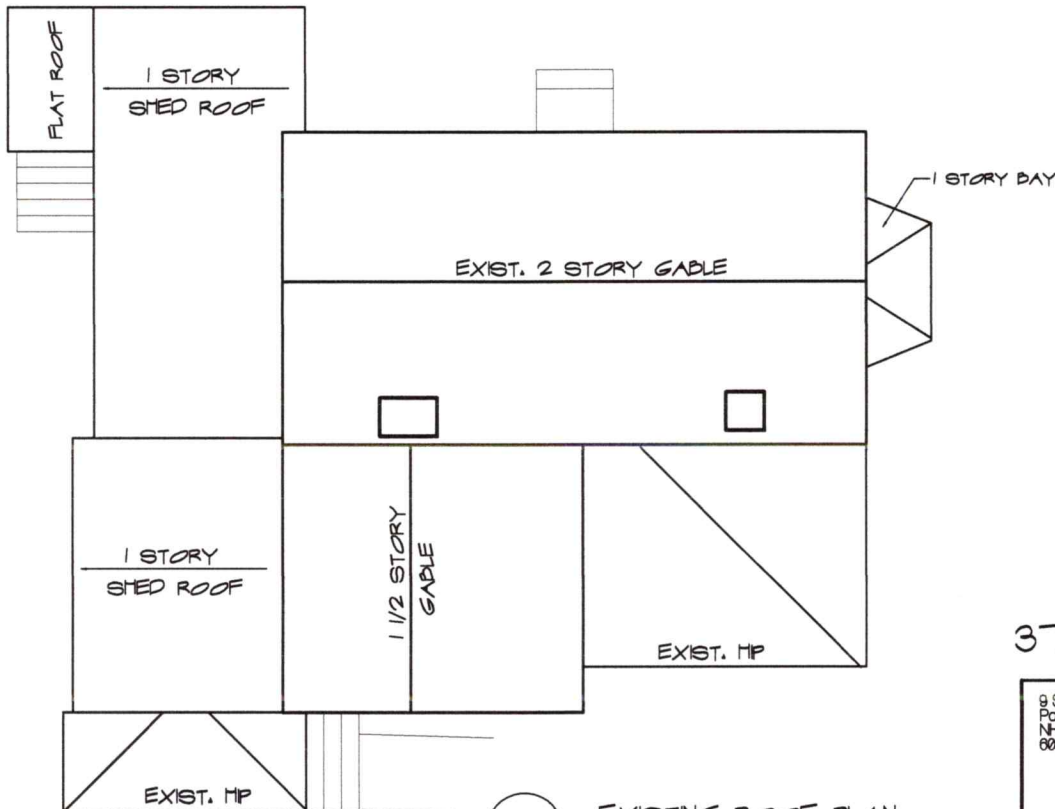
NORTH WATER SIDE

NEW CASTLE AVE

WEST



PROPOSED ROOF PLAN
SCALE: 1" = 10'-0"



EXISTING ROOF PLAN
SCALE: 1" = 10'-0"

379 NEW CASTLE AVE.

9 Sheeefe Street
Portsmouth
NH 03801
603-427-2832



ANNE WHITNEY ARCHITECT

Project:	Date:	
#1910	3/6/20	




EXIST STREET



VIEWS FROM NEW CASTLE AVE



○ SOUTH, ELEVATION & VIEW FROM STREET
 SCALE : 3/16" = 1'-0"

SCHEMATIC DESIGN RENOVATIONS, PETERS RESIDENCE 379 NEW CASTLE AVE.	9 Sheafe Street Portsmouth NH 03801 603-427-2832  ANNE WHITNEY ARCHITECT	Project: 1910	Date: 3/4/20
		Revisions:	1 OF 4
PORTSMOUTH, NH			



EXIST ENTRY ELEVATION



VIEW FROM EAST SIDE YARD



EXIST FRONT DOOR

○ EAST, RIGHT SIDE ELEVATION
SCALE : 3/16" = 1'-0"

SCHEMATIC DESIGN

9 Sheafe Street
Portsmouth
NH 03801
603-427-2832



ANNE WHITNEY ARCHITECT

RENOVATIONS, PETERS RESIDENCE

379 NEW CASTLE AVE.

PORTSMOUTH, NH

Project: 1910 Date: 3/4/20

Revisions: 2 OF 4




VIEW FROM LEFT SIDE YARD



EXISTING LEFT SIDE ELEVATIONS



○ WEST, LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"

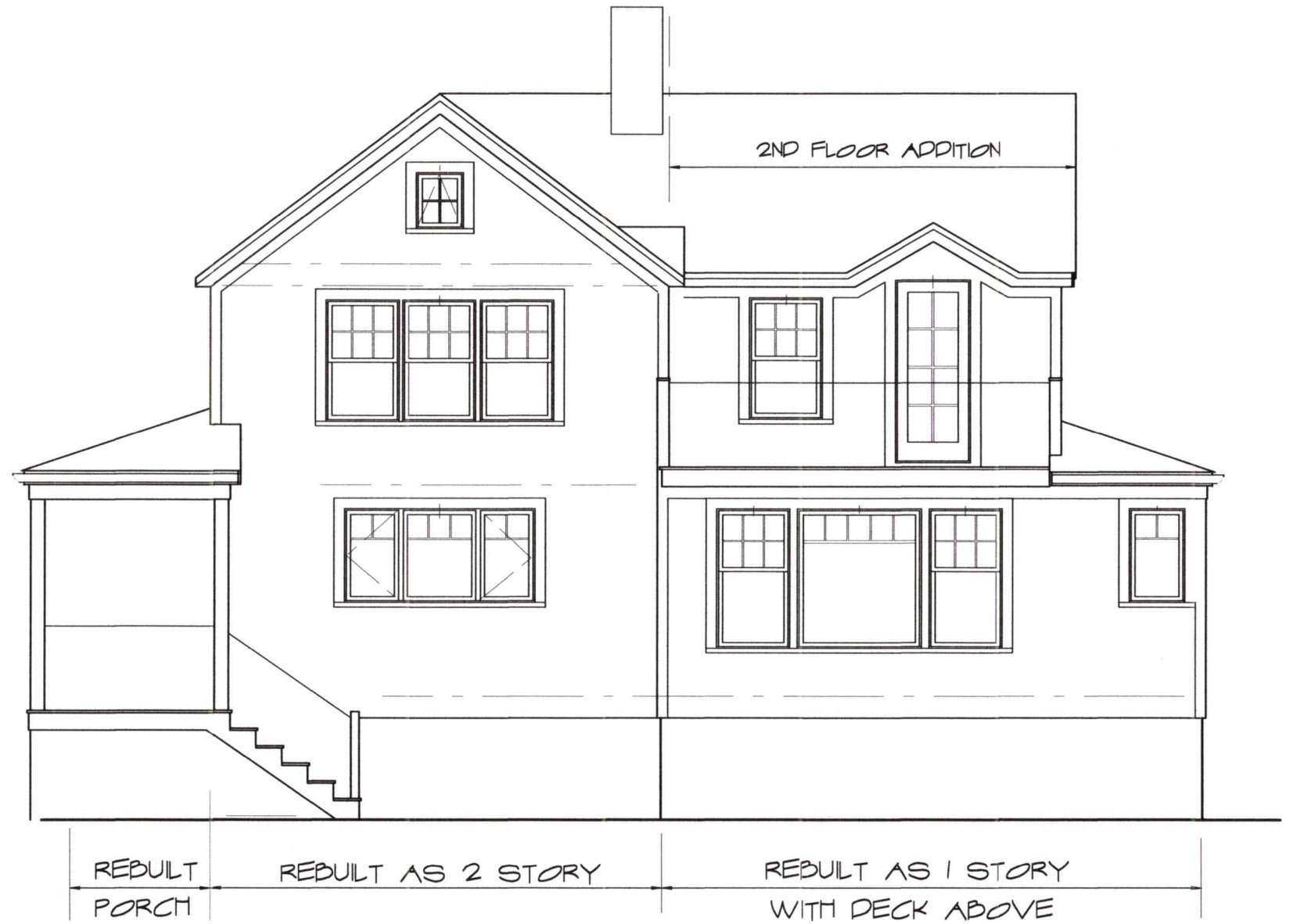
SCHEMATIC DESIGN RENOVATIONS, PETERS RESIDENCE 379 NEW CASTLE AVE.	9 Sheeefe Street Portsmouth NH 03901 603-427-2832  ANNE WHITNEY ARCHITECT	Project: 1910	Date: 3/4/20
		Revisions:	3 OF 4




VIEW OF EXIST REAR ELEVATION

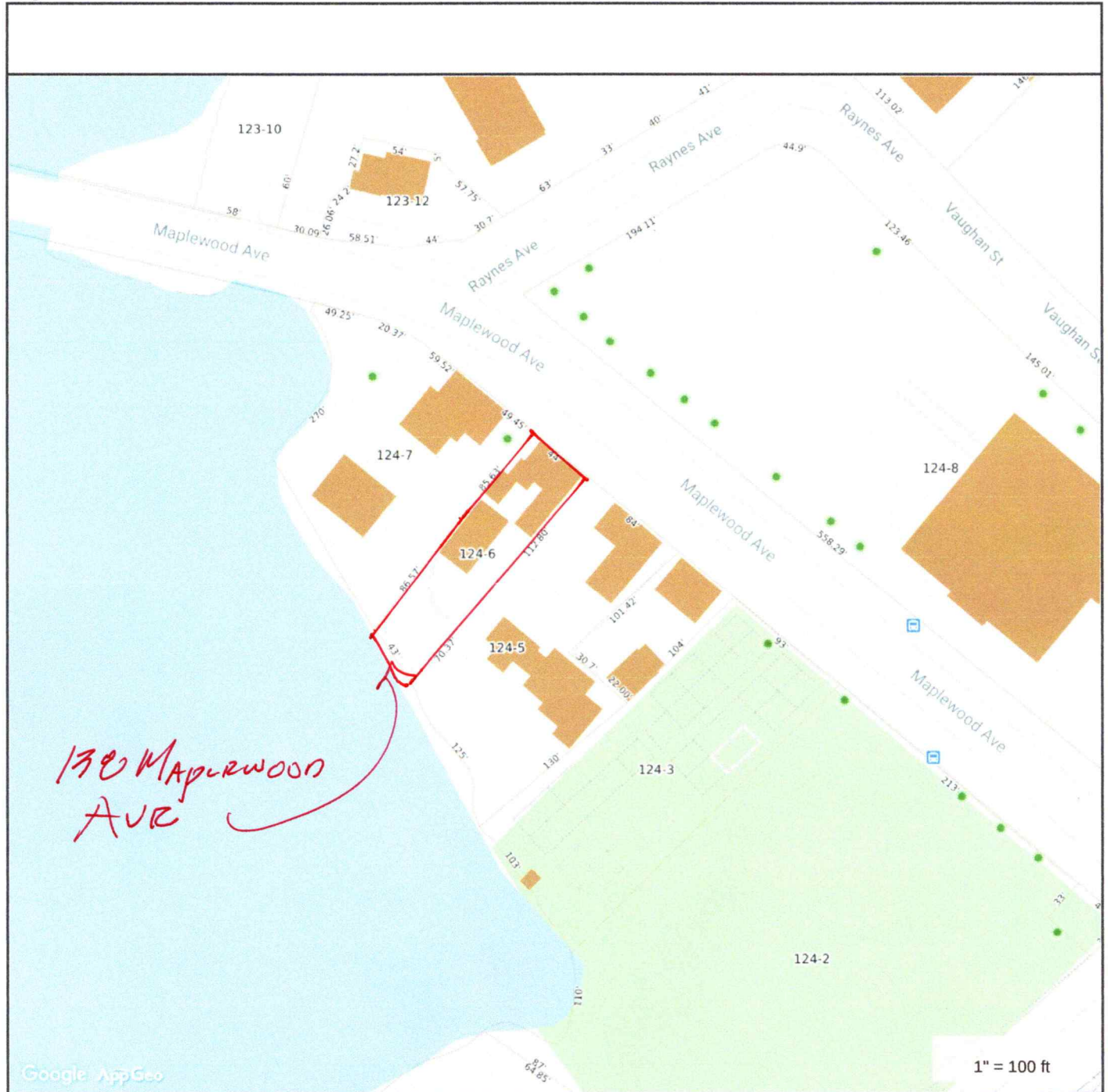


REAR VIEW FROM WEST



○ NORTH, WATER SIDE ELEVATION
SCALE: 3/16" = 1'-0"

SCHEMATIC DESIGN RENOVATIONS, PETERS RESIDENCE 379 NEW CASTLE AVE.	9 Sheafe Street Portsmouth NH 03801 603-427-2832	 ANNE WHITNEY ARCHITECT	Project: 1910	Date: 3/4/20
			Revisions:	4 OF 4



130 Maplewood
Ave



**MAP FOR REFERENCE ONLY
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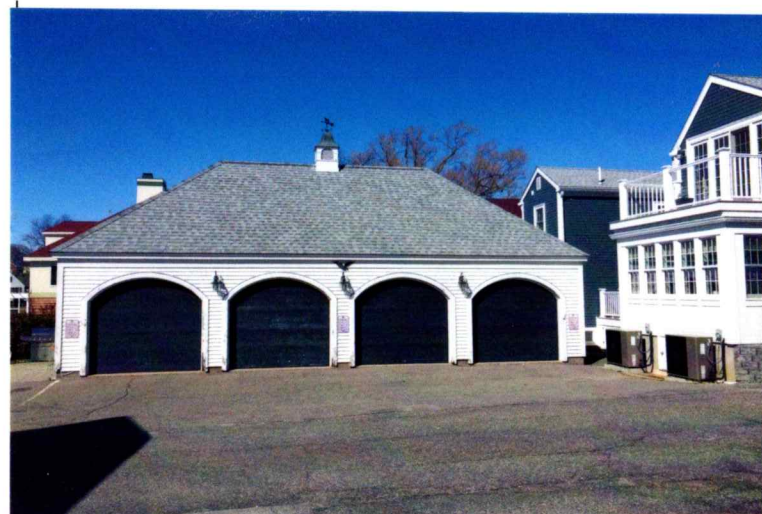
Geometry updated 4/1/2019
Data updated 7/17/2019



VIEW FROM DRIVEWAY ENTRY



○ SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

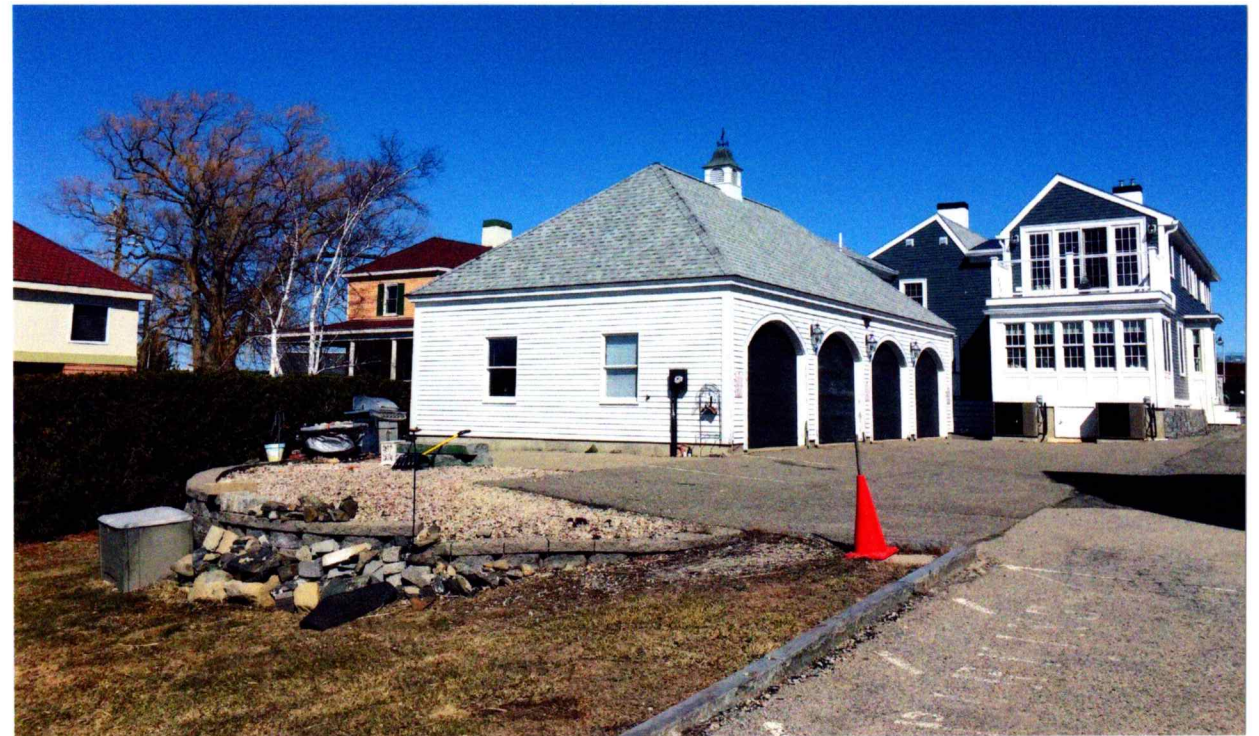


EXISTING GARAGE SOUTH VIEW

SCHEMATIC DESIGN GARAGE 2ND FLOOR ADDITION & RENOVATIONS PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832  ANNE WHITNEY ARCHITECT	Project: 2004	Date: 3/13/20
		Revisions:	1 OF 4



WEST ELEVATION
SCALE: 3/16" = 1'-0"



IEWS FROM WEST YARD

SCHEMATIC DESIGN GARAGE 2ND FLOOR ADDITION & RENOVATIONS PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832	 ANNE WHITNEY ARCHITECT	Project: 2004	Date: 3/13/20
			Revisions:	2 OF 4



VIEW FROM MAPLEWOOD AVE SIDEWALK

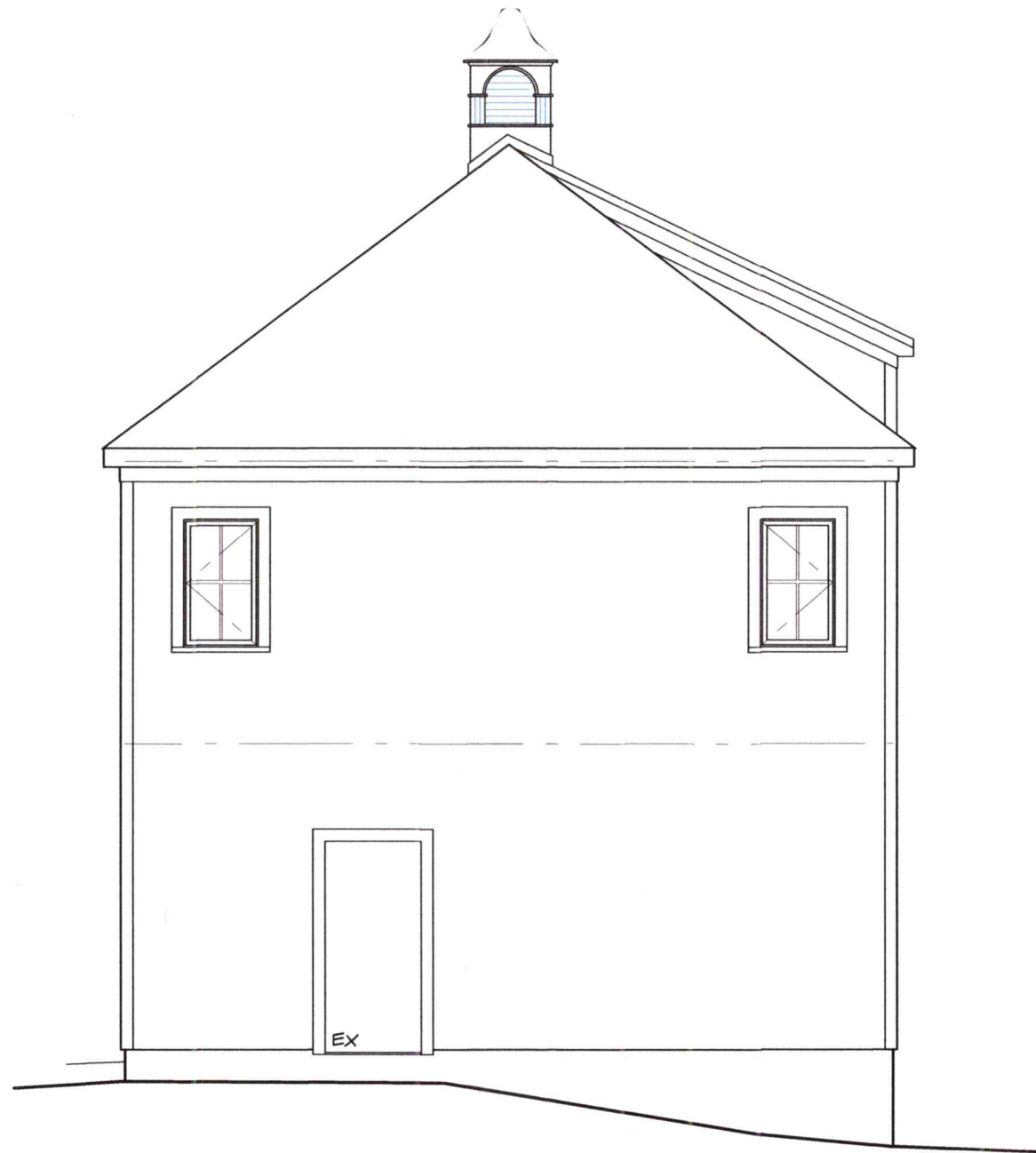


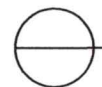
VIEW FROM NORTH MILL POND BRIDGE



○ WEST ELEVATION
SCALE: 3/16" = 1'-0"

SCHEMATIC DESIGN GARAGE 2ND FLOOR ADDITION & RENOVATIONS PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832 	Project: 2004	Date: 3/13/20
		Revisions:	3 OF 4




EAST ELEVATION
 SCALE: 3/16" = 1'-0"

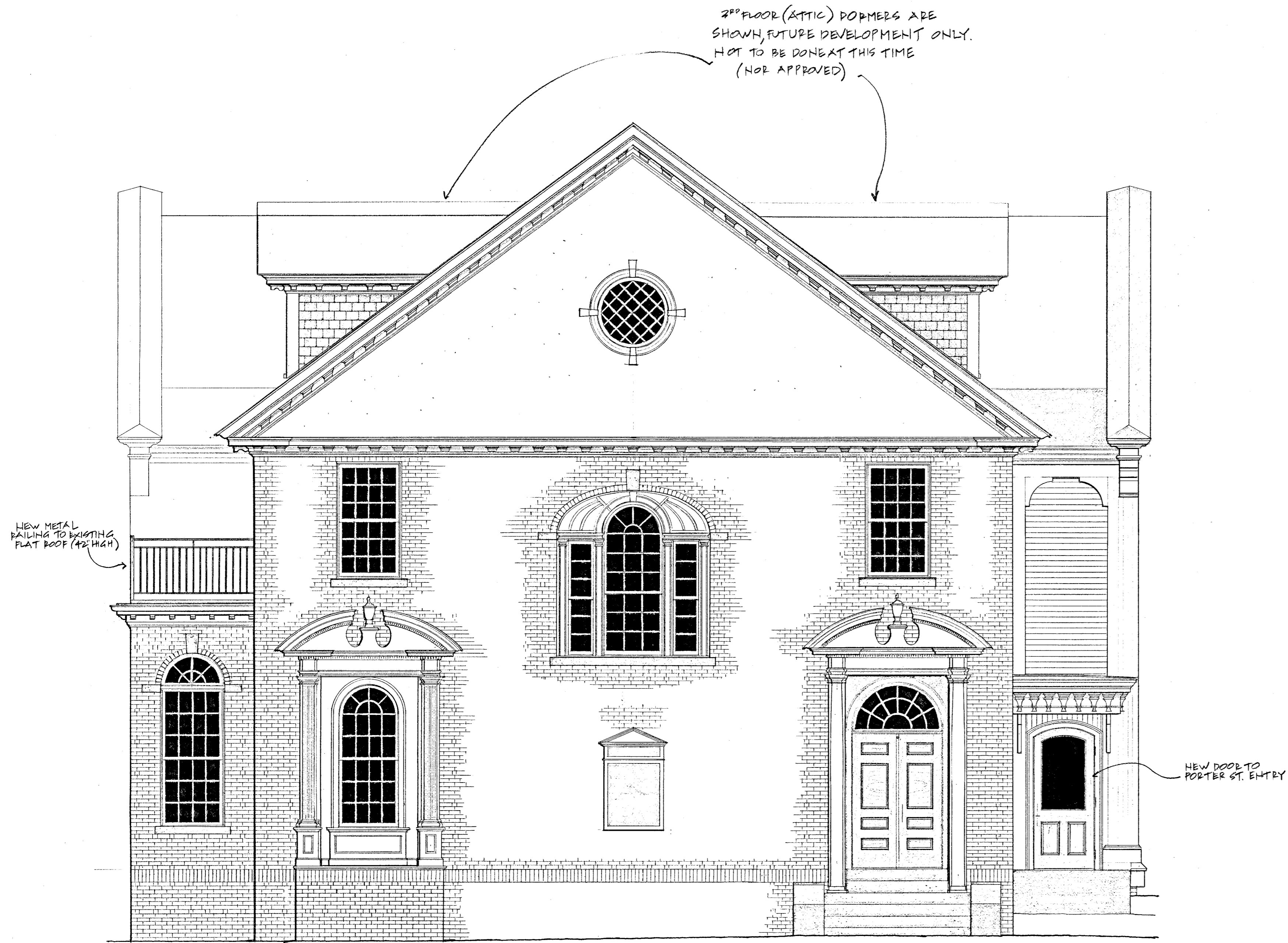


EXISTING CUPOLA



EXISTING EAST ELEVATION

SCHEMATIC DESIGN GARAGE 2ND FLOOR ADDITION & RENOVATIONS PANTELAKOS 138 MAPLEWOOD AVE PORTSMOUTH, NH	9 Sheafe Street Portsmouth NH 03801 603-427-2832	 ANNE WHITNEY ARCHITECT	Project: 2004	Date: 3/13/20
			Revisions:	4 OF 4

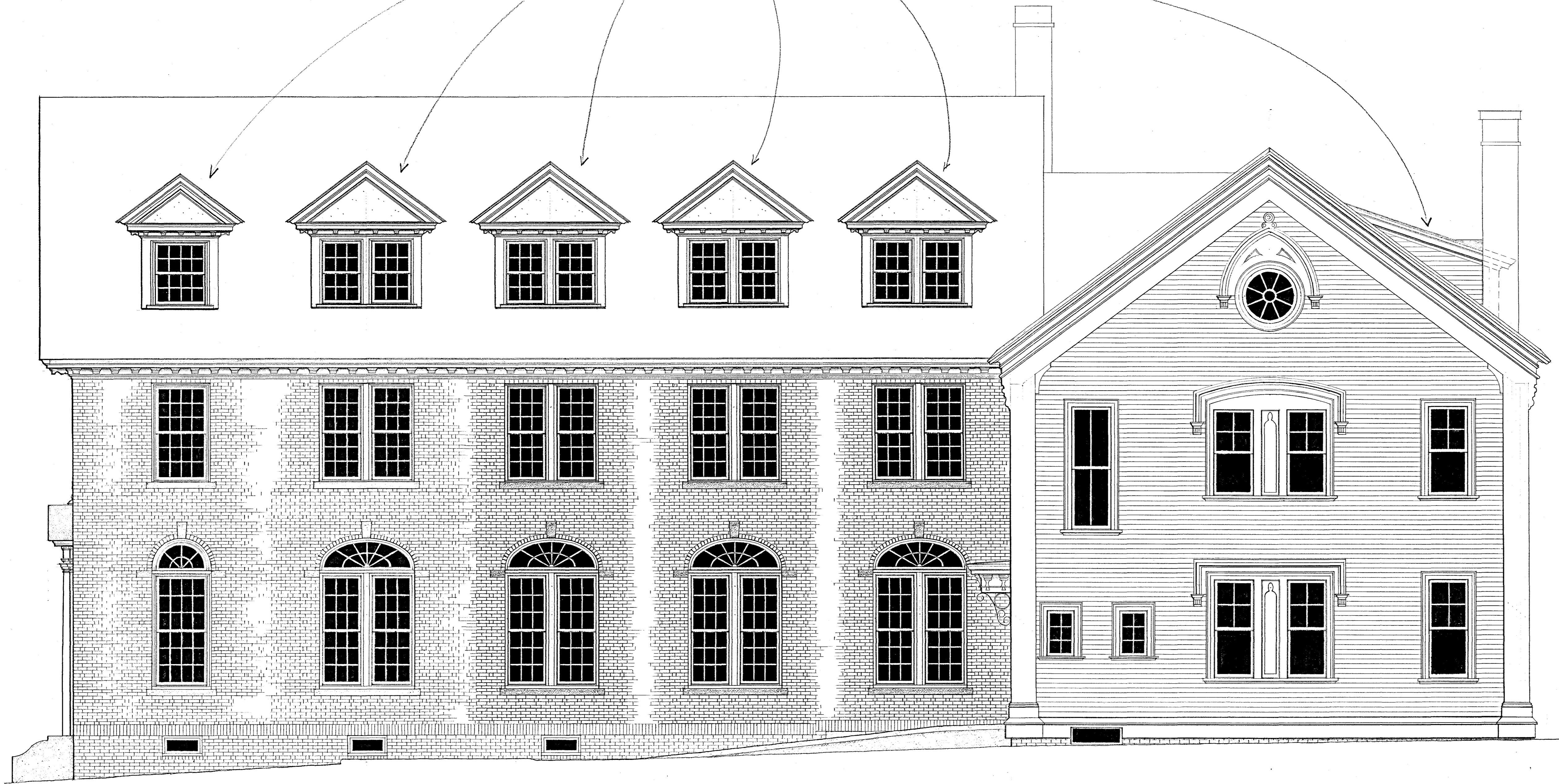


EXISTING &
 PROPOSED
 WEST ELEVATION
 (MIDDLE ST.)

TITLE: WEST ELEVATION, EXISTING + PROPOSED
 SCALE: 1/4" = 1'0"
 DATE: 1.14.2019
 REVISIONS: 2.6.2020

REMODEL + RENOVATION
 at 15 MIDDLE STREET,
 PORTSMOUTH, NH.

3RD FLOOR (ATTIC) DORMERS ARE SHOWN
FOR FUTURE DEVELOPMENT ONLY. NOT TO BE
DONE AT THIS TIME (NOT APPROVED)



EXISTING &
PROPOSED
SOUTH ELEVATION
(PORTER ST.)

TITLE: SOUTH ELEVATION, EXISTING & PROPOSED

SCALE: 1/4"=1'-0"

DATE: 1.14.2019

REVISIONS: 2.6.2020

REMODEL & RENOVATION
at 15 MIDDLE STREET,
PORTSMOUTH, NH

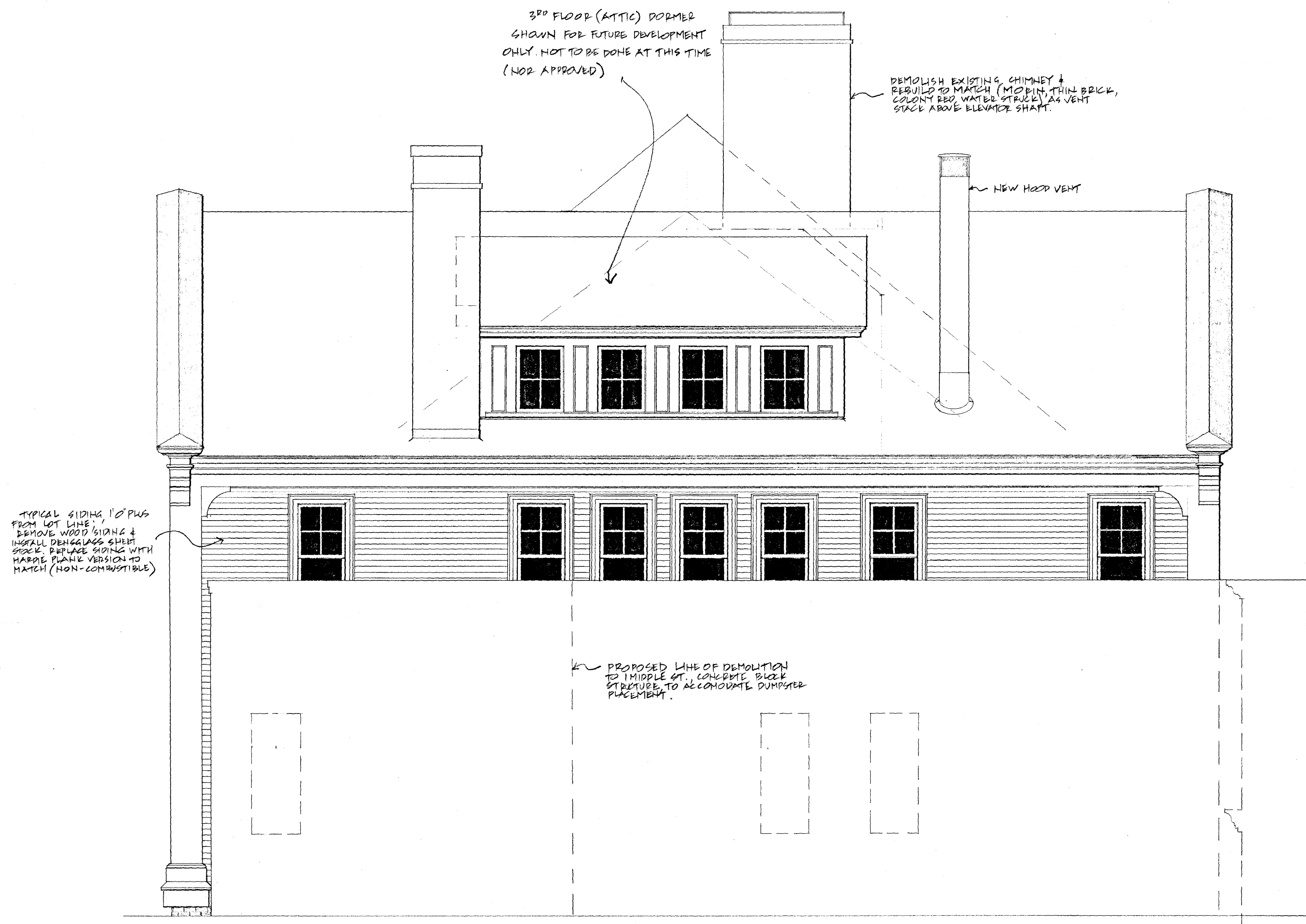
TITLE: EAST ELEVATION, EXISTING & PROPOSED

SCALE: 1/4" = 1'-0"

DATE: 1.14.2019

REVISIONS: 2.1.2019 2.6.2020

REMODEL & RENOVATION
 at 15 MIDDLE STREET,
 PORTSMOUTH, NH.



EXISTING &
 PROPOSED
EAST ELEVATION
 (MUSIC HALL)



EXISTING &
 PROPOSED
NORTH ELEVATION
 (#1 MIDDLE ST, JUMPIH JAY'S FISH CAFE PROFILE)

REMODEL & RENOVATION
 #1 MIDDLE STREET,
 PORTSMOUTH, NH

TITLE: NORTH ELEVATION, EXISTING & PROPOSED

SCALE: 1/4"=1'-0"

DATE : 1.14.2019

REVISIONS: 2.1.2019 2.0.2020

Client:
 Jay McSharry

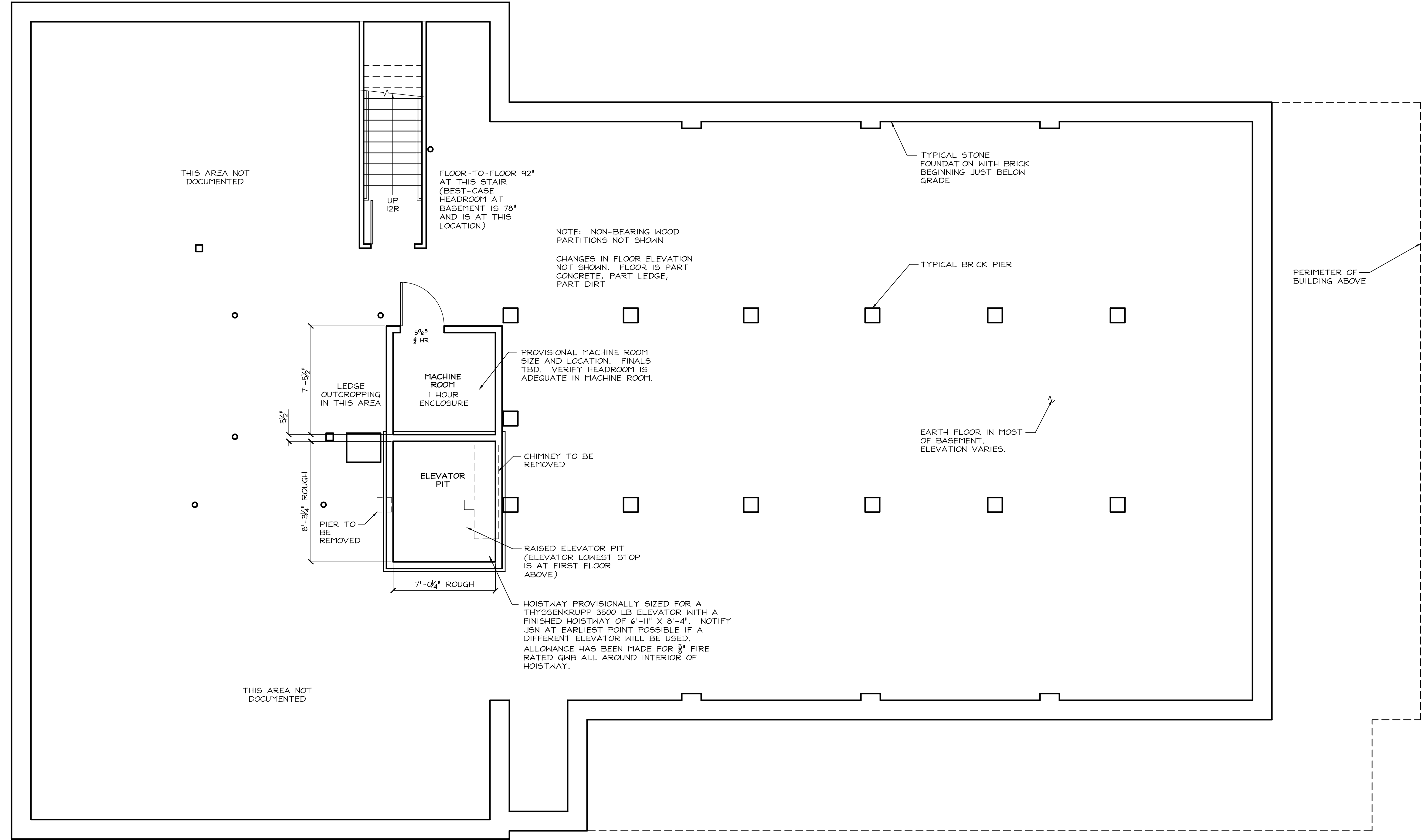
Adaptive Re-Use
 Salvation Army Building Conversion to Inn
 15 Middle Street
 Portsmouth, NH

-Preliminary-
 Not for Construction
 2020-03-16

Date: -
 Scale: As Noted
 Design By: RB
 Approved By: -

Revisions

Basement Floor
 Plan
A1.0
 Project No: 200104



1 BASEMENT FLOOR PLAN
 A1.0 Scale: 1/4" = 1'

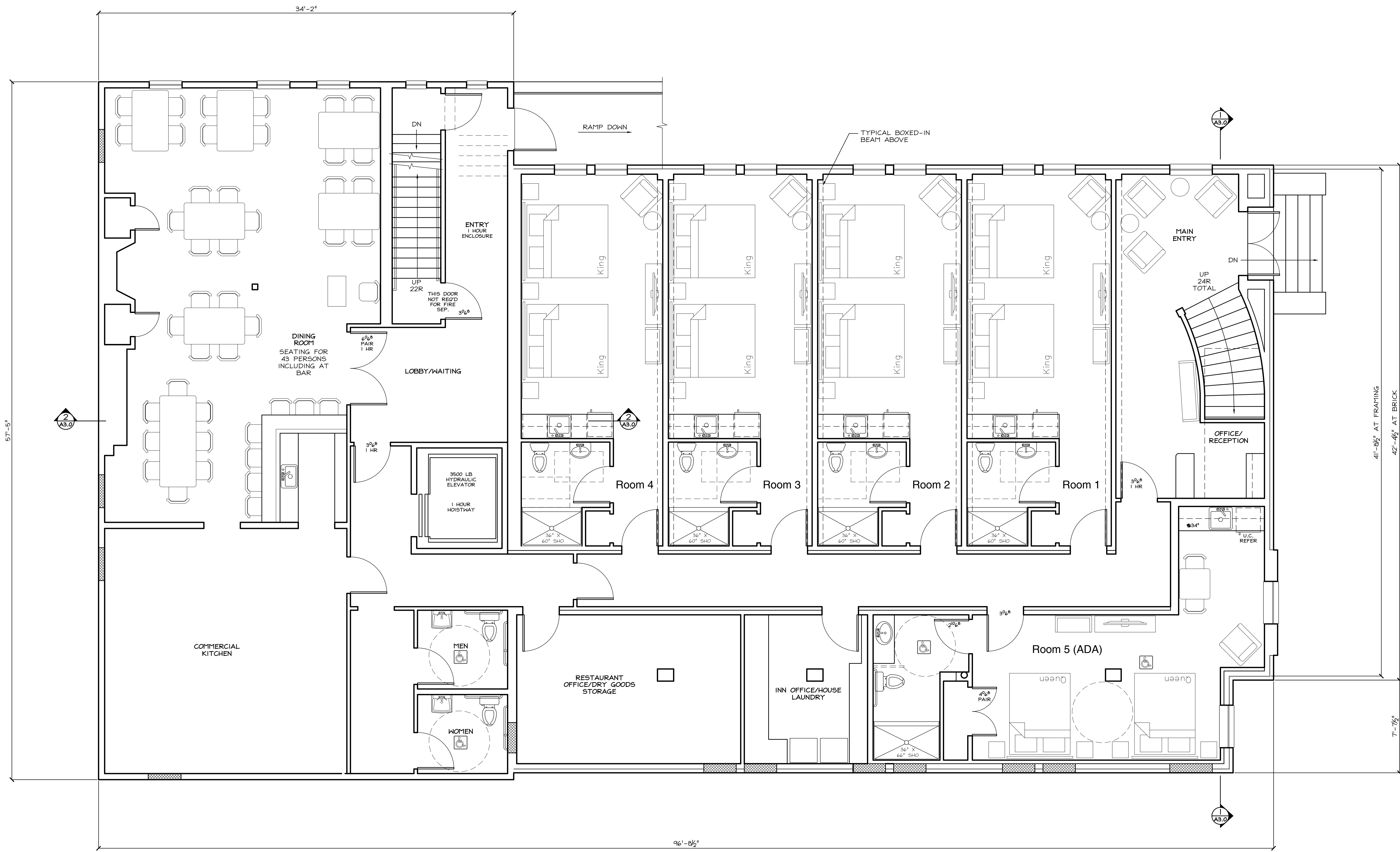
Client:
 Jay McSharry

Adaptive Re-Use
 Salvation Army Building Conversion to Inn
 15 Middle Street
 Portsmouth, NH

-Preliminary-
 Not for Construction
 2020-03-16

Date: -
 Scale: As Noted
 Design By: RB
 Approved By: -

Revisions



1 FIRST FLOOR PLAN
 A1.1 Scale: 1/4" = 1'

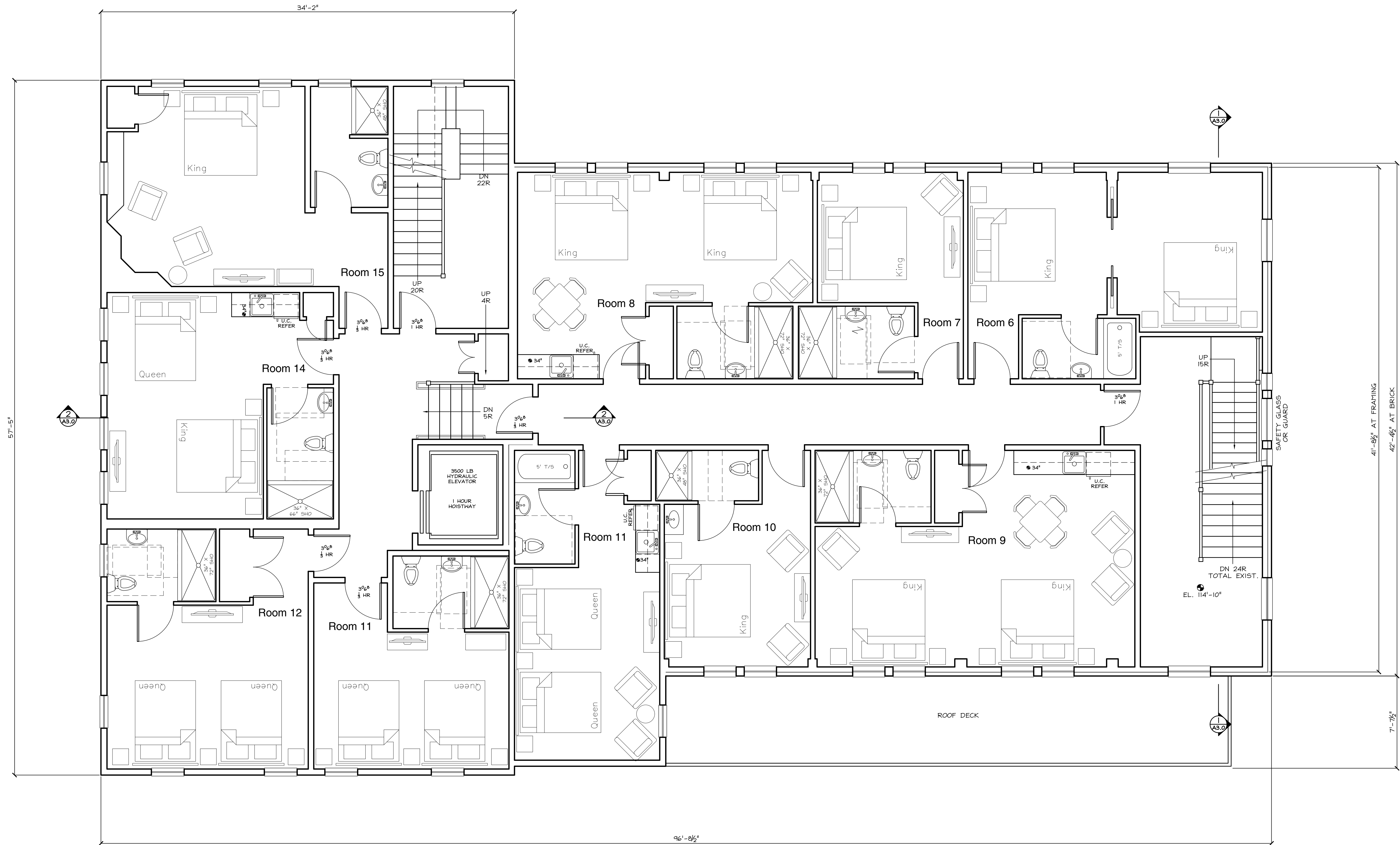
Client:
 Jay McSharry

Adaptive Re-Use
 Salvation Army Building Conversion to Inn
 15 Middle Street
 Portsmouth, NH

-Preliminary-
 Not for Construction
 2020-03-16

Date: -
 Scale: As Noted
 Design By: RB
 Approved By: -

Revisions



1 SECOND FLOOR PLAN
 A1.2 Scale: 1/4" = 1'

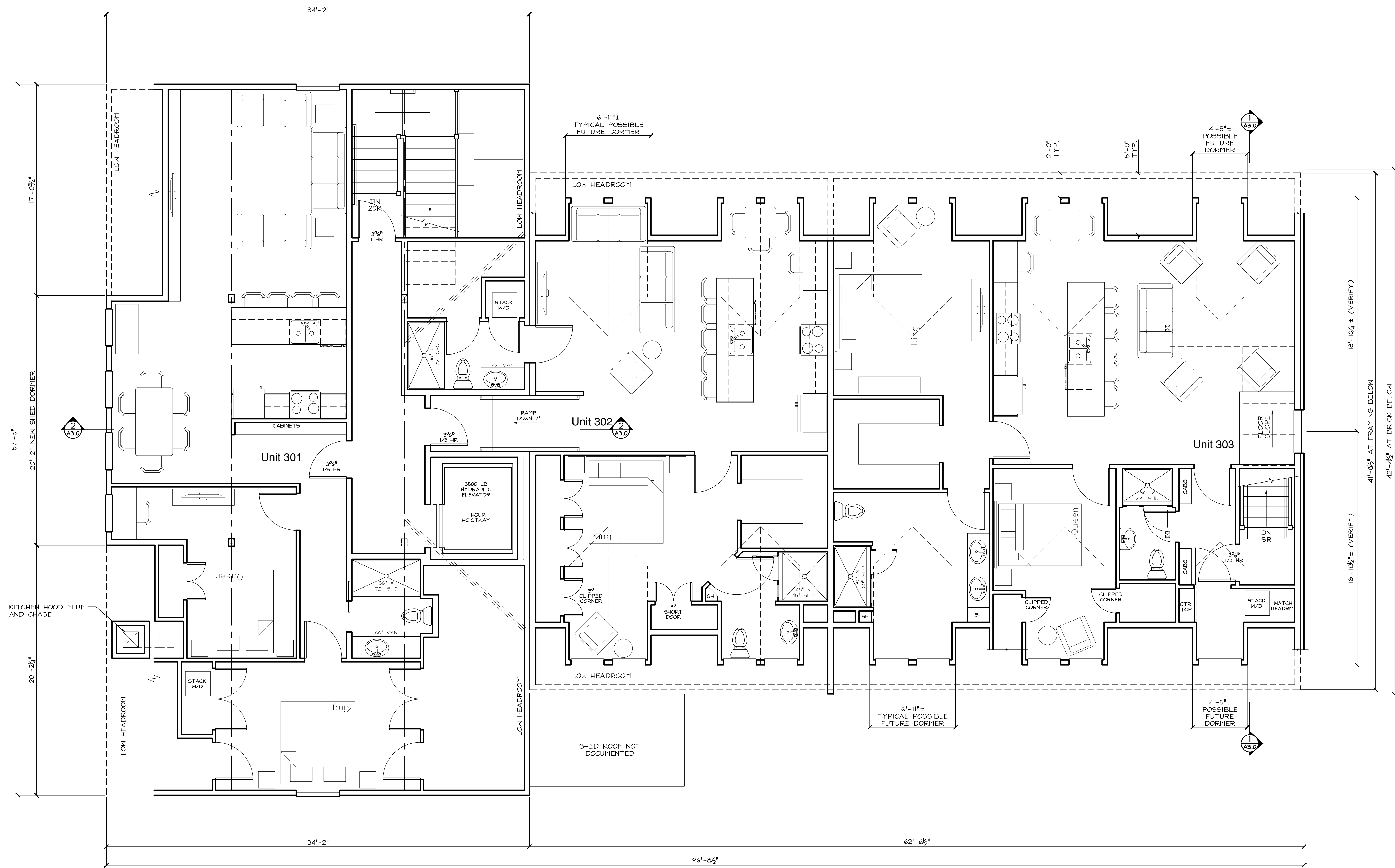
Client:
 Jay McSharry

Adaptive Re-Use
 Salvation Army Building Conversion to Inn
 15 Middle Street
 Portsmouth, NH

-Preliminary-
 Not for Construction
 2020-03-16

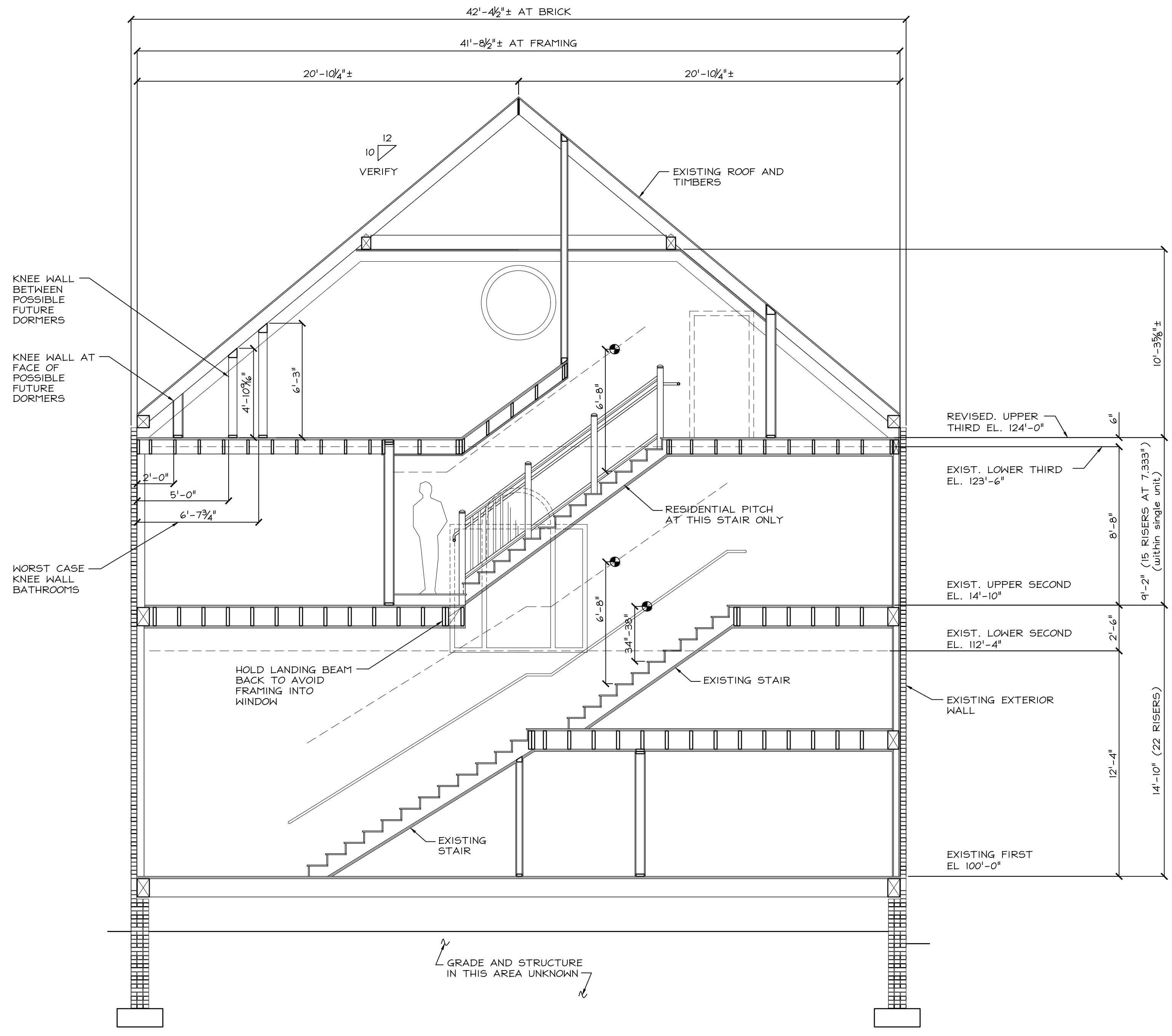
Date: -
 Scale: As Noted
 Design By: RB
 Approved By: -

Revisions



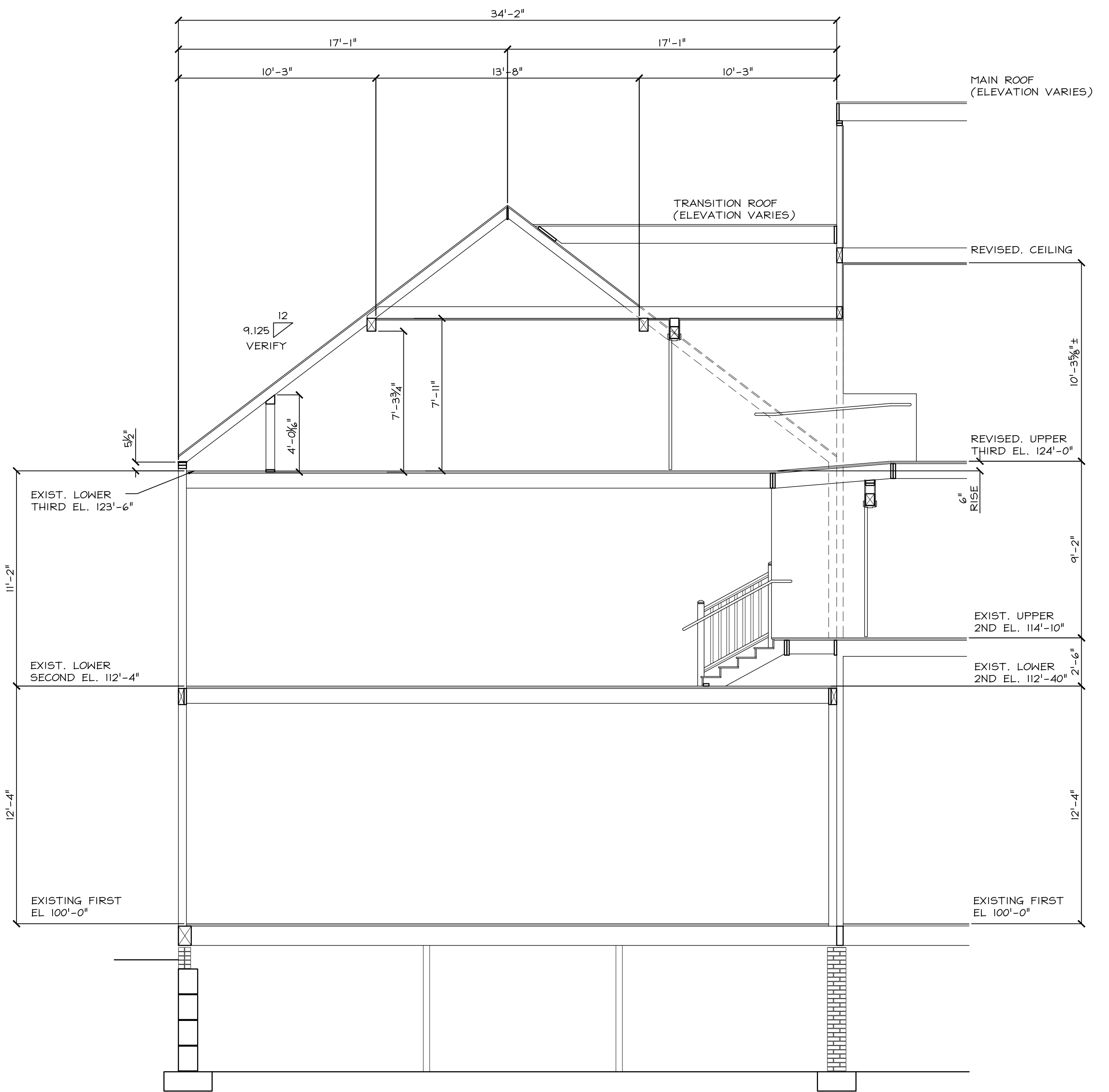
1 ATTIC FLOOR PLAN
 A1.3 Scale: 1/4" = 1'

Revisions



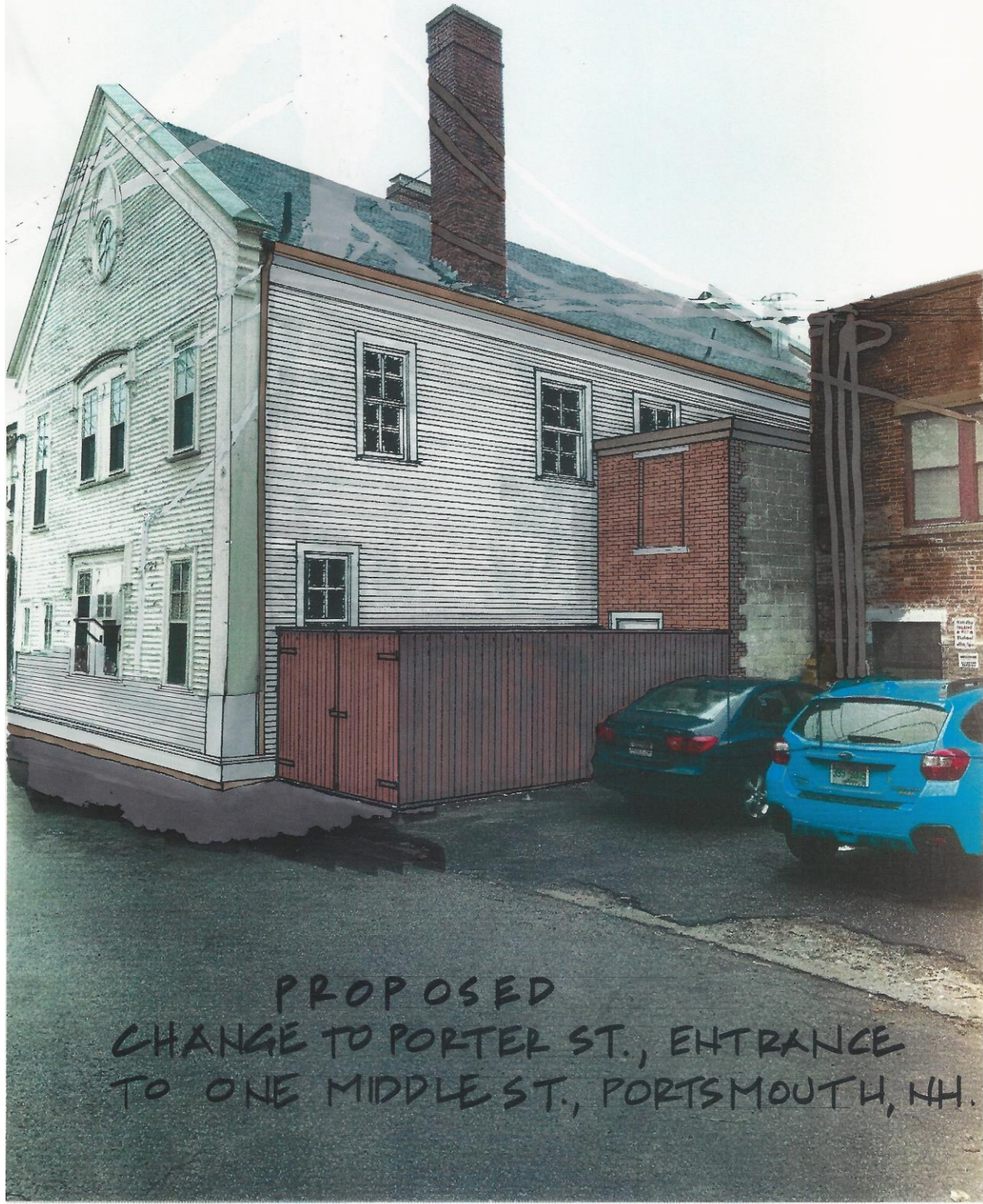
1 SCHEMATIC BUILDING SECTION - MAIN BUILDING
 A3.0 Scale: 1/4" = 1'

NOTE: EXISTING DIMENSIONS AND FINISHES ARE AS MEASURED WITH FINISHES INTACT SO SOME GUESSWORK WAS INVOLVED. CONTRACTOR PLEASE VERIFY DURING CONSTRUCTION. NOTIFY ENGINEER OF CHANGES REQUIRED TO SPACE PLANNING.



2 SCHEMATIC BUILDING SECTION - BACK ADDITION
 A3.0 Scale: 1/4" = 1'





PROPOSED
CHANGE TO PORTER ST., ENTRANCE
TO ONE MIDDLE ST., PORTSMOUTH, NH.