

HDC

ADMINISTRATIVE APPROVALS

May 20, 2020

- | | | |
|----|-------------------------------|-----------------------|
| 1. | 73 Daniel Street (LUHD-131) | -TBD |
| 2. | 250 Market Street (LUHD- 140) | -Recommended Approval |
| 3. | 111 Maplewood Avenue (LUHD- | -TBD |

1. 73 Daniel Street

- TBD

Background: The applicant is seeking approval for mechanical equipment (air intake vent on Daniel Street façade). The intake vent is for the utility room which has no other exterior wall. As requested by the Commission, I have spoken with the applicant the plumbing inspector and we are inquiring as to alternative means to satisfy the code requirement for adequate fresh air in the boiler room. If an alternative layout is possible we will likely continue this to the June 3rd meeting. Otherwise, we will look at adding a lamp above the louvered vent and reducing its size as much as possible.

Staff Comment: TDB

Stipulations:


1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-131

Submitted On: Apr 07, 2020

Applicant

 Brian Arakelian
 603-770-8016
@ brian@aphplumbing.com

Location

73 DANIEL ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

ADD COMBUSTION AIR INTAKE VENT ON FRONT OF DANIELS ST. - ONLY ACCESSIBLE LOCATION. THIRD FLOOR HAS ZERO COMMON WALLS FOR ROOF PENETRATION AND THE 2ND AND 3RD FLOOR BUILDING REAR FACE HAS NO ADJACENT WALLS TO COME THRU. THIS MECHANICAL ROOM HAS ZERO OUTSIDE ADJACENT WALLS.

Project Representatives

Relationship to Project

Other

If you selected "Other", please state relationship to project.

BOILER PROJECT SUPERVISOR

Full Name (First and Last)

TODD WILSON

Business Name (if applicable)

APH

Mailing Address (Street)

102 TIDEMILL RD #6

City/Town

HAMPTON

State

NH

Zip Code

03842

Phone

603-918-7612

Email Address

TODD@APHPLUMBING.COM

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

CONTRACTOR FOR BOILER WORK AT CONDO







2. 250 Market Street

- Recommended Approval

Background: The applicant is seeking approval for mechanical equipment to install a new pool heater vent to the exterior of the building.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-140

Submitted On: May 06, 2020

Applicant

 Craig Liddington
 561-573-6966
 craigliddington@gmail.com

Location

250 MARKET ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Vent pool heater to new termination point with shown in pictures submitted with mechanical permit application. Heater is currently not vented properly and they dont last two years this way.

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Other

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

responsible managing employee

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments

--

Existing



Proposed location





3. 111 Maplewood Avenue - TBD

Background: The applicant is seeking approval for a change to a previously approved design. Miscellaneous changes are proposed including, but not limited to, the penthouse screen, railing location, curtain-wall fin system, terracotta arches, doors, windows, mechanical termination louvers and lighting. Note that most of these items were included in the prior elevations that were approved by the HDC but not called out as changes. We discovered these changes in our review of the construction drawings.

Staff Comment: TBD

Stipulations:

1. _____
2. _____
3. _____

111 (145) Maplewood Avenue

Portsmouth NH

Interdepartmental Consistency Report - Response

Date: 05-04-2020
To: Vincent Hayes & Nick Cracknell
From: Christopher J. Lizotte AIA, NCARB, LEED AP & Arron Burke, AIA, LEED AP
Pages: 4 plus attachments (9 total)
RE: Interdepartmental Consistency Report – Responses

Responses in *italics* below. Items match the March 26, 2020 letter (received on April 10).

Items marked in **bold** are part of the HDC **Administrative Approval** submittal and keyed to those notes.

January 15, 2020 Construction Drawing - Sheet LS.04

- B. "Setback Key Plan – Fourth Floor" indicates the fourth floor structure will be setback 50' from the edge of parking spaces on Raynes, Maplewood, and Vaughan R.O.Ws. Pg. 21 of the January 8, 2020 HDC approval indicates the fourth floor structure is setback 50' from edge of curb on the respective streets.

Response: The 50' setbacks shown on sheet LS.04 measure from the travel lane curb line. We understand from the Owner's Attorney, based on a letter sent to Juliet Walker dated February 14, 2019 (Appendix A), that the travel lane curb line is to be used for this setback, not the parking curb line. Pg. 21 of the January 8, 2020 HDC approval indicates "back from curb", but is unclear which curb line is referenced. Approved civil plans are based on the travel lane curb line for these setbacks.

Note 8a. Diagram on page 21 of the January 8, 2020 HDC Submittal will be updated.

January 15, 2020 Construction Drawing - Sheet A1.02

1. The cantilevered 2nd floor bump out (i.e. running parallel to Rayne's Ave) is shown here as 8'-5" in depth. Corresponding details on pg. 12 of the May 3, 2019 HDC approval does not reflect this amount of depth. Further, pg. 27 of the January 08, 2020 HDC approval appears to indicate the cantilevered bump out does not project more than 8' from the wall plane.

Response: 8'-5" +/- dimension (from Gridline 'x1') on Sheet A1.02 matches 8'-6" dimension on detail 5 on page 27 of 01/08/2020 HDC submission. Dimension from face of terra cotta wall to exterior face of glazing/mullions = 6'-2" +/-.

Note 3a. Notes on page 2 and dimensions on page 27 of the January 8, 2020 HDC Submittal will be updated.

January 15, 2020 Construction Drawing - Sheet A1.05A

2. The roof deck has changed configuration from layout shown on the corresponding HDC documents (e.g. pg. 2 of the January 08, 2020 HDC approval).

Response: Roof paver area was adjusted to accommodate no more than 49 people (seating area size is the same as the HDC set). More than that and NFPA 101 considers this as a place of assembly. 4th floor is office/business use only.

Note 11. The January 8, 2020 HDC Submittal will be updated.

January 15, 2020 Construction Drawing - Sheet A3.00

(2) Building Elevation – Entry Passage:

3. The change from 8" Terra Cotta profile (shown on pg. 10 of the May 3, 2019 HDC approval) to 4" THERMOARY profile was not explicitly called out in any corresponding HDC approval request (all elevations, where applicable).

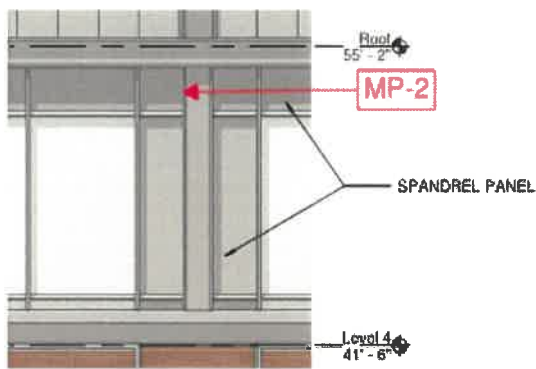
Response: Terra cotta to Thermory wood change was noted (see note 5a) on pages 6, 7, 10, 12, 14 & 15 of 01/08/2020 HDC Submission.

Note 5a1. The January 8, 2020 HDC Submittal will be updated.

4. "TC-1" Terra Cotta profile reduced to 16" (18" profile is shown on pg. 10 May 3, 2019 HDC approval) (all elevations, where applicable).
Response: Terra cotta reduction from 18" profile to 16" profile was to align with 8" terra cotta and 4" wood siding coursing (Thermory). This is shown on page 22 of the January 08, 2020 HDC drawings, though not noted.

Note 12. The January 8, 2020 HDC Submittal will be updated.

6. "MP-2" there is no composite metal detail on any corresponding HDC approvals (all elevations, where applicable).
Response: There are no notes about these vertical areas on either HDC approval. We assumed that they should be composite metal panel(aluminum) since similar horizontal areas are noted on page 11, 12 and 20 of the May 3, 2019 HDC approval. MP-2 is aluminum composite metal panel (color to match the aluminum storefront/curtain wall system finishes) to be used for vertical and horizontal breaks in the glazing systems as shown. Note 13. The January 8, 2020 HDC Submittal will be updated.



7. Light fixtures do not meet Section 10.1144.60 (all elevations).
***Please Note:** In addition to requiring HDC approval, this lighting is subject to zoning review.
Response: Locations of building mounted lighting is shown on page 22 of the January 08, 2020 HDC drawings. This matches the building permit set. Final types are in the process of being selected and will meet lumen levels, cut-off requirements, etc. as stated under section 10.1140, including 10.1144.61 for height.

Note 14. Lighting types will be included.

8. Wall material along staircase has changed from concrete shown on the corresponding HDC approvals to a slatted profile.
Response: Wall material along staircase is not noted on the HDC sets. This was clarified in the Civil and Landscaping Administrative Approval Set submitted to the City on February 14th, 2020 and approved on March 19, 2020 (Appendix B). Wall is concrete with a wall-formliner with board pattern. This reflects the wood siding on the building. See sheet L-506. Note that a mock-up will be provided on site.
Note 15. The January 8, 2020 HDC Submittal will be updated.

9. The staircase running along this elevation has increased to 3 flights from the 2 flights shown on corresponding HDC approvals.
Response: Stair flights are shown on page 22 of the January 08, 2020 HDC drawings. This was also clarified in the Civil and Landscaping Administrative Approval Set submitted to the City on February 14th, 2020 and approved on March 19, 2020 (Appendix B).

Note 16. The January 8, 2020 HDC Submittal will be updated.

(4)Building Elevation – Raynes Avenue Front Door:

10. This elevation has been mislabeled as Raynes Ave. In addition, the recessed area with retaining wall shown here is not on any corresponding HDC approvals.

Response: Drawing 3 and 4 on sheet A3.00 were mislabeled. This faces the entry passage side. This area is shown on page 22 of the January 08, 2020 HDC drawings. This was also clarified in the Civil and Landscaping Administrative Approval Set submitted to the City on February 14th, 2020 and approved on March 19, 2020 (Appendix B). Retaining wall steps down.

Note 16. The January 8, 2020 HDC Submittal will be updated.

January 15, 2020 Construction Drawing - Sheet A3.01

14. Wall material along ramp has changed from concreted shown on corresponding HDC approvals to slatted profile.

Response: Wall material along ramp is not noted on the HDC sets. This was clarified in the Civil and Landscaping Administrative Approval Set submitted to the City on February 14th, 2020 and approved on March 19, 2020 (Appendix B). Wall is concrete with a wall-formliner with board pattern. This reflects the wood siding on the building. See sheet L-506. Note that a mock-up will be provided on site for final review and approval prior to installation.

Note 15. The January 8, 2020 HDC Submittal will be updated.

15. Ground and second story end windows below the Maplewood Ave. balcony are larger than what is shown on corresponding HDC documents.

***Please Note:** There is an internal discrepancy between pages 7 and 22 of the January 8, 2020 HDC approval.

Response: There were constructability issues with size of glass, window frame sizes, etc. on the 1st floor at these corners facing Maplewood Ave (too narrow). This was corrected and the glazed corners are more in line with the other glazed corner sizes in the project. Page 22 reflects this correction on the January 8, 2020 HDC approval.

Note 17. The January 8, 2020 HDC Submittal will be updated.

(4) Building Elevation – Raynes Ave. and Maplewood Ave 1:

- “TC-2” material has been omitted.

Response: All TC-2 material was removed below 2nd floor between TC-1 pilasters, as shown on page 22 of 1/8/2020 submission. This matches the wood change per note 5a on pages 6, 7, 10, 12, 14 & 15 of 01/08/2020 HDC Submission. These bays are the same just without the arch.

Note 5a1. The January 8, 2020 HDC Submittal will be updated.

January 15, 2020 Construction Drawing - Sheet A4.13

22. 4'-3" cornice detail does not correspond with detail shown on pg. 12 of the May 3, 2019 HDC approval in several respects, including height and railing omission (i.e. the railing has been relocated several feet behind the parapet).

Response: Railing is near original position and coordinated with structural steel for mounting purposes. Bump out was extended from original design per the 01/08/2020 HDC Submission. Page 2 of the 01/08/2020 HDC Submission shows the railing back from the cornice. Cornice will be changed back to original.

Note 11. The January 8, 2020 HDC Submittal will be updated since this was not noted.

January 15, 2020 Construction Drawing - Sheet A4.14

23. • 3'-1" cornice added.

Response: Roof line cornice enlarged to adjust to surrounding cornice intersections, typical and to keep design ratios intact. This is shown on page 4 and 22 of the 01/08/2020 HDC Submission.

Note 18. The January 8, 2020 HDC Submittal will be updated since this was not noted.

- 1'-5" band projects above roofline.

Response: Roof edge varies because of sloped steel/deck. 1'-5" perimeter roof edge detail to account for roof construction, flashing & cornice design ratios. Cornice band is level. Lower roof edge behind is not visible from the ground.

Note 19. The January 8, 2020 HDC Submittal will be updated since this was not noted.

January 15, 2020 Construction Drawing - Sheet A4.33

26. Typical cornice detail omits 11" x 11" detail shown on pg. 20 of the May 3, 2019 HDC approval.

Response: Typical cornice maintains 11" height. 11" depth was changed to meet constructability of head/jamb/sill returns at terra cotta and cornice intersections along roof edge.

Note 20. The January 8, 2020 HDC Submittal will be updated since this was not noted.

January 15, 2020 Construction Drawing - Sheet A6.20 – A6.20B

27. Please provide the window material for all window and storefront systems

Response: Aluminum. Color per photo. Charcoal from Kawneer.

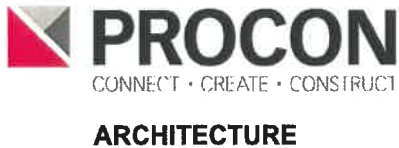


Note 21. The January 8, 2020 HDC Submittal will be updated since this was not noted.

Appendices

Appendix A - Letter sent to Juliet Walker dated February 14, 2019, Donahue, Tucker & Ciandella, PLLC, 3 pages

Appendix B - March 19, 2020 Letter from Juliet Walker, 2 pages





CELEBRATING OVER 30 YEARS OF SERVICE TO OUR CLIENTS

ROBERT D. CIANDELLA
LIZABETH M. MACDONALD
JOHN J. RATIGAN
DENISE A. POULOS
ROBERT M. DEROSIER
CHRISTOPHER L. BOLDT
SHARON CUDDY SOMERS
DOUGLAS M. MANSFIELD
KATHERINE B. MILLER
CHRISTOPHER T. HILSON
HEIDI J. BARRETT-KITCHEN
JUSTIN L. PASAY
ERIC A. MAHER
AMELIA G. SRETER
AUSTIN M. MIKOLAITIES
BRENDAN A. O'DONNELL

SENIOR COUNSEL
MICHAEL J. DONAHUE

RETIRED
CHARLES F. TUCKER
NICHOLAS R. AESCHLIMAN

14 February 2019

Via email and U.S. Mail

Juliet T. H. Walker, AICP
Planning Director
Planning Department
1 Junkins Avenue
Portsmouth, NH 03801

Re: 111 Maplewood Avenue/Building Height

Dear Juliet:

Thanks for sharing your department memorandum of 5 February regarding the building height for the proposed development at 111 Maplewood. This follows on our phone call of 12 February and registers our view of what the City's zoning ordinance means in the context of the provisions governing the height of the proposed building. This letter focuses narrowly on those provisions and is not intended to generally survey the application of the zoning ordinance to the project.

In your memorandum, you state in relevant part:

"Front lot line and street are used interchangeably in [Section 10.5A21.22 (c)] (and other sections of the Ordinance) implying that a street right-of-way line is one and the same as a front lot line. The Ordinance definition for street also implies that a street (as adopted by the City or approved by the Planning Board) includes the full right-of-way, not just the vehicular travel way. Thus, the 50 foot set back shall be measured from the edge of the right-of-way/front lot line."

Our view is that the plain language of the Ordinance creates different meanings for the terms "street", "front lot line" and "right-of-way". We offer our view constructively, since the City could by modest amendments of the Ordinance achieve parity among those terms. Although those prospective amendments to the Ordinance would be modest, the effect of imposing now on this project a reading of equivalency among those terms is profound and fundamental. Put another way, it is critical that the plain language of the ordinance be applied to establish the apportionment of the height for this project.

DONAHUE, TUCKER & CIANDELLA, PLLC
16 Windsor Lane, P.O. Box 630, Exeter, NH 03833-4924
111 Maplewood Avenue, Suite D, Portsmouth, NH 03801
Towle House, Unit 2, 164 NH Route 25, Meredith, NH 03253

The Ordinance at Section 10.1510 sets forth the rules of construction by which the words of the Ordinance shall be understood. Words and terms are to have the meaning shown at Article 15, the definition section of the Ordinance, and when not so defined in the Ordinance but defined in the Building Code, the terms are to have the meaning ascribed to them in the Building Code. When the terms are not defined in the Ordinance or in the Building Code, the terms are to have the ordinarily accepted meanings, such as the context implies.

Two of the three terms in play here are defined at Article 15. The term “right-of-way” is not defined at Article 15 although it is depicted by Figure 10.5B22.10 of the Ordinance. None of these three terms are defined in the Building Code. (The term “Public Way” is defined at Chapter 10, Means of Egress, Section 1002.1 of the 2009 International Building Code (13th Printing: June 2017). Public Way is defined therein as: “A street, alley, or other parcel of land open to the outside air leading to a street, that has been deeded, dedicated or otherwise permanently appropriated to the public for public use and which has a clear width and height of not less than 10 feet (3048MM)”)

“Street” is defined at Article 15 of the Ordinance as “a thoroughfare or roadway.” “Thoroughfare” is defined by dictionaries as a main road for public use or a passage through somewhere with the notation that on road signs, no thoroughfare means no entry. Roadway is generally defined by a dictionary as the part of the road intended for vehicles, in contrast to a sidewalk or median. The term “lot line, front” is defined at Article 15 of the Ordinance as “a boundary of lot that separates the lot from a street or public place.” The term “right-of-way” is not defined in Article 15, but is depicted at Figure 10.5B2210 as distinct from the street, materially broader and wider than the street.

In short, under the plain language of the Ordinance, and by applying the rules of construction of the Ordinance, the three terms do not mean the same thing. There is not parity among those terms. The Ordinance generally provides that setbacks or required distances are to be measured from a reference point. Section 10.5A21.22(c) establishes two reference points for establishing the apportionment of building height on the lot. That section states that either reference point may be used. The reference points stated are “front lot line” or “street”. The Section does not state which reference point is to be applied. The term “right-of-way” is not stated as a reference point.

As you know, the plans we have filed with the City measure the 50 foot setback from the curb. Based on the plain language of the ordinance and as amplified by the discussion above, we think and submit to you that using the curb as the reference point meets the requirements of Section 10.5A21.22(c) because it measures the setback from the street. This reference point also meets the definition of front lot line because it is measured from the boundary between the lot and the street, which as noted above, is the part of the road intended for vehicles, in contrast to a sidewalk or a median.

Juliet T.H. Walker
Page 3
14 February 2019

Securing the curb as the reference point from which the 50 foot setback is measured is of critical importance to the design of the project. The fundamental thrust of the project design, including, notably, the dedication of community space, may pivot on this question. Accordingly, we respectfully request that you consider our position on this question and reconsider the conclusions stated in your memorandum. As we discussed in our phone conversation of 12 February, I am copying Bob Sullivan on this correspondence. Bob is well aware of the case law which describes how a zoning ordinance is to be interpreted. That case law states generally that interpretation of a zoning ordinance is a question of law and that zoning ordinances are to be interpreted based on the plain language of the ordinance and that words are not to be read into the ordinance when they are not stated in the ordinance. Intent of the ordinance is to be established by reading the ordinance as a whole.

Finally, although your memorandum has not been identified or styled as a decision or order of a "Code Official", I ask that you please state your reconsideration of this question in writing so that the terms of Section 10.234.20 of the Ordinance are not otherwise implicated. Based on our discussions, we do not understand your memorandum of 5 February to be such a decision, but given the gravity of this question for the project we want to confirm that understanding.

Thank you for your attention and consideration of our position. Please do not hesitate to speak with me if you have any questions or comments regarding the forgoing.

Yours truly,

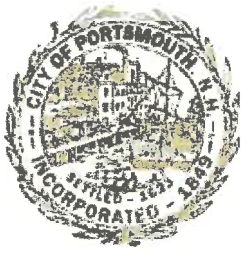
DONAHUE, TUCKER & CIANDELLA, PLLC



Robert D. Ciandella

RDC/lmh

cc: Robert P. Sullivan, Esquire (L & MUI)
111 Maplewood Avenue
Justin L. Pasay, Esquire
Stephanie Carty, Paralegal



CITY OF PORTSMOUTH

Planning Department
1 Junkins Avenue
Portsmouth, New
Hampshire 03801

(603) 610-7216

Appendix B

PLANNING BOARD

March 19, 2020

RJF Maplewood, LLC
30 Temple Street, Suite 400
Nashua, NH 03060

RE: Administrative Approval for property located at 111 Maplewood Avenue

Dear Owner:

I have reviewed your application for amended site plan approval for the following:

- 1) Relocate the transformer pad and add a generator between the transformer pad and the building.
- 2) Add vertical granite curb around the landscaped area containing the switch gear, transformer, and generator.
- 3) Add vertical granite curbing to the pedestrian alley between the bottom of the stairs and the ramp to the garage.
- 4) Relocate PYD1 into the sidewalk and convert to a 2 ft. square concrete structure.
- 5) Add an inset showing detailed grading around the utility area and garage ramp.
- 6) Add a second trench drain on the downslope side of the pedestrian alley crossing the garage ramp.
- 7) Revise the trench drain at the garage entrance to be pumped to the detention system due to basement elevation.
- 8) Modify the detention system to allow for the revised sewer connection locations to the building.
- 9) Relocate sewer connection location to exit the building at a higher elevation in the upper surface parking area.
- 10) Revise the communication conduit location due to conflicts in Raynes Avenue.
- 11) Add detail for Yard Drain 1, revise detail for Yard Drain 2, revise Trench Drain details, and add Trench Drain Pump detail.
- 13) Revise landscaping to coordinate with final building design and to incorporate additional soft scape in the community space areas.

As a result of my review, I hereby **grant** the request as presented.

The above amendments are shown and described in the following documents received by the Planning Department on February 14, 2020:

1. Site Plan Sheets C-102.1, 103.1, 104.1, 504 and 508 titled "Proposed Office Building", prepared by Tighe & Bond, INC., dated March 18, 2019 and last revised February 13, 2020.

3/19/2020

2. Letter from Patrick Crimmins, PE & Neil Hasen, PE, dated February, 13 2020.

This approval is granted subject to all stipulations of approval by the Planning Board on May 16, 2019 and to all other requirements stated in the Planning Board letter of decision dated May 17, 2019 and prior administrative approval granted September 23, 2019.

A mylar of the revised site plans shall be submitted to the Planning Department for recording at the Rockingham County Registry of Deeds.

Very truly yours,



Juliet T. H. Walker, AICP, Planning Director

cc: Robert Marsilia, Chief Building Inspector
Rosann Maurice-Lentz, City Assessor
Peter H. Rice, Director of Public Works

Eric Nelson, RW Norfolk Holdings, LLC



111 MAPLEWOOD AVE.

PORTSMOUTH, NH

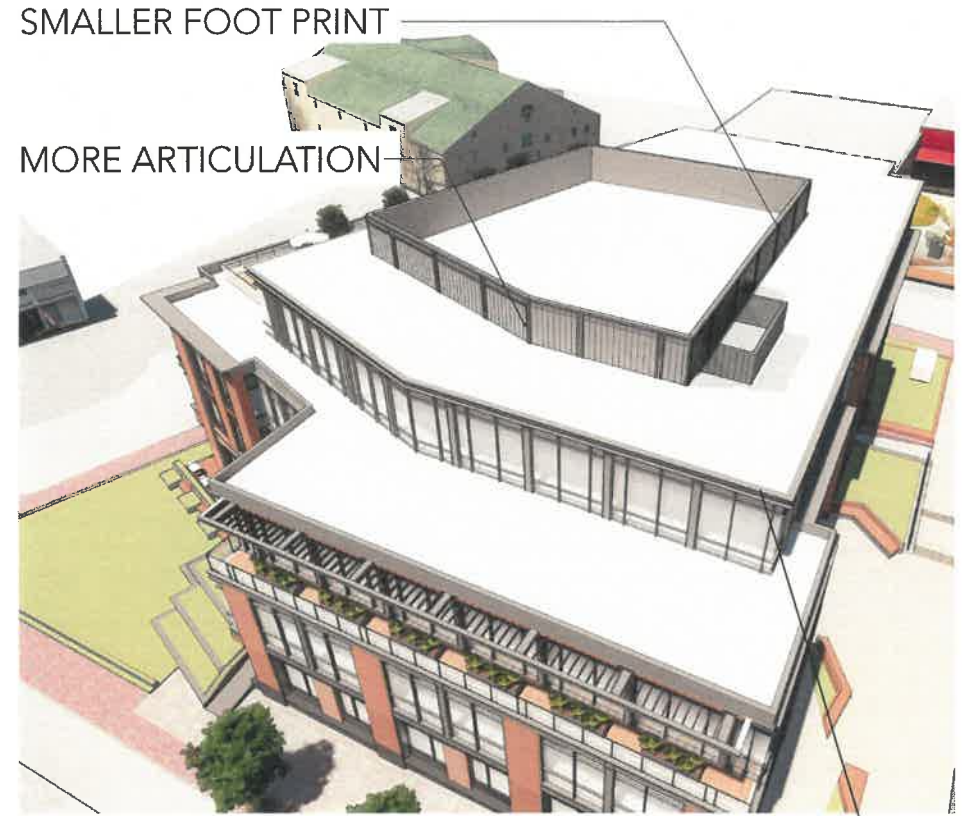


1. Mechanical Penthouse Screen
2. Maplewood Ave. Trellis
3. Raynes Ave. Curtain Wall Fin System
3a. Bay projection clarified, page 27
4. Reduced Granite Base
- 5a. Terracotta Arches Changed to wood
5a1. 4" wood siding (Thermory)
5b. Wood reveals removed
6. Canopy on Raynes and Vaughn Removed
- 7a. Additional Exterior Door Added
- 7b. Exterior Door Removed
8. 4th Floor Enlarged
8a. Curb line note corrected, page 21
9. Garage Vent Louver on East Side Added
10. Louvers changed to Spandrel on Raynes

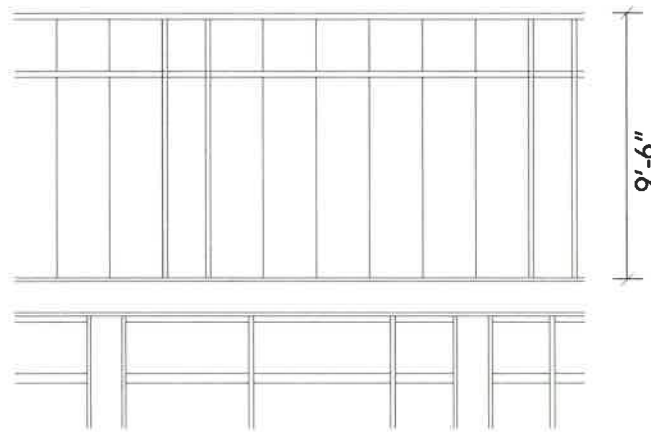
11. Roof paver area and railing location adjusted, page 18
12. Terra cotta profile reduced to 16" from 18"
13. Vertical composite metal panel locations clarified
14. Exterior light fixtures selected, see page 22 and Appendix 1
15. Exterior wall material clarified at stairs, ramp & pocket park, concrete with a wall-formliner with board pattern, page 6 & 22
16. Exterior stair flights changed from 2 to 3, retaining wall steps down, pg 6 & 22
17. Glazed corners adjusted to match all other window corners, pg 7 & 22
18. Cornice height clarified, 3'-1" tall
19. Band projects above roof line due to sloping roof for drainage, pg 3
20. Cornice detail modified, 4" reduced from 11", page 22
21. Material for all window and storefront systems is aluminum, color: Charcoal
22. Address changed to 145 Maplewood

ADMINISTRATIVE APPROVAL 05-13-2020 AGENDA

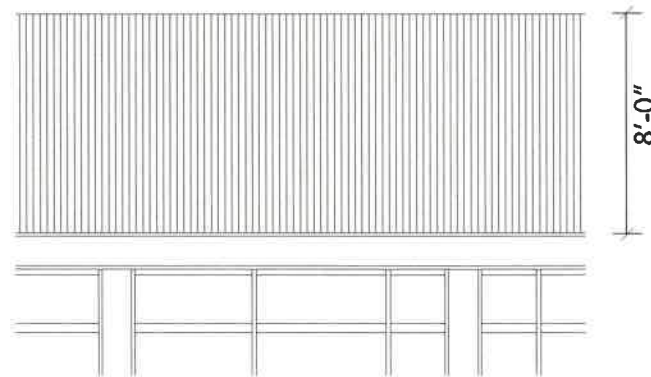
111 MAPLEWOOD AVE
PORTSMOUTH, NH



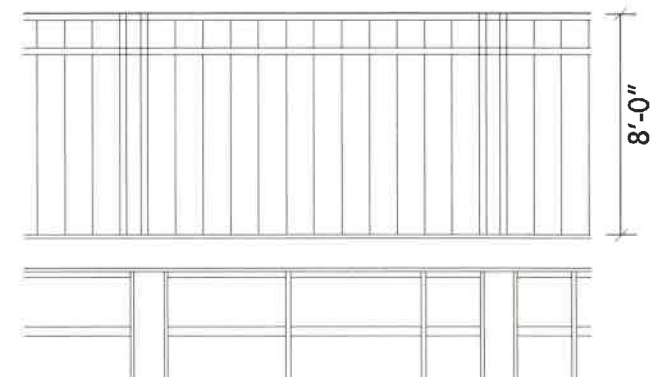
19. Band projects above roof line due to sloping roof for drainage



Previously Approved Design 04-12-19



Modified Design 12-04-19



Revised Design 01-08-20

1. MECHANICAL PENTHOUSE SCREEN
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH



18. Cornice height clarified, 3'-1" tall

13. Vertical composite metal panel



22. Address changed to 145 Maplewood

Previously Approved Design 04-12-19

ADMINISTRATIVE APPROVAL 05-13-2020
Revised Design 01-08-20

2. MAPLEWOOD AVE TRELIS
111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-19



Revised Design 01-08-20

ADMINISTRATIVE APPROVAL 05-13-2020

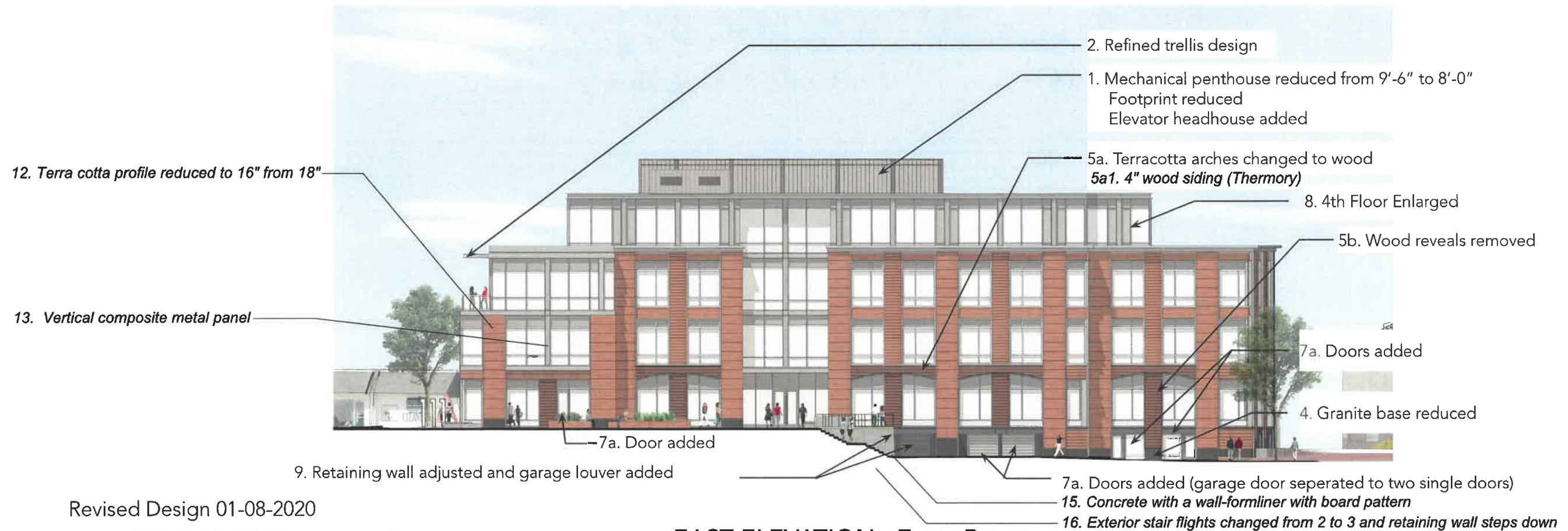
5a1. 4" wood siding (Thermory)

3. CURTAIN WALL FIN SYSTEM

111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-2019



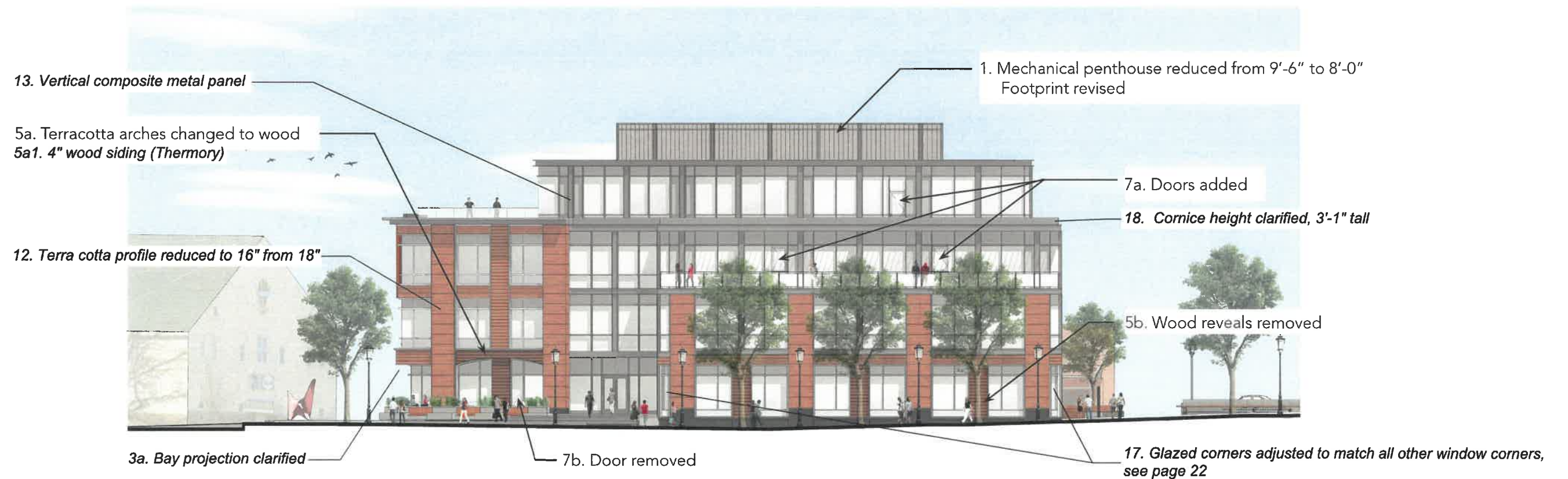
EAST ELEVATION - Entry Passage
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH

Revised Design 01-08-2020
 ADMINISTRATIVE APPROVAL 05-13-2020





Previously Approved Design 04-12-2019

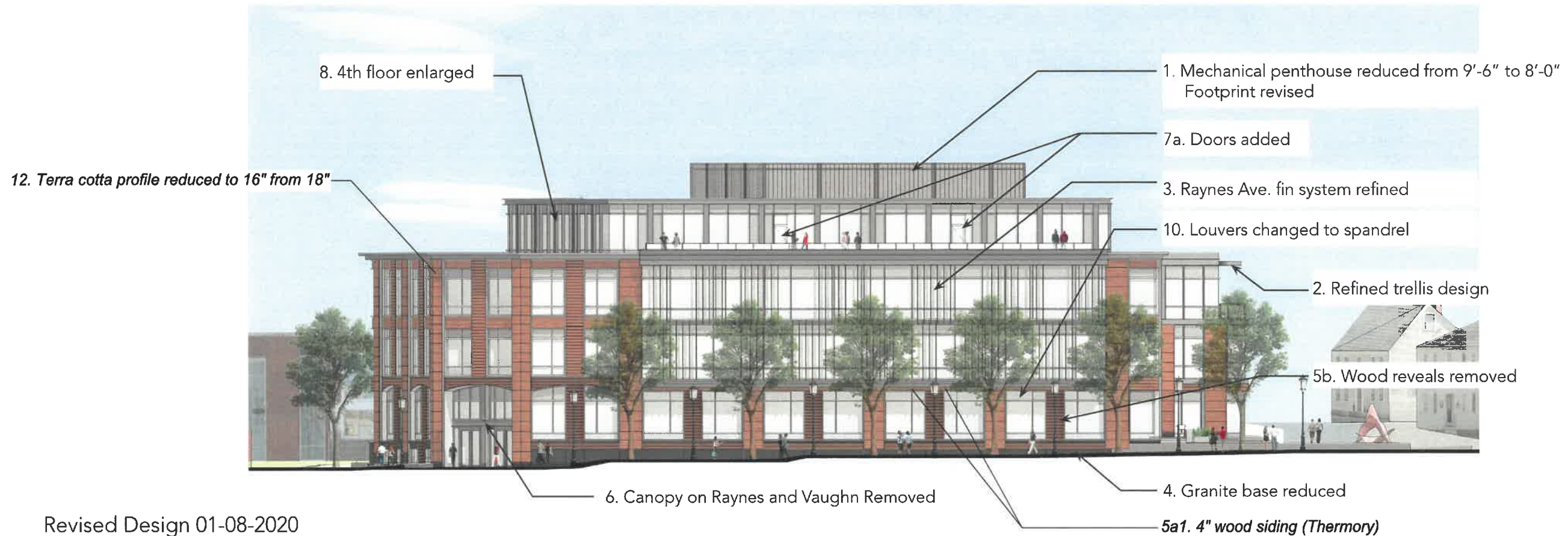


Revised Design 01-08-2020
 ADMINISTRATIVE APPROVAL 05-13-2020

SOUTH ELEVATION - Maplewood Avenue
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH



Previously Approved Design 04-12-2019

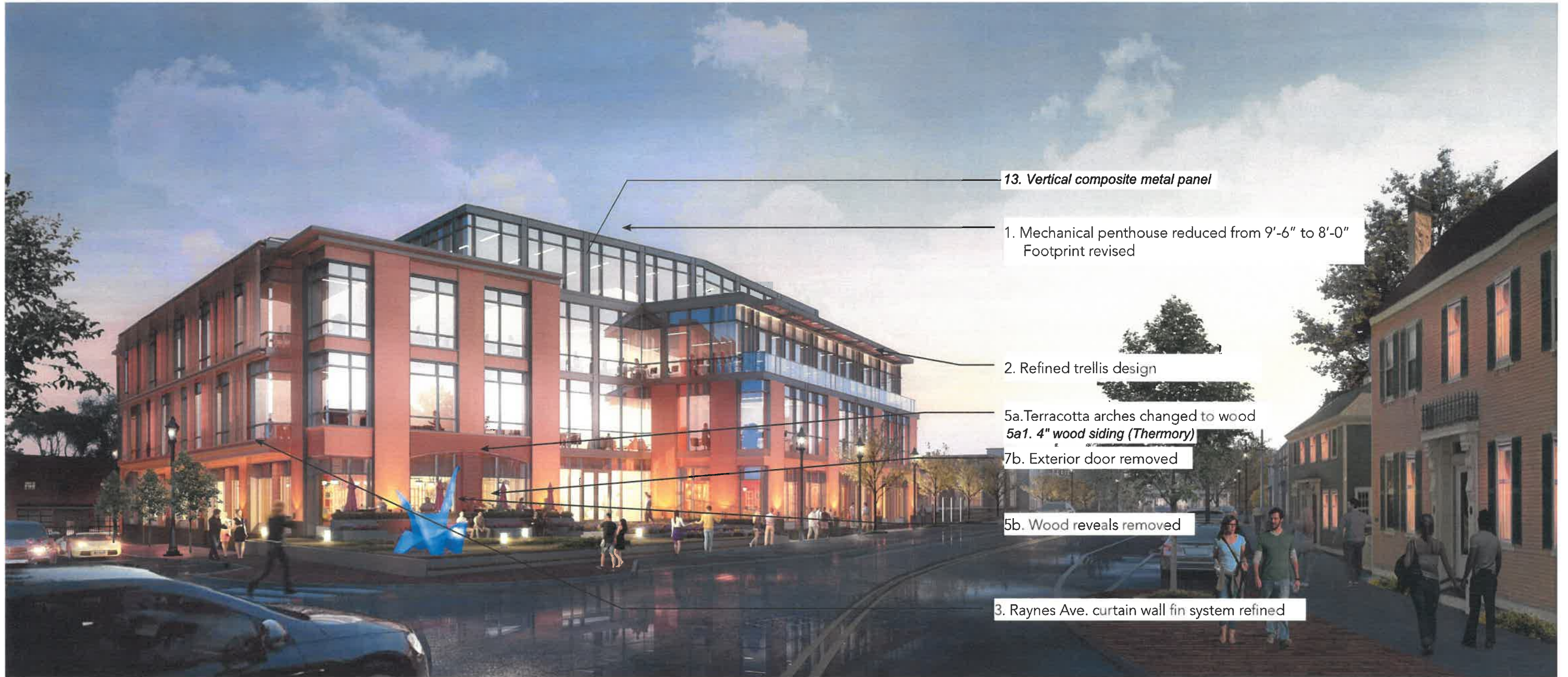


Revised Design 01-08-2020
ADMINISTRATIVE APPROVAL 05-13-2020

WEST ELEVATION - Raynes Avenue
111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-2019
111 MAPLEWOOD AVE
PORTSMOUTH, NH



13. Vertical composite metal panel

1. Mechanical penthouse reduced from 9'-6" to 8'-0"
Footprint revised

2. Refined trellis design

5a. Terracotta arches changed to wood
5a1. 4" wood siding (Thermory)

7b. Exterior door removed

5b. Wood reveals removed

3. Raynes Ave. curtain wall fin system refined

ADMINISTRATIVE APPROVAL 05-13-2020

Revised Design 01-08-2020
111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-2019
111 MAPLEWOOD AVE
PORTSMOUTH, NH



1. Mechanical penthouse reduced from 9'-6" to 8'-0"
 Footprint revised
 Elevator Head house added

2. Refined trellis design

18. Cornice height clarified, 3'-1" tall

12. Terra cotta profile reduced to 16" from 18"

5a. Terracotta arches changed to wood
 5a1. 4" wood siding (Thermory)

7a. Additional Exterior Door Added

22. Address changed to 145 Maplewood

ADMINISTRATIVE APPROVAL 05-13-2020

Revised Design 01-08-2020

111 MAPLEWOOD AVE
 PORTSMOUTH, NH



Previously Approved Design 04-12-2019
111 MAPLEWOOD AVE
PORTSMOUTH, NH



1. Mechanical penthouse reduced from 9'-6" to 8'-0"
Footprint revised

8. 4th Floor Enlarged

12. Terra cotta profile reduced to 16" from 18"

5a. Terracotta Arches Changed to wood
5a1. 4" wood siding (Thermory)

5b. Wood reveals removed

6. Canopy on Raynes and Vaughn Removed

4. Reduced Granite Base

7a. Additional Exterior Door Added

ADMINISTRATIVE APPROVAL 05-13-2020

Revised Design 01-08-2020
111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-19

1. Mechanical penthouse reduced from 9'-6" to 8'-0"

Footprint reduced

Elevator headhouse added

13. Vertical composite metal panel

12. Terra cotta profile reduced to 16" from 18"

5a. Terracotta arches changed to wood
5a1. 4" wood siding (Thermory)

5b. Wood reveals removed



Revised Design 01-08-20

ADMINISTRATIVE APPROVAL 05-13-2020

DETAIL ELEVATION - TYPICAL BAY
111 MAPLEWOOD AVE
PORTSMOUTH, NH



Previously Approved Design 04-12-19

13. Vertical composite metal panel

7a. Exterior doors added

18. Cornice height clarified, 3'-1" tall



12. Terra cotta profile reduced to 16" from 18"

5b. Wood reveals removed

Revised Design 01-08-20
 ADMINISTRATIVE APPROVAL 05-13-2020

DETAIL ELEVATION - MAPLEWOOD FACADE
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH



Previously Approved Design 04-12-19

1. Mechanical penthouse reduced from 9'-6" to 8'-0"

Footprint reduced

7a. Exterior door added

3. Raynes Ave. fin system refined

5b. Wood reveals removed

5a1. 4" wood siding (Thermory)

10. Louvers changed to spandrel on Raynes

4. Granite base reduced



Revised Design 01-08-20

ADMINISTRATIVE APPROVAL 05-13-2020

DETAIL ELEVATION - RAYNES FACADE
111 MAPLEWOOD AVE
PORTSMOUTH, NH



NOTE: REFER TO LANDSCAPE DRAWINGS FOR SITE MATERIALS, SITE LIGHTING & VEGETATION

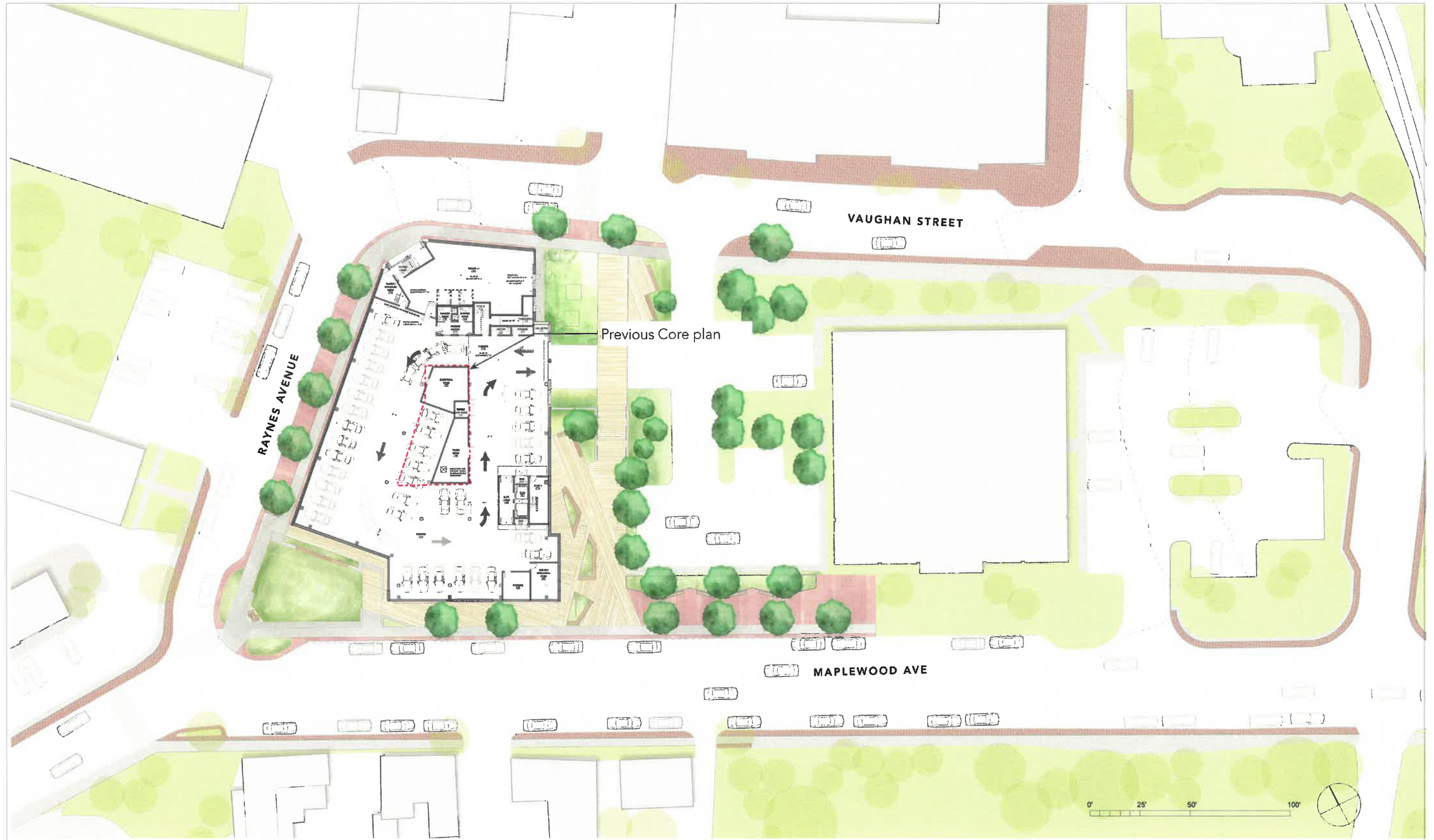
SITE PLAN - ROOF PLAN
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH

ADMINISTRATIVE APPROVAL 05-13-2020



NOTE: REFER TO LANDSCAPE DRAWINGS FOR SITE MATERIALS, SITE LIGHTING & VEGETATION

SITE PLAN - GROUND FLOOR
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH



NOTE: REFER TO LANDSCAPE DRAWINGS FOR SITE MATERIALS, SITE LIGHTING & VEGETATION

SITE PLAN - PARKING LEVEL
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH

ZONED 2/3 STORIES
ZONED 3/4 STORIES

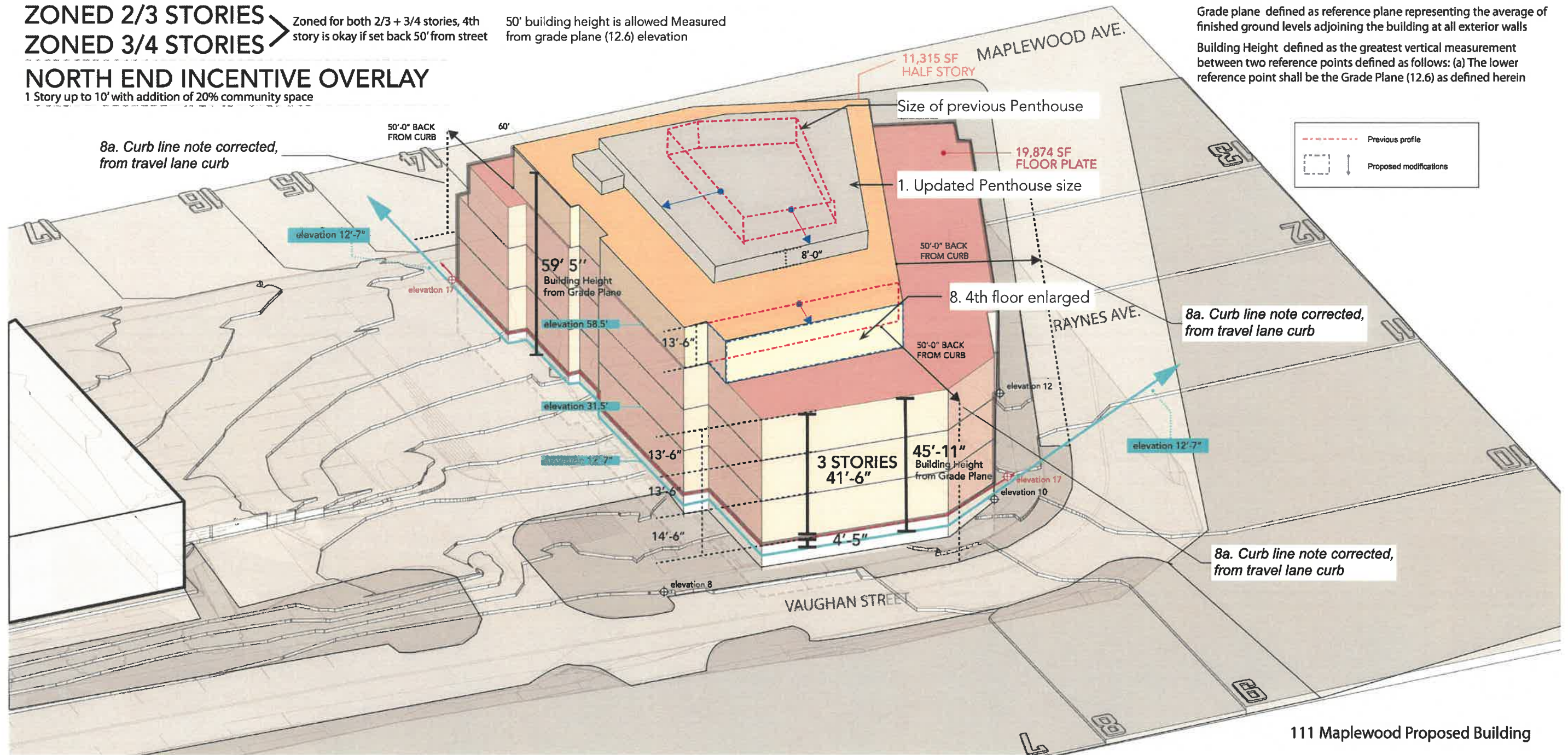
Zoned for both 2/3 + 3/4 stories, 4th story is okay if set back 50' from street

50' building height is allowed Measured from grade plane (12.6) elevation

NORTH END INCENTIVE OVERLAY

1 Story up to 10' with addition of 20% community space

Grade plane defined as reference plane representing the average of finished ground levels adjoining the building at all exterior walls
 Building Height defined as the greatest vertical measurement between two reference points defined as follows: (a) The lower reference point shall be the Grade Plane (12.6) as defined herein

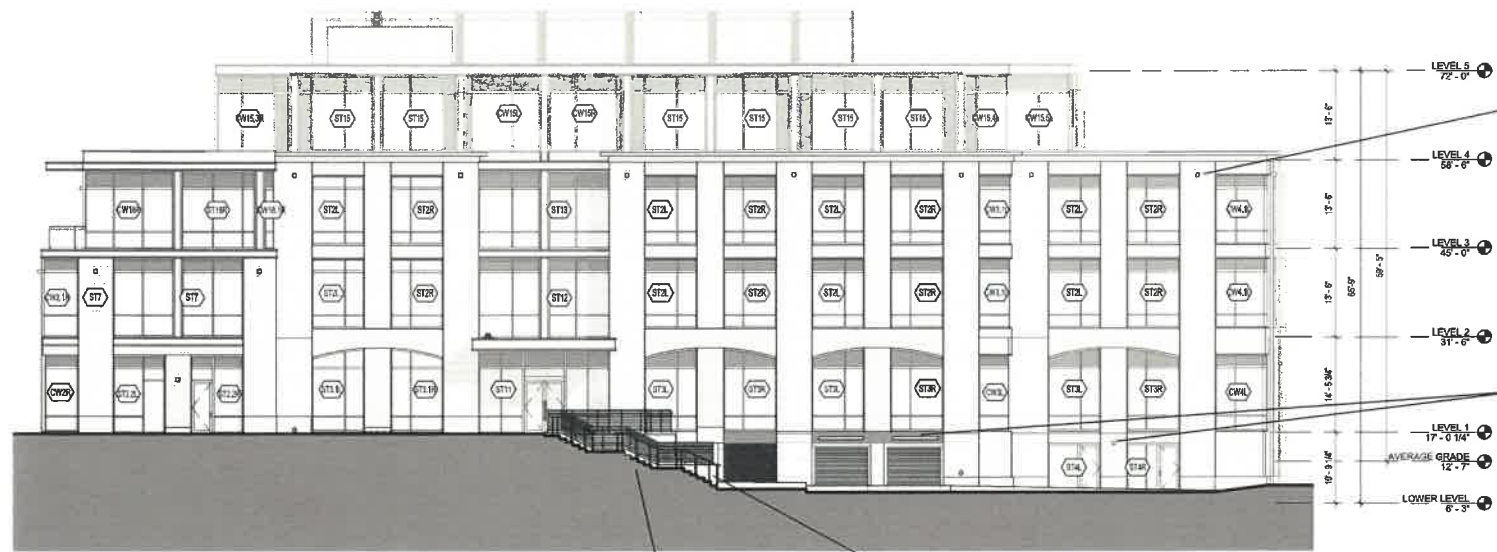


111 Maplewood Proposed Building



SETBACKS + BUILDING HEIGHTS
 111 MAPLEWOOD AVE
 PORTSMOUTH, NH

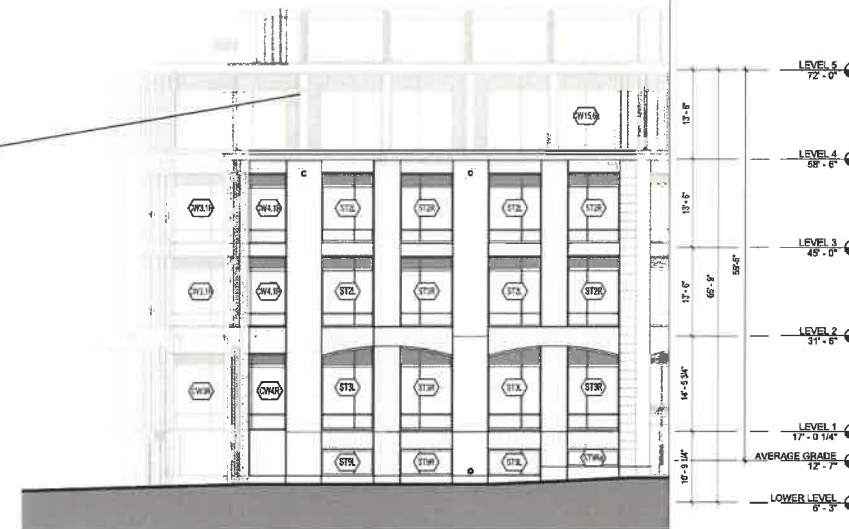
ADMINISTRATIVE APPROVAL 05-13-2020



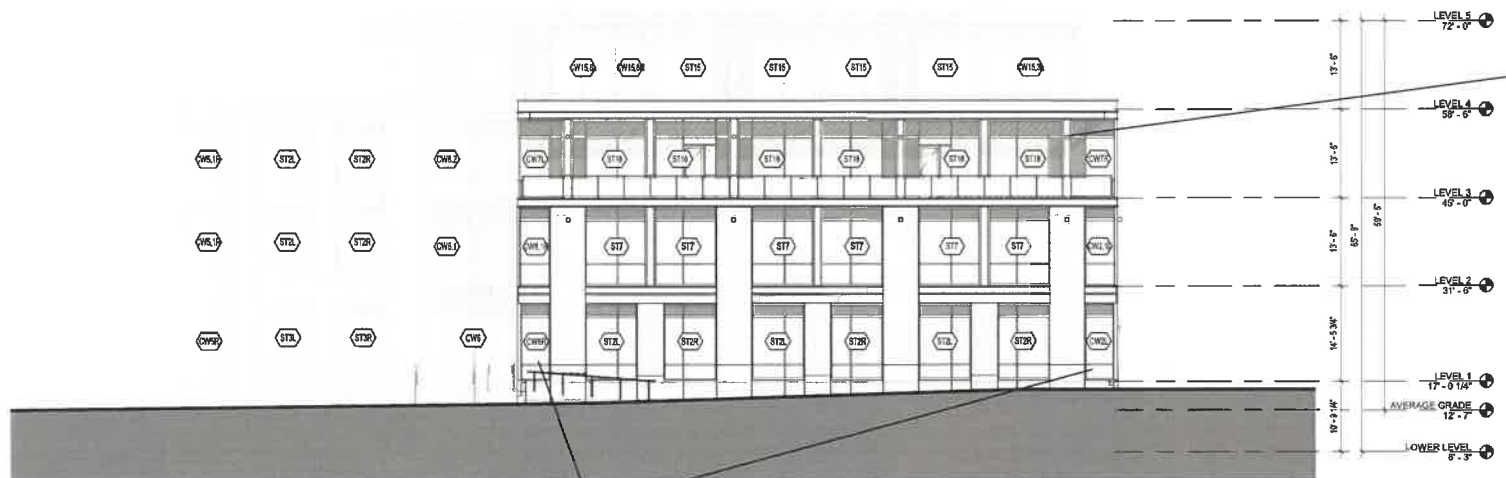
1 HDC BUILDING ELEVATION - ENTRY PASSAGE (EAST)
3/32" = 1'-0"

15. Concrete with a wall-formliner with board pattern

16. Exterior stair flights changed from 2 to 3 and retaining wall steps down



4 HDC BUILDING ELEVATION - VAUGHAN STREET (WEST)
3/32" = 1'-0"



2 HDC BUILDING ELEVATION - MAPLEWOOD AVENUE (SOUTH)
3/32" = 1'-0"

17. Glazed corners adjusted to match all other window corners

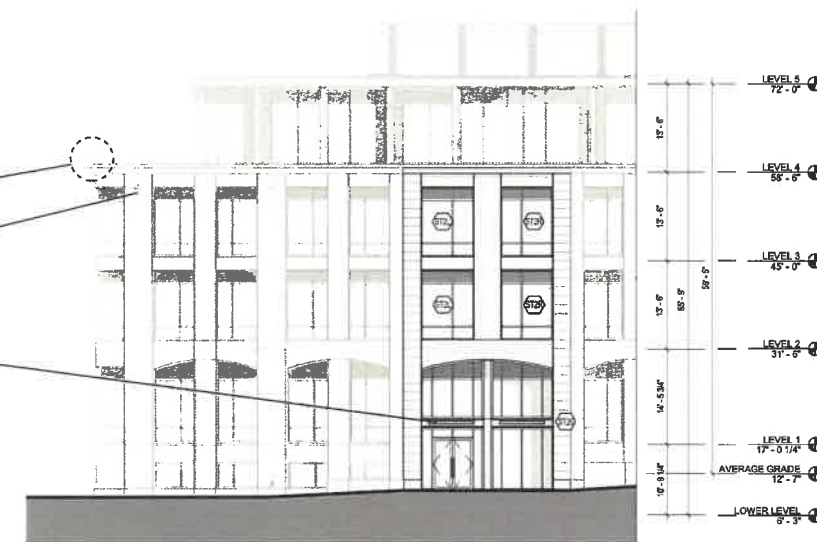
14. WP2

Detail A

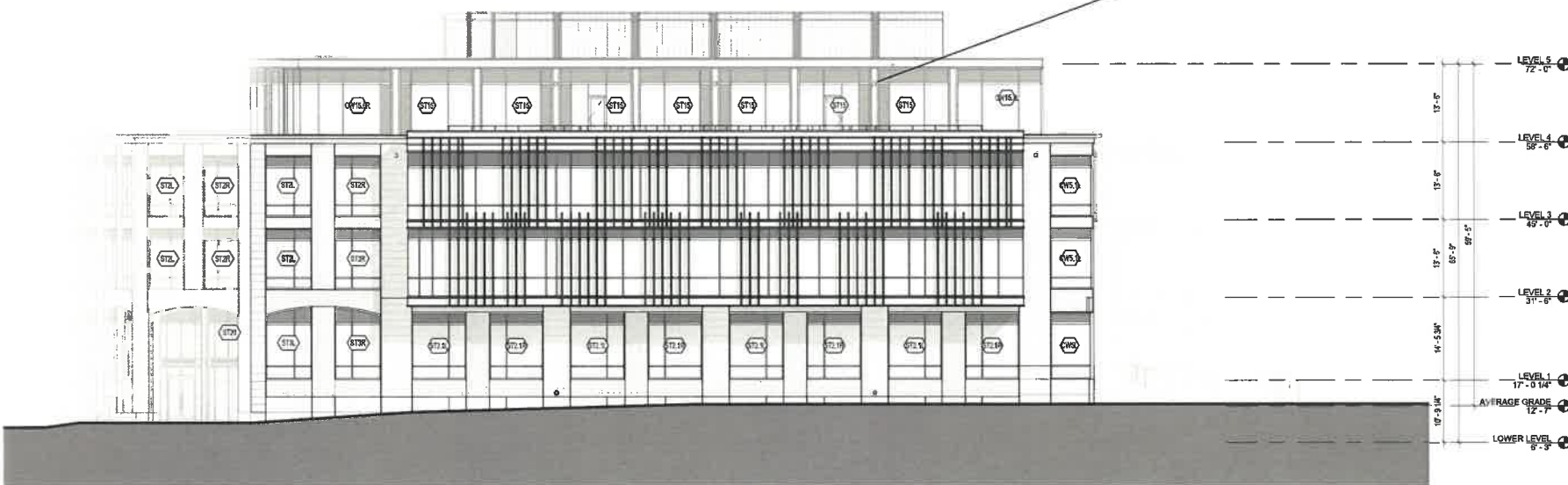
14. W1

14. WP2

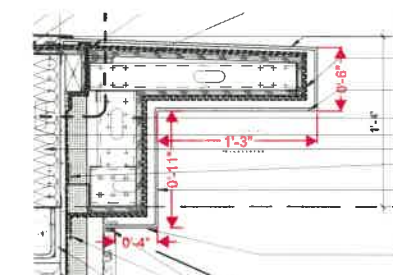
14. WP2



5 HDC BUILDING ELEVATION - VAUGHAN/RAYNES ENTRY (WEST)
3/32" = 1'-0"

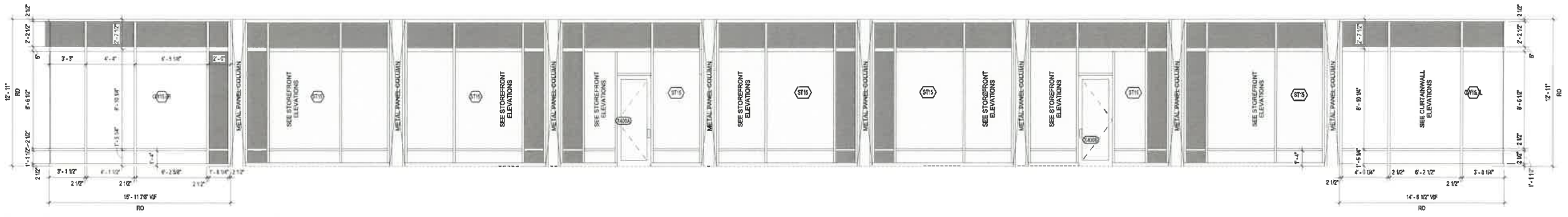


3 HDC BUILDING ELEVATION - RAYNES AVENUE (NORTH)
3/32" = 1'-0"

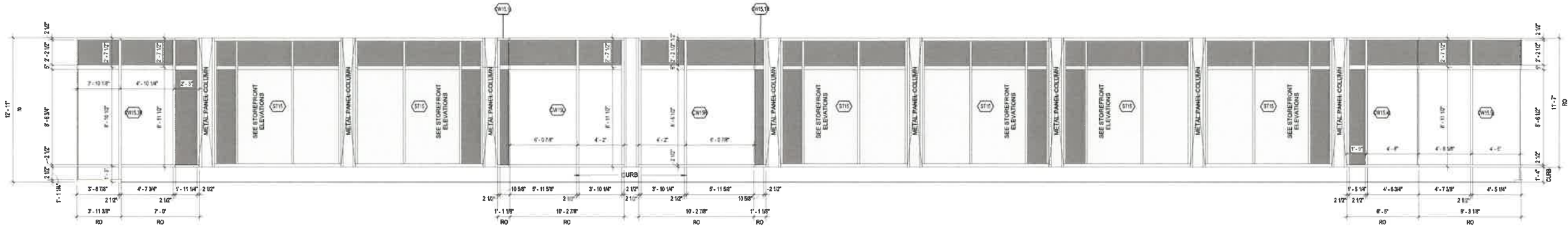


Detail A

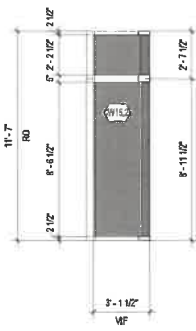
20. Cornice detail modified, 4" reduced from 11"



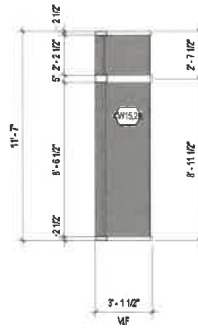
CW ELEVATION - CW15.6R & 15.7L RAYNES AVE SIDE
SCALE 1/4" = 1'-0"



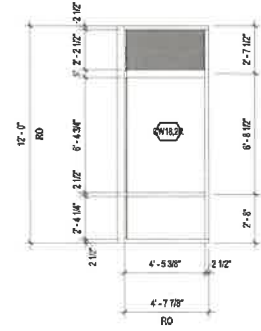
CW ELEVATION - CW 15L, 15R, 15.3R, 15.4L & 15.5L PASSAGE SIDE
SCALE 1/4" = 1'-0"



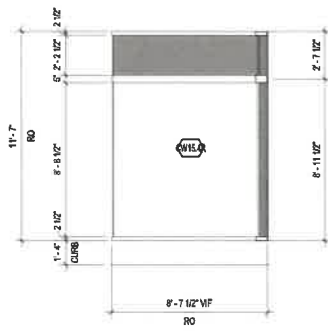
CW ELEVATION - CW 15.2L
SCALE 1/4" = 1'-0"



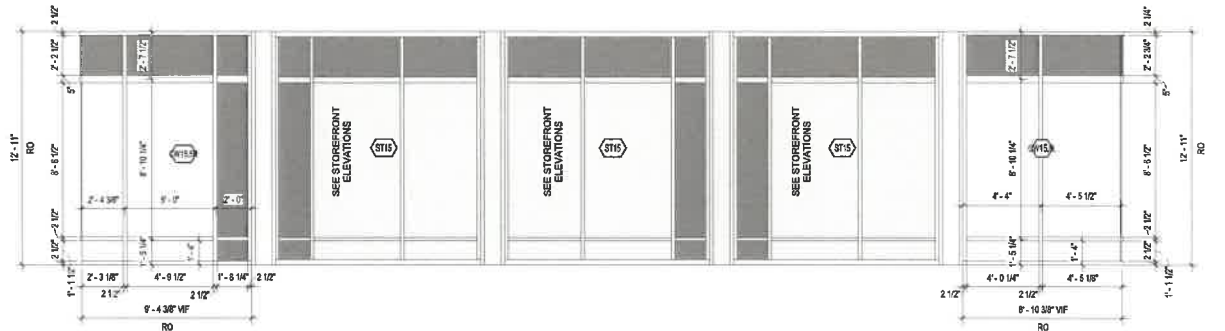
CW ELEVATION - CW 15.2R
SCALE 1/4" = 1'-0"



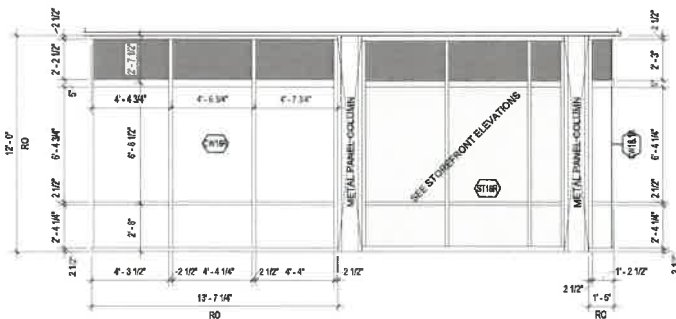
CW ELEVATION - CW18.2R
SCALE 1/4" = 1'-0"



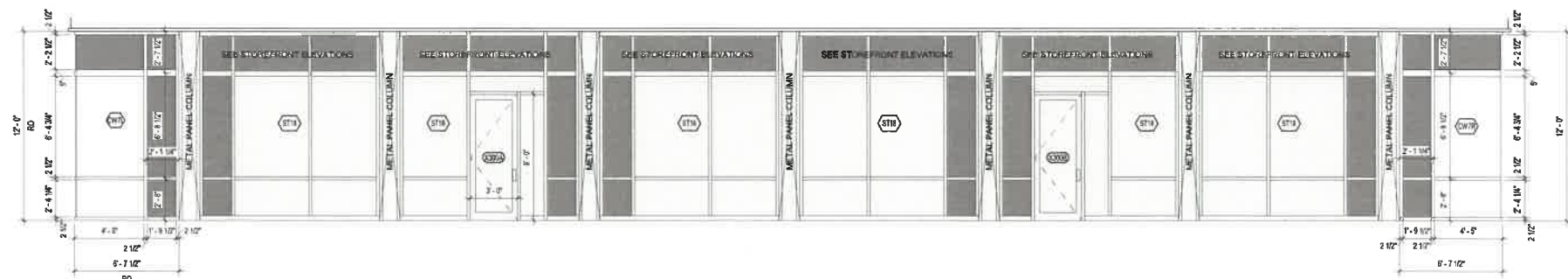
CW ELEVATION - CW15.4R VAUGHAN SIDE 2
SCALE 1/4" = 1'-0"



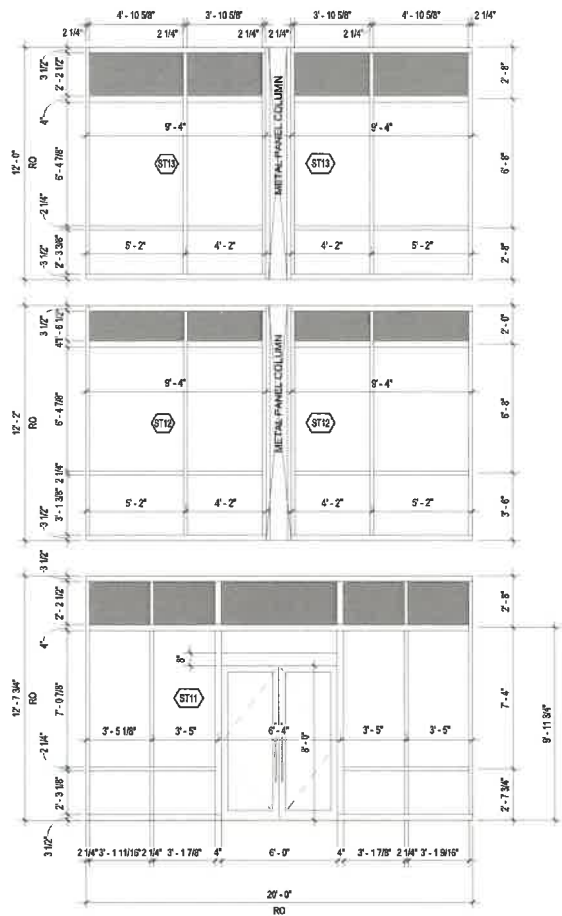
CW ELEVATION - CW15.5R & 15.6L VAUGHAN SIDE 1
SCALE 1/4" = 1'-0"



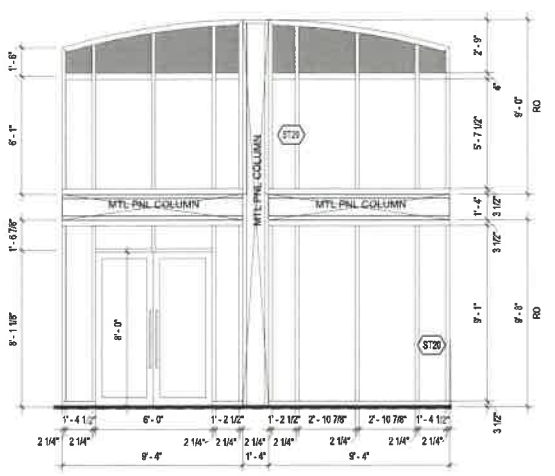
CW ELEVATION - CW18R & CW18.1R
SCALE 1/4" = 1'-0"



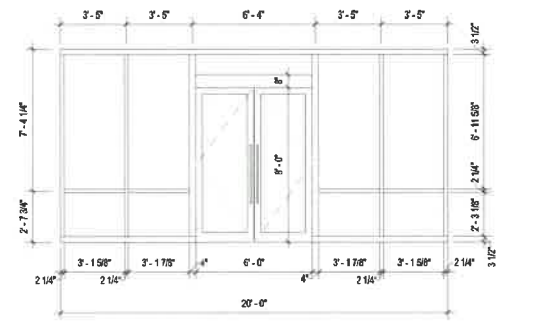
CW ELEVATION - CW7L & CW7R
SCALE 1/4" = 1'-0"



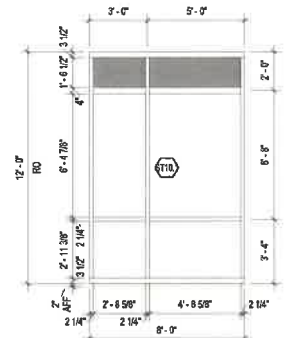
SF ELEVATION - ST11,12,13,14
SCALE 1/4" = 1'-0"



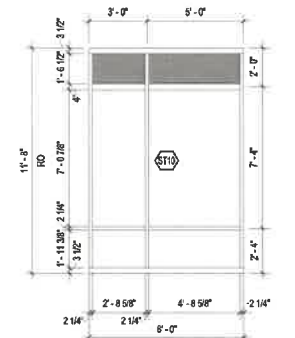
SF ELEVATION - ST20
SCALE 1/4" = 1'-0"



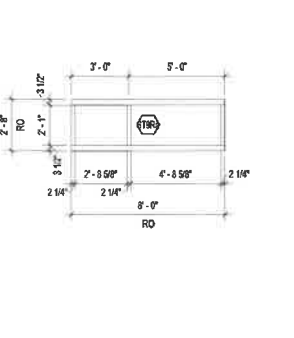
SF ELEVATION - ST11A
SCALE 1/4" = 1'-0"



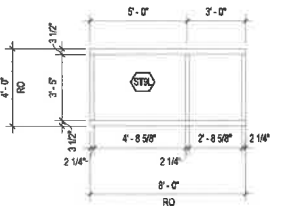
SF ELEVATION - ST10.1
SCALE 1/4" = 1'-0"



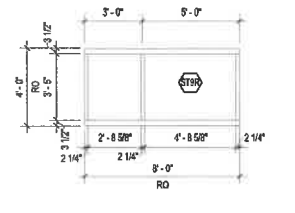
SF ELEVATION - ST10
SCALE 1/4" = 1'-0"



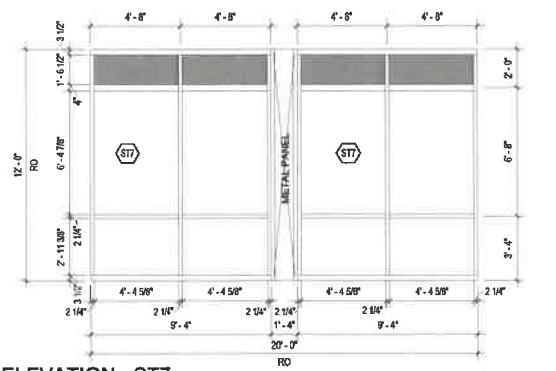
SF ELEVATION - ST9Ra (RIGHT)
SCALE 1/4" = 1'-0"



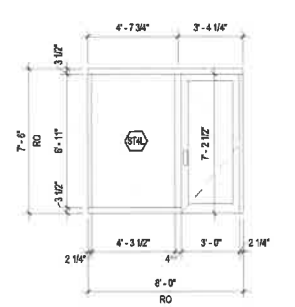
SF ELEVATION - ST9L (LEFT)
SCALE 1/4" = 1'-0"



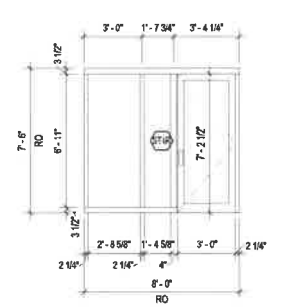
SF ELEVATION - ST9R (RIGHT)
SCALE 1/4" = 1'-0"



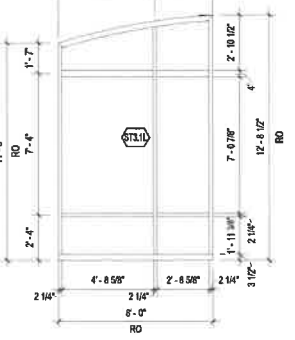
SF ELEVATION - ST7
SCALE 1/4" = 1'-0"



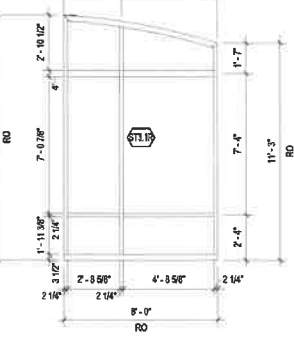
SF ELEVATION - ST4L (LEFT)
SCALE 1/4" = 1'-0"



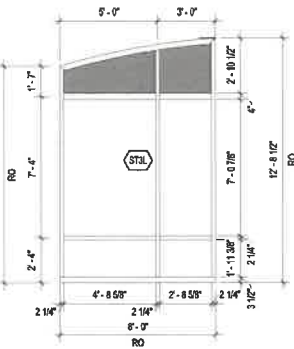
SF ELEVATION - ST4R (RIGHT)
SCALE 1/4" = 1'-0"



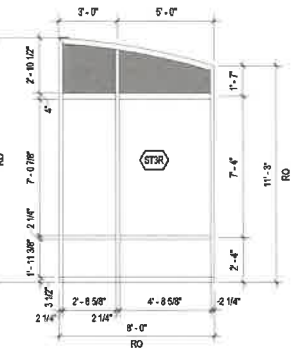
SF ELEVATION - ST3.1L (LEFT)
SCALE 1/4" = 1'-0"



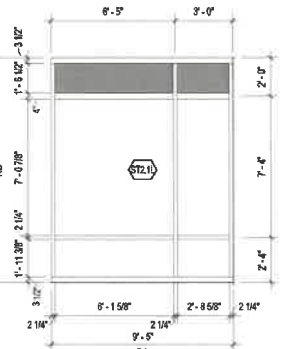
SF ELEVATION - ST3.1R (RIGHT)
SCALE 1/4" = 1'-0"



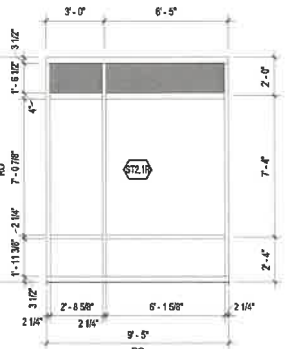
SF ELEVATION - ST3L (LEFT)
SCALE 1/4" = 1'-0"



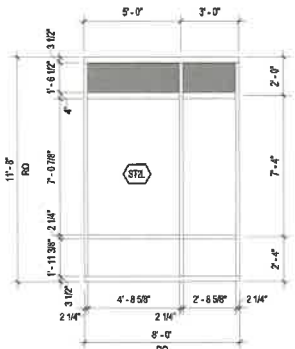
SF ELEVATION - ST3R (RIGHT)
SCALE 1/4" = 1'-0"



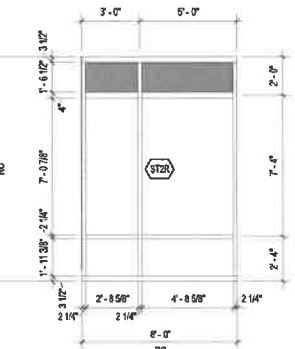
SF ELEVATION - ST2.1L (LEFT)
SCALE 1/4" = 1'-0"



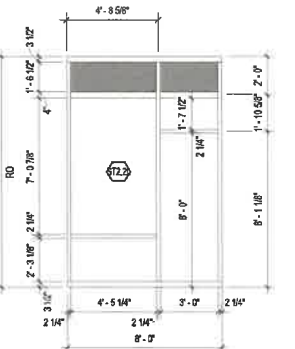
SF ELEVATION - ST2.1R (RIGHT)
SCALE 1/4" = 1'-0"



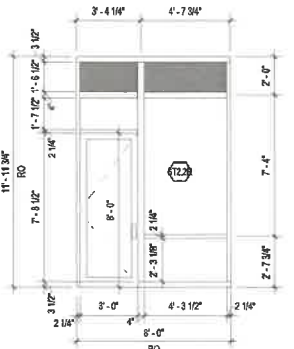
SF ELEVATION - ST2L (LEFT)
SCALE 1/4" = 1'-0"



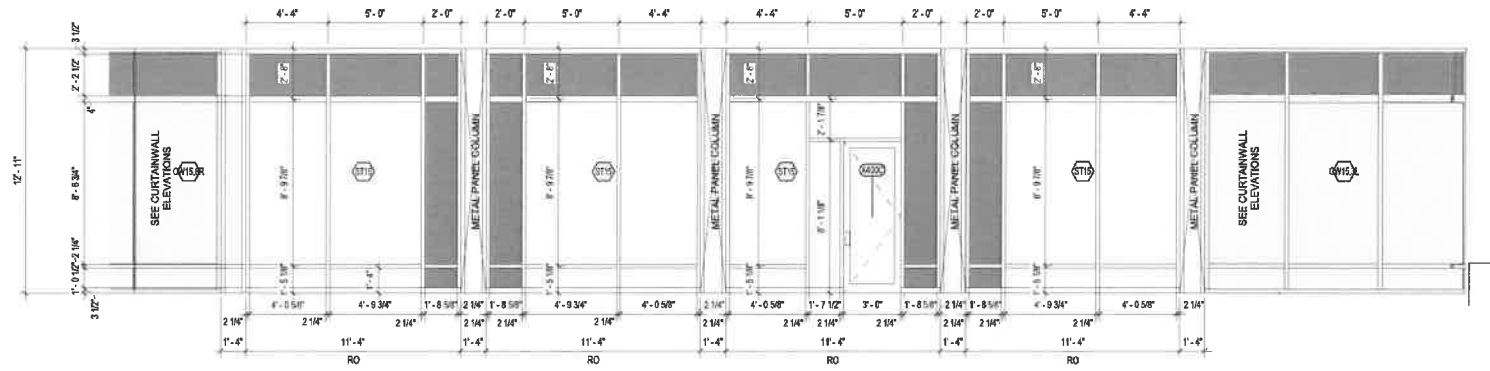
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SCALE 1/4" = 1'-0"



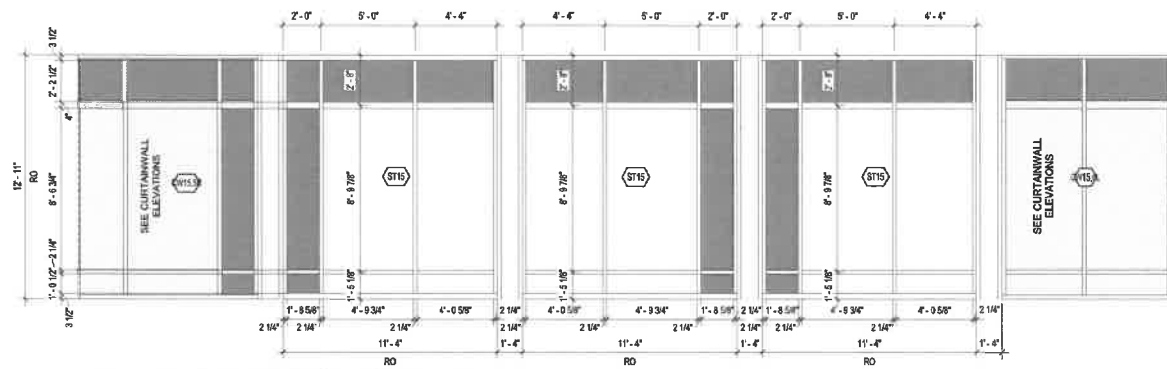
SF ELEVATION - ST2.2L (LEFT)
SCALE 1/4" = 1'-0"



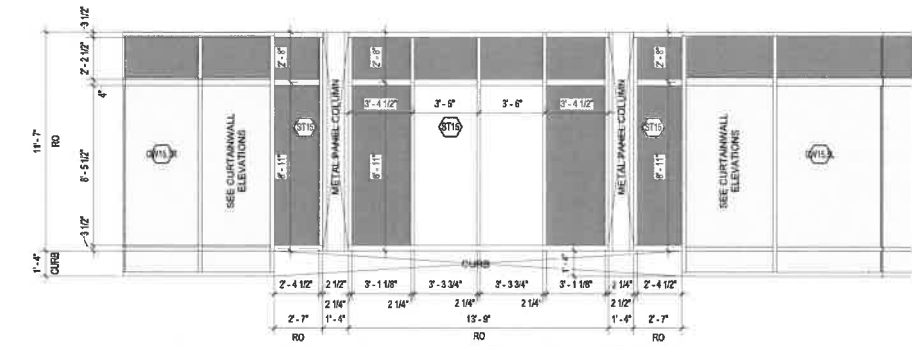
SF ELEVATION - ST2.2R (RIGHT)
SCALE 1/4" = 1'-0"



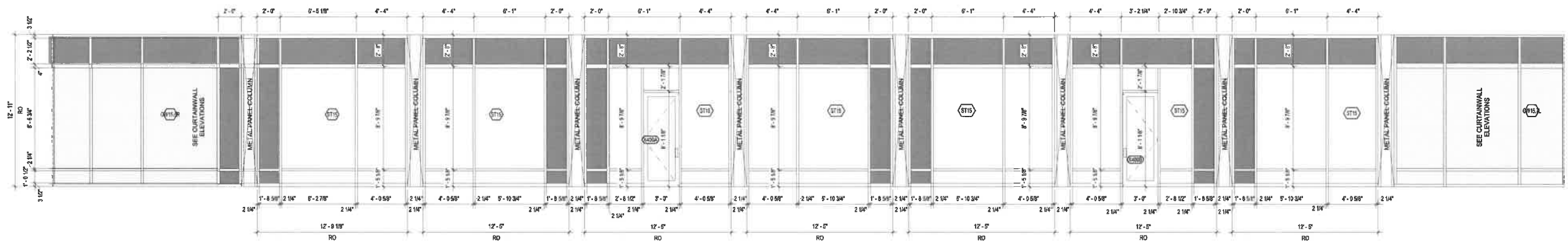
SF ELEVATION - ST15 MAPLEWOOD SIDE 2
SCALE 1/4" = 1'-0"



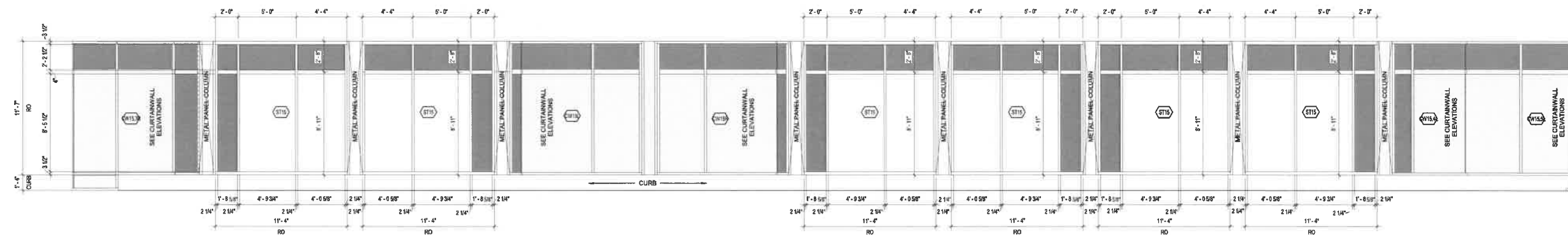
SF ELEVATION - ST15 VAUGHAN SIDE 1
SCALE 1/4" = 1'-0"



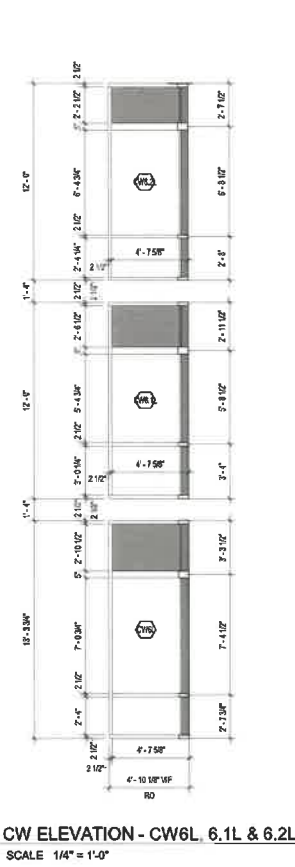
SF ELEVATION - ST15 MAPLEWOOD SIDE 1 (ANGLED CORNER)
SCALE 1/4" = 1'-0"



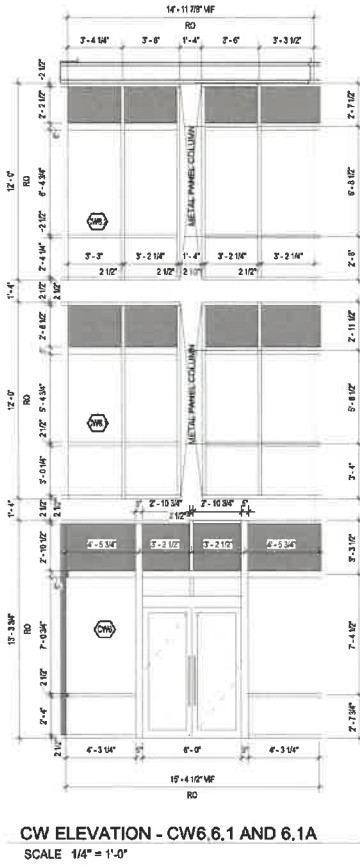
SF ELEVATION - ST15 RAYNES AVE SIDE
SCALE 1/4" = 1'-0"



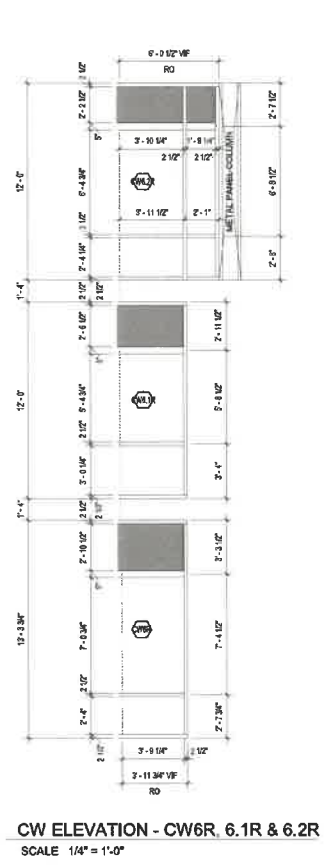
SF ELEVATION - ST15 PASSAGE SIDE
SCALE 1/4" = 1'-0"



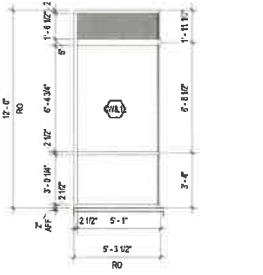
CW ELEVATION - CW6L, 6.1L & 6.2L
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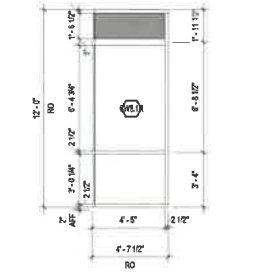
CW ELEVATION - CW6.6.1 AND 6.1A
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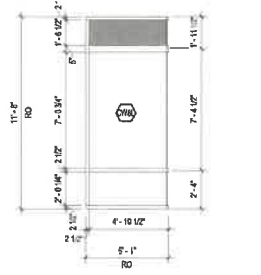
CW ELEVATION - CW6R, 6.1R & 6.2R
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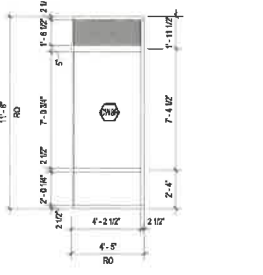
CW ELEVATION - CW8.1L (LEFT)
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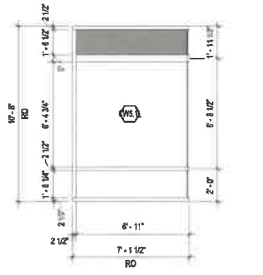
CW ELEVATION - CW8.1R (RIGHT)
SCALE 1/4" = 1'-0"



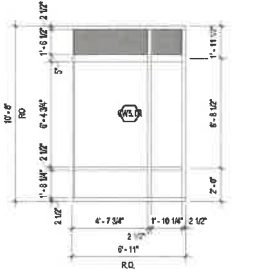
CW ELEVATION - CW8L (LEFT)
SCALE 1/4" = 1'-0"



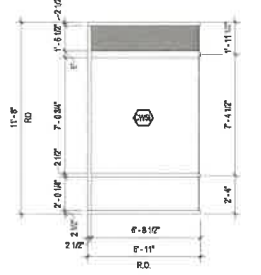
CW ELEVATION - CW8R (RIGHT)
SCALE 1/4" = 1'-0"



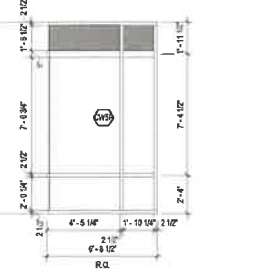
CW ELEVATION - CW5.1L (LEFT)
SCALE 1/4" = 1'-0"



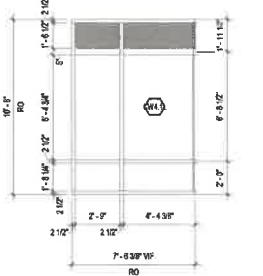
CW ELEVATION - CW5.1R (RIGHT)
SCALE 1/4" = 1'-0"



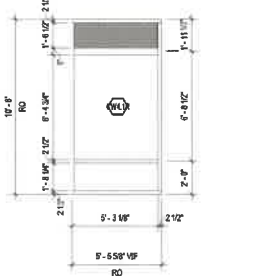
CW ELEVATION - CW5L (LEFT)
SCALE 1/4" = 1'-0"



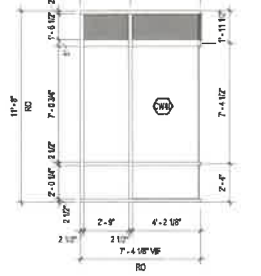
CW ELEVATION - CW5R (RIGHT)
SCALE 1/4" = 1'-0"



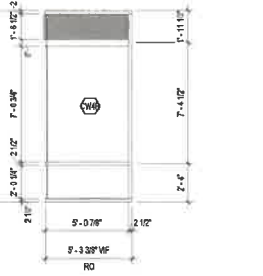
CW ELEVATION - CW4.1L (LEFT)
SCALE 1/4" = 1'-0"



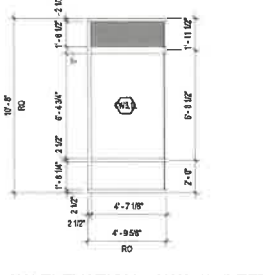
CW ELEVATION - CW4.1R (RIGHT)
SCALE 1/4" = 1'-0"



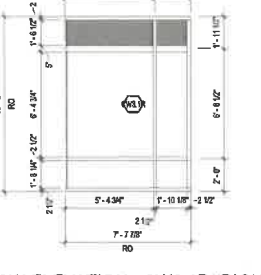
CW ELEVATION - CW4L (LEFT)
SCALE 1/4" = 1'-0"



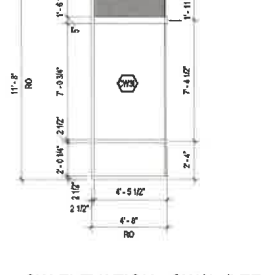
CW ELEVATION - CW4R (RIGHT)
SCALE 1/4" = 1'-0"



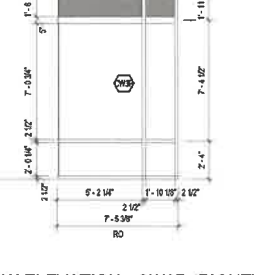
CW ELEVATION - CW3.1L (LEFT)
SCALE 1/4" = 1'-0"



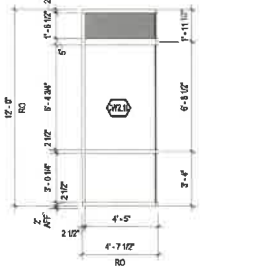
CW ELEVATION - CW3.1R (RIGHT)
SCALE 1/4" = 1'-0"



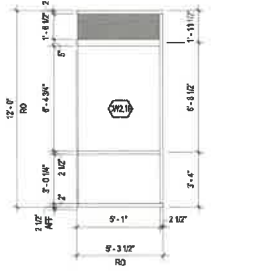
CW ELEVATION - CW3L (LEFT)
SCALE 1/4" = 1'-0"



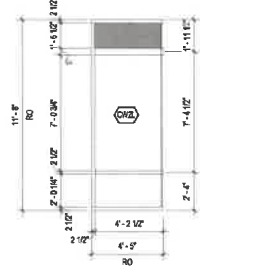
CW ELEVATION - CW3R (RIGHT)
SCALE 1/4" = 1'-0"



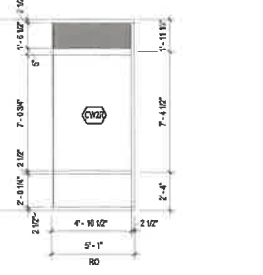
CW ELEVATION - CW2.1L (LEFT)
SCALE 1/4" = 1'-0"



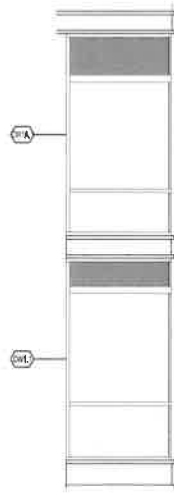
CW ELEVATION - CW2.1R (RIGHT)
SCALE 1/4" = 1'-0"



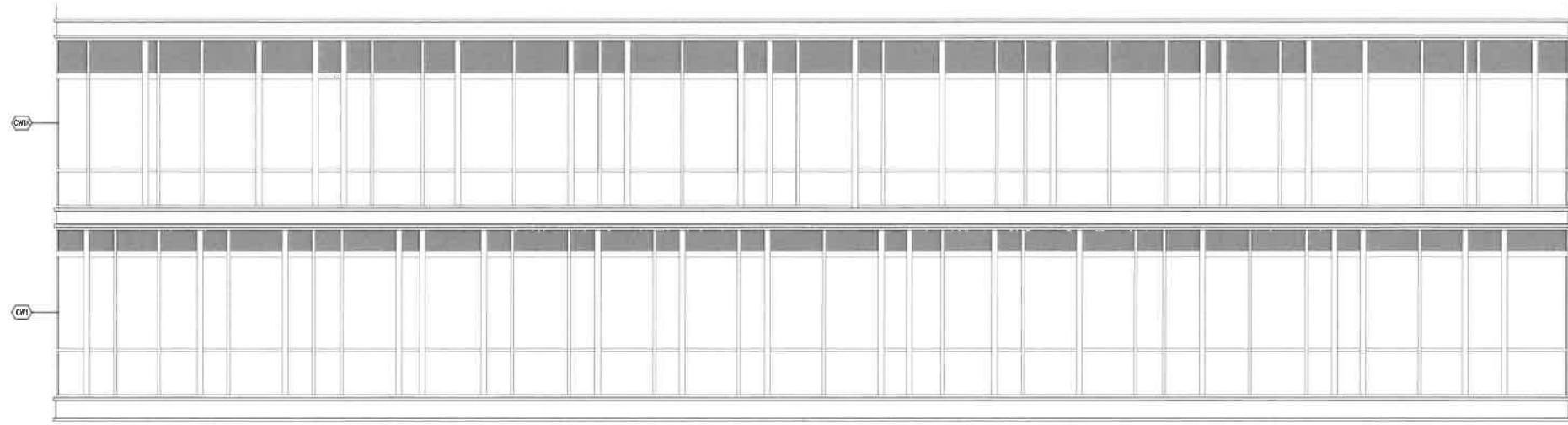
CW ELEVATION - CW2L (LEFT)
SCALE 1/4" = 1'-0"



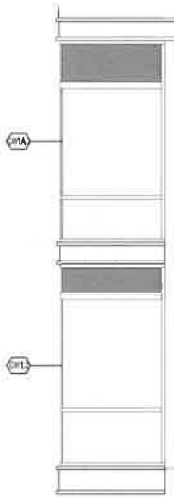
CW ELEVATION - CW2R (RIGHT)
SCALE 1/4" = 1'-0"



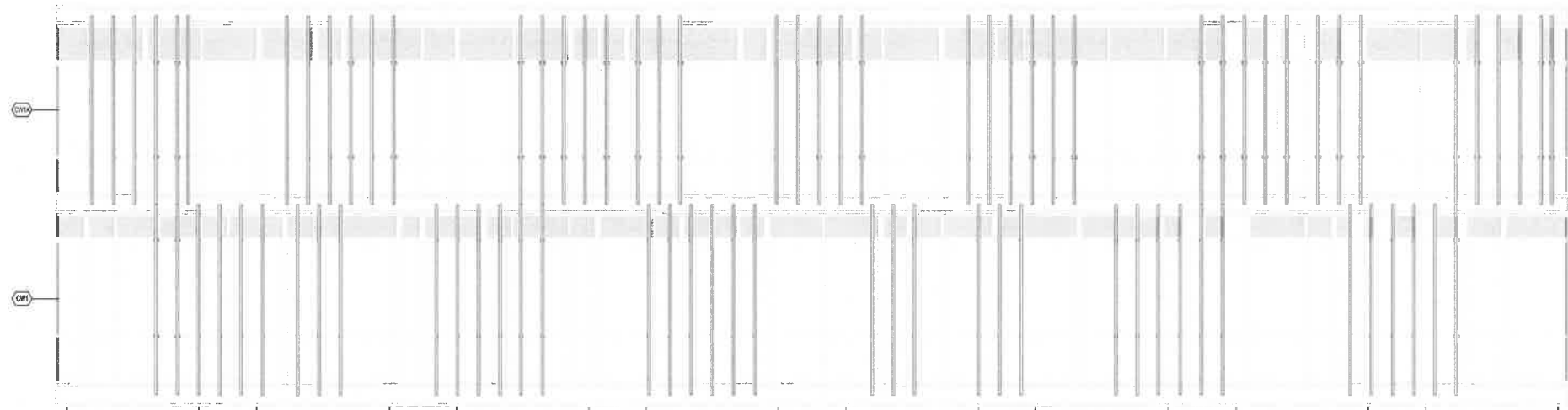
2 CW ELEVATION - CW1.1/CW1A.1
1/4" = 1'-0"



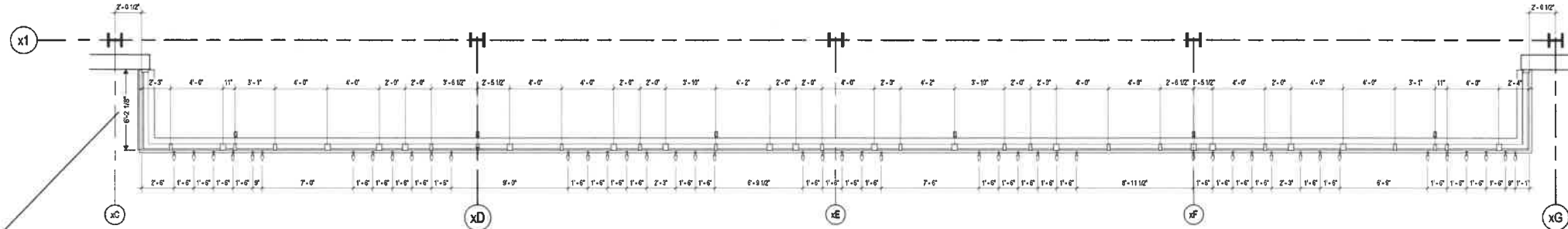
3 CW ELEVATION - CW1/CW1A
1/4" = 1'-0"



1 CW ELEVATION - CW1.2/CW1A.2
1/4" = 1'-0"

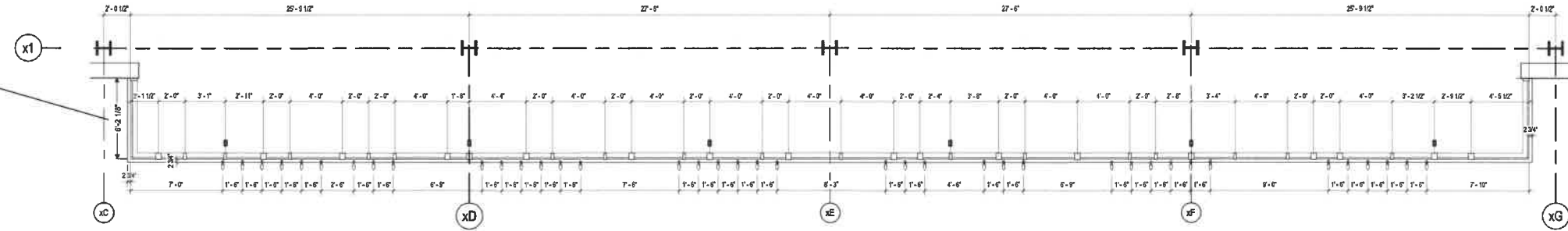


4 CW ELEVATION - CW1/CW1A BATTEN LAYOUT
1/4" = 1'-0"



6 CW PLAN - CW1A
1/4" = 1'-0"

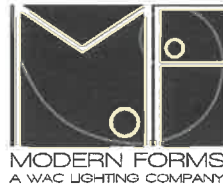
3a. Bay projection clarified



5 CW PLAN - CW1
1/4" = 1'-0"

SQUARE – model: WS-W386
LED Interior & Exterior Sconce

Low wall areas, balcony
and roof terrace

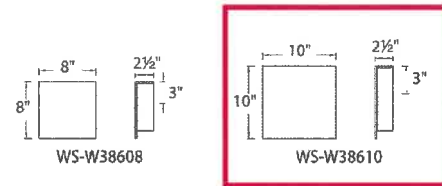


Fixture Type: **WP2**

Catalog Number:

Project: **145 Maplewood, Portsmouth NH**

Location: **Exterior Wall**



PRODUCT DESCRIPTION

Four equal sides and a stream of light. Square artfully provides geometry to wall surfaces in the daytime when mounted in multiples while providing safe illumination of pathways and dramatic visual intrigue in the evening. Perfect for wall grazing surfaces.

FEATURES

- Dark Sky friendly
- ADA compliant, low profile design
- ETL & cETL, wet location listed, IP65 rated
- Aluminum construction
- Full range dimming when used with compatible dimmers
- No transformer or driver required
- 277V option available (special order)
- 50,000 hour rated life
- Color Temp: 3000K
- CRI: 90

SPECIFICATIONS

Construction: Aluminum construction.
Light Source: High output LED.
Finish: Titanium (TT), Bronze (BZ).
Standards: ETL & cETL damp location listed. IP65 rated. ADA compliant. **Dark Sky friendly.**

ORDER NUMBER

Model	Width	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W38608	8"	9W	120V	486	398	BZ Bronze
WS-W38610	10"	15W	120V	836	720	TT Titanium

Example: **WS-W38608-BZ**
For 277V special order, add an "F" before the finish: **WS-W38608F-BZ**

modernforms.com
Phone (800) 526.2588
Fax (800) 526.2585

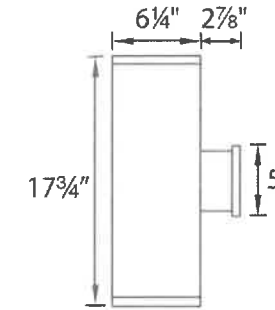
Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

TUBE ARCHITECTURAL DS-WD06-U
Ultra Narrow Beam LED Wall Mounts

WAC LIGHTING
Responsible Lighting®



Fixture Type: **W1**

Catalog Number:

Project: **145 Maplewood, Portsmouth NH**

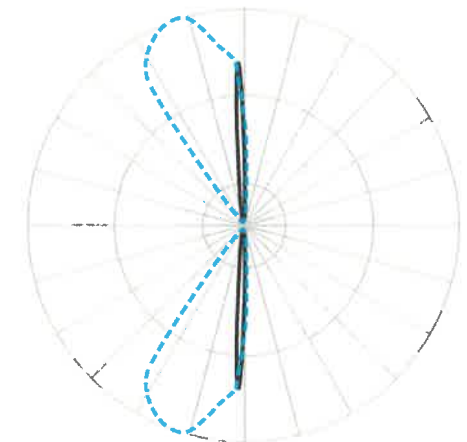
Location: **Exterior Down, High Wall**

SPECIFICATIONS

Input: 120V - 277VAC 50/60Hz
Dimming: 0 - 10V Dimming: 100% - 20%
ELV 100% - 10% (120V only)
Standards: IP65 rated, ETL & cETL wet location listed
Operating Temp: -40°C to 40°C

PHOTOMETRY

Reads 0.2 footcandle at 15 feet distance



PRODUCT DESCRIPTION

Precise engineering using the latest energy efficient LED technology with a built-in ultra narrow beam precision optics. An appealing cylindrical profile perfect for accent lighting.

FEATURES

- High performance facade LED wall mount light
- Can be mounted upwards or **downwards**
- Solid aluminum construction
- 80,000 hour rated life
- 5 year warranty

ORDERING NUMBER

Distribution	Diameter	Watt	Beam	Color Temp	CRI	Lumens	CBCP	Light Direction	Finish	
Double	DS-WD	06	6"	22W	U	6°	27 2700K 85 110 x2 1239 x2	B Towards the wall	BK Black	
									30 3000K 85 130 x2 1428 x2	WT White
									35 3500K 85 130 x2 1478 x2	BZ Bronze
									40 4000K 85 135 x2 1532 x2	GH Graphite

DS-WD06-U__B-__

Example: **DS-WD06-U30B-WT**

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585

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44 Harbor Park Drive
Port Washington, NY 11050

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