

HDC

ADMINISTRATIVE APPROVALS

March 04, 2020

- | | | |
|----|--------------------------------|-----------------------|
| 1. | 50 Austin Street (LUHD 102) | -Recommended Approval |
| 2. | 121 Mechanic Street (LUHD 104) | -Recommended Approval |
| 3. | 39 Pray Street (LUHD 111) | -Recommended Approval |
| 4. | 46 Maplewood Avenue (LUHD 113) | -T.B.D. |
| 5. | 355 Pleasant Street (LUHD 114) | -Recommended Approval |
| 6. | 25 Maplewood Avenue (LUHD115) | -T.B.D. |
| 7. | 56 Middle Street (LUHD 116) | -Recommended Approval |

1. 50 Austin Street

- Recommended Approval

Background: The applicant is seeking approval to construct a new enclosed porch.

Staff Comment: Recommended Approval

Stipulations:

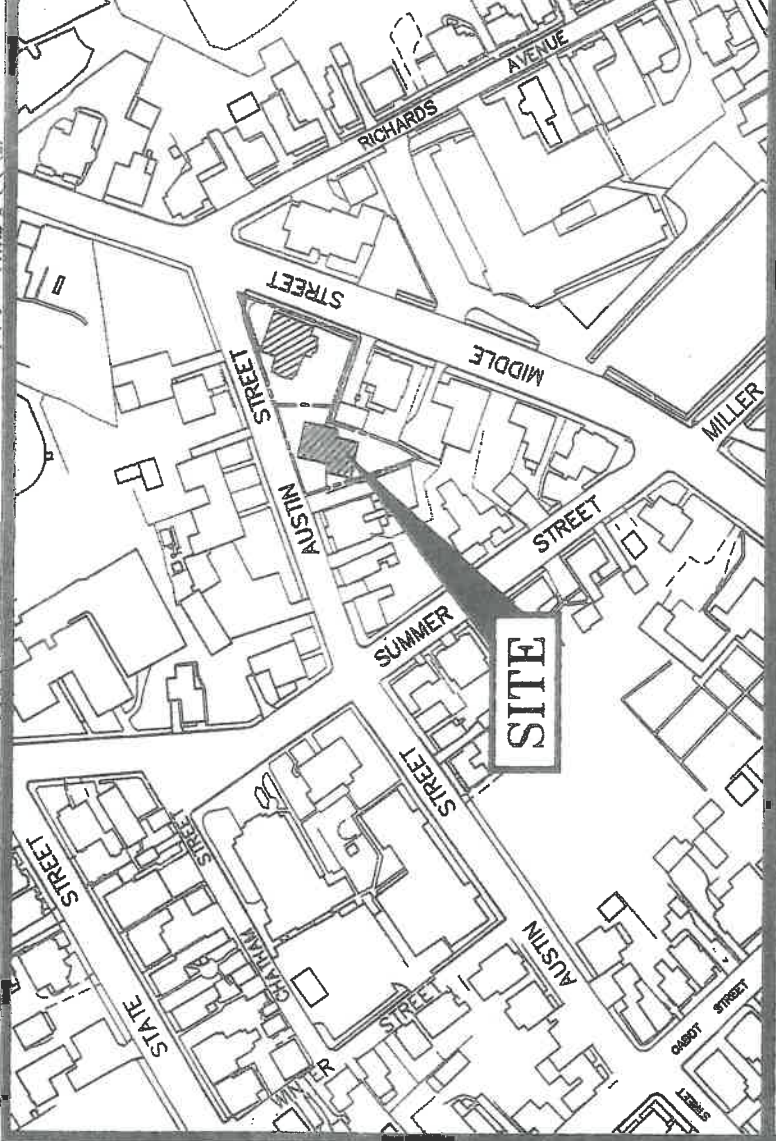
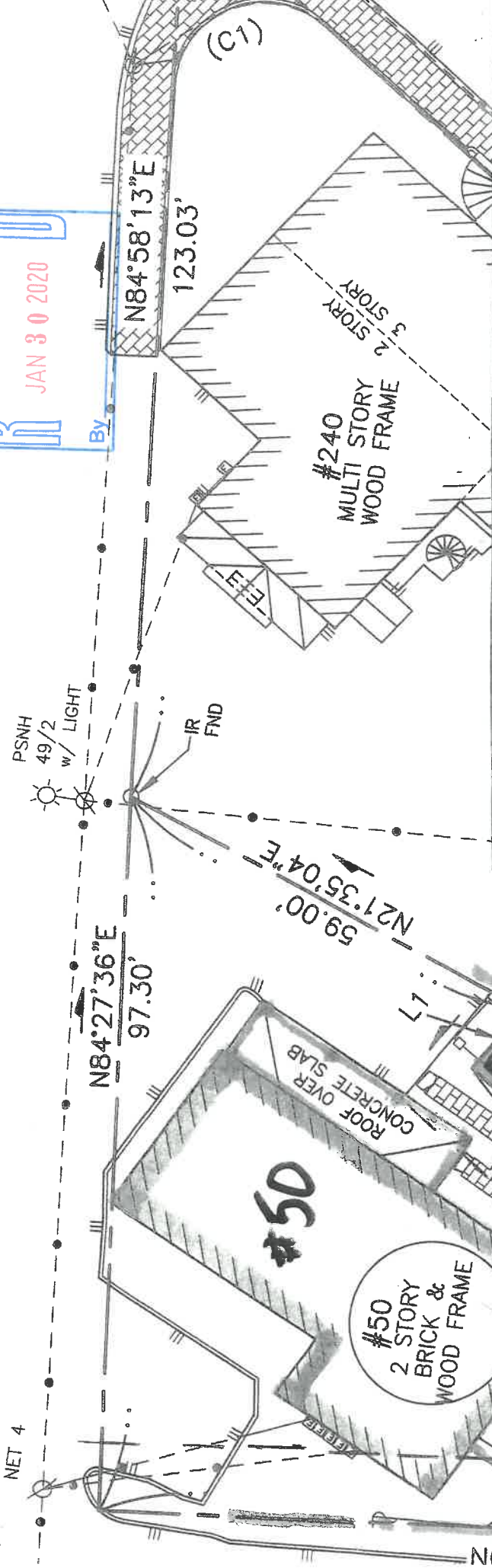
1. _____
2. _____
3. _____

6247

RECEIVED
JAN 30 2020
BY

AUSTIN STREET

AUSTIN STREET



LOCATION MAP - 50 AUSTIN (1) 1" = 200'

136
9

N/F ROXANNE RAESIDE WILT
226 MIDDLE STREET
PORTSMOUTH, N.H. 03801
3498/2695



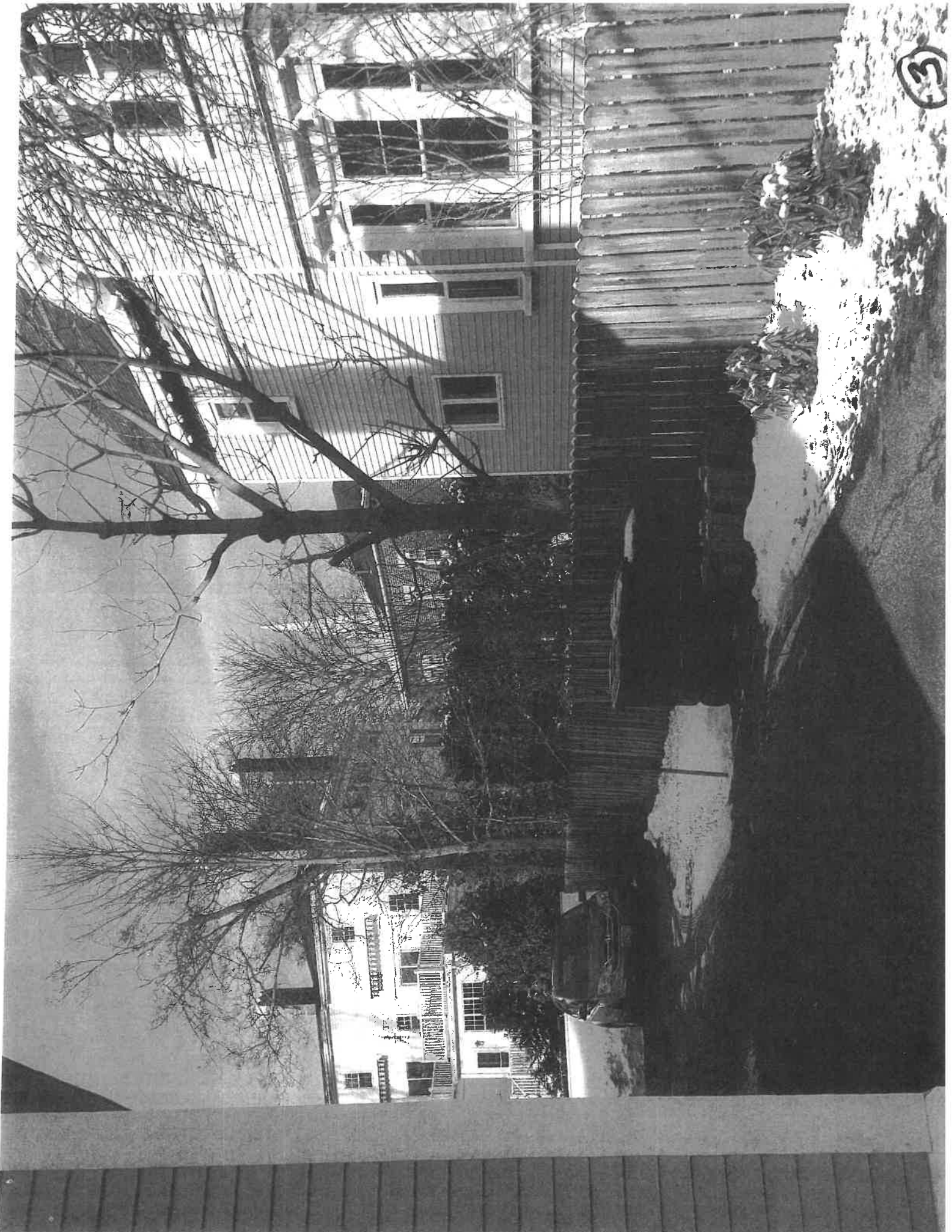
10.521 Table of Dimensional Standards – Residential and Mixed Residential Districts

	R	SRA	SRB	GRA	GRB	GRC	GA/MH	MRO	MRB	50 AVENUE
Minimum Lot Dimensions										
Lot area	5 acres	1 acre	15,000 sf	7,500 sf	5,000 sf	3,500 sf ✓	5 acres	7,500 sf	7,500 sf	6247sf
Lot area per dwelling unit	5 acres	1 acre	15,000 sf	7,500 sf	5,000 sf	3,500 sf ✓	10,000 sf	7,500 sf	7,500 sf	6247
Continuous street frontage	NA	150'	100'	100'	80'	70' ✓	N/A	100'	100'	17.30'
Depth	NA	200'	100'	70'	60'	50' ✓	N/A	80'	80'	18' varies
Minimum Yard Dimensions										
Front	50'	30'	30' ¹	15'	5'	5' ✗	30' ¹	5'	5' ¹	coverage exist
Side	20'	20'	10'	10'	10'	10' ✗	25'	10'	10'	1644
Rear	40'	40'	30'	20'	25'	20' ✓	25'	15'	15'	1448
Maximum Structure Dimensions										
Structure height	35'	35'	35'	35'	35'	35' ² ✓	35' ²	40'	40'	Addition
Roof appurtenance height	8'	8'	8'	8'	8'	8' ✓	8'	10'	10'	244
Building coverage	5%	10%	20%	25%	30%	35% ✓	20%	40%	40%	27%
Minimum open space	75%	50%	40%	30%	25%	20% ✓	50%	25%	25%	45524

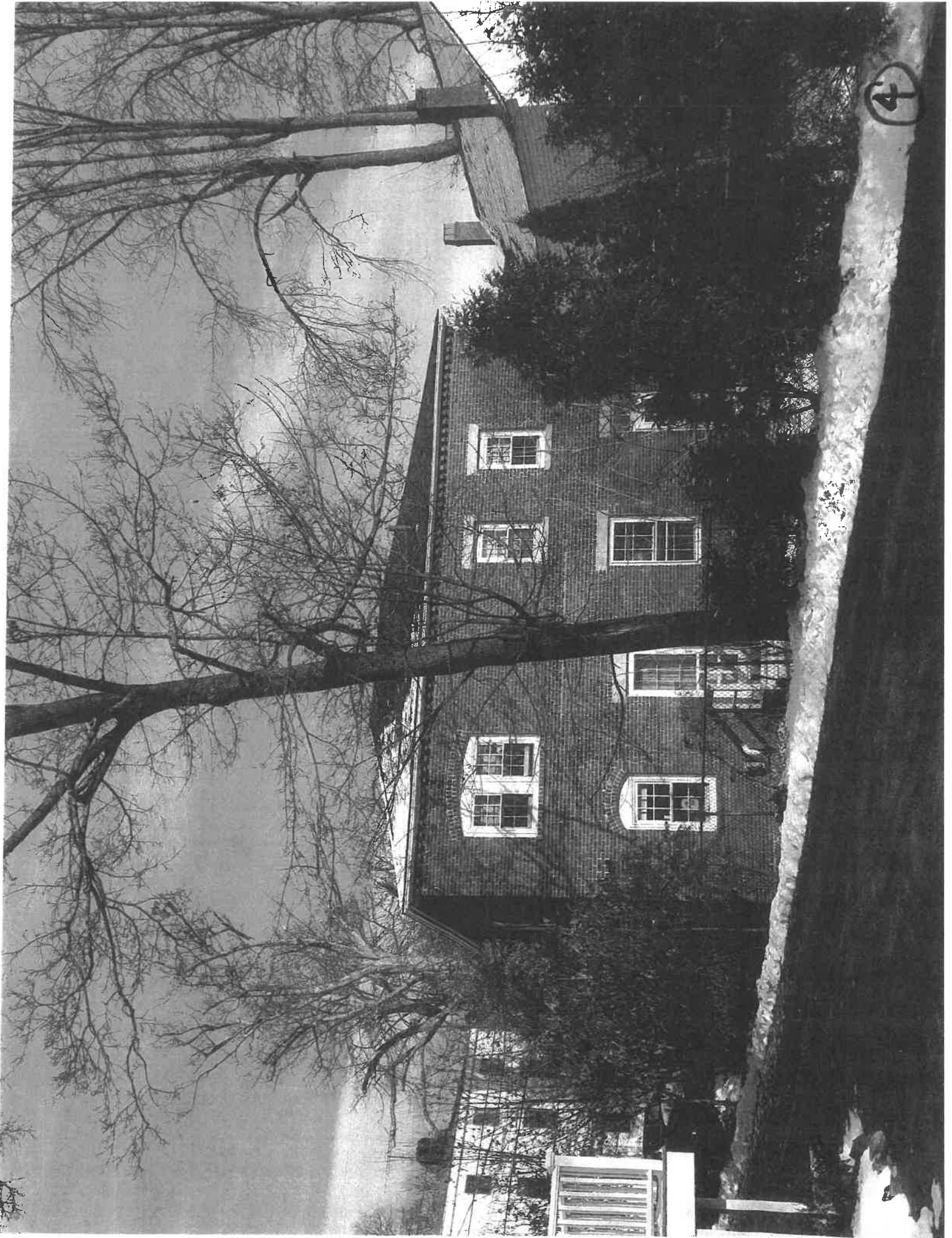
Notes:
 1. See Section 10.533 for special requirements on Lafayette Road.
 2. Within the General Residence C and Garden Apartment/Mobile Home Park districts an additional 8' of height may be added to the maximum structure height in order to provide for multifamily dwellings that include vehicular parking spaces located within the residential building itself, if the additional height results in increased open space when compared to a site plan showing what open spaces would remain if required parking spaces were located in the open and in accessory structures.

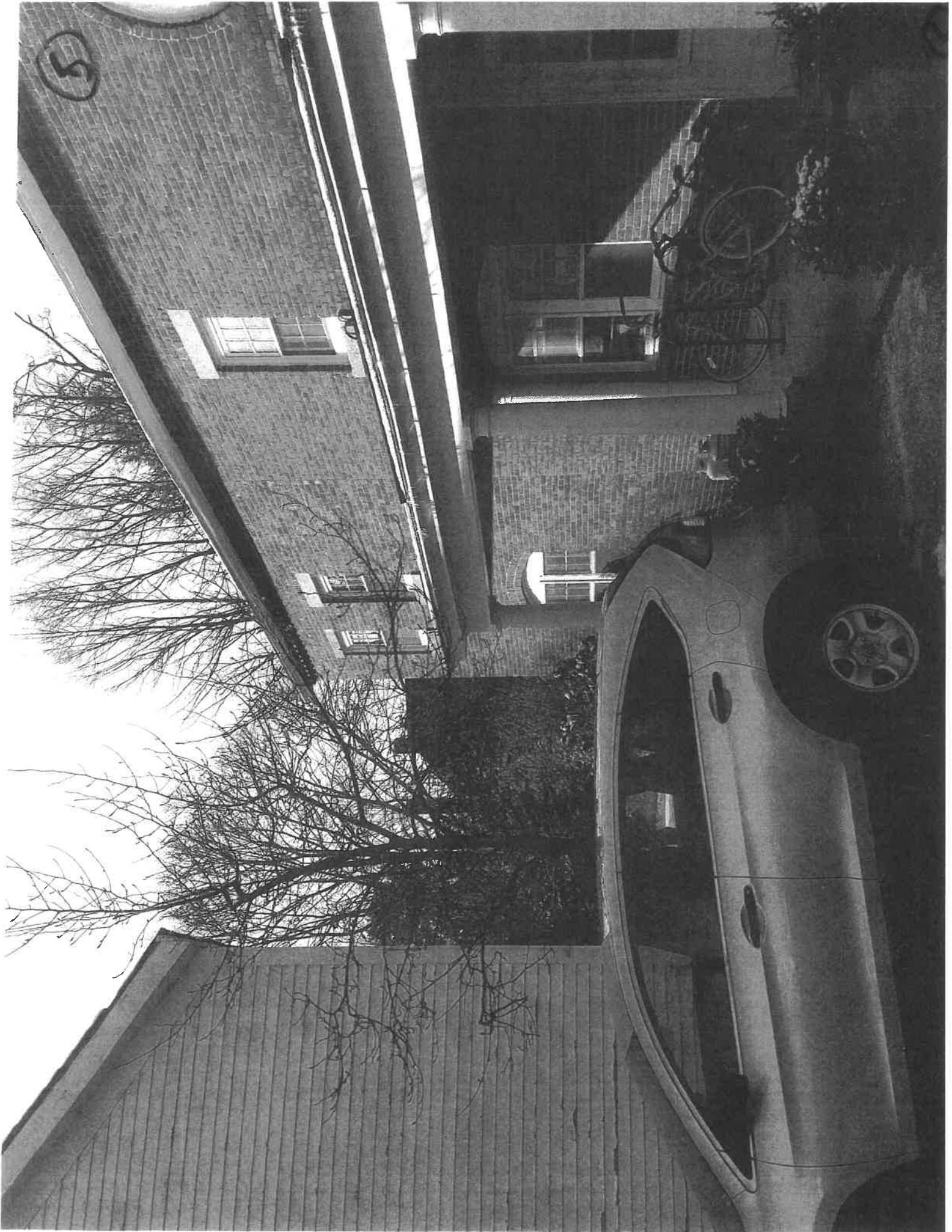
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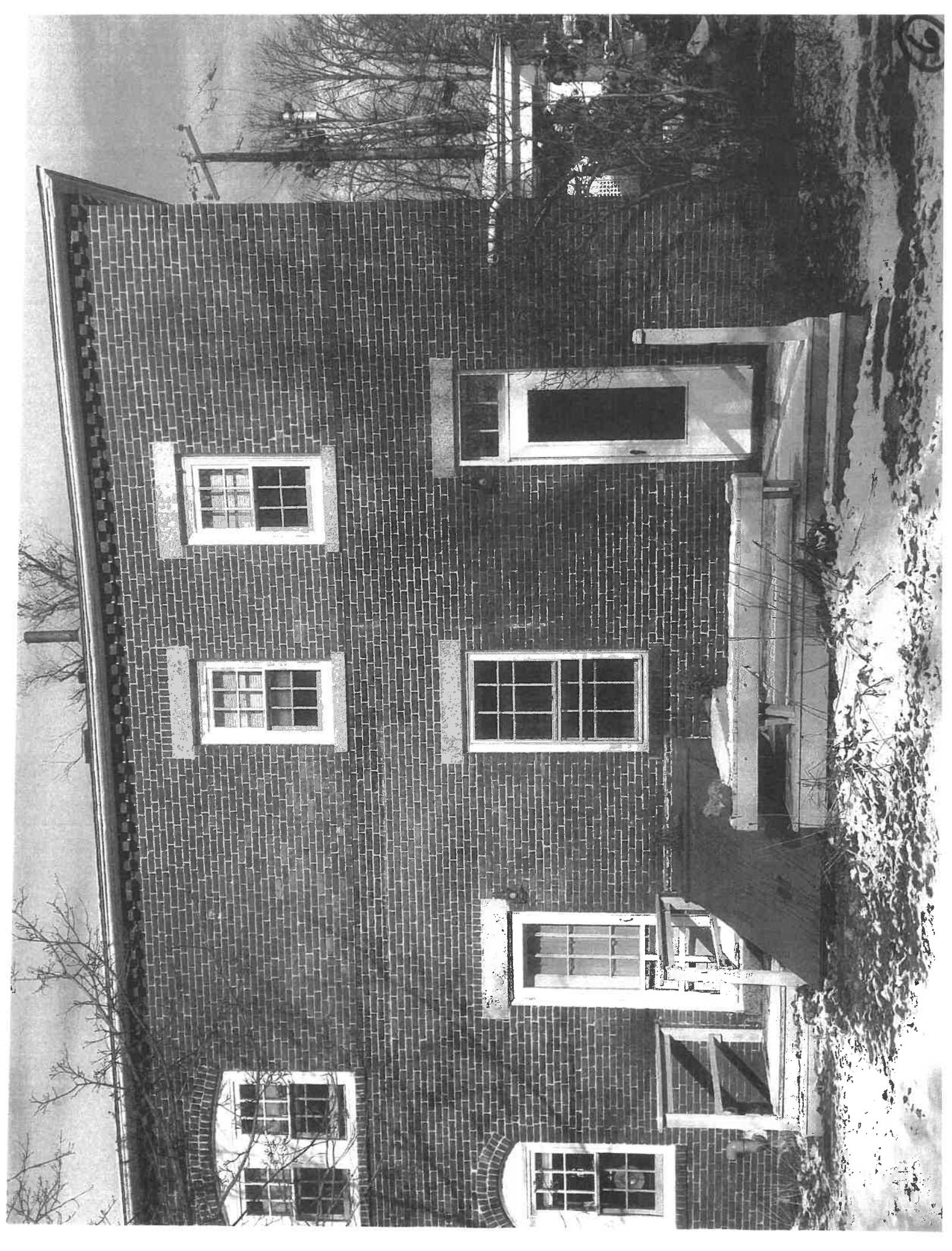


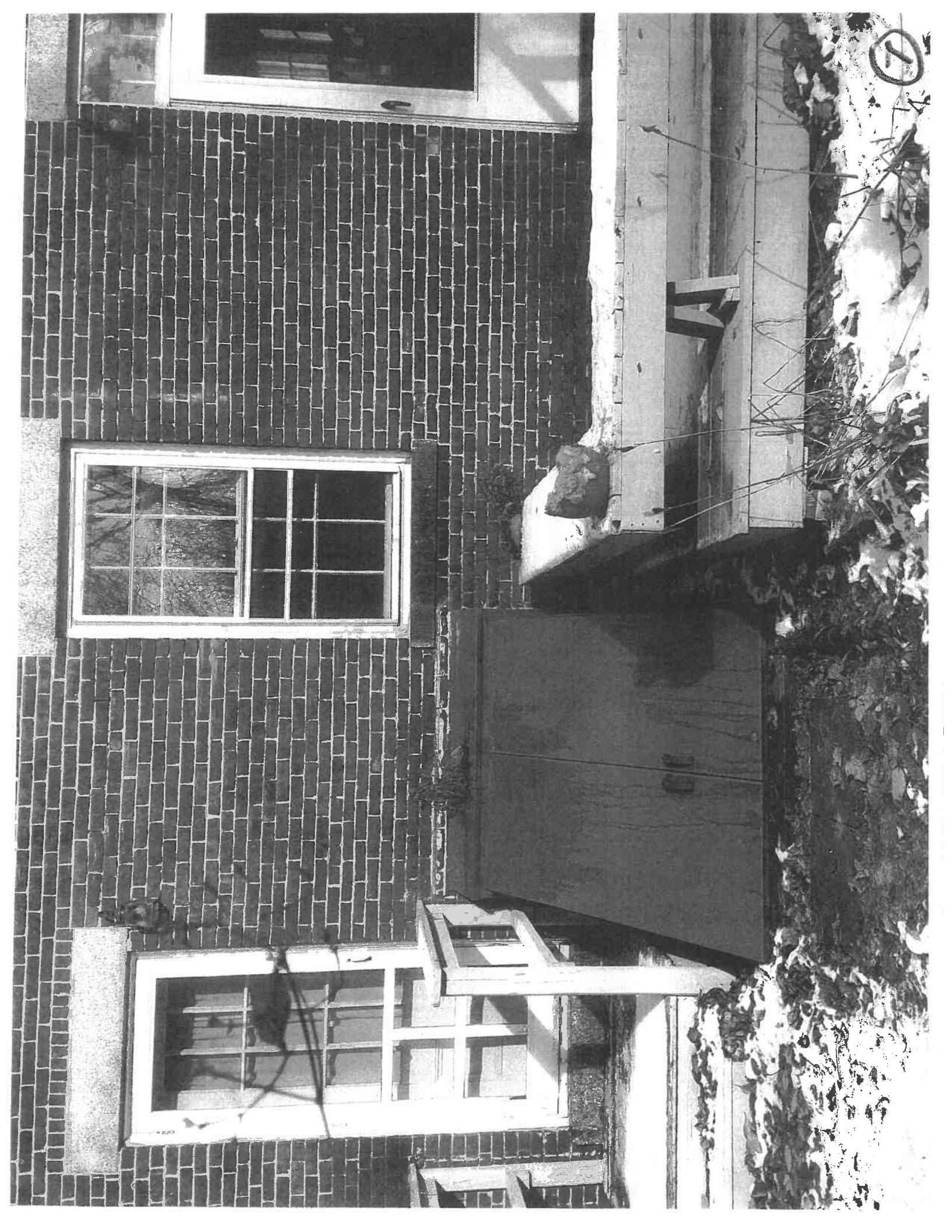


3











13'-0"

ENCLOSED PORCH 200.5 sq

COVERED PORCH 43.5 sq

14'-8"

24'-8"

4'-0"

6'-0"

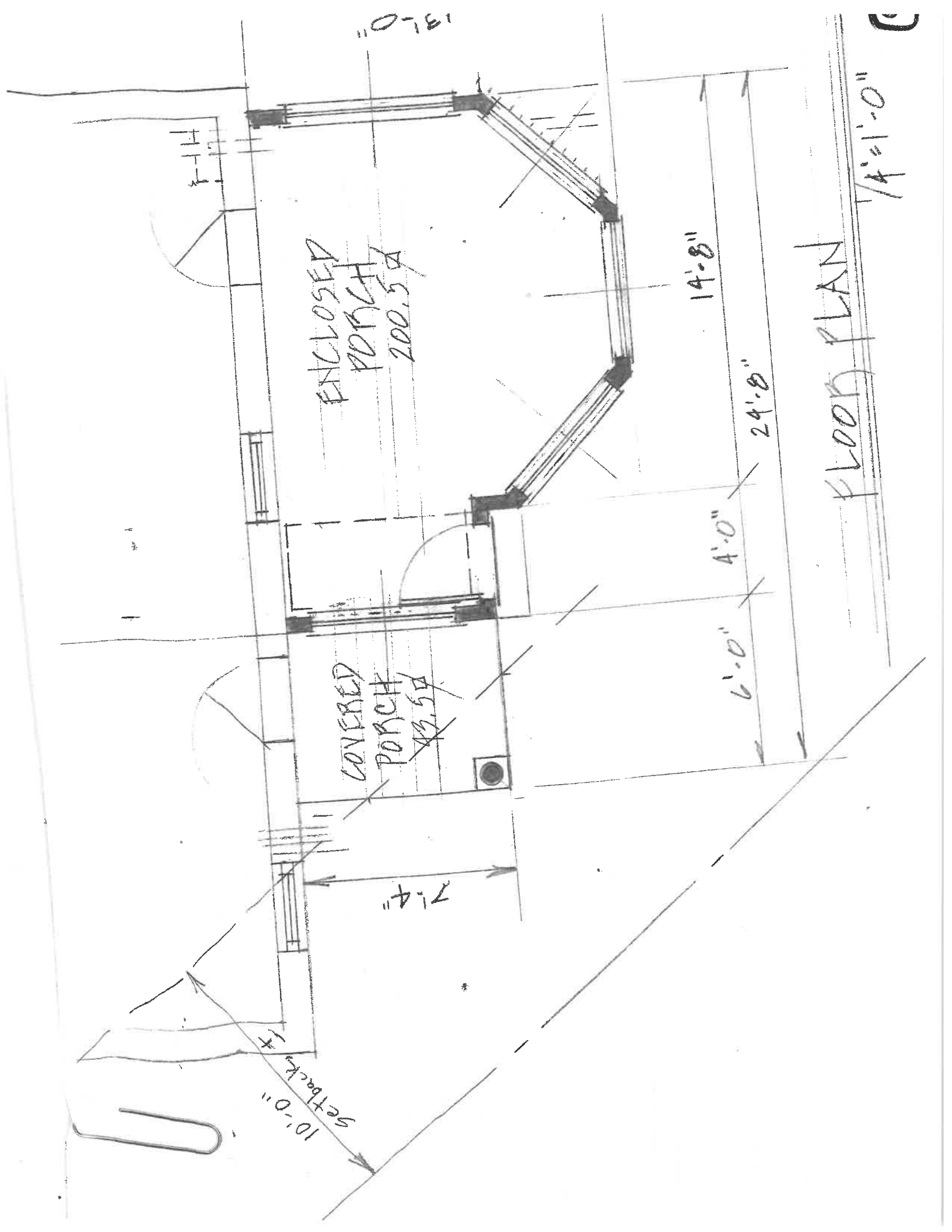
7'-4"

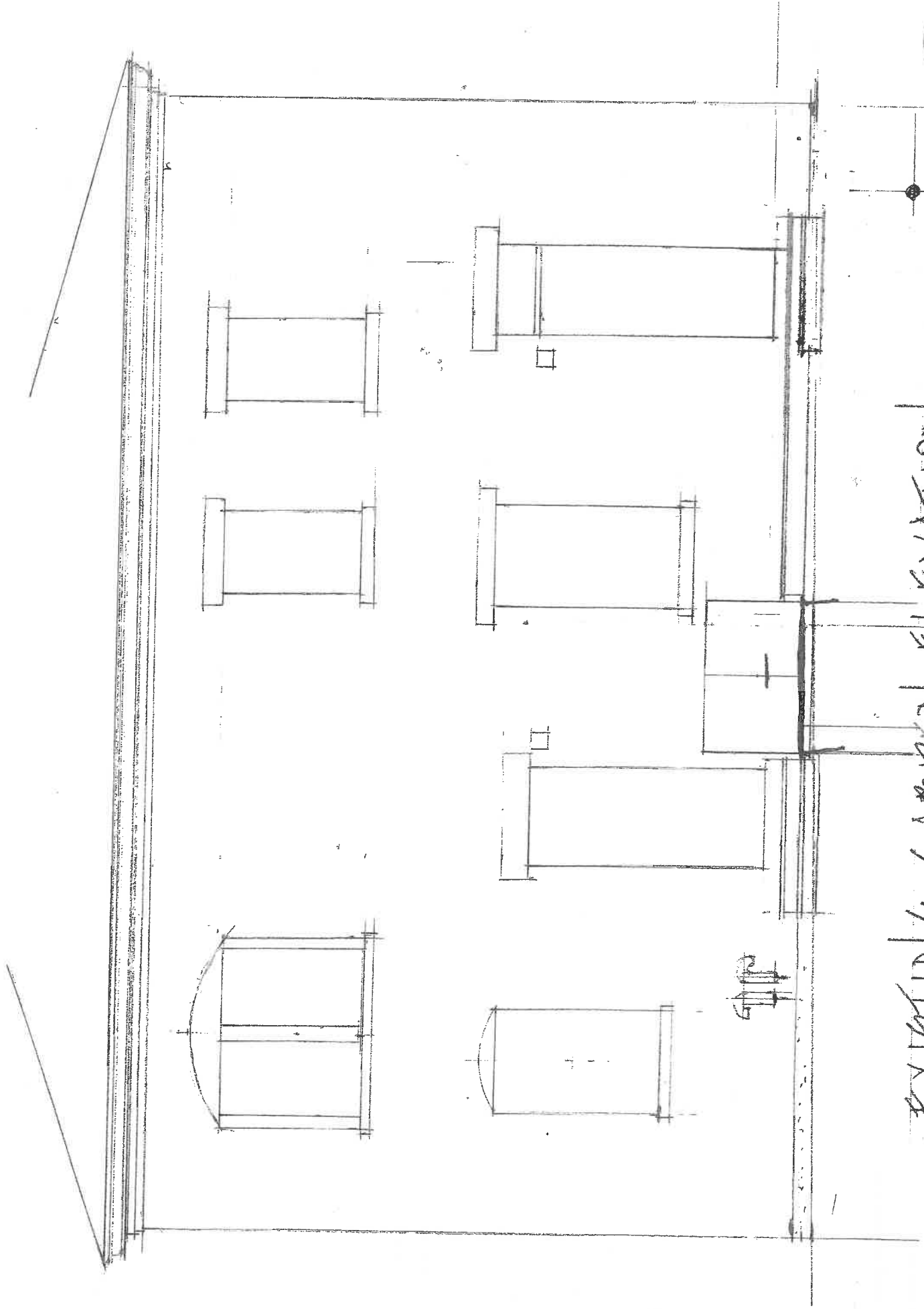
10'-0" setback

FLOOR PLAN

1/4" = 1'-0"

C





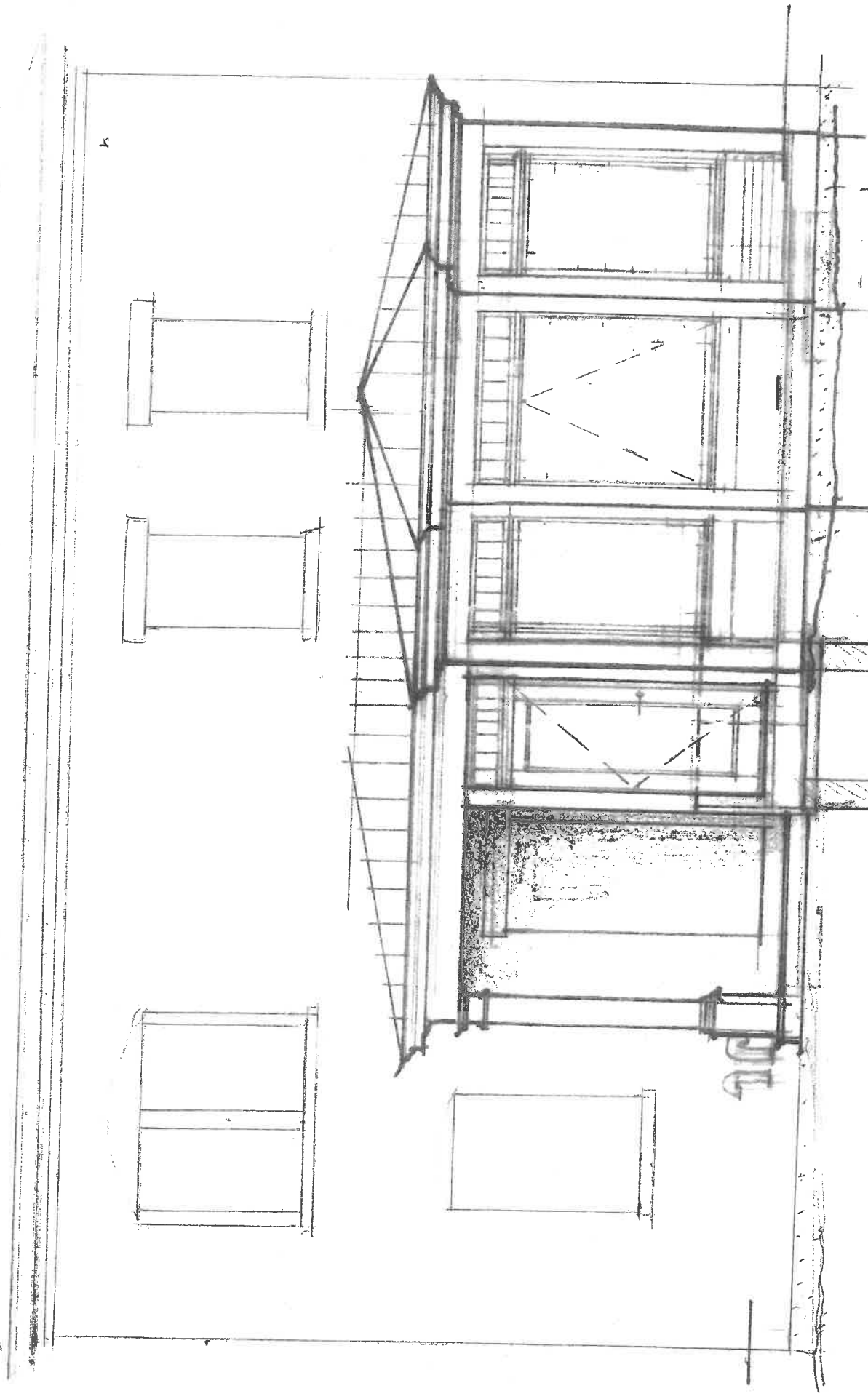
EXISTING GARDEN ELEVATION - 1/4" = 1'-0"



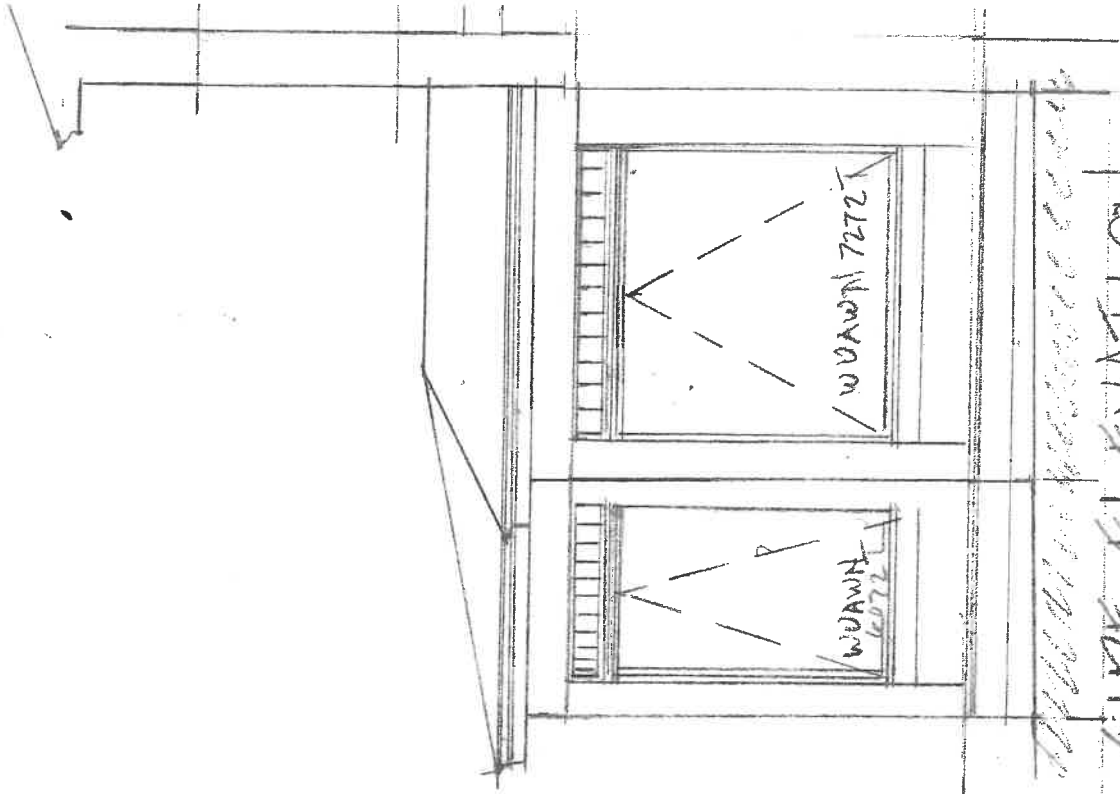
11

1441 11.11.11

GARDEN ELEVATION

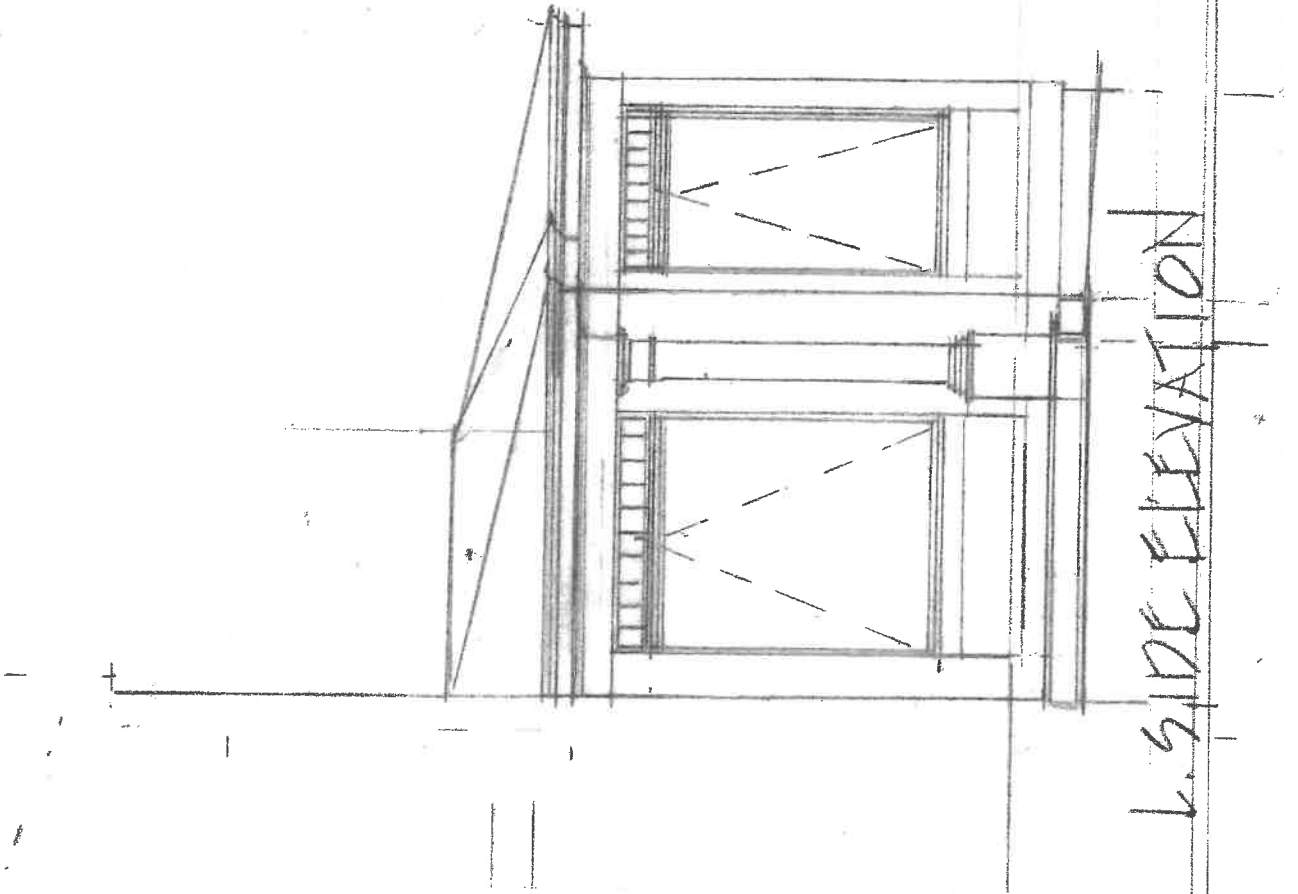


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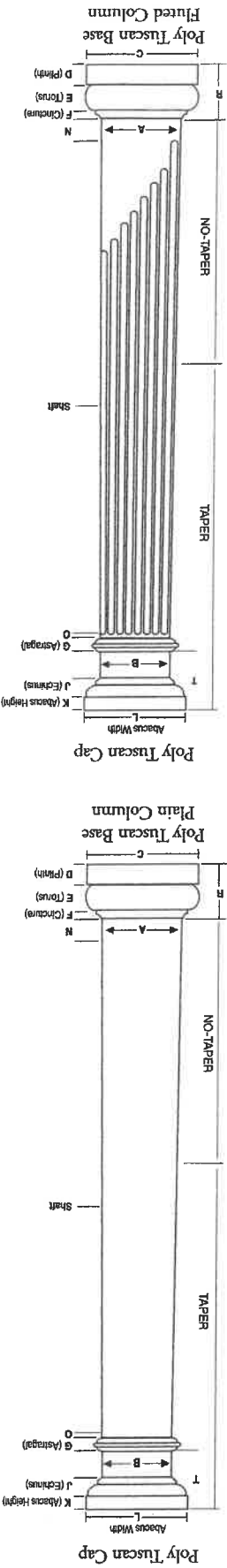
R. SIDE ELEVATION

11'9 1/2"



L. SIDE ELEVATION

Round Tapered PERMACast® Columns



*There may be a variance of up to 1/4" in all dimensions. Fluted columns available in all diameters. See page 16 for Parallel dimensions. See page 18 for Decorative Capital dimensions. □ Standard Fluted Column (Fluted in mold) • Split columns are not load bearing.

COL. SIZE	A	B	C	D	E	F	G	H	I	J	K	L	O	N	R	T	AVAIL. (ft.)
30"	29 1/2"	26 1/2"	41 1/2"	6 1/2"	6 1/2"	38"	2 1/2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	30
28"	27 1/2"	24 1/2"	38 1/2"	6 1/2"	6 1/2"	35 1/2"	2 1/2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	28
24"	23 1/2"	21 1/2"	33 1/2"	6 1/2"	5 1/2"	31 1/2"	2 1/2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	24
22"	21 1/2"	19 1/2"	30 1/2"	5 1/2"	5 1/2"	28 1/2"	2 1/2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	22
20"	19 1/2"	17 1/2"	27 1/2"	4 1/2"	4 1/2"	25 1/2"	2 1/2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	20
18"	17 1/2"	15 1/2"	24 1/2"	4 1/2"	4 1/2"	22 1/2"	2 1/2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	18
16"	15 1/2"	13 1/2"	22 1/2"	3 1/2"	3 1/2"	19 1/2"	2 1/2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	16
14"	13 1/2"	11 1/2"	19 1/2"	3 1/2"	3 1/2"	16 1/2"	2 1/2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	14
12"	11 1/2"	9 1/2"	16 1/2"	2 1/2"	2 1/2"	13 1/2"	2 1/2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	12
10"	9 1/2"	8 1/2"	13 1/2"	2 1/2"	2 1/2"	10 1/2"	2 1/2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	10
8"	7 1/2"	6 1/2"	10 1/2"	1 1/2"	1 1/2"	7 1/2"	2 1/2"	2 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	8
6"	5 1/2"	4 1/2"	7 1/2"	1 1/2"	1 1/2"	4 1/2"	1 1/2"	1 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	3 1/2"	6

ROUND PERMACAST® INSIDE DIMENSIONS

Inside dimension may vary up to 1/8". Splitting a column will decrease inside dimension 1/8".

COL. SIZE	TOP I.D.	BOT I.D.
30"	25 1/2"	28 1/2"
28"	22 1/2"	26 1/2"
24"	20"	22 1/2"
22"	18 1/2"	20 1/2"
20"	16 1/2"	18 1/2"
18"	14 1/2"	16 1/2"
16"	12 1/2"	15"
14"	10 1/2"	12 1/2"
12"	8 1/2"	10 1/2"
10"	7 1/2"	8 1/2"
8"	5 1/2"	6 1/2"
6"	3 1/2"	4 1/2"

*Plain columns only



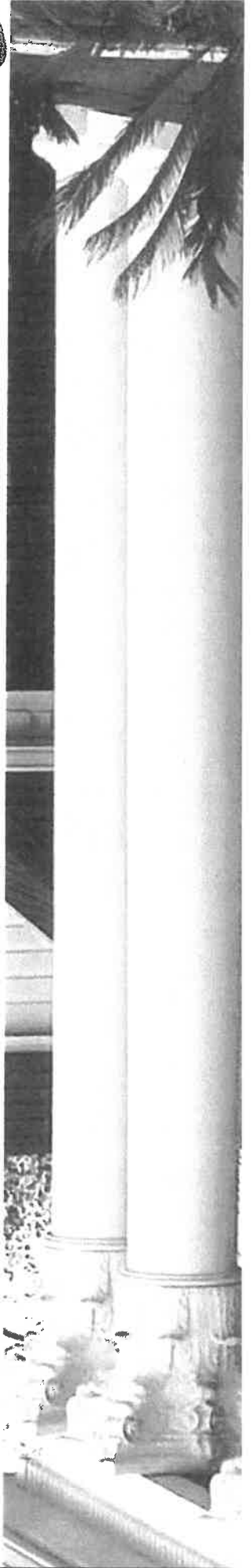
PLUMB-FIT®

Column-Loc® creates a continuous connection from floor to beam/header without the expense of splitting and reattaching the column. This labor saving product is easy to install and delivers wind uplift resistance especially important in coastal and high wind areas. Currently available for 8" and 10" round (tapered and no-taper) and square PermaCast® columns. Kits are available with and without threaded rod in lengths up to 12'.

To make installation even easier our 6"-12" round and square poly Tuscan Cap and Base Sets with flashing cap come with the Plumb-Fit® patented (Patent 9689674) installation system included.

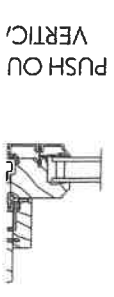
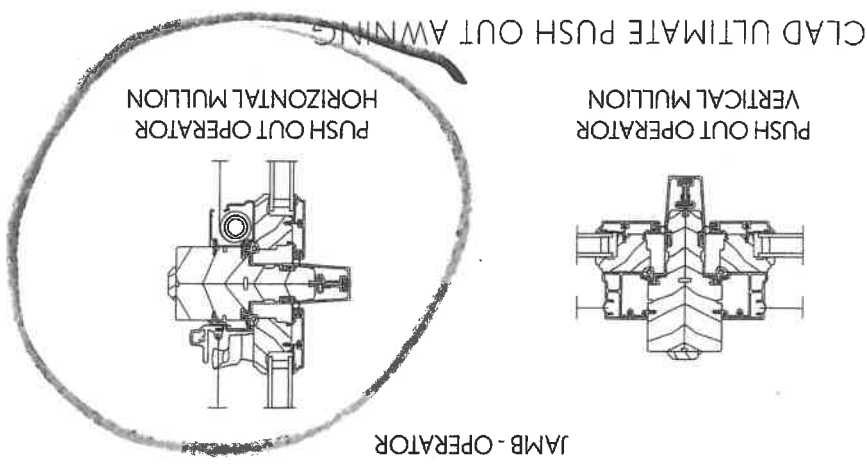
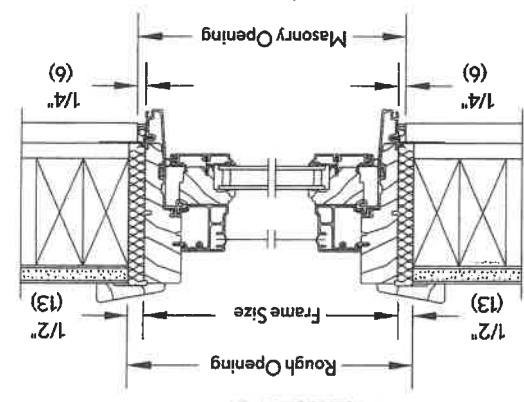
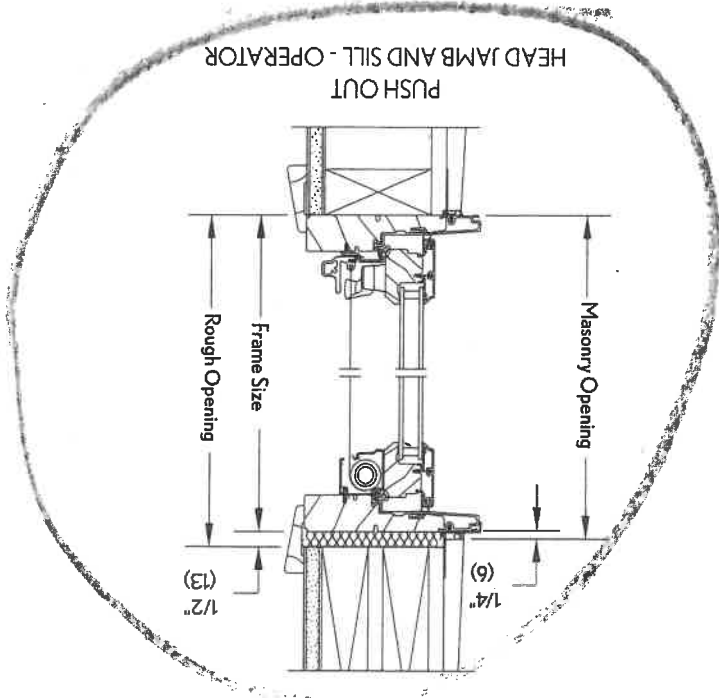
ROUND PERMACAST® PORCH INSTALLATION BRACKET

The HB&G Porch Installation Bracket includes the bracket and all required hardware. The bracket fits 20" - 30" Plain Round PermaCast® Columns. Three brackets are required for each column.



Marvin

CLAD ULTIMATE PUSH OUT AWNING
CONSTRUCTION DETAILS



2. 121 Mechanic Street - Recommended Approval

Background: The applicant is seeking approval to replace in-kind only one (1) one of two previous accessory buildings on the site. The reconstructed building will retain original dimensions, location, and configuration.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

02/07/2020

To whom it may concern,

I am going to replacing in-kind one of the two buildings that were taken down in continuation of the renovation of the bulkhead on the property of 121 Mechanic St. The conditions are being followed in strict accordance with the NHDES Permit # 2017-02602 that is currently on file and recorded with the NH Registry of Deeds and the NH Department of Environmental Services.

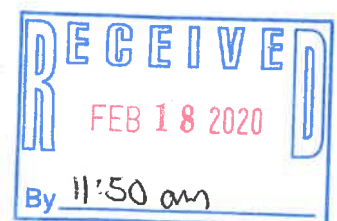
The reconstructed building shall remain in its in-kind dimensions, location, and configuration. This will include some of the original doors and windows which are being refurbished and used in the rebuild, along with wooden shingles.

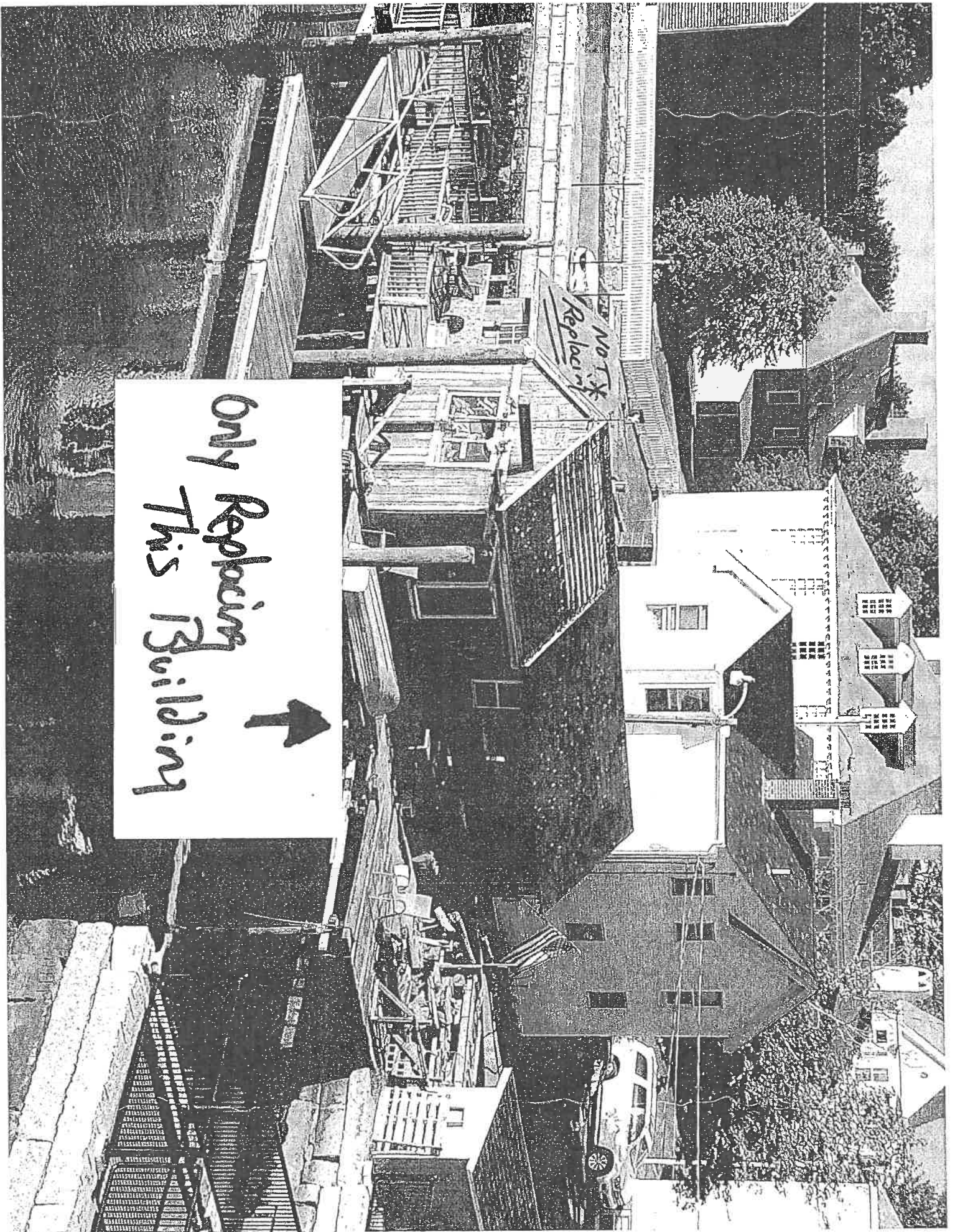


Jason Brewster

121 Mechanic St

Portsmouth NH



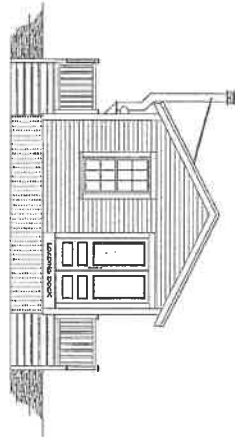


Only Replacing
This Building



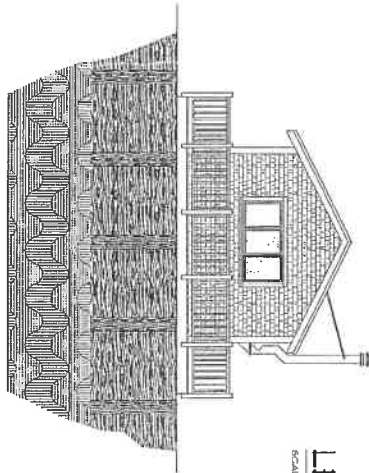
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



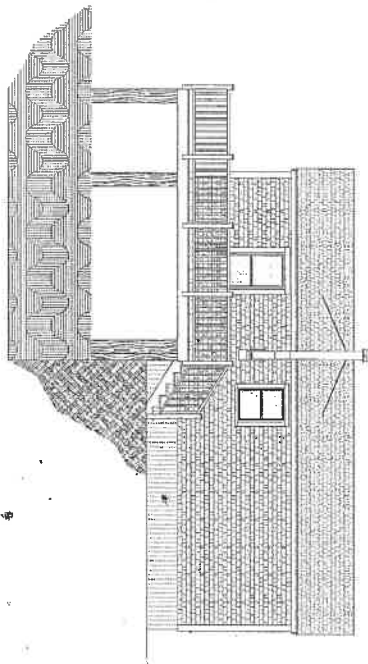
REAR ELEVATION

SCALE: 1/4" = 1'-0"



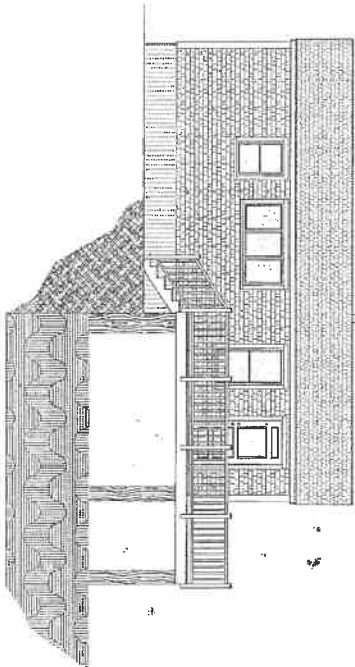
LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



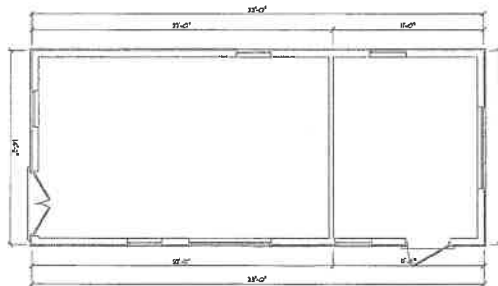
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

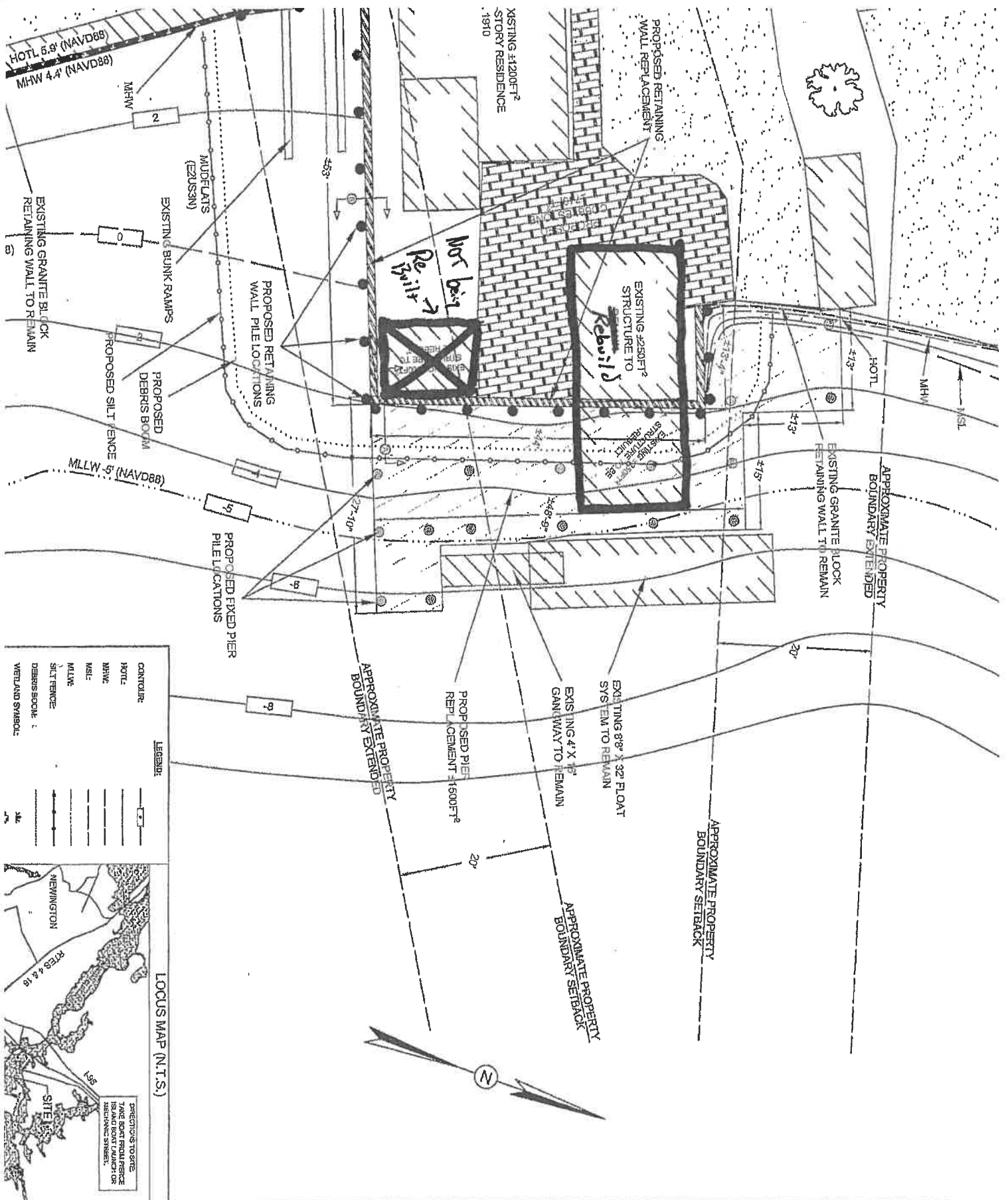


FLOOR PLAN

468 SQUARE FEET
SCALE: 1/4" = 1'-0"

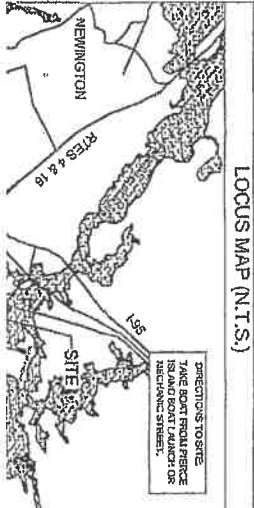


SHEET NUMBER A1	PLAN NUMBER 1079	JASON BREWSTER 121 MECHANIC STREET PORTSMOUTH, NH 03801	DATE	DESCRIPTION	NEWMARKET PLAINS, LLC. HOME DESIGN SERVICE NEWMARKETPLAINSLLC@COMCAST.NET WWW.NEWMARKETPLAINSLLC.COM 603-659-0385	REGISTERED ARCHITECT A1 B.D. ARCHITECTURE



LEGEND

COUNTLINE	---
HOTI	---
MHW	---
MSL	---
MLW	---
SILT FENCE	---
DEBRIS BOX	---
WETLAND SYMBOL	---



WETLAN
 PREPARED F
 AGENT: TM MAI



- 4.1500 ft²
- 2. This plan does and surveyor measurements owners repres
- 3. Field locations Topography by Oicant
- 4. HOTI delinea Wetlands Delit Bureau.
- 5. Total proposer
- 6. Total proposer
- 7. Construction C
- 7.1. The first residence
- 7.2. The exist demofish small lan
- 7.3. A replace follows:
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- 7.5. A cobble concrete front of
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- 7.6. The exist
- 7.7. The exist
- 7.8. A detail applicat



Department of Environmental Services



Robert R. Scott, Commissioner

WETLANDS AND NON-SITE SPECIFIC PERMIT 2017-02602

Permittee: JASON BREWSTER NOTE CONDITIONS
121 MECHANIC ST
PORTSMOUTH NH 03801
Project Location: 121 MECHANIC STREET, PORTSMOUTH
TAX MAP/LOT NO: 103 / 31
Waterbody: PISCATAQUA RIVER

APPROVAL DATE: OCTOBER 02, 2017 EXPIRATION DATE: OCTOBER 02, 2022

Based upon review of the above referenced application, in accordance with RSA 482-A and RSA 485-A:17, a Wetlands Permit and Non-Site Specific Permit was issued. This permit shall not be considered valid unless signed as specified below.

PERMIT DESCRIPTION: In-kind repair and reconstruction of an existing, grandfathered site in Portsmouth's historic waterfront district, including: 1) reconstruction in-kind of 125 linear feet of timber bulkhead retaining wall, including removal of 1,500 square feet of existing pier and its storage shed for access to a portion of the bulkhead, and reconstruction in-kind thereafter of the pier and shed structure, including replacement of 17 supporting pilings; 350 square feet of temporary impact in the tidal buffer zone to excavate out deteriorated eroding fill behind the bulkhead for reconstruction access, and refill in place with new, properly bedded material; and 2) Retain after-the-fact placement of 740 square feet of cobblestone pavers which replaced existing concrete paving in the tidal buffer zone with in the same footprint; remove and re-install 60 square feet of the same cobblestone pavers as temporary construction access disturbance.

THIS APPROVAL IS SUBJECT TO THE FOLLOWING PROJECT SPECIFIC CONDITIONS:

- 1. All work shall be in accordance with materials by TM Marine dated 8/11/2017, as received by the NH Department of Environmental Services (NHDES) on 8/29/2017, and per revised plans by TM Marine dated 9/28/17 as received by NHDES on 9/28/2017.
2. This permit is not valid and effective until it has been recorded with the appropriate county Registry of Deeds by the applicant. Prior to starting work under this permit, the permittee shall submit a copy of the recorded permit to the DES Wetlands Program by certified mail, return receipt requested.
3. Not less than 5 state business days prior to starting work authorized by this permit, the permitted shall notify the DES Wetlands Program and the local conservation commission in writing of the date on which work under this permit is expected to start.
4. Existing grandfathered dock/wharf buildings present or removed and reconstructed under this permit shall remain in their grandfathered in-kind dimensions, location and configuration, or shall lose grand-fathered status for non-conforming structures.
5. Appropriate siltation and erosion controls shall be in place prior to construction, shall be maintained during construction, and shall remain until the area is stabilized. Temporary controls shall be removed once the area has been stabilized.
6. Any repairs or replacement of the seasonal structures (gangway, floats) documented herein, shall maintain the size,

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REGISTRY OF DEEDS

BK 5873 PG 2686

location, and configuration of the pre-existing structures.

- 7. Construction of the bulkhead wall and dock shall occur from land, or from a barge and crane if land-based construction is not feasible, to reduce potential impacts to the salt marsh and intertidal zone.
- 8. Any substandard fill removed as part of the bulkhead replacement shall be removed from the site and disposed of in an appropriate and legal manner.
- 9. The seasonal structures, including but not limited to ramp and floats, shall be removed during the non-boating season and stored on the existing pier or in an upland location.

GENERAL CONDITIONS THAT APPLY TO ALL NHDES WETLANDS PERMITS:

- 1. A copy of this permit shall be posted on site during construction in a prominent location visible to inspecting personnel;
- 2. This permit does not convey a property right, nor authorize any injury to property of others, nor invasion of rights of others;
- 3. The Wetlands Bureau shall be notified upon completion of work;
- 4. This permit does not relieve the applicant from the obligation to obtain other local, state or federal permits, and/or consult with other agencies as may be required (including US EPA, US Army Corps of Engineers, NH Department of Transportation, NH Division of Historical Resources (NH Department of Cultural Resources), NHDES-Alteration of Terrain, etc.);
- 5. Transfer of this permit to a new owner shall require notification to and approval by NHDES;
- 6. This project has been screened for potential impacts to **known** occurrences of protected species and exemplary natural communities in the immediate area. Since many areas have never been surveyed, or have only received cursory inventories, unidentified sensitive species or communities may be present. This permit does not absolve the permittee from due diligence in regard to state, local or federal laws regarding such communities or species.
- 7. Review enclosed sheet for status of the US Army Corps of Engineers' federal wetlands permit.

APPROVED:

Dori Wiggin

Dori Wiggin
NHDES Wetlands Bureau

=====

BY SIGNING BELOW I HEREBY CERTIFY THAT I HAVE FULLY READ THIS PERMIT AND AGREE TO ABIDE BY ALL PERMIT CONDITIONS.

Jason Brewster

OWNER'S SIGNATURE (required)
JASON Brewster

Vincent Tacetta

CONTRACTOR'S SIGNATURE (required)
Vincent Tacetta

MAIL TO
Brewster
121 Mechanic St
Portsmouth NH 03801

3. 39 Pray Street

- Recommended Approval

Background: The applicant is seeking approval to replace (4) existing skylights and replace main house roofing to match rear addition.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____



Front Elevation, replace 2 exist. Velux Skylights, same size & location



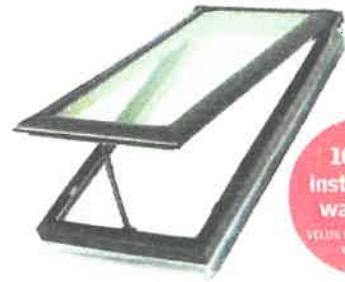
Rear Elevation, replace 2 exist. Velux Skylights, same size & location

Replace Main House Roofing to Match Rear Additon,
Architectural Onyx Black Asphalt Shingles.

39 Pray Street

Deck-mounted skylights

Manual venting skylight - model VS



Scan for product information



- Pre-mounted Pick&Click!™ system brackets make the installation of sunscreen blinds a snap.
- Factory pre-finished white frames and sashes provide for a high quality finish that eliminates the need for secondary high cost trips by a painter.
- Opened and closed manually with VELUX control rods when out of reach.
- Smooth-turning handle for when the skylight is installed within reach.

SKYLIGHT		100	105	106	107	108	109	110	111	112
Outside frame	in.	21 1/2 x 27 1/8	21 1/2 x 38 3/8	21 1/2 x 46 1/8	21 1/2 x 54 1/8	30 1/16 x 38 1/8	30 1/16 x 46 1/8	30 3/16 x 54 1/16	44 1/8 x 27 1/8	44 1/8 x 46 1/8
Rough opening	in.	21 x 26 7/8	21 x 37 7/8	21 x 45 1/4	21 x 54 1/2	30 1/16 x 37 7/8	30 1/16 x 45 7/8	30 1/16 x 54 1/16	44 1/8 x 26 7/8	44 1/8 x 45 1/8
Daylight Area	in.	16 x 20.44	16 x 31.5	16 x 39.36	16 x 48	25 x 31.5	25 x 39.38	25 x 48	39.25 x 20.44	39.25 x 39.38
Ventilation Area	sq. ft.	2.60	3.56	4.14	4.71	4.17	4.75	5.32	4.31	5.84

REAR ROOF

FRONT ROOF

www.veluxusa.com

REPLACEMENT SKYLIGHTS.

39 PRAY ST.



Show your customers how skylights can transform any room in their home. Available on iPhone, iPad, iPod and Android smartphones.

30

www.veluxusa.com

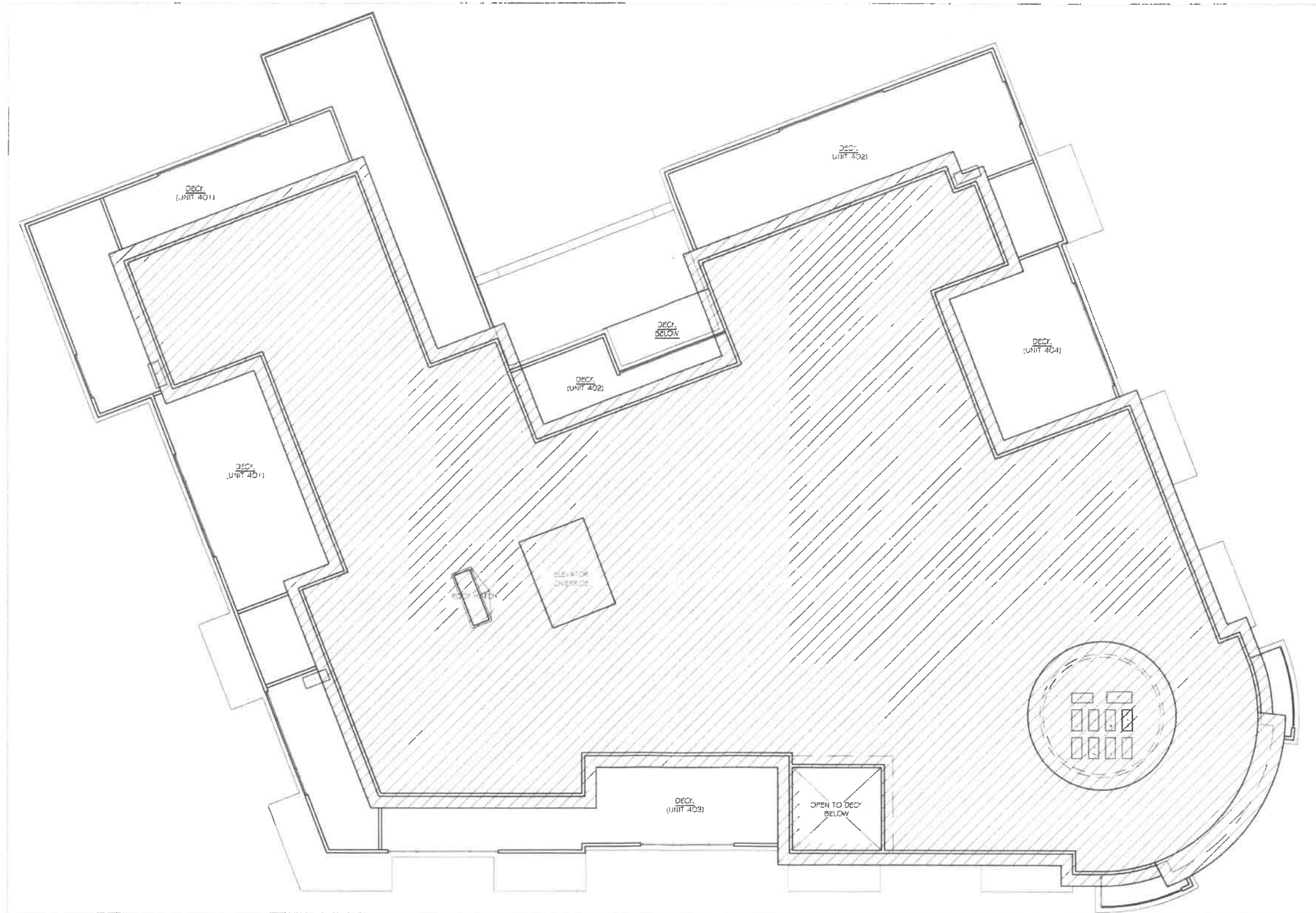
4. 46 Maplewood Avenue - T.B.D.

Background: The applicant is seeking approval for an amendment to a previously approved design (change mechanical vent locations, replace (2) doors with windows, and a new storefront assembly).

Staff Comment: T.B.D.

Stipulations:

1. _____
2. _____
3. _____



Previously Approved Roof Plan

SCALE: $\frac{1}{16}'' = 1'-0''$

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

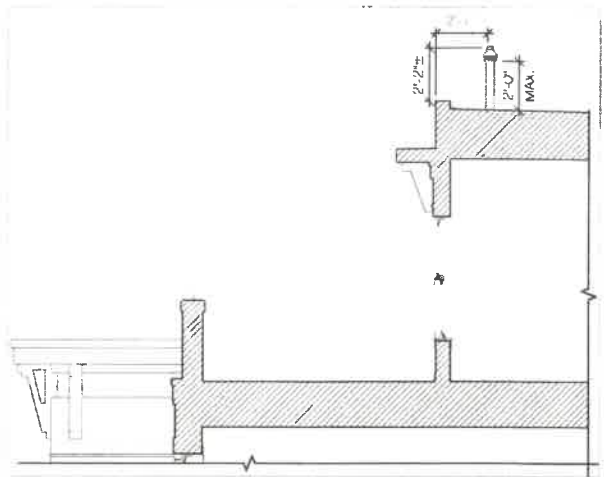
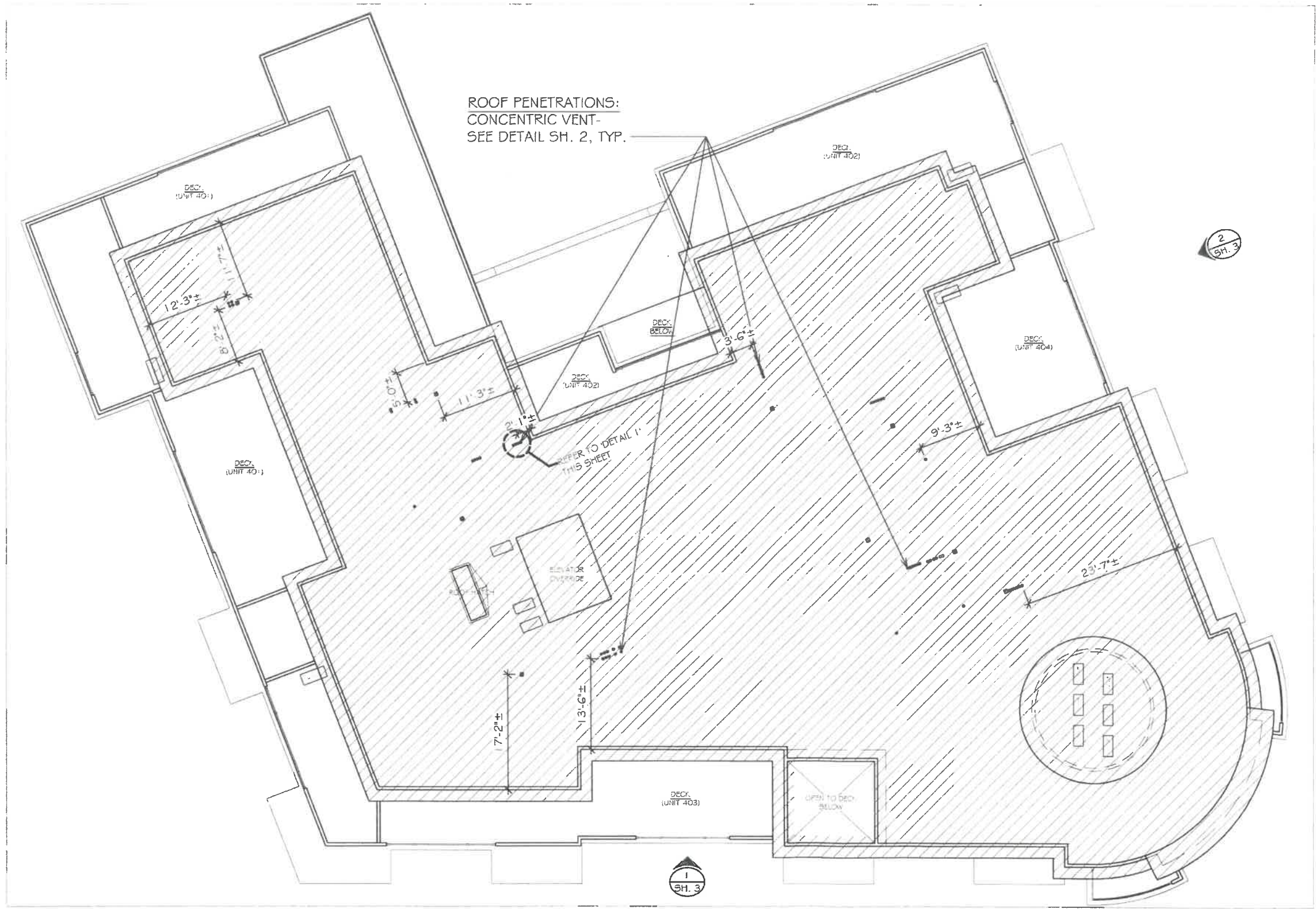
SCALE: AS NOTED

AA

3.4.20

SH. 1





Concentric Vent Detail
SCALE: N.T.S.

NOTES:

1. CLOSEST OFFSET FROM PARAPET-LOCATIONS VARY, REFER TO ROOF PLAN THIS SHEET [SH. 2] FOR MORE OFFSET DIMENSIONS.
2. SEE VISIBILITY FROM STREET LEVEL, SHEET 3, FOR MORE INFORMATION.

Proposed Roof Plan

SCALE: 1/8" = 1'-0"

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

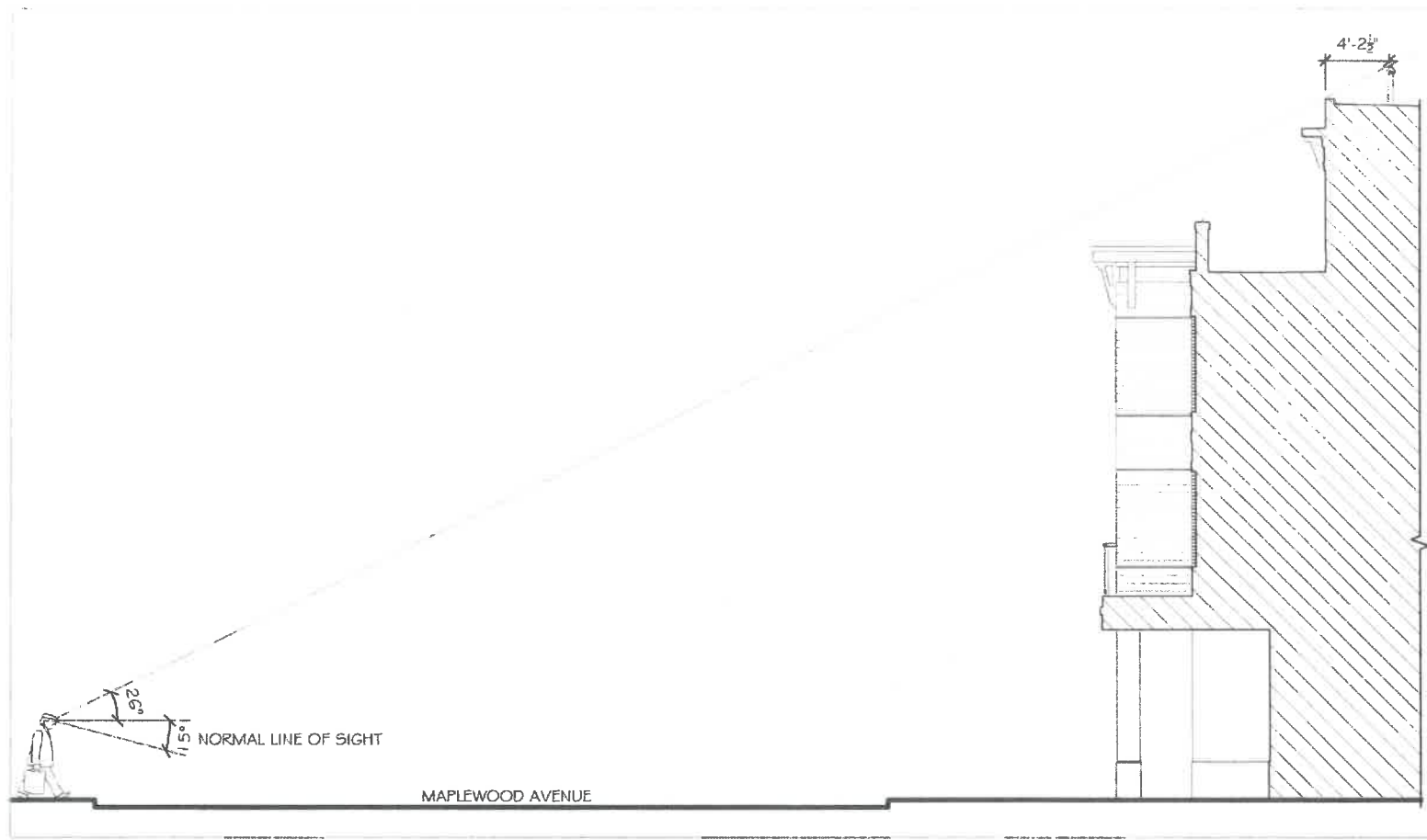
SCALE: AS NOTED

AA

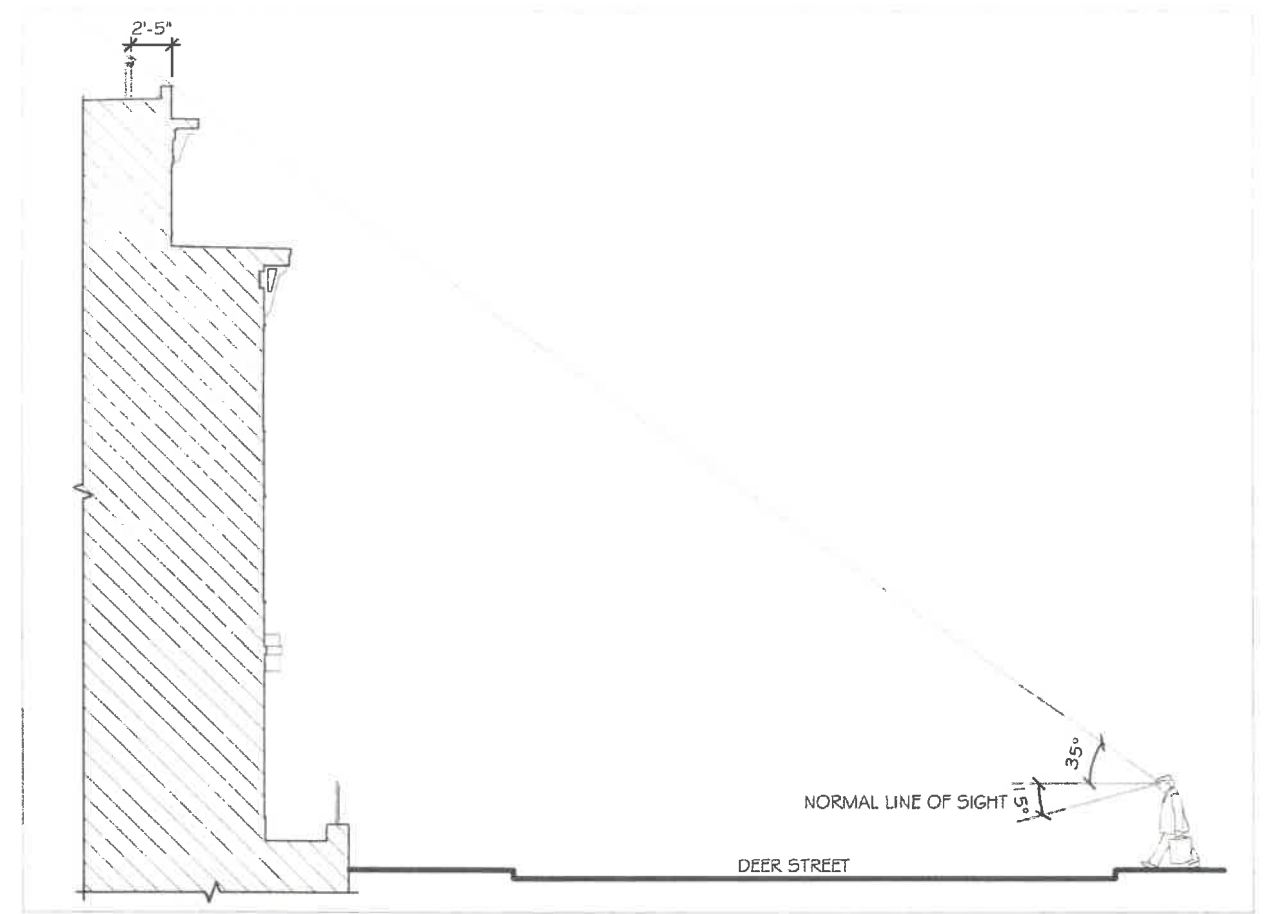
3.4.20

SH. 2





1 **Rooftop Vent Views: Maplewood Avenue**
SCALE: Not to Scale



2 **Rooftop Vent Views: Deer Street**
SCALE: Not to Scale

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

3.4.20

SH. 3



VENT LEGEND

- A:  BATH, DRYER & EXHAUST VENTS:
8 1/8" L x 6 3/4" H
- B:  BATH, DRYER & EXHAUST VENTS:
12" L x 6 3/4" H
- C:  BATH, DRYER & EXHAUST VENTS:
16 1/2" L x 6 3/4" H

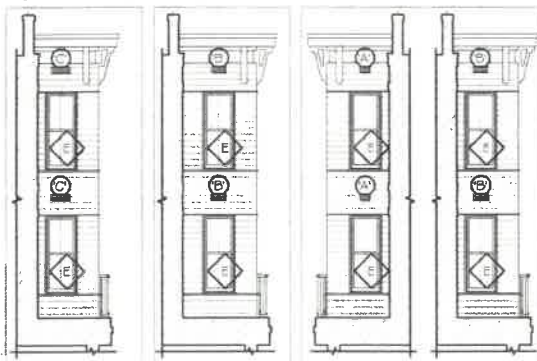


Previously Approved Maplewood Avenue Elevation
SCALE: N.T.S.



Previously Approved Rounded Corner
SCALE: N.T.S.

SIDEWALLS CORRESPOND w/ELEVATION FROM LEFT - RIGHT



Sidewall Details
SCALE: N.T.S.



Proposed Maplewood Avenue Elevation
SCALE: N.T.S.

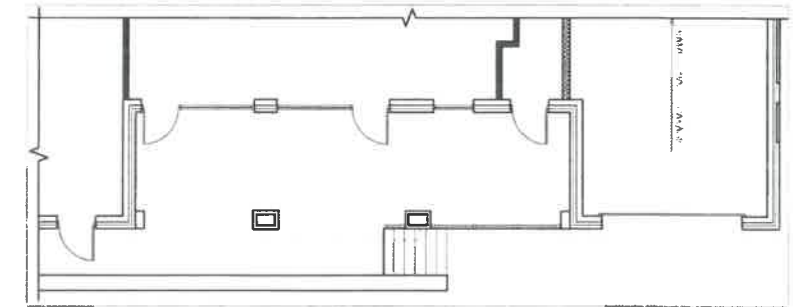


Proposed Rounded Corner- [No Change]
SCALE: N.T.S.



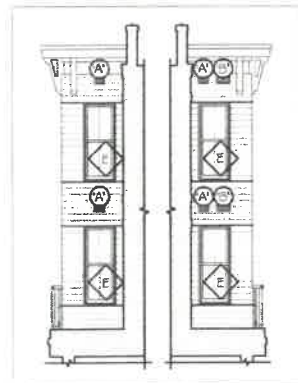


Previously Approved Deer Street Elevation
SCALE: N.T.S.



Previously Approved Deer Street Storefront
SCALE: N.T.S.

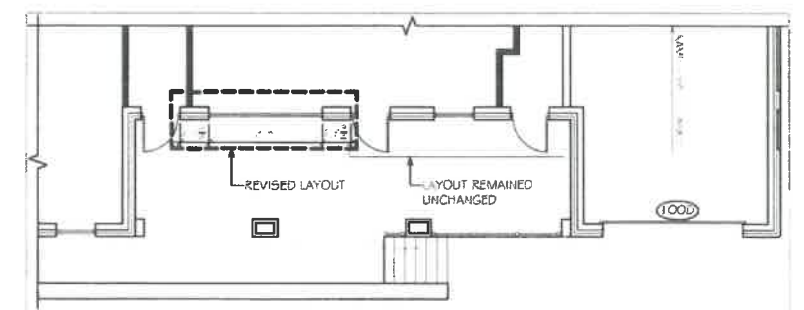
SIDEWALLS CORRESPOND w/ELEVATION FROM LEFT - RIGHT



Sidewall Detail
SCALE: N.T.S.



Proposed Deer Street Elevation
SCALE: N.T.S.



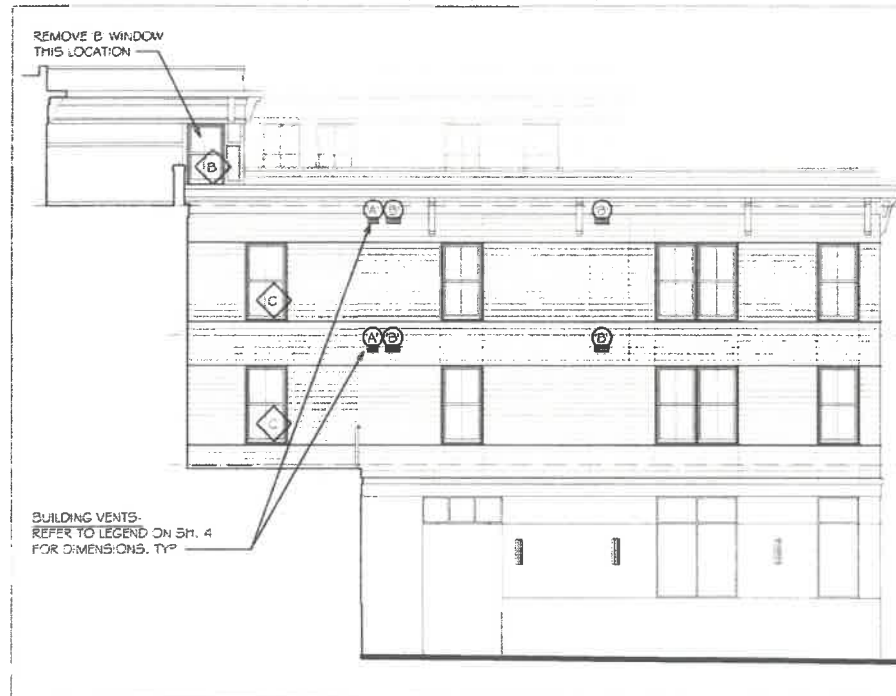
Proposed Deer Street Storefront
SCALE: N.T.S.



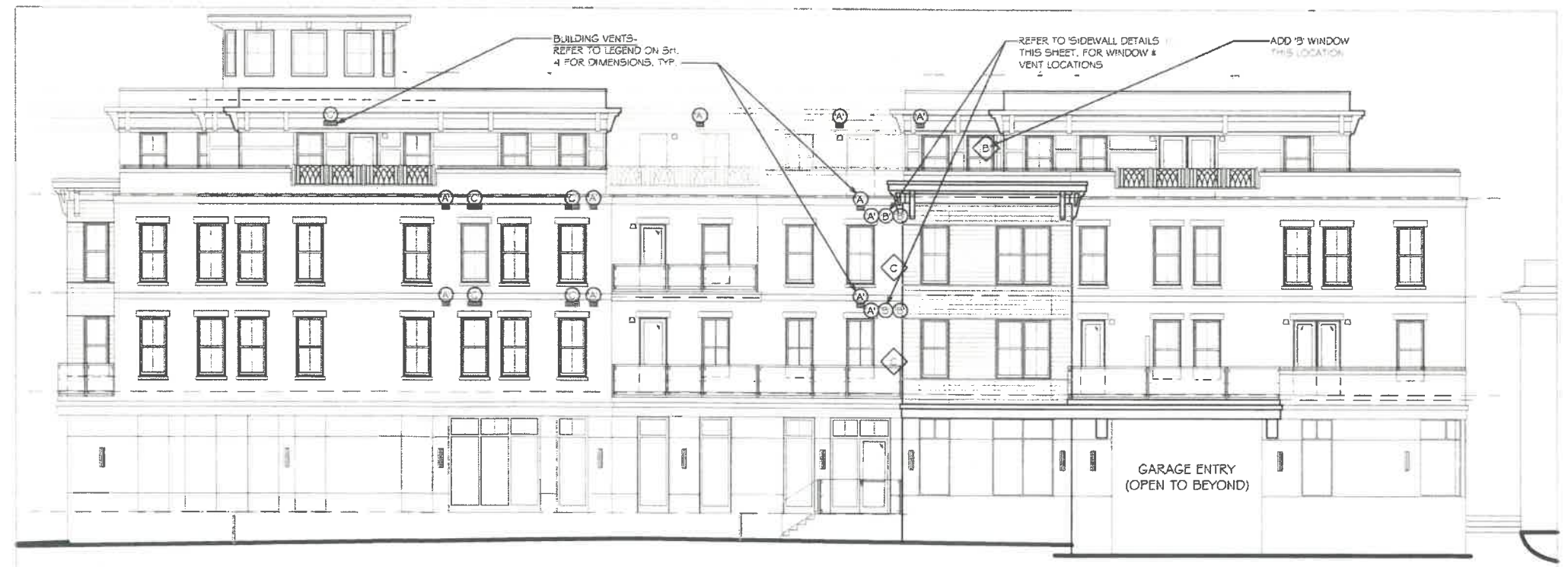


Previously Approved Bridge Street Elevation
SCALE: N.T.S.

SIDEWALLS CORRESPOND w/ELEVATION FROM LEFT - RIGHT



Sidewall Detail
SCALE: N.T.S.



Proposed Bridge Street Elevation
SCALE: N.T.S.





Previously Approved Pedestrian Way Elevation

SCALE: N.T.S.



Proposed Pedestrian Way Elevation

SCALE: N.T.S.

SIDEWALLS CORRESPOND w/ELEVATION FROM LEFT - RIGHT



Sidewall Details

SCALE: N.T.S.

46 Maplewood Avenue, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760 Amoskeag Architectural 603/606.7878

SCALE: AS NOTED

AA

3.4.20

SH. 7



BV100 EXTRUDED ALUMINUM BRICK VENTS

STANDARD CONSTRUCTION

FRAME

6063T5 extruded aluminum, .100" nominal wall thickness. Standard frame depth is 4" (102). 1/8" (3) mortar ribs on top and bottom of frame add 1/4" (6) to nominal height. Optional 15/16" (33) deep flange frame height and width does not include 1" (25) face flange.

BLADES

6063T5 extruded aluminum, .100" minimum wall thickness at 48° angle. Blades overlap for optimum visual screening.

SCREEN

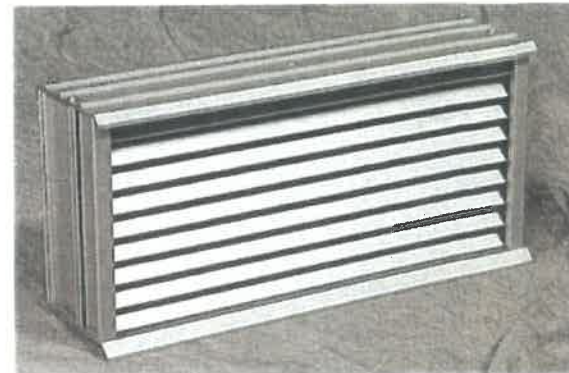
18 x 16 mesh aluminum insect screen.

FINISH

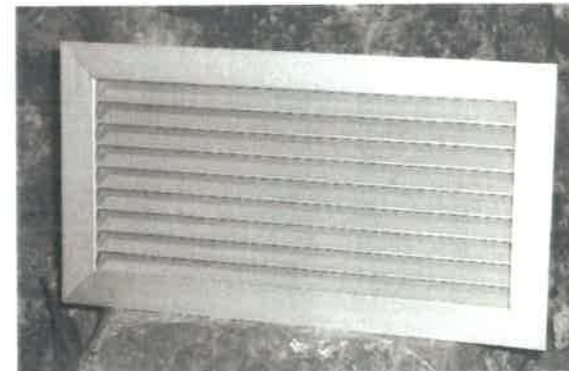
204-R1 clear anodize.

STANDARD SIZES

	8 1/8" x 2 3/8" (206 x 61)	16 1/2" x 2 3/8" (419 x 61)
A	8 1/8" x 4 3/4" (206 x 121)	16 1/2" x 4 3/4" (419 x 121)
	8 1/8" x 7 3/4" (206 x 197)	16 1/2" x 7 3/4" (419 x 197)
	12" x 2 3/8" (305 x 61)	24" x 2 3/8" (610 x 61)
B	12" x 4 3/4" (305 x 121)	24" x 4 3/4" (610 x 121)
	12" x 7 3/4" (305 x 197)	24" x 7 3/4" (610 x 197)
	15 5/8" x 7 3/4" (397 x 197)	



BV100
Standard Frame 4" (102) deep



BV100
Flange Frame 15/16" (32.5) deep

FEATURES

Ruskin's BV100 brick vents offer superior venting at minimum cost. Standard features include:

- Minimum 39% free area for desired venting.
- Continuous weepage at bottom and a high, rear water stop give optimum water penetration protection.
- Aluminum construction for long life and corrosion resistance.
- Continuous blades without mullions for attractive appearance.

VARIATIONS

Variations to standard design are available. Some variations are at additional cost.

- 15/16" (32.5) deep flange frame for renovation applications.
- .063 aluminum duct to 18" (457) in length.
- Exterior operated damper.
- Other finishes:
 - Medium or dark bronze anodize
 - Baked enamel in snow white, black, statuary bronze, or brick red
 - Colors and finishes to match Ruskin louvers (Consult Ruskin).

NOTE: Dimensions shown in parenthesis () indicate millimeters.

SUGGESTED SPECIFICATION

Furnish and install where indicated on drawings Ruskin brick vents Model BV100. Frame and blade construction shall be .100 nominal 6063T5 extruded aluminum. Vents are supplied with 18 x 16 mesh aluminum insect screen. Finish shall be clear 204-R1 clear anodize (or other as specified).

QTY.	MODEL	SIZE		FRAME		VARIATIONS
		A-WIDE	B-HIGH	STD.	FL.	
JOB		LOCATION				
CONTRACTOR						

5. 355 Pleasant Street - Recommended Approval

Background: The applicant is seeking approval for the installation of (2) ground-mounted exterior condensers on either side of the structure.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

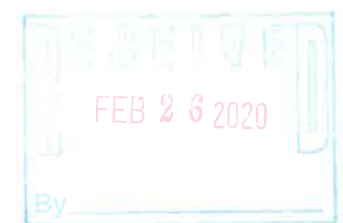
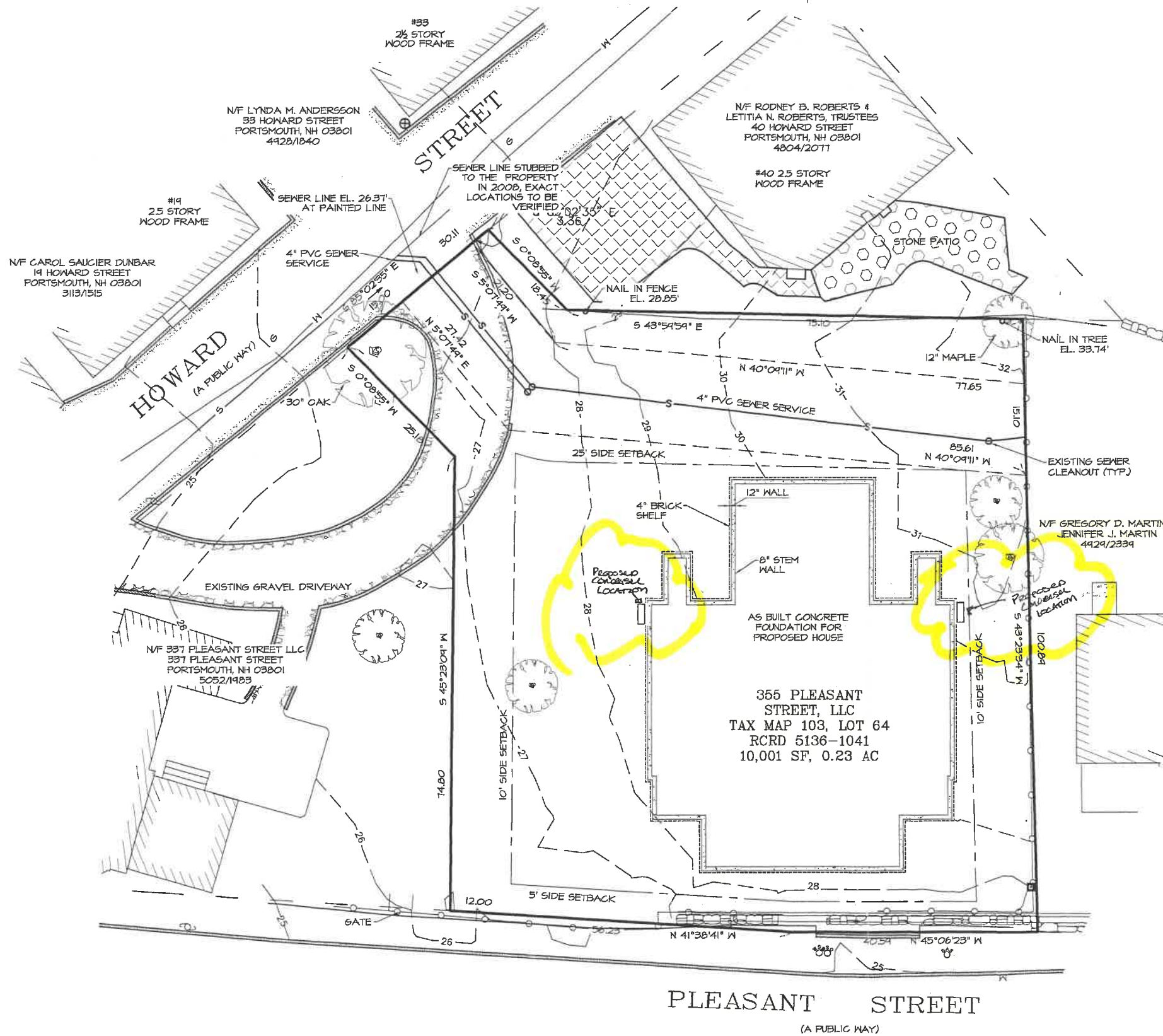


LEGEND

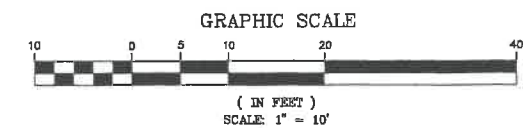
- 100 - EXISTING CONTOUR
- 100 - PROPOSED CONTOUR
- 100x00 SPOT ELEVATION
- ⊙ SEWER MANHOLE
- ⊙ MONUMENT FOUND
- ⊙ UTILITY POLE
- OHU - OVERHEAD UTILITIES
- W - WATER
- G - GAS
- S - SEWER
- 6' STOCKADE FENCE
- 4' PICKET FENCE
- VERTICAL GRANITE CURB
- COBBLESTONE
- STONE RETAINING WALL
- ⊕ WATER SHUT-OFF
- ⊕ GAS VALVE

NOTES

- 1) THE PURPOSE OF THIS PLAN IS TO DEPICT THE AS BUILT CONDITIONS OF THE CONCRETE FOUNDATION ON THE SITE AS MEASURED AND SURVEYED ON APRIL 17, 2019.
- 2) THE CONCRETE FOUNDATION COMPLIES WITH ALL SETBACKS
- 3) FOUNDATION IS A 8" STEM WALL WITH 4" BRICK SHELF ON TOP OF A 12" FOUNDATION WALL. BRICK SHELF AND STEM WALL ARE BUILT AS SHOWN ON PLAN.



1	4/24/19	AS BUILT	
ISS:	DATE	DESCRIPTION OF ISSUE	
SCALE	1" = 10'		
CHECKED	A.ROSS		
DRAWN	D.D.D.		
CHECKED			
ROSS ENGINEERING Civil/Structural Engineering & Surveying 909 Dillington St. Portsmouth, NH 03801 (603) 433-7500			
CLIENT	KATHY KANE P.O. BOX 468 PORTSMOUTH, NH 03802-0468		
TITLE	AS BUILT		
JOB NUMBER	DWG. NO.	ISSUE	
16-167	1 OF 1	1	



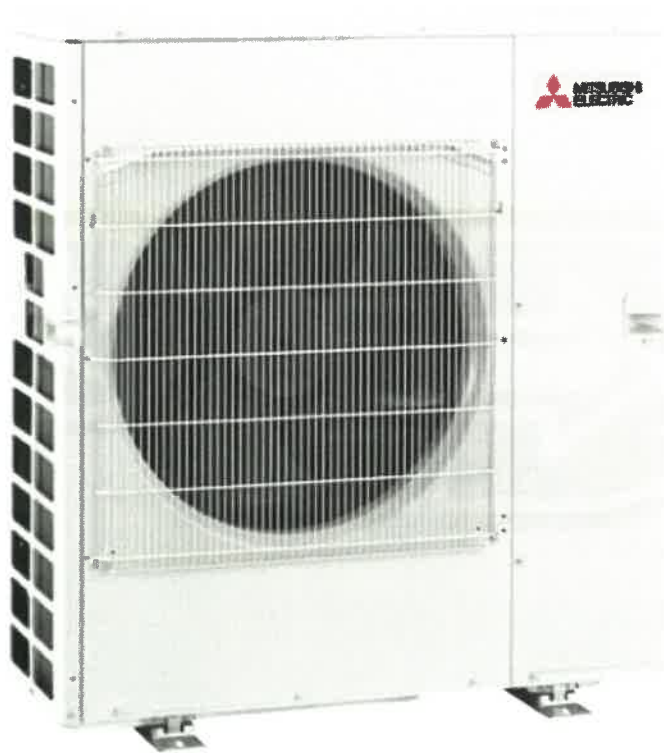








Mitsubishi - 42k BTU - M-Series Outdoor Condenser - For 2-5 Zones



4.5 ★★★★★
Google
Customer Reviews

6. 25 Maplewood Avenue - T.B.D.

Background: The applicant is seeking approval for several minor design changes implemented during construction.

Staff Comment: T.B.D.

Stipulations:

1. _____
2. _____
3. _____

To: City of Portsmouth Planning Department
From: 25 Maplewood Ave LLC
Subject: 25 Maplewood Ave, Administrative Approval
Date: 2/21/2020

This is a request for administrative approval on minor alterations from the May 2, 2018 HDC approval.

- 1) Balcony door/window system changed to French door with side lights. (All Elevations)
We kept the same theme throughout the doors and windows using the same mutin detail.
- 2) Transom light deleted for ground level access doors (all elevations). (Exhibit 1)
Structural steel dimensions played the largest role in this change.
- 3) All ground floor window system top and bottom lights dimensions are uniform. (Exhibit 2)
The window heights match the precast joints, per the HDC approval.
- 4) Dormer extended to elevator tower and 4-light window added (Exhibit 3)
The dormer was extended in order to have proper egress in the elevator lobby.
- 5) Change in eave line, i.e. additional angle in roof elaboration. (Exhibit 4)
The eave line follows the foundation and property line, while the renderings are not specific to the site plan.
- 6) Paneling on window bay altered (i.e. four panels on top, two on bottom). (Exhibit 5)
We split the panel to minimize the tin canning effect in the sun.
- 7) Balcony bays deleted. (Exhibit 6)
Steel drawings and dimensions were not consistent with the architectural drawings.
- 8) 2nd Floor balcony doors and window system deleted. (Exhibit 6)
Due to the interior stairs rising behind the balcony wall.
- 9) 3rd floor balcony reduced in width, reducing size/lights of door and window system. (Exhibit 6)
Due to structural steel requirements a minor reduction in width was made.
- 10) Transom and side lights omitted from corner entry. (Exhibit 7)
Due to the requirement for structural steel supports at the canopy location.
- 11) All 3rd floor windows reduced in dimension. (Exhibit 8)
We were limited in the height due to the large perimeter steel.
- 12) Entrance way (possibly) reduced to single door. (Exhibit 8)
Due to structural steel requirements
- 13) 1st floor windows reduced in dimension. (Exhibit 8)
Due to structural steel requirements
- 14) Modified trim detail added to bottom of bay window, resulting in the window bay being lower on the sign band. (Exhibit 9)
The floor system along with the structural steel, limited the exposure below the bay windows.
- 15) "Crown" detail added. (Exhibit 10)
The crown was added to give a clean finished appearance at the transition of the painted soffit and brick face.

Exhibit 1

Transom light deleted for ground level access doors (all elevations).
Structural steel dimensions played the largest role in this change.



Exhibit 2

All ground floor window system top and bottom lights dimensions are uniform.
The window heights match the precast joints, per the HDC approval.



Exhibit 3

Dormer extended to elevator tower and 4-light window added

The dormer was extended in order to have proper egress in the elevator lobby.



Exhibit 4

Change in eave line, i.e. additional angle in roof elaboration.

The eave line follows the foundation and property line, while the renderings are not specific to the site plan.



Exhibit 5

Paneling on the window bay altered (i.e. four panels on top, two on bottom).

We split the panel to minimize the tin canning effect in the sun.



Exhibit 6

Balcony bays deleted

Steel drawings and dimensions were not consistent with the architectural drawings.

2nd Floor balcony doors and window system deleted.

Due to the interior stairs rising behind the balcony wall.

3rd floor balcony reduced in width, reducing size/lights of door and window system.

Due to structural steel requirements a minor reduction in width was made.



Exhibit 7

Transom and side lights omitted from corner entry.

Due to the requirement for structural steel supports at the canopy location.



Exhibit 8

All 3rd floor windows reduced in dimension.

We were limited in the height due to the large perimeter steel.

Entrance way (possibly) reduced to single door.

Due to structural steel requirements

1st floor windows reduced in dimension.

Due to structural steel requirements



Exhibit 9

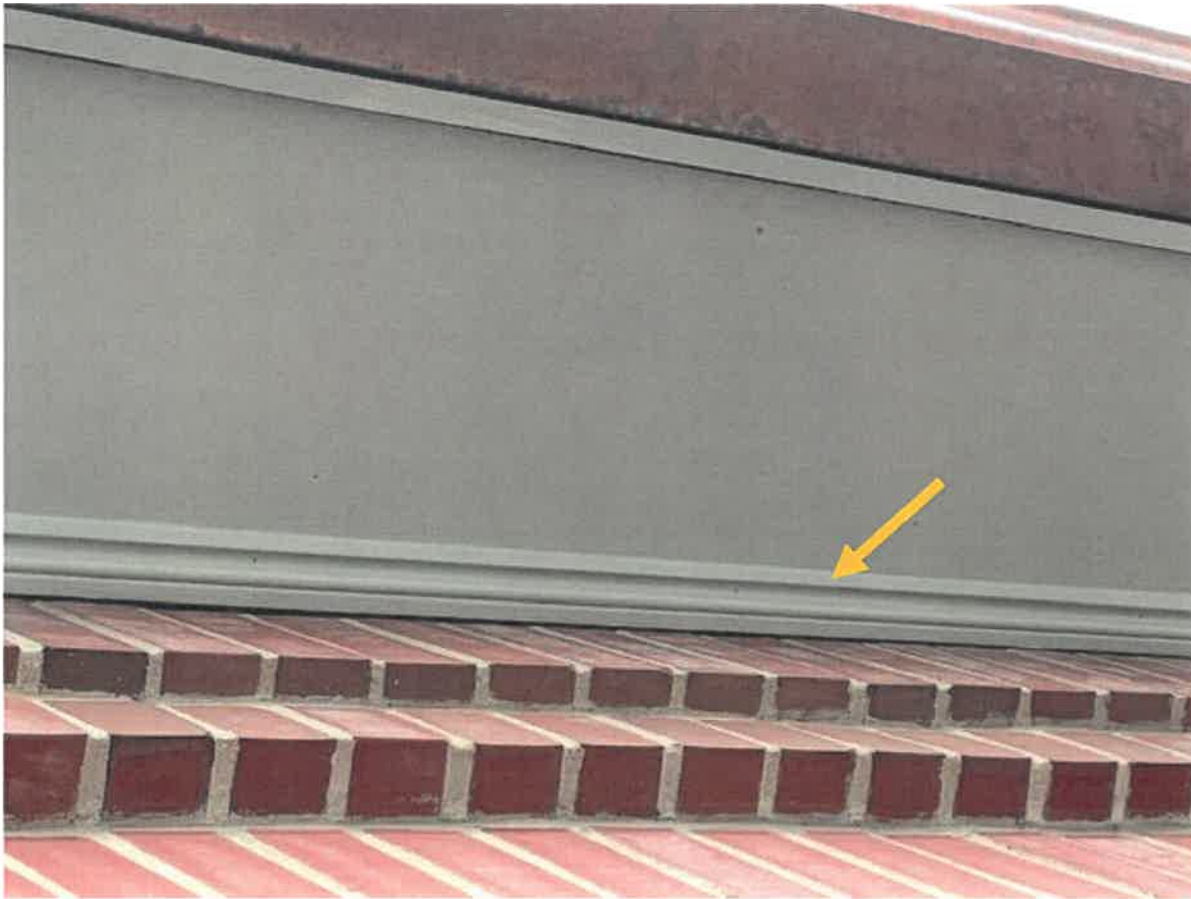
Modified trim detail added to bottom of bay window, resulting in the window bay being lower on the sign band.
The floor system along with the structural steel, limited the exposure below the bay windows.



Exhibit 10

Crown" detail added.

The crown was added to give a clean finished appearance at the transition of the painted soffit and brick face.



7. 56 Middle Street

- Recommended Approval

Background: The applicant is seeking approval to amend the design of a previously-approved fence from an open lattice fence to a privacy fence.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

56 MIDDLE ST.



CONTEXT PHOTO

February 26, 2020

Re: 56 Middle Street - Fence Amendment



Previously Approved Lattice Fence (August 13th 2019).



Proposed Fence (Same Dimensions)