

HDC

ADMINISTRATIVE APPROVALS

February 05, 2020

- | | | |
|----|-------------------------------------|-----------------------|
| 1. | 10 Middle Street (LUHD-91) | -Recommended Approval |
| 2. | 75 Court Street (LUHD-92) | -Recommended Approval |
| 3. | 57 Salter Street (LUHD-94) | -Recommended Approval |
| 4. | 55 Lafayette Road (LUHD-95) | -Recommended Approval |
| 5. | 180 Islington Street (LUHD-96) | -Recommended Approval |
| 6. | 306 Marcy Street, Unit 2 (LUHD-97) | -Recommended Approval |
| 7. | 410-430 Islington Street (LUHD-100) | -Recommended Approval |
| 8. | 299 Vaughan Street (LUHD-101) | -Recommended Approval |

1. 10 Middle Street (LUHD-91) - Recommended Approval

Background: The applicant is seeking approval to remove rear double door and replace with a single door and replace railing.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-91

Status: Active

Submitted: Jan 10, 2020

Applicant



Barrett Salta

6038922269

@ brsalta@bpsnh.com

Location

10 Middle St

PORTSMOUTH, New Hampshire 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Outstanding exterior work from Building permit - BLDG-20-4. Plans call for exterior rear door to be partially infilled and changed to a single door along with replacement of exterior railing.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Architect

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Kreg Jones

Business Name (if applicable)

Dennis Mires, P.A, The Architects

Mailing Address (Street)

697 Union Avenue

City/Town

Manchester

State

New Hampshire

Zip Code

03104

Phone

603-625-4548

Phone

603-625-4548

Email Address

kreg@thearchitects.com

Relationship to Project

Other

If you selected "Other", please state relationship to project.

Community Development Coordinator

Full Name (First and Last)

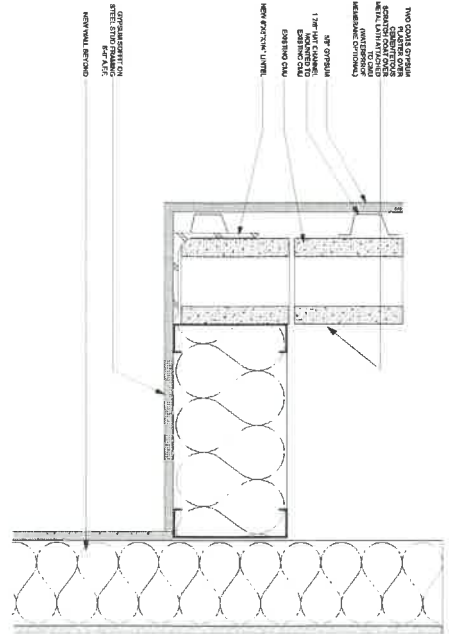
Elise Annunziata

Business Name (if applicable)

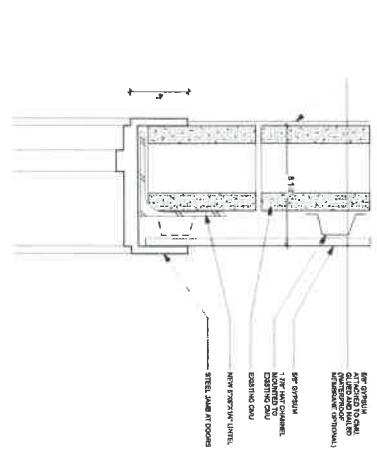
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Mailing Address (Street)

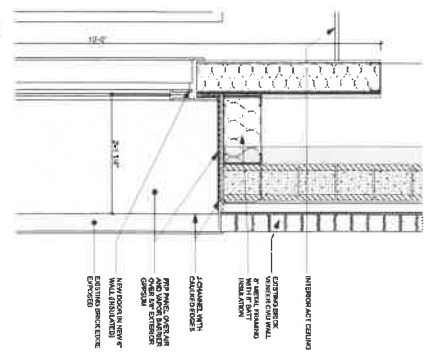
City/Town



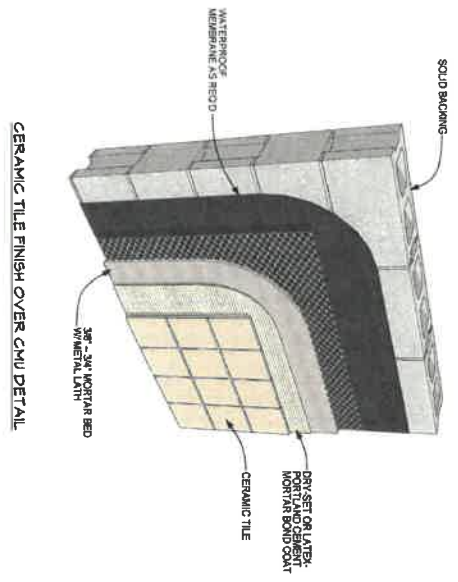
1 HEADER DETAIL AT WATER COOLER
SCALE: 3/8" = 1'-0"



1 Masonry Header Detail
SCALE: 3/8" = 1'-0"



1 SECTION AT REAR ENTRY DOOR
SCALE: 1/8" = 1'-0"



CERAMIC TILE FINISH OVER CMU DETAIL

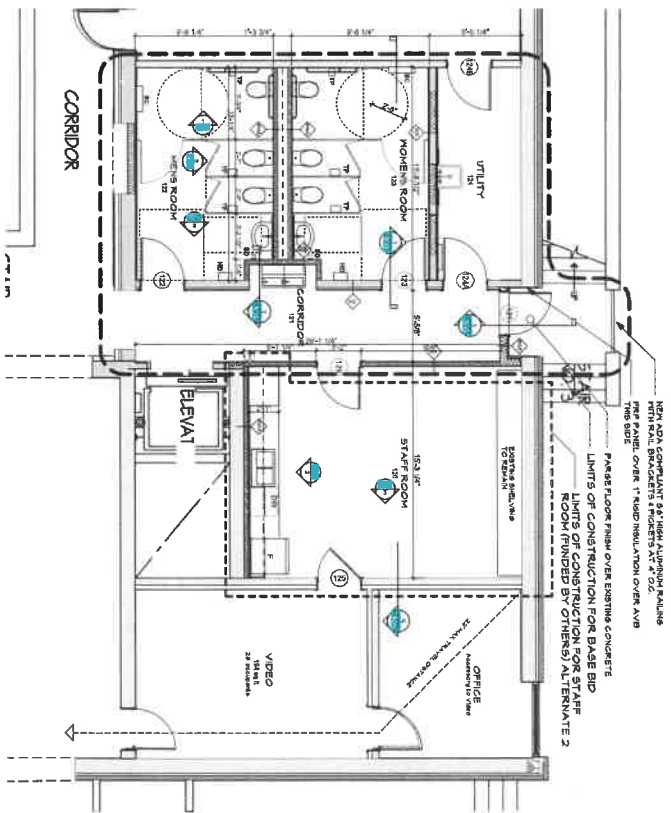


FINISH SCHEDULE

#	ROOM	Area	Floor	Walls	Base	Ceiling	Height	#	NOTES
120	STAFF ROOM	148	CONCRETE	FINISH	FINISH	CONCRETE	9'-0"	120	PAINT WALLS COMPLETE
121	MEN'S ROOM	128	CONCRETE	FINISH	FINISH	CONCRETE	9'-0"	121	PAINT WALLS COMPLETE
122	MEN'S ROOM	128	CONCRETE	FINISH	FINISH	CONCRETE	9'-0"	122	PAINT WALLS COMPLETE
123	WOMEN'S ROOM	142	CONCRETE	FINISH	FINISH	CONCRETE	9'-0"	123	PAINT WALLS COMPLETE
124	UTILITY	98	CONCRETE	FINISH	FINISH	CONCRETE	9'-0"	124	PAINT WALLS COMPLETE

DOOR AND FRAME SCHEDULE

Door No.	W x H Size	Swing	Core Fin	Blvd	Grading	Mat	FFType	Latched	Closer	Notes / Remarks
120	5'-0" x 7'-4"	N	Wood Grain	MP	Vision	Steel	4" Hand	Keypad	No	Provide finish for end locations
121	5'-0" x 8'-4"	N	Wood Grain	MP	Vision	Steel	4" Hand	Keypad	Yes	Provide finish for end locations
122	5'-0" x 8'-4"	N	Wood Grain	MP	Vision	Steel	4" Hand	Keypad	Yes	Provide finish for end locations
123	5'-0" x 7'-4"	N	Wood Grain	MP	Vision	Steel	4" Hand	Keypad	Yes	Provide finish for end locations
124	5'-0" x 7'-4"	N	Wood Grain	MP	Vision	Steel	4" Hand	Keypad	No	Provide finish for end locations
124B	5'-0" x 7'-4"	N	Wood Grain	MP	Vision	Steel	4" Hand	Keypad	No	Provide finish for end locations
124C	5'-0" x 7'-4"	N	Wood Grain	MP	Vision	Steel	4" Hand	Keypad	No	Provide finish for end locations
125	5'-0" x 7'-4"	N	Wood Grain	MP	Vision	Steel	4" Hand	Keypad	No	Provide finish for end locations

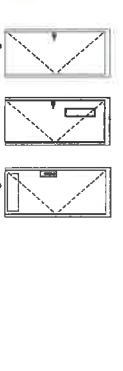


TYPICAL EXTERIOR & INTERIOR STEEL DOOR & FRAME:



TYPICAL INTERIOR DOORS & FRAMES:

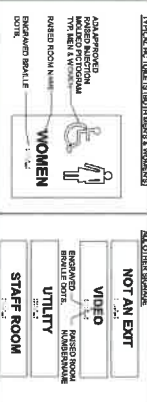
1 1/2\"/>



HARDWARE NOTES:

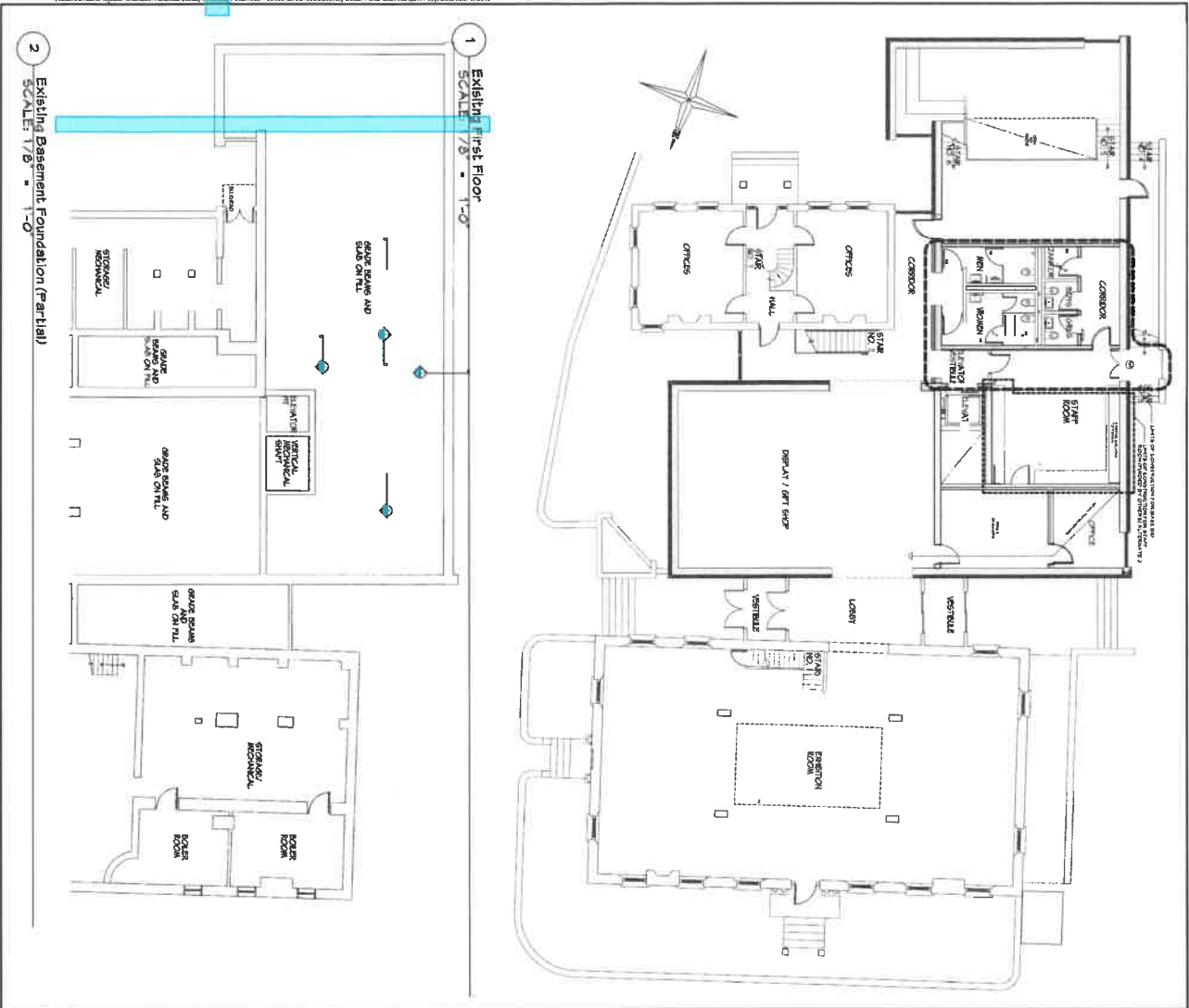
TYPICAL HARDWARE SET SHALL CONSIST OF ALL STANDARD COMPONENTS FOR THE CREATION/CONSTRUCTION SHOWN. EVEN IF NOT LISTED HERE, TO INCLUDE: 1\"/>

WOMEN



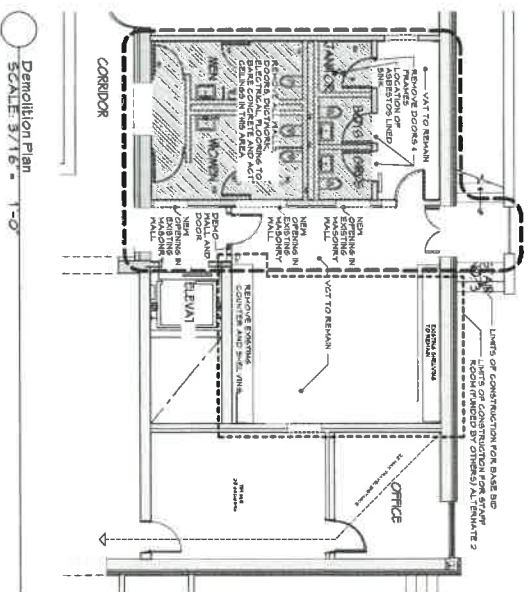
Interior Signage





GENERAL DEMOLITION NOTES

- A. PROTECT ALL FINISHED ADJACENT TO AREAS OF DEMOLITION AND REPAIRS.
- B. EACH CONTRACTOR TO CAREFULLY EXAMINE EXISTING CONDITIONS AT THE TIME OF BID. ALL
- C. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR WORK IN THOSE
- D. TRADES. THE CONTRACTOR IS TO COORDINATE WITH DEMOLITION WORK OF THOSE TRADES
- E. DEMOLITION OF WALLS SHALL BE SCHEDULED FOR EARLY IN THE DEMOLITION PERIOD. IN
- F. LOCATION, SAW CUT NEW OPENINGS AND REPAIR EXPOSED ENDS OF WALLS PER MASONRY
- G. RESTORATION SCHEDULE FOR ALL LOCATIONS.
- H. REMOVE ALL NEWERS AND PRING NOT TO BE USED IN NEW MECHANICAL SYSTEM. PREPARE
- I. PRESERVE OF ASBESTOS MATERIAL. FOUND DURING DEMOLITION. ALL VOT FLOOR TILL AND
- J. SALVAGE ALL ELECTRICAL UNLESS NOTED OTHERWISE ON ELECTRICAL PLANS
- K. OTHER LOCATIONS SALVAGE 30 TILES FOR USE IN OTHER LOCATIONS.
- L. REMOVE ALL CERAMIC TILE FLOORING DOWN TO CONCRETE OR BARE IN CORNER TO
- M. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- N. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- O. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- P. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- Q. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- R. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- S. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- T. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- U. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- V. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- W. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- X. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- Y. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK
- Z. HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE STRONG SINK



AX101

PERMIT DOCUMENTS
12-2-19
P001 02.20.1973

EXISTING FLOOR PLANS & DEMOLITION PLAN
NOTES:
1. DEMOLITION SHALL BE IN ACCORDANCE WITH THE PORTSMOUTH HISTORICAL SOCIETY'S DEMOLITION MANUAL AND THE PORTSMOUTH HISTORICAL SOCIETY'S DEMOLITION MANUAL.

DENNIS MIRE'S P.A.
THE ARCHITECTS
607 Cotton Street, Portsmouth, NH 03801
603-833-8800 FAX 603-833-8801



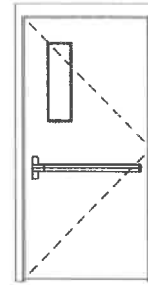
RECOVER PORTSMOUTH CENTER
RESTROOM AND ADA REMODEL
10 MIDDLE STREET
PORTSMOUTH NEW HAMPSHIRE

RE: Discover Portsmouth

TYPICAL EXTERIOR & INTERIOR STEEL DOOR & FRAME:

EXTERIOR:

16 GA. FULL FLUSH PRIMED & PTD. G60 GALVANIZED.
INSULATED TO U.23 W/ EXPANDED POLYSTYRENE.
INSULATED & TEMPERED GLAZING AT VISION PANELS.



IMF



Existing Exterior Door



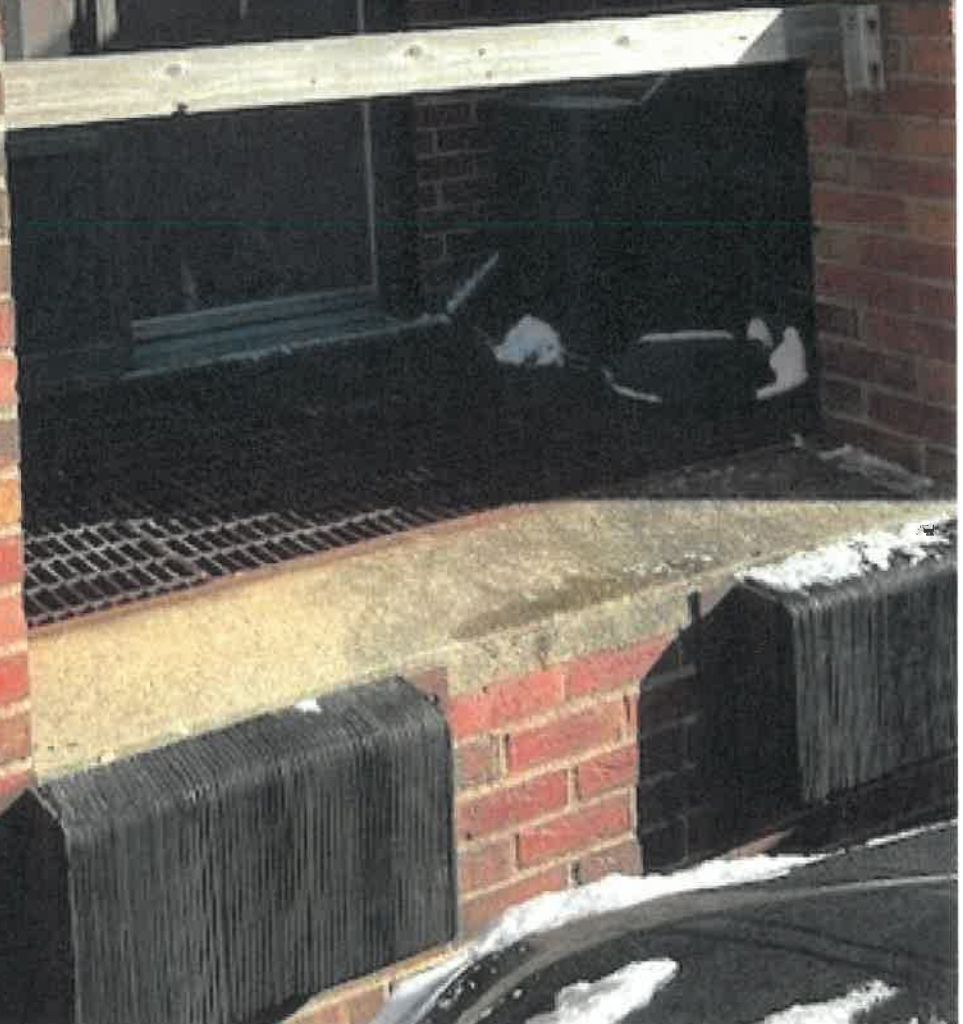
New recessed single panel door with vision window for employee safety and ADA accessible hardware. Paint to match existing on 2'-6" recessed walls and door exterior.

697 UNION STREET
MANCHESTER, NH 03104
603.625.4548
info@thearchitects.net
www.thearchitects.net





PARKING FOR
Diverse Neighborhoods
AND
 National African American Cultural Center
VISITORS VOLUNTEERS & STAFF ONLY
 ALL OTHERS SUBJECT TO TOWING
 NO OVERNIGHT PARKING DURING SNOW



2. 75 Court Street (LUHD-92) - Recommended Approval

Background: The applicant is seeking approval to replace a leaking skylight.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-92

Status: Active

Submitted: Jan 12, 2020

Project: BLDG-20-19

Applicant



Karen Bouffard

603-969-4311

kbouf@aol.com

Location

75 COURT ST

Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Replace leaking skylight

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Owner

Full Name (First and Last)

Karen L Bouffard

Mailing Address (Street)

PO Box 1389

State

NH

Phone

6039694311

If you selected "Other", please state relationship to project.

--

Business Name (if applicable)

City Lights, LLC

City/Town

Portsmouth

Zip Code

03802

Email Address

Kbouf@aol.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

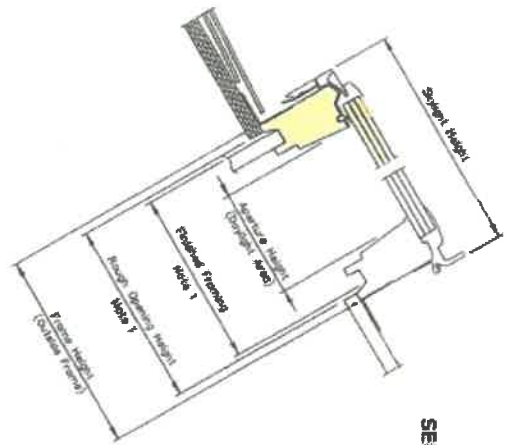
By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

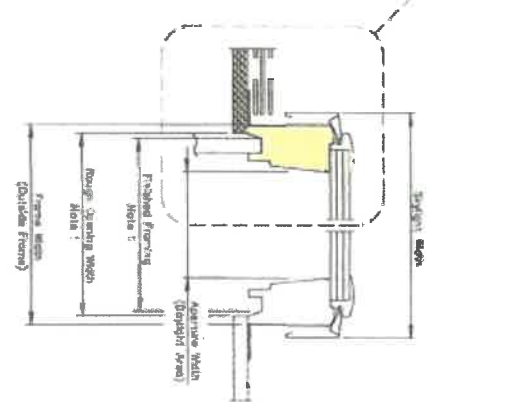
I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

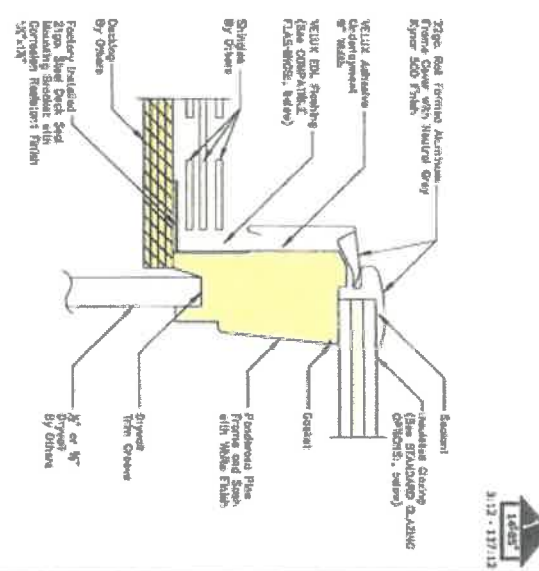


SEE DETAIL 1



VERTICAL CROSS SECTION

HORIZONTAL CROSS SECTION



DETAIL 1

METRIC UNITS (MILLIMETERS)

Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Depth (See Notes)
A08	300	302	323	400	1932	1175	707	1200	132
C01	450	456	487	600	2828	1665	811	2000	402
C04	600	606	647	800	3724	2175	1097	2500	472
C06	750	756	807	1000	4620	2775	1361	3000	542
C08	900	906	967	1200	5516	3375	1617	3500	612
C12	1200	1206	1287	1600	7368	4575	2137	4500	812
D08*	572	580	608	800	3280	1980	971	1000	250
D12*	828	836	887	1100	4472	2775	1317	1300	350
D16*	1084	1092	1167	1400	5864	3775	1817	1600	450
M04	462	468	497	600	2328	1410	801	800	187
M06	612	618	657	800	3120	1875	1015	1000	254
M08	762	768	817	1000	3912	2340	1211	1200	309
S01	1112	1128	1197	1500	5544	3375	1611	1600	444
S05	1712	1728	1827	2300	8376	5175	2411	2300	644

PRODUCT DIMENSIONS

IMPERIAL UNITS (INCHES)

Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Depth (See Notes)
A08	11 7/8	11 9/16	11 13/16	15 7/8	45 3/4	45 3/4	27 7/8	78 3/4	5 1/8
C01	17 7/8	17 9/16	18 1/4	23 7/8	69 1/2	69 1/2	31 1/4	98 3/4	15 7/8
C04	23 7/8	23 9/16	24 1/2	31 3/8	91 1/4	91 1/4	35 1/4	130 3/4	18 7/8
C06	29 7/8	29 9/16	30 7/8	39 3/8	113 1/4	113 1/4	39 1/4	162 3/4	21 3/8
C08	35 7/8	35 9/16	36 7/8	47 3/8	135 1/4	135 1/4	43 1/4	184 3/4	24 3/8
C12	47 7/8	47 9/16	49 1/4	63 3/8	183 1/4	183 1/4	57 1/4	254 3/4	31 3/8
D08*	22 7/8	22 9/16	23 1/4	31 3/8	128 1/4	128 1/4	38 1/4	130 3/4	10 1/8
D12*	32 7/8	32 9/16	33 1/4	43 3/8	176 1/4	176 1/4	42 1/4	184 3/4	13 7/8
D16*	42 7/8	42 9/16	43 7/8	55 3/8	234 1/4	234 1/4	50 1/4	234 3/4	17 7/8
M04	18 1/4	18 1/2	18 7/8	23 1/4	87 1/4	87 1/4	31 1/4	31 3/4	7 1/4
M06	24 1/4	24 1/2	24 7/8	31 3/4	115 1/4	115 1/4	31 3/4	31 3/4	10 1/4
M08	30 1/4	30 1/2	30 7/8	39 3/4	143 1/4	143 1/4	31 3/4	39 3/4	12 1/4
S01	44 1/4	44 1/2	44 7/8	57 3/4	211 1/4	211 1/4	41 3/4	211 1/4	17 1/4
S05	66 1/4	66 1/2	66 7/8	87 3/4	319 1/4	319 1/4	51 3/4	319 1/4	25 1/4

NOTES:
 1. THE ROUGH OPENING AND PRODUCT FINISHING DIMENSIONS ARE BASED ON GEOMETRIC CENTER FINISH MATERIAL ON ALL FOUR SIDES AND BEAR DIMENSIONS WILL VARY DEPENDING ON THE ROOF CONSTRUCTION, THE GLASS AND THE DESIGN OF THE INTERIOR FINISH MATERIAL.

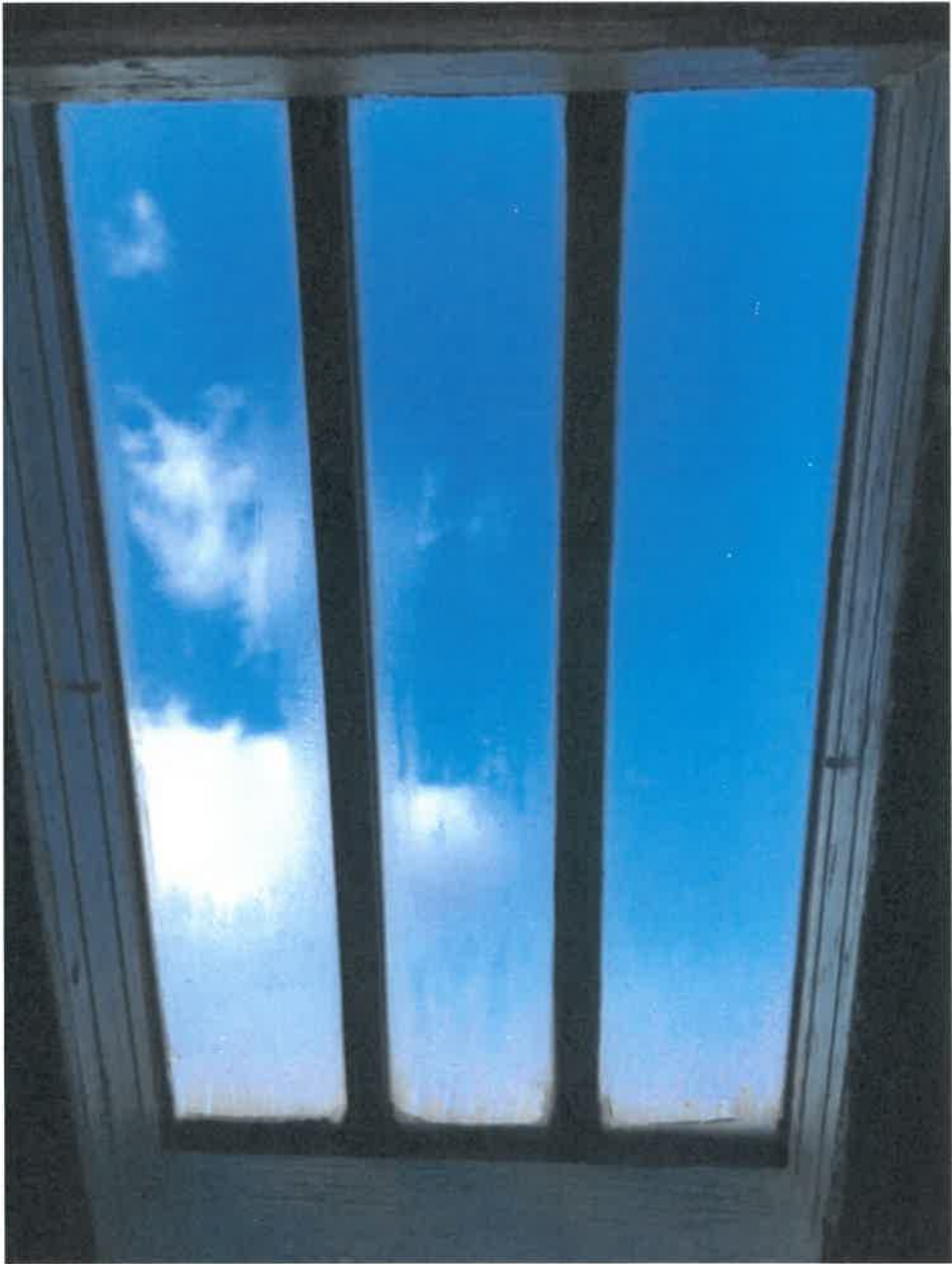
This drawing is an heirloom of services and is provided for informational use only.

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VELUX
 Dep. Group Product Managers
 VELUX FS - Fixed Skylight
 1-800-848-VELUX
 1-800-848-8528
 www.veluxna.com

- STANDARD GLAZING OPTIONS:**
- Laminated Glass (04)
 - Tempered Glass (05)
 - SmartView (10)
 - Interglazed Insulative Airs Used with all options
- COMPATIBLE MATERIALS:**
- 60A Slip Finishing
 - 60A/60C Canvas Finishing
 - 60W/71A (Blister)
 - 60K (Metal roof Blister)
 - 60C (Canvas Finishing) for canvas







3. 57 Salter Street (LUHD-94) - Recommended Approval

Background: The applicant is seeking approval to add roof appurtenance, mechanical vents and systems and resize one previously approved window.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-94

Status: Active

Submitted: Jan 16, 2020

Applicant



Jennifer Ramsey

603-766-3760 ext. 1

jramsey@sommastudios.com

Location

57 SALTER ST

Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Addition of small roof appurtenance, mechanical vent locations and systems identified, (1) window being resized

Description of Proposed Work (Planning Staff)

--

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Other

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Designer

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

57 Salter Street, Portsmouth, New Hampshire
SOMMA Studios 603/766.3760

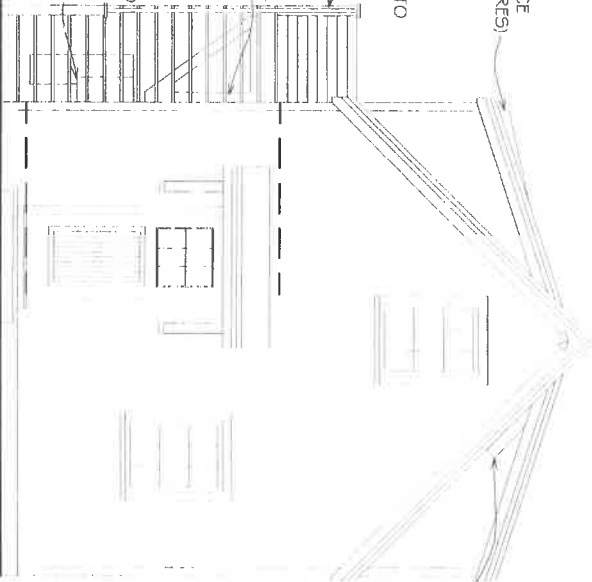
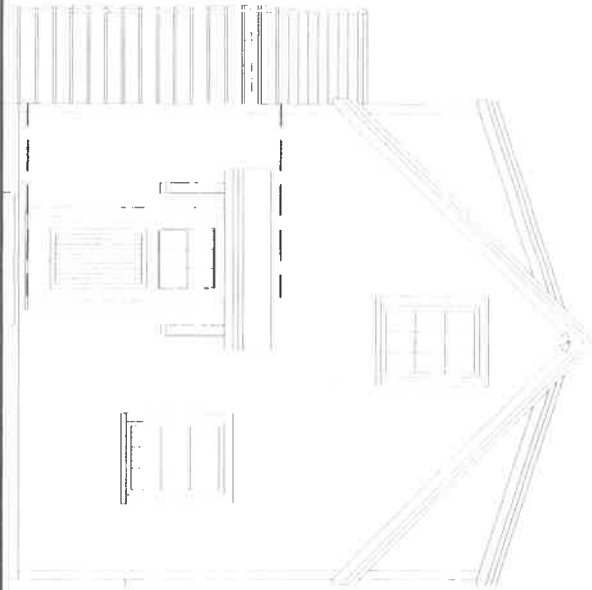
ELEVATIONS

SCALE: 1/4
HDC/AA 2.2020
SH.1

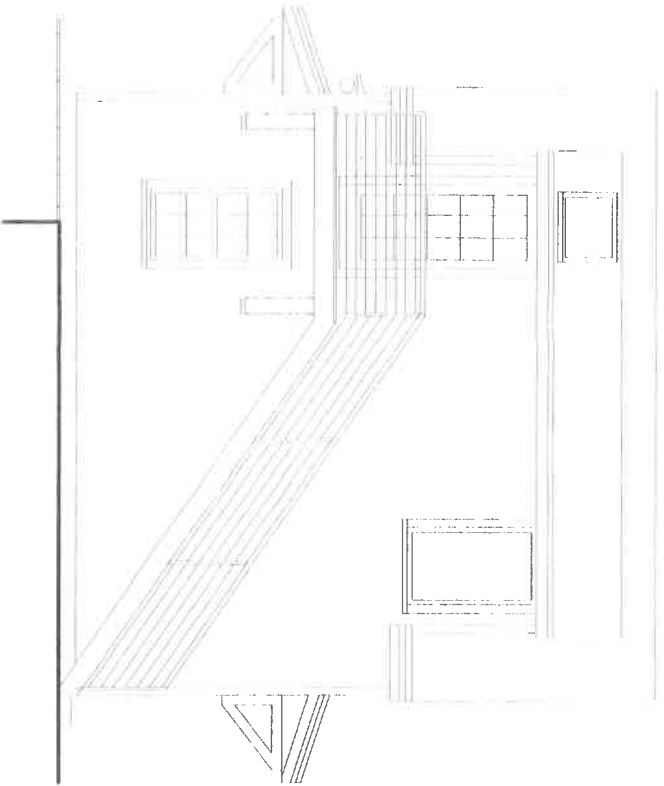


PREVIOUSLY APPROVED NORTH ELEVATION

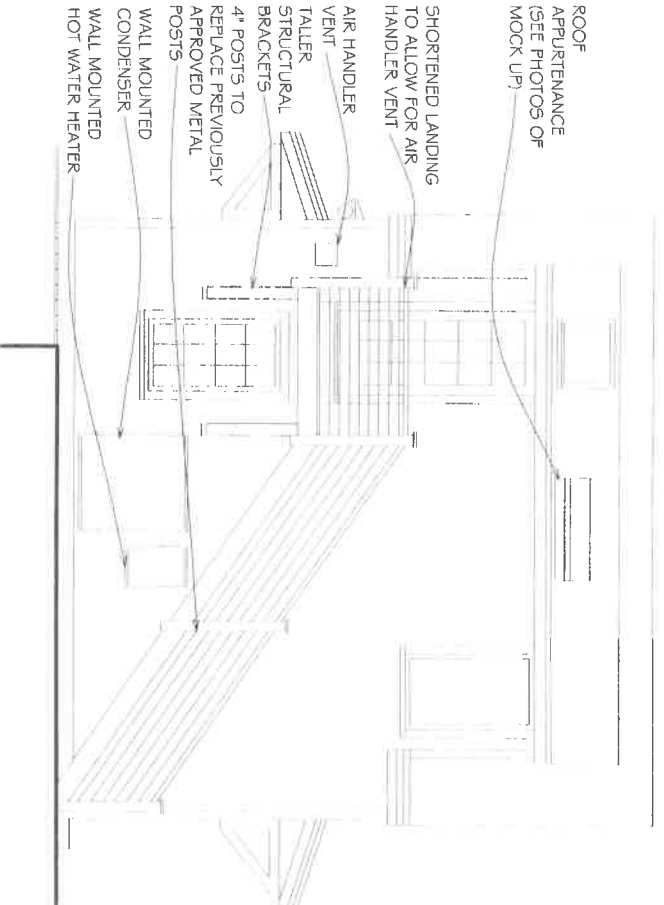
AMENDMENT TO APPROVED NORTH ELEVATION



RECEIVED
JAN 16 2020
By: [Signature]



PREVIOUSLY APPROVED NORTH ELEVATION



AMENDMENT TO APPROVED NORTH ELEVATION

57 Salter Street, Portsmouth, New Hampshire

SOMMA Studios 603/766.3760

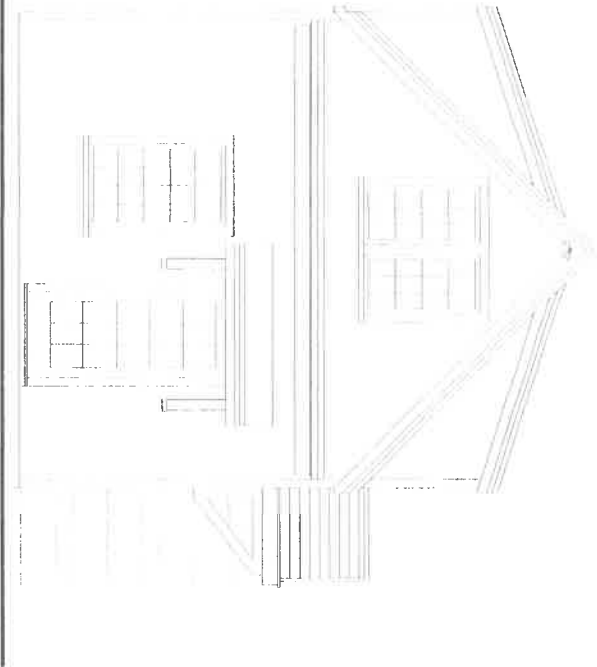
ELEVATIONS

SCALE: 1/4

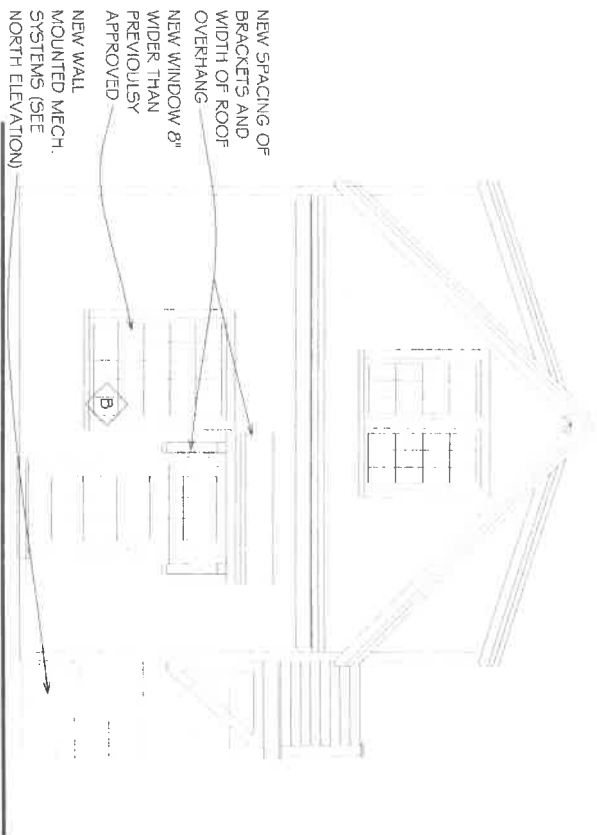
HDC/AA 2.2020

SH. 2





PREVIOUSLY APPROVED EAST ELEVATION



AMENDMENT TO APPROVED EAST ELEVATION

NEW SPACING OF
BRACKETS AND
WIDTH OF ROOF
OVERHANG
NEW WINDOW 8"
WIDER THAN
PREVIOUSLY
APPROVED
NEW WALL
MOUNTED MECH.
SYSTEMS (SEE
NORTH ELEVATION)

57 Salter Street, Portsmouth, New Hampshire

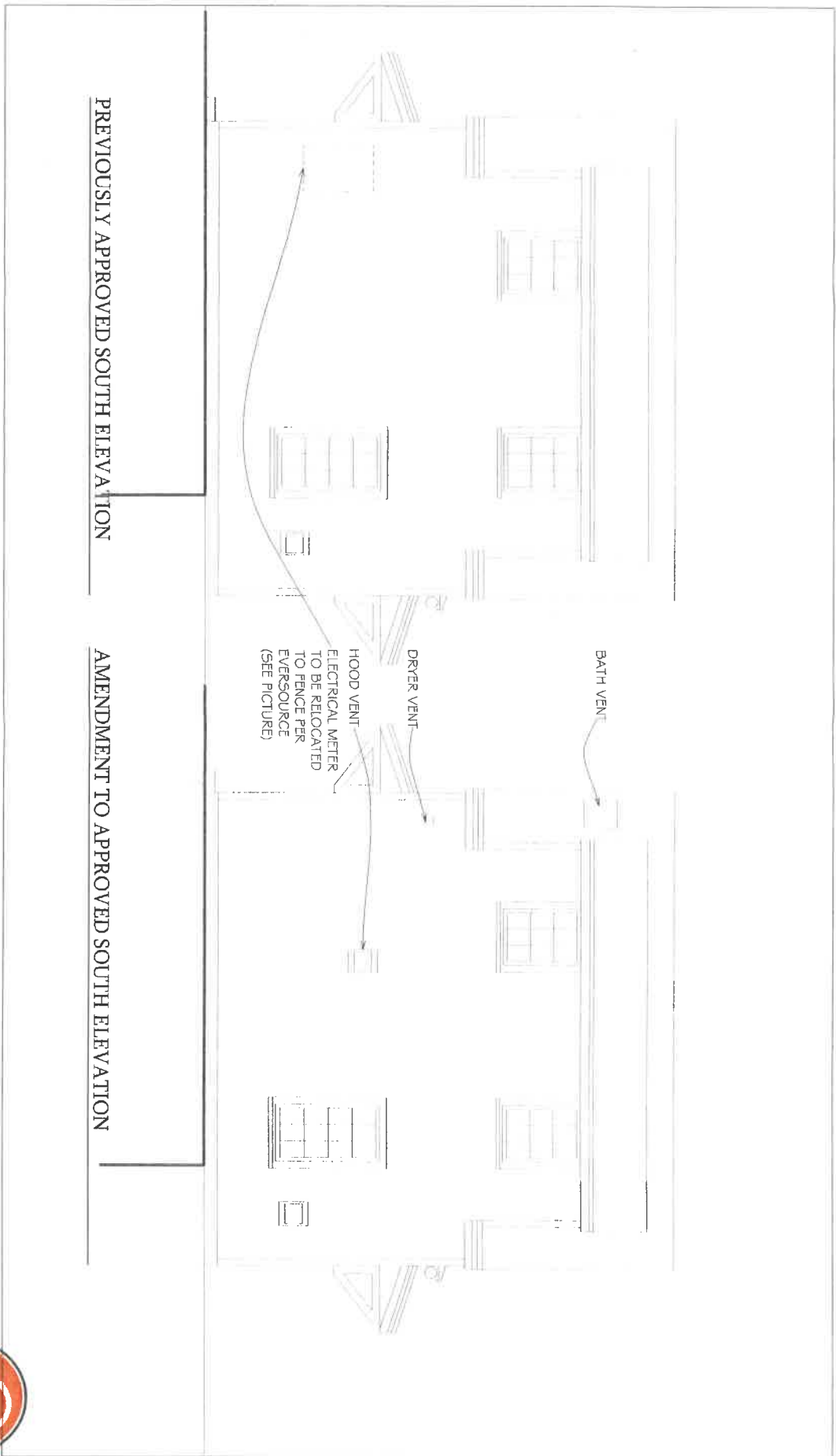
SOMMA Studios 603/766.3760

ELEVATIONS

SCALE: 1/4

HDC/AA 2.2020
SH.3





PREVIOUSLY APPROVED SOUTH ELEVATION

AMENDMENT TO APPROVED SOUTH ELEVATION

57 Salter Street, Portsmouth, New Hampshire

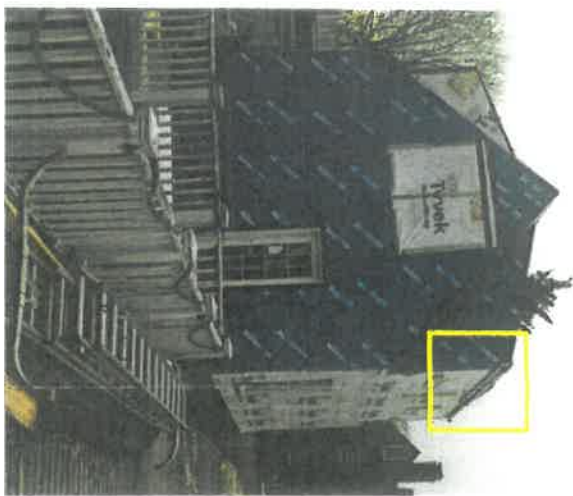
SOMMA Studios 603/766.3760

ELEVATIONS

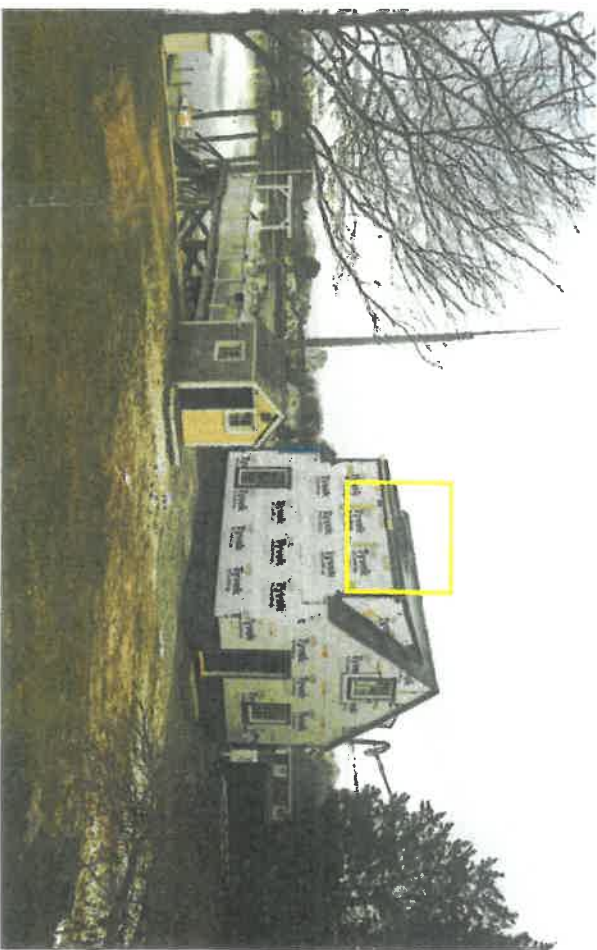
SCALE: 1/4

HDC/AA 2.2020
SPL 4





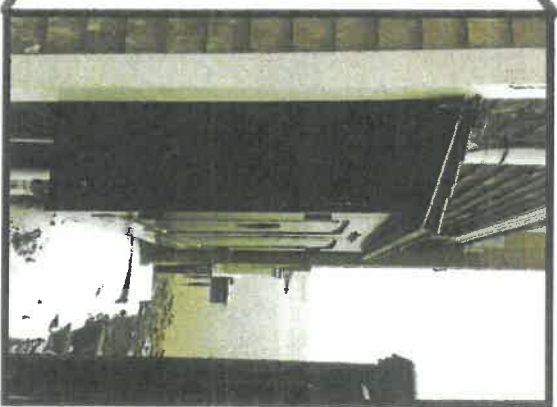
View of Appurtenance



View of Appurtenance



View Of Electrical Meter to be Relocated to Fence



Photos



4. 55 Lafayette Road (LUHD-95) - Recommended Approval

Background: The applicant is seeking approval for the soffit design/detail as requested by the HDC.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-95

Status: Active

Submitted: Jan 16, 2020

Project: 55 Lafayette Rd -- Two-Lot Subdivision

Applicant



Joseph Caldarola

603-674-5204

joe@smithfieldconstruction.com

Location

55 LAFAYETTE RD
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Review of Soffit Detail

Description of Proposed Work (Planning Staff)

--

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Owner of this property

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

true

HDC Approval Date

01/09/2020

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information

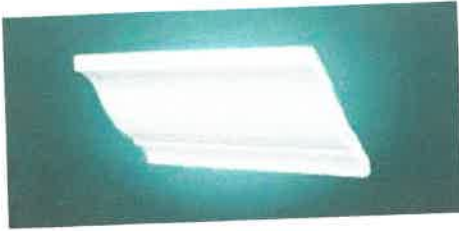
Owner Addressee Full Name and Title

--

Owner Addressee Prefix and Last Name

--

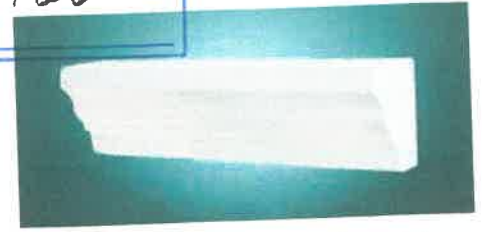
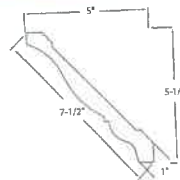
RECEIVED
 JAN 17 2020
 10:20



5-1/4" CROWN
#5045K
 Projection: 3-1/4"
 Height: 4-3/16"
 Spring Angle: 37°
 9/16" x 5-1/4" x 16'



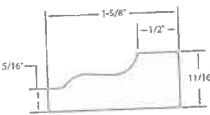
7-1/2" CROWN
#5041K
 Projection: 5"
 Height: 5-1/2"
 Spring Angle: 43°
 1" x 7-1/2" x 16'



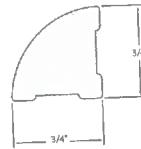
RAM'S CROWN
#5158K
 1-7/16" x 2-1/16" x 16'



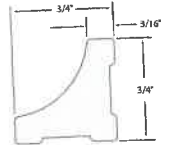
SHINGLE MOULD
#5210K
 11/16" x 1-5/8" x 16'



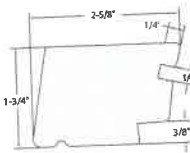
QUARTER ROUND
#5234K
 3/4" x 3/4" x 16'



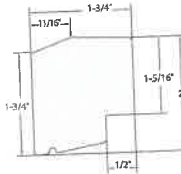
COVE/SCOTIA
#5245K
 3/4" x 3/4" x 16'



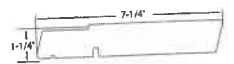
HISTORICAL SILL #1
#7435K
 1-3/4" x 2-5/8" x 16'



HISTORICAL SILL #2
#7650K
 2" x 1-3/4" x 16'



REPLACEMENT SILL
#960810SILL
 1-1/4" x 7-1/4" x 10'



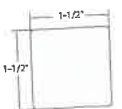
KLEERLok MOULDING
#5803K
 5/8" x 2-1/2" x 16'

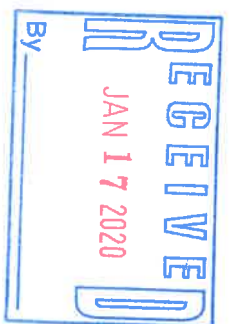


WAINSCOT CAP
#5276K
 1-1/8" x 13/16" x 16'



BALUSTER PROFILE
#5150K
 1-1/2" x 1-1/2" x 12'





A BEAUTIFUL, EASILY INSTALLED SYSTEM TO SAVE TIME AND MONEY

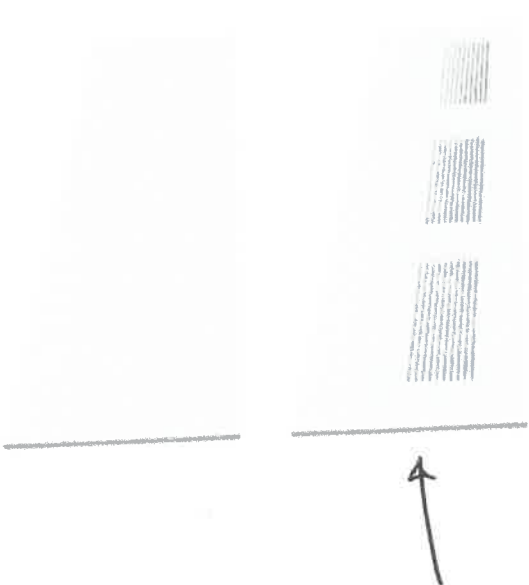
Made from moisture-resistant PVC to provide low-maintenance performance and designed to deliver enduring beauty, the Soffit System from AZEK Exteriors includes soffits (vented and non-vented), notched fascia and frieze boards. Each part easily fits together for simplified installation without specialized labor. All elements of the system are available in smooth Traditional finish.

Vented and Non-Vented Soffit:

Made from durable, moisture-resistant, long-lasting PVC, AZEK Exteriors Soffits are available in several sizes and complemented by grooved fascia and frieze boards. This system offers easy installation with pieces that fit together effortlessly, creating a clean, beautiful and uniform finish.

The Vented Soffit comes with an industry leading 10 square inches of net free air flow per square foot, allowing circulation through the home's roof system to prevent moisture damage. Screening the vents is optional; vents are slant cut to prevent nesting insect infiltration.

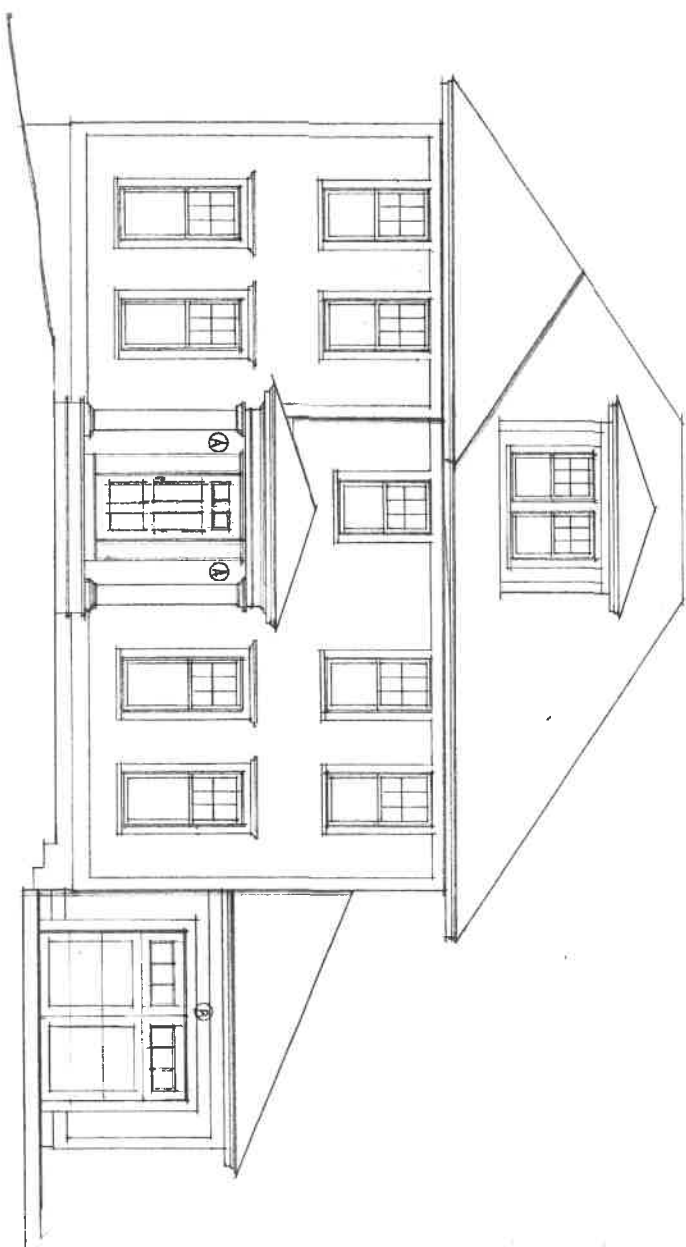
Non-vented soffit is also available in specific sizes to perfectly fit the system avoiding the need to precisely cut PVC sheet. The solid soffit sizes can be used on their own to provide a clean, uniform finish or the two versions can be used together interchangeably.



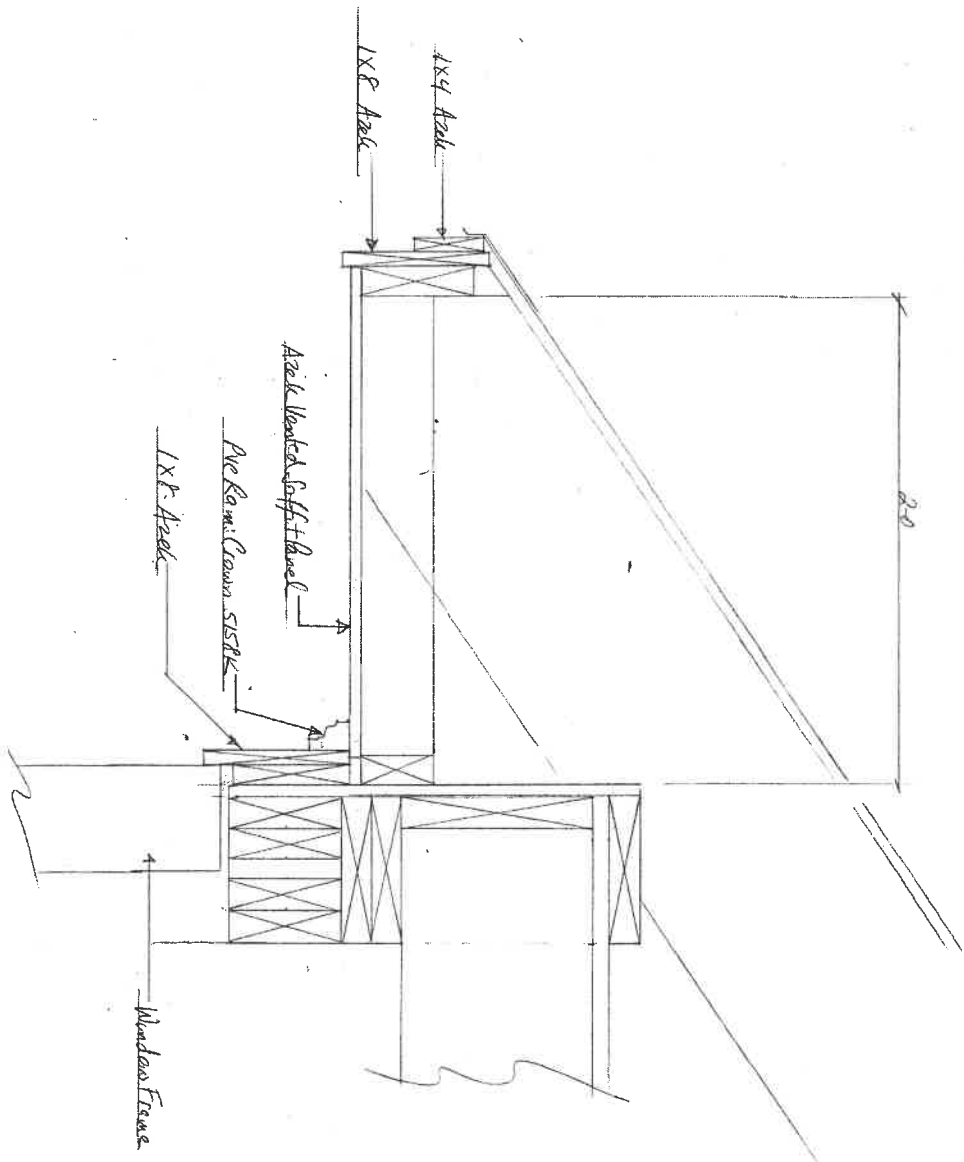
Fascia

The notched fascia board connects easily to either soffit profile to add architectural style while framing and protecting the roof edges.





Lot 2 S. S. Lafayette Rd	
SCALE 1/4"	DRAWN BY
DATE 12/10/15	REVISIONS
S. S. K. Construction	
Front Elevation Option 2	
DRAWING NUMBER	
20	



551 Stefanoff Road Lot 2		DRAWN BY	
SCALE 3/8" = 1'	APPROVED BY:	REVISION	
DATE 11/27/20			
Smallfield Construction		DRAWING NUMBER	
Soft Detail		A-1	

5. 180 Islington Street (LUHD-96) - Recommended Approval

Background: The applicant is seeking approval to construct a 5'8" cedar fence along 2 sides of the property.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-96

Status: Active

Submitted: Jan 18, 2020

Applicant



Brian Thibeault

6035531488

@ thibeaultholdings@gmail.com

Location

180 ISLINGTON ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

5'8" Colonial Cedar Privacy Fence in Backyard

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Brian

Business Name (if applicable)

--

Mailing Address (Street)

300 gay st

City/Town

Manchester NH

State

Nh

Zip Code

03103

Phone

6035531488

Email Address

Thibeaultholdings@gmail.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--



Existing Conditions – 180 Islington Street

Neighbor #2 4' Brick Wall

*Neighbor #2
Property line*

*Proposed Privacy Fence:
6' tall cedar Colonial square top fence*

Neighbor #1 fence

25'

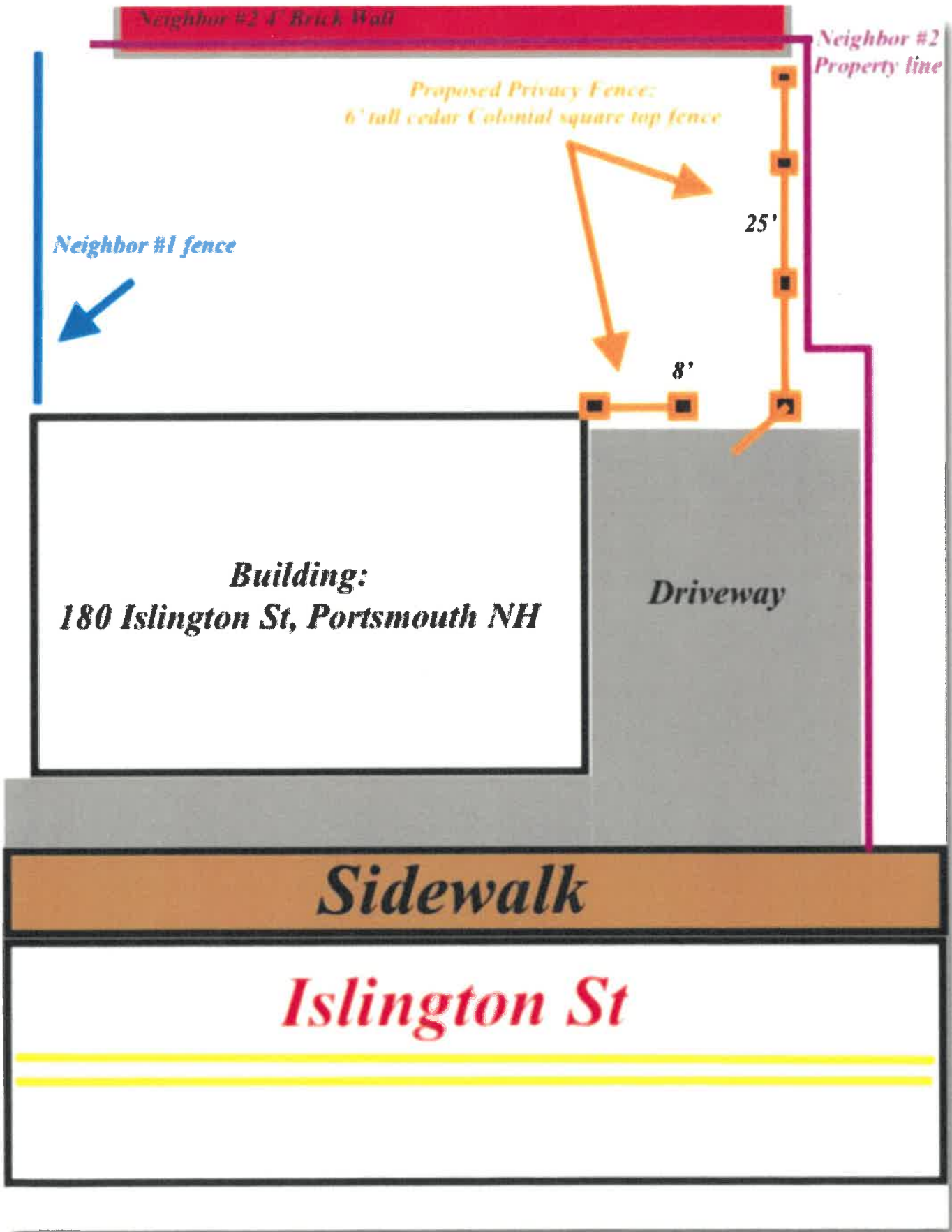
8'

*Building:
180 Islington St, Portsmouth NH*

Driveway

Sidewalk

Islington St





6. 306 Marcy Street, # 2 (LUHD-97) - Recommended Approval

Background: The applicant is seeking approval to install an exterior wall vent for kitchen cooktop ventilation.

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-97

Status: Active

Submitted: Jan 20, 2020

Applicant



John Singer

413-834-8349

jsinger@valinet.com

Location

306 MARCY ST

2

Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Install Exterior Wall Vent Hood for New Kitchen Cooktop

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Owner

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

John Singer

Business Name (if applicable)

--

Mailing Address (Street)

306 Marcy Street, Unit 2

City/Town

Portsmouth

State

NH

Zip Code

03801

Phone

413-834-8349

Email Address

jsinger@valinet.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

I hereby certify that as the applicant for permit, I am

Owner of this property

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

--

HDC Administrative Approval Application

EXTERIOR WALL VENT HOOD INSTALLATION

Project Overview

This purpose of this application is to request HDC Administrative Approval to install an exterior Wall Vent Hood on the Marcy Street side of 306 Marcy Street, Unit 2.

The Vent will be used to provide exhaust venting for a new gas cooktop to be installed in Unit 2.

The Vent will be installed above the windows on the second floor, between the first and second windows on the left, as seen from Marcy Street. The Vent will be approximately 20 feet above the street, and project out at its bottom no more than 4-1/2" from the wall. It will be painted to match the clapboards. The Marcy Street wall is the only available location for the unit, due to the direction of the floor joists above the kitchen.

The planned timeframe for the project is February-March, 2020

Included attachments:

Page 2: Photo of the Marcy Street side of the building.

Page 3: Scale drawing of the building, showing the planned location of the wall vent hood.

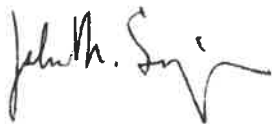
Page 4: Photo of the building showing a mock-up of the installed wall vent hood.

Page 5-6: Specifications of the wall vent hood, manufactured by Famco.

For further information, please contact:

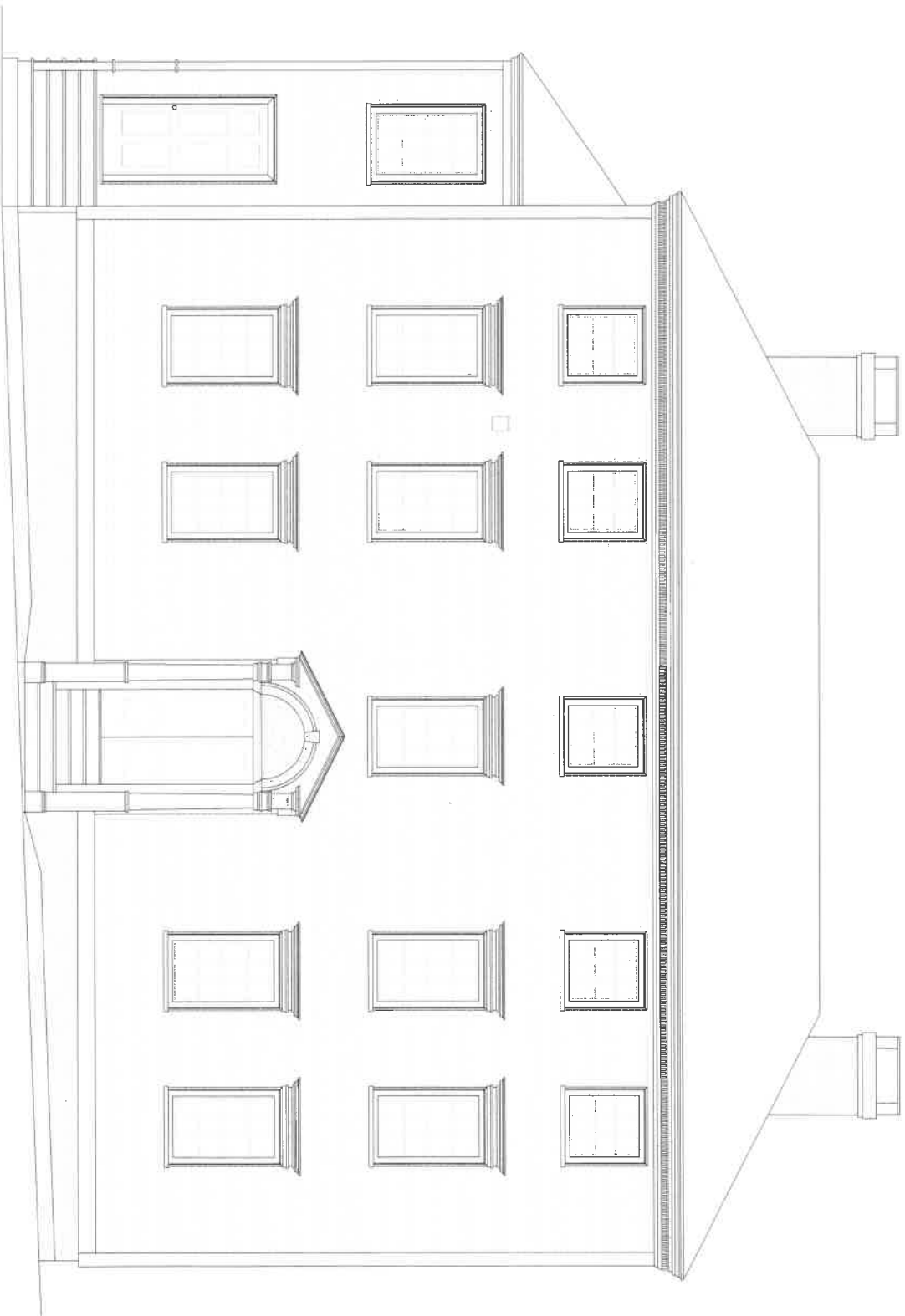
John M. Singer (owner)
306 Marcy Street, Unit 2
Portsmouth, NH 03801
413-834-8349
jsinger@valinet.com

Thank you very much for your consideration.





SPEED
LIMIT
20



Marcy Street Elevation

PROJECT:

Cooktop Upgrade

John M. Singer
Ruth G. Kennedy
413-834-8349

ADDRESS:

306 Marcy Street
Unit 2
Portsmouth, NH 03801

DRAWING:

**Exterior
Vent Location**

NOTES:

- Dimensions based on rough measurements taken on site, selected photographs, and several of the original 1980's architectural drawings. Actual dimensions may be somewhat different.
- Vent to be placed in ceiling above 2nd floor kitchen, between 1st and 2nd windows on left, as seen from Marcy Street.
- Vent hood to be Varroco 8" x 8-1/2" Wall Vent for 6" duct, painted to match clapboards.
- Bottom of Vent to extend 4-1/2" beyond clapboard.
- Distance from Vent to street: approx. 20 feet.

DRAWN BY:

JMS

DATE:

01/15/2020

SCALE (approximate):

1/2" = 1'

DRAWING:

MARCY-VENT-1

**Mock-up with proposed
Vent Hood location**



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Home / Wall Vents / Exhaust Vents / Hooded Wall Vent with Screen and Damper – Painted

Hooded Wall Vent with Screen and Damper – Painted

★★★★★ (15 customer reviews)

\$31.44 – \$95.47

Category: Wall Vent – Subcategory: Exhaust Material: Galvanized Steel – Finish: Mill – Thickness: 28 Gauge Hood: Yes – Damper: Yes – Screen: Yes Shape: Round – Dimensions: 3", 4", 5", 6", 7", 8", 10", 12", 14" – Sku: SDWVP

Size

6 inch ▾

Color

White ▾

[CLEAR](#)

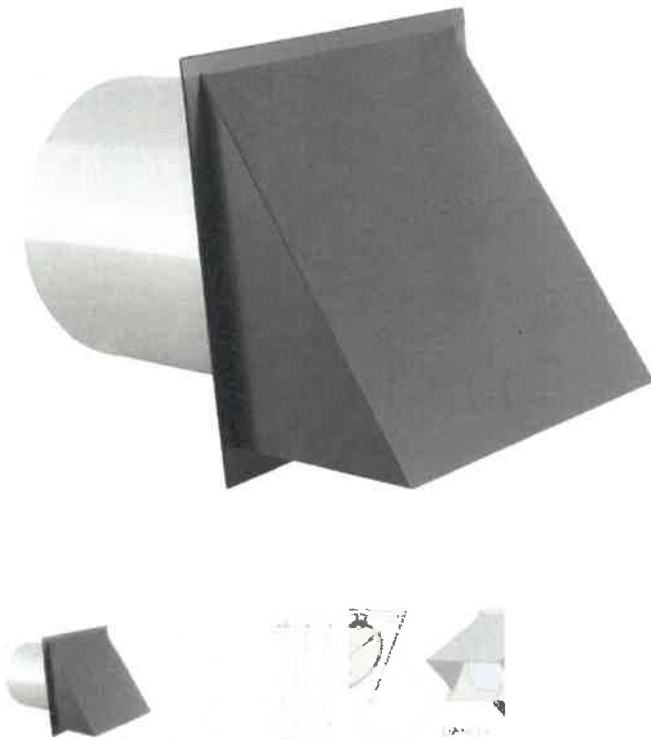
\$40.20

- 1 +

Add to cart

SKU: SDWV6WH

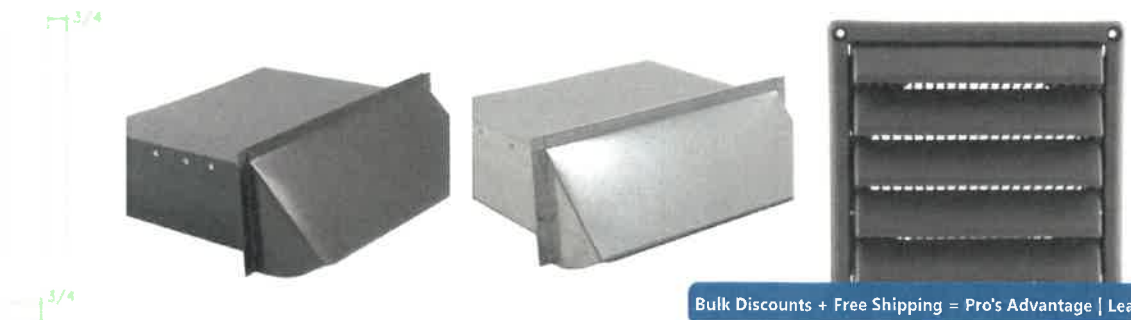
Categories: [Exhaust Vents](#), [Metal Wall Vents](#), [Wall Vents](#)



[Description](#) [PDF Download](#) [Reviews \(15\)](#)

The FAMCO SDWVP wall vent is a hooded wall vent that is primarily used for air exhaust applications. Large hood design prevents restriction of air flow. It's made from heavy duty 28 gauge Galvanized pre-painted steel in Black, Brown, or White . The FAMCO SDWVP wall vent includes a ¼ inch screen to prevent pests from getting in and a built in damper for opening and closing the vent. There are 9 sizes available, ranging from 3 to 14 inches (the size refers to the diameter of the pipe). Make sure to take accurate measurements to ensure you order the right size. The FAMCO SDWVP wall vent is manufactured by Famco in the United States and comes with a 1-year warranty against product defects and workmanship. If you have any questions about this wall vent and available variations, please refer to the FAQs above or feel free to contact us by phone or email.

Related products

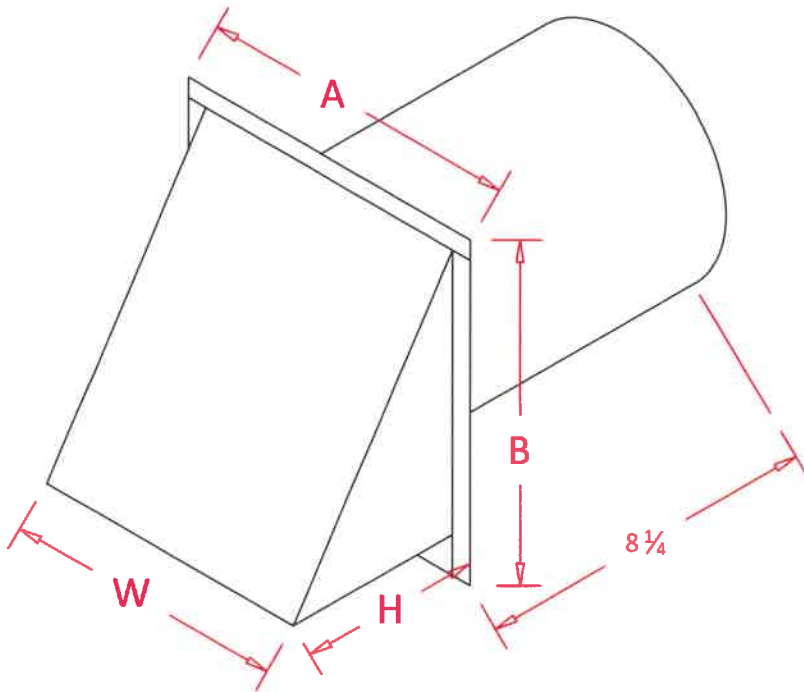


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ROUND WALL VENT

VENT THROUGH THE WALL FOR INTAKE OR EXHAUST
 APPLICATIONS – DWV__ ,SWV__ , SDWV__



SIZE	A	B	W	H
3	6	6 ⁷ / ₁₅	5	3 ¹ / ₄
4	6	6 ⁷ / ₁₅	5	3 ¹ / ₄
5	7	7 ⁷ / ₁₅	6	3 ³ / ₄
6	8	8 ⁷ / ₁₅	7	4 ⁷ / ₁₅
7	9	9 ⁷ / ₁₅	8	4 ¹⁵ / ₁₅
8	10	10 ³ / ₈	9	5 ⁹ / ₁₅
10	13	12 ¹ / ₂	12	6 ⁷ / ₈
12	15	14 ¹ / ₂	14	7 ¹⁵ / ₁₅
14	17 ¹ / ₂	17 ³ / ₄	16	9 ³ / ₄

- Available with or without damper.
- Available with or without screen.
- Large hood will not restrict air.
- Sizes 3" to 14".
- Galvanized, Aluminum, Painted or Copper.



FRESH AIR MANUFACTURING CO.
 Technologies in Ventilation

649 N. Ralstin St., Meridian, ID 83642 * (208)884-8931 * (800)-234-1903 * FAX: (208)884-8943

7. 410-430 Islington St. (LUHD-100) - Recommended Approval

Background: The applicant is seeking approval to amend a previously approved design (vent locations, front entry stairs, egress windows, door, and fence modifications)

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

Historic District Commission Work Session or Administrative Approval Application

LUHD-100

Status: Active

Submitted: Jan 27, 2020

Applicant



Danielle Cain

603-501-0202

dcain@marketsquarearchitects.com

Location

410 ISLINGTON ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

412: Adjusting previously approved vent location down approximately 3 feet

414/416: Front entry stair adjustment to work with final grades by shortening the top landing and creating a bottom landing.

428/430: Alternate window type required for egress due to a previous manufacturer change

414/416, 426, 428/430: Overhead door substitution due to previously approved door no longer available.

Site: Fence and gate adjustment due to neighbor considerations

Description of Proposed Work (Planning Staff)

--

Project Representatives

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

I hereby certify that as the applicant for permit, I am

Other

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

If you selected "Other" above, please explain your relationship to this project. Owner authorization is required.

Architect

INTERNAL USE ONLY -- Historic District Commission Review and Approval

HDC Certificate of Approval Granted

--

HDC Approval Date

--

Planning Staff Comments

--

INTERNAL USE ONLY -- Letter of Decision Information



Historic District Commission Members,

The following items are included in our Administrative Approval package for consideration at the February 2020 meeting:

- 412: Adjusting previously approved vent location down approximately 3 feet
- 414/416: Front entry stair adjustment to work with final grades by shortening the top landing and creating a bottom landing.
- 428/430: Alternate window type required for egress due to a previous manufacturer change
- 414/416, 426, 428/430: Overhead door substitution due to previously approved door no longer available.
- Site: Fence and gate adjustment due to neighbor considerations

ISLINGTON COMMONS

HISTORIC DISTRICT COMMISSION, FEBRUARY 2020



GENERAL PROJECT DESCRIPTION:
 THIS PROJECT CONSISTS OF THREE PARCELS LOCATED AT 410, 420 AND 430 ISLINGTON STREET. THE LOTS CURRENTLY CONTAIN A TOTAL OF 7 EXISTING DWELLING UNITS. THE LOT LINES SHALL BE ADJUSTED TO ACCOMMODATE THE RENOVATION OF EACH EXISTING BUILDING SUCH THAT THE NUMBER OF EXISTING UNITS WILL BE REDUCED TO FOUR (4) AND SEVEN (7) NEW DWELLING UNITS WILL BE ADDED. THE RESULT WILL BE A TOTAL OF 11 DWELLING UNITS ON THE SITE. THE FOLLOWING IS INCLUDED IN THIS PACKAGE:

- 428/430. ALTERNATE WINDOWS REQUIRED FOR EGRESS
 - 412. ADJUSTING PREVIOUSLY APPROVED VENT LOCATION
 - 414/416. STAIR ADJUSTMENT WITH FINAL GRADES
 - 414/416, 426, 428/430. OVERHEAD DOOR SUBSTITUTION
 - SITE FENCE AND GATE ADJUSTMENT DUE TO NEIGHBOR FEEDBACK
- CURRENT SCOPE**

ZONING SUMMARY:

ZONING DISTRICT: CD4-12
 LOT SIZE: 40,075 SF
 REQUIRED LOT AREA PER DWELLING UNIT: 3,000 SF
 BUILDING HEIGHT: 35'-0" MAX
 GROUND FLOOR ABOVE SIDEWALK: 3'-0" MAX
 MIN GROUND STORY HEIGHT: 11'-0"



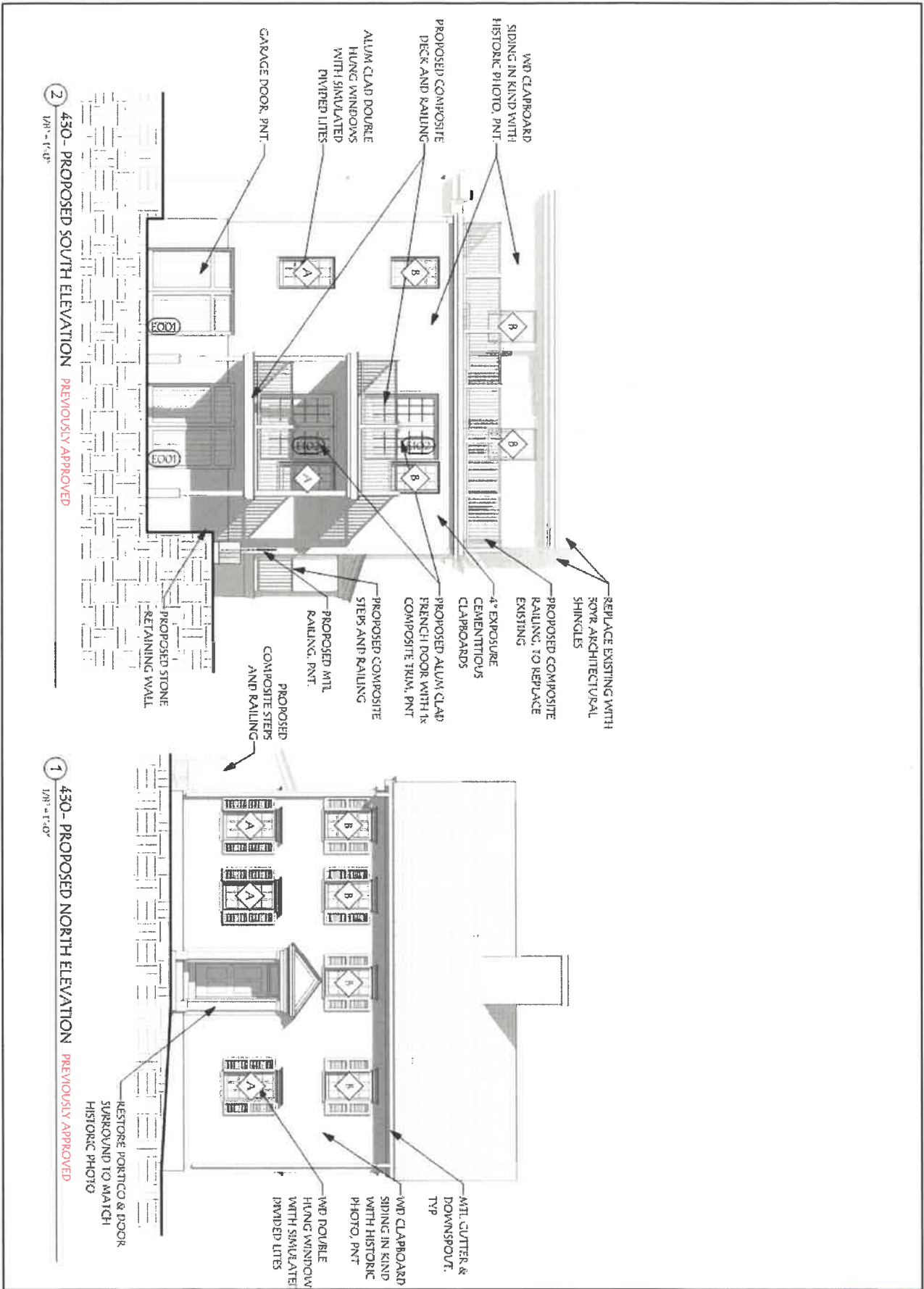
TITLE: COVER	SCALE:	Revisions: Description Date
1	DRAWN BY: SNH	
	CHECKED BY: RJH	
	PROJECT NO.: 2017008	
	DATE: 02/05/20	

ISLINGTON COMMONS

410-430 ISLINGTON STREET
 PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
 ADMINISTRATIVE APPROVAL
 FEBRUARY 2020

ARCHITECTS
 104 Congress St., STE. 205
 Portsmouth, NH 03801
 PH: 603.304.0202
 MarketSquareArchitects.com



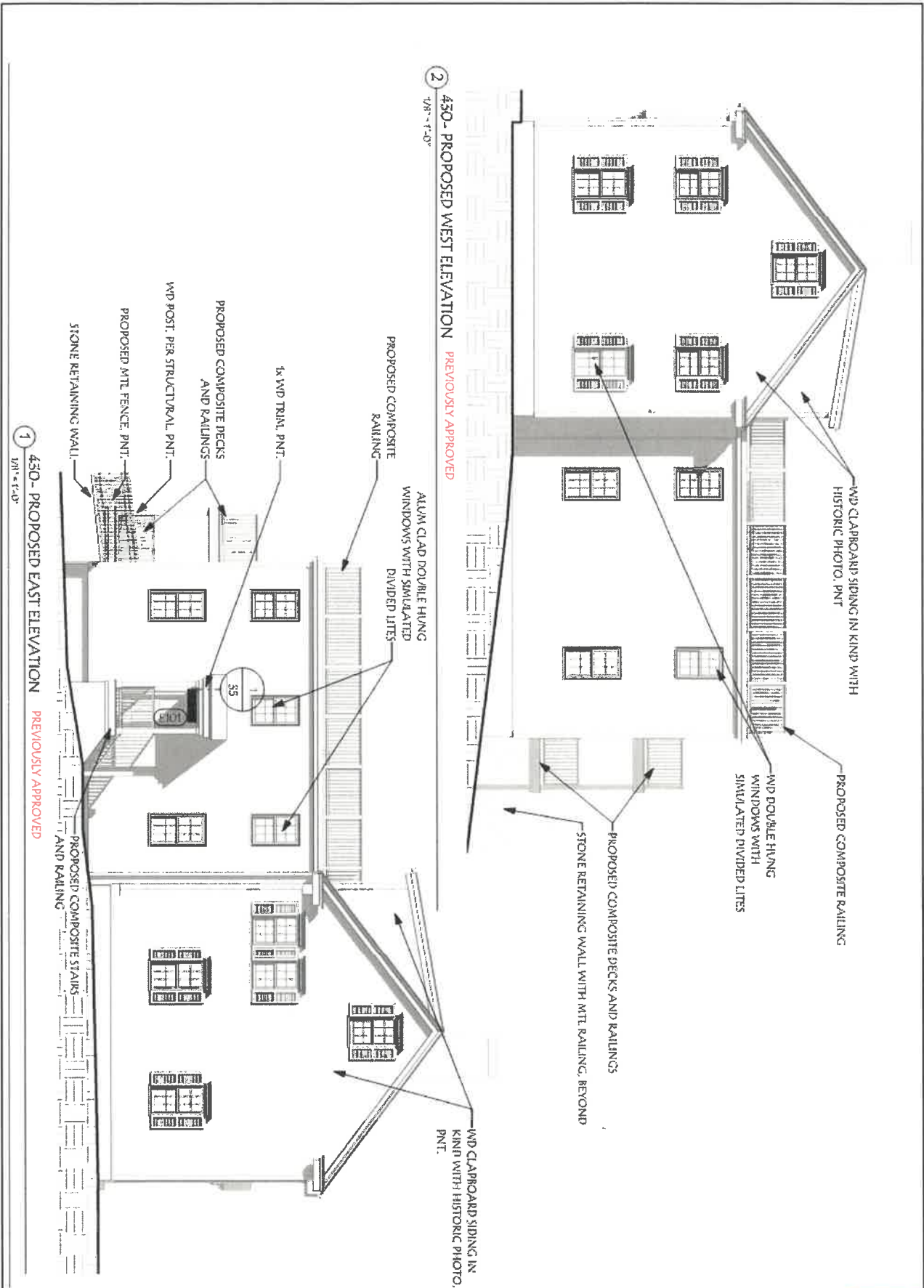
TITLE: PREVIOUSLY APPROVED ELEVATIONS	SCALE:	Revisions: # Description Date
2	DRAWN BY: SNH	
	CHECKED BY: RJH	
	PROJECT NO.: 2017008	
	DATE: 02/05/20	

ISLINGTON COMMONS

410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL
FEBRUARY 2020





2 430 - PROPOSED WEST ELEVATION PREVIOUSLY APPROVED
1/8" = 1'-0"

1 430 - PROPOSED EAST ELEVATION PREVIOUSLY APPROVED
1/8" = 1'-0"

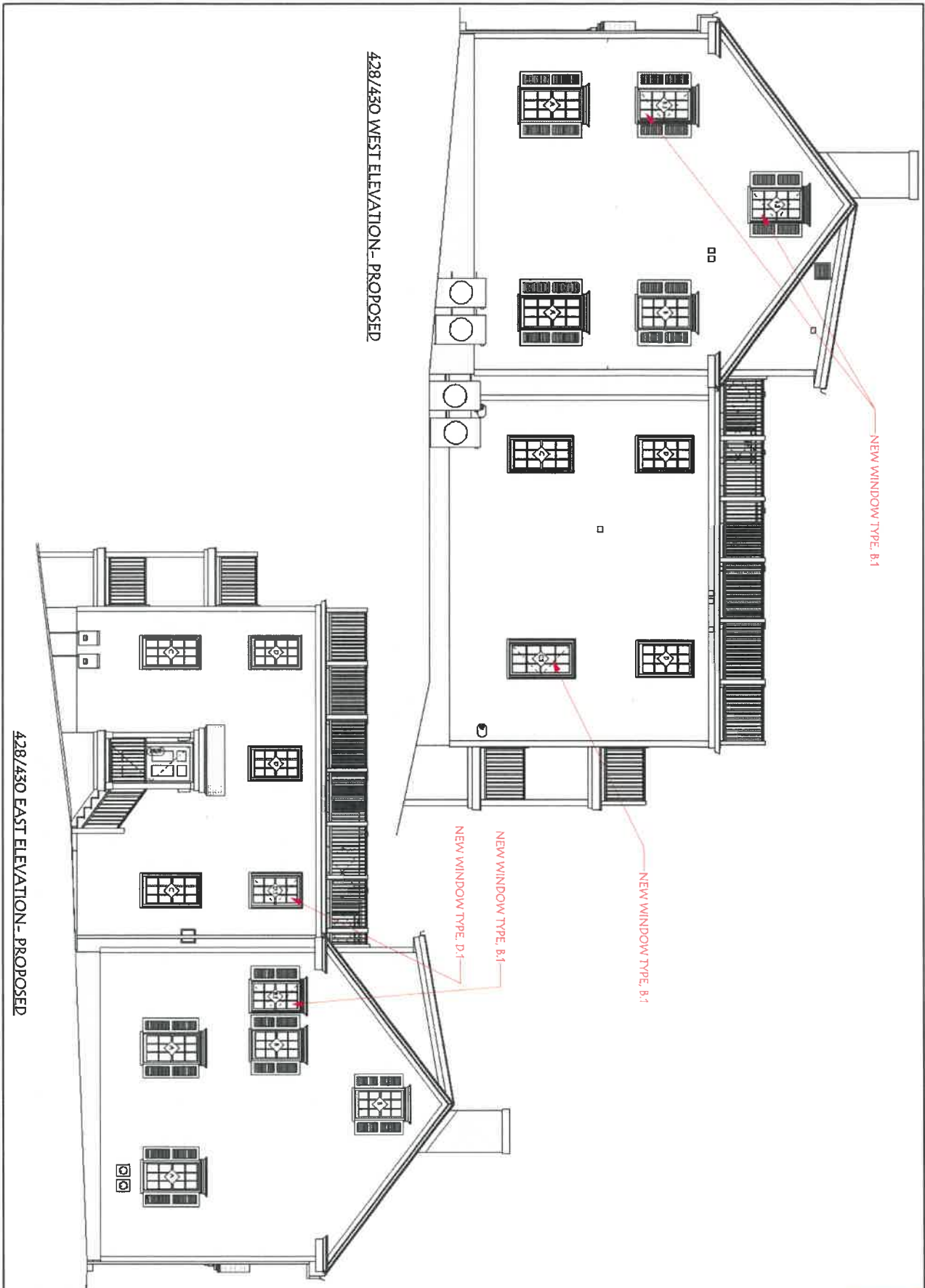
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	DRAWN BY: SNH	# Description Date
	CHECKED BY: RJH	
	PROJECT NO.: 2017008	
	DATE: 02/05/20	
3		

ISLINGTON COMMONS

410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL
FEBRUARY 2020

MARKET SQUARE ARCHITECTS
101 Congress St., STE 205
Portsmouth, NH 03801
PH: 603.503.0002
MarketSquareArchitects.com



TITLE:
PROPOSED
ELEVATIONS

4

SCALE:
DRAWN BY: SNH
CHECKED BY: RJH
PROJECT NO.: 2017008
DATE: 02/05/20

Revisions:		
#	Description	Date

ISLINGTON COMMONS

410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

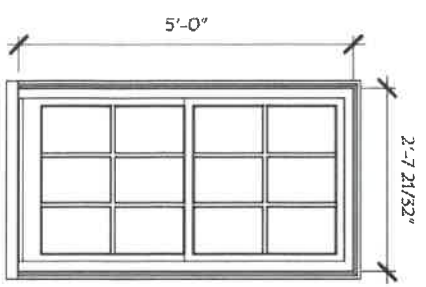
HISTORIC
DISTRICT
COMMISSION

ADMINISTRATIVE
APPROVAL
FEBRUARY 2020

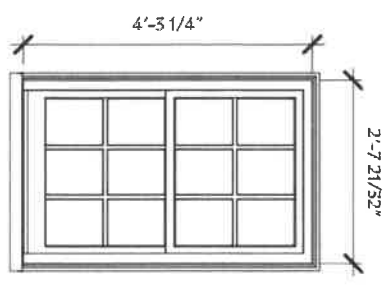
MARKET SQUARE ARCHITECTS
104 Congress St., STE 205
Portsmouth, NH 03801
PH: 603.809.0202
JMarketSquare@msarch.com

NOTE:
 THERE WAS A PREVIOUS ADMINISTRATIVE APPROVAL CHANGING THE WINDOW LINE FROM MARVIN ALUM CLAD TO MARVIN INTEGRITY. TO MAINTAIN EGRESS REQUIREMENTS, THIS CHANGE REQUIRED SOME OF THE WINDOWS TO SWITCH FROM DOUBLE HUNG TO CASEMENT WINDOWS. THE INTEGRITY LINE HAS SINCE BEEN RE-BRANDED AS MARVIN ELEVATE.

NOTE: ALL WINDOWS ON MAIN PORTION OF HOUSE TO MATCH HISTORIC PHOTO. ALL WINDOWS ON EXISTING REAR ADDITION TO HAVE BACK BAND TRIM PORTION OF HISTORIC TRIM ONLY.

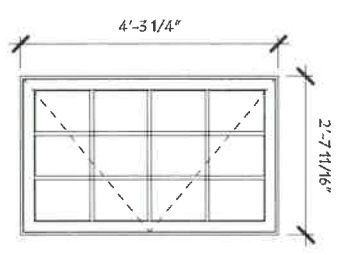


TYPE A
 MARVIN ULTIMATE MAGNUM
 DOUBLE HUNG WINDOW

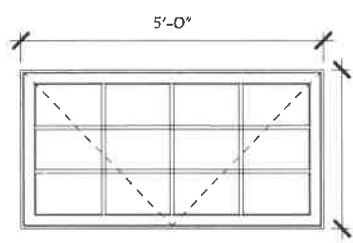


TYPE B
 MARVIN ULTIMATE DOUBLE
 HUNG WINDOW

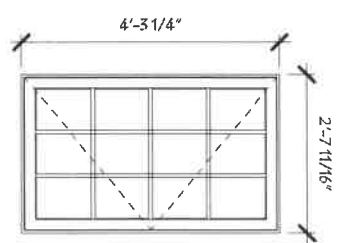
NOTE: ALL WINDOW TRIM ON MAIN PORTION OF HOUSE TO MATCH HISTORIC PHOTO. ALL WINDOW TRIM ON EXISTING REAR ADDITION TO HAVE BACK BAND TRIM PORTION OF HISTORIC TRIM ONLY



TYPE B.1
 MARVIN SIGNATURE
 ULTIMATE (FORMERLY
 ULTIMATE) WOOD
 CASEMENT WINDOW



TYPE C.1
 MARVIN ELEVATE
 (FORMERLY INTEGRITY)
 ULTREX CASEMENT
 WINDOW



TYPE D.1
 MARVIN ELEVATE
 (FORMERLY INTEGRITY)
 ULTREX CASEMENT WINDOW

WINDOW TYPES - 430
 1/2" = 1'-0"

PREVIOUSLY APPROVED WINDOW TYPES

WINDOW TYPES
 1/2" = 1'-0"

PROPOSED WINDOW TYPES

TITLE: WINDOW TYPES	SCALE: 1/2" = 1'-0"	Revisions: # Description Date
DRAWN BY: SNH	CHECKED BY: RJH	
PROJECT NO.: 2017008	DATE: 02/05/20	

ISLINGTON COMMONS

410-430 ISLINGTON STREET
 PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
 ADMINISTRATIVE APPROVAL
 FEBRUARY 2020





TITLE: 412 EXTERIOR ELEVATION	SCALE:	Revisions:
DRAWN BY:	Author	# Description Date
CHECKED BY:	Checker	
PROJECT NO.:	2017008	
DATE:	02/05/20	

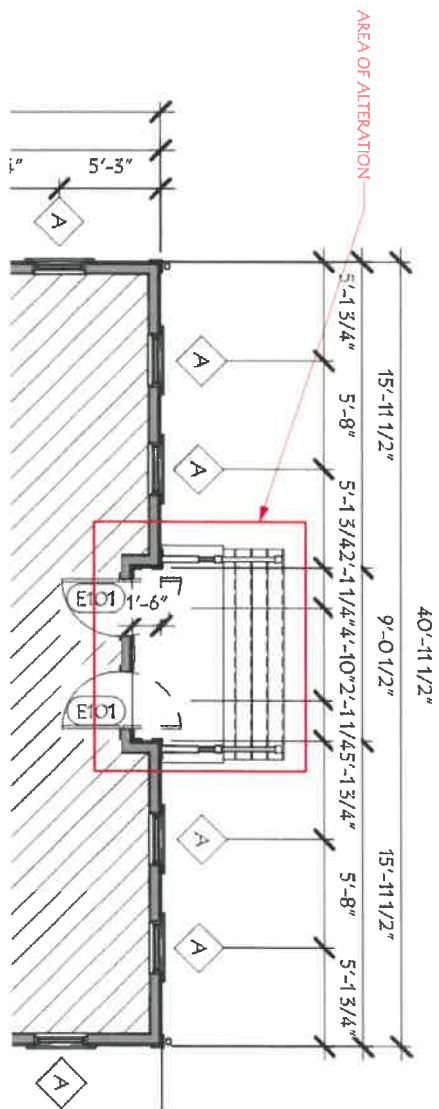
ISLINGTON COMMONS

410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

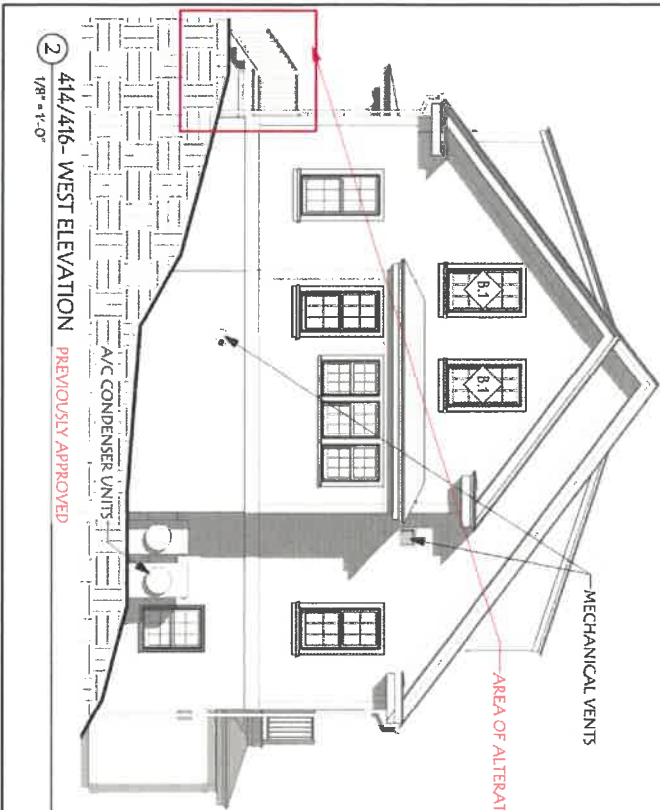
HISTORIC
DISTRICT
COMMISSION

ADMINISTRATIVE
APPROVAL
FEBRUARY 2020

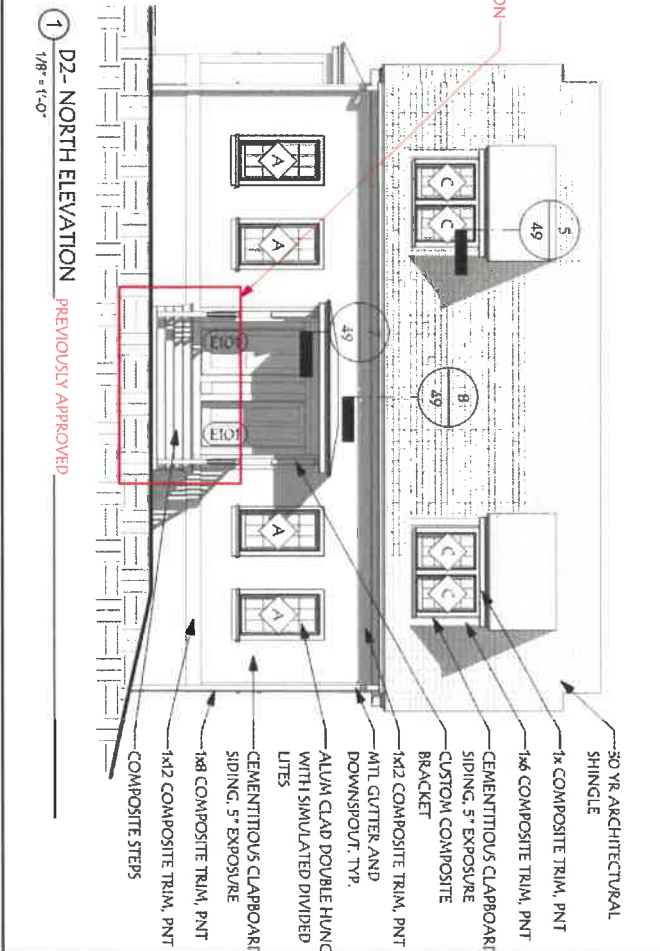




414/416 SECOND FLOOR PARTIAL PLAN - PREVIOUSLY APPROVED



414/416 WEST ELEVATION PREVIOUSLY APPROVED
1/8" = 1'-0"



D2 - NORTH ELEVATION PREVIOUSLY APPROVED
1/8" = 1'-0"

TITLE: 414/416 PREVIOUSLY APPROVED PLAN/ELEVATION	SCALE:	Revisions:
7	DRAWN BY:	# Description Date
	CHECKED BY:	Author
	PROJECT NO.:	Checker
	DATE:	2017008
		02/05/20

ISLINGTON COMMONS

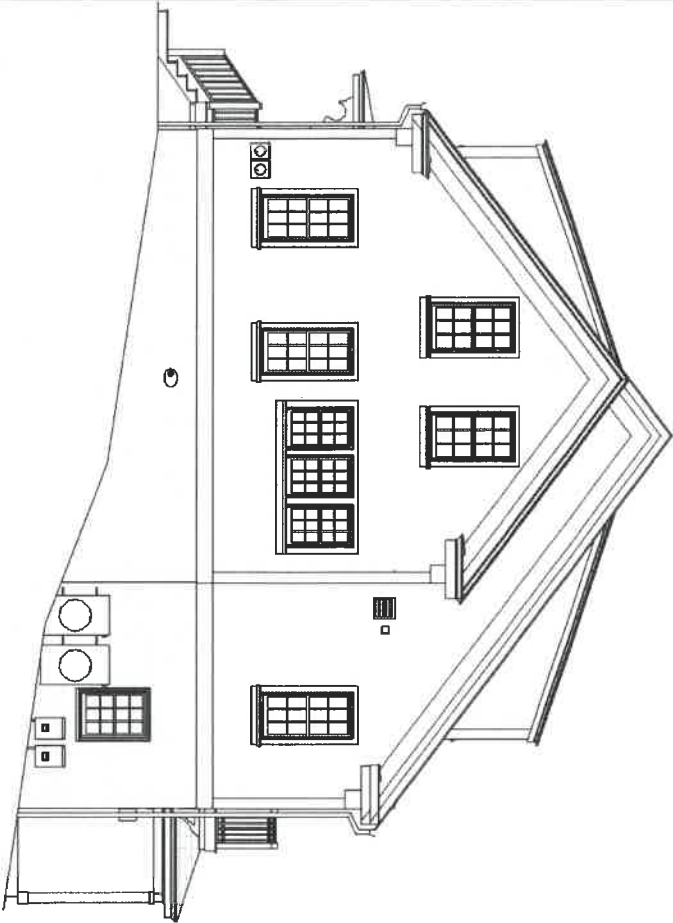
410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL
FEBRUARY 2020

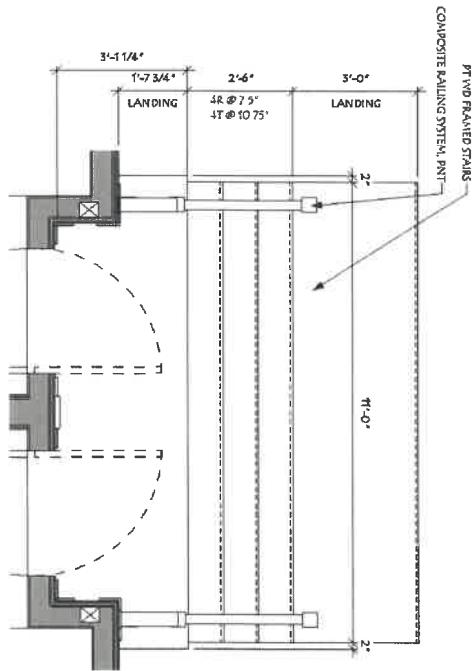
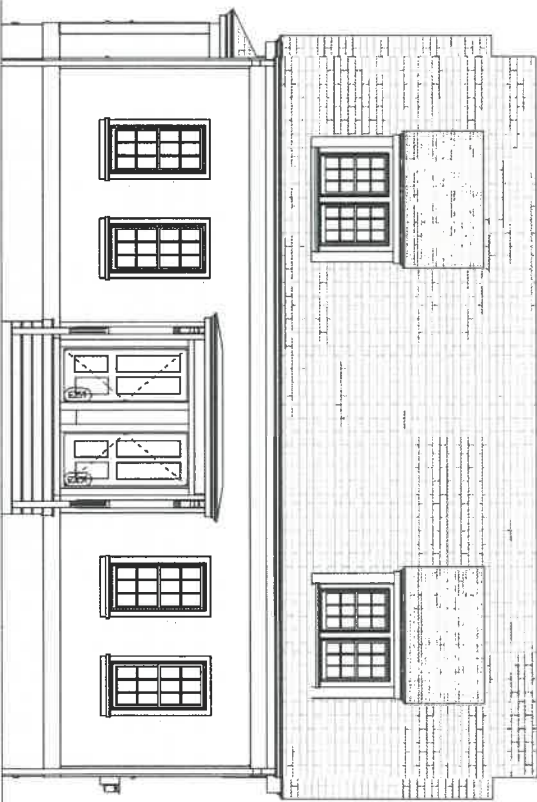


ARCHITECTS
104 Congress St., STE 205
Portsmouth, NH 03801
PH: 603.508.0202
info@market-square-architects.com

414/416 WEST ELEVATION - PROPOSED



414/416 NORTH ELEVATION - PROPOSED



414/416 SECOND FLOOR PARTIAL PLAN - PROPOSED

TITLE:
414/416 PROPOSED

SCALE:
DRAWN BY: Author

CHECKED BY: Checker

PROJECT NO.: 2017008

DATE: 02/05/20

Revisions:
Description Date

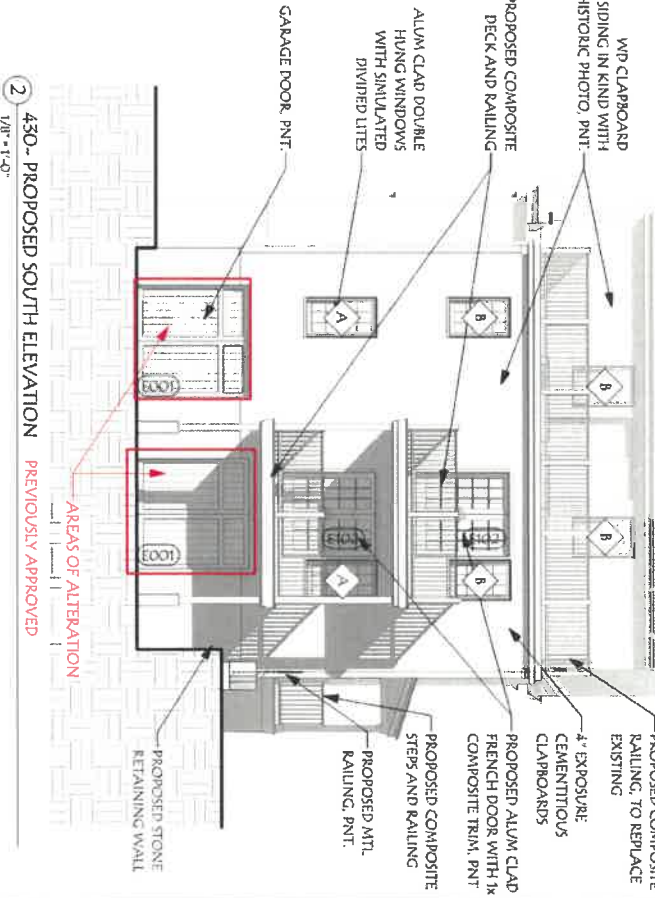
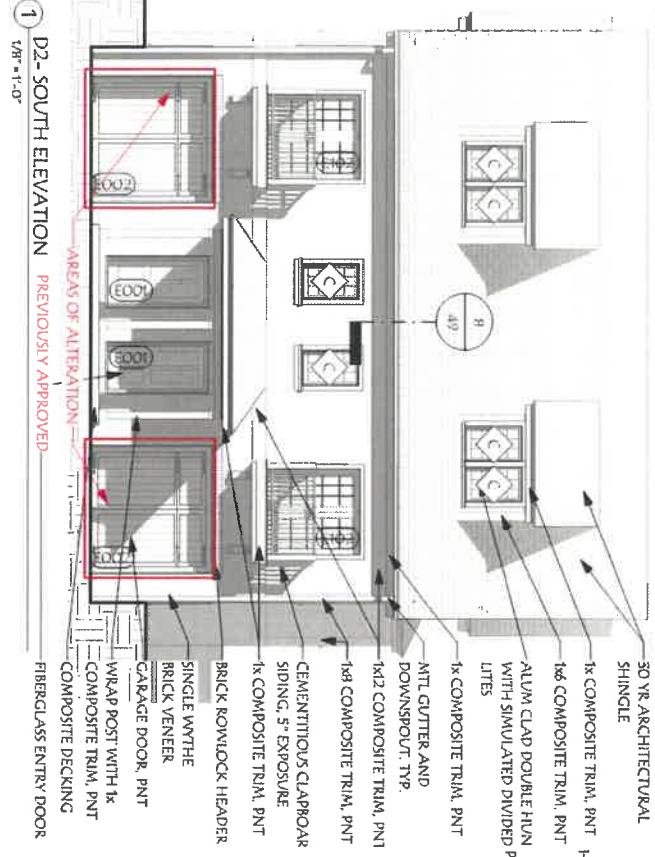
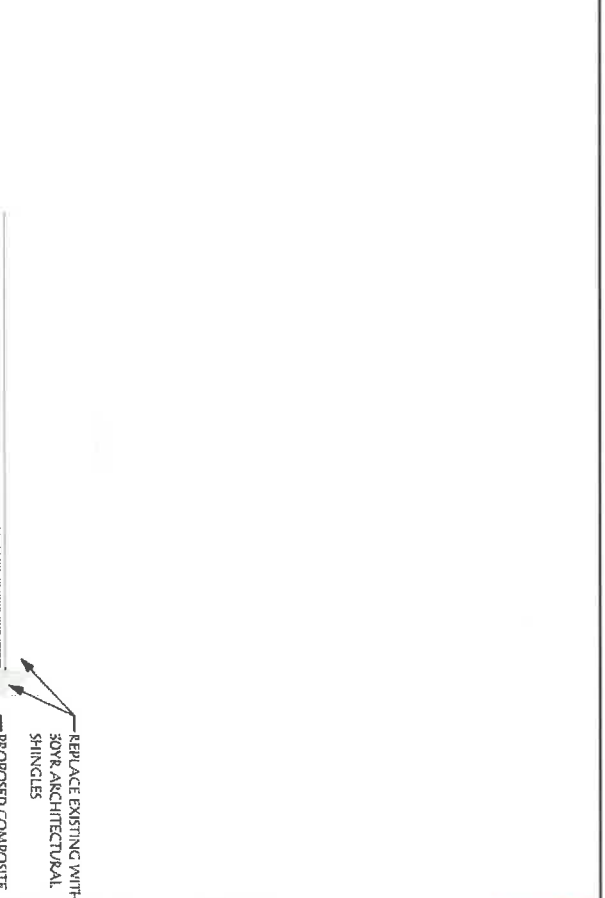
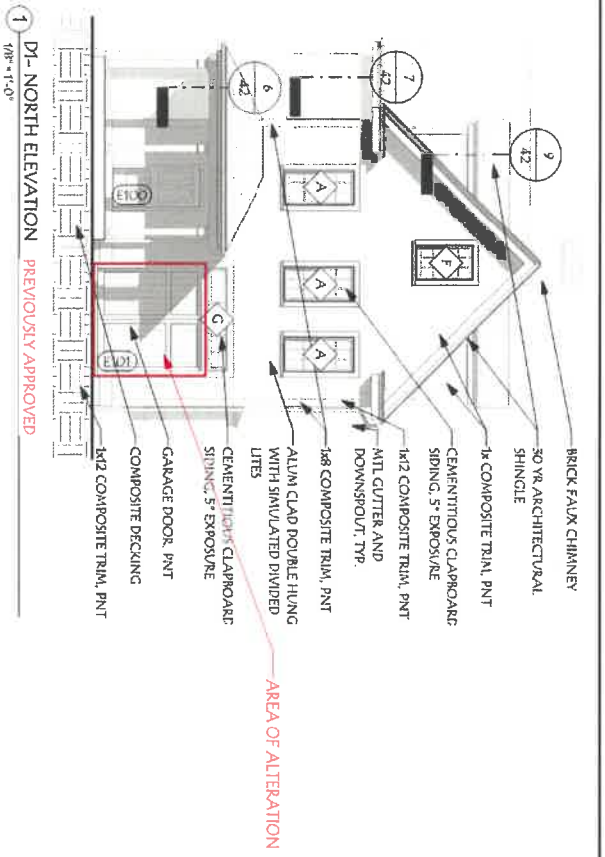
#	Description	Date

ISLINGTON COMMONS

410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL
FEBRUARY 2020





TITLE: 414/416, 426, 428/430 GARAGE DOORS- PREVIOUSLY APPROVED		SCALE: 1/8" = 1'-0"						
DRAWN BY: Author	CHECKED BY: Checker	PROJECT NO.: 2017008						
DATE: 02/05/20	Revisions: <table border="1"> <thead> <tr> <th>#</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	#	Description	Date				HISTORIC DISTRICT COMMISSION ADMINISTRATIVE APPROVAL FEBRUARY 2020
#	Description	Date						

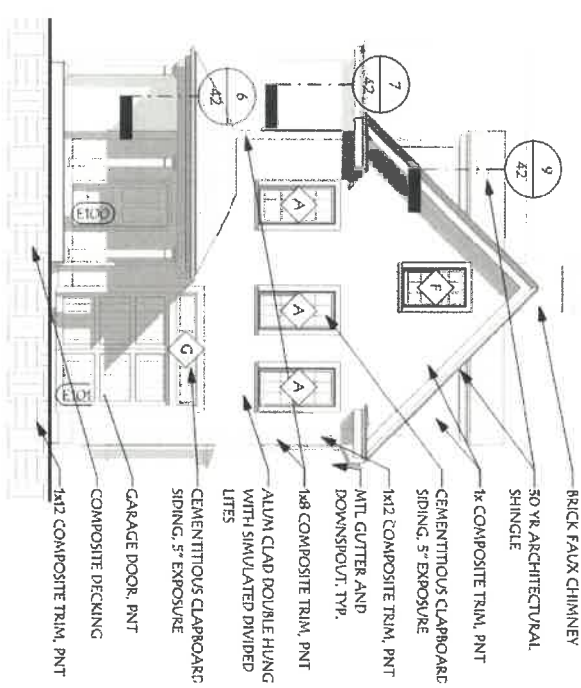
ISLINGTON COMMONS

410-430 ISLINGTON STREET
 PORTSMOUTH, NH 03801

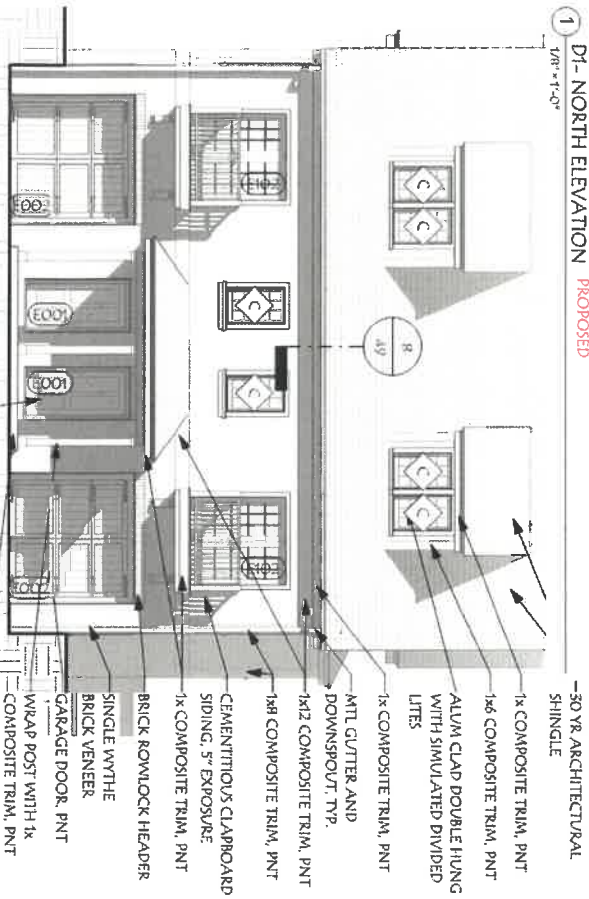


ARCHITECTS
 101 Congress St., STE 205
 Portsmouth, NH 03801
 Ph: 603.529.0202
 MMarketSquareArchitects.com

NOTE: PREVIOUSLY APPROVED OVERHEAD DOORS FOR BUILDINGS 414/416, 426, & 428/430 ARE NO LONGER AVAILABLE



PROPOSED GARAGE DOOR



1 D1- NORTH ELEVATION PROPOSED
1/8\"/>



1 D2- SOUTH ELEVATION PROPOSED
1/8\"/>

TITLE: 414/416, 426, 428/430 GARAGE DOORS- PROPOSED	SCALE:	Revisions:	
	DRAWN BY:	Description	Date
10	CHECKED BY:		
	PROJECT NO.:	2017008	
	DATE:	02/05/20	

ISLINGTON COMMONS

410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL
FEBRUARY 2020

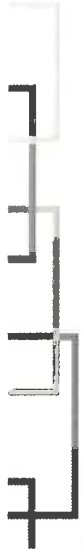




Look no further. From a distance, you see wood. Up close, it's sturdy, durable, low-maintenance steel. The Classica Collection of Carriage House Doors. Precision-shipped doors in fresh, clean, classic carriage house styles that go up and down like traditional carriage doors. Three-section tall designs. Instead of four, help deliver a more authentic carriage house look. Deception never looked so good.



- PANEL DESIGNS**
- 1.1 A. LUTHER
 - 1.1 B. JORDAN
 - 1.1 C. AVANTAGE
 - 1.1 D. WILLOW
 - 1.1 E. HORTON
 - 1.1 F. JORDAN
 - 1.1 G. AVANTAGE



**CLASSICA COLLECTION
Construction**

- 1000**
Single-Layer, Steel
Steel Exterior
- 2000**
Double-Layer, Steel + Insulation
Steel Exterior, Polyurethane Insulation
- 3000**
Triple-Layer, Steel + Insulation + Steel
Steel Exterior, Polyurethane Insulation, Steel Interior

Specifications

PANEL DESIGNS	CLASSICA 1000	CLASSICA 2000	CLASSICA 3000
Carriage House	7 Designs	7 Designs	7 Designs
INSULATION*	None	Polyurethane	Polyurethane
R-VALUE†	None	6.44	13.25
ENERGY EFFICIENCY	None	Behr	Behr
QUIET OPERATION	None	Behr	Behr
DOOR THICKNESS	2" (5cm)	2" (5cm)	2" (5cm)
WINDOW GLASS OPTIONS	None	None	None
1/8" (0.32cm) Tempered Double Strength Insulated Glass	None	None	None
Obscure	None	None	None
WIND LOAD‡ AVAILABLE	None	None	None
PAINT FINISH AVAILABLE*	None	None	None
WORKSPACES/PAIDWARE AVAILABLE†	None	None	None

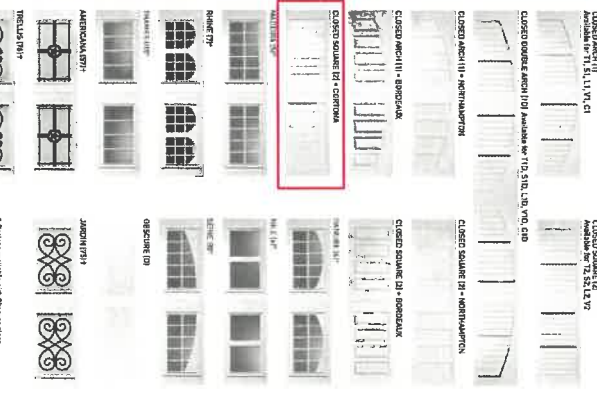
Colors

- White
- Almond
- Black
- Dark Bronze
- Medium Bronze
- Light Bronze
- Dark Brown
- Light Brown
- Dark Grey
- Light Grey
- Dark Blue
- Light Blue
- Dark Green
- Light Green
- Dark Red
- Light Red
- Dark Purple
- Light Purple
- Dark Yellow
- Light Yellow

Decorative Hardware & Lock

- ALUMINUM
- VERNALIS
- CANTERBURY
- SIANA PRO STEEL
- ALPINE LOCK

Classica® Collection Top Sections



TWO-TONE PAINT OPTIONS*

- PALE
- TRIDENT
- ALMOND
- WICKER TAN
- SALMON
- TERRAZZO
- DAKE BROWN
- HINTERGRASS
- ONIV
- BASECOTE
- WINDSOR
- SALMON
- TERRAZZO
- QUARTZITE

Amarr
ENTREMATICS

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Whitson Salem, NC 27155
800.501.DOOR
WWW.AMARR.COM

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MADE IN USA

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TITLE: OVERHEAD DOOR CUT SHEETS
SCALE:
DRAWN BY:
CHECKED BY:
PROJECT NO.:
DATE:

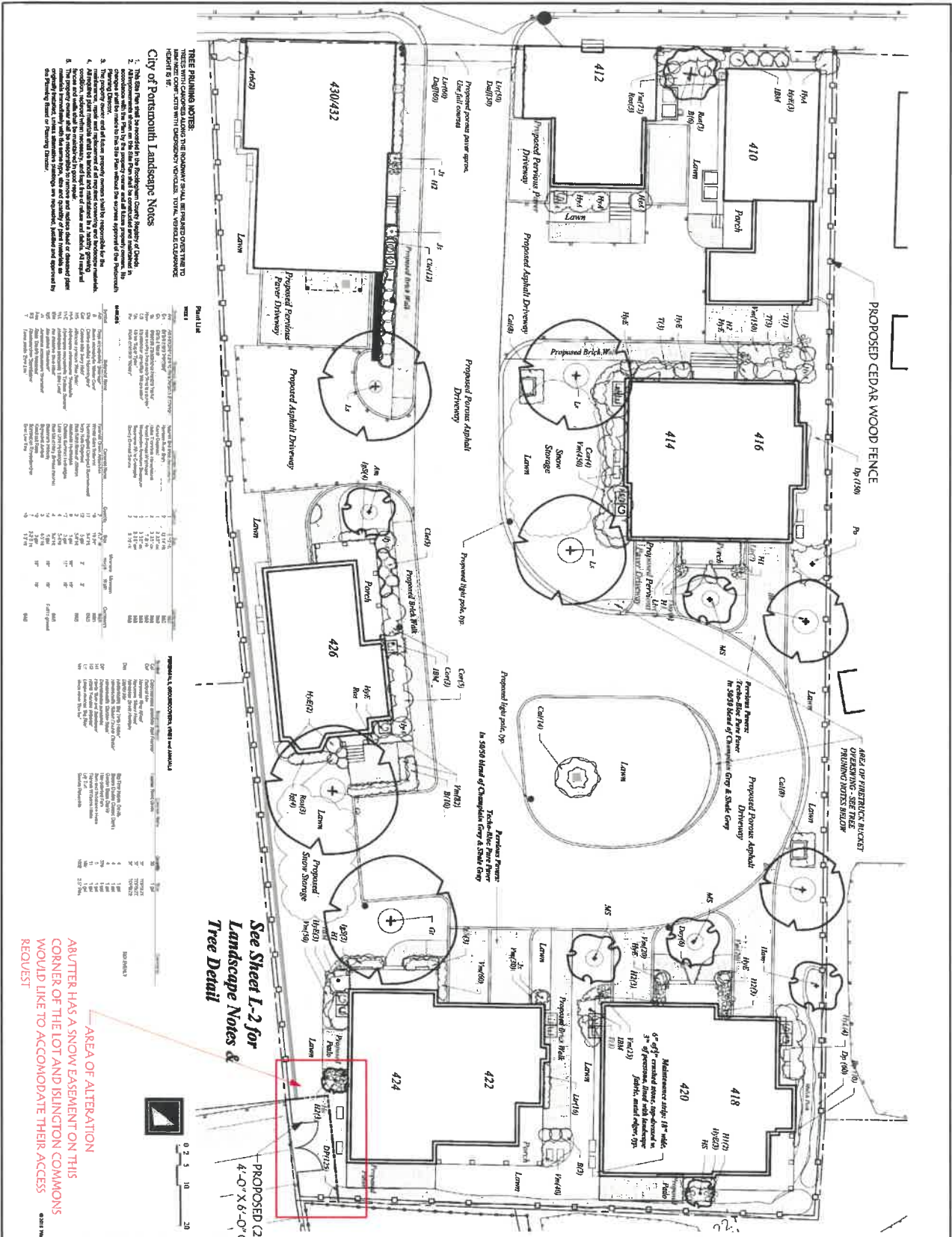
Author
Checker
2017008
02/05/20

Revisions:	Description	Date

ISLINGTON COMMONS
410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
ADMINISTRATIVE APPROVAL
FEBRUARY 2020

MARKET SQUARE ARCHITECTS
104 Congress St., STE. 205
Portsmouth, NH 03801
PH: 603.501.0202
MarketSquare-Architects.com



PROPOSED CEDAR WOOD FENCE

AREA OF FIBERGLASS BLOCKS OVERLAYING - SEE THESE FOUNDATION NOTES BELOW

Proposed 24\"/>

Proposed 6\"/>

Proposed 3\"/>

Proposed 18\"/>

Proposed 18\"/>

Proposed 18\"/>

Proposed 18\"/>

Proposed 18\"/>

Proposed 18\"/>

Proposed 18\"/>

Proposed 18\"/>

Proposed 18\"/>

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Proposed 18\"/>

Proposed 18\"/>

Islington Commons
LANDSCAPE PLAN
410-432 Islington Street Portsmouth, New Hampshire

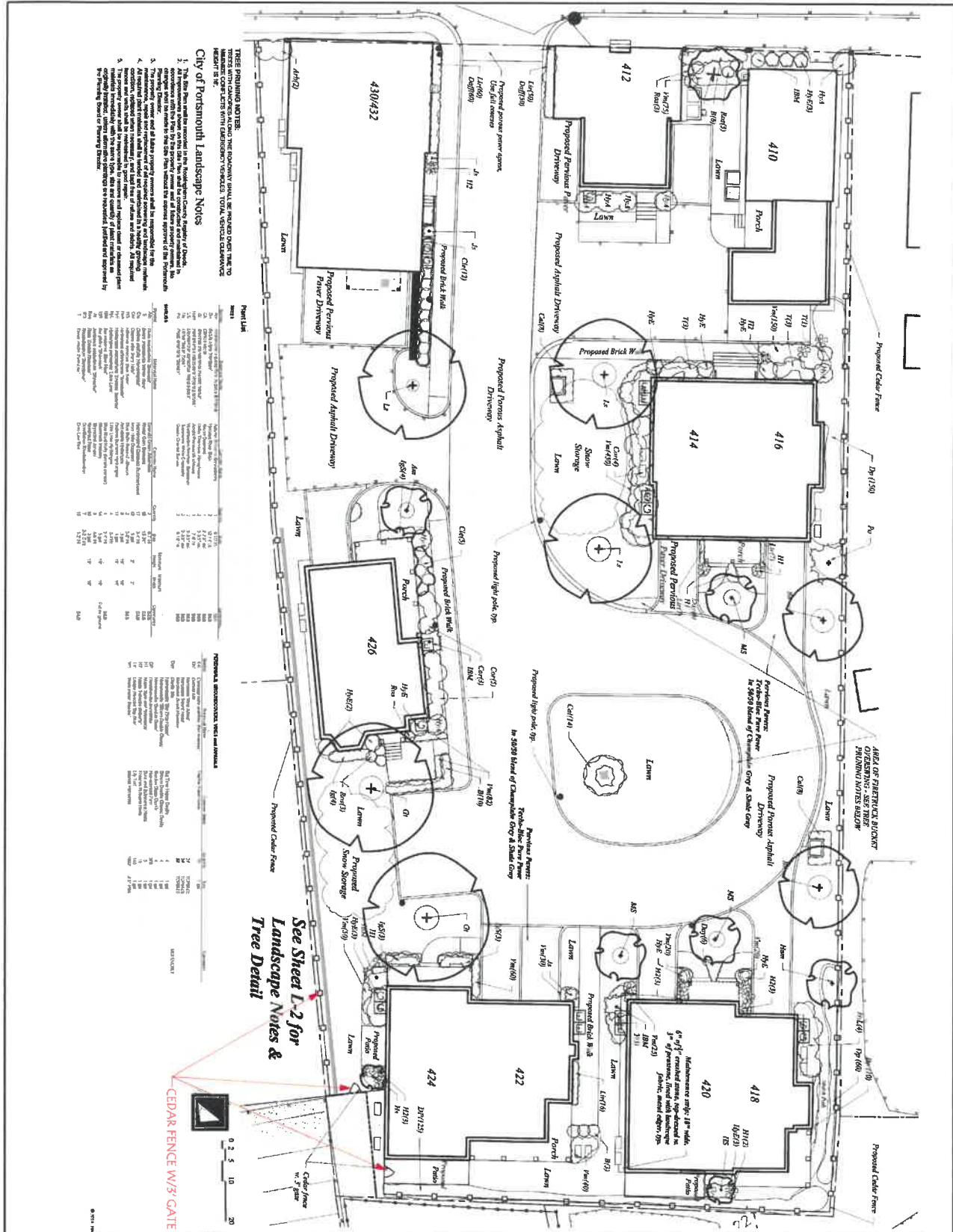
woodburn & company
LANDSCAPE ARCHITECTURE
133 East Water Street, Portsmouth, NH 03801

ISLINGTON COMMONS
410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
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FEBRUARY 2020

MARKET SQUARE ARCHITECTS
134 Congress St., STE 205
PORTSMOUTH, NH 03801
761-625-5558
market-square-architects.com

<p>L-1 Sheet 1 of 2</p>	<p>SCALE:</p> <p>DRAWN BY:</p> <p>CHECKED BY:</p> <p>PROJECT NO.:</p> <p>DATE:</p>	<p>Author:</p> <p>Checker:</p> <p>2017008</p> <p>02/05/20</p>	<p>Revisions:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>1" = 10'</td> <td>2017-10-14</td> </tr> <tr> <td>2</td> <td></td> <td>2017-12-19</td> </tr> <tr> <td>3</td> <td></td> <td>2018-04-20</td> </tr> <tr> <td>4</td> <td></td> <td>2018-06-01</td> </tr> <tr> <td>5</td> <td></td> <td>2019-08-01</td> </tr> </tbody> </table>	#	Description	Date	1	1" = 10'	2017-10-14	2		2017-12-19	3		2018-04-20	4		2018-06-01	5		2019-08-01
	#	Description	Date																		
	1	1" = 10'	2017-10-14																		
	2		2017-12-19																		
	3		2018-04-20																		
4		2018-06-01																			
5		2019-08-01																			
<p>TITLE:</p> <p>FENCING - PREVIOUSLY APPROVED</p> <p style="font-size: 24pt; text-align: center; margin-top: 10px;">12</p>																					
<p>1/27/2020 9:54:54 AM</p>																					
<p>© 2019 Market Square Architects</p>																					



- City of Portsmouth Landscape Notes**
- The site plan and associated landscape plan shall be reviewed against the City of Portsmouth's Landscape Ordinance, Chapter 228:002, and the City of Portsmouth's Landscape Ordinance, Chapter 228:002, and the City of Portsmouth's Landscape Ordinance, Chapter 228:002.
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Plant List

Plant Name	Quantity	Notes
1.
2.
3.
4.
5.
6.
7.
8.
9.
10.
11.
12.
13.
14.
15.
16.
17.
18.
19.
20.

PERSONAL PROPERTIES, WALLS AND AREAS

Property Name	Address	Owner	Notes
1.
2.
3.
4.
5.
6.
7.
8.
9.
10.
11.
12.
13.
14.
15.
16.
17.
18.
19.
20.



IS-1

SCALE: 1" = 10'-0"

DRAWN BY: [Name]

CHECKED BY: [Name]

PROJECT NO.: 207008

DATE: 02/05/20

Author: [Name]

Checker: [Name]

Revisions:

Description	Date
1. Initial Design	02/05/20
2. Final Design	02/05/20

Islington Commons

LANDSCAPE PLAN

410-432 Islington Street Portsmouth, New Hampshire

Drawn By: RW

Created By: RW

Scale: 1" = 10'-0"

Date: 2017-12-14

Revisions:

Description	Date
1. Initial Design	02/05/20
2. Final Design	02/05/20

ISLINGTON COMMONS

410-430 ISLINGTON STREET
PORTSMOUTH, NH 03801

woodburn & company

LANDSCAPE ARCHITECTURE

154 Congress St., STE 203
Portsmouth, NH, 03801
Tel: 603.551.5555
www.woodburn-landscape.com

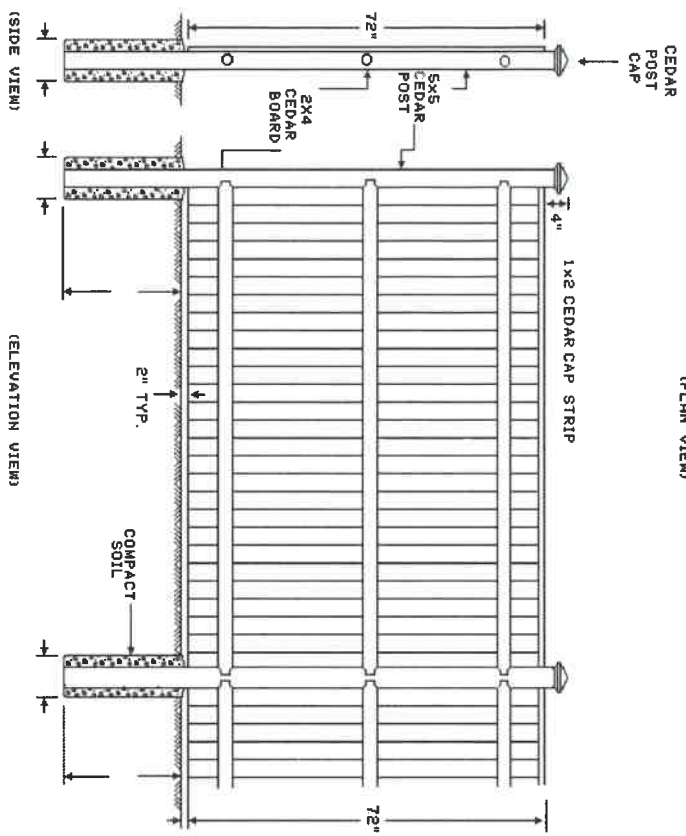
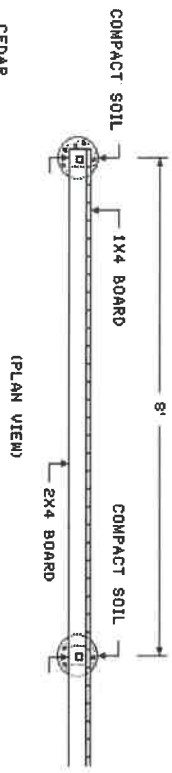
HISTORIC DISTRICT COMMISSION

ADMINISTRATIVE APPROVAL
FEBRUARY 2020

MARKET SQUARE ARCHITECTS

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Portsmouth, NH, 03801
Tel: 603.551.5555
www.market-square-architects.com

1X4 SOLID BOARD



FENCES
 DISTRICT BOARD ASSOCIATION
 (6' HIGH) CEDAR BOARD FENCE

GC/AAA FENCE COMPANY
 294 DURHAM ROAD
 DOVER, N.H. 03820
 603-742-0833

DRAWN BY: MC 01/14/03
 REVISIONS: MC 08/26/13
 SCALE: NONE
 TITLE: DISTRICT BOARD FENCE
 PAGE: 1 OF 1

FENCE - PREVIOUSLY APPROVED - NO CHANGES



EXAMPLE OF SIMILAR FENCE

TITLE:
 FENCING CUT SHEETS

14

SCALE:
 DRAWN BY: Author
 CHECKED BY: Checker
 PROJECT NO.: 2017008
 DATE: 02/05/20

Revisions:	Description	Date

ISLINGTON COMMONS

410-430 ISLINGTON STREET
 PORTSMOUTH, NH 03801

HISTORIC DISTRICT COMMISSION
 ADMINISTRATIVE APPROVAL
 FEBRUARY 2020

MARKET SQUARE ARCHITECTS
 104 Congress St., STE 202
 Portsmouth, NH, 03801
 PH: 603.529.0202
 MarketSquareArchitects.com

8. 299 Vaughan Street (LUHD-101) - Recommended Approval

Background: The applicant is seeking approval to amend a previously approved design (sconce lights added, stone veneer omitted, trim modifications and reductions in the storefront brick veneer)

Staff Comment: Recommended Approval

Stipulations:

1. _____
2. _____
3. _____

**Historic District Commission Work
Session or Administrative Approval
Application**

LUHD-101

Status: Active

Submitted: Jan 28, 2020

Applicant



Eben Tormey

603-518-2132

@ etormey@xsshoteles.com

Location

299 VAUGHAN ST
Portsmouth, NH 03801

Application Type

Please select application type from the drop down menu below

Administrative Approval

Project Information

Brief Description of Proposed Work

Administrative Approval request for items identified in Land Use Compliance report for the recently completed AC Hotel.

Description of Proposed Work (Planning Staff)

--

Project Representatives

Relationship to Project

Developer

If you selected "Other", please state relationship to project.

--

Business Name (if applicable)

XSS Hotels

City/Town

Hooksett

Zip Code

03106

Email Address

etormey@xsshoteles.com

If you selected "Other", please state relationship to project.

--

Full Name (First and Last)

Eben Tormey

Mailing Address (Street)

1359 Hooksett Road

State

NH

Phone

5303864511

Email Address

etormey@xsshoteles.com

Acknowledgement

I certify that the information given is true and correct to the best of my knowledge.

true

By checking this box, I agree that this is equivalent to a handwritten signature and is binding for all purposes related to this transaction

true

VAUGHAN STREET HOTEL LLC

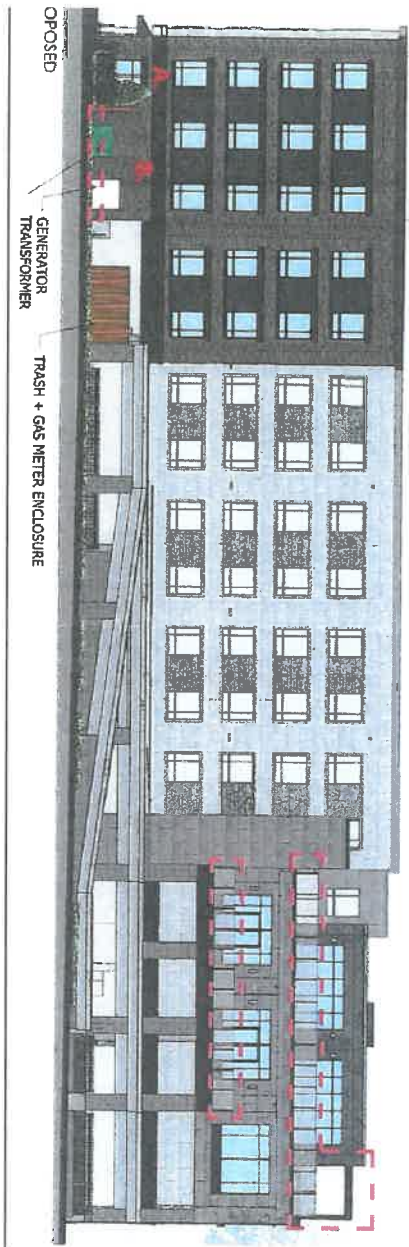
Vaughan Street Hotel LLC hereby requests Administrative Approval for the following items identified in the HDC Land Use Compliance Review prepared by Vincent Hayes for the new AC Hotel at 299 Vaughan Street.

- 1. Two sconce lights were added on the North elevation near the generator and transformer that were not shown on Sheet 5.2 that was included in the Administrative Approval package approved by the HDC at the October 19 2018 meeting.** *These were added to provide code required lighting at the egress path and the sconce installed was previously approved for use elsewhere on the building.*
- 2. The stone veneer shown below the ACM trim/overhang on Sheet 6.1 in Wall Section 1 and on Sheet 6.3 in Detail 2 in the package approved by HDC on June 12 2017 was omitted.** *The wall section and detail showing the stone veneer below the ACM trim/overhang is not consistent with the elevations and renderings that were approved on June 12 2017 and in subsequent approvals. As constructed (with no stone veneer below the ACM overhang to match the elevations and renderings) the top of the curtainwall (facing Vaughan Street) and storefront (facing Green Street) align with adjacent storefronts on Vaughan and Green Streets and stone coursing.*
- 3. The ACM trim above the metal panel at Stair A on Vaughan Street is not constructed per the dimensions shown on Sheet 6.2 in Wall Section 6 and on Sheet 6.4 Detail 9 in the plan package approved by HDC on June 12 2017.** *The dimensions for this trim detail shown on Sheet 6.4 are not consistent with the elevations and renderings approved by the HDC on June 12 2017 and in subsequent approvals. The trim was constructed to match the intent shown on the elevations and renderings with a subtle 1" projection beyond the metal panel below and a height of 8".*
- 4. The ACM trim above the metal panel at Stair B on Green Street was omitted altogether (see plan reference above).** *This was omitted by construction and will be addressed. The trim detail will match what is constructed at Stair A (pending approval).*
- 5. The 3'-0" dimension for the brick veneer between the top of storefront and bottom of metal band shown in Wall Section 8 on Sheet 6.2 and in Detail 15 on Sheet 6.5 in the plan package approved by HDC on June 12 2017 has been reduced to 1'-6".** *With the grade change on Green street this dimension had to be reduced in order to maintain the storefront with an 8'-0" door and transom above.*

On the following pages you will find additional information regarding these items including snapshots from previous HDC approvals and photos of what is constructed.

Alterations to the Approved Design:

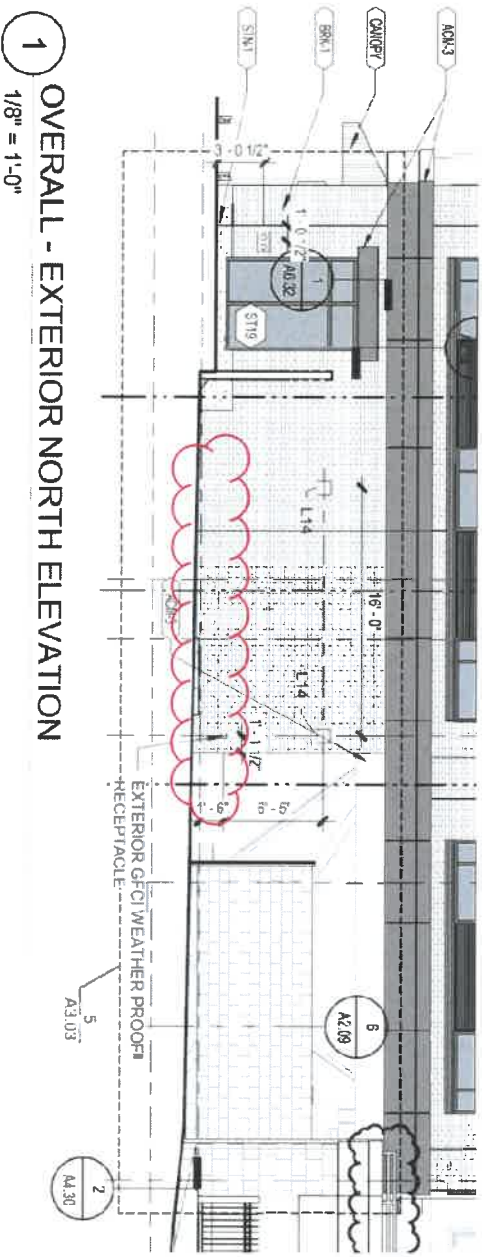
- A. Lintel omitted. Missed by the construction team. Lintel will be installed. No administrative approval requested.
- B. (2x) sconce lights added on North Elevation (i.e. by generator/transformer).
Sconce lights added to provide code required lighting for egress pathway



FIXTURE

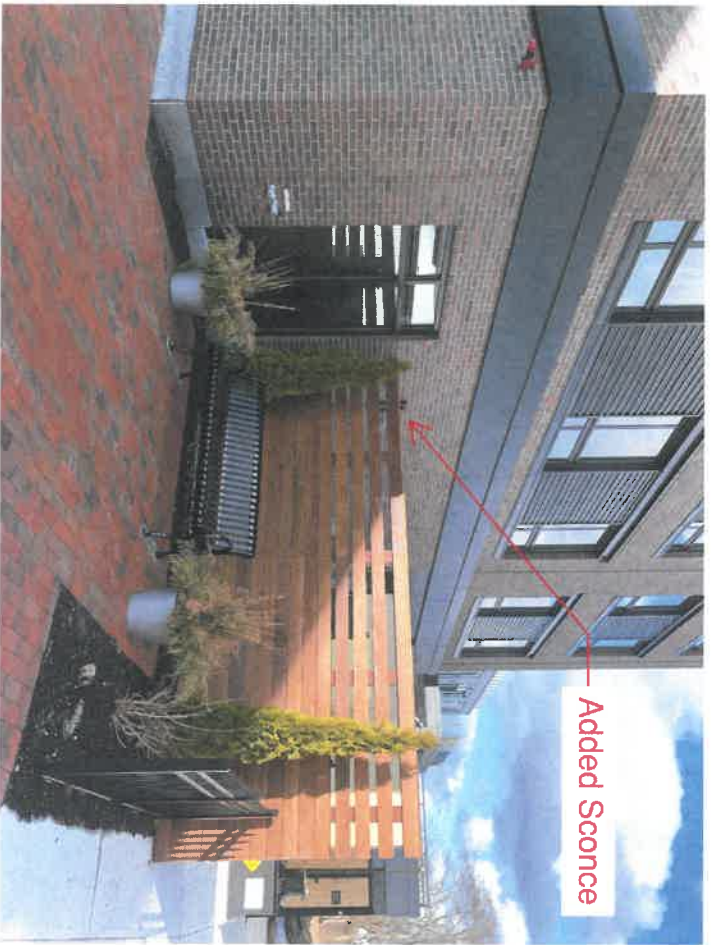
Tag: L16.1
 Manufacturer: MODERN FORMS
 Color: BLACK

Sconce lights approved at 07.18.2018 meeting as shown on sheet 8.4



1 OVERALL - EXTERIOR NORTH ELEVATION
 1/8" = 1'-0"

The sconce lights added are the L16.1 fixtures approved by the HDC at the 07.18.2018 meeting (see sheet 8.4) for use elsewhere on the building.

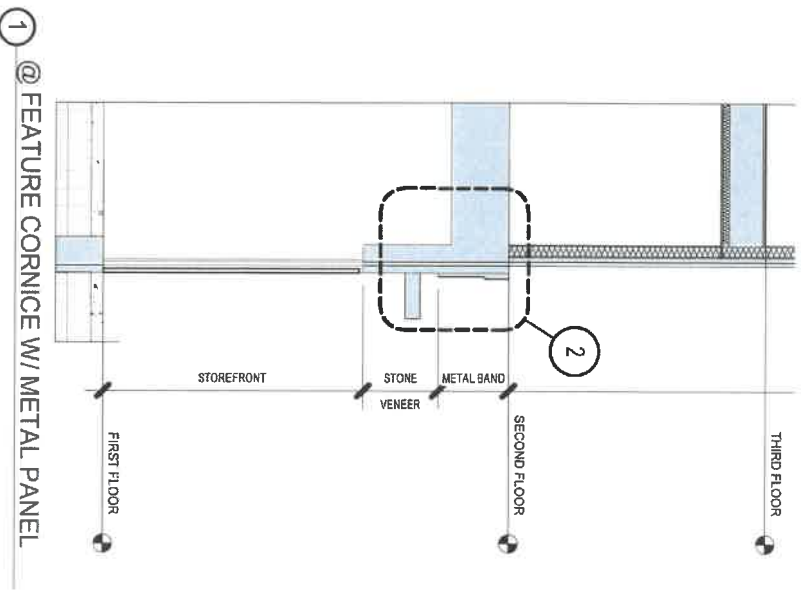


View from Green Street

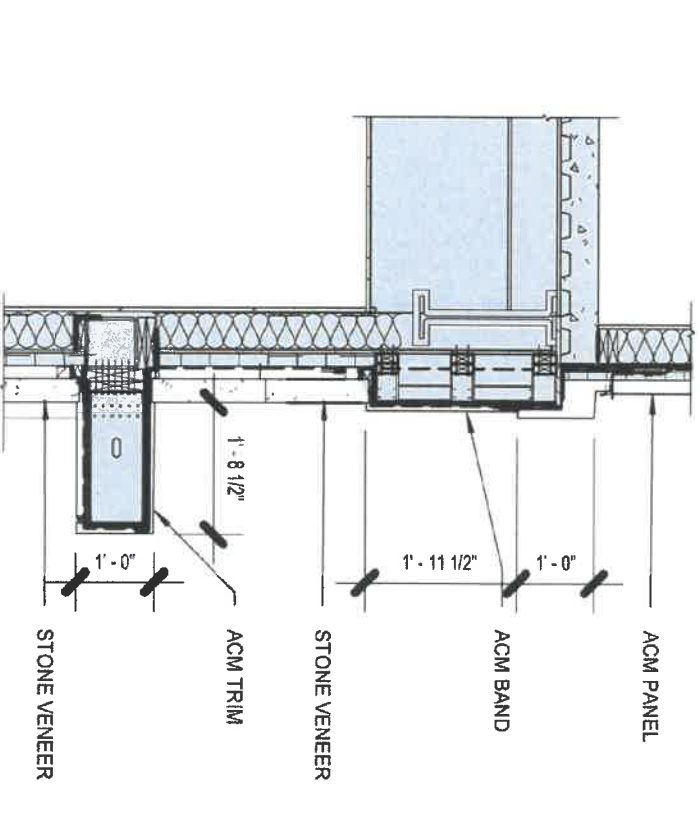


Alterations to the Approved Design:

A. Stone veneer omitted beneath 1'-8.5" x 1' overhang.



Section from Sheet 6.1 Above



Detail from Sheet 6.3 Above

While the stone veneer was shown below the ACM trim in the section on Sheet 6.1 and in the Detail on Sheet 6.3 it was not shown below the ACM trim on the elevations on Sheet 7.2 and 7.3, or on subsequent submissions - for example the rendering on Sheet 3.0 approved 12.06.2017 or the elevation on Sheet 5.0 Approved June 12, 2019. The top of the storefront/curtainwall aligns with the top of adjacent storefront and stone veneer coursing. Had the stone veneer been installed below the ACM as shown in the section and detail the top of the curtainwall/storefront would not have aligned with the adjacent storefronts.

Below elevation shown on Sheets 7.2 and 7.3 from June 12 2017 approval with no Stone Veneer between ACM trim and curtainwall/storefront

PARTIAL SOUTH ELEVATION
VAUGHAN STREET
HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL JUNE 7, 2017

CI ARCHITECTS HOTELS XSS CATHARTES

SCALE: 1/4" = 1'-0" ON 22X34 SHEET

7.2

VAUGHAN STREET
NEW LAYOUT

CI ARCHITECTS HOTELS XSS CATHARTES

PARTIAL EAST ELEVATION
GREEN STREET

Below rendering on sheet 3.0 from drawings approved 12.06.2017



PROPOSED



DR INTERNAL ILLUMINATION

Sheet 5.0 Approved June 12 2019

ORNER
6 2017

CI ARCHITECTS HOTELS XSS CATHARTES

3.0



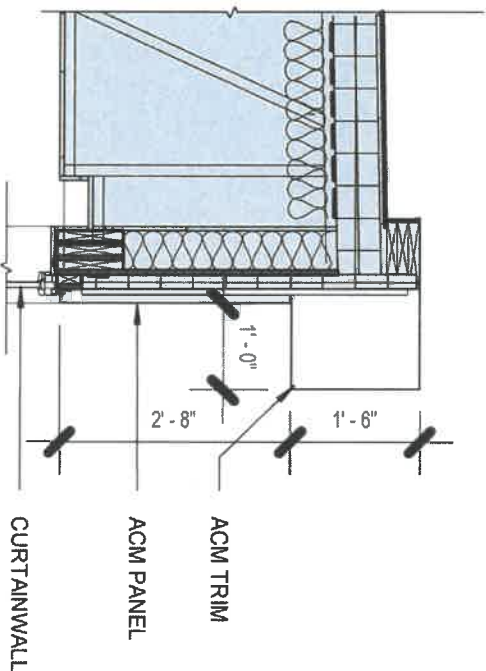
View from intersection of Green and Vaughan Streets



View from intersection of Green and Vaughan Streets looking down Green Street.

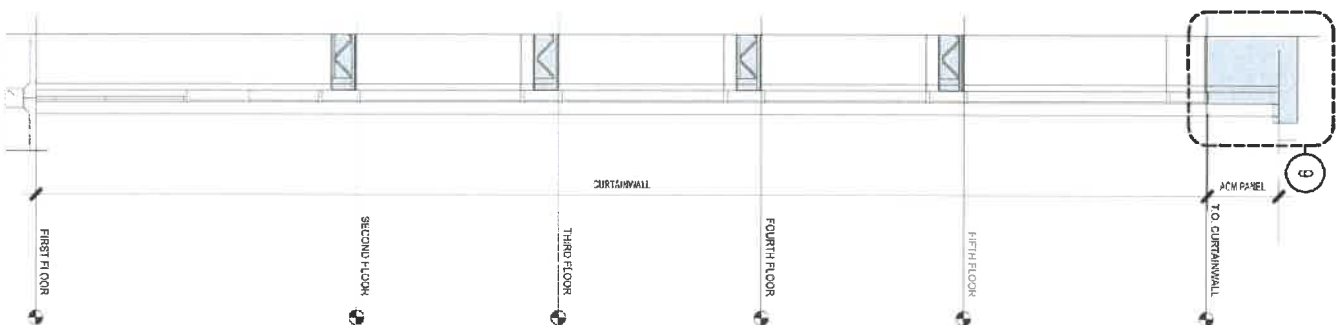
Alterations to the Approved Design:

- A. ACM Trim is less than 1'-6" in width, 1' return omitted.
- B. This detail is omitted altogether on the Green Street elevation.



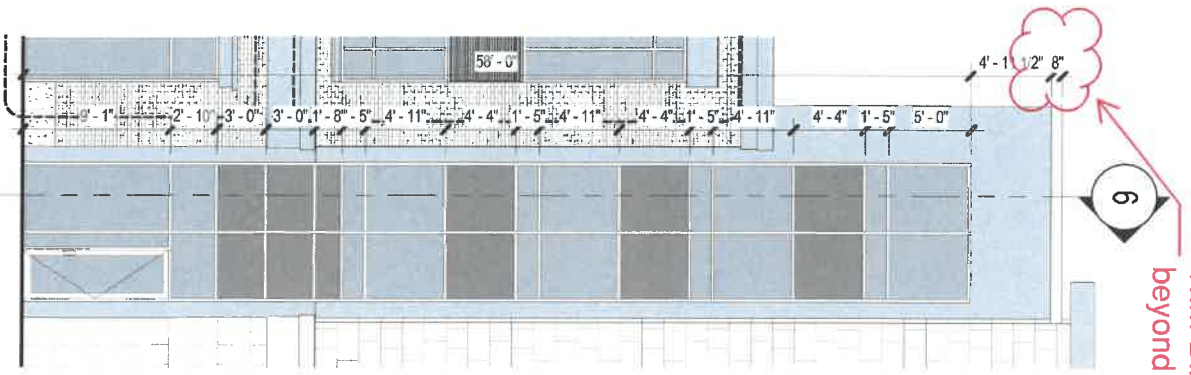
9 EXTERIOR DETAIL

The detail and section show the trim 1'-6" high projecting 1'-0" on Sheet 6.2 (section) and Sheet 6.4 (detail) but elevations showed an 8" high trim with a subtle projection. Stair A (Vaughan Street elevation) was built correctly and the trim is 8" high and projects 1" out from the ACM panel below. The trim was omitted on Stair B by the installer but will be corrected to match Stair A.



8 WALL SECTION @ TYPICAL STAIR

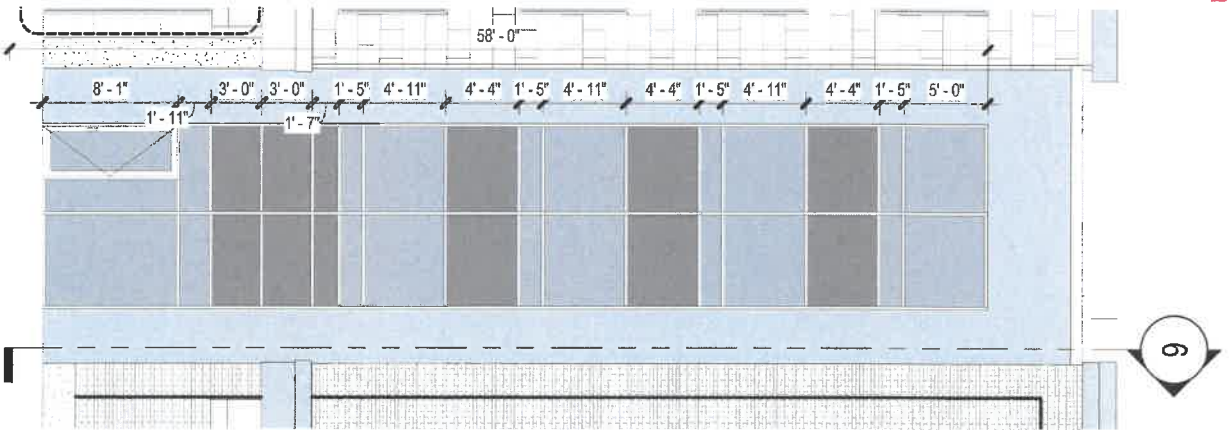
Trim Dimension noted as 8" and projection beyond panel below is barely perceptible



Sheet 7.0 June 12 2017



Sheet 6.0 June 12 2017



Sheet 7.4 June 12 2017



Sheet 6.0 June 12 2017



299 VAUGHAN STREET
 PORTSMOUTH, NEW HAMPSHIRE

PROPOSED
 STREET VIEW EAST ALONG VAUGHAN STREET
 HDC APPLICATION FOR AMENDED APPROVAL, DECEMBER 6, 2017



3.2

Sheet 3.2 in the package approved on 12.06.2017 - no projection shown on trim



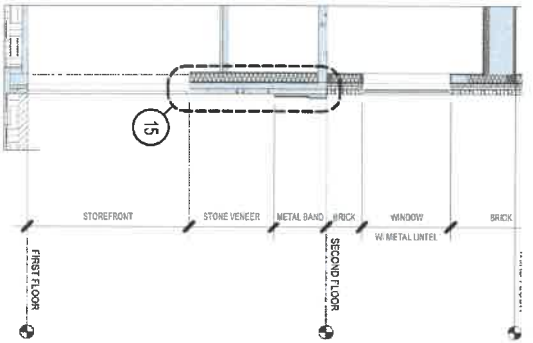
Stair A detail as constructed matches what is shown on sheets 6.0, 7.0 and 7.4 in the original 06.12.2017 HDC approval and elevations included in subsequent HDC submissions.



Stair B Green Street Elevation will be corrected to match Stair A

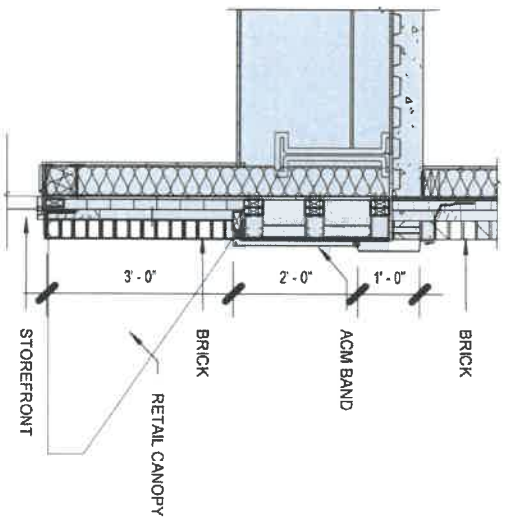
Alterations to the Approved Design:

A. 3' brick veneer has been reduced to approximately 1'-6".

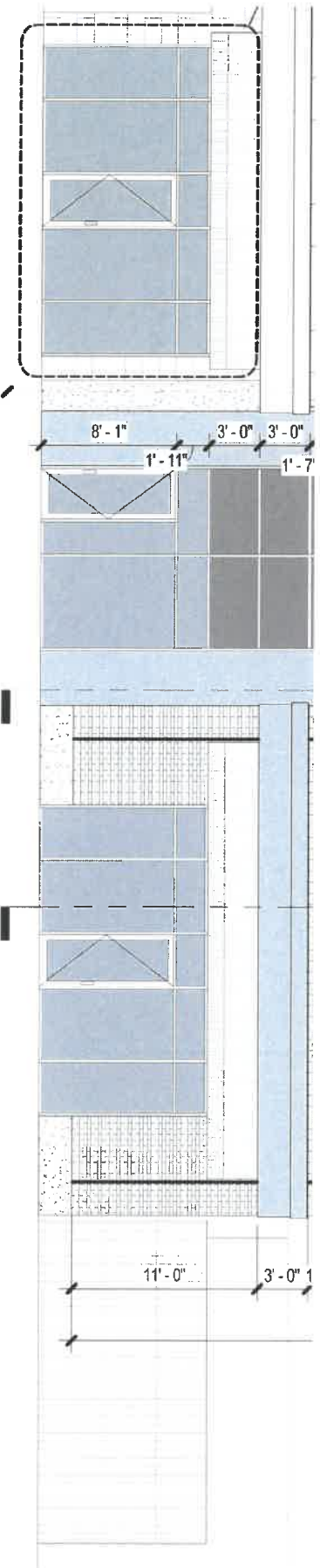


8 WALL SECTION @ BRICK 5 STORY

NOT TO SCALE



15 EXTERIOR DETAIL



SCALE: 1/4" = 1'-0" ON 22X34 SHEET

PARTIAL EAST ELEVATION
GREEN STREET

HISTORIC DISTRICT COMMISSION APPLICATION FOR APPROVAL: JUNE 7, 2017



CATHARTES

7.4



The grade change along Green Street required the height of the brick above the storefront to be reduced from 3'-0" to 1'-6" in order to maintain the 8'-0" door with transom above.



The grade change along Green Street required the height of the brick above the storefront to be reduced from 3'-0" to 1'-6" in order to maintain the 8'-0" door with transom above.