

HDC

ADMINISTRATIVE APPROVALS

October 18th, 2017

1. 34 Ceres Street (door and windows) - TBD
2. 403 Deer Street (door surround) - Recommend Approval
3. 501 Islington Street (roof deck) - TBD
4. 38 Chapel Street (window trim) - TBD
5. 536 Marcy Street (windows) - Recommend Approval
6. 10 Humphrey's Court (modifications) - TBD
7. 55 Market Street (HVAC) - Recommend Approval
8. 1 Middle Street (HVAC) - Recommend Approval
9. 17 Hunking Street (door) - Recommend Approval

1. 34 Ceres Street (door)

- TBD

Date Application Rec'd _____

Application for Administrative Approval Historic District Commission

Administrative Use Only:
Date of Meeting: _____
Payment: _____
Payment Type: _____
Index/Permit #: _____

Owner: Dick Holt

Applicant (if different): _____

Address: 34 Ceres Street
(Street)

Address: _____
(Street)

Portsmouth, NH 03801
(City, State, Zip)

(City, State, Zip)

Phone: _____

Signature: _____

Location of Structure: Map 106 / Lot 45 Street Address: 34 Ceres Street

Building Permit #: _____

To permit the following: **1) Replace sliding door on the northwesterly elevation with a vinyl sliding door; and 2) replace the three windows on the northeasterly elevation with vinyl windows.**

Action Taken by H.D.C.	
Date:	10-18-17
Status:	
Stipulations:	
Signature of Principal Planner:	Nicholas J. Cracknell, AICP

If approved, please acknowledge below:

I hereby acknowledge that all changes or variation in the design as presented shall require further Historic District Commission approval.

Owner

Nicholas J. Cracknell

From: Dick Holt <dickh@morantug.com>
Sent: Monday, September 25, 2017 10:41 AM
To: Nicholas J. Cracknell
Subject: 34 Ceres Street Portsmouth NH.pdf
Attachments: 34 Ceres Street Portsmouth NH.pdf

Hi Nick,

Sorry for not doing this before contractor got going on job. I should have made sure he had permit before starting job. I have stopped work until approved by City of Portsmouth and HDC.

Please see attached pictures showing proposed work.

#1
First item, I would like to request that sliding glass door to my office be installed (It is already, but not finished). New door is same size, style, and will match in color once finished and look the same as previous door. It is made of vinyl and is not wood. It is same material as windows in office installed 10 years ago (with permit). I have stopped job until we have your thoughts/permission to continue. The trim boards and paint have not been installed/finished.

✓
Second request for permission would be to replace wood siding with exactly the same wood siding in kind. The siding is rotten on East side of building and the building is old and leaking when we have a driving rain from North East. Would like to replace siding with same in kind and then paint same color.

✓
Third request is to replace wood siding as needed on south side of building with same in kind and paint same color. Will only replace wood that is rotten.

#2
Forth item is to replace the 3 windows on south side of building with same size, appearance and style, except they will be vinyl instead of wood. They will be painted and you will not be able to tell that they are wood and not vinyl. Will look the same except vinyl, not wood.

Please let me know what time the meeting is on October 4th and I will be there. If I need to go to City Hall to write a check or do permit in person, please let me know what I have to do.

Thanks for the advice and help.

Regards,

Dick

603-765-5844

Dick.holt@morantug.com

Have not replaced

Original
Fixed glass

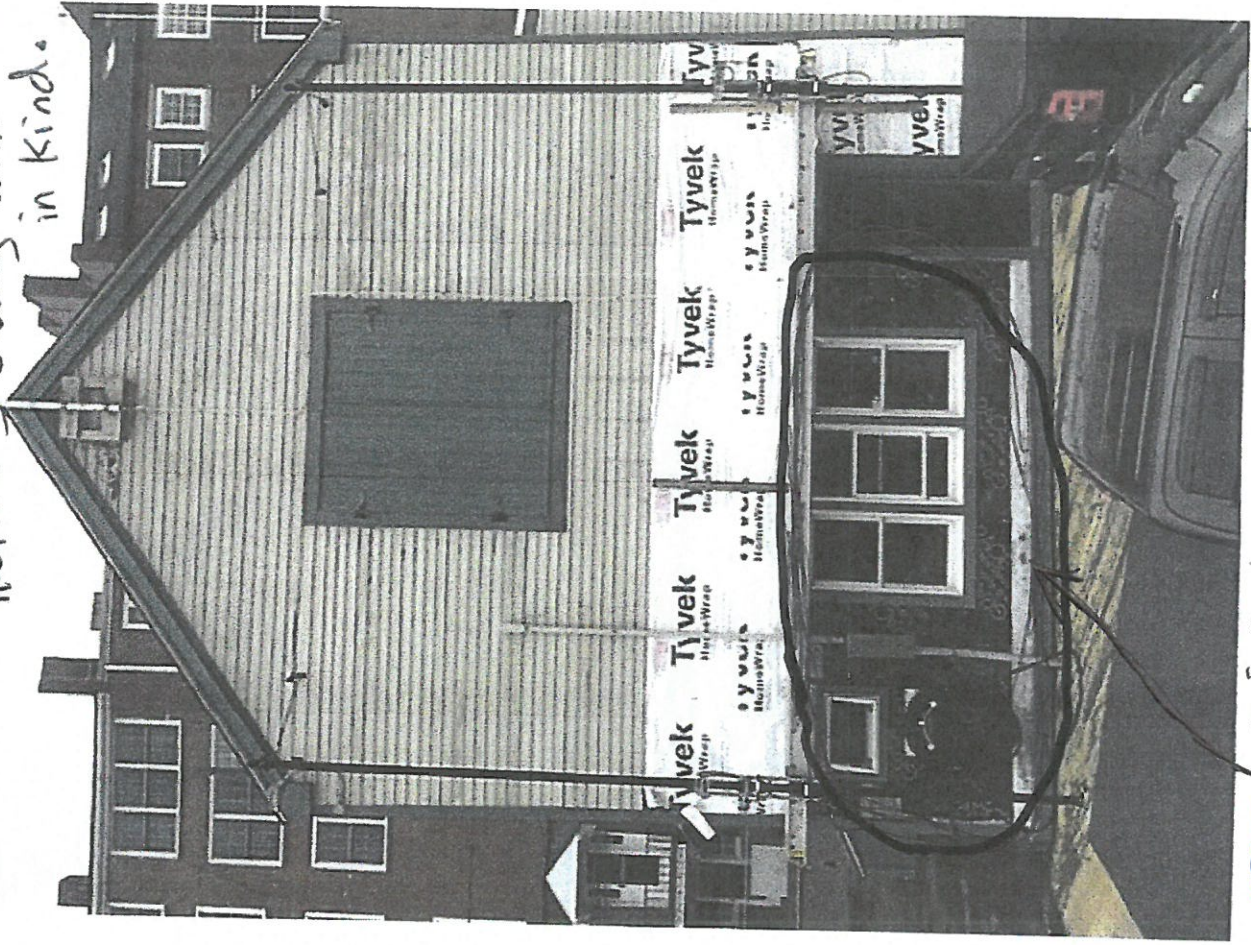
Replaced
Slider with same
style & size

need to paint
and trim out.



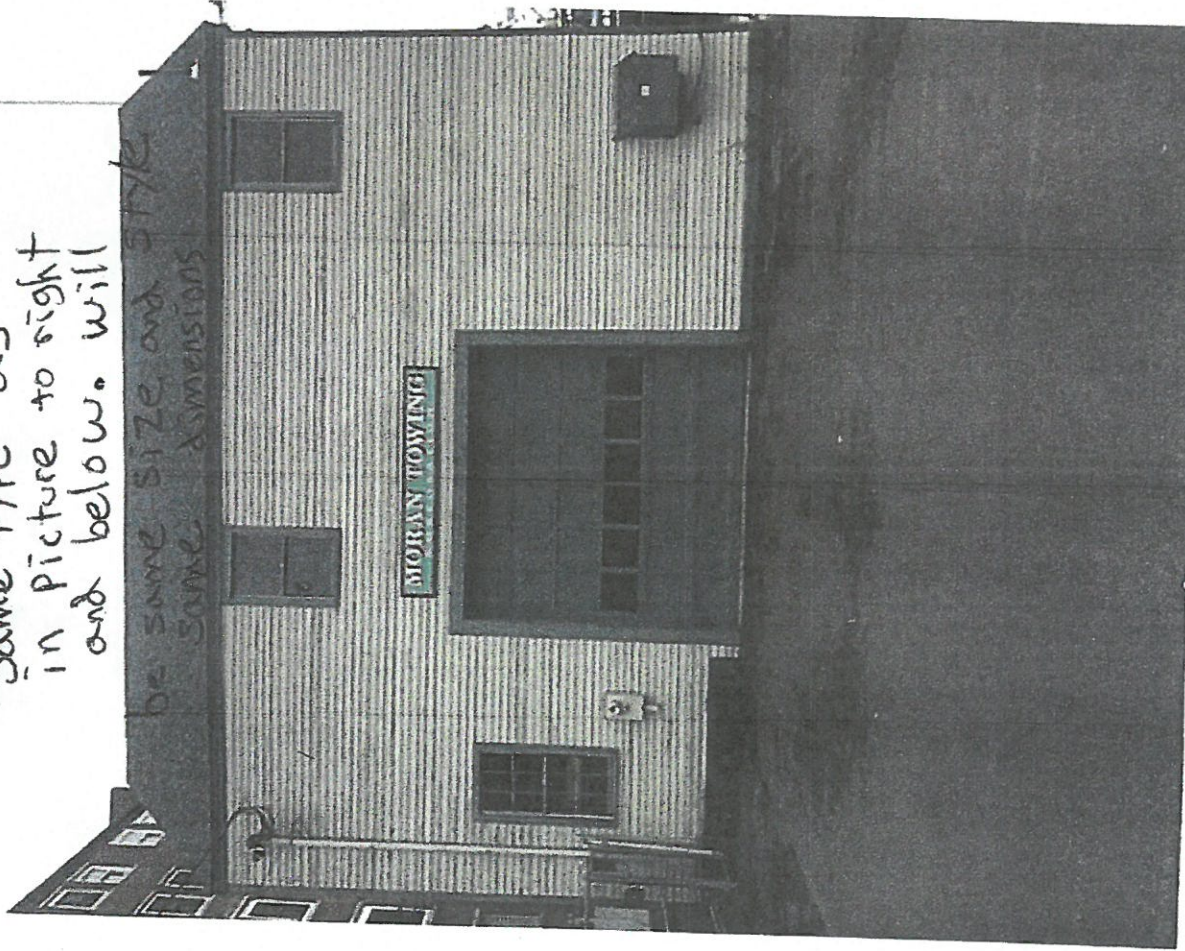
#1

Below 4 windows
in place for years
Replacing siding with same
in kind.



Original, work done maybe 10
years ago with permit.
#2

Replace windows with
same type as
in picture to right
and below. will



be same size and style
same X dimensions

Replace Rotted siding with same
and paint same. Wood siding.
Same in kind.

2. 403 Deer Street (door surround) - Recommend Approval



Date Application Rec'd _____

Application for Administrative Approval

Historic District Commission

Administrative Use Only:
Date of Meeting: <u>10-18-17</u>
Payment: <u>\$100.00</u>
Payment Type: <u>ck. # 1377</u>
Index/Permit #: _____

Owner: THE HILL CONDO ASSOCIATION Applicant (if different): LUCAS SEVIGNEY

Address: 404 THE HILL (Street) Address: 403 DEER ST. (Street)

P (City, State, Zip) PORTSMOUTH, NH, 03831 (City, State, Zip)

Phone: 431-3220

Signature: _____

Location of Structure: Map 118 / Lot 26 Street Address: 403 DEER ST.

To permit the following:

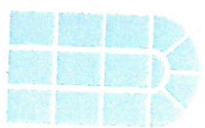
THE REPLACEMENT OF THE EXISTING WOOD CLAPBOARD SIDING WITH THE SAME WITH THE SAME REVEAL & REPAIR OF THE ENTRYWAY PER AGREEMENT WITH THE BUILDING DEPT. REPAIR WITH A MINIMALIST APPROACH WITH SAME IN KIND AS ANNOTATED ON THE PHOTO INCLUDING REPAIRING THE DAMAGED GROUND, ADDING MISSING DECORATIVE ELEMENTS, ADDING DECORATIVE STARBURST TRIM ELEMENT TO EXISTING 1/2 ROUND GLASS ABOVE DOOR, REPLACE 5/4" BOARD UP TO, BUT NOT BEYOND THE CENTER OF THE COLUMN & ROTTER WOOD BEHIND IT, & DAMAGED TOE KICK BOARD UNDER THE DOOR SILL.

Action Taken by H.D.C.	
Date:	
Status:	
Stipulations:	
Signature of Principal Planner:	

If approved, please acknowledge below:

I hereby acknowledge that all changes or variation in the design as presented shall require further Historic District Commission approval.

Owner _____



Coastal Windows & Siding, Inc.
"Quality and Affordability"

Andrew Senjuta
President

136 Lafayette Road office: 603.319.4522
N. Hampton, NH 03862 cell: 603.609.5503
coastalws@att.net

Andrew N.H.
20 F Thacker St
603-609-5503
call while maker



PROPOSED REPAIRS

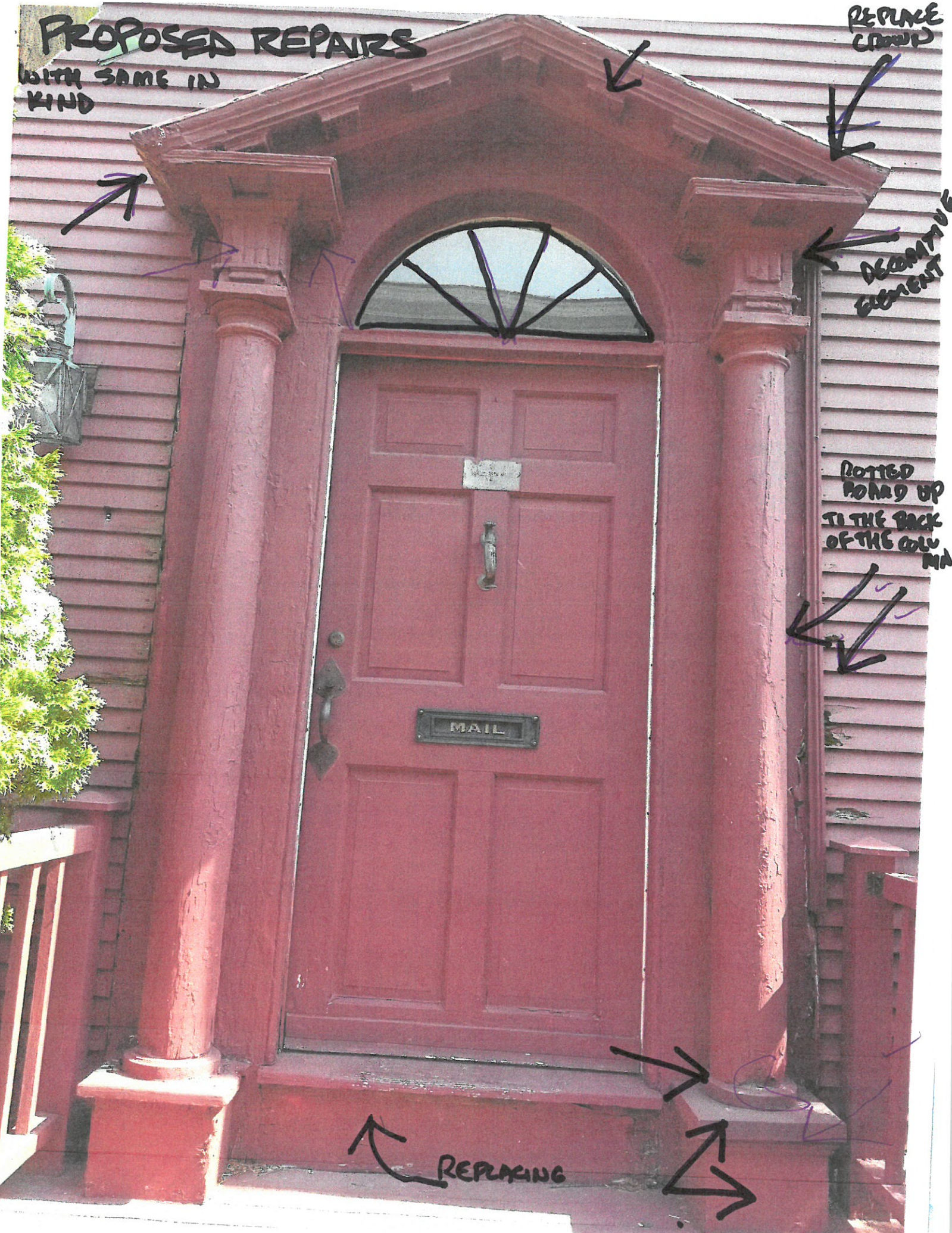
WITH SAME IN KIND

REPLACE CROWN

DECORATIVE ELEMENT

ROTTED BOARD UP TO THE BACK OF THE COLUMN

REPAIRING



**City of Portsmouth
 Planning & Inspection Departments
 1 Junkins Ave
 Portsmouth, NH 03801
 Phone: 603-610-7216**

Receipt #: 185185

Date: 10/16/2017

PLANNING

Paid By:

Transaction Receipt

Coastal Windows and Siding, Inc.
 403 The Hill
 HDC admin. approval fee

----- Bills Paid -----				
Invoice #	Principal	Costs	Interest	Amount Applied
	Description / Location			Balance Due
2017 OC-PLAPP-MS-74547	100.00	0.00	0.00	100.00
	Lucas Sevigney/Planning / HDC			0.00
Total Applied:				
	100.00	0.00	0.00	100.00

----- Payments -----				
Type	Reference	Fees	Amount	Total Paid
CHECK	1377	0.00	100.00	100.00
				0.00

3. 501 Islington Street (roof deck) - TBD

Date Application Rec'd _____

Application for Administrative Approval Historic District Commission

Administrative Use Only:
Date of Meeting: _____
Payment: _____
Payment Type: _____
Index/Permit #: _____

Owner: Doug Greene

Applicant (if different): _____

Address: 501 Islington Street
(Street)
Portsmouth, NH 03801
(City, State, Zip)

Address: _____
(Street)

(City, State, Zip)

Phone: _____

Signature: _____

Location of Structure: Map 157 / Lot 06 Street Address: 501 Islington Street

Building Permit #: _____

To permit the following: **1) Add a stair penthouse and deck railing to the rear of the structure.**

Action Taken by H.D.C.	
Date:	10-18-17
Status:	
Stipulations:	
Signature of Principal Planner:	Nicholas J. Cracknell, AICP

If approved, please acknowledge below:

I hereby acknowledge that all changes or variation in the design as presented shall require further Historic District Commission approval.

Owner

Nicholas J. Cracknell

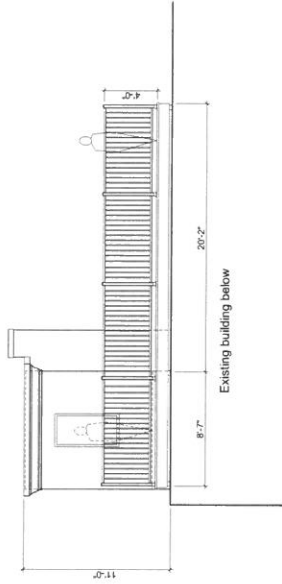
From: Doug Greene <portcitydesignco@gmail.com>
Sent: Wednesday, October 11, 2017 10:47 AM
To: Nicholas J. Cracknell; Robert T. Marsilia
Subject: 501 islington - hdc roof plans
Attachments: 501 HDC - perspective view east rooftop stair penthouse.pdf; 501 HDC - perspective view west rooftop stair penthouse.pdf; 501 HDC - view of north elevation from Islington St - no change.pdf; 501 HDC roof top elevations & plan 2017-10-6.pdf

Good morning Nick, Robert,

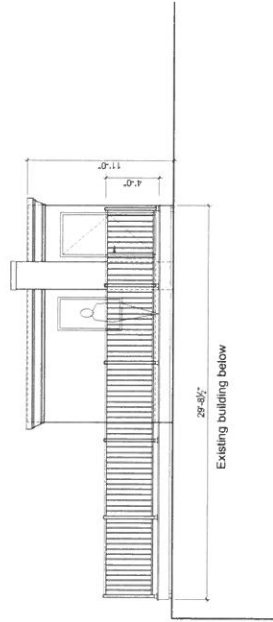
These are the updated plans submitted for hdc review on the 18th.
Thank you for your assistance.

Best,
Doug

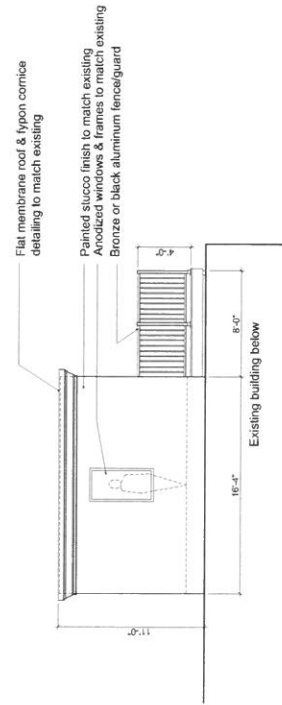
PORT CITY DESIGN
architecture planning interiors
603.312.1707
portcitydesignco.com



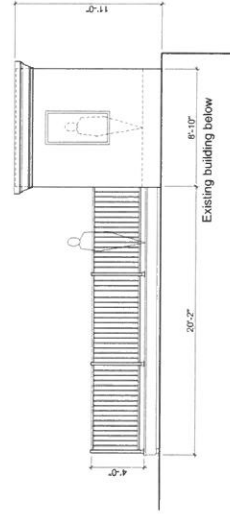
North Elevation - East Stair Penthouse



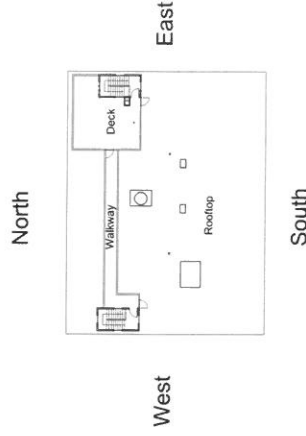
West Elevation - East Stair Penthouse



East Elevation - East Stair Penthouse



South Elevation - East Stair Penthouse



Roof Top Plan

Roof Top - Stair Penthouse Elevations & Deck Railing

501 Islington Street
 Portsmouth, NH, 03801
 Baker Properties

2017-9-15

PORT CITY DESIGN
 portcitydesignco.com



4. 38 Chapel Street (window trim) - TBD

Date Application Rec'd _____

Application for Administrative Approval Historic District Commission

Administrative Use Only:
Date of Meeting: _____
Payment: _____
Payment Type: _____
Index/Permit #: _____

Owner: Ryan Patrick

Applicant (if different): _____

Address: 38 Chapel Street
(Street)

Address: _____
(Street)

Portsmouth, NH 03801
(City, State, Zip)

(City, State, Zip)

Phone: 603 431 8701

Signature: _____

Location of Structure: Map 107 / Lot 26

Street Address: 38 Chapel Street

Building Permit #: _____

To permit the following: **1) Modify the following previously approved stipulations from the 5-3-17 HDC Letter of Decision:**

- 1) **Field paint the sill blue to match the house (versus the window).**
- 2) **Increase the window casing to a 1" x 5" from 1" x 4".**

Action Taken by H.D.C.	
Date:	10-18-17
Status:	
Stipulations:	
Signature of Principal Planner:	Nicholas J. Cracknell, AICP

If approved, please acknowledge below:

I hereby acknowledge that all changes or variation in the design as presented shall require further Historic District Commission approval.

Owner

38 CHAPEL ST.



CITY OF PORTSMOUTH

Community Development Department
(603) 610-7232

Planning Department
(603) 610-7216

PLANNING DEPARTMENT HISTORIC DISTRICT COMMISSION CERTIFICATE OF APPROVAL

Date: May 5, 2017

To: Gus Holdings, LLC
5 Bayridge Road
Greenland, NH 03840

Ryan Patrick
(603) 686-9295

Re: 38 Chapel Street

The Historic District Commission considered your proposal at its meeting of May 3, 2017 wherein permission was requested to allow exterior renovations to an existing structure (remove and replace 14 windows on front façade, replace existing clapboards) as per plans on file in the Planning Department.

After due deliberation, the Commission voted that the request be **approved** as presented with the following stipulations:

1. → 1) An historic Azek sill shall be used and it shall be field painted ~~white~~ to match the windows. *House Blue*
- 2) A half screen shall be used.
- 3) A 5/8" mullion shall be used.
- 4) The final molding design shall be submitted for Administrative Approval.
- 5) The clapboards shall be replaced in-kind with the same profile material and appearance.
- 6) A "B608" band mold shall be used.
2. → 7) A 1" x 4" casing shall be used and shall be field painted white to match the windows. *1 x 5"*

Findings of Fact: The proposed application meets the following purposes of the Historic District Ordinance (as applicable):

A. Purpose and Intent:

- Yes No - Preserve the integrity of the District
- Yes No - Maintain the special character of the District
- Yes No - Assessment of the Historical Significance
- Yes No - Complement and enhance the architectural and historic character
- Yes No - Conservation and enhancement of property values
- Yes No - Promote the education, pleasure & welfare of the District to the city residents and visitors

Page 2
Re: 38 Chapel Street
May 3, 2017

The proposed application also meets the following review criteria of the Historic District Ordinance (as applicable):

B. Review Criteria:


- ✓ Yes No - Consistent with special and defining character of surrounding properties
- Yes No - Relation to historic and architectural value of existing structures
- Yes No - Compatibility of design with surrounding properties
- ✓ Yes No - Compatibility of innovative technologies with surrounding properties

PLEASE NOTE THE FOLLOWING:

- **Other Approvals** - Approvals may also be required from other Committees and/or Boards prior to the issuance of a Building Permit.
- **Construction Drawings** - Prior to the issuance of a Building Permit the Building Inspector will review and approve construction drawings/sketches so work shall not commence until the review process is complete and a Building Permit issued.
- **Design Modifications and Fees** - Please note that any changes or modifications to this approval require review and approval from the HDC prior to implementation. Starting July 1st, 2016, a \$100 fee will be required for any subsequent Administrative Approvals for work not yet completed and a \$500 fee will be assigned for any work completed prior to approval.
- **Site Inspections and Compliance Review** - The City's Land Use Compliance Agent, Vincent Hayes, will be inspecting the work during construction and will be available to assist you in making any other requests or inquires on this matter. If you have any questions please feel free to contact the Principal Planner, Nick Cracknell at njcracknell@cityofportsmouth.com or Mr. Hayes at vjhayes@cityofportsmouth.com.

The minutes and tape recording of the meeting may be reviewed in the Planning Department.

Respectfully submitted,

 FOR

Vincent Lombardi, Chairman
Historic District Commission

cc: Robert Marsilia, Chief Building Inspector
Rosann Maurice-Lentz, Assessor

EXISTING
CONDITIONS

RECEIVED
APR 10 2017
By 6 pgs.



5. 536 Marcy Street (windows)

- Recommend Approval

Application for Approval - Administrative Historic District Commission



Owner: DOUGLAS FABRICATORE Applicant (if different): _____
 Address: 536 MARCY ST Address: _____
 (Street) (Street)
PORTSMOUTH, NH 03801 (City, State, Zip) _____
 (City, State, Zip)
 Phone: 617-642-4897 Phone: _____
 Signature: [Signature]

Location of Structure: Map 101 Lot 56 Street Address: 536 Marcy St.

Building Permit #: _____

To permit the following: DURING CONSTRUCTION / ADDITION & NEW WINDOWS & SIDING / ALSO
1) RESIDED SHED & REPLACED WINDOW IN SHED SAME MATERIALS 2) ADJUSTED 2ND STORY BATHROOM
WINDOW TO NOT INTERFERE WITH ADDITION ROOFLINE 3) REPAIR / REPLACE FRONT
STAIRS DAMAGED DURING CONSTRUCTION

Action Taken by H.D.C. at Public Meeting	
Date of Approval:	
Recommendation:	
Stipulations:	
Signature of Principal Planner:	

Administrative Use Only:
 Date of Meeting: 10-18-17
 Payment: \$100.00 ck.
 Payment Type: ck. # 1353
 Index/Permit #: _____

If approved, please acknowledge below:

I hereby acknowledge that all changes or variation in the design as presented shall require further Historic District Commission approval.

[Signature]

Owner

**City of Portsmouth
 Planning & Inspection Departments
 1 Junkins Ave
 Portsmouth, NH 03801
 Phone: 603-610-7216**

Receipt #: 184581

Date: 10/16/2017

PLANNING

Paid By:

Transaction Receipt

Douglas Fabbriatore
 536 Marcy Street
 HDC admin. approval fee

----- Bills Paid -----				
Invoice #	Principal	Costs	Interest	Amount Applied
	Description / Location			Balance Due
2017 OC-PLAPP-MS-74345	100.00	0.00	0.00	100.00
	Douglas Fabbriatore/Planning / HDC			0.00
Total Applied:		100.00	0.00	0.00
				100.00

----- Payments -----				
Type	Reference	Fees	Amount	Total Paid
CHECK	1353	0.00	100.00	100.00
				0.00

536 MARCY ST.

Vincent J. Hayes

From: Vincent J. Hayes
Sent: Wednesday, September 06, 2017 4:22 PM
To: 'Douglas Fabbriatore'
Cc: Nicholas J. Cracknell; Jason C. Page; Lizbeth Good
Subject: 536 Marcy Street: Land Use Compliance

Good afternoon,

I am contacting you regarding our last correspondence sent on June 14th 2017, concerning amending the HDC discrepancies noted in the field and then conveyed to you, via email, on January 20th 2017.

As an application for an Administrative Approval Request has not been filed, I wanted to inquire about the status of this submission. Please be advised, as quite some time has lapsed without any movement regarding your application for amendment, it is typical procedure for me to pass the outstanding issue along to the Legal Department. I have been instructed to notify Jason Page, the Zoning Enforcement Officer, if a resolution cannot be obtained in a timely fashion. At the latest, I would like to get your Administrative Approval Request on the October 4th HDC meeting, the deadline for which is September 15th.

I would appreciate any feedback you could provide.

Best,
Vincent

TOP WINDOW ADJUSTED / MOVED TO NOT CONTACT ROOF OVERHANG
DOES NOT ALIGN WITH LOWER WINDOW AS SHOWN ON PLANS AS A RESULT



RECEIVED
OCT - 3 2017
By _____

SHED ON PROPERTY ~~HAS~~ HAD A WINDOW REPLACED THAT WAS ROTTED
SOME DIMENSIONS, SOME MATERIAL WINDOW AS ON MAIN HOUSE.
ALSO SIDING & ROOFING REPLACED TO MATCH MAIN HOUSE WORK



6. 10 Humphrey's Court (modifications) - TBD

Date Application Rec'd _____

Application for Administrative Approval Historic District Commission

Administrative Use Only:
Date of Meeting: _____
Payment: _____
Payment Type: _____
Index/Permit #: _____

Owner: Bud Angst

Applicant (if different): _____

Address: 10 Humphrey's Court
(Street)
Portsmouth, NH 03801
(City, State, Zip)

Address: _____
(Street)

(City, State, Zip)

Phone: _____

Signature: _____

Location of Structure: Map 101 / Lot 43 Street Address: 10 Humphrey's Court
Building Permit #: _____

To permit the following: **Approve design changes to a previously-approved project as follows:**

- 1) The existing garage and the north and west elevations will remain as-is today;
- 2) On the south elevation 4 windows will be relocated and 2 new windows installed; and,
- 3) On the east elevation a French door will be added with a low-pitched roof canopy added.

Action Taken by H.D.C.	
Date:	10-18-17
Status:	
Stipulations:	
Signature of Principal Planner:	Nicholas J. Cracknell, AICP

If approved, please acknowledge below:

I hereby acknowledge that all changes or variation in the design as presented shall require further Historic District Commission approval.

Owner

Historic District Commission
City of Portsmouth

To the members of the Historic District Commission,

We ask for your approval of the design changes and additions to the residence at 10 Humphreys Ct under Administrative Approval at the October 18, 2017 meeting. Our design drastically reduces the scope of work of a previously approved design by Somma Studios. The existing garage, North elevation, West elevation, and roof will remain unchanged in our new design for Andrew Landers and Taylor Midgley. The exterior alterations all take place on the South (rear) Elevation and East (secondary front / Marcy St.) elevation.

On the South (rear) elevation, we are relocating (4) windows and installing (2) new windows. The new windows will match the manufacturer, appearance, and material of the existing, as will the exterior casing. The windows and trim will be natural wood. The walls will be patched and repaired, all to match existing material and finish, painted wood clapboard.

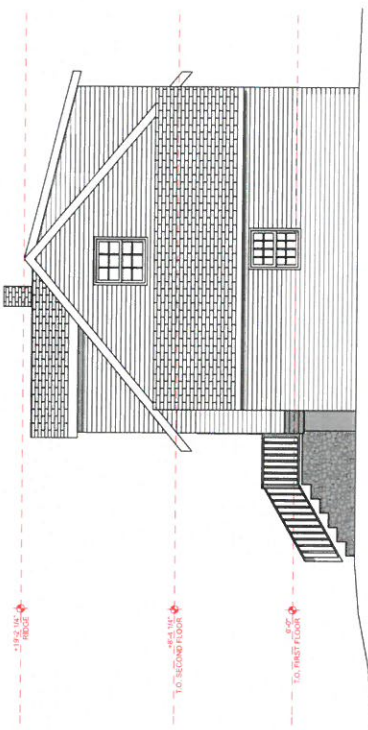
On the East (secondary front / Marcy St.) elevation we will be adding a French door that leads to a wood stair and rail system down to the existing grade. There will also be the addition of a small low pitch hipped roof canopy above the door. In the previously approved design, there was a sliding door being added on this elevation. We have slid the door slightly from the previously approved location but have maintained the same aesthetic quality to the door. The addition of the wood stair and rail down to a pea stone patio at grade is in place of the previously approved design calling for a long retaining wall along Humphreys Ct and Marcy St to bring grade up to the level of the doors. We believe that by utilizing a wood stair / rail and a traditional canopy above, the design will be more in keeping with the neighborhood then bringing grade up and adding retaining walls along the street edge.

All other alterations are taking place on the interior. The majority of this project is an interior renovation with exterior alterations taking place to compliment the new layout.

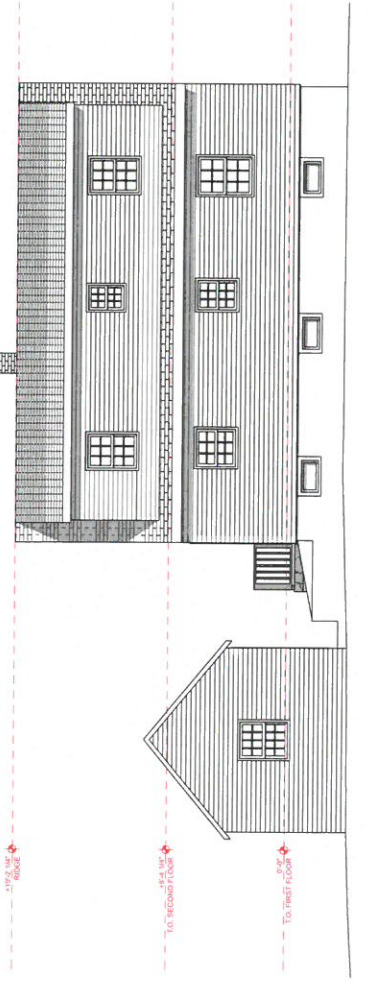
If you have any questions I'd be happy to answer them in person at the meeting.

Thank you for your time and consideration.

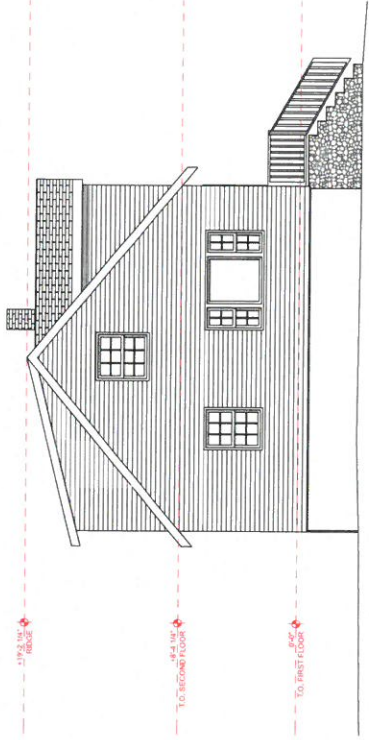
Bud Angst
Architectural Designer
Caleb Johnson Studio
110 Exchange St. Portland, ME 04101



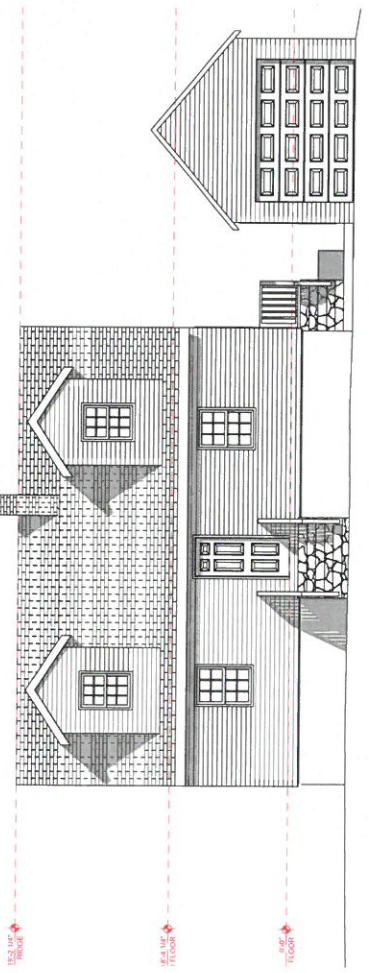
4 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

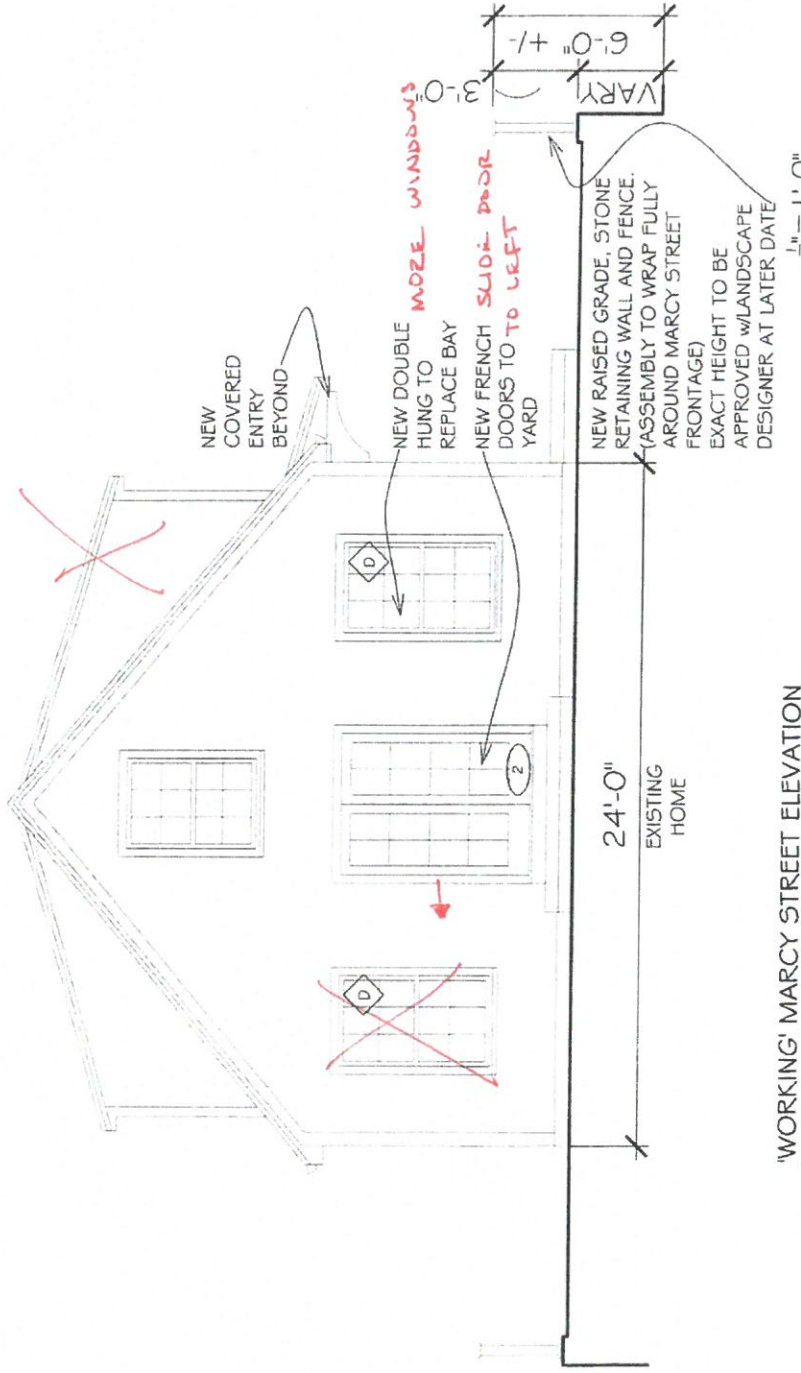


2 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION

EXISTING ELEVATIONS
 EX-1.2

EXISTING CONDITIONS



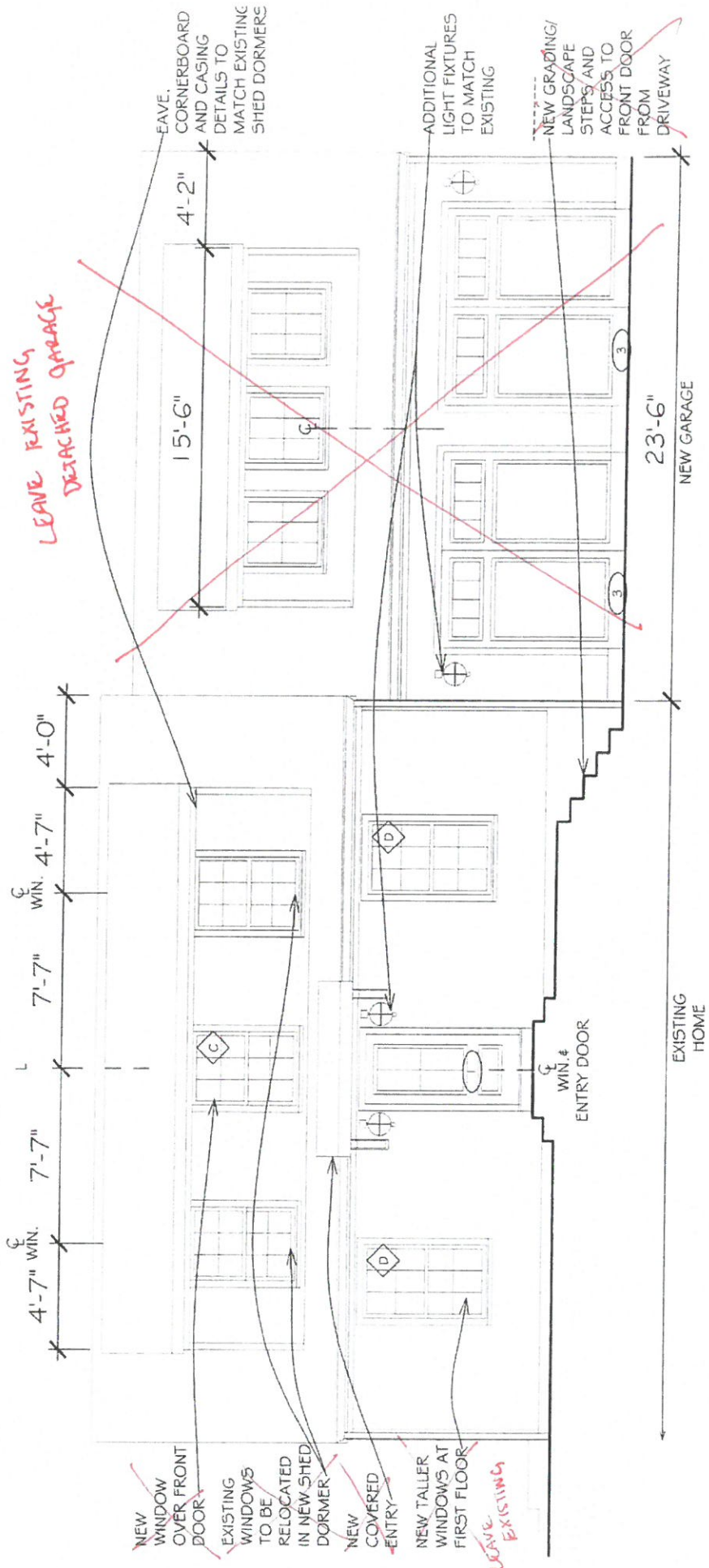
'WORKING' MARCY STREET ELEVATION

10 HUMPHREYS COURT
 PORTSMOUTH, NH

SOMMA STUDIOS:: 603.766.3760

1/4" = 1'-0"

PREVIOUSLY APPROVED
 SHOWING CHANGES OF
 REVISED PLAN



LEAVE EXISTING
DETACHED GARAGE

NEW WINDOW OVER FRONT DOOR
EXISTING WINDOWS TO BE RELOCATED IN NEW SHED DORMER
NEW COVERED ENTRY
NEW TALLER WINDOWS AT FIRST FLOOR
LEAVE EXISTING

EAVE, CORNERBOARD AND CASING DETAILS TO MATCH EXISTING SHED DORMERS
ADDITIONAL LIGHT FIXTURES TO MATCH EXISTING
NEW GRADING/ LANDSCAPE STEPS AND ACCESS TO FRONT DOOR FROM DRIVEWAY

'WORKING' FRONT ELEVATION

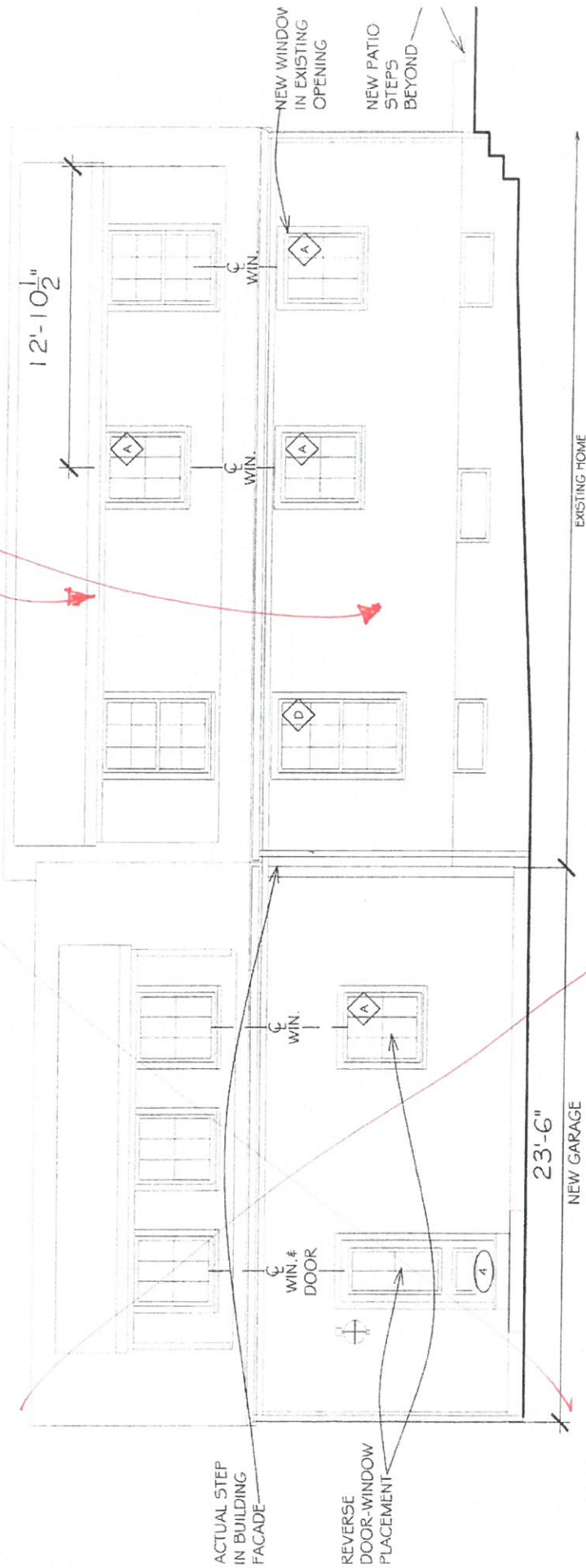
10 HUMPHREYS COURT

PORTSMOUTH, NH

SOMMA STUDIOS:: 603.766.3760

THIS ELEVATION REMAINS AS IS.
NO EXTERIOR ALTERATIONS PLANNED.

Window Locations Slide
As Needed to Fit New Layout



WORKING' BACK ELEVATION

10 HUMPHREYS COURT

PORTSMOUTH, NH

SOMMA STUDIOS:: 603.766.3760

LANDERS

GENERAL NOTE:

- Contractor will review all drawings and specifications and provide all necessary fieldwork and subcontracting, and shall be responsible for the overall coordination and execution of the project. Schedule shall be as shown and shall be subject to change without notice. Site conditions shall be as shown and shall be subject to change without notice. All drawings and specifications shall be subject to change without notice.
- Contractor is responsible for the construction of a complete weather tight building within the scope of this construction contract. All construction shall be completed within the construction documents. It is the contractor's responsibility to address any conflicts with Architect.
- Contractor is responsible for obtaining and opening all sub-contractors. Workmanship standards shall be those generally accepted for high-quality custom residential construction. Completion of the project shall be subject to the terms and conditions of the contract documents. The contractor shall be responsible for final completion of job. Other explicit warranties may be in addition to above.

BUILDING CODES (RESIDENTIAL)

APPLICABLE BUILDING CODES:
Locality - Portsmouth, NH
State - New Hampshire
Local Code Enforcement Officer:
Jason Page
1 Jenkins Ave., Portsmouth, NH 03801
(603) 433-7279

State amendments based on:
Building - 2009 International Residential Code (Including Chapters 11, 26-32, 24-40, 43)
Mechanical - 2009 International Energy Conservation Code
Fire - NFPA 101
Electrical - NFPA 70
Plumbing - 2009 International Plumbing Code

Non-Neighborhood:
ASHRAE 62.2 - 2007 (Ventilation and Acceptable Indoor Air Quality in Low-Rise Residential Buildings)
Radon Control - ASHRAE 154-2006 Standard Practice for Radon Prevention, Design and Construction of New Low-Rise Residential Buildings

DESIGN LOADS (IRC/IBC 2009)

Live Load - 40 psf
Other Applicable Design Criteria
Ground snow load - 50 psf (R301, 2151)
Wind speed - 120 mph (17.4 ft/s)
Front design wind - R-13 (ft/s)
Seismic category - R (R301, 2121)
Terminale Infiltration Probability - None to slight (R301, 2161)
Weathering for concrete - Severe (R301, 2131)

MINIMUM INSULATION VALUES (IECC 2009 table 402.1.1)

Climate zone - 5 (IECC 301.1)
Windows / doors: U-value 0.35
Roof: R-30
Walls (Cavity): R-13 (ext), R-17 (int)
Walls (No Cavity): R-10 (on wall), R-13 (if cavity)
Floors: R-30
Basement walls: R-10 (on wall), R-13 (if cavity)
Slab: R-5
Crawl space walls: R-10 (on wall), R-13 (if cavity)

COMMON ABBREVIATIONS

B.O. - BOTTOM OF
CEO - CODE ENFORCEMENT OFFICER
P.C. - PROJECT CONTRACT
CYP - CYPSIA BOARD
IBC - INTERNATIONAL BUILDING CODE
IECC - INTERNATIONAL ENERGY CONSERVATION CODE
MAN - MANHOLE
MAX - MAXIMUM
PSF - POUNDS PER SQUARE FOOT
POUNDS PER SQUARE INCH
T.O. - TOP OF
V.F. - VERIFY IN FIELD



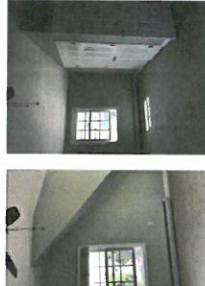
EXISTING SOUTH (REAR) ELEVATION



EXISTING NORTH (FRONT) ELEVATION



EXISTING NORTH (FRONT) ELEVATION



LOCATION MAP
10 Humphreys Court, Portsmouth, NH

PROJECT ARCHITECT
Caleb Johnson Studios
110 Exchange St., 2nd Floor
Portsmouth, NH 03801
(207) 268-8777

OWNER:
Andrew Landers & Taylor Midgley
10 Humphreys Ct Portsmouth NH 03891
(708) 676-8463

CONTRACTOR
180

CONSULTANTS
104 Associates, Inc.
1 Autumn Street
Portsmouth, NH 03801
Jeffrey S. Nawoscki, P.E.

PROJECT NARRATIVE
All elevations are in black and red. The exterior of Portsmouth is updated to a modern style and accommodating the young owners' life style and entertaining habits.

SHEET INDEX	
ID	NUMBER
CB	COVER SHEET
CE1	SPEC
CE2	SPEC
CE3	SPEC
CE4	EXTERIOR PLANS
CE5	EXTERIOR FINISHING PLAN
CE6	EXTERIOR FINISHING PLAN
CE7	EXTERIOR FINISHING PLAN
CE8	EXTERIOR FINISHING PLAN
CE9	EXTERIOR FINISHING PLAN
CE10	EXTERIOR FINISHING PLAN
CE11	EXTERIOR FINISHING PLAN
CE12	EXTERIOR FINISHING PLAN
CE13	EXTERIOR FINISHING PLAN
CE14	EXTERIOR FINISHING PLAN
CE15	EXTERIOR FINISHING PLAN
CE16	EXTERIOR FINISHING PLAN
CE17	EXTERIOR FINISHING PLAN
CE18	EXTERIOR FINISHING PLAN
CE19	EXTERIOR FINISHING PLAN
CE20	EXTERIOR FINISHING PLAN

GENERAL NOTE:

Contractor will review all drawings and specifications and provide all necessary fieldwork and subcontracting, and shall be responsible for the overall coordination and execution of the project. Schedule shall be as shown and shall be subject to change without notice. Site conditions shall be as shown and shall be subject to change without notice. All drawings and specifications shall be subject to change without notice.

GENERAL NOTE:

Contractor is responsible for the construction of a complete weather tight building within the scope of this construction contract. All construction shall be completed within the construction documents. It is the contractor's responsibility to address any conflicts with Architect.

GENERAL NOTE:

Contractor is responsible for obtaining and opening all sub-contractors. Workmanship standards shall be those generally accepted for high-quality custom residential construction. Completion of the project shall be subject to the terms and conditions of the contract documents. The contractor shall be responsible for final completion of job. Other explicit warranties may be in addition to above.

BUILDING CODES (RESIDENTIAL)

APPLICABLE BUILDING CODES:
Locality - Portsmouth, NH
State - New Hampshire
Local Code Enforcement Officer:
Jason Page
1 Jenkins Ave., Portsmouth, NH 03801
(603) 433-7279

DESIGN LOADS (IRC/IBC 2009)

Live Load - 40 psf
Other Applicable Design Criteria
Ground snow load - 50 psf (R301, 2151)
Wind speed - 120 mph (17.4 ft/s)
Front design wind - R-13 (ft/s)
Seismic category - R (R301, 2121)
Terminale Infiltration Probability - None to slight (R301, 2161)
Weathering for concrete - Severe (R301, 2131)

MINIMUM INSULATION VALUES (IECC 2009 table 402.1.1)

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BUILDING CODES (RESIDENTIAL)

APPLICABLE BUILDING CODES:
Locality - Portsmouth, NH
State - New Hampshire
Local Code Enforcement Officer:
Jason Page
1 Jenkins Ave., Portsmouth, NH 03801
(603) 433-7279

State amendments based on:
Building - 2009 International Residential Code (Including Chapters 11, 26-32, 24-40, 43)
Mechanical - 2009 International Energy Conservation Code
Fire - NFPA 101
Electrical - NFPA 70
Plumbing - 2009 International Plumbing Code

Non-Neighborhood:
ASHRAE 62.2 - 2007 (Ventilation and Acceptable Indoor Air Quality in Low-Rise Residential Buildings)
Radon Control - ASHRAE 154-2006 Standard Practice for Radon Prevention, Design and Construction of New Low-Rise Residential Buildings

DESIGN LOADS (IRC/IBC 2009)

Live Load - 40 psf
Other Applicable Design Criteria
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PROJECT NARRATIVE
All elevations are in black and red. The exterior of Portsmouth is updated to a modern style and accommodating the young owners' life style and entertaining habits.

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CE18	EXTERIOR FINISHING PLAN
CE19	EXTERIOR FINISHING PLAN
CE20	EXTERIOR FINISHING PLAN

LOCATION MAP
10 Humphreys Court, Portsmouth, NH

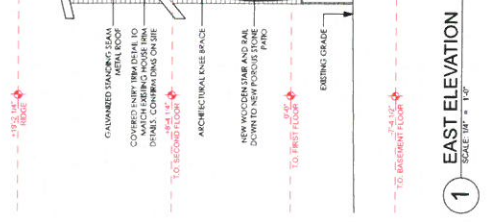
PROJECT ARCHITECT
Caleb Johnson Studios
110 Exchange St., 2nd Floor
Portsmouth, NH 03801
(207) 268-8777

OWNER:
Andrew Landers & Taylor Midgley
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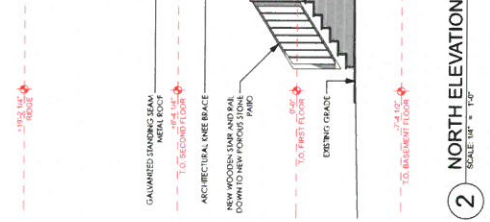
CONTRACTOR
180

CONSULTANTS
104 Associates, Inc.
1 Autumn Street
Portsmouth, NH 03801
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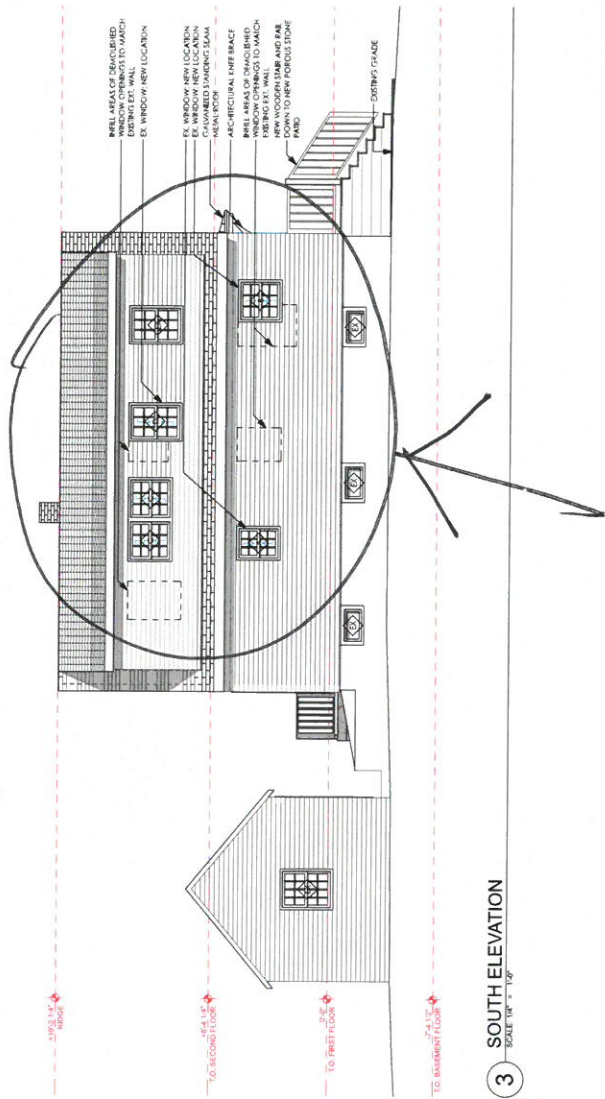
COVER SHEET
CS
PRELIMINARY
NOT FOR CONSTRUCTION



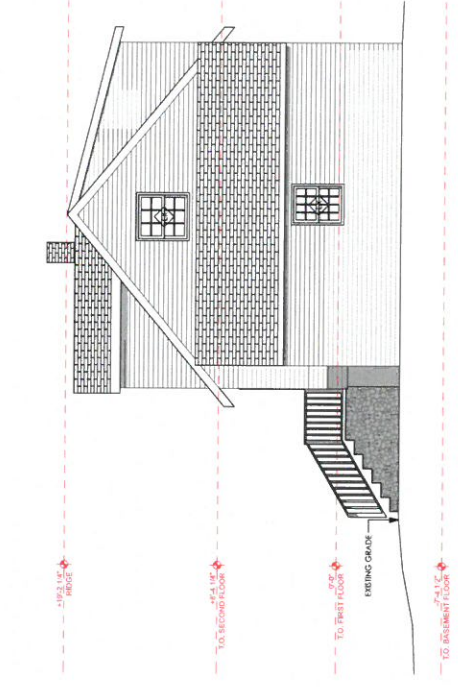
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

GENERAL NOTES:
PATCH AND REPAIR DISTURBED CLAPBOARDS AS NECESSARY. MATERIAL EXPOSURE AND FINISH TO MATCH EXISTING.

LEGEND:
EXISTING TO REMAIN

ELEVATIONS
A2.0

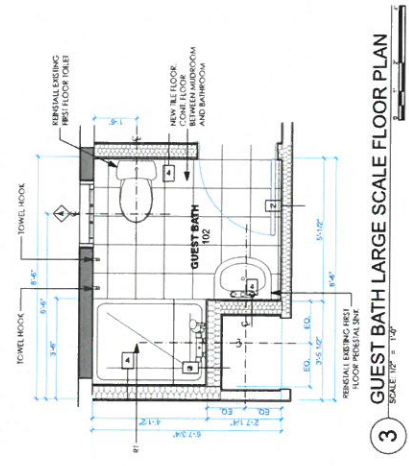
LANDERS
Andrew Landers & Taylor Midgley
10 Humphrey's Court Portsmouth NH

DATE OF SHEET
PROJECT STATUS
DESIGN DEVELOPMENT
CONTRACTORS
CONTRACTORS

CHANGE THE TITLE
FORM MANAGER
PROJECT ARCHITECT
DATE WORKED

CALEB JOHNSON
STUDIO
110 KENNEDY BLVD, SUITE 200
PORTSMOUTH, NH 03801
TEL: 603.883.7777
WWW.CALEBJOHNSON.COM

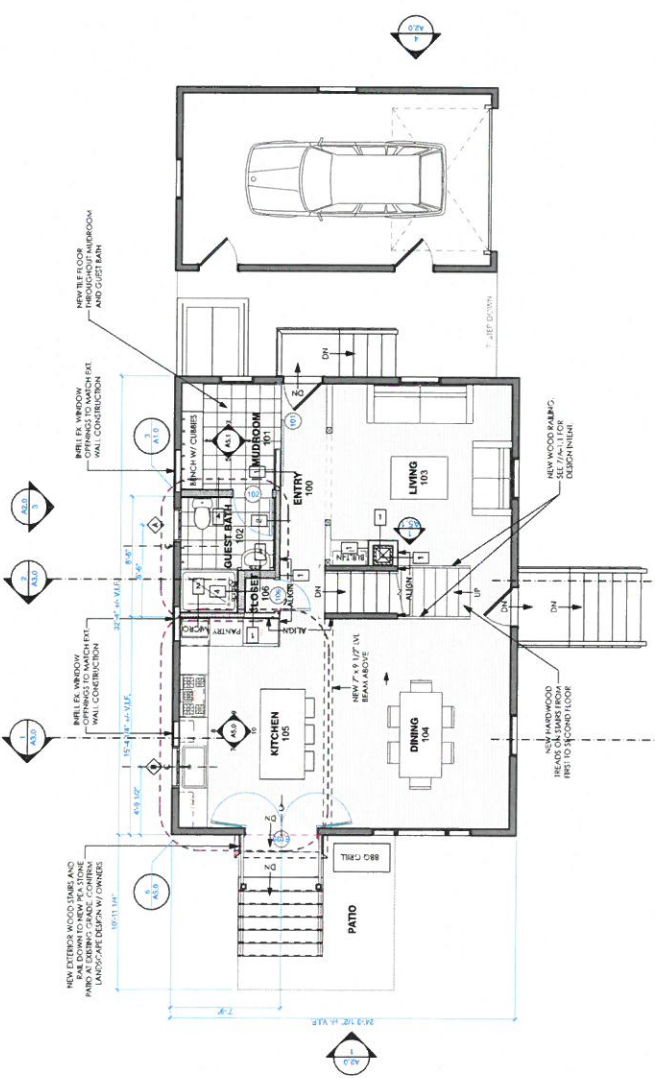
REVISED MODIFICATIONS



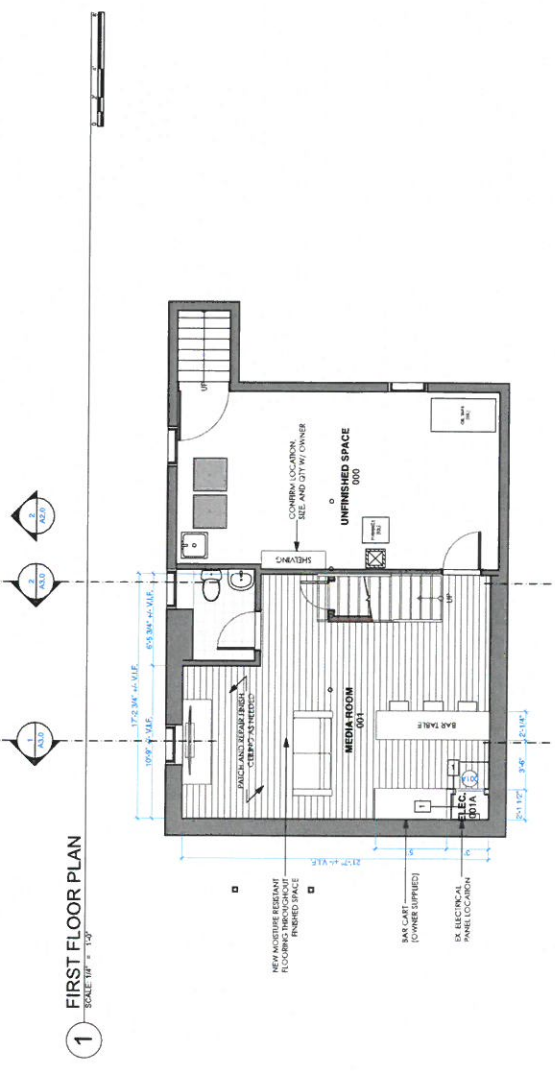
3 GUEST BATH LARGE SCALE FLOOR PLAN
 SCALE 1/8" = 1'-0"

- WALL CONSTRUCTION NOTES:**
- WALL TYPE 1**
 - 1/2" GYP
 - 2x4 WOOD STUD WALL CONSTRUCTION
 - 1/2" PAINTED GYP
 - WALL TYPE 2**
 - 1/2" GYP
 - 2x4 WOOD STUD WALL CONSTRUCTION
 - 1/2" MOISTURE RESISTANT GYP OR TILE BACKER
 - MOISTURE RESISTANT GYP OR TILE BACKER ON FACE OF WALL WITH MARKER SHOWN ON PLANS
 - WALL TYPE 3**
 - 1/2" PAINTED GYP
 - 1x6 WOOD STUD WALL CONSTRUCTION
 - 1/2" PAINTED GYP
 - WALL TYPE 4**
 - 1/2" PAINTED GYP
 - 2x4 WOOD STUD WALL CONSTRUCTION
 - 1/2" MOISTURE RESISTANT GYP OR TILE BACKER
 - MOISTURE RESISTANT GYP OR TILE BACKER ON FACE OF WALL WITH MARKER SHOWN ON PLANS
- **HRRILL WALLS AROUND BATHROOMS W/ SOUND ATTENUATING ACOUSTICAL BATT INSULATION

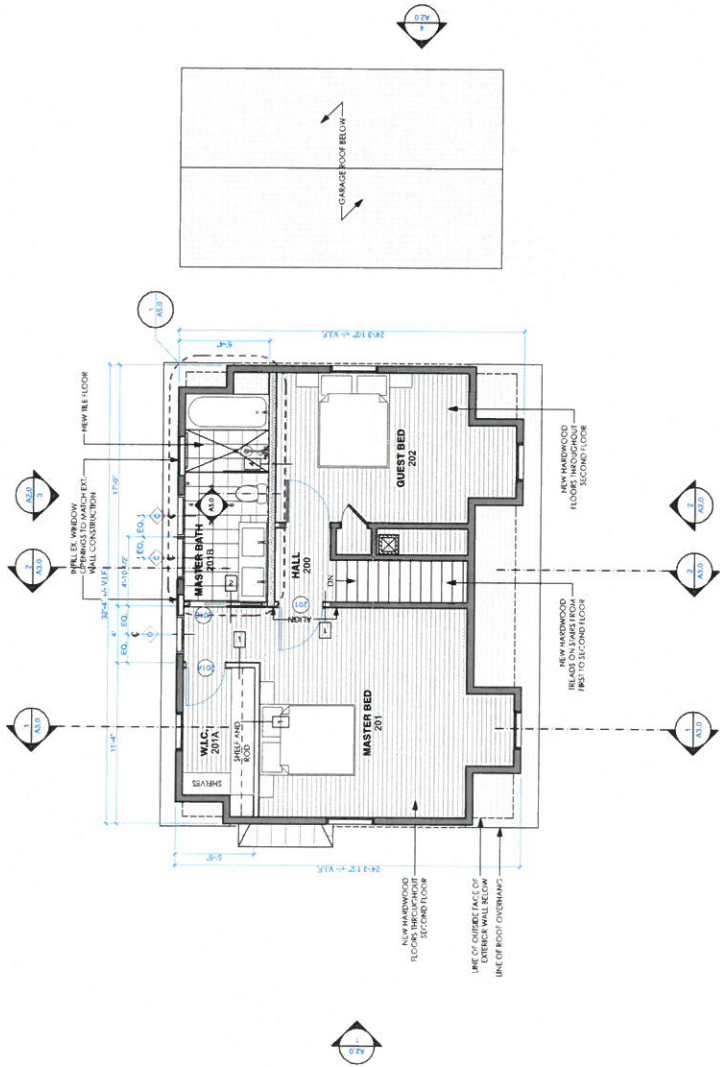
LEGEND: EXISTING TO REMAIN



1 FIRST FLOOR PLAN
 SCALE 1/8" = 1'-0"



2 BASEMENT FLOOR PLAN
 SCALE 1/8" = 1'-0"



1 SECOND FLOOR PLAN
 SCALE 1/8" = 1'-0"

Location	ID	TYPE	Man. Size	Wall/In. Dims	THK	MATERIAL	Manufacturer	Door Finish	GLAZING	HDW SET	NOTES
Bed F.L.R.	101	Closet Door Leaf	4'-0" x 6'-0"	4'-0" x 6'-0"	1/2"	Wood	TRD	Half Glaz.	---	Basic Door	Basic Door
Bed F.L.R.	102	Shower & Panel	2'-0" x 6'-0"	2'-0" x 6'-0"	1/2"	Wood	TRD	Painted	---	Privacy	Privacy
Bed F.L.R.	103	Shower & Panel	2'-0" x 6'-0"	2'-0" x 6'-0"	1/2"	Wood	TRD	Painted	---	Privacy	Privacy
Bed F.L.R.	104	Shower & Panel	2'-0" x 6'-0"	2'-0" x 6'-0"	1/2"	Wood	TRD	Painted	---	Privacy	Privacy
Bed F.L.R.	105	Shower & Panel	2'-0" x 6'-0"	2'-0" x 6'-0"	1/2"	Wood	TRD	Painted	---	Privacy	Privacy
Bed F.L.R.	106	Shower & Panel	2'-0" x 6'-0"	2'-0" x 6'-0"	1/2"	Wood	TRD	Painted	---	Privacy	Privacy
Bed F.L.R.	107	Shower & Panel	2'-0" x 6'-0"	2'-0" x 6'-0"	1/2"	Wood	TRD	Painted	---	Privacy	Privacy
Bed F.L.R.	108	Shower & Panel	2'-0" x 6'-0"	2'-0" x 6'-0"	1/2"	Wood	TRD	Painted	---	Privacy	Privacy

ID	STORY	QTY.	TYPE	FRAME SIZE	R.O.	SILL	FRAME MATERIAL	NOTES
A	1st F.L.R.	1	2H	3'-0" x 4'-6"	1/2"	2'-6"	MINERAL WOOL	EXTERIOR - NEW LOCATION
B	1st F.L.R.	1	2H	3'-0" x 4'-6"	1/2"	2'-6"	MINERAL WOOL	EXTERIOR - NEW LOCATION
C	1st F.L.R.	2	2H	2'-6" x 3'-0"	1/2"	2'-0"	MINERAL WOOL	EXTERIOR - NEW LOCATION
D	1st F.L.R.	1	2H	2'-6" x 3'-0"	1/2"	2'-0"	MINERAL WOOL	EXTERIOR - NEW LOCATION

ID	A	B	C	D
Elevation				
Normal Dims	2'-0" x 4'-6"	2'-0" x 4'-6"	2'-6" x 3'-0"	2'-6" x 3'-0"
Notes	EXTERIOR - NEW LOCATION	EXTERIOR - NEW LOCATION	FIELD MILLED	EXTERIOR - NEW LOCATION

ID	901A	101	102	103	104	105	106	107	108
Elevation									
Normal Dims	2'-0" x 6'-0"	4'-0" x 6'-0"	2'-0" x 6'-0"	2'-0" x 6'-0"	2'-0" x 6'-0"	2'-0" x 6'-0"	2'-0" x 6'-0"	2'-0" x 6'-0"	2'-0" x 6'-0"
Notes	Basic Door	Basic Door	Basic Door	Basic Door	Basic Door	Basic Door	Basic Door	Basic Door	Basic Door

- WALL CONSTRUCTION NOTES:**
- WALL TYPE [A]**
 - 1/2" PAINTED GYP
 - 2x4 WOOD STUD WALL CONSTRUCTION
 - WALL TYPE [B]**
 - 1/2" PAINTED GYP
 - 2x4 WOOD STUD WALL CONSTRUCTION
 - 1/2" MOISTURE RESISTANT GYP OR TILE BACKER
 - 1/2" MOISTURE RESISTANT GYP OR TILE BACKER ON FACE OF WALL WITH MARKER SHOWN ON PLANS
 - WALL TYPE [C]**
 - UNFINISHED GYP
 - 1/2" WOOD STUD WALL CONSTRUCTION
 - 1/2" PAINTED GYP
 - WALL TYPE [D]**
 - 2x4 WOOD STUD WALL CONSTRUCTION
 - 1/2" MOISTURE RESISTANT GYP OR TILE BACKER
 - 1/2" MOISTURE RESISTANT GYP OR TILE BACKER ON FACE OF WALL WITH MARKER SHOWN ON PLANS

LEGEND:
 EXISTING TO REMAIN

7. 55 Market Street (HVAC)

- Recommend Approval

Date Application Rec'd _____

Application for Administrative Approval Historic District Commission

Administrative Use Only:
Date of Meeting: _____
Payment: _____
Payment Type: _____
Index/Permit #: _____

Owner: Jon Sherrill Applicant (if different): _____

Address: 55 Market Street Address: _____
(Street) (Street)

Portsmouth, NH 03801 _____
(City, State, Zip) (City, State, Zip)

Phone: _____

Signature: _____

Location of Structure: Map 106 / Lot 25 Street Address: 55 Market Street
 Building Permit #: _____

To permit the following: **Add two new heat pump units within the rear courtyard area and relocate two existing units. The conduit for the new units will be external and coupled with the existing conduit to the upper floors.**

Action Taken by H.D.C.	
Date:	10-18-17
Status:	
Stipulations:	
Signature of Principal Planner:	Nicholas J. Cracknell, AICP

If approved, please acknowledge below:

I hereby acknowledge that all changes or variation in the design as presented shall require further Historic District Commission approval.

Owner

55 MARKET ST.

Nicholas J. Cracknell

From: Jon Sherrill <jon@keyhvac.com>
Sent: Monday, September 11, 2017 8:38 AM
To: Nicholas J. Cracknell
Cc: Bob Dockham (bob@dockhambuilders.com); Keith Dockham; Alex Sherrill; Kirsten Blanchard
Subject: 55 Market Street
Attachments: Mitsubishi.MSZ-FH15NA_Submittal.pdf; IMG_3241.jpg; IMG_3242.jpg; IMG_3243.jpg; IMG_3244.jpg; IMG_3245.jpg; IMG_3246.jpg

Nick,

Attached is the submittal and pictures of the alley behind the building where other condensers are installed. There is enough room to install two Mitsubishi heat pumps with the other units. This space can't be seen from any street location, only from the rear door of the first floor. The refrigeration piping will be installed on the rear of the building with also can't be seen from any street.

We'll apply for a mechanical permit today, do you think we'll need to go through the HDC process or could you approve this? I could meet you to take a look.

Thanks,

Jon



Jon Sherrill

President

Key Heating & Air Conditioning Inc.

Main Line: (603) 436-8811

Website: www.keyhvac.com







COOLING & HEATING



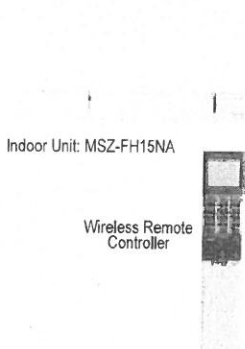
M-SERIES

SUBMITTAL DATA: MSZ-FH15NA

15,000 BTU/H WALL-MOUNTED INDOOR UNIT FOR MXZ-C MULTI-ZONE HEAT-PUMP SYSTEMS

Job Name: _____

System Reference: _____ Date: _____



SPECIFICATIONS

Cooling Capacity* 15,000 Btu/h
 Heating Capacity* 18,000 Btu/h

***Rating Conditions:**
 Cooling | Indoor: 80° F (27° C) DB / 67° F (19° C) WB
 Cooling | Outdoor: 95° F (35° C) DB / 75° F (24° C) WB
 Heating at 47° F | Indoor: 70° F (21° C) DB / 60° F (16° C) WB
 Heating at 47° F | Outdoor: 47° F (8° C) DB / 43° F (6° C) WB

(For data on specific indoor units [all ducted, all non-ducted, and both ducted and non-ducted] combinations, see the MXZ Technical and Service Manual.)

Electrical Requirements
 Power Supply 208 / 230V, 1-Phase, 60 Hz
 Breaker Size 20 A

Voltage
 Indoor - Outdoor S1-S2 AC 208 / 230V
 Indoor - Outdoor S2-S3 DC +/- 24V
 Indoor - Remote Controller MHK1 DC 3V
 PAR-31MAA DC 12V
 PAC-YT53CRAU DC 12V

MCA 1.0 A
 Blower Motor (ECM) 0.67 F.L.A.
 Airflow (Lo - Med - Hi - Super Hi - Powerful)
 Cooling 225-262-304-355-411 Dry CFM
 194-225-261-305-354 Wet CFM
 Heating 201-254-317-394-497 Dry CFM
 Sound Pressure Level (Lo - Med - Hi - Super Hi - Powerful)
 Cooling 27-31-35-39-44 dB(A)
 Heating 25-29-34-39-46 dB(A)
 External Finish Color Munsell 1.0Y 9.2/0.2
 External Dimensions
 Inches: 12 + 11/16 H x 36-7/16 W x 9-3/16 D
 mm: 305 +17 H x 925 W x 234 D
 Weight Unit 29 lbs. / 12 kg
 Field Drainpipe Size O.D. 19/32 In. / 15mm
 Refrigerant Type R410A
 Refrigerant Pipe
 Gas Side O.D. 1/2" x 12.7 mm
 Liquid Side O.D. 1/4" x 6.35 mm
 Connection Method
 Indoor/Outdoor Flared

GENERAL FEATURES

- Highly energy-efficient system that features 100% heating capacity at 5°F, 82% at -4°F, and 62% at -13°F
- Updated sleek, compact indoor unit design
- Includes Standard, Platinum Deodorizing, and Anti-allergy Enzyme filters for a complete air purifying system
- "Powerful Mode" function permits system to temporarily run at a lower/higher temperature with an increased fan speed, which quickly brings the room to the optimum comfort level
- Integrated i-see Sensor automatically adjusts the unit's operation according to temperature differences detected between the floor and the intake air, ensuring optimum comfort and energy usage
- Hand-held Wireless Remote Controller
- Base Pan Heater is available as an option
- Limited warranty: five years parts and seven years compressors

ACCESSORIES

- Indoor Unit**
- Condensate Pump (BlueDiamond X87-711/721; 115/230V)
 - Condensate Pump (Sauermann SI30-115/230; 115/230V)
 - Replacement Platinum Deodorizing Filter (MAC-3000FT-E)
 - Replacement Anti-allergy Enzyme Filter (MAC-2330FT-E)

- Controller Options**
- Wireless Wall-mounted Remote Controller Kit (MHK1)*
 - Portable Central Controller (MCCH1)*
 - Outdoor Air Sensor (MOS1)*
 - Wired Wall-mounted Controller (PAR-31MAA requires MAC-333IF)*
 - Simple MA Remote Controller (PAC-YT53CRAU requires MAC-333IF)*
- *See Submittal for information on each option
- System Control Interface (MAC-333IF)
 - Remote Temperature Sensor (M21-JKO-307)
 - Lockdown Bracket for Hand-held Controller (RCMKP1CB)

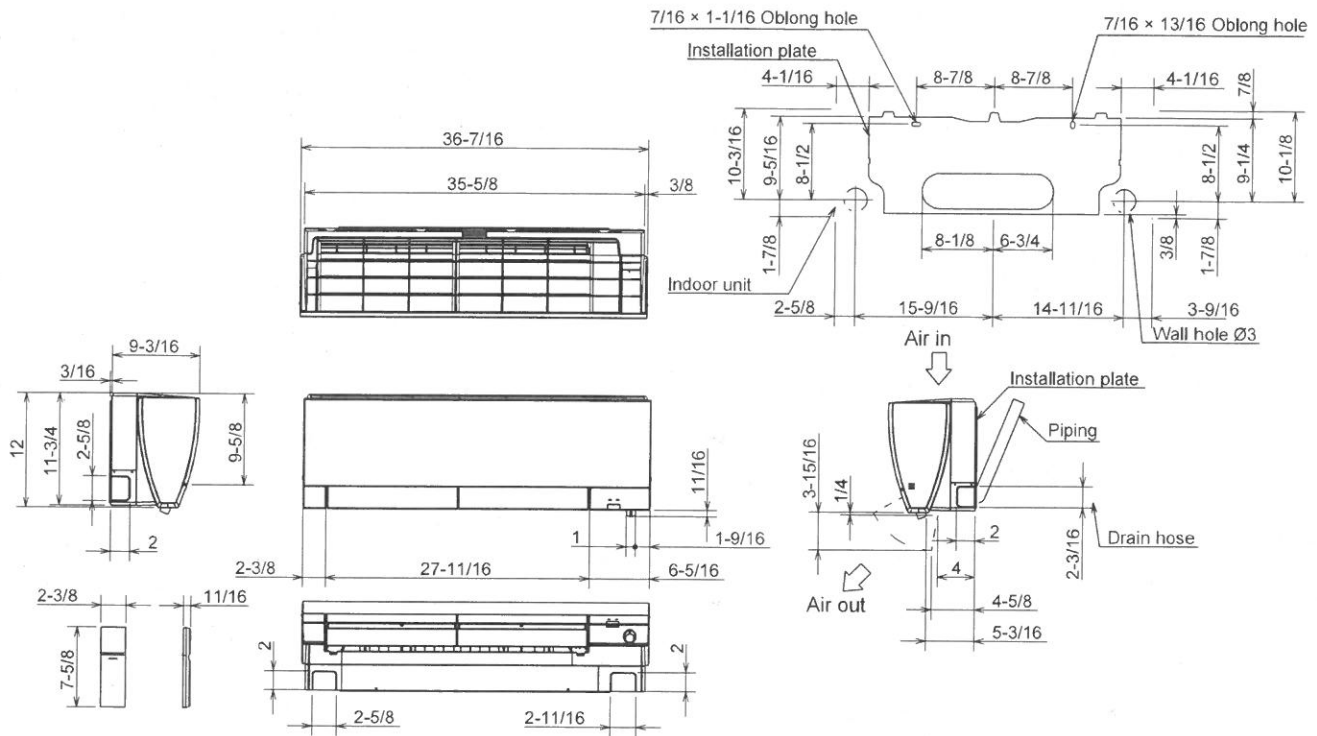


Specifications are subject to change without notice.
 © 2014 Mitsubishi Electric US, Inc.

DIMENSIONS: MSZ-FH15NA

MSZ-FH15NA

Unit: mm (in.)



(MSZ-FH15/18NA)

Piping	Insulation	Ø1-7/16 O.D
	Liquid line	Ø1/4 19-11/16 (Flared connection Ø1/4)
	Gas line	Ø3/8 16-15/16 (Flared connection Ø1/2)
	Drain hose	Insulation Ø1-1/8 Connected part Ø5/8 O.D



1340 Satellite Boulevard
 Suwanee, GA 30024
 Toll Free: 800-433-4822
 www.mehvac.com

8. 1 Middle Street (HVAC)

- TBD

Date Application Rec'd _____

Application for Administrative Approval Historic District Commission

Administrative Use Only:
Date of Meeting: _____
Payment: _____
Payment Type: _____
Index/Permit #: _____

Owner: Doug Hinton Applicant (if different): _____

Address: 1 Middle Street Address: _____
(Street) (Street)
Portsmouth, NH 03801 _____
(City, State, Zip) (City, State, Zip)

Phone: _____

Signature: _____

Location of Structure: Map 126 / Lot 11 Street Address: 1 Middle Street
 Building Permit #: _____

To permit the following: **Add a new gas meter and conduit to service a rooftop HVAC unit on 150 Congress Street.**

Action Taken by H.D.C.	
Date:	10-18-17
Status:	
Stipulations:	
Signature of Principal Planner:	Nicholas J. Cracknell, AICP

If approved, please acknowledge below:

I hereby acknowledge that all changes or variation in the design as presented shall require further Historic District Commission approval.

Owner

Requesting permission to attach 1 1/4" Black iron to the side of the building for a roof top unit, being used for Return Air.

It will be structurally secure with proper hangers + fasteners and inspected by city official, (Brian Kiley).

It will be painted the same color of the building

1 Middle St. / 150 Congress St. (The Goat)



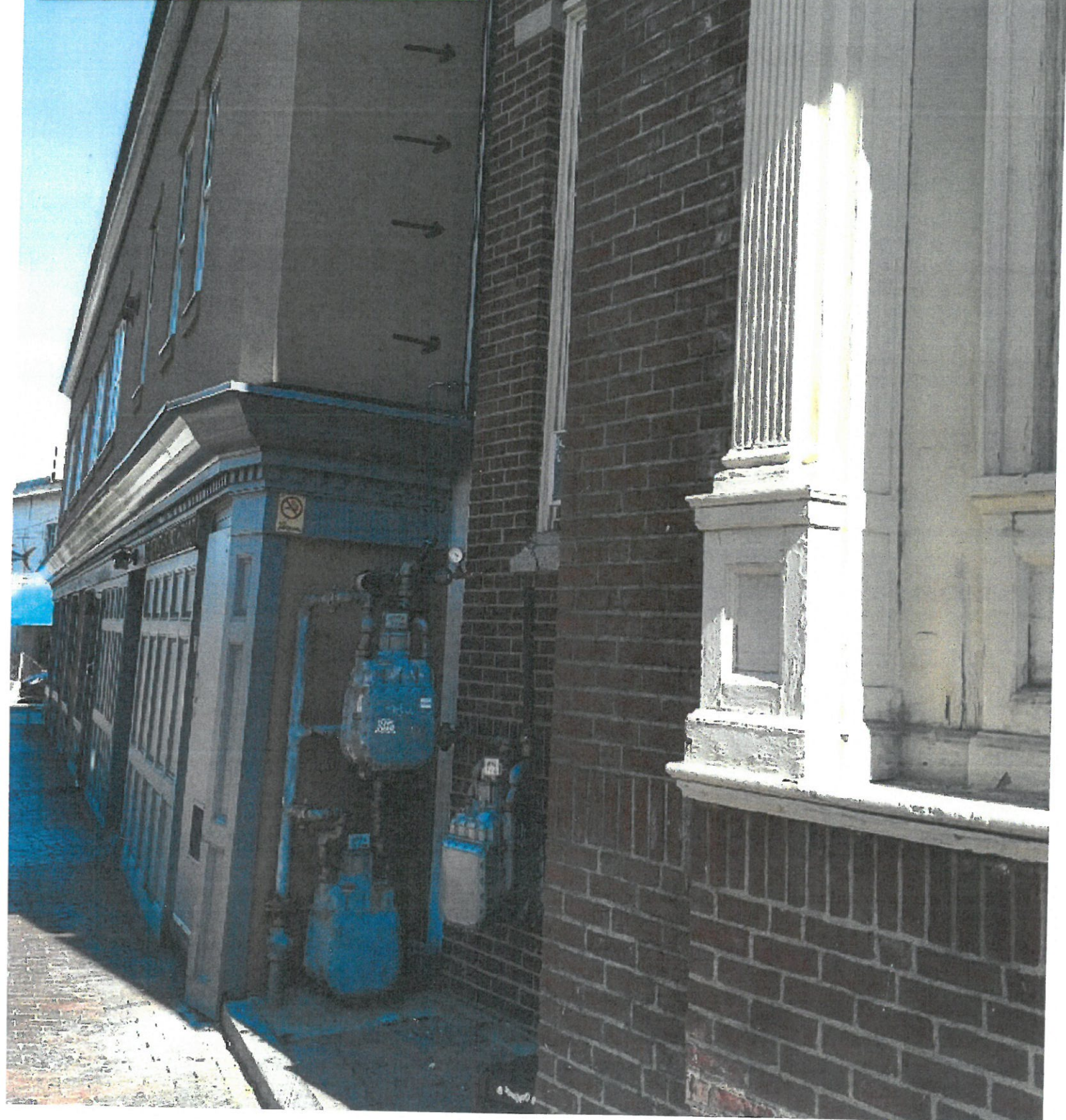
Doug Hinton, Master Plumber

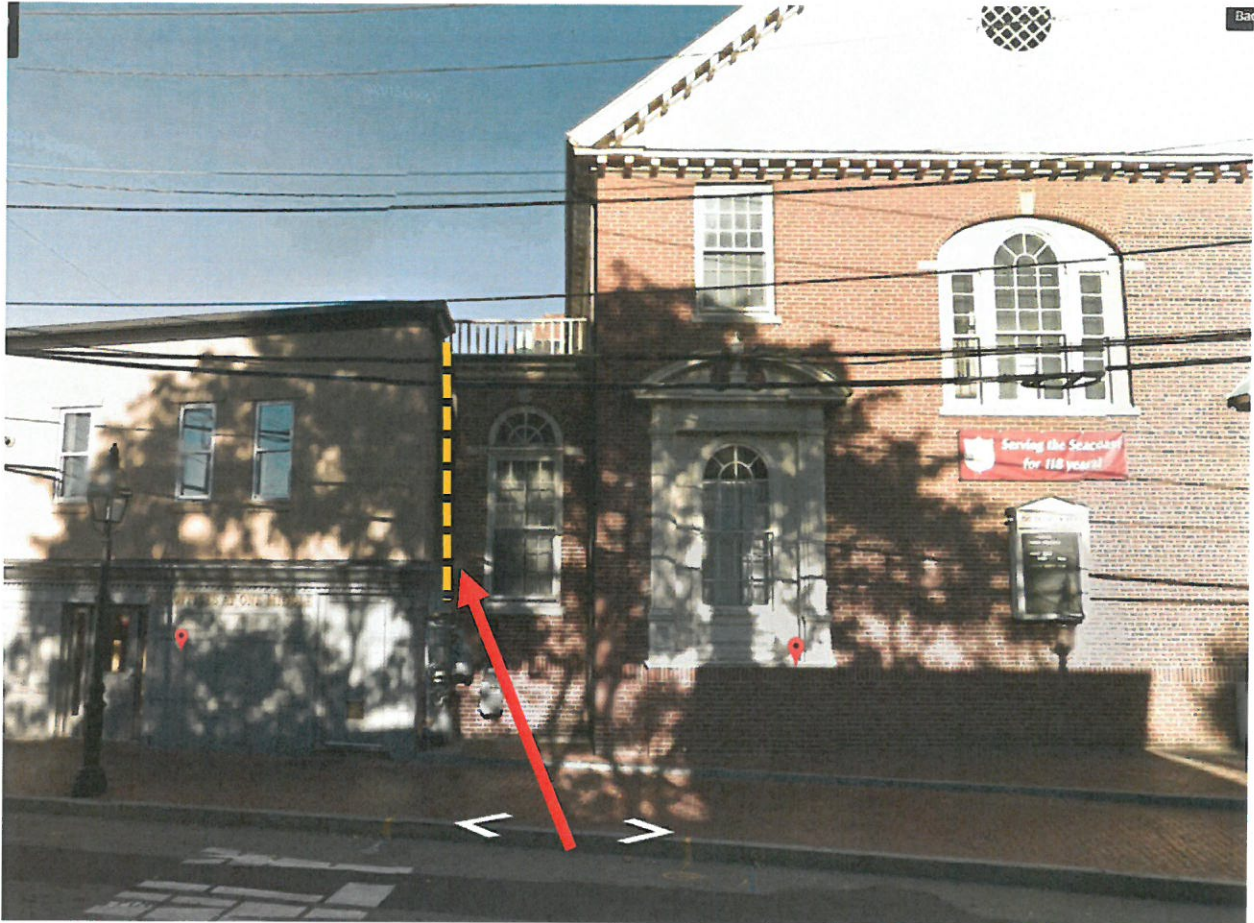
NH License 4341
NH Gas Fitter License GFE0801592

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phone: **603.300.6526**
email: dough38@gmail.com
www.drumminplumbingandheating.com

1 Middle Street
150 Congress St
(The Boat)





1 Middle Street - Existing Meter Bank and Proposed Conduit Location to Rooftop HVAC Unit

9. 17 Hunking Street (door)

- Recommend Approval

Application for Approval - Exempt Activity

Historic District Commission

Owner: Kathrine Cook Applicant (if different): _____
Address: 17 Hunking Street Address: _____
(Street) (Street)
Portsmouth, NH 03801 _____
(City, State, Zip) (City, State, Zip)
Phone: 603-502-6454 Phone: _____

Location of Structure: Map 103 / Lot 36 Street Address: 17 Hunking Street
Building Permit #: **25583**

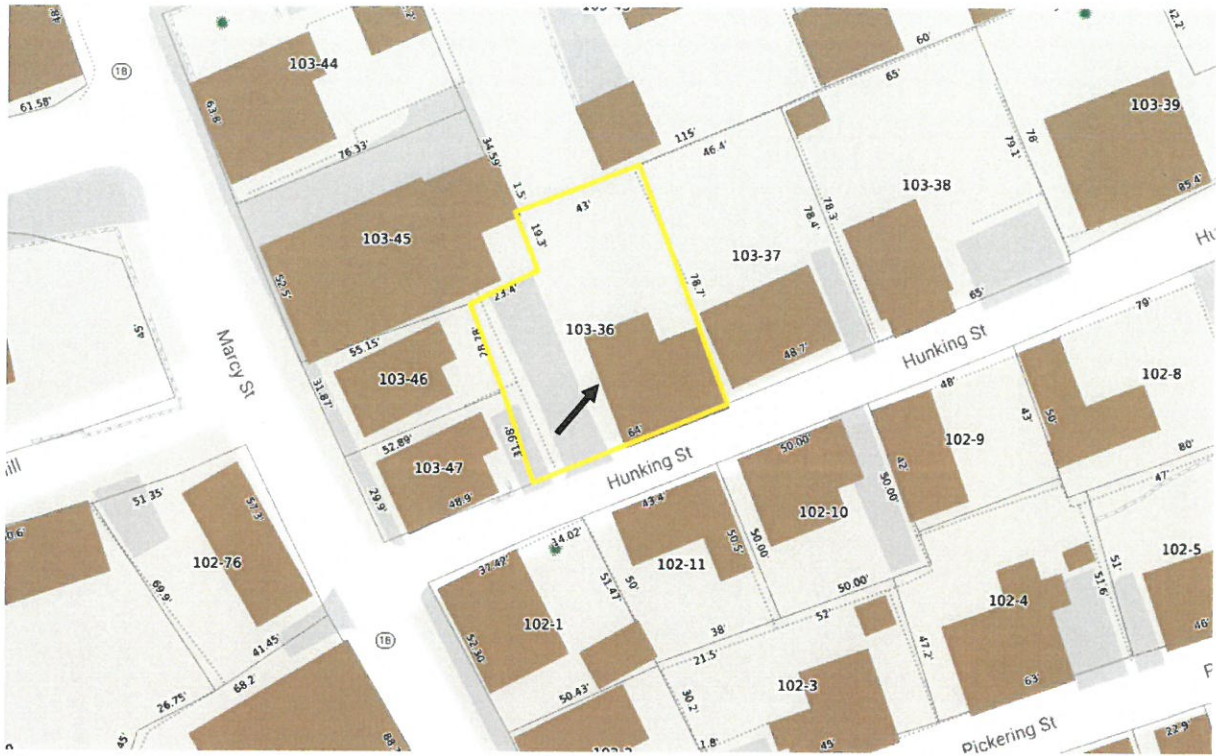
To permit the following (please include photos of the existing conditions and clear description of the proposed work):

Replace existing back double French door with divided light Anderson A Series sliding glass door. Door will have same divided light appearance as existing door, but the exterior will be made of a composite material which, once painted, looks like wood. The material is much more durable than the current wood door which has rotted. This side of the house is north facing and does not sunlit, The door is not visible from the street or neighbors' properties.

Action Taken by Principal Planner	
Date of Approval	10-18-17
Stipulations:	Exempt activity under 10.633.20(6)
Signature of Principal Planner:	Nicholas J. Cracknell, AICP

If approved, please note that:

Any and all changes or modifications in the design as approved shall require further review and approval.



17 Hunking – Door Location



17 Hunking – Existing French doors



17 Hunking – Existing French doors



17 Hunking – Existing French doors



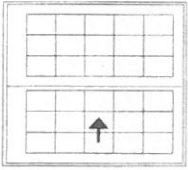
Quote #: 1125 Print Date: 10/11/2017 Quote Date: 10/05/2017 iQ Version: 17.1

Dealer: **RICCI LUMBER MILLWORK**
 105 BARTLETT STREET
 PORTSMOUTH, NH 03801
 603-427-2890/FAX 603-431-5870

Sales Rep: Administrator - DO NOT REMOVE

Customer:
 Billing Address:
 Phone:
 Contact:

Trade ID: Location Promotion Code:



Viewed from Exterior

Zone: Northern
 U-Factor: 0.31, SHGC: 0.23, ENERGY STAR® Certified: No

Item	Qty	Item Size (Operation)	Unit Price	Ext. Price
0001	1	FWGD6068 (SR)	\$ 3063.83	\$ 3063.83
RO Size = 6' 0" W x 6' 8" H Unit Size = 5' 11 1/4" W x 6' 7 1/2" H				

A Series
 Unit, Assembled, 4 9/16" Frame Depth, Bronze Sill, SR Handing, Terratone/Pine, Unfinished, High Performance Low-E4 Tempered, Divided Light with Spacer, Colonial, 3W5H, 7/8", Ext Grille - Terratone, Int Species - Pine, Int Grille - Unfinished
 Top Hung Gliding Insect Screen Track, SR, Terratone
 Top Hung Gliding Insect Screen, SR, Terratone
 Kit, Extension Jambs, Complete Unit Extension Jambs, SR Handing, Pine, Unfinished, 5 1/4", Job Site Applied (For 4 9/16" frame depth)
 Hardware Trim Set, FWGD, Encino - Distressed Bronze
 FWD, KIT, SILL REMODEL BRACKET

Customer Signature

Subtotal \$ 3,063.83
 Tax (0.000%) \$ 0.00
 Grand Total \$ 3,063.83

Dealer Signature